

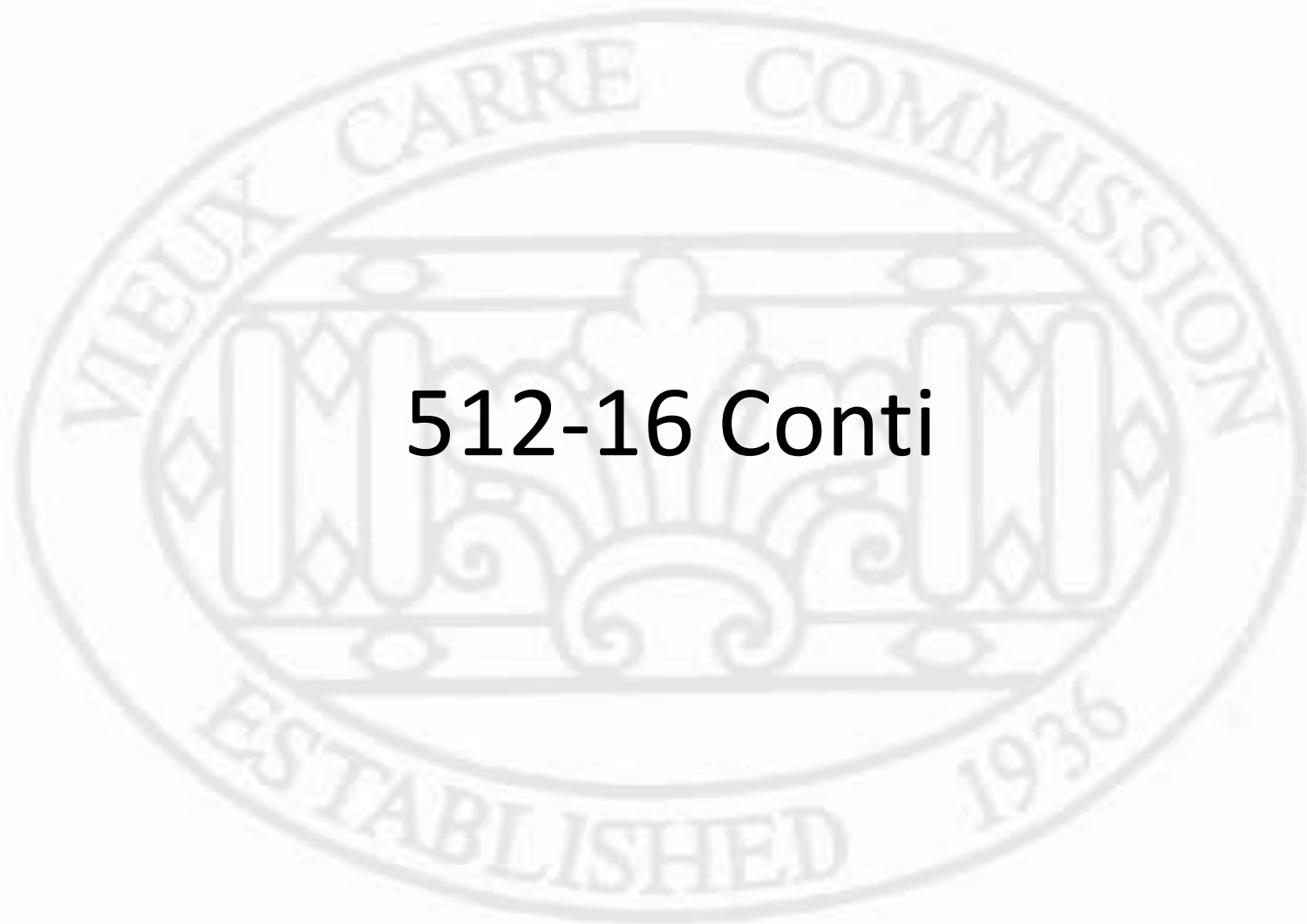


**Vieux Carré Commission
Architectural Committee Meeting**

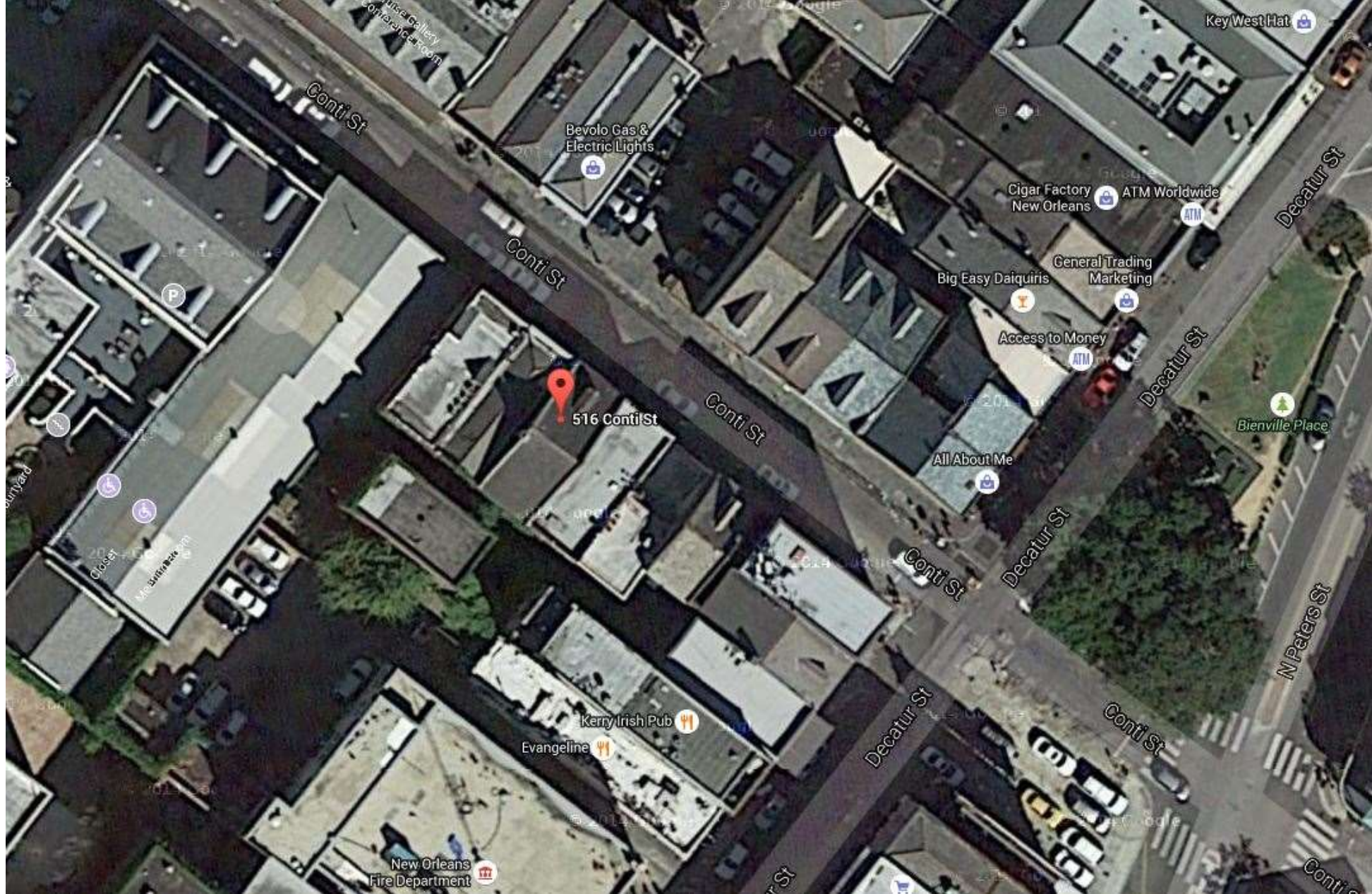
Tuesday, December 11, 2018



Old Business



512-16 Conti



512-16 Conti

VCC Architectural Committee

December 11, 2018





512-16 Conti

VCC Architectural Committee

December 11, 2018





512-16 Conti

VCC Architectural Committee

December 11, 2018





516 & 512 Conti

VCC Architectural Committee

December 11, 2018





516 & 512 Conti

VCC Architectural Committee

December 11, 2018





516 & 512 Conti

VCC Architectural Committee

December 11, 2018





516 & 512 Conti - 1981

VCC Architectural Committee

December 11, 2018





516 & 512 Conti - 1992
VCC Architectural Committee

December 11, 2018





516 & 512 Conti





516 & 512 Conti

VCC Architectural Committee

December 11, 2018





516 & 512 Conti

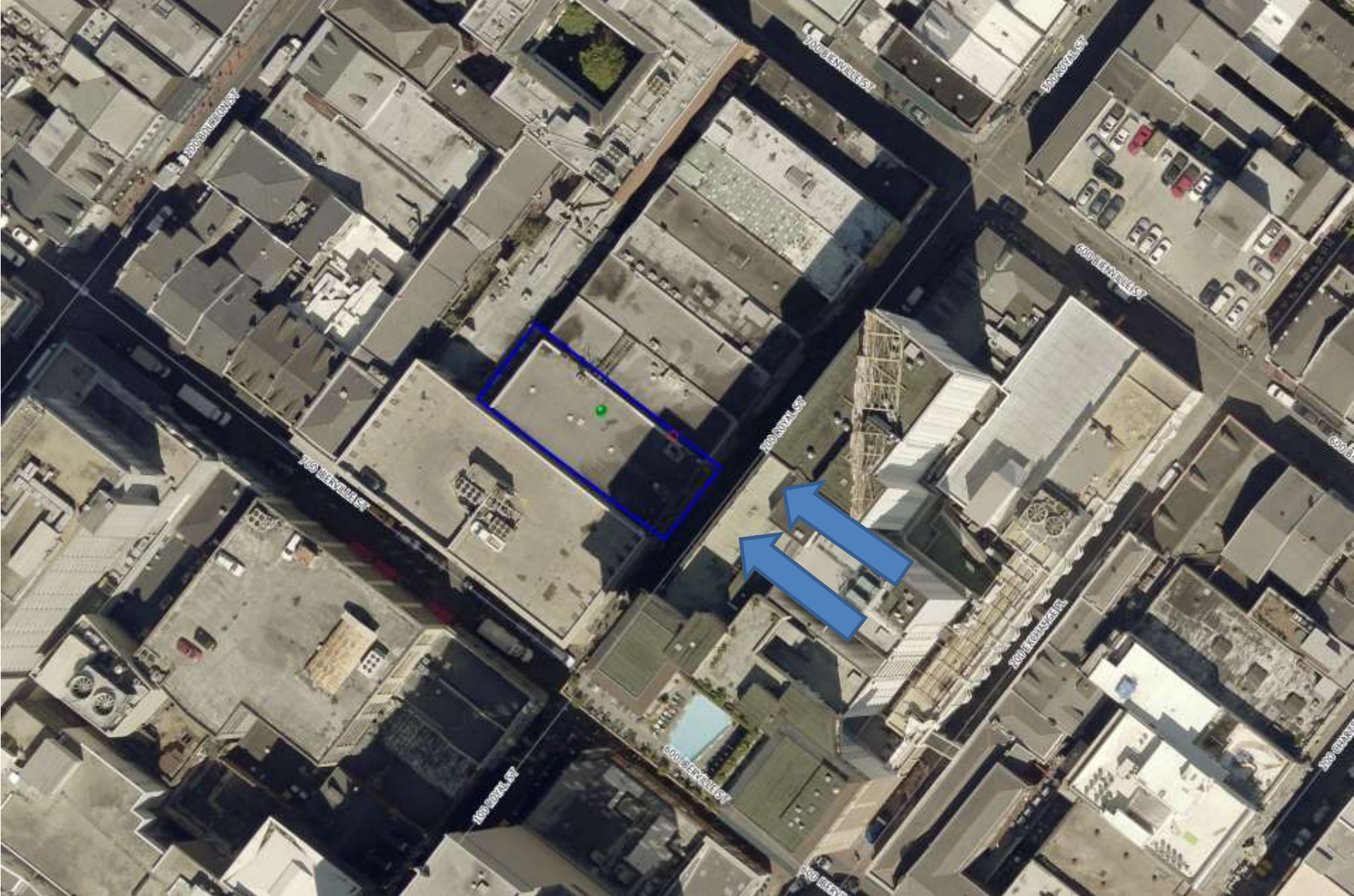
VCC Architectural Committee

December 11, 2018





211 & 217 Royal

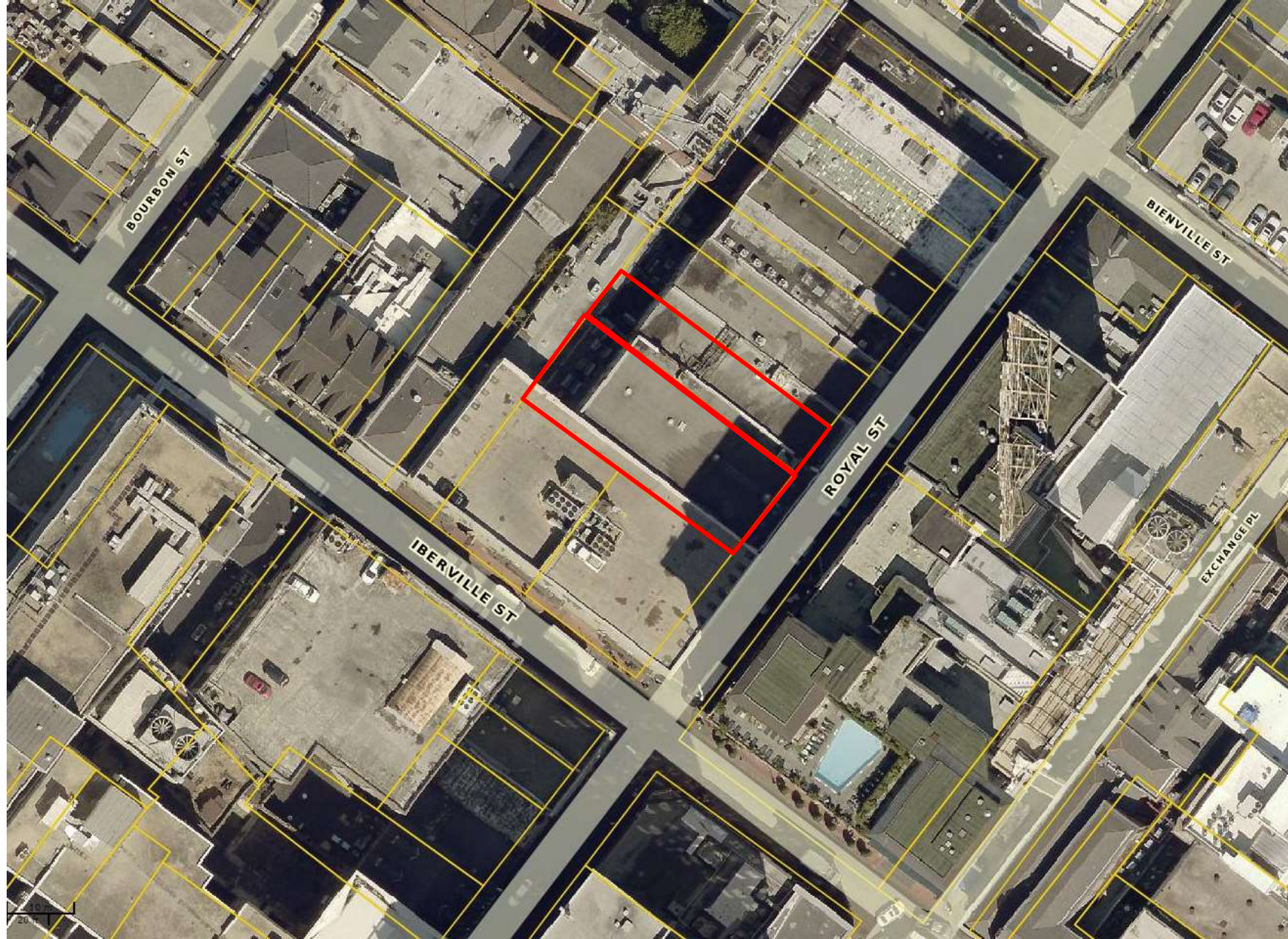


211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018







211-15 & 217-19 Royal

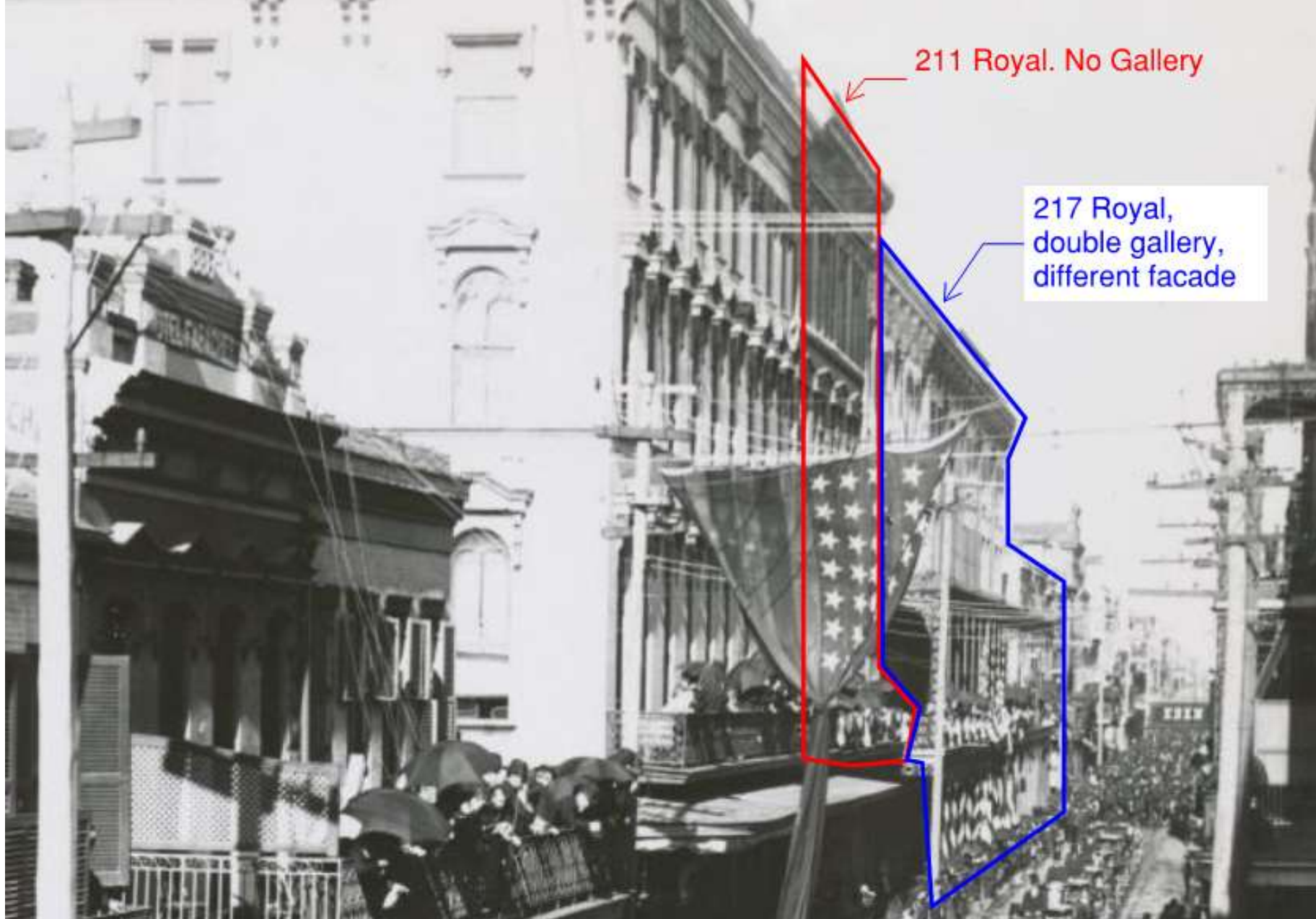




211-15 & 217-19 Royal
VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal – January 1908

VCC Architectural Committee

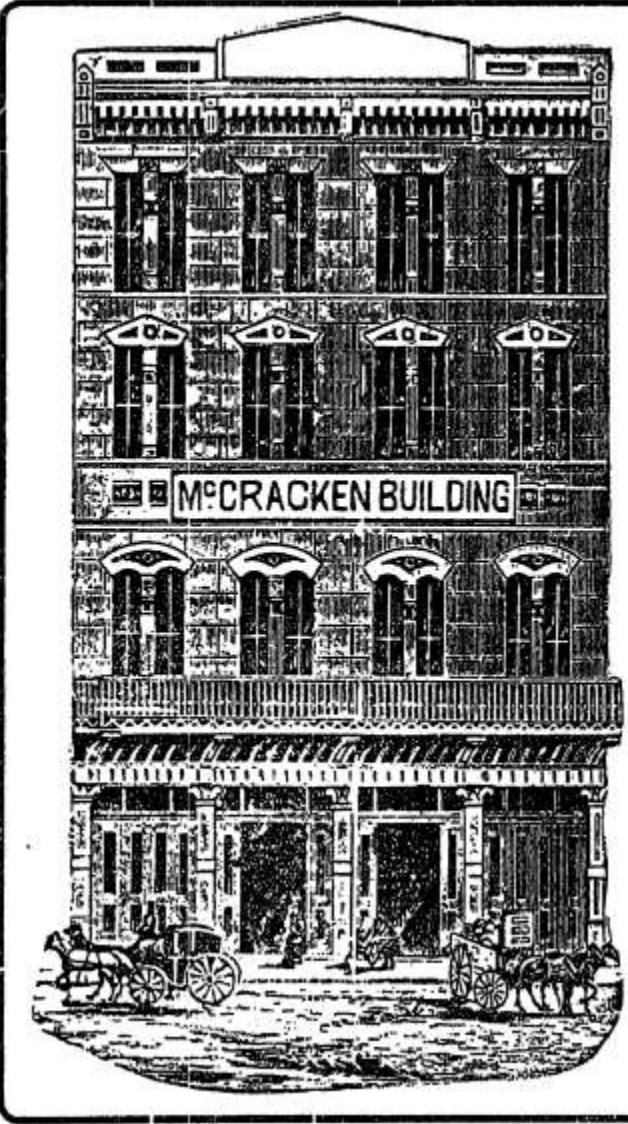
November 27th, 2018



AUCTION SALES.
BY STROUDBACK & LATTEH.

AUCTION SALES.
BY STROUDBACK & LATTEH.

AUCTION SALES.
BY STROUDBACK & LATTEH.



BY STROUDBACK & LATTEH

Civil District Court, Division B, No. 69244—
Succession of James McCracken.
On the eve of the opening of the Panama Canal
this *fine property* will be

Sold at Auction
McCracken Building

211-213-215 Royal St., Bet. Iberville & Bienville
Opposite Entrance Hotel Monteleone.

49 feet 4 inches front by 128 feet 5 inches 4 lines
deep; adapted as *single or double stores, Euro-
pean hotel, moving pictures, restaurant, tavern or
cabaret.* By *Stroudback & Latter, Auctioneers,*
office, 326 Baronne Street.

Tuesday, March 31, 1914
at 12 O'Clock M., at the Real Estate
Exchange, 311 Baronne Street

The *heavy and substantially built four-story*
brick building, stucco front, designed for five
stories, was erected by the late P. R. Middle-
miss, *premier master builder of New Orleans.*
Lower floor supports are eight heavy iron *Corin-
thian columns.* High ceilings, three floors
finished, electric motor and elevator, gas and
electric lights, sewerage and new water. Depth
of building 113 feet. Flag-paved yard and steel
shed in rear. Automatic fire alarm wiring and
fixtures not included in this sale, being property
of National Automatic Fire Alarm Company.

Terms—One-third or more cash, balance one
and two (or three) years, 6 per cent interest, pay-
able annually. All usual security clauses. Pur-
chaser to assume taxes of 1914. 10 per cent cash
at time of sale. Act of sale before J. D. Dresner,
notary public, at purchaser's expense.

W. S. PARKERSON,
Attorney

mh15 22 29 31

211 Royal

VCC Architectural Committee

November 27th, 2018



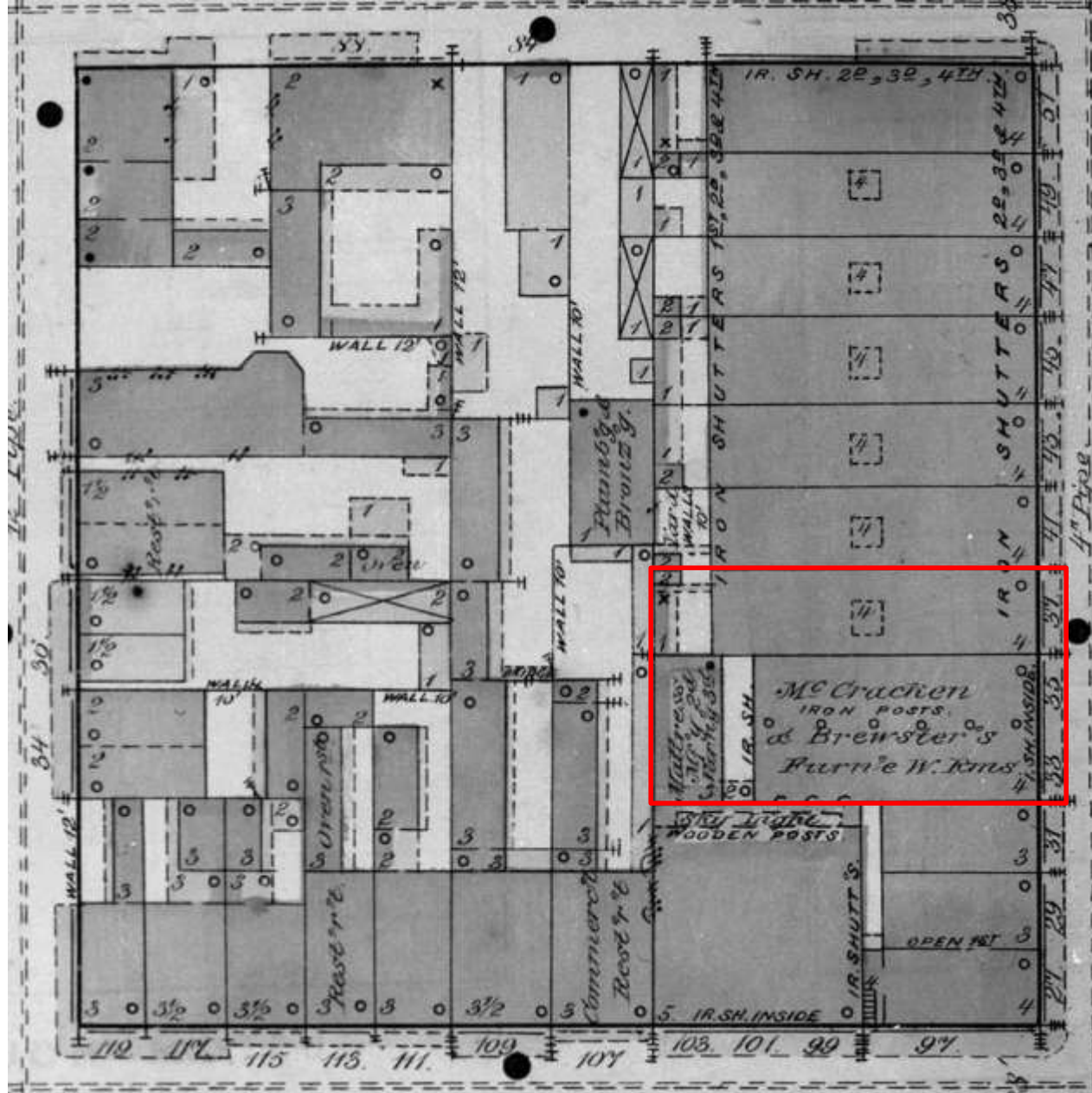


211-15 & 217-19 Royal – 1961

VCC Architectural Committee

November 27th, 2018



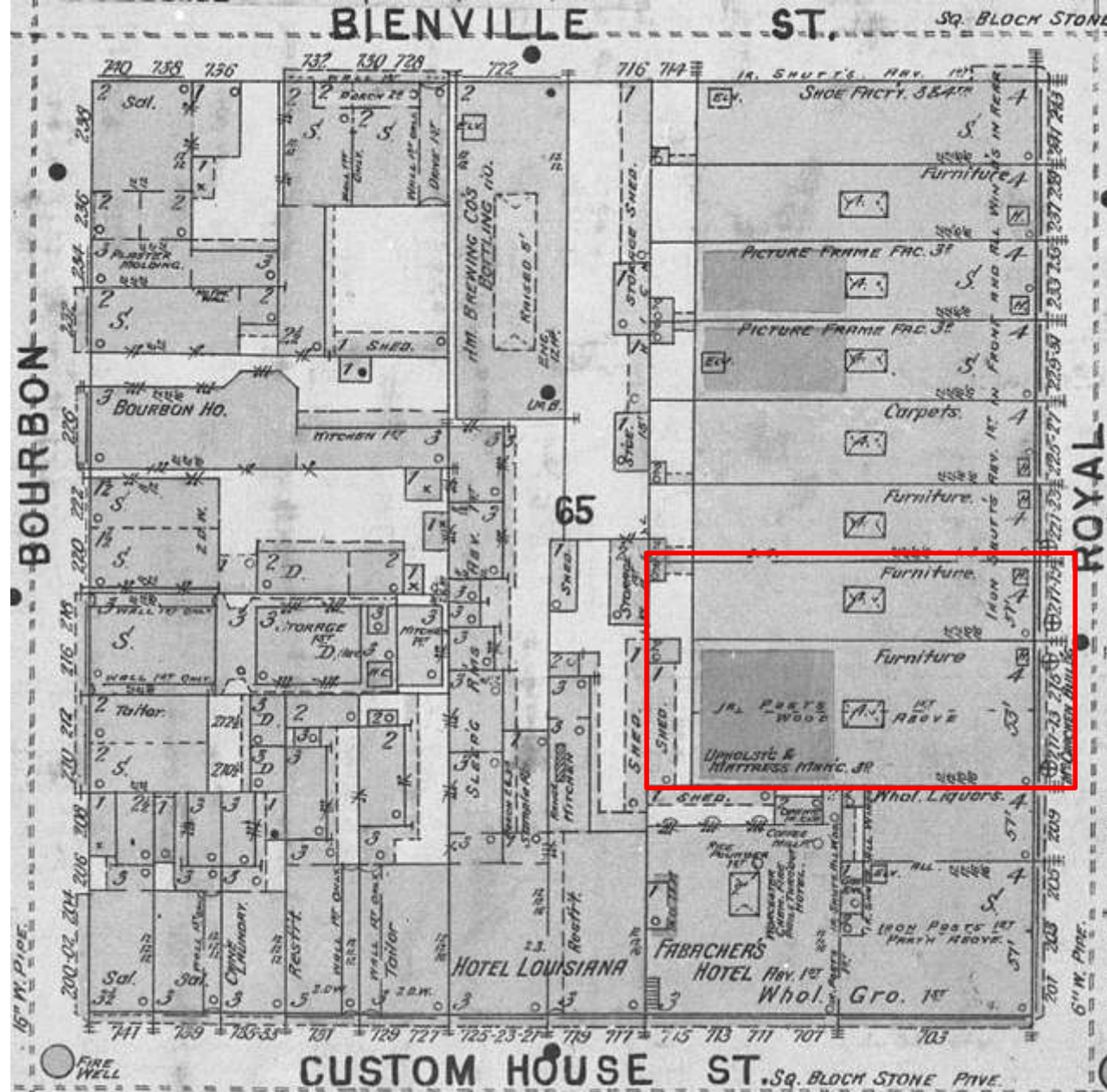


211-15 & 217-19 Royal – 1876

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal – 1896

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal
VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal
VCC Architectural Committee

November 27th, 2018





211-15 & 217-19 Royal

A NEW BALCONY, GALLERY OR PORCH

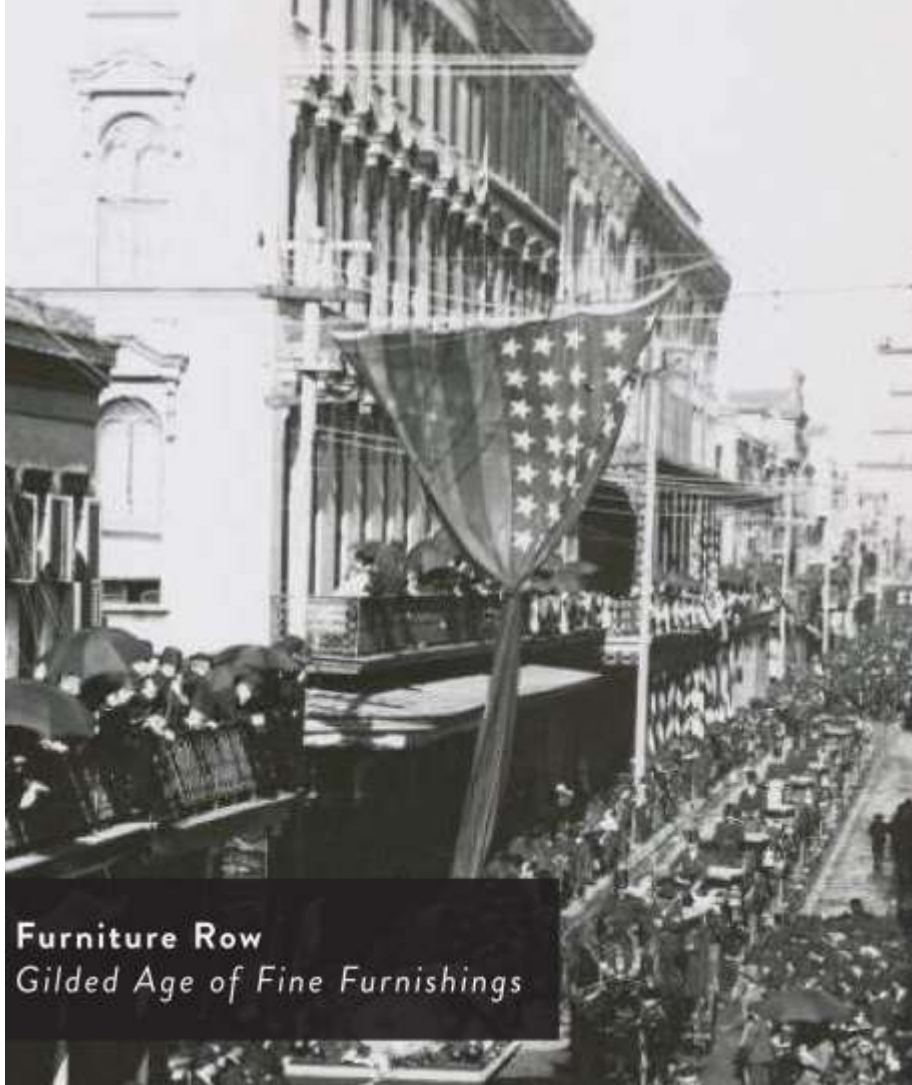
Adding a new balcony, gallery, porch or overhang will greatly alter the appearance of a building. In select cases, the VCC might approve the installation of a new balcony, gallery, porch or overhang provided that:

- There is documentary evidence supporting a balcony, gallery, porch or overhang previously existed
- The installation is appropriate for the building type
- The installation does not destroy or conceal an important architectural feature or detail
- The proposed design is compatible in size, scale and design to the building and surrounding streetscape

When installing a new balcony, gallery, porch or overhang, great care should be taken to minimize the removal of existing building fabric during its installation and attachment. In addition, the design of the components should be simple and visually minimized to allow the wall surfaces beyond to remain visible. When installing a new metal gallery, simple posts located along the curb with a plain balustrade are generally most appropriate. (Refer to *Guidelines for New Construction, Additions & Demolition* for information regarding the reconstruction or installation of a new balcony, gallery, porch or overhang.)



PICTURE OF 211 - 219 ROYAL



Furniture Row
Gilded Age of Fine Furnishings

PICTURE OF 211 - 219 ROYAL



1845 217-221 Royal
1860 211-215 Royal

211-15 & 217-19 Royal

VCC Architectural Committee

November 27th, 2018





STUDIO WTA

211-219 ROYAL STREET
CONSTRUCTION DOCUMENTS
04 DEC 2018



EXTERIOR LIGHTING FIXTURE SCHEDULE			
SYMBOL	TYPE	TYPE	NOTES
1	ST	STANDARD WALL MOUNTED	EXISTING
2	ST	STANDARD WALL MOUNTED	NEW
3	ST	STANDARD WALL MOUNTED	NEW
4	ST	STANDARD WALL MOUNTED	NEW
5	ST	STANDARD WALL MOUNTED	NEW
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98	ST	STANDARD WALL MOUNTED	NEW
99	ST	STANDARD WALL MOUNTED	NEW
100	ST	STANDARD WALL MOUNTED	NEW



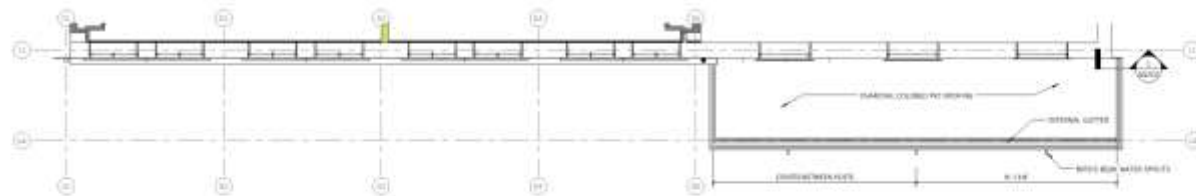
4 ROYAL ST GALLERY ELEVATION FULL



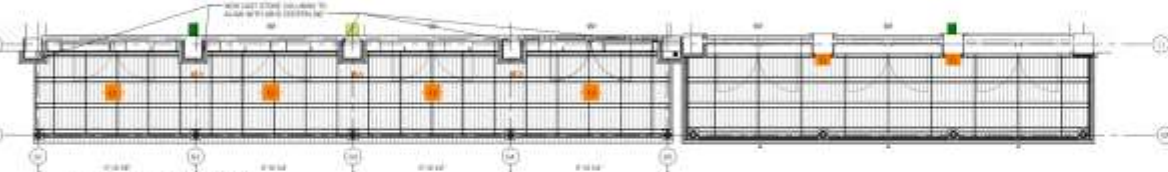
5 ROYAL ST GALLERY ELEVATION DEMO



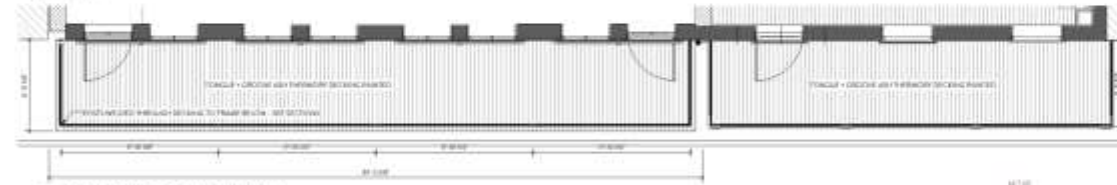
1 SECOND FLOOR GALLERY RCP



7 GALLERY ROOF



6 FIRST FLOOR GALLERY RCP



2 SECOND FLOOR GALLERY PLAN



3 FIRST FLOOR GALLERY PLAN

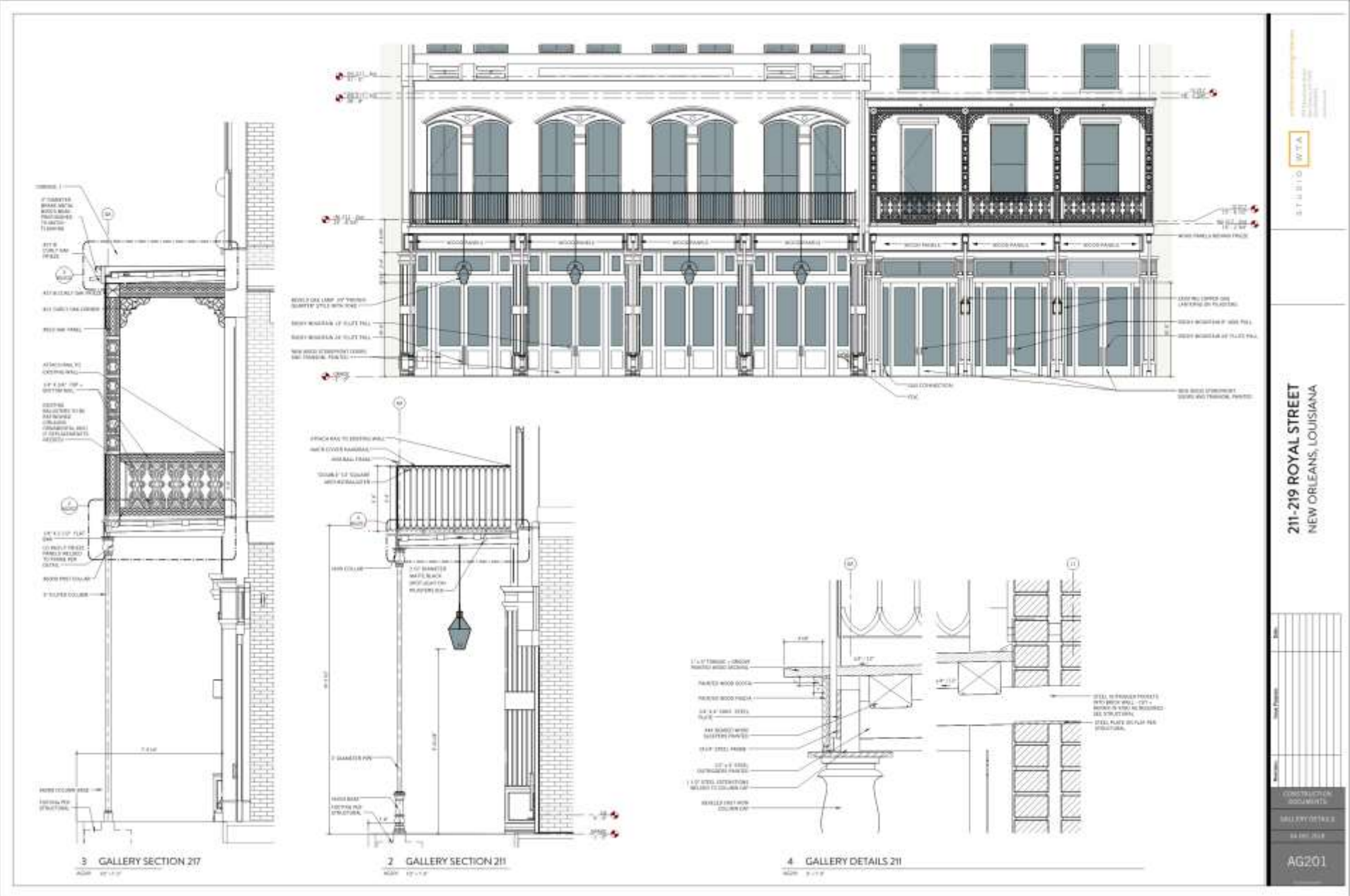
STUDIO WTA

211-219 ROYAL STREET
NEW ORLEANS, LOUISIANA

DATE	DESCRIPTION
10/1/18	ISSUE FOR PERMIT
10/1/18	ISSUE FOR PERMIT
10/1/18	ISSUE FOR PERMIT

AG101





211-15 & 217-19 Royal
VCC Architectural Committee

November 27th, 2018





1845 217-221 Royal
1860 211-215 Royal

FASCIA AT ROOF



UNIQUE DETAIL OF 1845 FACIA FASCIA



UNIQUE DETAIL OF 1860 FACIA FASCIA



ROCK AREA IMPROVED WITH SHIPY ON TOP SHAPED CARING, POLYMER SURFACES CONCRETE, BURNT BRICKS CLAY, SEEN ON OTHER BUILDINGS WITHIN THE BLOCK



FASCIA WITH RAILING HISTORICAL SOLUTIONS

BRICK FACIA

CHALK MARKS FROM 1845 MARK SURVEY OF ORIGINAL FACIA



1845 SOLARI AT 217-221 ROYAL STREET, NEW ORLEANS, LOUISIANA



UNIQUE DETAIL OF 1845 FACIA FASCIA



ROCK CLEARANCE OF 1860 DETAIL FACIA FASCIA OF BLOCK BUILDING

CHALK MARKS FROM 1845 MARK SURVEY OF ORIGINAL FACIA

FRIEZE AT FLOOR



UNIQUE DETAIL OF 1845 FACIA FASCIA

ADDITIONAL BLDG.	ADDITIONAL BLDG.	ADDITIONAL BLDG.
BY BROUDBACK & LATTER	BY BROUDBACK & LATTER	BY BROUDBACK & LATTER
<p>BY BROUDBACK & LATTER 211-215-217 Royal St., 8th, 9th & 10th Opposite Latona and Washburn.</p>	<p>Sold at Auction McCracken Building 211-215-217 Royal St., 8th, 9th & 10th Opposite Latona and Washburn.</p>	<p>Tuesday, March 31, 1914 at 11 o'clock A. M., at the Real Estate Exchange, 111 Barataria Street</p>
<p>W. S. PARSONS, Auctioneer</p>		

211-219 ROYAL STREET
NEW ORLEANS, LOUISIANA

AG203





1000 CAMPBELL STREET



1000 CAMPBELL STREET



811 ROYAL STREET



104 ROYAL STREET



1027 ROYAL STREET



1220 CAMPBELL STREET



1008 ROYAL STREET

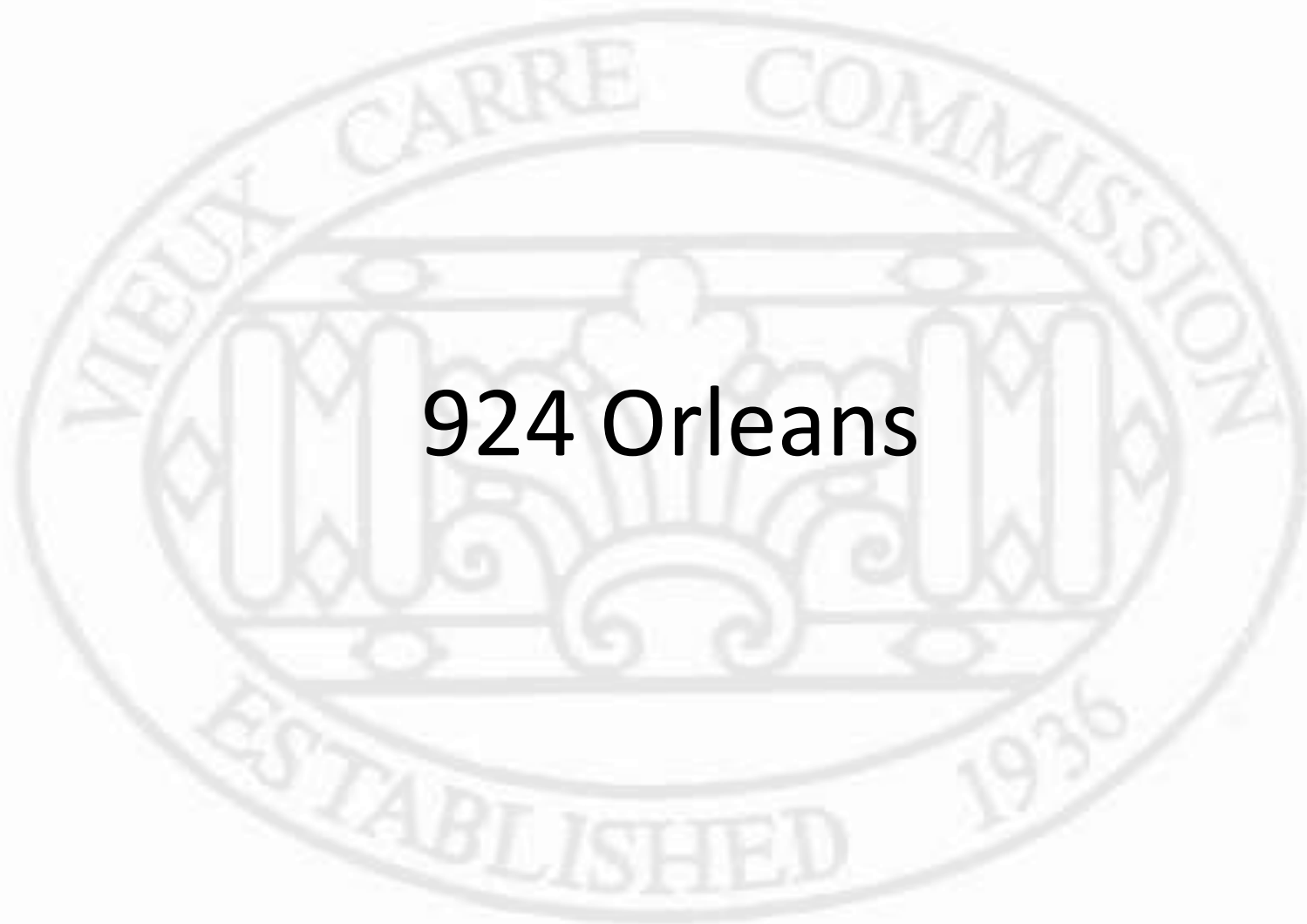


102 ROYAL STREET

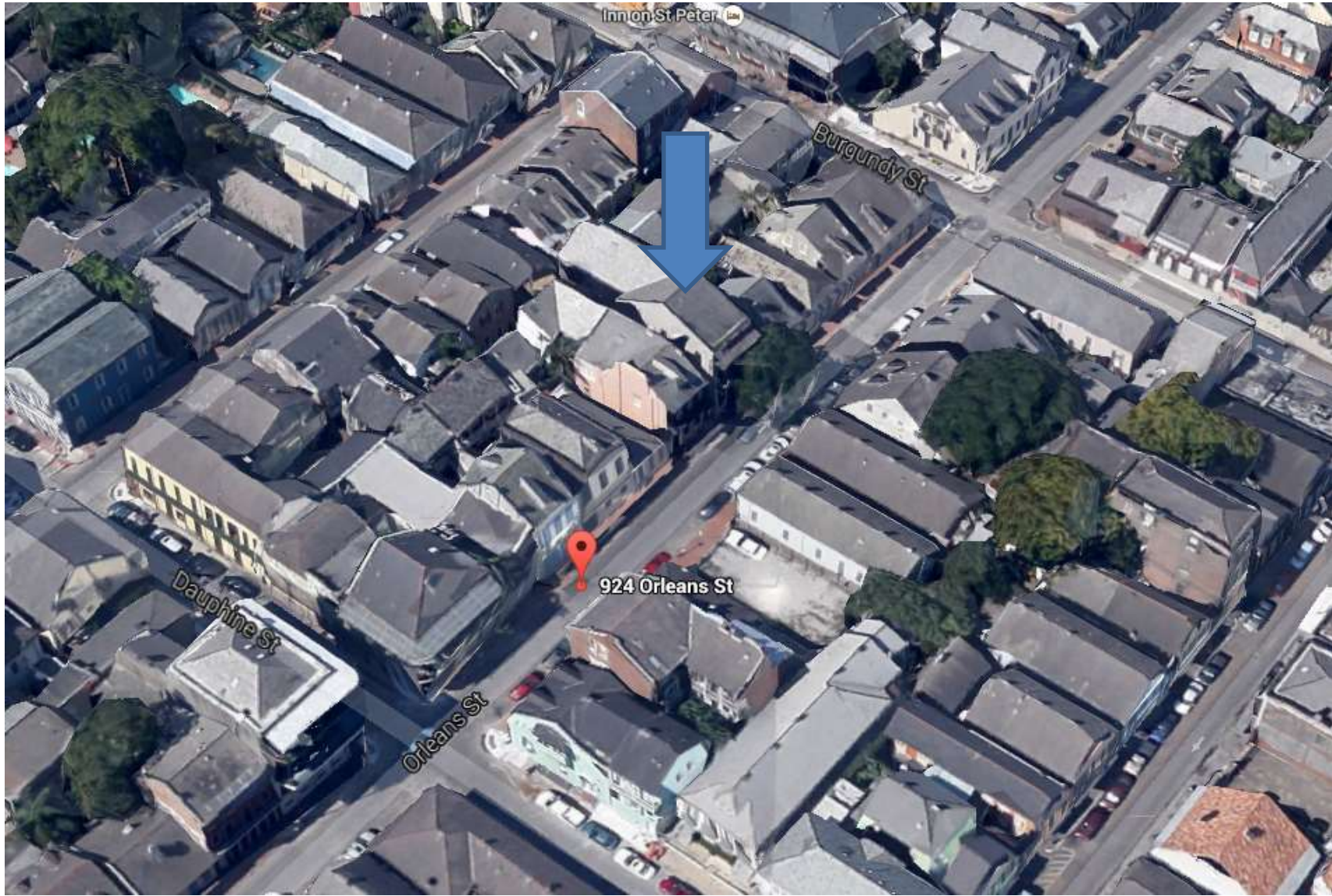
211-15 & 217-19 Royal
VCC Architectural Committee

November 27th, 2018





924 Orleans



924 Orleans

VCC Architectural Committee

December 11, 2018





924 Orleans

VCC Architectural Committee

December 11, 2018





Title: 924 Orleans
Date: fca. 1948]

924 Orleans

VCC Architectural Committee

December 11, 2018





924 Orleans

VCC Architectural Committee

December 11, 2018





924 Orleans

VCC Architectural Committee

December 11, 2018





924 Orleans

VCC Architectural Committee

December 11, 2018





924 Orleans

VCC Architectural Committee

December 11, 2018



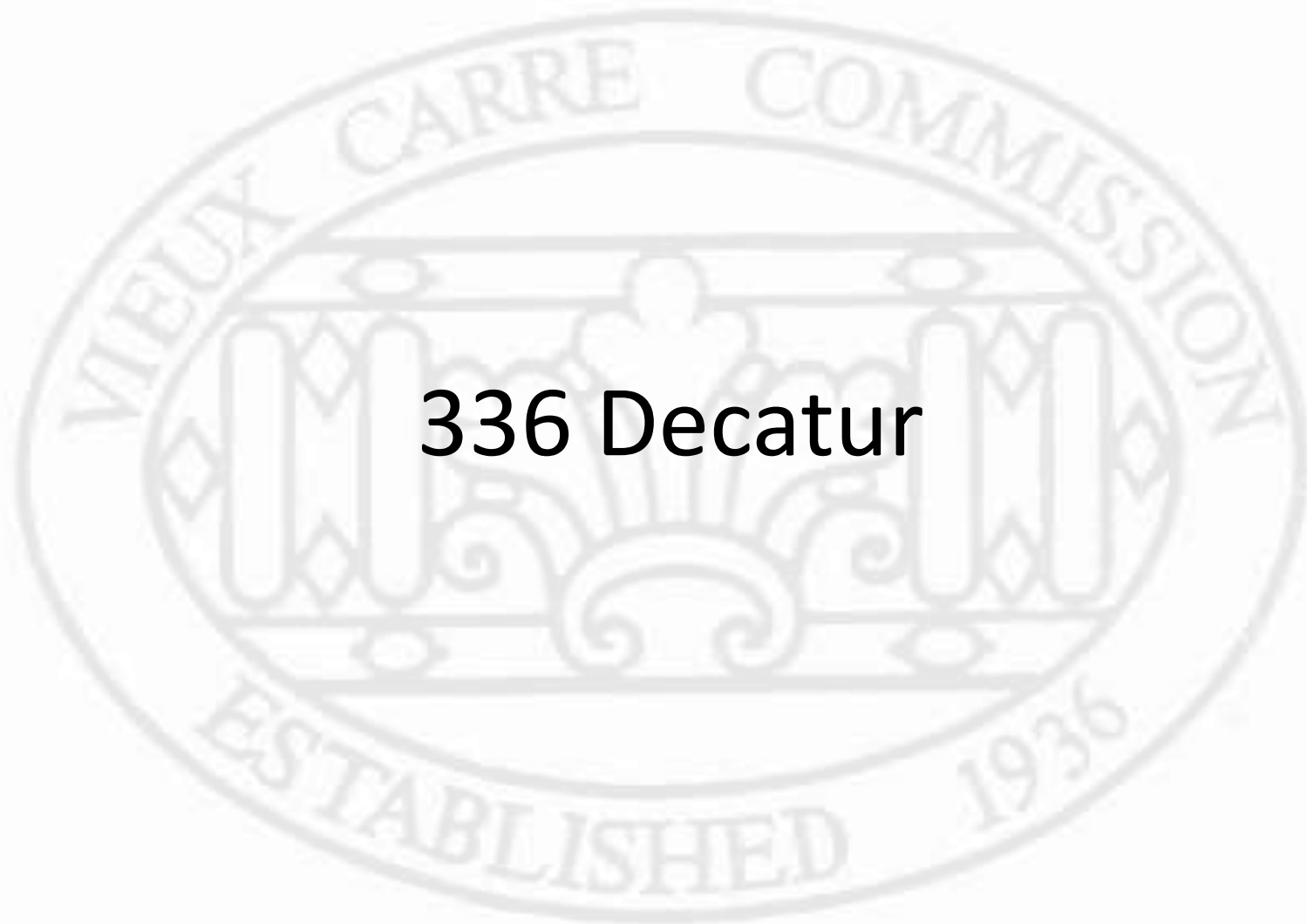


924 Orleans

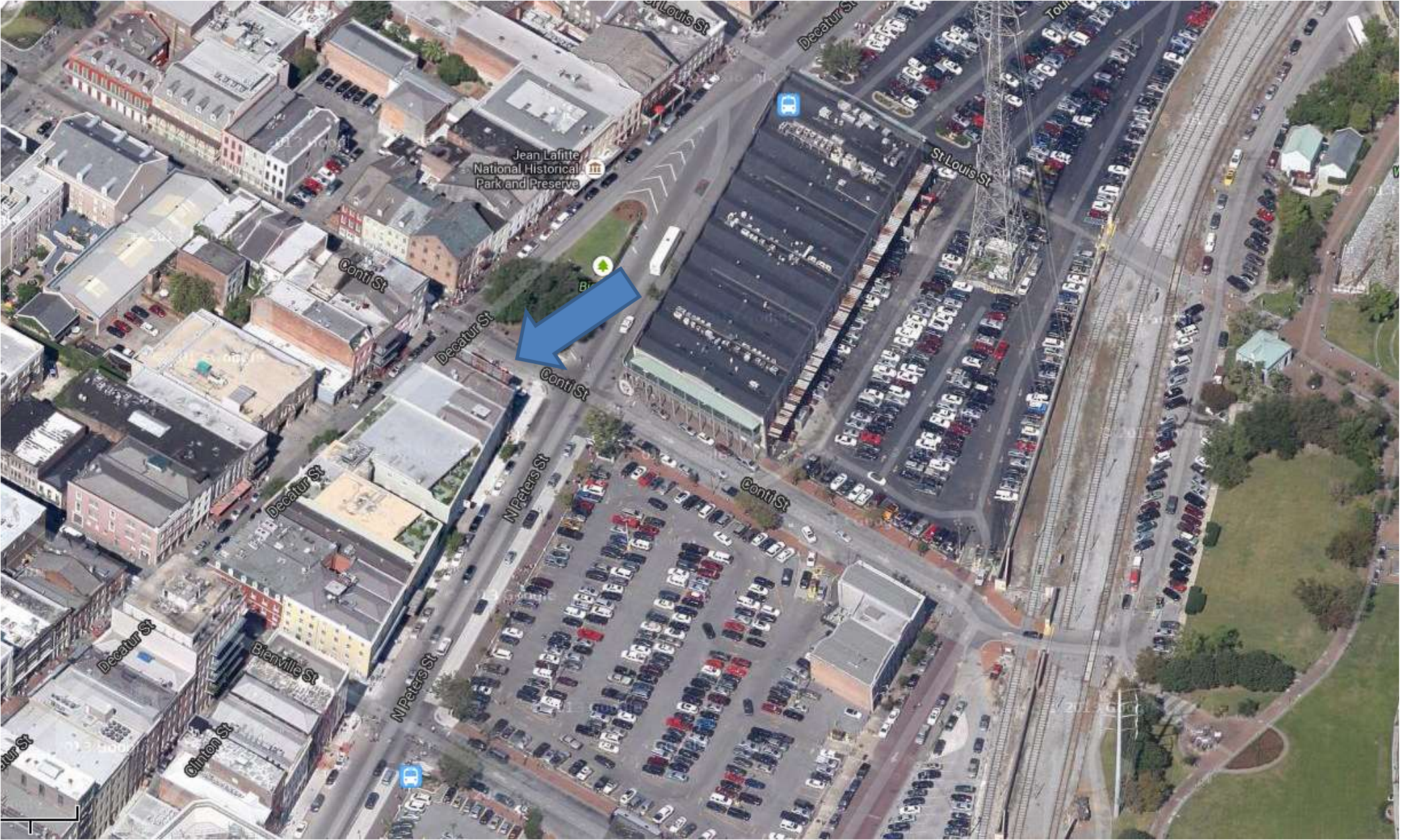
VCC Architectural Committee

December 11, 2018





336 Decatur



336-40 Decatur / 400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 23, 2018





336-40 Decatur / 400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 23, 2018





336-40 Decatur / 400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 23, 2018





336-40 Decatur /400 Conti / 341 N. Peters Street

VCC Architectural Committee

October 23, 2018



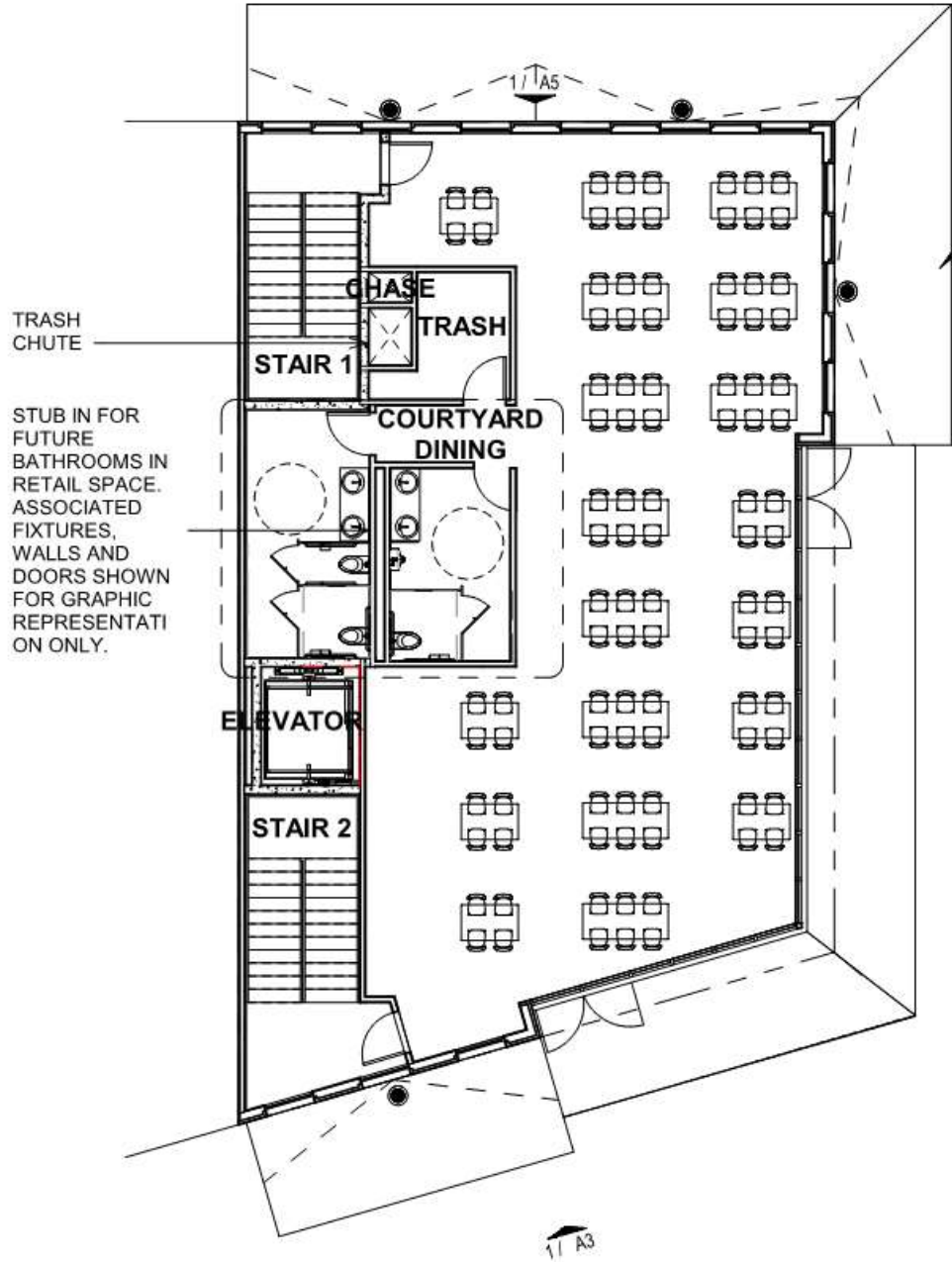


336-40 Decatur /400 Conti

VCC Architectural Committee

October 23, 2018

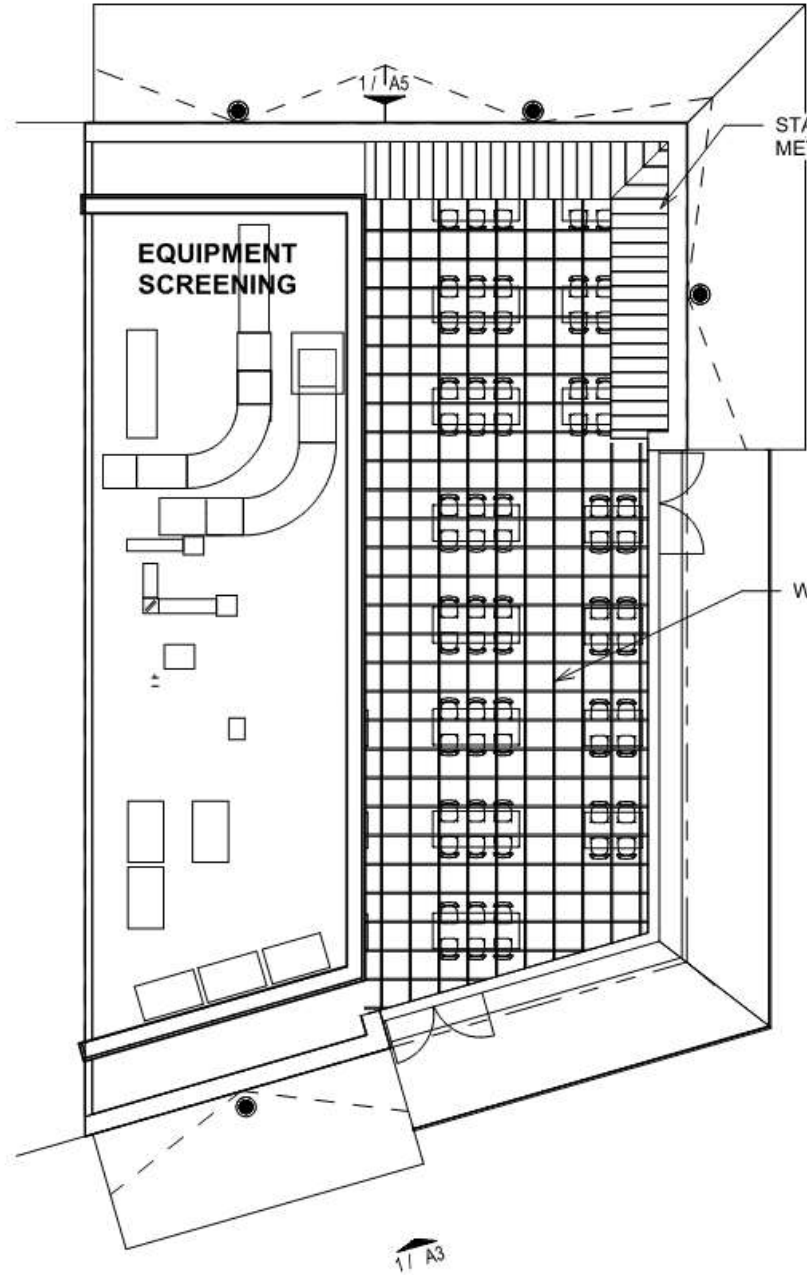




TRASH CHUTE

STUB IN FOR FUTURE BATHROOMS IN RETAIL SPACE. ASSOCIATED FIXTURES, WALLS AND DOORS SHOWN FOR GRAPHIC REPRESENTATION ONLY.

MODIFIED BITUMINOUS ROOF SLOPED TO ROOF DRAINS



STANDING SEAM METAL ROOF

WOOD LATTICE

① 3RD FLOOR
3/32" = 1'-0"

② ROOF PLAN
3/32" = 1'-0"



① N. PETERS STREET ELEVATION
 1/8" = 1'-0"

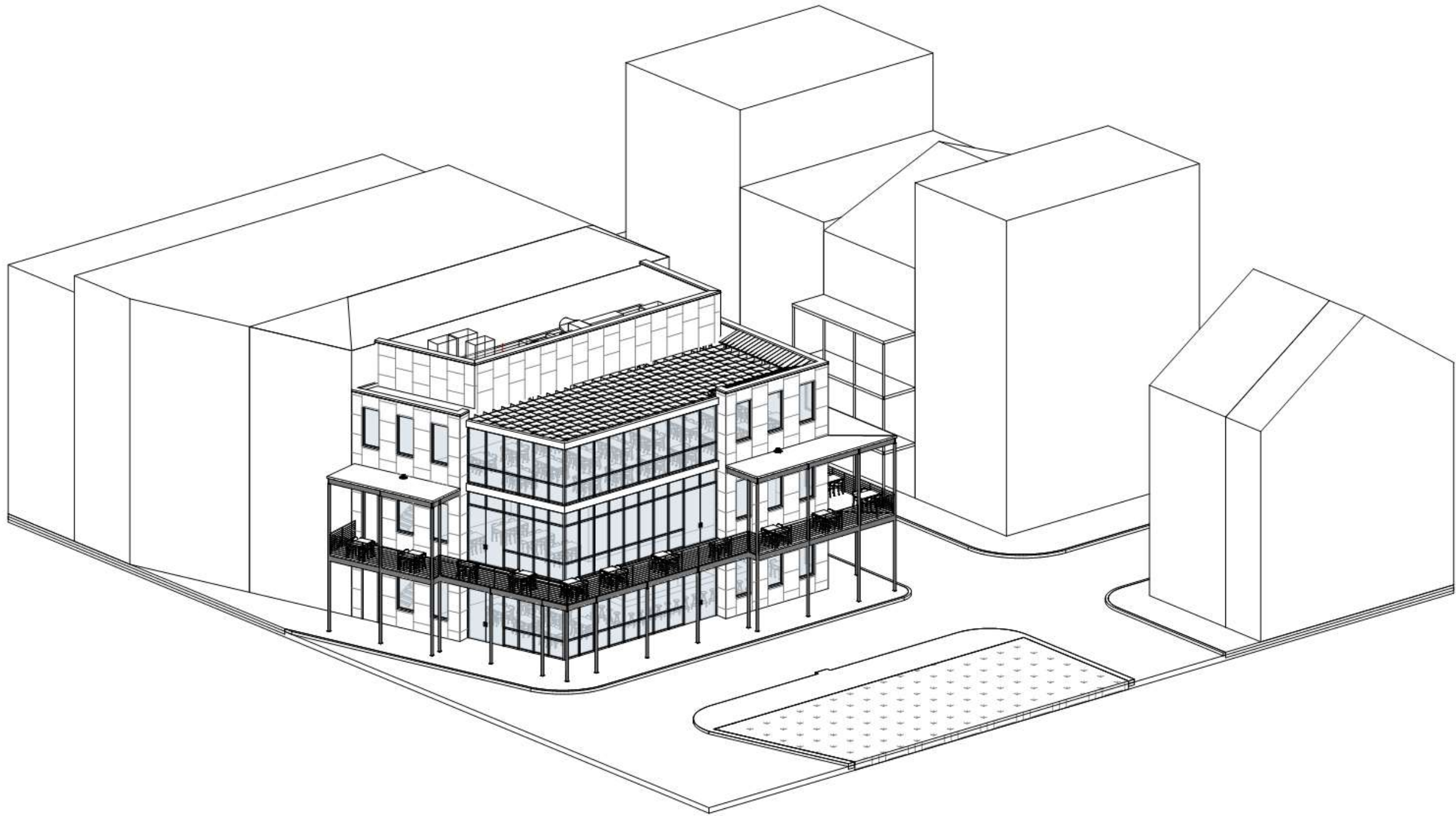


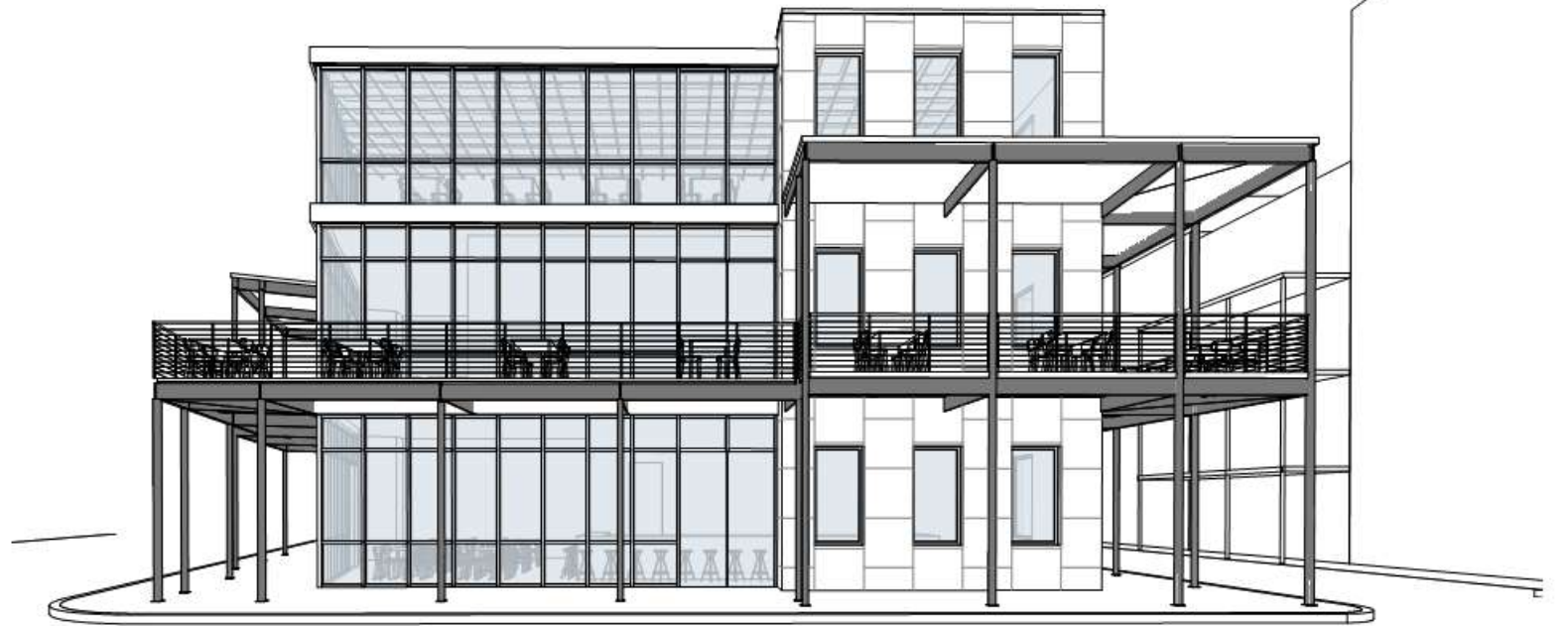
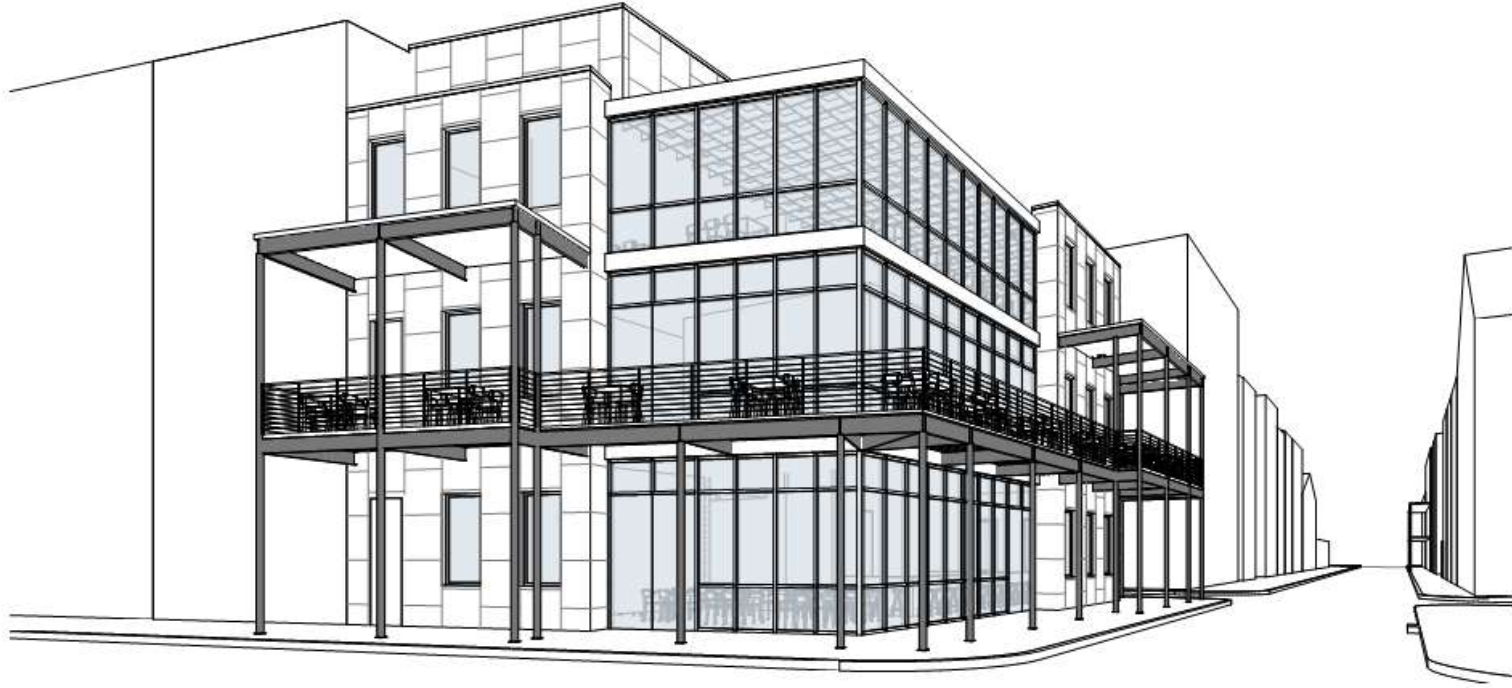
① CONTI STREET ELEVATION
 1/8" = 1'-0"



① DECATUR STREET ELEVATION
 1/8" = 1'-0"







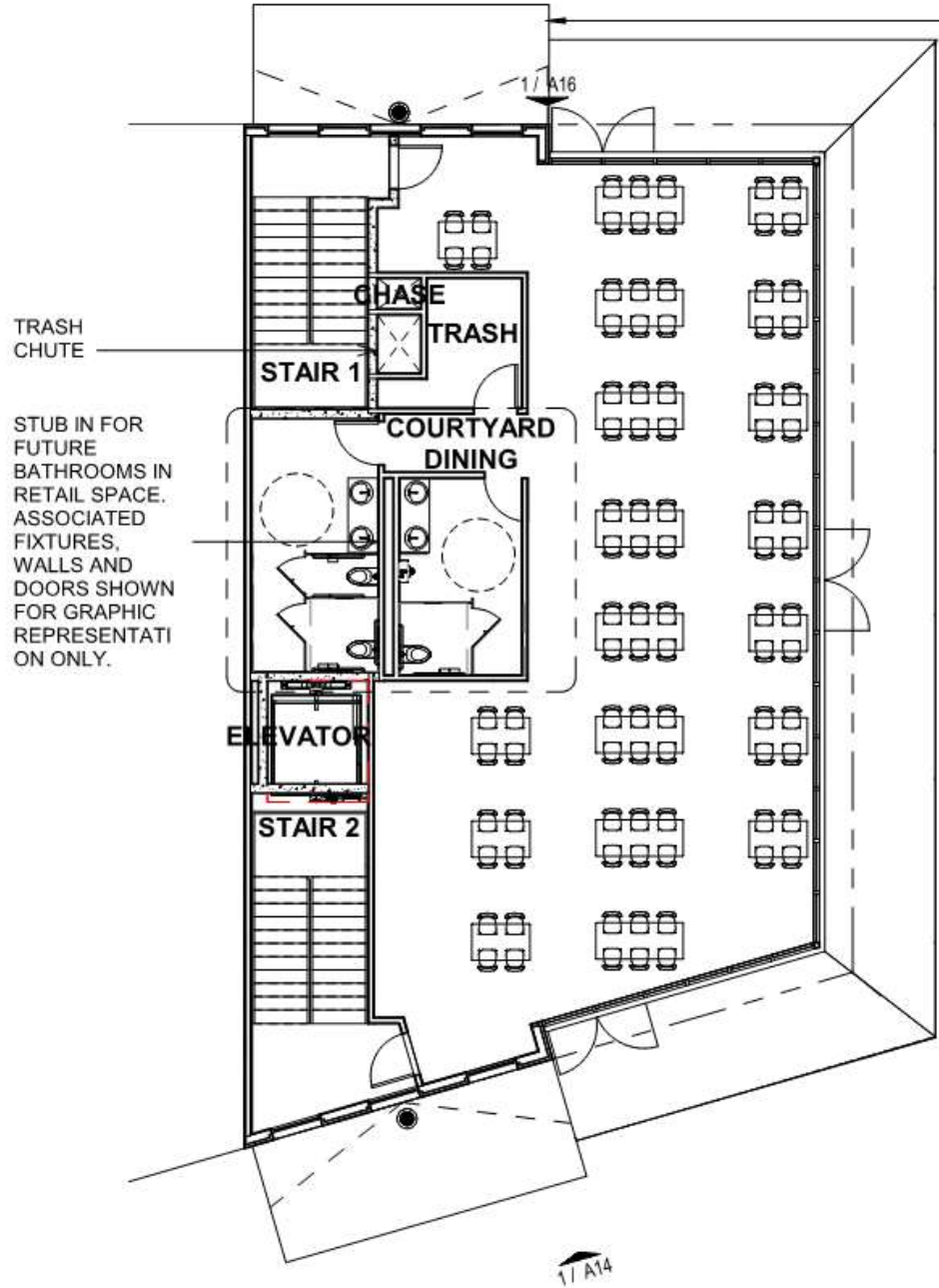






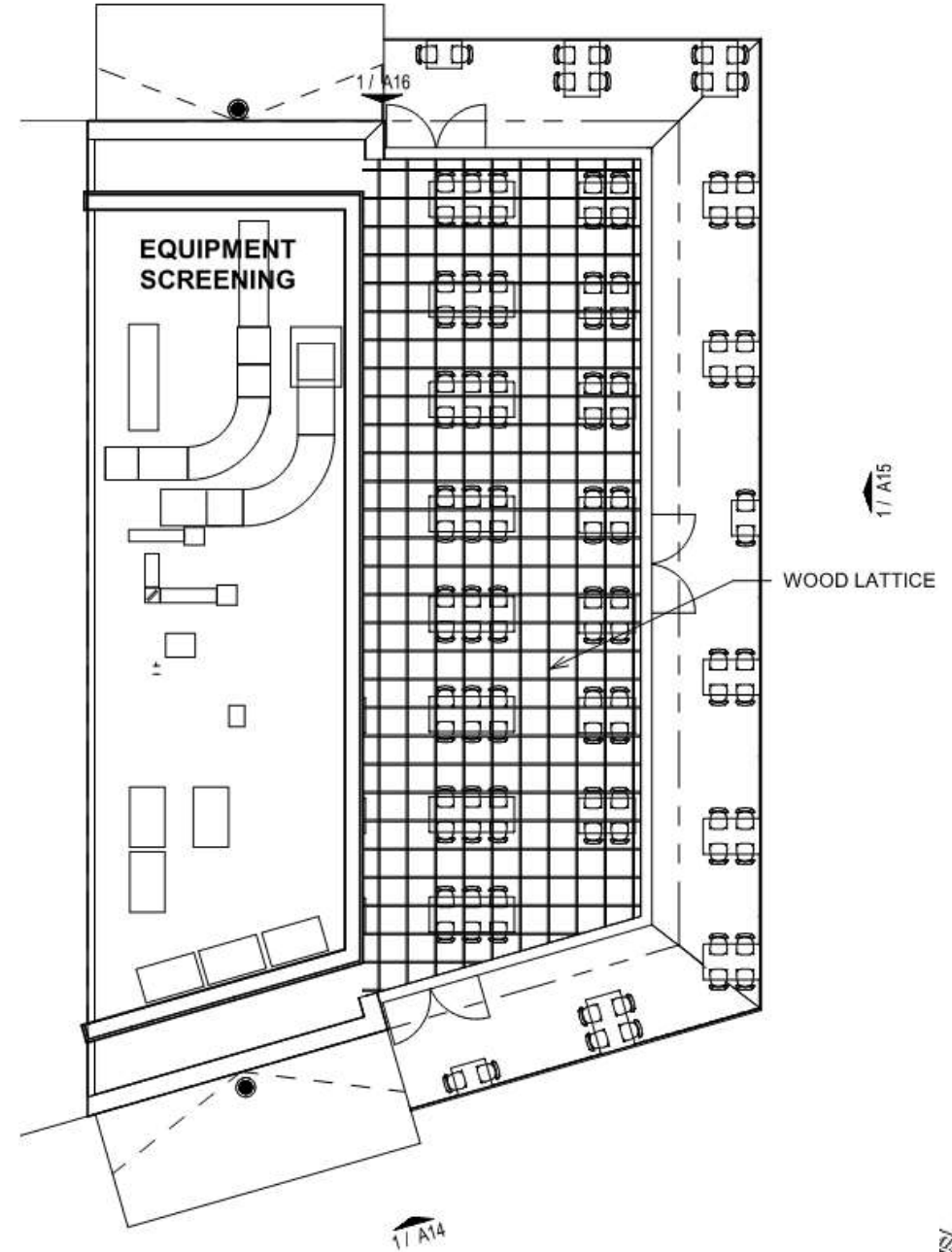


MODIFIED BITUMINOUS
ROOF SLOPED TO
ROOF DRAINS



STUB IN FOR FUTURE BATHROOMS IN RETAIL SPACE. ASSOCIATED FIXTURES, WALLS AND DOORS SHOWN FOR GRAPHIC REPRESENTATION ONLY.

① 3RD FLOOR
3/32" = 1'-0"

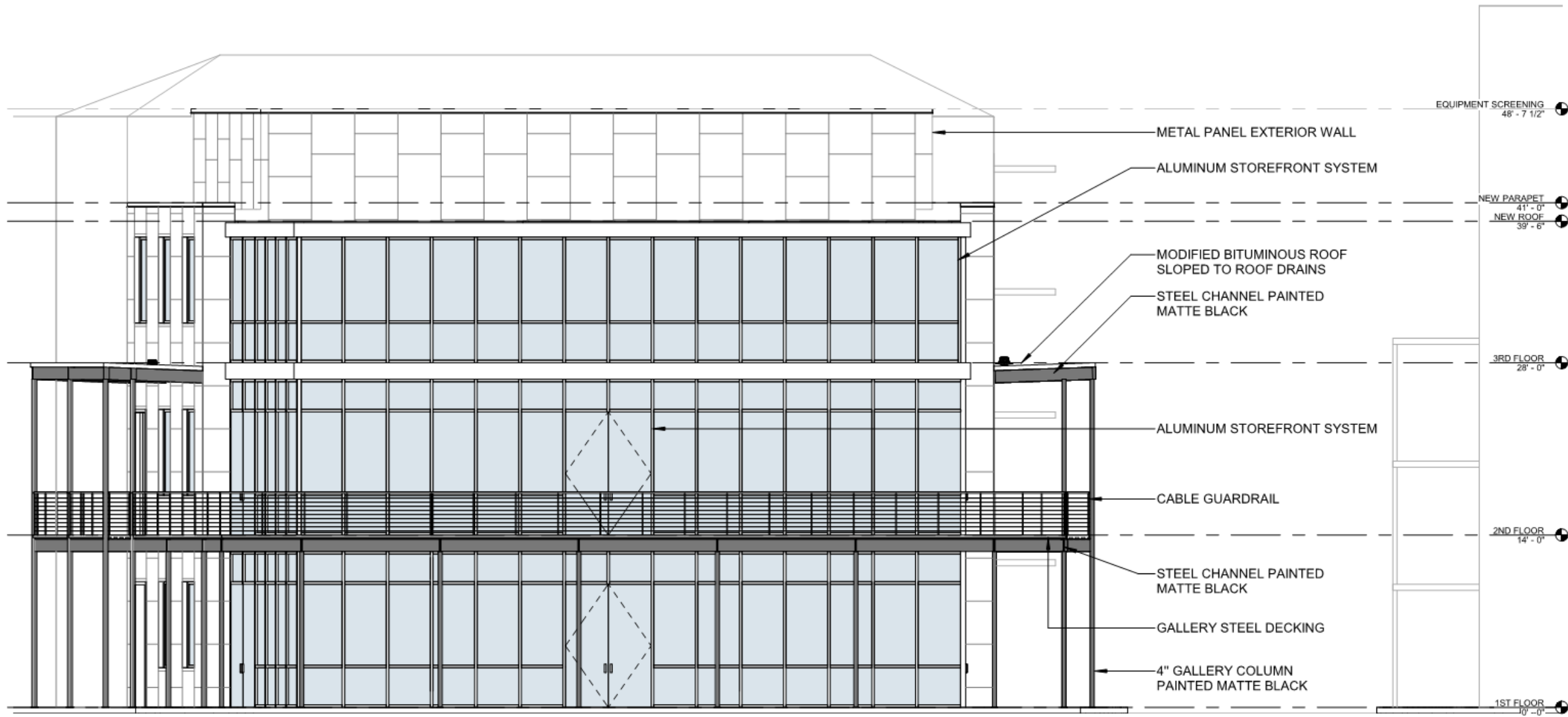


② ROOF PLAN
3/32" = 1'-0"



① N. PETERS STREET ELEVATION
 1/8" = 1'-0"

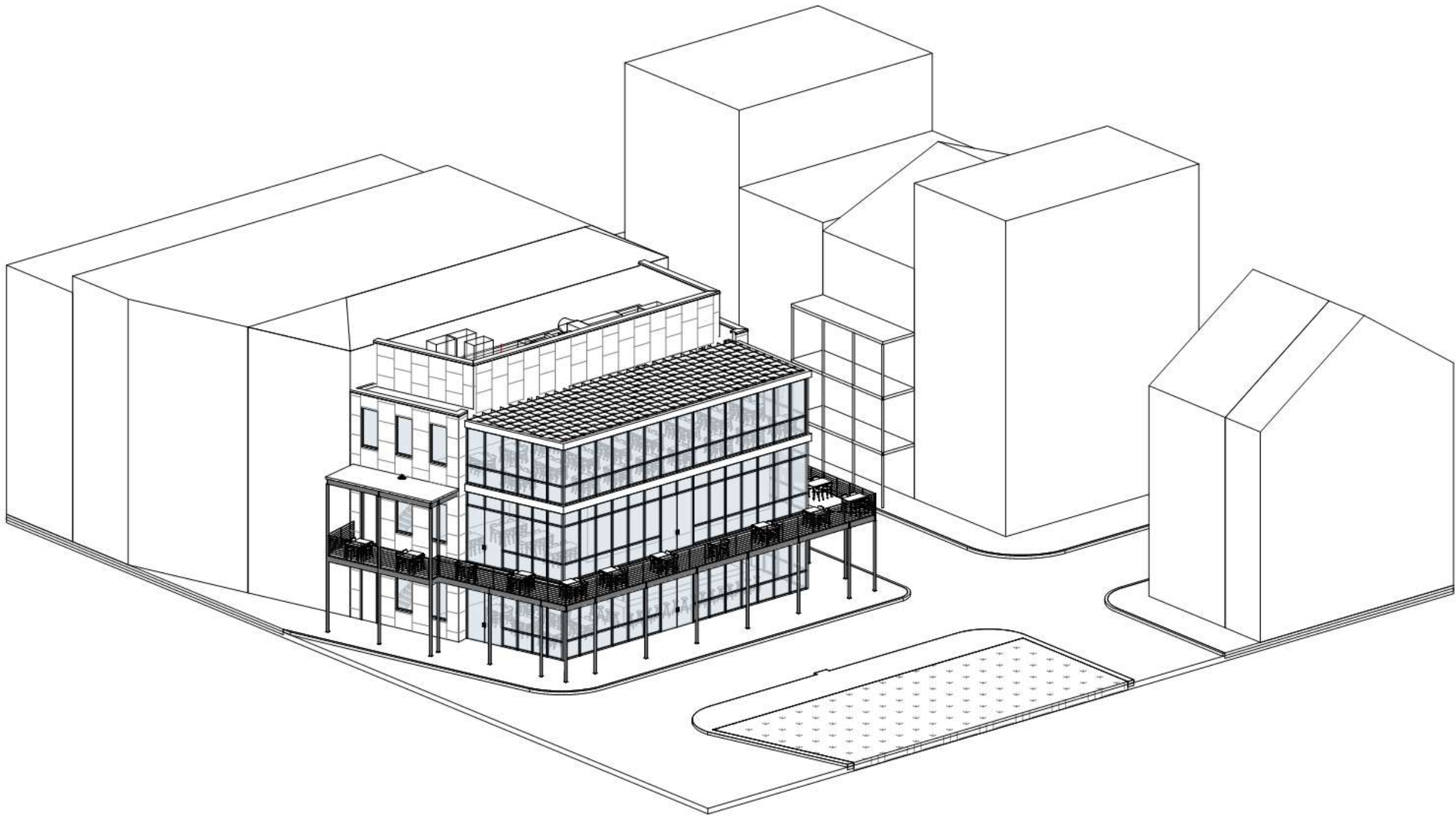


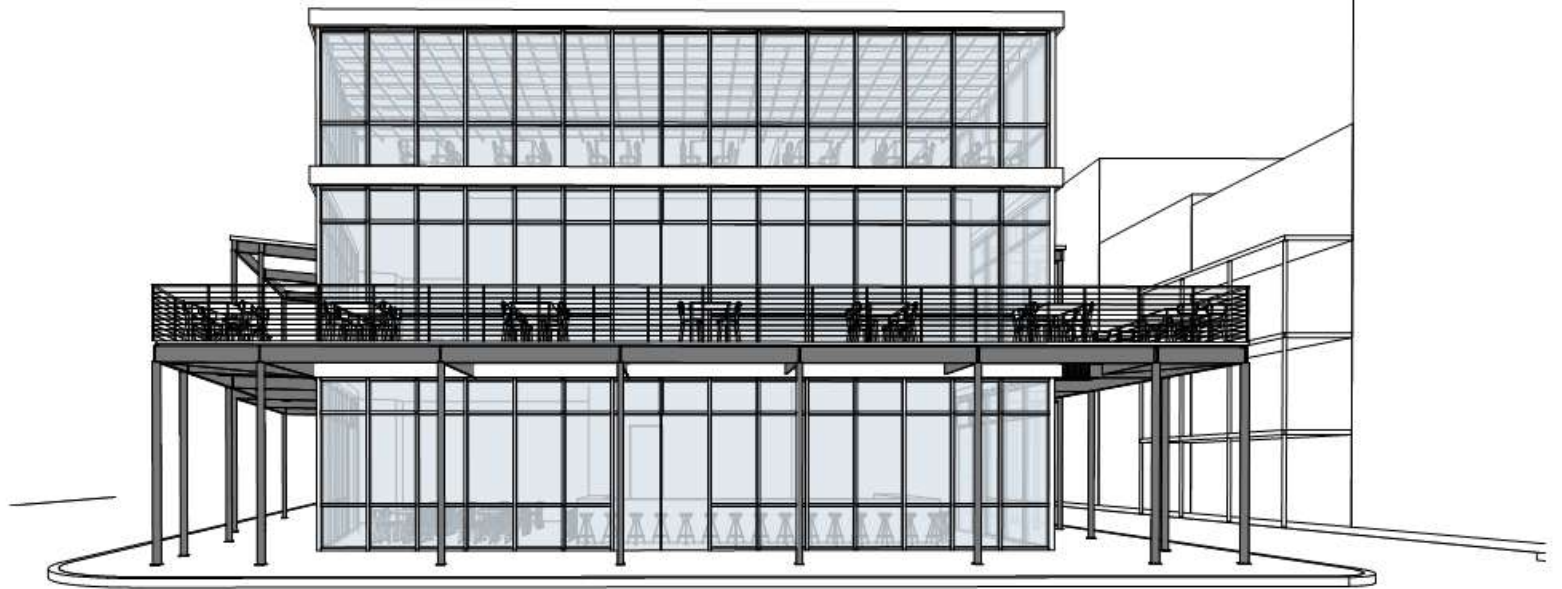
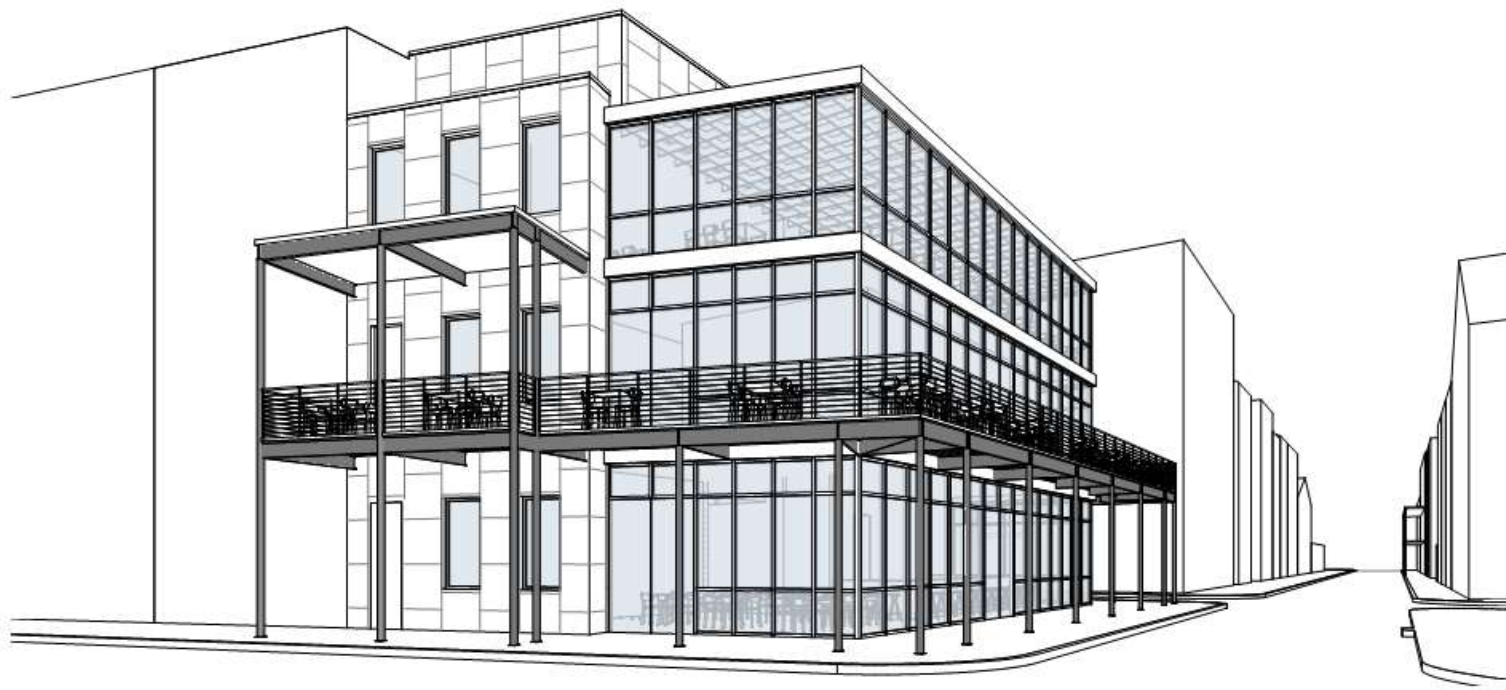


① CONTI STREET ELEVATION
 1/8" = 1'-0"



① DECATUR STREET ELEVATION
 1/8" = 1'-0"







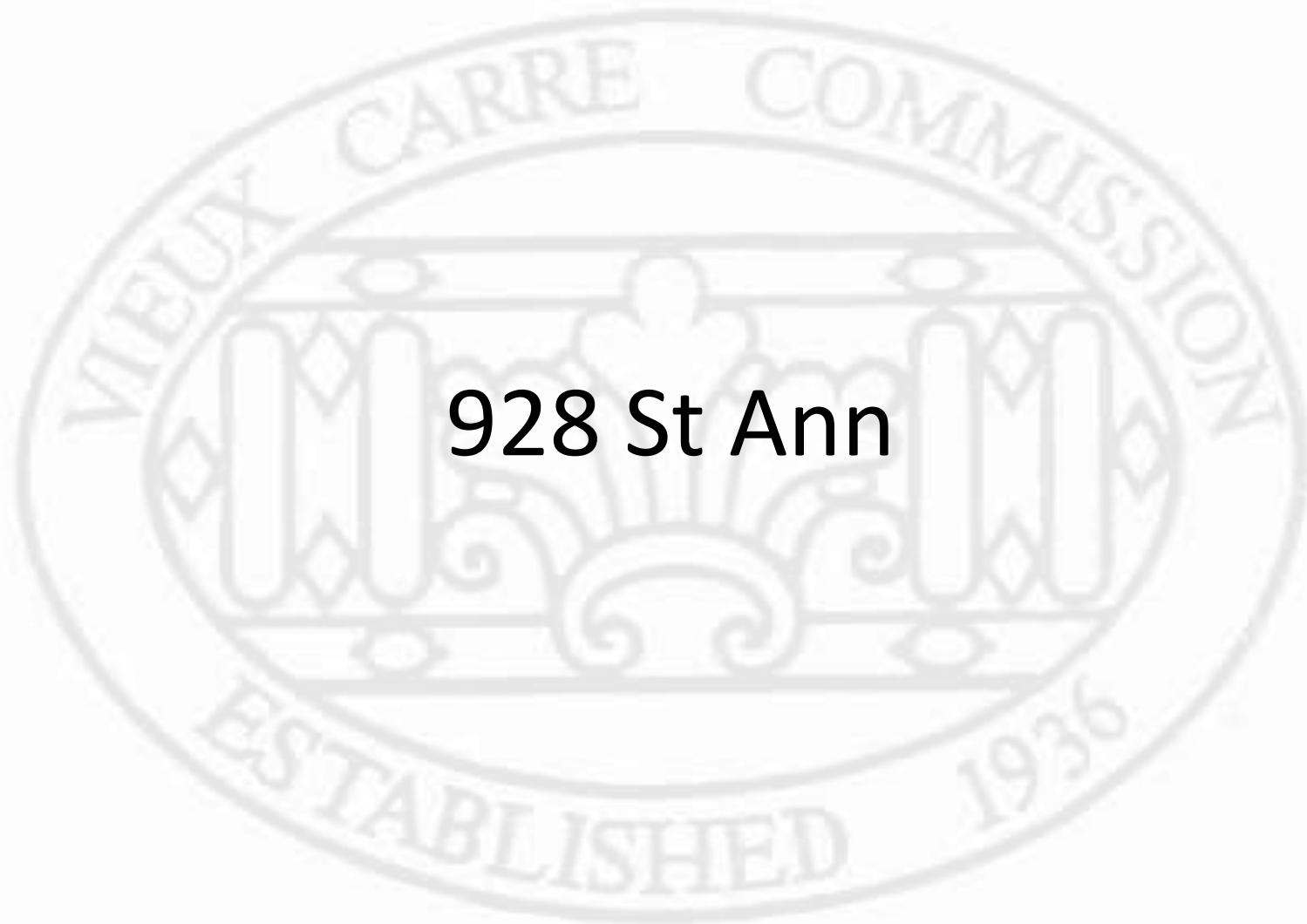
VCC A











928 St Ann



928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

11 20 2017

December 11, 2018





928 St Ann

VCC Architectural Committee

11 20 2017

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

11 20 2017

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

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VCC Architectural Committee

December 11, 2018





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VCC Architectural Committee

December 11, 2018





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VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St An
VCC Architect





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018





928 St Ann

VCC Architectural Committee

December 11, 2018



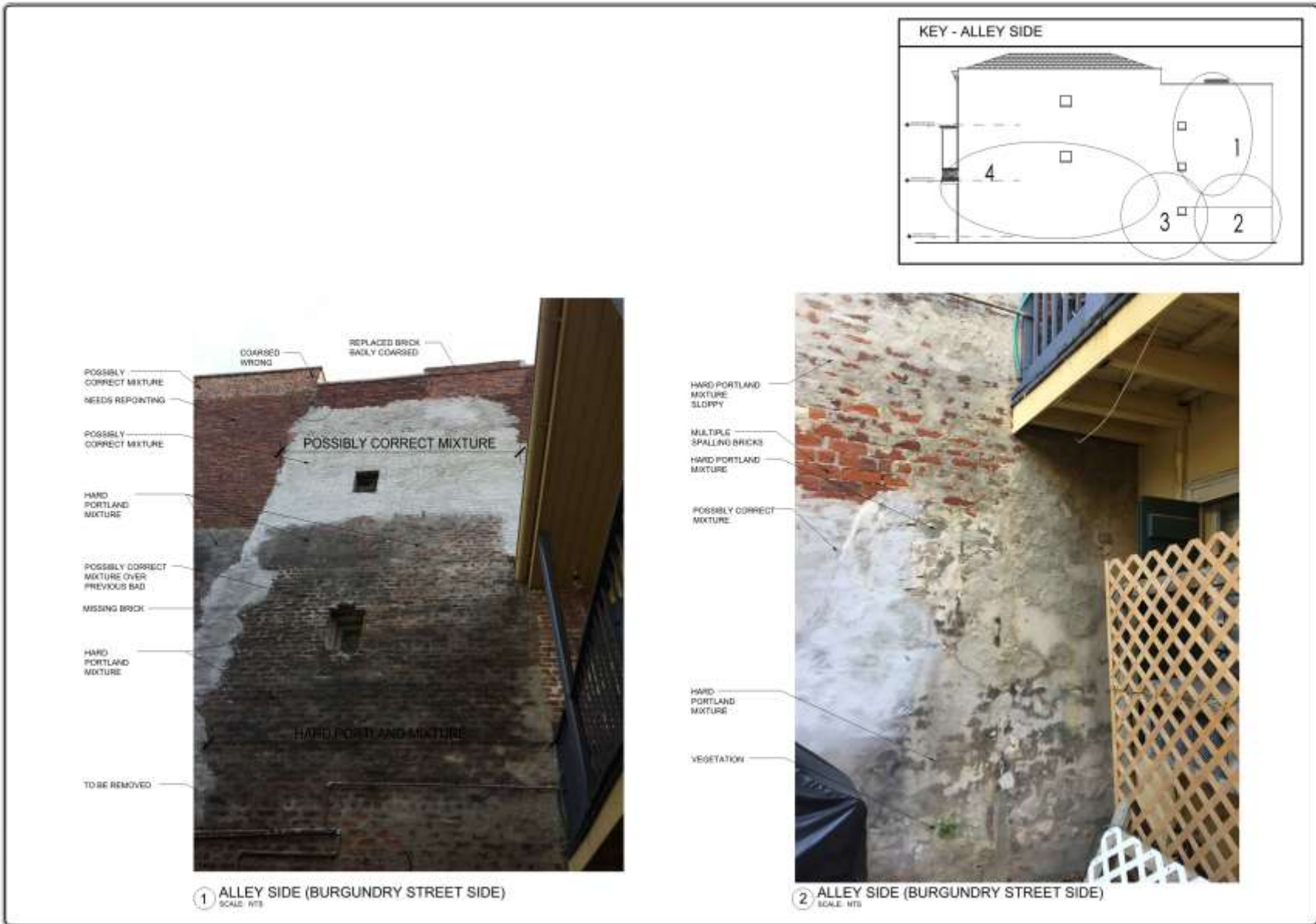


928 St Ann

VCC Architectural Committee

December 11, 2018





DESIGN DEVELOPMENT



Mad
Cura Modern
4015 S. Oaklawn Avenue
New Orleans, LA 70112
504.870.2221

PROJECT LOCATION

Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70119

Aura, LLC
8500 Lakeside Drive
Scottsdale, AZ 85260

PROJECT NUMBER:	18074
DESIGN BY:	2019
DATE: 07/18	11/20/18

A-5





928 St Ann





5 ALLEY SIDE
SCALE: NTS

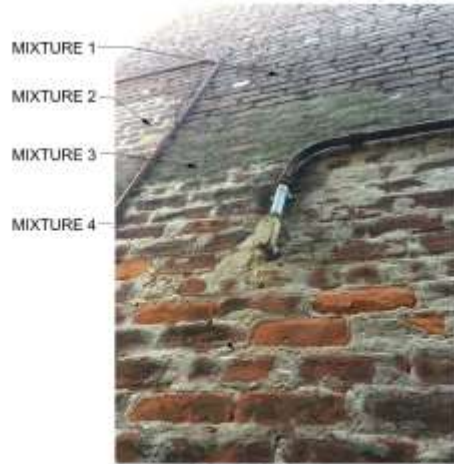


6 ALLEY SIDE
SCALE: NTS



7 ALLEY SIDE
SCALE: NTS

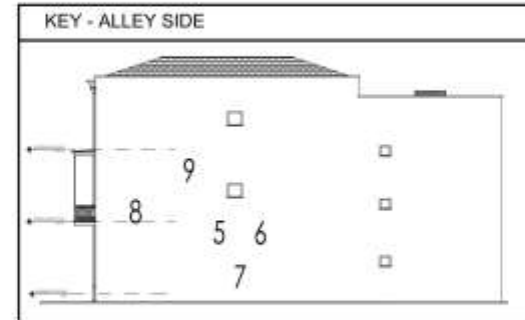
SPALLING



8 ALLEY SIDE
SCALE: NTS



9 ALLEY SIDE
SCALE: NTS



DESIGN / DEVELOPMENT



Gunn Modern
4519 S. Chaborn Avenue
New Orleans, LA 70115
504.875.2271

PROJECT RELATION

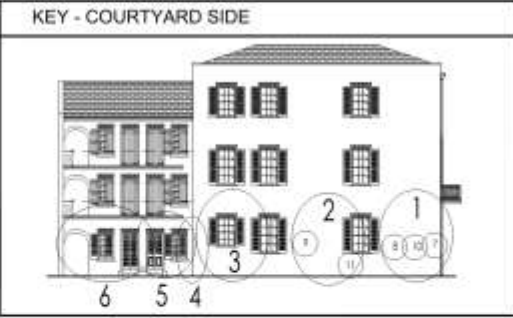
Aura, LLC
928-40 Saint Ann
First - Third Floor Rehabilitation - Single Family
New Orleans, LA 70118

Aura, LLC
8088 Lusher Drive
Buckeye, AZ 85092

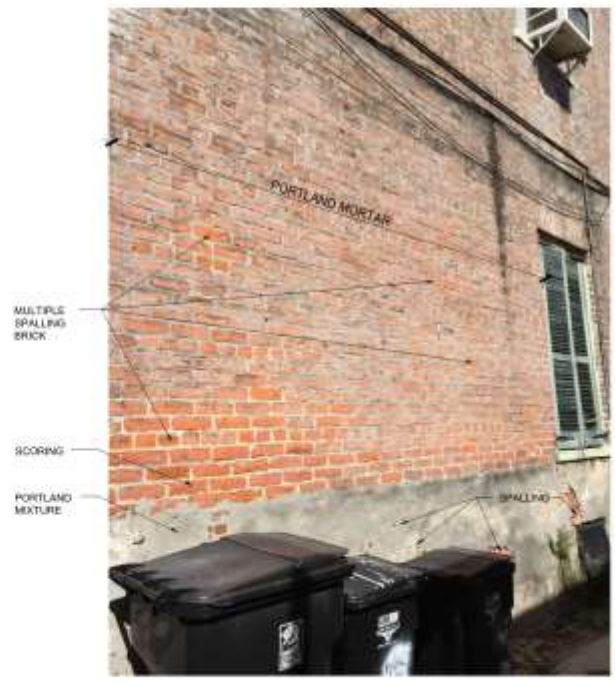
PROJECT NUMBER: 18-074
DRAWN BY: JES
CHECK DATE: 12/08/18

A-5.2





1 COURTYARD SIDE (DAUPHINE STREET SIDE)
SCALE: NTS



2 COURTYARD SIDE (DAUPHINE STREET SIDE)
SCALE: NTS

URBAN DEVELOPMENT

Gone Modern
4519 S. Claiborne Avenue
New Orleans, LA 70125
504.310.2211

FRONT ELEVATION

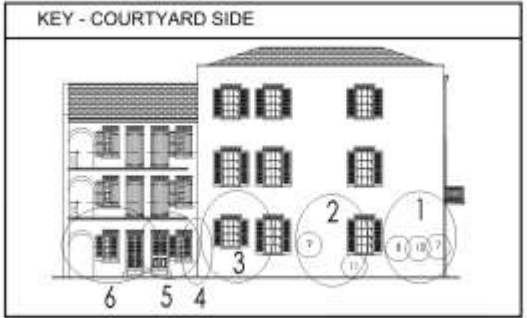
Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70118

Aura, LLC
959 Lyndon Drive
Scottsdale, AZ 85268

PROJECT NUMBER:	3473
DATE:	07/15
SCALE:	1/8"=1'-0"

A-5.3





3 COURTYARD SIDE (DAUPHINE STREET SIDE)
SCALE: NTS



4 COURTYARD SIDE (DAUPHINE STREET SIDE)
SCALE: NTS

DESIGN DEVELOPMENT



Gunn Modern
4819 S. Calhoun Avenue
New Orleans, LA 70125
504.973.2221

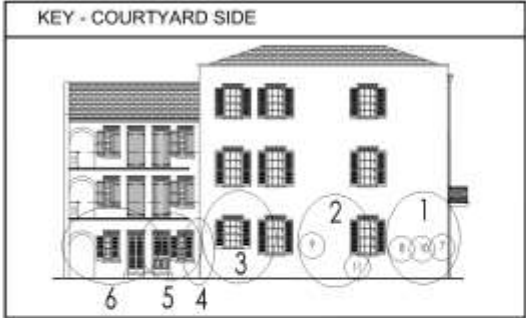
PROJECT LOCATION
Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70118

Aura, LLC
6039 Lakeside Drive
Boutte, LA 70329

PROJECT NUMBER	18-04
DATE	12/11/18
PROJECT	18-04-01

A-5.4





3030M
30-01-000001

Mad
Guns Modern
2010 S. Oakshire Avenue
New Orleans, LA 70125
504 610-2221

PROJECT ARCHITECT
Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70110

Aura, LLC
928 Lafayette Drive
Baton Rouge, LA 70802

PROJECT NUMBER	3030M
DATE	08/11/18
SCALE	AS SHOWN

A-5.5



5 COURTYARD SIDE (DAUPHINE STREET SIDE)
SCALE: NTS



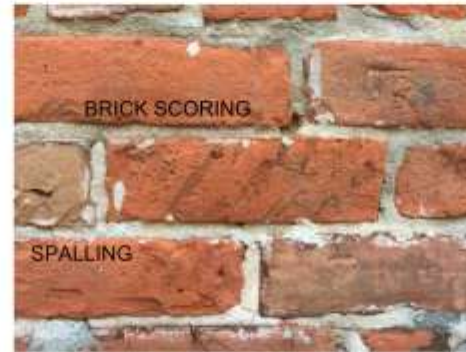
6 COURTYARD SIDE (DAUPHINE STREET SIDE)
SCALE: NTS



SPALLING



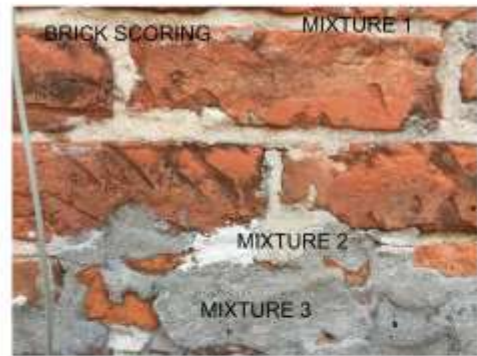
7 COURTYARD SIDE
SCALE: NTS



8 COURTYARD SIDE
SCALE: NTS



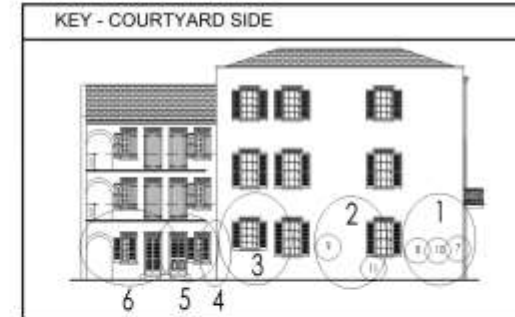
9 COURTYARD SIDE
SCALE: NTS



10 COURTYARD SIDE
SCALE: NTS



11 COURTYARD SIDE
SCALE: NTS



DESIGN DEVELOPMENT

Mod

Guns Modern
1119 S. Lindbergh Avenue
New Orleans, LA 70125
504.977.2211

PROJECT EVOLUTION

Aura, LLC
928-40 Saint Ann
First, Third Floor Rehabilitation - Single Family
New Orleans, LA 70118

Aura, LLC
6850 Lakeside Drive
Scottsdale, AZ 85266

PROJECT NUMBER	DATE
REVISION	DATE
SCALE DATE	1/16/2014

A-5.6





1 SAINT ANN ELEVATION
SCALE: NTS

SEASON DEVELOPMENT



Guis Modern
2019 S. Chalmette Avenue
New Orleans, LA 70125
504.910.2221

PROJECT ARCHITECT
Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70118

ARCH. LLC
909 Leveau Drive
Spartanburg, AZ 29301

PROJECT NUMBER:	928-40
DATE:	1/18
DRAWN BY:	SP
CHECKED BY:	SP
SCALE:	AS SHOWN

A-5.7

928 St Ann





1 SAINT ANN ELEVATION
SCALE: NTS

DESIGN
EQUIPMENT



Gura Modern
4019 S. Calcasieu Avenue
New Orleans, LA 70125
504 419 2221

FRONT ELEVATION

Aura, LLC
928-40 Saint Ann
First - Third Floor Renovation - Single Family
New Orleans, LA 70118

Arch. LLC
2008 Lafayette Drive
Scottsdale, AZ 85260

PROJECT NUMBER:	1414
DESIGNED BY:	AVA
DATE:	12/06/14

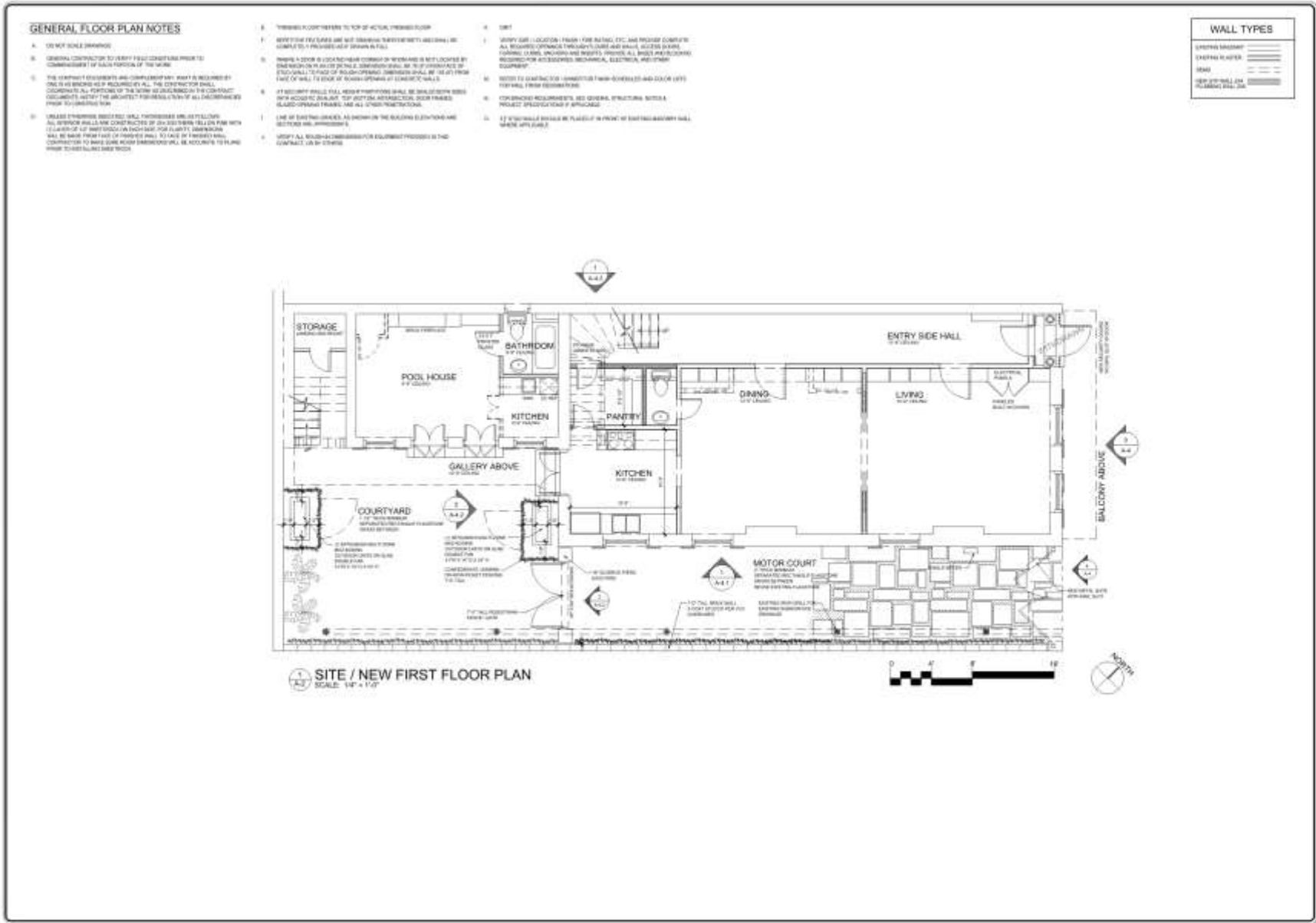
A-5.8

928 St Ann

VCC Architectural Committee

December 11, 2018





DESIGN DEVELOPMENT

Mod

Guru Modam
4519 S. Claiborne Avenue
New Orleans, LA 70122
504 875 2221

NEW SITE / FIRST FLOOR PLAN

Aura, LLC
928-40 Saint Ann
First Floor Plan - Addition - Single Family
New Orleans, LA 70118

Dr. Julia Kwan
5955 Lakeside Drive
Metairie, LA 70002

PROJECT NUMBER	2018-01
DATE	11/11/2018
PROJECT NAME	928-40 Saint Ann

A-2



DESIGN DEVELOPMENT

Mad

Guns Modern
 5115 S. Clear Lake Avenue
 New Orleans, LA 70118
 504.818.2221

POINT ELEVATION

Aura, LLC
928-40 Saint Ann
 First - Third Floor Renovation - Single Family
 New Orleans, LA 70118

Aura, LLC
 600 Lakeside Drive
 Metairie, LA 70006

PROJECT NUMBER: 18075
 DRAWING: 020
 ISSUE DATE: 11/06/18

A-4

928 St Ann





Mod
Guns Modern
3313 S. Chalmette Avenue
New Orleans, LA 70118
504.919.2271

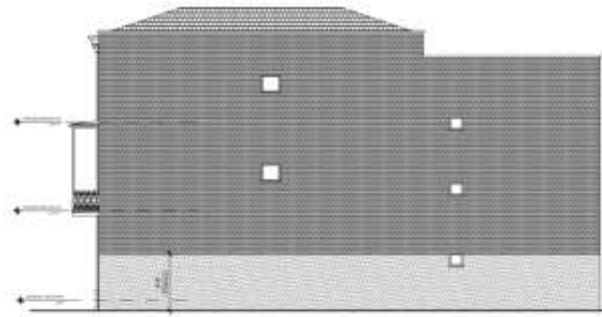
Aura, LLC
928-40 Saint Ann
Plot: Third Floor (1800) - Single Family
New Orleans, LA 70116

Dr. John Hader
3554 Lakeside Drive
Baton Rouge, LA 70806

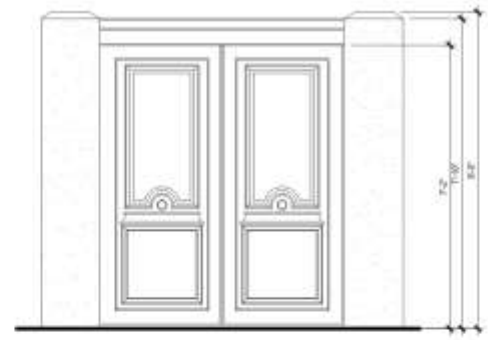
PROJECT NUMBER	928
DATE	11/11/16
DESIGNED BY	AM
DATE	11/11/16

A-4.1

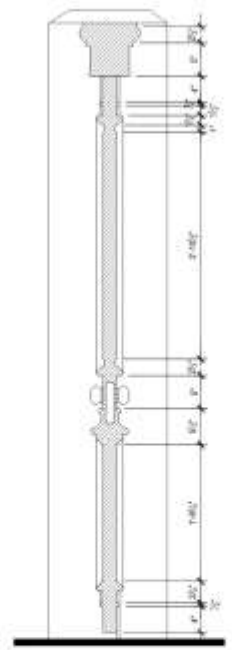




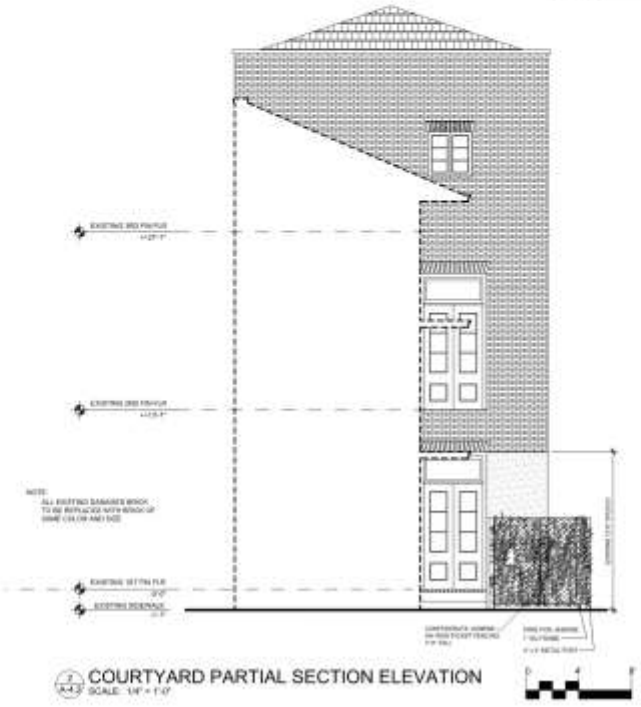
1 ALLEY WAY ELEVATION - BURGUNDY STREET SIDE
SCALE: 1/8" = 1'-0"



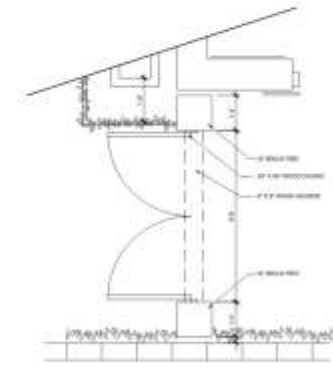
2 COURTYARD GATE ELEVATION
SCALE: 3/4" = 1'-0"



3 COURTYARD GATE SECTION
SCALE: 1/2" = 1'-0"



4 COURTYARD PARTIAL SECTION ELEVATION
SCALE: 1/4" = 1'-0"



5 COURTYARD GATE FLOOR PLAN
SCALE: 1/2" = 1'-0"

DESIGN DEVELOPMENT

Gene Modern
4515 S. Oakshore Avenue
New Orleans, LA 70126
504.813.2221

ELEVATOR

Aura, LLC
928-40 Saint Ann
First Third Floor Renovation - Single Family
New Orleans, LA 70118

Dr. Allen Kwan
1808 Larkspur Drive
Scottsdale, AZ 85258

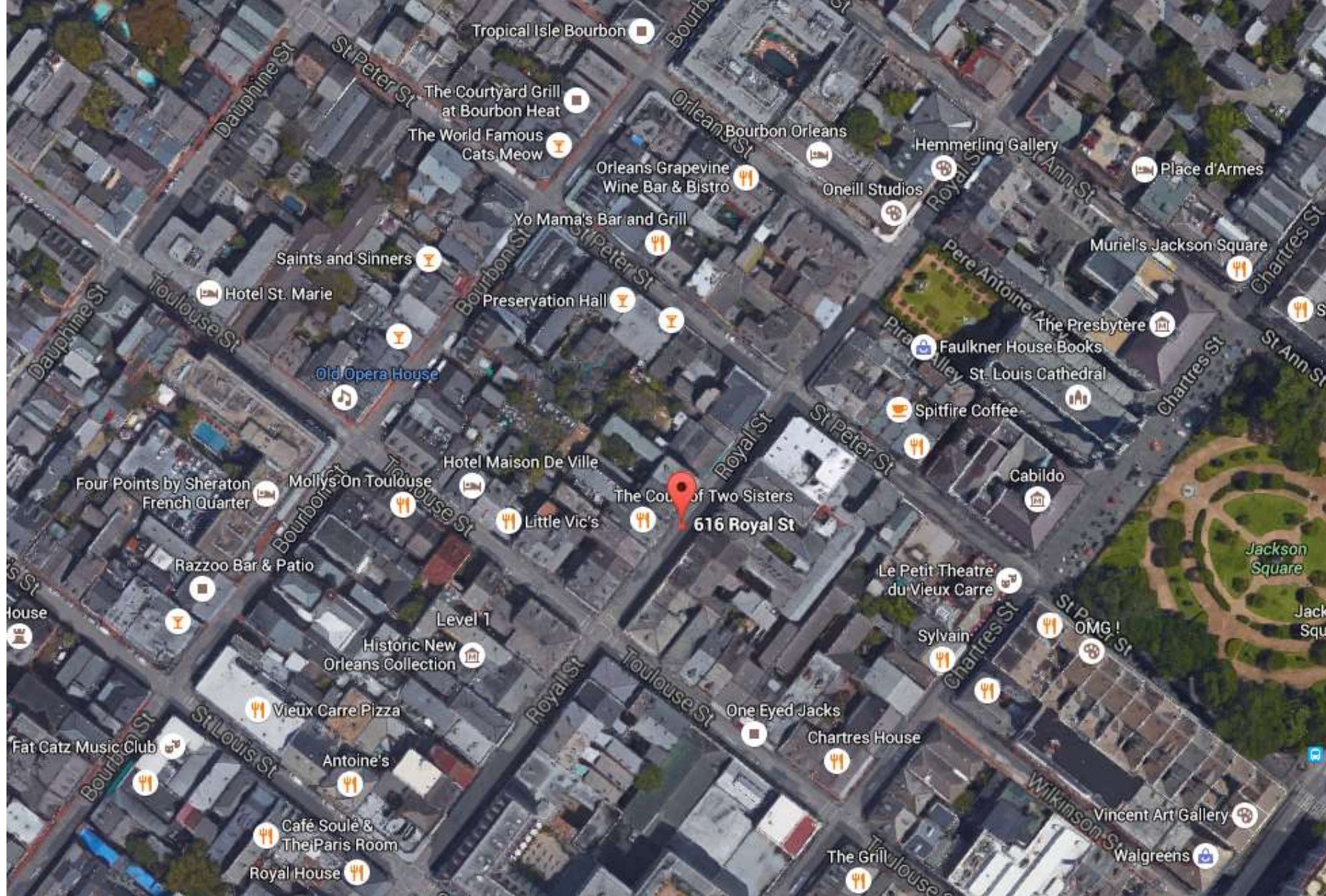
PROJECT NUMBER:	1804
DATE:	05/15/2018
SCALE:	1/4" = 1'-0"

A-4.2





616 Royal

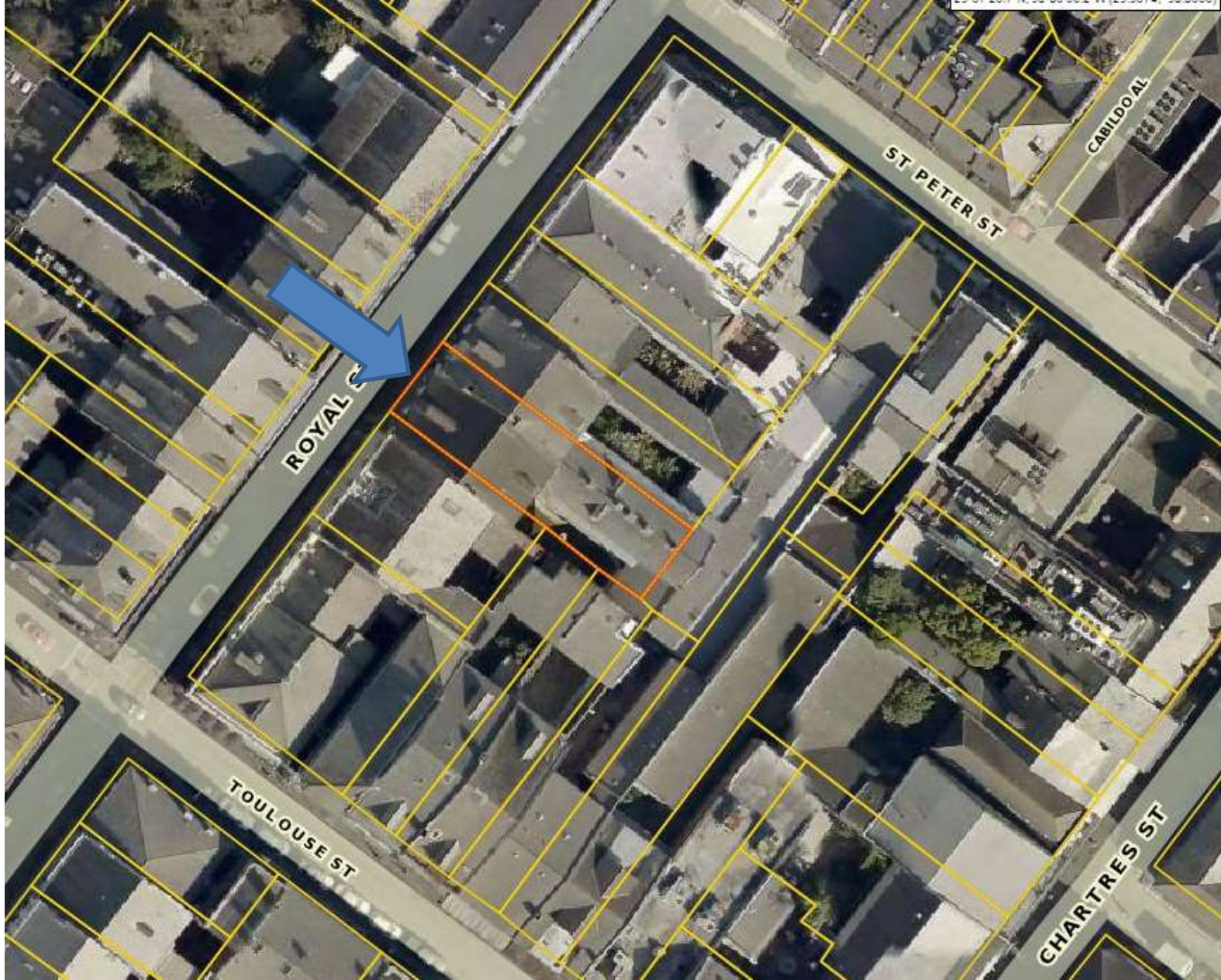


616-618 Royal

VCC Architectural Committee

December 11, 2018





616-618 Royal

VCC Architectural Committee

December 11, 2018





616-618 Royal

VCC Architectural Committee

December 11, 2018





616-618 Royal

VCC Architectural Committee

December 11, 2018



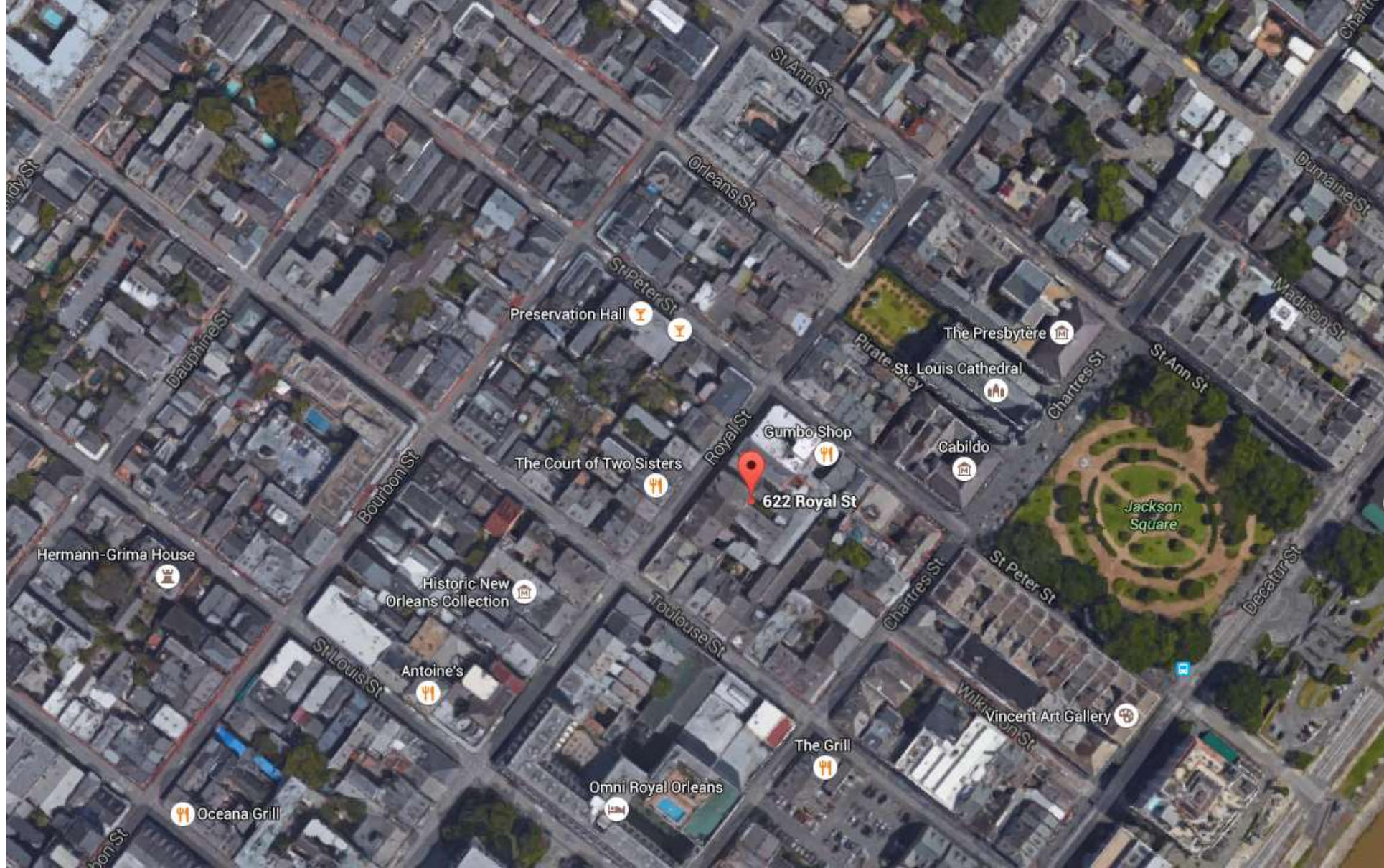


616-618 Royal

VCC Architectural Committee

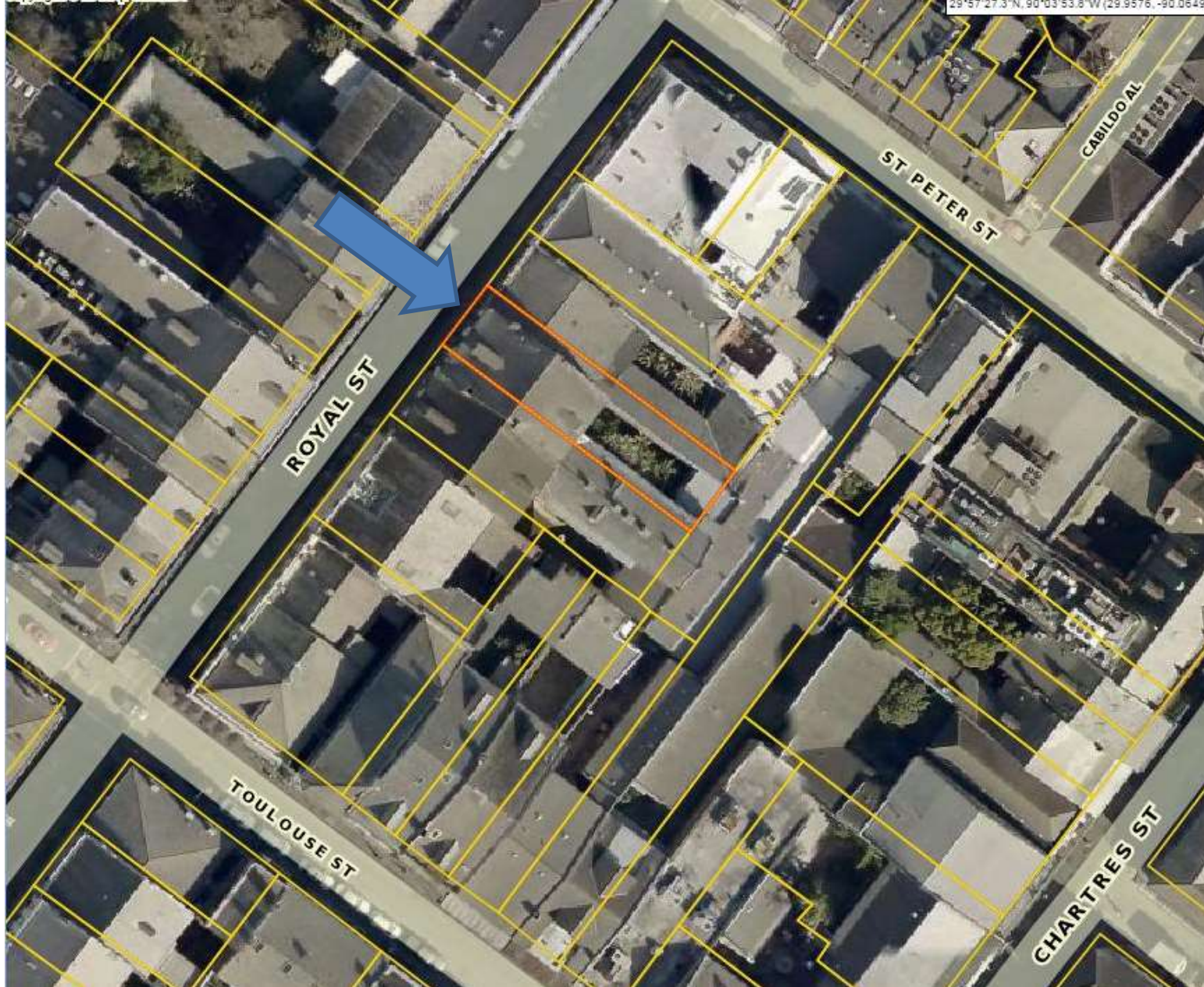
December 11, 2018





622-624 Royal





622-624 Royal

VCC Architectural Committee

December 11, 2018





622-624 Royal

VCC Architectural Committee

December 11, 2018





622-624 Royal

VCC Architectural Committee

December 11, 2018





622-624 Royal

VCC Architectural Committee

December 11, 2018





Type A – 34”h x 12”w x 13”d



Types B and C – 24”h x 13”w x 13”d



616-624 Royal

VCC Architectural Committee

Wall Mounted Bracket

December 11, 2018



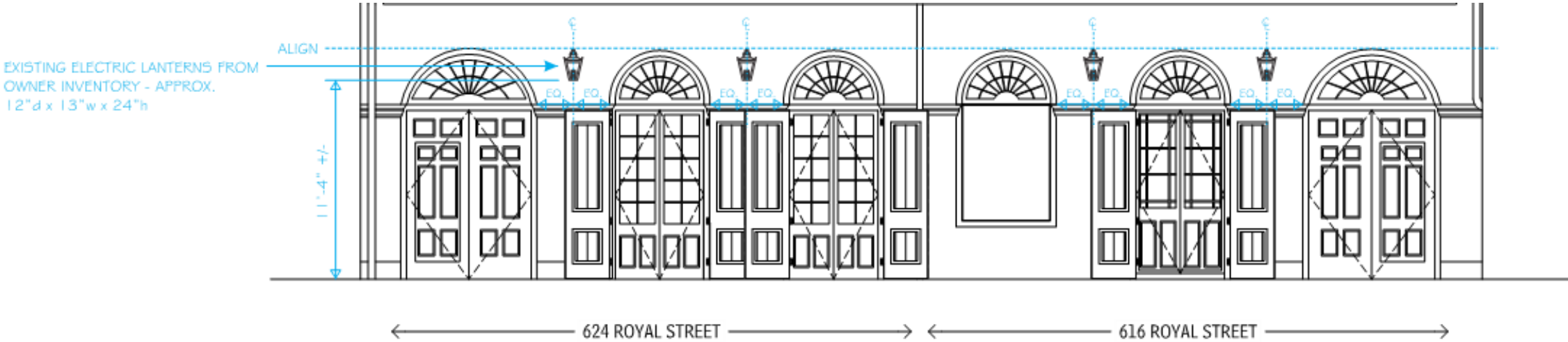


1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

616-624 Royal – Original Proposal

MS RAU ANTIQUES / EXTERIOR LIGHTING ELEVATION / 27 NOVEMBER 2018





1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

MS RAU ANTIQUES / EXTERIOR LIGHTING ELEVATION / 27 NOVEMBER 2018





1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

MS RAU ANTIQUES / EXTERIOR LIGHTING ELEVATION / 27 NOVEMBER 2018

616-624 Royal – Revised Option 1



EXISTING ELECTRIC LANTERNS FROM
OWNER INVENTORY - APPROX.
12"d x 13"w x 24"h



1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"





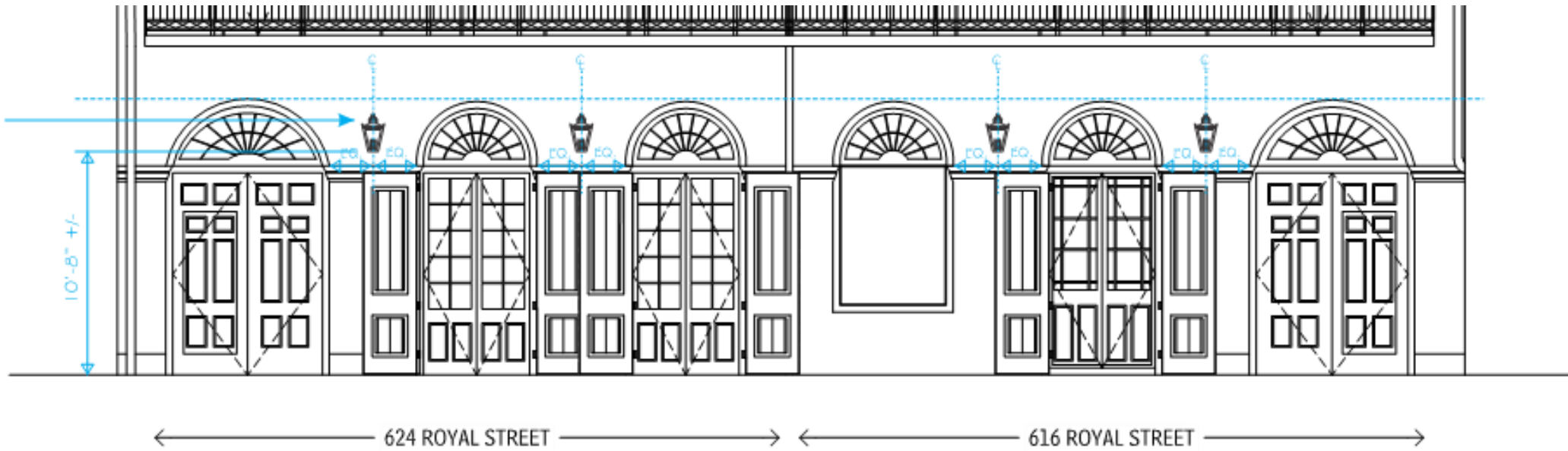
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MS RAU ANTIQUES / EXTERIOR LIGHTING ELEVATION / 27 NOVEMBER 2018

616-624 Royal – Revised Option 2



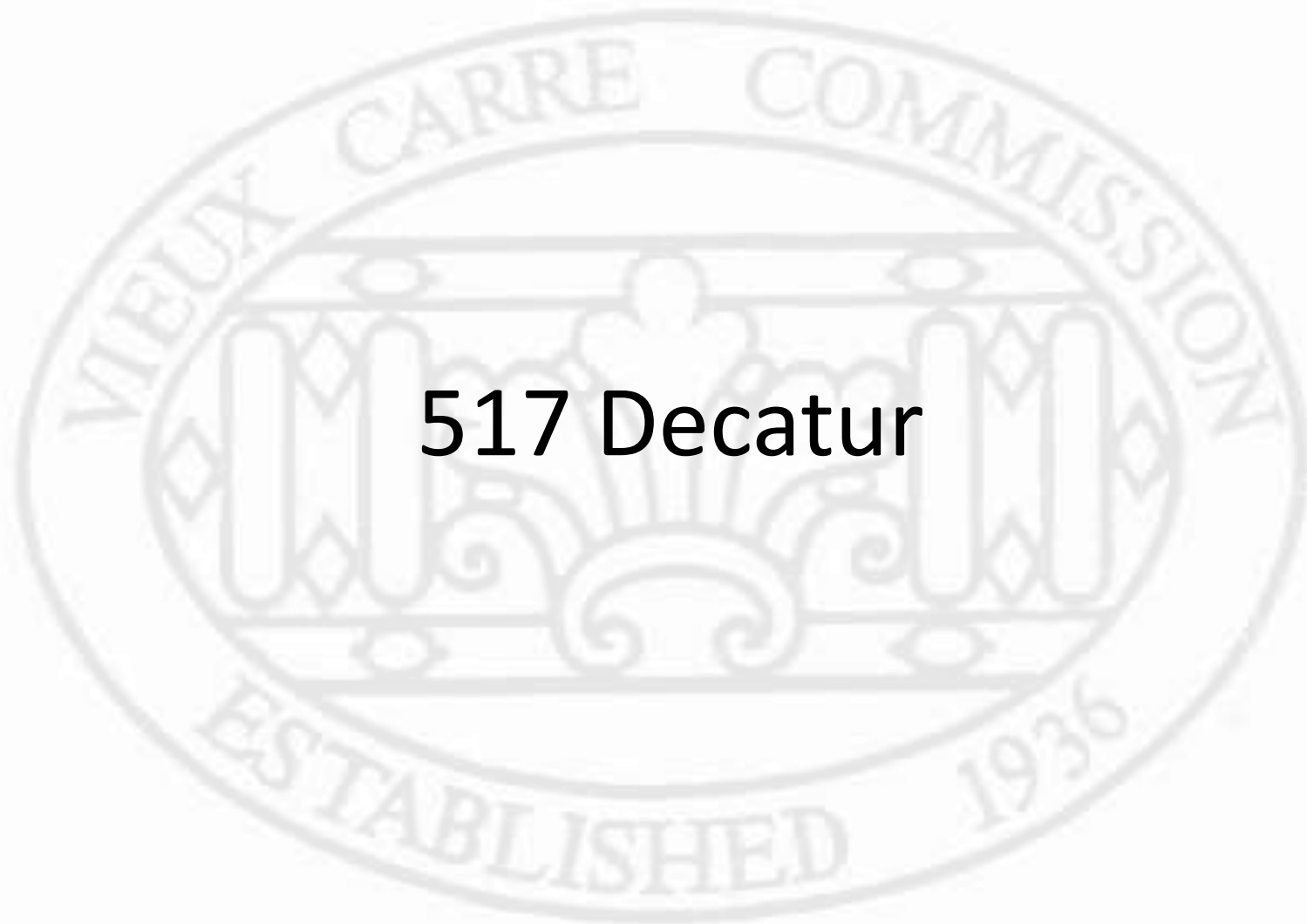
EXISTING ELECTRIC LANTERNS FROM
OWNER INVENTORY - APPROX.
12" d x 13" w x 24" h; CENTER
VERTICALLY ON TRANSOMS



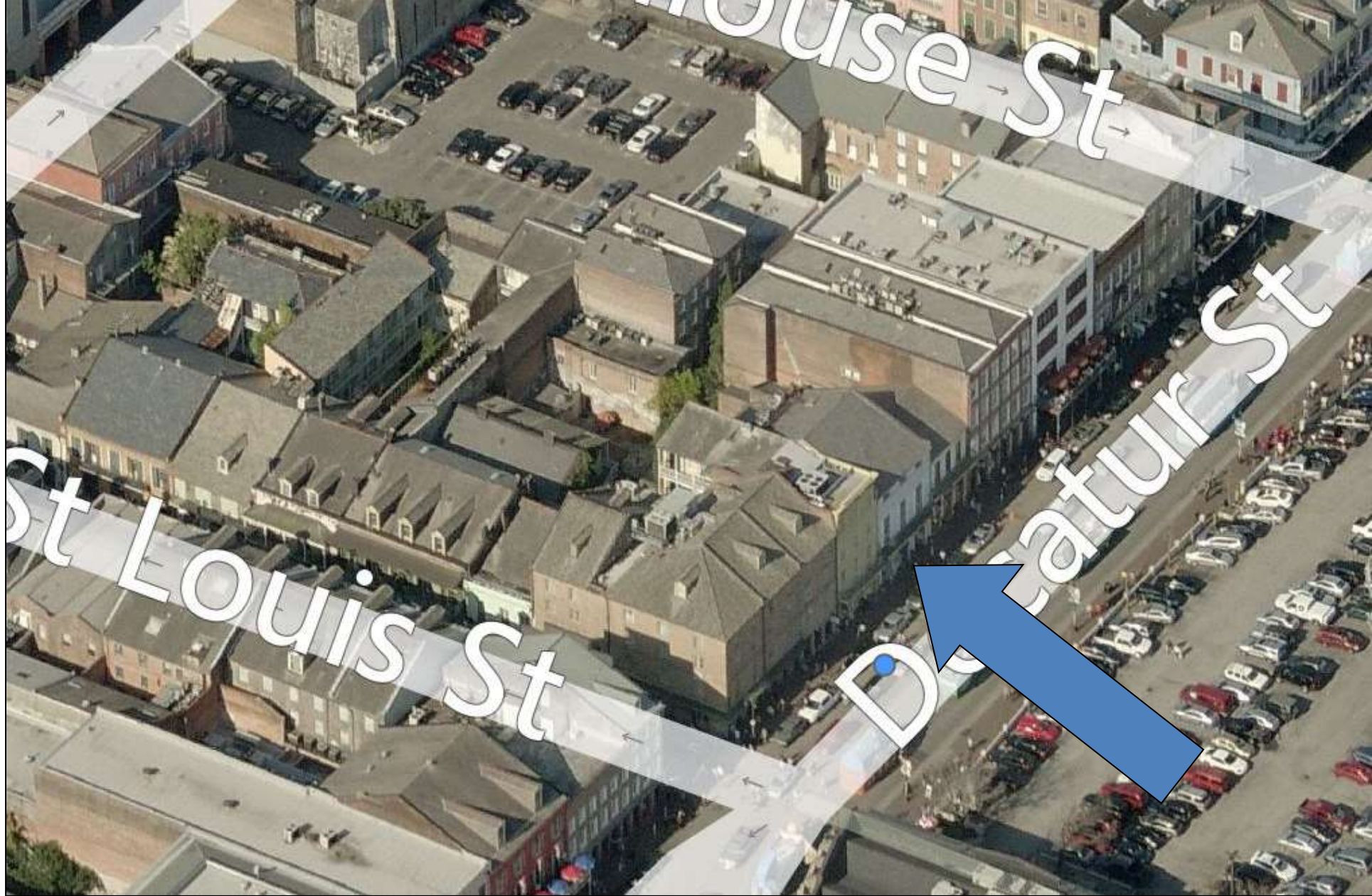
1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

MS RAU ANTIQUES / EXTERIOR LIGHTING ELEVATION / 2



517 Decatur



509, 513 & 517 Decatur





509, 513 & 517 Decatur





509, 513 & 517 Decatur





517 Decatur

VCC Architectural Committee

December 11, 2018





517 Decatur

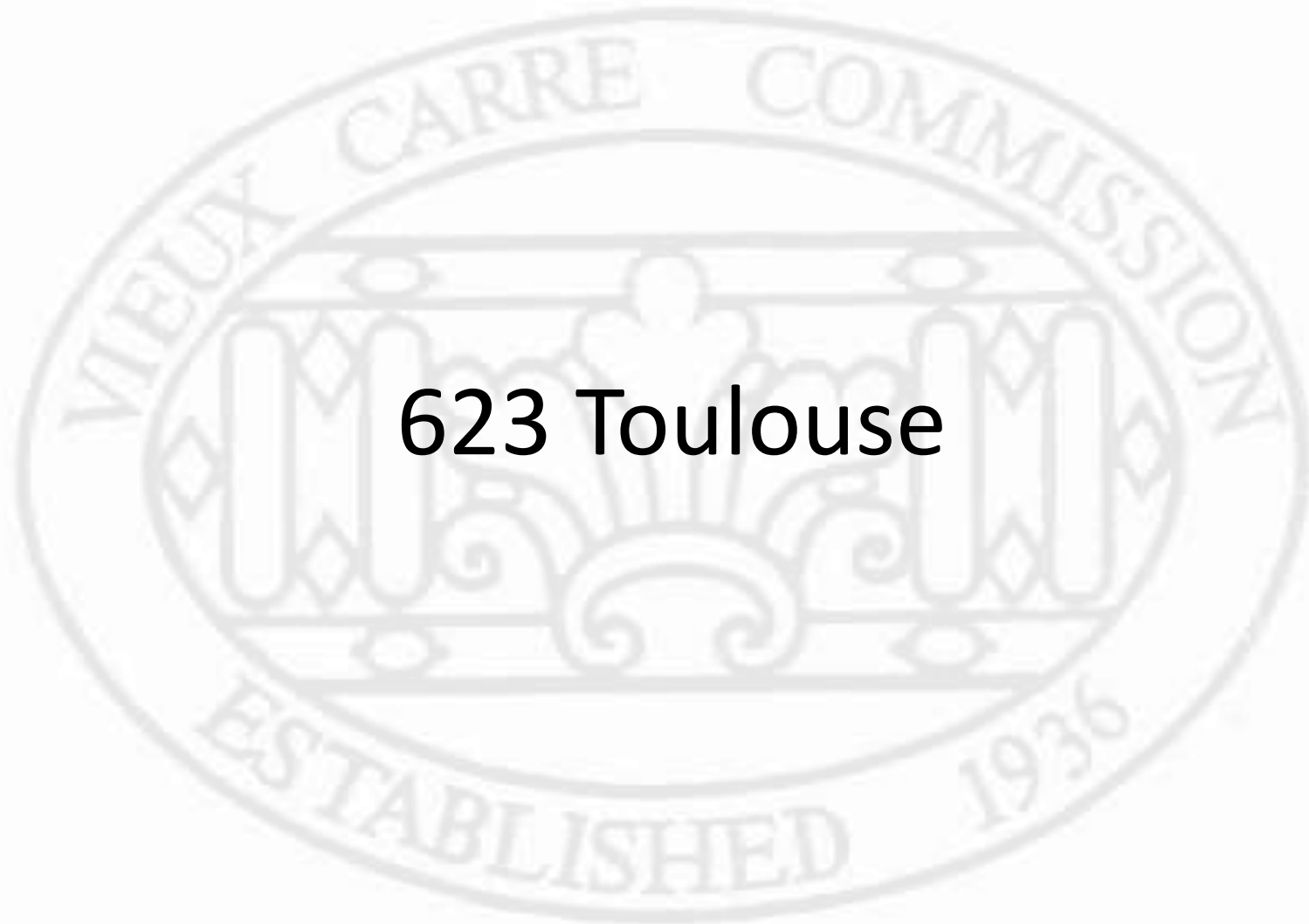
VCC Architectural Committee

December 11, 2018

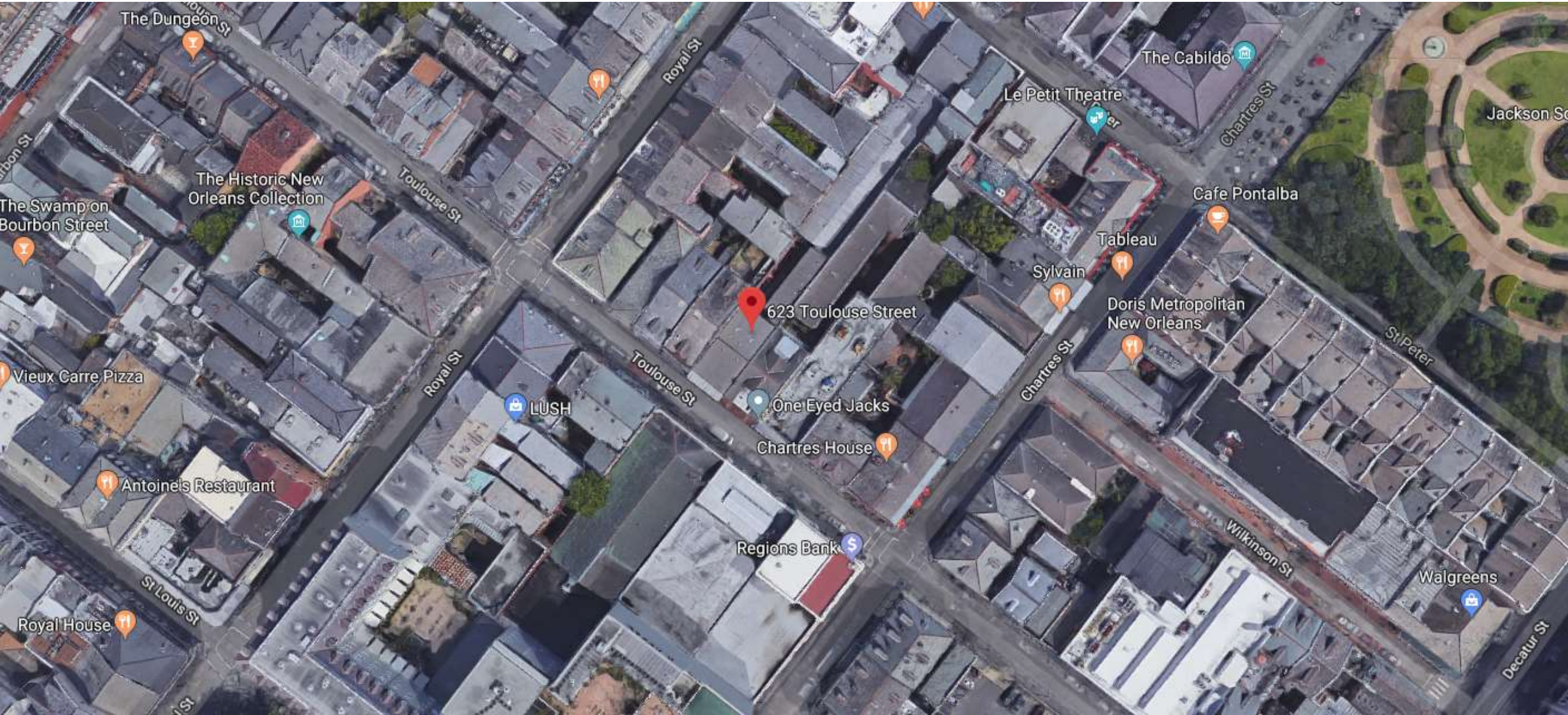




New Business



623 Toulouse



623 Toulouse

VCC Architectural Committee

December 11, 2018



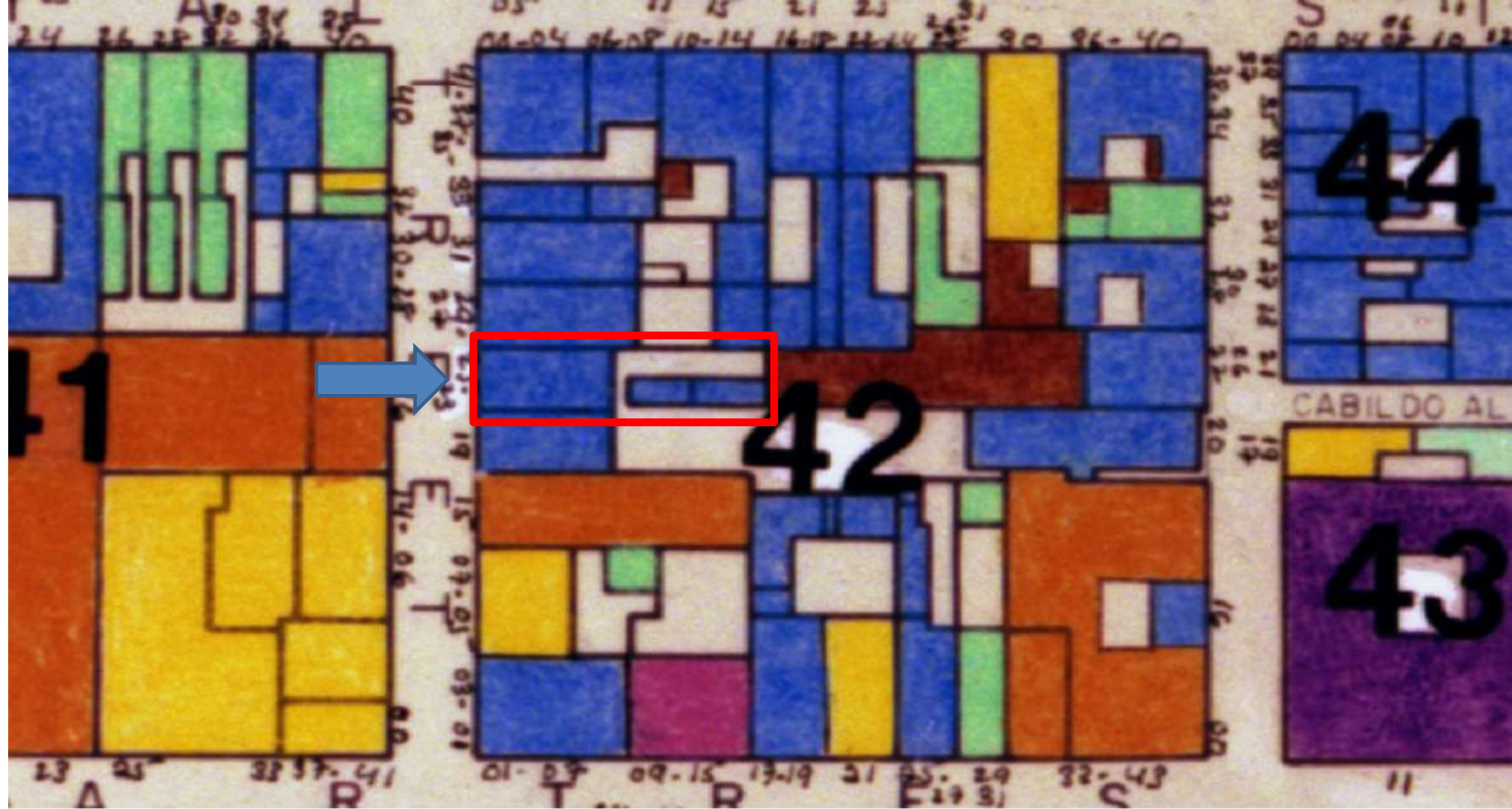


623 Toulouse

VCC Architectural Committee

December 11, 2018





623 Toulouse

VCC Architectural Committee

December 11, 2018





623 Toulouse – ca. 1938

VCC Architectural Committee

December 11, 2018





623 Toulouse

VCC Architectural Committee

December 11, 2018



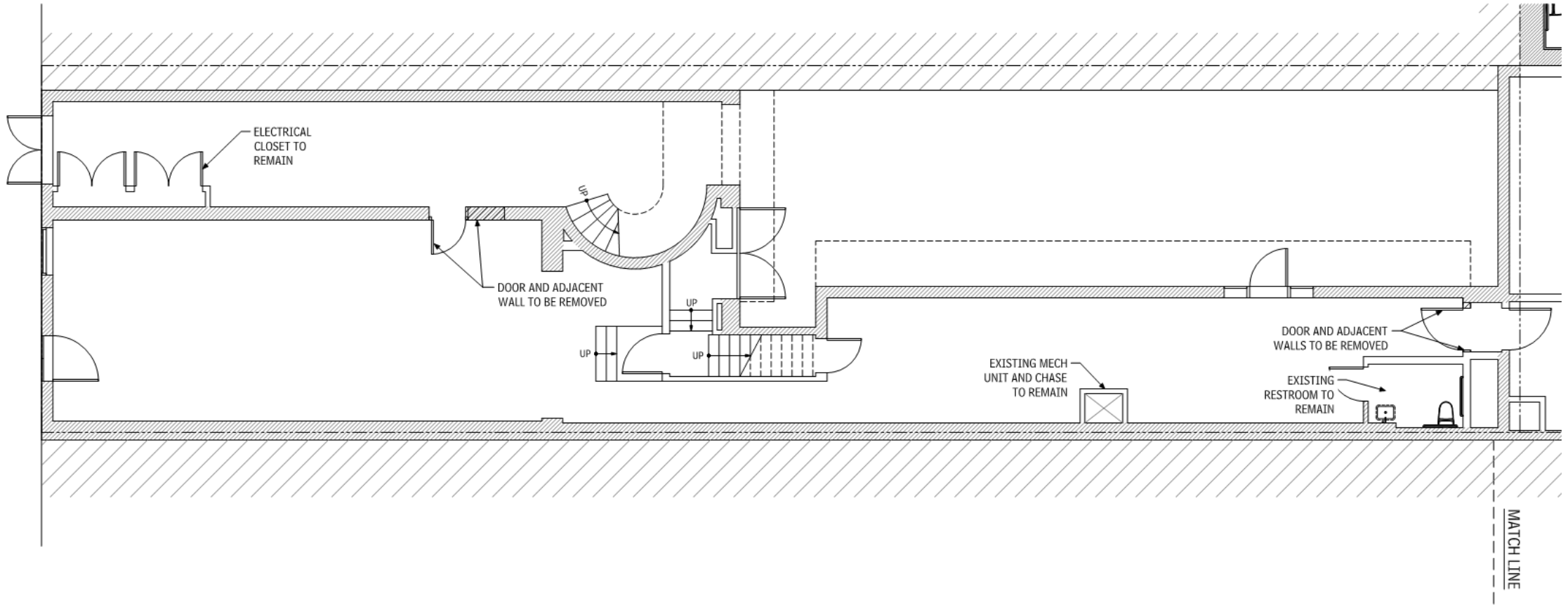


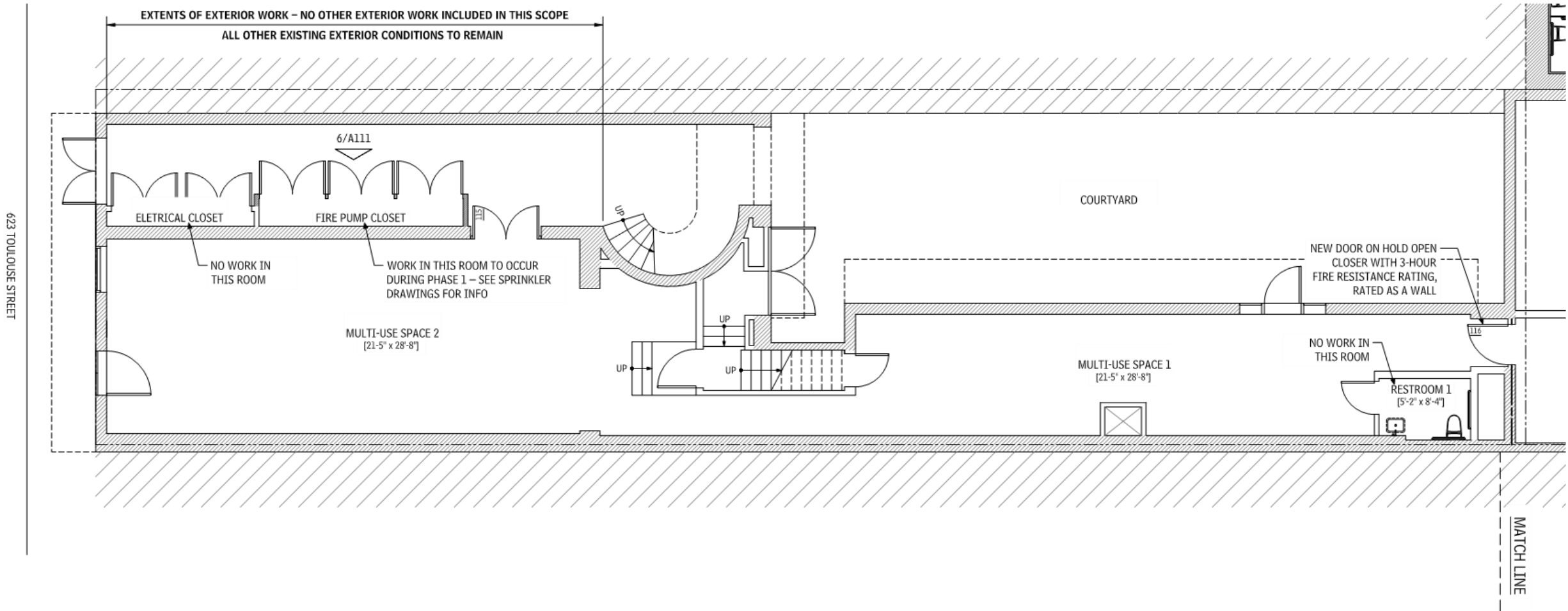
623 Toulouse

VCC Architectural Committee

December 11, 2018









623 Toulouse

VCC Architectural Committee

December 11, 2018





623 Toulouse

VCC Architectural Committee

December 11, 2018



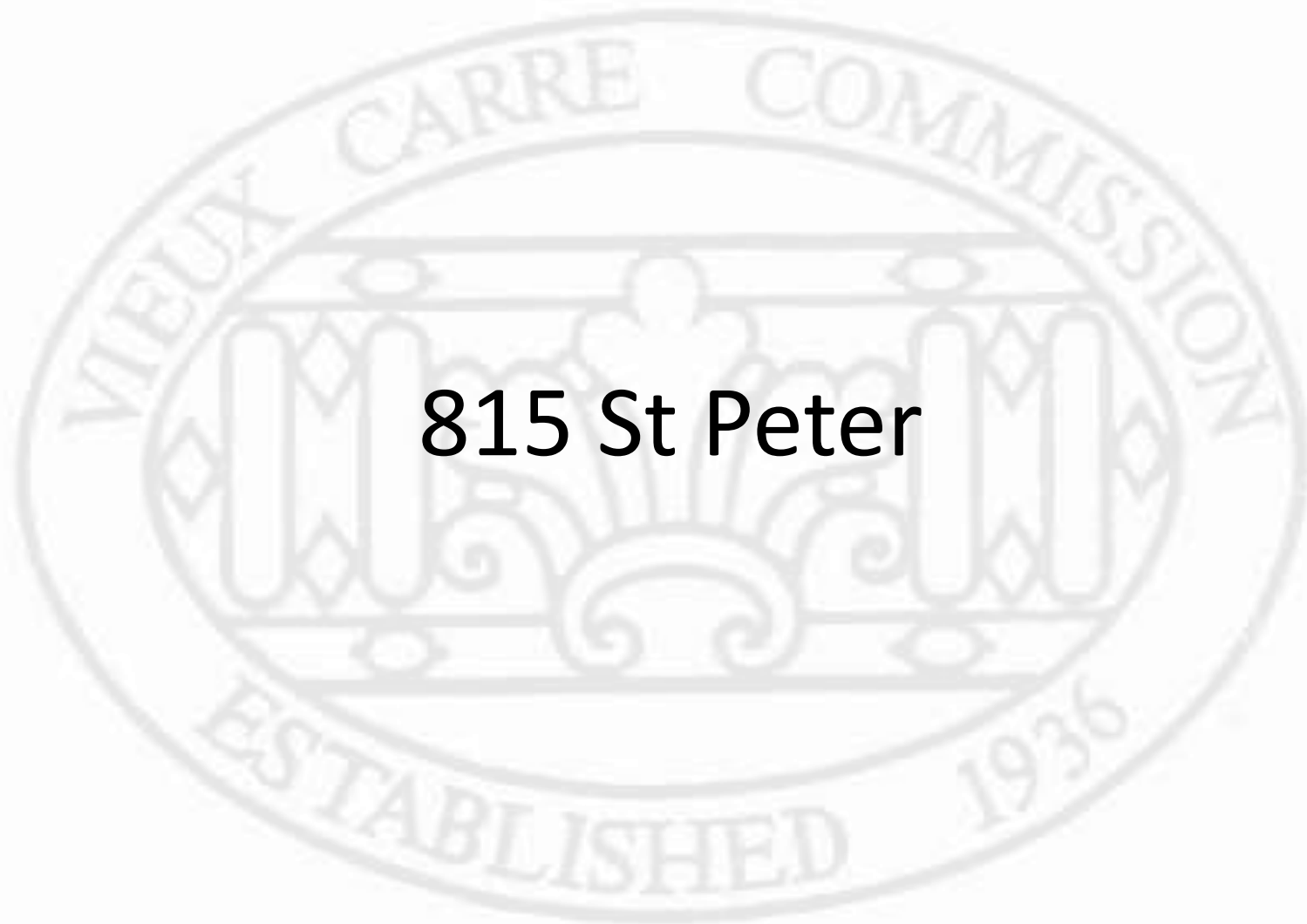


623 Toulouse

VCC Architectural Committee

December 11, 2018





815 St Peter



815 St. Peter

VCC Architectural Committee

December 11, 2018



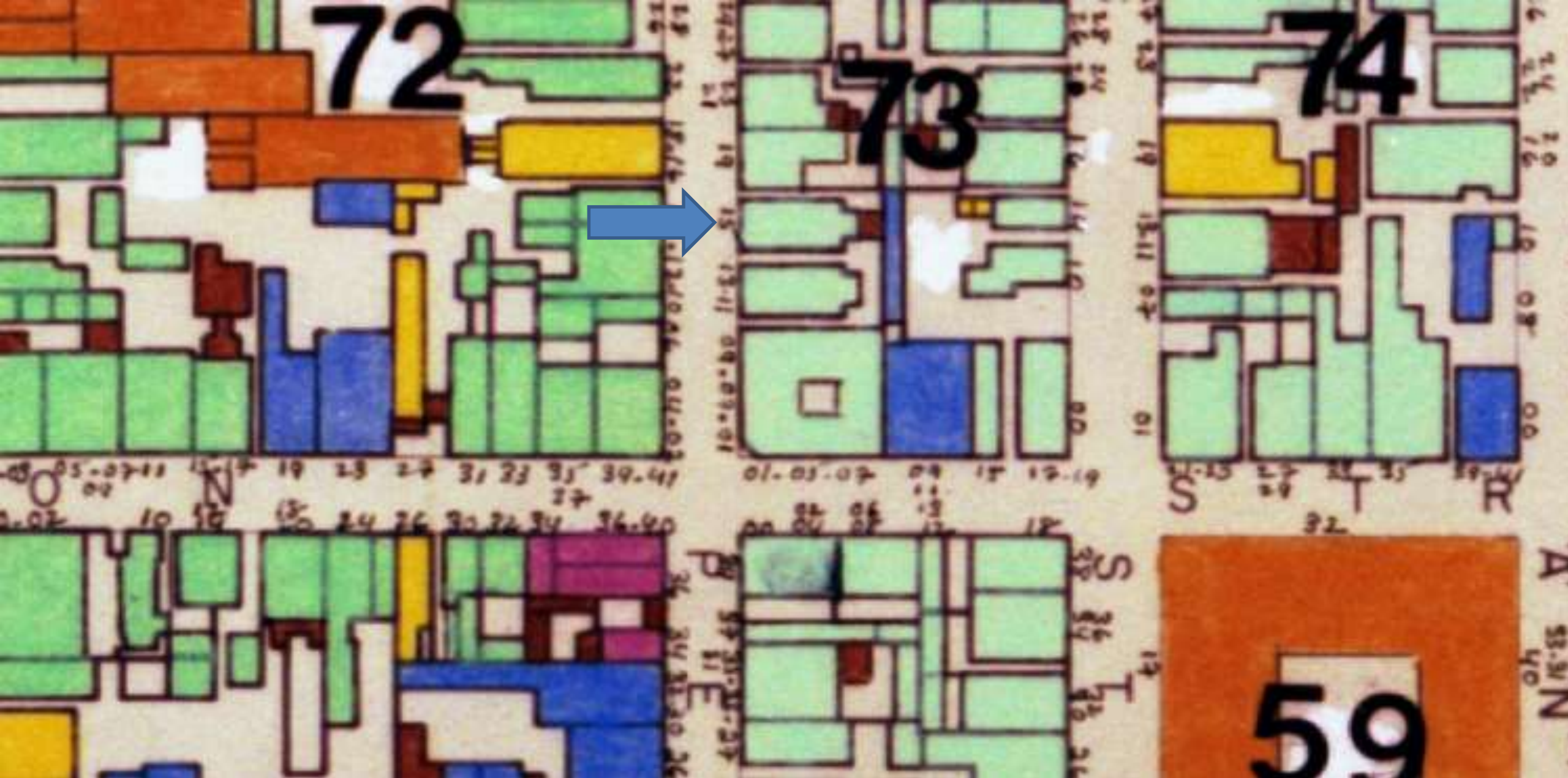


815 St. Peter

VCC Architectural Committee

December 11, 2018





815 St. Peter

VCC Architectural Committee

December 11, 2018





815 St. Peter

VCC Architectural Committee

December 11, 2018





815 St. Peter

VCC Architectural Committee

December 11, 2018



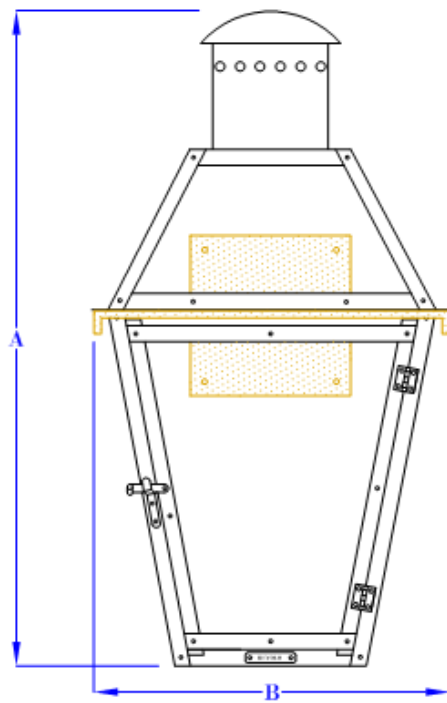


815 St. Peter

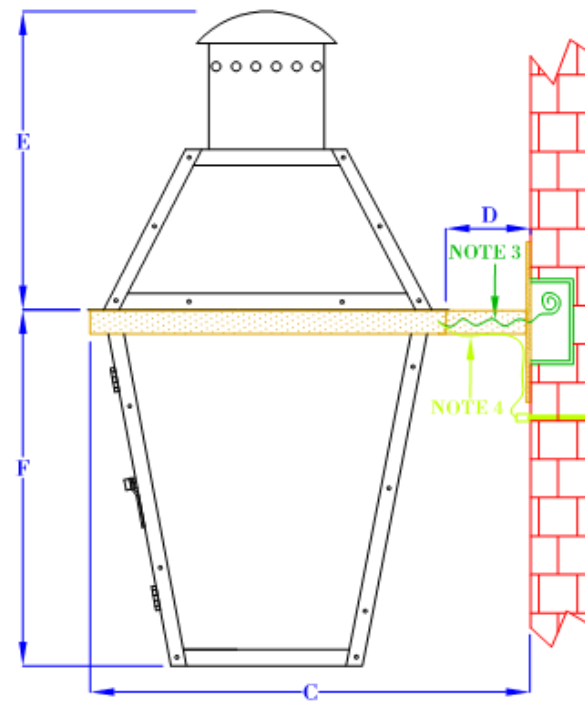
VCC Architectural Committee

December 11, 2018



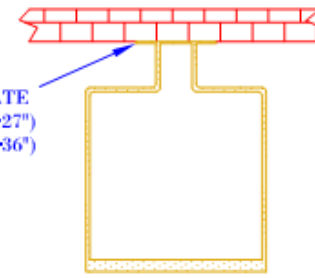


FRONT VIEW
(NTS)



SIDE VIEW
(NTS)

BACK PLATE
5" x 5" (14"-27")
6" x 6" (30"-36")



TOP VIEW
(NTS-BRACKET ONLY)

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{16}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	14"	18"	21"	24"	27"	30"	36"
A:	14 $\frac{1}{4}$ "	17 $\frac{3}{4}$ "	20 $\frac{1}{2}$ "	25 $\frac{1}{4}$ "	26 $\frac{1}{4}$ "	30 $\frac{5}{8}$ "	37"
B:	9 $\frac{1}{4}$ "	10 $\frac{1}{2}$ "	11 $\frac{1}{2}$ "	13 $\frac{1}{4}$ "	14 $\frac{1}{2}$ "	17 $\frac{1}{2}$ "	21 $\frac{1}{2}$ "
C:	11 $\frac{3}{4}$ "	13"	14"	15 $\frac{3}{4}$ "	17"	20"	24"
D:	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "
E:	6 $\frac{1}{4}$ "	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{1}{2}$ "	17 $\frac{3}{8}$ "
F:	8"	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "	14 $\frac{3}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{5}{8}$ "

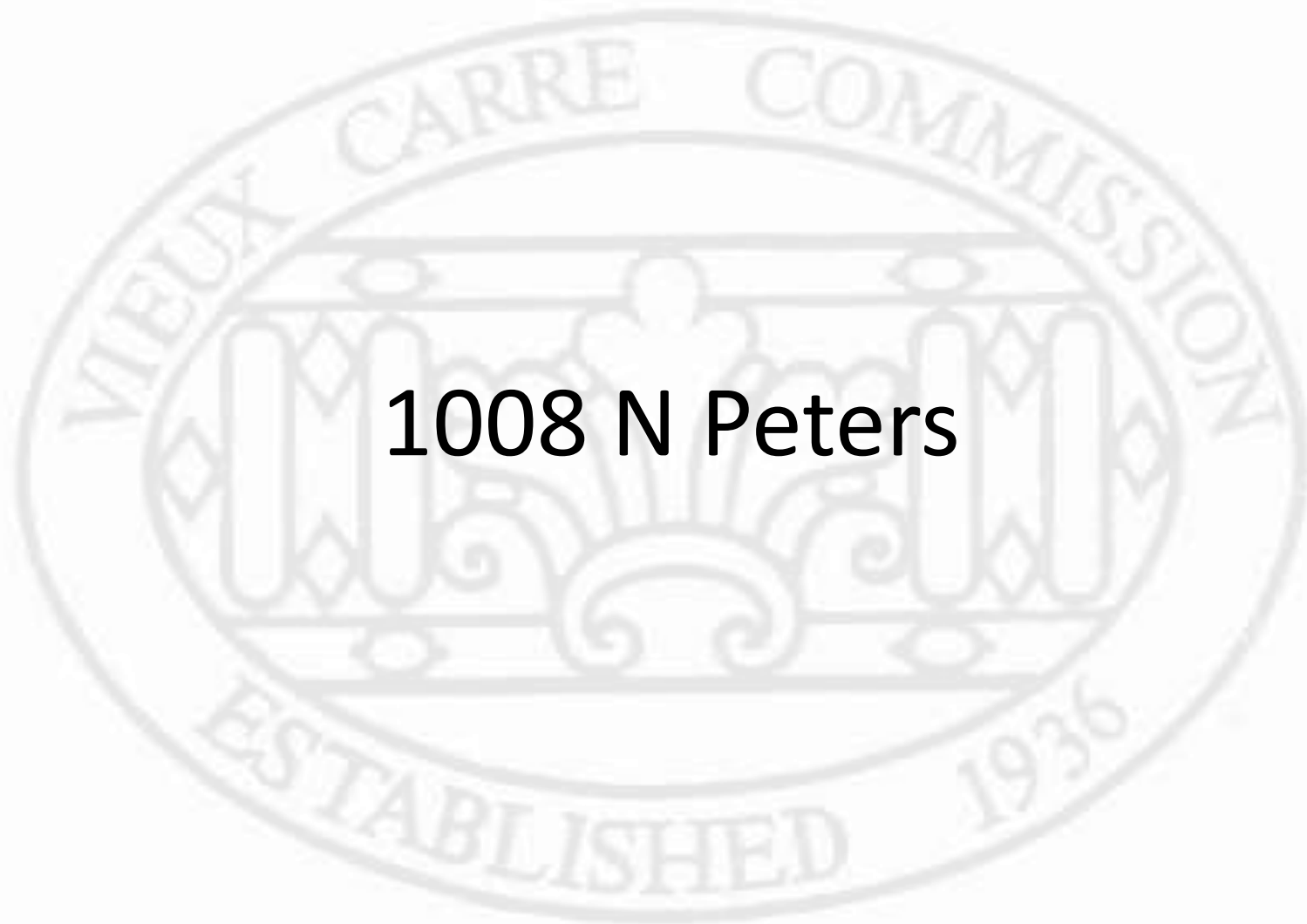
BEVOLO GAS & ELECTRIC LIGHTS

LIGHT:	FRENCH QUARTER
BRACKET:	ORIGINAL BRACKET MOUNT

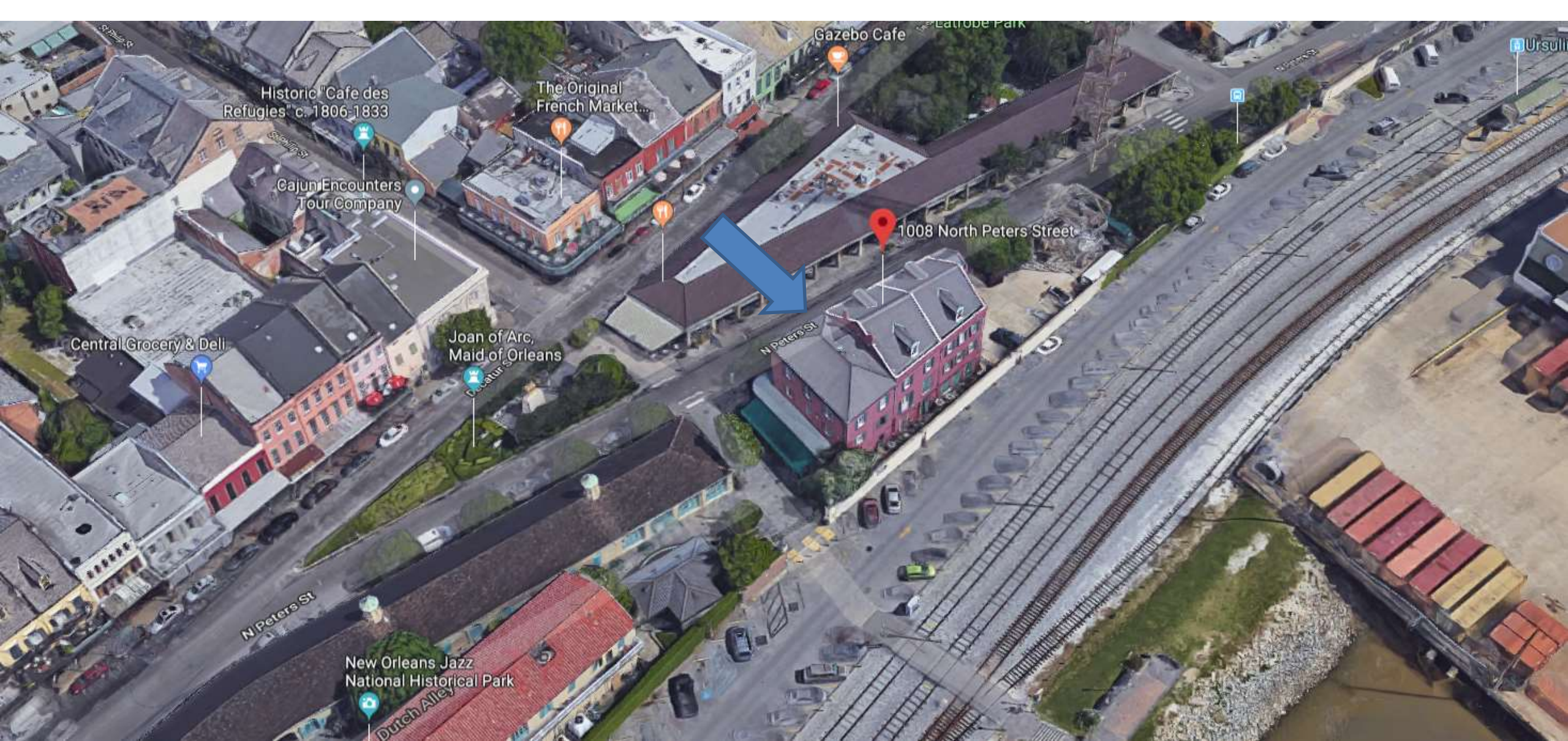
DRW BY:	JJG
DATE:	7-28-14
APP. BY:	MAJ
REVISION:	4

COPYRIGHT 2009, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.





1008 N Peters

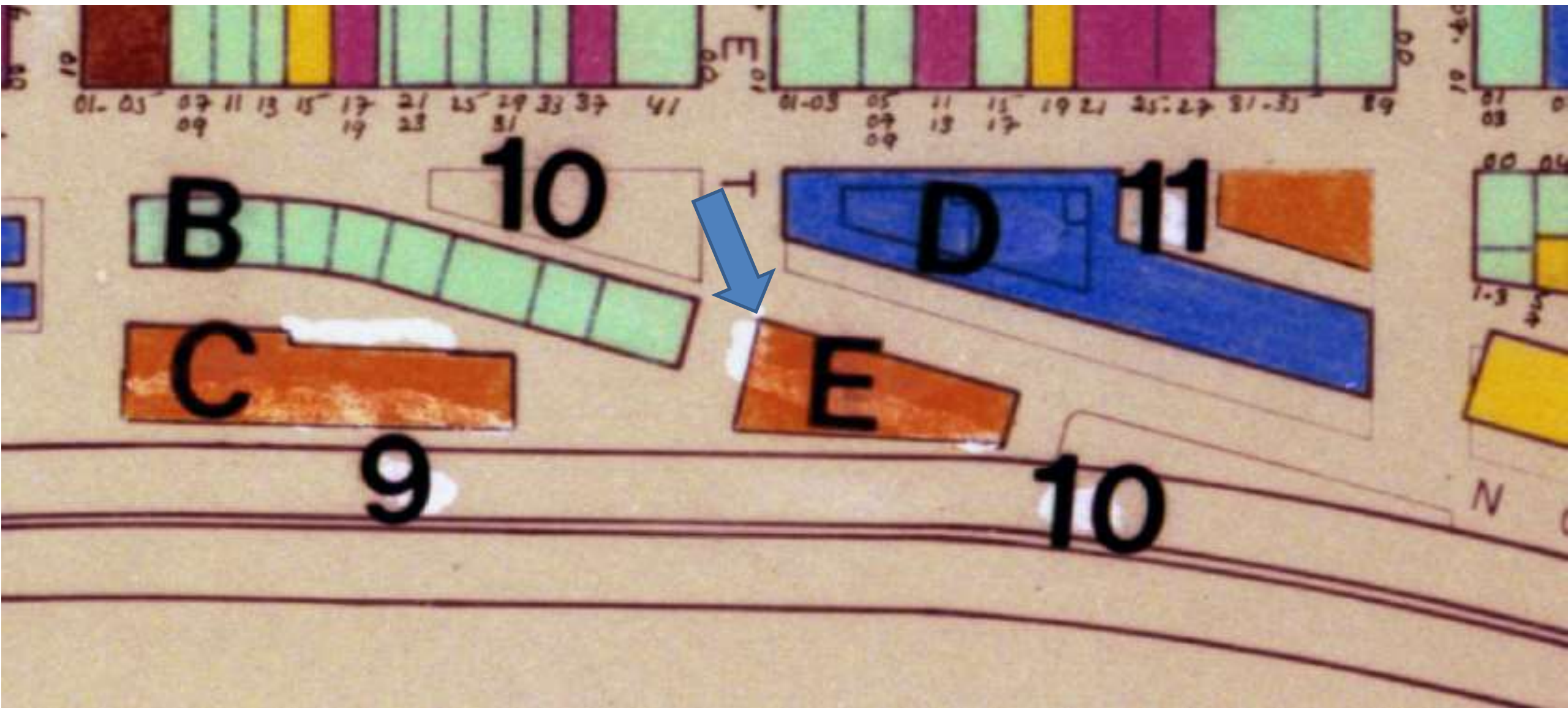


1008 N Peters Street

VCC Architectural Committee

December 11, 2018





1008 N Peters Street

VCC Architectural Committee

December 11, 2018





1008 N Peters Street

VCC Architectural Committee

December 11, 2018





1008 N Peters Street

VCC Architectural Committee

December 11, 2018



FRENCH MARKET BUILDING 'E' RENOVATIONS

Building Information

Project Address

1008 N. Peters St.
New Orleans, Louisiana 70118

Zoning Classification

VCC-1 - New Carls District

Gross Building Area

First Floor	380 sq. ft.
Second Floor	7,207 sq. ft.
Third Floor	450 sq. ft.
Total	7,937 sq. ft.

Construction Type

Renovation: Type III As Per IRC 2015 Edition

Occupancy Type

Mixed Use
RESIDENTIAL
SYSTEMS GROUP B
MERCANTILE GROUP M

Fire Protection

Building is to be Fully Sprinklered
in accordance with NFPA-13 (Latest Edition)

Directory

Architect:

Trapolin+Peer Architects
880 Tchoupoula Street
New Orleans, LA 70118
P: 504-523-2772
Contact:
Gene Quilty, Project Architect
gquilty@trapolinpeer.com

Owner:

French Market Corporation
1008 N. Peters St.
New Orleans, Louisiana 70118
504-522-2621
Contact:
Kathleen Turner
kturner@frenchmarket.org

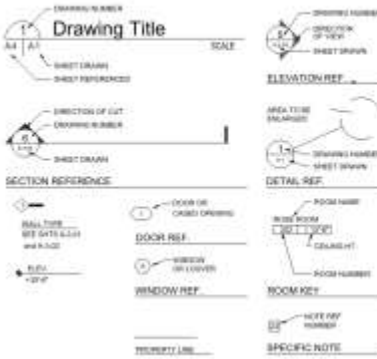
Mech./Elec./Plumbing:

Luckin T. Vinton, Jr. & Associates Inc.
3001 22nd Street
Metairie, Louisiana 70002
504-216-5408
Contact: David Vinton
dvinton@lvtvintons.com

Structural:

Healds Engineering
3500 N. Causeway Blvd, Suite 1100
Metairie, Louisiana 70002
504-648-1743
Contact: James Heald
jheald@healdseng.com

Architectural Symbols



ABBREVIATIONS	DESCRIPTION
AC	As Constructed
AD	As Drawn
AS	As Specified
AW	As Warranted
CC	Contractor's Choice
CD	Contractor's Design
CE	Contractor's Estimate
CF	Contractor's Fabrication
CG	Contractor's General
CH	Contractor's Hardware
CI	Contractor's Installation
CJ	Contractor's Joinery
CK	Contractor's Kitchen
CL	Contractor's Lumber
CM	Contractor's Masonry
CN	Contractor's Nails
CO	Contractor's Oil
CP	Contractor's Paint
CQ	Contractor's Plaster
CR	Contractor's Roofing
CS	Contractor's Scaffolding
CT	Contractor's Tiling
CU	Contractor's Utilities
CV	Contractor's Valves
CW	Contractor's Windows
CX	Contractor's Woodwork
CY	Contractor's Yards
CZ	Contractor's Zoning

General Construction Notes

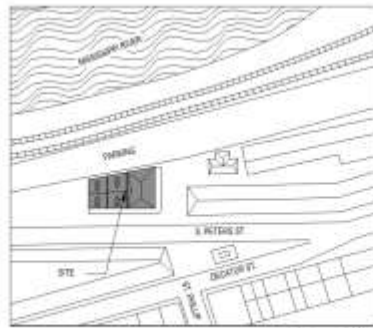
- The general contractor is responsible to supply all subcontractors with construction drawings and specifications necessary to bid and/or construct the project.
- All contractors are responsible for notifying the architect of any errors, omissions, or discrepancies prior to issuing any changes to the construction drawings. Should a discrepancy or discrepancy occur, the contractor shall notify the architect immediately. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- The contractor shall bid the job as to be working in accordance with the job conditions and shall carefully study all drawings and specifications pertaining to the work. If any of the work is not to be installed, or specified in accordance with any local, state, or national codes or regulations, the same shall be reported to the architect before submitting the bid. If no such report is made, the work shall be reported to the architect at the contractor's expense.
- When no specified detail is shown, the contractor shall be prior to the bid to be noted or noted for specific conditions and types of construction on this project. References to notes and details to specifications and conditions shall not be their applicability.
- All work shall conform to the current building code, and all applicable local, state, regulations, and ordinances or governing authority. In case of conflict, the local authority shall govern.
- The contractor shall obtain and pay for all required permits, arrange for all required inspections, temporary detentions, temporary events, and work removal.
- In all cases drawings, Contractor shall verify all conditions and dimensions at job site. If any discrepancies are found, the architect shall be notified immediately for clarification.
- General contractor shall be responsible for specifications and coordination of subcontractors work to meet compliance to drawings and specifications.
- All inclusive components shall comply with ICC-703A guidelines (2015 updated) (latest edition).
- Plan completion reference: The field is indicated by a north arrow shown on the plan.
- Reference of actual existing site conditions from the field notes or these drawings may occur. The general contractor shall verify existing conditions prior to commencing work and report any and all discrepancies to the architect.
- Contractor shall provide security fence around construction site for duration of the project. Fenced plan to be submitted for review and approval prior to start of construction.

Index of Sheets

NO.	DESCRIPTION
ARCHITECTURAL	
A-0.00	INDEX, SYMBOLS & LOCATION MAP
A-1.00	SITE PLAN
A-1.01	1ST & 2ND FLOOR DEMOLITION PLAN
A-1.01.1	THIRD FLOOR DEMOLITION PLAN
A-2.01A	FIRST FLOOR PLAN
A-2.01B	FIRST FLOOR RCP
A-2.02A	SECOND FLOOR PLAN
A-2.02B	SECOND FLOOR RCP
A-2.03A	THIRD FLOOR PLAN
A-2.01	PARTITION DETAILS
A-3.01	FIRST SCHEDULES
A-3.02	DOOR SCHEDULES & DETAILS
A-3.03.1	DOOR & SHUTTER DETAILS
A-3.04	WINDOW SCHEDULES & DETAILS
A-3.05.1	WINDOW FLASHING DETAILS
A-3.05	DETAILS
A-3.06	RESTROOM DETAILS
A-3.00	EXTERIOR ELEVATIONS AND EXISTING PHOTOS
A-3.01	EXTERIOR ELEVATIONS AND EXISTING PHOTOS
A-3.01	BUILDING SECTIONS
A-3.02	WALLING SECTION
A-3.01	FIRST FLOOR INTERIOR ELEVATIONS
A-3.02	FIRST FLOOR INTERIOR ELEVATIONS
STRUCTURAL	
S-1.0	GENERAL NOTES
S-1.1	FOUNDATION PLAN & SECTION
S-2.0	SECOND FLOOR FRAMING PLAN, SECTION, & DETAILS
S-2.1	THIRD FLOOR FRAMING PLAN, SECTION, & DETAILS
MECHANICAL	
M-0.01	1ST, 2ND & 3RD FLOOR DEMOLITION PLANS
M-1.01	FIRST FLOOR PLAN - MECHANICAL
M-1.02	FIRST FLOOR PLAN - REFRIGERANT PIPING
M-1.03	SECOND FLOOR PLAN - MECHANICAL
M-2.01	MECHANICAL SCHEDULES
PLUMBING	
P-0.01	1ST, 2ND & 3RD FLOOR - DEMOLITION PLAN - PLUMB
P-1.01	FIRST FLOOR PLAN - PLUMBING
P-1.02	SECOND FLOOR PLAN - PLUMBING
P-2.01	PLUMBING SCHEDULES
ELECTRICAL	
E-0.01	1ST, 2ND & 3RD FLOOR DEMOLITION PLANS
E-1.01	FIRST FLOOR PLAN - LIGHTING
E-1.02	SECOND FLOOR PLAN - LIGHTING
E-1.03	THIRD FLOOR PLAN - LIGHTING
E-2.01	FIRST FLOOR PLAN - POWER
E-2.02	SECOND FLOOR PLAN - POWER
E-2.03	THIRD FLOOR PLAN - POWER
E-3.01	FIRST FLOOR PLAN - SPECIAL SYSTEMS
E-3.02	SECOND FLOOR PLAN - SPECIAL SYSTEMS
E-3.03	THIRD FLOOR PLAN - SPECIAL SYSTEMS
E-4.01	ELECTRICAL SCHEDULES AND DETAILS



Vicinity Map



Location Map



Exterior View

French Market Building 'E'
 Renovations
 1008 N. Peters Street #3, New Orleans, Louisiana
TRAPOLIN+PEER ARCHITECTS
architects.com/peers-trapolin/

French Market Corporation
1008 N. Peters St. #3
New Orleans, Louisiana 70118
T: (504) 522-2621

CONSULTANT NAME
Address 1
Address 2
T: (504) 522-2621

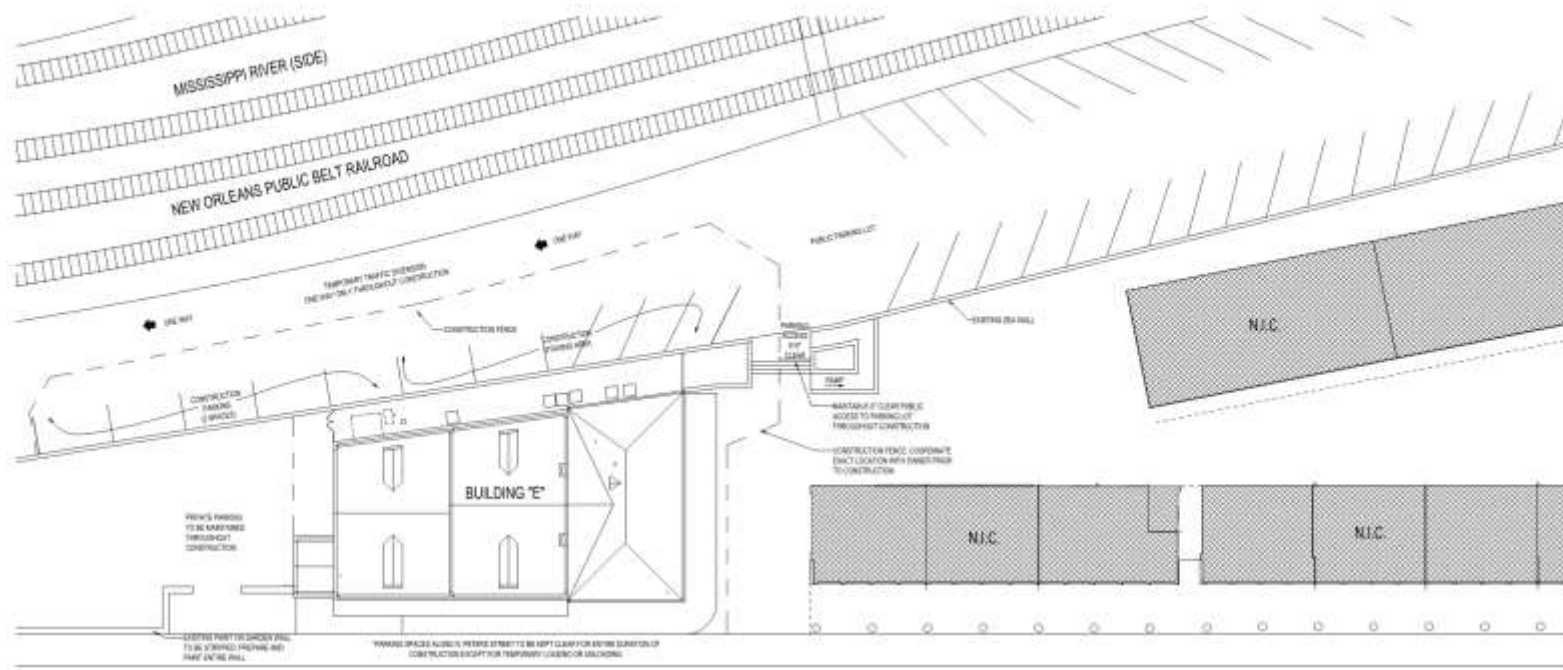


Project Number: 20170023
Sheet No: 001
Contract No: PT-100
11/09/2018

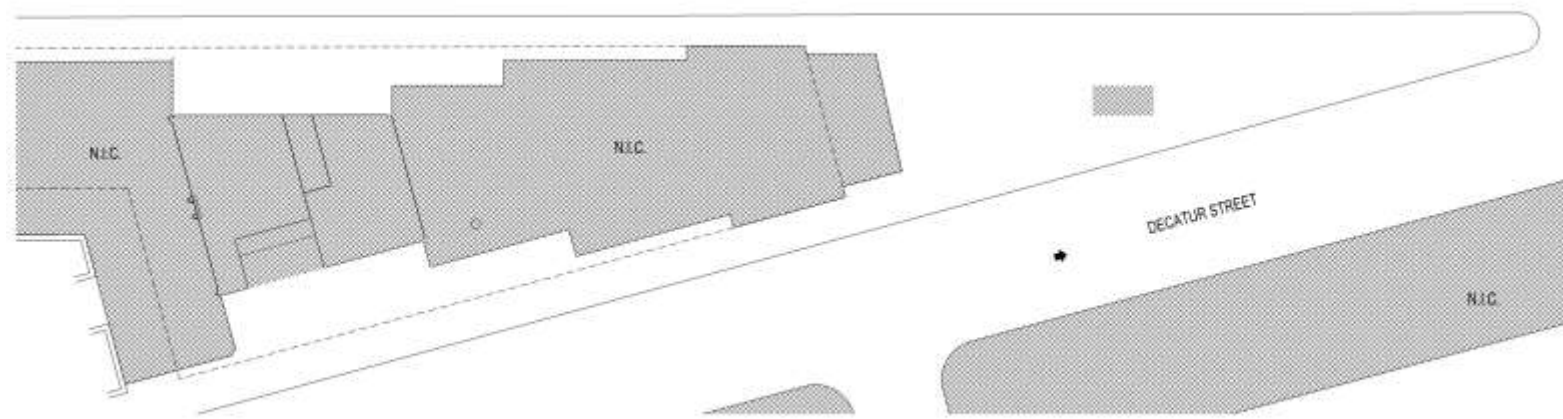
INDEX, SYMBOLS & LOCATION MAP

A-0.00





N. PETERS STREET



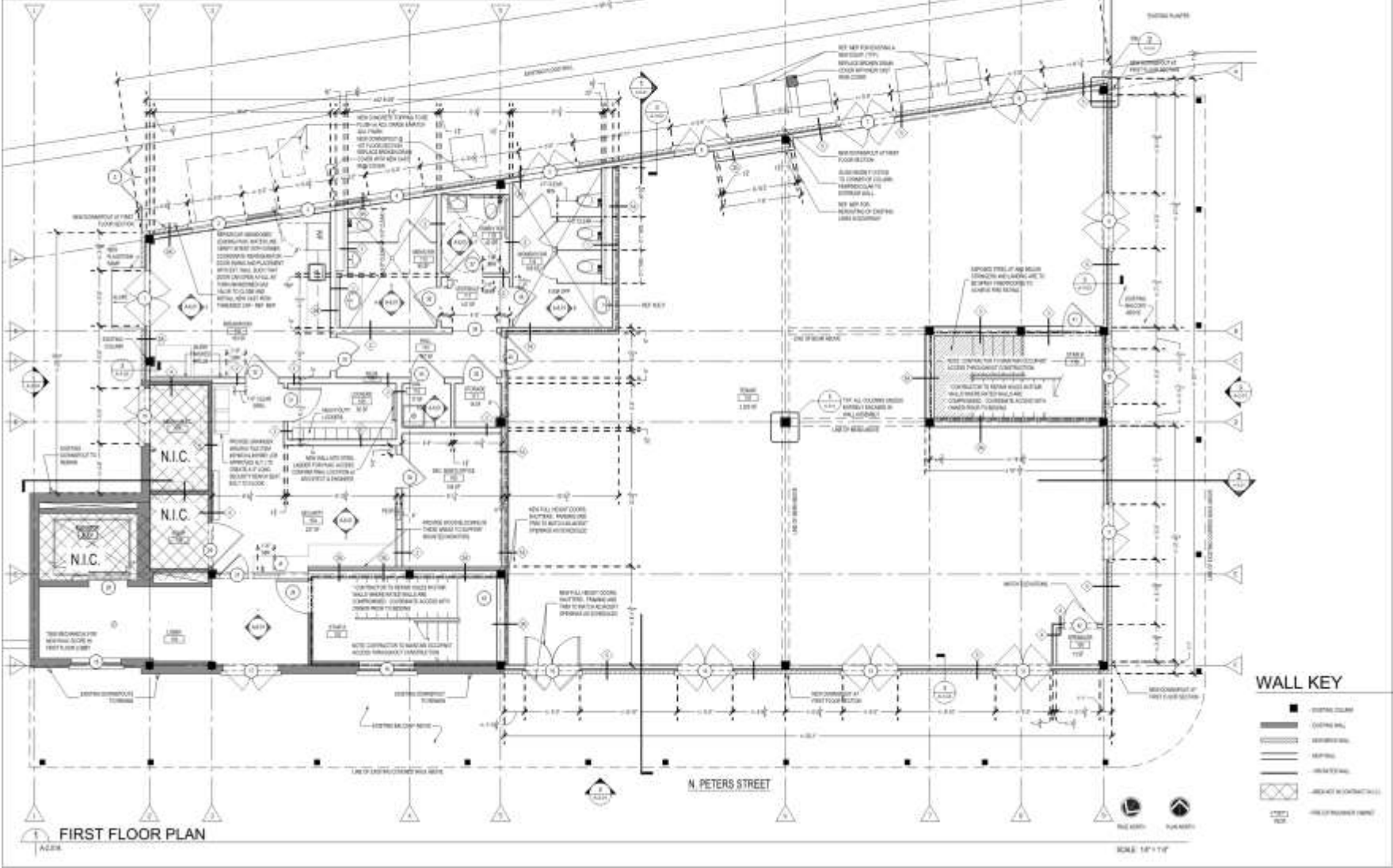
SITE PLAN - CONSTRUCTION STAGING

SCALE: 1/8" = 1'-0"



KEY NOTES: SEE GENERAL NOTES

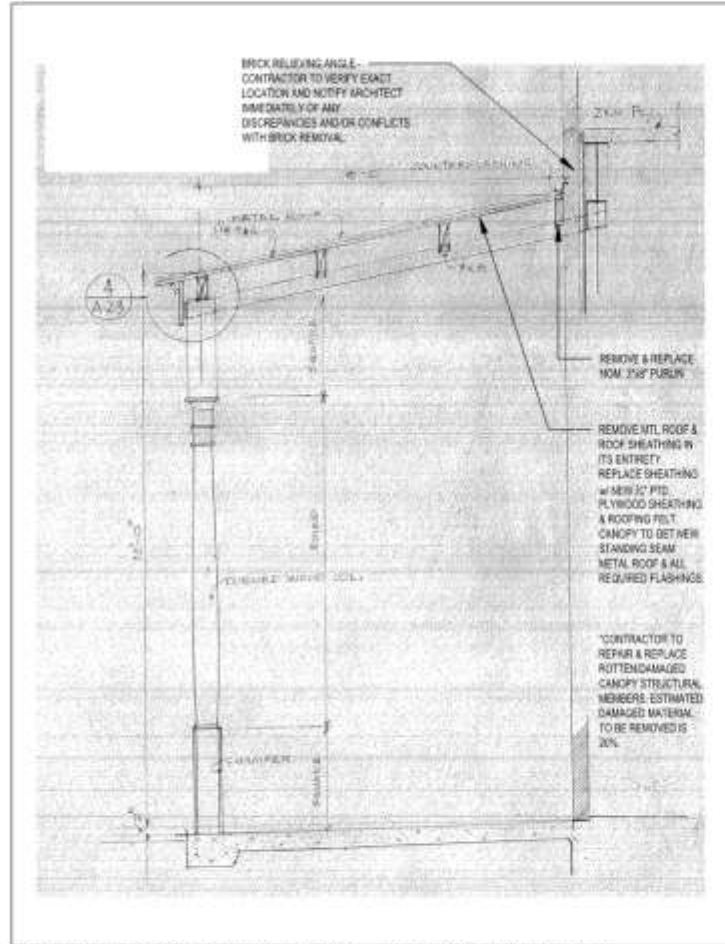
1. METAL WOOD CLADDING FOR SUPPORT WITH WALLS WHERE INDICATED AND LOCATIONS SUCH AS BUT NOT LIMITED TO MIRRORS, COUNTERTOP BRACKETS, CABINETS, SHOWER SALES, RESTROOM ACCESSORIES, ETC. VERIFY LOCATIONS WITH ARCHITECT BEFORE CLOSING WALLS.
2. REPAIR WALLS, FLOORING AND CEILING TO MATCH MATERIALS, FINISHES AND FINISHES OF EXISTING ADJACENT AREAS OR AS SHOWN BY WHERE EXISTING WALLS, FLOORING, CEILING AND CEILING ARE TO BE DEMOLISHED.
3. CONTRACTOR TO SEAL OFF ANY FLOOR AND/OR CEILING PENETRATIONS AND REPAIR SUBFLOOR TO ACCEPT NEW FLOORING AS SCHEDULED.
4. ALL DIMENSIONS ARE TO FACE OF STUD AND FACE OF EXISTING WALL TO REMAIN UNLESS OTHERWISE NOTED. MINIMUM ACCESSIBILITY CLEARANCES ARE FROM OPENING EDGE TO FINISH WALL (18" MIN ON FULL SIDE OF DOOR AND 12" MIN ON PUSH SIDE), NOTIFY ARCHITECT IMMEDIATELY WHEN CONFLICTS ARE DISCOVERED.
5. CONTRACTOR TO SUBMIT DETAILS SHOP DRAWING FOR APPROVAL ON ALL MILLWORK, DOORS, WINDOWS, SHUTTERS THAT ARE TO MATCH EXISTING ELEMENTS BEFORE FABRICATION.
6. ALL NEW EXTERIOR MILLWORK INCLUDING BUT NOT LIMITED TO TRIM, DOORS, SHUTTERS, POSTS, GRAB BARS AND WINDOWS WILL BE RESTORED CEILING. PRIME ALL 1 COATS AND LINE WITH WOOD PRESERVATIVE BEFORE PRIME ALL 1 COATS AND VENEER WITH MATCH POINT FINISH.



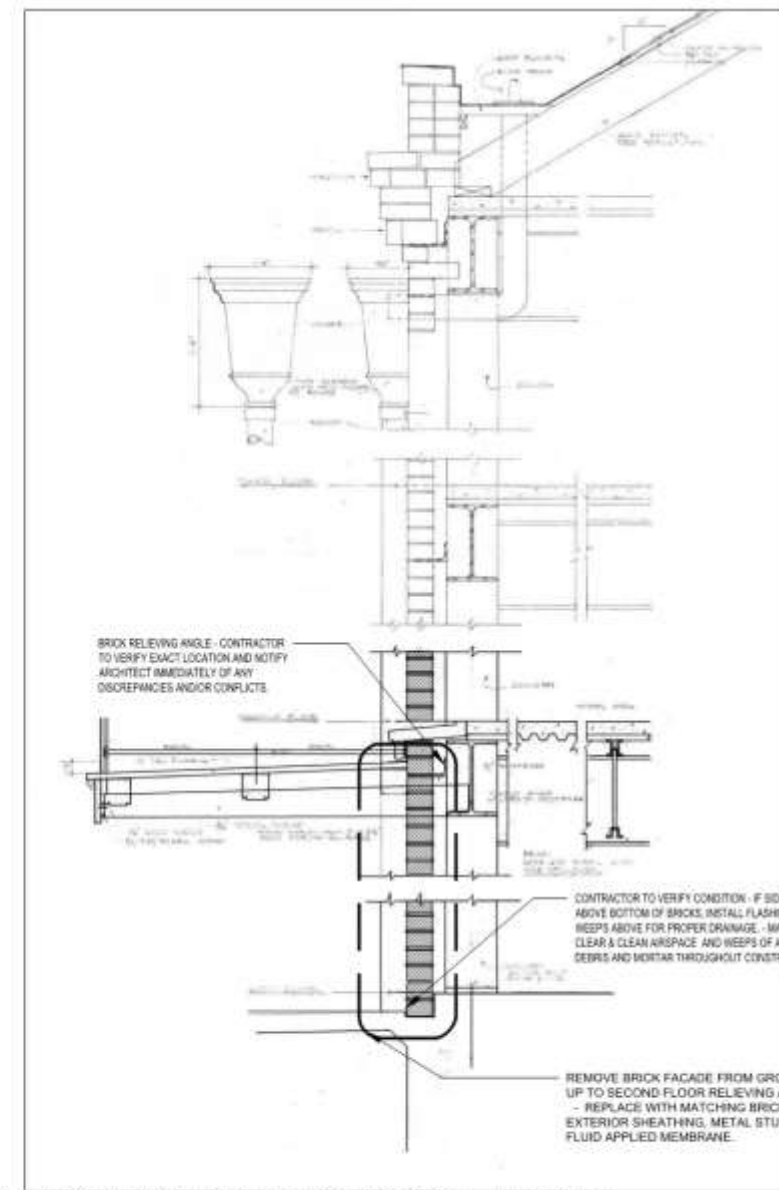
1008 N Peters Street
 VCC Architectural Committee

December 11, 2018





2 EXTERIOR SECTION - Existing Awning SCALE: N.T.S. A-3.01



1 EXTERIOR WALL SECTION - Existing SCALE: N.T.S. A-3.01

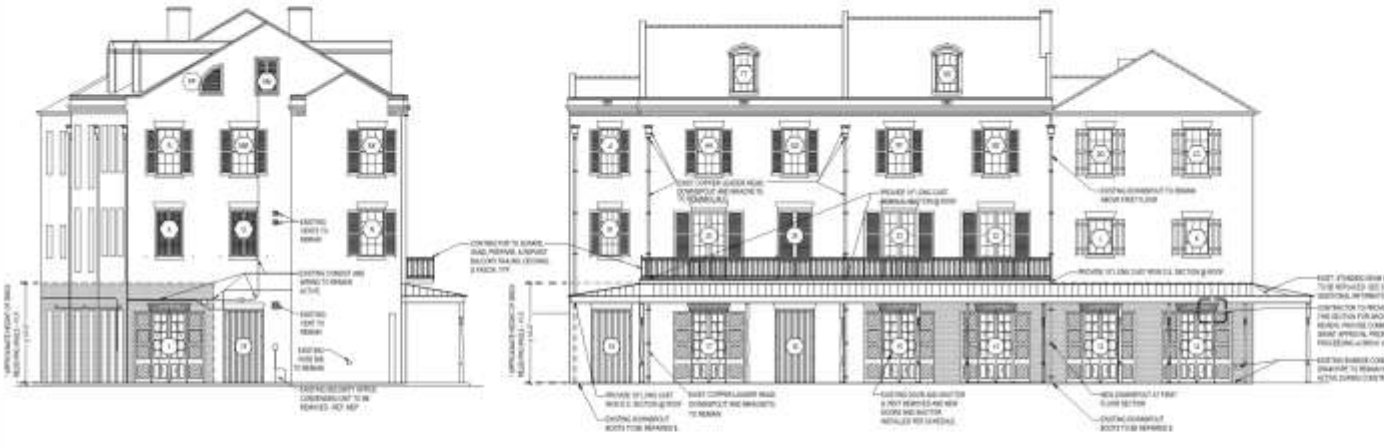
EXTERIOR NOTES

GENERAL EXTERIOR REPAIR NOTES:

The exterior elevations on the construction documents are their final elevations and should not be assumed to be in situ. The contractor shall conduct a thorough investigation of the existing building at the end of all items prior to its results. Contractor shall submit a report to the architect for determination of necessary repairs. Refer to specifications for additional information.

EXTERIOR WALL

1. Remove all exterior paint, peeling, spalling, and flaking in areas within 6 inches from the exterior surface where necessary repair and replace with a 1/2" thick concrete and galvanized steel reinforcement mesh. New walls will be constructed with 4" concrete and galvanized steel reinforcement mesh. All walls will be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
2. Repair or reconstruct exterior masonry with concrete that will cure to a color match with existing masonry. Use a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
3. Clear exterior masonry and masonry on ground floor with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
4. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
5. Clean all exterior masonry and masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
6. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
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12. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
13. Clean all exterior masonry and masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
14. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
15. Clean all exterior masonry and masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
16. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
17. Clean all exterior masonry and masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
18. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
19. Clean all exterior masonry and masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.
20. Repair or reconstruct exterior masonry on upper floors with a masonry-restoration material. Repairs will be completed by the contractor and the owner. Product shall be used for all repairs. All exterior walls shall be finished with a light-colored, low-soluble, alkali-resistant, weather-resistant, acrylic, elastomeric coating.



1 EXTERIOR ELEVATION - EAST
SCALE: 1/8"=1'-0"

2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8"=1'-0"



3 EXISTING BRICK - MODULAR
SCALE: 1/8"=1'-0"

LEGEND:



3 EXTERIOR ELEVATION - EAST
SCALE: 1/8"=1'-0"



4 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8"=1'-0"

French Market Building 'E'
Renovations
1008 N. Peters Street #3, New Orleans, Louisiana
TRAPOLIN-PEER ARCHITECTS
A PROFESSIONAL CORPORATION | 7818 Maple Street | New Orleans, Louisiana 70114 | (504) 585-8825 | www.trapolinpeer.com

French Market Corporation
1008 N. Peters St. #3
New Orleans, Louisiana 70114
T 504.522.2021

CONSULTANT NAME
Address 1
Address 2
T (area code) number

11/08/2018

EXTERIOR ELEVATIONS

A-4.00



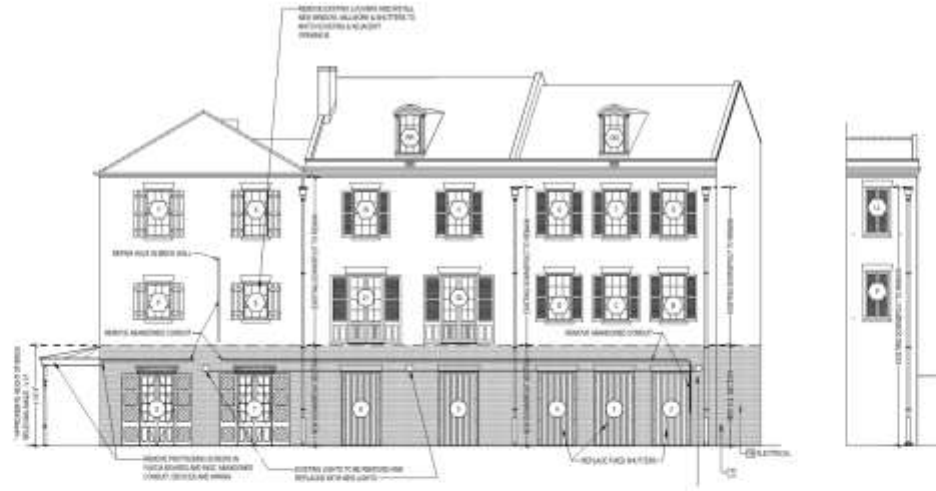
EXTERIOR NOTES

GENERAL: (SEE THIS DRAWING SHEET)
The notes shown on this construction document are from actual observations and should not be assumed to be all-inclusive. The contractor shall conduct a thorough investigation of the existing building as well as all items that are to remain. Contractor shall submit plans in accordance to the drawings for measurement of existing spaces. Refer to specifications for additional information.

- EXISTING:
1. Unless otherwise indicated, patch cracks and holes in brick walls or ground floor or other masonry exterior repairs are required due to failed mortar and deteriorated bricks with one (1) inch mortar joints and to match the original brick color, texture, and pointing. Carefully match new bricks with existing masonry. Grout that remains non-absorbent or repointing use in any mortar that matches the existing mortar in strength, color and rate of cure. Patch and point by hand.
2. Prior to masonry repair, clean all areas that are used to be repaired with masonry brush to remove all dirt, grease, oil, latex paint, oil or grout.
3. Clean masonry repaired masonry, apply masonry repair mortar to prepared area and patch. Install new galvanized steel mesh where required in exterior masonry repair. Grout and finish masonry repair. When masonry work is complete, match existing mortar pointing and finish to brick or masonry existing work.
4. Remove existing paint or all exterior masonry and masonry repair or ground floor finish. Samples will be reviewed by the Architect and the Owner. Protect glass from water entry. Make necessary patch to ensure the window shall not exceed 200 psi. The masonry will be finished, finished as approved above.
5. In preparation for masonry work, remove all loose and weak masonry that are scheduled to be replaced. Repair or replace damaged masonry with new masonry that meets existing profile, color, and texture.
6. Clean all exterior masonry and masonry with a mild high duty masonry cleaner. Samples will have to be approved by the Architect. Note that glass will have to be protected.
7. Remove masonry repair mortar as indicated. Make masonry opening or void in masonry that results from the removal of these items with a new masonry matching the texture and color of adjacent masonry with this masonry.
8. All new masonry shall be finished with a light color and finish or color penetrative before painting with a white and finish in light color.
9. Grout & seal new windows and exterior connections.
10. Remove masonry repair mortar as indicated. Make masonry opening or void in masonry that results from the removal of these items with a new masonry matching the texture and color of adjacent masonry with this masonry.
11. Calculate in accordance with building codes and verify the exterior of building with removal of front floor brick facade and other connections. Remove all masonry and patch with masonry repair mortar as indicated. Finish masonry and masonry repair mortar as indicated.
12. Contractor to install all brick masonry and masonry repair mortar as indicated. Details, materials, etc. to be approved. Typical as indicated.
13. Existing building, all masonry and masonry repair mortar from exterior building, masonry facade & repair, finished in approved paint color as indicated from manufacturer's listing.



1 EXTERIOR ELEVATION - WEST SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION - NORTH SCALE: 1/4"=1'-0"

LEGEND:

- EXISTING MASONRY TO REMAIN AND TO BE REPAIRED
EXISTING MASONRY TO BE DEMOLISHED AND REPLACED WITH NEW
EXISTING MASONRY TO BE DEMOLISHED AND REPLACED WITH NEW
EXISTING MASONRY TO BE DEMOLISHED AND REPLACED WITH NEW



3 EXTERIOR ELEVATION - WEST SCALE: 1/8"=1'-0"



4 EXTERIOR ELEVATION - NORTH SCALE: 1/8"=1'-0"

French Market Building 'E'

Renovations
1008 N. Peters Street #3, New Orleans, Louisiana
TRAPOLIN-PEER ARCHITECTS

French Market Corporation
1008 N. Peters St, #3
New Orleans, Louisiana 70116
T (504) 522-2921

CONSULTANT NAME
Address 1
Address 2
T (area code) number



Table with columns for Date, Description, and other project details.

Project Number: CM1813
Owner: STAFF
Contract #: JPE
Date: 11/28/2018

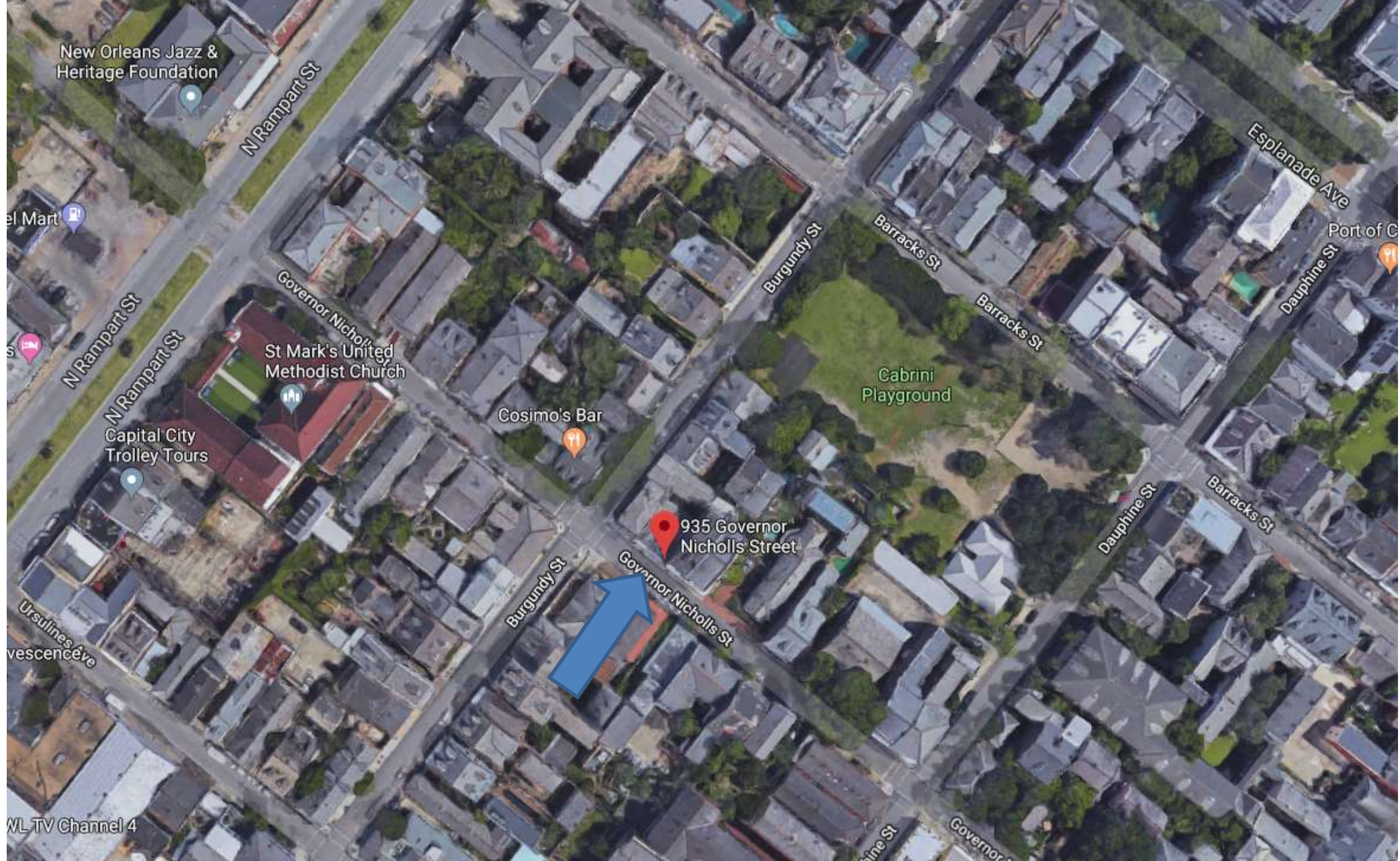
EXTERIOR ELEVATIONS

A-4.01



The seal of the Vieux Carre Commission is an oval emblem. It features a central figure of a person standing on a decorative base, flanked by two columns. The text "VIEUX CARRE COMMISSION" is inscribed along the top inner edge of the oval, and "ESTABLISHED 1936" is inscribed along the bottom inner edge. The seal is rendered in a light gray, semi-transparent style.

935 Governor Nicholls



935 Governor Nicholls

VCC Architectural Committee

December 11, 2018





935 Governor Nicholls
VCC Architectural Committee

December 11, 2018





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December 11, 2018





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VCC Architectural Committee

December 11, 2018





935 Governor Nicholls
VCC Architectural Committee

December 11, 2018

















EXISTING RESIDENTIAL STRUCTURAL, 935 GOV. NICHOLLS ST., NEW ORLEANS, LA 70116
TWO+MANSARD STORY RESIDENCE

Property Information
 Site Address: 935 Governor Nicholls St., LA
 First Owner Name: 933-35 GOV NICHOLLS ST
 Mailing Address: 725 PERIN ST
 Mailing City: NEW ORLEANS
 Mailing State: LA
 Mailing Zip: 70115
 Property Description: 32 82 203 20 GOV NICHOLLS 192128
 Sec.P3N: 41023494

- * ZONING NO CHANGE
- * OCCUPANCY NO CHANGE
- * VCR-1 IN THE HISTORIC DISTRICT
- * NO VARIANCE REQUIRED * NO SETBACK CHANGE REQ'D
- * FEMA ZONE " " N.A.
- * PERMIT PENDING 18-..... RNVN

PLANNING SUMMARY:

- 1 ZONING: VCR-1 (R+HC)
- 2 SQ. 82, LOT 20, HISTORIC FRENCH QUARTER
- 3 EXIST: TWO+MANSARD STORIES RESIDENTIAL
- 4 FUTURE LAND USE- N.A.
- 5 ADJACENT LOTS RESIDENTIAL, W/Common Walls
- 6 TOTAL LOT AREA: 19'x128' 2,286 S.F. LISTED
- 7 NO. OF BUILDINGS: 2 (HOUSE & REAR DETACHED)
 (MAIN BUILDING SUBJECT TO THIS PERMIT ONLY)
- 8 BUILDING HEIGHT 2+1 STORY: " " ±
- 9 WORK ON THE STRUCTURAL STABILITY OF THE BUILDING
- 9 PROPOSED USE: SAME RESIDENTIAL

UTILITY PROVIDERS:

- 1 FIRE-ORLEANS PARISH F.D.
- 2 SCHOOL-ORLEANS PARISH
- 3 SEWERAGE: N.O. S&WB
- 4 ELECTRIC ENTERGY CO.
- 5 GAS ENTERGY CO.
- 6 WATER: N.O. S&WB

INDEX TO SHEETS:

- SHEET No. DESCRIPTION:
- 1 DATA TITLE SITE PLAN
 - 2 SITE ROOF PLAN
 - 3 SITE ROOF EXIST.
 - 4 FACADES L/S AND FRONT
 - 5 CORRIDOR GROUND OFFSETS
 - 6 CORRIDOR OFFSETS DETAILS
 - 7 LOFT PLAN ATTIC
 - 8 LOFT PLAN
 - 9 ELEVATIONS WITH TIE-BACKS
 - 10 GENERAL SPECS.& DETAILS
 - 11 SURVEY PLAN, CERTIFICATE

OWNER:
 MIKE WINTERS, Jr.
 ARCH./ENG.
 ICM US ENG, LLC
 131 Nursery Av.
 Metairie, La 70005
 Tel: 504-884-9043
 icmuseng@aol.com

LANDSCAPE:
 N.A.
SURVEYOR:
 N.A.



AERIAL PLAN



VICINITY PLAN 1/2 SC.



0 SCALE 40

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 OTHERWISE. THIS SET OF DRAWINGS IS THE PROPERTY
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 11/16/18 ICM US ENG, LLC

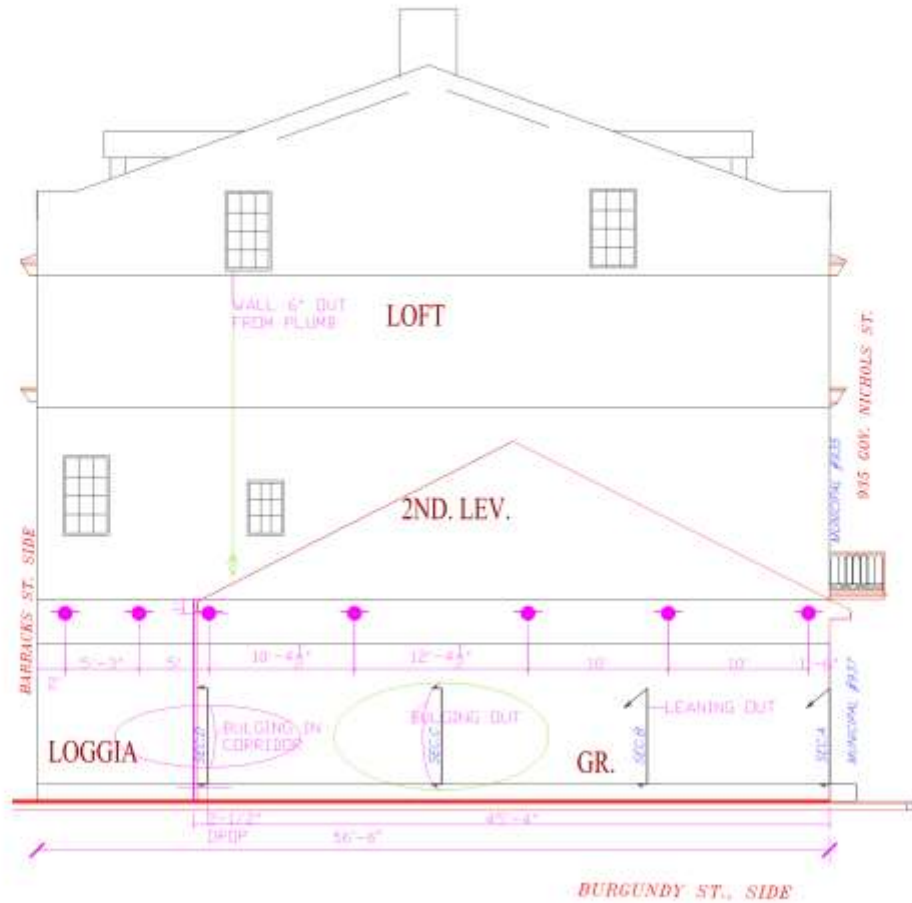
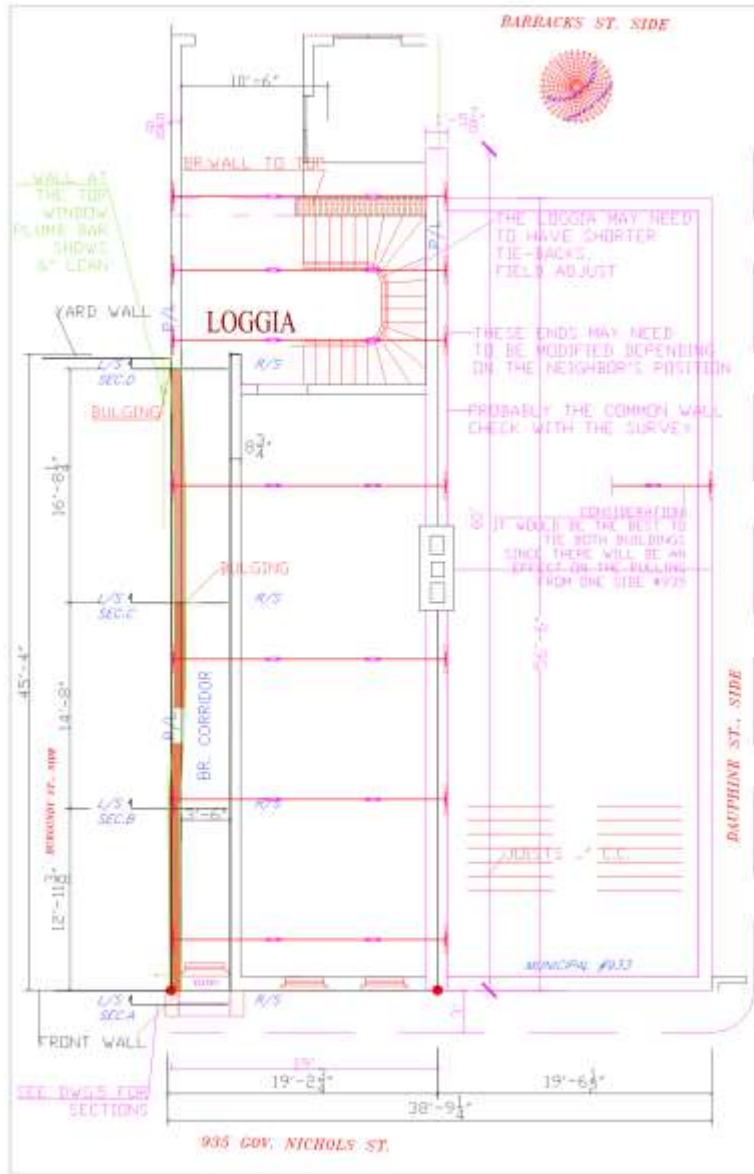
11/16/18

ICM US ENG, LLC
 131 NURSERY AV.
 METAIRIE, LA 70005
 TEL: 504-884-9043
 icmuseng@aol.com

118-C-1







0 SCALE: 20



12/16/18

COMBENALIC
 935 GOV. NICHOLS ST. UNIT 1500
 CORRIDOR OVERSET

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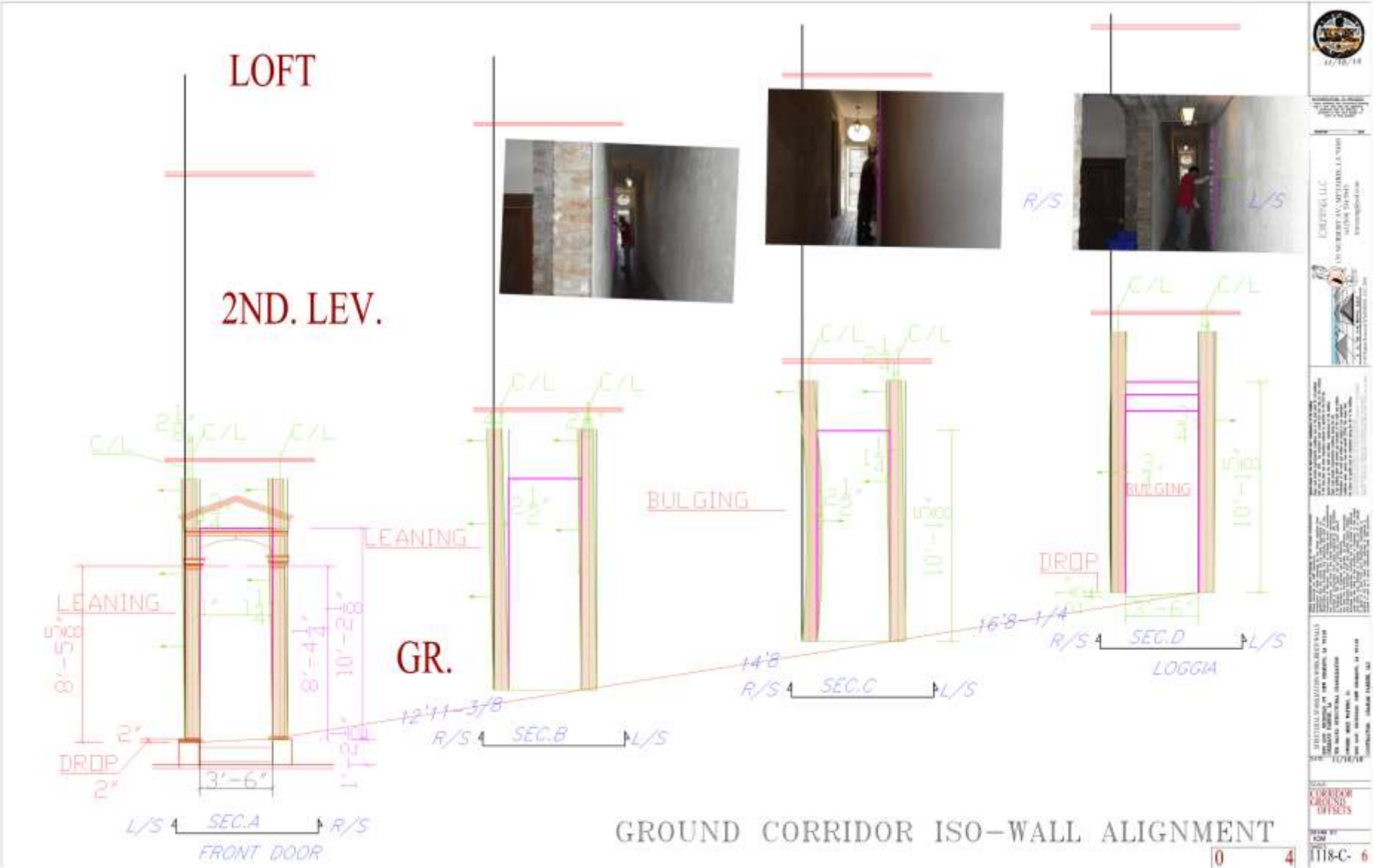
MECHANICAL CORRIDOR OVERSET
 935 GOV. NICHOLS ST. UNIT 1500
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 IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF COMBENALIC

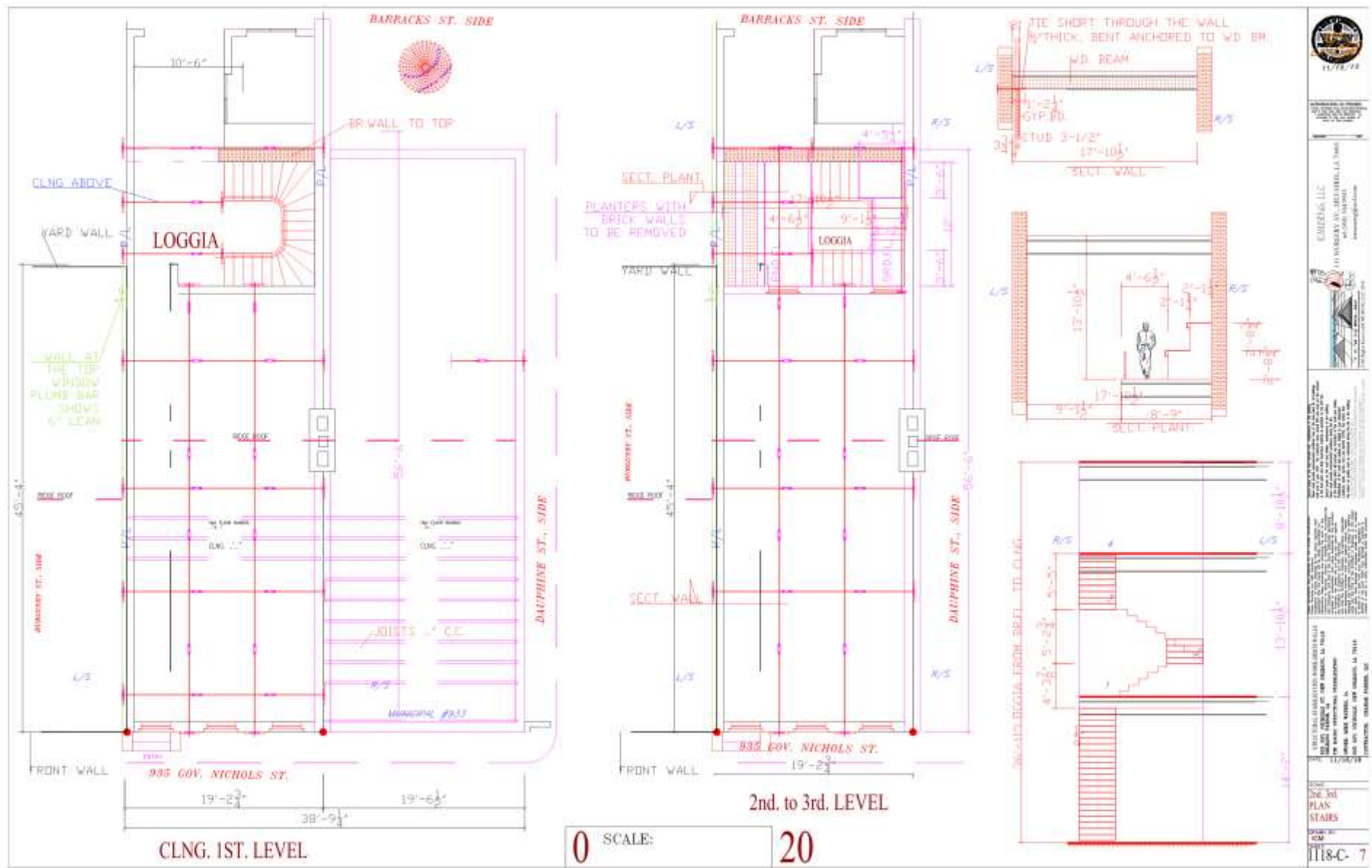
CORRIDOR GROUND OVERSET
 UNIT 1500
 DRAWN BY: JSM

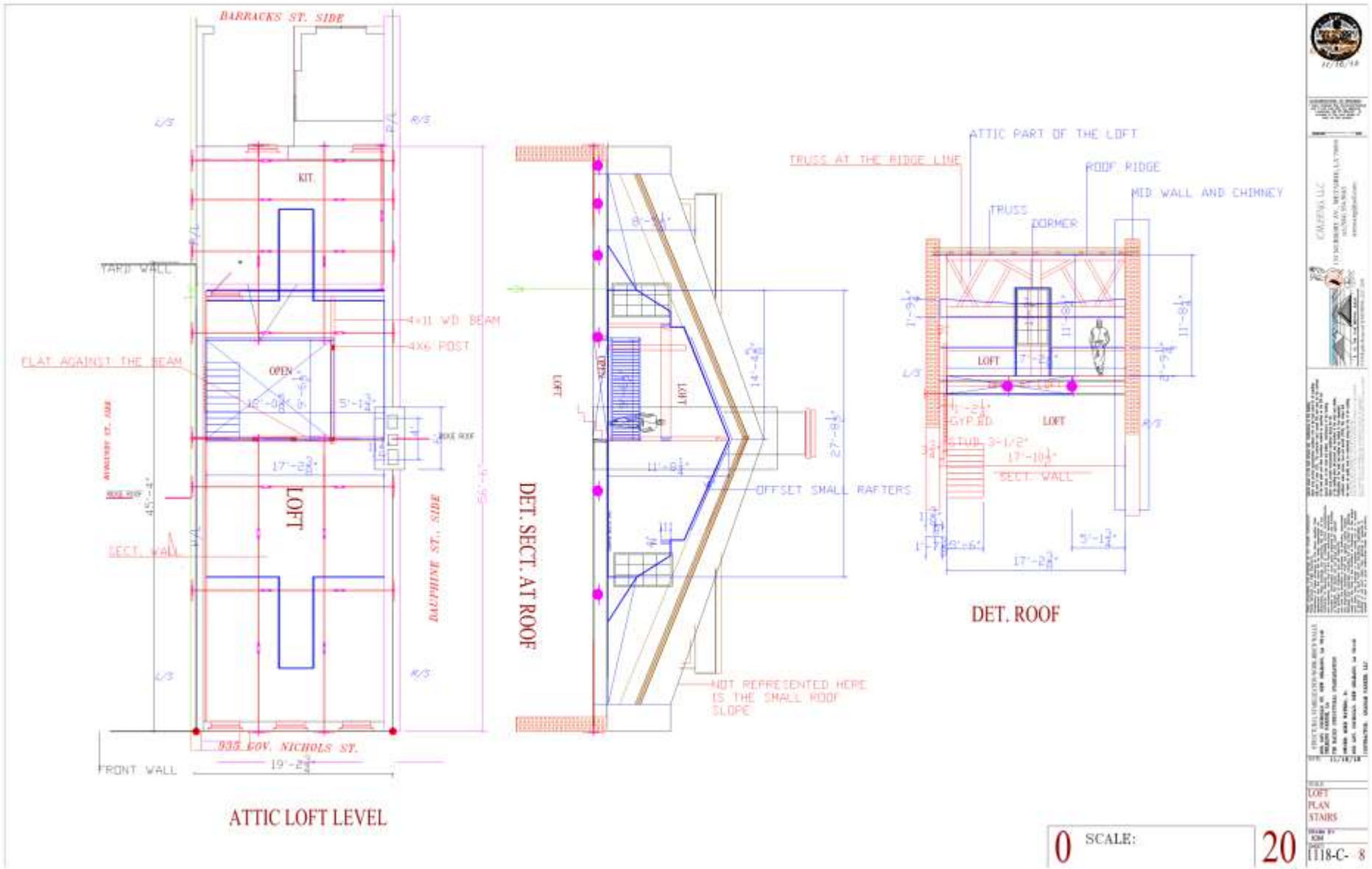
DATE: 11/16/18
 COMBENALIC - 2018/18/18

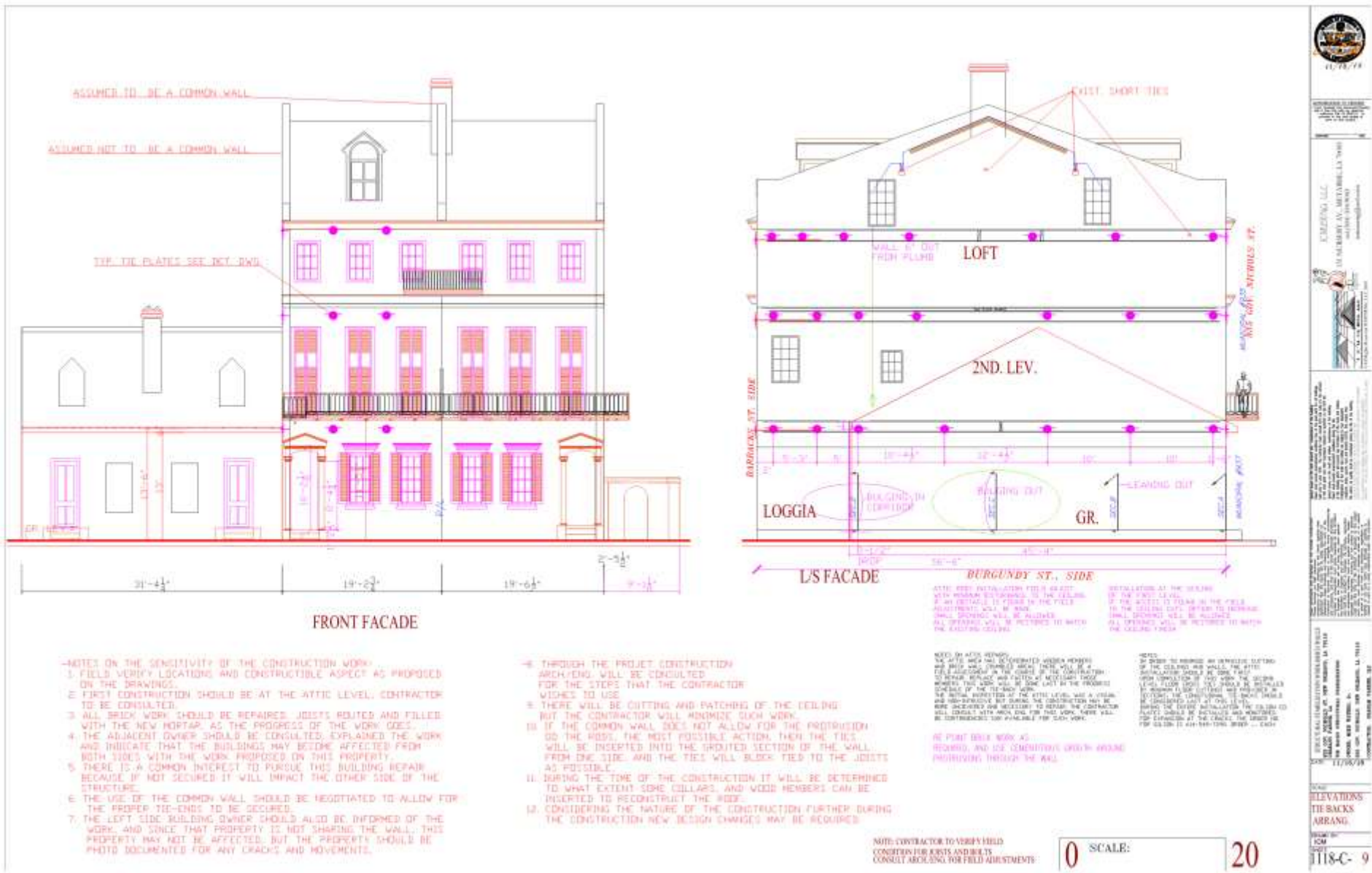
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 CORRIDOR OVERSET

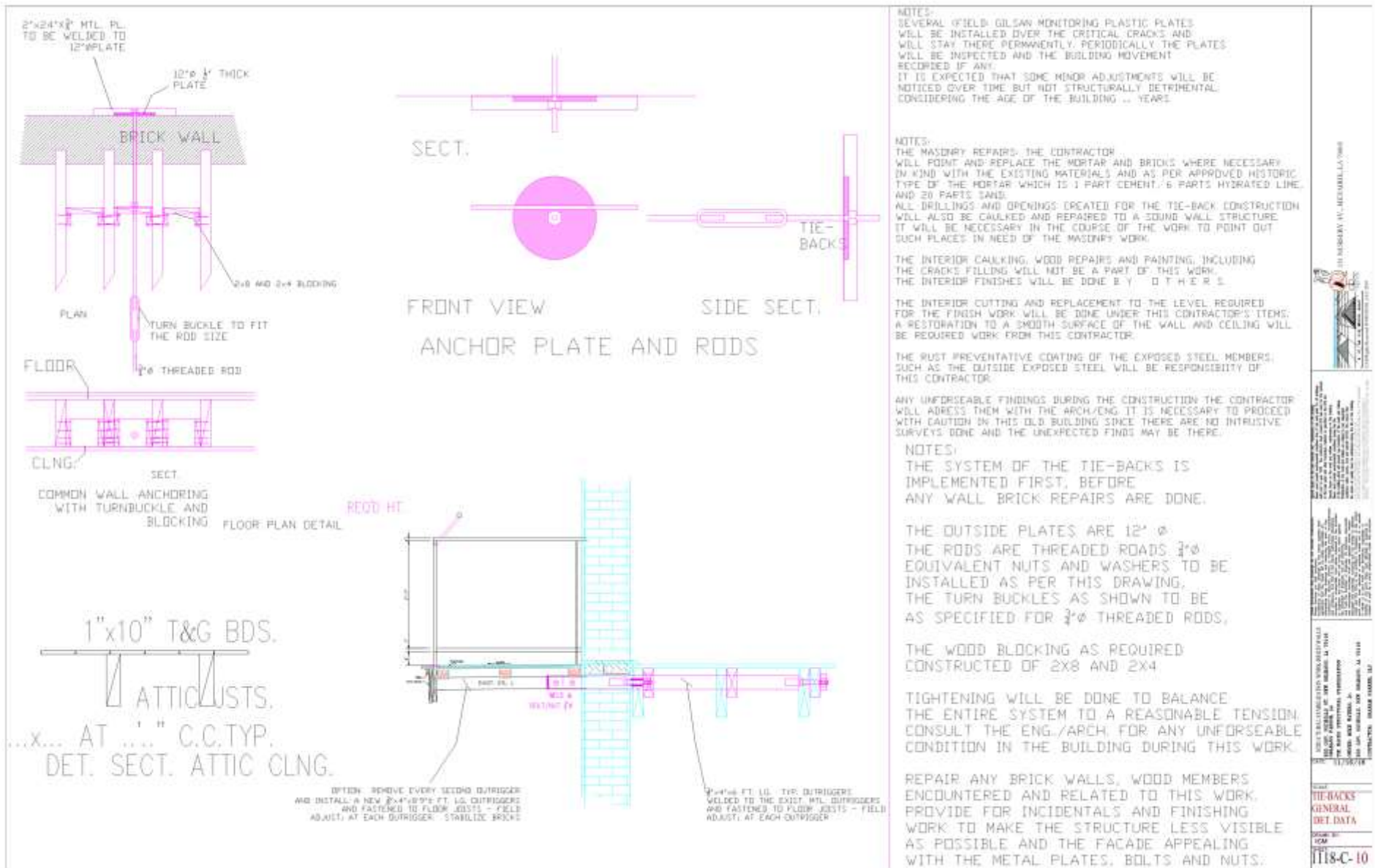












CERTIFICATE OF ELEV. SURVEY

STATE OF TEXAS
 COUNTY OF DALLAS
 CITY OF DALLAS

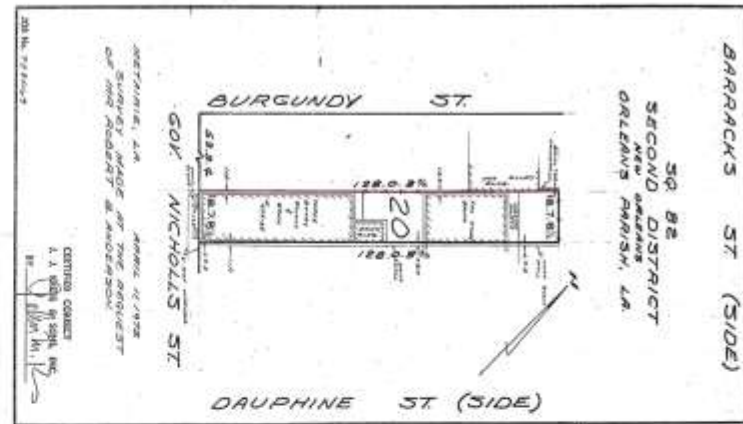
THIS CERTIFICATE IS MADE BY ME, THE SURVEYOR, IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF OFFICE, AT DALLAS, TEXAS, THIS 11th DAY OF NOVEMBER, 2018.

DAVID L. WILSON
 SURVEYOR

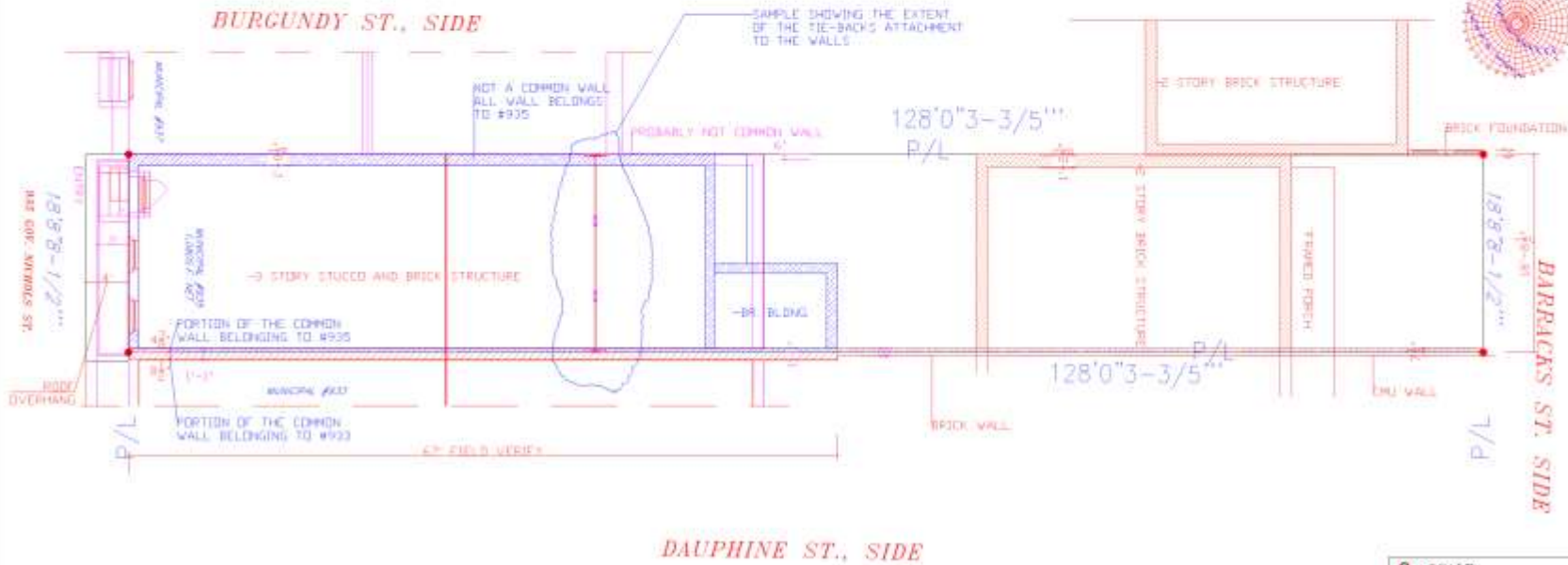
THE SURVEYOR'S DUTY IS TO DETERMINE THE POSITION OF THE CORNERS OF THE LAND DESCRIBED IN THE INSTRUMENT AND TO MEASURE THE DISTANCES BETWEEN THE CORNERS AND TO REPORT THE RESULTS OF HIS SURVEY TO THE PARTY TO THE INSTRUMENT.

THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA OBTAINED FROM THE INSTRUMENT OR FOR THE RESULTS OF THE SURVEY.

CERTIFICATE OF ELEV. SURVEY



SURVEY PLAN 1/4 SCALE



SCALE: 0 20

11/11/18

DAVID L. WILSON
 SURVEYOR

118-C-11

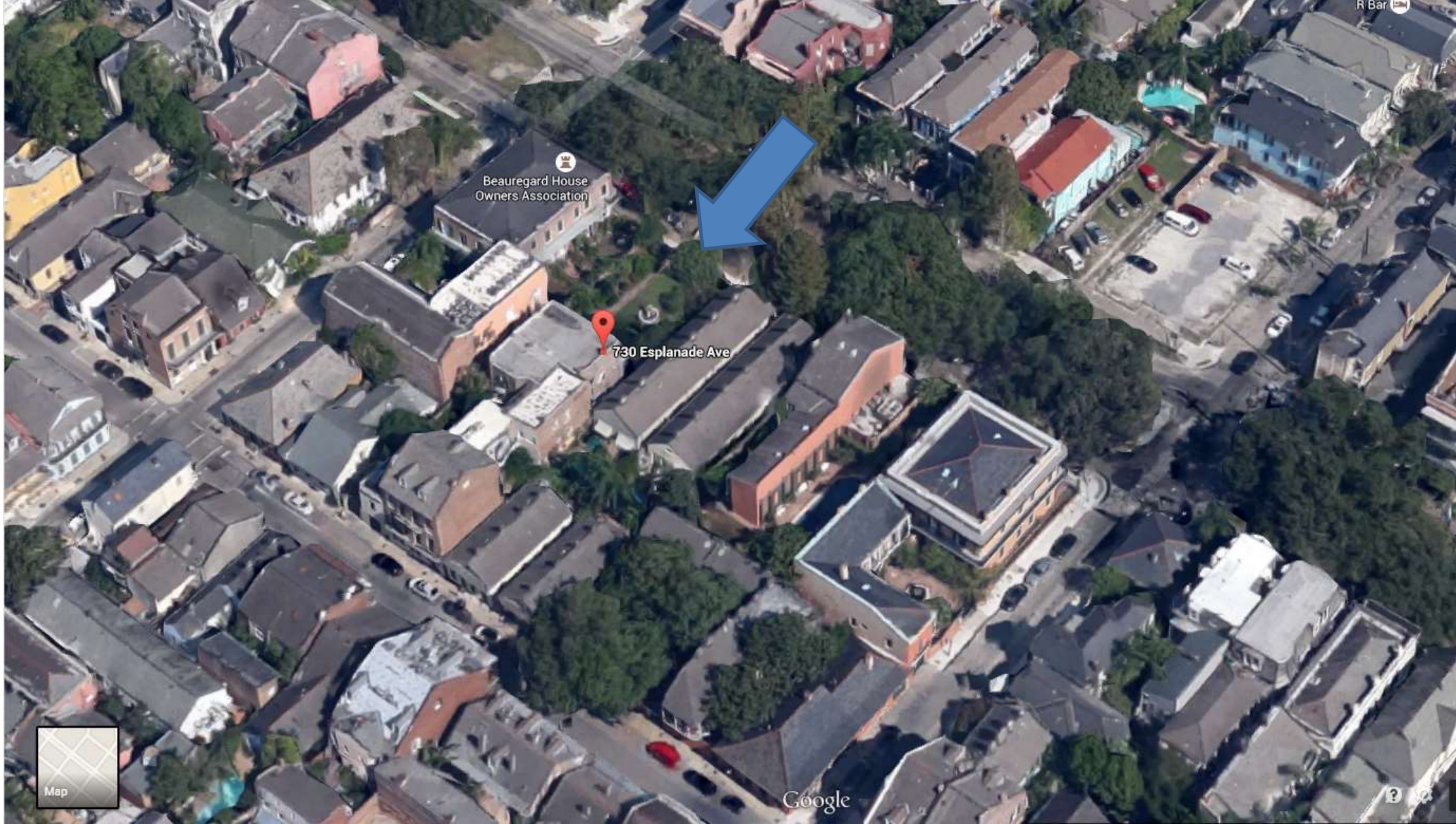




Appeals and Violations



730 Esplanade

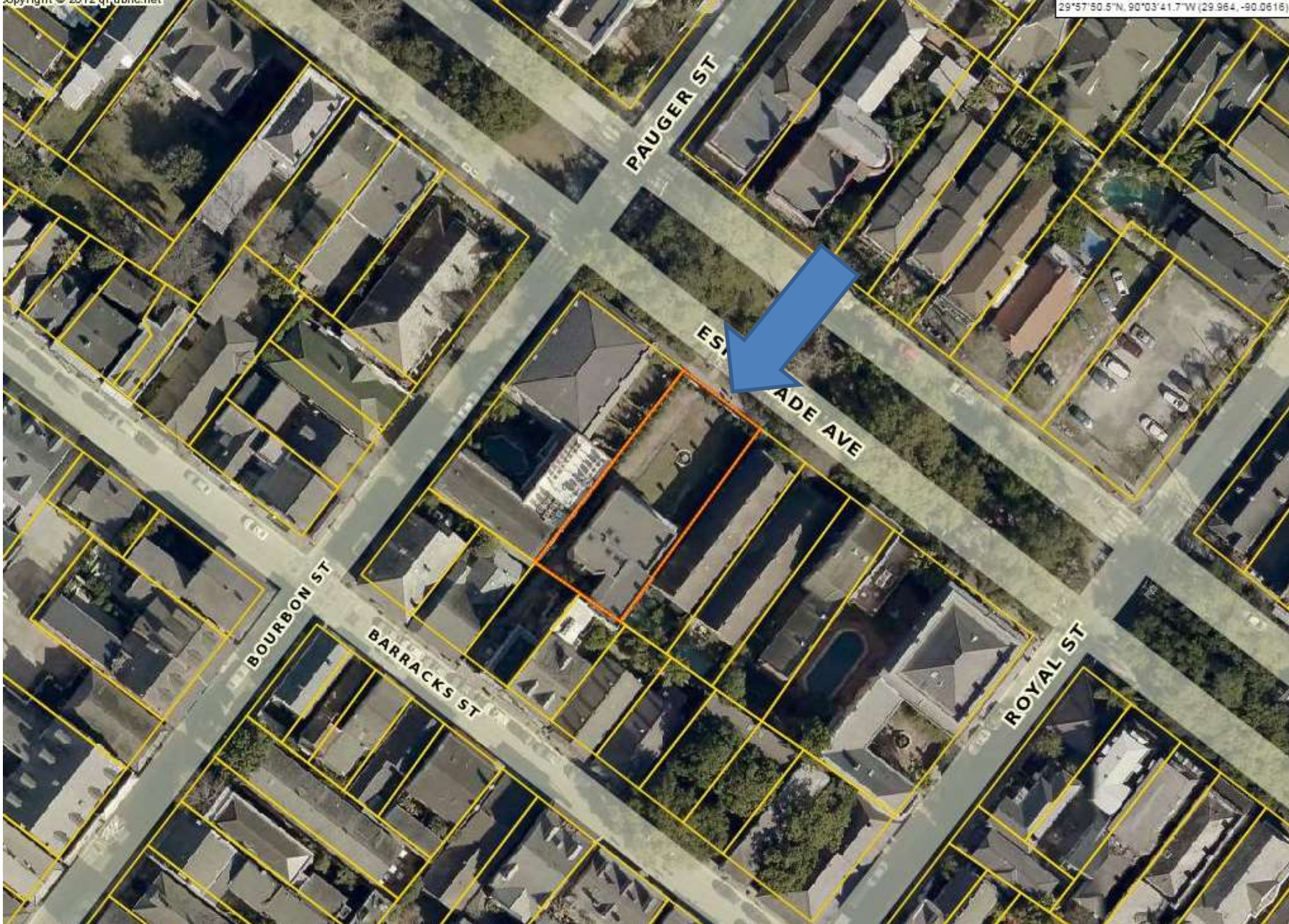


730 Esplanade

VCC Architectural Committee

December 11, 2018





730 Esplanade

VCC Architectural Committee

December 11, 2018





730 Esplanade - 1975

VCC Architectural Committee

December 11, 2018





730 Esplanade - 2008

VCC Architectural Committee

December 11, 2018





730 Esplanade (7.27.16)

VCC Architectural Committee

December 11, 2018





730 Esplanade ELIMINATION OF ARCH AND NEW DOOR



730 Esplanade - Current Condition

VCC Architectural Committee

December 11, 2018





730 Esplanade NEW ROOF HATCH

VCC Architectural Committee

December 11, 2018





730 Esplanade

VCC Architectural Committee

December 11, 2018



730 Esplanade - Current Condition

VCC Architectural Committee



December 11, 2018





730 Esplanade – Photo from Applicant
VCC Architectural Committee

December 11, 2018

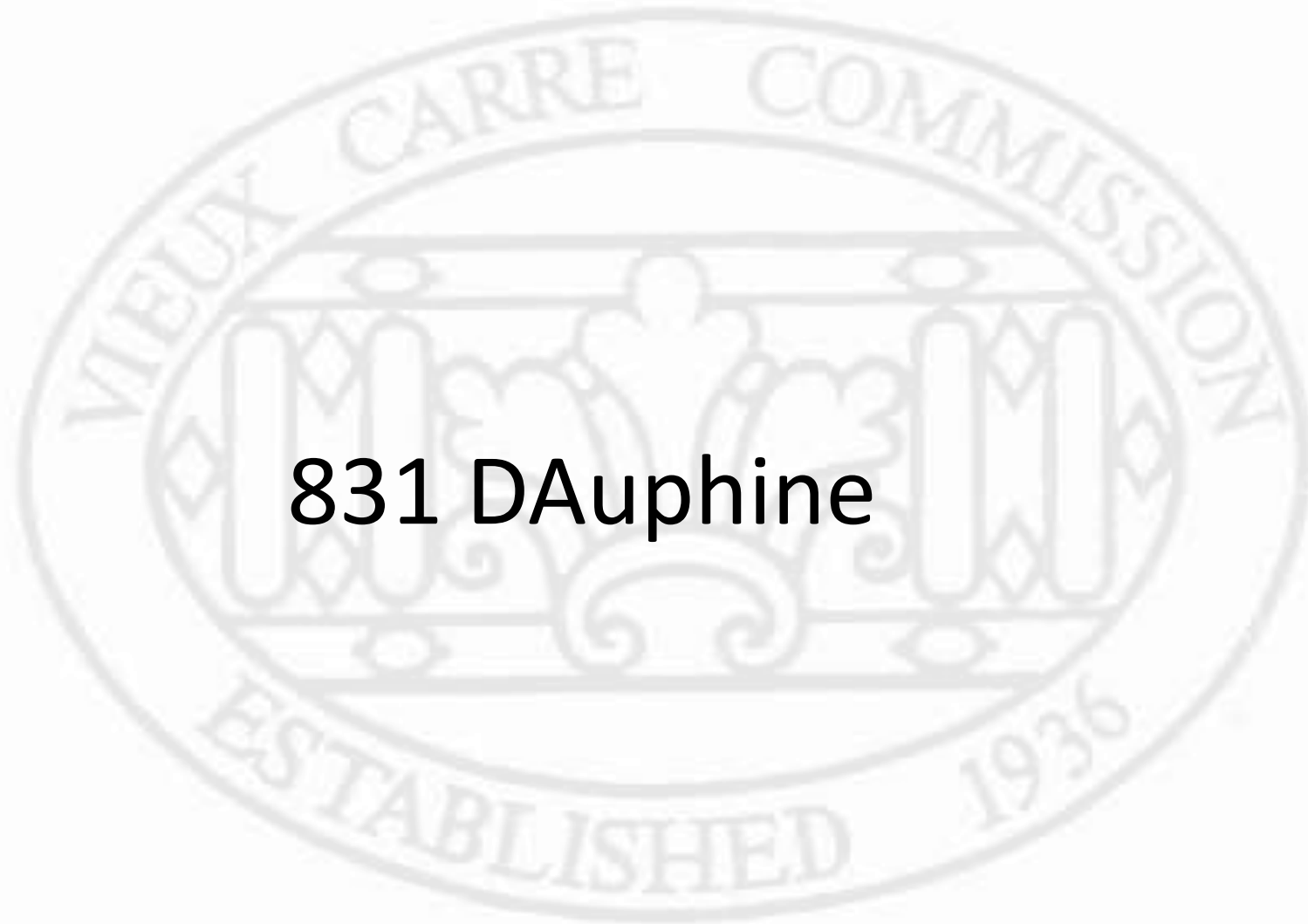




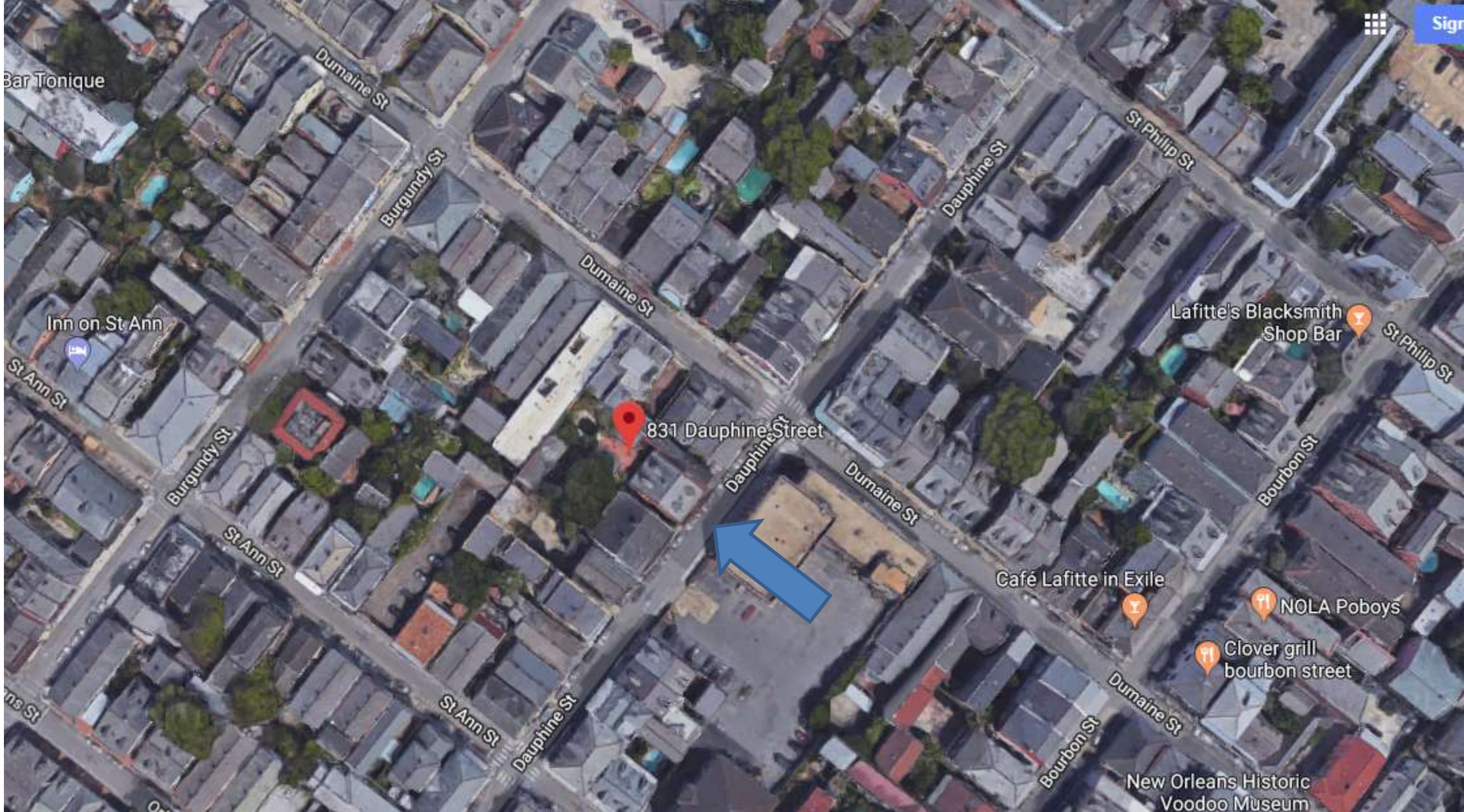
730 Esplanade – Photo from Applicant
VCC Architectural Committee

December 11, 2018





831 DAuphine



831 Dauphine

VCC Architectural Committee

November 13, 2018





831 Dauphine

VCC Architectural Committee

November 13, 2018





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831 Dauphine - 2005

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831 Dauphine - 2008

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831 Dauphine - 2008





FRONT NEW 6" 1/2 ROUND COTTON 4" x 4"



REAR SIDE

NOTE REMOVE STREET METAL
+ ROUNDS TO ALL NEW
831 DAUPHINE ST.

RECEIVED
JUL 21 2008





831 Dauphine - 2012

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831 Dauphine

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831 Dauphine

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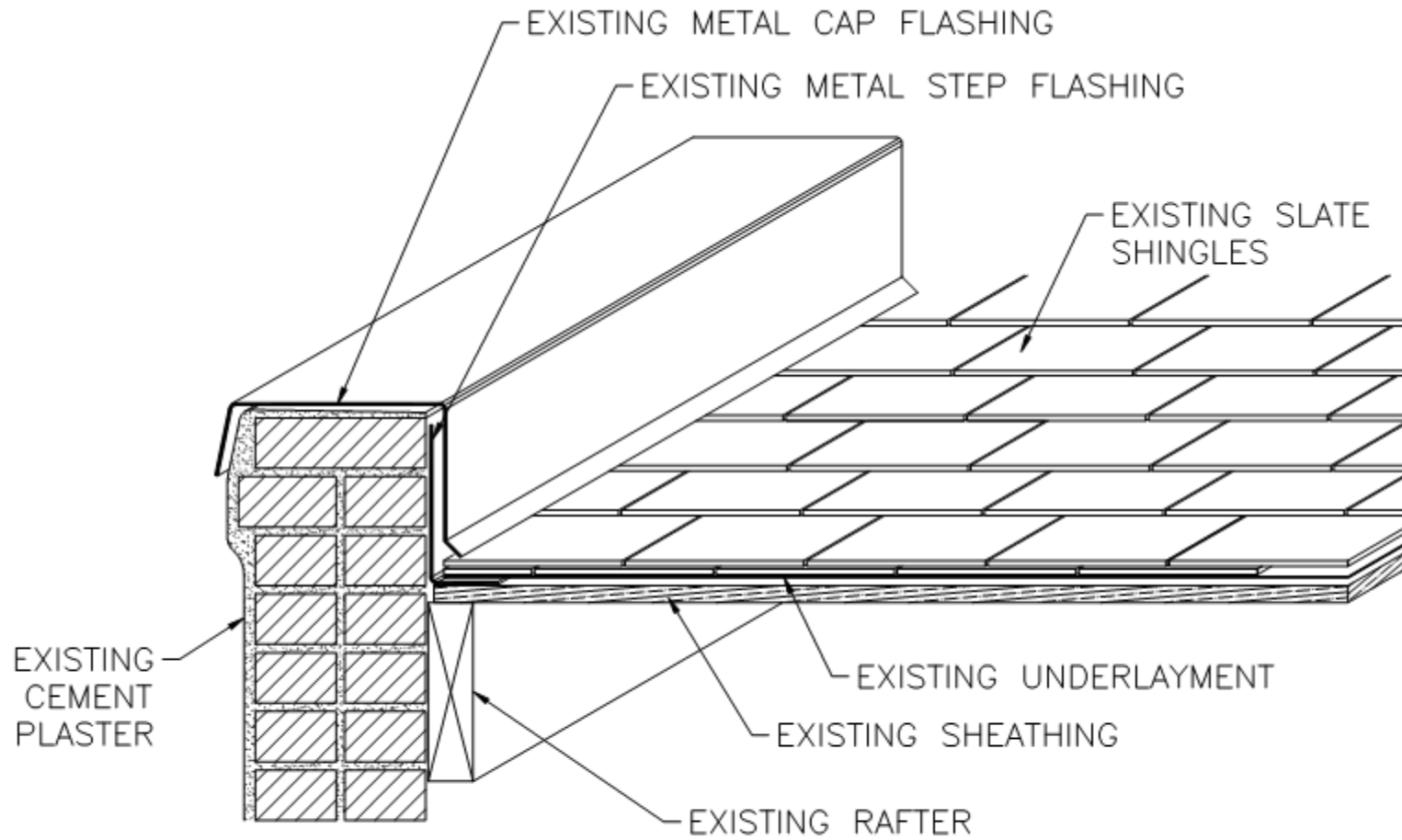


831 Dauphine

VCC Architectural Committee

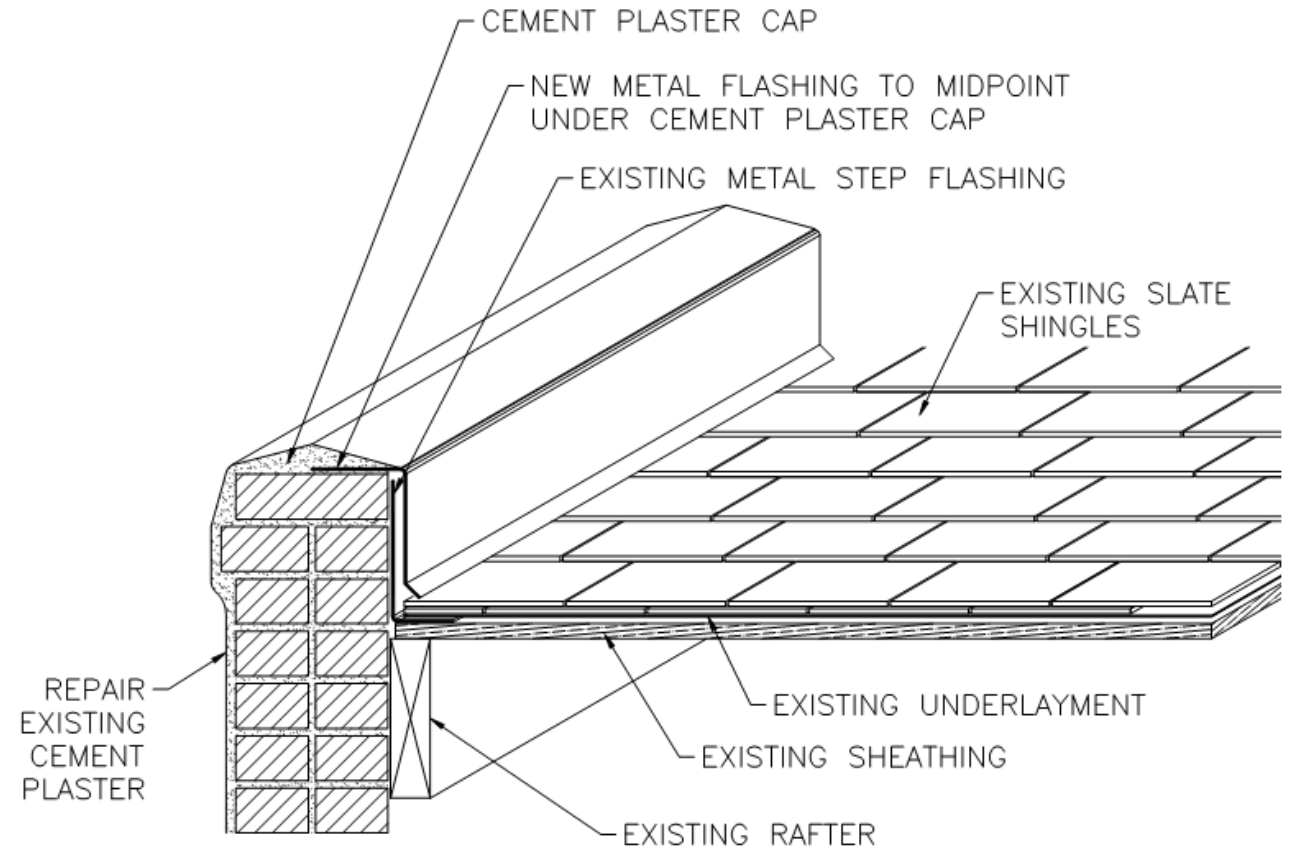
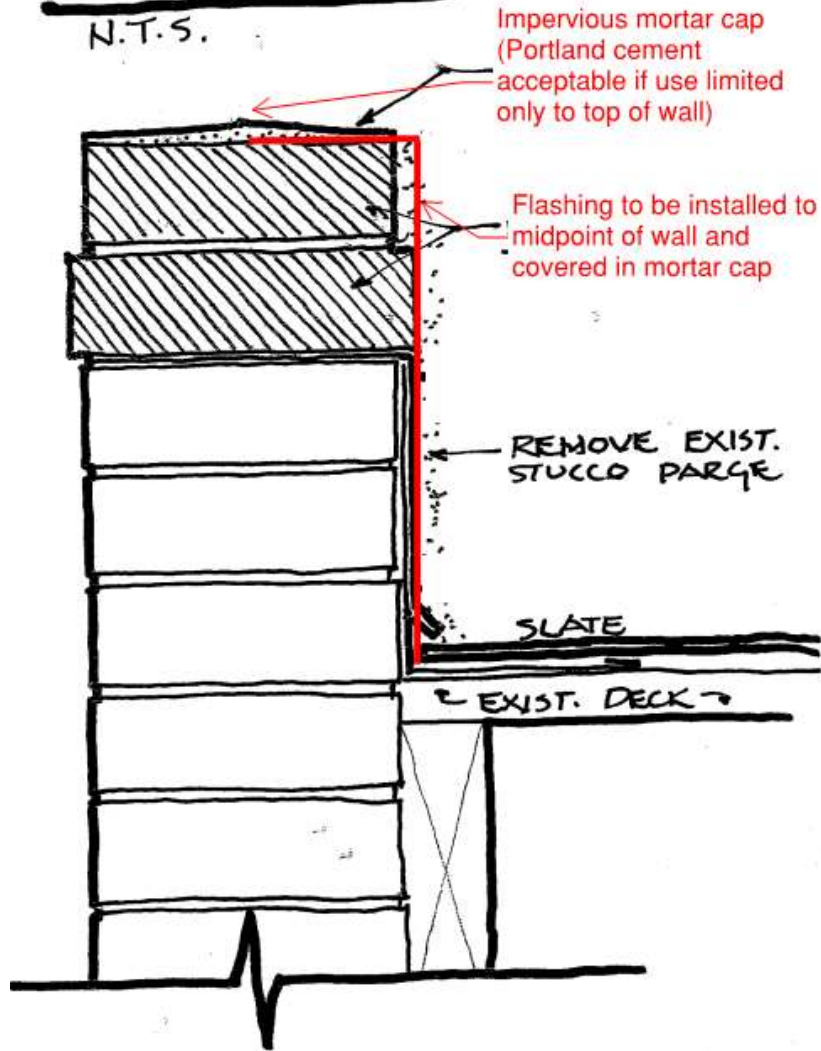
November 13, 2018





PARAPET FLASHING DETAIL

N.T.S.





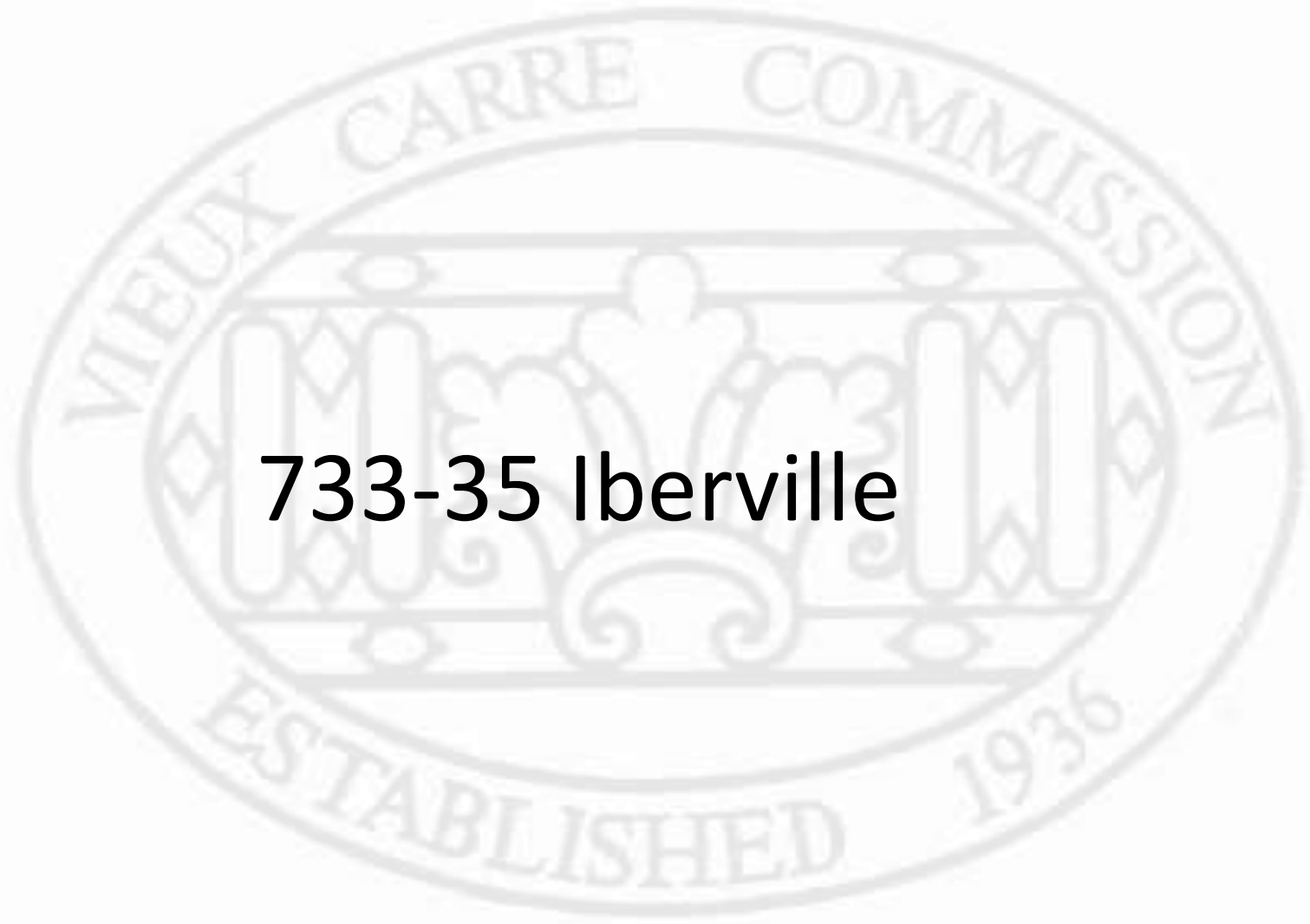
700 Bourbon

(deferred at applicant's request)



706-08 Bourbon

(deferred at applicant's request)



733-35 Iberville



733-35 Iberville

VCC Architectural Committee

December 11, 2018



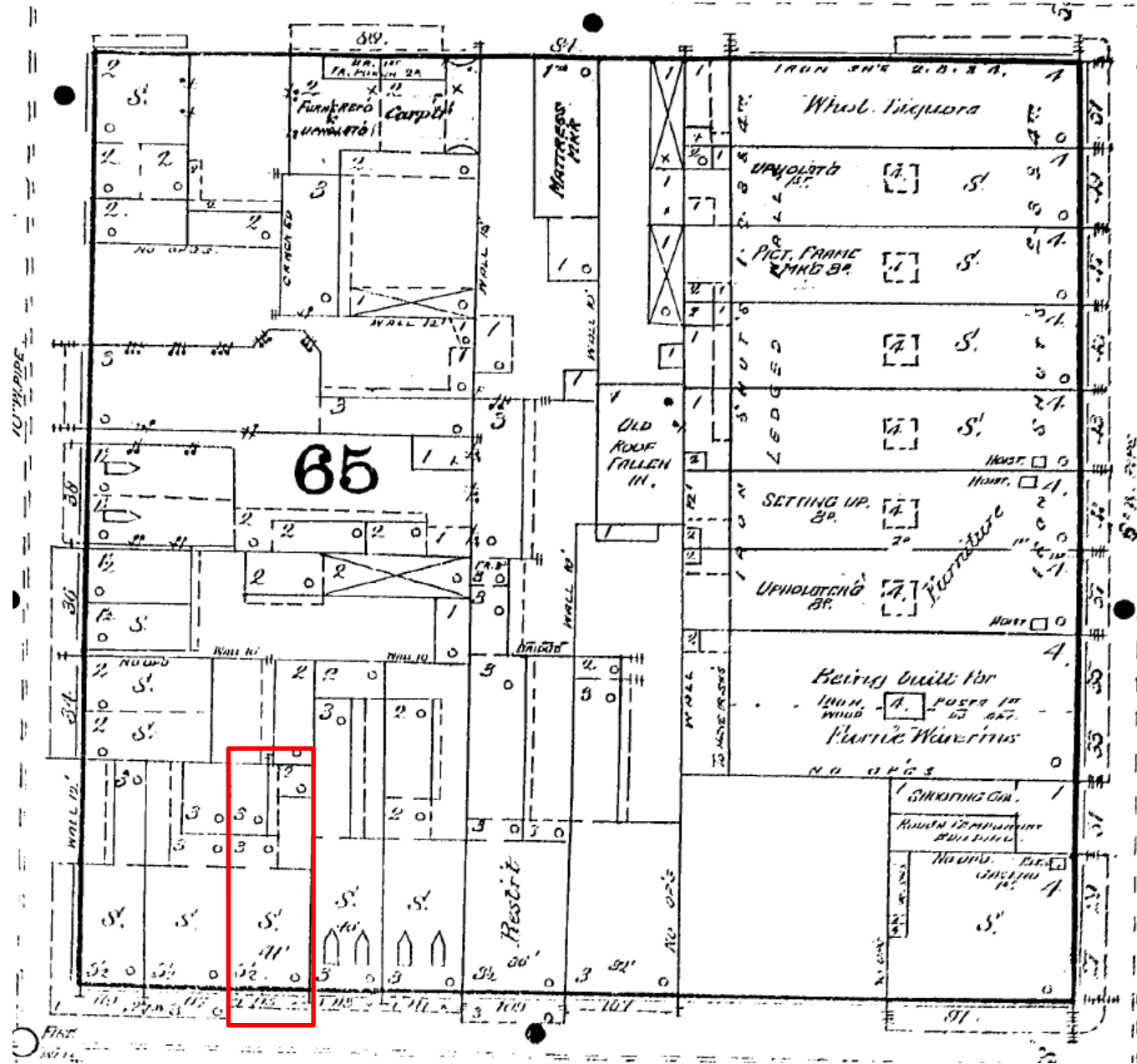


733-35 Iberville

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December 11, 2018





733-35 & 737-39 Iberville, 1885





733-35 Iberville, 1961

VCC Architectural Committee

December 11, 2018





733-35 Iberville, 2014
VCC Architectural Committee

December 11, 2018





733-35 Iberville, 2014

VCC Architectural Committee

December 11, 2018





733-35 Iberville, 2014

VCC Architectural Committee

December 11, 2018





733-35 Iberville - 2015

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December 11, 2018





733-35 Iberville – 2016

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December 11, 2018





733-35 Iberville

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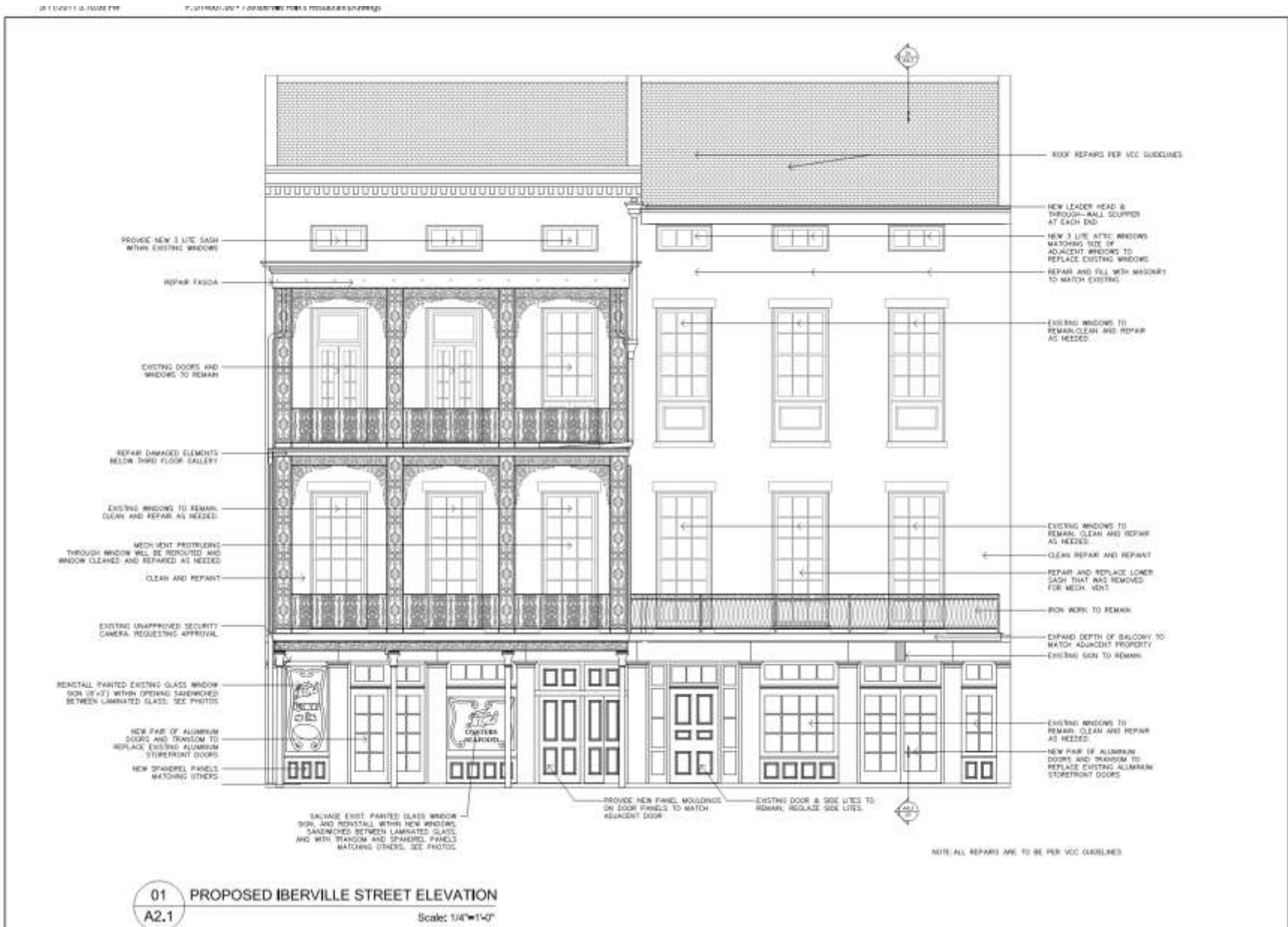


733-35 Iberville

VCC Architectural Committee

December 11, 2018





01 PROPOSED IBERVILLE STREET ELEVATION
 A2.1
 Scale: 1/8"=1'-0"

733-35 Iberville – approved 12/2014

VCC Architectural Committee

December 11, 2018





02 EXISTING IBERVILLE STREET ELEVATION
 A2.1 Scale: 1/4"=1'-0"



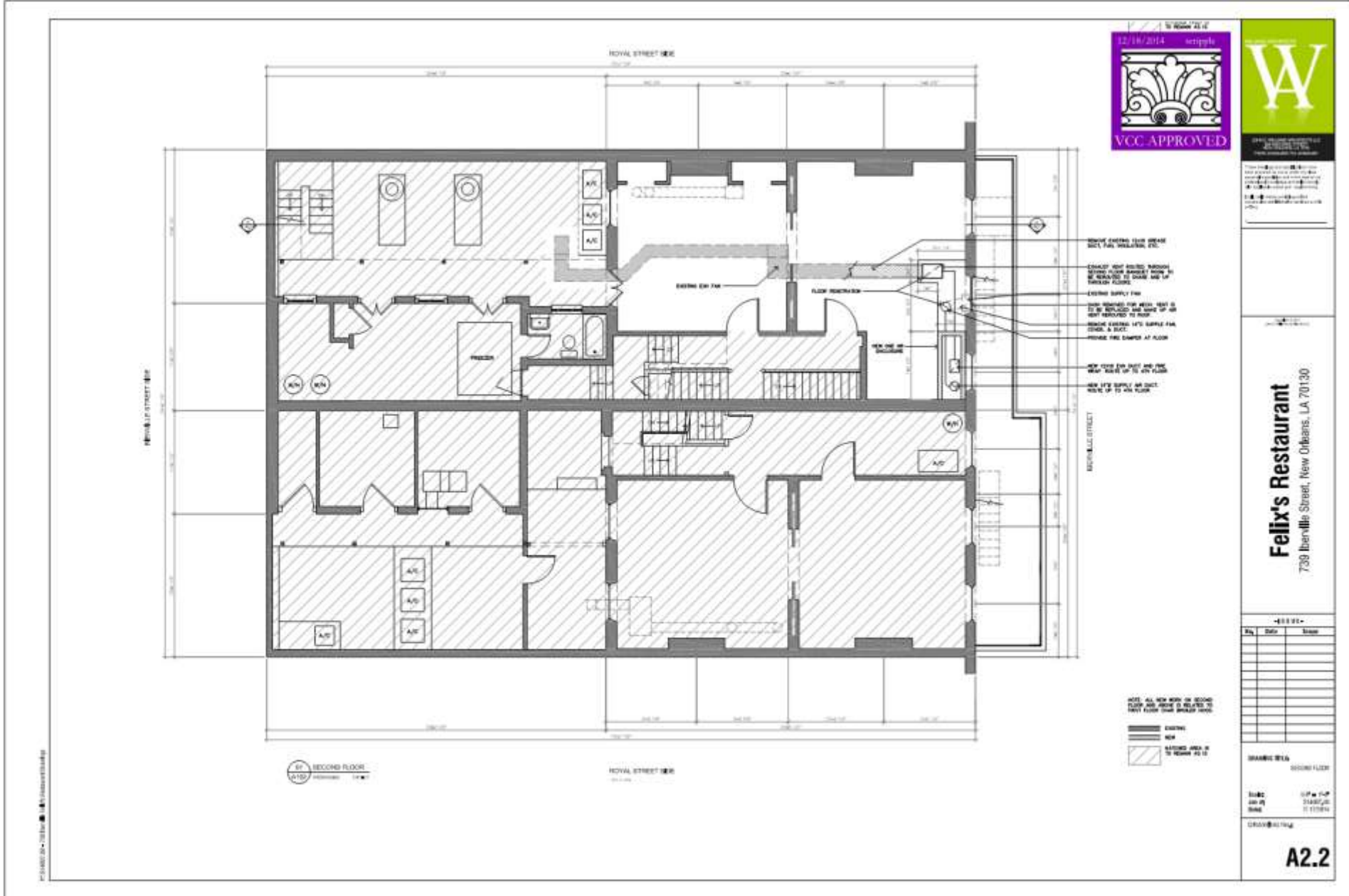
A2.1 DRAWING NO.:	SCALE: 1/4"=1'-0" DATE: 5/20/14 BY: JKW CHECK: JKW	DRAWING TITLE: PROPOSED EXTERIOR ELEVATIONS	No.	Date	Scope
			118905		
Felix's Restaurant 739 Iberville Street, New Orleans, LA 70130					
JOHN C WILLIAMS ARCHITECTS LLC 604 BOND STREET NEW ORLEANS, LA 70112 (504) 581-1111 www.jcwllc.com					

733-35 Iberville – approved 12/2014

VCC Architectural Committee

December 11, 2018





Felix's Restaurant
733 Iberville Street, New Orleans, LA 70130

NO.	DATE	REVISION

PROJECT NO. 1108
DATE 12/16/2014
DRAWN BY [Name]
CHECKED BY [Name]

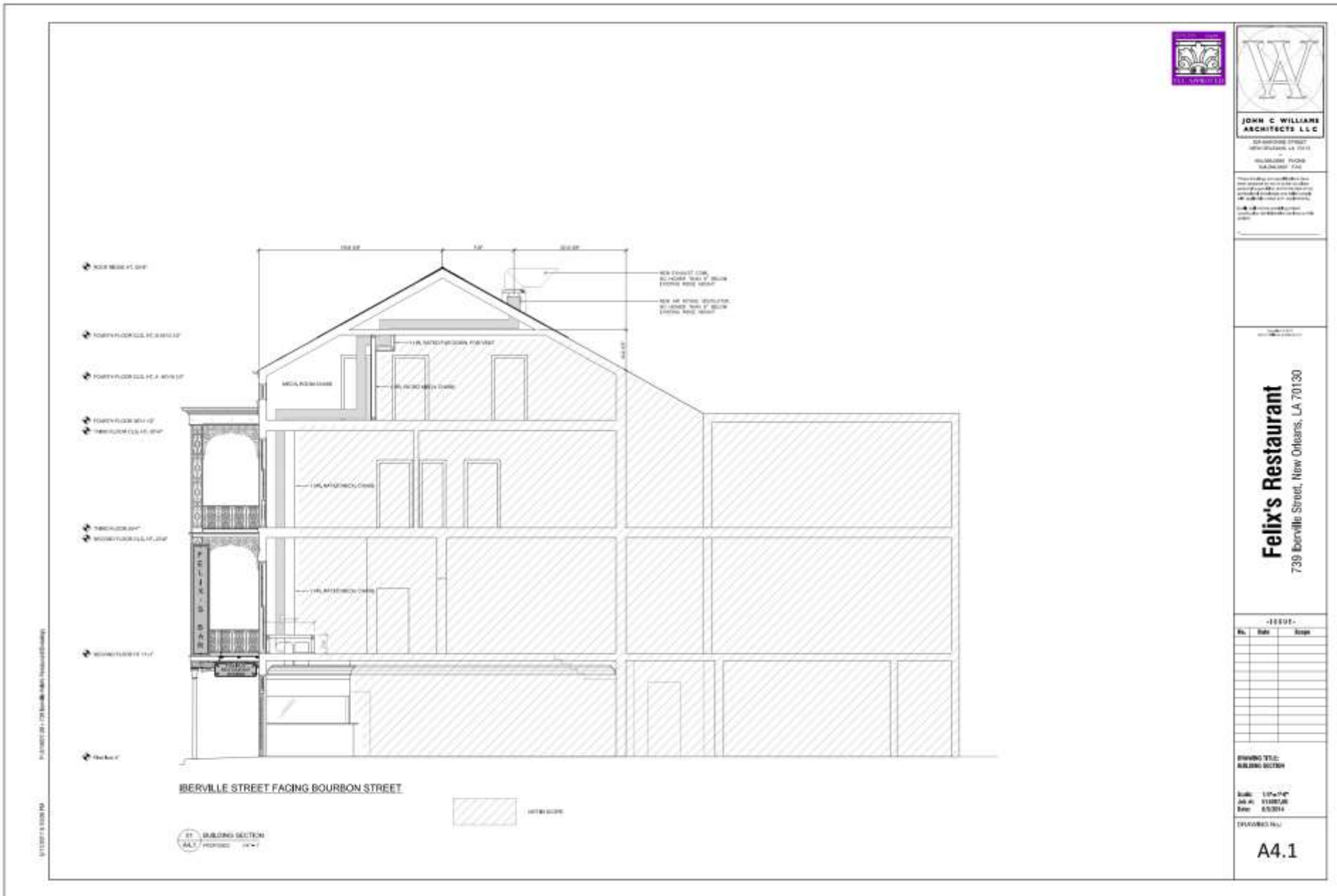
A2.2

733-35 Iberville – approved 12/2014

VCC Architectural Committee

December 11, 2018





733-35 Iberville – approved 12/2014

VCC Architectural Committee

December 11, 2018

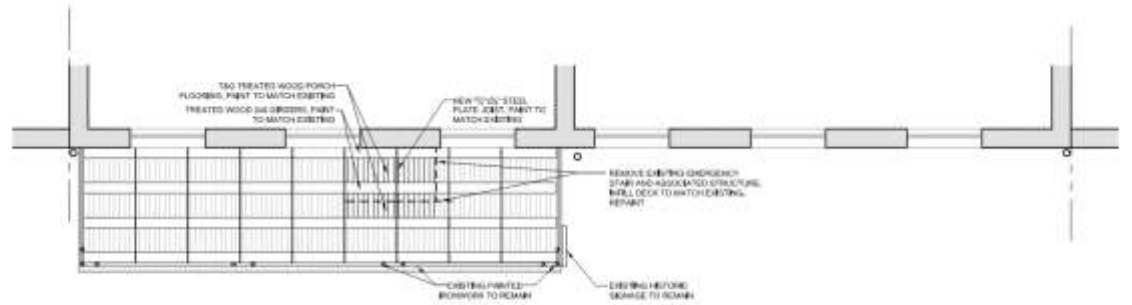




IBERVILLE ST. ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. CLEAN UP AND REPAIR EXISTING WORK AND SURFACE WHERE APPLICABLE (E.G. BRICKS, TERRAZZO, ALL JOINTS, COULTERS, WATER TABLES, ETC.). (TYPICAL, TAKE AS NOTED)
2. REMOVE EXISTING PAINT ALL PROBABLY ABANDONED OR IN ALL AREAS OF THE BUILDING (FIELD REPORT) (AS-BUILT APPROVAL ON ALL PAINT COLORS)



SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

- REMOVE EXISTING NON-COMPLIANT FIRE ESCAPE. CLEAN UP AND REPAIR. APPLICABLE TO THE NORTH AND SOUTH
- REMOVE EXISTING EXTERIOR BRICK AND MOOR PANEL. REPLACE BY BRICK TO MATCH EXISTING AND FLOOR CONCRETE
- REMOVE EXISTING MARKING ON GLAZED CONC. FROM BALCONY AREA
- PAINTED ORNAMENTAL BRICK PANELS. FLUSH BY SMALL PLANE TO EXISTING PANEL. SHOULD TO BE APPROVED BY ICC BY MECHANICAL DEPARTMENT LOWER LEVEL



737-739 IBERVILLE ST.



733-735 IBERVILLE ST.



733-35 Iberville – proposed

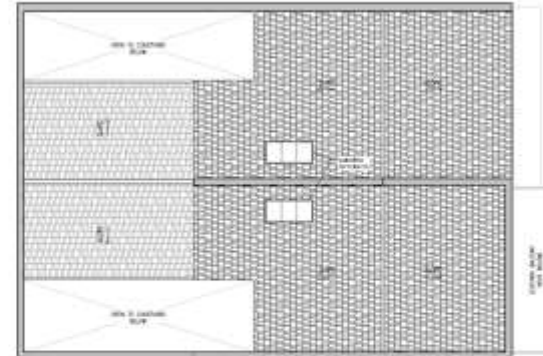
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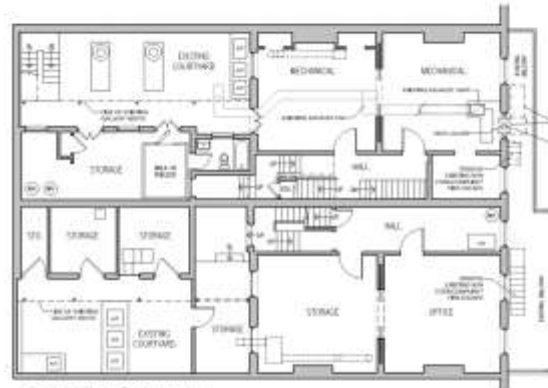




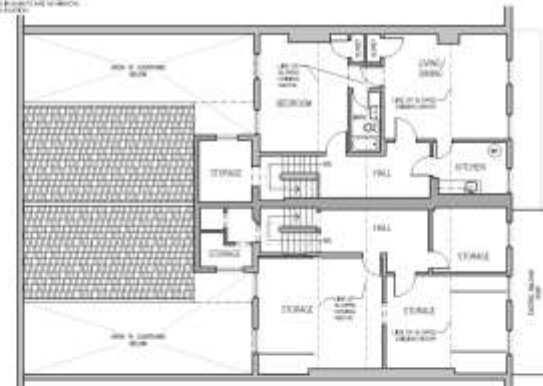
THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



ROOF PLAN
SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



FOURTH FLOOR PLAN
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

733-35 Iberville – proposed

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December 11, 2018

