



**Vieux Carré Commission
Architectural Committee Meeting**

Tuesday, February 26, 2019



Old Business



820 Dauphine



820 Dauphine



820 Dauphine





820 Dauphine





820 Dauphine – c. 1950



820 Dauphine





820 Dauphine



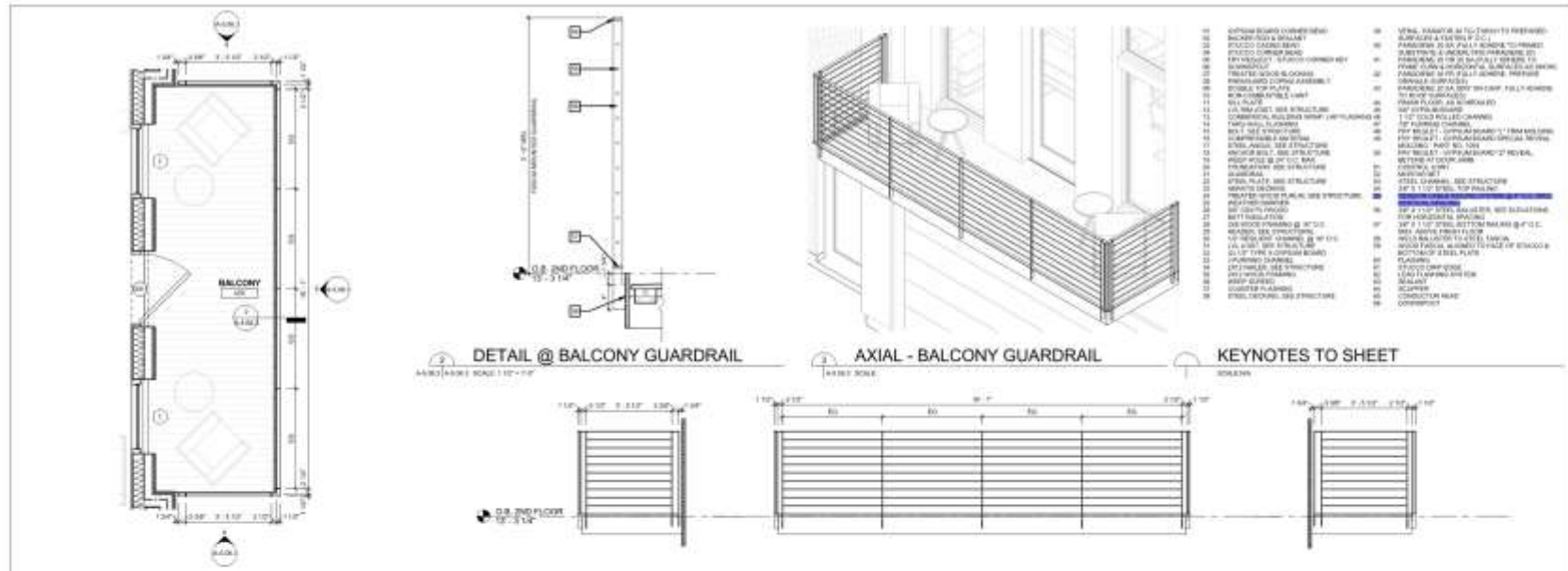


820 Dauphine

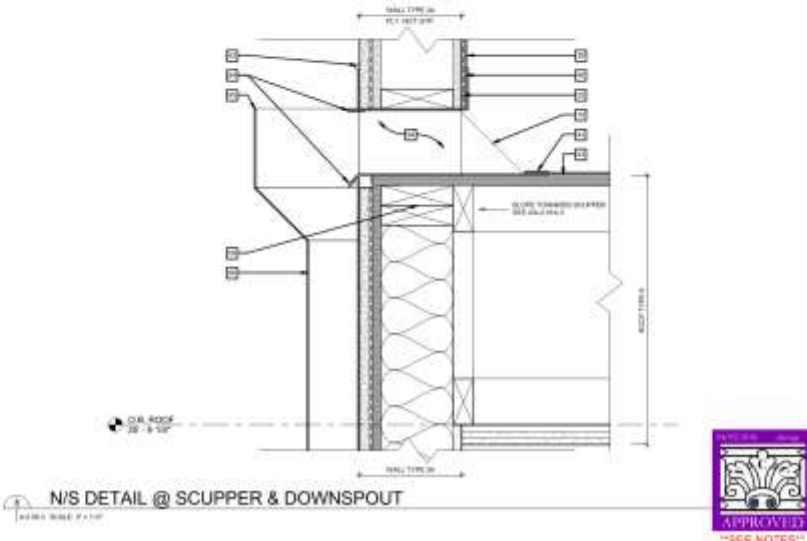
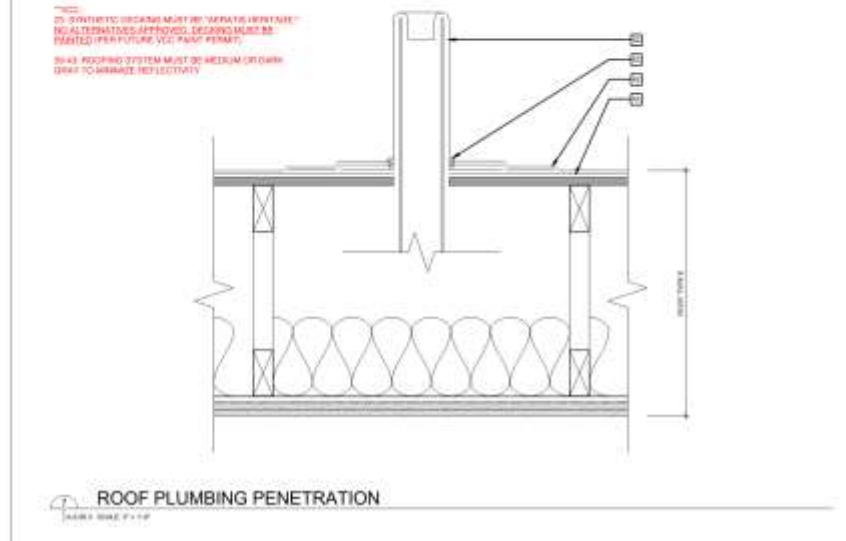
VCC Architectural Committee

July 10, 2018





1 PLAN DETAIL @ BALCONY GUARDRAIL 2 ELEVATION @ BALCONY GUARDRAIL - N 3 ELEVATION @ BALCONY GUARDRAIL - E 4 ELEVATION @ BALCONY GUARDRAIL - S



5 ROOF PLUMBING PENETRATION 6 N/S DETAIL @ SCUPPER & DOWNSPOUT

PERMIT SET

820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116

TRACULIN + PIER ARCHITECTS

APPROVED
"SEE NOTES"

RAILINGS & ROOF DETAILS

A-5.06.3

SEAL
Vieux Carré Commission
ESTABLISHED 1930

820 Dauphine

VCC Architectural Committee

July 10, 2018



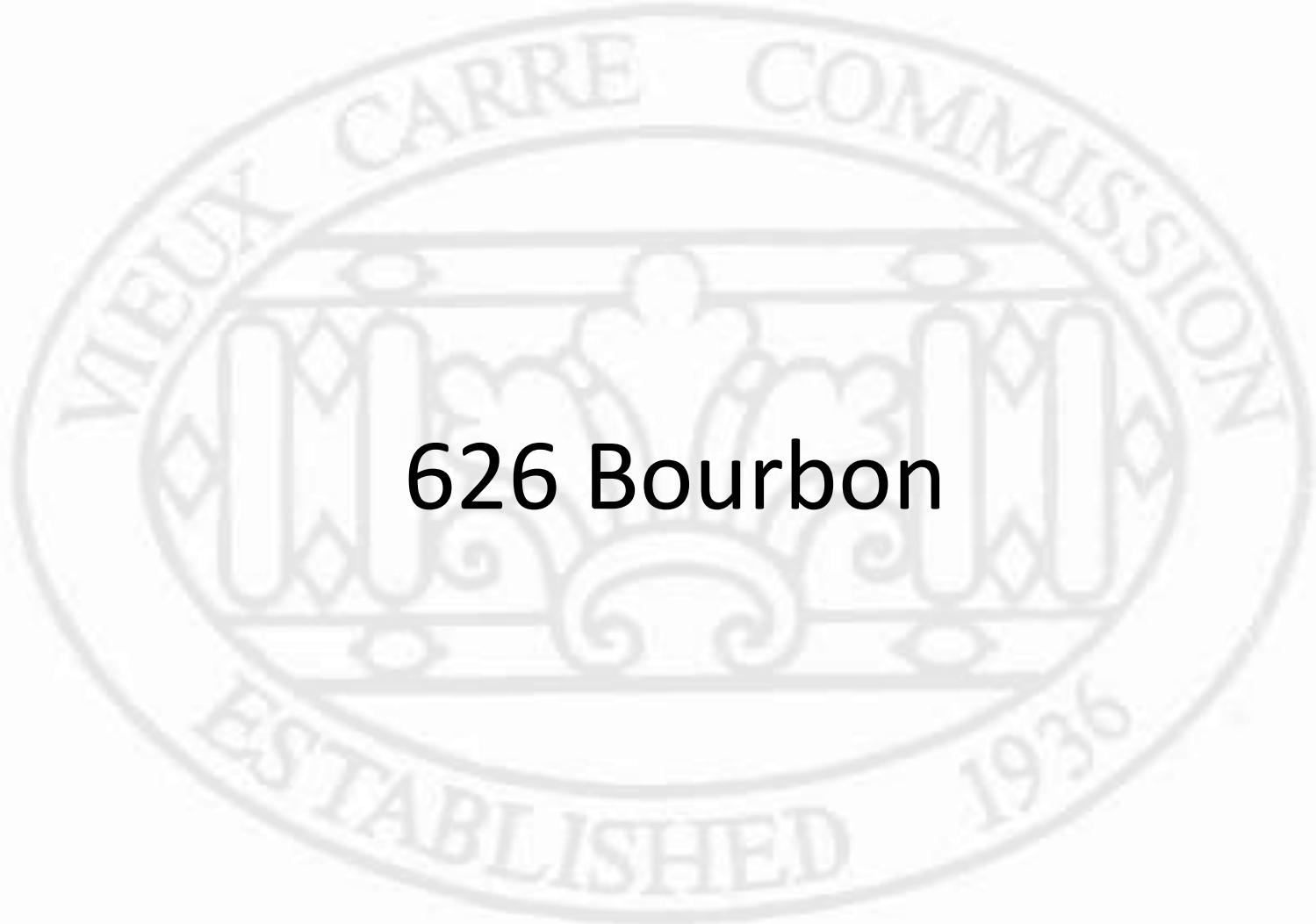


820 Dauphine

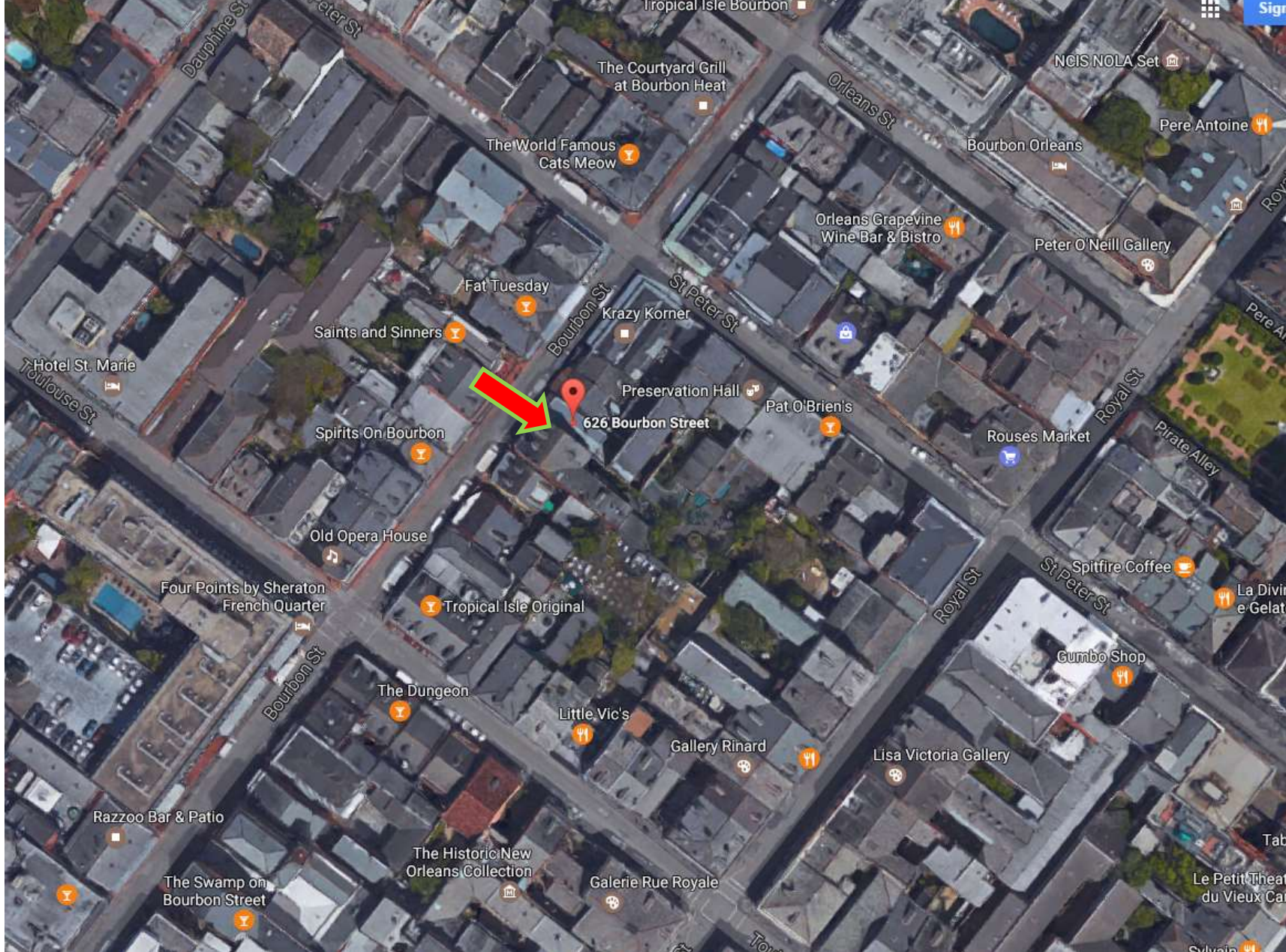
VCC Architectural Committee

July 10, 2018



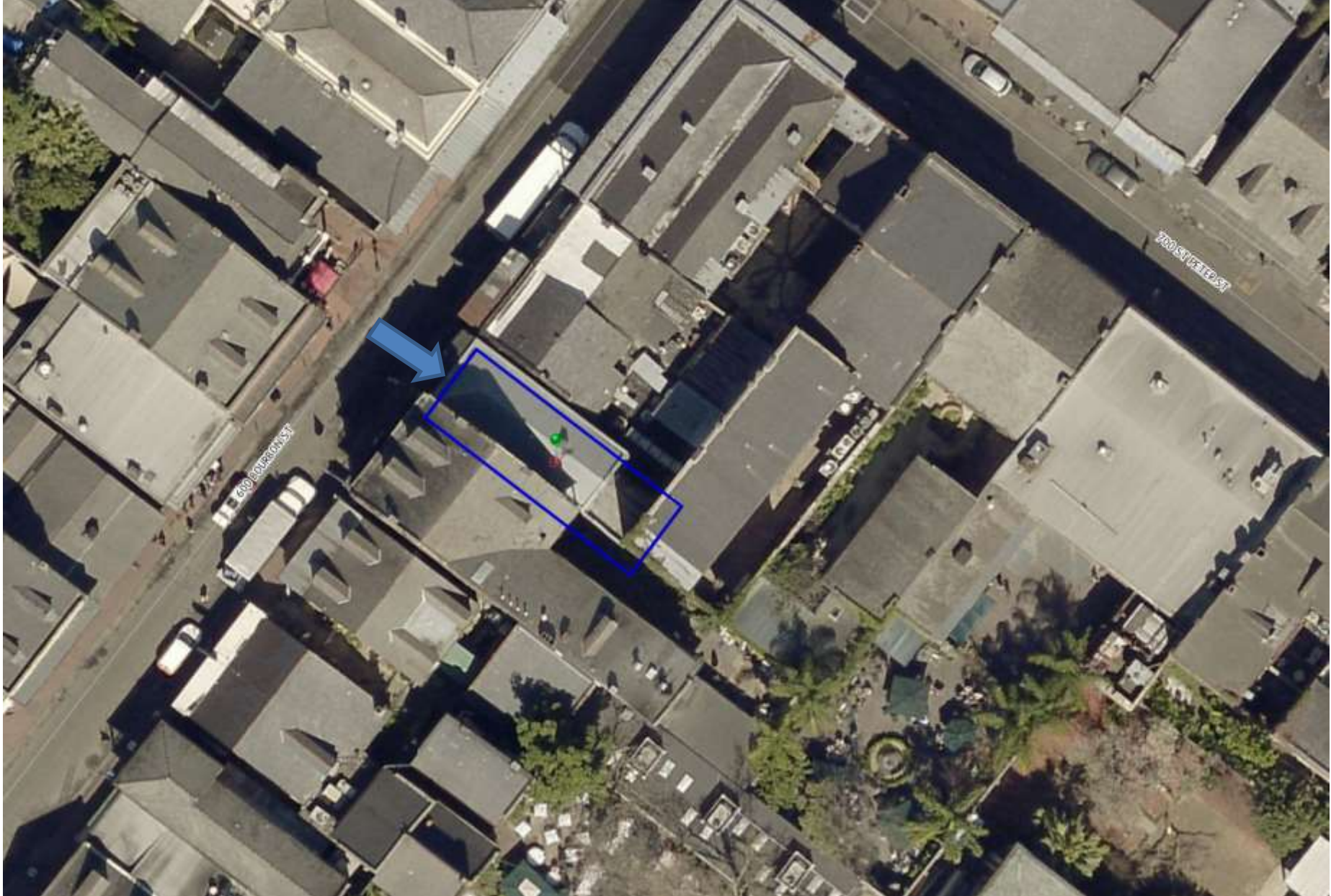


626 Bourbon



626 Bourbon





626 Bourbon





626 Bourbon – 1855





626 Bourbon – c. 1950



626 Bourbon - 1964

Vieux Carre Commission

February 06, 2019





626 Bourbon

Vieux Carre Commission

February 06, 2019





626 Bourbon

Vieux Carre Commission

February 06, 2019





626 Bourbon

Vieux Carre Commission

February 06, 2019







JOHN C. WILLIAMS ARCHITECTS L.L.C.
 614 BAYONNE STREET
 NEW ORLEANS, LA 70112
 504.584.0848 PHONE
 504.584.0827 FAX

These drawings and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional architect in the State of Louisiana. I am not providing these drawings or specifications to anyone other than the person or persons named herein.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

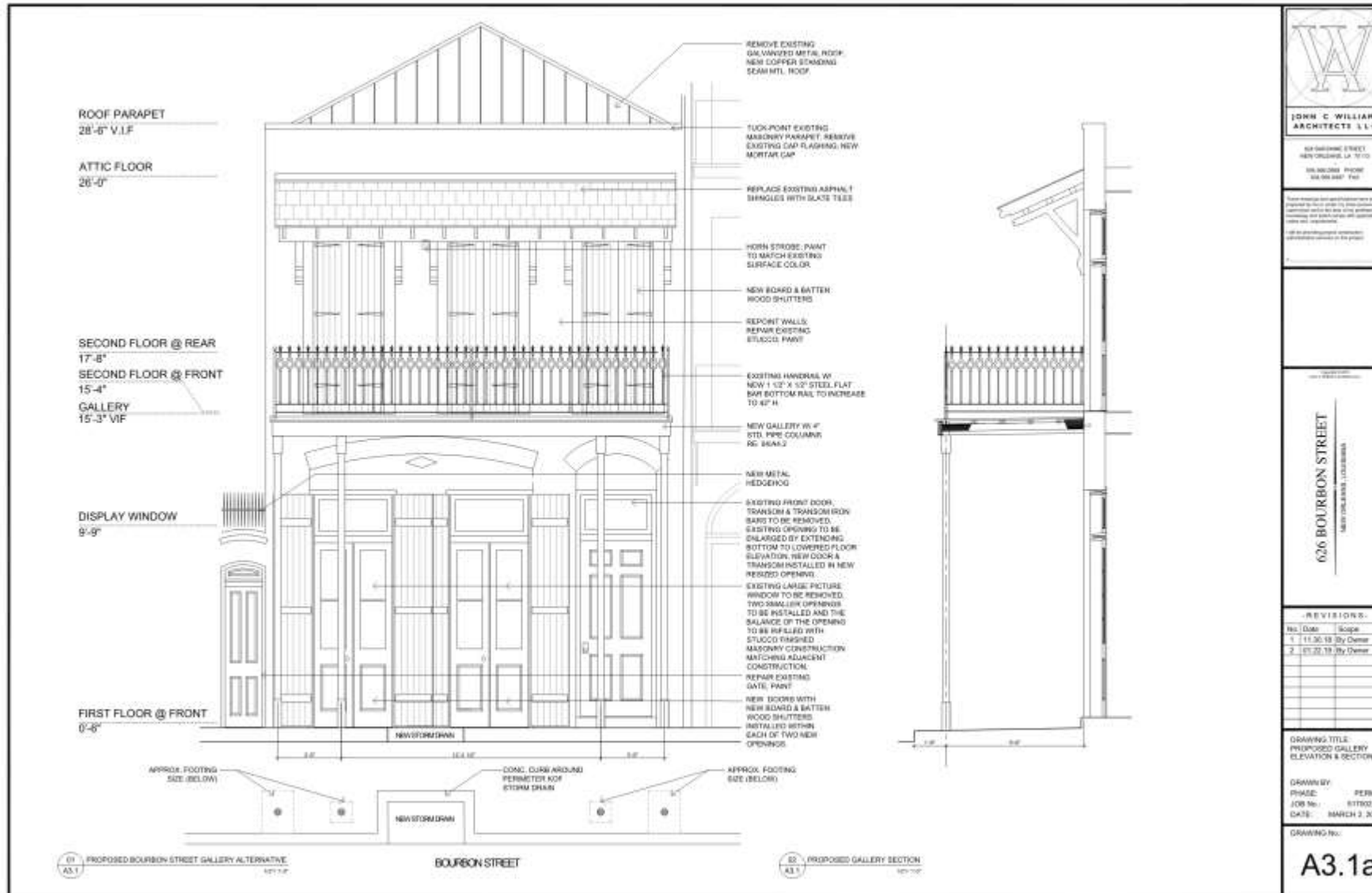
- R.E. VISITORS -	
No.	Date
1	11.30.18 By Owner

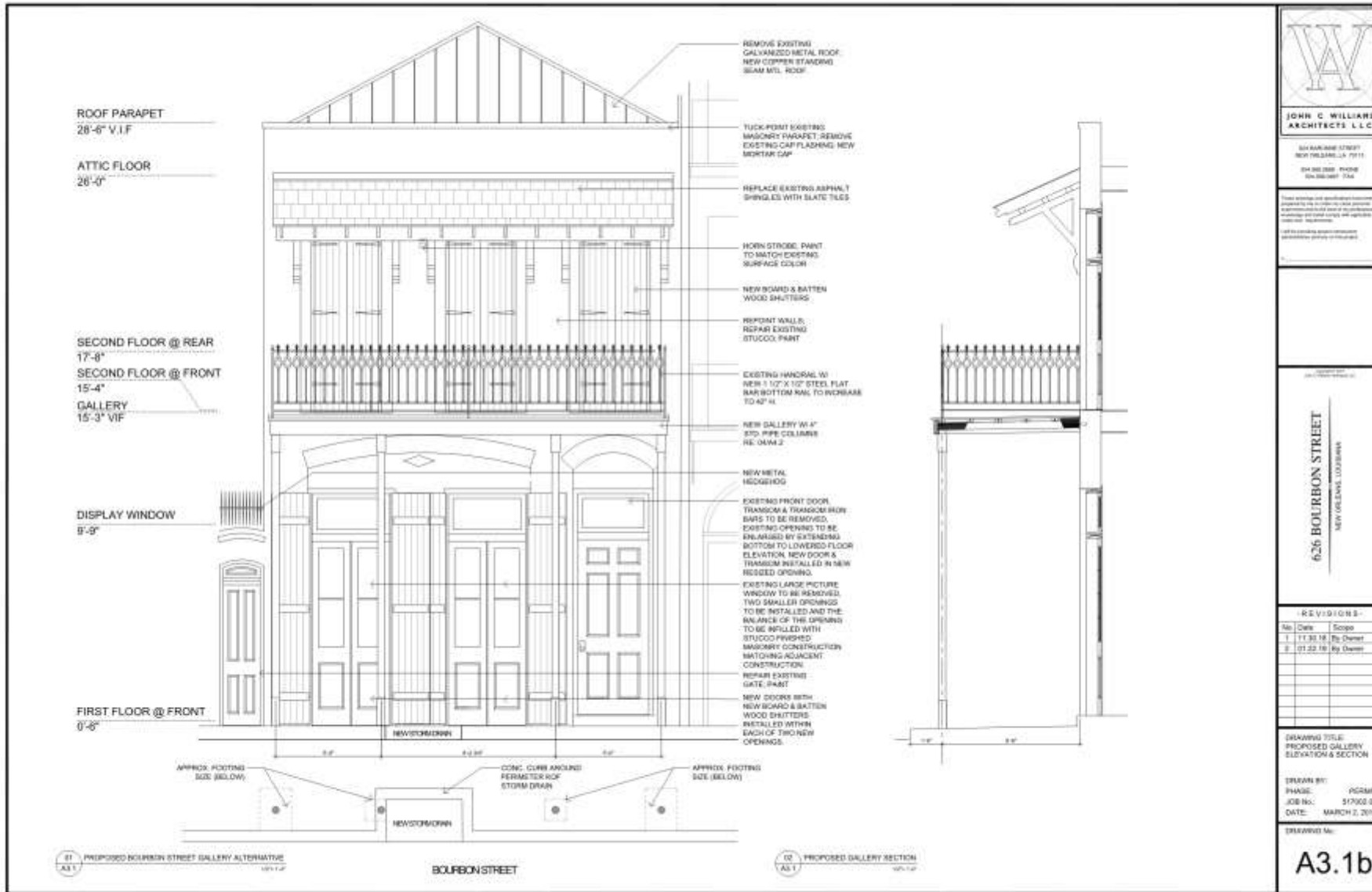
DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

DRAWN BY: **FERNET**
 PHASE: **PERMITS**
 JOB No.: **517002.00**
 DATE: **MARCH 2, 2018**

DRAWING No.: **SD-1**









JOHN C. WILLIAMS ARCHITECTS L.L.C.

514 RANNEY STREET
NEW ORLEANS, LA 70114
504.582.2822 FAX 504.582.2827
www.jcwarch.com

This drawing and specification document prepared by us under the seal and signature of a professional architect and shall constitute the entire contract for the project. No verbal agreement or other correspondence shall be binding unless approved in writing by the architect.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

- R E V I S I O N S -

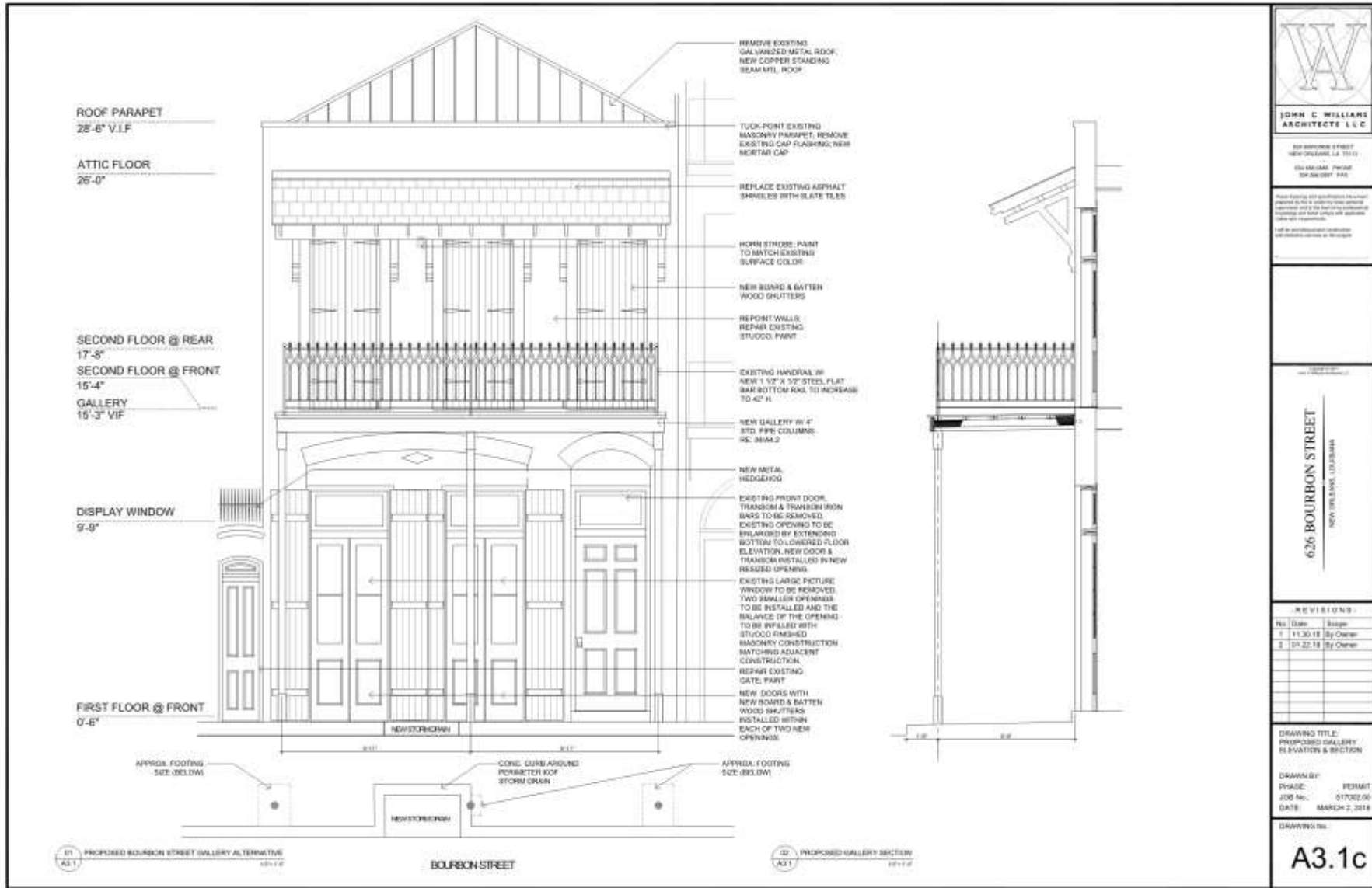
No.	Date	Scope
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2	01.22.19	By Owner

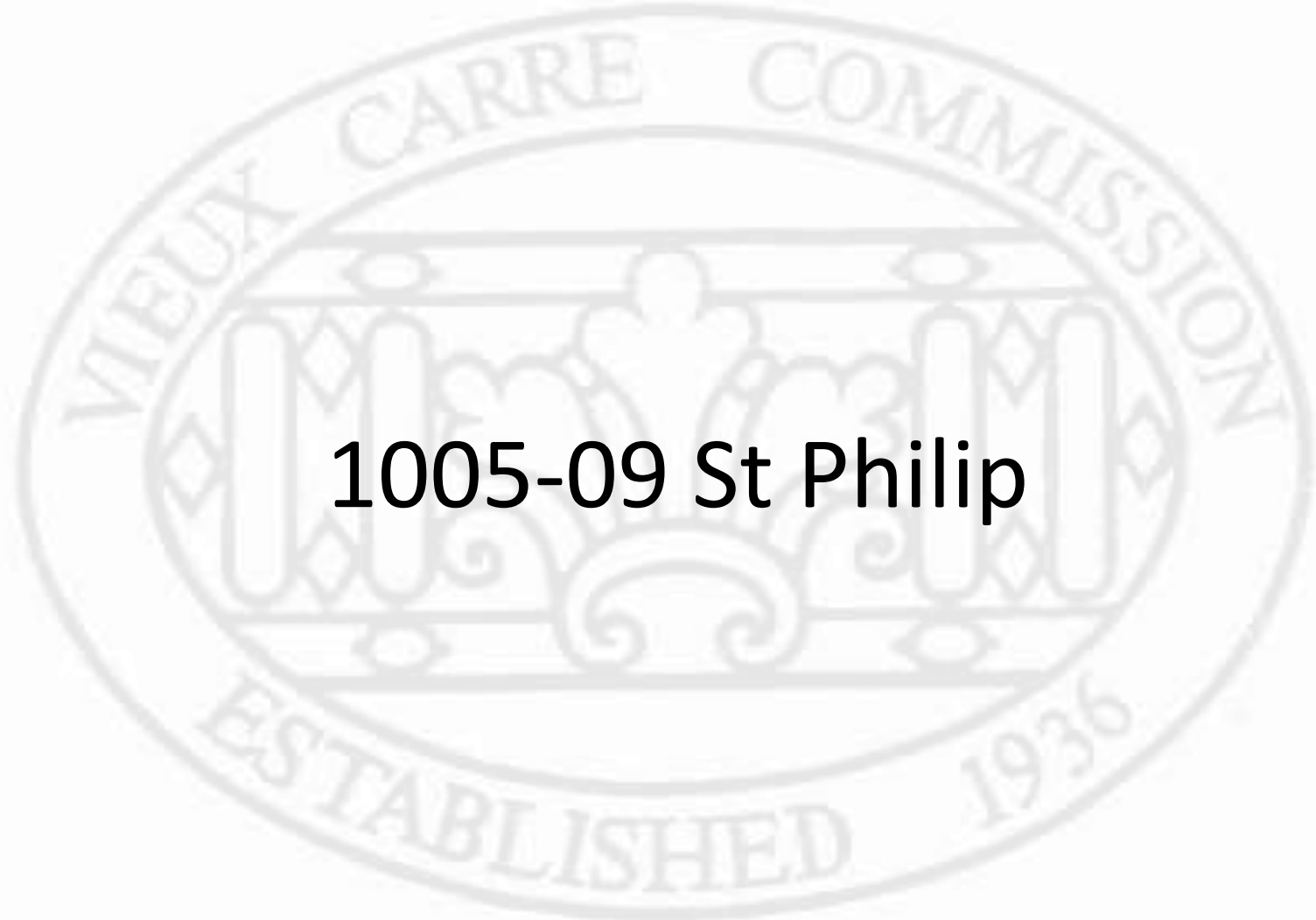
DRAWING TITLE:
PROPOSED GALLERY ELEVATION & SECTION

DRAWN BY: PGRMT
PHASE: PGRMT
JOB No.: 179003-00
DATE: MARCH 2, 2019

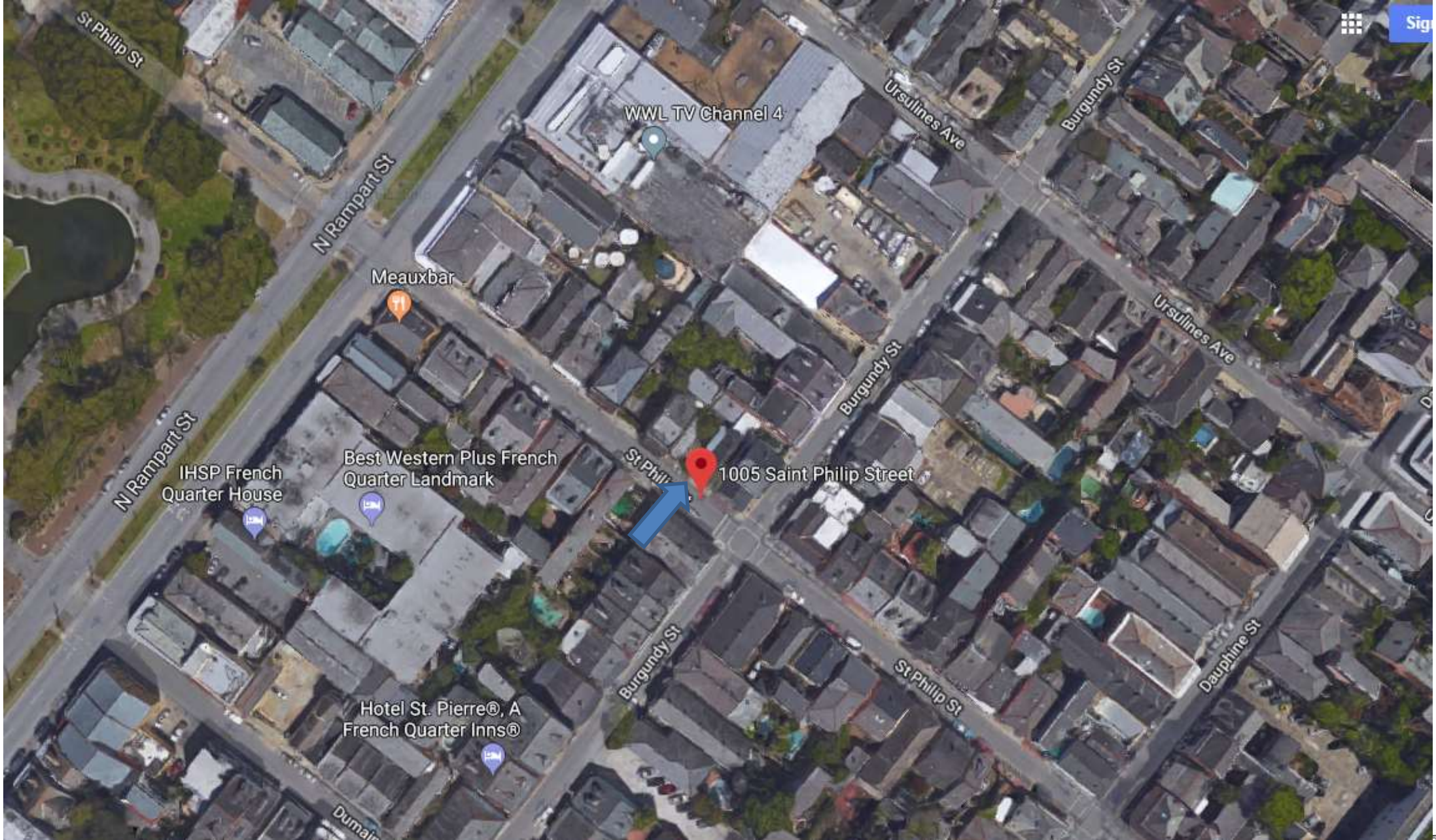
DRAWING No.:
A3.1b







1005-09 St Philip

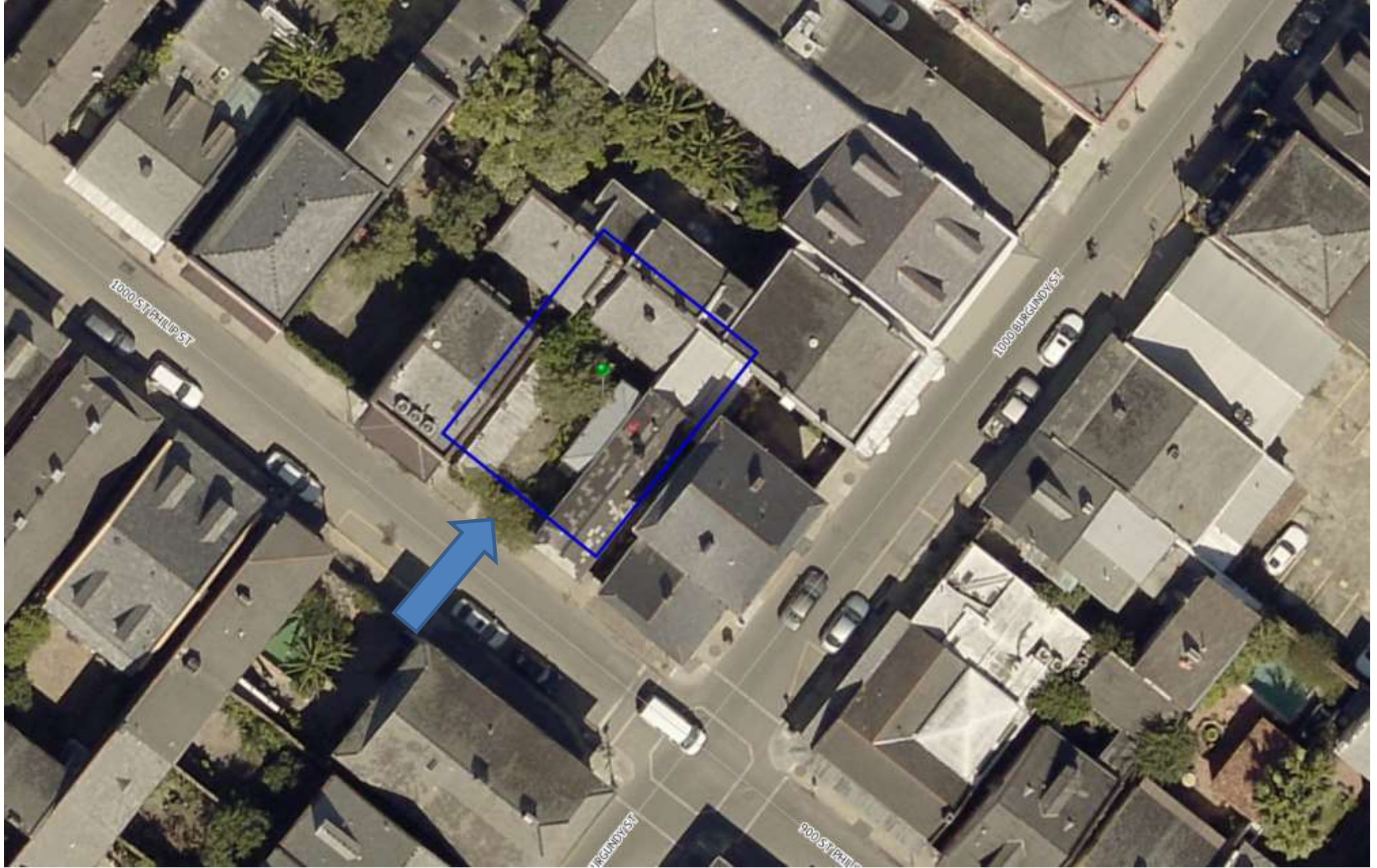


1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018



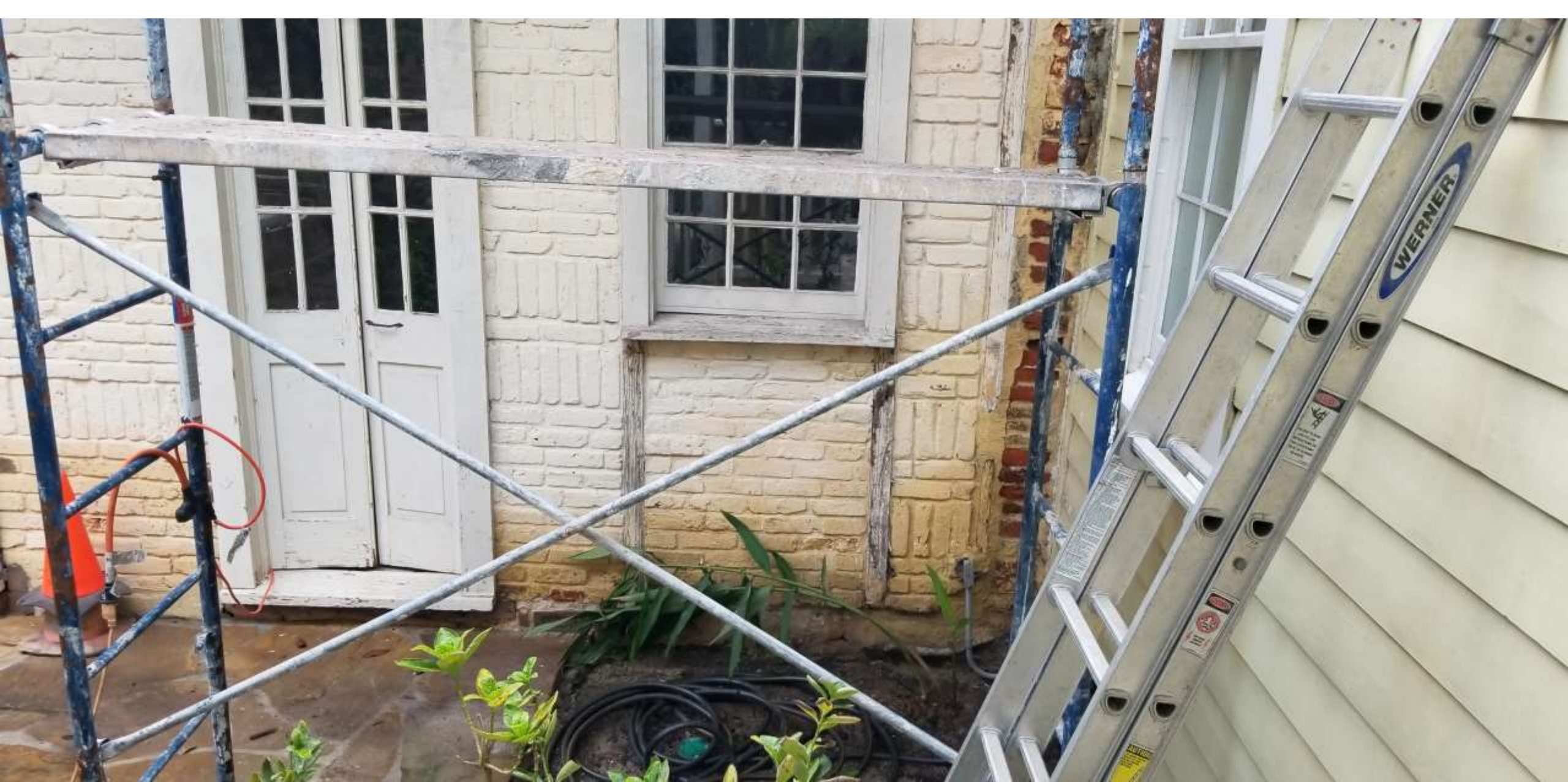


1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018





1005-09 St Philip

Vieux Carre Commission

July 5, 2018



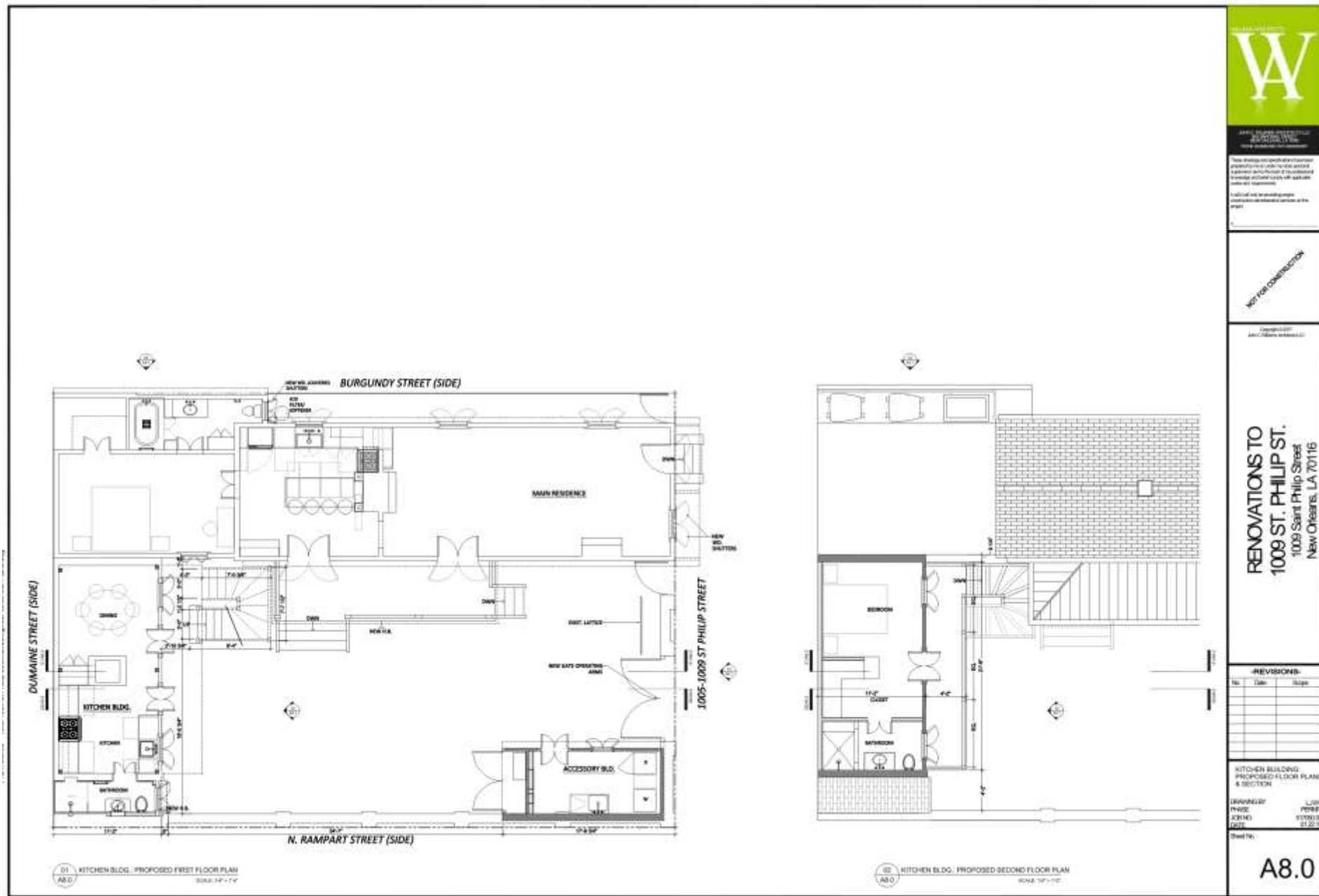


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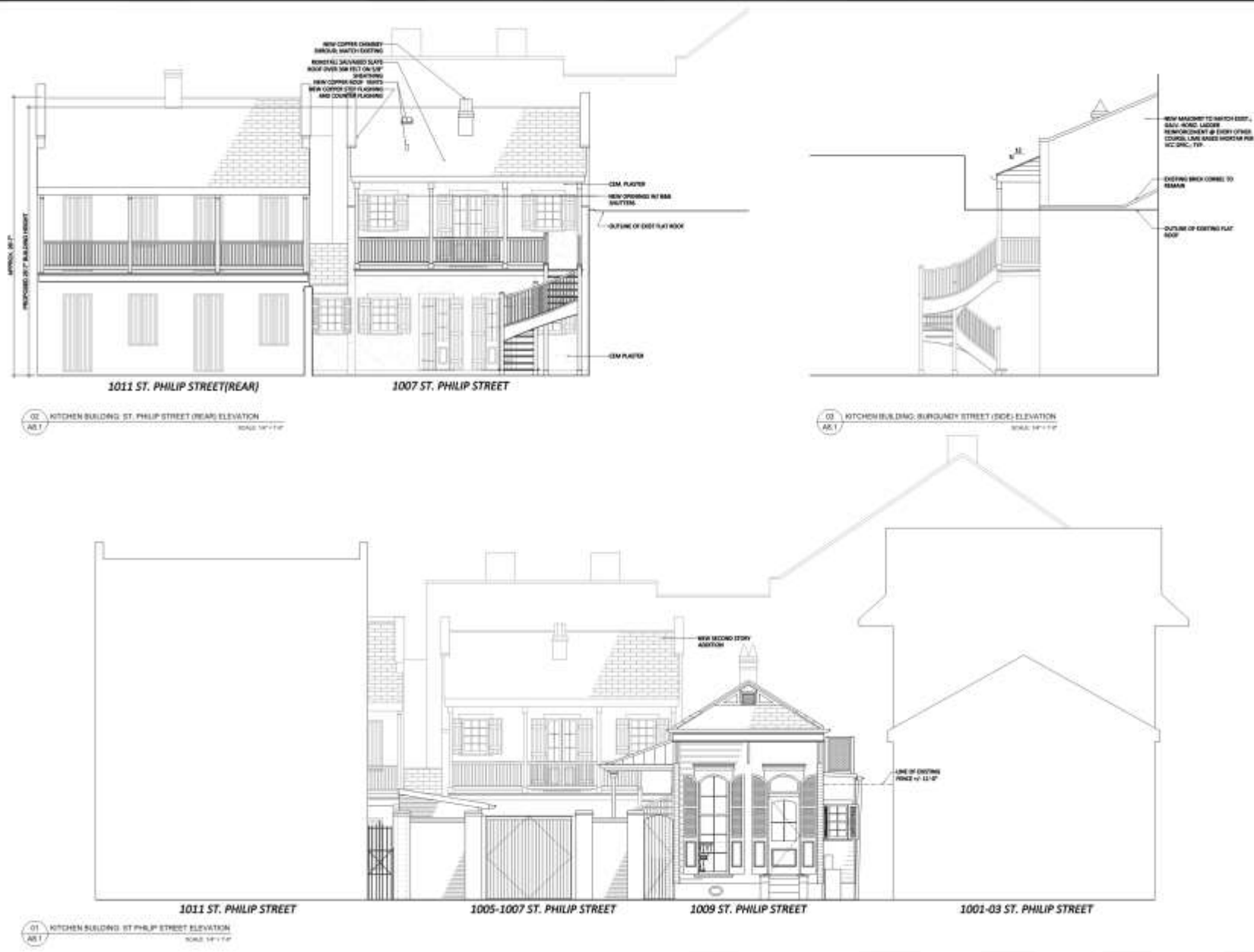
Vieux Carre Commission

July 5, 2018





P:\117058-01 - 1005-1009 St Philip Kitchen\Drawings\1005-1009 St Philip Kitchen.dwg



02 KITCHEN BUILDING ST. PHILIP STREET (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

03 KITCHEN BUILDING, BURGUNDY STREET (SIDE) ELEVATION
SCALE: 1/4" = 1'-0"

01 KITCHEN BUILDING ST PHILIP STREET ELEVATION
SCALE: 1/4" = 1'-0"



W
ARCHITECTURE
1005-1009 ST. PHILIP STREET
NEW ORLEANS, LA 70116

These drawings are prepared for the use of the contractor and are not to be used for any other purpose without the written consent of the architect. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.



WETA CONSTRUCTION
1005-1009 ST. PHILIP STREET
NEW ORLEANS, LA 70116

**RENOVATIONS TO
1009 ST. PHILIP ST.**
1009 Saint Philip Street
New Orleans, LA 70116

-REVISIONS-

No.	Date	Desc.

KITCHEN BUILDING
PROPOSED EXTERIOR
ELEVATIONS
DRAWING BY: LZW
PAGE: 1004
DATE: 10/20/15
SCALE: 1/4" = 1'-0"

A8.1





THIS PLAN IS THE PROPERTY OF
 WOODS BAGOT ARCHITECTURAL
 ENGINEERS, INC. (WBAE)
 1009 SAINT PHILIP STREET
 NEW ORLEANS, LA 70116
 TEL: 504.581.1111
 WWW.WOODSBAGOT.COM

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All work shall conform to the applicable codes and standards in effect at the time of the work.

NOT FOR CONSTRUCTION

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 www.woods-bagot.com

RENOVATIONS TO
 1009 ST. PHILIP ST.
 1009 Saint Philip Street
 New Orleans, LA 70116

-REVISIONS-

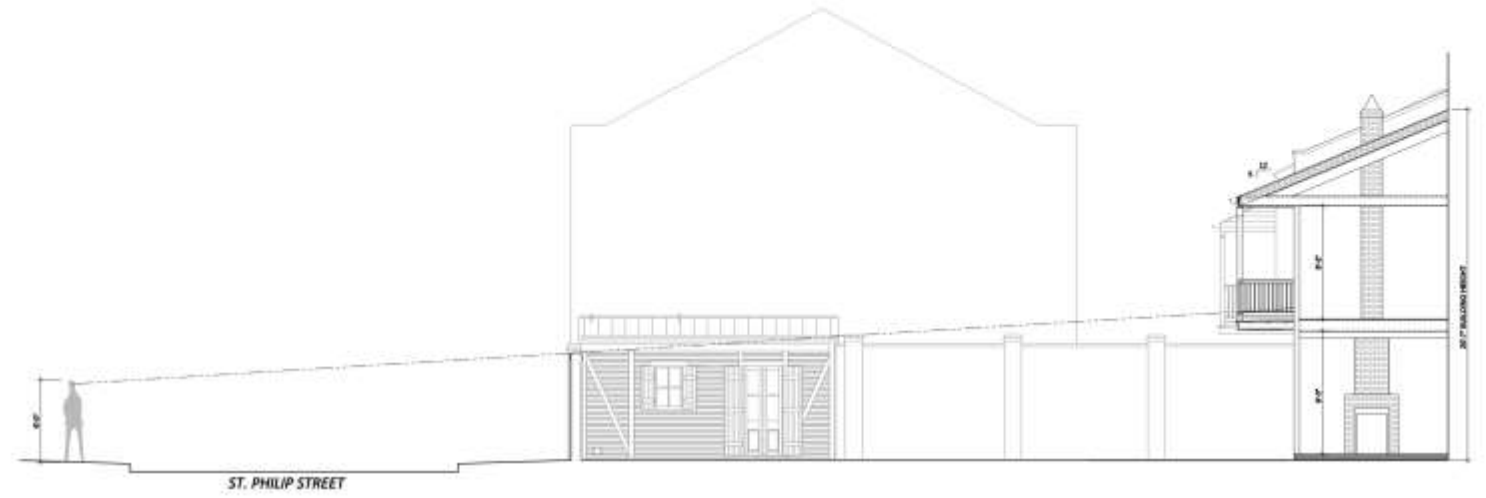
No.	Desc.	Date

KITCHEN BUILDING
 PROPOSED SECTIONS

DRAWING
 RANGE 1-30
 EXCISE 11/15/18
 DATE 12/20/18

Sheet No.

A8.2



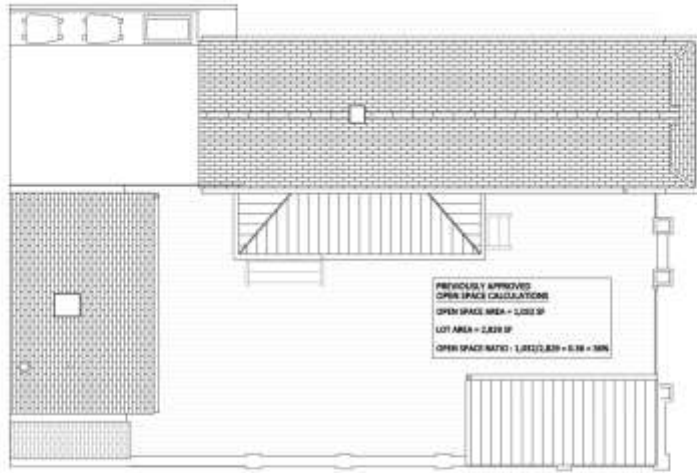
A8.2 KITCHEN BUILDING - SECTION & SITE LINE DIAGRAM
 SCALE: 1/4" = 1'-0"



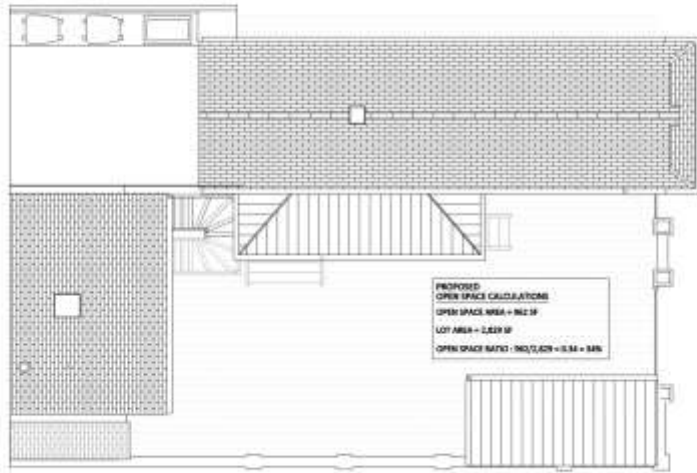
A8.3 KITCHEN BUILDING - SECTION & SITE LINE DIAGRAM
 SCALE: 1/4" = 1'-0"



P:\17058 (3) - 1005-09 St Philip Steel Overlay\1005\Steel Overlay\1005\1005-09 St Philip.dwg



03 APPROVED OPEN SPACE CALCULATIONS
SCALE: 3/8" = 1'-0"



01 PROPOSED OPEN SPACE CALCULATIONS
SCALE: 3/8" = 1'-0"



1005-09 ST. PHILIP
RENOVATIONS TO
1009 ST. PHILIP STREET

This design and specifications have been prepared by the architect on the basis of the information and data furnished by the owner and are subject to the approval of the local authorities.

Work shall not be commenced until all necessary permits and approvals have been obtained from the local authorities.

NOT FOR CONSTRUCTION

August 1, 2018
1005-09 ST. PHILIP

RENOVATIONS TO
1009 ST. PHILIP ST.
1009 Saint Philip Street
New Orleans, LA 70116

REVISIONS:

No.	Date	Supp.

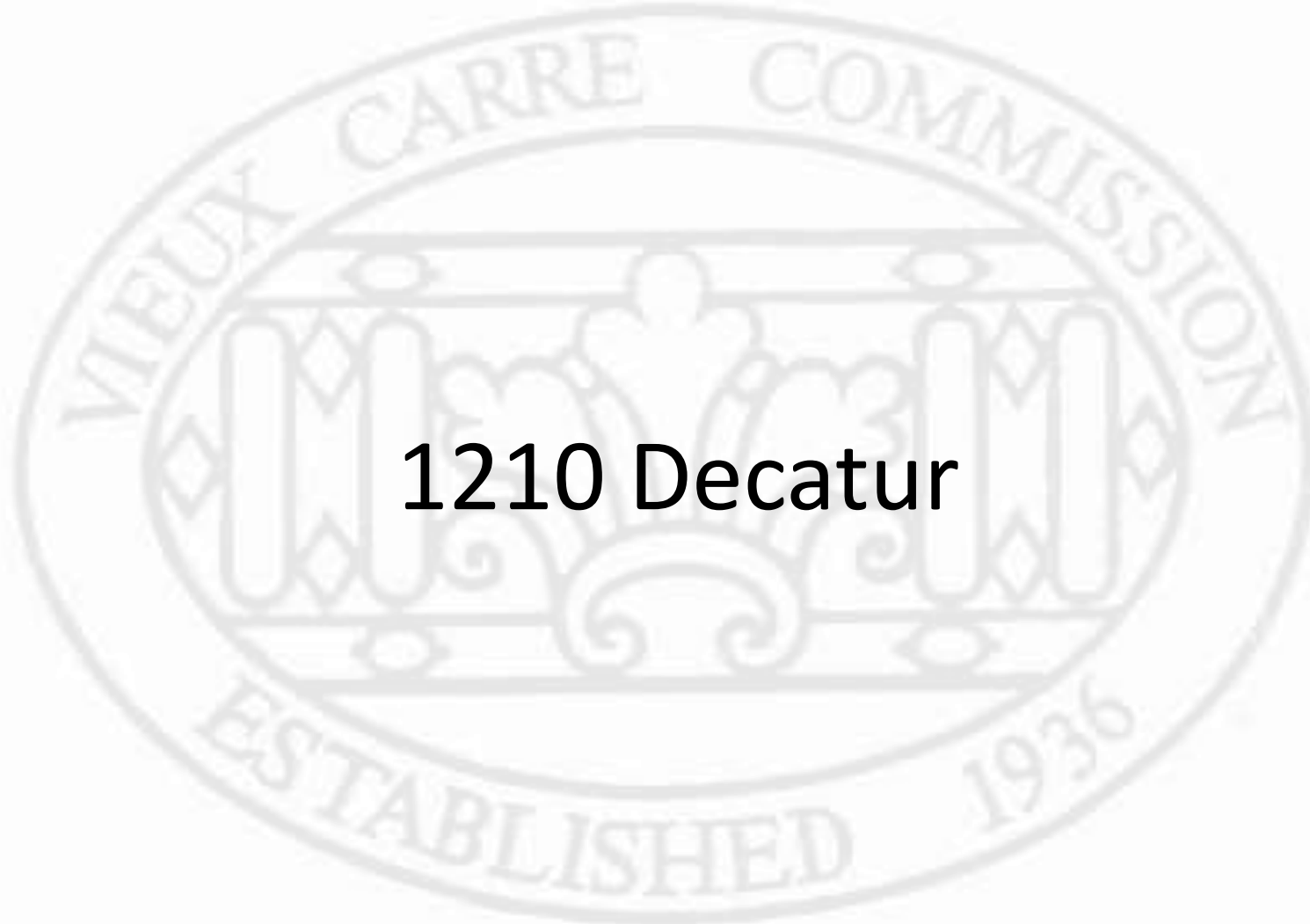
OPEN SPACE CALCULATIONS

DATE	DATE

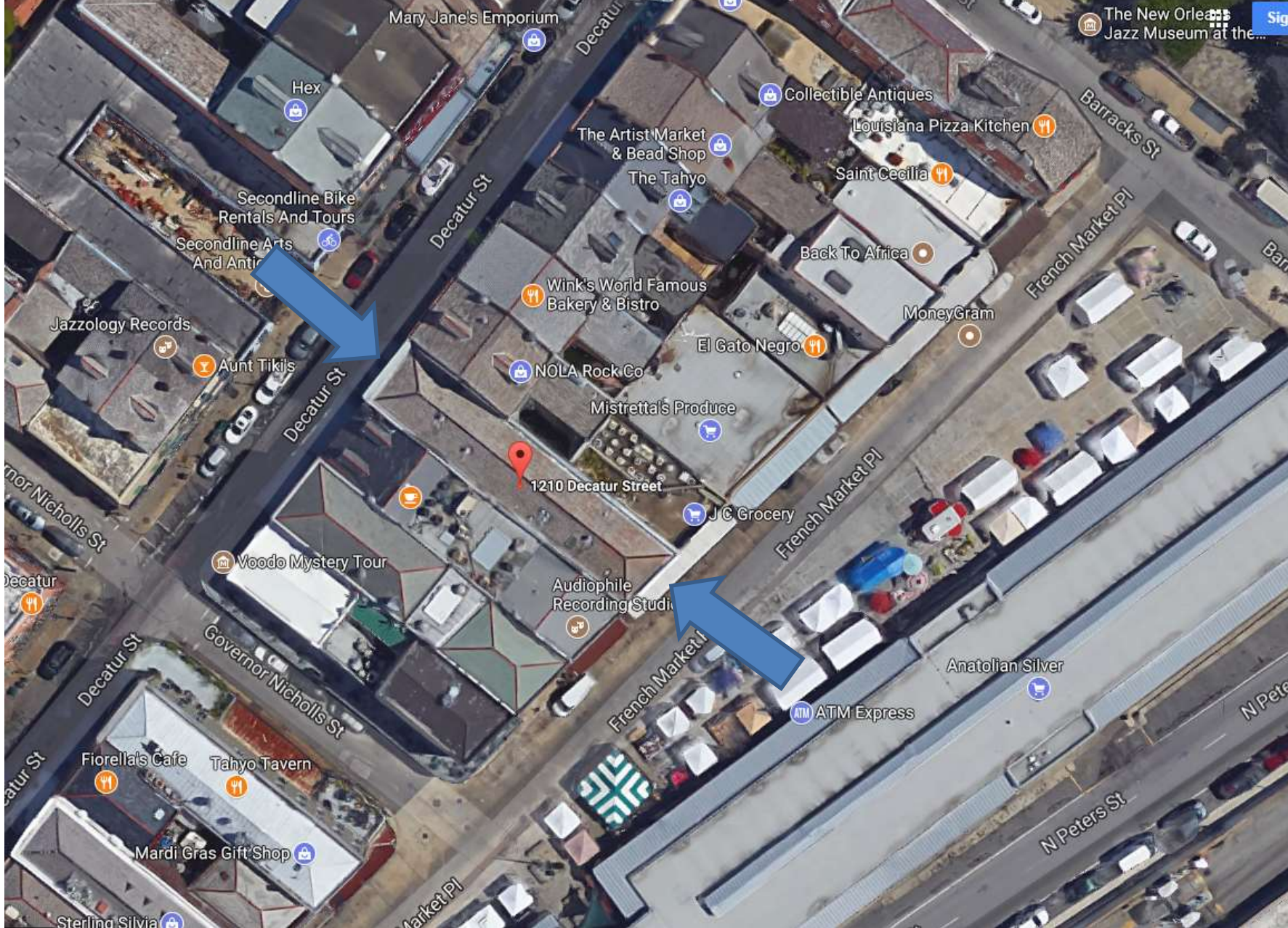
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A8.3





1210 Decatur



1210-1214 Decatur/ 63 French Market Place

VCC Architectural Committee

February 26, 2019





1210-1214 Decatur/ 63 French Market Place

VCC Architectural Committee

February 26, 2019





1210-1214 Decatur/ 63 French Market Place

VCC Architectural Committee

February 26, 2019





1210-1214 Decatur
VCC Architectural Committee

February 26, 2019





1210-1214 Decatur

VCC Architectural Committee

February 26, 2019





1210-1214 Decatur
VCC Architectural Committee

February 26, 2019





1210-1214 Decatur

VCC Architectural Committee

February 26, 2019





02 01 2019





02 01 2019





1210-1214 Decatur
VCC Architectural Committee

02-01-2019

February 26, 2019





1210-1214 Decatur

VCC Architectural Committee

February 26, 2019





1210-1214 Decatur
VCC Architectural Committee

February 26, 2019





1210-1214 Decatur
VCC Architectural Committee

February 26, 2019





1210-1214 Decatur
VCC Architectural Committee

February 26, 2019





1210-1214 Decatur

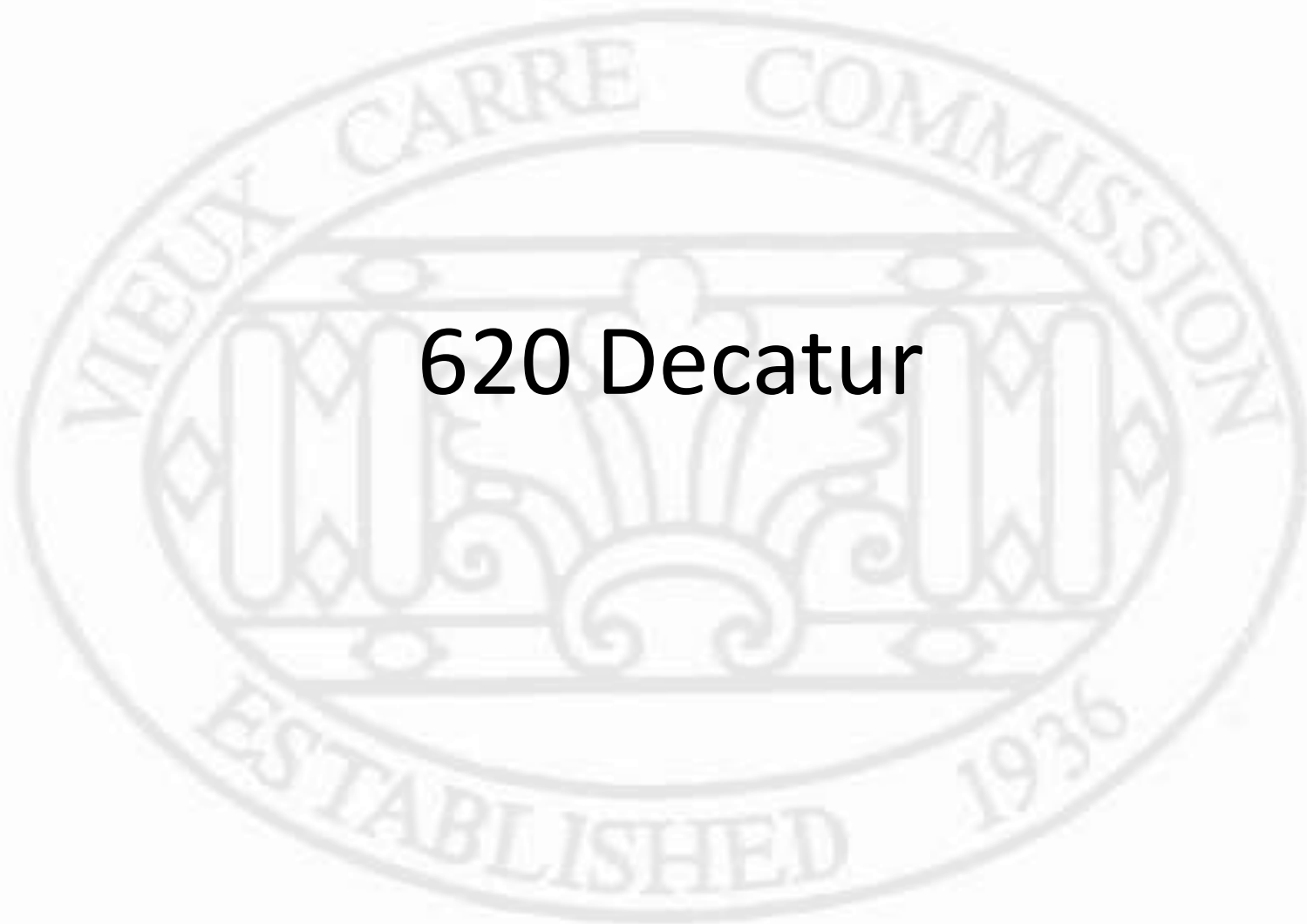
VCC Architectural Committee

February 26, 2019

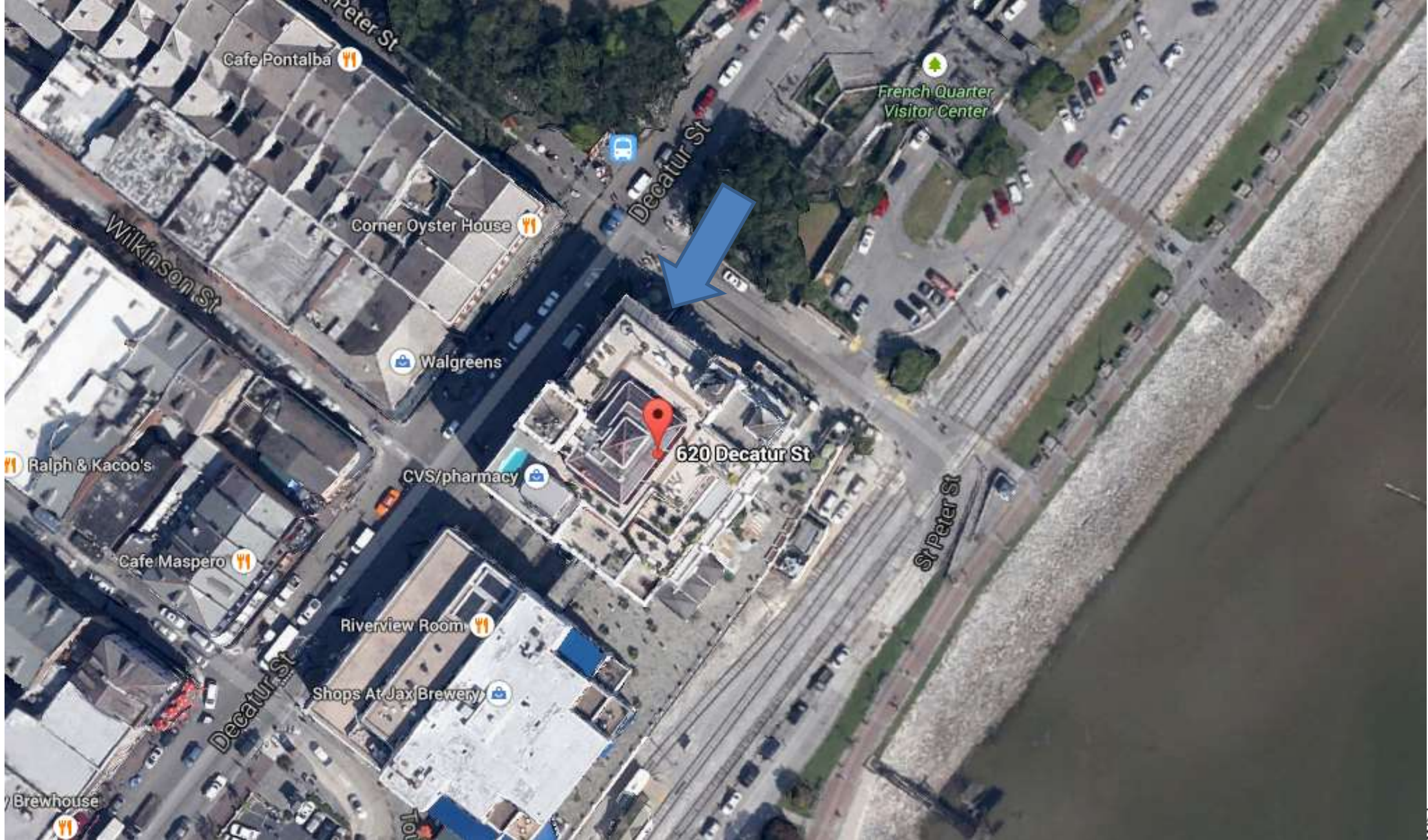




New Business



620 Decatur



620 Decatur

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February 26, 2019



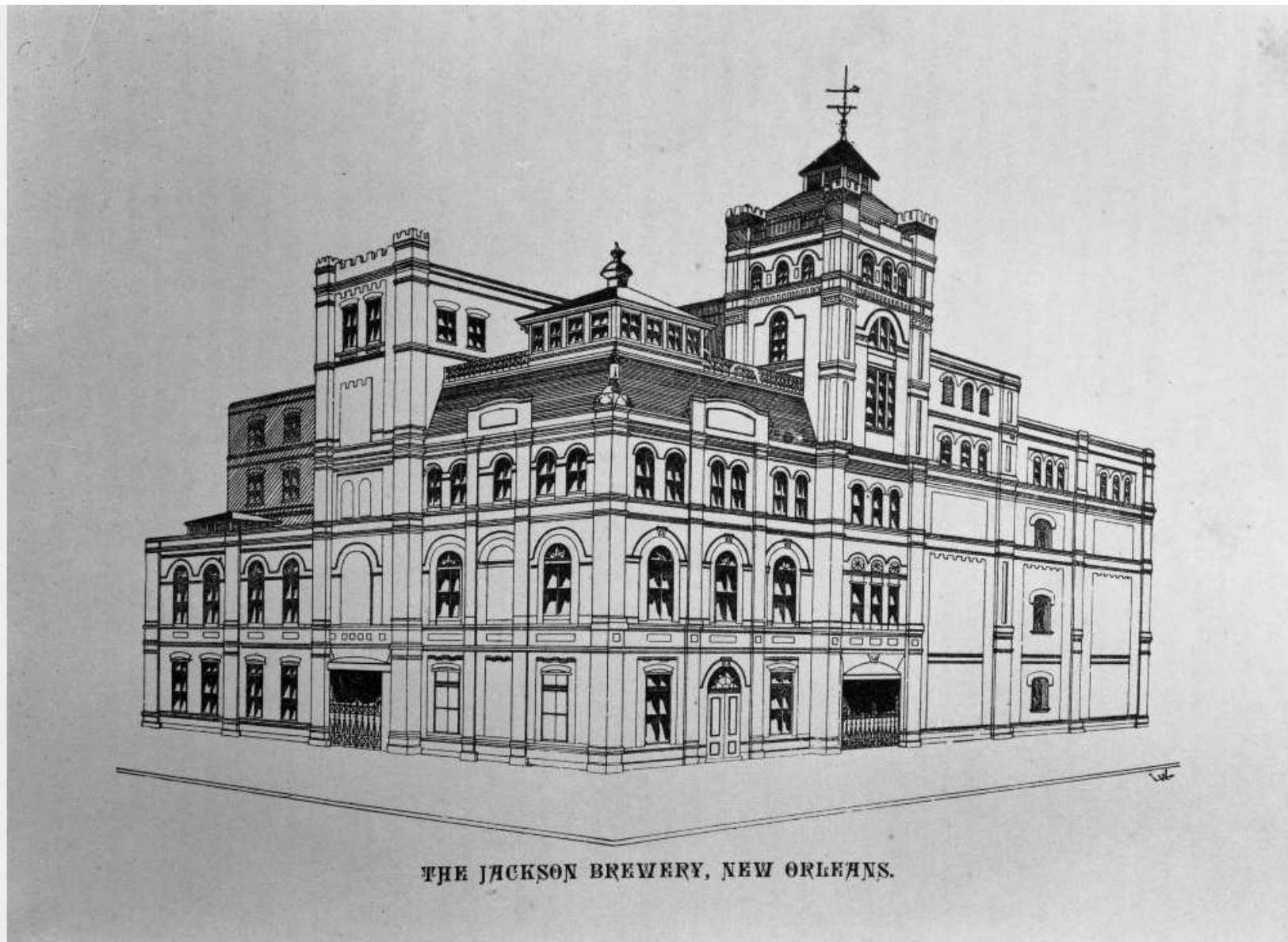


620 Decatur

VCC Architectural Committee

February 26, 2019





Title: The Jackson Brewery, New Orleans (St. Peter corner Clay)
Date: [ca. 1892]

press x to cl



Title: Jax Brewery (616-632 Decatur corner St. Peter)

Date: after 1939

Negative Number: 2-005E-002

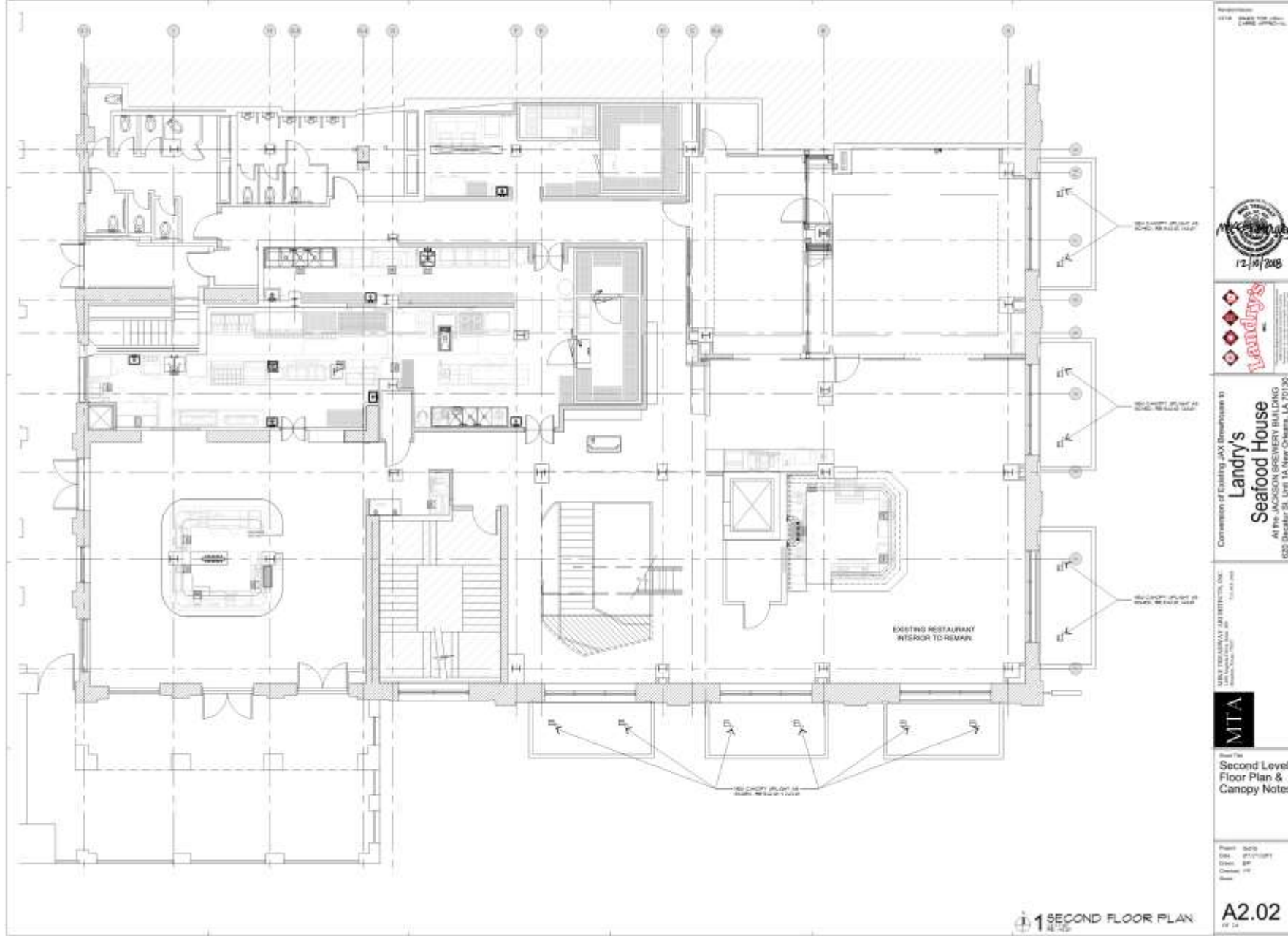
Courtesy of: *The Historic New Orleans Collection has been unable to identify or contact the current copyright owner. Publication may be restricted.*



620 Decatur
VCC Architectural Committee

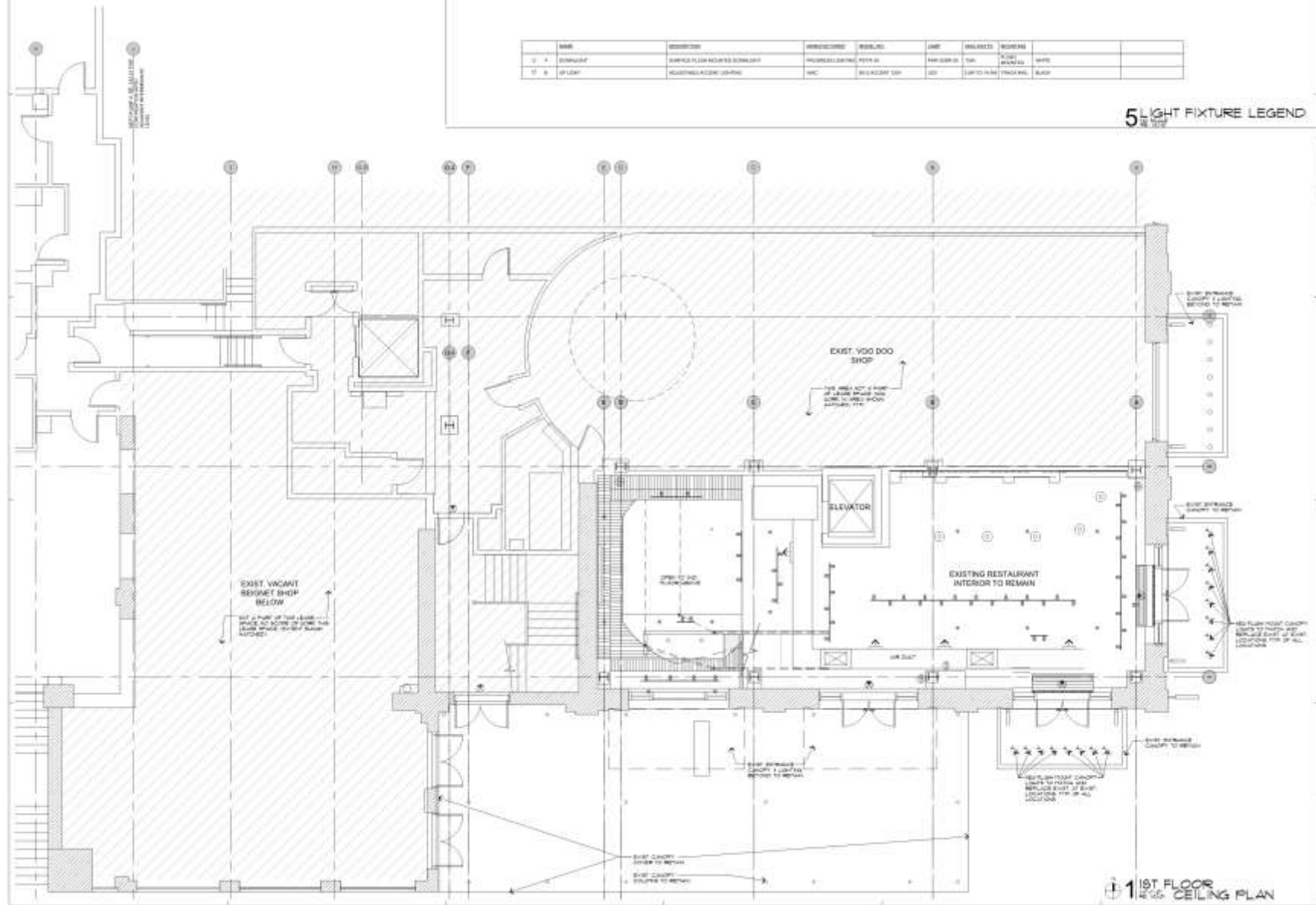
February 26, 2019





NO.	DESCRIPTION	MANUFACTURER	MODEL	SIZE	FINISH	NOTES
1	RECESSED	TRAC	TRAC 100	10" x 10"	WHITE	
2	TRAC	TRAC	TRAC 100	10" x 10"	WHITE	
3	TRAC	TRAC	TRAC 100	10" x 10"	WHITE	

5 LIGHT FIXTURE LEGEND



1st FLOOR REFLECTED CEILING PLAN



Conversion of Existing LAX Brewery to
Landry's Seafood House
 At the JACKSON BREWERY BUILDING
 620 Decatur St., Unit 1A, New Orleans, LA 70130



First Floor Reflected Ceiling Plan
 Project: 1809
 Date: 2/17/2019
 Sheet: RFP
 Drawing: 11
 Scale:
A2.10
 of 14





2ND FLOOR SIDE ELEVATION



1ST DECATUR STREET ELEVATION



Continuation of Existing JAX Brewhouse to
Landry's Seafood House
 At The JACKSON BREWERY BUILDING
 620 Decatur St. Unit 1A, New Orleans, LA 70130

JUST DRINKIN' ARCHITECTS, INC.
 1000 Poydras Street, Suite 200
 New Orleans, Louisiana 70112
 Phone: 504.581.7700



Sheet Title
Existing Exterior Elevations

Project: 1000
 Date: 2/17/2011
 Sheet: 01
 Overall: 11'
 Date:

A3.01





2 LEFT SIDE ELEVATION



2 FRONT ELEVATION





620 Decatur
VCC Architectural Committee

February 26, 2019

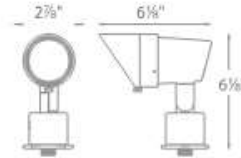


ACCENT 120V

5012

WAC

LANDSCAPE LIGHTING



Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

Landscape accent luminaire. Simple to retrofit existing line voltage systems or coordinate well with a new commercial landscape installation.

FEATURES

- Adjustable and lockable beam angle
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Includes a detachable shroud
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Detachable shroud, 6' lead wire and wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1598 Listed
- Not suitable to use with external dimmers

SPECIFICATIONS

Input: 110V - 120VAC
Power: 3.5W to 14.5W
Brightness: 100 lm to 900 lm
Beam Angle: 15° to 60°
CRI: 85
Rated Life: 45,000 hours

ORDERING NUMBER

		Color Temp		Finish	
5012	Accent 120V	30	3000K	BK	Black on Aluminum
				BZ	Bronze on Aluminum
				BBR	Bronze on Brass

5012-30 _____

Example: 5012-30BBR





620 Decatur

VCC Architectural Committee

February 26, 2019





620 Decatur
VCC Architectural Committee

February 26, 2019





620 Decatur

VCC Architectural Committee

February 26, 2019



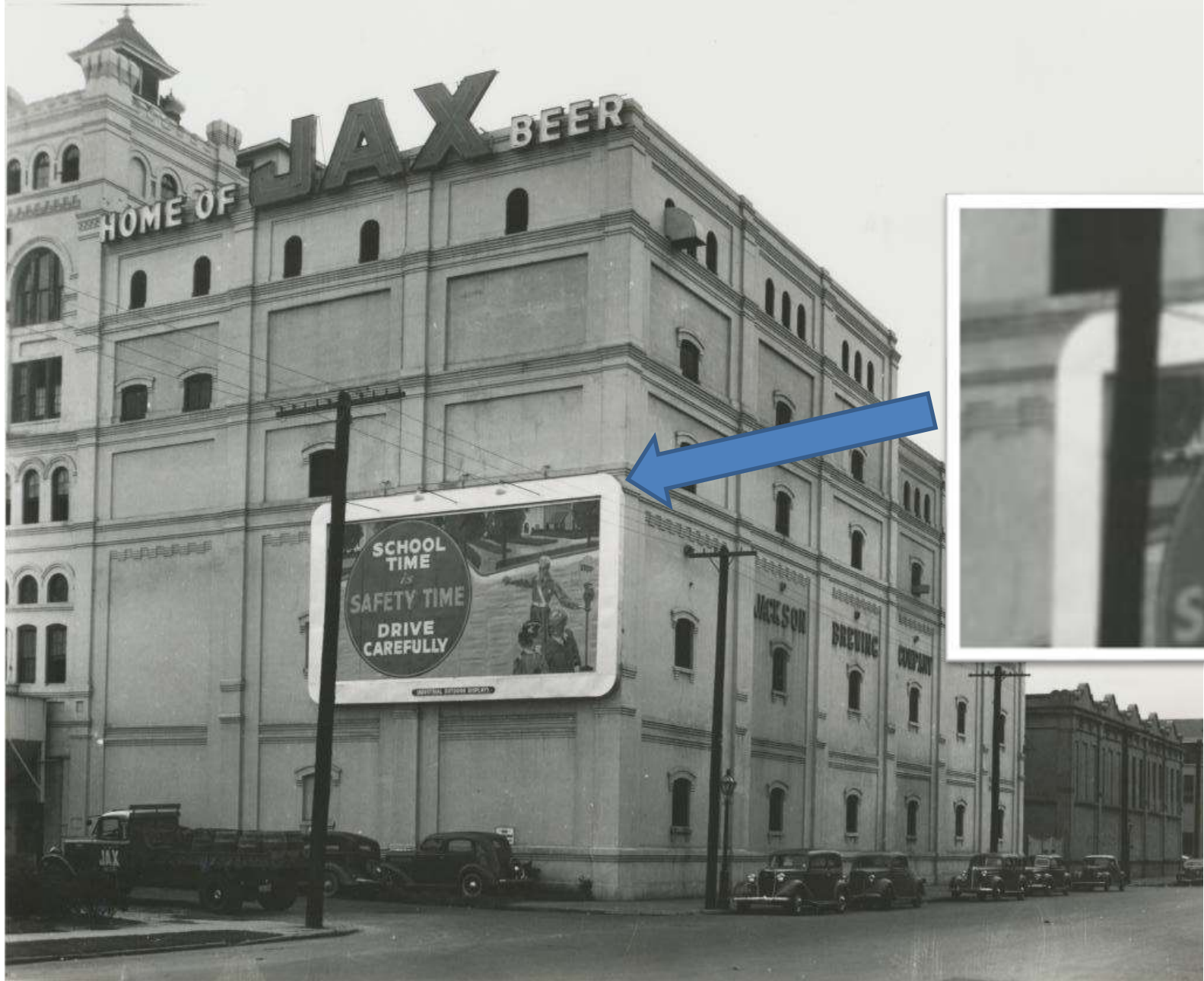


620 Decatur

VCC Architectural Committee

February 26, 2019

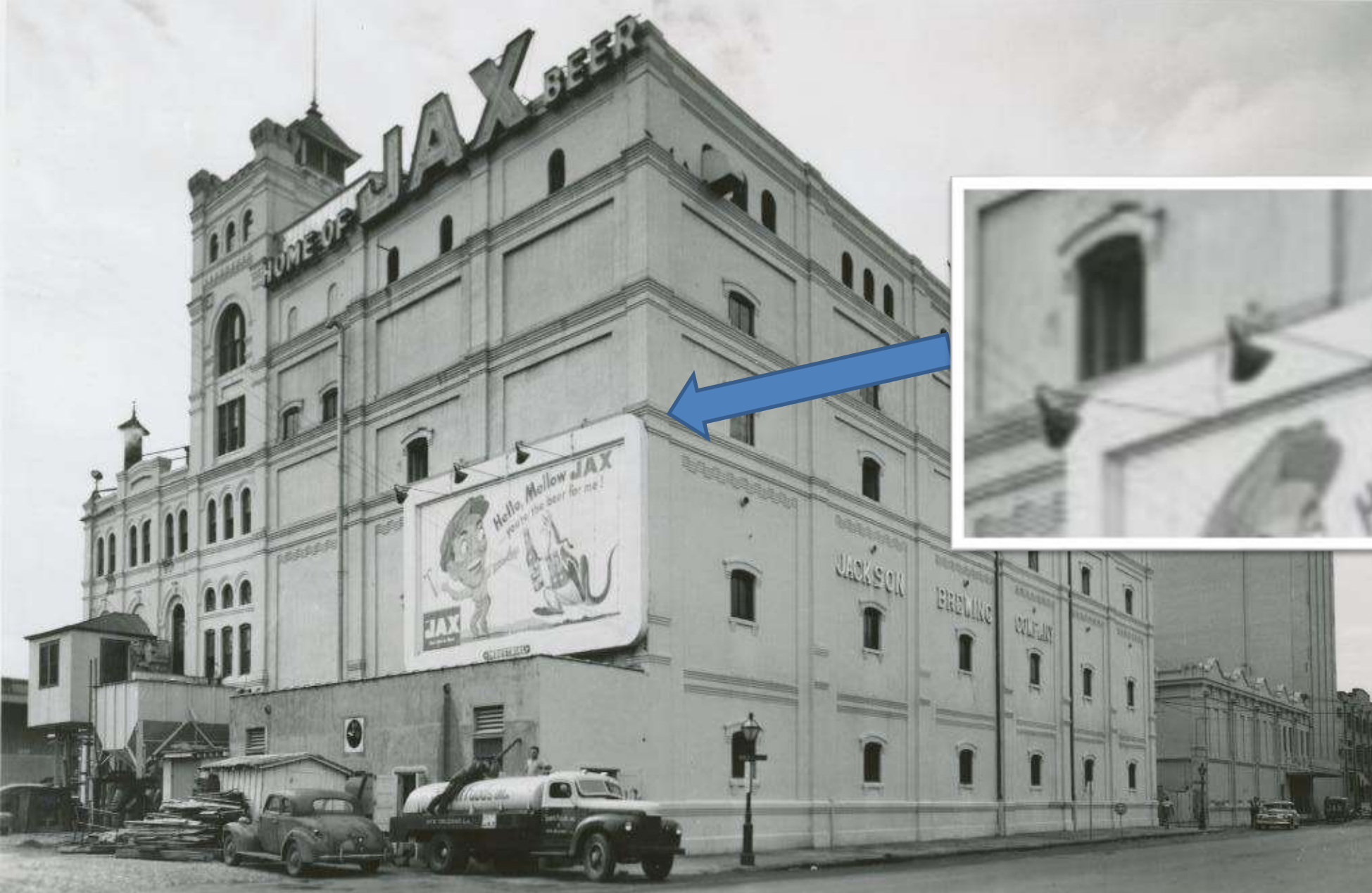




620 Decatur – Previously existing projecting lights
VCC Architectural Committee

February 26, 2019





620 Decatur – Previously existing projecting lights
VCC Architectural Committee

February 26, 2019





620 Decatur

VCC Architectural Committee

February 26, 2019





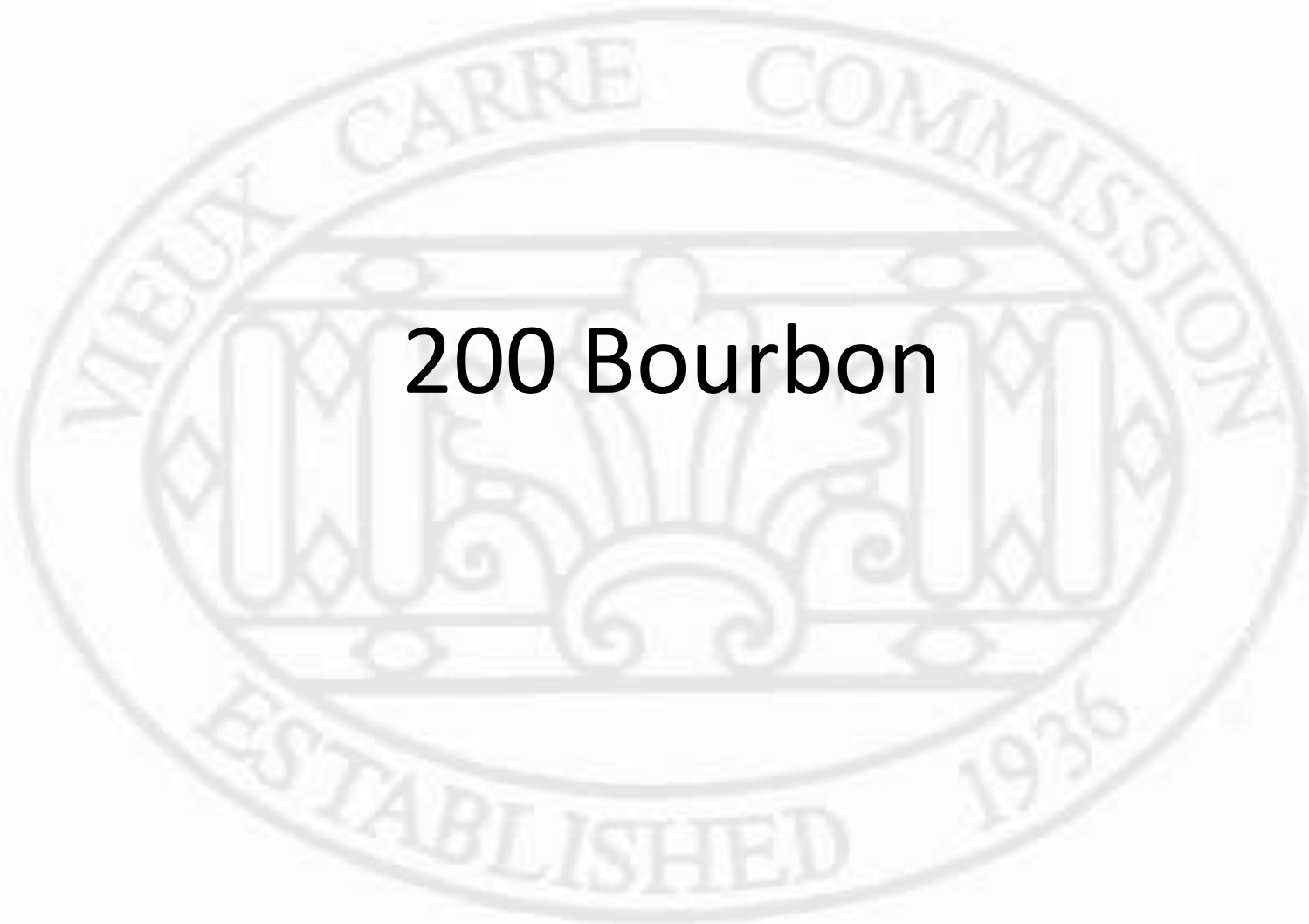
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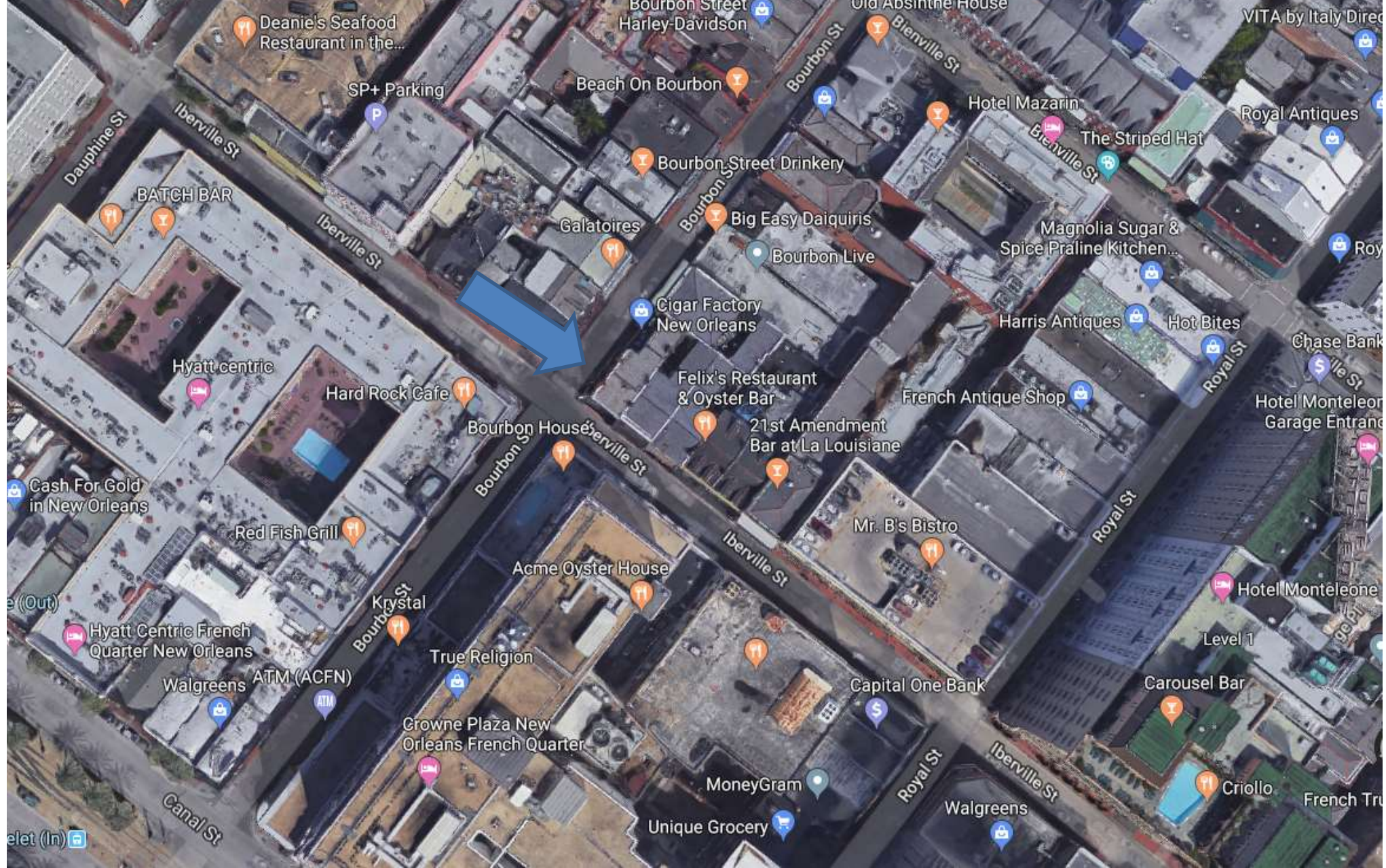
VCC Architectural Committee

February 26, 2019



200 Bourbon





200 Bourbon

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February 26, 2019



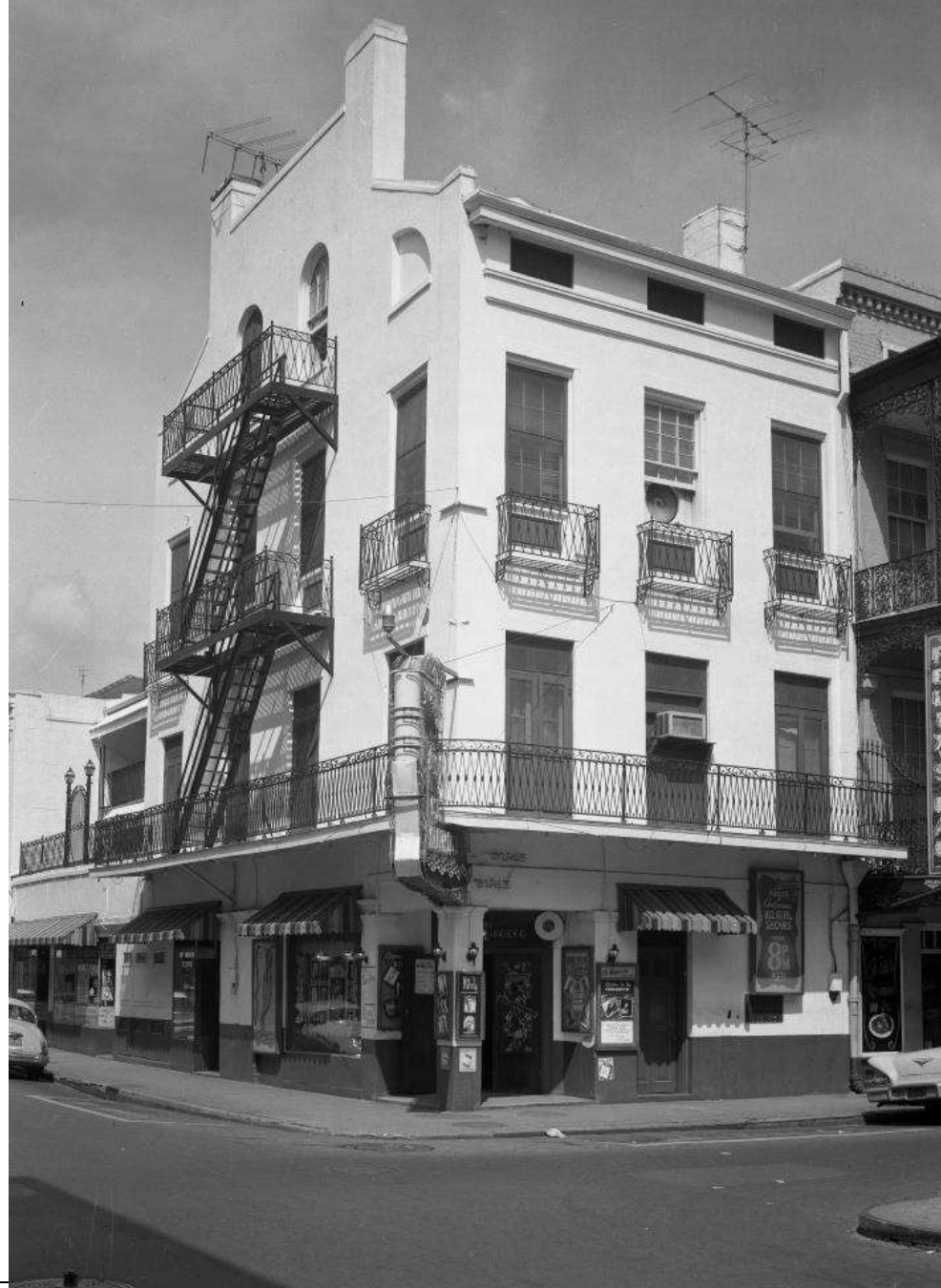


200 Bourbon

VCC Architectural Committee

February 26, 2019





200 Bourbon

VCC Architectural Committee

February 26, 2019





200 Bourbon

VCC Architectural Committee

February 26, 2019





200 Bourbon

VCC Architectural Committee

February 26, 2019





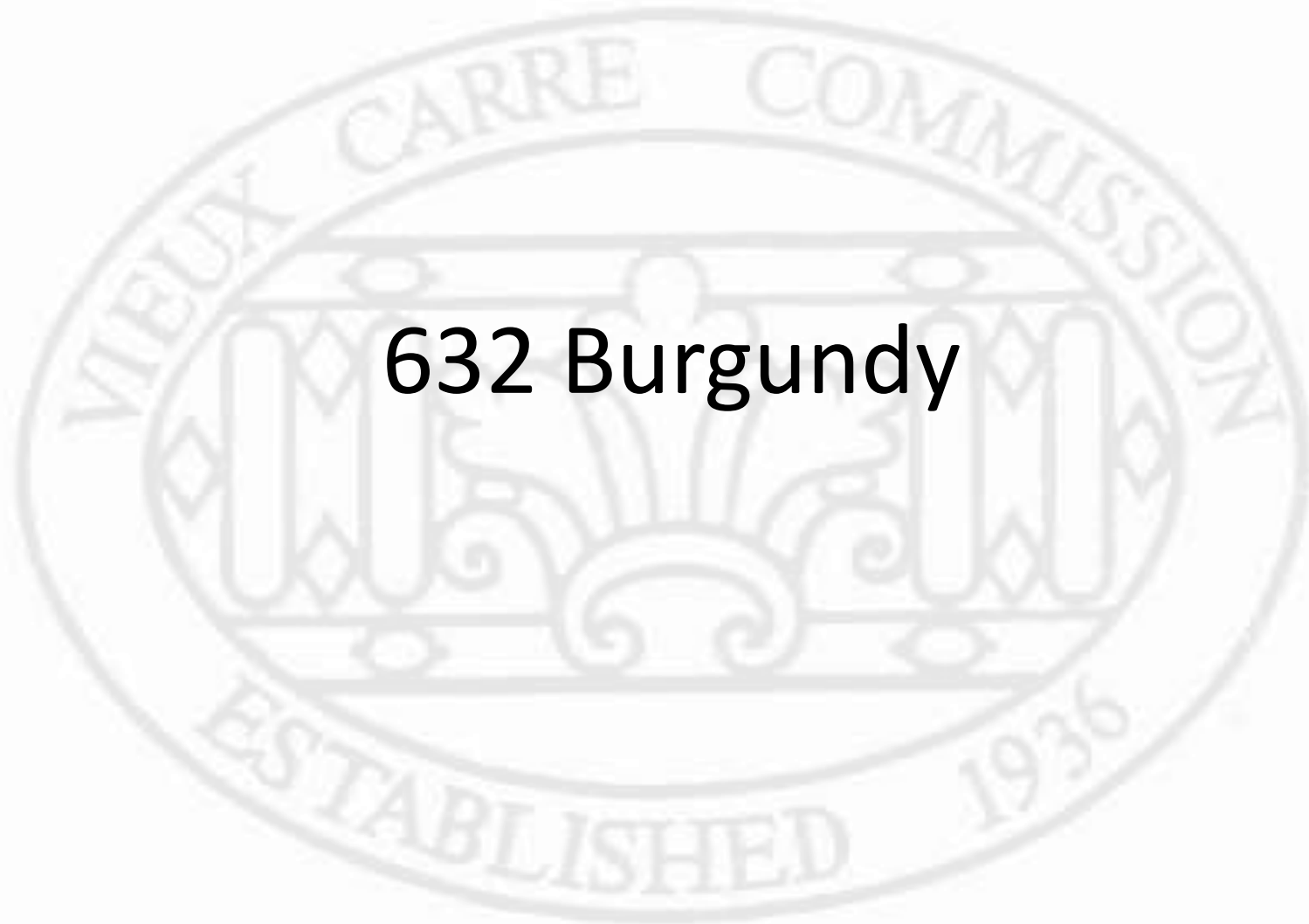
200 Bourbon

VCC Architectural Committee

February 26, 2019



632 Burgundy





632 Burgundy

VCC Architectural Committee

February 26, 2019





632 Burgundy

VCC Architectural Committee

February 26, 2019





632 Burgundy

VCC Architectural Committee

February 26, 2019





632 Burgundy

VCC Architectural Committee

February 26, 2019





632 Burgundy

VCC Architectural Committee

February 26, 2019



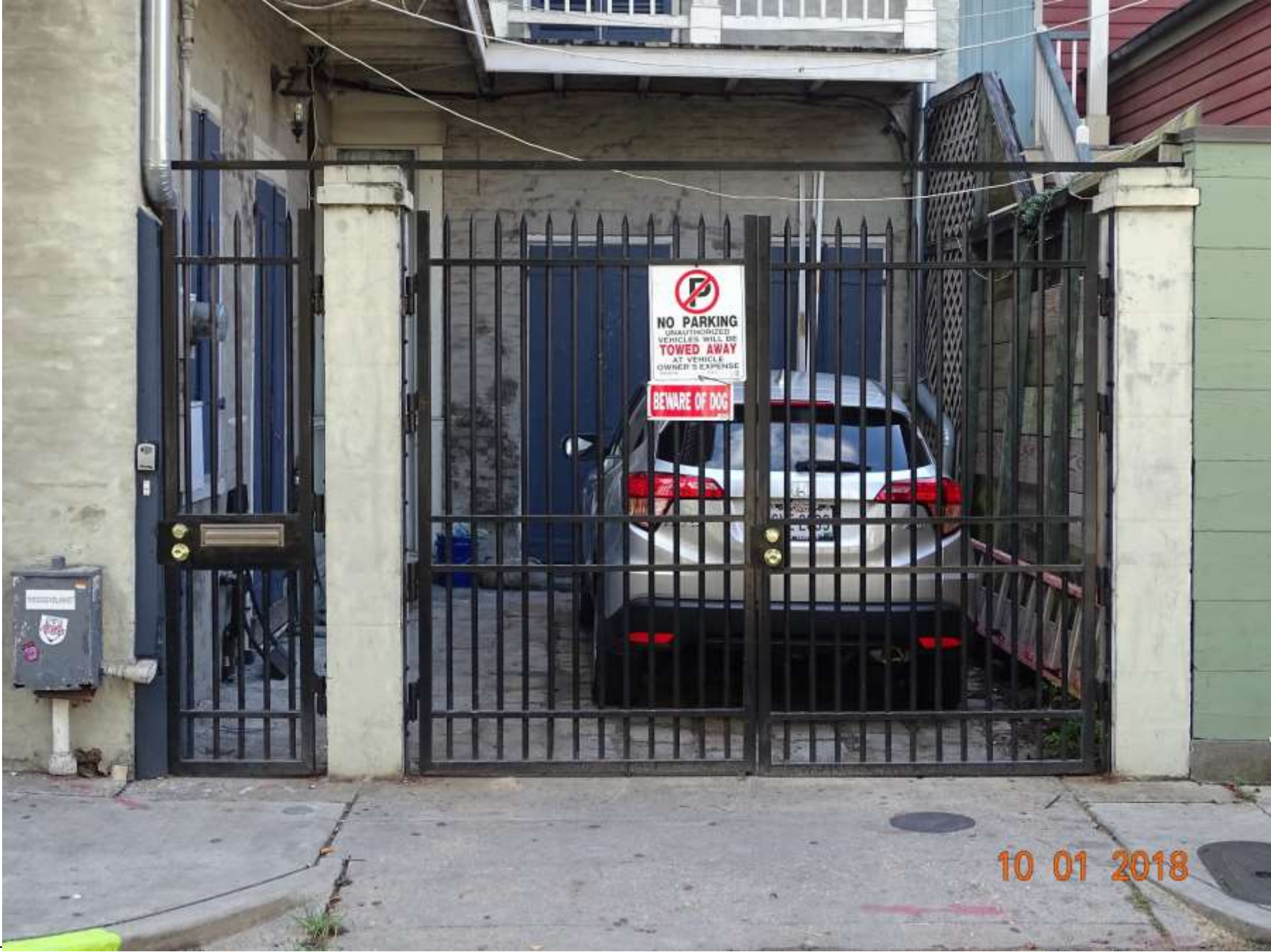


632 Burgundy

VCC Architectural Committee

February 26, 2019





632 Burgundy

VCC Architectural Committee

February 26, 2019





632 Burgundy

VCC Architectural Committee

February 26, 2019





521 CONTI STREET
 316/318 ROYAL STREET
 NEW ORLEANS, LA 70130
 (504) 522-9485
 www.bevolo.com

Sales Quote

Quoted Date	Quote No.
1/17/2019	Q92236

Customer Name:	Ship To:
Kevin Buford 632 Burgundy New Orleans, LA 70116	PICK UP CONTI

Customer E-mail	kevinbuford@gmail.com	Customer Ph	619-929-6836	Fax	
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Sales Rep	P.O. No.	Payment Terms	Estimated Ship Week	
LMM		Prepaid	4 WEEKS	
Qty	Item Code	Description	Each	Total
1	FQ-21-Y-G	French Quarter 21" on Yoke Bracket in Natural Gas. Stem Length: 10 INCHES *Total height of fixture is 36", bottom of lantern will be at 100" AFF	625.00	625.00

Based on Bevolo recommendations? Yes, scale only.	Subtotal	\$625.00
Estimated lead time begins when order has been placed and payment terms met.	Tax (9.699...	\$60.62

<p>Payment and/or Signature on this Quote confirms you have read and agree to our terms and conditions located at: http://www.bevolo.com/guarantee-terms-conditions</p> <p>Returns are subject to 25% restocking fee. No returns accepted after 30 days.</p>	<p><i>To Confirm and Place Order as detailed above, return signed quote to your sales rep or send in payment. Quote Valid for 30 days.</i></p> <p>QUOTE ACCEPTED BY: _____</p>	Total	\$685.62
---	---	--------------	----------

632 Burgundy

VCC Architectural Committee

French Quarter/New Orleans - (504) 522-9485
 Northshore/Mandeville - (985) 249-6040



February 26, 2019



24VDC Residential/Light Commercial
Linear Actuator

 It's Time to Make Gate Safety a Priority

LA500PKGU



Unrivaled Performance, Safety and Accessibility

Built to deliver unsurpassed safety and performance, our 2016 UL Listed Gate Operators and Monitored Safety Entrapment Devices provide peace of mind for every gate application.



NOW INCLUDED:

Monitored Retro-
Reflective Photo Eye
(LMRRU)



LiftMaster

632 Burgundy

VCC Architectural Committee

February 26, 2019



LA500PKGU: Setting the New Standard with Best-in-Class Features

Commercial-Duty Cast Aluminum Housing with Heavy-Duty DC Motor powerful enough to perform in the most demanding applications.

Soft Start/Stop and Mid-Travel Reversal extends operator and hardware life in high-cycle and heavy-gate applications.

Keyed Manual Disconnect when unlocked, allows gate to be operated manually.

Inherent Reversing Sensor detects obstructions or increased loads. Reverses gate when closing or stops/ reverses the gate when opening.

Fire Department Compliance allows gate to auto open upon loss of AC power or battery depletion.

Molecularly Bonded Coating on drive system never needs lubrication.

Quick Close/Anti-Tailgate quickly secures property, preventing unauthorized access.

Surge Suppression provides industrial surge and lightning protection against strikes up to 50 feet away.

IDEAL FOR
Ornamental or large swing gates and rural gate applications.

WARRANTY
Two years.

Exclusively LiftMaster®: What Sets Us Apart



Secures and safeguards your property by providing up to **500* cycles or up to 24 days** of standby power when the power is down.

Security+ 2.0*

Access your property quickly with Security+ 2.0® Technology that utilizes a tri-band signal that virtually eliminates interference and offers extended range each time the remote control is used.



Securely control and monitor your Gate Operator from anywhere and get activity notifications through the MyQ® app.



LiftMaster has designed its own purpose built motor to meet the exact requirements needed to open and close your gate.

* Basic setup with remote controls programmed. Does not include added accessory power draw. LiftMaster low power draw accessories recommended to extend cycles and standby time on battery backup.



New 2016 UL 325 Gate Guidelines

LiftMaster is committed to helping the industry design, install and service safe gate applications that are tested and certified to meet the most stringent industry safety standards.

What You Need to Know:

- Two monitored safety entrapment protection devices must be installed at each entrapment point, including:
 - The inherent reversing system built in to each LiftMaster Gate Operator
 - LiftMaster Monitored Photo Eyes and/or Edge Sensors**
- Gate operators will now monitor for fault conditions of external entrapment protection devices.
- New regulations go into effect January 2016.



Safety Accessories



Monitored Retro-Reflective Photo Eye (LMRRU)

- Sensing distance up to 50 ft., NEMA 4X.
- Hoods come standard.



Monitored Through-Beam Photo Eyes (LMTBU)

- Wireless network mode eliminates the need to wire between operators in dual-gate applications.
- Sensing distance up to 90 ft., NEMA 4X.
- Hoods come standard.

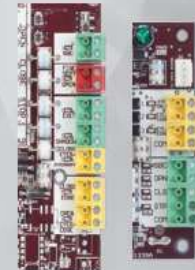


Monitored Wireless Edge Kit (LMWEKTU)

- Low-energy Bluetooth® transmission provides industry-leading battery life (2 years).
- Accepts up to 4 transceivers, 2 resistive edges per transceiver.
- Sensing distance up to 130 ft., NEMA 4X.
- Compatible with LiftMaster Monitored Edges.

Monitored Safety Inputs

Come standard with the LA500PKGU.



- Includes 6 Monitored Safety Inputs to cover all entrapment points.

****Only LiftMaster Monitored Photo Eyes or Edge Sensors may be used with this operator to meet the 2016 UL 325 Standard.**

Add to Your System



Plug-in Loop Detector (LOOPDETLM)***

Ensures vehicles are easily identified to exit property or interrupt gate travel if a vehicle is in its path.

Power-efficient design uses less power to maximize cycles when operating on Battery Backup.



Internet Gateway (828LM)***

Connects your MyQ®-Enabled Gate Operator to the internet with this device and the free MyQ app.



Wireless Commercial Keypad (KPW250)

Sleek, zinc-alloy metal front cover is extremely durable. Electronics encapsulated for reliable outdoor use. Compatible with Security+ 2.0®, Security+® and Linear MultiCode®† 250-code capacity.



2-Button and 4-Button Security+ 2.0® Learning Remote Controls (892LT/894LT)

Can learn or clone other LiftMaster codes or frequencies.

*** Internet Gateway Accessory functionality is dependent on communication with a MyQ®-Enabled Gate Operator. MyQ Technology communication can be limited by distance and type of exterior building materials. A general range estimate is 300 ft.

† MultiCode is a registered trademark of Nortek Security & Control LLC.

24VDC Residential/Light Commercial
Linear Actuator

LA500PKGU

FEATURES

LED DIAGNOSTIC DISPLAY Simplifies installation and troubleshooting.



SOLAR-READY ULTRA-RELIABLE SYSTEM

Simple solar conversion delivers power when you need it most and is extremely power efficient at all other times to maximize solar performance.

WIRELESS DUAL-GATE COMMUNICATION

Eliminates expensive conduit costs and unsightly driveway scars.

PROGRAMMABLE AUXILIARY RELAYS

Easily add additional features, such as warning lights/alarms.

BI-PART DELAY Monitors and adjusts speed and position of each wing to ensure primary gate closes last.

SYNCHRONIZED CLOSE Simultaneously closes gates.

PRE-MOTION WARNING ALARM Activates on-board alarm three seconds prior to gate motion.

ANTI-TAILGATE Prevents unauthorized access. Gate will pause when closing as vehicle pulls onto interrupt loop or breaks photo beam. Once vehicle backs up, gate will continue to close.

HOMELINK® COMPATIBLE Version 4 and higher.

SECURITY+ 2.0® ON-BOARD RADIO RECEIVER
Up to 50 remote controls (unlimited with 811LM/813LM).

SPECIFICATIONS

POWER

Full-time AC-run operation 120V/230V Single Phase.

ACCESSORY POWER

24VDC 500mA output.
Switched and unswitched power.

MONITORED SAFETY INPUTS

3 Main Board, 3 Expansion Board.

TEMPERATURE SPECIFICATIONS

-4°F (-20°C) to 140°F (60°C).

UL USAGE CLASSIFICATION

I, II, III, and IV.

GATE TRAVEL SPEED

90-degree opening in 15-17 seconds.

CONSTRUCTION

P3 MOTOR®

24VDC continuous-duty motor.

OPERATOR DUTY RATING

Continuous duty, 300 cycles per day.

CHASSIS

Commercial-duty aluminum die-cast housing.

WORM GEAR REDUCTION

Precision-machined all-metal gear in contained lubrication housing.

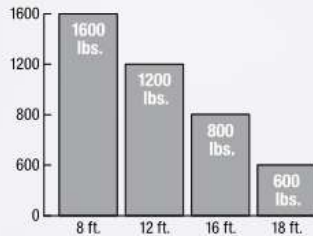
OPERATOR WEIGHT

Actuator arm 35 lbs.
Standard control box 13 lbs.
• Includes (2) 7Ah batteries.

RECOMMENDED CAPACITIES

Rated for gates up to 18 ft. in length or weighing up to 1,600 lbs.

Swing Rating



BATTERY BACKUP OPERATION

BATTERY	CYCLES	STANDBY TIME
(2) 7Ah	500	24 Days
(2) 33Ah	2781	180 Days



ADDITIONAL ACCESSORIES



Telephone Intercom and Access Control System (EL1SS)
Provides wired telephone intercom communication and secure access control at the gate or door.



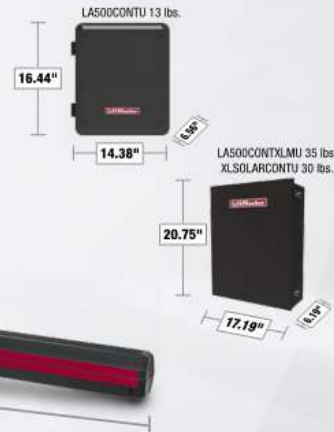
Solar Panel (SP10W12V)
Solar option available. Efficient reliable system (2 panels required).



Door and Gate Monitor (829LM)
Monitor or close the gate from any room in your facility.



Universal Single and 3-Button Remote Controls (811LM/813LM)
Ideal for applications requiring a large number of remote controls.



632 Burgundy

VCC Architectural Committee

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845 Larch Ave., Elmhurst, IL 60126
LiftMaster.com
LMGTBRLA5U 8/15

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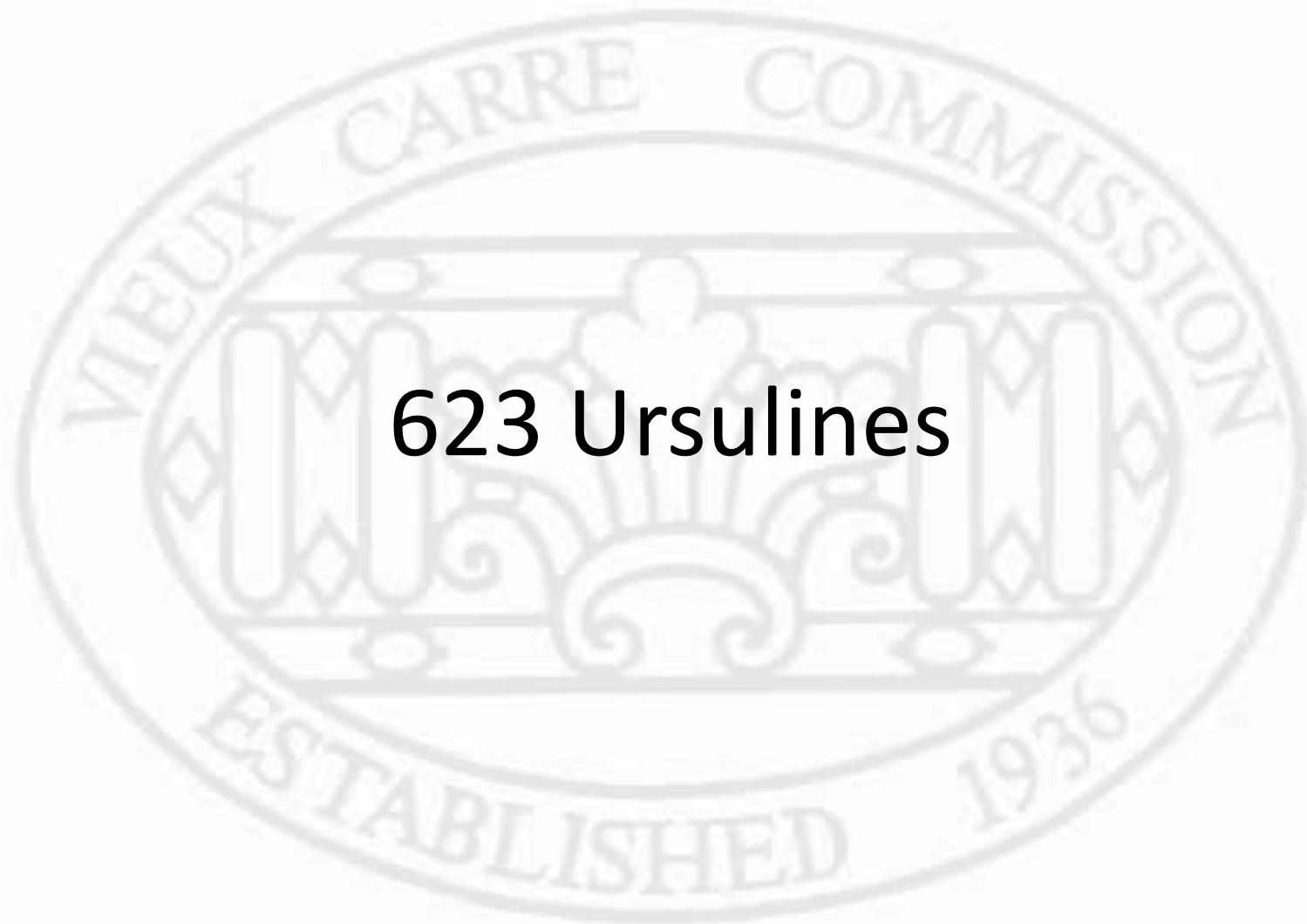


CGI reserves the right to make design or specification changes without notice.

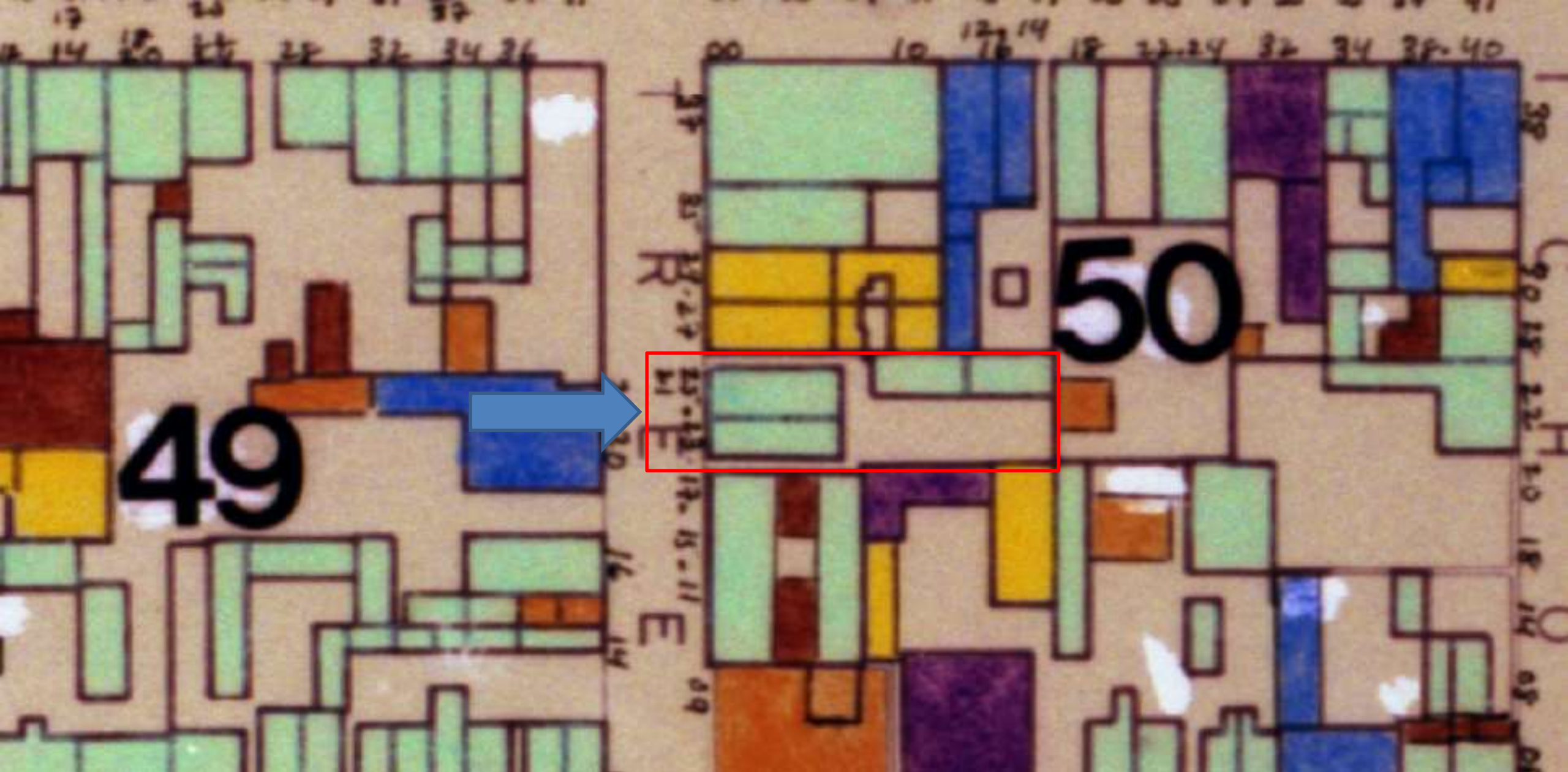
LiftMaster

February 26, 2019





623 Ursulines



623 Ursulines

VCC Architectural Committee

February 26, 2019





623 Ursulines

VCC Architectural Committee

February 26, 2019





623 Ursulines – ca. 1950

VCC Architectural Committee

February 26, 2019





623 Ursulines - 1964

VCC Architectural Committee

February 26, 2019





623 Ursulines - 2004

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February 26, 2019





623 Ursulines - 2004



623 Ursulines

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February 26, 2019





623 Ursulines

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February 26, 2019





623 Ursulines

VCC Architectural Committee

February 26, 2019





623 Ursulines

VCC Architectural Committee

February 26, 2019



623 URSULINES

--

623 URSULINES
NEW ORLEANS, LA

ARCHITECT:
--

GENERAL CONTRACTOR:
--

MILLWORK SHOP DRAWINGS

ISSUE DATE 02.08.2019

SHOP DRAWINGS FOR ARCHITECTURAL MILLWORK BASED ON
SITE VISIT/EXISTING MILLWORK

623 Ursulines

VCC Architectural Committee

APPROVALS:

DRAWING SECTION LIST:

COVER	COVER SHEET
SD-1	EXISTING MILLWORK PHOTOS (EXISTING CONDITIONS)
SD-2	EXISTING / PROPOSED MILLWORK
SD-3	MILLWORK DETAILS

notes:

- GLASS FOR ALL DOORS TO BE $\frac{1}{4}$ " TEMPERED
- DOOR SLAB DESIGN TO BE "FAUX FRENCH DOORS"
- EXISTING TRANSOM TO BE REMOVED AND REPLACED BY FULL HEIGHT DOOR SLAB
- ALL MOLDING/MUNTIN DETAILS TO MATCH EXISTING. REF. SD3

COVER

February 26, 2019



SHOP DRAWINGS

These drawings are the property of the drafter. They are not to be used for any purpose without the approval of the drafter and are to be returned upon request. They are not to be reproduced, copied or altered.

project name: _____

623 Ursulines
 CLIENT: Ryan
 CONTACT: Ryan
 p. 504.756.1467

notes:
 MATERIAL:
 SPANISH CEDAR - (PAINT GRADE)
 GL-1 - 1/4" TEMPERED GLASS
 FINISH:
 TBD - BY OTHERS
 ALL HARDWARE, DELIVERY, AND
 INSTALLATION EXCLUDED

drawing dates
 date drawn: _____
 02.08.2019 | A.G.Ramos

REVISIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

contents & description

EXISTING DETAILS

sheet no. **SD-1**



DOOR SLABS, JAMBS
 & BRICK MOLDING
 DAMAGED BEYOND REPAIR
 (FRONT & BACK)

EXISTING DOOR UNIT TO BE REMOVED AND REPLACED
 BY PROPOSED NEW DOORS, REF. SD2

EXISTING TRANSOM AND TRANSOM BAR
 TO BE REMOVED; DOOR TO BE FULL HEIGHT SLAB

NEW DOORS TO BE FULL HEIGHT "FAUX FRENCH DOORS"



1 DOOR EXTERIOR PHOTO (TYP. EXISTING) NTS

A URSULINES (BUILDING FRONT) - 4 DOORS NTS



B URSULINES (BUILDING BACK) - 4 DOORS NTS

623 Ursulines

VCC Architectural Committee

February 26, 2019

SHOP DRAWINGS

These drawings are the property of the architect. They are not to be used for any purpose without the approval of the architect and are to be returned upon request. This is not to be construed as a warranty.

PROJECT NAME

623 Ursulines

CLIENT: CONTACT: Room # 504 / 706.107

NOTE:
PATTERN: Spanish Oak - Fair Face
G.L. - 1/2" TYPICAL GLASS
FINISH: S&S - 1/4" R. S&S
ALL HARDWARE, GLASS, AND INSTALLATION EXCLUDED

DATE: 02-08-2019
BY: A.G. [Signature]

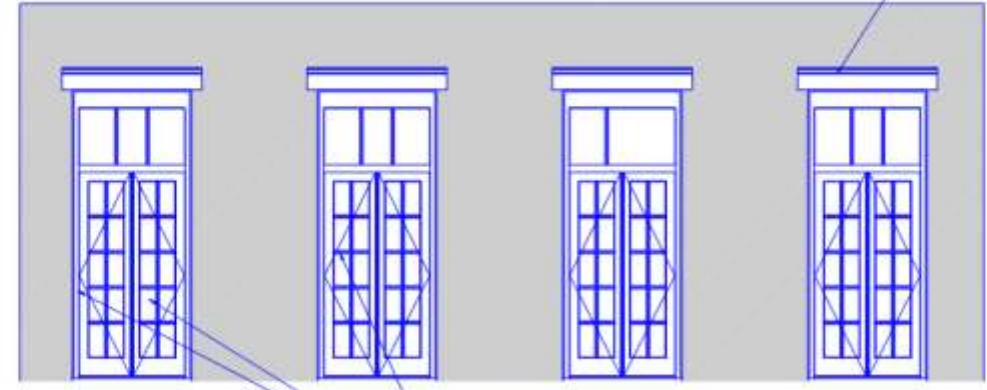
NO.	DESCRIPTION	DATE

CONTENTS & SCHEDULES

Door Units

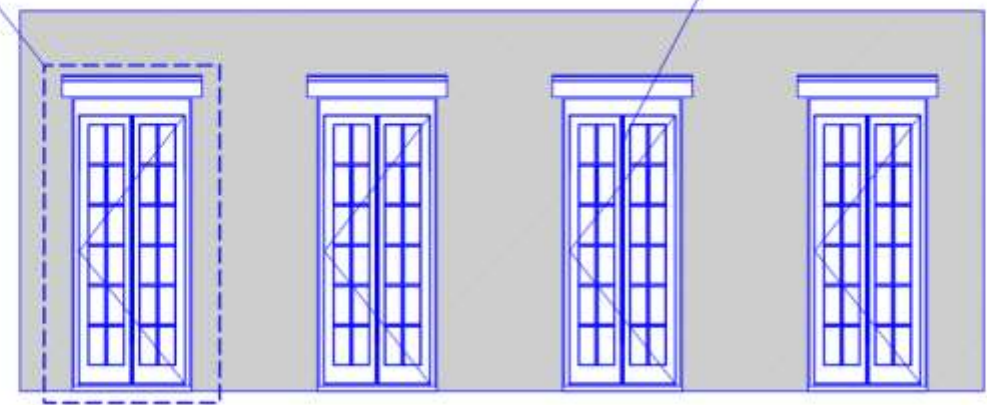
Sheet No. SD-2

1 Existing Exterior Door Submittal
SCALE: 1/4" = 1'-0"



A
303

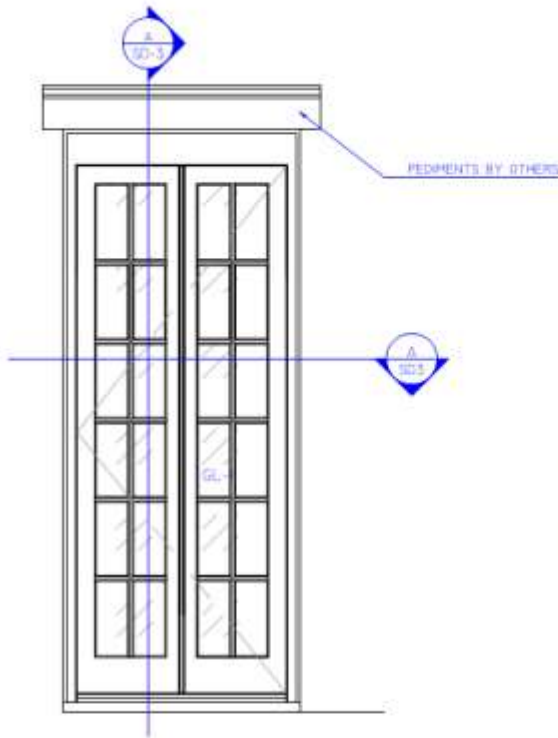
PROPOSED NEW DOORS TO BE FULL HEIGHT SINGLE SLAB WITH THE APPEARANCE OF FRENCH DOORS TO MATCH EXISTING. ALL DOOR SWINGS TO BE VERIFIED



2 Proposed Exterior Door Submittal (1 Jam, 1 Jamb, & 1 Mold)
SCALE: 1/4" = 1'-0"

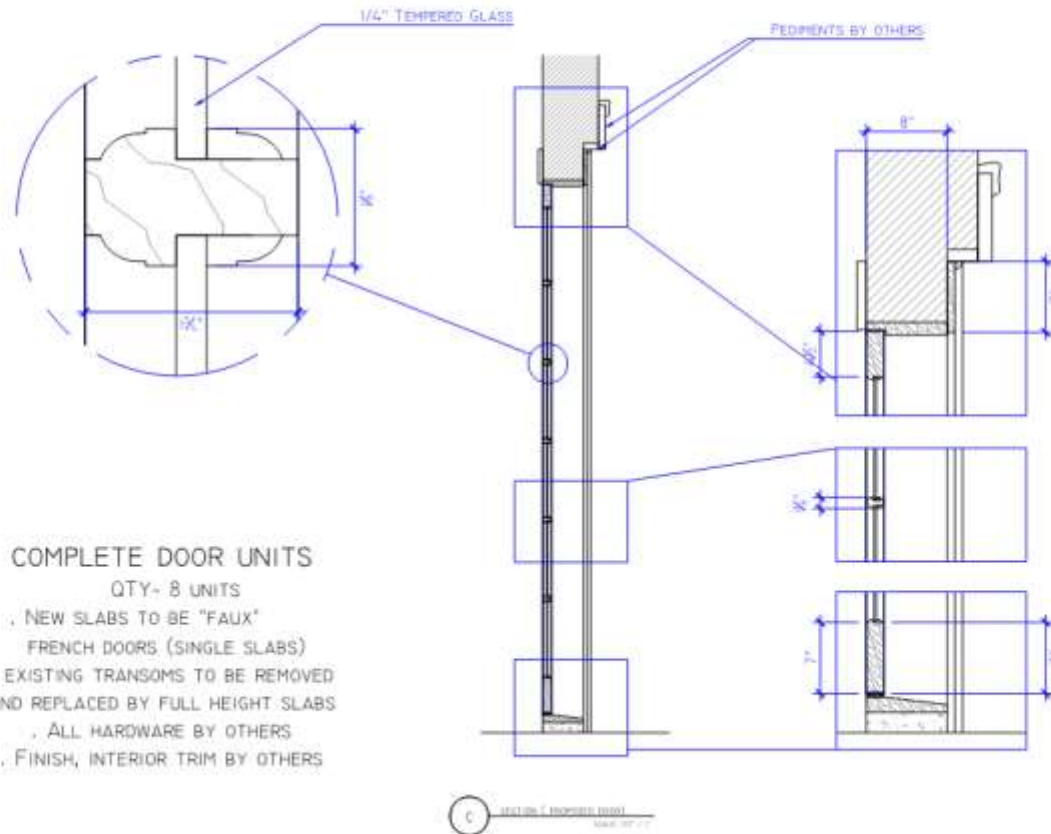
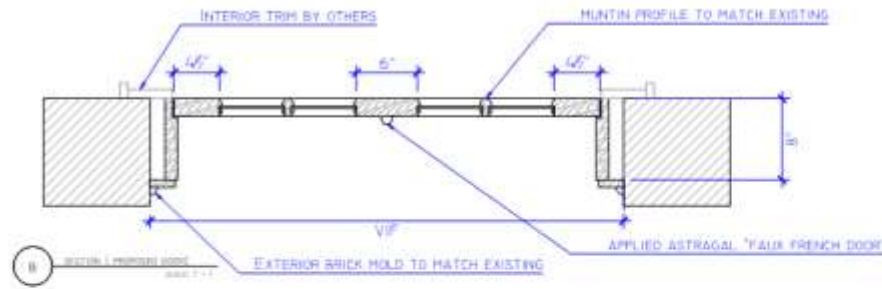
623 Ursulines





A SECTION 1 - EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE (UNIT OPENING)		
WIDTH (INCHES)	HEIGHT (INCHES)	LOCATION (LEFT TO RIGHT)
46 3/4	115 1/2	FRONT - 1
47	115 1/2	FRONT - 2
46 3/4	115 1/2	FRONT - 3
46 3/4	115 1/2	FRONT - 4
47	115	BACK - 1
47	115	BACK - 2
47	115	BACK - 3
47	115	BACK - 4



COMPLETE DOOR UNITS
 QTY- 8 UNITS
 . NEW SLABS TO BE "FAUX"
 FRENCH DOORS (SINGLE SLABS)
 . EXISTING TRANSOMS TO BE REMOVED
 AND REPLACED BY FULL HEIGHT SLABS
 . ALL HARDWARE BY OTHERS
 . FINISH, INTERIOR TRIM BY OTHERS

C SECTION 2 - EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

SHOP DRAWINGS

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Project Name: _____

623 Ursulines

CLIENT: RYM
 CONTACT: RYM
 P: 508.706.1447

MATERIAL:
 Slab - Glass - Float glass
 GL - 1/4" TEMPERED GLASS
 FINISH:
 T&G - 1/4" IN SCORE
 ALL HARDWARE, GLASS, AND
 INSTALLATION INCLUDED

DATE: 02/26/2019
 A.G. RYM

NO.	REV.	DATE	BY	CHKD.
1				
2				
3				
4				

DOOR UNITS
 QTY: 8

SD-3





(504) 834-8999

Date: 1-27-2019
Proposal Submitted to:
HDV 4 (Haunted Hotel)
623 Ursulines
New Orleans, La.

State Lic # 57575

This Contract is based on scope of work listed below.

SCOPE OF WORK FOR VCC VIOLATIONS

1. Remove signage and install new according to VCC specifications.
2. Remove all signage and light for windows.
3. Remove all vegetation from outside of building noted by VCC.
4. Repair stucco noted by VCC.

SCOPE OF WORK FOR REPLACEMENT DOORS

1. Remove the 8 front door units and Install 8 new 1-3/4" exterior faux French door units to match existing doors. (47"x113" door units)

NOTE: Includes prehanging with architectural grade hinges on 8" rabbeted jambs, wood thresholds, 1/4" tempered glass, exterior casing and brick mold; no interior casing, exterior capital, or additional hardware is included

SCOPE OF WORK FOR PAINTING

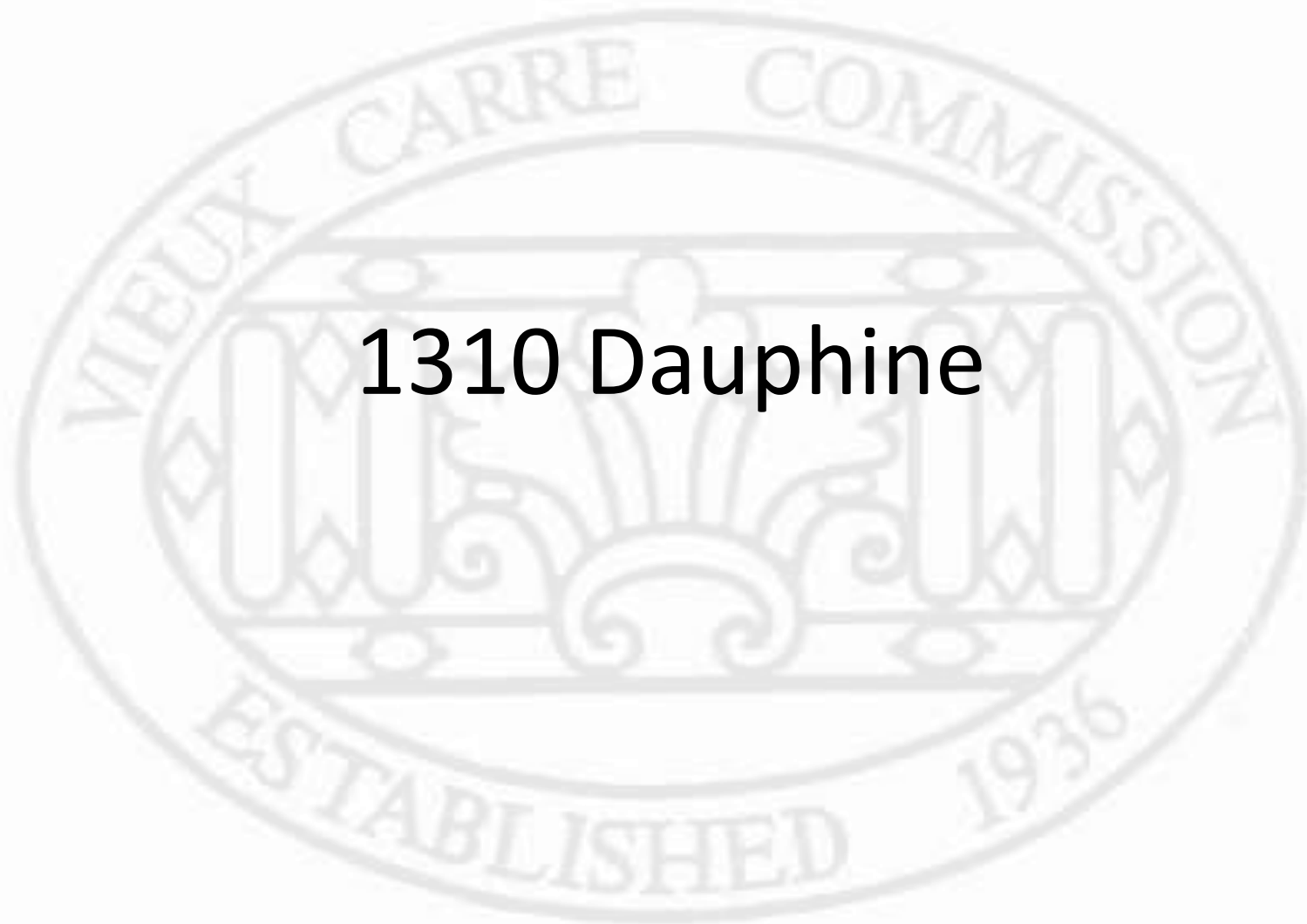
1. Remove all vegetation
2. Sand and paint balcony floor
3. Sand, caulk and clean all exterior windows on front and back only.
4. Paint 2 coats of exterior latex paint on front, back and halfway up right side of exterior building. (doors and windows are included).

623 Ursulines

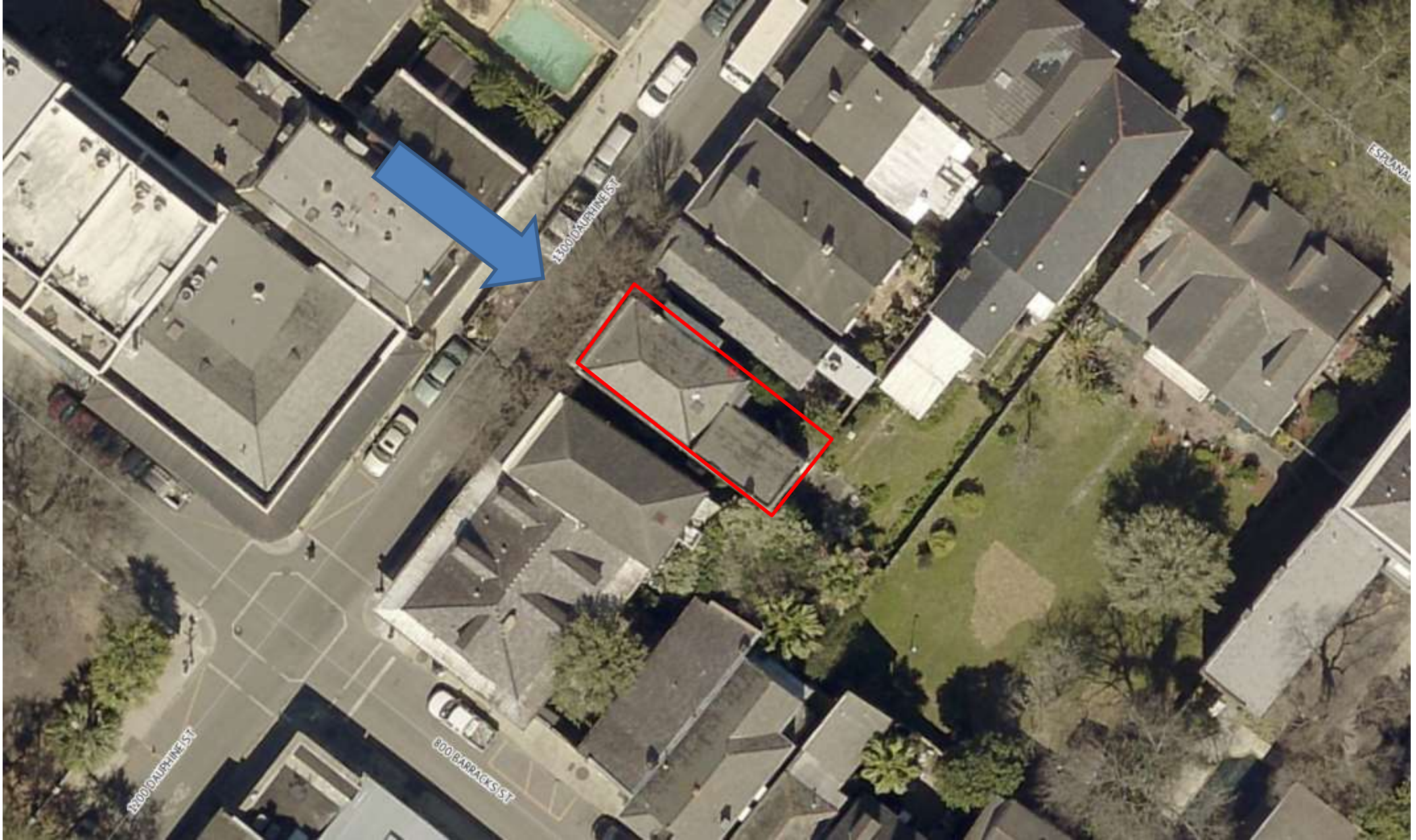
VCC Architectural Committee

February 26, 2019





1310 Dauphine



1310 Dauphine

VCC Architectural Committee

May 22, 2012



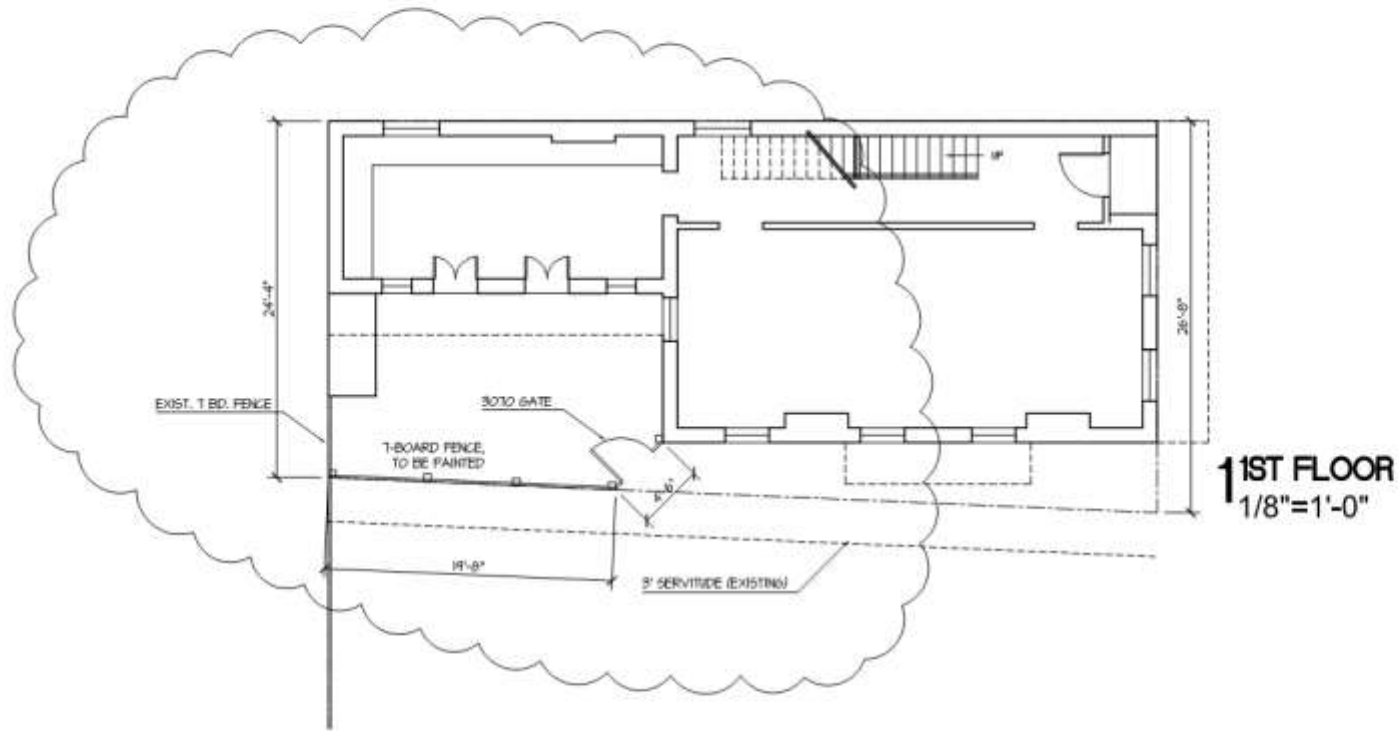


1310 Dauphine

VCC Architectural Committee

May 22, 2012





NO.	ISSUE	DATE

WATERMAN RESIDENCE
1310 DAUPHINE ST.
NEW ORLEANS, LA

CHARLES A. BERG, AIA

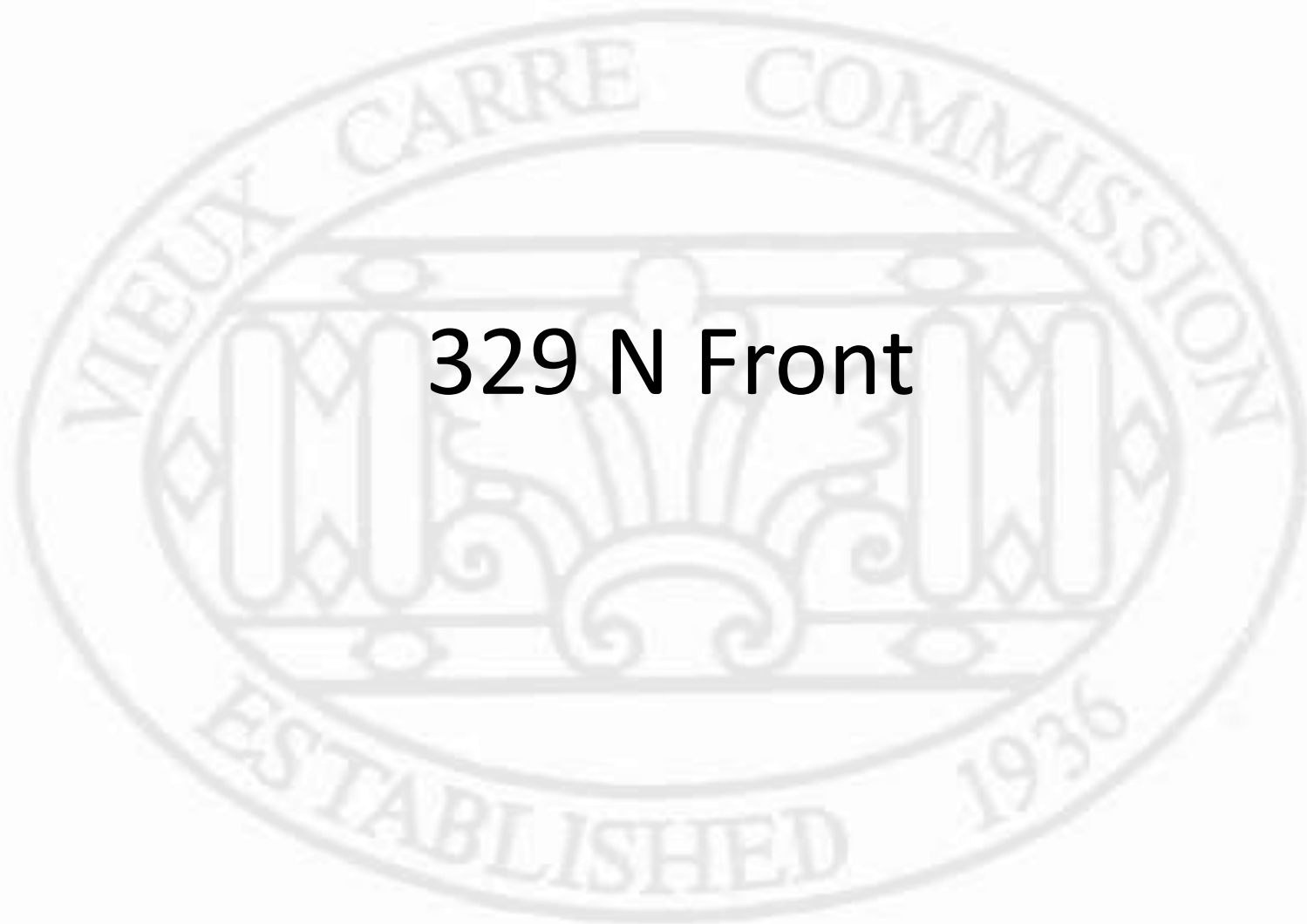
825 OLIVIER FELDS AVE.
 NEW ORLEANS, LA 70117
 504.444.8887

<small>PROJECT ARCH:</small> CAB	<small>PROJECT NUMBER:</small> 0000
<small>DRAWN BY:</small> JBB	<small>CHECKED BY:</small> JBB

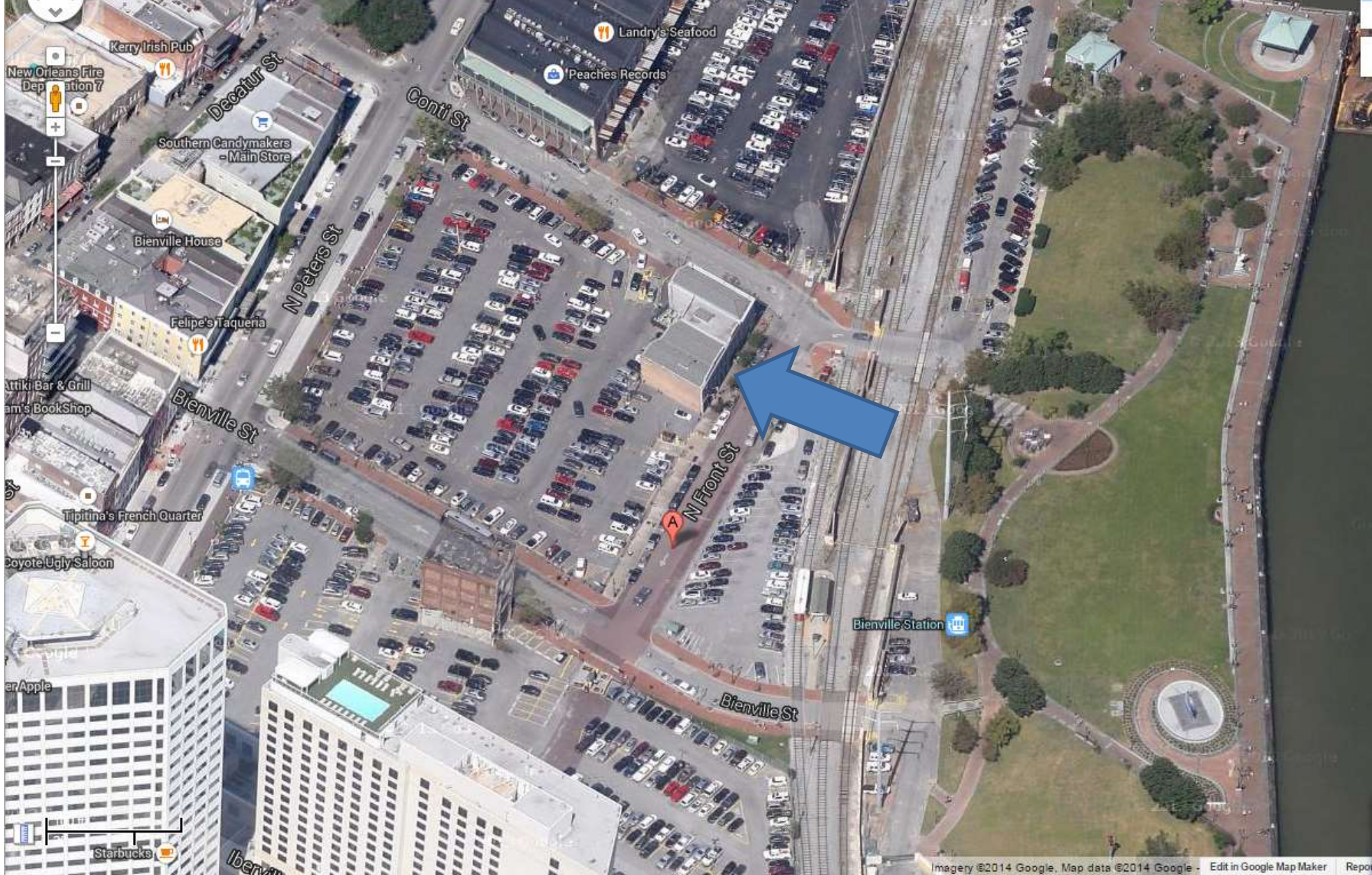
TITLE
SITE PLAN

SHEET 1
A-0.0
OF 1 SHEETS





329 N Front



329 N Front

VCC Architectural Committee

February 26, 2019





329 N Front

VCC Architectural Committee

February 26, 2019





329 N Front, 10/15/1964

VCC Architectural Committee

February 26, 2019



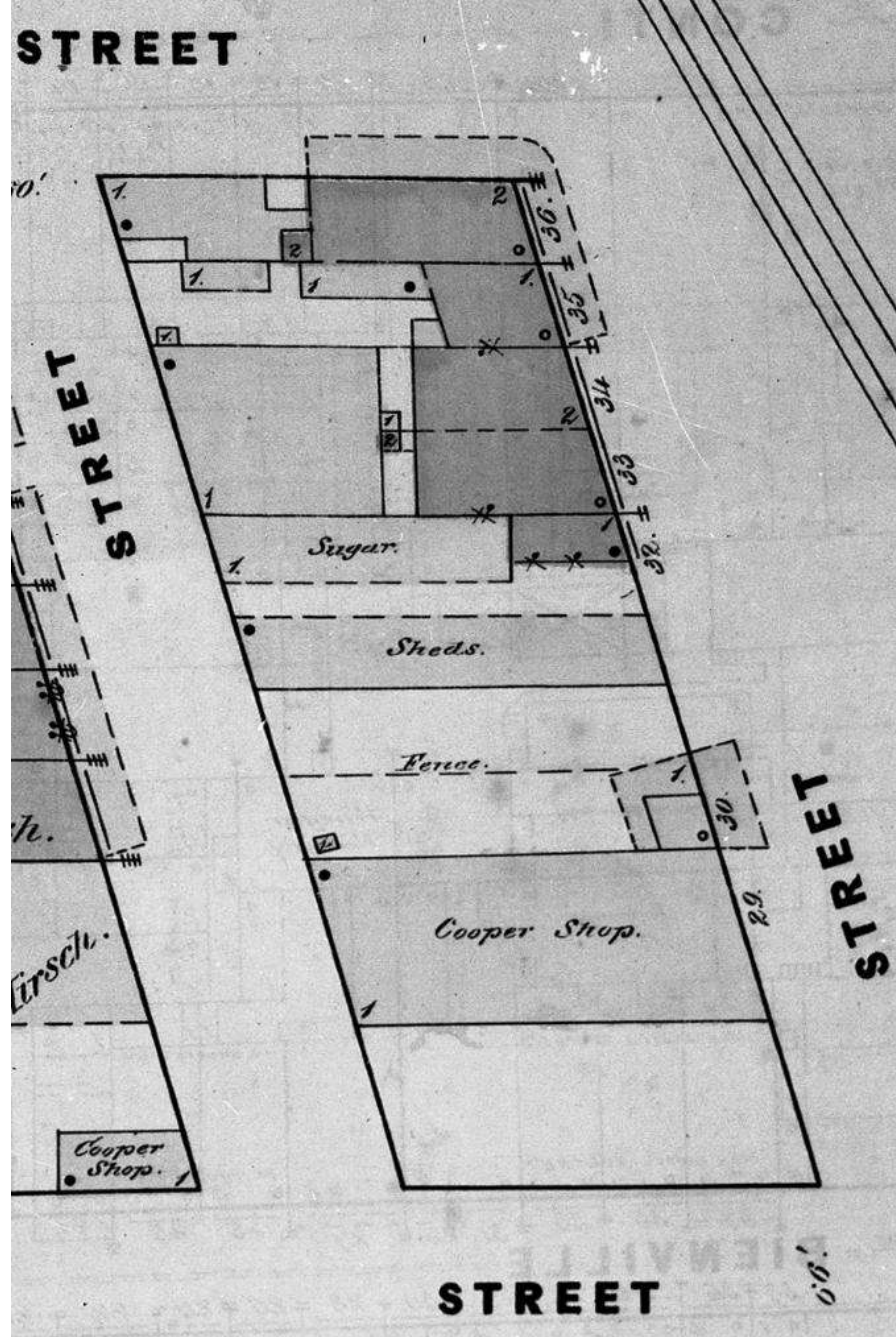


329 N Front, 10/15/1964

VCC Architectural Committee

February 26, 2019







329 N Front

VCC Architectural Committee

February 26, 2019





11 29 2018

329 N Front

VCC Architectural Committee

February 26, 2019





329 N Front

VCC Architectural Committee

11 29 2018

February 26, 2019





329 N Front

VCC Architectural Committee

February 26, 2019





329 N Front

VCC Architectural Committee

February 26, 2019



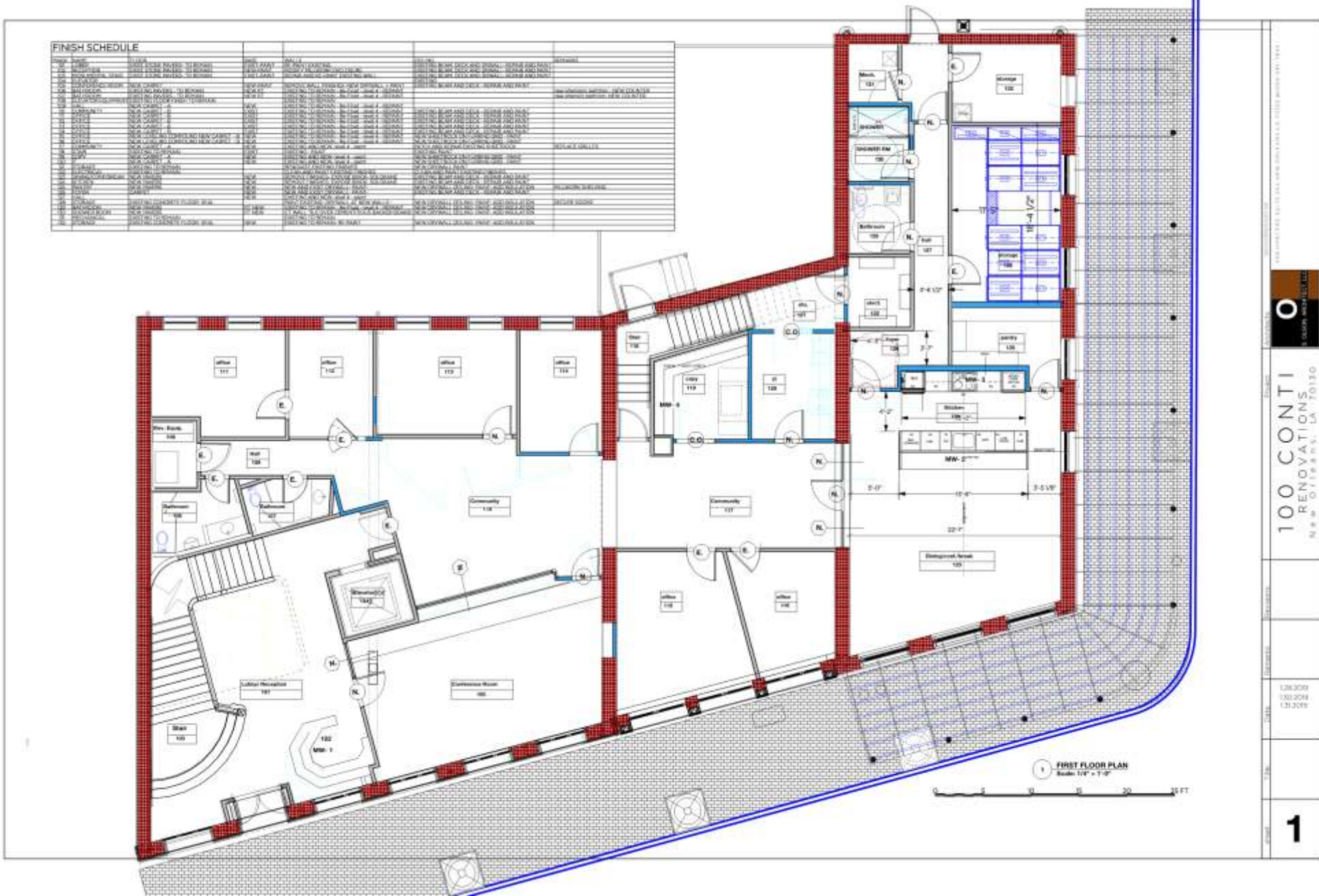


329 N Front

VCC Architectural Committee

February 26, 2019





100 CONTI
RENOVATIONS
New Orleans, LA 70130

128.309
133.374
131.208

1

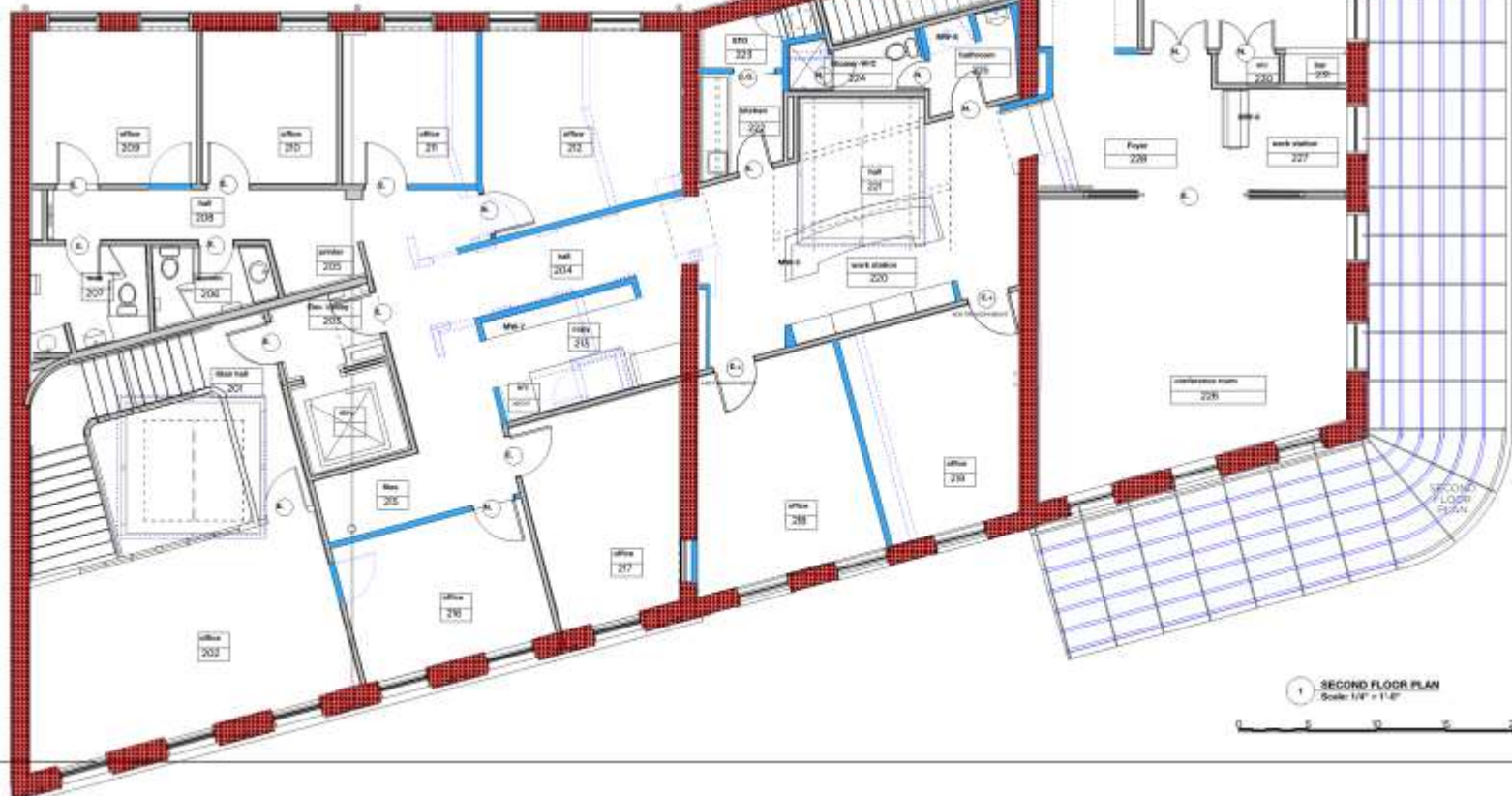
329 N Front

VCC Architectural Committee

February 26, 2019



SECOND FLOOR FINISH SCHEDULE				
NO.	DESCRIPTION	FINISH	NOTES	REFERENCE
101	CEILING	POP	POP	
102	CEILING	POP	POP	
103	CEILING	POP	POP	
104	CEILING	POP	POP	
105	CEILING	POP	POP	
106	CEILING	POP	POP	
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110	CEILING	POP	POP	
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112	CEILING	POP	POP	
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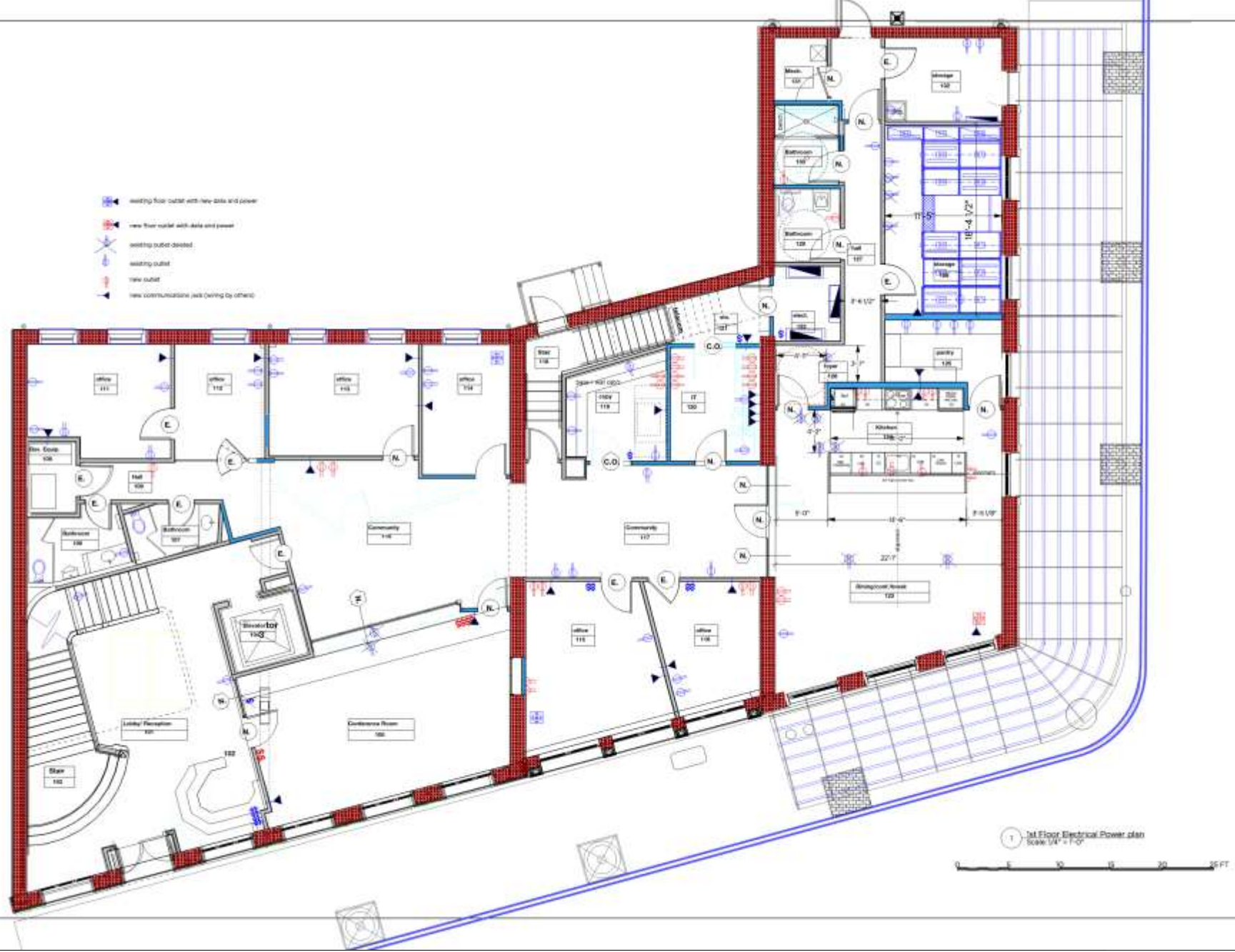


1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

100 CONTI RENOVATIONS
 N.W. Orléans, LA 70110
 2



-  existing floor outlet with new data and power
-  new floor outlet with data and power
-  existing outlet-deleted
-  existing outlet
-  new outlet
-  new communications jack (wiring by others)



DATE	12/20/19
REVISION	130,2019
NO.	131,2019
DESCRIPTION	
PROJECT	100 CONTI RENOVATIONS
CLIENT	NEW ORLEANS, LA 70130
ARCHITECT	
SCALE	1" = 10'

3

329 N Front

VCC Architectural Committee

February 26, 2019





329 N Front

VCC Architectural Committee

February 26, 2019





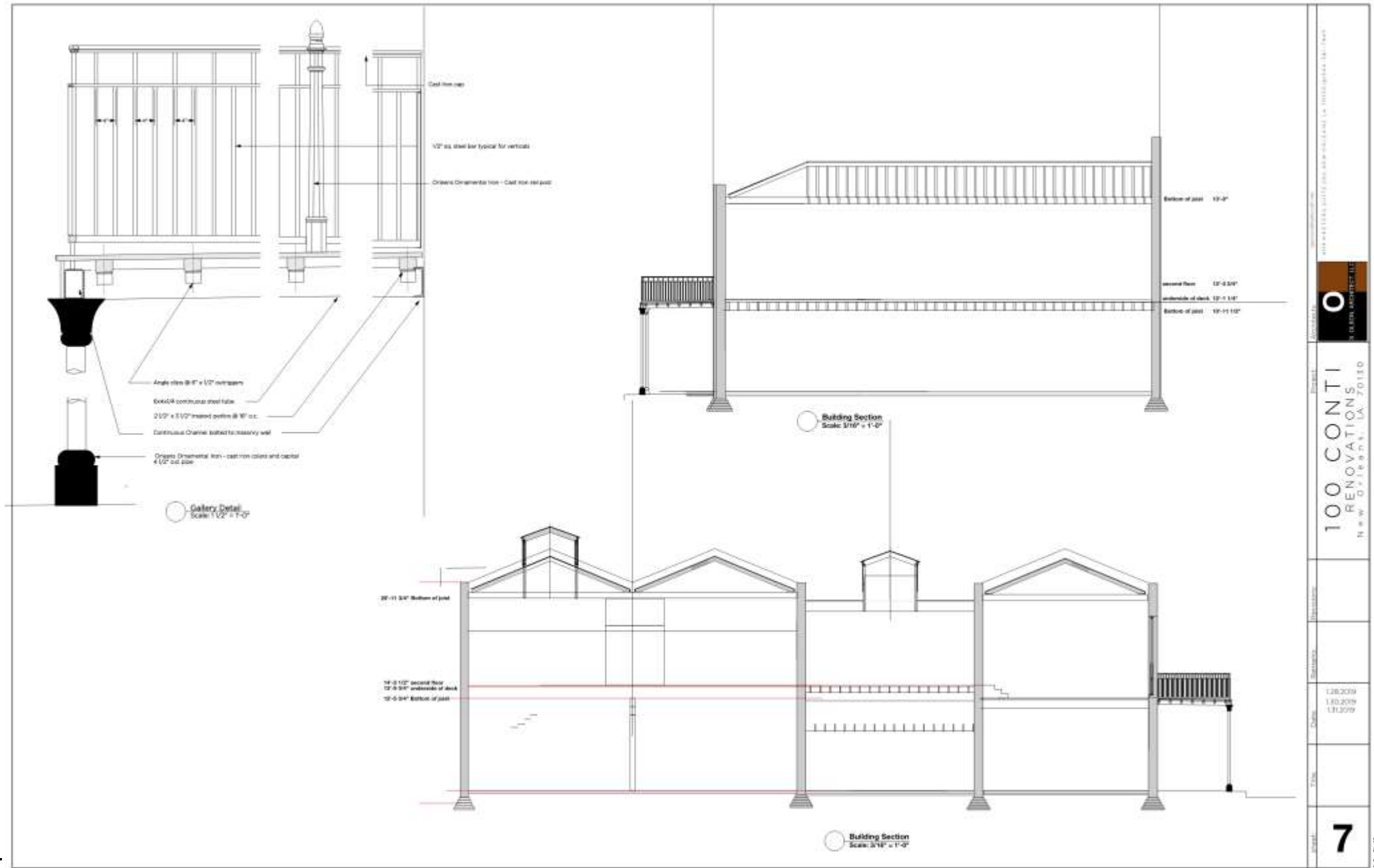
329 N Front

VCC Architectural Committee

February 26, 2019

PROJECT:	100 CONTI RENOVATIONS New Orleans, LA 70130
DATE:	1/24/2019 1/30/2019 1/31/2019
SCALE:	1/4" = 1'-0"
NO.	6





329 N Front

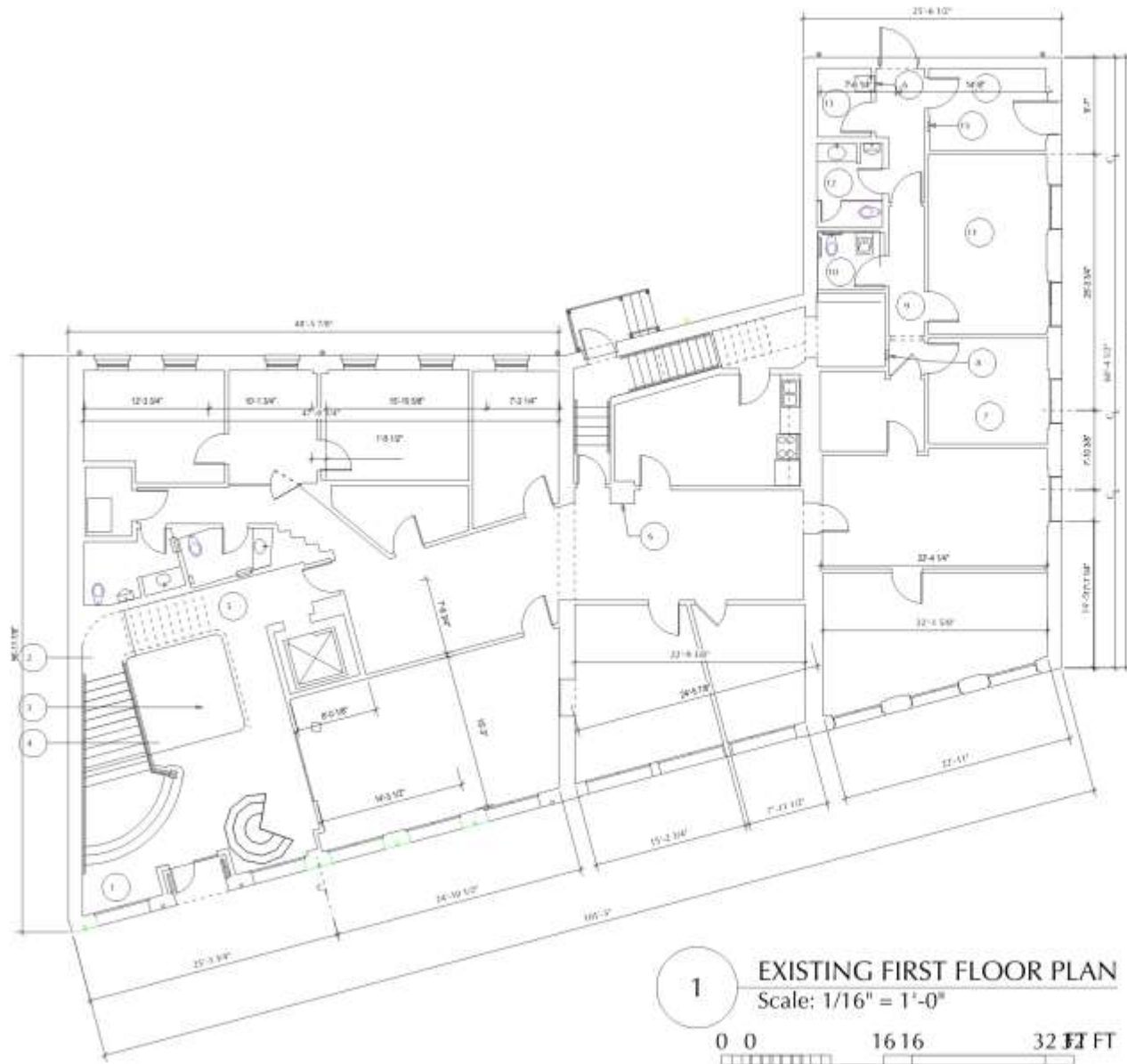
VCC Architectural Committee

February 26, 2019

100 CONTI RENOVATIONS
N.W. O'LEARY BLVD., LA. 70110

7

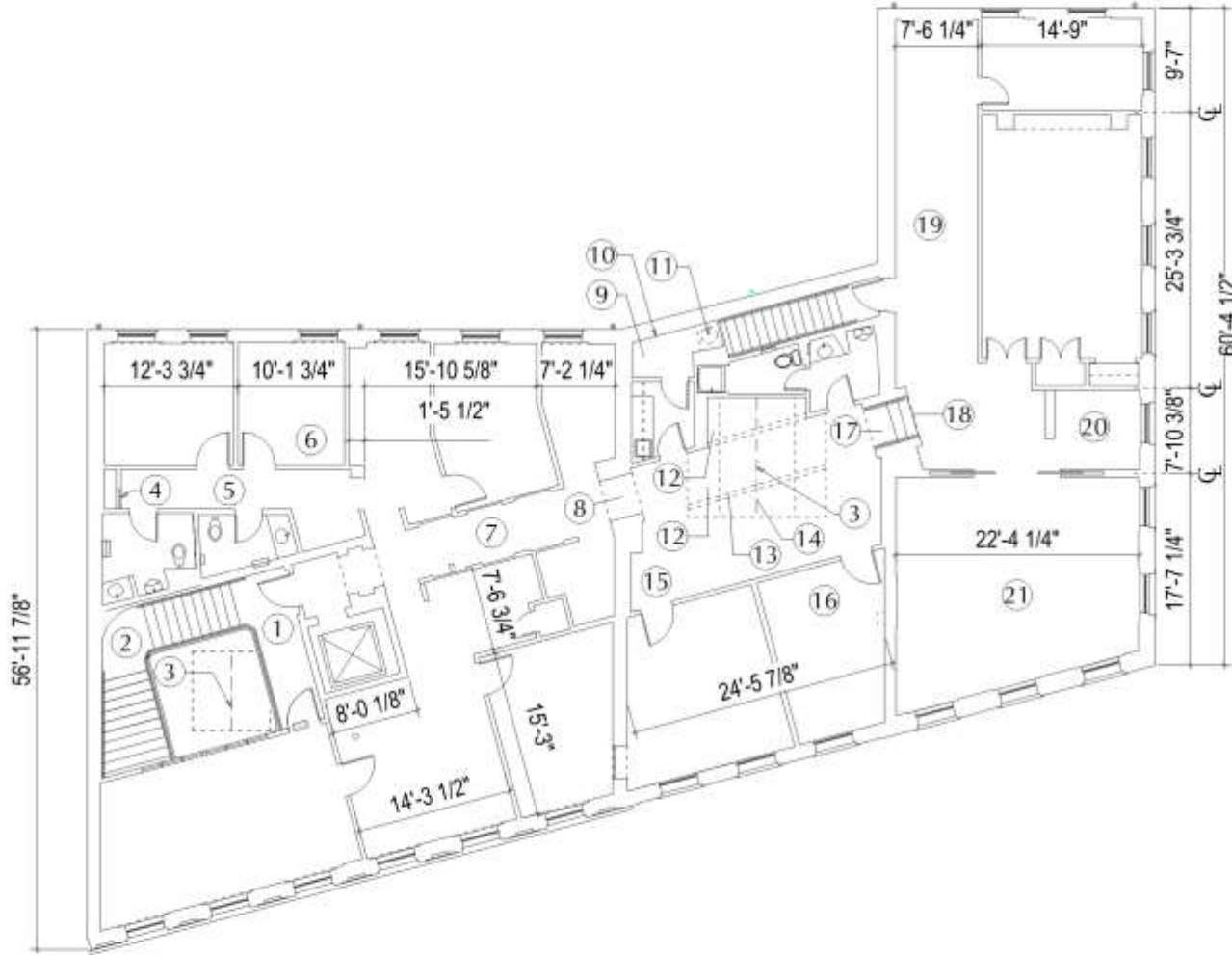




1 EXISTING FIRST FLOOR PLAN
 Scale: 1/16" = 1'-0"
 0 0 16 16 32 FT FT

FIRST FLOOR PLAN NOTES	
1	Bottom of Lower Joists @ 12' - 5.75" AFF Bottom of Lower Decking @ 13' - 9.75" AFF
2	Bottom of Upper Joists @ 17' - 6 3/8" AFF of Stair Landing
3	Underside of Ridge Above
4	Bottom of Upper Joists @ 25' - 11.75" AFF
5	Floor-to-Floor = 14' - 2.75"
6	Return Air Grille
7	Bottom of Joists @ 10' - 10.75" AFF Bottom of Decking @ 12' - 0.5" AFF
8	Fire Extinguisher Box
9	Bottom of Joists @ 10' - 11.75" AFF Bottom of Decking @ 12' - 1.25" AFF
10	Ceiling @ 7' - 5.25" AFF
11	Bottom of Joists @ 10' - 11.5" AFF Bottom of Decking @ 12' - 1.25" AFF
12	Ceiling @ 7' - 5.75" AFF
13	Bottom of Joists @ 11' - 0" AFF Bottom of Decking @ 12' - 2" AFF
14	Bottom of Joists @ 10' - 11.75" AFF Bottom of Decking @ 12' - 1.5" AFF
15	Electrical Panel





2 EXISTING SECOND FLOOR PLAN
 Scale: 1/16" = 1'-0"
 0 16 32 FT

SECOND FLOOR PLAN NOTES	
1	Bottom of Joists @ 11' - 8.25" AFF Bottom of Decking @ 12' - 4.5" AFF
2	Bottom of Joists @ 17' - 6 3/8" AFF of Stair Landing
3	Underside of Ridge Above
4	Return Air Grille
5	Ceiling @ 8' - 0.75" AFF
6	Bottom of Joists @ 11' - 7.25" AFF Bottom of Decking @ 12' - 3" AFF
7	Bottom of Joists @ 11' - 8.5" AFF Bottom of Decking @ 12' - 4" AFF
8	Top of Arch @ 7' - 11.5" AFF
9	Bottom of Joists @ 11' - 11.25" AFF Bottom of Decking @ 12' - 8.5" AFF
10	Electrical Panels
11	Water Heater
12	Ceiling @ 10' - 11" AFF
13	Bottom of Beam @ 9' - 11.75" AFF
14	Bottom of Ridge @ 17' - 3.5" AFF
15	Ceiling @ 9' - 6.75" AFF
16	Ceiling @ 10' - 10" AFF
17	Top of Arch @ 8' - 0" AFF of Center Building
18	Top of Arch @ 9' - 7.5" AFF of Executive Area Finish Floor of Center Building @ 1'-7.5" AFF of Executive Area
19	Bottom of Joists @ 13' - 0" AFF
20	Ceiling @ 11' - 6.75" AFF
21	Bottom of Joists @ 12' - 10.5" AFF

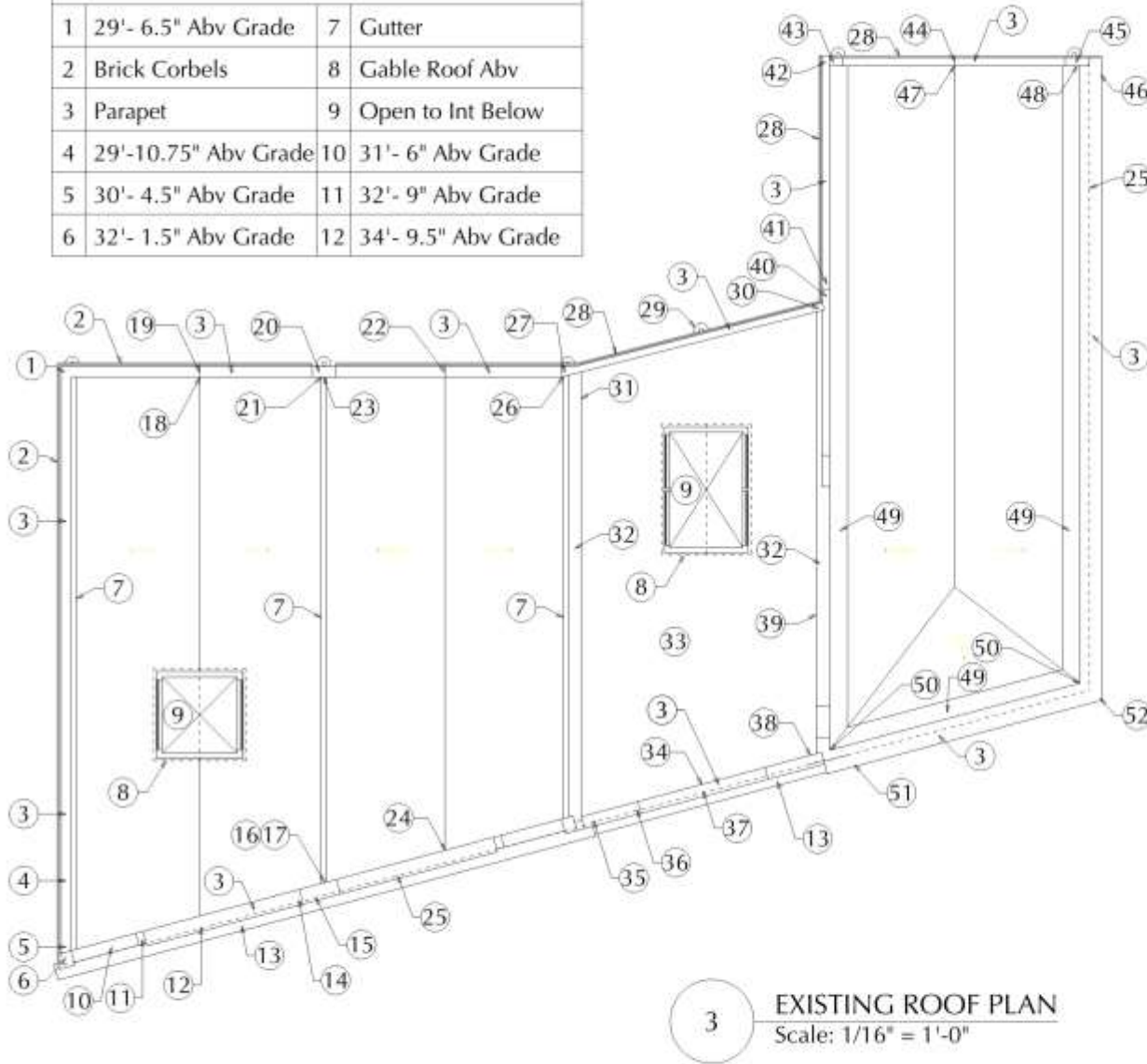


ROOF PLAN NOTES

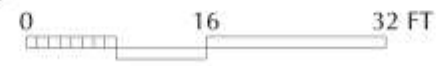
1	29'- 6.5" Abv Grade	7	Gutter
2	Brick Corbels	8	Gable Roof Abv
3	Parapet	9	Open to Int Below
4	29'-10.75" Abv Grade	10	31'- 6" Abv Grade
5	30'- 4.5" Abv Grade	11	32'- 9" Abv Grade
6	32'- 1.5" Abv Grade	12	34'- 9.5" Abv Grade

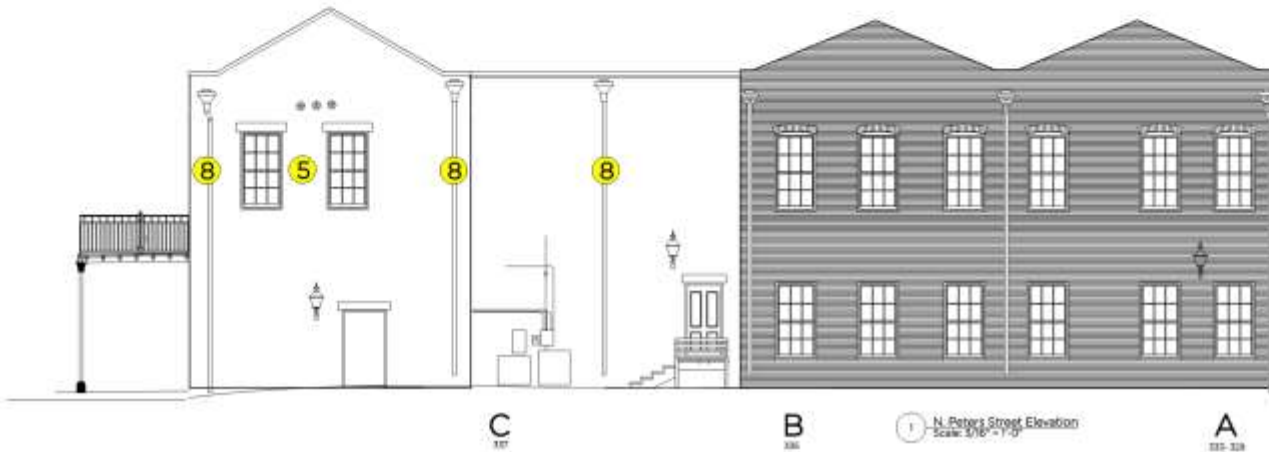
ROOF PLAN NOTES (continued)

13	Cornice	32	Dividing Parapet
14	35'- 1.5" Abv Grade	33	Flat Roof
15	35'- 8" Abv Grade	34	Flat Roof up to Parapet = 5'- 7"
16	Valley up to Parapet = 7'- 6"	35	30'- 9.25" Abv Grade
17	Gutter Depth = 0" @ This End of Gutter	36	31'- 9.5" Abv Grade
18	Ridge up to Parapet = 1'- 3"	37	33'- 9.25" Abv Grade
19	33'- 9.75" Abv Grade	38	Flat Roof up to Parapet = 2'- 7"
20	29'- 1.75" Abv Grade	39	Flat Roof up to Parapet = 0'- 7"
21	Valley up to Parapet = 2'- 1"	40	29'- 1" Abv Grade
22	33'- 5.75" Abv Grade	41	28'-11.25" Abv Grade
23	Bottom of Gutter up to Parapet = 2'- 6.5"	42	29'- 2.25" Abv Grade
24	Ridge up to Parapet = 1'- 1"	43	28'- 5.75" Abv Grade
25	Ext Face of Wall Below (shown dashed)	44	34'- 6.5" Abv Grade
26	Roof up to Parapet = 1'- 9.5"	45	29'- 3.25" Abv Grade
27	26'-9.25" Abv Grade	46	30'- 6.25" Abv Grade
28	Stucco Trim	47	Ridge up to Parapet = 1'- 7"
29	Conductor Head, Typ	48	Roof up to Parapet = 2'- 0"
30	29'- 4" Abv Grade	49	Sloped Sheet Metal
31	Flat Roof up to Parapet = 2'- 0"	50	Roof up to Parapet = 1'- 10"
		51	29'- 3.75" Abv Grade
		52	29'- 4" Abv Grade



3 EXISTING ROOF PLAN
Scale: 1/16" = 1'-0"





1. Sound and remove loose and deteriorated stucco
2. Prepare existing brick substrate and repair /replace existing stucco
3. Remove existing elastomeric coating from stucco
4. New permeable acrylic paint material over stucco surfaces
5. Prep. and apply new Paint on Existing wood windows and doors - all exposed millwork
6. Prep and apply new paint to existing cast iron columns
7. Remove existing electrical conduit and wiring not currently in use.
8. New Downspout
9. Tuck point brick - use method of mortar removal and re-installation approved by NPS
10. Re-Point using Lime based mortar approved in the VCC and NPS technical briefs

100 CONTI
 RENOVATIONS
 A NEW DESIGN, LA 70110

1/29/2019
 1/30/2019
 1/31/2019

11





1. Sound and remove loose and deteriorated stucco
2. Prepare existing brick substrate and repair /replace existing stucco
3. Remove existing elastomeric coating from stucco
4. New permeable acrylic paint material over stucco surfaces
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8. New Downspout
9. Tuck point brick - use method of mortar removal and re-installation approved by NPS
10. Re-Point using Lime based mortar approved in the VCC and NPS technical briefs

A
335-339

B
335

C
337



A
333-339

B
335

C
337

2 Conti street Elevation
Scale 3/8" = 1'-0"

329 N Front

VCC Architectural Committee

February 26, 2019

100 CONTI
RENOVATIONS
NEW ORLEANS, LA 70130

12

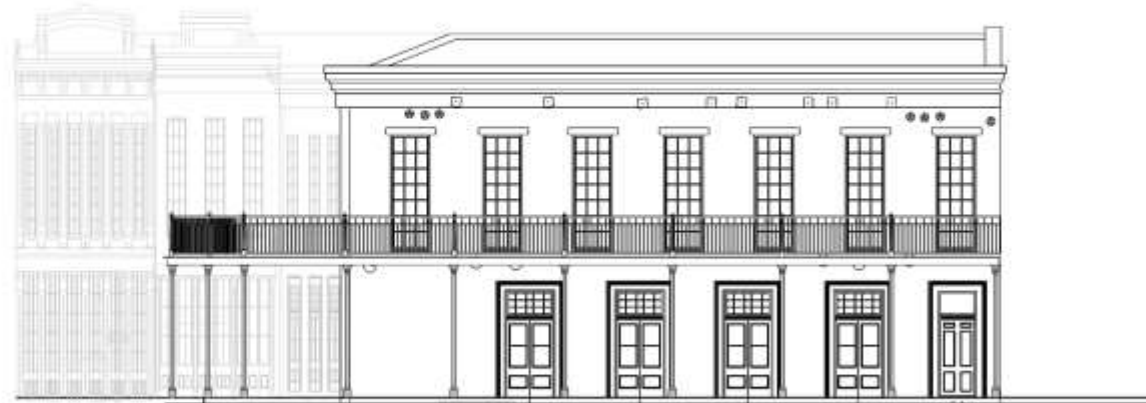




1. Sound and remove loose and deteriorated stucco
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9. Tuck point brick - use method of mortar removal and re-installation approved by NPS
10. Re-Point using Lime based mortar approved in the VCC and NPS technical briefs
11. Remove existing roof mounted communication equipment and wires

C
329

Conti Street, rear elevation photo
Scale: 3/16" = 1'-0"



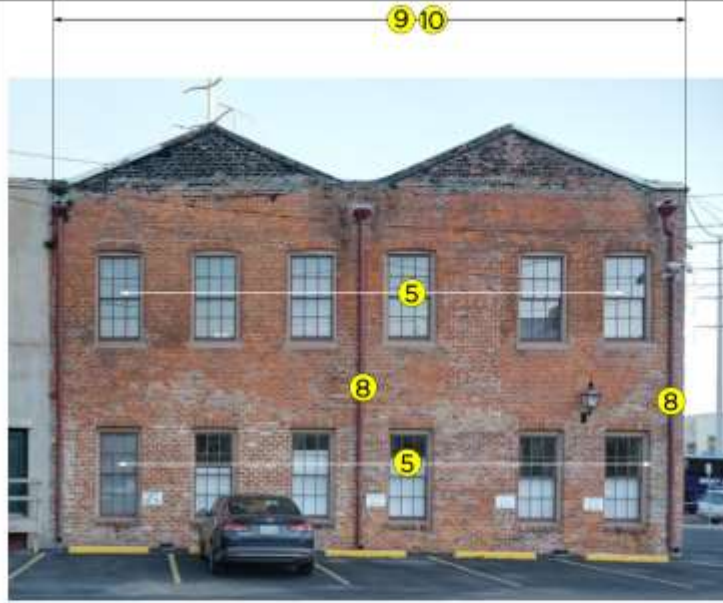
C
329

Conti Street Elevation
Scale: 3/16" = 1'-0"

329 N Front

VCC Architectural Committee

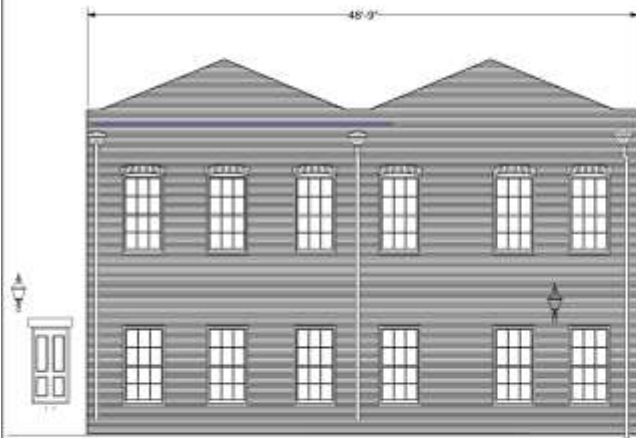
February 26, 2019



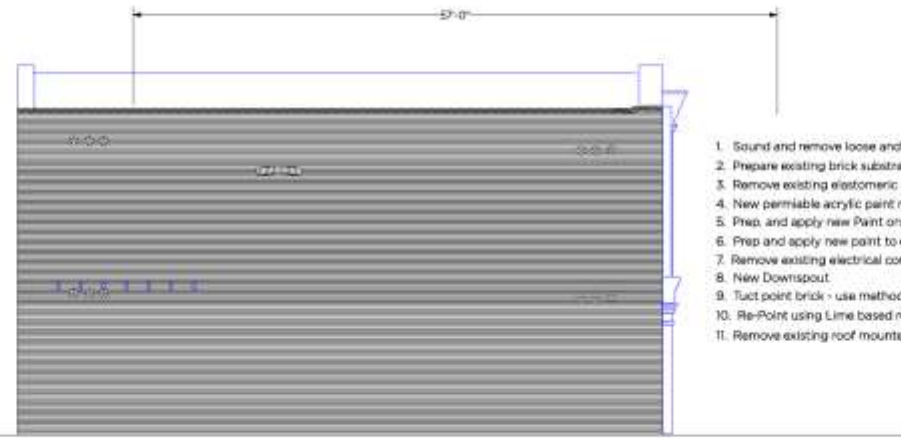
1 Rear Elevation Photo
Scale: 3/16" = 1'-0"
A
333-329



2 Clay Street photo
Scale: 3/16" = 1'-0"
A
333-329



3 Rear Elevation
Scale: 3/16" = 1'-0"
A
333-329



4 Clay Street Elevation
Scale: 3/16" = 1'-0"
A
333-329

1. Sound and remove loose and deteriorated stucco
2. Prepare existing brick substrate and repair /replace existing stucco
3. Remove existing elastomeric coating from stucco
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10. Re-Point using Lime based mortar approved in the VCC and NPS technical briefs
11. Remove existing roof mounted communication equipment and wires





Title: Levee (Sq. 4A right foreground; Sq. C Sugar Park middleground; Sq. B sugar shed behind park; Sq. 2A sugar mill behind sheds; Sq. 3A sugar refinery right background; Sq. D sugar shed left middleground behind boxcar; Sq. A sugar shed left background)
Date: [ca. 1890?]
Negative Number: 2 P 001

329 N Front

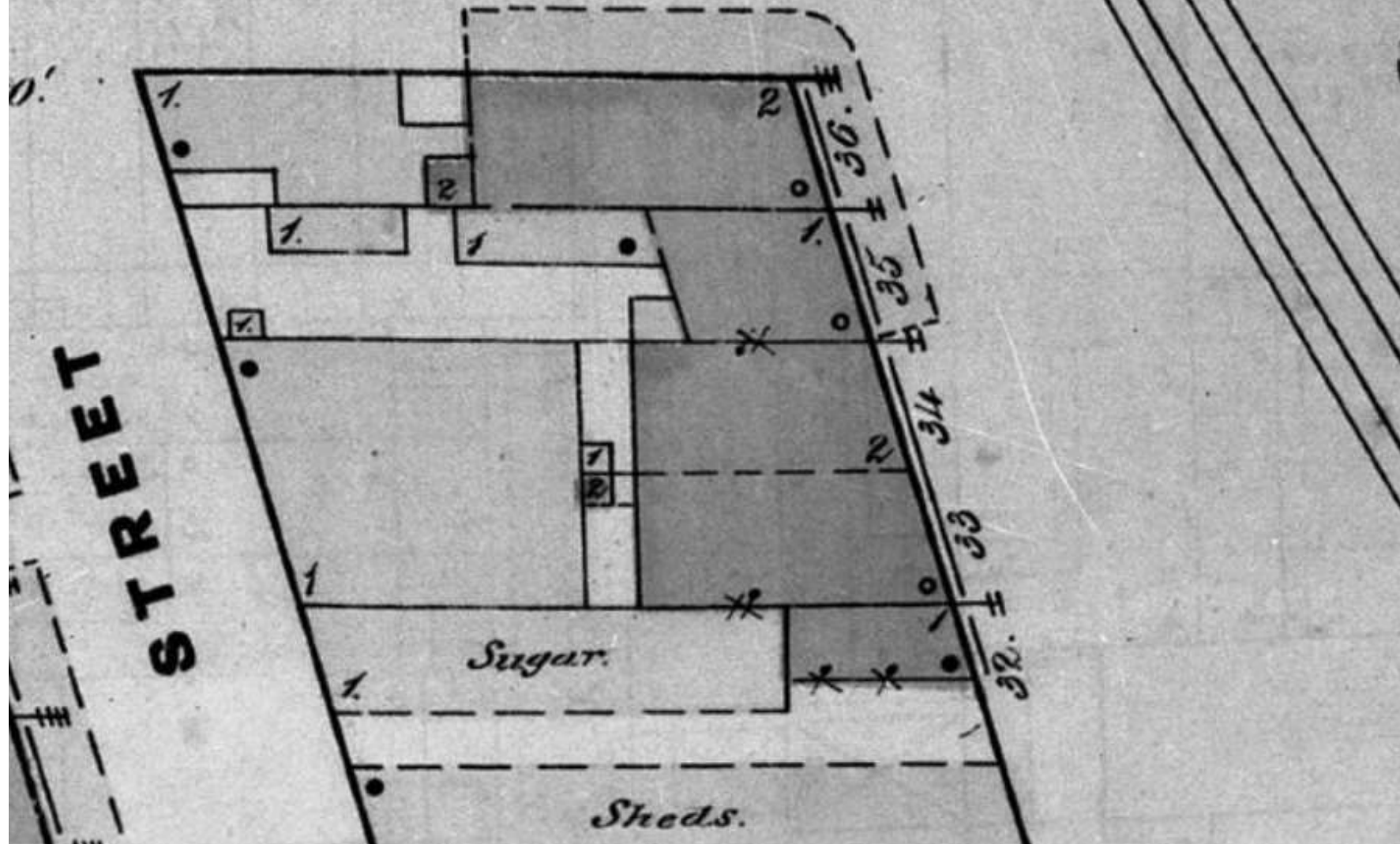
VCC Architectural Committee

February 26, 2019



STREET

Sanborn 1876



329 N Front

VCC Architectural Committee

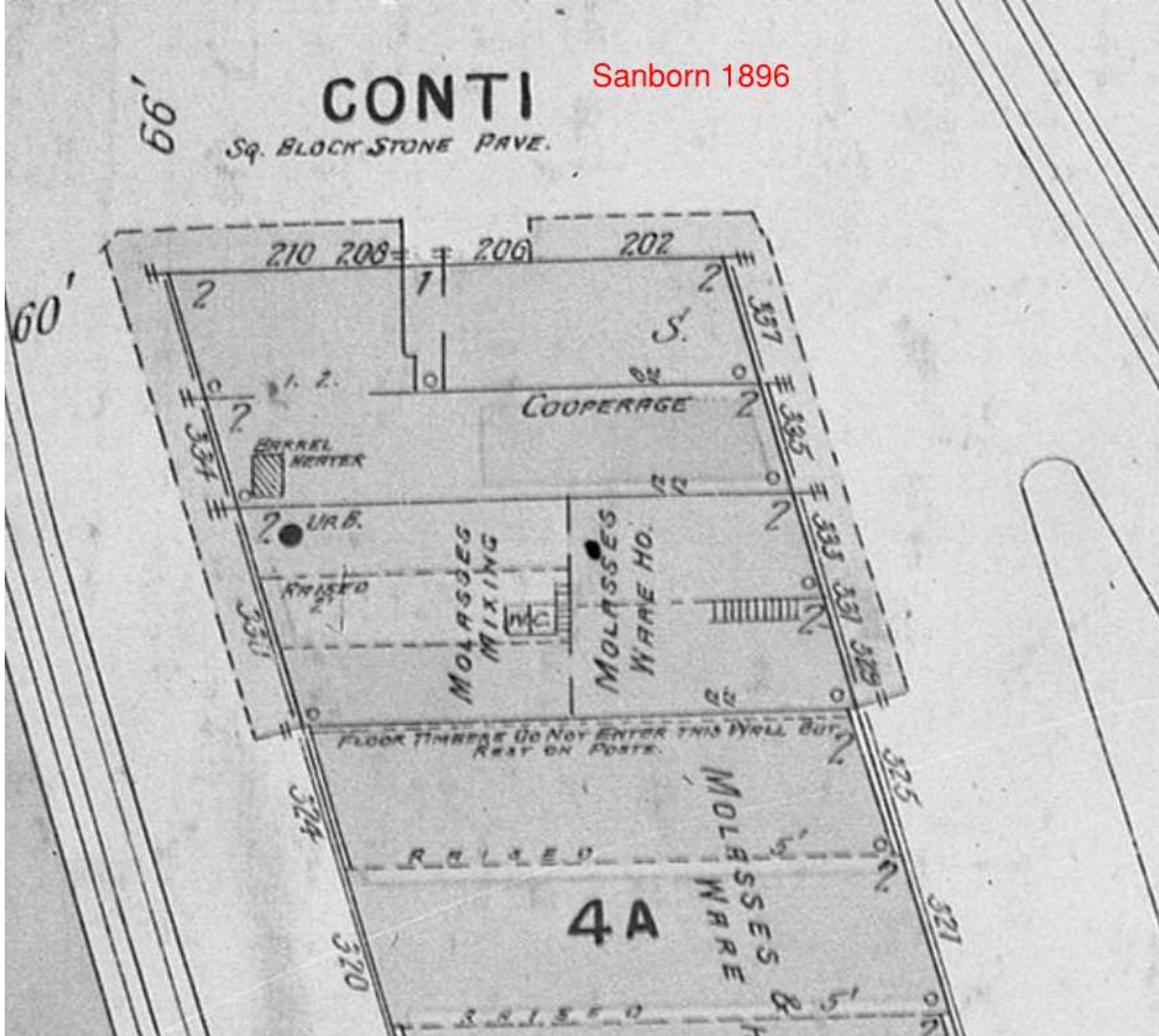
February 26, 2019



Sanborn 1896

CONTI

Sq. BLOCK STONE PAVE.



329 N Front

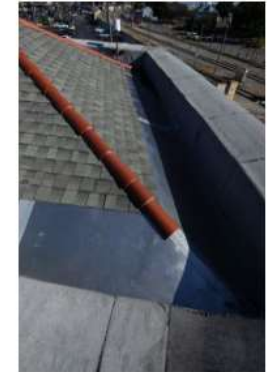
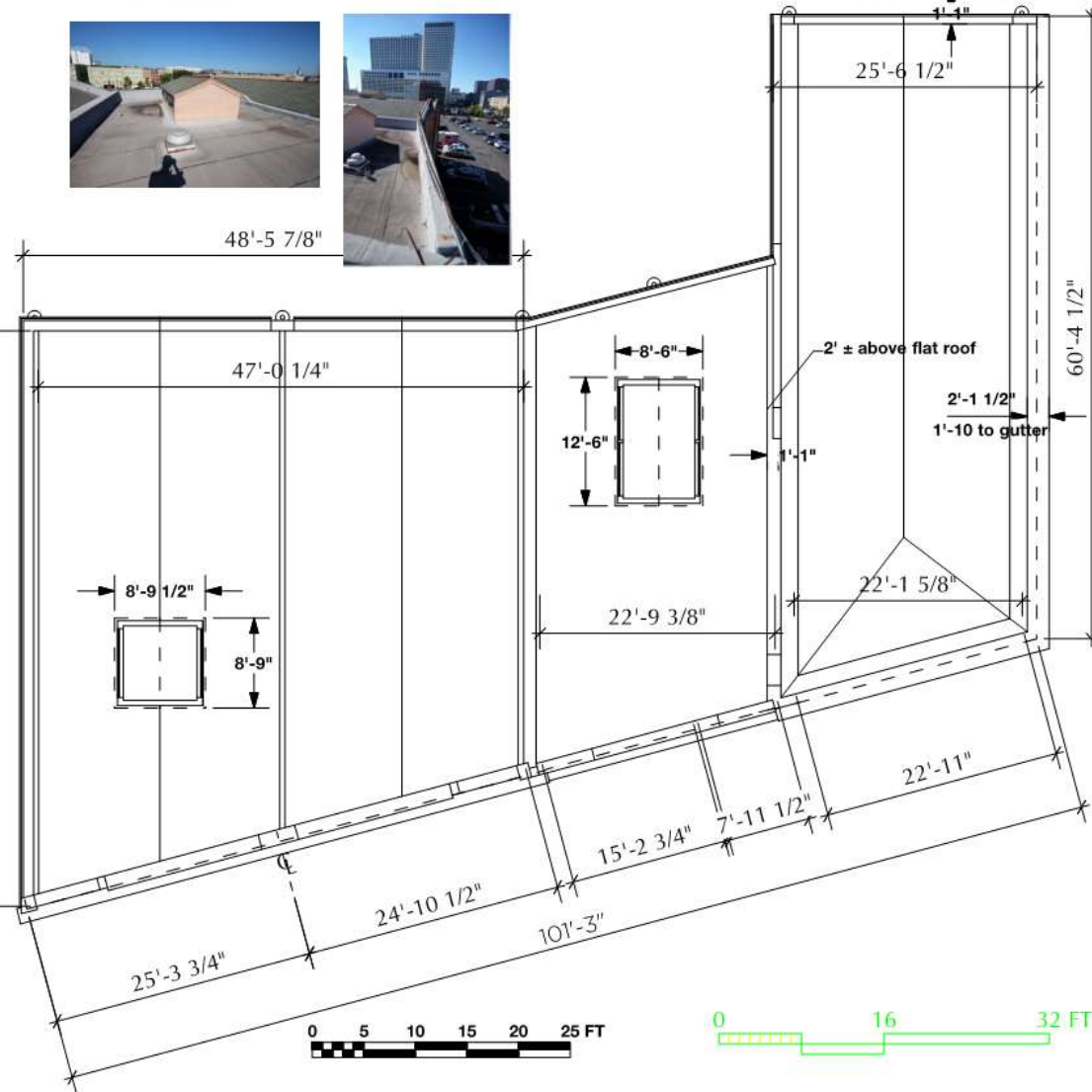
VCC Architectural Committee

February 26, 2019





55'-9 3/8"



329 N Front

VCC Architectural Committee

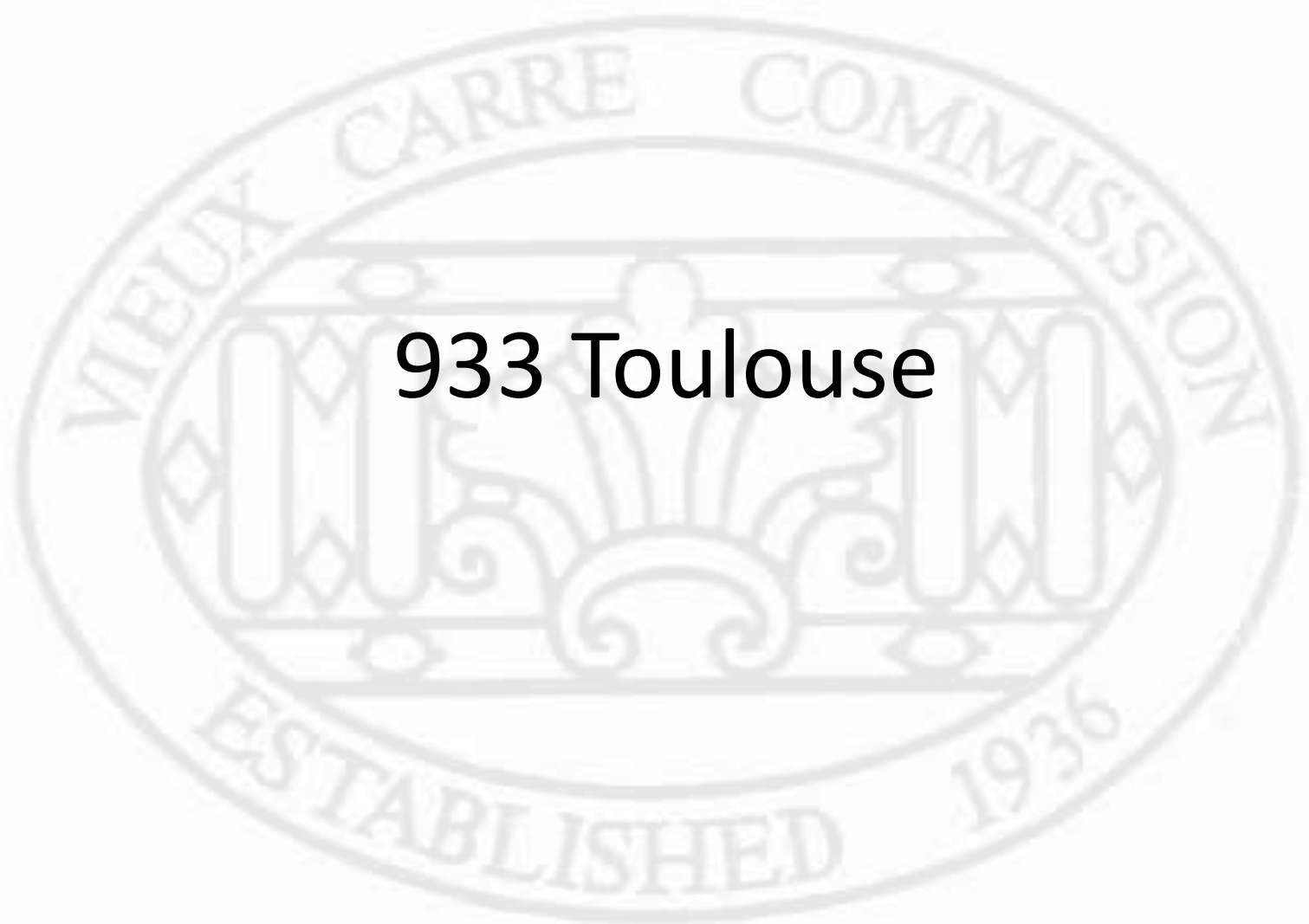
February 26, 2019

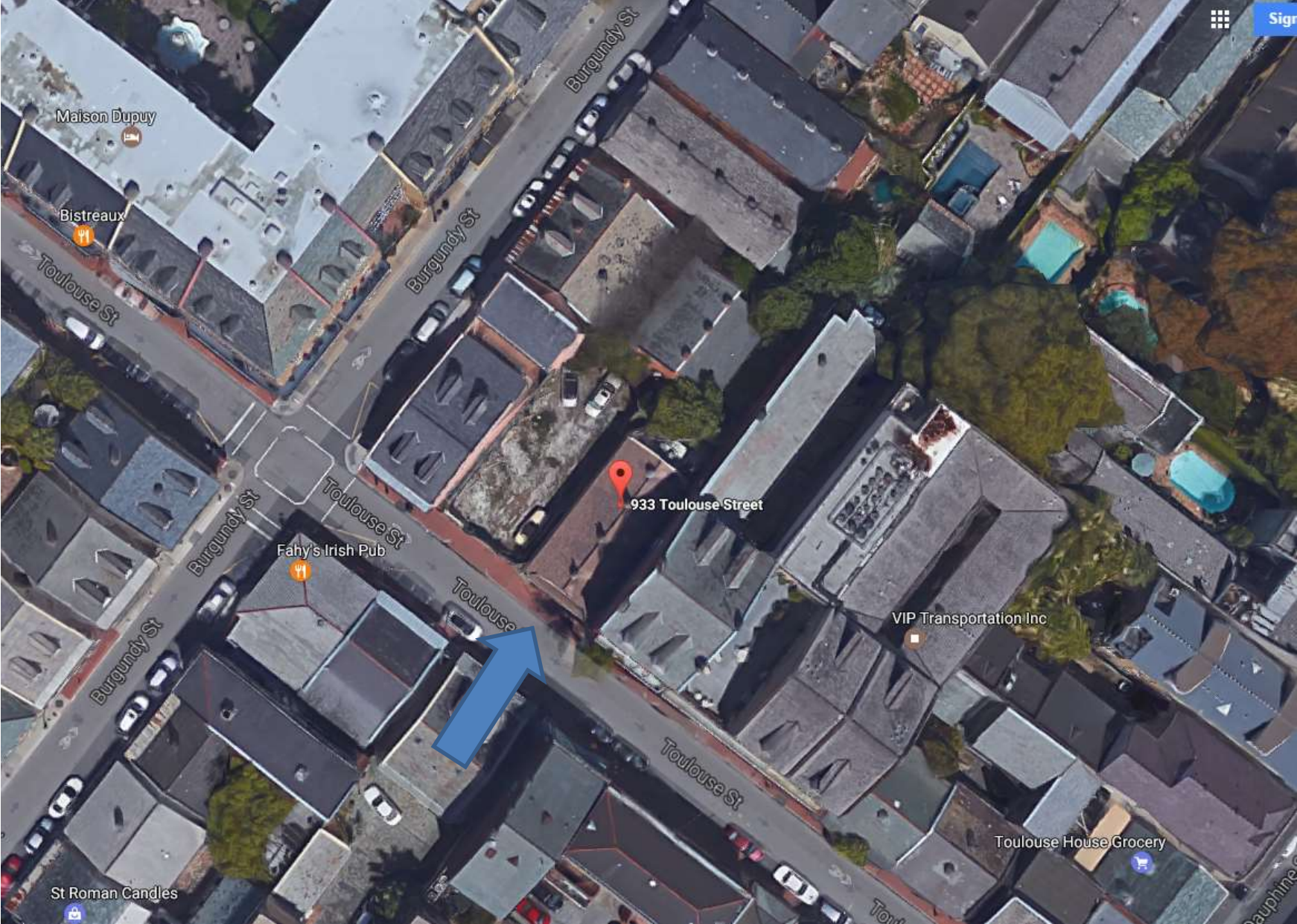


The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative design, including a central figure and ornate scrollwork. The shield is flanked by two columns. The text "VIEUX CARRE COMMISSION" is written in an arc across the top of the oval, and "ESTABLISHED 1936" is written in an arc across the bottom. The entire seal is rendered in a light gray, semi-transparent style.

Appeals and Violations

933 Toulouse





933 Toulouse





933 Toulouse





933 Toulouse – 2009 – rails on riverside steps



933 Toulouse– 2009 – rails on riverside steps



933 Toulouse– Existing conditions



933 Toulouse– Existing conditions



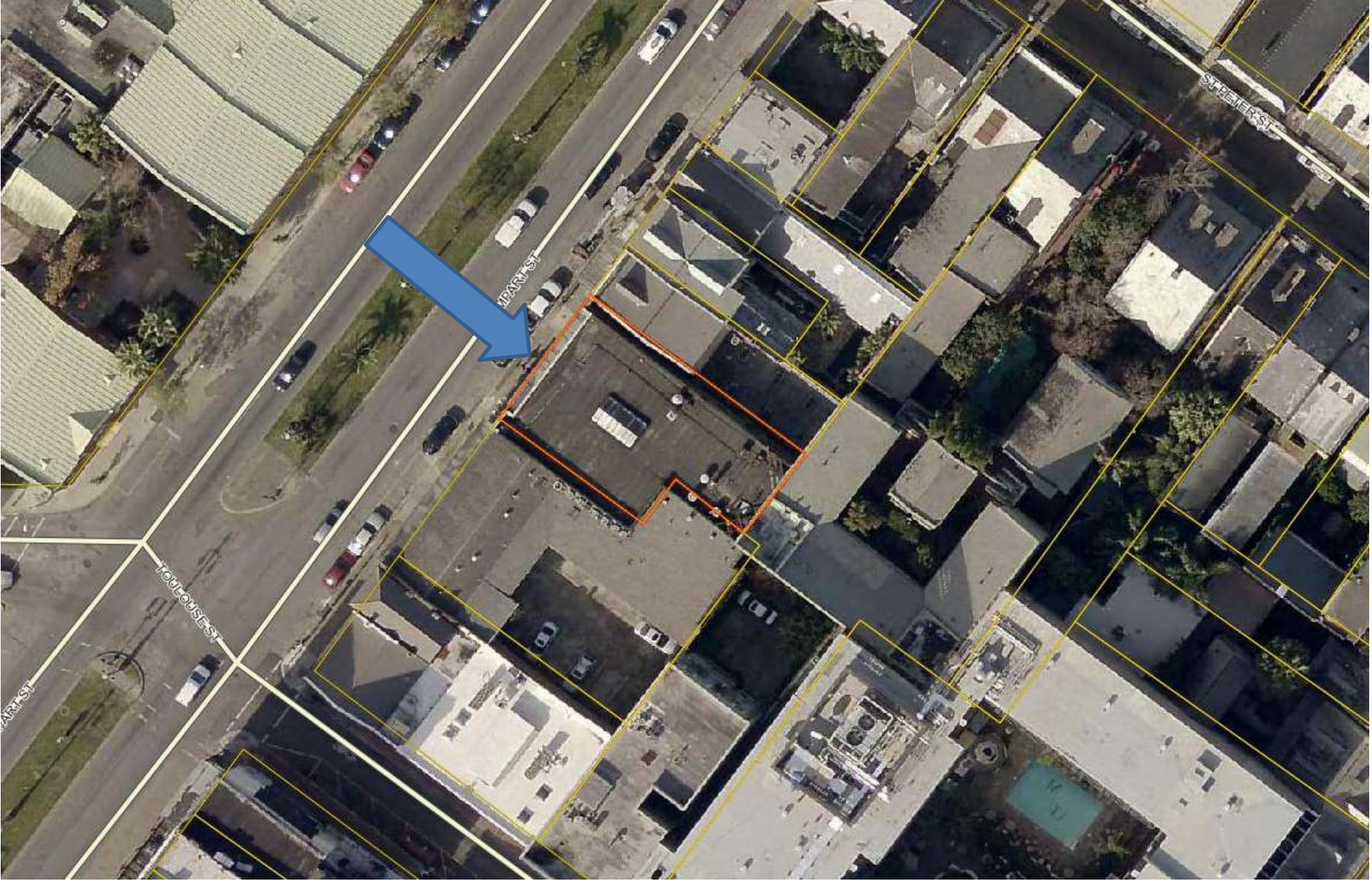
933 Toulouse– Existing conditions



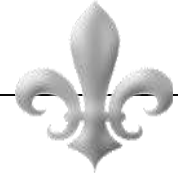
933 Toulouse– Existing conditions



618 N Rampart

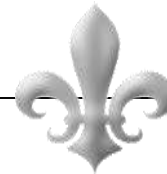


616 N. Rampart





616 N. Rampart



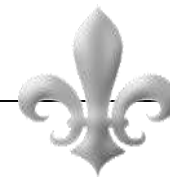


Circa 1963

616 N. Rampart

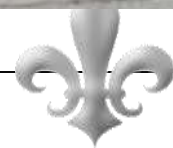
VCC Architectural Committee

November 8, 2016



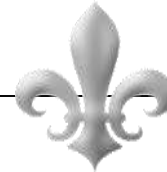


616 N. Rampart





616 N. Rampart





616 N. Rampart





616 N. Rampart



616 N. Rampart





616 N. Rampart





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





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VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017





616 N. Rampart

VCC Architectural Committee

September 12, 2017



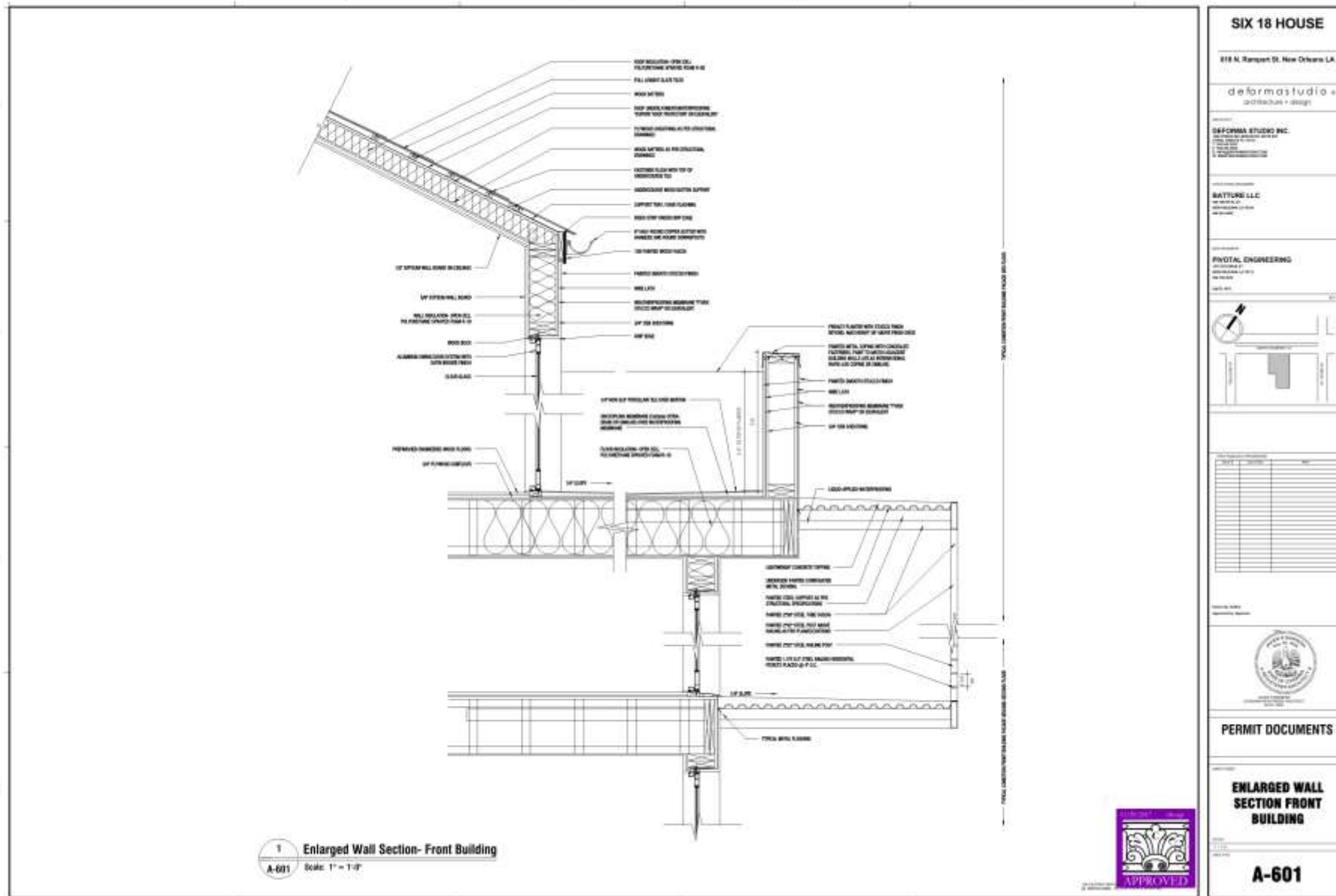


616 N. Rampart

VCC Architectural Committee

September 12, 2017





SIX 18 HOUSE
 616 N. Rampart St. New Orleans LA
 deforma studio
 architecture + design

deFORMA STUDIO INC.
 1000 Poydras Street, Suite 2000
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 (504) 581-1111
 www.deformastudio.com

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 (504) 581-1111
 www.battupo.com

PIVOTAL ENGINEERING
 1000 Poydras Street, Suite 2000
 New Orleans, LA 70112
 (504) 581-1111
 www.pivotalengineering.com

PERMIT DOCUMENTS

ENLARGED WALL SECTION FRONT BUILDING

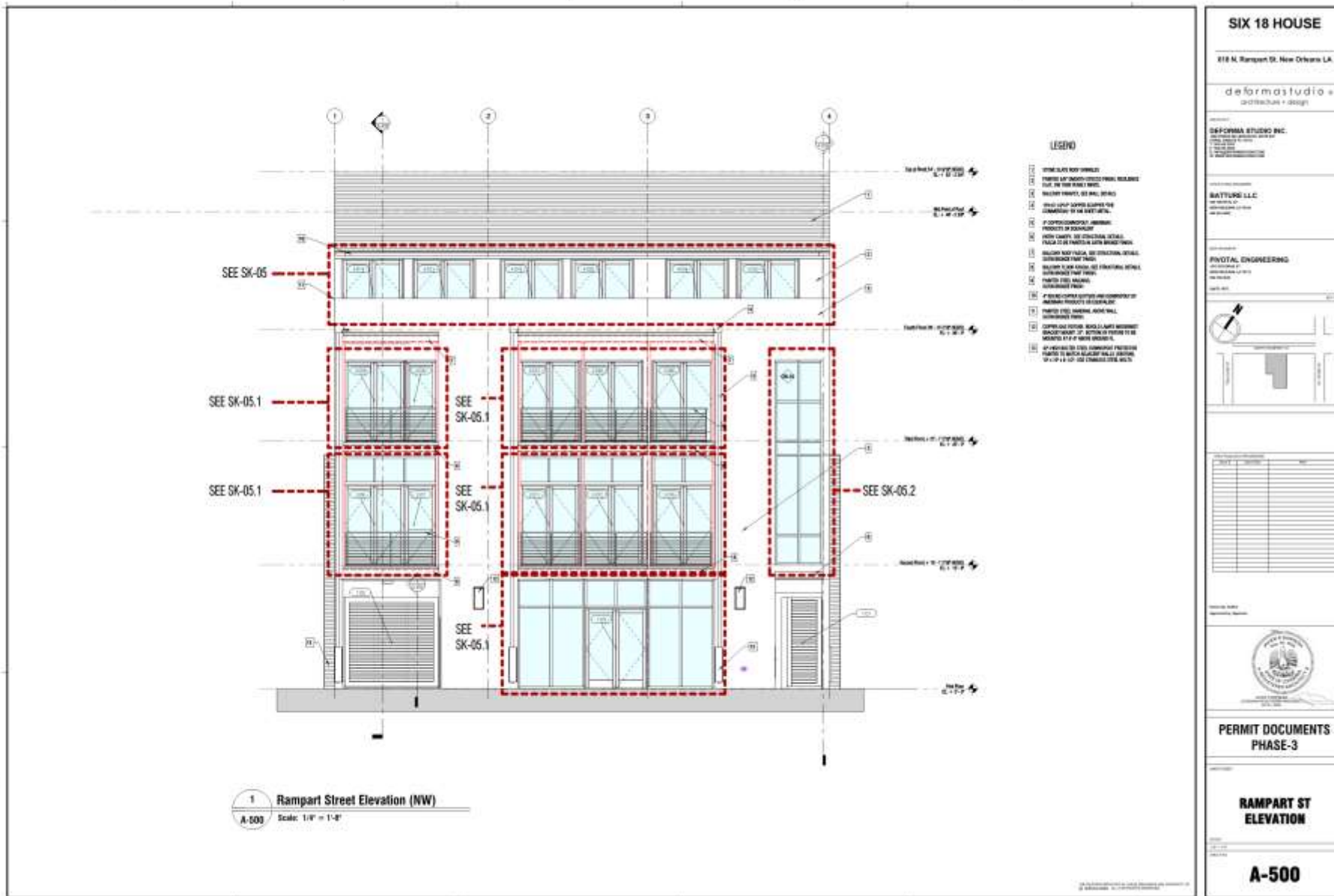
A-601

616 N. Rampart – approved section

VCC Architectural Committee

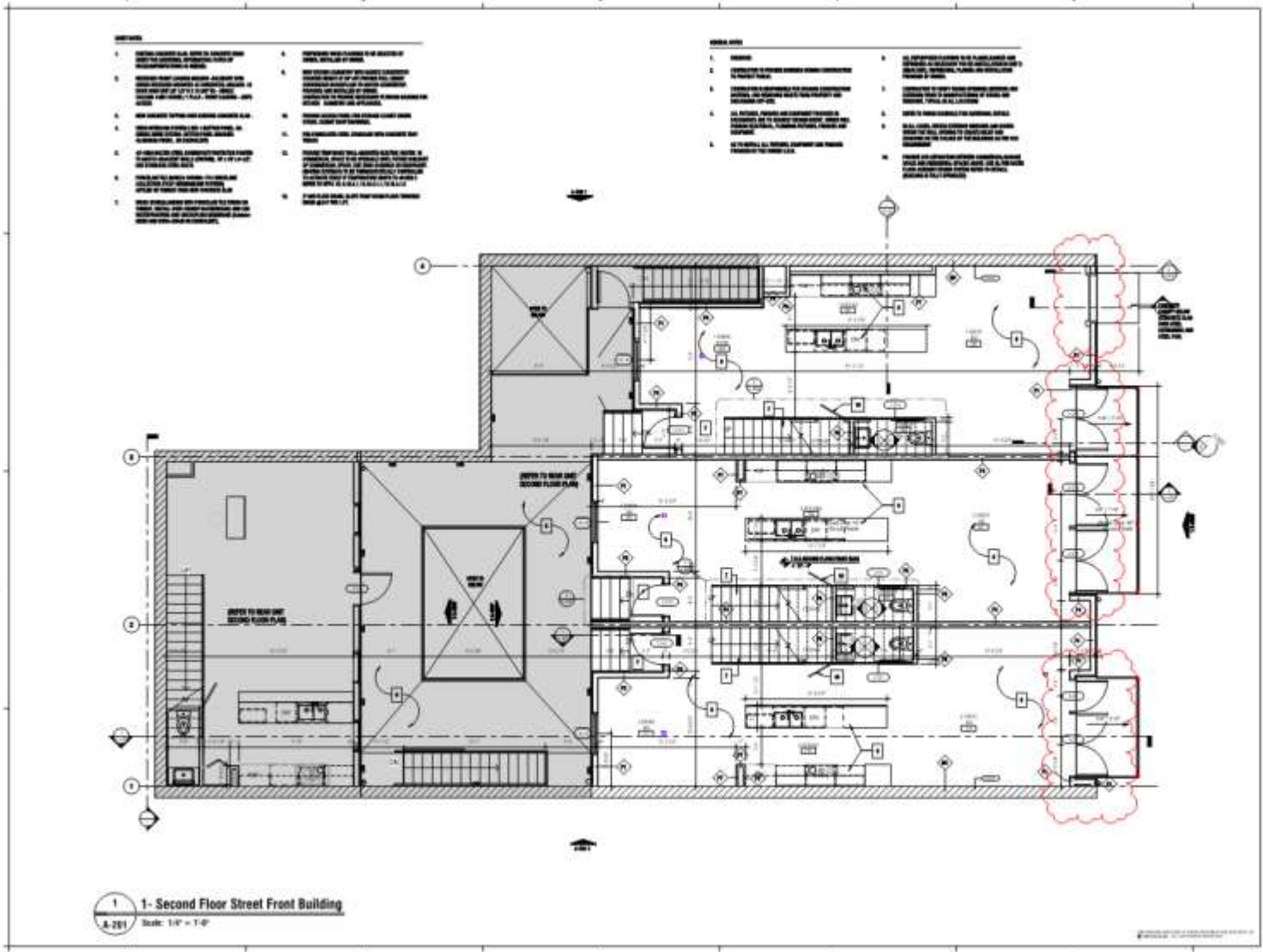
September 12, 2017





616 N. Rampart – proposed elevation





SIX 18 HOUSE
 616 N. Rampart St. New Orleans, LA

deformastudio
 architecture + design

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 Fax: (504) 581-1112
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OWNER: BATTURE LLC
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PROJECT ENGINEERING
 PROJECT ENGINEERING
 1000 Poydras Street, Suite 2000
 New Orleans, LA 70112
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 Fax: (504) 581-1112
 Email: info@deformastudio.com

PERMIT DOCUMENTS
 PHASE-3

**SECOND FLOOR
 PLAN FRONT
 BLDG**

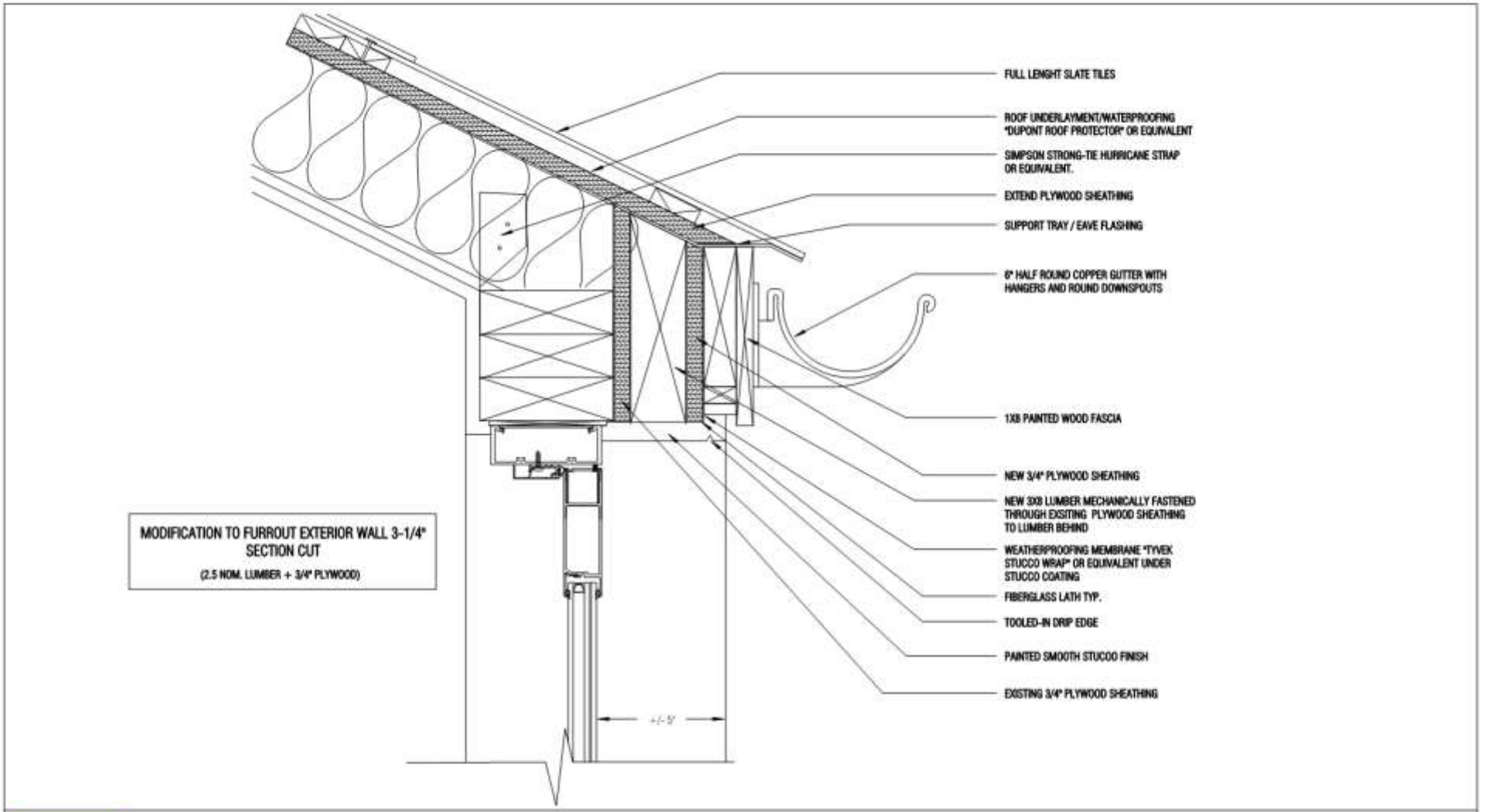
A-201

616 N. Rampart

VCC Architectural Committee

September 12, 2017





MODIFICATION TO FURROUT EXTERIOR WALL 3-1/4"
SECTION CUT
(2.5 NOM. LUMBER + 3/4" PLYWOOD)

- FULL LENGTH SLATE TILES
- ROOF UNDERLAYMENT/WATERPROOFING "DUPONT ROOF PROTECTOR" OR EQUIVALENT
- SIMPSON STRONG-TIE HURRICANE STRAP OR EQUIVALENT.
- EXTEND PLYWOOD SHEATHING
- SUPPORT TRAY / EAVE FLASHING
- 6" HALF ROUND COPPER GUTTER WITH HANGERS AND ROUND DOWNSPOUTS
- 1X8 PAINTED WOOD FASCIA
- NEW 3/4" PLYWOOD SHEATHING
- NEW 3X8 LUMBER MECHANICALLY FASTENED THROUGH EXISTING PLYWOOD SHEATHING TO LUMBER BEHIND
- WEATHERPROOFING MEMBRANE "TYVEK STUCCO WRAP" OR EQUIVALENT UNDER STUCCO COATING
- FIBERGLASS LATH TYP.
- TOOLED-IN DRIP EDGE
- PAINTED SMOOTH STUCCO FINISH
- EXISTING 3/4" PLYWOOD SHEATHING

dfs
deforma studio
1600 Ponce de Leon Blvd suite 907
Coral Gables Florida 33134

Elit Group LLC
SIX 18 HOUSE

No.	Description	Date

Alt-Rampart Elev 4th FL Detail	
Project number	17053
Date	2.19.2019
Drawn by	J.S.
Checked by	JB
SK-05	
Scale 3" = 1'-0"	

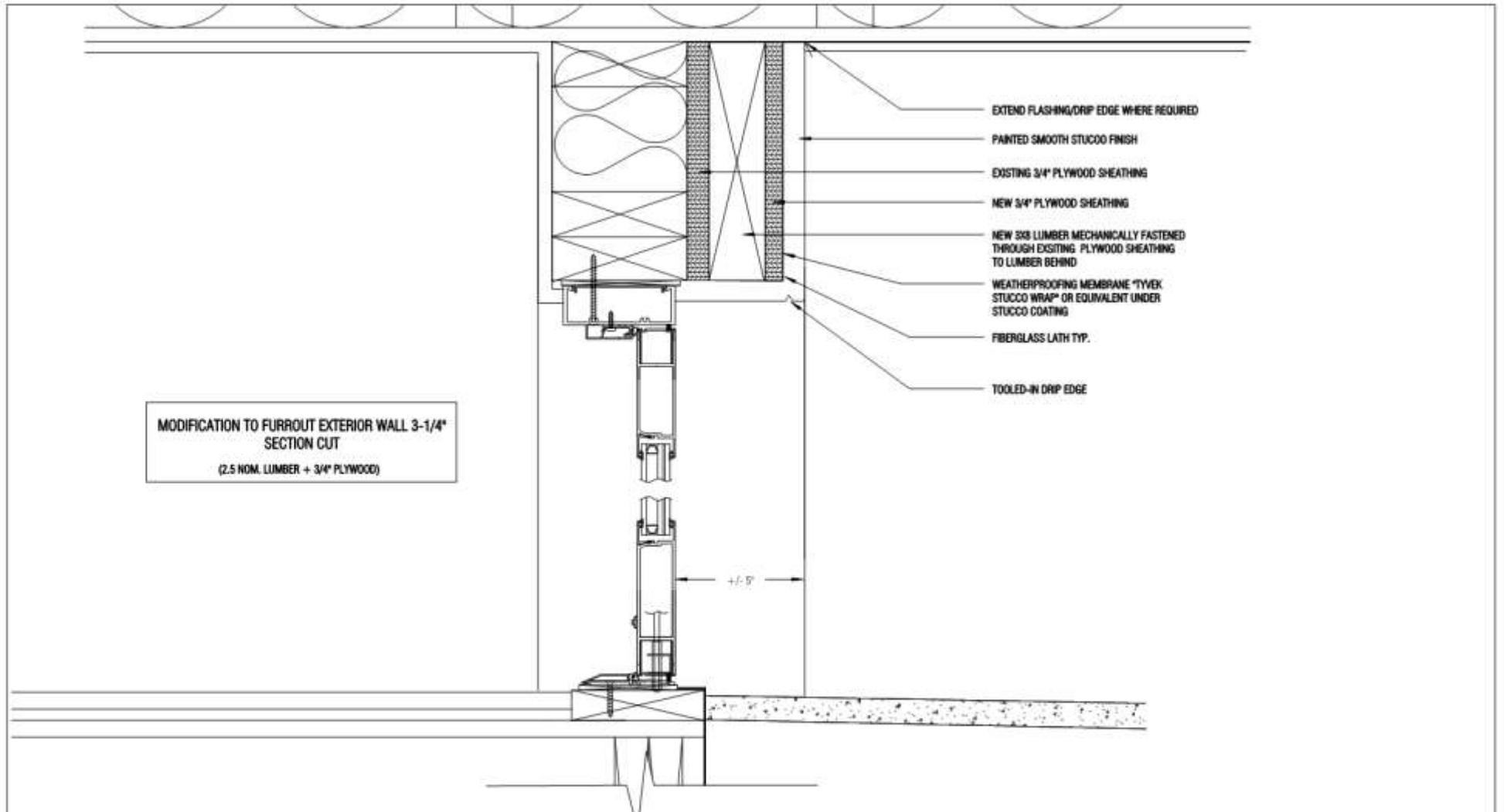
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616 N. Rampart

VCC Architectural Committee

September 12, 2017





MODIFICATION TO FURROUT EXTERIOR WALL 3-1/4\"/>

- EXTEND FLASHING/DRIP EDGE WHERE REQUIRED
- PAINTED SMOOTH STUCCO FINISH
- EXISTING 3/4\"/>
- NEW 3/4\"/>
- NEW 2x8 LUMBER MECHANICALLY FASTENED THROUGH EXISTING PLYWOOD SHEATHING TO LUMBER BEHIND
- WEATHERPROOFING MEMBRANE "TYVEK STUCCO WRAP" OR EQUIVALENT UNDER STUCCO COATING
- FIBERGLASS LATH TYP.
- TOOLED-IN DRIP EDGE

+/- 5"

dfs deforma studio
 1600 Ponce de Leon Blvd suite 907
 Coral Gables Florida 33134

Elit Group LLC
 SIX 18 HOUSE

No.	Description	Date

ALT- Rampart Elev Typ. Detail		
Project number	17063	SK-05.1
Date	2.19.2019	
Drawn by	Author	Scale 3" = 1'-0"
Checked by	Checker	

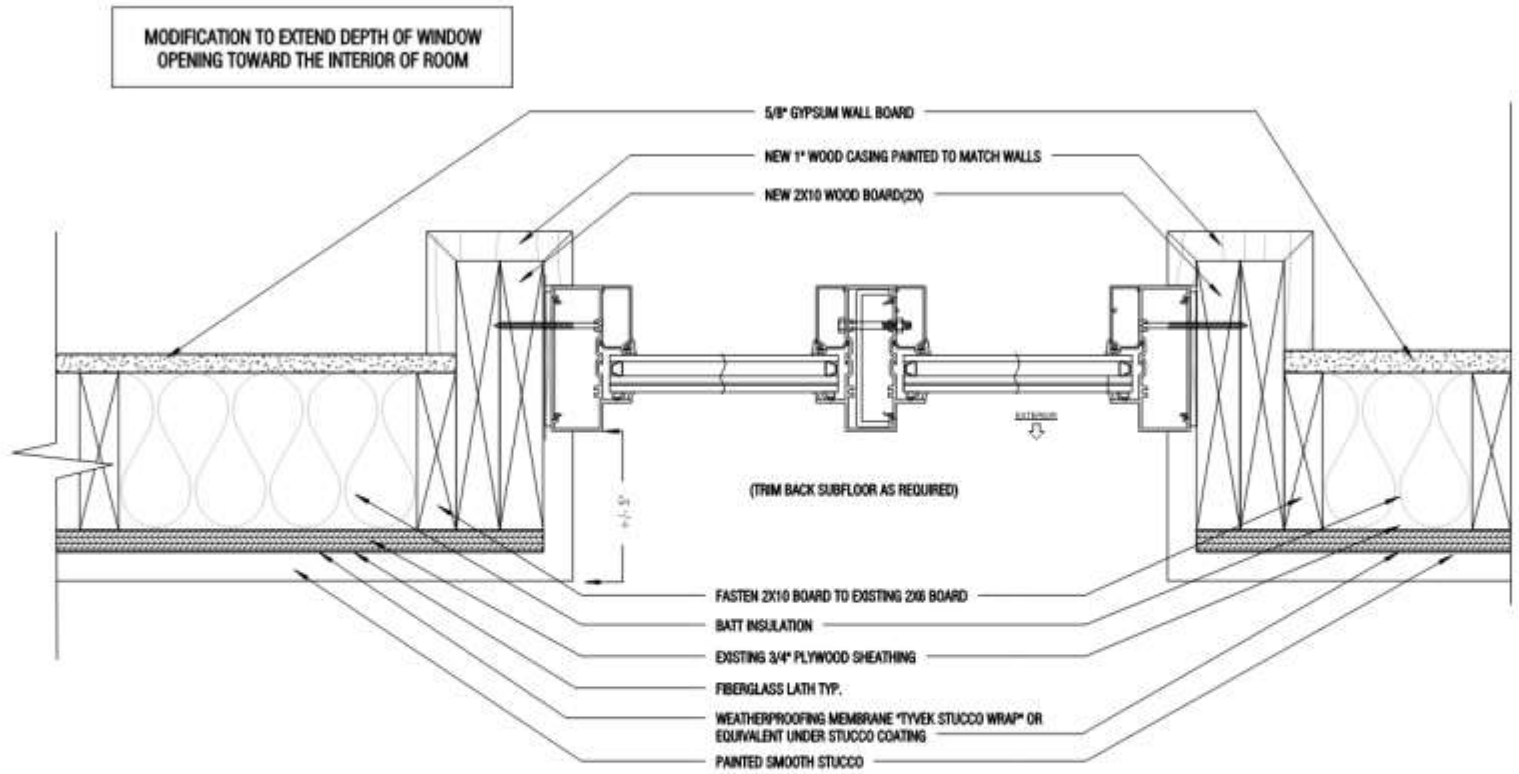
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616 N. Rampart

VCC Architectural Committee

September 12, 2017





1 Plan Window Detail@Rampart Elev.
 SK-05.2 Scale: 3" = 1'-0"

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 Coral Gables Florida 33134

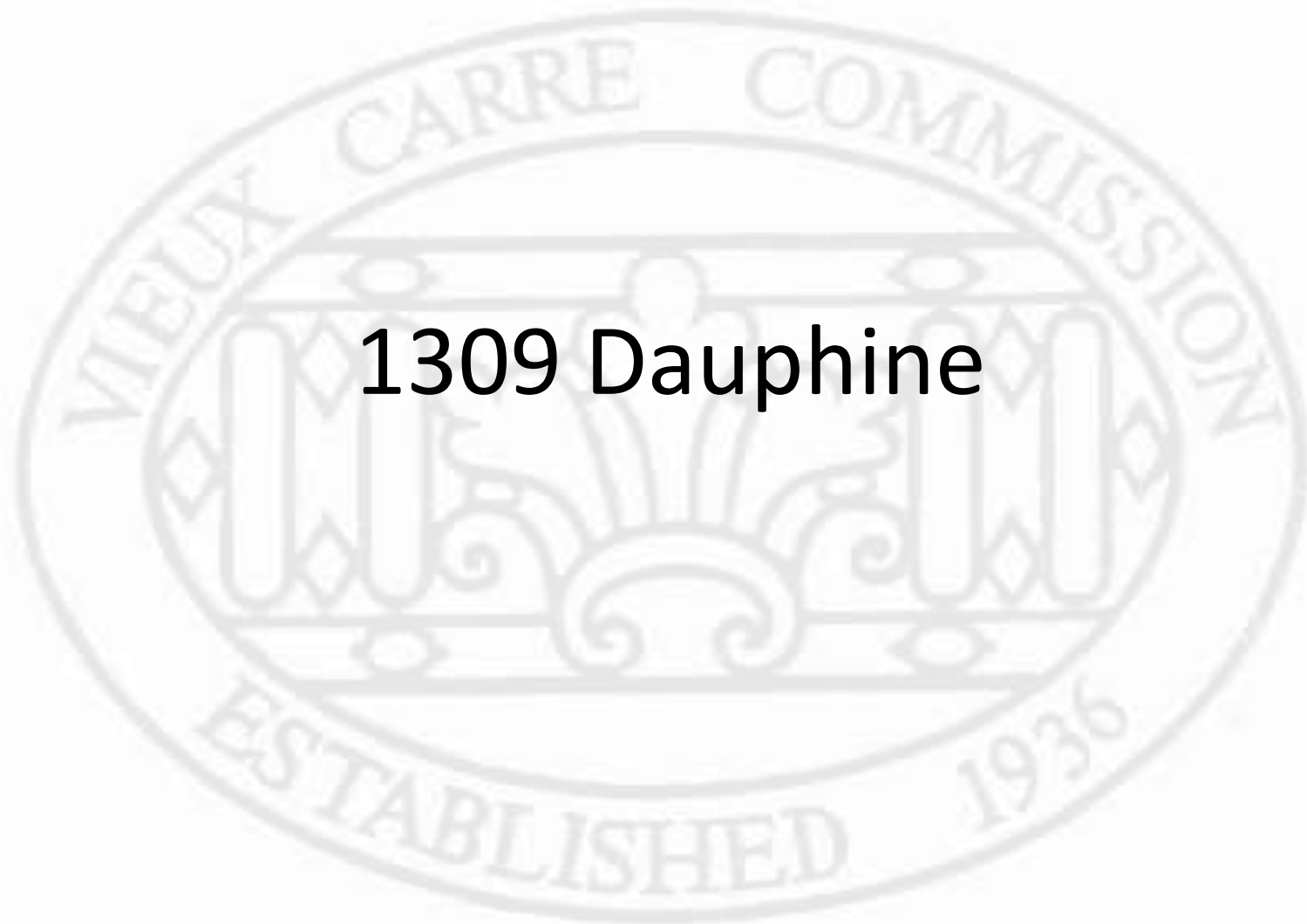
Elit Group LLC
 SIX 18 HOUSE

No.	Description	Date

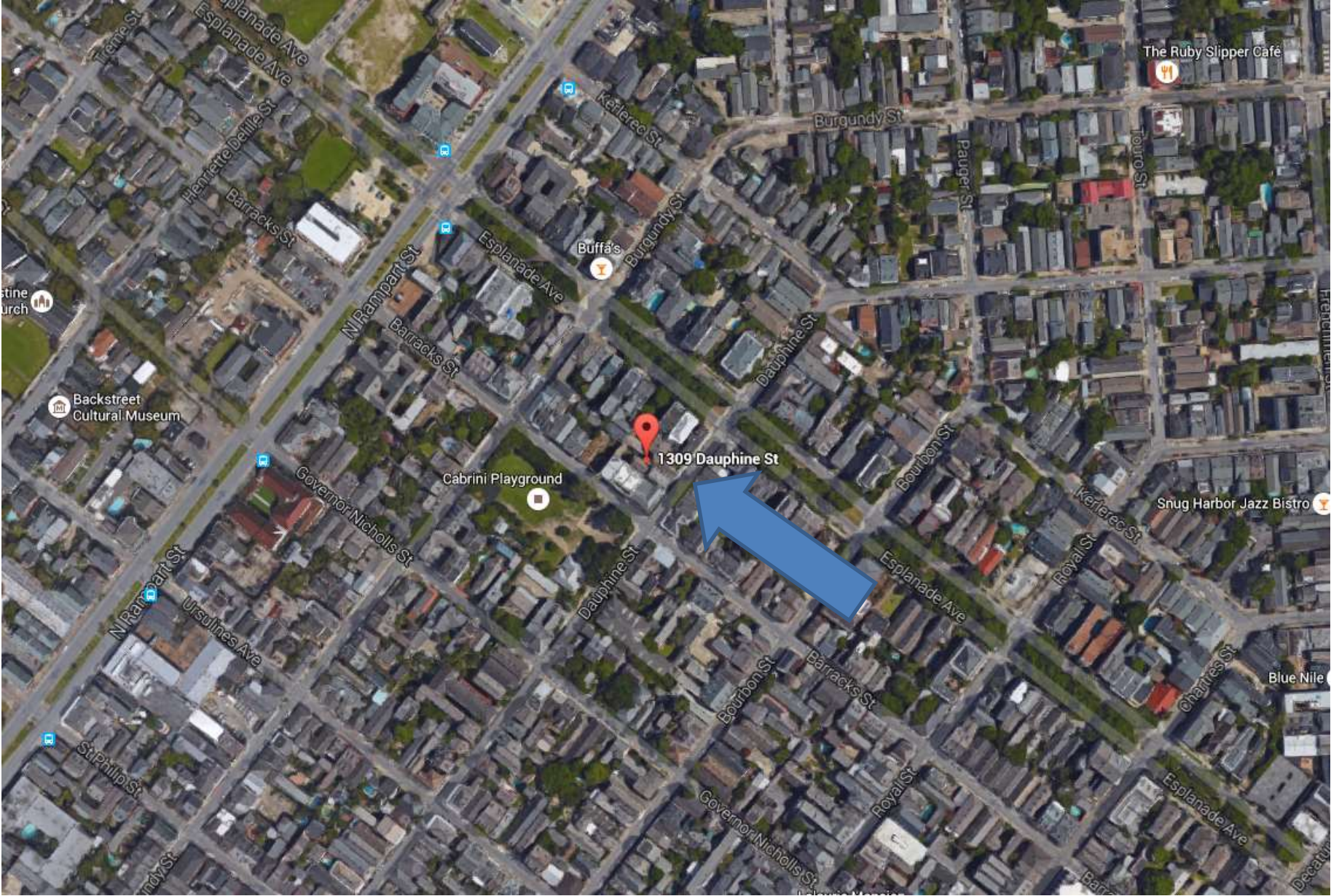
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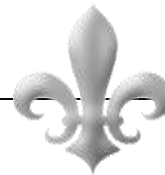




1309 Dauphine



1309 Dauphine

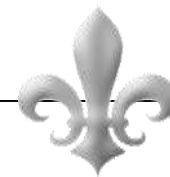




1309 Dauphine

VCC Architectural Committee

March 29, 2016

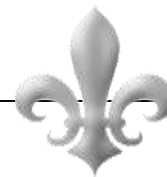




1309 Dauphine

VCC Architectural Committee

March 29, 2016





1309 Dauphine

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

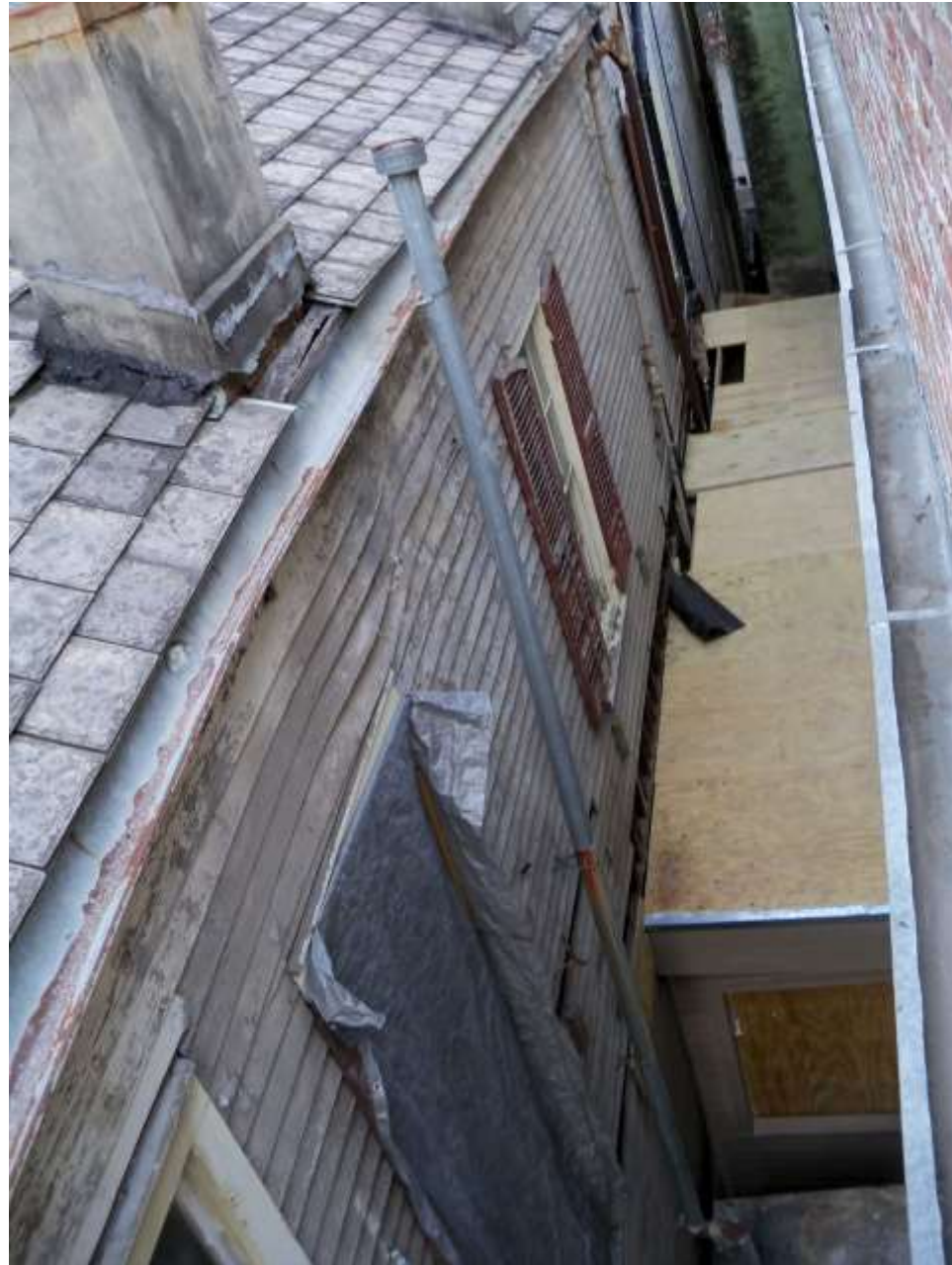
January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission



January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission



January 9th, 2019





1309 Dauphine - 2011

Vieux Carré Commission

January 9th, 2019





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017



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Vieux Carré Comm

04 05 2017



1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017



1309 Dauph
Vieux Carré Comm





1309 Dauph
Vieux Carré Comm

04 05 2017





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04 05 2017





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Vieux Carré Comm

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04 05 2017





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Vieux Carré Comm



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Vieux Carré Comm



04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm



1309 Dauph
Vieux Carré Comm



04 05 2017





1309 Dauph
Vieux Carré Comm

04 05 2017



1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauphine - 2017

Vieux Carré Commission

January 9th, 2019





1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph

Vieux Carré Comm





1309 Dauphine - 2017

Vieux Carré Commission

January 9th, 2019



1309 Dauph
Vieux Carré Comm

04 05 2017





1309 Dauph
Vieux Carré Comm





1309 Dauph
Vieux Carré Comm





1309 Dauphine - 2017

Vieux Carré Commission

January 9th, 2019

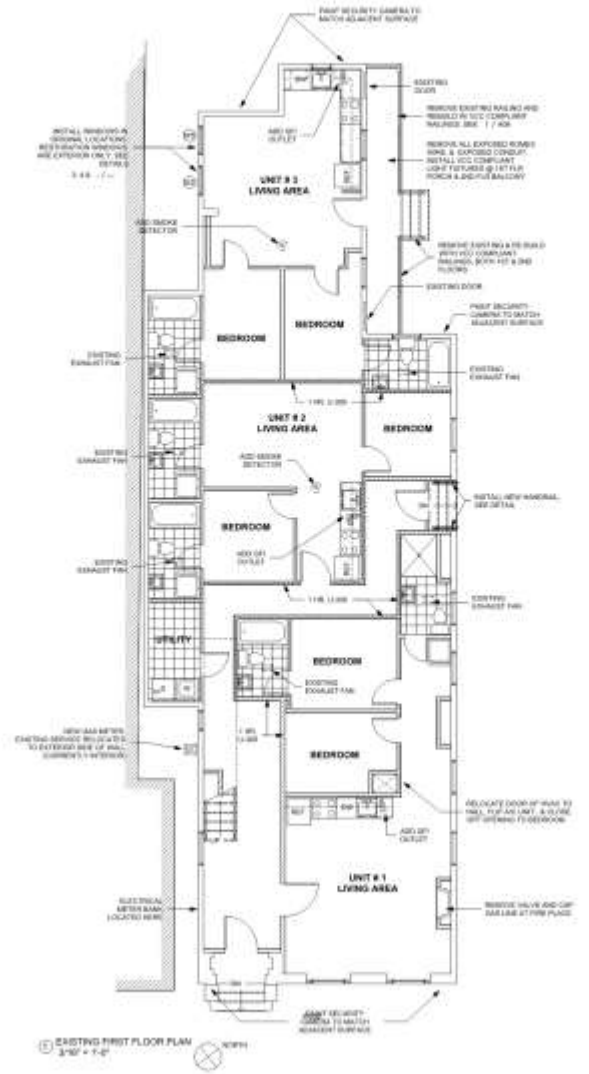


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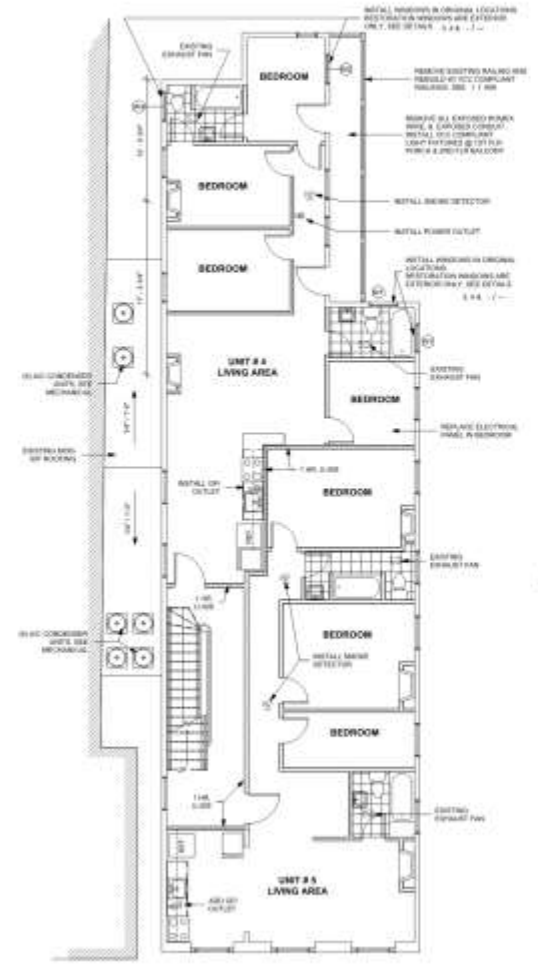
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NO.	DATE
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2	02/20/19
3	02/20/19
4	02/20/19
5	02/20/19
6	02/20/19
7	02/20/19
8	02/20/19
9	02/20/19
10	02/20/19

FLOOR PLANS
 PROJECT NO. 1008
 DRAWN BY: JCS
 CHECKED BY:
 DATE: 02/20/19
 REVISION: 02/20/19

A-1.0



1 EXISTING FIRST FLOOR PLAN
 3/16" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
 & PARTIAL ROOF PLAN
 3/16" = 1'-0"



3 EXISTING THIRD FLOOR PLAN
 3/16" = 1'-0"



PHOTOS OF EXTERIOR PIPING FOR REFERENCE



EXTERIOR NOTES

REMOVE EXISTING PIPING AND RELOCATE TO THE INTERIOR WHERE POSSIBLE RE-ROUTE PIPING AT THE GROUND FLOOR TO UNDER THE BUILDING ALL PIPING LOCATION THAT HAVE TO REMAIN WILL BE REVIEWED AND APPROVED BY THE STAFF OF THE VOC

WITH THE EXCEPTION OF WINDOWS TO BE RESTORED / REINSTALLED, EXISTING ELEVATIONS AND PROPOSED ARE THE SAME.

ALL EXISTING METAL CAP FLASHING TO BE REMOVED AND REPLACED WITH COPPER, PAINT TO MATCH EXISTING EXTERIOR COLOR.

EXTERIOR LIGHTING SCHEDULE

INSTALL ALL EXTERIOR LIGHTS & REPLACE AS WITH BUCKLE BASE. SCALE UP THE EXTERIOR WALL SCENE & LAMP @ 300W TEMP. 27K. METAL IS REPAIRED LIGHT FIXTURE FINISH SHOWN, YORK BRACKET.



HB SA II
HARRY BAKER SATHI ARCHITECTS
1350 DAUPHINE STREET
NEW ORLEANS, LOUISIANA
VIEUX CARRÉ DISTRICT



DATE	REVISIONS
02/25/19	1. VOC REVISIONS

PROJECT NO. 1350 DAUPHINE
SCALE: 1/4" = 1'-0"
DATE: 02/25/19
A-2.0

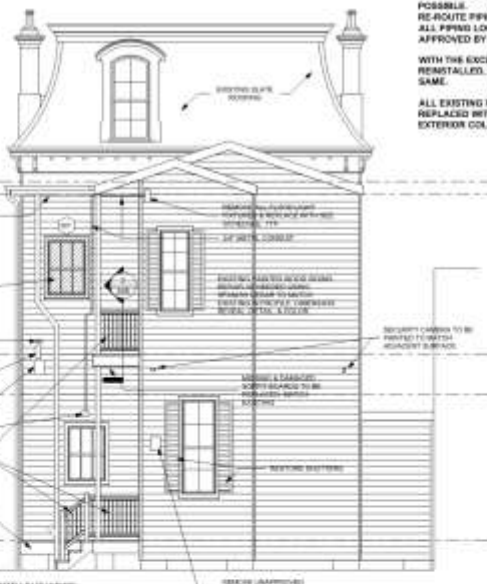




REMOVE EXISTING PIPING AND RELOCATE TO THE INTERIOR WHERE POSSIBLE.
 RE-ROUTE PIPING AT THE GROUND FLOOR TO UNDER THE BUILDING.
 ALL PIPING LOCATIONS THAT HAVE TO REMAIN WILL BE REVIEWED AND APPROVED BY THE STAFF OF THE VCC.

WITH THE EXCEPTION OF WINDOWS TO BE RESTORED, REINSTALL, EXISTING ELEVATIONS AND PROPOSED ARE THE SAME.

ALL EXISTING METAL CAP FLASHING TO BE REMOVED AND REPLACED WITH COPPER PAINT TO MATCH EXISTING EXTERIOR COLOR.



PROPOSED NORTH ELEVATION
 10'0" x 11'0"

REMOVE EXISTING PIPING AND RELOCATE TO THE INTERIOR WHERE POSSIBLE.
 RE-ROUTE PIPING AT THE GROUND FLOOR TO UNDER THE BUILDING.
 ALL PIPING LOCATIONS THAT HAVE TO REMAIN WILL BE REVIEWED AND APPROVED BY THE STAFF OF THE VCC.

WITH THE EXCEPTION OF WINDOWS TO BE RESTORED, REINSTALL, EXISTING ELEVATIONS AND PROPOSED ARE THE SAME.

ALL EXISTING METAL CAP FLASHING TO BE REMOVED AND REPLACED WITH COPPER PAINT TO MATCH EXISTING EXTERIOR COLOR.



BALCONY FRAMING TO BE LEVELLED & RE-ENFORCED.

SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE.

GAS METER TO BE RELOCATED TO EXTERIOR OF BUILDING IN ALLEYWAY.

7'-0" WOOD FENCE/GATE

EXTERIOR LIGHTING SCHEDULE

REMOVE ALL EXISTING LIGHT FIXTURES AND REPLACE WITH NEWER, MORE EFFICIENT, 12" TALL OUTDOOR WALL SCONES IN LAMP & BRACKET TYPE.

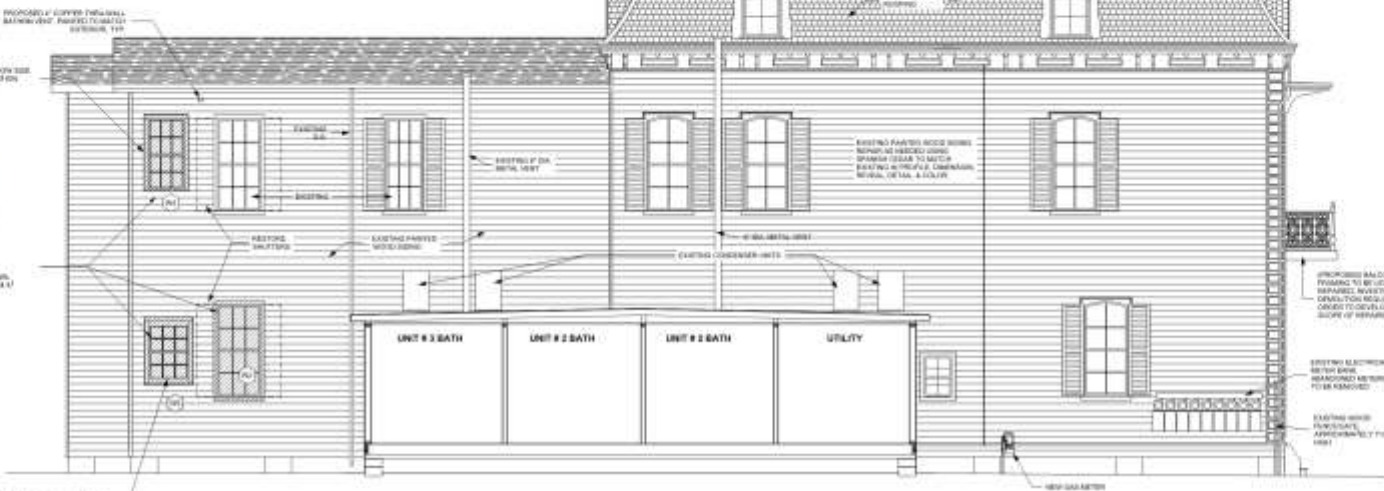
INSTALL UNDERGROUND LIGHTING FIXTURES, FRENCH GARDEN, POLE MOUNTED



RESTORE ORIGINAL WINDOW CASES
 EXPLORATORY DEMOLITION REQUIRED



RESTORE ORIGINAL WINDOW CASES
 EXPLORATORY DEMOLITION REQUIRED



PROPOSED WEST ELEVATION
 11'0" x 7'-0"

COMMUNICATIONS TO AN EXISTING STRUCTURE
L'Agillon Apartments
 1309 DAUPHINE STREET
 NEW ORLEANS, LOUISIANA
 VIEUX CARRÉ DISTRICT

THIS PLAN AND SPECIFICATIONS were prepared by HB SA II ARCHITECTS, INC. for the project described herein. It is the responsibility of the client to verify the accuracy of the information provided and to ensure that all applicable laws, codes, and regulations are followed. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect's liability is limited to the design and construction of the project as shown on these plans and specifications. No liability is assumed for any errors or omissions, or for any consequences arising from the use of these plans and specifications.

NO.	DATE	DESCRIPTION
1	02/21/18	ISSUE FOR PERMIT
2	02/21/18	ISSUE FOR PERMIT
3	02/21/18	ISSUE FOR PERMIT
4	02/21/18	ISSUE FOR PERMIT
5	02/21/18	ISSUE FOR PERMIT
6	02/21/18	ISSUE FOR PERMIT
7	02/21/18	ISSUE FOR PERMIT
8	02/21/18	ISSUE FOR PERMIT
9	02/21/18	ISSUE FOR PERMIT
10	02/21/18	ISSUE FOR PERMIT

ELEVATIONS & DETAILS
 PROJECT: 1309
 DRAWN: JG
 DATE: 02/21/18
 SCALE: AS SHOWN
 SHEET: 02 OF 02
A-3.0





SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

GAS METER TO BE INDICATED TO EXTERIOR OF BUILDING, IN ALLEYWAY



SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

REMOVE UNAPPROVED SIGNAGE



INSTALL GAS WINDOW IN ORIGINAL LOCATION

THRU-WALL EXHAUST VENT FOR RESTROOM TO BE LOCATED @ THIRD FLOOR



EXISTING FIRE ESCAPE TO BE REMOVED. REPAIR FASCIA TO BUILDING EXTERIOR @ EACH FIRE ESCAPE STRUCTURAL CONNECTION

SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

EXISTING GAS PIPING TO BE RETRACED @ NORTH EAST ALLEYWAY, @ DRAWSPACE



REPAIR DAMAGED WEATHER BOARD @ THIS LOCATION

REMOVE MISMATCHED FASCIA, & REPAIR DAMAGED SIDING. REPLACE FASCIA WITH NEW & PAINT TO MATCH EXISTING

SECURITY CAMERA TO BE PAINTED TO MATCH ADJACENT SURFACE

REMOVE UNAPPROVED SIGNAGE

RAILINGS TO BE RE-QUILT AS PER DETAIL 17-00

REPLACE COLUMN WITH CHAMFERED SQUARE WOOD COLUMN, IF EXPLORATORY DEMOLITION INDICATES COLUMN IS STRUCTURAL AND NEEDED



THRU-WALL EXHAUST VENT FOR RESTROOM TO BE LOCATED @ THIRD FLOOR

INSTALL TO SET WINDOW W/ SHUTTERS

RE A/C CONDENSER UNITS TO BE LOCATED ON ROOF OF 1 STORY PORTION OF BUILDING @ SOUTH WEST FACE

MODIFICATIONS TO AN EXISTING STRUCTURE
L' Aiglon Apartments
1309 DAUPHINE STREET
NEW ORLEANS, LOUISIANA
VIEUX CARRÉ DISTRICT

THIS PLAN SET, SPECIFICATIONS, AND OTHER INFORMATION IS FOR THE GENERAL INFORMATION OF THE CLIENT AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACT SHALL BE THE AGREEMENT BETWEEN THE CLIENT AND THE ARCHITECT, DATED AT NEW ORLEANS, LOUISIANA, ON 01/09/2019.

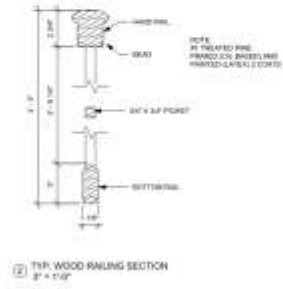
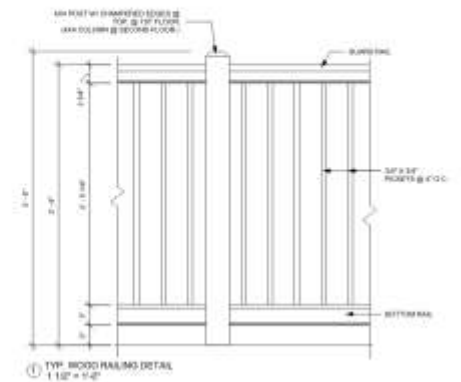
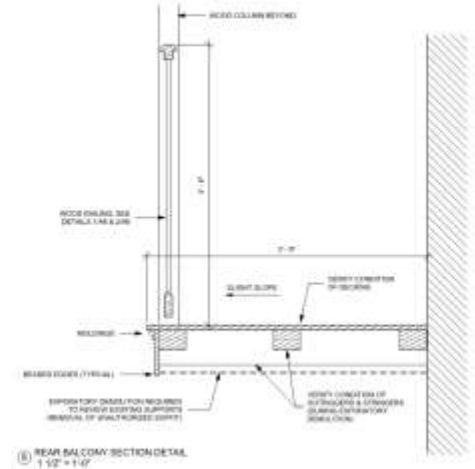
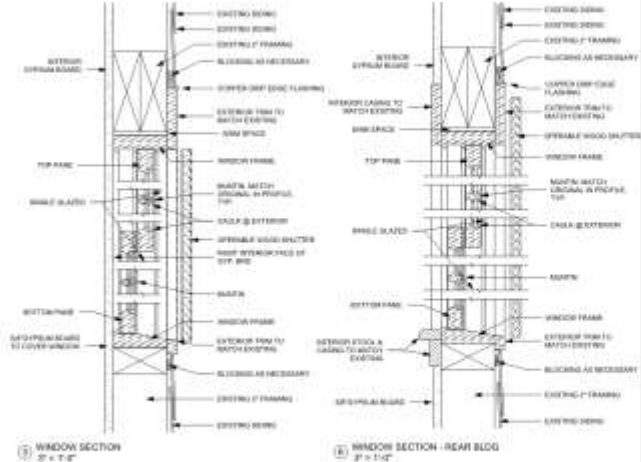
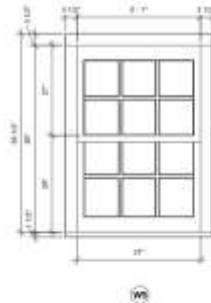
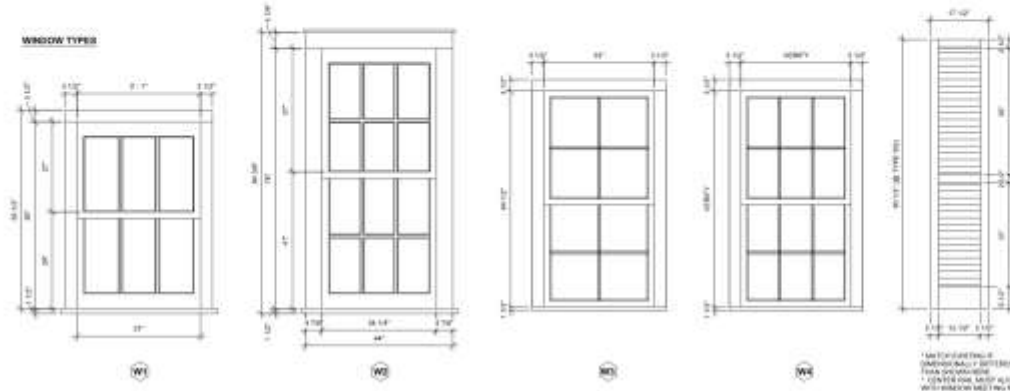


LEGEND - SYMBOLS
REVISIONS
DATE: 01/09/2019
BY: HWS
CHECKED BY: HWS
DATE: 01/09/2019
SCALE: AS SHOWN
PROJECT: 1309 DAUPHINE STREET
SHEET: A-4.0



WINDOW SCHEDULE											
Mark	UNIT COUNT	Description	Operation	Width	Height	FRAME	SILL	JAMB	HEAD	SH Height	Comments
W1	3	OVER 3	DOUBLE HUNG	2'-10"	4'-8"	HARD WOOD - SPANISH CEDAR/SAGE	4x6S	3x4S	1'-8"		SEALED OFF @ INTERIOR IN GYPSUM PANEL
W2	3	OVER 6	DOUBLE HUNG	2'-0"	7'-8"	HARD WOOD - SPANISH CEDAR/SAGE	4x6S	3x4S			SEALED OFF @ INTERIOR IN GYPSUM PANEL
W3	1	OVER 4	DOUBLE HUNG	2'-8"	4'-8"	HARD WOOD - SPANISH CEDAR/SAGE	4x6S	3x4S	2'-8"		TOP JAMB EXTEND TO MATCH EXISTING
W4	1	OVER 4	DOUBLE HUNG	2'-2"	7'-4"	HARD WOOD - SPANISH CEDAR/SAGE	4x6S	3x4S	2'-0"		SEALED OFF @ INTERIOR IN GYPSUM PANEL
W5	1	OVER 4	DOUBLE HUNG	2'-10"	4'-8"	HARD WOOD - SPANISH CEDAR/SAGE	4x6S	3x4S	2'-0"		SEALED OFF @ INTERIOR IN GYPSUM PANEL

WINDOW TYPES



ARCHITECTS TO AN EXISTING STRUCTURE
L'Aiglon Apartments
 1309 DAUPHINE STREET
 NEW ORLEANS, LOUISIANA
 VEUX CARRE DISTRICT

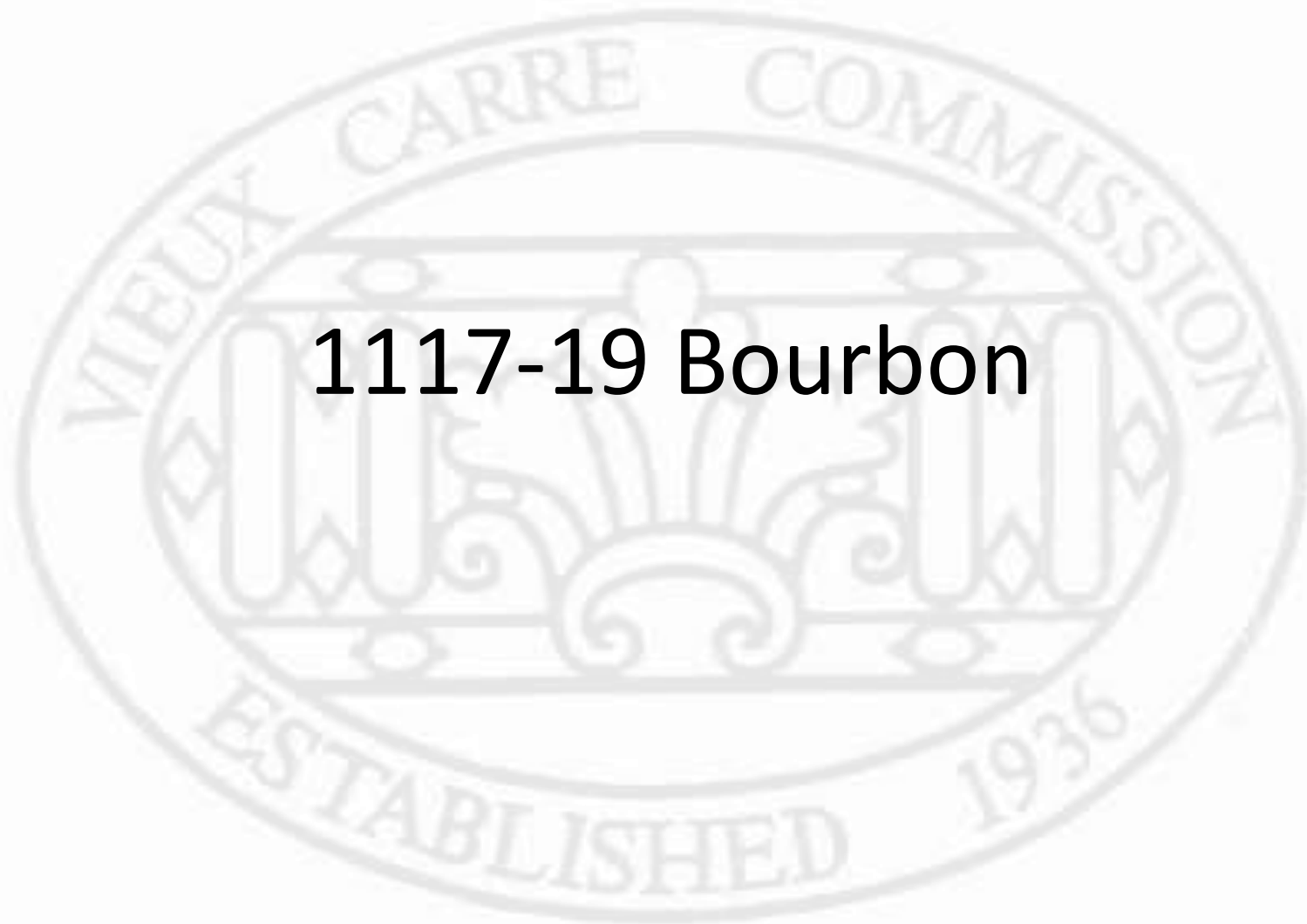
PROJECT NO. 1309 DAUPHINE STREET
 SHEET NO. A-6.0
 DATE: 10/25/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO. 1309 DAUPHINE STREET
 SHEET NO. A-6.0
 DATE: 10/25/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]

NO.	REVISION	DATE

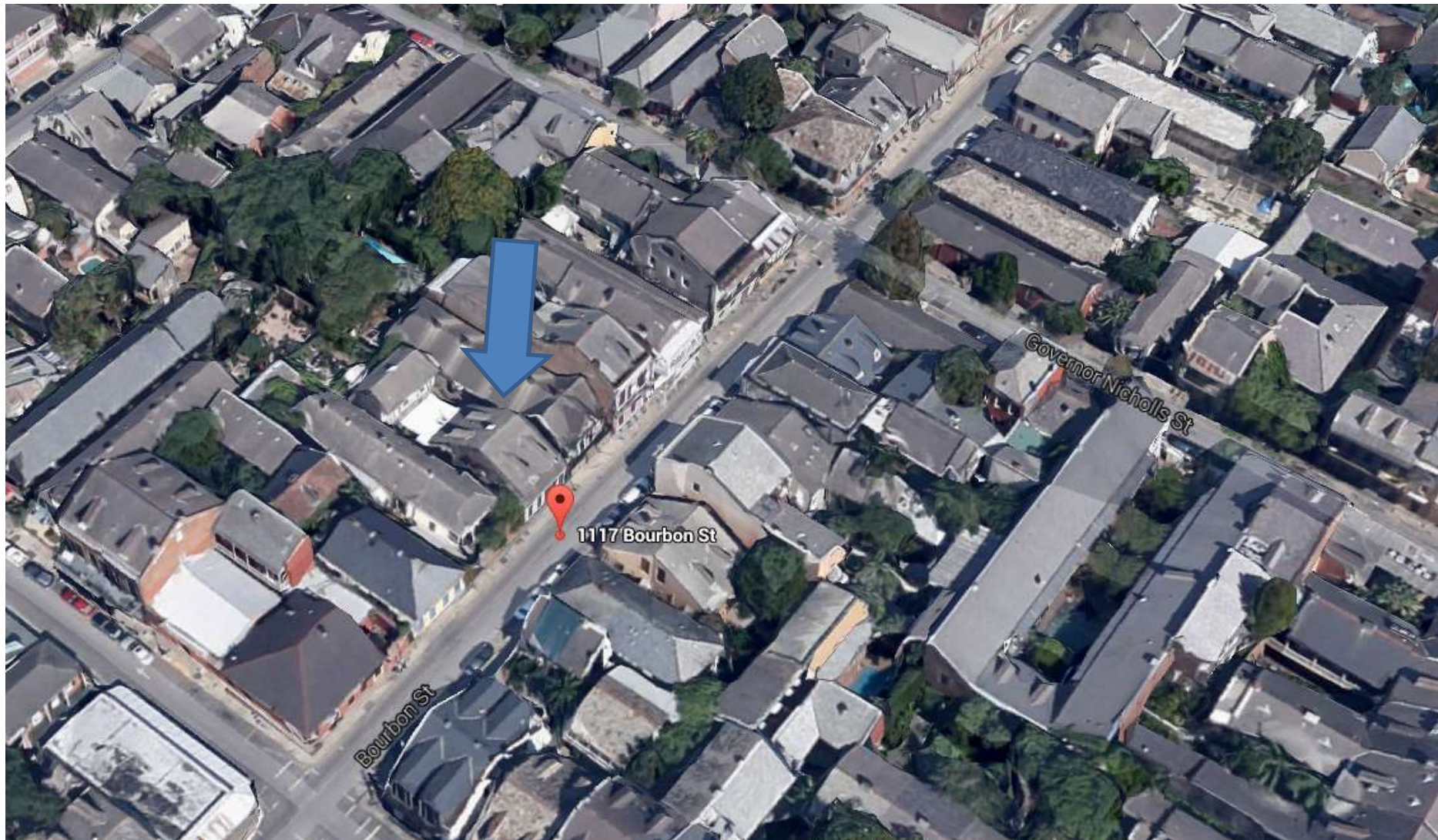
SECTION DETAILS
 PROJECT NO. 1309
 SHEET NO. A-6.0
 DATE: 10/25/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]

A-6.0

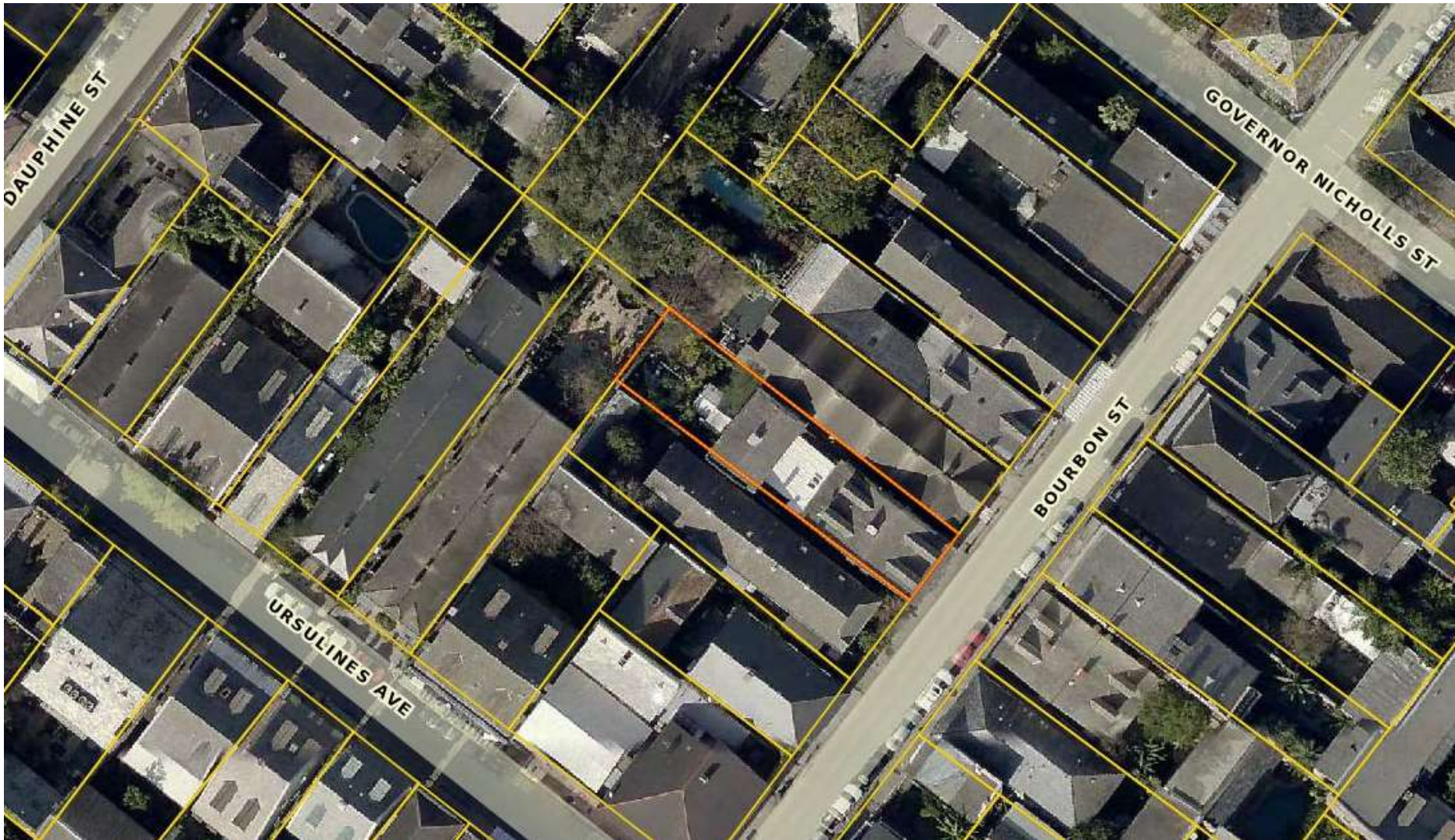




1117-19 Bourbon



1117-19 Bourbon



1117-19 Bourbon





Title: 1117-1119 Bourbon
Date: 10/17/1962

1117-19 Bourbon



1117-19 Bourbon



1117-19 Bourbon



1117-19 Bourbon





1117-19 Bourbon



1117-19 Bourbon





1117-19 Bourbon





1117-19 Bourbon





1117-19 Bourbon





1117-19 Bourbon



1117-19 Bourbon -- 2018

Vieux Carre Commission





1117-19 Bo

Vieux Carre Commission





1117-19 Bourbon -- 2018

Vieux Carre Commission

07 20 2018





1117-19 Bo

Vieux Carre Commission

07 20 2018



1117-19 Bo
Vieux Carre Commission



07 20 2018



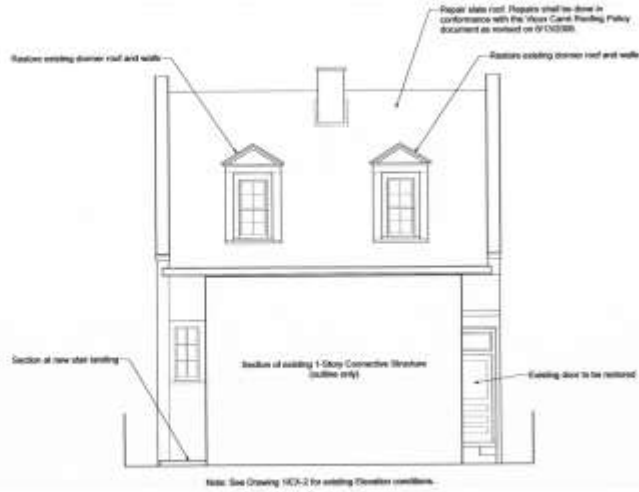


1117-19 Bo

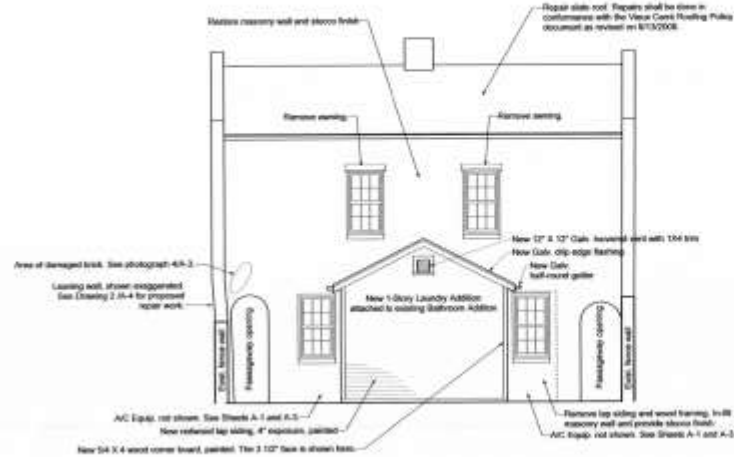
Vieux Carre Commission

07 20 2018

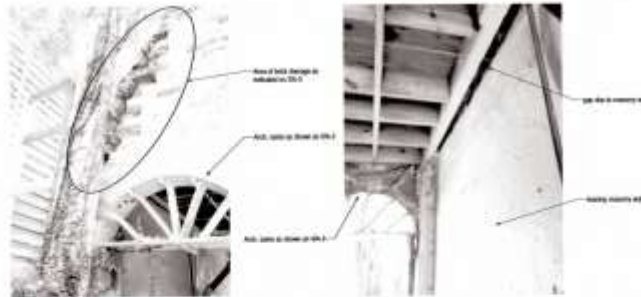




1.2.2 Rear Elevation of Front Building—Showing Proposed Rear Dormers
Scale: 1/4" = 1'-0"

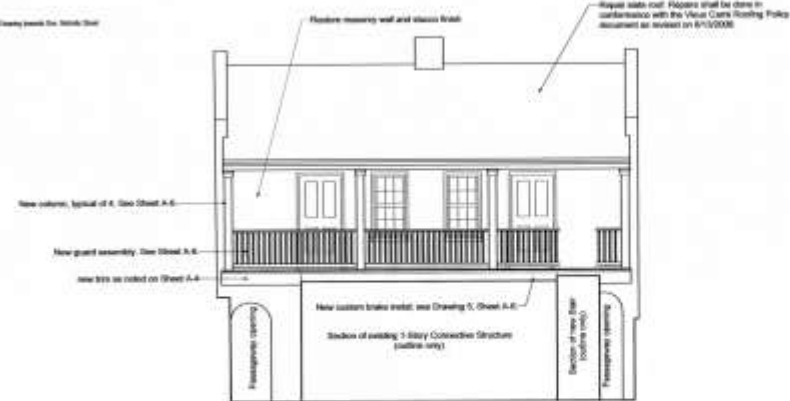


1.2.3 Rear Elevation of Rear Building—Existing
Scale: 1/4" = 1'-0"



1.2.4 Photograph of Brick Damage Near Passageway Arch
not to scale

1.2.5 Photograph of Gap at Passageway Ceiling
not to scale



1.2.6 Front Elevation of Rear Building—Existing
Scale: 1/4" = 1'-0"

Vieux Carré Commission Approved Mortar Formula
All mortar work and exterior plaster (stucco) work shall comply with the material formulas below.

Mortar
No more than 1 Part Portland Cement, 3 Parts Lime, 9 Parts Sand, Enough water to form a workable mix

Stucco
Base Coat: consists of 2 coats, double up work of 5/8" total thickness, proportioned as follows:
No more than 1 Part Portland Cement, 3 Parts Lime, 9 Parts Sand, 6 lbs. Jumbo yard hair or fiber, Enough water to form a workable mix
Finish Coat: 1/4" in total thickness proportioned as follows:
No more than 1 Part Portland cement, 3 Parts Lime, 9 Parts Sand, Enough water to form a workable mix

Volume Zero
unlimited designs

1117 & 1119 Bourbon Street
New Orleans, Louisiana 70116

Scale: 1/4" = 1'-0"
November 16, 2014 - preliminary City review
November 30, 2014 - preliminary P.A. review
December 27, 2014 - Review by CC members
January 16, 2015 - City Council review
February 10, 2015 - City Council approval

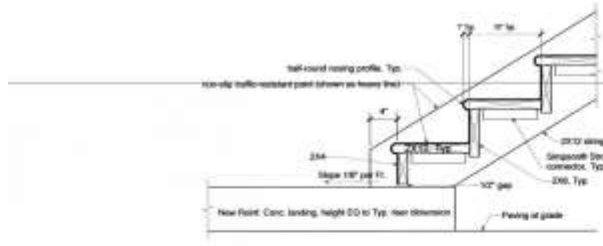
These drawings and specifications have been prepared by me or under my supervision, and they comply with all City requirements to the best of my knowledge and belief. I shall be abiding by the provisions of the contractor act.

Michael Carré
Registered Architect 8021

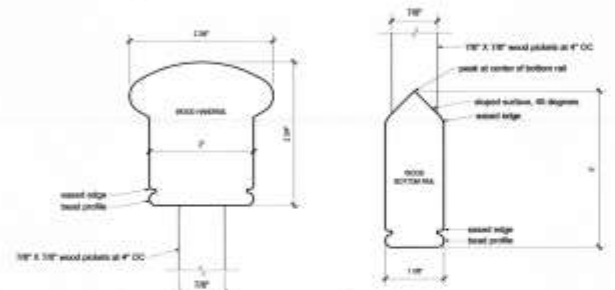
See Appendix 14-BB
Drawn by VT & MC
Sheet No.

A-3



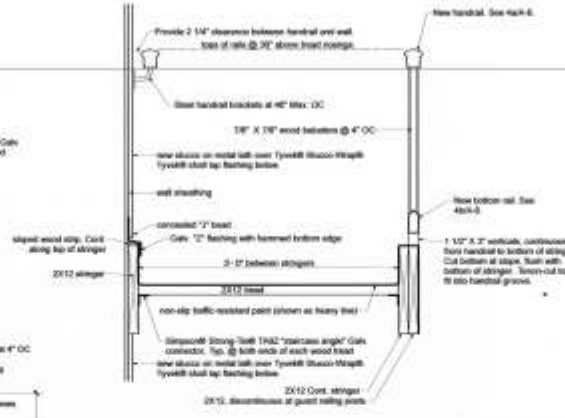


1 Exterior Stair Longitudinal Section Detail
Scale: 1/16" = 1'-0"

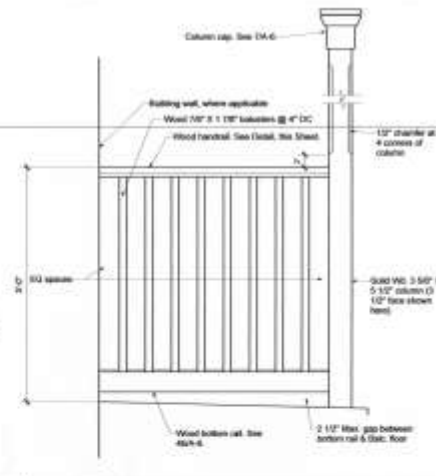


4a Handrail Section Detail
Scale: Actual Size

4b Bottom Rail Section Detail
Scale: Actual Size



2 Exterior Stair Transverse Section Detail
Scale: 1/16" = 1'-0"



3 Balcony Guard & Column Elevation Detail
Scale: 1/16" = 1'-0"

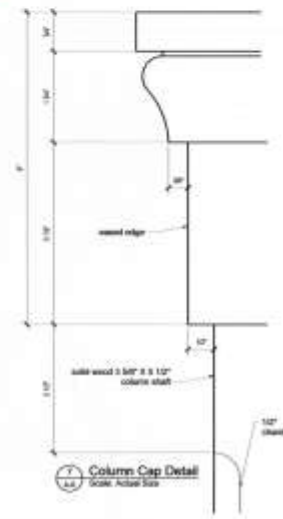


5 Balcony Floor Section Detail
Scale: 1/16" = 1'-0"



6.15) Sec 6-A-6; Soffit and gutter assembly seems to be installed as per plans. No work will be done as per VCC instruction after review.

6.13) Rails, posts, and columns will be installed as per VCC approved plans. Material installed by others will be closely inspected and re-worked to comply with approved drawings.



7 Column Cap Detail
Scale: Actual Size

Volume 000
Architectural grade scale
1117 & 1119 Bourbon Street
New Orleans, Louisiana 70116

Michael Caplan
Professional Engineer
State of Louisiana
License No. 10000
Exp. 12/31/2018

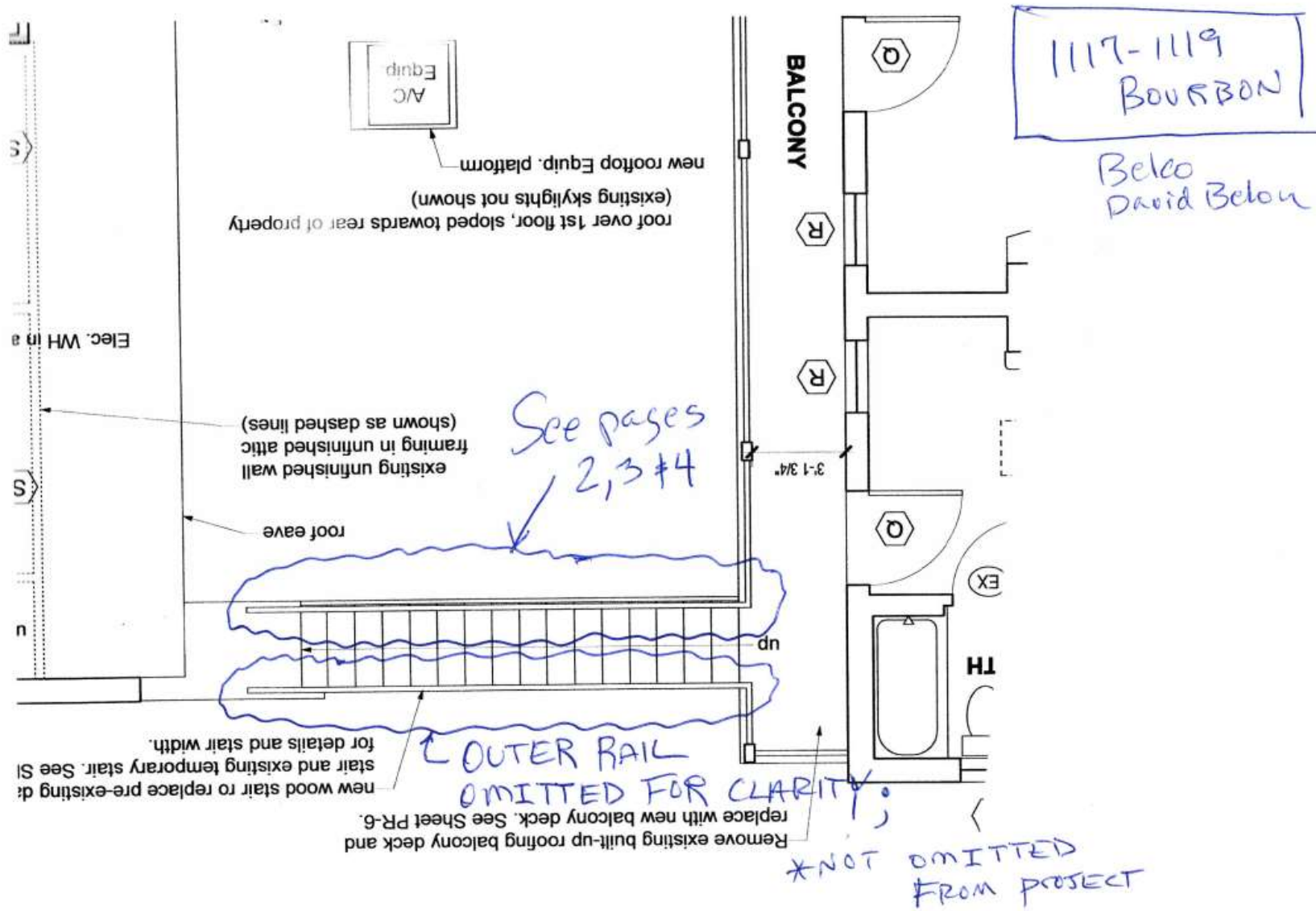
These drawings and specifications have been prepared by me or under my supervision, and they comply with all City requirements to the best of my knowledge and belief. I shall not undertake the construction work.

Michael Caplan
Professional Engineer #2201

442 Poydras St., 1900
Suite 1010 NY 5 647
New Orleans, LA 70112

A-6





1117-1119
BOURBON

Belec
David Belon

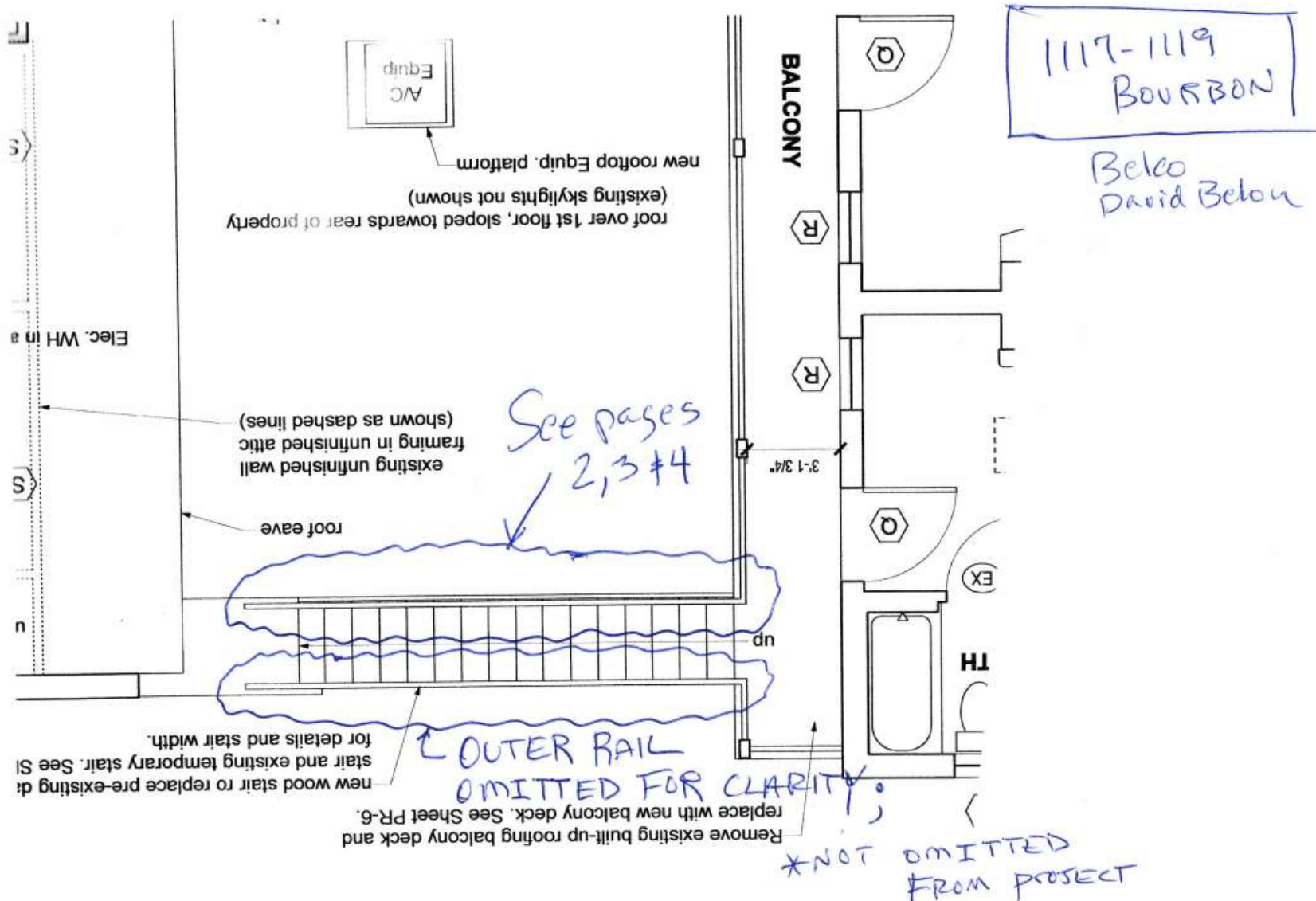
See pages
2, 3 & 4

OUTER RAIL
OMITTED FOR CLARITY

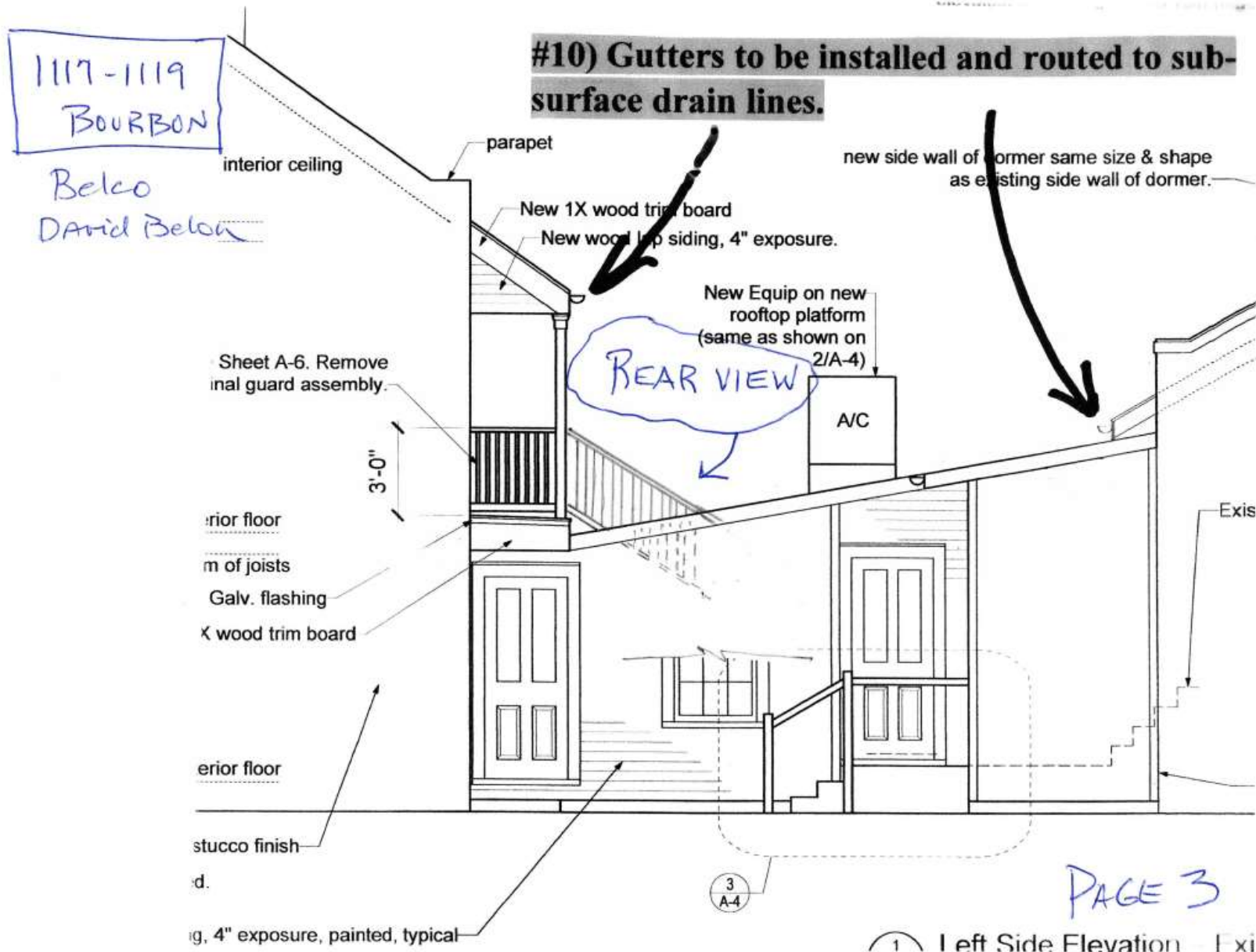
*NOT OMITTED
FROM PROJECT

PAGE 1





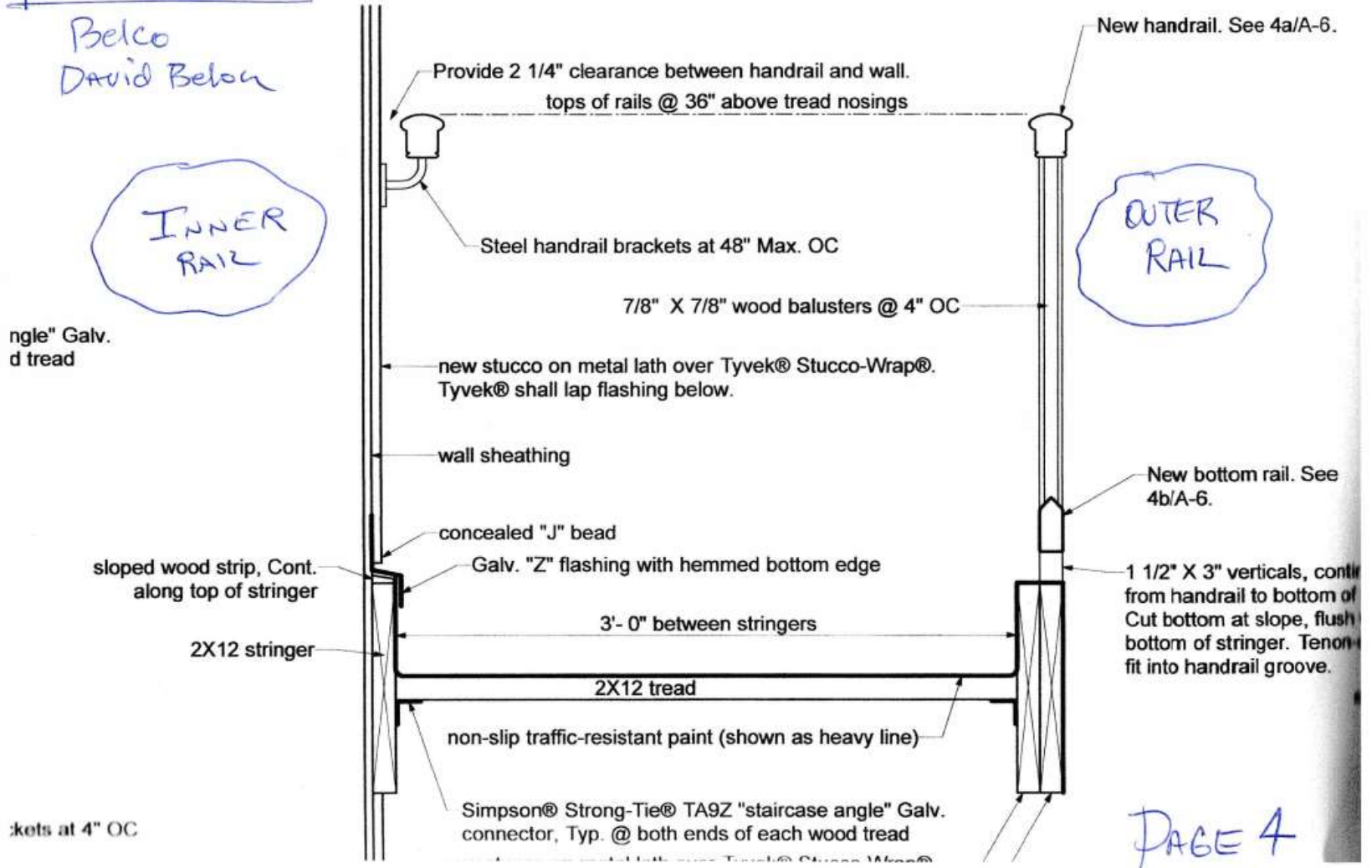
PAGE 1



1117-1119
BOURBON

Belco
David Belon

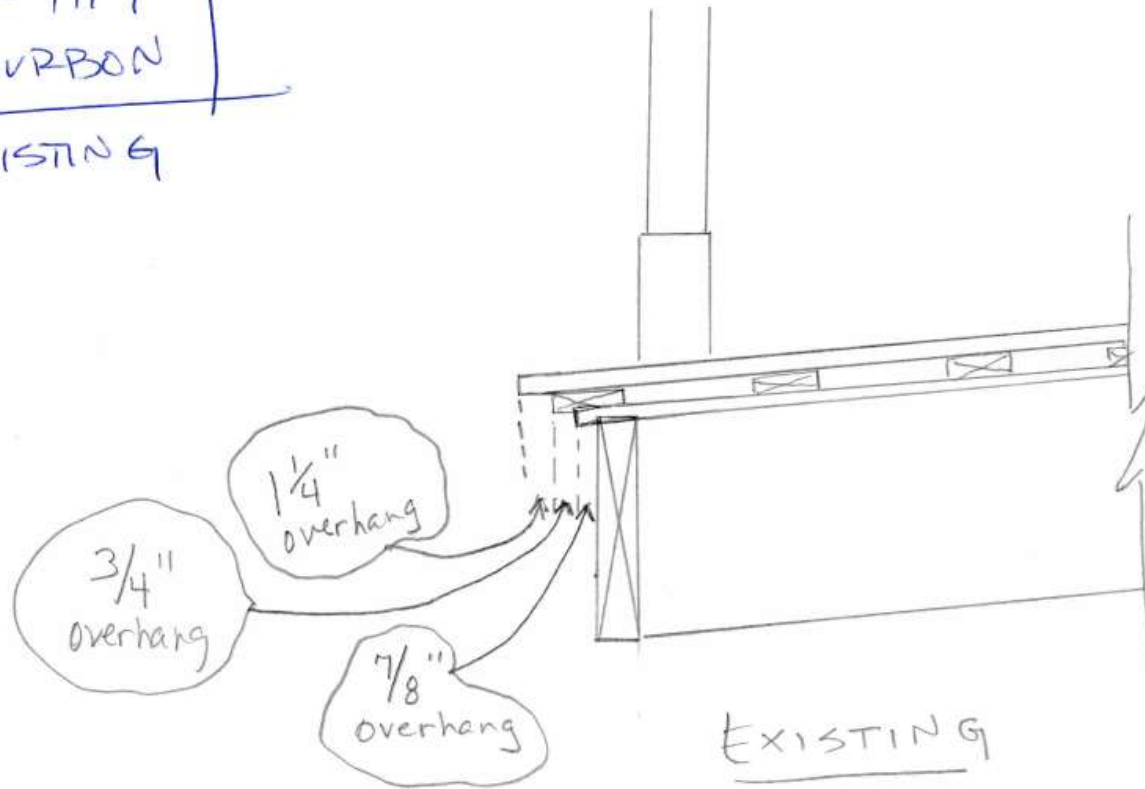
ORIGINAL PLANS



PAGE 4



1117-1119
BOURBON
EXISTING



Same on Both Sides
of Balcony

Page 1

1117-1119
BOURBON
PROPOSED

ADD
MOULDING

CUT WOOD
STRIP
FINISH

ADD:
7/8" BEADED
FASCIA

PROPOSED
DETAIL

Same on Both Sides
of Balcony

Page 2

1117-1119
BOURBON

membrane roofing. Remove and reapply bottom portion as required to
in brake metal as shown.

new 3/4" X 2 1/4" T&G wood decking, boards parallel to slope
1 X 4" wood strips, @ 16" OC, perpendicular to slope
1/2" X 3" wood strips, @ 16" OC, parallel to slope
sealing waterproof barrier, shown as heavy line
new 3/4" plywd sub-floor
Existing joists. Repair as required.

repair existing stucco
repair existing masonry wall
1/2" ventilation gap

flashing

waterproofing turned
down as shown

water
property.

new Galv. "Z" flashing

waterproof barrier turned
up as shown and adhered
to brick wall

**#16) Balcony detail seems to be installed as per
approved drawings. Balcony install will be closely
inspected and any corrections needed will be
done. Balcony was complete 2-3 years ago and
does not leak. Water proof membrane is installed.**

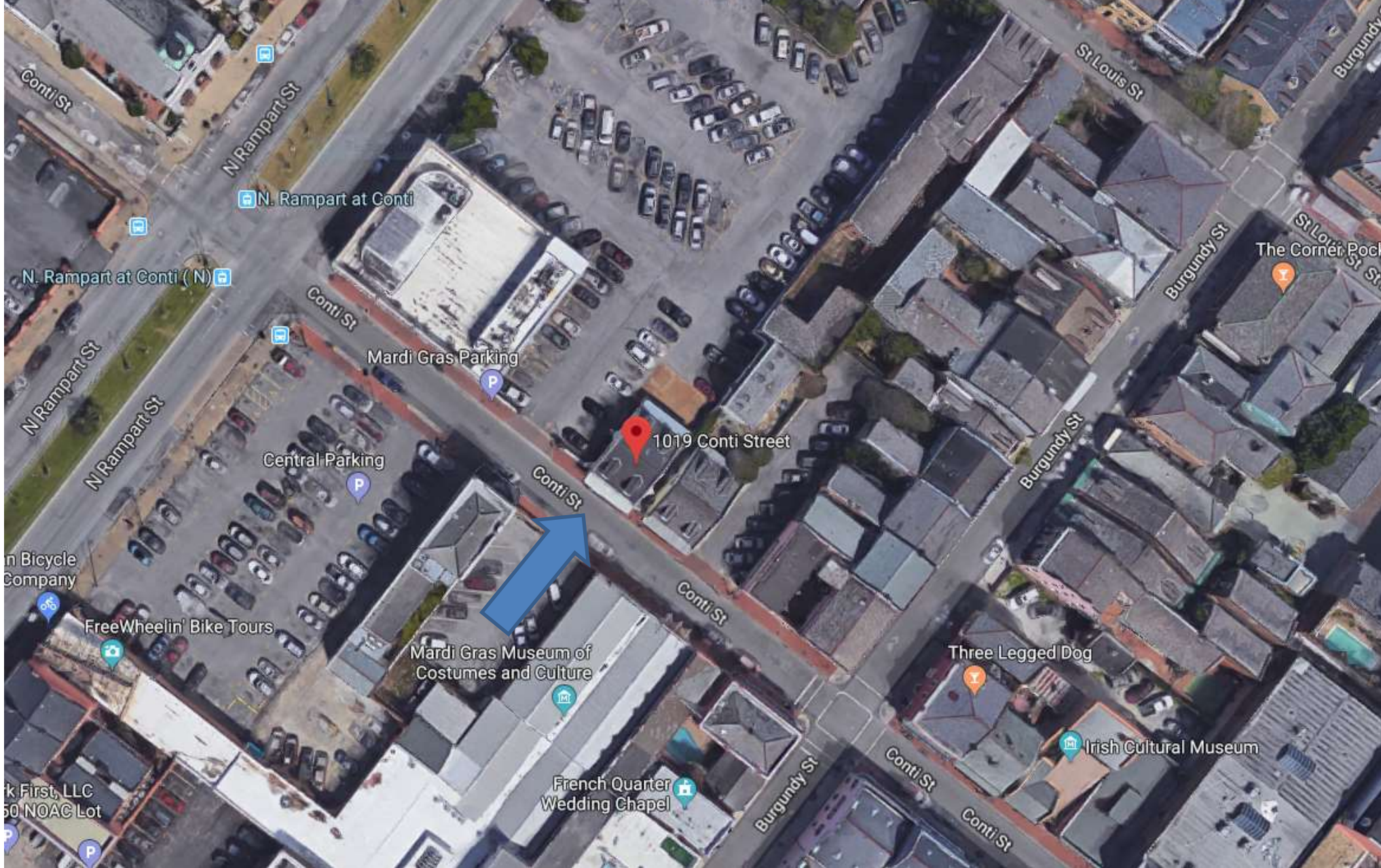
5 Balcony Floor Section Detail
A-6 Scale: 1 1/2" = 1'-0"

Page 3





1019 Conti



1019 Conti

Vieux Carre Commission

July 5, 2018





1019 Conti

Vieux Carre Commission

July 5, 2018





1019 Conti

Vieux Carre Commission

July 5, 2018





1019 Conti

Vieux Carre Commission

July 5, 2018





1019 Conti

Vieux Carre Commission

July 5, 2018





1019 Conti

Vieux Carre Commission

July 5, 2018



ROBERT B. ANDERSON
CONSULTING ENGINEERS, LLC.

SUITE 306
432 N. ANTHONY STREET
NEW ORLEANS, LOUISIANA 70119

PHONE: (504) 488-7797
(800) 476-0963
FAX: (504) 488-7846
E-MAIL: rbaeng@andersonengineers.com

January 10, 2019

Perez, McDaniel, Faust & Adams
321 Veterans Memorial Blvd., Suite 107
Metairie, LA 70005
Attn: Orr Adams

oadams@pmflp.com

RE: 1019 Conti Street
New Orleans, LA

Dear Mr. Adams:

At your request, on January 8th, we made the following observations at the above residence, specifically relative to the post in the rear awning. It is our understanding that the VCC requires the post to be removed whether it be structural or ornamental.

Our observations indicate that there is potentially some load that the post is supporting. We recommend that the corner be reinforced with a 2x2x1/4" angle at the edge and secured to the building with an additional 2x2x1/4" angle secured at the building and welded to the next interior support. This will provide strength consistent with the remainder of the structure.

I have sketched this on an attached photograph. This approach should also be cosmetically acceptable to the VCC, as there will be no change to the exterior appearance. Many fabricators can make this modification. One that has experience in this area is Authement Iron Works (504-467-6666).

We trust that the above information will meet with your needs, and we thank you for the opportunity to be of service.

Respectfully submitted,

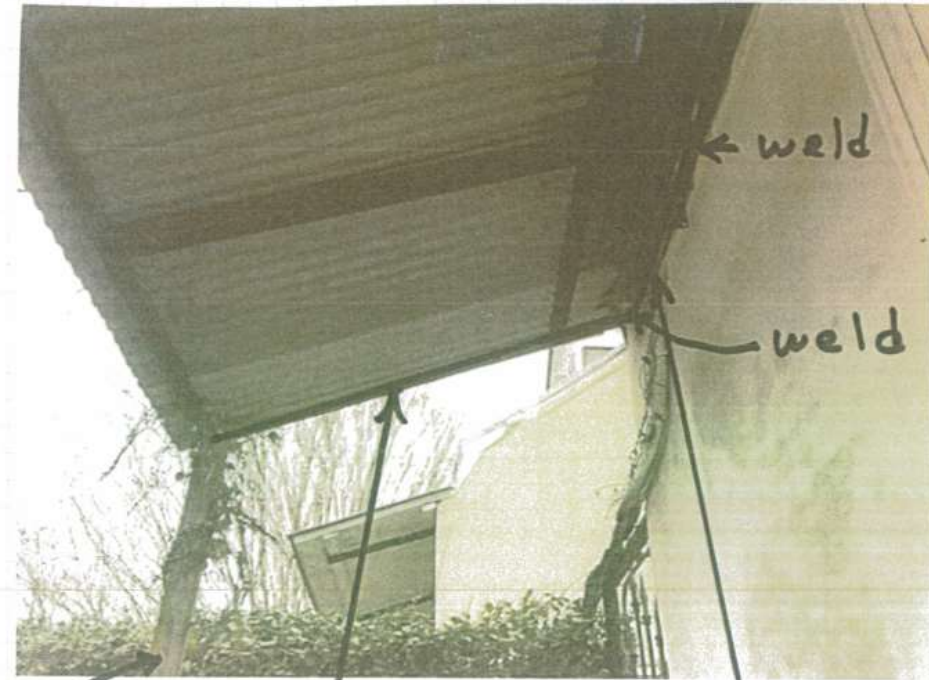

ROBERT B. ANDERSON
License No. 11473
PROFESSIONAL ENGINEER
LA Reg. #11473
CIVIL ENGINEERING

RBA:ah

1019 Conti

Vieux Carre Commission

Post Removal and Awning Modification



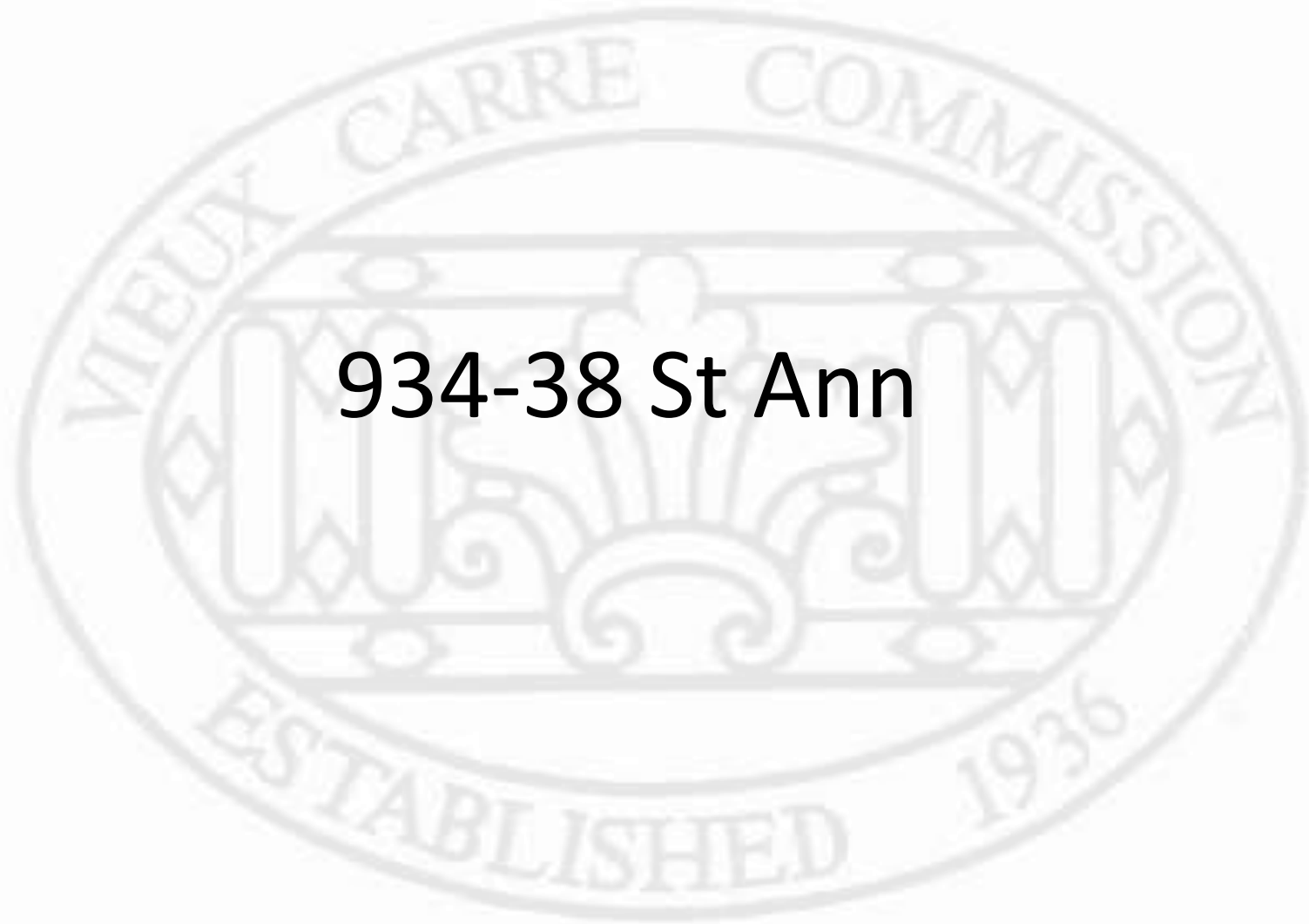
Remove Post

2x2x1/4"

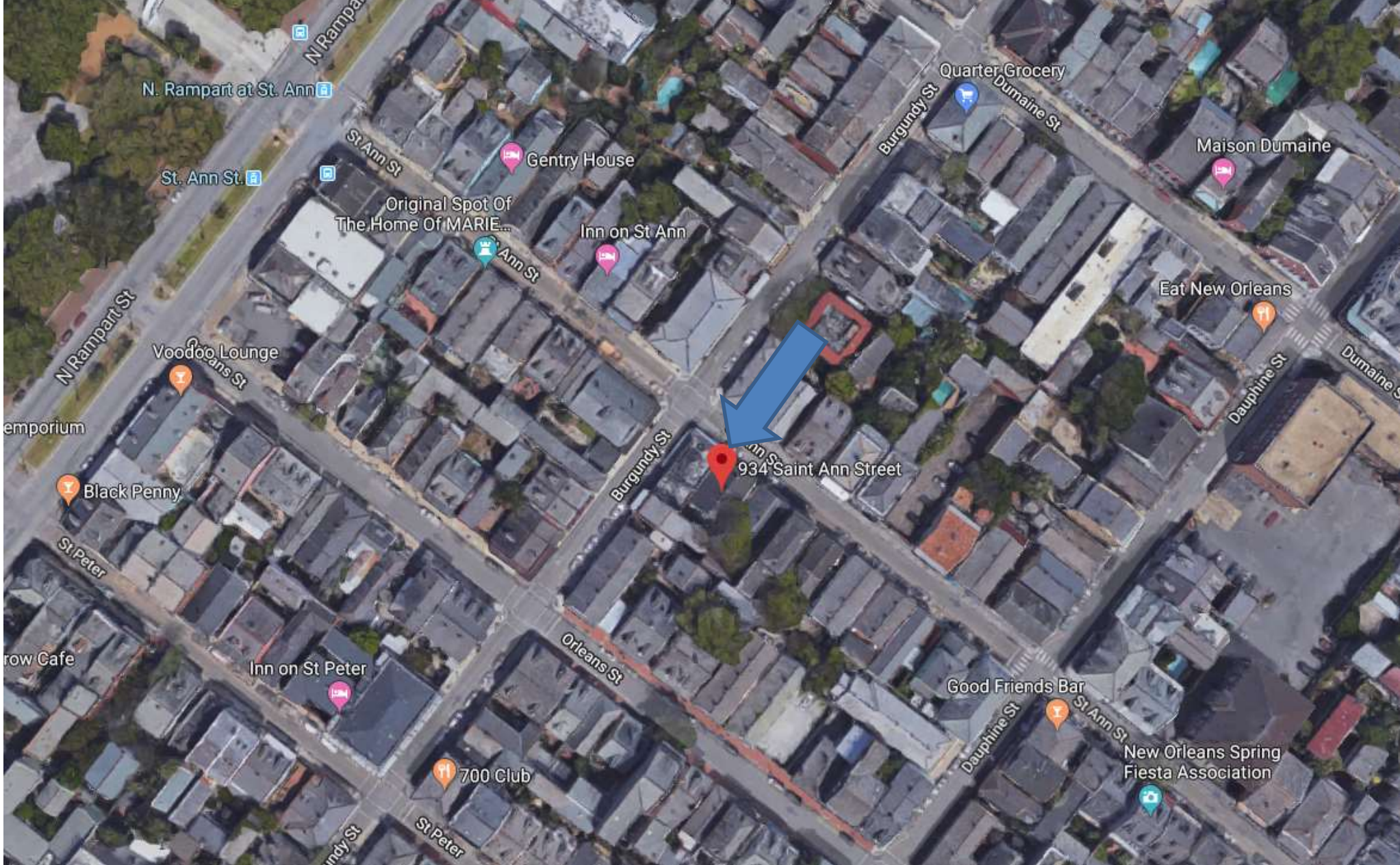

STATE OF LOUISIANA
ROBERT B. ANDERSON
License No. 11473
PROFESSIONAL ENGINEER
CIVIL ENGINEERING



July 5, 2018



934-38 St Ann



934-38 St Ann





934-38 St Ann

VCC Architectural Committee

August 27, 2013

February 26, 2019





934-38 St Ann

VCC Architectural Committee

August 27, 2013

February 26, 2019





934-38 St Ann – 1975

VCC Architectural Committee

February 26, 2019





934-38 St Ann

VCC Architectural Committee

February 26, 2019





934-38 St Ann

VCC Architectural Committee

February 26, 2019



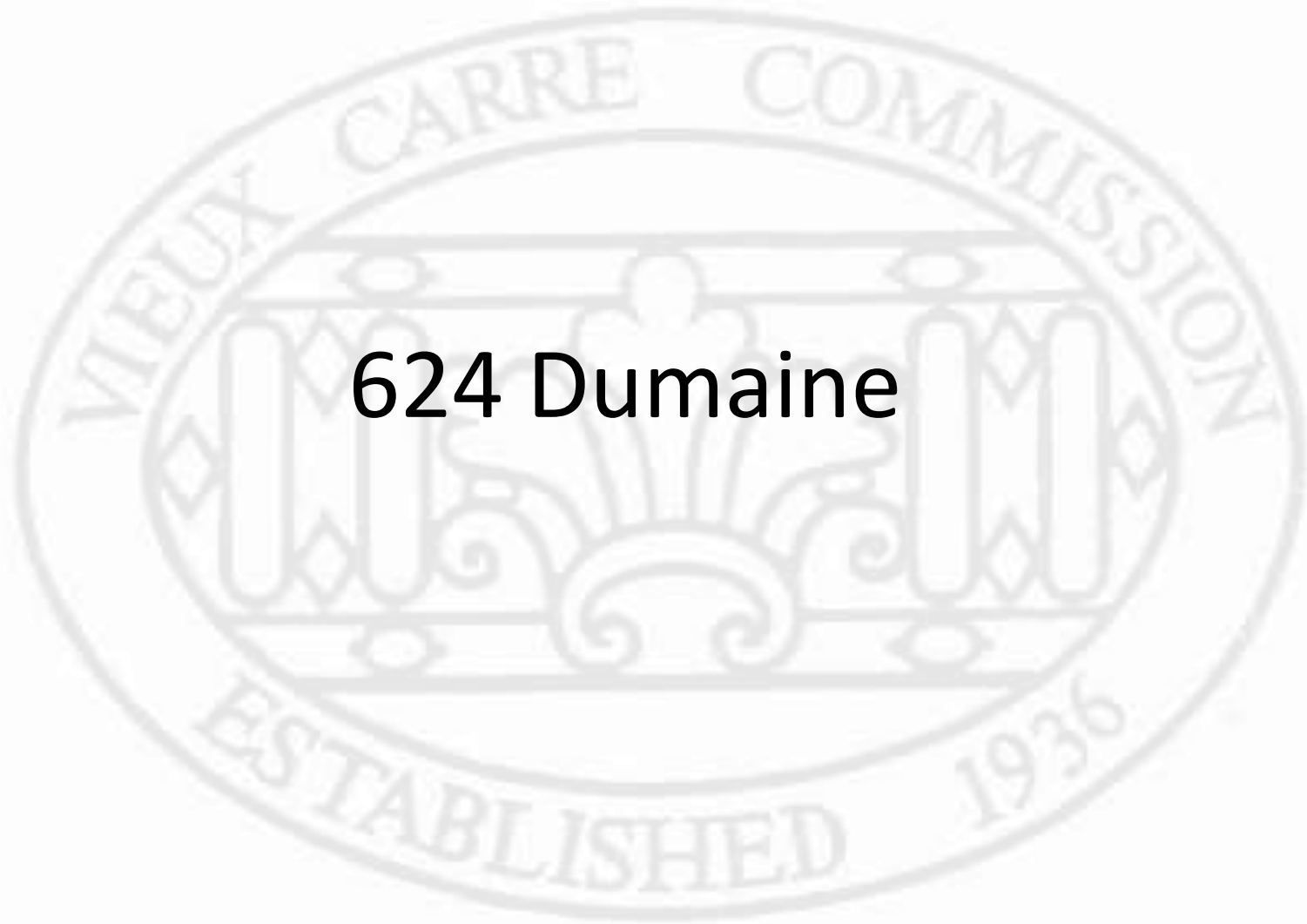


934-38 St Ann

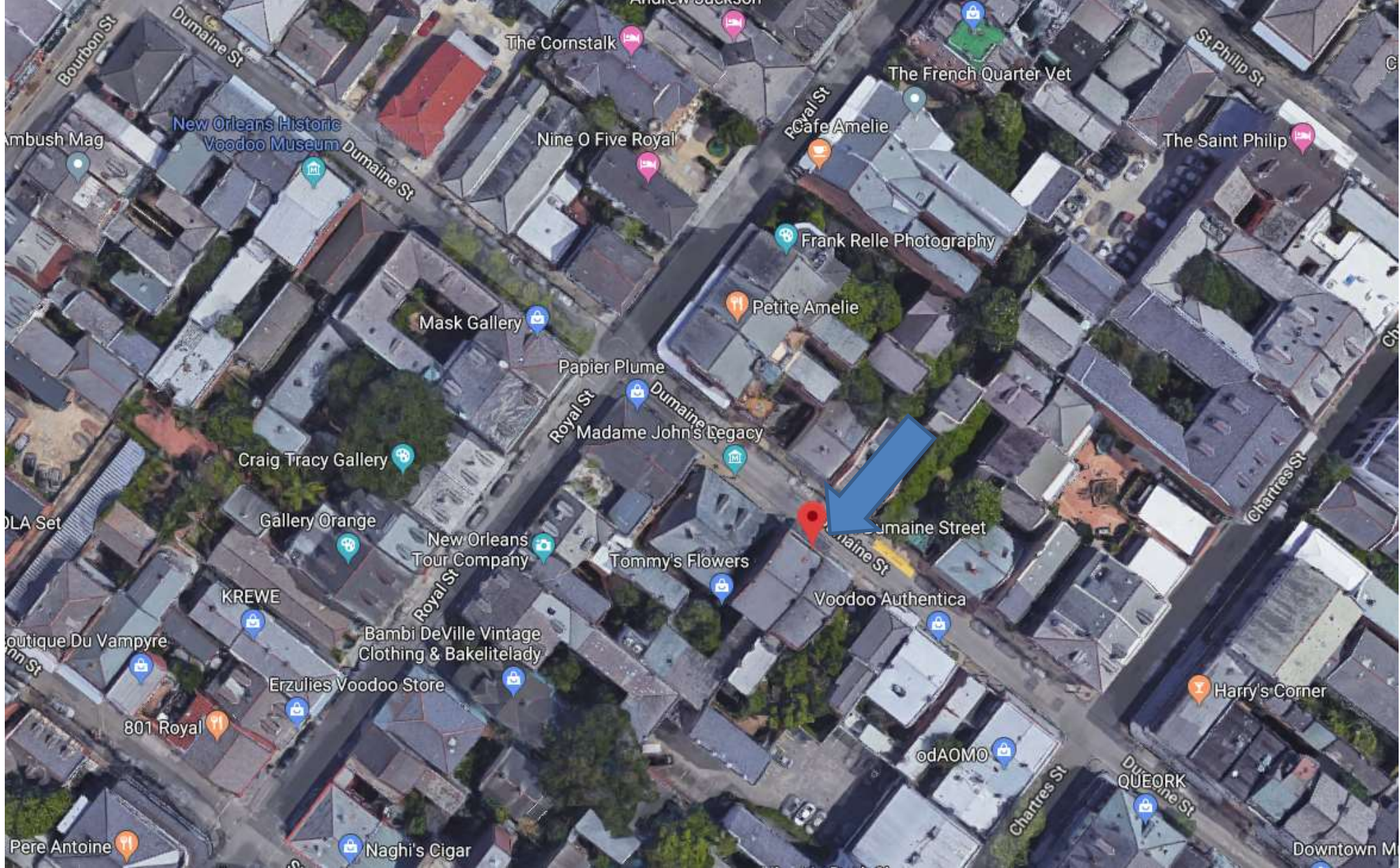
VCC Architectural Committee

February 26, 2019





624 Dumaine



624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

02 15 2019

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019





02 15 2019

624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019





624 Dumaine

VCC Architectural Committee

February 26, 2019



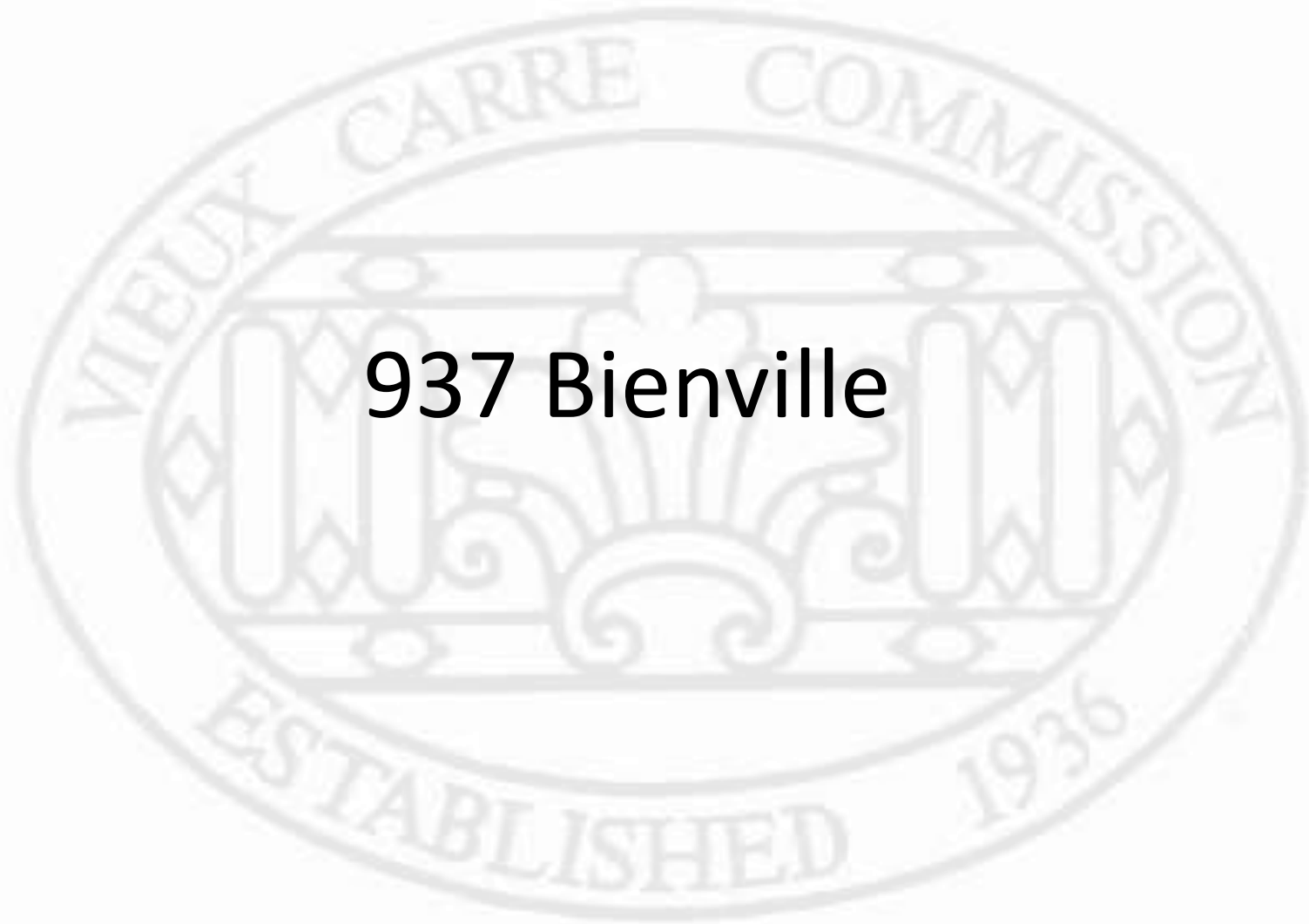


624 Dumaine

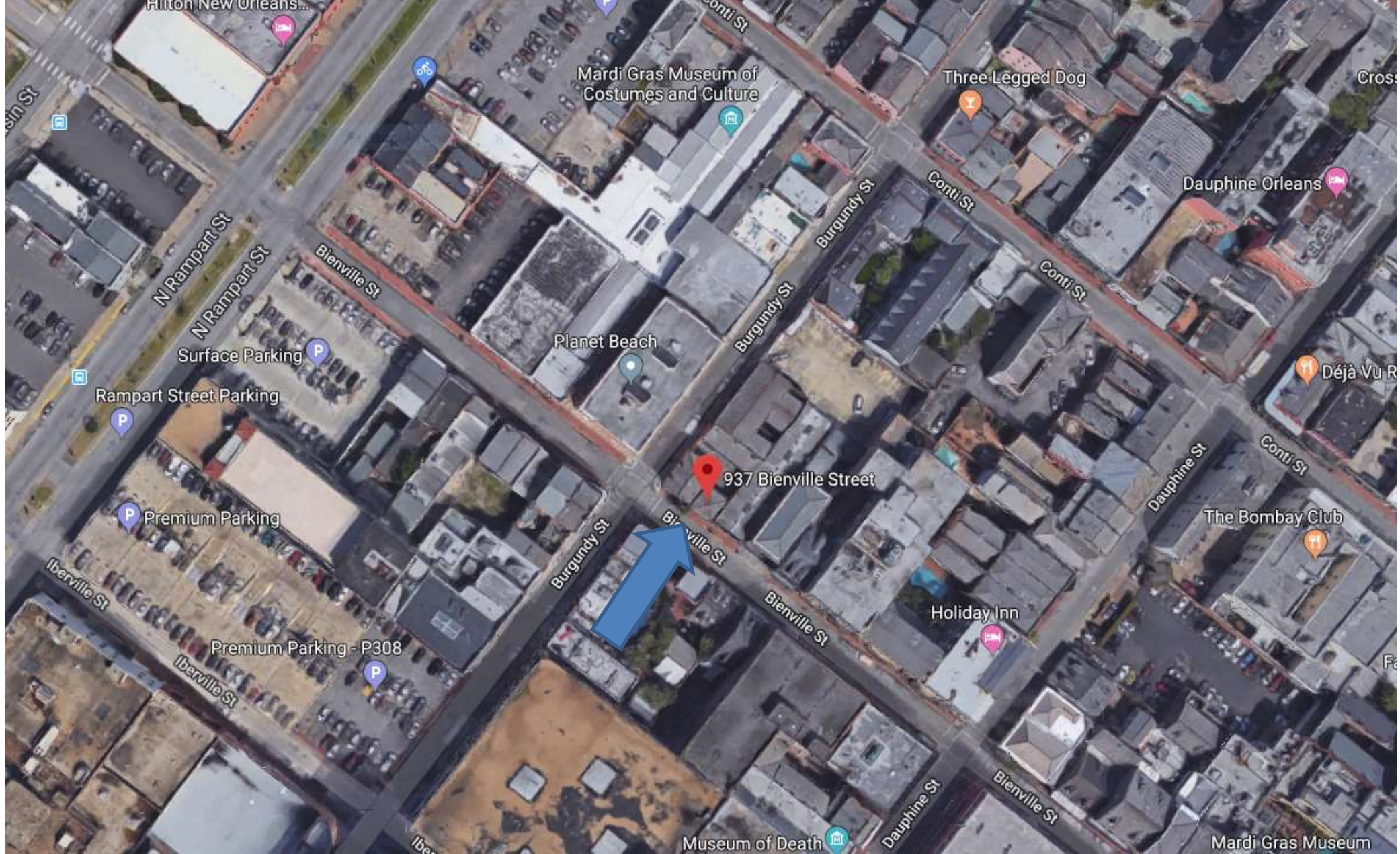
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937 Bienville



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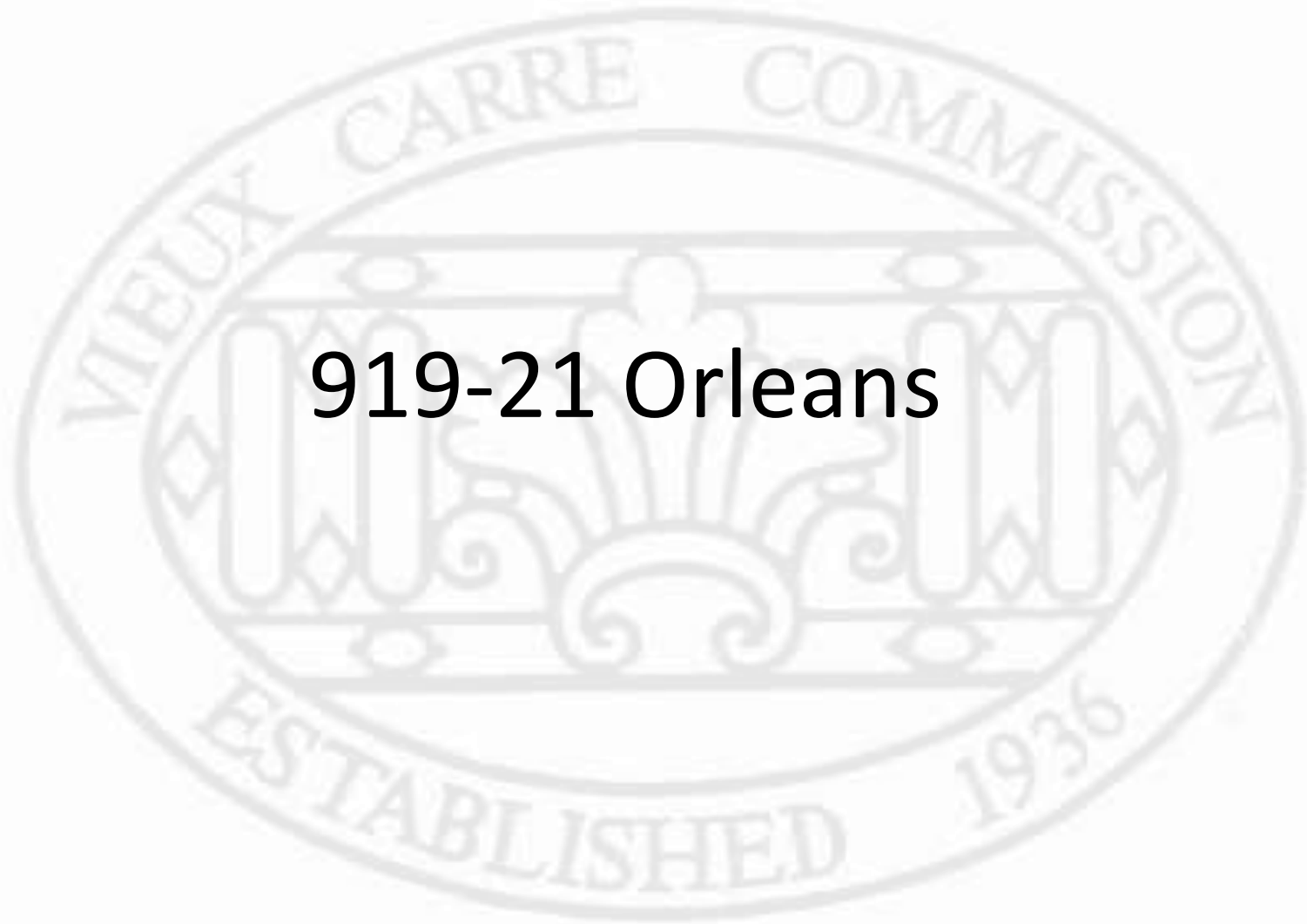
Marks USA Keyless Access Control Lockset: Through-Hole, Black Metallic, For 1 3/4 in Min Door Thickness, 2 3/4 in Backset

Item # 110Z484

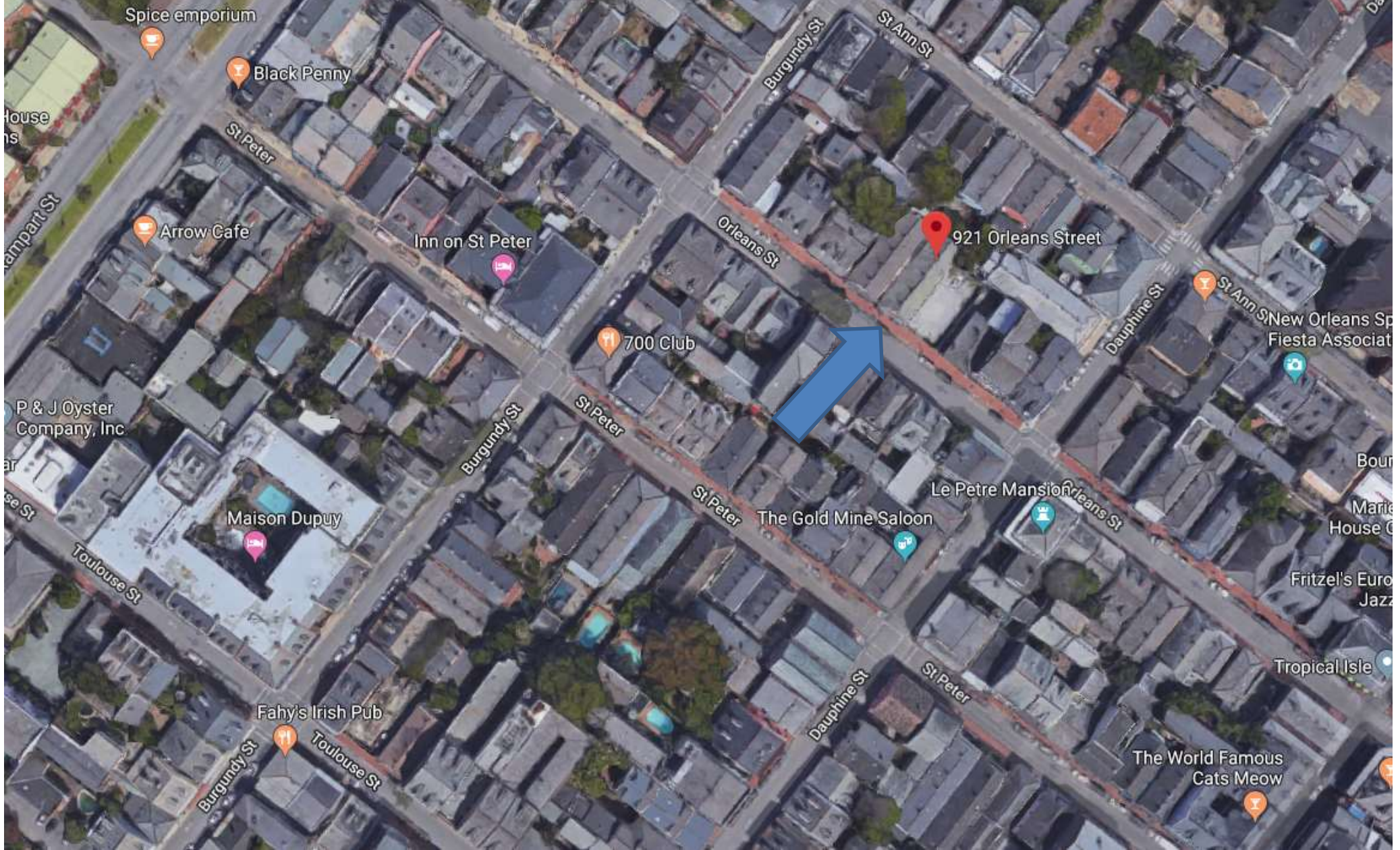
\$604.61 Each

Product Specs

Mounting Type:	Through-Hole
Finish/Coating:	Black Metallic
For Minimum Door Thickness:	1 3/4 in
For Maximum Door Thickness:	1 3/4 in
Backset:	2 3/4 in
Throw Length:	1/2 in
For Door Handing:	Left/Right
Indoor or Outdoor Use:	Indoor
Maximum User Codes:	160
Manufacturer Part Number:	IQ1LITE
ADA Compliant:	Yes
Application:	Schools
Battery Size:	AA
Case Material:	Aluminum



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Array By Hampton™ Deadbolt Specifications

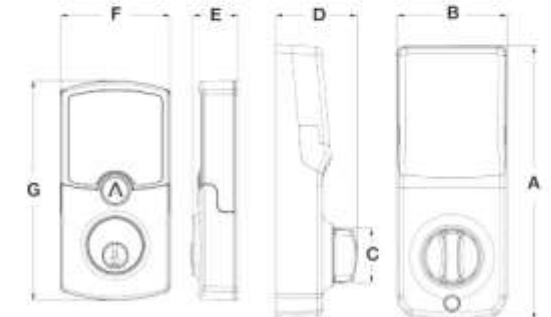
Cooper



Barrington



Finishes	119 Satin Nickel	125 Polished Chrome	150 Tuscan Bronze
Cooper	•	•	•
Barrington	•	•	•



Styles	A (in)	B (in)	C (in)	D (in)	E (in)	F (in)	G (in)
Cooper	6.85	2.76	1.36	2.04	1.14	2.75	5.50
Barrington	6.85	2.76	1.36	2.04	1.14	3.00	5.55

→ proposed replacement keypads

Array Deadbolt Specifications & Options	
ANSI Grade:	Meets Grade 2 standards
Cylinder:	KW1, SC1 available, 5 pin
Keying:	Keyed Different. Master key, construction key available
Latch:	6-way Adjustable 2-3/8" and 2-3/4", round, square and drive-in
Strike:	2-3/4" Square corner with 2-3/4" reinforcement plate
Door Preparation:	Cross bore 2-1/8", edge bore 1", 1" x 2-1/4" latch mortise, backset 2-3/8" or 2-3/4"
Door Thickness:	1-3/8" to 1-3/4"
Faceplate:	2-1/4" round and square corner
Warranty:	Lifetime mechanical and finish, 1 year electronics

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 18100 Pacific Coast, CA 91042-2892
 951-981-4749
 www.array.com • 1-800-352-2422
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 84320-0001 01/16/16



February 26, 2019



Free^{exit} Vinci

"Mechanical codelock"

LOCINOX®

Let's make better fences together

appeal to retain on gate

Mechanical codelock with secured entrance and free exit.



The Free Vinci offers you the ability to secure one side with a code for entrance while leaving the other side free for exit. This lock is 100% mechanical, so no batteries or electricity are required, which makes it very easy to equip any gate with access control. The latch bolt has 3/4" continuous adjustment to allow perfect alignment of the locking mechanism. Ships standard with the Club handle for the secure "code" side and a round knob for the exit side. The PUSH handle is available for the exit side. The latch gap required is keeper dependent, but the standard and security keepers require a 1-1/4" latch gap.

Specifications:

- Entrance secured by code, free exit
- Code panel with stainless steel push buttons on one side
- Fast and easy set-up or modify of the access codes
- With adjustable rollerbolt for easy closing
- Extremely strong and user-friendly mechanism
- Automatic code reset after opening by means of the handle
- Anti-code detection with integrated security press plate
- Optional PUSH handle available for Free Exit side
- Easily converts to left or right handed

Code panel with stainless steel push buttons on one side:





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SLIM18Y

appeal to retain, both sides of house



Color: Bronze Weight: 4.5 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	18W
120V:	0.15A	Color Temp:	3000K (Warm)
208V:	0.09A	Color Accuracy:	71 CRI
240V:	0.08A	L70 LifeSpan:	100,000
277V:	0.08A	Lumens:	2,552
Input Watts:	21W	Efficiency:	120 LPW
Efficiency:	85%		

12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Technical Specifications

Listings

UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

ADA Compliant:

SLIM™ is ADA Compliant

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities.

DLC Product Code: RW14GJJC

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

Housing:

Precision die-cast aluminum housing

Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation

Recommended Mounting Height:

Up to 14 ft

Lens:

Tempered glass lens

Reflector:

Specular thermoplastic

Gaskets:

High-temperature silicone

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LED:

Multi-chip, long-life LED

Lifespan:

100,000 hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent 80-m to 80-fu color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377, 2017

Other

Patents:

The design of the SLIM™ is protected by patents in U.S., Pat 6,881,864, and pending patents in Canada, China, Taiwan and Mexico.

HID Replacement Range:

Replaces 100W Metal Halide

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture the product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 UB O0

Electrical

Driver:

Constant Current, Class 2, 100-277V, 5080 Hz., 4kV surge protection, 120V: 0.15A, 208V: 0.11A, 240V: 0.10A, 277V: 0.08A

THD:

11% at 120V, 21% at 277V

SLIM18Y

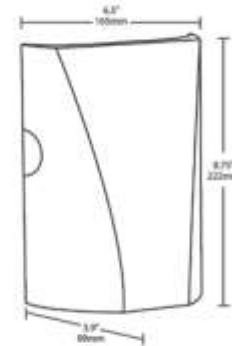
Technical Specifications (continued)

Electrical

Power Factor:

99.2% at 120V, 91.5% at 277V

Dimensions



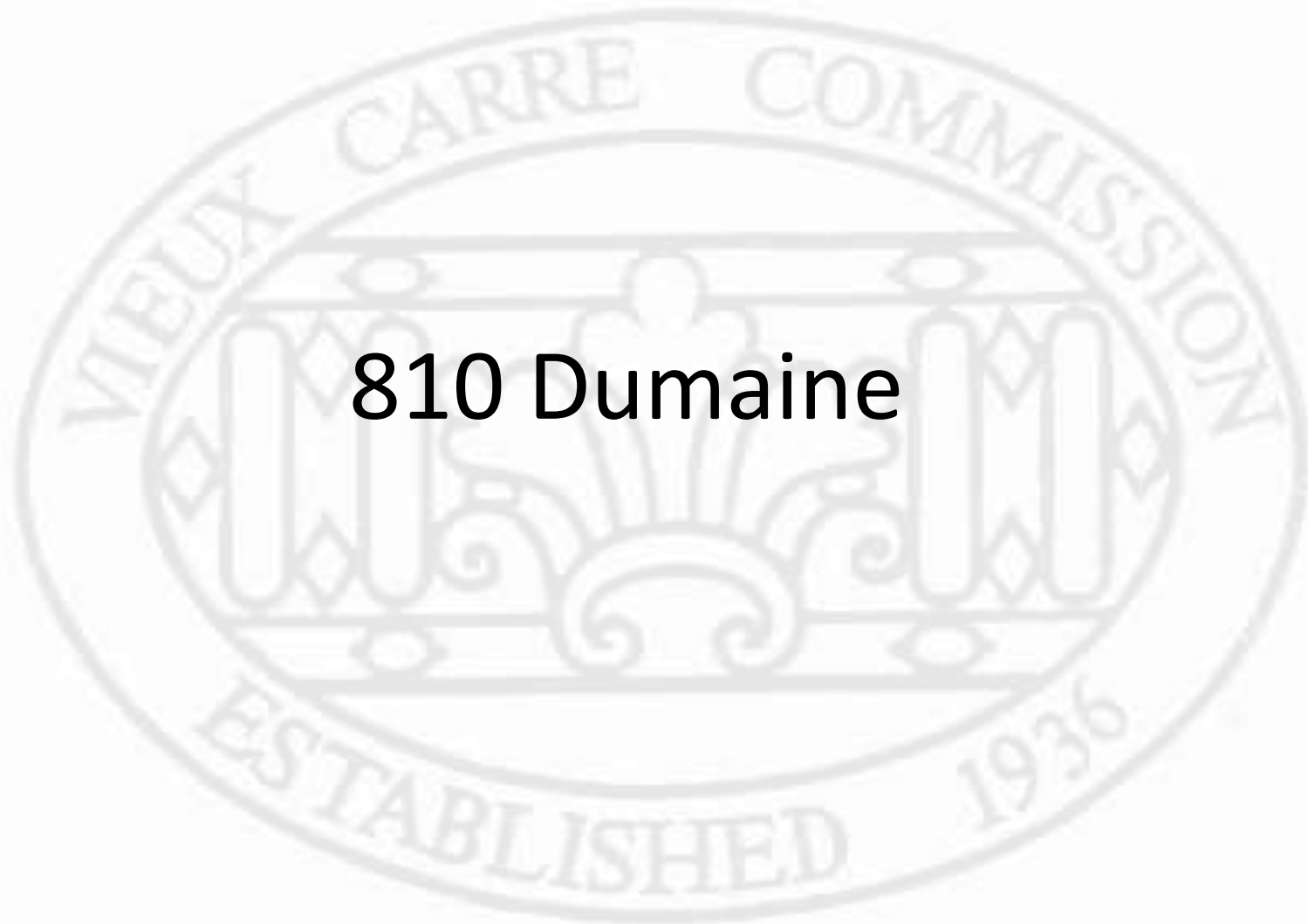
Features

- Full sized, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Conductor Ready features for easy installation
- 100,000-hour LED Life
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Wattage	Color Temp.	Finish	Driver	Options
SLIM	18	Y	R	A	R
	12 = 12W 18 = 18W 26 = 26W	Blank = 5000K (Cool) R = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze W = White	Blank = Standard (120-277V) D08 = Dimmable	Blank = No Option IPC = 120V Button IPC2 = 277V Button LC = Lightcloud Controller





810 Dumaine



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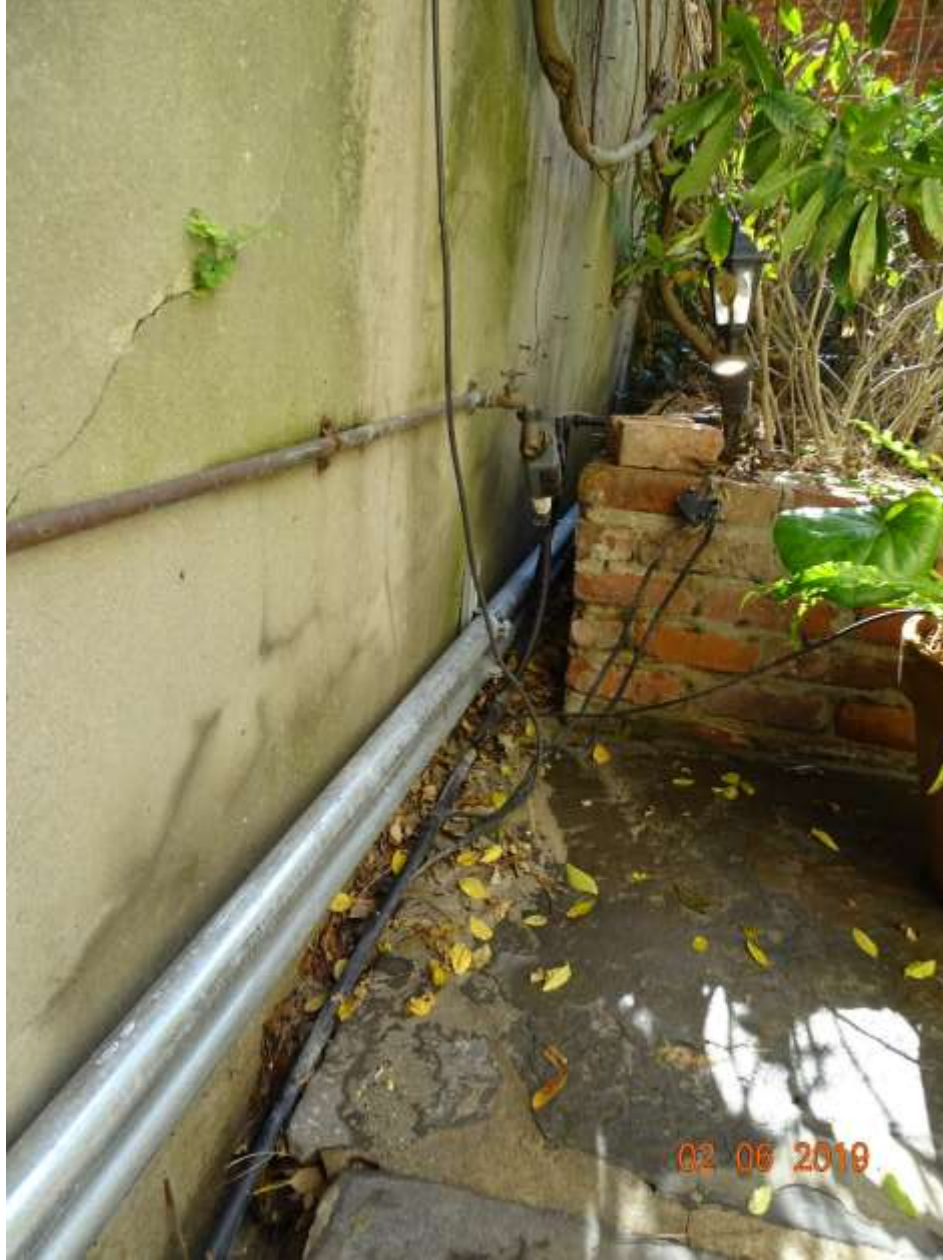


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The Kohler* Advantage

- **High Quality Power**
Kohler home generators provide advanced voltage and frequency regulation along with ultra-low levels of harmonic distortion for excellent generator power quality to protect your valuable electronics.
- **Extraordinary Reliability**
Kohler is known for extraordinary reliability and performance and backs that up with a premium five-year or 2000 hour limited warranty.
- **All-Aluminum Sound Enclosure**
- **Quiet Operation**
Kohler home generators provide quiet, neighborhood-friendly performance.

Generator Set Ratings

Alternator	Voltage	Ph	Hz	Standby Ratings			
				Natural Gas		LPG	
				kW/kVA	Amps	kW/kVA	Amps
4E5.0	120/240	1	60	21/21	87	24/24	100
	120/208	3	60	21/26	73	23/28	80
	127/220	3	60	21/26	69	23/28	75
	120/240	3	60	21/26	63	23/28	69
4D5.0	277/480	3	60	21/26	32	23/28	35
	230/380*	3	50	18/20	30	17/22	33
	230/400	3	50	18/21	30	18/23	33
	240/416*	3	50	18/21	29	18/23	32

* 50 Hz models are factory-connected as 230/400 volts. Field-adjustable to 220/380 or 240/416 volts by an authorized service technician.

NOTES: All three phase units are rated at 0.8 power factor. All single-phase units are rated at 1.0 power factor. Due to manufacturing variations, the ratings tolerance is ± 0%. Standby ratings: Standby ratings apply to installations served by a reliable utility source. This standby rating is applicable to varying loads with an average load factor of 80% for the duration of a power outage. The overload capacity is specified for this rating. Ratings are in accordance with ISO 8543-1, ISO 8543-2, and IEC 60076-1. OPERATING CAPACITIES FOR 2000 HOUR: Airflow Density: 1.20 kg per 100 m³ (208 lb) elevation above 300 m (984 ft). Temperature: Density 3.0% per 1° C (1.8° F) temperature above 25° C (77° F). Availability is subject to change without notice. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever. Contact your local Kohler generator distributor for availability.

Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The generator set accepts rated load in one step.
- A standard five-year or 2000 hour limited warranty covers all systems and components.
- Quick-ship (QS) models with selected features are available. See your Kohler distributor for details.
- Meets 291 kph (181 mph) wind load rating.
- RDC2 Controller
 - One digital controller manages both the generator set and transfer switch functions (with optional Model RXT transfer switch).
 - Designed for today's most sophisticated electronics.
 - Electronic speed control responds quickly to varying household demand.
 - Digital voltage regulation protects your valuable electronics from harmonic distortion and unstable power quality.
 - Two-line, backlit LCD screen is easy to read in all lighting conditions, including direct sunlight and low light.
- Engine Features
 - Powerful and reliable 2.2 L liquid-cooled engine
 - Electronic engine management system.
 - Simple field conversion between natural gas and LPG fuels while maintaining emission certification.
- Innovative Cooling System
 - Electronically controlled fan speeds minimize generator set sound signature.
- Certifications
 - The 60 Hz generator set engine is certified by the Environmental Protection Agency (EPA) to conform to the New Source Performance Standard (NSPS) for stationary spark-ignited emissions.
 - UL 2200/cUL listing is available (60 Hz only).
 - CSA certification is available (60 Hz only).
 - Accepted by the Massachusetts Board of Registration of Plumbers and Gas Fitters.
- Approved for stationary standby applications in locations served by a reliable utility source.

Specifications	Alternator
Manufacturer	Kohler
Type	4-Pole, Rotating Field
Exciter type	Brushless, Wound-Field
Leads: quantity, type	4, 120/240
4E5.0	12, Reconnectable
4D5.0	Solid State, Volts/Hz
Voltage regulator	NEMA MG1
Insulation	Class H
Material	130° C, Standby
Temperature rise	1, Sealed
Bearing: quantity, type	Flexible Disc
Coupling	±1.0% Maximum
Voltage regulation, no-load to full-load	100% of Rated Standby Current
Unbalanced load capability	100% of Rating
One-step load acceptance	(35% dip for voltages below)
Peak motor starting kVA:	37 (60 Hz)
240 V	4E5.0 (4 lead)
480 V, 400 V	4D5.0 (12 lead)
	59 (60 Hz) 44 (50 Hz)

Alternator Specifications

- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting.
- Sustained short-circuit current of up to 300% of the rated current for up to 10 seconds.
- Sustained short-circuit current enabling downstream circuit breakers to trip without collapsing the alternator field.
- Self-ventilated and drip-proof construction.
- Windings are vacuum-impregnated with epoxy varnish for dependability and long life.
- Superior voltage waveform from a two-thirds pitch stator and skewed rotor.
- Total harmonic distortion (THD) from no load to full load with a linear load is less than 5%.

Application Data

Engine

Engine Specifications	60 Hz	50 Hz
Manufacturer	Kohler	
Engine: model, type	Residential Powertrain KG2204, 2.2 L, 4-Cycle Natural Aspiration	
Cylinder arrangement	In-line 4	
Displacement, L (cu. in.)	2.2 (134.25)	
Bore and stroke, mm (in.)	91 x 86 (3.5 x 3.4)	
Compression ratio	10.5:1	
Piston speed, m/min. (ft./min.)	310 (1016)	258 (847)
Main bearings: quantity, type	5, plain alloy steel	
Rated rpm	1800	1500
Max. power at rated rpm, kW (HP)		
LPG	30 (40)	NA
Natural Gas	27 (36)	NA
Cylinder head material	Cast Iron	
Piston type and material	High Silicon Aluminum	
Crankshaft material	Nodular Iron	
Valve (exhaust) material	Forged Steel	
Governor type	Electronic	
Frequency regulation, no-load to full-load	Isochronous	
Frequency regulation, steady state	±1.0%	
Frequency	Fixed	
Air cleaner type	Dry	

Exhaust

Exhaust System	60 Hz	50 Hz
Exhaust manifold type	Dry	
Exhaust temperature at rated kW, dry exhaust, °C (°F)	633 (1171)	
Maximum allowable back pressure, kPa (in. Hg)	7.5 (2.2)	

Fuel

Fuel System	Natural Gas or LPG
Fuel type	Natural Gas or LPG
Fuel supply line inlet	1 in. NPT
Natural gas fuel supply pressure, kPa (in. H ₂ O)	1.24-2.74 (5-11)
LPG vapor withdrawal fuel supply pressure, kPa (in. H ₂ O)	1.24-2.74 (5-11)

Fuel Composition Limits *	Nat. Gas	LP Gas
Methane, % by volume	90 min.	—
Ethane, % by volume	4.0 max.	—
Propane, % by volume	1.0 max.	85 min.
Propene, % by volume	0.1 max.	5.0 max.
C ₂ and higher, % by volume	0.3 max.	2.5 max.
Sulfur, ppm mass	25 max.	
Lower heating value, MJ/m ³ (Btu/ft ³), min.	33.2 (890)	84.2 (2260)

* Fuels with other compositions may be acceptable. If your fuel is outside the listed specifications, contact your local distributor for further analysis and advice.

Lubrication

Lubricating System	Full Pressure
Type	Full Pressure
Oil pan capacity, L (qt.)	4.2 (4.4)
Oil added during oil change (on average), L (qt.)	3.3 (3.5)
Oil filter: quantity, type	1, Cartridge

Engine Electrical

Engine Electrical System	
Ignition system	Electronic
Battery charging alternator:	
Ground (negative/positive)	Negative
Volts (DC)	14
Ampere rating	90
Starter motor rated voltage (DC)	12
Battery, recommended rating for -18° C (0° F): Qty., cold cranking amps (CCA)	One, 630
Battery voltage (DC)	12
Battery group size	24



Application Data

Cooling

Radiator System	60 Hz	50 Hz
Ambient temperature, °C (°F)	45 (113)	
Engine jacket water capacity, L (gal.)	2.65 (0.7)	
Radiator system capacity, including engine, L (gal.)	13.2 (3.5)	
Water pump type	Centrifugal	
Fan diameter, mm (in.)	qty. 3 @ 406 (16)	
Fan power requirements (powered by engine battery charging alternator)	12VDC, 18 amps each	

Operation Requirements

Air Requirements	60 Hz	50 Hz
Radiator-cooled cooling air, m ³ /min. (scfm) [‡]	51 (1800)	51 (1800)
Combustion air, m ³ /min. (cfm)	1.4 (49)	1.2 (42)
Air over engine, m ³ /min. (cfm)	25 (900)	25 (900)

[‡] Air density = 1.20 kg/m³ (0.075 lbm/ft³)

Fuel Consumption[‡]

Natural Gas, m ³ /hr. (cfh) at % load	60 Hz	50 Hz
100%	8.5 (301)	7.8 (275)
75%	6.3 (223)	6.4 (225)
50%	5.6 (199)	5.4 (192)
25%	4.0 (140)	3.3 (116)
Exercise	2.8 (97)	2.9 (103)

LP Gas, m ³ /hr. (cfh) at % load	60 Hz	50 Hz
100%	3.2 (113)	2.7 (96)
75%	2.8 (97)	2.3 (81)
50%	2.4 (84)	2.0 (72)
25%	1.8 (63)	1.7 (60)
Exercise	1.4 (51)	1.4 (48)

[‡] Nominal Fuel Rating: Natural gas, 37 MJ/m³ (1000 Btu/ft³)
LP Vapor, 93 MJ/m³ (2500 Btu/ft³)

LP vapor conversion factors:

8.58 ft.³ = 1 lb.
0.535 m³ = 1 kg.
36.39 ft.³ = 1 gal.

Sound Enclosure Features

- Sound-attenuating enclosure uses acoustic insulation that meets UL 94 HF1 flammability classification and repels moisture absorption.
- Internally mounted critical silencer.
- Skid-mounted, aluminum construction with two removable access panels.
- Fade-, scratch-, and corrosion-resistant Kohler® cashmere powder-baked finish.

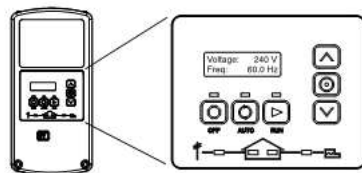
Sound Data

Model 24RCL 8 point logarithmic average sound levels are 54 dB(A) during weekly engine exercise and 61 dB(A) during full-speed generator diagnostics and normal operation. For comparison to competitor ratings, the lowest point sound levels are 52 dB(A) and 60 dB(A) respectively.*

All sound levels are measured at 7 meters with no load.

* Lowest of 8 points measured around the generator. Sound levels at other points around generator may vary depending on installation parameters.

RDC2 Controller



The RDC2 controller provides integrated control for the generator set, Kohler® Model RXT transfer switch, programmable interface module (PIM), and load management.

The RDC2 controller's 2-line LCD screen displays status messages and system settings that are clear and easy to read, even in direct sunlight or low light.

RDC2 Controller Features

- Membrane keypad
 - OFF, AUTO, and RUN push buttons
 - Select and arrow buttons for access to system configuration and adjustment menus
- LED indicators for OFF, AUTO, and RUN modes
- LED indicators for utility power and generator set source availability and ATS position (Model RXT transfer switch required)
- LCD screen
 - Two lines x 16 characters per line
 - Backlit display with adjustable contrast for excellent visibility in all lighting conditions
- Scrolling system status display
 - Generator set status
 - Voltage and frequency
 - Engine temperature
 - Oil pressure
 - Battery voltage
 - Engine runtime hours
- Date and time displays
- Smart engine cooldown senses engine temperature
- Digital isochronous governor to maintain steady-state speed at all loads
- Digital voltage regulation: ± 1.0% RMS no-load to full-load
- Automatic start with programmed cranking cycle
- Programmable exerciser can be set to start automatically on any future day and time, and to run every week or every two weeks
- Exercise modes
 - Unloaded exercise with complete system diagnostics
 - Unloaded full-speed exercise
 - Loaded full-speed exercise (Model RXT ATS required)
- Front-access mini USB connector for SiteTech™ connection
- Integral Ethernet connector for Kohler® OnCue® Plus
- Built-in 2.5 amp battery charger
- Remote two-wire start/stop capability for optional connection of a Model RDT transfer switch

See additional controller features on the next page.

KOHLER

KOHLER CO., Kohler, Wisconsin 53044 USA
Phone 920-457-4441, Fax 920-459-1646
For the nearest sales and service outlet in the US and Canada, phone 1-800-544-2444
KOHLERPower.com

Additional RDC2 Controller Features

- Diagnostic messages
 - Displays diagnostic messages for the engine, generator, Model RXT transfer switch, programmable interface module (PIM), and load management device
 - Over 70 diagnostic messages can be displayed
- Maintenance reminders
- System settings
 - System voltage, frequency, and phase
 - Voltage adjustment
 - Measurement system, English or metric
- ATS status (Model RXT ATS required)
 - Source availability
 - ATS position (normal/utility or emergency/generator)
 - Source voltage and frequency
- ATS control (Model RXT ATS required)
 - Source voltage and frequency settings
 - Engine start time delay
 - Transfer time delays
 - Fixed pickup and dropout settings
 - Voltage calibration
- Programmable interface module (PIM) status displays
 - Input status (active/inactive)
 - Output status (active/inactive)
- Load control menus
 - Load status
 - Test function

Generator Set Standard Features

- Aluminum sound enclosure with enclosed silencer
- Battery rack and cables
- Electronic, isochronous governor
- Flexible fuel line
- Gas fuel system (includes fuel mixer, electronic secondary gas regulator, two gas solenoid valves, and flexible fuel line between the engine and the skid-mounted fuel system components)
- Integral vibration isolation
- Line circuit breaker
- Oil drain extension
- OnCue® Plus Generator Management System
- Operation and installation literature
- RDC2 controller with built-in battery charger
- Standard five-year or 2000 hour limited warranty

Available Options

Approvals and Listings

- UL 2200/cUL Listing (60 Hz only)
- CSA Approval (60 Hz only)

Controller Accessories

- Lockable Emergency Stop (lockout/tagout)
- Programmable Interface Module (PIM) (provides 2 digital inputs and 6 relay outputs)

Electrical System

- Battery
- Battery Heater

Available Options, Continued

Starting Aids

- Oil Pan Heater, 120 V, 1 Ph
 - Oil Pan Heater, 240 V, 1 Ph
- Recommended for ambient temperatures below 0°C (32°F).

Automatic Transfer Switches and Accessories

- Model RDT Automatic Transfer Switch
- Model RXT Automatic Transfer Switch
- Model RXT Automatic Transfer Switch with Combined Interface/Load Management Board
- Load Shed Kit for RDT or RXT
- Power Relay Modules (use up to 4 relay modules for each load management device)

Miscellaneous

- Rated Power Factor Testing

Literature

- General Maintenance Literature Kit
- Overhaul Literature Kit
- Production Literature Kit

Warranty

- Extended 5-Year/2000 Hour Comprehensive Limited Warranty

Other Options

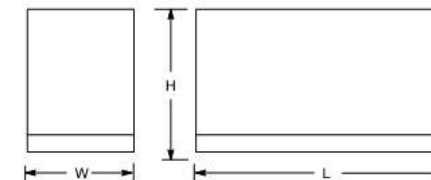
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Dimensions and Weights

Overall Size, L x W x H, mm (in.): 1880 x 836 x 1169 (74 x 32.9 x 46.0)

Shipping Weight, wet, kg (lb.): 572 (1260)

Weight includes generator set with engine fluids, sound enclosure, silencer, and packaging.



NOTE: This drawing is provided for reference only and should not be used for planning installation. Contact your local distributor for more detailed information.

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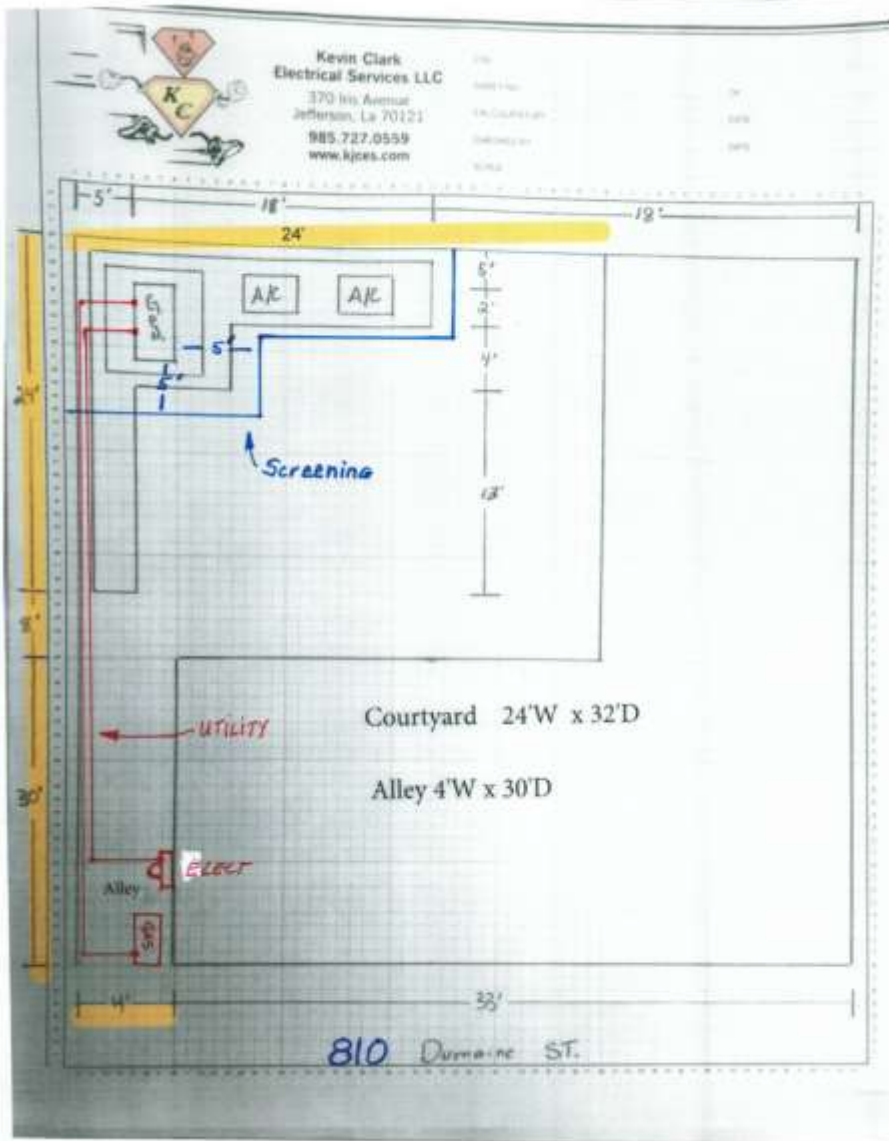
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810 Dumaine

VCC Architectural Committee

February 26, 2019





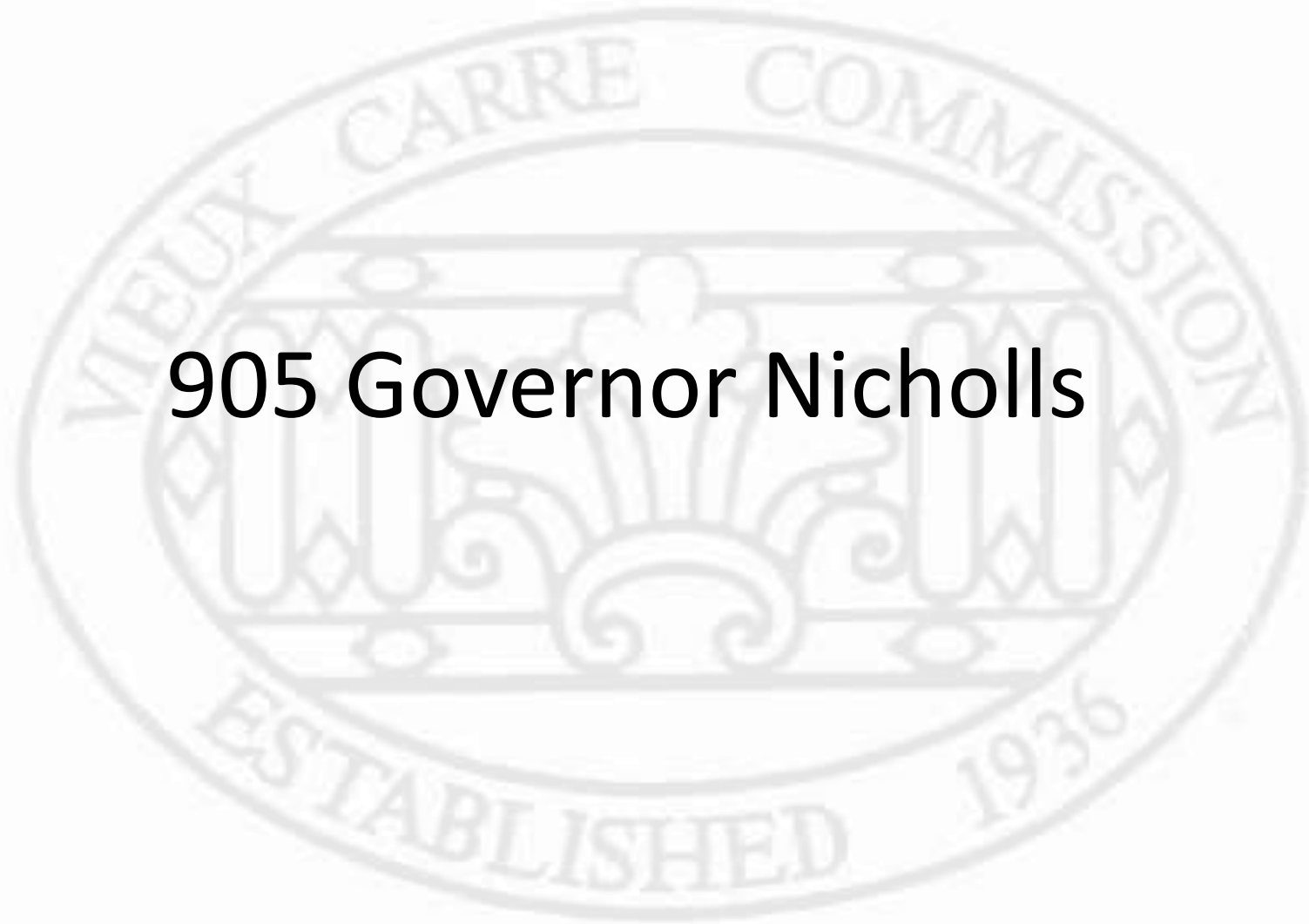
810 Dumaine

VCC Architectural Committee

February 26, 2019



905 Governor Nicholls





905 Governor Nicholls
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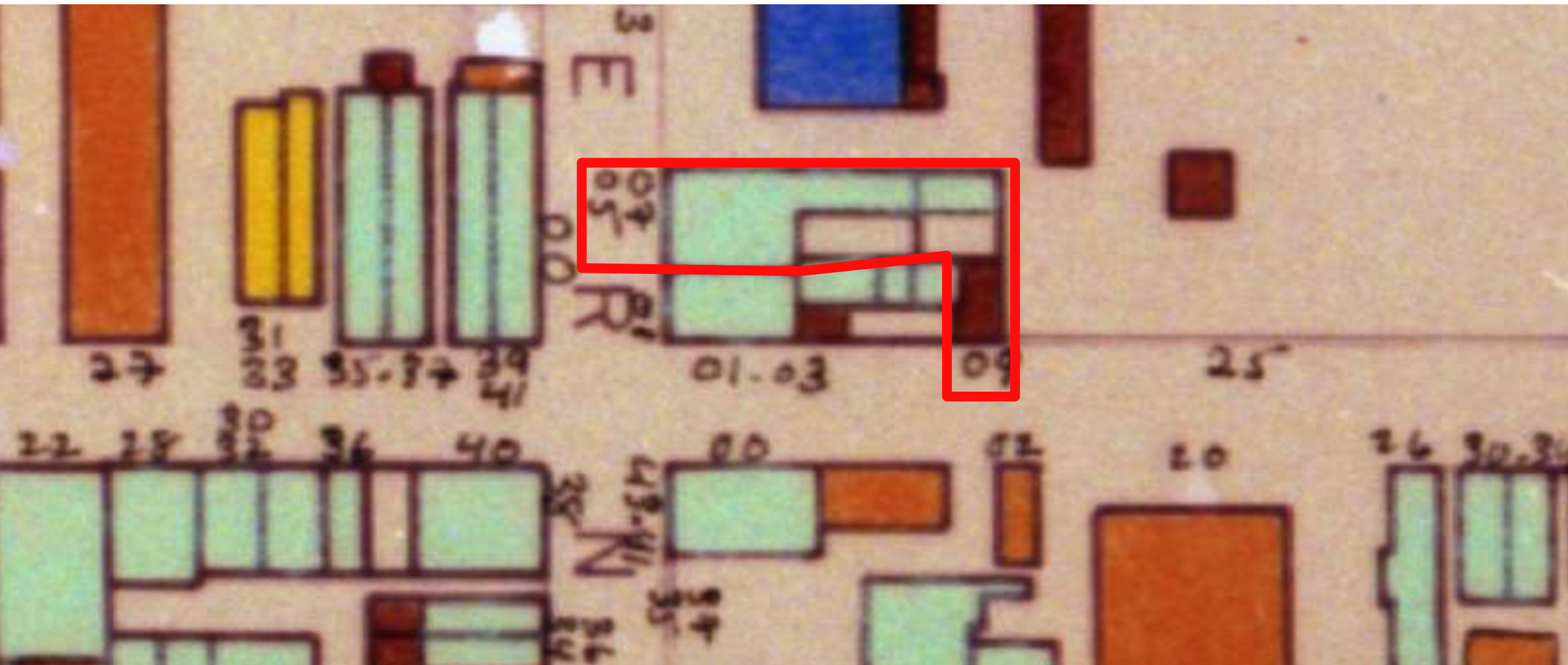




905 Governor Nicholls
VCC Architectural Committee

February 26, 2019







905 Governor Nicholls
VCC Architectural Committee

February 26, 2019





905 Governor Nicholls (corner)

VCC Architectural Committee

February 26, 2019





905 Governor Nicholls
VCC Architectural Committee

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