



**Vieux Carré Commission
Architectural Committee Meeting**

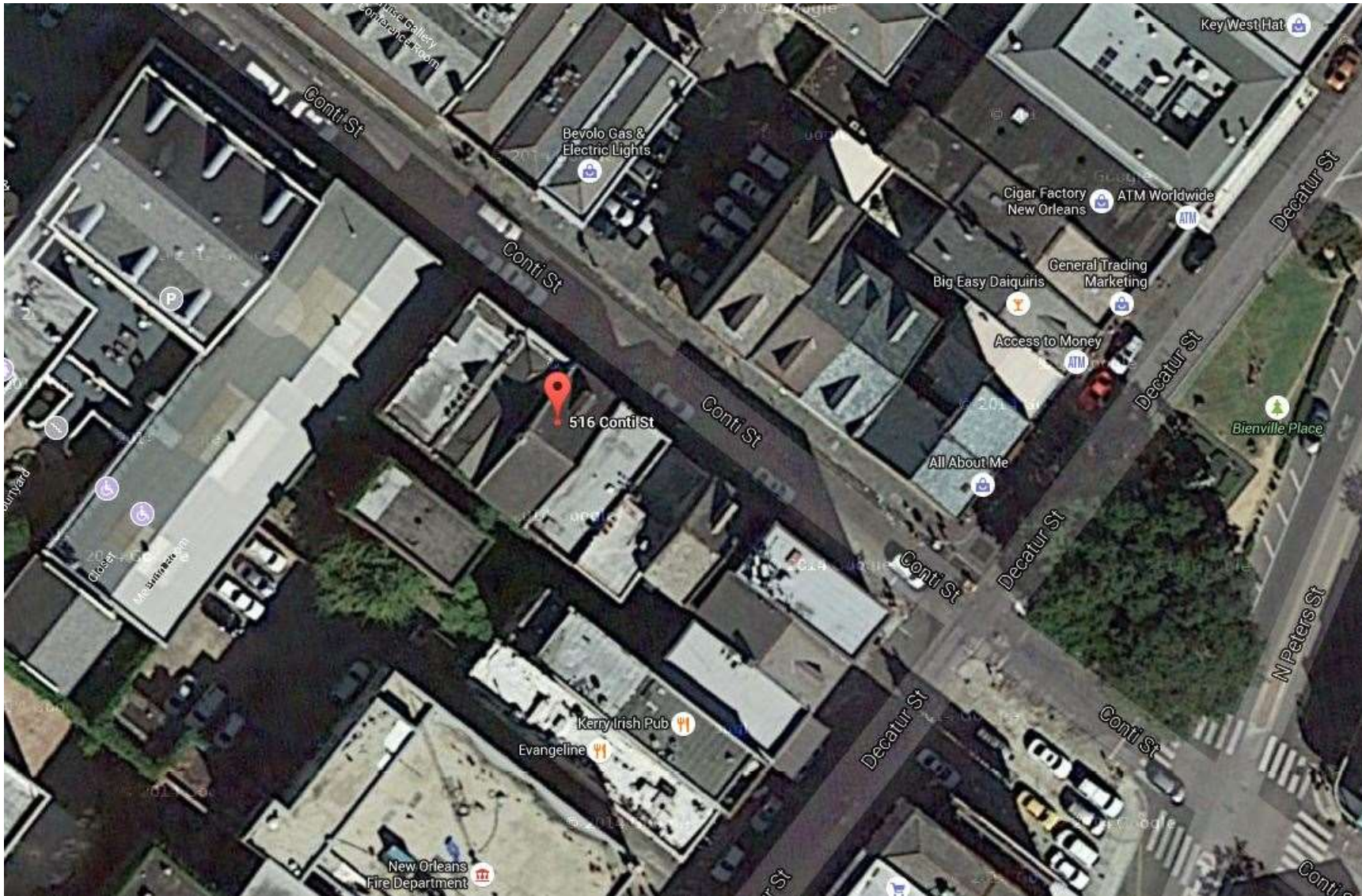
Tuesday, January 29, 2019



Old Business



516 Conti



516 Conti





516 Conti



516 Conti

VCC Architectural Committee

July 11, 2017





516 Conti

VCC Architectural Committee

July 11, 2017



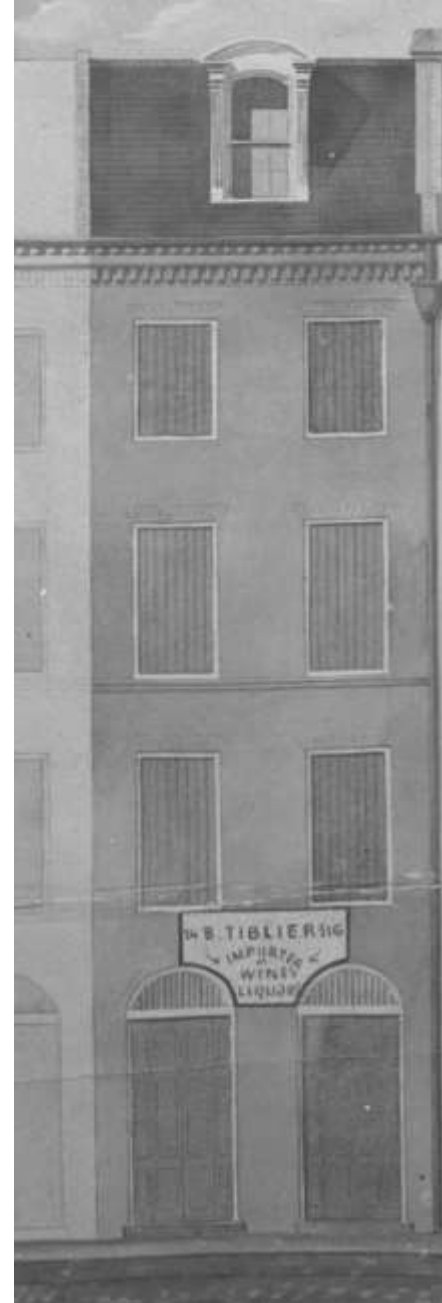
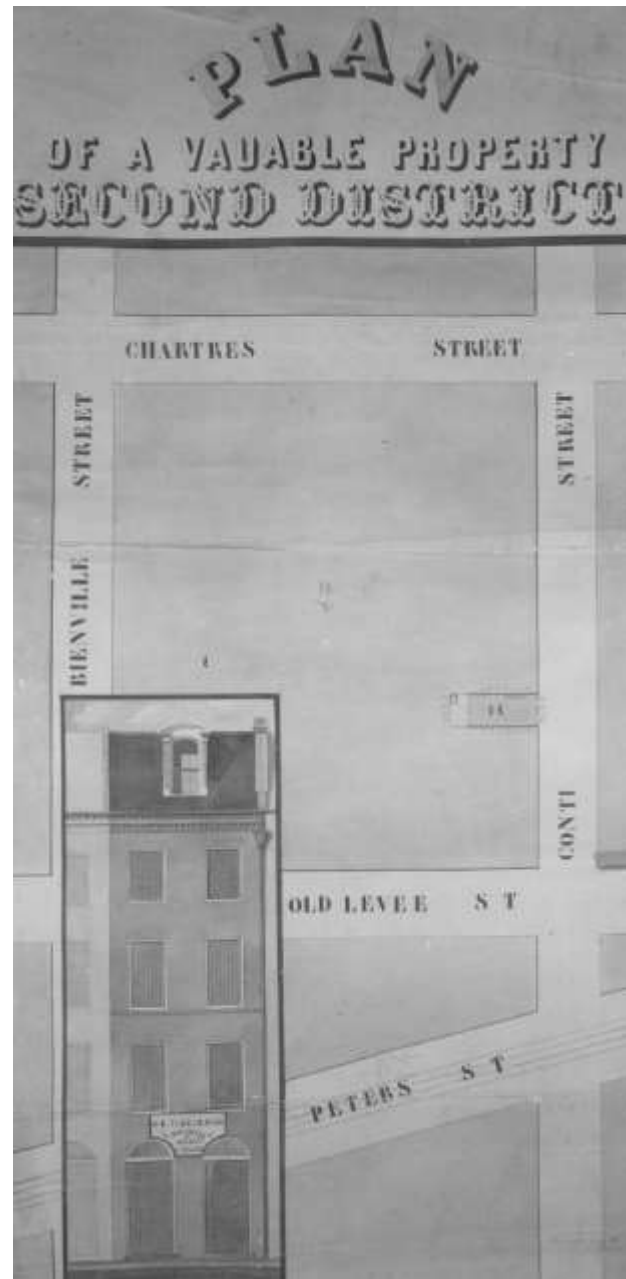


512 Conti

VCC Architectural Committee

July 11, 2017





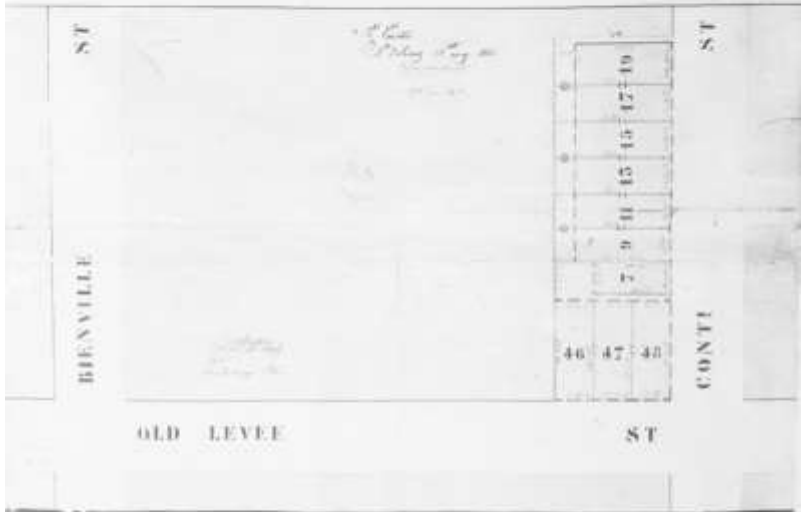
512 Conti

VCC Architectural Committee

July 11, 2017



PLAN
OF
TEN VALUABLE BRICK STORES
2^D DISTRICT



512 Conti



512 Conti

VCC Architectural Committee

July 11, 2017





512 Conti



516 & 512 Conti



516 & 512 Conti



516 & 512 Conti



516 & 512 Conti



516 & 512 Conti



516 & 512 Conti

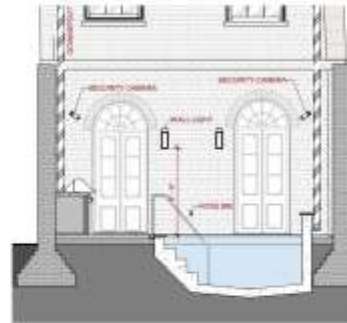
VCC Architectural Committee

July 11, 2017



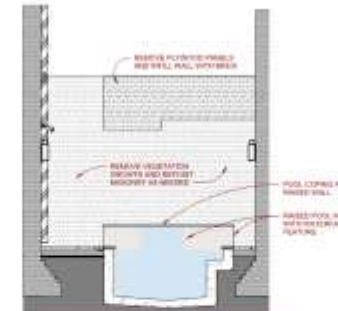


EXISTING COURTYARD

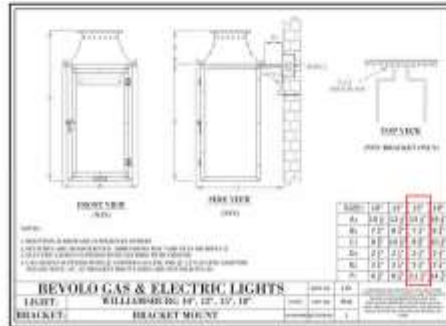


1 REAR COURTYARD - TO C

- NEED SAMPLES OF:
- TILE AT POOL WATER EDGE
 - TILE AT WATERFALL WALL
 - BRICK FOR BBQ (SALVAGED)
 - COUNTER FOR BBQ (SALVAGED SLATE)
 - ELEC PANEL FOR POOL



2 REAR COURTYARD TO FIRE STATION



SECURITY CAMERAS



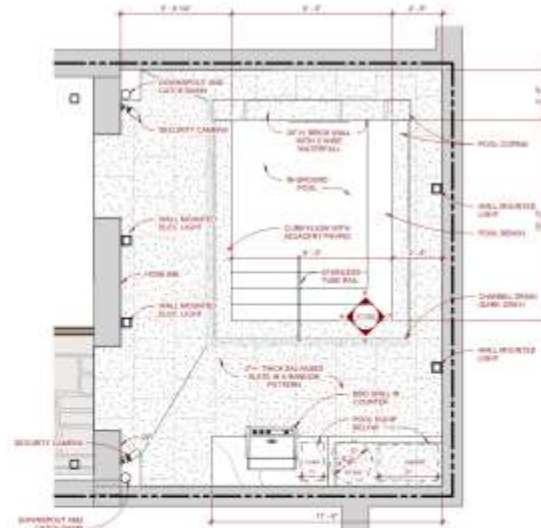
SLATE PAVERS



OUTDOOR GAS GRILL



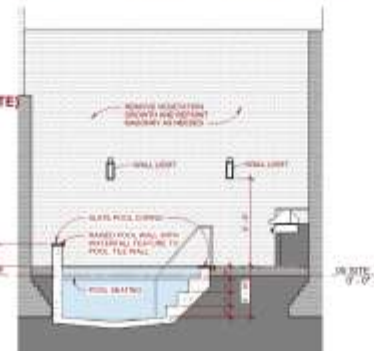
BLACK CHANNEL DRAIN AT EDGE OF POOL



3 REAR COURTYARD (RESIDENTIAL)



POOL EQUIPMENT CONCEALED IN BRICK CABINET



7 REAR COURTYARD TO CHARTRES ST



8 REAR COURTYARD TO WALL

516 CONTI APARTMENTS
 CONTRACTOR SET
 512-516 CONTI STREET
 NEW ORLEANS, LA.
 DEO CONTRACTORS

PROJECT NO. 18-03
 PROJECT TOUR CODE 07001018
 BILL # REVACH BOOKING DATE

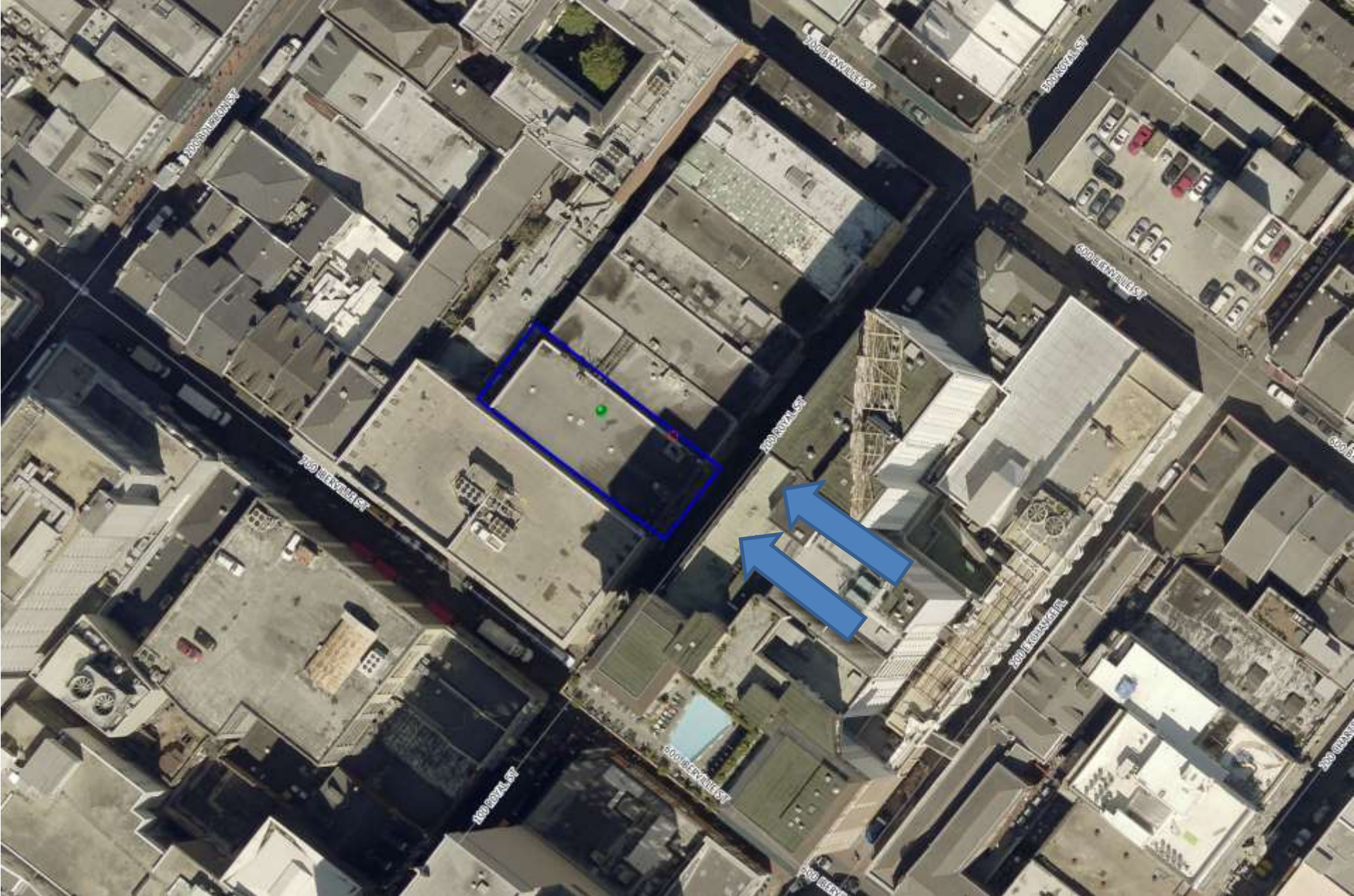
SHEET TITLE
REAR COURTYARD

C103



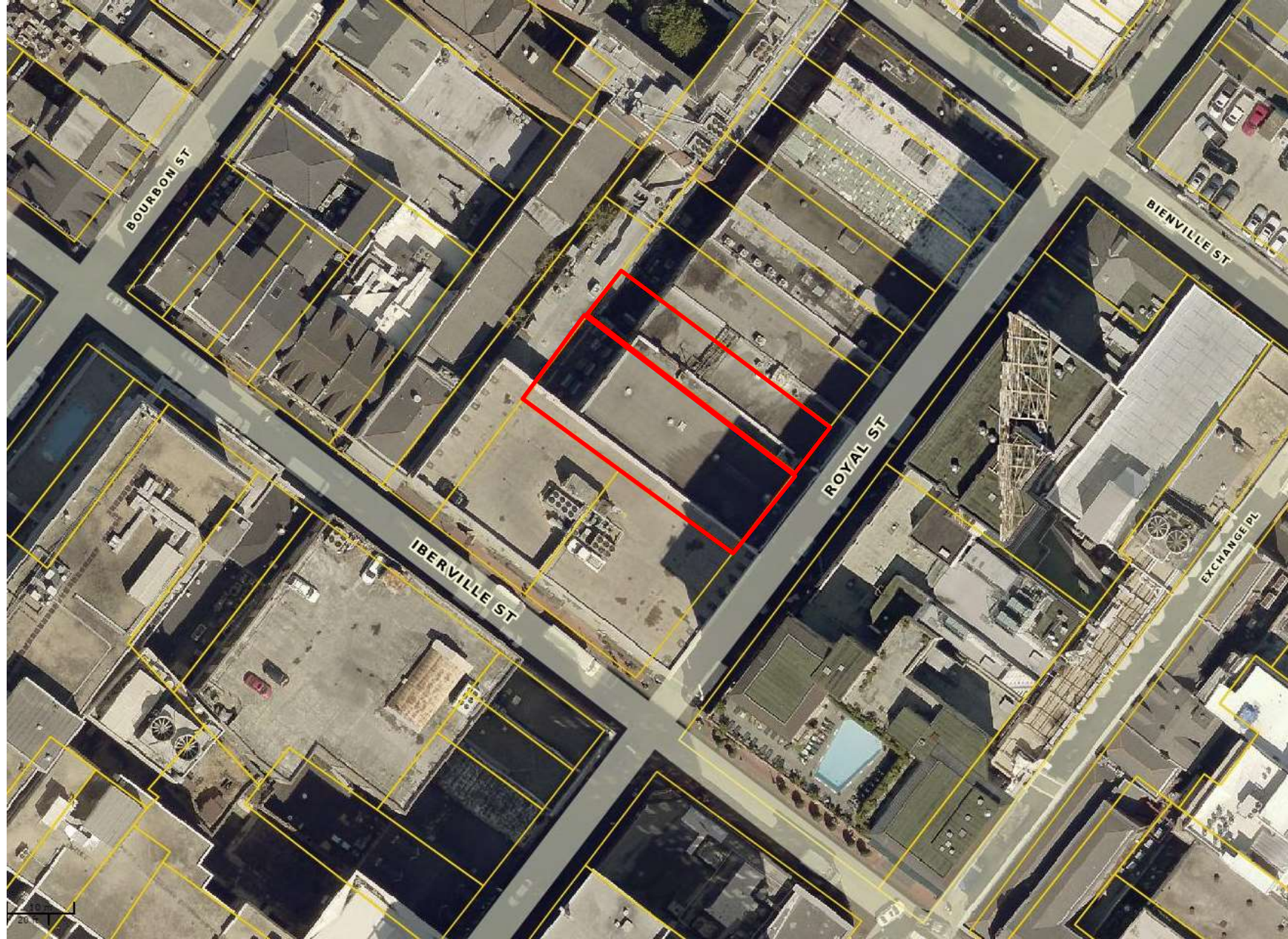


211 & 217 Royal



211-15 & 217-19 Royal





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal



211-15 & 217-19 Royal

211-15 & 217-19 Royal

Vieux Carré Commission





211-15 & 217-19 Royal – 1961

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission



January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019



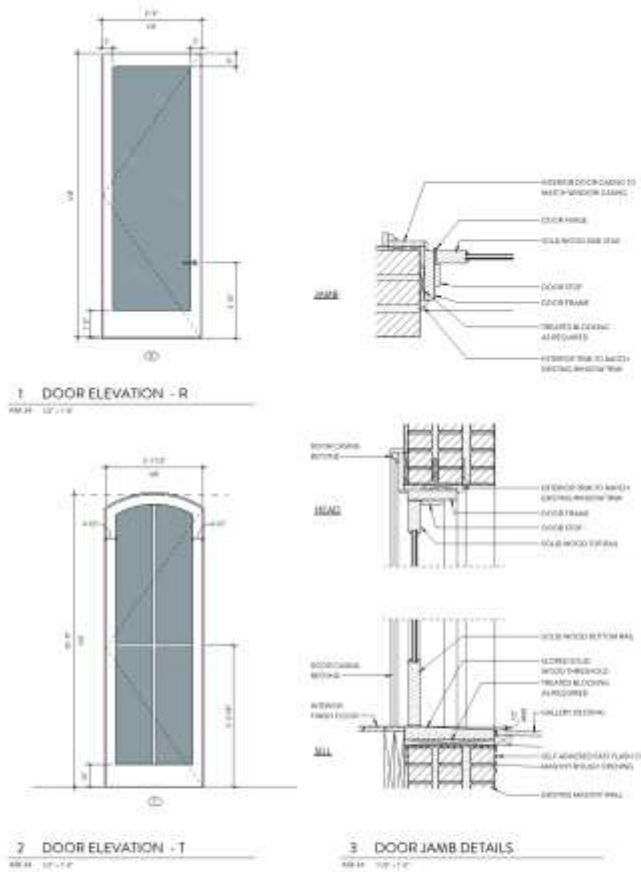


211-15 & 217-19 Royal

Vieux Carré Commission

January 9th, 2019





EXISTING CONDITION PHOTOGRAPHS

STUDIO WTA
 211-219 ROYAL STREET
 NEW ORLEANS, LOUISIANA

100% CONSTRUCTION DOCUMENTS
 WORK SET
 11-2019

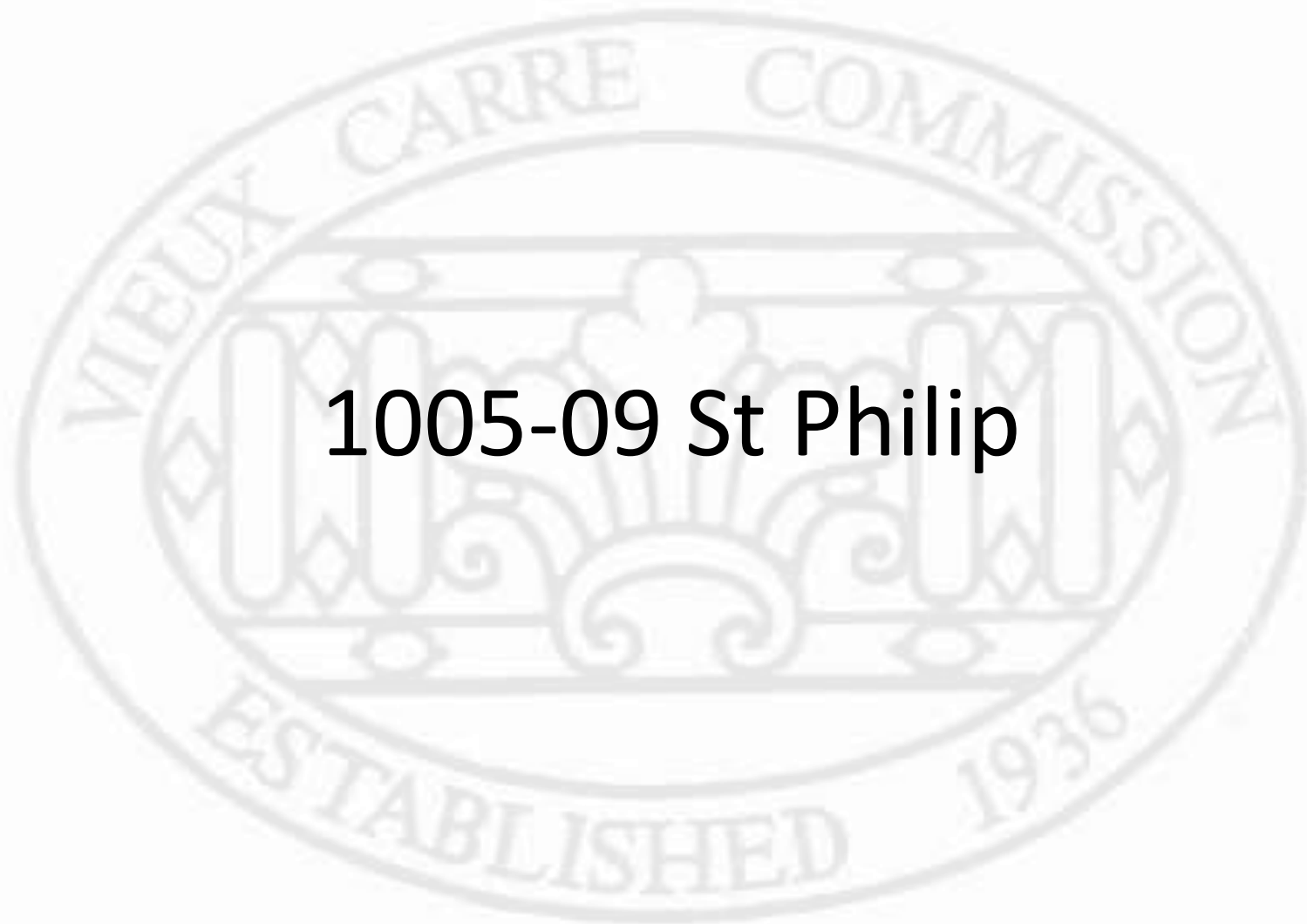
ASK 34

211-15 & 217-19 Royal

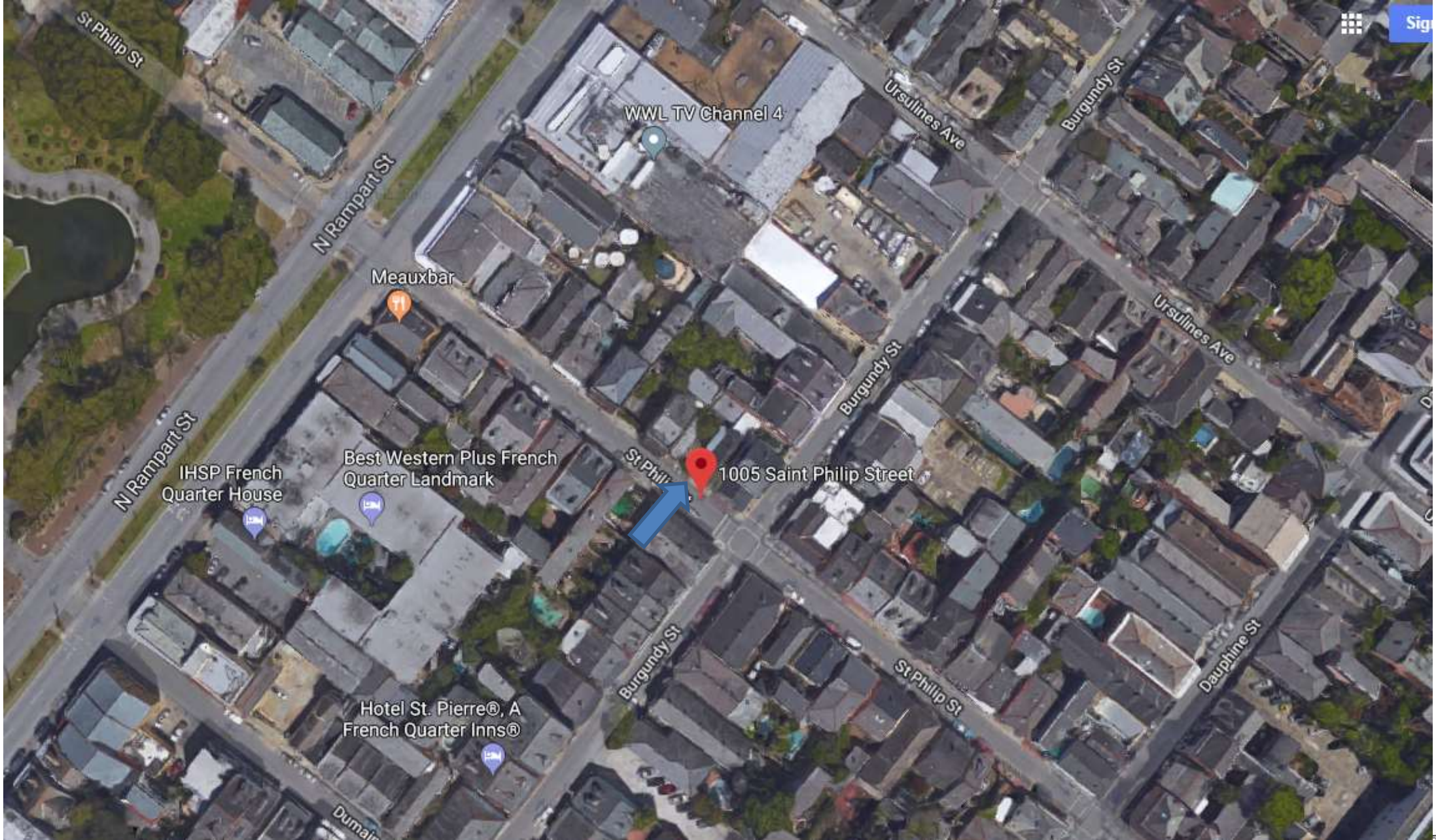
Vieux Carré Commission

January 9th, 2019





1005-09 St Philip

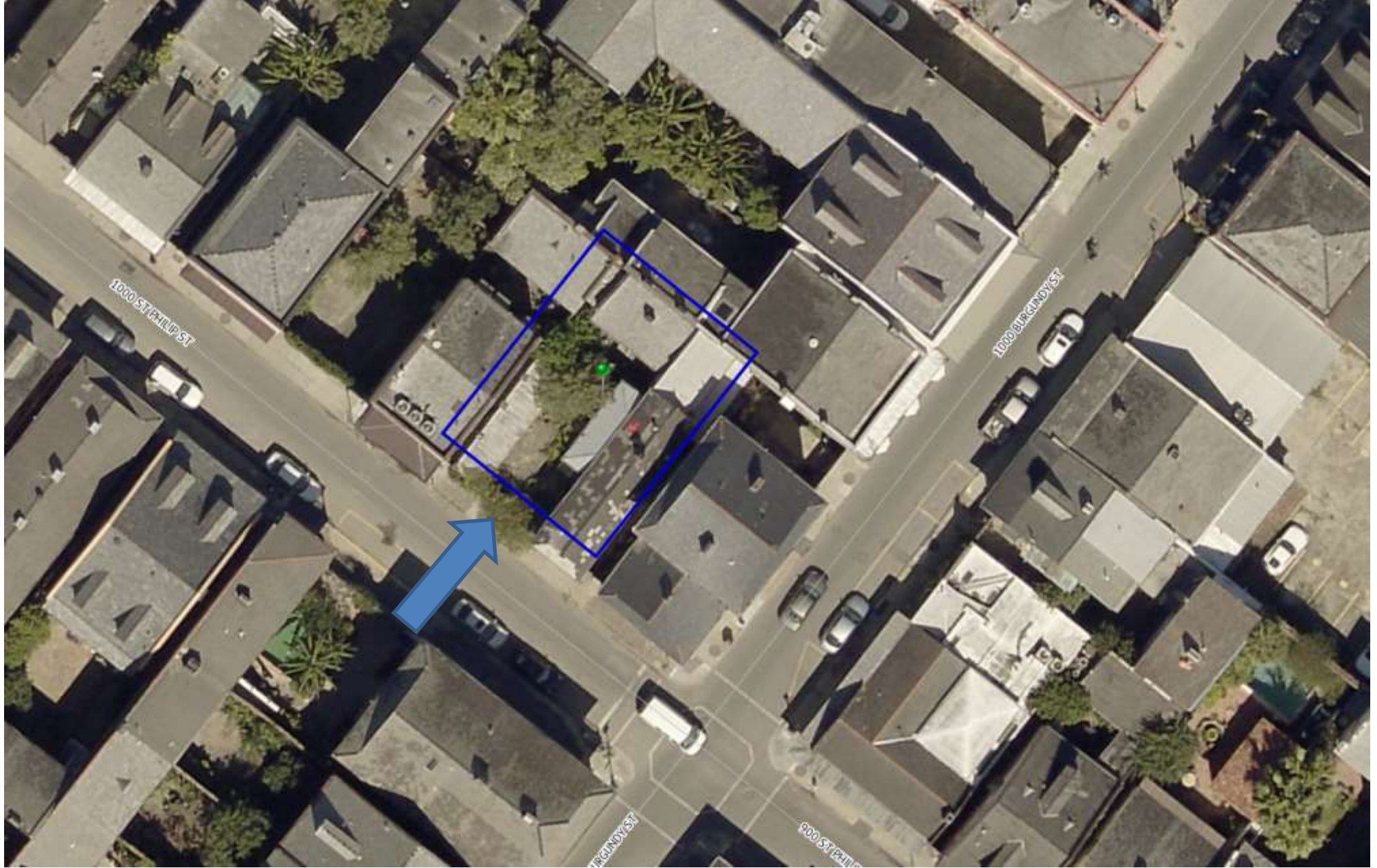


1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018



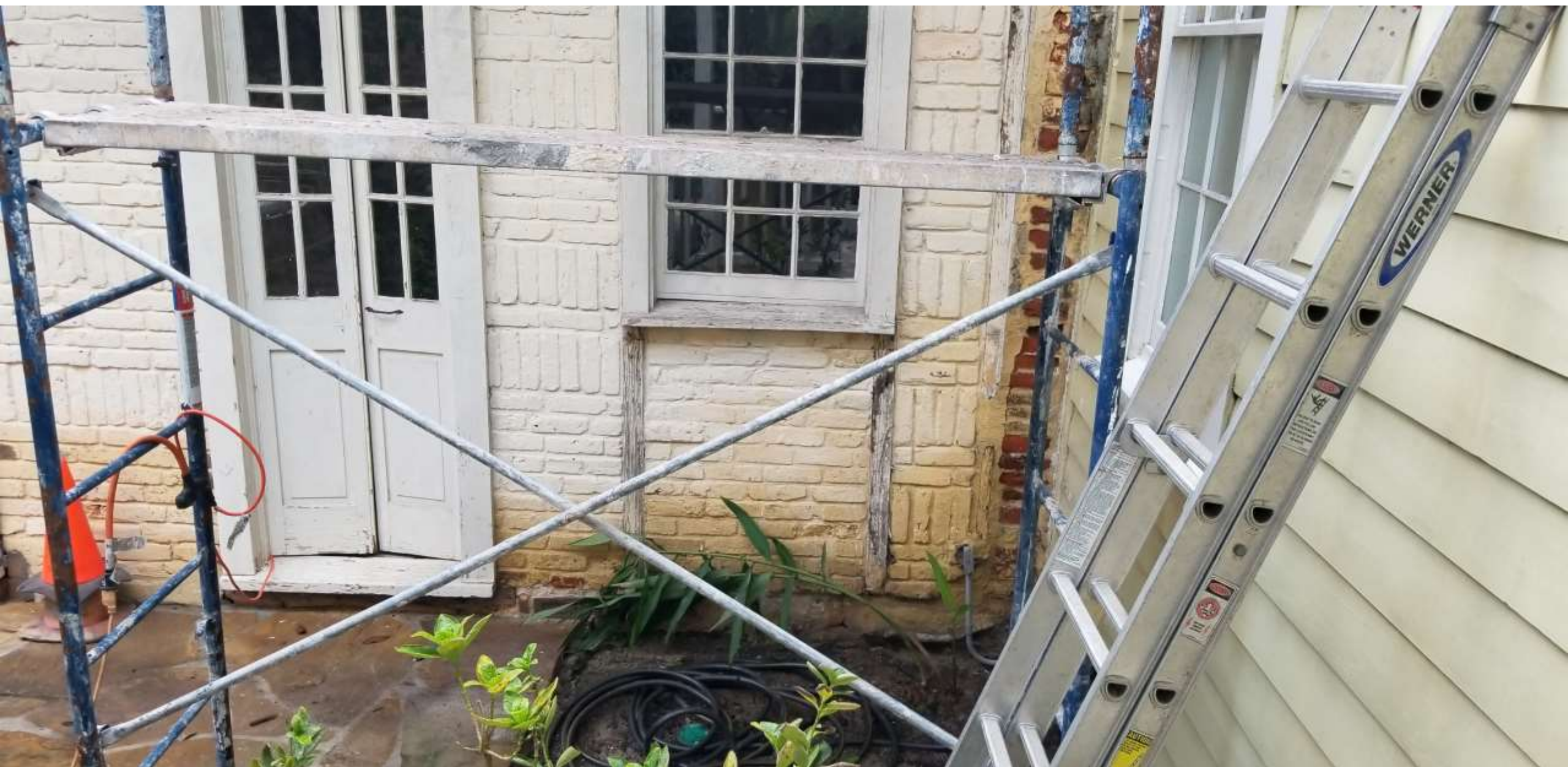


1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018







1005-09 St Philip

Vieux Carre Commission

July 5, 2018







1005-09 St Philip

Vieux Carre Commission

July 5, 2018



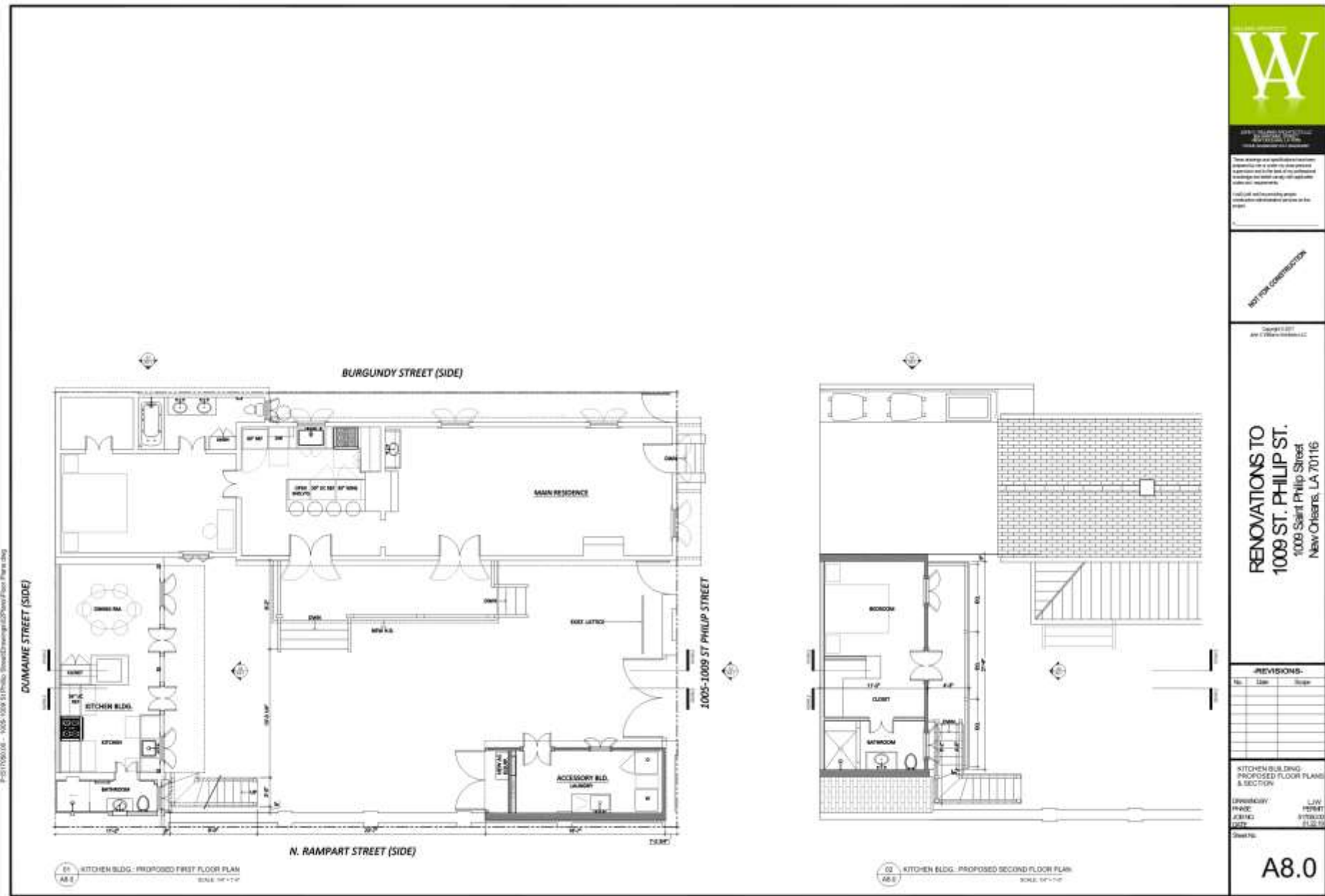


1005-09 St Philip

Vieux Carre Commission

July 5, 2018





W

ARCHITECTURAL FIRM

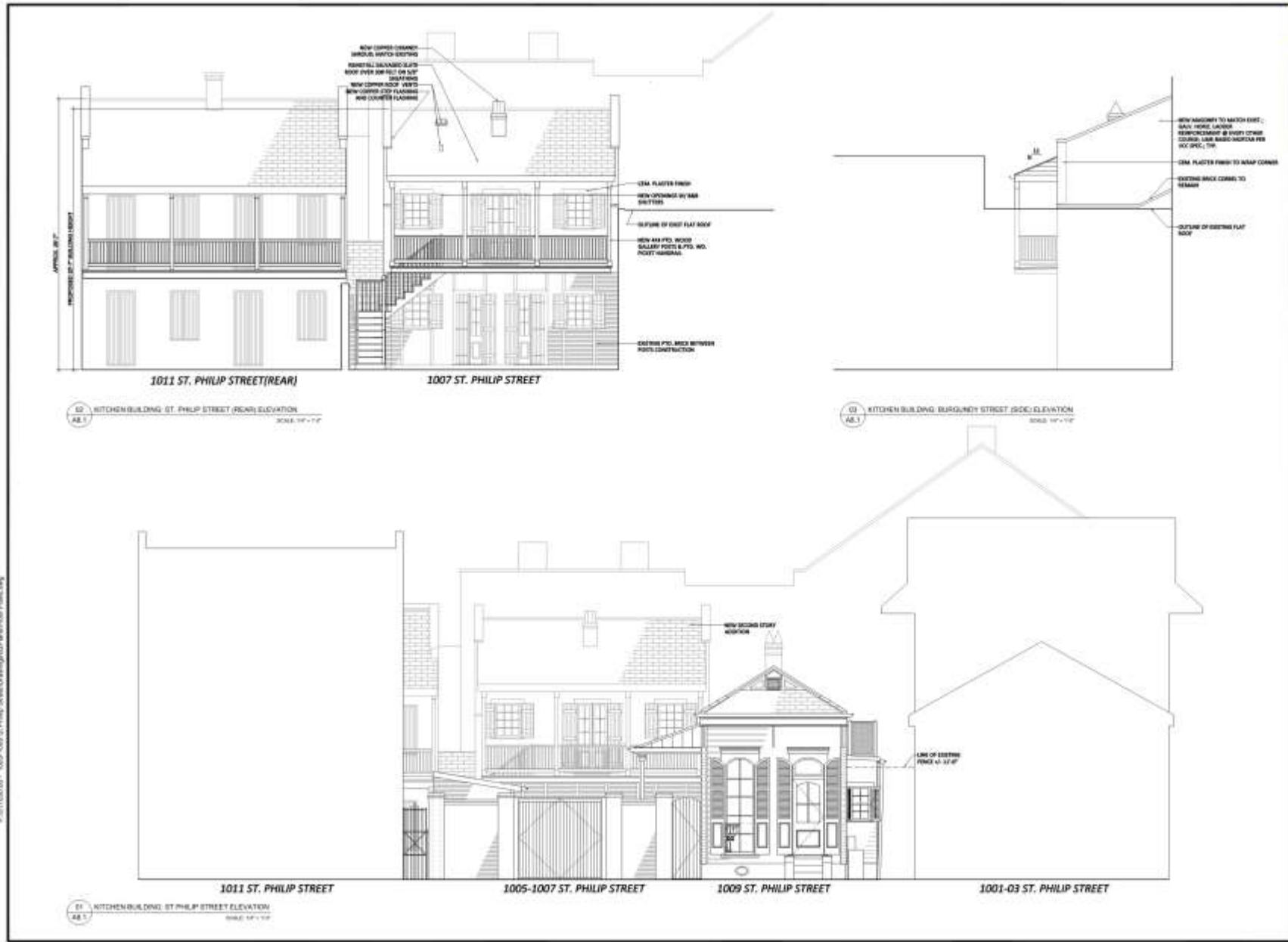
1000 PINE STREET, SUITE 1000
 NEW ORLEANS, LA 70116
 (504) 581-1111
 www.warrick.com

NOT FOR CONSTRUCTION

Copyright © 2016 Warrick Architects, LLC

**RENOVATIONS TO
 1009 ST. PHILIP ST.**
 1009 Saint Philip Street
 New Orleans, LA 70116





52 KITCHEN BUILDING ST. PHILIP STREET (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

63 KITCHEN BUILDING BURGUNDY STREET (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

61 KITCHEN BUILDING ST. PHILIP STREET ELEVATION
SCALE: 1/4" = 1'-0"



PROFESSIONAL ARCHITECTURAL
DRAWING
DATE: 07/05/2018
PROJECT: RENOVATIONS TO 1005-09 ST. PHILIP STREET
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 07/05/2018

NOT FOR CONSTRUCTION

DATE: 07/05/2018
BY: [Name]

**RENOVATIONS TO
1009 ST. PHILIP ST.**
1009 Saint Philip Street
New Orleans, LA 70116

-REVISIONS-

| No. | Date | By |
|-----|------|----|
| | | |
| | | |
| | | |
| | | |

KITCHEN BUILDING
PROPOSED EXTERIOR
ELEVATIONS

EXAMINER: [Name] L.S.P.
PRICE: [Amount] PER SET
DATE: 07/05/2018

Sheet No. **A8.1**





A8.2 KITCHEN BUILDING - SECTION & SITE LINE DIAGRAM
SCALE: 1/8" = 1'-0"

A8.2 KITCHEN BUILDING - SECTION & SITE LINE DIAGRAM
SCALE: 1/8" = 1'-0"

P:\1517056.01 - 1005-09 St Philip Street\Drawings\2D\Sheet\Prop Plans.dwg



W
 ARCHITECTURAL CONSULTANTS
 1005-09 St. Philip Street
 New Orleans, LA 70116
 (504) 581-1111
 www.warchitects.com

NOT FOR CONSTRUCTION

Issued: 07/05/2018
 Rev: 01/05/2018

**RENOVATIONS TO
 1009 ST. PHILIP ST.**
 1009 Saint Philip Street
 New Orleans, LA 70116

REVISIONS

| No. | Date | Scope |
|-----|------|-------|
| | | |
| | | |
| | | |
| | | |

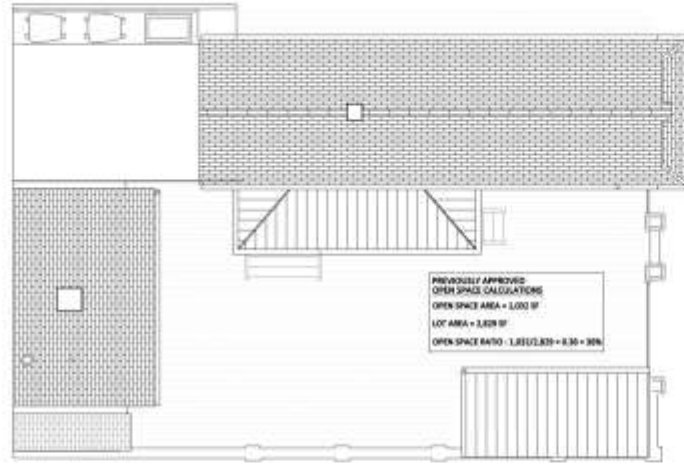
KITCHEN BUILDING
 PROPOSED SECTION

DRAWN BY: LJP
 CHECKED: TRM/ET
 DATE: 07/05/2018
 SCALE: AS SHOWN

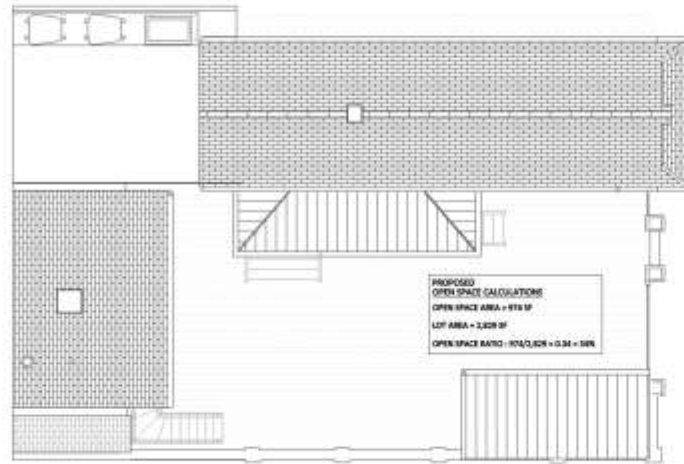
Sheet No. **A8.2**



P:\1005-09 St Philip - 1005-1009 St Philip - Sheet\OpenSpace\OpenSpace.dwg Plot Area



00 APPROVED OPEN SPACE CALCULATIONS SCALE: 1/8" = 1'-0"



01 PROPOSED OPEN SPACE CALCULATIONS SCALE: 1/8" = 1'-0"



1005-1009 ST. PHILIP - 1005-1009 ST. PHILIP - SHEET
 OPEN SPACE CALCULATIONS

This drawing is a preliminary design and is not to be used for construction purposes. It is the responsibility of the client to verify the accuracy of the information provided and to obtain all necessary permits and approvals.

DATE: 07/05/2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]

NOT FOR CONSTRUCTION

07/05/2018
[Name]

**RENOVATIONS TO
 1009 ST. PHILIP ST.**
 1009 Saint Philip Street
 New Orleans, LA 70116

REVISIONS

| No. | Date | Scope |
|-----|------|-------|
| | | |
| | | |
| | | |
| | | |
| | | |

OPEN SPACE CALCULATIONS

| DRAWN BY | LOW |
|----------|---------|
| PHASE | PERMIT |
| 0000 | 1000-00 |
| 0000 | 1000-00 |

Sheet No.:

A8.3





1005-09 St Philip – precedent stair

Vieux Carre Commission



July 5, 2018



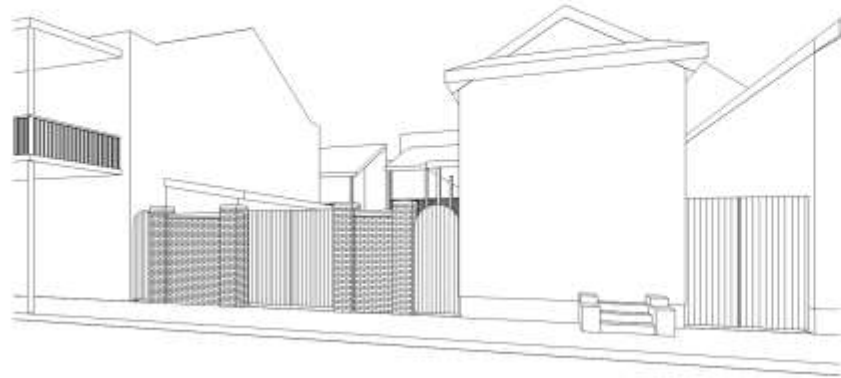


1005-09 St Philip

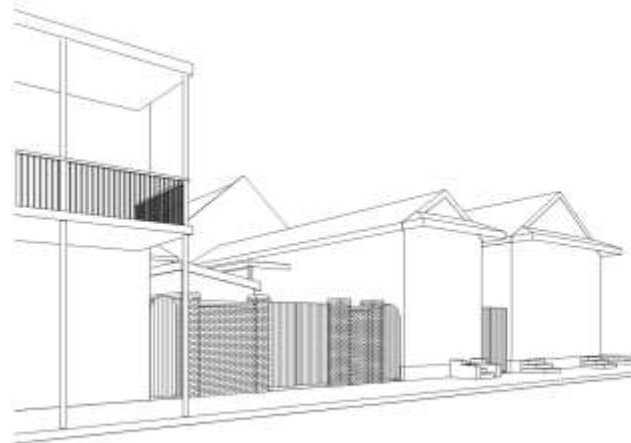
Vieux Carre Commission

July 5, 2018

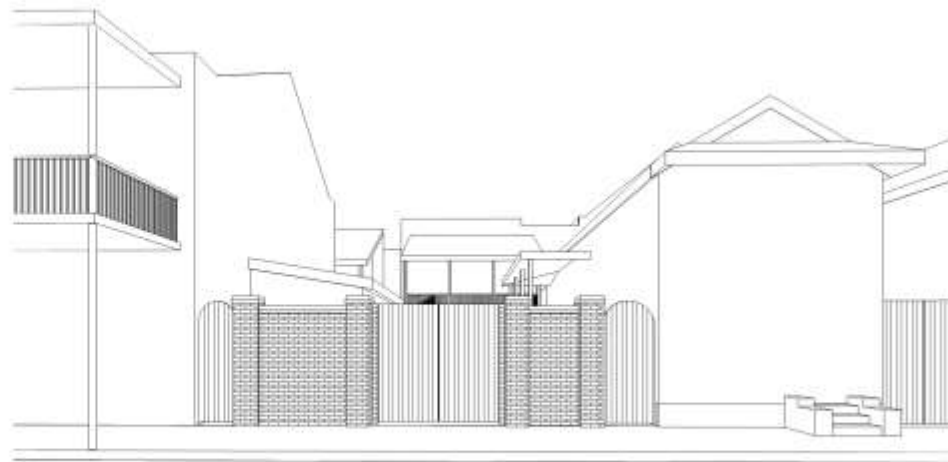




3D View 3



3D View 4



3D View 2



W
 ARCHITECTURE
 1005-09 St Philip Street
 New Orleans, LA 70116
 (504) 581-1111
 www.warchitect.com

NOT FOR CONSTRUCTION

Project: 1005-09 St Philip Street
 Date: 07/05/2018

1009 ST. PHILIP STREET
 1009 St. Philip St. New Orleans, LA 70116

REVISIONS:

| No. | Date | By |
|-----|------|----|
| | | |
| | | |
| | | |
| | | |

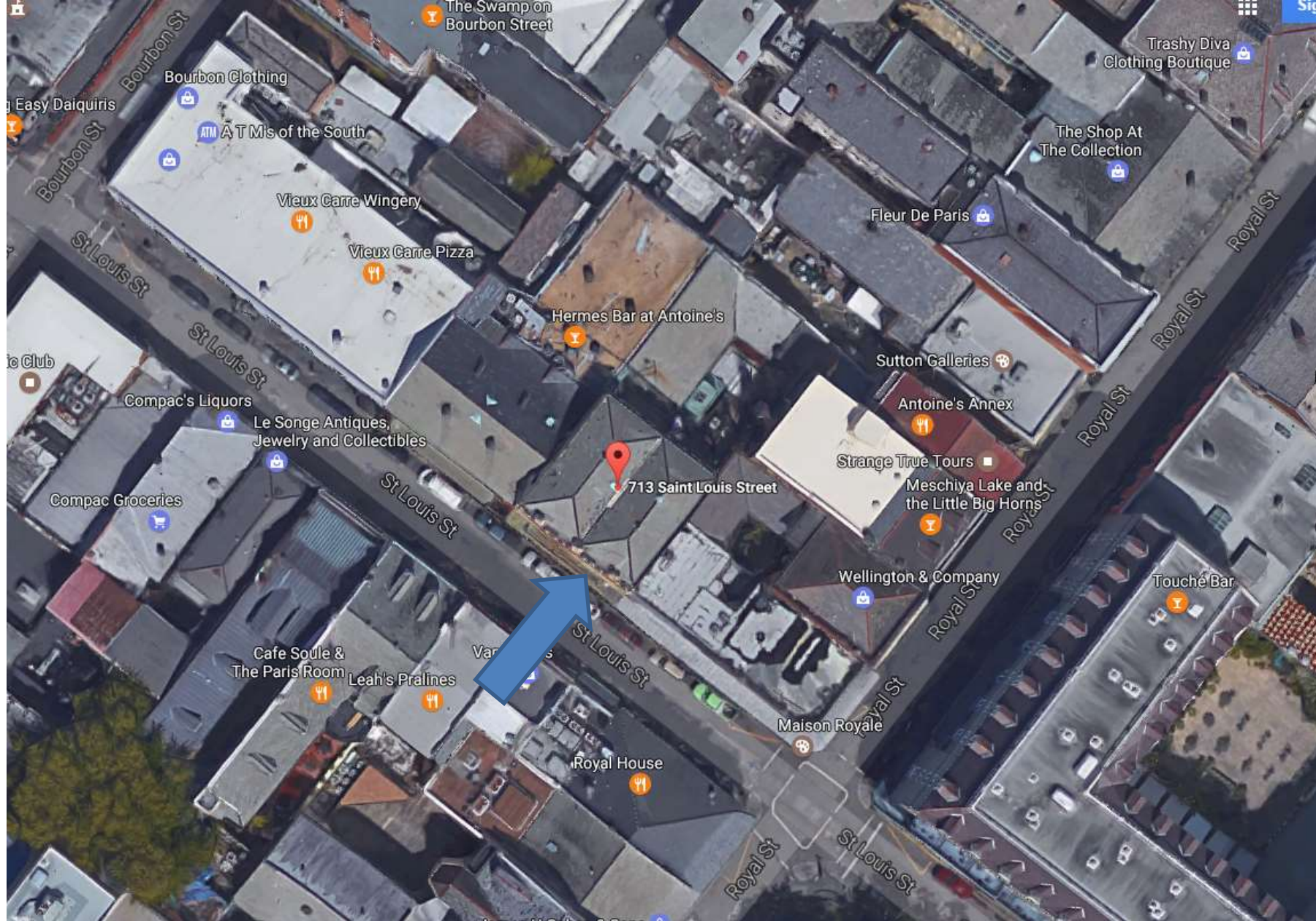
DRAWING PERSPECTIVE:
 DRAWING BY: JDB
 SCALE: 1/16"=1'-0"
 JOB No: 1005-09
 DATE: 07/05/2018
 SHEET No: A824

A824





713 St Louis



713 St Louis

Vieux Carré Commission

January 9th, 2019



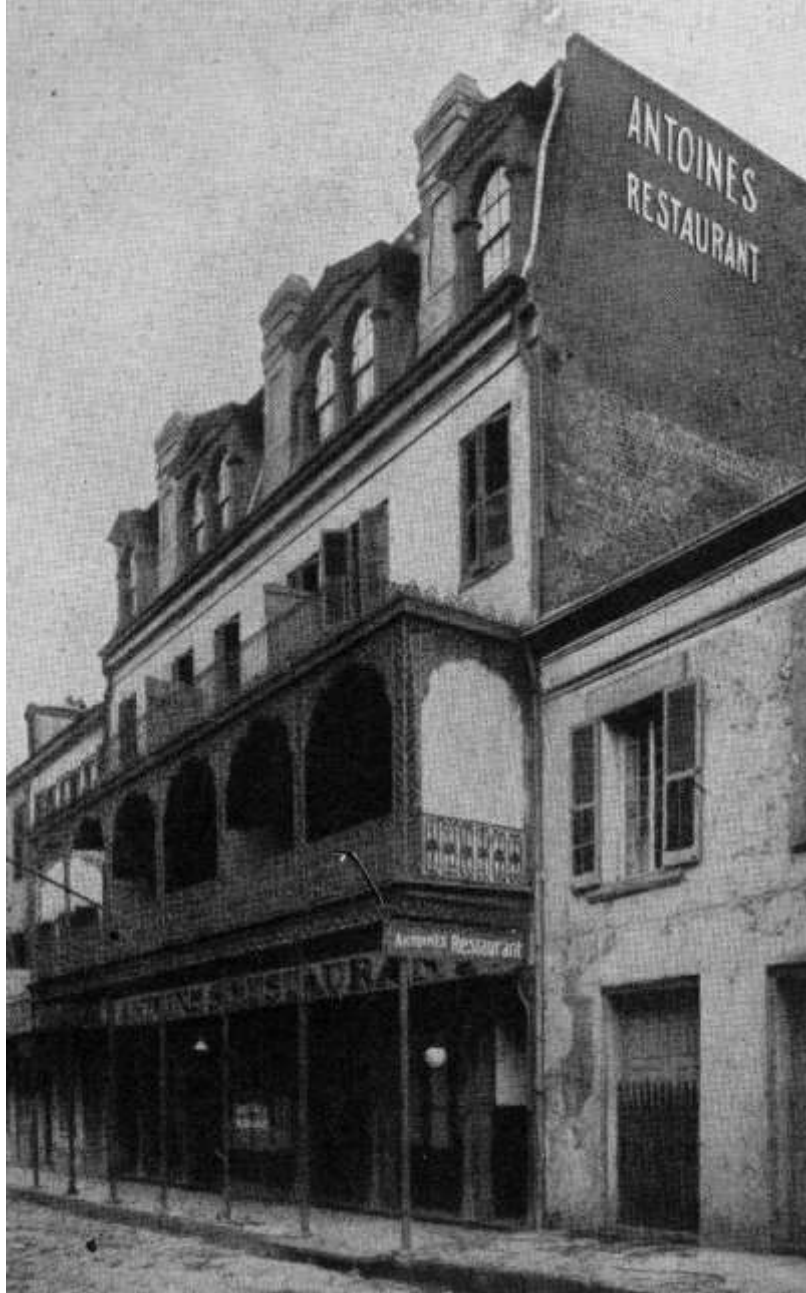


713 St Louis

Vieux Carré Commission

January 9th, 2019





713 St Louis

Vieux Carré Commission

January 9th, 2019





713 St Louis

Vieux Carré Commission

January 9th, 2019





713 St Louis

Vieux Carré Commission

January 9th, 2019





713 St Louis

Vieux Carré Commission

January 9th, 2019





713 St Louis

Vieux Carré Commission

January 9th, 2019





713 St Louis

Vieux Carré Commission

January 9th, 2019



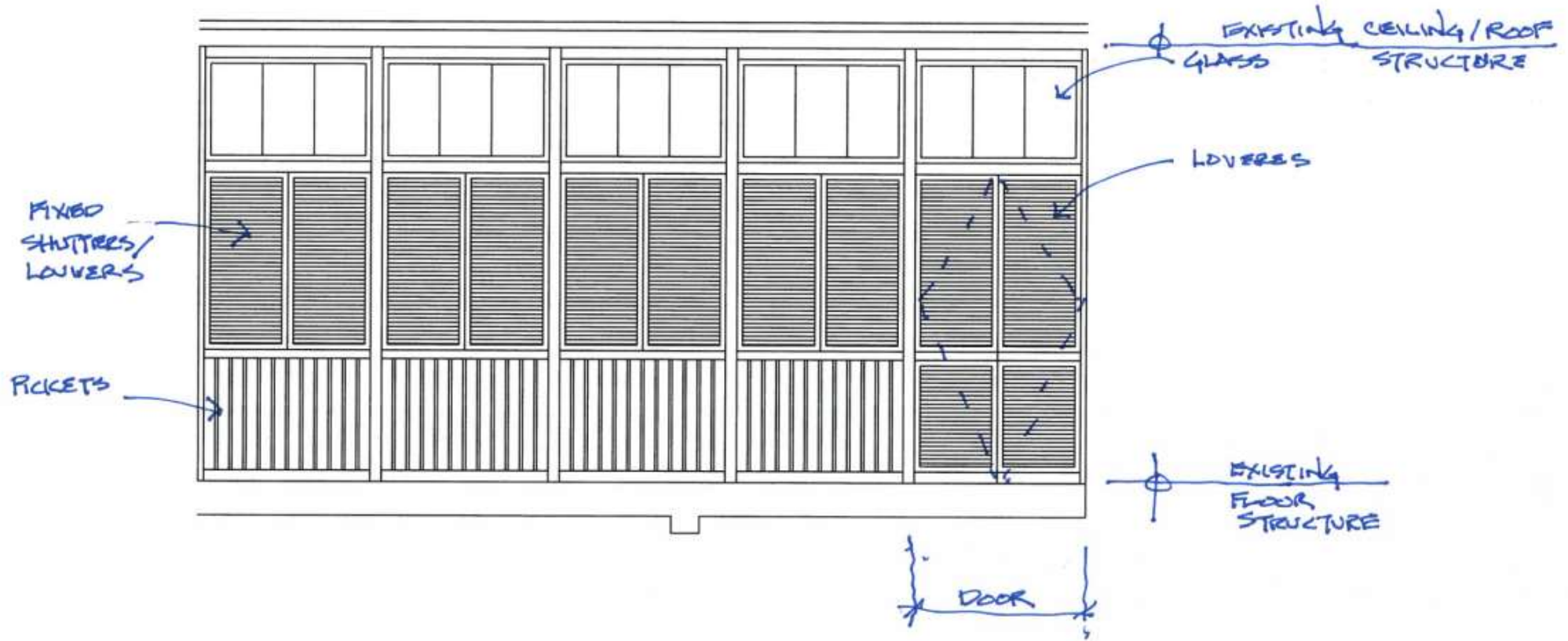


713 St Louis

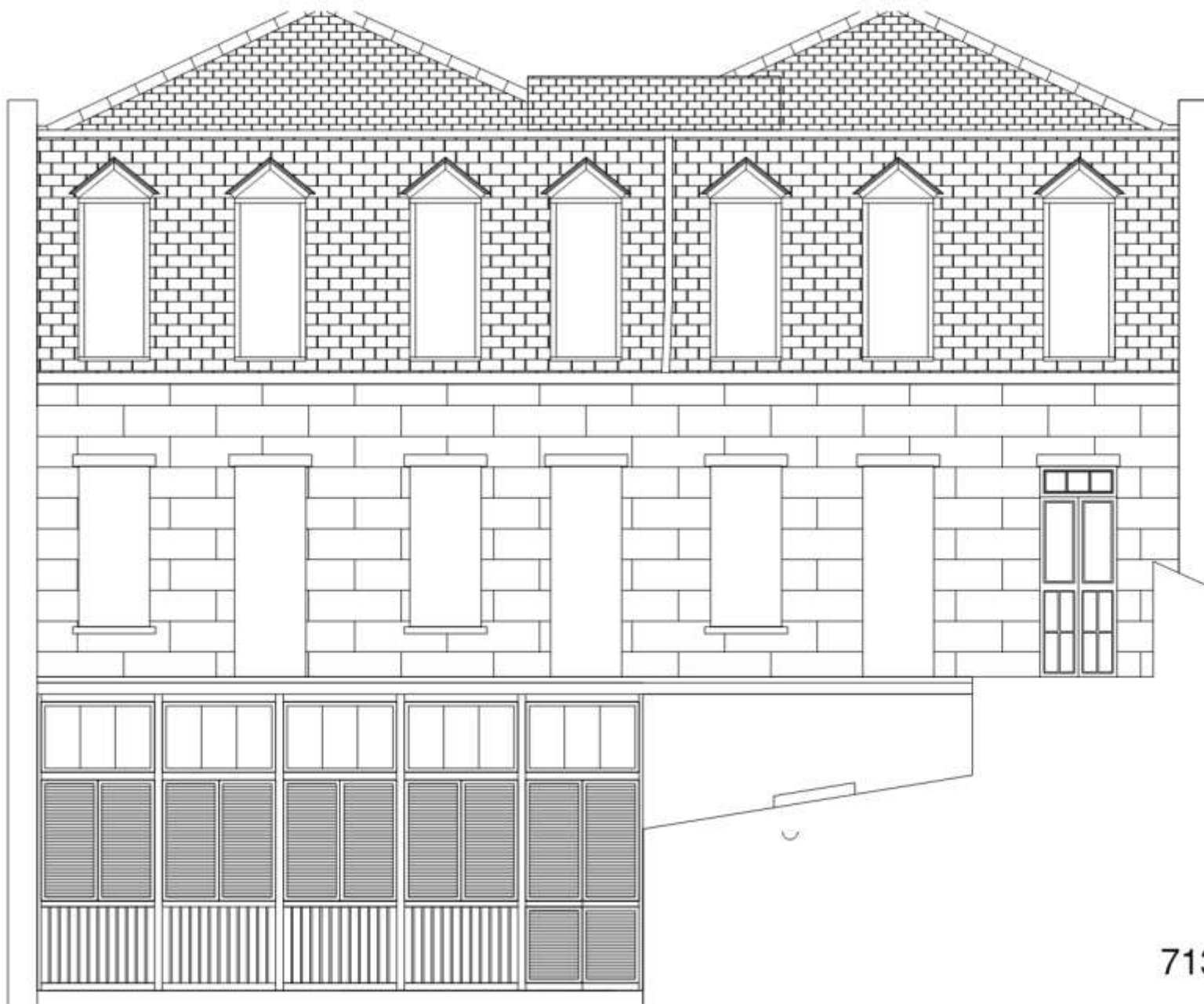
Vieux Carré Commission

January 9th, 2019





SCHEMATIC PLANS - EXTERIOR ELEVATIONS
 NTS.



713 St Louis

713 St Louis

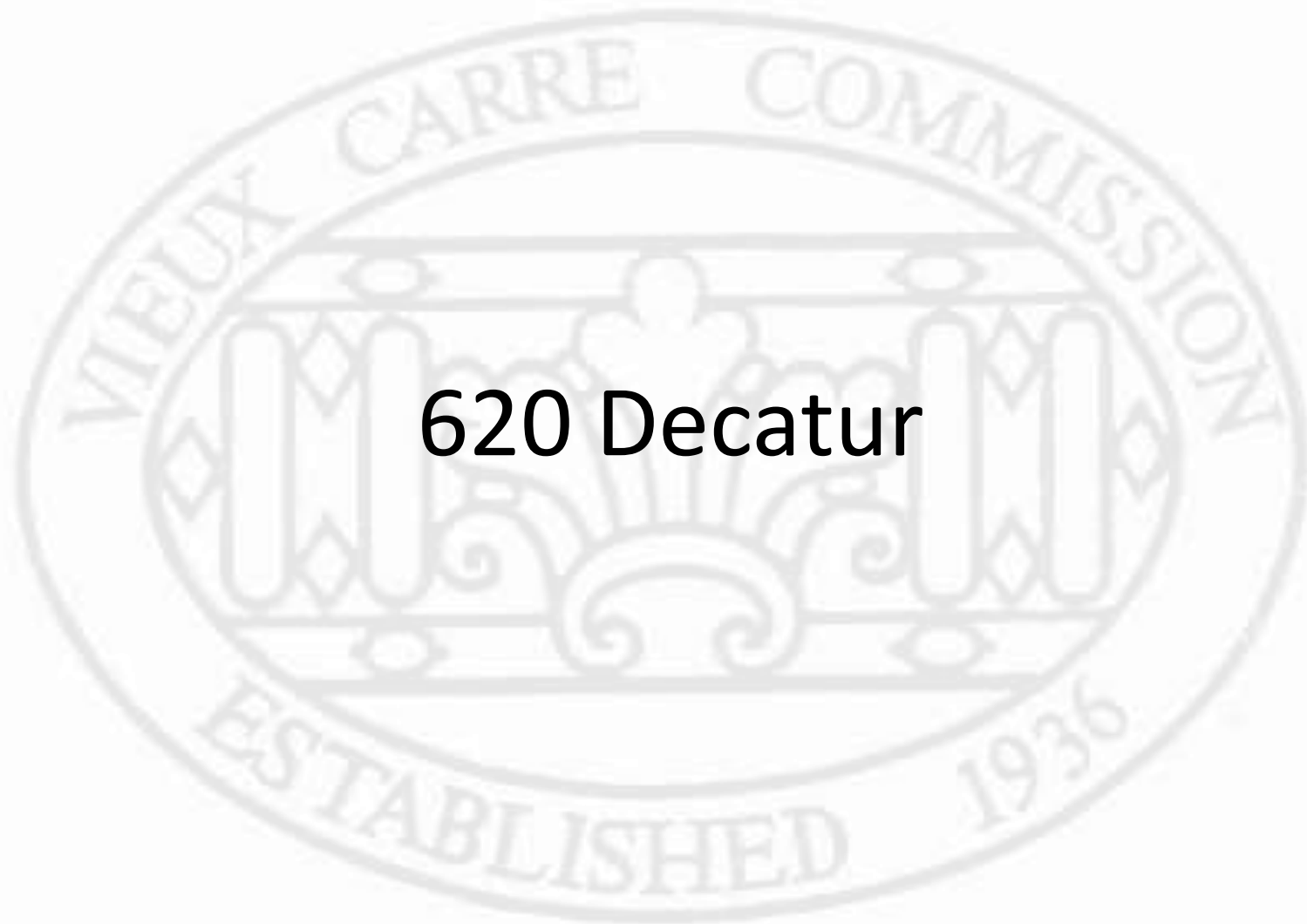
Vieux Carré Commission

January 9th, 2019

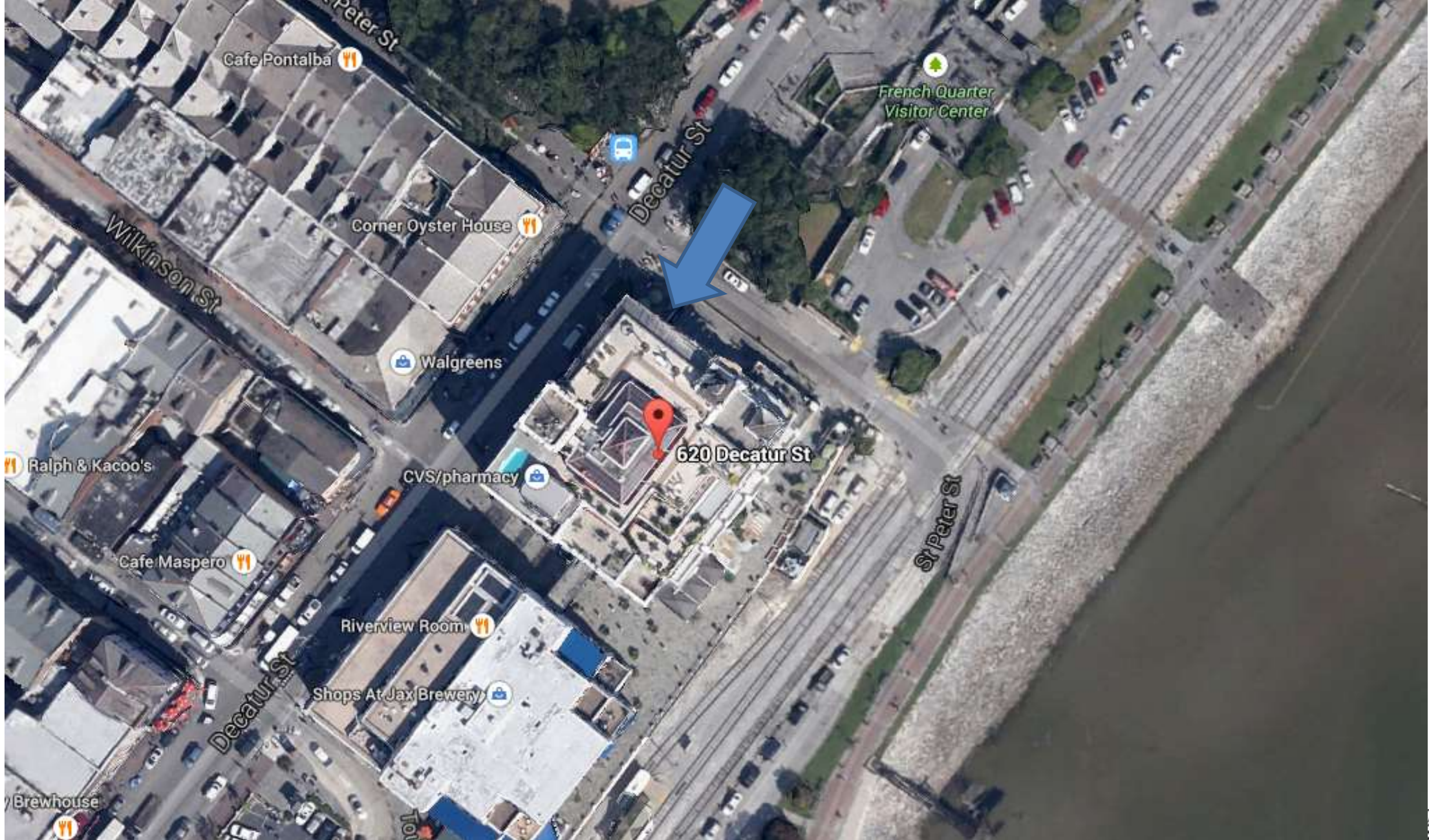




New Business



620 Decatur



620 Decatur

VCC Architectural Committee

January 29, 2019



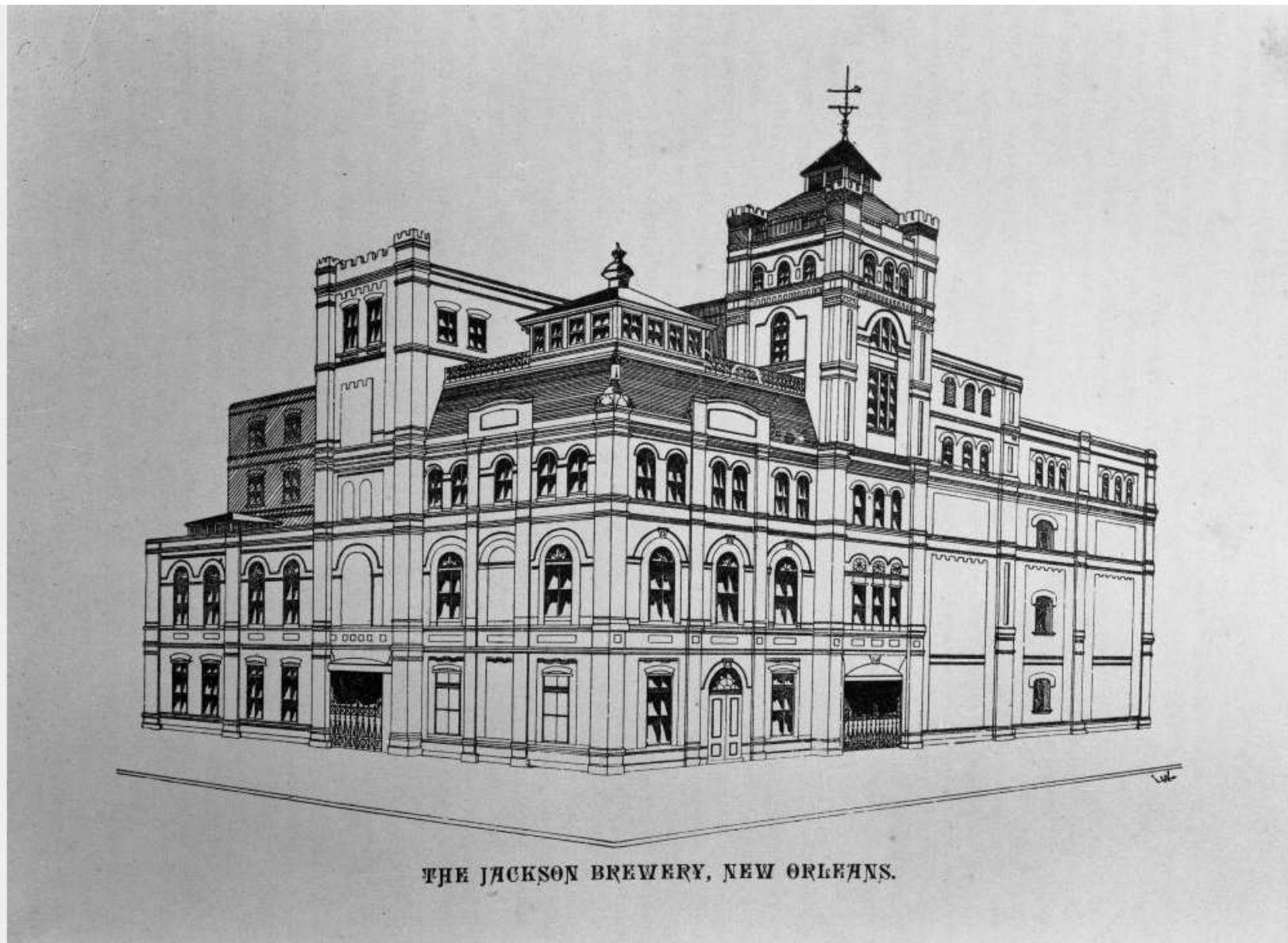


620 Decatur

VCC Architectural Committee

January 29, 2019





Title: The Jackson Brewery, New Orleans (St. Peter corner Clay)
Date: [ca. 1892]

press x to cl



Title: Jax Brewery (616-632 Decatur corner St. Peter)

Date: after 1939

Negative Number: 2-005E-002

Courtesy of: *The Historic New Orleans Collection has been unable to identify or contact the current copyright owner. Publication may be restricted.*

620 Decatur

VCC Architectural Committee

January 29, 2019





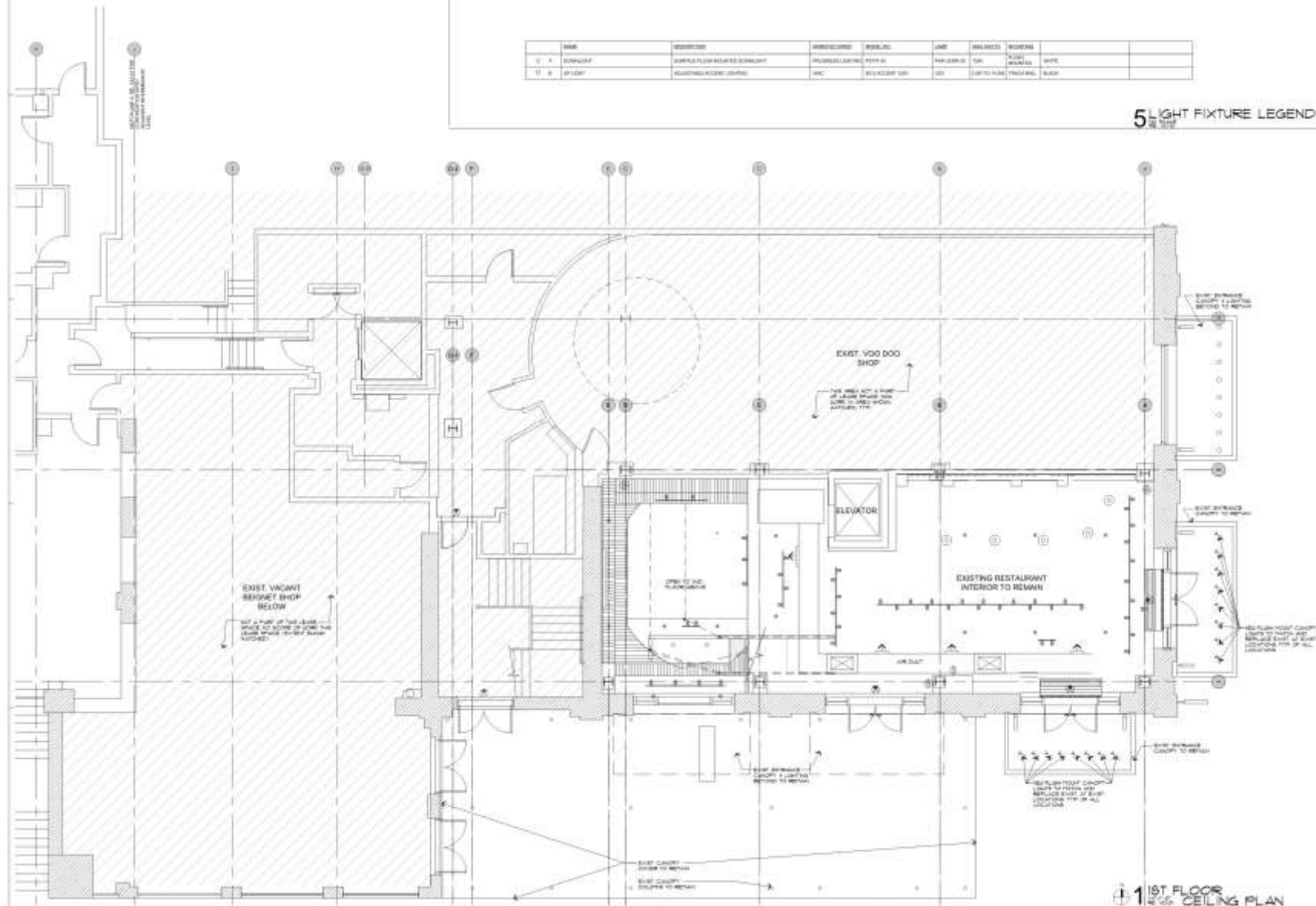
620 Decatur
VCC Architectural Committee

January 29, 2019



| NO. | DESCRIPTION | MANUFACTURER | MODEL | SIZE | FINISH | NOTES |
|-----|-------------|--------------|-----------|---------------|--------|-------|
| 1 | RECESSED | TRAC | TRAC 100 | 10" x 10" | WHITE | |
| 2 | RECESSED | TRAC | TRAC 150 | 15" x 15" | WHITE | |
| 3 | RECESSED | TRAC | TRAC 200 | 20" x 20" | WHITE | |
| 4 | RECESSED | TRAC | TRAC 300 | 30" x 30" | WHITE | |
| 5 | RECESSED | TRAC | TRAC 400 | 40" x 40" | WHITE | |
| 6 | RECESSED | TRAC | TRAC 500 | 50" x 50" | WHITE | |
| 7 | RECESSED | TRAC | TRAC 600 | 60" x 60" | WHITE | |
| 8 | RECESSED | TRAC | TRAC 700 | 70" x 70" | WHITE | |
| 9 | RECESSED | TRAC | TRAC 800 | 80" x 80" | WHITE | |
| 10 | RECESSED | TRAC | TRAC 900 | 90" x 90" | WHITE | |
| 11 | RECESSED | TRAC | TRAC 1000 | 1000" x 1000" | WHITE | |

5 LIGHT FIXTURE LEGEND



1ST FLOOR REFLECTED CEILING PLAN



Conversion of Existing LAJ Bldg to house to
Landry's Seafood House
 At the JACKSON BREWERY BUILDING
 620 Decatur St., Unit 1A, New Orleans, LA 70130



First Floor Reflected Ceiling Plan
 Project: 1829
 Date: 2/17/2017
 Sheet: R/C
 Drawing: 11
 Scale:
A2.10
 of 14





2nd FLOOR SIDE ELEVATION



1st DECATUR STREET ELEVATION

PROFESSIONAL
 STATE BOARD FOR ARCHITECTS
 REGISTERED ARCHITECT
 12/10/2018



Continuation of Existing JAX Brewery to
Landry's Seafood House
 At the JACKSON BREWERY BUILDING
 620 Decatur St., Unit 1A, New Orleans, LA 70130

JUST DRINKIN' ARCHITECTS, INC.
 1000 Poydras Street, Suite 2000
 New Orleans, Louisiana 70112
 (504) 581-1111



Project File
 Existing
 Exterior
 Elevations

Project: 1000
 Date: 2/11/2017
 Sheet: 01
 Overall: 11'
 Date:

A3.01





2nd LEFT SIDE ELEVATION





620 Decatur
VCC Architectural Committee

January 29, 2019

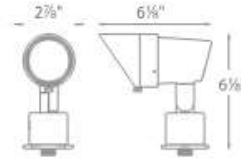


ACCENT 120V

5012

WAC

LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

Landscape accent luminaire. Simple to retrofit existing line voltage systems or coordinate well with a new commercial landscape installation.

FEATURES

- Adjustable and lockable beam angle
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Includes a detachable shroud
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Detachable shroud, 6' lead wire and wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1598 Listed
- Not suitable to use with external dimmers

SPECIFICATIONS

Input: 110V - 120VAC
Power: 3.5W to 14.5W
Brightness: 100 lm to 900 lm
Beam Angle: 15° to 60°
CRI: 85
Rated Life: 45,000 hours

ORDERING NUMBER

| | | Color Temp | | Finish | |
|------|-------------|------------|-------|--------|--------------------|
| 5012 | Accent 120V | 30 | 3000K | BK | Black on Aluminum |
| | | | | BZ | Bronze on Aluminum |
| | | | | BBR | Bronze on Brass |

5012-30 _____

Example: 5012-30BBR





620 Decatur

VCC Architectural Committee

January 29, 2019



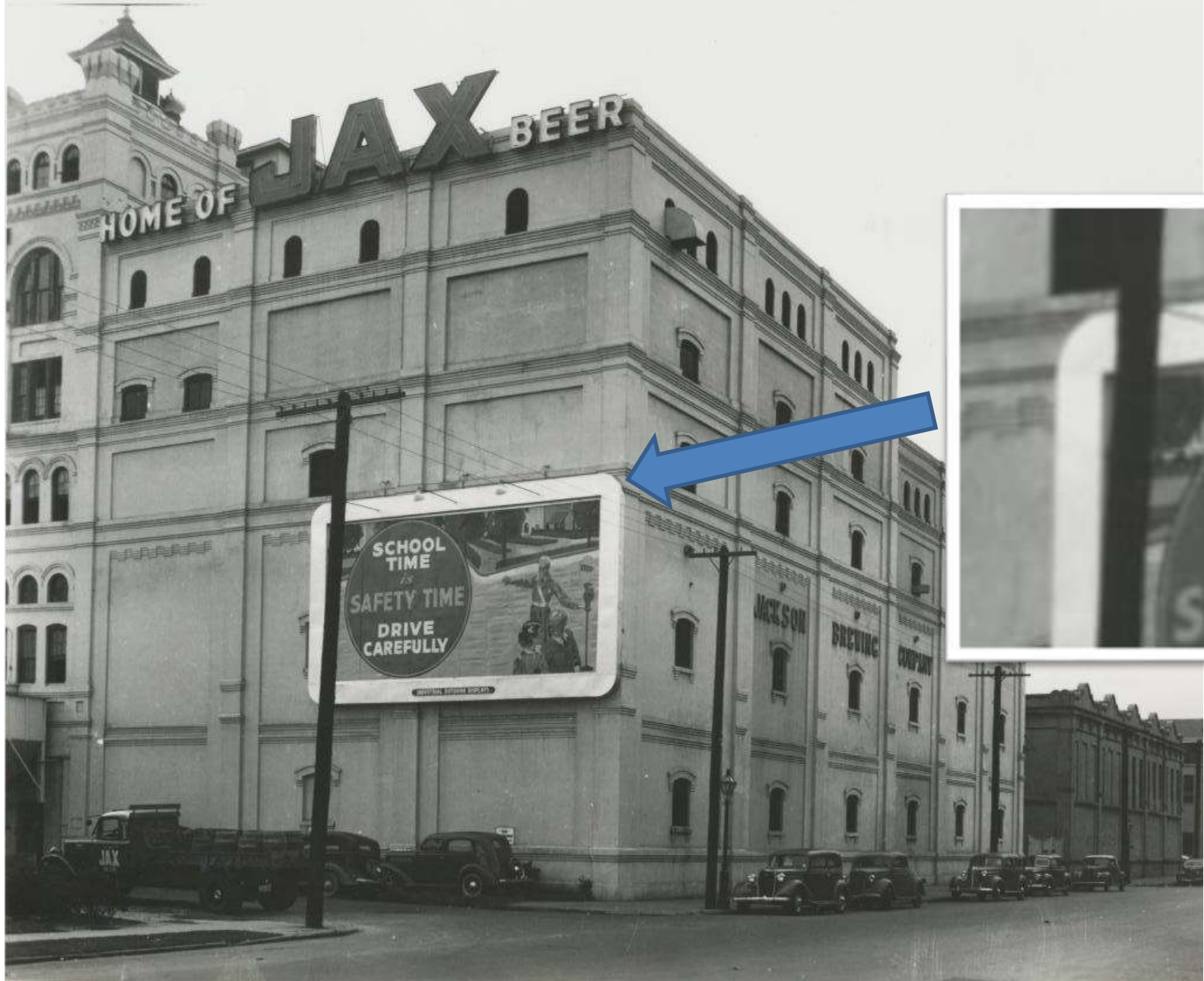


620 Decatur

VCC Architectural Committee

January 29, 2019





620 Decatur – Previously existing projecting lights
VCC Architectural Committee

January 29, 2019





620 Decatur – Previously existing projecting lights
VCC Architectural Committee

January 29, 2019





620 Decatur

VCC Architectural Committee

January 29, 2019



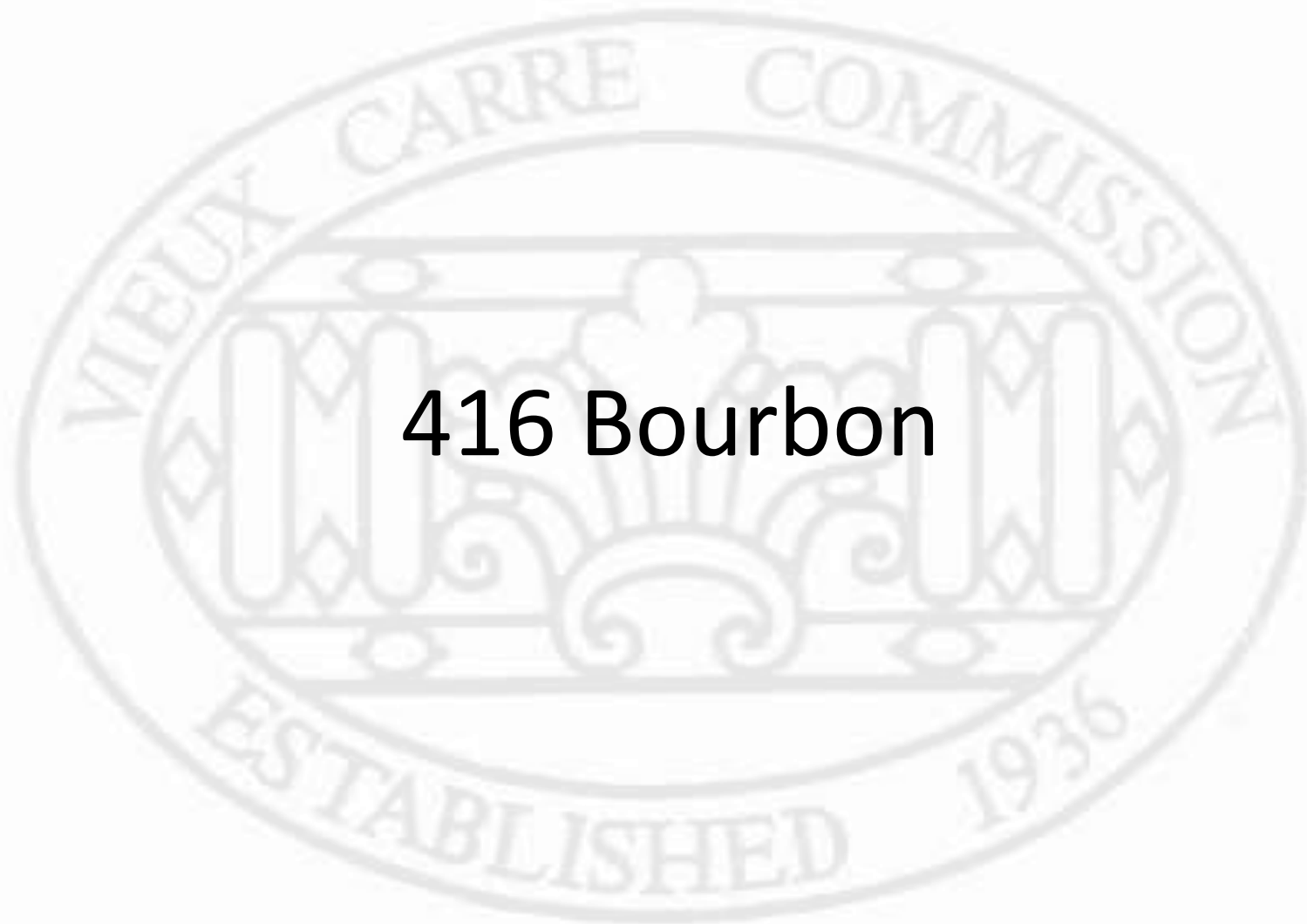


620 Decatur

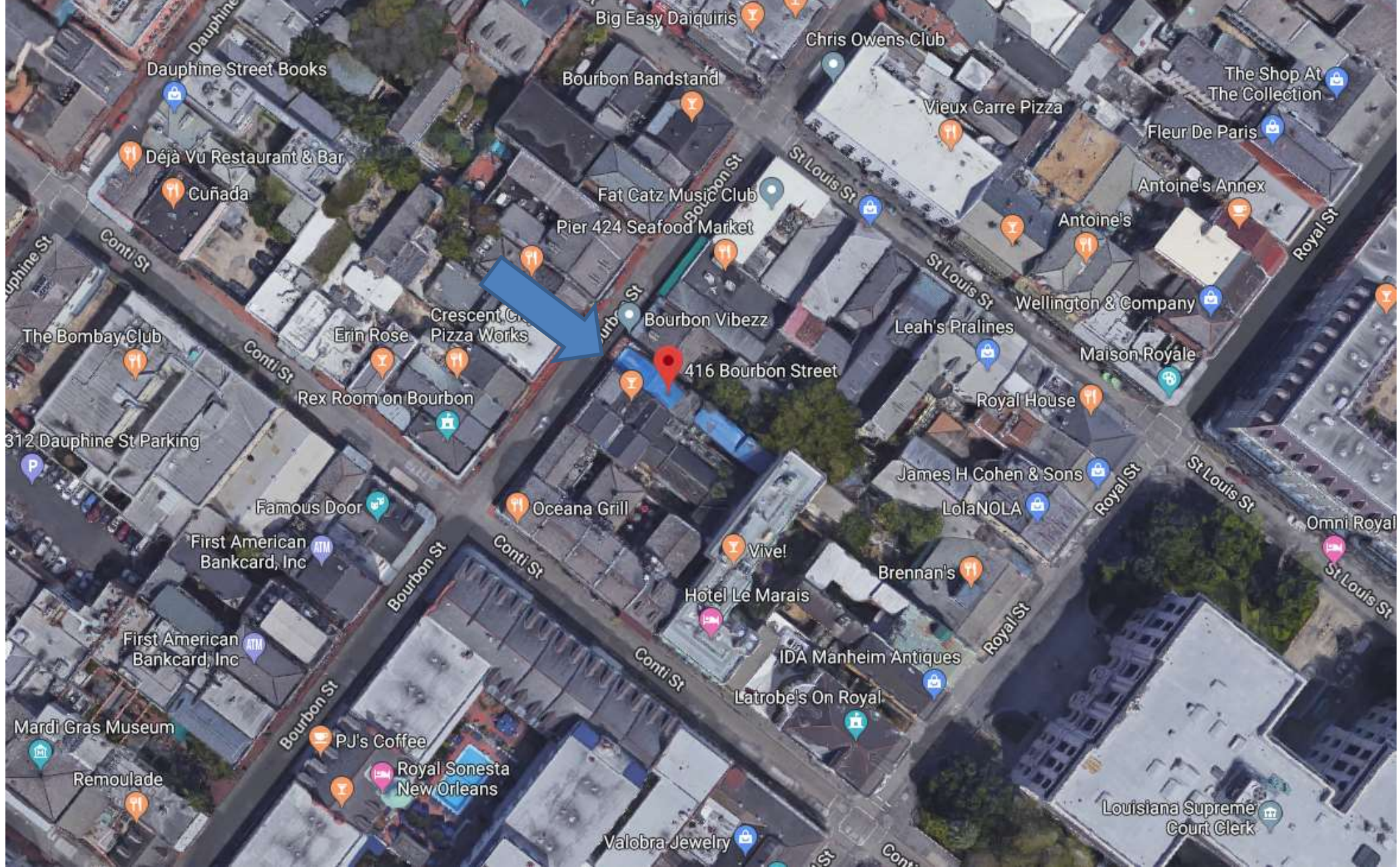
VCC Architectural Committee

January 29, 2019





416 Bourbon



416 Bourbon

VCC Architectural Committee

January 29, 2019





416 Bourbon

VCC Architectural Committee

January 29, 2019



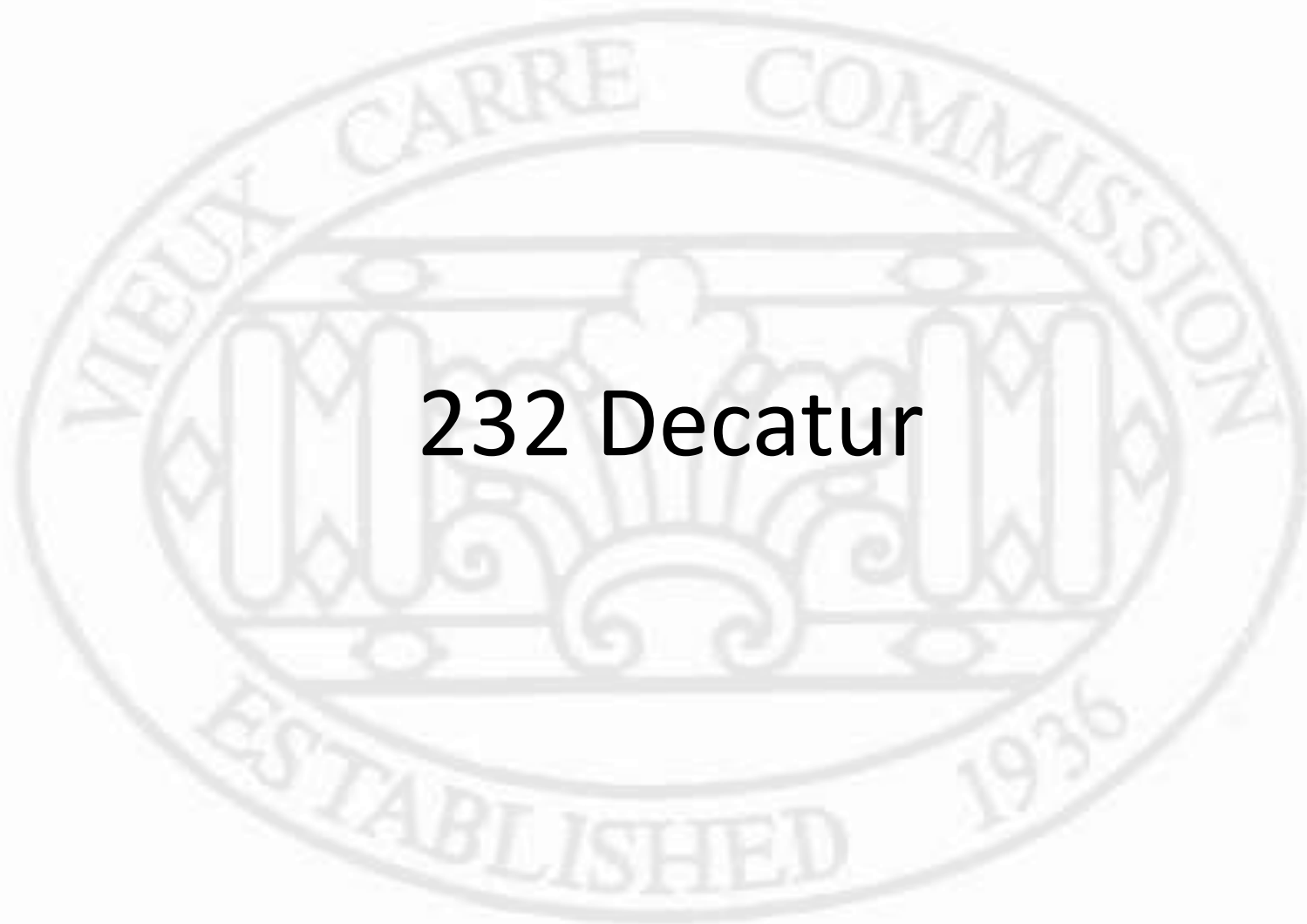


416 Bourbon

VCC Architectural Committee

January 29, 2019





232 Decatur



230 Decatur

Vieux Carré Commission

July 17, 2012



230 Decatur

Vieux Carré Commission

July 17, 2012



230 Decatur

Vieux Carré Commission

July 17, 2012



230 Decatur

Vieux Carré Commission

July 17, 2012



230 Decatur

Vieux Carré Commission

July 17, 2012



230 Decatur

Vieux Carré Commission

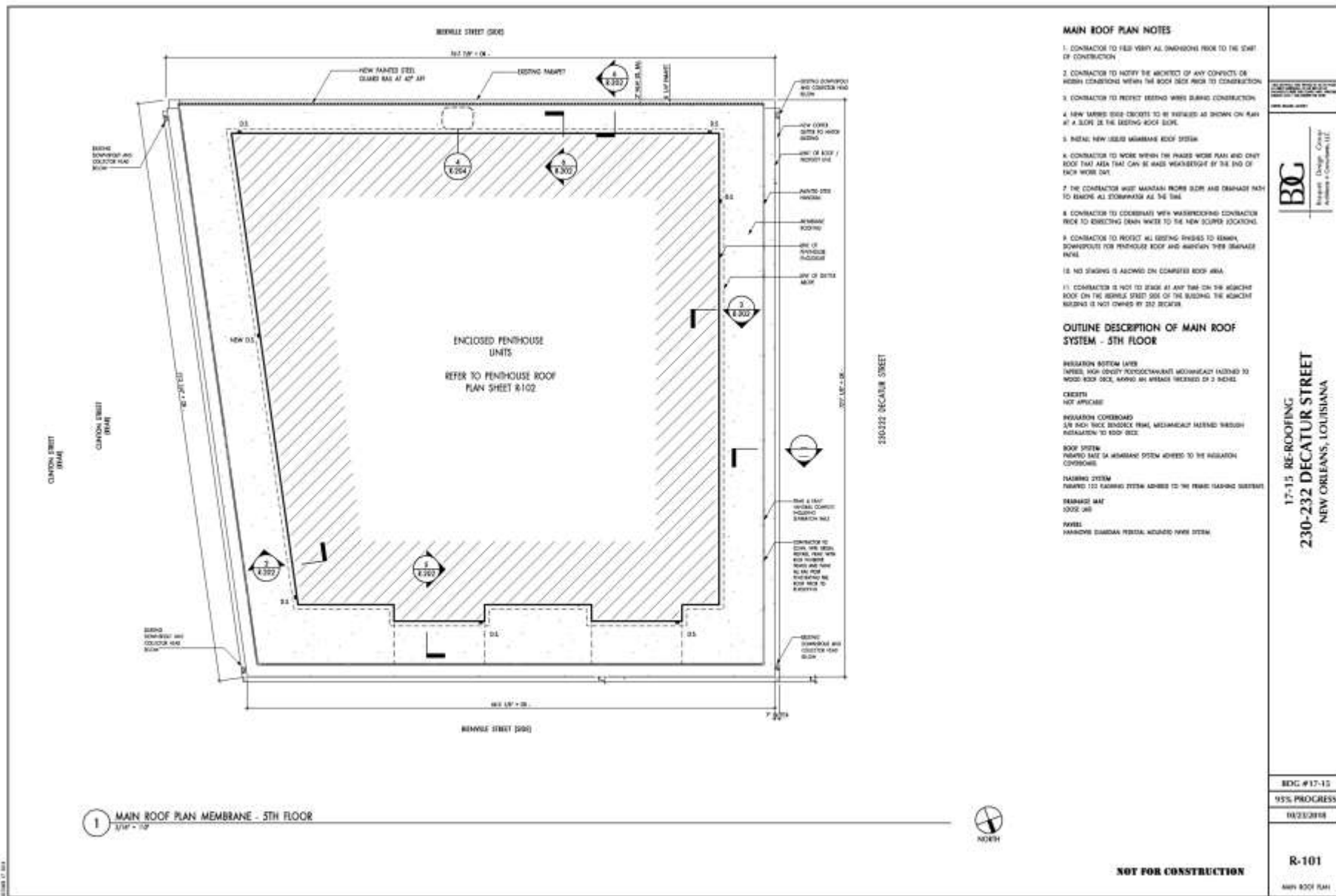
July 17, 2012



230 Decatur

Vieux Carré Commission

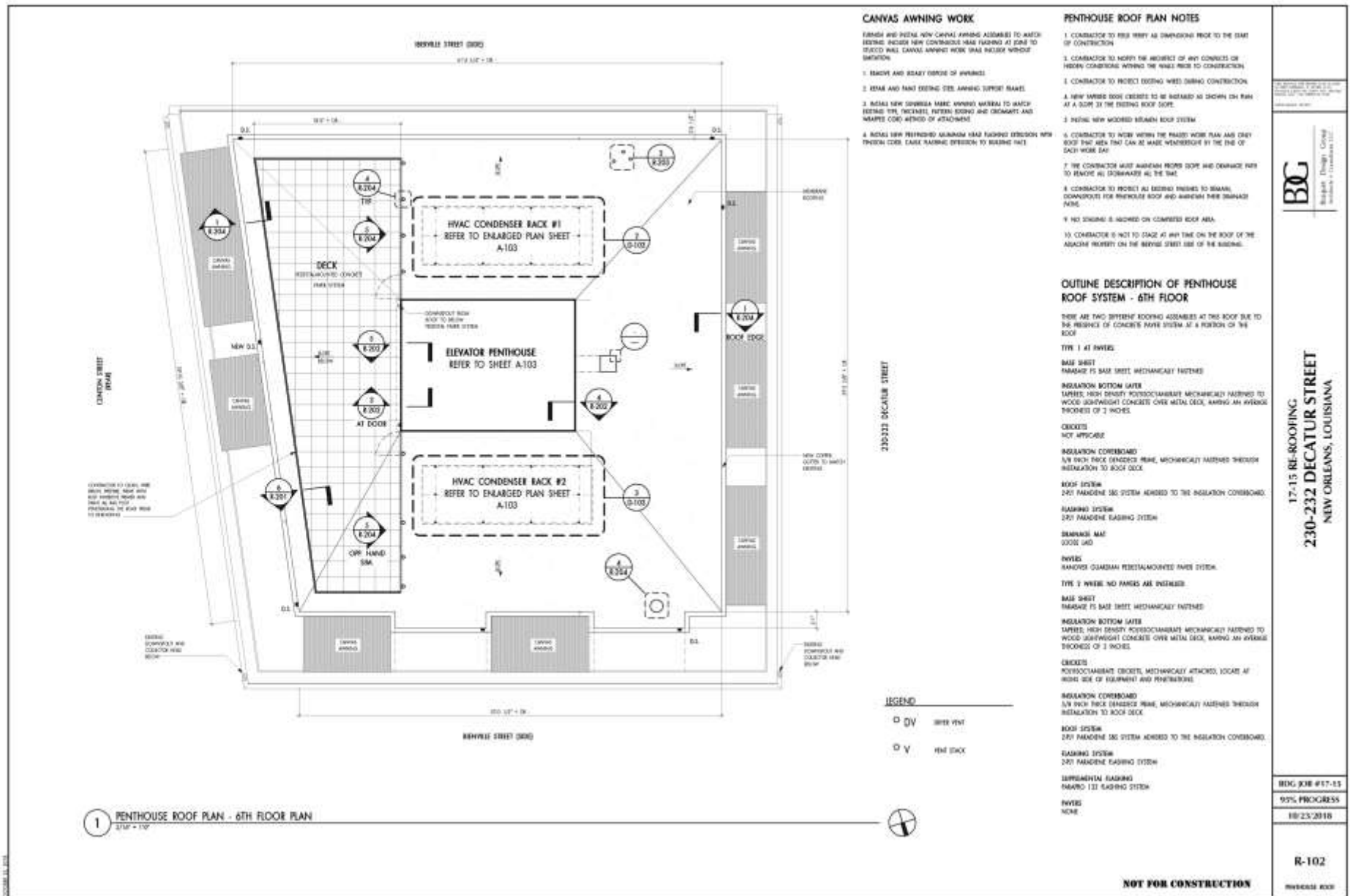
July 17, 2012



230 Decatur

Vieux Carré Commission

July 17, 2012



230 Decatur
 Vieux Carré Commission

July 17, 2012

17-15 RE-ROOFING
 230-232 DECATUR STREET
 NEW ORLEANS, LOUISIANA

BDG JOB #17-15
 95% PROGRESS
 10/23/2010

R-102
 PENTHOUSE ROOF

CANVAS AWNING WORK

- FINISH AND INSTALL NEW CANVAS AWNING ASSEMBLY TO MATCH EXISTING INCLUDE NEW CONDENSER RACK FLASHING AT JOINT TO EXISTING WALL CANVAS AWNING WORK SHALL INCLUDE WHOLE DETAILING
1. MATCH AND READY EDGE OF AWNING
 2. RETAIN AND RAIN EXISTING STEEL AWNING SUPPORT FRAMES
 3. INSTALL NEW DRAINAGE MESH AWNING MATERIAL TO MATCH EXISTING THE FACEMESH, FUTURE ROOFING AND CROCKMATT AND MARKER CODE ATTEND OF ATTACHMENT
 4. RETAIN NEW PREFORMED ALUMINUM HEAD FLASHING DETAILING WITH TYPICAL CODES. EXIST FLASHING DETAILING TO EXISTING WALL

PENTHOUSE ROOF PLAN NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION
2. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONTACT OR INTERFERENCES WITHING THE WALLS PRIOR TO CONSTRUCTION
3. CONTRACTOR TO PROTECT EXISTING WELLS DURING CONSTRUCTION
4. A NEW AWNING ROOF SYSTEM TO BE INSTALLED AS SHOWN ON PLAN AT A DEPTH 2X THE EXISTING ROOF DEPTH
5. INSTALL NEW WOODEN BEAMEN ROOF SYSTEM
6. CONTRACTOR TO WORK WITHIN THE PAVED WORK PLAN AND GRAY ROOF PAVEMENT AREA THAT CAN BE MADE WATERPROOF BY THE TIME OF EACH WORK DAY
7. THE CONTRACTOR MUST AWNING FROM DOOR AND DRAINAGE PANS TO REMOVE ALL DOWNWATER AT THE TIME
8. CONTRACTOR TO PROTECT ALL EXISTING FINISHES TO REMAIN, DOWNWATER FOR PENTHOUSE ROOF AND AWNING FROM DRAINAGE PANS
9. NO STAIRS IS ALLOWED ON COVERED ROOF AREA
10. CONTRACTOR IS NOT TO STAGE AT ANY TIME ON THE ROOF OF THE ADJACENT PROPERTY ON THE BIENVILLE STREET SIDE OF THE BUILDING.

OUTLINE DESCRIPTION OF PENTHOUSE ROOF SYSTEM - 6TH FLOOR

THERE ARE TWO DIFFERENT ROOFING ASSEMBLIES AT THIS ROOF DUE TO THE RESIDUE OF CONCRETE PAVEMENT SYSTEM AT A PORTION OF THE ROOF

TYP 1 AT AWNING:
 BASE SHEET
 FLASHING IS BASE SHEET MECHANICALLY FASTENED
 INSULATION BOTTOM GAPER
 LAYERS: HIGH DENSITY POLYISOCYANURATE MECHANICALLY FASTENED TO WOOD JOIST/WRIGHT CONCRETE OVER METAL DECK, RAVING AN AVERAGE THICKNESS OF 2 INCHES

CHECKS:
 NOT APPLICABLE
 INSULATION COVERBOARD
 1/2 INCH PINK FIBERGLASS FIBRE, MECHANICALLY FASTENED THROUGH INSULATION TO ROOF DECK

ROOF SYSTEM:
 2X1 PARADISE S&S SYSTEM ADHERED TO THE INSULATION COVERBOARD
FLASHING SYSTEM:
 2X1 PARADISE FLASHING SYSTEM

DRAINAGE MAT:
 5000 GPD
INVERT:
 SANDWICH GUARDIAN REINFORCED FIBRE SYSTEM

TYP 2 WHERE NO AWNING ARE INSTALLED:
 BASE SHEET
 FLASHING IS BASE SHEET MECHANICALLY FASTENED
 INSULATION BOTTOM GAPER

LAYERS: HIGH DENSITY POLYISOCYANURATE MECHANICALLY FASTENED TO WOOD JOIST/WRIGHT CONCRETE OVER METAL DECK, RAVING AN AVERAGE THICKNESS OF 2 INCHES
CHECKS:
 POLYISOCYANURATE SHEETS, MECHANICALLY ATTACHED, LOCATE AT RIGHT SIDE OF EQUIPMENT AND PENETRATIONS

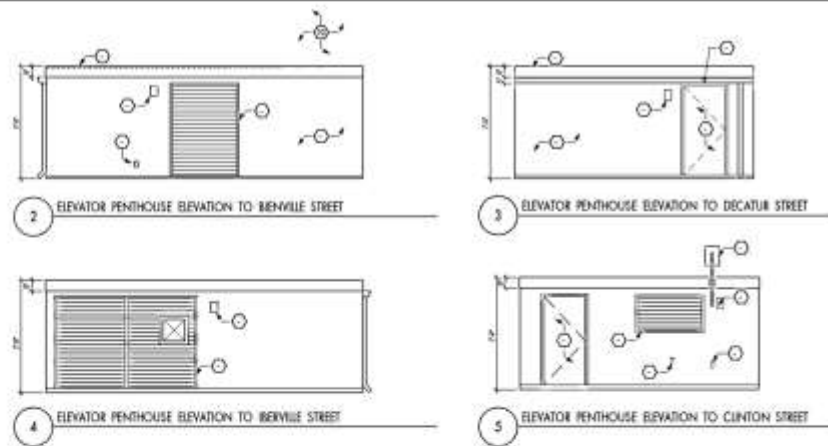
INSULATION COVERBOARD:
 1/2 INCH PINK FIBERGLASS FIBRE, MECHANICALLY FASTENED THROUGH INSULATION TO ROOF DECK

ROOF SYSTEM:
 2X1 PARADISE S&S SYSTEM ADHERED TO THE INSULATION COVERBOARD
FLASHING SYSTEM:
 2X1 PARADISE FLASHING SYSTEM

SUPPLEMENTAL FLASHING:
 1X30 PARADISE FLASHING SYSTEM
INVERT:
 NONE

- LEGEND**
- DV SHEET PANT
 - V NEW DECK

NOT FOR CONSTRUCTION



WATERPROOFING NOTES

1.

CONTRACTOR NOTES

- CONDENSING LINES SHALL BE DAMPED AND LOCKED IN THE DESIGN ARRANGEMENT.
- CONTRACTOR TO NOTIFY BUILDING MANAGEMENT 48 HOURS IN ADVANCE OF PUMP TESTS.
- ALL CONDENSING UNITS SHALL BE SEWERED FROM ROOF CONNECTION TO REFINISHED AT FULL FUNCTION WEIR AND BAGUE SAE.

MECHANICAL NOTES

- CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS TO REVERT PLUMBING CONDENSING LINES BACK TO OPERATION OF ROOF SYSTEM FOR REDUCTION TO HIGHER BACKSUPPORTING IN SAME POSITION.
- MECHANICAL LINES MUST BE CUT AND UNDERLAYS TO SHARE NEW HEIGHT LOCATION.
- ALL EXISTING REMAINING FOR INSULATION TO BE REMOVED FOR BRACKENBY WITH NEW INSULATION.
- RETHROW CONDENSING UNITS WITH REQUIRED ARRANGEMENT TYPIC FOR EACH UNIT.
- REMOVE CONDENSING LINES AND ASSOCIATED LINES AND SYSTEMS TO MEET OR EXCEED PERFORMANCE BACK TO WORKING UNITS.

ELECTRICAL NOTES

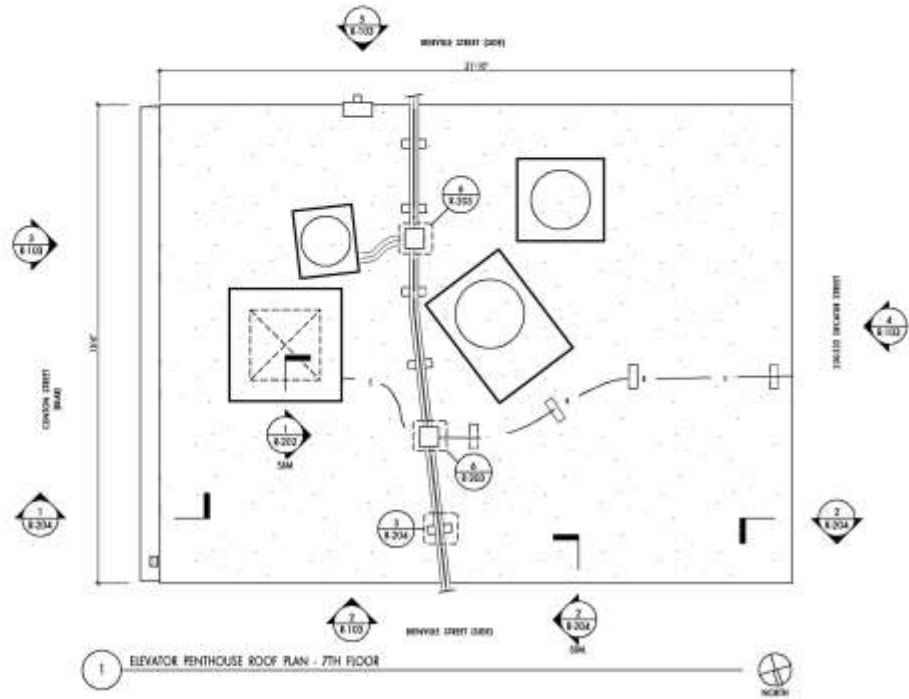
- COORDINATE WITH ROOFING & MECHANICAL CONTRACTORS BACK TO HVAC UNIT MODIFICATIONS.
- REWORK ELECTRICAL CONNECTIONS FOR NEW HEIGHT WORKING ROOF.
- DISCONNECTS ARE TO BE MOUNTED ADJACENT TO THEIR RESPECTIVE UNIT ON NEW FACE.

ELEVATOR PENTHOUSE ROOF PLAN NOTES

- CONTRACTOR TO HELP VERIFY ALL DIMENSIONS BACK TO THE SHEET OF CONSTRUCTION.
- CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS OR PROBLEMS CONCERNING WITH THE ROOF BACK TO CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING WIRES DURING CONSTRUCTION.
- NEW DAMPED SPOUT CHECKETS TO BE INSTALLED AS SHOWN ON PLAN AT A SLOPE OF THE EXISTING ROOF SLOPE.
- INSTALL NEW MODIFIED BITUMEN ROOF SYSTEM.
- CONTRACTOR TO WORK WITHIN THE TRAZED WORK PLAN AND DRY ROOF THAT AREA THAT CAN BE MADE WEATHERIGHT BY THE END OF EACH WORK DAY.
- THE CONTRACTOR MUST MAINTAIN PROPER SLOPE AND DRAINAGE PATH TO REMOVAL AS DEMANDER AS THE TIME.
- CONTRACTOR TO PROTECT ALL EXISTING FINISHES TO REMAIN, DOWNPOUTS FOR PENTHOUSE ROOF AND MAINTAIN THEIR DRAINAGE PATHS.
- NO SLOPING IS ALLOWED ON COMPLETED ROOF AREA.

OUTLINE DESCRIPTION OF ELEVATOR PENTHOUSE ROOF SYSTEM - 7TH FLOOR

- INSULATION BOTTOM SYSTEM (MAYBE HIGH DENSITY POLYSTYRENE) HAVING AN AVERAGE THICKNESS OF 2 INCHES, UNIFORMLY LAYED TO MEET CODE.
- TYPICAL INSULATION (MAYBE POLYURETHANE)
- CEILING: POLYURETHANE CEILING
- INSULATION COVERBOARD: 3/8 INCH THICK DENSURE RIMUL, MECHANICALLY FASTENED THROUGH INSULATION TO ROOF DECK.
- ROOF SYSTEM: 2X7 FINISHING ROOF SYSTEM
- FLASHING SYSTEM: 2X7 FINISHING ROOF SYSTEM

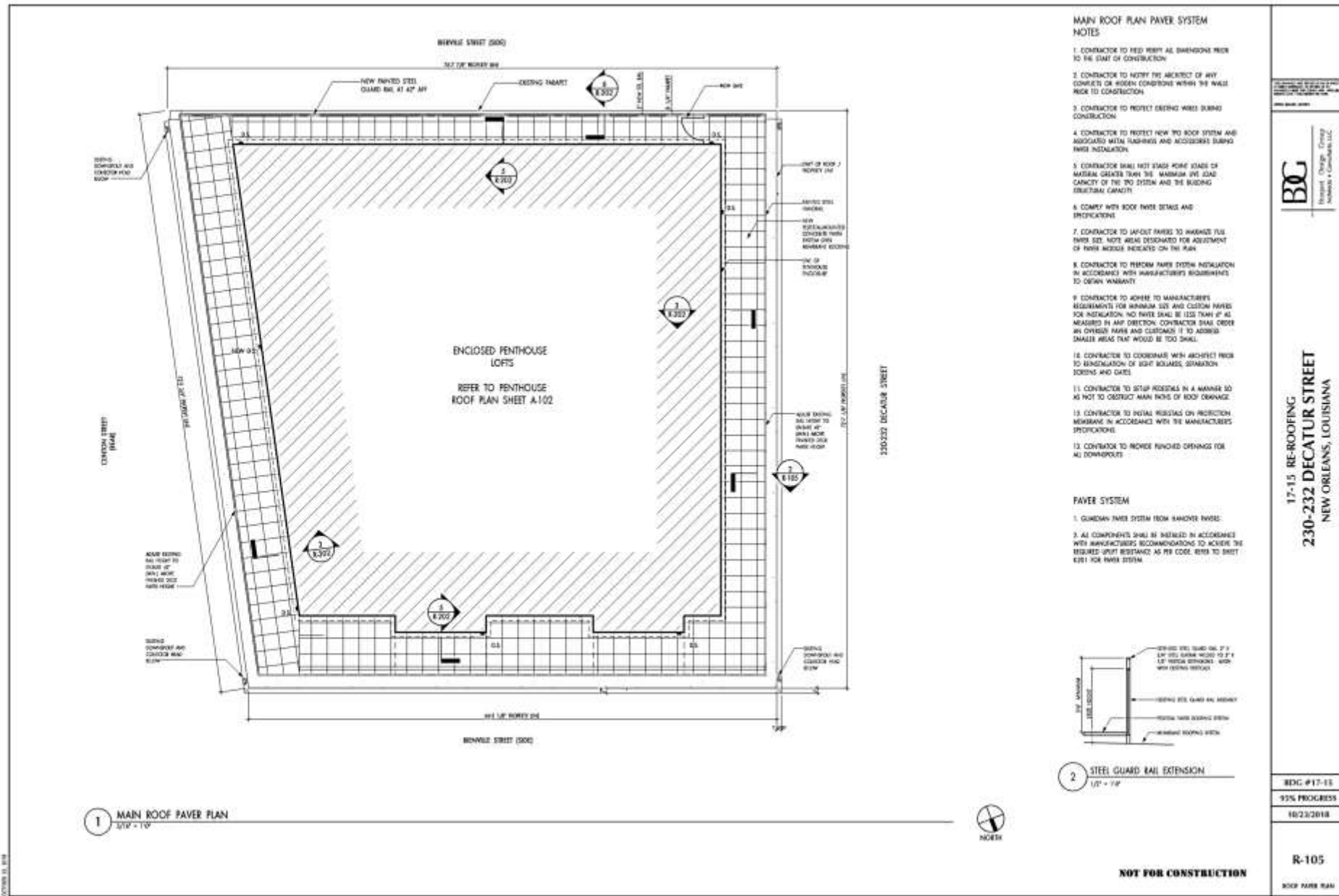


BC
 Building
 Design
 Group
 Architects & Engineers

17-15 RE-ROOFING
 230-232 DECATUR STREET
 NEW ORLEANS, LOUISIANA

BCG #17-15
 95% PROGRESS
 10/21/2018
 R-103
 ELEVATOR PENTHOUSE
 ROOF & SERVICES

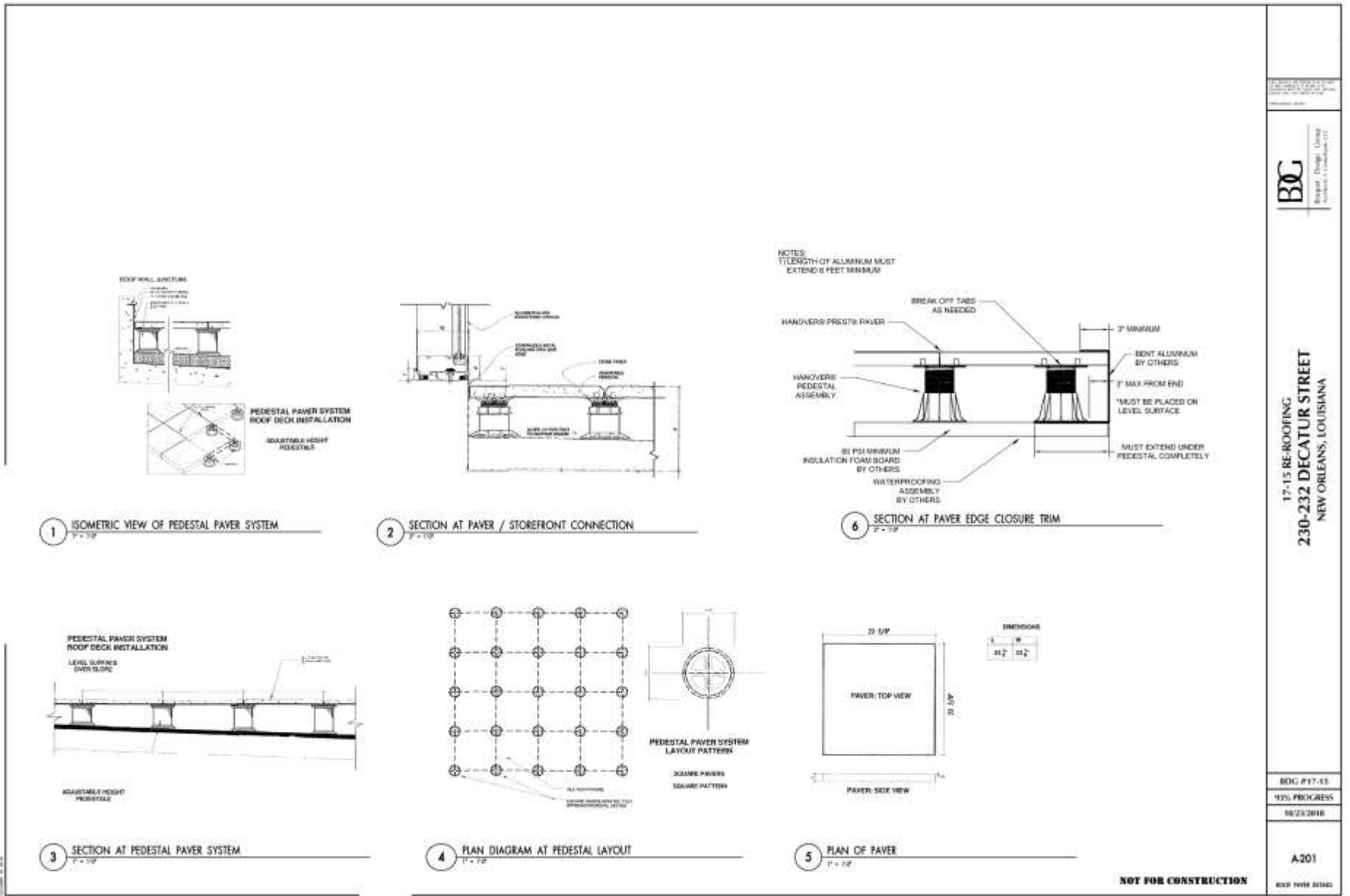
NOT FOR CONSTRUCTION



230 Decatur

Vieux Carré Commission

July 17, 2012



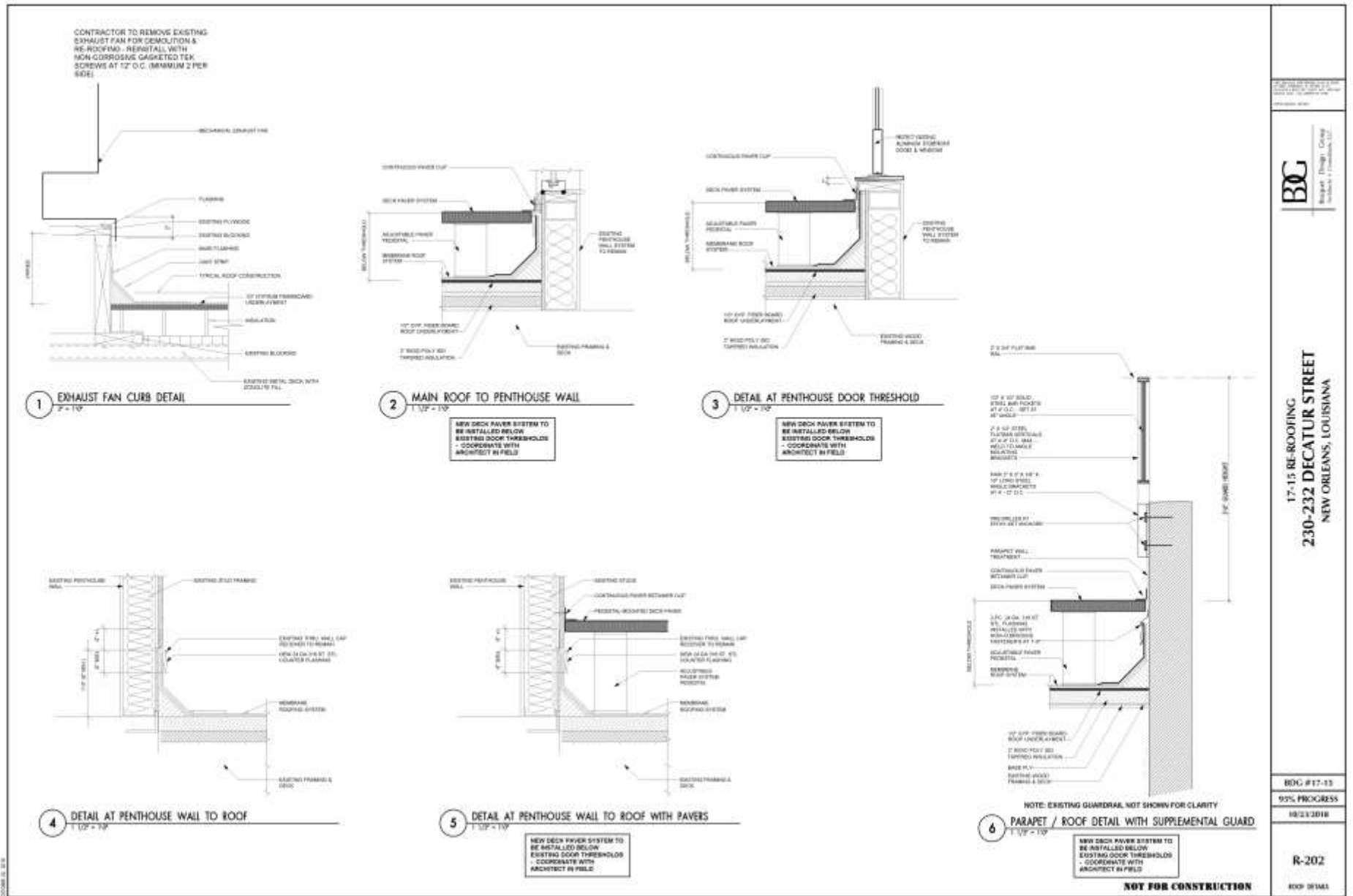
BCG
Building Design Group
Architects (Louisiana)

17-15 RE-ROOFING
230-232 DECATUR STREET
NEW ORLEANS, LOUISIANA

BDG #17-15
93% PROGRESS
08/23/2018

A201
ROOF PAVES DETAILS

NOT FOR CONSTRUCTION



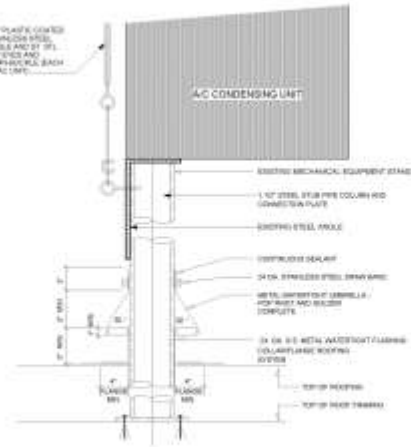
17-15 RE-ROOFING
230-232 DECATUR STREET
NEW ORLEANS, LOUISIANA

BDG #17-15
95% PROGRESS
10/23/2018
R-202
ROOF DETAILS

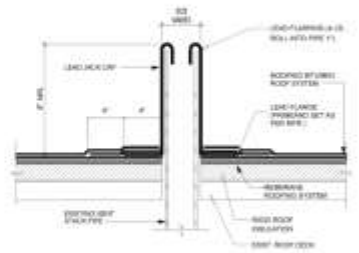
230 Decatur

Vieux Carré Commission

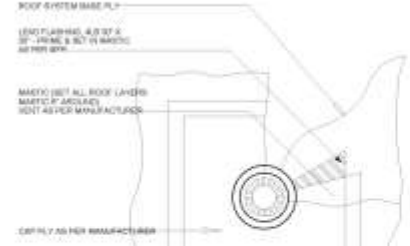
July 17, 2012



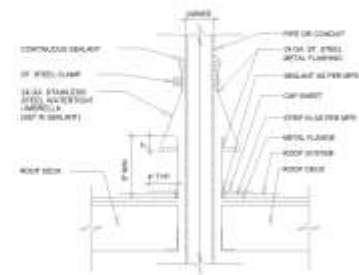
1 HVAC CONDENSER SUPPORT POST DETAIL
1/2" = 1'-0"



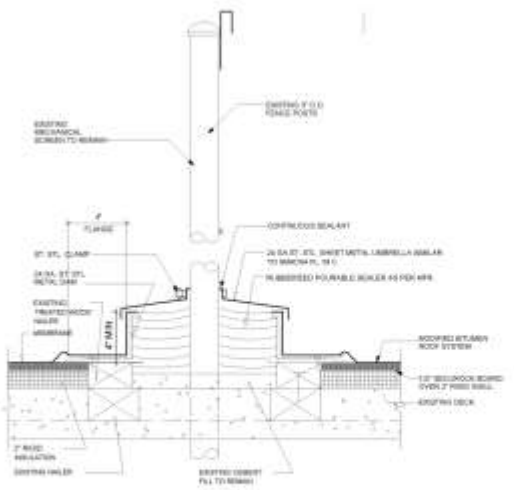
2 TYPICAL VENT STACK
1/2" = 1'-0"



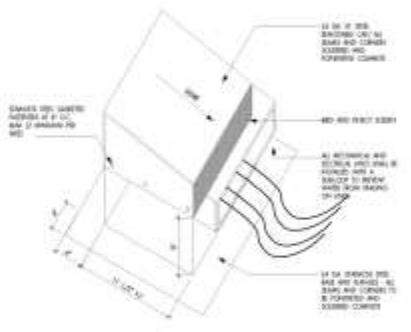
3 PLAN AT VENT STACK
1" = 1'-0"



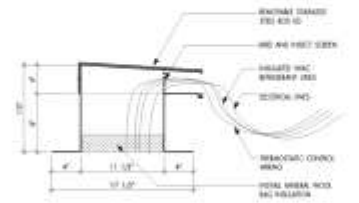
4 ROOF PENETRATION FLASHING
1/2" = 1'-0"



5 ROOF AT EXIST. MECHANICAL SCREEN POSTS
1/2" = 1'-0"



6 MECHANICAL PENETRATION BOX
1/2" = 1'-0"



7 SECTION DIAGRAM AT MECHANICAL PENETRATION BOX
1/2" = 1'-0"



17-15 RE-ROOFING
230-232 DECATUR STREET
NEW ORLEANS, LOUISIANA

BCG #17-15
95% PROGRESS
10/23/2018

R-203

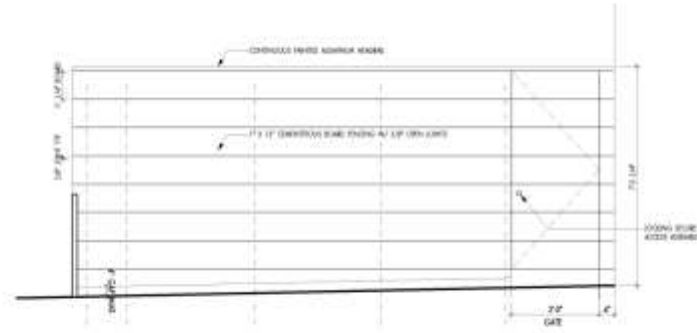
NOT FOR CONSTRUCTION

BCG 10/23/18

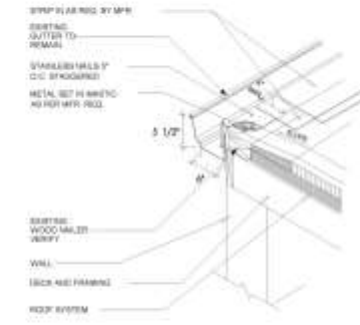
230 Decatur

Vieux Carré Commission

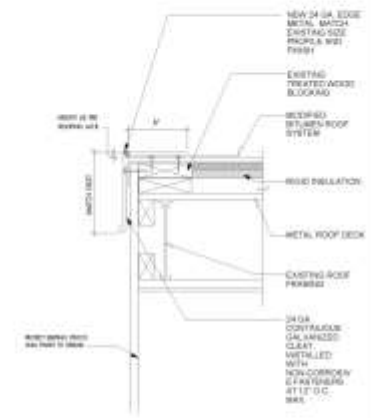
July 17, 2012



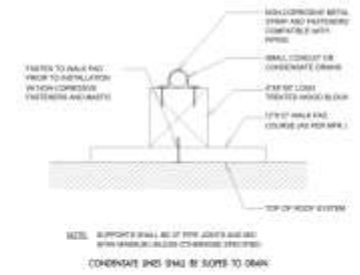
5 FENCE ELEVATION (PENTHOUSE ROOF)
1/12" = 1'-0"



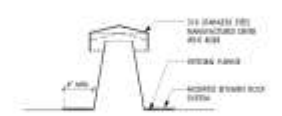
1 ROOF EDGE (PENTHOUSE ROOF)
1/12" = 1'-0"



2 FLASHING EDGE AT ROOF EDGE
1/2" = 1'-0"



3 TYPICAL ROOF TOP PIPE SUPPORT
1/2" = 1'-0"



4 MANUFACTURED DRYER VENT RISER
1/12" = 1'-0"

NOT FOR CONSTRUCTION



17-15 RE-ROOFING
230-232 DECATUR STREET
NEW ORLEANS, LOUISIANA

BDG #17-15
95% PROGRESS
10/23/2018

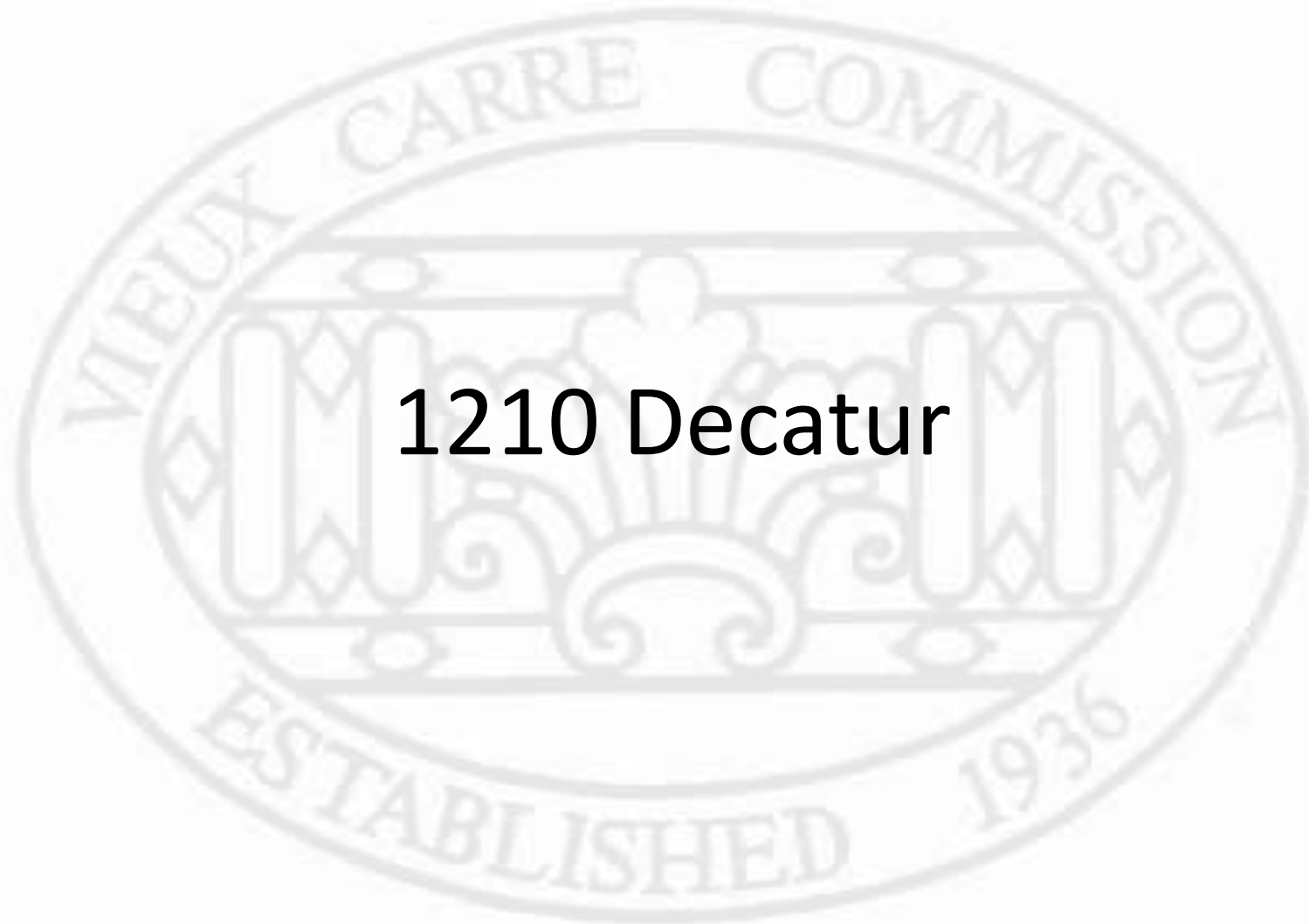
R204
ROOF DRAIN
ROOFING

10/23/2018

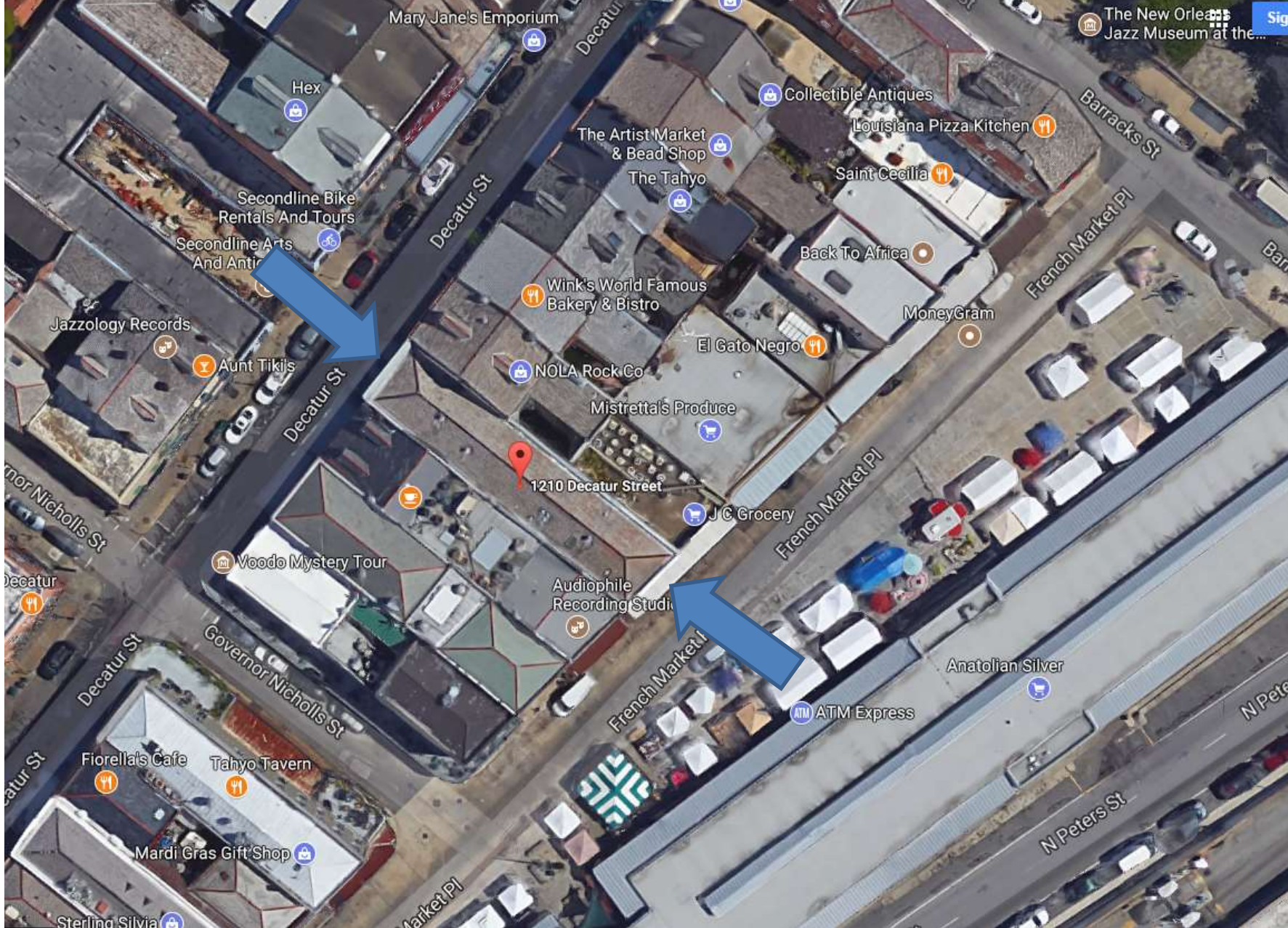
230 Decatur

Vieux Carré Commission

July 17, 2012



1210 Decatur



1210-1214 Decatur/ 63 French Market Place

VCC Architectural Committee

January 29, 2019





1210-1214 Decatur/ 63 French Market Place

VCC Architectural Committee

January 29, 2019





1210-1214 Decatur/ 63 French Market Place

VCC Architectural Committee

January 29, 2019





1210-1214 Decatur
VCC Architectural Committee

January 29, 2019





1210-1214 Decatur

VCC Architectural Committee

January 29, 2019





1210-1214 Decatur
VCC Architectural Committee

01 18 2019

January 29, 2019





1210-1214 Decatur

VCC Architectural Committee

January 29, 2019







1210-1214 Decatur
VCC Architectural Committee

January 29, 2019





1210-1214 Decatur
VCC Architectural Committee

January 29, 2019





1210-1214 Decatur
VCC Architectural Committee

January 29, 2019



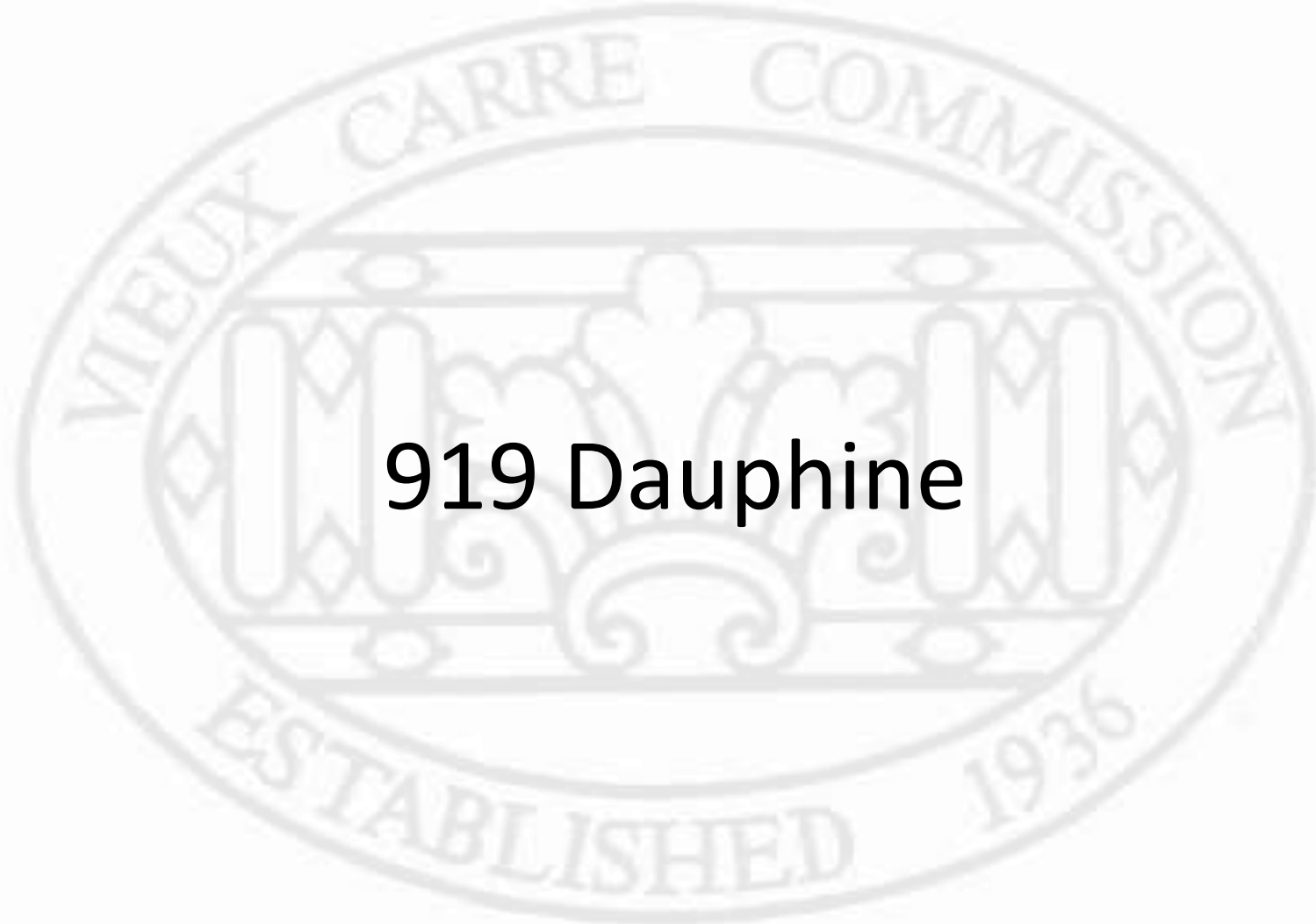


1210-1214 Decatur

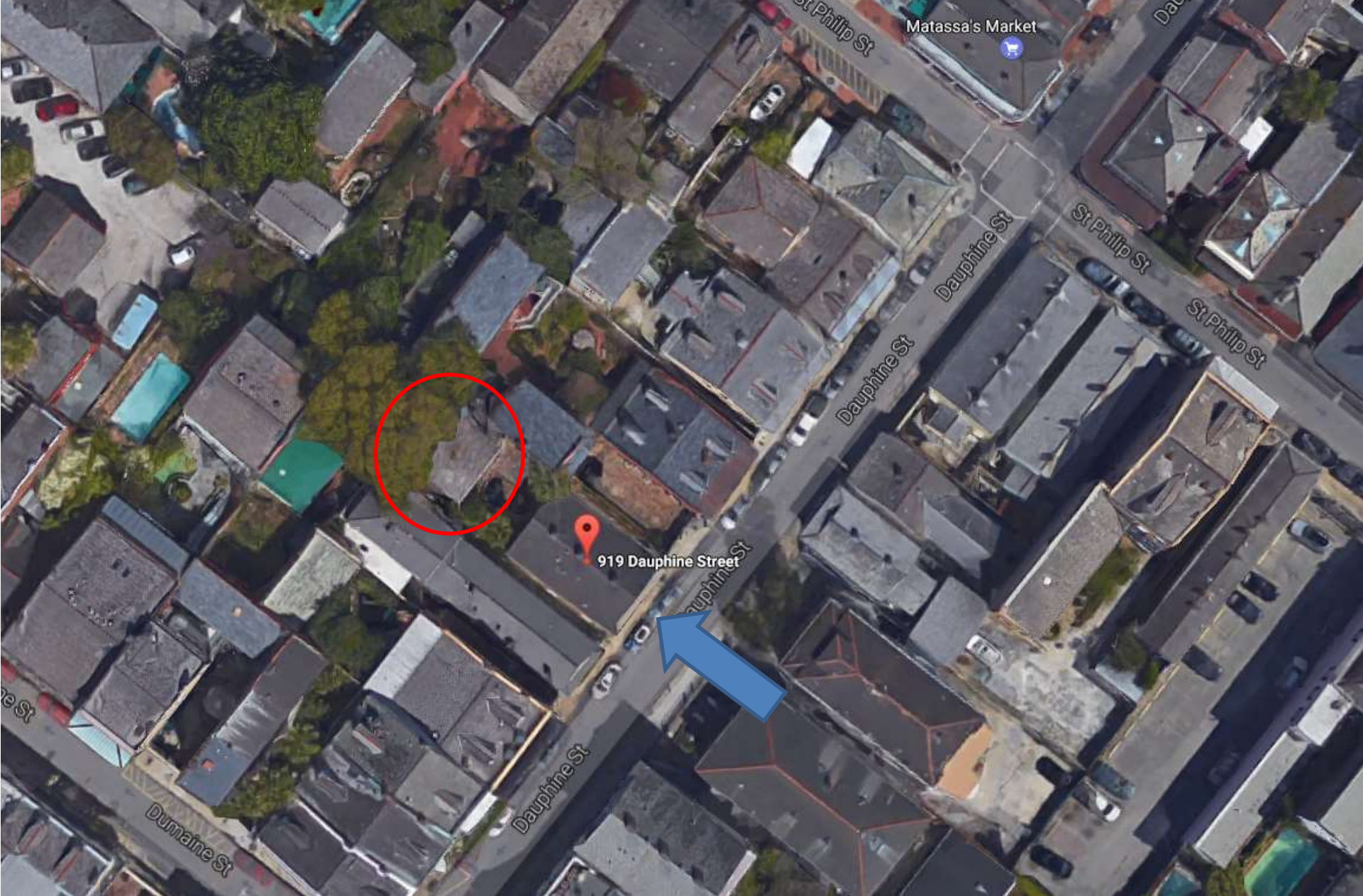
VCC Architectural Committee

January 29, 2019





919 Dauphine



919 Dauphine



919 Dauphine



919 Dauphine



919 Dauphine



919 Dauphine



919 Dauphine



919 Dauphine



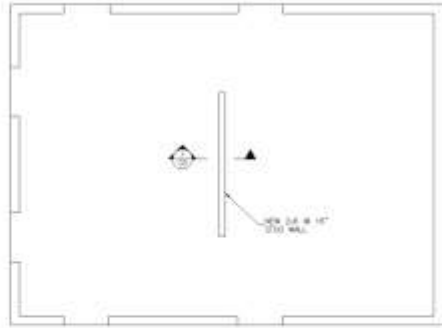
919 Dauphine



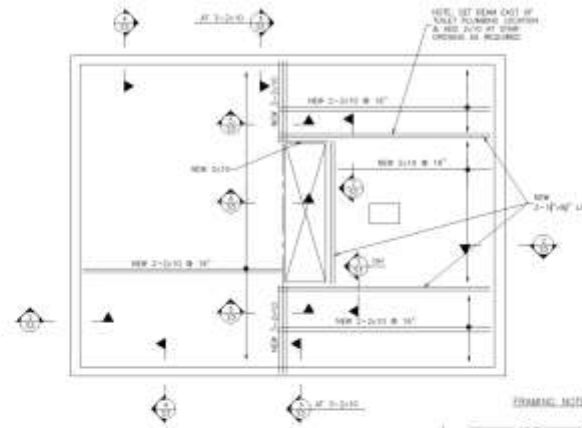
919 Dauphine



919 Dauphine

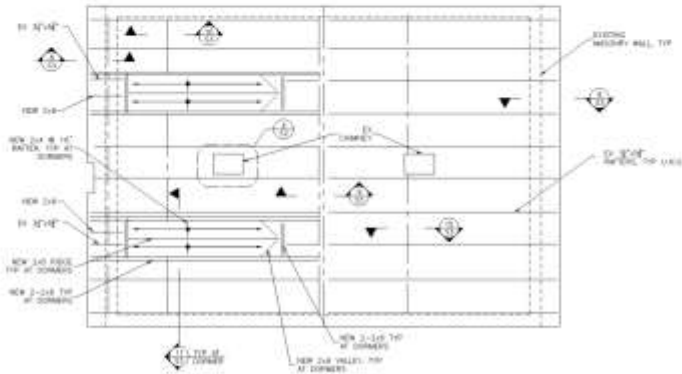


FOUNDATION PLAN
1/4" = 1'-0"



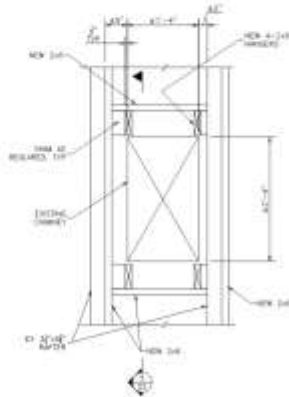
- FRAMING NOTES:**
1. JOISTS: 2-1/2" x 12" S-P DOGWOOD 12" ON CENTER
 2. ALL JOISTS IN CONTACT WITH CONCRETE AND MASONRY SHALL BE 2-2"x10" UNLESS NOTED OTHERWISE.
 3. SEE SHEET S1 FOR "GENERAL STRUCTURAL NOTES".

2ND FLOOR FRAMING PLAN
1/4" = 1'-0"

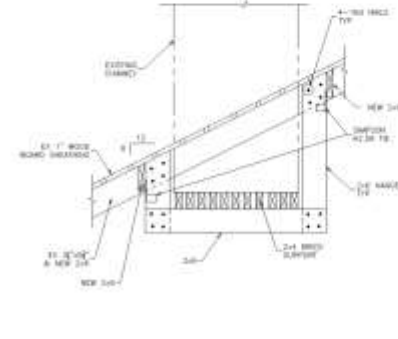


- ROOF FRAMING NOTES:**
1. JOISTS: 2-1/2" x 12" S-P DOGWOOD 12" ON CENTER
 2. SEE SHEET S1 FOR "GENERAL STRUCTURAL NOTES".
 3. SEE SHEET S1 FOR "GENERAL STRUCTURAL NOTES".

ROOF FRAMING PLAN
1/4" = 1'-0"



ENLARGED PLAN AT CHIMNEY
1" = 1'-0"



SECTION
1" = 1'-0"



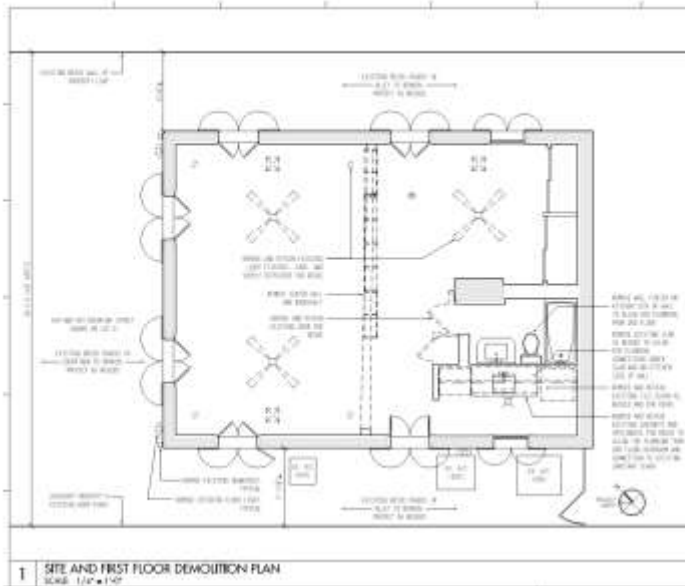
John C. Bose
Professional Engineer
A PROFESSIONAL LIMITED LIABILITY COMPANY
NEW ORLEANS, LOUISIANA 70112
(504) 884-0041

JOHN C. BOSE, CONSULTING ENGINEER
A PROFESSIONAL LIMITED LIABILITY COMPANY
NEW ORLEANS, LOUISIANA 70112
(504) 884-0041

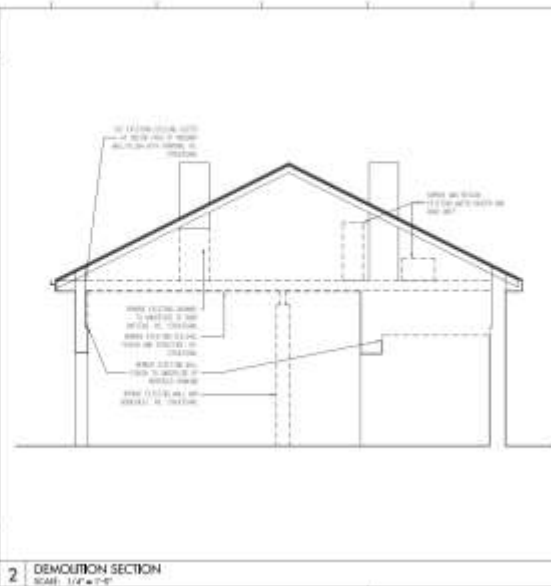
RENOVATION
919 DAUPHINE STREET
NEW ORLEANS, LOUISIANA

DATE: 1/12/19
BY: JCB
SCALE: AS SHOWN
SHEET NO: 20
S2





1 SITE AND FIRST FLOOR DEMOLITION PLAN
SCALE: 1/2" = 1'-0"



2 DEMOLITION SECTION
SCALE: 1/2" = 1'-0"

DEMOLITION PLAN NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA, AND THE FEDERAL AND STATE REGULATIONS AND ORDINANCES.

KEY

- EXISTING WALL
- EXISTING MASONRY WALL
- REMOVE

919 DAUPHINE STREET

LEE LEDBETTER & ASSOCIATES
ARCHITECTURE
1225 St. Charles Avenue, Suite 200
New Orleans, Louisiana 70130
415.302.6424
lee.ledbetter@leeledbetter.com

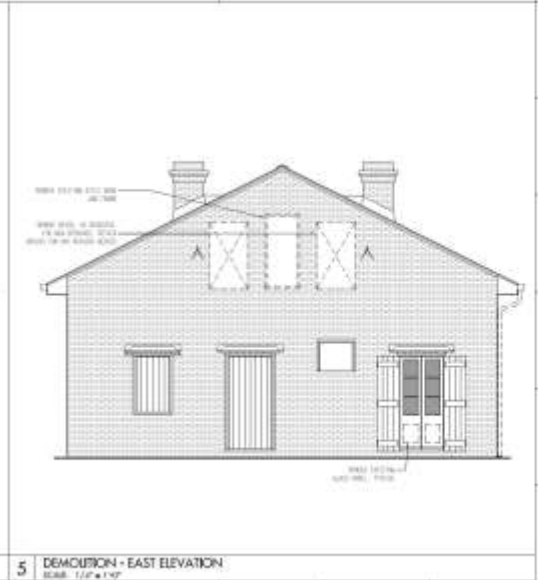
professional engineer



3 DEMOLITION - NORTH ELEVATION
SCALE: 1/2" = 1'-0"



4 DEMOLITION - WEST ELEVATION
SCALE: 1/2" = 1'-0"



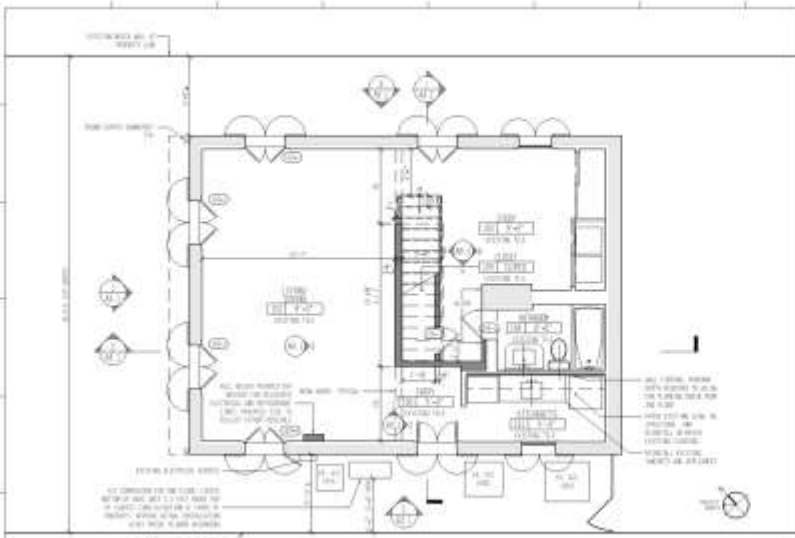
5 DEMOLITION - EAST ELEVATION
SCALE: 1/2" = 1'-0"

PROJECT NO.: 1019
DATE: 11 JANUARY 2019

PHASE: CONSTRUCTION DOCUMENTS

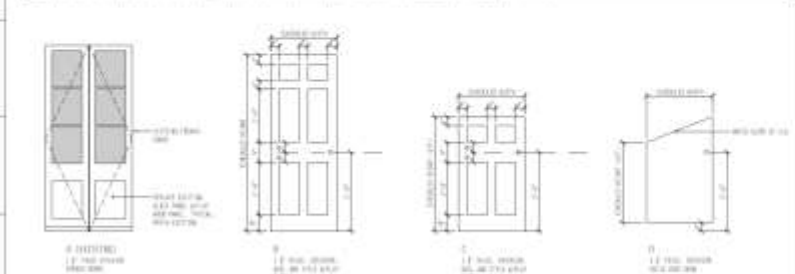
D1.1



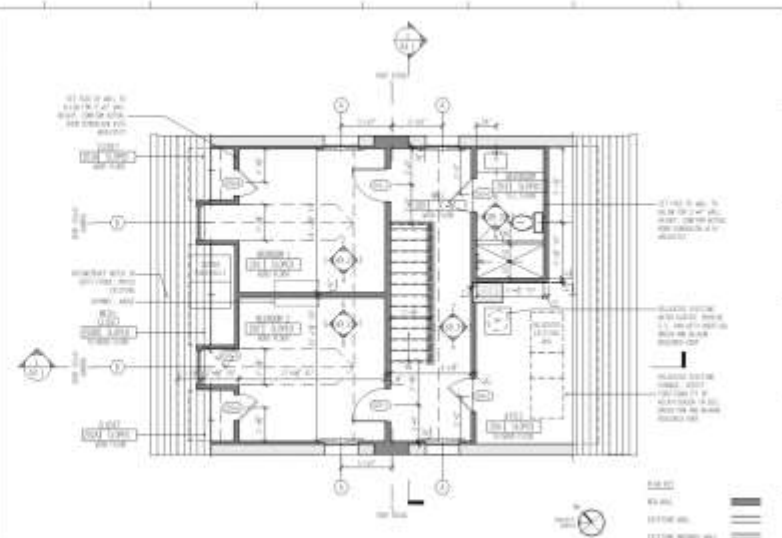


1 SITE AND FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

| NO. | SIZE | | TYPE | MATERIAL | FINISH | ACCESS | HEIGHT | FRAME | | GLASS | SILL | HANDLE |
|------|-------|--------|------|----------|--------|--------|--------|-------------|-------------|-------------|-------------|--|
| | WIDTH | HEIGHT | | | | | | MATERIAL | FINISH | | | |
| 10-1 | - | - | 8 | WOOD | PTD | - | - | - | - | - | - | REPLACE WITH ALUM. PANELS WITH WOOD FINISH |
| 10-2 | - | - | 8 | WOOD | PTD | - | - | - | - | - | - | REPLACE WITH ALUM. PANELS WITH WOOD FINISH |
| 10-3 | - | - | 8 | WOOD | PTD | - | - | - | - | - | - | REPLACE WITH ALUM. PANELS WITH WOOD FINISH |
| 10-4 | - | - | 8 | WOOD | PTD | - | - | - | - | - | - | REPLACE WITH ALUM. PANELS WITH WOOD FINISH |
| 10-1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-2 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-3 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-4 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-2 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-3 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-4 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 10-1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |



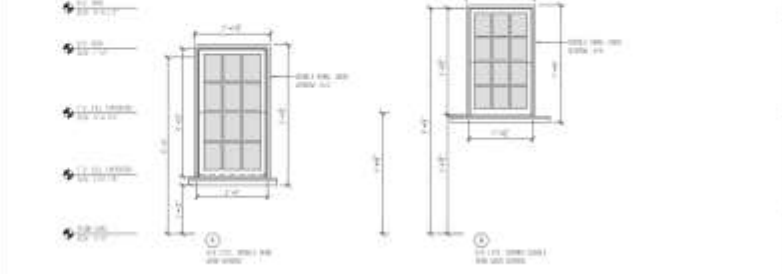
3 DOOR SCHEDULE AND TYPES
SCALE: 1/2" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

| NO. | SIZE | | TYPE | MATERIAL | FINISH | ACCESS | HEIGHT | FRAME | | GLASS | SILL | HANDLE |
|-----|-------|--------|------|----------|--------|--------|--------|-------------|-------------|-------------|-------------|--------------------|
| | WIDTH | HEIGHT | | | | | | MATERIAL | FINISH | | | |
| 1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 2 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 3 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |

| NO. | SIZE | | TYPE | MATERIAL | FINISH | ACCESS | HEIGHT | FRAME | | GLASS | SILL | HANDLE |
|-----|-------|--------|------|----------|--------|--------|--------|-------------|-------------|-------------|-------------|--------------------|
| | WIDTH | HEIGHT | | | | | | MATERIAL | FINISH | | | |
| 1 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 2 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |
| 3 | 2'-0" | 1'-3" | 8 | WOOD | PTD | - | WOOD | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 1/2" x 1/2" | 6-USE EXISTING SWG |



4 WINDOW SCHEDULE AND TYPES
SCALE: 1/2" = 1'-0"

919 DAUPHINE STREET



LEE LEDBETTER & ASSOCIATES
ARCHITECTURE
1055 St. Charles Avenue, Suite 202
New Orleans, Louisiana 70130
t 504.556.7600
f 504.556.7648

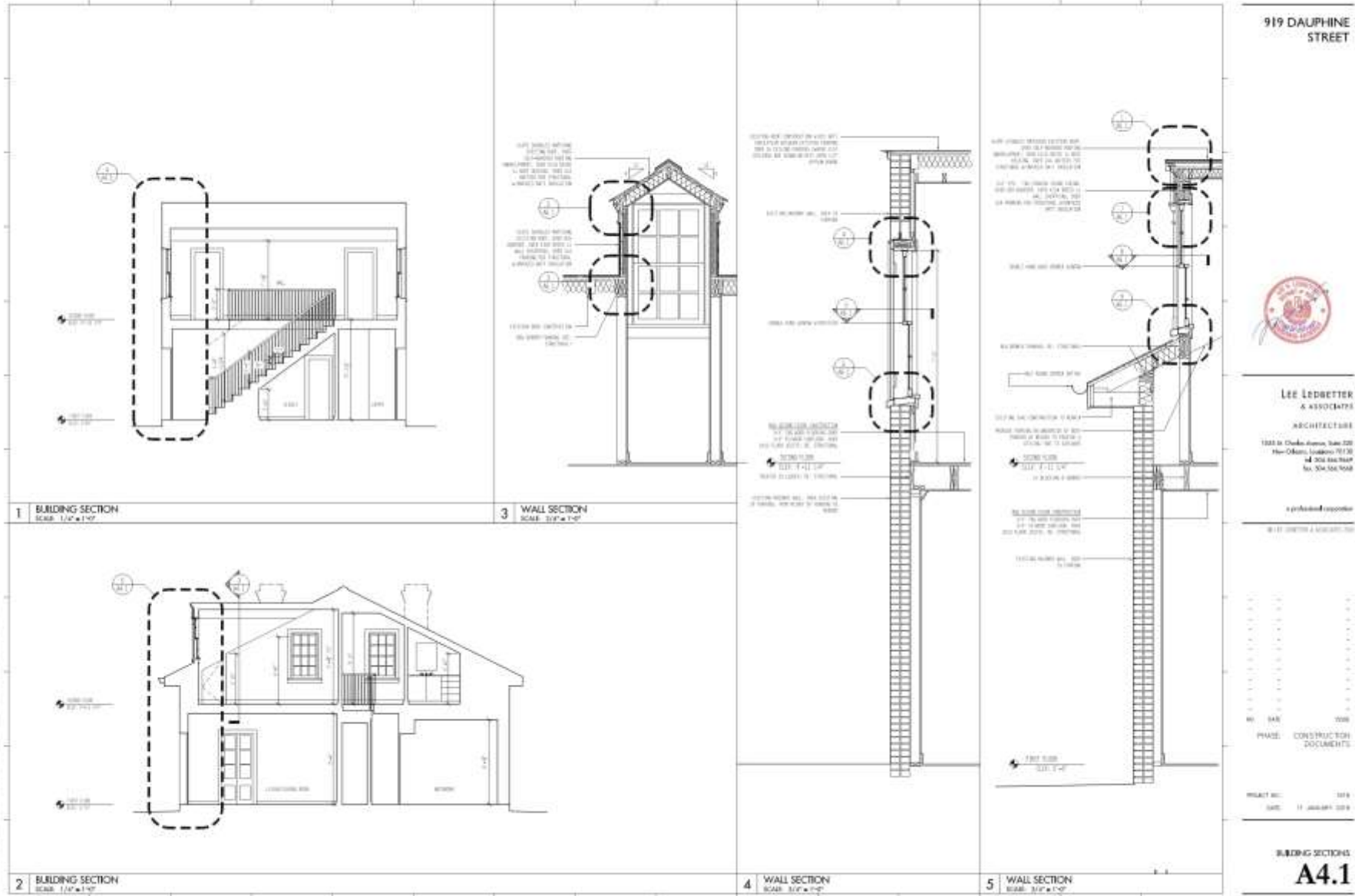
in professional cooperation
with LEEDBETTER & ASSOCIATES, INC.

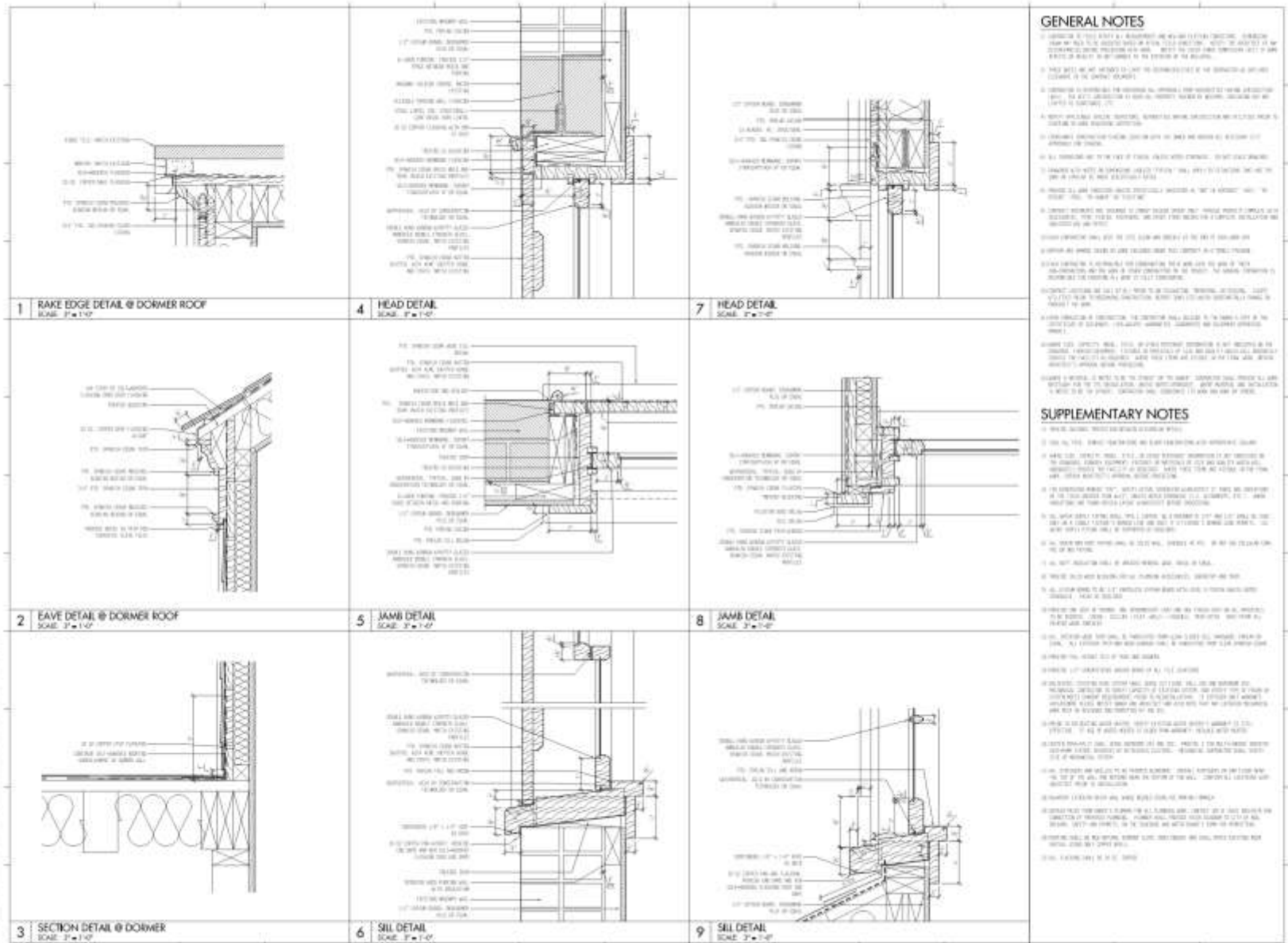
NO. 1000
PHASE: CONSTRUCTION DOCUMENTS

PROJECT NO. 4119
DATE: 11 JANUARY 2019

FLOOR PLANS AND SCHEDULES
A1.1







919 DAUPHINE STREET



LEE LEDBETTER & ASSOCIATES
 ARCHITECTURE
 1000 St. Charles Avenue, Suite 200
 New Orleans, Louisiana 70130
 Tel: 504.586.9448
 Fax: 504.586.9448

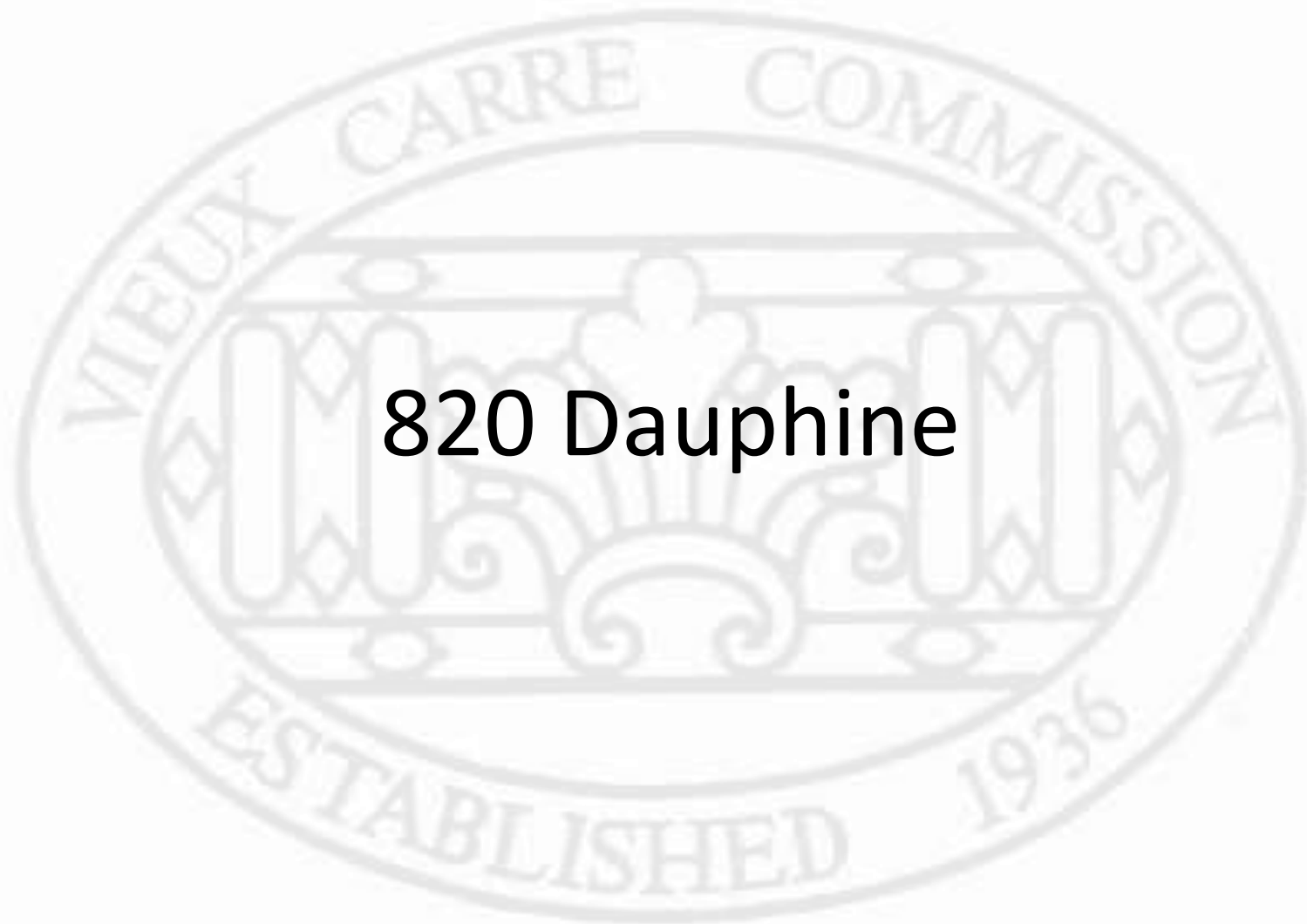
ryledbetter@comcast.net
 504.586.9448 x1000

| | | |
|-----|------|-------|
| NO. | DATE | ISSUE |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |
| 11 | | |
| 12 | | |
| 13 | | |
| 14 | | |
| 15 | | |
| 16 | | |
| 17 | | |
| 18 | | |
| 19 | | |
| 20 | | |

PHASE: CONSTRUCTION DOCUMENTS
 DRAWING NO.: 919
 DATE: 11 JANUARY 2019

EXTERIOR DETAILS
A6.1





820 Dauphine



820 Dauphine



820 Dauphine





820 Dauphine





820 Dauphine – c. 1950



820 Dauphine



820 Dauphine







820 Dauphine

VCC Architectural Committee

July 10, 2018



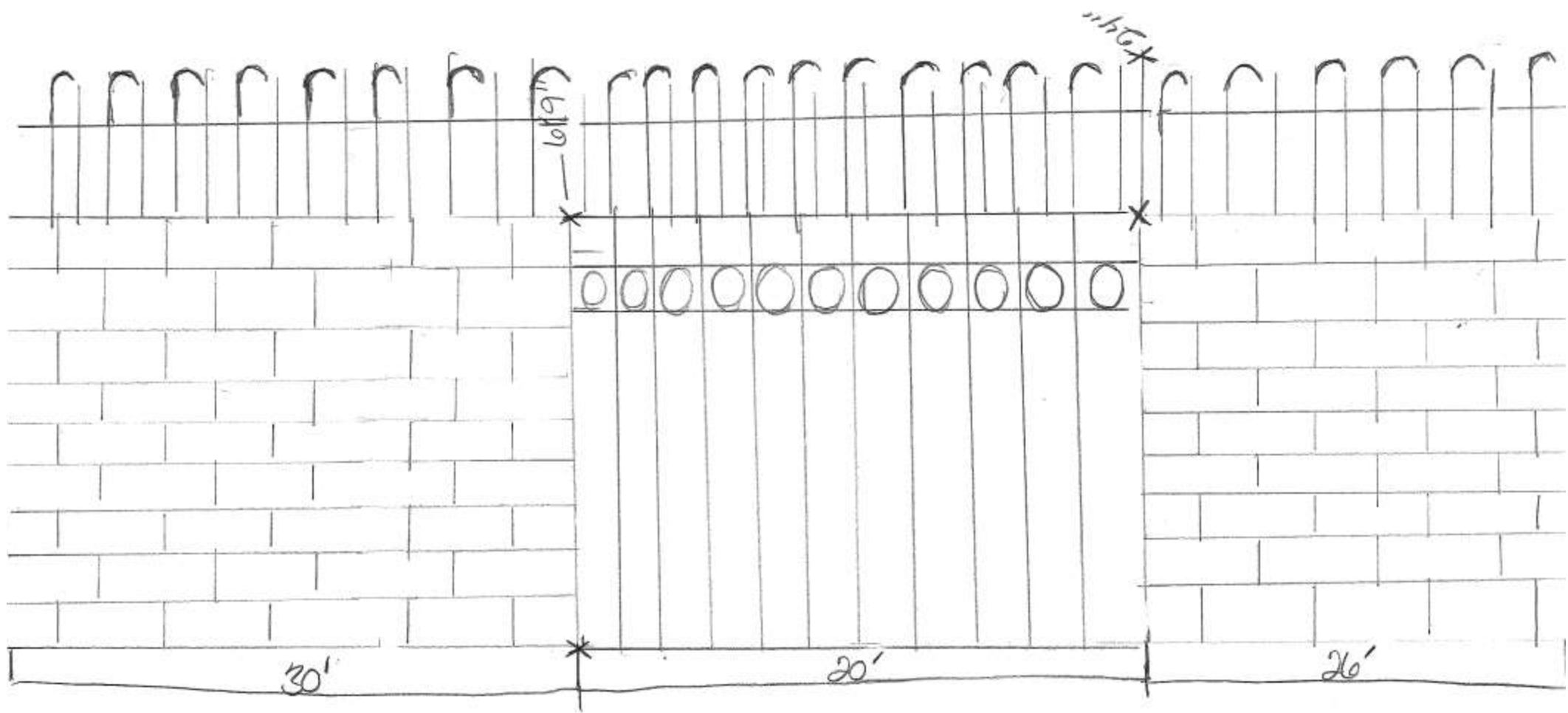


820 Dauphine

VCC Architectural Committee

July 10, 2018





820 Dauphine

VCC Architectural Committee

July 10, 2018



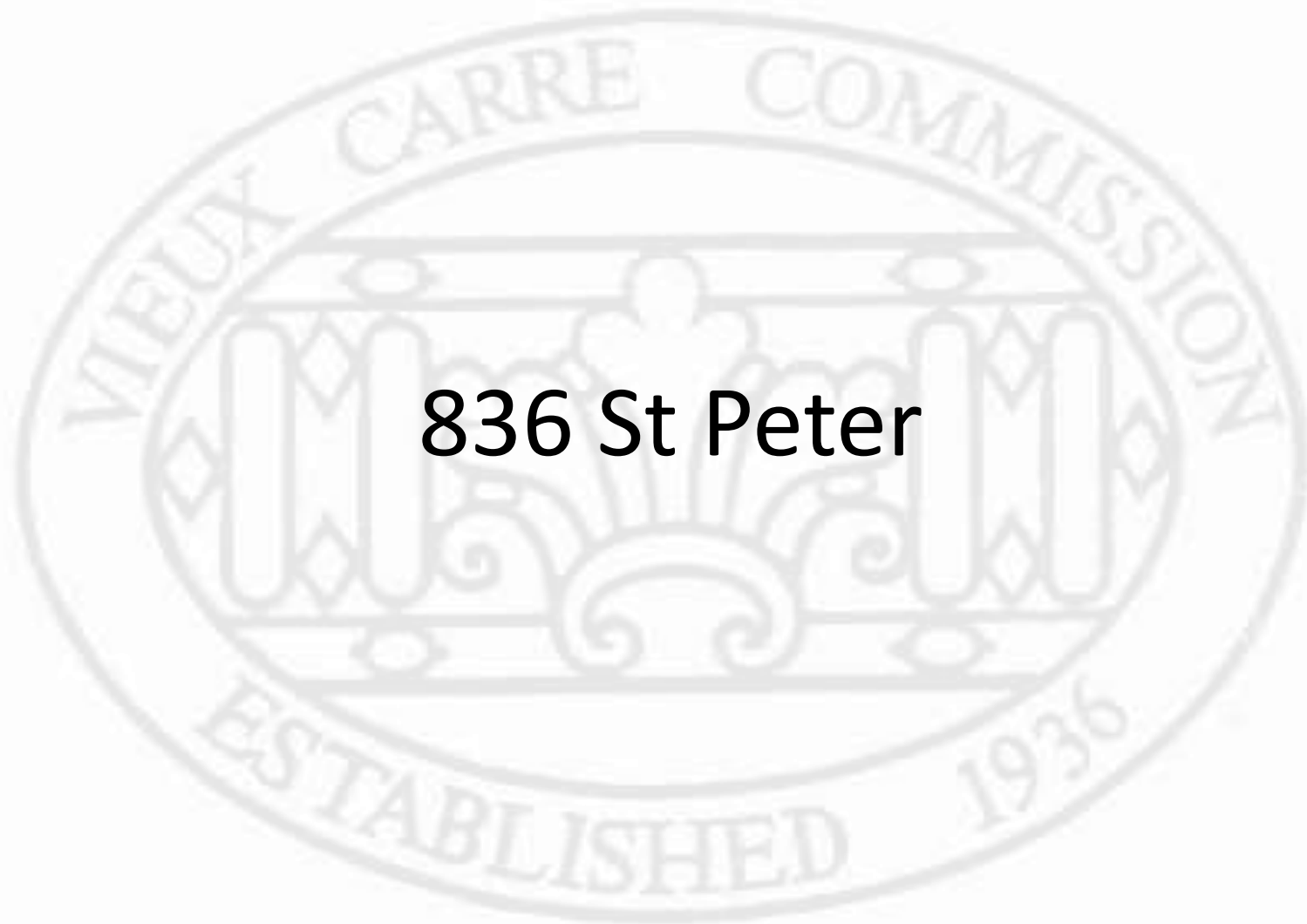


820 Dauphine

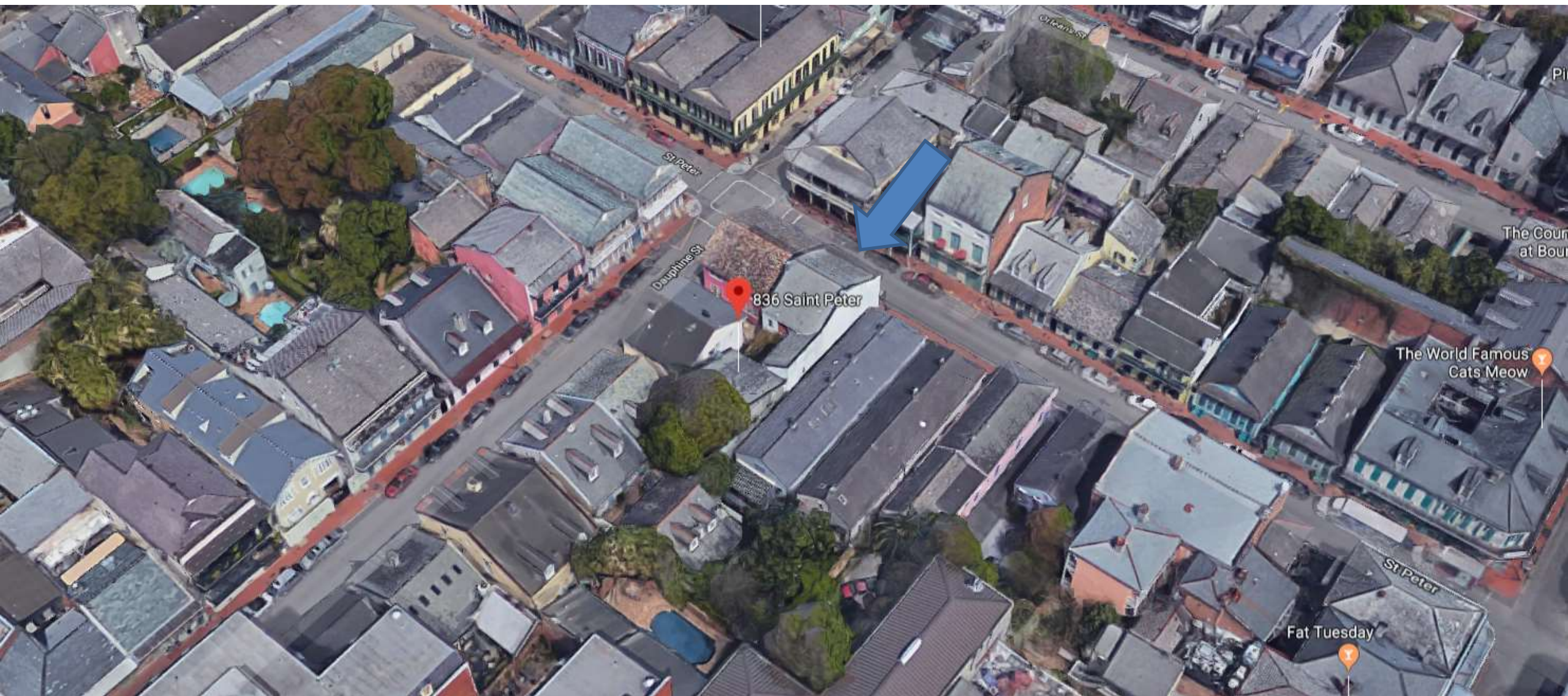
VCC Architectural Committee

July 10, 2018





836 St Peter

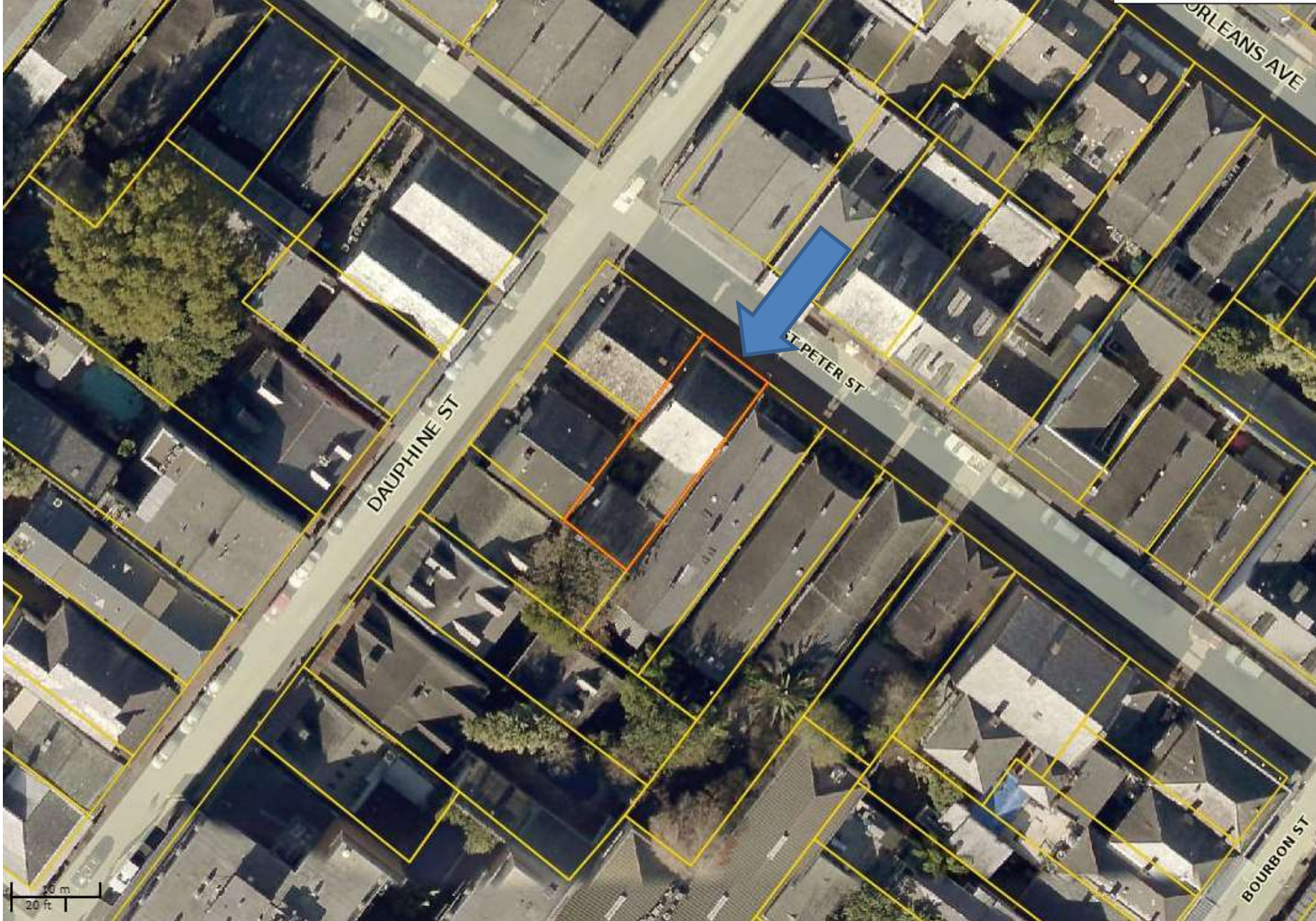


836 St. Peter

VCC Architectural Committee

January 29, 2019



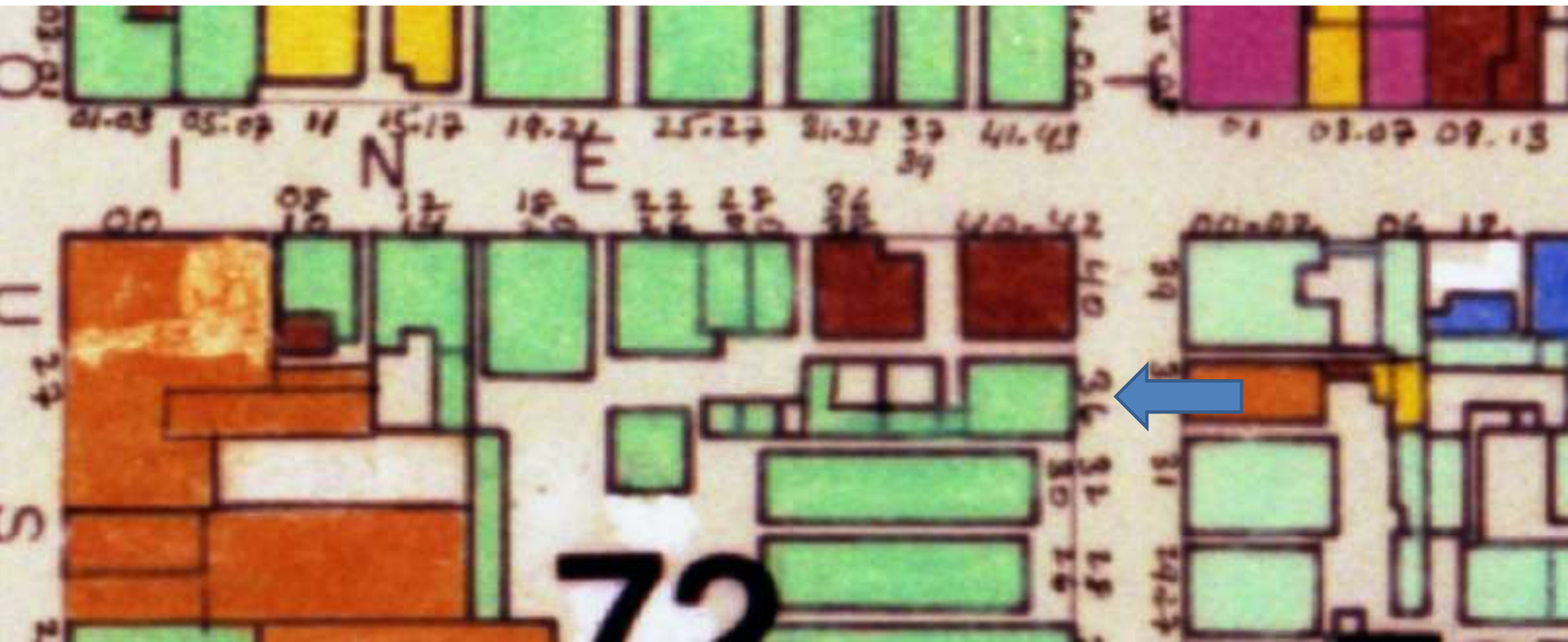


836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

01 24 2019

January 29, 2019



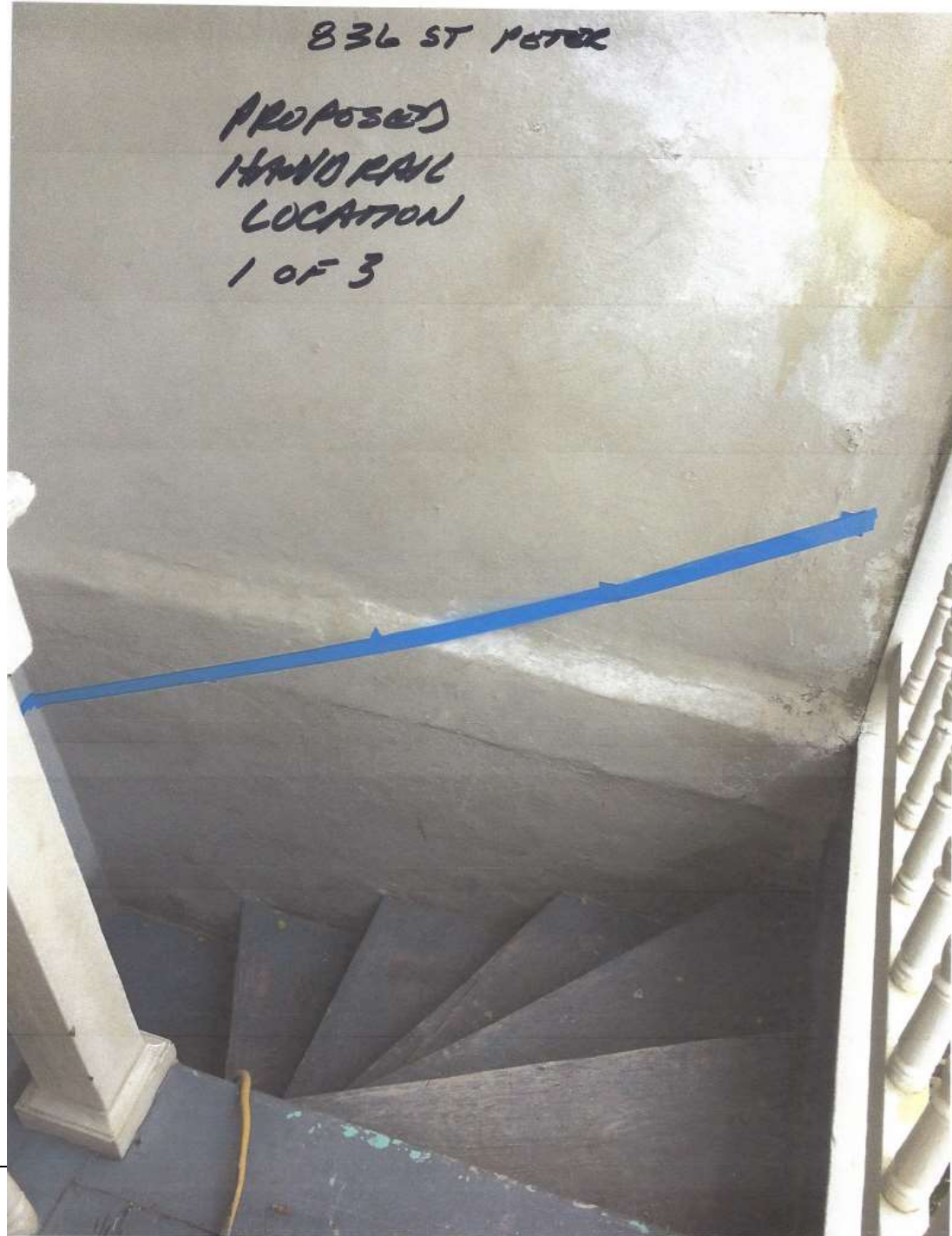


836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019



836 ST. PETER
PROPOSED HAND RAIL
LOCATION
2013

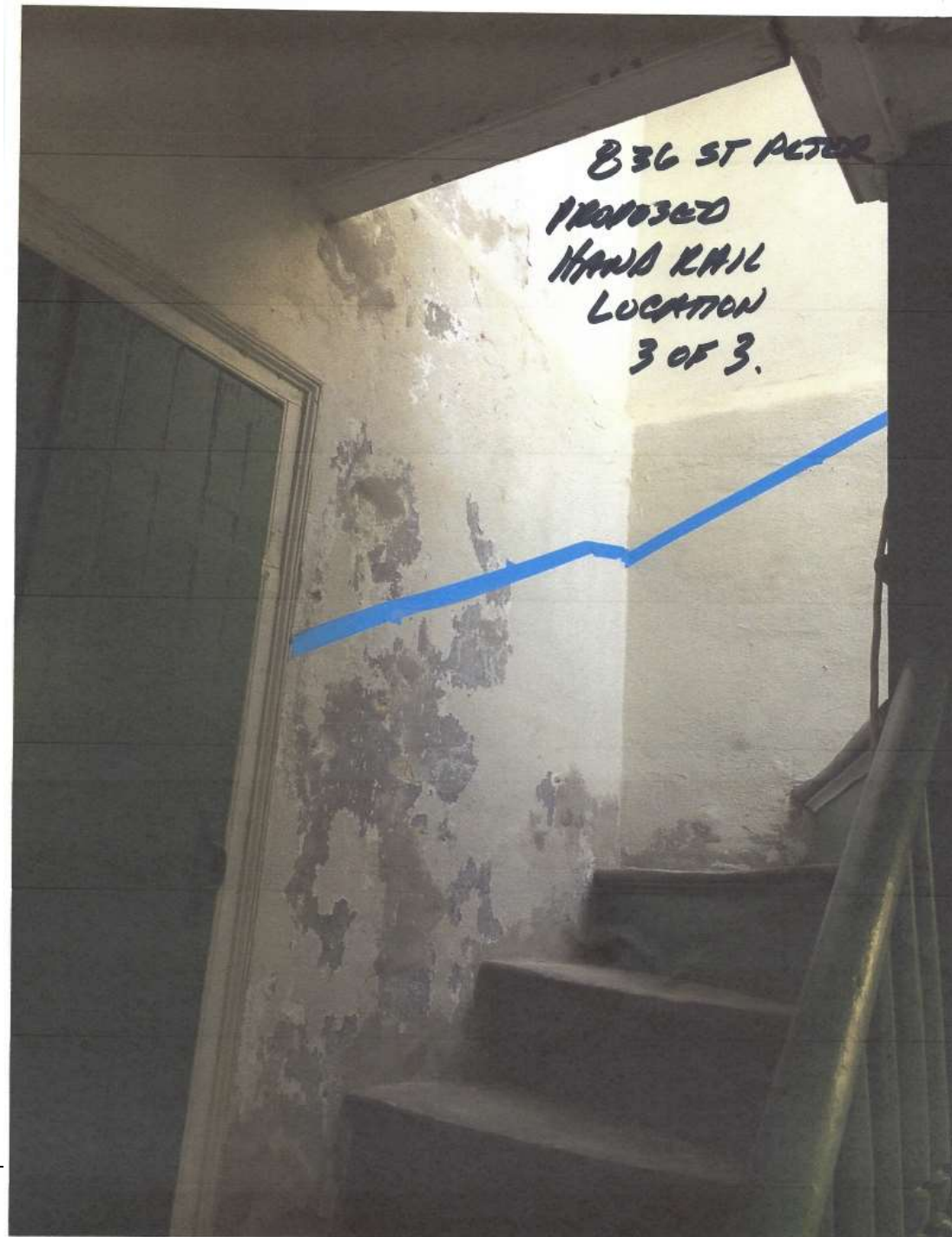


836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019



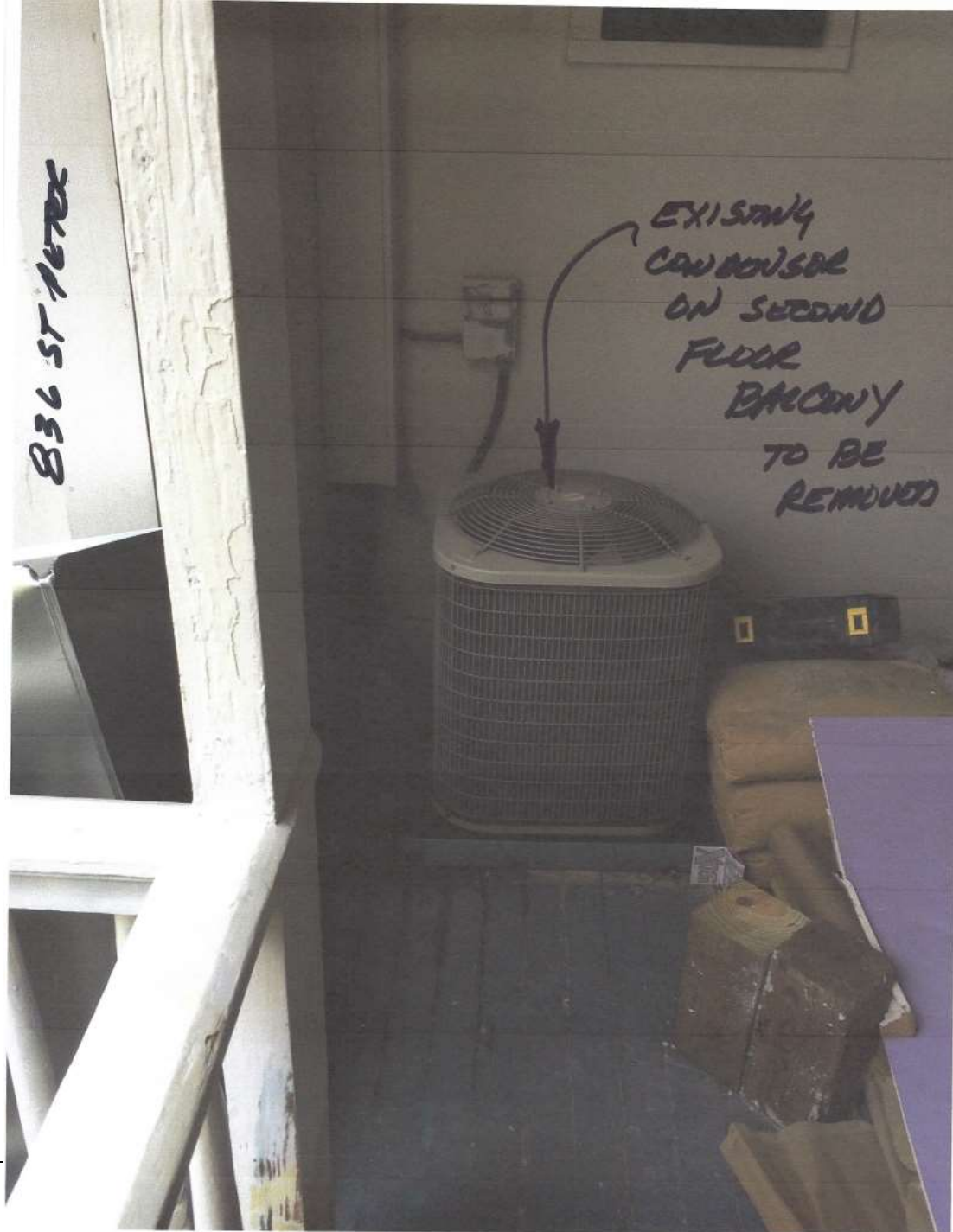


836 St. Peter – Existing Balcony HVAC Unit

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019





836 St. Peter – Proposed Mini-split Location

VCC Architectural Committee

January 29, 2019





836 St. Peter

VCC Architectural Committee

January 29, 2019



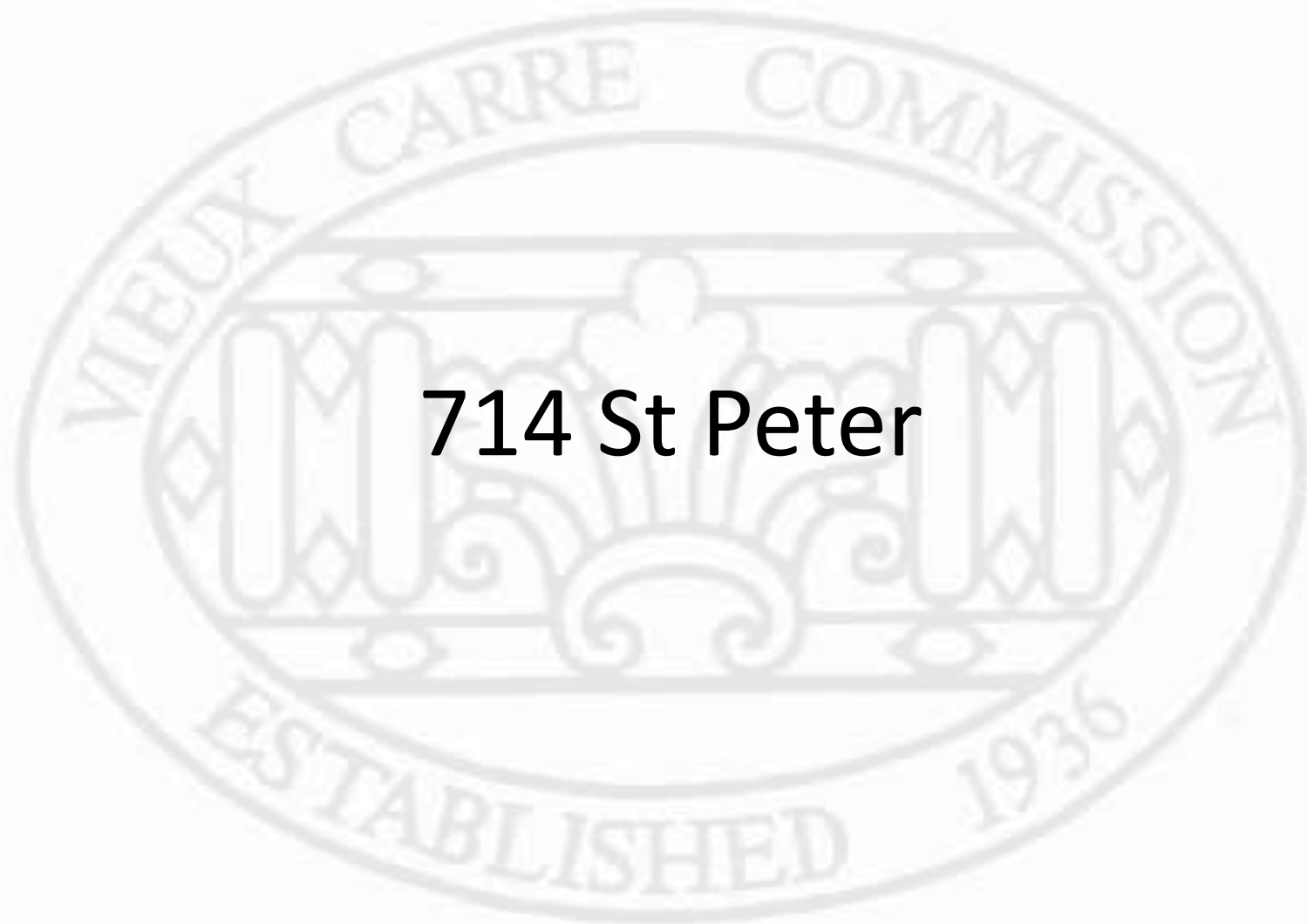


836 St. Peter

VCC Architectural Committee

January 29, 2019





714 St Peter



714 St. Peter

VCC Architectural Committee

January 29, 2019





714 St. Peter

VCC Architectural Committee

January 29, 2019





Title: 714 St. Peter
Date: [1930s-1940s?]

press x to close

714 St. Peter

VCC Architectural Committee

January 29, 2019





714 St. Peter

VCC Architectural Committee

January 29, 2019





714 St. Peter

VCC Architectural Committee

January 29, 2019





714 St. Peter – 1987 Post-Renovation
VCC Architectural Committee

January 29, 2019





714 St. Peter- Ca. 2005

VCC Architectural Committee

January 29, 2019





714 St. Peter

VCC Architectural Committee

12/19/2011

January 29, 2019





714 St. Peter – Previously Existing Murals

VCC Architectural Committee

January 29, 2019





714 St. Peter –Existing Courtyard

VCC Architectural Committee

January 29, 2019





714 St. Peter –Existing Courtyard

VCC Architectural Committee

January 29, 2019





714 St. Peter –Existing Courtyard

VCC Architectural Committee

January 29, 2019





714 St. Peter –Existing Courtyard

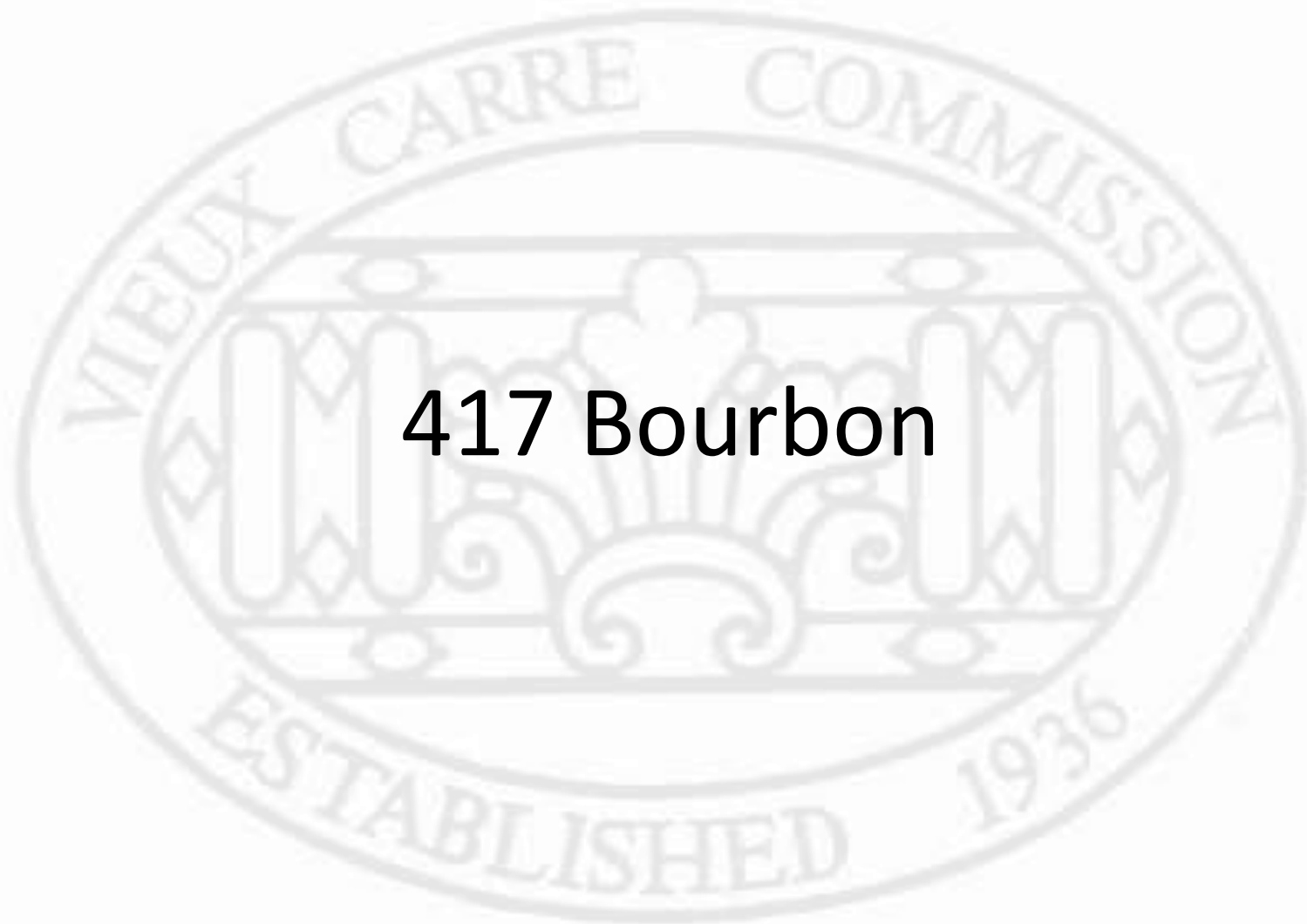
VCC Architectural Committee

January 29, 2019

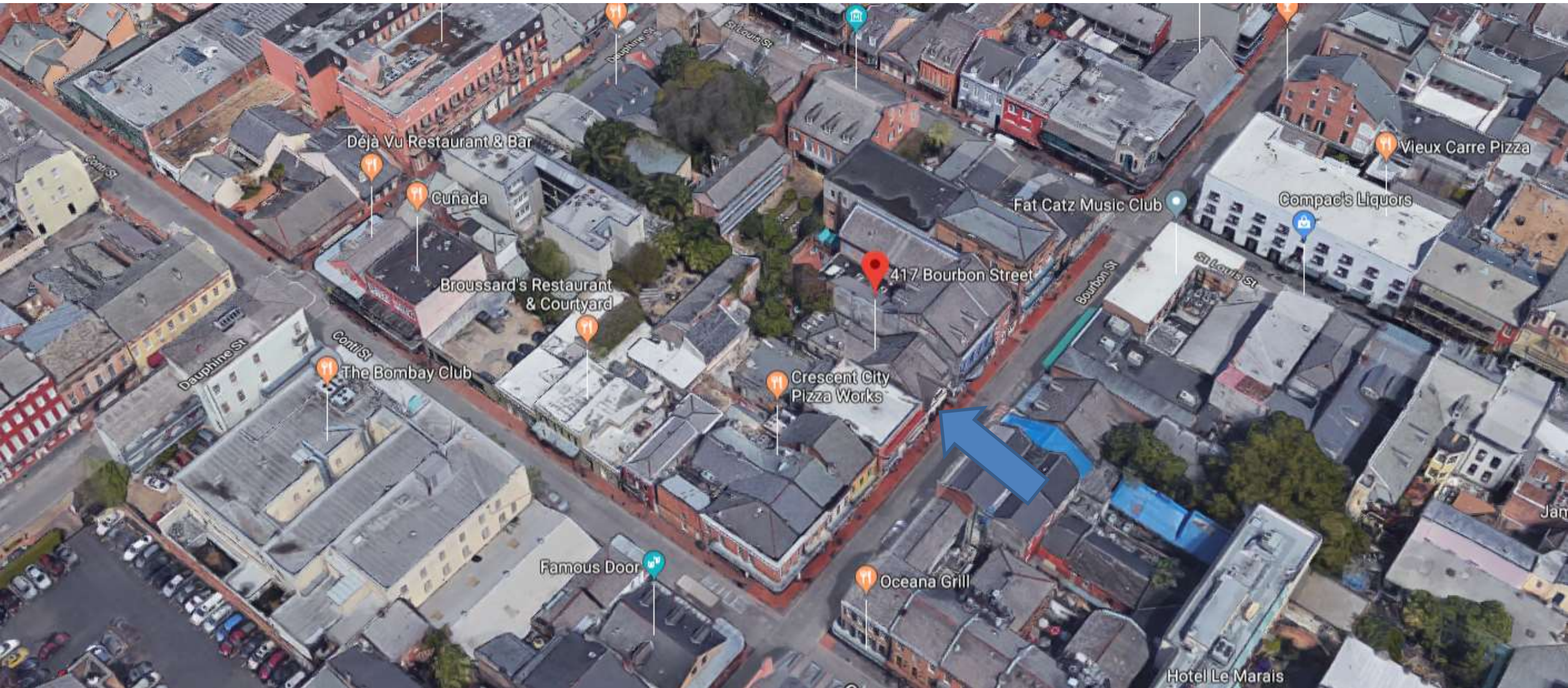


The seal of the Vieux Carre Commission is an oval emblem. It features a central figure of a person standing on a decorative base, flanked by two columns. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

Appeals and Violations



417 Bourbon

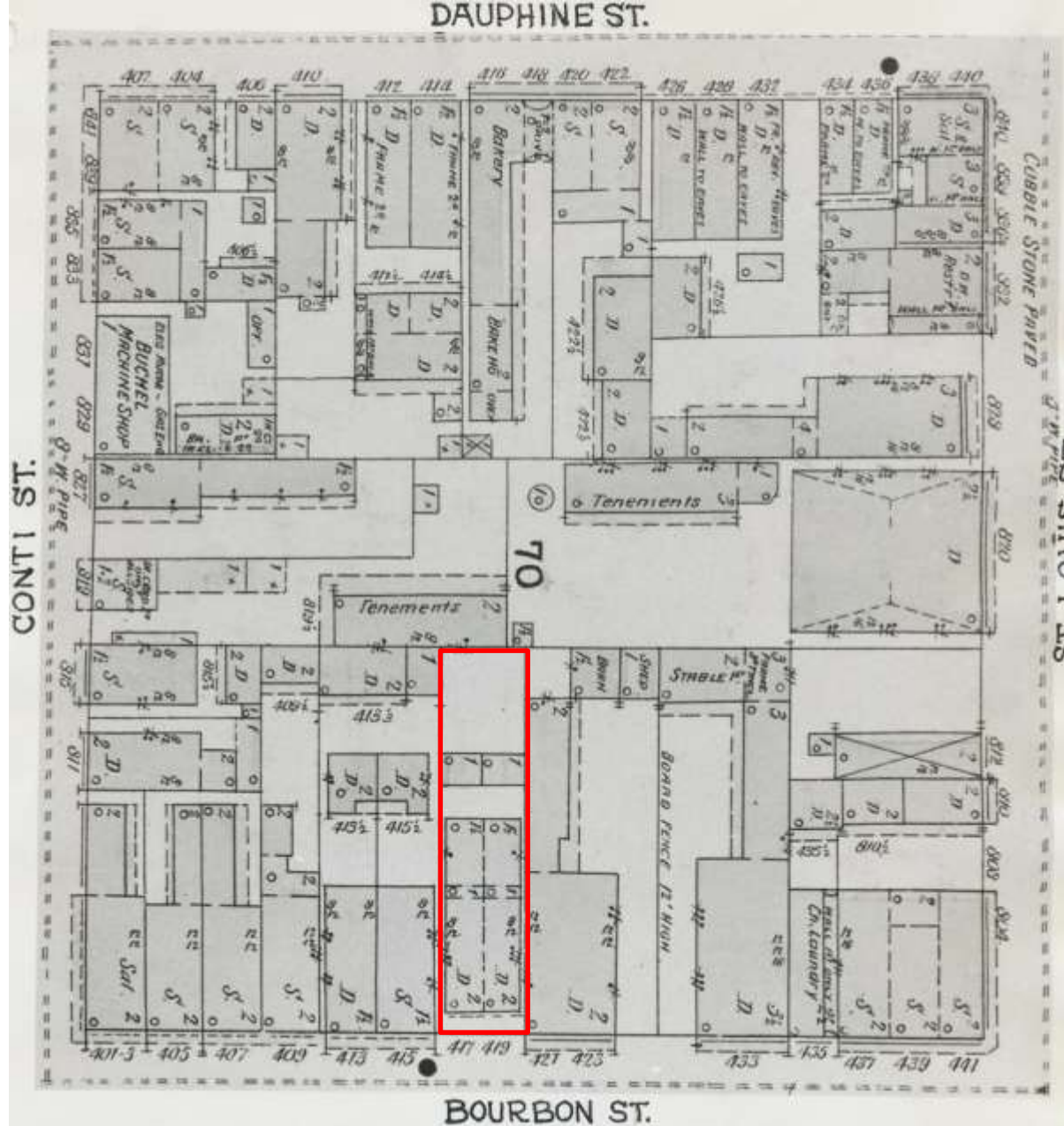


417-19 Bourbon

VCC Architectural Committee

January 29, 2019





417-19 Bourbon, 1896

VCC Architectural Committee

January 29, 2019





417-19 Bourbon, 1963

VCC Architectural Committee

January 29, 2019





417-19 Bourbon

VCC Architectural Committee

January 29, 2019





417-19 Bourbon

VCC Architectural Committee

January 29, 2019





417-19 Bourbon

VCC Architectural Committee

January 29, 2019





417-19 Bourbon

VCC Architectural Committee

January 29, 2019





417-19 Bourbon

VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Third, unused rack

VCC Architectural Committee

January 29, 2019





03 31 2016

417-19 Bourbon
VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Previously Existing TV Mount

VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Previously Existing TV Mount

VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Current TV Structure

VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Current TV Structure
VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Current TV Structure

VCC Architectural Committee

January 29, 2019





417-19 Bourbon – Painted Mural on Brick

VCC Architectural Committee

January 29, 2019



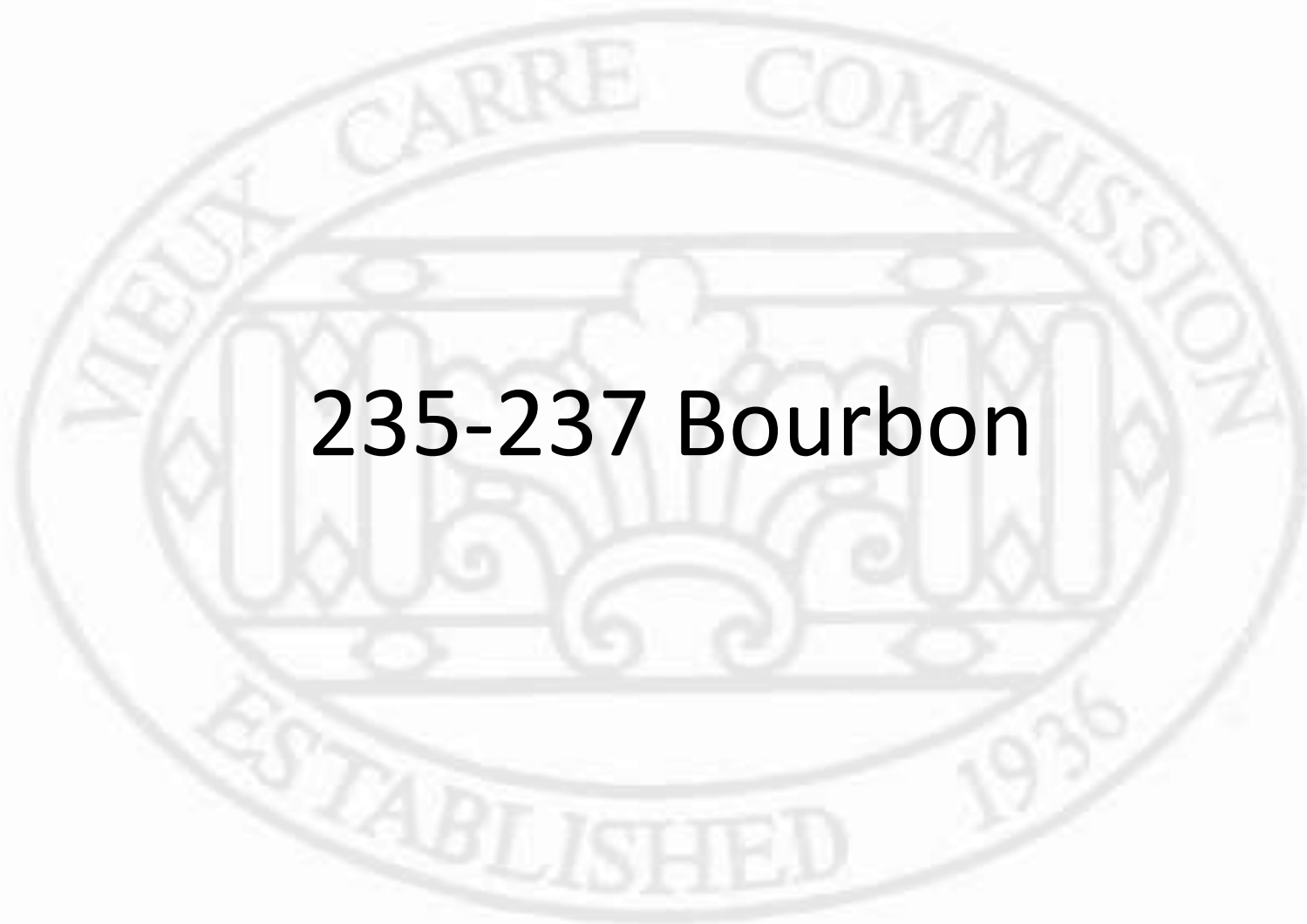


417-19 Bourbon – Painted Mural on Brick

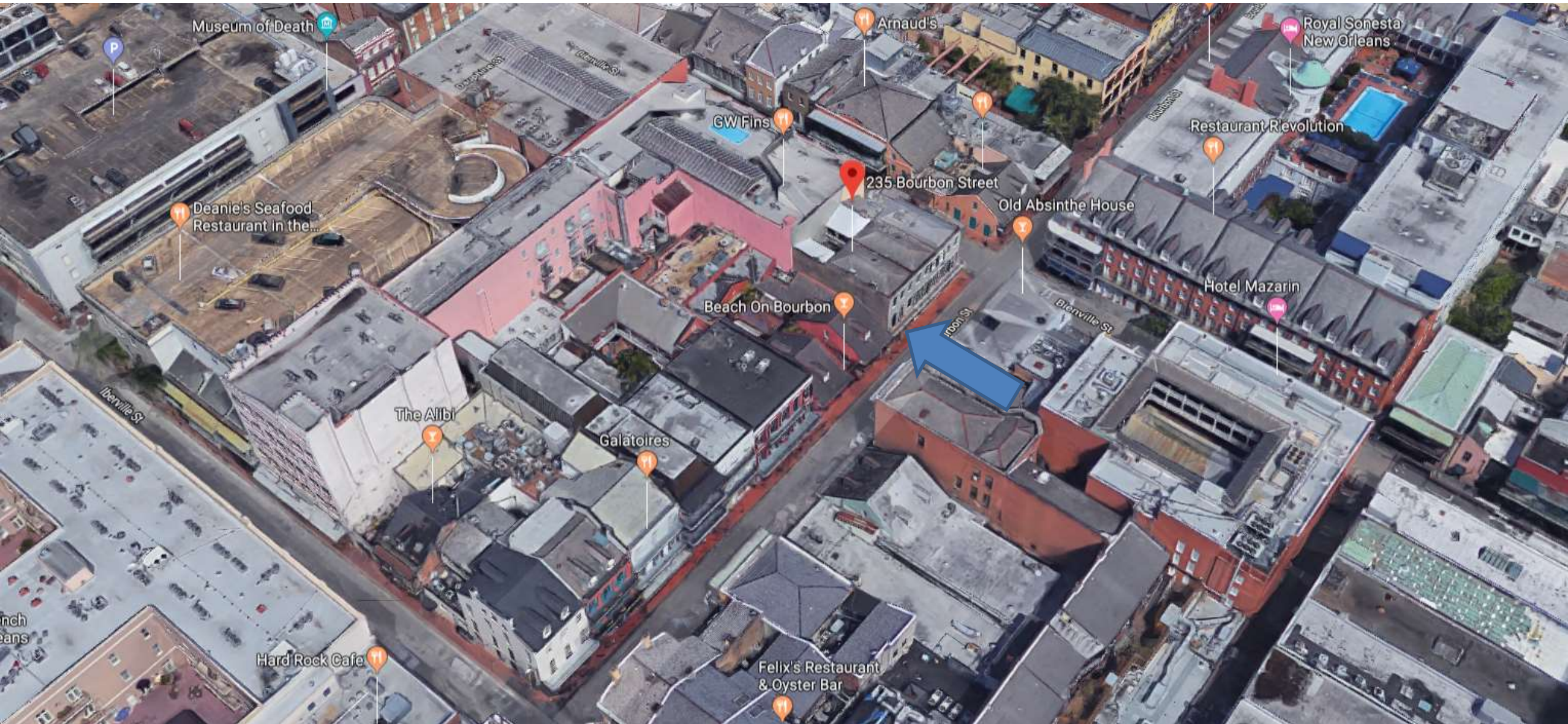
VCC Architectural Committee

January 29, 2019





235-237 Bourbon



235-237 Bourbon

VCC Architectural Committee

January 29, 2019





235-237 Bourbon - 1939

VCC Architectural Committee

January 29, 2019





235-237 Bourbon - 2010

VCC Architectural Committee

January 29, 2019





235-237 Bourbon

VCC Architectural Committee

January 29, 2019





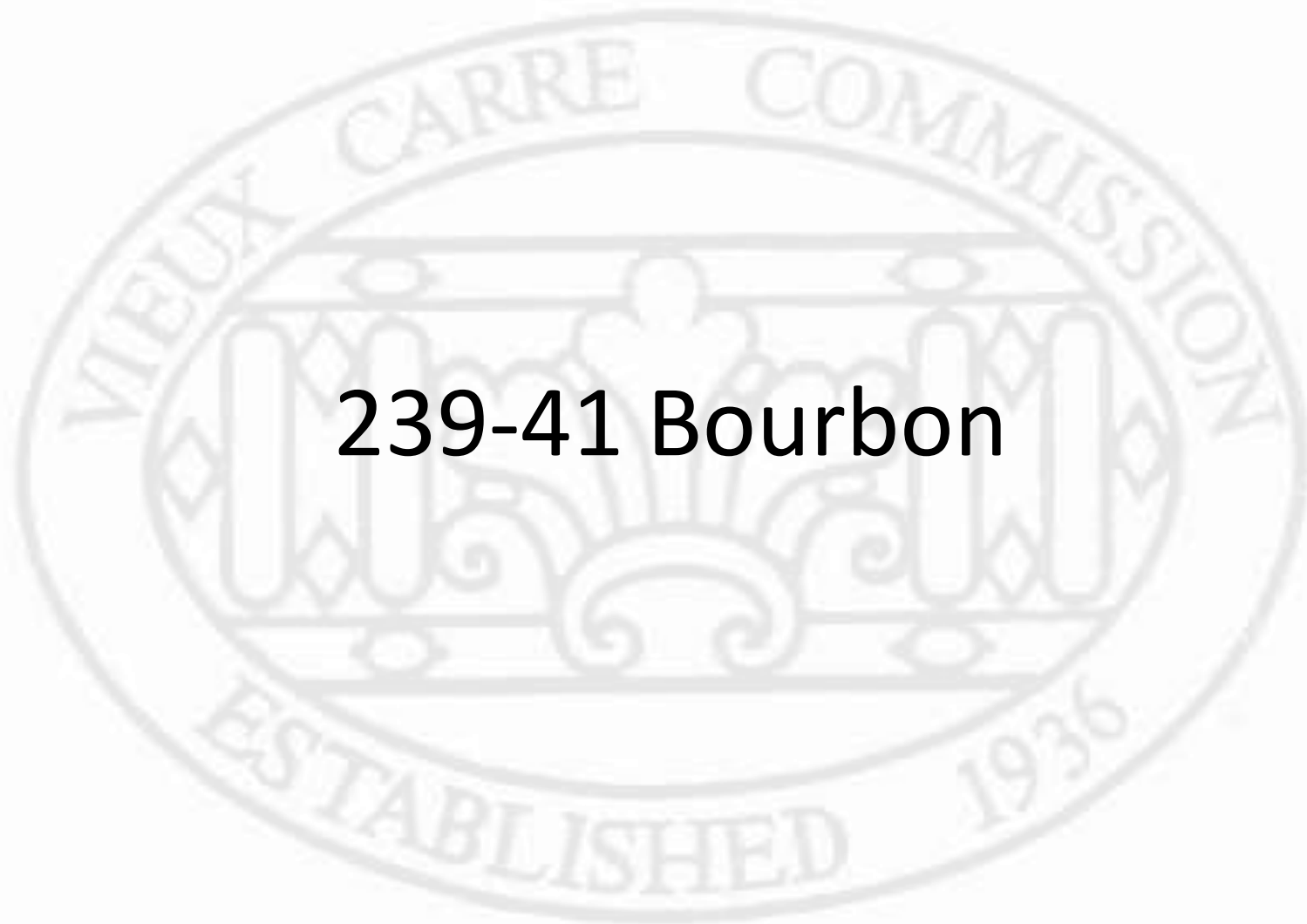
235-237 Bourbon

VCC Architectural Committee

11 06 2018

January 29, 2019





239-41 Bourbon



235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon - 1963

VCC Architectural Committee

January 29, 2019





235-41 Bourbon - 1965

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon - unknown

VCC Architectural Committee

January 29, 2019





235-41 Bourbon - 1992

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019





235-41 Bourbon - 2009

VCC Architectural Committee

January 29, 2019





235-41 Bourbon

VCC Architectural Committee

January 29, 2019



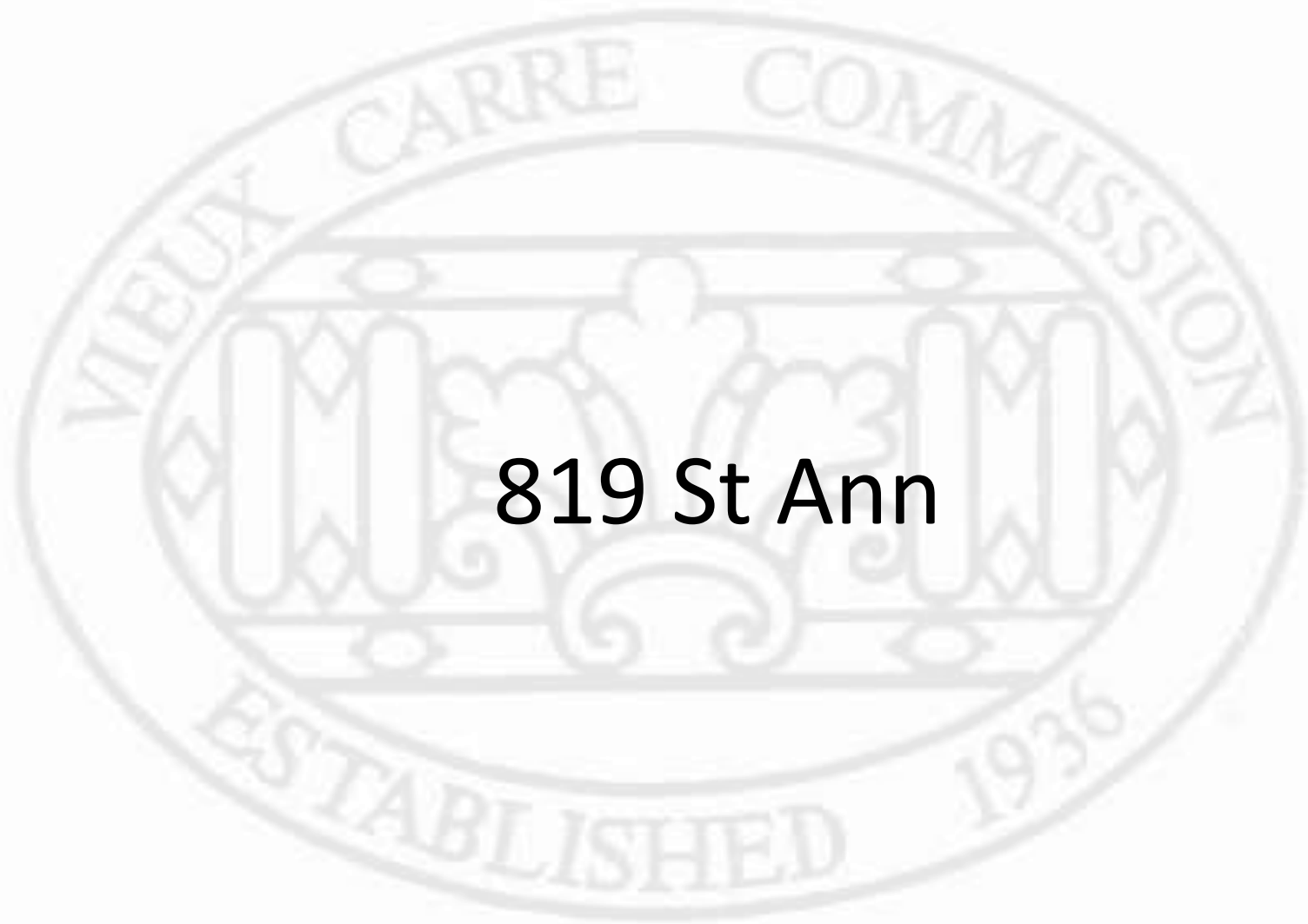


235-41 Bourbon

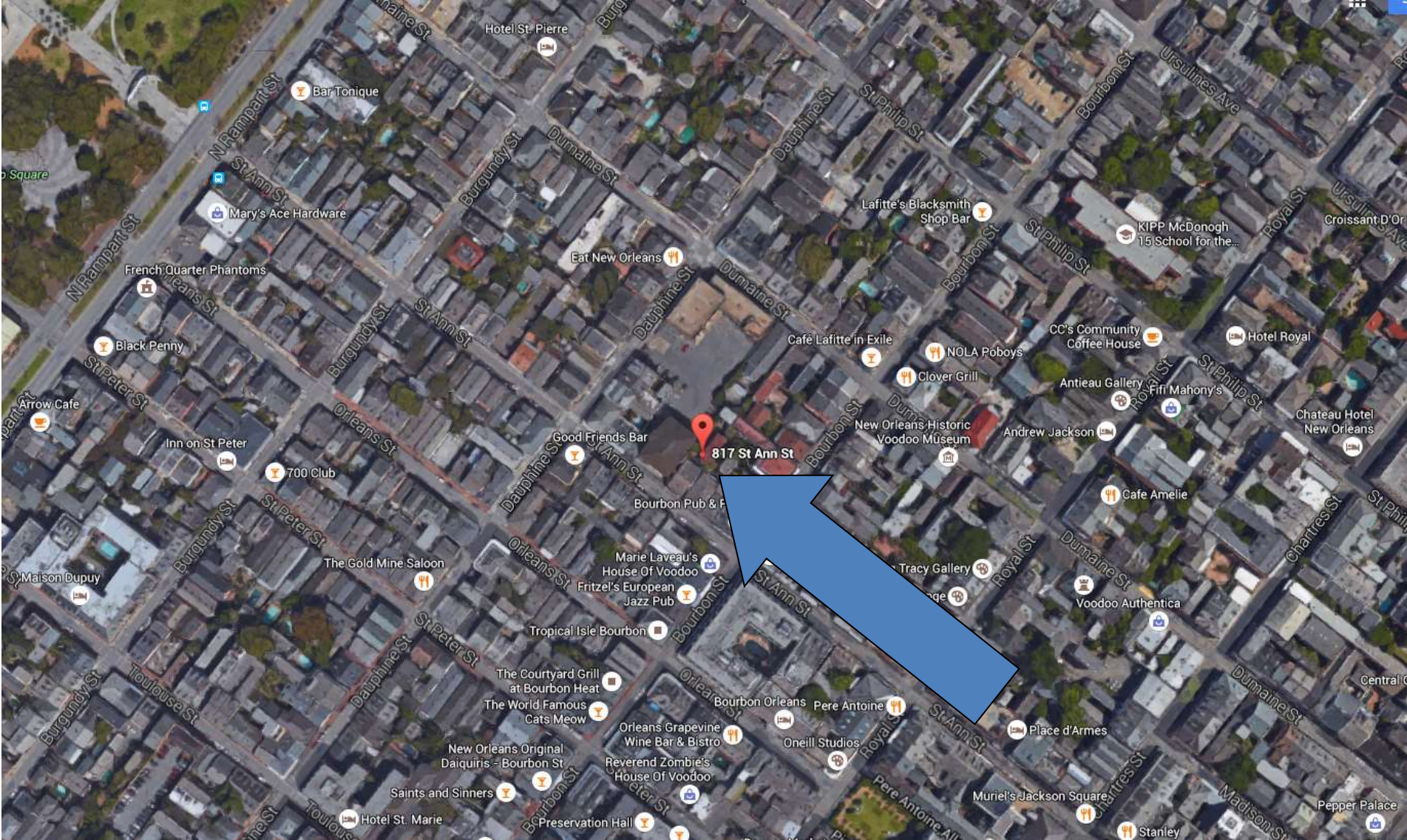
VCC Architectural Committee

January 29, 2019

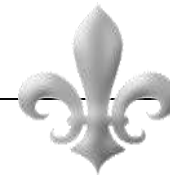




819 St Ann



817-819 St Ann

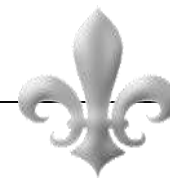




817-819 St Ann

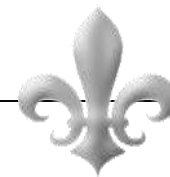
VCC Architectural Committee

September 12, 2017



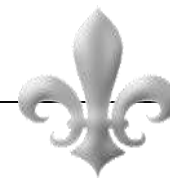


817-819 St Ann



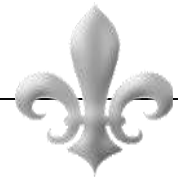


817-819 St Ann



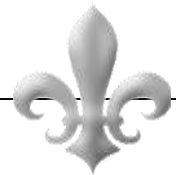


817-819 St Ann



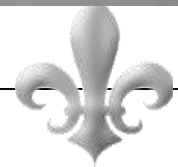


817-819 St Ann



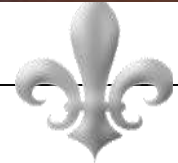


817-819 St Ann





817-819 St Ann



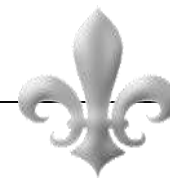


817-819 St Ann





817-819 St Ann

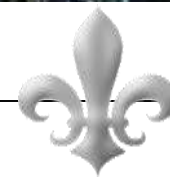




817-819 St Ann

VCC Architectural Committee

September 12, 2017

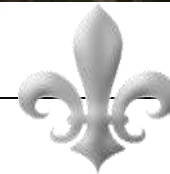




817-819 St Ann

VCC Architectural Committee

September 12, 2017

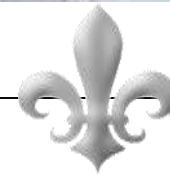


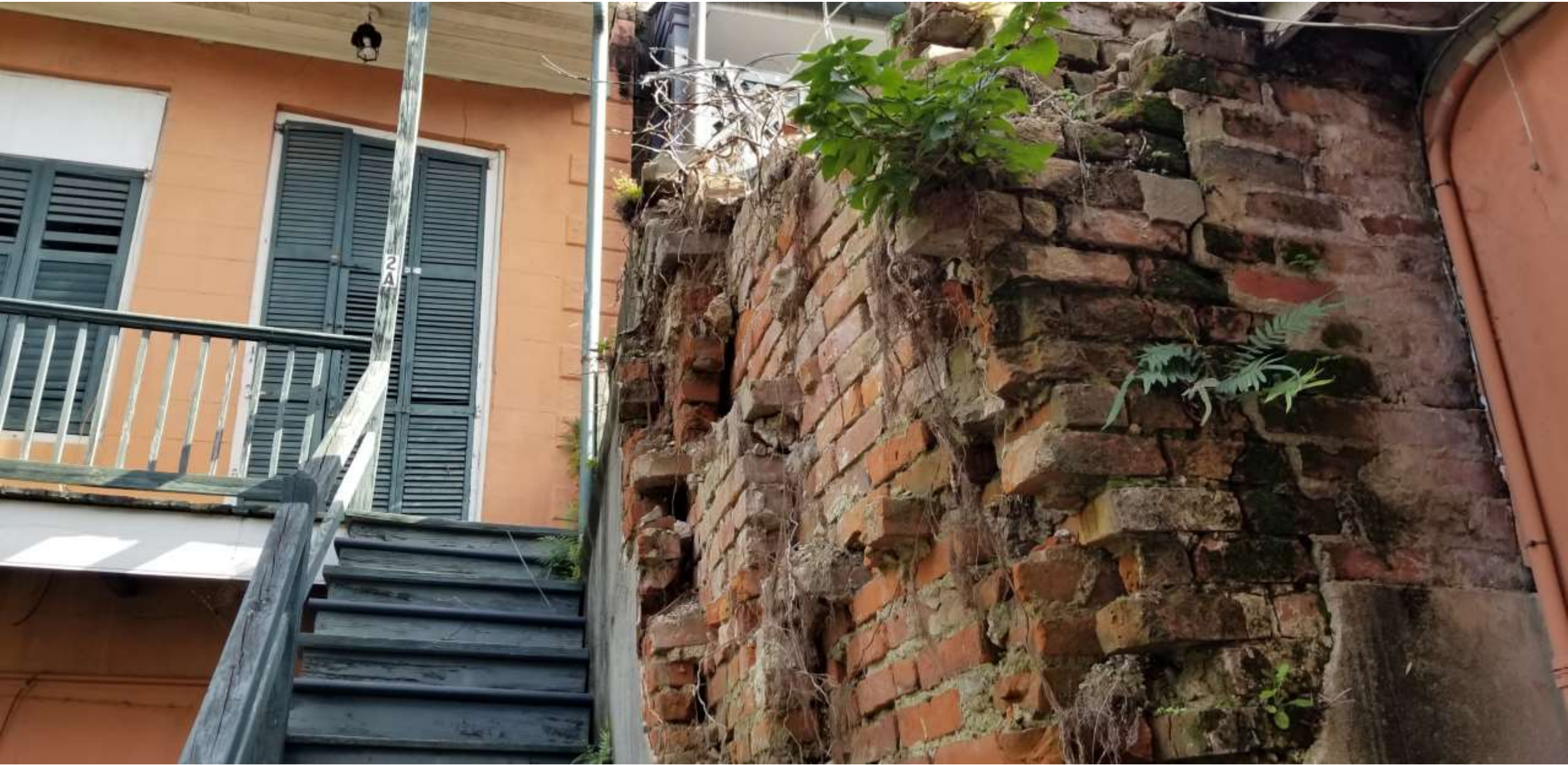


817-819 St Ann

VCC Architectural Committee

September 12, 2017

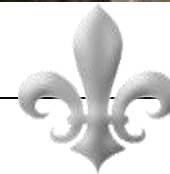




817-819 St Ann

VCC Architectural Committee

September 12, 2017

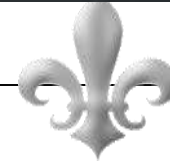




817-819 St Ann

VCC Architectural Committee

September 12, 2017

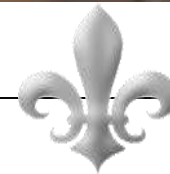


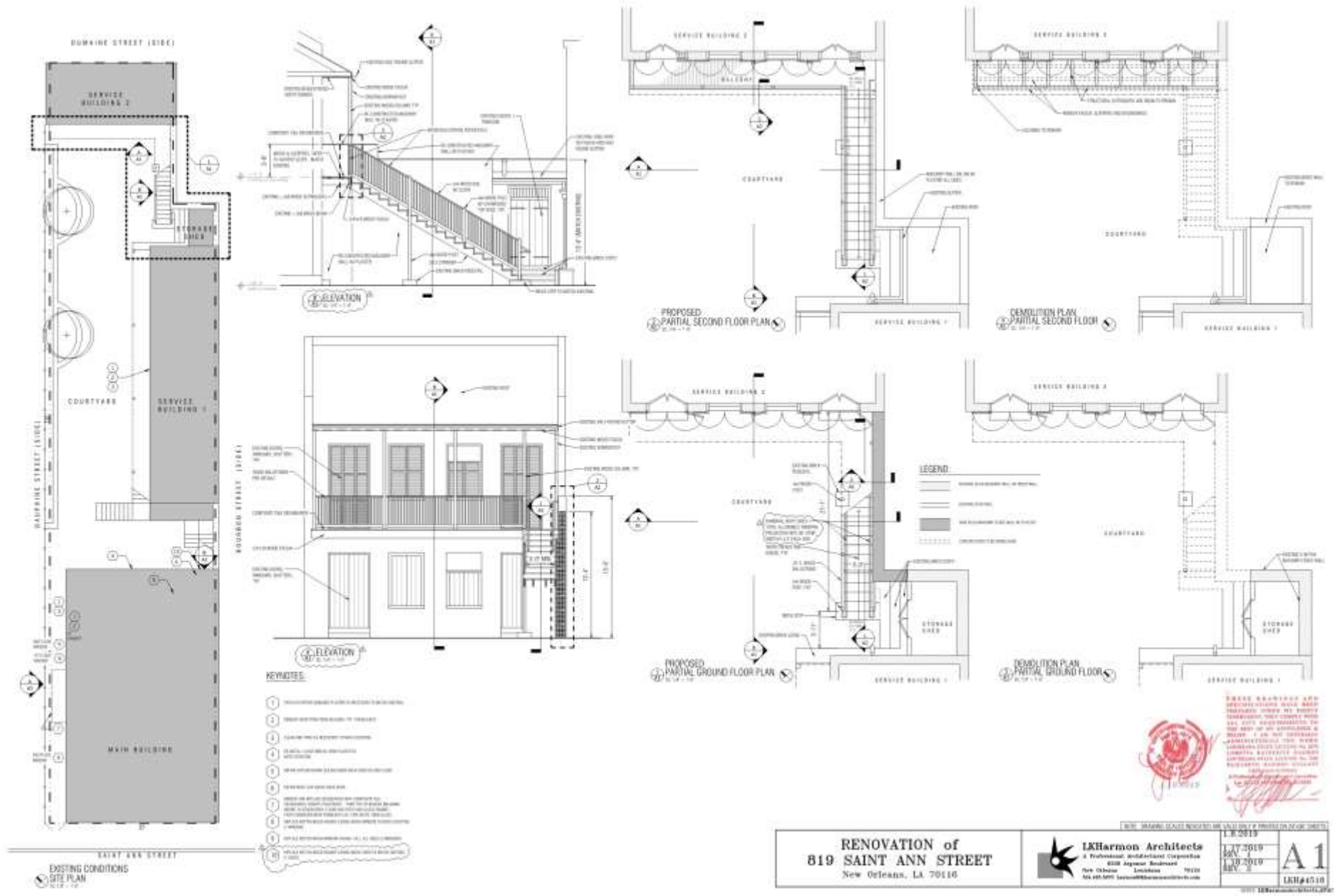


817-819 St Ann

VCC Architectural Committee

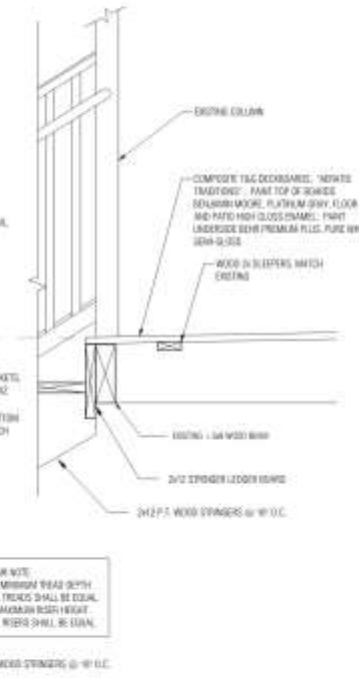
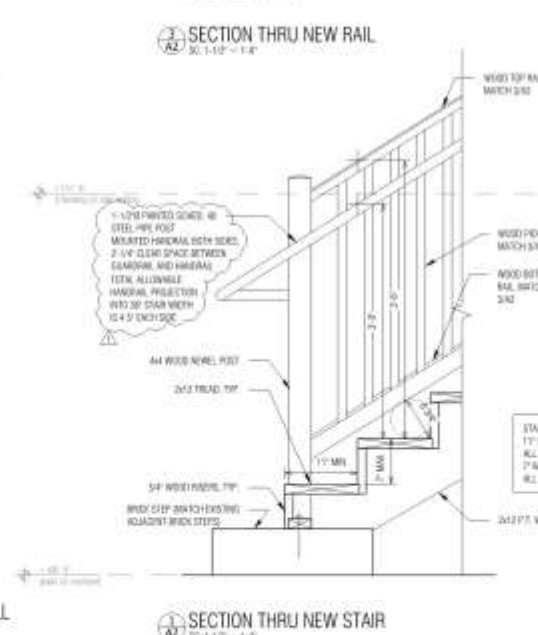
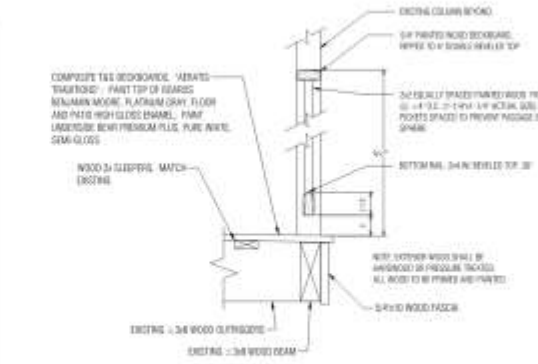
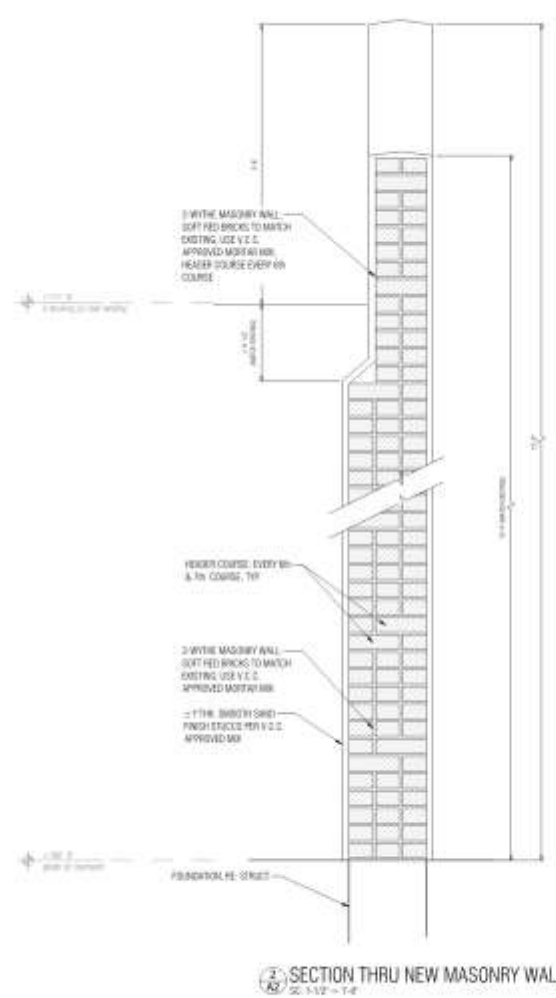
September 12, 2017





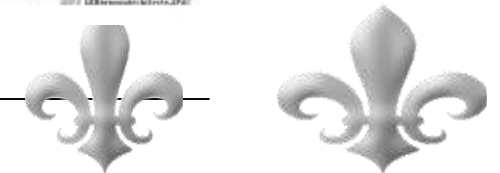
817-819 St Ann





| | | | | |
|--|--|--|---|---|
| RENOVATION of 819 SAINT ANN STREET New Orleans, LA 70116 | |  LKHarmen Architects A Professional Architectural Corporation 4000 Magazine Boulevard New Orleans, Louisiana 70024 504.487.3070 www.lkharmenarchitects.com | 1.8.2019 1.17.2019 1.19.2019 REV. 2 |  |
| | | | DATE: DRAWING SCALE: INDICATES ANY SCALE ON A 4" PRINT OR SMALLER SHEET | LKH 4710 |

817-819 St Ann





540 Royal



538-40 Royal

VCC Architectural Committee

September 12, 2017





538-40 Royal

VCC Architectural Committee

September 12, 2017





538-40 Royal

VCC Architectural Committee

September 12, 2017





538-40 Royal – 2005

VCC Architectural Committee

September 12, 2017





538-40 Royal -- 1987





537-41 Royal



541 Royal

VCC Architectural Committee

March 26, 2013



541 Royal

VCC Architectural Committee

March 26, 2013



541 Royal

VCC Architectural Committee

March 26, 2013



541 Royal



541 Royal

VCC Architectural Committee

March 26, 2013



541 Royal

VCC Architectural Committee

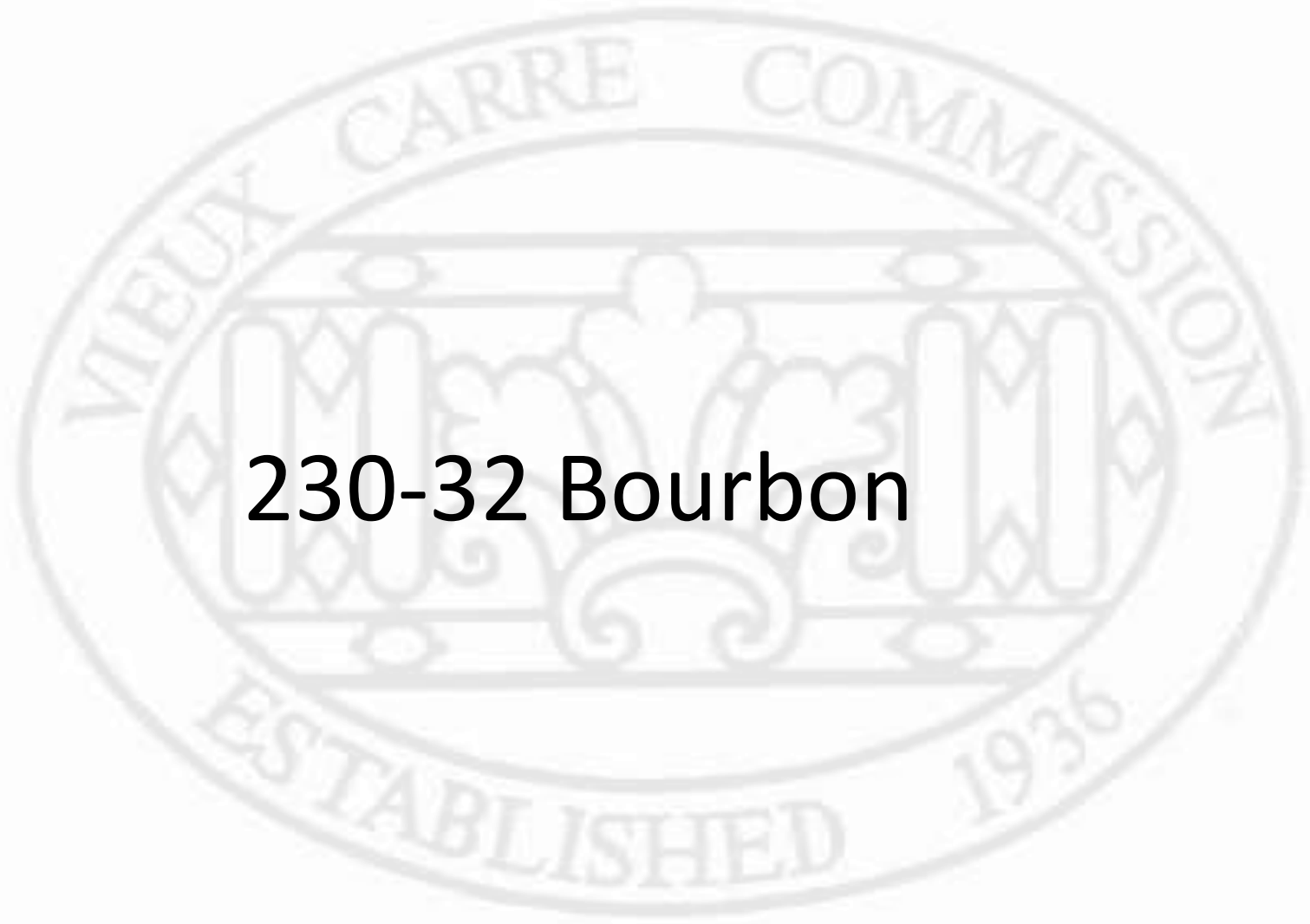
March 26, 2013



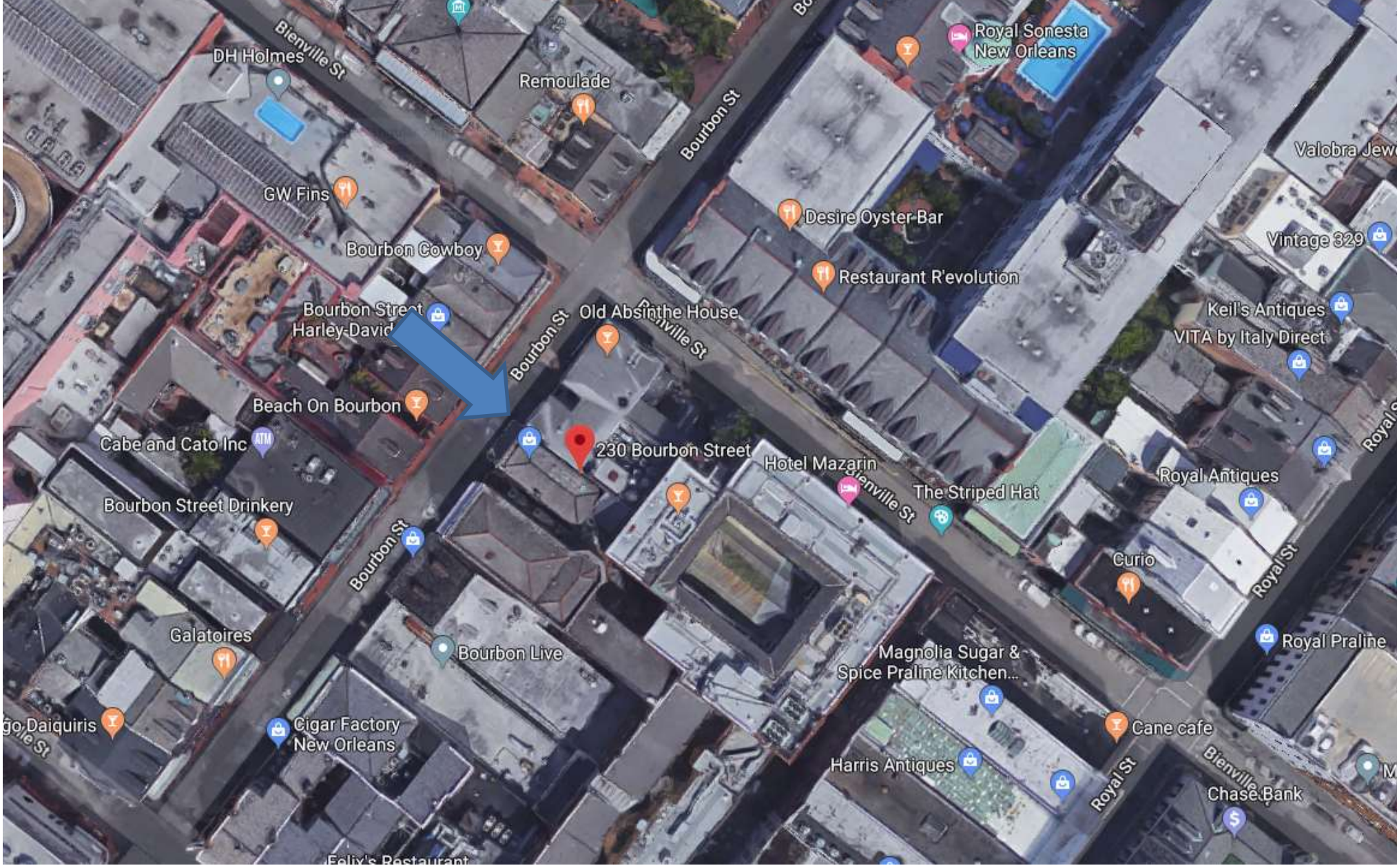
541 Royal

VCC Architectural Committee

March 26, 2013



230-32 Bourbon



230-32 Bourbon





230-32 Bourbon

VCC Architectural Committee

October 23, 2018





230-32 Bourbon

VCC Architectural Committee

October 23, 2018





230-32 Bourbon

VCC Architectural Committee

October 23, 2018





230-32 Bourbon

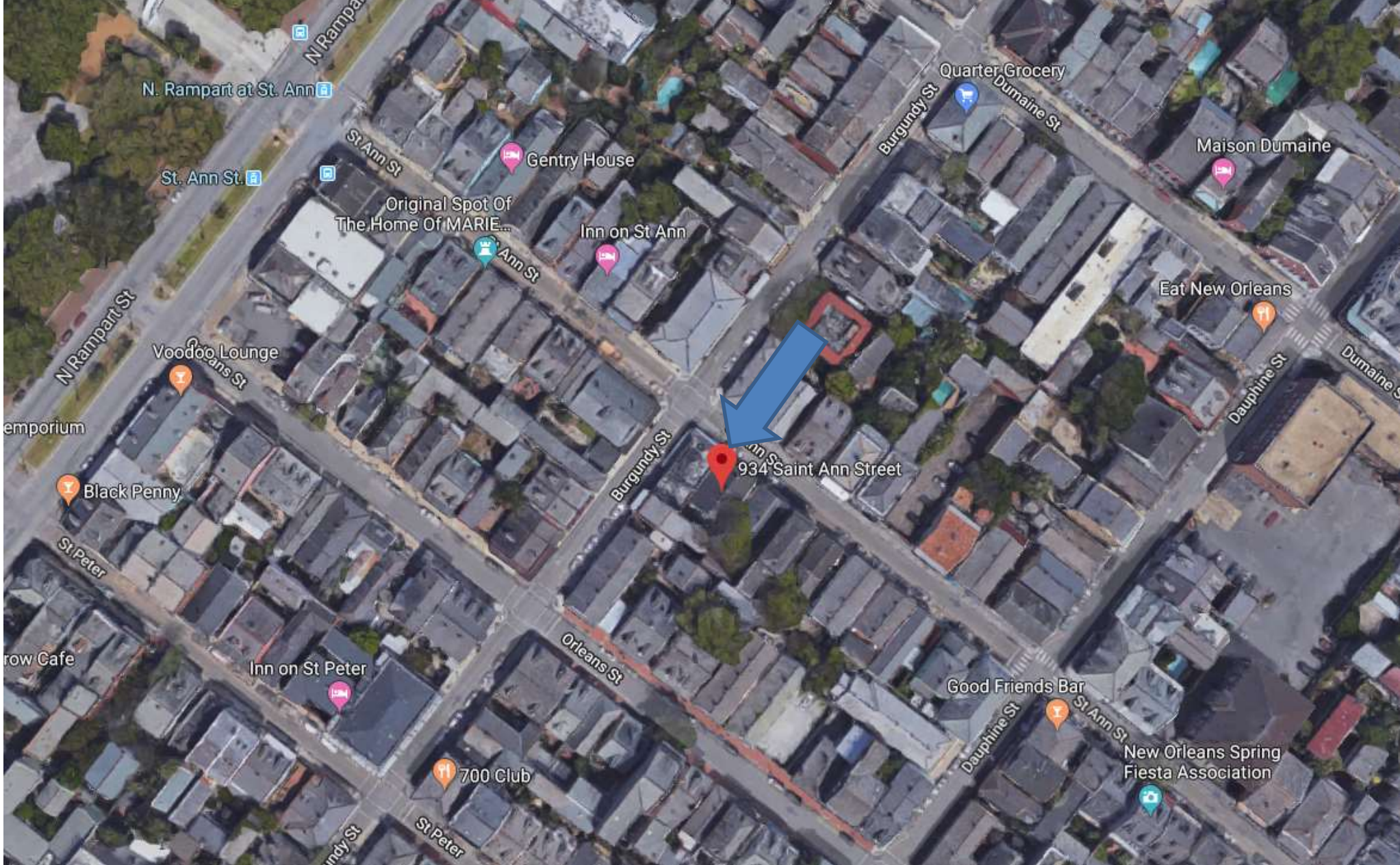
VCC Architectural Committee

October 23, 2018





934-38 St Ann



934-38 St Ann





934-38 St Ann

VCC Architectural Committee

August 27, 2013

October 23, 2018





934-38 St Ann

VCC Architectural Committee

August 27, 2013

October 23, 2018





934-38 St Ann – 1975

VCC Architectural Committee

October 23, 2018





934-38 St Ann

VCC Architectural Committee

October 23, 2018





934-38 St Ann

VCC Architectural Committee

October 23, 2018





934-38 St Ann

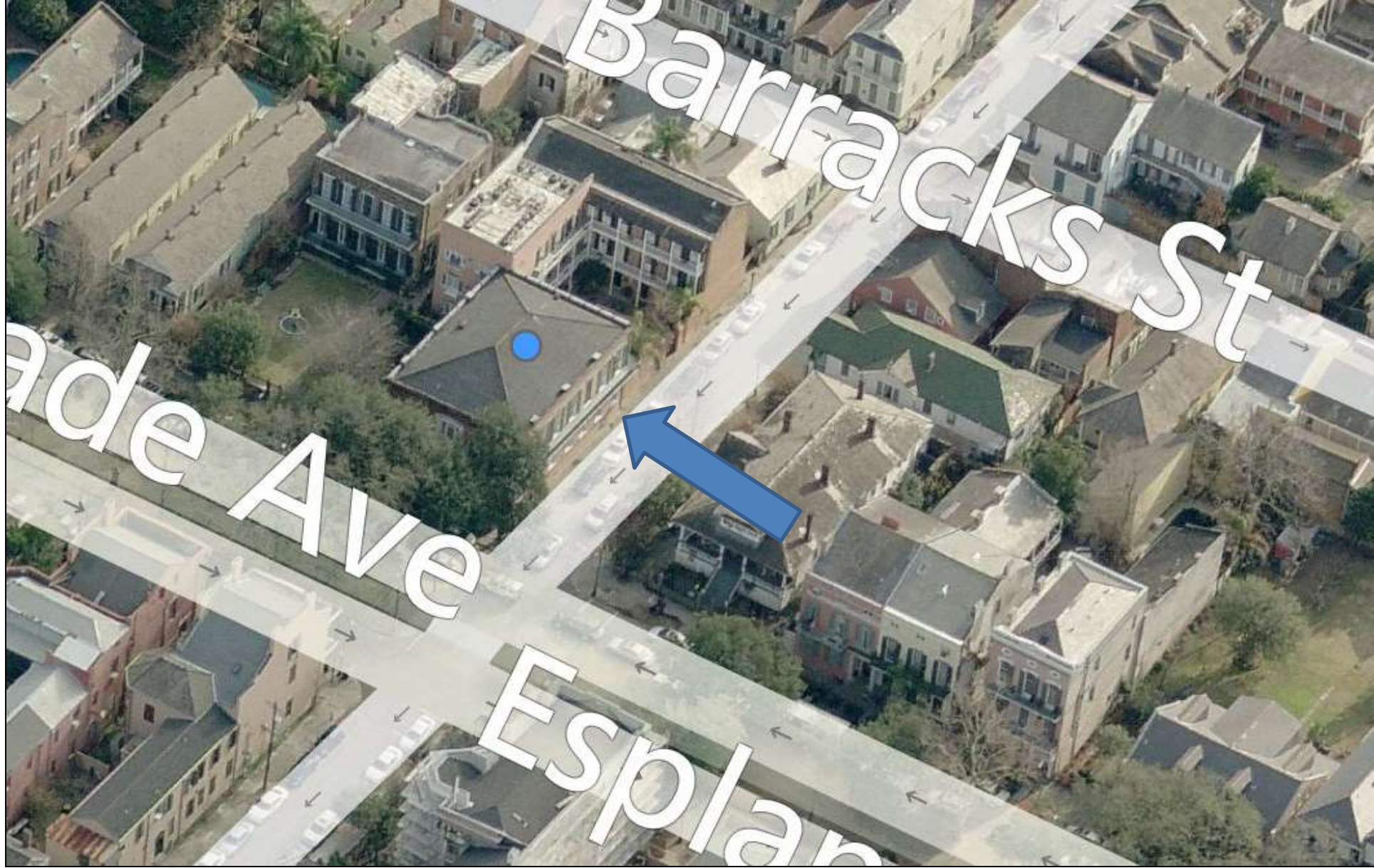
VCC Architectural Committee

October 23, 2018





740 Esplanade

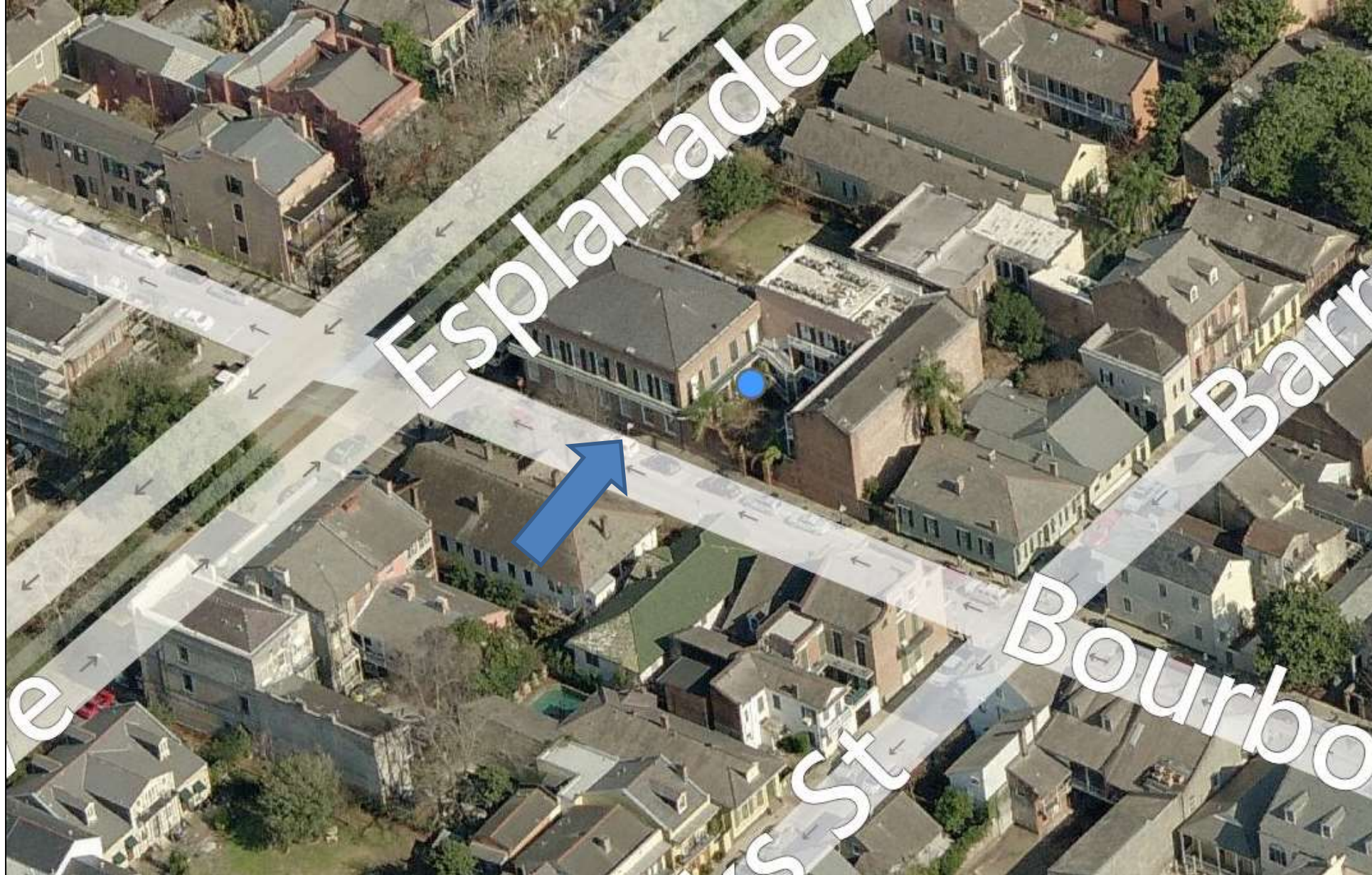


740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019



FELIX ENTERPRISES

ROOFING DIVISION
25 NEW ENGLAND COURT GRETNA, LA 70053
(504) 261-6651 FAX (504) 461-0474
FELIXOFGRETNA@GMAIL.COM

CARRIAGE HOUSE REALTY

Attn. Mary Ann
640 Congress St.
New Orleans, LA 70117
(504) 421-8096

10-28-2018

FELIX ENTERPRISES hereby proposes to furnish labor and material for the repair and/or replacement of roof tiles on the building parallel to Barracks Street at the rear of the property located at 740 Esplanade Avenue.

The proposed job descriptions are as follows:

Complete removal of old roof tiles from one portion of roof for reuse in replacing broken tiles and correcting inappropriate patch on other portions.

Purchase and installation of wood for deck repairs (50 linear feet total. If any more needs to be replaced, it will be charged accordingly.)

Purchase and installation of ice and water shield on deck.

Purchase and installation of 12"X16" slate tiles in area where old tiles were removed, using copper nails.

Remove and replace 3" flashing around roof jack and replace broken tiles at right rear section of roof with previously removed old tiles.

Installation of tiles previously removed to correct inappropriate patch.

Complete clean-up and disposal of all debris.

FELIX ENTERPRISES will provide two years workmanship warranty for the job before described.

All for a total of \$ 7,850.00 payable as follows:
First payment of \$ 4,000.00 is due at contract signing
And a final payment of \$3,850.00 is due at conclusion of the job before described

Felix F. Castaneda
General Manager

Approved 11-1-2018
Mary Ann

740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon

VCC Architectural Committee

January 29, 2019





740 Esplanade/1350 Bourbon
VCC Architectural Committee

January 29, 2019

