



**Vieux Carré Commission
Architectural Committee Meeting**

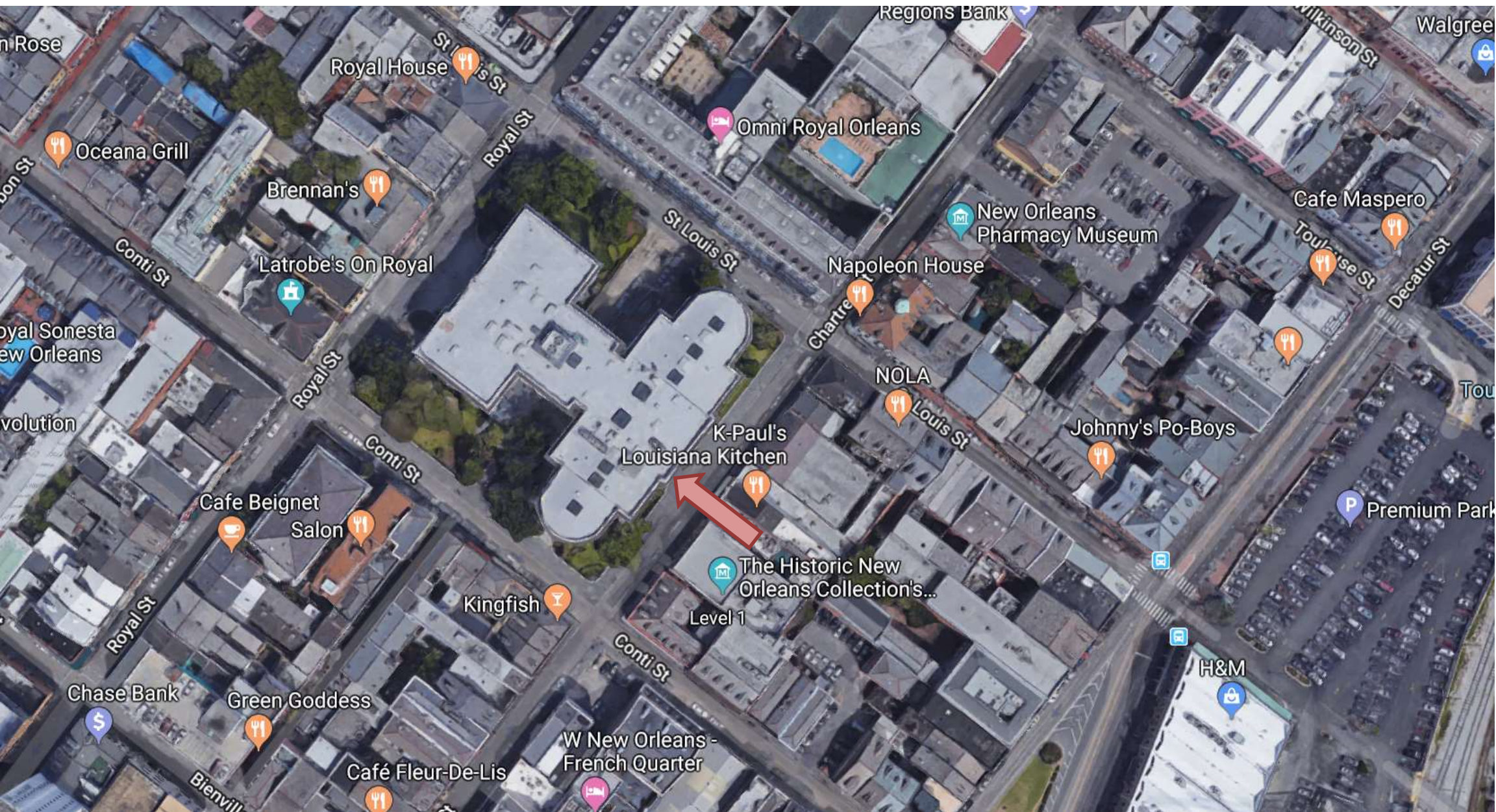
Tuesday, October 8, 2018



Other Business



400 Royal



400 Royal Street



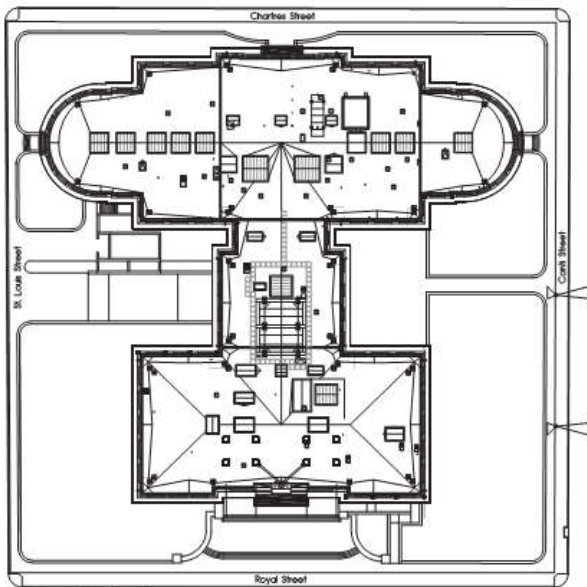


Scope of Work

The Work of the Project consists of:

1. Remove the existing foam roof system of the perimeter of the roof.
2. Retrace roof drains and connect to existing roof drainage system.
3. Build a new treated wood curb to separate the new roof system of the perimeter from the existing foam roof.
4. Provide a 2-ply modified bitumen membrane roof system of the perimeter of the roof, with tapered insulation to route water to the new drain locations.
5. Provide polyurethane roofing system to extend the field of the existing roof system to the new curb.

Vicinity Plan - NTS



Replace Perimeter Roof Section

State Supreme Court Building

400 Royal Street
New Orleans, Louisiana

FPC No.: 01-107-06B-11

WBS F.01003677

State ID: S00364

Site Code: 1-36-011



State of Louisiana

John Bel Edwards - Governor

Division of Administration

Jay Dardenne - Commissioner of Administration

Office of Facility Planning and Control
Mark A. Moses - Director

Project Team

Owner: State of Louisiana

Owner's Representative:
Louisiana Office of State Buildings
Perry Sims, Architect
1928 N. Third Street
Baton Rouge, LA 70802
P.O. Box 44001
Baton Rouge, LA 70804
225. 279. 4789 Office

Architect: Scairono Martinez, Architects
3642 Magazine Street
New Orleans, LA 70115
504. 896. 2000 Office
Contact: Ron Martinez, Project Architect
ron@scaironomartinez.com

THESE DRAWINGS HAVE BEEN PREPARED BY ME OR UNDER MY RESPONSIBLE SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL CITY OF NEW ORLEANS AND STATE OF LOUISIANA REQUIREMENTS. I WILL PERSONALLY OBSERVE THE CONSTRUCTION WORK.

SIGNED: _____ DATE: _____
RON MARTINEZ, LICENSED ARCHITECT
LICENSE NO. LA 408

List of Drawings

Sheet Number	Sheet Title
A-01	General Notes and List of Drawings
A-02	Perimeter Roof Plan
A-11	Roof Plan
A-12	Roof Details

General Notes

1. All work shall comply with all laws, rules, regulations, ordinances and codes of the City of New Orleans, the State of Louisiana, and the Federal Government.
2. The contractor is responsible for verifying the extent, nature, and scope of work described in these documents and shall coordinate with the architect work shown or described in these documents. The contractor shall provide all labor, materials, equipment, transportation, delivery, handling, services, supervision and quality control necessary to ensure all work shown on these drawings except where specifically noted as not in contract (NIC). He shall be responsible for coordinating his work with that of all trades including those operating under separate contracts with the owner if any. All work shall be performed by skilled and qualified workmen in accordance with the best practices of the trades involved.
3. All dimensions, angles, elevations, conditions, and physical configurations relative to existing conditions of the site shall be verified in field by the contractor prior to commencing construction. Before ordering any material or doing any work, the contractor shall verify all measurements at the site and shall be responsible for the correctness of same. No allowance shall be made on account of differences between actual dimensions / measurements and those indicated on the drawings. Any differences found between actual dimensions and dimensions indicated on drawings shall be submitted to the architect for consideration before proceeding with the affected work. The contractor is fully responsible for coordination of new work with existing and to repair any part of the existing building damaged due to the project with materials to match existing.
4. Contractor shall visit site and examine all existing conditions prior to submitting a bid. He shall familiarize himself completely with the difficulties and restrictions affecting the execution of the contract. The architect will not have control or charge of or will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work. Contractor shall perform all work in a safe and orderly manner avoiding hazardous conditions. Provide all necessary temporary shoring, bracing, bolting, and protective barriers as required to insure safe execution of construction.
5. The architect has not been retained nor compensated to provide design or construction review services relating to jobsite safety and contractor's safety precautions and programs or relating to means, methods, techniques, sequences or procedures required for the contractor to perform his work. Hence, the architect is not responsible or liable in any way for matters associated with jobsite safety or scheduling of construction work. Omitted services include but are not limited to shoring, bracing, scaffolding, underpinning, rereading, temporary retention of excavations and any erection methods and temporary bracing and gyps. Contractor shall continuously and constantly maintain safety of the structure, workers and the general public under the direction of his own professional engineer.
6. Work areas shall be kept neat, clean, and safe at all times by contractor. Trash or debris shall not be allowed to accumulate on the site. Premises shall be kept neat, clean, orderly and safe at all times. Contractor shall be responsible for providing suitable trash containers and trash removal from the property. All waste shall be properly and legally disposed of.
7. Do not scale any drawings without specific permission of the architect. Written dimensions shall govern. Consult architect for dimensions not shown.
8. The contractor shall carefully examine the drawings and notes and secure from the architect any additional information, if necessary, that may be required for a complete and full understanding of the work. To establish the complete scope of work, the contractor shall coordinate between all trades, each trade shall completely review all drawings, and the entire project manual, not only the drawings and specifications for its respective trade, but also for the work of all other trades as well. No trade shall proceed with ordering or installation of any materials and/or equipment without first coordinating with all other trades. Contractor shall coordinate subcontractor's work requirements to ensure that work can proceed continuously and expeditiously and will provide the best results for the completed work. Titles and names on drawings are provided merely for convenience and shall not be construed as a segregation of the units of materials and/or labor into trades.
9. The drawings are intended to define the general scope of the work required to complete the project. It is the intent of these documents to provide for complete and finished work and complete and operating systems. Any omissions in these notes or in the drawings shall not be considered as relieving the contractor of such responsibilities implied by the scope of work except for items specifically noted as not in contract. The contractor shall carefully examine the construction documents and secure from the architect additional information, if necessary, that may be required to a clear and full understanding of the work. All miscellaneous components, parts, anchors, accessories, means of installation, and other incidental items required for complete assembly/installation of an item or system shall be provided, whether or not specifically noted or specified. The contractor shall include all components which are normally incidental to the work, those components which are required as an essential aesthetic, functional, or code required element of the work are to be included. Any work or material that is not directly or indirectly noted on the drawings but is necessary for the proper carrying out of the obvious intention is to be understood as "implied" and is to be provided by the contractor as fully as if specifically described or detailed herein. Any discrepancies in the drawings shall be reported to the architect for interpretation or correction before work is executed.
10. All work will be subject to the review, inspection, and acceptance of the owner and the architect. Upon completion of the work, the contractor shall notify the owner and the architect and the contractor shall prepare and submit a list of deficiencies (punch list) of all needed corrections, unsatisfactory work and incomplete work.
11. A construction permit is not required for this project. Contractor shall give all notices to all authorities and agencies having jurisdiction over the work. Contractor shall make certain that all required approvals have been obtained prior to the start of any work. No construction or fabrication shall begin until the contractor has received and thoroughly reviewed all drawings and other documents as approved by all appropriate authorities.
12. Contractor shall pay all applicable sales taxes and all other applicable taxes as required to comply with all applicable laws.
13. Project includes all required preparation and demolition unless specifically noted as NIC. Protect all surrounding area during construction. Protect all existing construction to remain during entire construction period. Protect employees, consultants, visitors and the general public during demolition and construction. Contractor shall limit and contain his work and the effects of his work to a limited work area. Restore all areas to pre-construction conditions or better at substantial completion. This includes grading any disturbed grades and restoration of turf and landscaping. Contractor shall review with the owner in the field all existing damage to existing construction and site. A detailed list shall be prepared by the contractor and approved by the owner prior to the start of work. Any damage not on the approved list shall be the responsibility of the contractor to correct. If it is suggested that the list be supplemented with photographs and/or videos.
14. During the construction period, any discrepancies, conflicts, and/or questions of interpretations in the drawings or specifications shall be submitted to the architect promptly for clarification. The architect will issue written instructions to the contractor clarifying such matters. The architect will not be responsible for verbal instructions. No allowance shall be made after the start of construction for misunderstandings on the part of the contractor. It shall be held that the contractor and his subcontractors/material suppliers have examined all drawings/documents and the site for proper comprehension of the work.
15. Contractor shall employ experienced, fully qualified and licensed subcontractors and maintain cooperation among all trades.
16. The contractor shall subcontract with suppliers, fabricators, and installers that can demonstrate that they possess the knowledge, experience, expertise, personnel and proven processes in the work specified to fully perform all aspects of the work for a specific designated portion of the work required without omission or exception.
17. Precautions and protective measures shall be used as necessary to protect workers, guests, visitors, staff and the general public. Erect suitable temporary barriers at hazardous areas to detour pedestrian traffic and to prevent normal access to such areas by unauthorized persons.
18. Coordinate any site temporary fencing, access gates, staging of dampers, demolition equipment, wash-down stations, etc. with the existing site and surrounding/ existing site fencing.
19. Remove and transport debris and rubbish in a manner that will prevent spillage on pavements, streets, or adjacent areas. Immediately clean up spillage from pavements, streets, and adjacent areas, in compliance with all local, state, and federal requirements.
20. Contractor shall submit staging plan for review by Architect and Owner prior to performing any work. Staging plan shall define site access, damage management, fencing protection, loading areas, staging and vehicular traffic routes.
21. Should items be identified throughout the course of the work that are suspected to be hazardous, the contractor shall immediately stop work and notify the Owner/ Architect to identify remedial measures.



Scairono
Martinez
Architects

3642 Magazine Street
New Orleans, LA 70115
(504) 896-2000
scaironomartinez.com

Replace Perimeter Roof Section
State Supreme Court Building
400 Royal Street - New Orleans, Louisiana
FPC Project No.: 01-107-06B-11
WBS F.01003677
State ID: No. S 00364
Site Code: 1-36-011



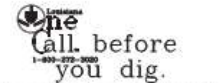
Issue: BID DOCS
Date: 6/29/2018
Revisions:

SMA Project No.

1738

Sheet

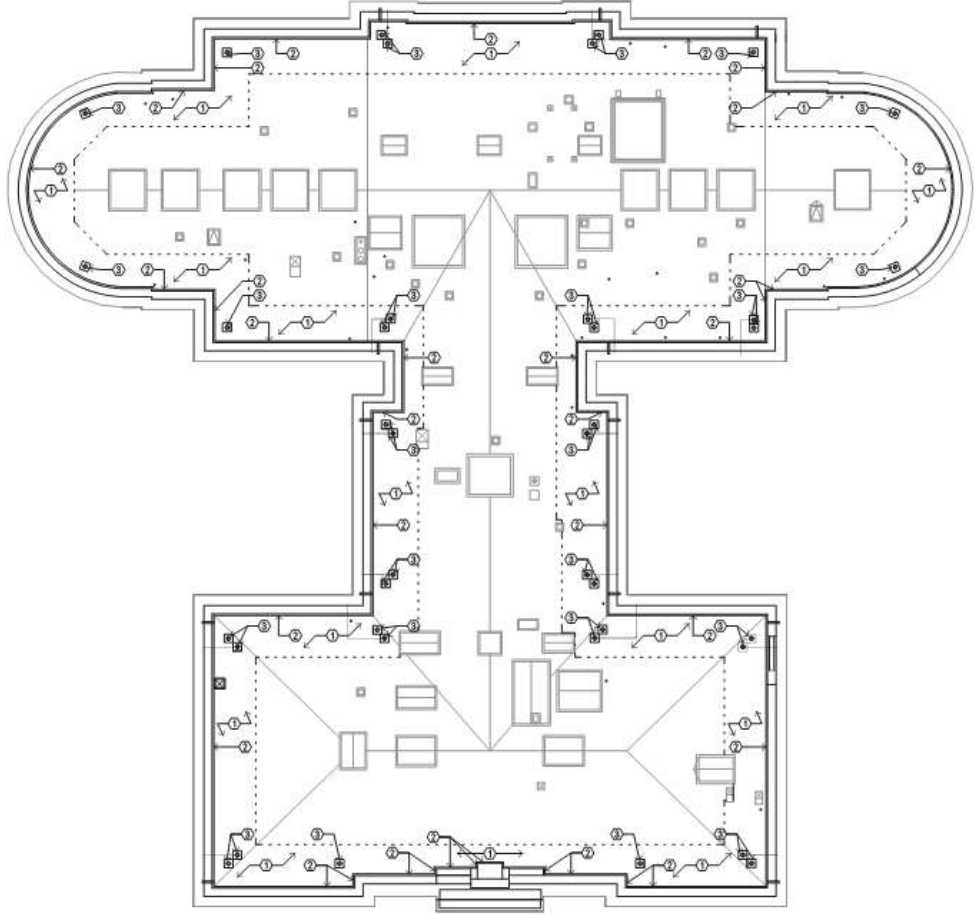
A 0.1



Louisiana One Call for Underground Utilities 1-800-272-3020

Louisiana State Law LRS 40:749.5 states that no person shall excavate or disturb without first ascertaining the location of underground utilities by serving telephone notice to a regional notification program. In Louisiana, the regional notification program is Louisiana One Call. In order to serve notice of excavation or demolition, this program can be reached by calling 1-800-272-3020.

Copyright 2008 Scairono Martinez Architects, P.A.C. These drawings and specifications are prepared for the use of the contractor and are not to be used for any other purpose. The design depicted herein is the property of Scairono Martinez Architects, P.A.C. and shall remain the property of Scairono Martinez Architects, P.A.C. No part of these drawings or specifications shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Scairono Martinez Architects, P.A.C. The design depicted herein is the property of Scairono Martinez Architects, P.A.C. and shall remain the property of Scairono Martinez Architects, P.A.C. No part of these drawings or specifications shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Scairono Martinez Architects, P.A.C.





Demolition Roof Plan
 SCALE 1" = 20'-0" 0 10 40'

Demolition Keynotes

1. Cut and remove existing polyurethane foam roofing system at perimeter of roof and interior surface of parapet. Extent of foam removal shall be sufficient to allow proper installation of curb, roofing, and flashing system.
2. Cut existing felt and asphalt waterproofing membrane at base of parapet and remove from interior of parapet. Waterproof membrane shall remain in place on existing concrete deck.
3. Remove existing roof drain and overflow drain assemblies, and salvage for reuse. Disconnect from existing drain line in attic. Do not disturb existing drain lines.



**Scairono
Martinez
Architects**
 3642 Magazine Street
 New Orleans, LA 70115
 (504) 896-2000
 scaironoma@me.com

Replace Perimeter Roof Section
State Supreme Court Building
 400 Royal Street New Orleans, Louisiana
 FPC Project No.: 01-107-06B-11 WBS F:01003677
 State I.D. No. S 00364 Site Code: 1-36-011

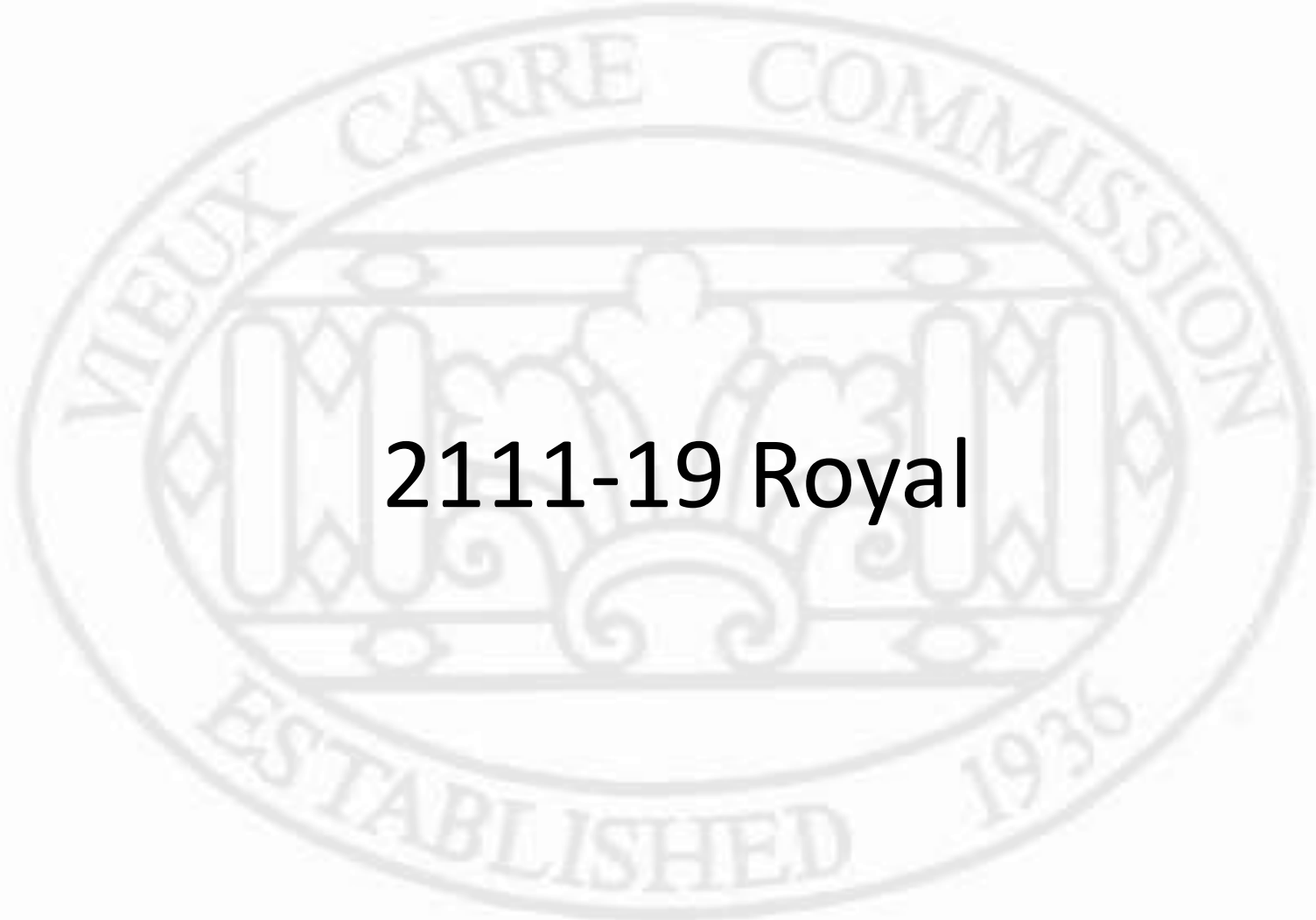


Issue: BID DCS
 Date: 6/29/2018
 Revisions:

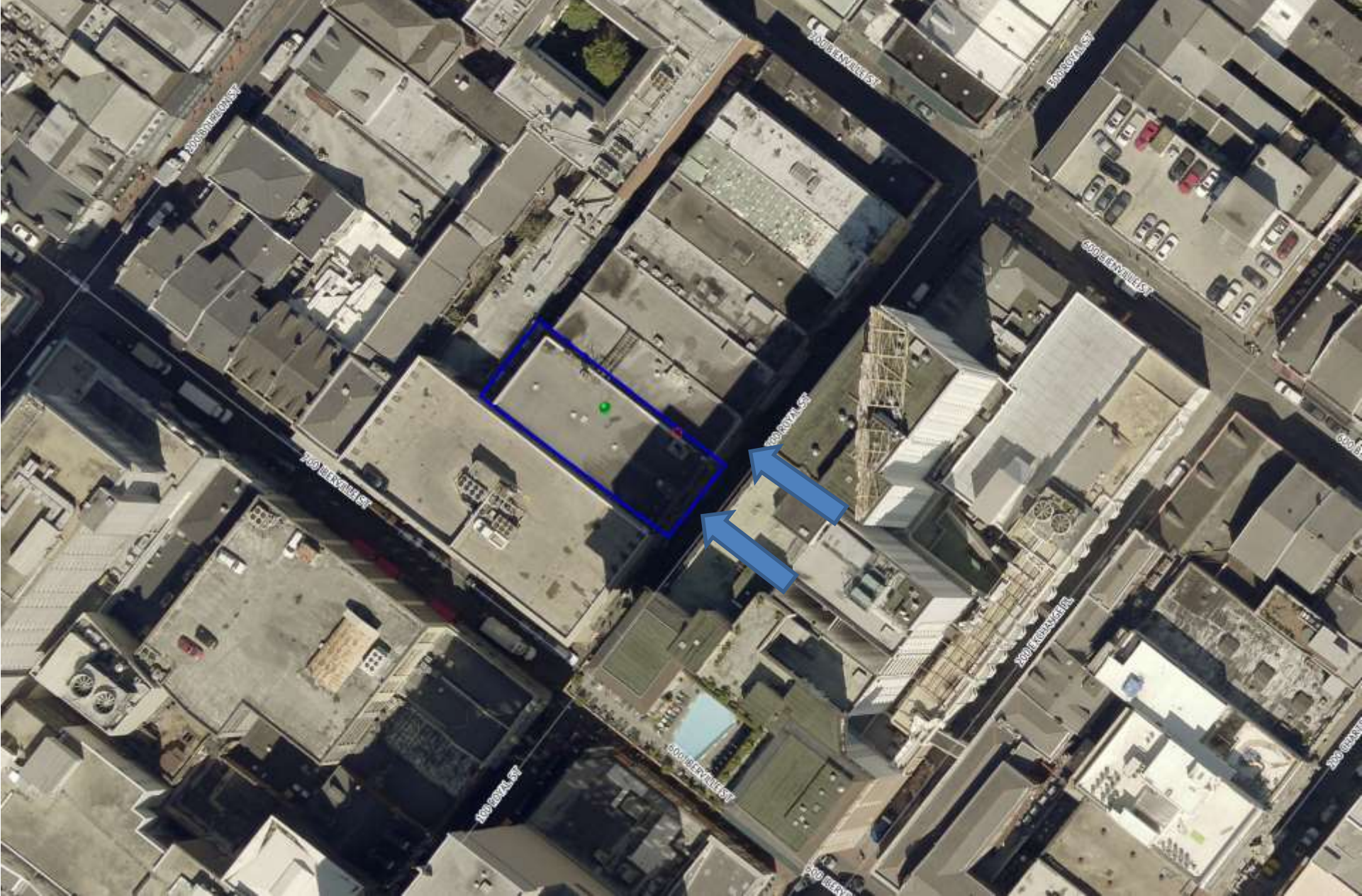
SMA Project No.
1738
 Sheet
D 1.1



Old Business

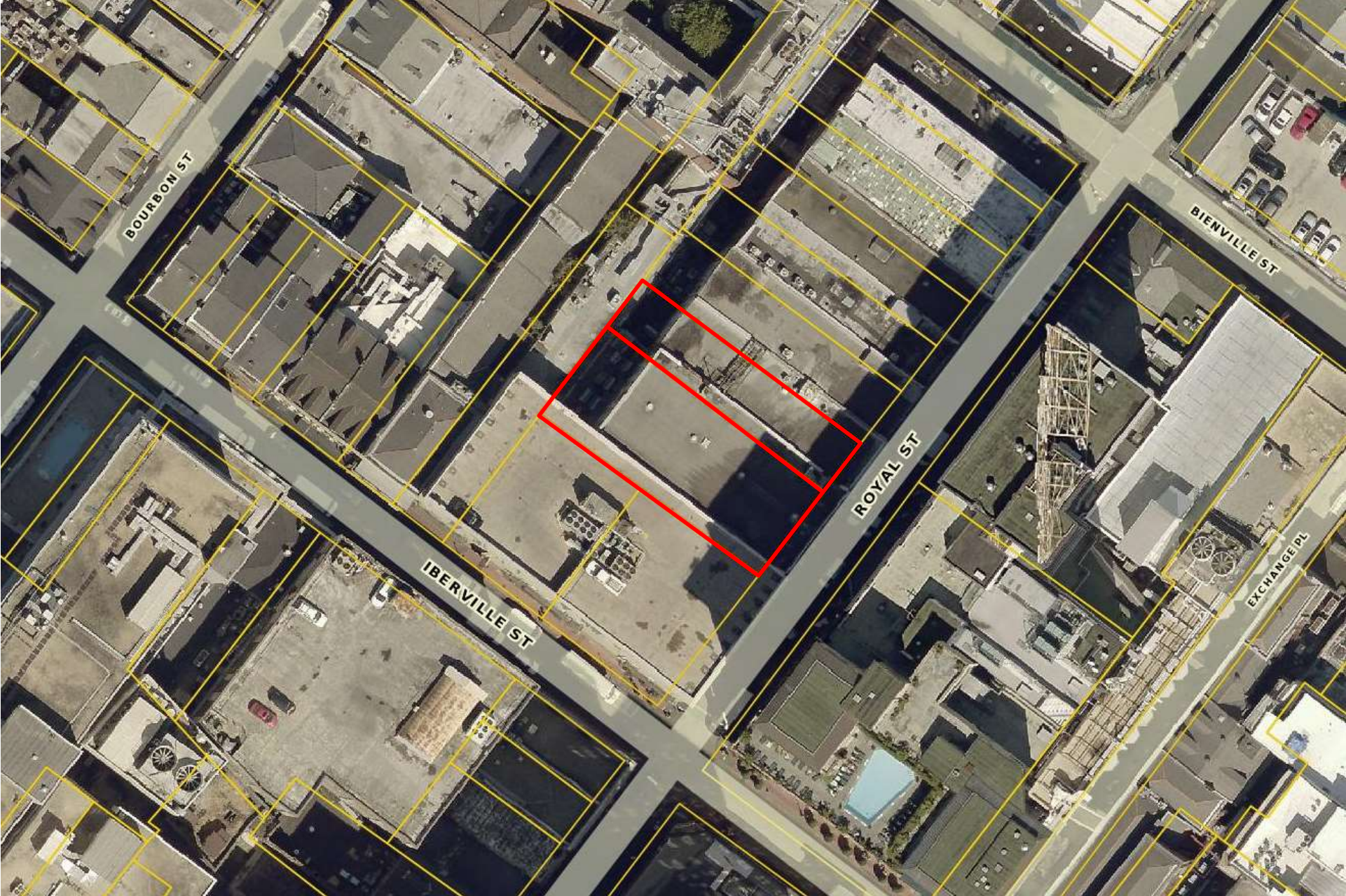


2111-19 Royal



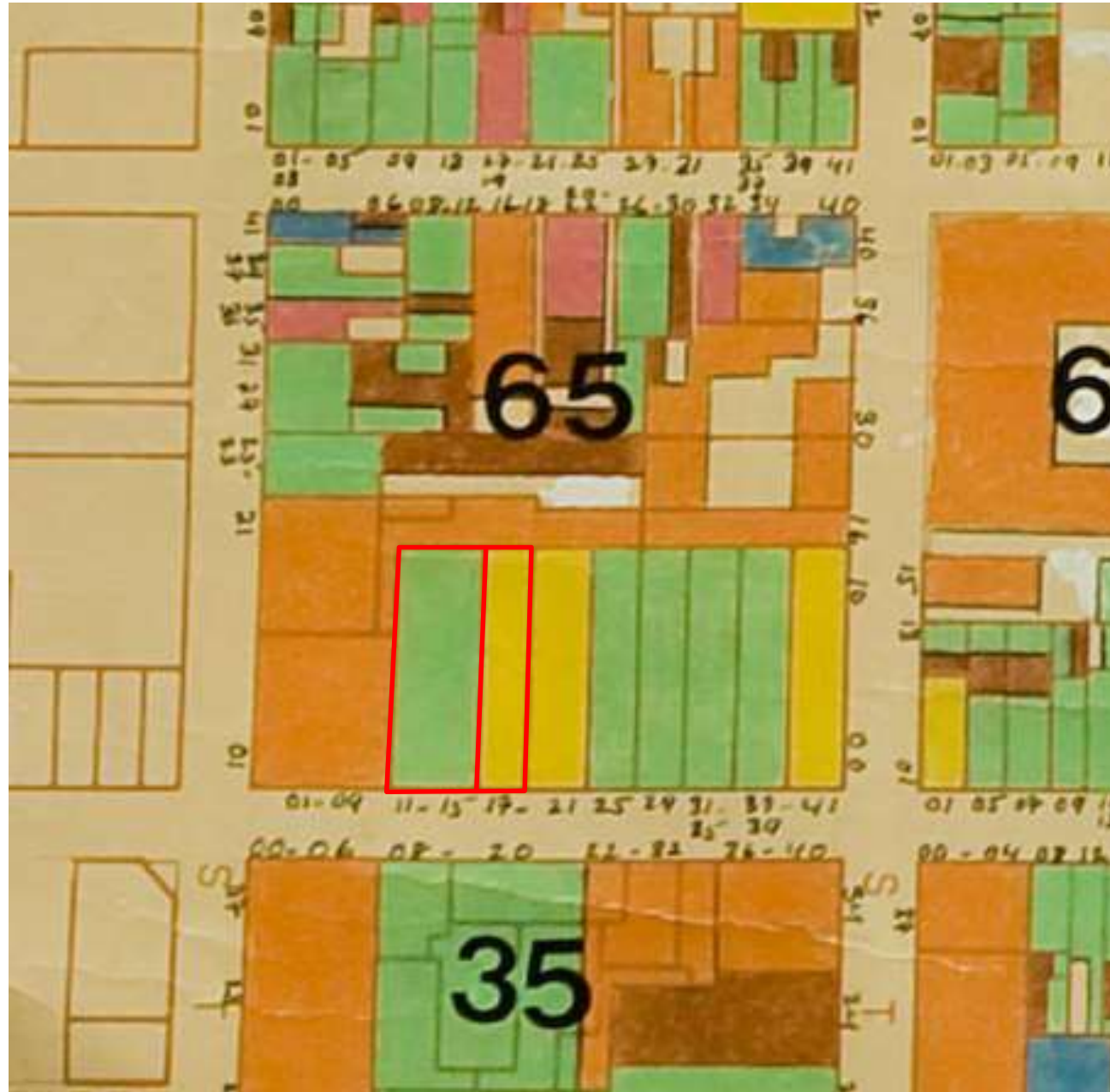
211-15 & 217-19 Royal





211-15 & 217-19 Royal





211-15 & 217-19 Royal





211-15 & 217-19 Royal



211-15 & 217-19 Royal

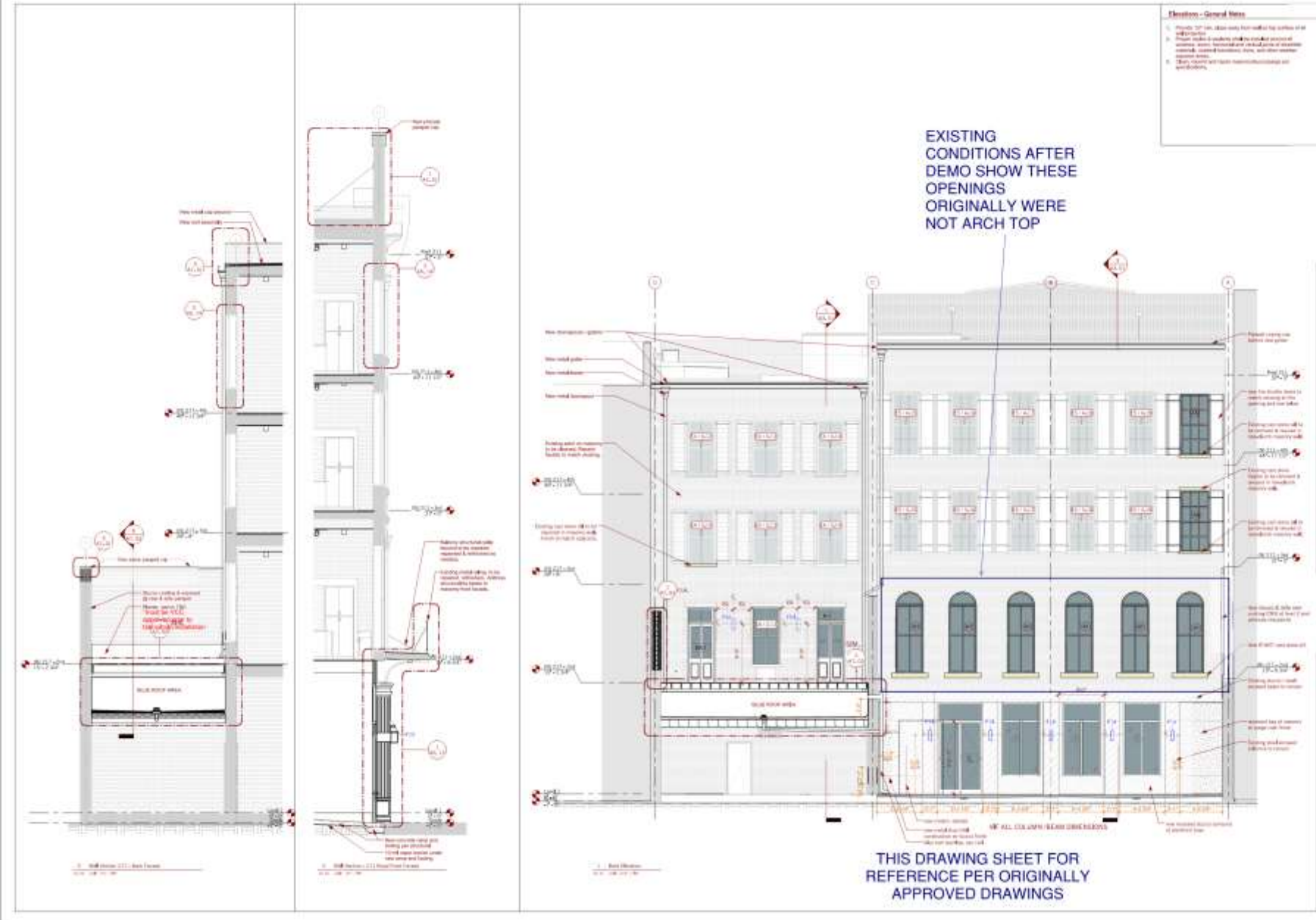


211-15 & 217-19 Royal

Vieux Carre Commission

April 4, 2018





211-219 Royal Street
New Orleans, Louisiana

TO INDEX

APPROVED

Document
Drawings & All
Details

Sheet No. 2017

A2.02

211-15 & 217-19 Royal

Vieux Carre Commission

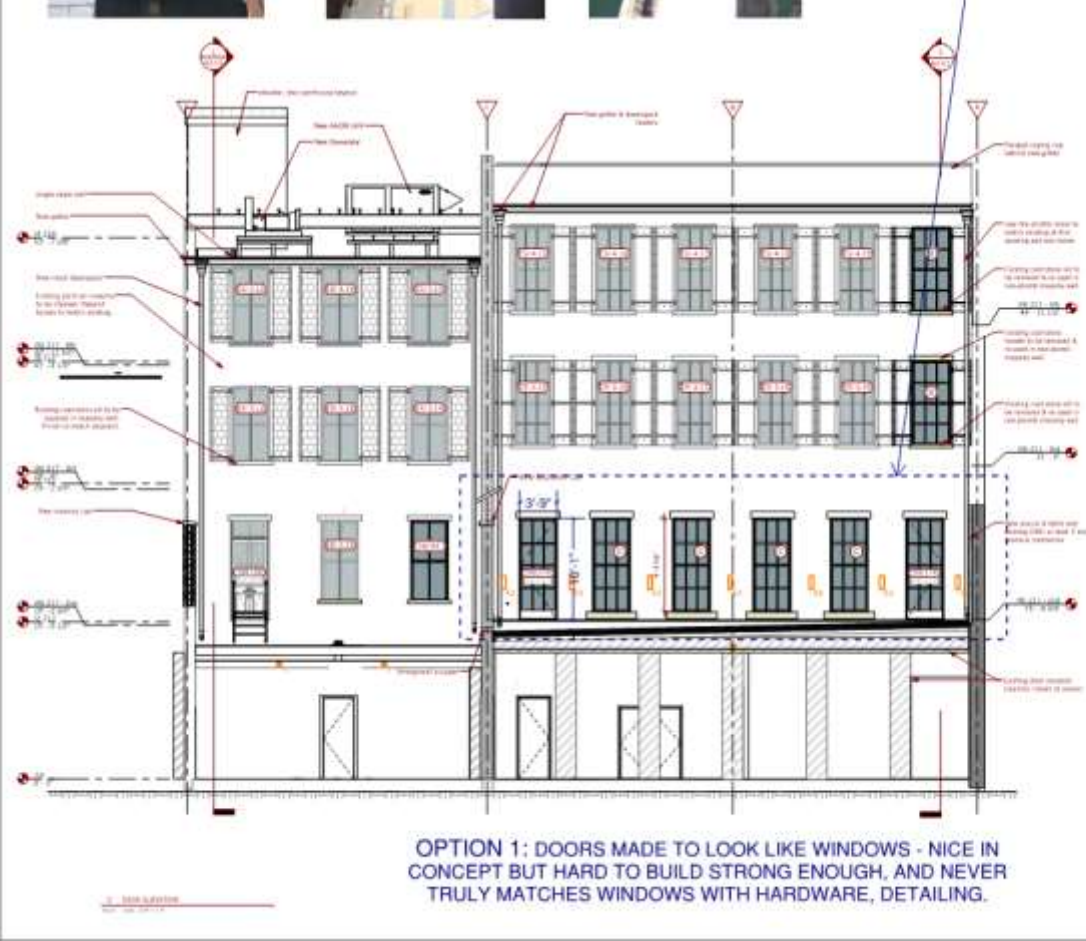
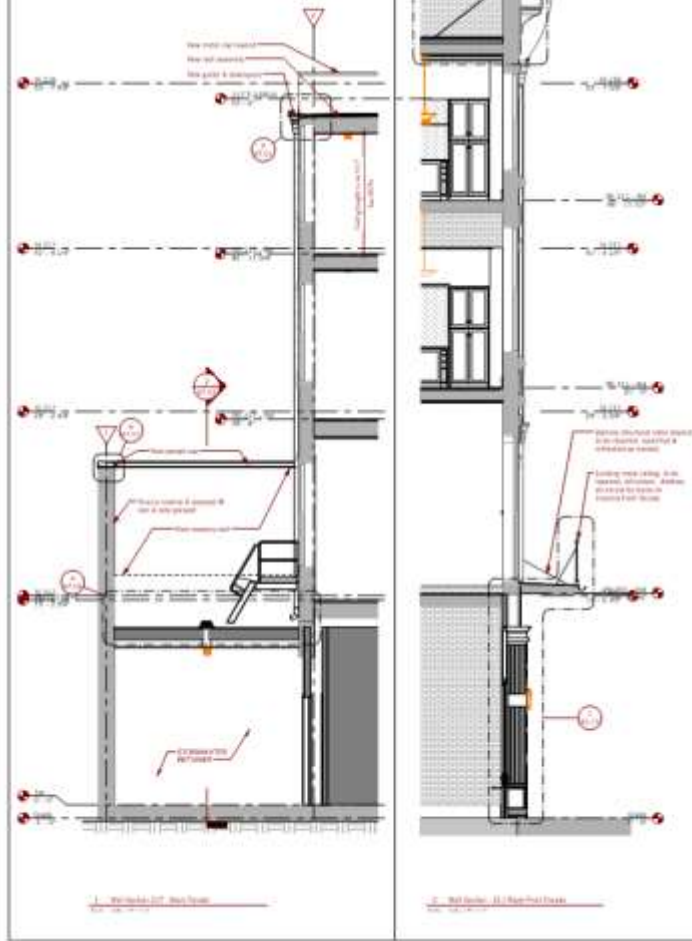
April 4, 2018



- Elevations - General Notes**
1. Masonry 12" from top edge of frame and top surface of sill and apron.
 2. Frame shall be custom built to match as close as possible stone, butted masonry joint of concrete masonry masonry wall. No cast stone masonry required.
 3. Frame shall not have masonry or stone veneer on exterior walls through and to the masonry structure.



**REVISED OPENINGS -
BASED ON DISCOVERIES
DURING DEMO - ORIGINAL
OPENINGS GO TO EXISTING
GRANITE HEADERS - NOT
ARCH TOP**

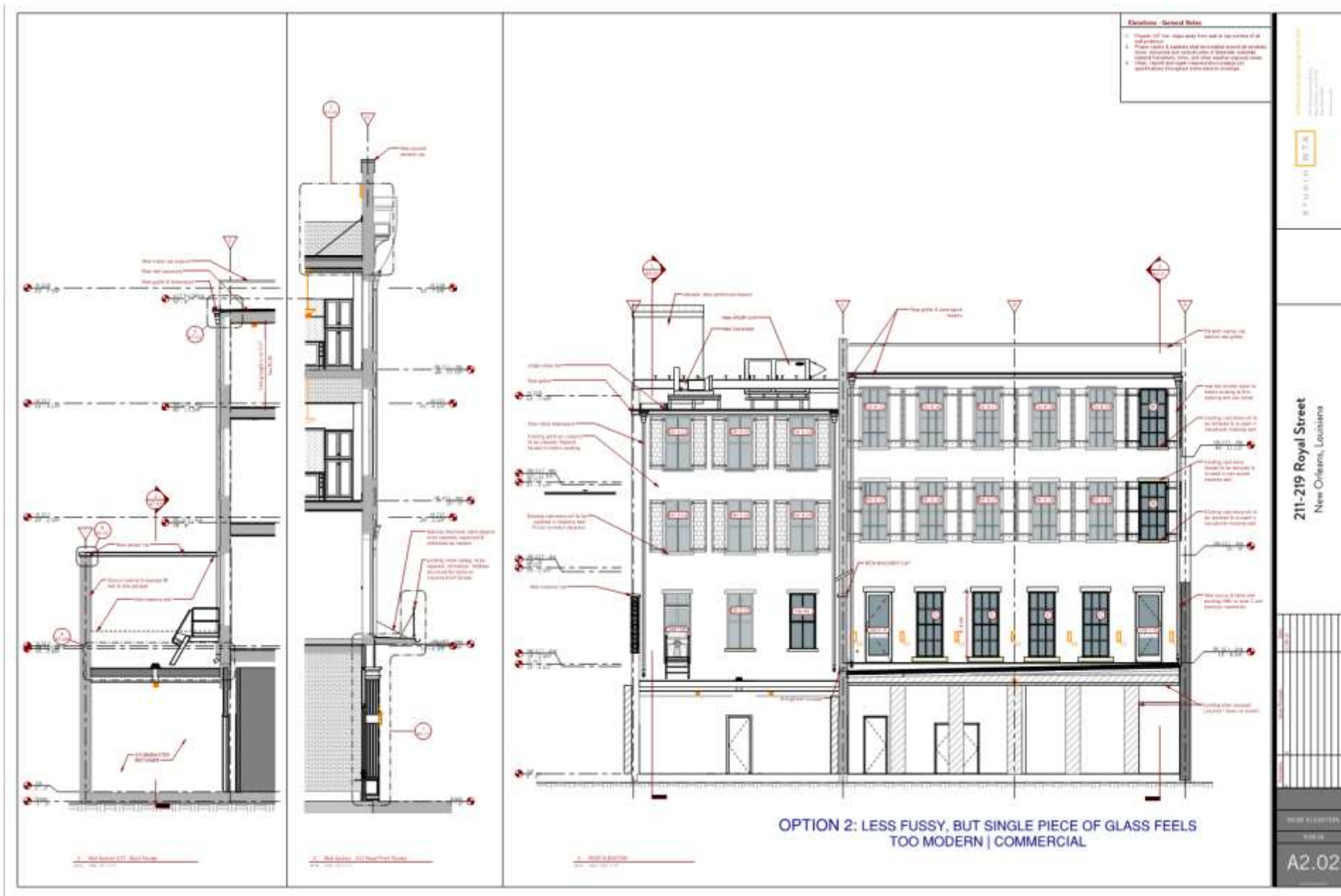


**211-219 Royal Street
New Orleans, Louisiana**



A2.02



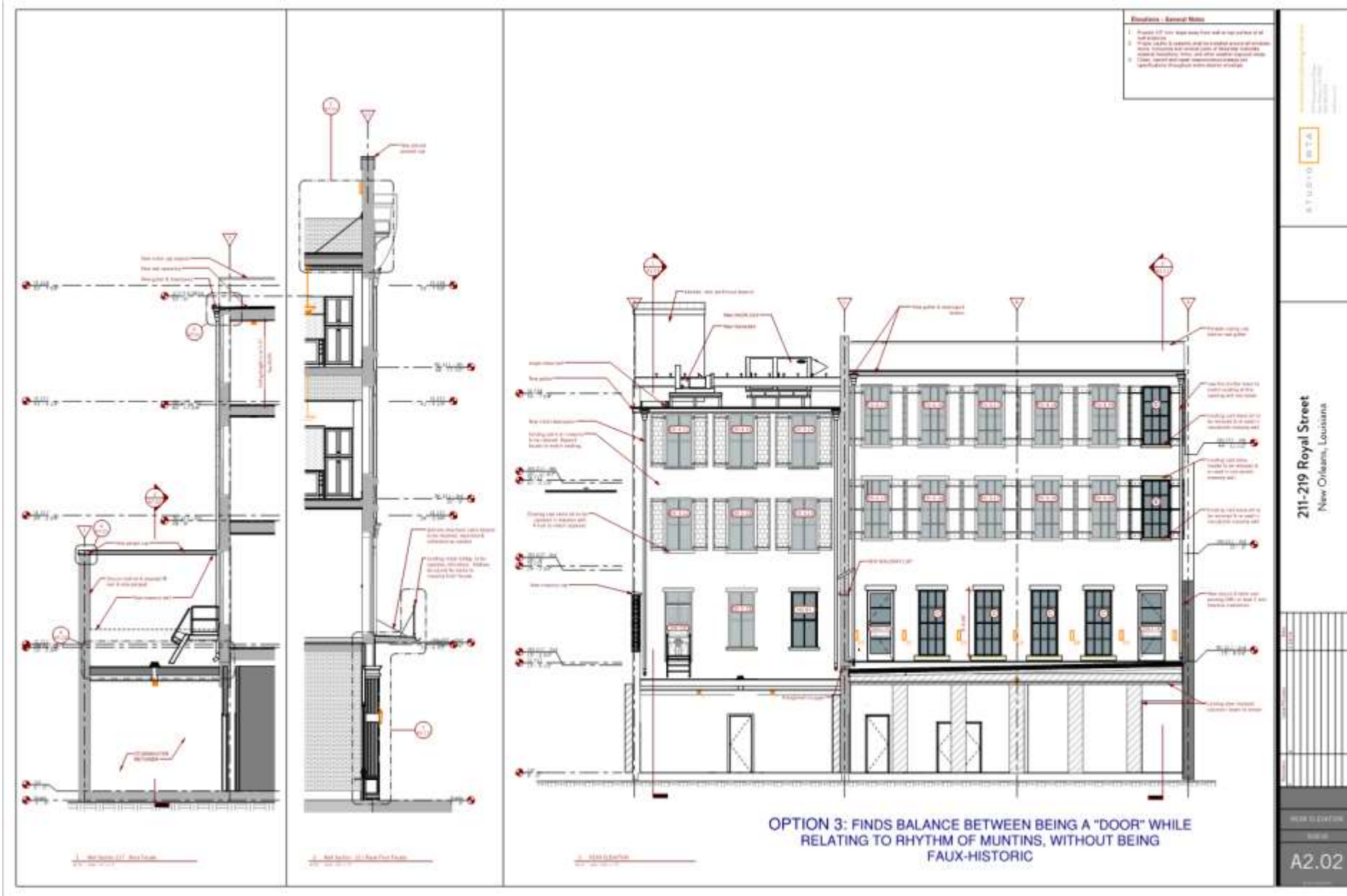


211-15 & 217-19 Royal

Vieux Carre Commission

April 4, 2018





211-15 & 217-19 Royal

Vieux Carre Commission

April 4, 2018





10/2/2018 4:29:17 PM

211 DECK
57'-9 1/2"

- WOOD SLAT AWNING + SURROUND WITH STANDING SEAM ROOFING
- GRAY POWDER COATED STEEL RAILING ASSEMBLY WITH WOOD TOP RAIL TO MATCH AWNING - SEE DETAILS
- GRAY PREFINISHED METAL COPING TO MATCH RAILING

STUDIO WTA
 architecture + planning + interior
 1119 Tchoupoula Street
 New Orleans, LA 70130
 504.599.9074 (tel)
 www.studiowta.com

211 - 219 ROYAL STREET
 New Orleans, Louisiana

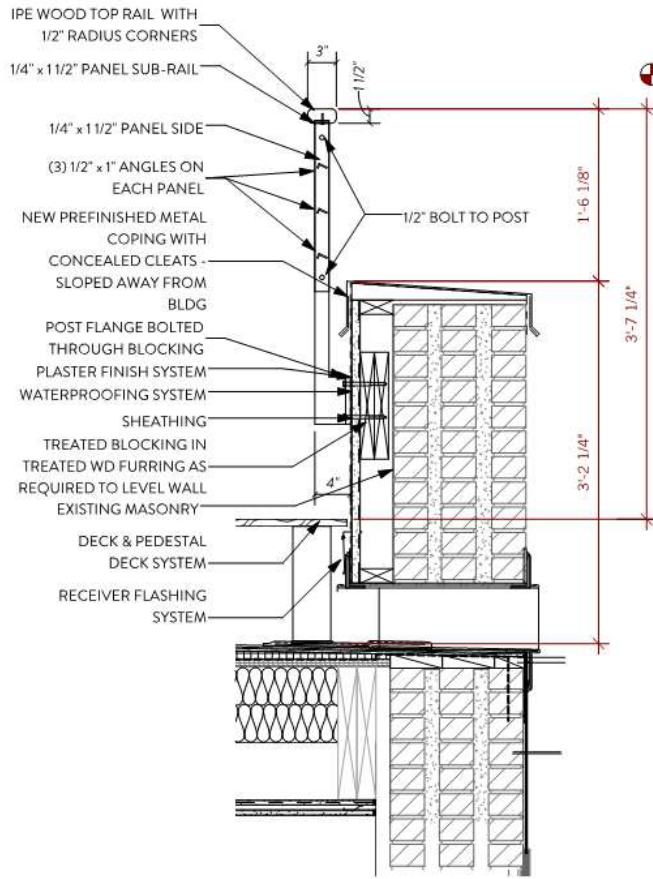
SHEET SIZE: 11" x 17"
 CONSTRUCTION
 ADMINISTRATION
 ELEVATION - REAR
 RAILING
 scale: 1/4" = 1'-0"

09.17.18

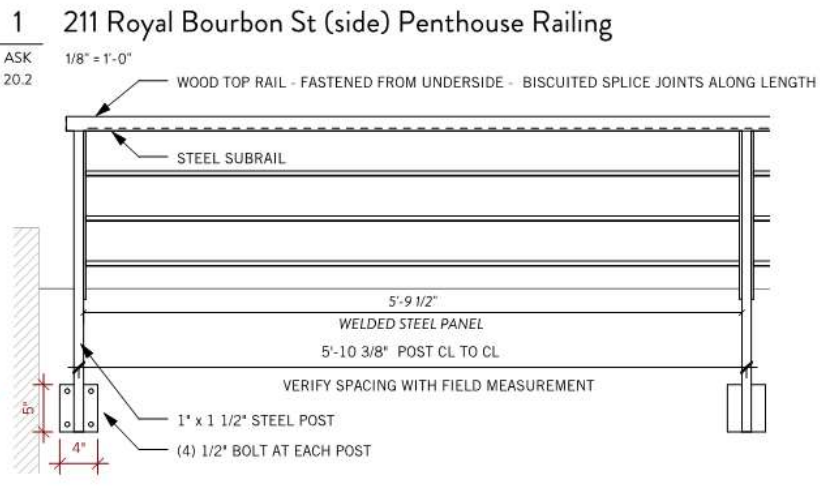
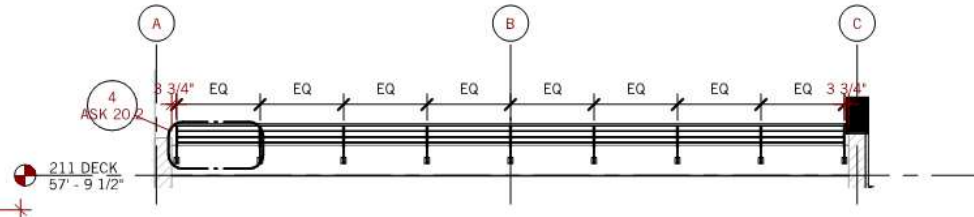
ASK
20.1
 © 2018 studioWTA



10/2/2018 4:29:19 PM

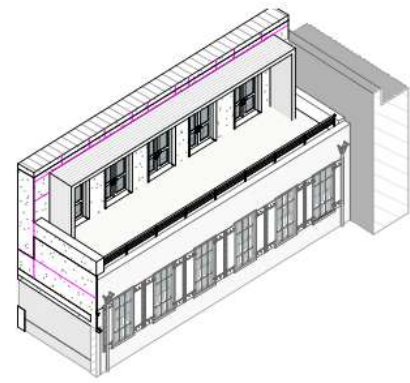


2 Bourbon St Railing Section
 ASK 1" = 1'-0"
 20.2



4 Railing Panel Elevation
 ASK 1" = 1'-0"
 20.2

ALL STEEL ELEMENTS POWDER COATED TO MATCH COPING - SLATE GRAY

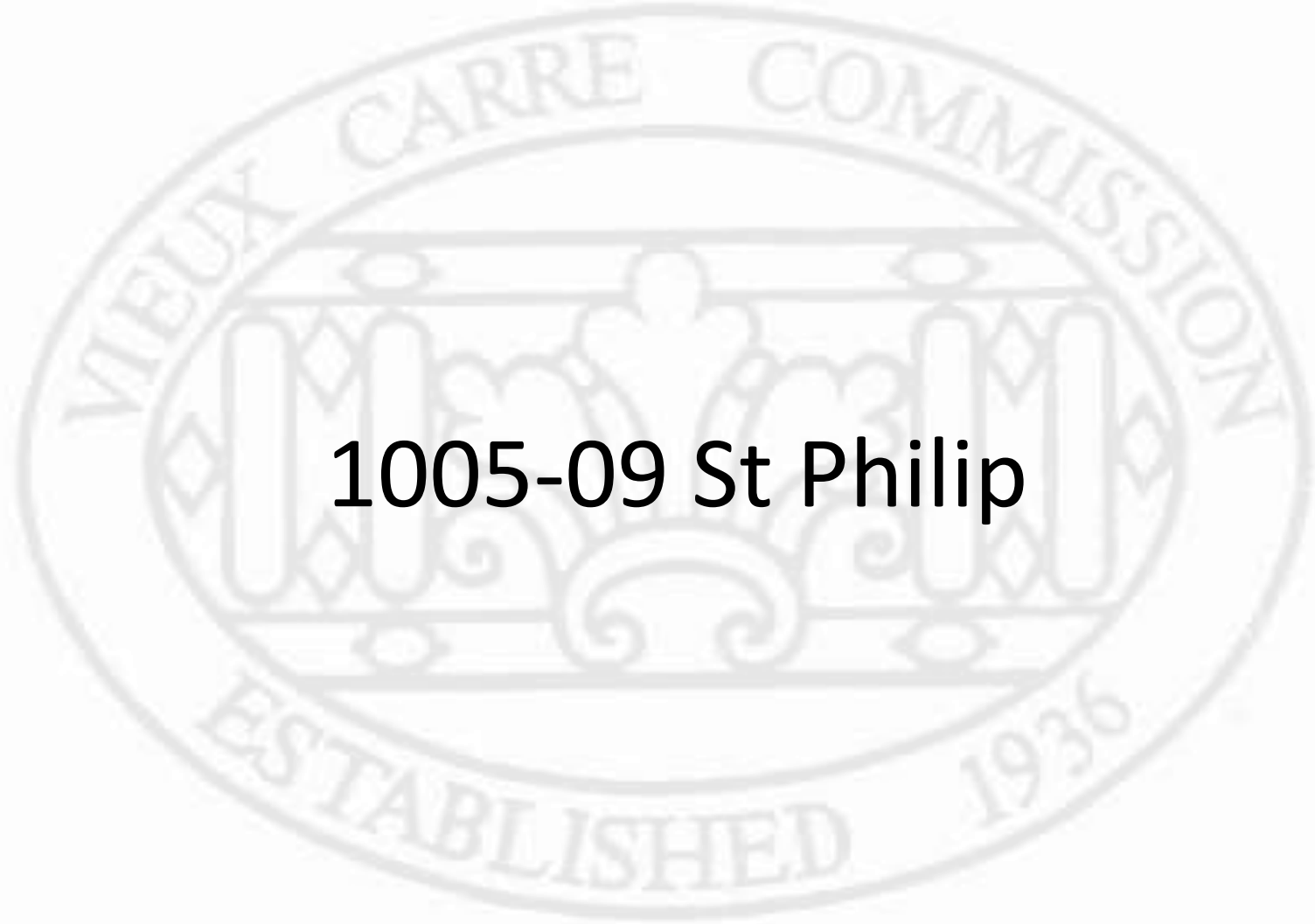


STUDIO WTA
 architecture + planning + interiors
 1119 Pictoupius Street
 New Orleans, LA 70130
 504.593.9274
 www.studiowta.com

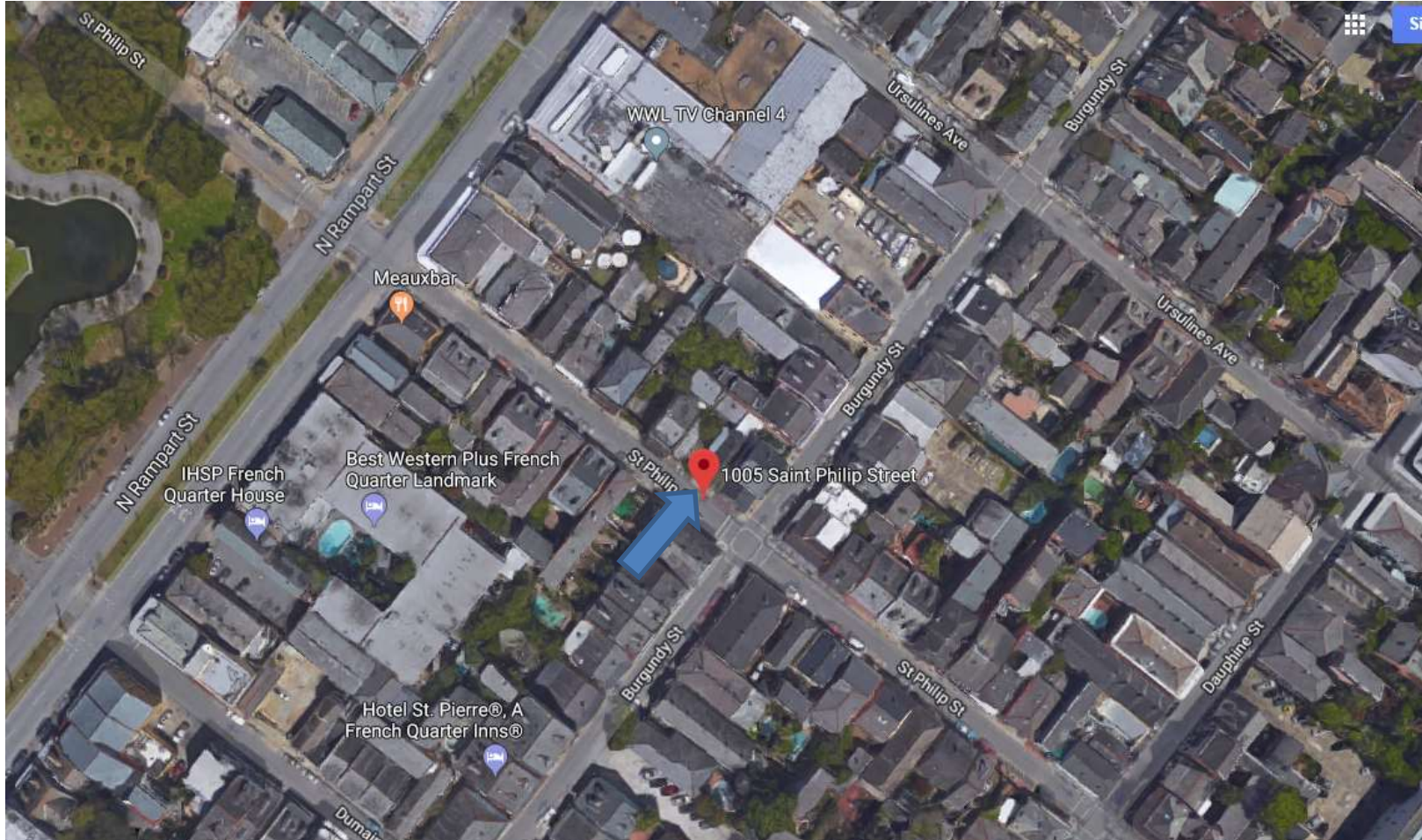
211 - 219 ROYAL STREET
 New Orleans, Louisiana

SHEET SIZE: 11" x 17"
 CONSTRUCTION ADMINISTRATION
 RAILING AT PENTHOUSE
 scale: As indicated
 09.17.18
ASK 20.2
 © 2018 studioWTA

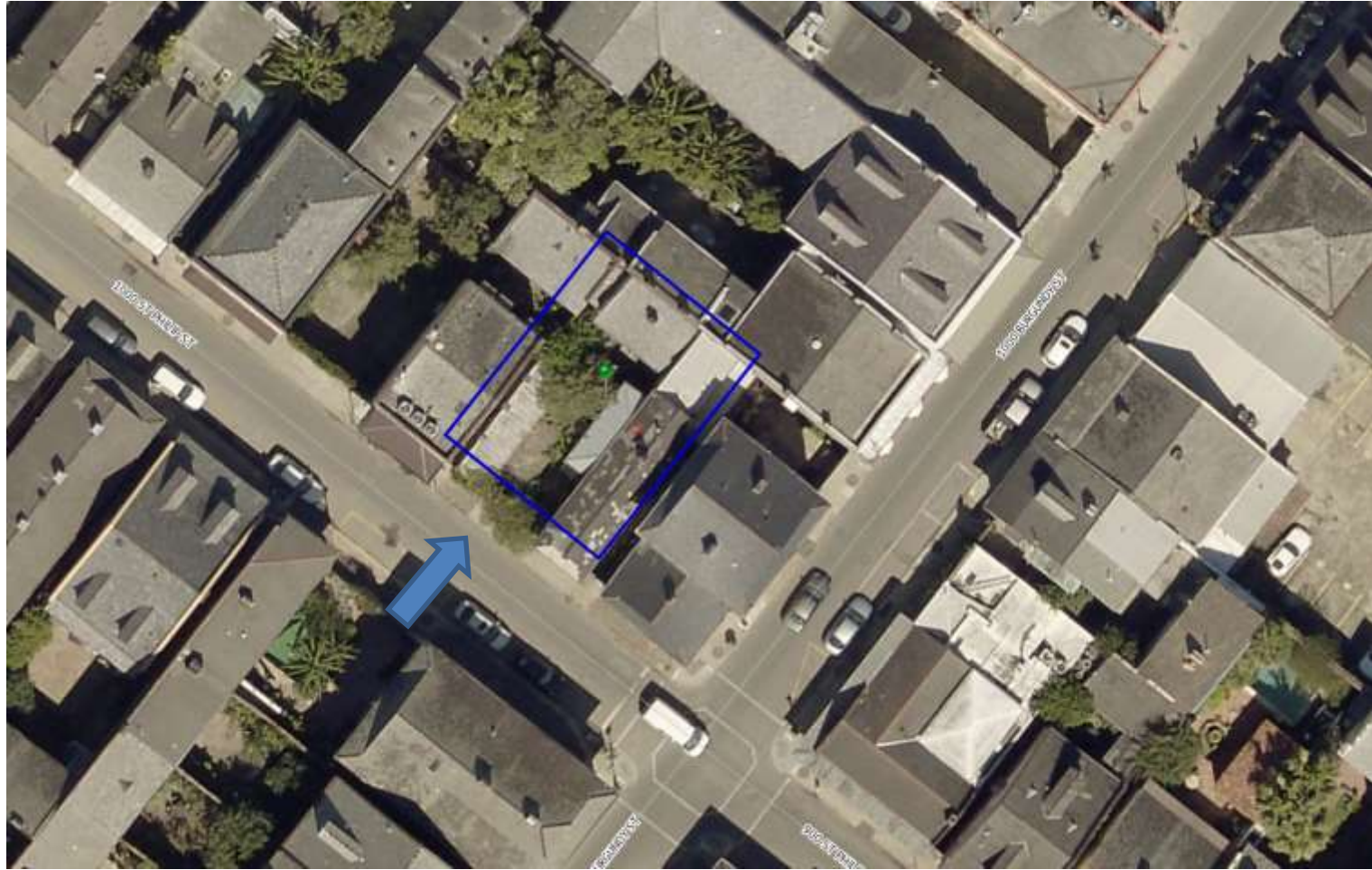




1005-09 St Philip



1005-09 St Philip



1005-09 St Philip



1005-09 St Philip



1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018



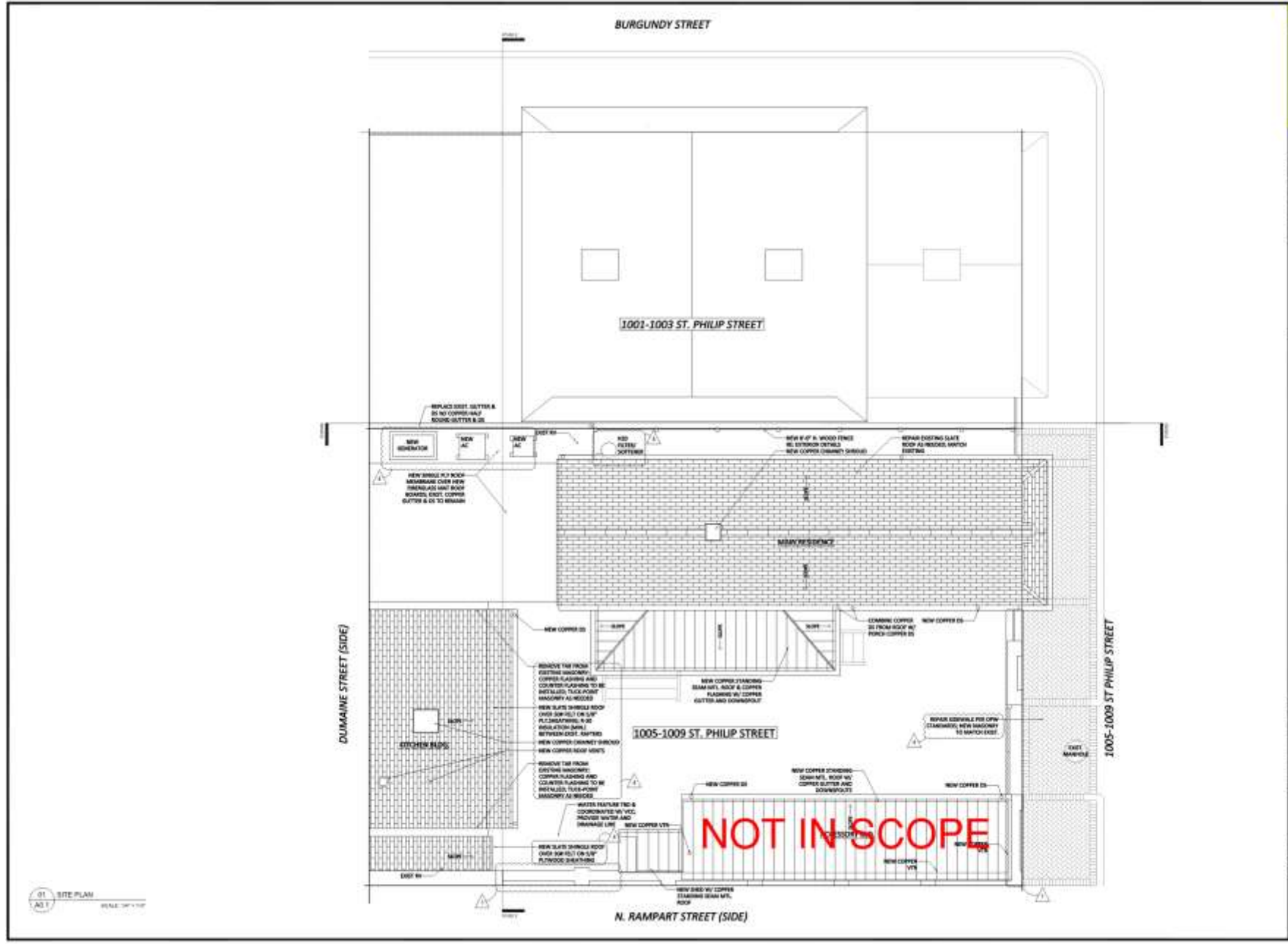


1005-09 St Philip

Vieux Carre Commission

July 5, 2018





01 SITE PLAN
SCALE: 1/8" = 1'-0"



ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS DESIGN MANUAL AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE ORDINANCES.

THE CITY OF NEW ORLEANS WILL BE PROVIDING PERMITS FOR THIS PROJECT. THE PERMITTING OFFICE WILL BE PROVIDING ALL NECESSARY CITY OF NEW ORLEANS FORMS AND FEES.



1005-09 ST. PHILIP ST.
1009 SAINT PHILIP STREET
NEW ORLEANS, LA 70116

RENOVATIONS TO 1009 ST. PHILIP ST. 1009 Saint Philip Street New Orleans, LA 70116

-REVISIONS-

No.	Date	Scope
1	8/12/18	Owner Revisions
2	8/25/18	Owner Revisions
3	7/10/19	VCC Revisions
4	7/16/19	Owner Revisions

SITE PLAN/ROOF PLAN

Drawn by: LJM
 P-10140 PERMIT
 DATE: 8/12/18
 SHEET NO. 1005-09

A0.1





W
ARCHITECTS
1000 PINE STREET
NEW ORLEANS, LA 70116

This drawing and specifications were prepared by the architect and are subject to the provisions of the Louisiana Professional Land Surveyor Act and the Louisiana Professional Engineer Act. The architect is not responsible for the accuracy of the information provided by the client.



WILLIAM J. PHILLIPS
ARCHITECT
1000 PINE STREET
NEW ORLEANS, LA 70116

**RENOVATIONS TO
1009 ST. PHILIP ST.**
1009 Saint Philip Street
New Orleans, LA 70116

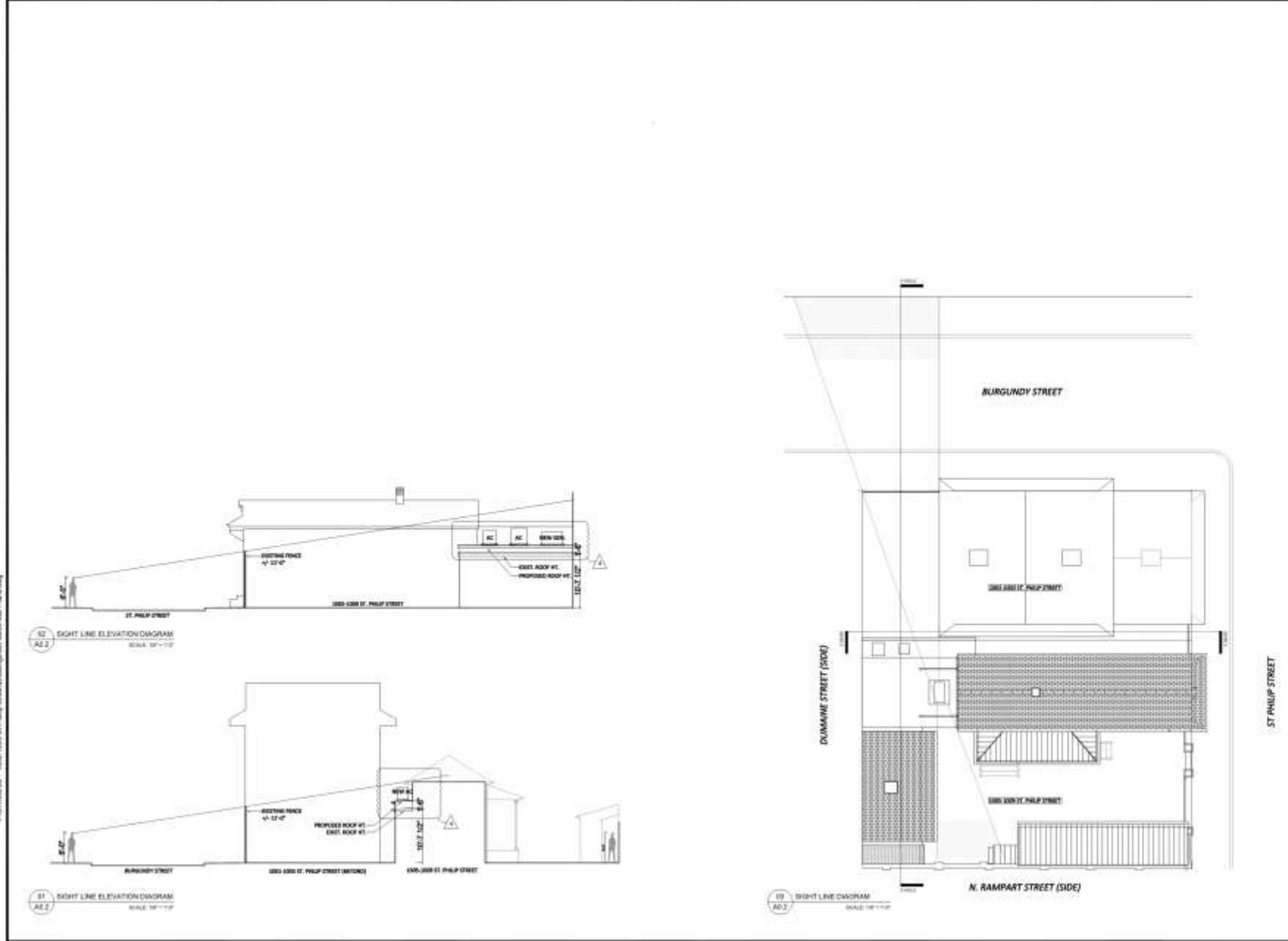
-REVISIONS-

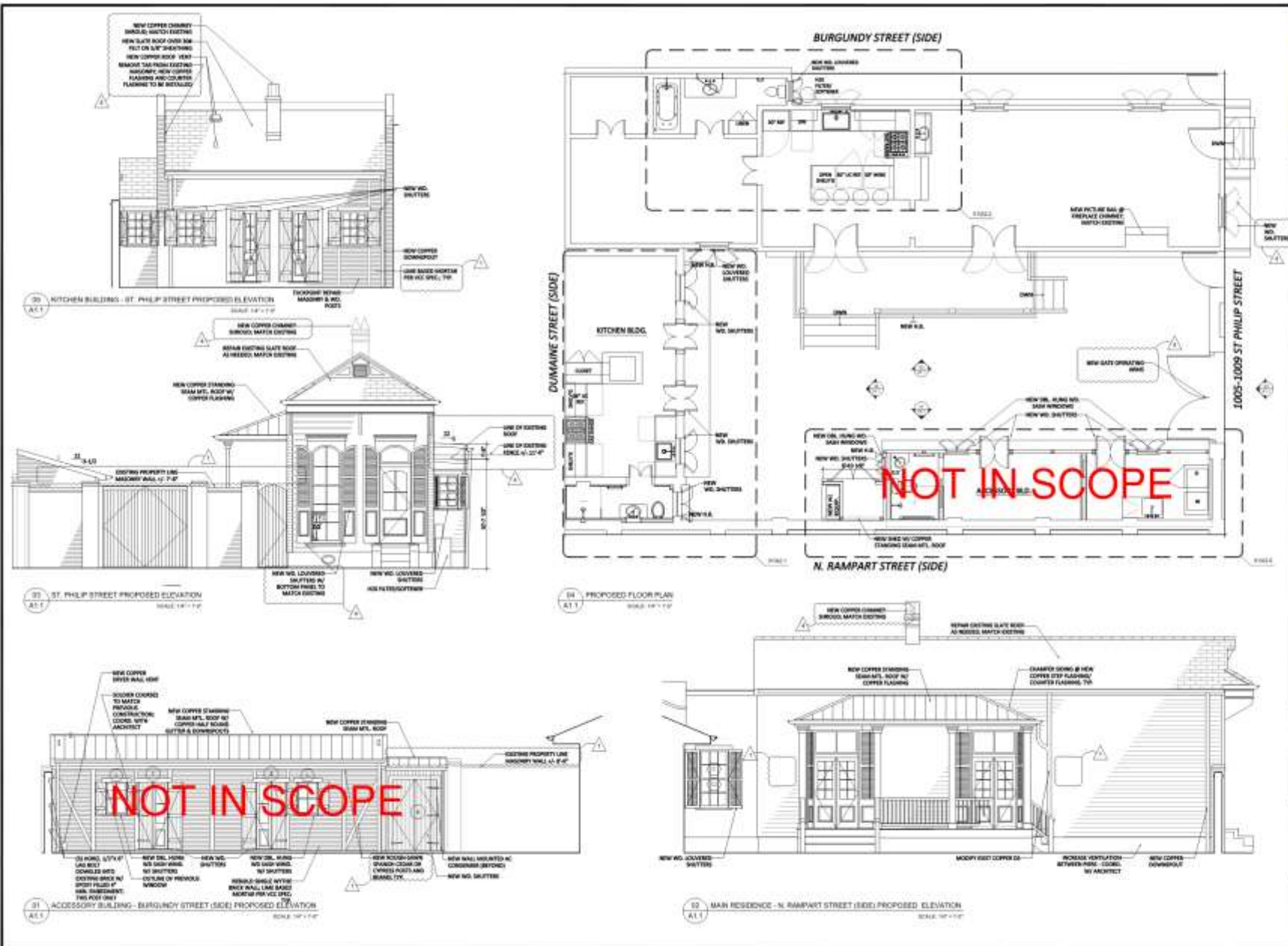
No.	Date	Scope
1	8.12.16	Owner Revisions
2	8.25.16	Owner Revisions
3	7.12.16	VCC Revisions
4	7.18.16	Owner Revisions

SIGHT LINE DIAGRAM

DATE: 7/5/18
JOB NO: 1700018
SHEET: 25 OF 28

Sheet No
A0.2





W
 ARCHITECTURE & PLANNING, INC.
 1005-1009 ST. PHILIP STREET
 NEW ORLEANS, LA 70116
 TEL: 504.581.1111
 WWW.WARCHITECT.COM



Prepared by:
 W. Andrew Williams

**RENOVATIONS TO
 1009 ST. PHILIP ST.**
 1009 Saint Philip Street
 New Orleans, LA 70116

REVISIONS

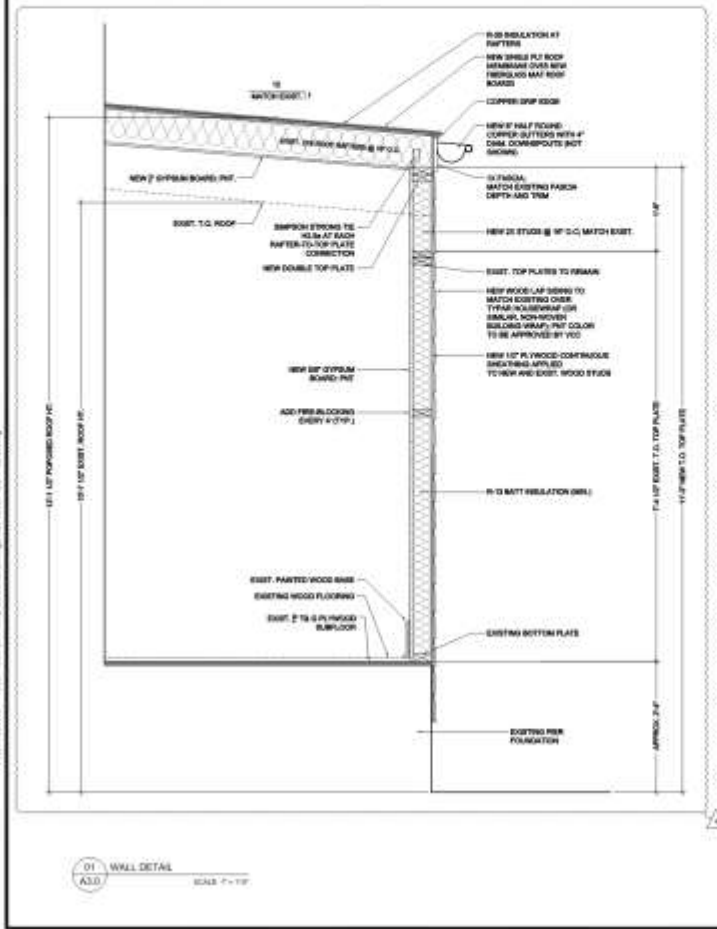
No.	Date	Scope
1	3.13.18	Owner Revisions
2	6.25.18	Owner Revisions
3	7.13.18	VEC Revisions
4	7.16.18	Owner Revisions

PROPOSED FLOOR PLAN & EXTERIOR ELEVATIONS

DRAWING BY: L.W.
 DATE: 2/28/18
 CHECKED BY: W.A.W.
 SCALE: 1/8" = 1'-0"

A1.1





01 WALL DETAIL
A3.0
SCALE: 1/4" = 1'-0"



These drawings and specifications shall be taken in full and shall be construed in accordance with the standards of professional practice and shall comply with applicable building codes.



Copyright © 2018
All Rights Reserved

**RENOVATIONS TO
1009 ST. PHILIP ST.**
1009 Saint Philip Street
New Orleans, LA 70116

-REVISIONS-

No.	Date	Scope
1	6.12.18	Owner Revisions
2	6.26.18	Owner Revisions
3	7.10.18	VCC Revisions
4	7.16.18	Owner Revisions

WALL SECTIONS & ROOF DETAILS

OWNER: C.J.S.
PHASE: PERMIT
DATE: 5/15/18
DATE: 10/11/18

Sheet No.
A3.0





ARCHITECTURAL DIVISION OF
JEFFERSON PARISH
NEW ORLEANS, LOUISIANA

This drawing and specifications have been prepared and issued by the Architectural Division of the Parish of Orleans, Louisiana. It is the responsibility of the contractor to verify all conditions, measurements and details on-site before work begins.

Not for construction without the approval of the Architectural Division of the Parish of Orleans, Louisiana.



Copyright © 2017
Jefferson Parish, Louisiana

**RENOVATIONS TO
1009 ST. PHILIP ST.**
1009 Saint Philip Street
New Orleans, LA 70116

REVISIONS-

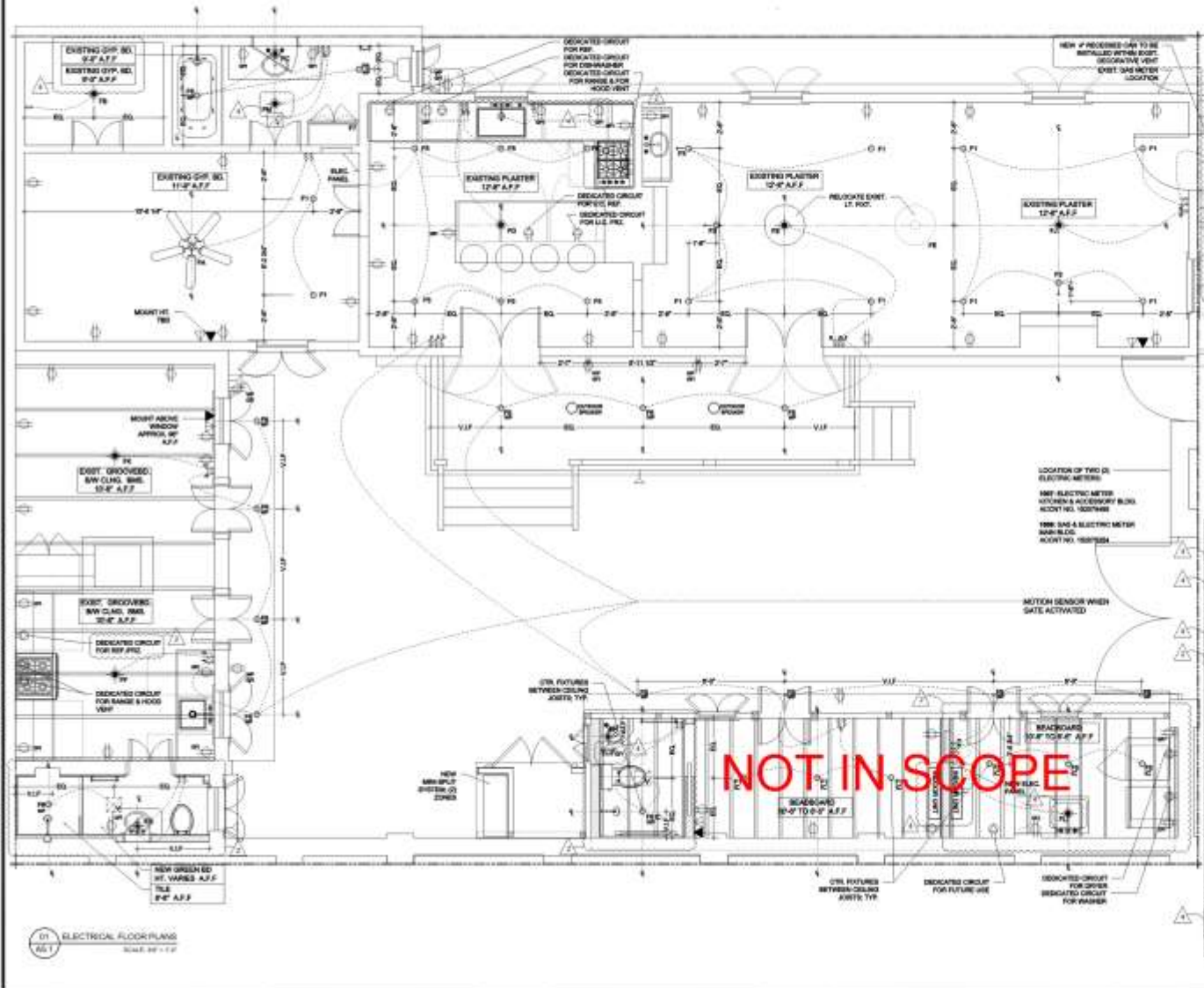
No.	Date	Revised
1	5.12.18	Owner Revisions
2	6.25.18	Owner Revisions
3	7.13.18	ISS Revisions
4	7.13.18	Owner Revisions

REFLECTED CDS (NO
PLAN & ELECTRICAL
LAYOUT)

DRAWING BY
PAGE 102447
JOB NO. 57550.00
DATE 03.09.15

Sheet No.

A5.1



- ELECTRICAL NOTES:**
1. ALL LIGHT FIXTURES TO BE DIRECTLY WIRED TO SWITCHES
 2. ALL OUTLETS AND ELECTRICAL EQUIPMENT ARE SHOWN APPROXIMATELY LOCATED
 3. EACH APPLIANCE TO HAVE DEDICATED-CIRCUIT AMPERAGE, VOLTAGE, AND GFCI AS NOTED
 4. FIXTURES ARE TO BE CENTERED IN ROOM UNLESS OTHERWISE NOTED
 5. PROVIDE AND LABEL PROTECTORS AT ALL BEDROOMS
 6. SMOKE DETECTORS TO BE INSTALLED IN AND DIRECTLY OUTSIDE OF ALL BEDROOMS. SMOKE DETECTOR IN HALLWAY + INSTALLED OUTSIDE OF BEDROOMS TO BE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. INSTALL ONE CARBON MONOXIDE DETECTOR ON EACH FLOOR
 7. ELECTRICIAN TO COORDINATE WITH HVAC CONTRACTOR TO LOCATE AND PROVIDE APPROPRIATE POWER FOR HVAC EQUIPMENT AND ACCESSORIES
 8. COORDINATE REFRIGERATOR SWITCH HEIGHTS WITH KITCHEN ELEVATIONS (REFER ARCHITECT)

ELECTRIC SYMBOL LEGEND

SYMBOL	DESCRIPTION
(Symbol)	2-PHASE RECEPTACLE - 250AMP, 2 POLE, 300 VOLT MOUNT @ 12\"/>

FIXTURE SCHEDULE

ROOM	DESCRIPTION	MANUFACTURER/MODEL #	QTY	COMMENTS
F1	1\"/>			
F2	1\"/>			
F3	1\"/>			
F4	1\"/>			
F5	1\"/>			
F6	1\"/>			
F7	1\"/>			
F8	1\"/>			
F9	1\"/>			
F10	1\"/>			
F11	1\"/>			
F12	1\"/>			
F13	1\"/>			
F14	1\"/>			
F15	1\"/>			
F16	1\"/>			
F17	1\"/>			
F18	1\"/>			
F19	1\"/>			
F20	1\"/>			
F21	1\"/>			
F22	1\"/>			
F23	1\"/>			
F24	1\"/>			
F25	1\"/>			
F26	1\"/>			
F27	1\"/>			
F28	1\"/>			
F29	1\"/>			
F30	1\"/>			
F31	1\"/>			
F32	1\"/>			
F33	1\"/>			
F34	1\"/>			
F35	1\"/>			
F36	1\"/>			
F37	1\"/>			
F38	1\"/>			
F39	1\"/>			
F40	1\"/>			
F41	1\"/>			
F42	1\"/>			
F43	1\"/>			
F44	1\"/>			
F45	1\"/>			
F46	1\"/>			
F47	1\"/>			
F48	1\"/>			
F49	1\"/>			
F50	1\"/>			
F51	1\"/>			
F52	1\"/>			
F53	1\"/>			
F54	1\"/>			
F55	1\"/>			
F56	1\"/>			
F57	1\"/>			
F58	1\"/>			
F59	1\"/>			
F60	1\"/>			
F61	1\"/>			
F62	1\"/>			
F63	1\"/>			
F64	1\"/>			
F65	1\"/>			
F66	1\"/>			
F67	1\"/>			
F68	1\"/>			
F69	1\"/>			
F70	1\"/>			
F71	1\"/>			
F72	1\"/>			
F73	1\"/>			
F74	1\"/>			
F75	1\"/>			
F76	1\"/>			
F77	1\"/>			
F78	1\"/>			
F79	1\"/>			
F80	1\"/>			
F81	1\"/>			
F82	1\"/>			
F83	1\"/>			
F84	1\"/>			
F85	1\"/>			
F86	1\"/>			
F87	1\"/>			
F88	1\"/>			
F89	1\"/>			
F90	1\"/>			
F91	1\"/>			
F92	1\"/>			
F93	1\"/>			
F94	1\"/>			
F95	1\"/>			
F96	1\"/>			
F97	1\"/>			
F98	1\"/>			
F99	1\"/>			
F100	1\"/>			

NOT IN SCOPE



HCA7

QuietComfort® DXT+

Product Specifications

HIGH EFFICIENCY 17 SEER TWO-STAGE AIR CONDITIONER WITH OBSERVER® COMMUNICATING CONTROL SYSTEM

2 THRU 5 TONS SPLIT SYSTEM

208/230 Volt, 1-phase, 60 Hz

REFRIGERATION CIRCUIT

- Copeland Scroll® Ultratech™ compressors on all models
- Filter-drier supplied with every unit for field installation
- External high and low refrigerant service ports
- High and low pressure switches
- Copper tube / aluminum fin coil

PERFORMANCE

- Self-configuring installation capabilities when used with Observer® Wall Control
- Outdoor temperature sensor factory installed (for use with Observer Wall Control only)
- Ball Bearing PSC fan motors on all models
- High performance compressor sound shield standard
- Isolation compressor grommets

EASY TO INSTALL AND SERVICE

- Text based diagnostics with Observer® Wall Control
- Only 2 control wires required from communicating indoor unit to condenser
- Easy access service valves on all models
- Innovative control box design
- Only two screws to access control panel
- Factory charged with R-410A refrigerant

BUILT TO LAST

- High gloss, baked-on powder coat finish over galvanized steel
- Post-painted (black) coil fins
- Coated, weather-resistant cabinet screws
- Coated inlet grille with 3/8" (10mm) spacing for extra protection
- Corner posts for extra strength and style

WARRANTY*

- 10 year No Hassle Replacement™ limited warranty
- 5 year parts limited warranty (including compressor and coil)
 - With timely registration, an additional 5 year parts limited warranty (including compressor and coil)

* Applies to original purchaser/homeowner, some limitations may apply. See Warranty certificate for complete details.



TSTAT0201CW
(Sold Separately)



This product has been designed and manufactured to meet ENERGY STAR criteria for energy efficiency when matched with appropriate coil components. However, proper refrigerant charge and proper air flow are critical to achieve rated capacity and efficiency. Installation of this product should follow the manufacturer's refrigerant charging and air flow instructions. Failure to confirm proper charge and airflow may reduce energy efficiency and shorten equipment life.



Use of the AHRI Certified TM Mark indicates a manufacturer's participation in the program. For verification of certification for individual products, go to www.ahridirectory.org.

Model Number	Size (tons)	Nominal Btu/hr	Min. Circuit Ampacity	Max. Fuse or Breaker	Operating Dimensions height x width x depth in. (mm)	Ship / Operating Weight lbs. (kg)
HCA724GKA	2	24,000	14.5	20	35- 1/2x31- 3/16x31- 3/16 (902x792x792)	222/183 (101/83)
HCA736GKA	3	36,000	19.8	35	35- 1/2x31- 3/16x31- 3/16 (902x792x792)	256/217 (116/98)
HCA748GKA	4	48,000	27.8	40	40- 3/8x35x35 (1026x889x889)	326/283 (148/128)
HCA760GKB	5	60,000	37.3	60	40- 3/8x35x35 (1026x889x889)	327/284 (148/129)

PHYSICAL DATA

Model Size	24	36	48	60
Nominal Cooling Capacity (BTU/hr)	24,000	36,000	48,000	60,000
Sound Rating**, High Stage (dBA)	72	71	72	72
Low Stage (dBA)	71	70	70	72
PSC Fan Motor HP	1/12	1/10	1/4	1/4
Fan RPM	800	825	825	825
Fan CFM	2481	3068	4700	4700
Coil Face Area ft ² (m ²)	19.58	19.38	25.12	25.12
Coil Rows - fins per inch	1- 25	2- 20	2- 20	2- 20
Low Pressure Switch	Open Pressure 50 ± 7 PSIG Close Pressure 95 ± 7 PSIG	Open Pressure 50 ± 7 PSIG Close Pressure 95 ± 7 PSIG	Open Pressure 50 ± 7 PSIG Close Pressure 95 ± 7 PSIG	Open Pressure 50 ± 7 PSIG Close Pressure 95 ± 7 PSIG
Hi Pressure Switch	Open Pressure 670 ± 10 PSIG Close Pressure 470 ± 25 PSIG	Open Pressure 670 ± 10 PSIG Close Pressure 470 ± 25 PSIG	Open Pressure 670 ± 10 PSIG Close Pressure 470 ± 25 PSIG	Open Pressure 670 ± 10 PSIG Close Pressure 470 ± 25 PSIG
Liquid Line Connection Size in. (mm)	3/8 (10)	3/8 (10)	3/8 (10)	3/8 (10)
Vapor Line Connection Size in. (mm)	3/4 (19)	7/8 (22)	7/8 (22)	7/8 (22)
Recommended Line Set Liquid Tube Diameter in. (mm)	3/8 (10)	3/8 (10)	3/8 (10)	3/8 (10)
Recommended Line Set Vapor Tube Diameter in. (mm)*	3/4 (19)*	7/8 (22)*	1- 1/8 (29)*	1- 1/8 (29)*
Factory Charge R- 410A lbs. (kg)	6.64 (3.01)	9.26(4.20)	12.94 (5.87)	12.70 (5.76)
Required Subcooling ° F (° C)	10 (5.6)	14 (7.8)	13 (7.2)	14 (7.8)

* Recommended Vapor Tube Line size is for standard installations. These recommendations may not apply to "Long Line" installations. When the total equivalent line length exceeds 80 feet (24.4m) or there is more than 20 feet (6.1m) vertical separation between indoor and outdoor units, consult the Long Line Application Guideline document before purchasing/ installing line sets.







1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1240 Royal



1240 Royal

VCC Architectural Committee

October 9, 2018





1240 Royal

VCC Architectural Committee

October 9, 2018





1240 Royal

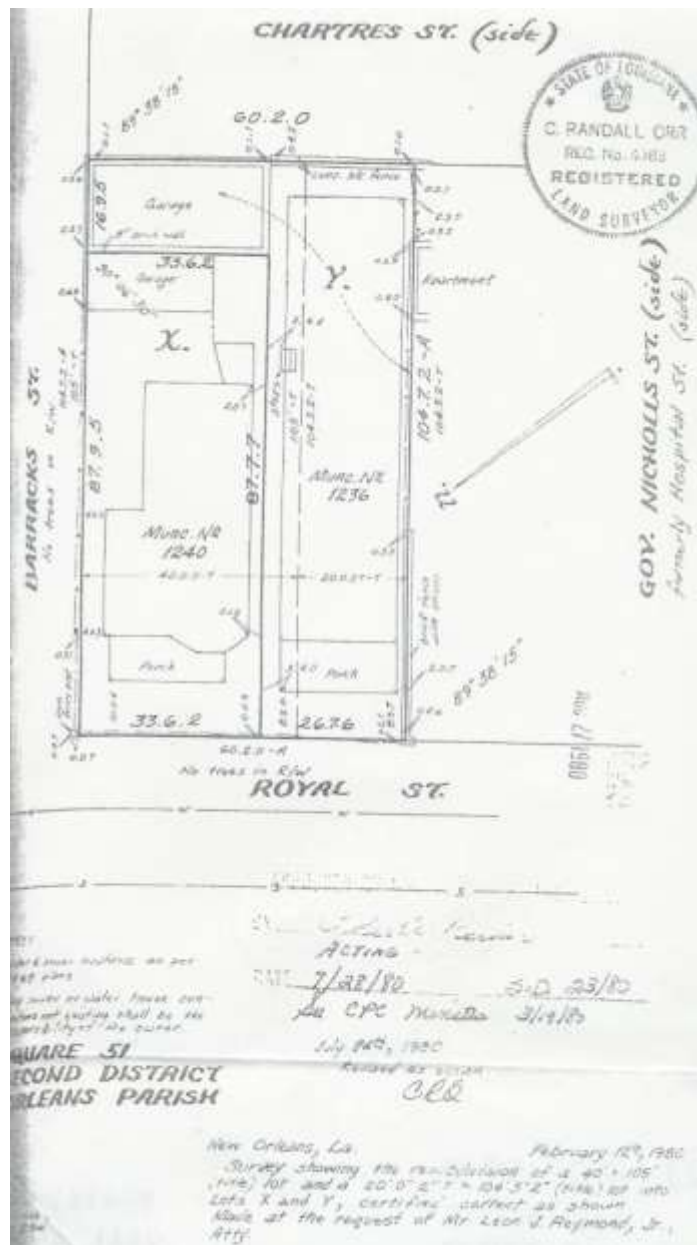
VCC Architectural Committee

October 9, 2018





1240 Royal – 1986 – Prior to rear addition



1240 Royal

VCC Architectural Committee

October 9, 2018





1240 Royal

VCC Architectural Committee

October 9, 2018



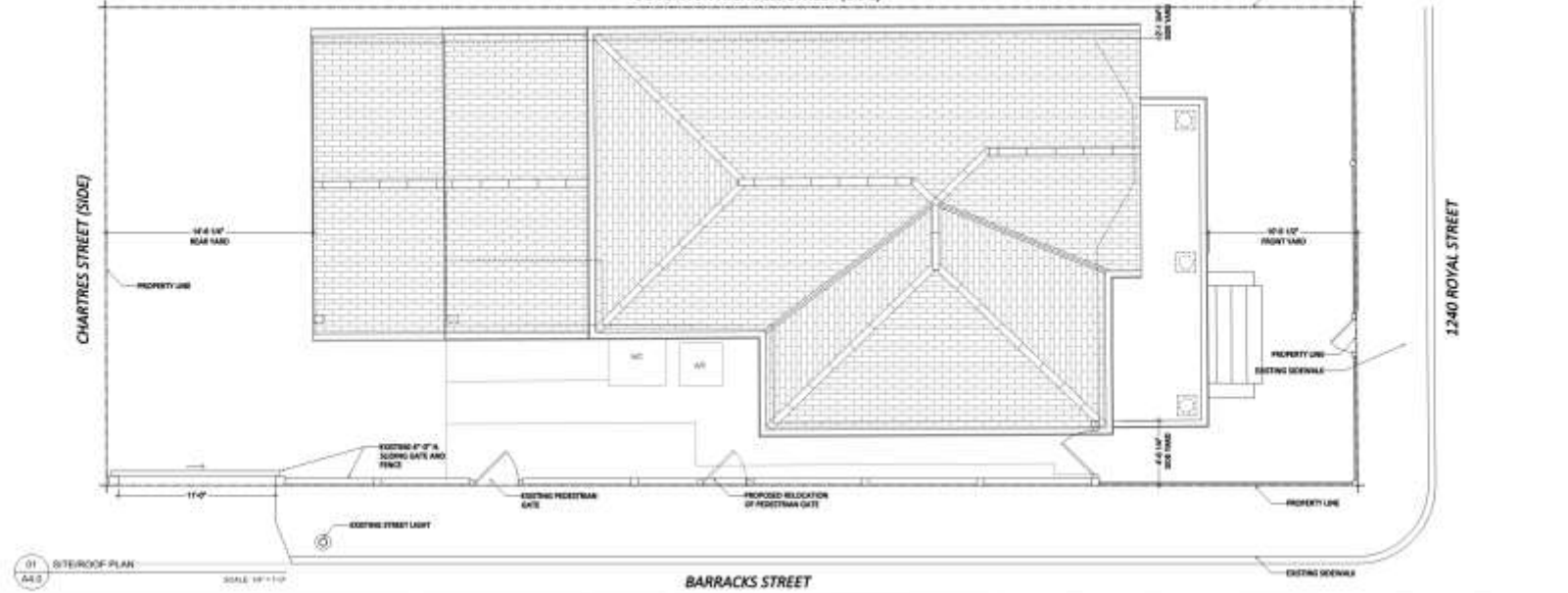
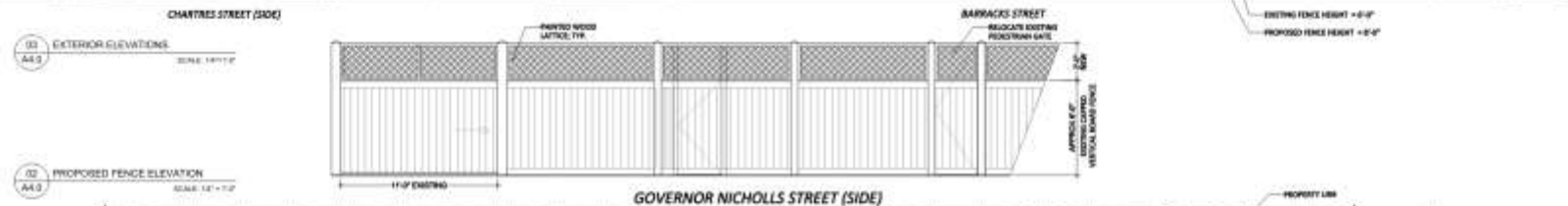


1240 Royal

VCC Architectural Committee

October 9, 2018



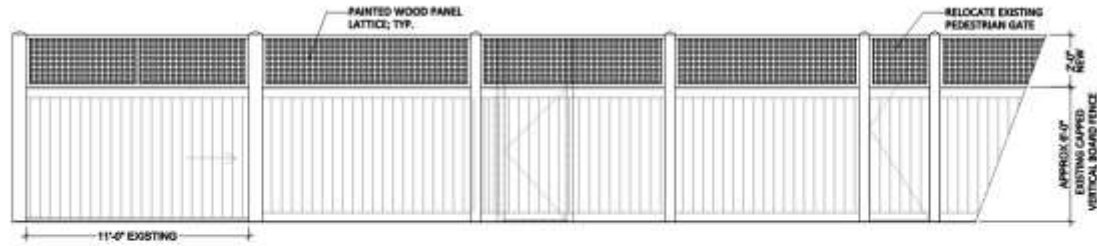


1240 Royal

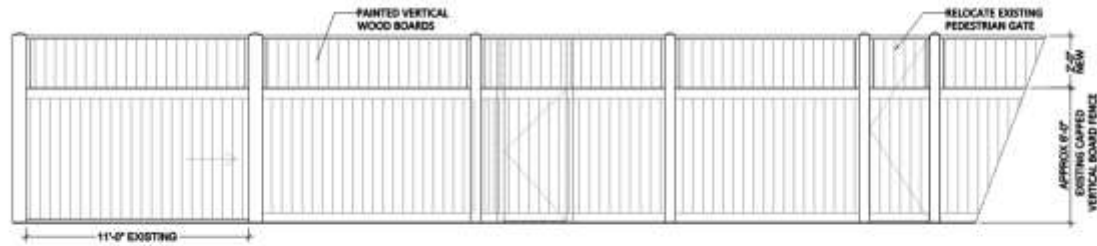
VCC Architectural Committee

October 9, 2018





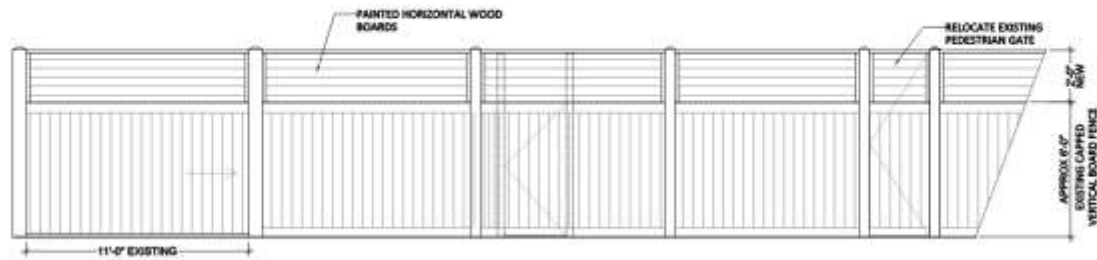
04 PROPOSED FENCE ELEVATION ALTERNATIVE
A4.1 SCALE: 1/4" = 1'-0"



03 PROPOSED FENCE ELEVATION ALTERNATIVE
A4.1 SCALE: 1/4" = 1'-0"

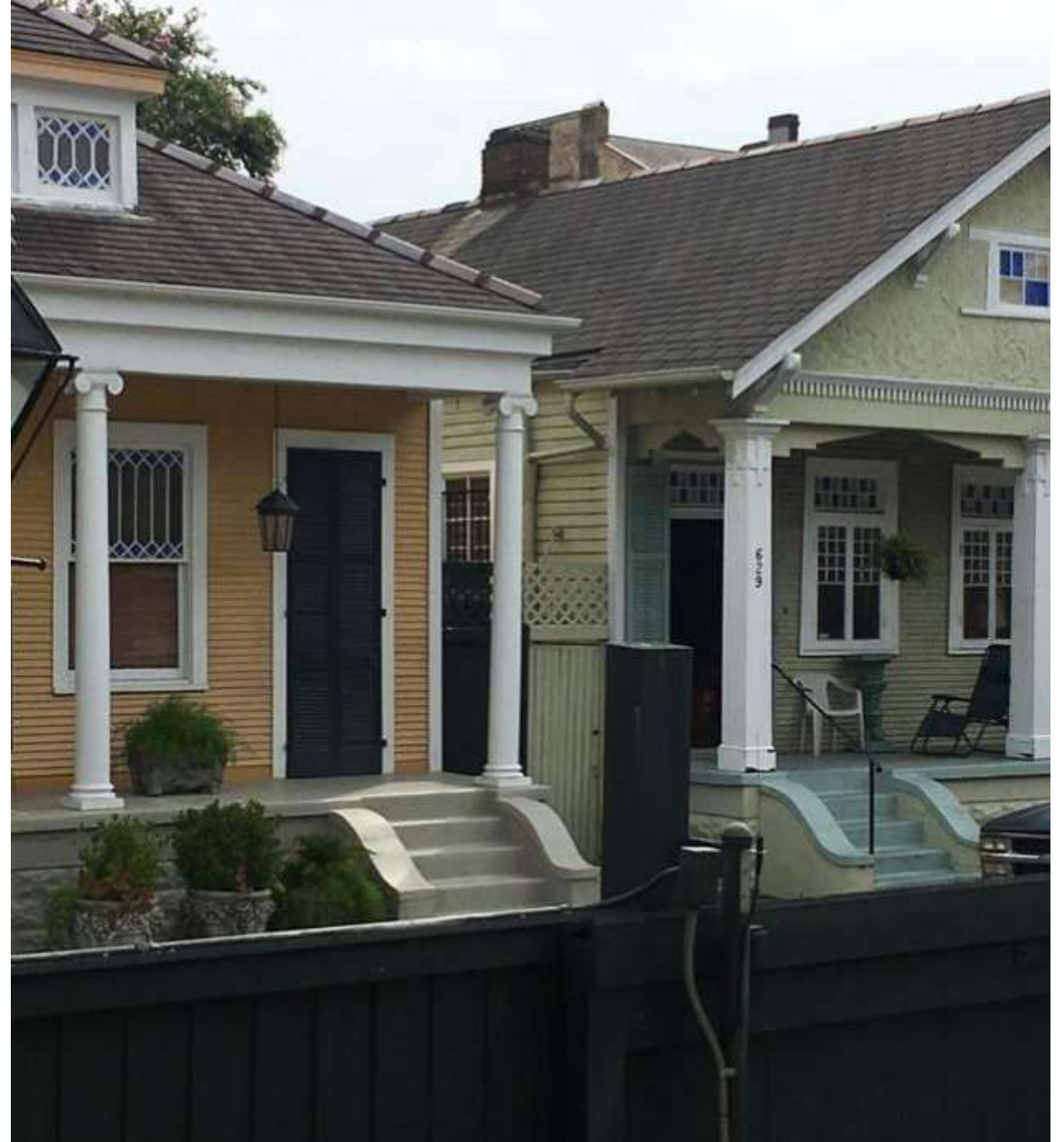


02 PROPOSED FENCE ELEVATION ALTERNATIVE
A4.1 SCALE: 1/4" = 1'-0"

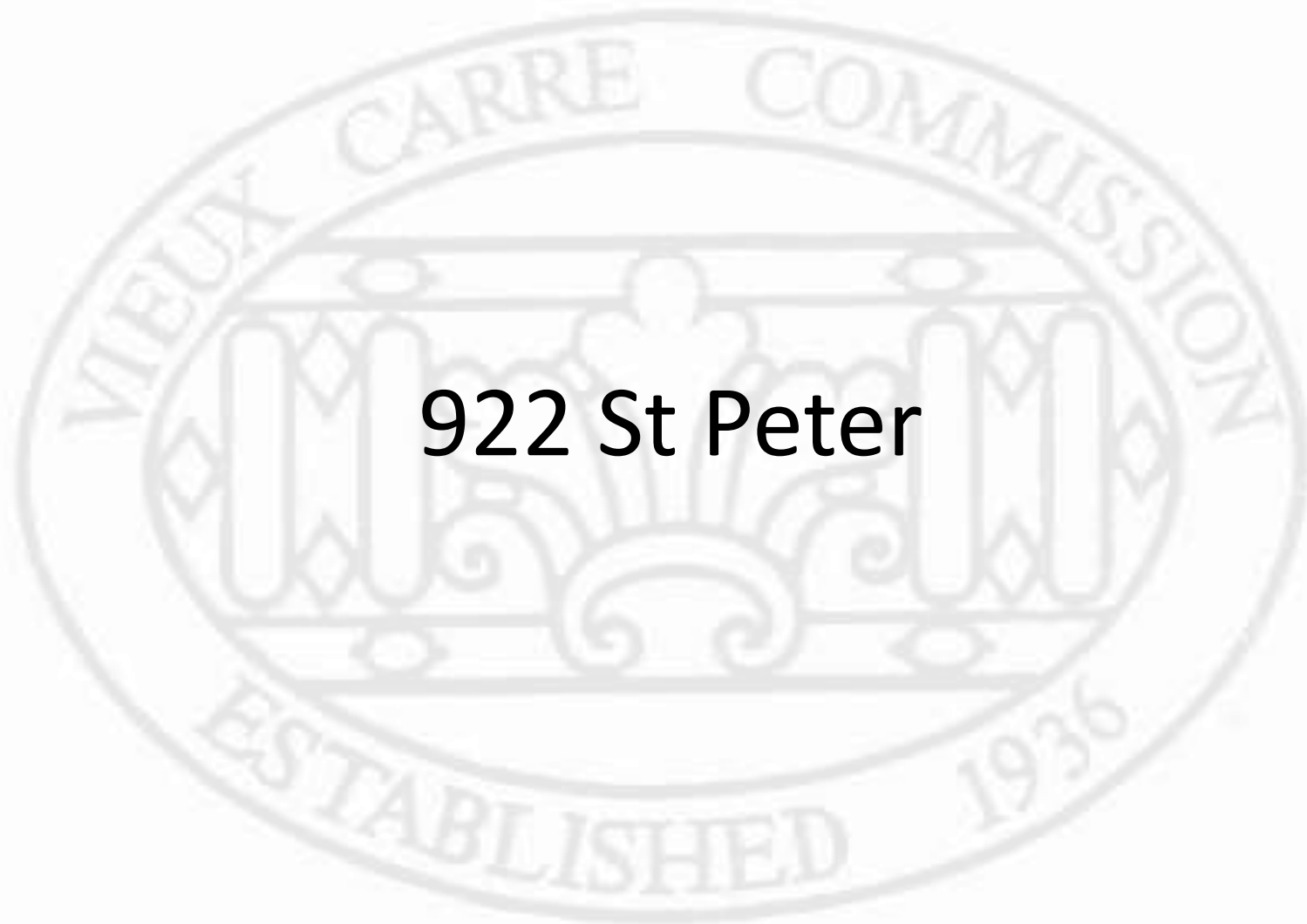


01 PROPOSED FENCE ELEVATION ALTERNATIVE
A4.1 SCALE: 1/4" = 1'-0"

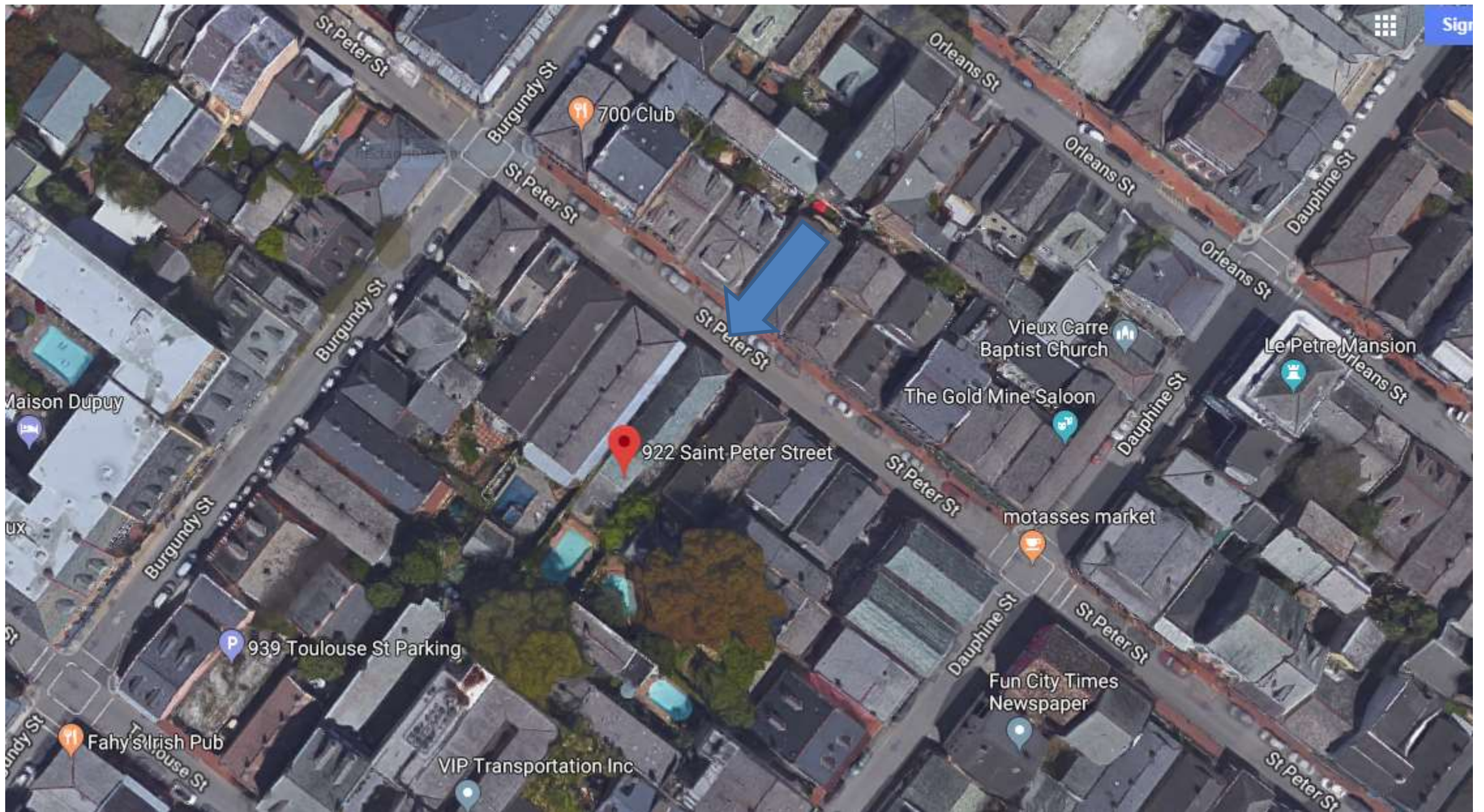




1240 Royal – Applicant submitted examples of similar extensions



922 St Peter



922 St Peter

VCC Architectural Committee

October 9, 2018





922 St Peter

VCC Architectural Committee

October 9, 2018





922 St Peter

VCC Architectural Committee

October 9, 2018





922 St Peter

VCC Architectural Committee

October 9, 2018





922 St Peter

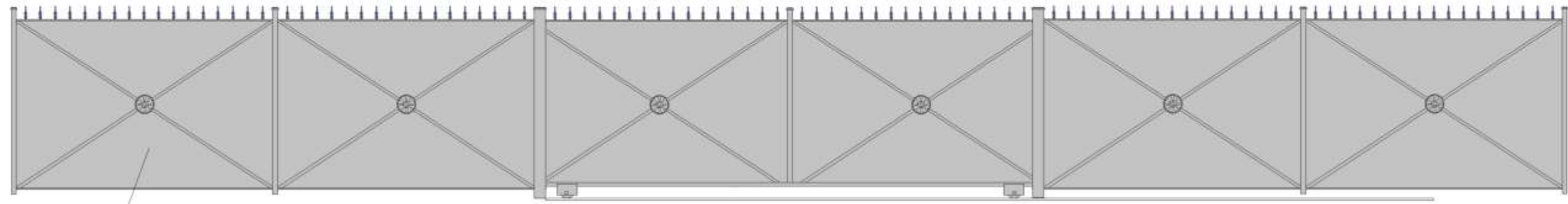
VCC Architectural Committee

October 9, 2018



FRONT

922 St. Peter



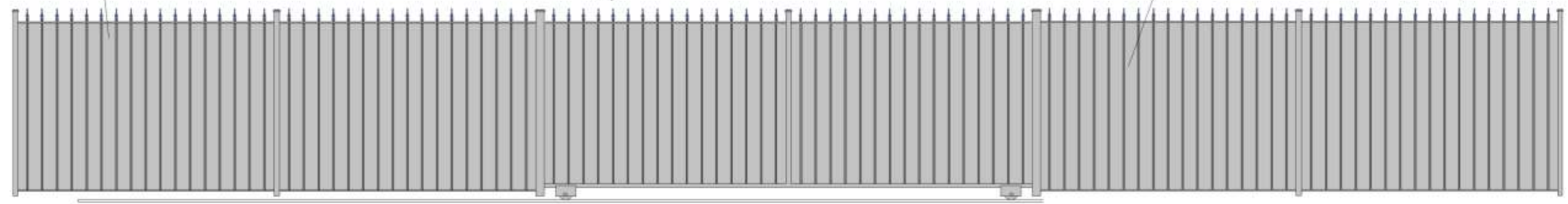
20 ga. Sheet Steel

Sliding Driveway Gate

REAR

1/2" Sq bar Picket on Diamond Position through 1/2" x 1 1/2" punched structural channel

Quad Finial

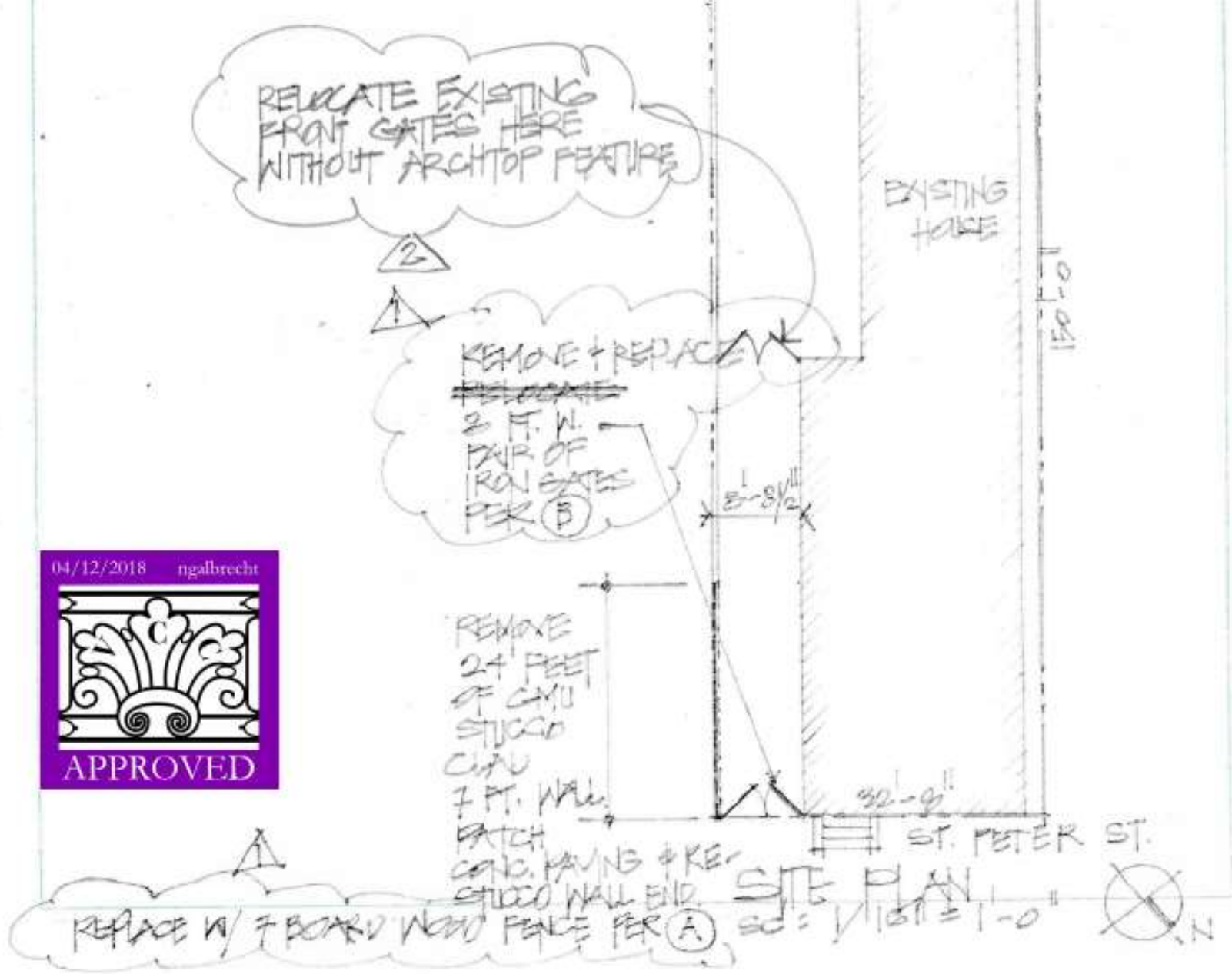


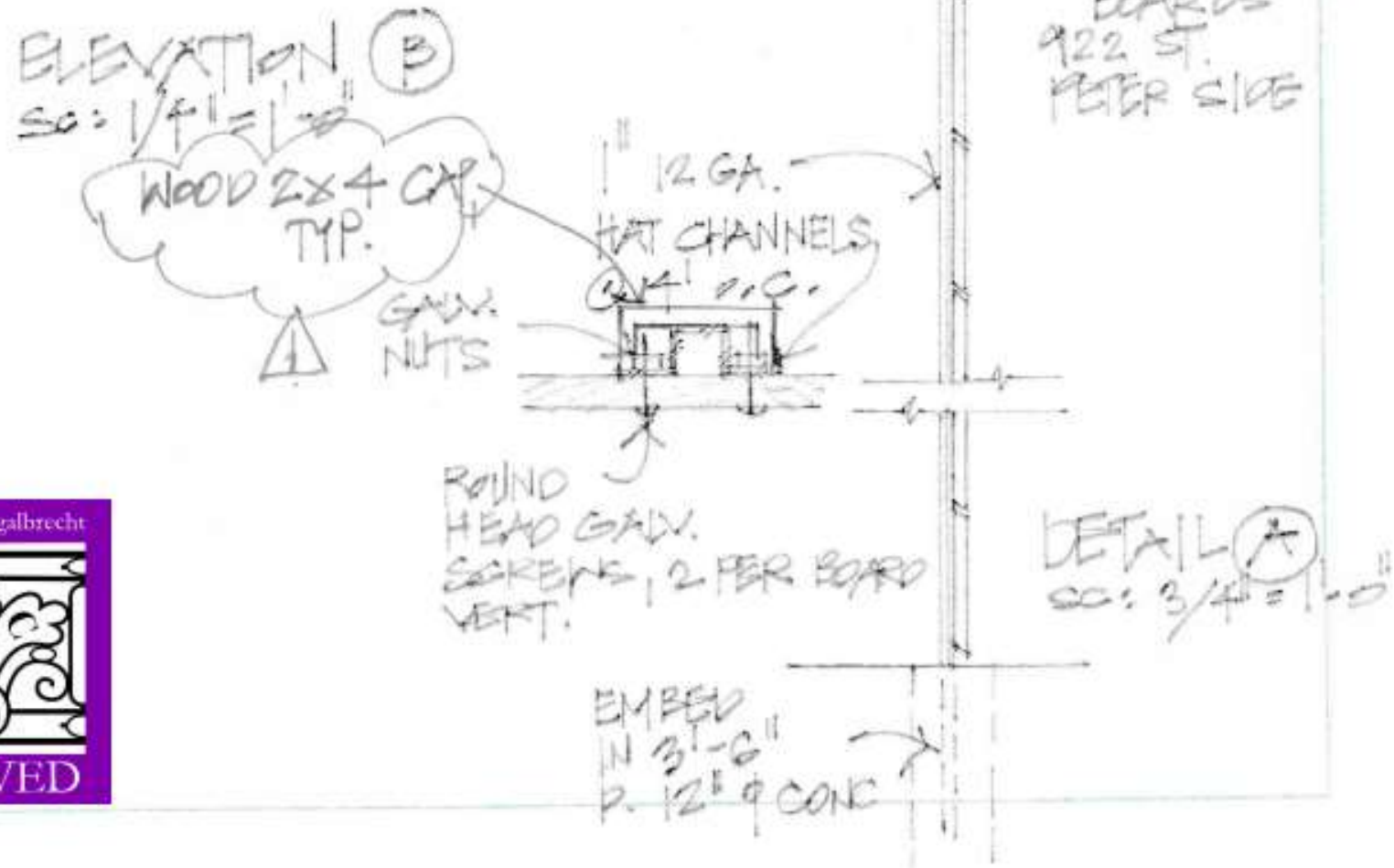
922 St Peter – Proposed new property line fence and gate

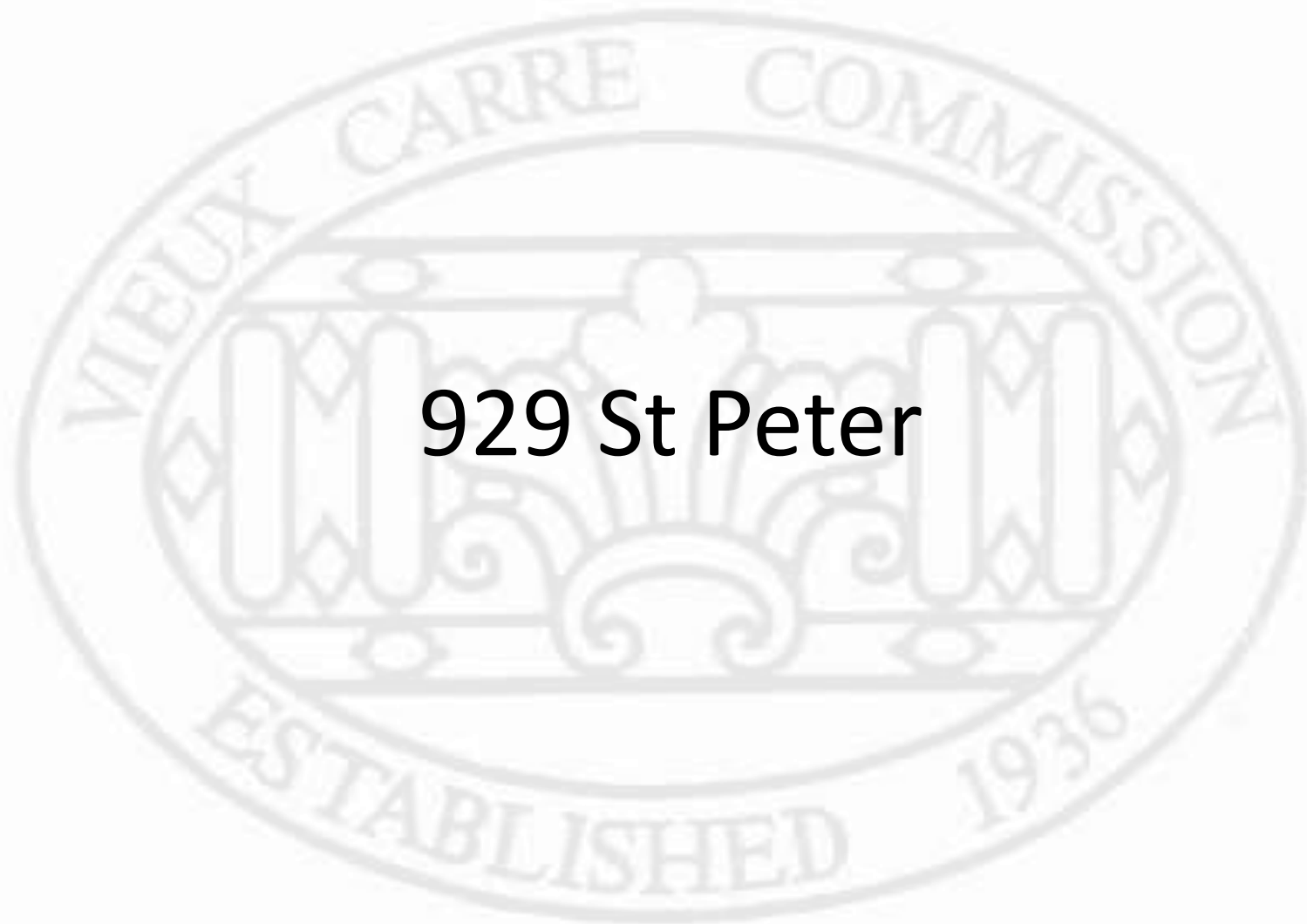
VCC Architectural Committee

October 9, 2018

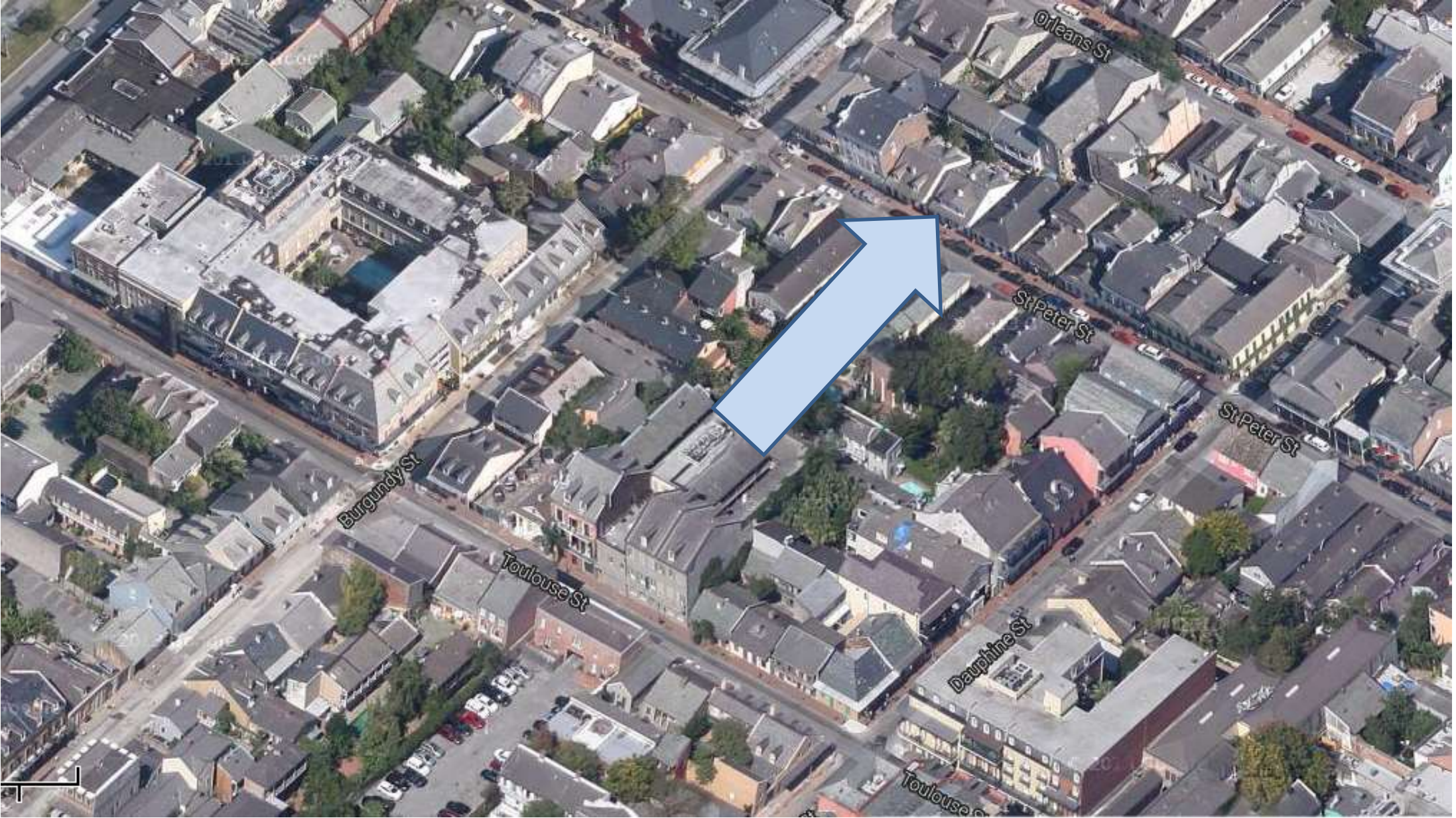








929 St Peter

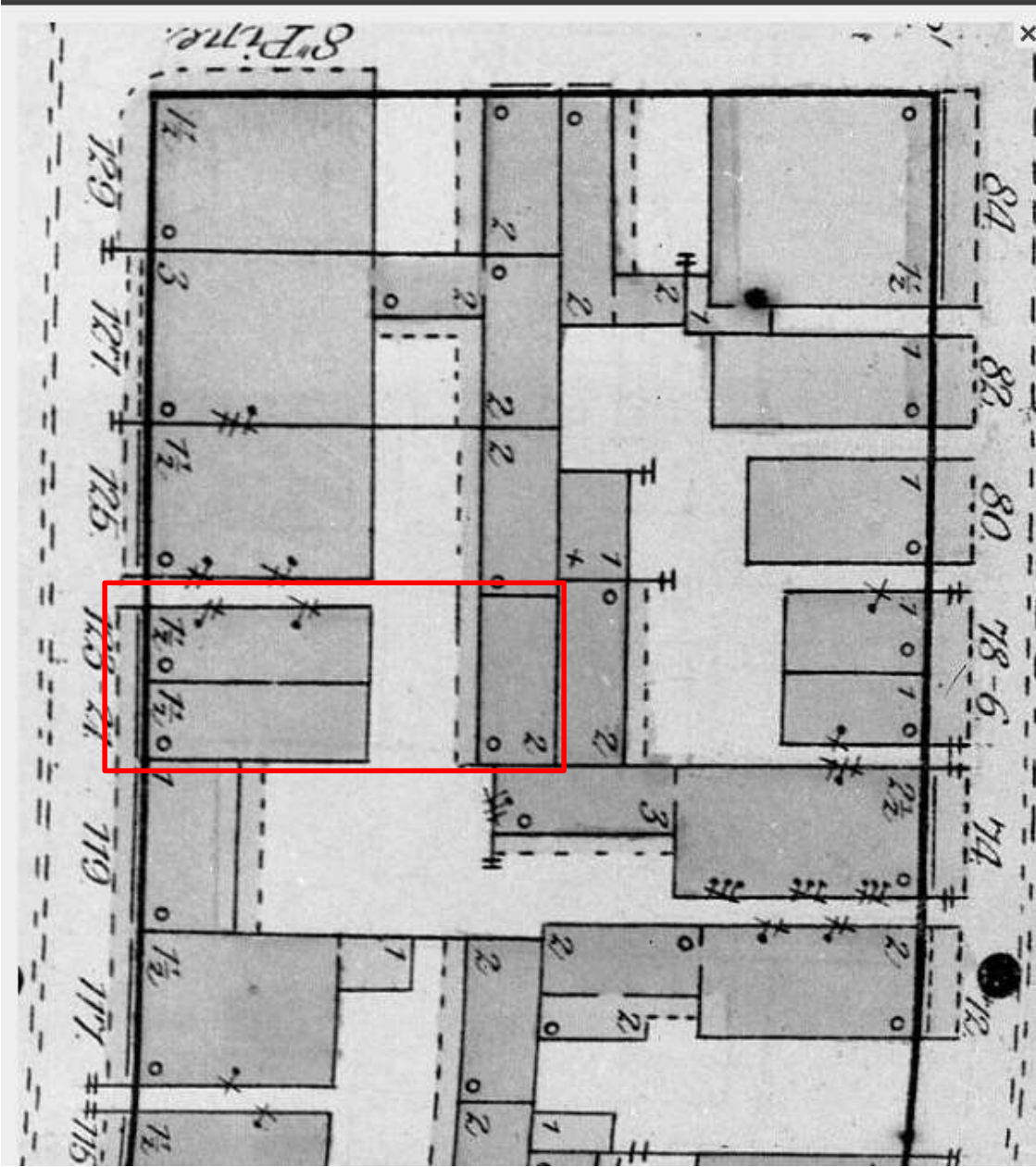


927-29 St. Peter

VCC Architectural Committee

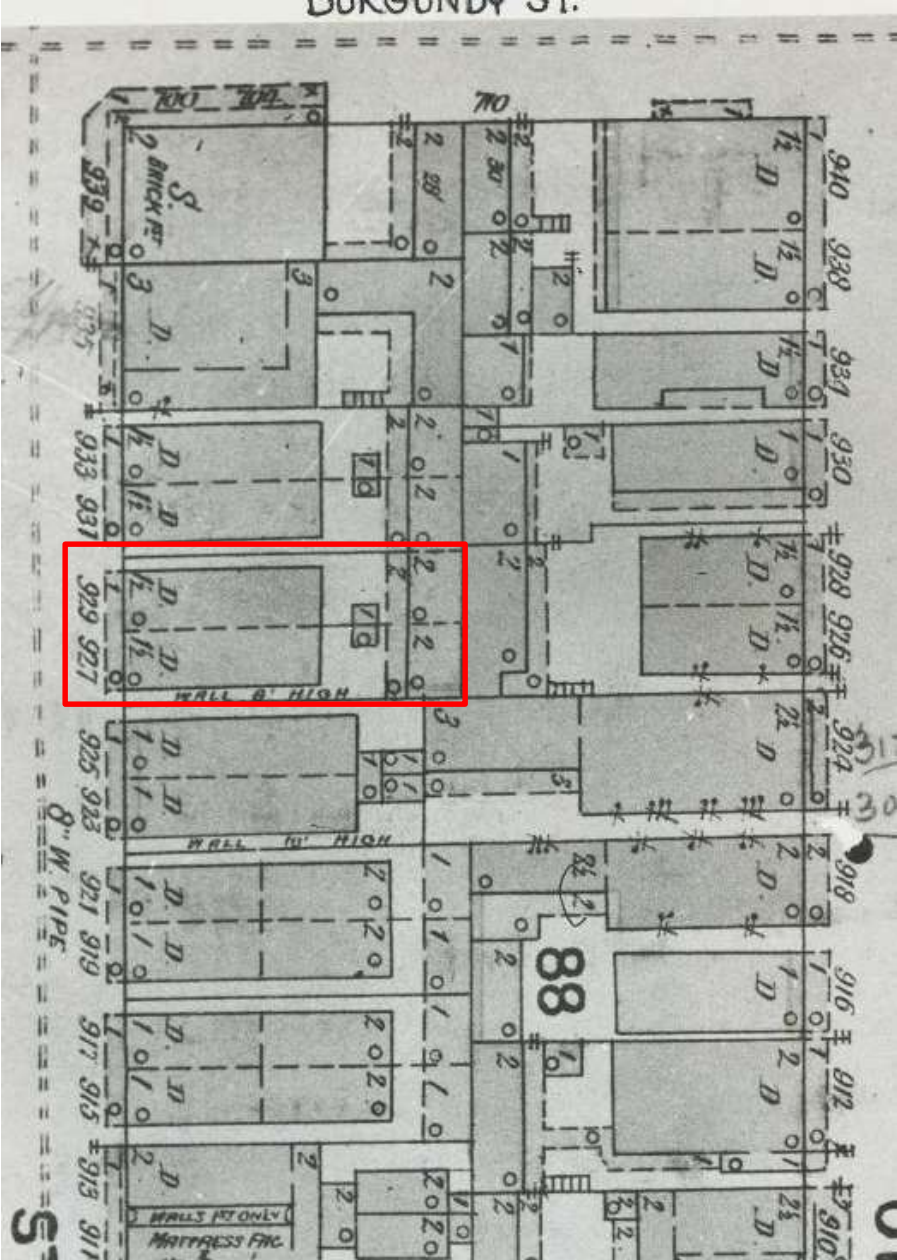
October 9, 2018





927-29 St. Peter- 1876 Sanborn





927-29 St. Peter- 1896 Sanborn





927-29 St. Peter- 1962

VCC Architectural Committee

October 9, 2018





927-29 St. Peter

VCC Architectural Committee

October 9, 2018





927-29 St. Peter

VCC Architectural Committee

October 9, 2018





927-29 St. Peter

VCC Architectural Committee

October 9, 2018





927-29 St. Peter

VCC Architectural Committee

October 9, 2018





927-29 St. Peter

VCC Architectural Committee

October 9, 2018



927-929 SAINT PETER ST. APARTMENT RENOVATION

DESIGN SUMMARY:

SCOPE OF WORK:

This is a renovation of an existing 3 unit building in the French Quarter of New Orleans. The scope of work includes:

- Level 2 Renovation including enclosing rear stair landings with siding and doors to match existing (28 total SF)
- Level 1 Renovation - repairing any damaged building elements, leveling existing foundation, painting all surfaces and updating of existing bathrooms and kitchen.
- Replace steel roof shingles and repairing roof sheathing.
- Repair or replace all windows that are damaged and/or do not meet Vieux Carré Commission requirements. Install magnetic in windows for noise and drafts control.
- Repair and paint all exterior window trim, shutters, sills and bands of main building and service building. Repair and repaint all exterior surfaces per Vieux Carré Commission requirements.
- Mechanical: New central air handling unit for Unit A with new ductwork. New access panel to be located from exterior rear of building. New risers for Units B and C.
- Plumbing: Units B and C are to have new bathroom layouts with new bathroom and kitchen fixtures. All three units are getting new tankless water heaters. Gas lines for second floor stoves to be relocated (see plans).

PROJECT NOTES:

GENERAL NOTES:

- CONTACT LOCAL AGENCIES USE WRITTEN PERMISSION ONLY. SUBMIT TO ARCHITECT ANY REQUIREMENTS FOR CLARIFICATION.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 80 RECOGNIZED-NORTH AMERICAN CRAFTSMANSHIP STANDARDS & THE APPLICABLE CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF NEW ORLEANS.
- THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT AND RESPECTS YOUR RIGHT TO OBTAIN ARCHITECTURAL WORK AND AGREEMENT NUMBERS MEET THE STANDARDS OF CARE OF YOUR PROFESSION.
- THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES IS SHOWN HEREIN AND APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND VERTICAL LOCATION OF SUCH UTILITIES AND STRUCTURES OR TO OBTAIN ANY NECESSARY INFORMATION FROM THE CITY OF NEW ORLEANS AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE SCHEDULED MATERIALS AND CHECKS FOR ALL WORK DURING THE CONSTRUCTION PERIOD.
- REMOVE AT LEAST 1 COURSE AND 5 POUNDS PER 23 POUNDS TO BE REMOVED WHERE HANDY, FEASIBLE AND ACCESSIBLE BY EACH UNIT.
- PROVIDE SEPARATION BETWEEN ALL UNDESIRABLE MATERIALS INCLUDING SCRAP, NAILS AND OTHER FASTENING DEVICES.
- REMOVE EXISTING FASTENERS AND NOT REUSED. PROVIDE AS SPECIFIED BY THE NATIONAL MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
- USE ONLY LEAD-FREE PIPE AND COLLAR FOR NEW DOMESTIC WATER SYSTEM (SAFE DRINKING WATER ACT OF 1986 AND S.F.P., SECTION 174-14).
- ALL NEW CEILING SHALL BE 1/2" PLASTER OVER SHEATH.
- ALL NEW PLASTER TO HAVE SMOOTH FINISH.

PAINTING AND FINISH:

- ALL EXTERIOR AND INTERIOR TRIM TO BE PAINTED. PLEASE REFER TO PAINT SPEC AND ACCESSORY SHEET AND PAINT SCHEDULE AS NEEDED. SEE PAGE 7-11.
- REMOVE ALL SURFACES TO REMOVE EXCESS OR DAMAGED PAINT. REMOVE PAINT ON ALL METAL.
- REMOVE TRIM THAT NEED REPAIR (LACKING STRUCTURAL INTEGRITY), USE TO BE REPAIRED OR REPLACED.
- COLORS SHALL BE CHOSEN BY THE OWNER OR ARCHITECT. ALL SELECTIONS MUST BE APPROVED BY THE ARCHITECT (300000000).

ELECTRICAL:

- ALL ELECTRICAL WORK TO BE UNDER 600V. REWIRING DIAGRAMS ARE NOT PROVIDED.
- ALL EXISTING CONDITIONS AND PANEL CONFIGURATIONS TO BE NOTED.
- ALL OUTLETS AND LIGHT FIXTURES ARE TO REMAIN UNLESS NOTED OTHERWISE.
- ALL OPEN SPACES SHOULD BE REPLACED WITH NEW WIRING.
- INTERNAL JUNCTION BOXES WITH MISSING COVERS TO BE REPLACED OR FINE FROM EXISTING, LIVE WIRING.
- INSTALL NEW BRACKETS AND CABLES/CONDUIT OR PROTECTORS 180° FLOOR PLANS.

MECHANICAL:

- ALL MECHANICAL WORK TO BE UNDER 600V. REWIRING DIAGRAMS ARE NOT PROVIDED.

PLUMBING:

- ALL PLUMBING WORK TO BE UNDER 600V. REWIRING DIAGRAMS ARE NOT PROVIDED.
- VERIFY CONDITIONS OF ALL EXISTING SUPPLY AND DRAIN LINES. PLACE AND REMOVE AS NEEDED.

FLOORING:

- ALL WOOD FLOORING TO BE Sanded and Refinished to MATCH EXISTING.
- ALL LAMINATE FLOORING AND CARPET TO BE REMOVED AND REPLACED AS SPECATED.

INSULATION:

- NEW 1/2" INSULATION BOARD TO BE INSTALLED UNDER ALL NEW DOORS AT SIDE AND REAR EXTERIOR WALLS.
- NEW 800FT INSULATION TO BE INSTALLED AT 180° AND REAR EXTERIOR WALLS AND EXTERIOR CORNERS.

PROJECT DIRECTORY:

PROJECT LOCATION:

927-929 SAINT PETER ST.
NEW ORLEANS, LA 70118

OWNER:

PH: 504-256-7138
CONTACT: KERRY KOSLER
EMAIL: kerry.kosler@gsa.com

ARCHITECT:

GARRITY + ACCARDO ARCHITECTS
2811 BOUTRIER AVENUE
DRETNIA, LA 70056
PH: 504 388 4415
CELL: 504 224 1388
EMAIL: dgarrity@garrityaccardo.com
CONTACT: DOMINA ACCARDO

DRAWING INDEX:

Index of Drawing

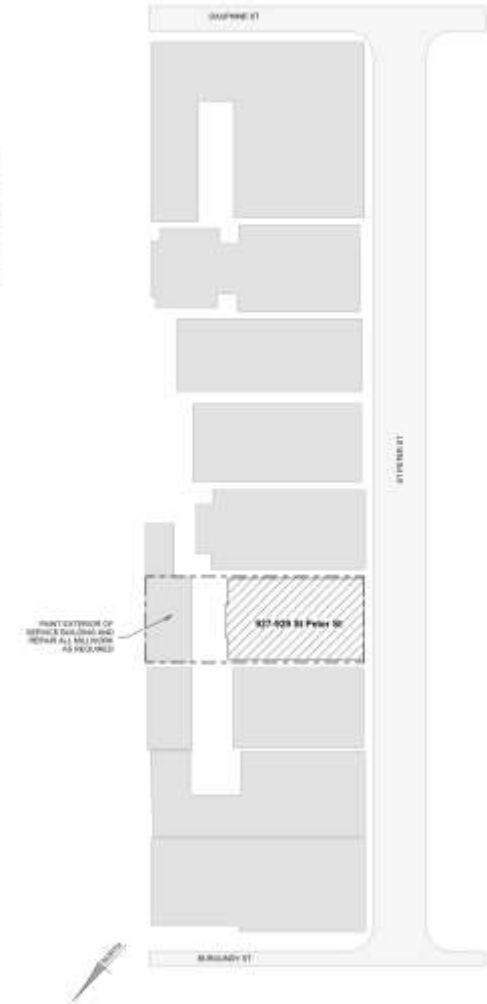
Sheet Number	Sheet Name
T-100	Title Sheet
T-101	Codes and Requirements
A-100	Plans
A-200	Building Sections
A-201	Elevations
A-301	Interior Elevations
M-100	Mechanical Plans/Refrigeration Cycling Plan
P-100	Plumbing Plans
S-100	Foundation Plan

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE REGULATIONS AND REQUIREMENTS. I AM NOT ADMINISTERING THE CONTRACT.

Donna M. Accardo
DONNA M. ACCARDO - LA LICENSE # 8124

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH:

INTERNATIONAL RESIDENTIAL CODE
2010 EDITION
LIFE SAFETY CODE (NFPA 101)
2015 EDITION
INTERNATIONAL EXISTING BUILDING CODE 2015 EDITION

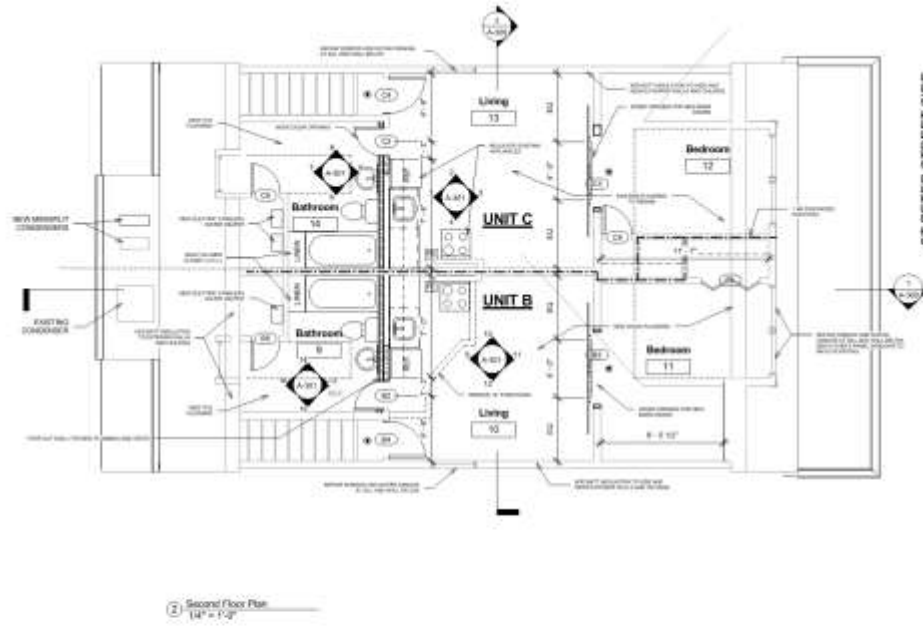


927-29 St. Peter

VCC Architectural Committee

October 9, 2018

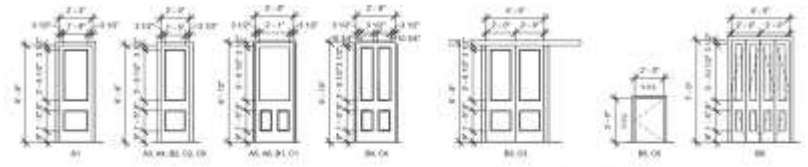




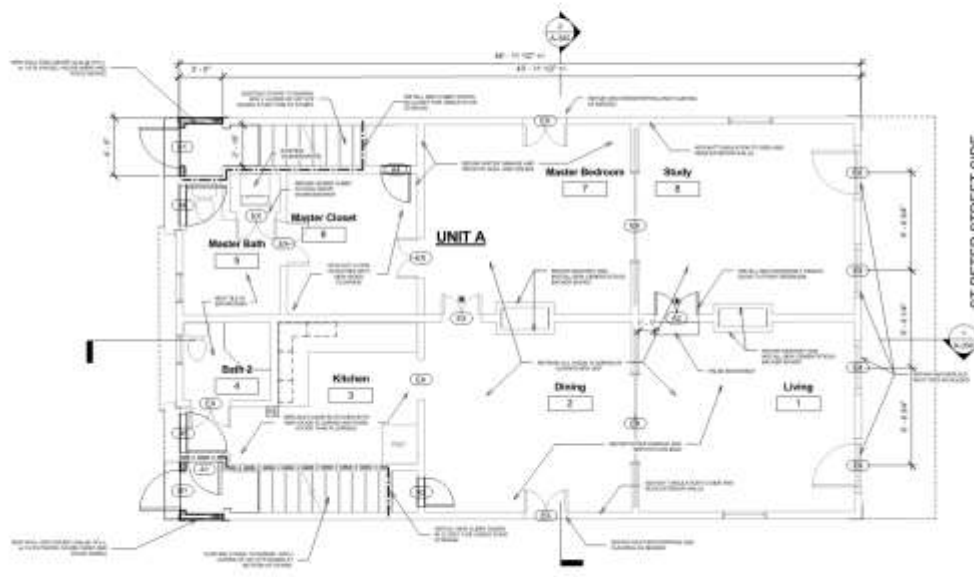
Door Schedule		
Door Number	Door Size	Finish Comments
A1	32" x 80"	Lockable wood door in existing wall
A2	36" x 84"	Hollow Door
A3	2'-0" x 6'-8"	Painted wood door
A4	2'-0" x 6'-8"	Painted wood door
A5	2'-2" x 6'-8"	Painting wood door with weatherstripping
A6	2'-0" x 6'-8"	Painting wood door with weatherstripping
B1	36" x 80"	To match style and color of adjacent exterior door (A3)
B2	36" x 80"	Painted wood door
B3	48" x 80"	Pr. 2'-2" x 7'-0" Barn Doors
B4	2'-0" x 6'-8"	Painting wood door with weatherstripping
B5	Verify Dimensions on Site	
B6	4'-0" x 8'-0"	Pr. 2'-2" x 6'-8" Barn Doors
C1	36" x 80"	To match style and color of adjacent exterior door (A3)
C2	36" x 80"	Painted wood door
C3	48" x 80"	Pr. 2'-0" x 7'-0" Barn Doors
C4	2'-0" x 6'-8"	Painting wood door with weatherstripping
C5	36" x 80"	Verify Dimensions on Site
C6	36" x 80"	Painted wood door
D		Doors to be Demolished
E1		Existing Doors to Remain

SCOPE OF WORK UNITS B-C:
 - REMOVE EXISTING PLUMBING FIXTURES AND KITCHEN CABINETS AND COUNTERTOPS. INSTALL NEW AS PER PLANS. EXISTING FRIDGE AND STOVE IN UNIT C TO REMAIN. NEW FLOORING IN UNIT B. COMPARE SUB FLOORING IS LEVEL BEFORE INSTALLATION.
 - INSTALL NEW TANKLESS ELECTRIC WATER HEATER. -WIDEN OPENING TO BEDROOM TO 4 FT FOR NEW BARN DOORS. MOVE OPENING TO BATHROOM. SEE PLANS.
 - REPLACE CLOSET DOORS AND DOORS TO STARWAYS.
 - REPAIR MOLD AND WATER DAMAGE AS NEEDED.
 - REPAIR ALL WALLS, CEILING, TRIM AND MILL WORK.
 - INSTALL NEW EXHAUST FANS IN EACH BATHROOM.
 - CHECK ALL WINDOWS AND DOORS FOR WATER DAMAGE. REPAIR ALL WEATHERSTRIPPING AND FLASHING AS NEEDED.

SCOPE OF WORK FIRST FLOOR:
 - ENCLOSE EXISTING EXTERIOR ENTRANCES TO SECOND FLOOR UNITS.
 - INSTALL NEW DOOR BETWEEN STUDY AND LIVING ROOM. REPAIR MOLD AND WATER DAMAGE AS NEEDED.
 - REPAIR EXISTING WOOD FLOORING.
 - REPLACE FLOORING IN KITCHEN AND MASTER CLOSET.
 - REPLACE TILE IN BATH AND MASTER BATH.
 - REPAIR ALL FIREPLACES.
 - REPAIR ALL WALLS, CEILING, TRIM AND MILL WORK.
 - INSTALL NEW EXHAUST FANS IN BOTH BATHROOMS.
 - REMOVE SHEETROCK COVERING FIREPLACES AND REPLACE WITH CEMENT BOARD.
 - NEW TANKLESS ELECTRIC WATER HEATER IN EXISTING UPSTAIRS LOCATION.
 - CHECK ALL WINDOWS AND DOORS FOR WATER DAMAGE. REPAIR ALL WEATHERSTRIPPING AND FLASHING AS NEEDED.

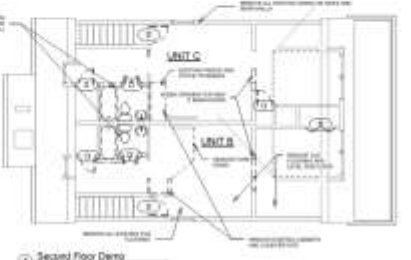


2 Second Floor Plan
14' x 12'

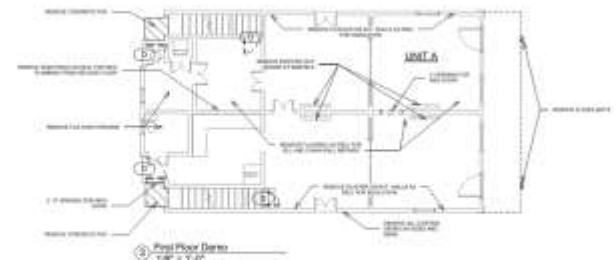


WALL LEGEND

- NEW WOOD WALL - 2x4 @ 16" o.c.
- CURTAIN WALL
- WALLS TO BE REMOVED
- 1/2" GIBB RACING
- NEW SHIMS AND CASTER
- MINOR DETAIL



3 Second Floor Detail
12' x 12'



3 First Floor Detail
12' x 12'

THESE DRAWINGS ARE PROPERTY OF GARIBOLDI ARCHITECTS. NO REPRODUCTION OR OTHER USE OF THE DRAWINGS OR ANY OF ITS CONTENTS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF GARIBOLDI ARCHITECTS.

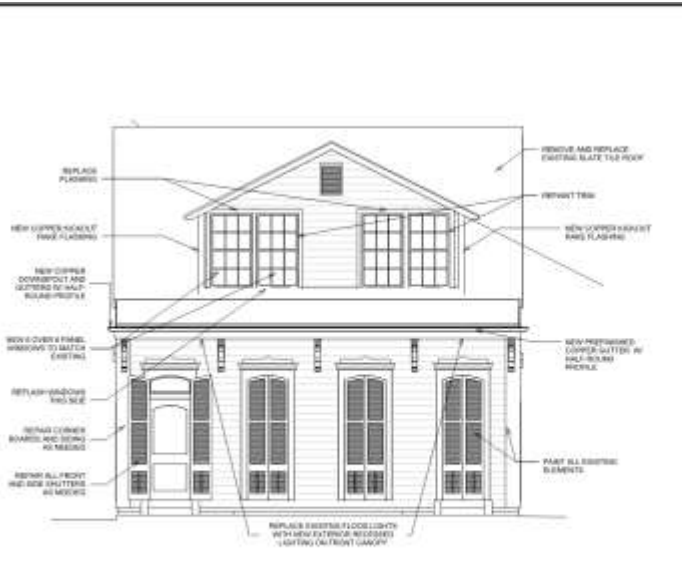
© COPYRIGHT BY GARIBOLDI ARCHITECTS. ALL RIGHTS RESERVED.

927-29 St. Peter

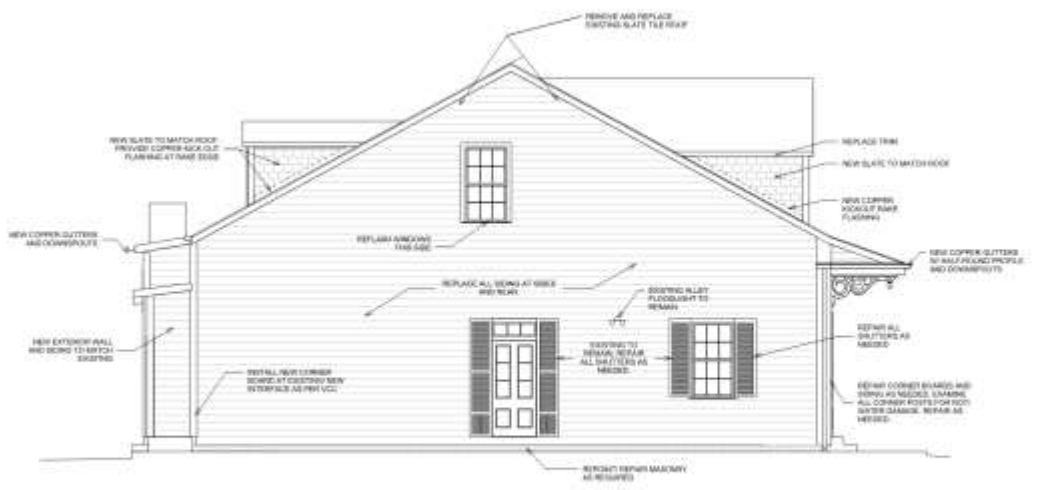
VCC Architectural Committee

October 9, 2018

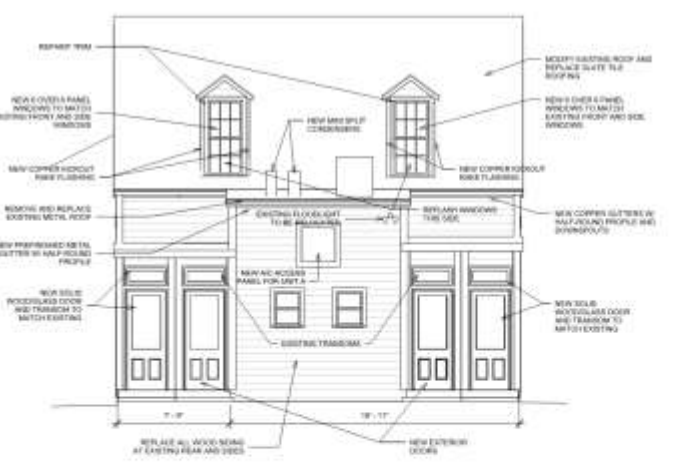




② Front Elevation
14' x 11'-0"

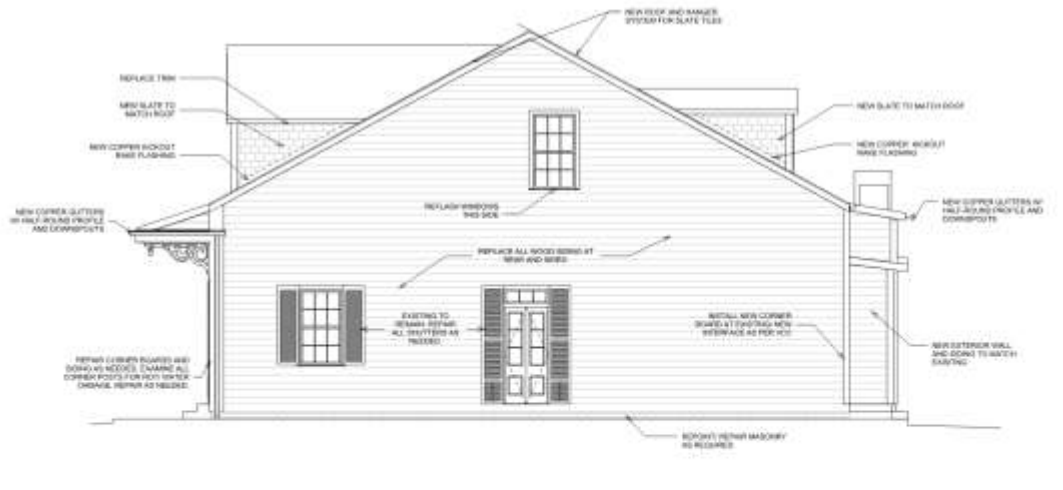


③ Left Side Elevation
14' x 11'-0"



① Rear Elevation
14' x 11'-0"

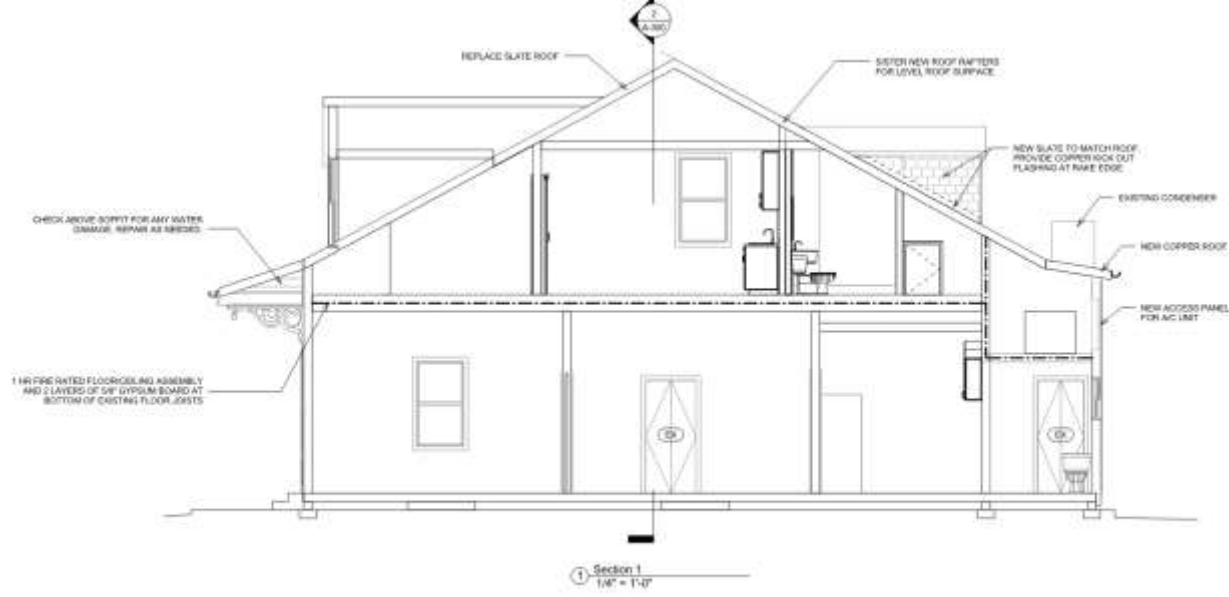
NOTE:
-REPAIR ENTIRE EXTERIOR OF BUILDING WITH VCC APPROVED COLORS
-AFTER REMOVAL OF ROOF, REVIEW ROOF STRUCTURE AND REPAIR AS NEEDED



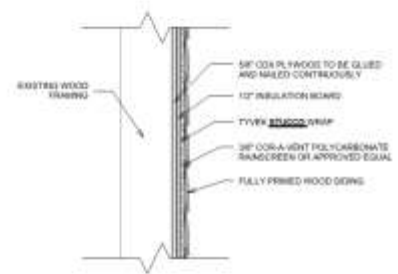
④ Right Side Elevation
14' x 11'-0"

THESE DRAWINGS ARE THE PROPERTY OF GABRIELTY-ACCORDED ARCHITECTS AND NO REPRODUCTION OR OTHER USE OF THE DRAWINGS OR ANY OF ITS CONTENTS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF GABRIELTY-ACCORDED ARCHITECTS.
© COPYRIGHT BY GABRIELTY-ACCORDED ARCHITECTS ALL RIGHTS RESERVED.

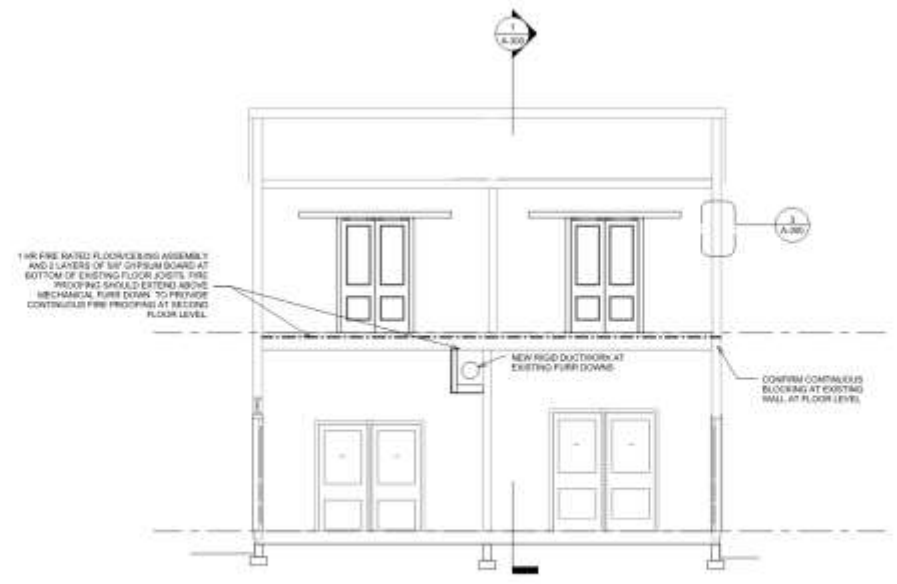




Section 1
1/4" = 1'-0"



New Wall Siding Detail
1/2" = 1'-0"



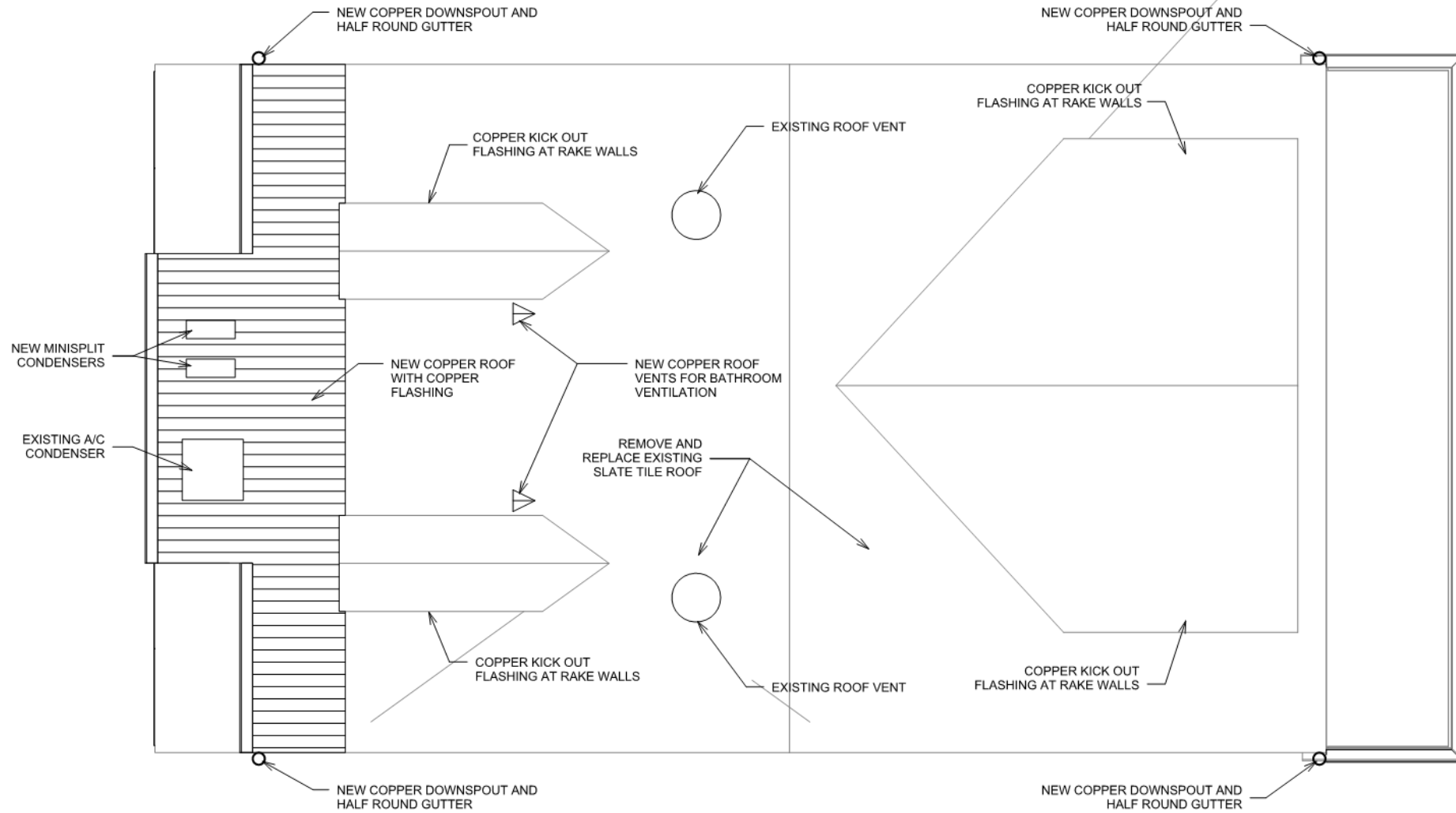
Section 2
1/4" = 1'-0"

927-29 St. Peter

VCC Architectural Committee

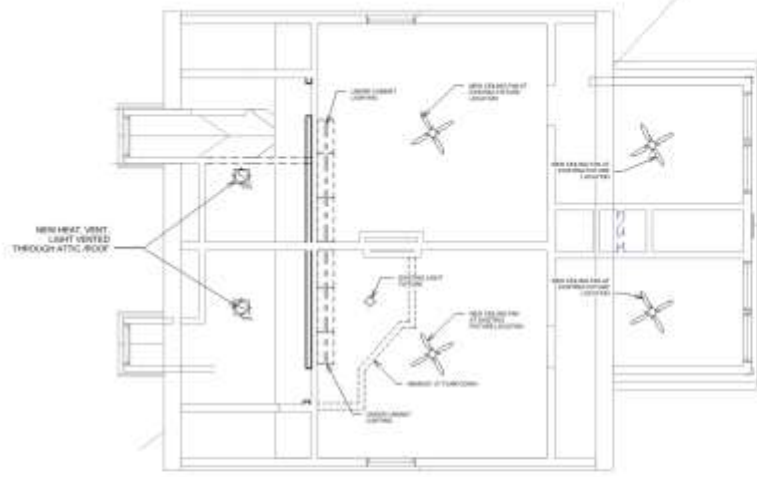
October 9, 2018



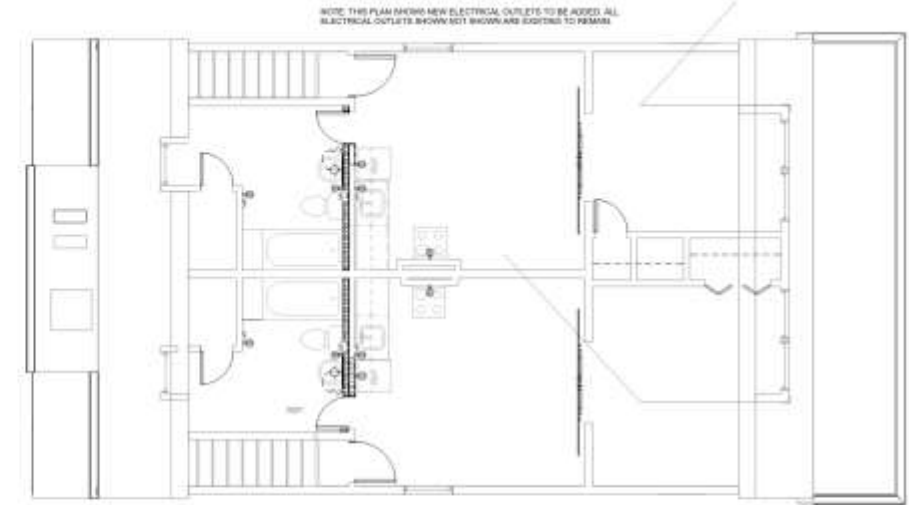


① Roof Plan
1/4" = 1'-0"

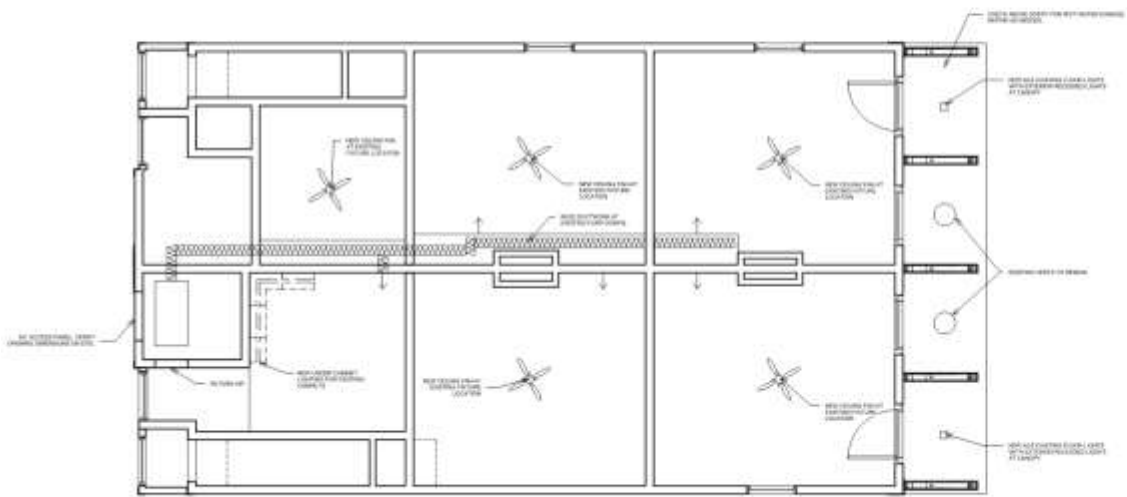




2 Second Floor Mechanical Reflected Ceiling Plan
1/4" = 1'-0"



1 Second Floor Electrical Plan
1/4" = 1'-0"

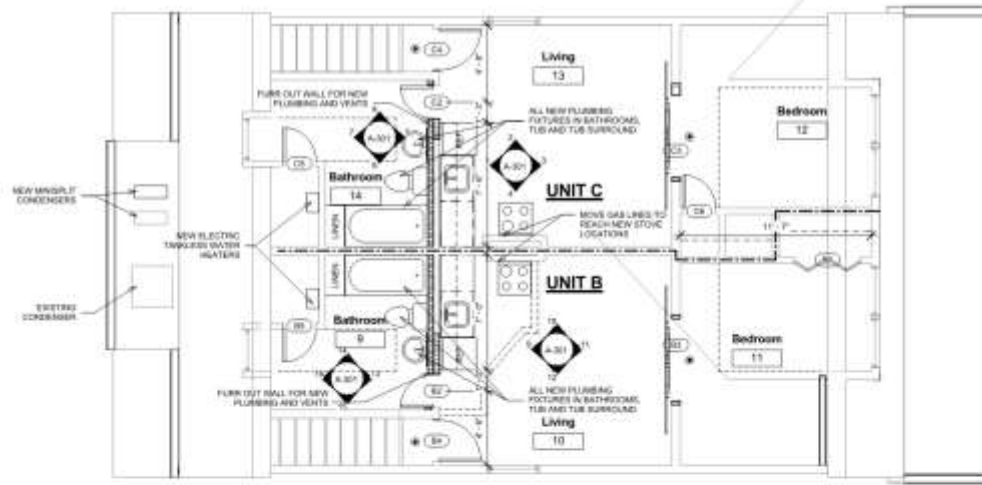


1 First Floor Mechanical Reflected Ceiling Plan
1/4" = 1'-0"

ELECTRICAL LEGEND

- | | |
|--|---|
| <ul style="list-style-type: none"> 32"-64" Ceiling Fan with Light Kit - To Be Selected by Owner 32" Flushmount Light Fixture Recessed Ceiling Fixture Recessed Pendant Fixture Recessed or Suspended Fixture - To Be Selected by Owner Recessed Ceiling Fixture - Dry Application Surface Mounted Fixture - To Be Selected by Owner Recessed Heat, Vent, Light Recessed Heat, Light Recessed Heat, Vent Wall Mounted Fixture - To Be Selected by Owner Wall Mounted Heat Fixture - To Be Selected by Owner | <ul style="list-style-type: none"> Single Pole Switch Mounted 12" A.P.F. Breaker - Contractor to Verify Load and Clearing Requirements 3-Way Wall Switch Mounted 12" A.P.F. 3-Way Wall Switch with Dimmer Balance Floor Light Recessed Ceiling Fixture - Adjustable Under Counter or In Cabinet Lighting - To Be Selected by Owner <p>NOTE: Using all Entries and Switches as Indicated Under Control Packages</p> <ul style="list-style-type: none"> 100 V Duplex Grounding Receptacle - Above Counter 100 V Duplex Grounding Receptacle - Switched 100 V Duplex Grounding Floor Receptacle 100 V Duplex Grounding Receptacle 100 V Duplex Outlet with Ground Fault Interrupter 100 V Duplex Grounding Receptacle - Water Proof Phone Line (Lines as Numbered) Television Cable Hook-up Smoke Detector |
|--|---|





2 Second Floor Plumbing Plan
1/4" = 1'-0"

SCOPE OF WORK UNITS B+C:
 - REMOVE EXISTING PLUMBING FIXTURES IN KITCHENS AND BATHROOMS. NEW KITCHEN SINKS, BATHROOM FIXTURES, TUB AND TUB SURROUND. INSTALL NEW AS PER PLANS.
 - FURR OUT WALLS BETWEEN BATHROOM AND LIVING FOR NEW PLUMBING AND VENTILATION
 - NEW ELECTRIC TANKLESS WATER HEATERS TO BE INSTALLED AS PER PLANS

SCOPE OF WORK FIRST FLOOR:
 - ALL FIXTURES TO REMAIN
 - NEW ELECTRIC TANKLESS WATER HEATER TO BE INSTALLED AS PER PLANS



1 First Floor Plan
1/4" = 1'-0"

927-29 St. Peter

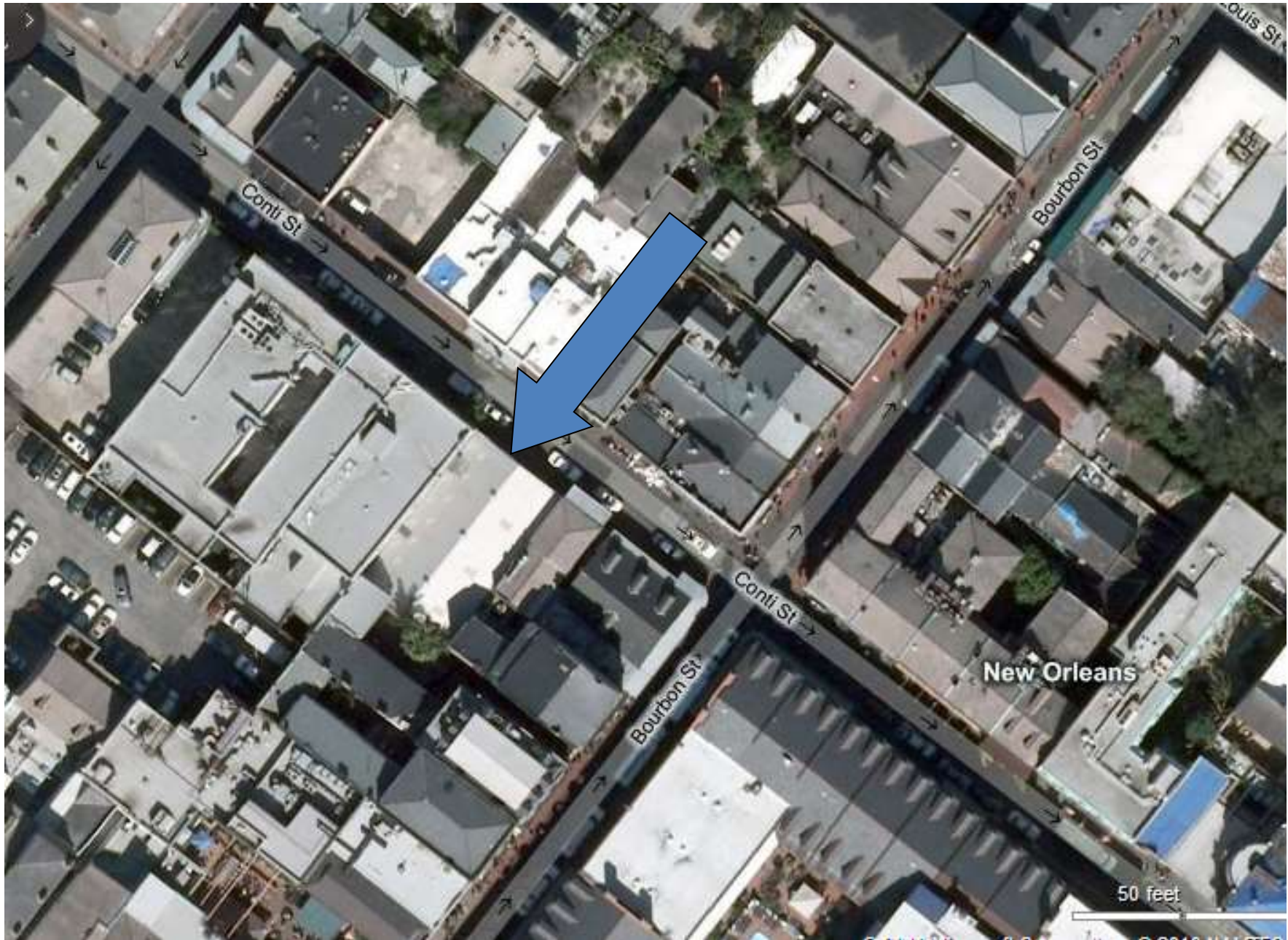
VCC Architectural Committee

October 9, 2018





810 Conti



810 Conti





810 Conti





810 Conti





810 Conti





810 Conti

VCC Architectural Committee

October 9, 2018



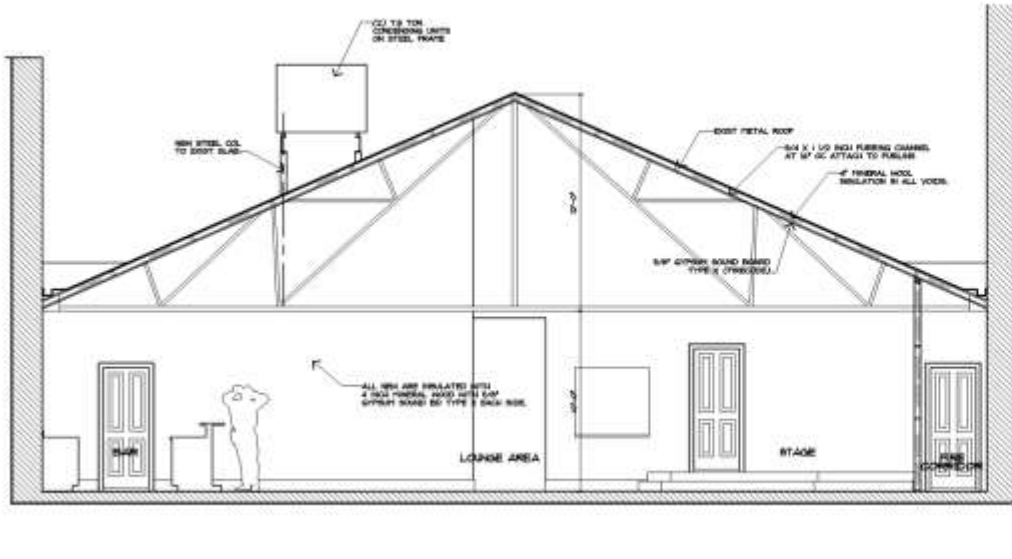


810 Conti

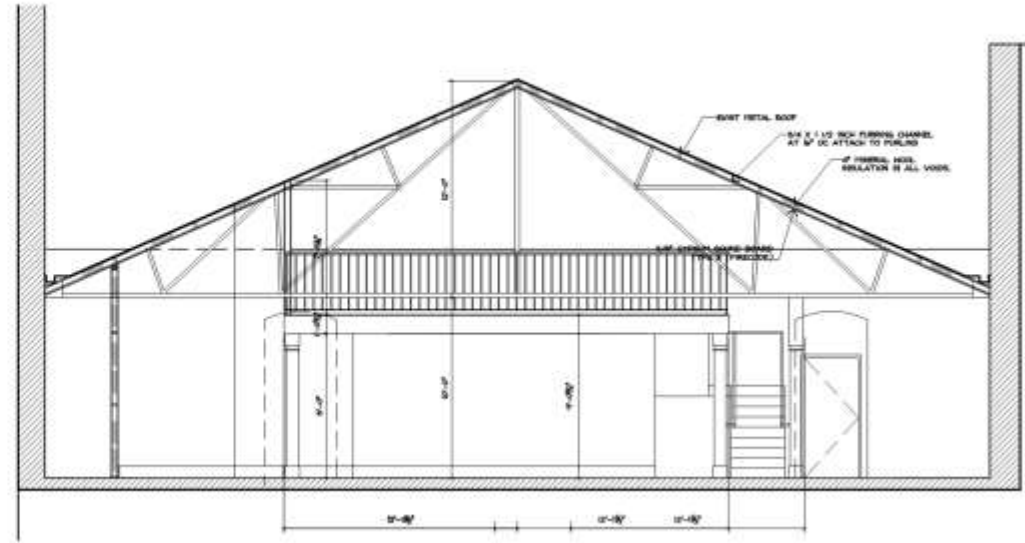
VCC Architectural Committee

October 9, 2018

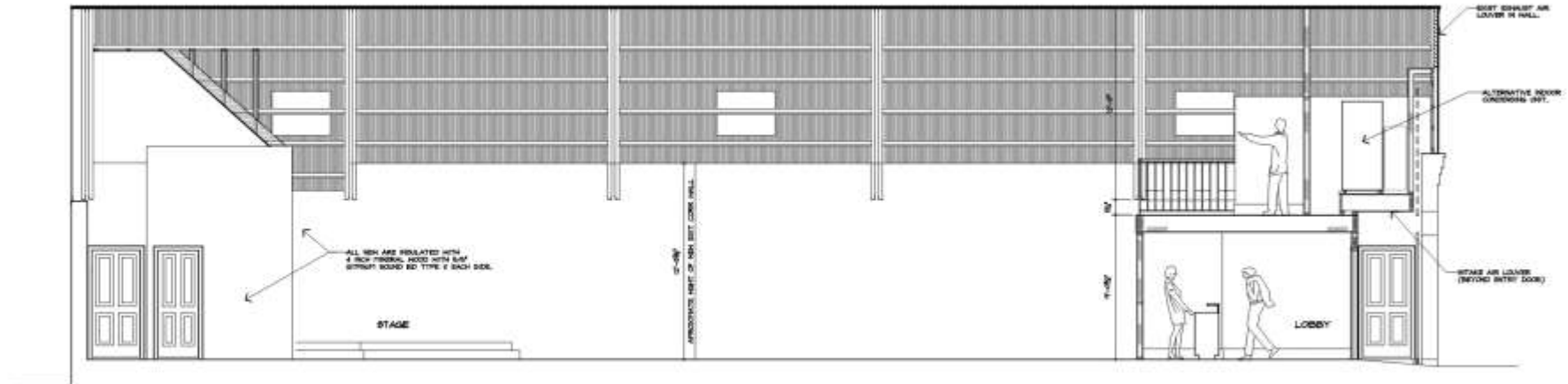




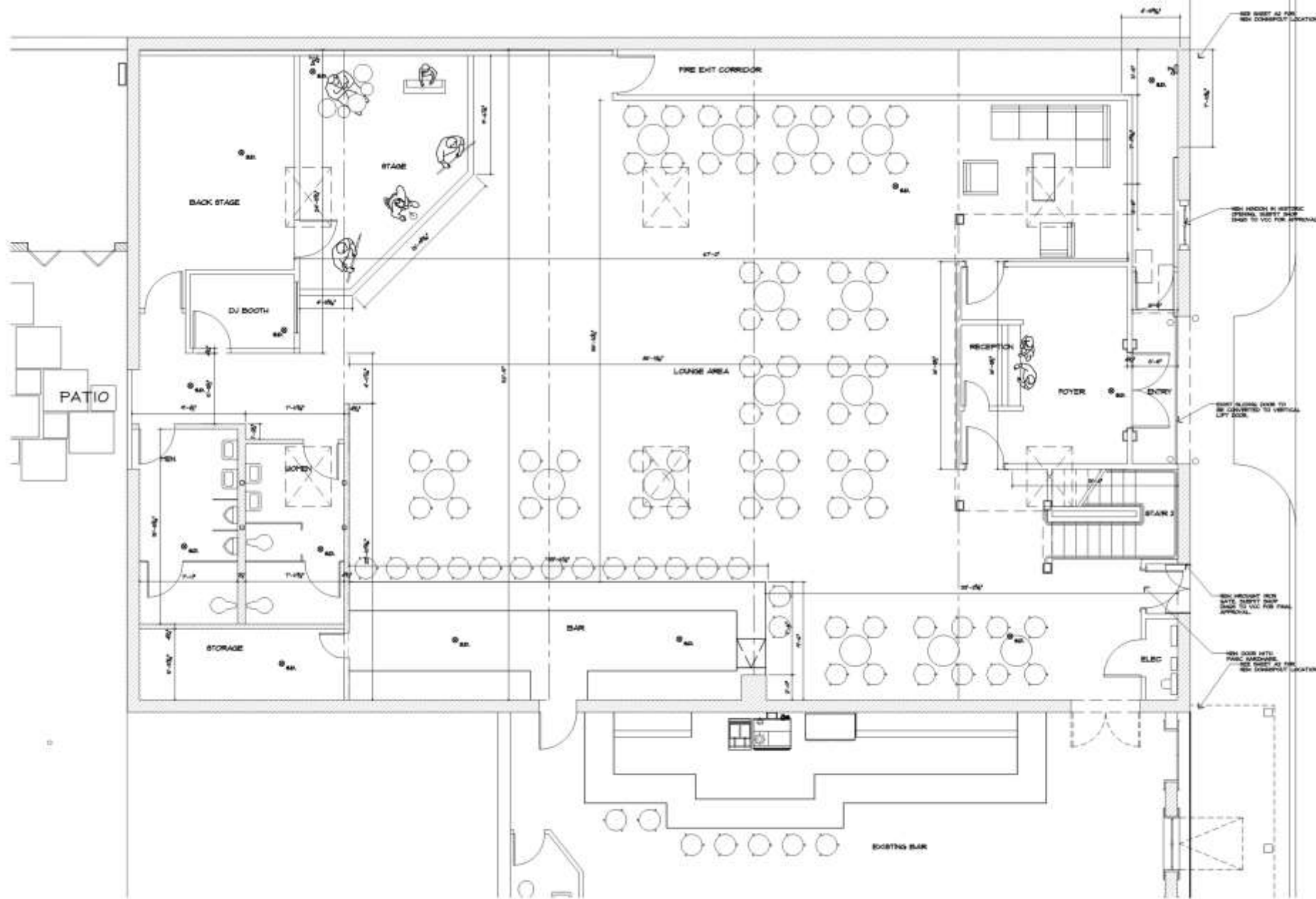
① TRANSVERSE SECTION - SOUTH




② TRANSVERSE SECTION - NORTH

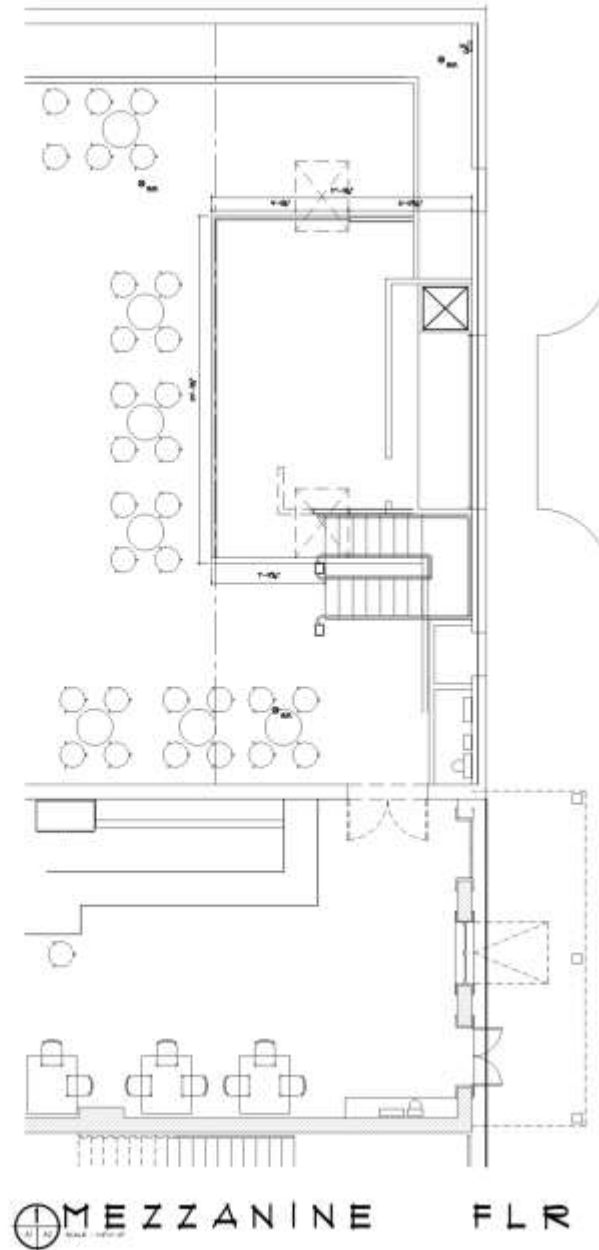
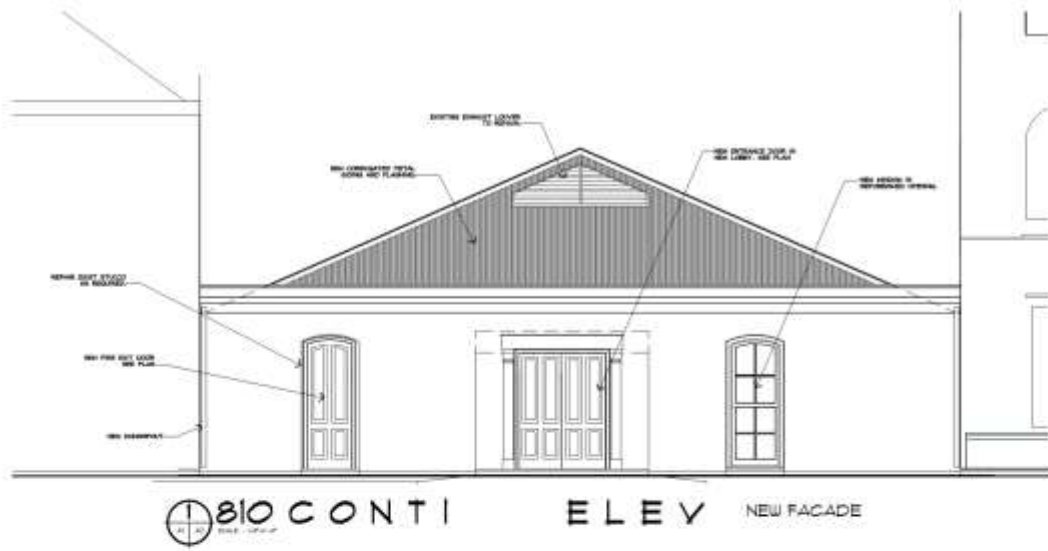


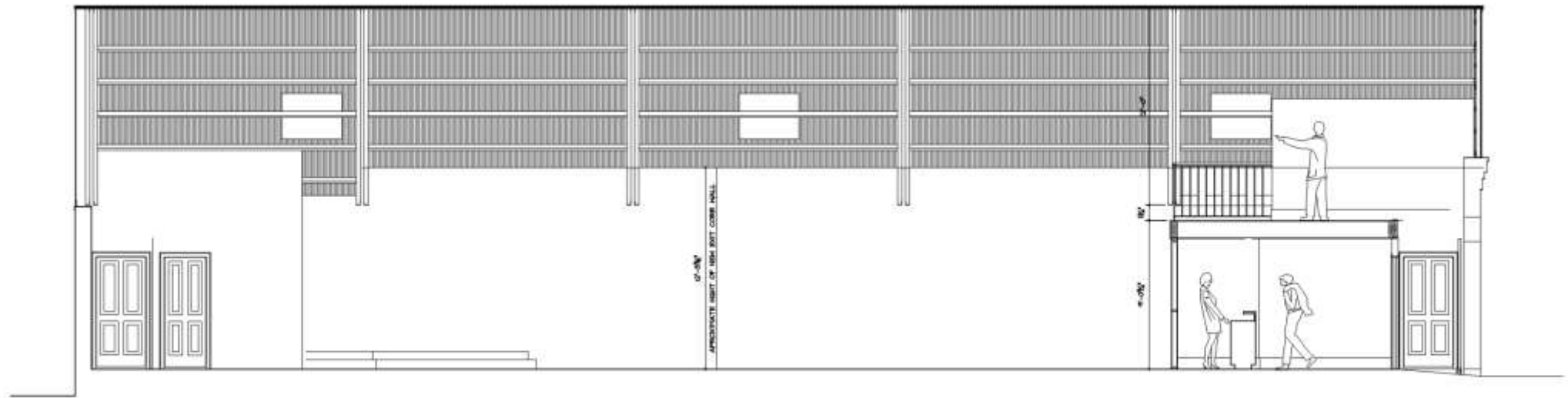
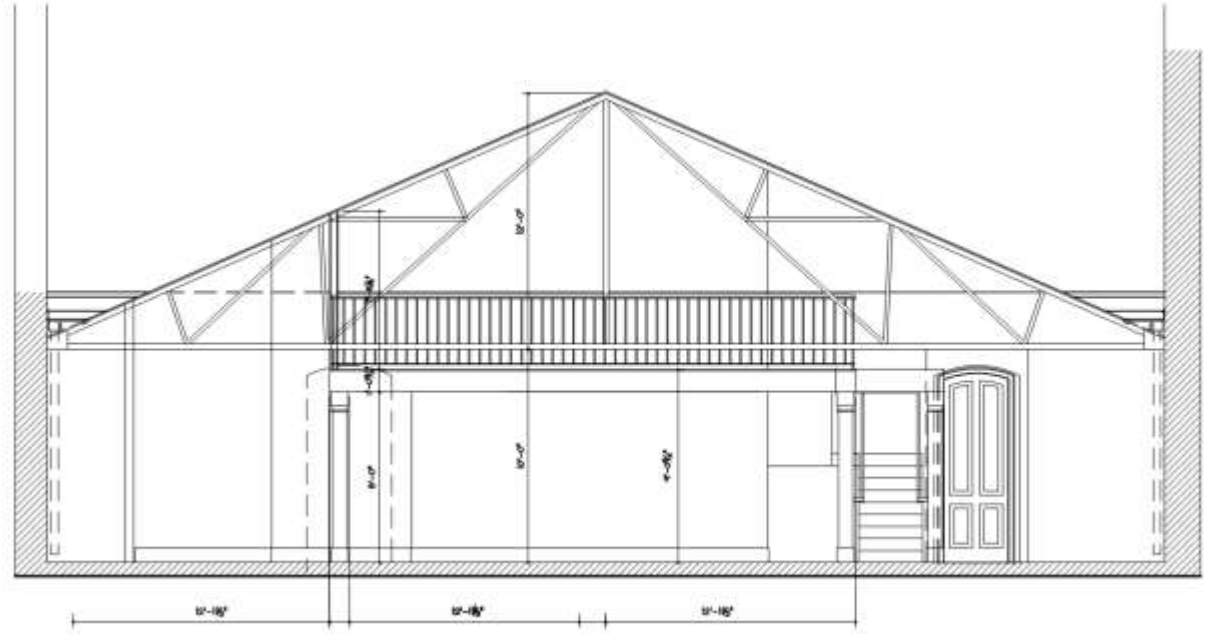
③ LONGITUDINAL SECTION




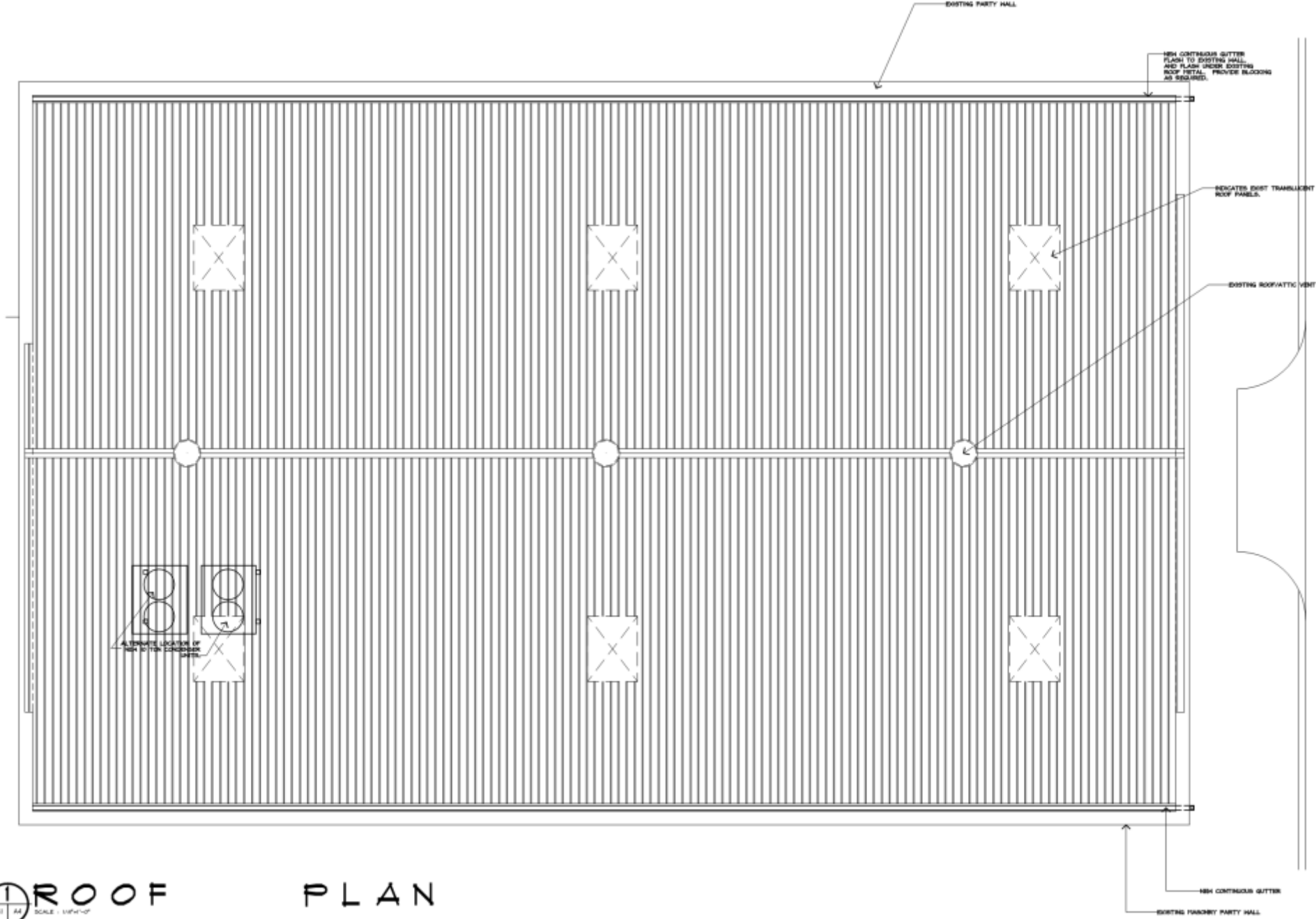
 **FIRST FLOOR PLAN**







 **FIRST FLOOR PLAN**




ROOF
 SCALE: 1/8"=1'-0"

PLAN





Mechanical Room Installation Considerations

Mechanical Room Installation Option

High ESP fan fitted as standard can accommodate extended hoods on condensing units

0.32" ESP

The static pressure of connected discharge plenum must not exceed 0.32" ESP

Field supplied drain pan for condensing unit

See Engineering Bulletin EG002 for more details on this type of application



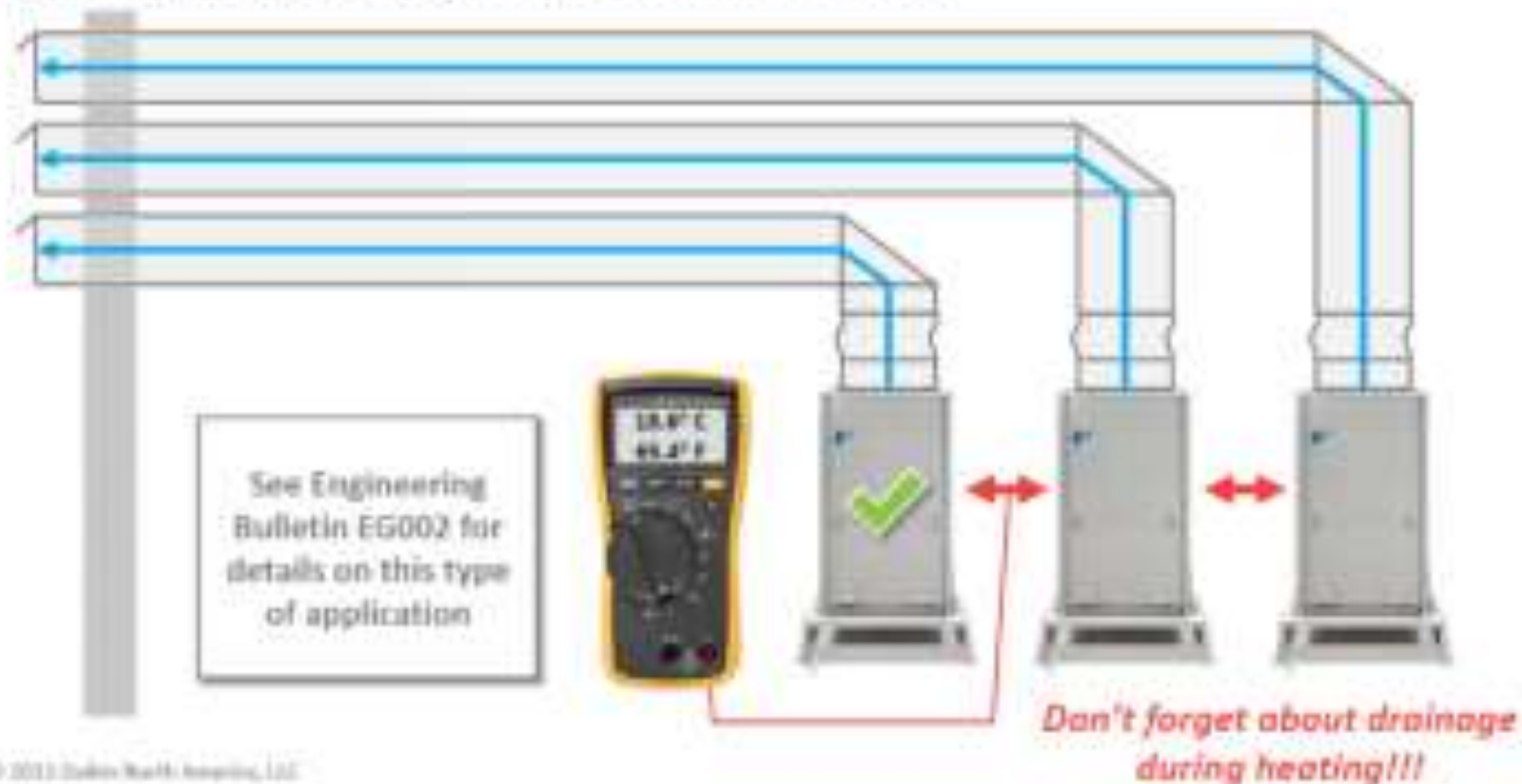
© 2013 Daikin North America, LLC

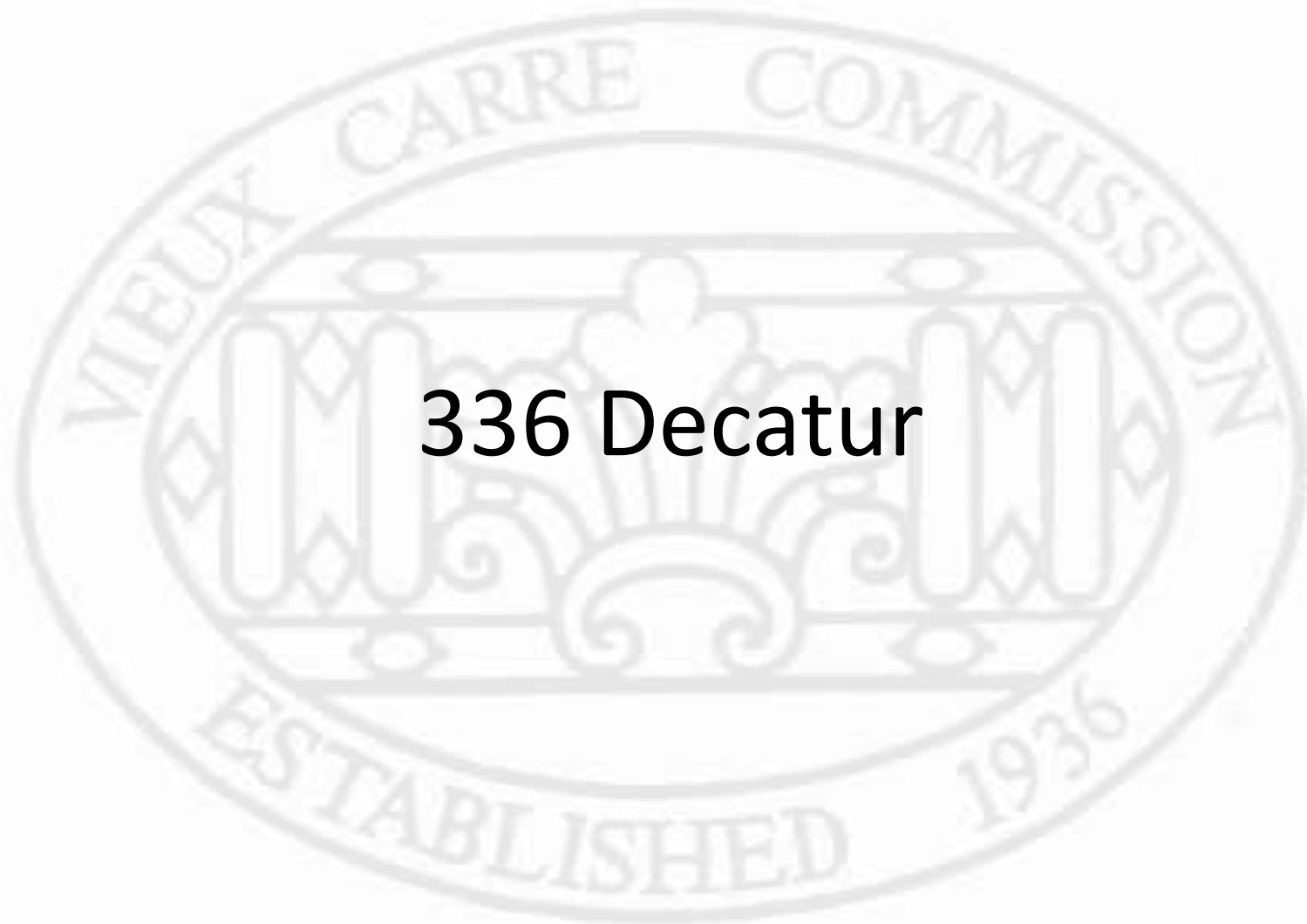
DAIKIN

Mechanical Room Installation Considerations

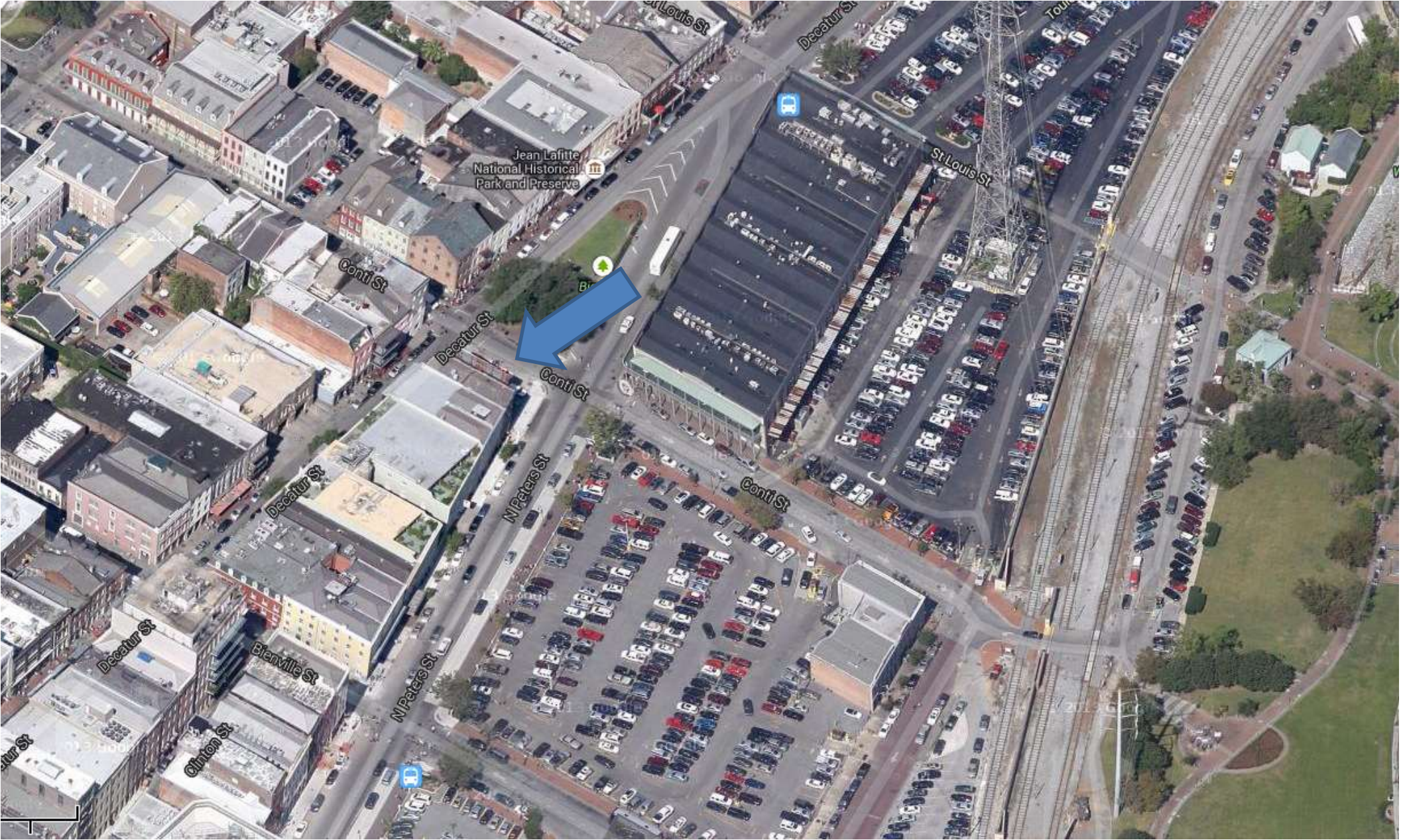
Outdoor units installed in building

- Each outdoor unit requires their **own exhaust duct**
- Maximum of 0.32" wg pressure drop in each duct





336 Decatur



336-40 Decatur / 400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 9, 2018





336-40 Decatur / 400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 9, 2018





336-40 Decatur /400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 9, 2018





336-40 Decatur /400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 9, 2018





336-40 Decatur /400 Conti

VCC Architectural Committee

October 9, 2018



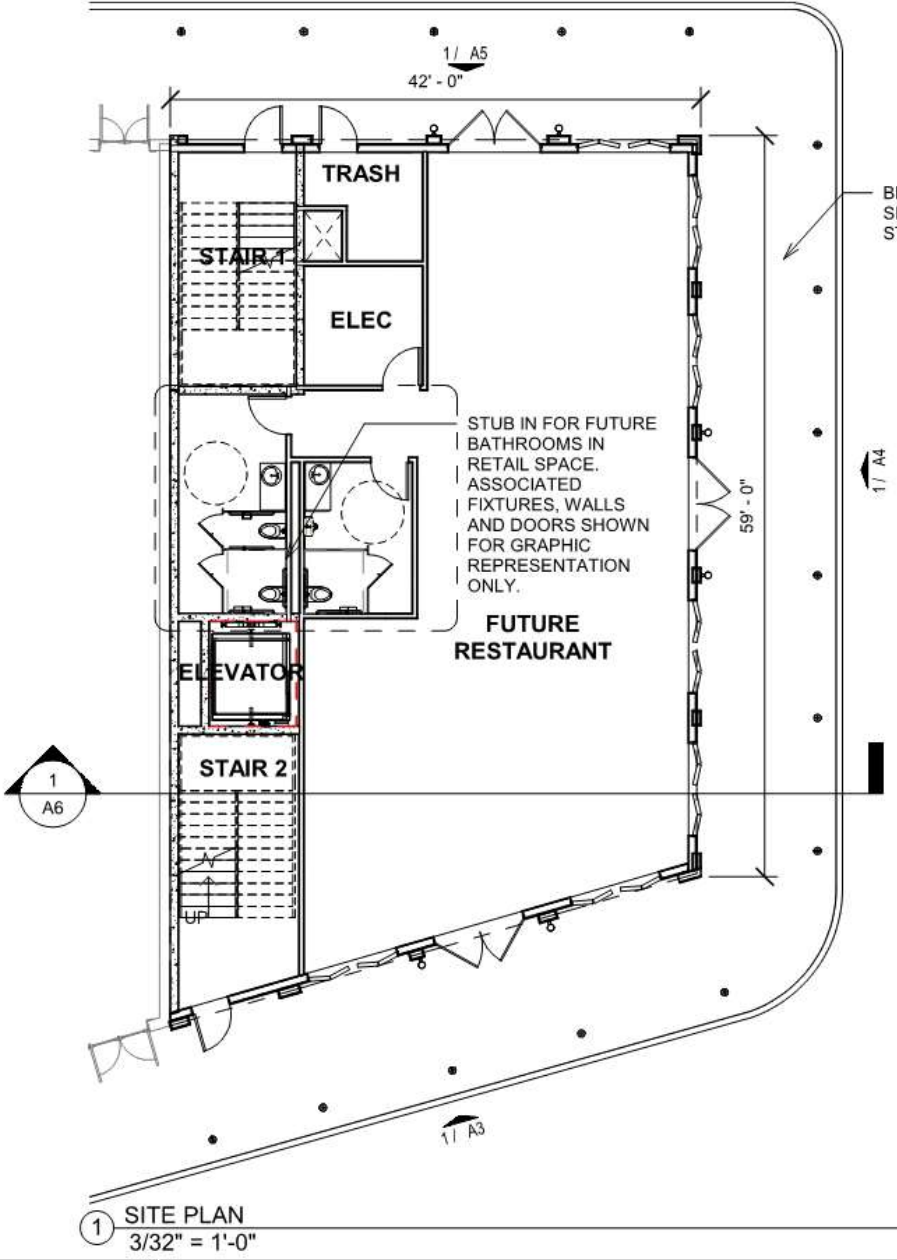


336-40 Decatur /400 Conti

VCC Architectural Committee

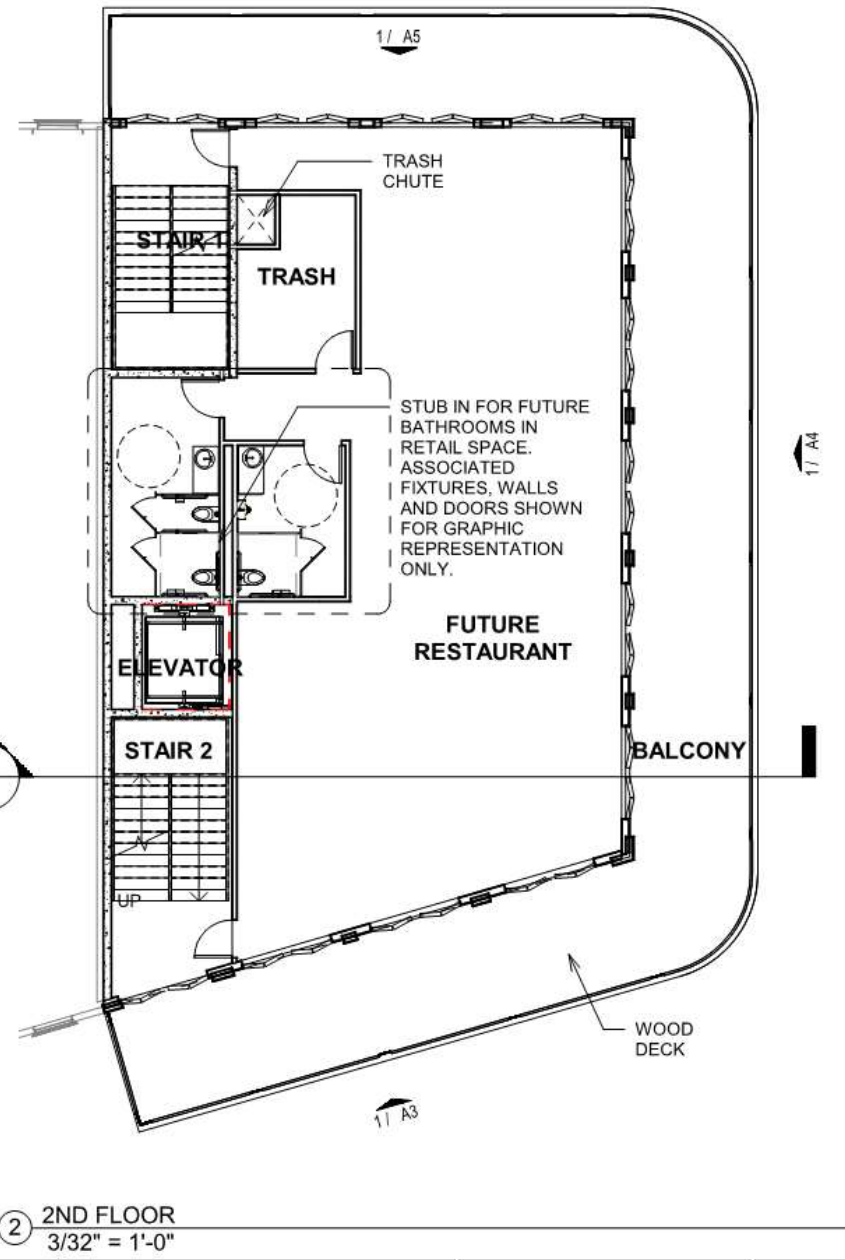
October 9, 2018





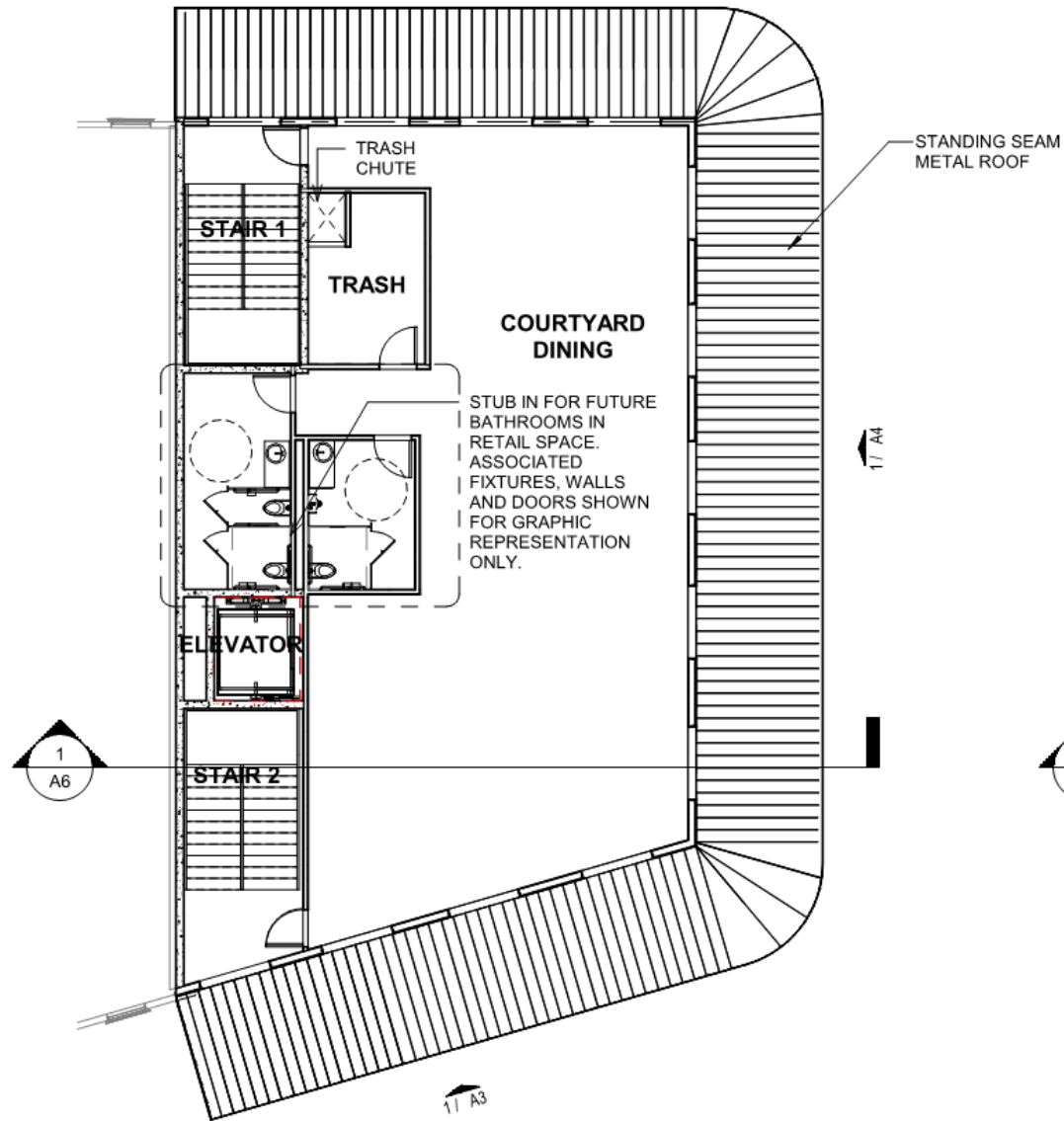
① SITE PLAN
3/32" = 1'-0"

BRICK PAVED
SIDEWALK. DDD
STANDARDS

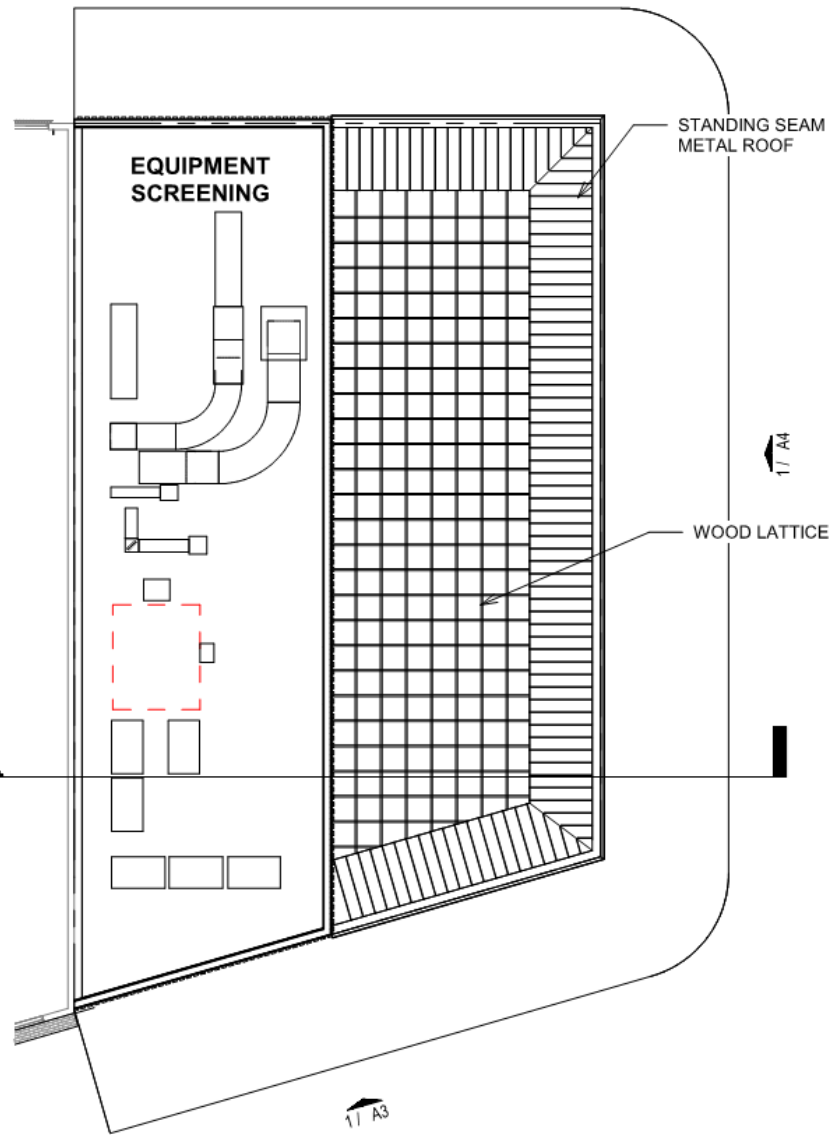


② 2ND FLOOR
3/32" = 1'-0"





① 3RD FLOOR
3/32" = 1'-0"



② ROOF PLAN
3/32" = 1'-0"





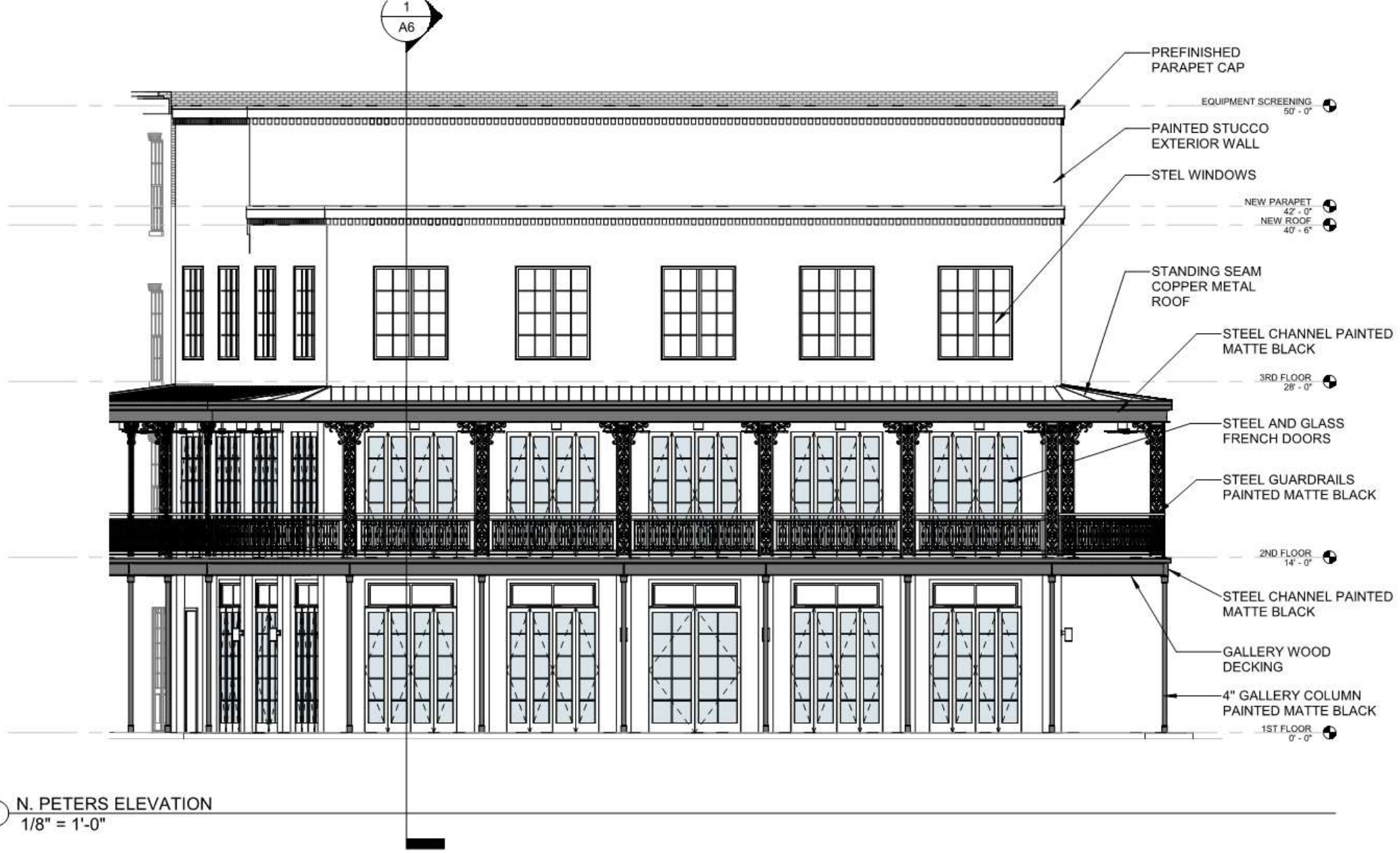
① DECATUR STREET ELEVATION
 1/8" = 1'-0"

336-40 Decatur / 400 Conti

VCC Architectural Committee

October 9, 2018





336-40 Decatur /400 Conti

VCC Architectural Committee

October 9, 2018





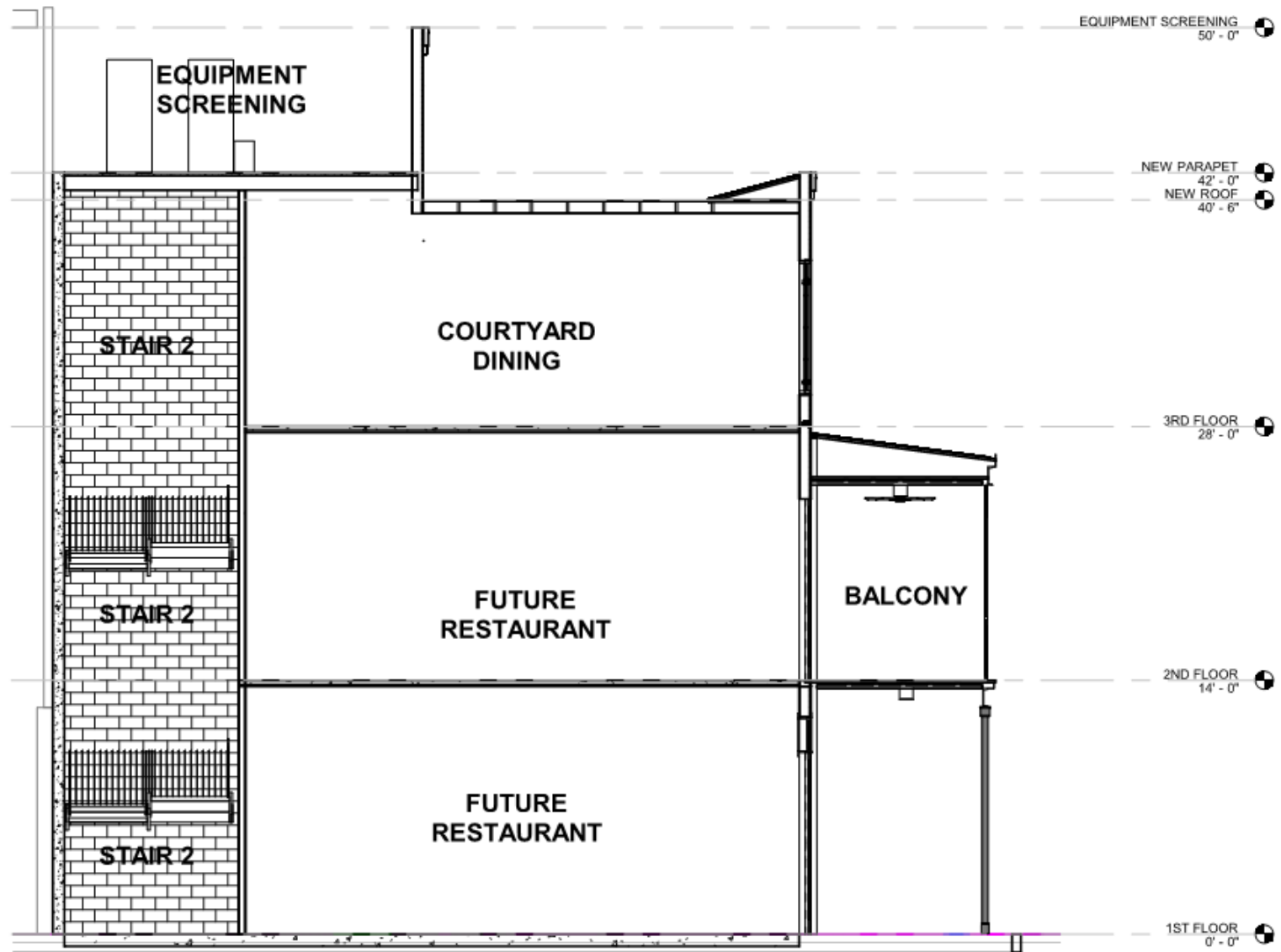
① CONTI ELEVATION
 1/8" = 1'-0"

336-40 Decatur / 400 Conti

VCC Architectural Committee

October 9, 2018





① BUILDING SECTION
 1/8" = 1'-0"



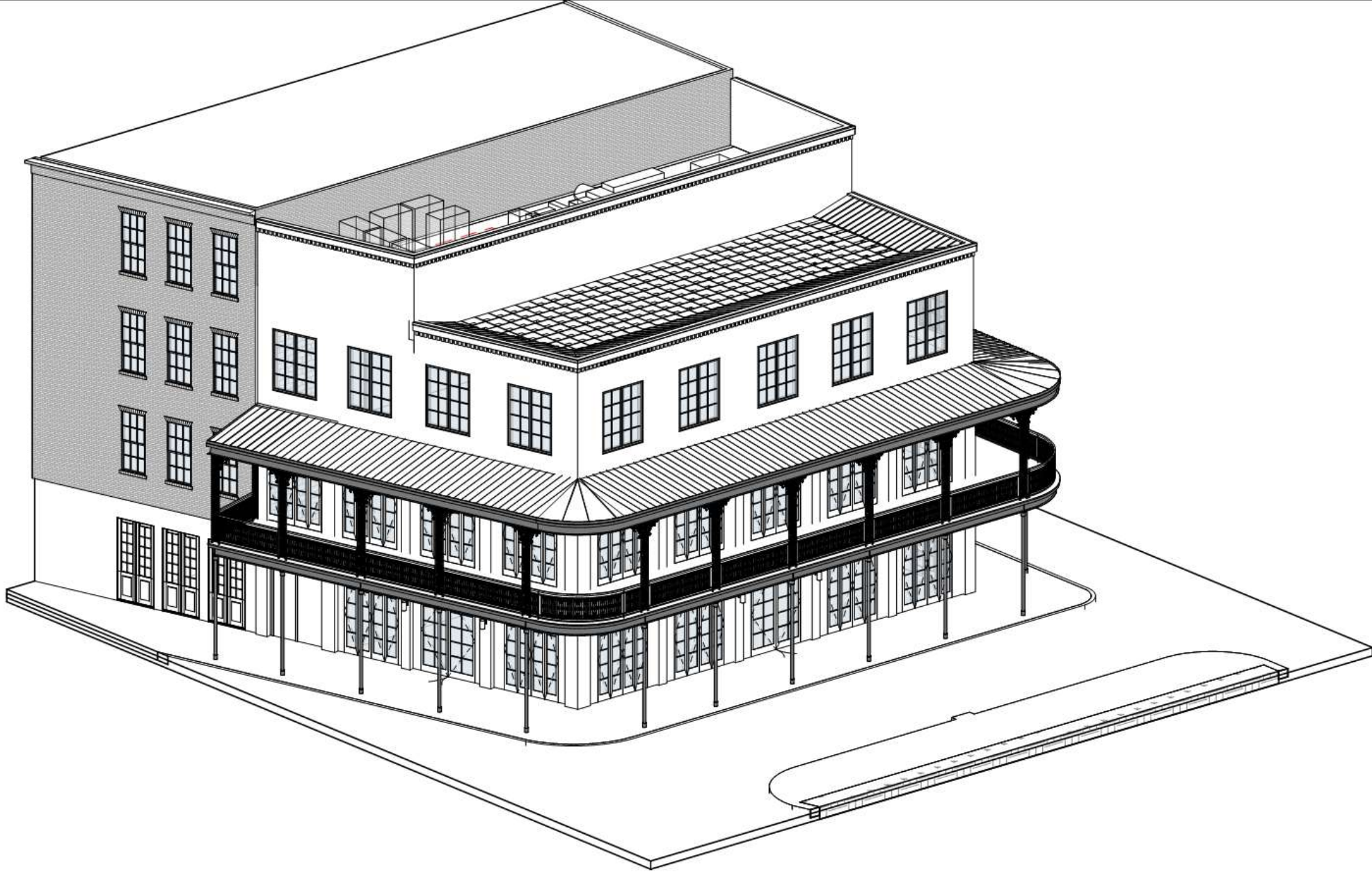


336-40 Decatur /400 Conti

VCC Architectural Committee

October 9, 2018





336-40 Decatur /400 Conti

VCC Architectural Committee

October 9, 2018



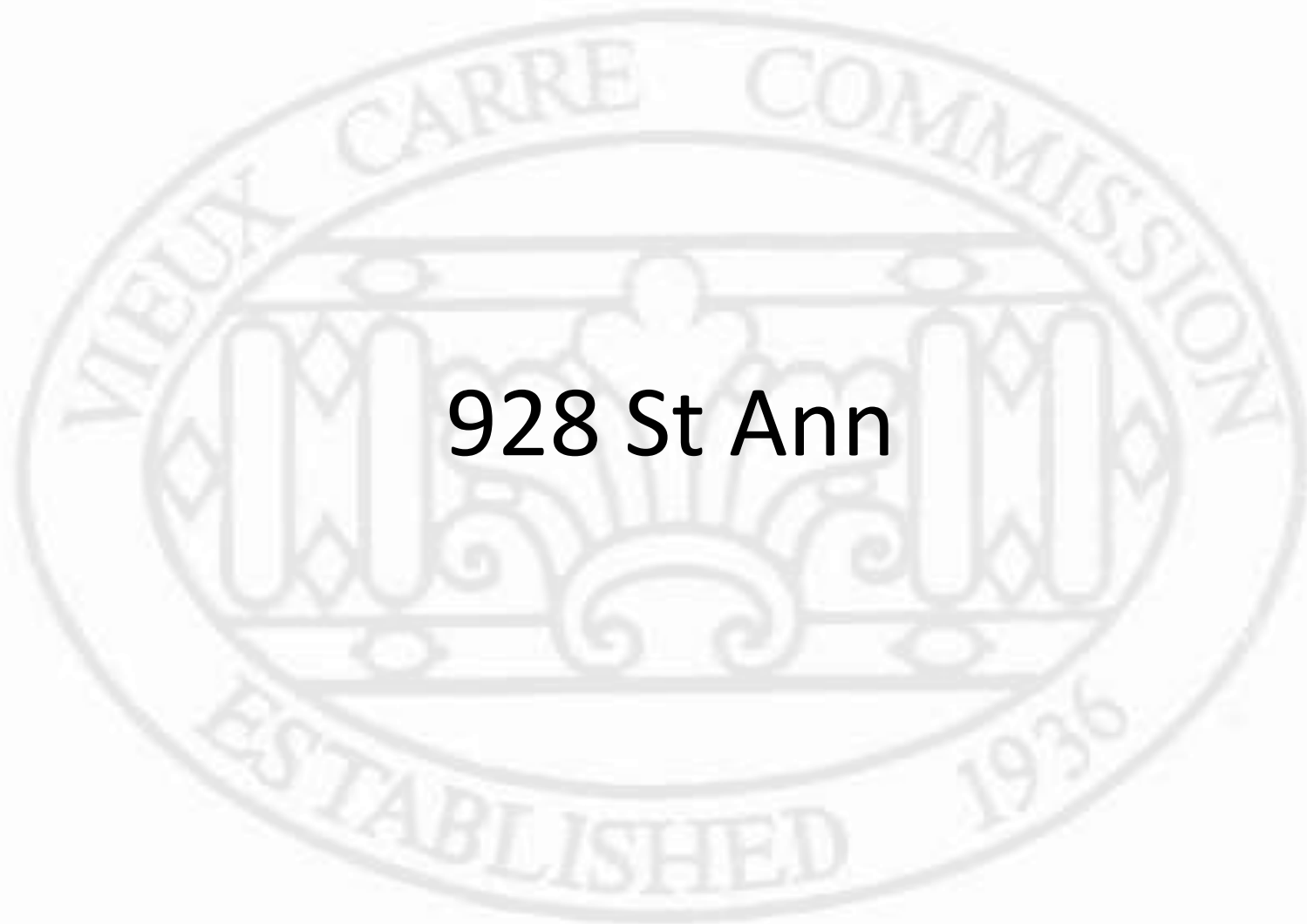


336-40 Decatur / 400 Conti – Previous Proposal

VCC Architectural Committee

October 9, 2018





928 St Ann



928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St An

VCC Architect





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018





928 St Ann

VCC Architectural Committee

October 9, 2018



928 Saint Ann Street

3-Story Townhouse Rehabilitation
New Orleans, LA 70116

PROJECT INFORMATION

TOTAL SF: 476 SQ FT
OCCUPANCY: RESIDENTIAL
CONSTRUCTION TYPE: TYPICAL
SQUARE FT: SF
LOT: P
ZONING CLASSIFICATION: R3B-1

AREA CALCULATIONS

FLOOR	AREA (SQ FT)	FLOOR	AREA (SQ FT)
FLOOR 1	1,234.00	FLOOR 2	1,234.00
FLOOR 3	1,234.00	FLOOR 3	1,234.00

INDEX OF DRAWINGS

- A-1 TITLE SHEET
- A-2 SITE / FIRST FLOOR PLAN
- A-2.1 SECOND FLOOR PLAN
- A-2.2 THIRD FLOOR PLAN
- A-2.3 ROOF PLAN
- A-4 FRONT ELEVATION
- A-4.1 SIDE ELEVATION - DAUPHINE STREET SIDE
- A-4.2 ALLEY SIDE ELEVATION - REAR ELEVATION

ARCHITECTURAL LEGEND



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 VICINITY
NTS



5 SURVEY
NTS

WALL TYPES	
EXISTING MASONRY	---
EXISTING PLASTER	---
NEW	---
RECONSTRUCTION	---
REMOVE	---

SCHEMATIC DESIGN

Guns Modern
4719 S. Claiborne Avenue
New Orleans, LA 70125
504 876 2227

EXISTING FIRST AND SECOND FLOOR PLANS

Aura, LLC
928-40 Saint Ann
First - Third Floor Rehabilitation - Single Family
New Orleans, LA 70116

Vieux Carre Architectural Committee Meeting

Issued: October 02, 2018

PROJECT NUMBER:	18-014
DRAWN BY:	SPS
DATE PLOTTED:	08/08/18

A-1



GENERAL FLOOR PLAN NOTES

- A. EXIST SCALE DRAWINGS
- B. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS FROM TO COMMENCEMENT OF EACH PORTION OF THE WORK
- C. THE CONTRACT DOCUMENTS ARE COMPLIANT WITH WHAT IS REQUIRED BY THE CONTRACT DOCUMENTS AND THE CONTRACT DOCUMENTS SHALL GOVERN OVER ALL OTHER DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- D. SIZES OF MEMBER MATERIALS SHALL BE INDICATED AS FOLLOWS: ALL STEEL MEMBERS ARE CONSTRUCTED OF A36 STRUCTURAL STEEL UNLESS OTHERWISE NOTED ON EACH SIDE. FOR LIGHTER MEMBERS, ALL DIMENSIONS WILL BE MADE FROM FACE OF FRAMING WALL TO FACE OF FRAMING WALL. CONTRACTOR TO VERIFY DIMENSIONS FROM DRAWINGS WILL BE SECURE TO TO PLANS PRIOR TO ANY CONSTRUCTION.
- E. FINISHED FLOOR FINISH TO TOP OF ACTUAL FINISHED FLOOR
- F. REVISIONS TO FINISHES AND NOT SHOWN IN THIS DRAWING AND SHALL BE COMPLETELY PROVIDED AS PER DRAWING WALL
- G. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR BY WALL DIMENSION SHALL BE 12" FROM FACE OF WALL TO FACE OF DOOR FRAME. DIMENSION SHALL BE 10" FROM FACE OF WALL TO FACE OF DOOR FRAME AT CORNER WALLS
- H. AT CORNER WALLS, WALL HEIGHT FROM FINISH SHALL BE SHOWN BY DIMENSION OR BY FACE OF FINISH. TOP BOTTOM IN SECTION. DOOR FINISHES: SLATED, SPRING FINISHES, AND ALL OTHER FINISHES.
- I. LINES OF EXISTING CRACKS, AS SHOWN ON THE RELATED ELEVATIONS AND SECTIONS ARE APPROVED.
- J. VERIFY ALL DIMENSIONS AND FINISHES PROVIDED IN THIS DRAWING. VERIFY DIMENSIONS.
- K. VERIFY ALL DIMENSIONS AND FINISHES PROVIDED IN THIS DRAWING. VERIFY DIMENSIONS.
- L. VERIFY ALL DIMENSIONS AND FINISHES PROVIDED IN THIS DRAWING. VERIFY DIMENSIONS.
- M. REFER TO CONTRACTOR ENGINEER FOR FINISHES, DIMENSIONS AND COORDINATE FOR WALL FINISHES.
- N. FOR FINISHES, DIMENSIONS, AND COORDINATE, REFER TO CONTRACTOR ENGINEER FOR FINISHES, DIMENSIONS AND COORDINATE FOR WALL FINISHES.
- O. ALL WALLS SHOULD BE FINISHED WITH FINISHES AND MATERIALS AS SHOWN ON THE DRAWING.

WALL TYPES

CONCRETE MASONRY	---
CONCRETE BLOCK	---
CMU	---
CMU WITH INSULATION	---
CMU WITH INSULATION AND EXTERIOR FINISH	---

DEVELOPMENT



Gunn Modern
4519 S. Chalkline Avenue
New Orleans, LA 70118
504.810.2221

NEW SITE / FIRST FLOOR PLAN

Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70118



SITE / NEW FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROJECT NUMBER	18018
ISSUED BY	JMS
ISSUE DATE	09/20/18

A-2



GENERAL FLOOR PLAN NOTES

- A. VERIFY SCALE DIMENSIONS
- B. GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK
- C. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND AS REQUIRED BY ONE OR MORE AS IF REQUIRED BY ALL, THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK ACCORDING TO THE CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- D. UNLESS OTHERWISE INDICATED, WALL THICKNESSES ARE AS FOLLOWS:
 ALL INTERIOR WALLS ARE CONSTRUCTED OF 12" NOMINAL YELLOW PINE WITH FINISH OF 1/2" GYPSUM BOARD ON EACH SIDE. FIRE CLASH, CONCRETE SHALL BE BASED FROM FACE OF FINISH WALL TO FACE OF FINISH WALL.
 CONTRACTOR TO MAKE SURE ROOM DIMENSIONS WILL BE ACCURATE TO PLANS PRIOR TO INSTALLING GYPSUM BOARD.
- E. FINISHED FLOOR REFERS TO TOP OF ACTUAL FINISHED FLOOR
- F. VERIFY THE FEATURES ARE NOT DELETED OR MODIFIED AND SHALL BE COMPLETELY PROVIDED AS OF DRAWN DETAILS.
- G. DIMENSIONS TO CENTER UNLESS OTHERWISE INDICATED. DIMENSIONS SHALL BE TO THE FACE OF FINISH WALL, TO CENTER OF DOOR OR WINDOW OPENING OR CENTER OF FINISH WALL.
- H. AT EXISTING WALLS, FULL HOODS OF RAFTERS SHALL BE MAILED WITH 2X6S WITH A MINIMUM TOE LAP OF 12" IN FINISH WALL. DIMENSIONS SHALL BE TO CENTER OF FINISH WALL AND ALL CLASHES INDICATED.
- I. USE OF EXISTING DIMENSIONS AS SHOWN ON THE EXISTING ELEVATIONS AND SECTIONS ARE APPROXIMATE.
- J. VERIFY ALL ROOMS IN EXISTING REQUIREMENTS PROVIDED IN THE CONTRACT, OR BY CODES.
- K. DWG
- L. VERIFY SITE LOCATION, FINISH FLOOR FINISH, ETC. AND PROVIDE COORDINATE ALL REQUIRED UTILITIES THROUGH FLOORS AND WALLS. SECURE DOORS, TURNING CORNERS, BRACING AND PROTECT ALL BRACKS AND BUSHINGS REQUIRED FOR ATTACHMENTS, MECHANICAL, ELECTRICAL, AND OTHER EQUIPMENT.
- M. REFER TO CONTRACTOR / OWNER FOR FINISH SCHEDULE AND COLOR LISTS FOR WALL FINISH SCHEDULING.
- N. FOR BRACKING REQUIREMENTS, SEE GENERAL STRUCTURAL NOTES. PROJECT SPECIFIC TABLE IF APPLICABLE.
- O. 1/2" FINISH WALL SHOULD BE PLACED IN FRONT OF EXISTING MASONRY WALL WHEN APPLICABLE.

WALL TYPES	
EXISTING MASONRY	---
EXISTING PLASTER	---
CMU	---
NEW 1/2" WALL ON EXISTING WALL	---

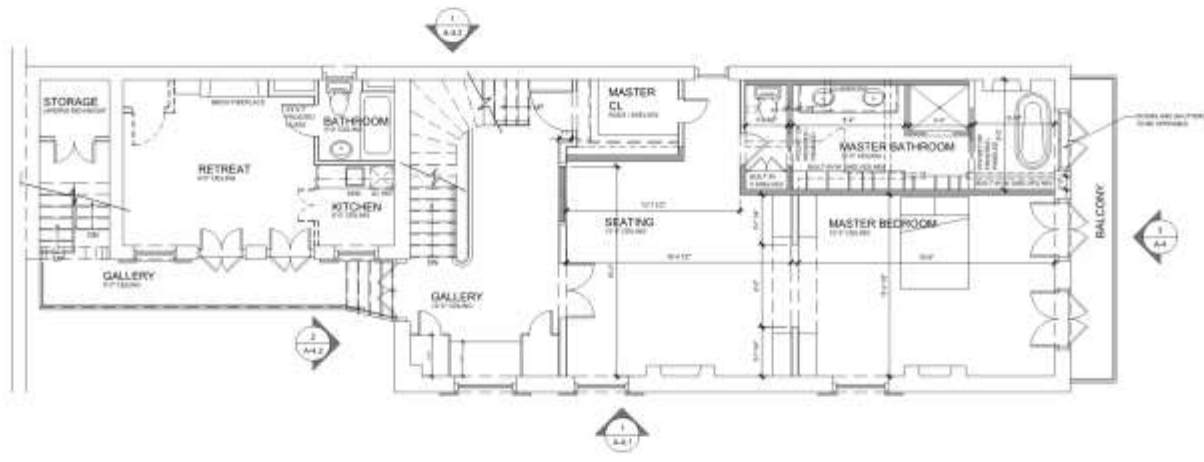
SCHEMATIC DESIGN



Gura Modern
 4519 S. Claiborne Avenue
 New Orleans, LA 70126
 504.876.2221

NEW SECOND FLOOR PLAN

Aura, LLC
 928-40 Saint Ann
 First 2 Third Floor Renovation - Single Family
 New Orleans, LA 70118

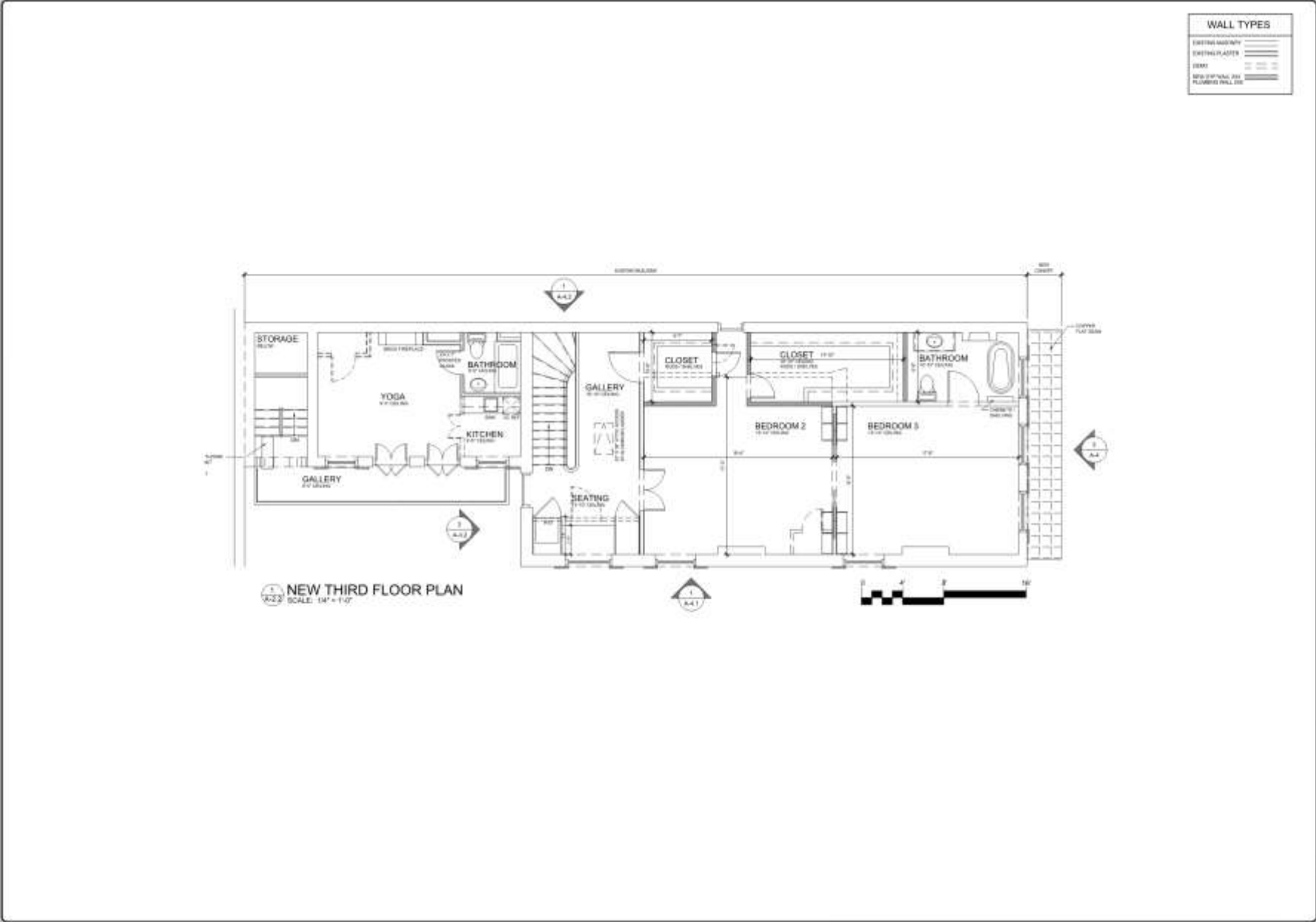


NEW SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PROJECT NUMBER	18-018
DATE	09/11/18
ISSUE DATE	09/20/18

A-2.1





SCHEMATIC DESIGN

Mad

Guns Modern
4119 E. Calhoun Avenue
New Orleans, LA 70122
504.870.2221

Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70116

PROJECT NUMBER:	14-078
DESIGNED BY:	MS
DATE:	10/09/18

A-2.2

928 St Ann



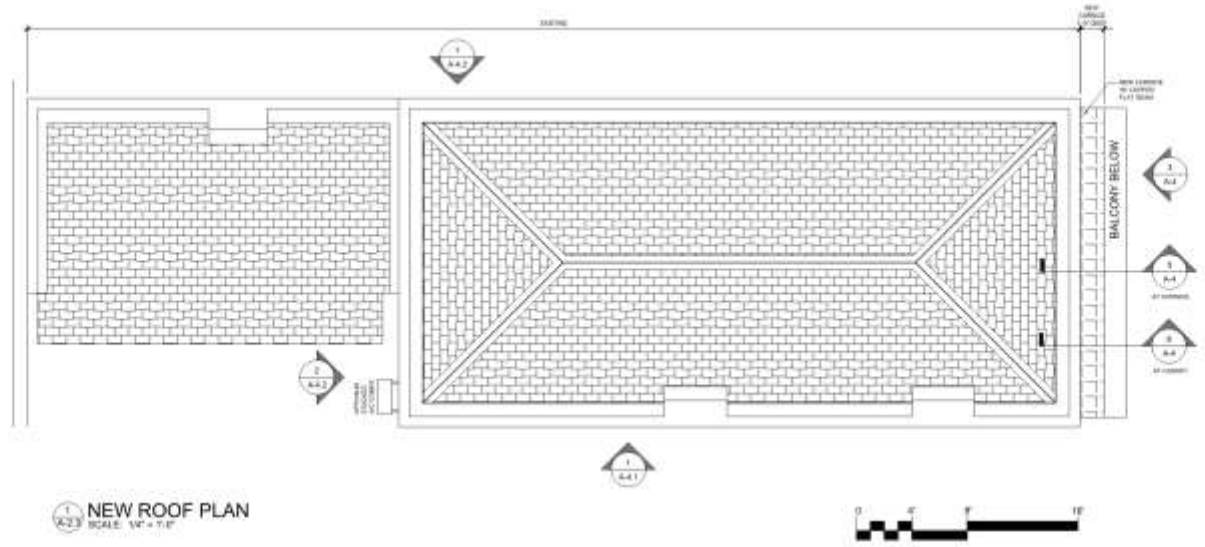
WALL TYPES	
EXISTING MASONRY	---
EXISTING PLASTER	---
CMU	---
NEW CMU WALL, 20' PLUMBING WALL, 12"	---

SCHEMATIC DESIGN



Guise Modern
 4519 S. Claiborne Avenue
 New Orleans, LA 70128
 504 875 2221

NEW THIRD FLOOR PLAN
Aura, LLC
928-40 Saint Ann
 Proj. - Third Floor Renovation - Single Family
 New Orleans, LA 70119



NEW ROOF PLAN
 SCALE: 1/4" = 1'-0"

PROJECT NUMBER:	18470
DATE:	08/16
ISSUE DATE:	10/09/18

A-2.3

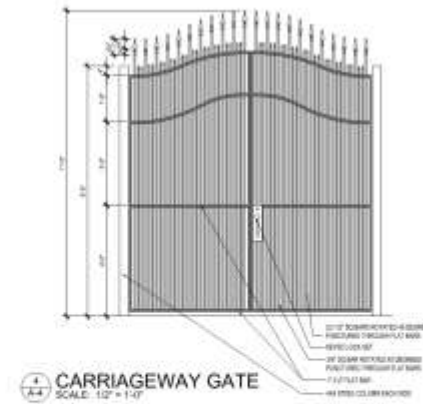




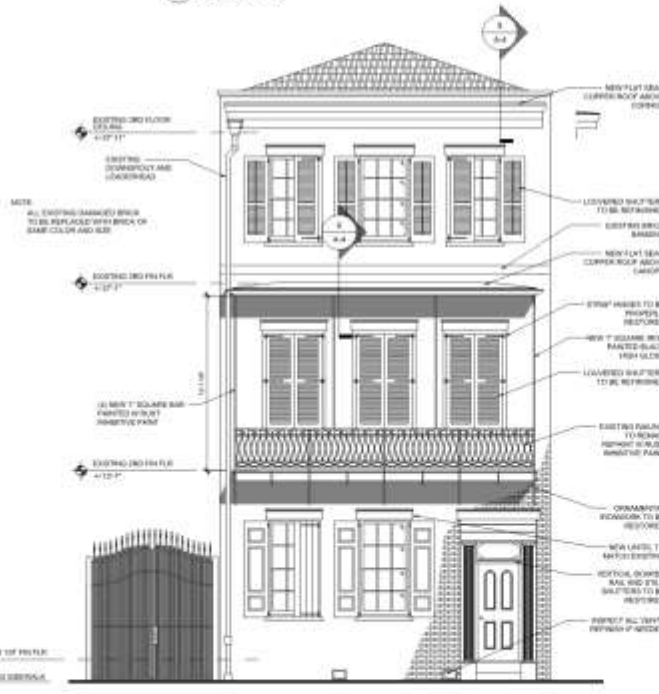
1 SAINT ANN ST EXISTING ELEVATION
SCALE: 1/8" = 1'-0"



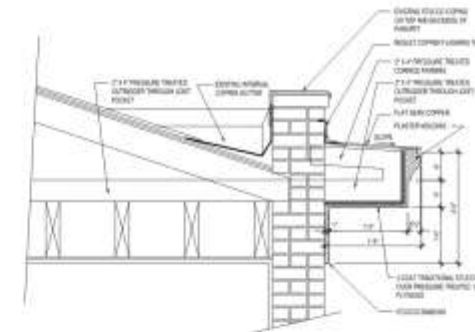
2 CORNER OF DAUPHINE AND SAINT ANN CIRCA ~1940
SCALE: 1/4" = 1'-0"



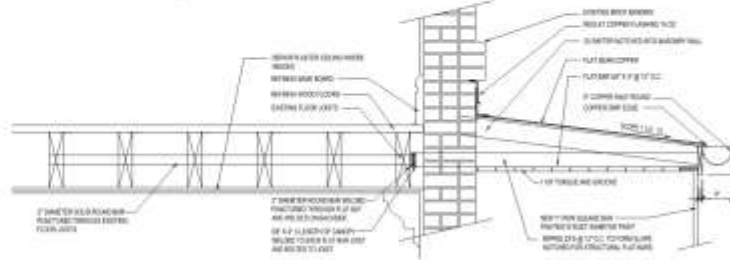
4 CARRIAGEWAY GATE
SCALE: 1/2" = 1'-0"



3 SAINT ANN STREET NEW ELEVATION
SCALE: 1/4" = 1'-0"



5 NEW CORNICE SECTION
SCALE: 1" = 1'-0"



6 NEW CANOPY SECTION
SCALE: 1" = 1'-0"

SCHEMATIC
DESIGN

Mod

Guns Modem
4070 S. Claiborne Avenue
New Orleans, LA 70126
504 818 2221

Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70116

PROJECT NUMBER:	0000
DRAWING:	SP0
ISSUE DATE:	06/20/18

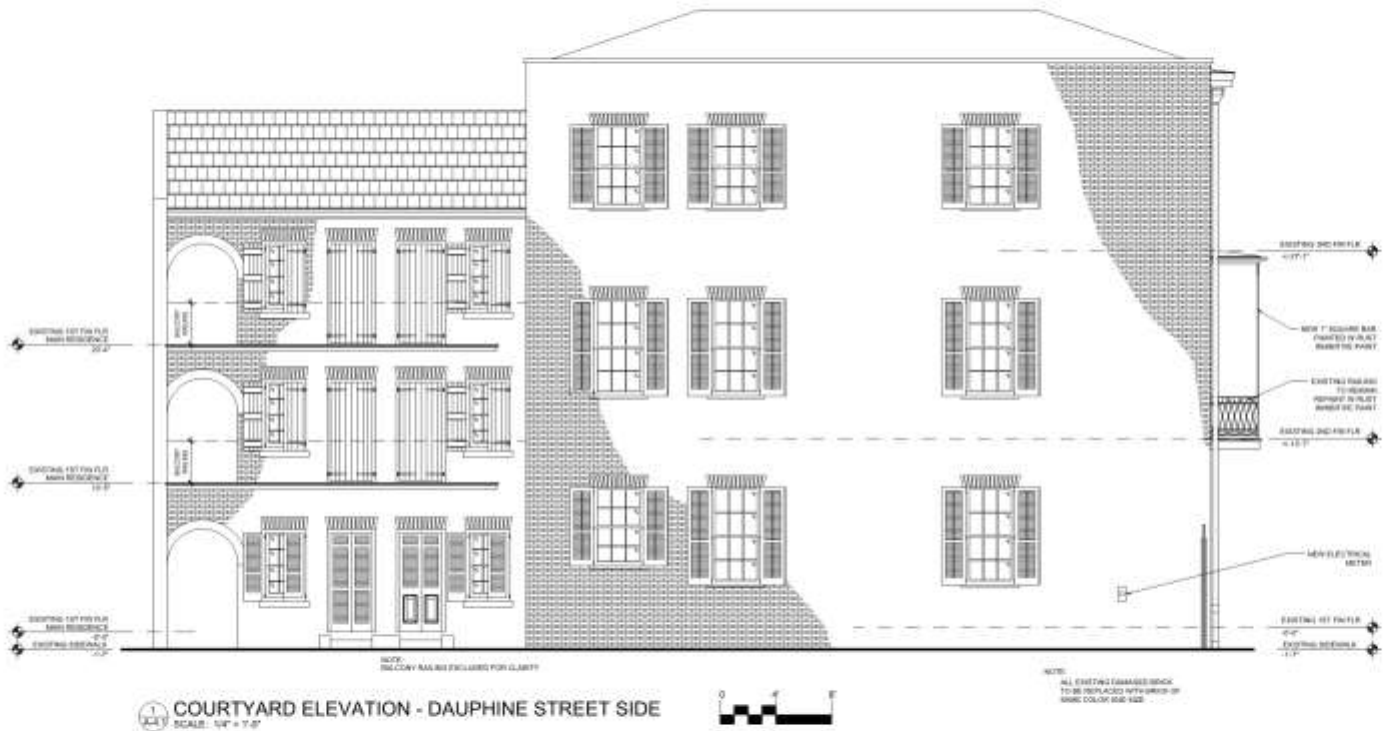
A-4

928 St Ann

VCC Architectural Committee

October 9, 2018





COURTYARD ELEVATION - DAUPHINE STREET SIDE
 SCALE: 1/4" = 1'-0"



NOTE: ALL EXISTING DAMAGED BRICK TO BE REPLACED WITH GRAY OR WHITE COLONY BRICK VENEER



Guns Modern
 4519 S. Galveston Avenue
 New Orleans, LA 70115
 504.817.2221

ELEVATION
Aura, LLC
928-40 Saint Ann
 First - Third Floor Rehabilitation - Single Family
 New Orleans, LA 70118

PROJECT NUMBER:	0515
DRAWN BY:	SP
DATE:	08/20/18

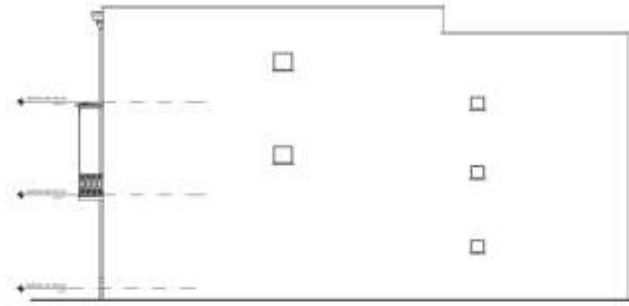
A-4.1

928 St Ann

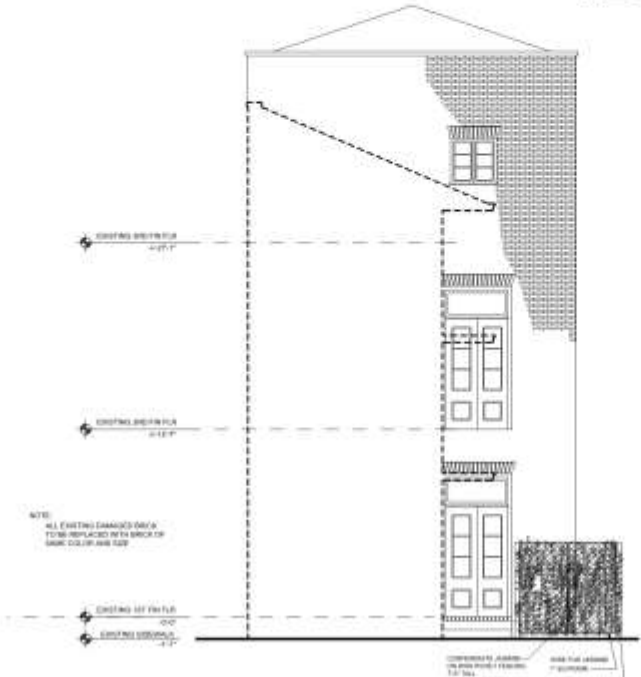
VCC Architectural Committee

October 9, 2018





1 OPPOSITE COURTYARD ELEVATION - BURGUNDY STREET SIDE
SCALE: 1/8" = 1'-0"



2 COURTYARD PARTIAL SECTION ELEVATION
SCALE: 1/4" = 1'-0"



SCHEMATIC DESIGN



Guns Modern
4015 S. Calonne Avenue
New Orleans, LA 70118
504.833.2271

ELEVATIONS
Aura, LLC
928-40 Saint Ann
Phase - Third Floor Renovation - Single Family
New Orleans, LA 70118

PROJECT NUMBER	18-074
DRAWN BY	SPS
DATE OF SET	09/20/18

A-4.2



M-SERIES

SUBMITTAL DATA: MXZ-8C60NA
5-TON MULTI-ZONE INVERTER HEAT-PUMP SYSTEM



Job Name:		
System Reference:		Date:



FEATURES

- Variable speed INVERTER-driven compressor
- Branch box for simplified piping and installation flexibility
- Up to 8 indoor units connectable (six [6] if a PLA-EA7 is connected)
- Optional base pan heater
- Quiet outdoor unit operation as low as 58 dB(A)
- High pressure protection
- Compressor thermal protection
- Compressor overcurrent detection
- Fan motor overheating/voltage protection
- Up to 98% of rated heating capacity at 17°F and 84% of rated heating capacity at 5°F (non-ducted, condition dependent)
- Energy Star® certified (non-ducted)

SPECIFICATIONS: MXZ-8C60NA

Model number	Outdoor unit		MXZ-8C60NA		
	Indoor unit type		Non-Ducted	Mix	Ducted
	Fan Motor Full Load Amperage	A	-		
	Fan Motor Output	W	0.2 + 0.2		
	Airflow Rate	CFM	4879		
	Refrigerant Control	Linear Expansion Valve			
	Defrost Method	Reverse Cycle			
	Heat Exchanger Type	Plate Fin Coil			
	Sound Pressure Level, Cooling*1	dB(A)	58		
	Sound Pressure Level, Heating*2	dB(A)	59		
	Compressor Type	Hermetic			
	Compressor Model	ANB66FFZMT			
	Compressor Motor Output	kW	4.2		
	Compressor Rated Load Amps	A	-		
	Compressor Locked Rotor Amps	A	-		
	Compressor Oil Type // Charge	oz.	FV50S // 78		
	External Finish Color	Munsell 3Y 7.8/ 1.1			
	Base Pan Heater	Optional (PAC-SJ20BH-E)			
	Unit Dimensions	W: In. [mm]	41-11/32 [1,050]		
		D: In. [mm]	13+1 [330+25]		
		H: In. [mm]	52-11/16 [1,338]		
	Package Dimensions	W: In. [mm]	42-15/16 [1,090]		
		D: In. [mm]	17-11/16 [450]		
		H: In. [mm]	56-1/4 [1,428]		
	Unit Weight	Lbs.[kg]	309 [140]		
	Package Weight	Lbs.[kg]	333 [151]		

928 St Ann

VCC Architectural Committee

October 9, 2018



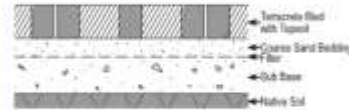
TERRACRETE

PERMEABLE CONCRETE BLOCK PAVING

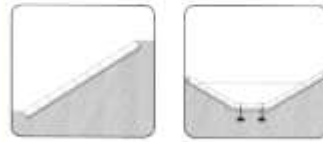


Block	Terracrete
Blocks/m ² (Measured on the face)	6-9
Block mass/kg	16
Earth Infill - m ³ per m ² (40% open)	0.04
Average constructed mass kg per m ² of surface area	200
Block wall thickness mm	40-50

TYPICAL APPLICATIONS



DRIVE OVER HARD LAWN Roads • Parking Areas
Eco-surfaces are capable of infiltrating large amounts of stormwater. The design of bedding layer and sub-base as short term storage reservoir depends on the ability of in-situ native soil to absorb this water.



EMBANKMENTS AND SHORELINES
Sand Dunes • Abutments • Spillways • Channels • Streams • River Banks • Dykes • Dams • Lakeshores



The units can be laid in different patterns and may be used with or without ground anchors for the lining of riverbanks and other areas subject to soil erosion. The paving of grassed roads and parking areas, as well as the stabilising of steep embankments such as bridge abutments can be undertaken with these versatile blocks.

Terracrete, manufactured locally and internationally by Terraforce licensees, is a versatile eco-surface hard lawn paving block that was introduced to the South African market by Terraforce in 2002. From an aesthetic point of view, they are very versatile. A grass driveway, a rustic gravel driveway, or an attractive pattern of pavers can add the finishing touch to a custom home looking to stand out. Permeable grass pavers can add a park-like or pastoral feel to many areas normally needing hard paving.

MACHINE MADE VERSION 16 KG (1, 2 & 3)



1. UNIDIRECTIONAL FORMATION 38% OPEN
8 TERRACRETE /sq m
Gross coverage of block = 0.1103 sq m
Area of openings inside blocks = 0.0356 sq m
Area of openings outside block = 0.0065 sq m
8 Blocks / sq m

Note: Slight dimensional variations may occur



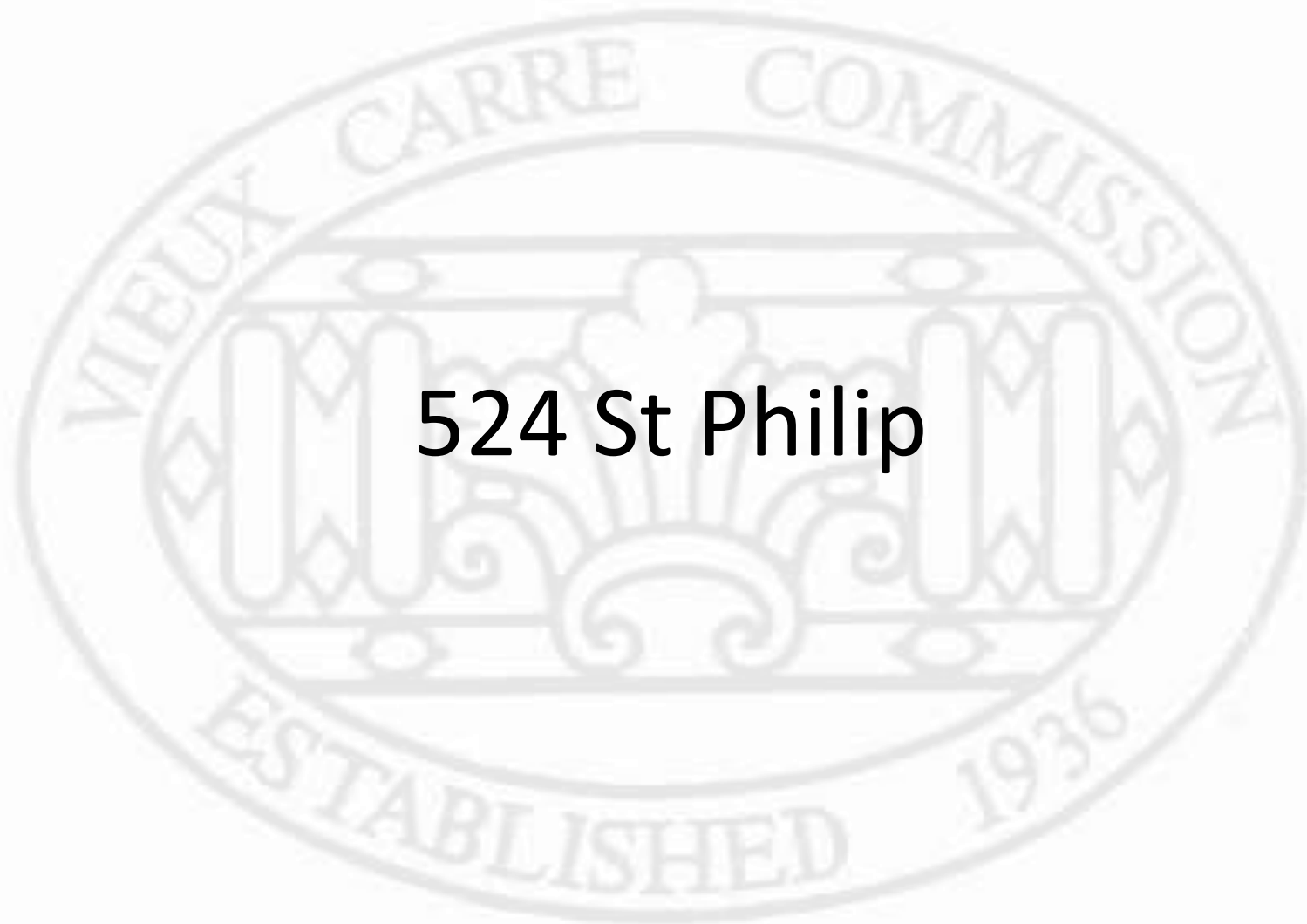
2. CIRCULAR FORMATION ± 49% OPEN
8.2 TERRACRETE /sq m
Gross coverage of block = 0.1103 sq m
Area of openings inside blocks = 0.0395 sq m
Area of openings outside block = 0.0065 sq m
8.2 Blocks / sq m



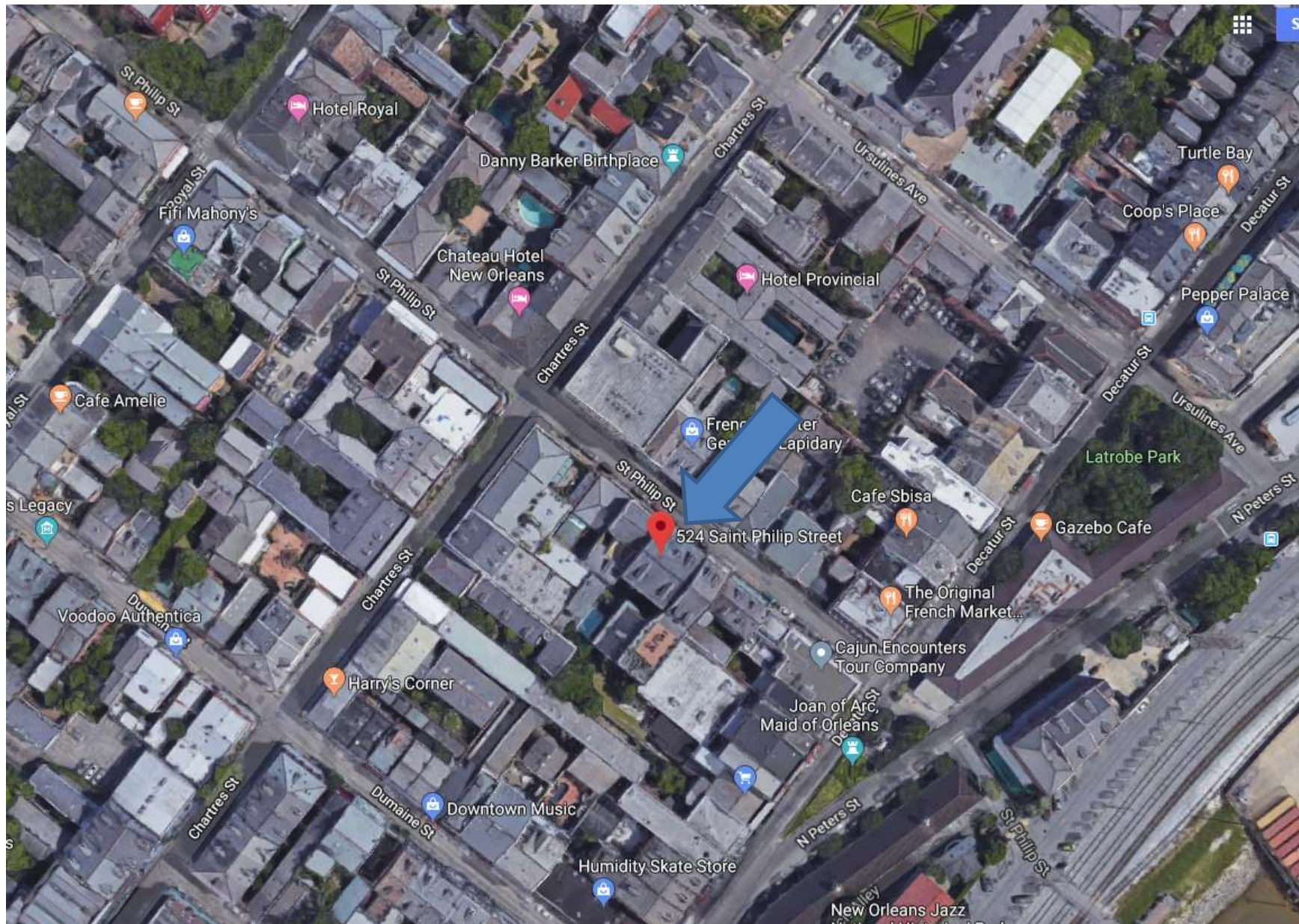
3. UNIDIRECTIONAL FORMATION (EXTENDED)
If x = 20mm: ± 8.5 Terracrete /sq m:
41% Open /sq m
If x = 100mm: ± 7.2 Terracrete /sq m:
50% Open /sq m
If x = 200mm: ± 6.0 Terracrete /sq m:
58% Open /sq m
Gross coverage of block = 0.1103 sq m
Area of openings inside blocks = 0.0395 sq m
Area of openings outside block = 0.0065 sq m
Area of 100mm GAP = 0.0285 sq m



New Business



524 St Philip



524 St Philip

VCC Architectural Committee

October 9, 2018





524 St Philip

VCC Architectural Committee

October 9, 2018



524 St Philip

VCC Architectural Committee



October 9, 2018





524 St Philip

VCC Architectural Committee

October 9, 2018





SCOPE OF WORK AREA ON INTERIOR

1 PHOTO
SCALE: N.T.S. EXISTING



2nd FLOOR DAMAGED ROTTEN JOIST

2 PHOTO
SCALE: N.T.S. EXISTING



3 PHOTO
SCALE: N.T.S. EXISTING

3rd FLOOR DAMAGED ROTTEN JOIST (Typ. of 2)



SCAB ON NEW 1/4"x12" STEEL PLATE w/ 3/8"Ø CARRIAGE BOLTS w/ NUT & WASHER STAGGERED @ 16" o.c. REMOVE SOME OF EXISTING BRICK TO ALLOW STEEL PLATE POCKET IN BRICK WALL (Typ.)

4 PHOTO
SCALE: N.T.S. EXISTING



FLOOR JOIST DAMAGE

5 PHOTO
SCALE: N.T.S. EXISTING



FLOOR JOIST DAMAGE

6 PHOTO
SCALE: N.T.S. EXISTING

PRELIMINARY
CONSTRUCTION
CENAC, P.E.
No. 21876





SCOPE OF
WORK AREA
ON INTERIOR

1

PHOTO

SCALE: N.T.S.

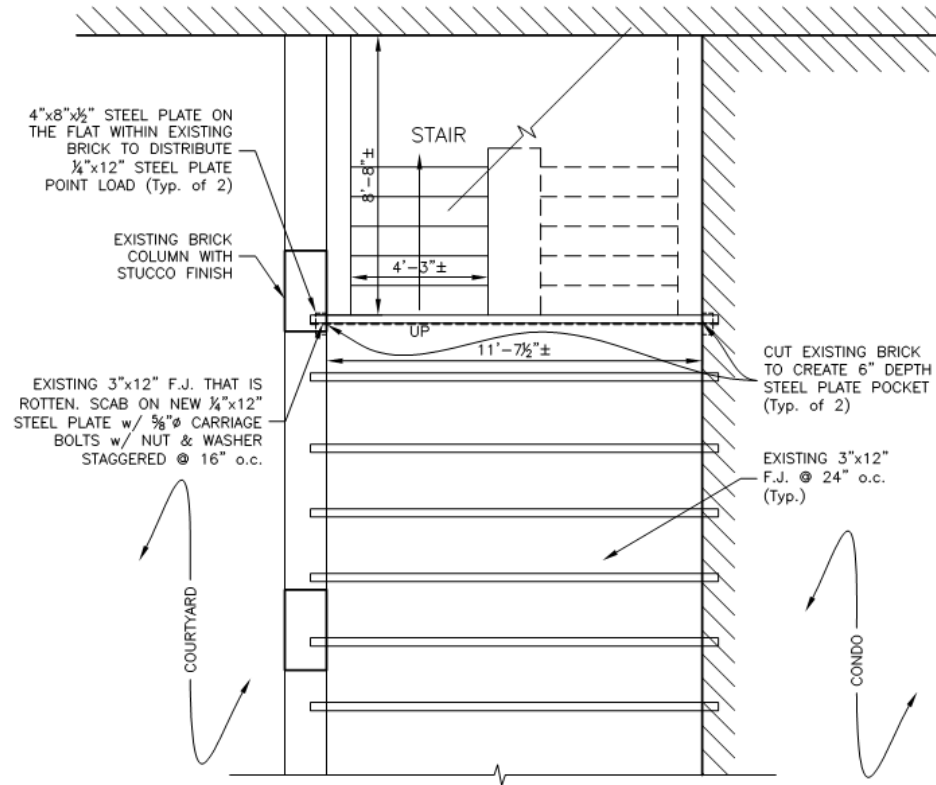
EXISTING

524 St Philip

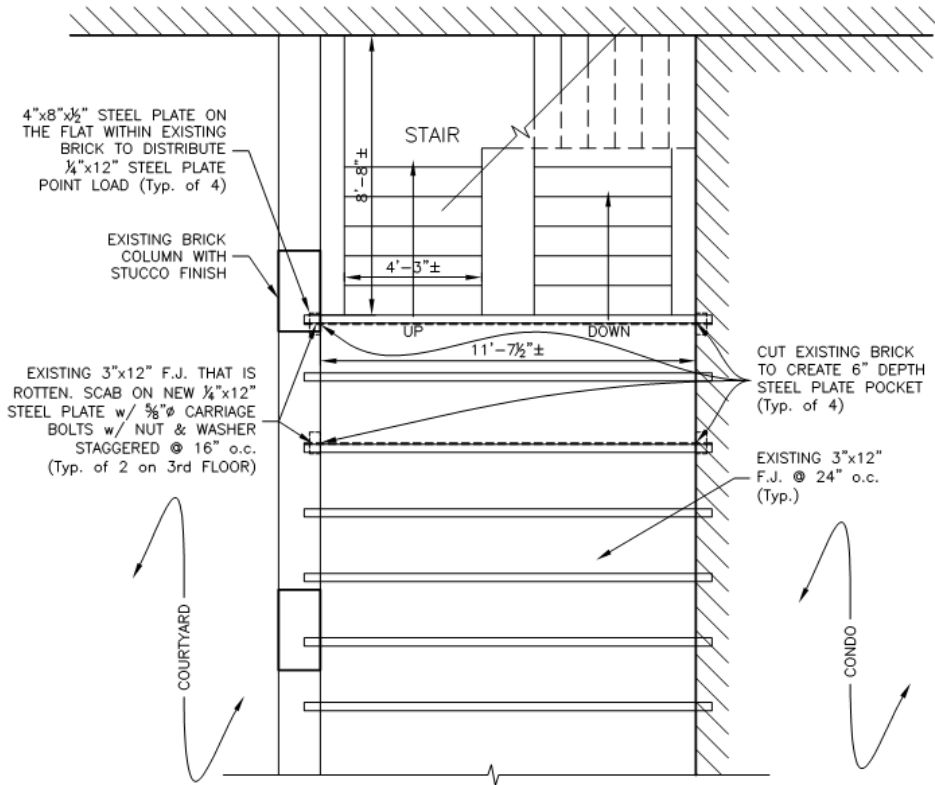
VCC Architectural Committee

October 9, 2018

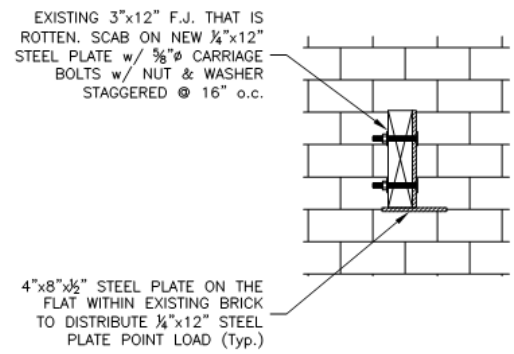




1 F.J. REPAIR PLAN (2nd FLOOR)
SCALE: 3/4" = 1'-0" EXISTING / PROPOSED



2 F.J. REPAIR PLAN (3rd FLOOR)
SCALE: 3/4" = 1'-0" EXISTING / PROPOSED



3 F.J. REPAIR DETAIL
SCALE: 3/4" = 1'-0" EXISTING / PROPOSED

GENERAL NOTES:

- 1.) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- 2.) ALL WORK SHALL COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE.
- 3.) FLOOR DESIGN LIVE LOAD = 50 P.S.F.

PRELIMINARY
NOT FOR CONSTRUCTION
MICHAEL A. CENAC, P.E.
LICENSE No. 21876

THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, COMPLIES WITH THE LATEST CITY OF NEW ORLEANS BUILDING CODE REQUIREMENTS. I (WILL/WILL NOT) INSPECT THE WORK.

MICHAEL A. CENAC, P.E. DATE





524 St Philip

VCC Architectural Committee

October 9, 2018





524 St Philip

VCC Architectural Committee

09 28 2018

October 9, 2018





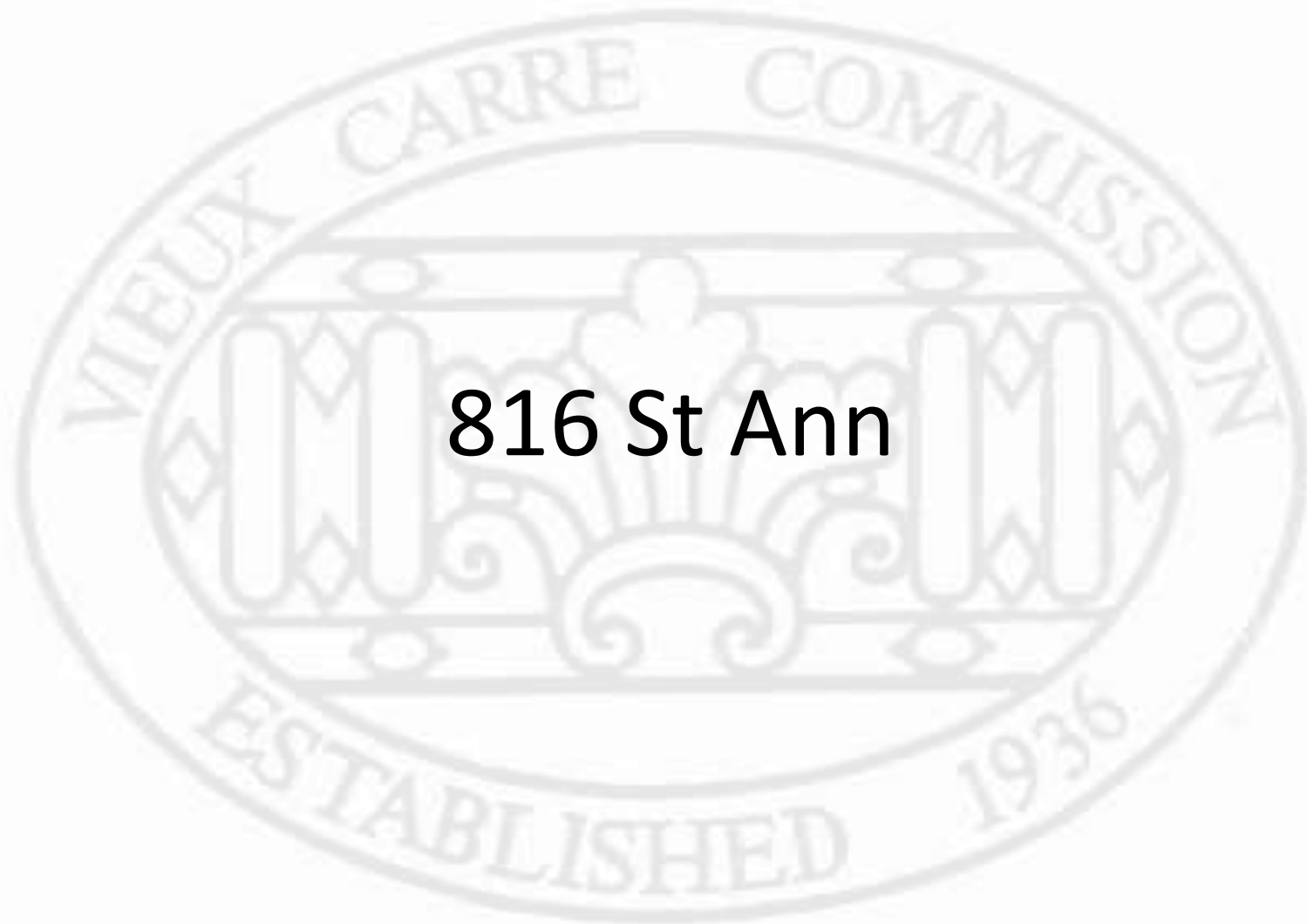
524 St Philip

VCC Architectural Committee

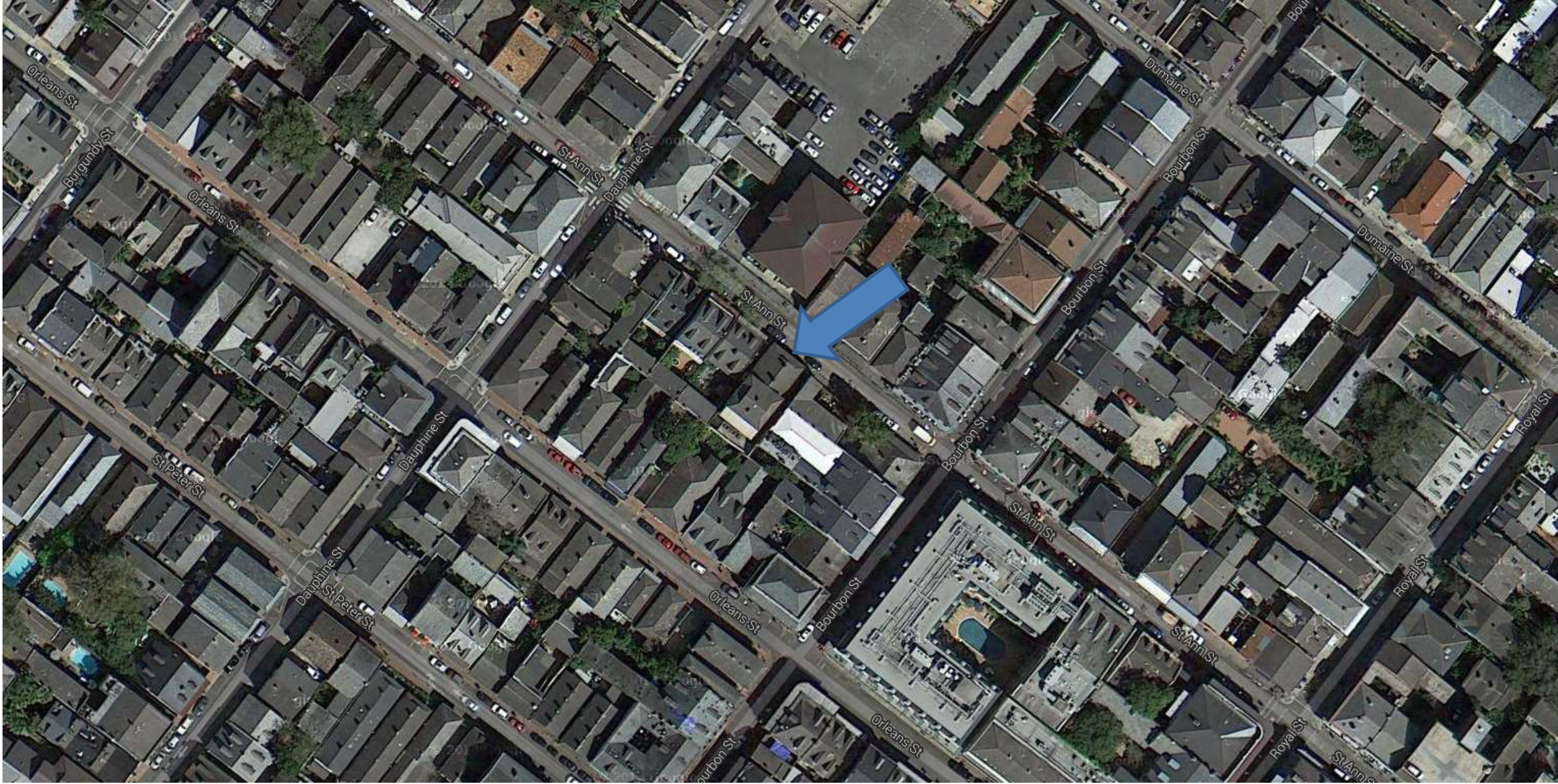
09 28 2018

October 9, 2018





816 St Ann



816-20 St. Ann





816-20 St. Ann





816-20 St. Ann



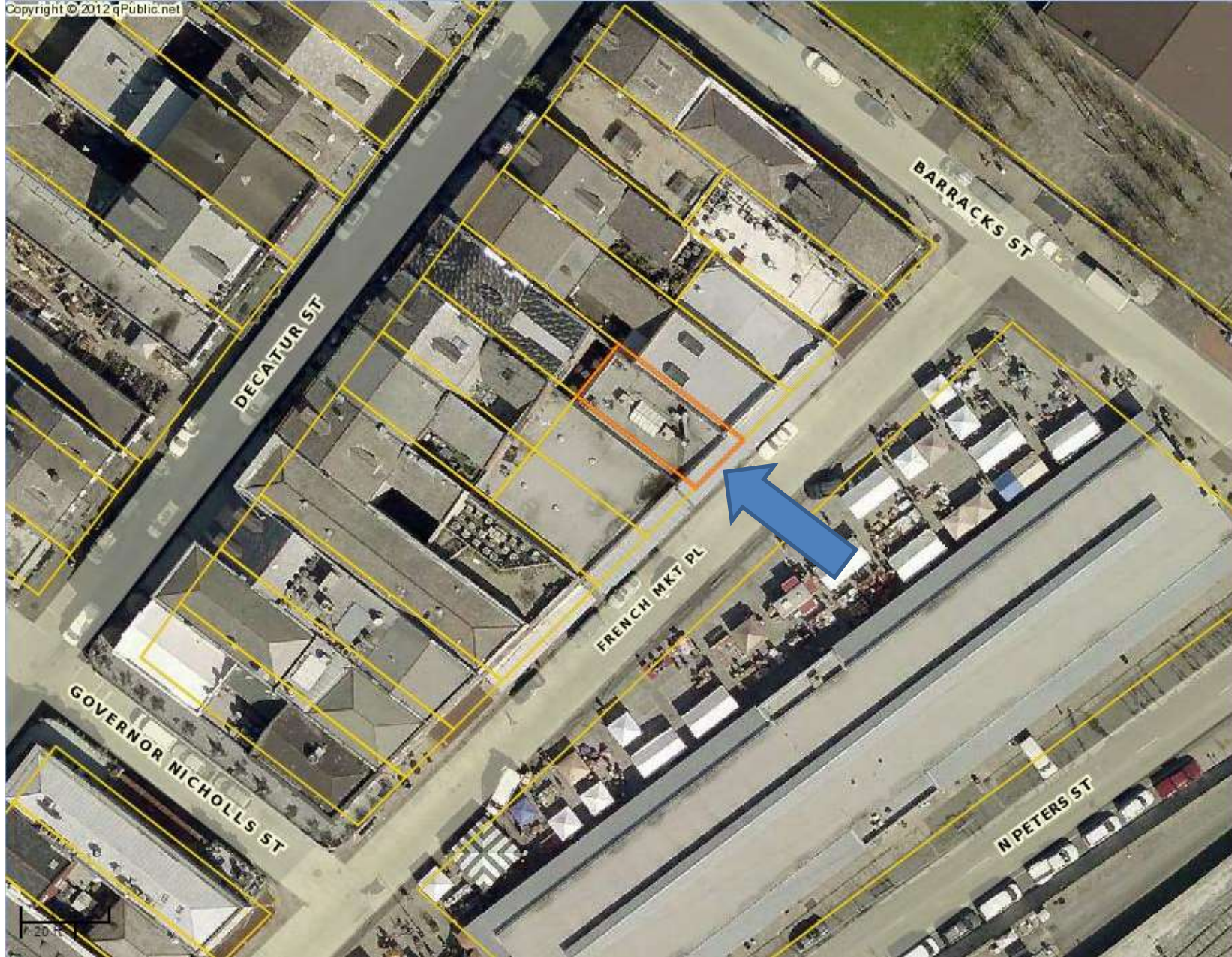


816-20 St. Ann



The seal of the Vieux Carre Commission is an oval emblem. It features a central crest with a crown on top, flanked by two columns and topped with a banner. The crest is set against a background of stylized architectural elements. The text "VIEUX CARRE COMMISSION" is written in a serif font along the top inner edge of the oval, and "ESTABLISHED 1936" is written along the bottom inner edge.

81 French Market Place



81 French Market Pl





81 French Market Pl





81 French Market Pl, 2005



81 French Market Pl

VCC Architectural Committee

October 9, 2018





81 French Market Pl – Previous Unpermitted Hood Exhaust

VCC Architectural Committee

October 9, 2018





81 French Market Pl – Previous Unpermitted Hood Exhaust

VCC Architectural Committee

October 9, 2018





81 French Market Pl
VCC Architectural Committee

October 9, 2018





81 French Market Pl – Current Installation

VCC Architectural Committee

October 9, 2018





81 French Market Pl – Current Installation

VCC Architectural Committee

October 9, 2018





81 French Market Pl – Current Installation

VCC Architectural Committee

October 9, 2018





81 French Market Pl – Current Installation

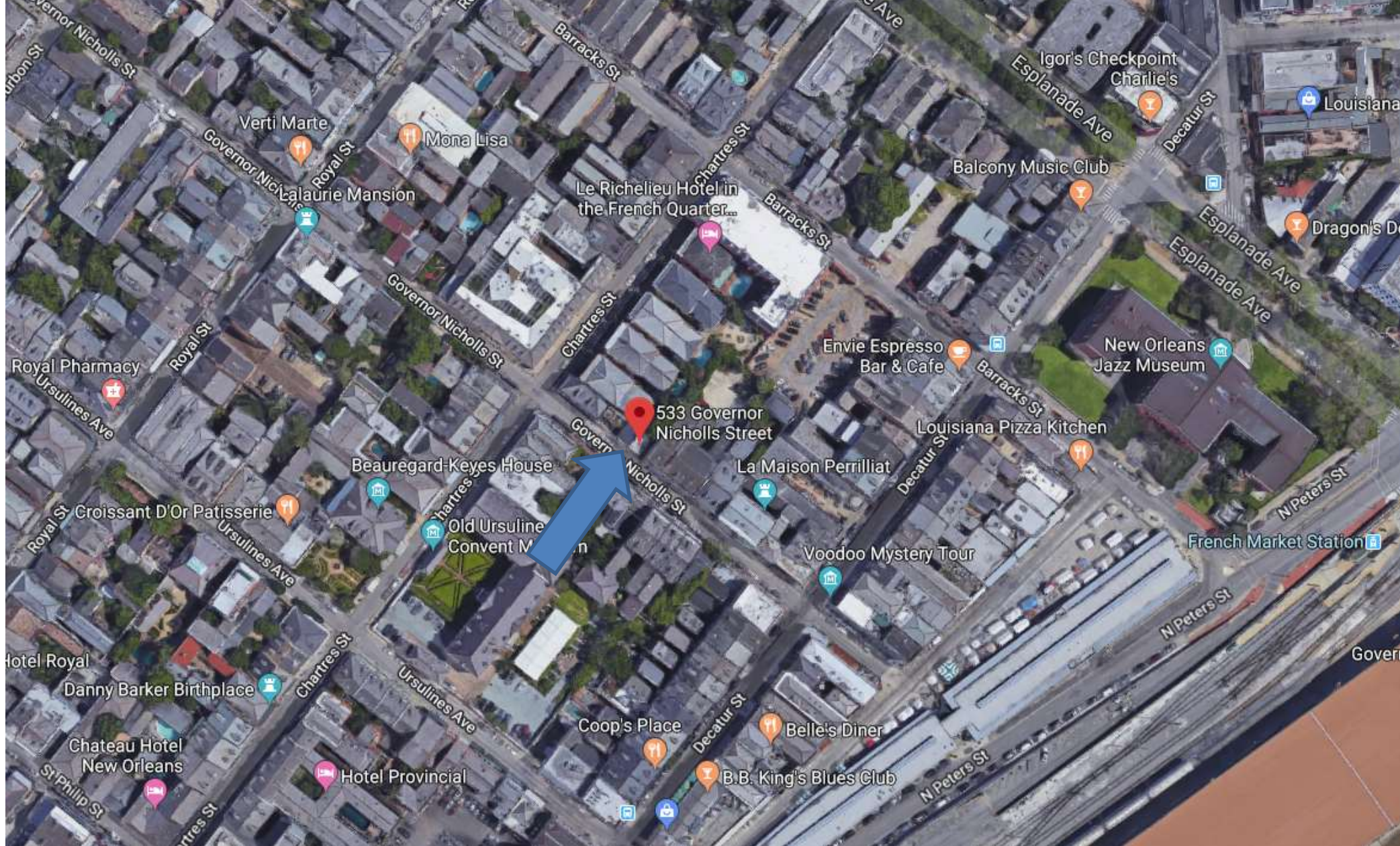
VCC Architectural Committee

October 9, 2018



The seal of the Vieux Carre Commission is an oval emblem. It features a central figure of a person standing on a decorative base, flanked by two columns. The text "VIEUX CARRE COMMISSION" is inscribed along the top inner edge of the oval, and "ESTABLISHED 1936" is inscribed along the bottom inner edge. The seal is rendered in a light gray, semi-transparent style.

533 Governor Nicholls



533 Governor Nicholls





533 Governor Nicholls - 1962

VCC Architectural Committee

October 9, 2018



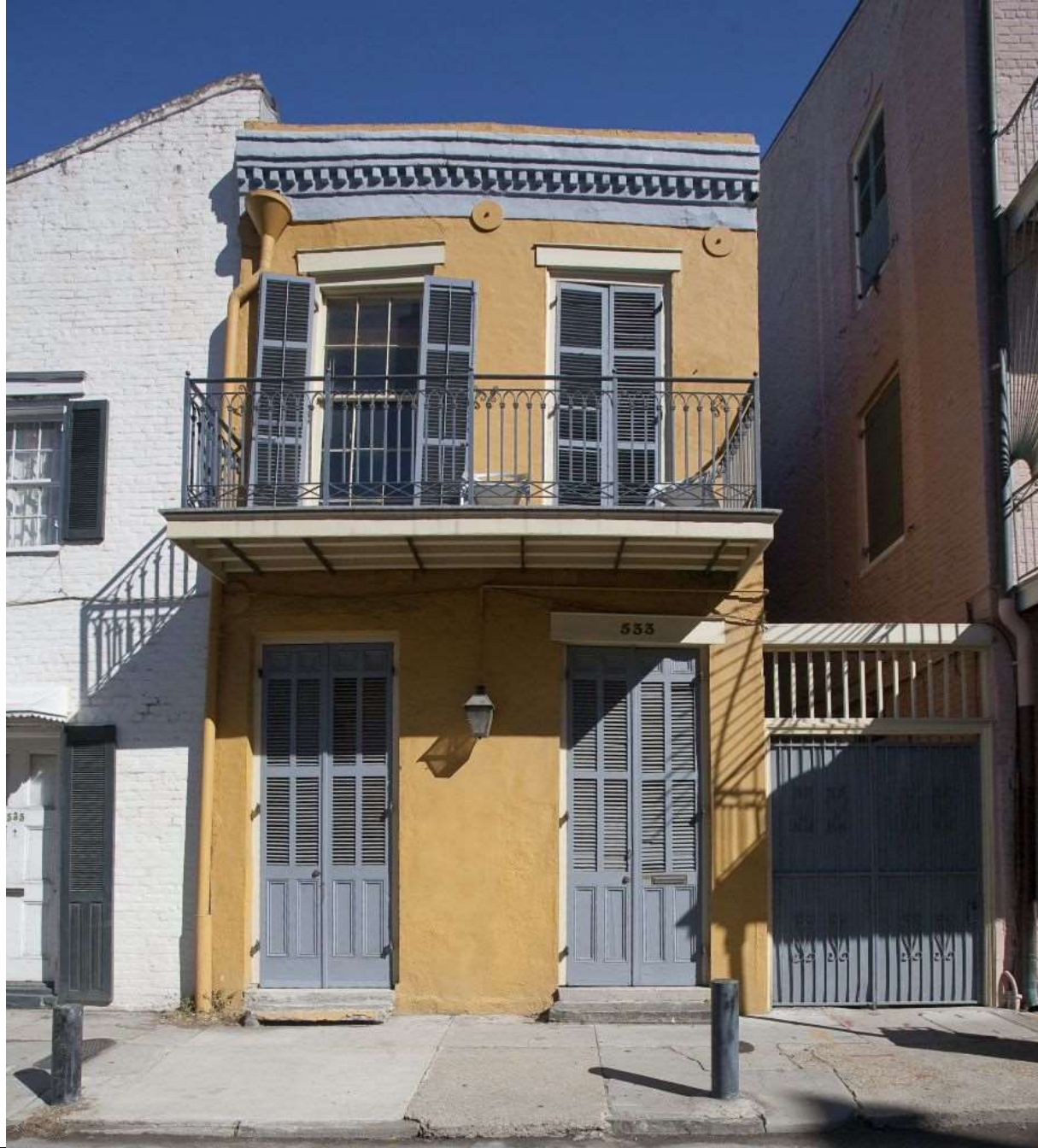


533 Governor Nicholls - 1962

VCC Architectural Committee

October 9, 2018





533 Governor Nicholls

VCC Architectural Committee

October 9, 2018





533 Governor Nicholls - 1946

VCC Architectural Committee

October 9, 2018





533 Governor Nicholls - 1946

VCC Architectural Committee

October 9, 2018



MAYER
BUILDING COMPANY

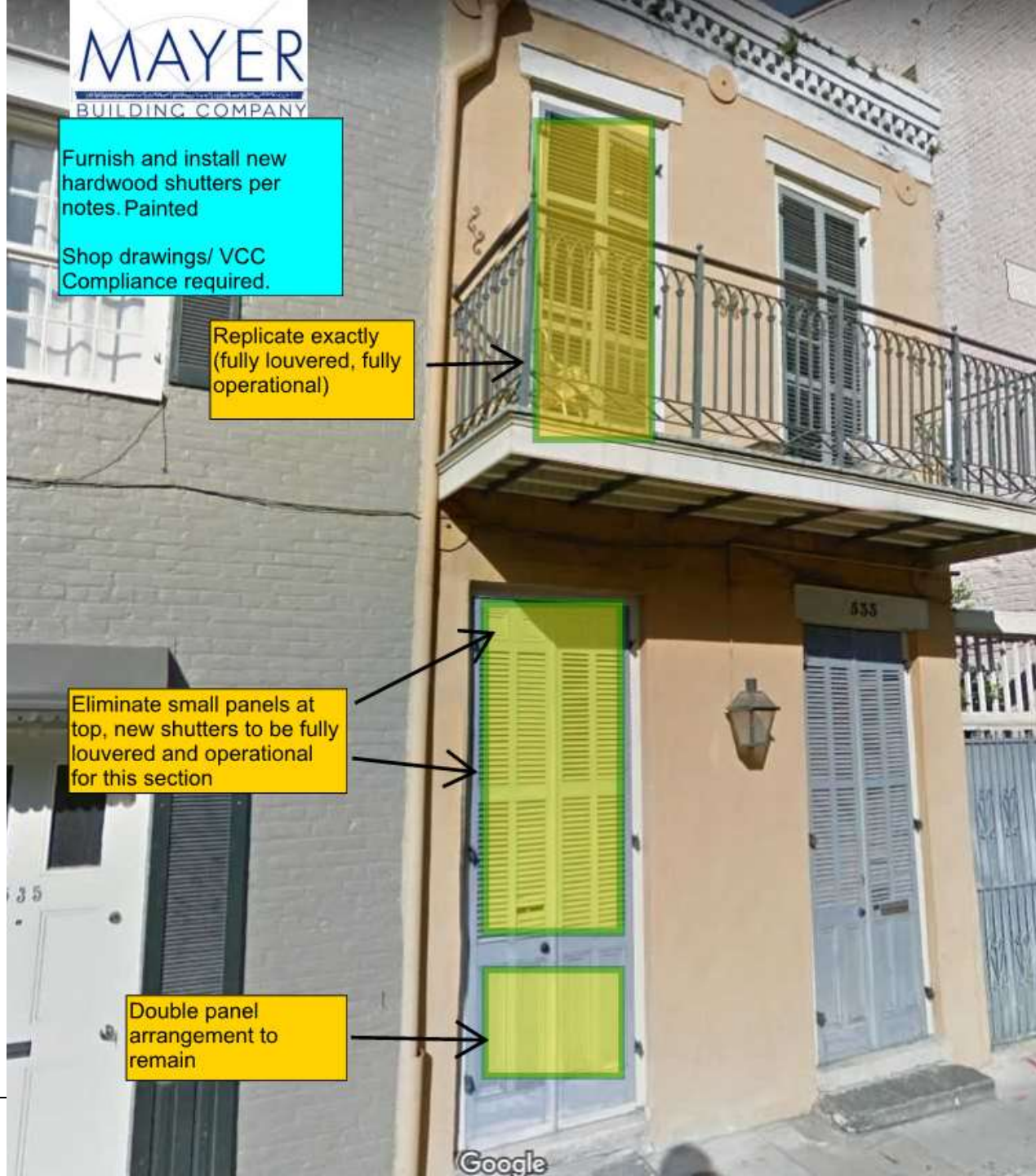
Furnish and install new
hardwood shutters per
notes. Painted

Shop drawings/ VCC
Compliance required.

Replicate exactly
(fully louvered, fully
operational)

Eliminate small panels at
top, new shutters to be fully
louvered and operational
for this section

Double panel
arrangement to
remain

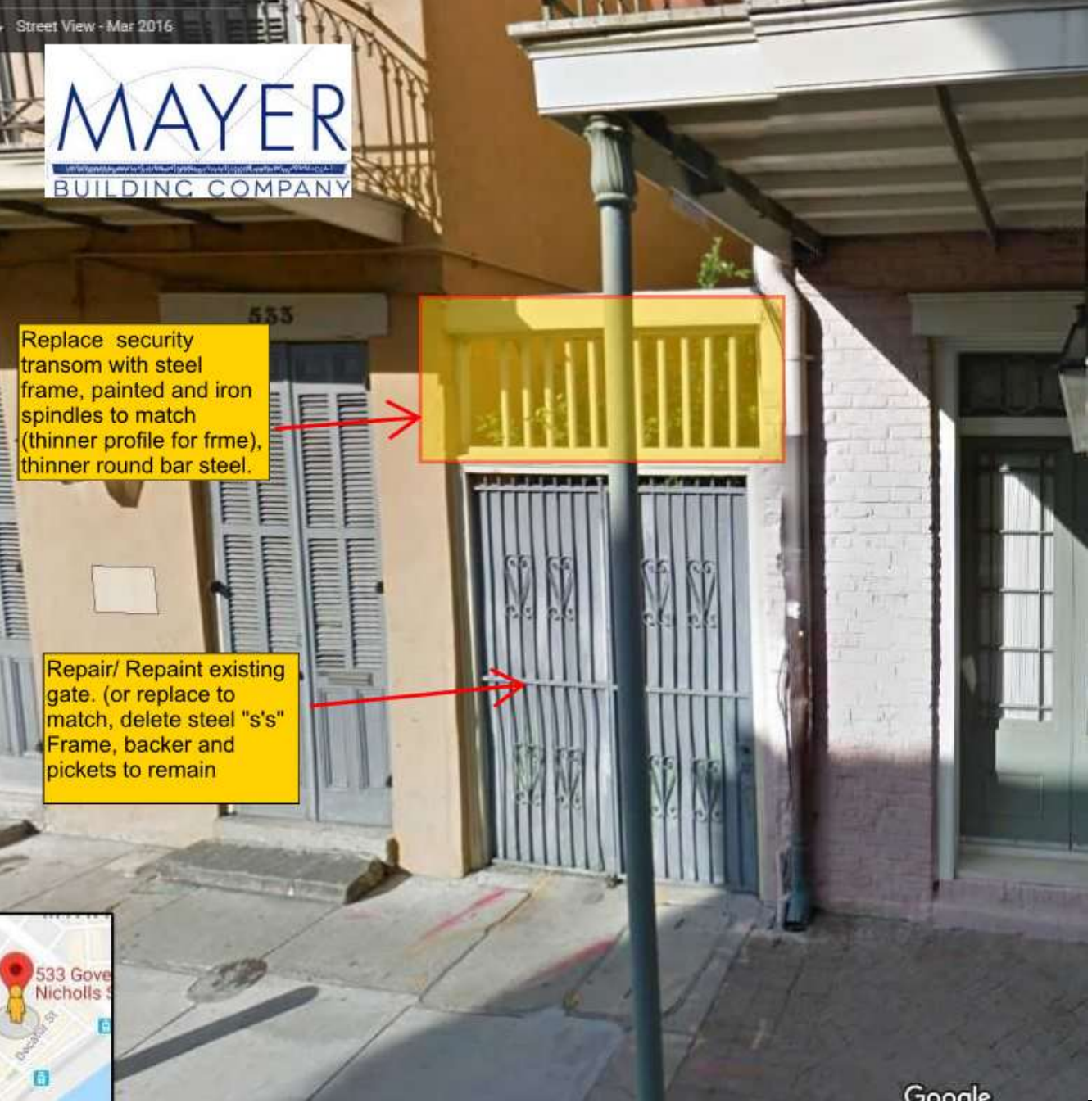


533 Governor Nicholls

VCC Architectural Committee

October 9, 2018

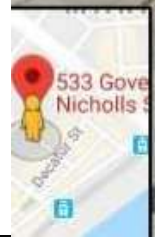




MAYER
BUILDING COMPANY

Replace security transom with steel frame, painted and iron spindles to match (thinner profile for frame), thinner round bar steel.

Repair/ Repaint existing gate. (or replace to match, delete steel "s"s" Frame, backer and pickets to remain

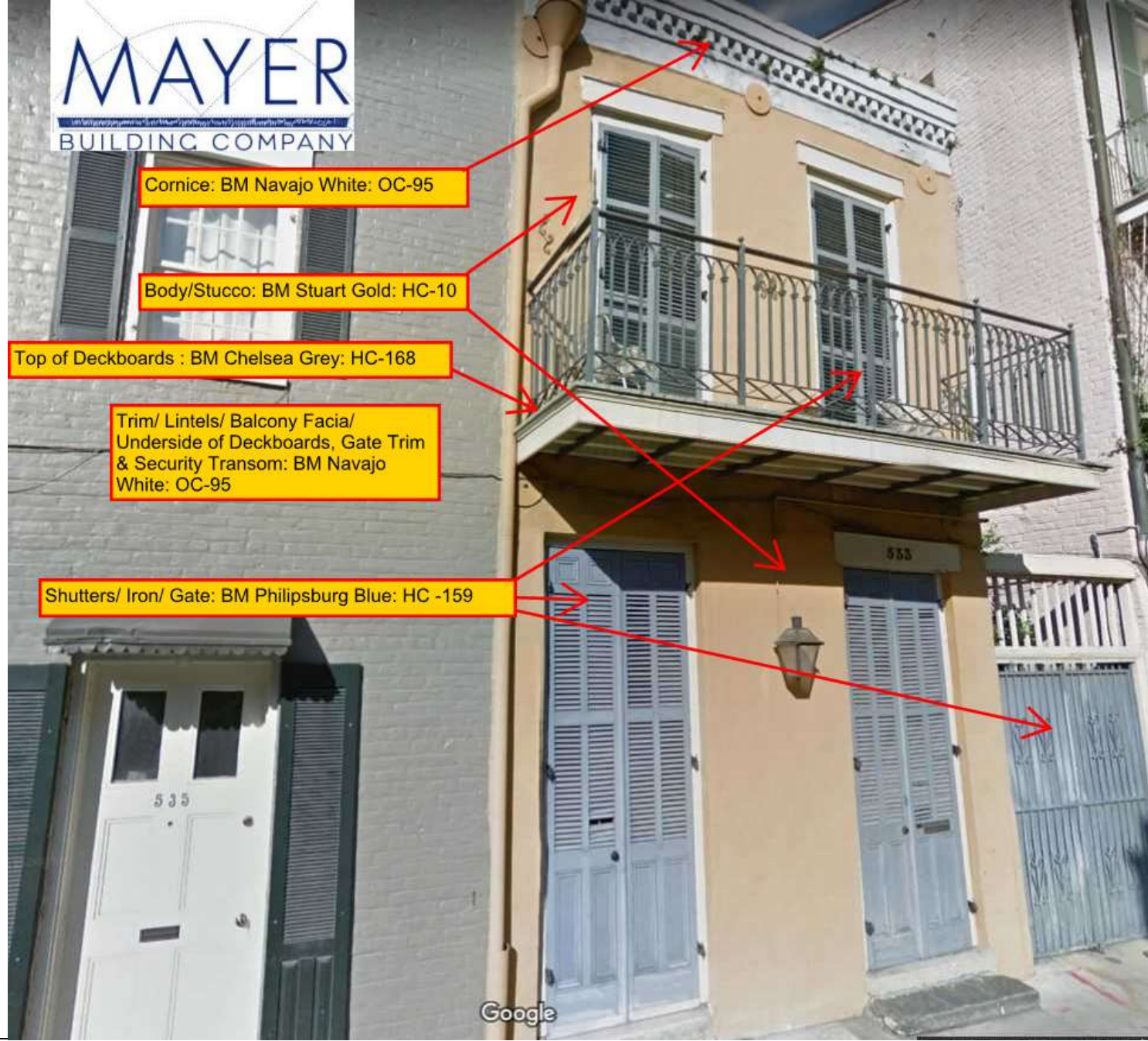


533 Governor Nicholls

VCC Architectural Committee

October 9, 2018





Cornice: BM Navajo White: OC-95

Body/Stucco: BM Stuart Gold: HC-10

Top of Deckboards : BM Chelsea Grey: HC-168

Trim/ Lintels/ Balcony Facia/
Underside of Deckboards, Gate Trim
& Security Transom: BM Navajo
White: OC-95

Shutters/ Iron/ Gate: BM Philipsburg Blue: HC -159

533 Governor Nicholls

VCC Architectural Committee

October 9, 2018



Red = 1-1/4" Flat bar frame installed within existing repair wood frame

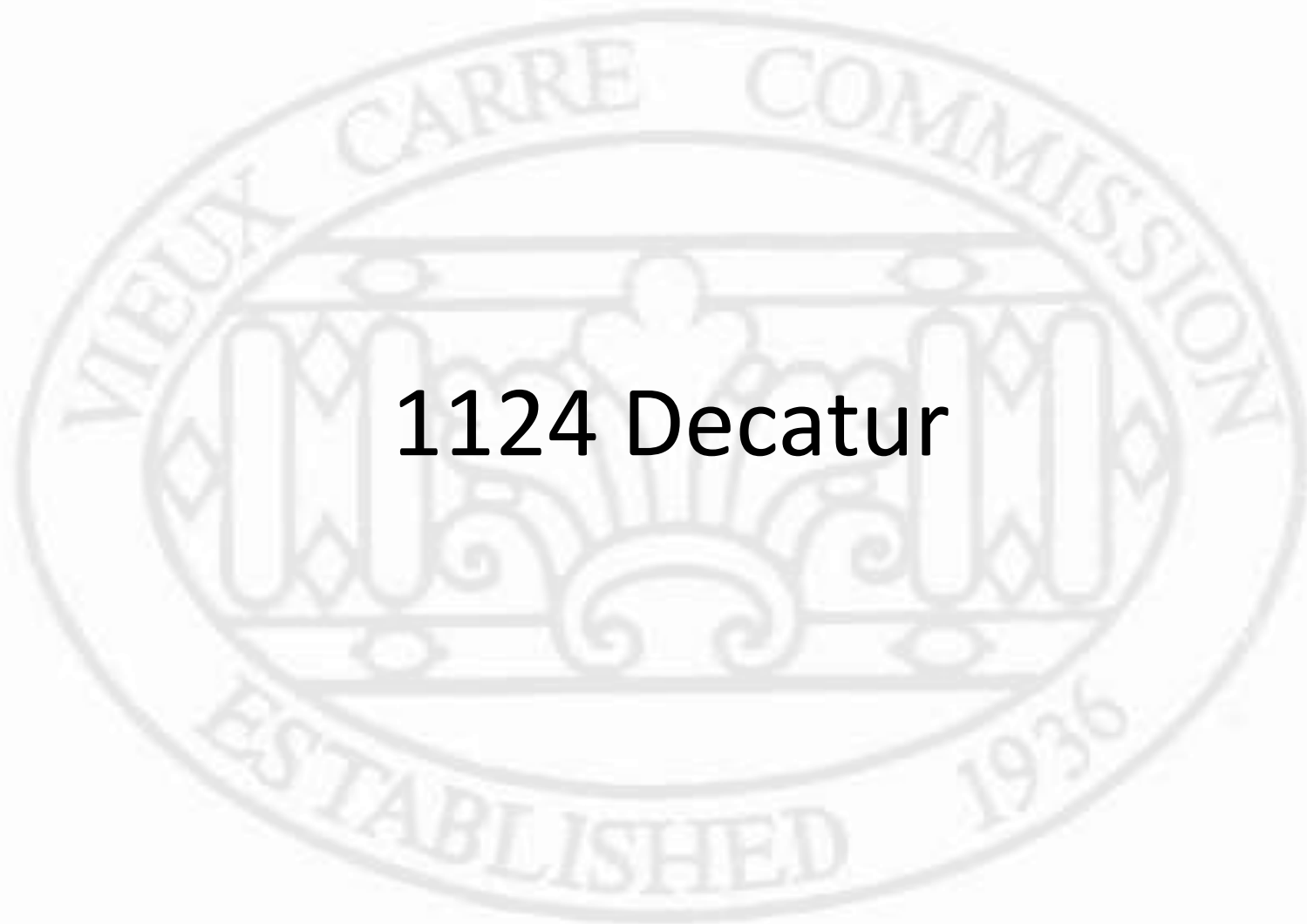
Purple = 5/8" square pickets, welded and evenly spaced to match below existing gate



Remove inappropriate, rotted wood spindles. Repair and paint existing wood frame

Remove rotted cove molding. Do NOT replace. Repair frame to flat surface and paint.

Scrape and paint existing gate



1124 Decatur



1124 Decatur

VCC Architectural Committee

October 9, 2018





1124 Decatur - 2014

VCC Architectural Committee

October 9, 2018





1124 Decatur

VCC Architectural Committee

October 9, 2018





1124 Decatur

VCC Architectural Committee

October 9, 2018





1124 Decatur, French Market elevation - 2013

VCC Architectural Committee

October 9, 2018





1124 Decatur

VCC Architectural Committee

October 9, 2018





1124 Decatur

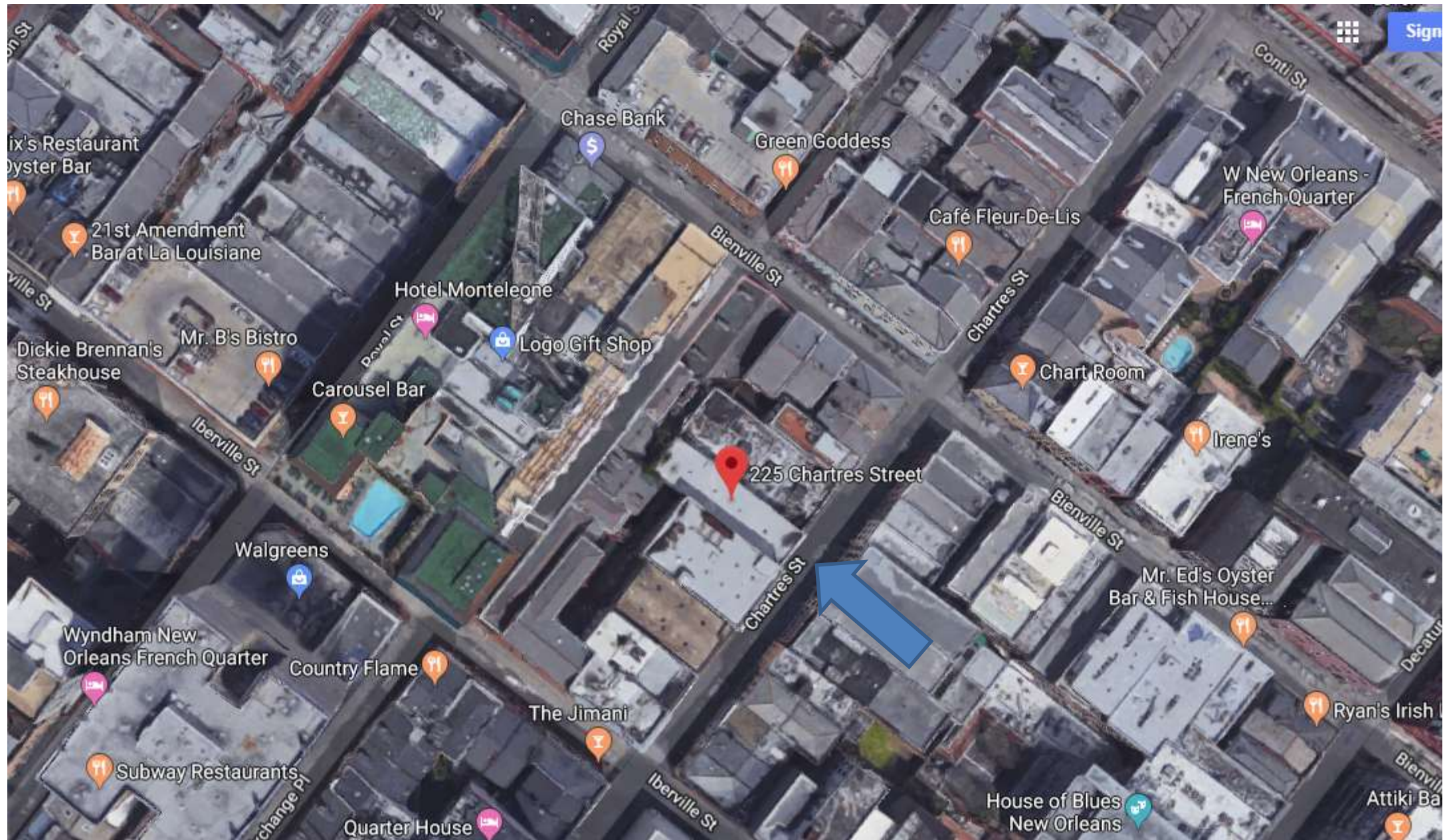
VCC Architectural Committee

October 9, 2018



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative design, including a central figure and ornate scrollwork. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is inscribed along the top inner edge of the oval, and "ESTABLISHED 1936" is inscribed along the bottom inner edge.

225 Chartres



225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee

January 24, 2017





225 Chartres

VCC Architectural Committee



January 24, 2017



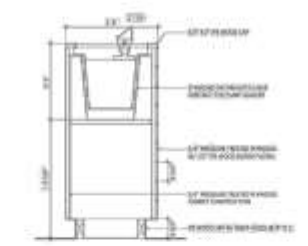


225 Chartres

VCC Architectural Committee

January 24, 2017

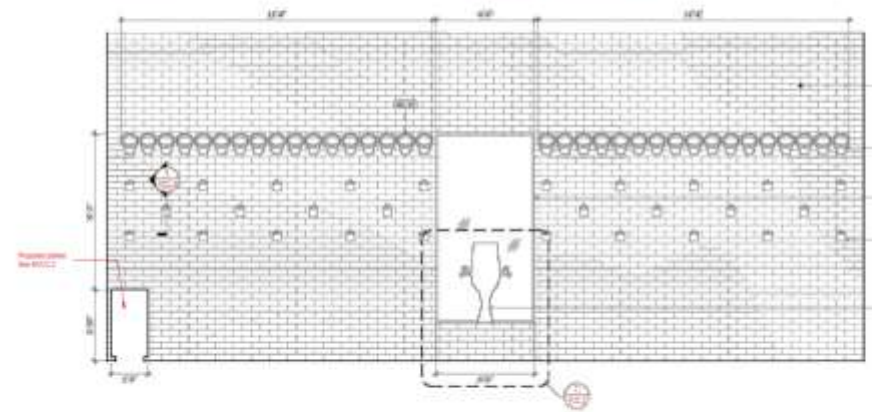
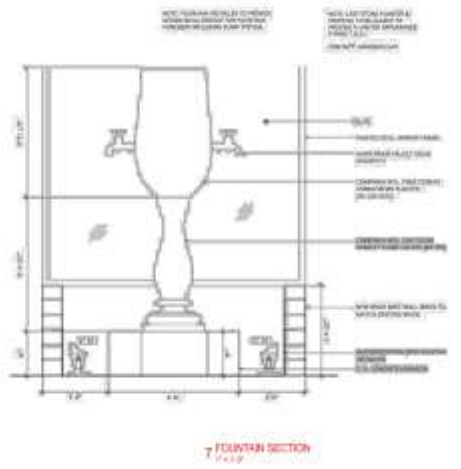




MASONRY NOTES

- Clear masonry using the greatest height possible.
- Reinforced concrete masonry should be used in areas subject to impact or where masonry is used as a structural member.
- Concrete masonry should be a minimum of 4 inches before footing attachment to minimize the potential for spalling.
- Masonry walls should be finished with a smooth finish or a finish that is appropriate to the style of the building.
- Masonry walls should be finished with a smooth finish or a finish that is appropriate to the style of the building.
- Masonry walls should be finished with a smooth finish or a finish that is appropriate to the style of the building.
- Masonry walls should be finished with a smooth finish or a finish that is appropriate to the style of the building.
- Masonry walls should be finished with a smooth finish or a finish that is appropriate to the style of the building.

WORKS OF THE EXISTING COURTYARD



- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED
- EXISTING COURTYARD WALL CURVED TO MATCH ARCH & NOT TO BE RECONSTRUCTED



30 September 2016

Charles D. Thibault Upgrade
 Courtyard Improvements
 226 Chartres St.
 New Orleans, Louisiana

The Commission hereby certifies that the plans of Charles D. Thibault Upgrade Courtyard Improvements, 226 Chartres St., New Orleans, Louisiana, conform to the requirements of the Commission's Ordinance No. 10-10.

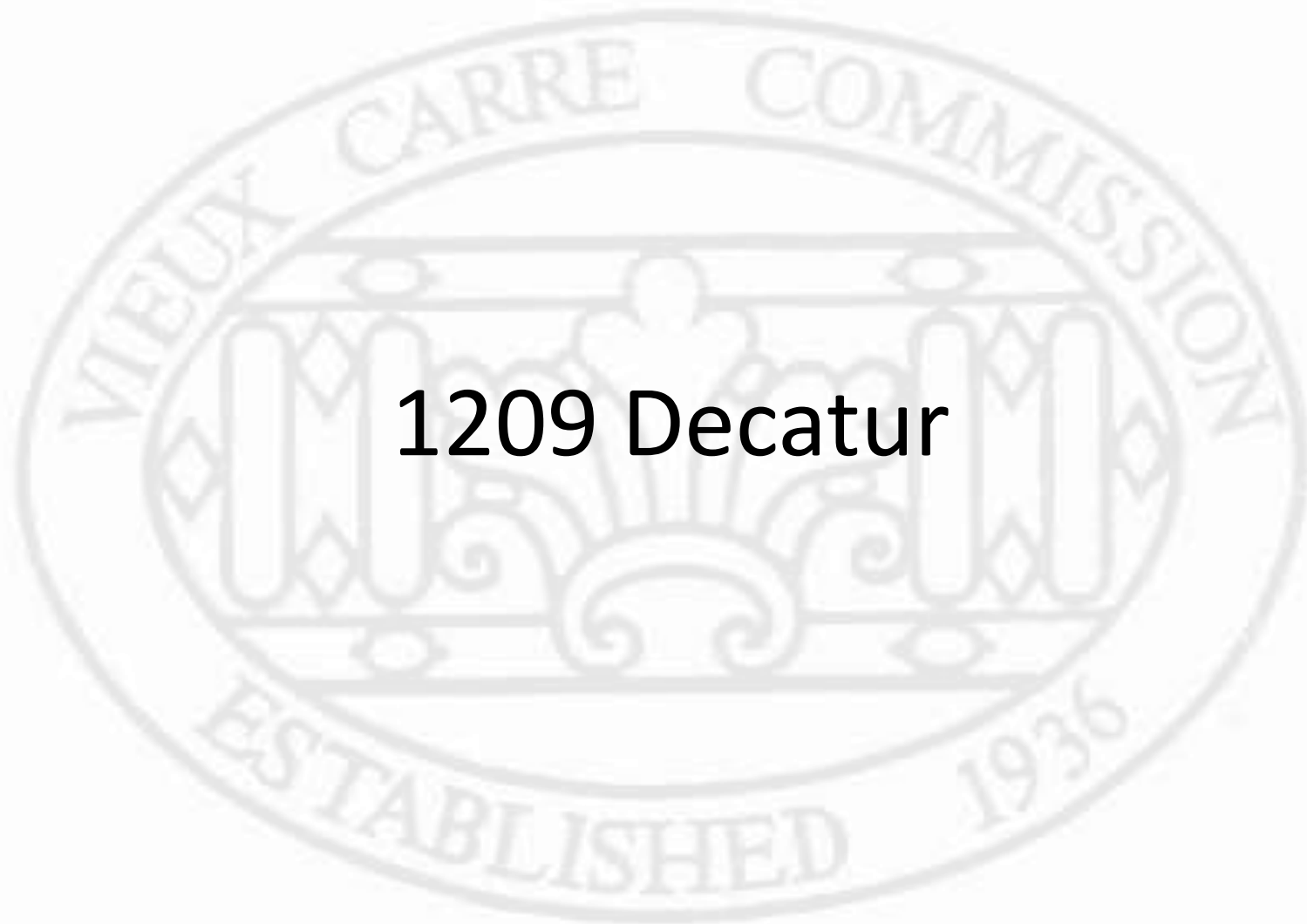
Charles D. Thibault Upgrade
 Courtyard Improvements

VCC.2



The seal of the Vieux Carre Commission is an oval emblem. It features a central figure of a person standing on a decorative base, flanked by two columns. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

Appeals and Violations



1209 Decatur

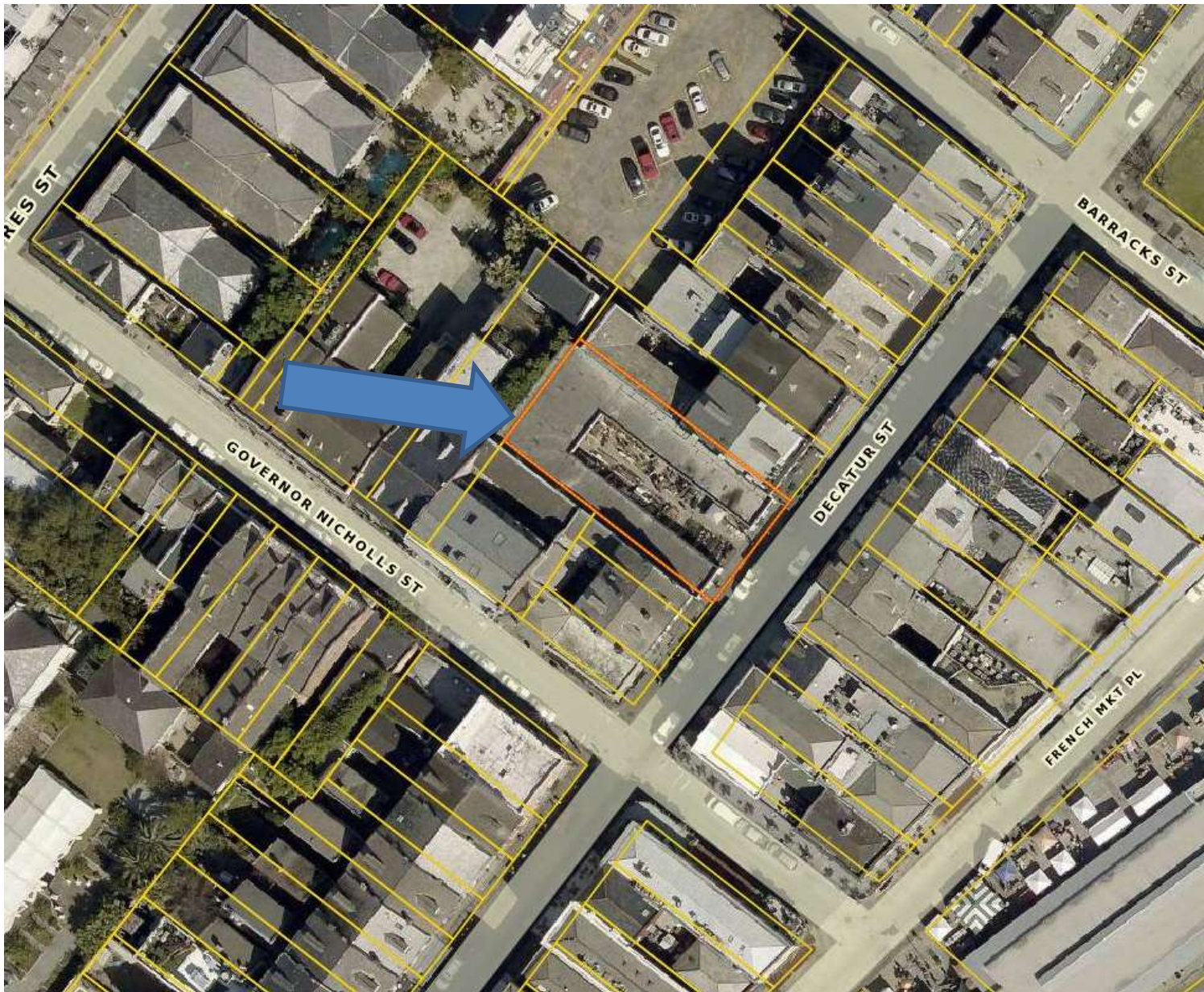


1209 Decatur

VCC Architectural Committee

October 9, 2018





1209 Decatur

VCC Architectural Committee

October 9, 2018





(circa 1964)

1209 Decatur

VCC Architectural Committee

October 9, 2018





1209 Decatur

VCC Architectural Committee

October 9, 2018





1209 Decatur

VCC Architectural Committee

October 9, 2018





1209 Decatur

VCC Architectural Committee

October 9, 2018





1209 Decatur- Additional conduit

VCC Architectural Committee

October 9, 2018





1209 Decatur

VCC Architectural Committee

October 9, 2018





1209 Decatur

VCC Architectural Committee

October 9, 2018





Exterior lighting plan
Requested by
Architecture Committee
July 24, 2018

1209-1215 Decatur Street

Location of Key Requests



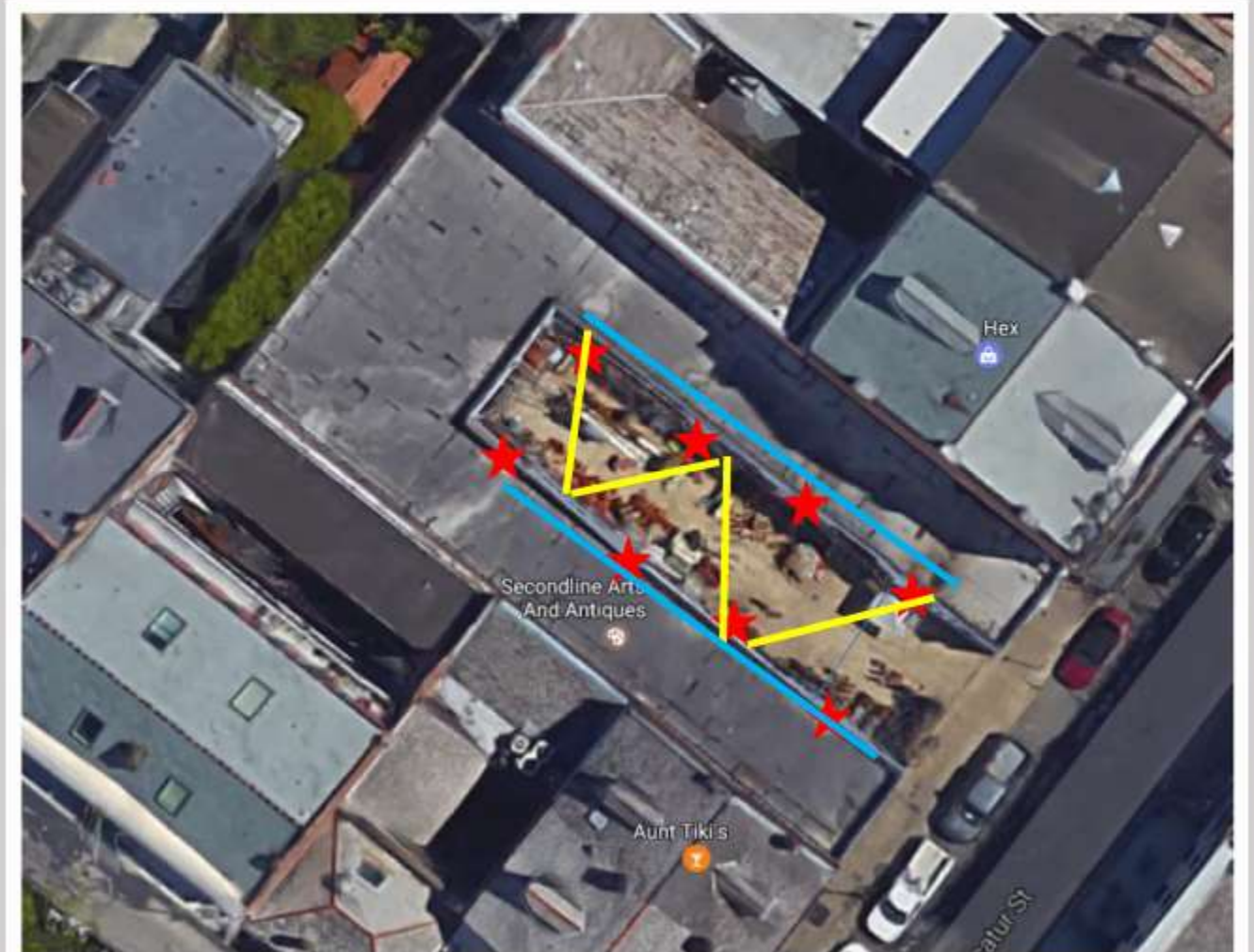
Conduit removal



Catenary light system installation



Replace exiting fixtures



Remove courtyard conduit

- Move all exterior courtyard conduit located two feet above ground level to interior of building
- Retain existing exterior outlet installations



Replace existing courtyard light fixtures

- Rewire and replace eight existing double floodlights with surface mounted spotlights with snoot (see attachments 1-2) wired from interior of building
- Remove non-functioning courtyard light fixtures



Attachment 2

Lumière

DESCRIPTION

Westwood 903 and 903-2 are ultra-compact MR16 or LED line voltage fixtures with integral 12V step down transformer. Both mount directly over any standard 4" wall mounted J-box. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

Catalog #		Type
Project		
Comments		Data
Prepared by		

SPECIFICATION FEATURES

Material

Housing, hood and mounting stem are precision machined from corrosion-resistant 6061- $\text{H}18$ aluminum billet. Mounting canopy is constructed from corrosion-resistant aluminum.

Finish Painted

Fixtures constructed from 6061-T6 aluminum are double protected by a chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position.

Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

Mounting & Adjustability

Both models mount over standard 4" J-box and are suitable for ceiling or wall mount applications. Integral 120/12V step down transformer connects directly to 120V line voltage. Fully adjustable side-mounted swivel stem provides 20° vertical tilt for easy aiming. Stainless steel aim-locking mechanisms are standard. Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

Hardware

Stainless steel hardware is standard to provide maximum corrosion resistance.

Socket

Ceramic socket with 250° C Teflon® coated lead wires and GUL3 bi-pin base.

Electrical

For LED lamping, an integral magnetic 20VA 120 / 12V step down transformer is standard.

Lamp

Halogen lamp not included. LED Modules are included and are available in three color temperatures (2700, 3000, and 4000) and three distributions (spot, narrow and flood). Both color temperature and distribution must be specified when ordering.

Labels & Approvals

UL and cUL listed, standard wet label. Manufactured to ISO 9001-2000 Quality Systems Standard. 100% union made.

Warranty

Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.

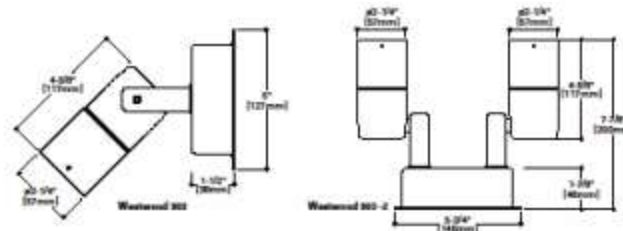


903
903-2
WESTWOOD

Line Voltage
w/ Integral 12V transformer
Wall or Ceiling



TECHNICAL DATA
8W LED, 1,700,000 hours at 20°C
Low Voltage 10W Halogen MR16



ORDERING INFORMATION

Series	Lamp	Socket (select from each column and combine)	Voltage	Finish		
903: 120V Adjustable Side Mounted Swivel Westwood/Wall Fixture w/ Integral Transformer	1: 12W Flood Lamp 2: Two Head Lamp	903: MR16 max. Halogen MR16 (lamp not included)		120V/12V Integral Transformer	Powder BR-Black BZ-Brush CS-City Silver VE-Venice WT-White	
		MR16-2W LED	27-12700K 30-3000K 40-4000K			MR-10° Spot MR-20° Narrow MR-30° Wide
		MR16-3W LED	MR-Corridor (0.6-0.6mm)			MR-20° Narrow

NOTES: 1: Convert factory for other voltages.

Replace string lights with catenary lighting system

- Remove string lights and replace with four catenary cable runs (see attachments 3-5)
- Cable installation to start 10 feet from building facade
- Five 12-inch cone shade lights per cable run (as shown)



Attachment 3

Primus decostring
DSW-48-120-
(DSC12)- PLED-
G16.5-200L / 24
catenary lights

12-inch cone shade
(as shown)

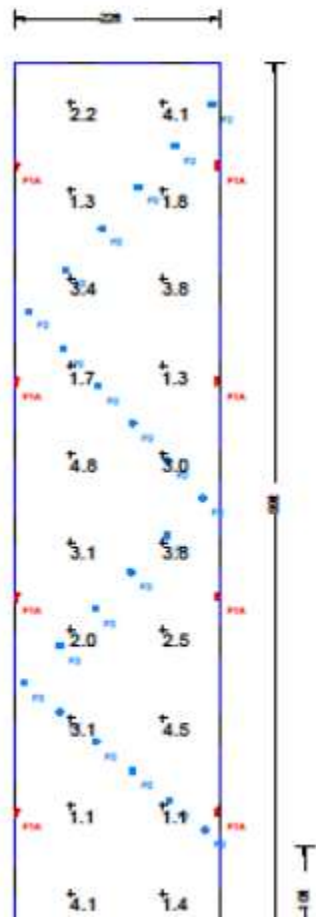
More at

[http://www.primus
lighting.com/comp
any/brochures](http://www.primuslighting.com/company/brochures)



Attachment 4

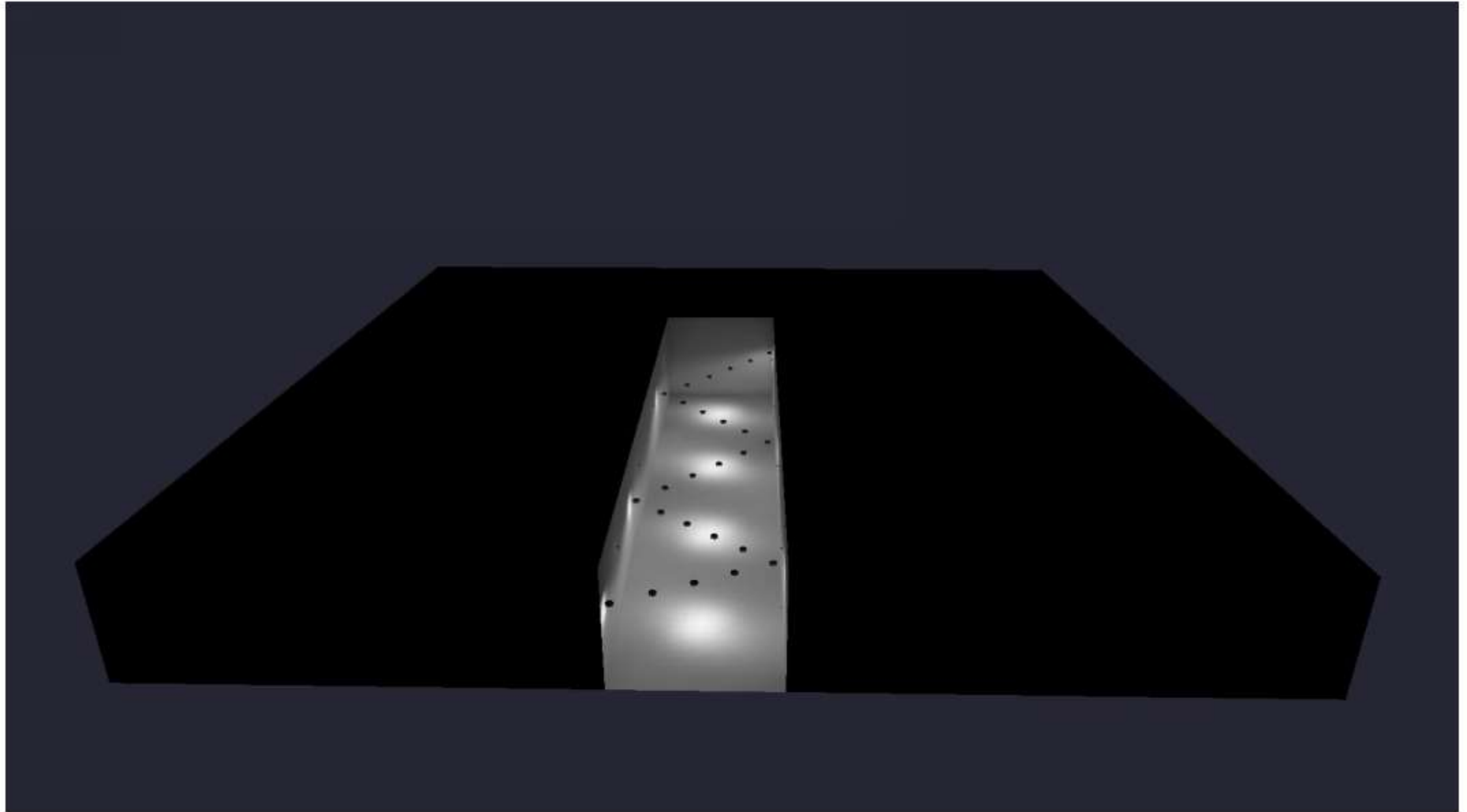
Projection - surface area lighting levels



Luminaire Schedule					
Symbol	Qty	Label	LLF	Description	Lum. Watts
⬇	8	F1A	0.800	LUMIERE: 903-10LED-3-301-1-2012-FINISH	8.1
⊙	21	F2	2.000	PRIMALIS: DSW-48-120-(DRH12)-PLED-G16.5-200L/DW-22FT	3.8

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
COURTYARD_Planar	Summance	Fc	2.71	4.8	1.1	2.46	4.36
WALLS_Side_2	Summance	Fc	0.79	1.8	0.2	3.95	8.00
WALLS_Side_3	Summance	Fc	1.10	2.7	0.3	3.87	9.00
WALLS_Side_4	Summance	Fc	0.80	1.8	0.2	4.00	8.00

Attachment 5



Attachment 6

Alternate catenary
shade option

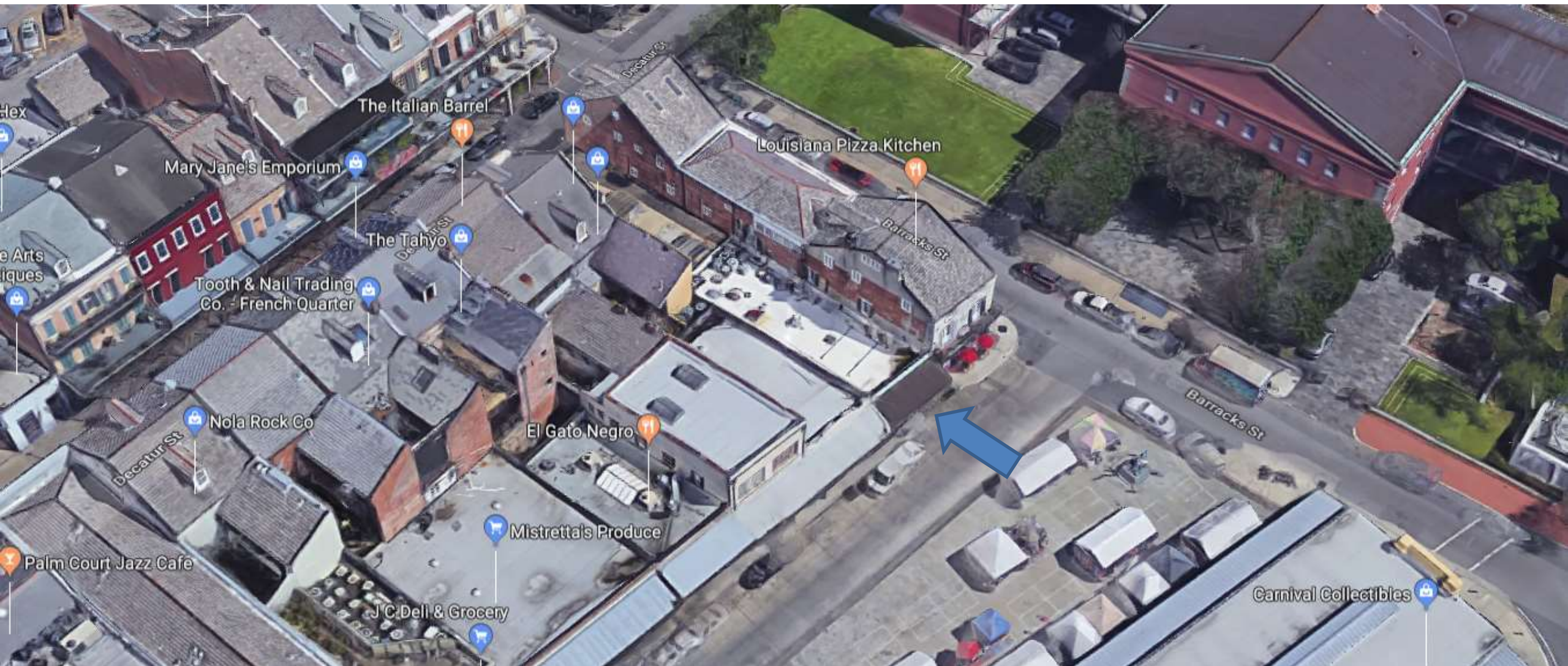
DSW-48-120-(
DSH8)- PLED-
G16.5-200L / 24 or
24K – 22'

8-inch hat shade
(as shown)



The seal of the Vieux Carre Commission is an oval emblem. It features a central decorative design with a central figure and symmetrical scrollwork. The text "VIEUX CARRE COMMISSION" is inscribed along the top inner edge, and "ESTABLISHED 1936" is inscribed along the bottom inner edge.

91 French Market Place



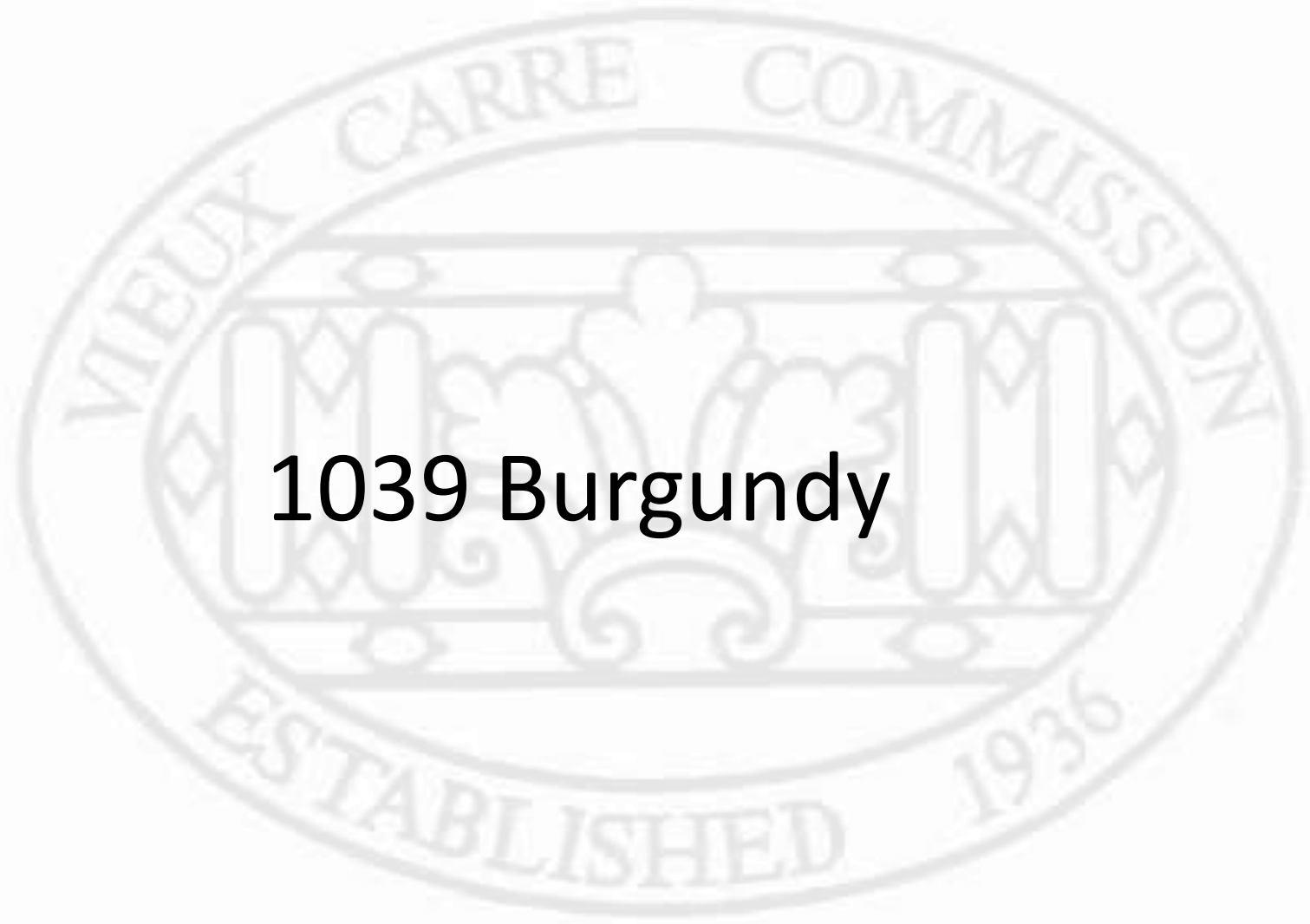


91 French Market Place

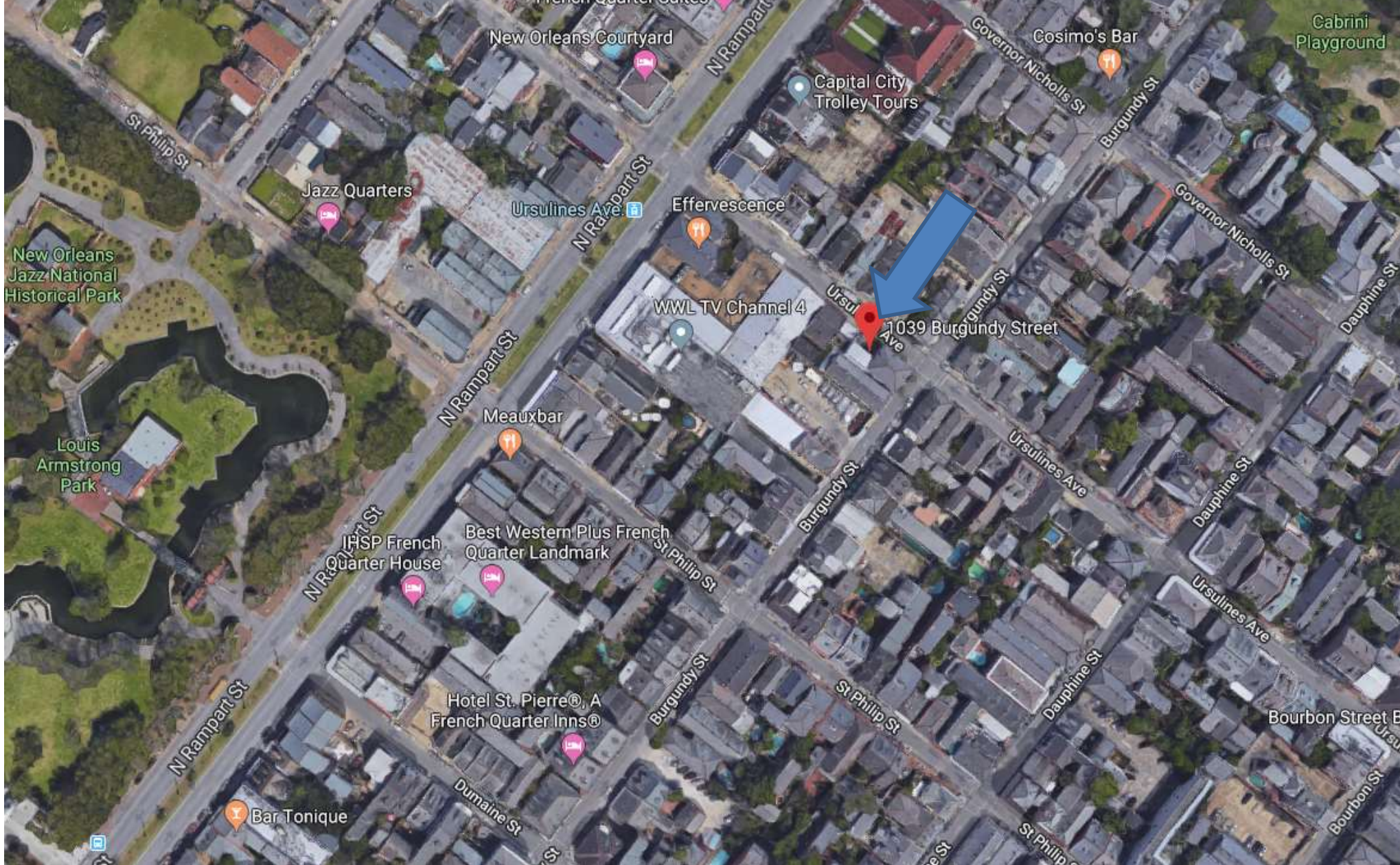
VCC Architectural Committee

October 9, 2018





1039 Burgundy



1039 Burgundy

VCC Architectural Committee

October 9, 2018





1039 Burgundy

VCC Architectural Committee

October 9, 2018





1039 Burgundy

VCC Architectural Committee

October 9, 2018





1039 Burgundy

VCC Architectural Committee

October 9, 2018



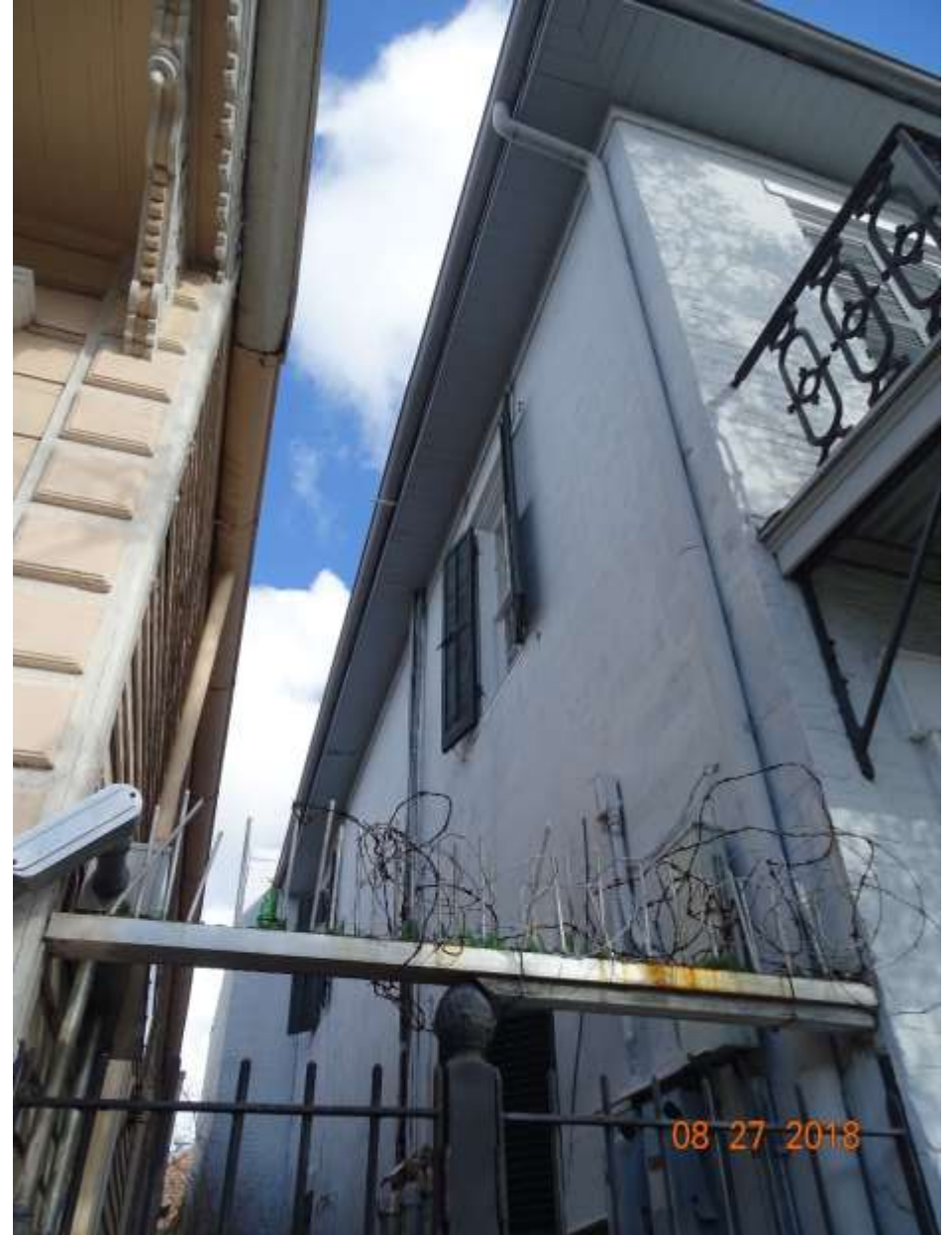


1039 Burgundy

VCC Architectural Committee

October 9, 2018





1039 Burgundy

VCC Architectural Committee

October 9, 2018





1039 Burgundy

VCC Architectural Committee

October 9, 2018





1039 Burgundy

VCC Architectural Committee

October 9, 2018

