



Vieux Carré Commission Architecture Committee Meeting

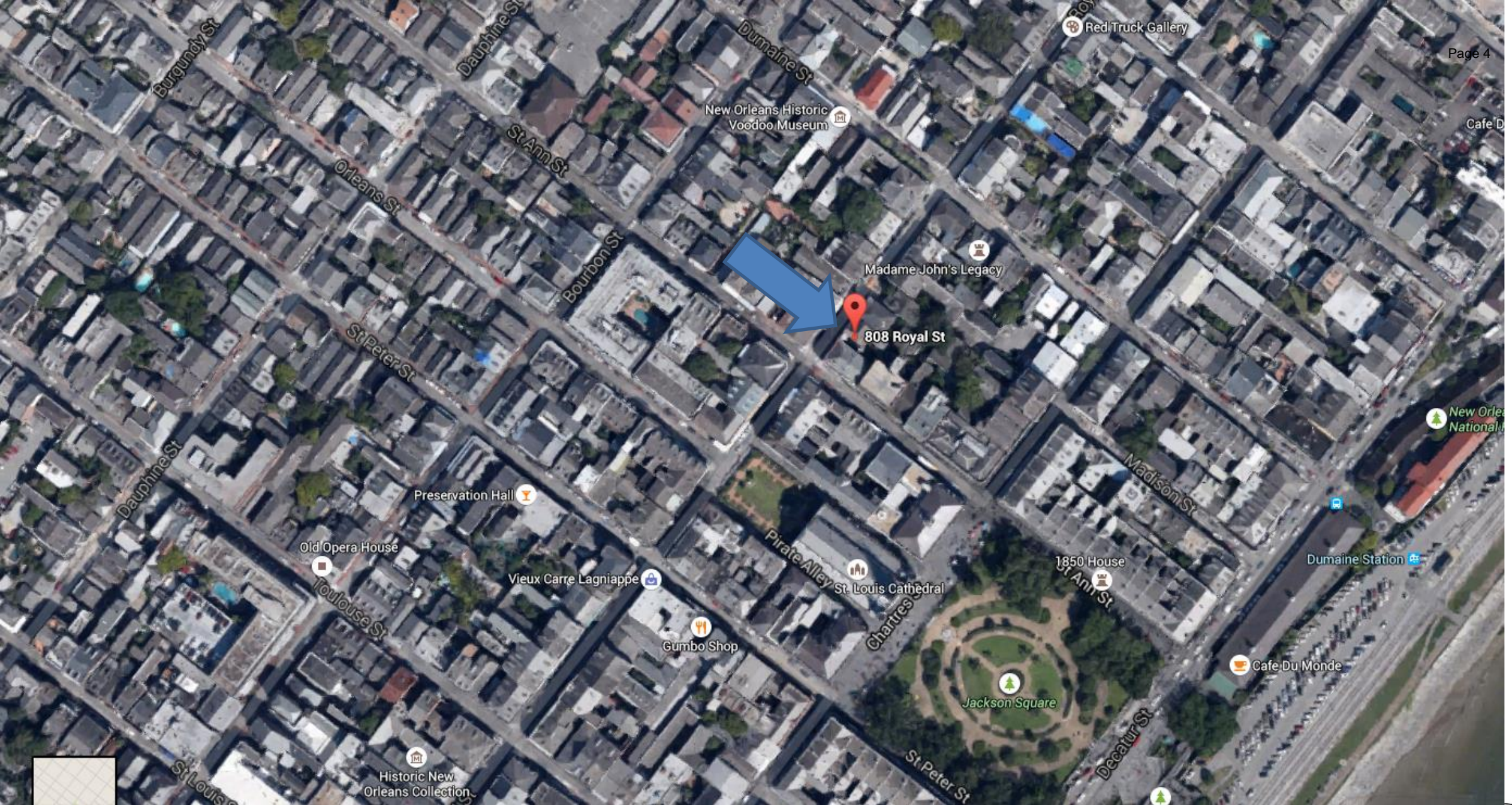
Tuesday, April 13, 2021



Old Business



808 Royal

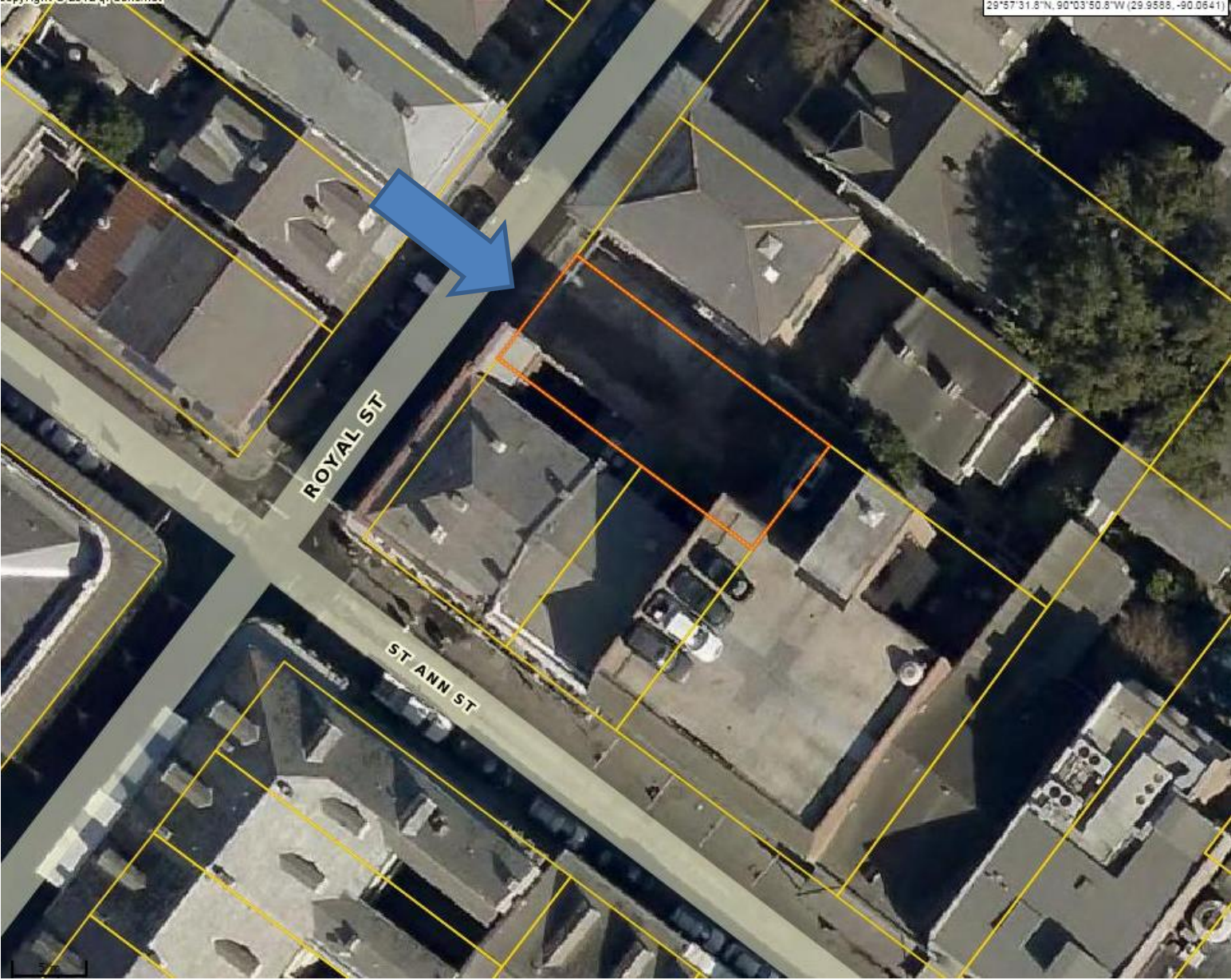


808 Royal

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April 13, 2021





808 Royal

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808 Royal, 1963

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April 13, 2021





808 Royal, October 2014
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April 13, 2021





808 Royal, October 2014,
previously existing rear

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April 13, 2021





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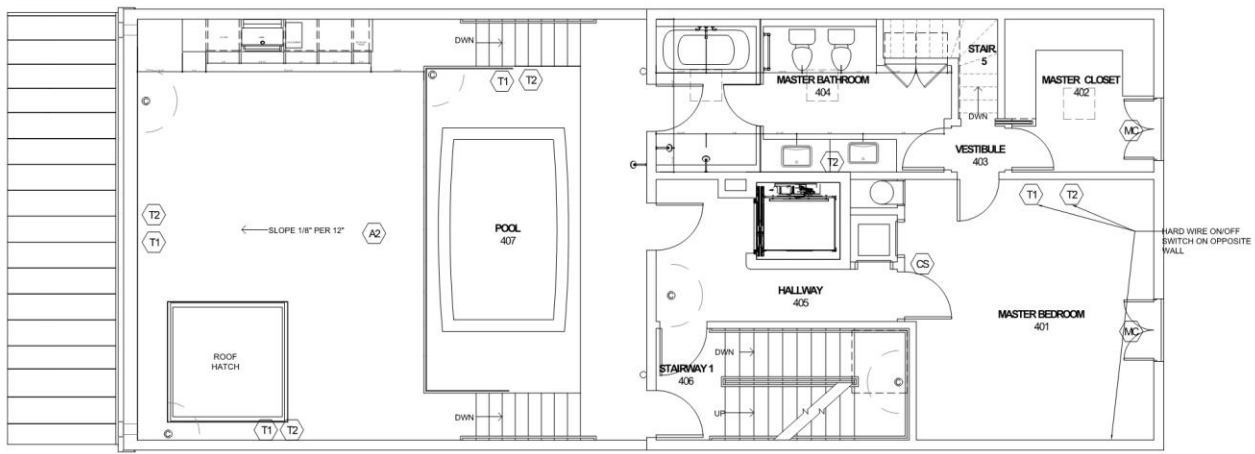
808 Royal – Existing Conditions

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April 13, 2021



- AV LEGEND**
- ⊙ CAMERA - DASHED LINE INDICATES VIEW DIRECTION
 - A1 EXTERIOR PIA SYSTEM
 - A2 EXTERIOR CAT6 OUTLET
 - CS 2-WAY VOICE CALL STATION
 - SS SECURITY STATION- ALARM SENSOR
 - MC MOTORIZED CURTAINS
 - MS MINI SPLIT SYSTEM TIED TO CENTRAL HOME AUTOMATION
 - T1 H.T SCREEN
 - T2 C.C.T.V SCREEN
 - T3 C.P.U SCREEN



01 FOURTH FLOOR AUDIO VISUAL PLAN
A254 1/4" = 1'-0"

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808-810 ROYAL STREET
NEW ORLEANS, LOUISIANA

- REVISIONS -

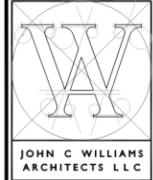
No.	Date	Scope

DRAWING TITLE:
FOURTH FLOOR AUDIO
VISUAL PLAN

DRAWN BY: JCW
PHASE: PERMIT
JOB No.: 515014.00
DATE: JUNE 10, 2019

DRAWING No.:
A254





JOHN C WILLIAMS ARCHITECTS L L C
824 BARONNE STREET
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These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.
I will be providing project construction administrative services on this project.



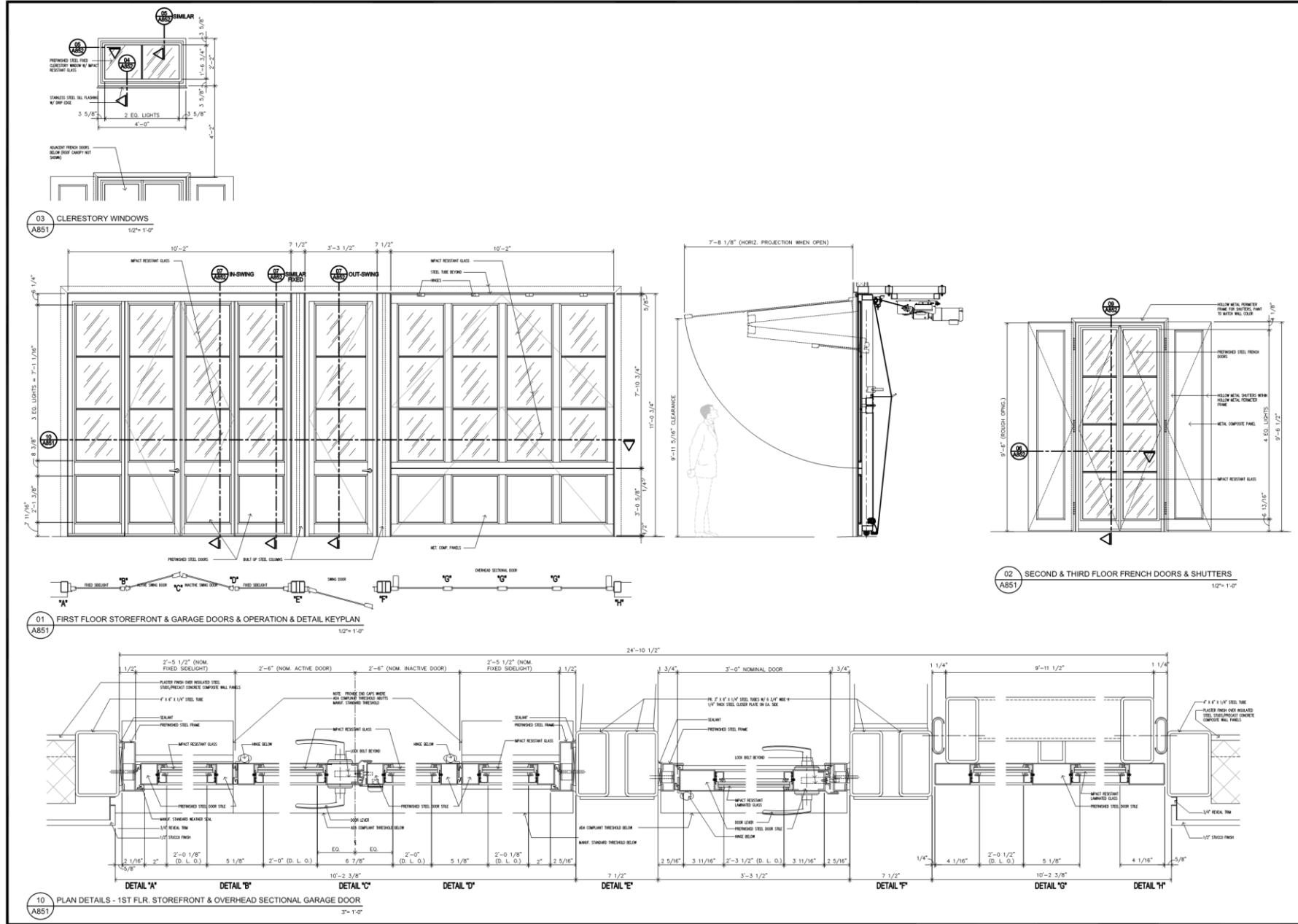
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NEW ORLEANS, LOUISIANA

- REVISIONS -

No.	Date	Scope

DRAWING TITLE:
EXTERIOR DOOR DETAILS
DRAWN BY: JCW
PHASE: PERMIT
JOB NO.: 515014.00
DATE: JUNE 10, 2019

DRAWING No.:
A851



NEW CONSTRUCTION AT 808-810 ROYAL STREET NEW ORLEANS, LOUISIANA 70116

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725 ST. PETER STREET
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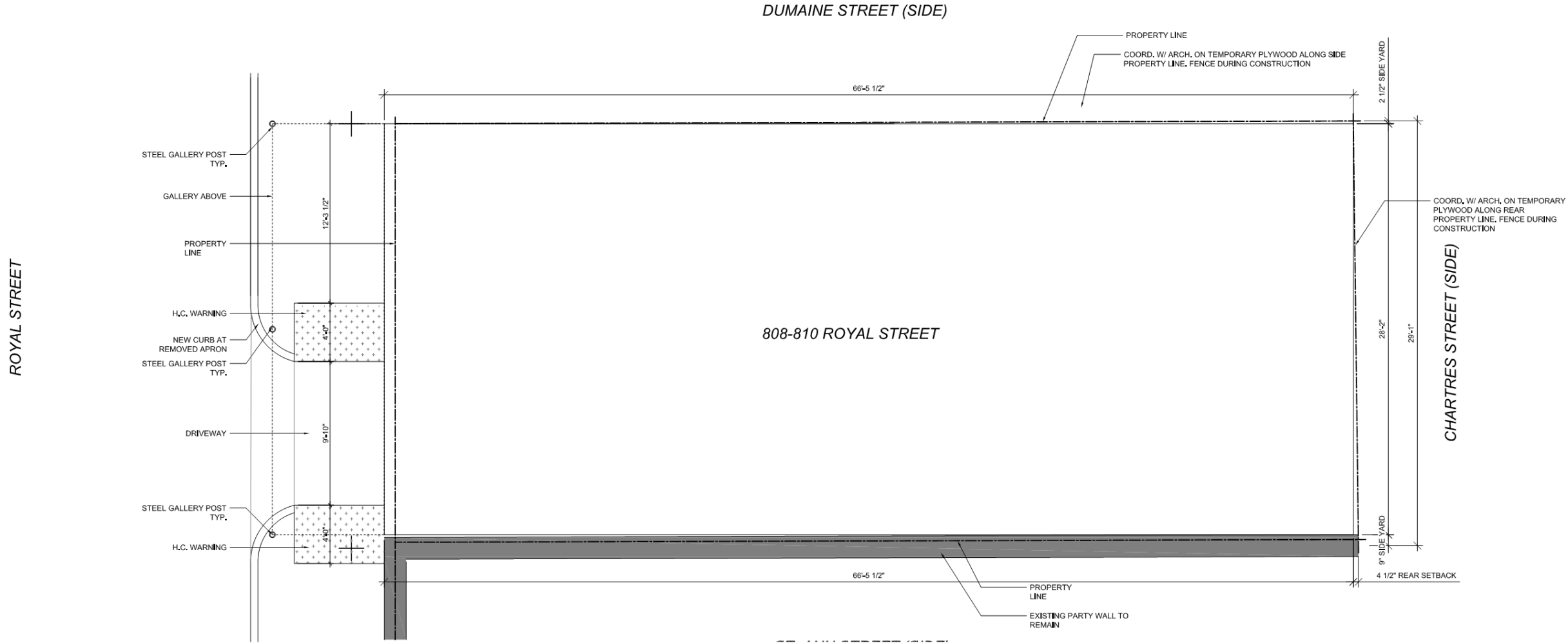


808-810 ROYAL STREET
NEW ORLEANS, LA 70116

TITLE &
PROJECT INFORMATION

VCC REVIEW 04-13-2021 T000





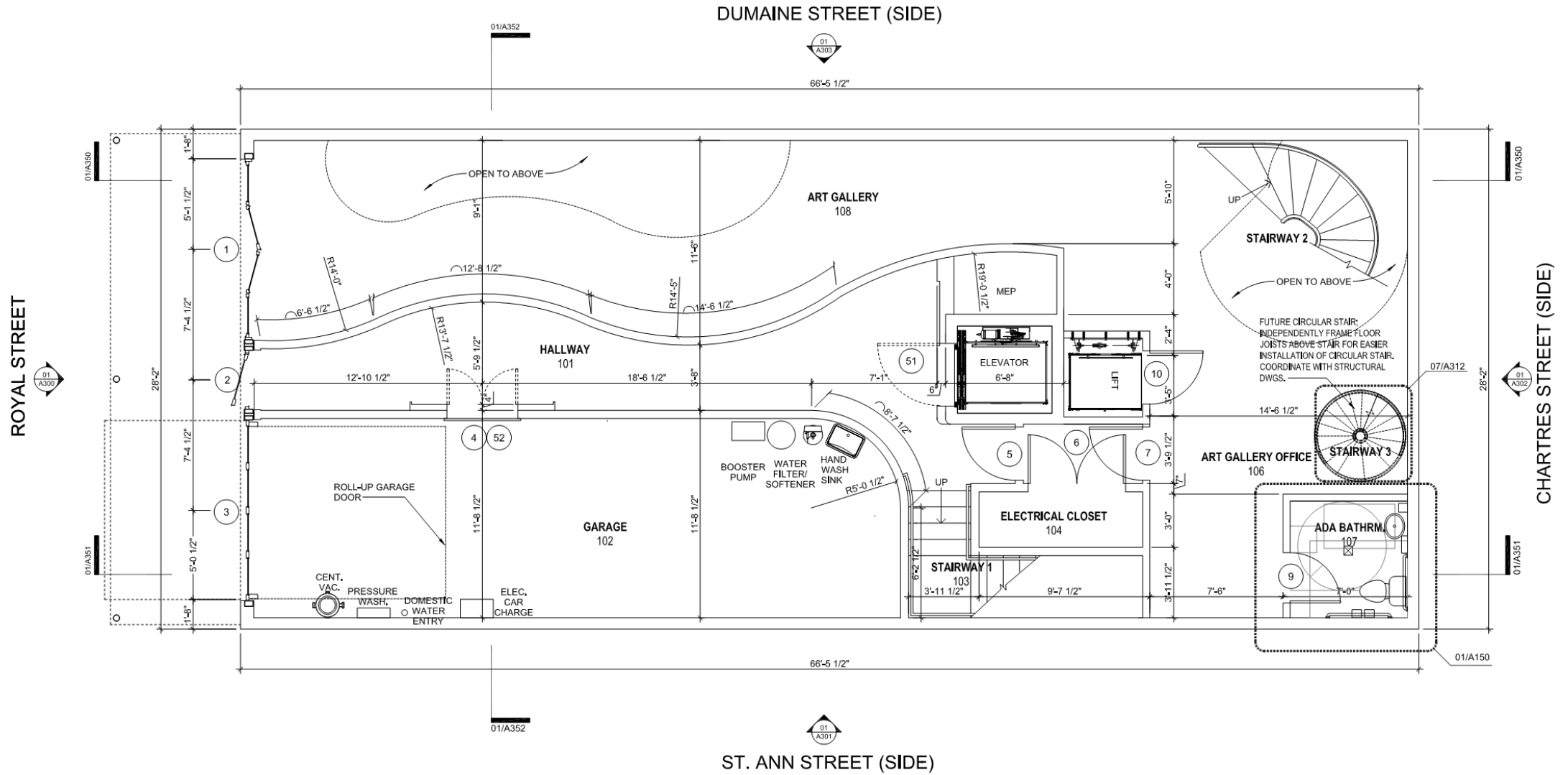
01 SITE PLAN
 A100 1/4" = 1'-0"

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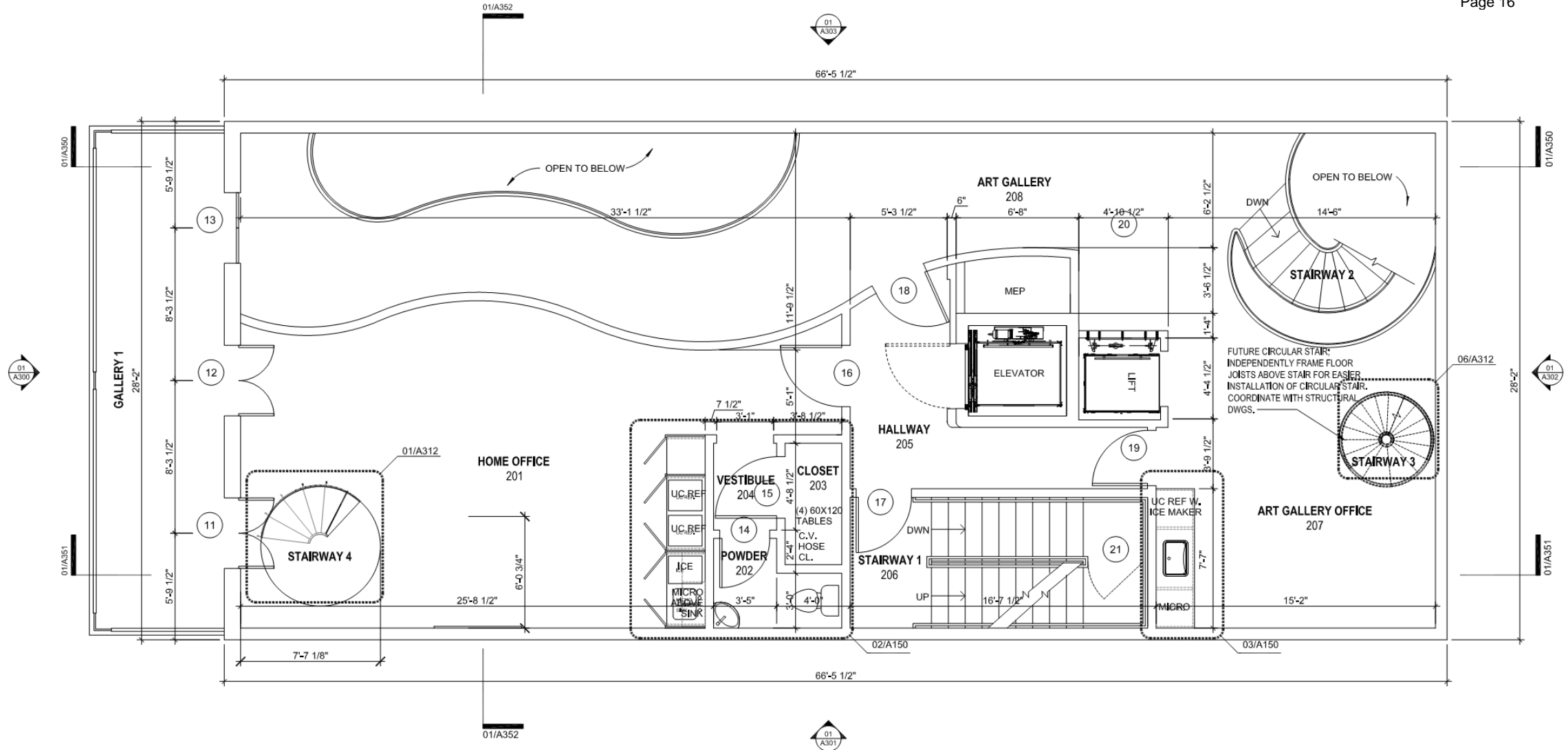
01 FIRST FLOOR PLAN
A111 1/4" = 1'-0"

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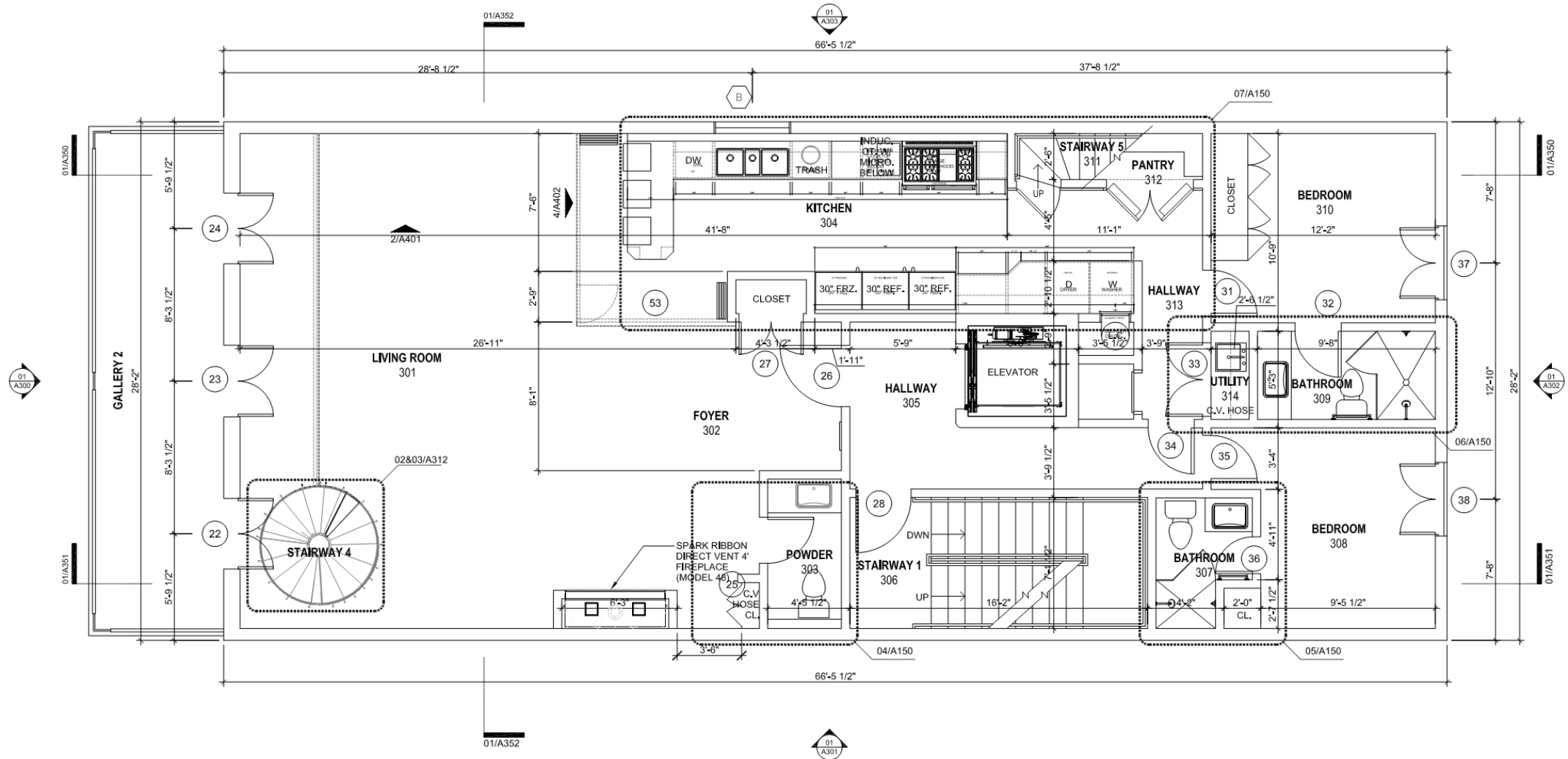
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01 SECOND FLOOR PLAN
 A112 1/4" = 1'-0"





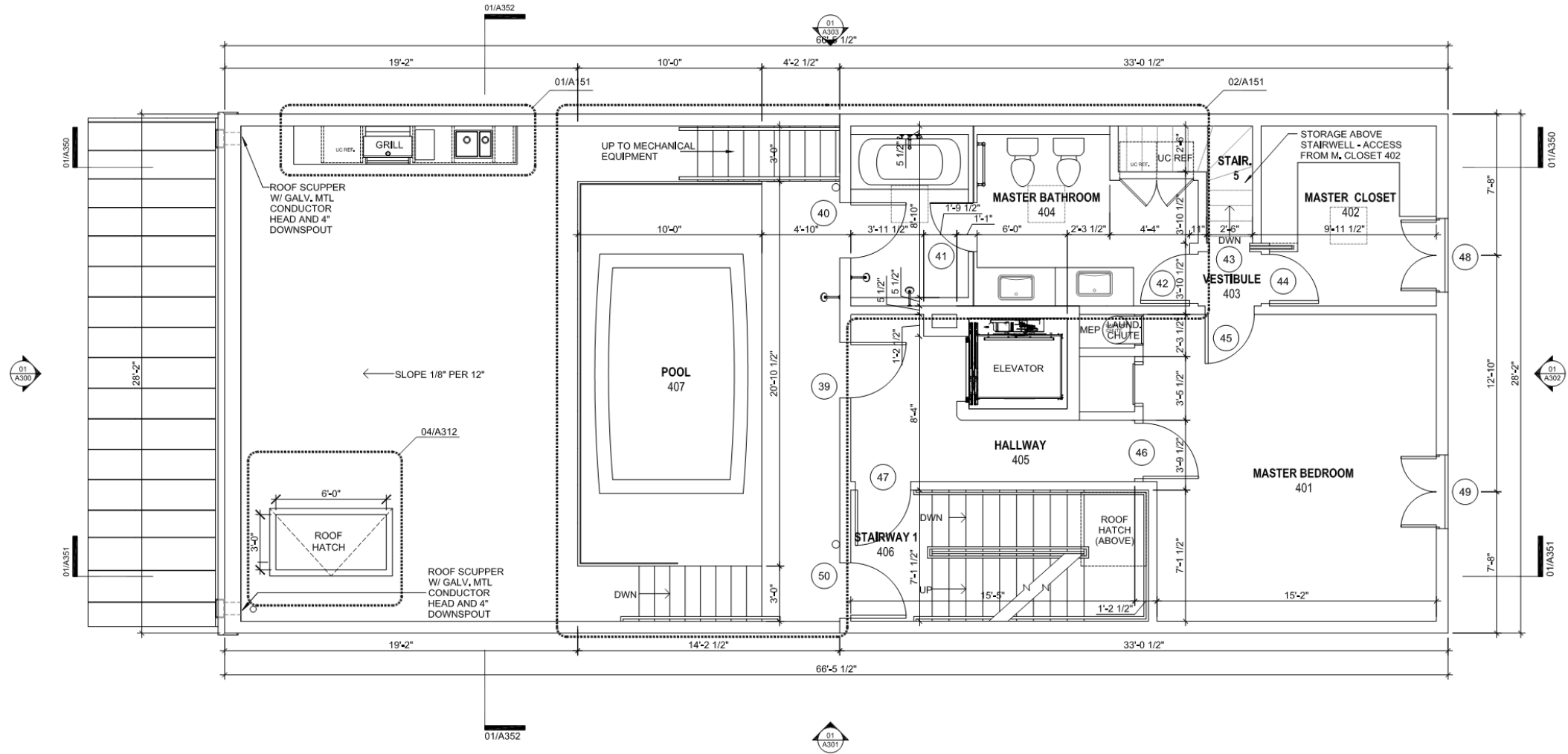
01 THIRD FLOOR PLAN
 A113 1/4" = 1'-0"

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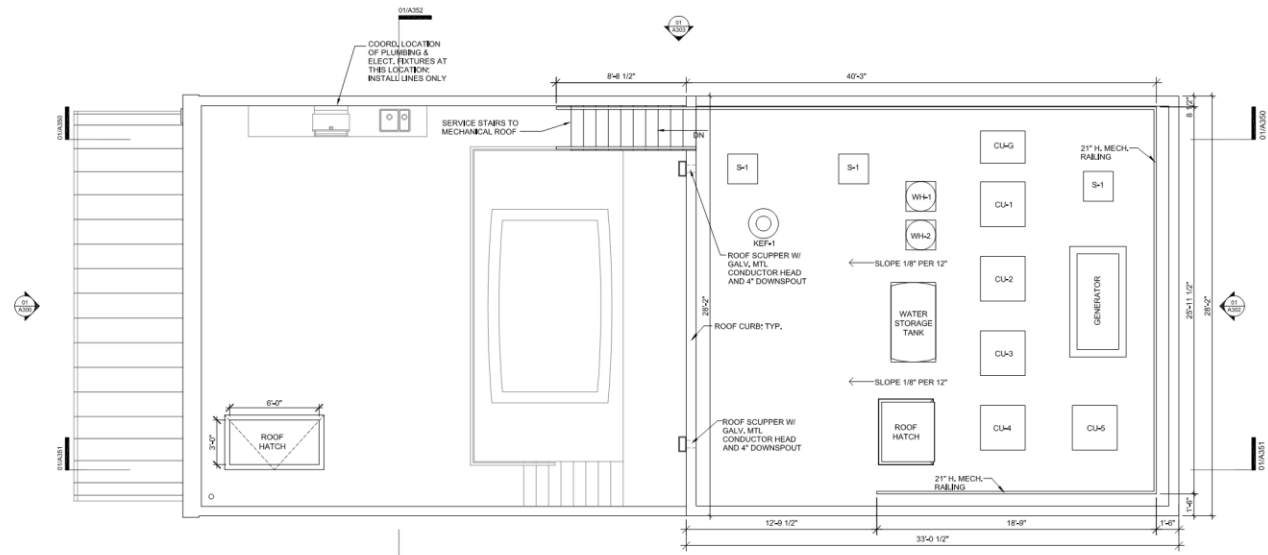
01 FOURTH FLOOR PLAN
A114 1/4" = 1'-0"

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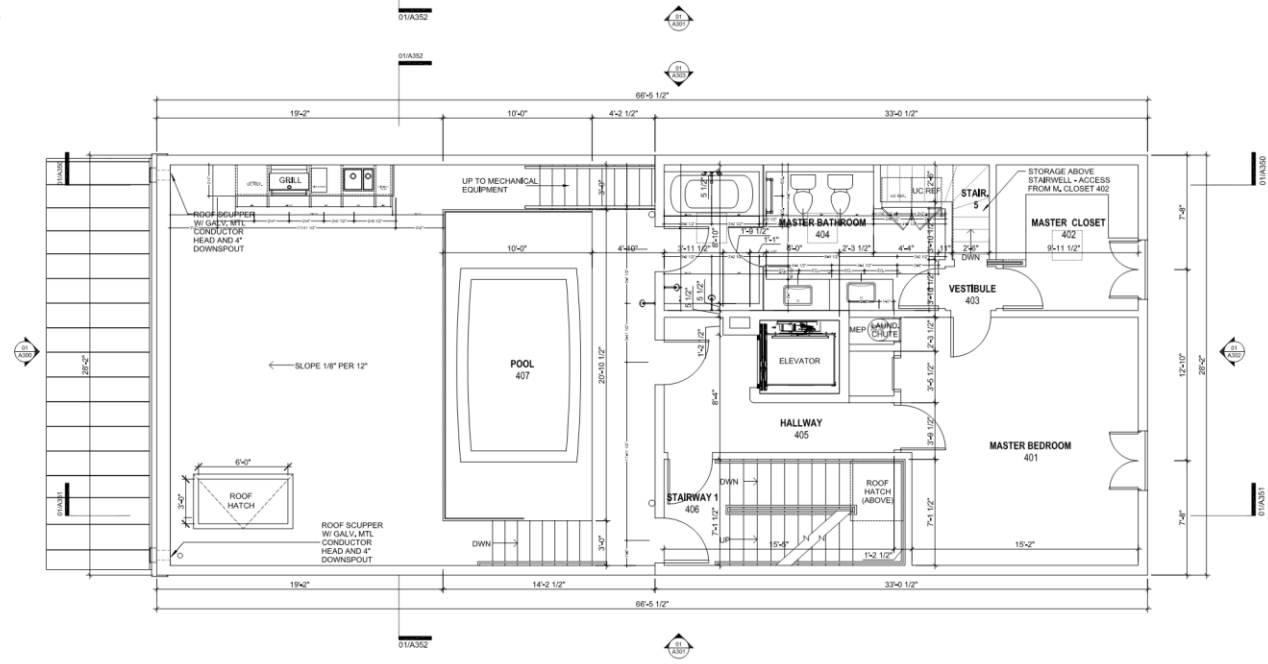
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02 ROOF PLAN
A115 1/4" = 1'-0"

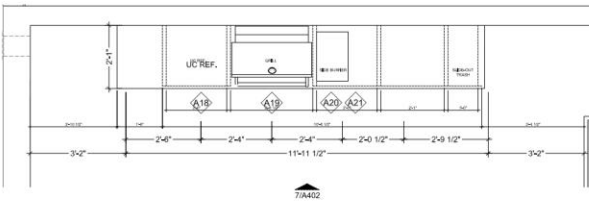


01 FOURTH FLOOR PLAN
A115 1/4" = 1'-0"

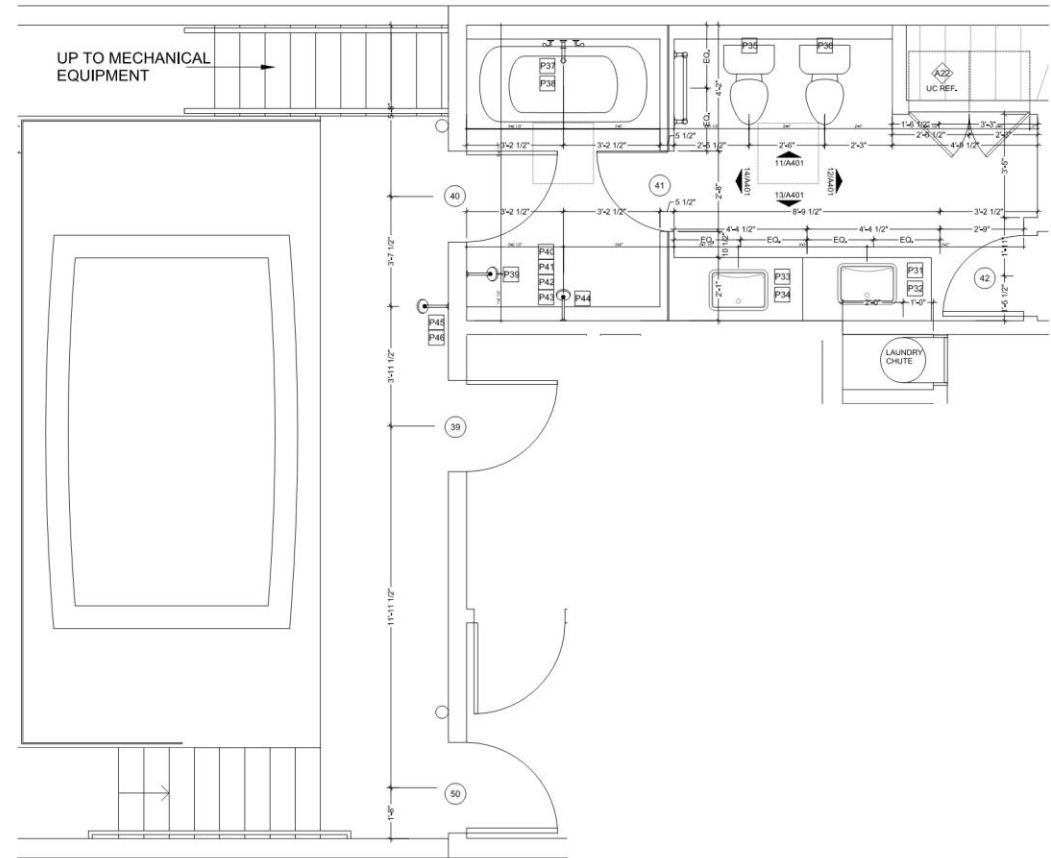


APPLIANCE SCHEDULE									
NO.	FIXTURE TYPE	MANUFACTURER	MODEL	COLOR	OPENING HEIGHT	OPENING WIDTH	OPENING DEPTH	ELECTRICAL SUPPLY	REMARKS
A1	U.C. REFRIGERATOR	GE	DVSHD6SS	N/A	74.2 1/8"	24"	14-10 1/8"	3-PRONG GROUNDING TYPE	
A2	U.C. REFRIGERATOR	GE	DVSHD6SS	N/A	74.2 1/8"	24"	14-10 1/8"	3-PRONG GROUNDING TYPE	
A3	ICE MAKER	TBD							
A4	MICROWAVE	GE	JMW195SPSS	N/A	14.4 1/2"	24.5 3/8"	14.3 1/2"	3-PRONG GROUNDING TYPE	
A5	U.C. REFRIGERATOR	FRIEDRICH	FFFS4330M		74.9 5/8"	34"	14-11 3/8"	3-PRONG GROUNDING TYPE	MILLWORK PANEL FRONT
A6	NOT USED								
A7	DISHWASHER	THERMADOR	DWHD05LUP	S.S.	24"	24-10 1/8"	24"	120 V, 12 AMPS, 60 HZ	MILLWORK PANEL FRONT
A8	CENTRAL VAC	TBD							
A9	INDUCTION COOKTOP	WOLF	CI1521S	N/A	14"	14"	64"	240V, 2400W VAC, 60 HZ	
A10	MICROWAVE DRAWER	BOSCH	HMKR0251UC	S.S.	24.4 1/2"	17.7 1/8"	14-1/8"	208-240 V, 20 AMPS, 60 HZ, FIXED CONNECTION	FLUSH MOUNT INSTALLATION
A11	GAS RANGE	THERMADOR	PR04L05SU	N/A	34"	64"	24"	NO PLUS, 30000 BTU, 60 AMPS, 60 HZ	
A12	VENT HOOD	THERMADOR	PH06S	N/A	34"	14"	24"	120 V, 15-20 AMPS, 3-PRONG	
A13	REFRIGERATOR COLUMN	THERMADOR	T30R000P	S.S.	24"	74"	24.0 3/8"	120 V, 15 AMPS, 3-PRONG	MILLWORK PANEL FRONT
A14	REFRIGERATOR COLUMN	THERMADOR	T30R000P	S.S.	24"	74"	24.0 3/8"	120 V, 15 AMPS, 3-PRONG	MILLWORK PANEL FRONT
A15	REFRIGERATOR COLUMN	THERMADOR	T30R000P	S.S.	24"	74"	24.0 3/8"	120 V, 15 AMPS, 3-PRONG	MILLWORK PANEL FRONT
A16	WASHER	LG	WM3579W_L	GRANITE (V)	24"	34.2 1 1/8"	24.3 3/8"	120V, 10 AMPS	
A17	DRYER	LG	DUEXSSD1_GD5571	GRANITE (V)	24"	34.2 1 1/8"	24.3 3/8"	GAS-3-PRONG GROUNDING TYPE	
A18	OUTDOOR U.C. REFRIGERATOR	TBD							
A19	GAS GRILL	TBD							
A20	OUTDOOR BURNER UNIT	TBD							
A21	MICROWAVE	TBD							
A22	U.C. REFRIGERATOR	FRIEDRICH	FFFS4330M		74.9 5/8"	34"	14-11 3/8"	3-PRONG GROUNDING TYPE	MILLWORK PANEL FRONT

PLUMBING FIXTURE SCHEDULE				
NO.	FIXTURE TYPE	MANUFACTURER	MODEL	REMARKS
P1	SINK	TBD	TBD	
P2	FAUCET	TBD	TBD	
P3	FLOOR DRAIN	TBD	TBD	
P4	TOILET	TBD	TBD	
P5	SINK	TBD	TBD	
P6	FAUCET	TBD	TBD	
P7	SINK	TBD	TBD	
P8	FAUCET	TBD	TBD	
P9	TOILET	TBD	TBD	
P10	SINK	TBD	TBD	
P11	FAUCET	TBD	TBD	
P12	SINK	TBD	TBD	
P13	FAUCET	TBD	TBD	
P14	TOILET	TBD	TBD	
P15	TOILET	TBD	TBD	
P16	SINK	TBD	TBD	
P17	FAUCET	TBD	TBD	
P18	SHOWER CONTROL VALVE	TBD	TBD	
P19	SHOWER HEAD	TBD	TBD	
P20	SHOWER DRAIN	TBD	TBD	
P21	SINK	TBD	TBD	
P22	FAUCET	TBD	TBD	
P23	SINK	TBD	TBD	
P24	FAUCET	TBD	TBD	
P25	TOILET	TBD	TBD	
P26	SHOWER CONTROL VALVE	TBD	TBD	
P27	SHOWER HEAD	TBD	TBD	
P28	SHOWER DRAIN	TBD	TBD	
P29	SINK	TBD	TBD	
P30	FAUCET	TBD	TBD	
P31	SINK	TBD	TBD	
P32	FAUCET	TBD	TBD	
P33	SINK	TBD	TBD	
P34	FAUCET	TBD	TBD	
P35	TOILET	TBD	TBD	
P36	TOILET	TBD	TBD	
P37	TUB FILLER/FAUCET	TBD	TBD	
P38	UNDERMOUNT BATH/TUB	TBD	TBD	
P39	SHOWER HEAD	TBD	TBD	
P40	SHOWER CONTROL VALVE	TBD	TBD	
P41	SHOWER HEAD	TBD	TBD	
P42	SHOWER CONTROL VALVE	TBD	TBD	
P43	SHOWER HEAD	TBD	TBD	
P44	SHOWER DRAIN	TBD	TBD	
P45	SHOWER HEAD	TBD	TBD	
P46	SHOWER CONTROL VALVE	TBD	TBD	



01 ENLARGED PLAN
A151 ROOF DECK 1/2" = 1'-0"



02 ENLARGED PLAN
A151 MASTER BATH 404 / POOL 407 1/2" = 1'-0"



808-810 ROYAL STREET
NEW ORLEANS, LA 70116

ENLARGED FLOOR PLANS

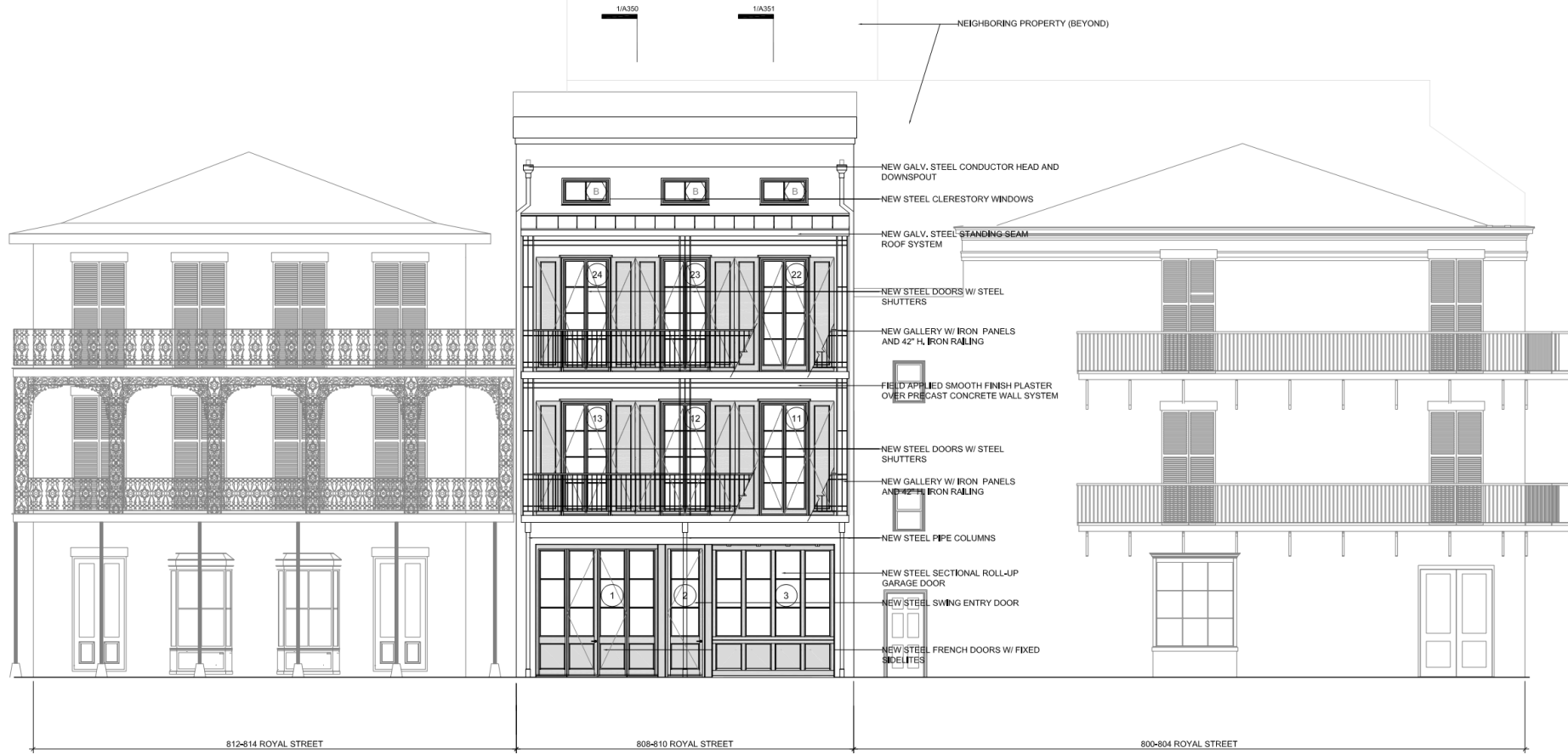


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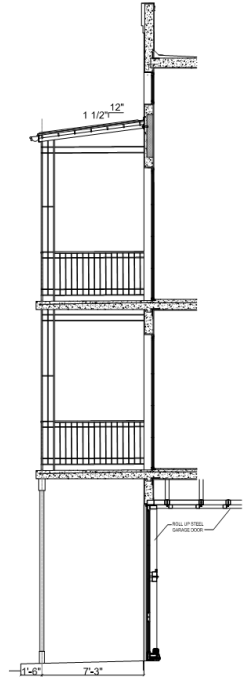
April 13, 2021

A151



NEIGHBORING PROPERTY (BEYOND)

T.O. PARAPET
46'-7"
ROOF
42'-9"
FOURTH FLOOR
37'-1"
THIRD FLOOR
25'-7"
SECOND FLOOR
13'-7"
FIRST FLOOR
0'-6"
GRADE
0'-0"



- NEW GALV. STEEL CONDUCTOR HEAD AND DOWNSPOUT
- NEW STEEL CLERESTORY WINDOWS
- NEW GALV. STEEL STANDING SEAM ROOF SYSTEM
- NEW STEEL DOORS W/ STEEL SHUTTERS
- NEW GALLERY W/ IRON PANELS AND 42" H. IRON RAILING
- FIELD APPLIED SMOOTH FINISH PLASTER OVER PRECAST CONCRETE WALL SYSTEM
- NEW STEEL DOORS W/ STEEL SHUTTERS
- NEW GALLERY W/ IRON PANELS AND 42" H. IRON RAILING
- NEW STEEL PIPE COLUMNS
- NEW STEEL SECTIONAL ROLL-UP GARAGE DOOR
- NEW STEEL SWING ENTRY DOOR
- NEW STEEL FRENCH DOORS W/ FIXED SIDELITES

812-814 ROYAL STREET

808-810 ROYAL STREET

800-804 ROYAL STREET

01 ROYAL STREET ELEVATION
A300 Scale: 3/16"=1'-0"

02 GALLERY SECTION
A300 Scale: 3/16"=1'-0"

808-810 ROYAL STREET

EXTERIOR ELE

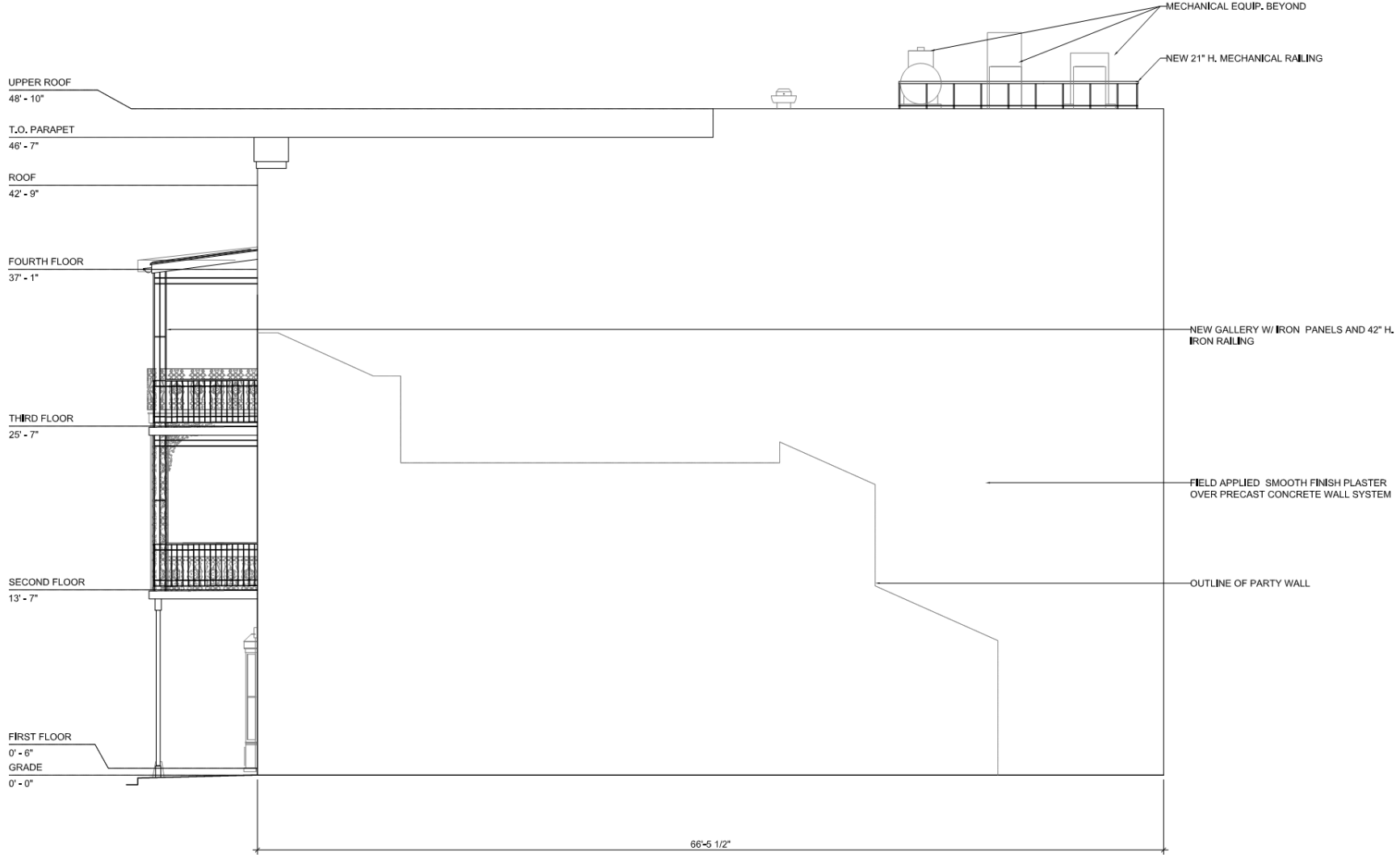
A3

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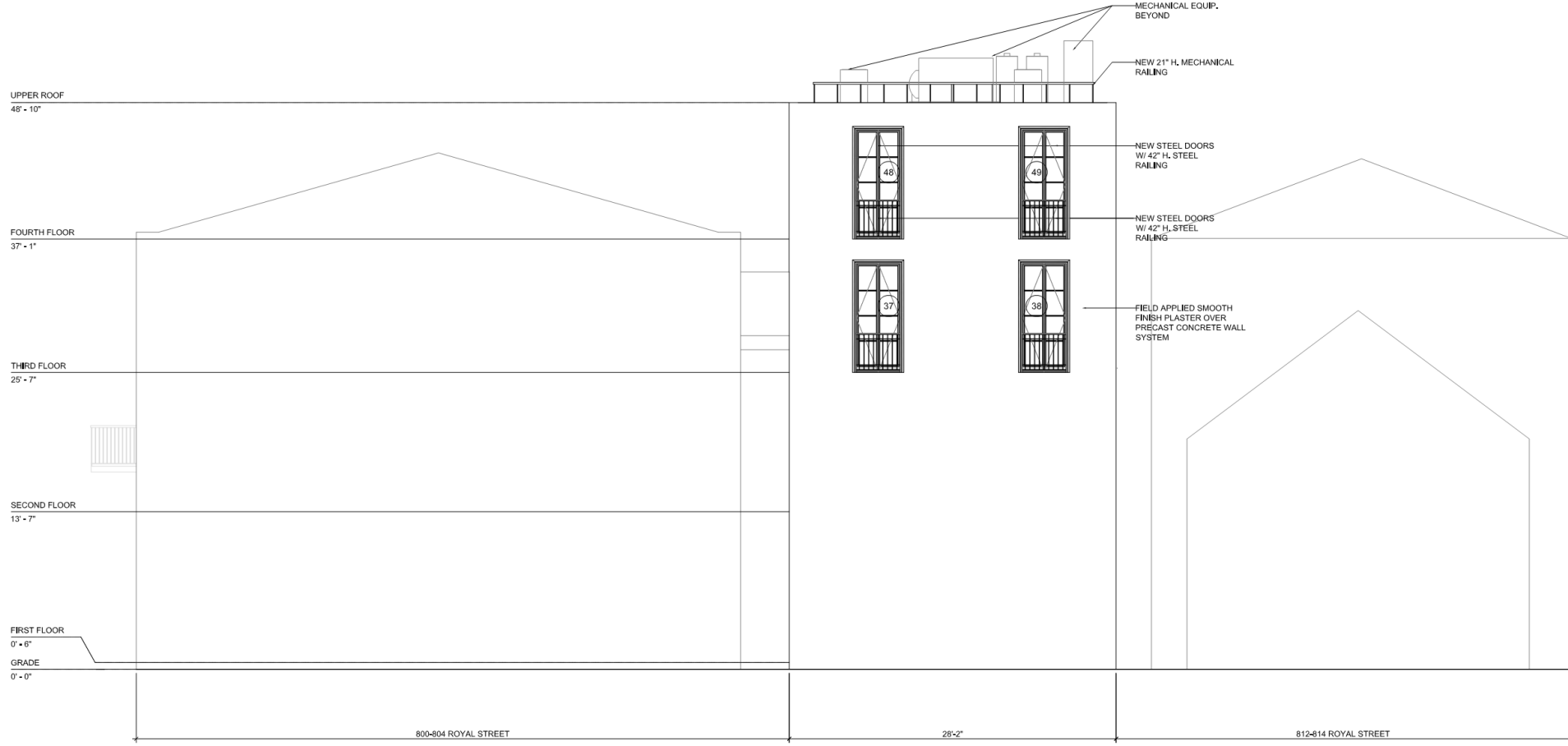




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01 ST. ANN STREET (SIDE) ELEVATION
A301 Scale: 3/16"=1'-0"





808-810 ROYAL STREET
 NEW ORLEANS, LA 70116

EXTERIOR ELEVATIONS

A302

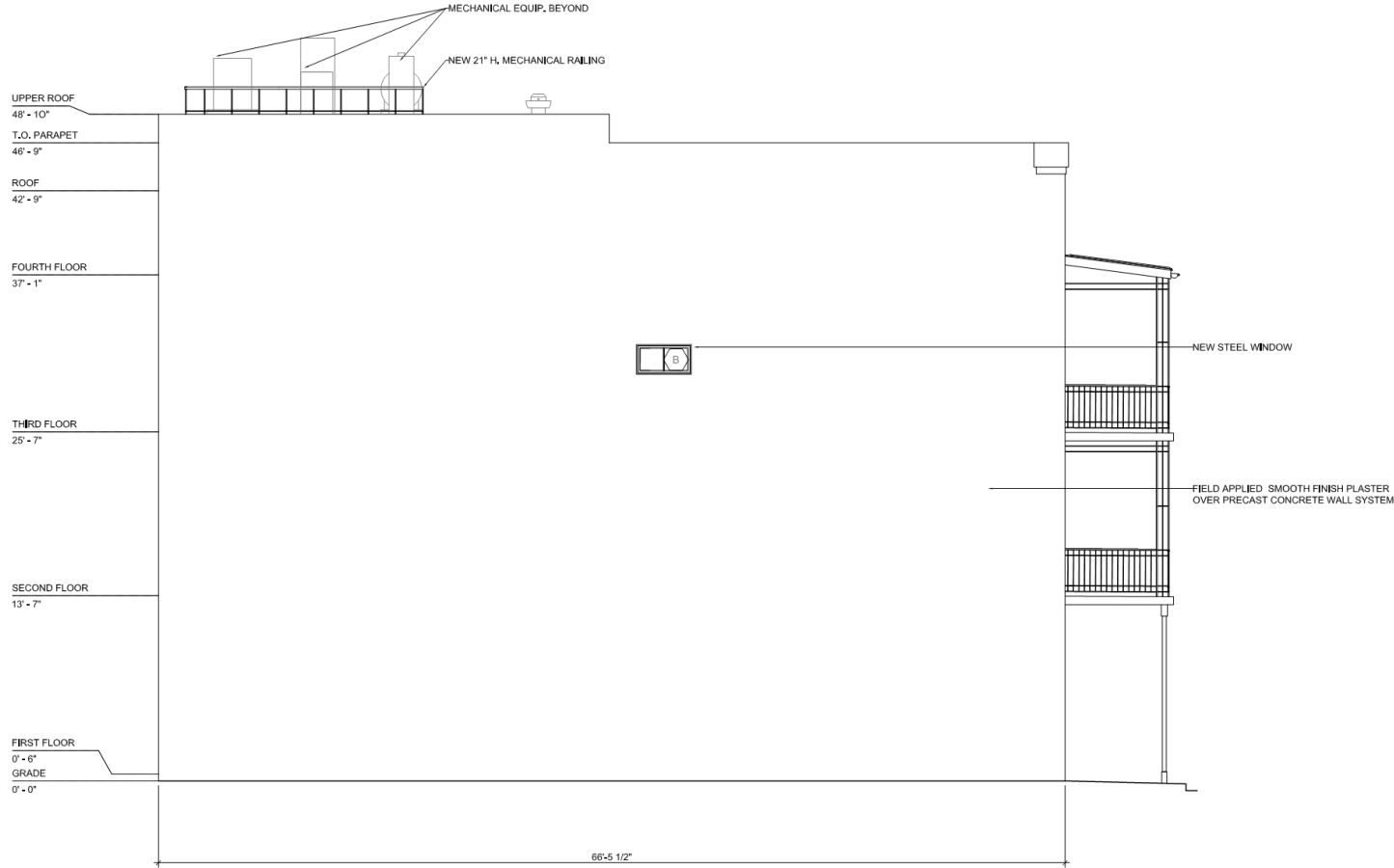
01 CHARTRES STREET (SIDE) ELEVATION
 A302 Scaled 3/16" = 1'-0"

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01 DUMAINE STREET (SIDE) ELEVATION
 A303 Scale: 3/16" = 1'-0"

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EXTERIOR ELEVATIONS

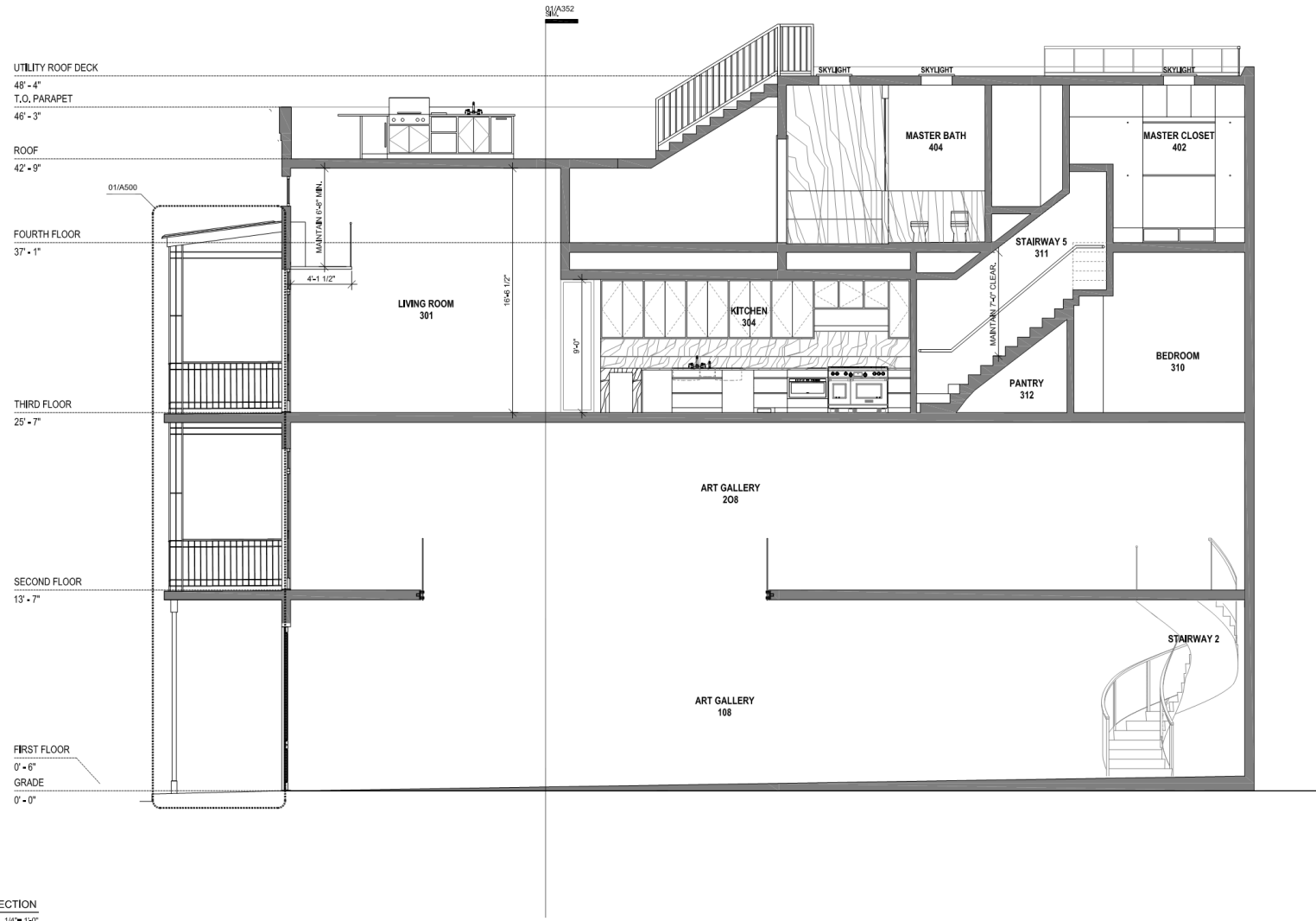
A303

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01 BUILDING SECTION
A350 1/4" = 1'-0"

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BUILDING SECTION

A350

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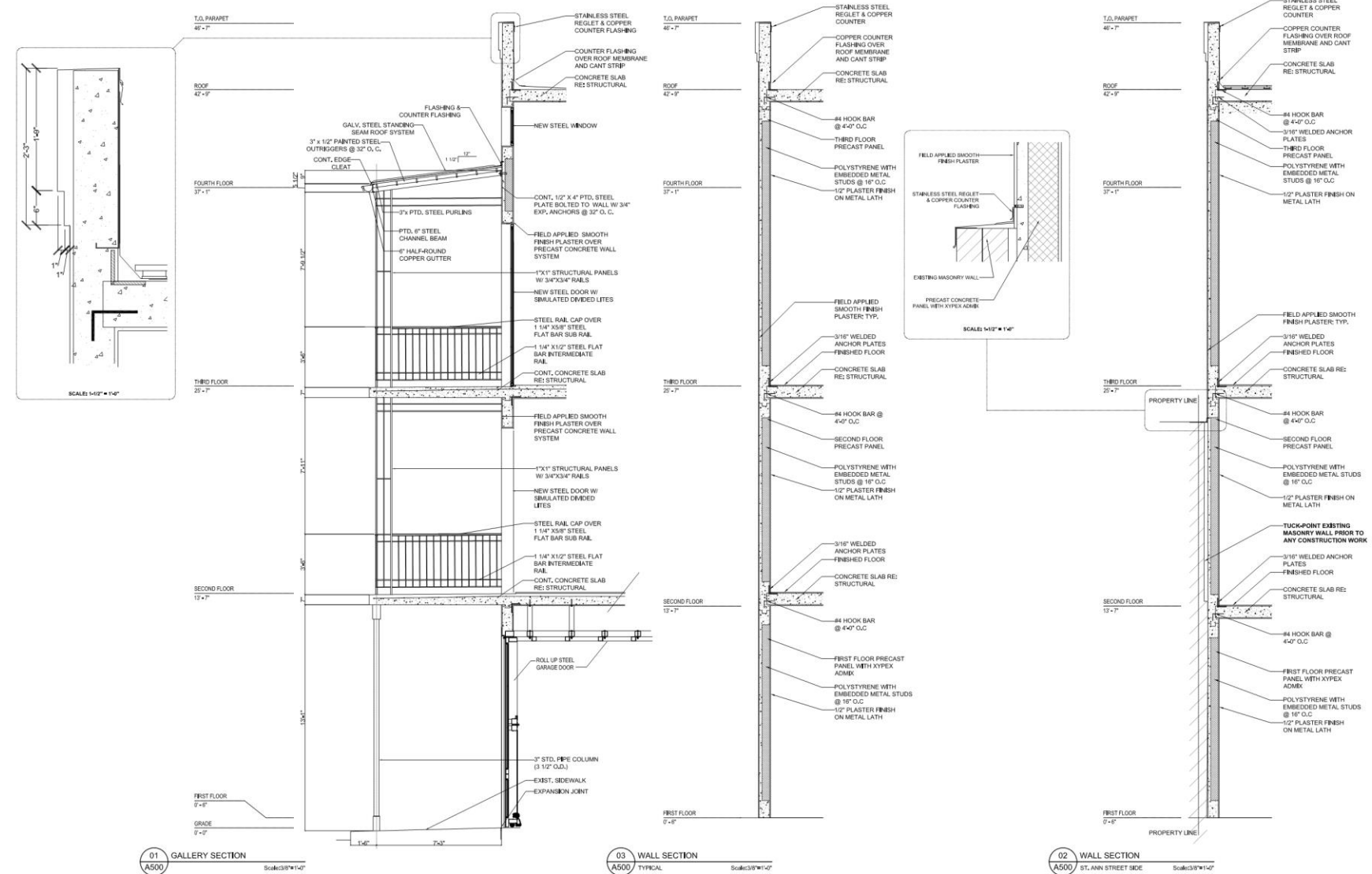
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WALL SECTIONS

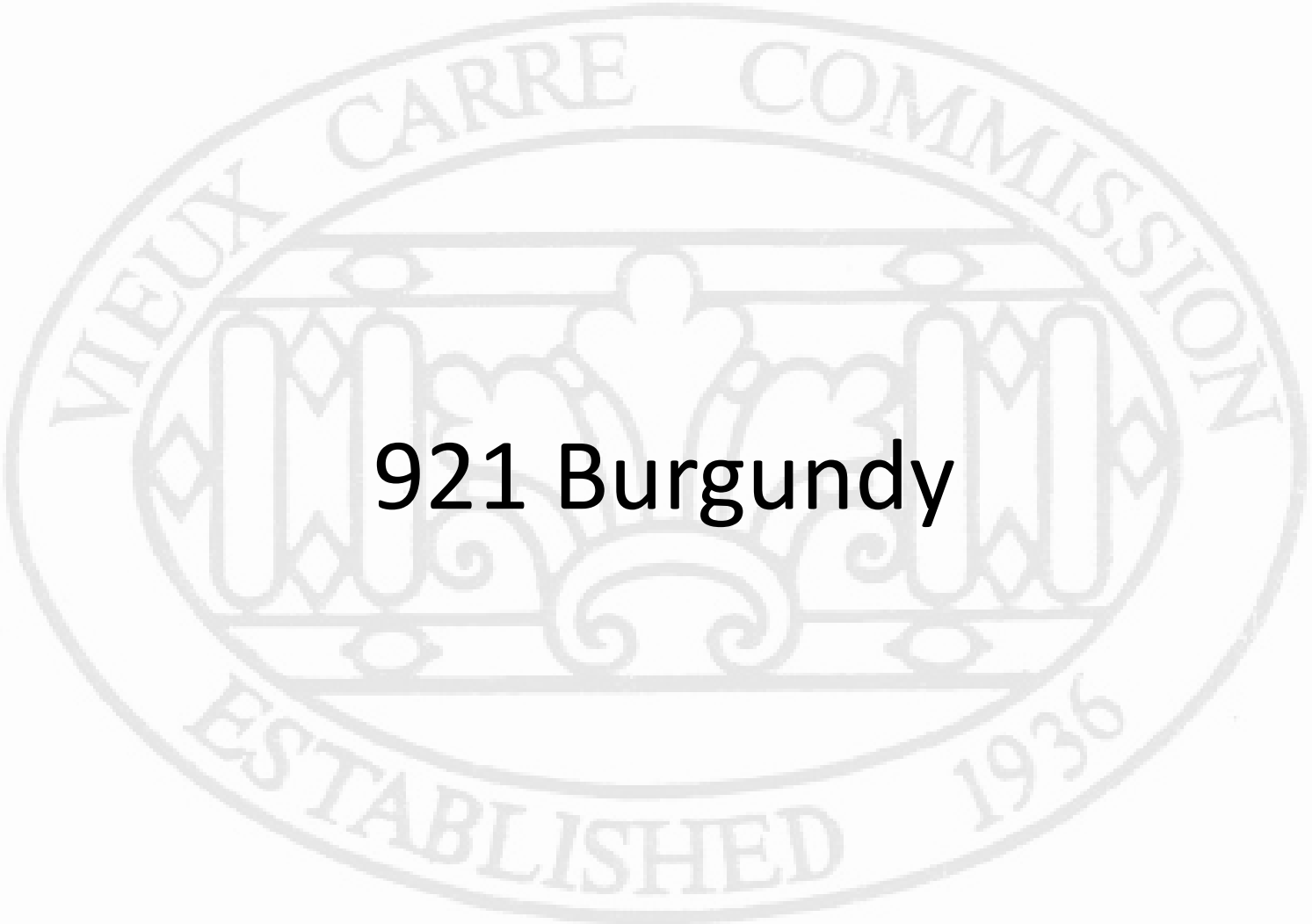
A500



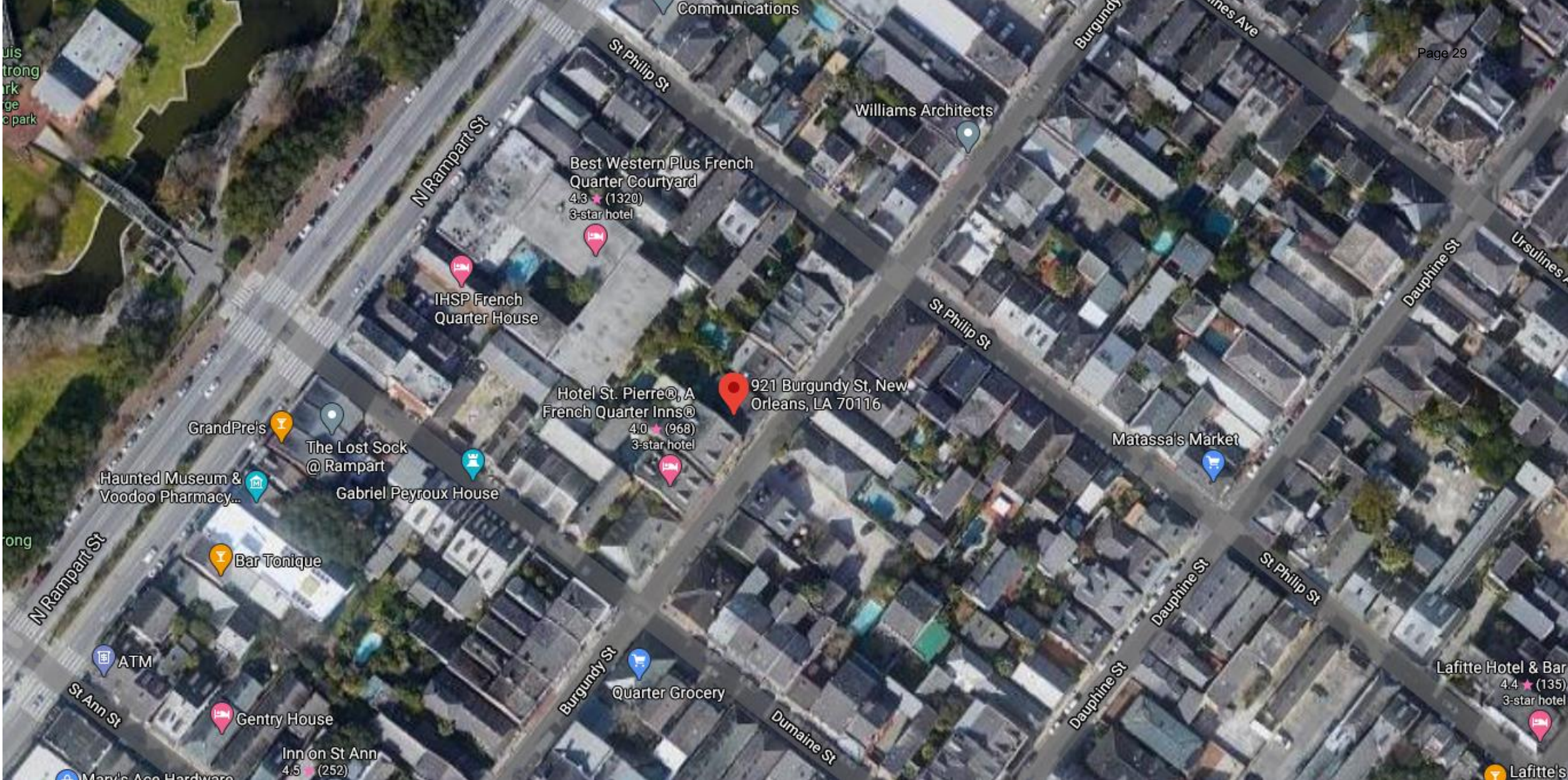
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921 Burgundy



921 Burgundy

VCC Architectural Committee

February 9, 2021





921 Burgundy

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February 9, 2021





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February 9, 2021





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February 9, 2021





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February 9, 2021





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February 9, 2021



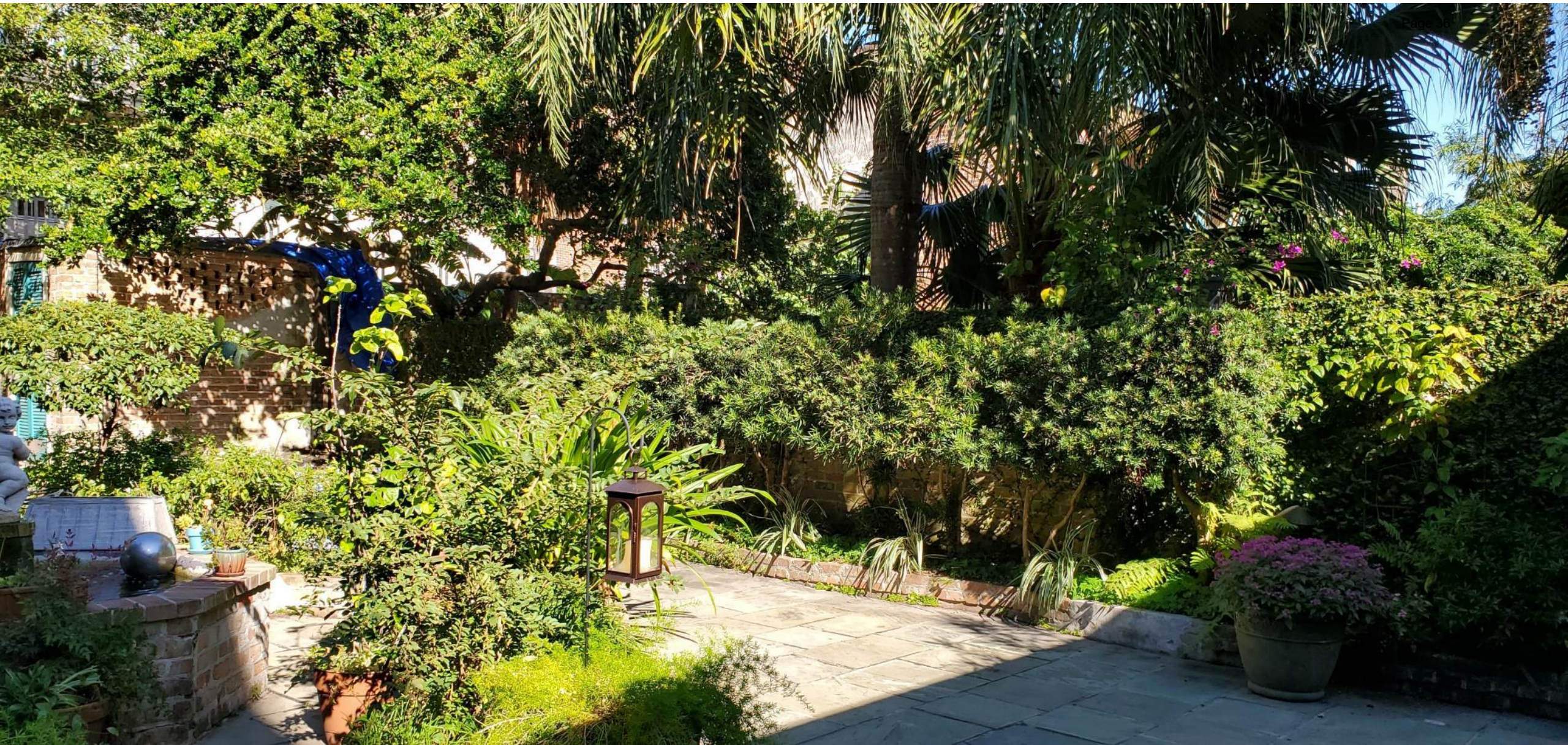


921 Burgundy

VCC Architectural Committee

February 9, 2021





921 Burgundy

VCC Architectural Committee

February 9, 2021





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VCC Architectural Committee

February 9, 2021





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February 9, 2021





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February 9, 2021



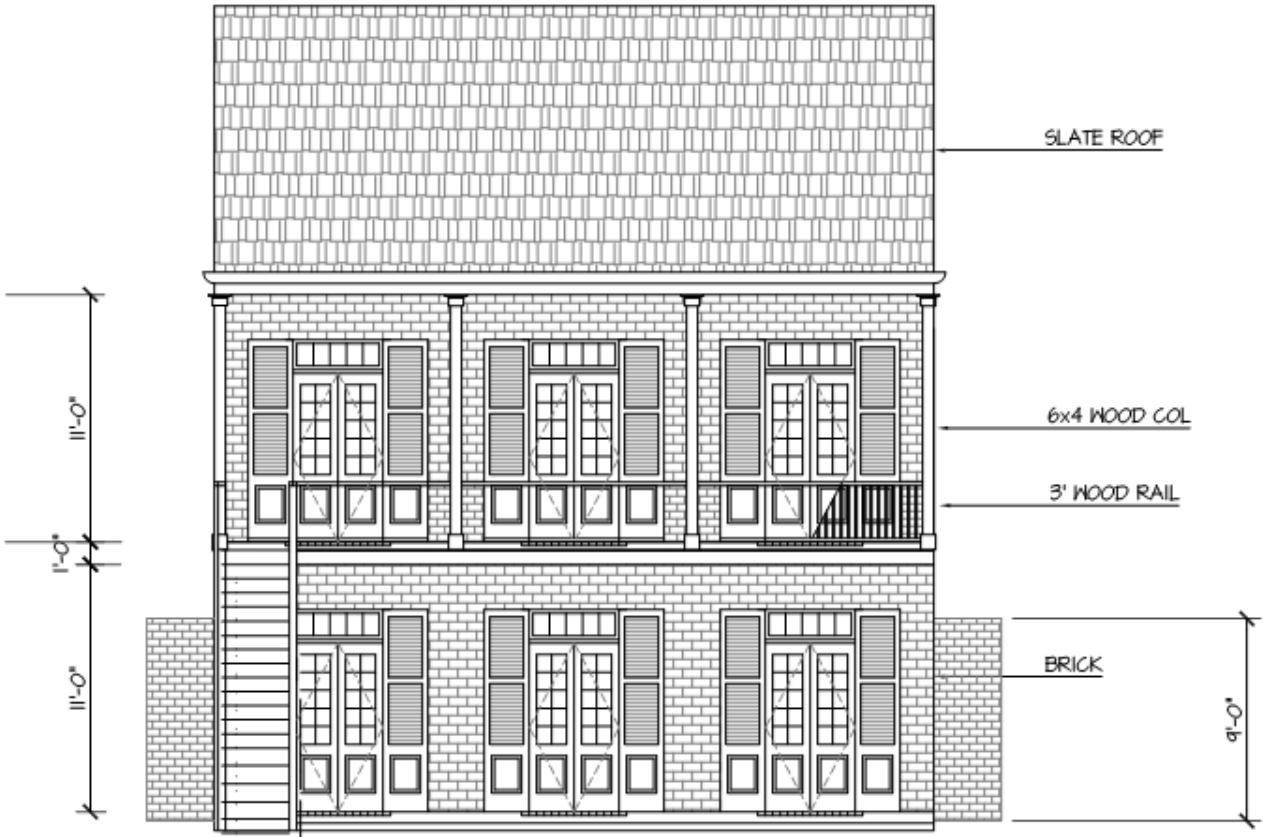


921 Burgundy

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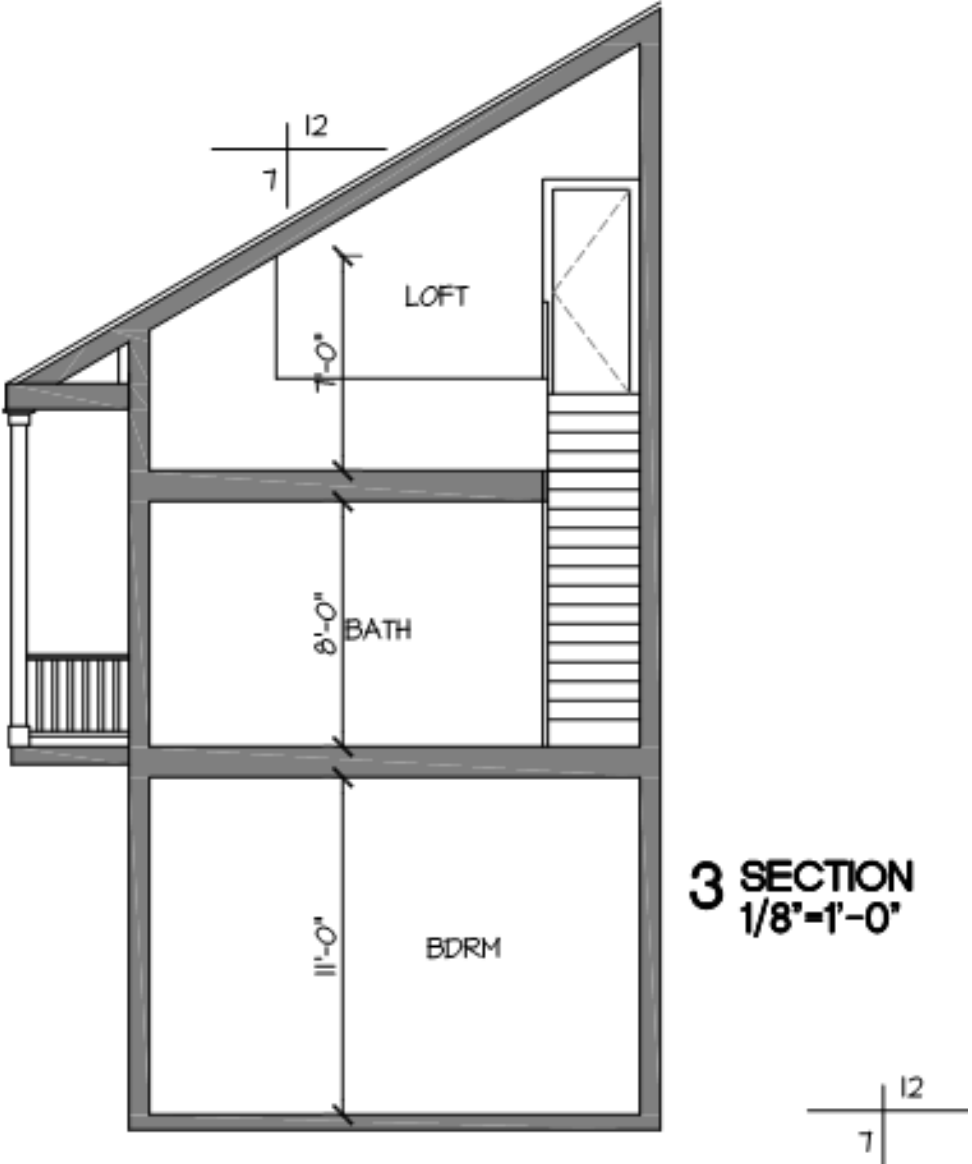
February 9, 2021

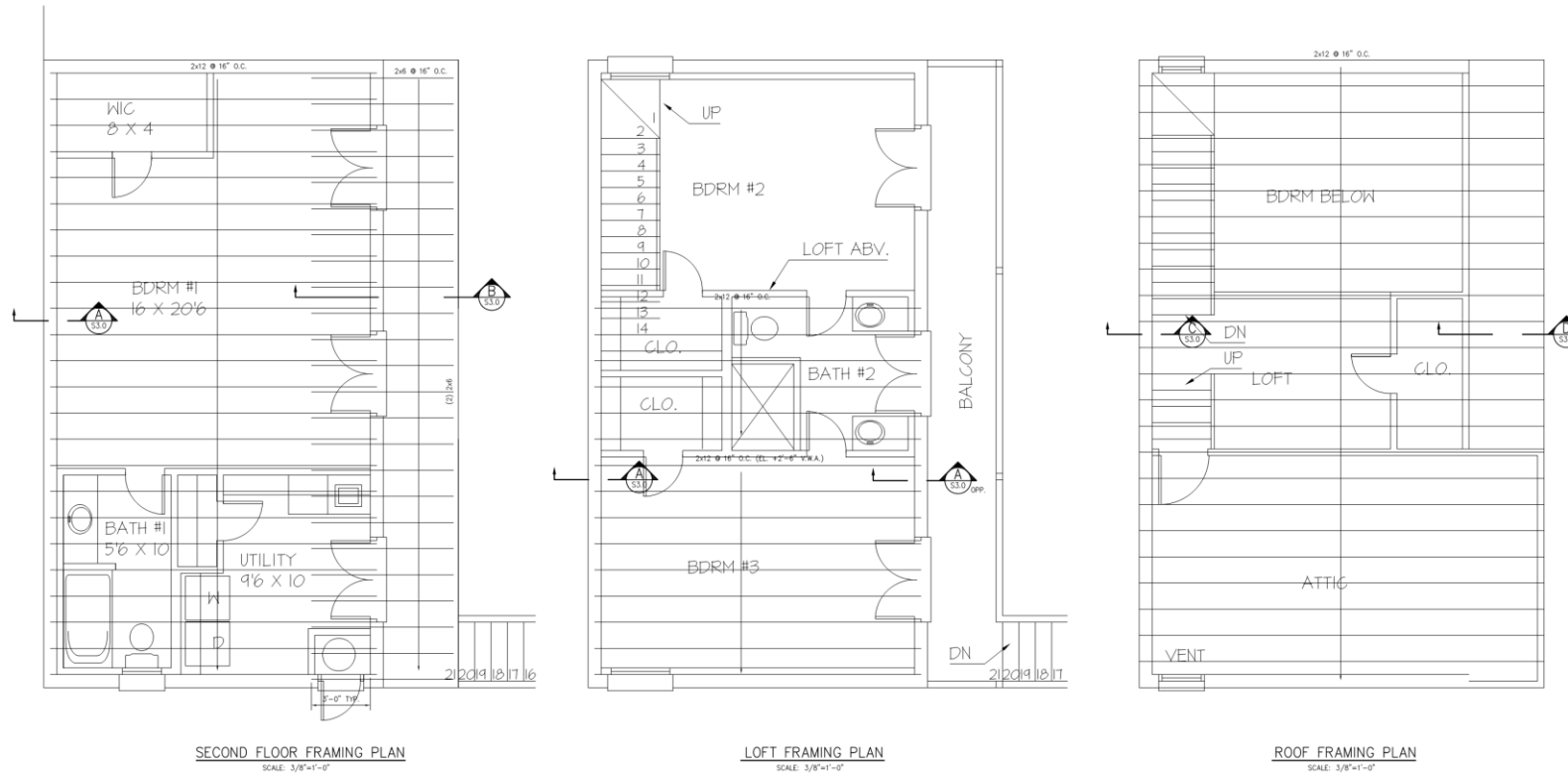




1 FRONT ELEVATION
1/8"=1'-0"

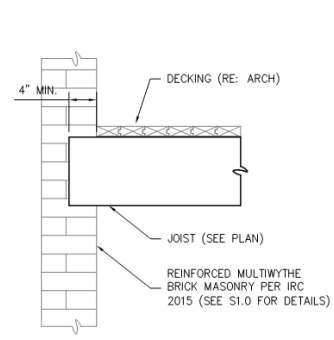




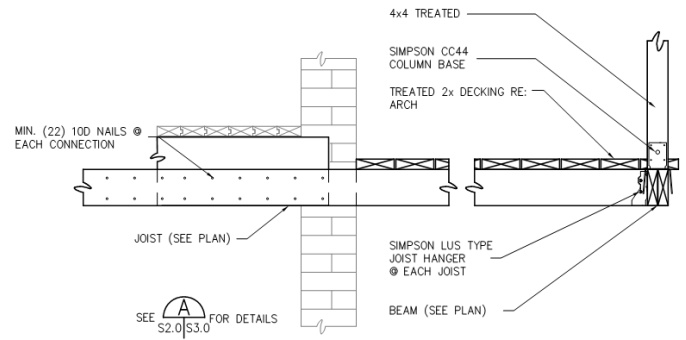


CIVIL STRUCTURAL		DATE		BY	
CARUBBA ENGINEERING		DATE		BY	
3400 Homeland Avenue		70002			
Metairie, LA		504.883.4400			
Phone:		www.carubbaengineering.com			
LOUISIANA		MARK		DESCRIPTION	
NEW ORLEANS		A. BERG AIA, NCARB		PROPOSED GUEST HOUSE	
		921 BURGUNDY STREET		FRAMING PLANS	
DRAWN		DATE			
CHECKED		DATE			
DATE		3/20/21			
CD PROJECT NO.		2021-024			
SHEET		S2.0			

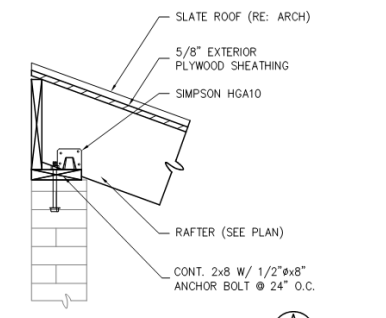
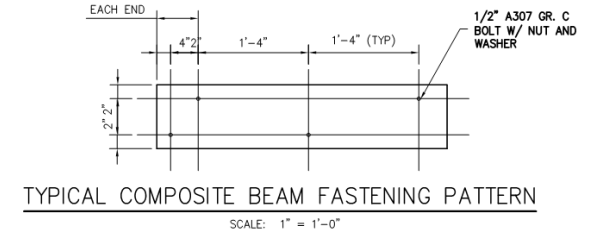




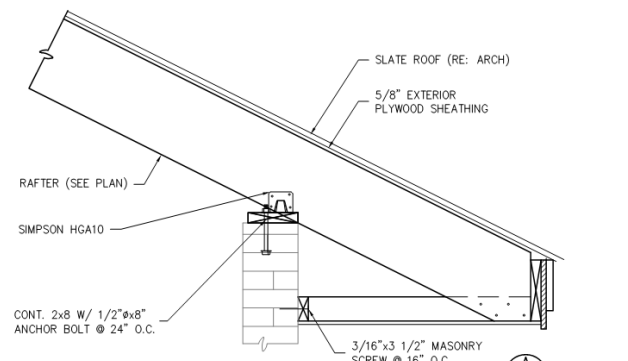
SECTION A
SCALE: 1" = 1'-0"
S2.0|S3.0



SECTION B
SCALE: 1" = 1'-0"
S2.0|S3.0



SECTION C
SCALE: 1" = 1'-0"
S2.0|S3.0

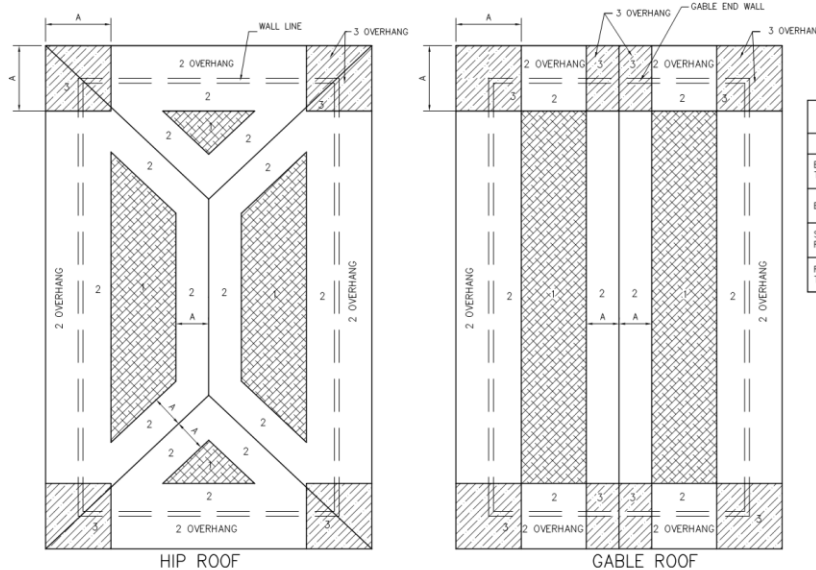


SECTION D
SCALE: 1" = 1'-0"
S2.0|S3.0

ROOF SHEATHING FASTENING SCHEDULE					
80 COMMON (0.131x 2") OR RING SHANK (0.135x2") EXCEPT WHERE NOTED, EXPOSURE C, ENCLOSED BUILDING, ROOF FRAMING SPACED 24" OR LESS					
WIND VELOCITY (3 SEC. GUST)	ROOF FASTENING ZONE				
	MAIN ROOF		SHEATHING TO GABLE END WALL FRAMING	OVERHANG (EAVES)	
	1	2	3	2	3
140 MPH	FASTENING SCHEDULE (INCHES TO CENTER)				
	PANEL LOCATION				
	SUPPORTED PANEL END AND EDGES		3 (10d RING SHANK)		2 2
PANEL FIELD		6 4 3		3	6 6

HEADER SPANS – EXPOSURE C OR LOAD BEARING WALLS (CEILING, ROOF, EXTERIOR, ETC.)					
SPAN	HEADER SIZE	NO. FULL HT STUDS REQ. @ EA. END	UPLIFT (LB.)	LATERAL (LB.)	
2'-0"	2-2x4	1	364	157	
3'-0"	2-2x10	2	546	236	
4'-0"	2-2x10	2	728	314	
5'-0"	2-2x12	3	910	393	
6'-0"	2-2x12	3	1092	471	
7'-0"	2-2x12	3	1274	550	
8'-0"	3-2x12	3	1456	628	
9'-0"	3-2x12	3	1638	707	
10'-0"	4-2x12	4	1820	785	

HEADER SPANS – EXPOSURE C FOR NON LOAD BEARING WALLS					
SPAN	MIN. HEADER SIZE	NO. FULL HT STUDS REQ. @ EA. END	UPLIFT #	LATERAL #	
2'-0"	1-2x4 FLAT	1	60	157	
3'-0"	1-2x4 FLAT	2	90	236	
4'-0"	1-2x4 FLAT	2	120	314	
5'-0"	1-2x4 FLAT	3	150	393	
6'-0"	1-2x6 FLAT	3	180	471	
7'-0"	1-2x6 FLAT	3	210	550	
8'-0"	2-2x6 FLAT	3	240	628	
9'-0"	2-2x6 FLAT	3	270	707	
10'-0"	2-2x6 FLAT	4	300	785	
11'-0"	2-2x6 FLAT	4	330	864	



DISTANCE "A" = 4 FEET IN MOST CASES. (10% OF LEAST BUILDING WIDTH OR 0.4 TIMES BUILDING HEIGHT, WHICHEVER IS SMALLER, BUT NOT LESS THAN 4% OF LEAST BUILDING WIDTH OR 3 FEET)

**ROOF SHEATHING FASTENING ZONES
UPLIFT CONNECTIONS**

ROOF ASSEMBLY TO WALL ASSEMBLY:
UPLIFT CONNECTIONS SHALL BE FROM RAFTER OR TRUSS TO WALL STUD. WHEN RAFTERS OR TRUSSES ARE NOT LOCATED DIRECTLY ABOVE STUDS, RAFTERS SHALL BE ATTACHED TO THE WALL PLATE AND THE WALL TOP PLATE SHALL BE ATTACHED TO THE WALL STUD WITH UPLIFT CONNECTIONS. UPLIFT CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE.

WALL ASSEMBLY TO WALL ASSEMBLY:
STORY TO STORY UPLIFT CONNECTIONS FROM UPPER STORY WALL STUD TO LOWER STORY WALL STUD. WHEN UPPER STORY WALL STUDS ARE NOT LOCATED DIRECTLY ABOVE LOWER WALL STUDS, THE STUDS SHALL BE ATTACHED TO A COMMON MEMBER IN THE FLOOR ASSEMBLY BY UPLIFT CONNECTIONS. UPLIFT CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE.

HOLD DOWNS
HOLD DOWNS ARE REQUIRED AT THE END OF EACH CEMENTED SHEARWALL SEGMENT OR AT THE END OF A PERFORATED SHEARWALL WHEN FULL HEIGHT SHEARWALL SEGMENTS MEET AT A CORNER. A SINGLE HOLD DOWN SHALL BE PERMITTED TO BE USED TO RESIST THE OVERTURNING FORCES IN BOTH DIRECTIONS WHEN THE CORNER FRAMING IN THE ADJOINING WALL IS FASTENED TOGETHER TO TRANSFER THE UPLIFT LOAD. SEE TYPICAL HOLD DOWN DETAIL.

ROOF UNDERLAYMENT APPLICATION
FOR ROOF SLOPES FROM ONE AND A HALF UNITS VERTICAL IN 12 UNITS HORIZONTAL (17% SLOPE), UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33% SLOPE), UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER:
APPLY A 19" STRIP OF UNDERLAYMENT FELT PARALLEL WITH AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19", AND FASTENED SUFFICIENTLY TO HOLD IN PLACE.
FOR ROOF SLOPES OF FOUR UNITS VERTICAL (33% SLOPE), OR GREATER, UNDERLAYMENT SHALL BE ONE LAYER APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2", FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6".

WALL ASSEMBLY TO FOUNDATION:
FIRST FLOOR WALL STUDS SHALL BE CONNECTED TO THE FOUNDATION, SILL PLATE, OR BOTTOM PLATE A MINIMUM OF A 1 1/4" x 20 GA. ASTM A653 GRADE 33 STEEL STRIP SHALL BE NAILED TO THE WALL STUDS AND HAVE A MINIMUM EMBEDMENT OF 7" IN CONCRETE FOUNDATIONS AND SLABS-ON-GRADE, 15" IN MASONRY BLOCK FOUNDATIONS, OR BE LAPPED UNDER THE BOTTOM PLATE. 3" SQUARE WASHERS SHALL BE USED ON THE ANCHOR BOLTS AND ANCHOR BOLT SPACING SHALL NOT EXCEED THE REQUIREMENTS. STEEL STRIPS EMBEDDED OR IN CONTACT WITH SLAB-ON-GRADE OR MASONRY BLOCK FOUNDATIONS SHALL BE HOT DIPPED GALV. AFTER FABRICATION, OR MFG. FROM G185 OR 2450 GALV. STL. CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE.

FASTENING SCHEDULE					
CONNECTION	MATERIAL	FASTENER	SCHEDULE	REMARKS	
EXTERIOR STUD WALL TO CONCRETE SLAB	PRESSURE TREATED BASE PLATE	5/8" X 10" A307 ANCHOR BOLTS	30" O.C.	12" MAX FROM CORNER OF SLAB OR END OF BASE PLATE	
EXTERIOR STUD WALL	1/2" PLYWOOD OVER WOOD STUDS @ 16" O.C.	10d COMMON NAIL	2" PERIMETER 12" INTERIOR	PLYWOOD TO OVERLAP FOUNDATION ON EXTERIOR SIDE	
STUD WALL TO ROOF RAFTER	(2) TOP PLATE TO RAFTERS @ 16"	SIMPSON H2.5 AT EACH RAFTER	FASTEN PER MANUFACTURER		
ROOF SHEATHING TO RAFTERS	5/8" PLYWOOD OVER RAFTERS @ 24"	10d COMMON NAIL	3" PERIMETER 6" INTERIOR		

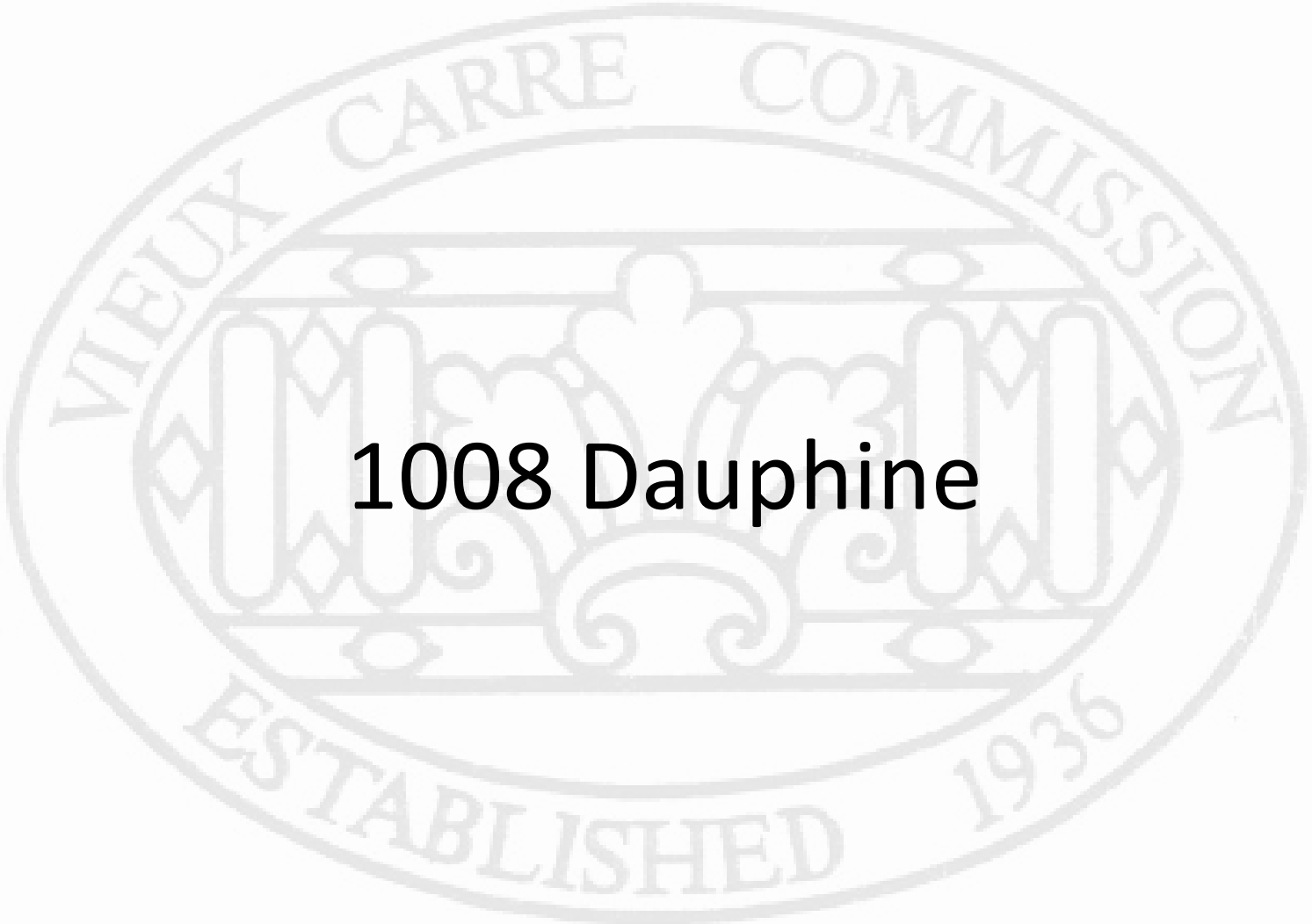
WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS			
FASTENER TYPE	FASTENER SPACING		
	PANEL SPAN < 4 FT.	4 FT. PANEL SPAN < 6 FT.	6 FT. PANEL SPAN < 8 FT.
2 1/2" #6 WOOD SCREWS	16"	12"	9"
2 1/2" #8 WOOD SCREWS	16"	16"	12"

WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENING PROTECTED FROM WINDBORNE DEBRIS. WOOD STRUCTURAL WITH A MIN. THICKNESS OF 7/16" AND A MAX. SPAN OF 8" SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE & TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.

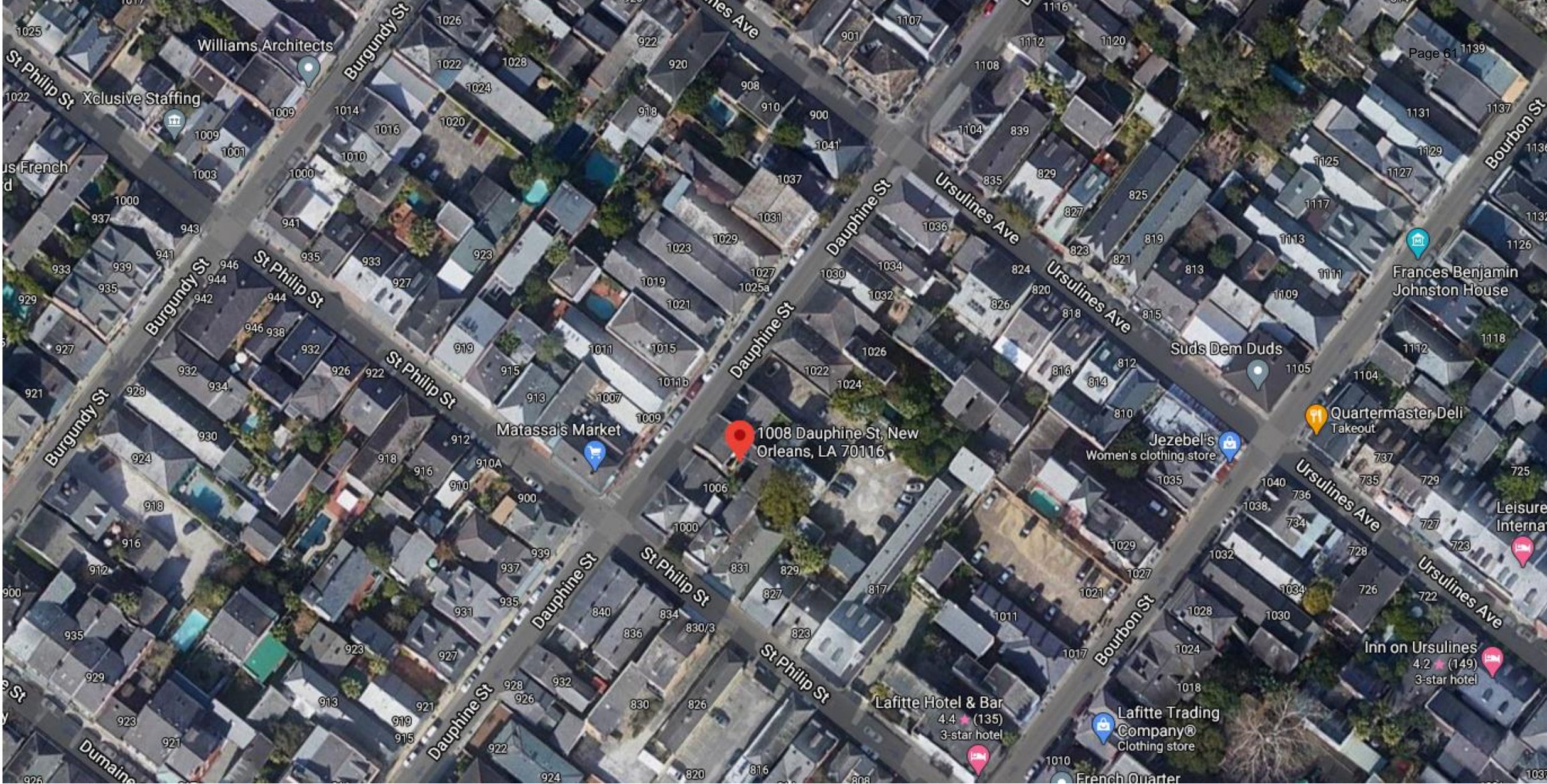
SCHEDULE OF STRUCTURAL CONNECTORS					
CONNECTOR	STRUCTURAL CONNECTIONS	FASTENERS	ALLOWABLE LOADS	ACTUAL LOADS	
SIMPSON SP2	WALL STUD TO TOP PLATE	SP2 12-10d	890		
SIMPSON SP1	WALL STUD TO BOTTOM PLATE	10-10d	585		
SIMPSON HD2A	HOLD DOWN AT OPENINGS AND SHEARWALLS	5/8" A307 ANCHOR BOLT, W/ 2-5/8" MACHINE BOLTS.	2775		
SIMPSON LTP4	TOP PLATE TO RIM JOIST	12-8d (1 1/2")	670		
SIMPSON LSTA36	FLOOR TO FLOOR	24-10d (1 1/2")	1640		
SIMPSON H2.5A	RAFTER TO TOP PLATE	10-8d (1 1/2")	600		
SIMPSON MTS20	RAFTER TO TOP PLATE/STUD	14-10d (1 1/2")	860		
SIMPSON MSTA18	HEADER TO HEADER STUD	14-10d (1 1/2")	1140		
SIMPSON A35	GABLE RAKE TO WALL STUD TO PLATE	12-8d (1 1/2")	345		
5/8" ANCHOR BOLT W/ 3x1/8" WASHER	SILL PLATE TO CONCRETE FOUNDATION	5/8" ANCHOR BOLT 9" MIN. EMBEDMENT	2310		
SIMPSON CBS066-S052	WOOD COLUMN HOLD DOWN	14-SIMPSON SDS 1/4"x2" SCREWS	5710		
SIMPSON CC048D52.5	WOOD COLUMN TO BEAM	30-SIMPSON SDS 1/4"x2 1/2" SCREWS	5955		
SIMPSON ECCL46	WOOD COLUMN TO BEAM AT CORNER	6-5/8" MACHINE BOLT WITH NUT AND WASHER	740		
SIMPSON CS16	HEADER TO WINDOW	12-8d (1 1/2")	345		
SIMPSON CS36	HEADER TO TOP PLATE	12-8d (1 1/2")	345		
SIMPSON MSTA 24	FLOOR TO FLOOR	12-8d (1 1/2") WOOD- SIMPSON TITEN SCREWS-MASONRY	345		
SIMPSON MSTA 36	FLOOR TO FLOOR	12-8d (1 1/2")	345		
SIMPSON MSTA 21	RAFTER TO RAFTER	14-10d (1 1/2")	860		
SIMPSON H8	WALL STUD TO TOP PLATE	12-10d (1 1/2")	890		







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**REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET**
FRENCH QUARTER - NEW ORLEANS, LA

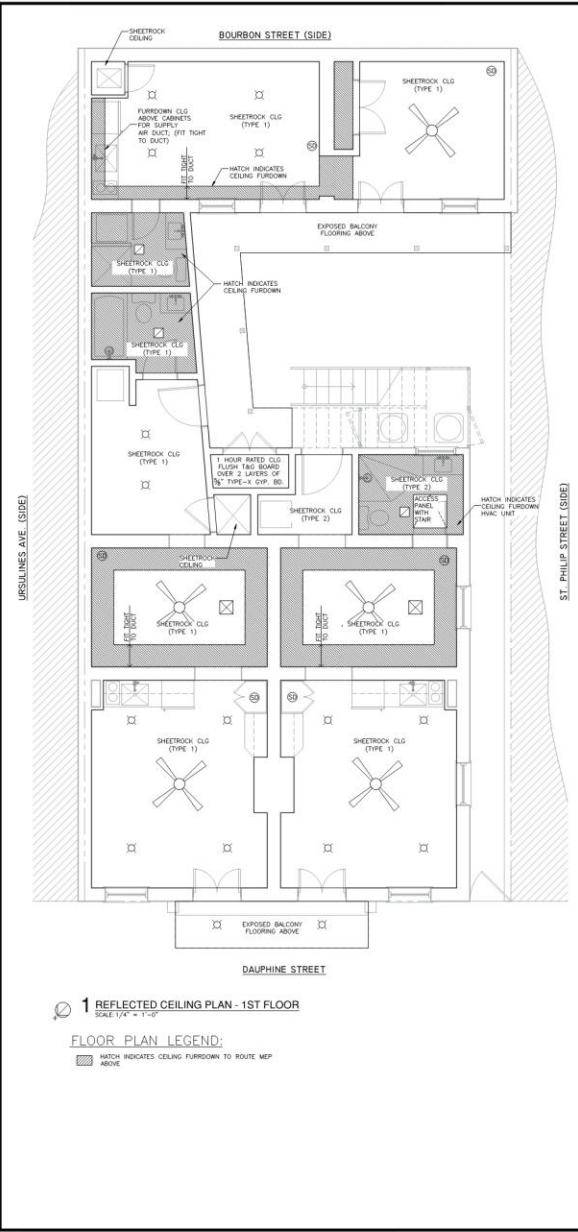
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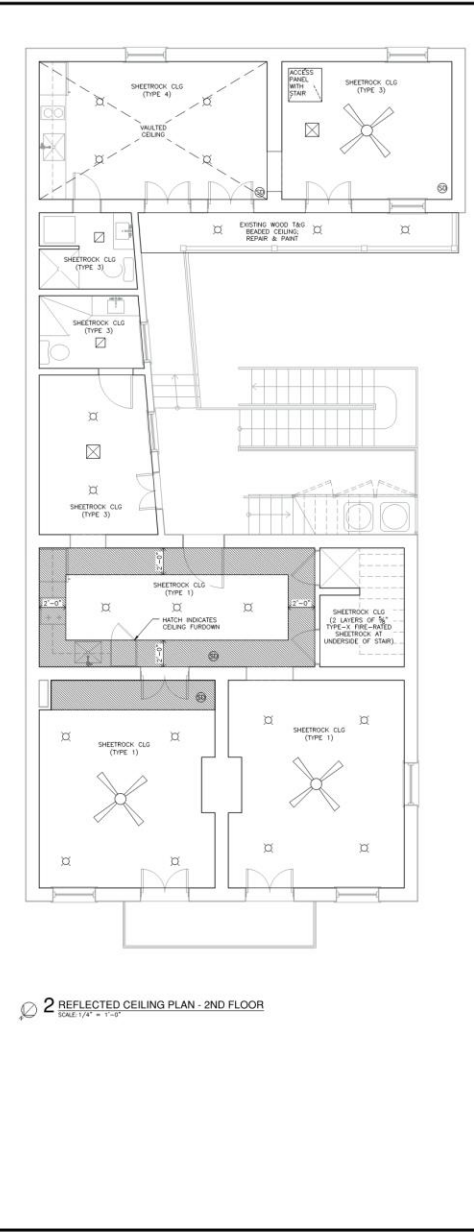
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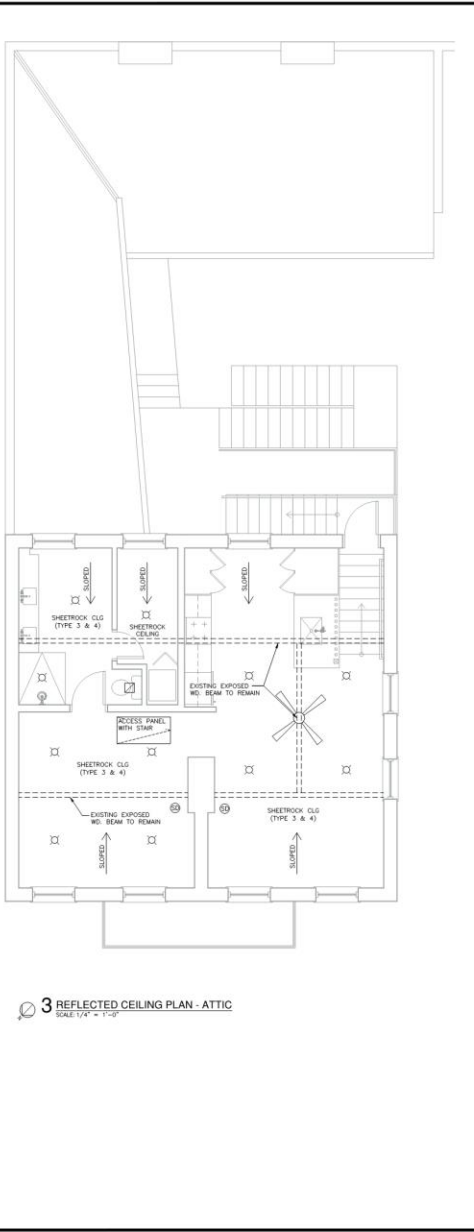


1 REFLECTED CEILING PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND:
HATCH INDICATES CEILING FURFROOM TO ROUTE MEP ABOVE



2 REFLECTED CEILING PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"



3 REFLECTED CEILING PLAN - ATTIC
SCALE: 1/4" = 1'-0"

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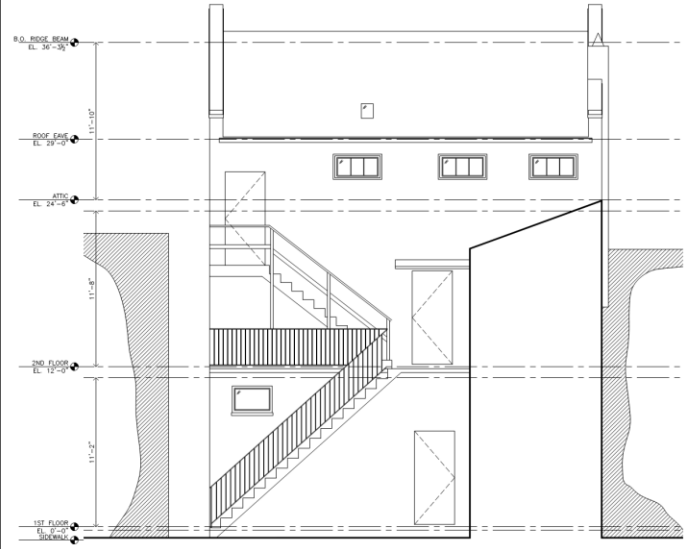
REPAIRS AND RESTORATIONS TO
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FRENCH QUARTER - NEW ORLEANS, LA



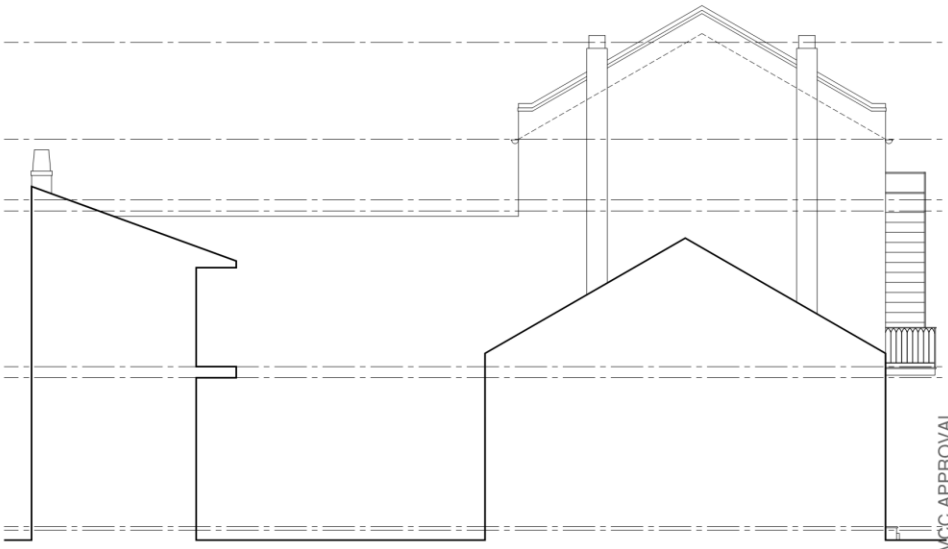
1 EXISTING ELEVATION - FRONT (DAUPHINE STREET)
SCALE: 1/4" = 1'-0"



3 EXISTING ELEVATION - SIDE (ST. PHILIP STREET SIDE)
SCALE: 1/4" = 1'-0"



2 EXISTING ELEVATION - REAR (BOURBON ST. SIDE)
SCALE: 1/4" = 1'-0"



4 EXISTING ELEVATION - SIDE (URSULINES AVE. SIDE)
SCALE: 1/4" = 1'-0"

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**REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET**
FRENCH QUARTER - NEW ORLEANS, LA



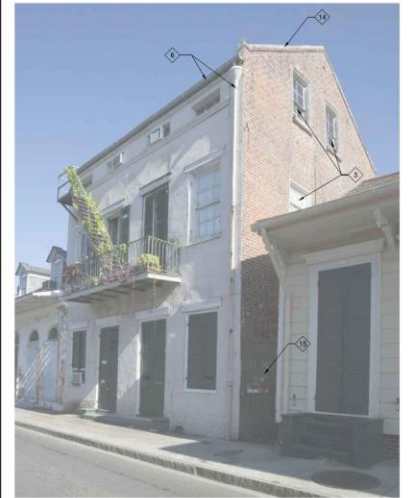
1 PHOTO - FRONT (DAUPHINE STREET)
SCALE: 1/8" = 1'-0"



2 PHOTO - FRONT BALCONY
SCALE: 1/8" = 1'-0"



3 PHOTO - FRONT LEFT SIDE
SCALE: 1/8" = 1'-0"



4 PHOTO - FRONT RIGHT (DAUPHINE STREET)
SCALE: 1/8" = 1'-0"

KEYNOTES:

- 1 REMOVE WINDOW UNIT WITH ALL RELATED COMPONENTS
- 2 REMOVE STEEL STAIR
- 3 REFURBISH EXISTING WINDOW & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD WINDOW TRIM
- 4 REFURBISH EXISTING DOOR & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD DOOR TRIM
- 5 EXTERIOR FACADE: FULLY SOUND EXISTING STUCCO AND ONLY REPLACE DELAMINATED STUCCO WITH VCC APPROVED MIX DESIGN; RE-POINT ALL EXISTING BRICK MORTAR JOINTS WITH VCC APPROVED MIX DESIGN
- 6 REPLACE EXISTING GUTTER, DOWNSPOUT & RAIN LEADER
- 7 BALCONY: REPLACE EXISTING TAG WOOD BOARDS WITH NEW 1" x 4" TAG AGARATS HERITAGE OR TRADITIONS DECKING; REFURBISH ALL EXISTING STEEL COMPONENTS SUCH AS RAILING, OUTLOOKERS, SLEEPERS, ETC.
- 8 REPLACE EXISTING WOOD TRIM TO MATCH EXISTING
- 9 REPLACE STUCCO KEystone TO MATCH EXISTING
- 10 REFURBISH EXISTING FOUNDATION VENT
- 11 REFURBISH EXISTING STEPS/STOOP
- 12 REPAIR EXISTING STUCCO
- 13 CHIMNEY: REPOINT MASONRY & REFURBISH VENT CAP
- 14 ROOF PARAPET: REMOVE EXISTING METAL CAP FLASHING & INSTALL STUCCO IN ITS PLACE
- 15 GATE: REFURBISH EXISTING (PREP, PRIME & PAINT)
- 16 BRICK: REPOINT BRICK AS REQUIRED
- 17 ROOF: REMOVE ASBESTOS ROOF SHINGLES & REPLACE WITH SYNTHETIC CEMENTITIOUS SLATE TILES
- 18 ROOF: REMOVE EXISTING SKYLIGHT & CLOSE-IN
- 19 REMOVE EXISTING DOOR AND REPLACE WITH NEW AS SHOWN IN THESE DOCUMENTS
- 20 REMOVE EXISTING RAIL & REPLACE WITH NEW RAILING
- 21 REMOVE EXISTING TAG WOOD SOFFIT BOARDS & REPLACE WITH TAG COMPOSITE WOOD BOARDS
- 22 REMOVE EXISTING WATER HEATERS & ENCLOSURE, INSTALL NEW TANKLESS WATER HEATER/S IN MECHANICAL ROOM
- 23 REPLACE STEEL COLUMN WITH WOOD COLUMN
- 24 RELOCATE ALL EXPOSED MECHANICAL/ELECTRICAL/PLUMBING CONDUIT, PIPING & WIRING INSIDE INTERIOR CEILING FLEM
- 25 REMOVE EXISTING CONCRETE STAIR WITH NEW STEEL STEEL WITH COMPOSITE WOOD TREADS AND RISERS
- 26 DEMO EXISTING CONCRETE PLATFORM & REPLACE WITH PERMEABLE PAVING SYSTEM THAT'S SLOPED TO EXISTING FRENCH DRAIN ALONG THE ST. PHILIP STREET SIDE PROPERTY LINE
- 27 REMOVE EXISTING WINDOW AND CLOSE-IN OPENING WITH LIKE-IN-KIND ADJACENT MATERIAL
- 28 FLOOR: REMOVE EXISTING CONCRETE FLOOR & REPLACE WITH 1" x 4" TAG AGARATS HERITAGE OR TRADITIONS DECKING; SLOPE FLOOR 3/8" PER 12" AWAY FROM EXTERIOR WALLS TOWARDS COURTYARD

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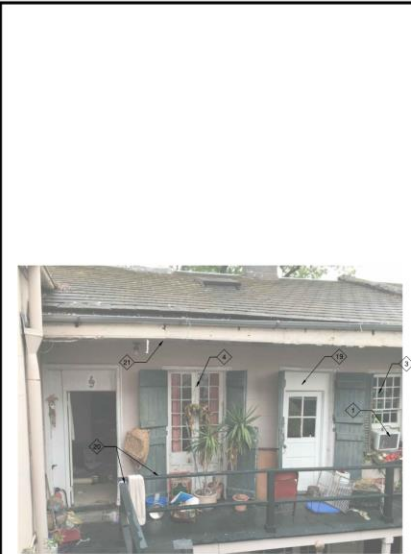
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**REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET**
FRENCH QUARTER - NEW ORLEANS, LA



1 PHOTO - REAR BUILDING (2ND FLOOR)
SCALE: 1/8" = 1'-0"



2 PHOTO - REAR BUILDING (2ND FLOOR)
SCALE: 1/8" = 1'-0"



3 PHOTO - COURTYARD
SCALE: 1/8" = 1'-0"



4 PHOTO - ANNEX BUILDING 2ND FLOOR
SCALE: 1/8" = 1'-0"



5 PHOTO - ANNEX BUILDING 2ND FLOOR
SCALE: 1/8" = 1'-0"

- KEYNOTES:**
- 1 REMOVE WINDOW UNIT WITH ALL RELATED COMPONENTS
 - 2 REMOVE STEEL STAIR
 - 3 REFURBISH EXISTING WINDOW & WOOD SHUTTERS, COMPLETELY REPLACE ALL EXTERIOR WOOD WINDOW TRIM
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 - 7 BALCONY: REPLACE EXISTING TAG WD. BOIS WITH NEW 1" X 4" TAG AKENATIS HERITAGE OR TRADITIONS DECOR; REFURBISH ALL EXISTING STEEL COMPONENTS SUCH AS RAILING, OUTFLOWERS, SLEEPERS, ETC.
 - 8 REPLACE EXISTING WOOD TRIM TO MATCH EXISTING
 - 9 REPLACE STUCCO KEYSTONE TO MATCH EXISTING
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 - 25 REPLACE EXISTING CONCRETE STAIR WITH NEW STEEL STEEL WITH COMPOSITE WOOD TREADS AND RISERS
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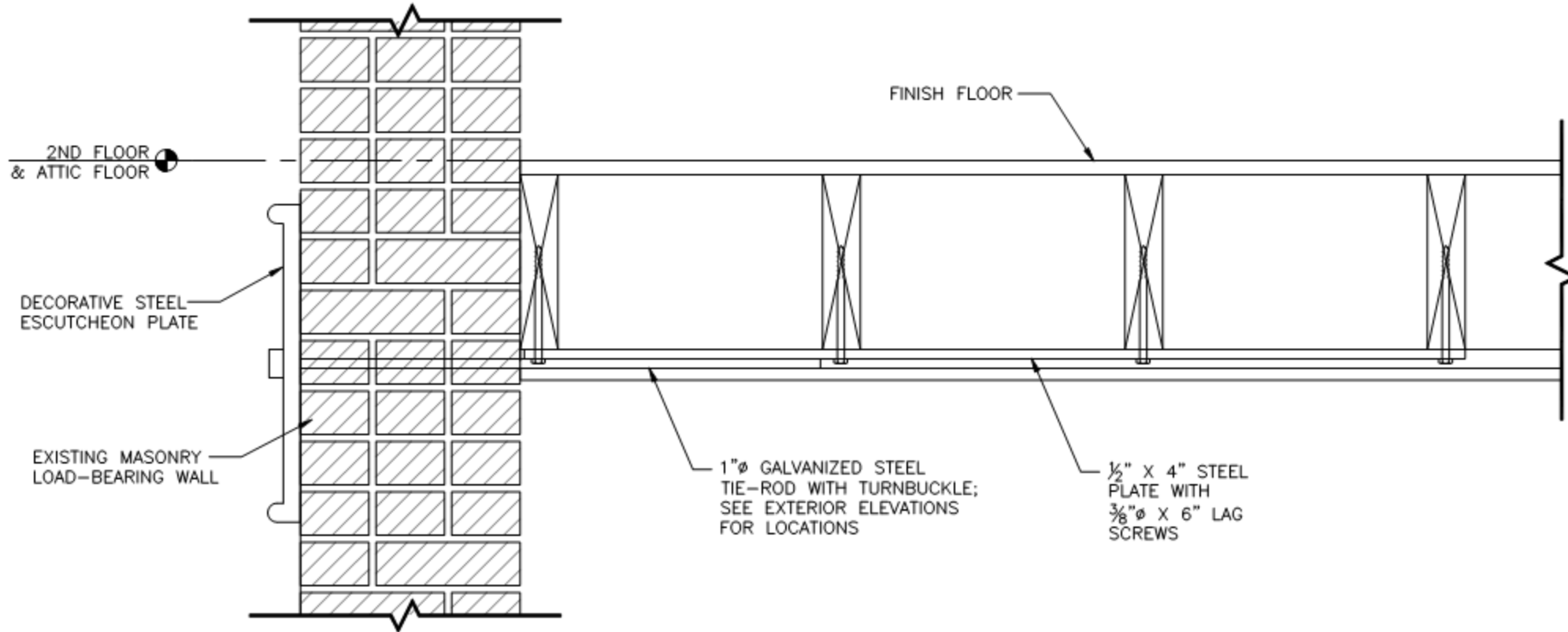
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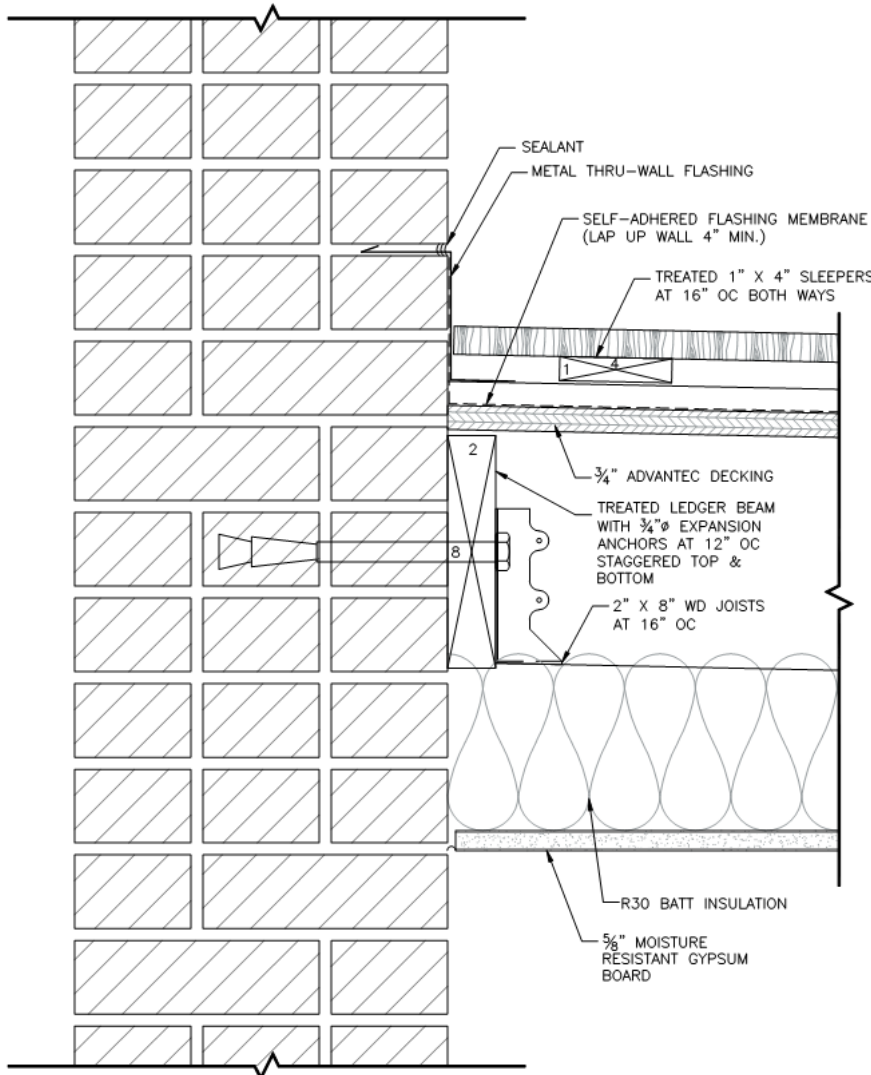
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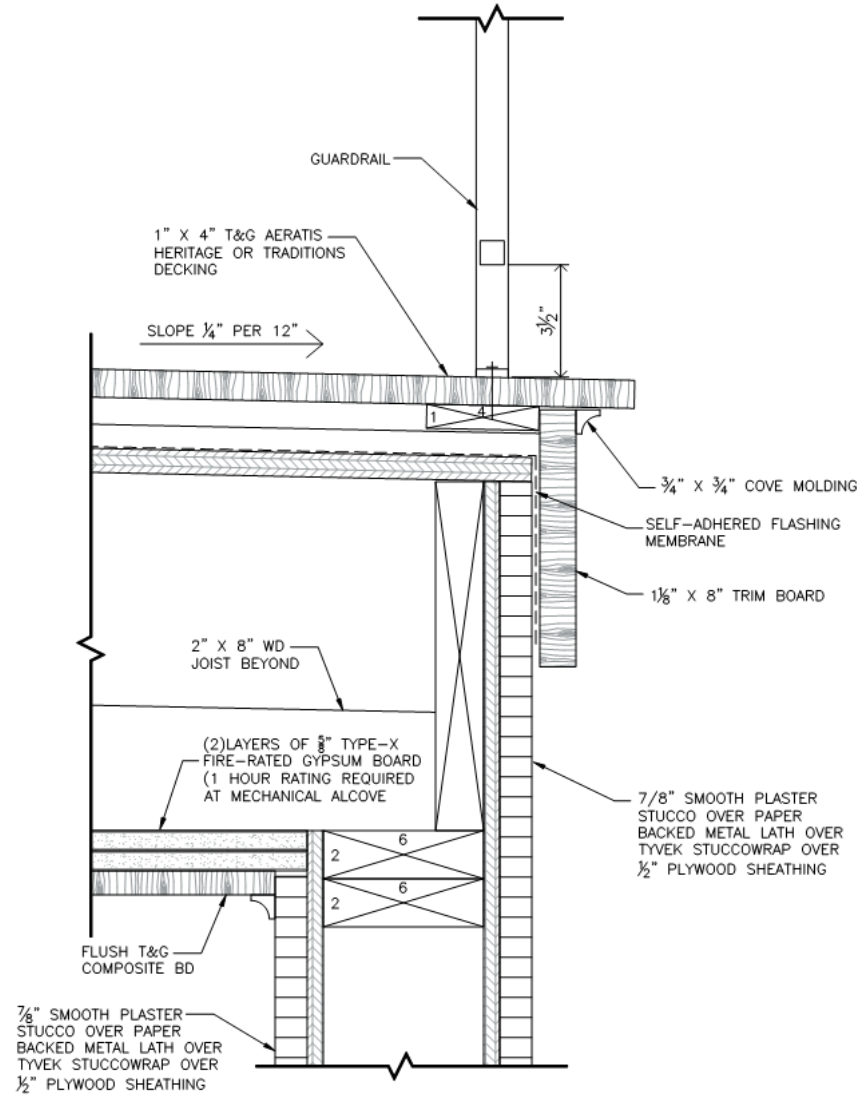


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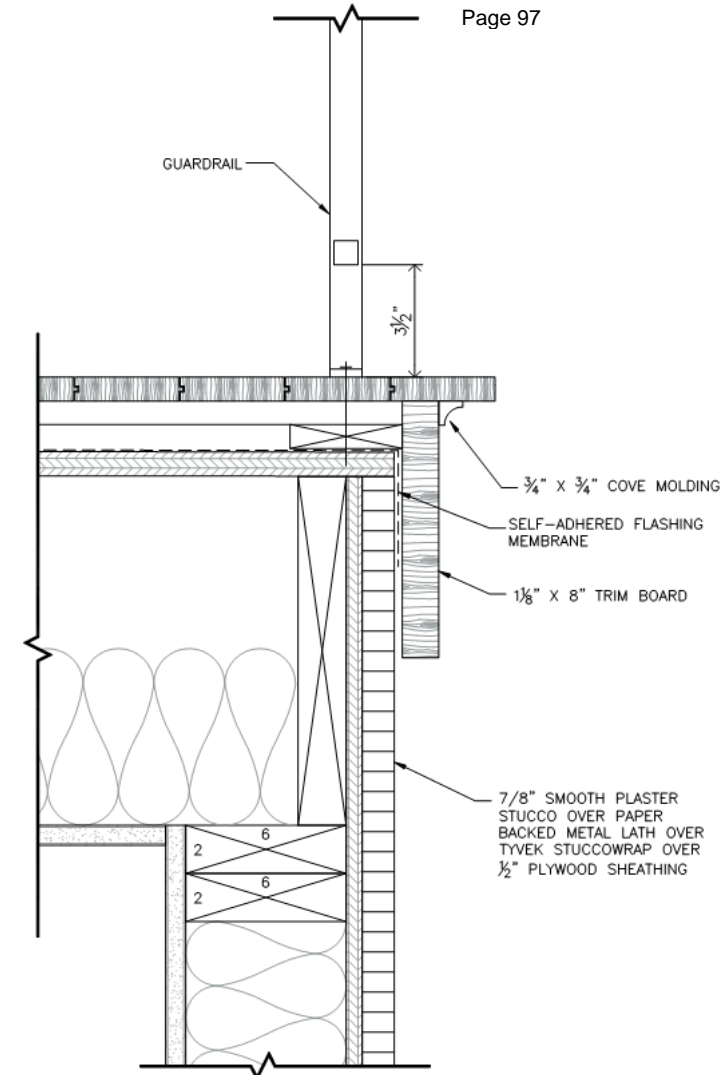
2 STRUCTURAL WALL TIEBACK DETAIL
SCALE: 1-1/2" = 1'-0"



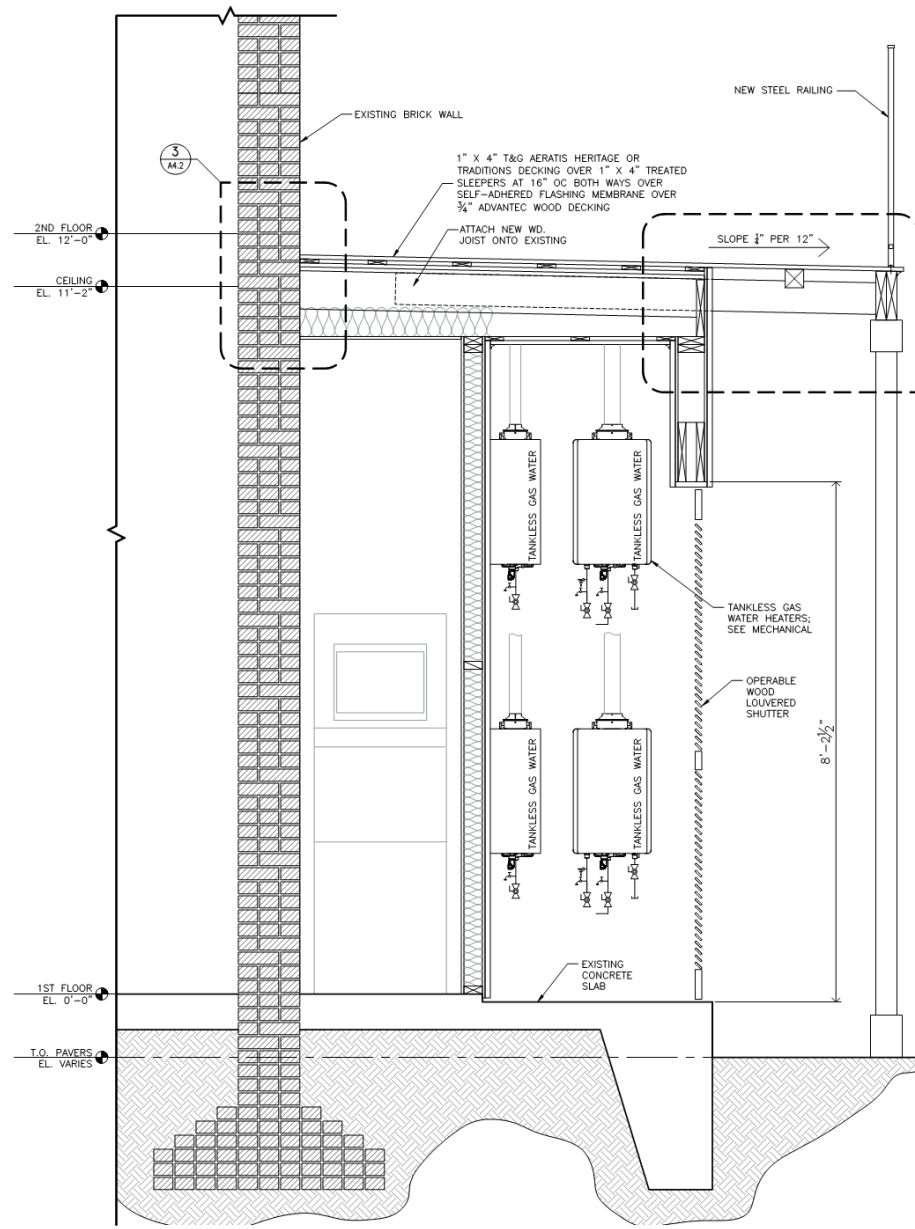
3 SECTION BALCONY TO WALL
SCALE: 3/4" = 1'-0"



4 SECTION AT BALCONY FASCIA
SCALE: 3/4" = 1'-0"

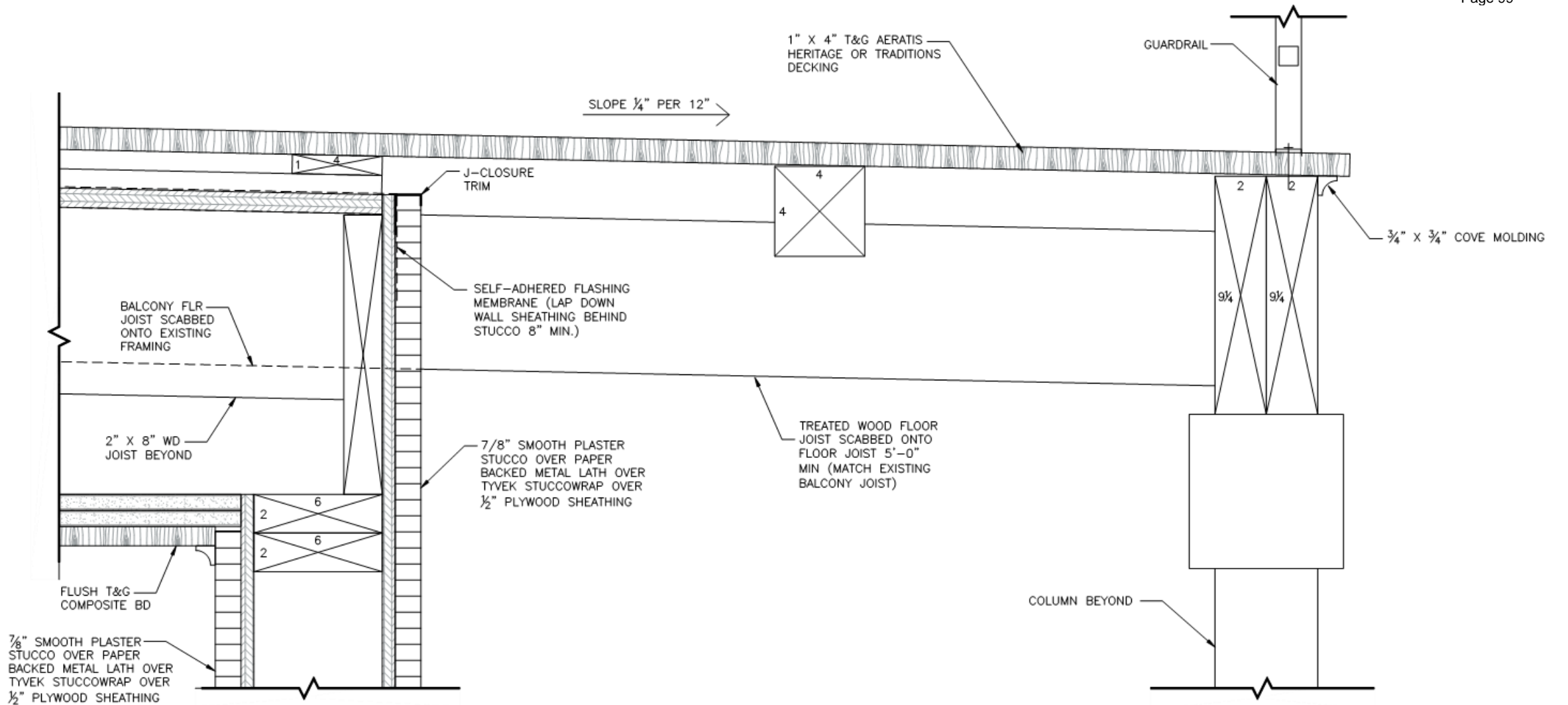


5 SECTION AT BALCONY FASCIA
SCALE: 3/4" = 1'-0"



1 SECTION THRU MECHANICAL ALCOVE
SCALE: 3/4" = 1'-0"





6 SECTION BALCONY/2ND FLOOR STAIR LANDING
SCALE: 3/4" = 1'-0"

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

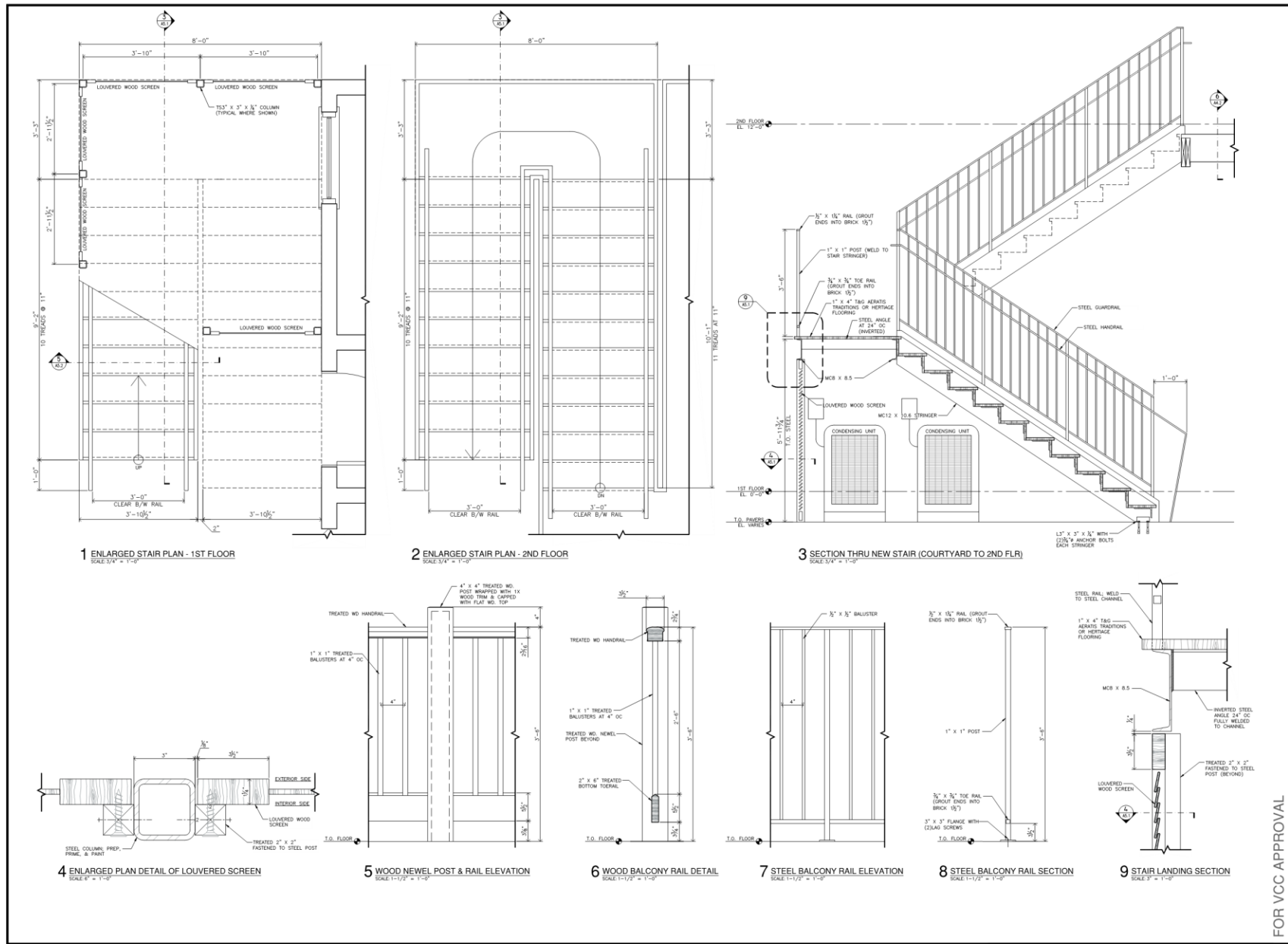
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REVISION HISTORY	
NO.	DESCRIPTION

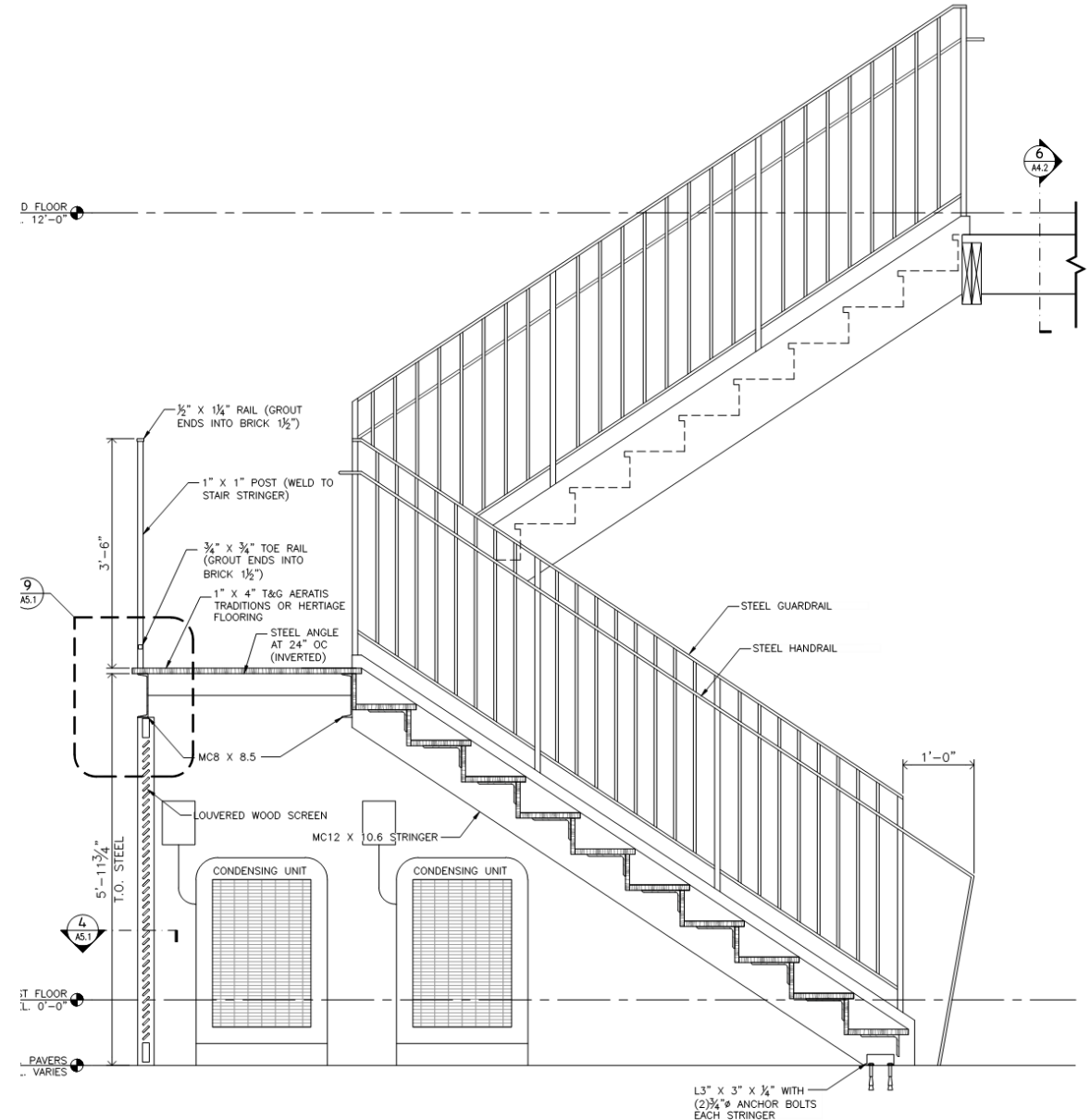
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PHASE: CD
DRAFTER: JC
CHECKER: JC
SCALE: AS SHOWN
ISSUED: 03/17/2021
SHEET#

A-5.1



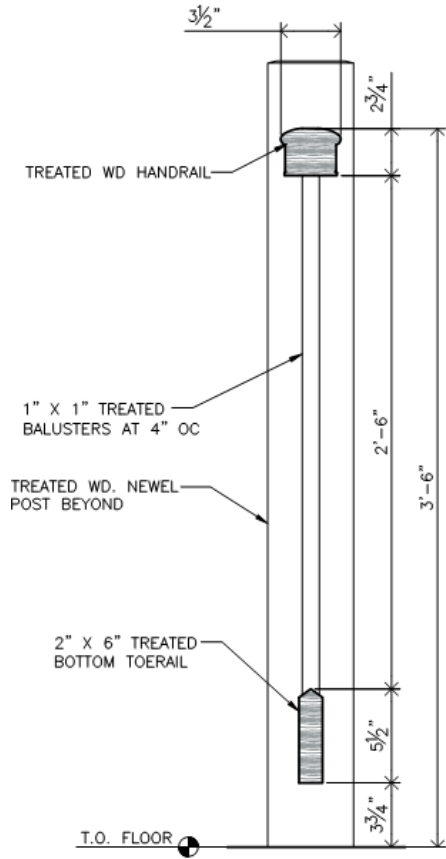
FOR VCC APPROVAL



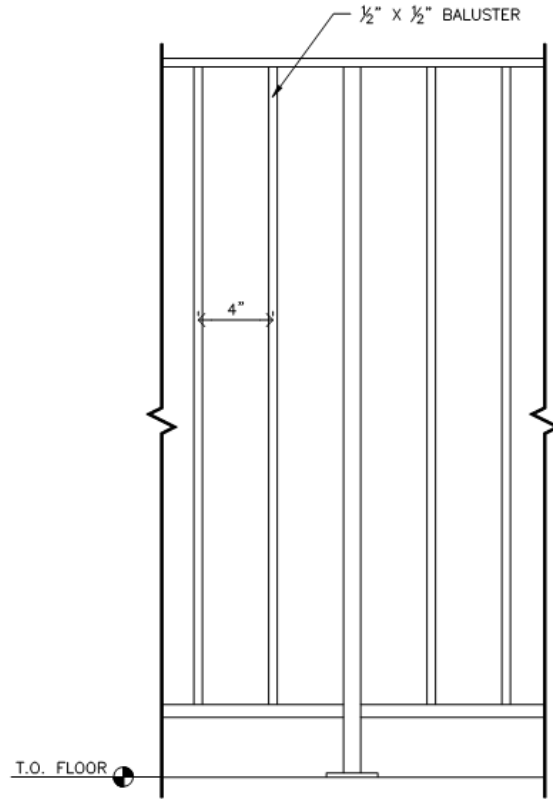


3 SECTION THRU NEW STAIR (COURTYARD TO 2ND FLR)
 SCALE: 3/4" = 1'-0"

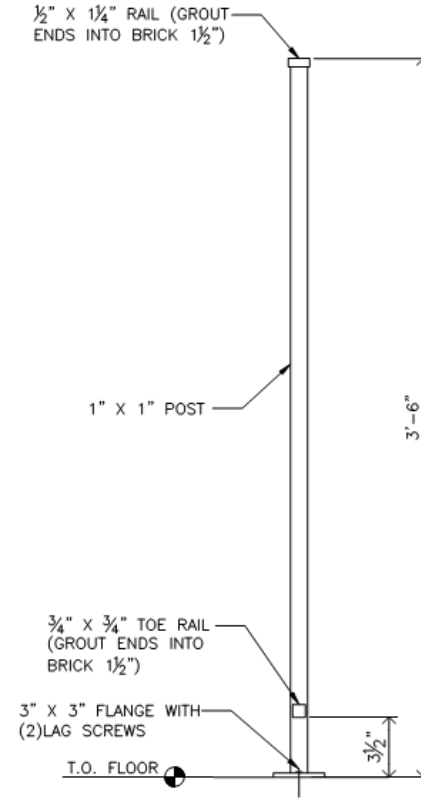




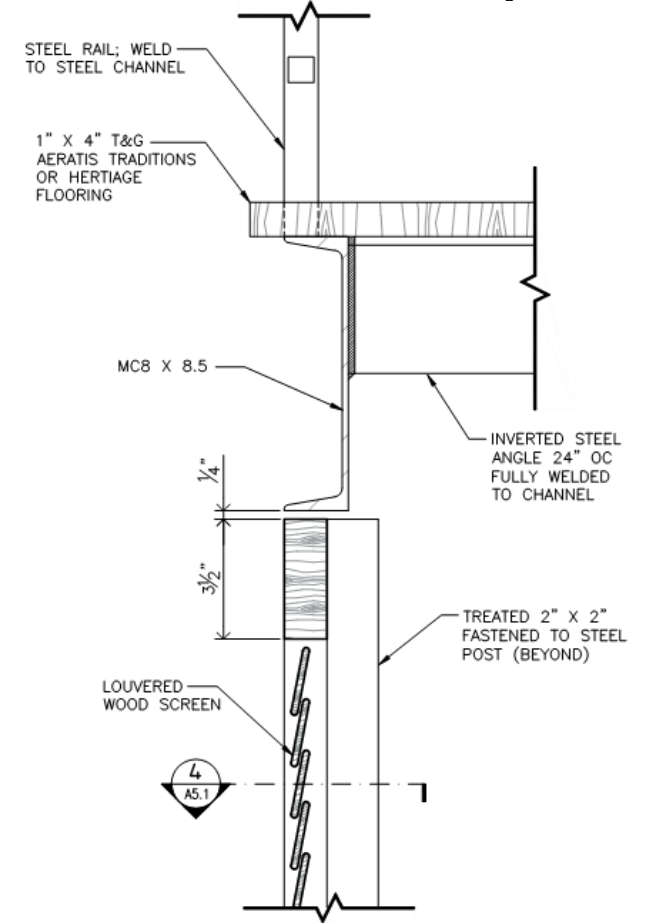
6 WOOD BALCONY RAIL DETAIL
SCALE: 1-1/2" = 1'-0"



7 STEEL BALCONY RAIL ELEVATION
SCALE: 1-1/2" = 1'-0"



8 STEEL BALCONY RAIL SECTION
SCALE: 1-1/2" = 1'-0"



9 STAIR LANDING SECTION
SCALE: 3" = 1'-0"

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER - NEW ORLEANS, LA

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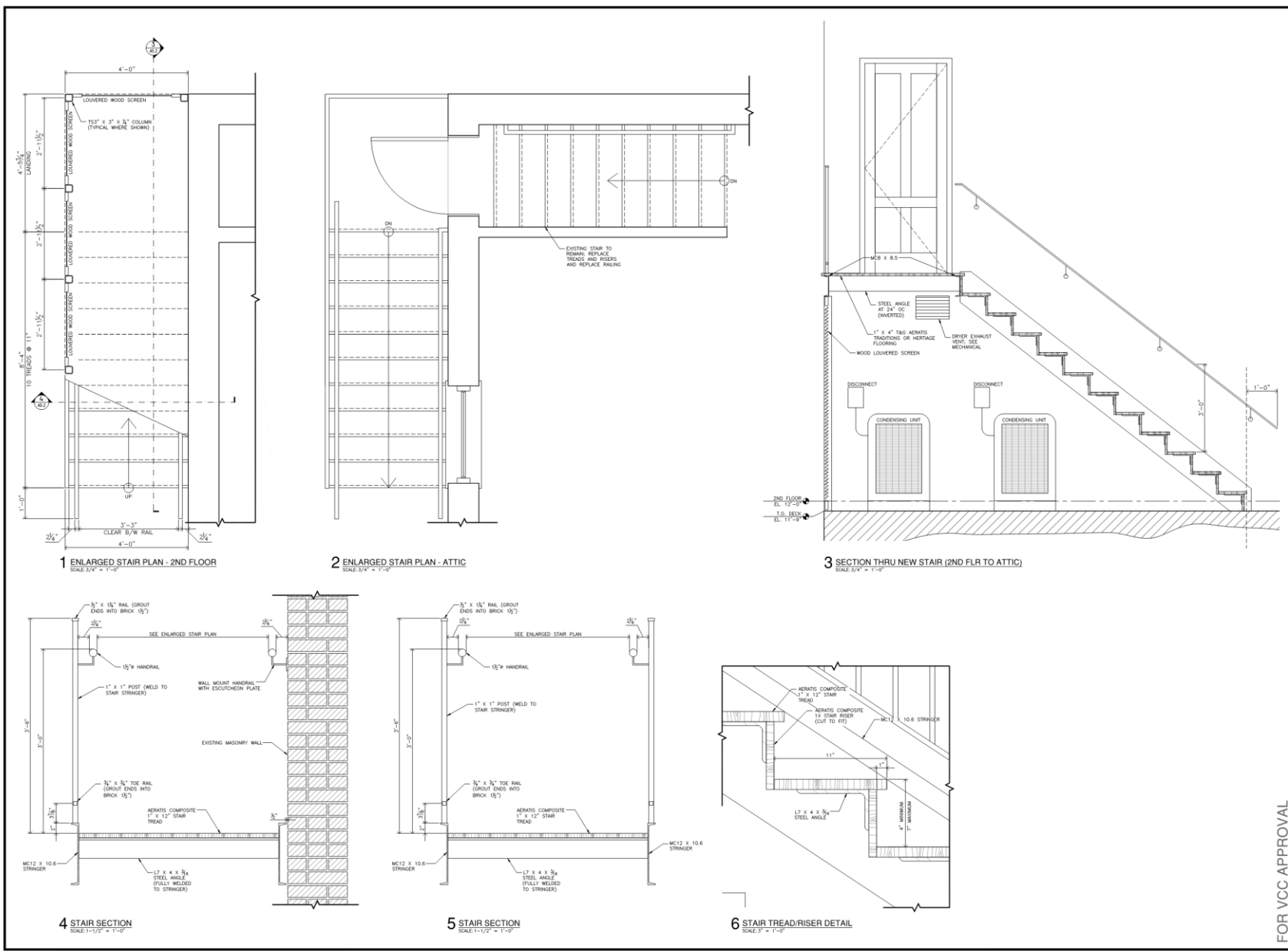
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REVISION HISTORY	
NO.	DESCRIPTION

PROJECT: 2021-13
PHASE: CD
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CHECKER: JC
SCALE: AS SHOWN
ISSUED: 03/17/2021
SHEET

A-5.2

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MAPLE RIDGE ARCHITECTS
A PROFESSIONAL L.L.C.
189 Maple Ridge Drive Metairie, LA 70001
504.885.4427 | info@mapleridge.com

**REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET**
FRENCH QUARTER, NEW ORLEANS, LA

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.

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REVISION HISTORY	
NO.	DESCRIPTION

PROJECT: 2021-13
PHASE: CD
DRAFTER: JC
CHECKER: JC
SCALE: AS SHOWN
ISSUED: 03/17/2021
SHEET

M-1.1

FOR VCC APPROVAL

SPLIT DX CONDENSING UNIT SCHEDULE									
MARK	SERVING UNIT	COOLING CAPACITY	UNIT			MANUFACTURER	SEER	REMARKS	
			MCA	MAX FUSE	ELECTRICAL				
CU-1A	AHU-1A (APT 1A)	17,000 BTUH	11.7	20	208/230V, 1ϕ	AMERICAN STD. OR APPROVED EQUAL	14	⊙⊙⊙⊙	
CU-1B	AHU-1B (APT 1B)	17,000 BTUH	11.7	20	208/230V, 1ϕ	AMERICAN STD. OR APPROVED EQUAL	14	⊙⊙⊙⊙	
CU-1C	AHU-1C (APT 1C)	12,000 BTUH	12	15	208/230V, 1ϕ	AMERICAN STD. OR APPROVED EQUAL	17	⊙⊙⊙⊙	
CU-2A	AHU-2A (APT 2A)	33,000 BTUH	18.1	30	208/230V, 1ϕ	AMERICAN STD. OR APPROVED EQUAL	14	⊙⊙⊙⊙	
CU-2B	AHU-2B (APT 2B)	12,000 BTUH	12	15	208/230V, 1ϕ	AMERICAN STD. OR APPROVED EQUAL	17	⊙⊙⊙⊙	
CU-3A	AHU-3A (APT 3A)	17,000 BTUH	11.7	20	208/230V, 1ϕ	AMERICAN STD. OR APPROVED EQUAL	14	⊙⊙⊙⊙	

SPLIT DIRECT EXPANSION AIR HANDLING UNIT SCHEDULE												
MARK	MANUFACTURER	COOLING CAPACITY			SUPPLY FAN		ELECTRICAL			REMARKS		
		TOTAL MBH CAPACITY	ENTERING (°F)	LEAVING (°F)	EXTERNAL STATIC PRESS. (IN W.G.)	BLOWER TYPE	POWER SUPPLY	MIN. CIRCUIT AMPACITY	MAX FUSE (MOCP)			
AHU-1A	AMERICAN STD. OR APPROVED EQUAL	27.3	80.0	67.0	60.8	59.6	1.00	DIRECT DRIVE	230V/1ϕ/60HZ	48.5 AMPS	50 AMPS	⊙⊙⊙⊙
AHU-1B	AMERICAN STD. OR APPROVED EQUAL	27.3	80.0	67.0	60.8	59.6	1.00	DIRECT DRIVE	230V/1ϕ/60HZ	48.5 AMPS	50 AMPS	⊙⊙⊙⊙
AHU-1C	AMERICAN STD. OR APPROVED EQUAL	12.0	85.0	71.0	67.0	67.0	0.8	DIRECT DRIVE	230V/1ϕ/60HZ	15 AMPS	15 AMPS	⊙⊙⊙⊙
AHU-2A	AMERICAN STD. OR APPROVED EQUAL	34.13	80.0	67.0	60.8	59.6	1.00	DIRECT DRIVE	230V/1ϕ/60HZ	58.5 AMPS	60 AMPS	⊙⊙⊙⊙
AHU-2B	AMERICAN STD. OR APPROVED EQUAL	12.0	85.0	71.0	67.0	67.0	0.8	DIRECT DRIVE	230V/1ϕ/60HZ	15 AMPS	15 AMPS	⊙⊙⊙⊙
AHU-3A	AMERICAN STD. OR APPROVED EQUAL	12.0	85.0	71.0	67.0	67.0	0.8	DIRECT DRIVE	230V/1ϕ/60HZ	15 AMPS	15 AMPS	⊙⊙⊙⊙

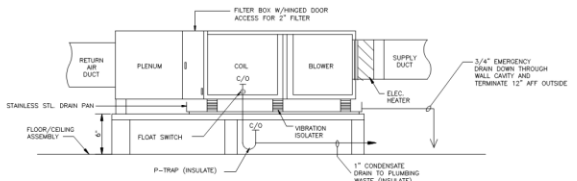
- ⊙ CONTRACTOR SHALL CONFIRM COOLING CAPACITY PRIOR TO PURCHASE AND INSTALLATION.
- ⊙ BASIS OF DESIGN IS LISTED FOR COORDINATION OF ELECTRICAL AND SPATIAL REQUIREMENTS. SEE 2.1 & 2.2 FOR COORDINATION. CONTRACTOR'S RESPONSIBILITY TO MAKE THE DESIGN FUNCTION AS INTENDED AND TO MAKE MODIFICATIONS RESULTING FROM THE CHANGE AT NO ADDITIONAL COSTS TO THE OWNER.
- ⊙ PROVIDE A 7-DAY PROGRAMMABLE THERMOSTAT
- ⊙ PRIOR TO INSTALLATION CONFIRM LOCATION WITH OWNER
- ⊙ INSTALL COMPRESSOR IN LOCATION SHOWN IN THESE DOCUMENTS AND LOCATE ABOVE BASE FLOOD ELEVATIONS PER MANUFACTURER'S REQS.

EXHAUST FAN SCHEDULE								
MARK	AREA SERVED	CFM	T.S.P. IN WG	MOTOR DATA		CONTROLLED BY	BASIS OF DESIGN	REMARKS
				HP	RPM			
EF-1	BATHROOM	50 CFM	0.3	150W	—	120/180	SWITCH	BROAD MODEL #978 SURFACE MOUNT

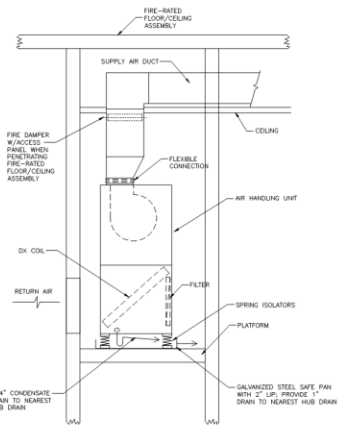
AIR DEVICE SCHEDULE			
MARK	DESCRIPTION	BASIS OF DESIGN	REMARKS
CD-2	CEILING DIFFUSER	TITUS DAT	10" X 10" DIFFUSER WITH TITUS "TDRM" ALUMINUM DIFFUSER RAPID MOUNT FRAME FOR SHEETROCK CEILING, WHITE FINISH
CD-3	CEILING DIFFUSER	TITUS DAT	12" X 8" DIFFUSER WITH TITUS "TDRM" ALUMINUM DIFFUSER RAPID MOUNT FRAME FOR SHEETROCK CEILING, WHITE FINISH
RAG-1	RETURN AIR	TITUS DAT	18" X 18" GRILL WITH TITUS "TDRM" ALUMINUM DIFFUSER RAPID MOUNT FRAME FOR SHEETROCK CEILING, WHITE FINISH
WL-1	WALL LOUVER	TITUS DAT	12" X 6" DIFFUSER WITH TITUS "TDRM" ALUMINUM DIFFUSER RAPID MOUNT FRAME FOR SHEETROCK, WHITE FINISH
WL-2	WALL LOUVER	XVENT	XVENT-DHEB 44-BRL PRIME & PAINT WITH COLOR SELECTED BY OWNER. USE SHERWIN WILLIAMS "EXTREME BOND" INTERIOR/EXTERIOR BONDING PRIMER AS SPECIFIED BY THE MANUFACTURER
WL-3	WALL LOUVER	XVENT	XVENT-SLM 44-BRL PRIME & PAINT WITH COLOR SELECTED BY OWNER. USE SHERWIN WILLIAMS "EXTREME BOND" INTERIOR/EXTERIOR BONDING PRIMER AS SPECIFIED BY THE MANUFACTURER
WL-4	WALL LOUVER	XVENT	XVENT-SLM 44-BRL PRIME & PAINT WITH COLOR SELECTED BY OWNER. USE SHERWIN WILLIAMS "EXTREME BOND" INTERIOR/EXTERIOR BONDING PRIMER AS SPECIFIED BY THE MANUFACTURER
K-1	COOKTOP HOOD	—	RE-CIRCULATING DUCTLESS KITCHEN RANGE HOOD WITH MAXIMUM 300 CFM

GENERAL MECHANICAL NOTES

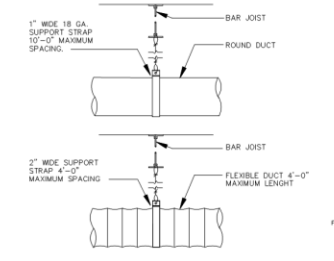
- CONTRACTOR SHALL VERIFY THAT ALL EQUIPMENT AS SHOWN ON THESE DRAWINGS WILL NOT CONFLICT WITH ANY DRAINS, SCUTTLINGS, JOINTS, VENTS, ETC.
- THE MECH. CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL WARRANTIES ON EQUIPMENT WHICH HE/SH/SE INSTALLS. THIS INCLUDES ALL CONDENSERS, REFRIGERANT LINES, AND OTHER ITEMS FURNISHED BY OTHERS AS WELL AS THOSE FURNISHED BY ME.
- CONTRACTOR SHALL FIELD VERIFY ALL CLEARANCES PRIOR TO FABRICATIONS OF DUCTWORK DUE TO JOISTS, BEAMS, PIPING, ELECTRICAL CONDUIT, LIGHTS, OTHER DUCTWORK, ETC. COORDINATE INSTALLATION WITH SPRINKLER CONTRACTORS.
- PROVIDE A INSTALL VIBRATION ISOLATION DEVICES AND FLEXIBLE CONNECTIONS TO ALL MOVING MACHINERY.
- ALL DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE ALL DUCT AND DIFFUSER LOCATIONS WITH LIGHTING LAYOUTS AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE COMPLETE INFORMATION AND COOPERATION TO THE OTHER CONTRACTORS AND TRADES AS REQUIRED FOR COMPLETION AND COORDINATION OF THE COMPLETE PROJECT.
- MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE E.C. AND OTHER TRADES, ALL REQUIRED OPENINGS AND EXCAVATIONS, ALL REQUIRED OPENINGS IN CONCRETE FLOORS, WALLS AND ROOFS SHALL BE DESIGNED INTO THE STRUCTURE BY THE E.C. OR SILENCE CURBES ETC. CUTTING AND FITTING SHALL BE HELD TO A MINIMUM.
- TRANSITION ALL DUCTS AS REQUIRED TO ATTACH EQUIPMENT.
- ALL ROUND DUCT AND FLEX DUCT RUN OUTS SHALL BE THE SAME DIAMETER AS DIFFUSER NECK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PAINT THE INTERIOR OF ALL DUCTWORK VISIBLE THROUGH GRILLES, REGISTERS, AND DIFFUSERS FLAT BLACK.
- PROVIDE A INSTALL TURNING VANES AT ALL DUCTWORK ELBOWS.
- PROVIDE A INSTALL BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- INSULATE THE BACKSIDE OF ALL DIFFUSERS, GRILLES, AND REGISTERS.
- ALL CONCRETE DUCTWORK SHALL BE INSULATED WITH EXTERNAL DUCT INSULATION. INSULATION SHALL BE POLY-REINFORCED HMP FACING. ALL INSULATION SHALL MEET THE FLAME SPREAD INDEX (F.S.I.) AND SMOKE DEVELOP INDEX (S.D.I.) INSULATION SHALL BE A MINIMUM 1" THICK WITH A VALUE OF R INSULATION SHALL BE FASTENED TO DUCTWORK PER MANUFACTURER'S INSTRUCTIONS AND SMACNA STANDARDS.
- CONTRACTOR SHALL LOCATE ALL EXHAUST FANS AFTER LIGHTS HAVE BEEN RE-CEILING. COORDINATE WITH LIGHTING PLAN PRIOR TO ROUTING DUCTWORK. MAINTAIN REASONABLE ACCESS TO SPIN-IN FITTINGS WITH MANUAL VOLUME DAMPERS.
- THESE PLANS ARE SCHEMATIC IN NATURE AND ARE INTENDED TO ESTABLISH SIZE, GENERAL ROUTING AND LOCATION, AND PERFORMANCE AND ARE NOT INTENDED TO SHOW AS POSSIBLE CONDITIONAL. ALL WORK SHALL BE FULLY COORDINATED WITH OTHER TRADES TO INSURE THE INSTALLATION OF A COMPLETE, OPERATING SYSTEM THAT FITS IN THE SPACE ALLOTTED. ALL LABOR, EQUIPMENT, APPURTENANCES AND MATERIALS NECESSARY, AND PERFORM ALL OPERATIONS REQUIRED FOR THE INSTALLATION OF A COMPLETE, FUNCTIONAL, MECHANICAL SYSTEM AS OUTLINED ON THE DRAWINGS.



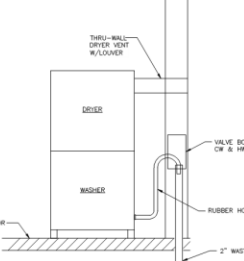
1 HORIZONTAL AIR HANDLING UNIT SECTION
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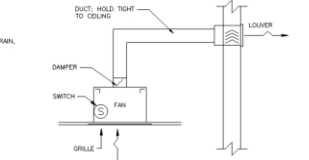
2 VERTICAL AIR HANDLING UNIT SECTION
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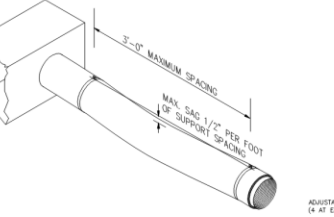
3 DUCT SUPPORT DETAIL
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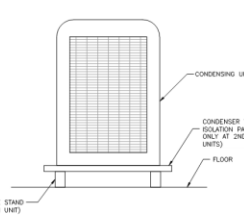
4 WASHER/DRYER DETAIL
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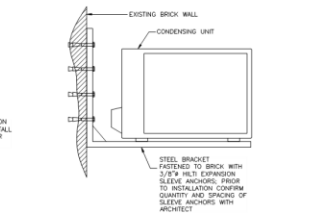
5 EXHAUST FAN DETAIL
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6 FLEX DUCT SUPPORT DETAIL
SCALE: N.T.S.

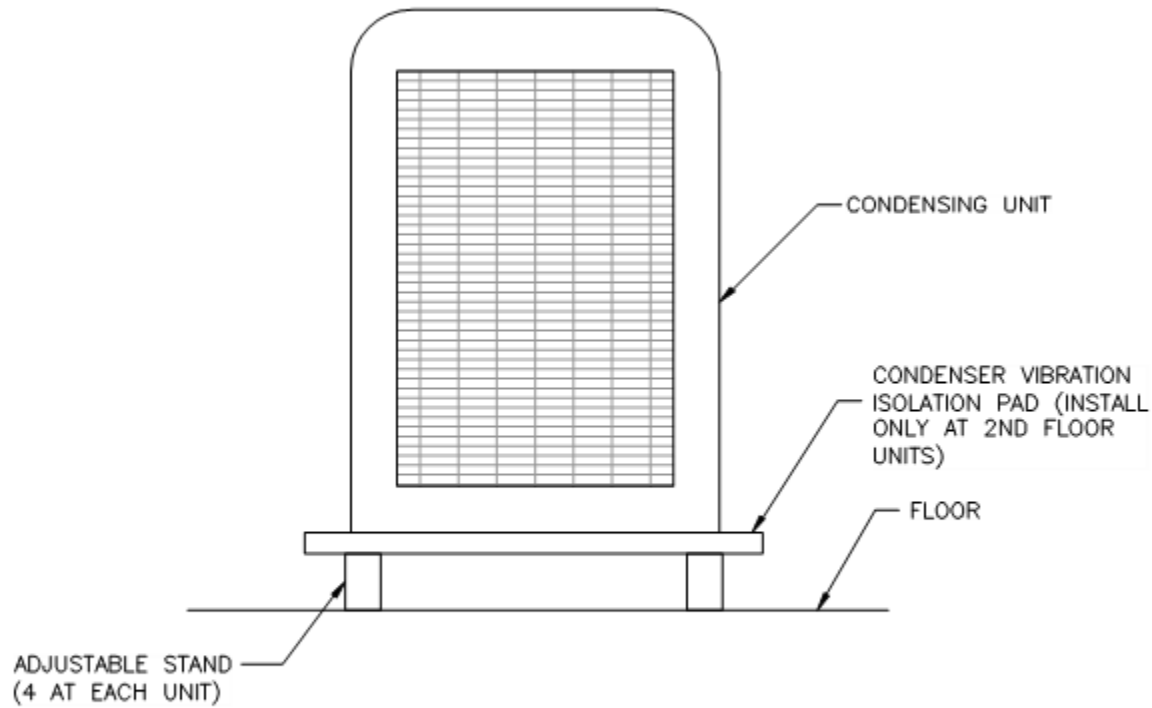


7 CONDENSER PAD DETAIL
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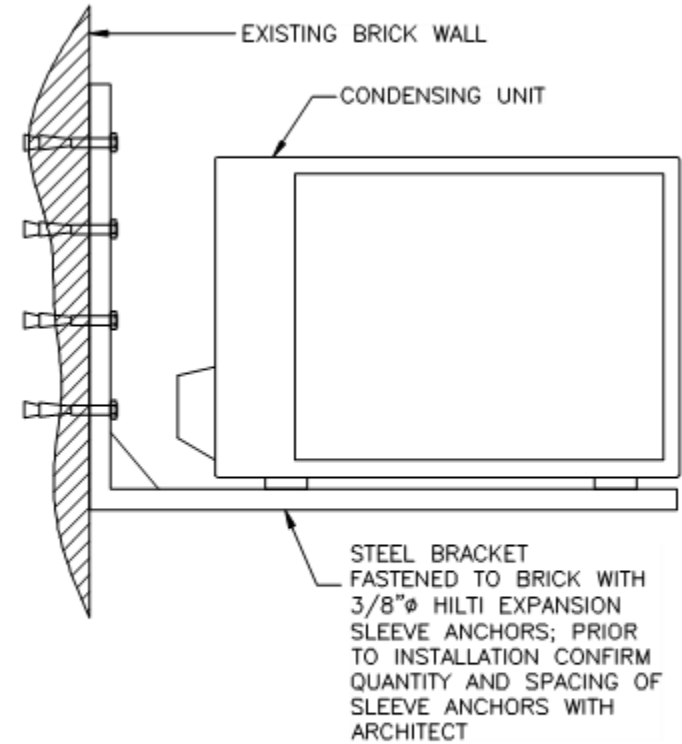


8 WALL MOUNT CONDENSER DETAIL
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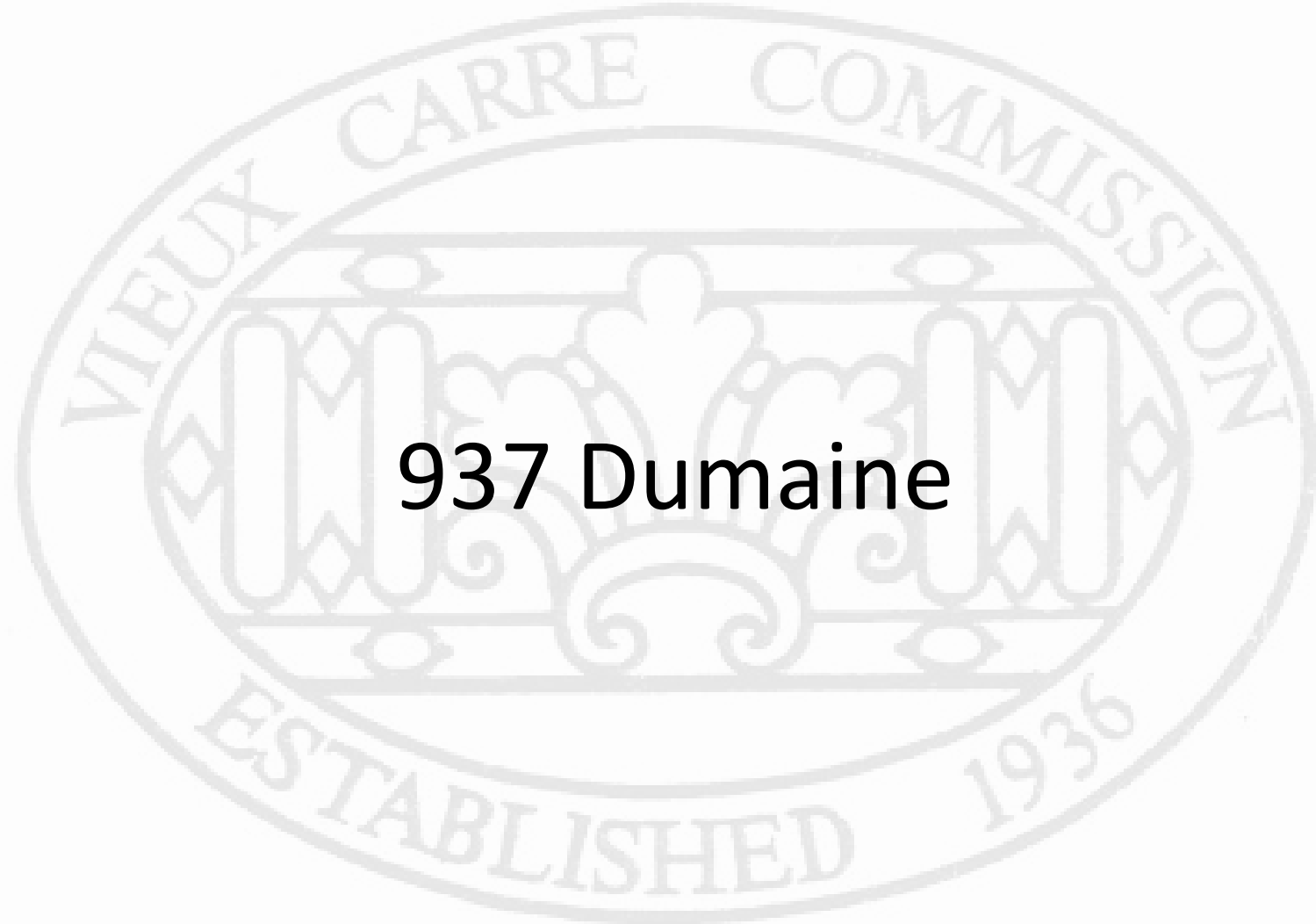




7 CONDENSER PAD DETAIL
SCALE: N.T.S.



8 WALL MOUNT CONDENSER DETAIL
SCALE: N.T.S.



937 Dumaine



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February 9, 2021





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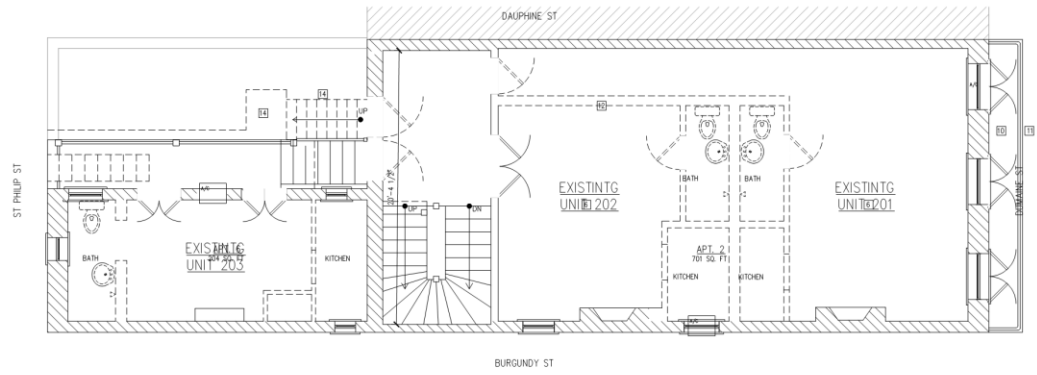
937 Dumaine

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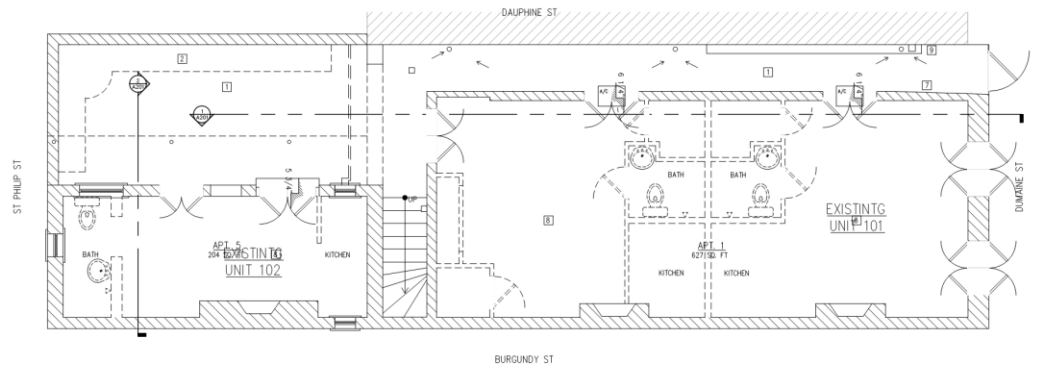
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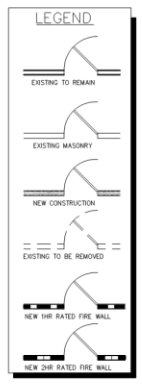
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2 EXISTING / DEMO SECOND FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"



1 EXISTING / DEMO FIRST FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"



- DEMOLITION NOTES, GENERAL:**
1. REMOVE ALL WINDOW A/C UNITS AND REEL OPENINGS
 2. REMOVE ALL DEFUNCT ELECTRICAL, PLUMBING, AND GAS LINES. REMOVE ELECTRICAL & GAS METERS
 3. REMOVE ALL VESTIBION FROM THE BUILDING
 4. REMOVE SIDEWALK AND REINSTALL AS REQUIRED TO REACH UNDERGROUND UTILITIES
 5. CONTACT GREEN PROJECT (504)495-0240 TO ARRANGE PICKUP OF SALVAGEABLE MILLWORK, APPLIANCES, ETC.

- DEMOLITION NOTES, SPECIFIC:**
- SITE / ROOF PLAN**
- 1) REMOVE CONCRETE PAVING IN ALLEY & COURTYARD AS NECESSARY TO RUN NEW SURFACE DRAINAGE & PLUMBING LINES
 - 2) REMOVE DETERIORATED BRICK PLANTER BEDS
 - 3) INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 - 4) INVESTIGATE CONDITION OF BRICK AND TERRAZZOTA ROOF PARAPET FOR LEAKS. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 - 5) REPLACE DOWNSPOUT.
- FIRST FLOOR**
- 6) REMOVE CARPET THROUGHOUT AND INVESTIGATE CONDITION OF WOOD FLOORING
 - 7) REMOVE AREA OF BRICK WALL TO RECEIVE NEW OPENING FOR ELECTRICAL CLOSET
 - 8) REMOVE FIRST FLOOR JOISTS THROUGHOUT, TO ALLOW FOR NEW CONCRETE FLOOR
 - 9) REMOVE ELECTRICAL ENCLOSURE AND METERS
- SECOND FLOOR**
- 10) REMOVE FRONT BALCONY DECKING
 - 11) REMOVE FRONT BALCONY RAILING AND SAVE FOR REINSTALLATION
 - 12) CONTACT ARCHITECT DURING DEMOLITION, PRIOR TO WALL REMOVAL, TO ENSURE THAT IT IS NOT LOAD-BEARING
- THIRD FLOOR**
- 13) REMOVE WATER HEATER
 - 14) REMOVE STAIRS TO THIRD FLOOR, LANDING, AND LANDING SUPPORT BRACKETS
 - 15) REMOVE SKYLIGHT CRANK SYSTEM & SEAL SHUT



WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I shall not be providing project construction administrative services on this project.

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John C Williams Architects LLC

937 DUMAINE STREET IMPROVEMENTS
937 Dumaine Street New Orleans LA, 70116

BENCHMARK INFO

-REVISIONS-

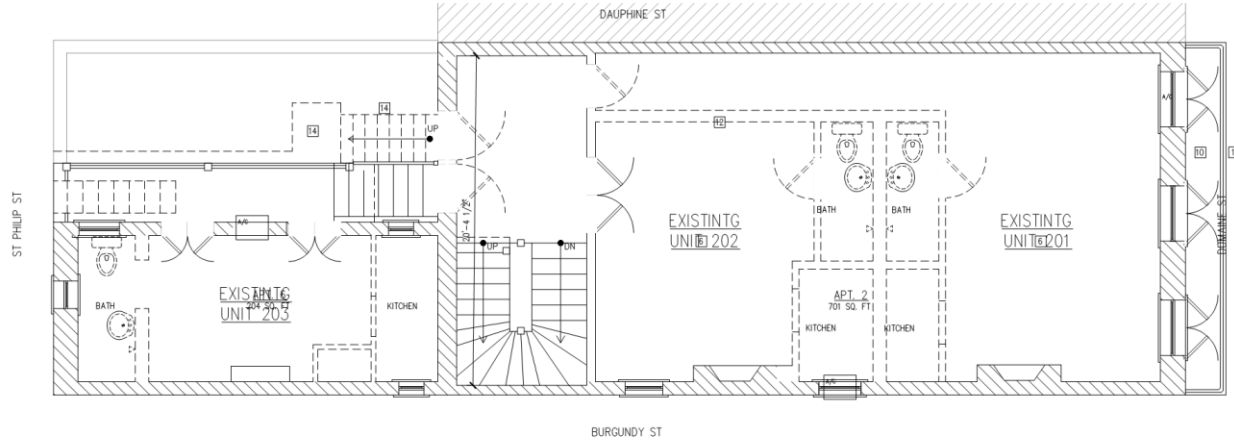
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DRAWING TITLE
EXISTING / DEMO PLANS

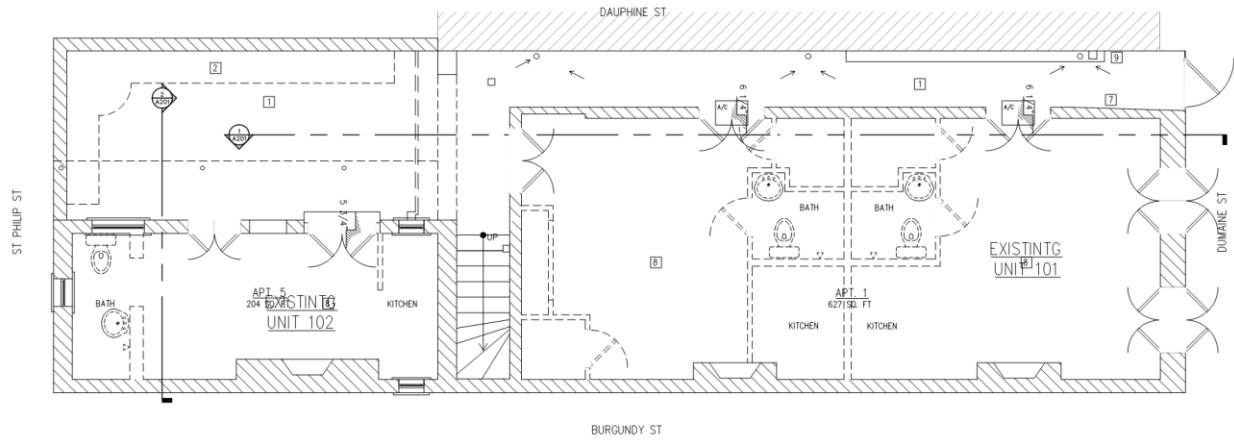
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DATE: 12.29.2020

Sheet No.
A101



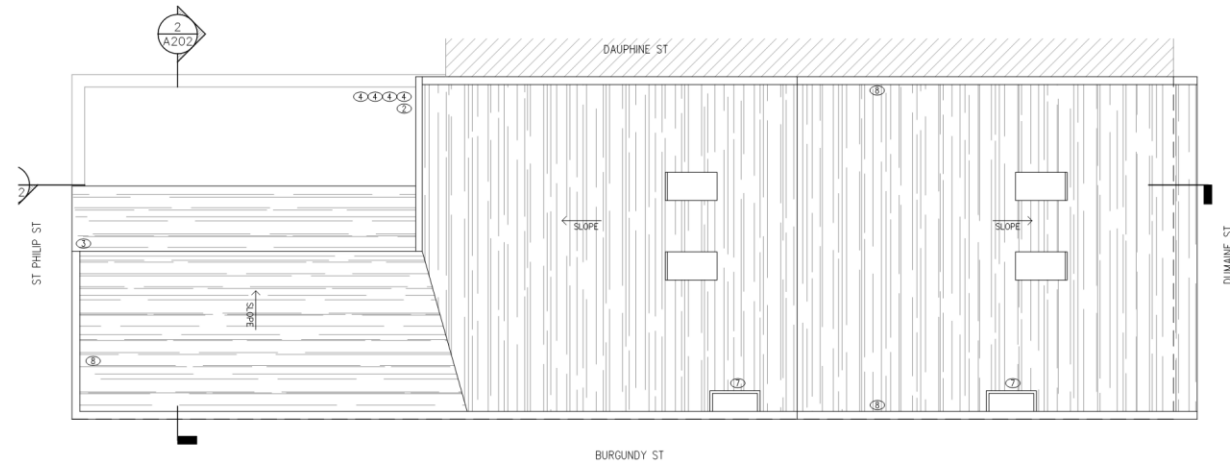


2 EXISTING / DEMO SECOND FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

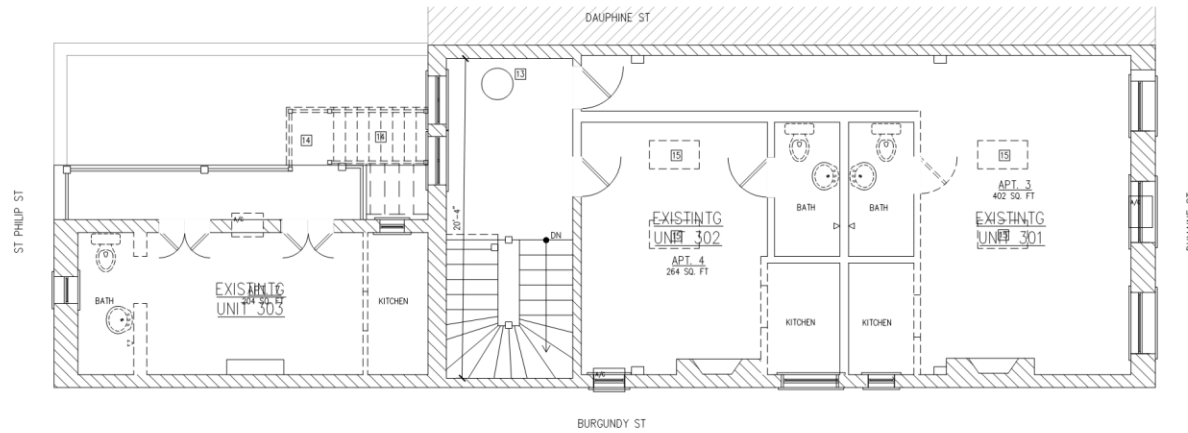


1 EXISTING / DEMO FIRST FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"



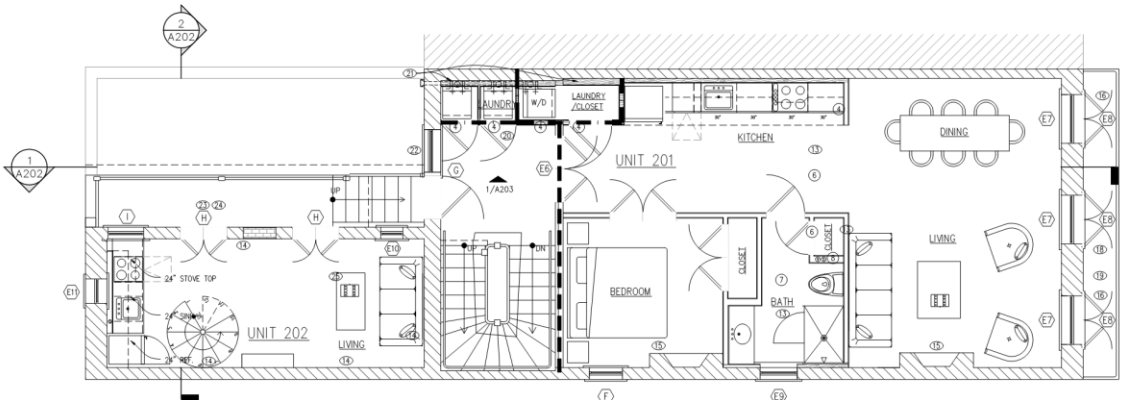


2 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



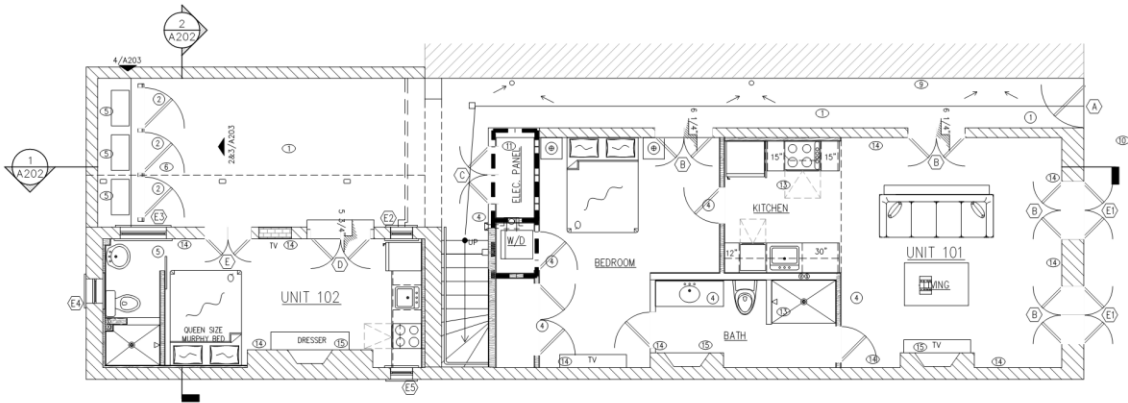
1 EXISTING THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"





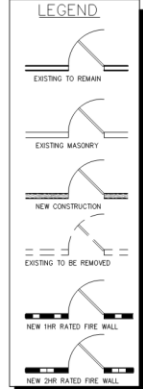
SECOND FLOOR PLAN

2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



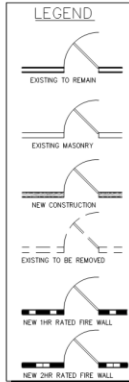
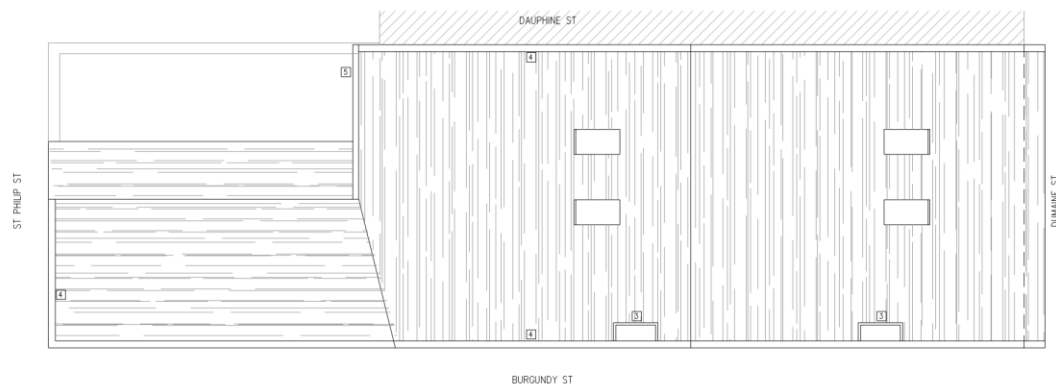
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS INDICATED OTHERWISE
 2. ALL WORK TO MEET THE STANDARDS OF, AND BE INSPECTED AND APPROVED BY:
STATE FIRE MARSHALL
Vieux Carre Commission
STATE HISTORIC PRESERVATION OFFICE / NATIONAL PARK SERVICE (HISTORIC TAX CREDITS)
CITY OF NEW ORLEANS DEPT. OF SAFETY AND PERMITS
ENERGY, SEWERAGE & WATER BOARD
 3. SEE STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERING DRAWINGS
 4. INSTALL INTERCONNECTED SMOKE DETECTORS THROUGHOUT BUILDING
 5. ALL BEDROOMS TO INCLUDE EITHER ONE EGRESSIBLE WINDOW OR SECONDARY DOOR

- PROPOSED NOTES, SPECIFIC:**
- ROOF / SITE PLAN**
1. INSTALL BRUSHED CONCRETE IN ALLEY AND COURTYA
 2. REPLACE ROUND DOWNSPOUT
 3. NEW CONDENSER LINES CONCEALED IN BAKED FINISH ALUMINUM COWL
 4. BAKED FINISH ALUMINUM DRYER VENT
 5. (6) NEW CONDENSERS ON RAISED PLATFORM
 6. P.T. WOOD ENCLOSURE WITH LATTICE SCREEN & DOORS AROUND CONDENSERS. SEE SHEET A203.
 7. INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 8. WATERPROOF PARAPET CAPS WITH NEW MORTAR CAPS W/ EMBEDDED MESH. SEE DETAIL.
 9. WATER METER FOR ENTIRE BUILDING. SEE MEP ENGINEERING DRAWINGS.
 10. INFILL SIDEWALK AS REQUIRED AFTER WORK ON UNDERGROUND UTILITIES HAVE BEEN COMPLETED
- FIRST FLOOR**
11. NEW ELECTRICAL METERS IN NEW 2 HR RATED ENCLOSURE. SEE SHEET A203.
 12. NOT USED
 13. LOWER CEILING (9' MINIMUM) TO ACCOMMODATE HVAC AND ELECTRIC WATER HEATERS
 14. NEW PLASTER OVER EXISTING BRICK WALLS
 15. NEW PAINTED WOOD MANTLE & FIREPLACE SURROUND
 16. OPERABLE EGRESS WINDOW. SEE WINDOW SCHEDULE FOR SIZE REQUIREMENTS.
 17. NEW CONTINUOUS ROUND HANDRAIL ALONG WALL. MATCH HEIGHT AND PROFILE OF EXISTING HANDRAIL.
- SECOND FLOOR**
18. NEW AERATIS HERITAGE TAG BALCONY DECKING. SEE SHEET A203.
 19. REPAIR, REPAINT, AND REINSTALL IRON RAILING
 20. 2 HR RATED ENCLOSURE FOR COMMON LAUNDRY
 21. FUR OUT WALL FOR VENTS
 22. NEW WOOD GUARDRAIL, TO MATCH REAR BALCONY
 23. REPAIR & REPLACE DAMAGED TAG FLOOR BOARDS. PAINT TO MATCH
 24. REPAIR & REPLACE TRIM, RAILING, AND BALUSTERS
 25. NEW 5'-0" WIDE CODE COMPLIANT IRON SPIRAL STAIR WITH WOOD TREADS. PROVIDE SHOP DRAWINGS
- THIRD FLOOR**
26. NEW TAG P.T. WOOD SOFFIT, RUN PERPENDICULAR TO BUILDING. VENT CAVITY WITH NEW BAKED FINISH ALUMINUM SOFFIT STRIP VENTS ALONG OUTSIDE EDGE OF OVERHANG. PAINT TO MATCH SOFFIT.

- ALLWORK NOTES:**
1. WINDOWS, EXTERIOR DOORS, AND SHUTTERS TO BE CUSTOM MILLED TO MATCH EXISTING. DETAILS SUBJECT TO APPROVAL OF VCC AND NPS. SHOP DRAWINGS REQUIRED.
 2. INTERIOR DOORS TO BE NEW SOLID WOOD. SEE DOOR SCHEDULE
 3. FLOORING THROUGHOUT (EXCEPT BATHROOMS) TO BE SOLID WOOD, TO MATCH EXISTING
 4. BASEBOARDS TO BE FURRED OUT ON PLASTER WALLS TO RECEIVE WIRING AND OUTLETS
 5. WOOD BASEBOARDS AND CASINGS TO MATCH EXISTING
 6. INSTALL NEW VAPOR BARRIER UNDER NEW FLOORING, FIRST FLOOR

- MASONRY / PLASTER NOTES:**
1. EXISTING EXPOSED BRICK (INTERIOR) WALLS TO BE REPAIRED AND COVERED WITH PLASTER
 2. EXISTING INTERIOR PLASTER WALLS AND CEILINGS TO BE REPAIRED
 3. NEW INTERIOR WALLS TO RECEIVE SHEETROCK
 4. SEPARATION BETWEEN THE UNITS SHALL BE ONE HOUR FIRE RATED. PLASTER CEILING AND WALLS IN GOOD CONDITION SUITABLE FOR 1 HOUR RATING
 5. EXISTING EXTERIOR BRICK WALLS TO BE TUCKPOINTED WITH LOW PORTLAND, TYPE 0 MORTAR
 6. EXISTING EXTERIOR PLASTER WALLS ARE COVERED WITH A NON-BREATHABLE PAINT. WORK WITH ARCHITECT, NPSA, AND VCC TO DETERMINE BEST COURSE OF ACTION TO REMOVE NON-BREATHABLE PAINT AND RESTORE PLASTER WALLS
 7. INFILL OPENINGS FROM A/C UNITS WITH MATCHING BRICK, LACED IN EXISTING BRICK, USING LOW-PORTLAND, TYPE 0 MORTAR

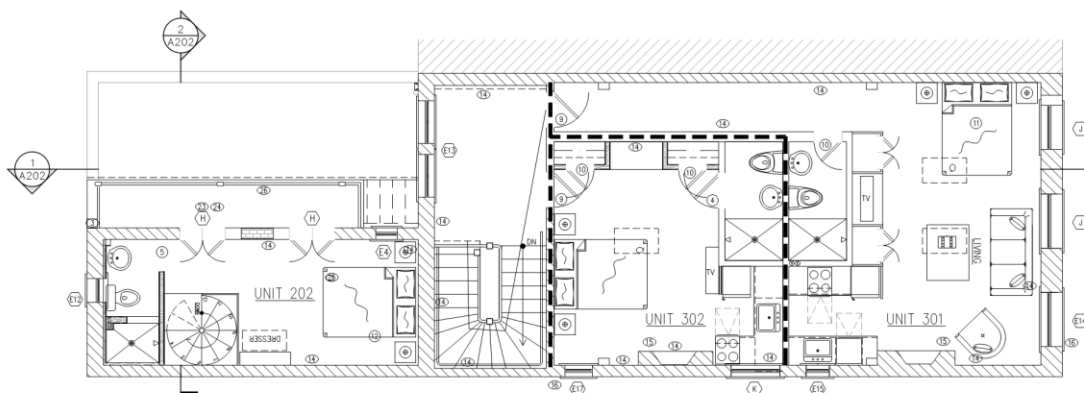




- GENERAL NOTES:**
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 - CITY OF NEW ORLEANS DEPT. OF SAFETY AND PERMITS
 - ENERGY, SEWERAGE & WATER BOARD
 3. SEE STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERING DRAWINGS
 4. INSTALL INTERCONNECTED SMOKE DETECTORS THROUGHOUT BUILDING
 5. ALL BEDROOMS TO INCLUDE EITHER ONE EGRESSIBLE WINDOW OR SECONDARY DOOR

- PROPOSED NOTES, SPECIFIC:**
- ROOF / SITE PLAN**
1. INSTALL BRUSHED CONCRETE IN ALLEY AND COURTYA
 2. REPLACE ROUND DOWNSPOUT
 3. NEW CONDENSER LINES CONCEALED IN BAKED FINISH ALUMINUM COIL
 4. BAKED FINISH ALUMINUM DRYER VENT
 5. (E) NEW CONDENSERS ON RAISED PLATFORM
 6. P.T. WOOD ENCLOSURE WITH LATTICE SCREEN & DOORS AROUND CONDENSERS. SEE SHEET A203.
 7. INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
 8. WATERPROOF PARAPET CAPS WITH NEW MORTAR CAPS W/ EMBEDDED MESH. SEE DETAIL.
 9. WATER METER FOR ENTIRE BUILDING. SEE MEP ENGINEERING DRAWINGS.
 10. WELL SEEMANLY AS REQUIRED AFTER WORK ON UNDERGROUND UTILITIES HAVE BEEN COMPLETED.
- FIRST FLOOR**
11. NEW ELECTRICAL METERS IN NEW 2 HR RATED ENCLOSURE. SEE SHEET A203.
 12. NOT USED
 13. LOWER CEILING (IF MINIMUM) TO ACCOMMODATE HVAC AND ELECTRIC WATER HEATERS
 14. NEW PLASTER OVER EXISTING BRICK WALLS
 15. NEW PAINTED WOOD MANTLE & FIREPLACE SURROUND
 16. OPERABLE EGRESS WINDOW. SEE WINDOW SCHEDULE FOR SIZE REQUIREMENTS.
 17. NEW CONTINUOUS ROUND HANDRAIL ALONG WALL. MATCH HEIGHT AND PROFILE OF EXISTING HANDRAIL.
- SECOND FLOOR**
18. NEW AERATIS HERITAGE TAG BALCONY DECKING. SEE SHEET A203.
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 21. FUR OUT WALL FOR VENTS
 22. NEW WOOD GUARDRAIL, TO MATCH REAR BALCONY
 23. REPAIR & REPLACE DAMAGED TAG FLOOR BOARDS. PAINT TO MATCH
 24. REPAIR & REPLACE TRIM, RAILING, AND BALUSTERS
 25. NEW 5'-0" WIDE CODE COMPLIANT IRON SPIRAL STAIR WITH WOOD TREADS. PROVIDE SHOP DRAWINGS.
- THIRD FLOOR**
26. NEW TAG P.T. WOOD SOFFIT, RUN PERPENDICULAR TO BUILDING. VENT CAVITY WITH NEW BAKED FINISH ALUMINUM SOFFIT STRIP VENTS ALONG OUTSIDE EDGE OF OVERHANG. PAINT TO MATCH SOFFIT.

2. PROPOSED ROOF PLAN
A104 SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN

1. PROPOSED THIRD FLOOR PLAN
A104 SCALE: 1/4" = 1'-0"

- MILLWORK NOTES:**
1. WINDOWS, EXTERIOR DOORS, AND SHUTTERS TO BE CUSTOM MILLED TO MATCH EXISTING. DETAILS SUBJECT TO APPROVAL OF VCC AND MFS. SHOP DRAWINGS REQUIRED.
 2. INTERIOR DOORS TO BE NEW SOLID WOOD. SEE DOOR SCHEDULE.
 3. FLOORING THROUGHOUT (EXCEPT BATHROOMS) TO BE SOLID WOOD, TO MATCH EXISTING.
 4. BASEBOARDS TO BE FURRED OUT ON PLASTER WALLS TO RECEIVE WIRING AND OUTLETS.
 5. WOOD BASEBOARDS AND CASINGS TO MATCH EXISTING.
 6. INSTALL NEW VAPOR BARRIER UNDER NEW FLOORING, FIRST FLOOR.

- MASONRY / PLASTER NOTES:**
1. EXISTING EXPOSED BRICK (INTERIOR) WALLS TO BE REPAIRED AND COVERED WITH PLASTER.
 2. EXISTING INTERIOR PLASTER WALLS AND CEILINGS TO BE REPAIRED.
 3. NEW INTERIOR WALLS TO RECEIVE SHEETROCK.
 4. SEPARATION BETWEEN THE UNITS SHALL BE ONE HOUR FIRE RATED. PLASTER CEILINGS AND WALLS IN GOOD CONDITION SUFFICE FOR 1 HOUR RATING.
 5. EXISTING EXTERIOR BRICK WALLS TO BE TUCKPOINTED WITH LOW PORTLAND, TYPE O MORTAR.
 6. EXISTING EXTERIOR PLASTER WALLS ARE COVERED WITH A NON-BREATHABLE PAINT. WORK WITH ARCHITECT, MFA, AND DEC TO DETERMINE BEST COURSE OF ACTION TO REMOVE NON-BREATHABLE PAINT AND RESTORE PLASTER.
 7. WALLS
 8. WELL OPENINGS FROM A/C UNITS WITH MATCHING BRICK, LACED IN EXISTING BRICK, USING LOW-PORTLAND, TYPE O MORTAR.





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 937 Dumaine Street New Orleans LA, 70116

BENCHMARK INFO

-REVISIONS-

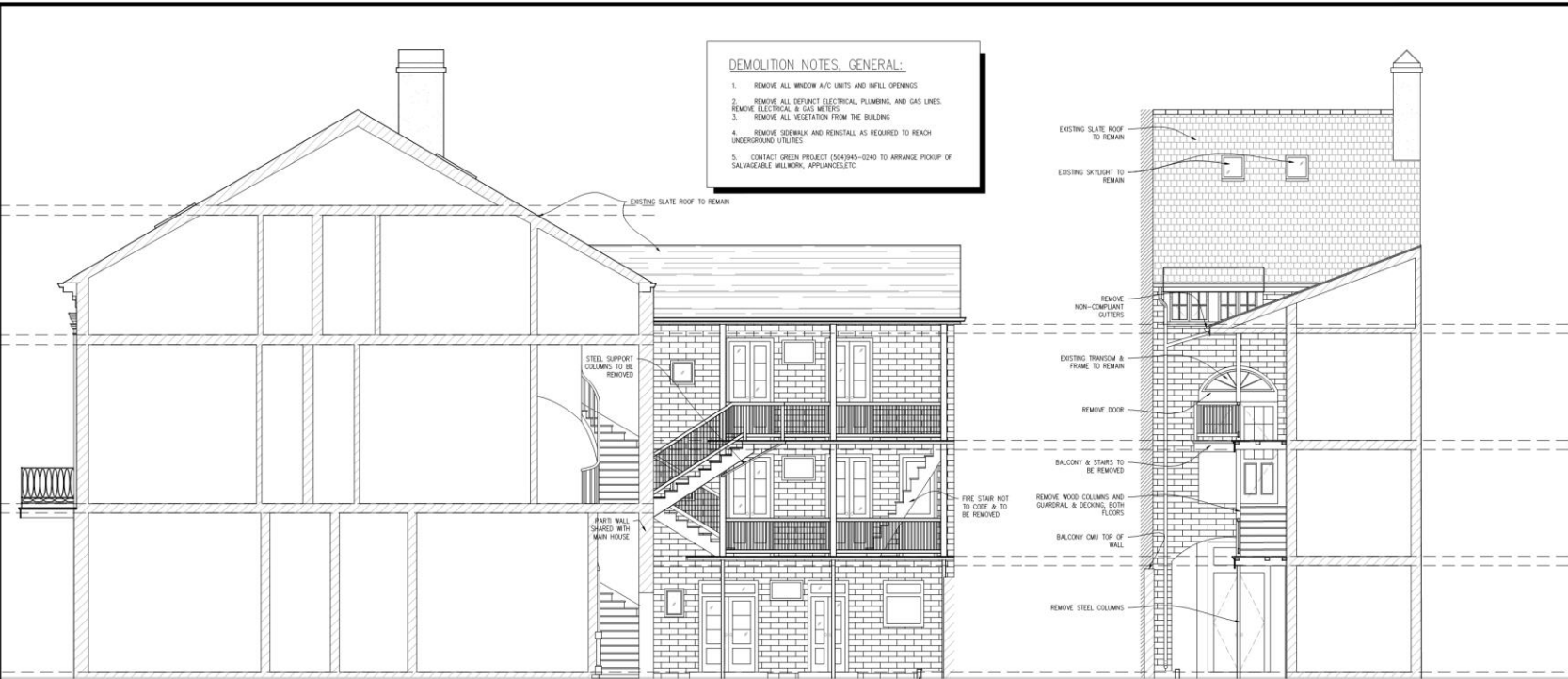
No.	Date	Scope

DRAWING TITLE
 EXISTING SECTIONS & ELEVATIONS
 DRAWING BY DRU
 SCALE VARIES
 2018 No. 520735.03
 DATE 12.29.2020
 Sheet No.

A201

DEMOLITION NOTES, GENERAL:

1. REMOVE ALL WINDOW A/C UNITS AND INFL OPENINGS
2. REMOVE ALL EXISTING ELECTRICAL, PLUMBING, AND GAS LINES. REMOVE ELECTRICAL & GAS METERS
3. REMOVE ALL VEGETATION FROM THE BUILDING
4. REMOVE GROUNDWATER AND REINSTALL AS REQUIRED TO REACH UNDERGROUND UTILITIES
5. CONTACT GREEN PROJECT (504)945-0240 TO ARRANGE PICKUP OF SALVAGEABLE MILLWORK, APPLIANCES, ETC.



1 EXISTING DEPENDENCY ELEVATION
 SCALE: 1/4" = 1'-0"

2 EXISTING DEPENDENCY SECTION
 SCALE: 1/4" = 1'-0"

DEMOLITION NOTES, SPECIFIC:

SITE / ROOF PLAN

- REMOVE CONCRETE PAVING IN ALLEY & COURTYARD AS NECESSARY TO RUN NEW SUBSURFACE DRAINAGE & PLUMBING LINES. DETERIORATED BRICK PLANTER BEDS
- INVESTIGATE CONDITION OF CHIMNEY CAPS AND FLASHING. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
- INVESTIGATE CONDITION OF BRICK AND TERRACOTTA ROOF PARAPET FOR LEAKS. CONTACT ARCHITECT WITH EVALUATION OF CONDITION.
- REPLACE DOWNSPOUT.
- REMOVE CARPET THROUGHOUT AND INVESTIGATE CONDITION OF WOOD FLOORING.

FIRST FLOOR

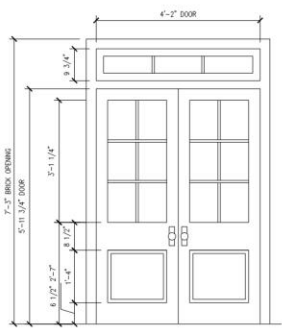
- REMOVE AREA OF BRICK WALL TO RECEIVE NEW OPENING FOR ELECTRICAL CLOSET
- REMOVE FIRST FLOOR JOISTS THROUGHOUT, TO ALLOW FOR NEW CONCRETE FLOOR
- REMOVE ELECTRICAL ENCLOSURE AND METERS

SECOND FLOOR

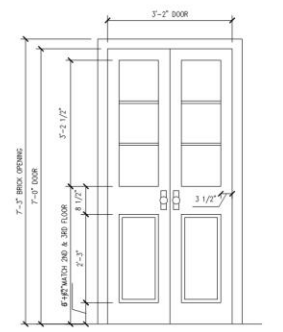
- REMOVE FRONT BALCONY DECKING
- REMOVE FRONT BALCONY RAILING AND SAVE FOR REINSTALLATION
- CONTACT ARCHITECT DURING DEMOLITION, PRIOR TO WALL REMOVAL, TO ENSURE THAT IT IS NOT LOAD-BEARING

THIRD FLOOR

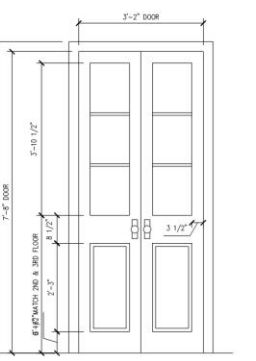
- REMOVE WATER HEATER
- REMOVE STAIRS TO THIRD FLOOR, LANDING, AND LANDING SUPPORT BRACKETS
- REMOVE SKYLIGHT CRANK SYSTEM & SEAL SHUT



3 EXISTING DEPENDENCY OPENING
 SCALE: 1/2" = 1'-0"



4 EXISTING DEPENDENCY OPENING
 SCALE: 1/2" = 1'-0"



5 EXISTING DEPENDENCY OPENING 2ND & 3RD FLOOR
 SCALE: 1/2" = 1'-0"

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 2018.12.03 - 16:40





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I (we) will not be providing project construction administrative services on this project.

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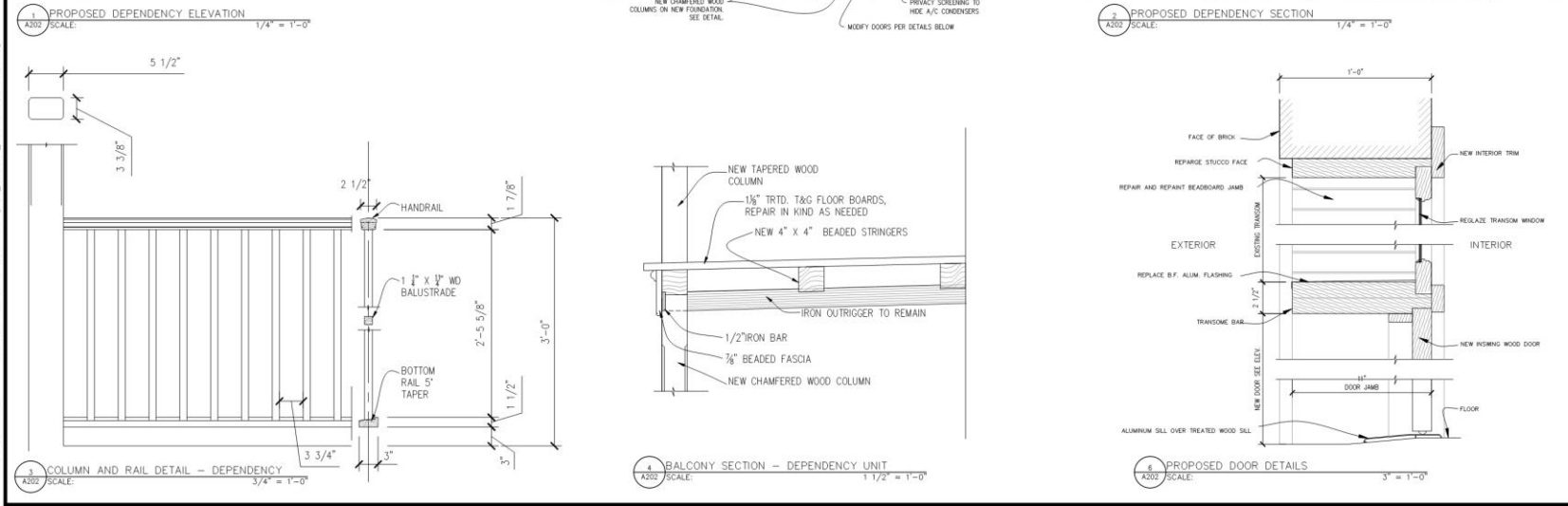
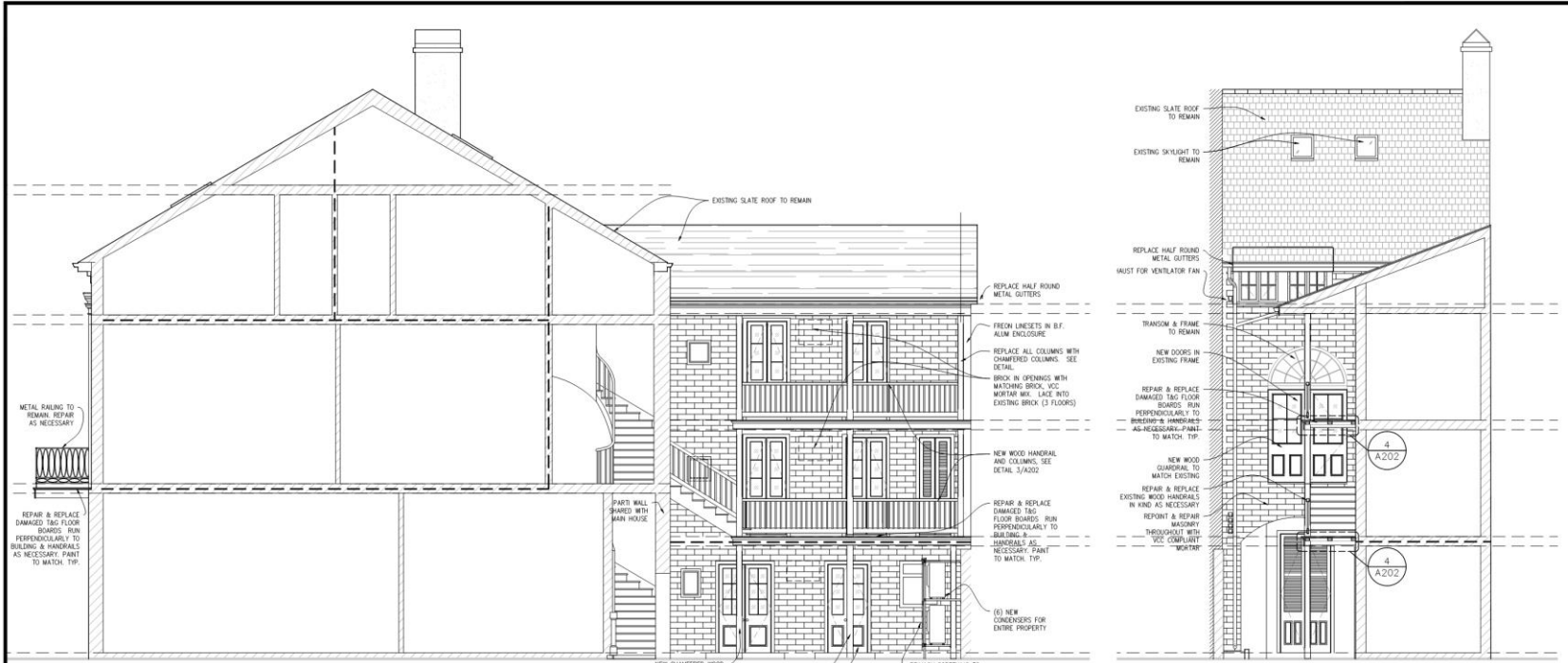
937 DUMAINE STREET IMPROVEMENTS
937 Dumaine Street New Orleans LA, 70116

BENCHMARK INFO

-REVISIONS-		
No.	Date	Scope

DRAWING TITLE
SECTIONS, ELEVATIONS & DETAILS
DRAWING BY DBJ
SCALE VARIES
JOB No. 520035.00
DATE 12.29.2020
Sheet No.

A202



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937 Dumaine

VCC Architectural Committee

February 9, 2021





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 824 BARRONNE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I warrant that the construction of the project shall conform to the construction methods and materials specified on these drawings.

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BENCHMARK INFO

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No.	Date	Scope

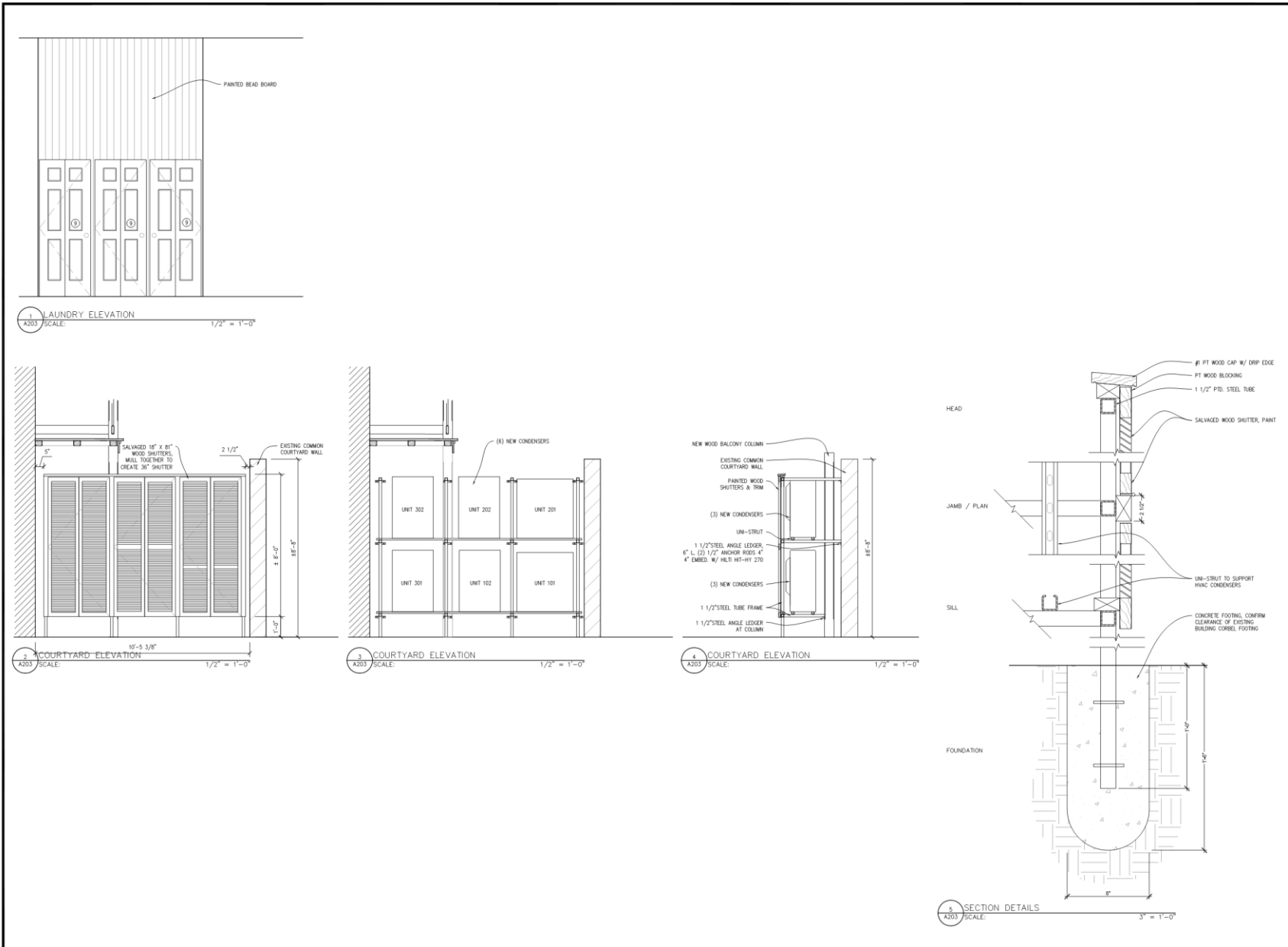
DRAWING TITLE

HVAC SCREEN DETAILS

DRAWING BY DEJ
 SCALE VARIES
 JOB No. 200003003
 DATE 12.29.2020

Sheet No.

A203

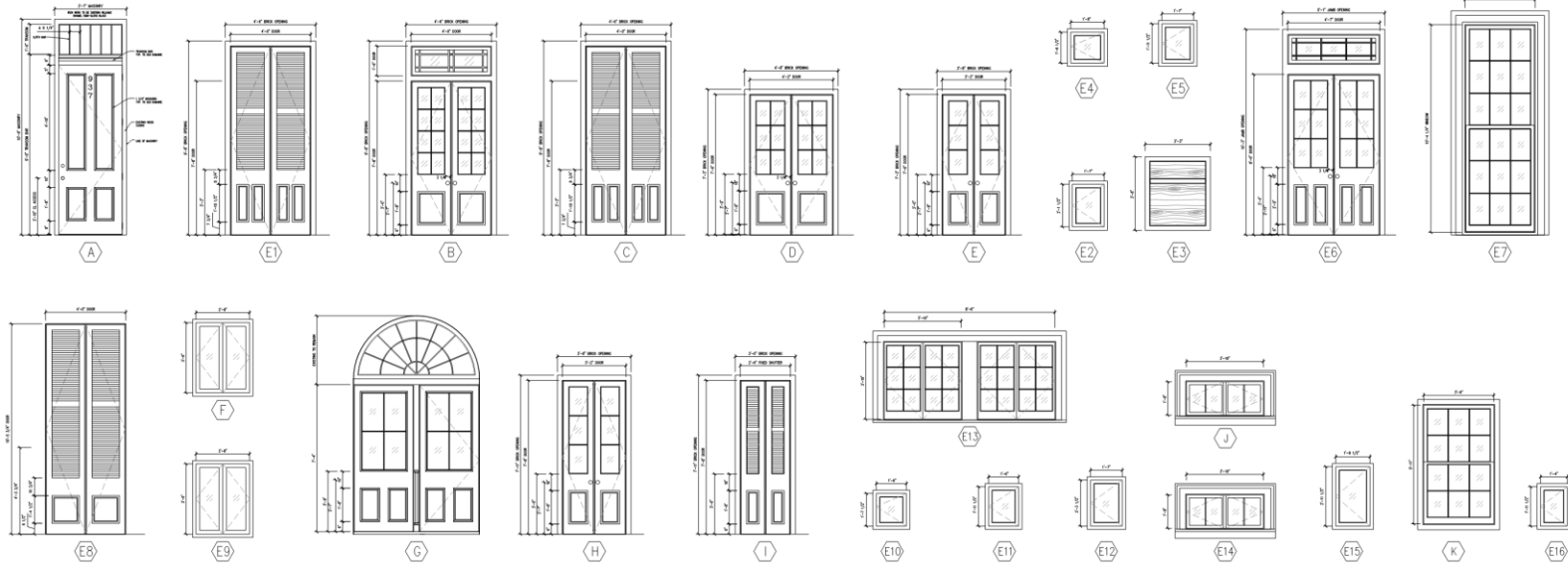
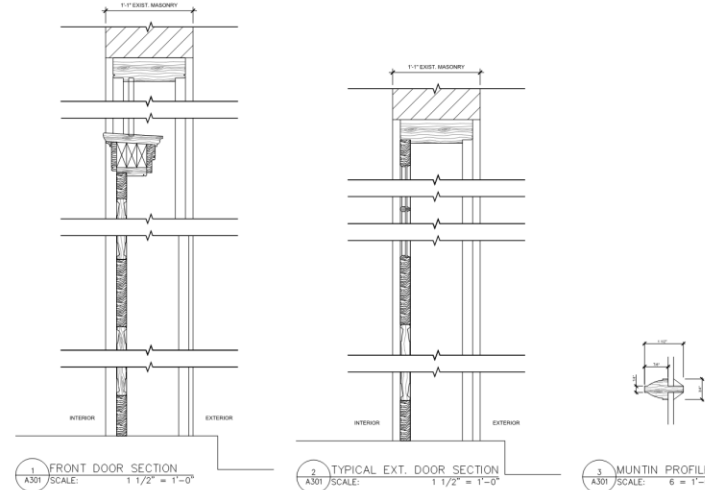


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EXTERIOR OPENINGS SCHEDULE

MARK	TYPE	WIDTH	WINDOW HEIGHT	MATERIAL	SOLAR HEAT GAIN COEFFICIENT	HEAD / SILL / JAMB CASING	COLOR	REMARKS
A	NEW PANELED WOOD DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD	N/A	EXISTING	TRD	EVALUATE EACH CONDITION FOR REPAIR
E1	EXISTING SHUTTERS	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	" "	" "	EXISTING	" "	" "
B	NEW PAIRED W&G DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
C	NEW SHUTTERS	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD	" "	EXISTING	" "	" "
D	NEW PAIRED W&G DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E	NEW PAIRED W&G DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E2	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E3	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E4	EXIST. INFLEED WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD	" "	EXISTING	" "	" "
E5	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E6	EXIST. PAIRED W&G DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E7	EXIST. 9/9 WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E8	EXISTING SHUTTERS	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD	" "	EXISTING	" "	" "
E9	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
F	NEW CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
G	NEW PAIRED W&G DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
H	NEW PAIRED W&G DOOR	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
I	NEW WOOD SHUTTERS	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E10	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E11	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E12	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E13	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E14	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
J	NEW CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E15	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
K	NEW 6/6 WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "
E16	EXIST. CASEMENT WINDOW	SEE ELEV. V.I.F.	SEE ELEV. V.I.F.	WOOD & GLASS	" "	EXISTING	" "	" "





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BENCHMARK INFO

-REVISIONS-

No.	Date	Scope

DRAWING TITLE
 SCHEDULES

DRAWING BY: DBJ
 SCALE: VARIES
 JOB No: 520035.00
 DATE: 12.29.2020
 Sheet No:

A301



2 SECOND FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

1 FIRST FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

3 SECTION VIEW - DRY VENT
SCALE: N.T.S.

A SECTION VIEW - A
SCALE: N.T.S.

B SECTION VIEW - B
SCALE: N.T.S.

REVISIONS:

No.	Date	Scope

DRAWING

DRAWN BY: DD, MK, NH
SCALE: AS SHOWN
JOB No.: 5180010
DATE: JAN 18, 2021

Sheet No. **M-1**

M-K ENGINEERING, INC.
CONSULTING ENGINEERS
HVAC-PLUMBING-FIRE PROTECTION-ELECTRICAL
4323 DIVISION STREET, SUITE 211
METAIRIE, LA 70002
Tel: (504) 887-2376, Fax: (504) 887-2302
Email: info@mkengr.com
M-K Project No.: 20-093

W
JOHN WILLIAMS ARCHITECTS LLC
NEW ORLEANS, LA 70116
1/19/21

RENOVATION TO:
937 DUMAINE STREET
NEW ORLEANS, LA 70116

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2 ROOF PLAN - HVAC
M-2 SCALE: 1/4" = 1'-0"

1 THIRD FLOOR PLAN - HVAC
M-2 SCALE: 1/4" = 1'-0"

ANKAS WILLIAMS ARCHITECTS LLC
 1101 PULASKI STREET
 NEW ORLEANS, LA 70116
 PHONE: (504) 581-1100
 FAX: (504) 581-1101

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1/19/21

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NEW ORLEANS, LA 70116

-REVISIONS-		
No.	Date	Scope

DRAWING BY: DD, MK, NH
SCALE: AS SHOWN

JOB No: 510020.00
DATE: JAN. 18, 2021

Sheet No. M-2

M-K ENGINEERING, INC.

CONSULTING ENGINEERS

HVAC-PLUMBING-FIRE PROTECTION-ELECTRICAL

4323 Division Street, Suite 211

Metairie, LA 70002

Tel (504) 887-2376, Fax (504) 887-2302

Email: mkasagra@m-k-e.com

M-K Project No.: 20-093

937 Dumaine

VCC Architectural Committee

February 9, 2021



2 SECOND FLOOR PLAN - LIGHTING AND POWER
E-1 SCALE: 1/4" = 1'-0"

W

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100 PINEAPPLE STREET
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PHONE: (504) 581-1100
FAX: (504) 581-1101
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John C. Williams Architects LLC

1 FIRST FLOOR PLAN - LIGHTING AND POWER
E-1 SCALE: 1/4" = 1'-0"

RENOVATION TO:
937 DUMAINE STREET
NEW ORLEANS, LA 70116

-REVISIONS-		
No.	Date	Scope

DRAWING BY DD, MK, NH
SCALE AS SHOWN
JOB NO. 151820.00
DATE JAN. 18, 2021
Sheet No.

E-1

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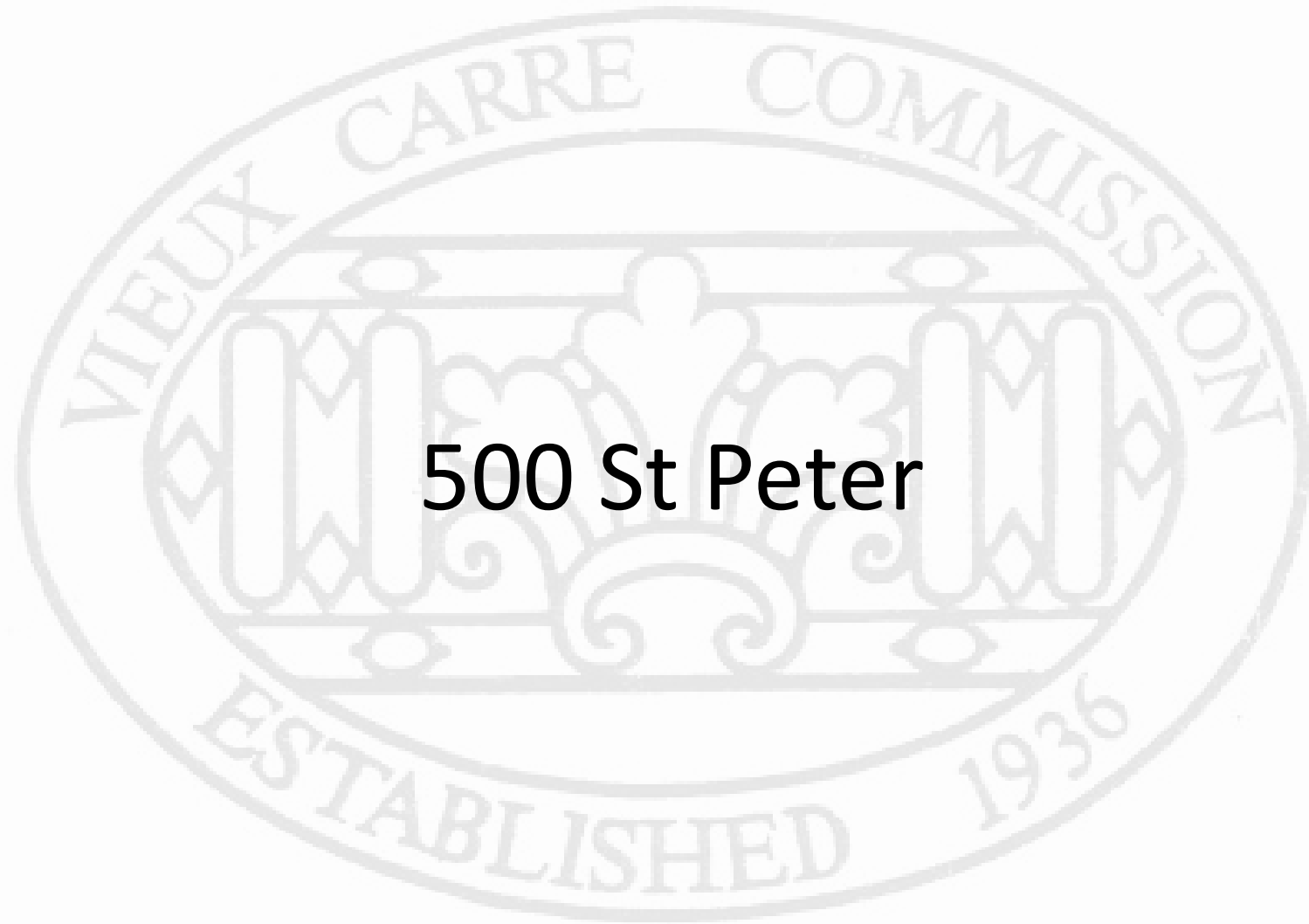
M-K ENGINEERING, INC.
CONSULTING ENGINEERS
HVAC-PLUMBING-FIRE PROTECTION-ELECTRICAL
4323 Division Street, Suite 211
Metairie, LA 70002
Tel: (504) 887-2370, Fax: (504) 887-2302
Email: mk@mkengineering.com
M-K Project No.: 20-093

937 Dumaine

VCC Architectural Committee

February 9, 2021





500 St Peter



500 St Peter

VCC Architectural Committee

February 9, 2021





500 St Peter

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February 9, 2021





500 St Peter

VCC Architectural Committee

February 9, 2021



FMC UPB ROOF AND
BUILDING REPAIRS
RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
1000 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-436-6400

ARCHITECT: TRAPOLIN PEER
850 TOUCHARDVILLE ST.
NEW ORLEANS, LA 70130
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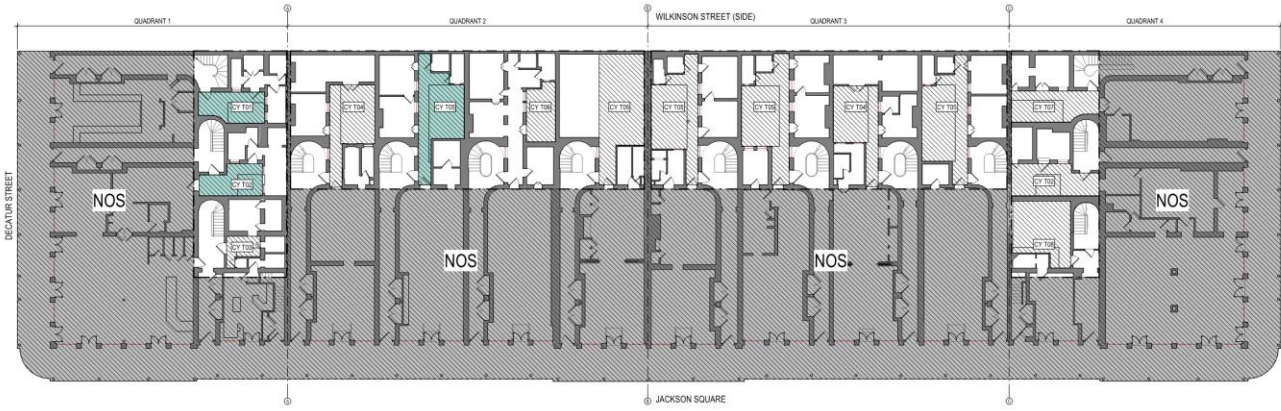
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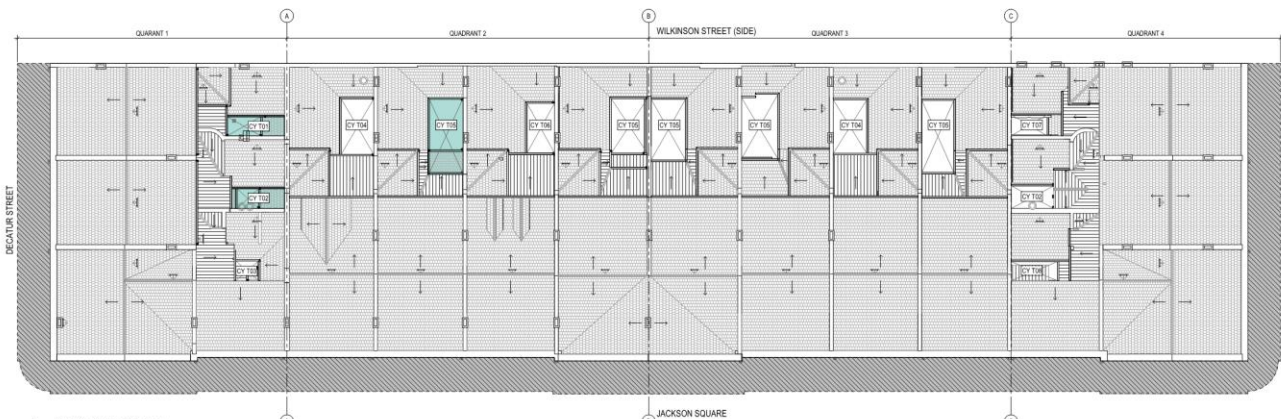
PROJECT NUMBER: CN20096
ISSUE DATE: 03/30/21

SITE PLAN

G0.04



1 OVERALL PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"



2 OVERALL PLAN - ROOF PLAN
SCALE: 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. PROTECTION GENERALLY INCLUDES THE LEAST DEGREE OF INTERFERENCE AND IS PREPARATORY TO OTHER WORK. PROTECTION INCLUDES THE MAINTENANCE OF MATERIALS AND FEATURES IN THE CONSTRUCTION SCOPE, AS WELL AS ENSURING THAT THE PROPERTY IS PROTECTED BEFORE AND DURING CONSTRUCTION AND OVER THE EVALUATION OF THE PHYSICAL CONDITION OF THE QUALIFYING HISTORIC FEATURES FROM THE CONSTRUCTION SCOPE SHALL BEGIN PRIOR TO THE START OF WORK.
- CLEAN EXISTING MASONRY ONLY WHEN NECESSARY TO HALT DETRIORATION OR PREVENT HEAVY SOILING.
- CLEAN SOILED MASONRY SURFACES WITH THE GENTLEST METHOD POSSIBLE, SUCH AS USING PRESSURE WATER AND DETERGENT AND NATURAL BRISTLE OR OTHER SOFT BRISTLE BRUSHES.
- USE APPROPRIATE AND ENVIRONMENTALLY SAFE CLEANING OR PAINT REMOVAL PRODUCTS.
- USE PAINT REMOVAL METHODS THAT EMPLOY A POLYURETHANE WHICH BOND ADHERES, WHEN POSSIBLE, TO NEATLY AND SAFELY REMOVE OLD LEAD PAINT.
- WHERE INDICATED ON DRAWINGS USE COATINGS THAT ENCAPSULATE LEAD PAINT, WHEN POSSIBLE, WHERE PAINT IS NOT REQUIRED TO BE REMOVED TO MEET ENVIRONMENTAL REGULATIONS.
- TICK COUPLING IS REQUIRED AT EXPOSED MASONRY PARTY WALLS THAT EXTEND TO ROOF AND CHIMNEYS.
- REPAIR MASONRY WALLS AND OTHER MASONRY FEATURES BY REPOINTING THE MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETRIORATION, SUCH AS DISINTEGRATING MORTAR, CRACKS IN MORTAR JOINTS, LOOSE BRICKS, OR DAMAGED PLASTER.
- REMOVE DETRIORATED LIME MORTAR CAREFULLY BY HAND MAKING THE JOINTS TO AVOID DAMAGING THE SOUND JOINTS MASONRY.
- USE POWER TOOLS ONLY ON HORIZONTAL JOINTS OF BRICK MASONRY IN CONJUNCTION WITH HAND CHISELS TO REMOVE HARD MORTAR THAT IS DETRIORATED OR THAT IS A NON-HISTORIC MATERIAL WHICH IS CAUSING DAMAGE TO THE EXISTING MASONRY JOINTS. MECHANICAL TOOLS SHOULD BE USED ONLY IN SPOLLED MASONRY IN LIMITED CIRCUMSTANCES AND GENERALLY NOT ON BRICK MASONRY. VERTICAL JOINTS IN BRICK MASONRY DUPLICATE THE MORTAR JOINTS IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE WHEN REPOINTING IS NECESSARY. IN SOME CASES, A LIME-BASED MORTAR MAY ALSO BE CONSIDERED WHEN REPOINTING PORTLAND CEMENT MORTAR JOINTS BECAUSE IT IS MORE FLEXIBLE.
- REPAIR STUCCO BY REMOVING THE DAMAGED MATERIAL AND PATCHING WITH NEW MATERIAL THAT DUPLICATES THE HISTORIC STUCCO IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE.
- EXISTING BOLDER SEAMS SHOWING SIGNS OF CRACKS ARE TO BE REPAIRED THROUGHOUT THE BUILDING AS A GENERAL REQUIREMENT.

PLAN LEGEND



GENERAL ROOF NOTES

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. IDENTIFY, RETAIN, AND PRESERVE ROOFS IN THE CONSTRUCTION SCOPE AND THEIR FUNCTIONAL AND DECORATIVE FEATURES.
- PROTECT AND MAINTAIN ROOFS IN THE CONSTRUCTION SCOPE BY CLEANING GUTTERS AND DOWNPOUTS AND REPLACING DETRIORATED FLASHING.
- ROOF WEATHERING SHOULD ALSO BE CHECKED FOR INDICATIONS OF MOISTURE DUE TO LEAKS OR CONDENSATION.
- PROTECT ADJACENT ROOFS AND HISTORIC FEATURES WHEN WORKING ON OTHER ROOF FEATURES NOT IN SCOPE.
- EVALUATE THE OVERALL CONDITION OF THE ENTIRE ROOF TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE, SUCH AS REPAIRS TO ROOF FEATURES, WILL BE NECESSARY.
- REMOVE AND REPLACE COPPER ROOFS IN THEIR ENTIRETY. TYP IN ALL COURTYARDS. REPAIRS INCLUDE REPLACING THE COPPER ROOF IN KIND; MATCHING THE EXISTING MATERIALS TYPE, THICKNESS, TEXTURE AND FINISH.
- REPAIR DAMAGED PORTIONS OF SLATE ROOFS WITH MATERIALS THAT MATCH THE EXISTING SLATES TYPE, TEXTURE, THICKNESS AND FINISH.
- REMOVE EXISTING GUTTERS AND DOWNPOUTS. THE NEW GUTTERS AND DOWNPOUTS ARE TO BE RESIZED TO ACCOMMODATE STORM WATER SPED. ALL MATERIALS AND FINISHES ARE TO MATCH THE EXISTING GUTTERS AND DOWNPOUT TYPES, TEXTURES AND FINISHES.
- PAINTED CASK ROOFS ARE REQUIRED IN ALL TENANT SPACES OCCUPIED BY COMMERCIAL TENANTS.
- REMOVE ALL SUB-SURFACE STORM DRAINAGE FROM COURTYARD TO PUBLIC WAY. TYPICAL IN ALL COURTYARDS. PROVIDE VIDEO INSPECTION FROM OWNER AND ARCHITECT'S REVIEW.
- SMALL CLOGGED SUB-SURFACE DRAINAGE AS DETERMINED BY OWNER AND ARCHITECT.

ROOF MATERIAL LEGEND



03/30/21



03/30/21



TRAPOLIN PEER ARCHITECTS
VCC SUBMITTAL

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HISTORIC PHOTOS

G0.12



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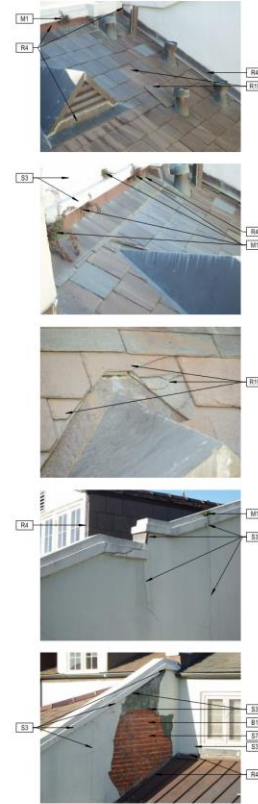
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03/30/21

QUAD 1 - ROOF PLANS

A3.10

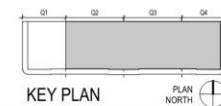
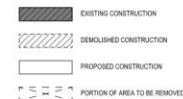


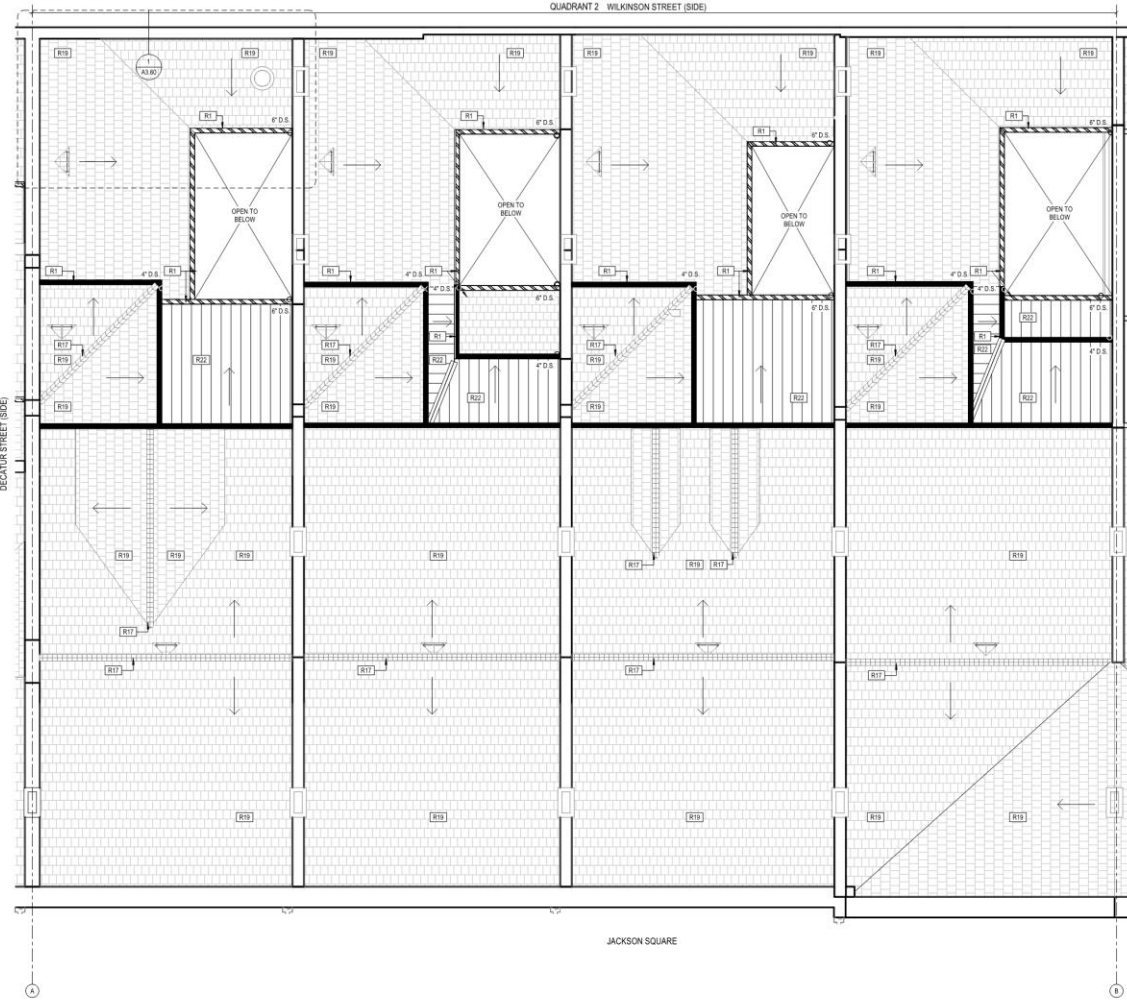
REPAIR/NOTE QUAD 1 ROOF	
TYPE MARK	REMARKS
R1	NOMINALLY SMALL MOVEMENT CRACKS IN BRICK WILL BE CUT AND TUCKPOINTED WITH A SOFT LIME-BASED MORTAR. LARGE MOVEMENT CRACKS WHICH HAVE CREATED SHEARING IN THE BRICK AND MORTAR JOINTS FROM SETTLEMENT OR DIFFERENTIAL MOVEMENT. THE WIDTH OF CRACK AND SIZE OF AFFECTED AREA WILL DETERMINE IF THE TRADITIONAL MULTY-THRE BRICK STITCHING METHOD WILL BE UTILIZED.
R2	REMOVE EXISTING VESIGION AND ORIGINAL MATERIAL COMPLETELY AND REPAIR MASONRY/MORTAR FOR IMMOBIL TRANSMISSION TO ADJACENT SURFACES. REPAIR AND FILL CRACKS AT SOURCE OF GROWTH.
R4	CUT OUT EXISTING SLAGGANT AND INSTALL NEW SLATE. TYPICAL AT ALL EXISTING AND MISSING CHALK LOCATIONS THROUGHOUT ENTIRE ROOF. WHERE PREVIOUSLY SOLDERED JOINTS ARE CRACKED OR MISSING REMOVE OLD SOLDER, SAND AREA AND SOLDER COMPLETELY. ALL COPPER TO COPPER CONNECTIONS WILL BE SOLDERED REGARDLESS OF EXISTING GASKET IN SOME INSTANCES. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO REPAIRS.
R17	REMOVE AND SALVAGE EXISTING "Y" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR.
R19	REPLACE/INSTALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR. TYPICAL AT ALL EXISTING CONDITIONS.
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CRIMPED.
R28	REMOVE EXISTING COPPER HOOD CAP AND REPLACE WITH NEW CAP THAT MATCHES THE EXISTING CAPS SIZE AND PROFILE.
R31	EXISTING COATED PLASTER SURFACE ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SCOURED. AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNBONDED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK UNTIL FINELY FINISHED ADHESION IS REACHED. SOUND AND REPEDED PLASTER WILL BE INSPECTED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE TUCKPOINTED TO STABILIZE THE WALL AREA. ONCE TUCKPOINTING AND MOVEMENT CRACK REPAIRS HAVE CURED, THESE AREAS WILL BE BRIGATED WITH WATER TO REMOVE LOOSE FINES AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMAGED MASONRY AREA WILL RECEIVE A GURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND ADHESION WITH FINISH PLASTER. FINISHED PLASTER WILL BE THE COMPOSITION OUTLINED BY THE NEW CAREER FOR MASONRY MAINTENANCE OF HISTORIC STRUCTURES. DEPENDING ON THE DEPTH AND SIZE OF THE REPAIR, IT CAN TAKE MULTIPLE LIFTS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING.
R37	REPAIRED PLASTER SURFACES WILL BE PRIMED WITH (1) ONE COAT OF MASONRY PRIMER PRIOR TO FINISH BEING APPLIED. PLASTER SURFACES WILL RECEIVE (2) TWO COATS OF EXTERIOR LATEX PAINT TO MATCH EXISTING COLOR UNLESS OTHERWISE NOTED.

MATERIAL LEGEND



PHASE LEGEND

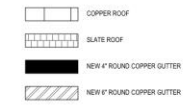




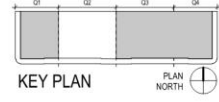
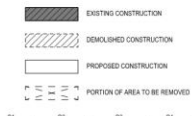
1 QUAD 2 - TYPICAL ROOF REPAIR PLAN
SCALE: 3/8" = 1'-0"

REPAIR/REMO NOTES, QUAD 2 - ROOF	
TYPE MARK	REMARKS
R1	REMOVE EXISTING VEGETATION AND ORGANIC MATERIAL, COMPLETELY AND REPAIR MASONRY/MORTAR FOR SMOOTH TRANSITION TO ADJACENT SURFACES. REPAIR AND FILL CRACKS AT SOURCE OF GROWTH.
R2	REMOVE EXISTING COPPER GUTTERS AND REPLACE WITH LARGER COPPER HNF ROUND GUTTER PER PLAN DESIGNATION SIZE, STRAPPED AT 2" O.C. MAX.
R3	CUT OFF EXISTING SEALANT AND INSTALL NEW SEALANT. TYPICAL AT ALL EXISTING AND MISSING CALK LOCATIONS THROUGHOUT ENTIRE ROOF. WHERE PREVIOUSLY SOLDERED JOINTS ARE CRACKED OR MISSING REMOVE OLD SOLDER, SAND AREA AND SOLDER COMPLETELY. ALL COPPER TO COPPER CONTACTS WILL BE SOLDERED REGARDLESS OF EXISTING CALK. IN SOME INSTANCES, NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO REPAIRS.
R4	REMOVE EXISTING COPPER BASE AND COUNTER FLASHING, REINSTALL NEW FULLY SOLDERED BASE FLASHING AND INSTALL NEW COUNTER FLASHING.
R5	REMOVE AND SALVAGE EXISTING "V" RIDGE TELES. REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR.
R6	REPLACE/REINSTALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR. TYPICAL AT ALL EXISTING CONDITIONS.
R7	CONTRACTOR TO REMOVE TRIM AND EXPOSED FLASHING TO EXAMINE EXISTING INSTALLATION METHODS AND REPAIRS NEEDED. WHEN REPAIRING USE 90°/90° SHINGLES AND FINISH JOINTS ALIGNED. ALL NEW COMPONENTS WILL BE PRIMED ON ALL 4 SIDES AND ENDS BEFORE INSTALLING AND PAINTED ON ALL SIDES. TYPICAL AT ALL CORNER BULL SIDES AND ENDS FLASHING TO BE REMOVED AND REINSTALLED UNDER ROOFING SLATES.
R8	REMOVE STUCCO PLASTER ABOVE CORNER OPENINGS. EXAMINE EXISTING FLASHING AND REMOVE IF DAMAGED. PREP SURFACES FOR NEW FLASHING AND STUCCO TO BE REPLACED. FLASHING WILL NEED TO BE CONTINUOUS AND EXTEND BEYOND EDGE OF OPENING TRIM.
R9	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAMS MUST BE SOLDED OVER AND CRIMPED. EXISTING COATED PLASTER SURFACE, ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SOUNDED. AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNBOUND MASONRY COATING PROCESSED PRIOR TO DAMAGED PLASTER REMOVAL. WILL BE REMOVED BACK UNTIL FULLY BONDED ADHESION IS REACHED. SOUND AND BONDED PLASTER WILL BE INSPECTED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS SUPPORTED BY PLASTER REMOVAL PROCESS WILL BE TUCKPOINTED TO STABILIZE THE WALL AREA. ONCE TUCKPOINTING AND MOVEMENT CRACK REPAIRS HAVE CURED, THESE AREAS WILL BE BRUSHED WITH WATER TO REMOVE LOOSE FINES AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMAGED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND ADHESION WITH FINISH PLASTER. FINISHED PLASTER WILL BE THE COMPOSITION OUTLINED BY THE VENDOR CARE FOR MASONRY MAINTENANCE OF HISTORIC STRUCTURES, DEPENDING ON THE DEPTH AND SIZE OF THE REPAIR. IT CAN TAKE MULTIPLE LIFTS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING.
R10	CALKING AT JOINT COPPER PARAPET FLASHING AND MASONRY PARAPET WALL AND CHIMNEY WILL BE REMOVED IF IT IS EXPANDING OR CRACKING OR ADHESIVE FAILURE AND A TREATMENT/DEPRESSION REMOVAL WILL CONSIST OF CUTTING OLD CALKING AT THE JOINT LINE AND REMOVAL OF THE OLD MATERIAL. CLOSED CELL FOAM BACKER ROD WILL BE UTILIZED AS NEEDED TO ENSURE PROPER JOINT DEPTH. VOID WILL BE CLEANED AND CALKED WITH A URETHANE BASE SEALANT APPLIED UNDER GUN PRESSURE AND TOOLED TO SMOOTH EVEN BEAD.

MATERIAL LEGEND



PHASE LEGEND



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500 ST. PETER STREET
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QUAD 2 - ROOF PLANS

A3.20



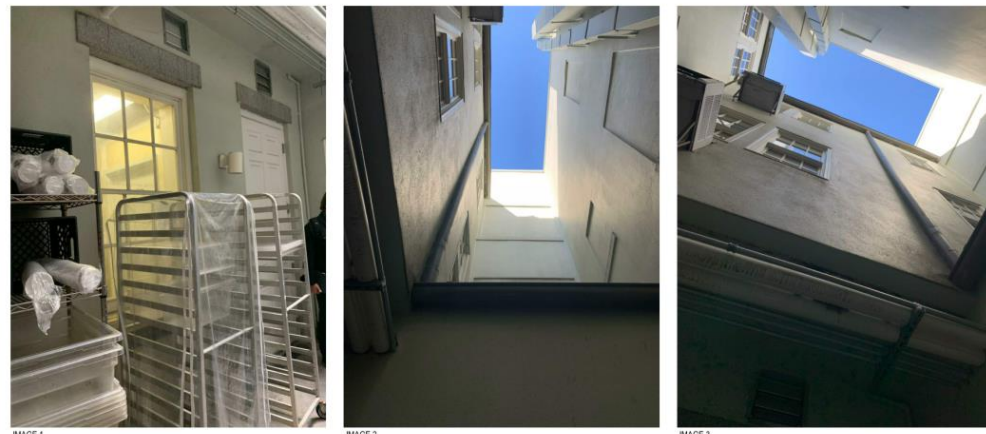


IMAGE 1

IMAGE 2

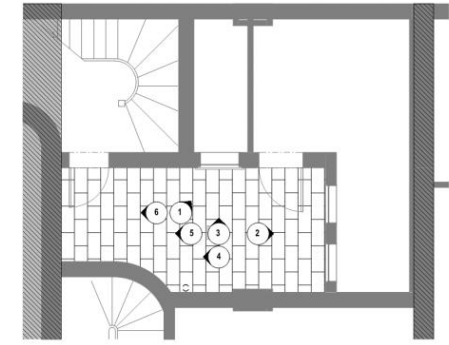
IMAGE 3



IMAGE 4

IMAGE 5

IMAGE 6



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500 ST. PETER STREET
NEW ORLEANS, LA 70116

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FRENCH MARKET CORPORATION
1005 N. PETERS ST. #3
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COURTYARD 1 - EXISTING CONDITIONS

A1.00



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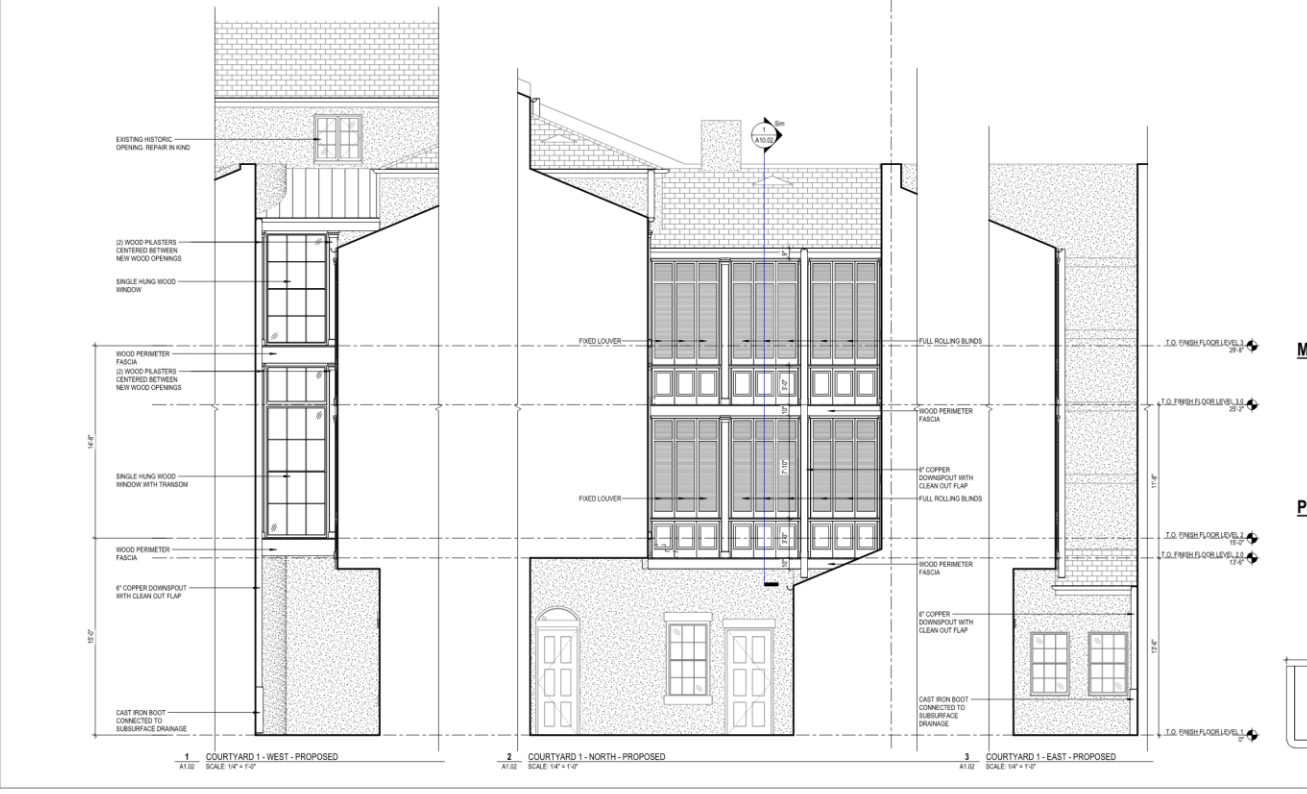
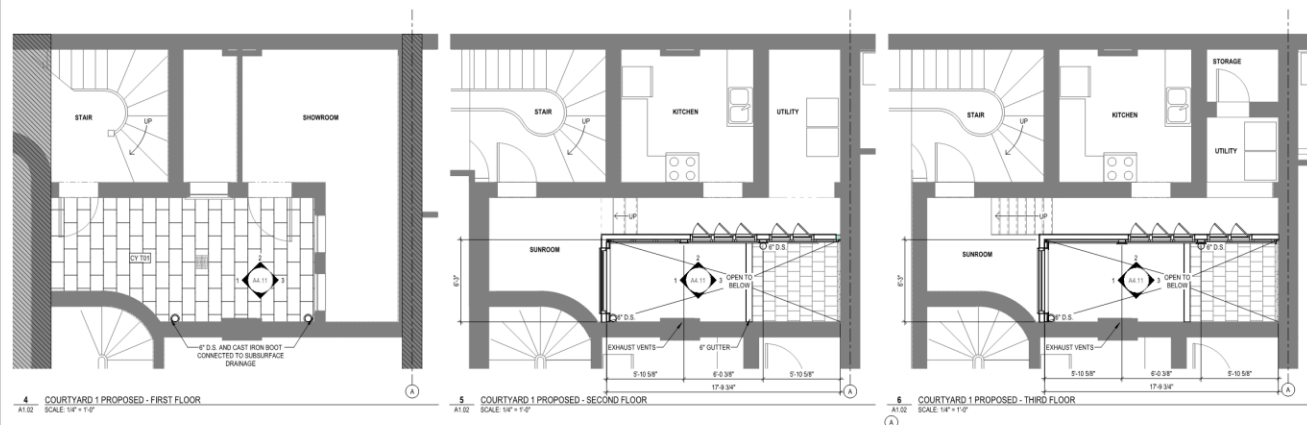
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COURTYARD 1 - PROPOSED ELEVATIONS AND PLANS

A1.02

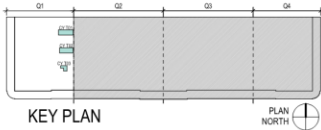


MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED

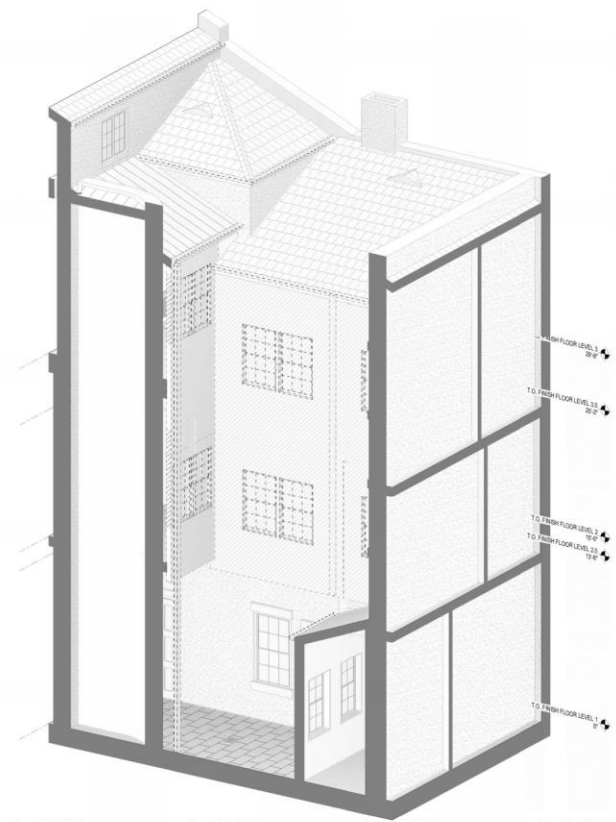


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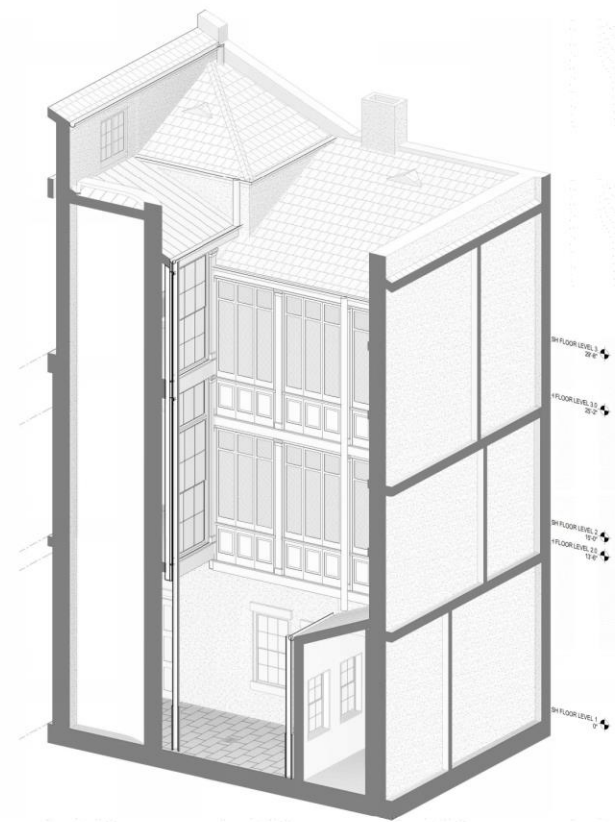
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1 COURTYARD TYPE 1 - EXISTING AXON_NE
A1.03 SCALE



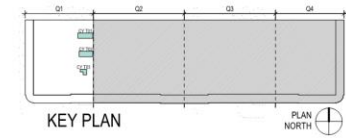
2 COURTYARD TYPE 1 - PROPOSED AXON_NE
A1.03 SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



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ISSUE DATE: 03/30/21
COURTYARD 1 - AXONS

A1.03



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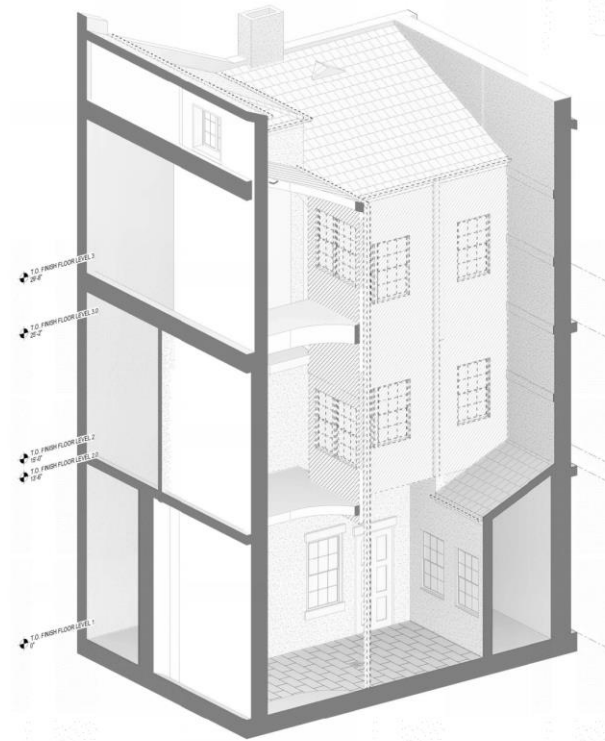
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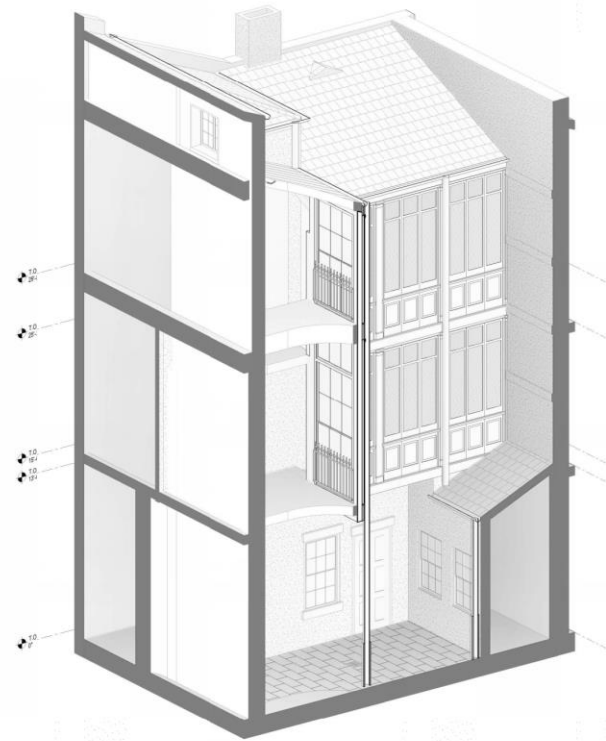
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1 COURTYARD TYPE 1 - EXISTING AXON_NW
AT 04 SCALE



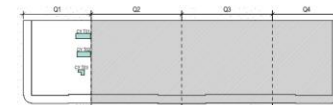
2 COURTYARD TYPE 1 - PROPOSED AXON_NW
AT 04 SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH

© TRAPOLIN PEER ARCHITECTS, INC.
PROJECT NUMBER
COURT006
ISSUE DATE:
03/30/21

COURTYARD 1 - AXONS

A1.04



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

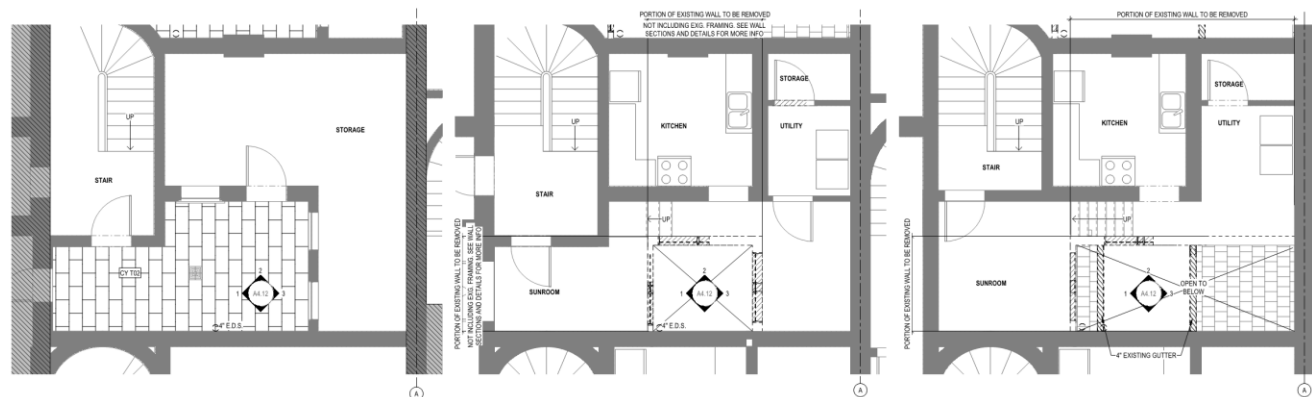
OWNER: FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-498-6400

ARCHITECT: TRAPOLIN PEER
850 TCHOUFFOULAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

COMPANION: Company Name
Street Address
City, State
Phone Number

NOT FOR CONSTRUCTION

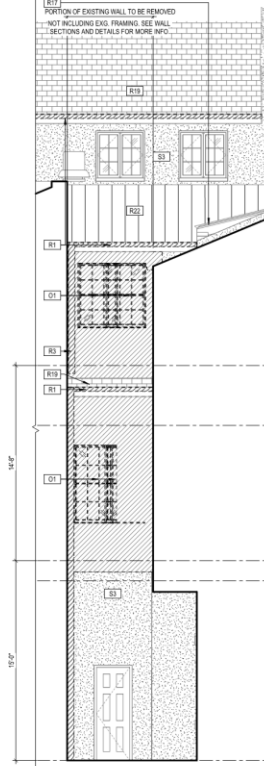
REVISION # | DESCRIPTION | DATE



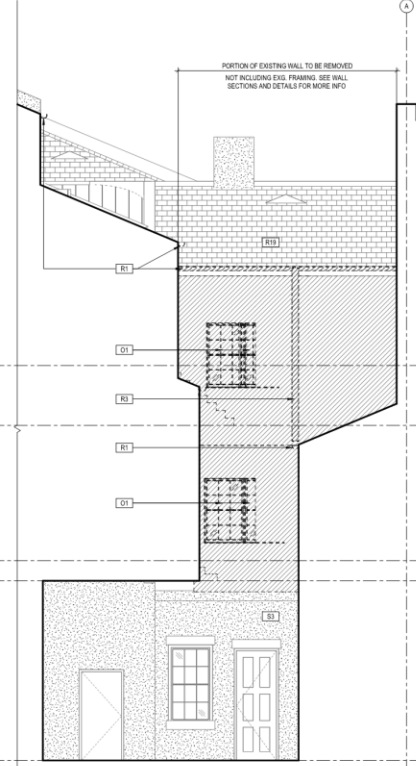
4 COURTYARD 2 EXISTING - FIRST FLOOR
A2.01 SCALE: 1/4" = 1'-0"

5 COURTYARD 2 EXISTING - SECOND FLOOR
A2.01 SCALE: 1/4" = 1'-0"

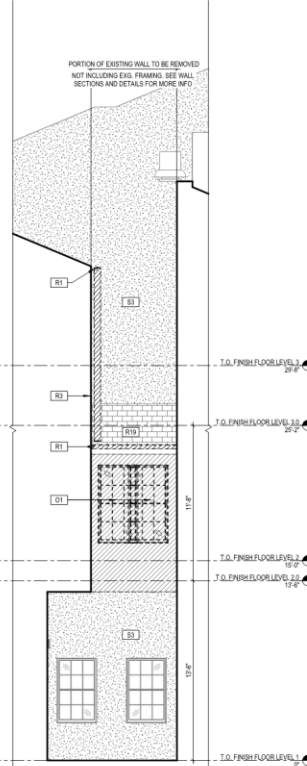
6 COURTYARD 2 EXISTING - THIRD FLOOR
A2.01 SCALE: 1/4" = 1'-0"



1 COURTYARD 2 - WEST - EXISTING
A2.01 SCALE: 1/4" = 1'-0"



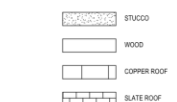
2 COURTYARD 2 - NORTH - EXISTING
A2.01 SCALE: 1/4" = 1'-0"



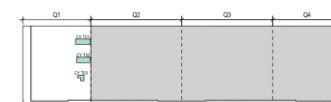
3 COURTYARD 2 - EAST - EXISTING
A2.01 SCALE: 1/4" = 1'-0"

REPAIR/DEMOLITION NOTES (2) ELEVATIONS	
TYPE MARK	REMARKS
DT	REMOVE EXISTING NON-HISTORICAL WINDOW
RT	REMOVE EXISTING COPPER GUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND GUTTER PER PLAN DESIGNATION SIZE, STRAPPED AT 24" O.C. MAX
RS	REMOVE EXISTING COPPER DOWNSPUT AND REPLACE WITH LARGER COPPER DOWNSPUT PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRAPS PER 10' LENGTH AND AT ALL SEAMS
RT	REMOVE AND SALVAGE EXISTING 1" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND RESTORE TO MATCH EXISTING PROFILE AND TYPE OF MORTAR
RS	REPLACE/INSTALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR TYPICAL AT ALL EXISTING CONDITIONS
RT	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING BEAMS MUST BE FOLDED OVER AND CHIMED
RS	EXISTING COATED PLASTER SURFACE ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SOURED. AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNCOLORED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK UNTIL FULLY BONDED ADHESION IS REACHED. SOUND AND BONDED PLASTER WILL BE INSPECTED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE TUCKPOINTED TO STRIKE THE WALL AREA. ONCE TUCKPOINTING AND MOVEMENT CRACK REPAIRS HAVE CURED, THESE AREAS WILL BE INFLUATED WITH WATER TO REMOVE LOOSE FINES AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMPENED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND ADHESION WITH FRESH PLASTER. FRESH PLASTER WILL BE THE COMPOSITION OUTLINED BY THE Vieux Carre For Masonry Maintenance of Historic Structures, Depending on the depth and size of the repair, it can take multiple lifts and finish work to blend the repaired area into the existing

MATERIAL LEGEND



PHASE LEGEND



KEY PLAN PLAN NORTH

A2.01

COURTYARD 2 - EXISTING ELEVATIONS AND PLANS



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

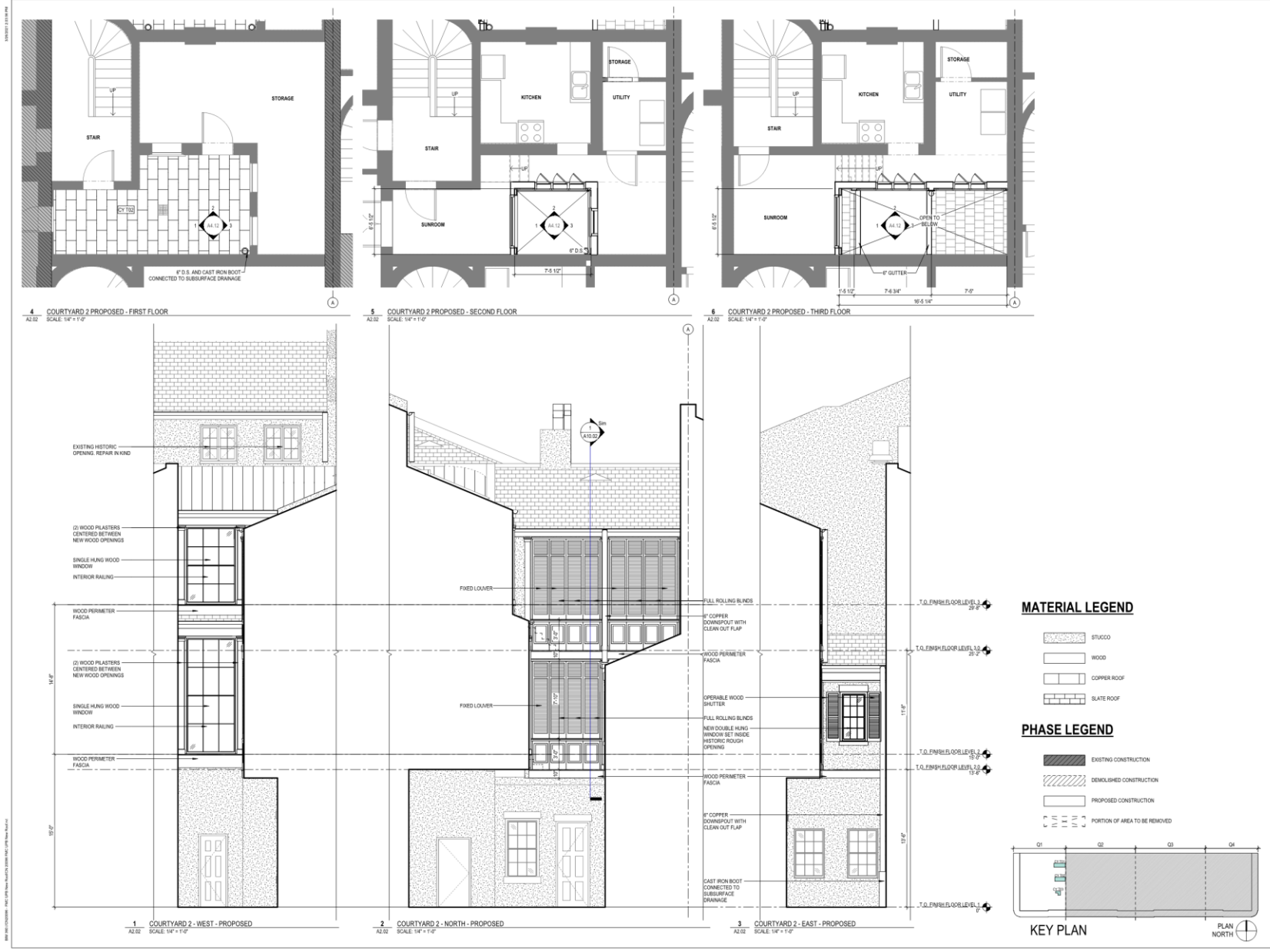
OWNER: FRENCH MARKET CORPORATION
109 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-538-6400

ARCHITECT: TRAPOLIN PEER
850 CHOUQUETOUAIS ST.
NEW ORLEANS, LA 70130
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PROJECT NUMBER: CH20096
ISSUE DATE: 03/30/21

COURTYARD 2 - PROPOSED ELEVATIONS AND PLANS

A2.02



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

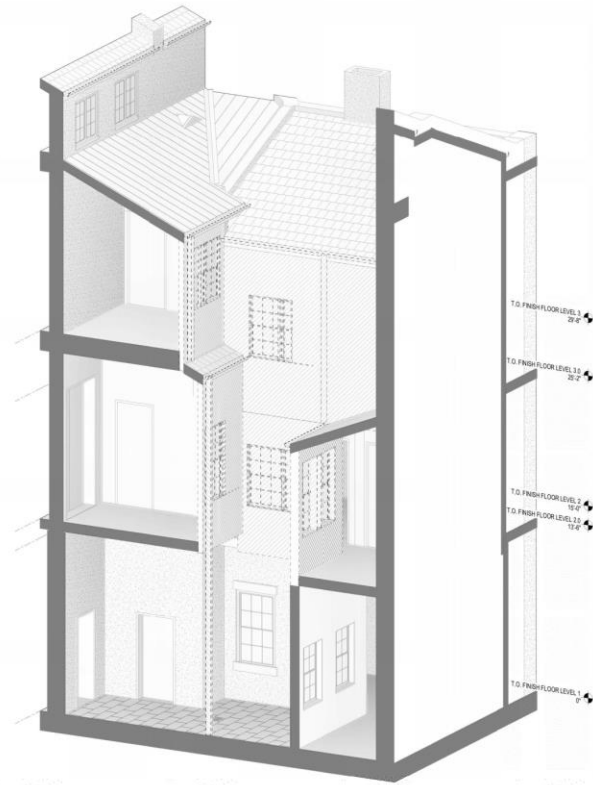
OWNER: FRENCH MARKET CORPORATION
1001 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-459-6400

ARCHITECT: TRAPOLIN PEER
850 TCHOUFFOULAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
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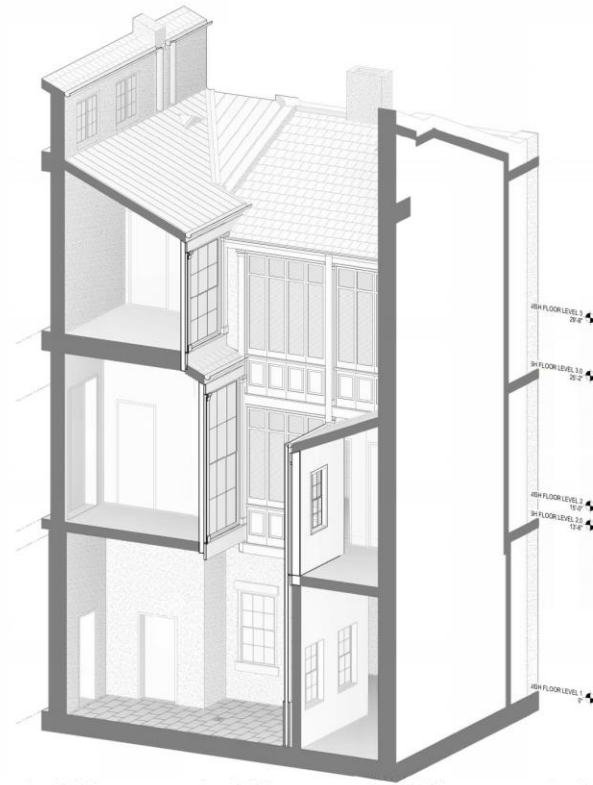
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Street Address
City, State
Phone Number

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REVISION #	DESCRIPTION	DATE







1 COURTYARD TYPE 2 - EXISTING AXON, NE
A2.03 SCALE







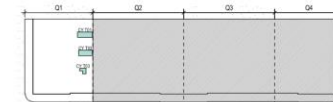
2 COURTYARD TYPE 2 - PROPOSED AXON, NE
A2.03 SCALE

MATERIAL LEGEND

-  STUCCO
-  WOOD
-  COPPER ROOF
-  SLATE ROOF

PHASE LEGEND

-  EXISTING CONSTRUCTION
-  DEMOLISHED CONSTRUCTION
-  PROPOSED CONSTRUCTION
-  PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH

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COURTYARD 2 - AXONS

A2.03



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RENOVATION AND RESTORATION**
600 ST. PETER STREET
NEW ORLEANS, LA 70116

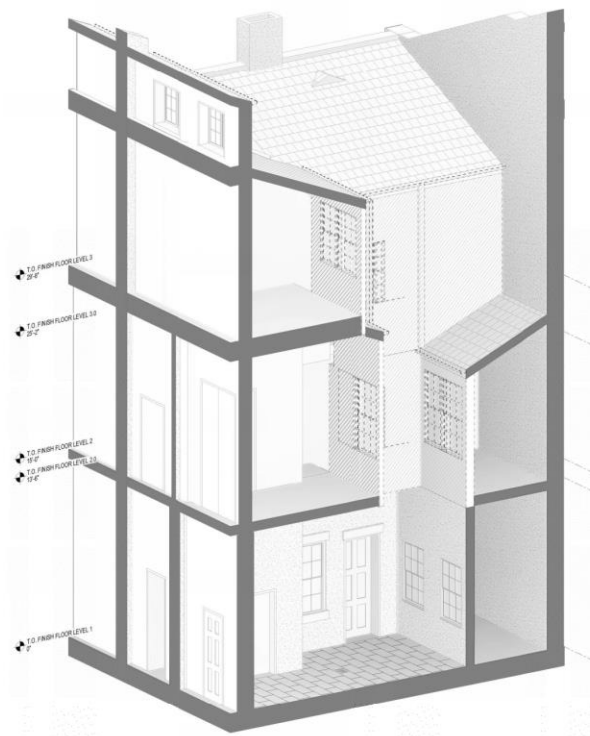
OWNER:
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

ARCHITECT:
TRAPOLIN PEER
850 TCHOUPICOLAAS ST.
NEW ORLEANS, LA 70130
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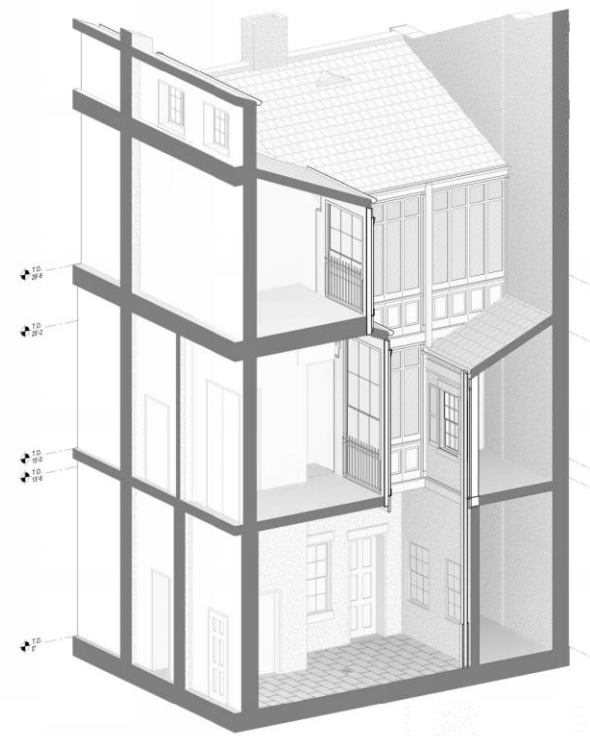
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1 COURTYARD TYPE 2 - EXISTING AXON, NW
A2.04 SCALE



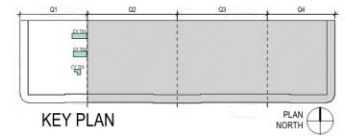
2 COURTYARD TYPE 2 - PROPOSED AXON, NW
A2.04 SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



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**COURTYARD 2 -
AXONS**

A2.04



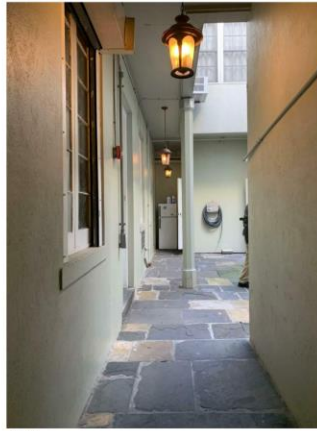


IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



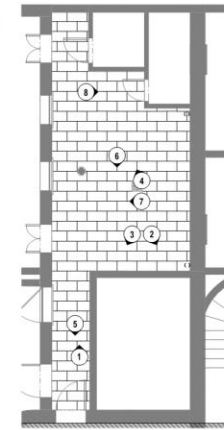
IMAGE 6



IMAGE 7



IMAGE 8



**FMC UPB ROOF AND
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500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER:
FRENCH MARKET CORPORATION
1006 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-528-6400

ARCHITECT:
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800 TCHOUPITOLAS ST.
NEW ORLEANS, LA 70130
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**COURTYARD 5 -
EXISTING
CONDITIONS**

A5.00



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500 ST. PETER STREET
NEW ORLEANS, LA 70116

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1000 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

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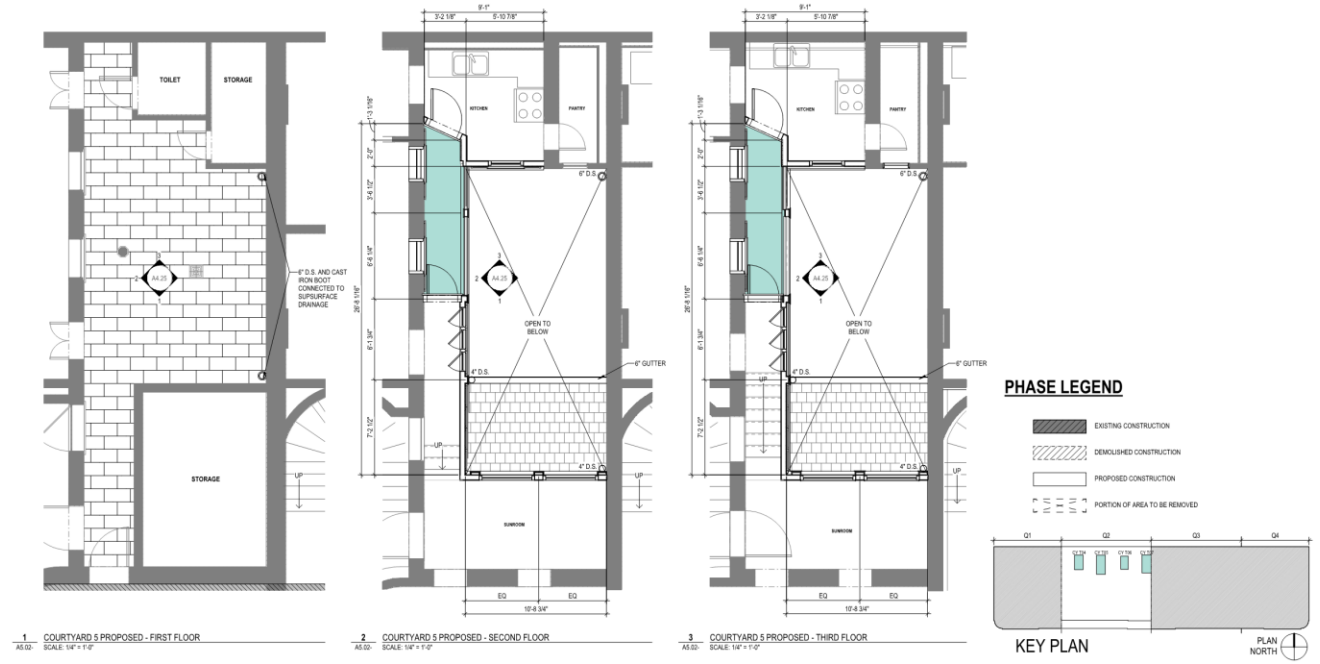
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**COURTYARD 5
-PROPOSED
PLANS**

A5.02-

16000 1/8" = 1'-0" (16000 1/8" = 1'-0")
 16000 1/8" = 1'-0" (16000 1/8" = 1'-0")



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

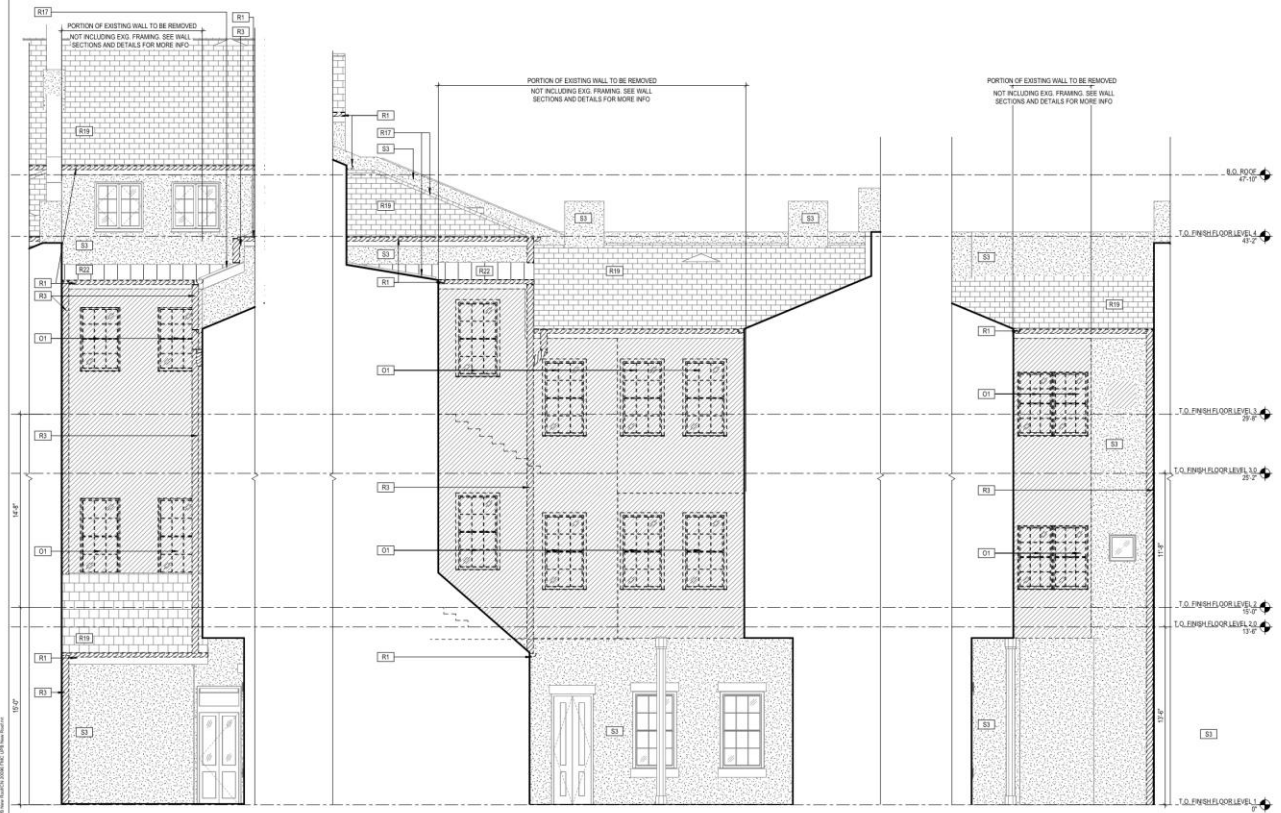
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REPAIR/RENOVATION NOTES: 03 ELEVATIONS	
TYPE MARK	REMARKS
01	REMOVE EXISTING NON-HISTORICAL WINDOW
R1	REMOVE EXISTING COPPER CUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND CUTTER PER PLAN DESIGNATION SIZE, STRAPPED AT 2" P.C. MAX
R3	REMOVE EXISTING COPPER DOWNSPOUT AND REPLACE WITH LARGER COPPER DOWNSPOUT PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRAPS PER 10' LENGTH AND AT ALL EAVES
R17	REMOVE AND SALVAGE EXISTING "Y" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR
R18	REPLACE ALL BROKEN/MISSING SLATE WITH NEW SLATE, SPINDLES OF LIKE SIZE AND COLOR TYPICAL AT ALL EXISTING CONDITIONS
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CRIMPED
S3	EXISTING COATED PLASTER SURFACE ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SOUNDED. AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNBONDED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK UNTIL FIRMLY BONDED ADHESION IS REACHED. SOUND AND BONDED PLASTER WILL BE REFINISHED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE TOOK PROVISION TO STABILIZE THE WALL AREA ONCE TRUPOINTING AND MOVEMENT CRACK REPAIRS HAVE CURED. THESE AREAS WILL BE PLASTER APPLICATION. DAMPENED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND ADHESION WITH FINISH PLASTER. FINISHED PLASTER WILL BE THE COMPOSITION OUTLINED BY THE Vieux Carre for Masonry Maintenance of Historic Structures. Depending on the depth and size of the repair, it can take multiple lifts and finish work to blend the repaired area into the existing.



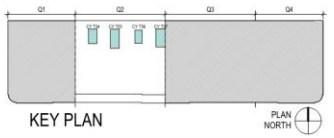
2 COURTYARD 5 - SOUTH - EXISTING SCALE: 1/4" = 1'-0"
3 COURTYARD 5 - WEST - EXISTING SCALE: 1/4" = 1'-0"
4 COURTYARD 5 - NORTH - EXISTING SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



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COURTYARD 5 - EXISTING ELEVATIONS

A5.03



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500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER:
FRENCH MARKET CORPORATION
1000 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

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**COURTYARD 5 -
PROPOSED
ELEVATIONS**

A5.04



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

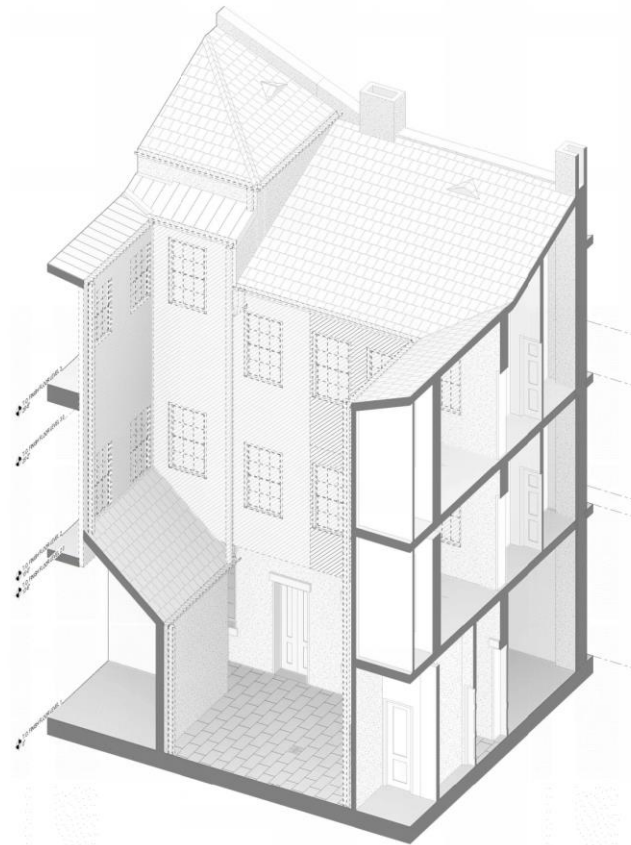
OWNER
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6600

ARCHITECT
TRAPOLIN PEER
810 TOUCHTOULOUS ST.
NEW ORLEANS, LA 70130
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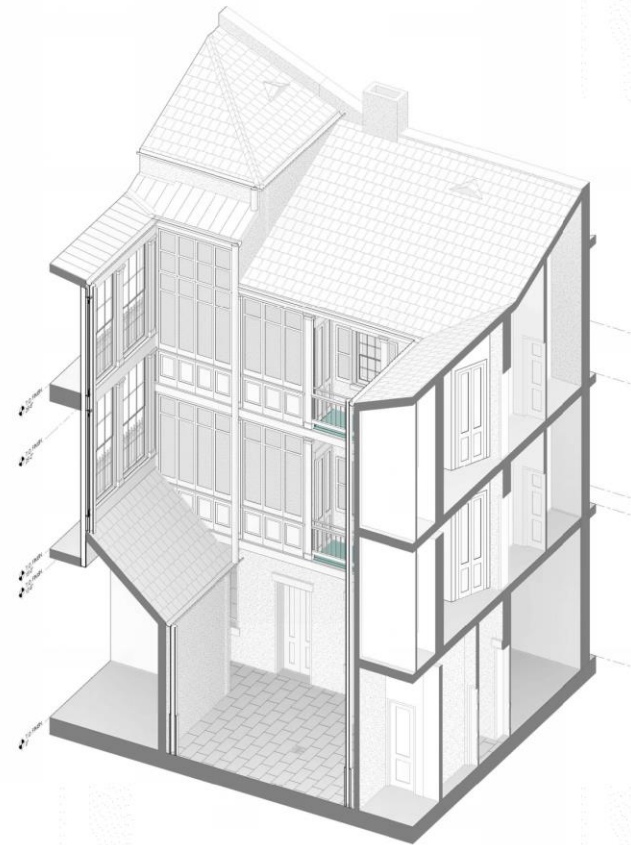
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1 COURTYARD 5 - EXISTING AXON, SE
SCALE



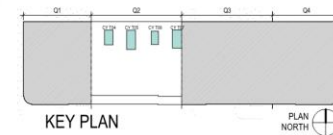
2 COURTYARD 5 - PROPOSED AXON, SE
SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

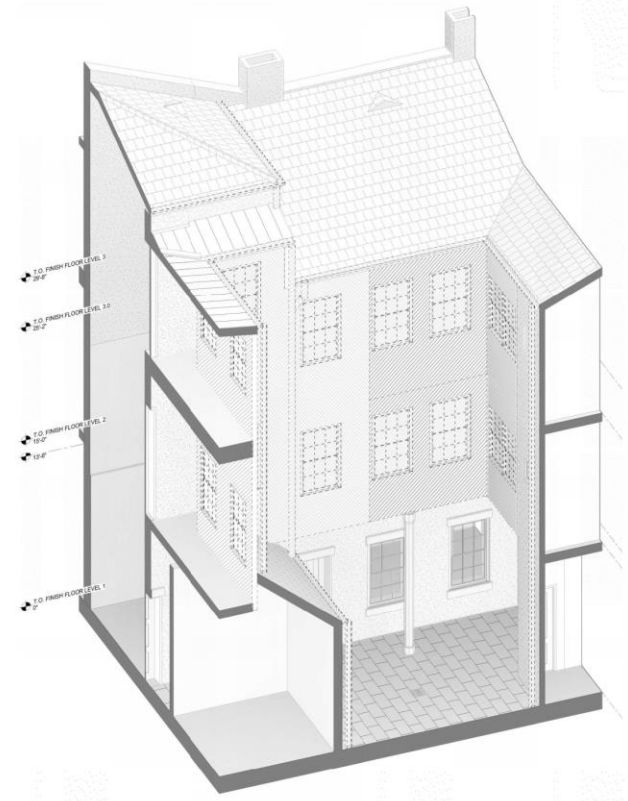
PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED

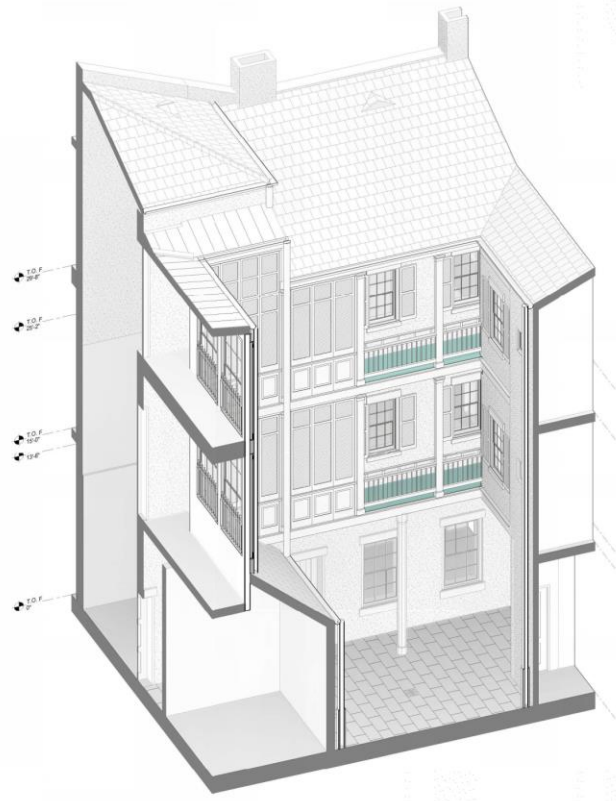


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PROJECT NUMBER
CADDWORK
DATE: 03/30/21
COURTYARD 5 - AXONS
A5.05





1 COURTYARD 5 - EXISTING AXON SW
SCALE



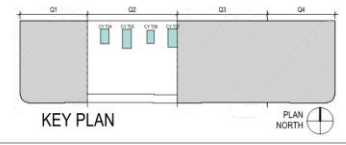
2 COURTYARD 5 - PROPOSED AXON SW
SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



**FMC UPB ROOF AND
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RENOVATION AND RESTORATION**
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

ARCHITECT
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**COURTYARD 5 -
AXONS**

A5.06



**FMC UPB ROOF AND
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1008 N. PETERS ST. #2
NEW ORLEANS, LA 70116
504-638-6400

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NEW ORLEANS, LA 70130
(504) 523-2772
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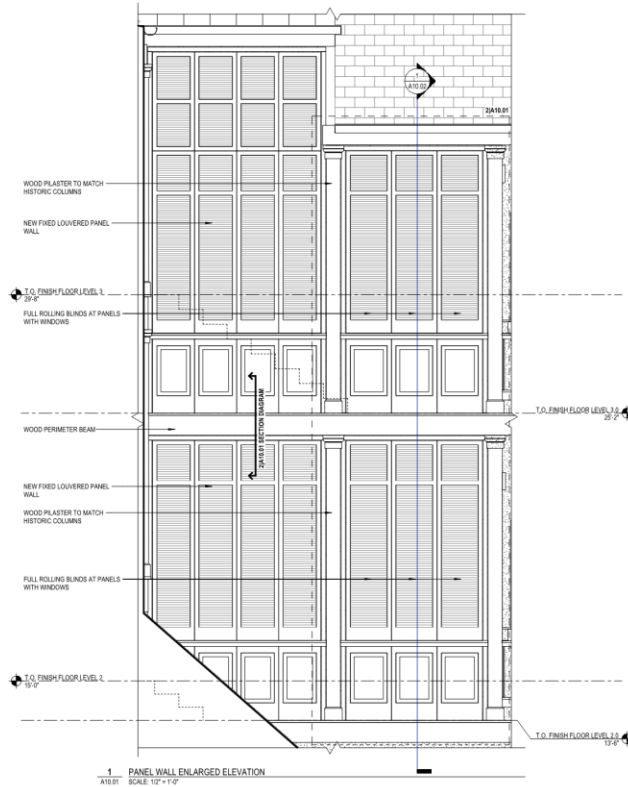
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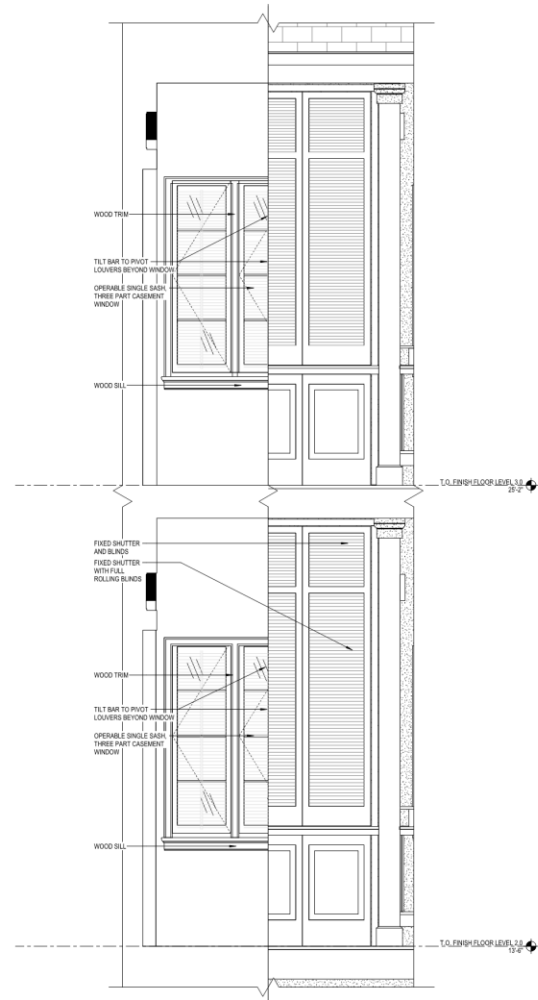
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PROJECT NUMBER
CR20096
ISSUE DATE
03/30/21

PANEL WALL AND
WINDOW

A10.01



1 PANEL WALL ENLARGED ELEVATION
A10.01
SCALE: 1/2" = 1'-0"



3 PANEL WINDOW INTERIOR AND EXTERIOR ELEVATION
A10.01
SCALE: 3/4" = 1'-0"



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6600

ARCHITECT: TRAPOLIN PEER
850 TCHOUQUETOULES ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

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Sheet Address
City, State
Phone Number

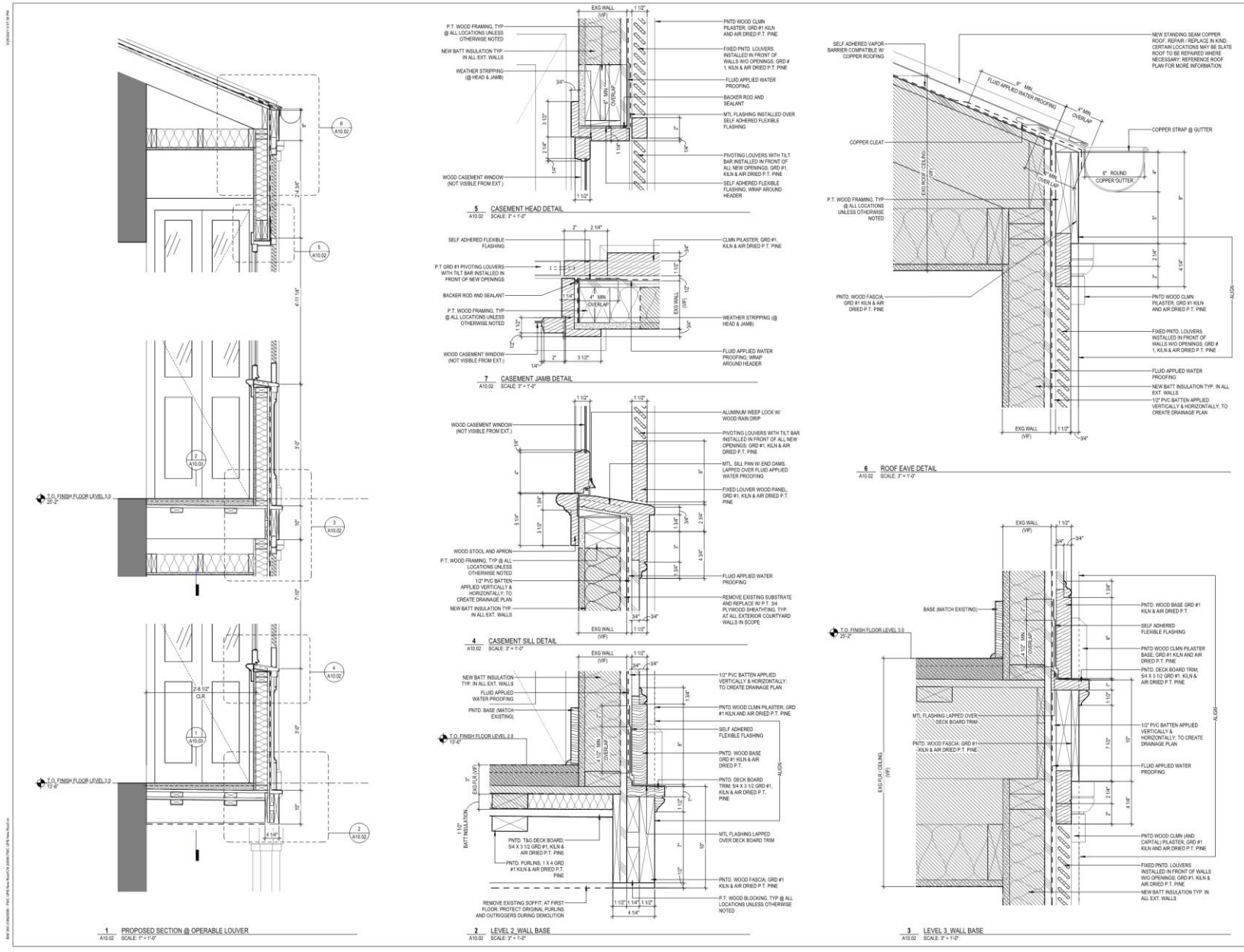
NOT FOR CONSTRUCTION

REVISION # | DESCRIPTION | DATE

TRAPOLIN PEER ARCHITECTS, INC.
PROJECT NUMBER:
CADD NUMBER:
ISSUE DATE:
03/30/21

TYP. WALL SECTION AND DETAILS

A10.02



**FMC UPB ROOF AND
BUILDING REPAIRS
RENOVATION AND RESTORATION**
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER
FRENCH MARKET CORPORATION
1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

ARCHITECT
TRAPOLIN PEER
850 TOUCHETTE LALUS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
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CONTRACTOR
Company Name
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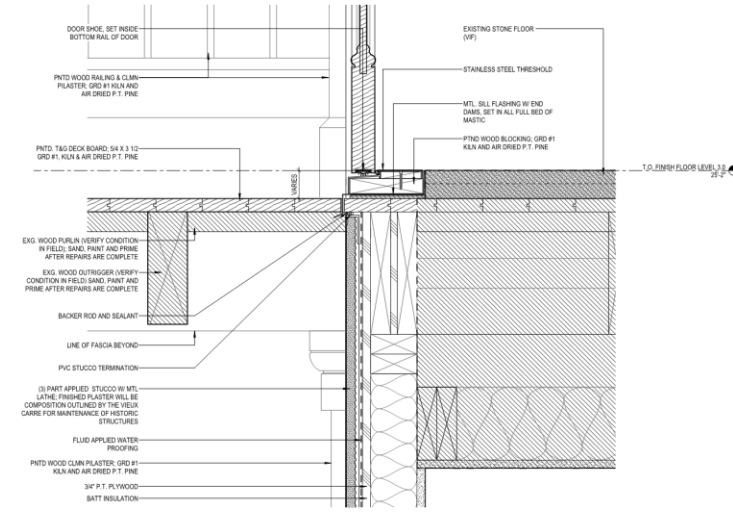
NOT FOR
CONSTRUCTION

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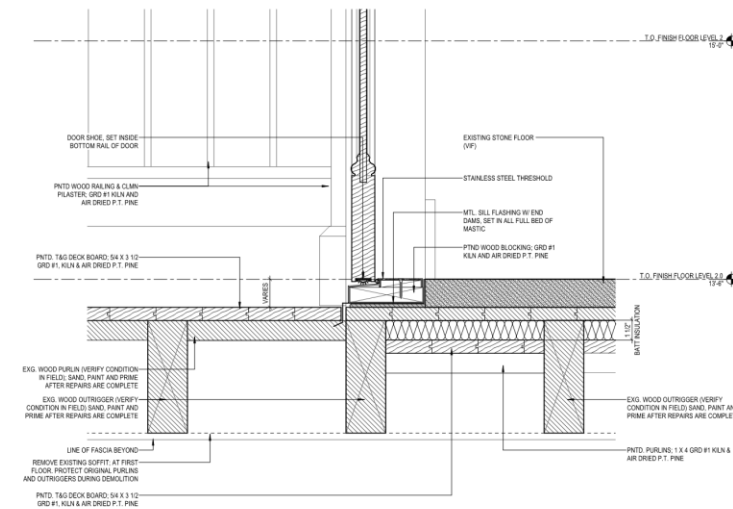
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PROJECT NUMBER
CA20096
ISSUE DATE
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TYP. SECTIONS
AT BALCONY

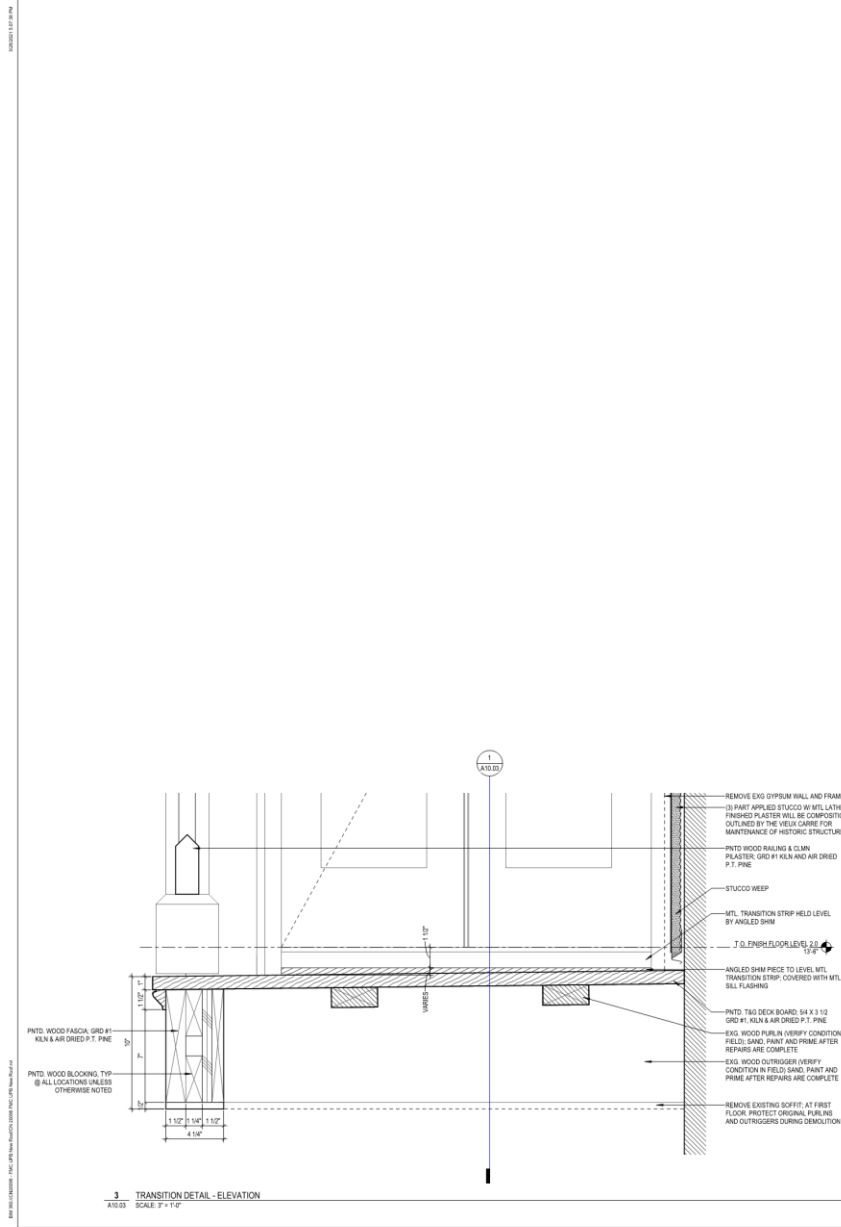
A10.03



2 TRANSITION DETAIL - LVL 3
A10.03 SCALE 7/16\"/>



1 TRANSITION DETAIL - LVL 2
A10.03 SCALE 7/16\"/>



3 TRANSITION DETAIL - ELEVATION
A10.03 SCALE 7/16\"/>



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

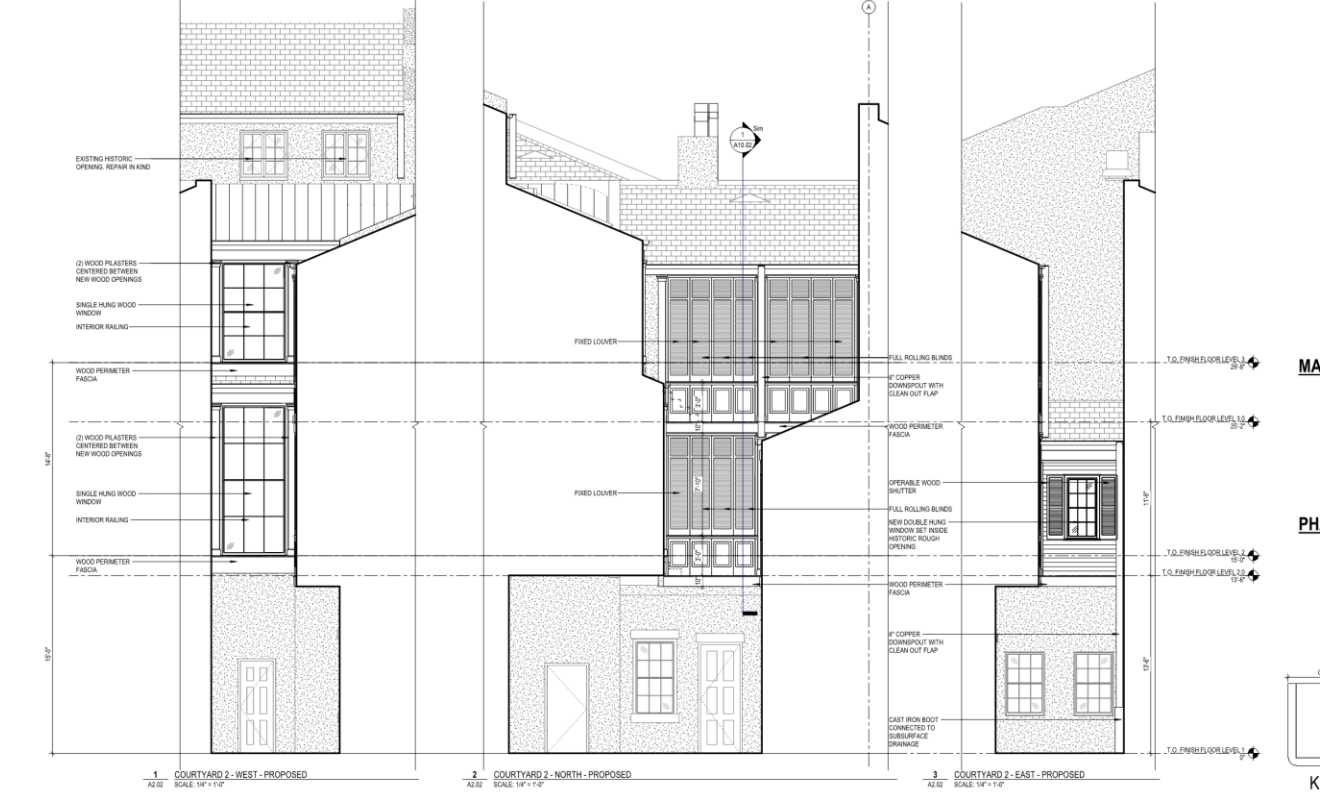
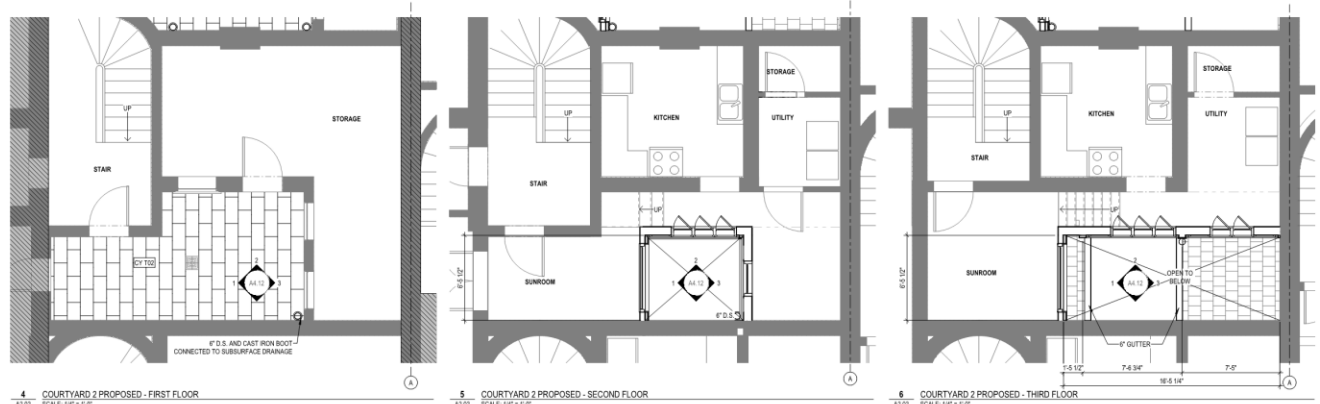
OWNER: FRENCH MARKET CORPORATION
1000 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6400

ARCHITECT: TRAPOLIN PEER
850 TCHOUPTOULAS ST.
NEW ORLEANS, LA 70130
(504) 523-2722
www.trapolinpeer.com

CONTRACTOR: **Company Name**
Street Address
City, State
Phone Number

NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE

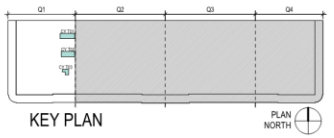


MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



© TRAPOLIN PEER ARCHITECTS, APC
PROJECT NUMBER: CN20096
ISSUE DATE: 03/30/21

COURTYARD 2 - PROPOSED ELEVATIONS AND PLANS

A2.02



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

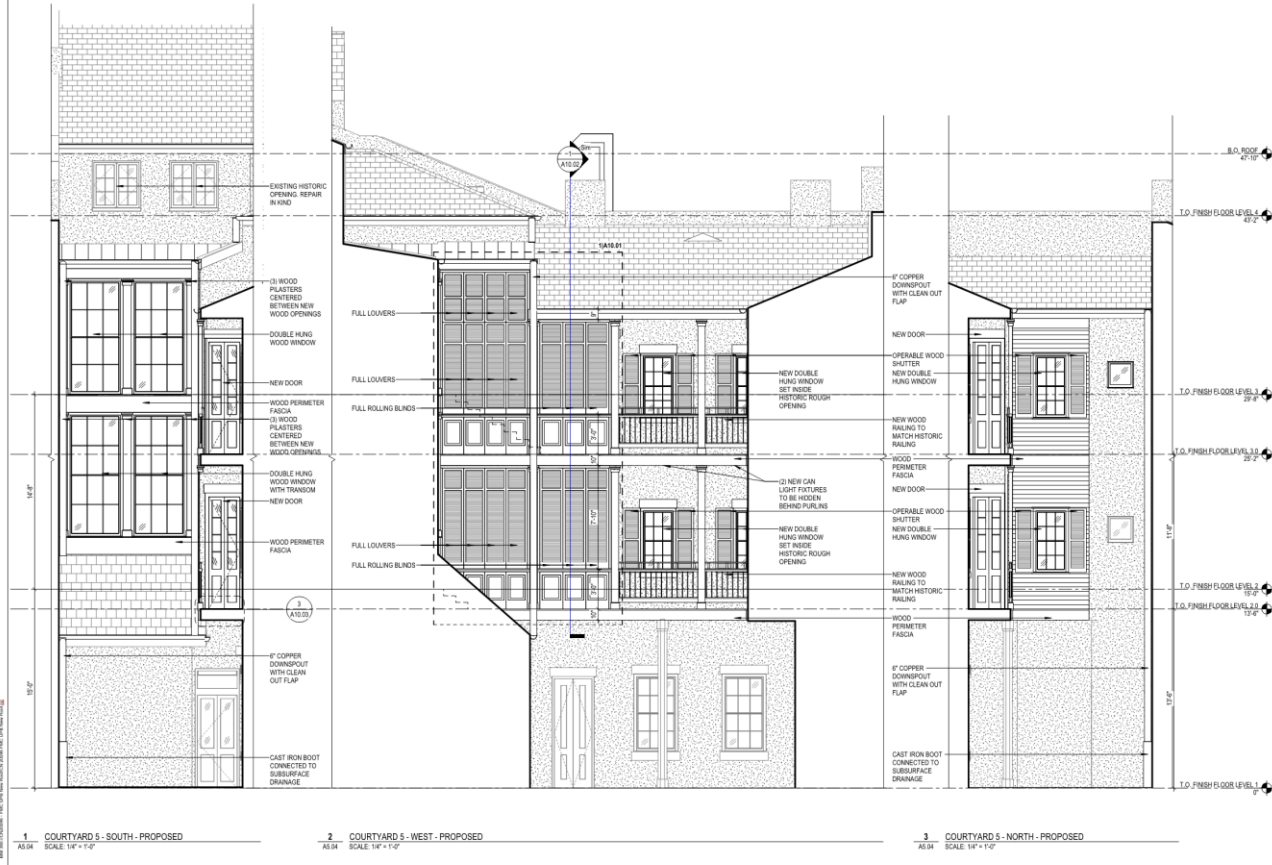
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1008 N. PETERS ST. #3
NEW ORLEANS, LA 70116
504-636-6600

ARCHITECT: TRAPOLIN PEER
810 TOURTOLOUSE ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

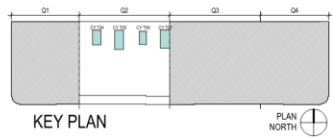
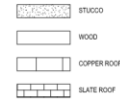
CONTRACTOR: **Company Name**
Street Address
City, State
Phone Number

NOT FOR CONSTRUCTION

REVISION #	DESCRIPTION	DATE



MATERIAL LEGEND



1 COURTYARD 5 - SOUTH - PROPOSED
AS/ST SCALE 1/4" = 1'-0"

2 COURTYARD 5 - WEST - PROPOSED
AS/ST SCALE 1/4" = 1'-0"

3 COURTYARD 5 - NORTH - PROPOSED
AS/ST SCALE 1/4" = 1'-0"

TRAPOLIN PEER ARCHITECTS, INC.
PROJECT NUMBER
COURT05W
DATE: 03/30/21
COURTYARD 5 - PROPOSED ELEVATIONS

A5.04



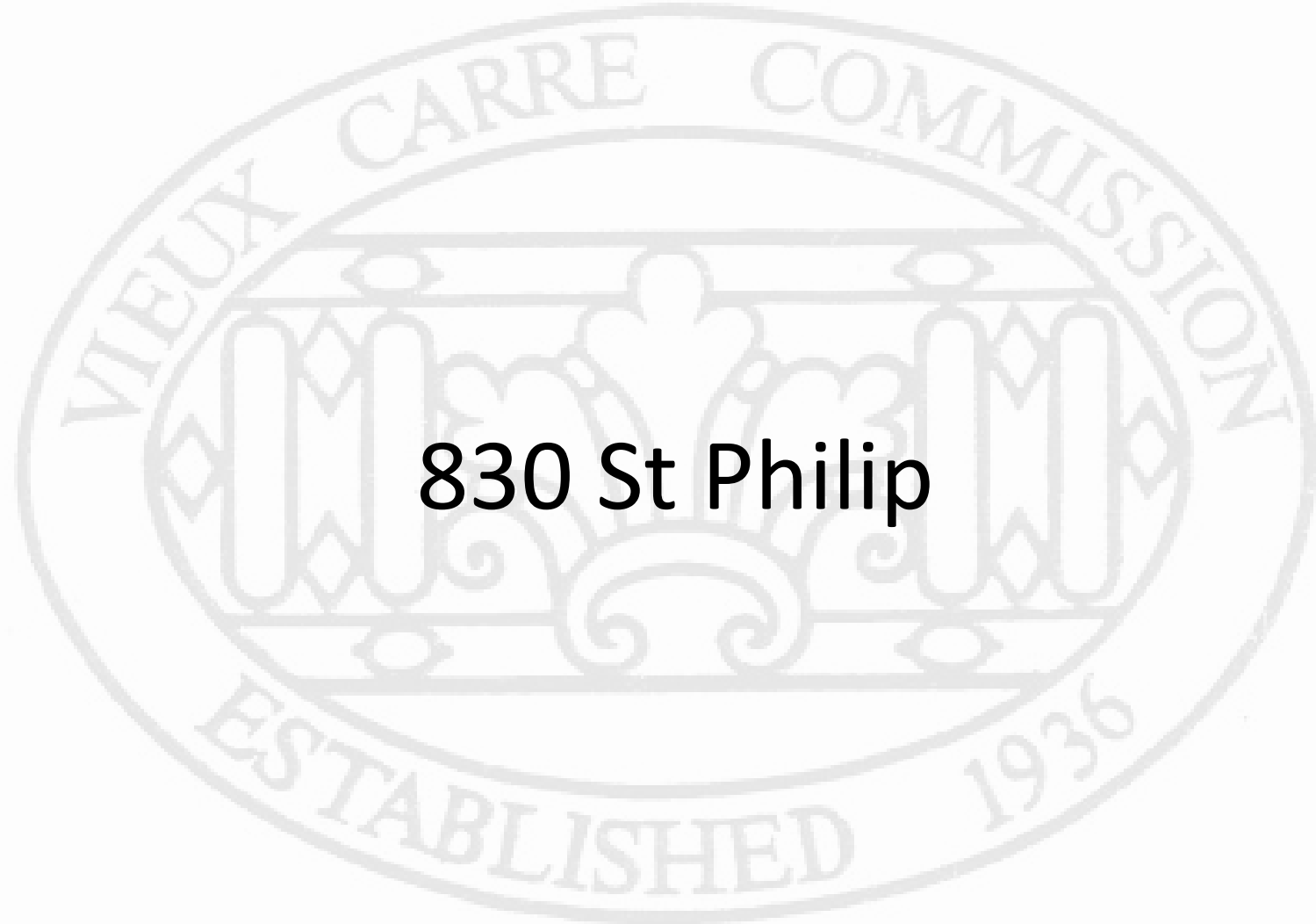


Vieux Carré Commission Architecture Committee Meeting

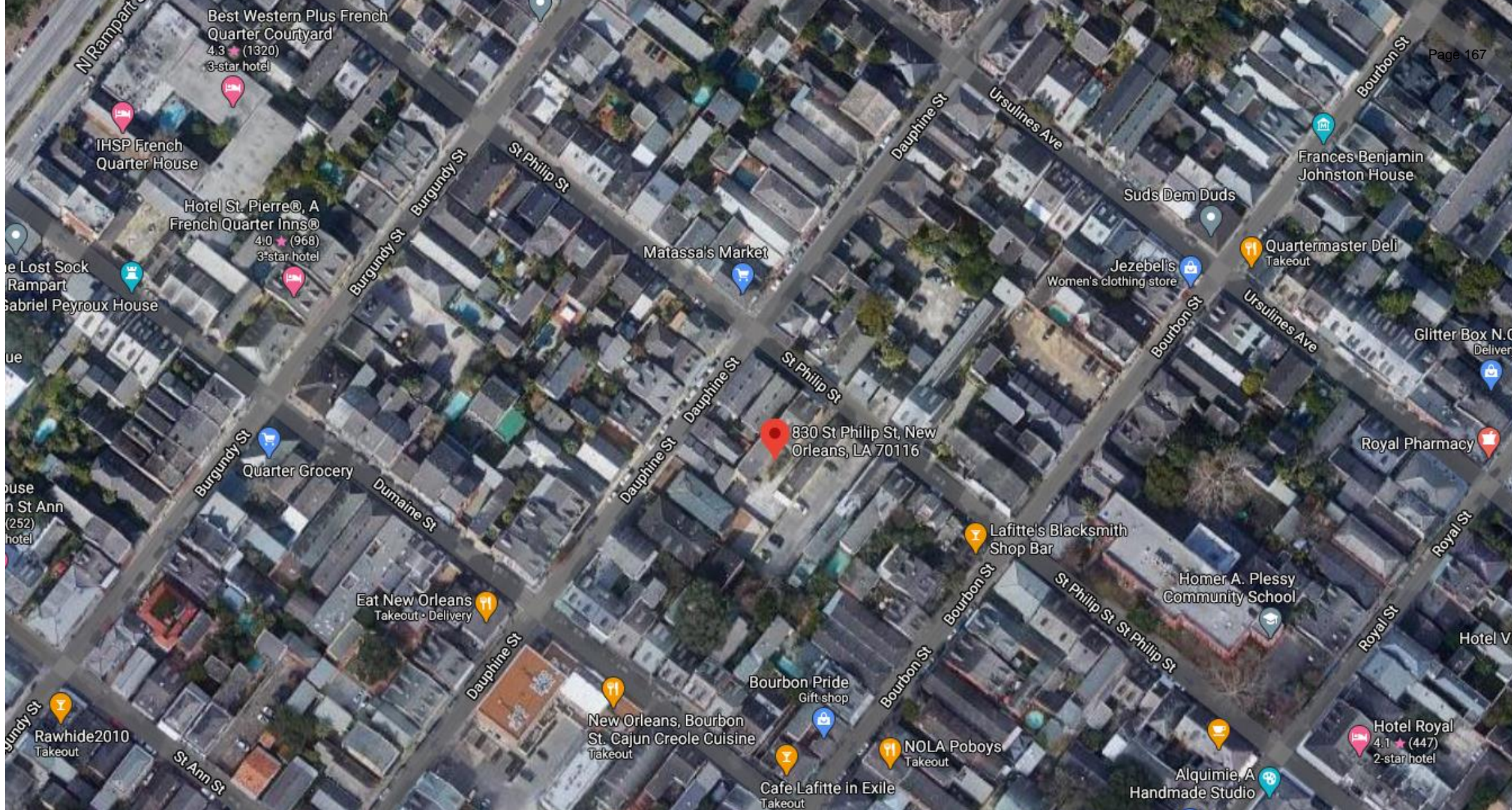
Tuesday, April 13, 2021



New Business



830 St Philip



830 St Philip

VCC Architectural Committee

February 9, 2021



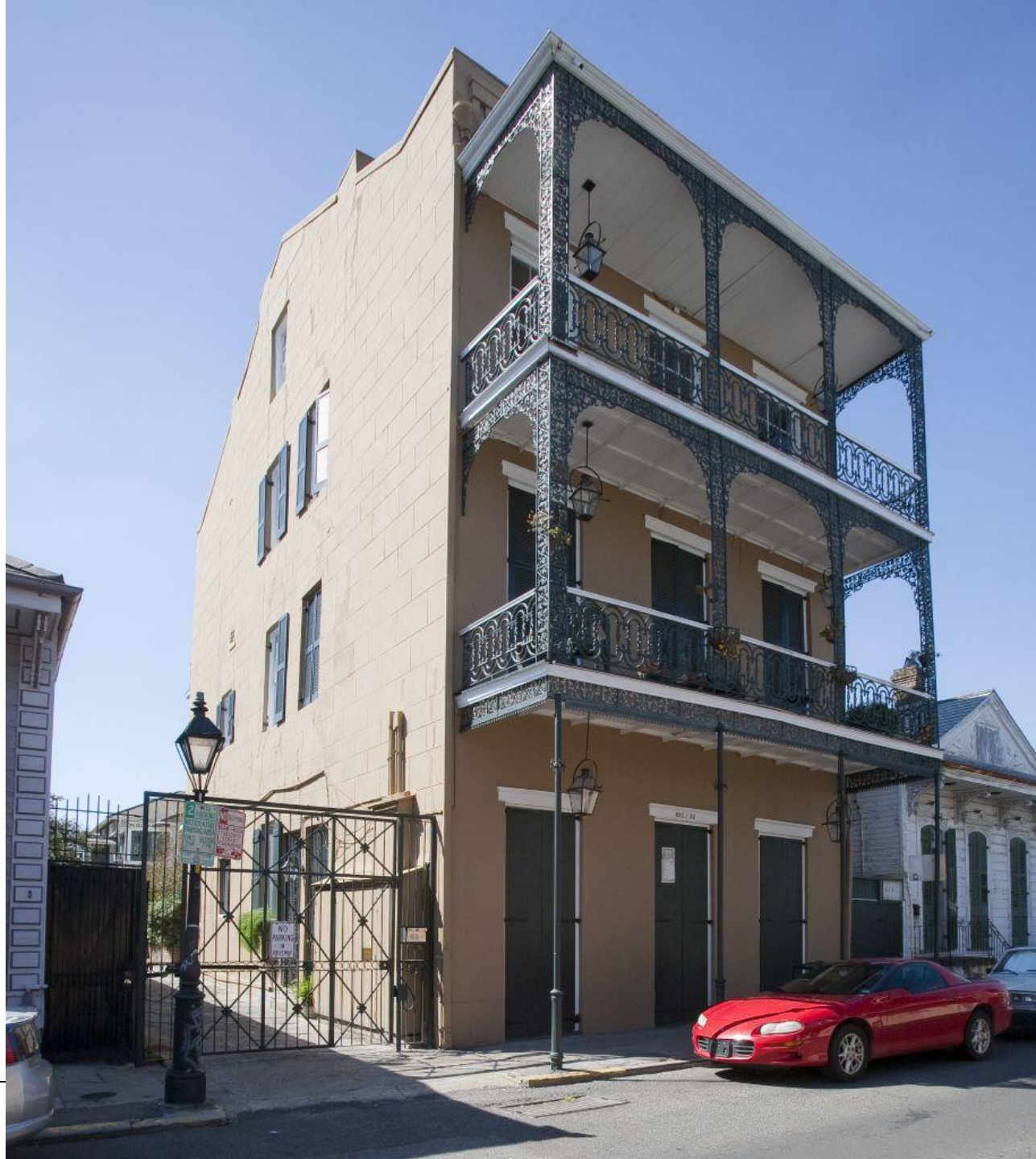


830 St Philip

VCC Architectural Committee

February 9, 2021





830 St Philip

VCC Architectural Committee

February 9, 2021





830 St Philip

VCC Architectural Committee

February 9, 2021



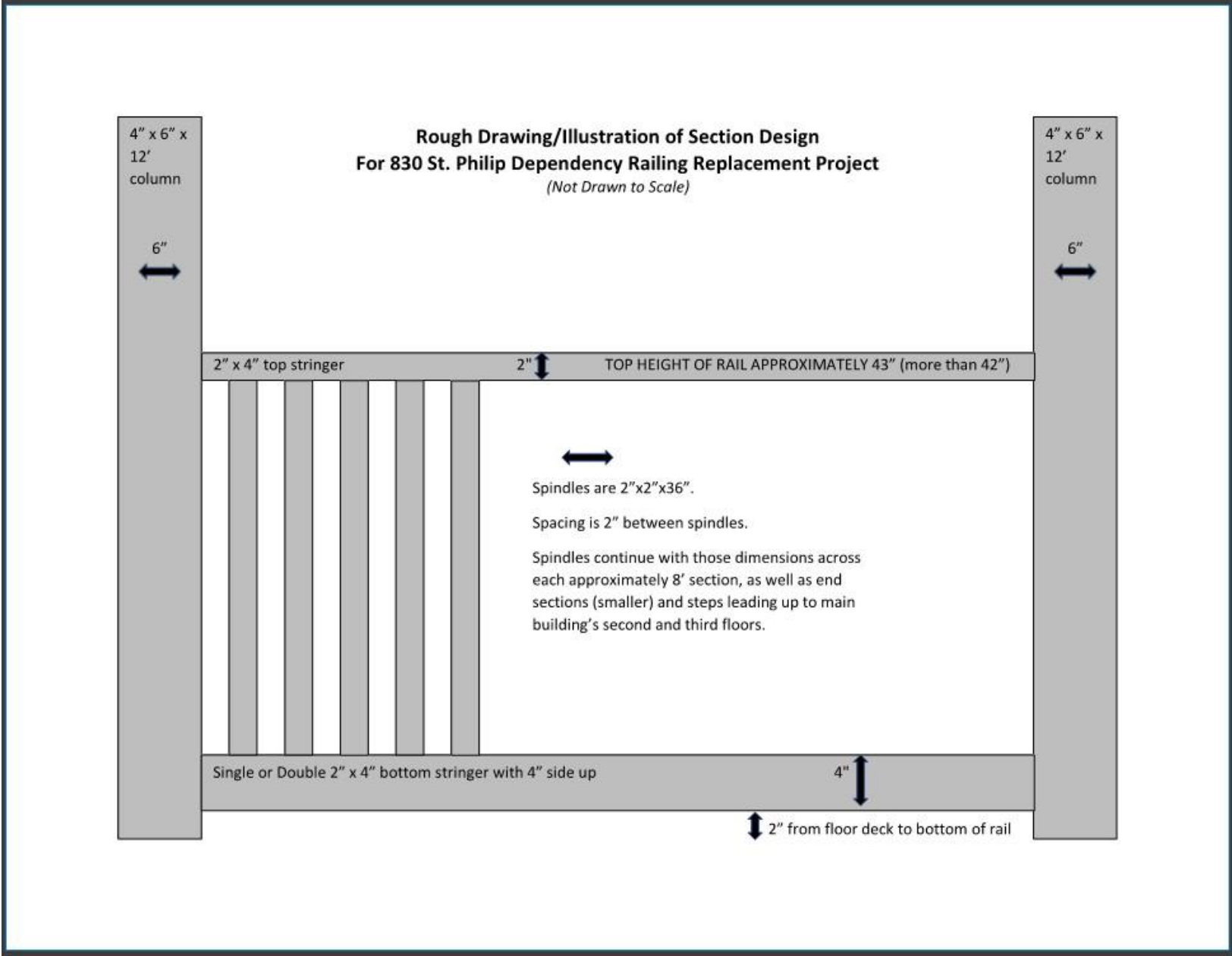


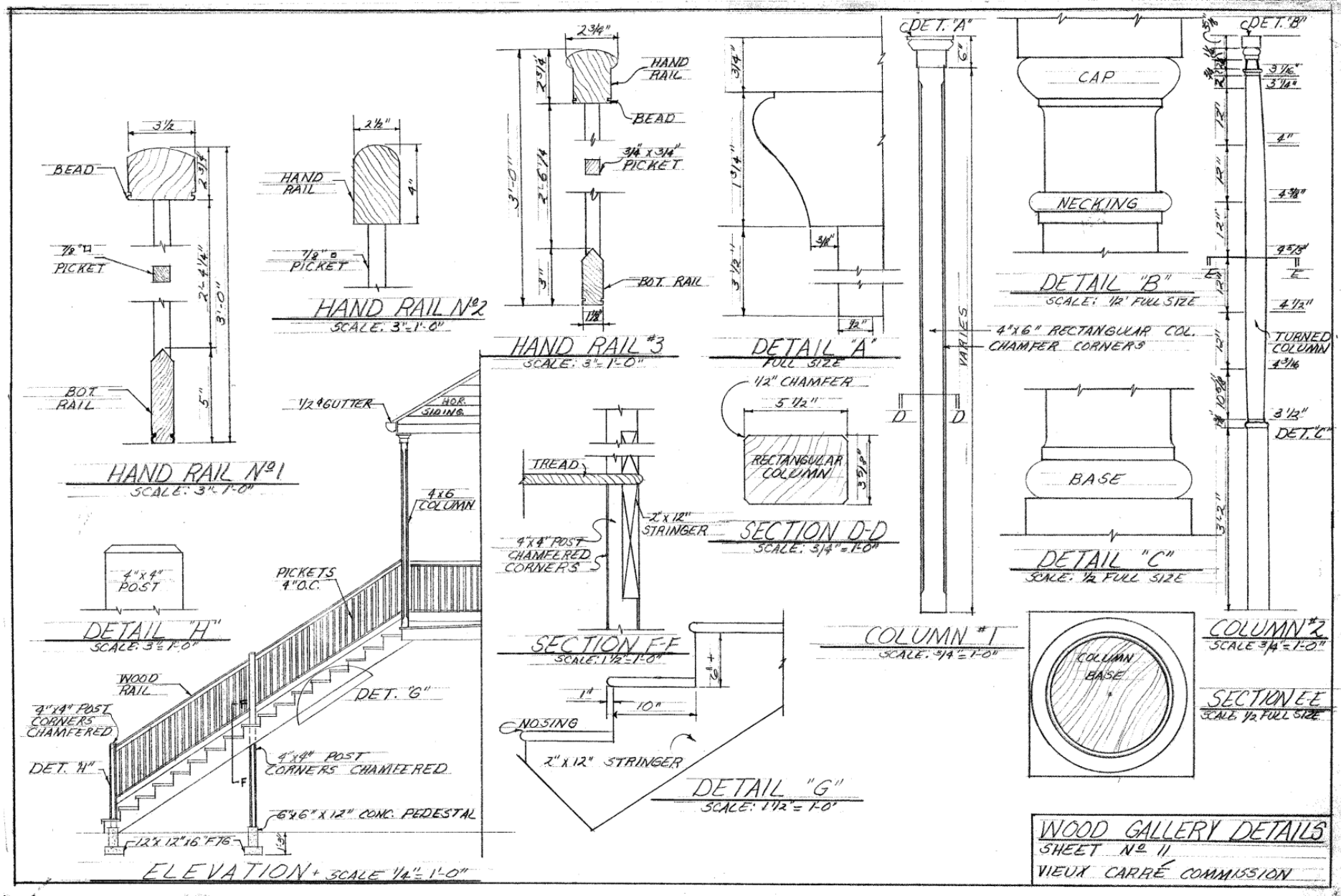
830 St Philip

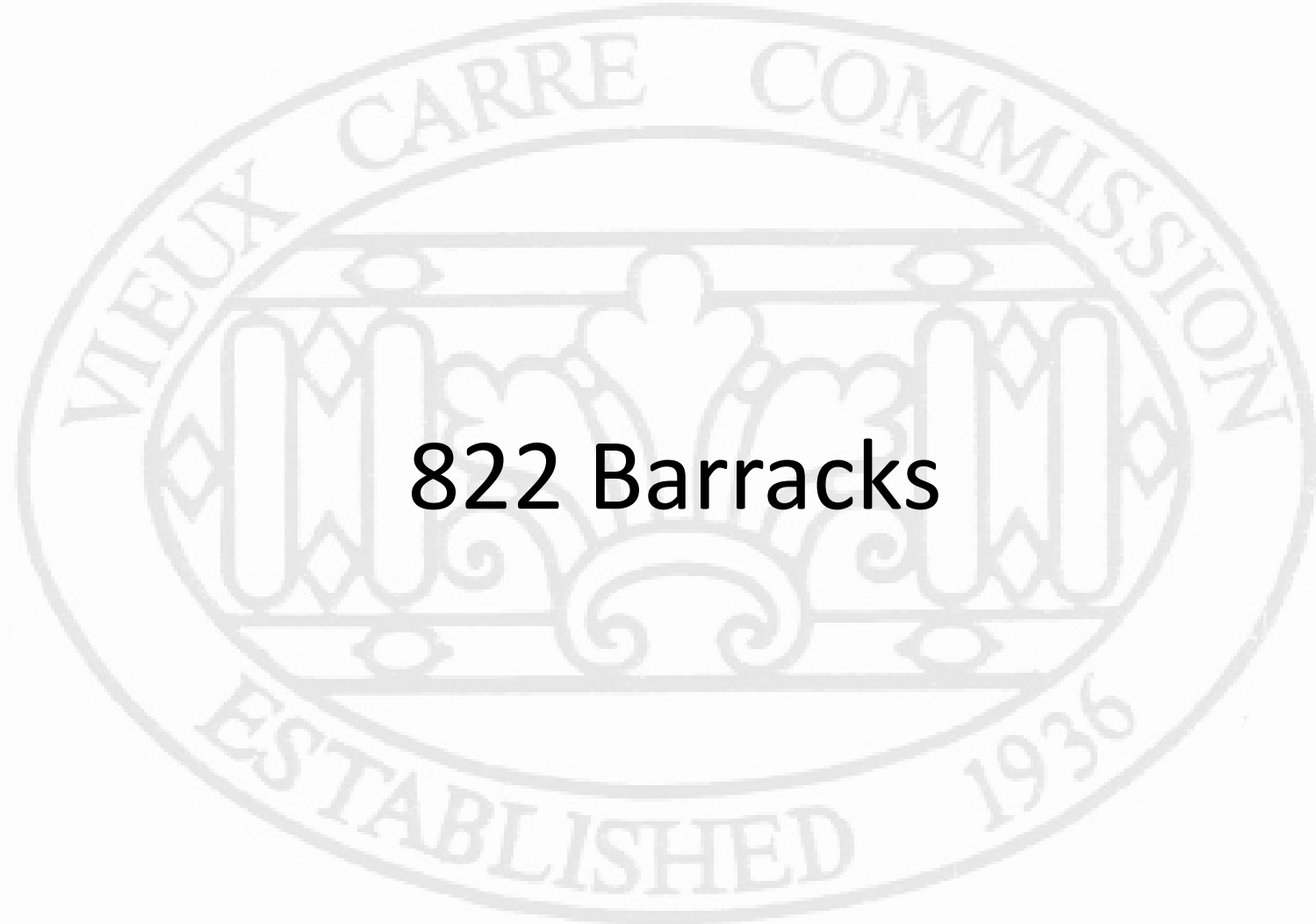
VCC Architectural Committee

February 9, 2021

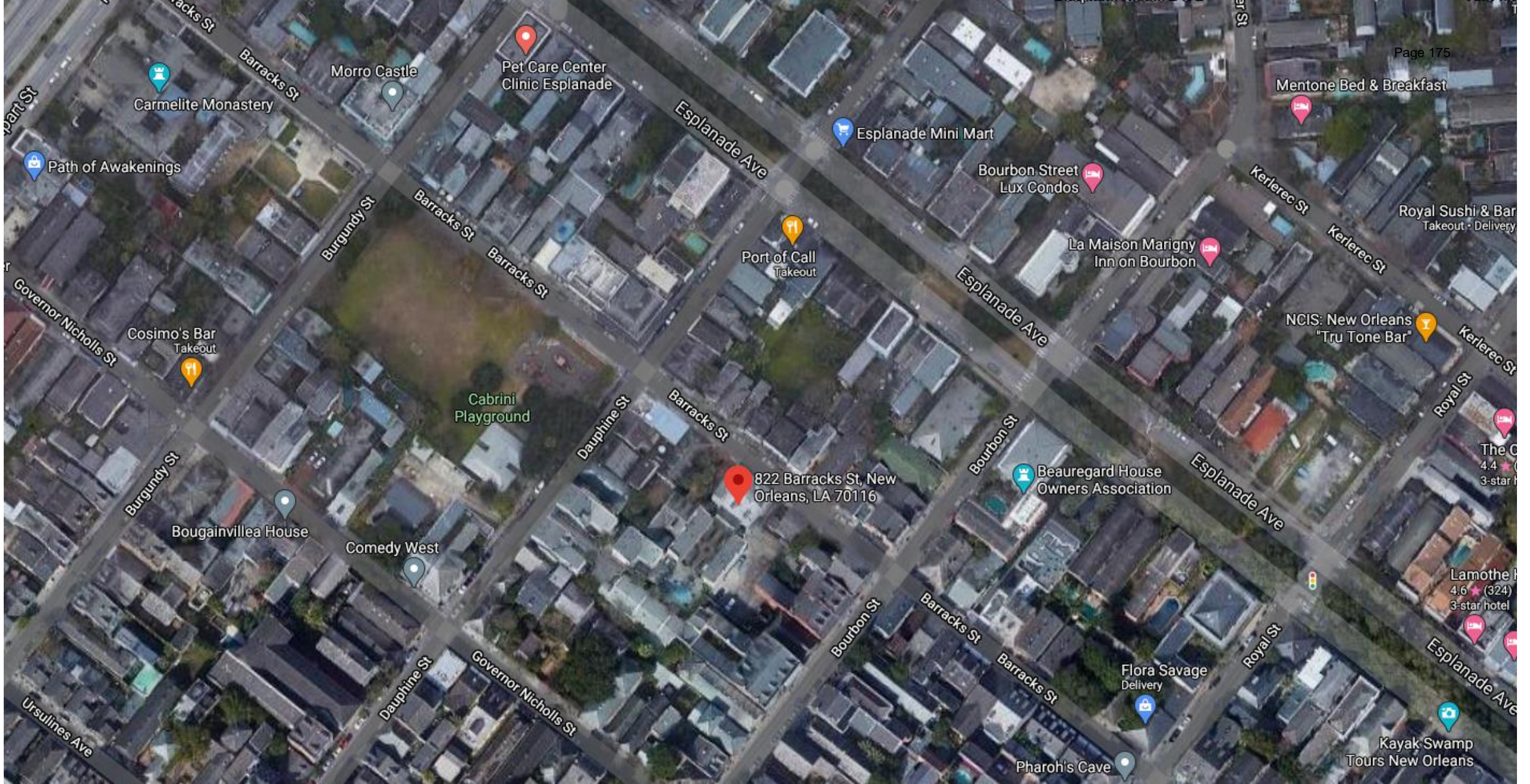








822 Barracks



822 Barracks

VCC Architectural Committee

April 13, 2021





822 Barracks

VCC Architectural Committee

April 13, 2021





822 Barracks

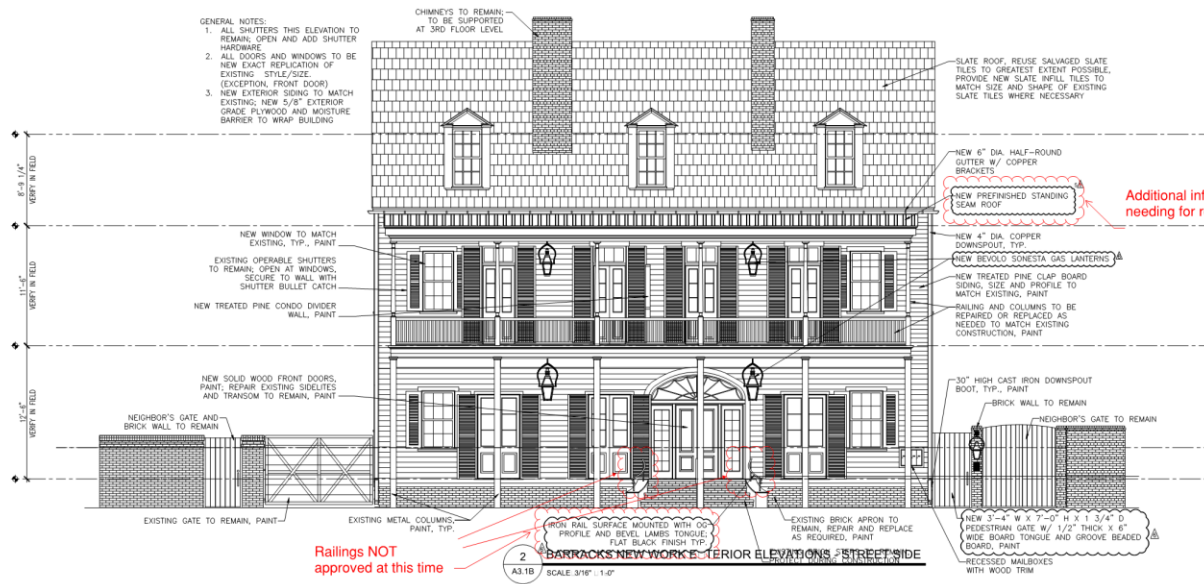
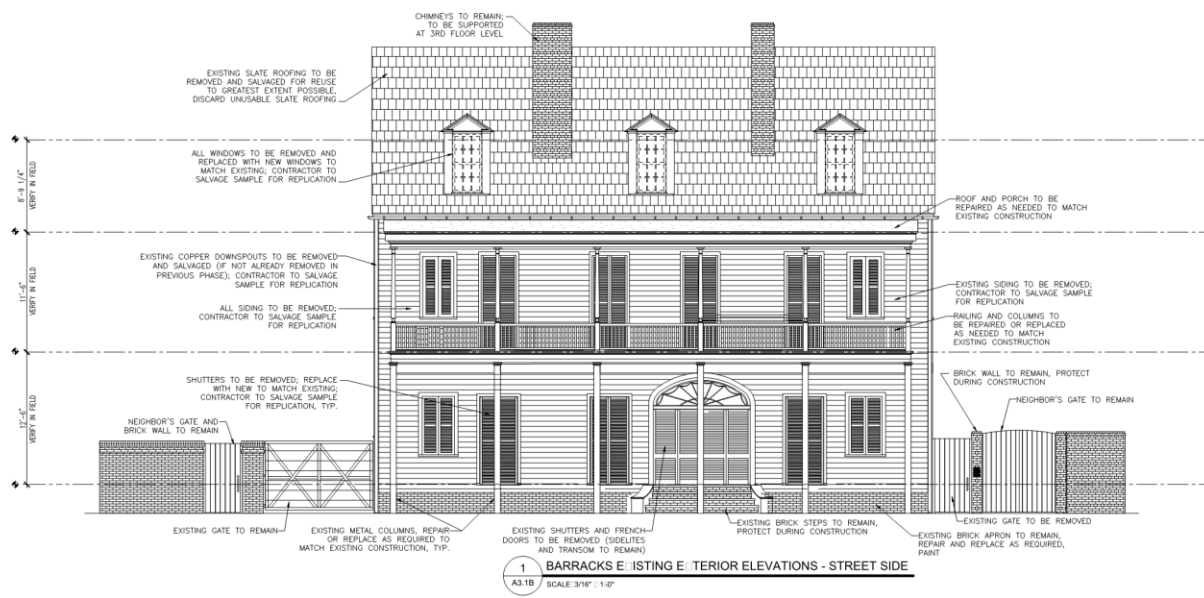
VCC Architectural Committee

April 13, 2021





822 Barracks – 2014 – Previously existing gutters and downspout



fl+ WB
fauntleroy latham weldon barré architects
a professional corporation in continuous practice since 1981

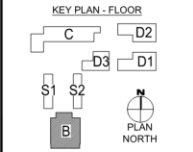
architecture
 planning
 interiors
 sustainable design
 consulting

229 ST. OHN LANE
 COVINGTON, LA. 0433
 985-893-4100

MAISON DU PARC

822 BARRACKS STREET
 AND
 1220 DAUPHINE STREET
 NEW ORLEANS, LOUISIANA
 70471

BARDA PROPERTIES, LLC



REVISIONS AND THE BIDDING PROCESS FOR THE MAISON DU PARC PROJECT. THESE DRAWINGS SHALL NOT BE COPIED, REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF FAUNTLEROY LATHAM WELDON BARRÉ ARCHITECTS, APC.

Issue	Date	Revised
1	9/15/2015	INTERIOR DEMOLITION
2	9/16/2015	SITE DEMOLITION (EXCLUDING DAUPHINE)
3	1/20/2015	DAUPHINE BUILDING DEMOLITION
4	3/25/2015	PERMIT AND INITIAL PRICING
5	10/29/2015	CONSTRUCTION DOCUMENTS
6	10/12/2015	VCC COMMENTS
8	1/13/2015	ADDENDUM #1

CONSTRUCTION DOCUMENTS

Job No.	214045.01	Sheet No.	18 of 18
Drawn by	SLB	Checked by	K-91
Date	Nov 18, 2015		

A3.1B

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Additional information needing for roofing material

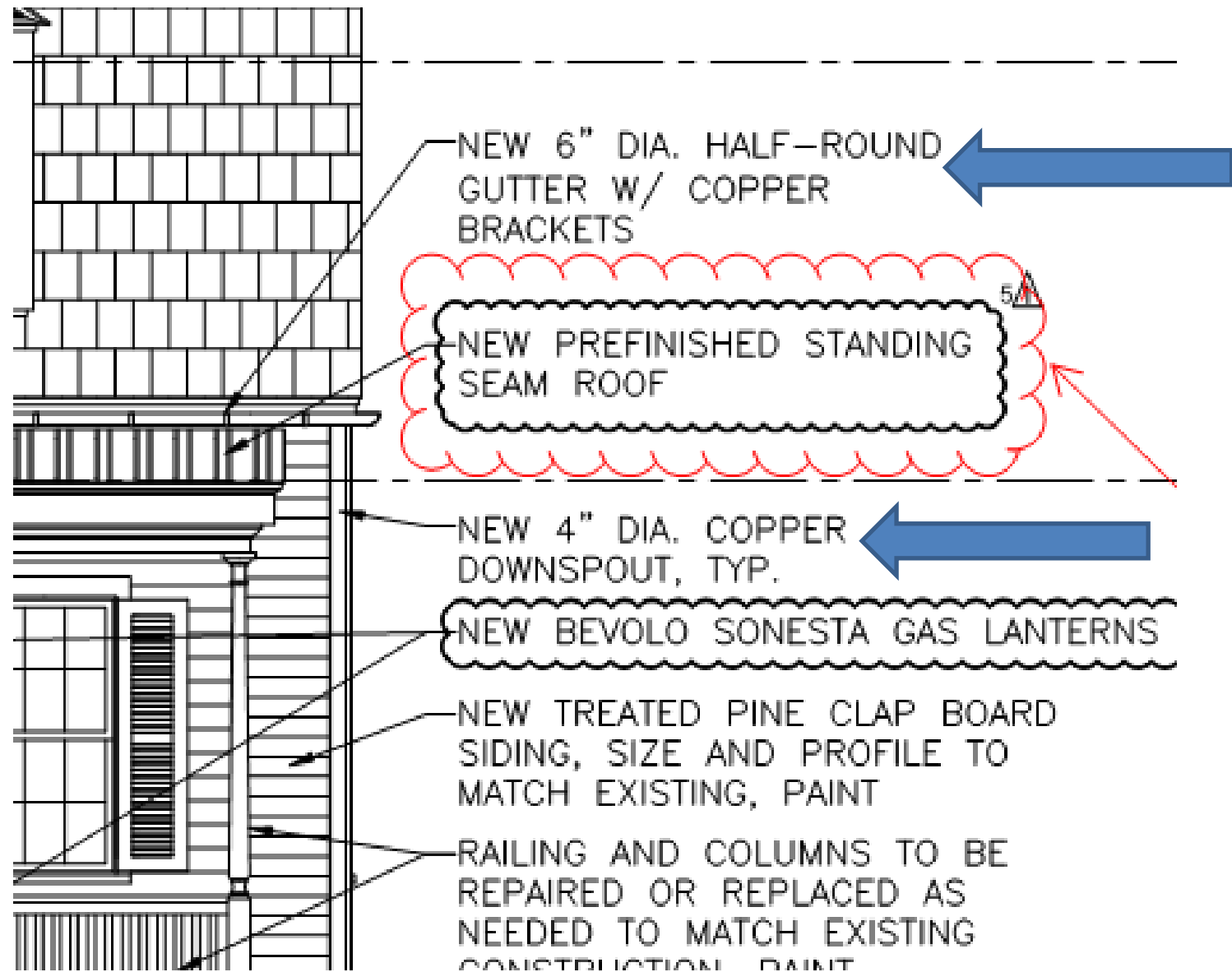
Railings NOT approved at this time

822 Barracks – Approved Plans Including Gutter and Downspouts at main building

VCC Architectural Committee

April 13, 2021





822 Barracks – Approved Plans Including Gutter and Downspouts at main building





822 Barracks

VCC Architectural Committee

April 13, 2021





822 Barracks – No Gutters or Downspouts installed





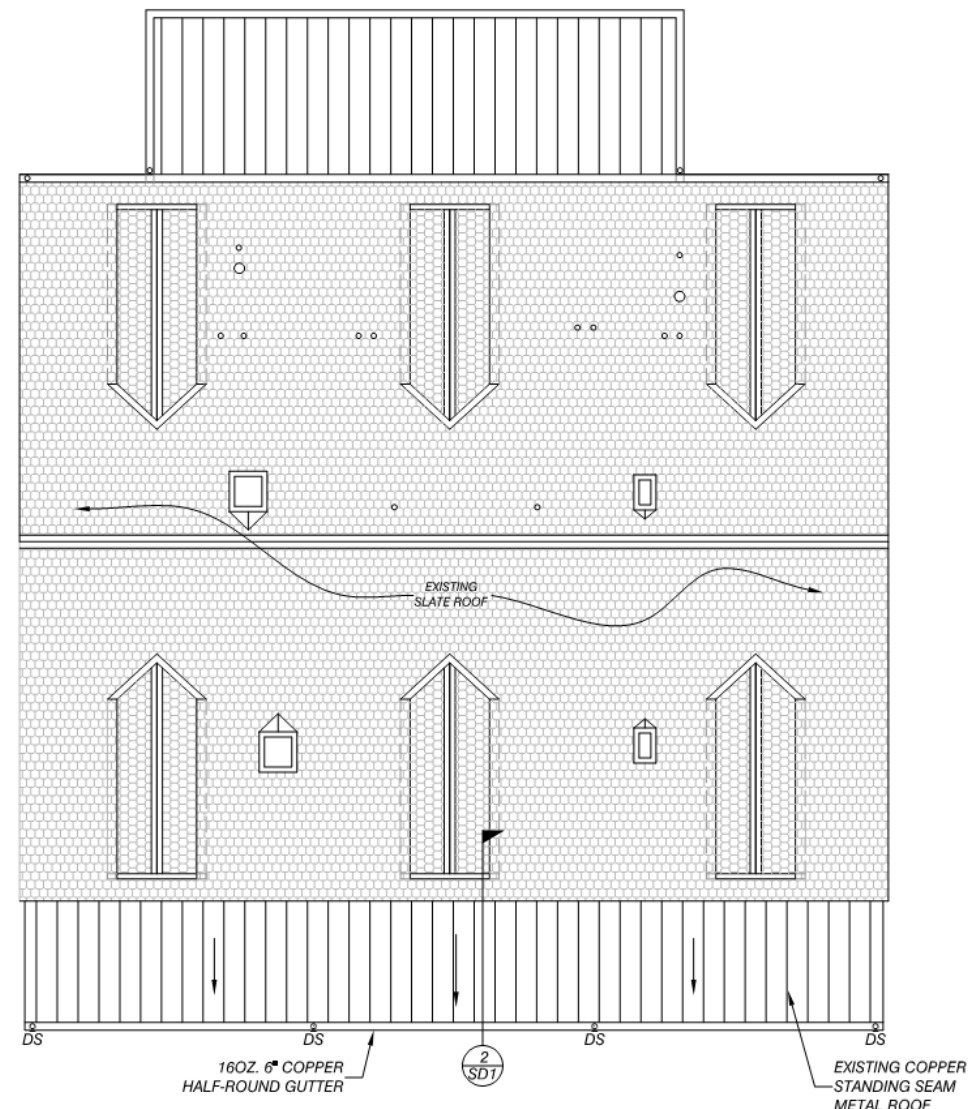
822 Barracks

VCC Architectural Committee

03 17 2020

April 13, 2021

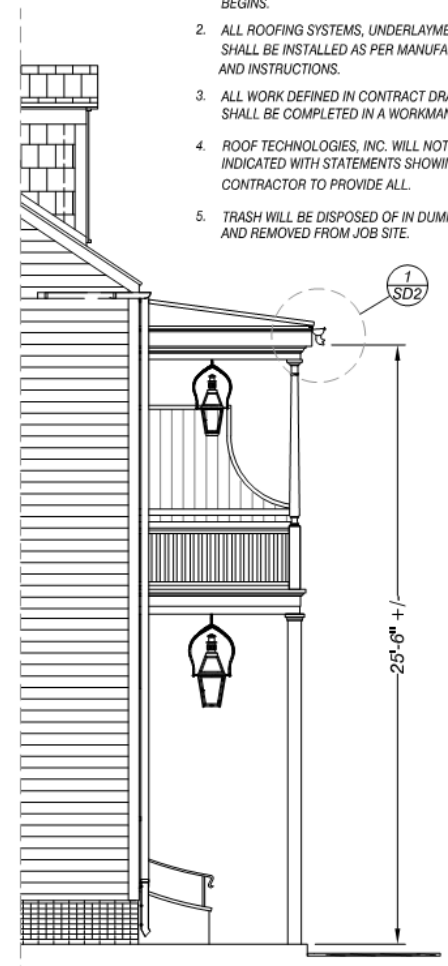




1 ROOF PLAN @ BARRACKS BUILDING
SCALE: 1/8" = 1'-0"

ROOFING NOTES

1. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD BEFORE ANY FABRICATION OR INSTALLATION BEGINS.
2. ALL ROOFING SYSTEMS, UNDERLAYMENTS AND FLASHINGS, SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
3. ALL WORK DEFINED IN CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE COMPLETED IN A WORKMANSHIP LIKE MANNER.
4. ROOF TECHNOLOGIES, INC. WILL NOT BE RESPONSIBLE FOR TASK INDICATED WITH STATEMENTS SHOWING "BY OTHERS". CONTRACTOR TO PROVIDE ALL.
5. TRASH WILL BE DISPOSED OF IN DUMPSTERS PROVIDED BY G.C. AND REMOVED FROM JOB SITE.



2 ELEVATION @ BARRACKS BUILDING
SCALE: N.T.S.



P.O. BOX 1328 - HARVEY, LOUISIANA 70059
PHONE: (504) 366-9283 FAX: (504) 364-6413

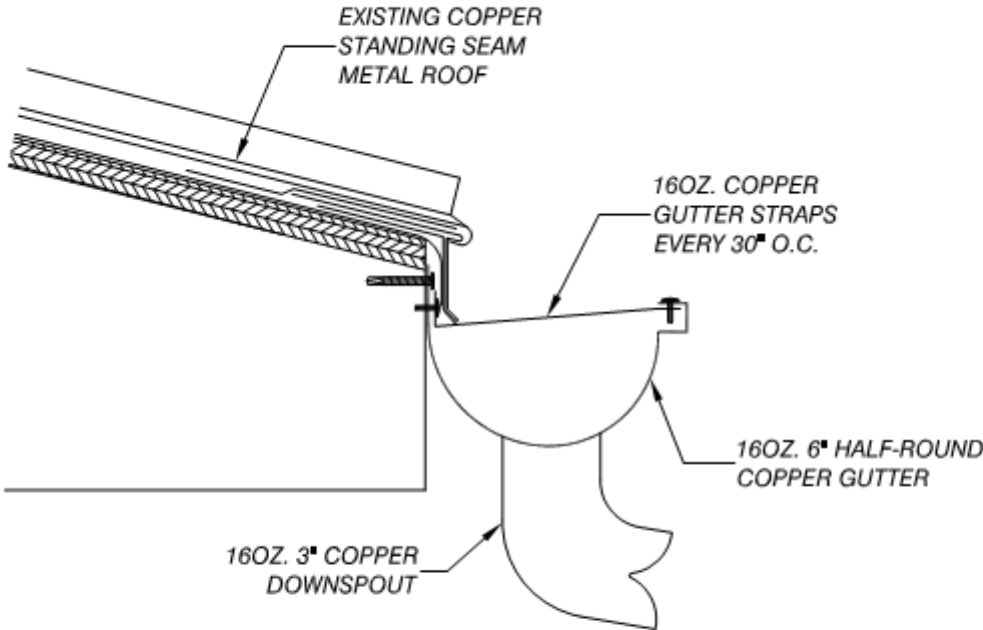
RENOVATIONS TO THE
MAISON DU PARC
822 BARRACKS STREET, NOLA 70116
ARCHITECTS: FAUNTLEROY LATHAM WLEDON BARRE ARCHITECTS

DATE: 3-12-2021
DRAWN BY: STM
SCALE: AS SHOWN
PROJECT #:

SD-1

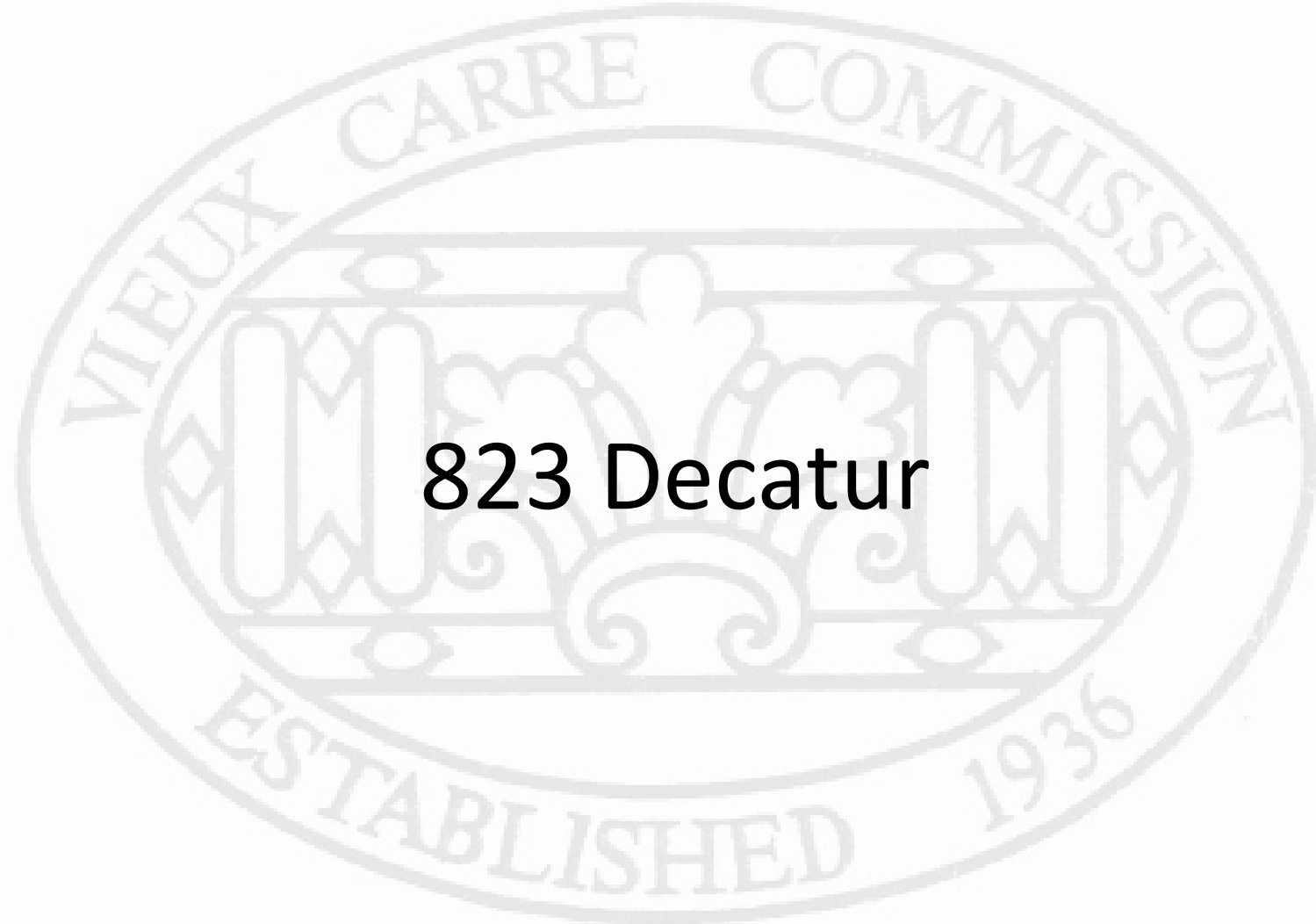
OF 2 SHEETS



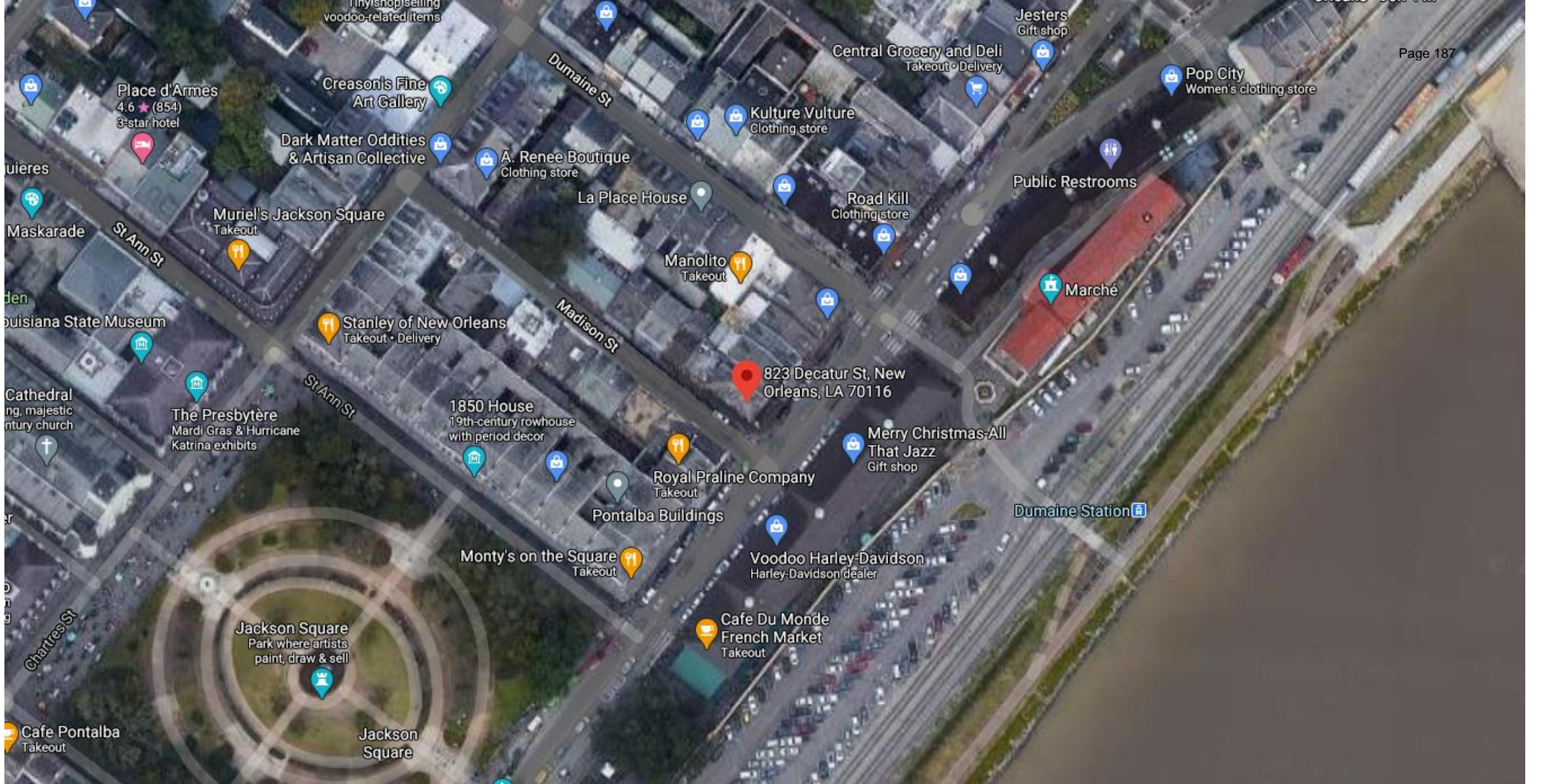


1 PROPOSED GUTTER DETAIL@ EXISTING METAL ROOF
SCALE: N.T.S.





823 Decatur



823 Decatur

VCC Architectural Committee

April 13, 2021





823 Decatur

VCC Architectural Committee

April 13, 2021





823 Decatur

VCC Architectural Committee

April 13, 2021





823 Decatur

VCC Architectural Committee

02 26 2021

April 13, 2021





823 Decatur

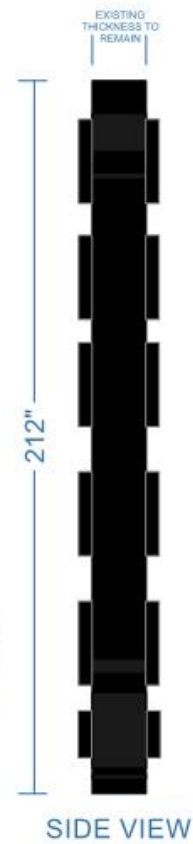
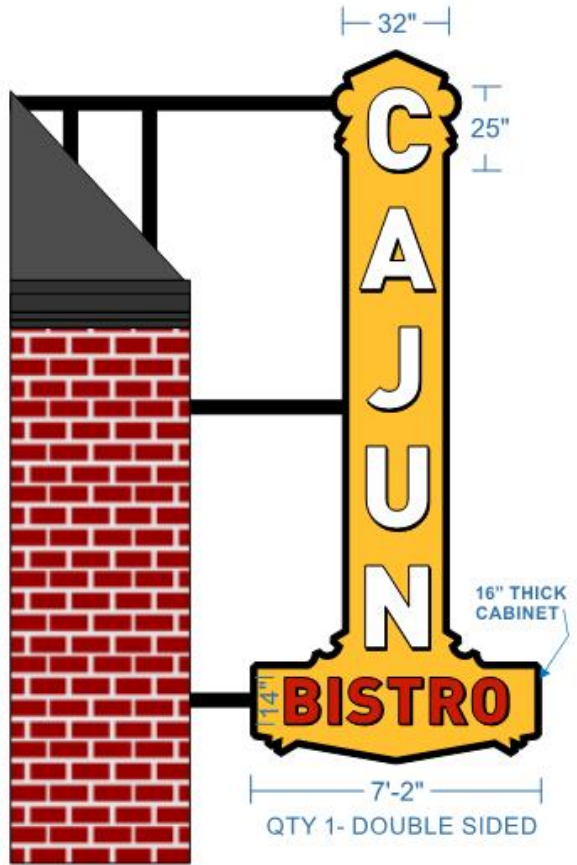
VCC Architectural Committee

02 26 2021

April 13, 2021

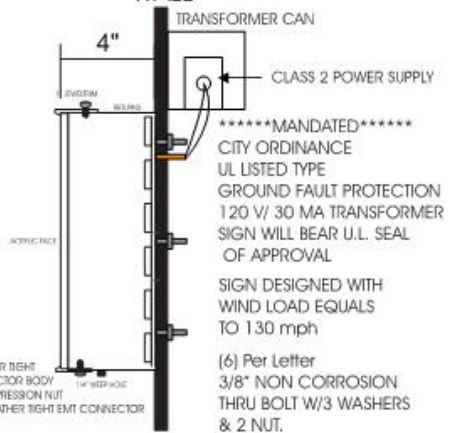


FACE REPLACEMENTS ONTO EXISTING SIGN



Face Replacements onto Existing Sign.
 Remove All Neon & Discard.
 Sand, Prime & Paint Existing Sign.
 Add New .063 Aluminum Back Panel
 Painted Yellow- Pantone 123 C.
 New Copy to be 4" Thick Channel Letters.
 'Cajun' Face: 3/16" White Acrylic
 Trimcap: 1" Black Trimcap
 Returns: 4" Black Returns
 Lighting: White LEDs
 'BISTRO' Face: 3/16" White Acrylic
 Copy: Trans. Red Vinyl
 1" Black Trimcap
 4" Black Returns, Red LEDs
 Cabinet & Frame to be Painted Black.

SIDE VIEW PROJECTION WALL



ALL POWER SUPPLIES INSIDE SIGN
 CONNECT TO EXISTING POWER



LOUIS KONG
 5726 St Charles Ave
 New Orleans, LA 70115
 (504-837-0764)



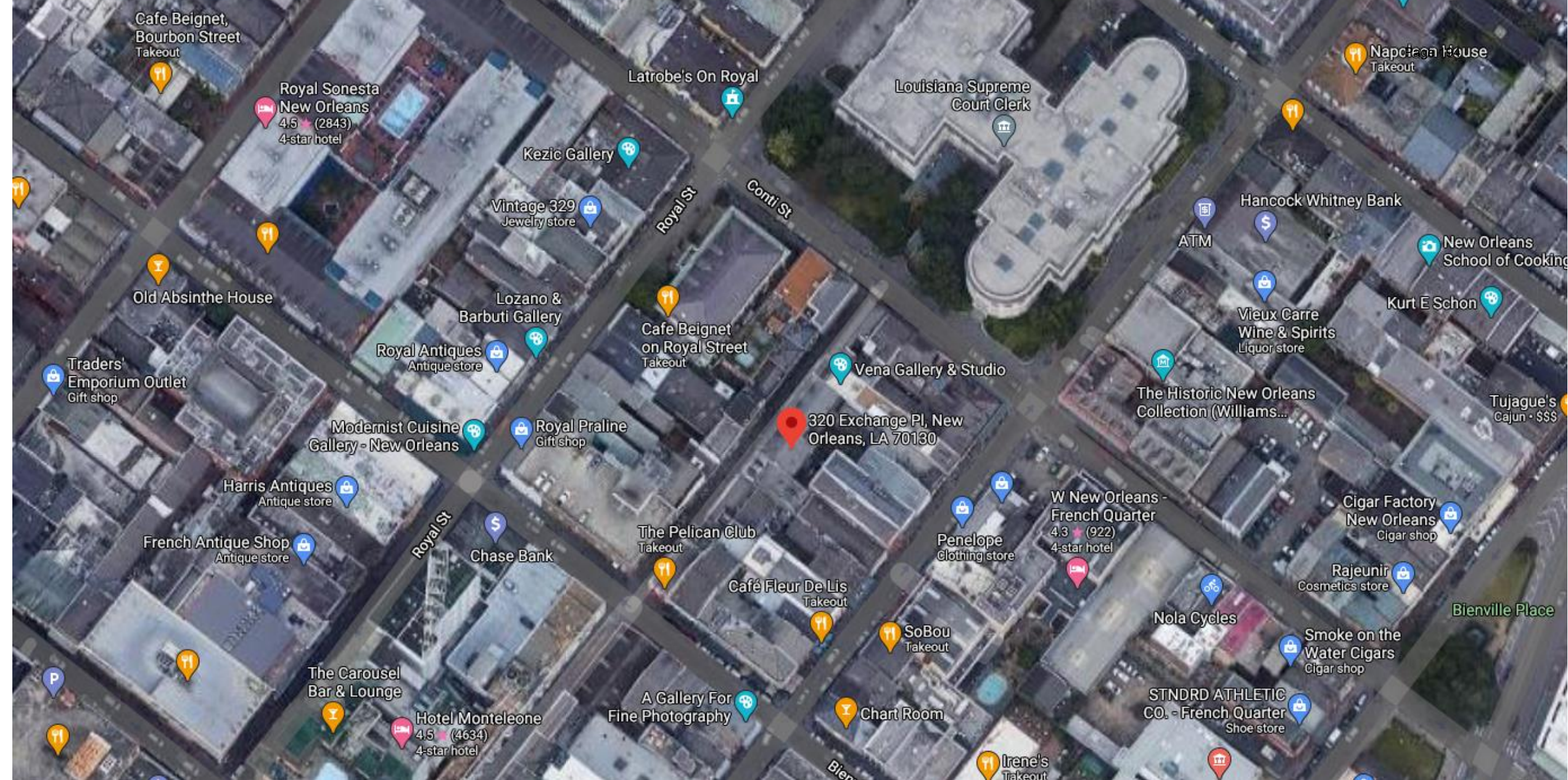
Job Name: Cajun Bistro Designer: Trevor Norris Sketch #: 21-0304-P3R1
 Location: 823 Decatur St. Salesman: Chris Nguyen Scale: 1/4" = 1'-0"
New Orleans, LA 70116 Contact Person: _____ Contact Number: _____

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION. TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY CONFORM TO ALL CITY REQUIREMENTS. I AM NOT GENERALLY ADMINISTERING THE WORK. ALL ELECTRIC SIGNS UL LISTED/ WINDLOAD OF 130 MPH THIS DRAWING IS THE PROPERTY OF PRO SIGNS & BRANDING AND CANNOT BE DUPLICATED WITHOUT PERMISSION.





320 Exchange Place



320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021





320 Exchange Place

VCC Architectural Committee

February 9, 2021



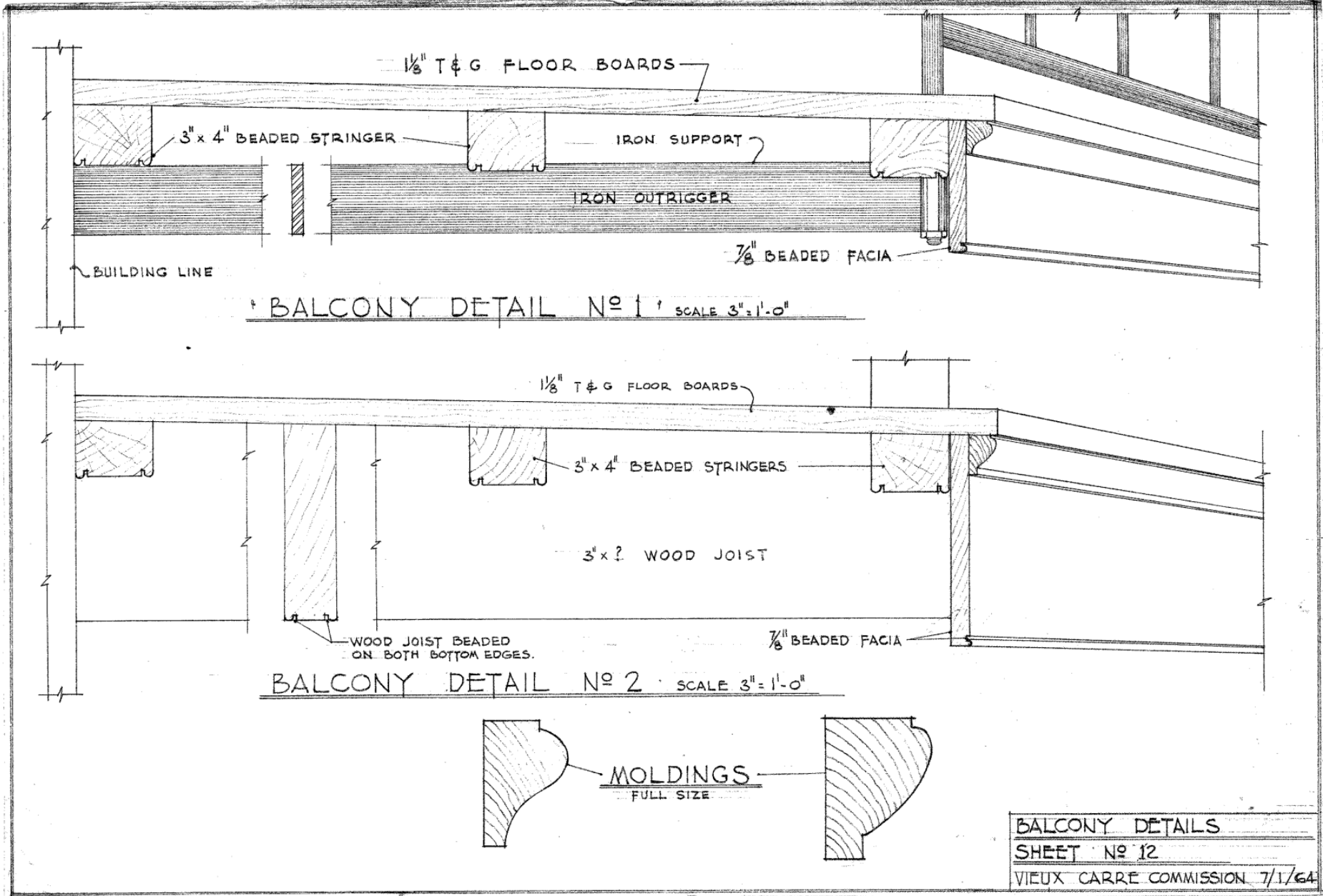


320 Exchange Place

VCC Architectural Committee

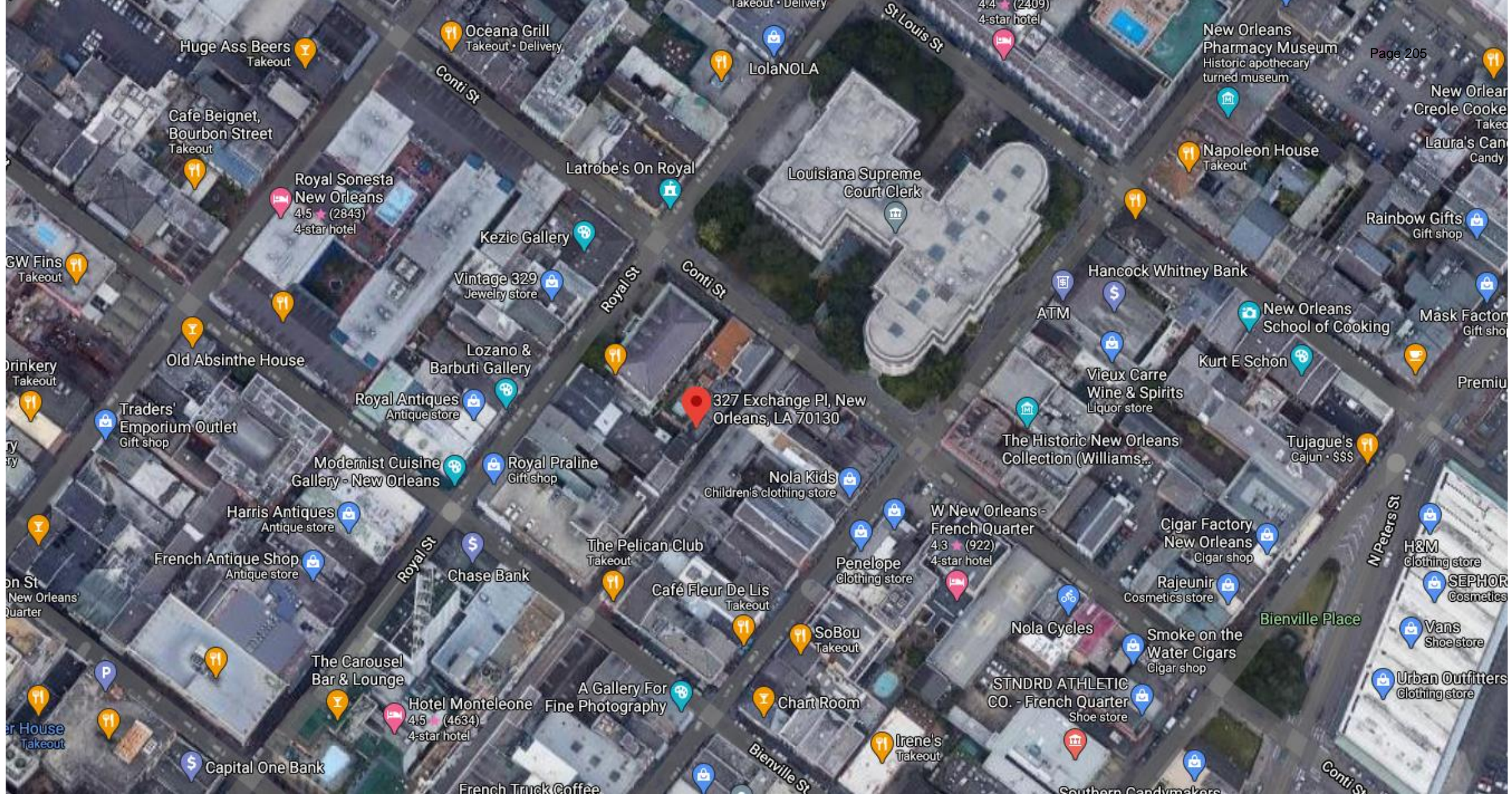
February 9, 2021







327 Exchange Place



327 Exchange Place

VCC Architectural Committee

February 9, 2021





327 Exchange Place

VCC Architectural Committee

February 9, 2021





327 Exchange Place

VCC Architectural Committee

February 9, 2021





327 Exchange Place

VCC Architectural Committee

February 9, 2021





327 Exchange Place

VCC Architectural Committee

February 9, 2021



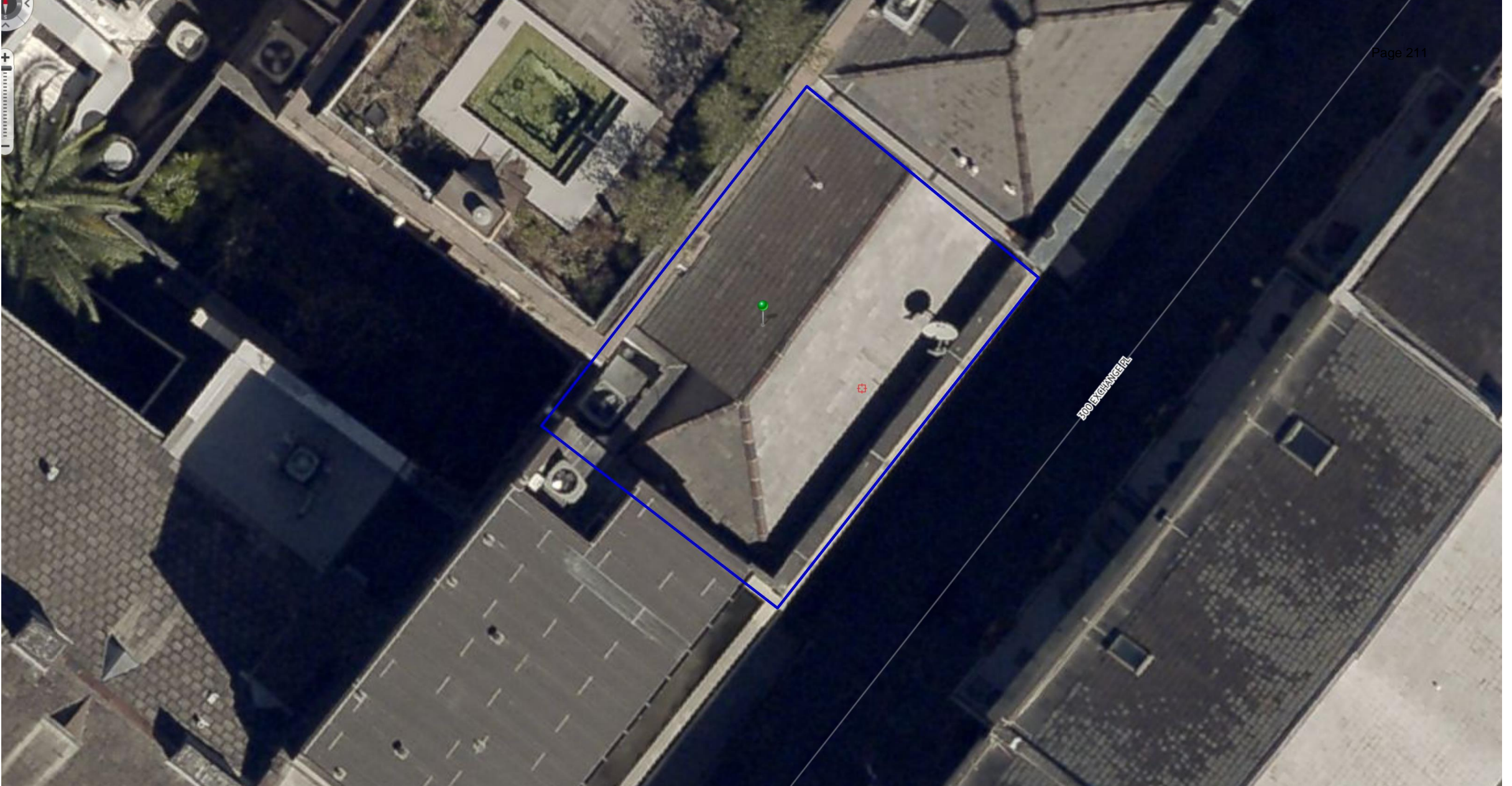


327 Exchange Place

VCC Architectural Committee

February 9, 2021



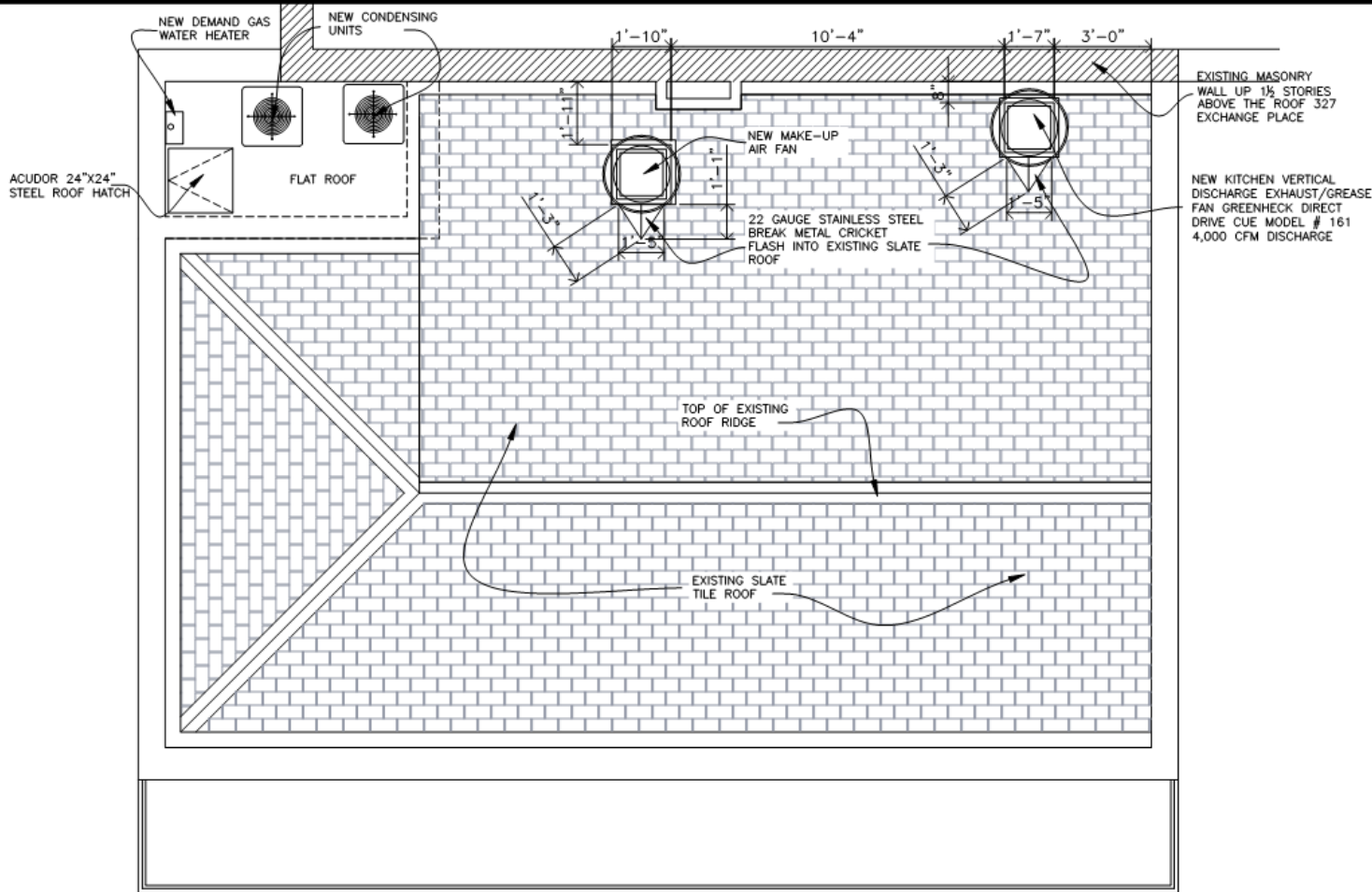


327 Exchange Place

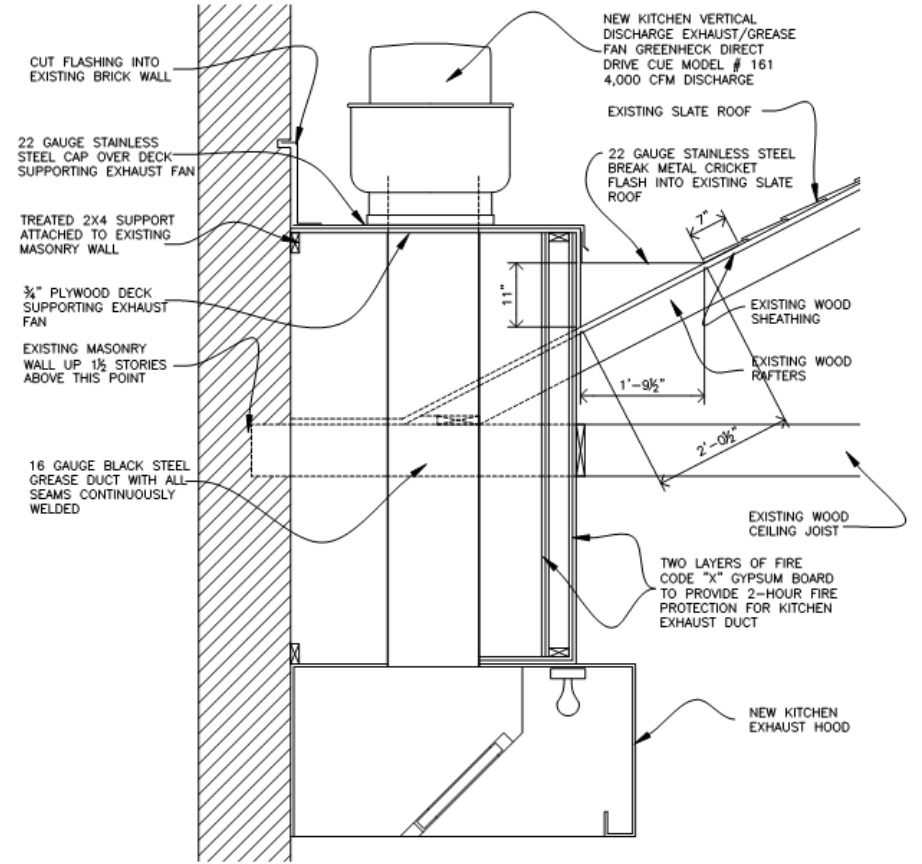
VCC Architectural Committee

February 9, 2021





3 ROOF PLAN
SCALE: 1/4" = 1'-0"

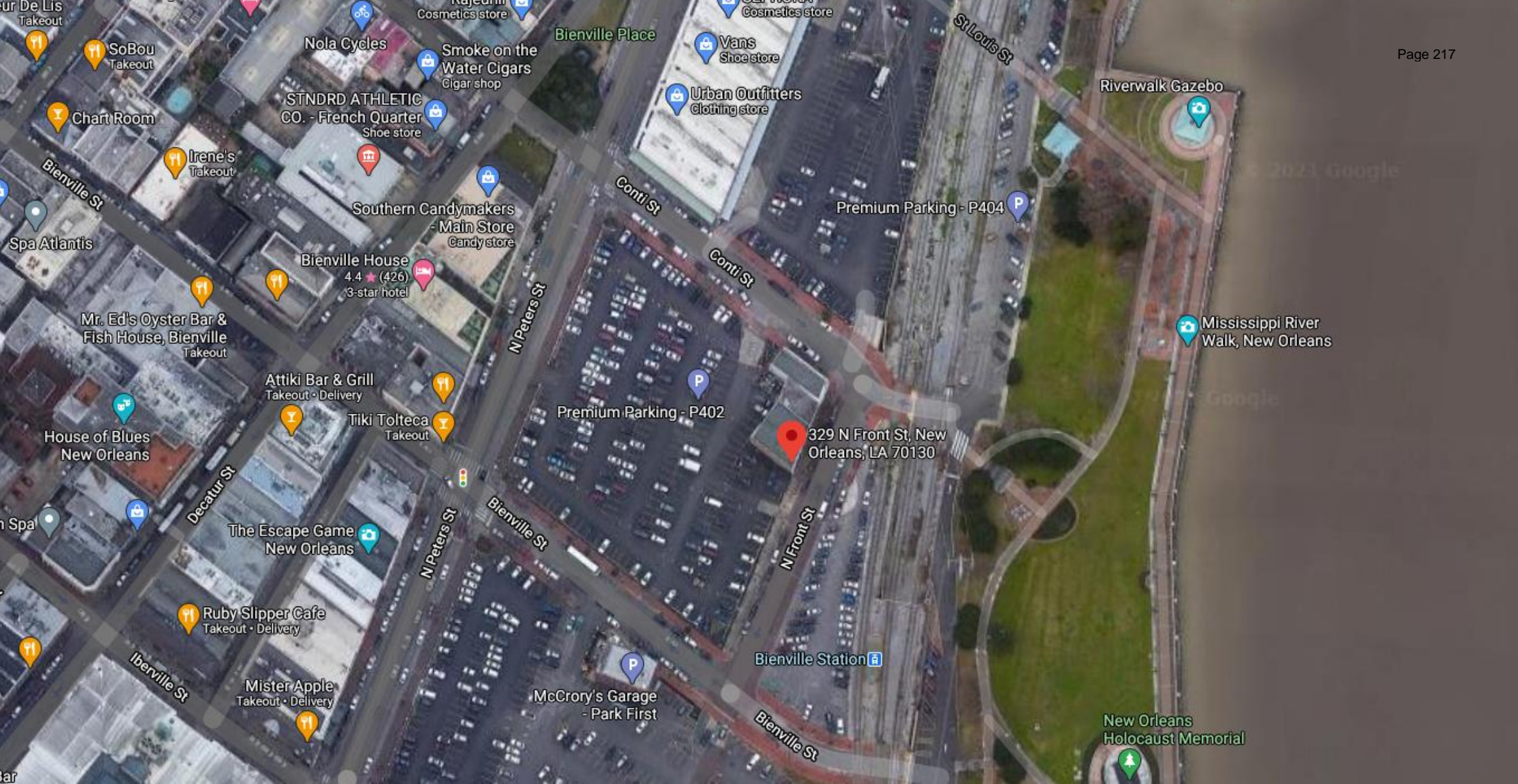


4 EXHAUST/MAKE-UP KITCHEN HOOD FANS
SCALE: 1/2" = 1'-0"





329 N Front



329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

VCC Architectural Committee

April 13, 2021





329 N Front Street

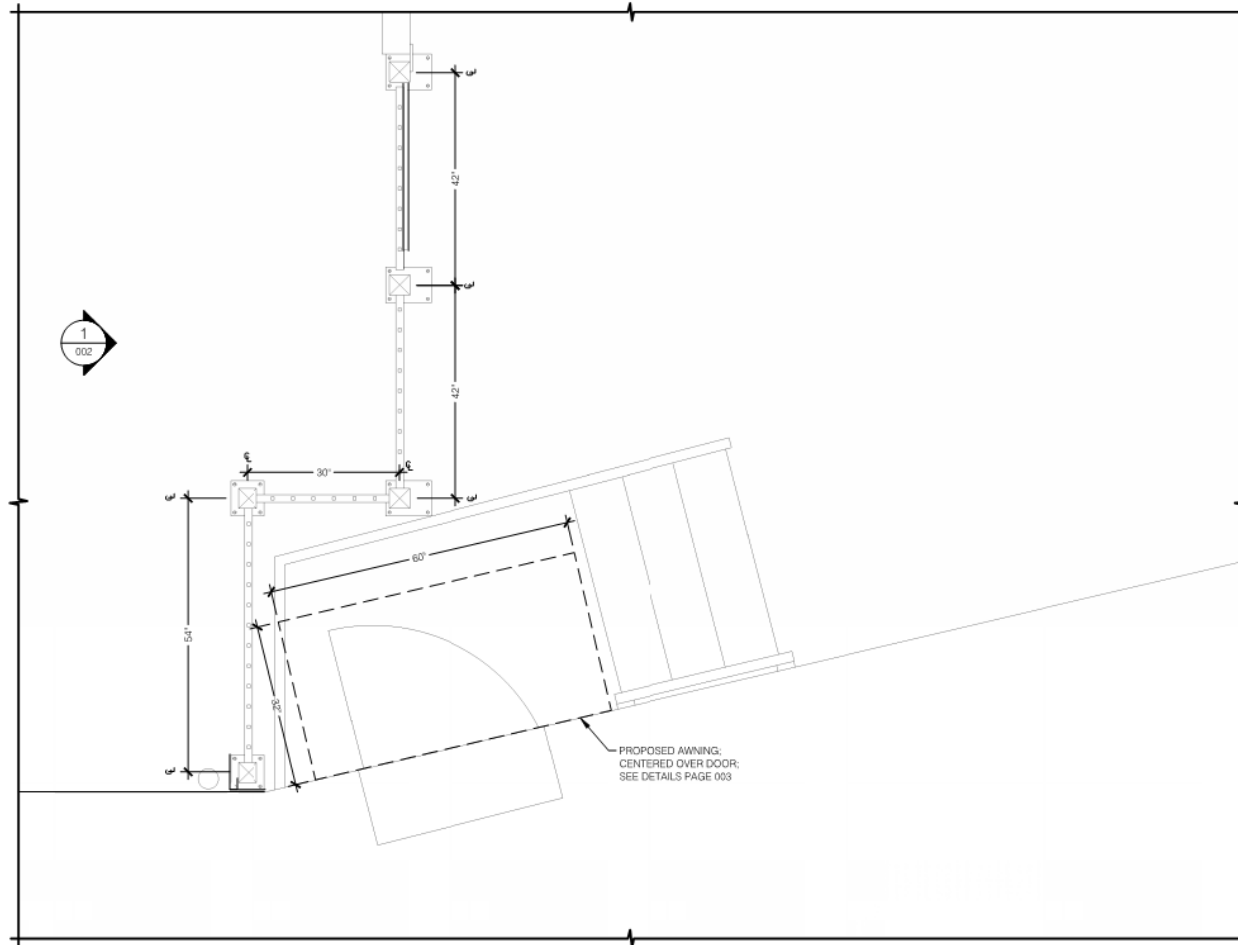
VCC Architectural Committee

April 13, 2021



NOTES

1. ALL STEEL PRIMED WITH ONE COAT P06 SUPER-SPEC INDUSTRIAL OIL ENAMEL.
FINISHED WITH TWO COATS BM-P-22 HIGH GLOSS SUPER SPEC INDUSTRIAL ENAMEL.



1 SITE PLAN
SCALE: 1/2"=1'-0"

100 CONTI STREET
100 CONTI STREET
NEW ORLEANS, LA 70130

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OWNER

REVISIONS

1	REVISION 1	2021.02.22
2	REVISION 2	2021.03.11

ISSUE DATE

2021.02.15

TITLE

SITE PLAN

001

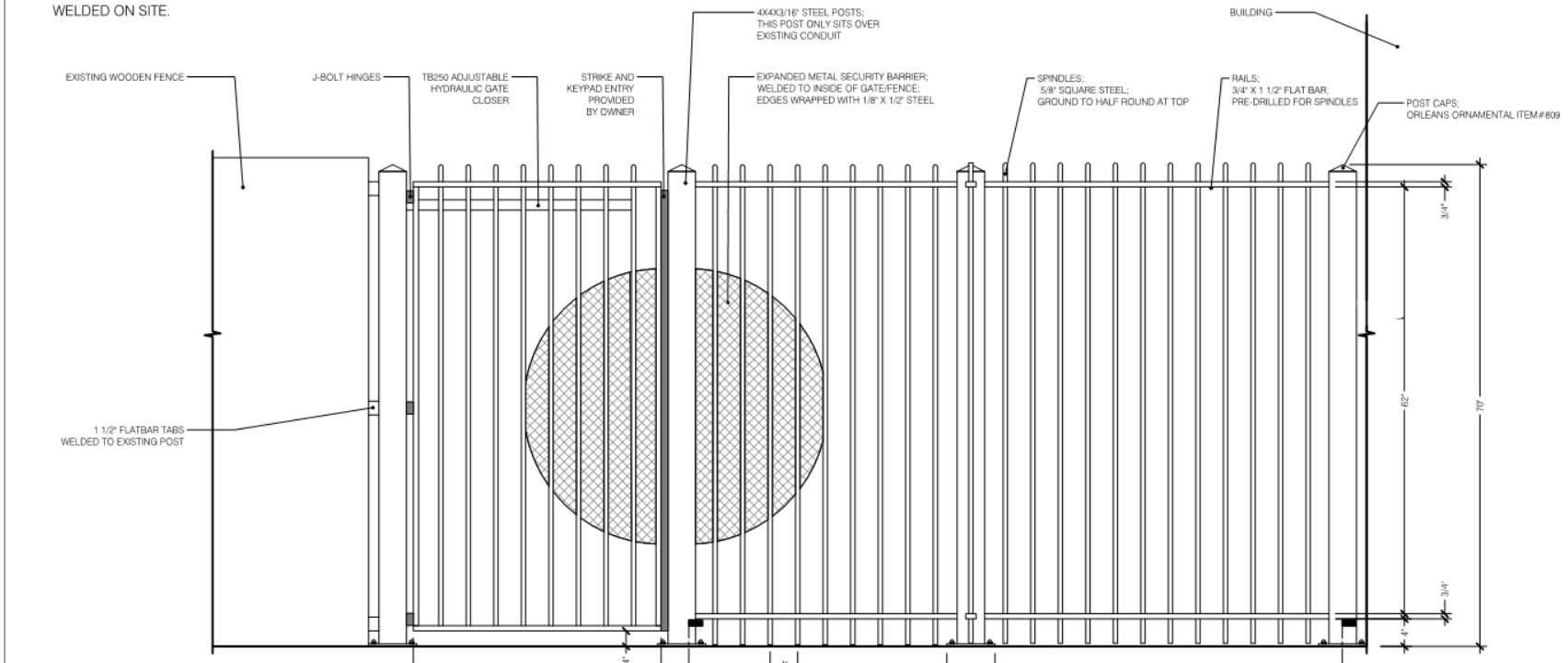




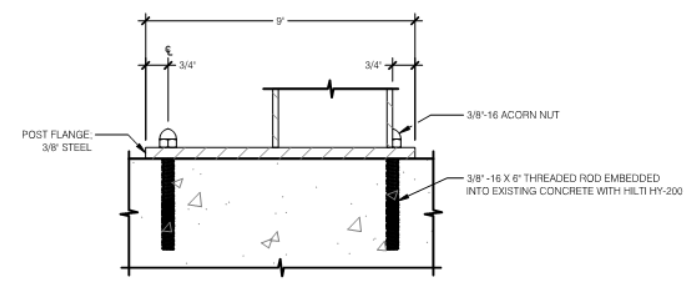
DAN@DOWNTOWNFABWORKS.COM

NOTES

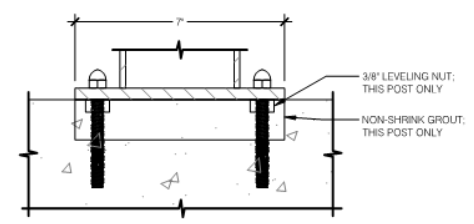
1. ALL STEEL PRIMED WITH ONE COAT P06 SUPER-SPEC INDUSTRIAL OIL ENAMEL. FINISHED WITH TWO COATS BM-P-22 HIGH GLOSS SUPER SPEC INDUSTRIAL ENAMEL.
2. FENCING SECTIONS TO BE PRE-WELDED. FENCING CONNECTIONS TO POST TO BE WELDED ON SITE.



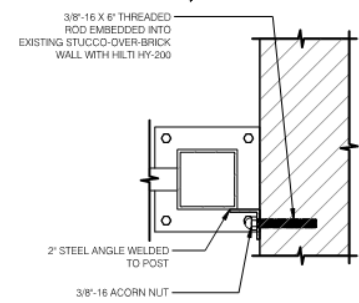
1 ELEVATION
SCALE: 3/4"=1'-0"



A-A SECTION
SCALE: 3/4"=1'-0"



B-B SECTION
SCALE: 3/4"=1'-0"



C-C SECTION
SCALE: 1 1/2"=1'-0"

100 CONTI STREET
NEW ORLEANS, LA 70130

OWNER

REVISIONS

1	REVISION 1	2021.02.22
2	REVISION 2	2021.03.11

ISSUE DATE

2021.02.15

TITLE

FENCING DETAILS

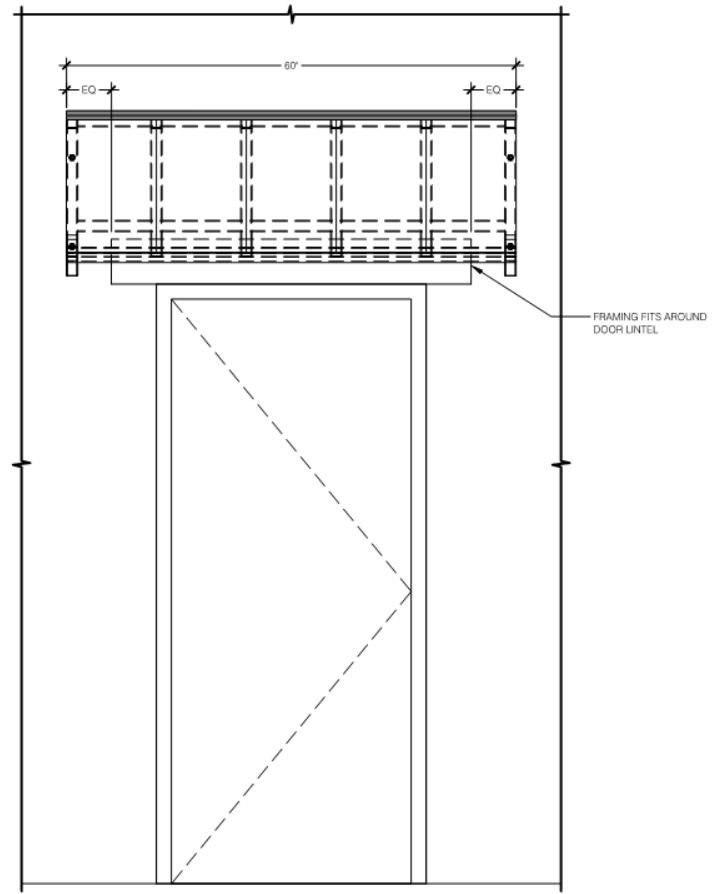
002

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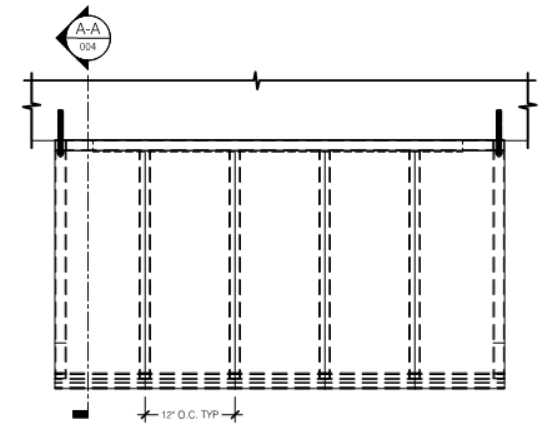


NOTES

- 1. ALL STEEL PRIMED WITH ONE COAT P06 SUPER-SPEC INDUSTRIAL OIL ENAMEL. FINISHED WITH TWO COATS BM-P-22 HIGH GLOSS SUPER SPEC INDUSTRIAL ENAMEL.



1 FRONT ELEVATION
SCALE: 3/4"=1'-0"



2 PLAN
SCALE: 3/4"=1'-0"

FRAMING FITS AROUND DOOR LINTEL

100 CONTI STREET
100 CONTI STREET
NEW ORLEANS, LA 70130

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REVISIONS

1	REVISION 1	2021.02.22
2	REVISION 2	2021.03.11

ISSUE DATE

2021.02.15

TITLE

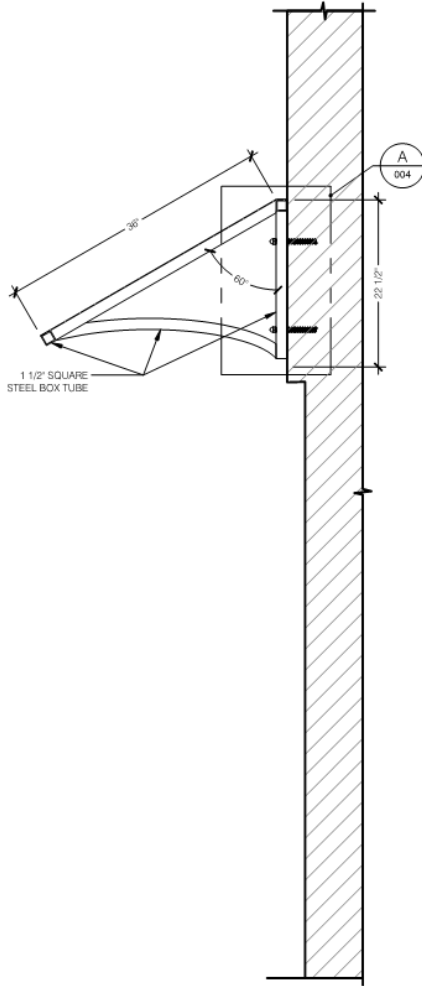
AWNING DETAILS

003

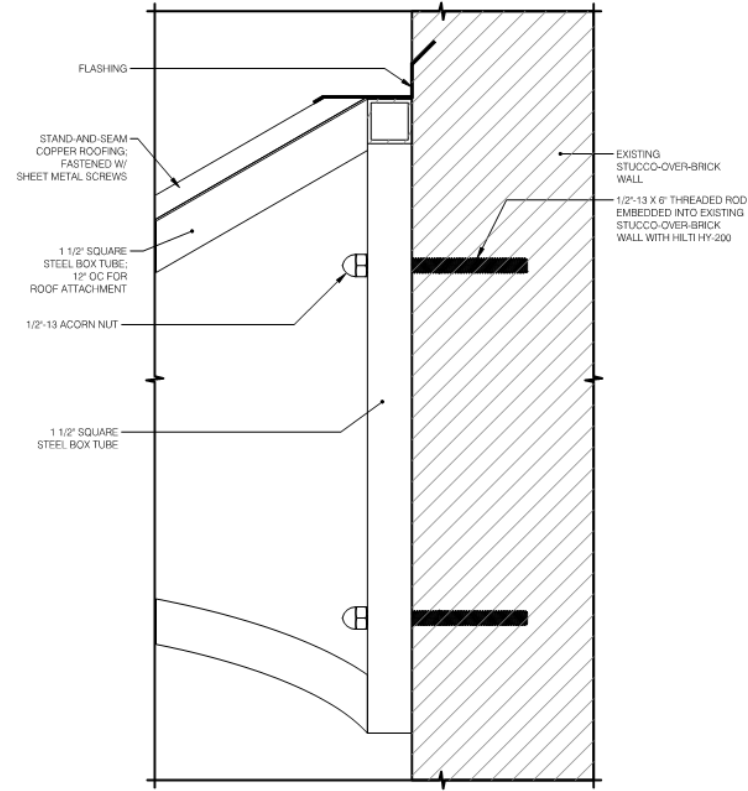


NOTES

1. ALL STEEL PRIMED WITH ONE COAT P06 SUPER-SPEC INDUSTRIAL OIL ENAMEL.
FINISHED WITH TWO COATS BM-P-22 HIGH GLOSS SUPER SPEC INDUSTRIAL ENAMEL.



A-A SECTION
SCALE: 3/4" = 1'-0"



A DETAIL
SCALE: 3" = 1'-0"

100 CONTI STREET
100 CONTI STREET
NEW ORLEANS, LA 70130
.....
ANY REPRODUCTION, POSSESSION, OR USE OF THESE PLANS OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF DOWNTOWN FABWORKS, L.L.C. IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

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1	REVISION 1	2021.02.22
2	REVISION 2	2021.03.11

ISSUE DATE

2021.02.15

TITLE

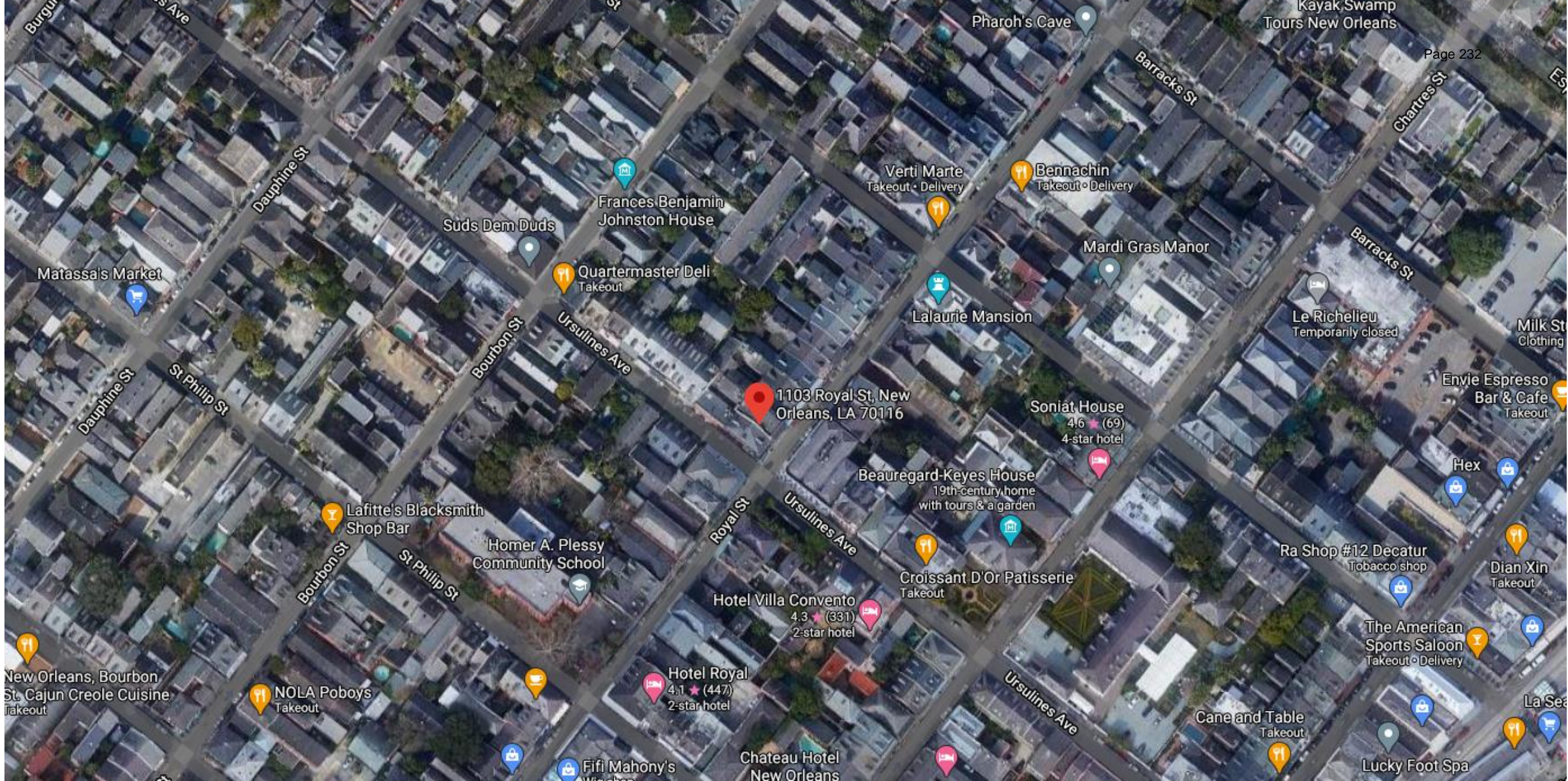
AWNING DETAILS

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1103 Royal

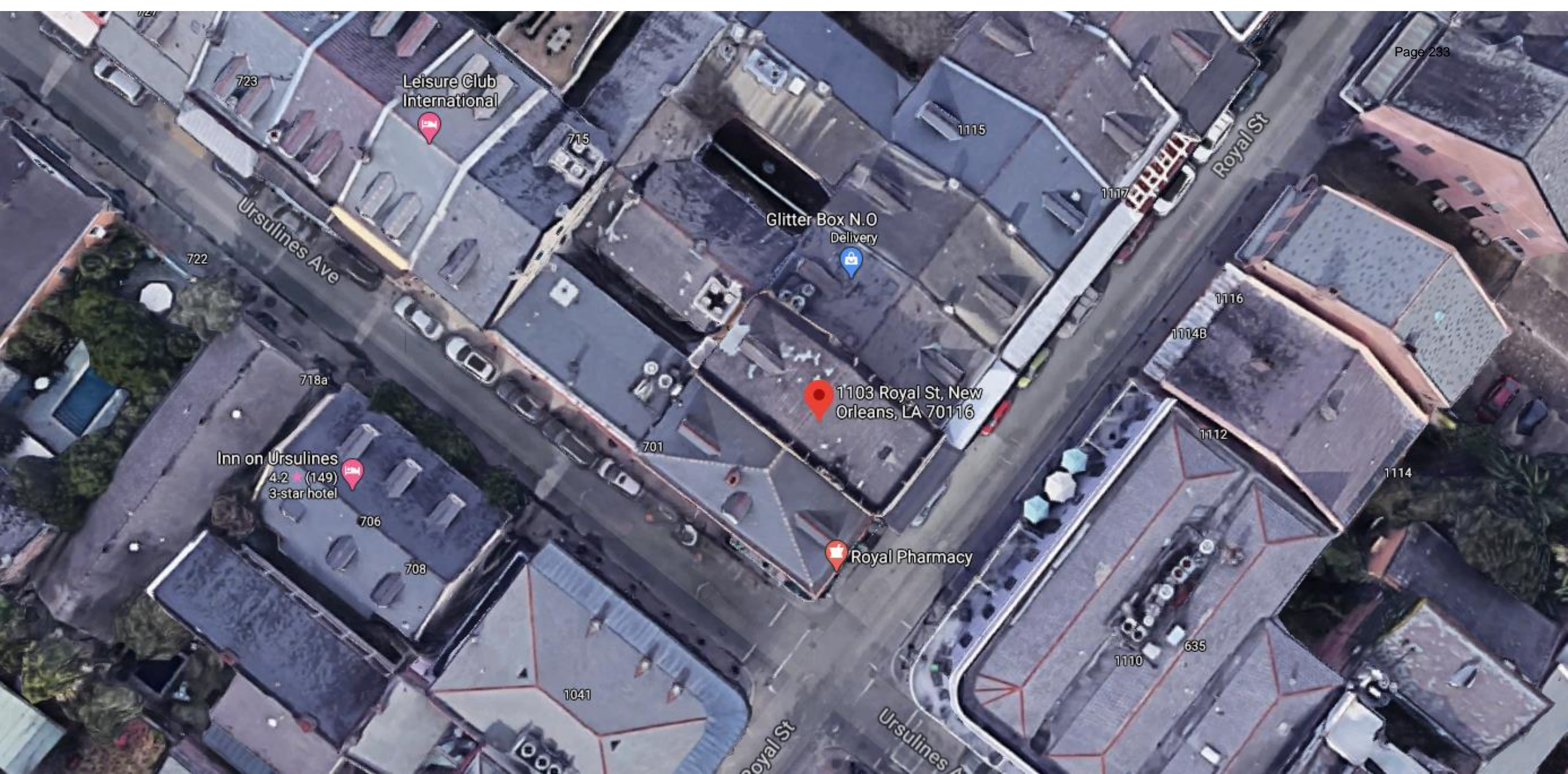


1103 Royal

VCC Architectural Committee

April 13, 2021





1103 Royal

VCC Architectural Committee

April 13, 2021





1103 Royal

VCC Architectural Committee

April 13, 2021





1103 Royal

VCC Architectural Committee

April 13, 2021



GENERAL FLOOR PLAN NOTES

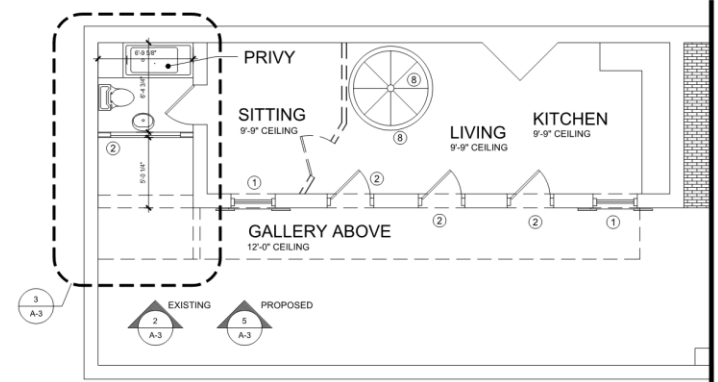
- A. DO NOT SCALE DRAWINGS
- B. GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK
- C. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- D. UNLESS OTHERWISE INDICATED, WALL THICKNESSES ARE AS FOLLOWS:
ALL INTERIOR WALLS ARE CONSTRUCTED OF 2X4 SOUTHERN YELLOW PINE WITH (1) LAYER OF 1/2" SHEETROCK ON EACH SIDE. FOR CLARITY, DIMENSIONS WILL BE MADE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL. CONTRACTOR TO MAKE SURE ROOM DIMENSIONS WILL BE ACCURATE TO PLANS PRIOR TO INSTALLING SHEETROCK.

- E. "FINISHED FLOOR" REFERS TO TOP OF ACTUAL FINISHED FLOOR
- F. REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- G. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 76 (8") FROM FACE OF STUD WALL TO FACE OF ROUGH OPENING. DIMENSION SHALL BE 103 (8") FROM FACE OF WALL TO EDGE OF ROUGH OPENING AT CONCRETE WALLS.
- H. AT SECURITY WALLS, FULL HEIGHT PARTITIONS SHALL BE SEALED BOTH SIDES WITH ACOUSTIC SEALANT. TOP, BOTTOM, INTERSECTION, DOOR FRAMES, GLAZED OPENING FRAMES, AND ALL OTHER PENETRATIONS.
- I. LINE OF EXISTING GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE.
- J. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS

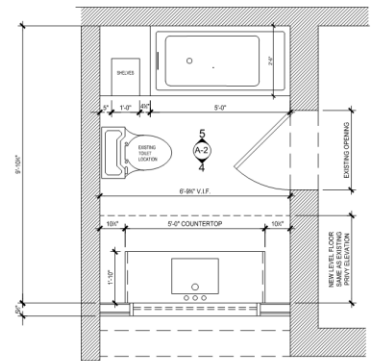
- K. REFER TO CONTRACTOR / OWNER FOR FINISH SCHEDULES AND COLOR LISTS FOR WALL FINISH DESIGNATIONS.
- L. N/A
- M. FOR BRACING REQUIREMENTS, SEE GENERAL STRUCTURAL NOTES & PROJECT SPECIFICATIONS IF APPLICABLE.
- N. 3" STUD WALLS SHOULD BE PLACED 2" IN FRONT OF EXISTING MASONRY WALL WHERE APPLICABLE.
- O. ALL HISTORIC WOOD ELEMENTS ARE TO BE PRESERVED AND RECYCLED PER OWNER'S REQUESTS. HANDLE WITH CARE. CONTRACTOR TO REPLACE IF LOST OR DAMAGED.
- P. ALL EXISTING FLAGSTONE IN DRIVEWAY / COURTYARD TO BE REMOVED AND STACKED CAREFULLY. PRODUCTS TO BE RECYCLED ONSITE PER THE OWNER'S REQUESTS.
- Q. ATTIC WOOD WORK TO BE REPAIRED AS NEEDED. 3/4" PL WOOD FLOORING TO BE PLACED ABOVE CEILING JOISTS.

KEY NOTES

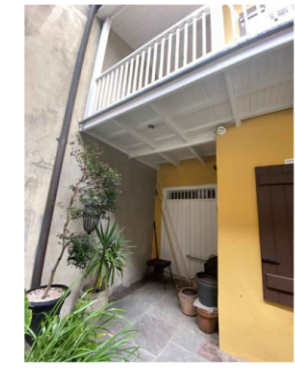
- 1. EXISTING WINDOWS / SHUTTERS / HARDWARE / HEADER / JAMS AND SILLS TO BE INSPECTED. SEE NOTE ON BOTTOM OF FLOOR PLANS.
- 2. EXISTING DOOR / SHUTTERS / HARDWARE TO BE INSPECTED. SEE NOTE ON BOTTOM OF EACH FLOOR PLAN.
- 3. BALCONY AND GALLERIES TO BE INSPECTED FOR MISSING ORNAMENTATION.
- 4. BALCONY / RAILING / COLUMNS TO REMAIN HAND SAND AND REFINISH ALL IRONWORK UNDER DIFFERENT PERMIT.
- 5. BRICK PAVES / TILES TO REMAIN. CLEAN WITH BRUSH, SOAP, AND WATER.
- 6. INSPECT ALL MASONRY JOINTS AND UNITS. PREPARE FOR STUCCO OR MINERAL COATING. COLOR TO BE DETERMINED.
- 7. WOOD RAIL & PICKETS TO BE INSPECTED. SAND AND REFINISH IF NECESSARY.
- 8. WOOD RISERS, TREADS, AND ORNAMENTAL STRINGERS TO BE Sanded and Refinished with EXISTING PAINT OR VARNISH.
- 9. ALL SEALANT ON INTERIOR BRICK TO BE REMOVED.
- 10. REPAIR DELAMINATED PLASTER AS NEEDED. PREPARE FOR MINERAL COATING. COLOR TO BE DETERMINED.
- 11. REPAIR / REPLACE ALL DAMAGED MOLDING.
- 12. INSPECT / REPAIR ALL WOOD FLOORING AS NEEDED. SAND, STAIN, AND REPLACE PER OWNER.
- 13. REPAIR / CLEAN ALL WOOD FASCIA ON BALCONY.
- 14. REMOVE ALL EXISTING IMPROPER / DELAMINATED PLASTER PATCHWORK ON EXTERIOR WALL.
- 15. TOUCH UP PAINT ON GALLERIES AND BALCONY FLOORING. REFINISH WITH PROPER PAINT.
- 16. SAND, CLEAN, PRIMER AND PAINT EXISTING METAL MECHANICAL PLATFORM. VINYL PANELS TO REMAIN.



1 FIRST FLOOR PLAN DEPENDENCY- EXISTING
SCALE: 3/16" = 1'-0"



3 NEW PRIVY - ENLARGED FP
SCALE: 1/2" = 1'-0"



4 EXISTING PRIVY 1ST FLR
SCALE: 1/2" = 1'-0"



2 COURTYARD ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



5 COURTYARD ELEVATION - NEW
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS



Guns Modern
4519 S. Claiborne Avenue
New Orleans, LA 70125
504 810 2221

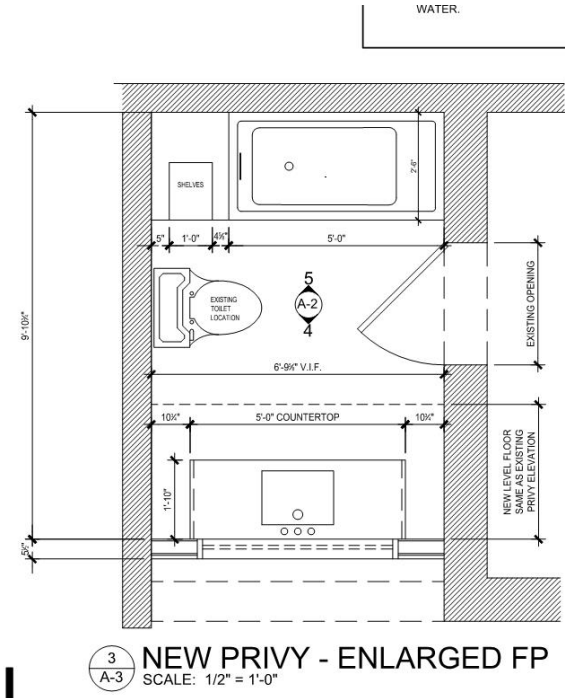
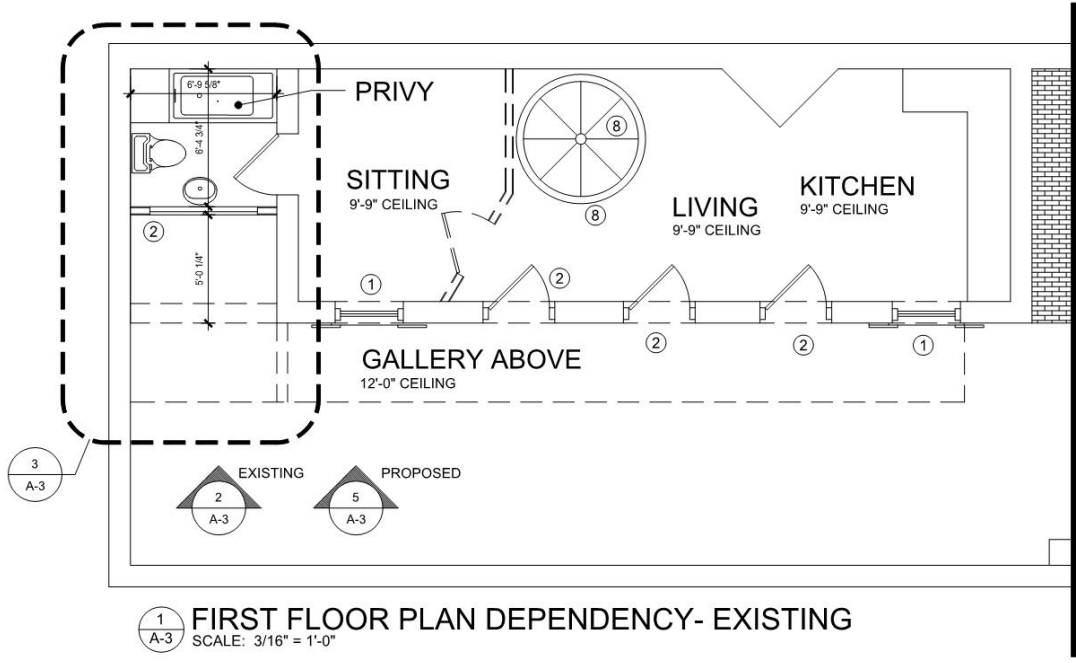
ROOF PLANS - REHABILITATION
Walker - Malta Residence
1103 Royal Street
New Orleans, LA 70116

JOEY WALKER
JOHN MALTA
New Orleans, LA

PROJECT NUMBER:	20-ROY
DRAWN BY:	GPG
ISSUE DATE:	03/29/2021

A-3





WATER.

④ REPAIR DELAMERATED PLASTER AS NEEDED. PREPARE FOR MINERAL COATING. COLOR TO BE DETERMINED

⑤ SAND, CLEAN, PRIMER AND PAINT EXISTING METAL MECHANICAL PLATFORM. VINYL PANELS TO REMAIN



4 EXISTING PRIVY 1ST FLR
SCALE: 1/2" = 1'-0"





2 COURTYARD ELEVATION - EXISTING
A-3 SCALE: 1/4" = 1'-0"



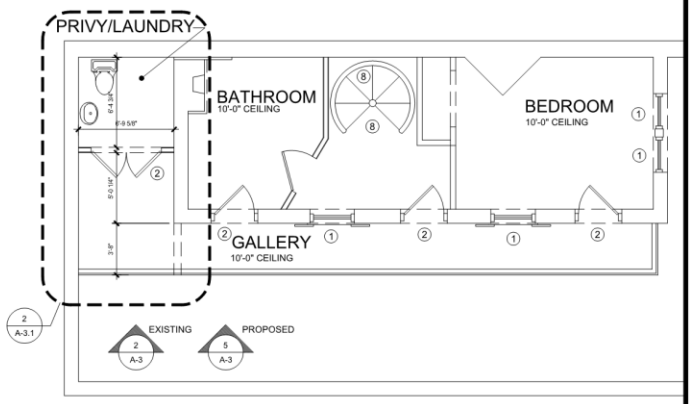
5 COURTYARD ELEVATION - NEW
A-3 SCALE: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

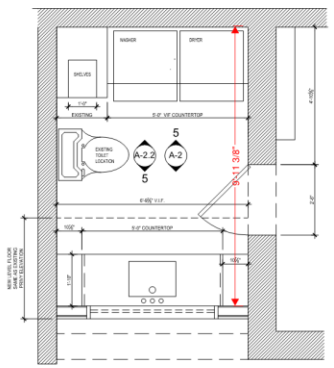
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- D. UNLESS OTHERWISE INDICATED, WALL THICKNESSES ARE AS FOLLOWS: ALL INTERIOR WALLS ARE CONSTRUCTED OF 2x4 SOUTHERN YELLOW PINE WITH (1) LAYER OF 1/2" SHEETROCK ON EACH SIDE. FOR CLARITY, DIMENSIONS WILL BE MADE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL. CONTRACTOR TO MAKE SURE ROOM DIMENSIONS WILL BE ACCURATE TO PLANS PRIOR TO INSTALLING SHEETROCK.
- E. "FINISHED FLOOR" REFERS TO TOP OF ACTUAL FINISHED FLOOR.
- F. REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- G. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 78 (7") FROM FACE OF STUD WALL TO FACE OF ROUGH OPENING. DIMENSION SHALL BE 193 (19") FROM FACE OF WALL TO EDGE OF ROUGH OPENING AT CONCRETE WALLS.
- H. AT SECURITY WALLS, FULL HEIGHT PARTITIONS SHALL BE SEALED BOTH SIDES WITH ACOUSTIC SEALANT. TOP, BOTTOM, INTERSECTION, DOOR FRAMES, GLAZED OPENING FRAMES, AND ALL OTHER PENETRATIONS.
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- L. N/A
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- P. ALL EXISTING FLAGSTONE IN DRIVEWAY / COURTYARD TO BE REMOVED AND STACKED CAREFULLY. PRODUCTS TO BE RECYCLED ONSITE PER THE OWNER'S REQUESTS.
- Q. ATTIC WOOD FLOORING TO BE REPAIRED AS NEEDED. 3/4" PLYWOOD FLOORING TO BE PLACED ABOVE CEILING JOISTS.

KEY NOTES

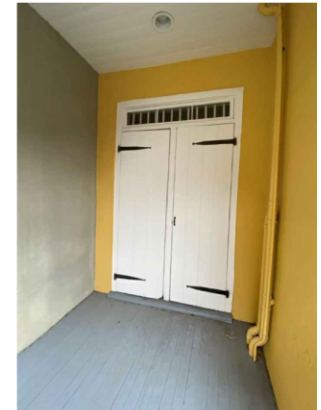
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- 2 EXISTING DOOR / SHUTTERS / HARDWARE TO BE INSPECTED. SEE NOTE ON BOTTOM OF EACH FLOOR PLAN.
- 3 BALCONY AND GALLERIES TO BE INSPECTED FOR MISSING ORNAMENTATION.
- 4 BALCONY / RAILING / COLUMNS TO REMAIN. HAND SAND AND REFINISH ALL IRONWORK UNDER DIFFERENT PERMIT.
- 5 BRICK FIVES / STEPS TO REMAIN. CLEAN WITH BRUSH, SOAP, AND WATER.
- 6 INSPECT ALL MASONRY JOINTS AND UNITS. PREPARE FOR STUCCO OR MINERAL COATING. COLOR TO BE DETERMINED.
- 7 WOOD NAILS AND PICKETS TO BE INSPECTED. SAND AND REFINISH IF NECESSARY.
- 8 WOOD RISERS, TREADS, AND ORNAMENTAL STRINGERS TO BE Sanded AND REFINISHED WITH EXISTING PAINT OR VARNISH.
- 9 ALL SEALANT ON INTERIOR BRICK TO BE REMOVED.
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- 11 REPAIR / REPLACE ALL DAMAGED MOLDING.
- 12 INSPECT / REPAIR ALL WOOD FLOORING AS NEEDED. SAND, STAIN, AND REPLACE PER OWNER.
- 13 REPAIR / CLEAN ALL WOOD FASCIA ON BALCONY.
- 14 REMOVE ALL EXISTING IMPROPER / DELAMINATED PLASTER PATCHWORK ON EXTERIOR WALL.
- 15 TOUCH UP PAINT ON GALLERIES AND BALCONY FLOORING. REFINISH WITH PROPER PAINT.
- 16 SAND, CLEAN, PRIMER AND PAINT EXISTING METAL MECHANICAL PLATFORM. VINYL PANELS TO REMAIN.



1 SECOND FLOOR PLAN - DEPENDENCY
SCALE: 1/4" = 1'-0"



2 NEW PRIVY - ENLARGED FP 2
SCALE: 1/2" = 1'-0"



3 EXISTING PRIVY 2ND FLR
SCALE: 1/2" = 1'-0"

CONSTRUCTION DOCUMENTS

Mad
Guns Modern
4519 S. Caliborne Avenue
New Orleans, LA 70125
504 810 2221

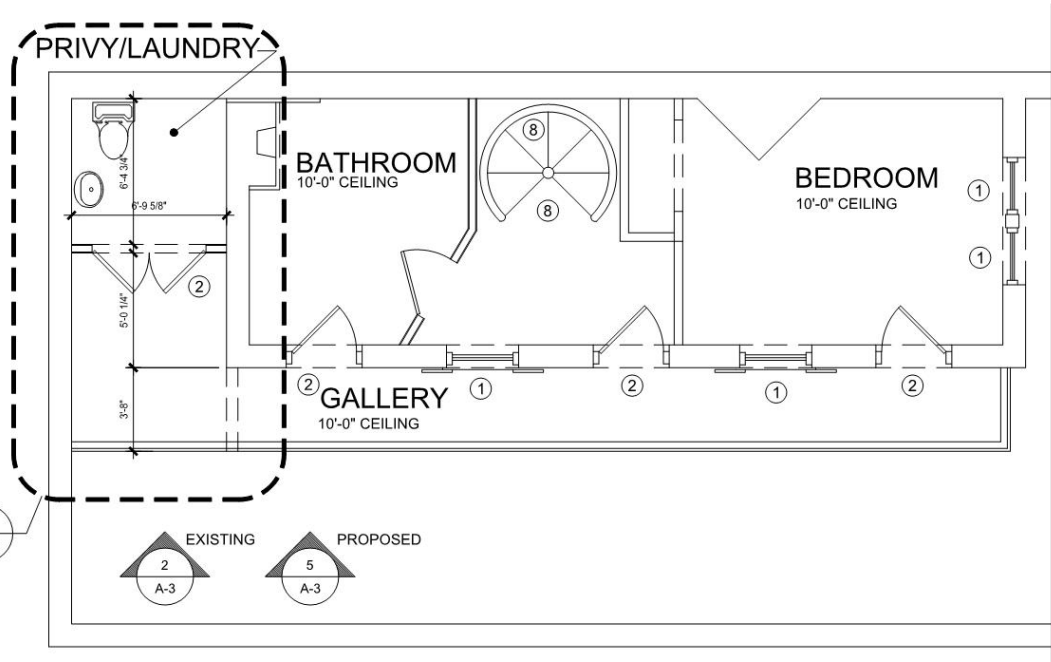
ROOF PLANS - REHABILITATION
Walker - Malta Residence
1103 Royal Street
First - Third Floor Renovation
New Orleans, LA 70116

JOY JOY
Joey Walker
John Malta
New Orleans, LA

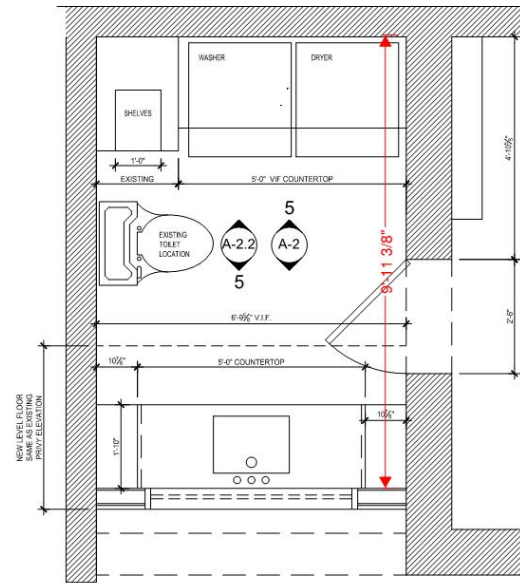
PROJECT NUMBER:	20-ROY
DRAWN BY:	GPS
ISSUE DATE:	03/29/2021

A-3.1

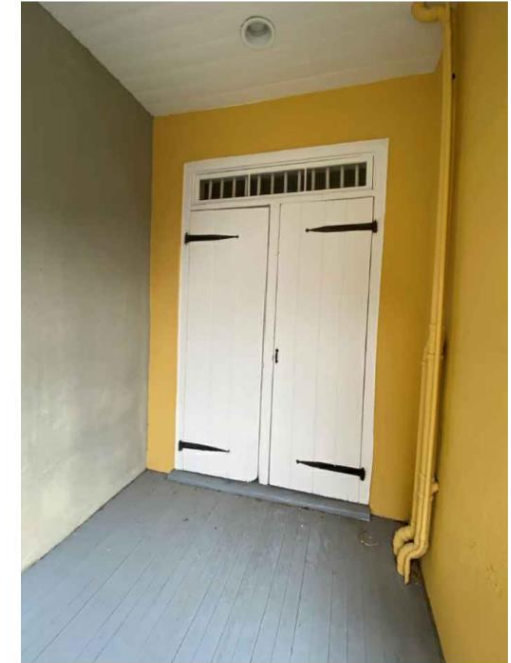




1 A-3.1 SECOND FLOOR PLAN - DEPENDENCY
SCALE: 1/4" = 1'-0"



2 A-3.1 NEW PRIVY - ENLARGED FP 2
SCALE: 1/2" = 1'-0"

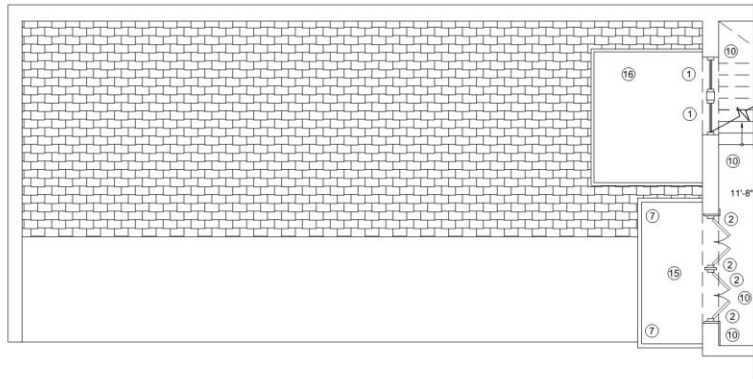


3 A-3.1 EXISTING PRIVY 2ND FLR
SCALE: 1/2" = 1'-0"

GENERAL FLOOR PLAN NOTES

- A. DO NOT SCALE DRAWINGS
- B. GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
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- E. "FINISHED FLOOR" REFERS TO TOP OF ACTUAL FINISHED FLOOR.
- F. REFLECTIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- G. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 7/8 (8") FROM FACE OF STUD WALL TO FACE OF ROUGH OPENING. DIMENSION SHALL BE 10 (8") FROM FACE OF WALL TO EDGE OF ROUGH OPENING AT CONCRETE WALLS.
- H. AT SECURITY WALLS, FULL HEIGHT PARTITIONS SHALL BE SEALED BOTH SIDES WITH ACOUSTIC SEALANT. TOP, BOTTOM, INTERSECTION, DOOR FRAMES, GLAZED OPENING FRAMES, AND ALL OTHER PENETRATIONS.
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- N. 3" STUD WALLS SHOULD BE PLACED 2" IN FRONT OF EXISTING MASONRY WALL WHERE APPLICABLE.
- O. ALL EXISTING WOOD ELEMENTS ARE TO BE PRESERVED AND RECYCLED PER OWNER'S REQUESTS. HANDLE WITH CARE. CONTRACTOR TO REPLACE IF LOST OR DAMAGED.
- P. ALL EXISTING FLAGSTONE IN DRIVEWAY / COURTYARD TO BE REMOVED AND STACKED CAREFULLY. PRODUCTS TO BE RECYCLED ON SITE PER THE OWNER'S REQUESTS.
- Q. ATTIC WOOD WORK TO BE REPAIRED AS NEEDED. 3/4" PLYWOOD FLOORING TO BE PLACED ABOVE CEILING JOISTS.

- KEY NOTES**
- ① EXISTING WINDOWS / SHUTTERS / HARDWARE / HEADERS / JAMS AND SILLS TO BE INSPECTED. SEE NOTE ON BOTTOM OF FLOOR PLANS.
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 - ⑬ REMOVE ALL EXISTING IMPROPER / DELAMINATED PLASTER PATCHWORK ON EXTERIOR WALL.
 - ⑭ TOUCH UP PAINT ON GALLERIES AND BALCONY FLOORING. REFINISH WITH PROPER PAINT.
 - ⑮ SAND, CLEAN, PRIMER AND PAINT EXISTING METAL MECHANICAL PLATFORM. VINYL PANELS TO REMAIN.



1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 MECHANICAL PLATFORM EXISTING
SCALE: NTS

CONSTRUCTION DOCUMENTS

Mad
Guns Modern
4519 S. Claiborne Avenue
New Orleans, LA 70125
504.810.2221

ROOF PLANS - REHABILITATION
Walker - Malta Residence
1103 Royal Street
First - Third Floor Renovation
New Orleans, LA 70116

Jeany Walker
John Malta
New Orleans, LA

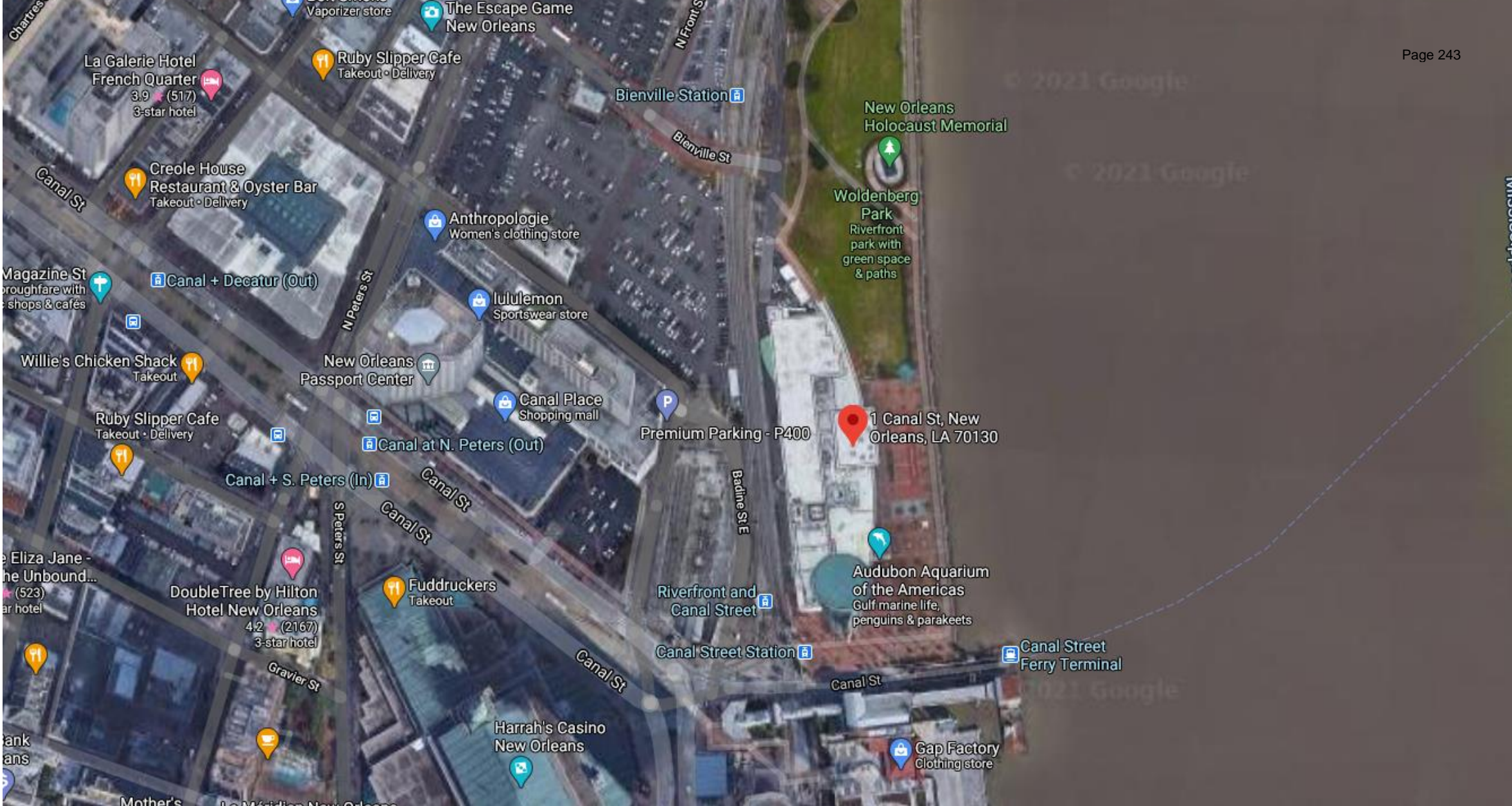
PROJECT NUMBER:	20-ROY
DRAWN BY:	GPD
ISSUE DATE:	03/29/2021

A-3.2





1 Canal Street



1 Canal Street





AUDUBON AQUARIUM OF THE AMERICAS RENOVATION PROJECT

VCC REVIEW

APRIL 2021

1 Canal Street

VCC Architectural Committee

February 9, 2021





AERIAL PHOTOGRAPH - VCC / VCP

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

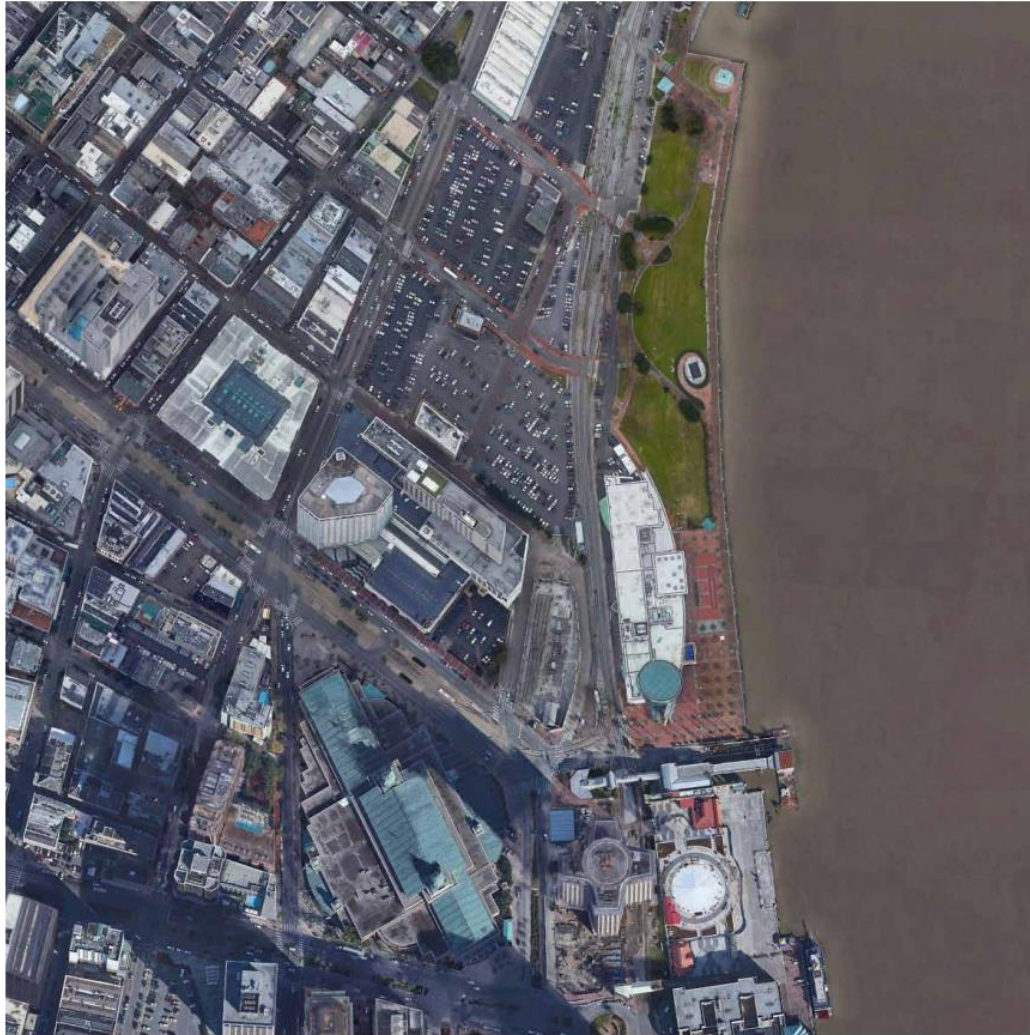
Eskew Dumez Ripple+

1 Canal Street

VCC Architectural Committee

February 9, 2021





PROJECT ADDRESS

1 CANAL ST
NEW ORLEANS, LA 70130

BOUNDING STREETS

CANAL ST & BADINE ST

ZONING

VCP
VIEUX CARRE PARK DISTRICT

THE VCP VIEUX CARRE PARK DISTRICT IS INTENDED TO PROVIDE FOR PARKS, PUBLIC FACILITIES, AND ASSOCIATED USES IN THE VIEUX CARRE AND ALONG THE VIEUX CARRE RIVERFRONT. PARKS AND OPEN SPACE ARE ENCOURAGED AND ARE PERMITTED USES. CONDITIONAL USE REVIEW IS REQUIRED FOR ALL OTHER USES TO ENSURE COMPATIBILITY OF THE CHARACTER OF THE VIEUX CARRE WITH THE MARITIME USE AND SCALE OF THE WATERFRONT.

FUTURE LAND USE

P
(PARKLAND AND OPEN SPACE)

HISTORIC DISTRICTS

VIEUX CARRE
(UNDER FULL VCC CONTROL)

NATIONAL REGISTER OF HISTORIC PLACES

VIEUX CARRE

NEIGHBORHOOD CONSERVATION DISTRICT

N/A

SITE AREA

~496,584 SF (OR 11.4 ACRES)

HEIGHT LIMIT

50'
EXISTING DRUM IS ~89'-2"

OPEN SPACE REQUIREMENT

SEVENTY-FIVE PERCENT (75%) OF THE LAND AREA SHALL BE MAINTAINED AS OPEN SPACE IN THE AREA OF THE VCP DISTRICT BOUNDED BY THE FLOODWALL, CANAL STREET, THE MISSISSIPPI RIVER, AND ST. PETER STREET (EXTENDED). THE OPEN SPACE AREA MAY NOT BE ENCUMBERED BY ENCLOSED STRUCTURES OR OFF-STREET PARKING AREAS, EXCEPT BUILDING SERVICE AREAS, INCLUDING LOADING DOCKS AND STAGING AREAS, ETC.

STEBACKS

NONE

LOADING

> 100,000 SF = 3 LOADING SPACE

VEHICLE PARKING

NONE REQUIRED

BICYCLE PARKING

1 PER 2,500SF GFA

ZONING ANALYSIS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†





EXISTING CONDITIONS

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Eskew Dumez Ripple†

1 Canal Street

VCC Architectural Committee

February 9, 2021





EXISTING CONDITIONS

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EXISTING CONDITIONS

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PHOTOGRAPHS - EXISTING CONDITIONS

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Eskew Dumez Ripple†

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February 9, 2021





PHOTOGRAPHS - EXISTING CONDITIONS

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Eskew Dumez Ripple+

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February 9, 2021





RIVERFRONT PLAN

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February 9, 2021





EXISTING CONDITIONS

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February 9, 2021



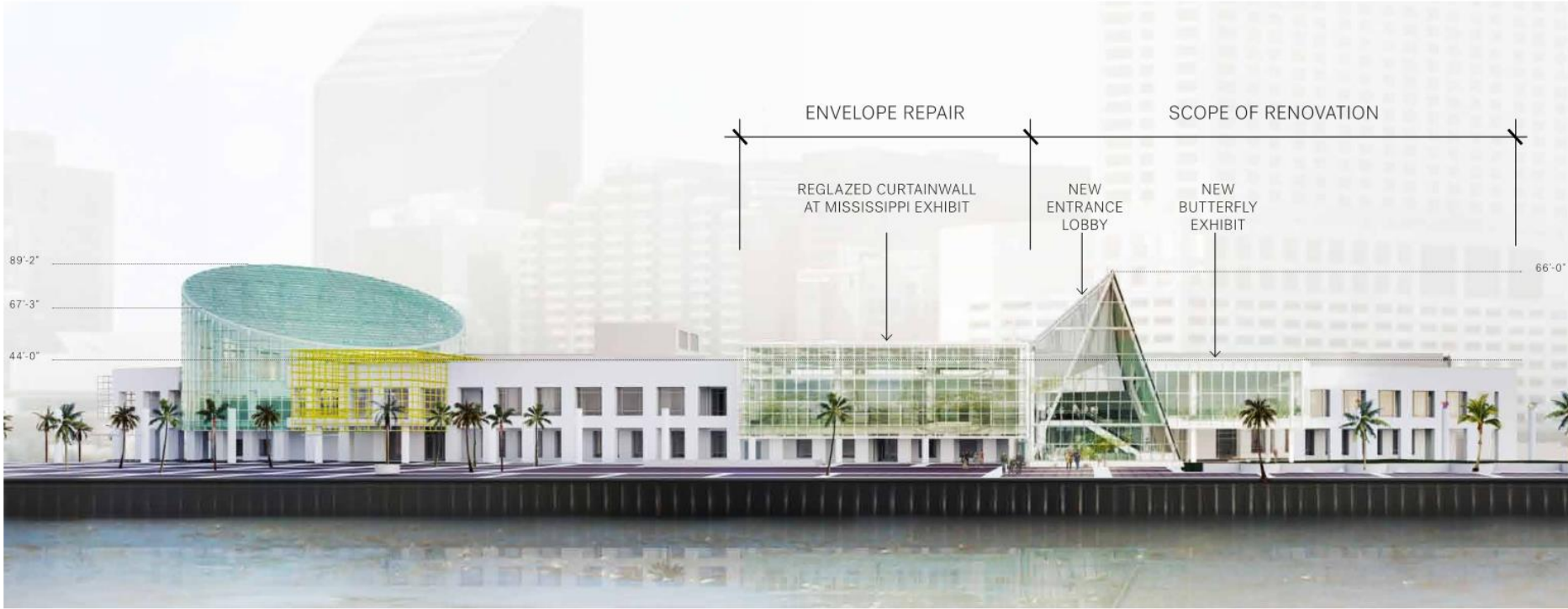


PROPOSED FLOOR PLAN AND FLOW

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†





RENDER - EAST ELEVATION

AUDUBON AQUARIUM OF THE AMERICAS | SCHEMATIC DESIGN AND PROGRAMMING 28 SEPTEMBER 2020

Eskew Dumez Ripple+





NEW ENTRANCE LOBBY

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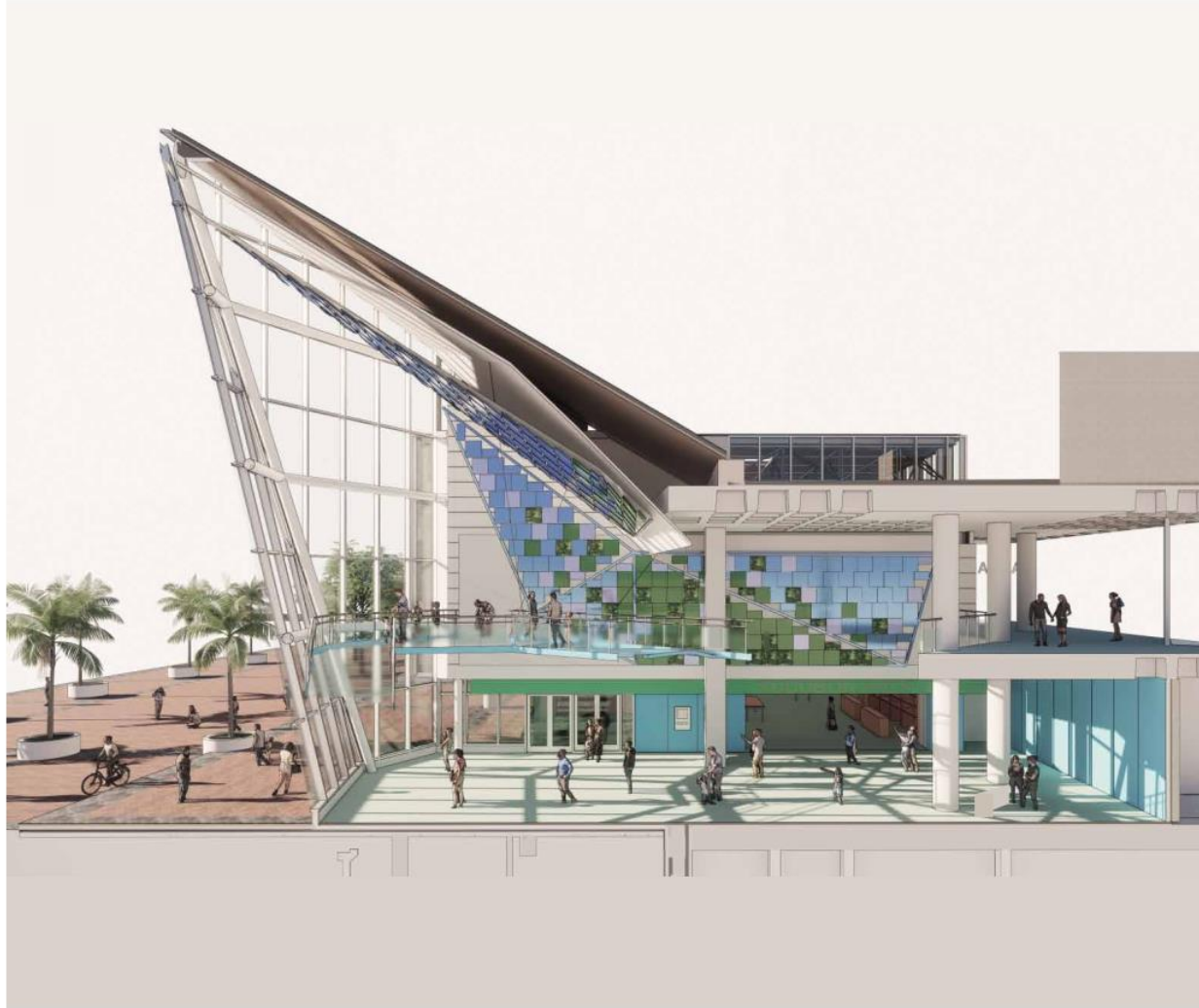
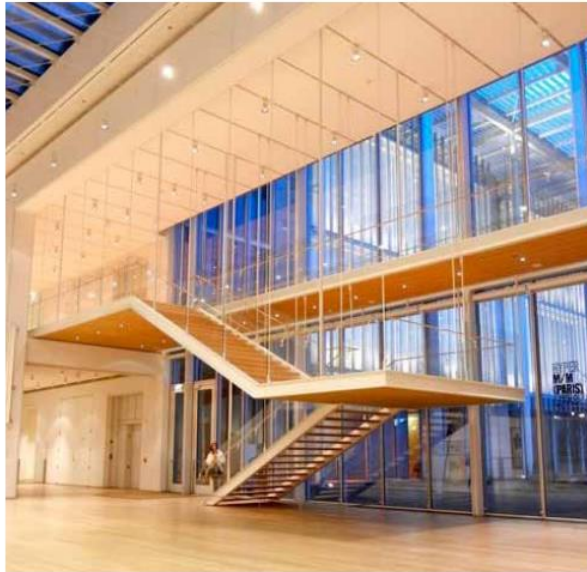
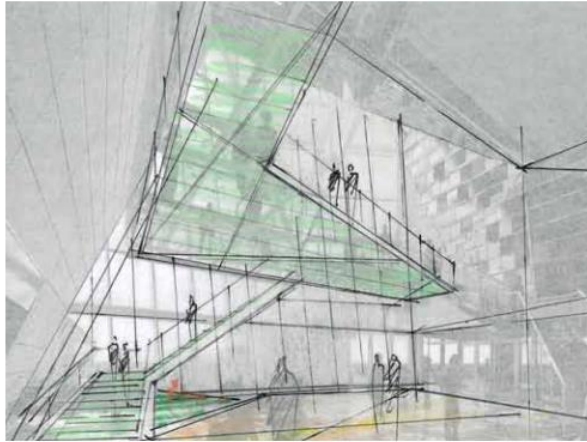
Eskew Dumez Ripple+

1 Canal Street

VCC Architectural Committee

February 9, 2021





BUILDING SECTION

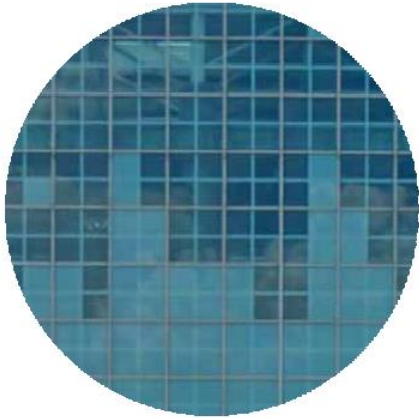
AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†

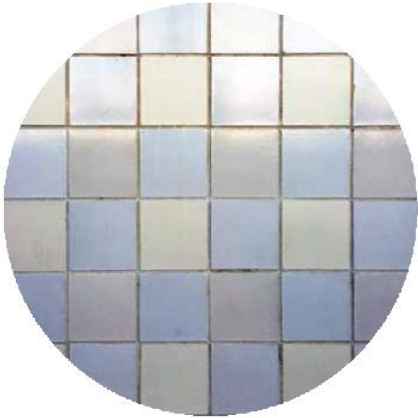




EXISTING PAINTED STEEL



EXISTING FRIT GLASS



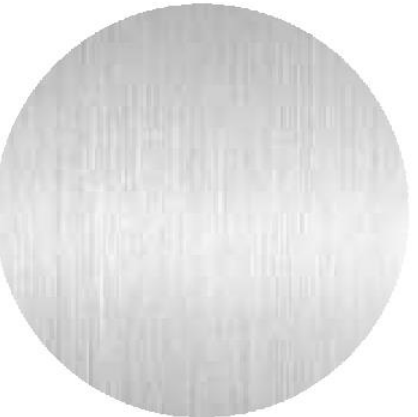
EXISTING GLAZED TILE



EXISTING PLASTER



FRIT GLASS



STAINLESS STEEL

MATERIALS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†





VIEW FROM WOLDENBERG PARK

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple⁺

1 Canal Street

VCC Architectural Committee

February 9, 2021





VIEW FROM WOLDENBERG PARK

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple⁺

1 Canal Street

VCC Architectural Committee

February 9, 2021





VIEW FROM N PETERS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple+

1 Canal Street

VCC Architectural Committee

February 9, 2021





VIEW FROM N PETERS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple+

1 Canal Street

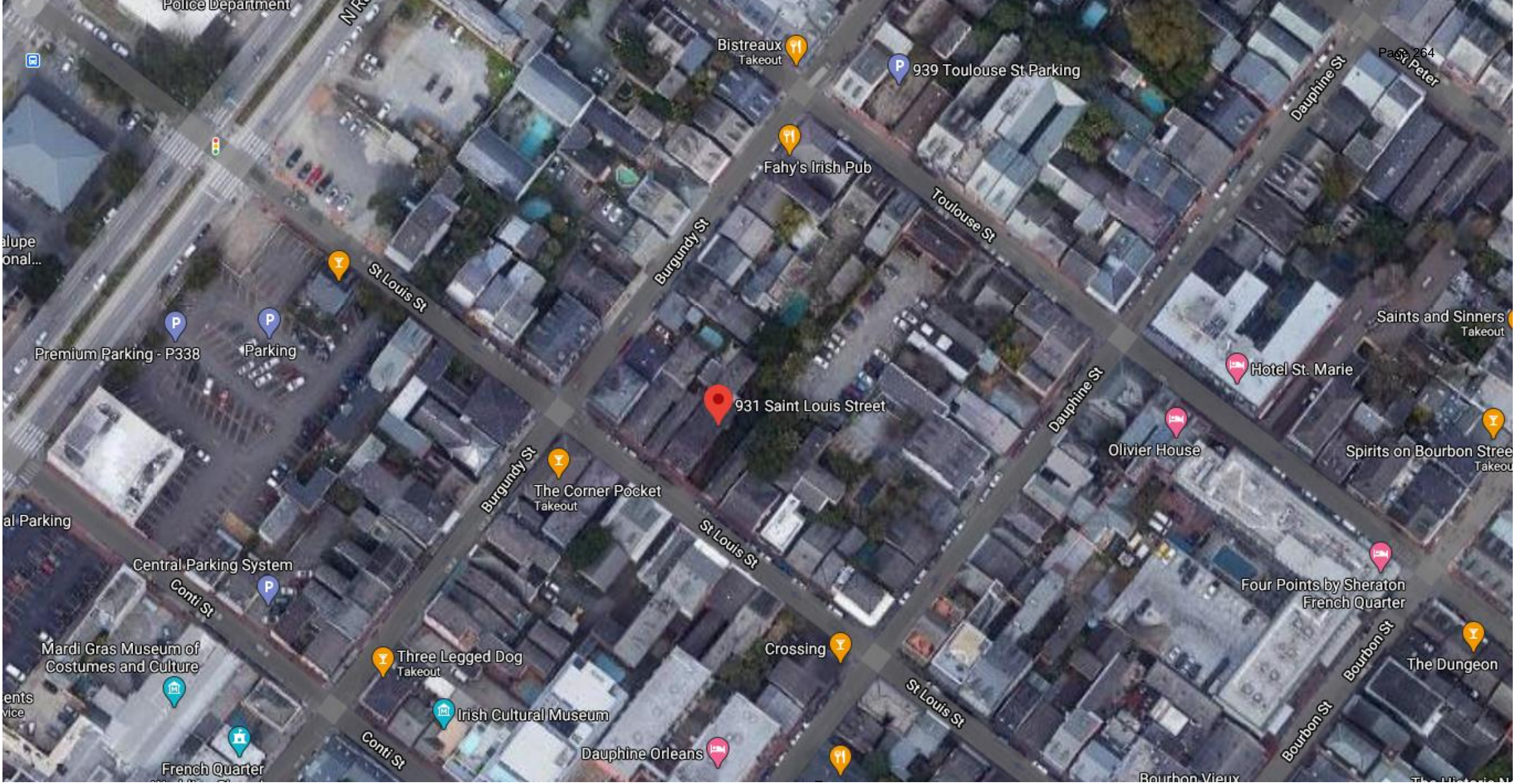
VCC Architectural Committee

February 9, 2021





931 St Louis



931 St Louis

VCC Architectural Committee

April 13, 2021





931 St Louis

VCC Architectural Committee

April 13, 2021





931 St Louis

VCC Architectural Committee

April 13, 2021



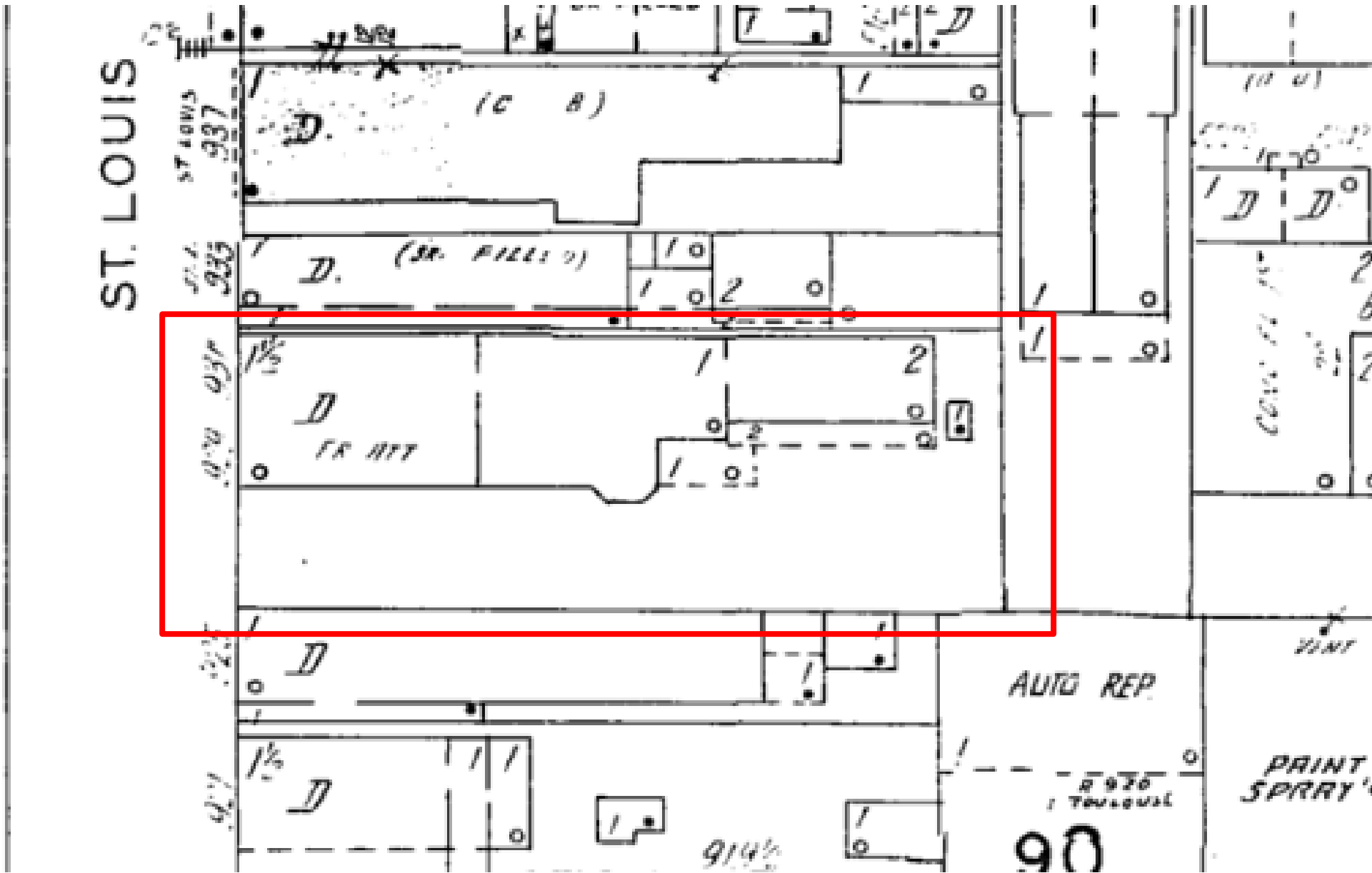


931 St Louis - 1985

VCC Architectural Committee

April 13, 2021





931 St Louis – 1940 Sanborn





931 St Louis

VCC Architectural Committee

April 13, 2021



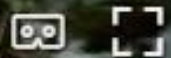


931 St Louis

VCC Architectural Committee

April 13, 2021





Help | Terms | Matterport

931 St Louis

VCC Architectural Committee

April 13, 2021





931 St Louis

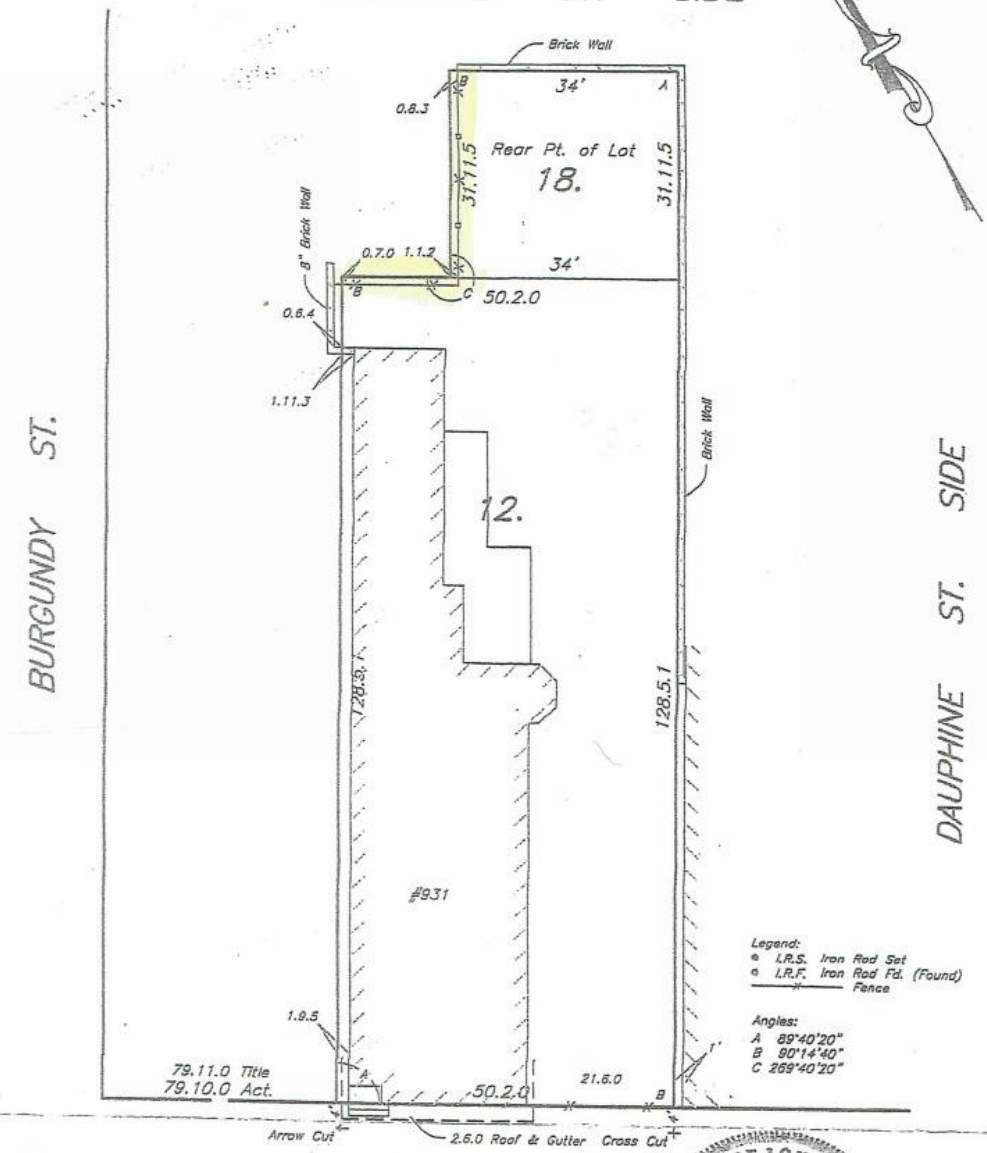
VCC Architectural Committee

April 13, 2021



SQ. NO. 90
 SECOND DISTRICT ORLEANS PARISH
 NEW ORLEANS, LA

TOULOUSE ST. SIDE



Note:
 Improvements may not be to scale for clarity.
 The dimensions shown prevail over scale.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY
 ARE LIMITED TO THOSE SET FORTH IN DESCRIPTION FURNISHED
 US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE

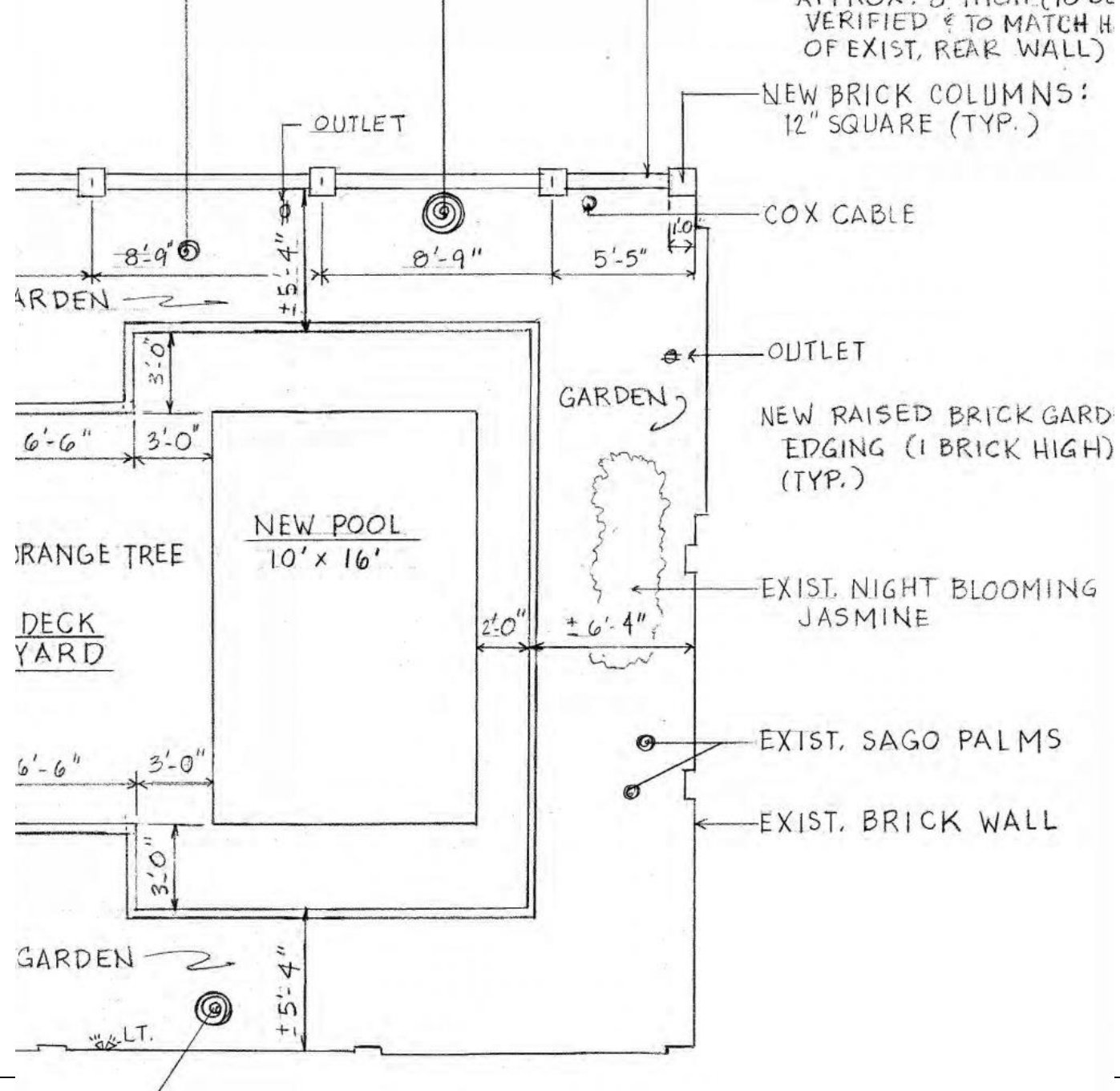


931 St Louis

VCC Architectural Committee

April 13, 2021





931 St Louis

VCC Architectural Committee

April 13, 2021



Proposal:

January 7, 2021

Swimming pool construction proposal for The Mudd residence.

Location; 931 St. Louis St. New Orleans, Louisiana 70112

The Ibert Group, Limited will obtain construction permits and furnish all labor, materials, tools, equipment, workman compensation and general liability insurance to construct the swimming pool as per plan titled Construction Layout Plan dated 12/16/20 provided by Exterior Designs Inc.

Swimming Pool:

- As per plan
- 160 square feet water surface area.
- Depth, shallow end 3'6" to 4'6" deep end.
- 3 steps and bench.

Coping:

- Brick to be installed by Exterior Designs Inc.

Tile:

- 6"x6" frost proof ceramic pool tile or slate.

Structure:

- 100% gunite construction, 7-1/2 sack concrete mix.
- 6" thick walls
- 8" thick floor.
- #3 steel rods ten inches on center both directions.
- 3 steps
- 1 skimmers
- 2 returns
- 2 main drains in pool

Equipment:

- ¾ horse power pump 230v.
- 200 sq. ft. Cartridge filter.
- Intermatic dual timer with transformer
- 2 LED lights

Electrical:

- Ground swimming pool
- 60amp to equipment slab does not include any upgrades to existing house panel if necessary.
- Switches, installation and connections.

Start Up:

- Start up chemicals

931 St Louis

VCC Architectural Committee

April 13, 2021



- Manual cleaning tools
- Pool Deck Paving**
- Demolition of existing brick paver patio. Brick to be lifted and stacked on the driveway. Existing concrete sub base to be removed.
 - 660 square feet #57 compacted crushed limestone base. The limestone is a sub base for the brick paving to be installed by Exterior Designs Inc.

Total Price Materials and Labor: \$39,595.00

Payment Schedule:

- 40% deposit. \$15,838.00
- 35% after gunite installation. \$13,858.25
- 15% after equipment installation. \$5,939.25
- 10% after pool start up. \$3,959.50

William A. Mull *Teresa...*
Owner **The Ibert Group, Limited**

March 31, 2021
Date:

Note: Upgrade Cost.

- \$900.00 additional charge to add color to the plaster.
- \$3,838.00 Caretaker in floor pool cleaning system.
- \$2,841.00 Salt / Chlorine generator.





April 5, 2021

VCC Staff & VCC Committee
Vieux Carre Commission
1300 Perdido St., 7th Floor
New Orleans, LA. 70112

Good Afternoon,

The property at 931 St. Louis Street is currently a single-family residence and is rated Green by the VCC. The design of the main home is a 1 1/2 story dormered brick cottage in the Queen Anne Style with a two-story service building located to the rear in the style of the local vernacular. Sheet A050 contains photographs of the existing residence with keynote tags to the location of where each photograph was taken. Below is a link to the Matterport scan for your reference.

Matterport 3d Walkthrough Link:
<https://my.matterport.com/show/?m=qM3FDYLY8Q3>

The proposed new open-air Pool Gazebo will be placed 6'-4" from the West Property Line and directly across from the service building of 931, as shown on the landscape site plan as well as Sheet A050 of this submission. The design of the Pool Gazebo originated from the simplistic style of the service building. The Gazebo features a new slate roof to match the existing main home and service wing, painted wood columns with the same capital and base wood profiles of the columns on the rear porch, and the flooring is a brick patio in a herringbone pattern which matches and is integrated into the paving of the existing courtyard. The floor plans, elevations, and 3d views of the Pool Gazebo are located on Sheet A101 for your review and comment.

If you have any questions, feel free to reach out to us on our office line at 504-603-6881.

Sincerely,

Michael Reid, RA, NCARB
Owner/Principal Architect
Classical Roots Architecture LLC

&

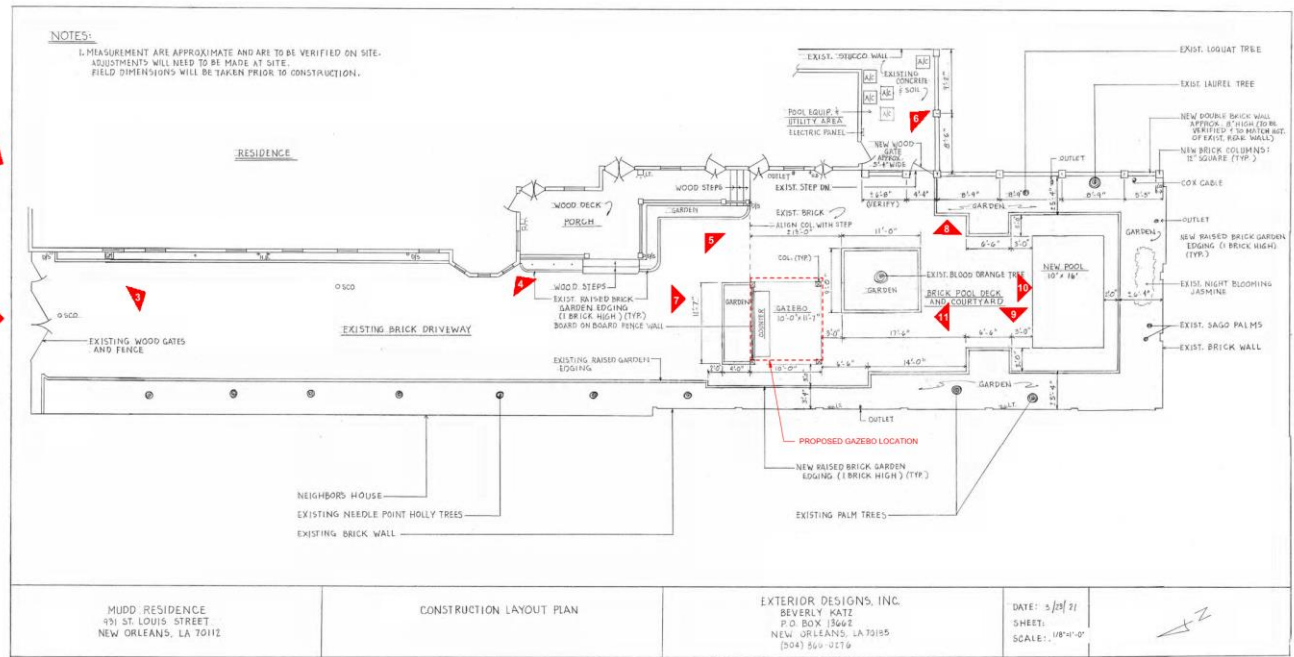
Gretchen Gottfried, RA, NCARB
Owner/Principal Architect
Classical Roots Architecture LLC

931 St Louis

VCC Architectural Committee

April 13, 2021





MUDD RESIDENCE
431 ST. LOUIS STREET
NEW ORLEANS, LA 70112

CONSTRUCTION LAYOUT PLAN

EXTERIOR DESIGNS, INC.
BEVERLY KATZ
P.O. BOX 13646
NEW ORLEANS, LA 70115
(504) 560-0119

DATE: 5/21/21
SHEET:
SCALE: 1/8" = 1'-0"

MUDD RESIDENCE GAZEBO
MR. WILLIAM MUDD
931 ST. LOUIS STREET
NEW ORLEANS, LA 70112

SCHMATIC DESIGN (NFC)



A PROPOSED LANDSCAPE PLAN
1/8" = 1'-0"

EXISTING SITE
DETAILS
VCC REVIEW

Project number: 2020-024
Date: 04/05/2021

A050

Scale: As indicated



931 St Louis

VCC Architectural Committee

April 13, 2021



1 FRONT GATE
N.T.S.



2 ST. LOUIS STREET FACADE
N.T.S.



3 MAIN HOUSE FROM DRIVEWAY
N.T.S.



4 MAIN HOUSE EXTERIOR ENTRY 1
N.T.S.



5 MAIN HOUSE EXTERIOR ENTRY 2
N.T.S.



6 POOL EQUIP. AND MECH.
N.T.S.



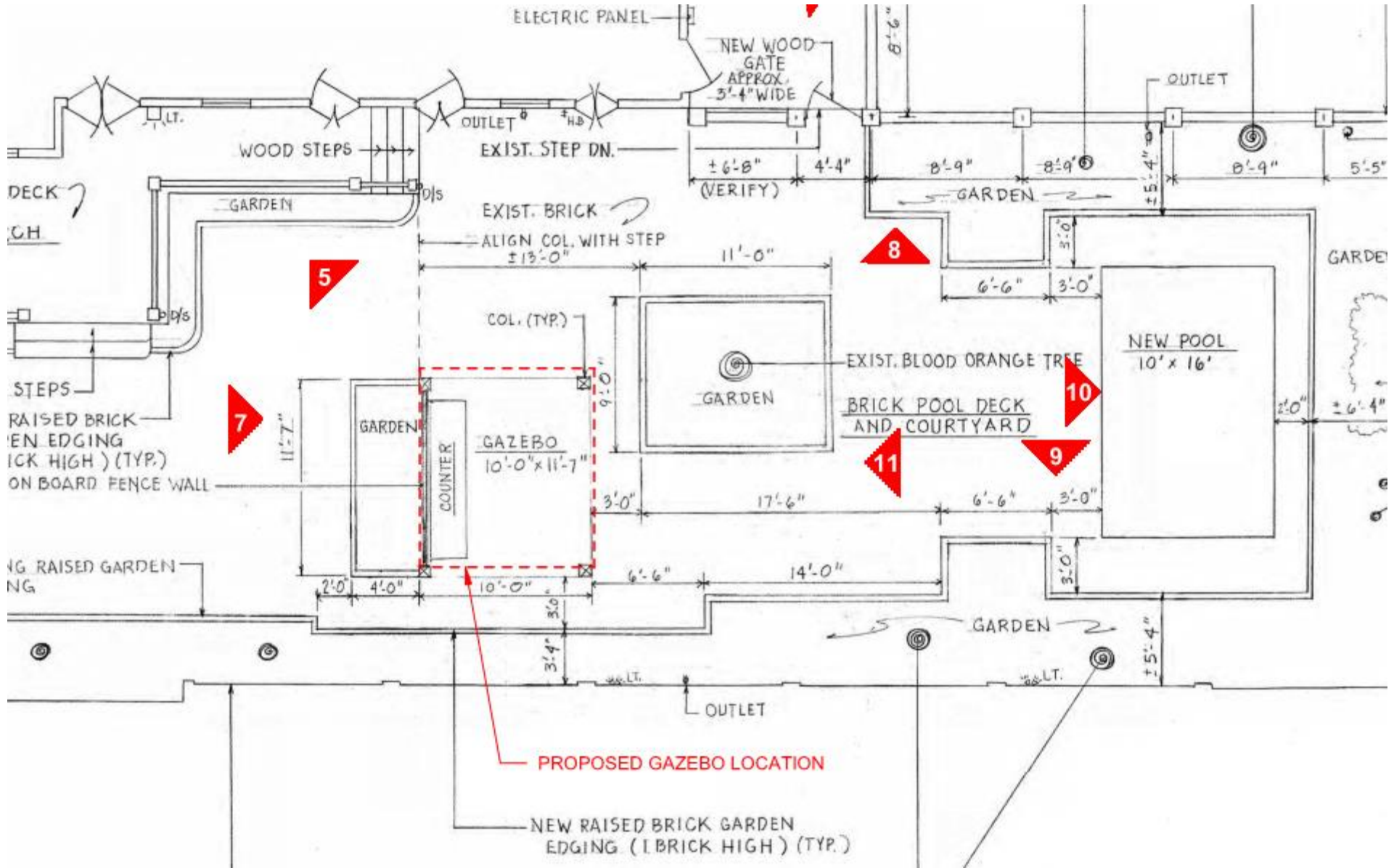
7 GARDEN 1
N.T.S.

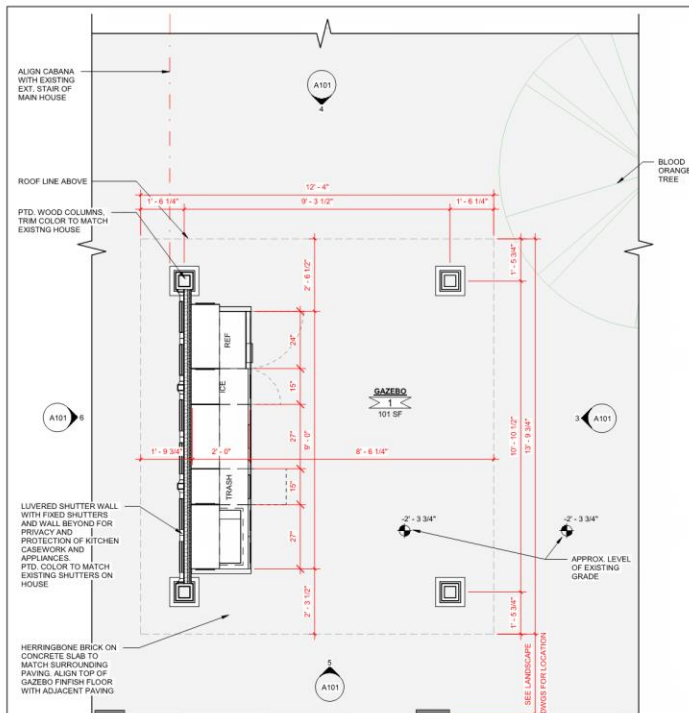


8 GARDEN 2
N.T.S.



9 GARDEN AND BRICK FENCE
N.T.S.



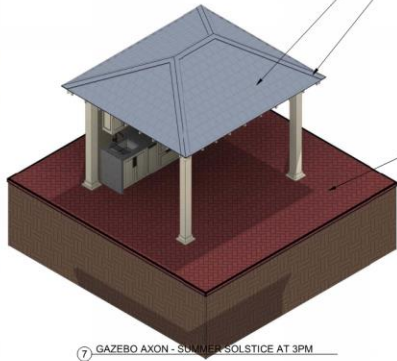


2 GAZEBO FLOOR
1/2" = 1'-0"

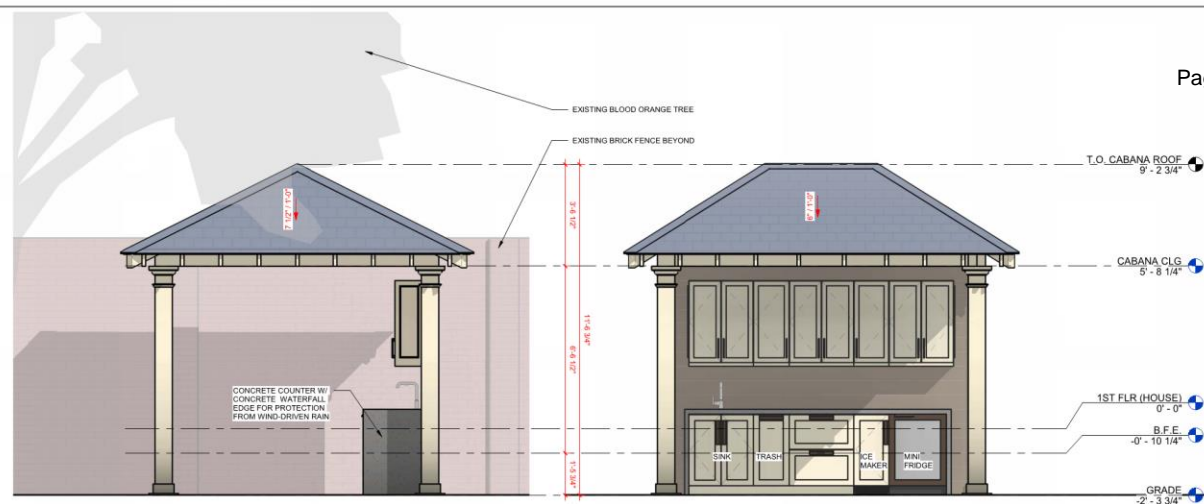
ROOM SCHEDULE		
Number	Name	Area
1	GAZEBO	101 SF
TOTAL AREA		101 SF



1 GAZEBO INTERIOR PERSPECTIVE



7 GAZEBO AXON - SUMMER SOLSTICE AT 3PM



4 GAZEBO EXTERIOR ELEVATION - NORTH
1/2" = 1'-0"

3 GAZEBO EXTERIOR ELEVATION - EAST
1/2" = 1'-0"



6 GAZEBO EXTERIOR ELEVATION - WEST
1/2" = 1'-0"

5 GAZEBO EXTERIOR ELEVATION - SOUTH
1/2" = 1'-0"

MUDD RESIDENCE GAZEBO
MR. WILLIAM MUDD
931 ST. LOUIS STREET
NEW ORLEANS, LA 70112

SCHEMATIC DESIGN (NFC)

GAZEBO VCC REVIEW

Project number	2020-024
Date	04/05/2021
A101	
Scale	As indicated



931 St Louis

VCC Architectural Committee

April 13, 2021





① PROPOSED GAZEBO RENDERING
N.T.S.

MUDD RESIDENCE GAZEBO
931 ST. LOUIS STREET
NEW ORLEANS, LA 70112
MR. WILLIAM MUDD
SCHEMATIC DESIGN (NFC)

PROPOSED GAZEBO
RENDERING

Project number	2020-024
Date	04/06/2021

4/6/2021 7:05:28 PM

X101

931 St Louis

VCC Architectural Committee

April 13, 2021





SHARE YOUR STYLE | Upload a photo



Havoc with LED Light 54 Inch

★★★★★ 4.6 (19) Write a Review Ask a Question

\$399.99



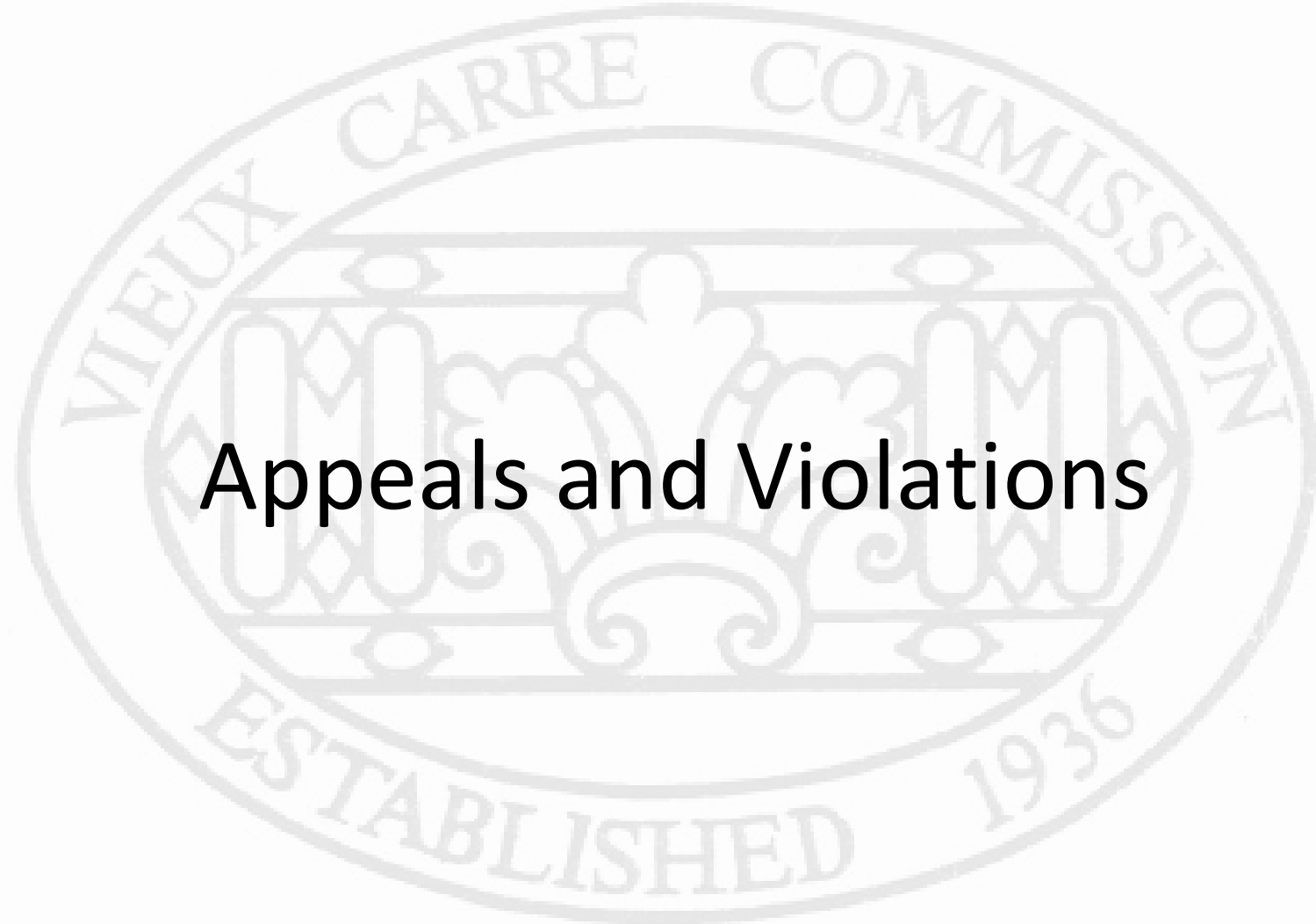
Matte Black - Matte Black | Item 59471

3 Matte Black blades included

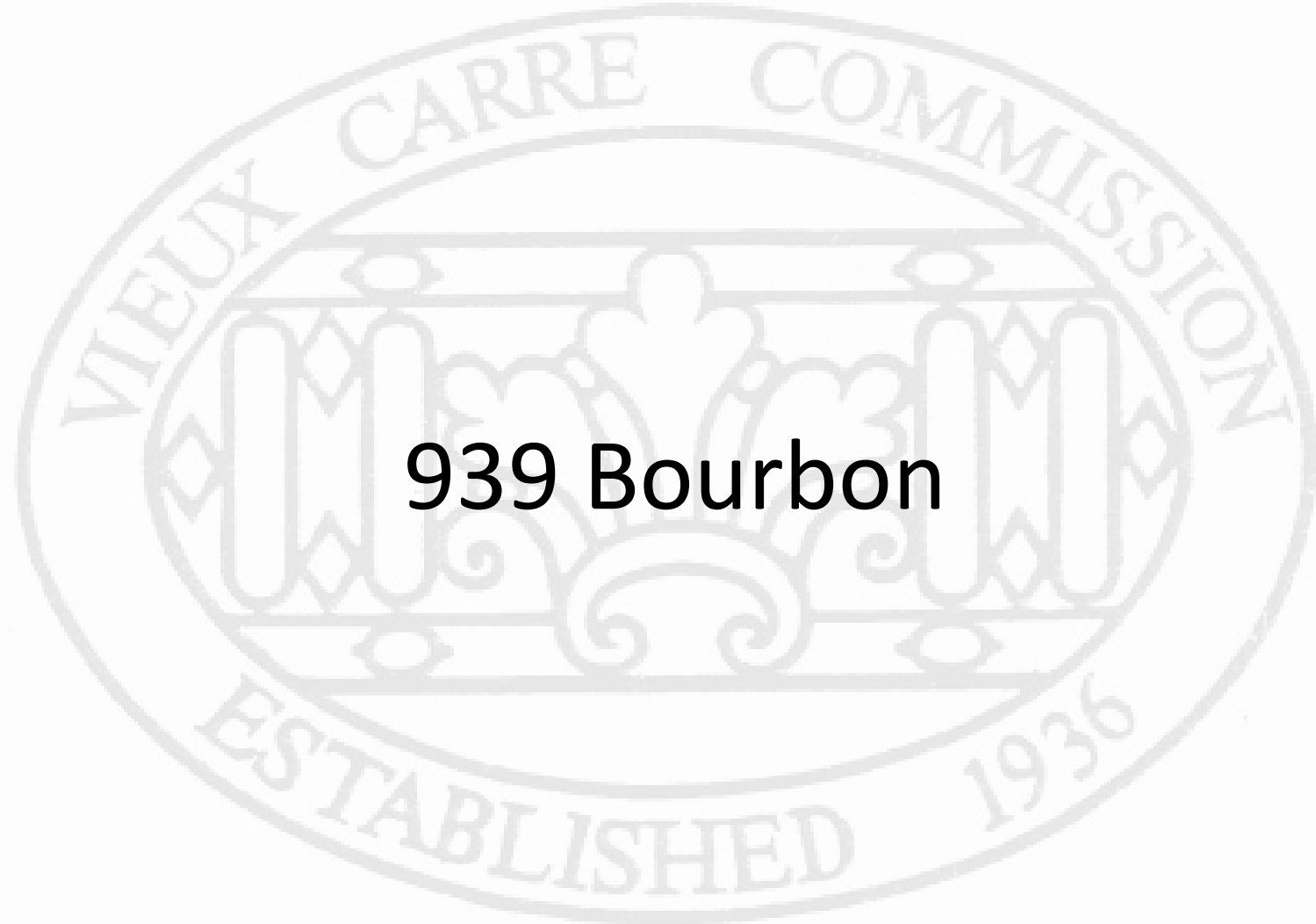


Vieux Carré Commission Architecture Committee Meeting

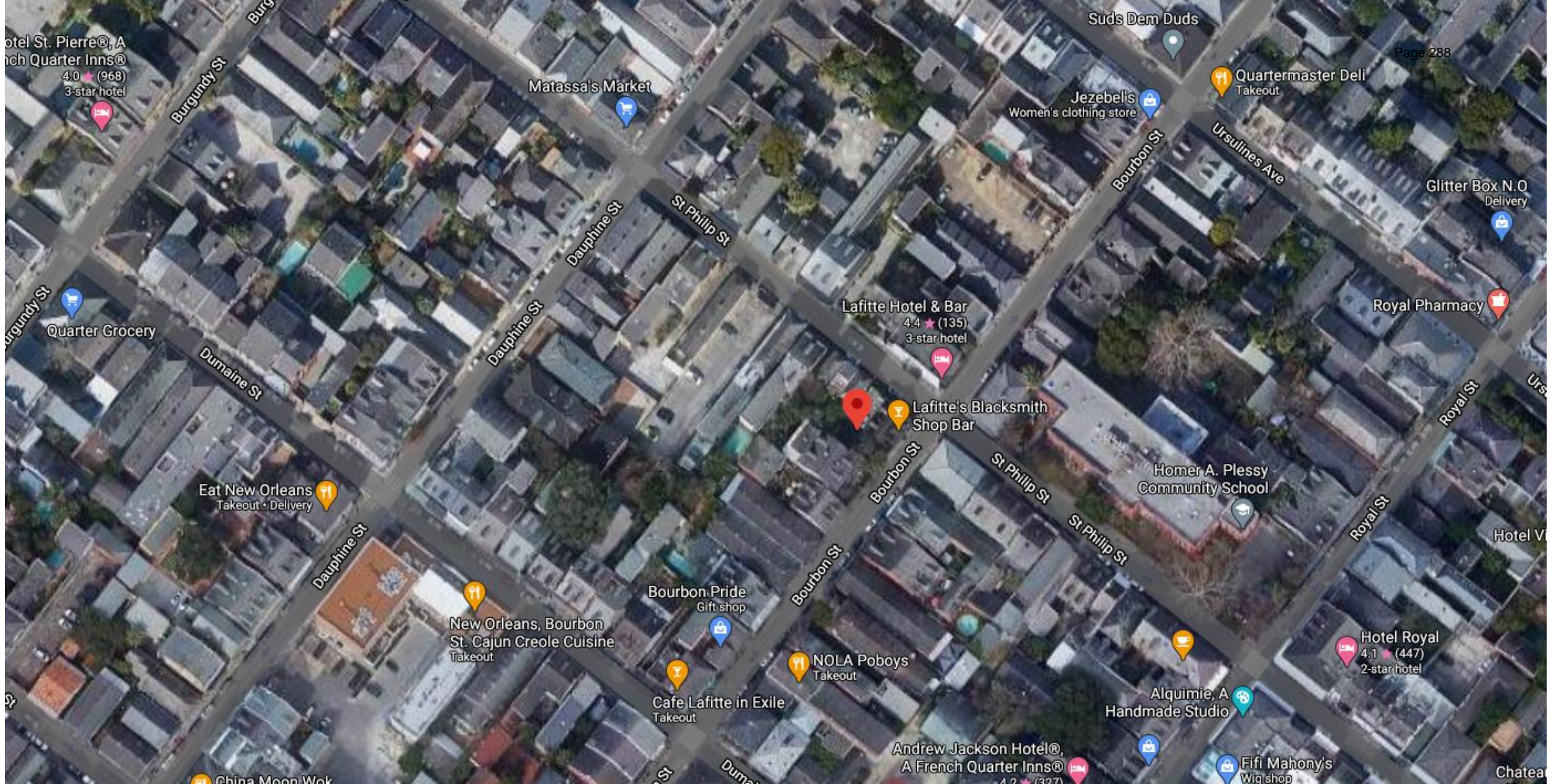
Tuesday, April 13, 2021



Appeals and Violations



939 Bourbon



939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

VCC Architectural Committee

February 9, 2021



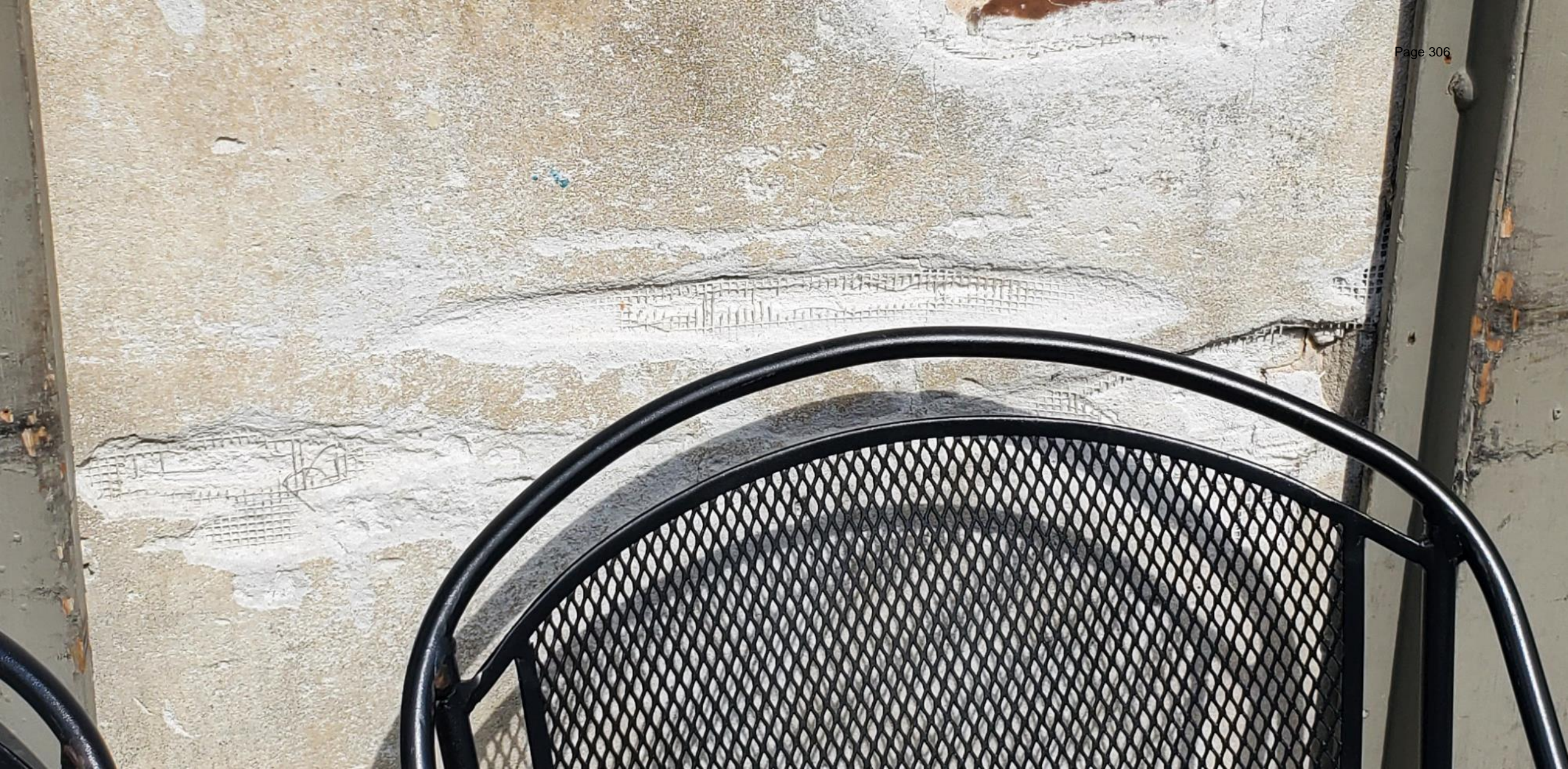


939 Bourbon

VCC Architectural Committee

February 9, 2021





939 Bourbon

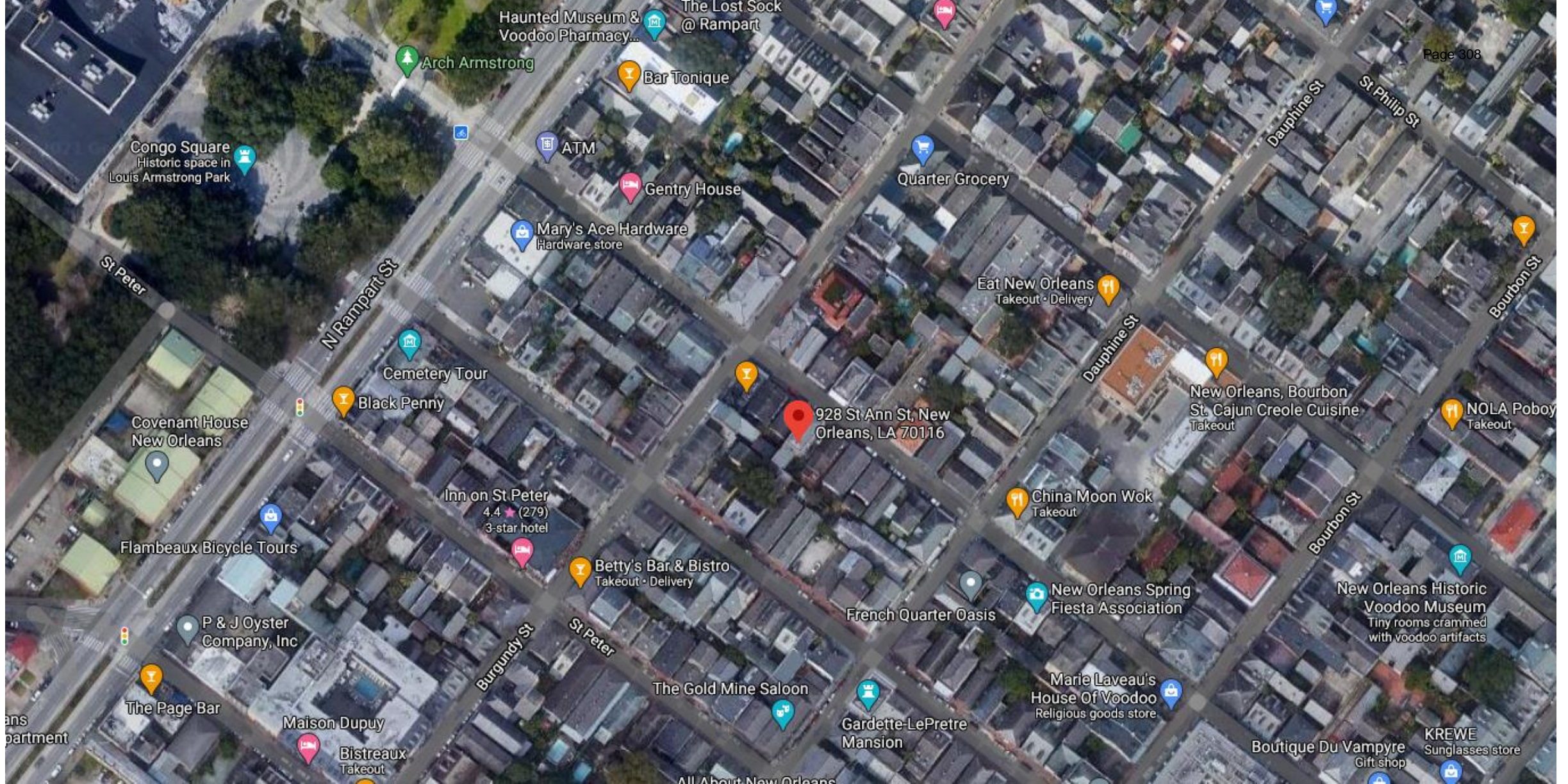
VCC Architectural Committee

February 9, 2021





928 St Ann



928 St Ann

VCC Architectural Committee

February 9, 2021





928 St Ann

VCC Architectural Committee

February 9, 2021





928 St Ann

VCC Architectural Committee

February 9, 2021





928 St Ann

VCC Architectural Committee

February 9, 2021





928 St Ann



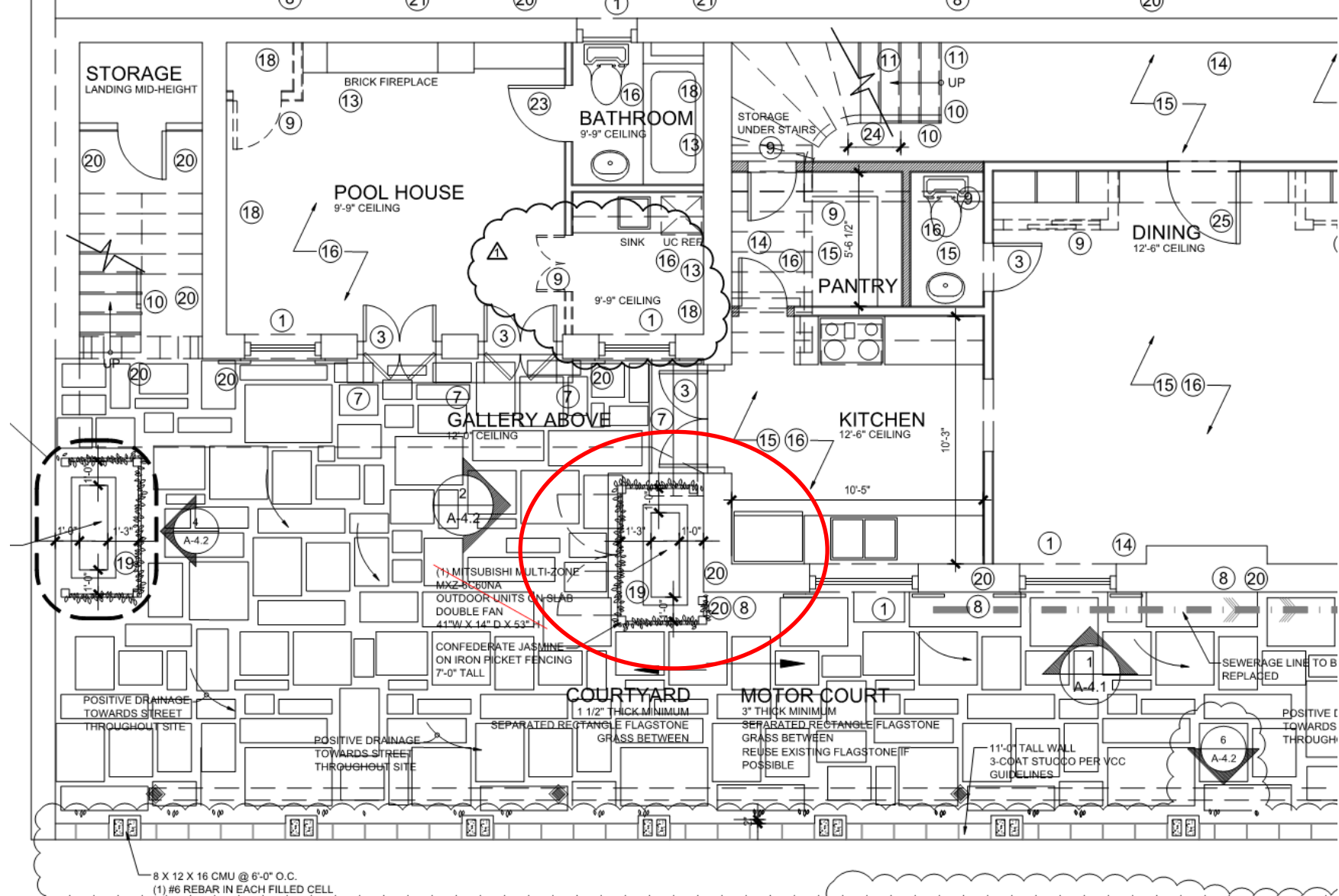


928 St Ann

VCC Architectural Committee

February 9, 2021



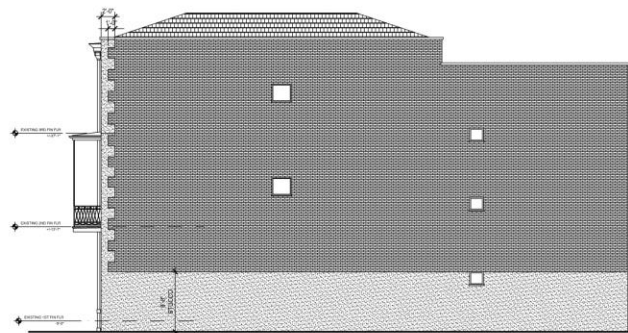


8 X 12 X 16 CMU @ 6'-0" O.C.
 (1) #6 REBAR IN EACH FILLED CELL

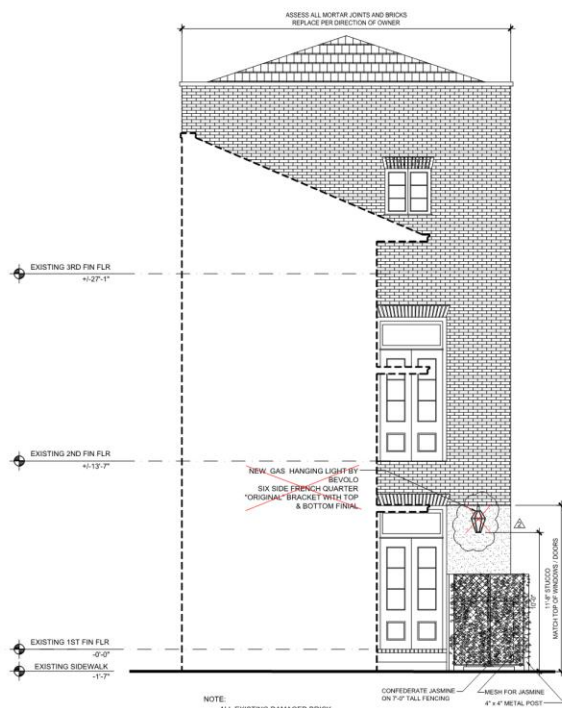
1
 A-2 **SITE / NEW FIRST FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

DOORS AND TRANSOMS:
 IF REPLACEMENT OF A DOOR OR TRANSOM IS NECESSARY WITH DOOR OR TRANSOM EXACTLY IN-KIND. DOOR/TRANS

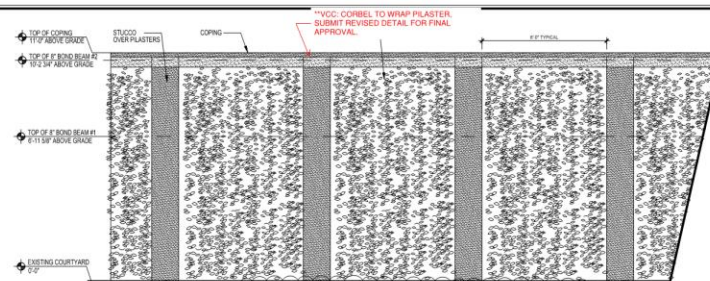




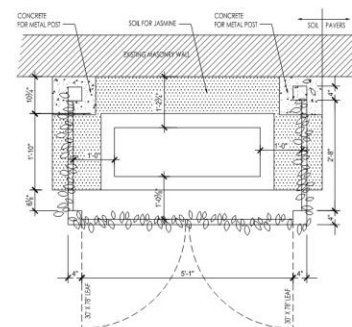
1 ALLEY WAY ELEVATION - BURGUNDY STREET SIDE
SCALE: 1/8" = 1'-0"



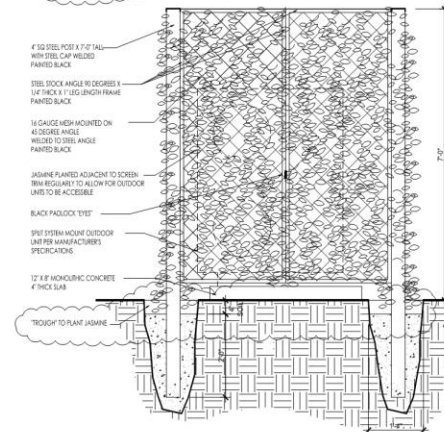
2 COURTYARD PARTIAL SECTION ELEVATION
SCALE: 1/4" = 1'-0"



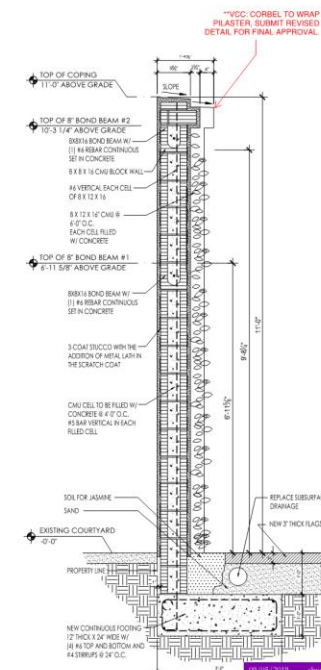
6 LANDSCAPE WALL ELEVATION
SCALE: 3/4" = 1'-0"



3 MECHANICAL FENCING ENLARGED PLAN
SCALE: 3/4" = 1'-0"



4 MECHANICAL FENCING ELEVATION
SCALE: 3/4" = 1'-0"

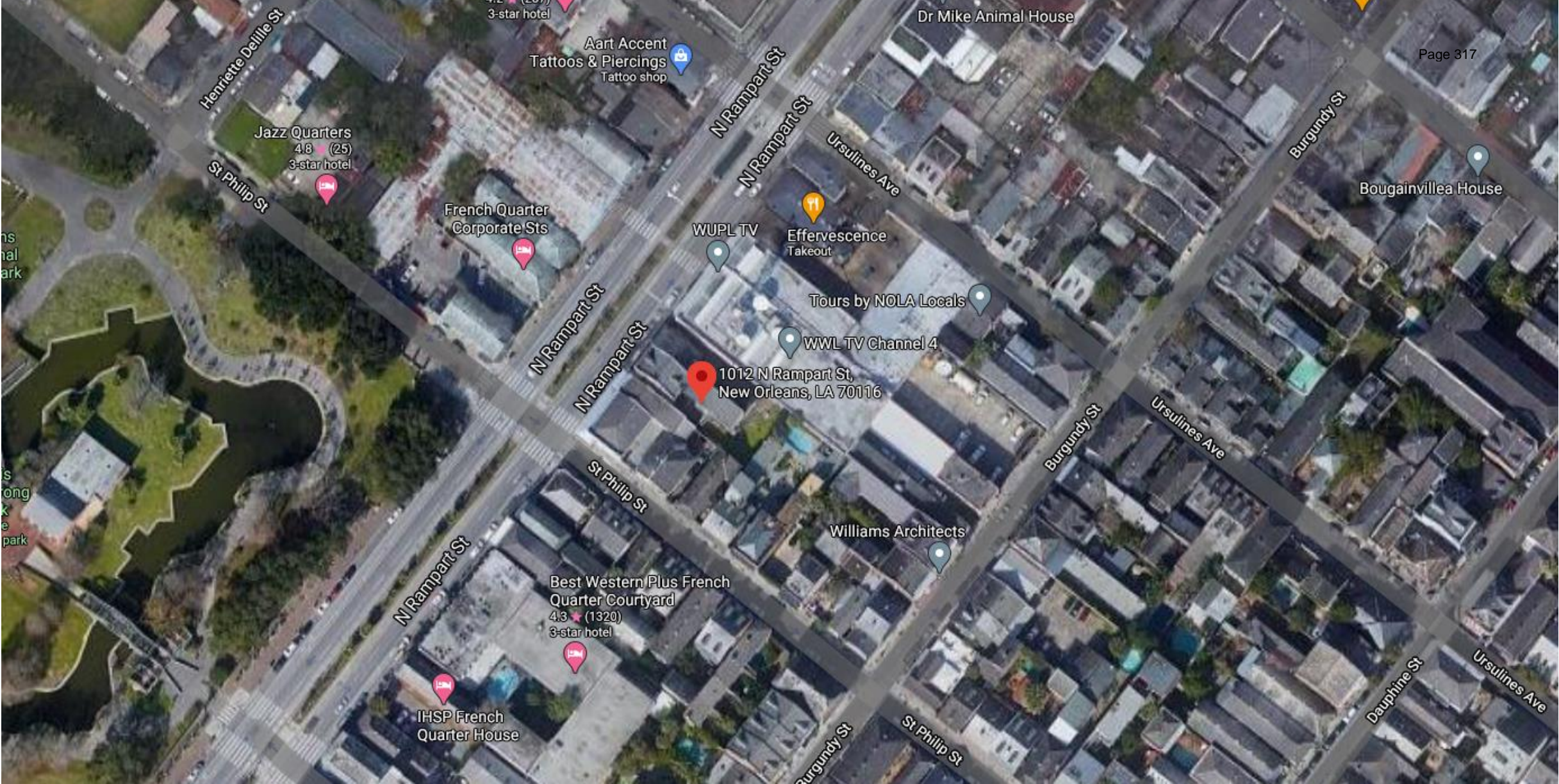


5 SECTION - LANDSCAPE WALL
SCALE: 3/4" = 1'-0"





1012 N Rampart



1012 N Rampart

VCC Architectural Committee

February 9, 2021





1012 N Rampart

VCC Architectural Committee

February 9, 2021





1012 N Rampart

VCC Architectural Committee

February 9, 2021





1012 N Rampart

VCC Architectural Committee

February 9, 2021





1012 N Rampart

VCC Architectural Committee

February 9, 2021



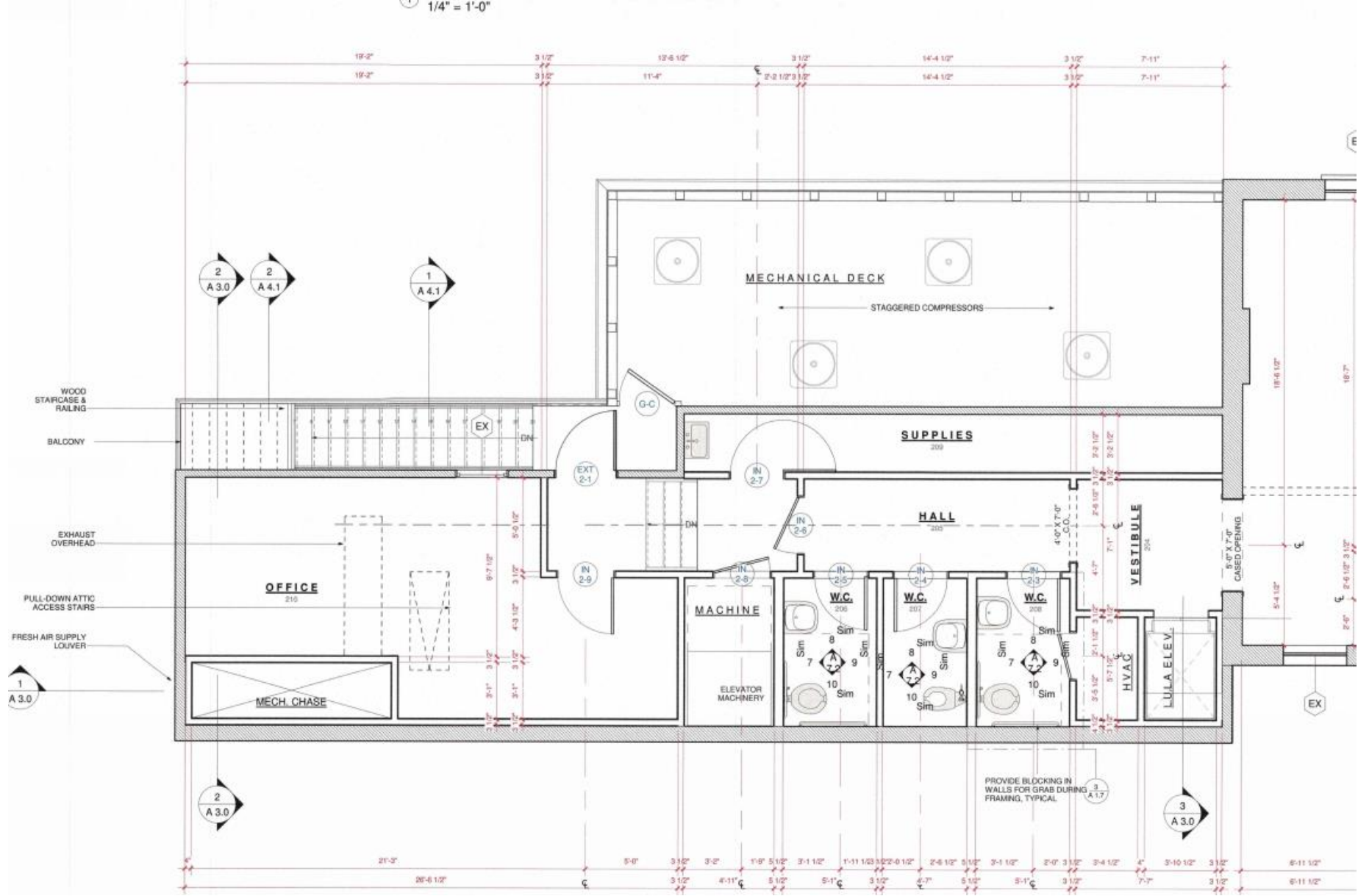


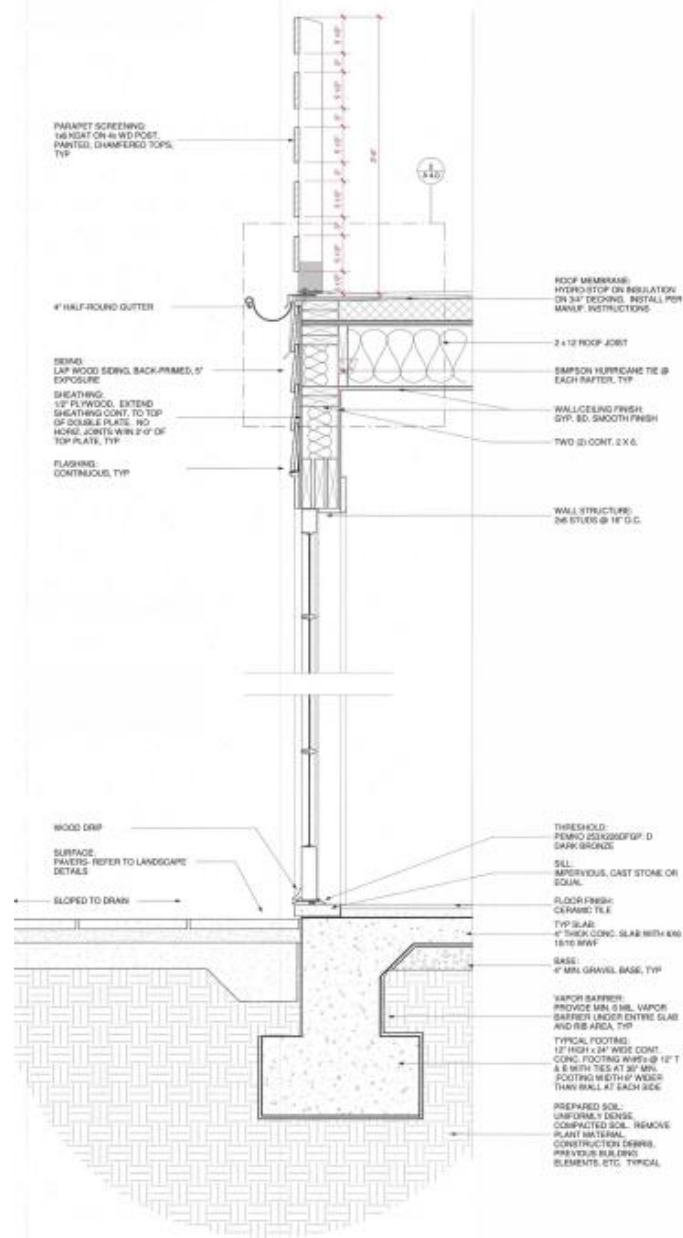
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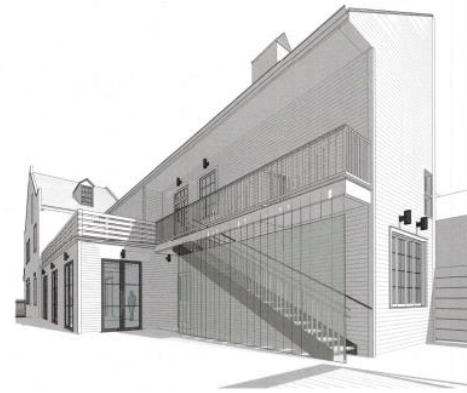
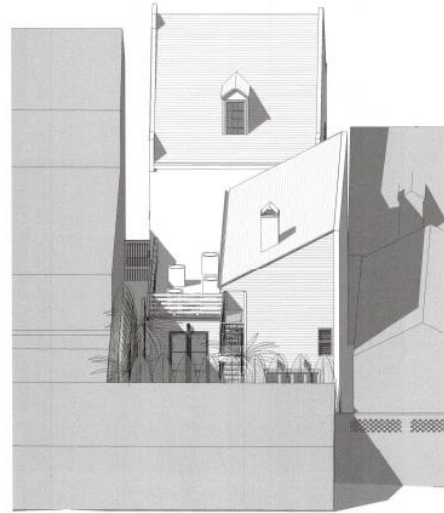
VCC Architectural Committee

February 9, 2021









CORBETT SCOTT ARCHITECT



2115 MAGAZINE ST
NEW ORLEANS, LA
70112
CORBETT SCOTT ARCHITECT
CORBETTSCOTTARCHITECT.COM
504 408 1823



A NEW RESTAURANT
1012 NORTH RAMPART
NEW ORLEANS LOUISIANA

DATE 12.27.19

REVISION

PERSPECTIVES

VIEUX CARRE COMMISSION	
REVIEWED	<i>[Signature]</i>
APPROVED	<i>[Signature]</i>
DISAPPROVED	
DATE CHANGES	
DATE	1/17/2020

A 0.1

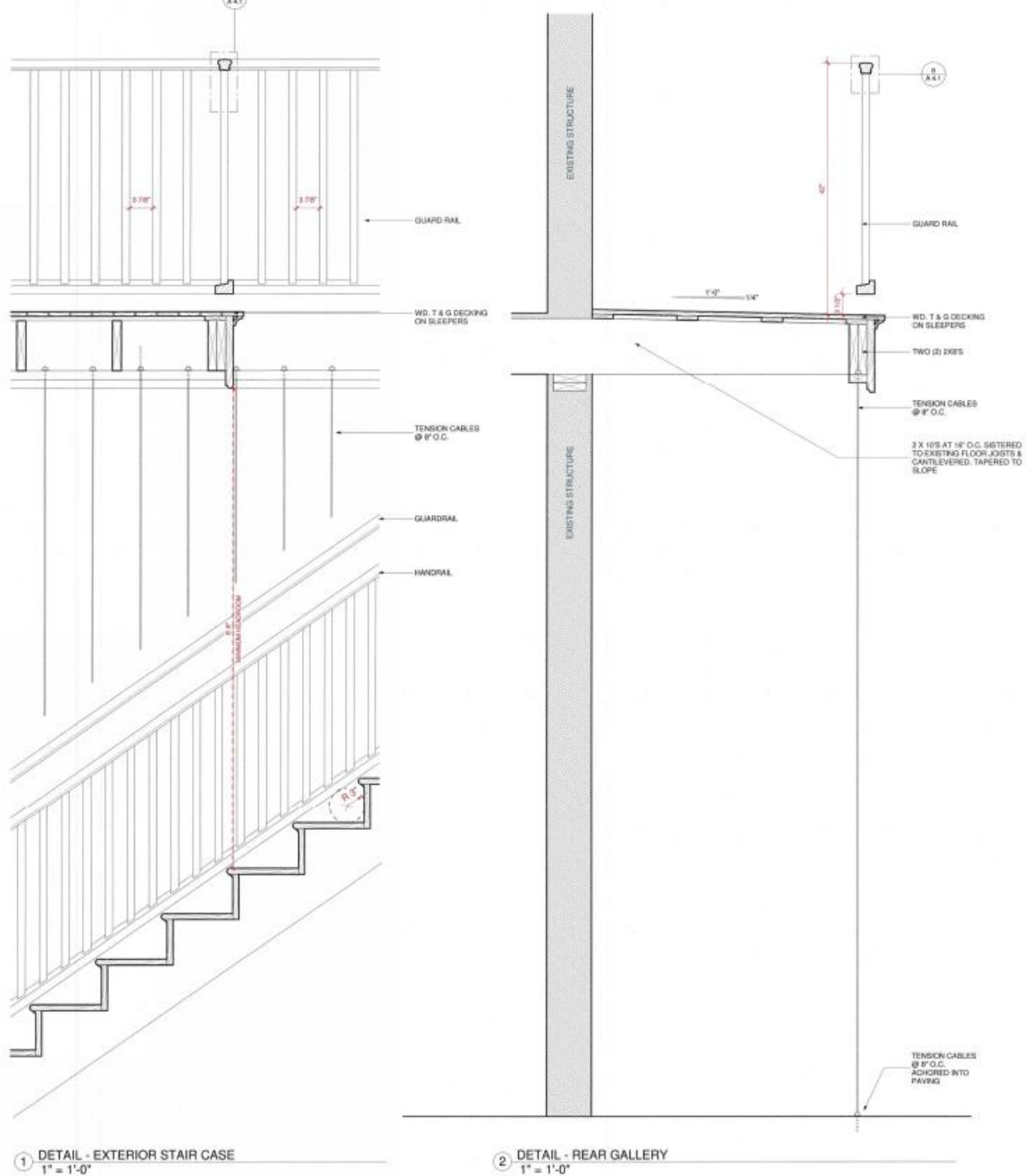
All drawings are the sole property of Corbett Scott, Architect, Inc. They are not to be copied, distributed, or used without written, express consent from Corbett Scott, Architect, Inc.

1012 N Rampart

VCC Architectural Committee

February 9, 2021





1012 N Rampart



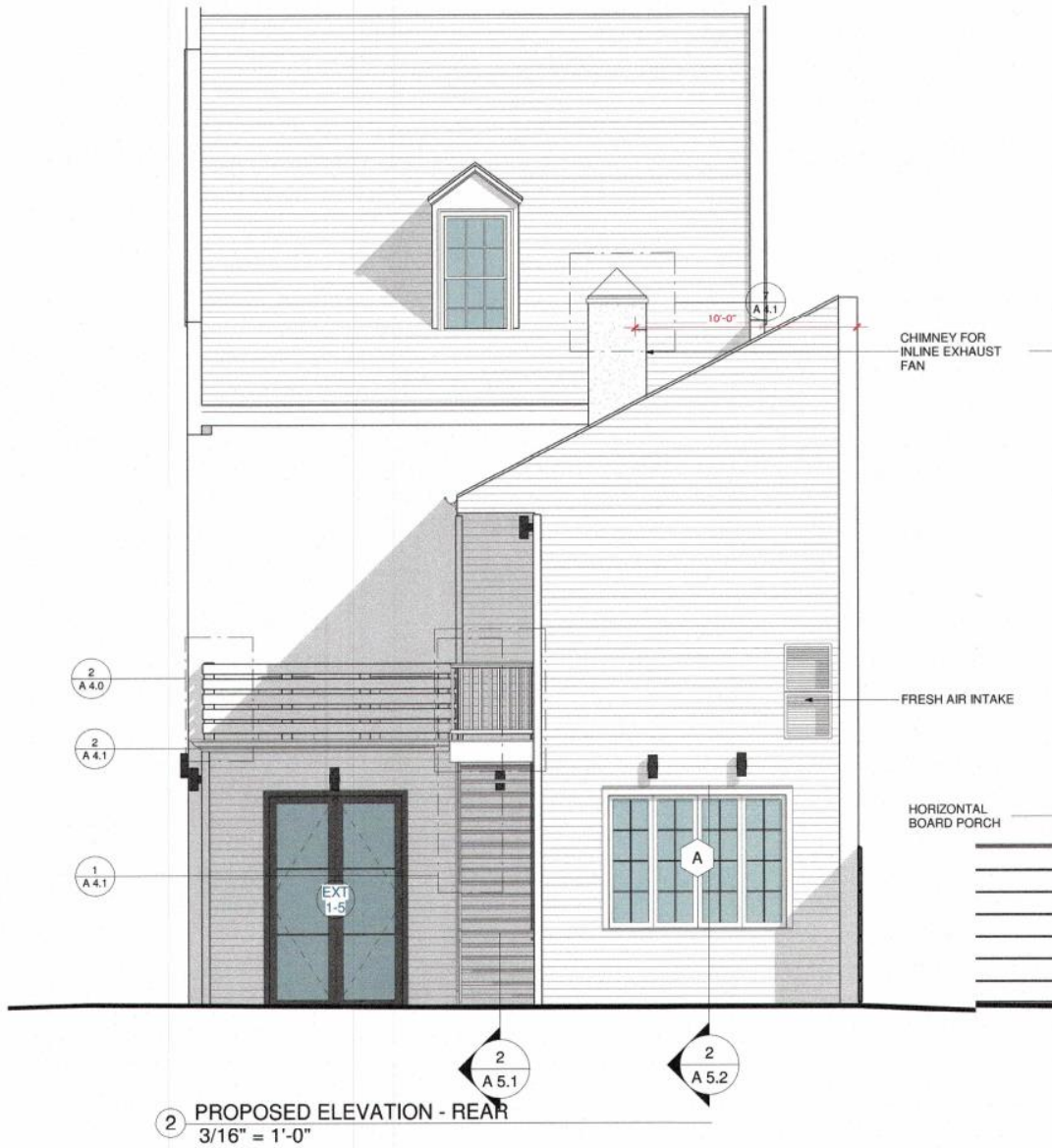


1012 N Rampart

VCC Architectural Committee

February 9, 2021





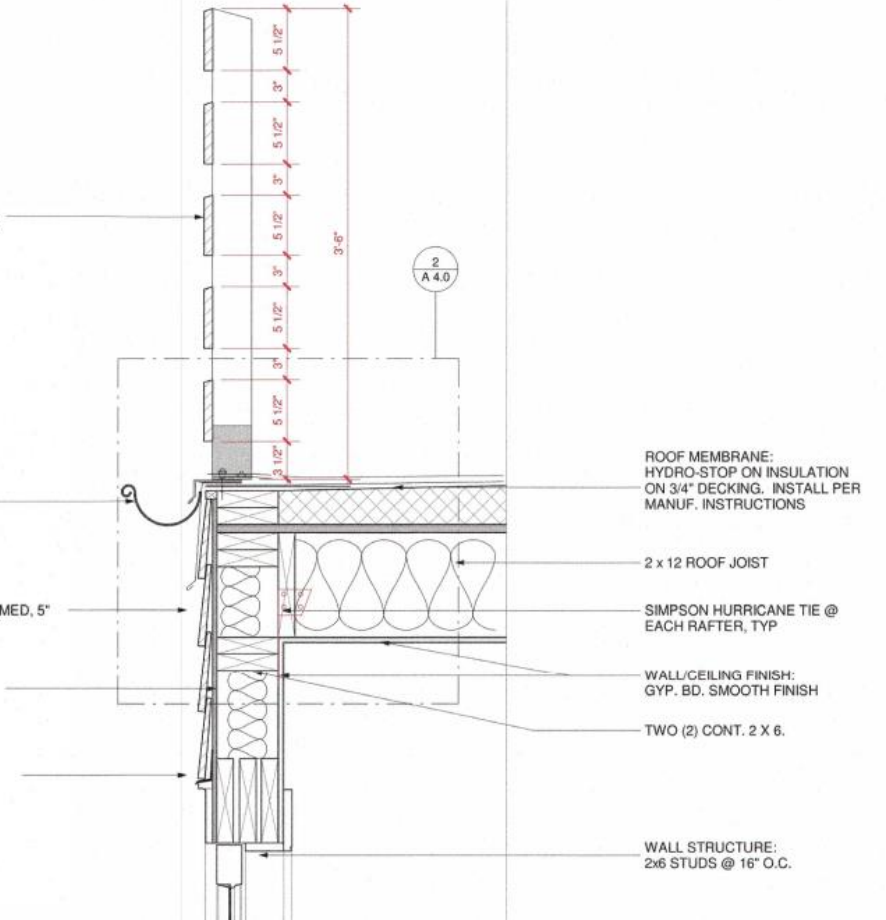
PARAPET SCREENING:
1x6 KDAT ON 4x WD POST,
PAINTED, CHAMFERED TOPS,
TYP

4" HALF-ROUND GUTTER

SIDING:
LAP WOOD SIDING, BACK-PRIMED, 5"
EXPOSURE

SHEATHING:
1/2" PLYWOOD. EXTEND
SHEATHING CONT. TO TOP
OF DOUBLE PLATE. NO
HORIZ. JOINTS W/IN 2'-0" OF
TOP PLATE, TYP

FLASHING:
CONTINUOUS, TYP





1012 N Rampart

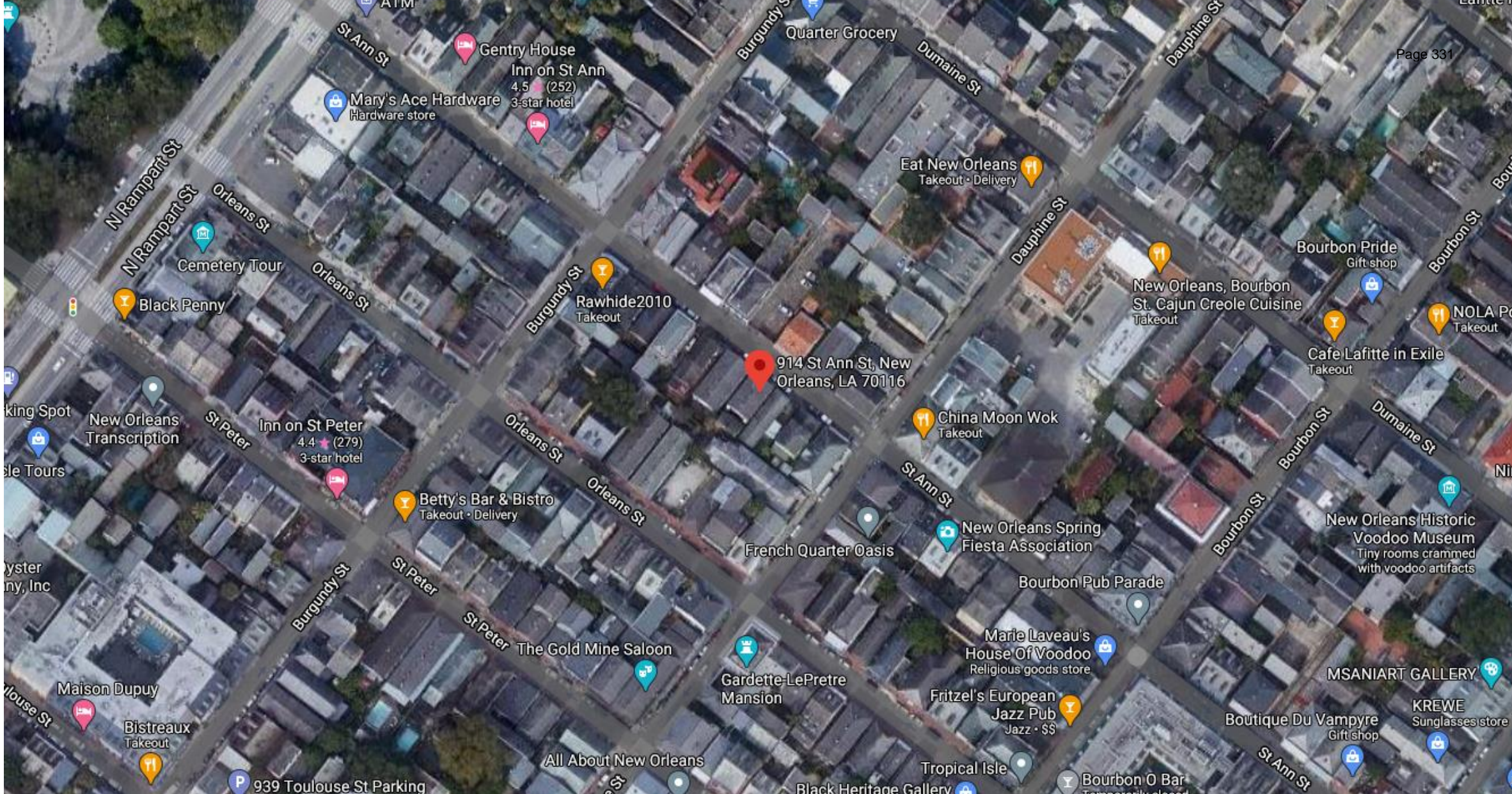
VCC Architectural Committee

February 9, 2021





914 St Ann



914 St Ann

VCC Architectural Committee

January 26, 2021





914 St Ann

VCC Architectural Committee

January 26, 2021





914 St Ann

VCC Architectural Committee

January 26, 2021





914 St Ann

VCC Architectural Committee

January 26, 2021





914 St Ann

VCC Architectural Committee

January 26, 2021





914 St Ann

VCC Architectural Committee

January 26, 2021





914 St Ann

VCC Architectural Committee

January 26, 2021





Sustainable Roofing



Majestic Slate



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Majestic Slate



Historically, natural slate is one of the most appealing roofing choices, combining unmatched durability with aesthetic appeal. The cost of natural slate, as well as its weight and difficulty in finding a qualified slate installer, often makes its use prohibitive. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, combines classic appeal with modern technology to offer the lightweight and affordable alternative – Majestic Slate™.

Created with recycled rubber and plastics, Majestic Slate offers a sustainable, lighter and easy-to-install roofing product that provides the appearance of natural slate with lower application costs. Available in two widths and designer accents, this slate alternative offers endless possibilities for residential and commercial projects. The architectural detail of a project, whether historic or new construction, is further enhanced by a wide range of available color combinations using the palette of 11 standard color choices and array of custom options.

Curb appeal is everything when it comes to the look of your home, but protection from the elements must be a priority. Majestic Slate offers both.

Majestic Slate Color Palette



Note: Sample pieces, photographs or color swatches may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, test tiles or shingles should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions. *Significant property insurance discounts may be available when upgrading or building a roof to protect against hail, wind or fire damage in regions where severe weather is common. EcoStar tiles meet or exceed industry standards for Impact Resistance and Fire Resistance. Contact your insurance provider for details. © 2019 by EcoStar LLC. EcoStar and Majestic Slate are trademarks of EcoStar LLC. See www.ecostarllc.com for available warranties. P/N-002089 MAJESTIC SLATE CUT SHEET

Advantages

- Weighs 1/3 to 1/2 as much as natural slate
- Easy application keeps installation costs down
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail!

Architectural Flexibility

- Designer Series tiles can be blended together to add personal style to your home
- Staggered and offset installations accentuate roof texture and depth
- Available in 11 standard colors
- Enhance the historical look in both residential and commercial buildings

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and driving rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 90 mph (145 kph) Wind Warranty (standard)

Environmental Sustainability



- Manufactured with post-industrial recycled rubber and plastics

Technical Information

- UL listed Class C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- Wind resistance to 110 mph (ASTM D3161)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Report to ICC AC07 (R18920-02)
- Texas Dept. of Insurance Evaluation (RC-135)
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com

