



Vieux Carré Commission Architecture Committee Meeting

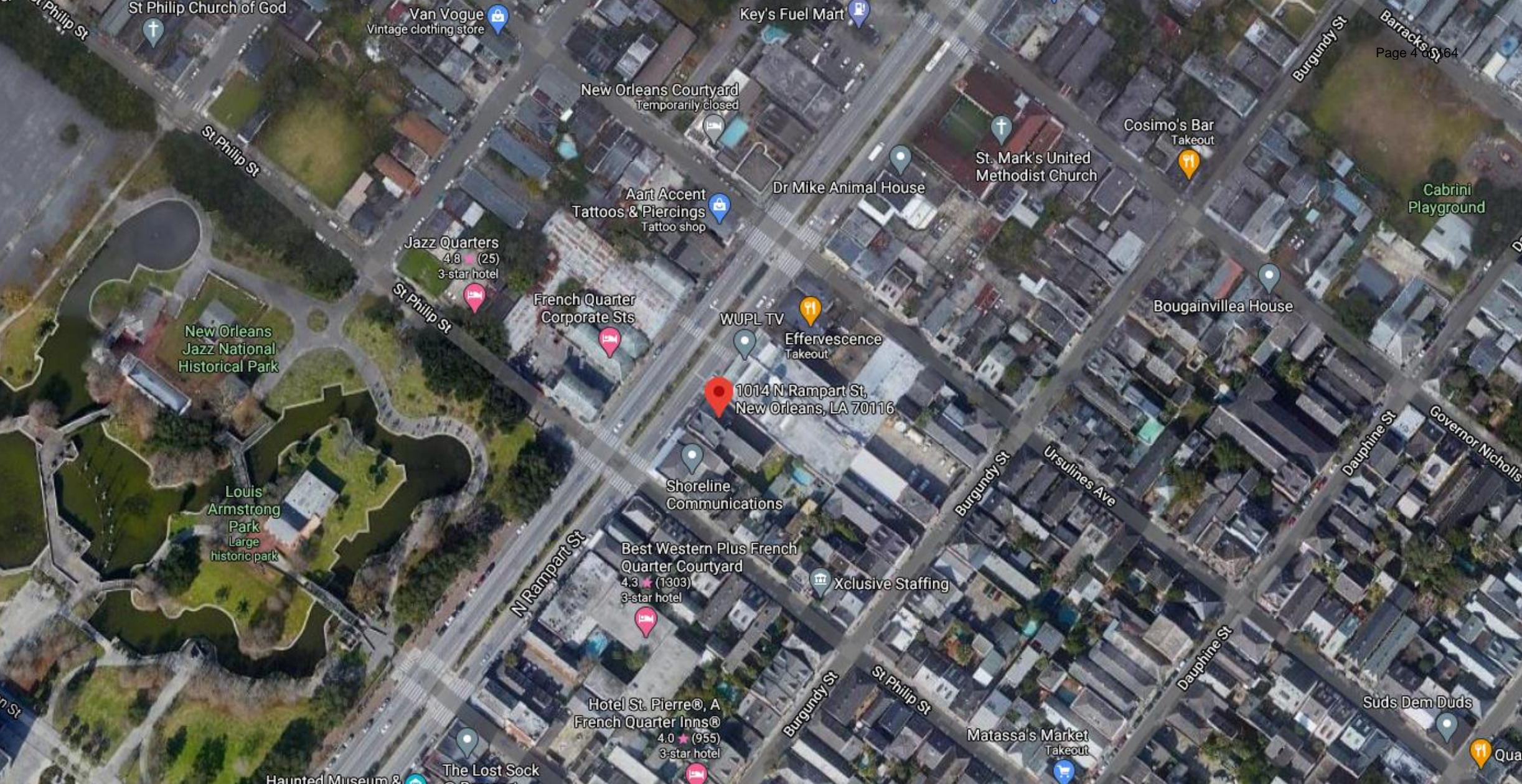
Tuesday, March 9, 2021



Old Business



1014 N Rampart



1014 N Rampart

VCC Architectural Committee

February 9, 2021





1014 N Rampart

VCC Architectural Committee

February 9, 2021



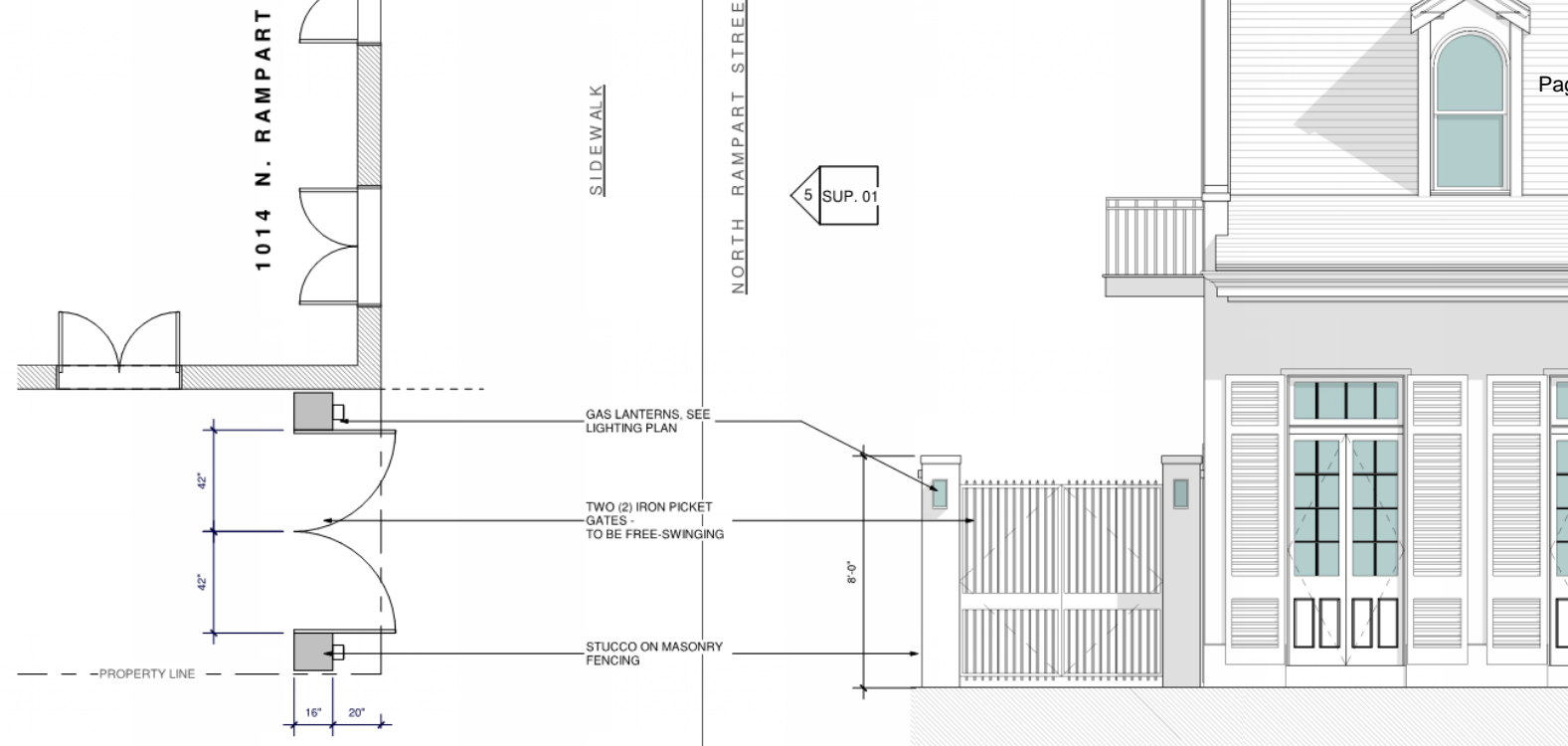


1014 N Rampart

VCC Architectural Committee

February 9, 2021





③ FIRST FLOOR PLAN - REV. 2.1.21
1/4" = 1'-0"

④ N. RAMPART ELEVATION - REV. 2.1.21
1/4" = 1'-0"

CORBETT
ARCHITECT



2115 magazine st
new orleans, la
70130
corbett
@
corbettscottarchitect.com
504 408 1823

A NEW RESTAURANT

1014 NORTH RAMPART

new orleans louisiana 70116

1014 N Rampart

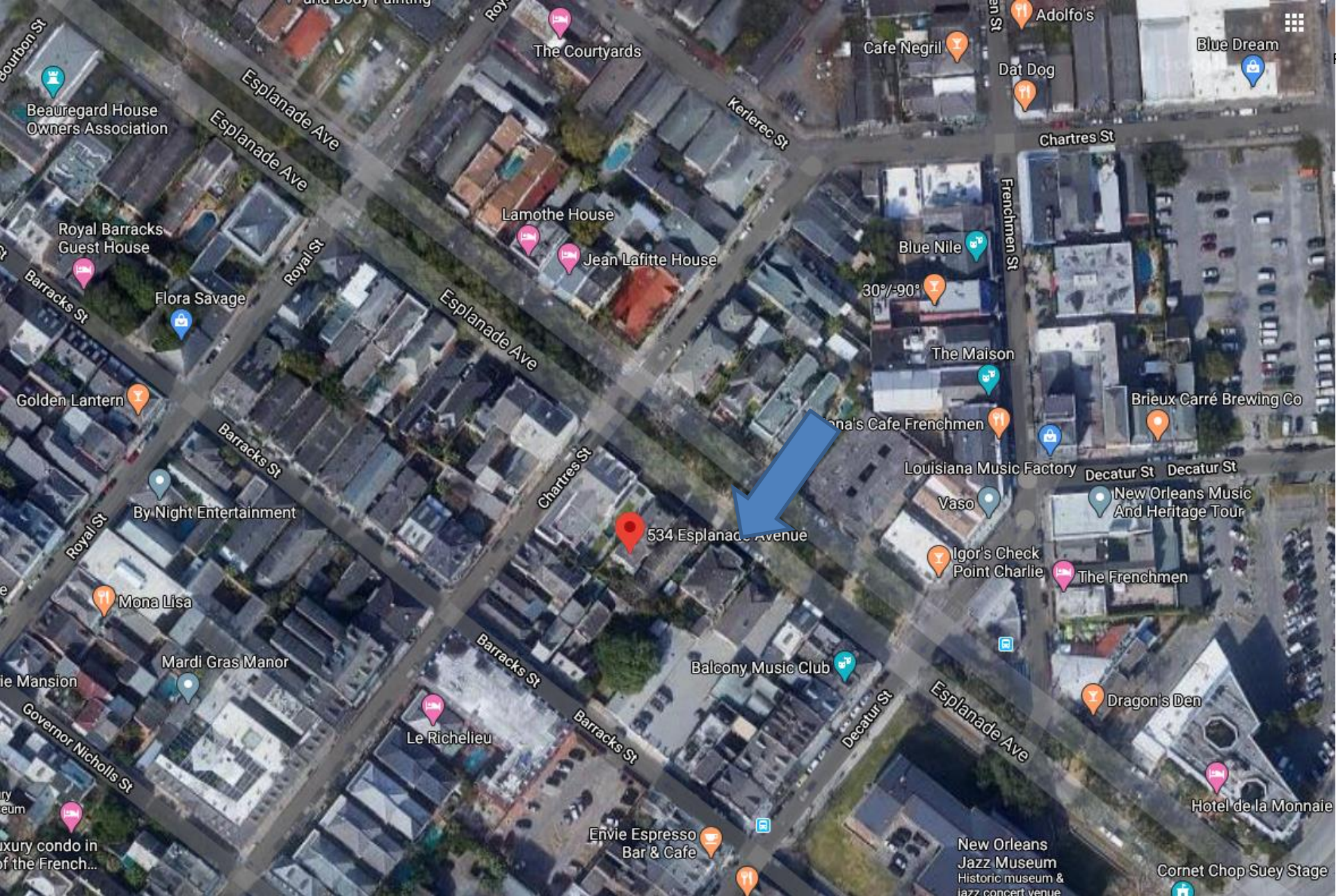
VCC Architectural Committee

February 9, 2021



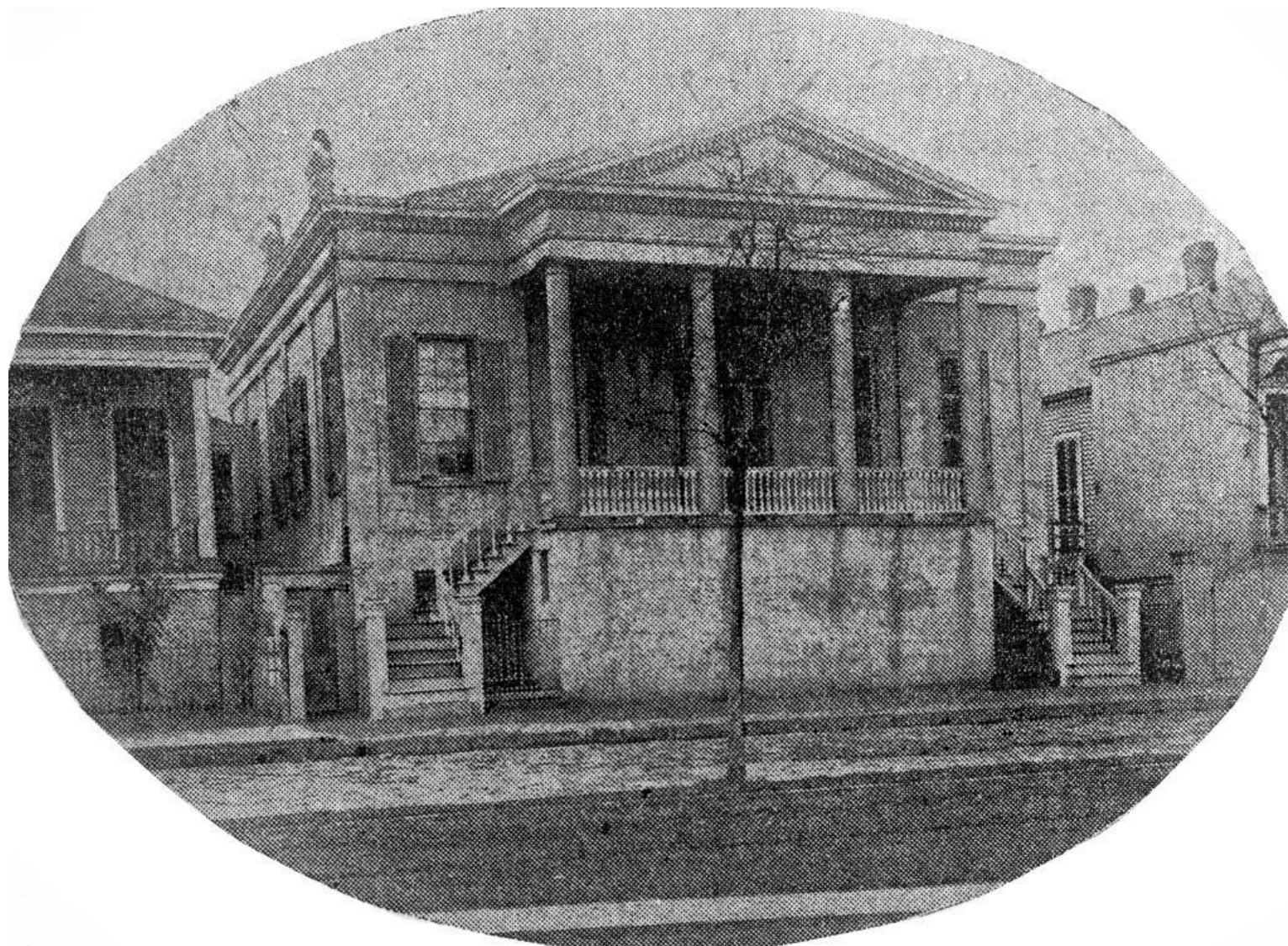


524 Esplanade



524 Esplanade





524 Esplanade – ca. 1902

VCC Architectural Committee

March 9, 2021





524 Esplanade - 1939

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524 Esplanade - 1972

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524 Esplanade - 1990

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March 9, 2021





524 Esplanade - 2005

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March 9, 2021





524 Esplanade - 2005

VCC Architectural Committee

March 9, 2021





524 Esplanade - 2005

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March 9, 2021





524 Esplanade



524 Esplanade

VCC Architectural Committee

04 24 2020

March 9, 2021





524 Esplanade

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March 9, 2021





524 Esplanade

VCC Architectural Committee

March 9, 2021





524 Esplanade

VCC Architectural Committee

08 13 2020

March 9, 2021





524 Esplanade

VCC Architectural Committee

08 13 2020

March 9, 2021



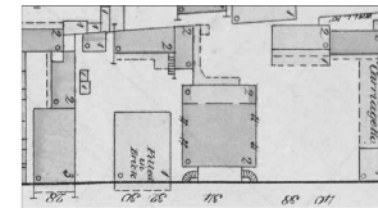


524 Esplanade

VCC Architectural Committee

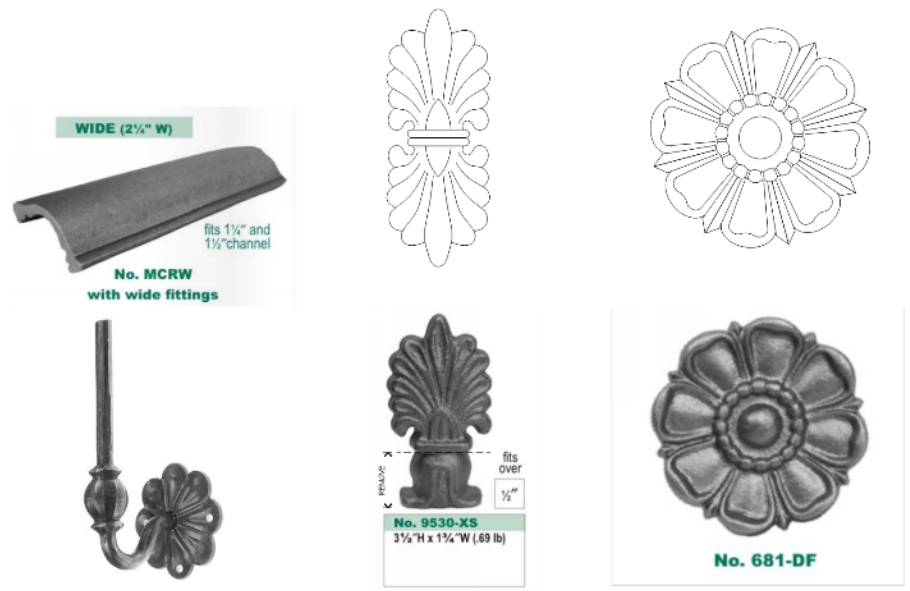
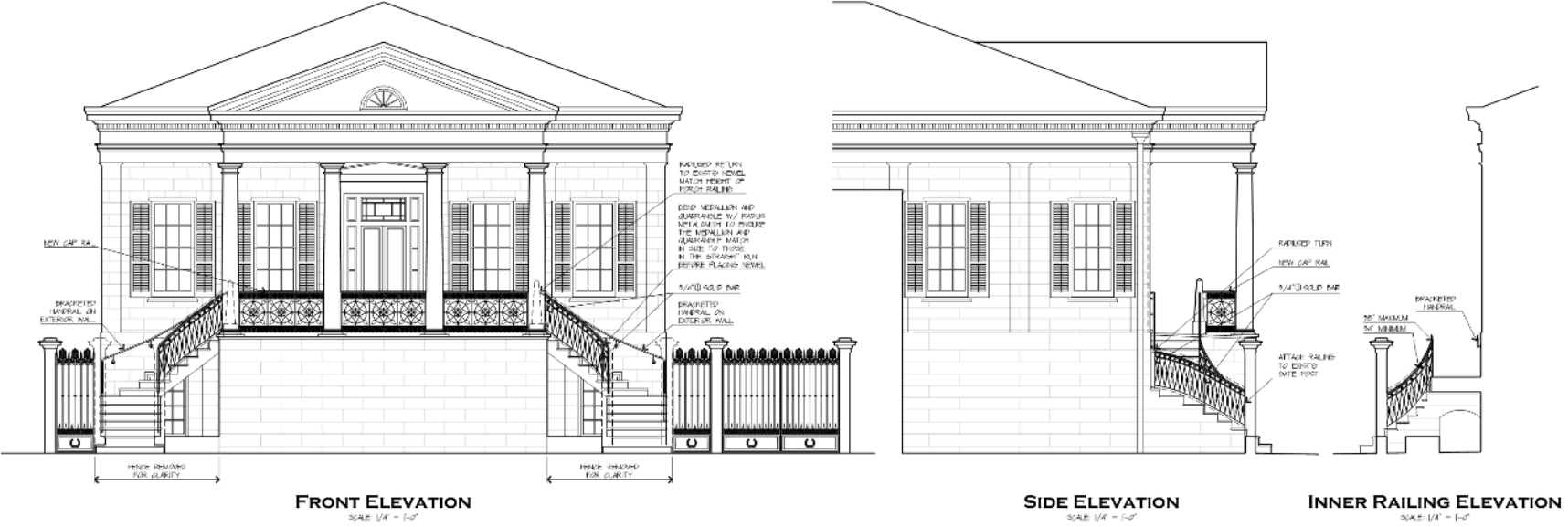
March 9, 2021





COLUMN AND FENCE MODIFICATIONS		Project #
524 ESPLANADE AVENUE		
NEW ORLEANS, LA		
	STUDIO L+R, LLC 1208 BARRACADE STREET NEW ORLEANS, LA 70116 255.609.4313	Date NOV 7, 2010 Time NOV 5, 2010 Project # 104-0000-0000-0000-0000-0000 Project Name L+R
SITE PLAN		Sheet No. 1

March 9, 2021



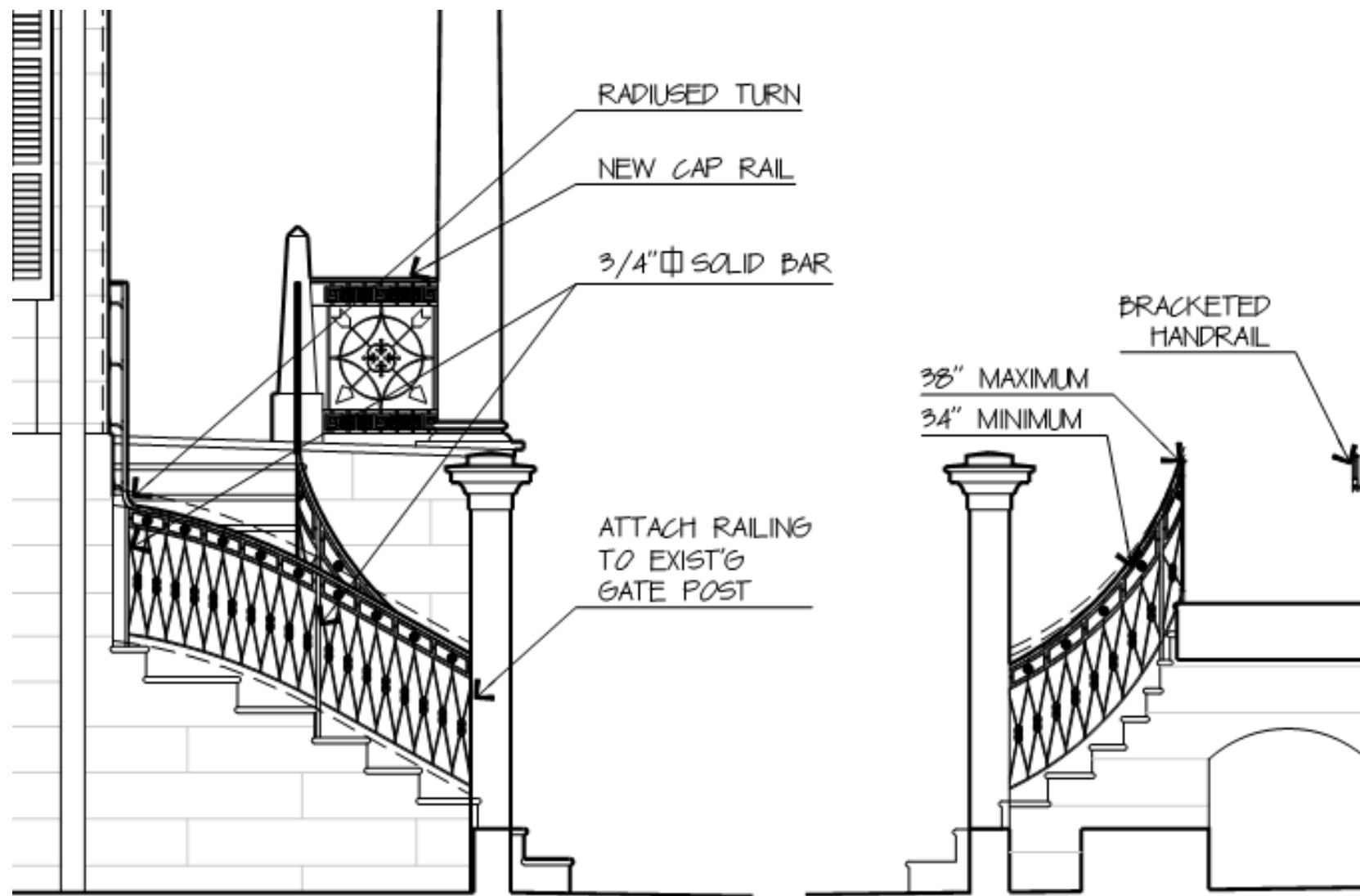
COLUMN AND FENCE MODIFICATIONS		Revised
524 ESPLANADE AVENUE		
NEW ORLEANS, LA		
STUDIO L+R, LLC	DATE	10/20/20
	DATE	10/20/20
	DATE	10/20/20
	DATE	10/20/20
1208 BARRINGER STREET NEW ORLEANS, LA 70118 225.600.4213		
ELEVATIONS		2

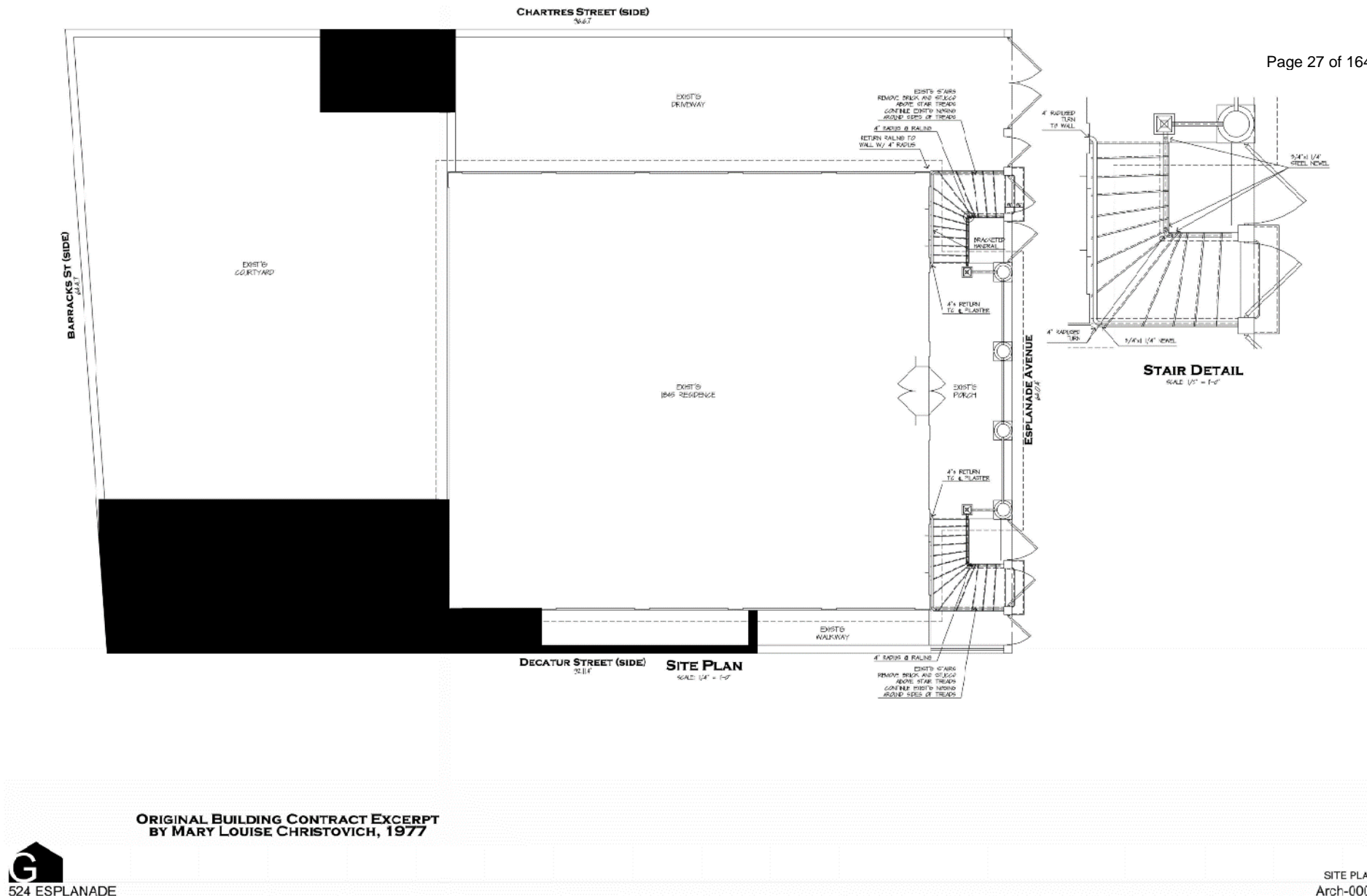
524 Esplanade – Conceptually Approved Plans

VCC Architectural Committee

March 9, 2021





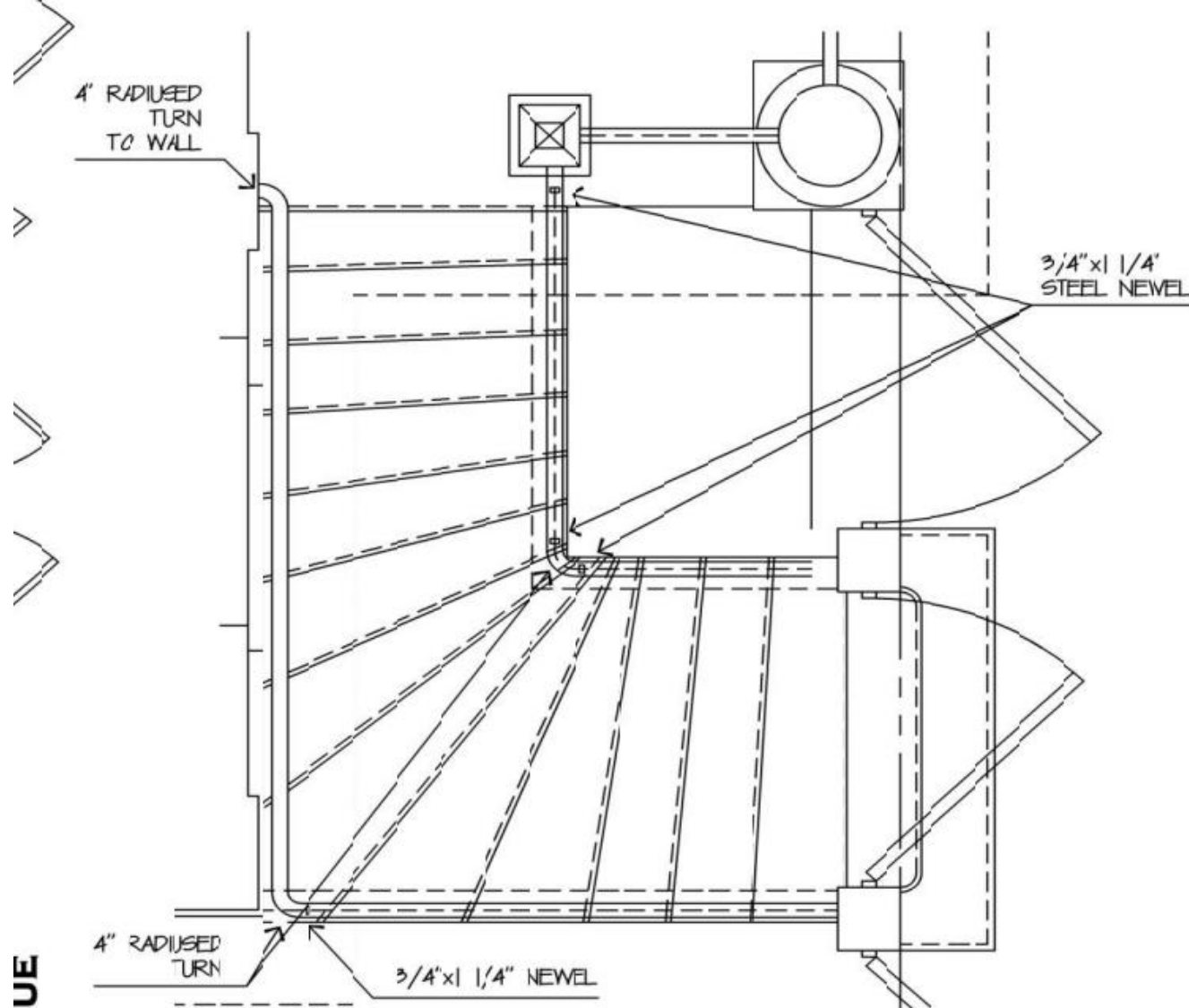


524 Esplanade – Proposed Plans

VCC Architectural Committee

March 9, 2021





STAIR DETAIL

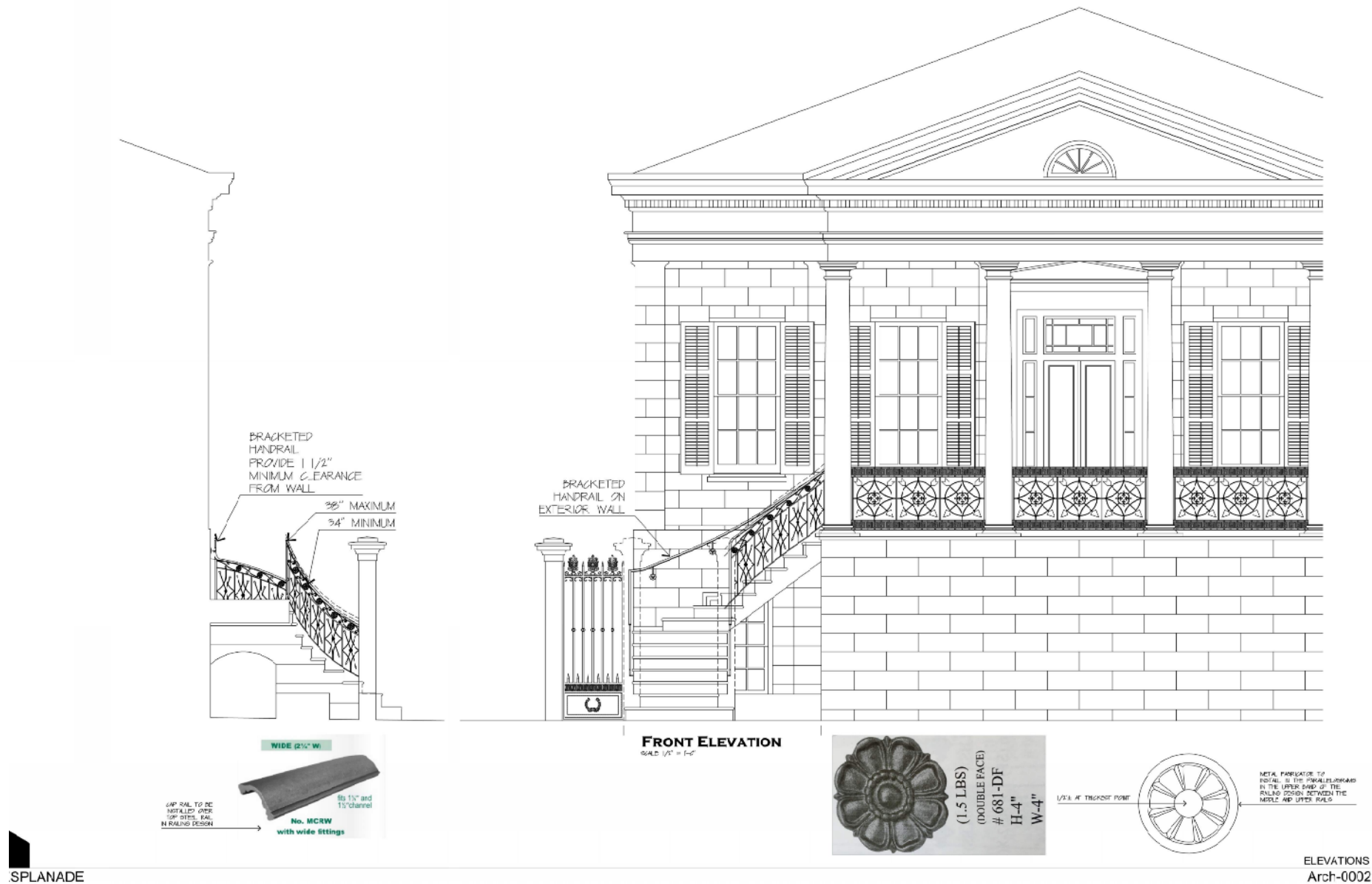
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524 Esplanade – Proposed Plans

VCC Architectural Committee

March 9, 2021





SPLANADE

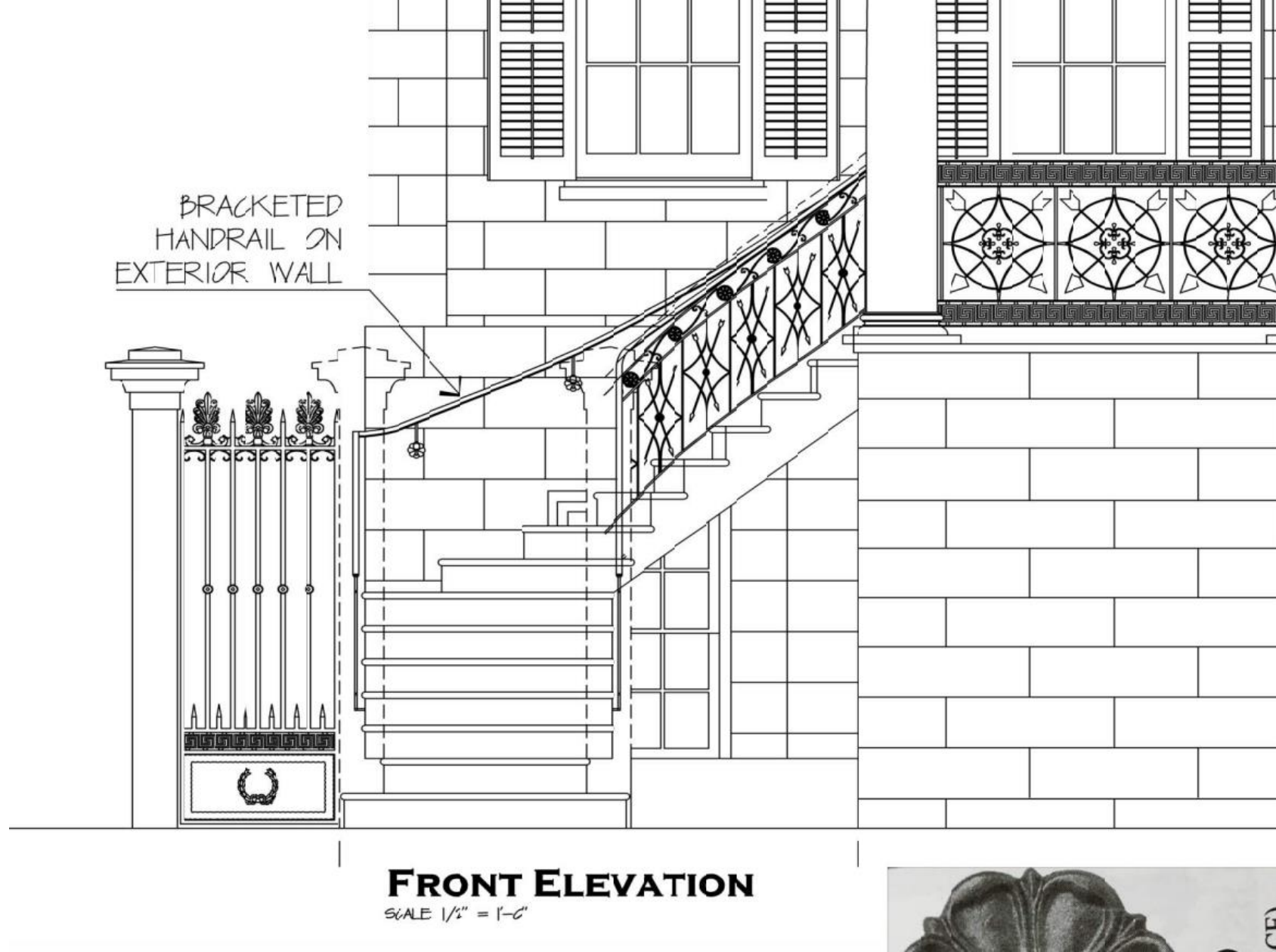
ELEVATIONS
Arch-0002

524 Esplanade – Proposed Plans

VCC Architectural Committee

March 9, 2021



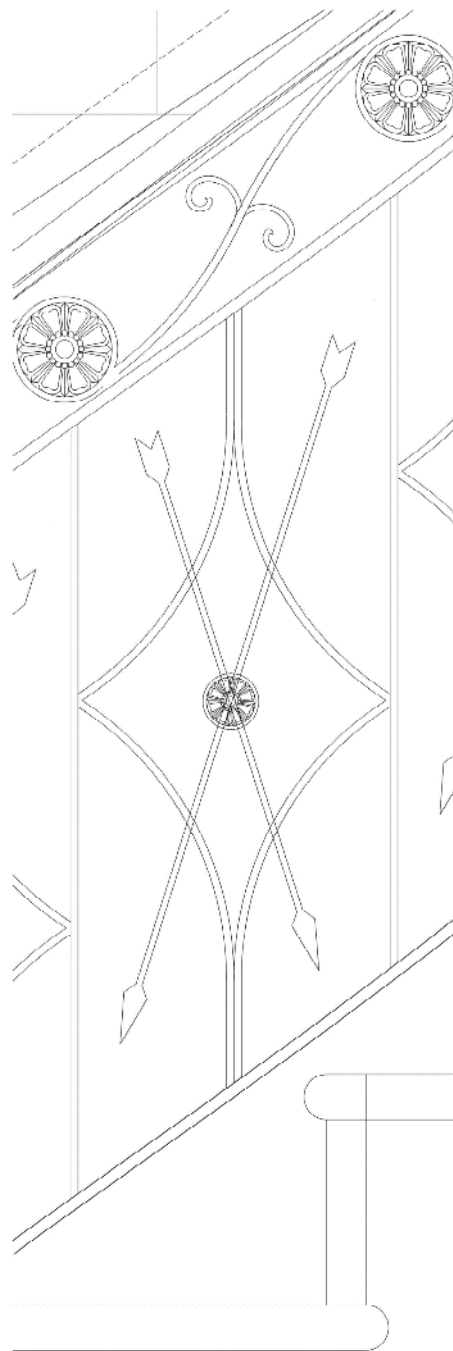


524 Esplanade – Proposed Plans

VCC Architectural Committee

March 9, 2021





524 Esplanade – Proposed Plans

VCC Architectural Committee

March 9, 2021





524 Esplanade – Existing Front Door

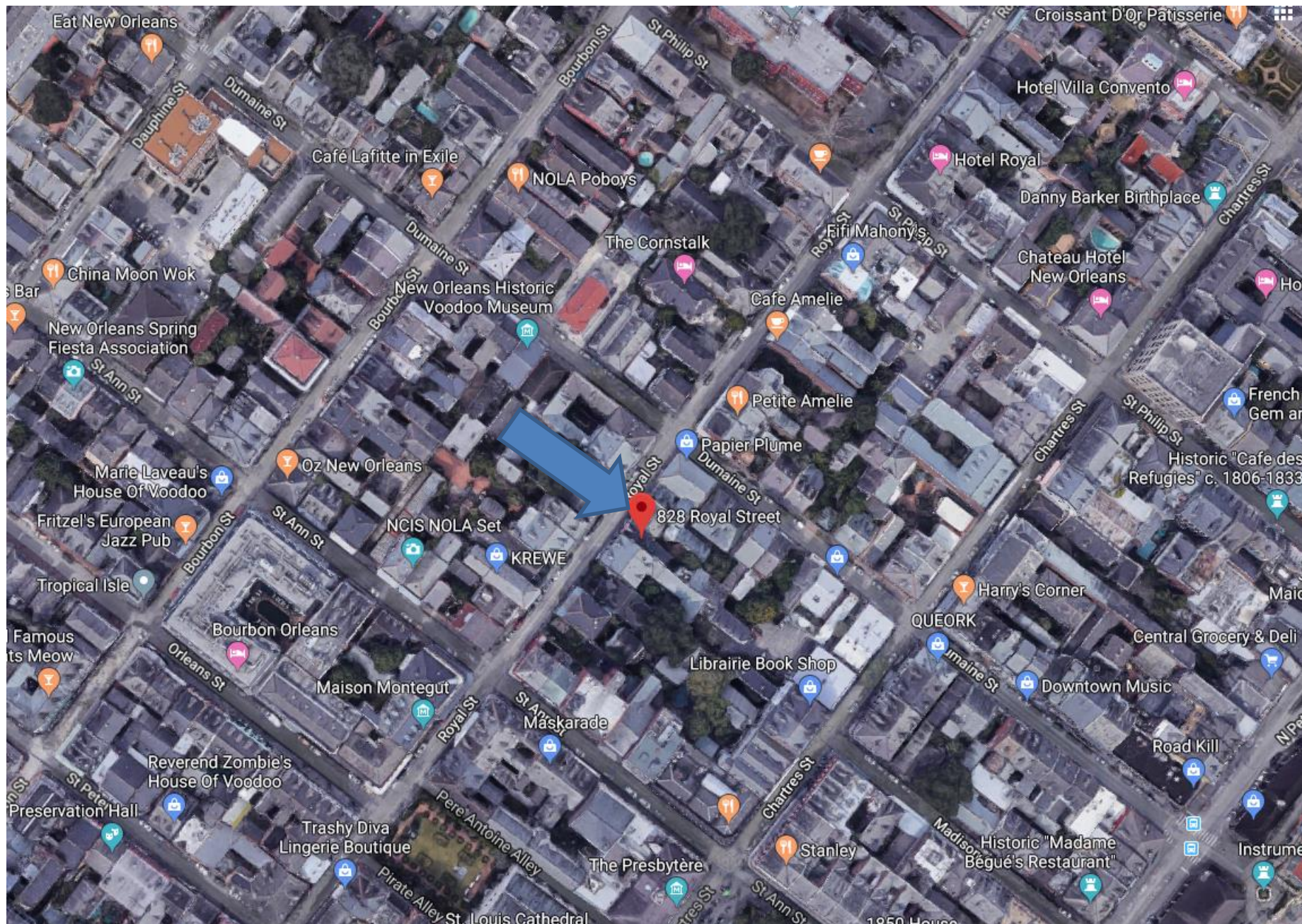
VCC Architectural Committee

March 9, 2021





828 Royal



828 Royal



828 Royal

VCC Architectural Committee



March 9, 2021





828 Royal

VCC Architectural Committee

March 9, 2021





828 Royal

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March 9, 2021





828 Royal

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March 9, 2021





828 Royal

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March 9, 2021





828 Royal

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March 9, 2021



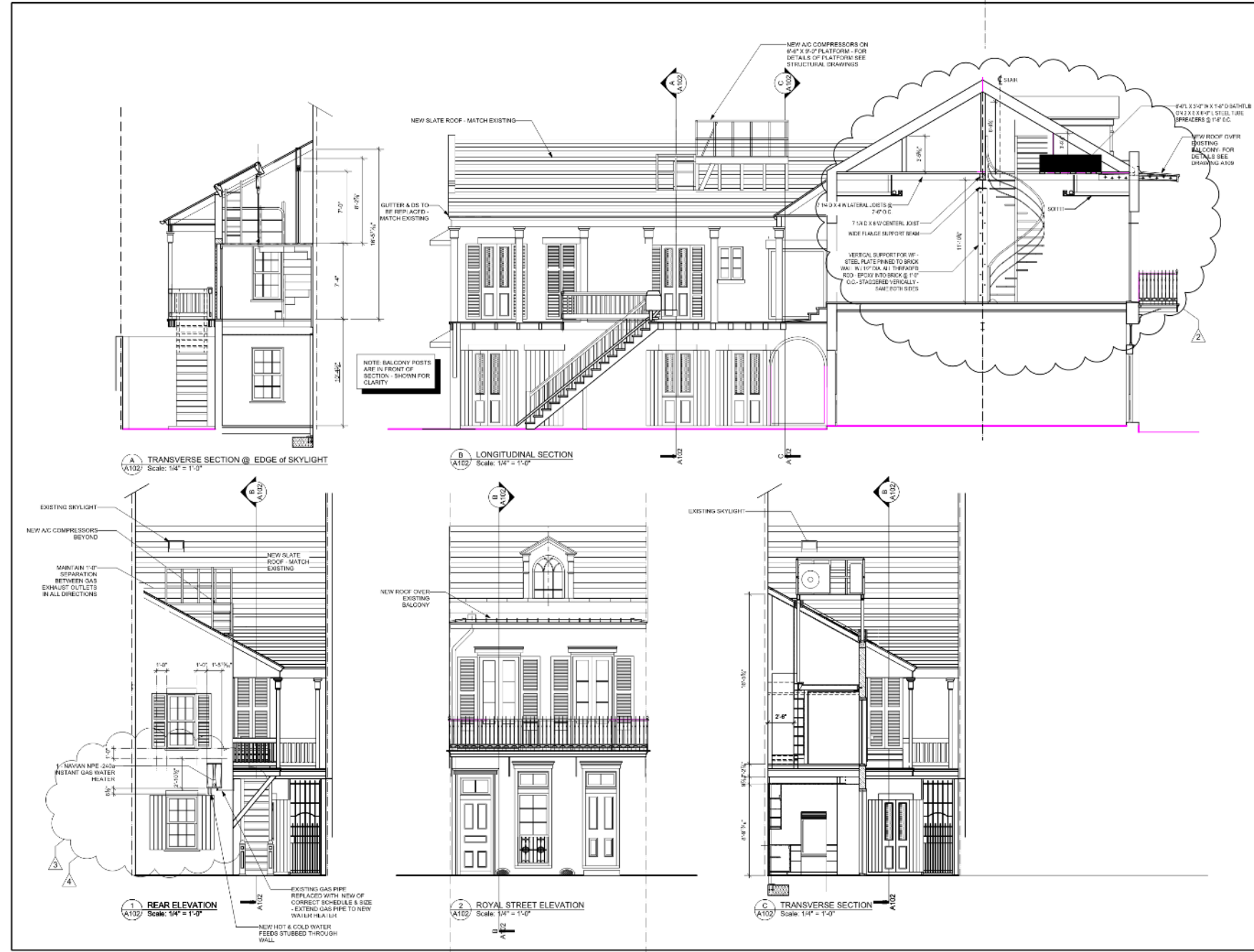


828 Royal

VCC Architectural Committee

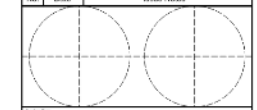
March 9, 2021





1	10.15.2018	MECHANICAL PLATFORM - ROOF OVER BALCONY - REAR ELEVATION - SHIPS LADDER
2	10.23.2018	REMOVED CAST IRON FRIEZE
3	07.07.2020	ADDED 2 INSTANT HOT WATER HEATERS
4	02.28.2021	REMOVED 1 INSTANT HOT WATER HEATER

No.	Date	Issue Notes
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KENMAR GENERAL CONTRACTING

Project No. RENOVATIONS TO: 828 ROYAL STREET, NEW ORLEANS

Sheet No. COURTYARD, FRONT & REAR ELEVATIONS AND SECTIONS

Revision No. 20 Date: 02.21.2020

Drawn by: LM Scale: 1/4" = 1'-0"

Checked by: VM Date: 02.21.2020

Scale: 1/4" = 1'-0"

Sheet No. A102 of



828 Royal

VCC Architectural Committee

March 9, 2021

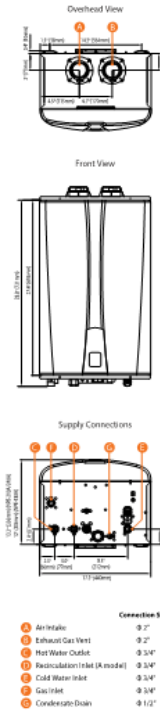
NPE-A and NPE-S Condensing Tankless Water Heaters



NaviLink Wi-Fi remote control system...
available as an add-on accessory.



Dimensions








Specifications

Item	Model							
	NPE-150S	NPE-180A	NPE-180S	NPE-210A	NPE-210S	NPE-240A	NPE-240S	
Heat capacity (input)	Natural gas Propane gas	18,000–120,000 BTU/H	15,000–150,000 BTU/H		19,900–180,000 BTU/H		19,900–199,900 BTU/H	
Efficiency ratings	UEF (NG & LP)	0.96	0.96	0.97	0.96	0.97	0.96	0.97
Flow rate (DHW)	35°F (19°C) temp rise	6.8 GPM (26 L/m)	8.4 GPM (32 L/m)		10.1 GPM (38 L/m)		11.2 GPM (42 L/m)	
	45°F (25°C) temp rise	5.3 GPM (20 L/m)	6.5 GPM (25 L/m)		7.8 GPM (30 L/m)		8.7 GPM (33 L/m)	
	67°F (36°C) temp rise	3.2 GPM (12 L/m)	4.3 GPM (16 L/m)	4.2 GPM (16 L/m)	5.0 GPM (19 L/m)	5.2 GPM (20 L/m)	5.6 GPM (21 L/m)	5.7 GPM (22 L/m)
Dimensions		17.3"W x 27.4"H x 13.2"D						
Weight		55lbs (25kg)	75lbs (34kg)	67lbs (30kg)	82lbs (37kg)	75lbs (34kg)	82lbs (37kg)	75lbs (34kg)
Installation type		Indoor or outdoor wall-hung						
Venting type		Forced draft direct vent						
Ignition		Electronic ignition						
Water pressure		15–150 PSI						
Natural gas supply pressure (from source)		3.5"–10.5" WC						
Propane gas supply pressure (from source)		8"–13" WC						
Natural gas manifold pressure (min-max)		-0.04" WC to -0.38" WC	-0.04" WC to -0.84" WC		-0.05" WC to -0.36" WC		-0.05" WC to -0.58" WC	
Propane gas manifold pressure (min-max)		-0.04" WC to -0.42" WC	-0.05" WC to -0.50" WC		-0.10" WC to -0.66" WC		-0.10" WC to -0.78" WC	
Minimum flow rate		0.5 GPM (1.9 L/m), < 0.01 GPM (0.04 L/m) option for "A" models*						
Connection sizes	Cold water inlet	3/4" NPT						
	Hot water outlet	3/4" NPT						
	Gas inlet	3/4" NPT						
Power supply	Main supply	120V AC, 60 Hz						
	Maximum power consumption	200W (max 2A), 350W (max 4A) with external pump connected						
Materials	Casing	Cold rolled carbon steel						
	Heat exchangers	Primary heat exchangers: stainless steel, secondary heat exchangers: stainless steel						
Venting	Exhaust	2" or 3" PVC, CPVC, PP, SS / 2" or 3" special gas vent type BH (Class II, A/B/C)						
	Intake	2" or 3" PVC, CPVC, PP, SS / 2" or 3" special gas vent type BH (Class II, A/B/C)						
	Vent clearances	0" to combustibles						
Safety devices		Flame rod, APS, ignition operation detector, water temperature high limit switch, exhaust temperature high limit sensor, power surge fuse						

*Available for "A" models configured in an optional ComfortFlow recirculation mode. Additional energy use will occur when using recirculation.

Navien reserves the right to change specifications at any time without prior notice. Please refer to www.NavienInc.com to verify you have the most current information.



Accessories

Navien Inc., 20 Goodyear, Irvine, CA 92618 800-519-8794 NavienInc.com



T H E L E A D E R I N C O N D E N S I N G T E C H N O L O G Y

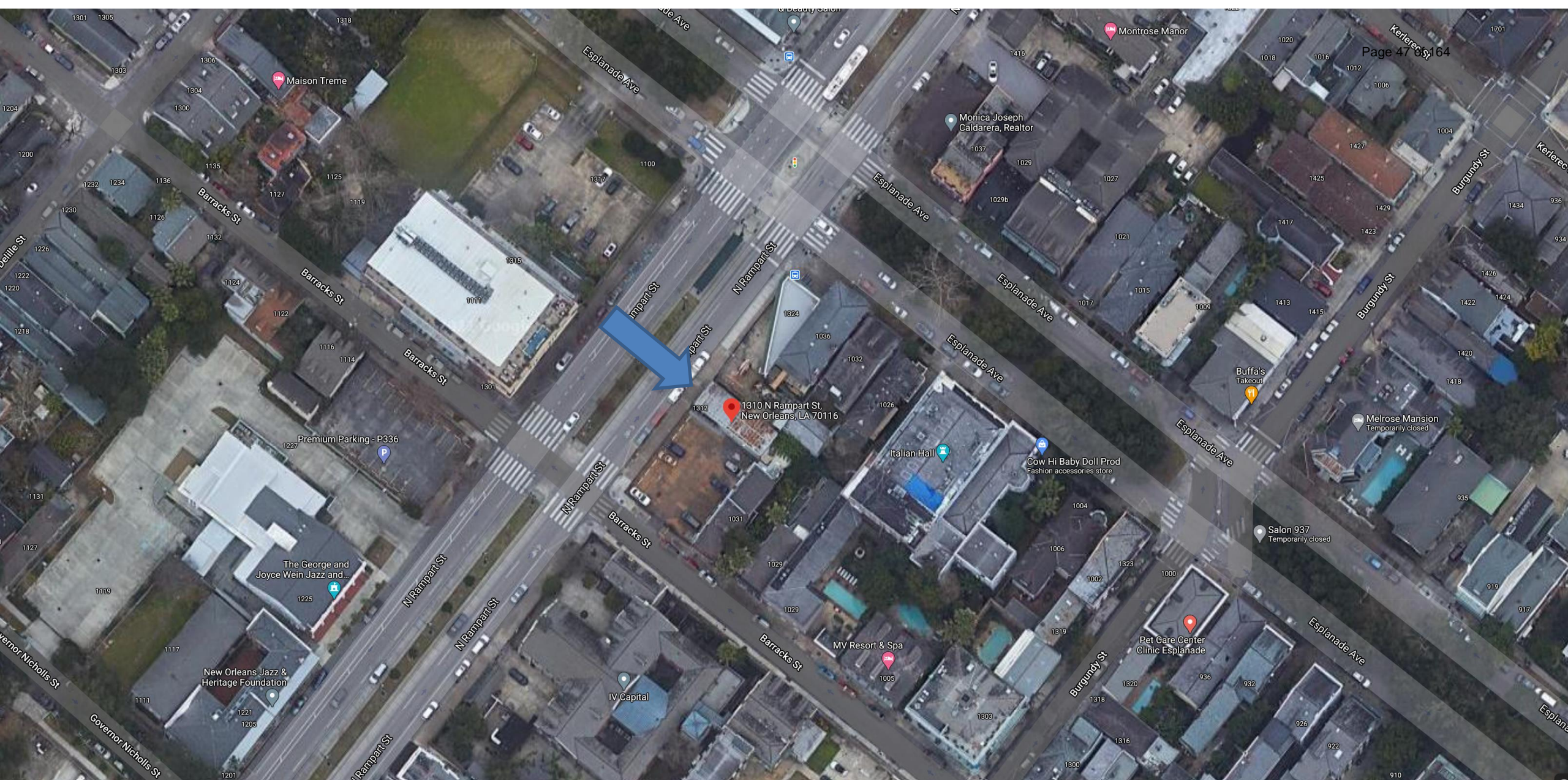




New Business



1310 N Rampart



1310 N Rampart

VCC Architectural Committee

February 9, 2021





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VCC Architectural Committee

February 9, 2021





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February 9, 2021



CONSTRUCTION DOCUMENTS - EMERGENCY ROOF REPAIR AND ROOF RACK ADDITION

1310 N RAMPART ST
NEW ORLEANS, LA 70116

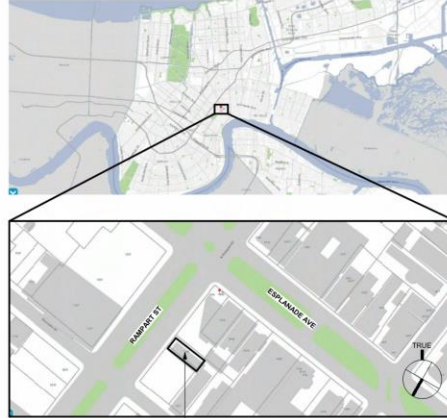
Page 56 of 164

PROJECT INFORMATION:

PROPERTY DESCRIPTION: SQ 108 LOT 3 N RAMPART 23X63
INCLUDES 1310-14 N RAMPART ST
ZONING DISTRICT VCC-2
BUILDING SQUARE FOOTAGE: 2,826 SF GROSS
1ST FLOOR SF EXISTING (BUSINESS): 1,413 SF GROSS
2ND FLOOR SF EXISTING (APARTMENTS): 1,413 SF GROSS
PROJECT DESCRIPTION
EMERGENCY ROOF REPAIR FOLLOWING HURRICANE ZETA.
ADDITON OF ROOF RACK.
OCCUPANCY CLASSIFICATION
IBC: Mixed - Section 304 Business Group B (1ST FLOOR)
NFPA: Residential Group R (2ND FLOOR)
Mixed - Business (1ST FLOOR)
Residential (2ND FLOOR)
SPRINKLERED: NO
FIRE ALARM: NO
CONSTRUCTION TYPE: IBC V-B NFPA V000
APPLICABLE CODES:
2015 IBC
2015 NFPA
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 LOUISIANA STATE PLUMBING CODE
2015 NATIONAL ELECTRIC CODE
2010 ASHRAUGH

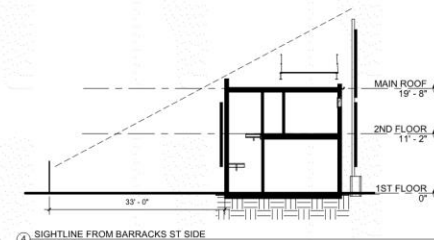
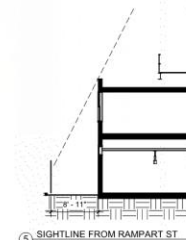
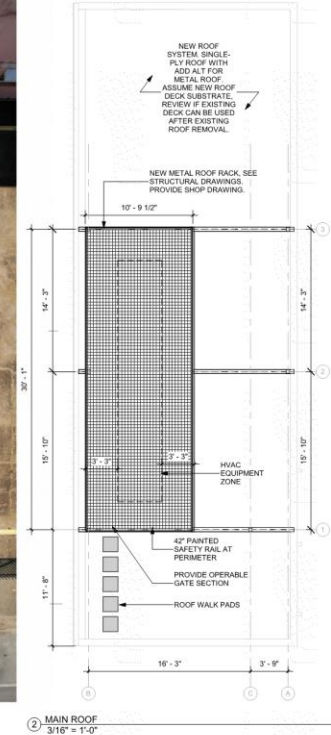
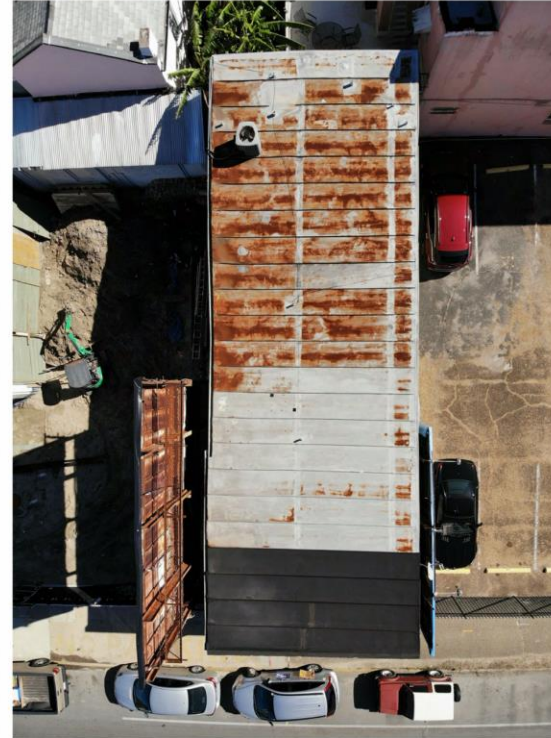
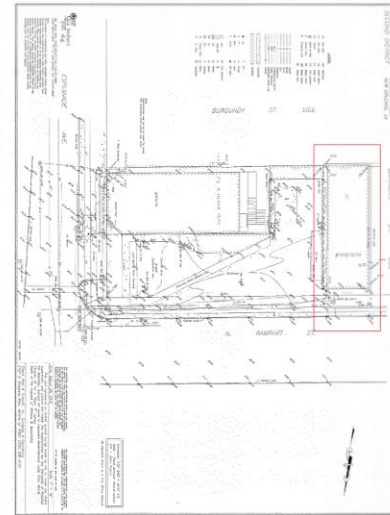
OWNER: ESPLANADE NOLA LLC
757 FULTON ST
BROOKLYN, NY 11217
PROFESSIONAL OF RECORD
ARCHITECT: M3 DESIGN GROUP LLC
3328 BANKS ST
NEW ORLEANS, LA 70119
POR: MYLES MARTIN 7597

VICINITY MAP:



GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS & VCC IF EXISTING.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, INSIDE FACE OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR RUIN TO ANY PERSON OR ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION INCLUDING UTILITIES WHICH WILL INTERFERE WITH NEW WORK. EXTERIOR DEMO REQUIRES VCC APPROVAL.
6. PRIOR TO THE SHUT-DOWN OF TYPING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
8. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.



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1310 RAMPART ST RENOVATION
1310 RAMPART ST
NEW ORLEANS, LA 70116

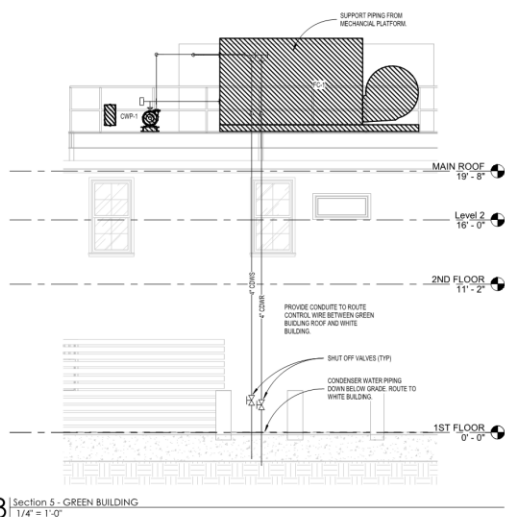
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REVISION
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VCC PERMIT SET UPDATE ISSUE 1/18/21



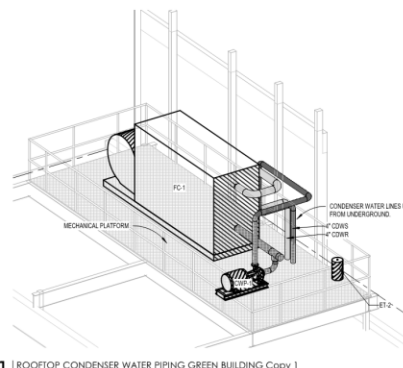
M3 DESIGN GROUP
3328 BANKS ST, #100, LA 70119 | CONTACT 504-588-1000
WWW.M3DESIGNGROUP.COM
CONSTRUCTION DOCUMENTS
ISSUED 11/16/20

A1.0
TITLE SHEET

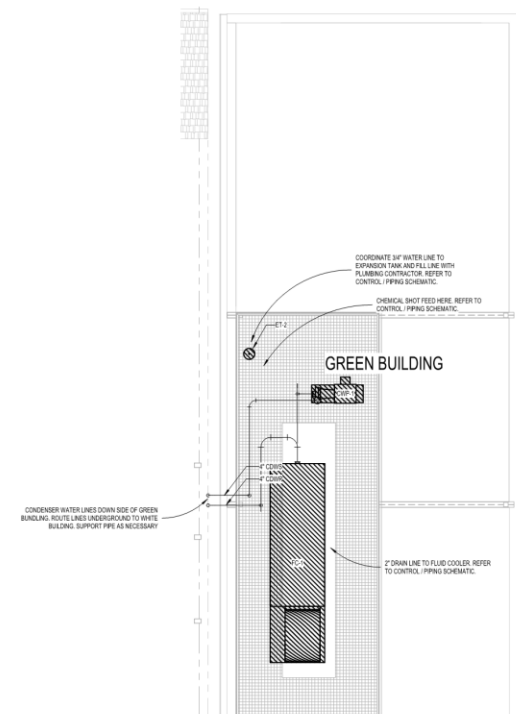




3 Section 5 - GREEN BUILDING
1/4" = 1'-0"



1 ROOFTOP CONDENSER WATER PIPING GREEN BUILDING Copy 1



2 ROOF PLAN - MECHANICAL PIPING - GREEN BUILDING
1/4" = 1'-0"

THERMAL EXPANSION TANK SCHEDULE - HVAC

NOTES:

1. SHELL SHALL BE FABRICATED STEEL DESIGNED AND CONSTRUCTED PER ASME SECTION VIII DIV 1
2. BLADDER SHALL BE MADE OF HEAVY DUTY BUTYL RUBBER AND SHALL BE REMOVABLE FOR INSPECTION
3. TANK TO BE MOUNTED AND SECURED TO WALL
4. TANK SHALL BE PROVIDED WITH ASME PRESSURE RELIEF VALVE WITH OUTLET PIPED TO FLOOR DRAIN

MARK	DESCRIPTION	VOLUME	CONNECTION SIZE	WEIGHT	MAX TEMP	ACCEPTABLE MANUFACTURERS	NOTES
ET-2	ASME CERTIFIED BLADDER TYPE THERMAL EXPANSION TANK	5 gal	3/4"	75 lb	200 °F	BLR DTS SERIES, AMPTROL ST SERIES, BACKSTOP AC SERIES	1, 3, 4

PUMP SCHEDULE - HVAC GREEN BUILDING

NOTES:

1. PUMP TO BE MOUNTED AND SECURED TO WALL OR STRUCTURE ABOVE
2. PUMP BODY SHALL BE OF LEAD FREE BRONZE CONSTRUCTION AND SHALL BE SUITABLE FOR TEMPERATURES UP TO 180 °F
3. INSTALL PUMP WITH ISOLATION VALVES ON BOTH THE INLET AND DISCHARGE. INSTALL CHECK VALVE ON DISCHARGE OF PUMP
4. PUMP SHALL HAVE THREE (3) FUSED SELECTABLE SPEEDS
5. PUMP SHALL DRAW NO MORE THAN 200W OF POWER
6. PUMP SHALL BE PROVIDED WITH TEST MOTOR
7. PUMP SHALL BE CLOSED COUPLED FOOT MOUNTED END SUCTION PUMP
8. PUMP SHALL BE RATED TO EXTERIOR INSTALLATION. PUMP WILL BE INSTALLED ON ROOF OF BUILDING EXPOSED TO THE ELEMENTS
9. PUMP SHALL BE CONTROLLED BY A VFD INSTALLED ADJACENT TO PUMP ON ROOF OF BUILDING. VFD SHALL BE INSTALLED IN NEMA 3P RATED ENCLOSURE

MARK	SERVICE	FLOW	DP	POWER	RPM	ELECTRIC SERVICE			ACCEPTABLE MANUFACTURERS	NOTES
CWP-1	CONDENSER WATER CIRCULATION PUMP	130 GPM	95 INHG	3 hp	1750	208 V	3	60 Hz	88G & 103Z-280	2, 3, 5, 7, 8, 9

FLUID COOLER SCHEDULE

NOTES:

1. TO BE CONSTRUCTED OF GALVANIZED STEEL WITH STAINLESS STEEL BASIN
2. PROVIDE VIBRATION CUT-OFF SWITCH AND EXTENDED LUBE LINES
3. PROVIDE BAL-5-GAUGE REDUNDANT 15HP MOTOR

MARK	SERVICES	AIRFLOW CONFIG	HEAT REJ. TONS	CAPACITY			PD FT HD	TYPE	FAN				BASIN PUMP		BASIN HEATER		ELECTRICAL				WEIGHT-LBS	MANUFACTURER	MODEL	NOTES	
				AMBIENT WB-F	EW-F	LWT-F			FANS NO	AIRFLOW CFM	ESP IN WG	TOTAL MOTOR HP	PUMPS NO	CLG FLOW GPM	TOTAL MOTOR HP	HEATERS	CAPACITY KW	VOLTAGE	PHASE	SCCR AMPS					
FC-1	CONDENSER WATER	FORCED	50	150	80	100	90	17	CENTRIFUGAL	1	23500	0	10	1	142	1	ELECTRIC	4	208	3	0	8000	BALTIMORE AIRCOIL	VFL-036-22K	1, 2, 3

1310 RAMPART ST RENOVATION
1310 RAMPART ST
NEW ORLEANS, LA 70116

MM19-005

DATE

REVISION

NO



M3 DESIGN GROUP
1310 RAMPART ST (NO. LA 70116) | (504) 586-8888
WWW.M3DESIGNGROUP.COM

Project Status
ISSUED 01/14/21

M1
MECHANICAL

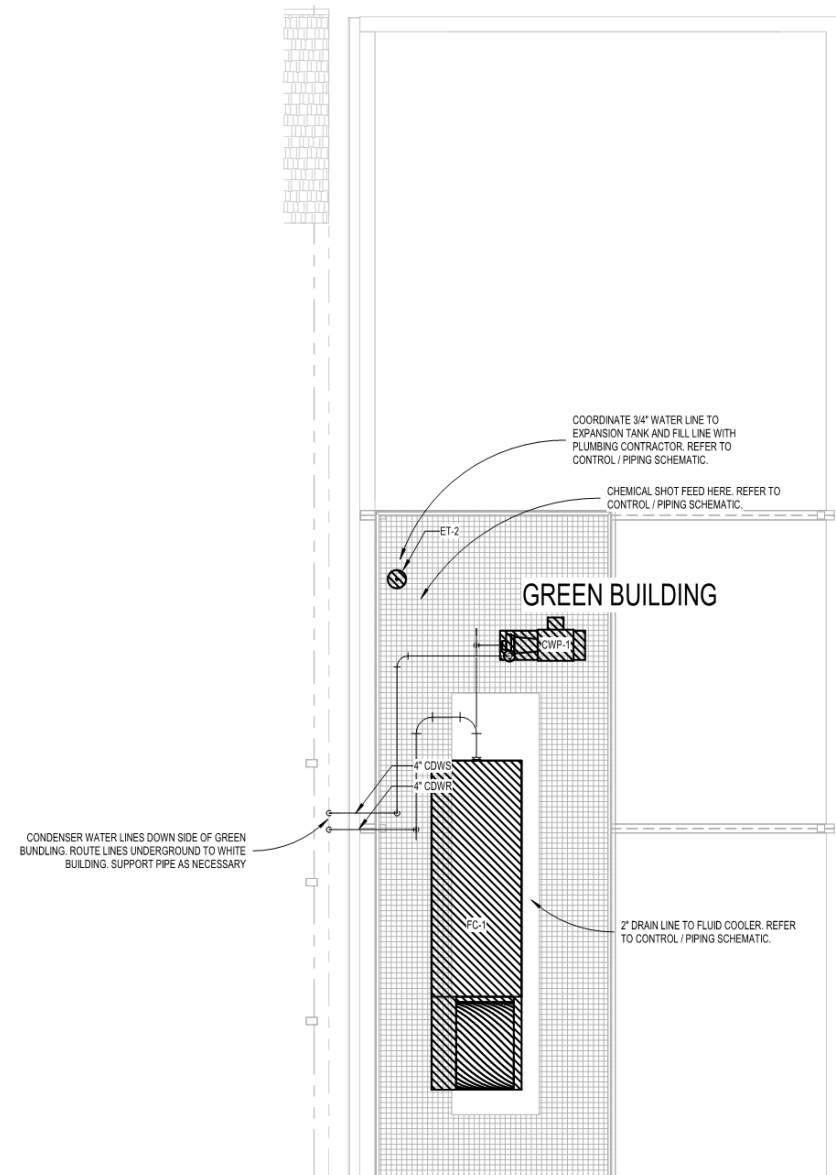


1310 N Rampart

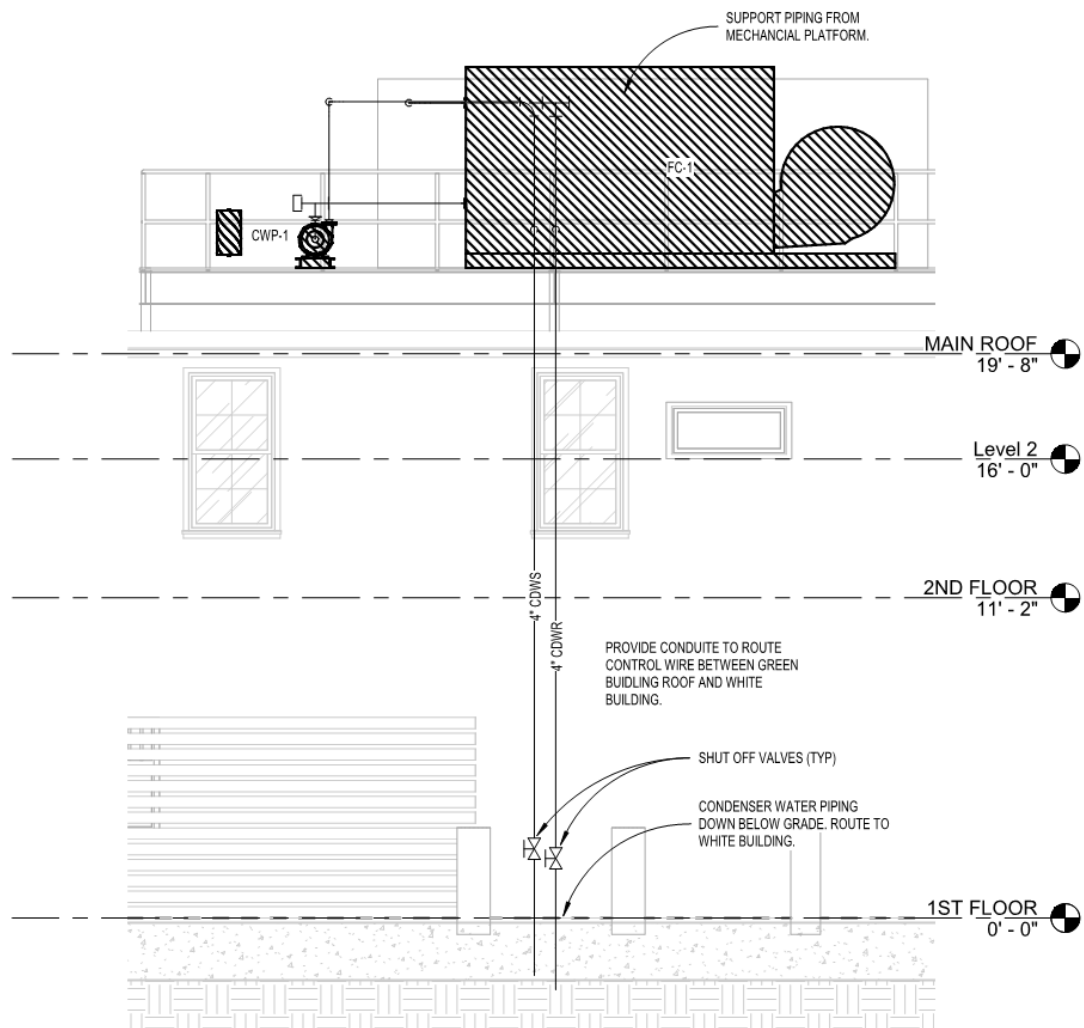
VCC Architectural Committee

February 9, 2021

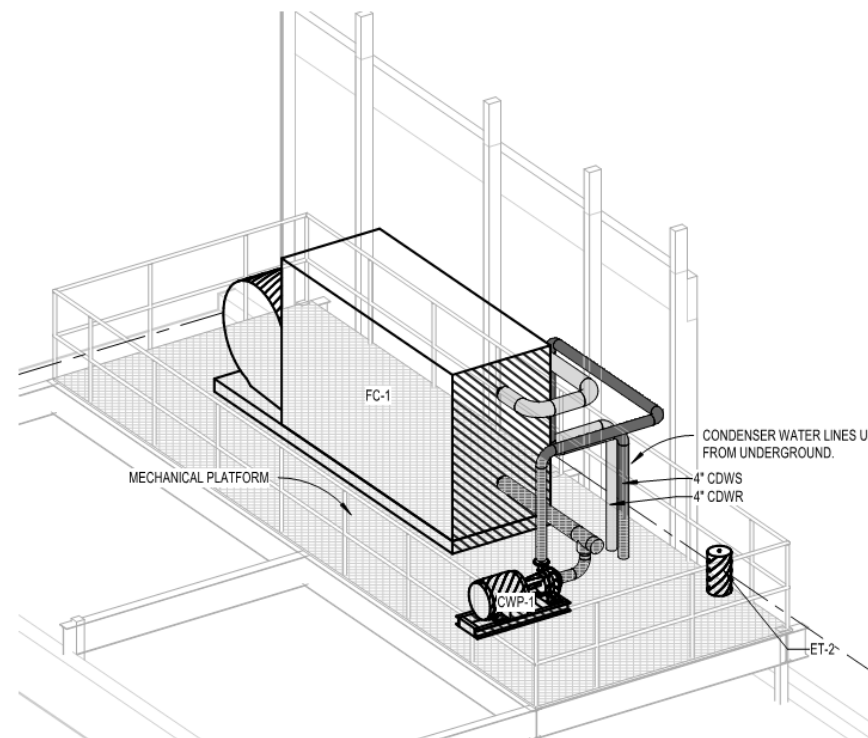




2 ROOF PLAN - MECHANICAL PIPING - GREEN BUILDING
1/4" = 1'-0"

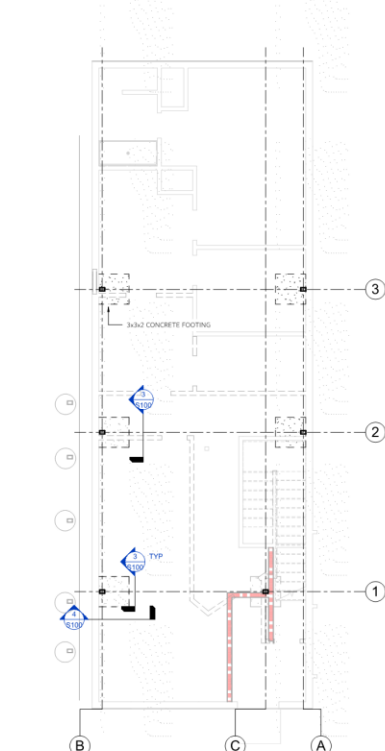


3 | Section 5 - GREEN BUILDING
1/4" = 1'-0"

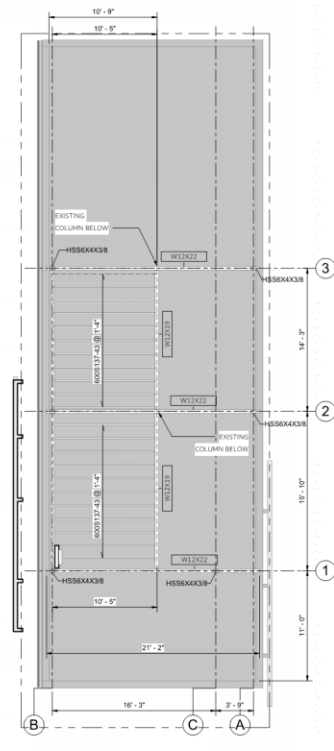


1 | ROOFTOP CONDENSER WATER PIPING GREEN BUILDING Copy 1

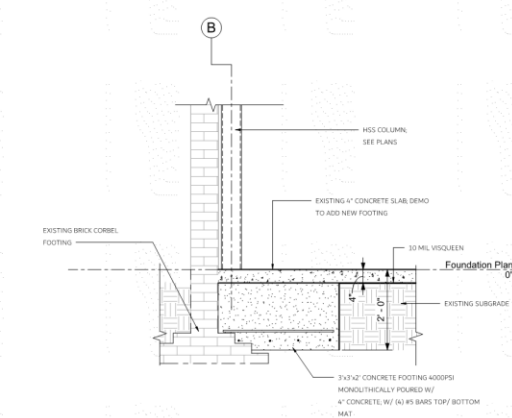
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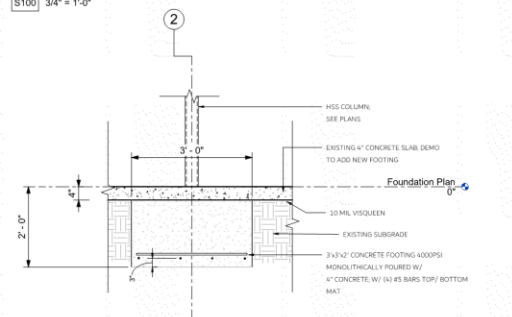
1 Foundation Plan
S100 3/16" = 1'-0"



2 Main Roof Framing Plan
S100 3/16" = 1'-0"



4 Concrete Footing @ Brick Corbel Footing
S100 3/4" = 1'-0"



3 3'-00 x 3'-00" Concrete Footing (Typical Detail)
S100 3/4" = 1'-0"

FOUNDATION AND ROOF PLAN NOTES

1. COORDINATE WITH ARCH FOR ALL EXISTING GROUND FLOOR SLAB ELEVATIONS
2. TOP OF SLAB ELEVATION IS AT DATUM UNLESS NOTED THUS ON PLAN FROM DATUM
3. BOTTOM OF BASE PLATE ELEVATION IS (TBD) BELOW TOP OF SLAB UNLESS NOTED THUS [] 1 ON PLAN FROM DATUM
4. TOP OF FOOTING ELEVATION IS (-4') UNLESS NOTED ON PLAN FROM DATUM SEE DETAIL S/1500.
5. SEE DRAWINGS S-000 FOR GENERAL NOTES.
6. SEE DRAWINGS S-200, S-201, S-202 FOR TYPICAL DETAILS.
7. S1 DENOTES 4" SLAB ON GRADE W/ 4# AND #2 @ 20" W/ 4" MID HEIGHT PROVIDE VAPOR BARRIER BELOW SLAB.
8. COORDINATE SLAB DEPRESSIONS, EMBEDMENT REQUIREMENTS AND OPENING WITH ARCH AND MEP DWGS
9. SEE SCHEDULES ON DRAWING S-000
 - C DENOTES COLUMN
 - W DENOTES WALL
 - F DENOTES FOOTING
10. COORDINATE ALL NEW AND EXISTING UNDERGROUND UTILITIES WITH FOUNDATIONS AND SUBMIT ALL PURPOSED SLEEVE LOCATIONS TO ARCHITECT FOR REVIEW.
11. VERIFY ELEVATOR RIT DIMENSIONS WITH ELEVATOR SHOP DRAWINGS PRIOR TO FORMING.
12. REFER TO STRUCTURAL SPECIFICATIONS, GENERAL NOTES, AND SCHEDULES FOR OTHER INFORMATION NOT SHOWN.
13. ALL SLAB, BEAMS, AND FOOTINGS NOT PILE SUPPORTED ON EXISTING UNDISCLOSURED SOILS OR NON-EXPANSIVE TYPE FILL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR TEST.
14. IF ADDITIONAL INFORMATION OR DETAILS ARE REQUIRED AS DEEMED BY THE CONTRACTOR OR SUBCONTRACTORS, OF IF DISCREPANCIES ARISE AND REQUIRE FURTHER CLARIFICATION EITHER IN THESE PLANS OR DETAILS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST ADDITIONAL INFORMATION OR CLARIFICATION IN WRITING TO THE EOR AS PROMPTLY AS POSSIBLE.
15. SEE ARCH DRAWINGS FOR ALL OTHER ELEVATIONS NOT SHOWN ON THE DRAWINGS HEREIN.
16. ALL CONCRETE SHALL BE STANDARD WEIGHT AND SHALL TEST AT 4000 PSI AT 28 DAYS, IT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 308 & 309. SUBMIT A DETAILED MIX DESIGN FOR REVIEW BY EOR PRIOR TO CONSTRUCTION.
17. CONTRACTOR TO BRING CONFLICTS AND DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING ANY MATERIAL OR INSTALLING THAT THE ARCHITECT CAN COORDINATE WITH ACCORDINGLY.
18. CONCRETE SLAB MONOLITHICALLY POURED AS FOLLOWS: SLAB 3" CLEAR BOTTOM AND 3/4" CLEAR TOP BEAMS 3 1/2" CLEAR IF FORMED AND 3" CLEAR IF EARTH FORMED.

20044
Roof Rack Addition
1310 N Rampart

NO.	REVISION	DATE



M3 DESIGN GROUP
3030 BROADVIEW AVE. SUITE 1000 DENVER, CO 80202
WWW.M3DESIGNGROUP.COM
Permit Set
ISSUED 11.16.2020

S100

Plan Views

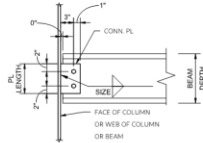
1310 N Rampart

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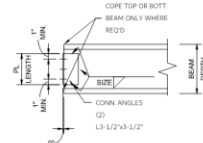


SINGLE PLATE CONNECTION SCHEDULE				
BEAM DEPTH	3/4" A325N BOLTS	CONN. PLATE	WELD SIZE (E70XX)	
W6	2	6-1/2" 1/4"	3/16"	
W8	2	6-1/2" 1/4"	3/16"	
W10	2	6-1/2" 1/4"	3/16"	
W12	3	9-1/2" 1/4"	3/16"	
W14	3	9-1/2" 1/4"	3/16"	
W16	4	12-1/2" 1/4"	3/16"	
W18	5	15-1/2" 3/8"	5/16"	
W21	6	18" 3/8"	5/16"	
W24	7	21" 3/8"	5/16"	
W27	8	24" 3/8"	5/16"	
W30	8	24-1/2" 1/2"	3/8"	
W33	9	27-1/2" 1/2"	3/8"	
W36	9	27-1/2" 1/2"	3/8"	

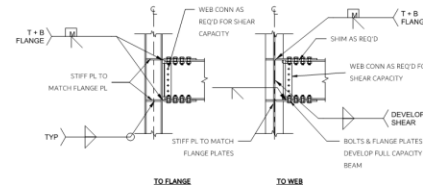


1 TYPICAL DETAIL
S200 Single Plate Connection

DOUBLE PLATE CONNECTION SCHEDULE				
BEAM SIZE	3/4" A325N BOLTS	CONN. ANGLES 3-1/2"x3-1/2"	WELD SIZE (E70XX)	
W6	2	3-1/2" 1/4"	3/16"	
W8	2	3-1/2" 1/4"	3/16"	
W10	4	5-1/2" 1/4"	3/16"	
W12	4	5-1/2" 1/4"	3/16"	
W14	6	8-1/2" 1/4"	3/16"	
W16	6	8-1/2" 1/4"	3/16"	
W18	8	11-1/2" 1/4"	3/16"	
W21	10	14-1/2" 1/4"	3/16"	
W24	12	17-1/2" 1/4"	3/16"	
W27	14	20-1/2" 1/4"	3/16"	
W30	16	23-1/2" 3/8"	5/16"	
W33	18	26-1/2" 3/8"	5/16"	
W36	20	29-1/2" 3/8"	5/16"	



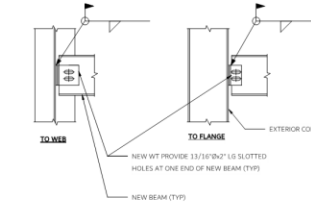
2 TYPICAL DETAIL
S200 Double Angle Connection



NOTES

- IF REQUIRED, ALL ERECTION CLIPS, PLATES, ETC. TO BE REMOVED; HOLES TO BE PLUGGED AND ALL SURFACES TO BE GROUNDED.
- SMOOTH AS REQUIRED DUE TO ARCH EXPOSURE.
- ALL GROOVE WELDS TO BE FULL PENETRATION UNDO.
- ALL BOLTS TO BE 3/4" A325 N HIGH STRENGTH BOLTS UNDO.
- ALL WELDING ELECTRODES TO BE E70XX.
- AT MOMENT CONN. CONFIGURATION MAY BE SUBMITTED BY THE CONTRACTOR FOR APPROVAL, BUT MUST BE ACCOMPANIED BY CALC. SIGNED & SEALED BY PE REGISTERED IN STATE WHERE PROJECT IS LOCATED.
- EACH SHEAR CONN. TO DEVELOP FORCE INDICATED ON PLANS OR IF NOT INCLUDED, 75% OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM FOR THE ASSOCIATED SPAN.
- GRADE OF MOMENT CONN. PLATE TO MATCH GRADE OF BEAM.
- FOR LOCATION OF MOMENT CONN. SEE BEAM END INDICATED THUS RECEIVE STANDARD SHEAR CONNECTIONS UNDO.
- FOR EXTENT OF COL. SEE FRAMING PLANS, SECTIONS, & COLUMN SCHEDULE.
- WIDTH OF STIFF PL. = (COLUMN FLANGE - COLUMN) / (2-1/8") AT TOP LEVEL; PROVIDE A COL. CAP PLATE IN LIEU OF TOP STIFFENER.
- DETAILER SHALL SUBMIT FOR APPROVAL STANDARD CONN. DETAILS CONFORMING TO DETAILS SHOWN WITH ERECTION DWGS.

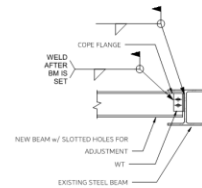
3 TYPICAL DETAIL
S200 Field Bolted Beam to Column Moment Connection



NOTES

- CORE FLANGES OF BEAM AS REQUIRED.
- STANDARD SHEAR CONN. TO DEVELOP FORCE INDICATED ON PLANS OR IF NOT INCLUDED, 75% OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM FOR THE ASSOCIATED SPAN.

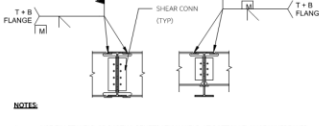
4 TYPICAL DETAIL
S200 New Beam to Existing Column Connection



NOTES

- REMOVE EXISTING CONCRETE ENCASUREMENT AS REQUIRED.
- STANDARD SHEAR CONN. TO DEVELOP FORCE INDICATED ON PLANS OR IF NOT INCLUDED, 75% OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM FOR THE ASSOCIATED SPAN.

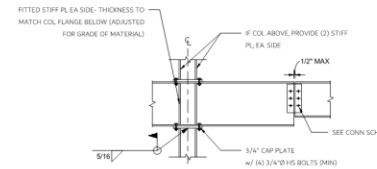
5 TYPICAL DETAIL
S200 New Beam to Existing Beam Connection



NOTES

- USE FULL WELD OR PARTIAL PENETRATION WELD AT BOTTOM FLANGE WHERE WEB THICKNESS OF GIRDER IS LESS THAN 1/2 BEAM FLANGE THICKNESS.
- DESIGN SHEAR CONNECTION FOR THE FORCE INDICATED ON PLANS OR IF NOT INDICATED, 75% OF THE TOTAL UNIFORM LOAD CAPACITY OF THE BEAM FOR THE ASSOCIATED SPAN.
- FOR LOCATIONS OF MOMENT CONNECTIONS, SEE BEAM ENDS INDICATED THUS ON PLANS. ALL OTHER CONNECTIONS TO RECEIVE STANDARD SHEAR CONNECTION UNDO.
- DESIGN CONNECTION TO DEVELOP FULL MOMENT CAPACITY OF BEAM.

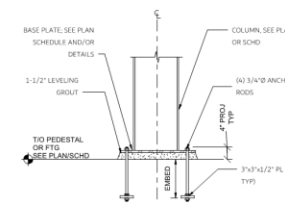
6 TYPICAL DETAIL
S200 Field Welded Beam to Beam Moment Connection



NOTES

- FOR LOCATION OF CANTILEVER CONNECTION, SEE BEAM END INDICATED THUS ON PLANS. ALL OTHER CONNECTION TO RECEIVE STANDARD SHEAR CONNECTION.

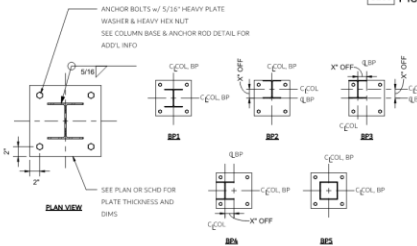
7 TYPICAL DETAIL
S200 Cantilevered Beam Connection



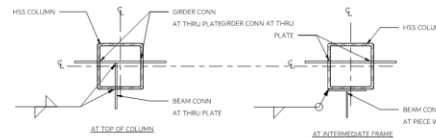
NOTES

- THICKEN FOOTING AS REQUIRED TO PROVIDE NECESSARY COVER FOR ANCHOR RODS.

8 TYPICAL DETAIL
S200 Column Base and Anchor Rods Leveling Plate



9 TYPICAL DETAIL
S200 Column Base Plate Anchor Bolt Configurations



10 TYPICAL DETAIL
S200 Thru Plate at HSS Connection

20044
Roof Rack Addition
1310 N Rampart

DATE	
REVISION	
NO	



Permit Set
ISSUED 11.16.2020
S200
Typical Steel Connection Details

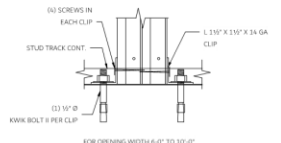




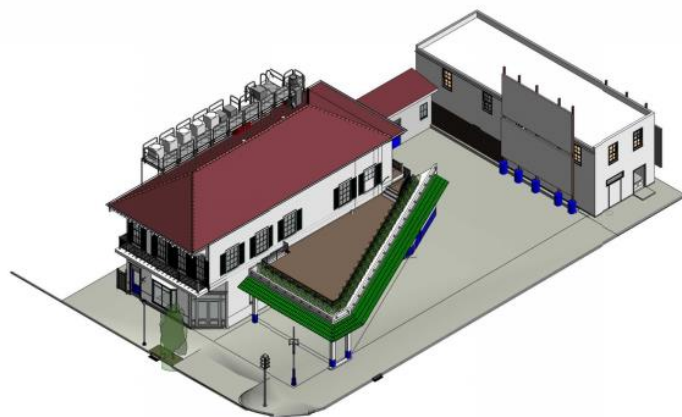
1. MEMBER DEPTH 600 = 6" DEPTH X 100
2. MEMBER TYPE S - STUD OR JOIST
T - TRACK
U - CHANNEL
F - FURRING CHANNEL
3. FLANGUE WIDTH 162 = 1-5/8" x 1.62" x 100

DESIGNATIONS	
GAGE	THICKNESS IN MILS
10 GA.	118
12 GA.	97
14 GA.	68
16 GA.	54
18 GA.	43
20 GA.	33

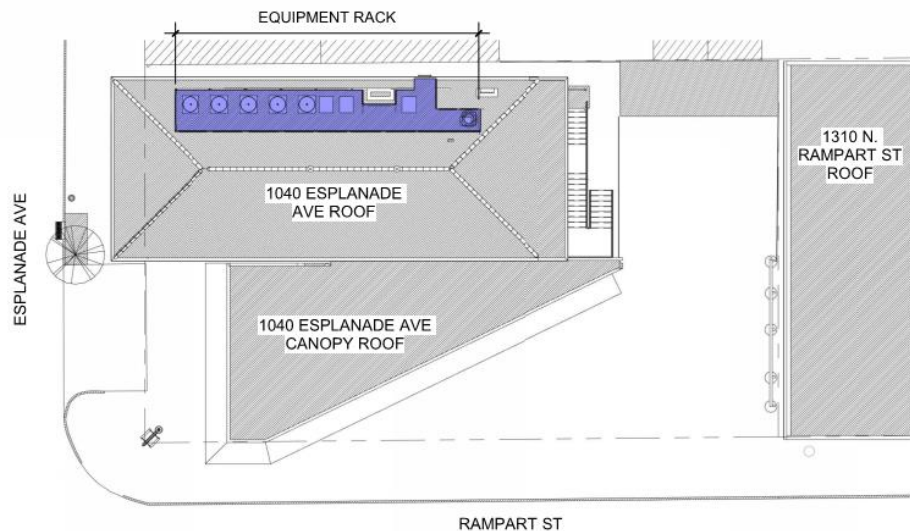
UNLESS NOTED OTHERWISE ALL COLD-ROLLED ELEMENTS SHALL BE CONNECTED WITH #10 AISI-3022 STEEL SCREWS HAVING A MINIMUM DIAMETER OUT TO OUT OF THREADS = 0.190"







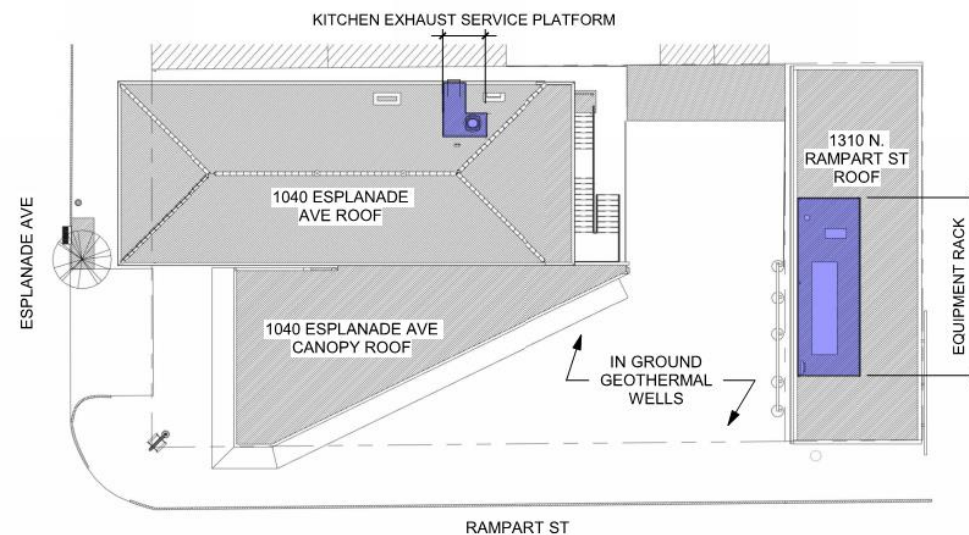
③ AXON - CURRENT



① ROOF PLAN - CURRENT
1" = 20'-0"



④ AXON - GEOTHERMAL



② ROOF PLAN - GEOTHERMAL
1" = 20'-0"

NEW ORLEANS, LA 70115
1040 ESPLANADE AVE

ROOF PLANS
02/24/21

A4



M3 DESIGN GROUP





① PERSPECTIVE - CURRENT



③ PERSPECTIVE2 - CURRENT



② PERSPECTIVE - GEOTHERMAL



④ PERSPECTIVE2 - GEOTHERMAL

1040 ESPLANADE AVE
NEW ORLEANS, LA 70115
A5
PERSPECTIVES
02/24/21

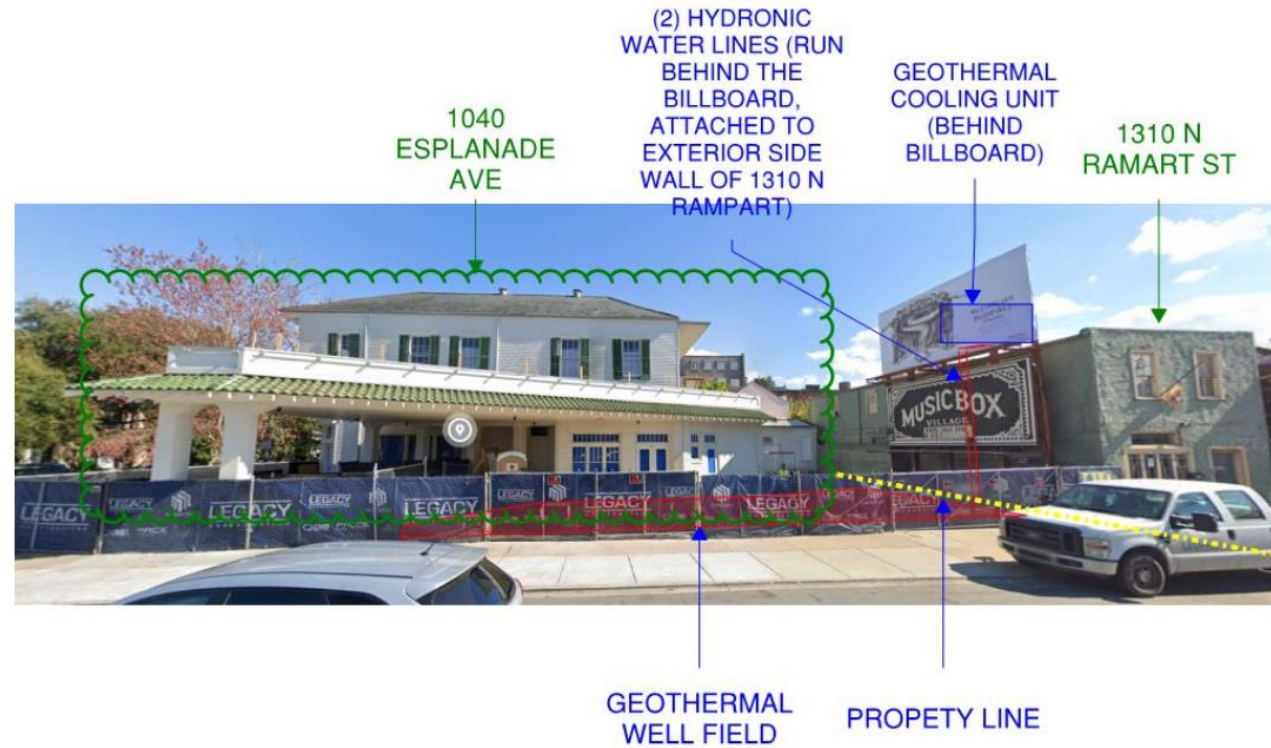
M3 DESIGN GROUP

1310 N Rampart

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Thus, at this time, we are requesting for the 2 water lines connecting the geothermal well field to the needed cooling unit to cross the property line between the 2 subject properties. This will clear the path forward to allow the significant benefits of this system design.

1310 N Rampart

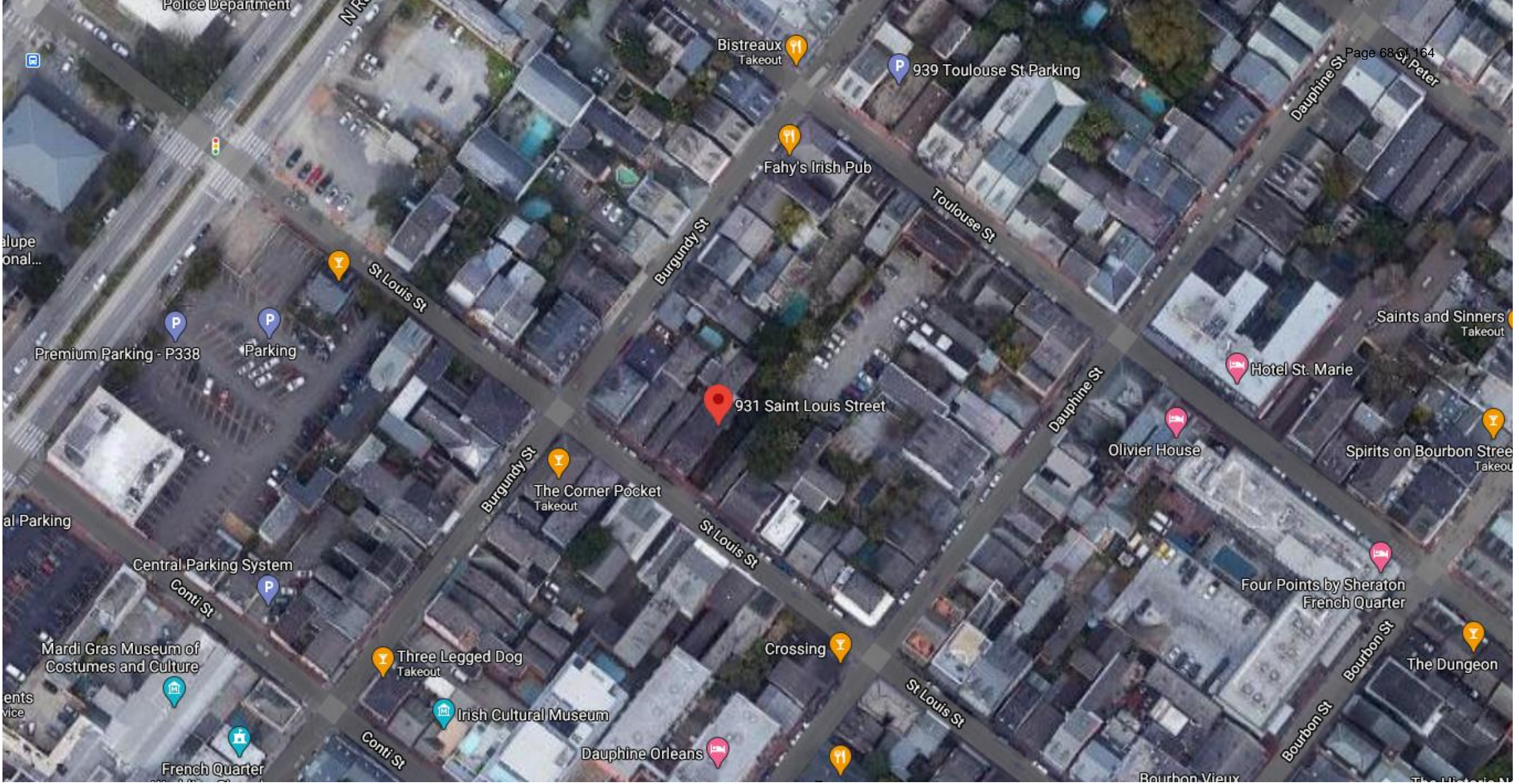
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March 9, 2021





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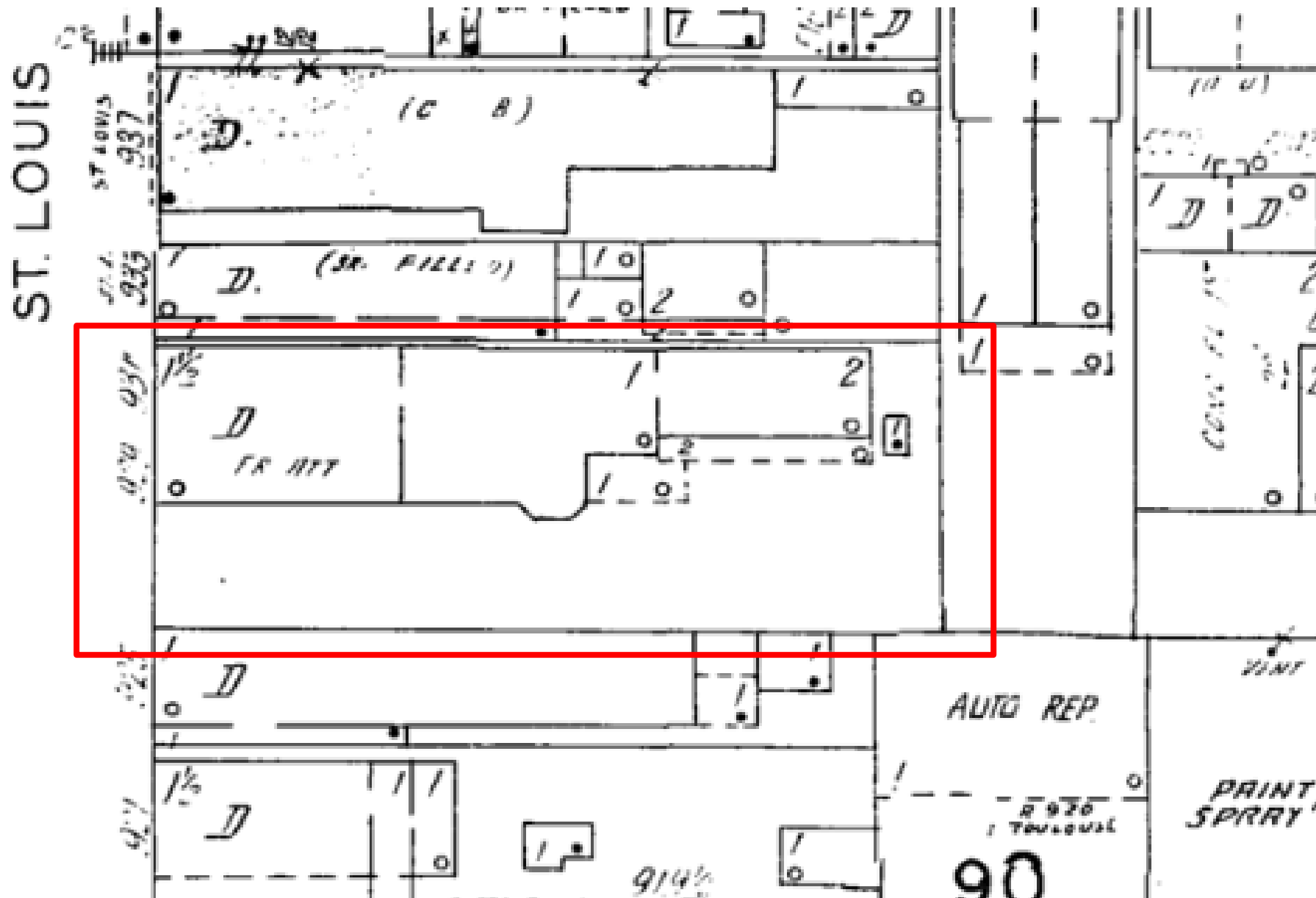


931 St Louis - 1985

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931 St Louis – 1940 Sanborn





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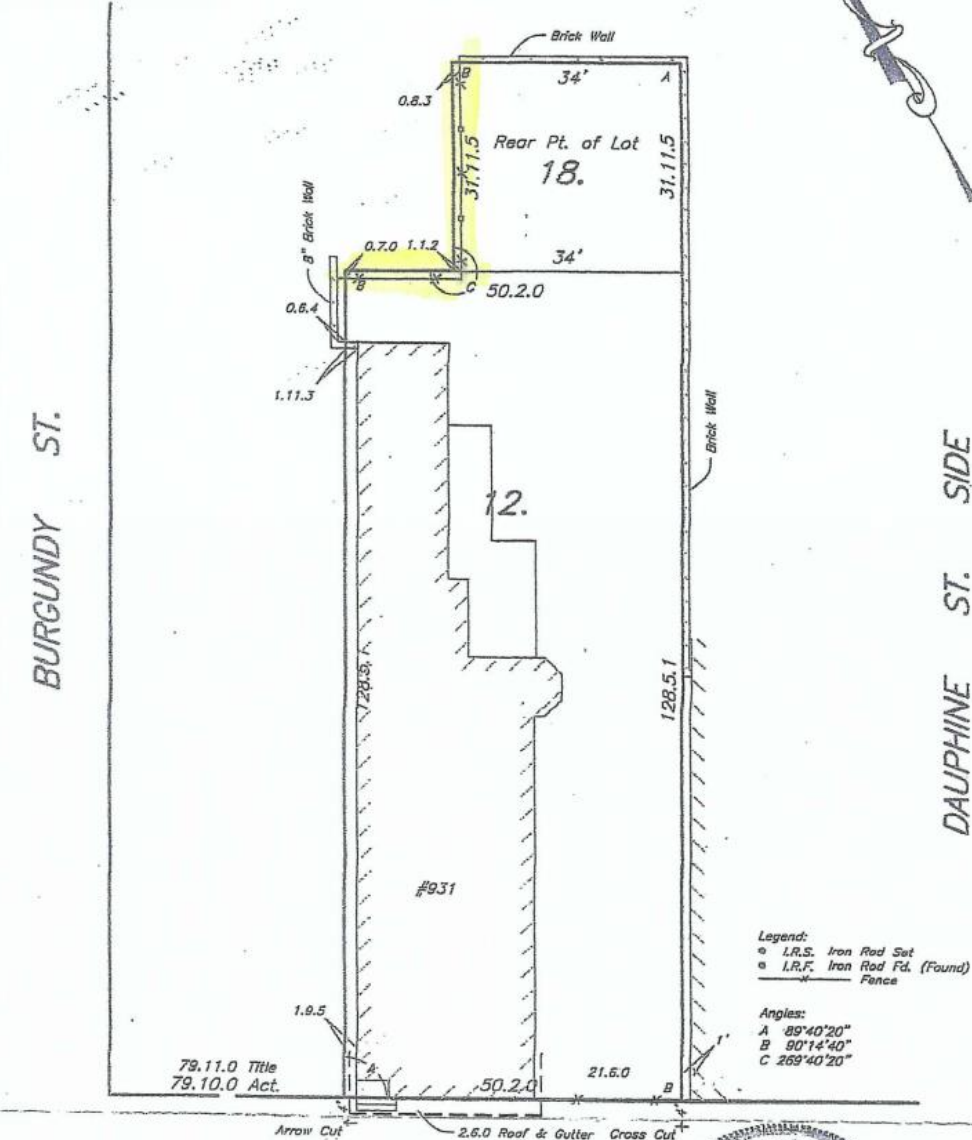


SQ. NO. 90
SECOND DISTRICT ORLEANS PARISH
NEW ORLEANS, LA

TOULOUSE ST. SIDE

BURGUNDY ST.

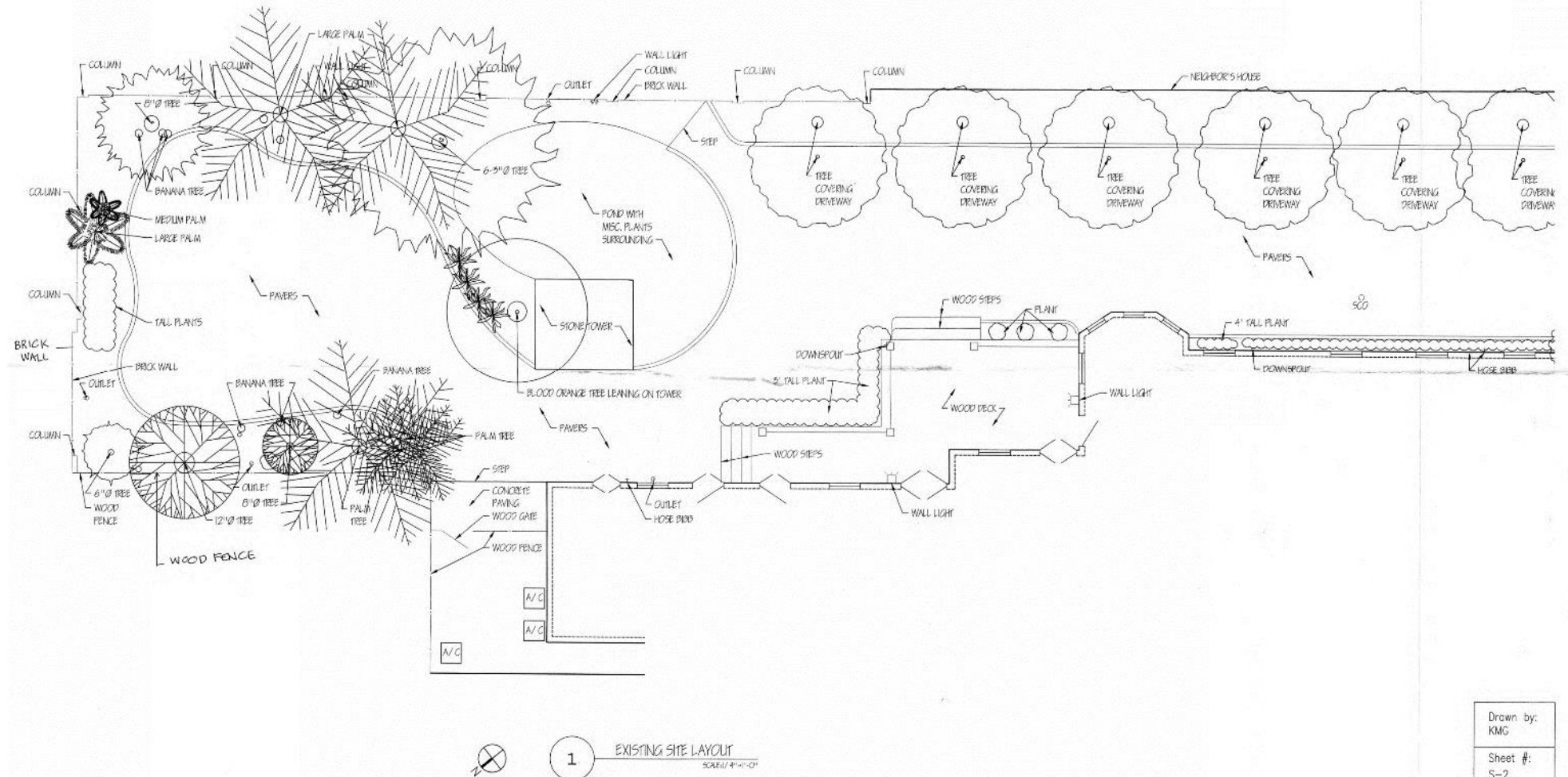
DAUPHINE ST. SIDE



Note:
Improvements may not be to scale for clarity.
The dimensions shown prevail over scale.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY
ARE LIMITED TO THOSE SET FORTH IN DESCRIPTION FURNISHED
US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE





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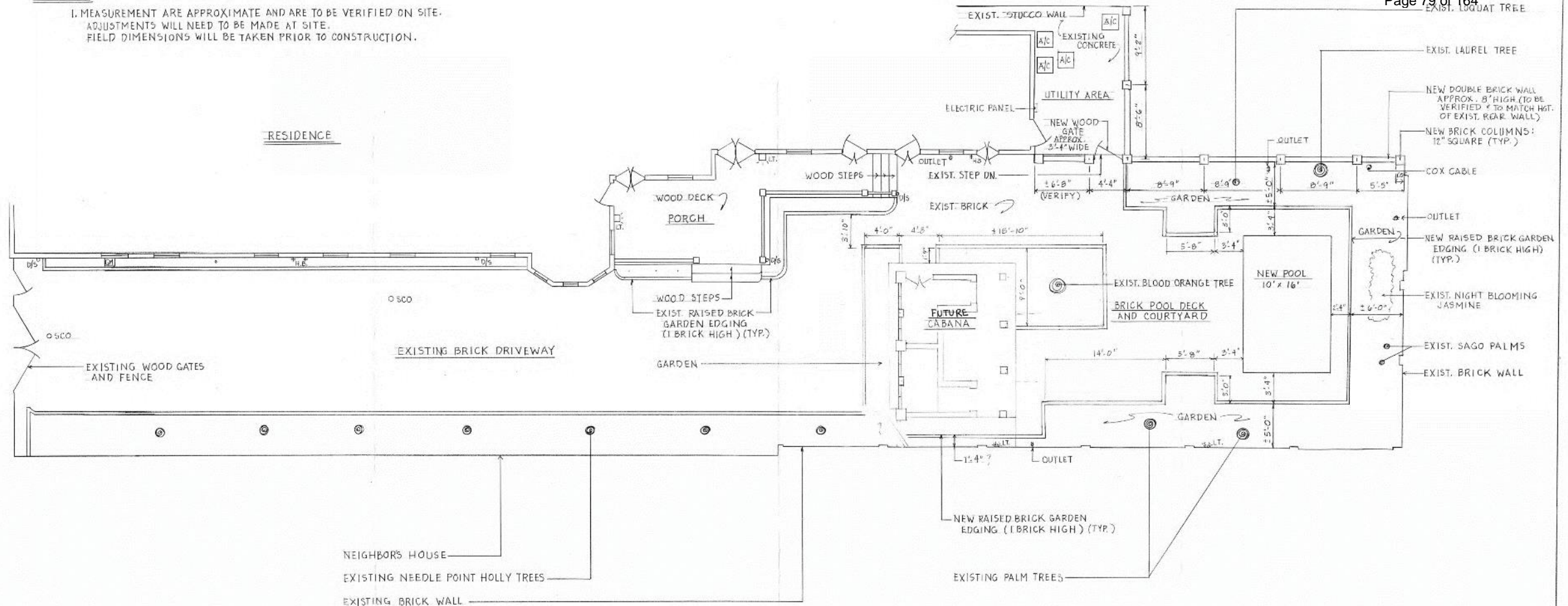
March 9, 2021

Drawn by:	KMG
Sheet #:	S-2
Date:	09/21/2020
Scale:	AS SHOWN




NOTES:

1. MEASUREMENT ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.
ADJUSTMENTS WILL NEED TO BE MADE AT SITE.
FIELD DIMENSIONS WILL BE TAKEN PRIOR TO CONSTRUCTION.



12/16/20 CONSTRUCTION LAYOUT PLAN

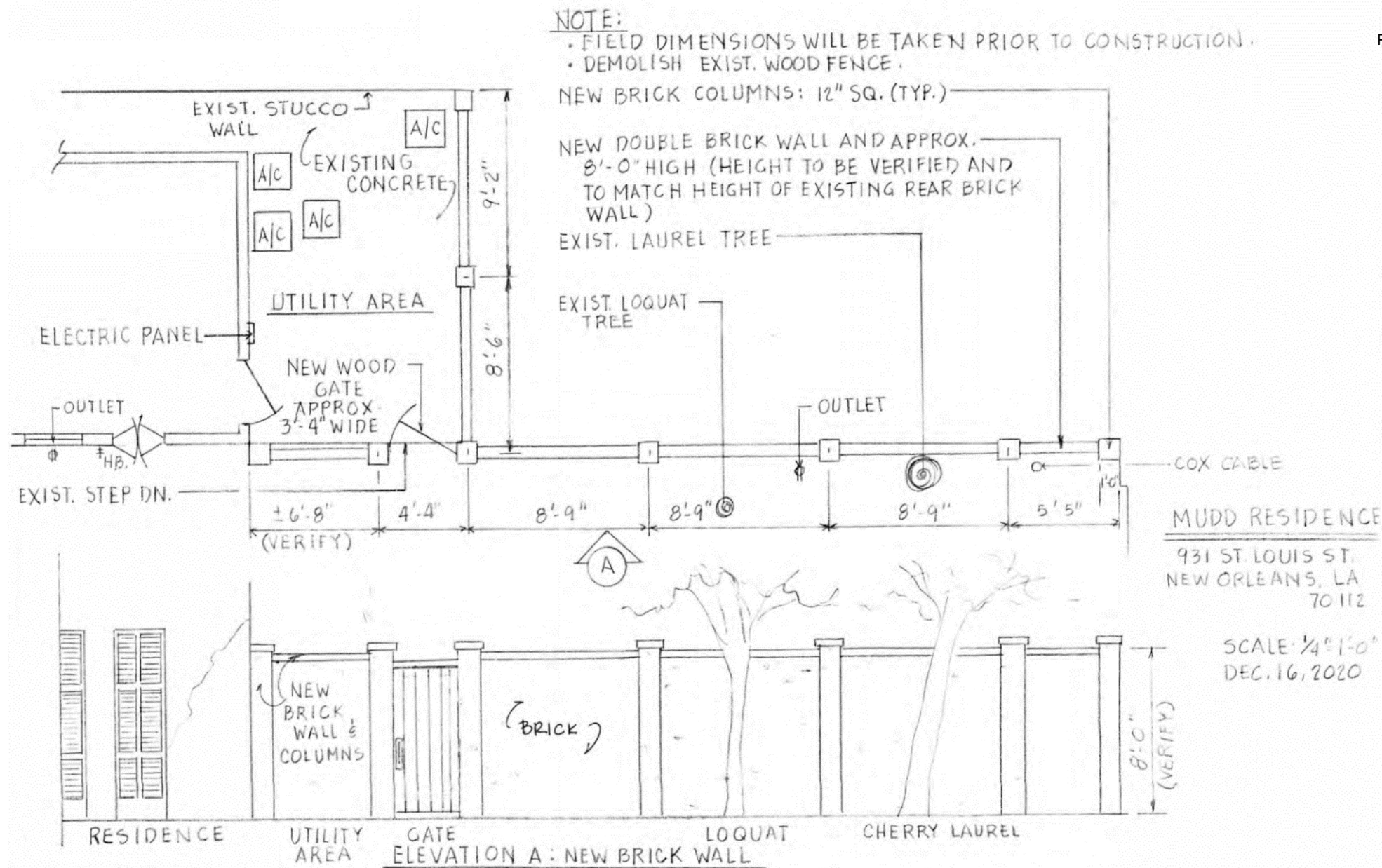
<p>MUDD RESIDENCE 931 ST. LOUIS STREET NEW ORLEANS, LA 70112</p>	<p>CONSTRUCTION LAYOUT PLAN</p>	<p>EXTERIOR DESIGNS, INC. BEVERLY KATZ P.O. BOX 13662 NEW ORLEANS, LA 70185 (504) 866-0276</p>	<p>DATE: 12/16/20 SHEET: SCALE: 1/4" = 1'-0"</p>	
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March 9, 2021





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March 9, 2021



THESE DRAWINGS HAVE BEEN CHECKED TO INSURE A REASONABLE AND NORMALLY ACCEPTABLE DEGREE OF ACCURACY. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS, AND CODE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS PRIOR TO THE START OF WORK.

REVISED:	12-20
DRAWN BY:	D.B.
CHECKED BY:	R.B.
FILE NO.:	14
JOB NO.:	208-20
DATE:	12-20
SCALE:	AS SHOWN



ROBERT B. ANDERSON
CONSULTING ENGINEERS, L.L.C.
432 N. ANTHONY STREET
NEW ORLEANS, LA. 70119
PHONE: 504-488-7797 FAX: 504-488-7946
1-800-476-5963 WEB: andersonengineers.com EMAIL: rband@bellouth.net

LAN. DETAILS AND NOTES
T., NEW ORLEANS, LA.
GN



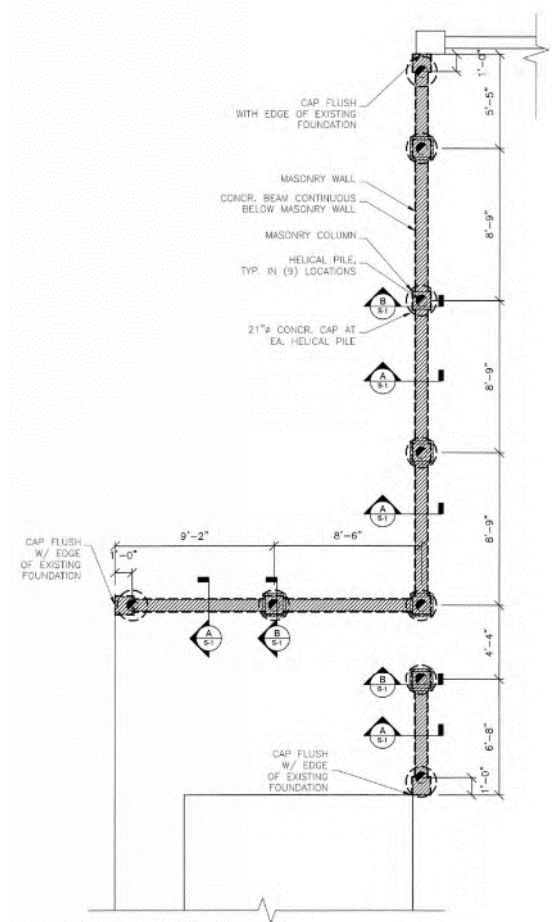
NOTE:
THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION. I HAVE RESEARCHED THE IRC 2015 CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

FOUNDATION GENERAL NOTES:

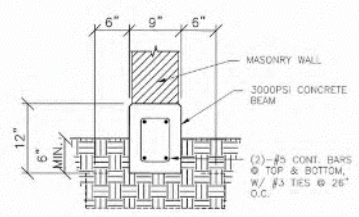
1. CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MINIMUM OF 5.0/5.2 BAGS OF CEMENT PER CUBIC YARD AND A MAXIMUM OF 30 GALLONS OF FREE AND ADDED WATER PER CUBIC YARD. POUR TO 5±1" SLUMP. SUCH A MIX SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 3000 P.S.I. AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (A.C.I. 318R-04).
2. CONCRETE TO HAVE A MINIMUM COMPRESSION STRENGTH OF 1,500 P.S.I. AT THE TIME OF STRESSING.
3. ALL CONVENTIONAL REINFORCING STEEL SHALL BE ASTM DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
4. REINFORCEMENT SHALL HAVE 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 1 1/2" COVER IN SLAB TOPS AND BOTTOMS, UNLESS OTHERWISE SHOWN.
5. REBARS SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
6. THE CONTRACTOR SHALL VERIFY ALL DROPS, SLOPES, RECESSES, BRICK SEATS, BLOCK-OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
7. COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS.
8. PLANS FOR PIPES, CONDUITS, THIMBLES, ETC., TO PASS THROUGH CONCRETE SLAB OR BEAM, MUST NOT CONFLICT WITH REINFORCING. WHERE A CONFLICT OCCURS, REINFORCING LOCATION IS TO TAKE PRECEDENCE.
9. PROVIDE .006 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS AND AND GRADE BEAMS.
10. ALL SECTIONS SHOWN ARE THE SECTIONS AT MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
11. THIS DESIGN TO BE USED ONLY FOR THE BELOW LOCATION:
MASONRY WALL FOUNDATION - 931 ST. LOUIS ST., NEW ORLEANS, LA

HELICAL PILE SPECIFICATIONS:
9 TOTAL PILES REQUIRED

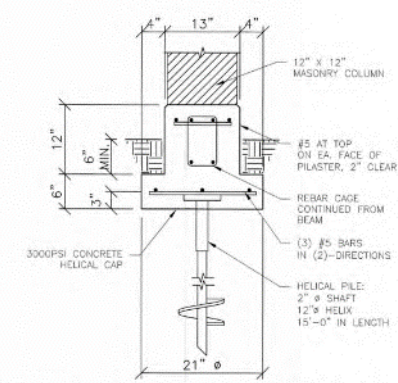
1. HELICAL PILES SHALL BE CHANCE SSS HELICAL PILES OR EQ. WITH A EMBEDMENT DEPTH OF 15'-0"
2. DESIGN LOAD = 8 TONS PER PILE
3. NO FIELD SUPERVISION OR INSPECTION PROVIDED UNDER THIS SEAL UNLESS NOTED OTHERWISE.
4. PILE LAYOUT MAY BE MODIFIED DUE TO ACTUAL DRIVING CONDITIONS. ENGINEER TO BE NOTIFIED IN ADVANCE OF ANY MODIFICATION.
5. TORQUE READINGS FOR THE FIRST (4) PILES IS TO BE REPORTED TO THE ENGINEER OF RECORD FOR REVIEW BEFORE DRIVING REMAINDER OF PILES.
6. A PILE TORQUE LOG OF ALL PILES TO BE SUBMITTED TO THE ENGINEER OF RECORD. FAILURE TO SUBMIT SAID LOG WILL RELEASE THE ENGINEER OF ALL RESPONSIBILITY.
7. CONTRACTOR IS RESPONSIBLE FOR THE COMPARISON AND VERIFICATION OF PILE LAYOUT DIMENSIONS WITH MOST RECENT ARCHITECTURALS ASSURING THAT PILES DO FALL WITHIN LIMITS OF THE HOUSE.
8. IF THE ALTERNATE IS DETERMINED TO BE A FEASIBLE OPTION, THEN AT THAT TIME ANDERSON ENGINEERS WILL FURNISH A HELICAL PILE LAYOUT.



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



SECTION A - BEAM
SCALE: 3/4" = 1'-0"

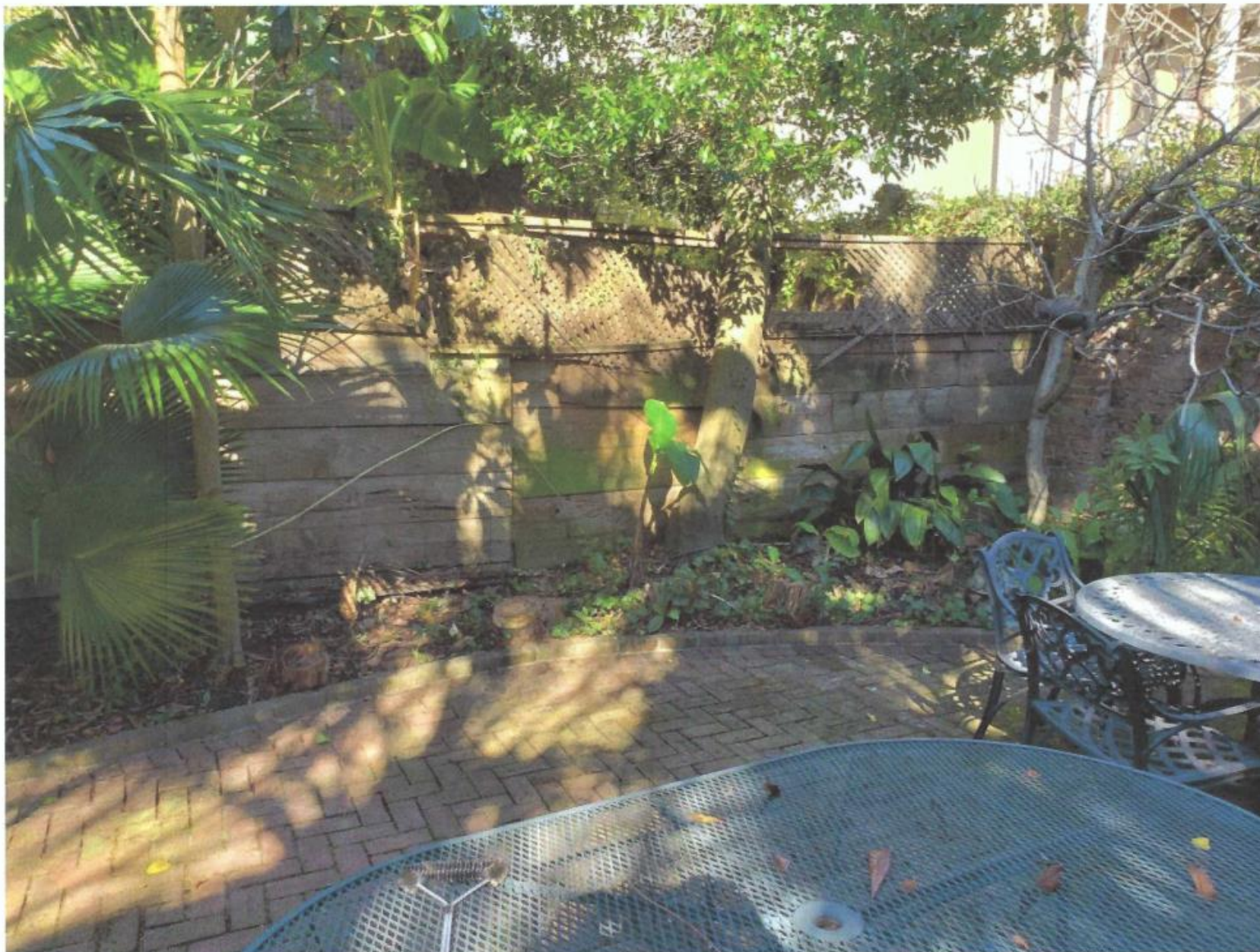


SECTION B - HELICAL PILE CAP
SCALE: 3/4" = 1'-0"

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MUDD RESIDENCE / 931 ST. LOUIS ST. / EXIST. WOOD FENCE

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EXISTING WOOD FENCE



EXIST.
WOOD
FENCE

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EXISTING UTILITY AREA

March 9, 2021





EXISTING
BRICK WALL -
REAR PROPERTY
LINE

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March 9, 2021





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MUDD RESIDENCE / 931 ST. LOUIS ST. / ST. JOE BRICKS

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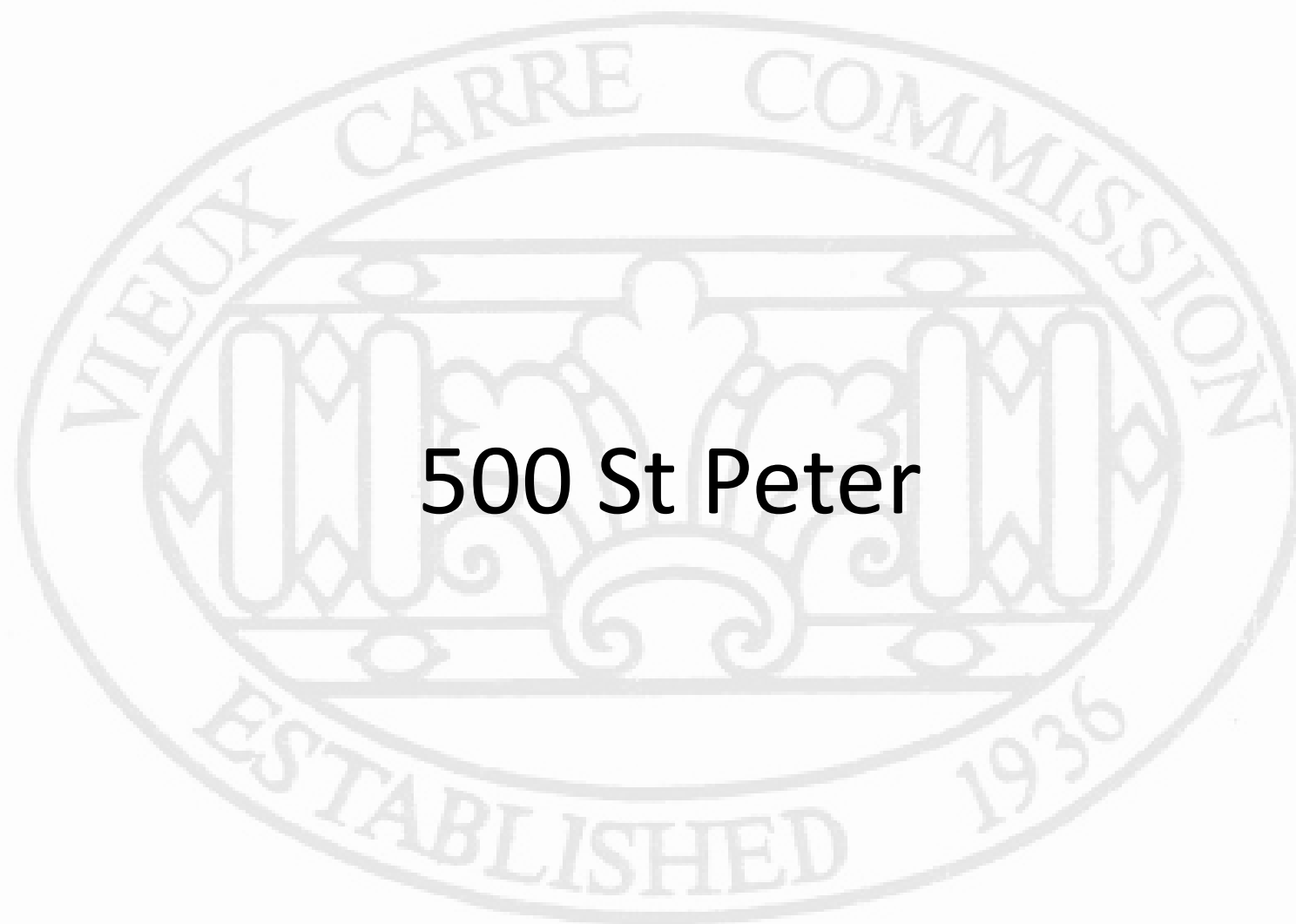
- FRONT WALK GATE
- WOOD GATE CONSTRUCTION INTO UTILITY AREA TO MATCH

931 St Louis

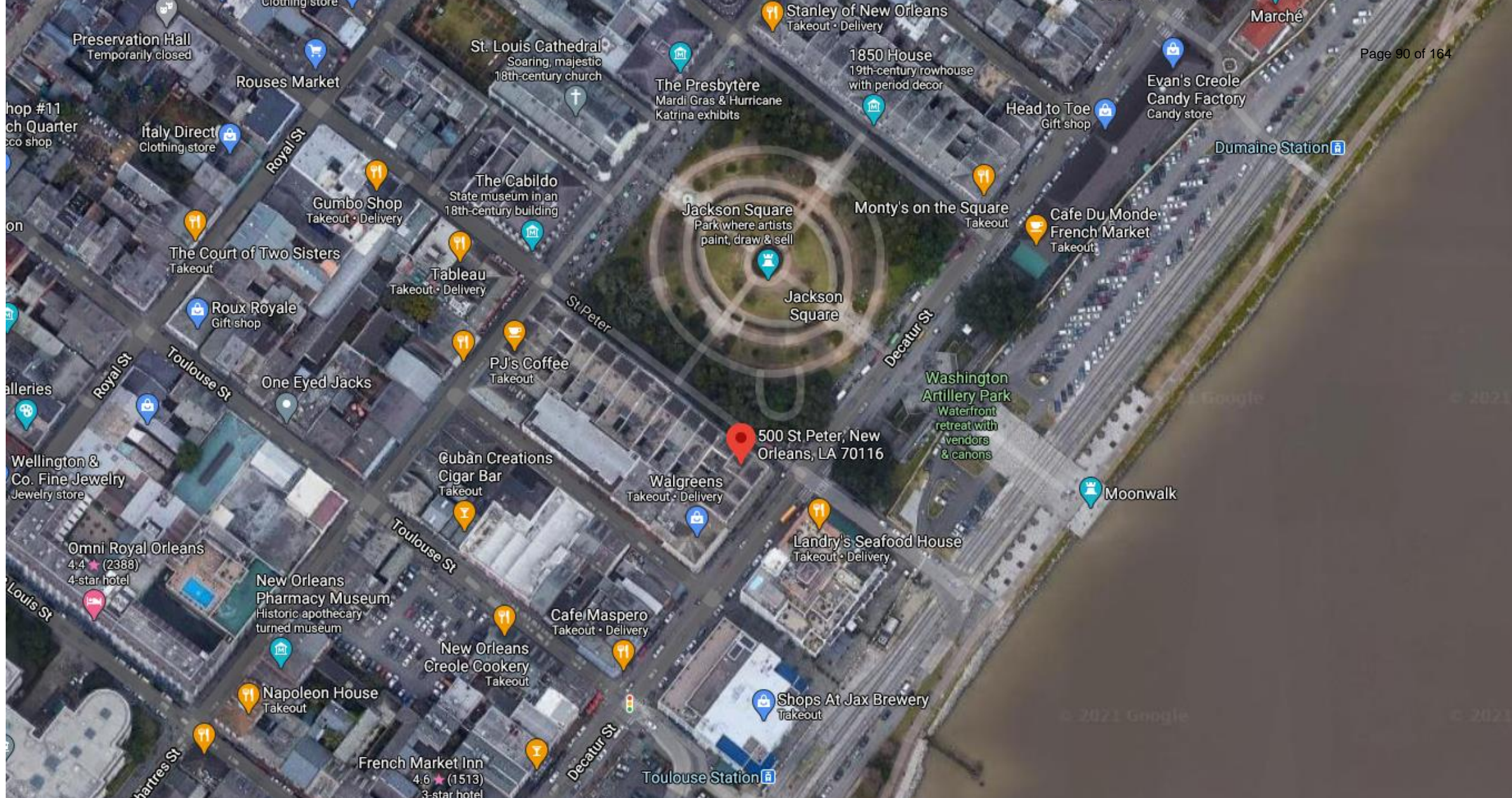
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March 9, 2021





500 St Peter



500 St Peter

VCC Architectural Committee

February 9, 2021





500 St Peter

VCC Architectural Committee

February 9, 2021





500 St Peter

VCC Architectural Committee

February 9, 2021





500 St Peter

VCC Architectural Committee

February 9, 2021



FMC UPB ROOF AND BUILDING REPAIRS

RENOVATION AND RESTORATION

500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
(504) 523-6400
CONTACT: ROBERT GURTNER
Email: RGURTNER@FRENCHMARKET.ORG

ARCHITECT
Trapolin-Peer | Architects, APC
850 TCHOUPTOULAS STREET
NEW ORLEANS, LA 70130
(504) 523-2772
CONTACT: BLAKE KIDDER
Email: BKIDDER@TRAPOLINPEER.COM

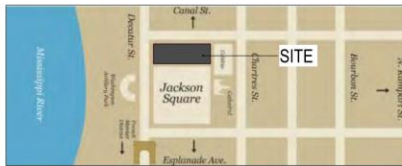
CONTRACTOR
Company Name
Street Address
City, State
Phone Number
Contact: Name
Email: Email

Consultant 1
Company Name
Street Address
City, State
Phone Number
Contact: Name
Email: Email

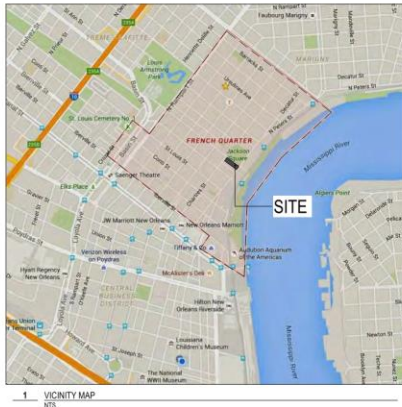
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Company Name
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Phone Number
Contact: Name
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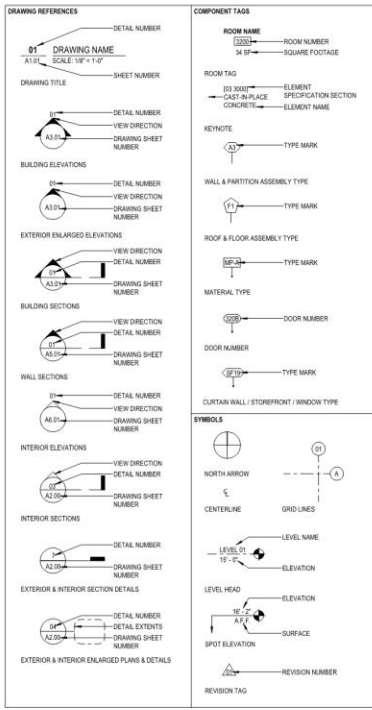
Consultant 4
Company Name
Street Address
City, State
Phone Number
Contact: Name
Email: Email



2 LOCATION MAP SITE



1 VICINITY MAP SITE



4 GENERAL - TAGS AND SYMBOLS

1/8" = 1' SCALE

#	NUMBER	NC	NOT IN CONTRACT
8	AT	NOM	NOMINAL
ABV	ABOVE	NOS	NOT IN SCOPE
ACP	ACCESS PANEL	NSMF	NON STRUCTURAL METAL FRAMING
ADJ	ADJACENT	NTS	NOT TO SCALE
ADJ	ADJACENT	OAD	OVERFLOW AREA DRAIN
ADJ	ADJACENT	OC	ON CENTER
ADJ	ADJACENT	OFI	ONCE FINISHED / CONTRACTOR INSTALLED
ADJ	ADJACENT	OPP	OPPOSITE
ADJ	ADJACENT	ORD	OVERFLOW ROOF DRAIN
ADJ	ADJACENT	OS	OVERFLOW SUPPLIER
ADJ	ADJACENT	OVH	OVERHEAD
ADJ	ADJACENT	PERF	PERFORATED
ADJ	ADJACENT	PL	PLATE
ADJ	ADJACENT	PLM	PLASTIC LAMINATE
ADJ	ADJACENT	PLUMB	PLUMBING
ADJ	ADJACENT	PLY	PLYWOOD
ADJ	ADJACENT	PML	PANEL
ADJ	ADJACENT	PPT	PARAPET
ADJ	ADJACENT	PT	PRESSURE TREATED
ADJ	ADJACENT	PTD	PAINT ON FINISHED PLUMBING VENT
ADJ	ADJACENT	RCP	REFLECTED CEILING PLAN
ADJ	ADJACENT	RD	ROOF DRAIN
ADJ	ADJACENT	REF	REFERENCE
ADJ	ADJACENT	REIN	REINFORCING OR REINFORCED
ADJ	ADJACENT	REQD	REQUIRED
ADJ	ADJACENT	REV	REVISION
ADJ	ADJACENT	RF	REFRIGERATOR
ADJ	ADJACENT	RUB	RUBBER
ADJ	ADJACENT	RO	ROUGH OPENING
ADJ	ADJACENT	RUB	RUBBER
ADJ	ADJACENT	ST	STOREFRONT
ADJ	ADJACENT	SM	SMALL
ADJ	ADJACENT	SP	STRUCTURAL INSULATED PANEL
ADJ	ADJACENT	SPEC	SPECIFIED OR SPECIFICATION
ADJ	ADJACENT	SS	STAINLESS STEEL
ADJ	ADJACENT	STC	SOUND TRANSMISSION COEFFICIENT
ADJ	ADJACENT	STL	STEEL
ADJ	ADJACENT	STRUCT	STRUCTURE OR STRUCTURAL
ADJ	ADJACENT	SC	SQUARE
ADJ	ADJACENT	TAG	TONGUE AND GROOVE
ADJ	ADJACENT	T	TOP
ADJ	ADJACENT	TEL	TELEPHONE
ADJ	ADJACENT	TEMP	TEMPORARY
ADJ	ADJACENT	TCC	TOP OF CONCRETE
ADJ	ADJACENT	TOS	TOP OF STEEL
ADJ	ADJACENT	TU	TUBE STEEL
ADJ	ADJACENT	TYP	TYPICAL
ADJ	ADJACENT	UN	UNLESS OTHERWISE NOTED
ADJ	ADJACENT	VERT	VERTICAL
ADJ	ADJACENT	VF	VERIFY IN FIELD
ADJ	ADJACENT	VWB	VENTED WOOD FLOOR BASE
ADJ	ADJACENT	W	WITH
ADJ	ADJACENT	WO	WITHOUT
ADJ	ADJACENT	WV	WATER HEATER
ADJ	ADJACENT	WW	WINDOW WALL

SHEET NUMBER	SHEET NAME	ISSUE DATE
T1.01	COVER SHEET	02/09/21
T1.02	GENERAL	02/09/21
T1.03	DESIGN PRECEDENTS	02/09/21
T1.04	HISTORIC PHOTOS	02/09/21
T1.05	GENERAL PLANS	02/09/21
T1.06	ARCHITECTURAL	02/09/21
T1.07	QUAD 1 ROOF PLANS	02/09/21
T1.08	QUAD 2 ROOF PLANS	02/09/21
T1.09	VCC SO PRESENTATION	02/09/21
T1.10	COURTYARD 1 - EXISTING CONDITIONS	02/09/21
T1.11	COURTYARD 1 - EXISTING ELEVATIONS AND PLANS	02/09/21
T1.12	COURTYARD 1 - PROPOSED ELEVATIONS AND PLANS	02/09/21
T1.13	COURTYARD 1 - AXONS	02/09/21
T1.14	COURTYARD 1 - AXONS	02/09/21
T1.15	COURTYARD 2 - EXISTING ELEVATIONS AND PLANS	02/09/21
T1.16	COURTYARD 2 - PROPOSED ELEVATIONS AND PLANS	02/09/21
T1.17	COURTYARD 2 - AXONS	02/09/21
T1.18	COURTYARD 2 - AXONS	02/09/21
T1.19	COURTYARD 3 - EXISTING CONDITIONS	02/09/21
T1.20	COURTYARD 3 - EXISTING ELEVATIONS AND PLANS	02/09/21
T1.21	COURTYARD 3 - PROPOSED ELEVATIONS AND PLANS	02/09/21
T1.22	COURTYARD 3 - AXONS	02/09/21
T1.23	COURTYARD 3 - AXONS	02/09/21
T1.24	COURTYARD 4 - EXISTING PLANS	02/09/21
T1.25	COURTYARD 4 - EXISTING ELEVATIONS	02/09/21
T1.26	COURTYARD 4 - PROPOSED ELEVATIONS	02/09/21
T1.27	COURTYARD 4 - AXONS	02/09/21
T1.28	COURTYARD 4 - AXONS	02/09/21
T1.29	PANEL WALL AND WINDOW	02/09/21

GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DRAWINGS. SHOULD ACCIDENTS OR DISCREPANCIES OCCUR, THE BETTER QUALITY, GREATER QUANTITY, AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE PERFORMED OR FURNISHED UNLESS INSTRUCTED OTHERWISE BY THE ARCHITECT. DISCREPANCIES BETWEEN INSTALLATION METHODS FOR SPECIFIED ITEMS SHALL NOT BE CAUSE TO CHANGE THE CONTRACT SUM OR DELAY THE CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VISIT THE JOB SITE AND INSPECT THE PROJECT SCOPE IN ITS ENTIRETY TO BECOME ACQUAINTED WITH THE JOB CONDITIONS AND SHALL CAREFULLY STUDY ALL DRAWINGS AND SPECIFICATIONS PERTAINING TO THE WORK. IF ANY OF THE WORK IS LOST OR INDICATED, OR SPECIFIED IS CONTRARY TO OR CONFLICTS WITH ANY LOCAL, STATE, OR OVERSIGHTER ORDINANCES OR REGULATIONS, THE SAME SHALL BE REPORTED TO THE ARCHITECT BEFORE SUBMITTING THE BID. IF NO SUCH REPORT IS MADE, THE WORK SHALL BE REQUIRED BY SUCH ORDINANCE AT NO EXPENSE TO THE OWNER. THE INFORMATION WITHIN THESE DOCUMENTS ARE EXAMPLES OF MOST CONDITIONS OBSERVED AND NOT A COMPLETE REPRESENTATION OF ALL CONDITIONS EXISTING. THE CONTRACTOR SHALL BE REQUIRED TO DO A COMPLETE AND THOROUGH WALK OF THE EXISTING BUILDING TO DOCUMENT ALL CONDITIONS AND EXTENT OF EACH SCOPE PRIOR TO SUBMITTING A BID.
- THE INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS ARE FROM VISUAL OBSERVATIONS AND SHOULD NOT BE ASSUMED TO BE ALL INCLUSIVE. THE CONTRACTOR SHALL CONDUCT A THOROUGH INVESTIGATION OF THE EXISTING BUILDING AS WELL AS ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR SHALL SUBMIT A WRITTEN INQUIRY TO THE ARCHITECT FOR DETERMINATION OF REMEDIAL REPAIRS.
- ONE ROW HOUSE IS TO BE EXTERIOR AND COMPLETED BEFORE MOVING TO THE NEXT. EACH QUADRANT IS LABELED AS "T", "F", "A", "B" EACH QUADRANT INCLUDES THREE TO FOUR ROW HOUSES AS NOTED ON SHEET G-1.03.
- WHEN NO SPECIFIED DETAILS ARE SHOWN, THE CONSTRUCTION SHALL BE SIMILAR TO THAT INDICATED OR NOTED FOR SIMILAR CONDITIONS AND CASES OF CONSTRUCTION ON THIS PROJECT. REFERENCES OF NOTES AND DETAILS TO SPECIFICATIONS AND LOCATIONS SHALL NOT LIMIT THEIR APPLICABILITY.
- ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODE AND ALL APPLICABLE LAWS, RULES, REGULATIONS, AND ORDINANCES OR GOVERNING AUTHORITY. IN CASE OF CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, ARRANGE FOR ALL REQUIRED INSPECTIONS, TEMPORARY TELEPHONE, TEMPORARY WASTE, TEMPORARY PLUMBING, TEMPORARY ELECTRICAL, AND TRASH REMOVAL. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE FOR REFERENCES OF EXISTING ELEMENTS ONLY. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE. IF ANY DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATIONS AND COORDINATION OF SUBCONTRACTORS WORK TO SECURE COMPLIANCE TO DRAWINGS AND SPECIFICATIONS.
- PLAN ORIENTATION DIRECTION: TRUE NORTH IS INDICATED BY A NORTH ARROW SHOWN ON THE PLAN.
- VARIANCES OF ACTUAL EXISTING SITE CONDITIONS FROM THOSE ILLUSTRATED ON THESE DRAWINGS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND INSTALL ALL BORING TO COMPLETE THE SCOPE OF THE WORK INDICATED IN THE CONSTRUCTION DOCUMENTS THROUGHOUT THE DURATION OF CONSTRUCTION.
- REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAM SEAMS MUST BE FOLDED OVER AND CRIMPED.

TRAPOLIN-PEER
ARCHITECTS

VCC SUBMITTAL

Page 94 of 164

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REVISION # DESCRIPTION DATE

TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER
CND20096
ISSUE DATE
02/09/21

COVER SHEET

T1.01



500 St Peter

VCC Architectural Committee

February 9, 2021

PROJECT: 500 St. Peter

DATE: 02/23/21



TRAPOLINPEER
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CONTRACTOR
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City, State
Phone Number

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CONSTRUCTION

REVISION #	DESCRIPTION	DATE
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PROJECT NUMBER
CH20095
ISSUE DATE
02/23/21

DESIGN
PRECEDENTS

G0.03





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ISSUE DATE
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**HISTORIC
PHOTOS**

G0.04

500 St Peter

VCC Architectural Committee

February 9, 2021



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PROJECT NUMBER
CH20006
ISSUE DATE
8/23/21

OVERALL PLANS

G0.06



GENERAL CONSTRUCTION NOTES

- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. PROTECTION GENERALLY INVOLVES THE LEAST DEGREE OF INTERFERENCE AND IS PREPARATORY TO OTHER WORK. PROTECTION INCLUDES THE MAINTENANCE OF MATERIALS AND FEATURES IN THE CONSTRUCTION SCOPE, AS WELL AS ENSURING THAT THE PROPERTY IS PROTECTED BEFORE AND DURING CONSTRUCTION. AN OVERALL EVALUATION OF THE PHYSICAL CONDITION OF THE QUALIFYING HISTORIC FEATURES FROM THE CONSTRUCTION SCOPE SHOULD BE MADE PRIOR TO THE START OF WORK.
- REMOVE EXISTING MASONRY ONLY WHEN NECESSARY TO HALT DETERIORATION OR REMOVAL OF INTRUSIVE MATERIALS.
- CLEAN SOLID MASONRY SURFACES WITH THE GENTLEST METHOD POSSIBLE, SUCH AS USING LOW-PRESSURE WATER AND DETERGENT AND NATURAL BRISTLE OR OTHER SOFT-BRISTLE BRUSHES.
- USE BIODEGRADABLE OR ENVIRONMENTALLY-SAFE CLEANING OR PAINT REMOVAL PRODUCTS.
- USE PAINT REMOVAL METHODS THAT EMPLOY A POLYCE TO BRING PAINT AWAY, WHEN POSSIBLE, TO HEALTHY AND SAFELY REMOVE OLD LEAD PAINT.
- WHERE INDICATED ON DRAWINGS USE COATINGS THAT ENCAPSULATE LEAD PAINT, WHEN POSSIBLE. WHEN PAINT IS NOT REQUIRED TO BE REMOVED TO MEET ENVIRONMENTAL REGULATIONS.
- TUCK POINTING IS REQUIRED AT EXPOSED MASONRY PARTY WALLS THAT EXTEND TO ROOF AND CHIMNEYS.
- REPAIR MASONRY WALLS AND OTHER MASONRY FEATURES BY REPOINTING THE MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION, SUCH AS DISINTEGRATING MORTAR, CRACKS IN MORTAR JOINTS, LOOSE BRICKS, OR DAMAGED PLASTER.
- REMOVE DETERIORATED LIME MORTAR CAREFULLY BY HAND RAKING THE JOINTS TO AVOID DAMAGING THE SOUND JOINTS MASONRY.
- USE POWER TOOLS ONLY ON HORIZONTAL JOINTS OF BRICK MASONRY IN CONNECTION WITH HAND CHISELING TO REMOVE HARD MORTAR THAT IS DETERIORATED OR THAT IS A NON-HISTORIC MATERIAL WHICH IS CAUSING DAMAGE TO THE EXISTING MASONRY UNITS. MECHANICAL TOOLS SHOULD BE USED ONLY BY SKILLED MASONRY IN LIMITED CIRCUMSTANCES AND GENERALLY TO NOT ON VERTICAL JOINTS IN BRICK MASONRY.
- DUPPLICATE HISTORIC MORTAR JOINTS IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE WHEN REPOINTING IS NECESSARY. IN SOME CASES, A LIME-BASED MORTAR MAY ALSO BE CONSIDERED WHEN REPOINTING PORTLAND CEMENT MORTAR JOINTS BECAUSE IT IS MORE DURABLE.
- SOUND INSPECT ALL AREAS OF EXISTING STUCCO. REPAIR AREAS OF STUCCO THAT ARE LOOSE, CRACKED OR DAMAGED. PRIME AND PAINT ONCE COMPLETE.
- REPAIR STUCCO BY REMOVING THE DAMAGED MATERIAL AND PATCHING WITH NEW MATERIAL THAT DUPLICATES THE HISTORIC STUCCO IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE.
- EXISTING SOLDER SEAMS SHOWING SIGNS OF CRACKS ARE TO BE REPAIRED THROUGHOUT THE BUILDING AS A GENERAL REQUIREMENT.

PLAN LEGEND

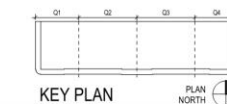
- NOS - NOT IN SCOPE
- EXTERIOR COURTYARD - OPEN TO AIR ABOVE

GENERAL ROOF NOTES

- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. IDENTIFY, RESTORE AND PRESERVE ROOFS IN THE CONSTRUCTION SCOPE AND THEIR FUNCTIONAL AND DECORATIVE FEATURES.
- PROTECT AND MAINTAIN ROOFS IN THE CONSTRUCTION SCOPE BY CLEANING GUTTERS AND DOWNSPUTS AND REPLACING DETERIORATED FLASHING. ROOF SHEATHING SHOULD ALSO BE CHECKED FOR INDICATIONS OF MOISTURE DUE TO LEAKS OR CONDENSATION.
- PROTECT ADJACENT ROOFS AND HISTORIC FEATURES WHEN WORKING ON OTHER ROOF FEATURES NOT IN SCOPE.
- EVALUATE THE OVERALL CONDITION OF THE ENTIRE ROOF TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE, SUCH AS REPAIRS TO ROOF FEATURES, WILL BE NECESSARY.
- REMOVE AND REPLACE COPPER ROOFS IN THEIR ENTIRETY. TYP IN ALL COURTYARDS. REPAIRS INCLUDE REPLACING THE COPPER ROOF IN KIND, MATCHING THE EXISTING MATERIALS TYPE, THICKNESS, TEXTURE AND FINISH.
- REPAIR DAMAGED PORTIONS OF SLATE ROOFS WITH MATERIALS THAT MATCH THE EXISTING SLATES TYPE, TEXTURE, THICKNESS AND FINISH.
- REMOVE EXISTING GUTTERS AND DOWNSPUTS. THE NEW GUTTERS AND DOWNSPUTS ARE TO BE SIZED TO ACCOMMODATE STORM WATER DRAIN ALL MATERIALS AND PARTS ARE TO MATCH THE EXISTING GUTTER AND DOWNSPUT TYPES, TEXTURES AND FINISHES.
- PAINTED CAST IRON ROOFS ARE REQUIRED IN ALL TENANT SPACES OCCUPIED BY COMMERCIAL TENANTS.
- VIDEO INSPECT ALL SUB-SURFACE STORM DRAINAGE FROM COURTYARD TO PUBLIC WAY. TYPICAL IN ALL COURTYARDS. PROVIDE VIDEO INSPECTION FROM OWNERS AND ARCHITECTS REVIEW.
- SNAKE CLOSURE SUB-SURFACE DRAINAGE AS DETERMINED BY OWNER AND ARCHITECT.

ROOF MATERIAL LEGEND

- COPPER ROOF
- SLATE ROOF
- EXTERIOR COURTYARD - OPEN TO AIR ABOVE



1 OVERALL PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

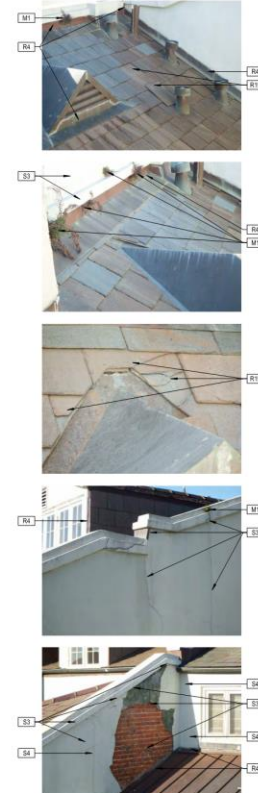


2 OVERALL PLAN - ROOF PLAN
SCALE: 1/8" = 1'-0"

500 St Peter

VCC Architectural Committee

February 9, 2021

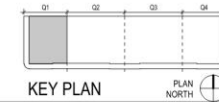
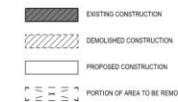


REPAIR/DEMOS NOTES: QUAD 1 ROOF	
TYPE MARK	REMARKS
R1	REMOVE EXISTING VEGETATION AND ORGANIC MATERIAL COMPLETELY AND REPAIR MASONRY/MORTAR FOR SMOOTH TRANSITION TO ADJACENT SURFACES - REPAIR AND FILL CRACKS AT SOURCE OF GROWTH.
R2	CUT OUT EXISTING SEALANT AND INSTALL NEW SEALANT - TYPICAL AT ALL EXISTING AND MISSING CALK LOCATIONS THROUGHOUT ENTIRE ROOF - WHERE PREVIOUSLY SOLIDIFIED JOINTS ARE CRACKED OR MISSING REMOVE OLD SOLDIER BAND AREA AND SOLIDIFY COMPLETELY. ALL COPPER TO COPPER CONDITIONS WILL BE SOLIDIFIED REGARDLESS OF EXISTING CALK IN SOME INSTANCES. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO REPAIRS.
R3	REMOVE AND REPLACE EXISTING "F" ROOF FLEET. REPAIR/REPLACE UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR.
R4	REPLACE/INSTALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR - TYPICAL AT ALL EXISTING CONDITIONS.
R5	REPLACE THE ENTIRETY OF THE COPPER ROOF IN/UND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CHIMPED.
R6	REMOVE EXISTING COPPER ROOF CAP AND REPLACE WITH NEW CAP THAT MATCHES THE EXISTING CAPS SIZE AND PROFILE.
R7	REMOVE EXISTING CEMENT PLASTER FOR PROPER AND SOLID ADHESION TO BRICK SUBSTRATE. REMOVE ALL LOOSE AND CRACKED PLASTER AND INSTALL NEW PLASTER TO MATCH ADJACENT AREAS. COAT TOPS AND SIDES WITH ELASTOMERIC COATING AS PER MFG. RECOMMENDATIONS. CUT AND CLEAN OUT PLASTER CRACKS IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS TO RESEAL CRACK WHERE MORTAR CRACKS OCCUR AND EXISTING PLASTER IS SOUND. INSTALL SAND IN THE FACE OF THE SEALANT TO MATCH ADJACENT TEXTURE - PREVIOUS PATCH REPAIRS ARE TO BE COMPLETELY REMOVED BEFORE APPLYING NEW MATERIAL.
R8	REMOVE ALL EXISTING STUCCO PLASTER AND MORTAR CAPS. REMOVE ALL LOOSE STUCCO AND REPLACE WITH NEW 1/2\"/>

MATERIAL LEGEND



PHASE LEGEND



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION

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CH20096
ISSUE DATE
02/23/21

QUAD 1-ROOF PLANS

A3.10





QUADRANT 2 WILKINSON STREET (SIDE)

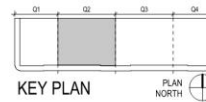
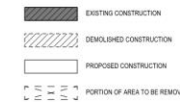


REPAIR/REMOVAL NOTES, QUAD 2 ROOF	
TYPE MARK	REMARKS
R1	REMOVE EXISTING VEGETATION AND ORGANIC MATERIAL, COMPLETELY AND REPAIR MASONRY/MORTAR FOR SMOOTH TRANSITION TO ADJACENT SURFACES. REPAIR AND FILL CRACKS AT SOURCE OF GROWTH.
R2	REMOVE EXISTING COPPER GUTTER AND REPLACE WITH 1/2" ALUMINUM COPPER HALF ROUND BUTTER PER PLAN DESIGNATION SIZE, STRAPPED AT 2' O.C. MAX.
R3	CUT OUT EXISTING BELLY AND INSTALL NEW BELLY. TYPICAL AT ALL EXISTING AND MISSING GUTTER LOCATIONS THROUGHOUT ENTIRE ROOF. WHERE PREVIOUSLY BELLYED JOINTS ARE CRACKED OR MISSING REMOVE OLD BELLY, SAND AREA AND SOLDER COMPLETELY. ALL COPPER TO COPPER JOINTS SHALL BE SOLDERED REPAIRS OF EXISTING GUTTER IN SOME INSTANCES, NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO REPAIRS.
R4	REMOVE EXISTING COPPER BASE AND COUNTER FLASHING, REINSTALL NEW FULLY SOLDERED BASE FLASHING AND INSTALL NEW COUNTER FLASHING.
R5	REMOVE AND SALVAGE EXISTING "Y" RIDGE TILES, REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF ROOFING.
R6	REPLACE EXISTING BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR. TYPICAL AT ALL EXISTING CONDITIONS.
R7	CONTRACTOR TO REMOVE TRIM AND EXPOSED FLASHING TO EXAMINE EXISTING INSTALLATION METHODS AND REPAIRS NEEDED. WHEN REPLACING USE COAT TWO SHINGLES NO FINGER JOINTS ALLOWED. ALL NEW COMPONENTS WILL BE PRIMED ON ALL 4 SIDES AND ENDS BEFORE INSTALLING AND PAINTED ON ALL SIDES. TYPICAL AT ALL DORMER BELLS, SIDES AND ENDS FLASHING TO BE REMOVED AND REINSTALLED UNDER ROOFING SLATES.
R8	REMOVE STUCCO PLASTER ABOVE DORMER OPENINGS, EXAMINE EXISTING FLASHING AND REMOVE IF DAMAGED. PREP SURFACES FOR NEW FLASHING AND STUCCO TO BE REPLACED. FLASHING WILL NEED TO BE CONTINUOUS AND EXTEND BEYOND EDGE OF OPENING TRIM.
R9	REPLACE THE ENTIRETY OF THE COPPER ROOF IN WIND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CHIMNEY ROUNDED. ROUND ALL CORNER PLASTER FOR PROPER AND SOLID ADHESION TO BRICK SUBSTRATE. REMOVE ALL LOOSE AND CRACKED PLASTER AND INSTALL NEW PLASTER TO MATCH ADJACENT AREAS. COAT TOPS AND SIDES WITH ELASTOMERIC COATING AS PER MFG. RECOMMENDATIONS. CUT AND CLEAN OUT PLASTER CRACKS IN ACCORDANCE WITH BELLYMANUFACTURERS REQUIREMENTS TO RESEAL CRACK WHERE MINOR CRACKS OCCUR AND EXISTING PLASTER IS SOUND. INSTALL SAND IN THE FACE OF THE BELLYMAN TO MATCH ADJACENT TEXTURE. PREVIOUS PATCH REPAIRS ARE TO BE COMPLETELY REMOVED BEFORE APPLYING NEW MATERIAL.
R10	ROUND ALL EXISTING STUCCO PLASTER AND MORTAR CARP. REMOVE ALL LOOSE STUCCO AND REPLACE WITH NEW 3 COAT STUCCO PLASTER VCC MIX. STUCCO IS TO USE WHITE PORTLAND IN THE MIX. PRESSURE CLEAN CHIMNEY MORTAR CAPS AND ALL PLASTER PLASTER AREAS INCLUDING SIDES AND INSTALL CLEAR SEALER ON CAP TYPICAL AT ALL LOCATIONS. NOTIFY ARCHITECT PRIOR TO ANY PRESSURE WASHING TO AVOID DAMAGE TO HISTORIC BUILDINGS.

MATERIAL LEGEND



PHASE LEGEND



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504.636.6400

ARCHITECT
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QUAD 2-ROOF PLANS

A3.20





IMAGE 1

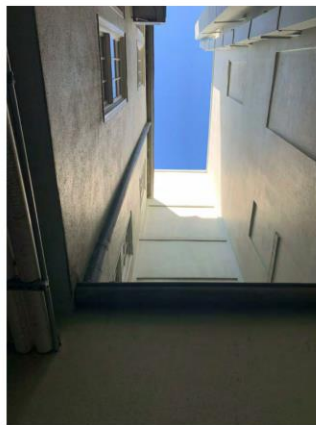


IMAGE 2

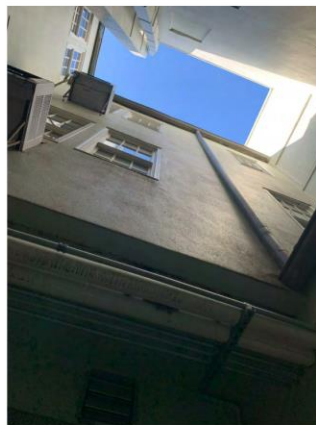


IMAGE 3



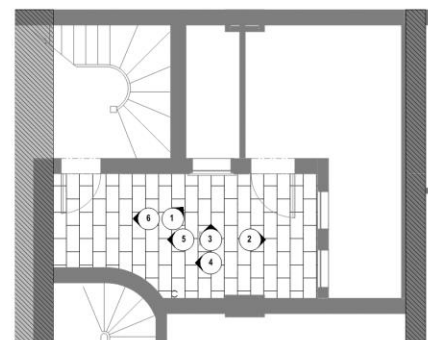
IMAGE 4



IMAGE 5



IMAGE 6



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**COURTYARD 1 -
EXISTING
CONDITIONS**

A1.00

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**COURTYARD 1 -
EXISTING
ELEVATIONS AND
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A1.01



500 St Peter – Courtyard 1

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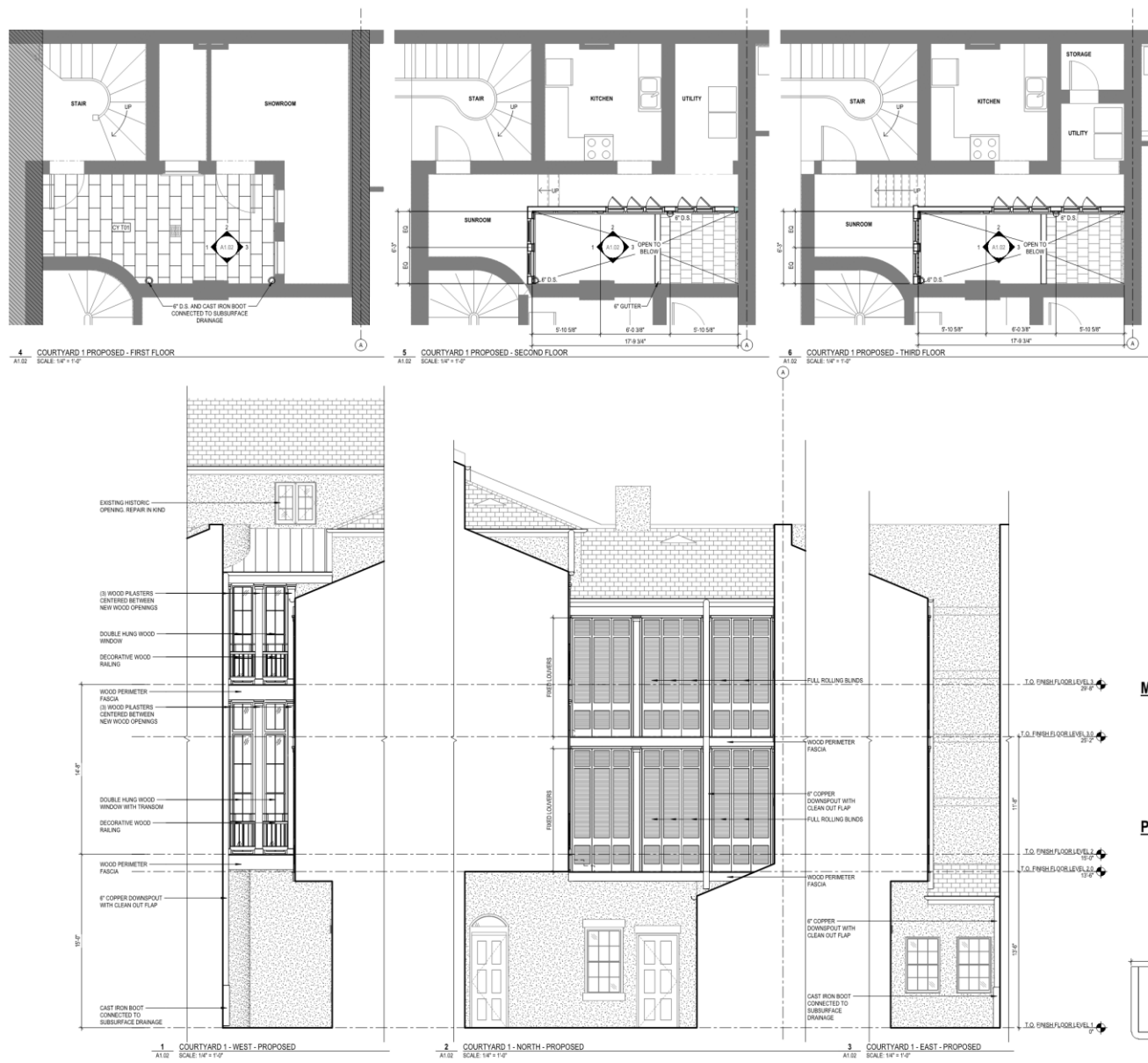
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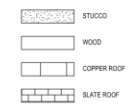
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**COURTYARD 1 -
PROPOSED
ELEVATIONS AND
PLANS**

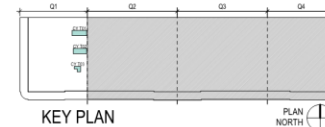
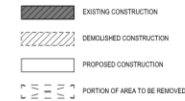
A1.02



MATERIAL LEGEND



PHASE LEGEND



500 St Peter – Courtyard 1

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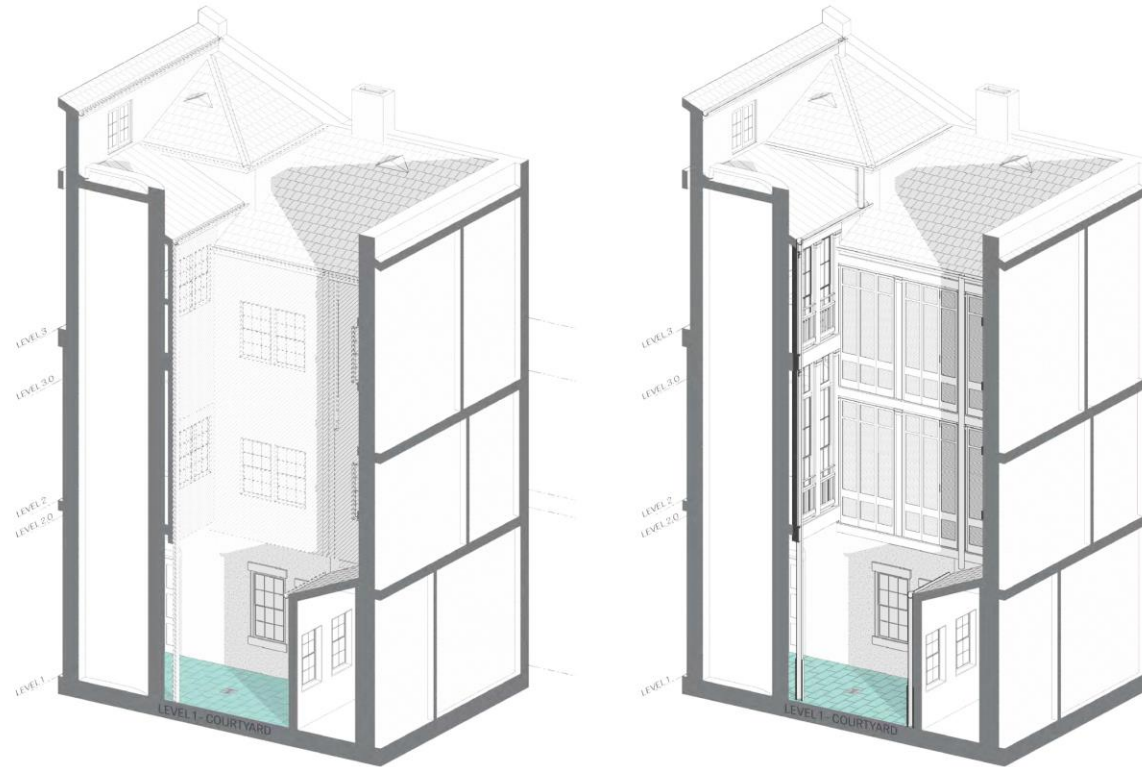
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**COURTYARD 1 -
AXONS**

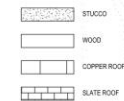
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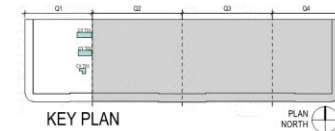
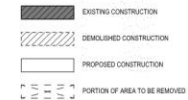
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A1.03
COURTYARD TYPE 1 - EXISTING AXON, NE
SCALE:

1
A1.04
COURTYARD TYPE 1 - PROPOSED AXON, NE
SCALE:

MATERIAL LEGEND



PHASE LEGEND



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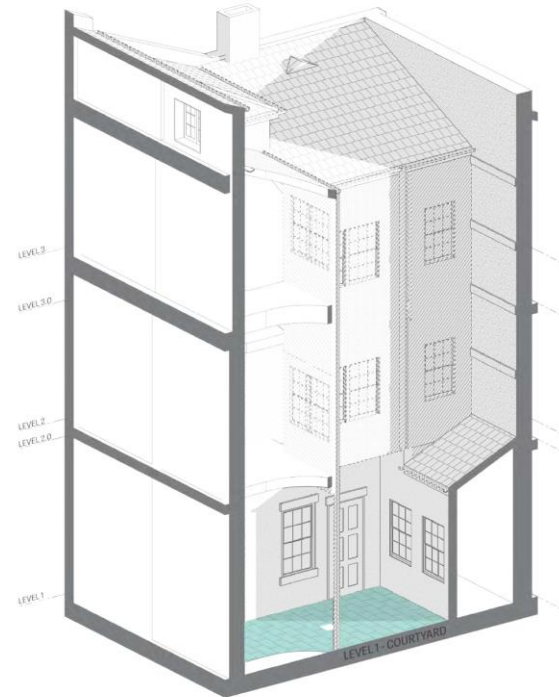
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**COURTYARD 1 -
AXONS**

A1.04

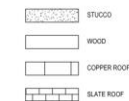


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A1.04 SCALE

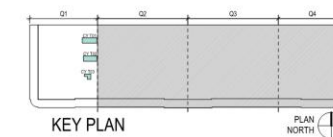
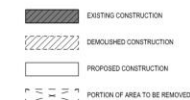


1 COURTYARD TYPE 1 - PROPOSED AXON, NW
A1.04 SCALE

MATERIAL LEGEND



PHASE LEGEND



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ISSUE DATE
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**COURTYARD 2 -
EXISTING
ELEVATIONS AND
PLANS**

A2.01

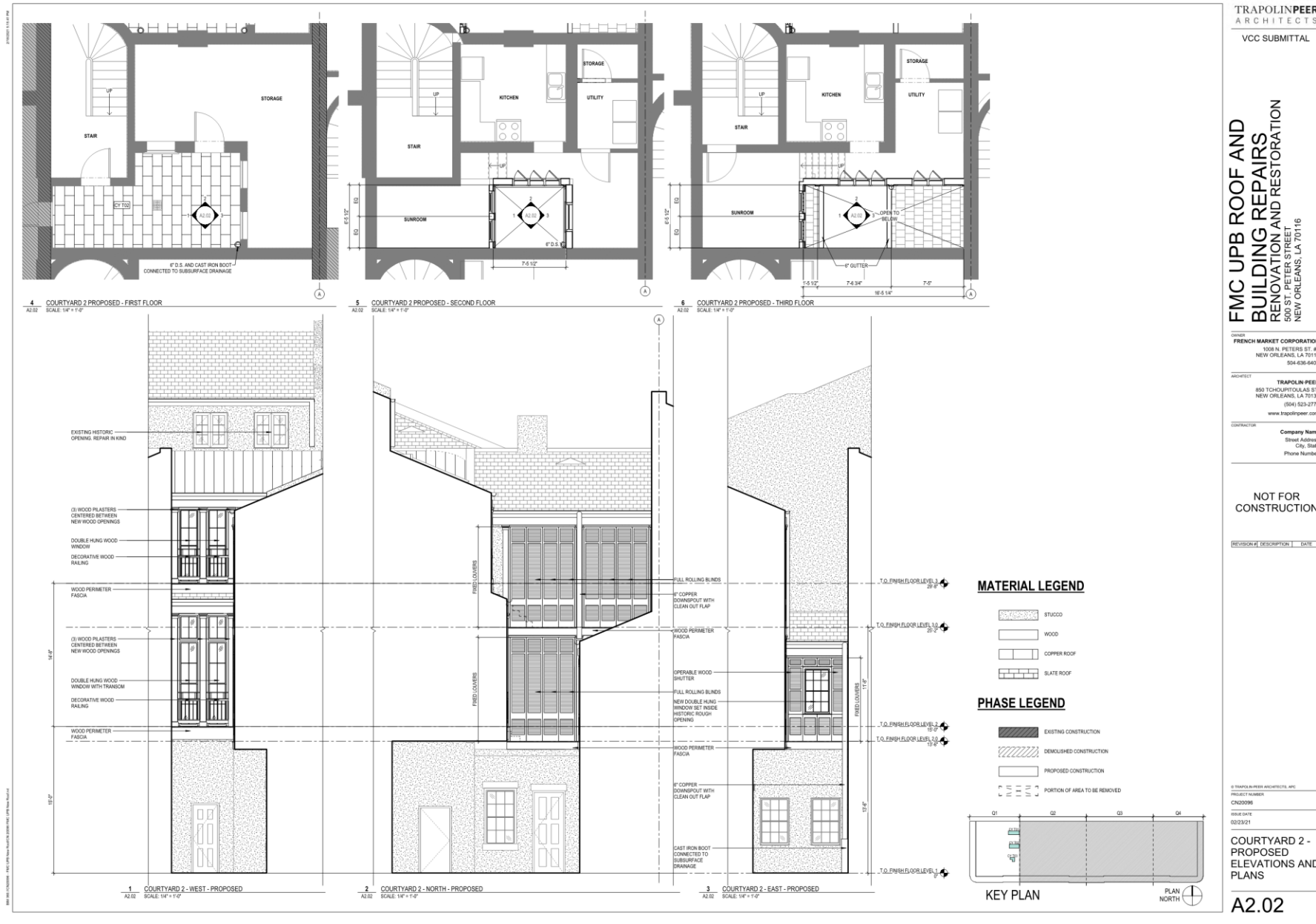


500 St Peter – Courtyard 2

VCC Architectural Committee

February 9, 2021





500 St Peter – Courtyard 2

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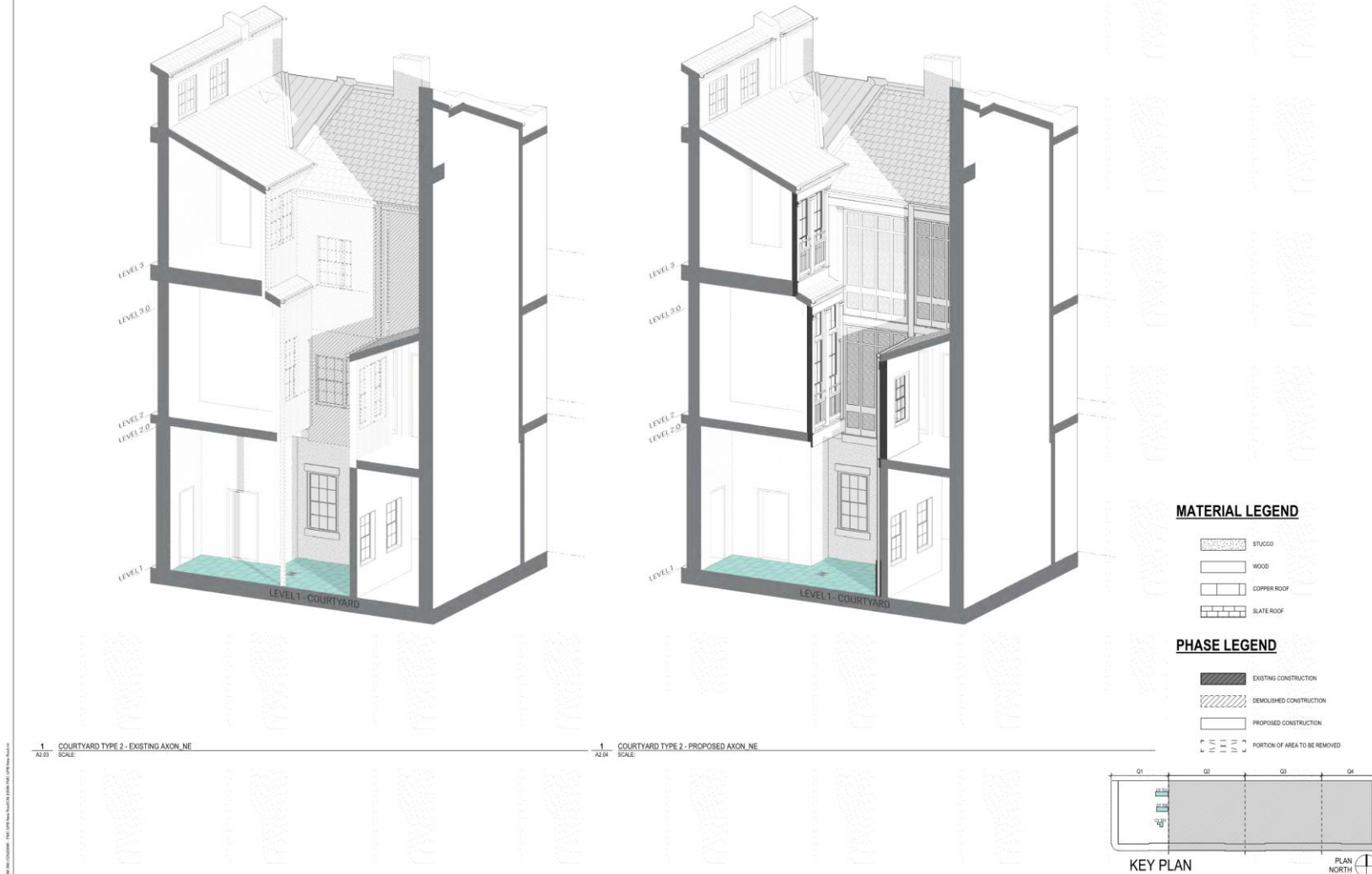
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**COURTYARD 2 -
AXONS**

A2.03

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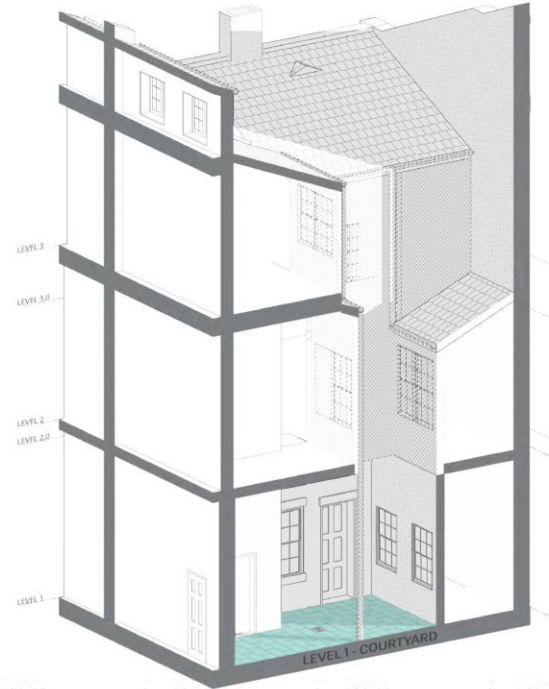
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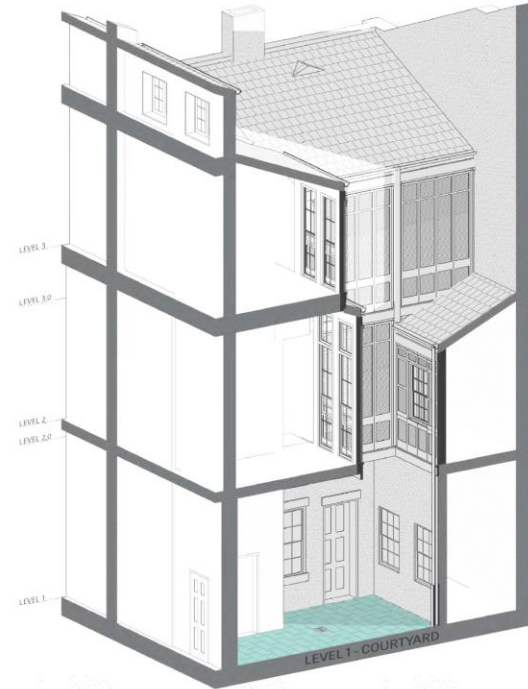
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**COURTYARD 2 -
AXONS**

A2.04



1 COURTYARD TYPE 2 - EXISTING AXON, NW
AS IS SCALE

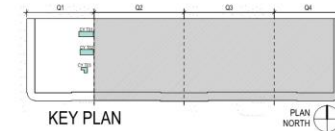
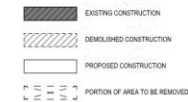


1 COURTYARD TYPE 2 - PROPOSED AXON, NW
SCALE

MATERIAL LEGEND



PHASE LEGEND



KEY PLAN

PLAN NORTH

PROJECT 15-000

500 ST. PETER - FMC UPB ROOF AND BUILDING REPAIRS

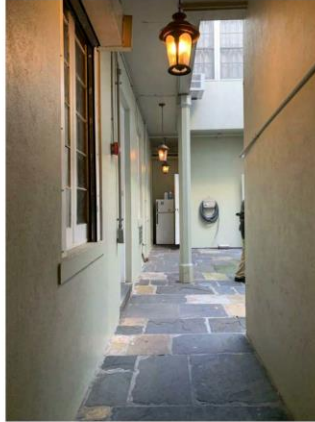


IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



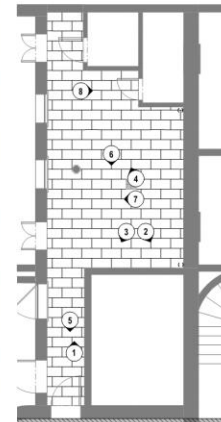
IMAGE 6



IMAGE 7



IMAGE 8



**FMC UPB ROOF AND
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NEW ORLEANS, LA 70116

OWNER
FRENCH MARKET CORPORATION
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**COURTYARD 5 -
EXISTING
CONDITIONS**

A5.00



**FMC UPB ROOF AND
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500 ST. PETER STREET
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OWNER
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NEW ORLEANS, LA 70130
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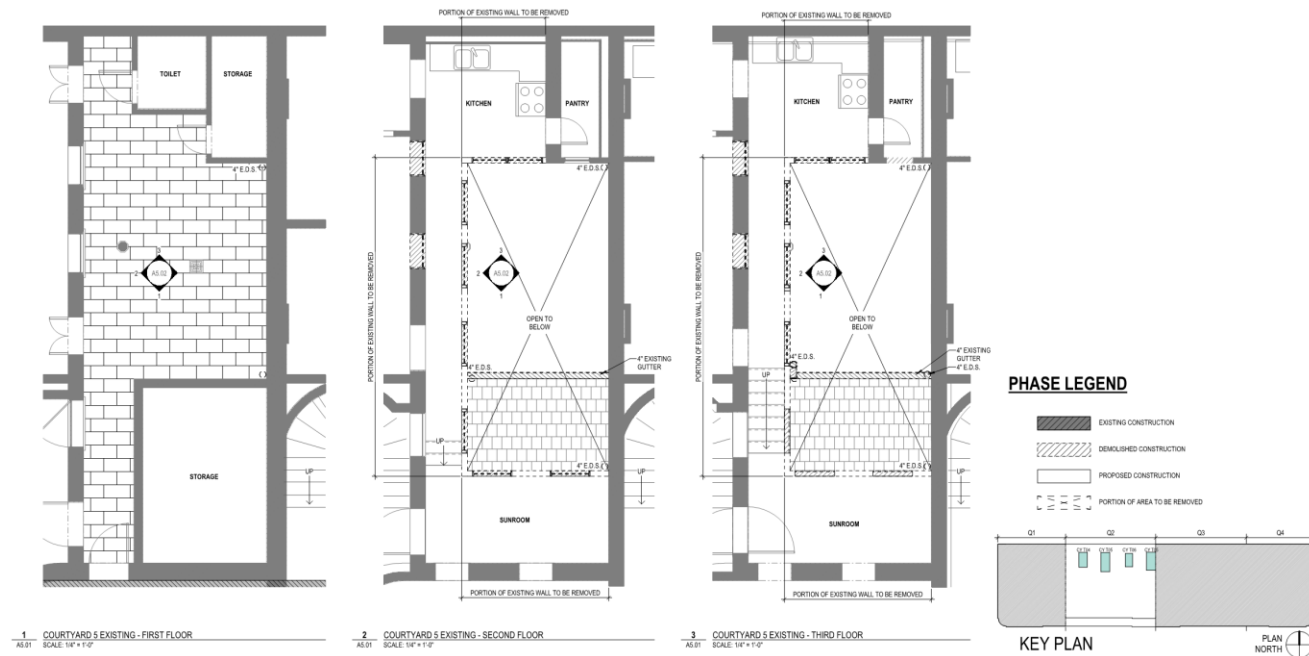
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**COURTYARD 5
-EXISTING PLANS**

A5.01



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**COURTYARD 5 -
EXISTING
ELEVATIONS**

A5.02

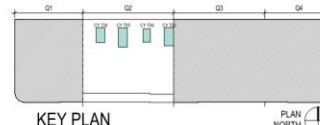
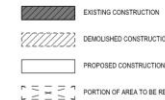
REPAIR/RENOVATION NOTES - 05 ELEVATIONS	
TYPE MARK	REMARKS
R01	REMOVE EXISTING NON-HISTORICAL WINDOW.
R01	REMOVE EXISTING COPPER BUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND OUTLET PER PLAN DESIGNATION SIZE. STRAPPED AT 2" O.C. MAX.
R03	REMOVE EXISTING COPPER DOWNPOUT AND REPLACE WITH LARGER COPPER DOWNPOUT PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRAPS PER 10" LENGTH AND AT ALL BAYS.
R07	REMOVE AND SALVAGE EXISTING 2" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR.
R09	REPLACE EXISTING BRICK/MASSING SLATE WITH NEW SLATE SHIPBOARDS OF LIKE SIZE AND COLOR - TYPICAL AT ALL EXISTING CONDITIONS.
R02	REPLACE THE ENTIRETY OF THE COPPER ROOF IN BIRD. ALL STANDING SEAMS MUST BE FOLDED OVER AND CRIMPED.
S01	REMOVE ALL GROUT PLASTER FOR PROPER AND SOLID ADHESION TO BRICK SUBSTRATE. REMOVE ALL LOOSE AND CRACKED PLASTER AND INSTALL NEW PLASTER TO MATCH ADJACENT AREAS. COAT TOPS AND SIDES WITH ELASTOMERIC COATING AS PER MFG. RECOMMENDATIONS. CUT AND CLEAN OUT PLASTER CRACK IN ACCORDANCE WITH SEAWANT MANUFACTURERS REQUIREMENTS TO RESEAL CRACK WHERE MINOR CRACKS OCCUR AND EXISTING PLASTER IS SOUND. INSTALL SAND IN THE FACE OF THE SEALANT TO MATCH ADJACENT TEXTURE. PREVIOUS PATCH REPAIRS ARE TO BE COMPLETELY REMOVED BEFORE APPLYING NEW MATERIALS.



MATERIAL LEGEND



PHASE LEGEND



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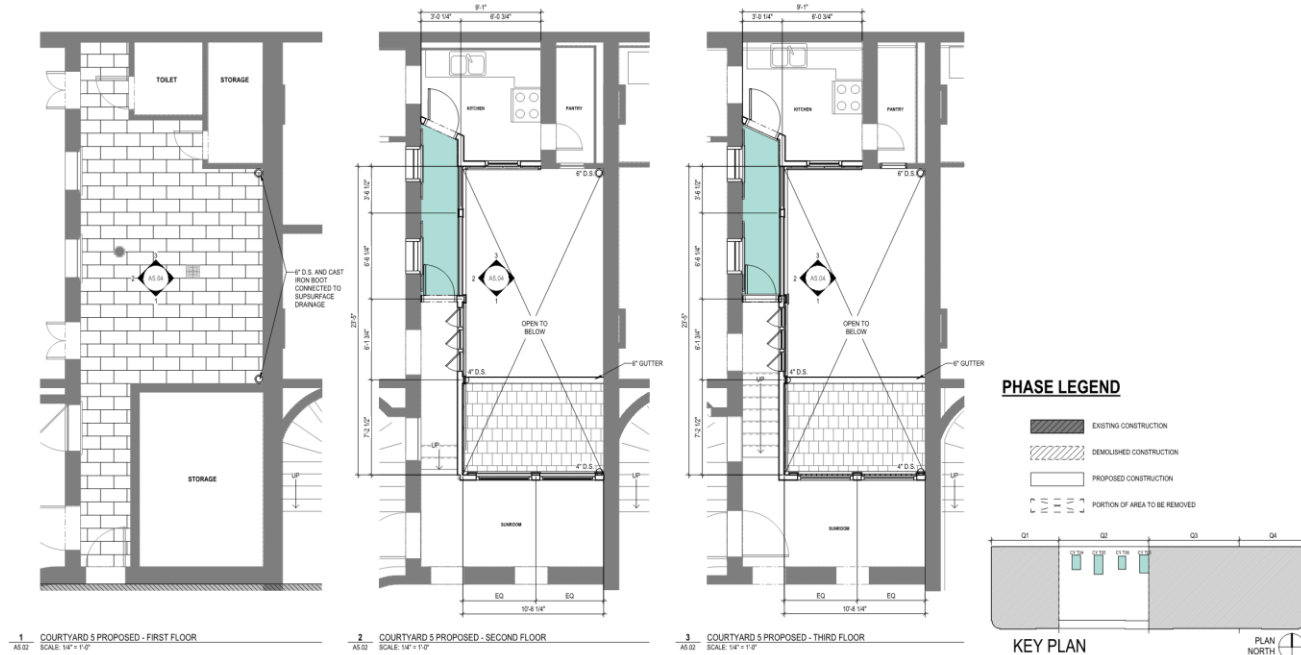
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**COURTYARD 5
-PROPOSED
PLANS**

A5.03



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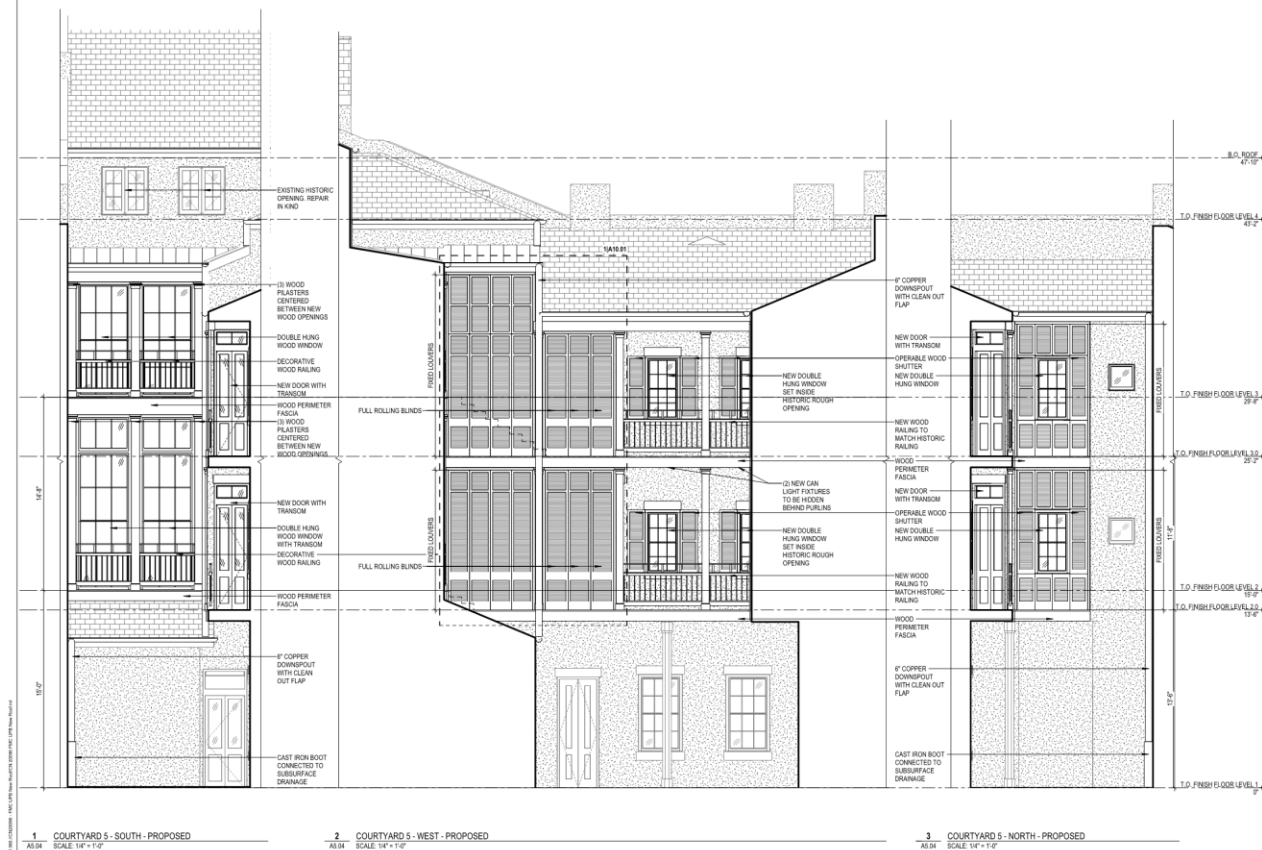
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**COURTYARD 5 -
PROPOSED
ELEVATIONS**

A5.04



500 St Peter – Courtyard 5

VCC Architectural Committee

February 9, 2021



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NEW ORLEANS, LA 70116

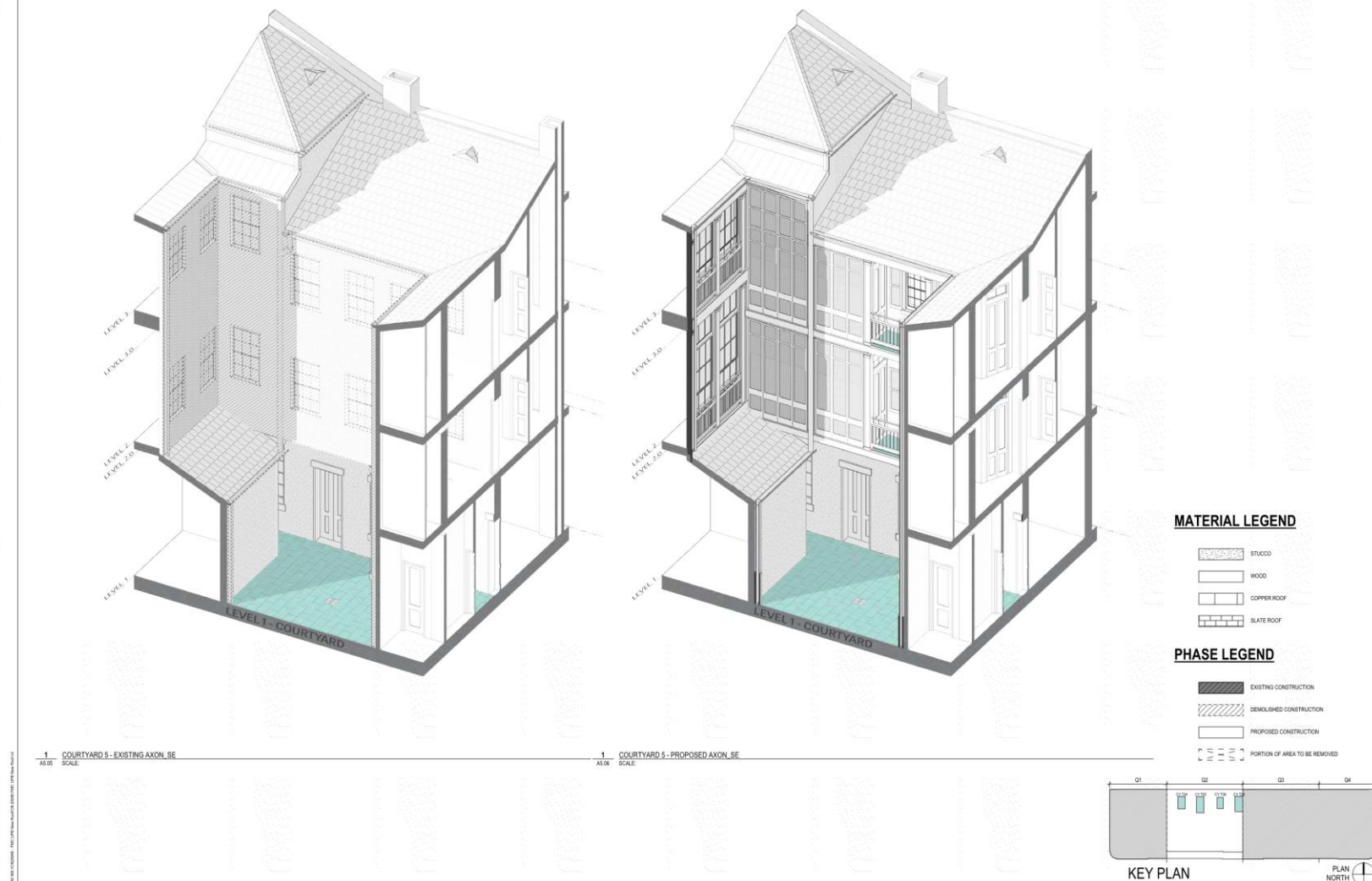
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**COURTYARD 5 -
AXONS**

A5.05

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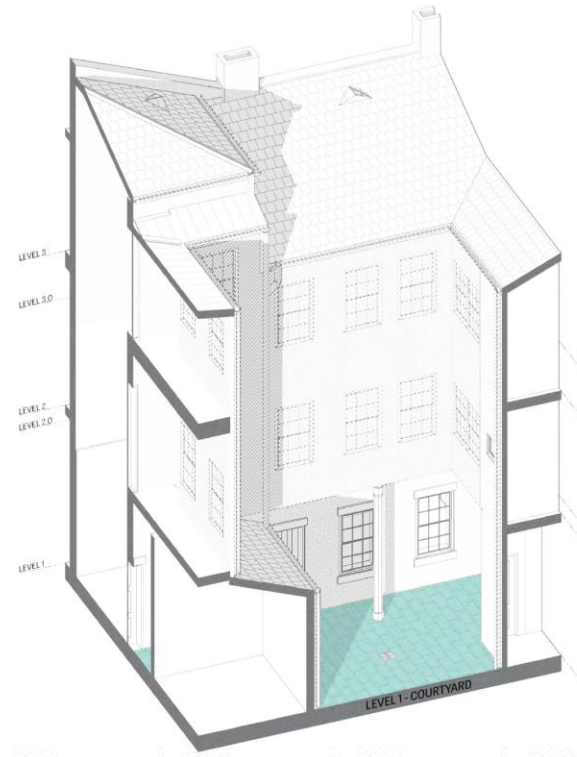
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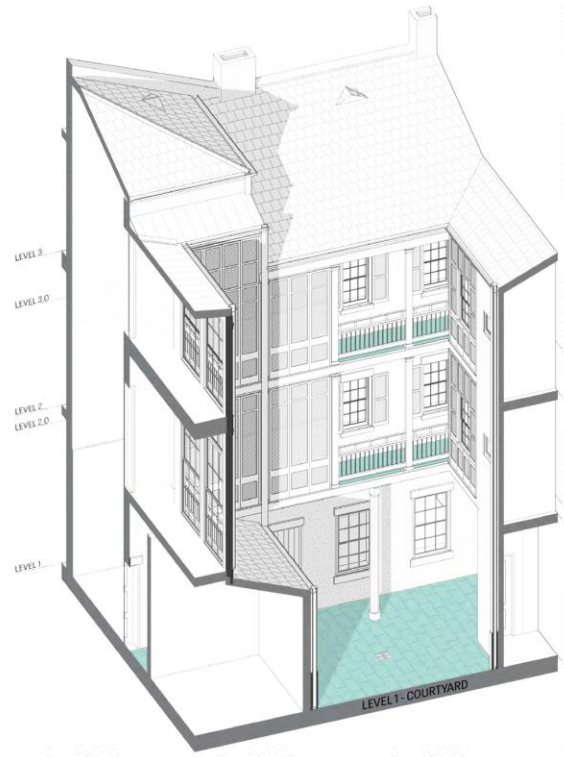
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**COURTYARD 5 -
AXONS**

A5.06



1 COURTYARD 5 - EXISTING AXON, SW Copy 1
A5.07 SCALE



1 COURTYARD 5 - PROPOSED AXON, SW
A5.08 SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH



**FMC UPB ROOF AND
BUILDING REPAIRS
RENOVATION AND RESTORATION**
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-436-6400

ARCHITECT
TRAPOLIN PEER
850 TOUCHET/ST. JULIAN ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR
Company Name
Street Address
City, State
Phone Number

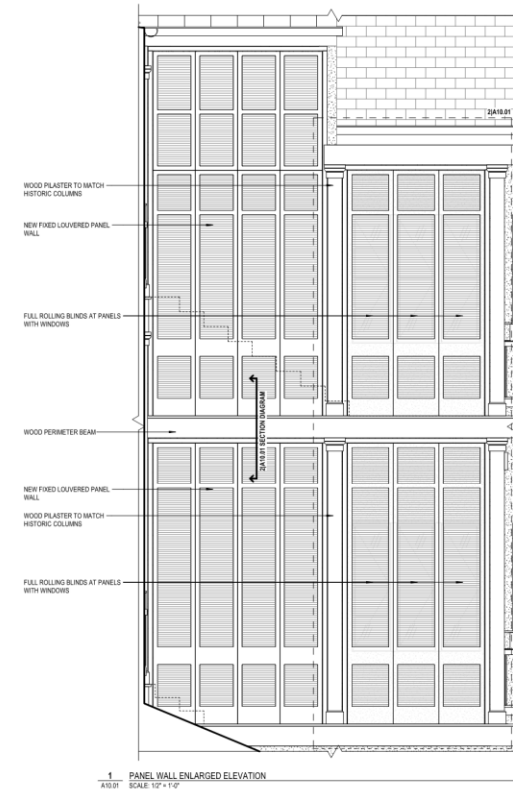
**NOT FOR
CONSTRUCTION**

REVISION # DESCRIPTION DATE

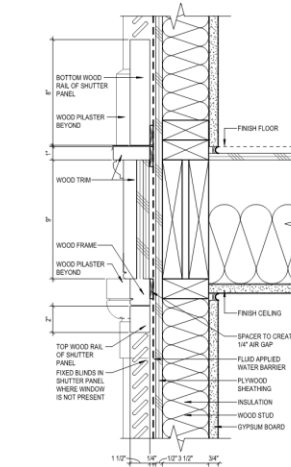
© TRAPOLIN PEER ARCHITECTS, APC
PROJECT NUMBER
CN20096
ISSUE DATE
02/23/21

**PANEL WALL AND
WINDOW**

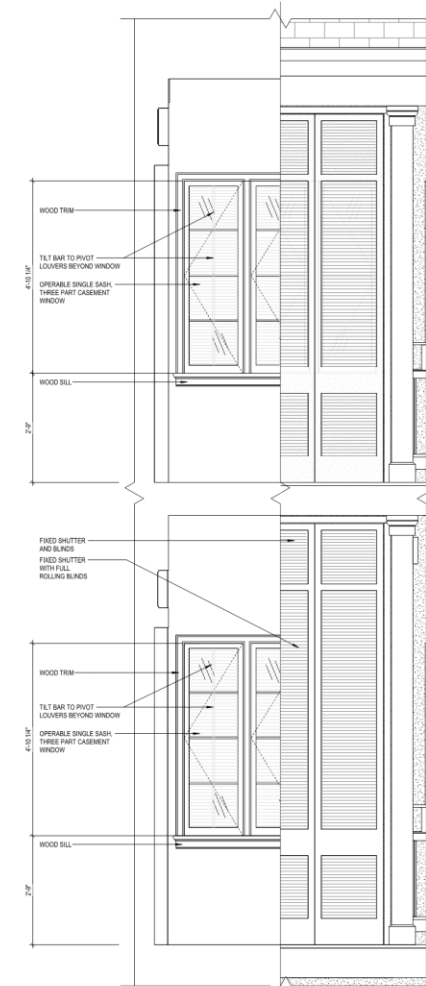
A10.01



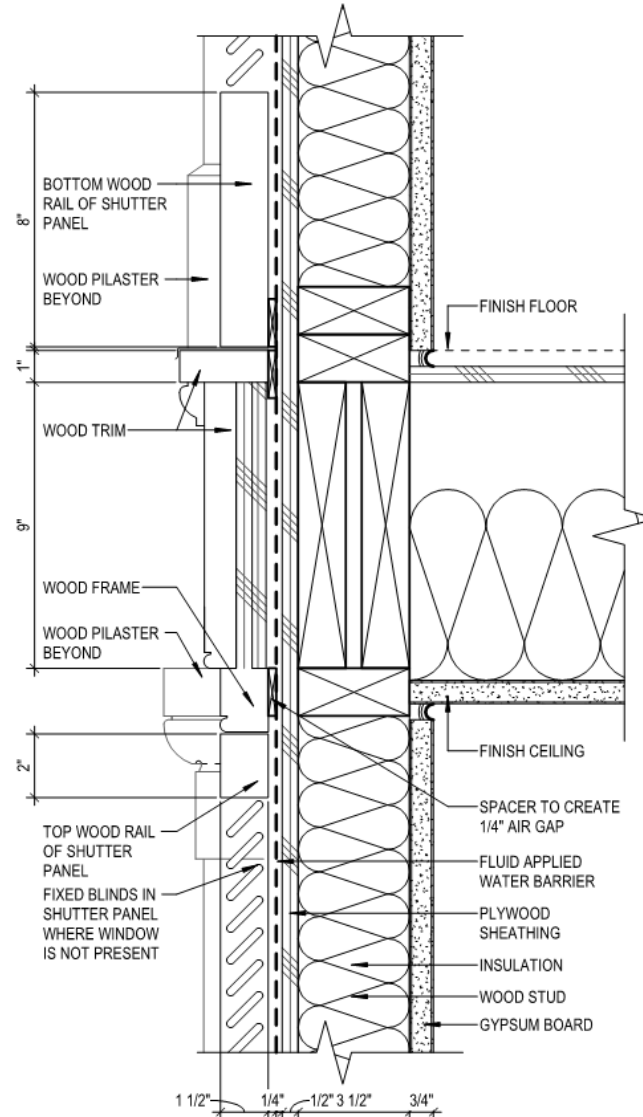
1 PANEL WALL ENLARGED ELEVATION
A10.01 SCALE: 1/2" = 1'-0"



2 PANEL WALL - SECTION DIAGRAM
A10.01 SCALE: 3/4" = 1'-0"



3 PANEL WINDOW INTERIOR AND EXTERIOR ELEVATION
A10.01 SCALE: 3/4" = 1'-0"



2 PANEL WALL - SECTION DIAGRAM
A10.01 SCALE: 3" = 1'-0"

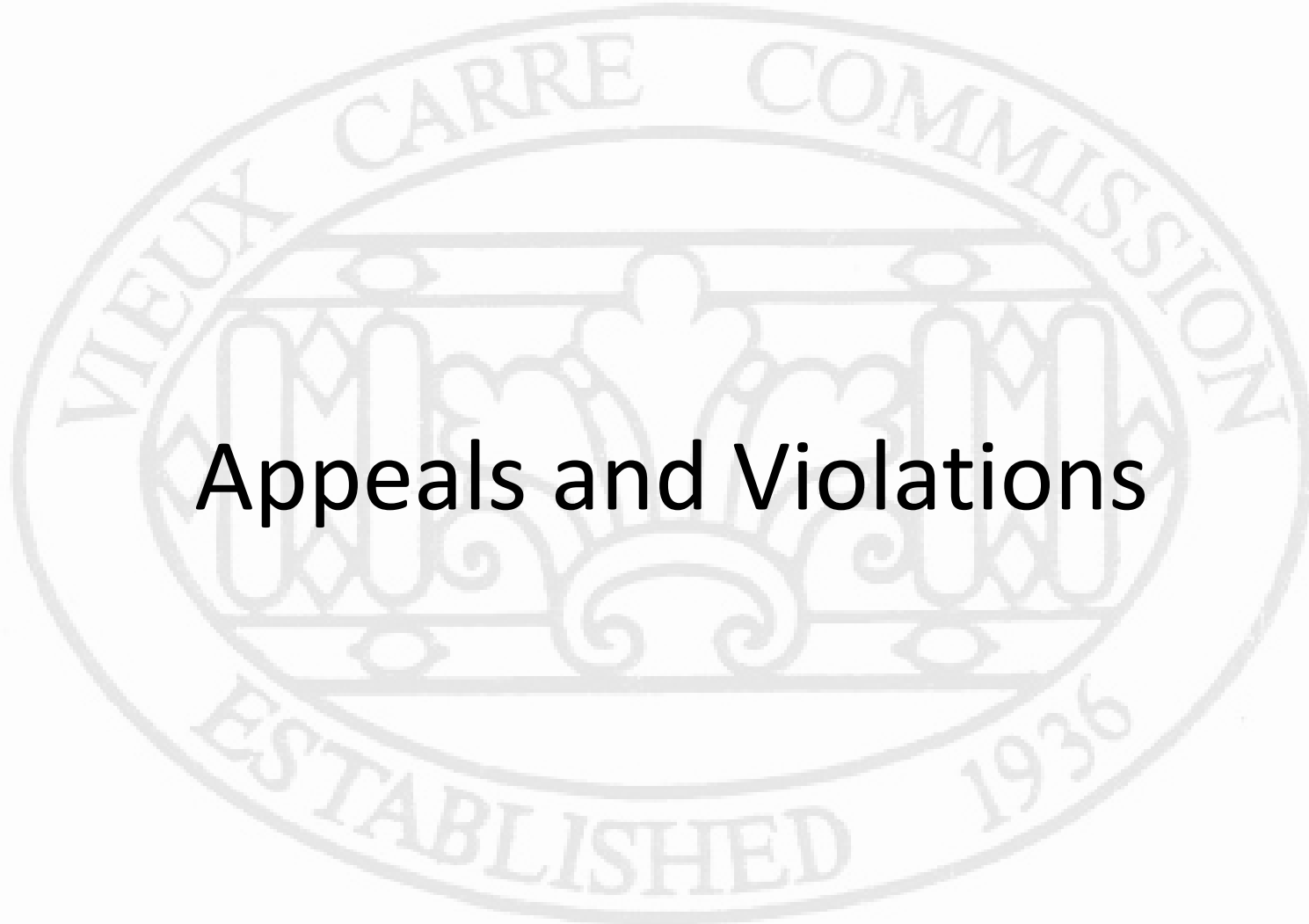
500 St Peter – Courtyard 5

VCC Architectural Committee

February 9, 2021

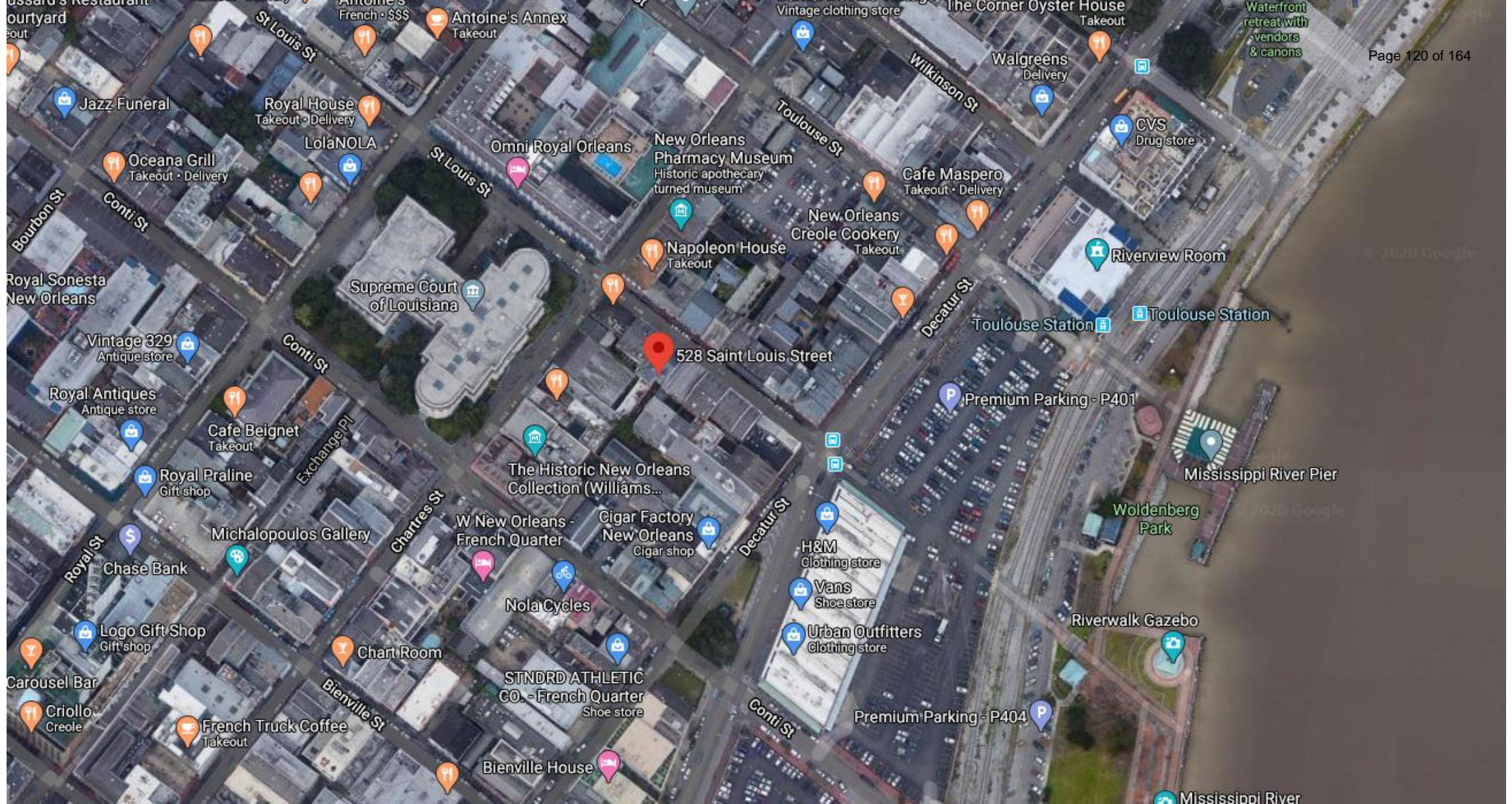


Appeals and Violations





528 St Louis



528 St Louis

VCC Architectural Committee

February 9, 2021



528 St Louis

VCC Architectural Committee



February 9, 2021





528 St Louis – 1970

VCC Architectural Committee

February 9, 2021





528-30 St Louis 7/30/73

528 St Louis – 1973

VCC Architectural Committee

February 9, 2021





528 St Louis – 1987

VCC Architectural Committee

February 9, 2021





528 St Louis

VCC Architectural Committee

February 9, 2021





528 St Louis

VCC Architectural Committee

February 9, 2021





528 St Louis

VCC Architectural Committee

February 9, 2021





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February 9, 2021





528 St Louis

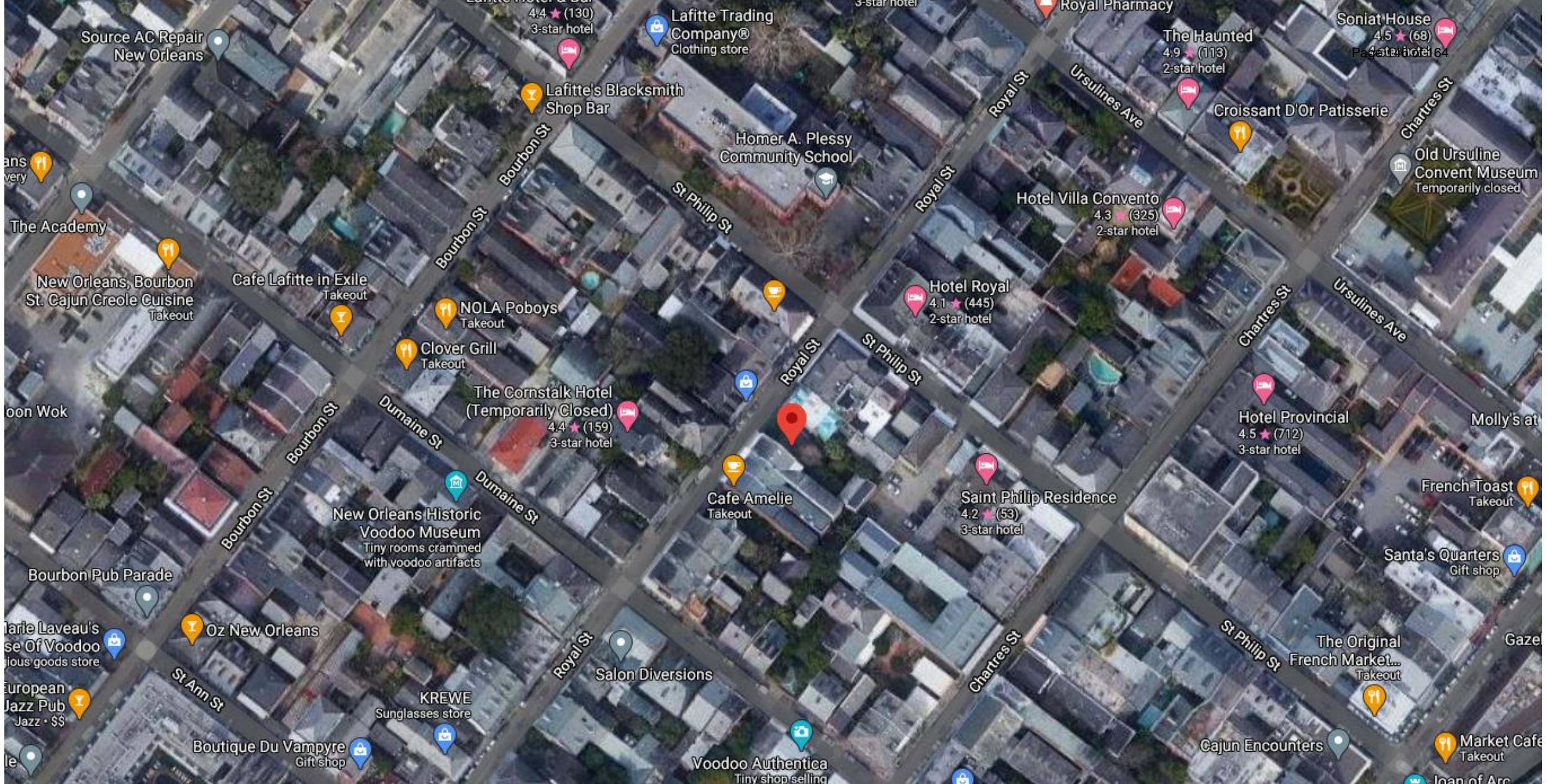
VCC Architectural Committee

February 9, 2021





926 Royal



926 Royal

VCC Architectural Committee

March 9, 2021





926 Royal

VCC Architectural Committee

March 9, 2021





926 Royal

VCC Architectural Committee

March 9, 2021





926 Royal

VCC Architectural Committee

March 9, 2021





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VCC Architectural Committee

March 9, 2021





926 Royal

VCC Architectural Committee

March 9, 2021



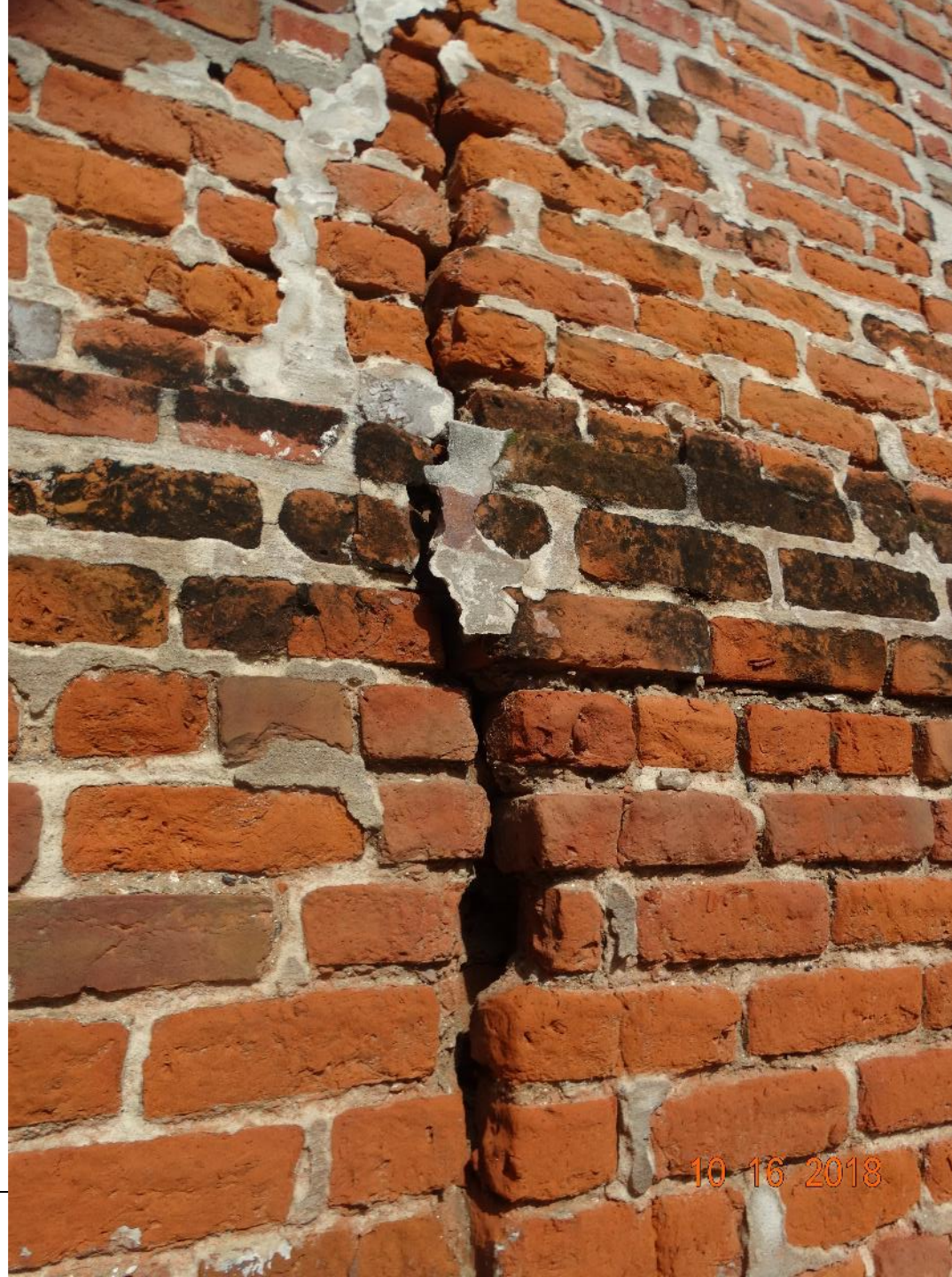
926 Royal

VCC Architectural Committee



March 9, 2021





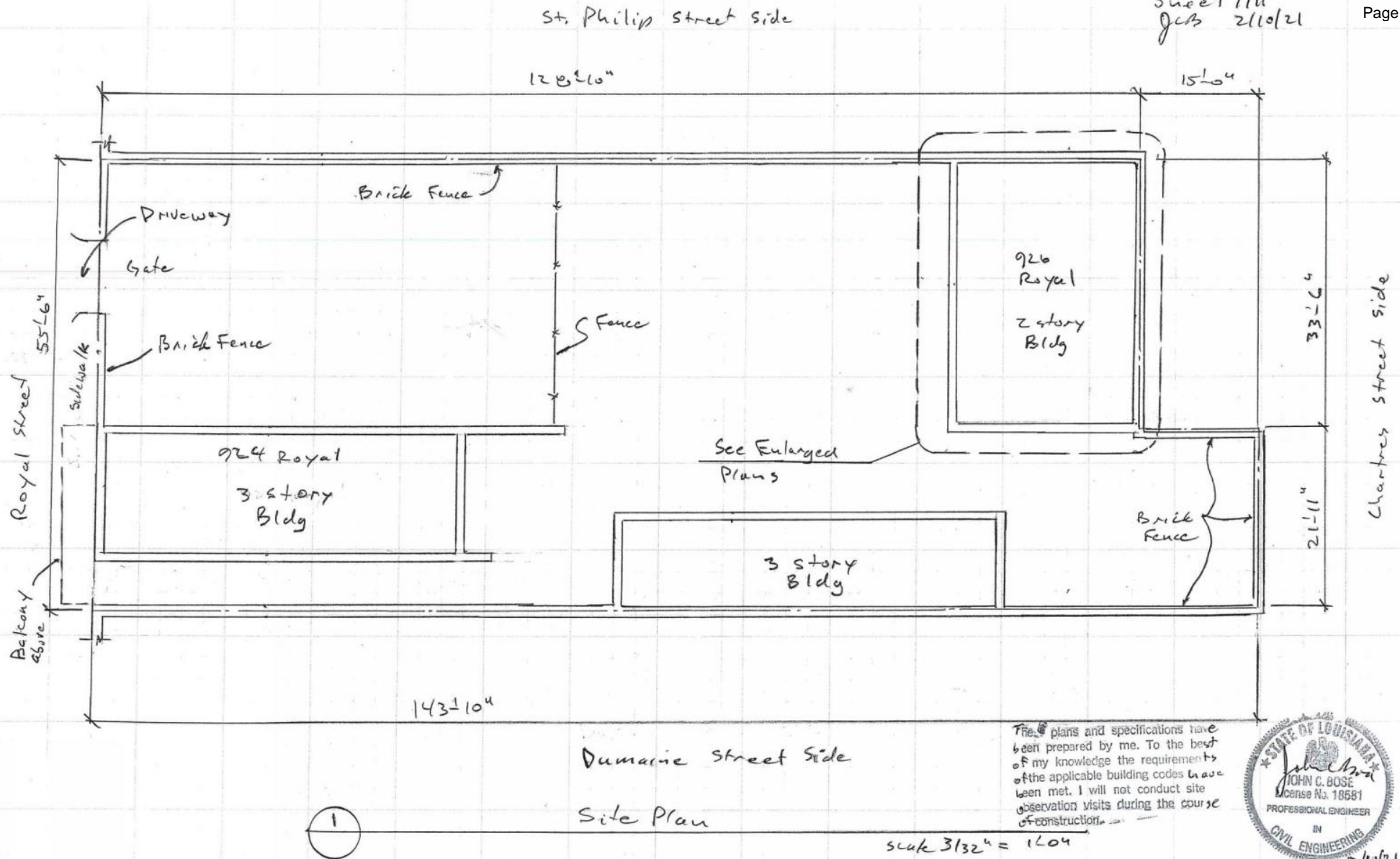
926 Royal

VCC Architectural Committee

10 16 2018

March 9, 2021



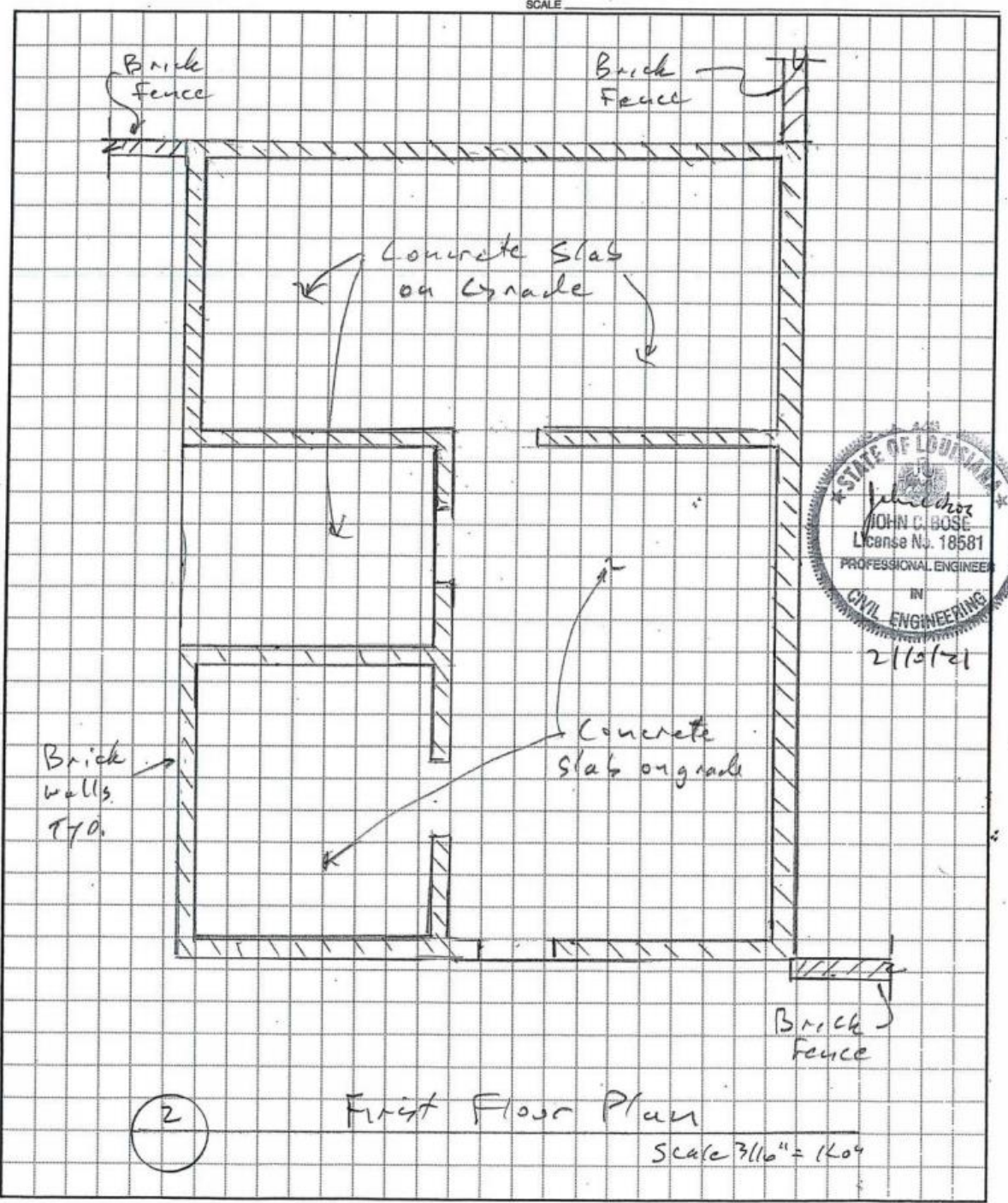


926 Royal

VCC Architectural Committee

March 9, 2021



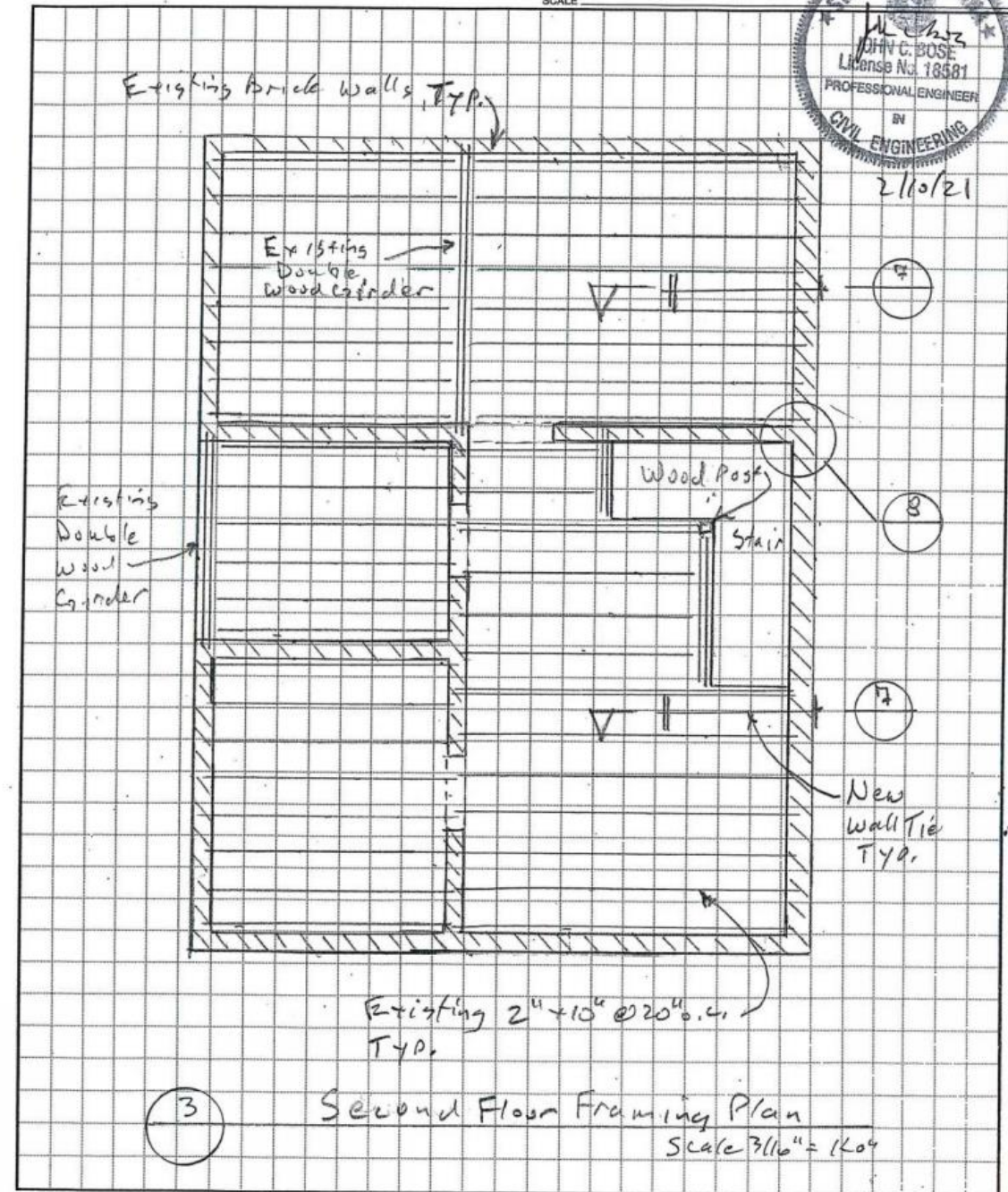


926 Royal

VCC Architectural Committee

March 9, 2021



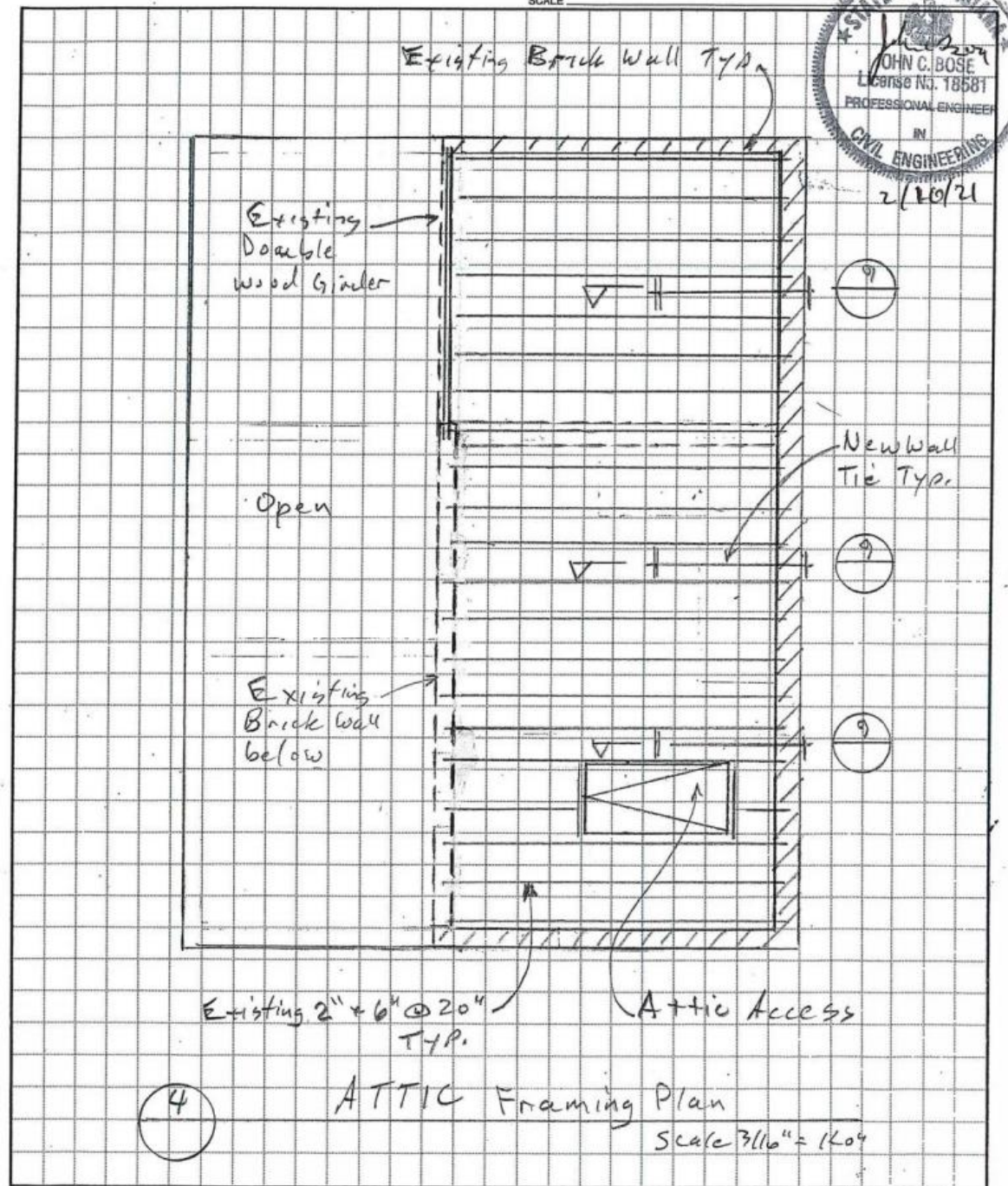


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March 9, 2021





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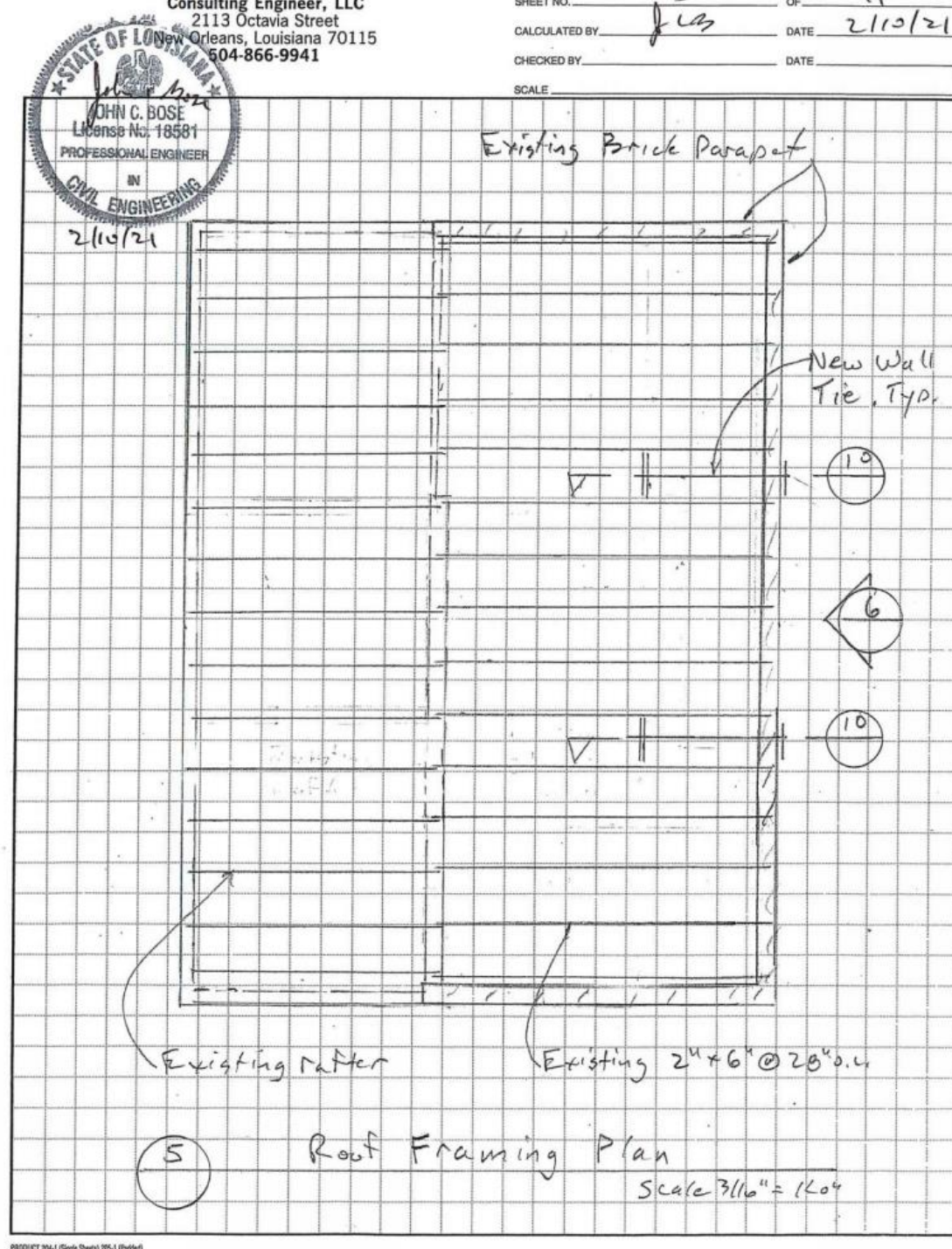
VCC Architectural Committee

March 9, 2021



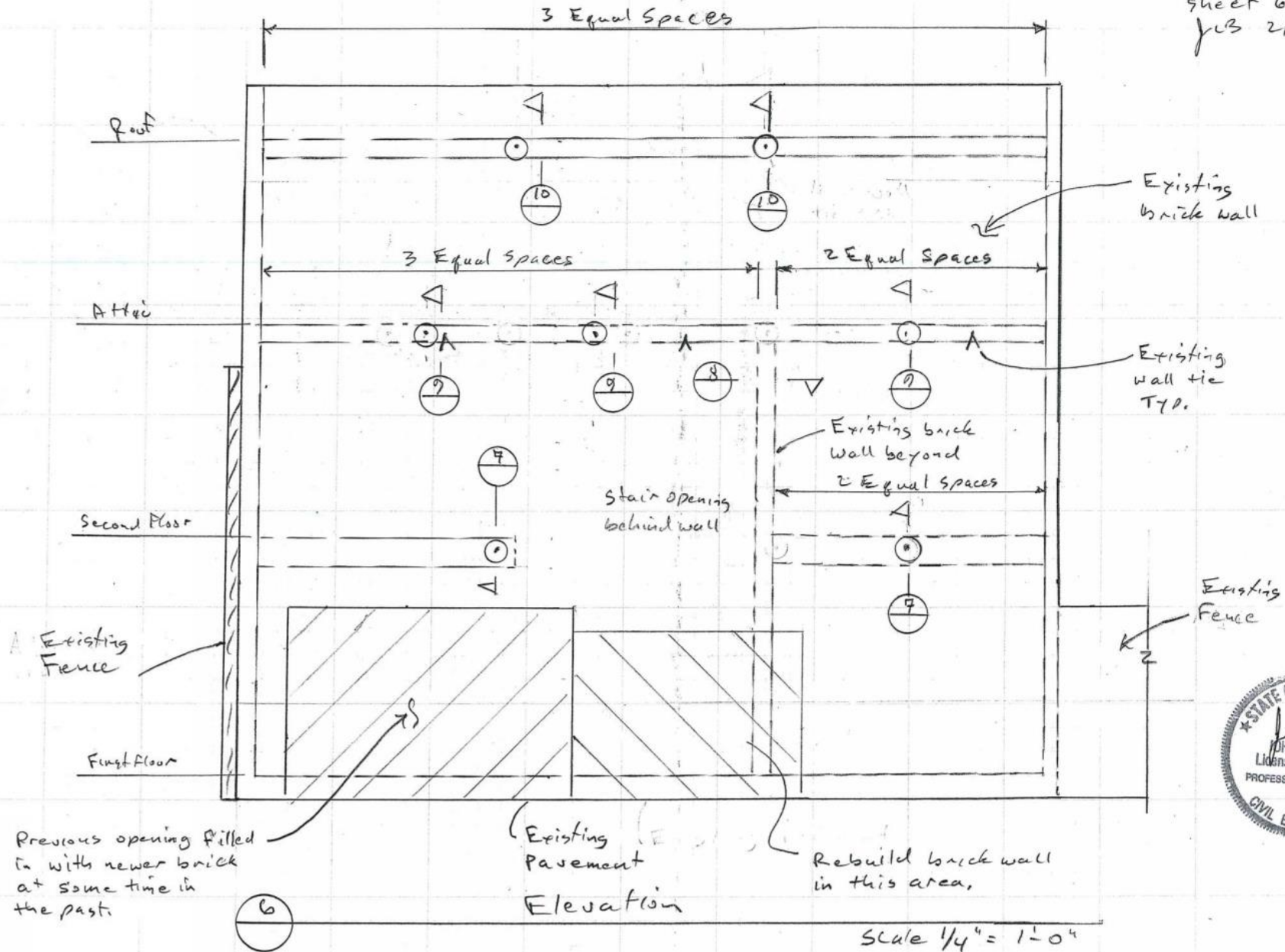
926 Royal

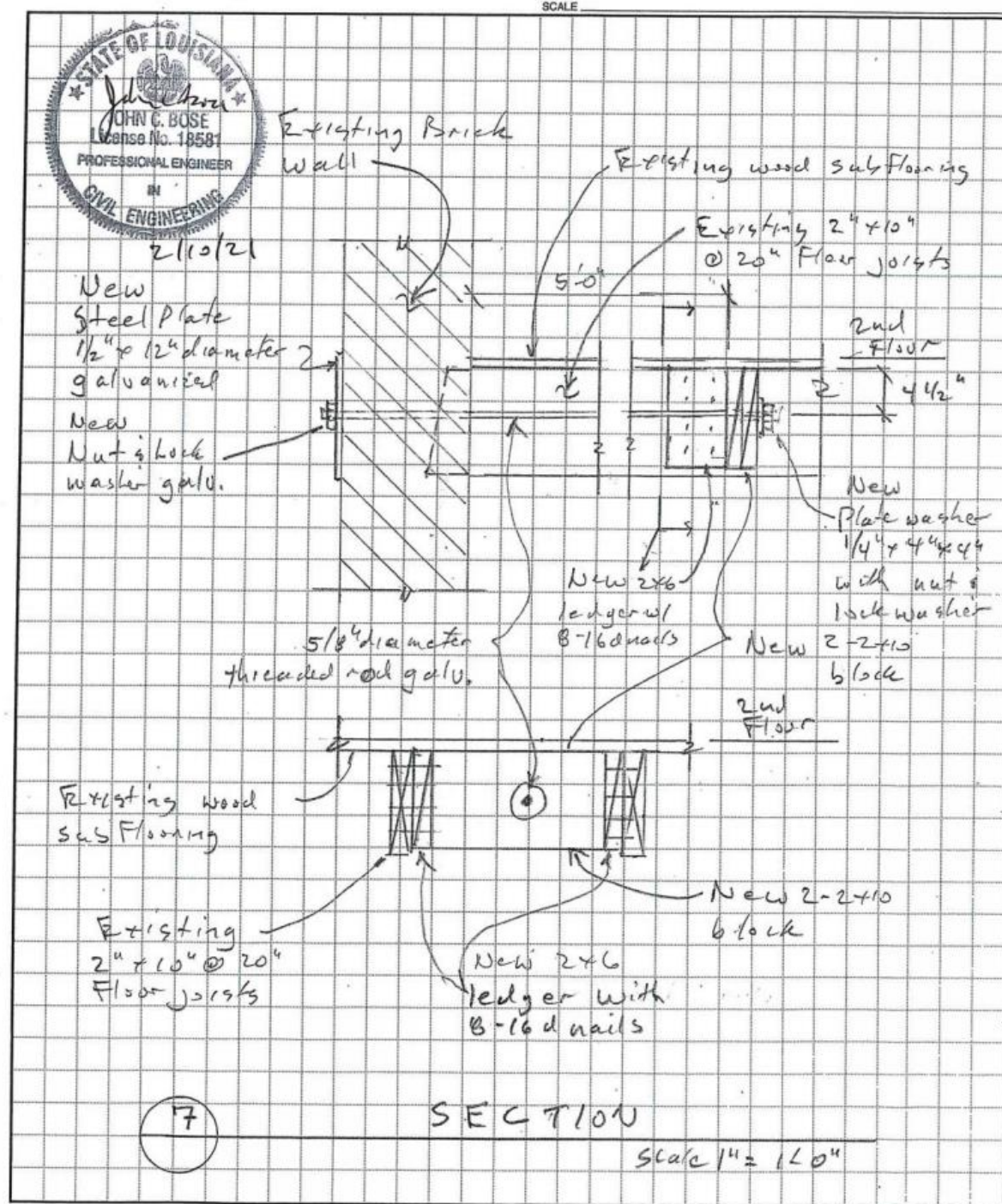
VCC Architectural Committee



March 9, 2021





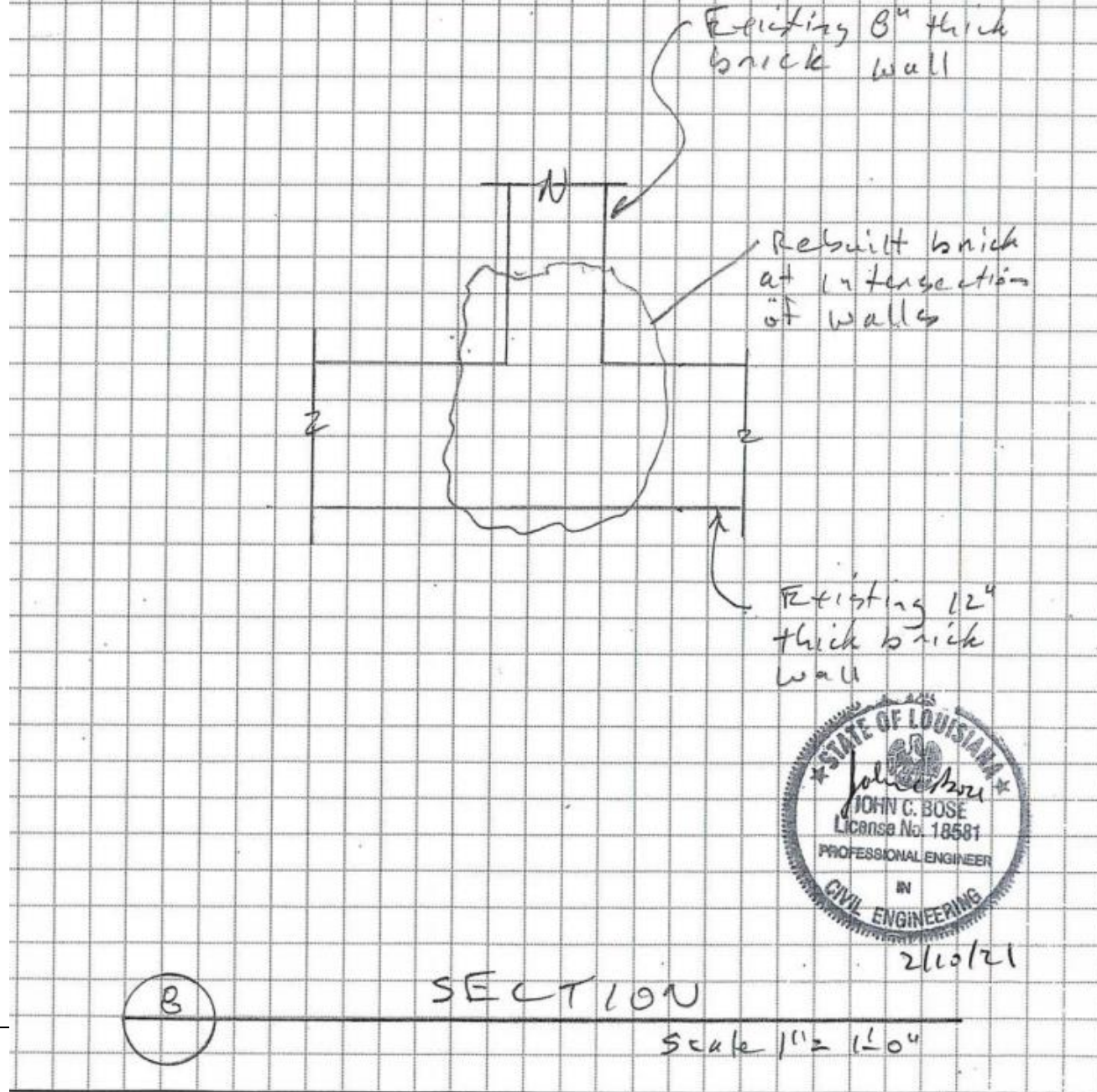


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VCC Architectural Committee

March 9, 2021



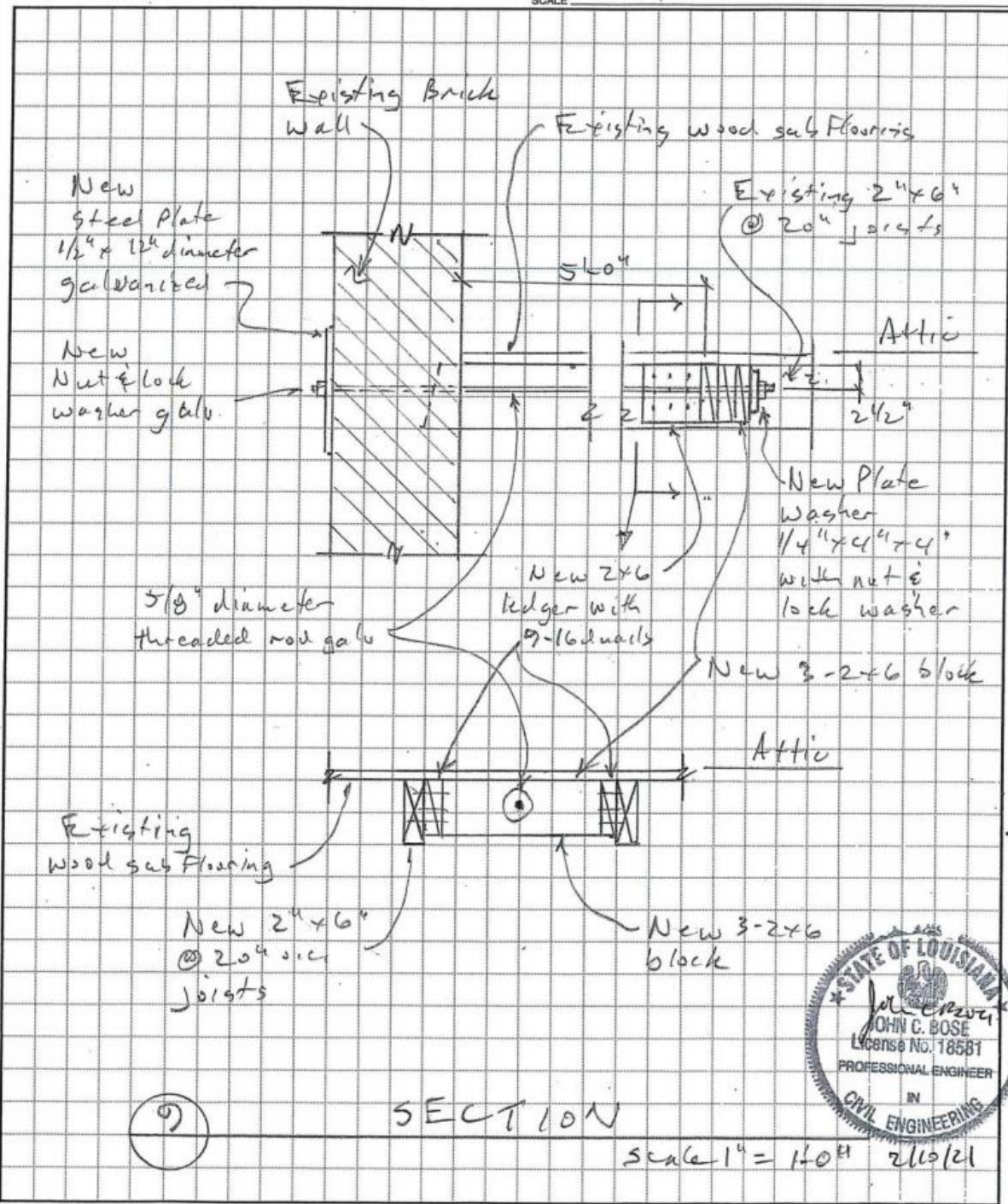


926 Royal

VCC Architectural Committee

March 9, 2021



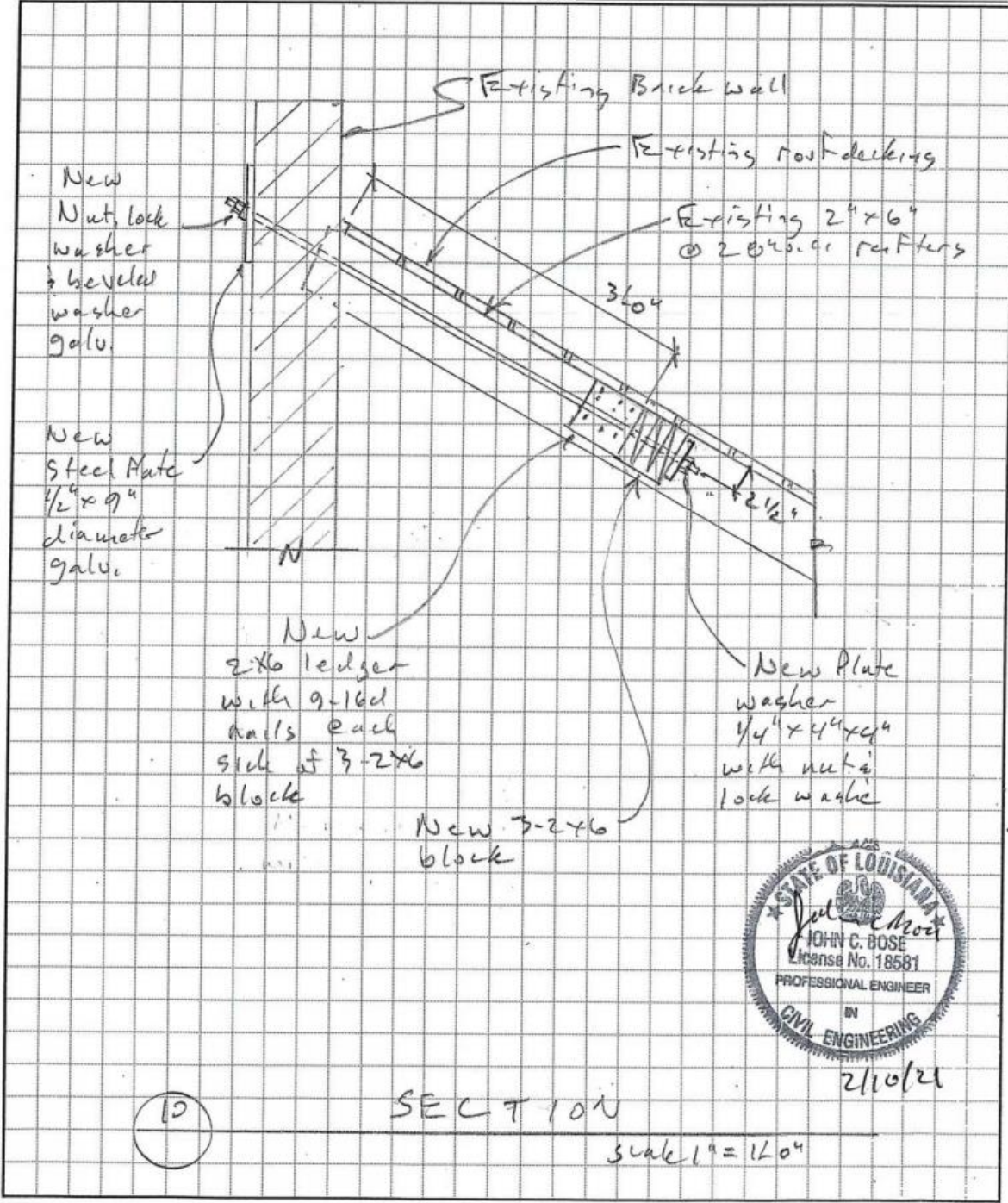


926 Royal

VCC Architectural Committee

March 9, 2021





926 Royal

VCC Architectural Committee

March 9, 2021

