

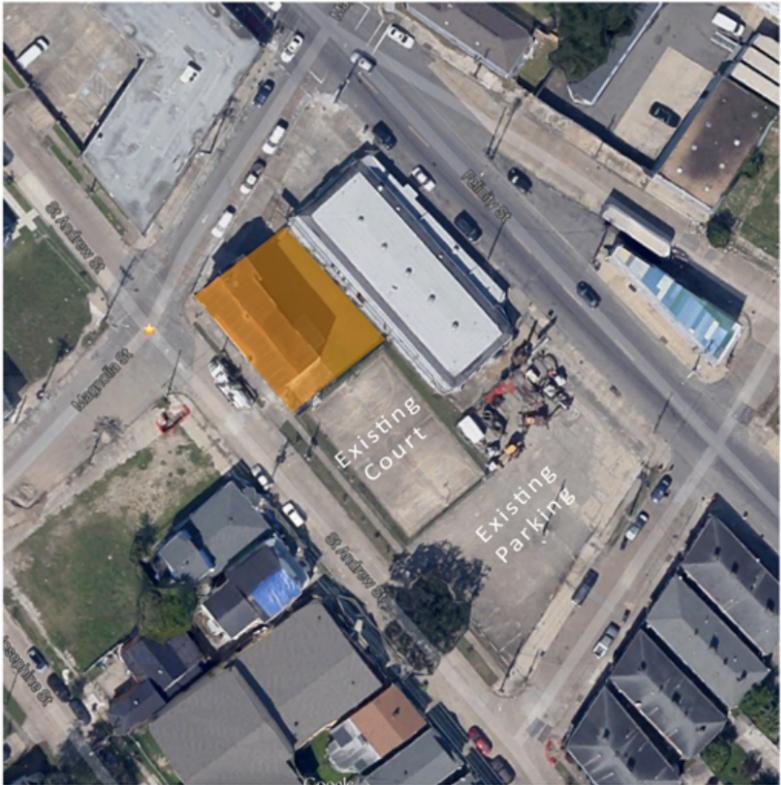
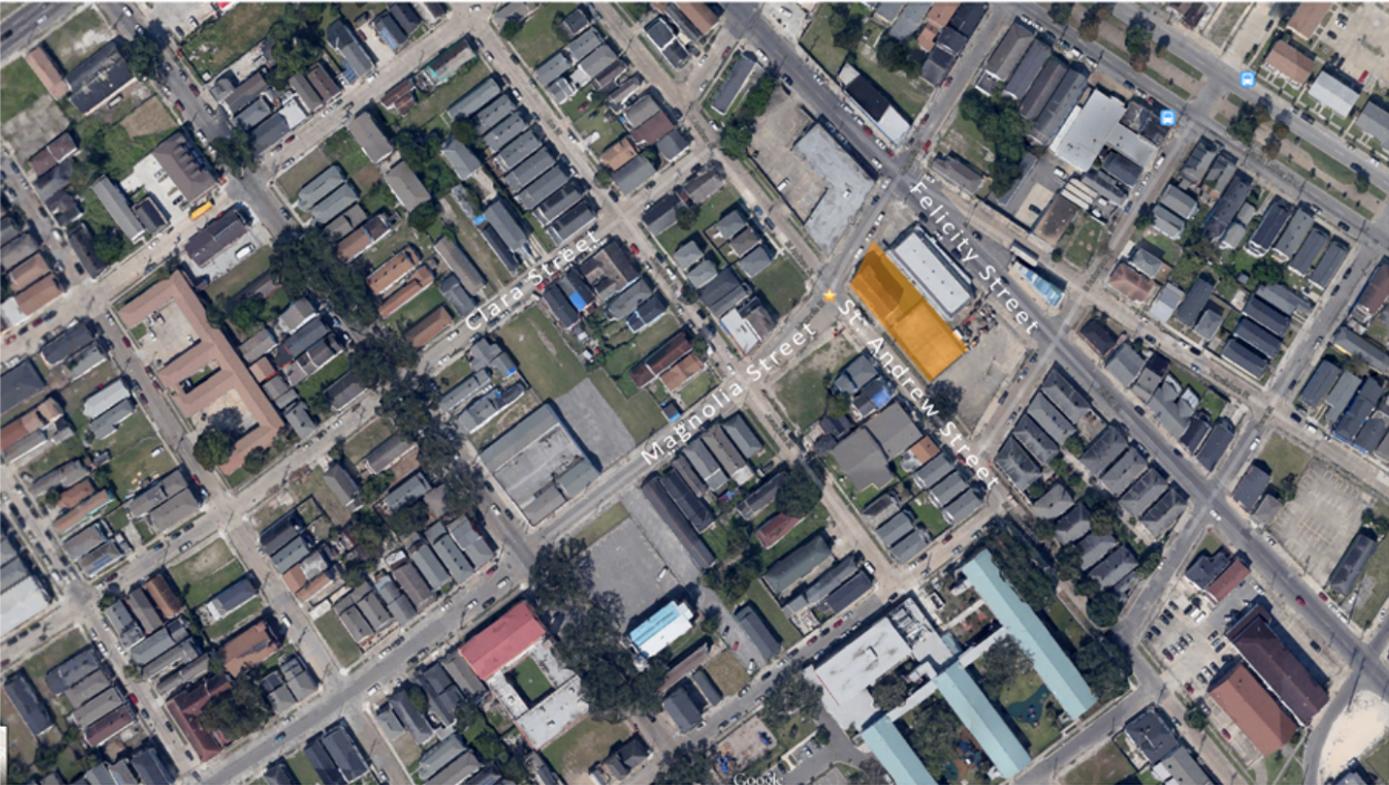
New Orleans Keller Community Center Corner of Magnolia & St. Andrew

Owner:
City of New Orleans
New Orleans Recreational Department

Architect:
Holly and Smith Architects, APAC
2302 Magazine Street
New Orleans, Louisiana 70130
www.hollyandsmith.com

Total Site Area: **24,087 sf**
Building Area: **1,770 sf**
Parking: Existing parking will be restriped to accomodate approx. 35 vehicles

Project Summary:
The project consists of a new building constructed as a multipurpose community center for the neighborhood. The building replaces an existing community center closed and in disrepair. The simple program is made up of a multipurpose room with attached concession kitchen, capable of serving the main room as well as visitors approaching from the corridor. There is also a directors office as well as mens and womens restrooms. The remainder of the rooms are for janitorial and mechanical.





North & West facades of the existing building



South & East facades of the existing building

Existing Context:

- 2 story building
- abandoned for some time
- The City of New Orleans is pursuing demolition outside of the scope of this project



North & East facades of the existing building



West facade of the existing building



Residences south of site, across S. Robertson Street



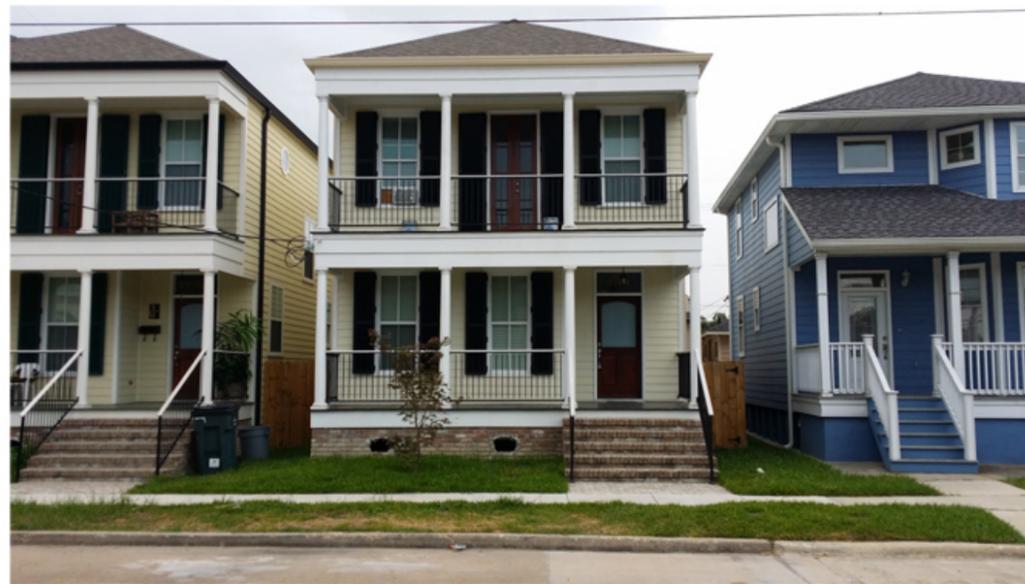
Residences West of site, across St. Andrew Street

Neighborhood Context:

- Single family and multi family residential
- one and two story construction
- hipped and gabled asphalt shingle roof forms
- lapped siding cladding
- minimal overhangs



Residences west of site, across St. Andrew Street



Residences one block north of site, across St. Andrew Street



Adjacent property east of site



Church, South of site across St. Andrew Street, shares parking lot with facility

Neighborhood Context:

- neighborhood convenience store/restaurant
- neighborhood Church
- existing building slab used for parking
- existing parking lot used by Church and facility



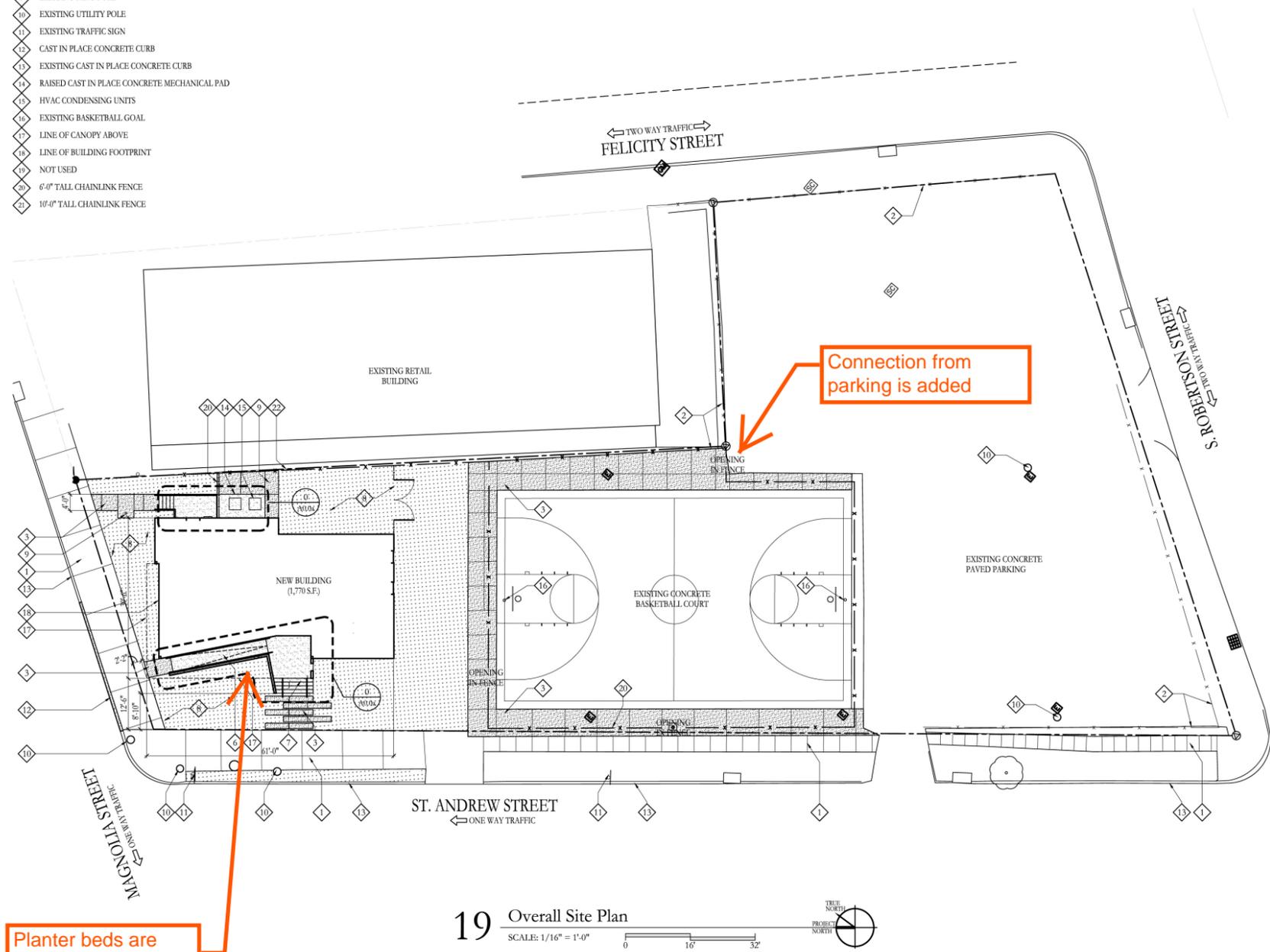
North of site, across Magnolia Street



Existing building slab being used as parking, shared between facility and church

KEYNOTES

- 1 EXISTING CONCRETE SIDEWALK
- 2 EXISTING CHAIN LINK FENCE
- 3 CAST IN PLACE CONCRETE PAVING
- 4 CHAIN LINK FENCE
- 5 HAND WASH SINK
- 6 ADA-ABA COMPLIANT CONCRETE RAMP
- 7 ADA-ABA COMPLIANT CONCRETE STAIRS
- 8 EXTENT OF HYDROSEED AREA
- 9 EXISTING FLAG POLE
- 10 EXISTING UTILITY POLE
- 11 EXISTING TRAFFIC SIGN
- 12 CAST IN PLACE CONCRETE CURB
- 13 EXISTING CAST IN PLACE CONCRETE CURB
- 14 RAISED CAST IN PLACE CONCRETE MECHANICAL PAD
- 15 HVAC CONDENSING UNITS
- 16 EXISTING BASKETBALL GOAL
- 17 LINE OF CANOPY ABOVE
- 18 LINE OF BUILDING FOOTPRINT
- 19 NOT USED
- 20 6'-0" TALL CHAINLINK FENCE
- 21 10'-0" TALL CHAINLINK FENCE



19 Overall Site Plan
SCALE: 1/16" = 1'-0"
0 16' 32'

Planter beds are removed

Connection from parking is added

Site Summary:

The site is on the corner of St. Andrew Street and Magnolia Street. There is currently an abandoned 2 story structure located on the corner that is slated to be demolished by the City of New Orleans. Also on the south end of the property is a concrete paved basketball court that is in disrepair. The surrounding properties consist of an existing retail establishment to the east and a lot where a building once stood which is being used as a parking lot.

Parking:

- On street parking is available in the surrounding area.
- Previous use of the building utilized the parking lot south of the property which is also shared with the church to the West. This lot will be restriped.
- No additional parking is being provided as part of the scope of this project.

Vehicular Circulation:

- St. Andrew Street and Magnolia Street both provide one way traffic.
- Felicity Street and S. Robertson Street both provide two way traffic.
- An existing curb cut and drive is located south of Magnolia Street and will be retained.
- No additional on site vehicular traffic will be created.

Pedestrian Circulation:

- The existing side walks will be refurbished.
- Entry to the facility is located near the midpoint of the building off of St. Andrew Street.
- The entry to the basketball courts is being maintained off the the existing drive as well as the center court from the St. Andrew Street sidewalk

Landscape:

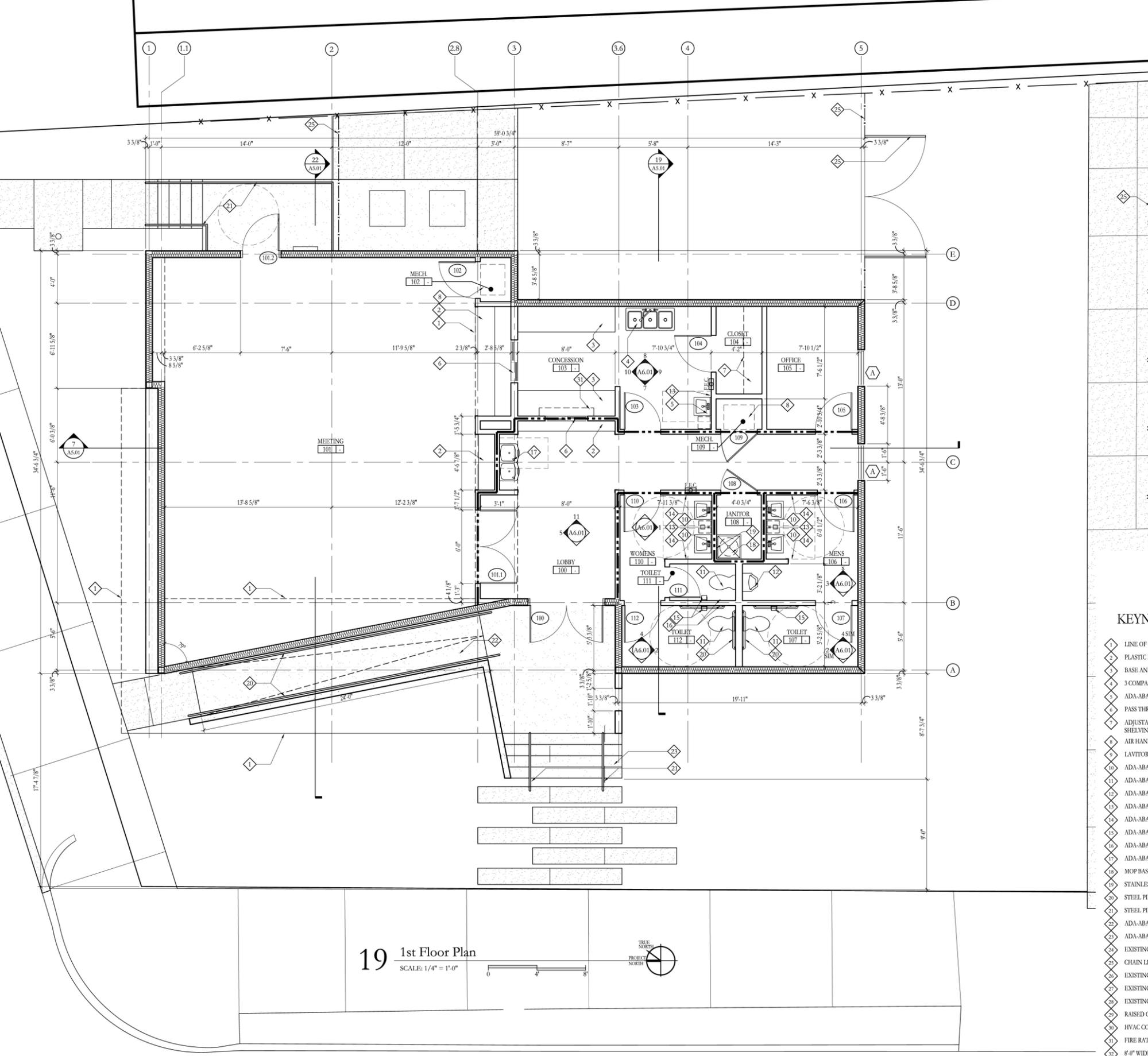
- The minimal landscaping is shown as a representation for future reference
- FEMA funding of this project does not allow for landscaping

Lighting:

- Existing pole lights are present in the parking area
- Recessed light fixtures will be installed in the canopy at the entry.
- Wall pack lighting will be utilized on the perimeter of the building.

Plan Summary:

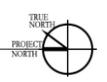
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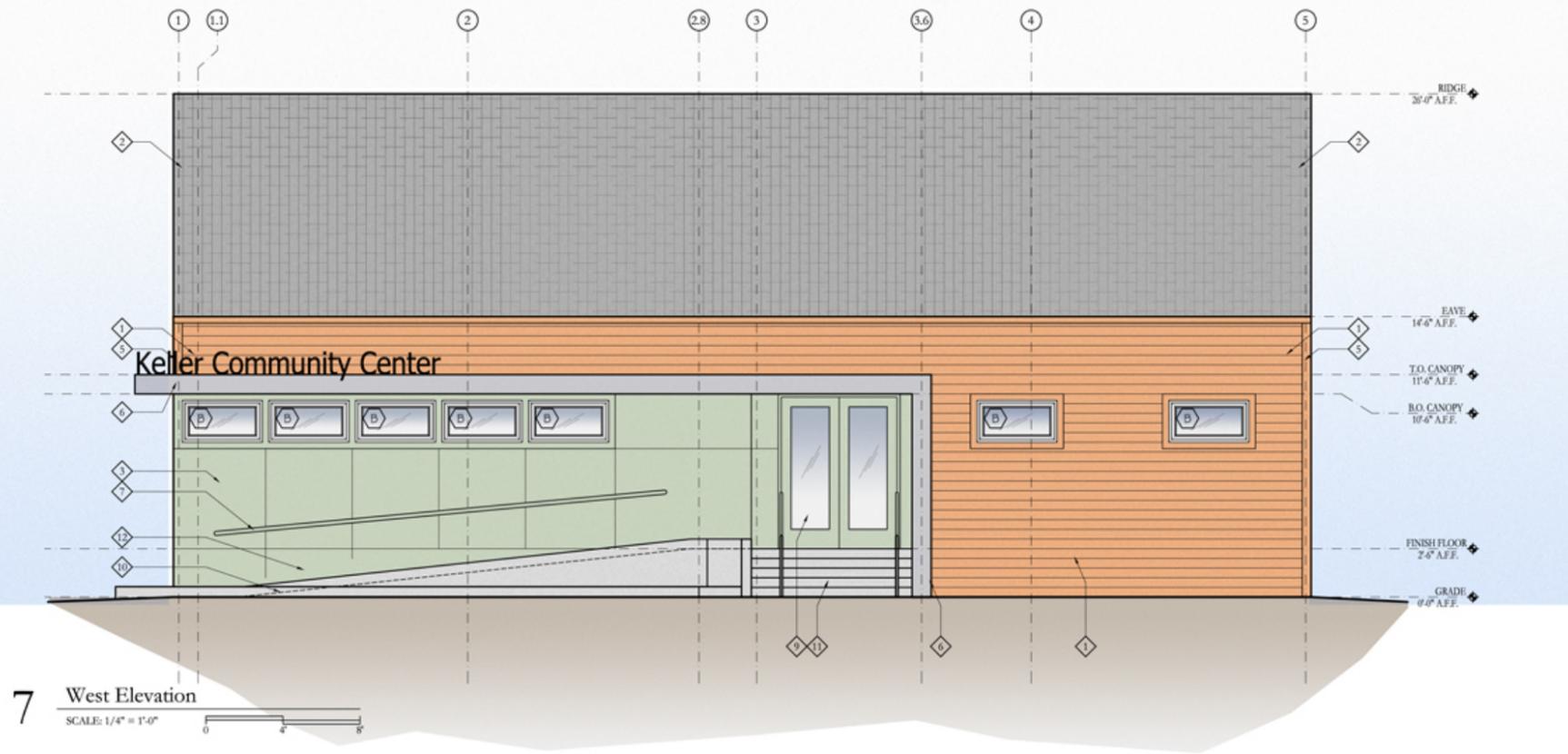


KEYNOTES

- 1 LINE OF OVERHANG ABOVE
- 2 PLASTIC LAMINATE COUNTER TOP AND GUSSETS
- 3 BASE AND UPPER PLASTIC LAMINATE CABINETS
- 4 3 COMPARTMENT SINK
- 5 ADA-ABA COMPLIANT HAND WASH SINK
- 6 PASS THROUGH WINDOW
- 7 ADJUSTABLE SHELF STANDARDS W/ PLASTIC LAMINATE CLAD MDF SHELVING, PROVIDE BLOCKING AS REQUIRED, RE: 20/A6.01
- 8 AIR HANDLING UNIT
- 9 LAVATORY
- 10 ADA-ABA COMPLIANT POLISHED STAINLESS STEEL MIRROR
- 11 ADA-ABA COMPLIANT FLOOR MOUNTED WATER CLOSET
- 12 ADA-ABA COMPLIANT WALL MOUNTED URINAL
- 13 ADA-ABA COMPLIANT SOAP DISPENSER
- 14 ADA-ABA COMPLIANT ELECTRIC HAND DRIER
- 15 ADA-ABA COMPLIANT TOILET PAPER DISPENSER
- 16 ADA-ABA COMPLIANT SANITARY NAPKIN DISPOSAL
- 17 ADA-ABA COMPLIANT DOUBLE ELECTRIC WATER COOLER
- 18 MOP BASIN
- 19 STAINLESS STEEL MOP RACK
- 20 STEEL PIPE HANDRAIL, PTD.
- 21 STEEL PIPE HANDRAIL AND GUARDRAIL, PTD.
- 22 ADA-ABA COMPLIANT CAST-IN-PLACE RAMP
- 23 ADA-ABA COMPLIANT CAST-IN-PLACE STAIRS
- 24 EXISTING CHAIN LINK FENCE
- 25 CHAIN LINK FENCE
- 26 EXISTING FLAG POLE
- 27 EXISTING UTILITY POLE
- 28 EXISTING TRAFFIC SIGN
- 29 RAISED CAST IN PLACE CONCRETE MECHANICAL PAD
- 30 HVAC CONDENSING UNITS
- 31 FIRE RATED COUNTER SHUTTER
- 32 8'-0" WIDE CHAIN LINK GATE

19 1st Floor Plan
SCALE: 1/4" = 1'-0"





7 West Elevation
SCALE: 1/4" = 1'-0"

Design Summary:

Materials:

- Cementitious lap siding and trim is utilized for it's durable properties as well as being visually consistent with the neighborhood.
- Cementitious paneling is utilized for it's durable properties while allowing for a textural transition.
- non-operable vinyl impact resistant windows are incorporated, utilizing standard, non-custom sizes
- standing seam metal roofing was selected for performance.

Maintenance:

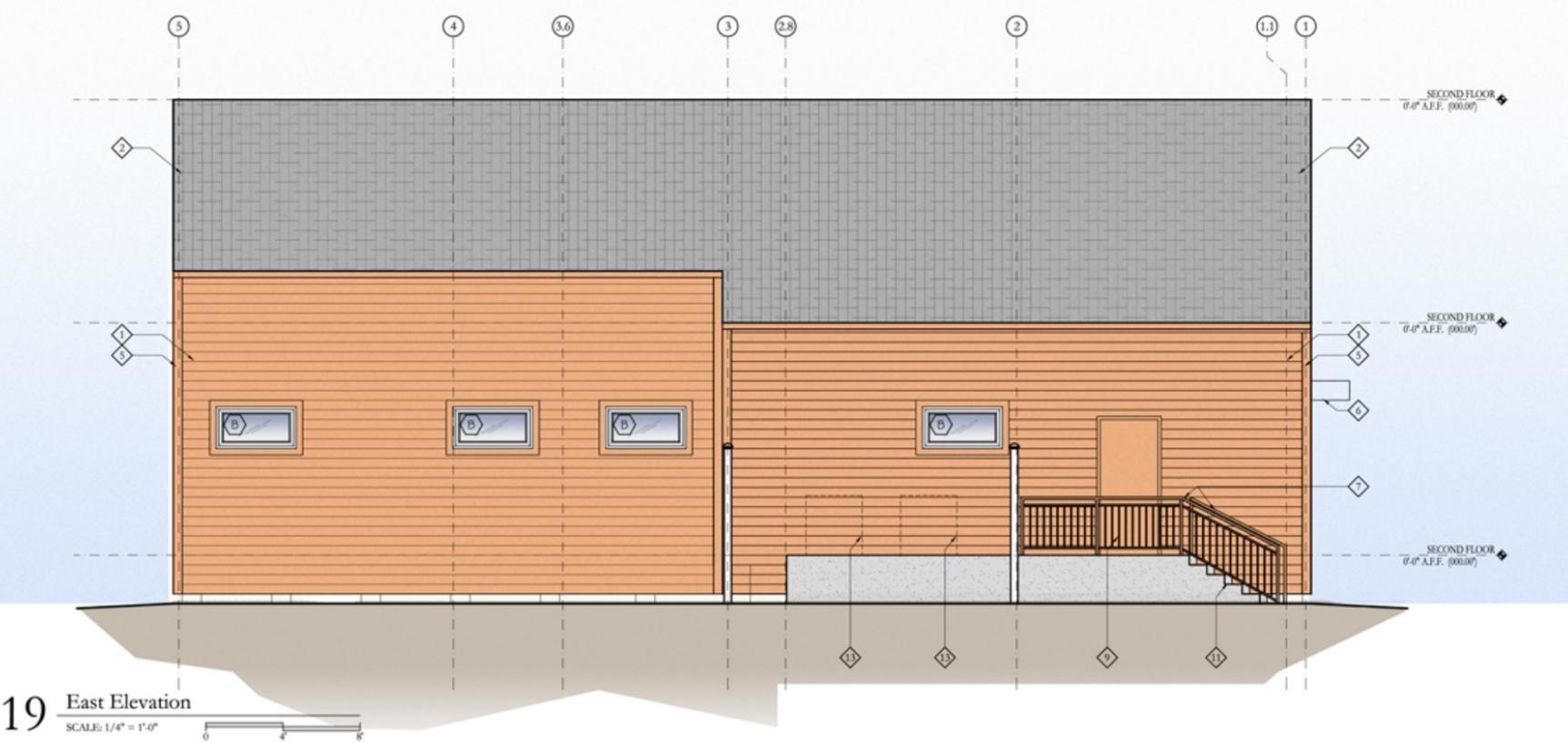
- All materials were chosen for their low maintenance attributes and warranty duration.

Climate Response & Energy Conservation:

- Overhangs are provided at the entry and windows for rain and solar protection.
- Steep pitched roof will shed water quickly towards a gutter system.
- Insulation will be provided in the walls and at the roof line.

Regional Expression:

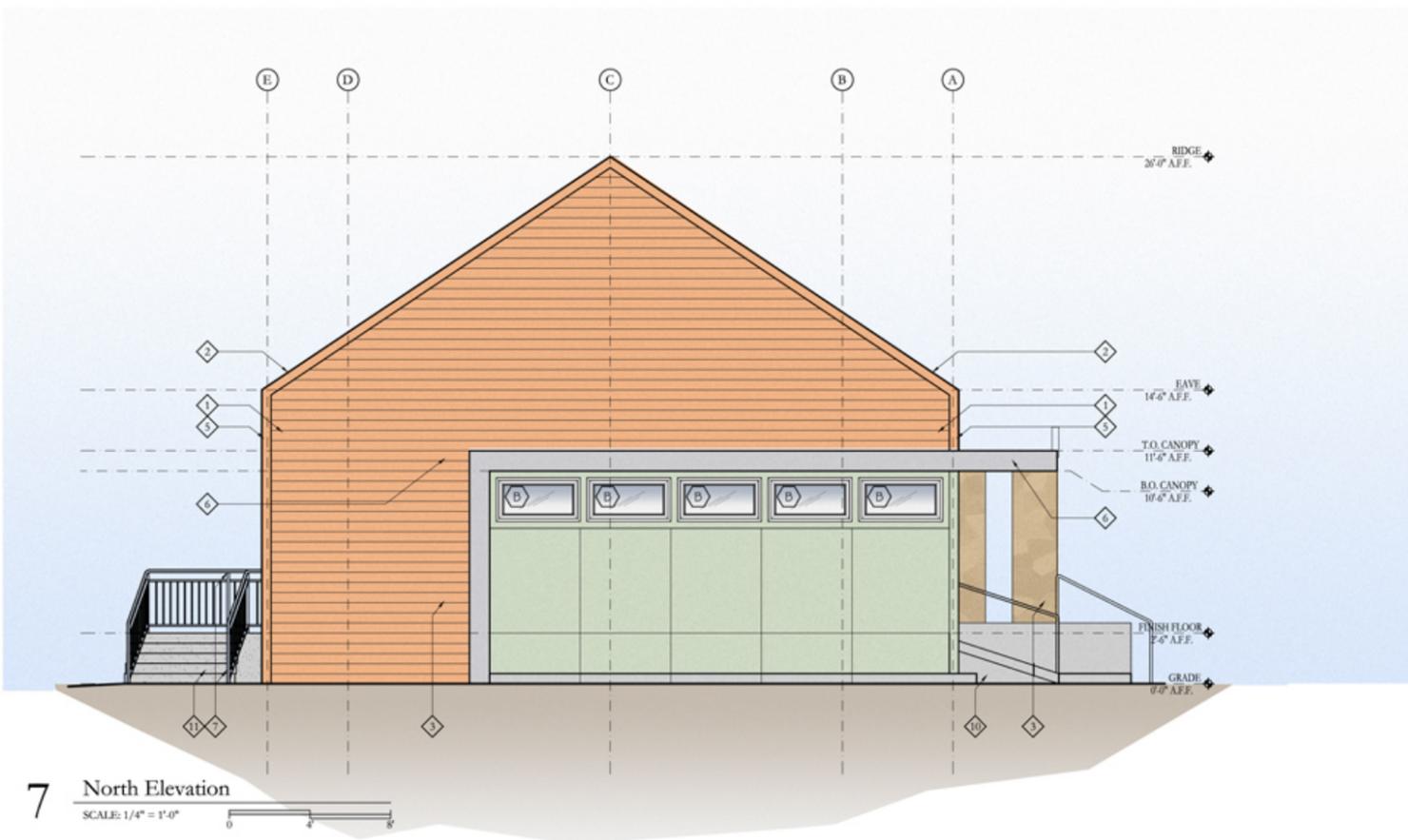
- Traditional local residential vernacular was used as inspiration in form and materials.
- Single gable form & scale relates to neighboring housing types.
- Texture and scale of materials relate to surrounding neighborhood.



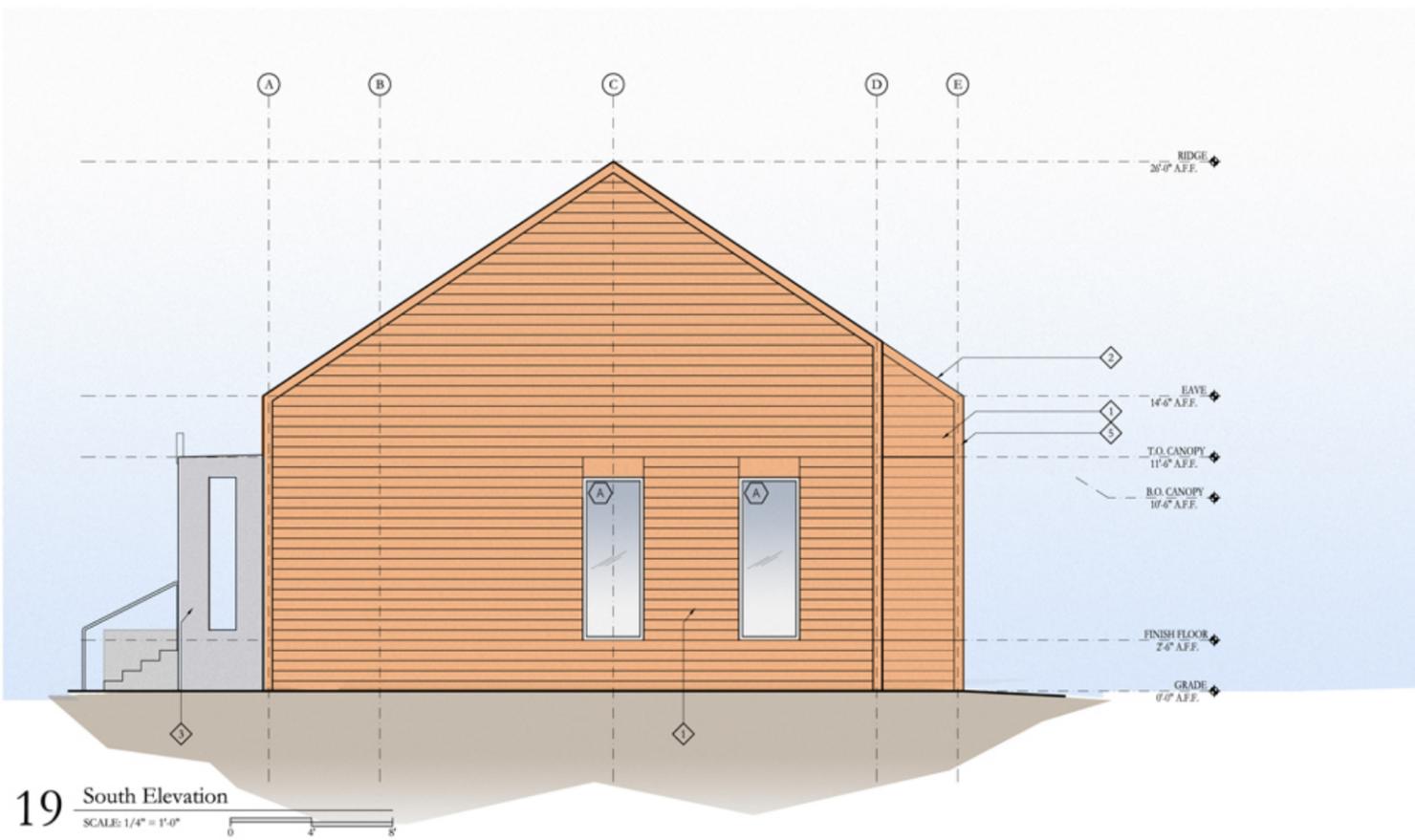
19 East Elevation
SCALE: 1/4" = 1'-0"

KEYNOTES

- 1 FIBER CEMENT LAP SIDING, PTD.
- 2 STANDING SEAM METAL ROOFING OVER 15# ROOFING FELT ATTACHED TO 5/8" CDX PLYWOOD OR O.S.B.
- 3 FIBER CEMENT PANEL CLADDING
- 4 TREATED TIMBER PILE
- 5 FIBER CEMENT TRIM, PTD.
- 6 CANOPY WITH FIBER CEMENT FASCIA, PTD.
- 7 STEEL PIPE HANDRAIL, PTD.
- 8 BASE AS SCHEDULED
- 9 DOOR AND FRAME AS SCHEDULED
- 10 ADA-ABA COMPLIANT CAST-IN-PLACE CONCRETE RAMP
- 11 ADA-ABA COMPLIANT CAST-IN-PLACE CONCRETE STAIRS
- 12 CAST IN PLACE CONCRETE STAIRS AND LANDING
- 13 HVAC CONDENSER



7 North Elevation
SCALE: 1/4" = 1'-0"



19 South Elevation
SCALE: 1/4" = 1'-0"

KEYNOTES

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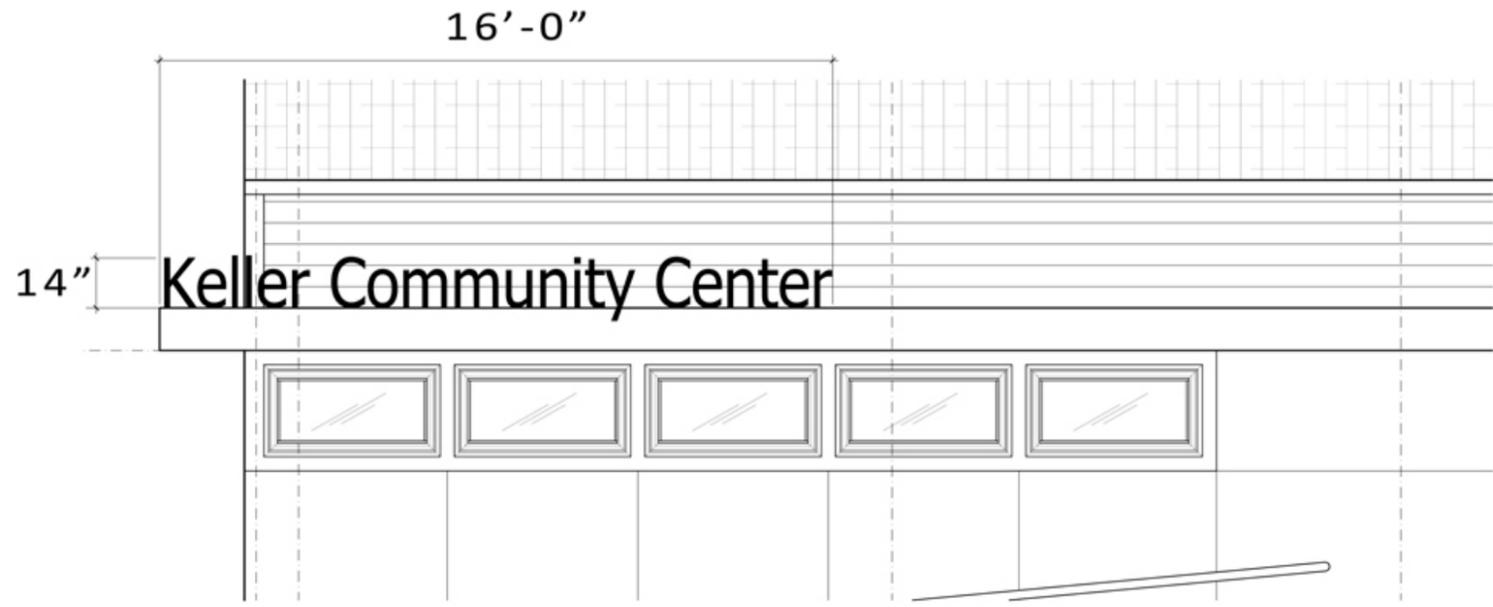
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Signage Summary:

Materials:

- 14" Metal dimensional letters mounted atop entry canopy.
- Signage element total length is 16'-0"



View of Entry from sidewalk,
corner of St. Andrew & Magnolia



View from North,
across Magnolia Street



View from Southwest,
across St. Andrew Street











Note: Interior materials and color samples will be presented as a physical color board at the DAC meeting.