

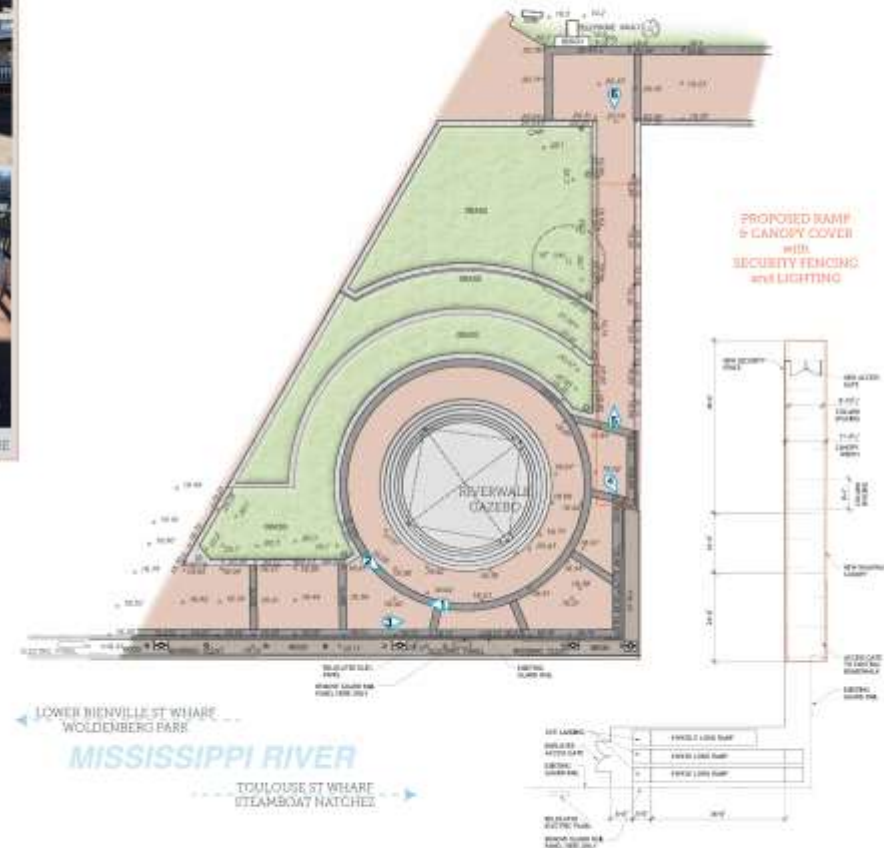


# Vieux Carré Commission Architectural Committee Meeting

Tuesday, August 14, 2018



Other Business



NEW ORLEANS STEAMBOAT COMPANY

SCALE: 1" = 10'-0"

NEW ORLEANS, LOUISIANA

0' 20' 40' 60'

TORRE DESIGN







06 25 2018





Capital One Plaza  
and  
Capital One

06 25 2018







06 25 2018











06 25 2018







06 25 2018







06 25 2018











06 25 2018





Old Business



820 Dauphine





820 Dauphine







820 Dauphine





820 Dauphine







820 Dauphine – c. 1950



820 Dauphine





820 Dauphine



820 Dauphine



820 Dauphine











820 Dauphine

VCC Architectural Committee

July 10, 2018





820 Dauphine

VCC Architectural Committee

July 10, 2018







820 Dauphine

VCC Architectural Committee

July 10, 2018





820 Dauphine

VCC Architectural Committee

July 10, 2018







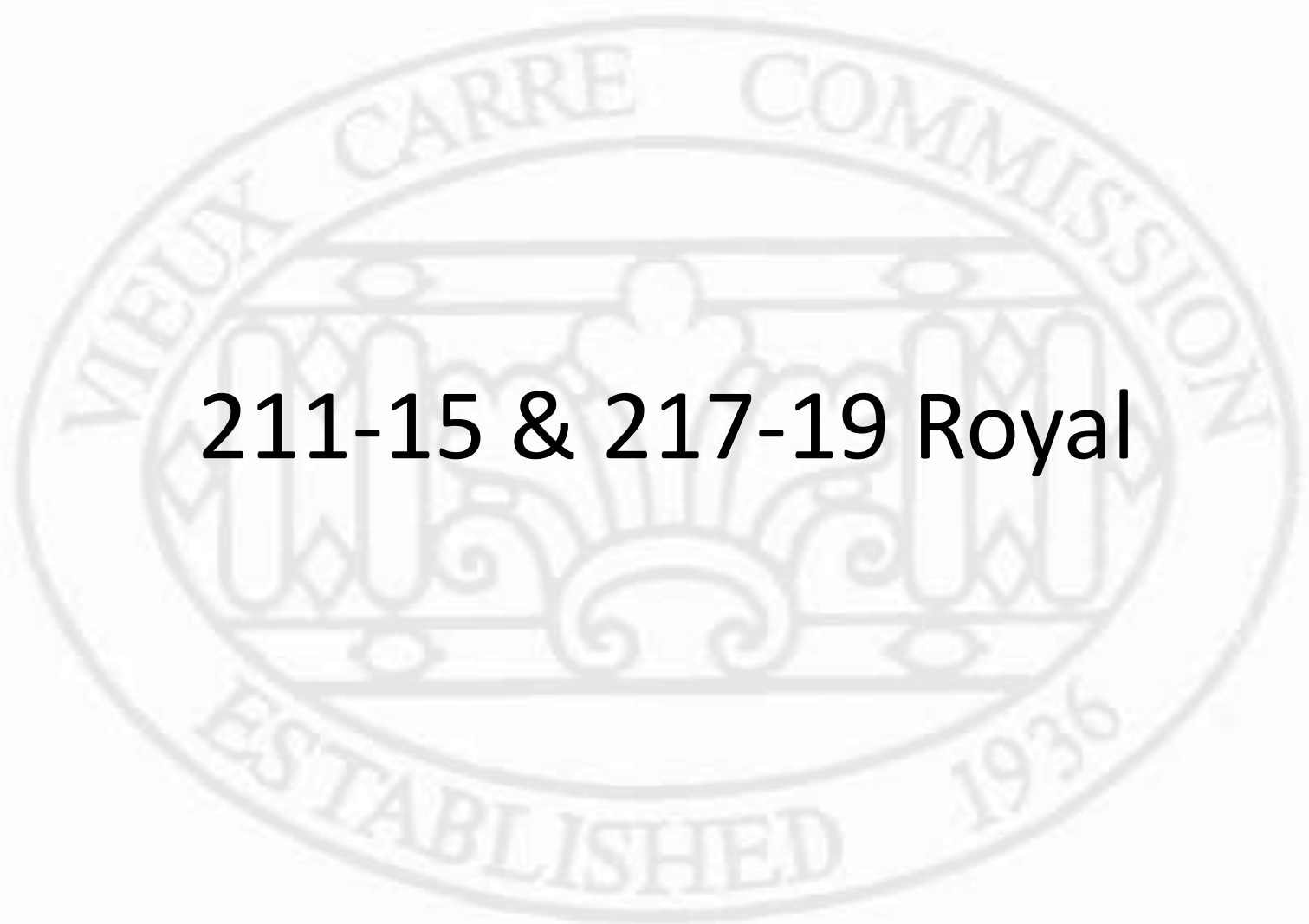
PHASE 2 METAL PANEL

820 Dauphine

VCC Architectural Committee

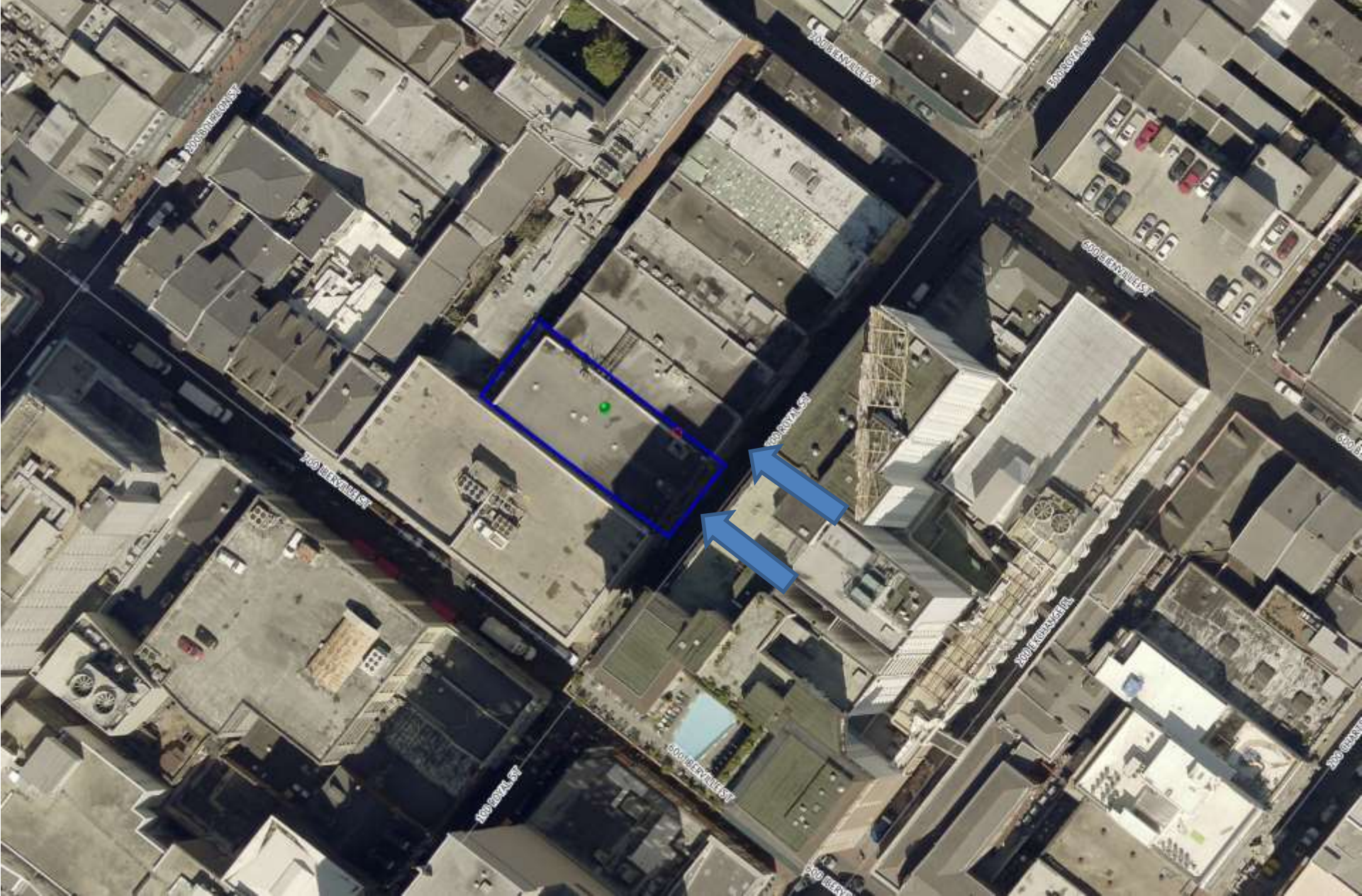
July 10, 2018





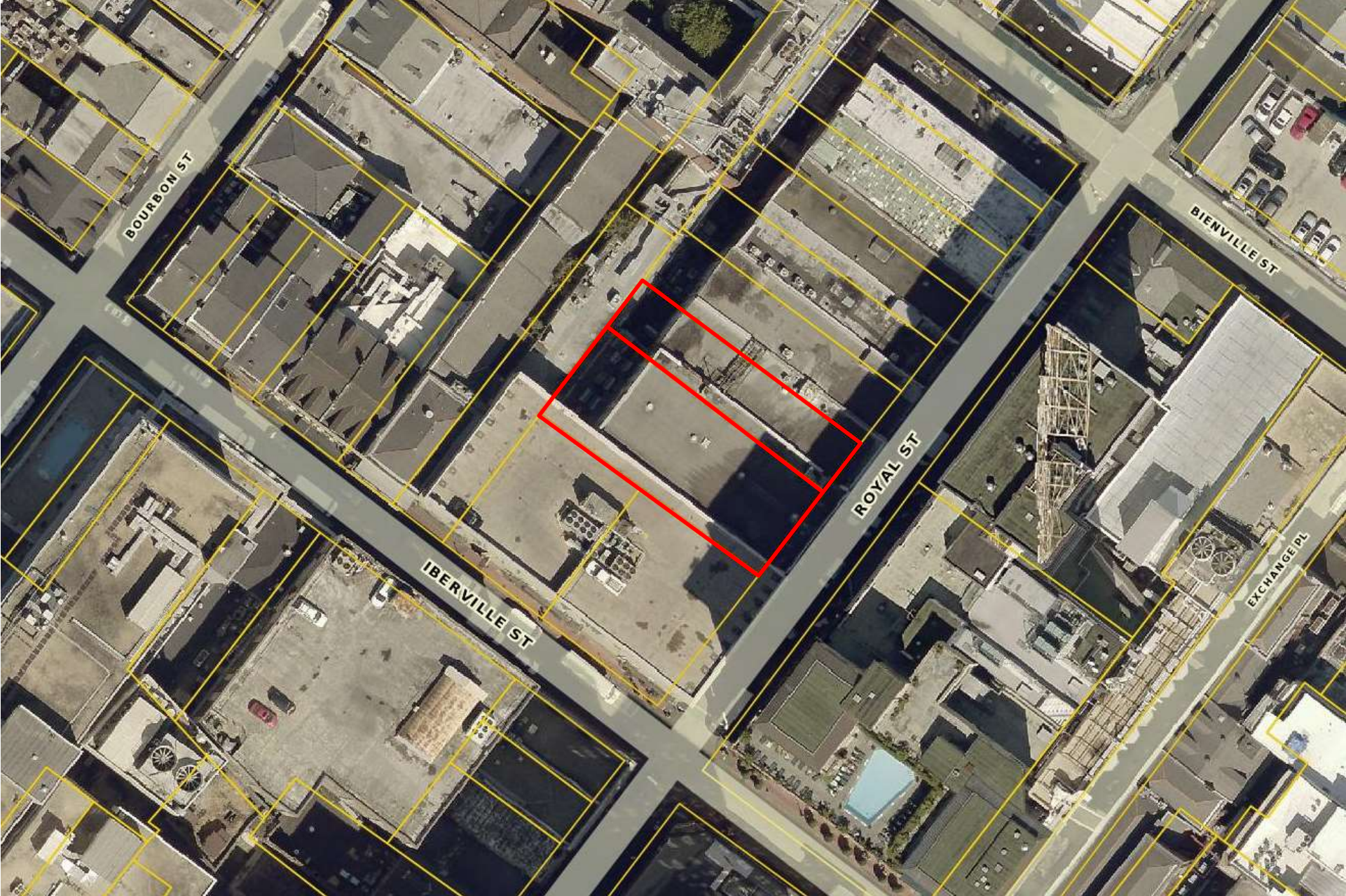
**211-15 & 217-19 Royal**





211-15 & 217-19 Royal



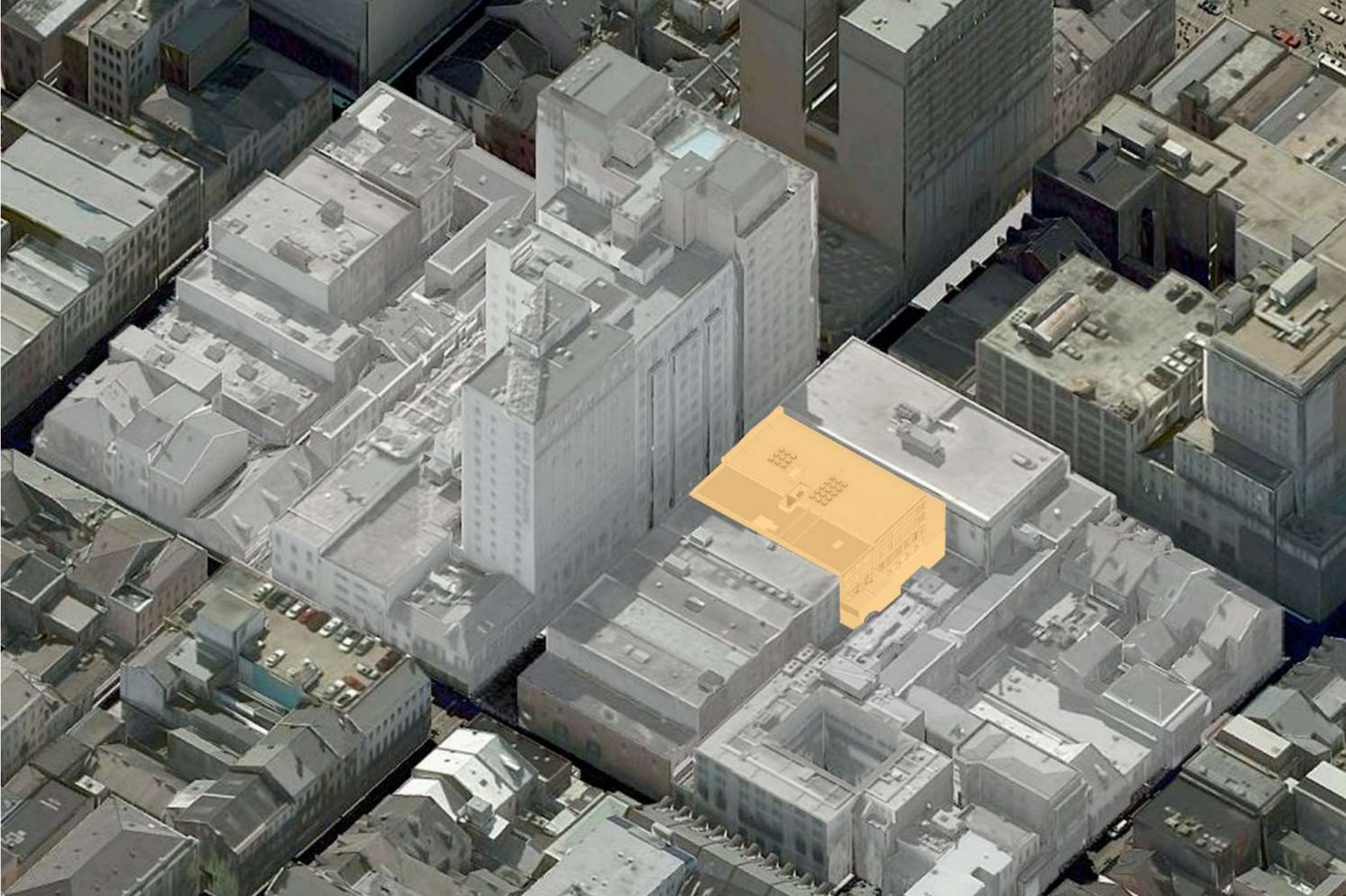


211-15 & 217-19 Royal





211-15 & 217-19 Royal



211-15 & 217-19 Royal







211-15 & 217-19 Royal



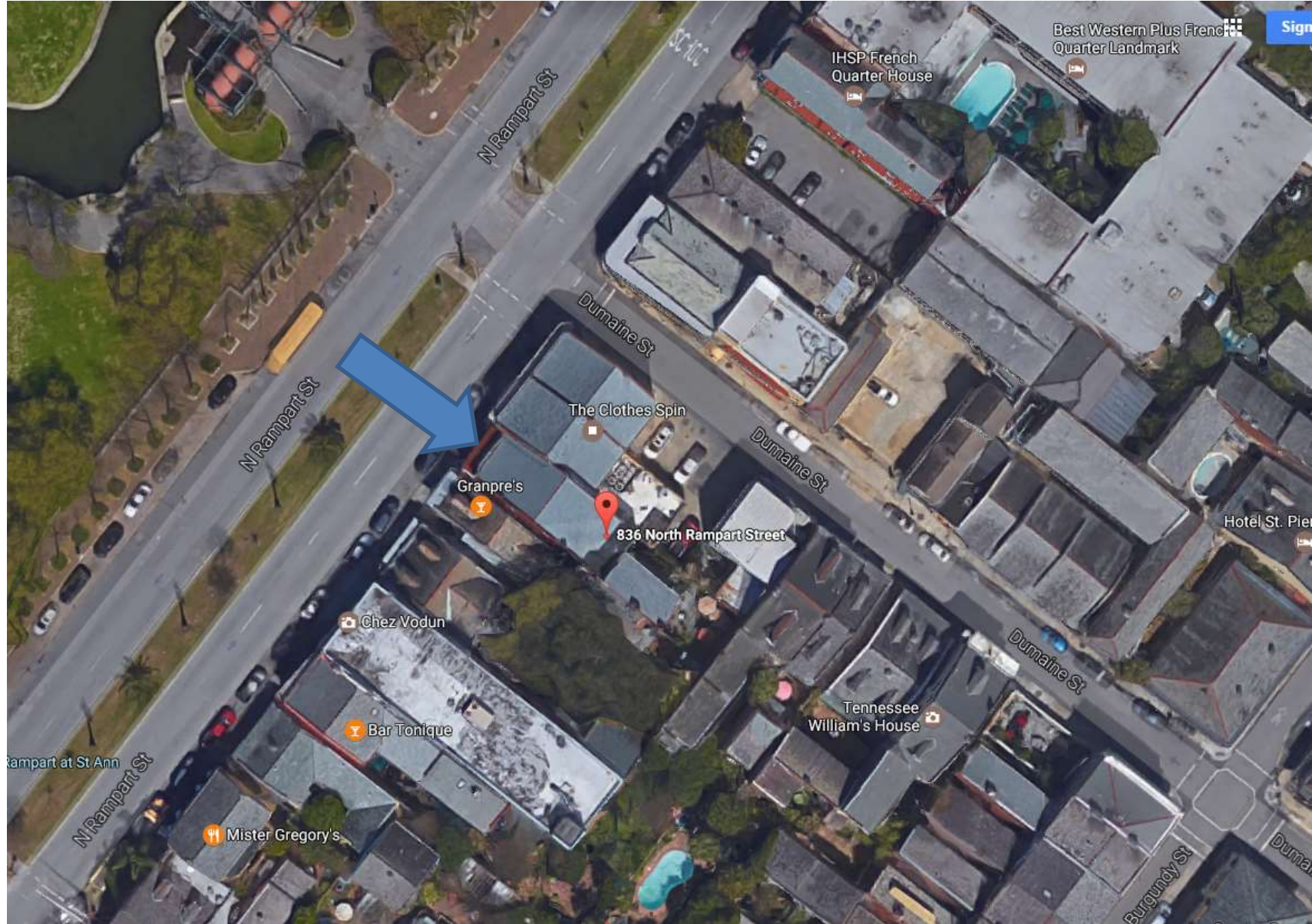


211-15 & 217-19 Royal

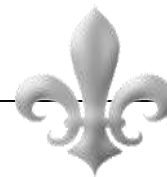




834-36 N Rampart



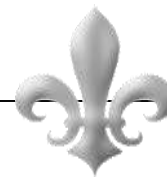
836 N Rampart

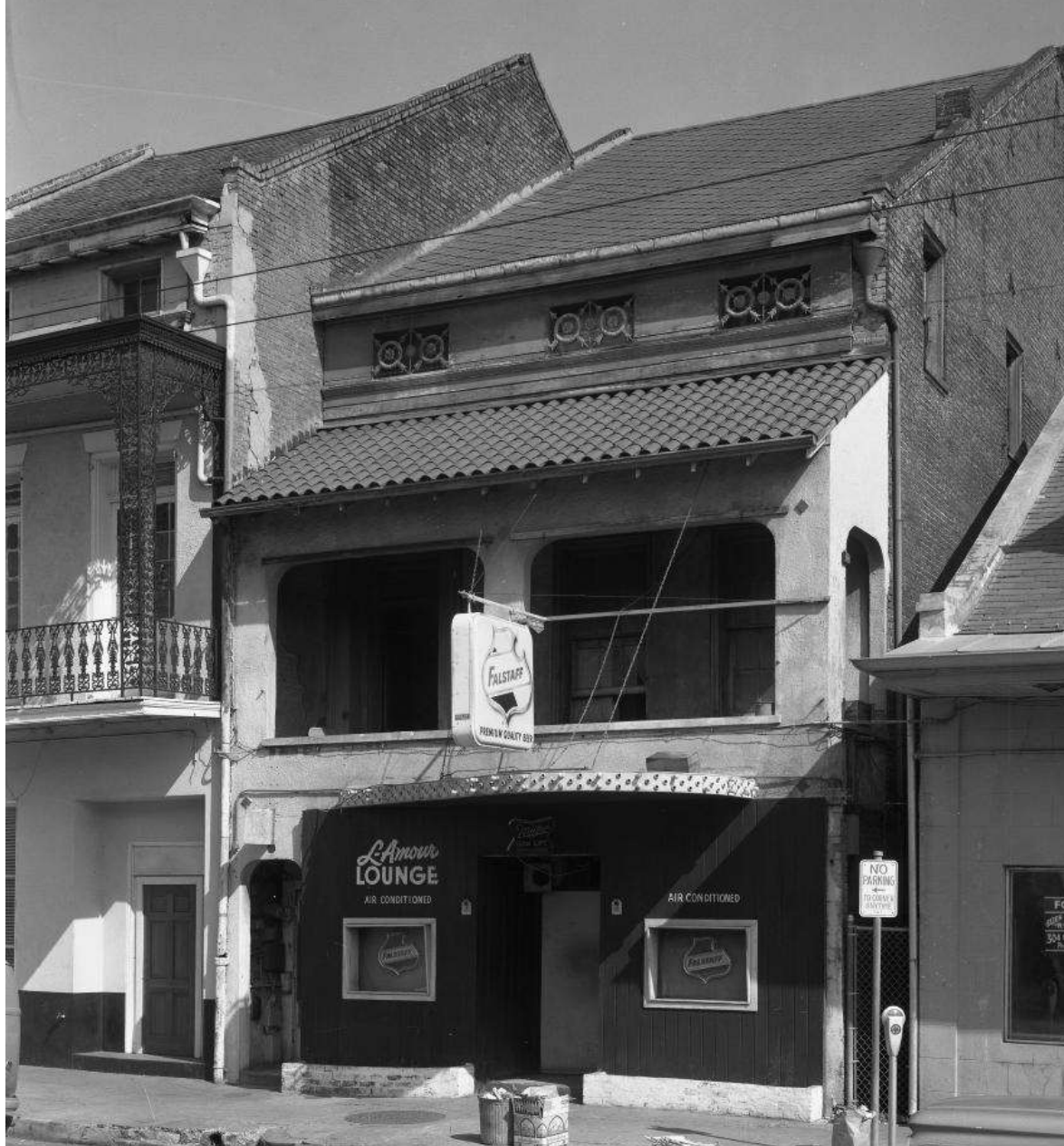




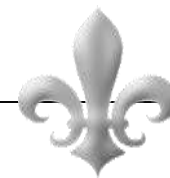


836 N Rampart





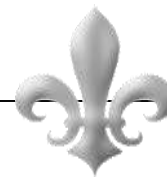
836 N Rampart





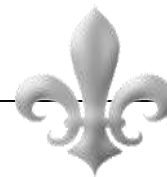


836 N Rampart

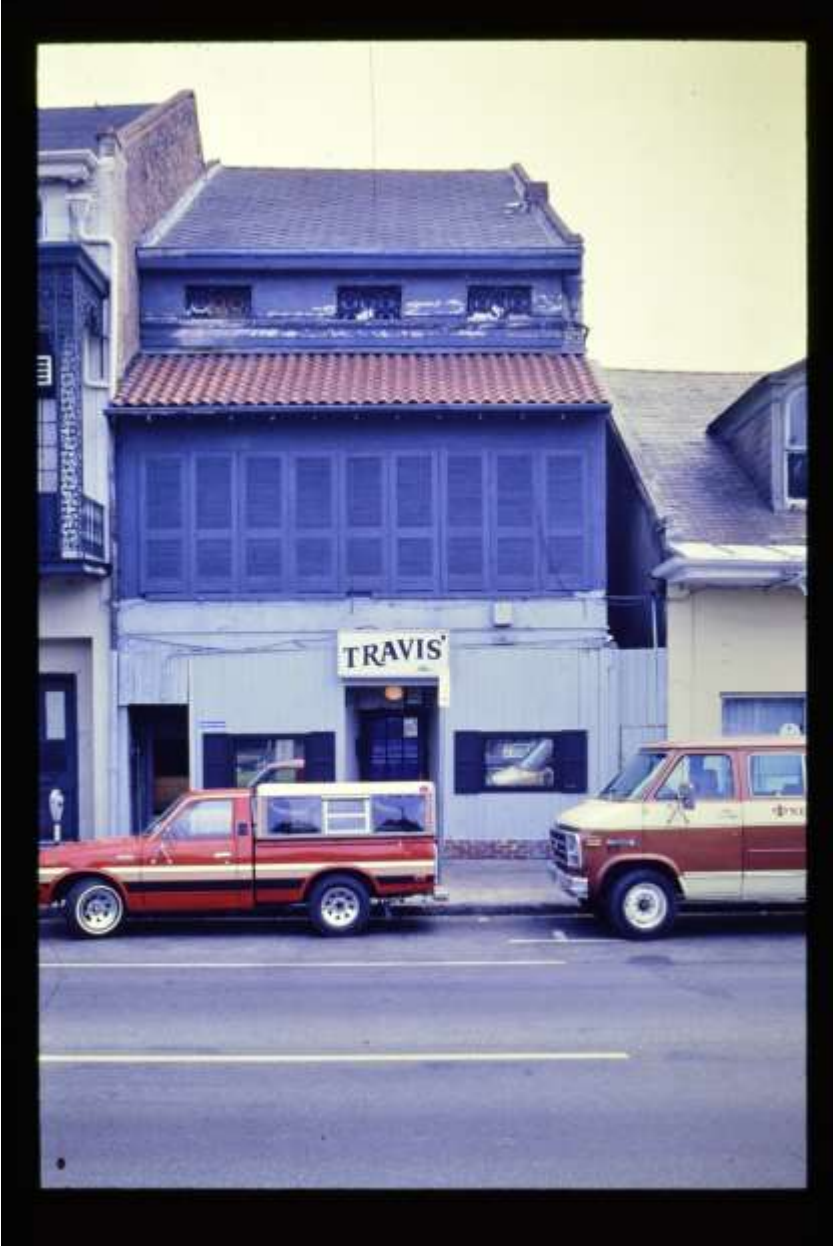




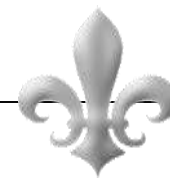
836 N Rampart





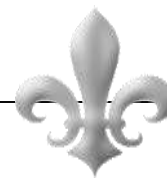


836 N Rampart





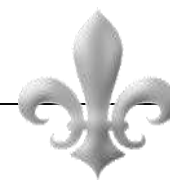
836 N Rampart





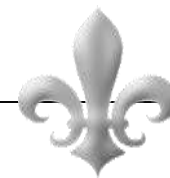


836 N Rampart





836 N Rampart













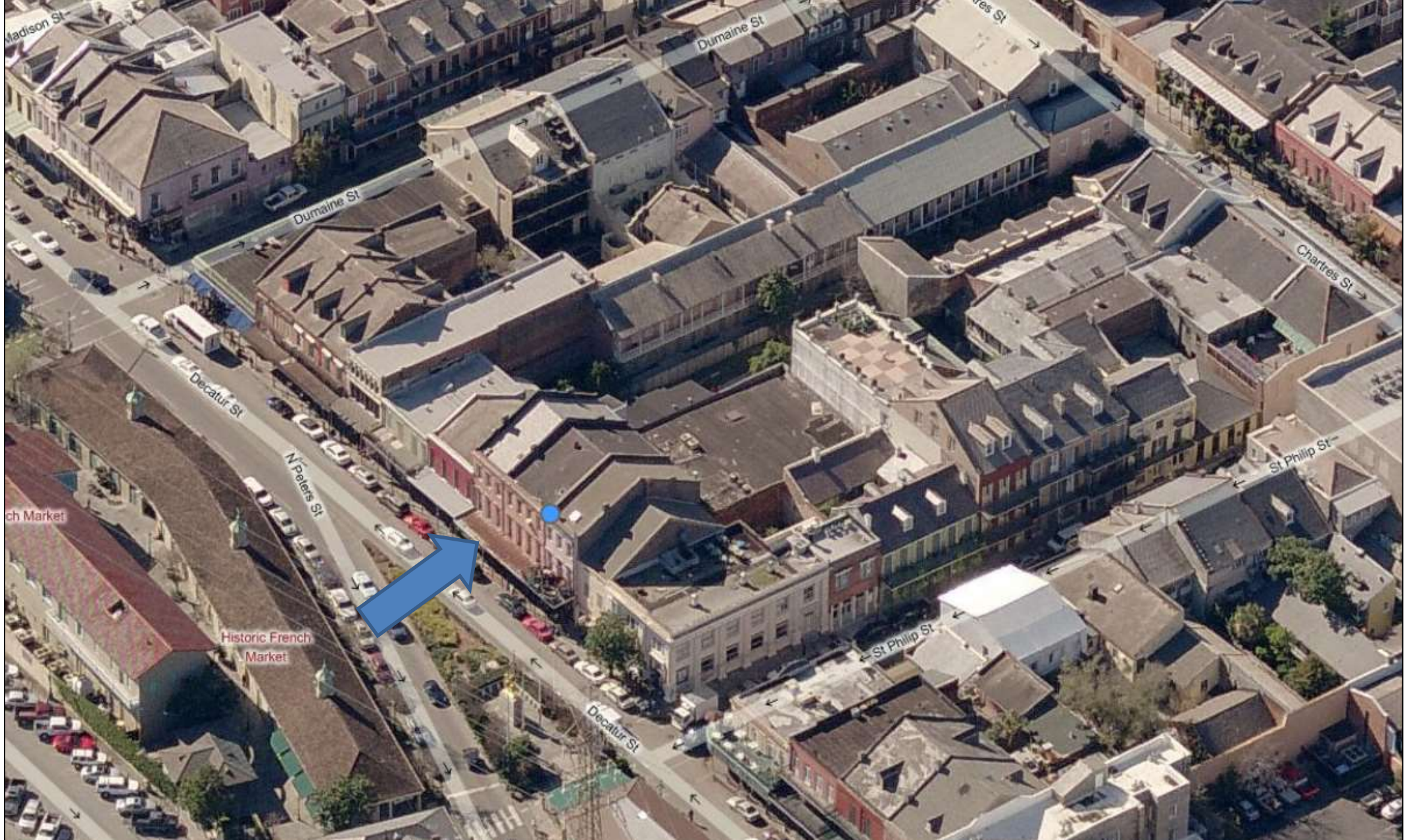
10 18 2017



925 Decatur







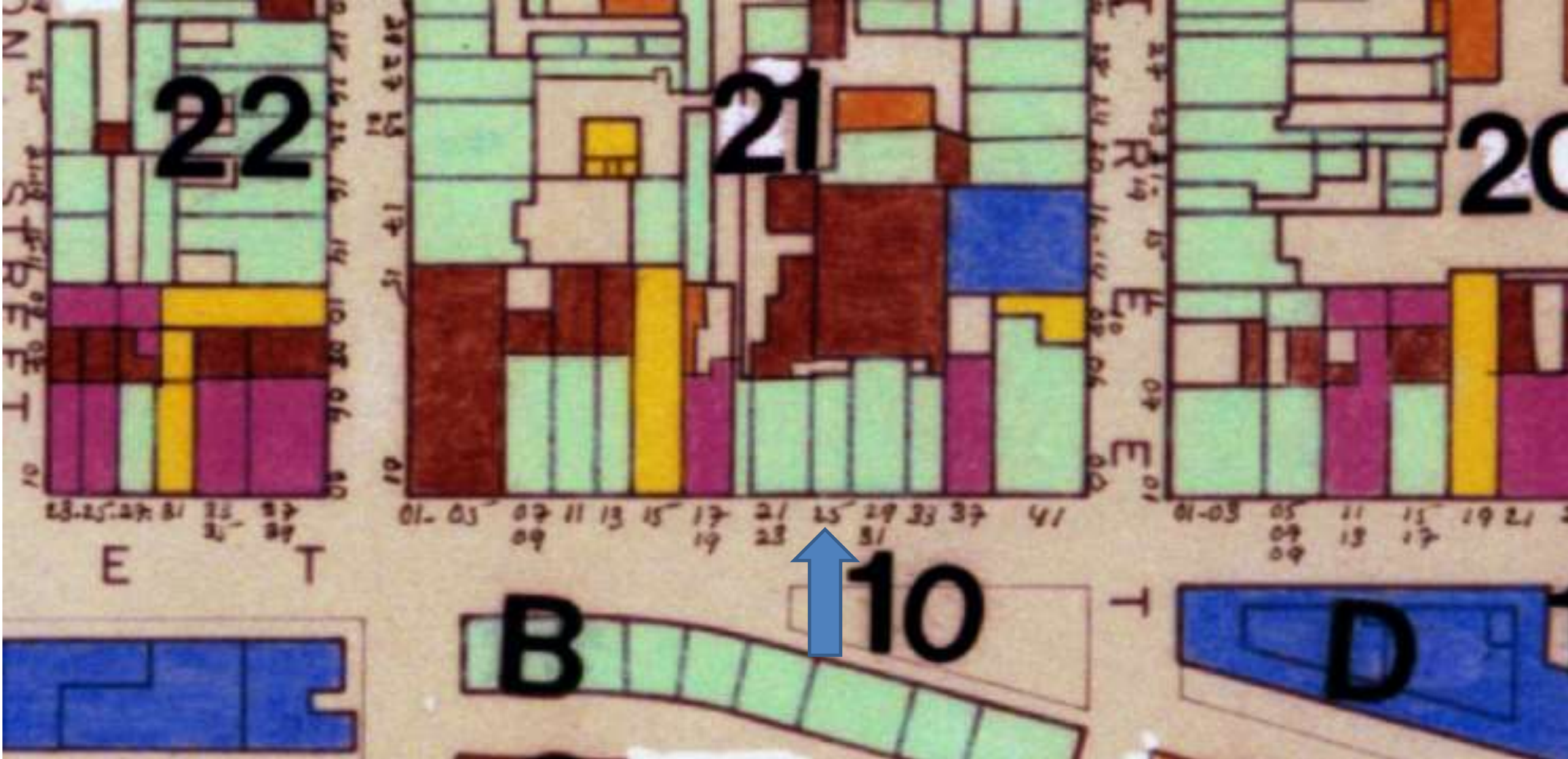
925 Decatur

VCC Architectural Committee

August 14, 2018







925 Decatur

VCC Architectural Committee

August 14, 2018







925 Decatur

VCC Architectural Committee

August 14, 2018





925 Decatur





925 Decatur



925 Decatur





925 Decatur

VCC Architectural Committee

August 14, 2018





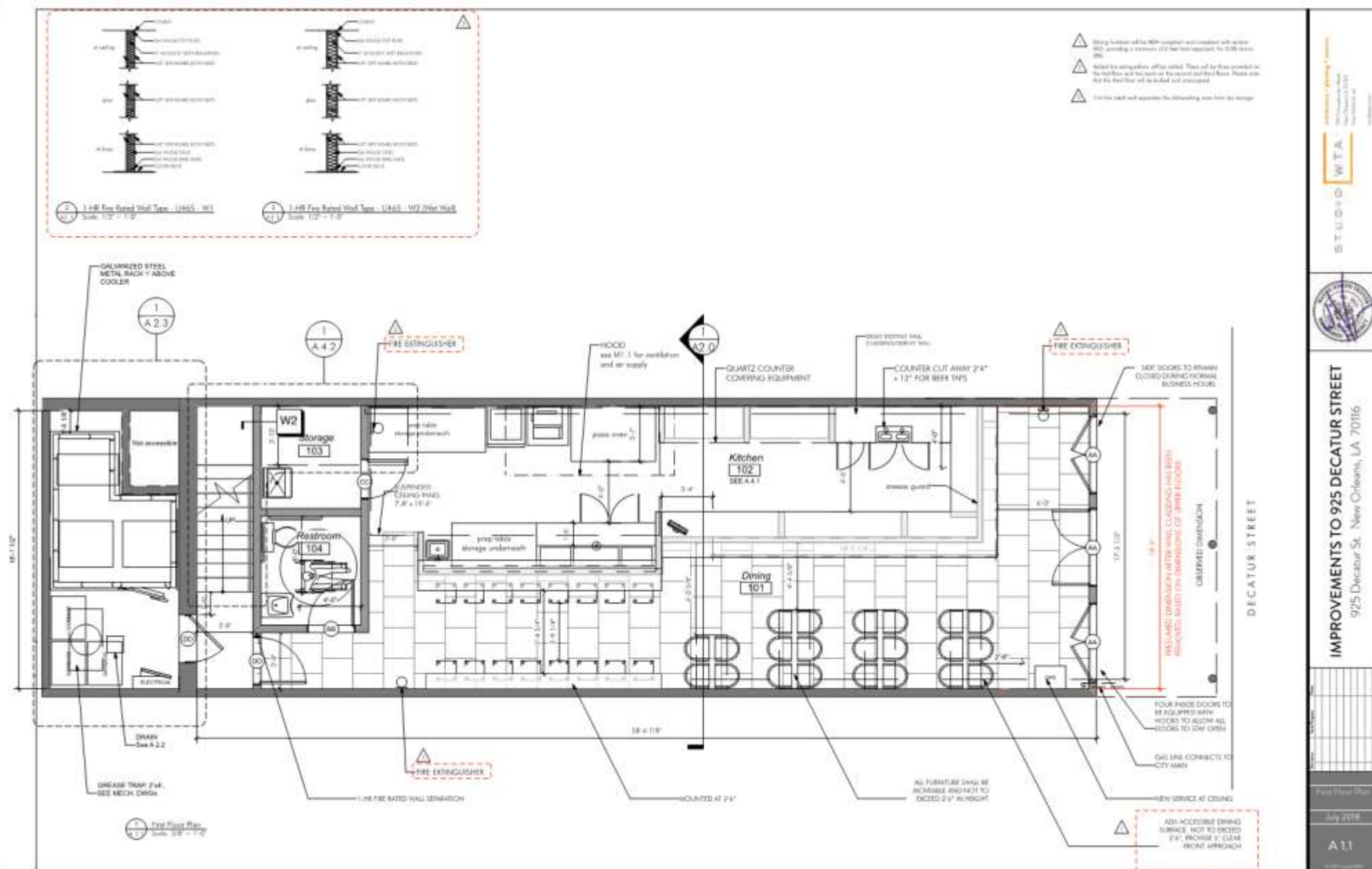
925 Decatur

VCC Architectural Committee

August 14, 2018







925 Decatur

VCC Architectural Committee

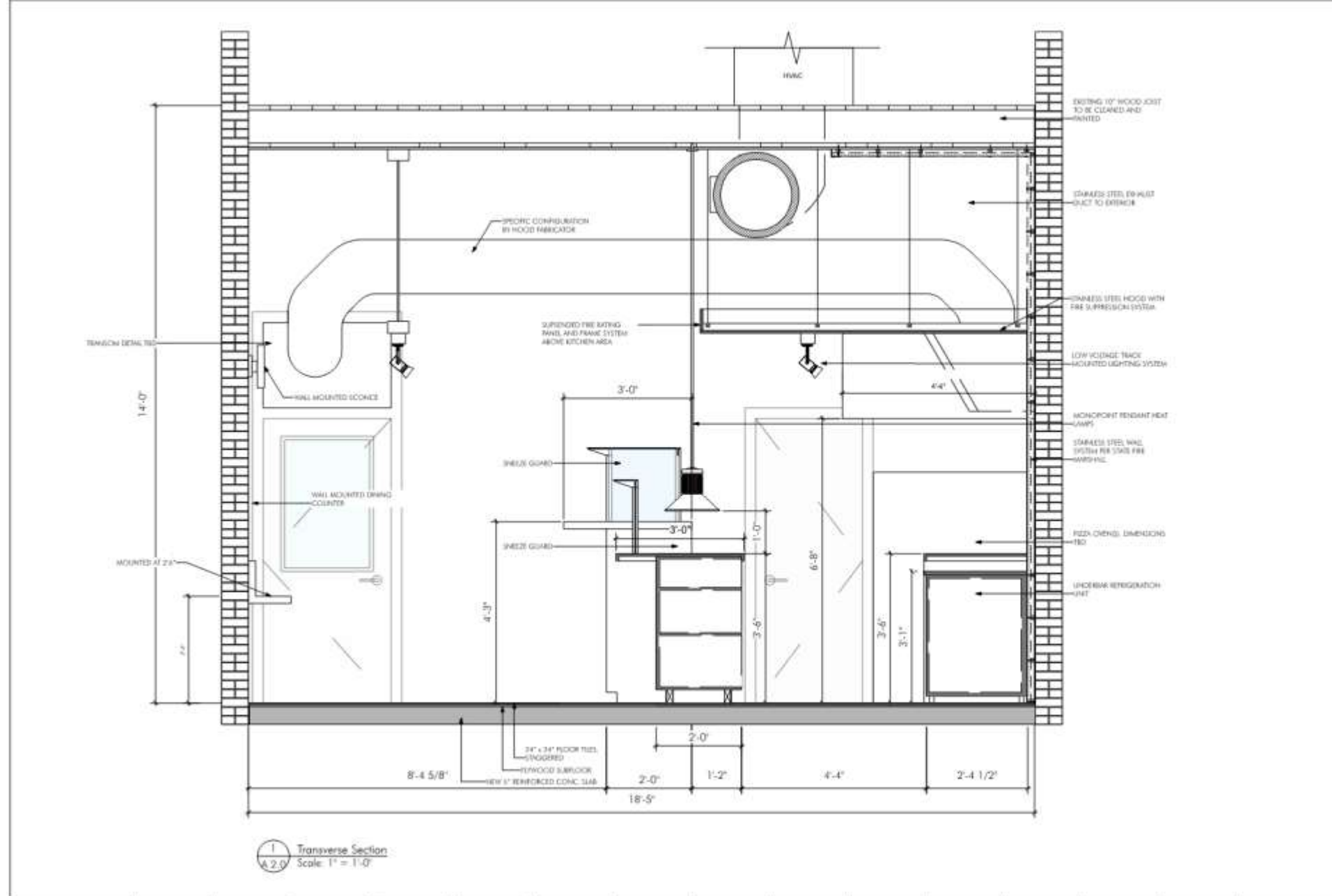
August 14, 2018

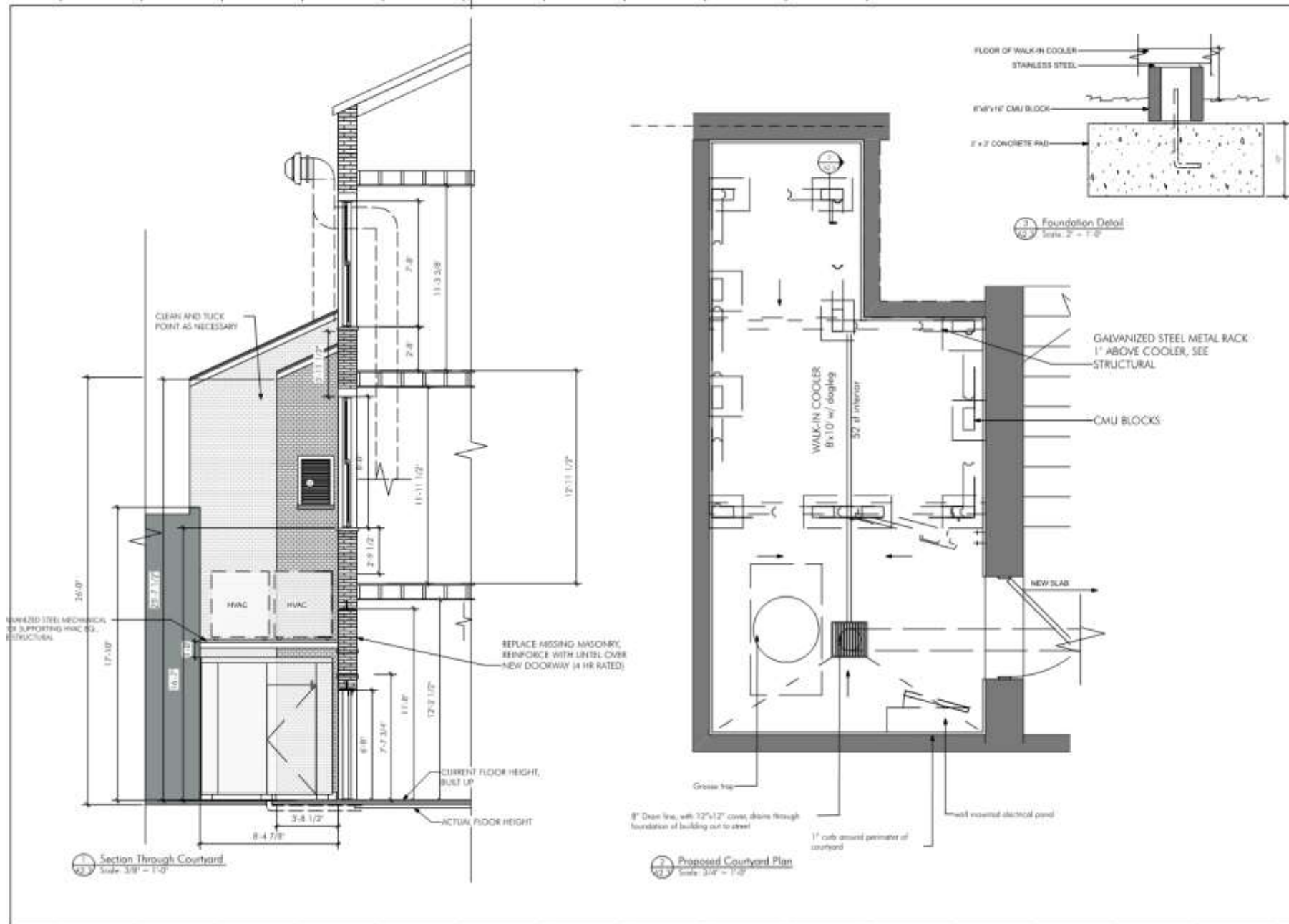




August 14, 2018





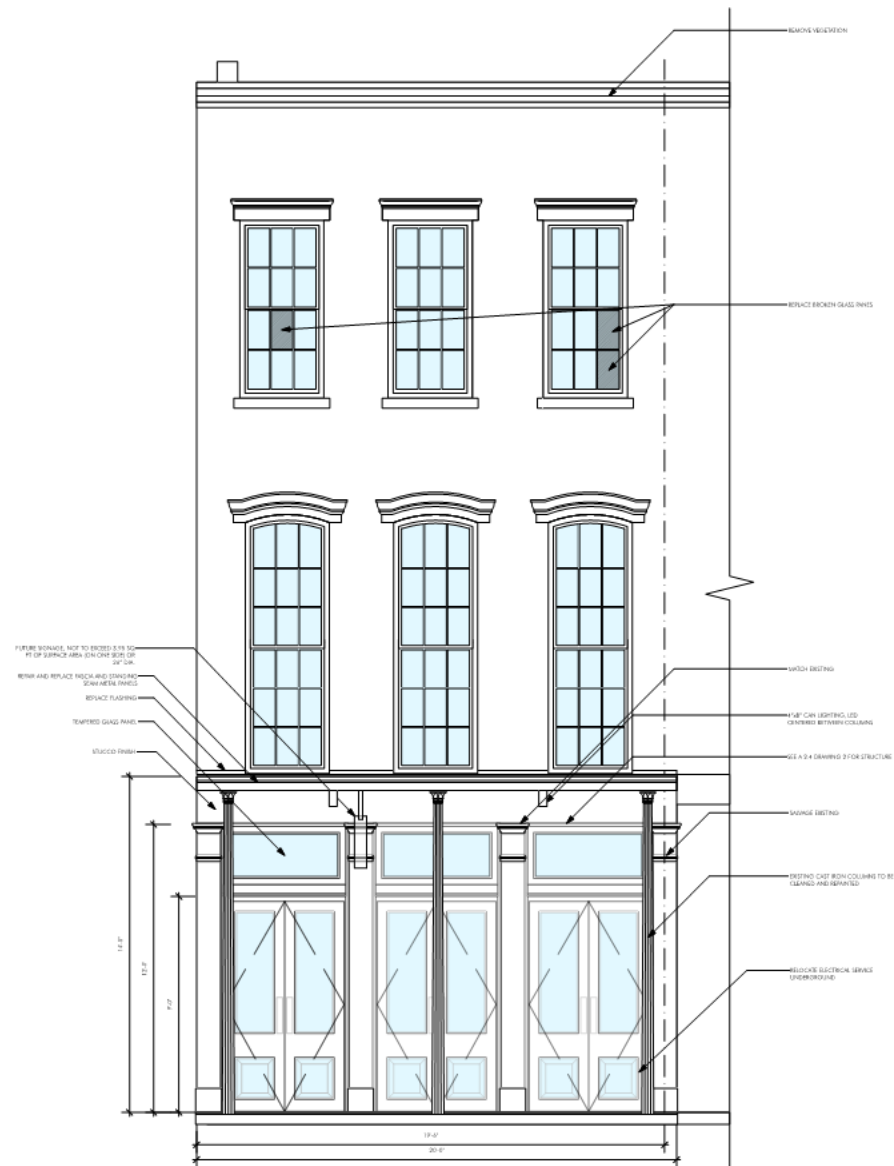




[illegible]

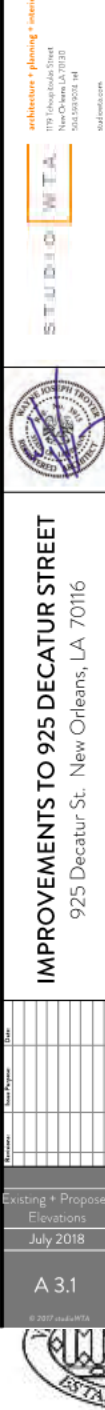
## A 2.4





## 925 Decatur

August 14, 2018



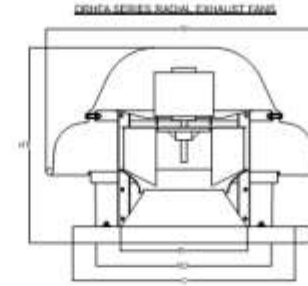




1  
A.3.1 925 Decatur St - Existing Rear Elevation  
3/8" = 1'-0"



1  
A.3.2 925 Decatur St - Proposed Rear Elevation  
3/8" = 1'-0"



DELTA SERIES RADIAL EXHAUST FAN  
IDENTIFICATION RADIAL EXHAUST FAN DIMENSIONAL DATA

FAN MODEL	HP	W	D	H	W	D	HP	W	D	HP
DELTA 10-10	10-10	10-10	10-10	10-10	10-10	10-10	10-10	10-10	10-10	10-10
DELTA 10-12	10-12	10-12	10-12	10-12	10-12	10-12	10-12	10-12	10-12	10-12
DELTA 10-14	10-14	10-14	10-14	10-14	10-14	10-14	10-14	10-14	10-14	10-14
DELTA 10-16	10-16	10-16	10-16	10-16	10-16	10-16	10-16	10-16	10-16	10-16
DELTA 10-18	10-18	10-18	10-18	10-18	10-18	10-18	10-18	10-18	10-18	10-18
DELTA 10-20	10-20	10-20	10-20	10-20	10-20	10-20	10-20	10-20	10-20	10-20
DELTA 10-22	10-22	10-22	10-22	10-22	10-22	10-22	10-22	10-22	10-22	10-22
DELTA 10-24	10-24	10-24	10-24	10-24	10-24	10-24	10-24	10-24	10-24	10-24
DELTA 10-26	10-26	10-26	10-26	10-26	10-26	10-26	10-26	10-26	10-26	10-26
DELTA 10-28	10-28	10-28	10-28	10-28	10-28	10-28	10-28	10-28	10-28	10-28
DELTA 10-30	10-30	10-30	10-30	10-30	10-30	10-30	10-30	10-30	10-30	10-30
DELTA 10-32	10-32	10-32	10-32	10-32	10-32	10-32	10-32	10-32	10-32	10-32
DELTA 10-34	10-34	10-34	10-34	10-34	10-34	10-34	10-34	10-34	10-34	10-34
DELTA 10-36	10-36	10-36	10-36	10-36	10-36	10-36	10-36	10-36	10-36	10-36
DELTA 10-38	10-38	10-38	10-38	10-38	10-38	10-38	10-38	10-38	10-38	10-38
DELTA 10-40	10-40	10-40	10-40	10-40	10-40	10-40	10-40	10-40	10-40	10-40
DELTA 10-42	10-42	10-42	10-42	10-42	10-42	10-42	10-42	10-42	10-42	10-42
DELTA 10-44	10-44	10-44	10-44	10-44	10-44	10-44	10-44	10-44	10-44	10-44
DELTA 10-46	10-46	10-46	10-46	10-46	10-46	10-46	10-46	10-46	10-46	10-46
DELTA 10-48	10-48	10-48	10-48	10-48	10-48	10-48	10-48	10-48	10-48	10-48
DELTA 10-50	10-50	10-50	10-50	10-50	10-50	10-50	10-50	10-50	10-50	10-50

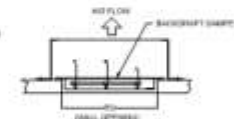
#### BACKDRAFT DAMPER INSTALLATION

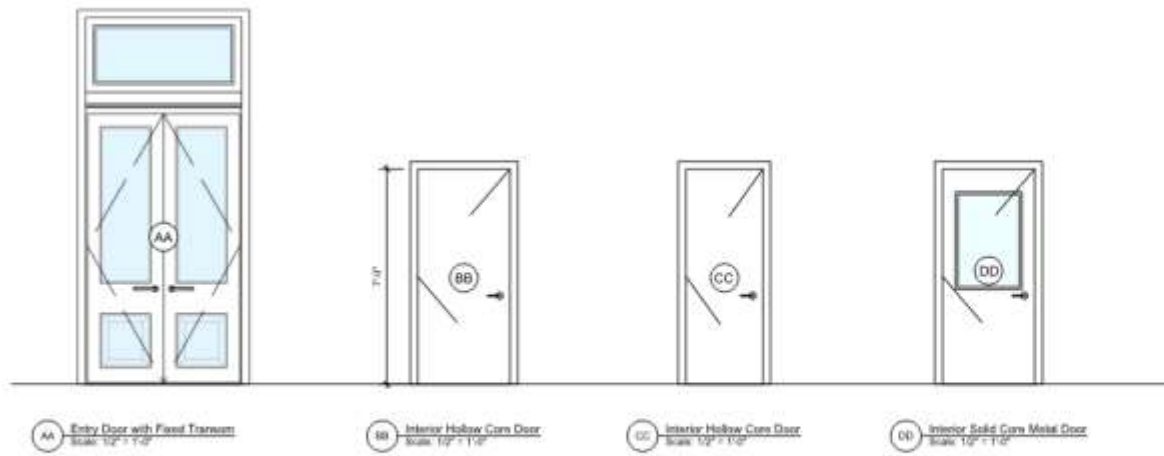
##### FEATURES

- DIRECT DRIVE CONSTRUCTION (NO BELT/PULLEY)
- ROOF MOUNTED FAN
- UL LISTED
- SAFETY DISCONNECT
- STANDARD WIND SCREEN
- SPEED CONTROL

##### OPTIONS

- BACKDRAFT DAMPER
- HEAVY DUTY
- WINDSCREEN
- INSULATED CURB





Door Schedule									
Door	Size	Height	Width	Material	Finish	Notes	Remarks	Notes	Remarks
AA	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed Transom		
BB	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed		
CC	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed		
DD	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed		

Window Schedule									
Window	Size	Height	Width	Material	Finish	Notes	Remarks	Notes	Remarks
A	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed		
B	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed		
C	3'-0"	6'-8"	3'-0"	Steel	Paint		Painted, Fixed		

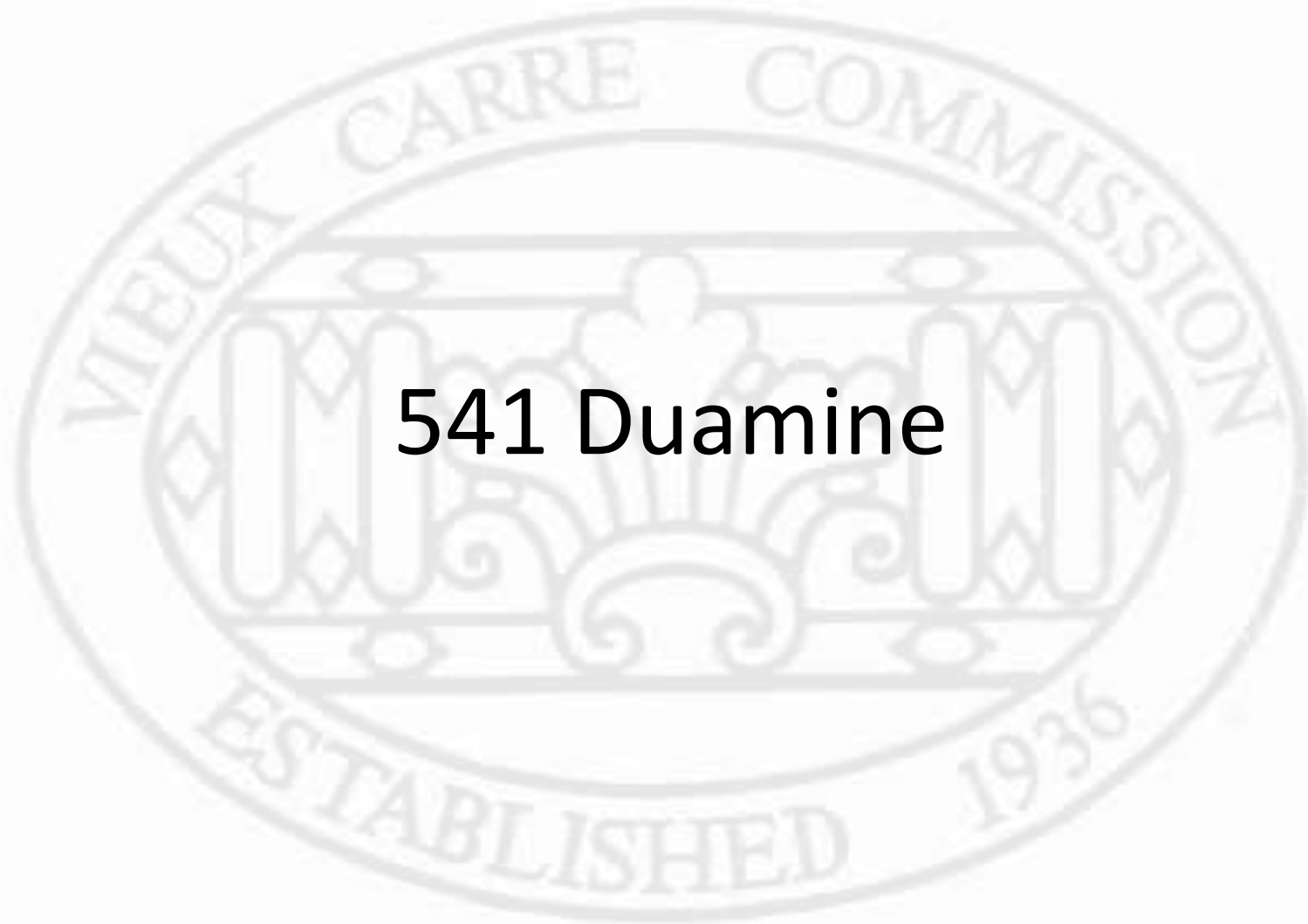
### GENERAL NOTES

Repair damaged mullions and reglaze windows where necessary.

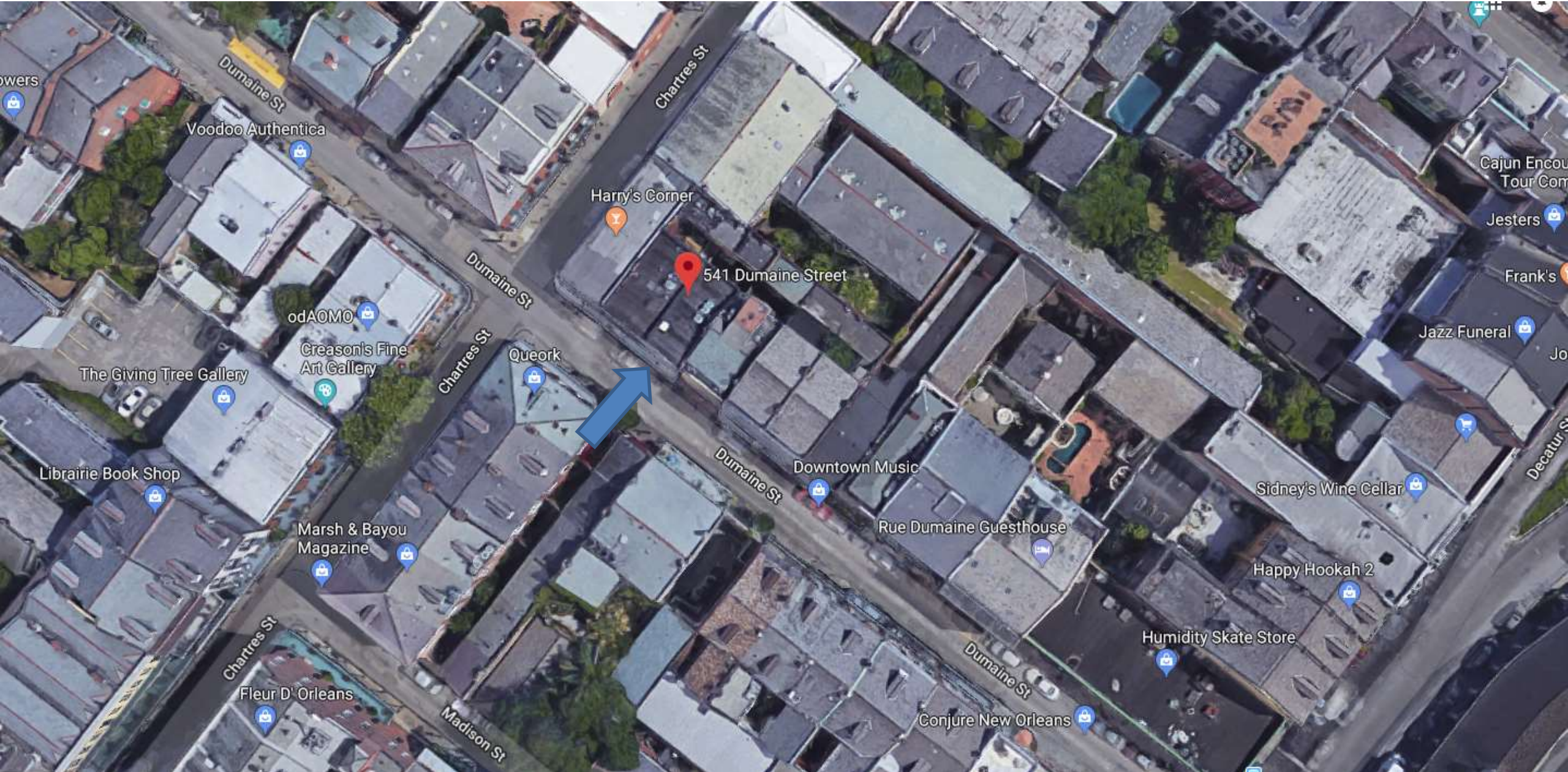




541 Duamine











541 Dumaine

VCC Architectural Committee

August 14, 2018





541 Dumaine

VCC Architectural Committee

August 14, 2018







541 Dumaine

VCC Architectural Committee

August 14, 2018





541 Dumaine

VCC Architectural Committee

August 14, 2018







541 Dumaine  
VCC Architectural Committee

August 14, 2018





541 Dumaine – Existing Pintles  
VCC Architectural Committee

August 14, 2018



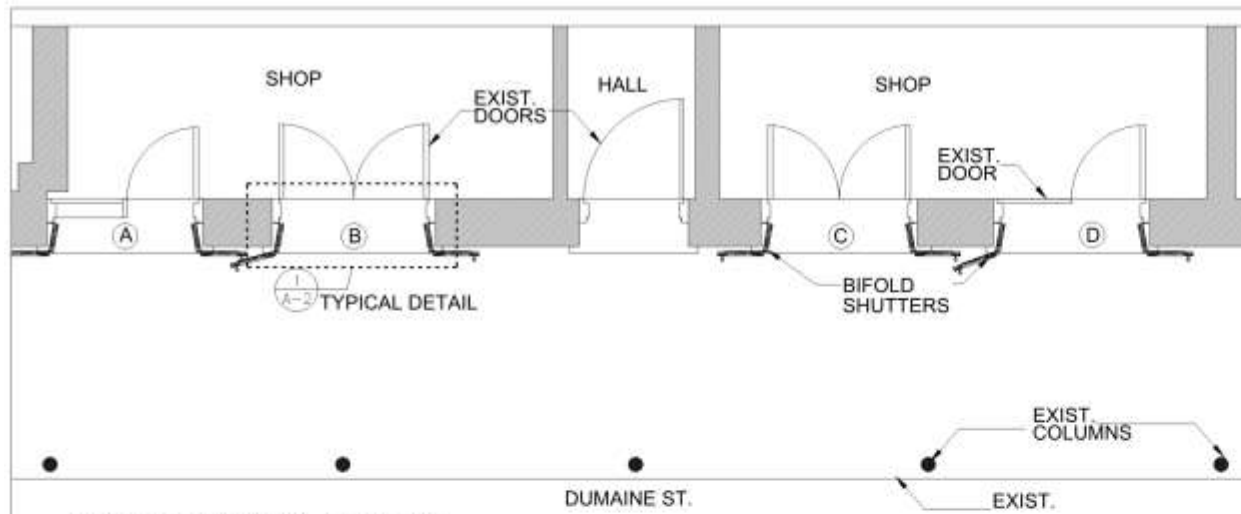




541 Dumaine – Existing Pintles  
VCC Architectural Committee

August 14, 2018



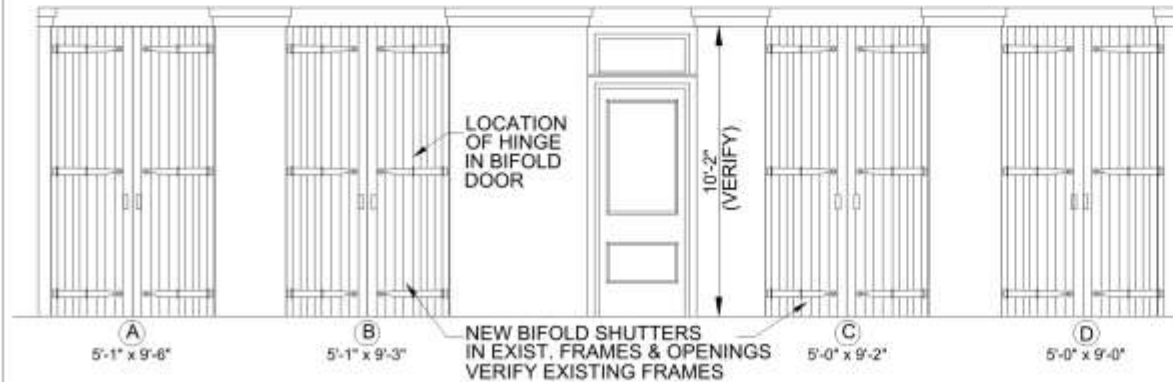


1ST FLOOR PLAN- (PARTIAL)

SCALE: 1/2" = 1'-0"

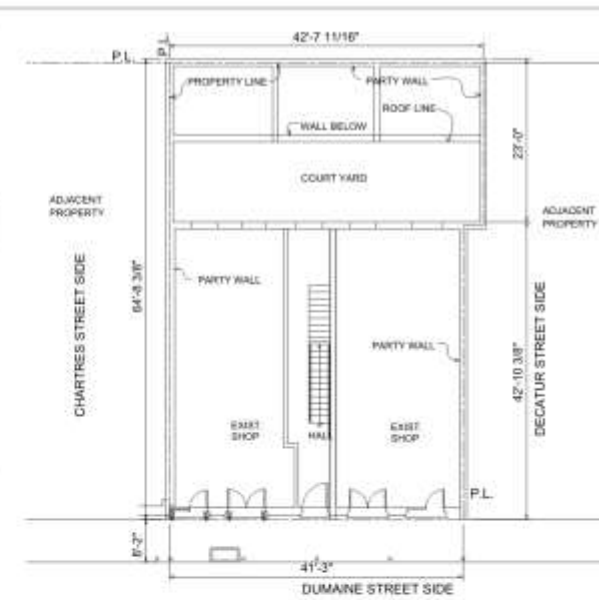
NOTES:

1. ALL NEW WOOD TO BE SPANISH CEDAR OR MAHOGANY
2. PROVIDE SHOP DRAWING FOR ALL MILLWORK & SAMPLES FOR ALL HARDWARE
3. BACK PRIME & PAINT ALL NEW BLINDS
4. PAINT STRAP HINGES SAME COLOR AS BLINDS. PAINT ALL PINTLES SAME COLOR AS FRAMES



1ST FLOOR FRONT ELEVATION (PARTIAL)

SCALE: 1/2" = 1'-0"



SITE PLAN

SCALE: 1/4" = 1'-0"



EXTERIOR VIEW OF BUILDING



1ST FLOOR MILLWORK  
541-43 DUMAINE STREET  
NEW ORLEANS, LA

DONALD MAGINNIS  
ARCHITECT, INC.  
1111 ST. MARY ST., NEW ORLEANS, LA 70130  
504.586.3333 FAX 504.586.6074

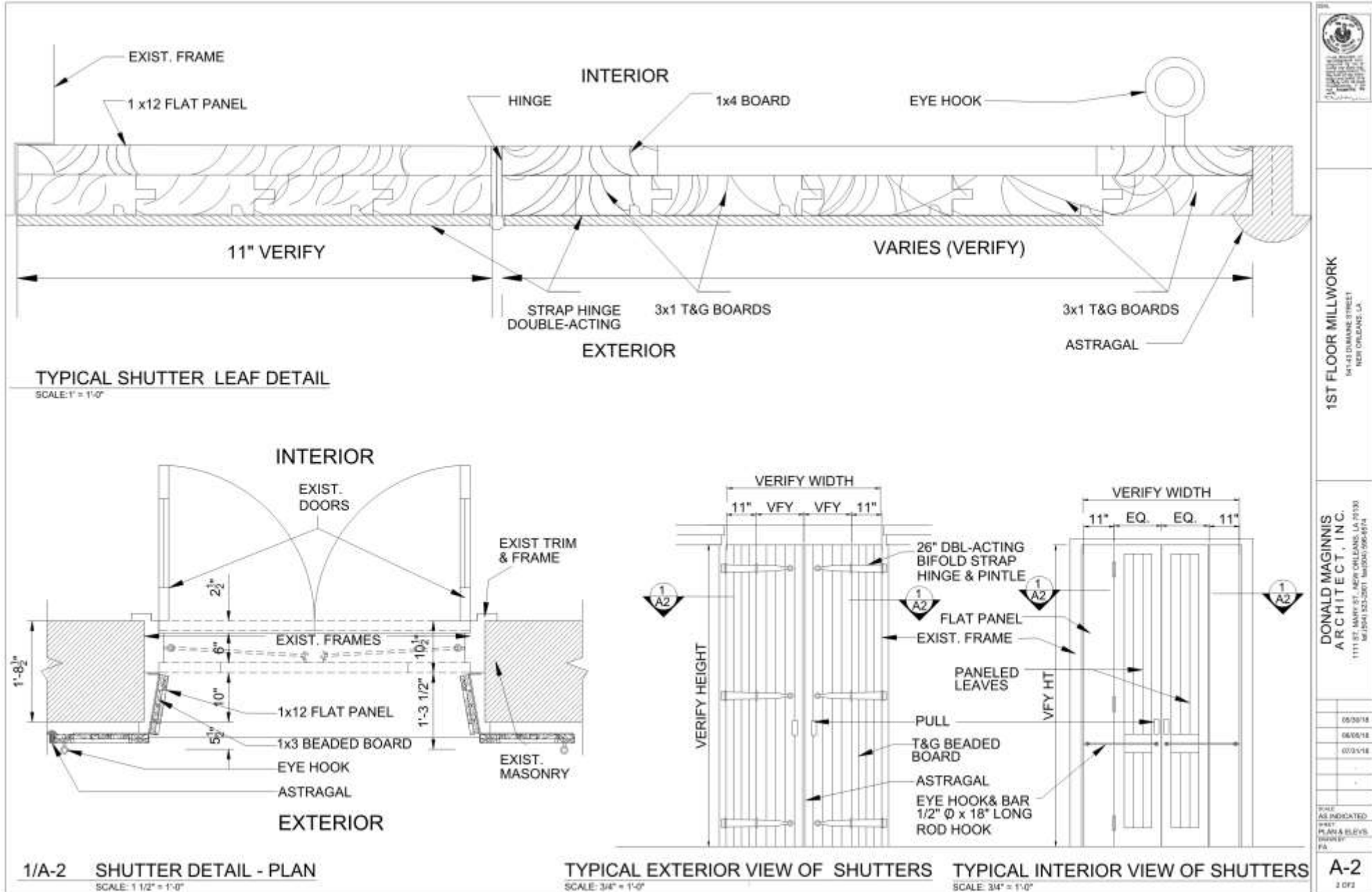
10/30/18  
10/30/18  
10/30/18

SCALE  
AS INDICATED  
DATE  
PLANNED/NOTED  
DRAWN BY  
FA

A-1  
1 OF 2



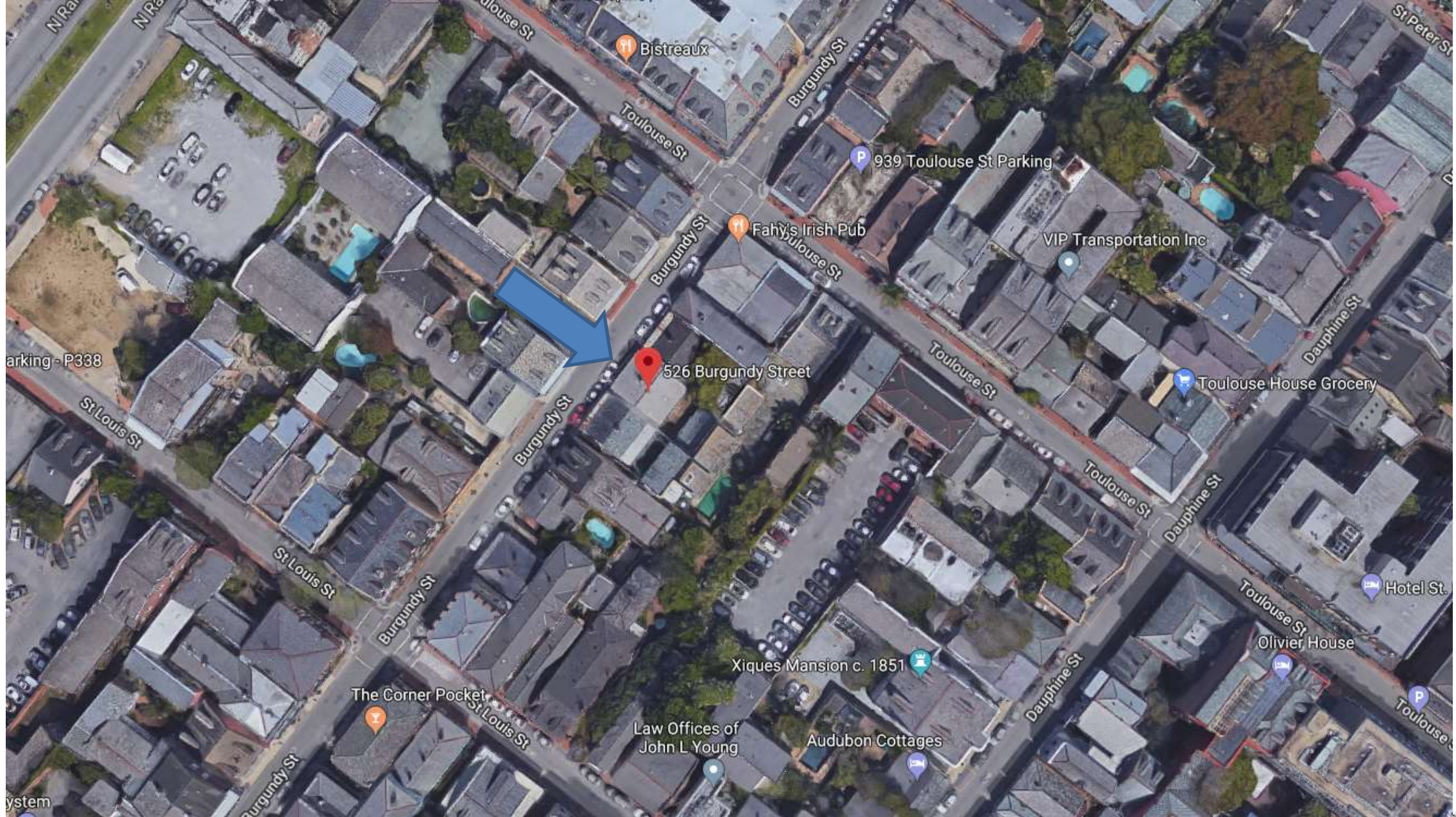






526 Burgundy





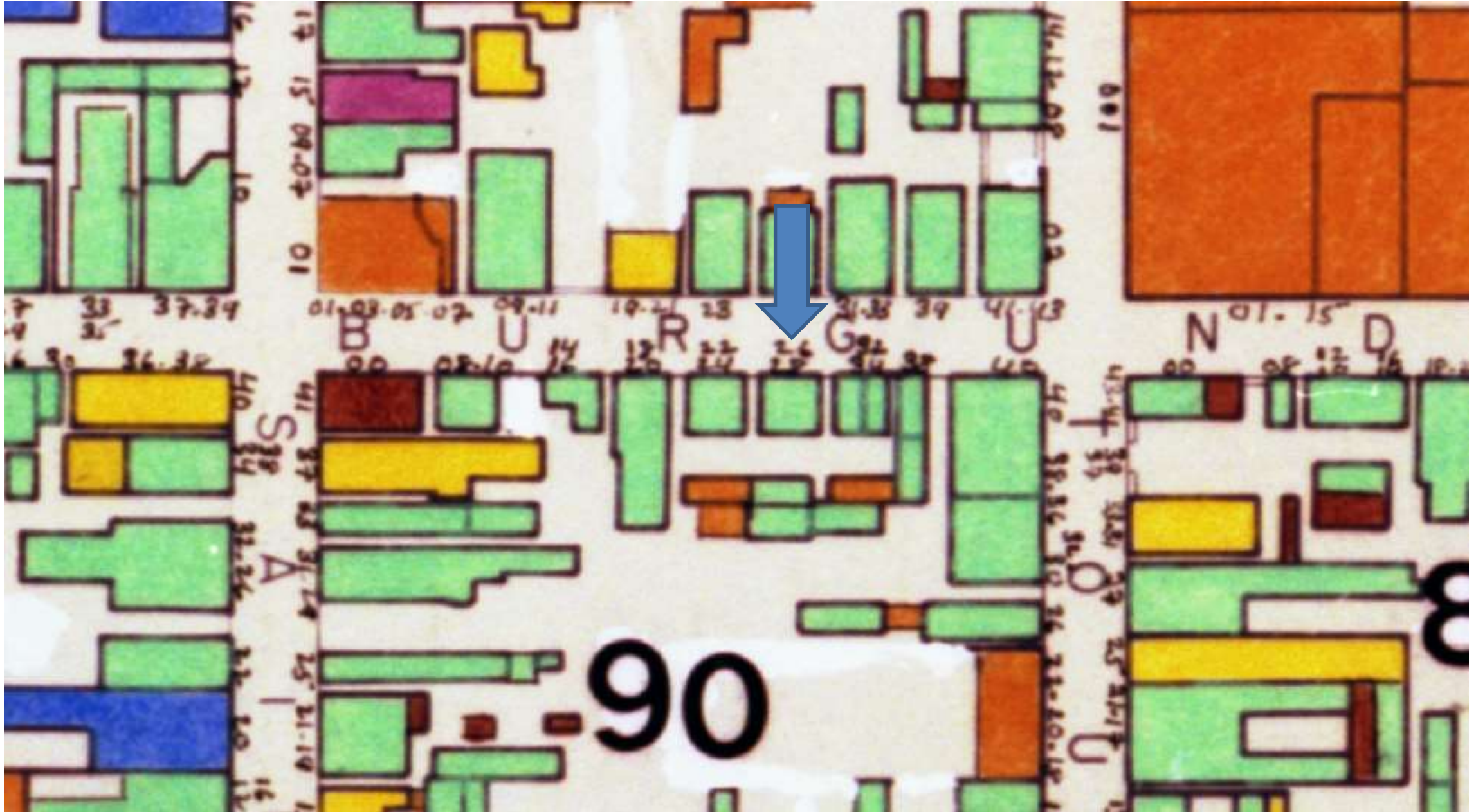
526 Burgundy

VCC Architectural Committee

August 14, 2018







526 Burgundy

VCC Architectural Committee

August 14, 2018







526 Burgundy - 1963

VCC Architectural Committee

August 14, 2018





526 Burgundy

VCC Architectural Committee

August 14, 2018







526 Burgundy

VCC Architectural Committee

August 14, 2018





526 Burgundy

VCC Architectural Committee

August 14, 2018







526 Burgundy

VCC Architectural Committee

August 14, 2018





526 Burgundy

VCC Architectural Committee

August 14, 2018







526 Burgundy

VCC Architectural Committee

August 14, 2018



18-19258-RNVN



526 Burgundy

VCC Architectural Committee

August 14, 2018





18-19258-RNVN

Milestead  
Eric sent this



526 Burgundy

VCC Architectural Committee

August 14, 2018







526 Burgundy

VCC Architectural Committee

August 14, 2018







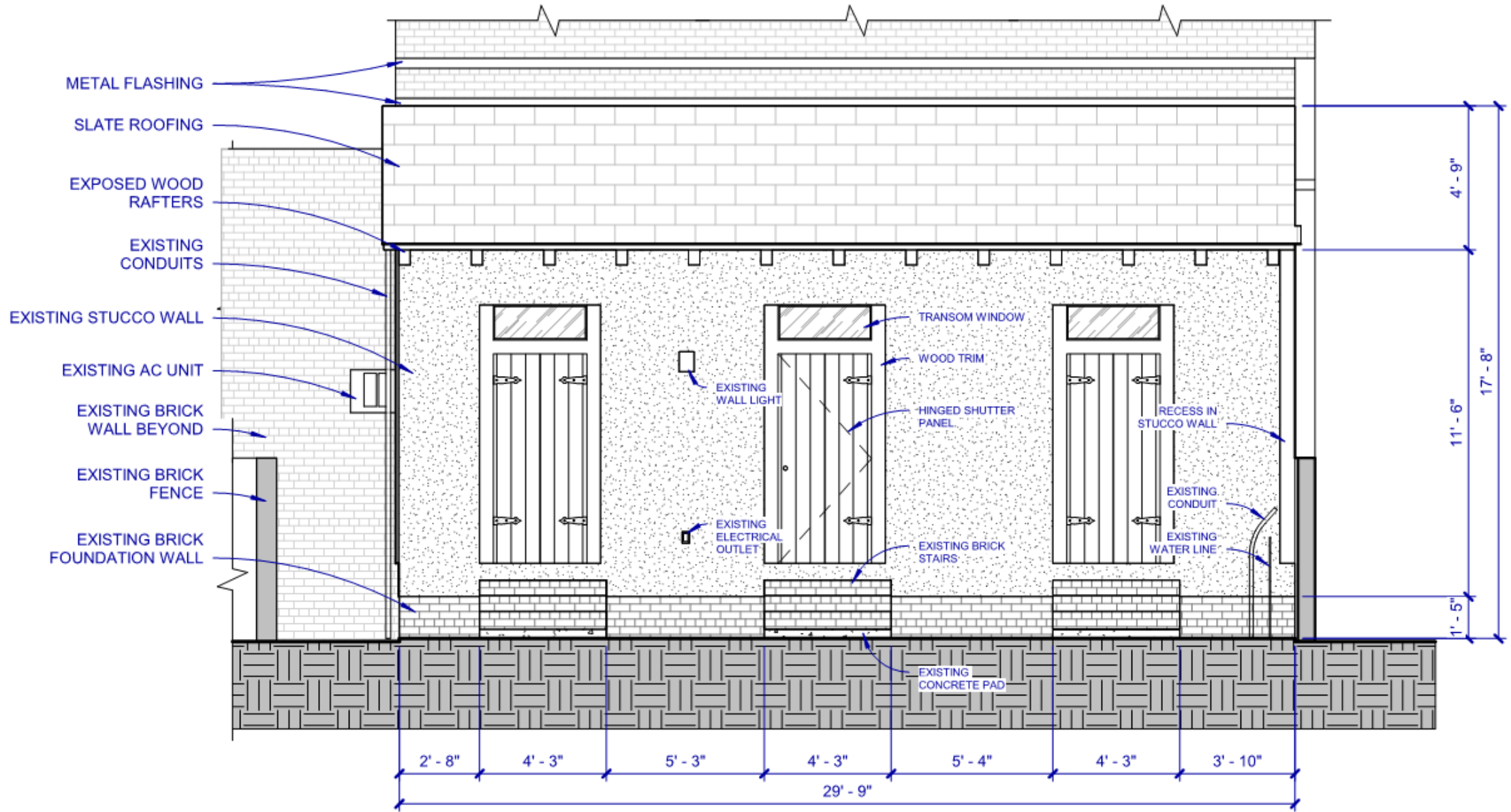
526 Burgundy

VCC Architectural Committee

August 14, 2018







## 526 Burgundy – Existing Condition

VCC Architectural Committee

August 14, 2018





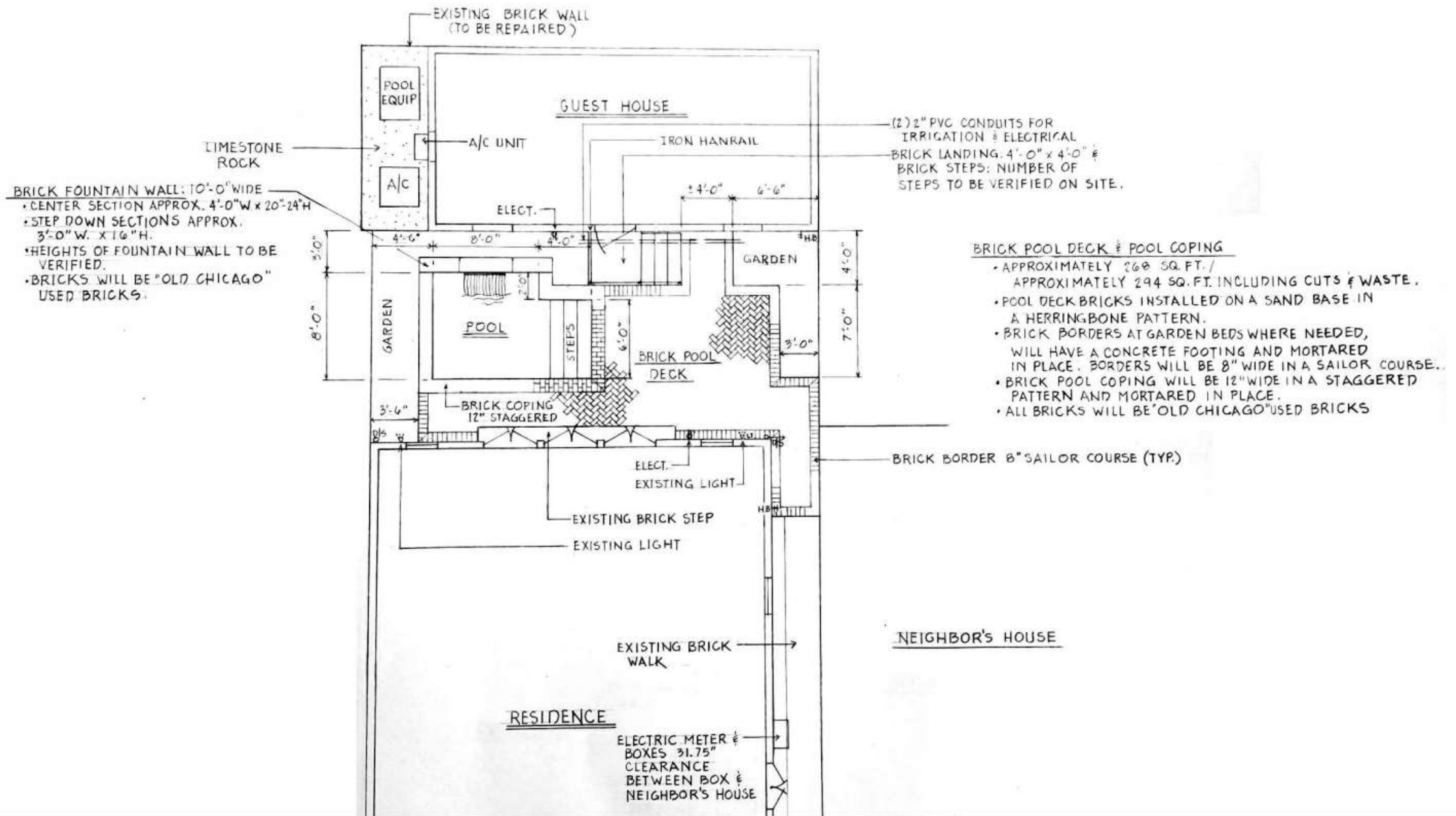


526 Burgundy – Option 1 with new landing

VCC Architectural Committee

August 14, 2018





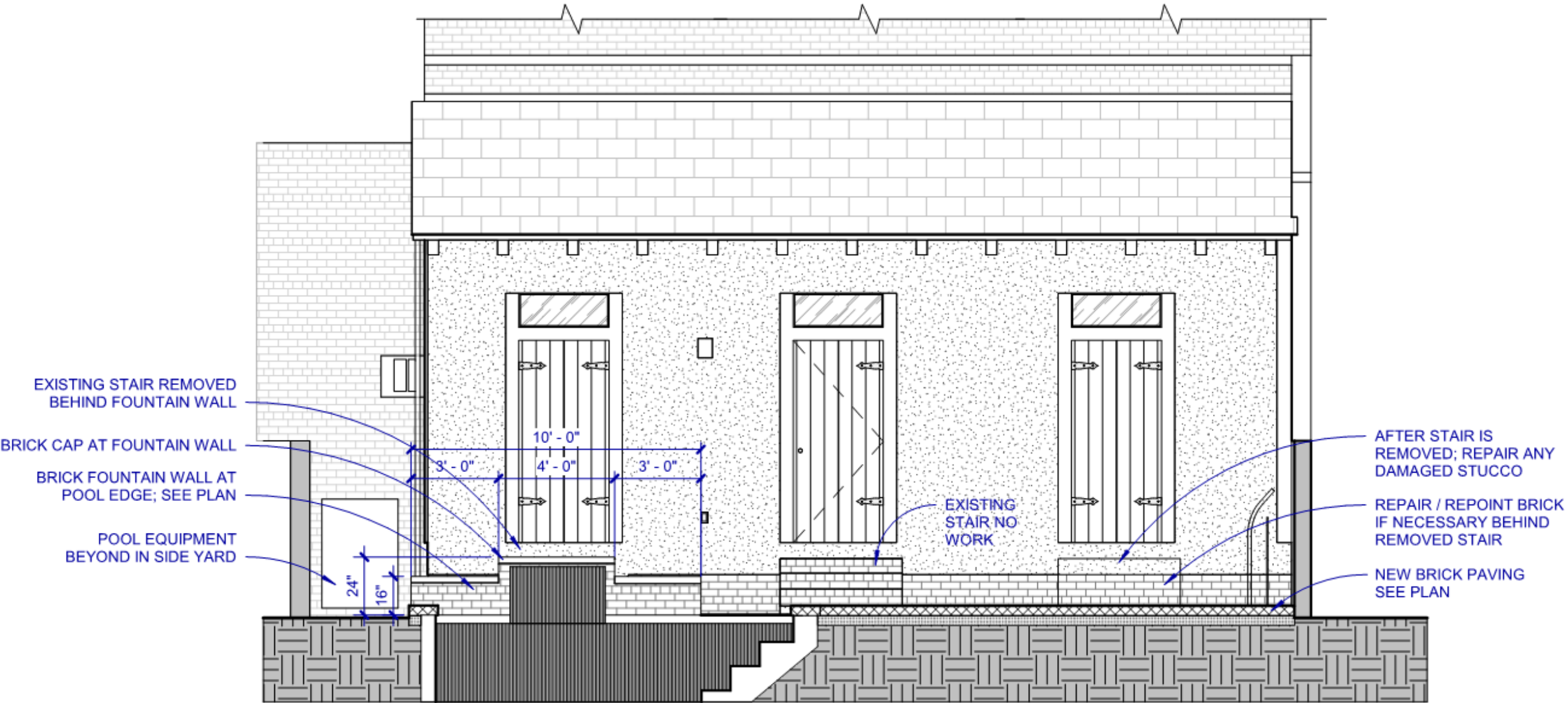
526 Burgundy – Option 1 with new landing

VCC Architectural Committee

August 14, 2018





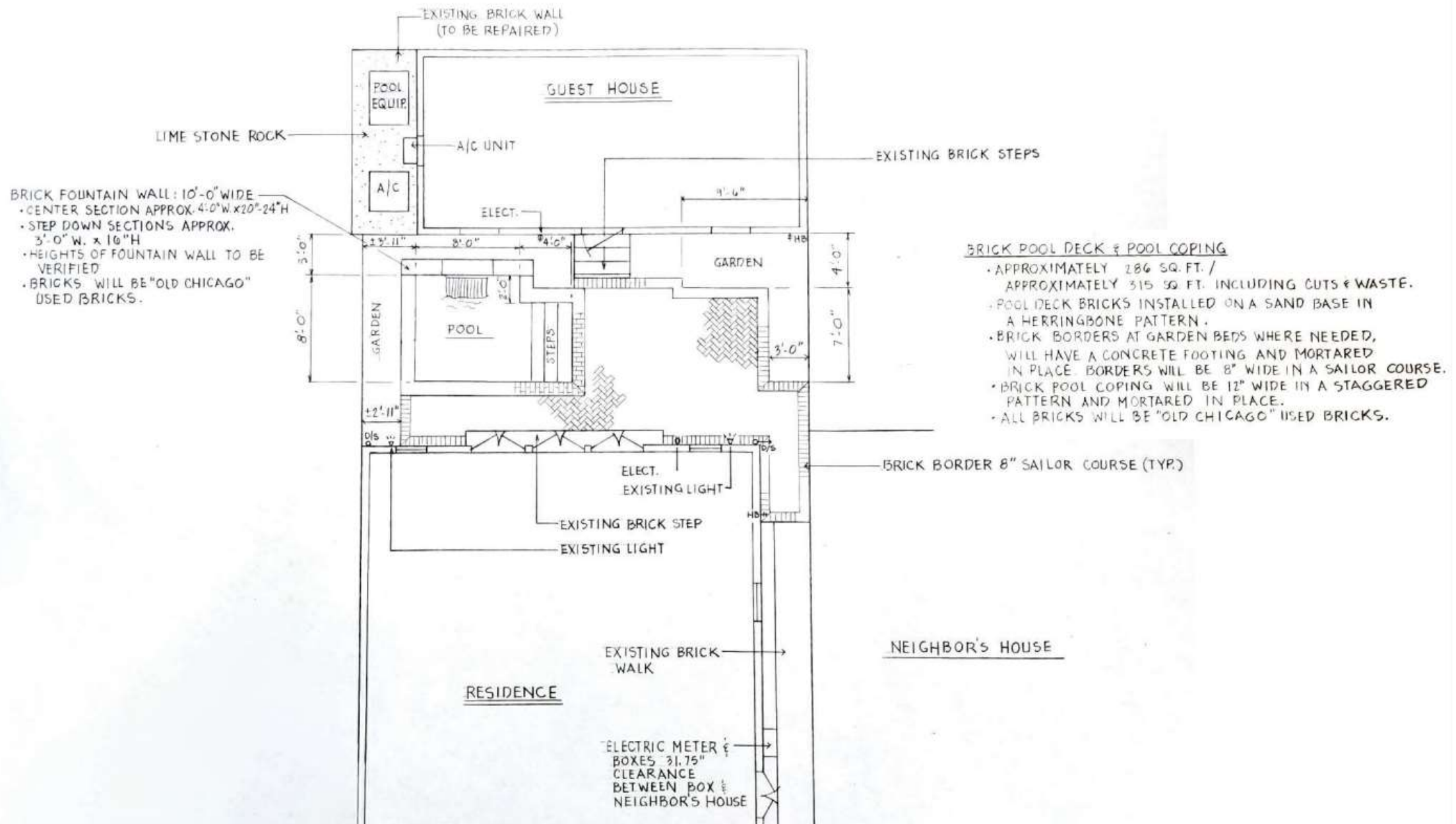


526 Burgundy – Option 2 retaining one set of steps

VCC Architectural Committee

August 14, 2018





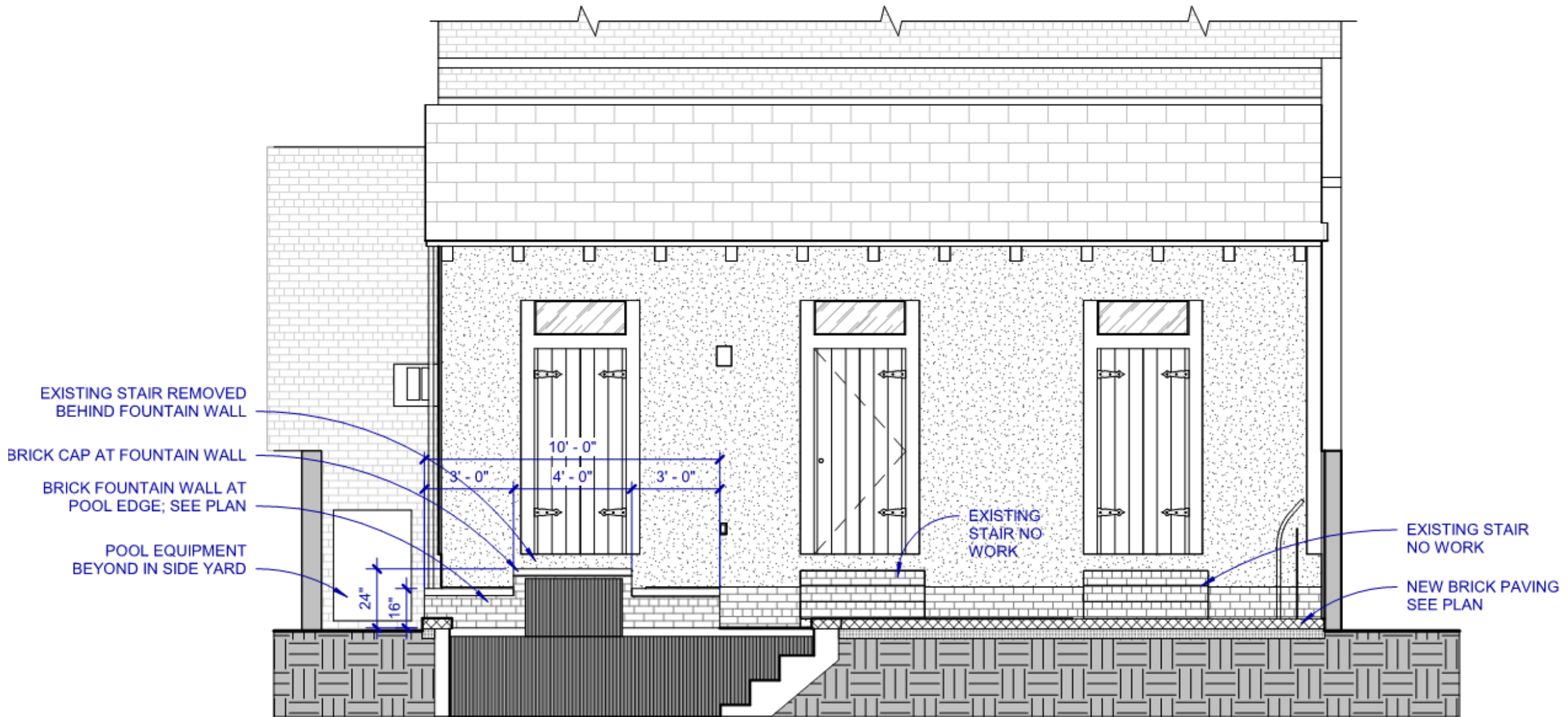
526 Burgundy – Option 2 retaining one set of steps

VCC Architectural Committee

August 14, 2018







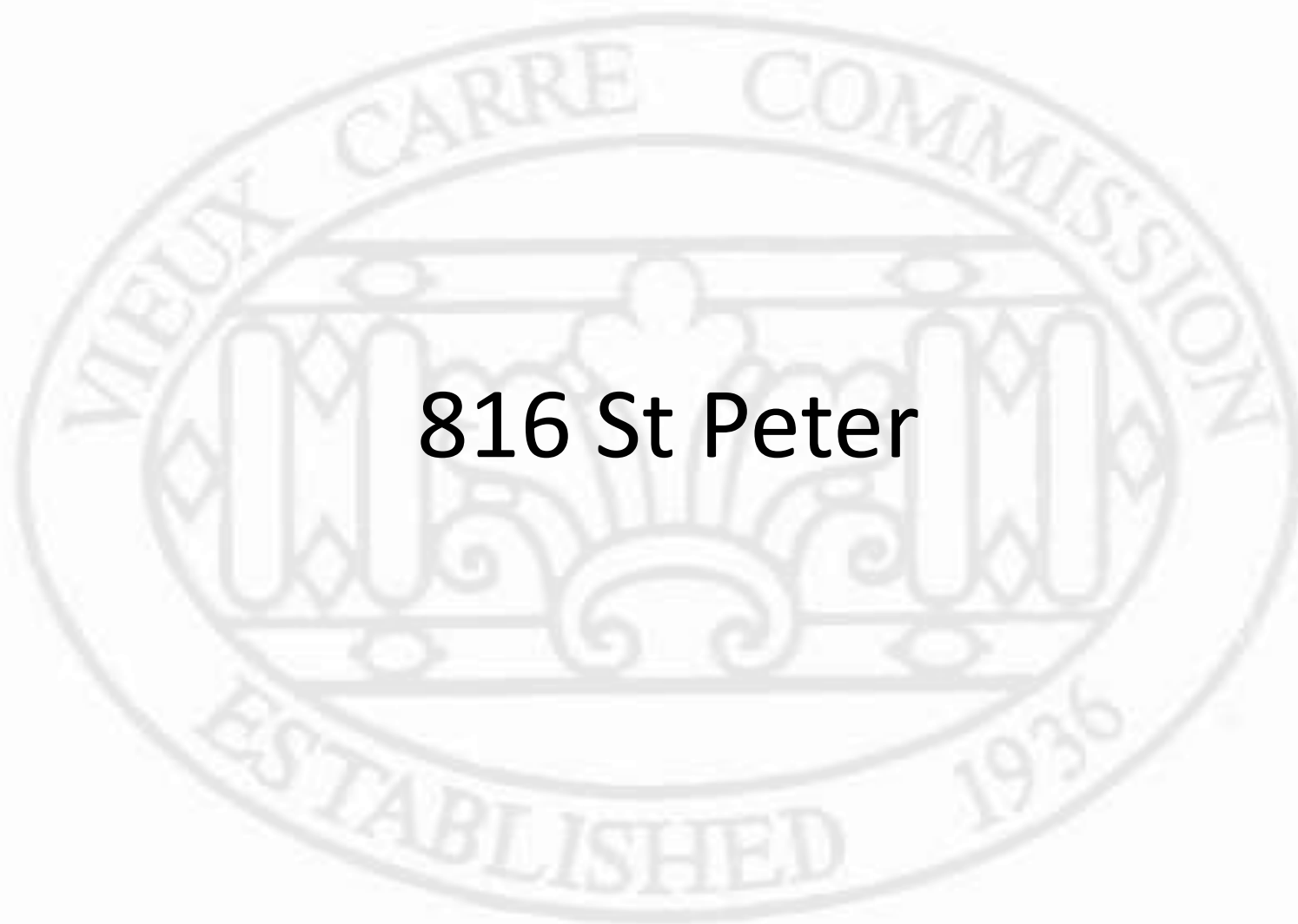
526 Burgundy – Option 3 retaining two sets of steps

VCC Architectural Committee

August 14, 2018



816 St Peter







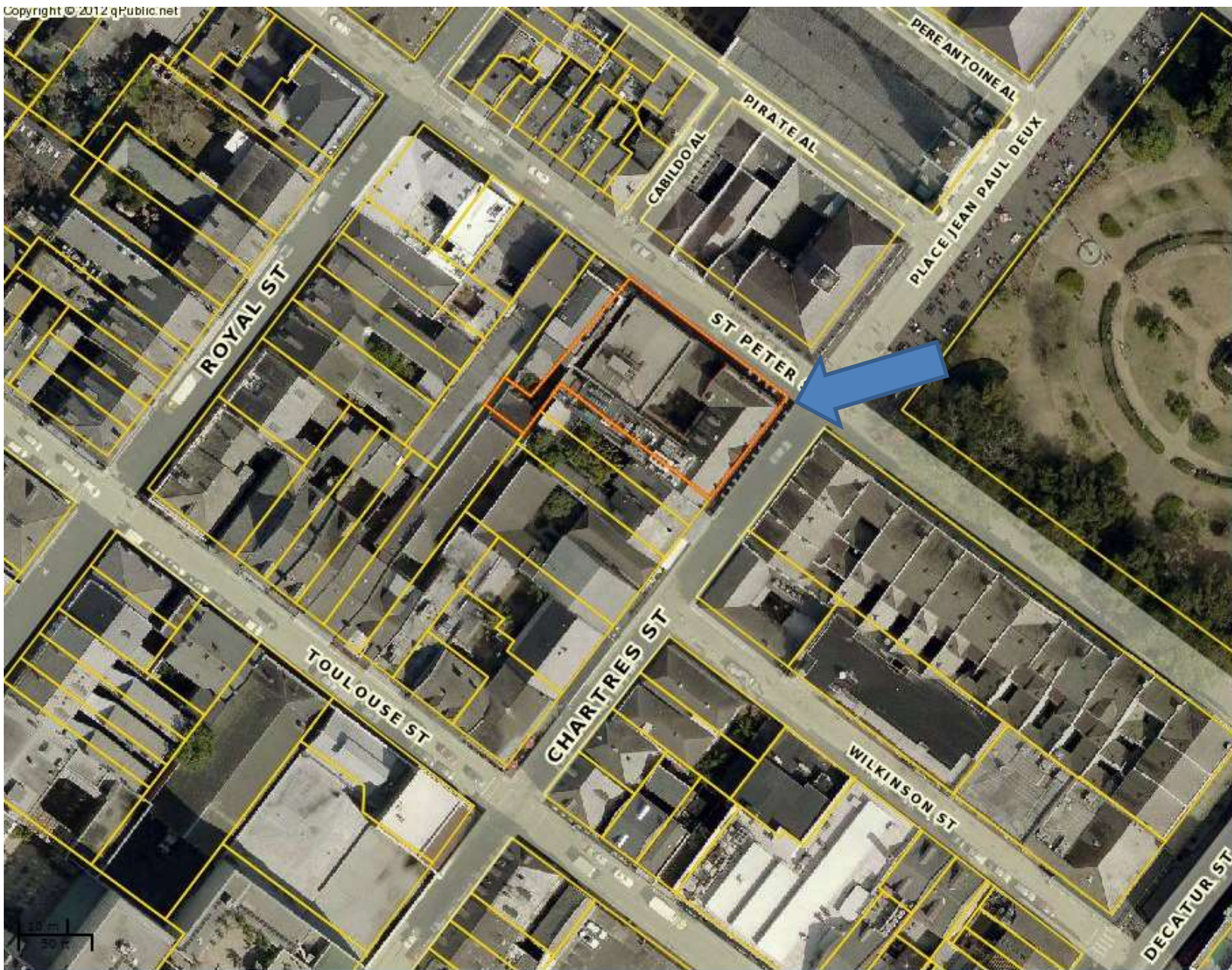
616 St. Peter

VCC Architectural Committee

August 14, 2018



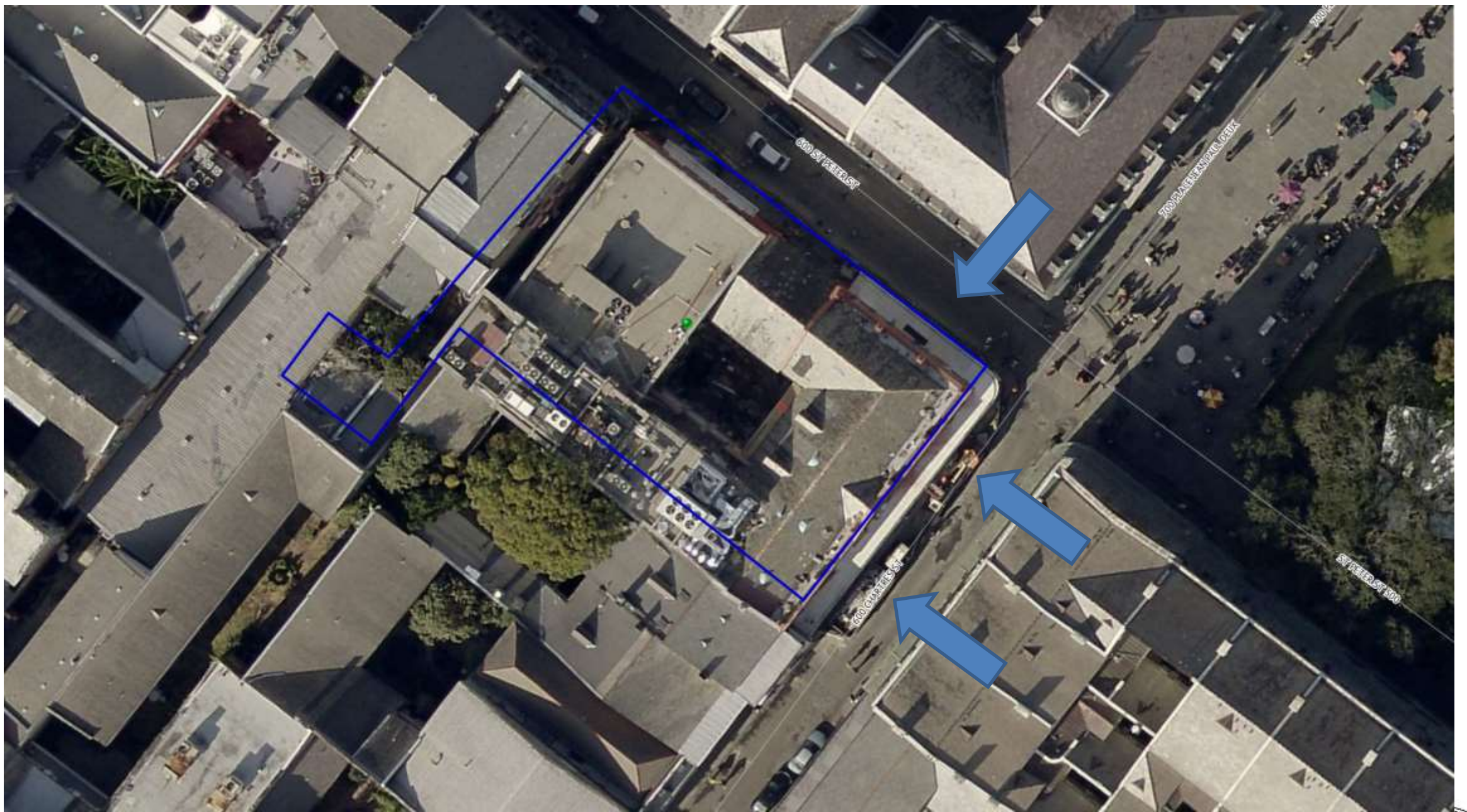




616 St. Peter





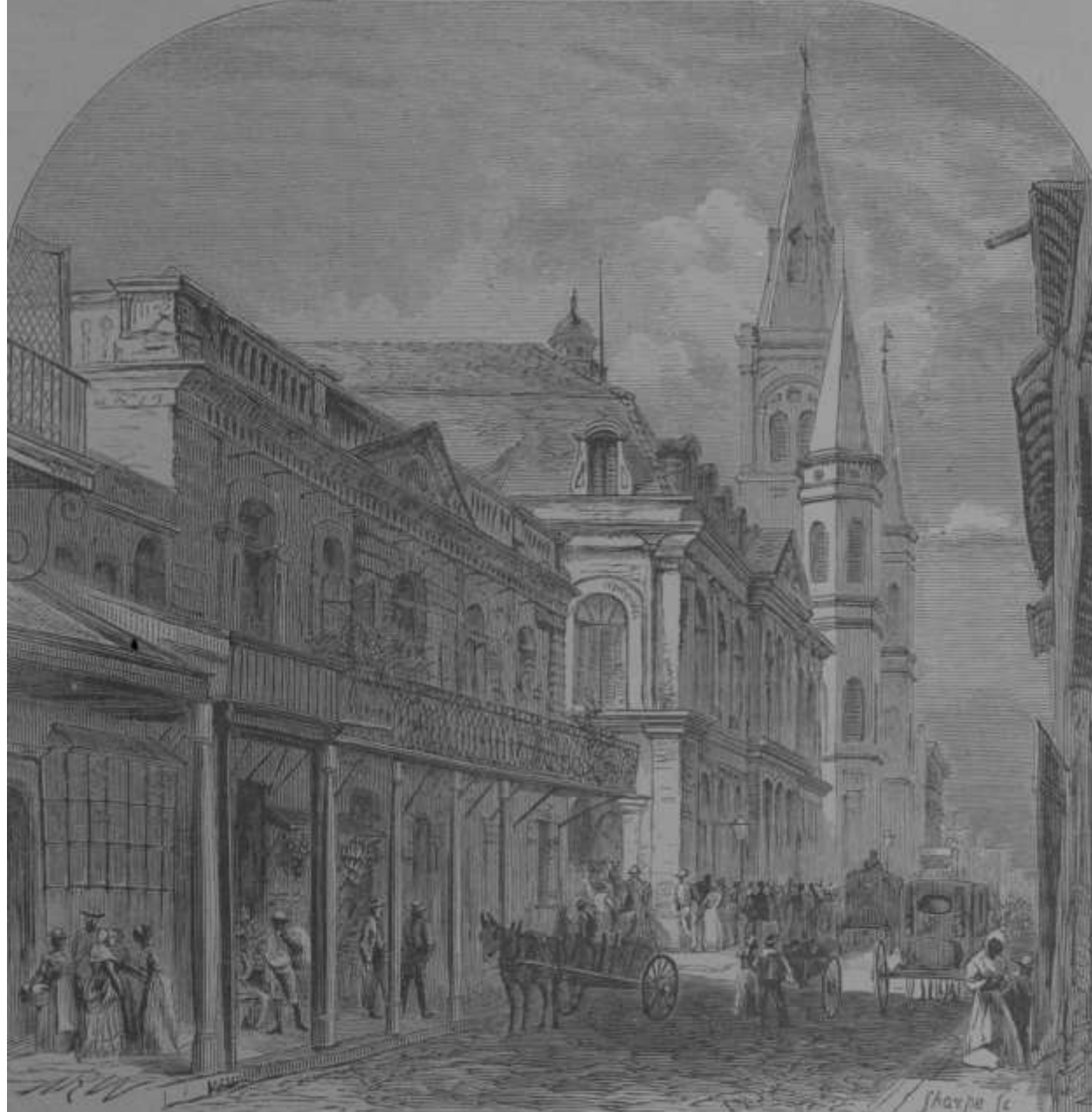


616 St. Peter

VCC Architectural Committee

August 14, 2018





616 St. Peter, 1872

VCC Architectural Committee

August 14, 2018







616 St. Peter - 1885

VCC Architectural Committee

August 14, 2018





616 St. Peter, circa 1900

VCC Architectural Committee

August 14, 2018







616 St. Peter – 1940

VCC Architectural Committee

August 14, 2018





616 St. Peter – 1930

VCC Architectural Committee

August 14, 2018







616 St. Peter – 1960

VCC Architectural Committee

August 14, 2018





616 St. Peter, 1962

VCC Architectural Committee

August 14, 2018







616 St. Peter, 1963

VCC Architectural Committee

August 14, 2018





616 St. Peter, 1964

VCC Architectural Committee

August 14, 2018







616 St. Peter

VCC Architectural Committee

August 14, 2018





616 St. Peter

VCC Architectural Committee

August 14, 2018







616 St. Peter

VCC Architectural Committee

August 14, 2018





616 St. Peter

VCC Architectural Committee

August 14, 2018







616 St. Peter

VCC Architectural Committee

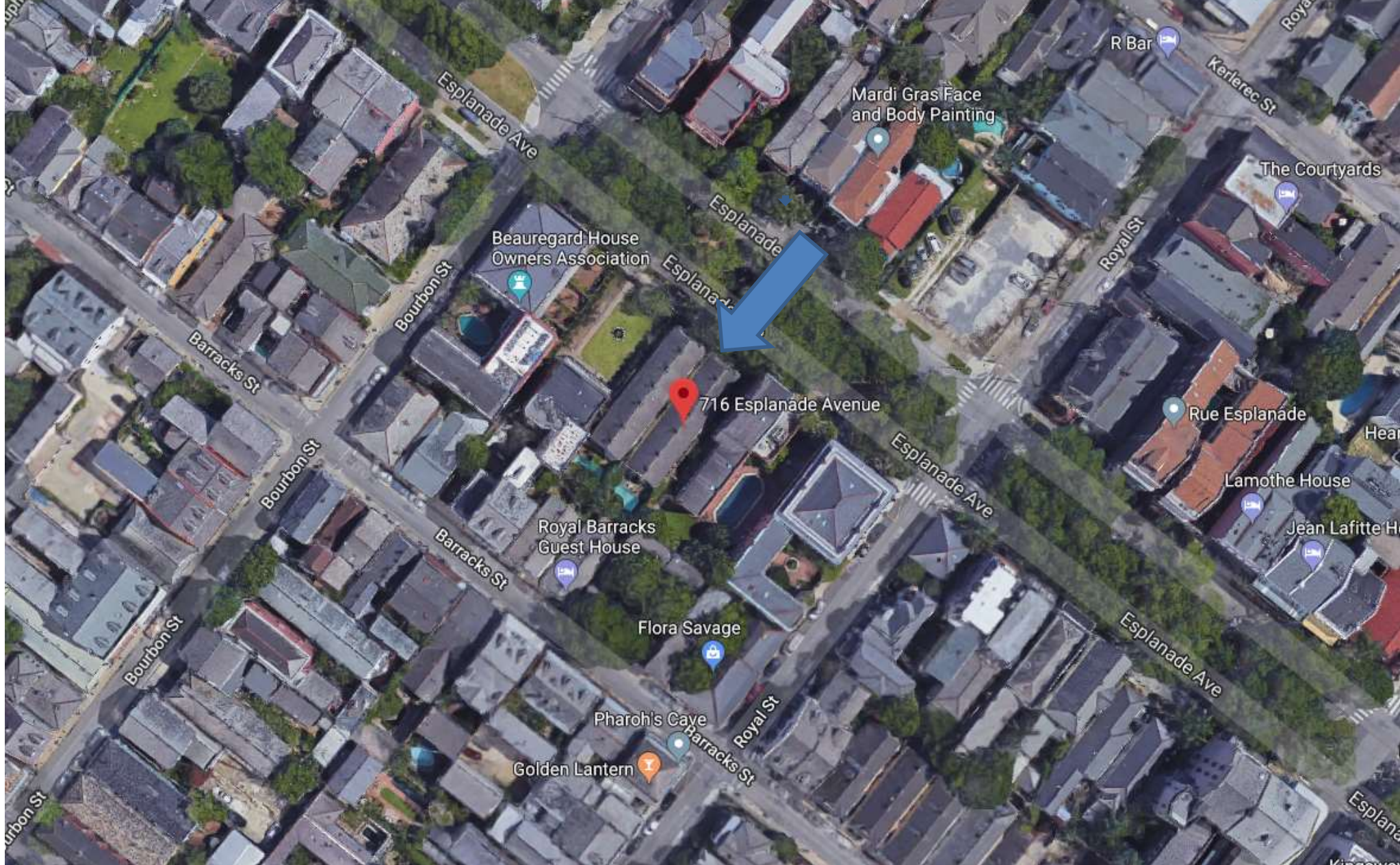
August 14, 2018



716 Esplanade







716 Esplanade

VCC Architectural Committee

August 14, 2018







716 Esplanade

VCC Architectural Committee

August 14, 2018







716 Esplanade

VCC Architectural Committee

August 14, 2018







716 Esplanade

VCC Architectural Committee

August 14, 2018







716 Esplanade – 1985 prior to new windows

VCC Architectural Committee

August 14, 2018







716 Esplanade – 1994 prior to new windows

VCC Architectural Committee

August 14, 2018





716 Esplanade – Existing Condition  
VCC Architectural Committee



August 14, 2018



716 Esplanade – Existing Condition  
VCC Architectural Committee



August 14, 2018







716 Esplanade – Existing Condition

VCC Architectural Committee

August 14, 2018





716 Esplanade – Existing Condition

VCC Architectural Committee

August 14, 2018







716 Esplanade – Existing Interior Condition

VCC Architectural Committee

August 14, 2018





716 Esplanade – Existing Interior Condition

VCC Architectural Committee

August 14, 2018





# GENERAL PROJECT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT DEMOLITION OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES AND OTHER FACILITIES AND INJURY TO PERSONS. THE CONTRACTOR IS TO PROVIDE SUFFICIENT PROTECTION WITHIN AND BEYOND DEMOLITION AREAS TO ELIMINATE ANY RISK TO CONSTRUCTION PERSONNEL AND/OR OTHER THIRD PARTY PERSONNEL.

2. CONTRACTOR TO REMOVE ALL EXISTING CONSTRUCTION DESIGNATED TO BE REMOVED: REMOVE ALL INDICATED DOORS, DOOR FRAMES, CEILING, ELECTRICAL, AND TELEPHONE WIRING AS REQUIRED BY CODE (SHALL MUST BE CLEAN AND CLEAR OF ALL DEVICES, HULK, AND FINISHES, INCLUDING BUT NOT LIMITED TO CARPET, CARPET PAD, WALL BASE, AND WALL COVERING).

3. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE WORK WITHIN LIMITATION OF GOVERNING REGULATIONS AND AS FOLLOWS:

A. HEAVILY CUT OPENINGS AND HOLES PLUMB, SQUARE AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADOPTING CONSTRUCTION.

B. CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID HARMING EXISTING FINISHED SURFACES.

C. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS.

D. AT CONCEALED SPACES, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING PLANE-CUTTING OPERATIONS.

E. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.

F. PROTECT ALL STRUCTURAL STEEL.

G. REMOVE DELAYED, VEHICULAR-IMPACTED OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE AT AN APPROVED FACILITY.

H. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE BEAMS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMES.

I. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES TO CONDITION EXISTING BEFORE START OF DEMOLITION.

J. IT: SALVAGE, CLEAN AND STORE SWAP AS NECESSARY FOR ADEQUATE PROTECTION ALL LIGHT FIXTURES, DOORS, DOOR FRAMES, WALLS, DOOR HARDWARE, SWITCHES, THERMOSTATS, RECEPTACLE COVERS, BUT NOT FIRE EXTINGUISHERS, SMOKE DETECTORS, CEILING TILES, SPRINKLER HEADS AND HVAC SUPPLY DIFFUSERS FOR REINSTALLATION. PROVIDE COMPLETE LIST OF SALVAGED ITEMS TO THE ARCHITECT AND COORDINATE STORAGE OF THESE ITEMS WITH OWNER.

K. WORKING DOCUMENTS CALL OUT NEW EXPANSION JOINTS. REMOVE AND REPLACE EXISTING EXPANSION JOINTS, CLEAN OPENING AND PREPARE FOR NEW EXPANSION JOINT PER MANUFACTURER'S INSTRUCTIONS.

L. ALL REUSED ITEMS TO BE REPAIRED, CLEANED AND FINISHED TO AUSE NEW CONDITION.

M. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE OWNER'S REQUIREMENTS PRIOR TO BEGINNING WORK.

N. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND STANDARDS.

## OPERATING PROCEDURES FOR DEMOLITION ACTIVITIES

1. THE CONTRACTOR SHALL COORDINATE WITH LOCAL CODE OFFICIALS TO ENSURE THAT DEMOLITION OPERATIONS ARE CONDUCTED IN COMPLIANCE WITH ALL APPLICABLE CODES.

2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL ENDS, EXIT LIGHTS, FIRE PROTECTION DEVICES, AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS.

3. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING.

4. ENSURE RESULTS FROM DEMOLITION AND CONSTRUCTION SHALL BE REMOVED ONLY FROM THE CONSTRUCTION SITE TO A PRIVATE AREA PROVIDED BY THE CONTRACTOR IN COORDINATION WITH OWNER. REMOVE DEBRIS FROM BUILDING BY GATE, HOIST OR OTHER DEVICE AS APPROVED BY PROPERTY MANAGER.

5. LIMIT USE OF THE PREMISES TO CONSTRUCTION ACTIVITIES IN AREAS DESIGNATED AS SCOPE OF PROJECT. ALLOW SMOKE OCCUPANCY AND USE BY BUILDING'S DRIVERS, MAINTENANCE AND SERVICE PERSONNEL AT ALL TIMES.

6. ALL DRIVEWAYS AND CIRCULATION PATHS SHALL REMAIN OPEN AND AVAILABLE TO OWNER.

7. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION ACTIVITIES.

8. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS IMMEDIATELY NOTIFY THE ARCHITECT AND OWNER, REFERENCE HAZARDOUS MATERIALS REPORT.

9. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM THE SELECTIVE DEMOLITION.

10. MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT NEW AGAINST DAMAGE DURING DEMOLITION.

11. 25. WHERE UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED OR ABANDONED, PROVIDE BYTES CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE TO OTHER PARTS OF BUILDING BEFORE PROCEEDING.

12. CUT OFF PIPES OR CONDUIT IN WALLS OR PARTITIONS TO BE REMOVED. CAP, VALVE, OR PLUG AND SEAL THE REMAINING PORTION OF PIPE OR CONDUIT AFTER ENHANCING. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE THROUGH DEMOLITION AREA.

13. PROTECT WALLS, CEILING, FLOORS AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN AND ARE EXPOSED DURING DEMOLITION.

14. DIRECT AND MAINTAIN DUST PROOF PARTITIONS AND TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS FROM PILES AND NOISE.

15. PROTECT AIR HANDLING EQUIPMENT.

16. PROVIDE AND MAINTAIN SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF ITEMS TO BE SELECTIVELY DEMOLISHED AND ITEMS WHICH ARE IMMEDIATELY ADJACENT TO THOSE BEING REMOVED.

17. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES CAUSED TO ADJACENT CONSTRUCTION BY DEMOLITION.

18. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJACENT CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REPAIRING.

19. SOONEST THE PROJECT SITE BECOMES CLEAN AND CHANGE FILTERS ON AIR HANDLING EQUIPMENT UPON COMPLETION OF DEMOLITION.

20. PROVIDE RECORD DRAWINGS AT PROJECT CLOSEOUT FINISH CERTIFY AND ACCURATELY LOCATE CAPPED UTILITIES AND OTHER STRUCTURAL, ELECTRICAL OR MECHANICAL CONDITION.

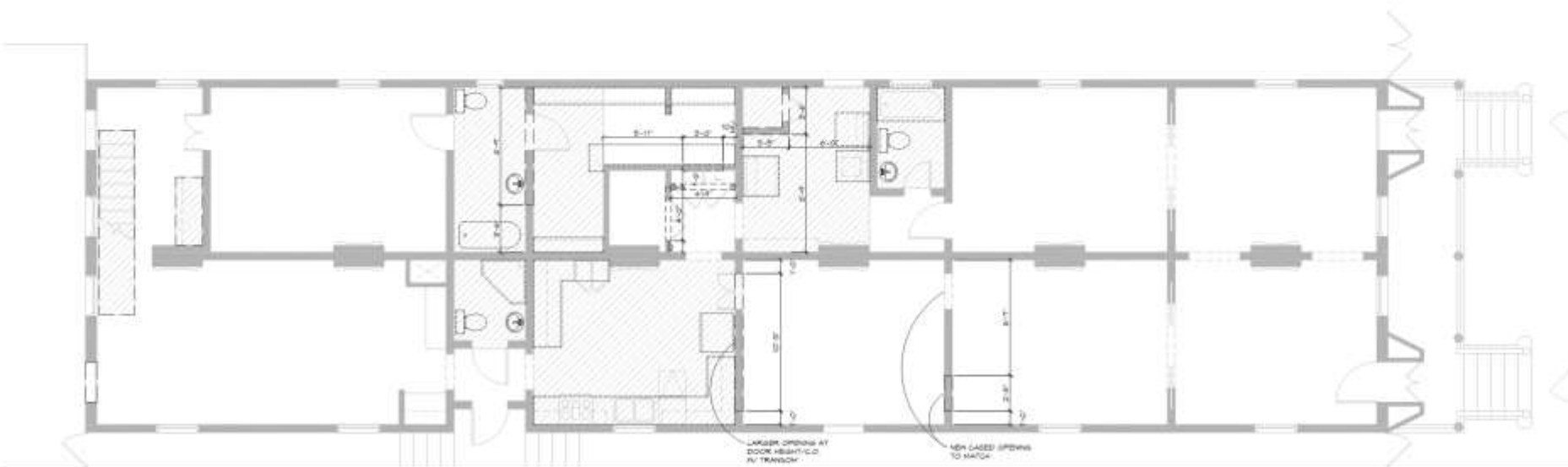
21. COVER AND PROTECT EQUIPMENT AND FIXTURES TO REMAIN FROM.

22. SOLID OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS.

## DEMO LEGEND

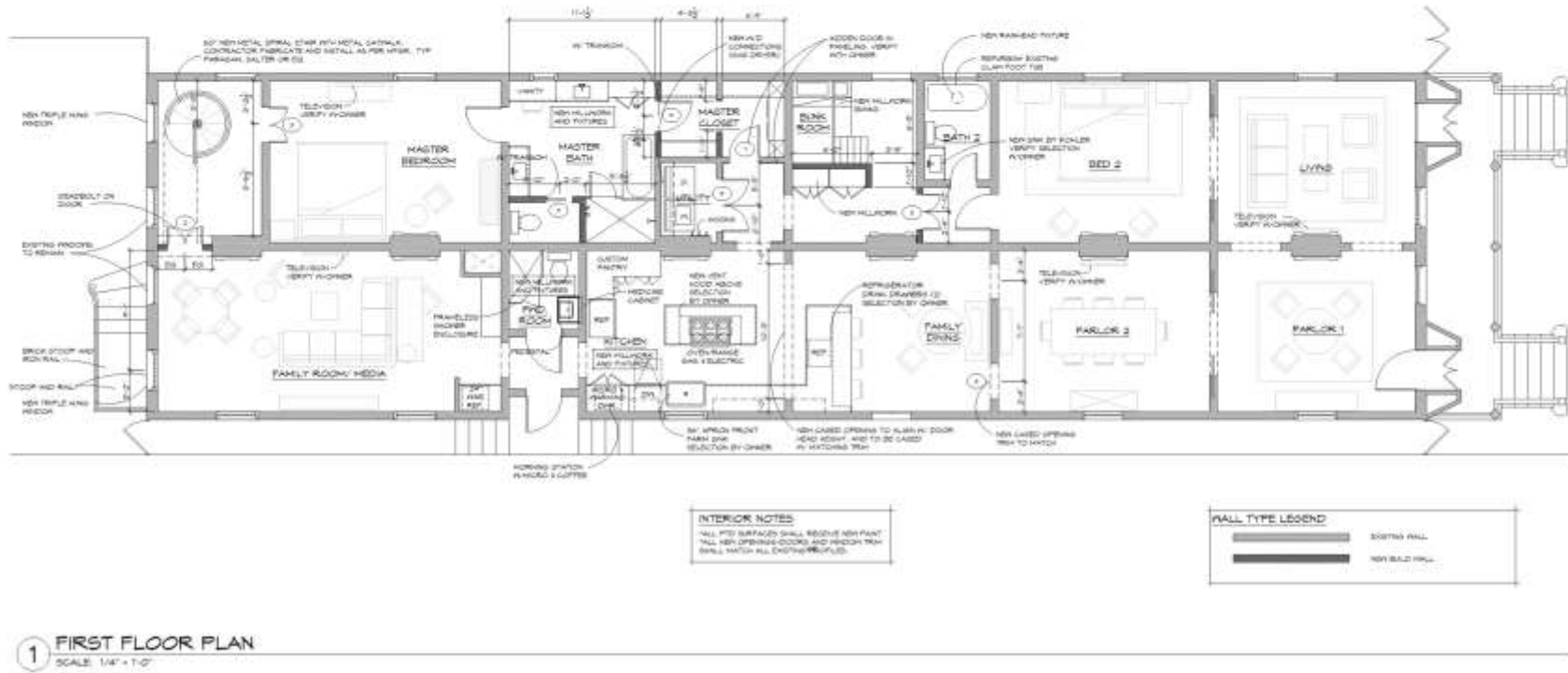
--- EXISTING WALL TO BE REMOVED

--- EXISTING FINISH TO BE REMOVED



1 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE				
MARK	LEAF SIZE	TYPE	NOTES	
NO.	W	H	THICKNESS	EXTENSION
1	3'-0"	7'-0"	1-1/2"	INTERIOR
2	3'-0"	7'-0"	1-1/2"	INTERIOR
3	3'-0"	7'-0"	1-1/2"	INTERIOR
4	3'-0"	7'-0"	1-1/2"	INTERIOR
5	3'-0"	7'-0"	1-1/2"	INTERIOR
6	3'-0"	7'-0"	1-1/2"	INTERIOR
7	3'-0"	7'-0"	1-1/2"	INTERIOR
8	3'-0"	7'-0"	1-1/2"	INTERIOR
9	3'-0"	7'-0"	1-1/2"	INTERIOR
10	3'-0"	7'-0"	1-1/2"	INTERIOR
11	3'-0"	7'-0"	1-1/2"	INTERIOR
12	3'-0"	7'-0"	1-1/2"	INTERIOR
13	3'-0"	7'-0"	1-1/2"	INTERIOR
14	3'-0"	7'-0"	1-1/2"	INTERIOR
15	3'-0"	7'-0"	1-1/2"	INTERIOR
16	3'-0"	7'-0"	1-1/2"	INTERIOR
17	3'-0"	7'-0"	1-1/2"	INTERIOR
18	3'-0"	7'-0"	1-1/2"	INTERIOR
19	3'-0"	7'-0"	1-1/2"	INTERIOR
20	3'-0"	7'-0"	1-1/2"	INTERIOR
21	3'-0"	7'-0"	1-1/2"	INTERIOR
22	3'-0"	7'-0"	1-1/2"	INTERIOR
23	3'-0"	7'-0"	1-1/2"	INTERIOR
24	3'-0"	7'-0"	1-1/2"	INTERIOR
25	3'-0"	7'-0"	1-1/2"	INTERIOR
26	3'-0"	7'-0"	1-1/2"	INTERIOR
27	3'-0"	7'-0"	1-1/2"	INTERIOR
28	3'-0"	7'-0"	1-1/2"	INTERIOR
29	3'-0"	7'-0"	1-1/2"	INTERIOR
30	3'-0"	7'-0"	1-1/2"	INTERIOR
31	3'-0"	7'-0"	1-1/2"	INTERIOR
32	3'-0"	7'-0"	1-1/2"	INTERIOR
33	3'-0"	7'-0"	1-1/2"	INTERIOR
34	3'-0"	7'-0"	1-1/2"	INTERIOR
35	3'-0"	7'-0"	1-1/2"	INTERIOR
36	3'-0"	7'-0"	1-1/2"	INTERIOR
37	3'-0"	7'-0"	1-1/2"	INTERIOR
38	3'-0"	7'-0"	1-1/2"	INTERIOR
39	3'-0"	7'-0"	1-1/2"	INTERIOR
40	3'-0"	7'-0"	1-1/2"	INTERIOR
41	3'-0"	7'-0"	1-1/2"	INTERIOR
42	3'-0"	7'-0"	1-1/2"	INTERIOR
43	3'-0"	7'-0"	1-1/2"	INTERIOR
44	3'-0"	7'-0"	1-1/2"	INTERIOR
45	3'-0"	7'-0"	1-1/2"	INTERIOR
46	3'-0"	7'-0"	1-1/2"	INTERIOR
47	3'-0"	7'-0"	1-1/2"	INTERIOR
48	3'-0"	7'-0"	1-1/2"	INTERIOR
49	3'-0"	7'-0"	1-1/2"	INTERIOR
50	3'-0"	7'-0"	1-1/2"	INTERIOR
51	3'-0"	7'-0"	1-1/2"	INTERIOR
52	3'-0"	7'-0"	1-1/2"	INTERIOR
53	3'-0"	7'-0"	1-1/2"	INTERIOR
54	3'-0"	7'-0"	1-1/2"	INTERIOR
55	3'-0"	7'-0"	1-1/2"	INTERIOR
56	3'-0"	7'-0"	1-1/2"	INTERIOR
57	3'-0"	7'-0"	1-1/2"	INTERIOR
58	3'-0"	7'-0"	1-1/2"	INTERIOR
59	3'-0"	7'-0"	1-1/2"	INTERIOR
60	3'-0"	7'-0"	1-1/2"	INTERIOR
61	3'-0"	7'-0"	1-1/2"	INTERIOR
62	3'-0"	7'-0"	1-1/2"	INTERIOR
63	3'-0"	7'-0"	1-1/2"	INTERIOR
64	3'-0"	7'-0"	1-1/2"	INTERIOR
65	3'-0"	7'-0"	1-1/2"	INTERIOR
66	3'-0"	7'-0"	1-1/2"	INTERIOR
67	3'-0"	7'-0"	1-1/2"	INTERIOR
68	3'-0"	7'-0"	1-1/2"	INTERIOR
69	3'-0"	7'-0"	1-1/2"	INTERIOR
70	3'-0"	7'-0"	1-1/2"	INTERIOR
71	3'-0"	7'-0"	1-1/2"	INTERIOR
72	3'-0"	7'-0"	1-1/2"	INTERIOR
73	3'-0"	7'-0"	1-1/2"	INTERIOR
74	3'-0"	7'-0"	1-1/2"	INTERIOR
75	3'-0"	7'-0"	1-1/2"	INTERIOR
76	3'-0"	7'-0"	1-1/2"	INTERIOR
77	3'-0"	7'-0"	1-1/2"	INTERIOR
78	3'-0"	7'-0"	1-1/2"	INTERIOR
79	3'-0"	7'-0"	1-1/2"	INTERIOR
80	3'-0"	7'-0"	1-1/2"	INTERIOR
81	3'-0"	7'-0"	1-1/2"	INTERIOR
82	3'-0"	7'-0"	1-1/2"	INTERIOR
83	3'-0"	7'-0"	1-1/2"	INTERIOR
84	3'-0"	7'-0"	1-1/2"	INTERIOR
85	3'-0"	7'-0"	1-1/2"	INTERIOR
86	3'-0"	7'-0"	1-1/2"	INTERIOR
87	3'-0"	7'-0"	1-1/2"	INTERIOR
88	3'-0"	7'-0"	1-1/2"	INTERIOR
89	3'-0"	7'-0"	1-1/2"	INTERIOR
90	3'-0"	7'-0"	1-1/2"	INTERIOR
91	3'-0"	7'-0"	1-1/2"	INTERIOR
92	3'-0"	7'-0"	1-1/2"	INTERIOR
93	3'-0"	7'-0"	1-1/2"	INTERIOR
94	3'-0"	7'-0"	1-1/2"	INTERIOR
95	3'-0"	7'-0"	1-1/2"	INTERIOR
96	3'-0"	7'-0"	1-1/2"	INTERIOR
97	3'-0"	7'-0"	1-1/2"	INTERIOR
98	3'-0"	7'-0"	1-1/2"	INTERIOR
99	3'-0"	7'-0"	1-1/2"	INTERIOR
100	3'-0"	7'-0"	1-1/2"	INTERIOR







1 EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



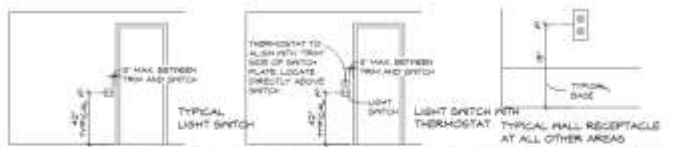
2 NEW REAR ELEVATION OPTION 1  
SCALE: 1/4" = 1'-0"



3 NEW REAR ELEVATION OPTION 2  
SCALE: 1/4" = 1'-0"



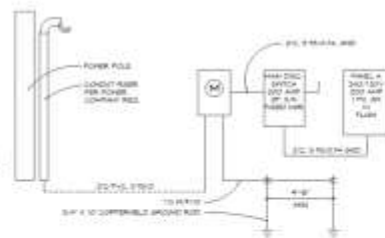
4 NEW REAR ELEVATION OPTION 3  
SCALE: 1/4" = 1'-0"



**ELECTRICAL SWITCH AND RECEPTACLE LOCATION DIAGRAM:**

**ELECTRICAL LEGEND**

- |   |   |   |
|---|---|---|
| <ul style="list-style-type: none"> <li>○ RECESSED FUTURE</li> <li>□ CEILING MOUNTED FUTURE</li> <li>□ WALL MOUNTED FUTURE</li> <li>□ INCANDESCENT WIPER FUTURE (SEE PLAN FOR LENGTH AND HEIGHT)</li> <li>○ PENDANT FUTURE</li> <li>□ EXHAUST FAN (E.F.) / LIGHT FUTURE (L.T.)</li> <li>□ RECESSED WALL FAN</li> <li>□ DUPLEX RECEPTACLE</li> <li>□ DUPLEX RECEPTACLE SWITCHED</li> <li>□ DOUBLE DUPLEX RECEPTACLE</li> <li>□ DUPLEX RECEPTACLE-APG</li> <li>□ DUPLEX RECEPTACLE-APG-SWITCHED</li> </ul> | <ul style="list-style-type: none"> <li>□ 320V RECEPTACLE</li> <li>□ SINGLE POLE RECEPTACLE</li> <li>□ CEILING OR FLOOR RECEPTACLE</li> <li>□ SINGLE POLE SWITCH</li> <li>□ THREE WAY SWITCH</li> <li>□ FOUR WAY SWITCH</li> <li>□ TELEPHONE JACK</li> <li>□ TELEVISION PREWIRE CONNECTION</li> <li>□ LIGHTED DOOR CHIME / GARAGE DOOR BUTTON</li> </ul> | <ul style="list-style-type: none"> <li>□ RECESSED JUNCTION BOX</li> <li>□ ELECTRIC PANEL</li> <li>□ THERMOSTAT</li> <li>□ COMBINED SMOKE/ CARBON MONOXIDE DETECTOR</li> <li>□ CEILING FAN (LIGHT KIT IF DESIGNATED)</li> <li>□ SURFACE MOUNTED</li> <li>□ FLUORESCENT FUTURE</li> </ul> |
|---|---|---|

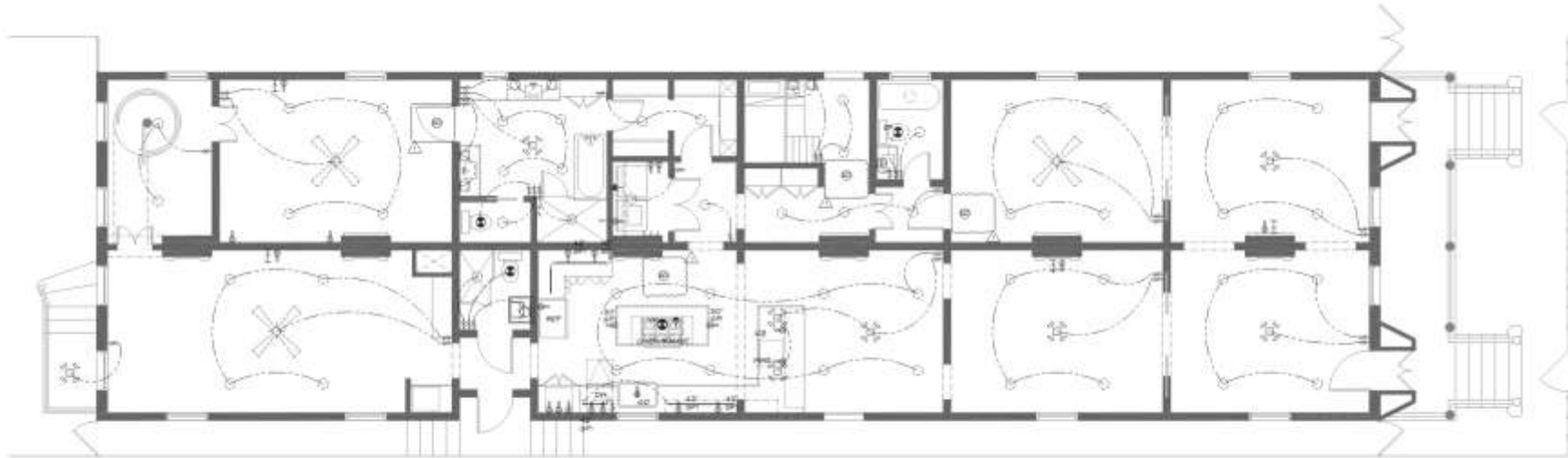


**TYPICAL RISER DIAGRAM**

- D.B. DOOR BELL
- W.P. WATER PROOF / P.I.
- M.R. MOISTURE RESISTANT
- D.M. DIMMER
- S.C. SPEED CONTROL
- L.T. LIGHT
- D.S. DOOR SWITCH
- P.C. PULL CHAIN
- G.D. GARBAGE DISPOSAL
- A.P.F. ABOVE FINISHED FLOOR
- G.F. GROUND FAULT INTERRUPTER RECEPTACLE

**GENERAL ELECTRICAL NOTES:**

1. THE ELECTRICAL PLAN ILLUSTRATES DESIGN INTENT ONLY. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. ELECTRICAL AND GAS METERS SHALL BE IN NON-OBSTRUCTIVE LOCATIONS WHEN VIEWED FROM FRONT OR REAR OF THE BUILDING.
3. PANEL BOX SHALL BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS AND SHALL PROVIDE FOR A MINIMUM OF EIGHT SPACES.
4. PROVIDE SERVICE AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT (I.E. REFRIGERATOR, FREEZER, DOW FAN, DISPOSAL, COOKTOP, VENT HOOD, OVEN, FAN, DRYER, HVAC).
5. EQUIPMENT, ALARM PANEL, PAPER VEHICLES, ETC.
6. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR SHALL THINK THROUGH PRIOR TO INSTALLATION AND VERIFY THAT DESIGN INTENT IS MAINTAINED. NOTIFY CONTRACTOR SHOULD ANY CONFLICTS ARISE.
7. SWITCHES SHALL BE LOCATED CLOSE TO, BUT NOT INTERFERING WITH, ANY DOOR/WHICH TRIM. VERIFY TRIM SIZE AND SELECTION IN ALL CASES. GROUPED SWITCHES SHALL ALSO BE PROVIDED AS CLOSE AS POSSIBLE. SEE DIAGRAMS FOR SIZES.
8. ALL OUTLETS IN BATHROOM, OFFICE, AND NEAR WATER CONDITIONS (I.E. VANITIES, SINKS, TUBS, SHOWERS, ETC.) SHALL BE GFI TYPE AS REQUIRED BY CODE.
9. LIGHT FUTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO WHAT SHOWN ON THE PLAN. FUTURES SHALL ALSO BE CENTERED ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENT. COORDINATE LOCATION OF LIGHT FUTURES WITH FINISH GRILLES SO THAT THEY ALIGN OR AT LEAST ARE SYMMETRICAL WITH EACH OTHER. WHERE THERE MAY BE CONFLICTS, LIGHT FUTURE LOCATION SHALL BE VERIFIED AND APPROVED BY CONTRACTOR OR ARCHITECT PRIOR TO INSTALLING FINISH WALL MATERIAL. IF V.A.L. SINKS OR RAILS SHALL BE BLURRED TO ALIGN GRILLES TO ALIGN WITH LIGHT FUTURES.
10. VERIFY WITH CONTRACTOR SHOULD EXISTING SECURITY LIGHTS BE DESIRED. IF DESIRED, VERIFY TYPE OF FUTURE LOCATION AND REQUIRED SWITCHING.
11. VERIFY WITH CONTRACTOR FOR LANDSCAPE AND ALL EXTERIOR LIGHTING CIRCUITS AND SWITCHES.
12. FIELD VERIFY LOCATION OF ALARM SYSTEM WITH CONTRACTOR.
13. PHONE SYSTEM: SEE OUTLET LOCATIONS AND VERIFY WITH CONTRACTOR. PROVIDE OUTLET AT ALARM PANEL LOCATION.
14. CABLE TO SEE OUTLET LOCATIONS AND FIELD VERIFY WITH CONTRACTOR.
15. SMOKE DETECTORS: ALL DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS. (I.E. WIREWIRE WITH A BATTERY BACKUP).
16. ALL DETECTORS SHALL BE LOCATED AND INSTALLED PER APPLICABLE CODE AND PER MANUFACTURER'S INSTRUCTIONS. LOCATIONS SHALL INCLUDE, BUT NOT LIMITED TO, ALL SLEEPING AREAS, IMMEDIATE VICINITY OF BEDROOMS, EACH FLOOR LEVEL, HALLWAYS, ELEVATORS AND ATTIC.



**ELECTRICAL NOTES**  
CONTRACTOR TO ADDRESS EXISTING ELECTRICAL SERVICE AND OUTLET LOCATIONS. NOTIFY OWNER/ARCHITECT OF NECESSARY UPDATES.

716 Esplanade

1 FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

VCC Architectural Committee

August 14, 2018





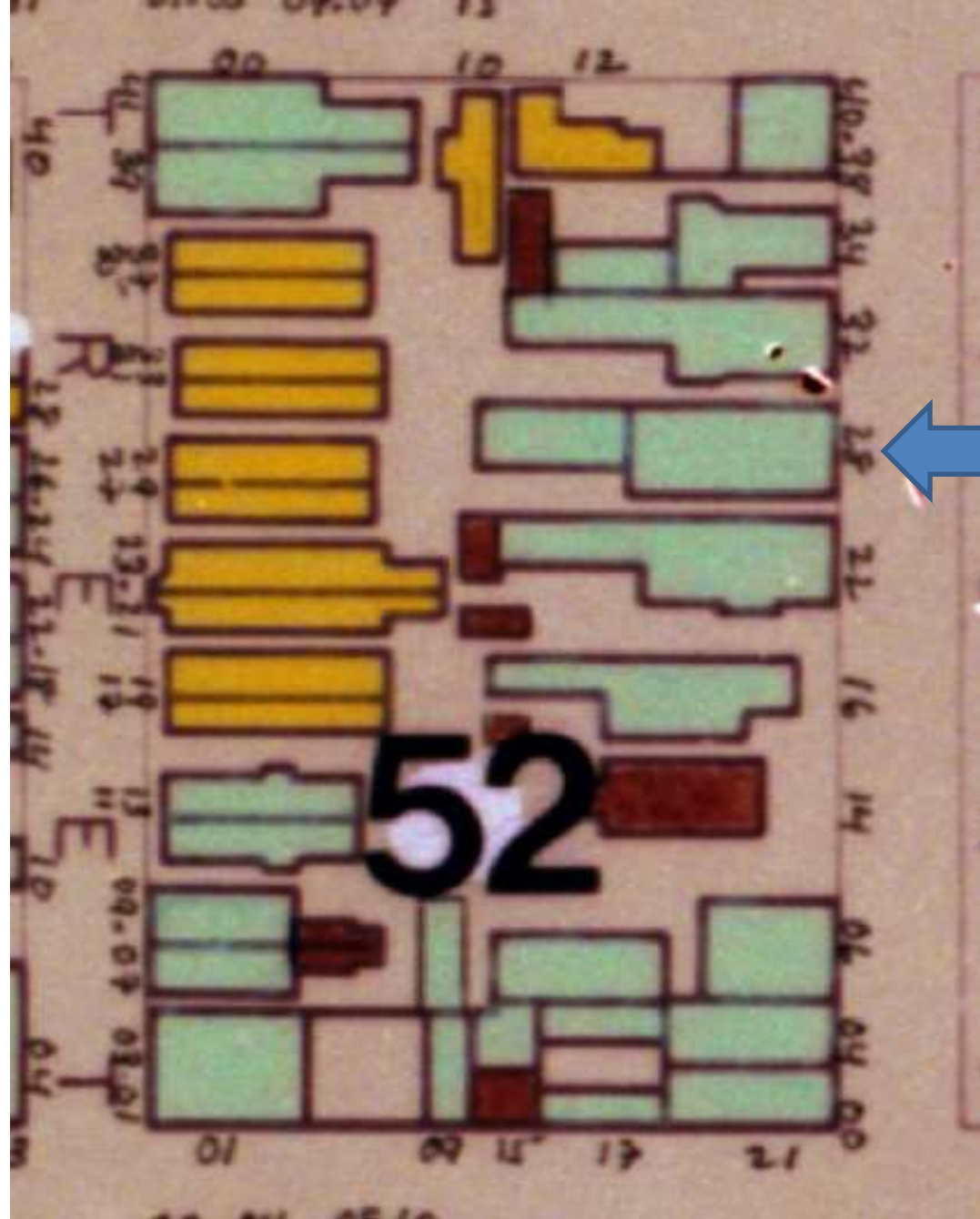


628 Esplanade



628 Esplanade





628 Esplanade





628 Esplanade





628 Esplanade



628 Esplanade – Royal Elevation





628 Esplanade

VCC Architectural Committee

August 14, 2018







628 Esplanade

VCC Architectural Committee

August 14, 2018







628 Esplanade

VCC Architectural Committee

August 14, 2018







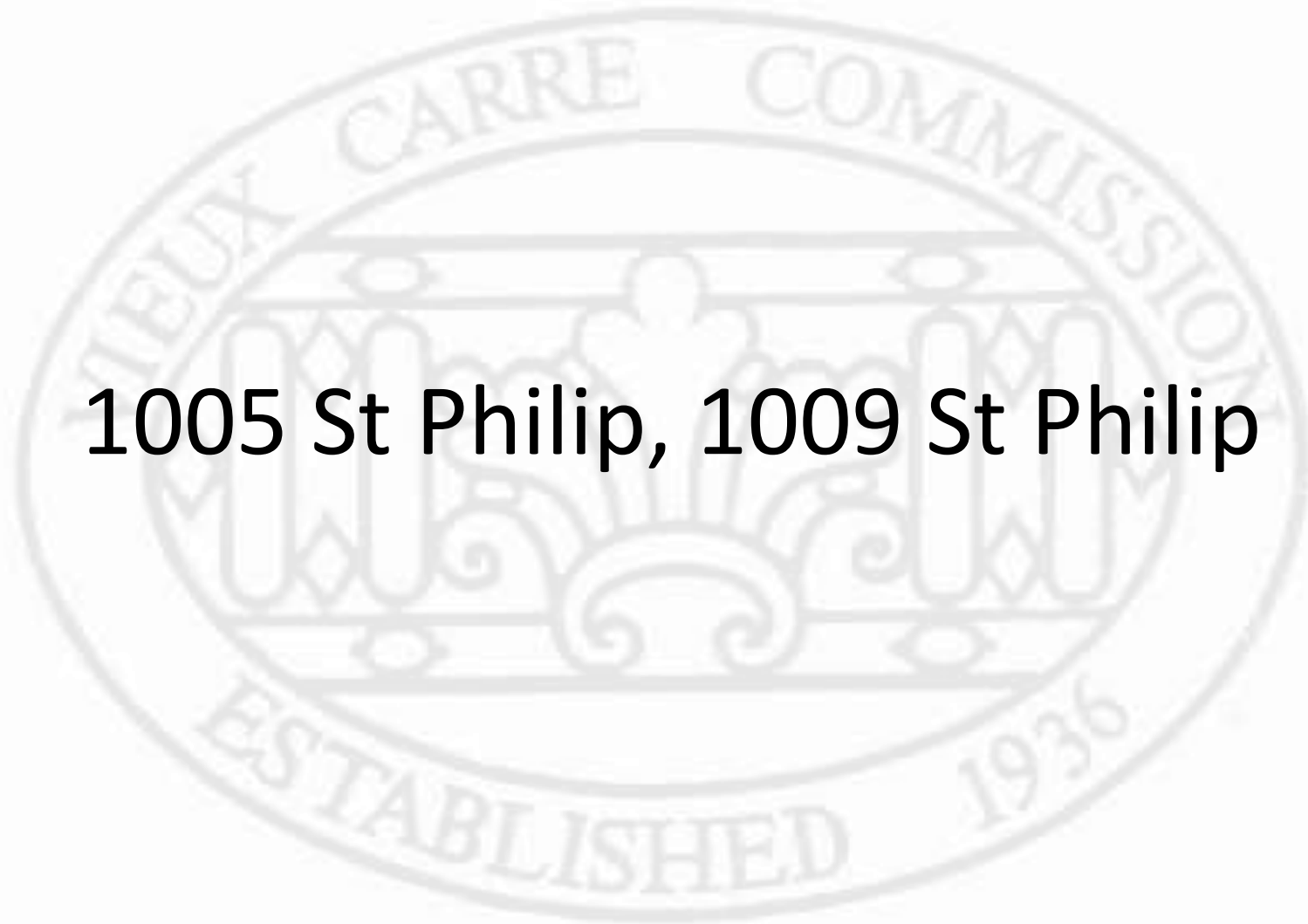




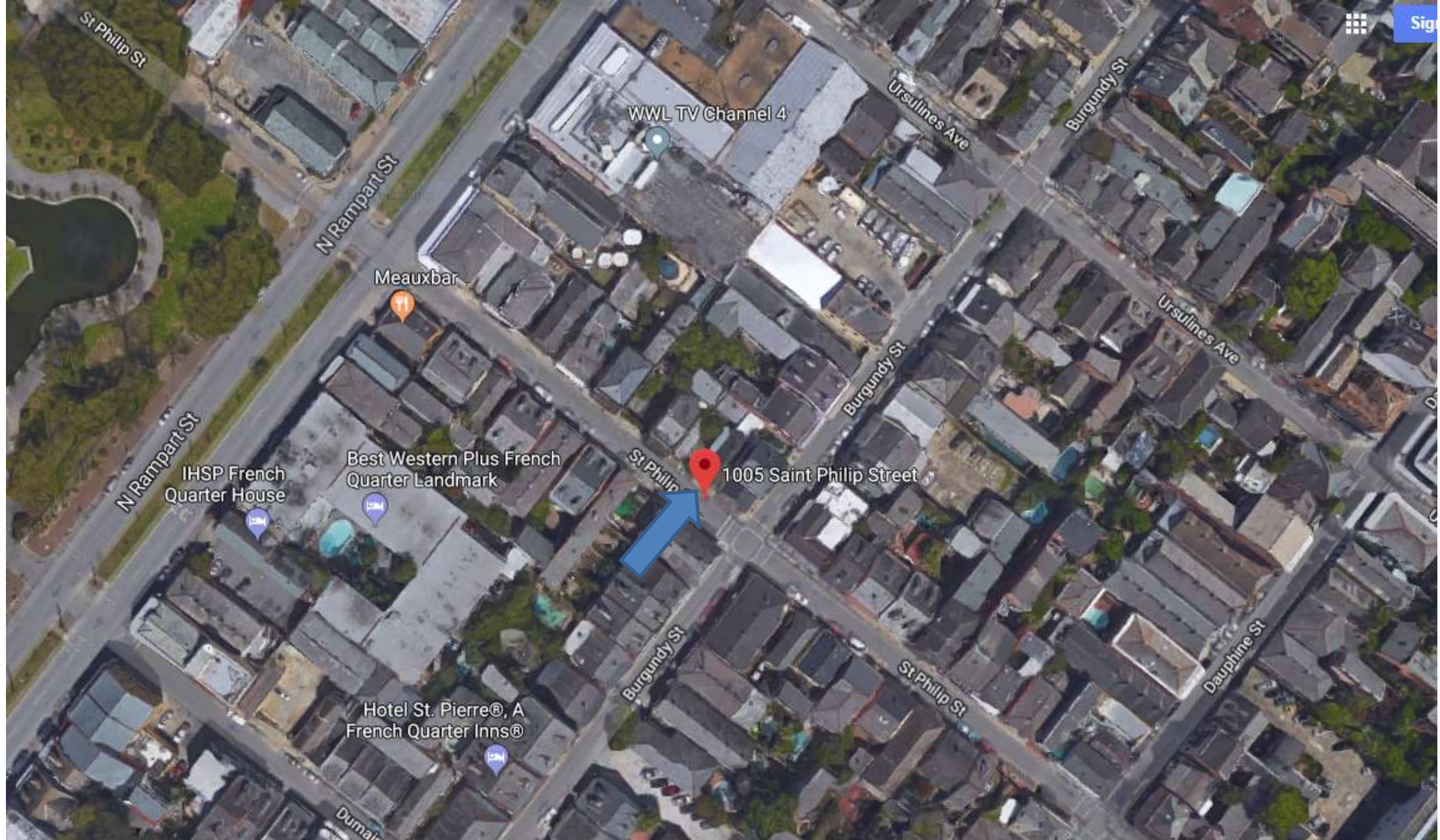




1005 St Philip, 1009 St Philip







1005-09 St Philip





1005-09 St Philip





1005-09 St Philip



1005-09 St Philip





1005-09 St Philip – before





1005-09 St Philip – before





1005-09 St Philip – before





1005-09 St Philip – before





1005-09 St Philip – before





1005-09 St Philip – before





1005-09 St Philip – before



1005-09 St Philip – before





1005-09 St Philip – before



1005-09 St Philip – after





1005-09 St Philip – after



06 11 2018









06 11 2018









Vieux Carre Commission

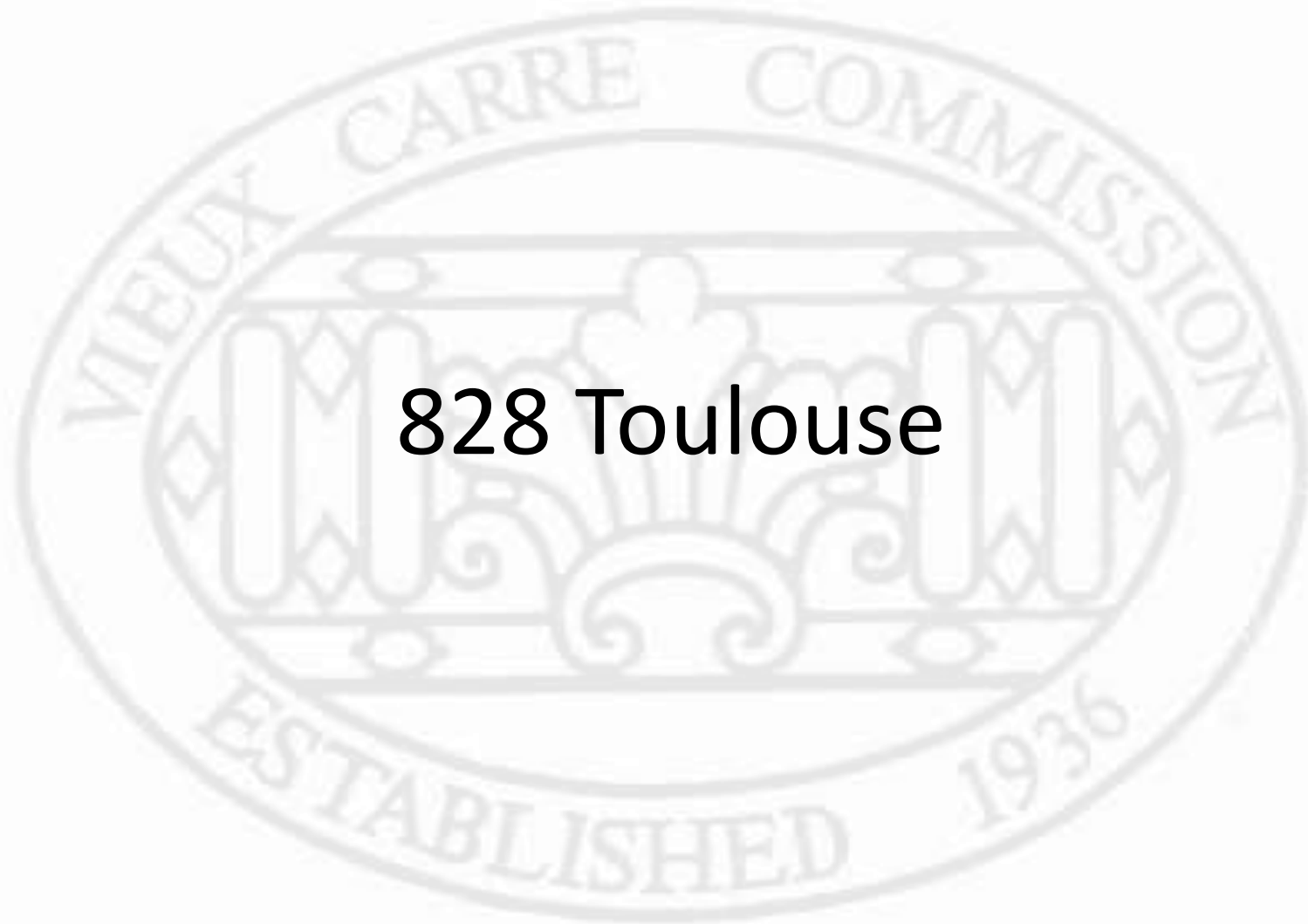


July 5, 2018

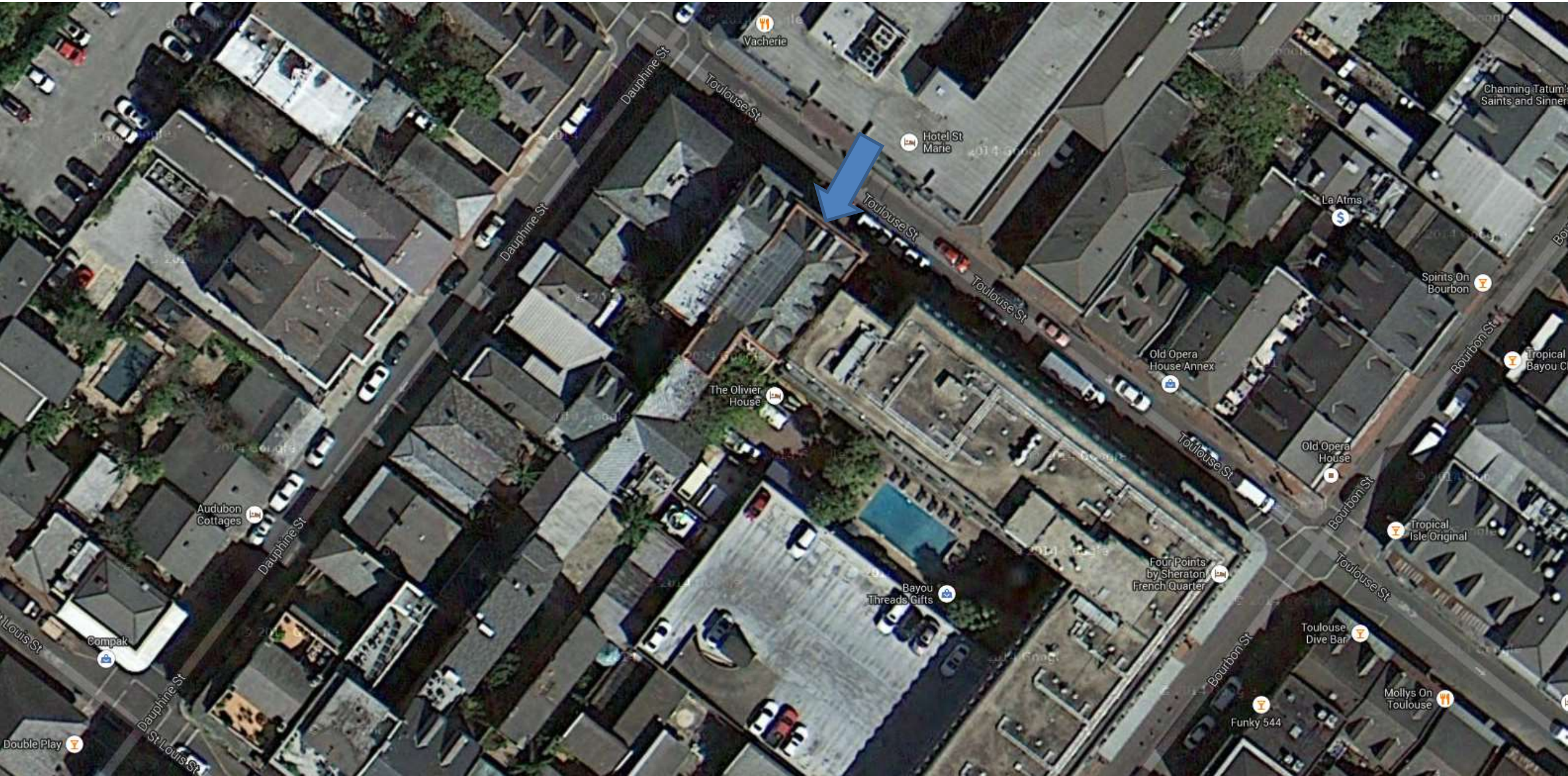




828 Toulouse





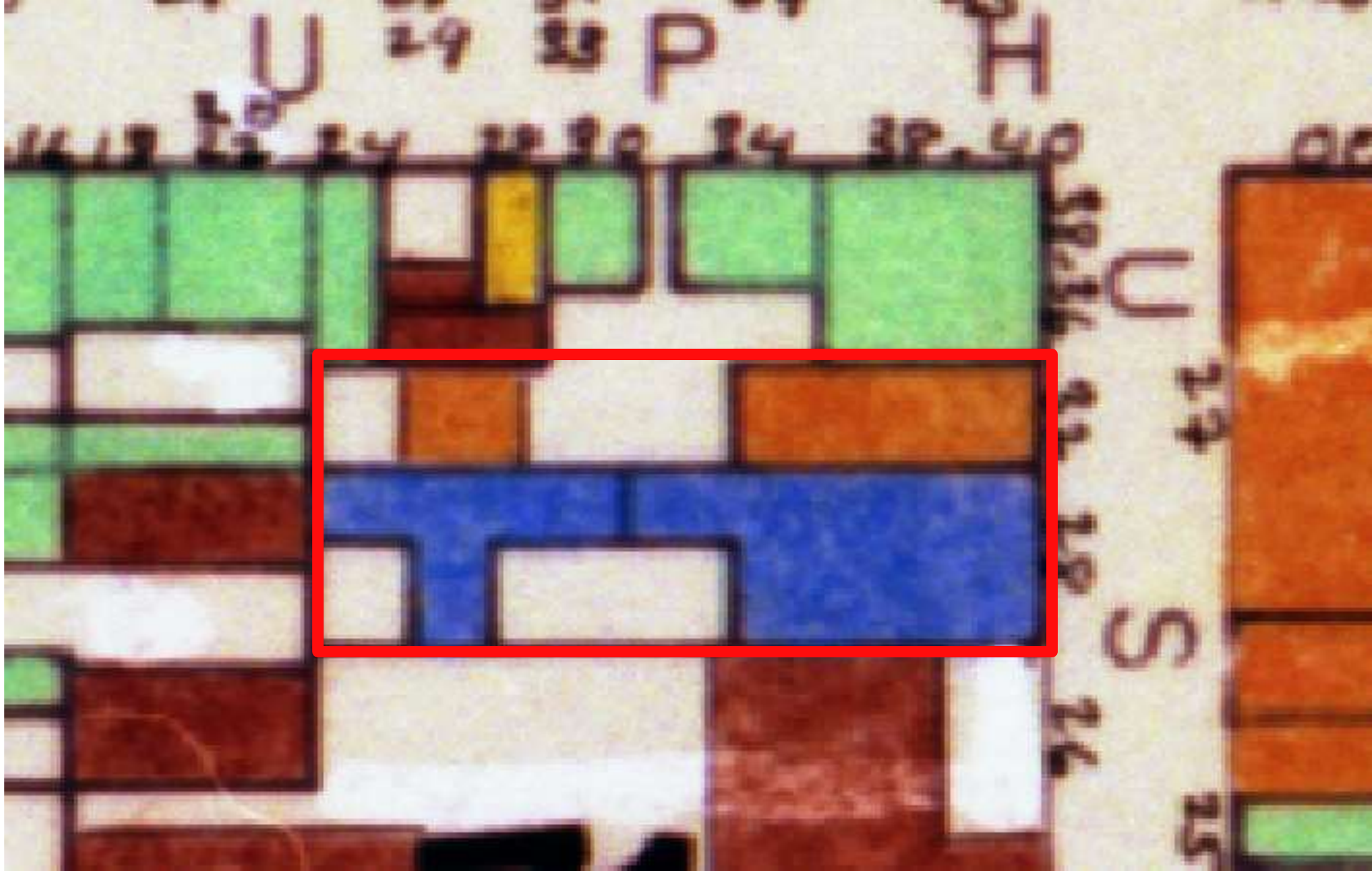


828 Toulouse  
VCC Architectural Committee

August 14, 2018









828 Toulouse

VCC Architectural Committee

August 14, 2018







828 Toulouse

VCC Architectural Committee

August 14, 2018









828 Toulouse

VCC Architectural Committee

August 14, 2018





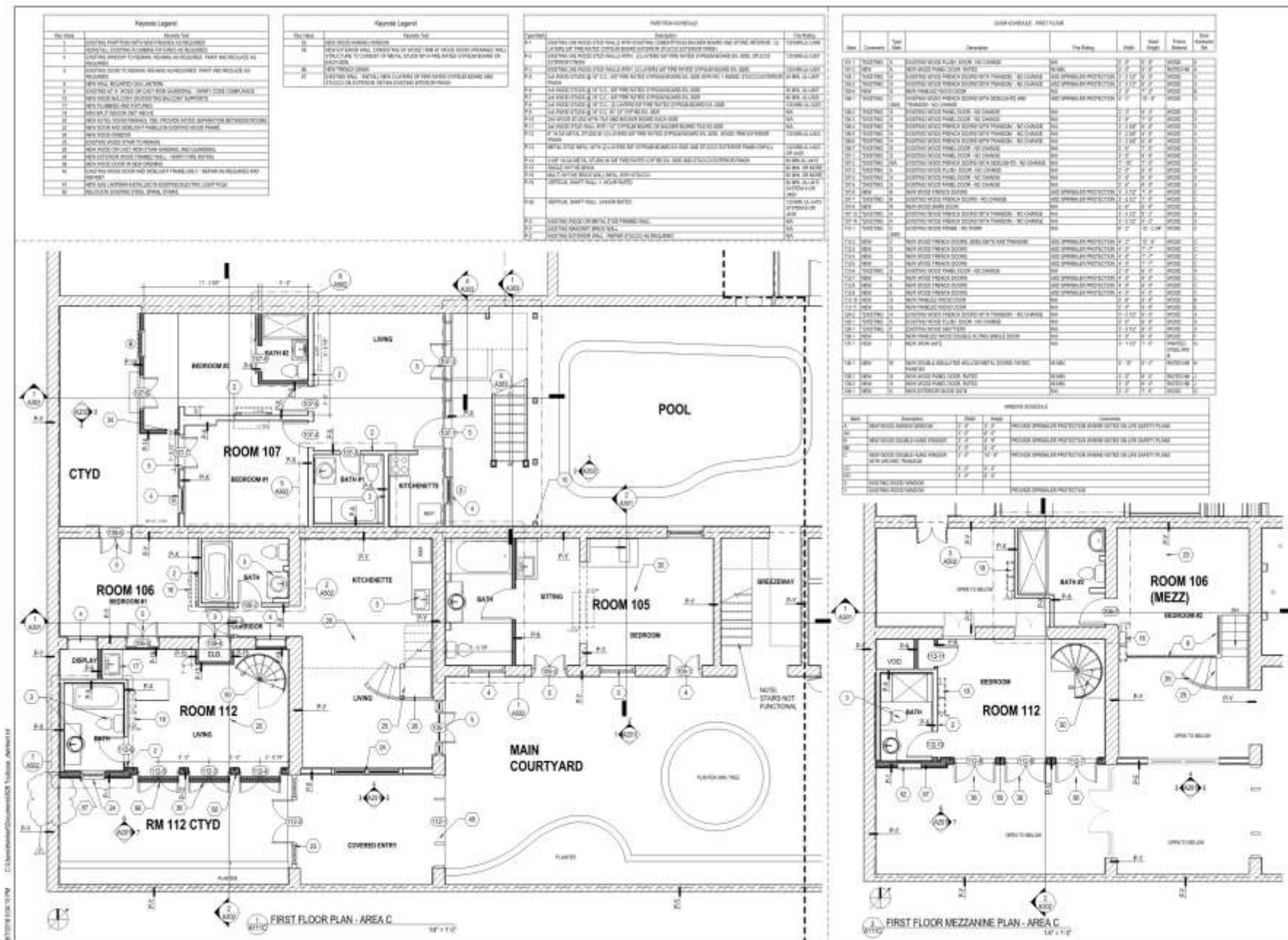
828 Toulouse – Toulouse elevation of 832 rear building

VCC Architectural Committee

August 14, 2018







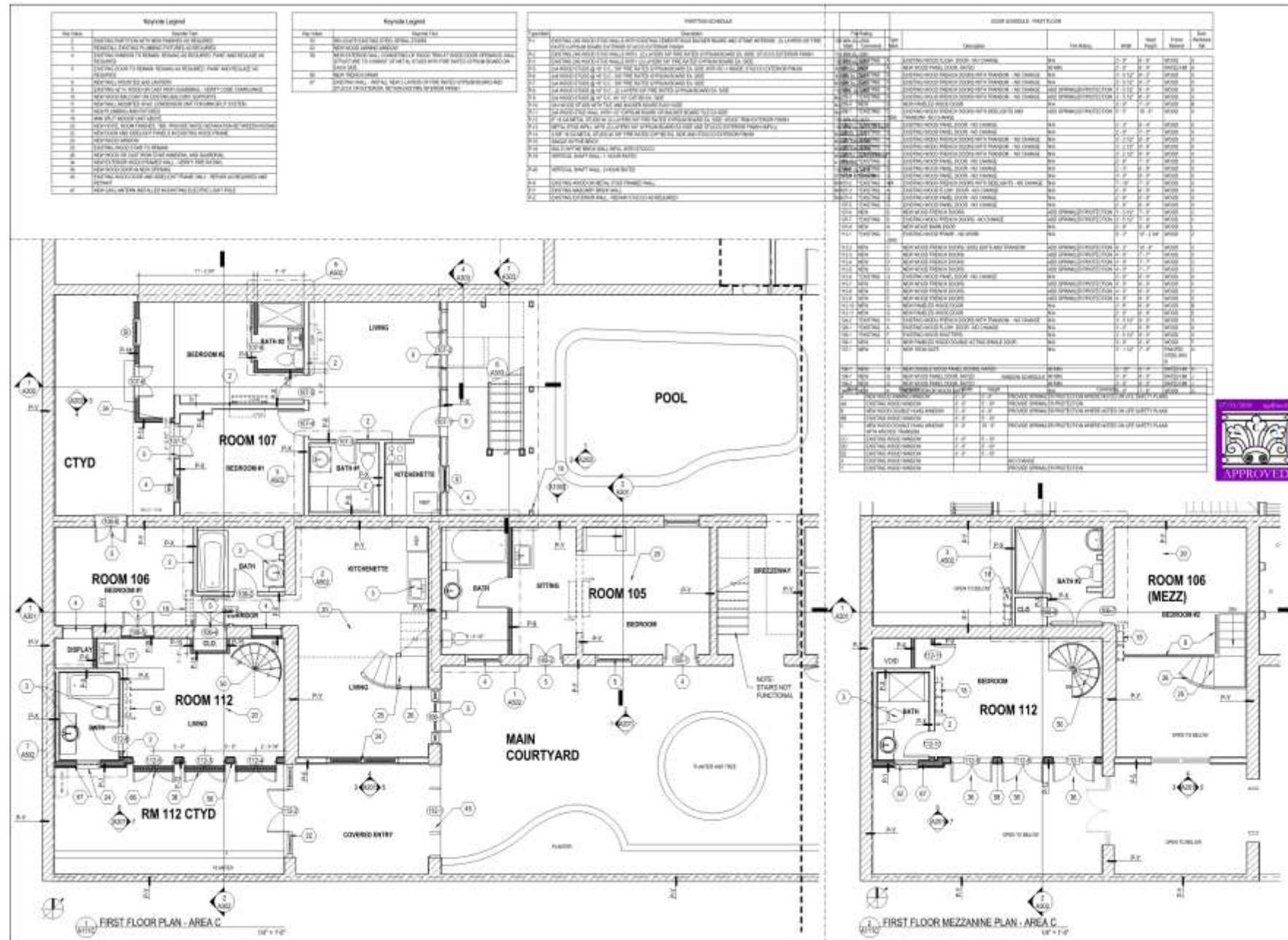
Oliver House Hotel  
828 Toulouse St. New Orleans, LA 70112

Oliver House Hotel  
828 Toulouse St. New Orleans, LA 70112

Oliver House Hotel  
828 Toulouse St. New Orleans, LA 70112

Oliver House Hotel  
828 Toulouse St. New Orleans, LA 70112





These drawings and specifications have been prepared by the architect in accordance with the provisions of the Louisiana Professional Land Surveying and Engineering Act, Chapter 1:15, Louisiana Revised Statutes (1984).

1. All buildings and structures shall conform to the provisions of the Louisiana Professional Land Surveying and Engineering Act, Chapter 1:15, Louisiana Revised Statutes (1984).

2. All buildings and structures shall conform to the provisions of the Louisiana Professional Land Surveying and Engineering Act, Chapter 1:15, Louisiana Revised Statutes (1984).

**OLIVIER HOUSE HOTEL**  
828 Toulouse St. New Orleans, LA 70112

**REVISIONS:**

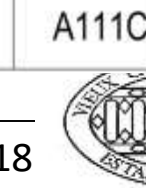
No.	Date	By
1	08/14/18	WCC

**SHOWN:**  
FIRST FLOOR PLAN - AREA C

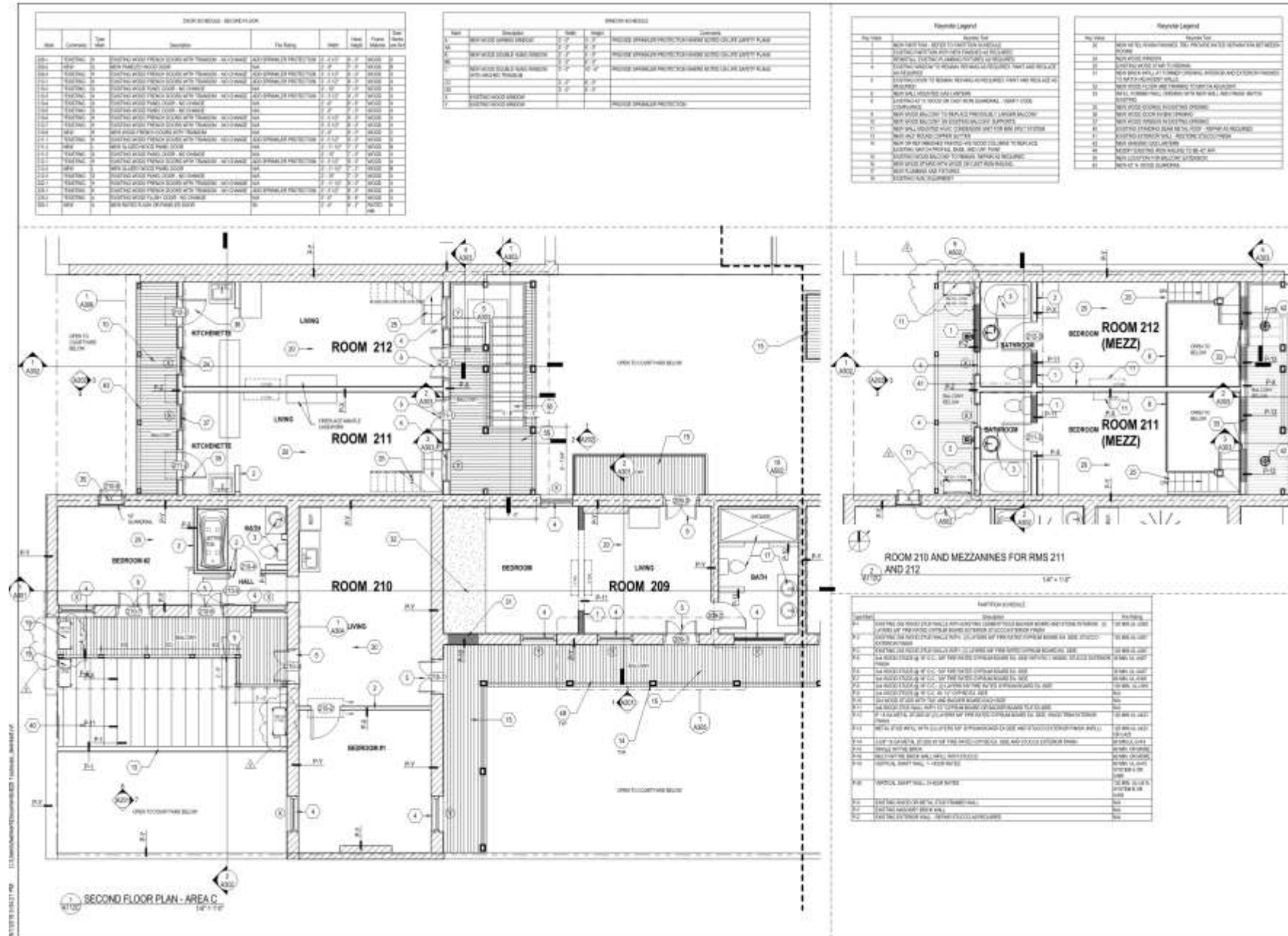
**DRAWN BY:**  
SCALE: 1/8" = 1'-0"

**DATE:**  
08/14/18

**Sheet No.:**  
A111C





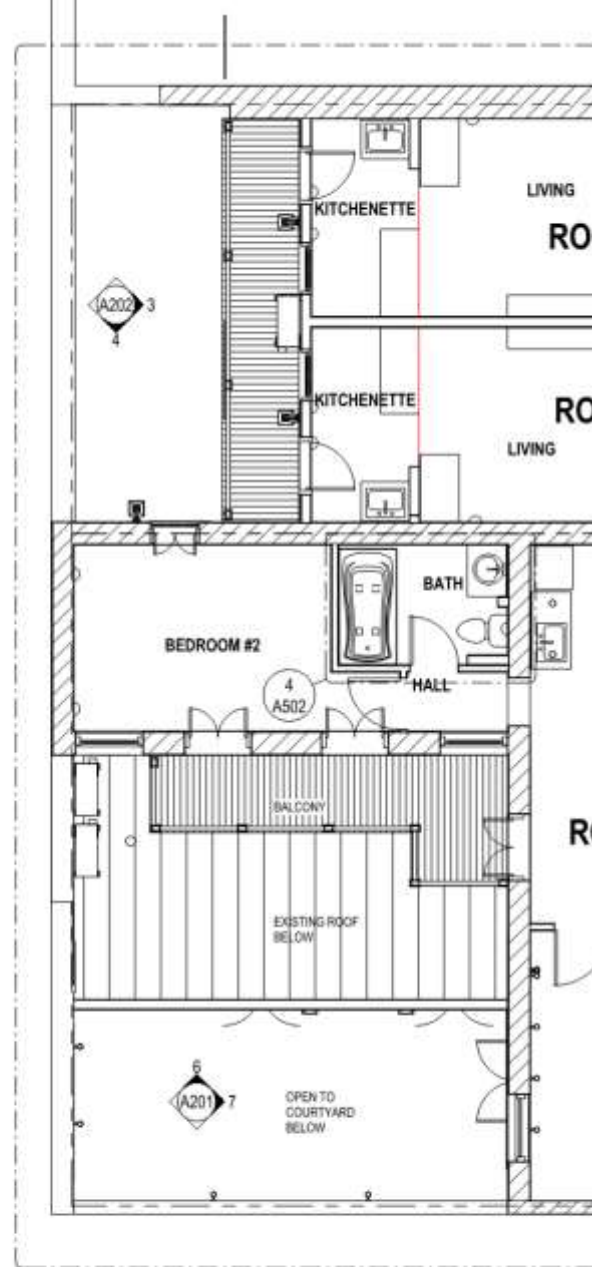




**OLIVIER HOUSE HOTEL**  
828 Toulouse St, New Orleans, LA 70112

**A112C**





1 SECOND FLOOR PLAN  
3/16" = 1'-0"

August 14, 2018

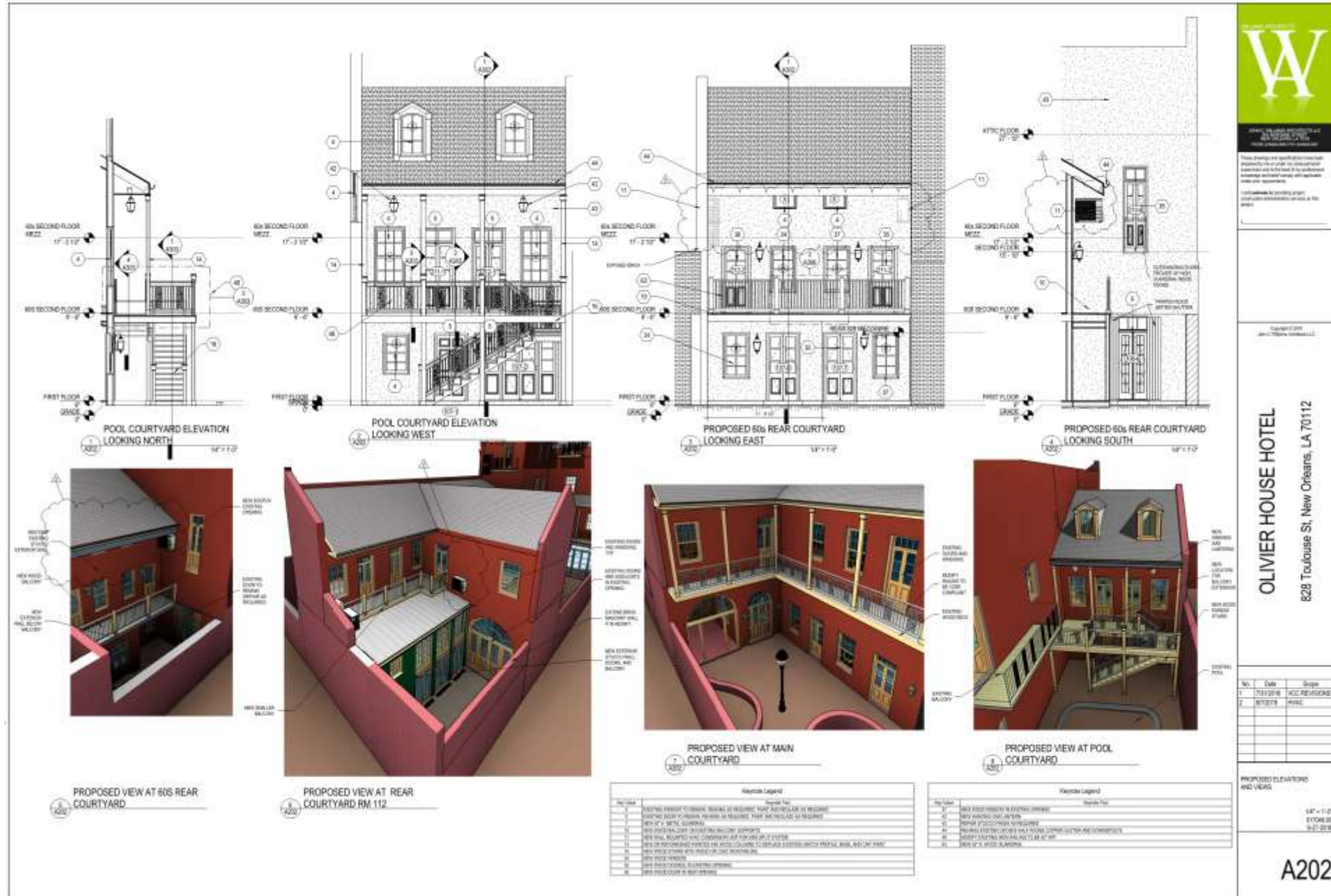






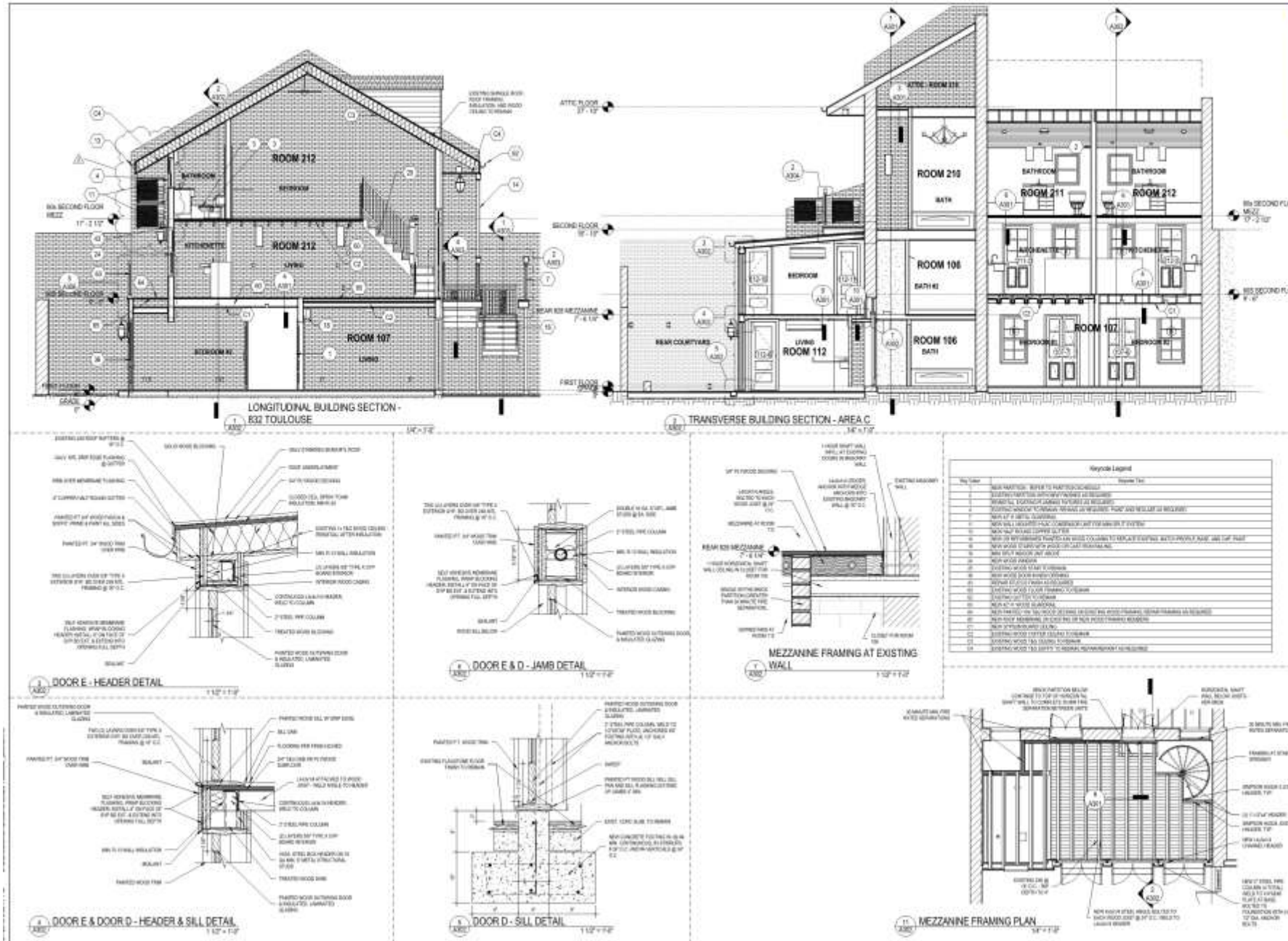














**WCC ARCHITECTURAL**

Architectural Services, Inc.  
828 Toulouse St., New Orleans, LA 70112  
(504) 581-1111  
www.wccarchitect.com

**OLIVER HOUSE HOTEL**

828 Toulouse St., New Orleans, LA 70112

**BUILDING SECTIONS**

As indicated  
5/15/2018  
5/17/2018

**A302**













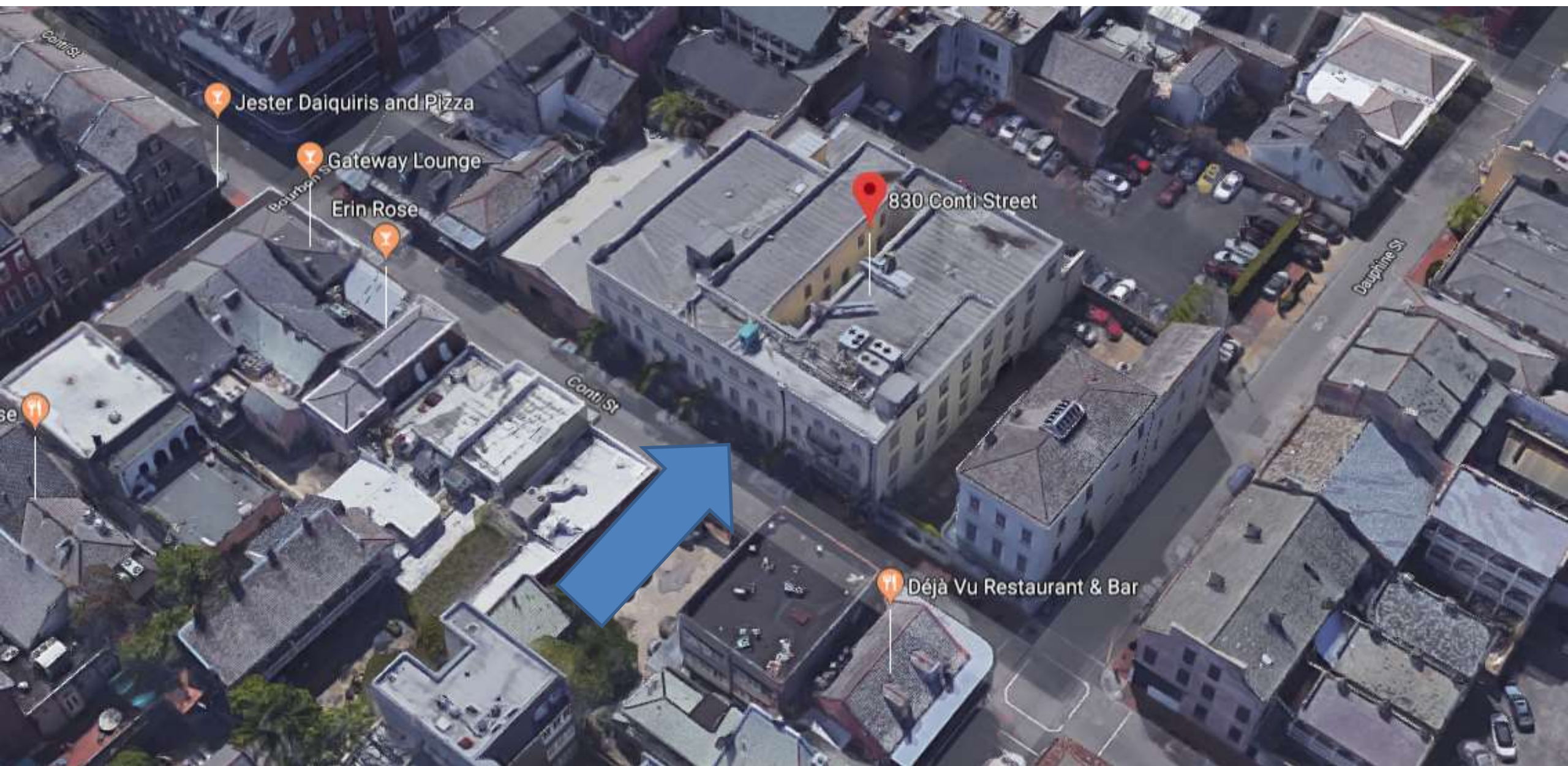


New Business

830 Conti







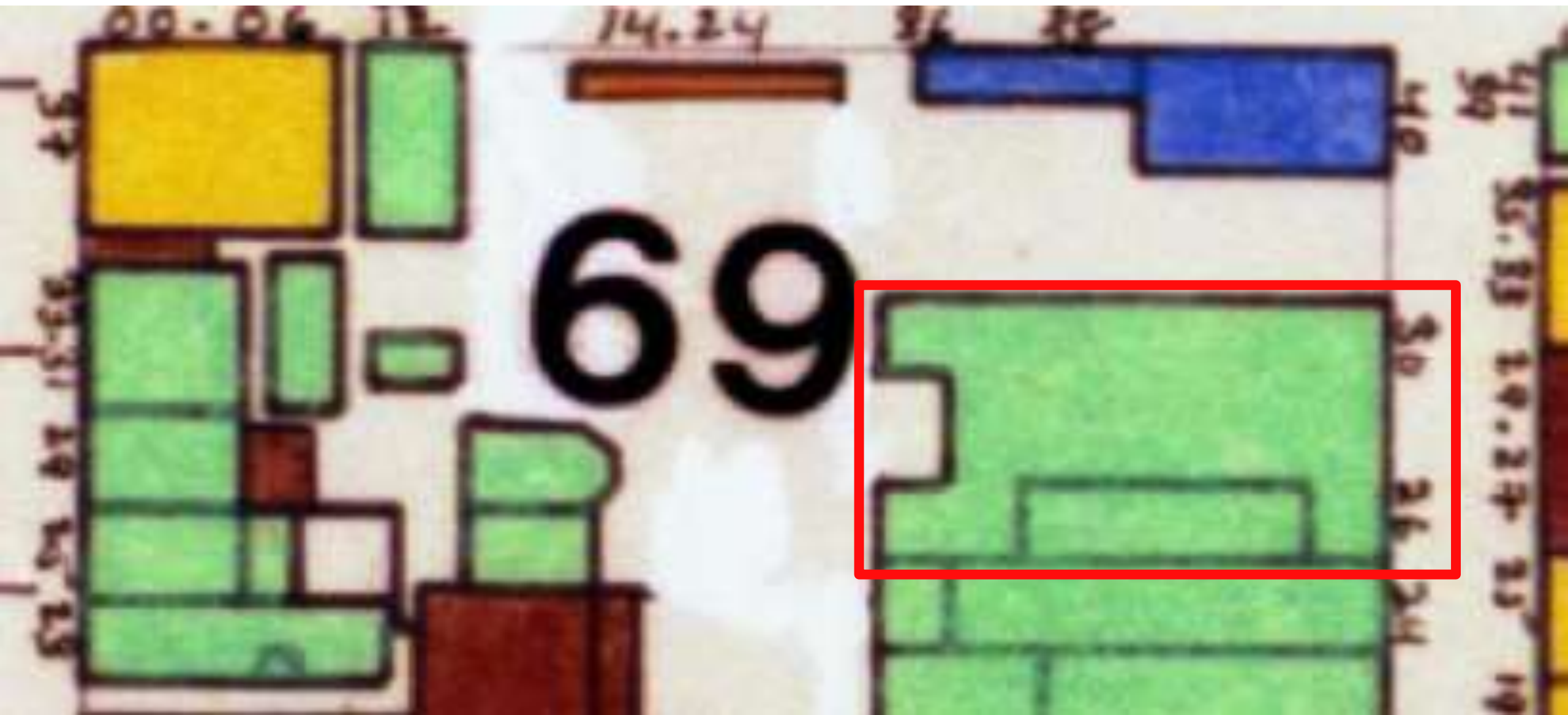
830 Conti

VCC Architectural Committee

August 14, 2018







830 Conti

VCC Architectural Committee

August 14, 2018







830 Conti - 1959

VCC Architectural Committee

August 14, 2018





830 Conti

VCC Architectural Committee

August 14, 2018







830 Conti

VCC Architectural Committee

August 14, 2018





830 Conti

VCC Architectural Committee

August 14, 2018







830 Conti

VCC Architectural Committee

August 14, 2018



830 Conti

VCC Architectural Committee



August 14, 2018





830 Conti

VCC Architectural Committee



07 19 2018

August 14, 2018



830 Conti – Replacement Window  
VCC Architectural Committee

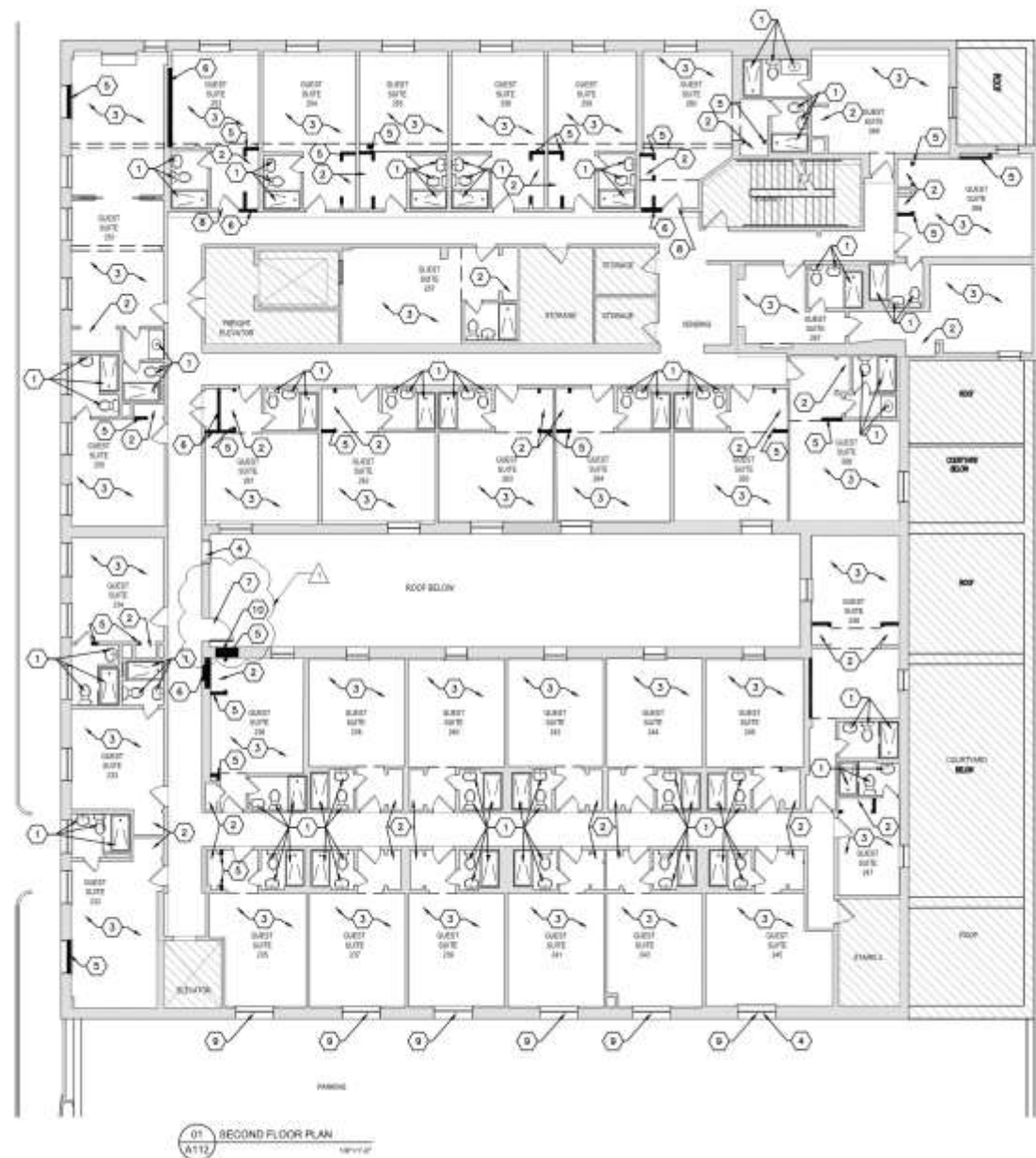


August 14, 2018





[illegible]



- REVISED
1. NEW GUEST ROOM PLUMBING, FUTURE WALLS, SHOWER AT FORMER TUB LOCATION.
  2. NEW GUEST ROOM CASEWORK, HANDSINK, TUB/SHOWER, VANITIES, MIRROR TO MATCH EXISTING DRAWINGS.
  3. NEW GUEST ROOM WALL, CEILING AND FLOOR FINISHES (GYPSUM BOARD WALLS AND CEILING, WALHALLA CARPET, FLOOR AND WALL TILE).
  4. NEW WALL LOCKERS FOR FRESH AIR INTAKE OR EXHAUST REFER TO MECHANICAL DRAWINGS.
  5. NEW METAL STUD AND GYPSUM BOARD PARTITION - NOT RATED.
  6. NEW METAL STUD AND GYPSUM BOARD PARTITION - 30 MIN RATED MR.
  7. NEW ROOM AND FRAME - NOT RATED.
  8. NEW DOOR AND FRAME (30 MIN. RATED) MR.
  9. NEW ALUMINUM FRAMES, INSULATED, IMPACT RESISTANT WINDOW, SEE ELEVATION SHEETS.
  10. NEW BRICK WPC - TUCKER BRICK INTO EXISTING WALL.

ARCHITECTURAL PROJECTS AND DESIGN GROUP, LLC  
1000 PINE STREET, SUITE 1000  
NEW ORLEANS, LA 70112  
504.581.1234  
www.apac-llc.com

These drawings and specifications have been prepared by me or under my direct personal supervision and the full and complete responsibility of the architect is hereby assumed.

*John C. Williams*  
John C. Williams  
Principal Architect  
Architect License No. 10000  
July 27, 2018

Submitted to:  
APAC (Arkansas Architects Council)

**GUEST ROOM IMPROVEMENTS TO  
PRINCE CONTI HOTEL**  
830 CONTI STREET NEW ORLEANS, LA

**-REVISIONS-**

No.	Date	Scope
1	1.14.2018	REVISED

DRAWING:  
SECOND FLOOR PLAN

DRAWING BY: DPM  
SCALE: 1/8"=1'-0"  
JOB NO.: 011807.02  
DATE: 07/08/18  
Sheet No.

A112



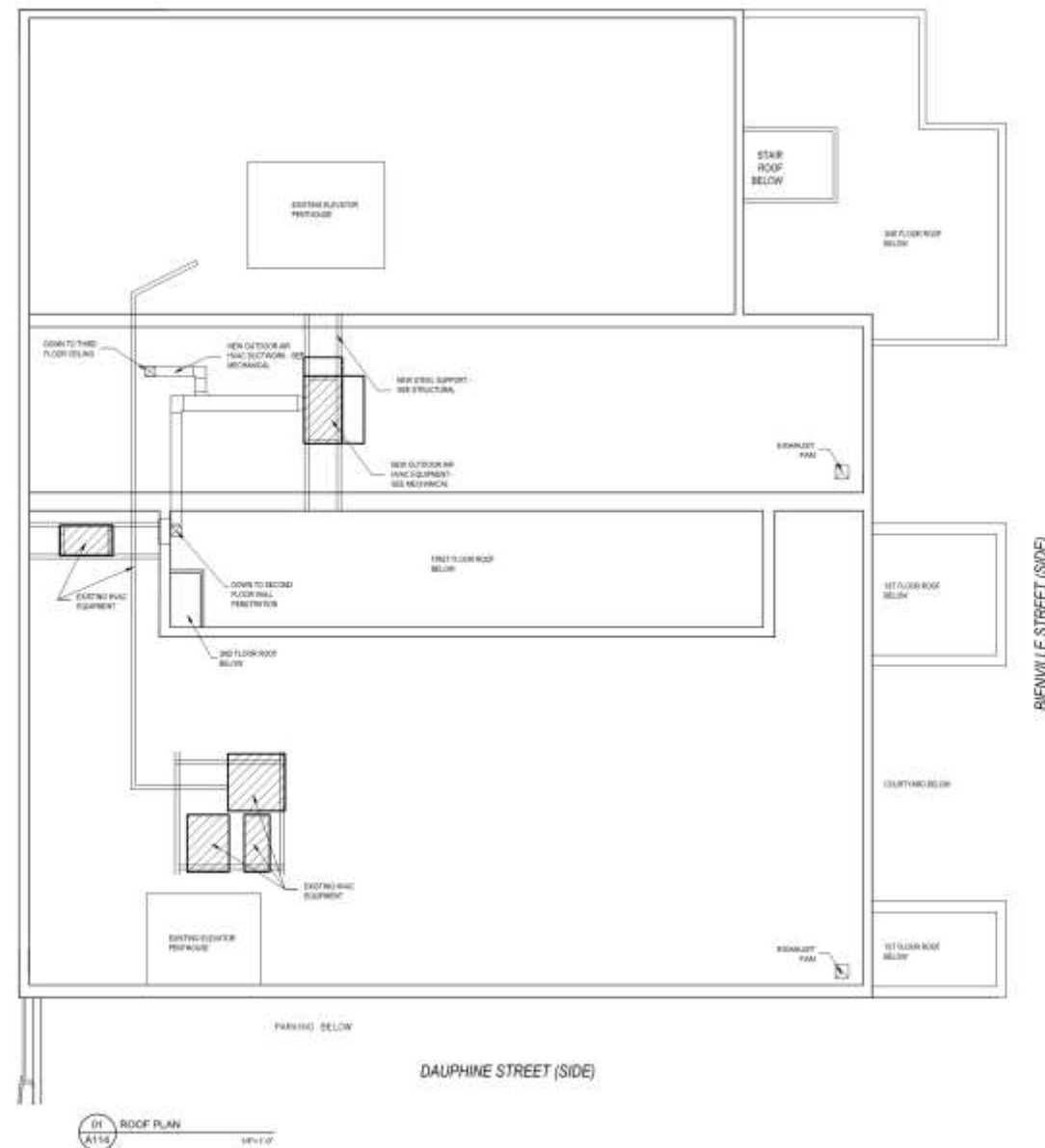




830 Conti

VCC Architectural Committee

CONTI STREET  
ONE WAY





**ARCHITECTURAL PROJECTS**  
NEW ORLEANS, LA  
1936 ESTABLISHED

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge conform to the applicable codes and requirements.

John A. Williams  
Professional Engineer  
No. 10,000 License  
State of Louisiana  
Exp. 12/31/2018



Copyright © 2018  
John A. Williams, Architectural

**GUEST ROOM IMPROVEMENTS TO  
PRINCE CONTI HOTEL**  
830 CONTI STREET NEW ORLEANS, LA

-REVISIONS-		
No.	Date	Scope

DRAWING: ROOF PLAN

DRAWING BY: JAW  
SCALE: 1/8" = 1'-0"  
JOB NO.: 18001  
DATE: 8/14/18  
Sheet No.

**A114**

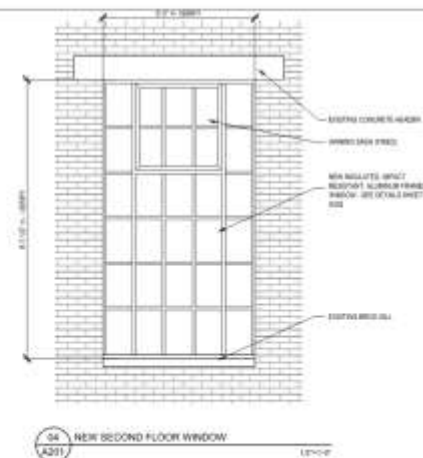
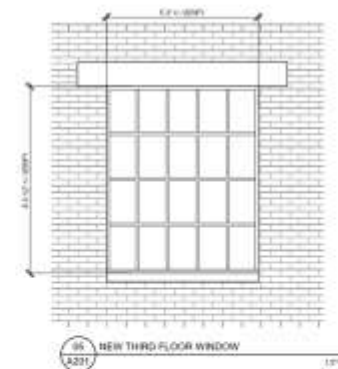
August 14, 2018





830 Conti

VCC Architectural Committee



THE CITY OF NEW ORLEANS  
OFFICE OF THE CITY CLERK  
100 Poydras Street, Suite 2000  
New Orleans, LA 70112

These drawings and specifications have been prepared by me or under my direct supervision and to the best of my knowledge and belief comply with applicable codes and requirements.

*John M. Miller*  
Professional Engineer  
No. 12426  
State of Louisiana  
Exp. 12/31/2018

Copyright © 2018  
John M. Miller, P.E.

**GUEST ROOM IMPROVEMENTS TO  
PRINCE CONTI HOTEL**  
830 CONTI STREET NEW ORLEANS, LA

**REVISIONS**

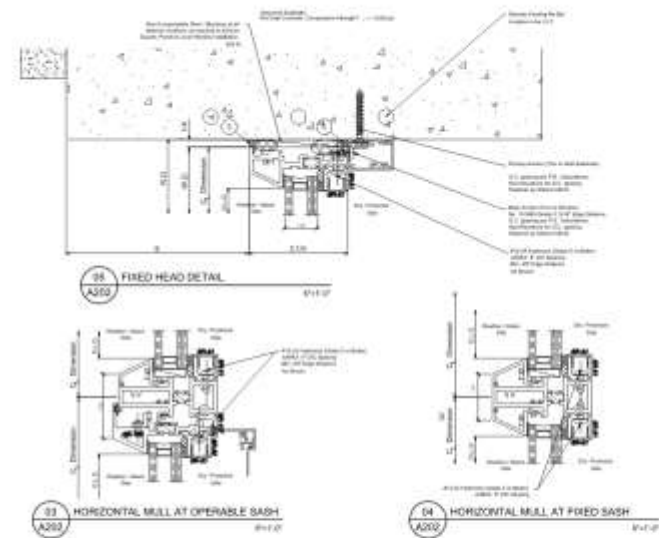
No.	Date	Change

DRAWING: DAUPHINE STREET (SIDE) ELEVATIONS

DRAWN BY: DRW  
SCALE: 3/4"=1'-0"  
JOB NO.: 111007-02  
DATE: 07/26/18  
Sheet No.:



August 14, 2018



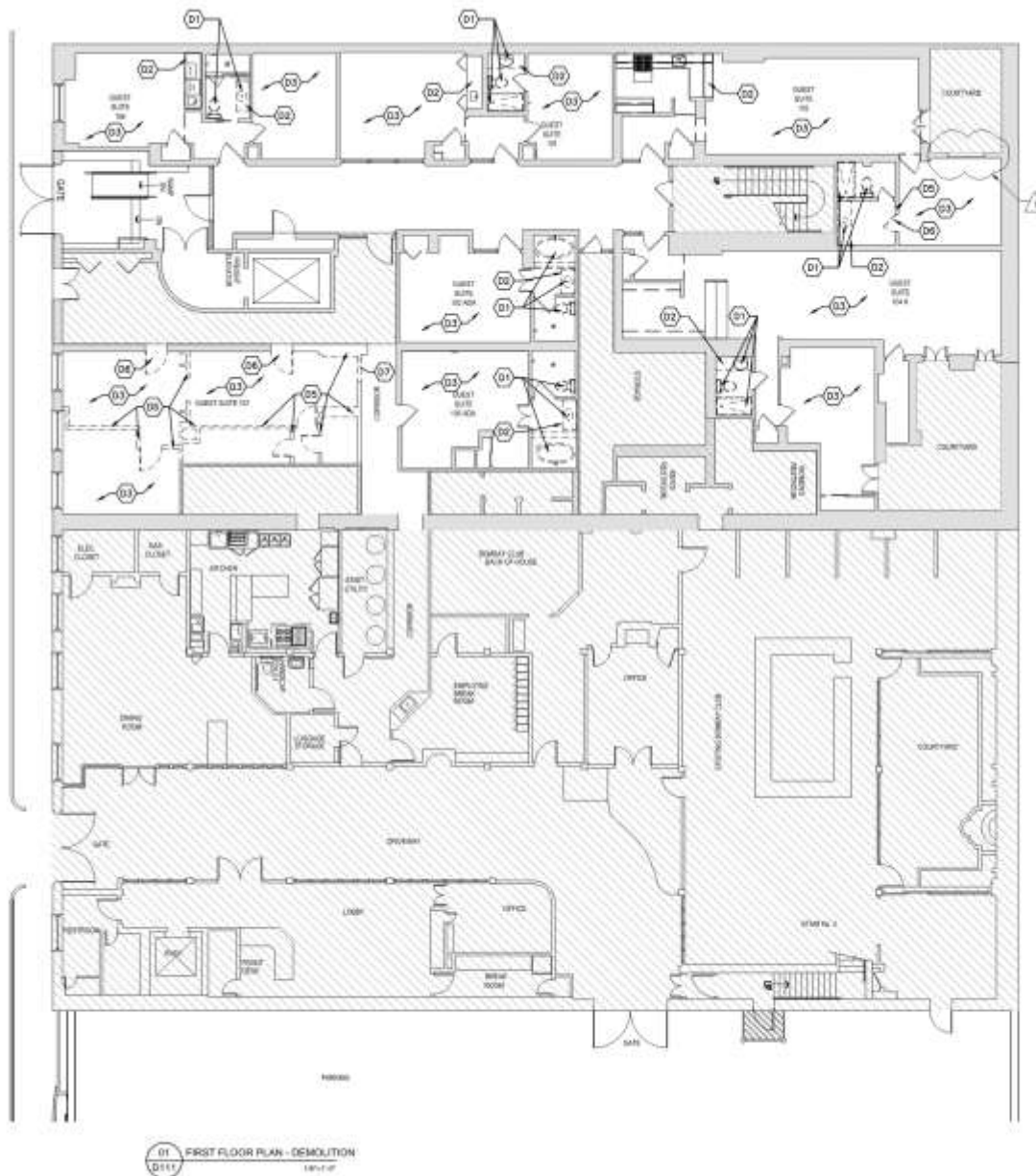
The image contains two architectural cross-section drawings of a window assembly, labeled D2 and D1.

**D2 HORIZONTAL MULL AT OPERABLE SASH**  
 This drawing shows a cross-section of a horizontal mull at an operable sash. The sash is shown in a partially open position, revealing the internal mechanism. The mull is labeled "HORIZONTAL MULL" and "HORIZONTAL MULL AT OPERABLE SASH". The drawing includes dimensions for the sash height (10' 0" and 10' 0") and the mull height (10' 0"). A note indicates that the mull is made of aluminum and is painted to match the exterior finish. The drawing also shows the sash's internal components, including the sash cord and the sash weight.

**D1 TYPICAL WINDOW SILL**  
 This drawing shows a cross-section of a typical window sill. The sill is labeled "TYPICAL WINDOW SILL". The drawing includes dimensions for the sill height (10' 0") and the sill width (10' 0"). A note indicates that the sill is made of aluminum and is painted to match the exterior finish. The drawing also shows the sill's internal components, including the sill cord and the sill weight.



ONE WAY  
CONTI STREET  
ONE WAY  
CONTI STREET



- GENERAL NOTES: DEMOLITION
1. DEMOLISH EXISTING WALL/CEILING COMPLIANT ELECTRICAL WORK IN GUEST ROOMS
  2. DEMOLISH EXISTING WORK EQUIPMENT IN GUEST ROOMS ON SECOND AND THIRD FLOORS
- KEY NOTES
- 01 - REMOVE ALL EXISTING GUEST ROOM PLUMBING FIXTURES
  - 02 - REMOVE ALL EXISTING GUEST ROOM CASEWORK
  - 03 - REMOVE ALL EXISTING GUEST ROOM WALL, CEILING AND FLOOR FINISHES
  - 04 - CUT HORIZONTAL PENETRATION FOR FIRE/LAR WEDGE TEST
  - 05 - DEMOLISH PARTITION
  - 06 - DEMOLISH DOOR AND FRAME
  - 07 - CUT OPEN OPENING FOR NEW DOOR AND FRAME
  - 08 - REMOVE EXISTING STEEL FRAMED WINDOW



JEAN C. WILLIAM ARCHITECTS  
NEW ORLEANS, LA 70112  
PRINCE CONTI HOTEL

These drawings and specifications have been prepared by Jean C. William Architects in the exercise of my professional knowledge and under contract with applicable codes and requirements.

*Jean C. William*



Copyright © 2018  
JEAN C. WILLIAM ARCHITECTS, L.L.C.

## GUEST ROOM IMPROVEMENTS TO PRINCE CONTI HOTEL

830 CONTI STREET NEW ORLEANS, LA

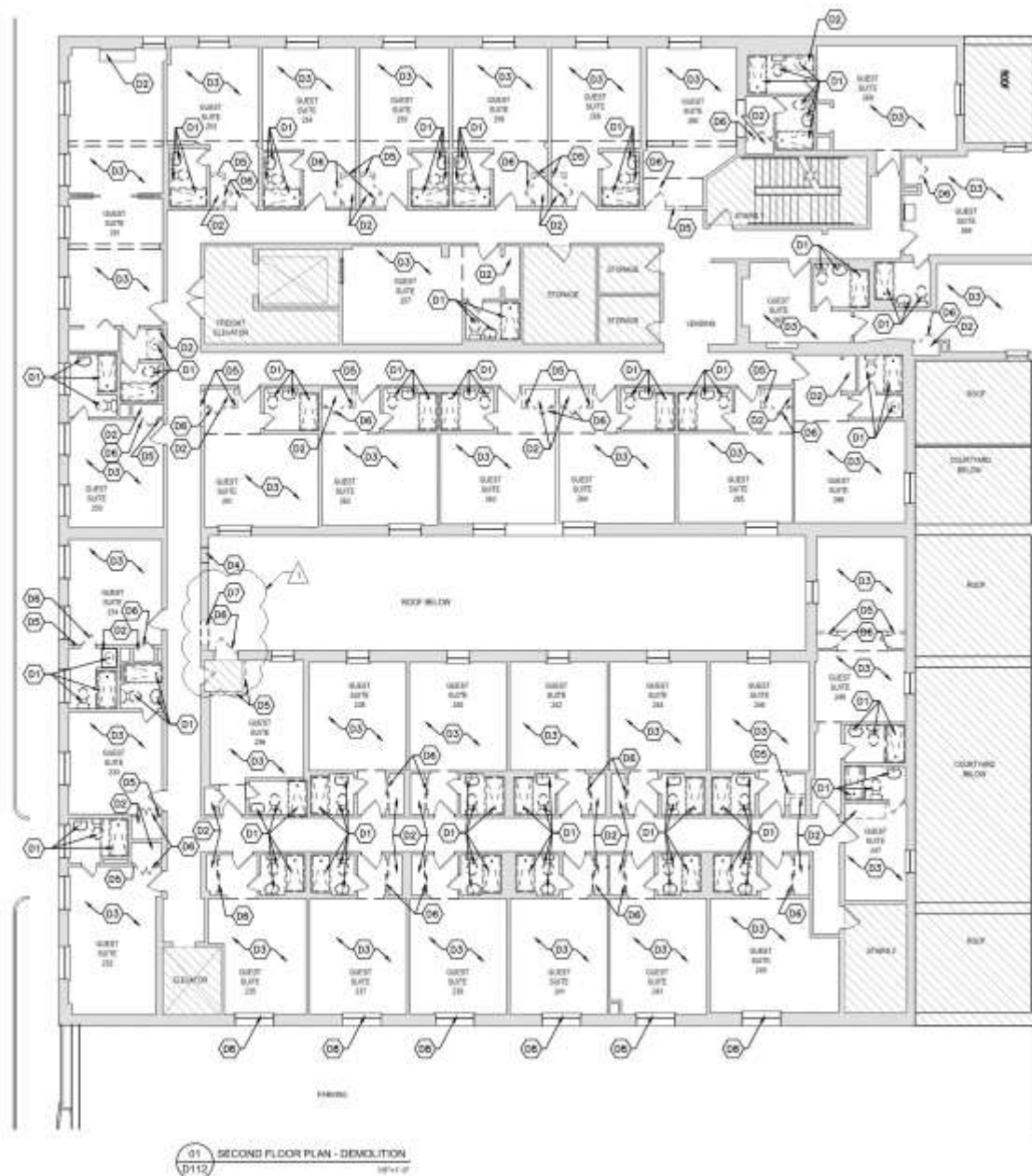
-REVISIONS-			
No.	Date	Description	By
1	7/14/2018	REVISION	

DRAWING: FIRST FLOOR PLAN  
DEMOLITION

DRAWN BY: DRW  
SCALE: 1/8" = 1'-0"  
JOB NO: 1807-03  
DATE: 8/14/18  
Sheet No.

D111





01 SECOND FLOOR PLAN - DEMOLITION  
D112

- KEYNOTES:
- 01 - REMOVE ALL EXISTING GUEST ROOM FLOORING FEATURES
  - 02 - REMOVE ALL EXISTING GUEST ROOM CEILING
  - 03 - REMOVE ALL EXISTING GUEST ROOM WALL, CEILING AND FLOOR FINISHES
  - 04 - CUT HORIZONTAL PENETRATION FOR FRESH AIR HOME DUCT
  - 05 - BRUSH/SH PAINTWORK
  - 06 - BRUSH/SH DOOR AND FRAME
  - 07 - CUT NEW OPENING FOR NEW DOOR AND FRAME
  - 08 - REMOVE EXISTING STEEL FRAMED WINDOW

ARCHITECT

JOHN C. WILLIAMS ARCHITECTS, LLC  
200 PINE STREET, SUITE 200  
NEW ORLEANS, LA 70112  
Phone: (504) 581-1111  
Fax: (504) 581-1112

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I, *John Williams*, Architect



Copyright © 2018  
John C. Williams Architects, LLC

GUEST ROOM IMPROVEMENTS TO  
PRINCE CONTI HOTEL  
830 CONTI STREET NEW ORLEANS, LA

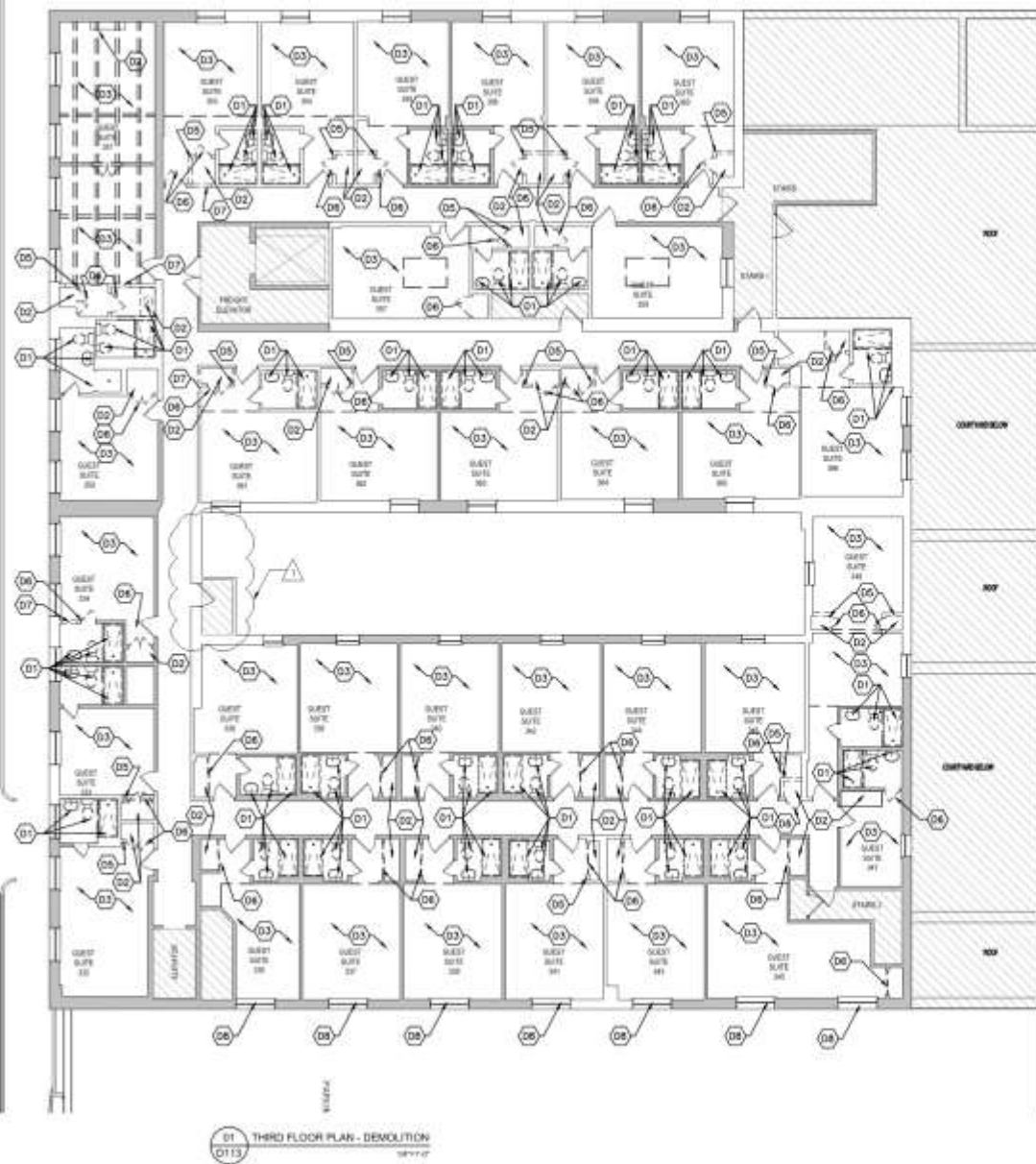
REVISIONS		
No.	Date	Scope
1	1-14-2018	REVISIONS

DRAWING: SECOND FLOOR PLAN  
DEMOLITION

DRAWING BY: *John Williams*      ORN  
SCALE: 1/8"=1'-0"  
JOB NO.: 181007-02  
DATE: 8/14/2018  
Sheet No.: D112







- | KEYNOTES |   |
|----------|---|
| 1        | NEW GUEST ROOM PLUMBING FIXTURES, BELLBONGS & BATHS AT TURNING FLOOR LOCATIONS.                                   |
| 2        | NEW GUEST ROOM CAFFEINATOR, HANGERS, LOCKERS/KEYS, HANGERS, HOOKS TO POLICE CLOSET DRAWERS.                       |
| 3        | NEW GUEST ROOM HALL, CEILING AND FLOOR FINISHES TO MATCH HALL & CEILING, BELLBONGS, BATHS & BATHS (VACUUM) FLOOR. |
| 4        | NEW HALL LAYOUT FOR FRESH AIR FLOW (BATHS) TO MATCH HALL, DRAWERS.  |
| 5        | NEW HALL, STAIRS & OFFICE BATHS PARTITION, NOT RATED.   |
| 6        | NEW HALL, STAIRS & OFFICE BATHS PARTITION, 30 MIN. RATED, 100%.   |
| 7        | NEW ROOM AND FRAME, NOT RATED.  |
| 8        | NEW ROOM AND FRAME, 30 MIN. RATED, 100%.  |
| 9        | NEW ALUMINUM FRAME, BATHS, AESTHETIC IMPROVEMENT, NEW ELEVATOR SHEETS.  |
| 10       | NEW BRICK WALL, 100% BRICK TO EXISTING WALL.  |

**GUEST ROOM IMPROVEMENTS TO  
PRINCE CONTI HOTEL**  
830 CONTI STREET NEW ORLEANS, LA

830 CONTI STREET NEW ORLEANS, LA

-REVISIONS-		
No.	Date	Issue
1	7-24-2014	REVISION

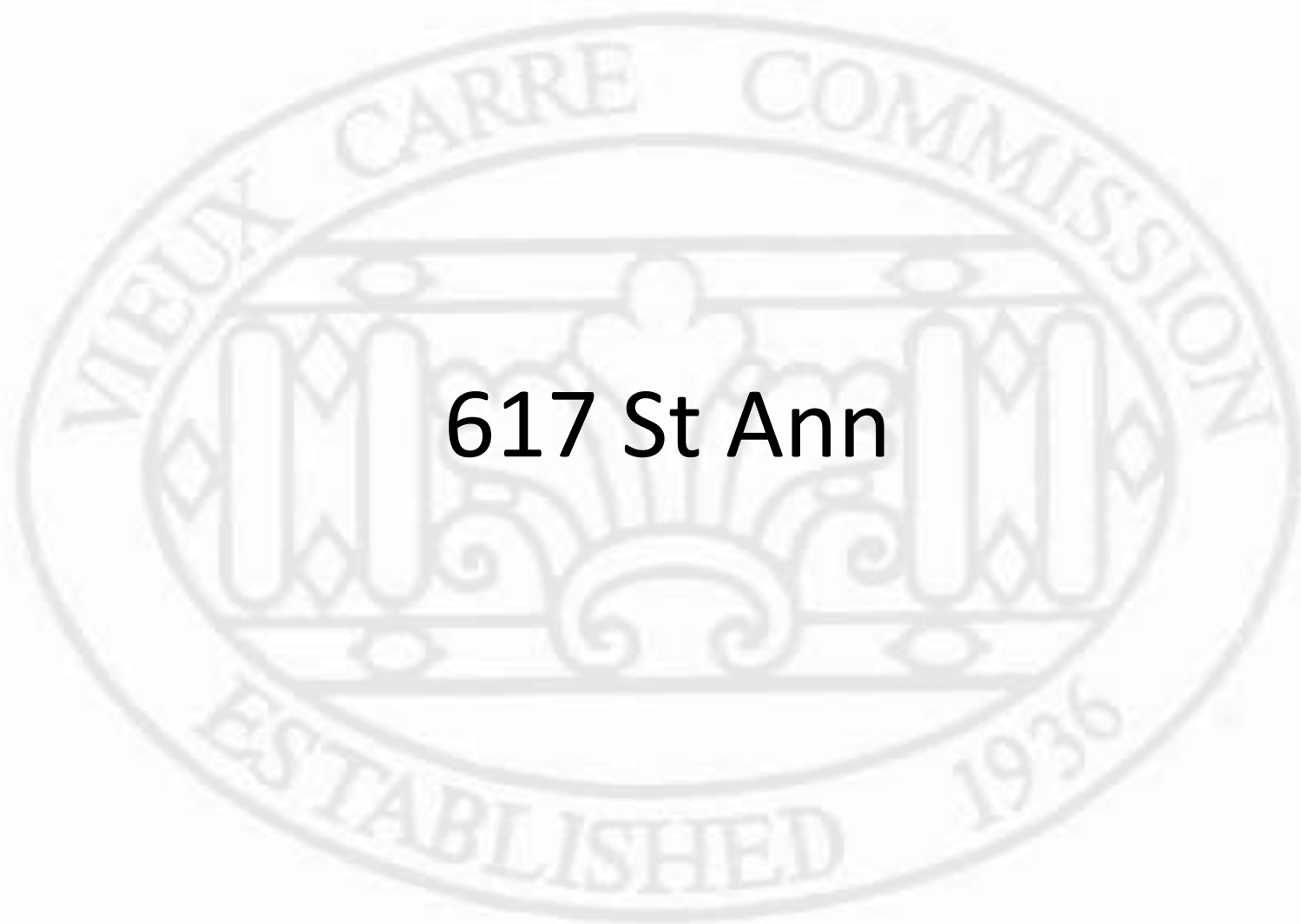
(DRAWING)  
THIRD FLOOR PLAN  
DEMOLITION

DRAWING BY	DRN
SCALE	1/8"=1'-0"
JOB No.	011807-02
DATE	07/06/18
Sheet No.	

D113



617 St Ann







617 St Ann

VCC Architectural Committee

August 14, 2018







617 St Ann

VCC Architectural Committee

August 14, 2018







617 St Ann

VCC Architectural Committee

August 14, 2018





617 St Ann

VCC Architectural Committee

August 14, 2018







617 St Ann

VCC Architectural Committee

07 19 2018

August 14, 2018





617 St Ann

VCC Architectural Committee

August 14, 2018







617 St Ann

VCC Architectural Committee

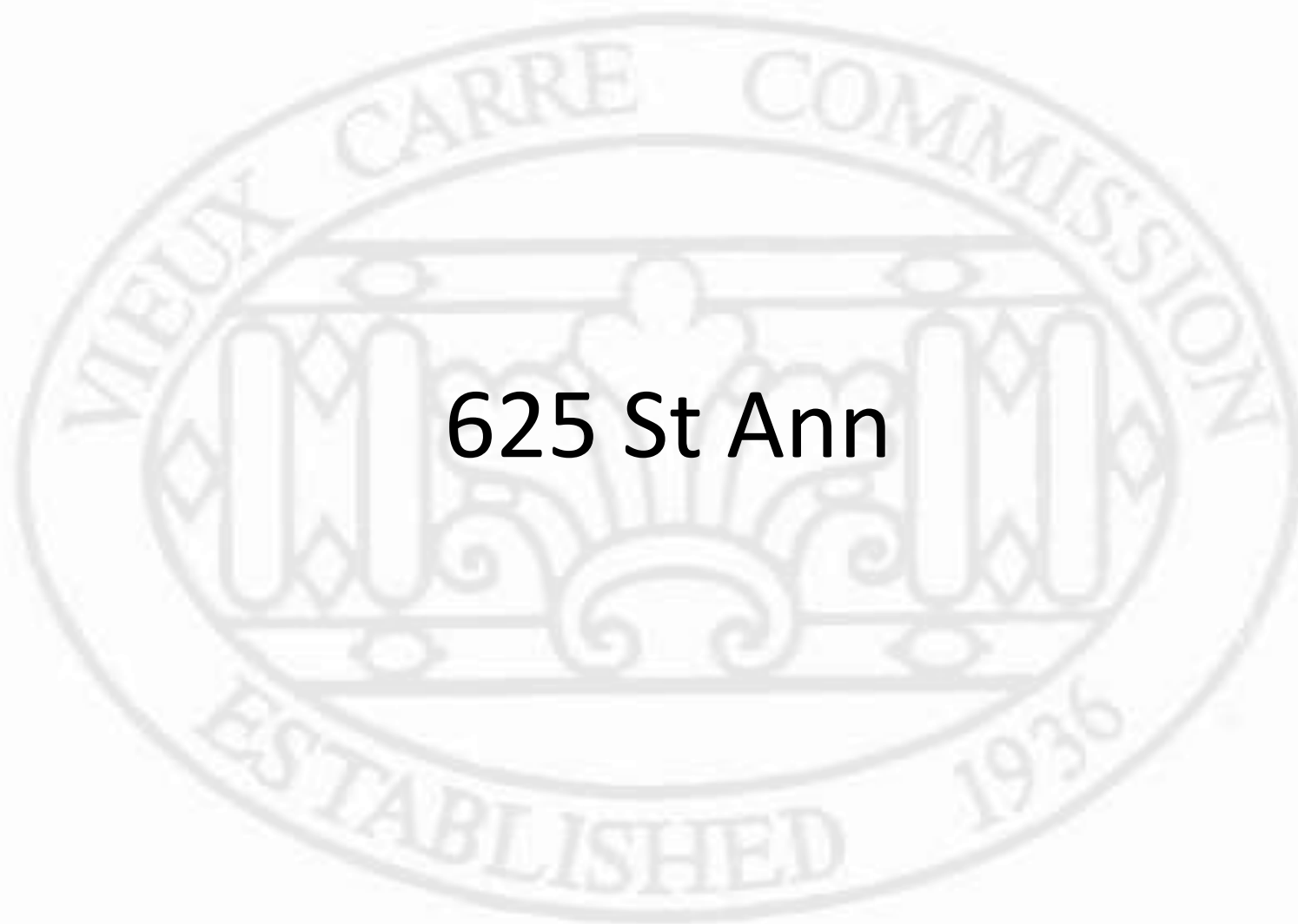
August 14, 2018







625 St Ann





617 St Ann

VCC Architectural Committee

August 14, 2018







625 St Ann – ca. 1940  
VCC Architectural Committee

August 14, 2018





625 St Ann – ca. 1950  
VCC Architectural Committee

August 14, 2018







625 St Ann – ca. 1950  
VCC Architectural Committee

August 14, 2018





625 St Ann

VCC Architectural Committee

August 14, 2018





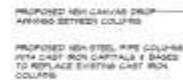


625 St Ann

VCC Architectural Committee

August 14, 2018




$$\frac{1}{A1}$$

$$\frac{2}{A1}$$

$$\frac{3}{x-1}$$

-REVISIONS-		
No.	Date	Reason
1	7-26-2018	split materials
2	8-7-2018	gallery parts

(RECORD)	ATTN: 6 PLANS
----------	------------------

DRAWING BY	AM
SCALE	as indicated
JOB No.	51-9304.03
DATE	7-23-2010
Sheet No.	

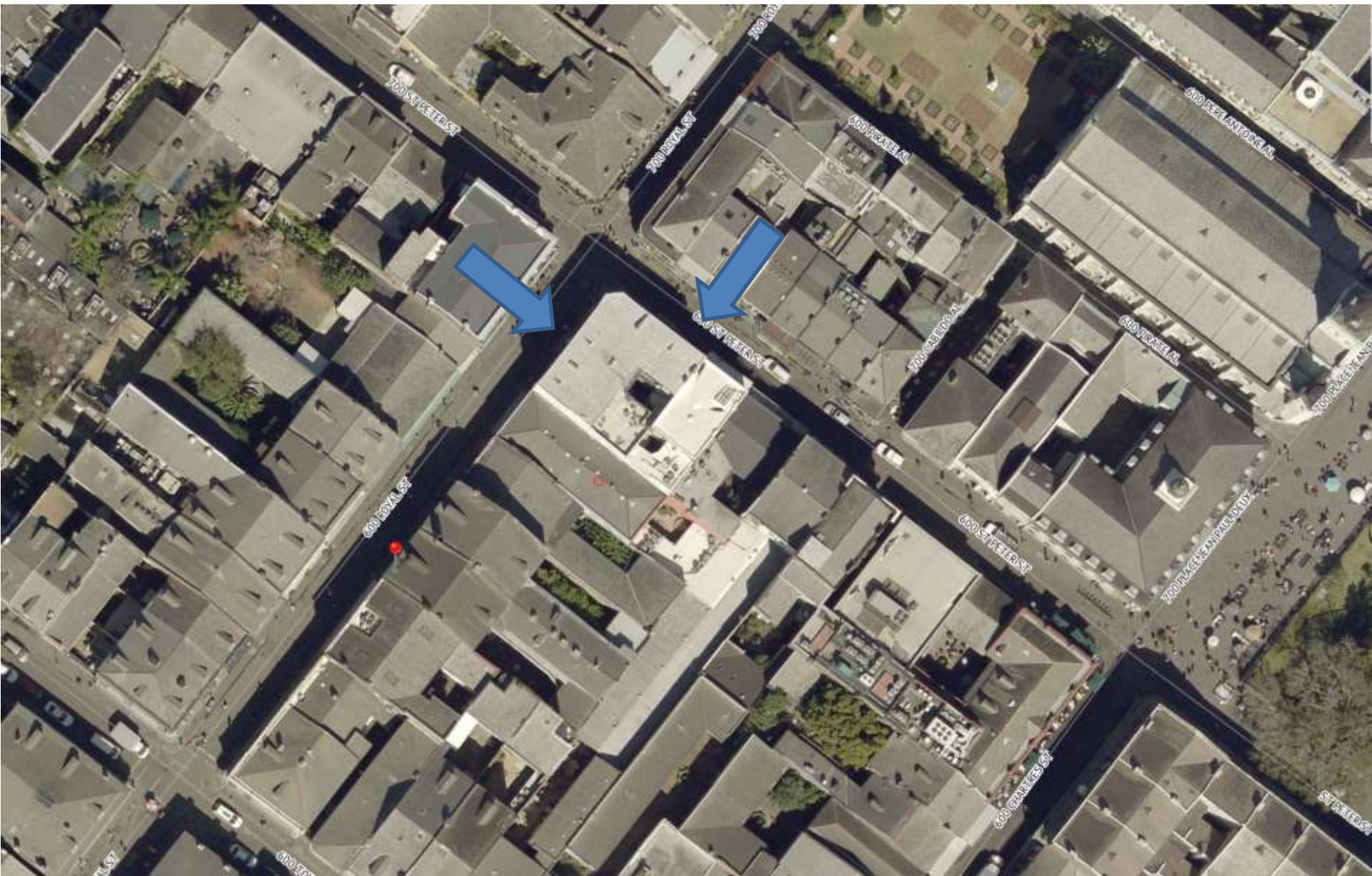
A-1







640 Royal



636-40 Royal







636-40 Royal - 1890

VCC Architectural Committee

June 12, 2018





636-40 Royal

VCC Architectural Committee

June 12, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

VCC Architectural Committee

May 22, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

VCC Architectural Committee

May 22, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

VCC Architectural Committee

May 22, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

VCC Architectural Committee

May 22, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

VCC Architectural Committee

May 22, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

VCC Architectural Committee

May 22, 2018







636-40 Royal

VCC Architectural Committee

May 22, 2018





636-40 Royal

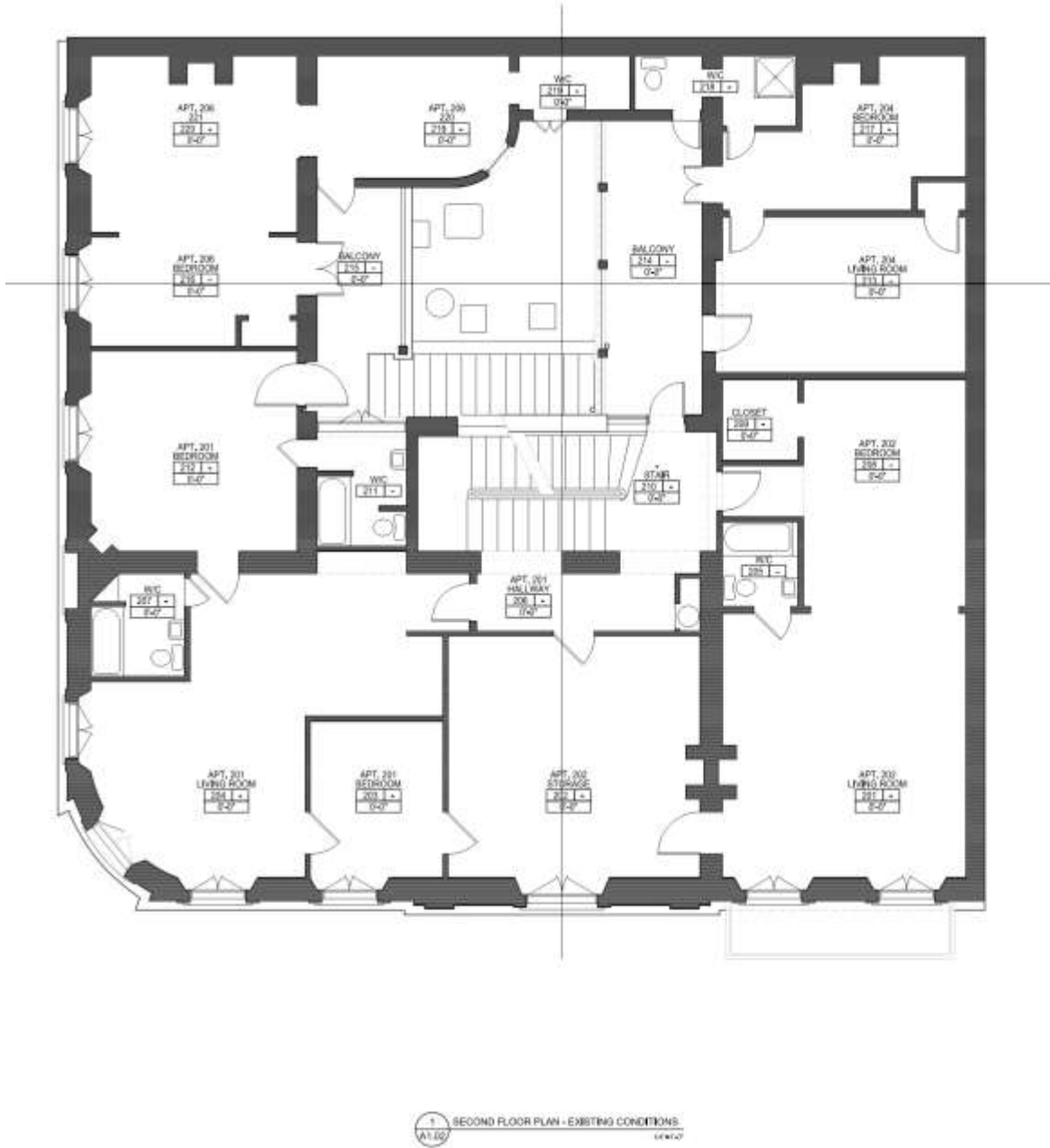
VCC Architectural Committee

May 22, 2018









**JOHN C WILLIAMS ARCHITECTS LLC**  
 614 BAYVIEW STREET  
 NEW ORLEANS, LA 70115  
 (504) 586-0888 PHONE  
 (504) 586-0887 FAX

These drawings and specifications have been prepared by the architect for the owner's use only. They are not to be used for any other purpose without the written consent of the architect.

Copyright © 2011  
 JOHN C WILLIAMS ARCHITECTS LLC

**638 - 640 ROYAL STREET**  
 NEW ORLEANS, LA

**A0.02**

**REVISIONS**

Date	Scope

DRAWING:  
 SECOND FLOOR PLAN

DRAWING BY: JWC  
 SCALE: 1/8" = 1'-0"  
 DATE: 06/03/2011  
 SHEET NO. A0.02







JOHN C. WILLIAMS  
ARCHITECTS LLC

814 N. ROYAL STREET  
NEW ORLEANS, LA 70111  
504.581.1111  
WWW.JCWILLIAMSARCHITECTS.COM

These drawings are preliminary and are not to be used for construction without the approval of the architect. The architect is not responsible for the accuracy of the information provided by the client.

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

1/1/18

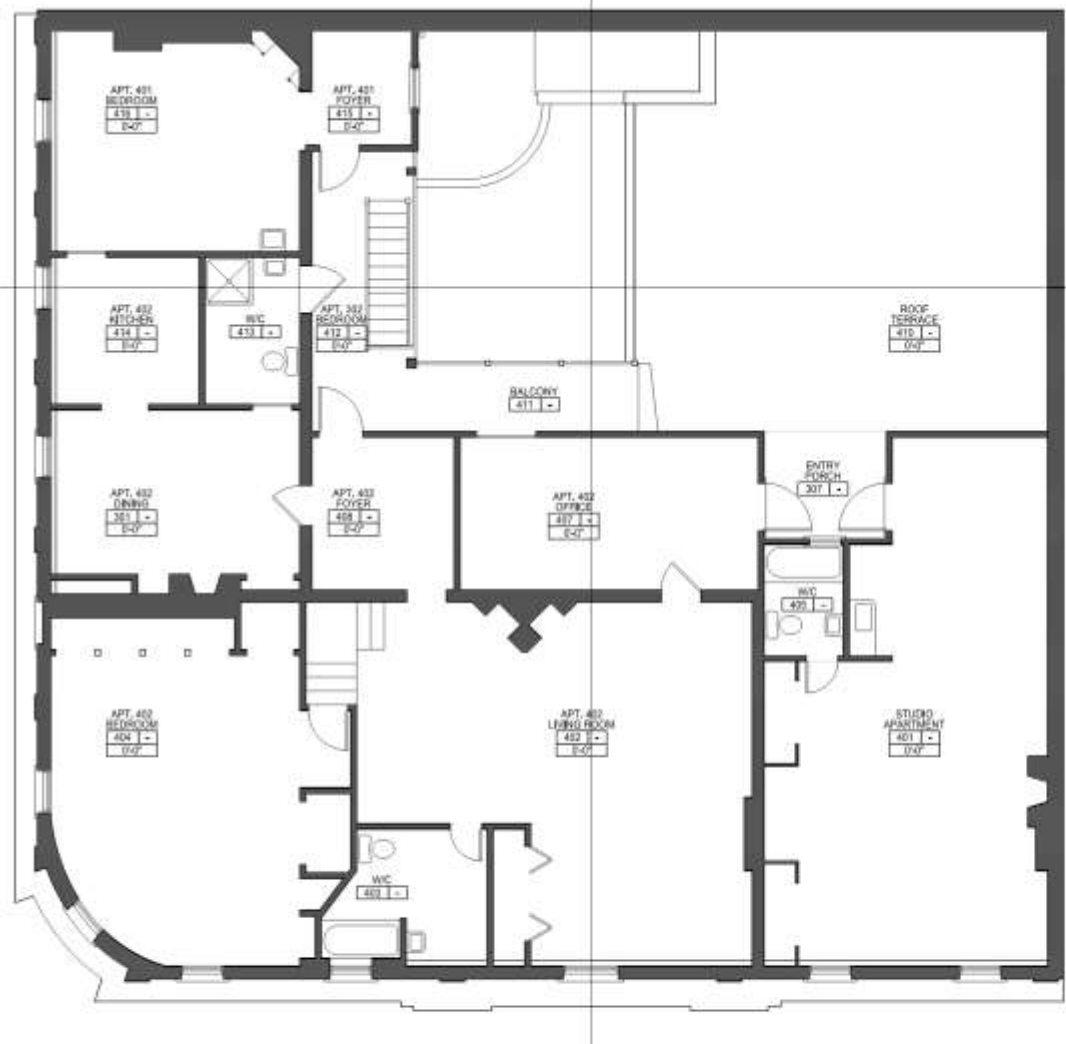
1/1/18

636-40 Royal

VCC Architectural Committee

May 22, 2018





1  
A1.04  
FOURTH FLOOR PLAN - EXISTING CONDITIONS  
DATE: 05/22/18

JOHN C WILLIAMS  
ARCHITECTS LLC

834 BARDON STREET  
NEW ORLEANS, LA 70115  
PHONE: 504.586.1111  
FAX: 504.586.1112

These drawings and specifications have been prepared by us or under our direct personal supervision and to the best of our knowledge and belief they comply with all applicable codes and regulations.  
We warrant that the drawings and specifications are a true and accurate representation of the work to be performed.

Drawn by: J.C.W.  
Scale: 1/4" = 1'-0"

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

-REVISIONS-	
Date	Scope

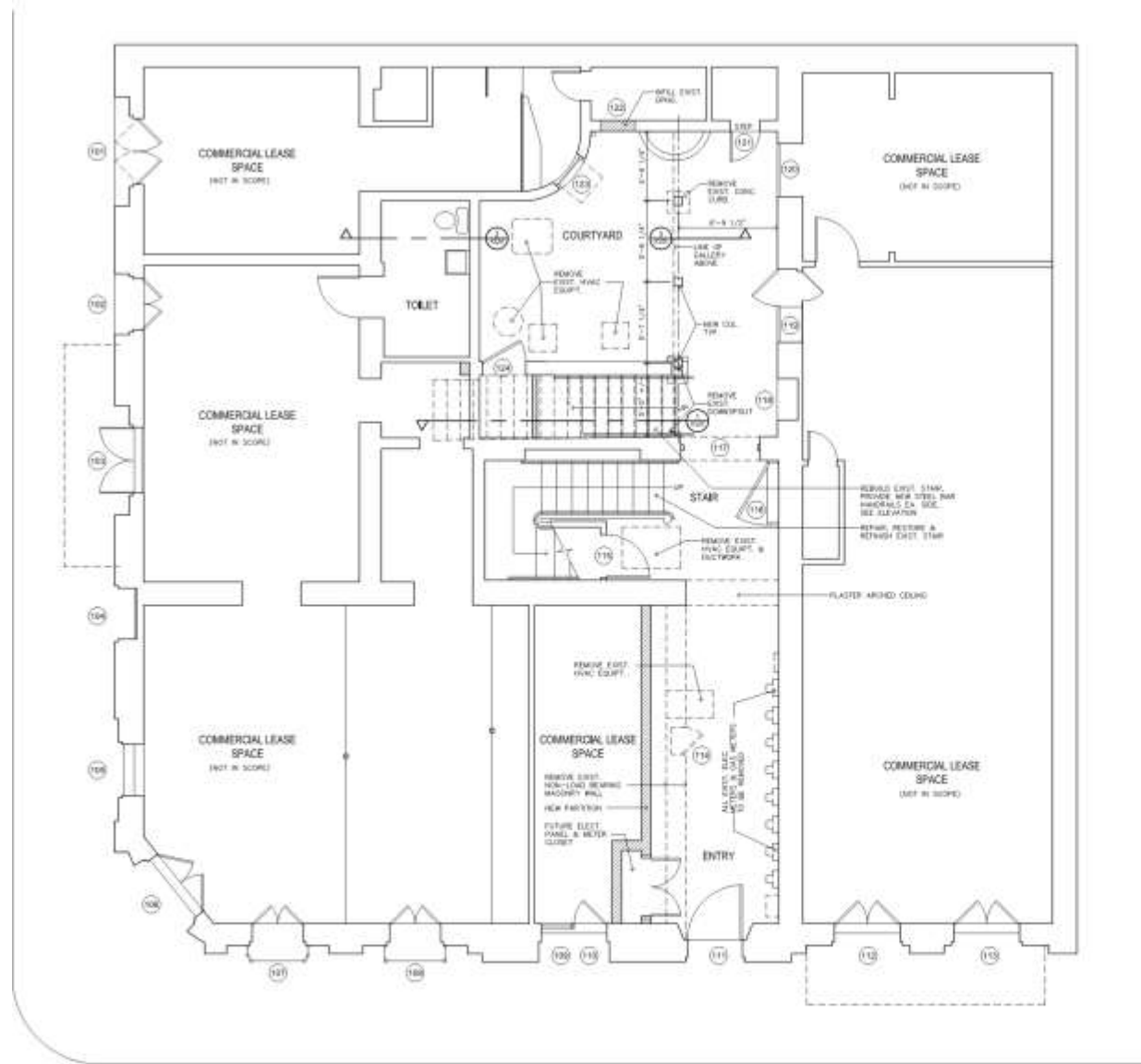
DRAWING  
FOURTH FLOOR PLAN

DRAWING BY: MR.  
SCALE: 1/4" = 1'-0"  
JOB NO.: 638/640-01  
DATE: 05/22/18  
Sheet No.

A0.04







1 FIRST FLOOR PLAN - PHASE I - EXTERIOR FACADE & COURTYARD WORK  
A1.01



JOHN C. WILLIAMS  
ARCHITECTS LLC  
624 BURGESS STREET  
NEW ORLEANS, LA 70113  
504.586.1100  
504.586.1101

These drawings are the property of John C. Williams Architects LLC and are to be used only for the project and location specified. No part of these drawings may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from John C. Williams Architects LLC.

Designed by  
John C. Williams Architects LLC

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

REVISIONS

Date	Scope

DRAWING  
FIRST FLOOR PLAN

DRAWING BY  
SCALE  
JOB NO.  
DATE

MR.  
1/4" = 1'-0"  
30253523  
04/05/18

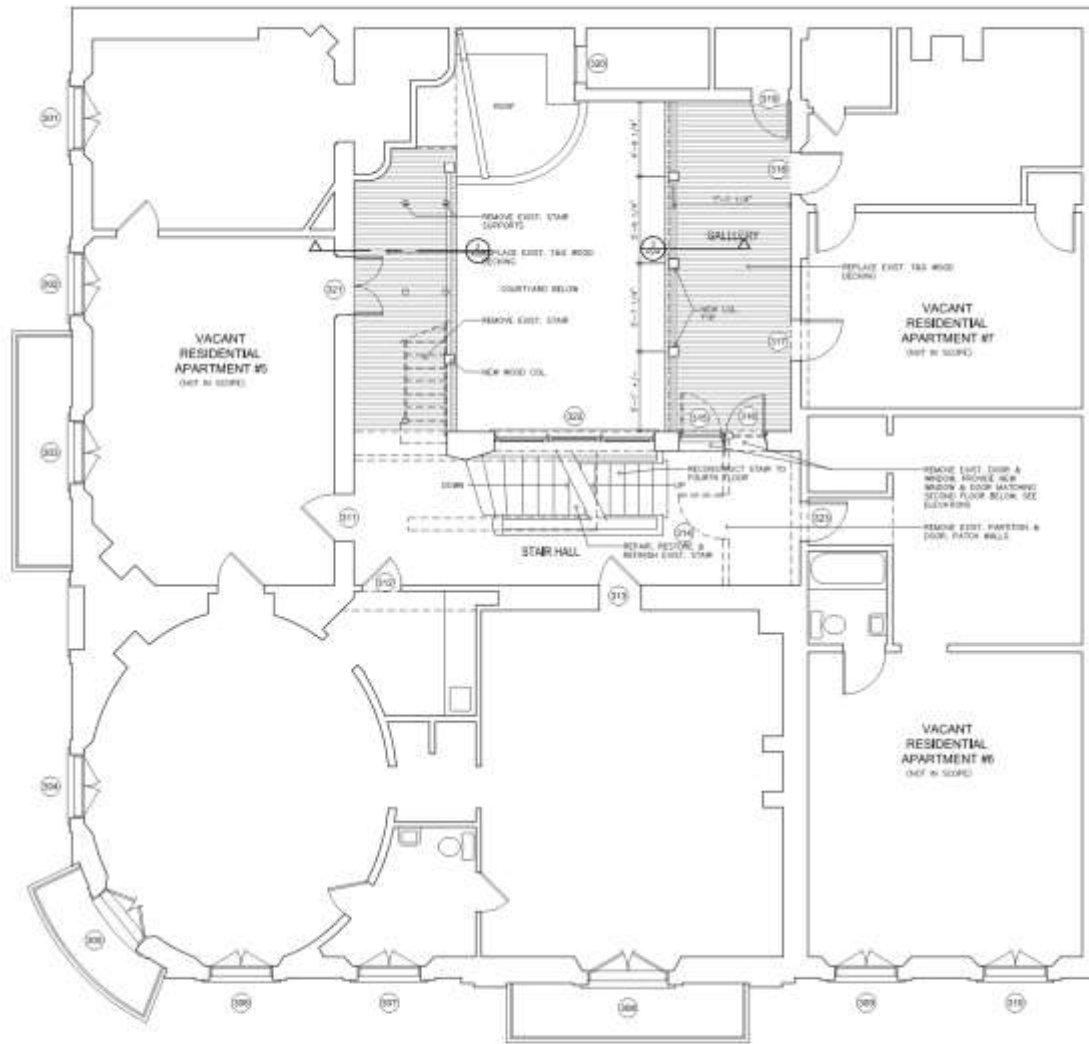
Sheet No.

A1.01









1 THIRD FLOOR PLAN - PHASE I - EXTERIOR FACADE AND COURTYARD WORK  
A1.03

**JOHN C WILLIAMS  
ARCHITECTS LLC**

KILBARDINE STREET  
NEW ORLEANS, LA 70115

CONSUMERS PHONE  
504.586.2807 FAX

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with all applicable codes and regulations.

I hereby certify that I am a duly licensed architect under the laws of the State of Louisiana.

Drawn by: JWC  
Date: 10/10/10

**638 - 640 ROYAL STREET**  
NEW ORLEANS, LA

**REVISIONS**

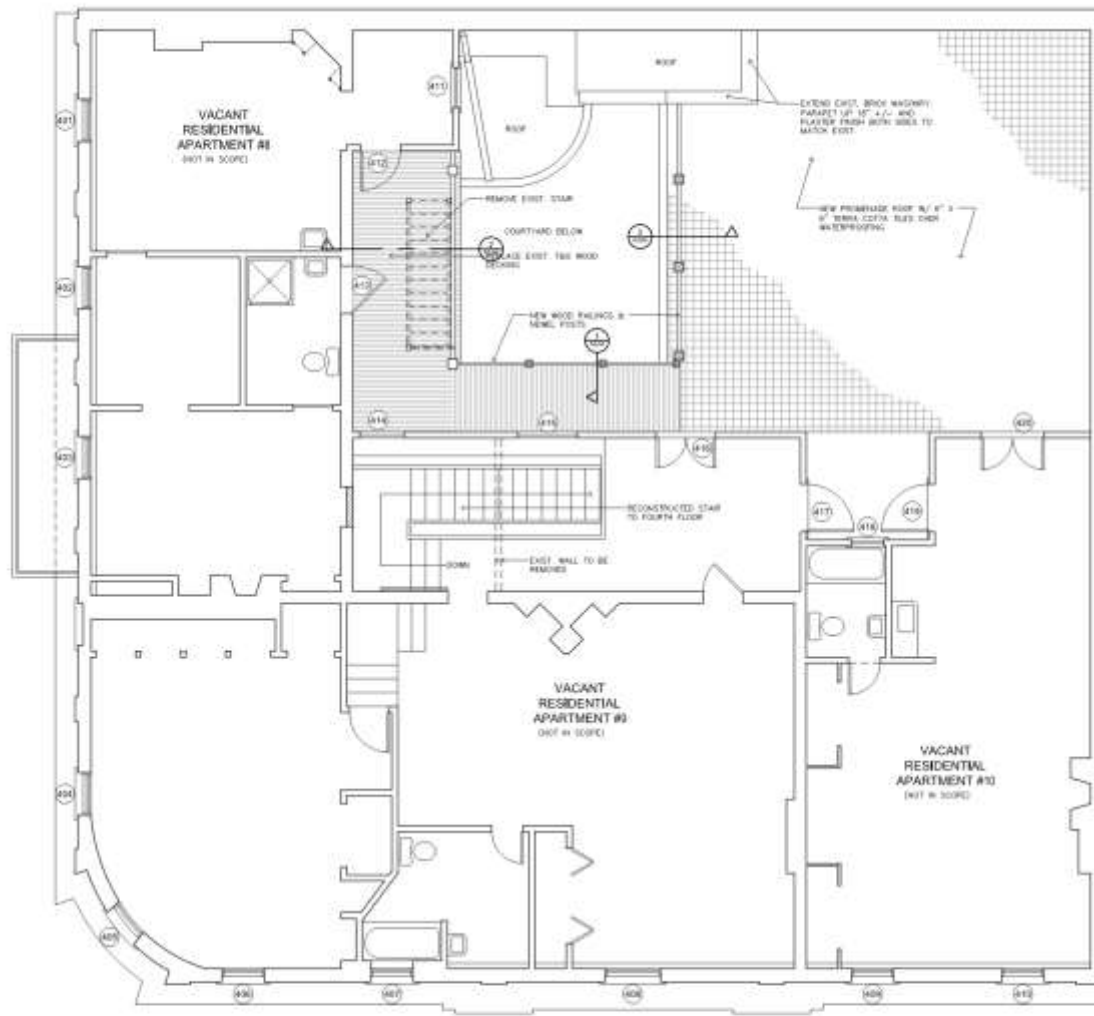
Date	Scope

DRAWING  
THIRD FLOOR PLAN

DRAWING BY: MB  
SCALE: 1/8" = 1'-0"  
JOB No.: 303403.02  
DATE: 04/09/15  
Sheet No.:

**A1.03**





1 FOURTH FLOOR PLAN - PHASE I - EXTERIOR FACADE AND COURTYARD WORK  
A1.04



101 BAYVIEW STREET  
NEW ORLEANS, LA 70113  
TELEPHONE: 504.581.1111  
FAX: 504.581.1112

These drawings are prepared for the use of the client and are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by the client.

1. All work shall be in accordance with the latest edition of the AIA Code of Ethics and the AIA Code of Professional Conduct.

Contract No. 101  
JOHN C WILLIAMS ARCHITECTS LLC

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

REVISIONS	
Date	Scope

DRAWING  
FOURTH FLOOR PLAN

DRAWING BY: MR.  
SCALE: 1/4" = 1'-0"  
JOB NO.: 101  
DATE: 04/26/18  
Sheet No.

A1.04

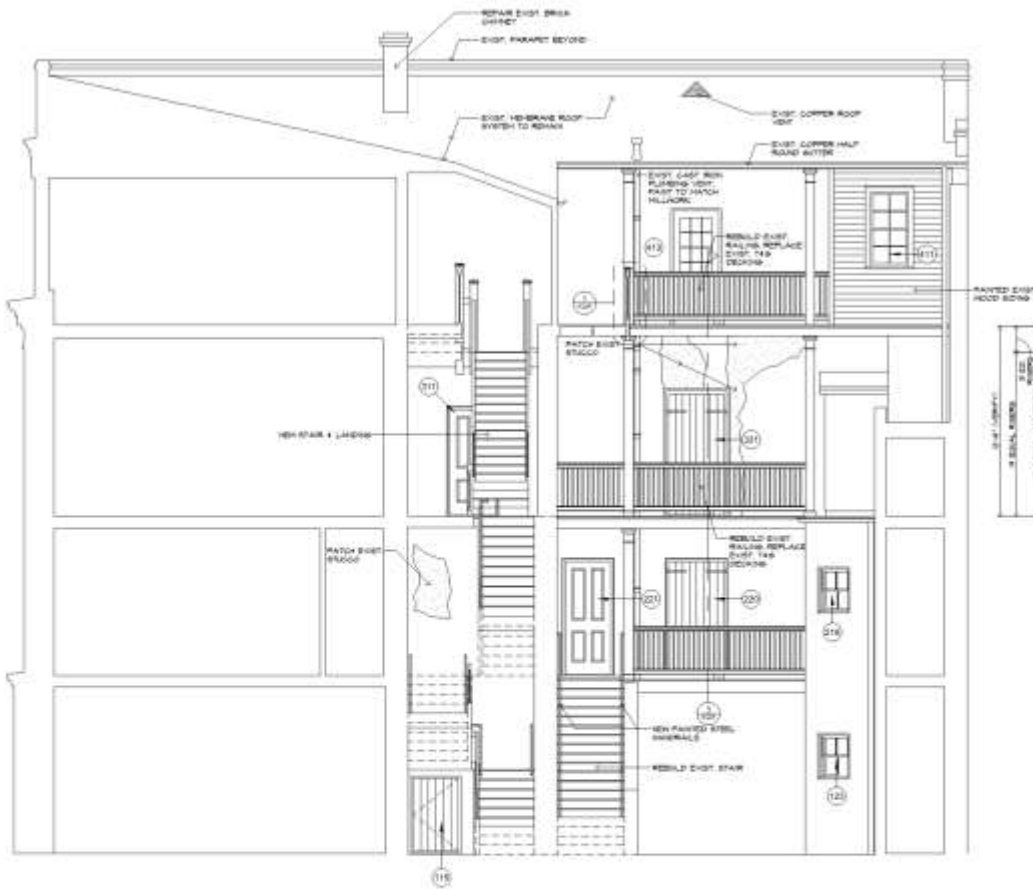


636-40 Royal

VCC Architectural Committee

May 22, 2018





1 SECTION TOWARDS SAINT PETER STREET  
A2.03a

## GENERAL WORK NOTES

THE SCOPE OF THE COURTYARD AND COMMON AREA WORK IS DEFINED ON THE DRAWINGS AND IS AS FOLLOWS:

1. REPLACE ALL GALLERY AND BALCONY DECKING AND ANY DETEIORATED WOOD FRAMING MEMBERS.
2. REMOVE CONCRETE TOPPING SLAB AND WOOD DECKING OVER SECOND FLOOR GALLERY AND REBUILD EXTERIOR COURTYARD STAIR TO SECOND LEVEL.
3. REBUILD ALL GALLERY COLUMNS AND RAILINGS, AND REBUILD STAIR TO FOURTH FLOOR. REFER TO DETAILS ON SHEET A2.04 FOR DETAILS.
4. SHORE AND LEVEL SECOND FLOOR STAIR AND LANDING. REPLACE ANY DETEIORATED OR TERMITE DAMAGED FRAMING. REPLACE MISSING PICKETS WITH NEW PICKETS MATCHING EXISTING. REPAIR & REPLACE MISSING AND DETEIORATED BOARDS AT UNDERSEES OF STAIRS.
5. REMOVE ALL LOOSE WIRES, CONDUIT, PIPING, ETC. RE-ROUTE ALL LIVE ELECTRICAL TO CONCEALED LOCATIONS AS MUCH AS POSSIBLE THROUGH FRAMING CAVITIES, FURRED SOFFITS, ETC.
6. ALL WINDOWS, DOORS AND SHUTTERS SHALL BE REPAIRED AND BE FULLY OPERATIONAL, AND WEATHERTIGHT. REPLACE DAMAGED OR DETEIORATED COMPONENTS MATCHING EXISTING AND MADE FROM SPANISH CEDAR. APPEARANCE TO MATCH ORIGINAL DETAILS. MINOR REPAIRS MAY BE PERFORMED USING EPOXY-BASED WOOD PATCHING COMPOUND AND WOOD CONSOLIDANTS. SEE SPECIFICATION SECTION 08032 "HISTORIC TREATMENT OF WOOD WINDOWS, DOORS AND SHUTTERS" FOR ADDITIONAL INFORMATION.
7. SHOP PREP AND PAINT ALL WINDOWS, DOORS AND SHUTTERS. SEE SPECIFICATION SECTION 09011 "PREPARATION OF PREVIOUSLY PAINTED SUBSTRATES" FOR ADDITIONAL INFORMATION ON PREP WORK AND SPECIFICATION SECTION 09013 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINTING.
8. REMOVE ALL CEMENT-BASED PLASTER AND REPAIR DAMAGED BRICK SUBSTRATE RESULTING FROM PLASTER REMOVAL. PATCH WITH LIMESTONE-BASED PLASTER MATCHING HISTORIC PLASTER IN ACCORDANCE WITH SPECIFICATION SECTION 08020 "HISTORIC TREATMENT OF PLASTER". MATCH FINISH OF ADJACENT SURFACES AND RE-ESTABLISH SCORE JOINTS IN ALL PATCHED PLASTER AT ORIGINAL LOCATIONS, AND MATCHING EXISTING WIDTH AND PROFILES.
9. PATCH ALL MISSING, CRACKED OR LOOSE PLASTER ON EXISTING WOOD LATH CEILINGS IN ACCORDANCE WITH SPECIFICATION SECTION 08020 "HISTORIC TREATMENT OF PLASTER".
10. REMOVE ALL PAINT FROM PLASTER SURFACES. REPAINT ALL PLASTER WITH A BREATHABLE COATING. SEE SPECIFICATION SECTION 09013 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINT COATINGS.



JOHN C. WILLIAMS  
ARCHITECTS LLC  
814 KAMMER STREET  
NEW ORLEANS, LA 70113  
504.581.1111  
504.581.1112  
504.581.1113

These drawings are not to be used for construction without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by others. The architect is not responsible for the accuracy of the information provided by others. The architect is not responsible for the accuracy of the information provided by others.

Project: 638 - 640 ROYAL STREET  
Architect: JOHN C. WILLIAMS ARCHITECTS LLC

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

REVISIONS	
Date	Scope

DRAWING:  
SECTION TOWARDS SAINT  
PETER STREET  
DRAWING BY: JAW  
SCALE: 1/8" = 1'-0"  
JOB NO.: 5000363  
DATE: 04/05/18  
Sheet No.

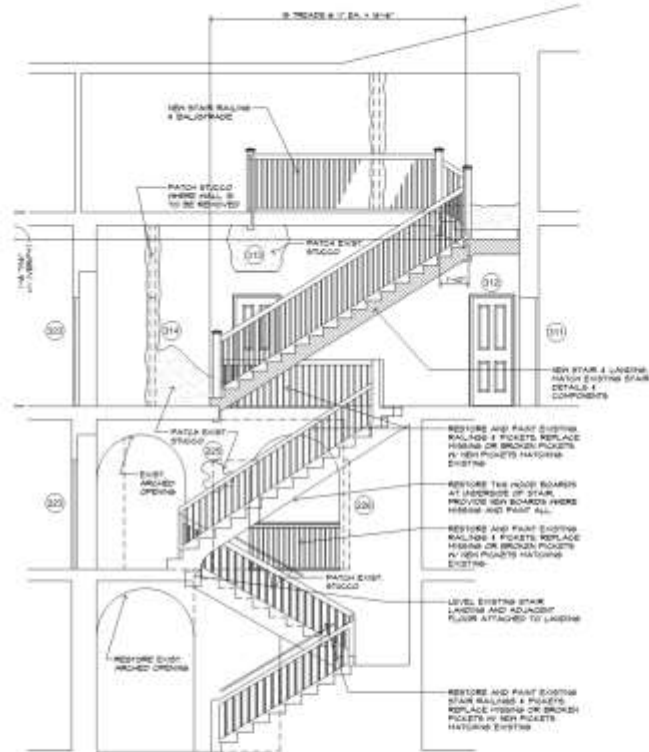
A2.03a



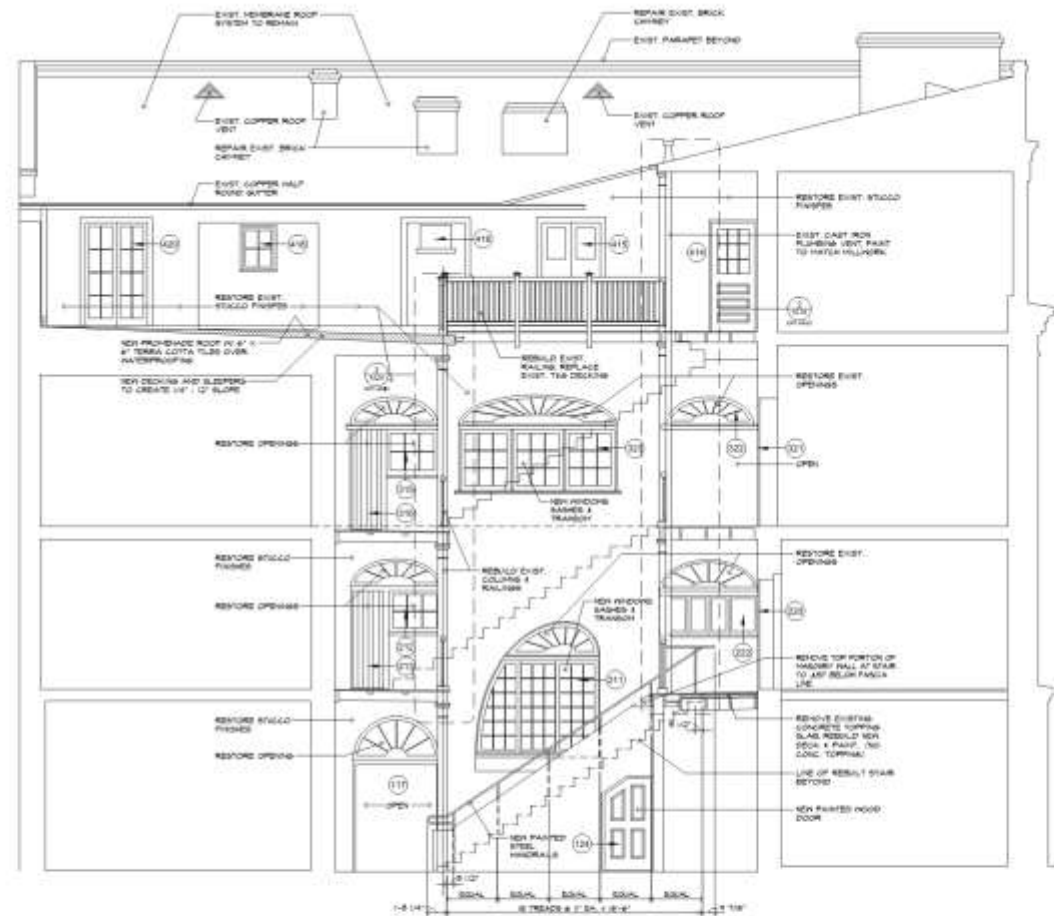
636-40 Royal

VCC Architectural Committee

May 22, 2018



2 SECTION TOWARDS ROYAL STREET  
A2.04



1 SECTION TOWARDS ROYAL STREET  
A2.04

## GENERAL WORK NOTES

THE SCOPE OF THE COURTYARD AND COMMON AREA WORK IS DEFINED ON THE DRAWINGS AND IS AS FOLLOWS:

- (A) REPLACE ALL GALLERY AND BALCONY DECKING AND ANY DETERIORATED WOOD FRAMING MEMBERS.
- (B) REMOVE CONCRETE TOPPING SLAB AND WOOD DECKING OVER SECOND FLOOR GALLERY AND REBUILD EXTERIOR COURTYARD STAIR TO SECOND LEVEL.
- (C) REBUILD ALL GALLERY COLUMNS AND RAILINGS, AND REBUILD STAIR TO FOURTH FLOOR. REFER TO DETAILS ON SHEET A2.04 FOR DETAILS.
- (D) SHORE AND LEVEL SECOND FLOOR STAIR AND LANDING. REPLACE ANY DETERIORATED OR TERMITE DAMAGED FRAMING, REPLACE MISSING PICKETS WITH NEW PICKETS MATCHING EXISTING. REPAIR & REPLACE MISSING AND DETERIORATED BOARDS AT UNDERSIDES OF STAIRS.

- (E) REMOVE ALL LOOSE WIRES, CONDUIT, PIPING, ETC. RE-ROUTE ALL LIVE ELECTRICAL TO CONCEALED LOCATIONS AS MUCH AS POSSIBLE THROUGH FRAMING CAVITIES, FURRED SOFFITS, ETC.
- (F) ALL WINDOWS, DOORS AND SHUTTERS SHALL BE REPAIRED AND BE FULLY OPERATIONAL AND WEATHERTIGHT. REPLACE DAMAGED OR DETERIORATED COMPONENTS MATCHING EXISTING AND MADE FROM SPANISH CEDAR. APPEARANCE TO MATCH ORIGINAL DETAILS. MINOR REPAIRS MAY BE PERFORMED USING EPOXY-RESIN WOOD PATCHING COMPOUND AND WOOD CONSOLIDANTS. SEE SPECIFICATION SECTION 06030 "HISTORIC TREATMENT OF WOOD WINDOWS, DOORS AND SHUTTERS" FOR ADDITIONAL INFORMATION.
- (G) SHOP PREP AND PAINT ALL WINDOWS, DOORS AND SHUTTERS. SEE SPECIFICATION SECTION 06030 "PREPARATION OF PREVIOUSLY PAINTED SUBSTRATES" FOR ADDITIONAL INFORMATION ON PREP WORK AND SPECIFICATION SECTION 06110 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINTING.

- (H) REMOVE ALL CEMENT-BASED PLASTER AND REPAIR DAMAGED BRICK SUBSTRATE RESULTING FROM PLASTER REMOVAL. PATCH WITH LIME-BASED PLASTER MATCHING HISTORIC PLASTER IN ACCORDANCE WITH SPECIFICATION SECTION 06020 "HISTORIC TREATMENT OF PLASTER." MATCH FINISH OF ADJACENT SURFACES AND RE-ESTABLISH SCORE JOINTS IN ALL PATCHED PLASTER AT ORIGINAL LOCATIONS, AND MATCHING EXISTING WIDTH AND PROFILES.
- (I) PATCH ALL MISSING, CRACKED OR LOOSE PLASTER ON EXISTING WOOD LATH CEILINGS IN ACCORDANCE WITH SPECIFICATION SECTION 06020 "HISTORIC TREATMENT OF PLASTER."
- (J) REMOVE ALL PAINT FROM PLASTER SURFACES. REPAINT ALL PLASTER WITH A BREATHABLE COATING. SEE SPECIFICATION SECTION 06010 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINT COATINGS.



JOHN C. WILLIAMS  
ARCHITECTS LLC  
614 BAYVIEW STREET  
NEW ORLEANS, LA 70113  
504.586.1100  
504.586.1101

Copyright © 2017  
John C. Williams Architects LLC

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

-REVISIONS-	
Date	Scope

DRAWING  
SECTION TOWARDS ROYAL  
STREET  
DRAWING BY  
SCALE 1/4" = 1'-0"  
JOB NO. 200003010  
DATE 04/05/18  
Sheet No.

A2.04a







THE SCOPE OF THE COURTYARD AND COMMON AREA WORK IS DEFINED ON THE DRAWINGS AND IS AS FOLLOWS:

- (A) REPLACE ALL GALLERY AND BALCONY DECKING AND ANY DETERIORATED WOOD FRAMING MEMBERS.
- (B) REMOVE CONCRETE TOPPING SLAB AND WOOD DECKING OVER SECOND FLOOR GALLERY AND REBUILD EXTERIOR COURTYARD STAIR TO SECOND LEVEL.
- (C) REBUILD ALL GALLERY COLUMNS AND RAILINGS, AND REBUILD STAIR TO FOURTH FLOOR. REFER TO DETAILS ON SHEET ALFA FOR DETAILS.
- (D) SHORE AND LEVEL SECOND FLOOR STAIR AND LANDING. REPLACE ANY DETERIORATED OR TERMITE DAMAGED FRAMING. REPLACE MISSING PICKETS WITH NEW PICKETS MATCHING EXISTING. REPAIR & REPLACE MISSING AND DETERIORATED BOARDS AT UNDERSIDES OF STAIRS.
- (E) REMOVE ALL LOOSE Wires, CONDUIT, PIPING, ETC. REROUTE ALL LIVE ELECTRICAL TO CONCEALED LOCATIONS AS MUCH AS POSSIBLE THROUGH FRAMING CAVITIES, FLURRED SPIFFS, ETC.
- (F) ALL WINDOWS, DOORS AND SHUTTERS SHALL BE REPAIRED AND BE FULLY OPERATIONAL AND WEATHERTIGHT. REPLACE DAMAGED OR DETERIORATED COMPONENTS MATCHING EXISTING AND MAKE FROM SPANISH CEDAR. APPEARANCE TO MATCH ORIGINAL DETAILS. MINOR REPAIRS MAY BE PERFORMED USING EPOXY-BASED WOOD PATCHING COMPOUNDS AND WOOD CONSOLIDANTS. SEE SPECIFICATION SECTION 060902 "HISTORIC TREATMENT OF WOOD WINDOWS, DOORS AND SHUTTERS" FOR ADDITIONAL INFORMATION.
- (G) SHIP PREP AND PAINT ALL WINDOWS, DOORS AND SHUTTERS. SEE SPECIFICATION SECTION 06020 "PREPARATION OF PREVIOUSLY PAINTED SUBSTRATES" FOR ADDITIONAL INFORMATION ON PREP WORK AND SPECIFICATION SECTION 06113 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINTING.
- (H) REMOVE ALL CRACKED/ABANDONED PLASTER AND REPAIR DAMAGED BRICK. SUBSTRATE RESULTING FROM PLASTER REMOVAL. PATCH WITH LINE-BASED PLASTER MATCHING HISTORIC PLASTER IN ACCORDANCE WITH SPECIFICATION SECTION 060202 "HISTORIC TREATMENT OF PLASTER". MATCH FINISH OF ADJACENT SURFACES AND RECONSTRUCTED JOINTS IN ALL PATCHED PLASTER AT ORIGINAL LOCATIONS, AND MATCHING EXISTING WIDTH AND PROFILES.
- (I) PATCH ALL MISSING, CRACKED OR LOOSE PLASTER ON EXISTING WOOD LATH CEILINGS IN ACCORDANCE WITH SPECIFICATION SECTION 060202 "HISTORIC TREATMENT OF PLASTER".
- (J) REMOVE ALL PAINT FROM PLASTER SURFACES. REPAINT ALL PLASTER WITH A BREATHABLE COATING. SEE SPECIFICATION SECTION 06113 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINT COATING.



Copyright © 2003  
John Wiley & Sons, Inc.

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

REVISIONS	
Date	Scope

DRAINAGE  
SECTION TOWARDS DECATUR  
STREET

DRAWING BY	BBB
SCALE	1/4" = 1'-0"
JOE PLY	000508/13
DATE	04/06/18
Sheet No.	

A2.05a





SECTION TOWARDS TOULOUSE STREET  
A2.06

## GENERAL WORK NOTES

THE SCOPE OF THE COURTYARD AND COMMON AREA WORK IS DEFINED ON THE DRAWINGS AND IS AS FOLLOWS:

- A. REPLACE ALL GALLERY AND BALCONY DECKING AND ANY DETERIORATED WOOD FRAMING MEMBERS.
- B. REMOVE CONCRETE TOPPING SLAB AND WOOD DECKING OVER SECOND FLOOR GALLERY AND REBUILD EXTERIOR COURTYARD STAIR TO SECOND LEVEL.
- C. REBUILD ALL GALLERY COLUMNS AND RAILINGS, AND REBUILD STAIR TO FOURTH FLOOR, REFER TO DETAILS ON SHEET A2.04 FOR DETAILS.
- D. SHORE AND LEVEL SECOND FLOOR STAIR AND LANDING, REPLACE ANY DETERIORATED OR TERMITE DAMAGED FRAMING, REPLACE MISSING PICKETS WITH NEW PICKETS MATCHING EXISTING, REPAIR & REPLACE MISSING AND DETERIORATED BOARDS AT UNDERSIDES OF STAIRS.
- E. REMOVE ALL LOOSE WIRES, CONDUIT, PIPING, ETC., RE-ROUTE ALL LIVE ELECTRICAL TO CONCEALED LOCATIONS AS MUCH AS POSSIBLE THROUGH FRAMING CAVITIES, FURRED SOFFITS, ETC.
- F. ALL WINDOWS, DOORS AND SHUTTERS SHALL BE REPAIRED AND BE FULLY OPERATIONAL AND WEATHERTIGHT. REPLACE DAMAGED OR DETERIORATED COMPONENTS MATCHING EXISTING AND MADE FROM SPANISH OCEAN APPEARANCE TO MATCH ORIGINAL DETAILS. MINOR REPAIRS MAY BE PERFORMED USING EPOXY-BASED WOOD PATCHING COMPOUND AND WOOD CONSERVANTS. SEE SPECIFICATION SECTION 05030 "HISTORIC TREATMENT OF WOOD WINDOWS, DOORS AND SHUTTERS" FOR ADDITIONAL INFORMATION.
- G. SHOP PREP AND PAINT ALL WINDOWS, DOORS AND SHUTTERS. SEE SPECIFICATION SECTION 05031 "PREPARATION OF PREVIOUSLY PAINTED SUBSTRATES" FOR ADDITIONAL INFORMATION ON PREP WORK AND SPECIFICATION SECTION 05013 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINTING.
- H. REMOVE ALL CEMENT-BASED PLASTER AND REPAIR DAMAGED BRICK SUBSTRATE RESULTING FROM PLASTER REMOVAL. PATCH WITH LIME-BASED PLASTER MATCHING HISTORIC PLASTER IN ACCORDANCE WITH SPECIFICATION SECTION 05020 "HISTORIC TREATMENT OF PLASTER." MATCH FINISH OF ADJACENT SURFACES AND RE-ESTABLISH SCORE JOINTS IN ALL PATCHED PLASTER AT ORIGINAL LOCATIONS, AND MATCHING EXISTING WIDTH AND PROFILES.
- I. PATCH ALL MISSING, CRACKED OR LOOSE PLASTER ON EXISTING WOOD LATH CEILINGS IN ACCORDANCE WITH SPECIFICATION SECTION 05020 "HISTORIC TREATMENT OF PLASTER."
- J. REMOVE ALL PAINT FROM PLASTER SURFACES. REPAINT ALL PLASTER WITH A BREATHABLE COATING. SEE SPECIFICATION SECTION 05013 "EXTERIOR PAINTING" FOR ADDITIONAL INFORMATION ON PAINT COATINGS.



JOHN C. WILLIAMS  
ARCHITECTS LLC  
634 BAYONNE STREET  
NEW ORLEANS, LA 70113  
504.586.8888 FAX:  
504.586.8897 FAX

These drawings and specifications have been prepared by the architect for the owner. The owner is responsible for the accuracy of the information provided and for the results of the construction. The architect is not responsible for the accuracy of the information provided or the results of the construction.

Created by  
John C. Williams Architects LLC

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

## REVISIONS

Date	Scope

DRAWING  
SECTION TOWARDS  
TOULOUSE STREET

DRAWING BY  
SCALE  
JOB No.  
DATE

Sheet No.

A2.06a

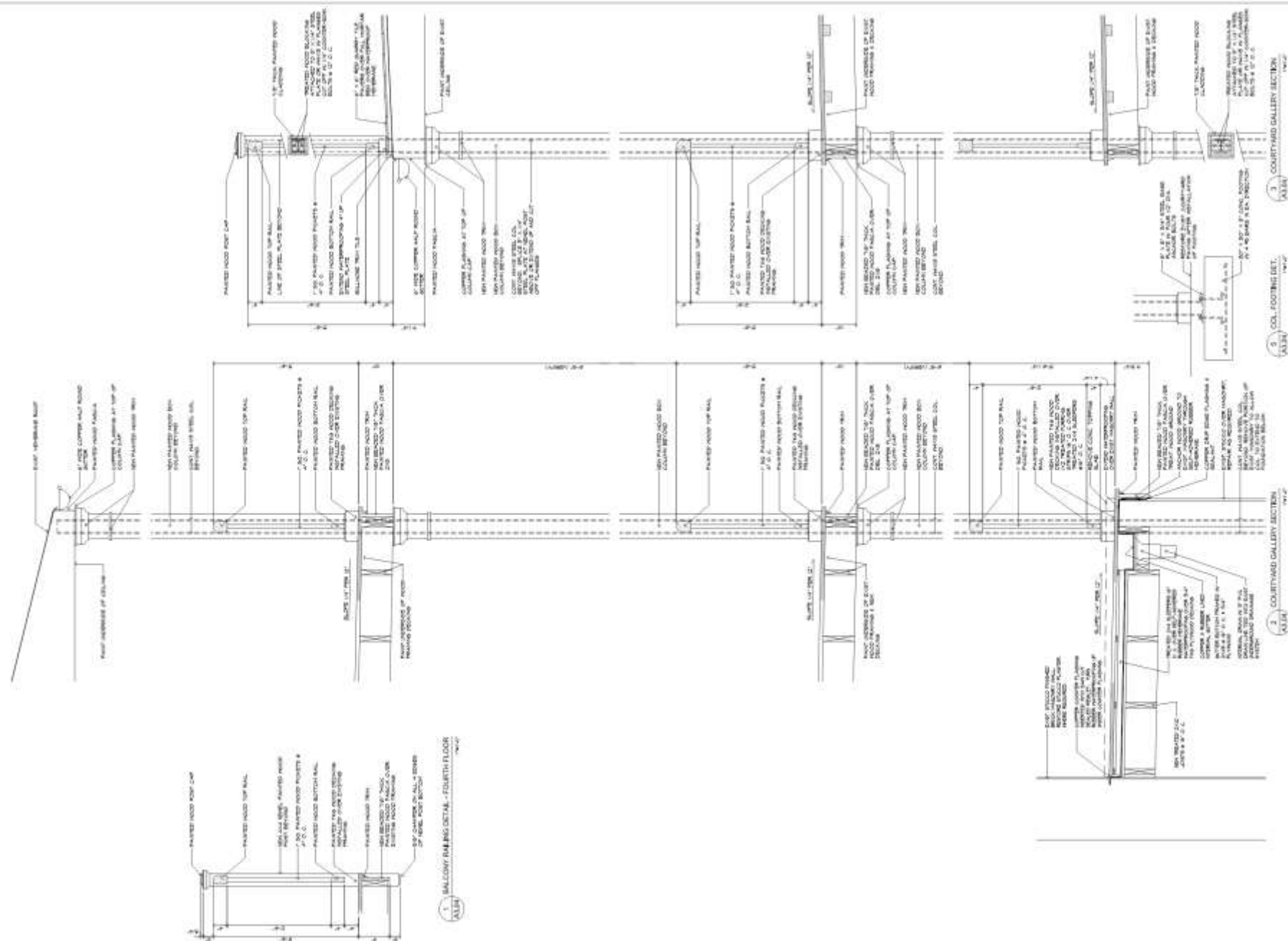


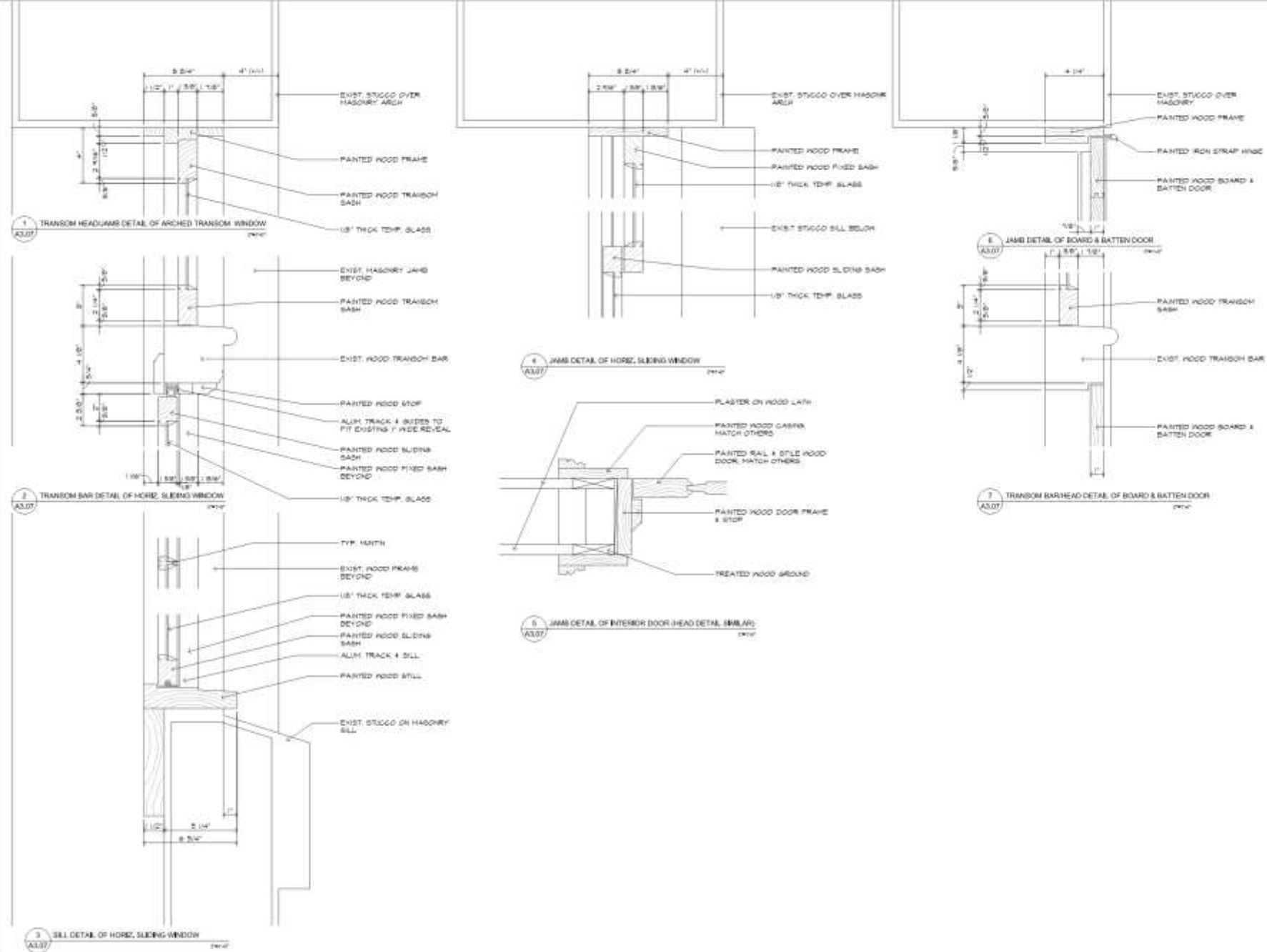
636-40 Royal

VCC Architectural Committee

May 22, 2018







JOHN C WILLIAMS  
ARCHITECTS & L.L.C.

224 ORCHARD STREET  
NEW ORLEANS, LA 70111  
(504) 586-1000  
www.jcwlliams.com

This drawing is the property of John C. Williams Architects & L.L.C. and is not to be reproduced or used in any manner without the written consent of John C. Williams Architects & L.L.C.

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

DATE: 10-1-17  
BY: JCW

REVISIONS		
No.	Date	By
1	10-1-17	JCW

DRAWING  
OPENING DETAILS

DRAWING BY: JCW  
SCALE: 3/4" = 1'-0"  
JOB NO.: 00000000  
DATE: 10/1/17

Sheet No.

A3.07





These findings and conclusions have been presented by me in earlier research papers and reports, and in the book *My political evolution* (1997). I will not repeat them here and, therefore, will not discuss them.

© 2000 Blackwell Science Ltd  
Journal of Internal Medicine 247: 395–402

Copyright © 2001  
by The McGraw-Hill Companies, Inc.

THE CTB ■ **IN AUSTRIA** ■ I.E.

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

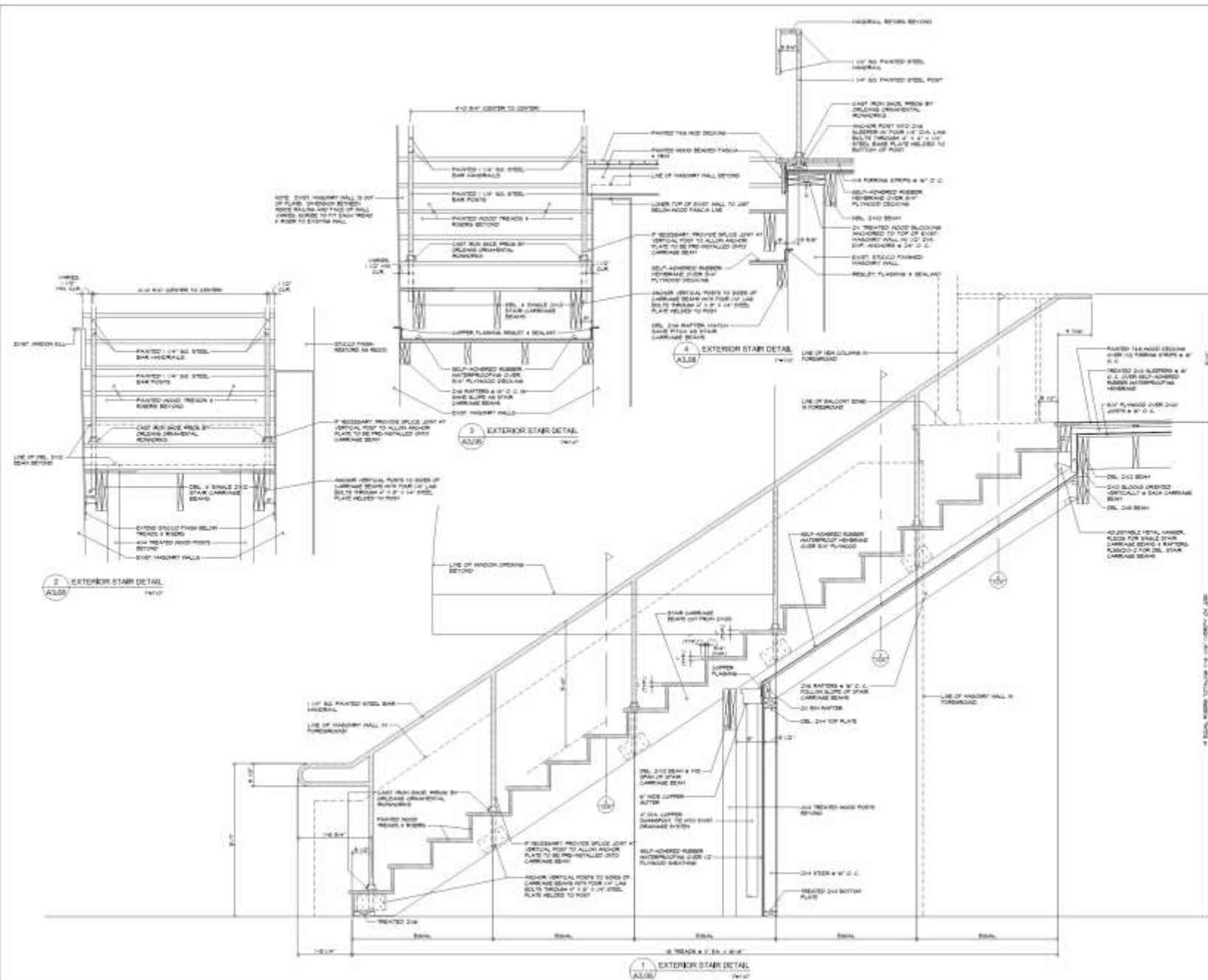
[illegible]

DRIVING  
COURTYARD SECTION  
DETAILS

DRAWING BY	
SCALE	1" = 1'-0"
JOB NO.	5000
DATE	04/01/00

Ground Water

A3.08



636-40 Royal

## VCC Architectural Committee

May 22, 2018

# OPENING SCHEDULE - COURTYARD



JOHN C. WILLIAMS  
ARCHITECTS LLC

636 ROYAL STREET  
NEW ORLEANS, LA 70116  
PHONE: 504.581.1111  
FAX: 504.581.1112

This drawing is prepared for the use of the client only. It is not to be used for any other purpose without the written consent of the architect.

DATE: 05/01/18

638 - 640 ROYAL STREET  
NEW ORLEANS, LA

REVISIONS		
No.	Date	By
1	04/11/18	JCW

DRAWING: OPENING SCHEDULE - COURTYARD  
SCALE: AS SHOWN  
DATE: 05/01/18  
Sheet No.

A1.05



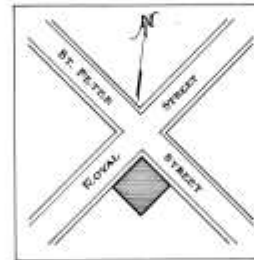
	NO.	DIMENSION			DETAILS				DESCRIPTION	REMARKS
		DOORS	WINDOWS & Sidelights	TRANSOMS	HEAD	JAMB	SILL	NET RAIL		
FIRST FLOOR	114	1'-10" x 7'-0" x 7/8"	---	---	---	---	---	---	EXIST. TAG BEADED BOARD DOOR, PAINTED OVER AS PART OF WALL MURAL.	---
	115	3'-0" x 6'-5" x 7/8"	---	---	---	---	---	---	EXIST. TAG 1" GROOVE BOARD DOOR	PART EXIST.
	116	4'-3" x 6'-0" x 2 1/4"	---	---	---	---	---	---	EXIST. PLYWOOD PANEL ON 2x4 FLAT STUD FRAME ACCESS PANEL	PART EXIST.
	117	5'-2" x 6'-11" C. B.	---	5'0" x 2'-3 1/2"	---	---	---	---	EXIST. CASED OPNG. W/ ARCHED 6 LIGHT TRANSOM	PART EXIST.
	118	2'-10" x 8'-0"	---	---	---	---	---	---	BOARDED UP OPENING	REPAIR W/ SHINY SURROUNDING OPNG. PART EXIST.
	119	PR. 2'-6" x 6'-8"	---	---	---	---	---	---	EXIST. FRENCH DOORS W/ TAG BOARD & BATTEN SHUTTERS	PART EXIST.
	120	3'-3 1/2" x 6'-8"	---	---	---	---	---	---	EXIST. PAIR OF TAG BEADED BOARD DOORS	PART EXIST.
	121	2'-0" x 6'-1 1/2"	---	---	---	---	---	---	EXIST. 2 PANEL RAIL & STYLE WOOD DOOR	PART EXIST.
	122	---	---	---	---	---	---	---	OPNG. WHERE A/C UNIT WAS PREVIOUSLY REMOVED	REFL. EXIST. OPNG.
	123	---	2'-5" x 2'-8" x 1 3/4"	---	3/AS.01	1/AS.01	5/AS.01	4/AS.01	NEW 2 OVER 2 DBL. HUNG WOOD WINDOW	MATCH #218 ABOVE ON 2ND FLOOR.
	124	3'-0" x 6'-0" x 1 3/4"	---	---	5/AS.07	5/AS.07	---	---	NEW 4 PANEL WOOD RAIL & STYLE WOOD DOOR TO REPLACE EXIST.	RT EXIST. OPENING SIZE & SHAPE
SECOND FLOOR	211	---	3# 2'-4" (8'-0" MIN) x 5'-11" x 1 1/8"	---	1/AS.07	4/AS.07	3/AS.07	---	NEW HORIZ. SLIDING (2 OPER. 1 FIXED) WOOD WINDOWS W/ ARCHED FAIRLIGHT TRANSOM	SIZED TO FIT EXIST. ROUGH OPNG. & EXIST. TRANSOM BAR
	212	---	3'-4 1/2" x 2'-8"	5'-8" x 2'-0"	7/AS.07	6/AS.07	---	---	NEW BATTEN DOOR & NEW FIXED 6 LIGHT WOOD WINDOW W/ ARCHED 6 LIGHT TRANSOM ABOVE ALL	VERIFY SIZE W/ EXIST. OPNG. PART EXIST.
	213	1'-11 1/2" x 6'-4" x 3/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR W/ 8 LIGHTS OVER 2 VERT. PANELS	PART EXIST. REPAIR/REPLACE MISSING WINGS & REGAZ
	214	2'-8" x 6'-4" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR W/ 8 LIGHTS OVER 1 PANEL	PART EXIST.
	215	2'-8" x 7'-3" x 1 1/8"	---	---	---	---	---	---	EXIST. TAG BEADED BOARD & BATTEN DOOR	PART EXIST.
	216	2'-4" x 6'-2" x 1"	---	---	---	---	---	---	EXIST. PAIR OF 3 LIGHT CASEMENT WINDOWS	PART EXIST.
	217	---	PR. 1'-2" x 2'-8" x 1 3/4"	---	---	---	---	---	EXIST. 2 OVER 2 DBL. HUNG WOOD WINDOW	PART EXIST.
	218	---	3'-5" x 2'-4" x 1 3/4"	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR W/ 8 LIGHTS OVER 2 VERT. PANELS	PART EXIST. REPAIR/REPLACE MISSING WINGS & REGAZ
	219	---	---	---	---	---	---	---	EXIST. PAIR OF WOOD DOORS W/ 8 LIGHTS OVER 2 VERT. PANELS	PART EXIST.
	220	PR. 2'-0" x 7'-3" x 1 1/4"	---	---	---	---	---	---	EXIST. 4 PANEL RAIL & STYLE WOOD DOOR W/ SCREEN DOOR	PART EXIST.
	221	3'-0" x 7'-3" x 1 1/4"	---	---	---	---	---	---	EXIST. PAR OF WOOD CASEMENT WINDOWS W/ SIDE LIGHTS & ARCHED 6 LIGHT TRANSOM	PART & REPAIR EXIST. REPLACE MISSING SASH
	222	---	2'-8" x 6'-4"	6'-4" x 2'-0"	---	---	---	---	EXIST. 4-PANEL RAIL & STYLE WOOD DOOR W/ SCREEN DOOR	PART EXIST.
	223	2'-10" x 8'-2" x 1 1/4"	---	---	---	---	---	---	EXIST. OPENING TO BE REMOVED W/ PARTITION	---
	224	---	---	---	---	---	---	---	NEW 4 PANEL RAIL & STYLE WOOD DOOR TO REPLACE EXIST. FLUSH DOOR	---
	225	2'-11 1/2" x 8'-0" x 1 1/4"	---	---	5/AS.07	5/AS.07	---	---	NEW 4 PANEL RAIL & STYLE WOOD DOOR TO REPLACE EXIST. FLUSH DOOR	---
	226	2'-11 1/2" x 8'-0" x 1 1/4"	---	---	5/AS.07	5/AS.07	---	---	---	---
THIRD FLOOR	311	3'-0" x 6'-0" x 1 1/8"	---	---	---	---	---	---	EXIST. RAIL & STYLE 4 PANEL WOOD DOOR W/ SCREEN DOOR	PART EXIST.
	312	2'-8" x 6'-0" x 1 1/4"	---	---	5/AS.07	5/AS.07	---	---	NEW RAIL & STYLE 4 PANEL WOOD DOOR	---
	313	2'-8" x 6'-0" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE 4 PANEL WOOD DOOR	PART EXIST.
	314	---	---	---	---	---	---	---	EXIST. DOOR TO BE REMOVED, SALVAGE & RETURN TO OWNER	---
	315	---	2'-11 1/2" x 1 1/8"	5'-8" x 2'-0"	7/AS.07	6/AS.07	---	---	NEW TAG BOARD & BATTEN DOOR & NEW FIXED 6 LIGHT WOOD WINDOW W/ ARCHED 7 LIGHT TRANSOM ABOVE ALL	VERIFY SIZE W/ EXIST. OPNG. PART EXIST.
	316	1'-11 1/2" x 6'-4" x 3/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR W/ 3 LIGHTS OVER 2 VERT. PANEL W/ BATTEN SHUTTERS W/ 10 LIGHT TRANSOM	PART EXIST.
	317	2'-8" x 6'-4" x 1 1/8"	---	2'-8" x 2'-0"	---	---	---	---	EXIST. DBL. RAIL & STYLE WOOD DOOR W/ 3 LIGHTS OVER 1 VERT. PANEL W/ BATTEN SHUTTERS	PART EXIST.
	318	3'-0" x 7'-4" x 1 1/8"	---	---	---	---	---	---	EXIST. TAG BOARD & BATTEN DOOR	PART EXIST.
	319	2'-4" x 7'-0" x 1 1/8"	---	---	---	---	---	---	EXIST. TAG BOARD & BATTEN DOOR	PART EXIST.
	320	2'-4" x 7'-0" x 1 1/8"	---	---	---	---	---	---	EXIST. TAG BOARD & BATTEN DOOR	PART EXIST.
	321	PR. 1'-10" x 7'-0" x 1 1/8"	---	---	6/AS.07	6/AS.07	---	---	NEW PAIR OF TAG BOARD & BATTEN DOORS	---
	322	---	1# 8'-0" (10'-0" MIN) x 11'-9 1/2" x 1 1/8"	10'-2" x 1'-11"	1/AS.07	4/AS.07	3/AS.07	---	NEW TRIPLE HORIZ. SLIDING WOOD WINDOWS W/ ARCHED FAIRLIGHT TRANSOM	SIZED TO FIT EXIST. ROUGH OPNG. & EXIST. TRANSOM BAR
	323	2'-11" x 7'-0" x 1 1/4"	---	---	5/AS.07	5/AS.07	---	---	NEW RAIL & STYLE 4 PANEL WOOD DOOR	---
FOURTH FLOOR	411	---	2'-8" x 5'-0"	---	---	---	---	---	EXISTING 4 OVER 4 DBL. HUNG WOOD WINDOW	REMOVE EXIST. A/C UNIT & REPAIR LOWER SASH & REGLAZE. PART EXIST.
	412	2'-8" x 6'-0" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR 8 LIGHT OVER 2 VERT. PANELS	REPAIR MUNTINS, REGLAZE & PART EXIST.
	413	3'-0" x 6'-0" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR 8 LIGHT OVER 2 VERT. PANELS	REPAIR MUNTINS, REGLAZE & PART EXIST.
	414	3'-0" x 6'-0" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR 8 LIGHT OVER 2 VERT. PANELS	REPAIR MUNTINS, REGLAZE & PART EXIST.
	415	PR. 1'-10" x 6'-8" x 1 1/4"	---	---	---	---	---	---	---	PART EXIST.
	416	3'-3" x 6'-8"	---	---	---	---	---	---	FALSE DOOR OPNG. W/ WINDOW A/C UNIT	PART EXIST.
	417	3'-0" x 6'-8" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR W/ GLASS LIGHTS OVER 3 HORIZ. PANELS	PART EXIST.
	418	---	2'-0" x 2'-8"	---	---	---	---	---	EXIST. 4 LIGHT FIXED WOOD WINDOW	PART EXIST.
	419	3'-0" x 6'-8" x 1 1/4"	---	---	---	---	---	---	EXIST. RAIL & STYLE WOOD DOOR W/ GLASS LIGHTS OVER 3 HORIZ. PANELS	PART EXIST.
	420	PR. 2'-0" x 6'-8"	---	---	---	---	---	---	EXIST. PAIR OF RAIL & STYLE WOOD DOORS W/ 8 LIGHTS EACH	PART EXIST.



# FIRST SKYSCRAPER

638 ROYAL STREET

NEW ORLEANS - LOUISIANA



SKETCH MAP  
SHOWING LOCATION

HISTORIC AMERICAN BUILDINGS SURVEY  
U.S. DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE  
BRANCH OF PLANS AND DESIGN

MEASURED: NOV. 14, 1954  
DRAWN: MARCH 14, 1955  
MEASUREMENTS CHECKED: F. F. DUFRÉCHOU



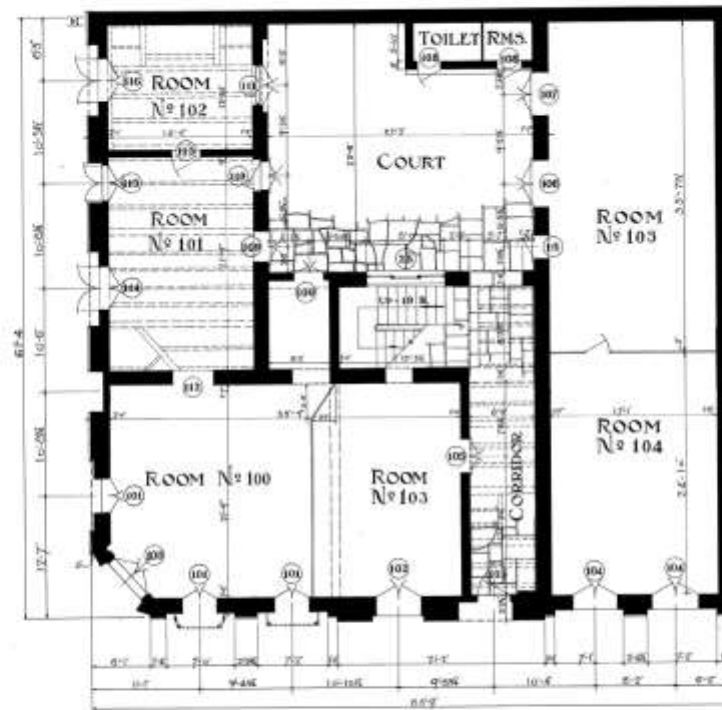
DRAWINGS APPROVED: *Richard Koch*  
DRAWINGS APPROVED: *F. F. Dufréchu*  
ACCEPTED FOR LIBRARY OF CONGRESS: *James H. Rouse*

DISTRICT OFFICE  
CHIEF ARCHITECT

DISTRICT NO. 18 - LOUISIANA AREA  
RICHARD KOCH - DISTRICT OFFICE  
614 AUBURN BLDG. - NEW ORLEANS, LA.  
- FIELD PARTY -  
FRANK DUFRÉCHOU - SHEET & PHOTO  
HISSE, TECHNIQUE - LOUISIANA AREA  
CHARLES DELLAPPE JR. - 1954 - C. DILLON

SURVEY NO.  
INDEX NO.  
LA21  
LA  
SHEETS 1-20  
10



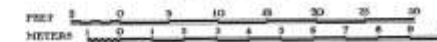


- FIRST FLOOR PLAN -  
SCALE - 1/8" = 1'-0"

*All porch walls are of brick. Cemented outside and plastered inside. All rooms have cement floors except rooms N° 103 & 104 which have wood flooring. The floors of the corridor & court yard are of flagstones of random sizes. The dotted lines at opening N° 101 indicate shipways which are of late construction. The dotted lines in corridor & rooms N° 101 & 102 indicate exposed posts. See sheet N° 4 for schedule of openings.*



- GRAPHIC SCALES -



LOUIS SARGENT JR., DES.

U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

FIRST SKYSCRAPER

NAME OF STRUCTURE

638 ROYAL STREET  
NEW ORLEANS - LOUISIANA



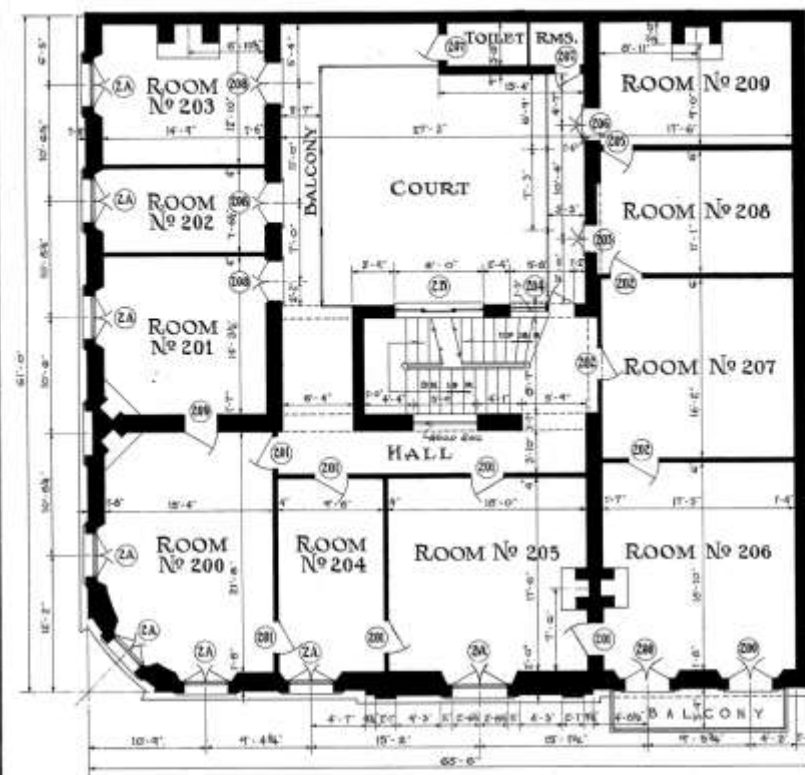
SURVEY NO.  
LA-21  
JAN 15, 1935

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 1 OF 20 SHEETS

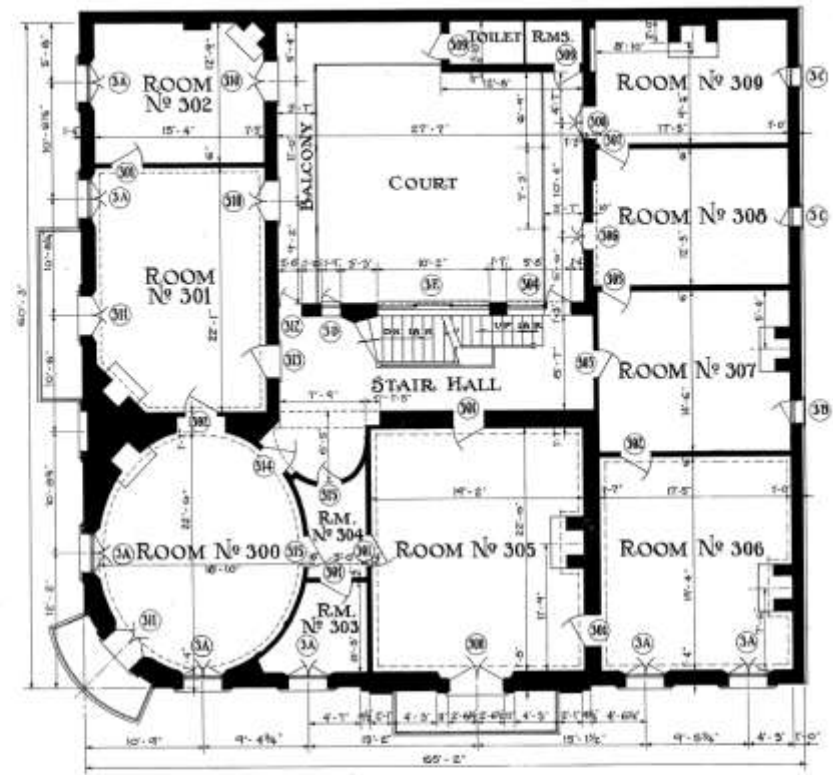
SHEET NO.







- SECOND FLOOR PLAN -  
Scale - 1/8" = 1'-0"



- THIRD FLOOR PLAN -  
Scale - 1/8" = 1'-0"



All exterior & interior walls are brick, except those that are shown 4' x 6" are wood stud walls. Toilet rooms are a later addition. All rooms have wood floor & base, plastered walls & ceiling. Dotted lines in rooms 305-306-300-301 indicates wood cornice. Openings in 305-306 originally had side lights, side lights being removed & opening knicked up, leaving door in center. Room 300 is elliptical in plan as shown. There is a dome ceiling with spring line at top of wood cornice. High point of dome is higher than 4th floor level. An intermediate floor (between 4th floor & roof) being built over dome. (See 4th floor plan). See sheet 1/4 for schedule of openings.

H.E. JEPAGNIER - DEC.

U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

FIRST SKYSCRAPER

NAME OF STRUCTURE

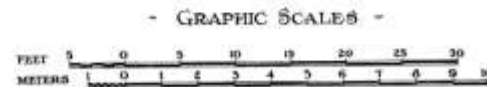
636 ROYAL STREET  
NEW ORLEANS - LOUISIANA

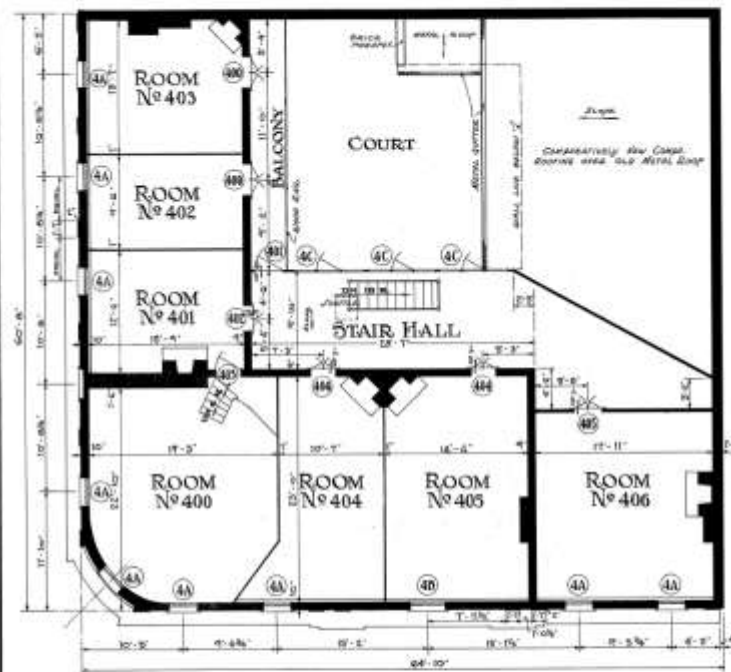


SURVEY NO.  
LA21  
DEC. 6, 1934

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 2 OF 20 SHEETS

INDEX NO.





- FOURTH FLOOR PLAN -  
Scale - 1/8" = 1'-0"



- ROOF PLAN -  
Scale - 1/8" = 1'-0"

A notable feature of the original building is a tile terrace which was built over rooms number 401, 402 and 403 as shown in sectional drawing sheet number 1. This terrace was constructed in the following manner: Over a wood sheathing 1 1/2" thick was laid a course of brick bedded in a good thick mortar, followed by another bed of mortar, on which is laid a double course of 6"x6"x1" red tile. Later a pitched roof was built over the terrace as indicated on the drawings, obviously on account of leaks.

H. E. JACOBSON - Dec.

U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

FIRST SKYSCRAPER

NAME OF STRUCTURE

636 ROYAL STREET  
NEW ORLEANS - LOUISIANA



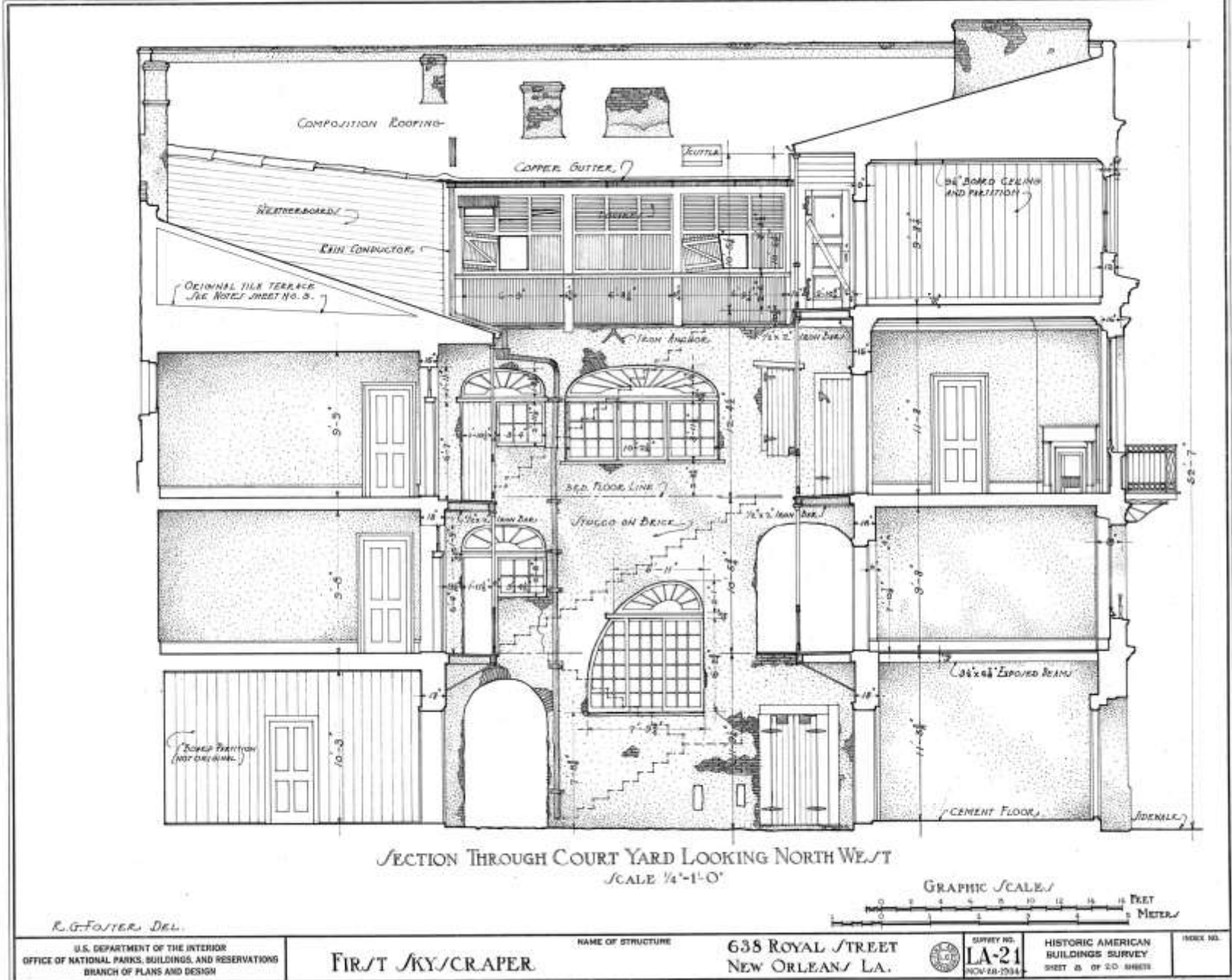
SURVEY NO.  
LA21  
DEC. 18, 1934

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 3 OF 20 SHEETS

INDEX NO.





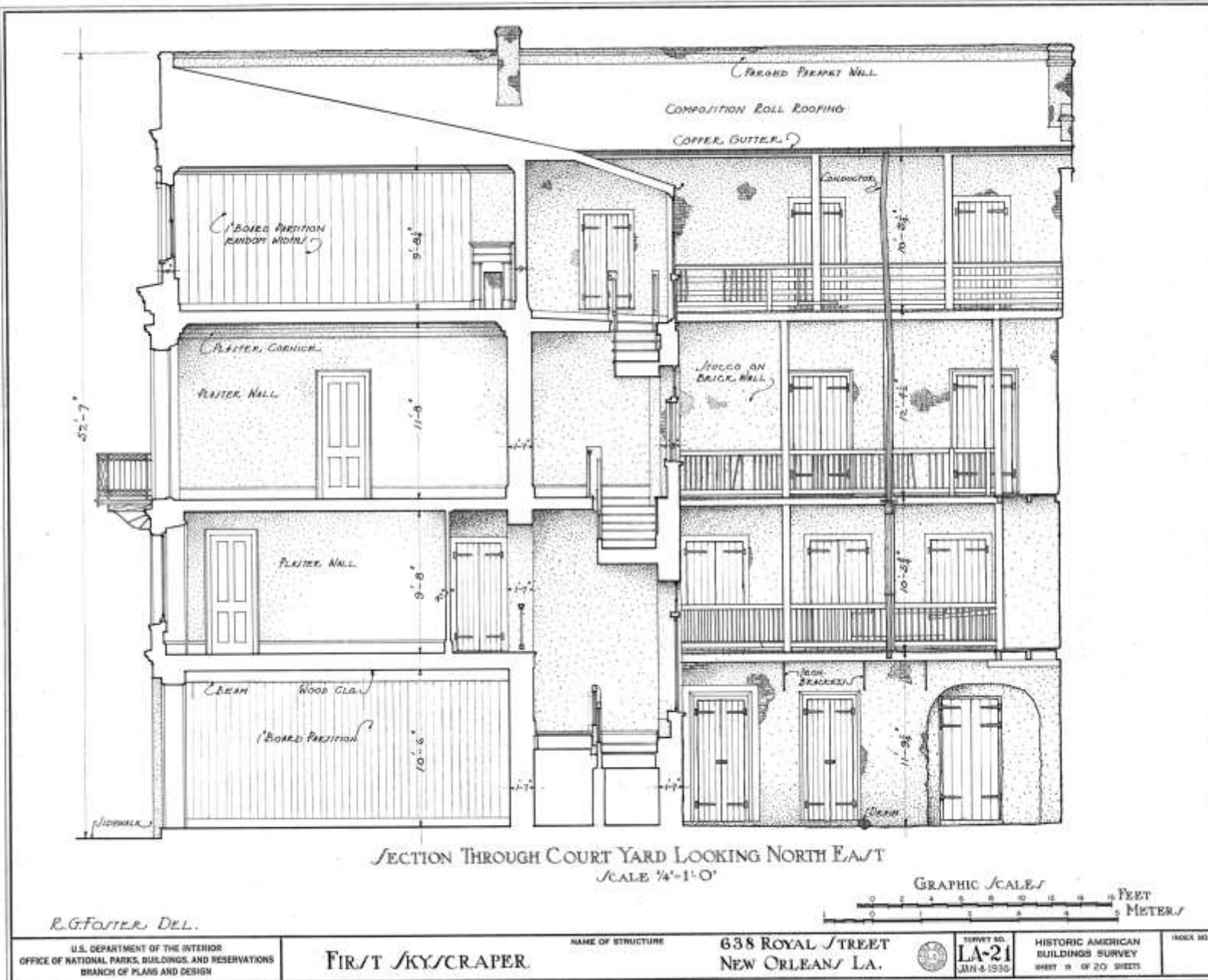


636-40 Royal – HABS Drawings

VCC Architectural Committee

May 22, 2018





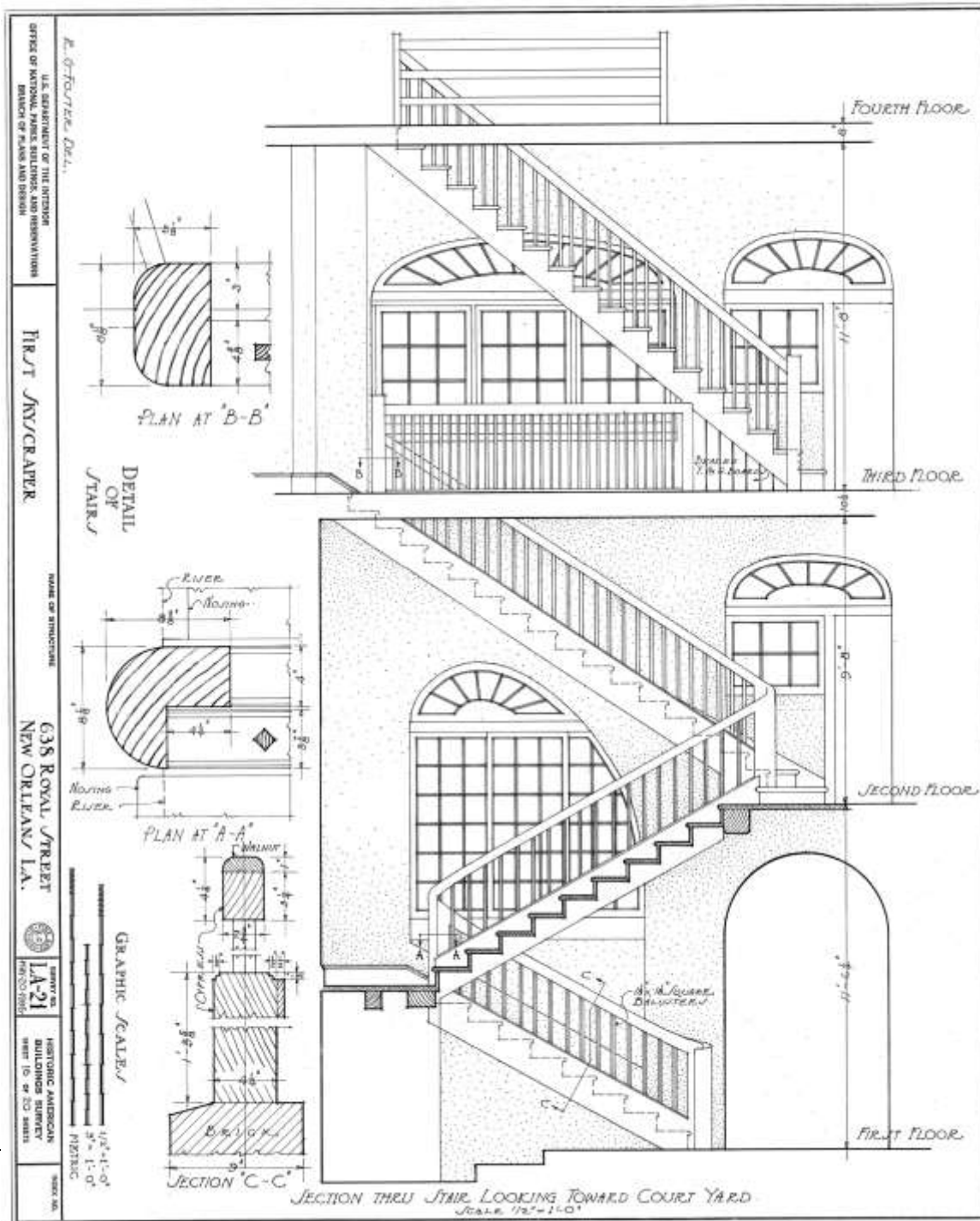
636-40 Royal – HABS Drawings

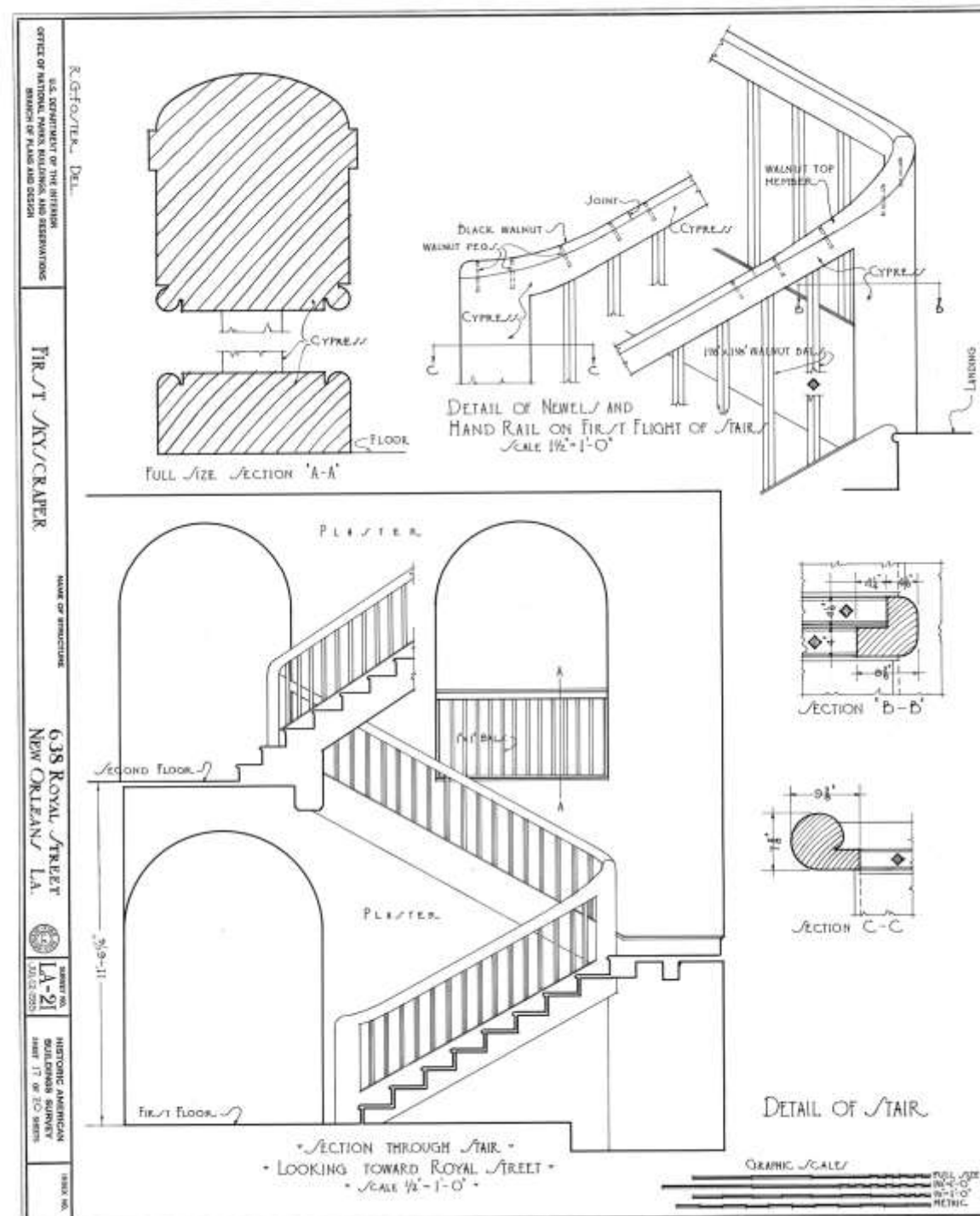
VCC Architectural Committee

May 22, 2018





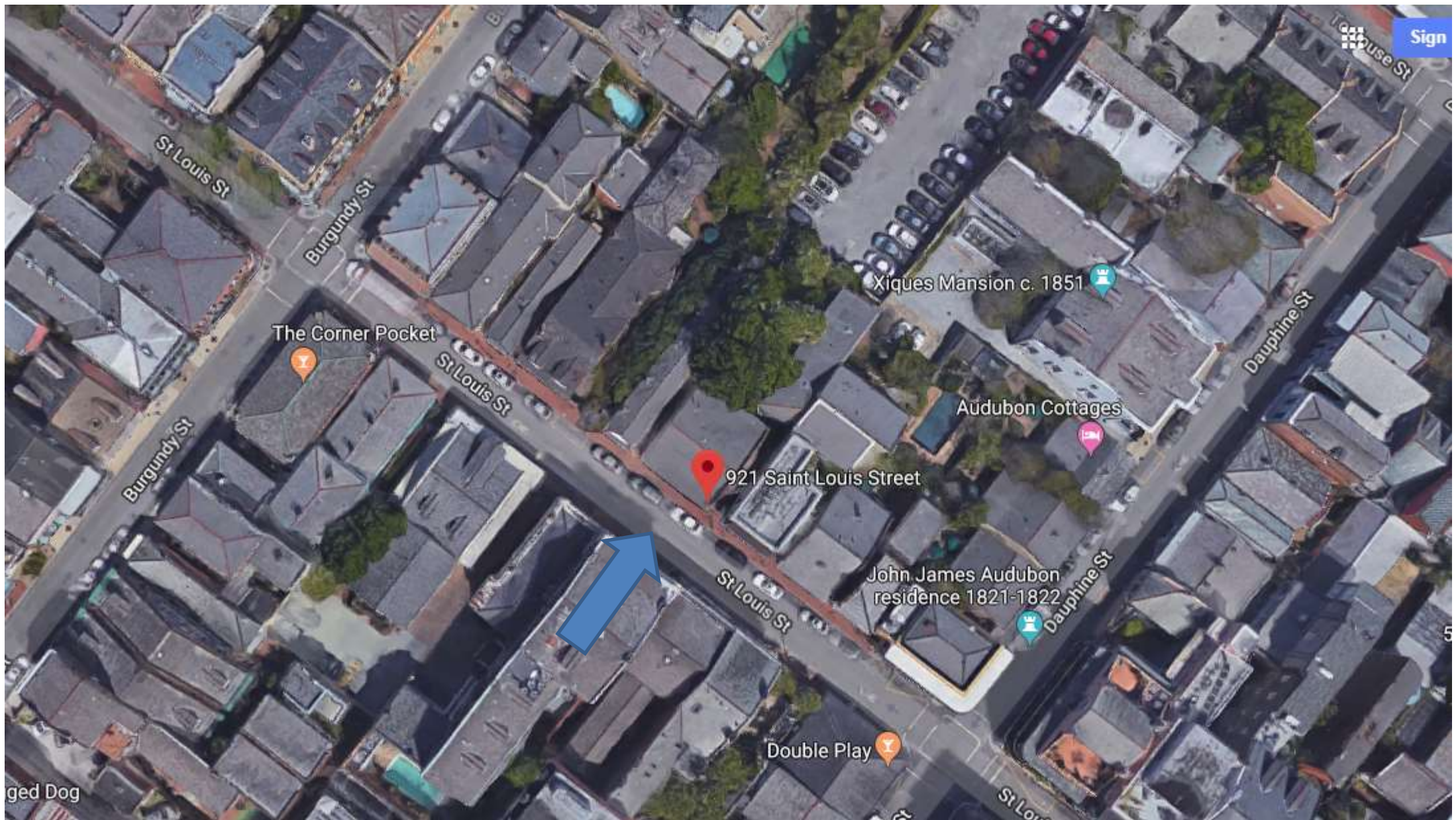






921 St Louis





921 St Louis

VCC Architectural Committee

May 22, 2018







921 St Louis

VCC Architectural Committee

May 22, 2018





921 St Louis





921 St Louis

VCC Architectural Committee

May 22, 2018





921 St Louis

VCC Architectural Committee

May 22, 2018







921 St Louis

VCC Architectural Committee

May 22, 2018





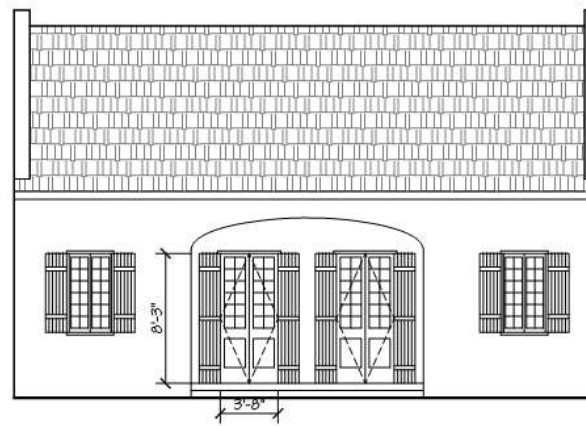
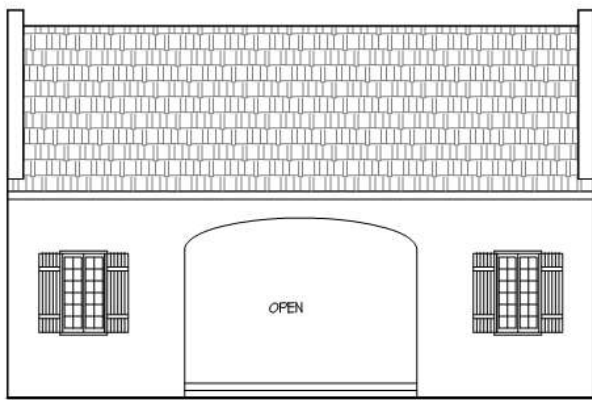
921 St Louis

VCC Architectural Committee

May 22, 2018

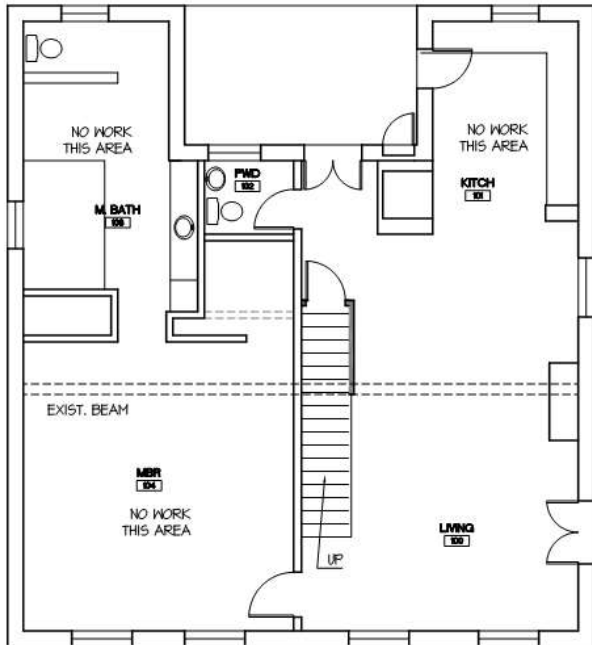




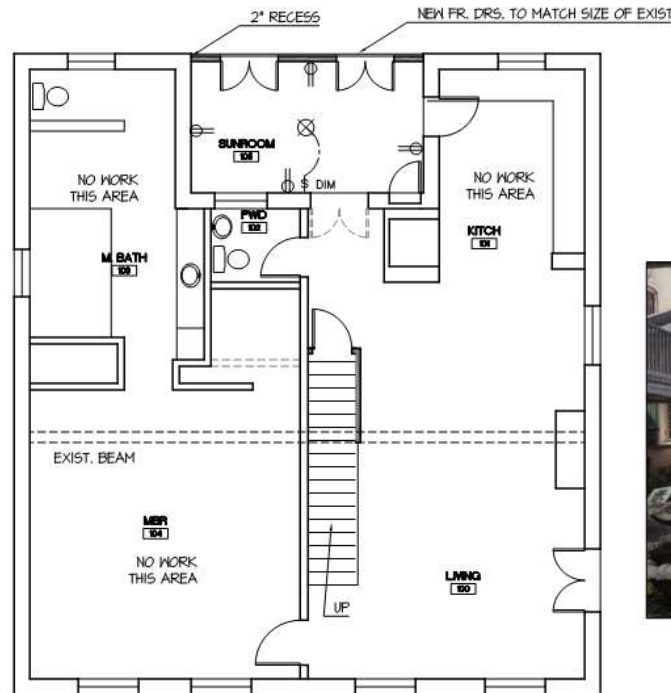


*Charles A. Berg*  
7.23.18

NO.	ISSUE	DATE
FOR REVIEW	1.25.18	



**1 EXISTING**  
1/8"=1'-0"



**2 PROPOSED**  
1/8"=1'-0"



**3 EXISTING**  
1/8"=1'-0"

**RESIDENCE**  
**921 ST. LOUIS ST.**  
**NEW ORLEANS, LA**

**CHARLES A. BERG, AIA**

929 ELYSIAN FIELDS AVE.  
NEW ORLEANS, LA 70117  
504.444.9857

PROJECT ARCH. CAB	PROJECT NUMBER 0000
DRAWN BY JOK	CHECKED BY JOK

**TITLE**  
**FLOOR**  
**PLAN**

SHEET 1

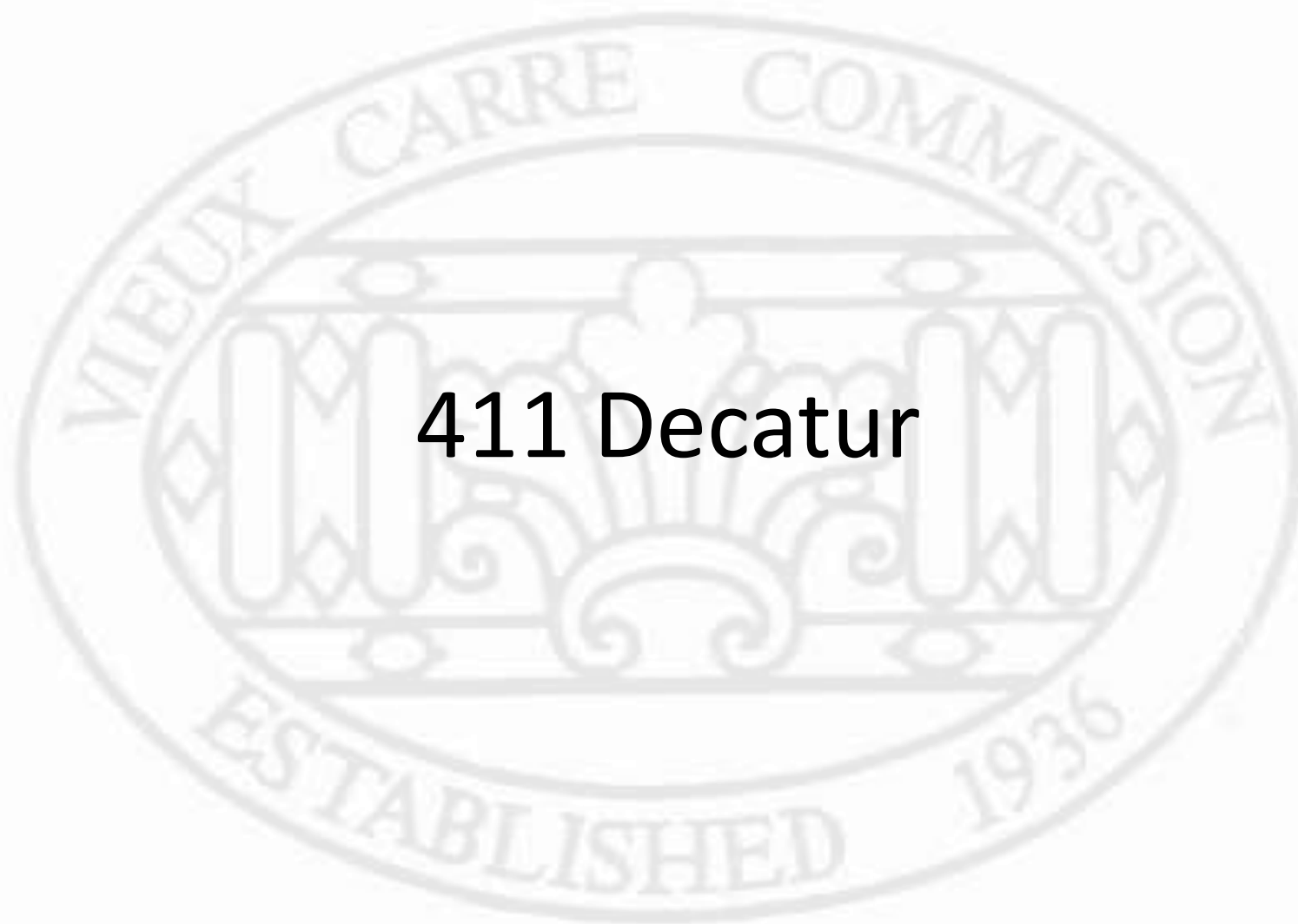
**A-1.0**

OF 1 SHEETS

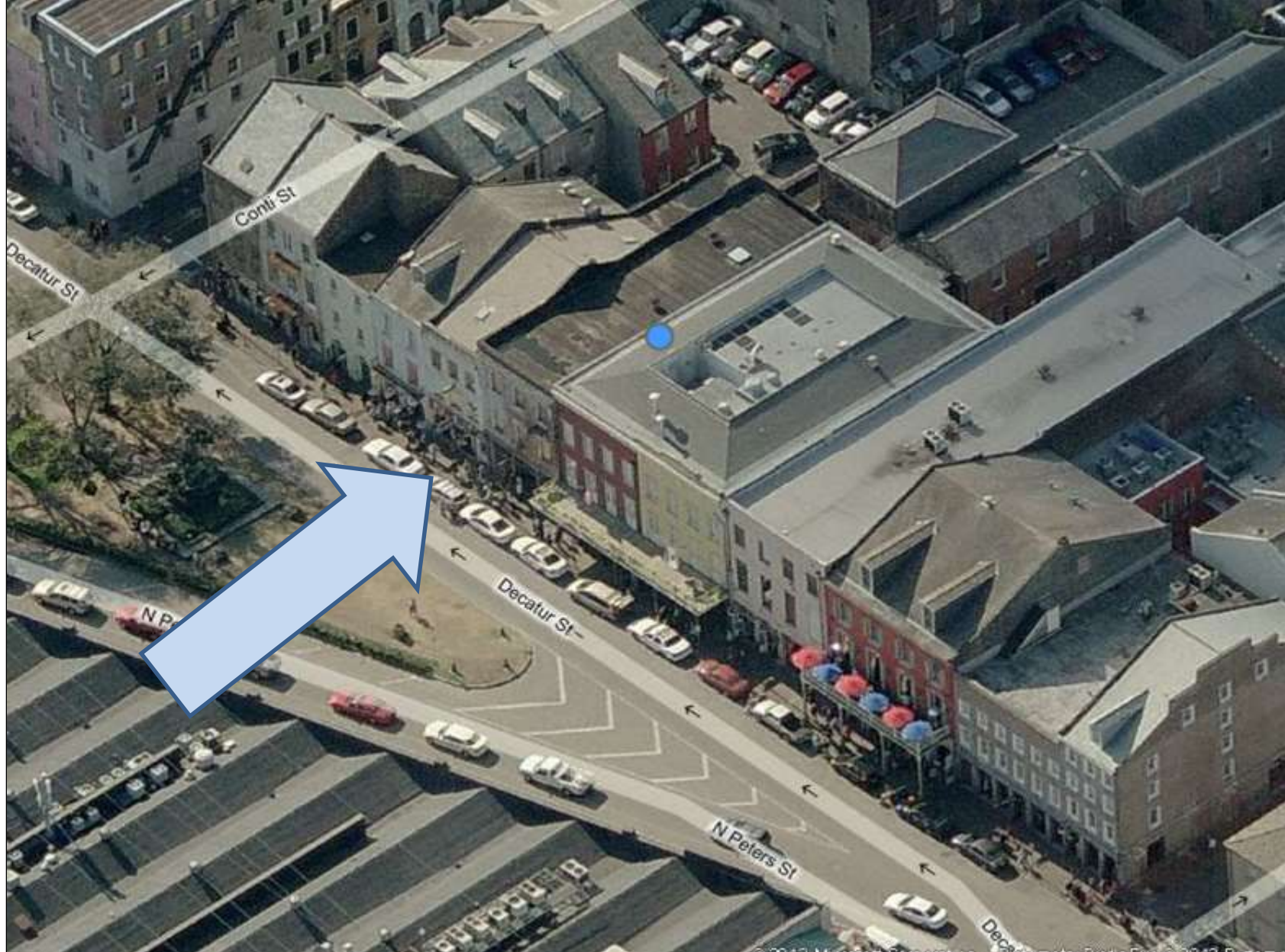


921 St Louis

411 Decatur







411 Decatur

VCC Architectural Committee

January 8, 2013







411 Decatur

VCC Architectural Committee

January 8, 2013







411 Decatur

VCC Architectural Committee

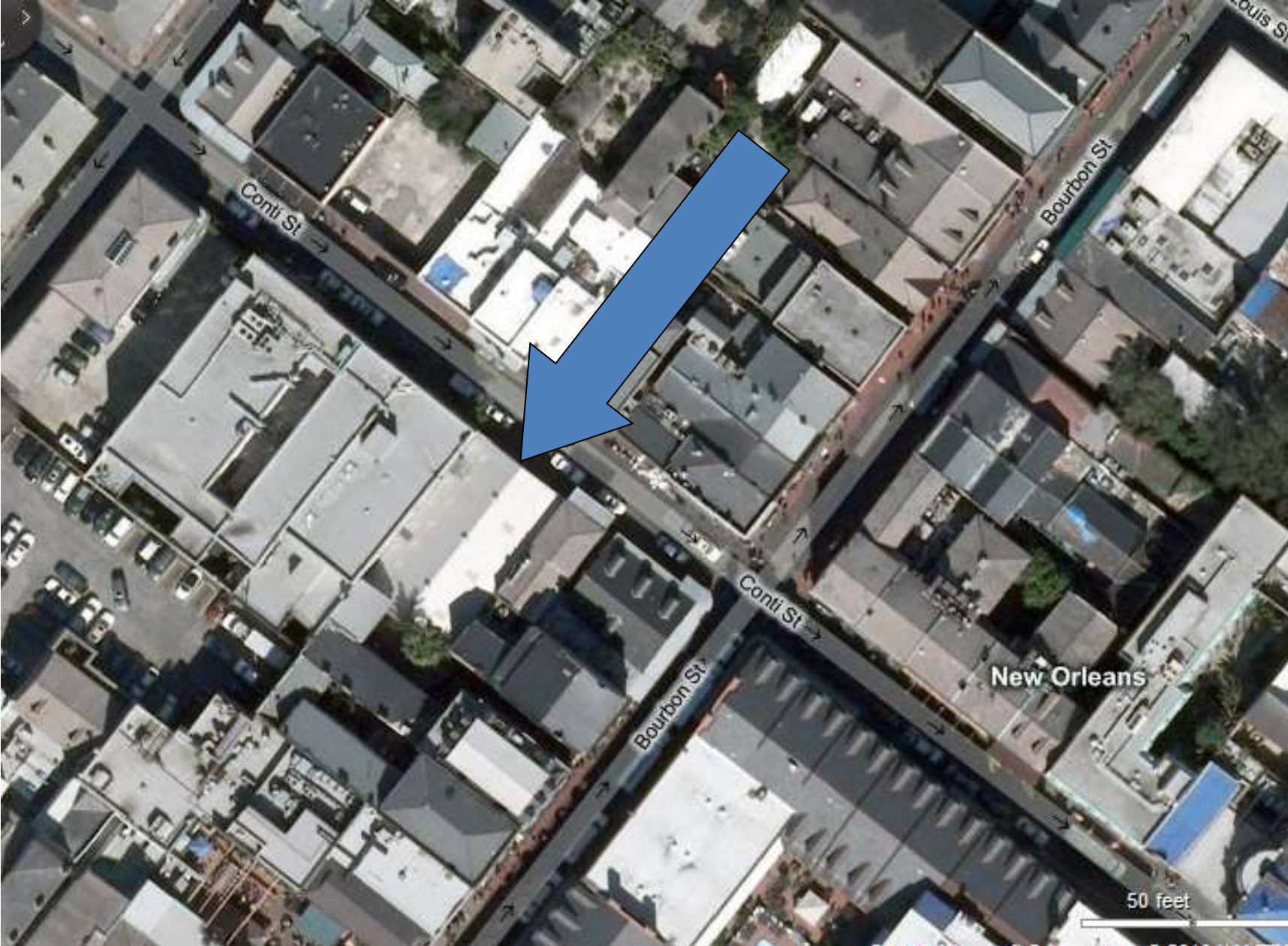
January 8, 2013



810 Conti







810 Conti

VCC Architectural Committee

August 14, 2018







810 Conti





810 Conti

VCC Architectural Committee

August 14, 2018





810 Conti

VCC Architectural Committee

August 14, 2018







810 Conti

VCC Architectural Committee

August 14, 2018





810 Conti

VCC Architectural Committee

August 14, 2018







810 CONTI STREET

810 Conti

VCC Architectural Committee

August 14, 2018





	
UNIVERSITY OF LOUISVILLE	
FACULTY	
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE
NAME	DATE

810 CONTI STREET



FRANCIS BOOTH, JR.  
ARCHITECT

PLAN DETAILS	
PROJECT NAME	DATE
PROJECT NO.	DATE
A5	

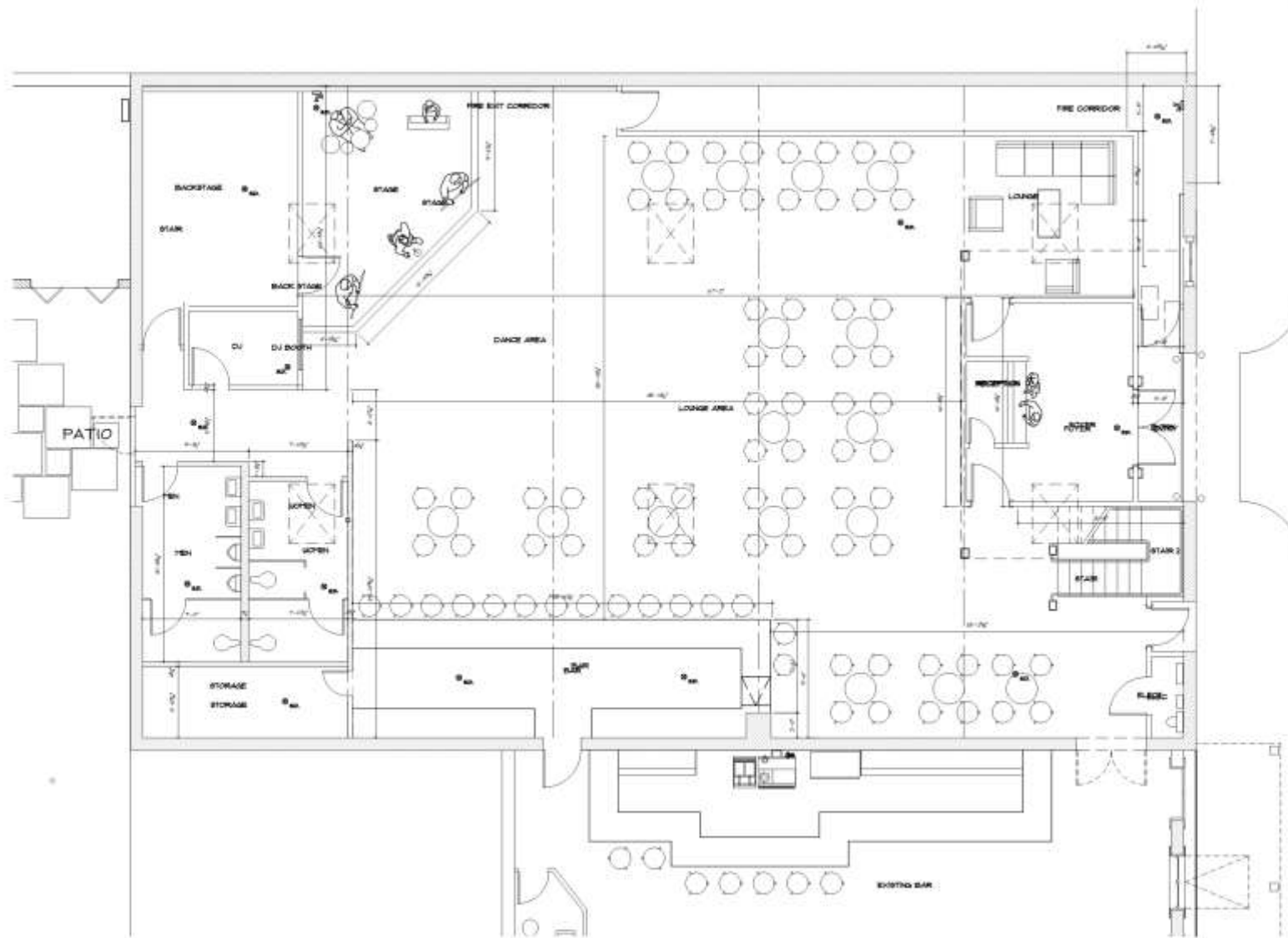


810 Conti

VCC Architectural Committee

August 14, 2018





 **FIRST FLOOR PLAN**



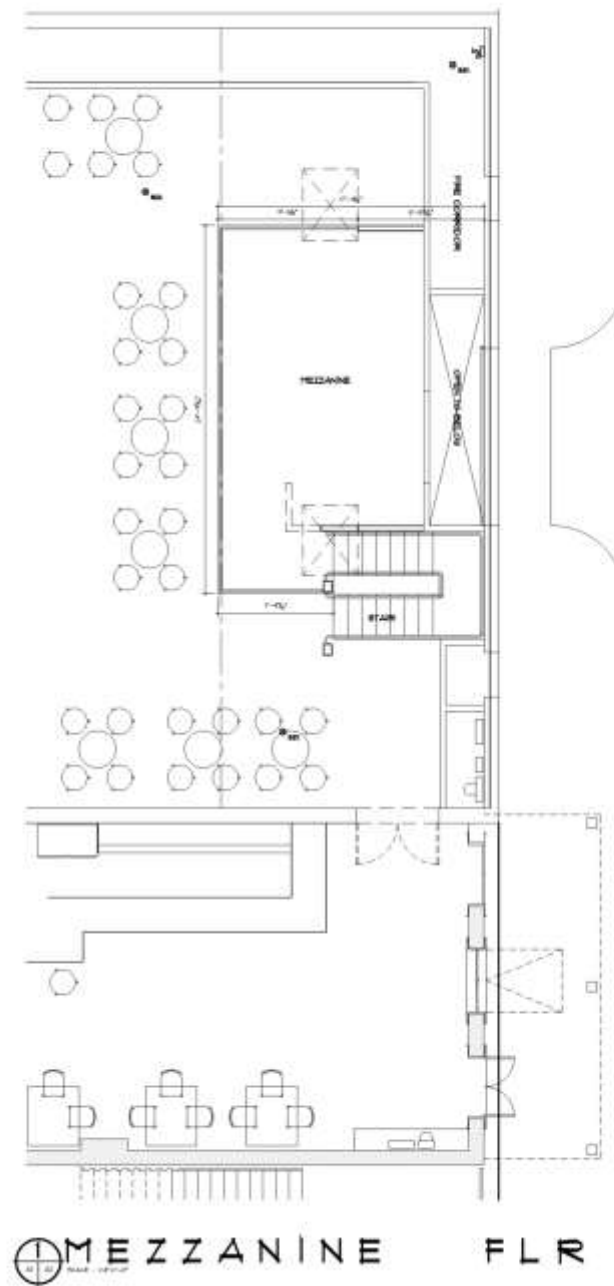
810 CONTI STREET



810 Conti

VCC Architectural Committee

August 14, 2018



810 CONTI STREET



© FREDERICK BENTLEY &  
ARCHITECT  
JULY 1988, 1989

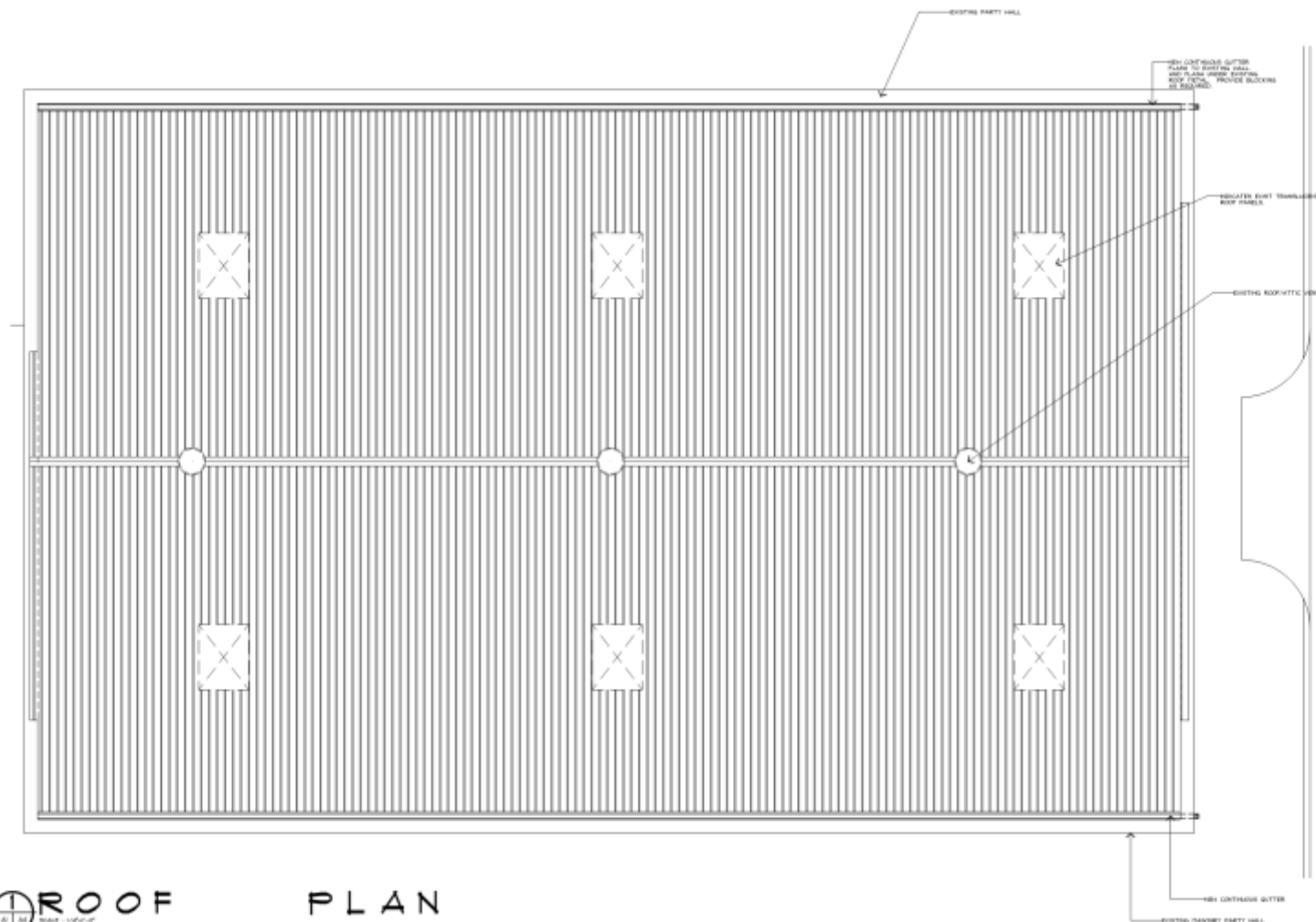


810 Conti

## VCC Architectural Committee

August 14, 2018





 **ROOF**  
PLAN

**PLAN**



APPROVED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**810 CONTI STREET**



H. FREDERIC BOEHNE, JR.  
ARCHITECT  
1000 PONTCHARTRAIN BLVD.  
NEW ORLEANS, LA 70112

PROJECT NUMBER: \_\_\_\_\_  
 PROJECT NAME: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 SHEET: \_\_\_\_\_  
 TOTAL SHEETS: \_\_\_\_\_  
**A4**

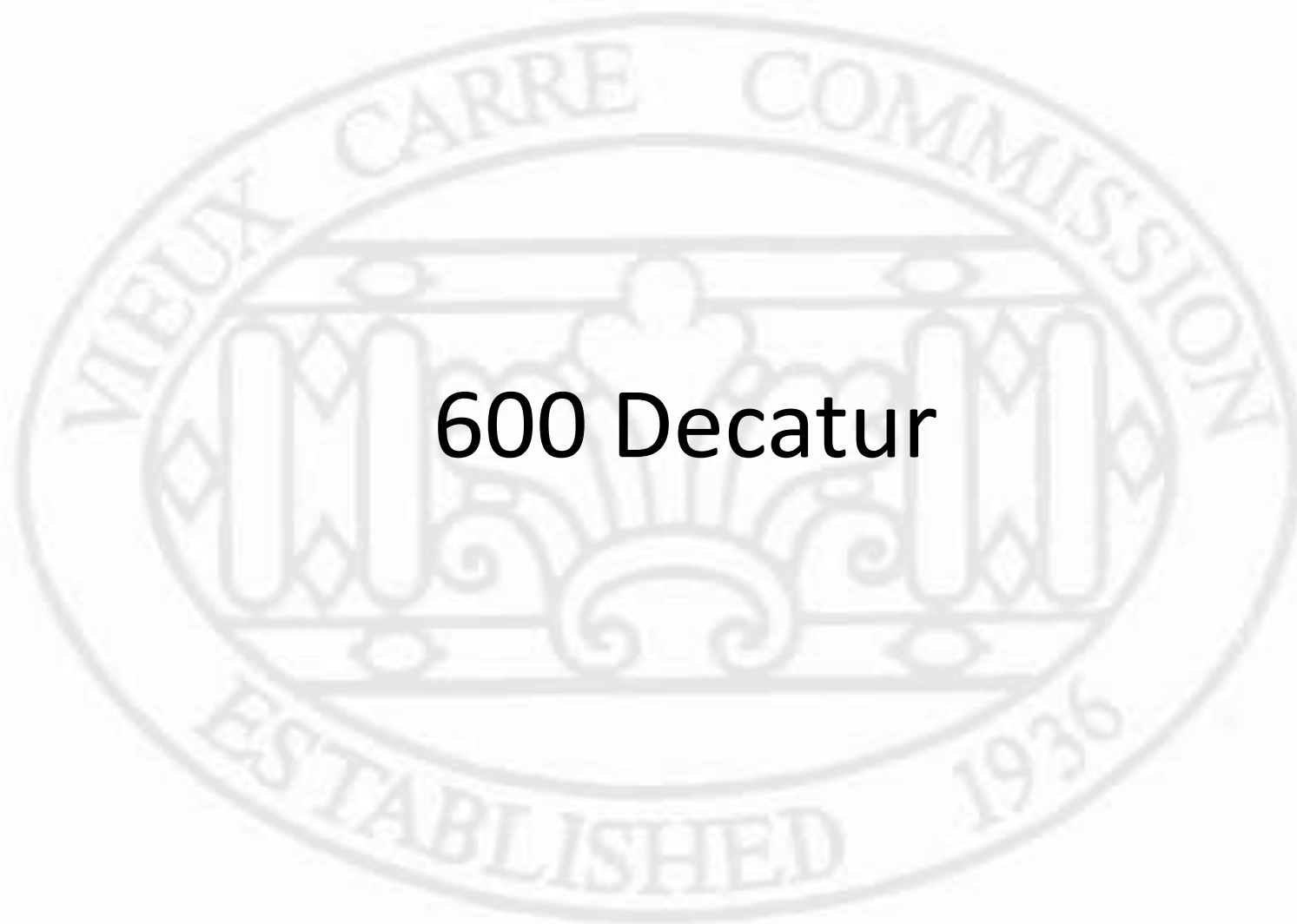


810 Conti

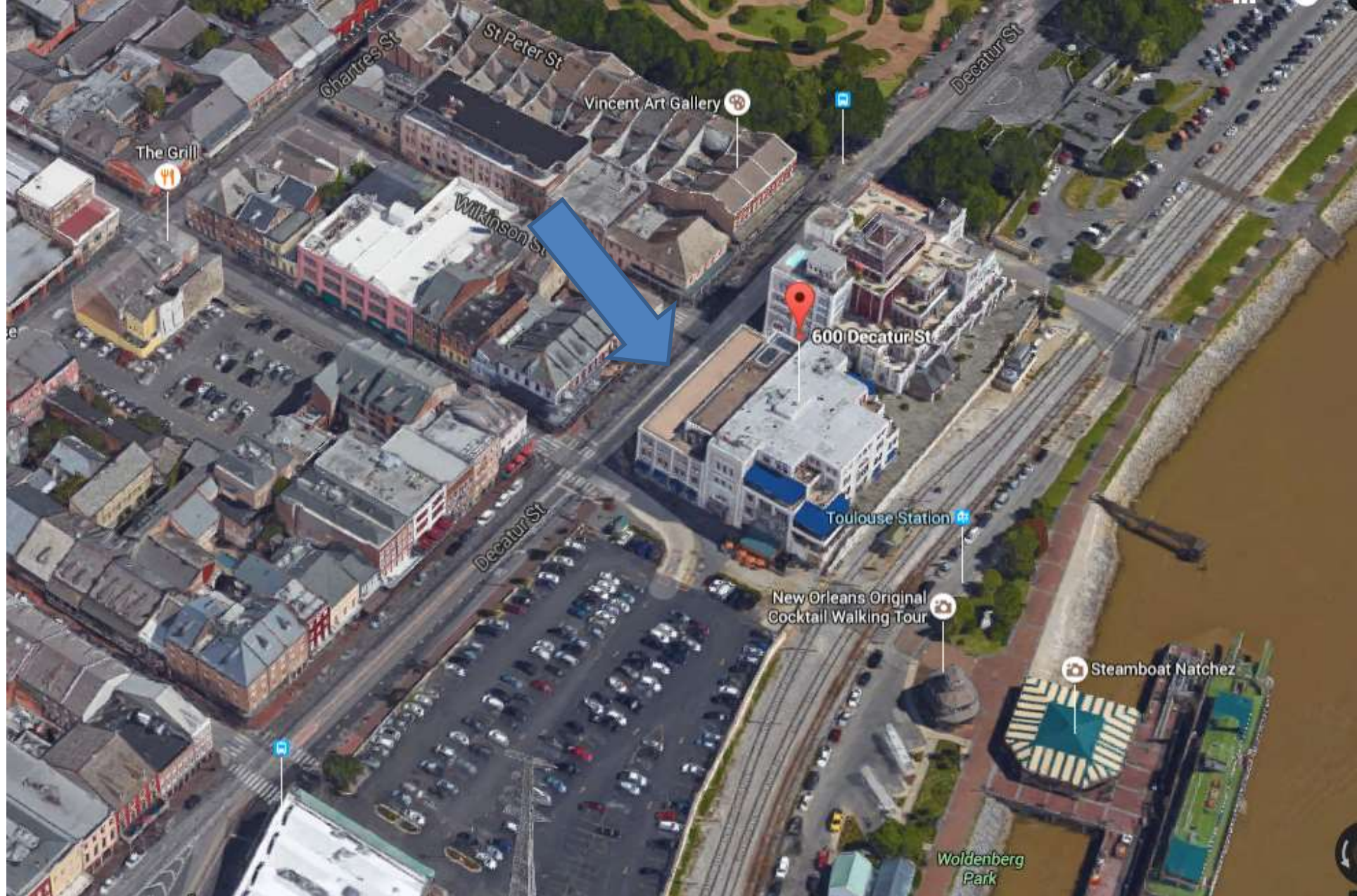
VCC Architectural Committee

August 14, 2018

600 Decatur







600 Decatur

VCC Architectural Committee

August 14, 2018







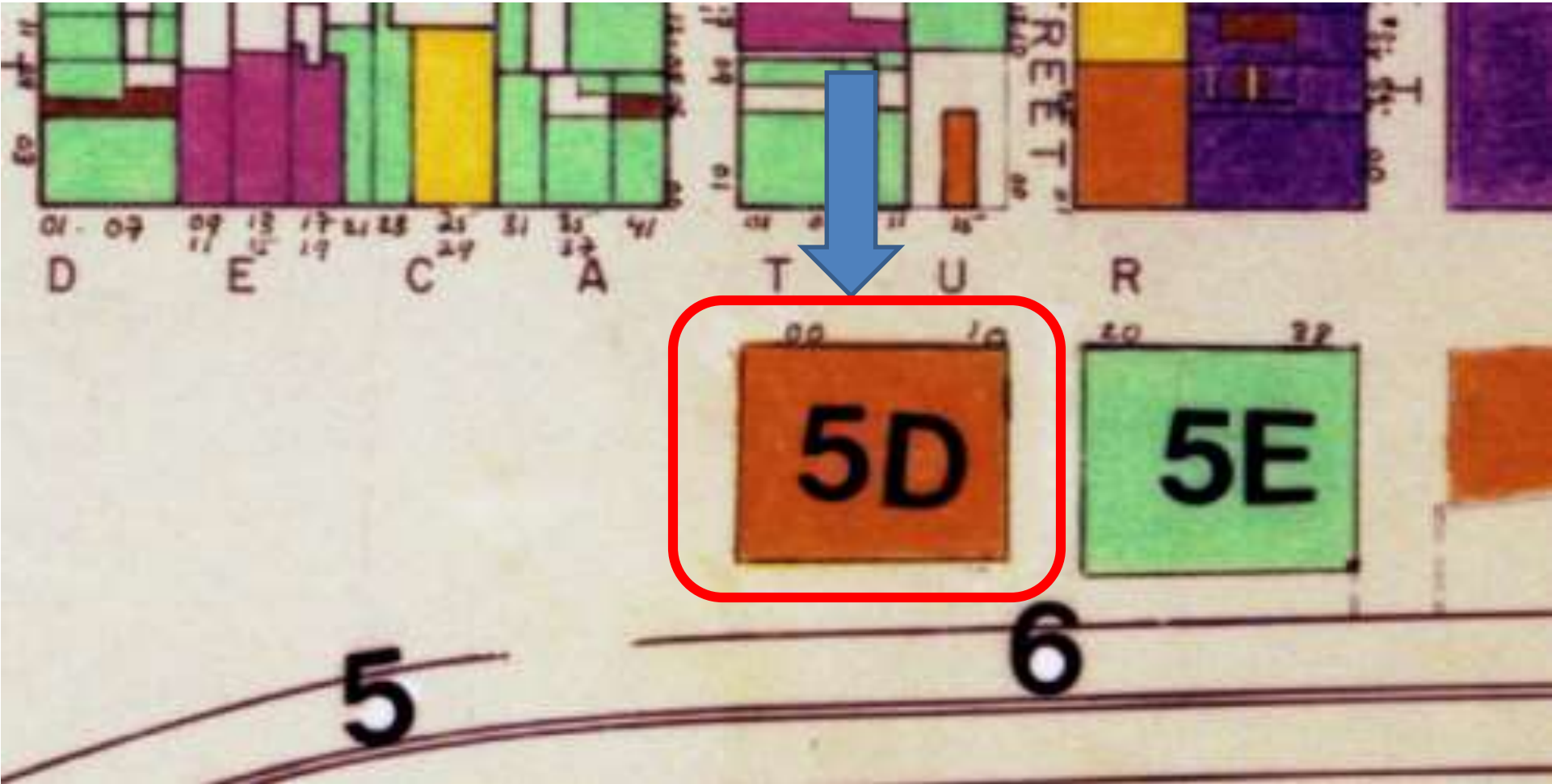
600 Decatur

VCC Architectural Committee

August 14, 2018







600 Decatur





600 Decatur

VCC Architectural Committee

August 14, 2018







600 Decatur

VCC Architectural Committee

August 14, 2018





600 Decatur





600 Decatur

VCC Architectural Committee

August 14, 2018





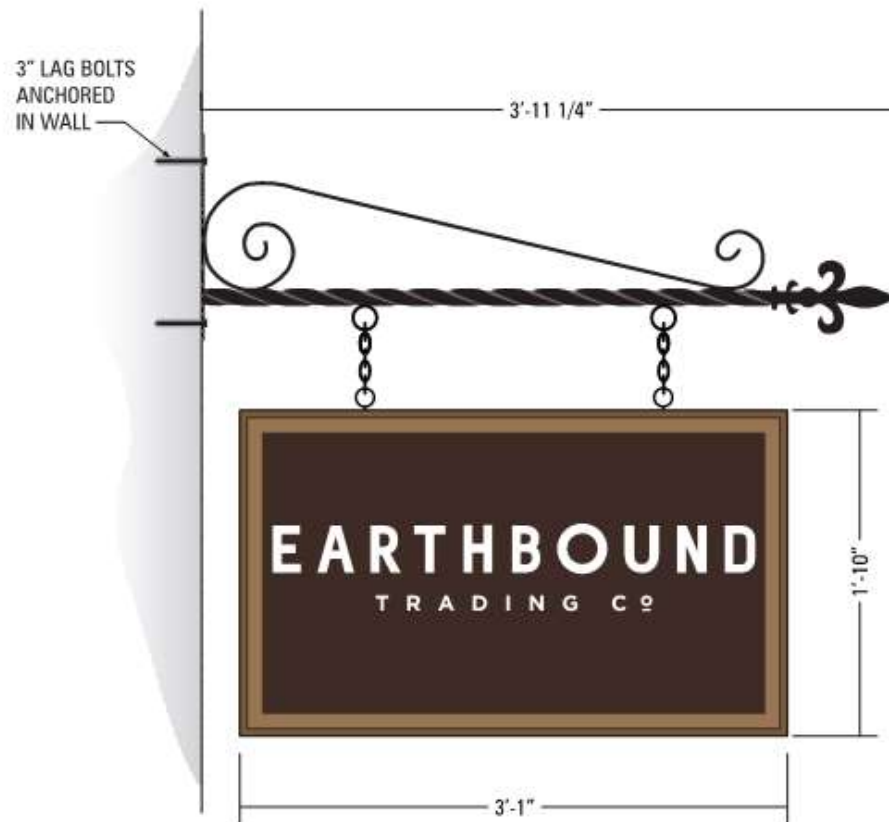
600 Decatur

VCC Architectural Committee

August 14, 2018







DOUBLE FACE HANGING SIGN MOUNTED ON PROJECTING  
STEEL SIGN BRACKET MOUNTED TO WALL WITH LAG BOLTS.

TOTAL 5.65 SQ. FT.

NOTE: PHOTO IS NOT TO SCALE



DESIGNED TO WITHSTAND WINDS OF 130mph



© 2018 A-1 Signs, LLC  
3950 Metropolitan St.  
New Orleans, LA 70126  
(504) 947-8381  
Fax: (504) 947-8790

sales@a-1signsinc.com  
www.a-1signsinc.com

*It is unlawful to copy, reproduce,  
exhibit, or reveal this document to  
others without the express  
written permission of A-1 Signs.*

13093-0726183

Earthbound

Location: New Orleans

Sales: Cage Blumstein

Design: M. Massel

Folder: Earthbound

Scale: 1" = 1'-0"

Approved \_\_\_\_\_



600 Decatur

VCC Architectural Committee

August 14, 2018

500 Chartres







500 Chartres







500 Chartres - 1900







500 Chartres





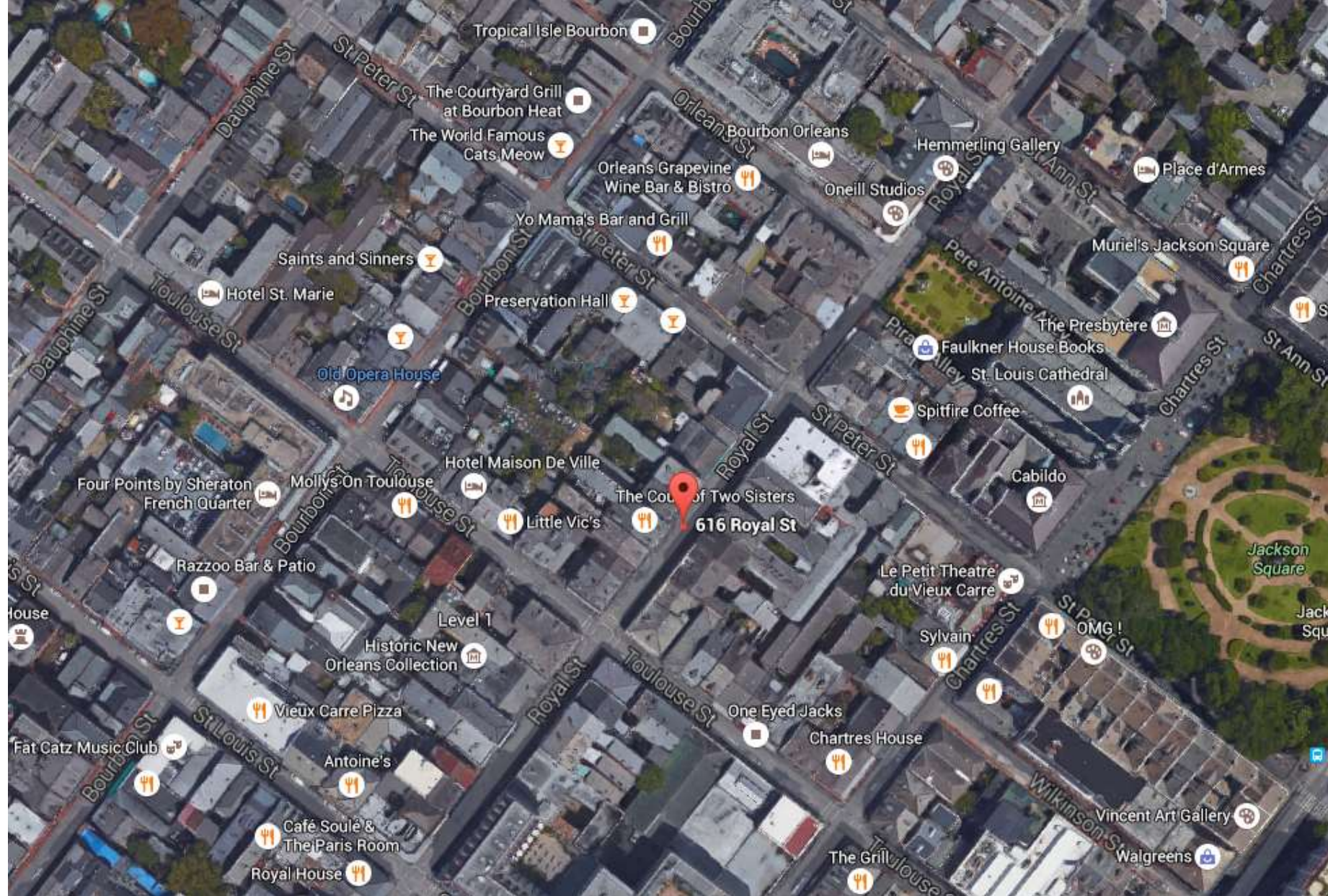
500 Chartres





616-624 Royal

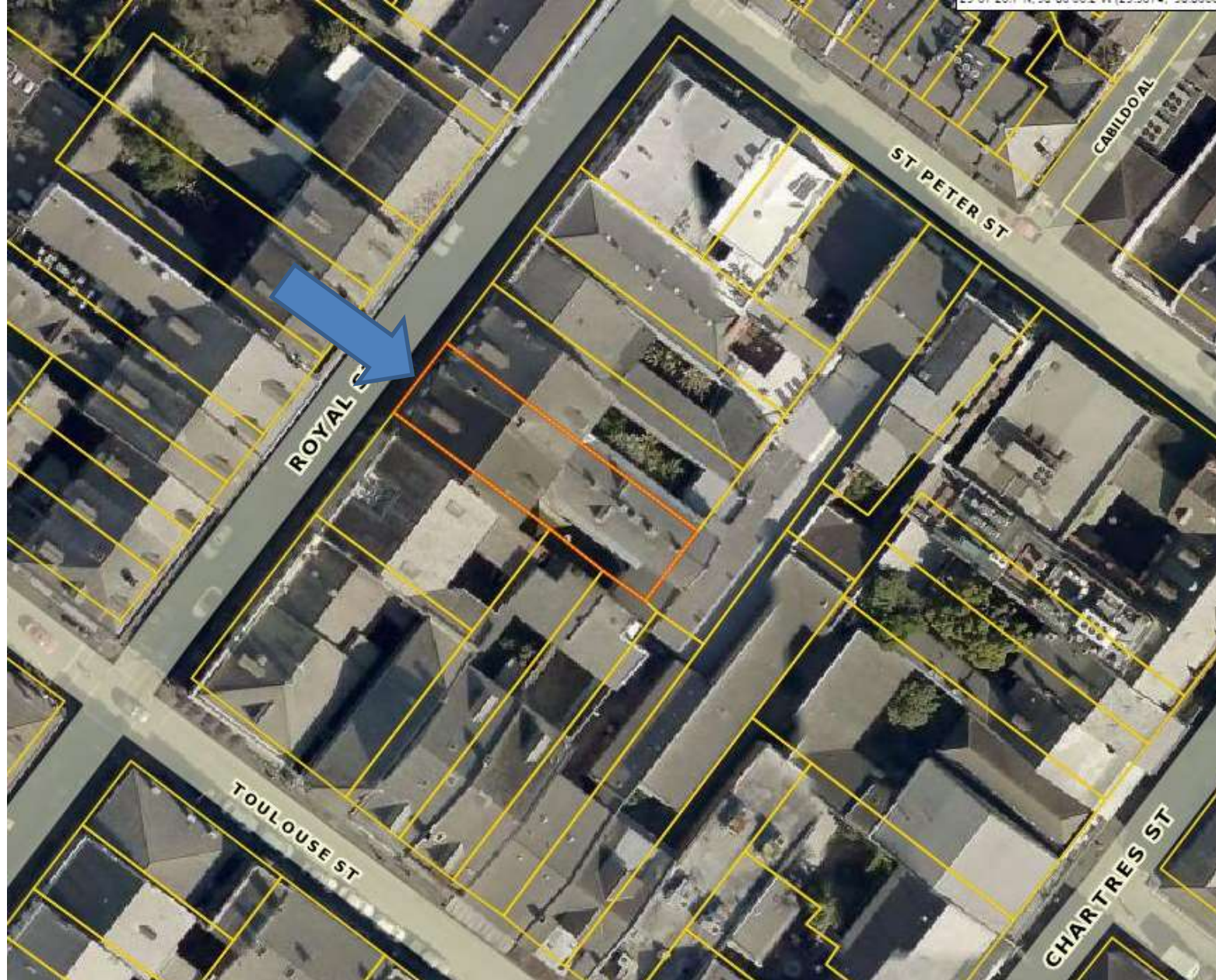




616-618 Royal







616-618 Royal





616-618 Royal



616-618 Royal

VCC Architectural Committee



August 14, 2018



616-618 Royal

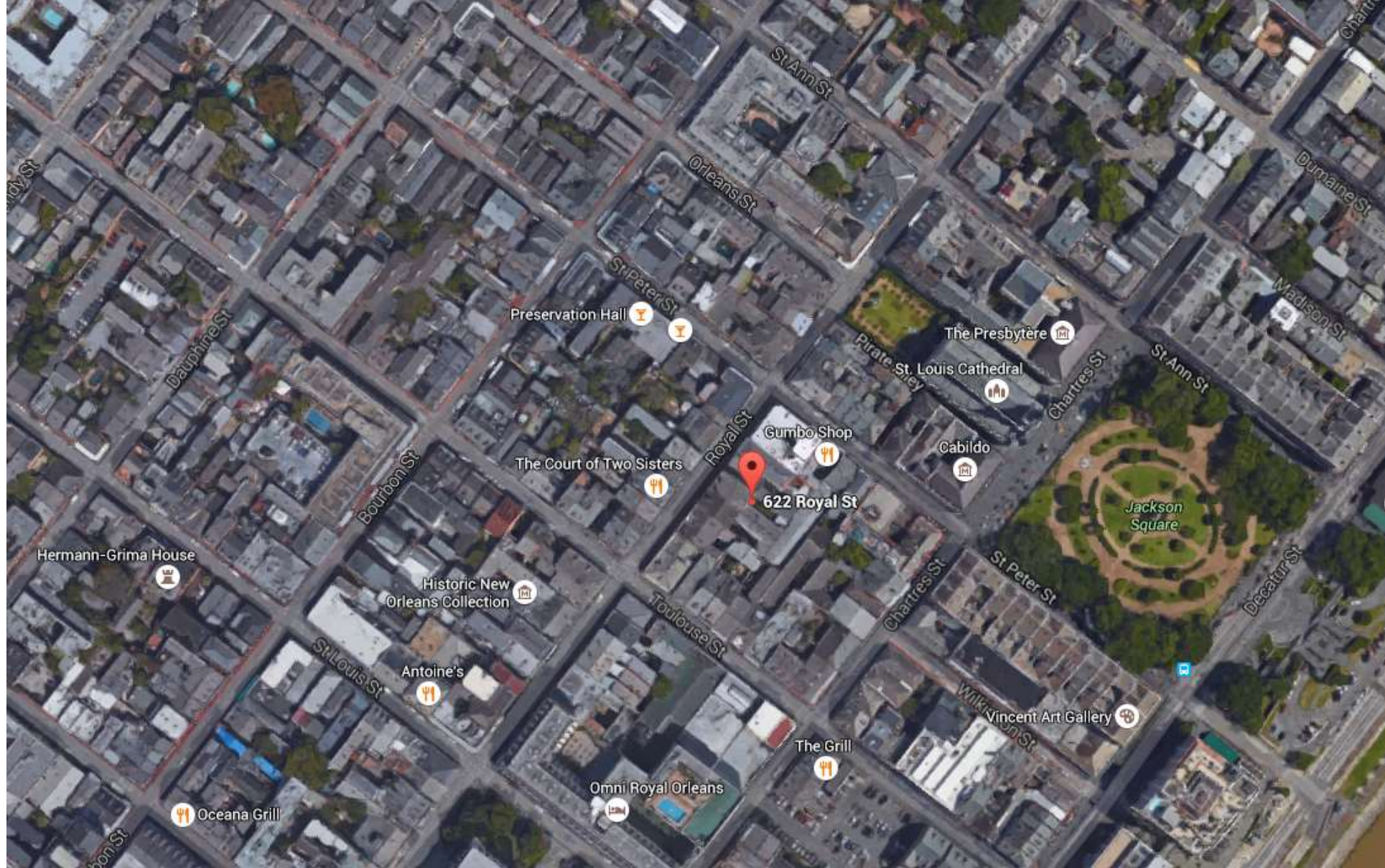
VCC Architectural Committee



August 14, 2018

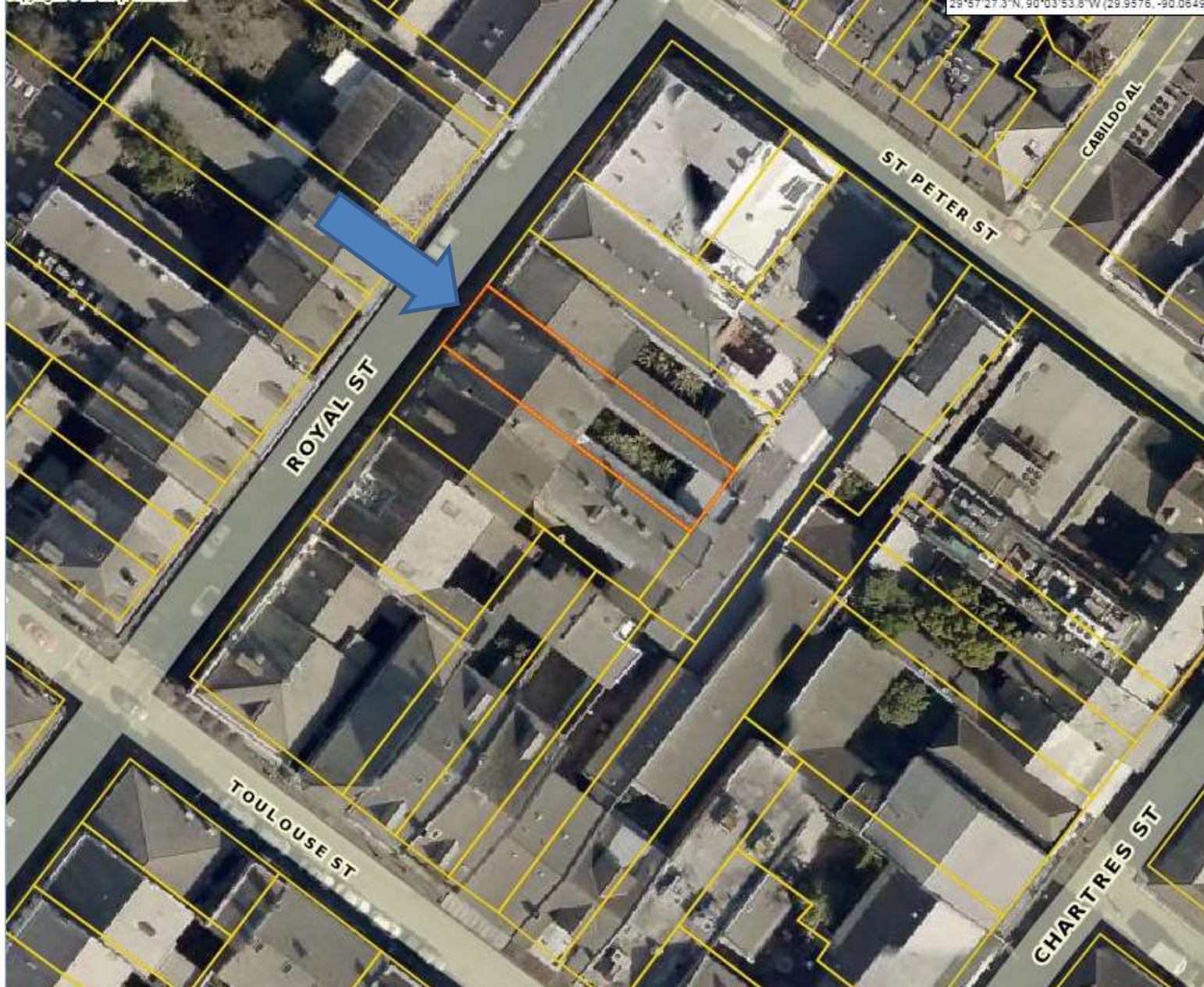






622-624 Royal





622-624 Royal







622-624 Royal

## VCC Architectural Committee

August 14, 2018





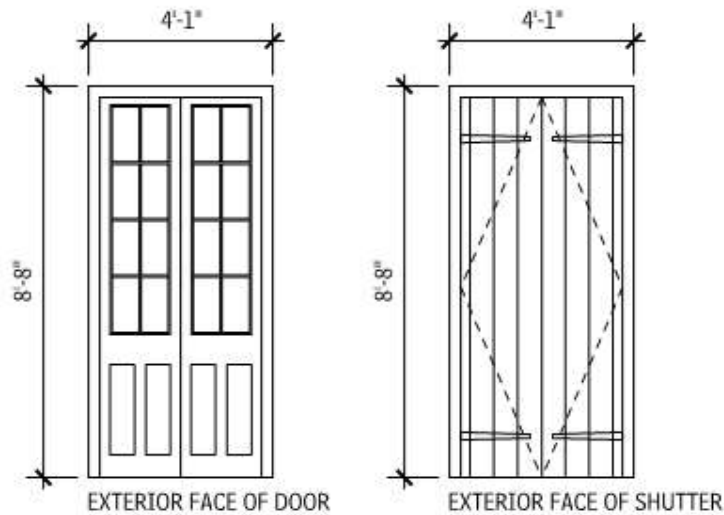
622-624 Royal





622-624 Royal





## 1 OPENING ELEVATION (2M SHOWN)

SCALE: 1/4" = 1'-0"

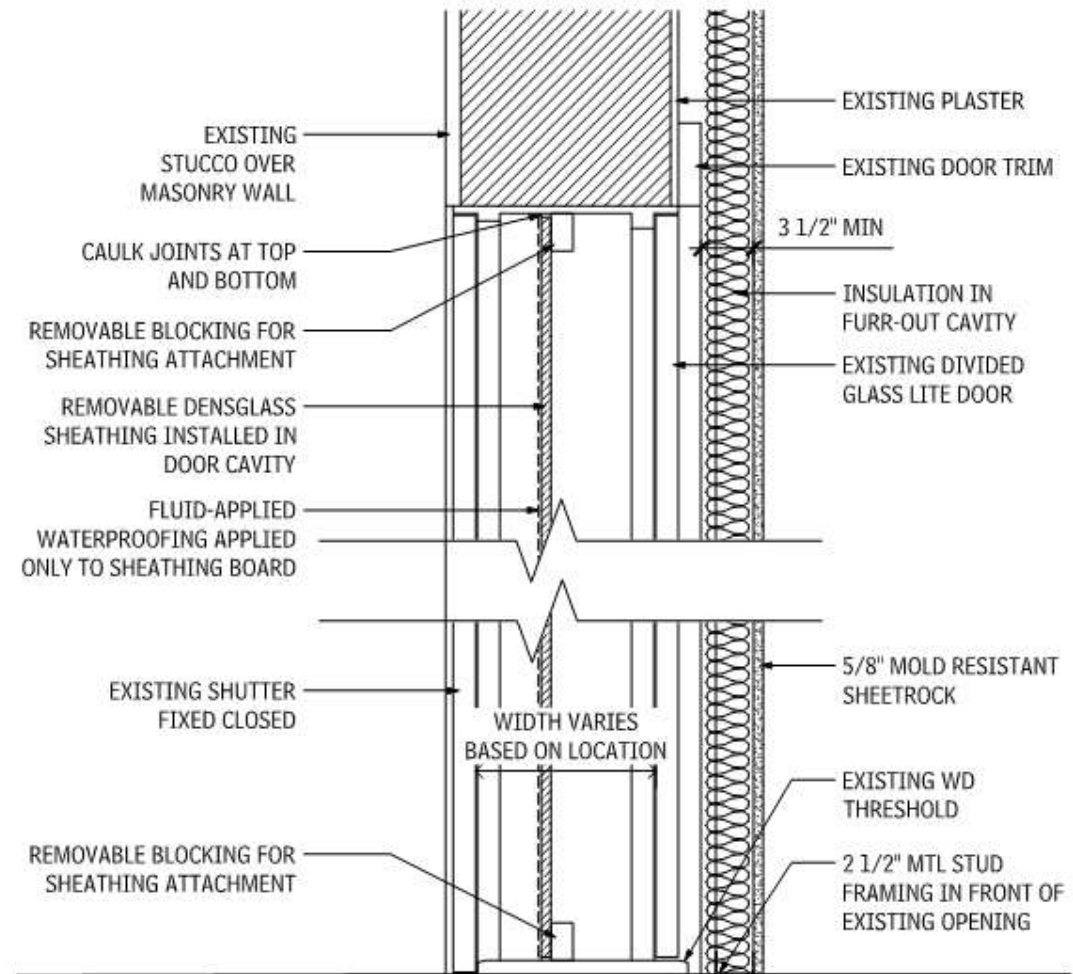
DETAIL 2 IS APPLICABLE TO THE FOLLOWING OPENINGS:

1G, 1H, 1M, 1N, 1T, 1U, 1Y, 1Z

2A, 2B, 2F, 2G, 2L, 2M, 2X, 2Y, 2CC, 2DD

3A, 3B, 3H, 3J, 3N, 3Q, 3R, 3S, 3W, 3X, 3BB, 3GG, 3HH

NOTE: TRIM AND DOOR DETAILS DRAWN DIAGRAMMATICALLY –  
ALL ACTUAL CONDITIONS NOT REPRESENTED

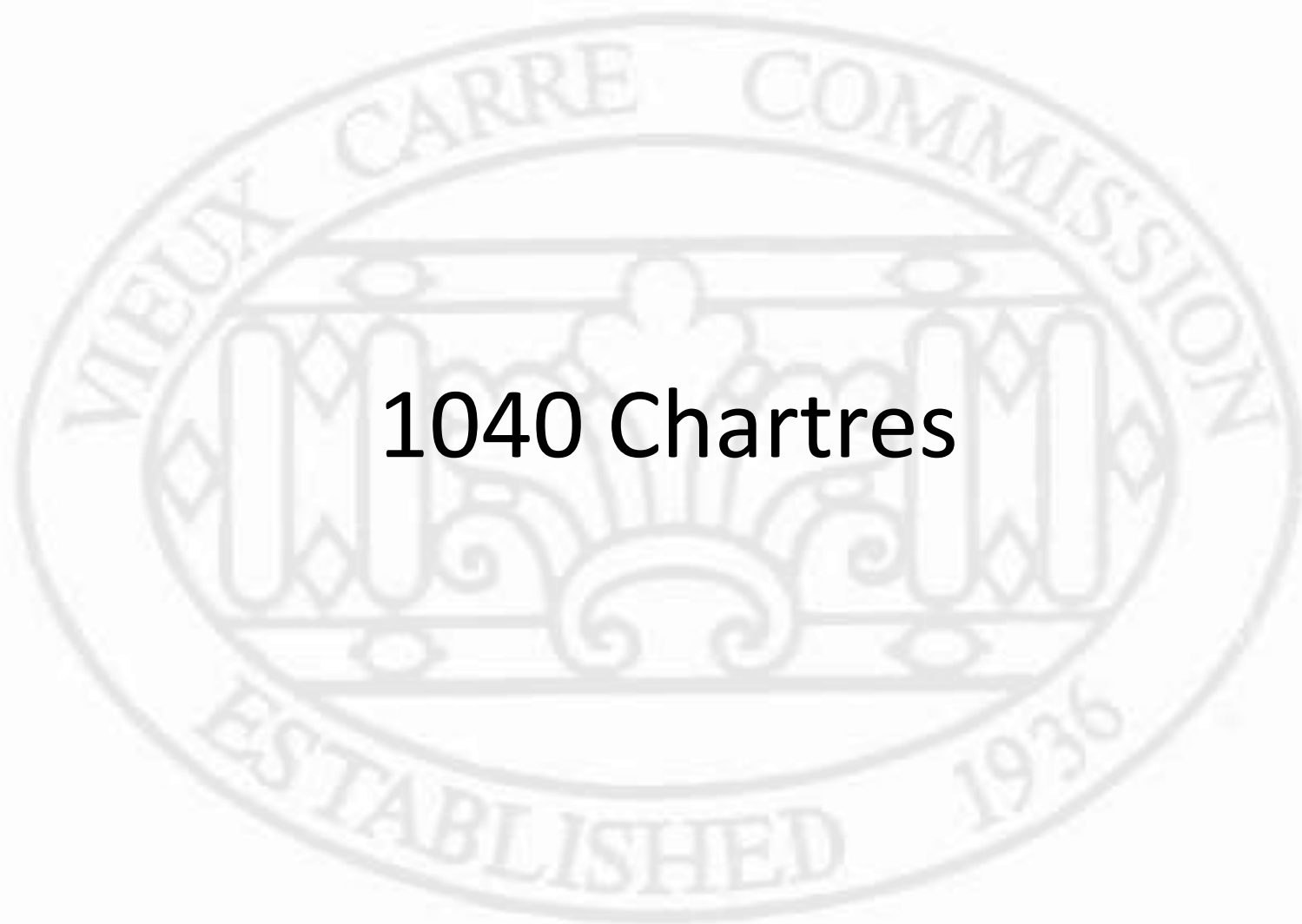


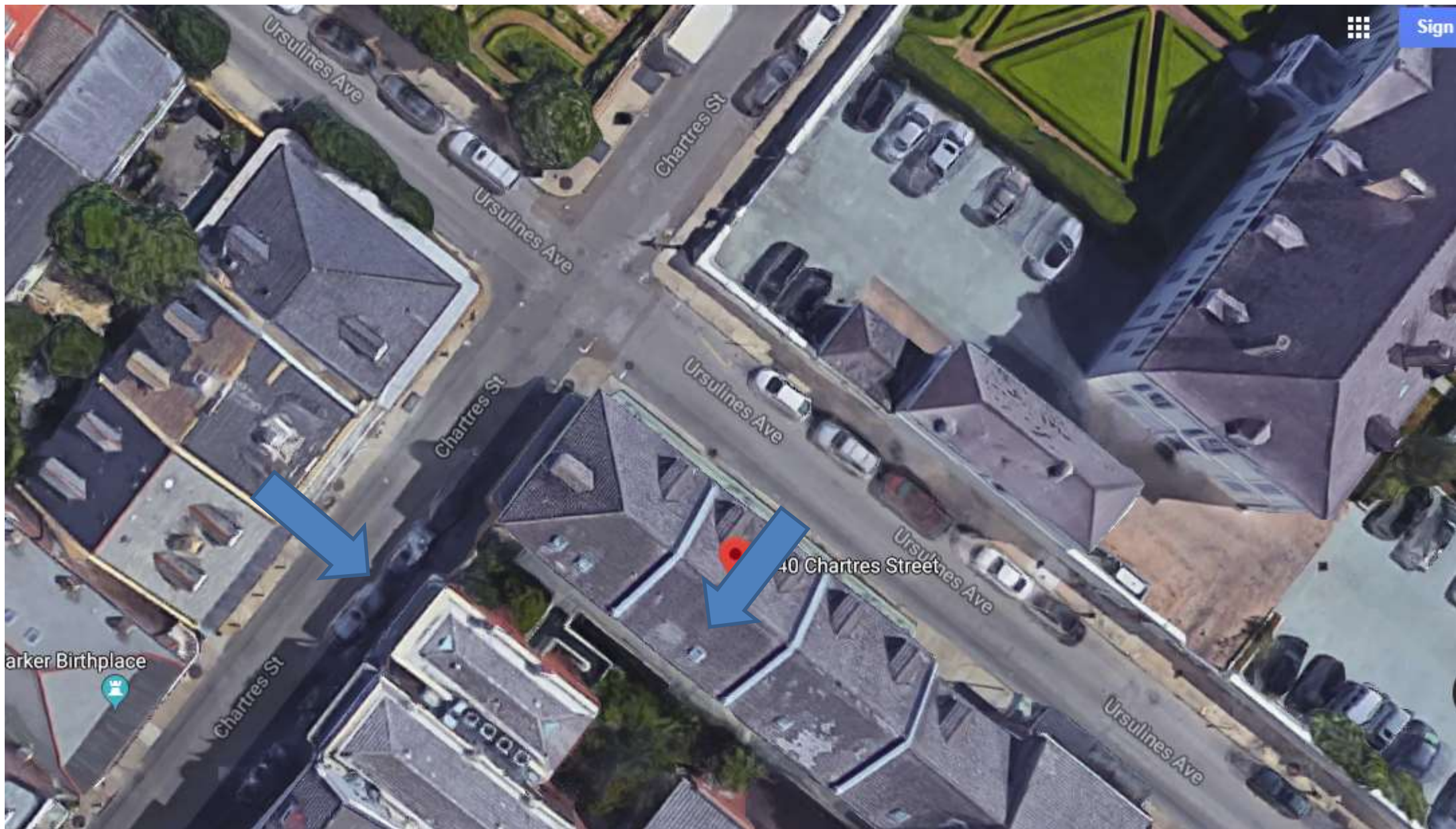
## 2 OPENING SECTION DETAIL

SCALE: 1" = 1'-0"



1040 Chartres





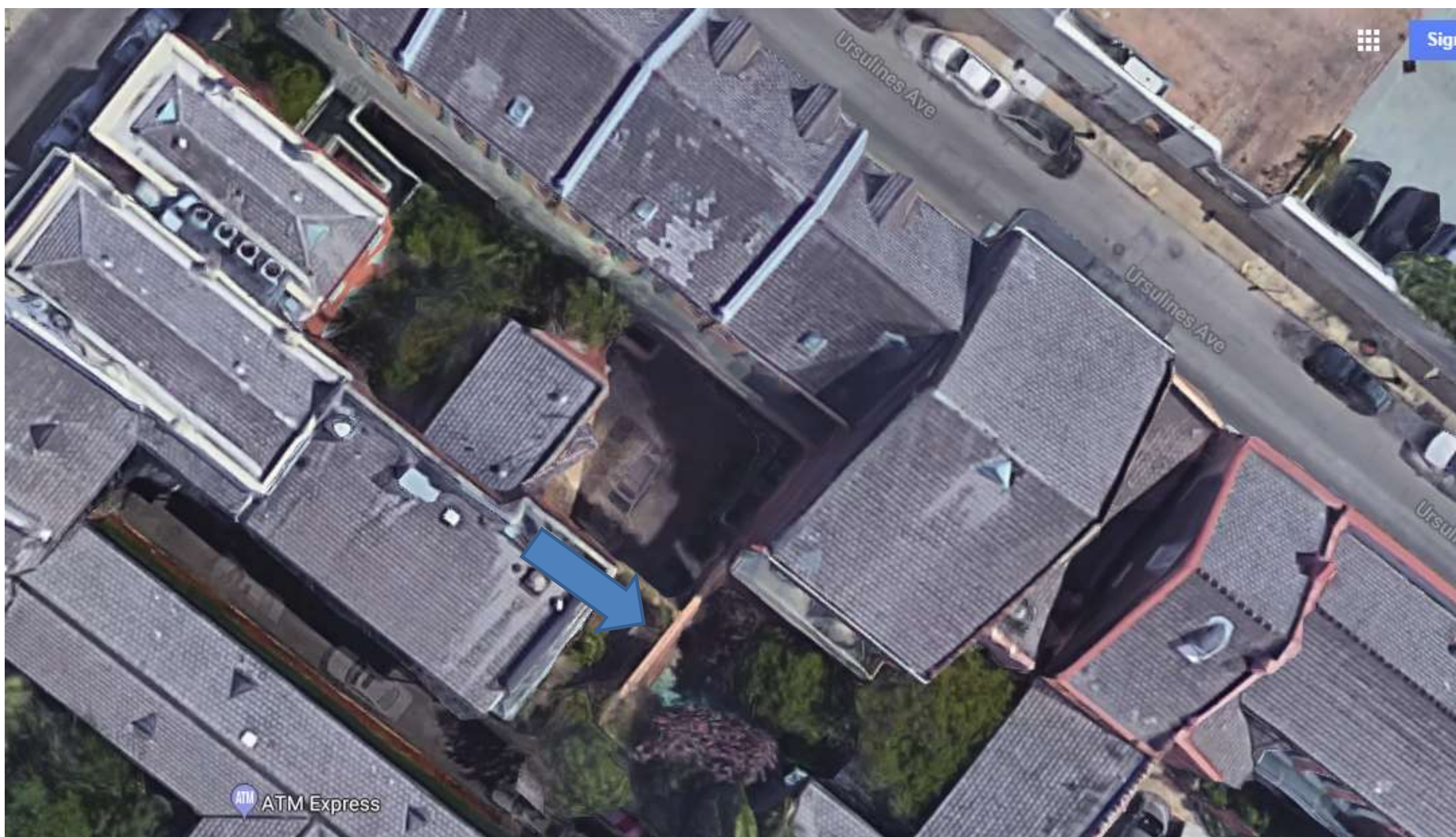
1040 Chartres

VCC Architectural Committee

August 14, 2018







1040 Chartres (site for gate in existing opening in wall)

VCC Architectural Committee

August 14, 2018





1040 Chartres

VCC Architectural Committee

August 14, 2018







1040 Chartres (Chartres elevation)

VCC Architectural Committee

August 14, 2018





1040 Chartres (Ursulines elevation)

VCC Architectural Committee

August 14, 2018







1040 Chartres (corner elevation)

VCC Architectural Committee

August 14, 2018





1040 Chartres

VCC Architectural Committee

August 14, 2018







1040 Chartres

VCC Architectural Committee

August 14, 2018





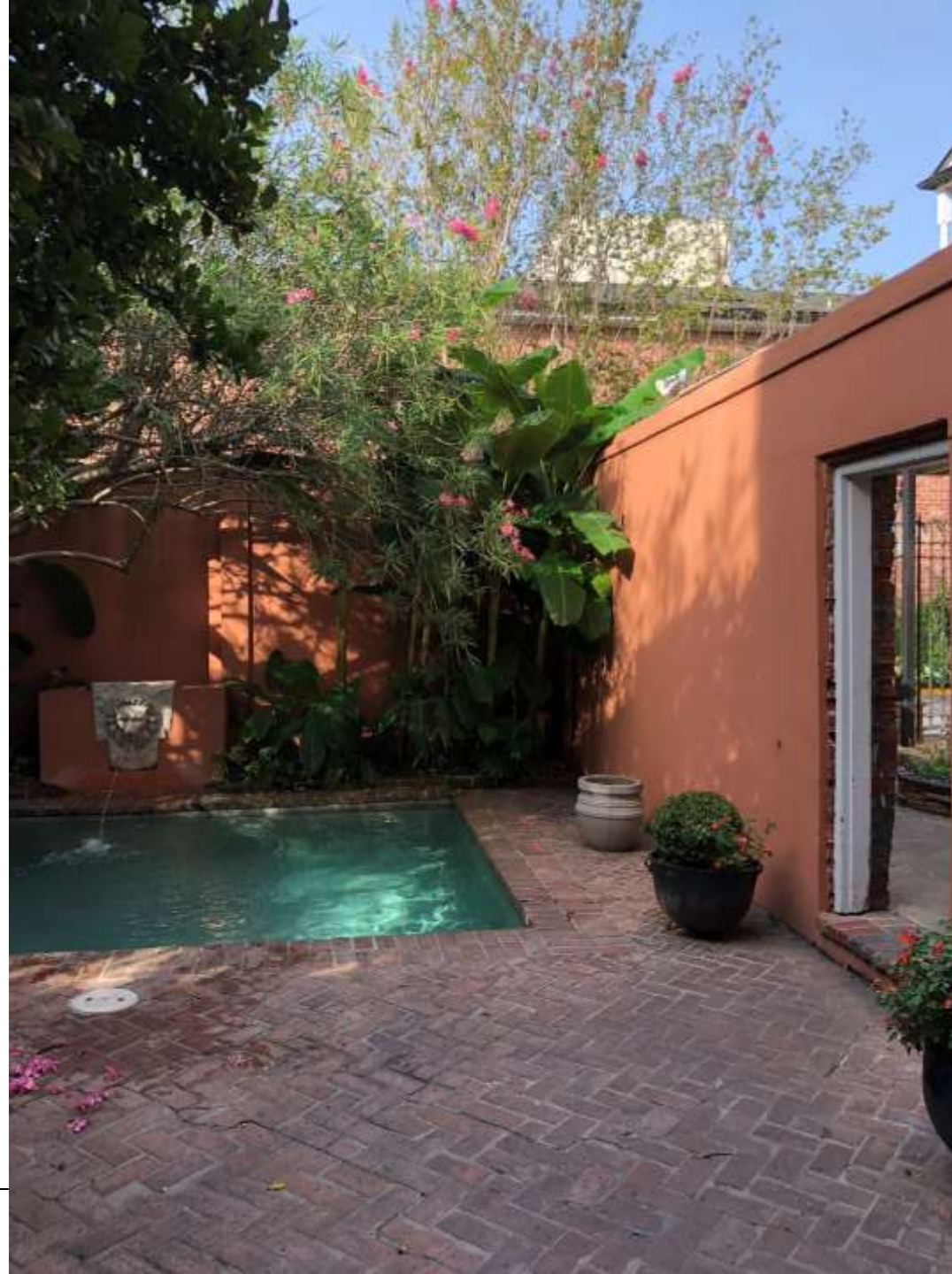
1040 Chartres

VCC Architectural Committee

August 14, 2018







1040 Chartres

VCC Architectural Committee

August 14, 2018





1040 Chartres

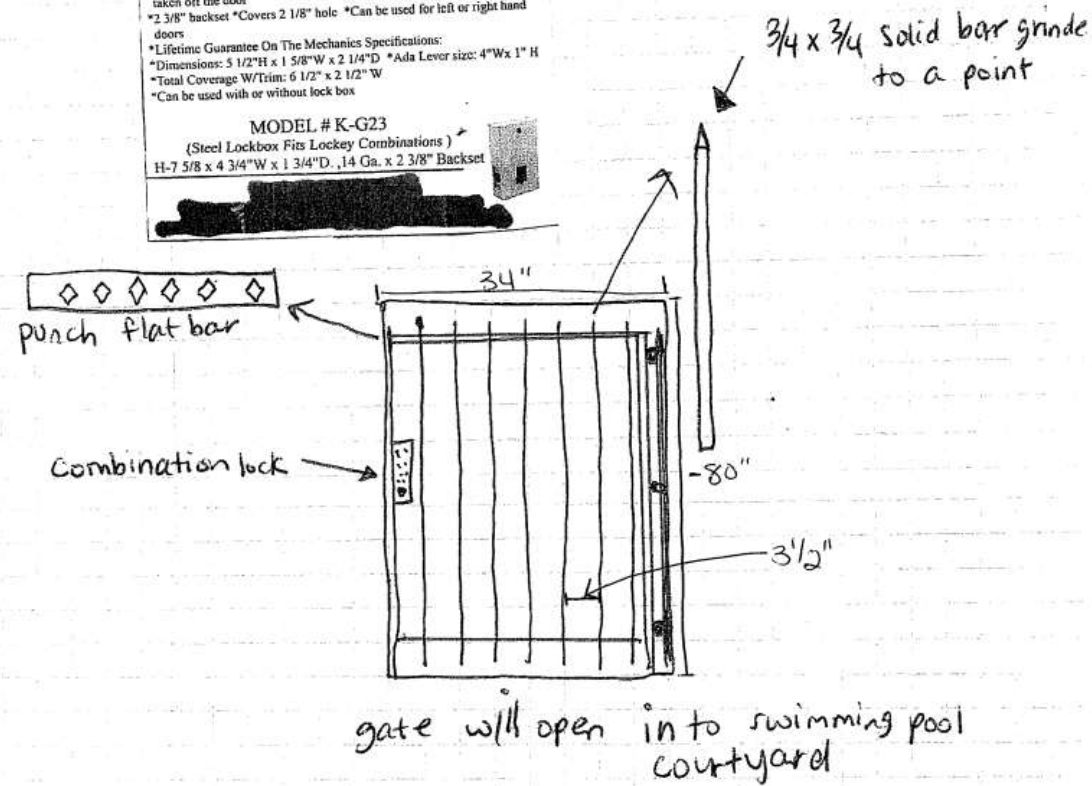
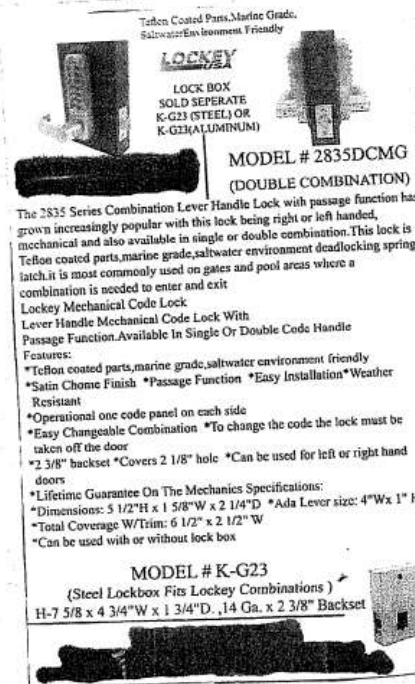
VCC Architectural Committee

August 14, 2018





Hotel Provincial  
1024 Rue Chartres  
N.O.



Proposed gate

VCC Architectural Committee

August 14, 2018



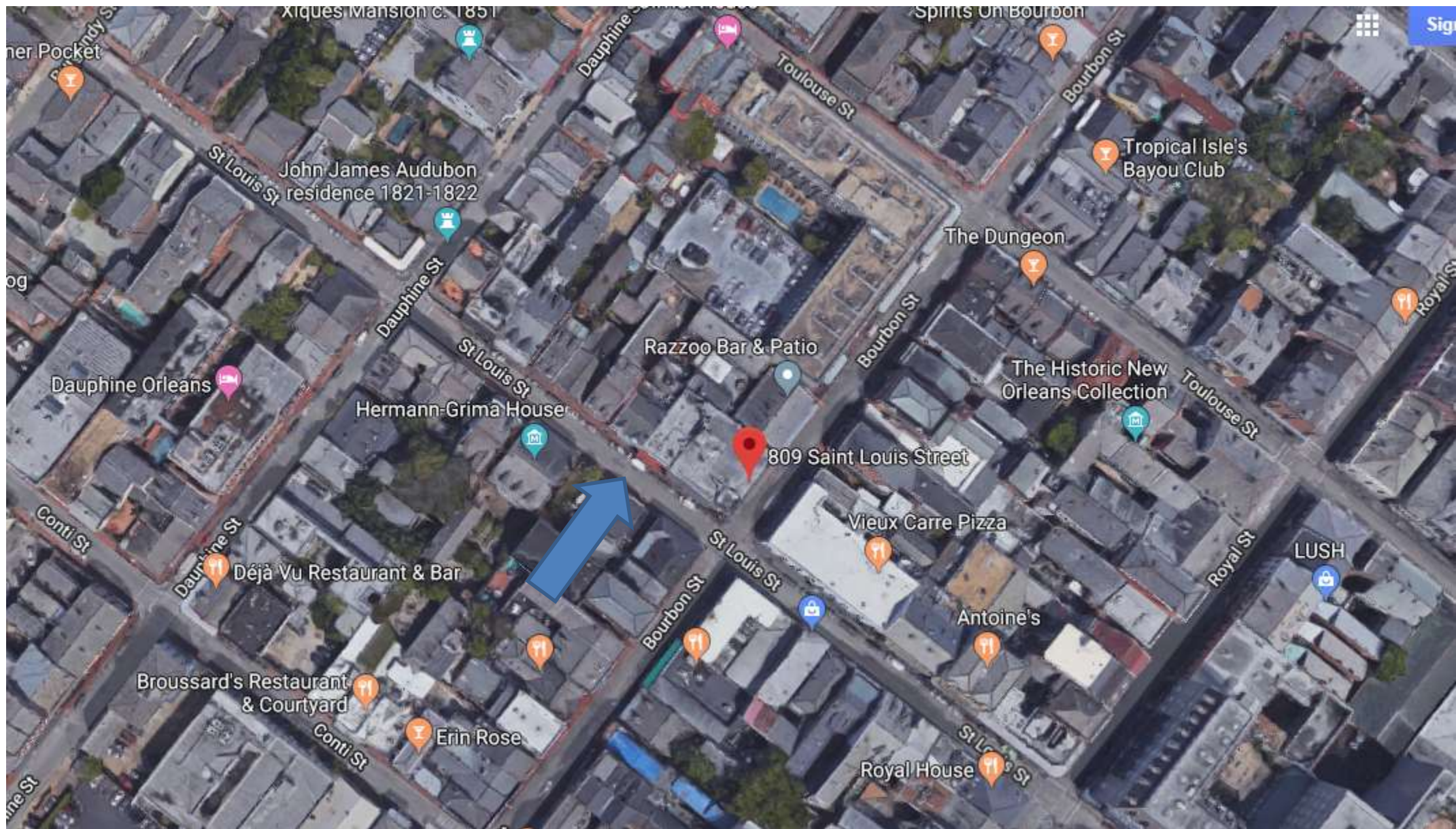
The background of the slide features a large, faint, light-gray oval seal. The seal contains the text "VIEUX CARRE COMMISSION" along the top arc and "ESTABLISHED 1936" along the bottom arc. In the center of the seal is a stylized illustration of a person standing with arms outstretched, positioned above a decorative, symmetrical scrollwork or fleur-de-lis-like element.

# Appeals and Violations



809 St Louis





809 St Louis

VCC Architectural Committee

August 14, 2018







809 St Louis - 1963

VCC Architectural Committee

August 14, 2018





809 St Louis

VCC Architectural Committee

August 14, 2018







809 St Louis

VCC Architectural Committee

August 14, 2018





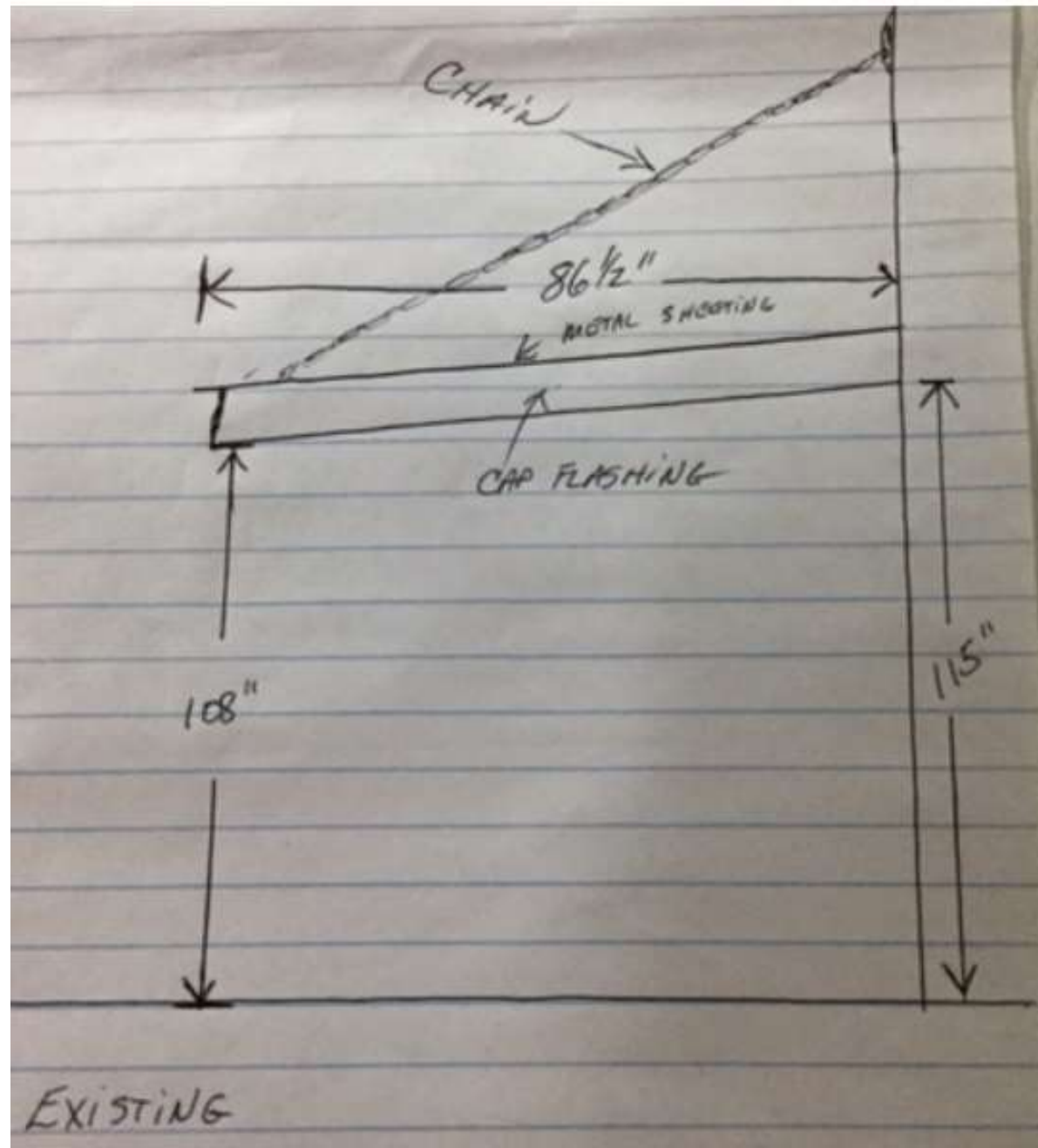
809 St Louis

VCC Architectural Committee

August 14, 2018





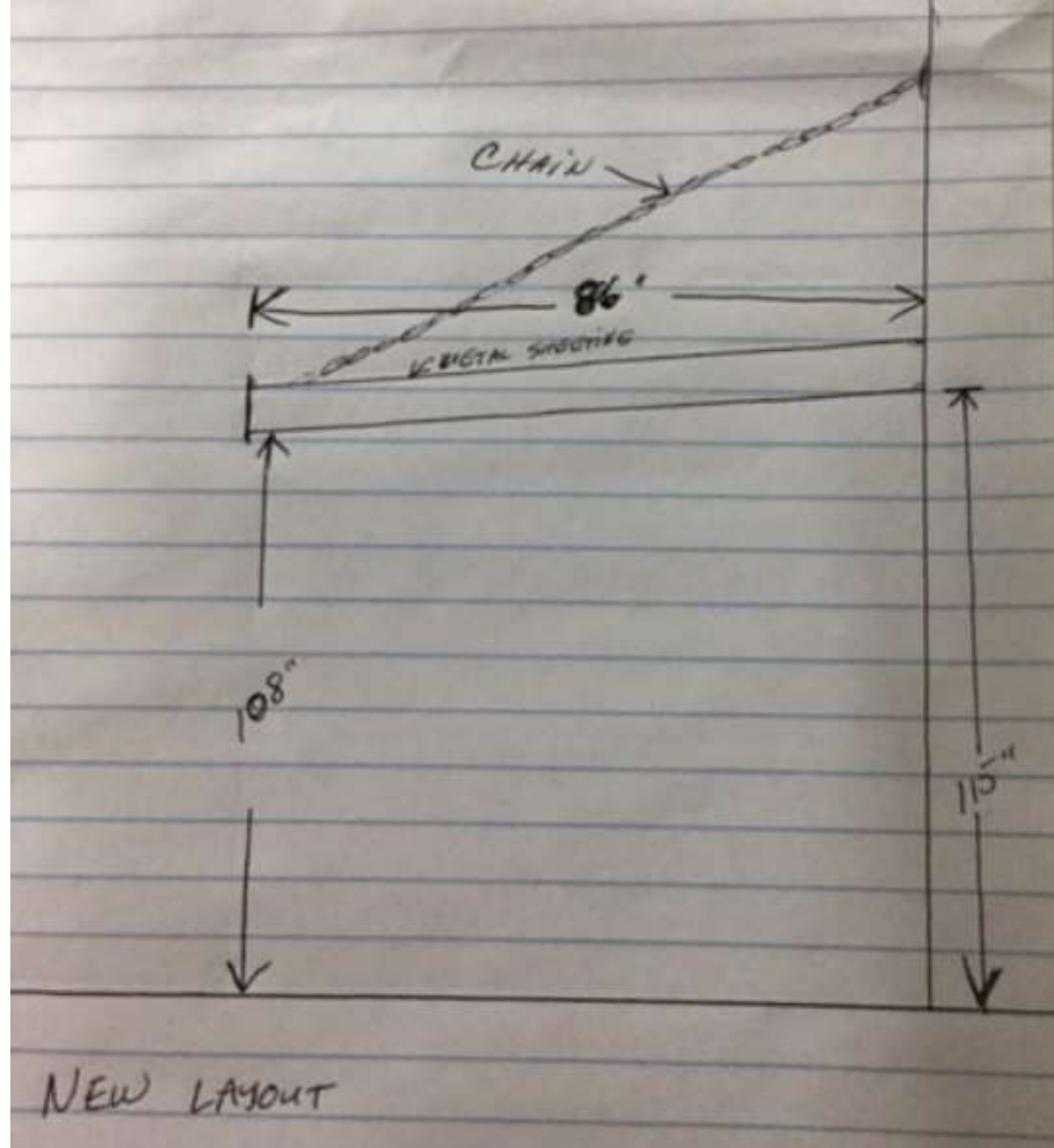


809 St Louis

VCC Architectural Committee

August 14, 2018





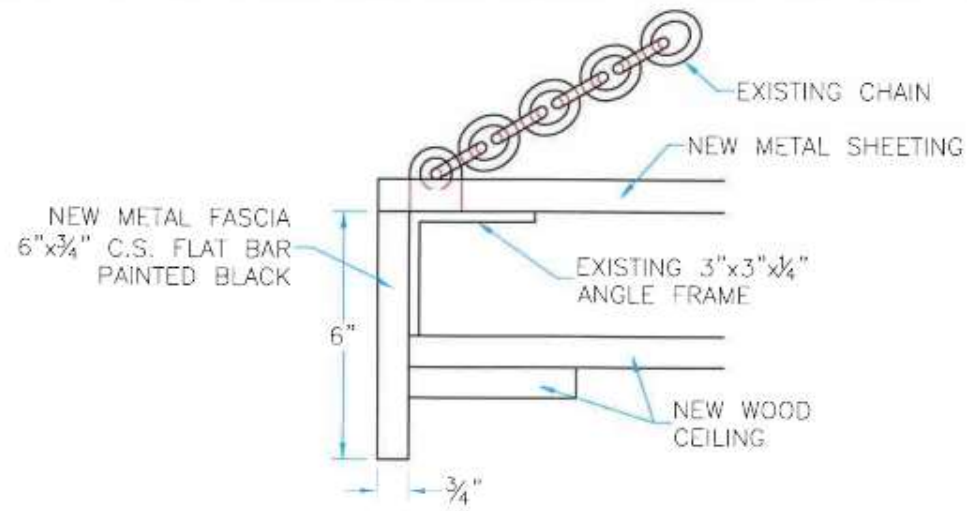
809 St Louis

VCC Architectural Committee

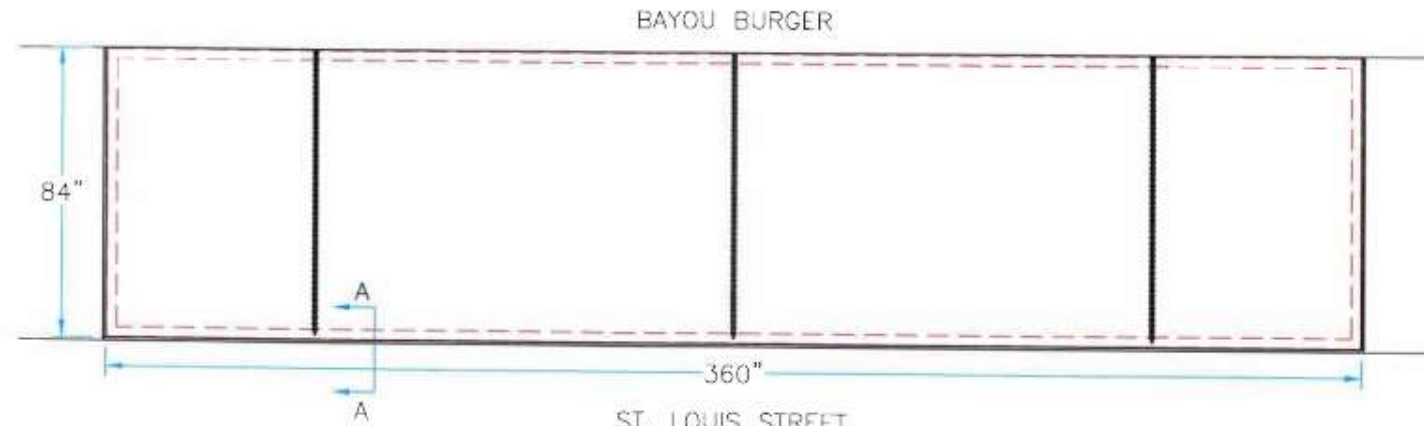
August 14, 2018







SECTION VIEW A-A



PLAN VIEW



JOLY'S METAL WORKS INC.  
4300 POCHÉ CT. W.  
NEW ORLEANS. LA 70129

BAYOU BURGER

809 St. Louis  
SIDE ENTRANCE

JOB NO. :

SCALE :  
N.T.S.

DWG NO. :

DRAWN BY  
J.G.S.

DATE :

7/3/18  
SHEET :  
1 of 1

809 St Louis

VCC Architectural Committee

August 14, 2018





809 St Louis – Detail of 1963 canopy

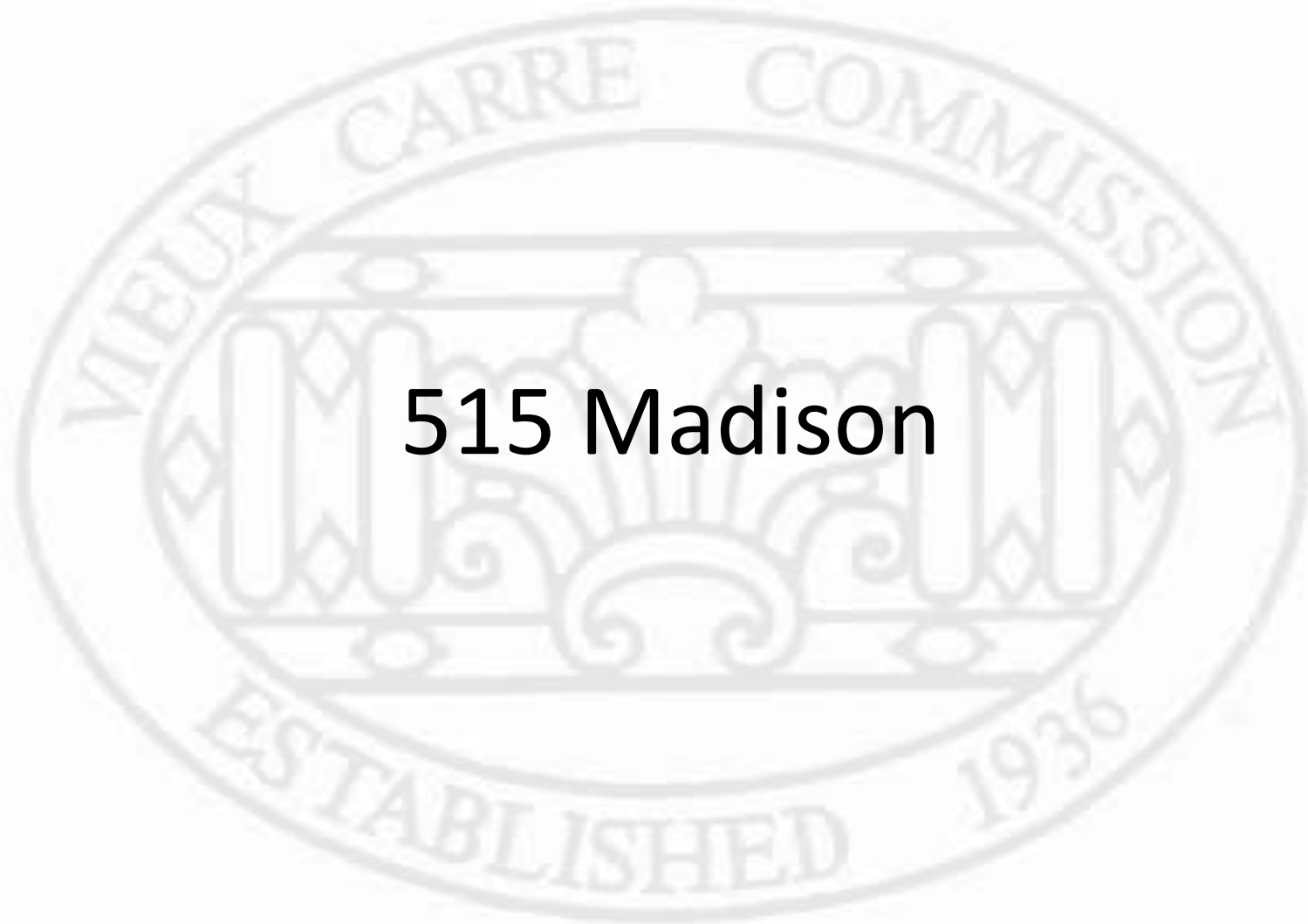
VCC Architectural Committee

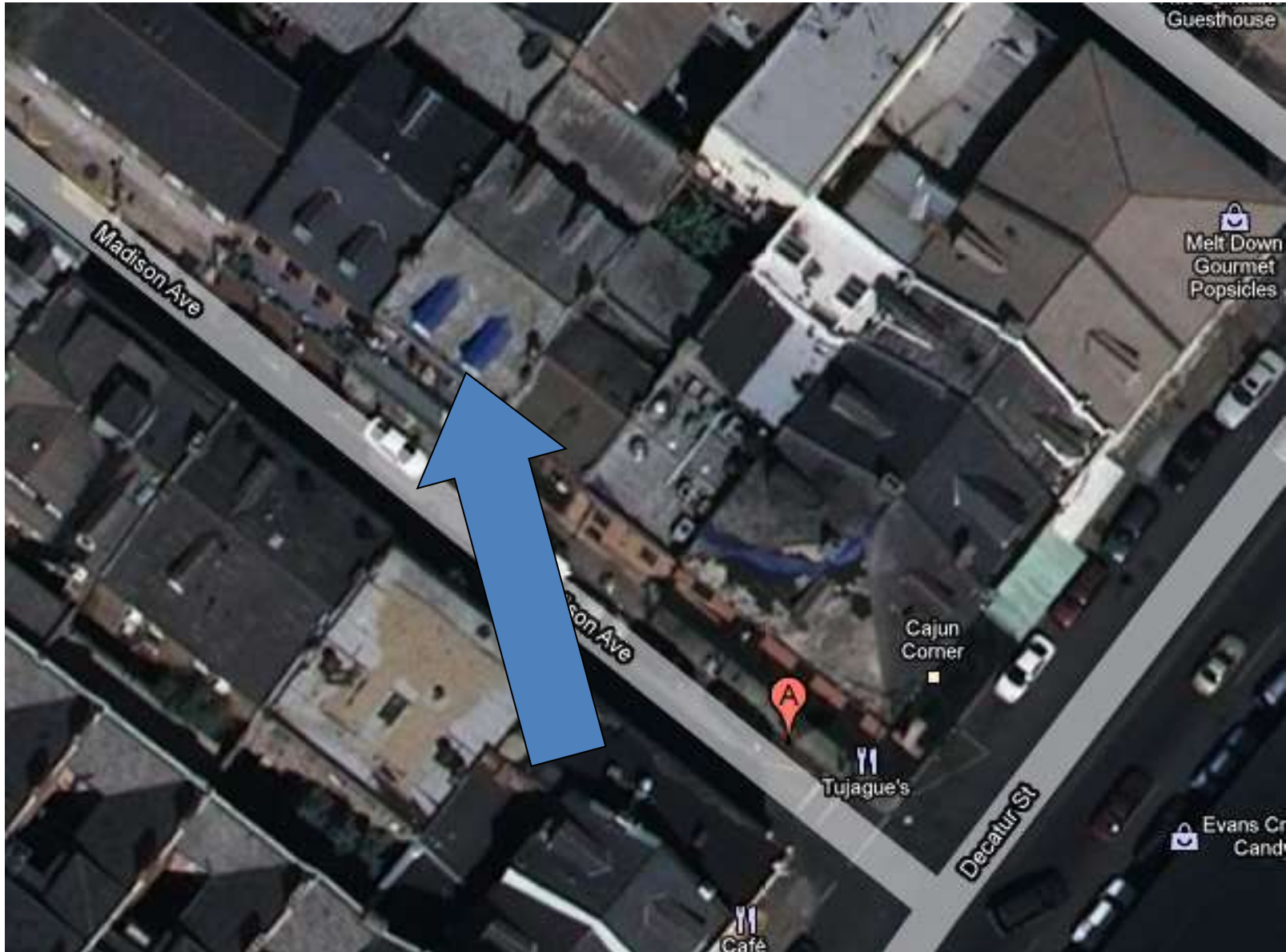
August 14, 2018





515 Madison





511-15 Madison





511-15 Madison - 1965  
VCC Architectural Committee

May 22, 2018





511-15 Madison  
VCC Architectural Committee

May 22, 2018







511-15 Madison

VCC Architectural Committee

May 22, 2018





511-15 Madison

VCC Architectural Committee

May 22, 2018







511-15 Madison - 1984  
VCC Architectural Committee

May 22, 2018



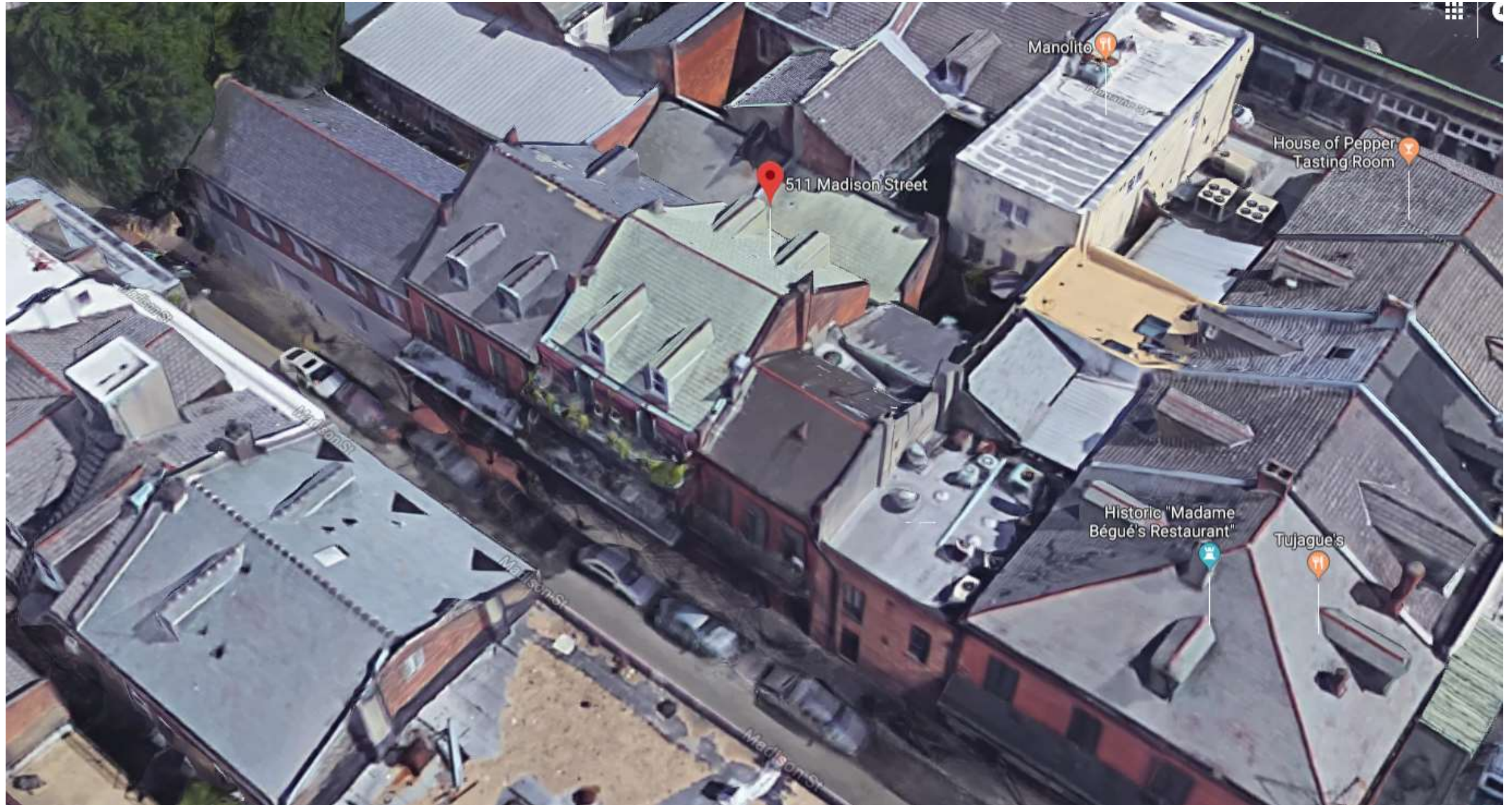


511-15 Madison - 1979  
VCC Architectural Committee

May 22, 2018







511-15 Madison

VCC Architectural Committee

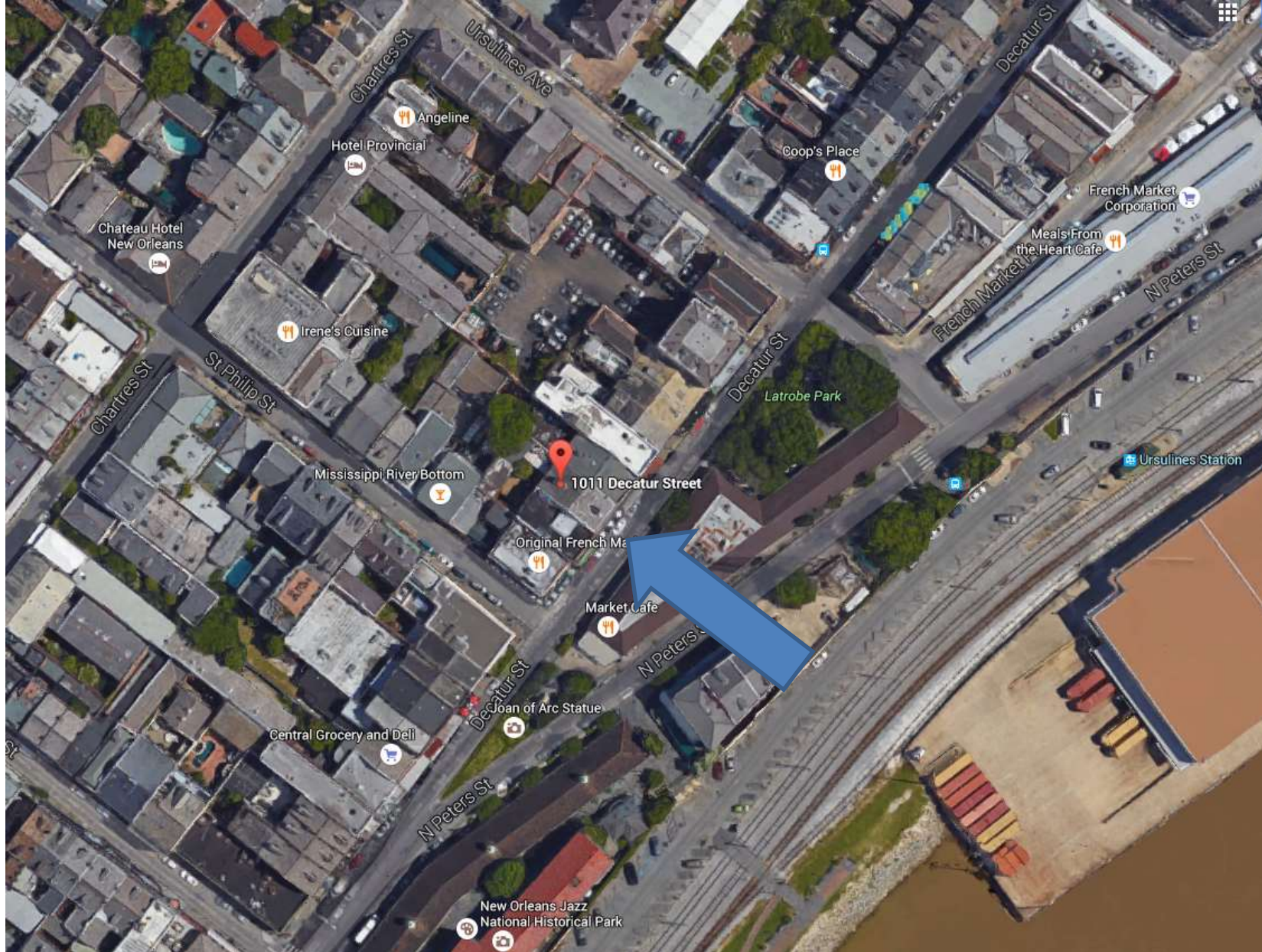
May 22, 2018





1011 Decatur





1011 Decatur

VCC Architectural Committee

May 22, 2018







1011 Decatur







1011 Decatur

VCC Architectural Committee

May 22, 2018





1011 Decatur

VCC Architectural Committee

May 22, 2018







1011 Decatur

VCC Architectural Committee

May 22, 2018





1011 Decatur - 1979

VCC Architectural Committee

May 22, 2018







1011 Decatur - 1979

VCC Architectural Committee

May 22, 2018





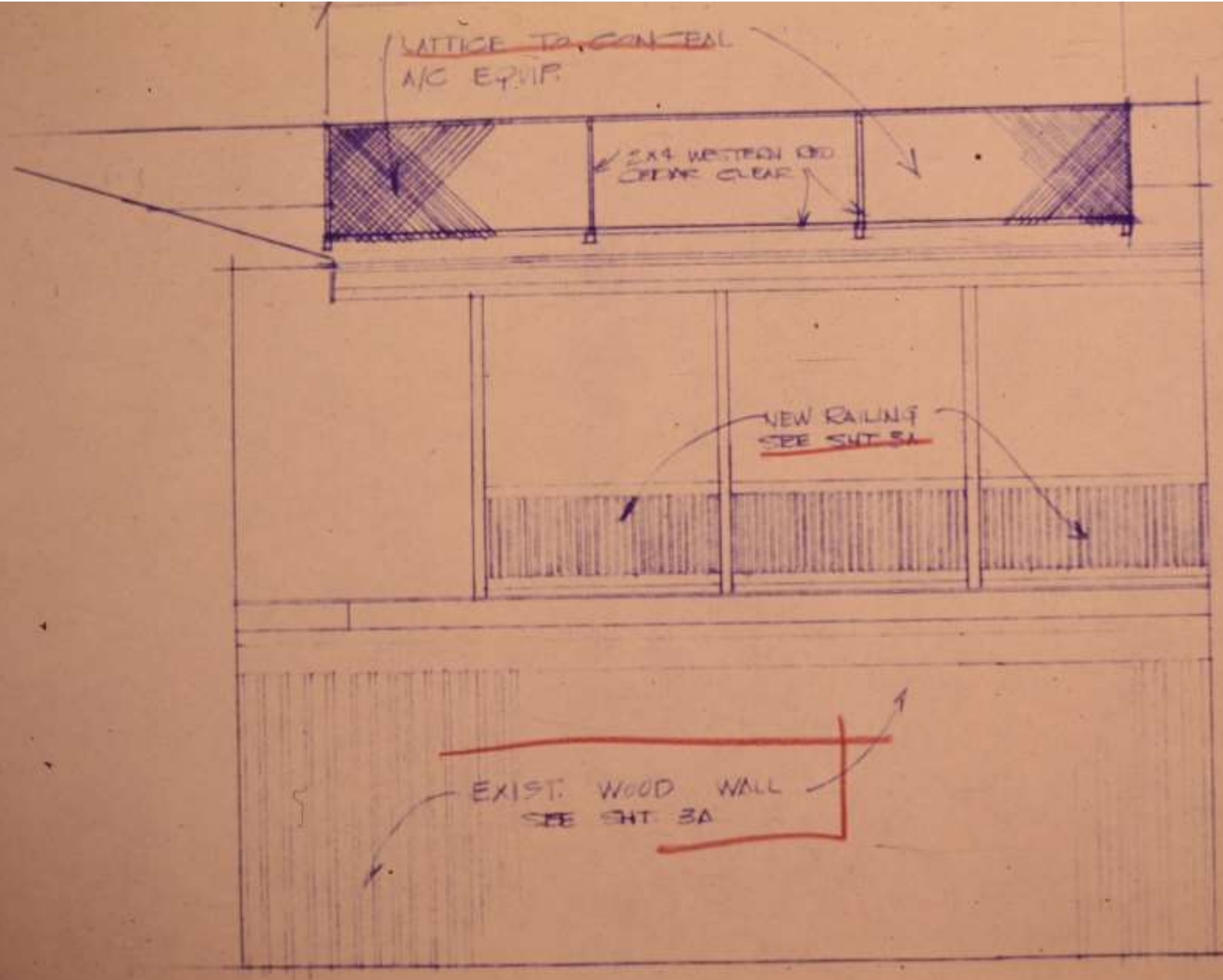
1011 Decatur - 1979

VCC Architectural Committee

May 22, 2018





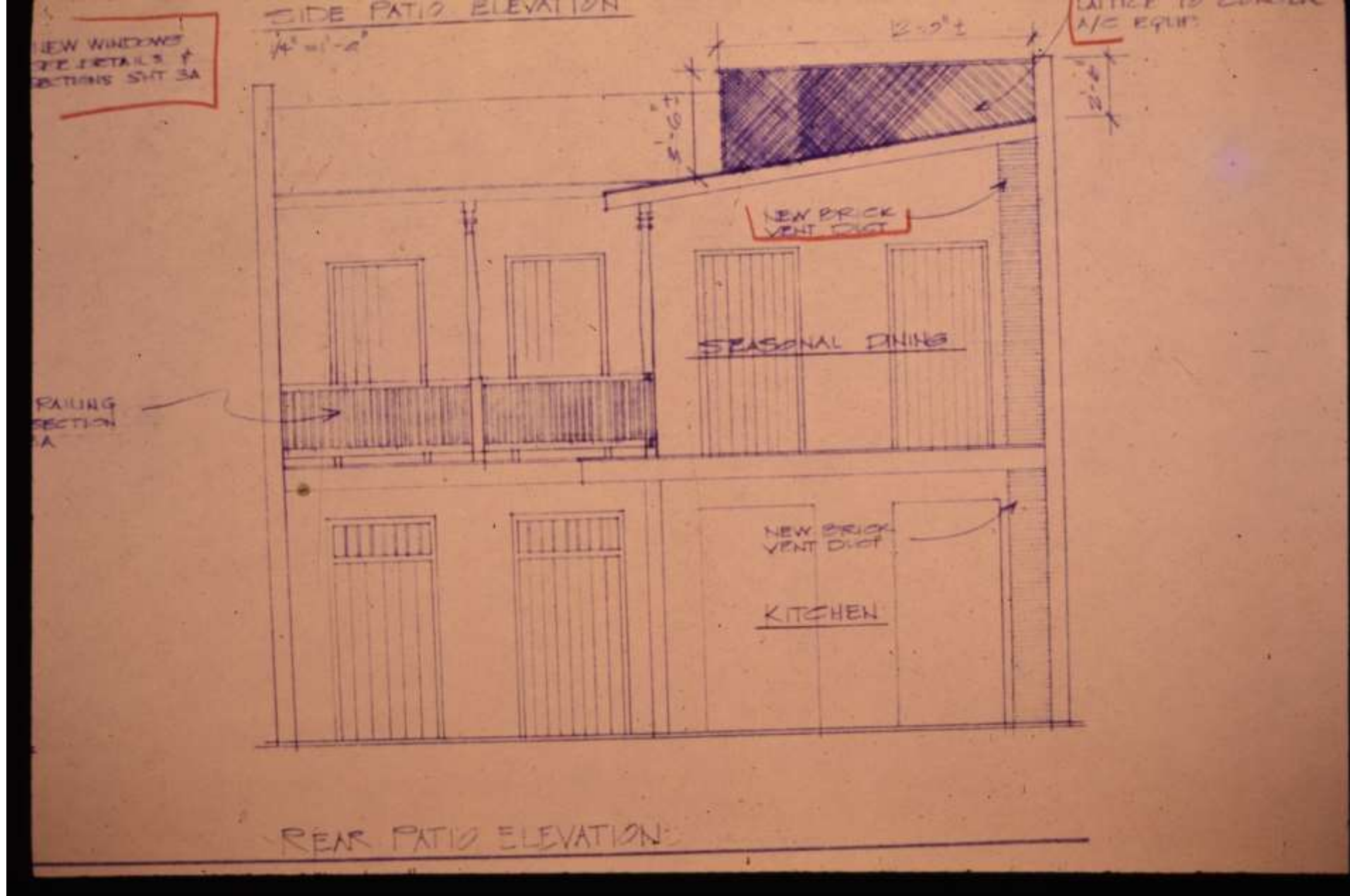


1011 Decatur – 1977 plans

VCC Architectural Committee

May 22, 2018





1011 Decatur – 1977 plans noting seasonal dining





1011 Decatur

VCC Architectural Committee

May 22, 2018







1011 Decatur

VCC Architectural Committee

May 22, 2018





1031 Dauphine



1031 Dauphine

VCC Architectural Committee

May 22, 2018





1031 Dauphine - 1964

VCC Architectural Committee



May 22, 2018





1031 Dauphine

VCC Architectural Committee

May 22, 2018





1031 Dauphine – Wall leaning  
VCC Architectural Committee



May 22, 2018





1031 Dauphine

VCC Architectural Committee

May 22, 2018







1031 Dauphine

VCC Architectural Committee

May 22, 2018







1031 Dauphine

VCC Architectural Committee

May 22, 2018







1031 Dauphine

VCC Architectural Committee

May 22, 2018





1031 Dauphine

VCC Architectural Committee

08 01 2018

May 22, 2018





