



**Vieux Carré Commission
Architectural Committee Meeting**

Tuesday, February 12, 2019



Other Business



808-848 Decatur



800-848 Decatur

VCC Architectural Committee

February 12, 2019





800-848 Decatur

VCC Architectural Committee

February 12, 2019





800-848 Decatur

VCC Architectural Committee

February 12, 2019





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February 12, 2019





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February 12, 2019





800-848 Decatur

VCC Architectural Committee

02 06 2019

February 12, 2019





800-848 Decatur

VCC Architectural Committee

02 06 2019

February 12, 2019





800-848 Decatur

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02 06 2019

February 12, 2019





800-848 Decatur

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February 12, 2019





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02 06 2019

February 12, 2019





800-848 Decatur

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02 06 2019

February 12, 2019





800-848 Decatur

VCC Architectural Committee

February 12, 2019





Riverside Lot Improvements

Bid Documents

10-11-2018

1008 North Peters Street
New Orleans, Louisiana, 70116

OWNER

FRENCH MARKET CORPORATION
108 NORTH PETERS STREET, 3RD FLOOR
NEW ORLEANS, LA 70116
504-638-8438
EXECUTIVE DIRECTOR: KATHLEEN TURNER

ARCHITECT

PEREZ, A PROFESSIONAL CORPORATION
255 BURLINDY STREET
NEW ORLEANS, LA 70117
CONTACT: KARRI MAGGIO
PHONE: 504-584-5100
EMAIL: KMAGGIO@PEREZ.COM

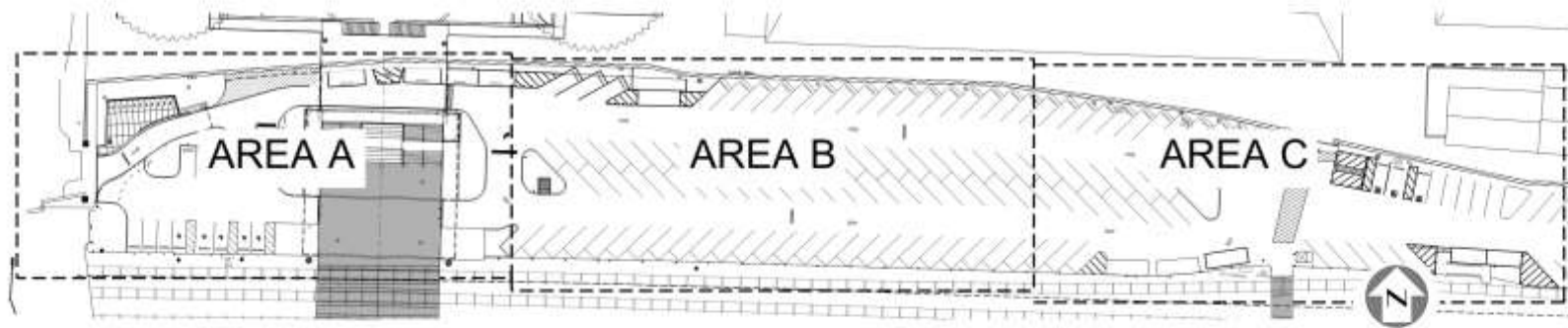


800-848 Decatur

VCC Architectural Committee

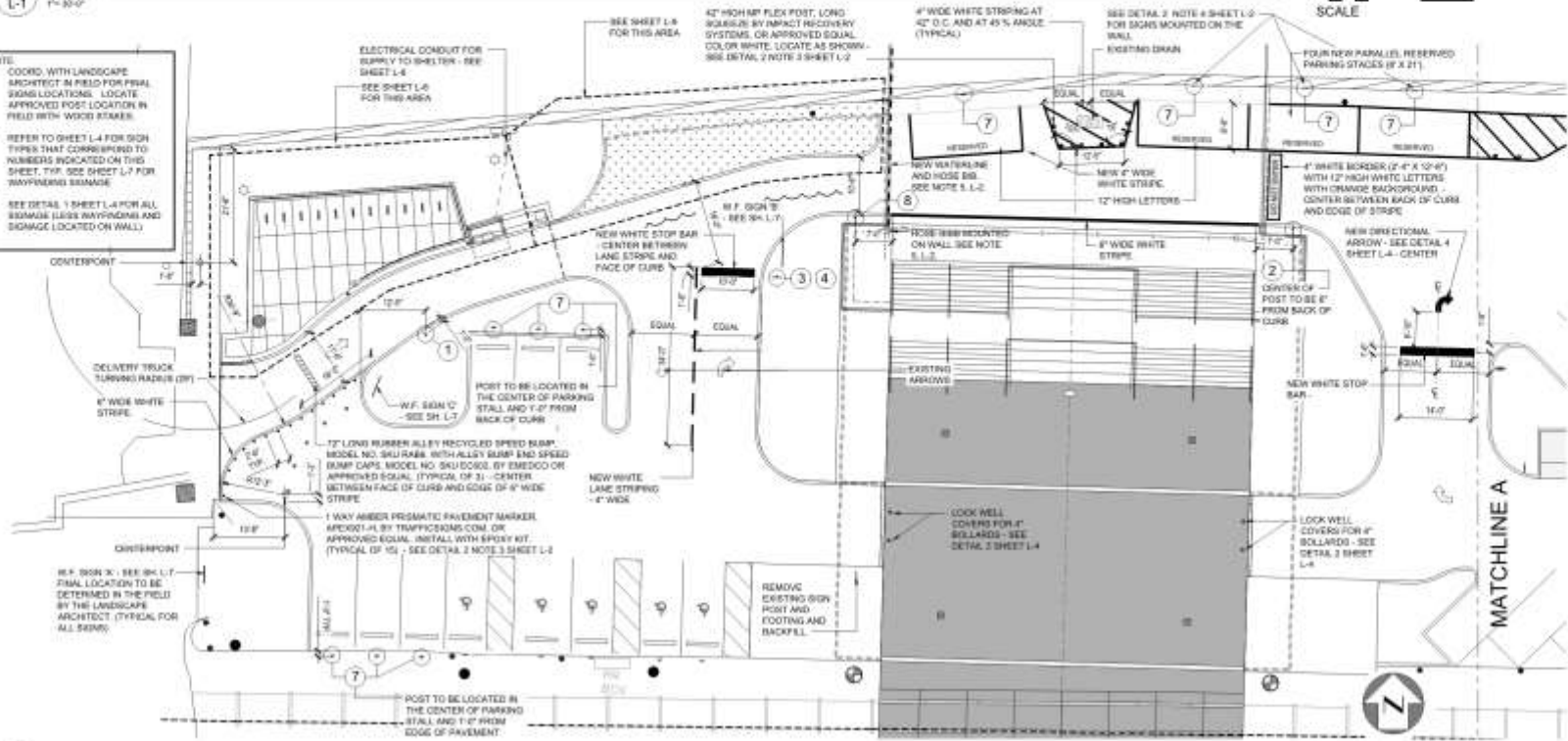
February 12, 2019





1 KEY PLAN
1" = 30'0"

- NOTE:
- COORD. WITH LANDSCAPE ARCHITECT IN FIELD FOR FINAL SIGNAGE LOCATIONS. LOCATE APPROVED POST LOCATION IN FIELD WITH WOOD STAKES.
 - REFER TO SHEET L-4 FOR SIGN TYPES THAT CORRESPOND TO NUMBERS INDICATED ON THIS SHEET. TYP. SEE SHEET L-7 FOR RAYPAINING DAMAGE.
 - SEE DETAIL 1 SHEET L-4 FOR ALL SIGNAGE (LESS RAYPAINING) AND SIGNAGE LOCATED ON WALL.



2 SIGNAGE PLAN - AREA A
1" = 30'0"

Perez



Riverside Lot Improvements

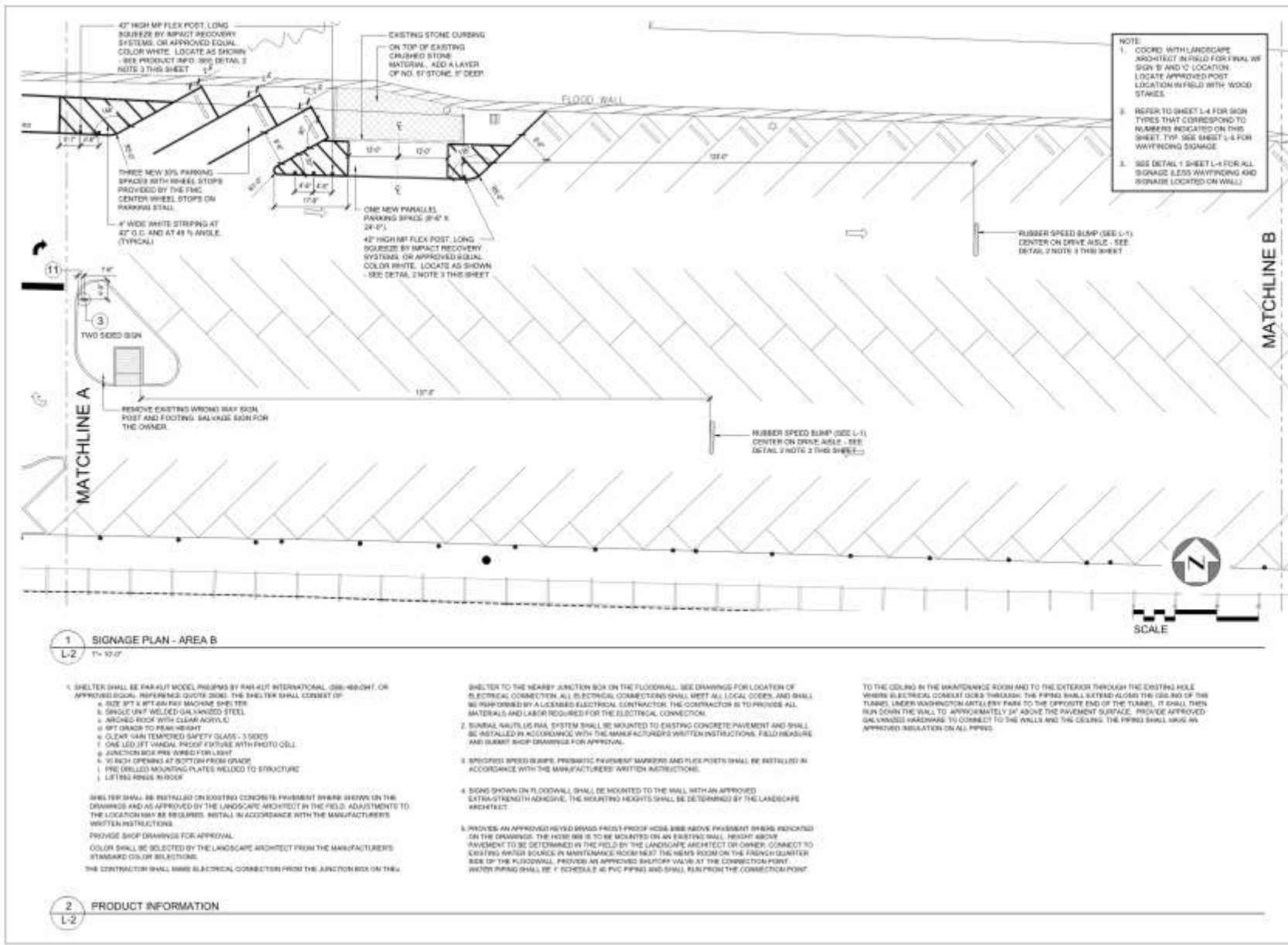
1008 North Peters Street
New Orleans, Louisiana 70116
Construction Documents

DATE: 02/12/19
PROJECT NO.: 19-000000
SHEET NO.: 11 of 11

SIGNAGE PLAN
02/12/19

L-1





1 SIGNAGE PLAN - AREA B
L-2
1" = 30'-0"

1. SHELTER SHALL BE PER-HUT MODEL PERFORM BY PER-HUT INTERNATIONAL, 688-468-047, OR APPROVED EQUAL. REFERENCED QUOTE SHALL BE THE SHELTER SHALL CONSENT OF:

- SIZE 8 FT X 8 FT AND FULL MACHINE SHELTER
- SHALL BE WELDED GALVANIZED STEEL
- ARCHED ROOF WITH CLEAR ACRYLIC
- 8 FT DRANCE TO PEAK HEIGHT
- CLEAR VIEW TEMPERED SAFETY GLASS - 3 SPEEDS
- ONE LED 1FT VERTICAL PHOTO FIXTURE WITH PHOTO CELL
- JUNCTION BOX PRE WIRING FOR LIGHT
- 10 BUSH OPENINGS AT BOTTOM FROM GRADE
- PRE DRILLED MOUNTING PLATES WELDED TO STRUCTURE
- LETTING RINGS IN ROOF

SHELTER SHALL BE INSTALLED ON EXISTING CONCRETE PAVEMENT (WHERE SHOWN ON THE DRAWINGS) AND AS APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD. ADJUSTMENTS TO THE LOCATION MAY BE REQUIRED. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

PROVIDE SHOP DRAWINGS FOR APPROVAL.

COLOR SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT FROM THE MANUFACTURER'S STANDARD COLOR SELECTIONS.

THE CONTRACTOR SHALL MAKE ELECTRICAL CONNECTION FROM THE JUNCTION BOX ON TRAIL

SHELTER TO THE NEARBY JUNCTION BOX ON THE FLOODWALL. SEE DRAWINGS FOR LOCATION OF ELECTRICAL CONNECTION. ALL ELECTRICAL CONNECTIONS SHALL MEET ALL LOCAL CODES, AND SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR. THE CONTRACTOR IS TO PROVIDE ALL MATERIALS AND LABOR REQUIRED FOR THE ELECTRICAL CONNECTION.

2. SIGNAL MOUNTING SYSTEM SHALL BE MOUNTED TO EXISTING CONCRETE PAVEMENT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. FIELD MEASURE AND SUBMIT SHOP DRAWINGS FOR APPROVAL.

3. SPECIFIED SPEED BUMPS, PRECAST PAVEMENT SANDWICHES AND FLEX POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

4. SIGNS SHOWN ON FLOODWALL SHALL BE MOUNTED TO THE WALL WITH AN APPROVED EXTRA-STRENGTH ADHESIVE. THE MOUNTING HEIGHTS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.

5. PROVIDE AN APPROVED HEAVY DUTY HOSE FIRST-PROOF HOSE BIBB ABOVE PAVEMENT FINISH INDICATED ON THE DRAWINGS. THE HOSE BIBB IS TO BE LOCATED ON AN EXISTING WALL. HEIGHT ABOVE PAVEMENT TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT OR OWNER. CONNECT TO EXISTING WATER SOURCE IN MAINTENANCE ROOM NEAR THE MEN'S ROOM ON THE FRENCH QUARTER SIDE OF THE FLOODWALL. PROVIDE AN APPROVED SHUTOFF VALVE AT THE CONNECTION POINT. WATER PIPING SHALL BE 1" SCHEDULE 80 PVC PIPING AND SHALL RUN FROM THE CONNECTION POINT

TO THE CEILING IN THE MAINTENANCE ROOM AND TO THE EXTERIOR THROUGH THE EXISTING HOLE WHERE ELECTRICAL CONDUIT GOES THROUGH. THE PIPING SHALL EXTEND ALONG THE (2) END OF THE TUNNEL UNDER WASHINGTON ARTILLERY PARK TO THE OPPOSITE END OF THE TUNNEL. IT SHALL THEN RUN DOWN THE WALL TO APPROXIMATELY 3' ABOVE THE PAVEMENT SURFACE. PROVIDE APPROVED GALVANIZED HARDWARE TO CONNECT TO THE WALLS AND THE CEILING. THE PIPING SHALL HAVE AN APPROVED INSULATION ON ALL PIPING.

2 PRODUCT INFORMATION
L-2

Perez

3008 North Peters Street
New Orleans, Louisiana 70116
Construction Documents

Riverside Lot Improvements

DATE: 01-10-19
PROJECT NO: 19-0004-01

REVISION:

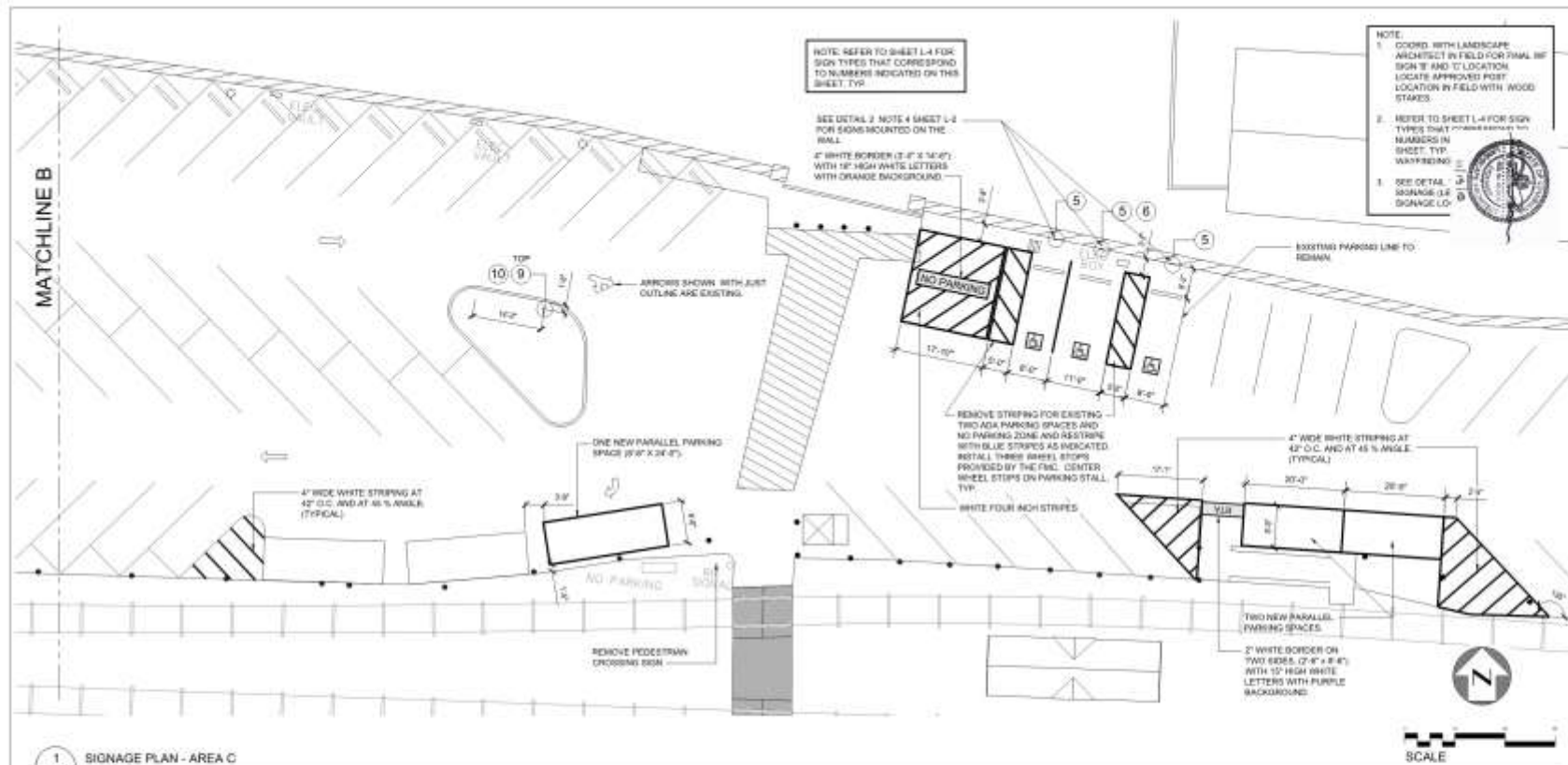
NO.	DATE	DESCRIPTION

DRAWN BY: 10/08/18/ST
CHECKED BY:
DATE PLO:

SIGNAGE PLAN
000170

L-2





NOTE: REFER TO SHEET L-4 FOR SIGN TYPES THAT CORRESPOND TO NUMBERS INDICATED ON THIS SHEET. TYP.

SEE DETAIL 2, NOTE 4 SHEET L-4 FOR SIGNS MOUNTED ON THE WALL.

4" WHITE BORDER (2'-0" X 3'-0") WITH 1/2" HIGH WHITE LETTERS WITH ORANGE BACKGROUND.

NOTE:

- COORD. WITH LANDSCAPE ARCHITECT IN FIELD FOR FINAL SIGN TYPE AND TO LOCATE APPROVED POST LOCATION IN FIELD WITH WOOD STAKES.
- REFER TO SHEET L-4 FOR SIGN TYPES THAT CORRESPOND TO NUMBERS IN SHEET. TYP. WORKING.
- SEE DETAIL 1 FOR SIGNAGE (E.G. SIGNAGE L.O.)

Perez

1115 VE

1 SIGNAGE PLAN - AREA C
L-3
1/4" = 1'-0"

- THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND FAMILIARIZE HIMSELF OR HERSELF WITH THE SITE PRIOR TO COMMENCEMENT OF WORK. ACTUAL FIELD CONDITIONS MAY VARY FROM LAYOUT AND DIMENSIONS AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH EXISTING FIELD CONDITIONS. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE OBTAINED FROM ALL UTILITY COMPANIES, INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK IN THE CONSTRUCTION AREA. EXCAVATION IN THE VICINITY OF EXISTING STRUCTURES SHALL BE PERFORMED BY HAND. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING FACILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE OR INTERRUPTION TO UTILITY SERVICE. ANY DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE SHALL BE RESTORED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION OBTAIN PERMITS AND PAY ANY FEES ASSOCIATED WITH THE WORK ON THIS PROJECT.
- IT IS ANTICIPATED THAT VARIOUS WORK FOR THIS CONTRACT SHALL BE PERFORMED SIMULTANEOUSLY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK BETWEEN SUB-CONTRACTORS AND UTILITY COMPANIES TO ENSURE COMPLETION OF THIS WORK IN A TIMELY AND WORKMANLIKE MANNER.

2 GENERAL NOTES
L-3

- WHERE NEW CONSTRUCTION ADJUTS EXISTING CURBS OR PAVEMENTS, THE EXISTING MATERIAL SHALL BE CLEARLY SAW-CUT TO PROVIDE A CLEAR, NEAT MATCH WITH NO TRIP HAZARDS.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE TO ENSURE THAT MATERIALS TO REMAIN SHALL NOT BE DAMAGED. ANY DAMAGE TO MATERIALS (SUCH AS SHRUBS, SOIL CURBS, OR PAVEMENTS) TO REMAIN SHALL BE REPAIRED OR REPLACED TO OBTAIN ORIGINAL CONDITION OF MATERIAL BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR TO TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING STRUCTURES TO REMAIN.
- ANY DAMAGE TO ANY BUILT STRUCTURE (SUCH AS THE STAIRS OR STEEL PLATE) OR PAVEMENTS DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BUILD AND/OR CONSTRUCT THIS PROJECT.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY

- PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- THREE PLANS HAVE BEEN PREPARED TO THE BEST OF OUR ABILITIES; HOWEVER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEIR ACCURACY. THE ARCHITECT OF RECORD ASSUMES NO RESPONSIBILITY OVER ANY PHASE OF CONSTRUCTION, INSTALLATION OR COMPLETED BUILDING OR LANDSCAPE AREAS.
- NO REPRODUCTION OR OTHER USE OF THIS DRAWING OR ITS CONTENTS IS PERMITTED WITHOUT WRITTEN CONSENT OF THE LEGAL OWNER.
- ANY AREA DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION.
- CONTRACTOR TO COORDINATE WITH THE OWNER REGARDING THE LOCATION OF THE STAGING AREA.
- ALL DISMISSED MATERIAL SHALL BE REMOVED OFF THE SITE & DISPOSED OF LEGALLY.
- CONTRACTOR SHALL CONTACT LOUISIANA ONE CALL 48 HOURS BEFORE COMMENCEMENT OF WORK TO MARK LOCATIONS OF EXISTING UTILITIES WITHIN WORK LIMITS AND SURROUNDING AREA.

Riverside Lot Improvements

1000 North Palms Street
New Orleans, Louisiana 70116
Construction Documents

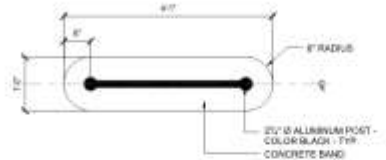
DATE: 01/13/19
PROJECT NO: 190000000
DRAWN BY: [blank]
CHECKED BY: [blank]
SCALE: [blank]

SIGNAGE PLAN
L-3





NOTES:
 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



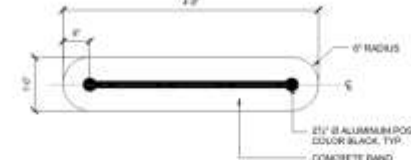
A PLAN

NOTES:
 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

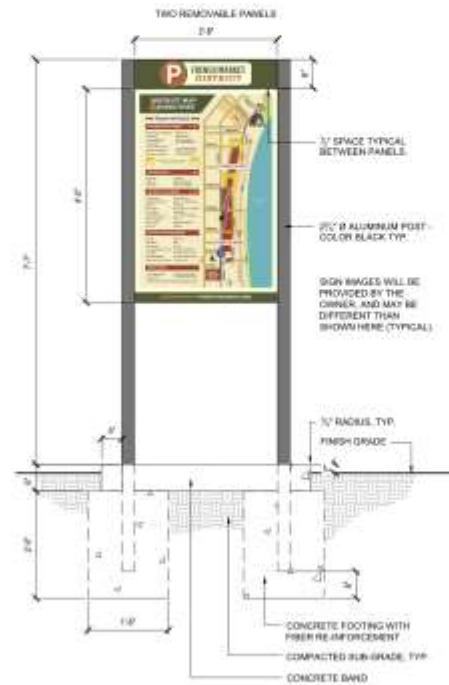


A PLAN

NOTES:
 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



A PLAN



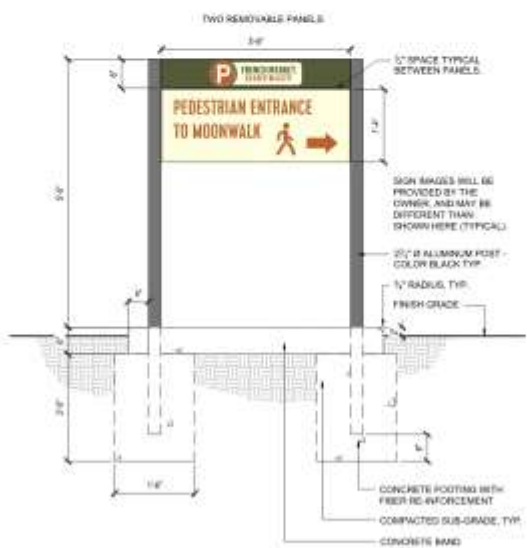
B SECTION

1 TYPE 'A' SIGN
 1/4" = 1'-0"



B SECTION

2 TYPE 'B' SIGN
 1/4" = 1'-0"



B SECTION

3 TYPE 'C' SIGN
 1/4" = 1'-0"

Riverside Lot Improvements

1008 North Palms Street
 New Orleans, Louisiana 70116
 Construction Documents

DATE: 10/1/18
 PROJECT: 18-000000
 SHEET: L-7
 DRAWN BY: []
 CHECKED BY: []
 DATE: []
 SHEET TITLE: WAY FINDING SIGN DETAILS
 SHEET NO: L-7





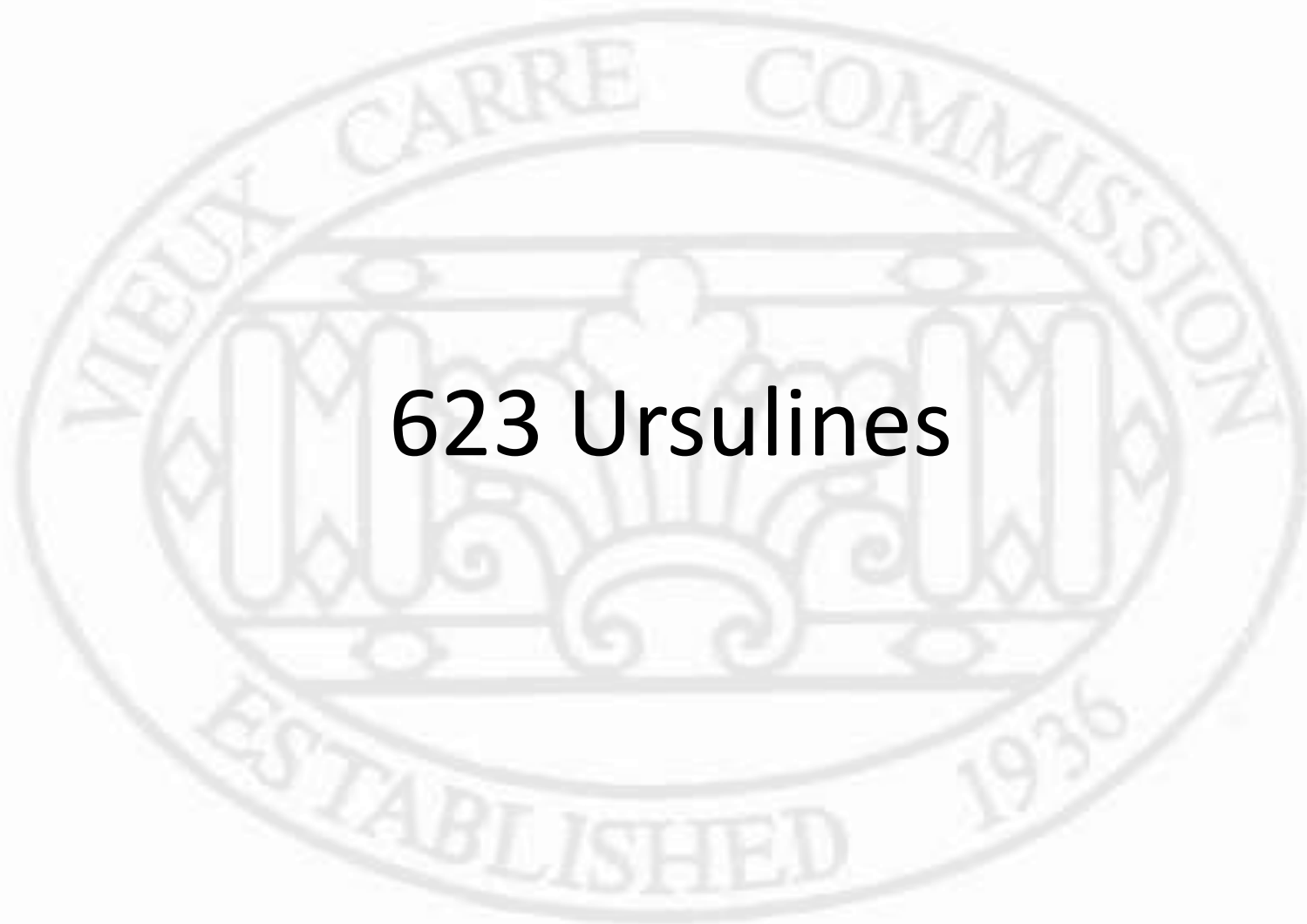
New Business



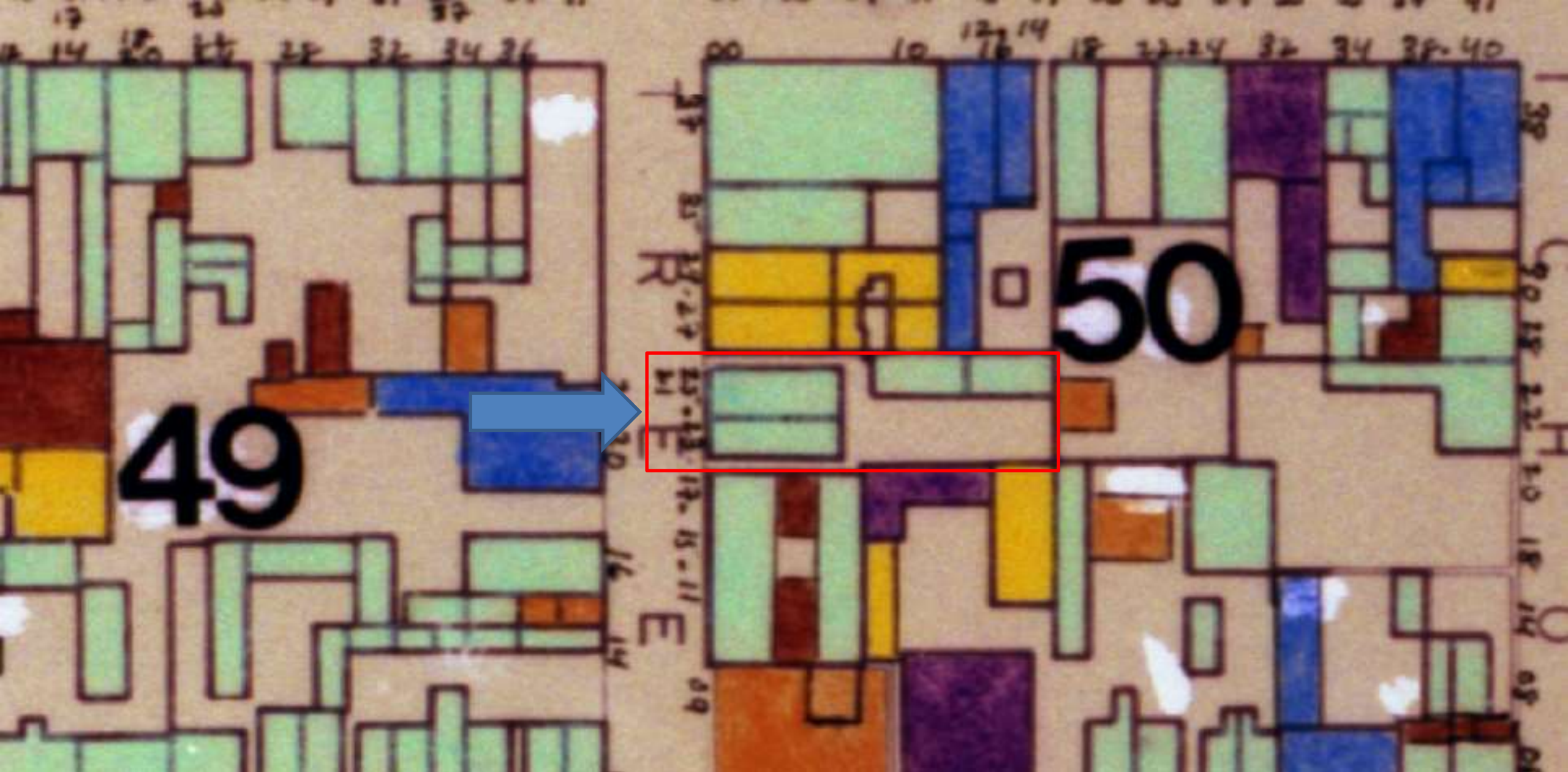
620 Decatur
Deferred at the Applicant's Request



632 Burgundy
Deferred at the Applicant's Request



623 Ursulines



623 Ursulines

VCC Architectural Committee

February 12, 2019





623 Ursulines

VCC Architectural Committee

February 12, 2019





623 Ursulines – ca. 1950

VCC Architectural Committee

February 12, 2019





623 Ursulines - 1964

VCC Architectural Committee

February 12, 2019





623 Ursulines - 2004

VCC Architectural Committee

February 12, 2019





623 Ursulines - 2004





623 Ursulines

VCC Architectural Committee

February 12, 2019





623 Ursulines

VCC Architectural Committee

February 12, 2019





623 Ursulines

VCC Architectural Committee

February 12, 2019





623 Ursulines

VCC Architectural Committee

February 12, 2019



623 URSULINES

--

623 URSULINES
NEW ORLEANS, LA

ARCHITECT:

--

GENERAL CONTRACTOR:

--

MILLWORK SHOP DRAWINGS

ISSUE DATE 02.08.2019

SHOP DRAWINGS FOR ARCHITECTURAL MILLWORK BASED ON
SITE VISIT/EXISTING MILLWORK

623 Ursulines

VCC Architectural Committee

APPROVALS:

DRAWING SECTION LIST:

COVER	COVER SHEET
SD-1	EXISTING MILLWORK PHOTOS (EXISTING CONDITIONS)
SD-2	EXISTING / PROPOSED MILLWORK
SD-3	MILLWORK DETAILS

notes:

- GLASS FOR ALL DOORS TO BE $\frac{1}{4}$ " TEMPERED
- DOOR SLAB DESIGN TO BE "FAUX FRENCH DOORS"
- EXISTING TRANSOM TO BE REMOVED AND REPLACED BY FULL HEIGHT DOOR SLAB
- ALL MOLDING/MUNTIN DETAILS TO MATCH EXISTING. REF. SD3

COVER

February 12, 2019



SHOP DRAWINGS

These drawings are the property of the architect. They are not to be used for any purpose without the approval of the architect and are to be returned upon request. They are not to be reproduced, copied or altered.

project name: _____

623 Ursulines
 CLIENT: Ryan
 CONTACT: Ryan
 p. 504.756.1467

notes:
 MATERIAL:
 SPANISH CEDAR - (PAINT GRADE)
 GL-1 - 1/4" TEMPERED GLASS
 FINISH:
 TBD - BY OTHERS
 ALL HARDWARE, DELIVERY, AND
 INSTALLATION EXCLUDED

drawing dates
 date created: _____
 02.08.2019 | A.G.Ramos

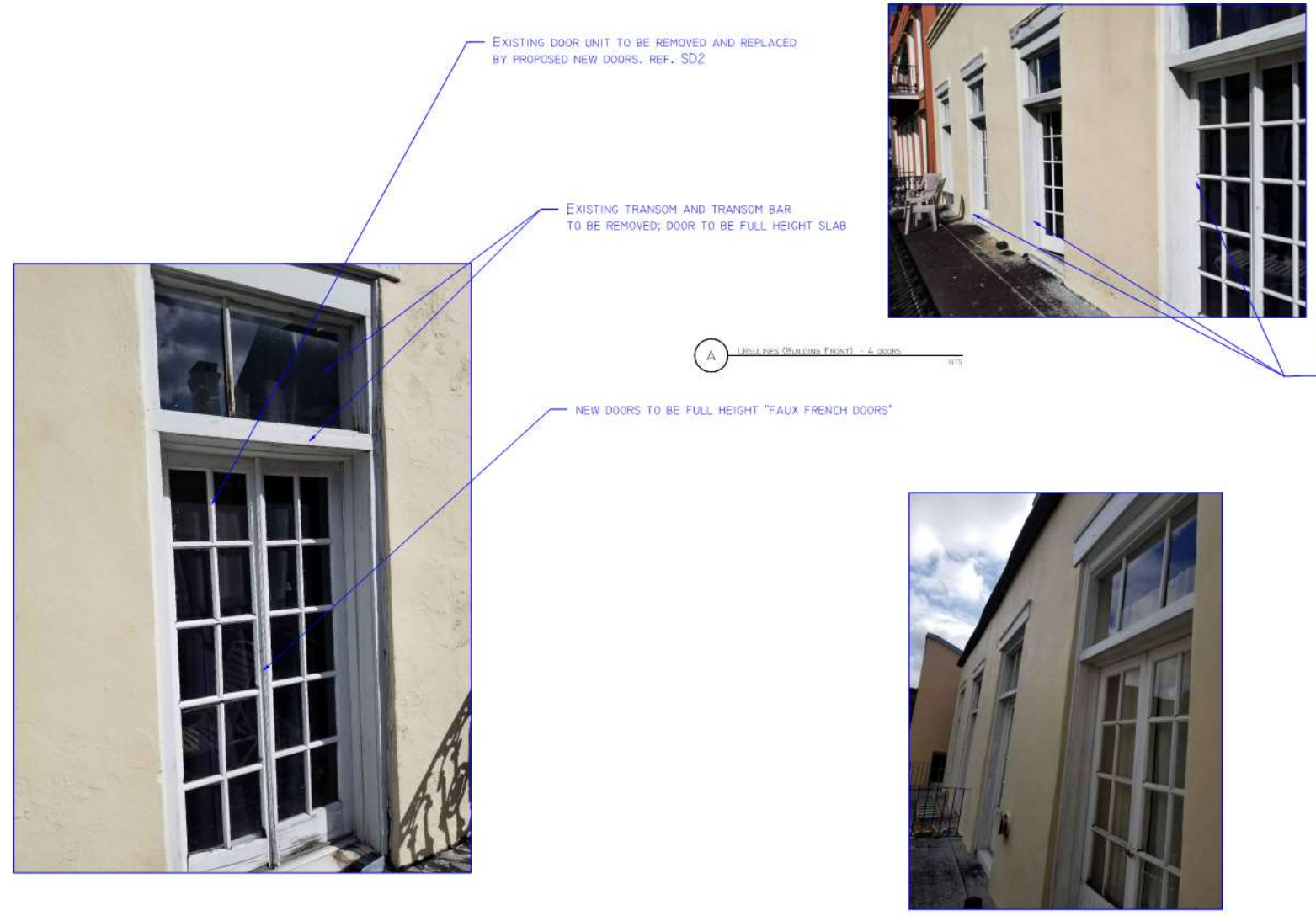
revisions

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

contents & description

EXISTING DETAILS

sheet no. **SD-1**



A URSLINES (BUILDING FRONT) - 4 DOORS
 NTS

B URSLINES (BUILDING BACK) - 4 DOORS
 NTS

I DOOR EXTERIOR PHOTO (TYP. EXISTING)
 NTS

623 Ursulines

VCC Architectural Committee

February 12, 2019



SHOP DRAWINGS

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PROJECT NAME

623 Ursulines

CLIENT: **CONTACT REAR**
504 / 756 1871

DATE

PARTIAL: **SHAWN CHAN - FAIRBANKS**

GLASS - **GLASS TYPING GLASS**

FINISH: **SEE - NOT IN SCOPE**

ALL HARDWARE, GLAZING, AND
INSTALLATION EXCLUDED

ISSUING DATE

02/08/2019 A.G. HARRIS

REVISIONS

NO.	DESCRIPTION	DATE

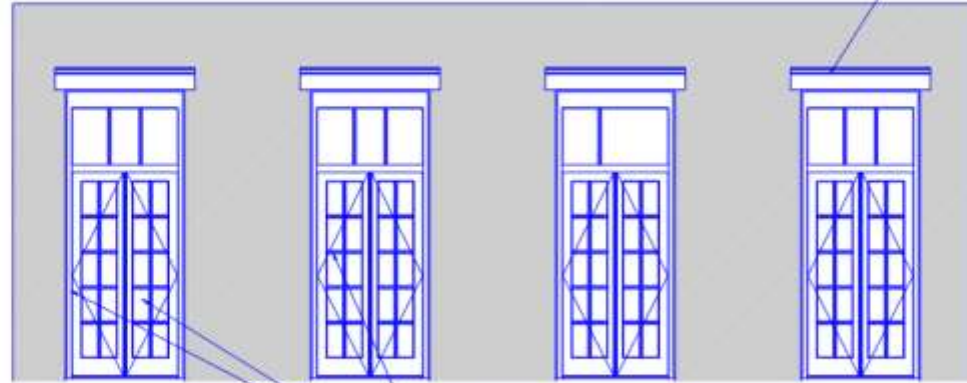
CONTENTS & SCHEDULES

Door Units

DATE

SD-2

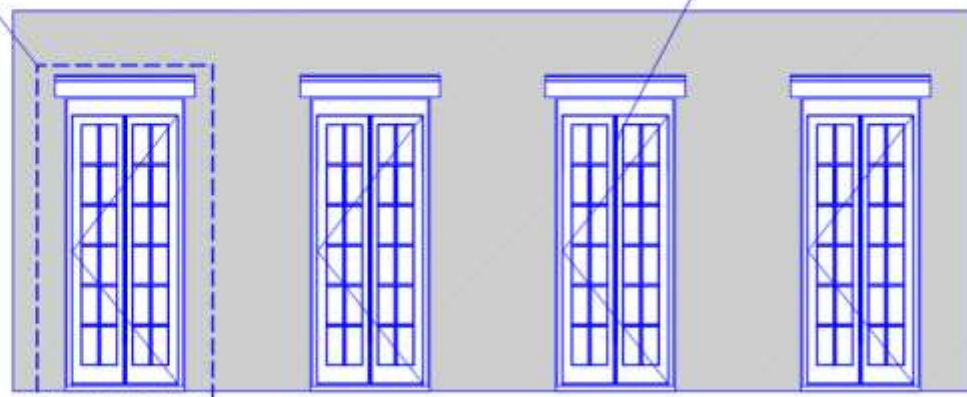
1 Existing Exterior Door Submittal
SCALE: 1/4" = 1'-0"



DOOR SLABS, JAMBS
& BRICK MOLDING
DAMAGED BEYOND REPAIR
(ALL DOORS FRONT & BACK)

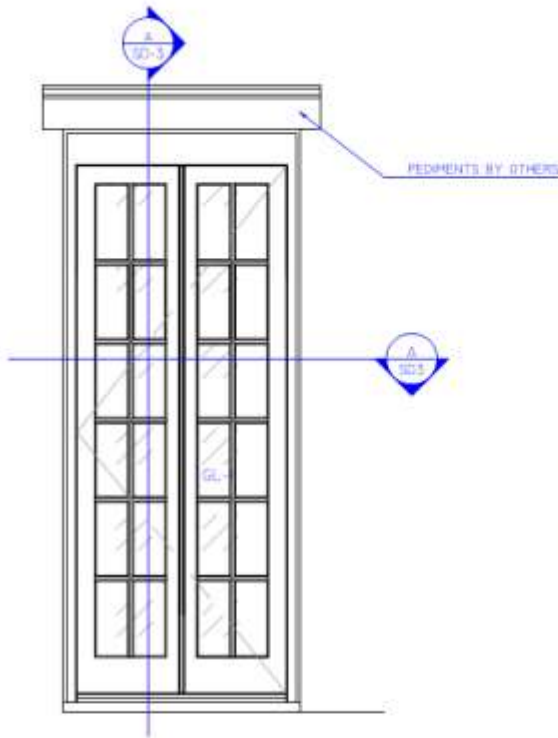
A
303

PROPOSED NEW DOORS TO BE FULL HEIGHT SINGLE SLAB WITH
THE APPEARANCE OF FRENCH DOORS TO MATCH EXISTING.
ALL DOOR SWINGS TO BE VERIFIED



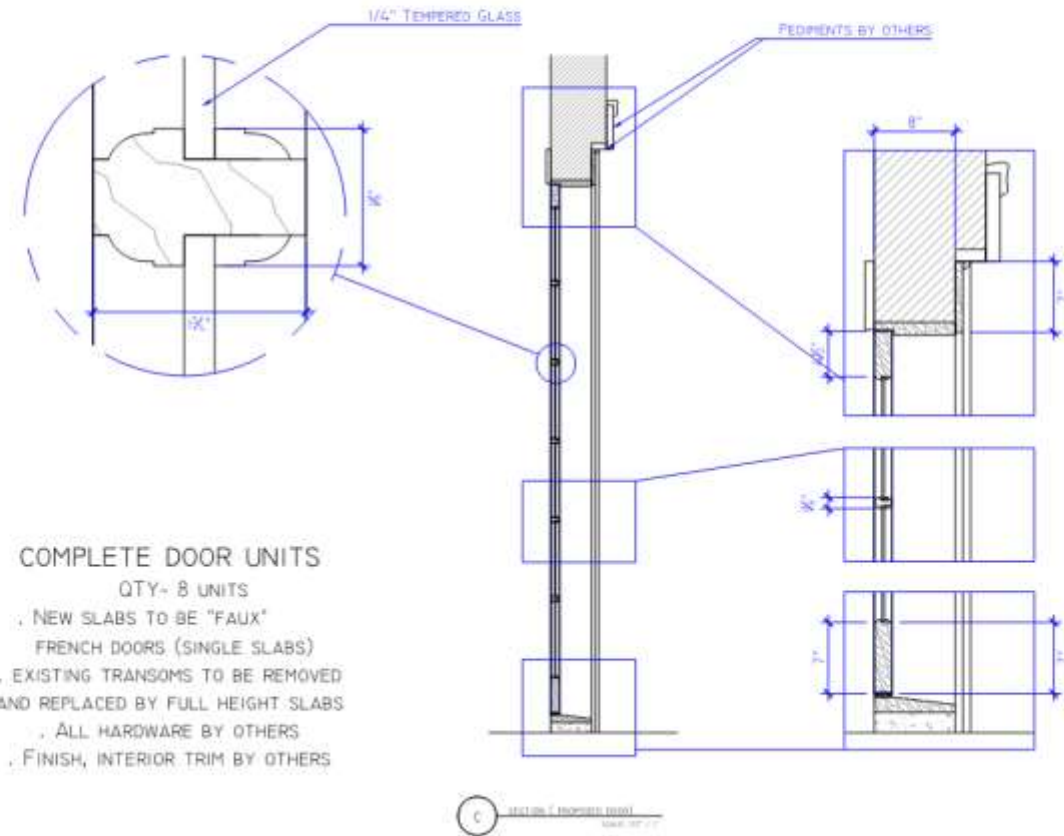
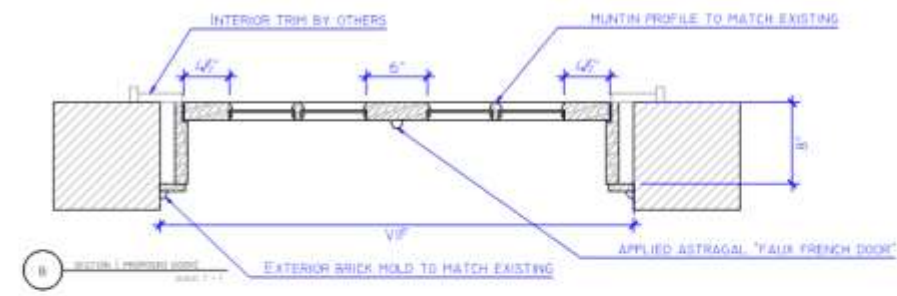
2 Proposed Exterior Door Submittal (New, Repair & Replace)
SCALE: 1/4" = 1'-0"





A ELEVATION OF EXISTING DOOR & TRANSOM
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE (UNIT OPENING)		
WIDTH (INCHES)	HEIGHT (INCHES)	LOCATION (LEFT TO RIGHT)
46 3/4	115 1/2	FRONT - 1
47	115 1/2	FRONT - 2
46 3/4	115 1/2	FRONT - 3
46 3/4	115 1/2	FRONT - 4
47	115	BACK - 1
47	115	BACK - 2
47	115	BACK - 3
47	115	BACK - 4



COMPLETE DOOR UNITS
 QTY- 8 UNITS
 . NEW SLABS TO BE "FAUX"
 FRENCH DOORS (SINGLE SLABS)
 . EXISTING TRANSOMS TO BE REMOVED
 AND REPLACED BY FULL HEIGHT SLABS
 . ALL HARDWARE BY OTHERS
 . FINISH, INTERIOR TRIM BY OTHERS

C SECTION OF EXISTING DOOR
SCALE: 1/8" = 1'-0"

SHOP DRAWINGS

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Project Name: _____

623 Ursulines

CLIENT: CONTACT RYAN
 P-306 706 1447

MATERIAL:
 Slab - Glass - Float glass
 GL-1 - 1/4" THIN TEMPERED GLASS
 FINISH:
 TFD - SET IN SCUM
 ALL HARDWARE, SOLUTION, AND
 INSTALLATION INCLUDED

Working Date:
 22.08.2019 - A.G. Ramak

NO.	REV.	DATE	BY
1			
2			
3			
4			

DOOR UNITS
 QTY: 8

SD-3





(504) 834-8999

Date: 1-27-2019
Proposal Submitted to:
HDV 4 (Haunted Hotel)
623 Ursulines
New Orleans, La.

State Lic # 57575

This Contract is based on scope of work listed below.

SCOPE OF WORK FOR VCC VIOLATIONS

1. Remove signage and install new according to VCC specifications.
2. Remove all signage and light for windows.
3. Remove all vegetation from outside of building noted by VCC.
4. Repair stucco noted by VCC.

SCOPE OF WORK FOR REPLACEMENT DOORS

1. Remove the 8 front door units and Install 8 new 1-3/4" exterior faux French door units to match existing doors. (47"x113" door units)

NOTE: Includes prehanging with architectural grade hinges on 8" rabbeted jambs, wood thresholds, 1/4" tempered glass, exterior casing and brick mold; no interior casing, exterior capital, or additional hardware is included

SCOPE OF WORK FOR PAINTING

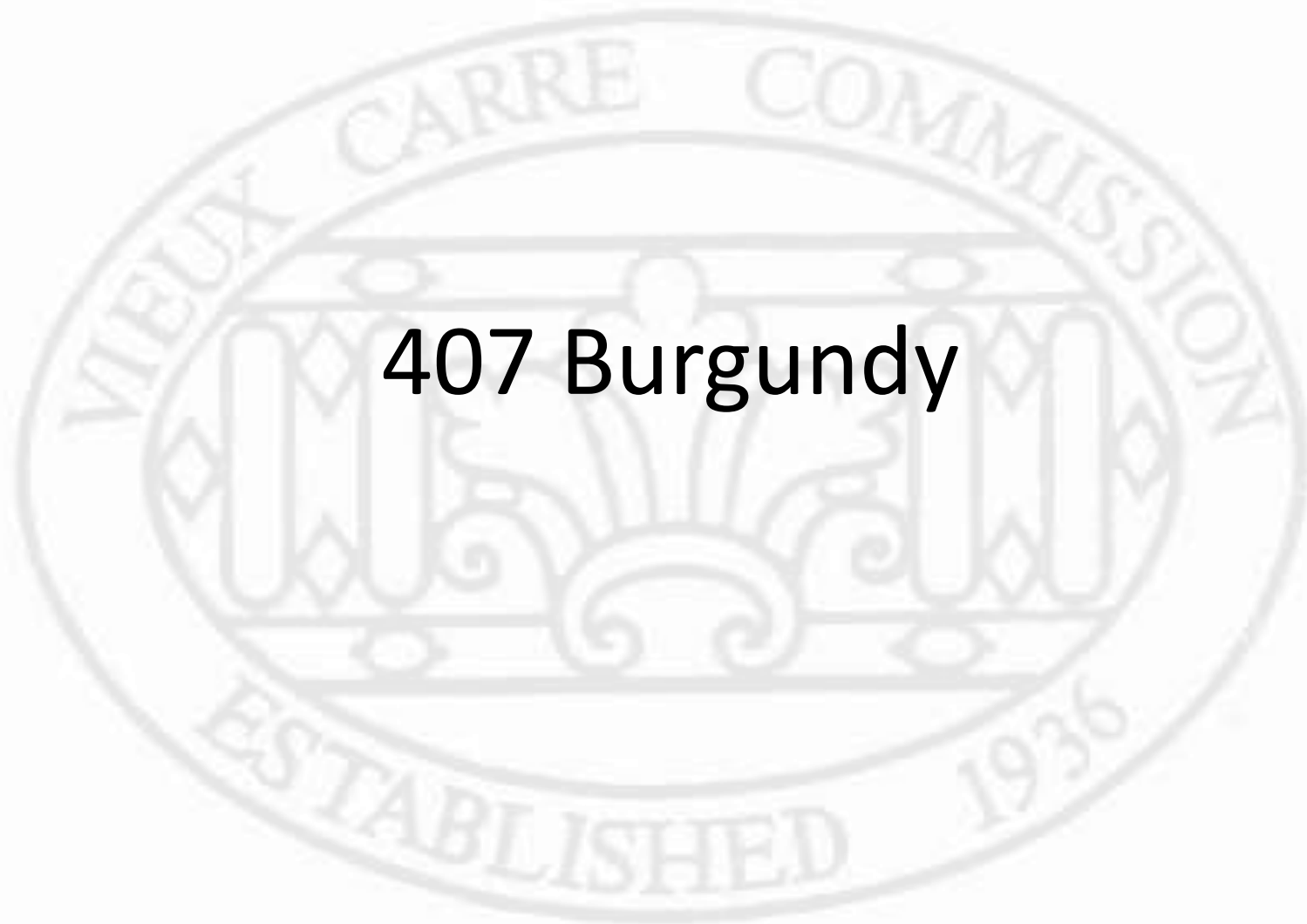
1. Remove all vegetation
2. Sand and paint balcony floor
3. Sand, caulk and clean all exterior windows on front and back only.
4. Paint 2 coats of exterior latex paint on front, back and halfway up right side of exterior building. (doors and windows are included).

623 Ursulines

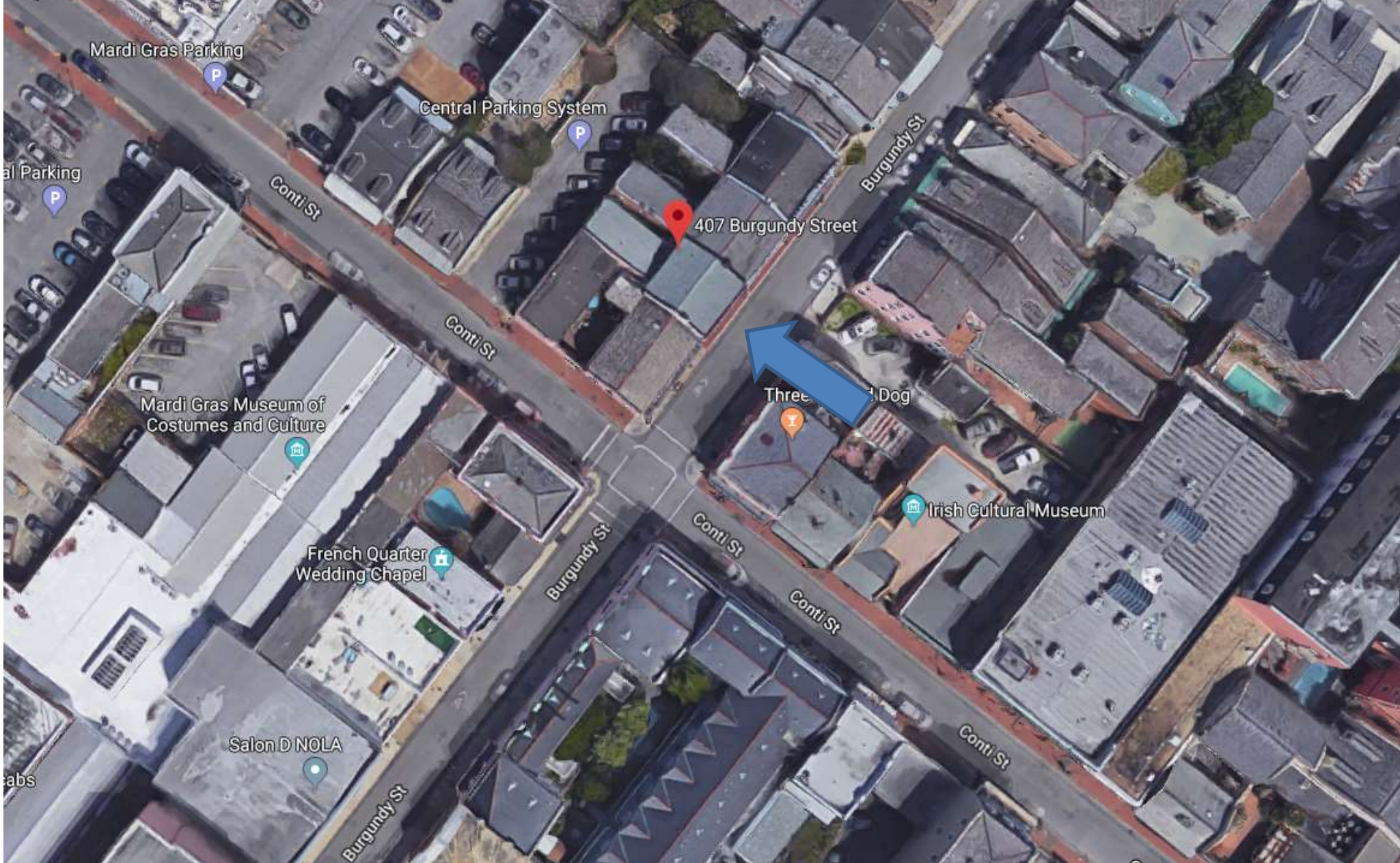
VCC Architectural Committee

February 12, 2019





407 Burgundy



407 Burgundy



407 Burgundy

VCC Architectural Committee

February 12, 2019





407 Burgundy

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February 12, 2019





407 Burgundy

VCC Architectural Committee

February 12, 2019





407 Burgundy – Conti Elevation





Window A

407 Burgundy – Conti Elevation

VCC Architectural Committee

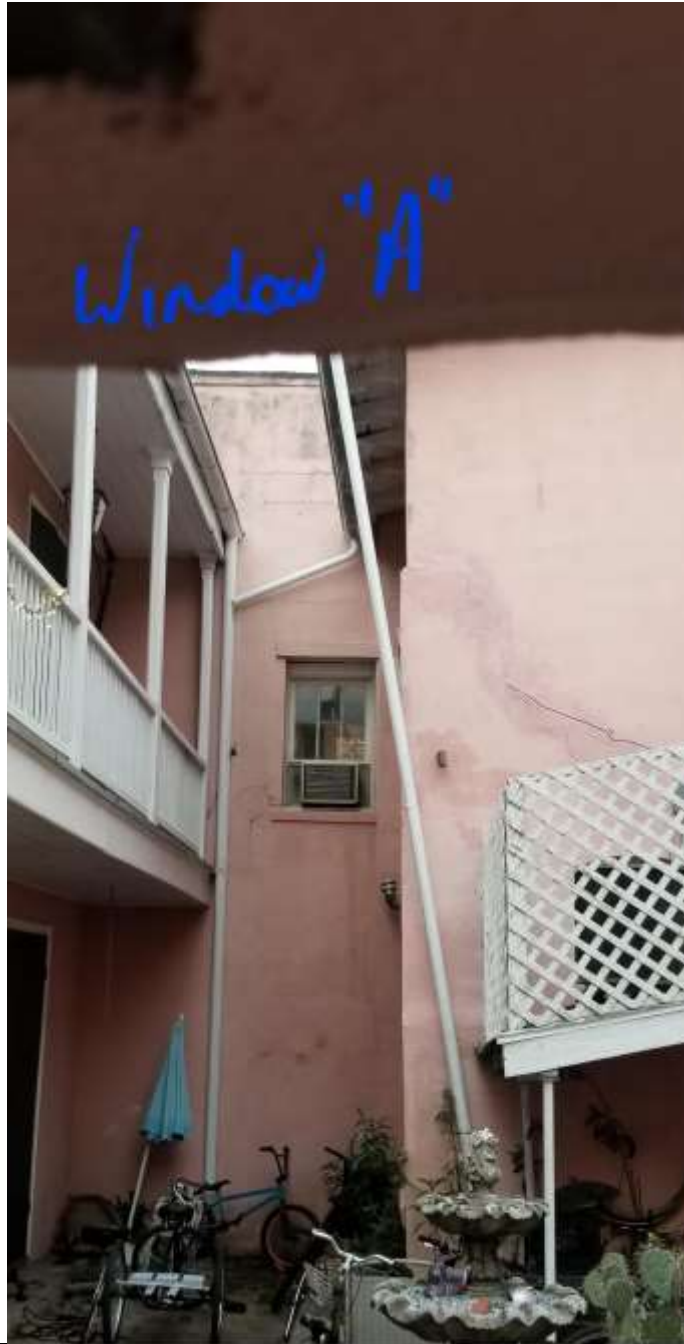
February 12, 2019





407 Burgundy – Conti Elevation

VCC Architectural Committee



February 12, 2019





407 Burgundy – Window A Example

VCC Architectural Committee

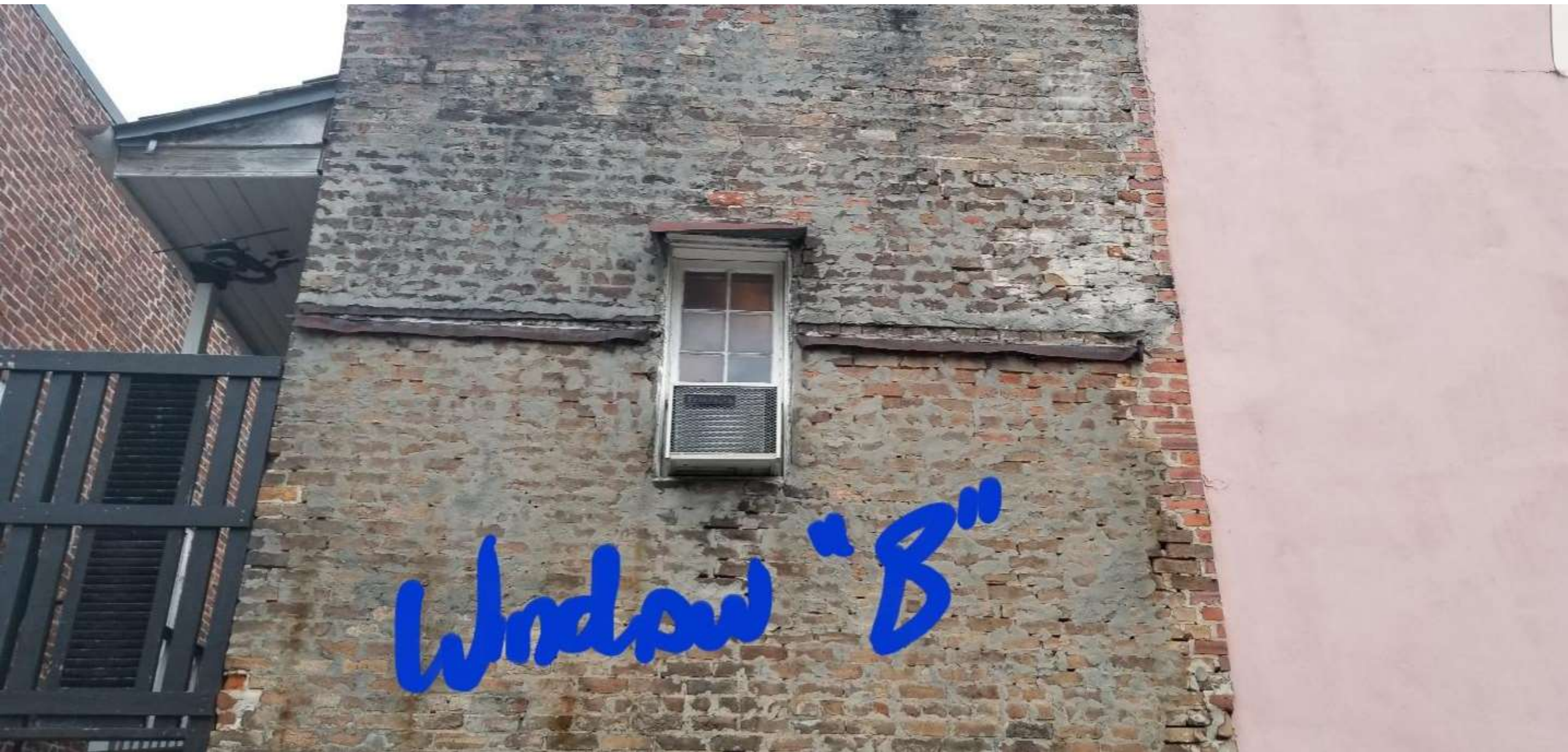
February 12, 2019





407 Burgundy – N. Rampart Elevation





407 Burgundy – N. Rampart Elevation

VCC Architectural Committee

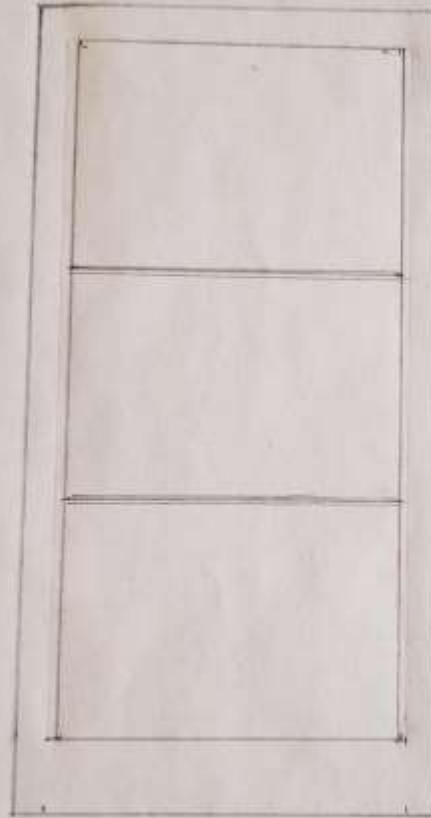
February 12, 2019





407 Burgundy – Existing French Door Example

Proposed SASH "B"

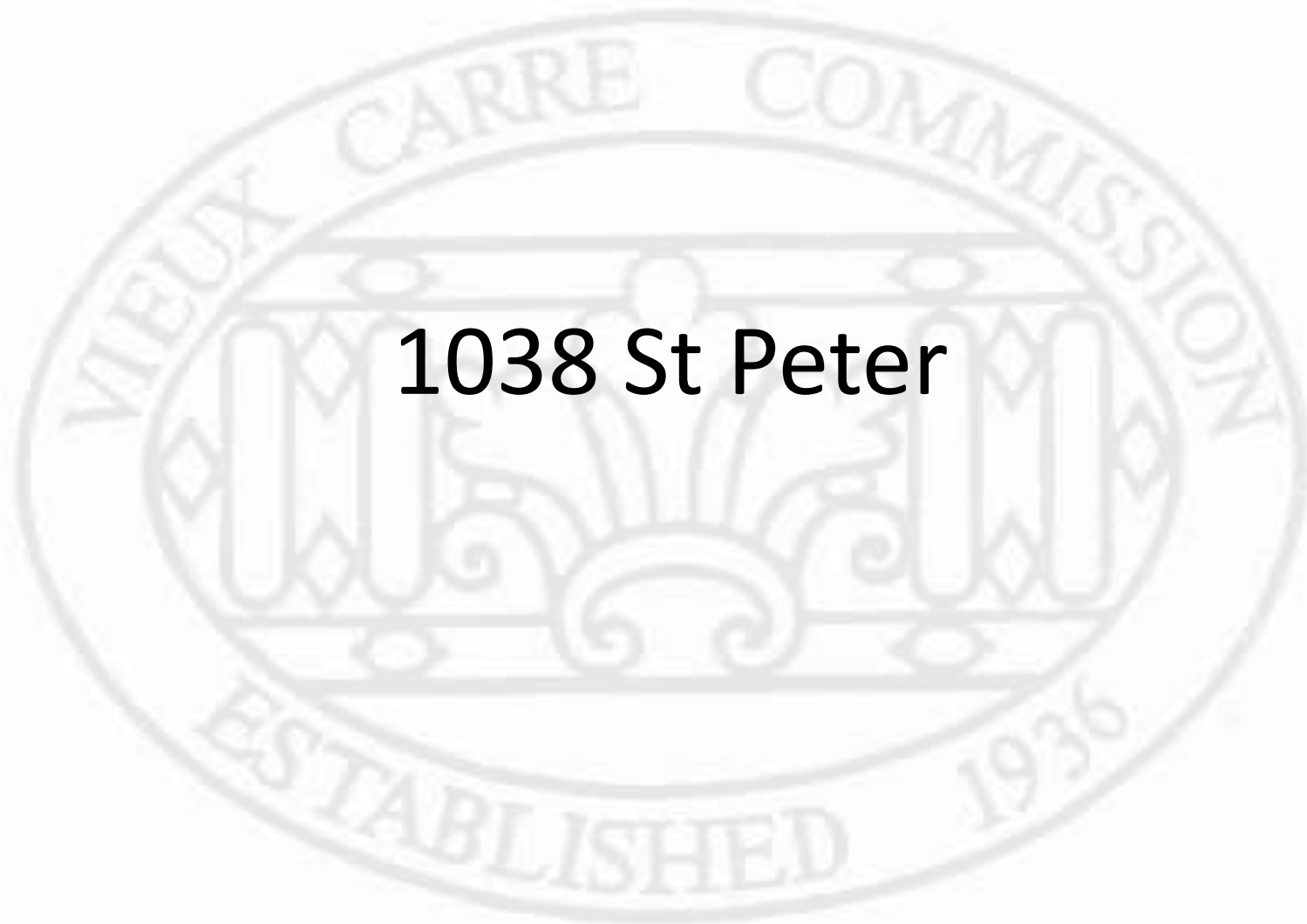


5/8 Muntin, True Divided Light
2 1/4 Stiles
2 1/2 Top Rail
4" Bottom Rail
Right Hand Inswing

Scale 1 1/2" = 1'
Existing Jamb Inside
22 3/4" x 45" tall

407 Burgundy – Proposed Window "B"





1038 St Peter

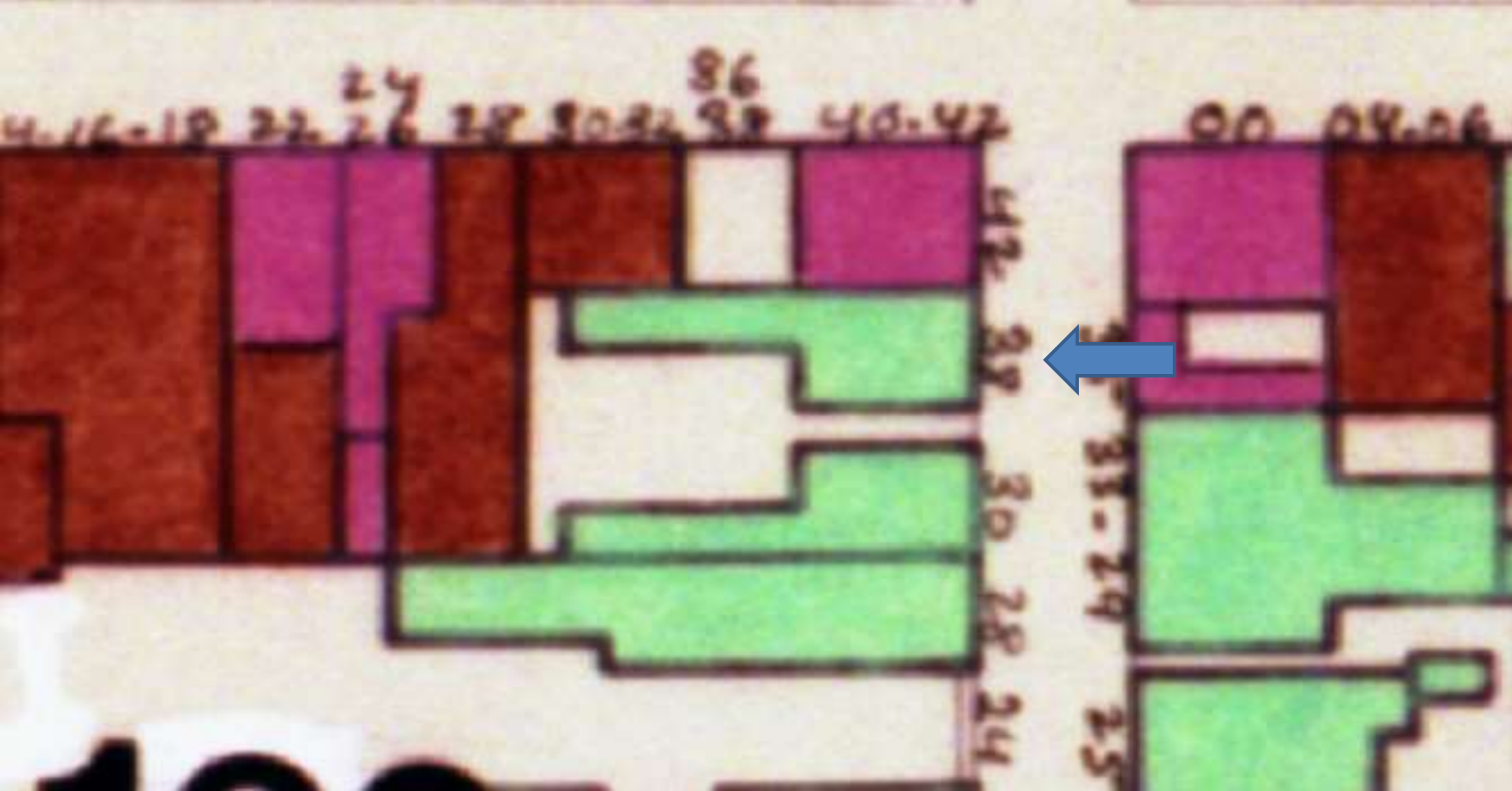


1038 St. Peter

VCC Architectural Committee

February 12, 2019





1038 St. Peter

VCC Architectural Committee

February 12, 2019





1038 St. Peter

VCC Architectural Committee

February 12, 2019





1038 St. Peter - 2009

VCC Architectural Committee

February 12, 2019





1038 St. Peter

VCC Architectural Committee

February 12, 2019





1038 St. Peter

VCC Architectural Committee

February 12, 2019





1038 St. Peter

VCC Architectural Committee

February 12, 2019





1038 St. Peter

VCC Architectural Committee

February 12, 2019





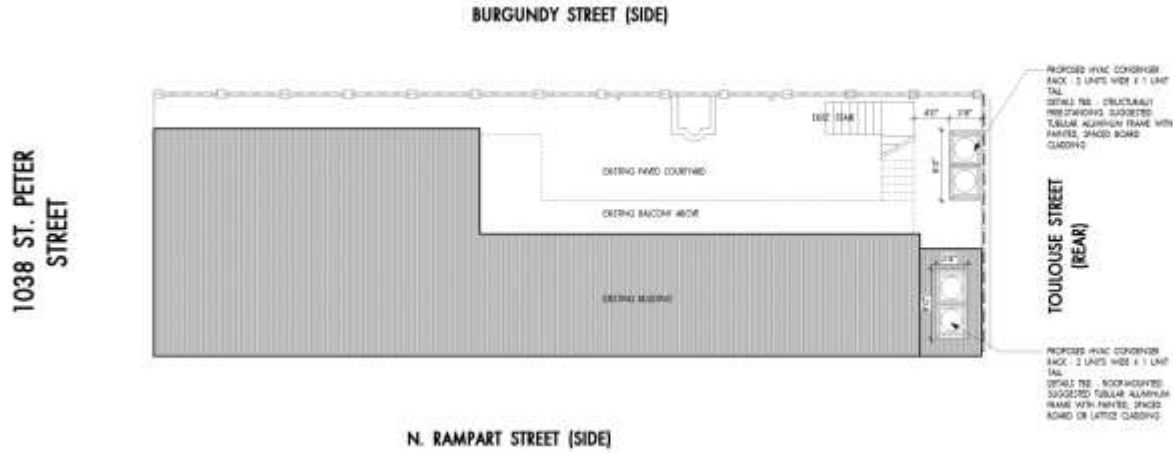
1038 St. Peter

VCC Architectural Committee

02 04 2019

February 12, 2019

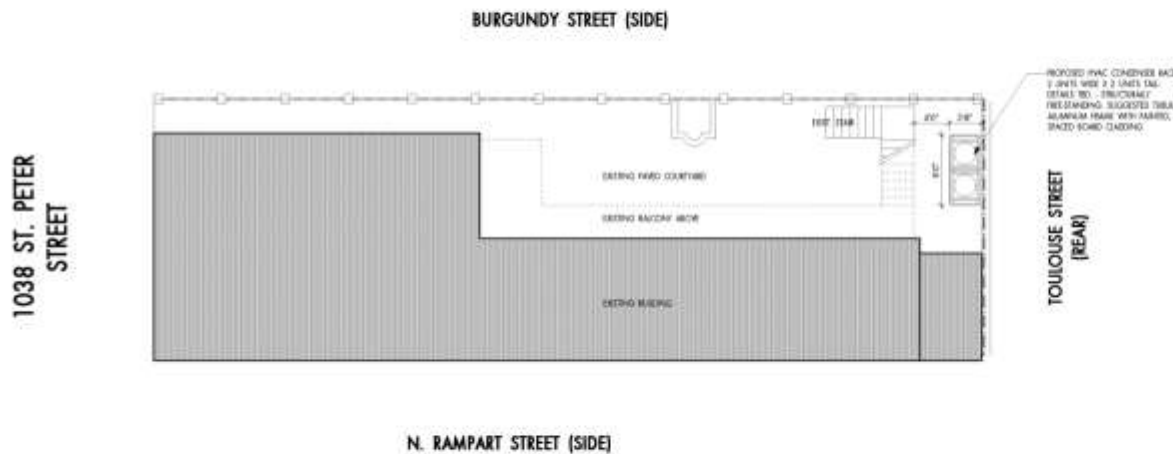




3 SITE PLAN - HVAC CONDENSER LOCATION PLAN "B"
1/16" = 1'-0"



4 VIEW AT LAUNDRY ROOF
NOT TO SCALE



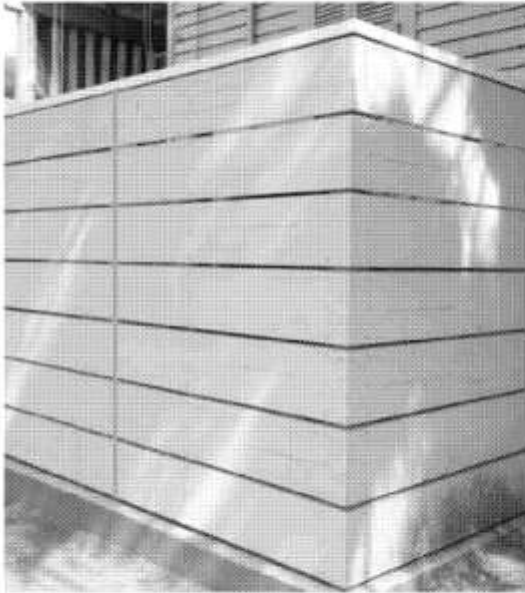
1 SITE PLAN - HVAC CONDENSER LOCATION PLAN "A"
1/16" = 1'-0"



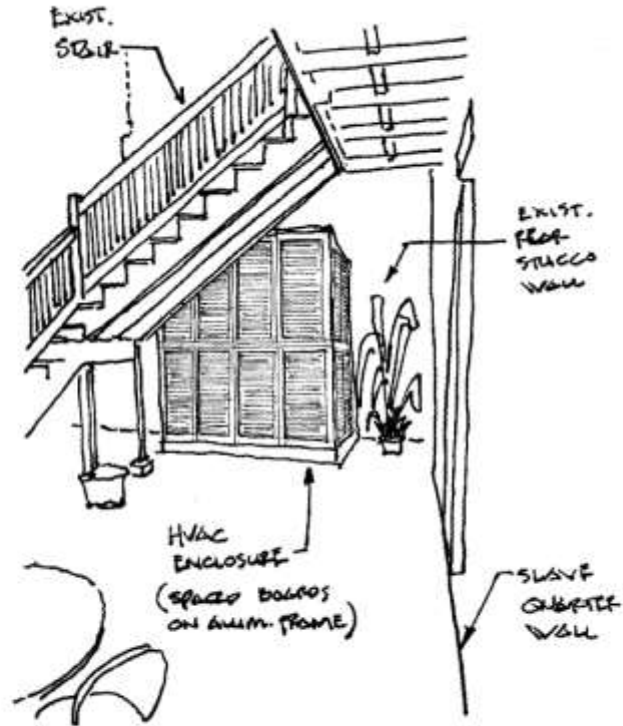
2 VIEW AT STAIR
NOT TO SCALE

1038 St. Peter

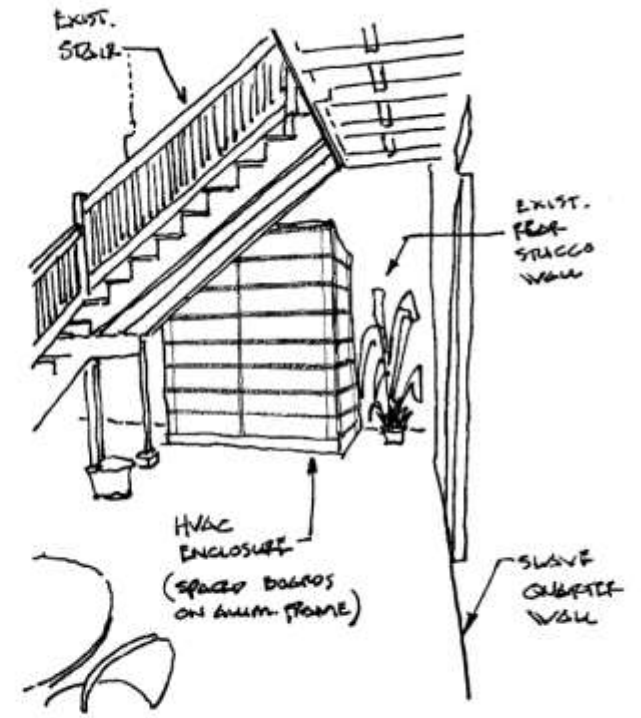




ENCLOSURE CONCEPT
PAINT COLOR TBD - MATCH SHUTTERS



SKETCH AT STAIR / HVAC ENCLOSURE



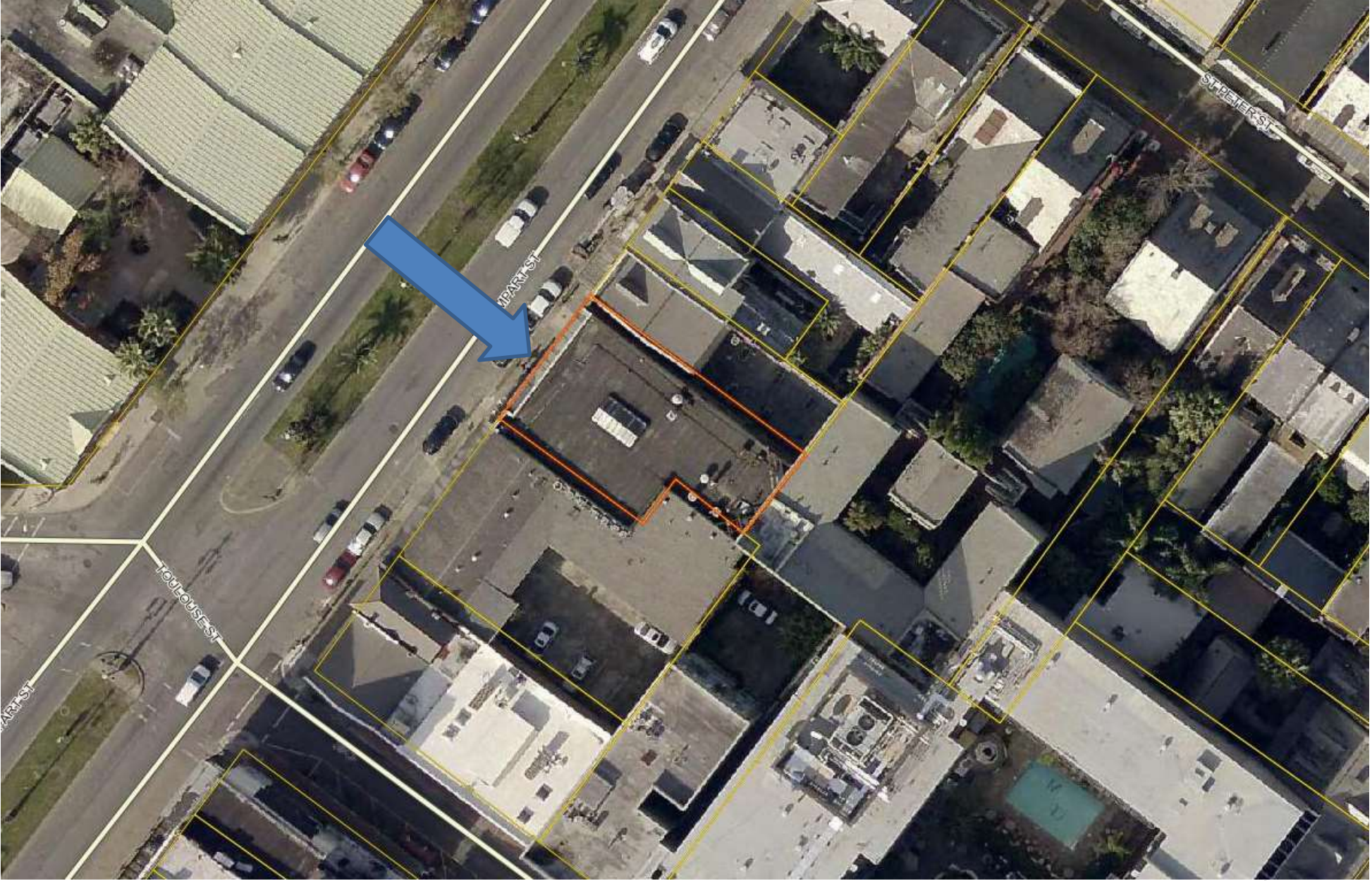
SKETCH AT STAIR / HVAC ENCLOSURE ALTERNATE

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative design, including a central figure and ornate scrollwork. The shield is flanked by two columns. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

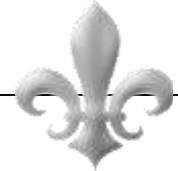
Appeals and Violations



618 N Rampart



616 N. Rampart





616 N. Rampart





Circa 1963

616 N. Rampart

VCC Architectural Committee

November 8, 2016



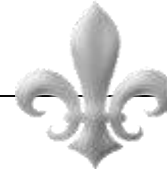


616 N. Rampart





616 N. Rampart





616 N. Rampart





616 N. Rampart





616 N. Rampart





616 N. Rampart





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

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VCC Architectural Committee

September 12, 2017





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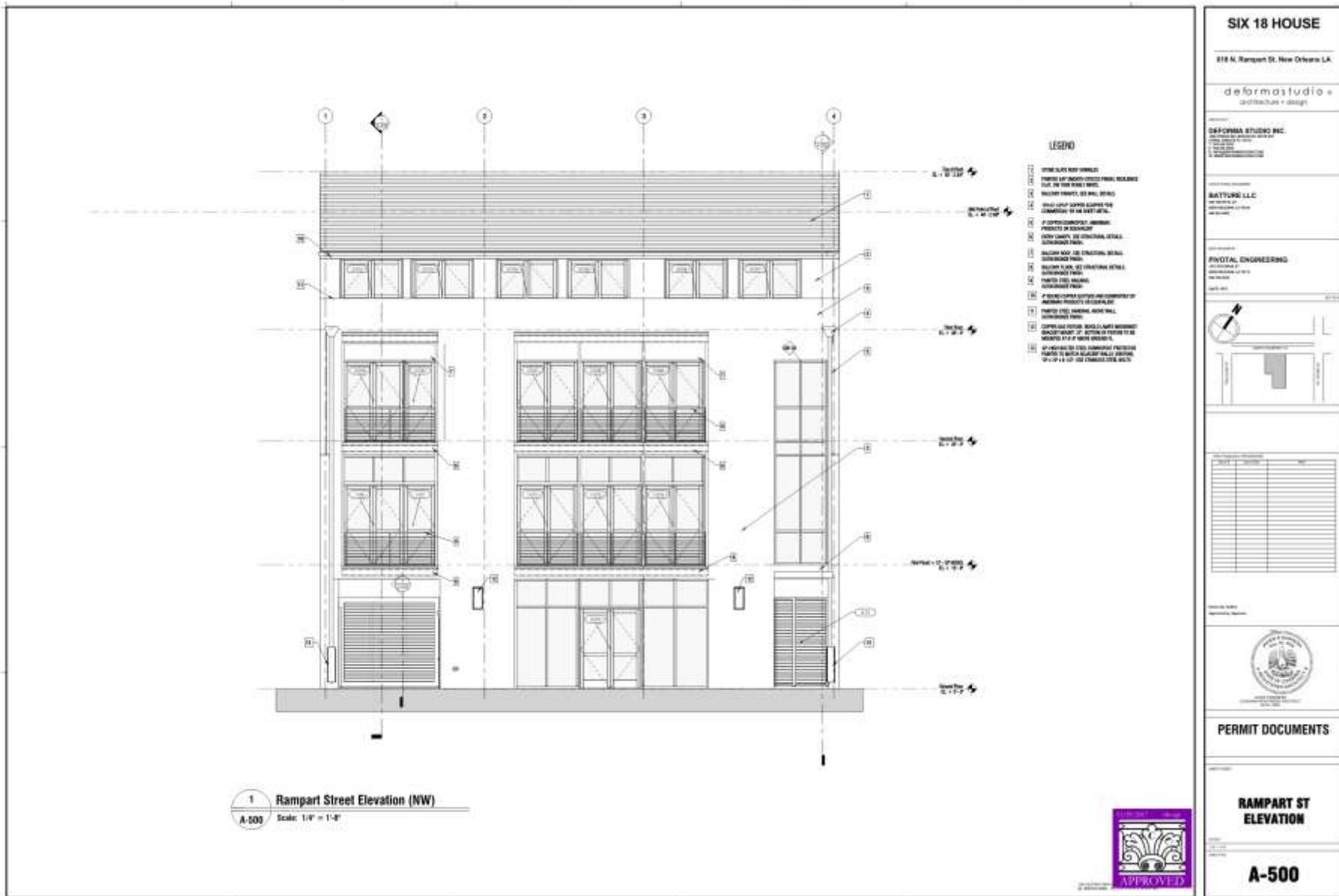


616 N. Rampart

VCC Architectural Committee

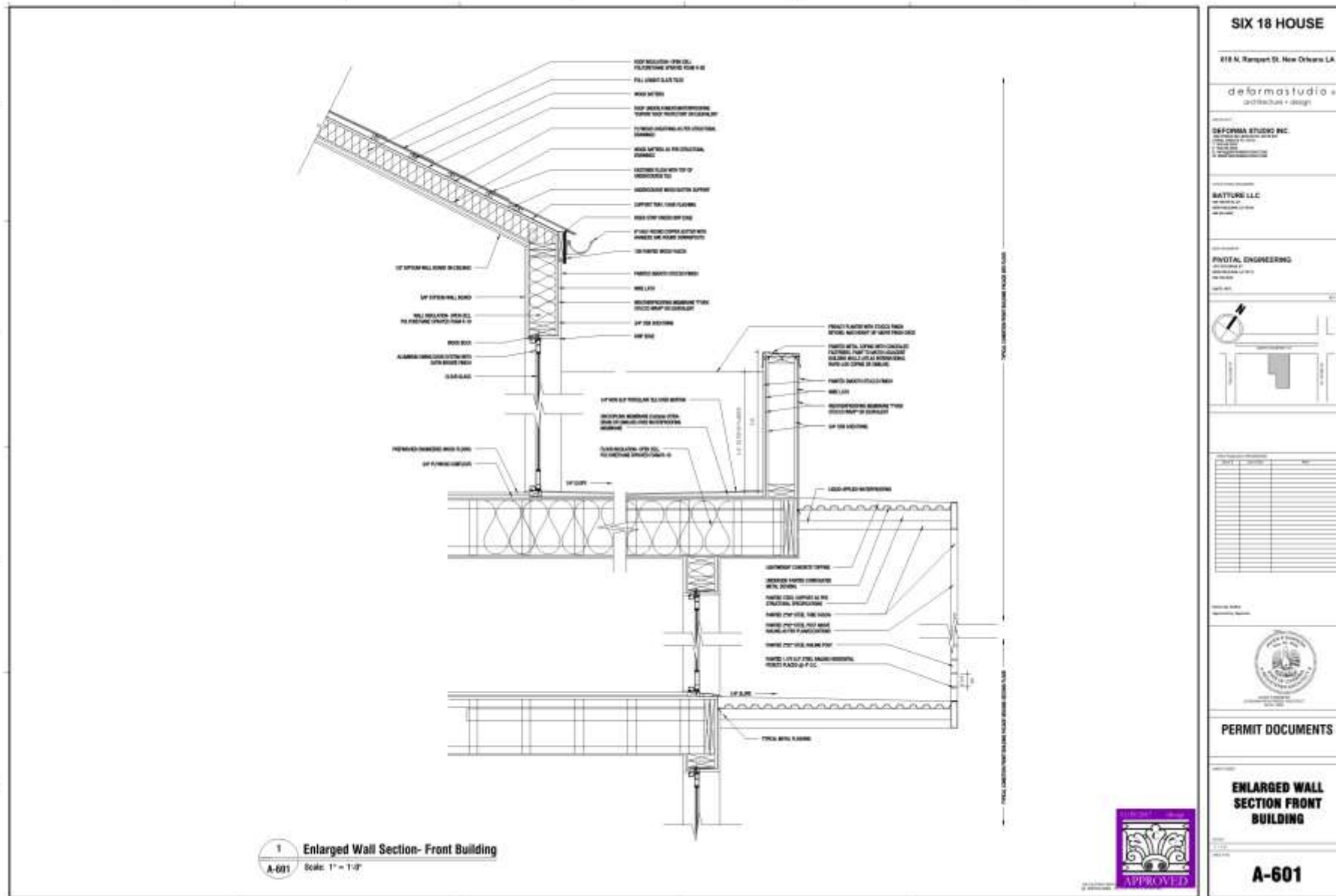
September 12, 2017





616 N. Rampart – approved elevation





SIX 18 HOUSE
 616 N. Rampart St. New Orleans LA
 deforma studio
 architecture + design

DEFORMA STUDIO INC.
 1000 Poydras Street, Suite 2000
 New Orleans, LA 70112
 (504) 581-1111
 www.deformastudio.com

BATTUPO LLC
 1000 Poydras Street, Suite 2000
 New Orleans, LA 70112
 (504) 581-1111
 www.battupo.com

PIVOTAL ENGINEERING
 1000 Poydras Street, Suite 2000
 New Orleans, LA 70112
 (504) 581-1111
 www.pivotal-engineering.com

PERMIT DOCUMENTS

ENLARGED WALL SECTION FRONT BUILDING

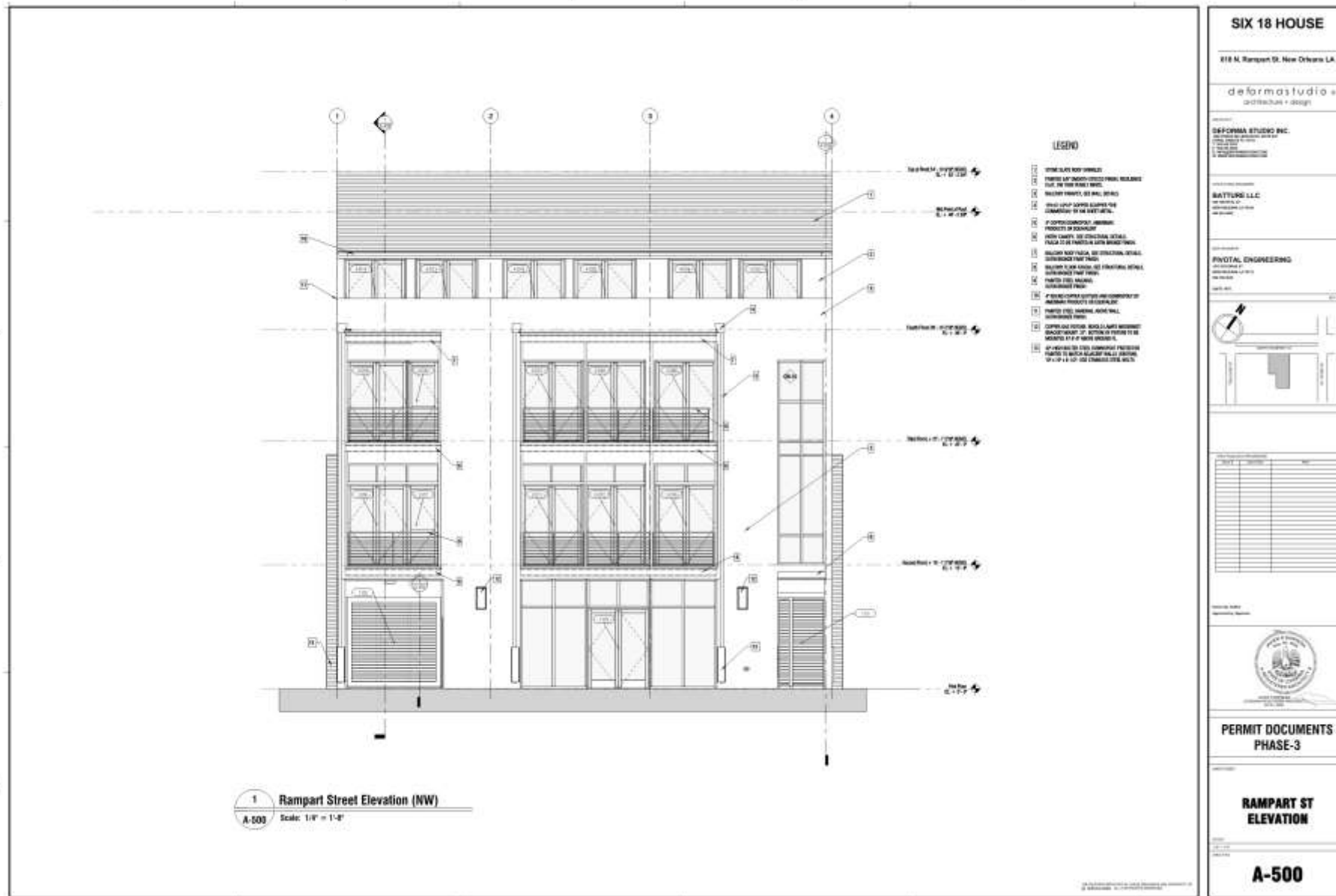
A-601

616 N. Rampart – approved section

VCC Architectural Committee

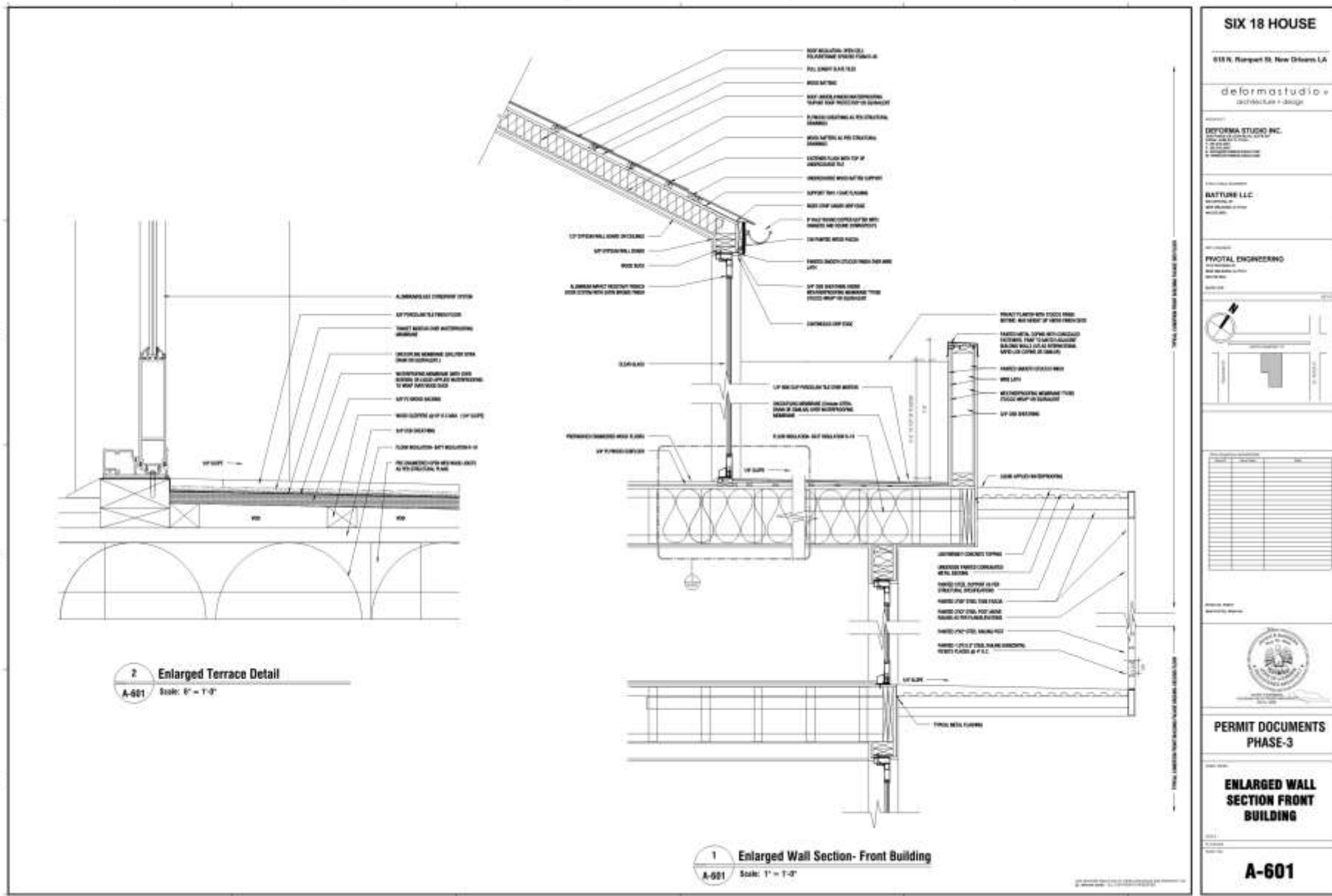
September 12, 2017





616 N. Rampart – proposed elevation



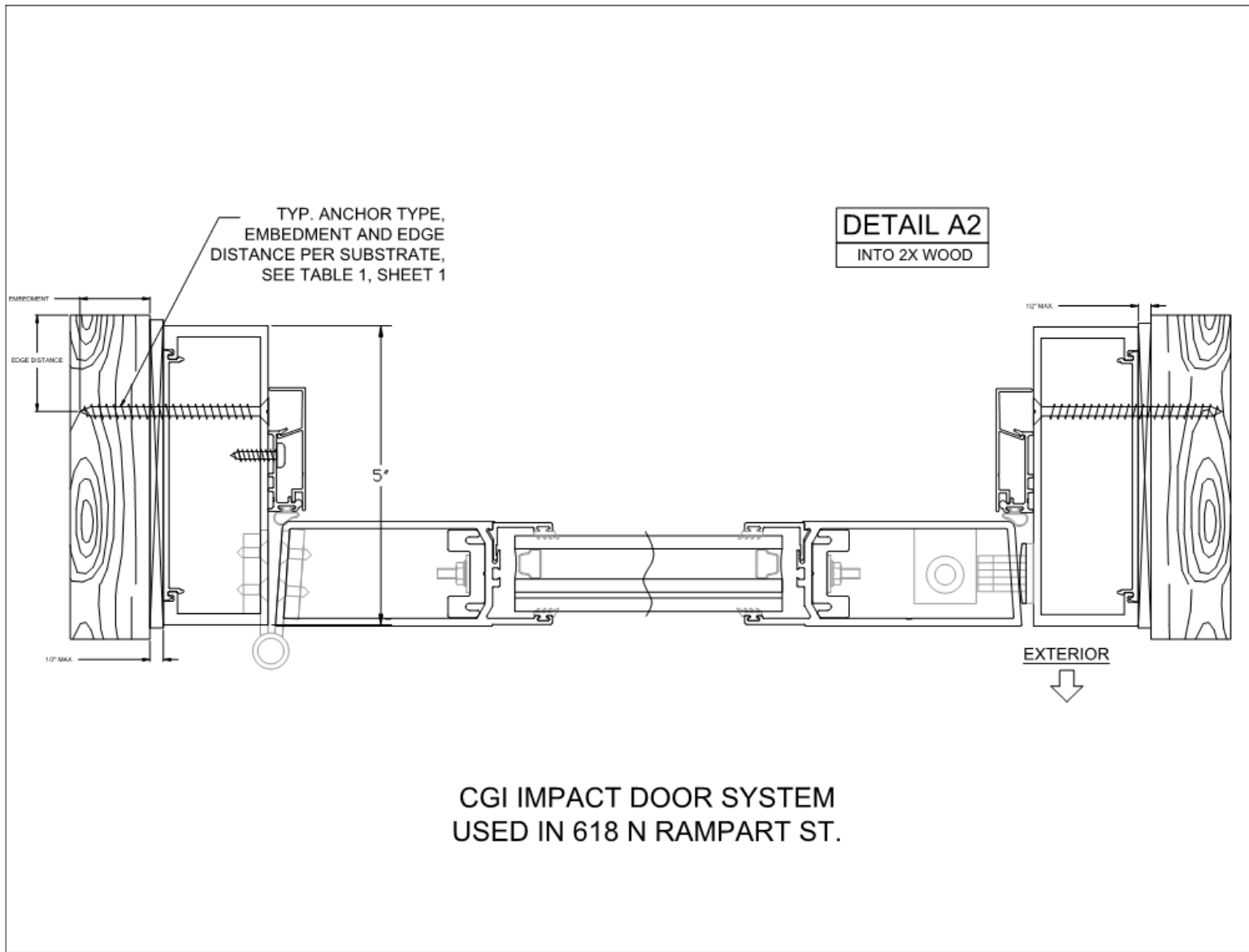


616 N. Rampart – proposed section

VCC Architectural Committee

September 12, 2017



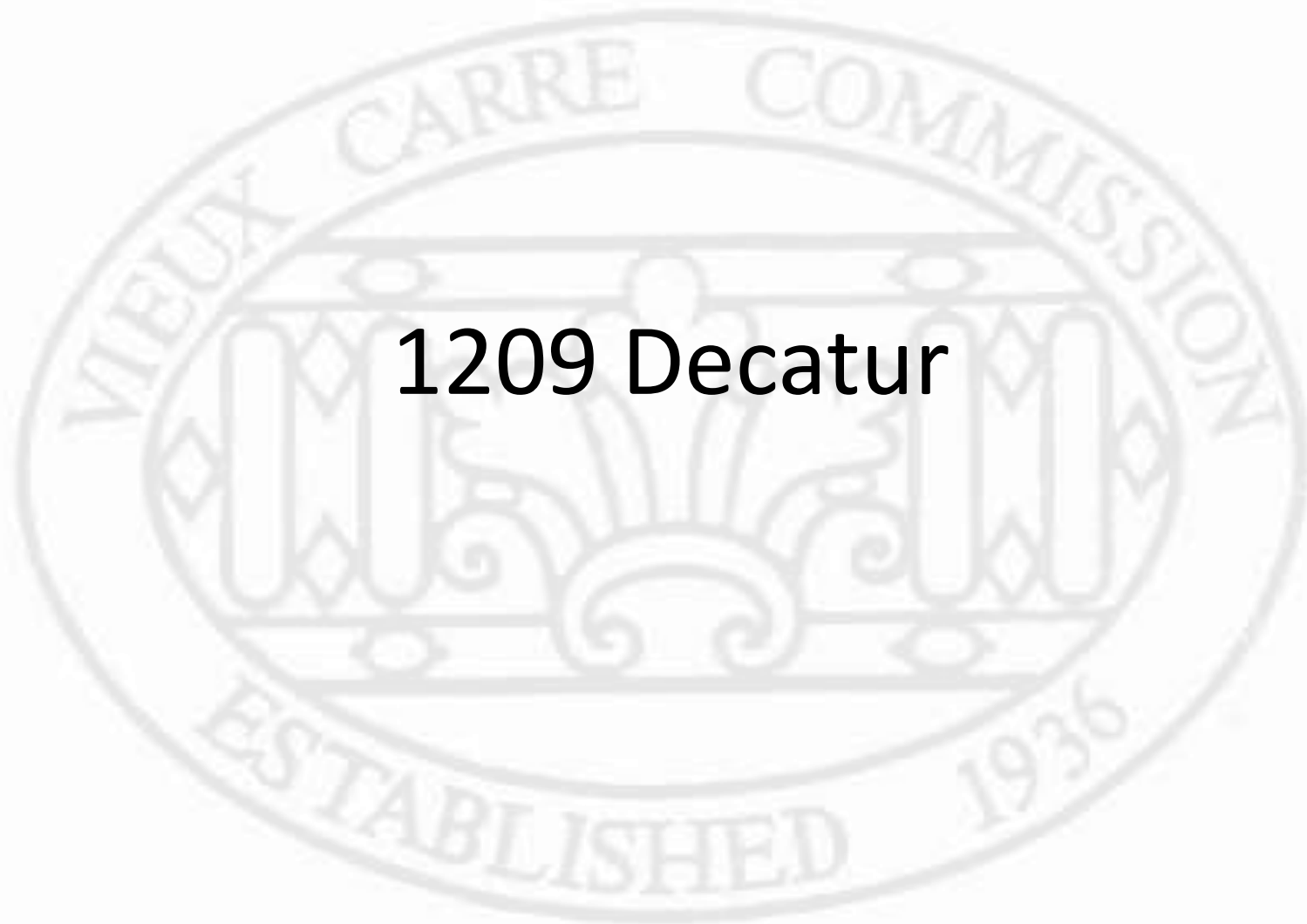


616 N. Rampart

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September 12, 2017





1209 Decatur

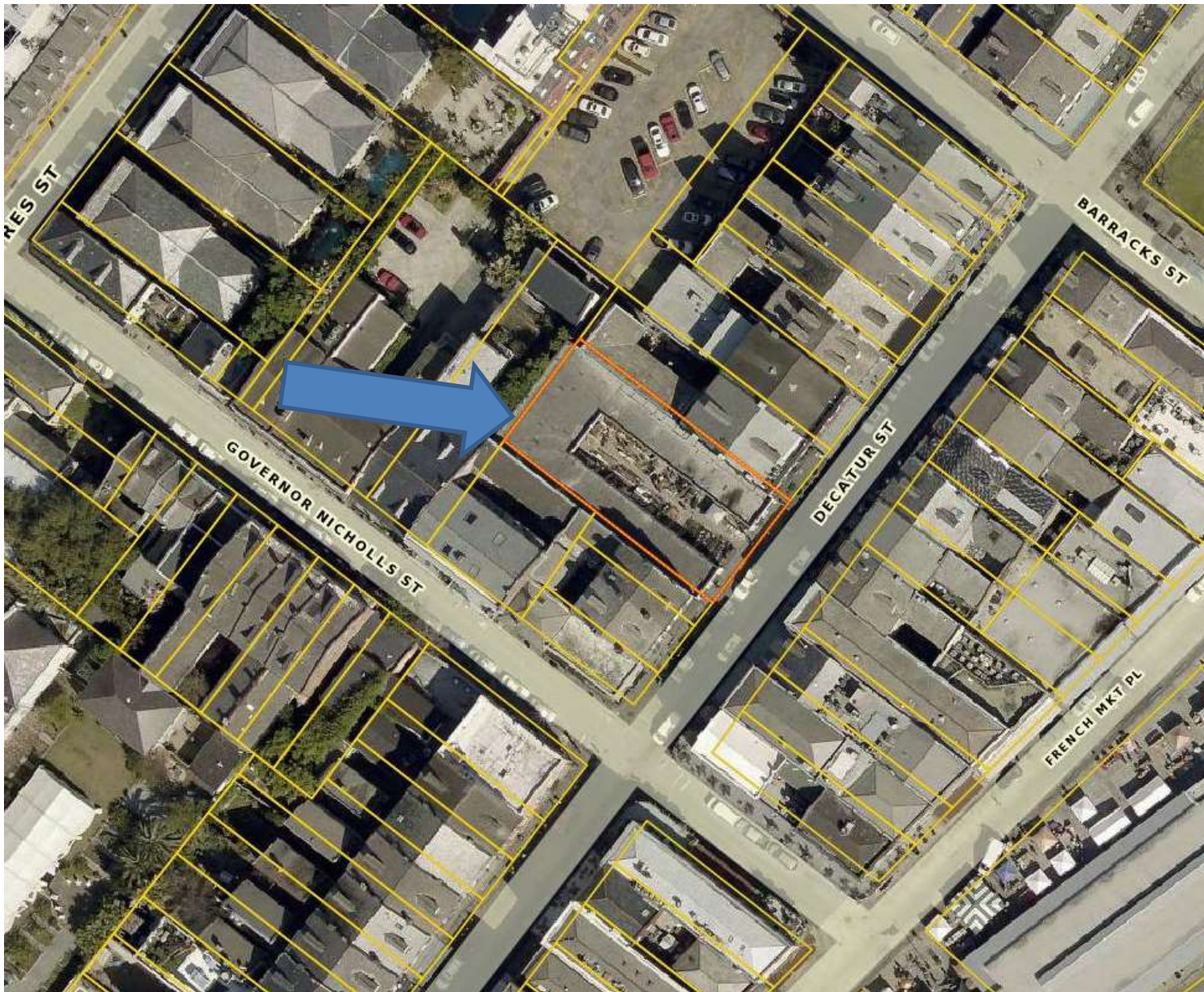


1209 Decatur

VCC Architectural Committee

February 12, 2019





1209 Decatur

VCC Architectural Committee

February 12, 2019





(circa 1964)

1209 Decatur

VCC Architectural Committee

February 12, 2019





1209 Decatur

VCC Architectural Committee

February 12, 2019





1209 Decatur

VCC Architectural Committee

February 12, 2019





1209 Decatur

VCC Architectural Committee

February 12, 2019



To renovate building and courtyard space as per Architecture Committee approval of 10/09/18 and materials stamped VCC approved 10/18/18. Work includes:

Stucco Walls: Repairing, cleaning, and repainting to match the existing wall color

Wood doors, windows and trim: Repairing to match existing and repainting to match the existing color

Removal of existing vertical pole and art installation from courtyard

Relocation of all exterior conduit located two or more feet above ground level to the interior of the building; retention of exterior outlets located less than two feet above ground level – any remaining exterior conduit or junction boxes to be painted to match the wall color

Replacement of existing floodlight fixtures with new Westwood 903 outdoor fixtures - **Fixtures shall be painted or prefinished to match adjacent building surface**

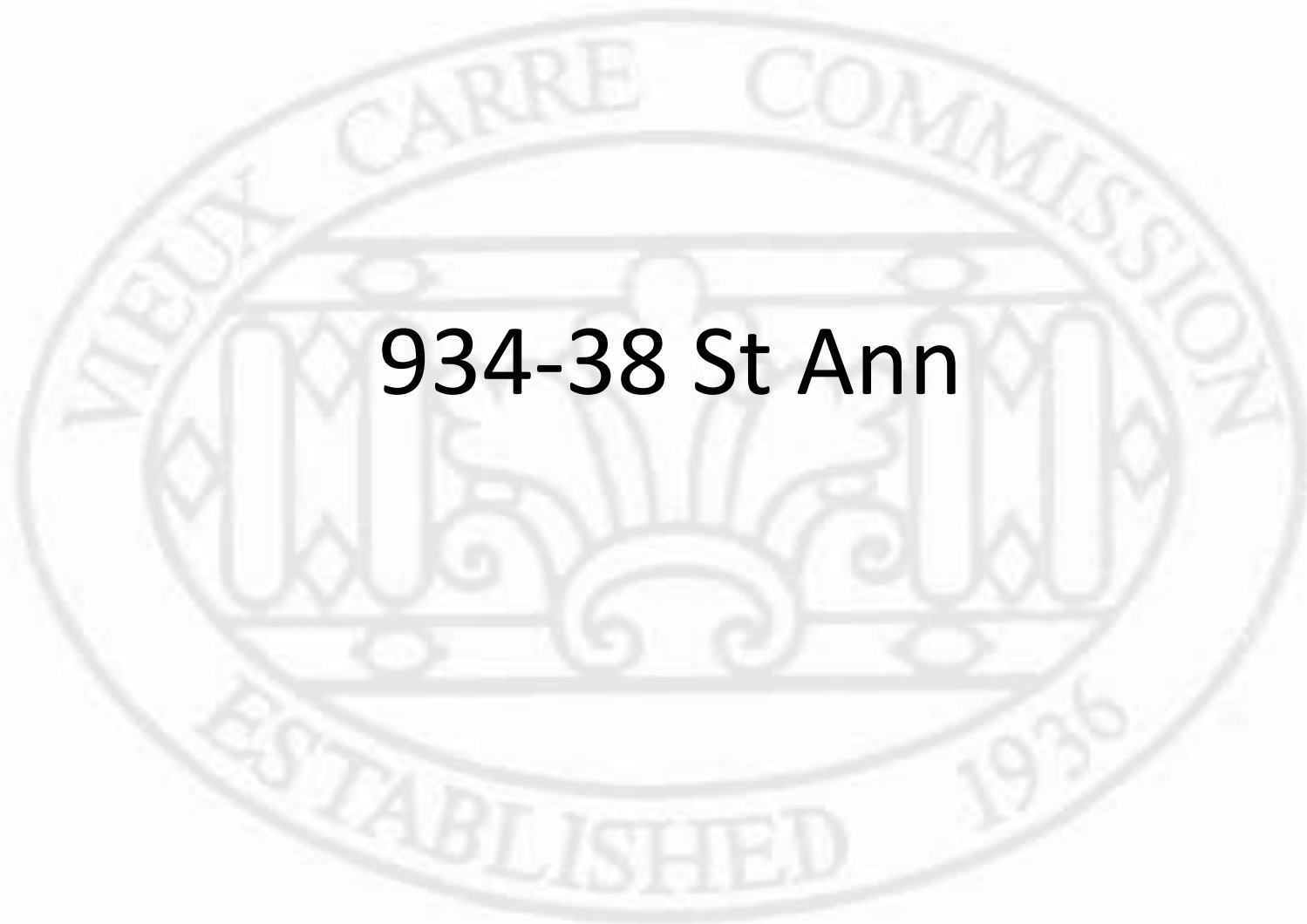
Removal of existing string lights and installation of four new catenary cable runs – each run to feature five, 12” cone shade lights

All fixtures shall use lamps with the following criteria: 3000K color temperature, 80+ color rendering index, and 800-1200 lumens per bulb

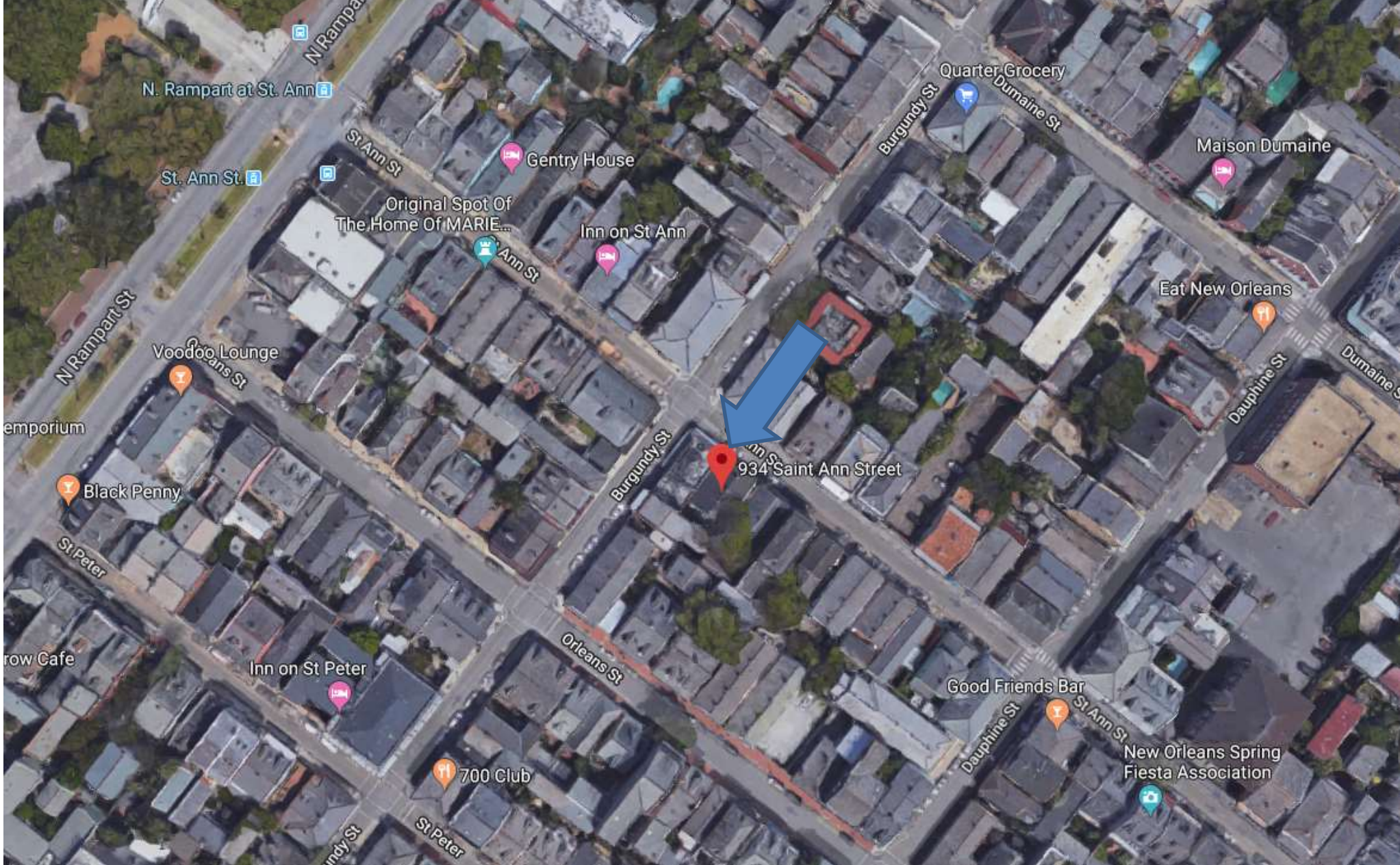
All repair/replacement work shall match existing in color, size, material, detail, profile and exposure. Failure to exactly match materials, details, profiles, exposures, or VCC mortar as specified in permit will result in a VCC violation and mandated repair of improper work.

1209 Decatur – text from permit noting fixtures to be painted to match adjacent building surface





934-38 St Ann



934-38 St Ann





934-38 St Ann

VCC Architectural Committee

August 27, 2013

February 12, 2019





934-38 St Ann

VCC Architectural Committee

August 27, 2013

February 12, 2019





934-38 St Ann – 1975

VCC Architectural Committee

February 12, 2019





934-38 St Ann

VCC Architectural Committee

February 12, 2019





934-38 St Ann

VCC Architectural Committee

February 12, 2019





934-38 St Ann

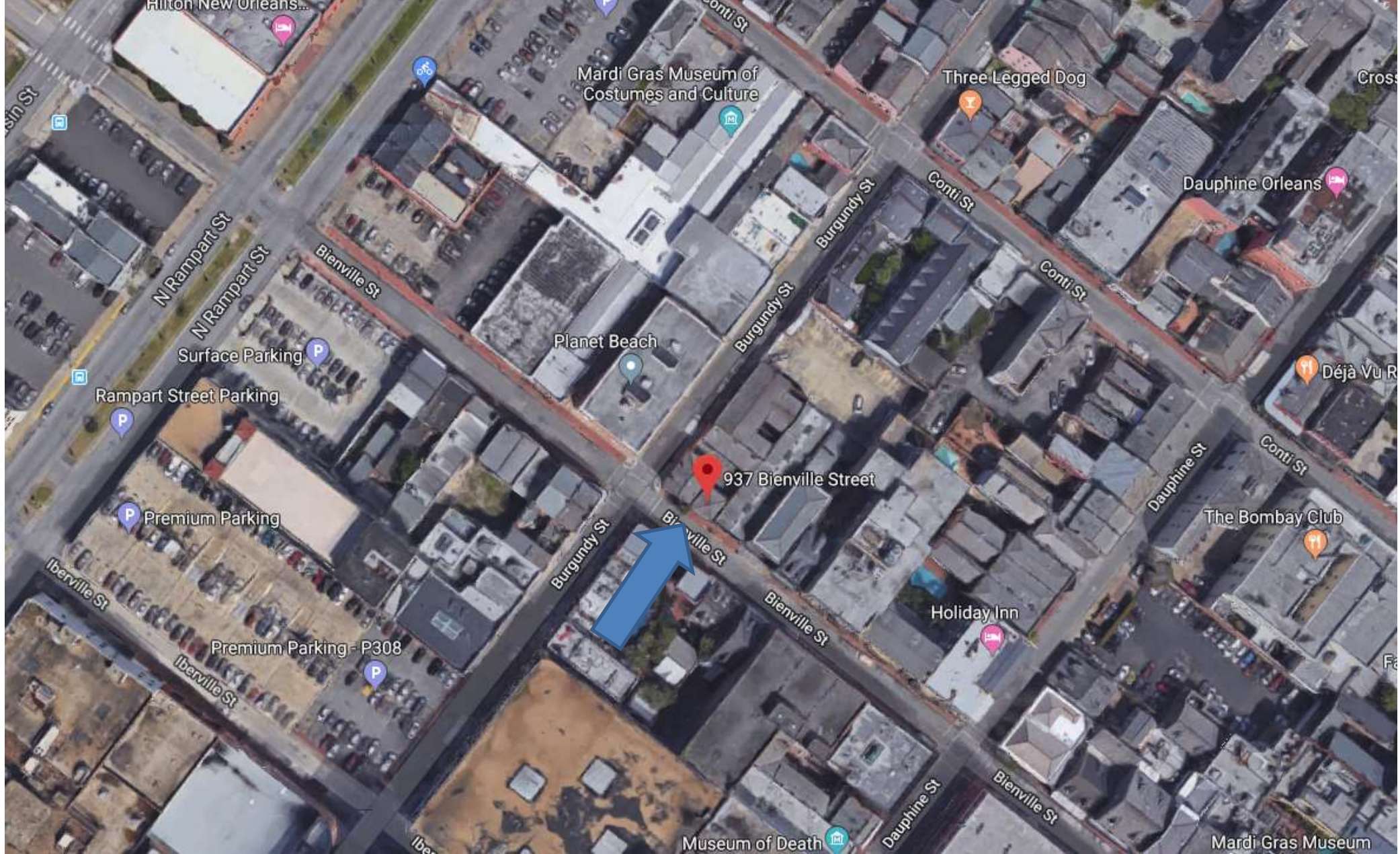
VCC Architectural Committee

February 12, 2019





937 Bienvenue



937 Bienville

VCC Architectural Committee

February 12, 2019





937 Bienville

VCC Architectural Committee

February 12, 2019





937 Bienville

VCC Architectural Committee

February 12, 2019





937 Bienville

VCC Architectural Committee

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VCC Architectural Committee

February 12, 2019





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February 12, 2019





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February 12, 2019





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February 12, 2019





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February 12, 2019





937 Bienville

VCC Architectural Committee

12 18 2018

February 12, 2019





Marks USA Keyless Access Control Lockset: Through-Hole, Black Metallic, For 1 3/4 in Min Door Thickness, 2 3/4 in Backset

Item # 110Z484

\$604.61 Each

Product Specs

Mounting Type:	Through-Hole
Finish/Coating:	Black Metallic
For Minimum Door Thickness:	1 3/4 in
For Maximum Door Thickness:	1 3/4 in
Backset:	2 3/4 in
Throw Length:	1/2 in
For Door Handing:	Left/Right
Indoor or Outdoor Use:	Indoor
Maximum User Codes:	160
Manufacturer Part Number:	IQ1LITE
ADA Compliant:	Yes
Application:	Schools
Battery Size:	AA
Case Material:	Aluminum