

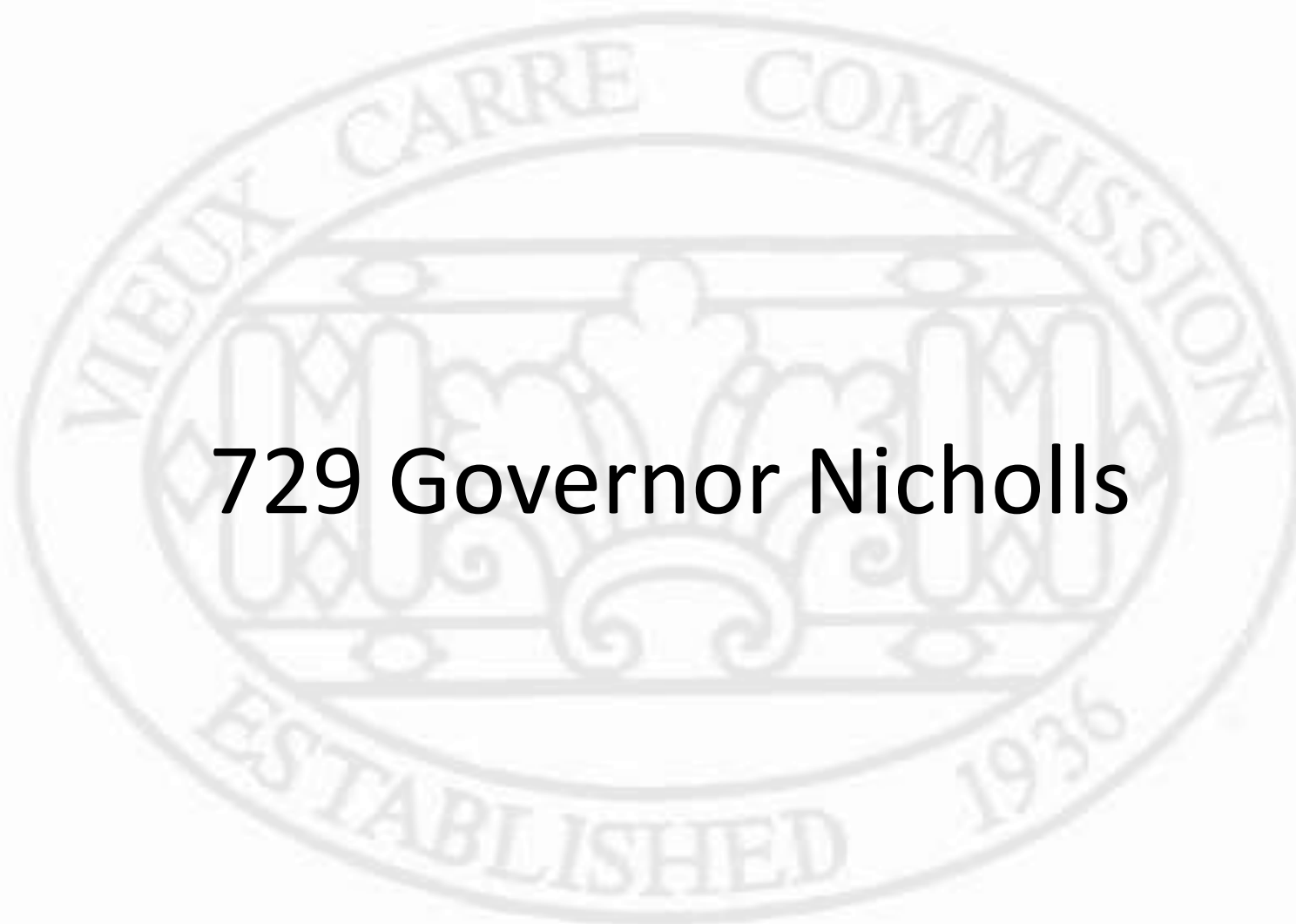


Vieux Carré Commission Architecture Committee Meeting

Tuesday, July 13, 2021



Old Business



729 Governor Nicholls

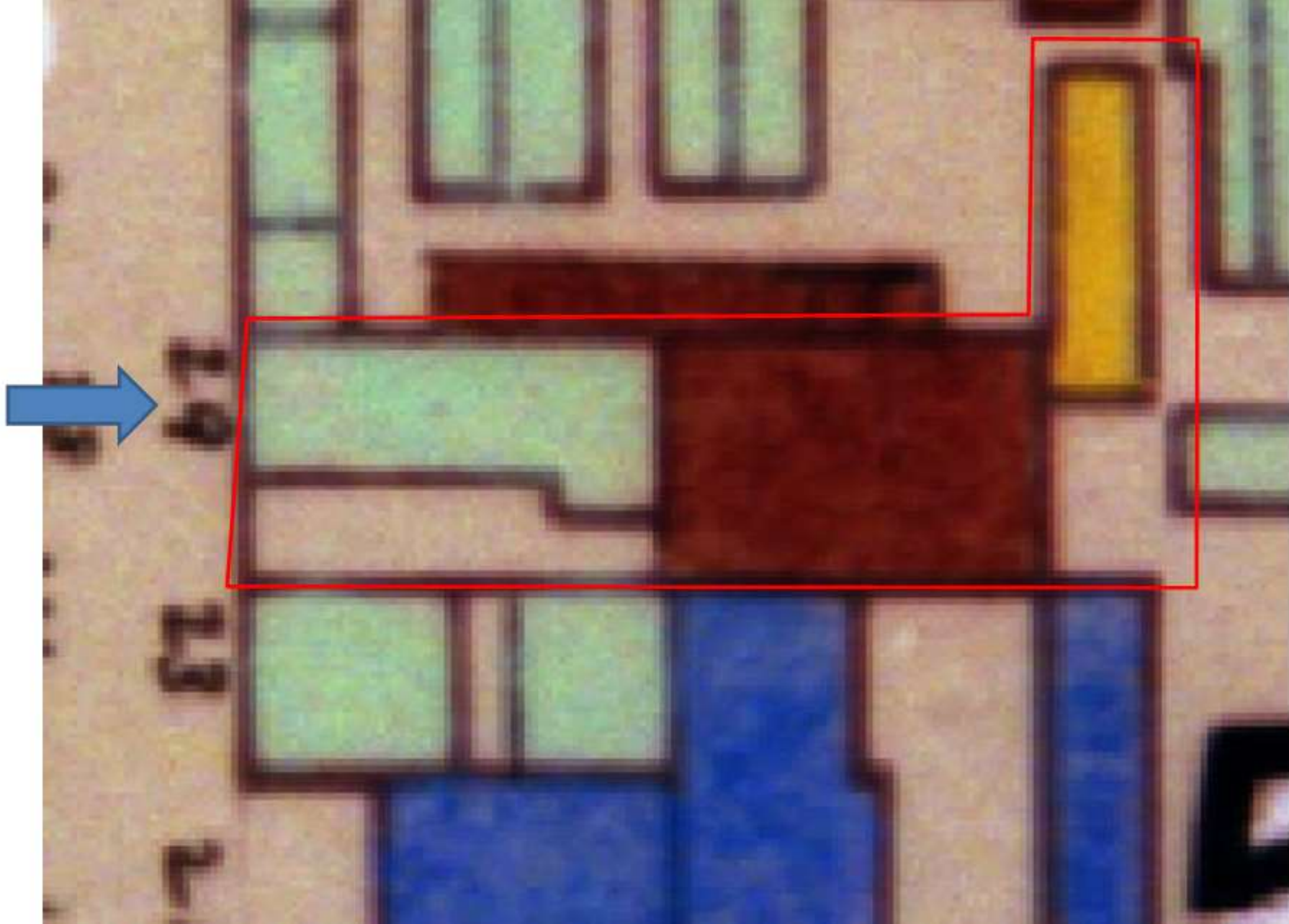


729 Gov. Nicholls

VCC Architectural Committee

July 13, 2021





729 Gov. Nicholls

VCC Architectural Committee

July 13, 2021





729 Gov. Nicholls - 1962

VCC Architectural Committee

July 13, 2021





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July 13, 2021





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July 13, 2021





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July 13, 2021





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July 13, 2021



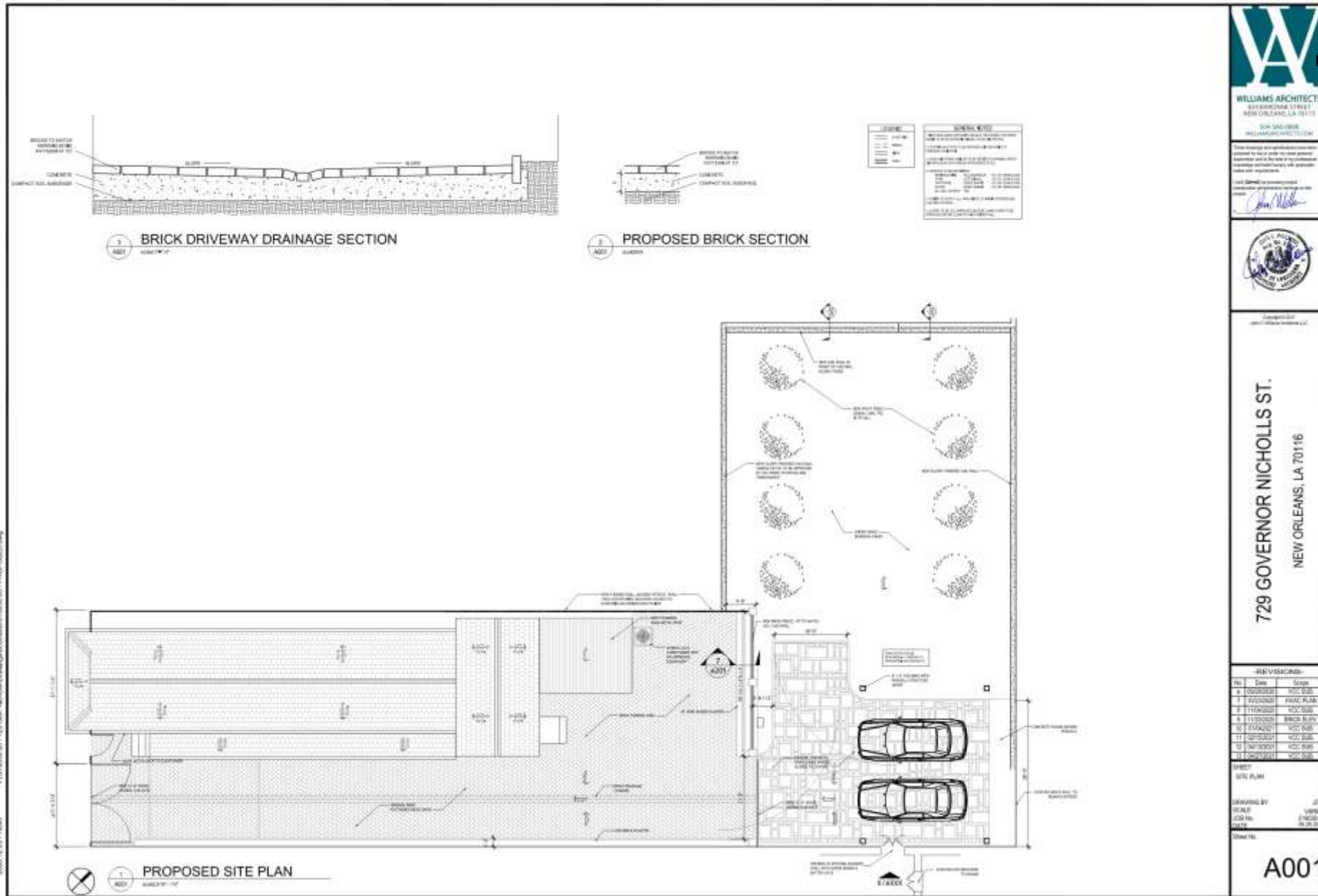


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July 13, 2021



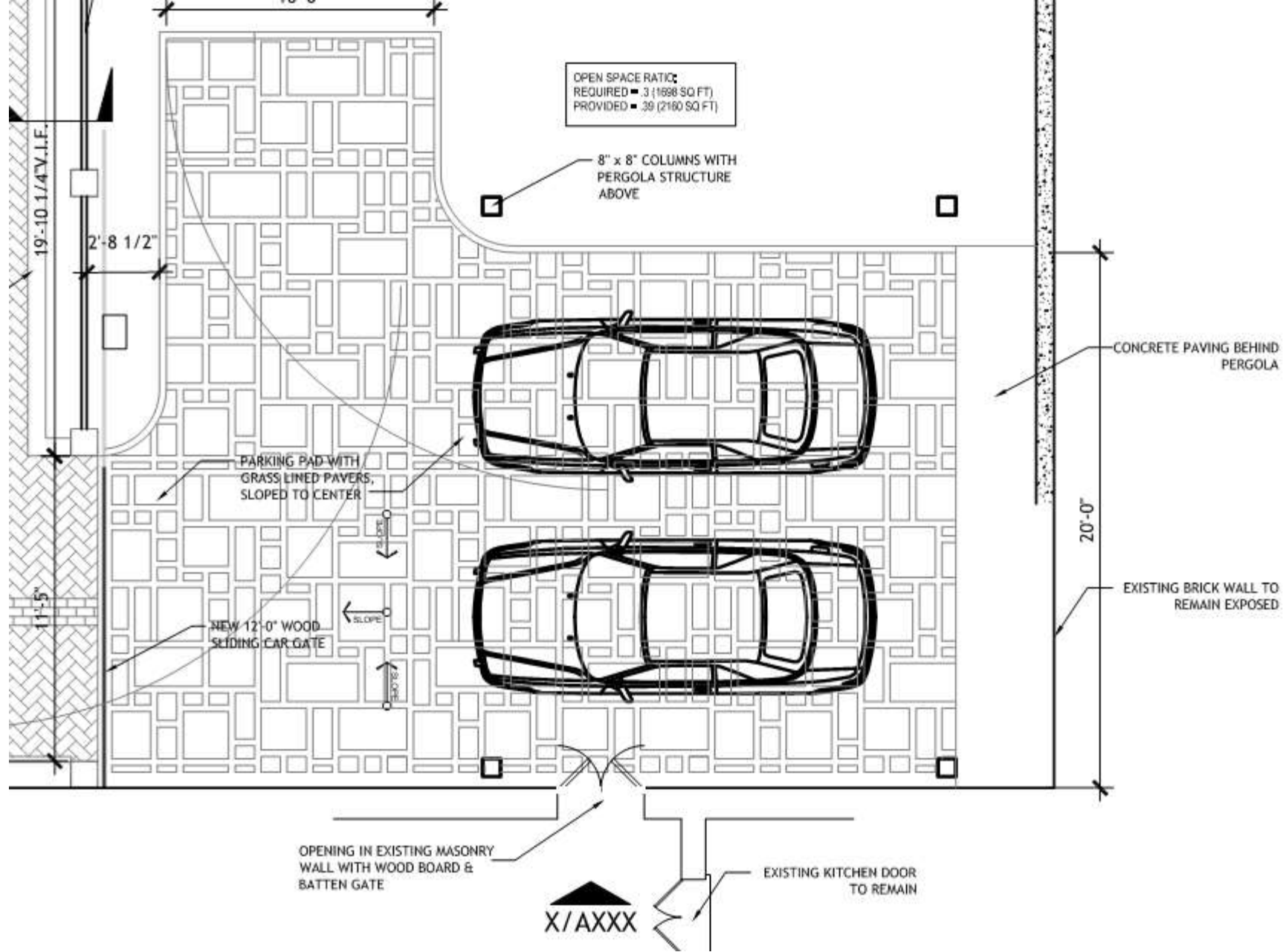


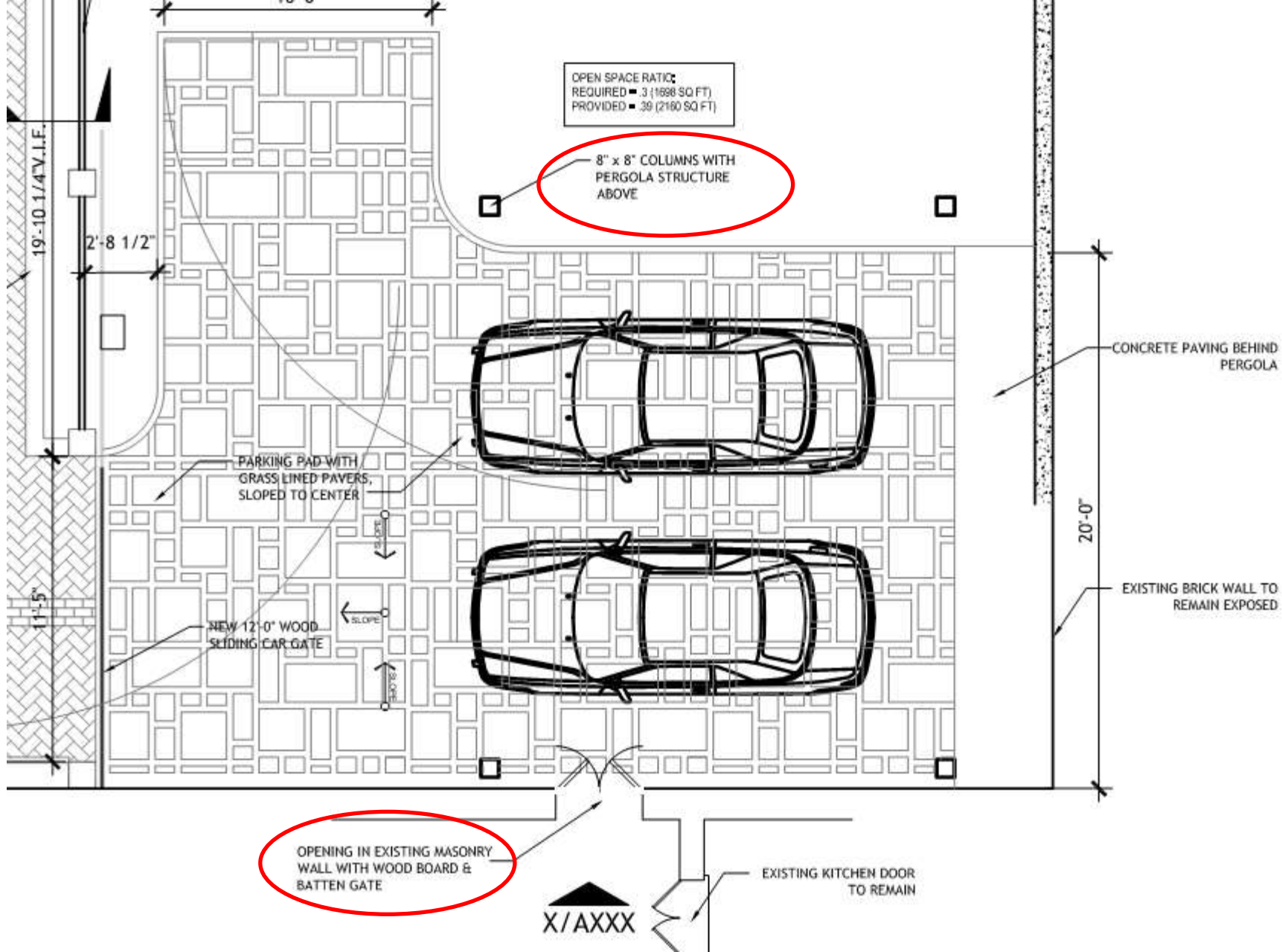
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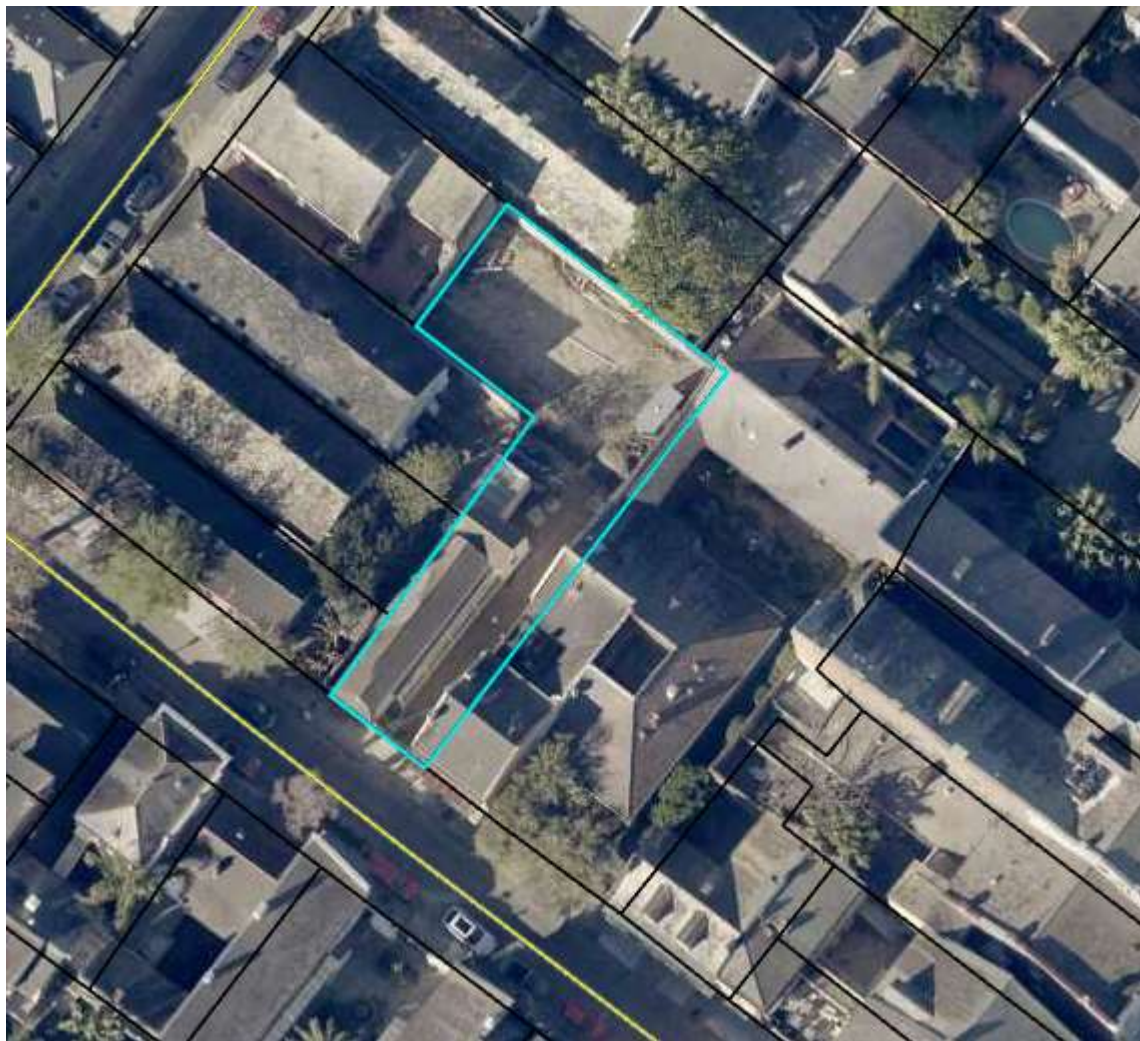
VCC Architectural Committee

July 13, 2021









729 Gov. Nicholls – Property Lines



721 Gov. Nicholls – Property Lines

729 Gov. Nicholls

VCC Architectural Committee

July 13, 2021



1 PROPOSED GOV. NICHOLLS ST ELEVATION
SCALE: 1/8" = 1'-0"

2 PROPOSED BOURBON ST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

3 SIGHT LINE, BARRACKS ST ELEVATION
SCALE: 1/8" = 1'-0"

4 PROPOSED REAR BRICK WALL
SCALE: 1/8" = 1'-0"

5 PROPOSED GOV. NICHOLLS ST ELEVATION
SCALE: 1/8" = 1'-0"

6 PRECEDENT FENCE IMAGE

7 BRICK WALL SECTION
SCALE: 1/8" = 1'-0"

8 MECH. SLIDING GATE
SCALE: 1/8" = 1'-0"

9 GATES AT GOV. NICHOLLS STREET
SCALE: 1/8" = 1'-0"

WILLIAMS ARCHITECTS
609 BARRACAS STREET
NEW ORLEANS, LA 70113
504.506.8888
WILLIAMSARCHITECTS.COM

729 GOVERNOR NICHOLLS ST.
NEW ORLEANS, LA 70116

A201

REVISIONS		
No.	Date	Scope
1	08/20/2021	VCC SUB
2	08/20/2021	FINAL PLAN
3	11/04/2021	VCC SUB
4	11/22/2021	MECH. GATE
5	01/26/2022	VCC SUB
6	02/23/2022	VCC SUB
7	04/19/2022	VCC SUB
8	04/20/2022	VCC SUB

DRAWING BY: JOM
SCALE: 3/8" = 1'-0"
DATE: 08/20/2021

729 Gov. Nicholls

VCC Architectural Committee

July 13, 2021



LENNOX XIC28
CONDITIONER UNIT OR
ARCHITECT APPROVED
EQUIVALENT FASTENED
TO STANDING SEAM
METAL ROOF USING S-SI
GRIPPER FIT

ASSUMED SIGHT LINE FROM
SIDEWALK IF GATE IS OPEN

AC

EXISTING HOUSES
BEYOND SETBACK ON
SOUTHWEST CORNER

TWO ADDITIONAL
BOARDS ADDED TO
EXISTING SEVEN
BOARD FENCE

NINE BOARD FENCE

MOVE EXISTING
METER TO CLEAR
DOOR SWING

6'-0"



5
A201

PROPOSED GOV. NICHOLLS ST ELEVATION

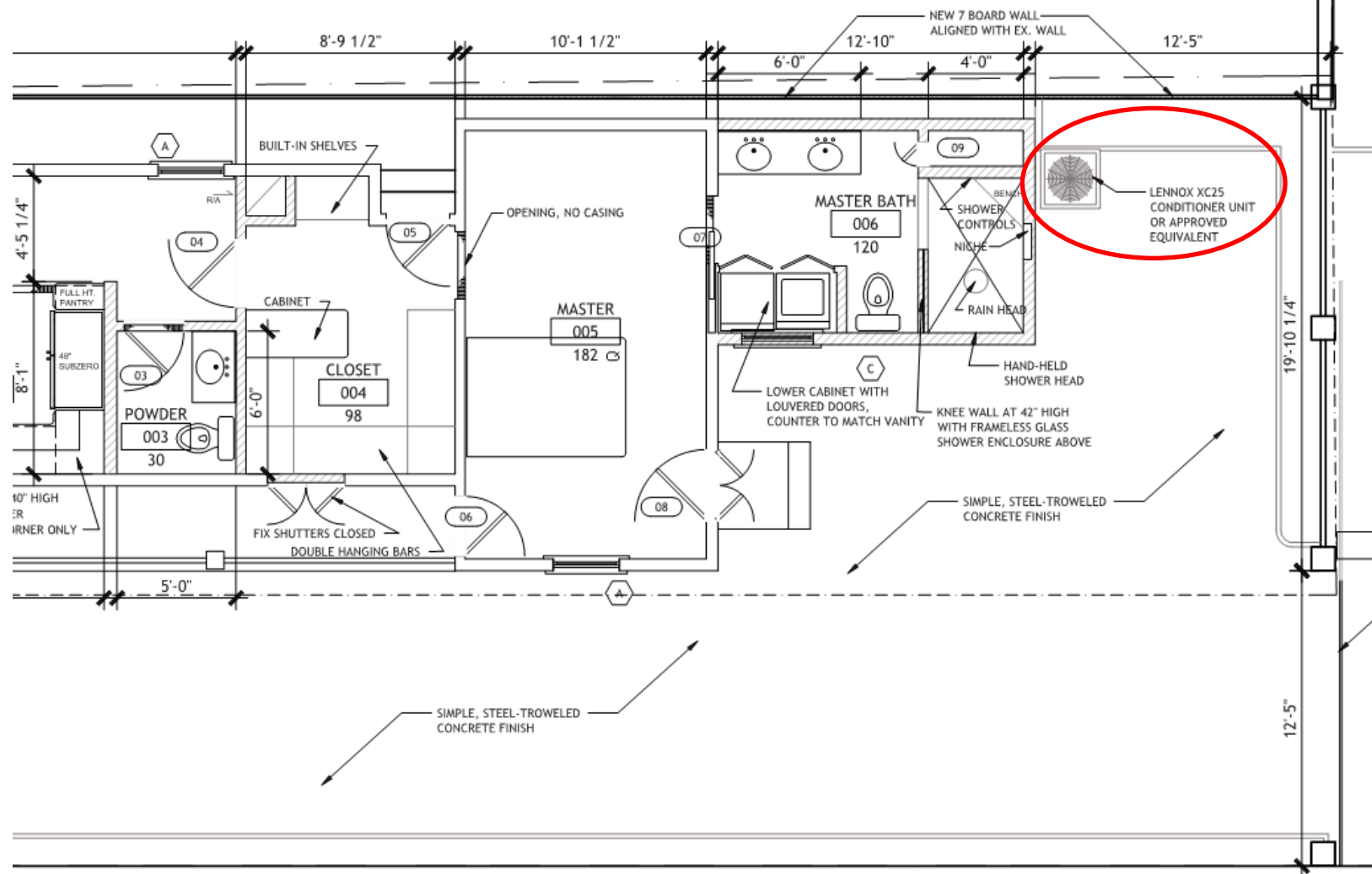
scale: 3/16" = 1'-0"

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VCC Architectural Committee

July 13, 2021



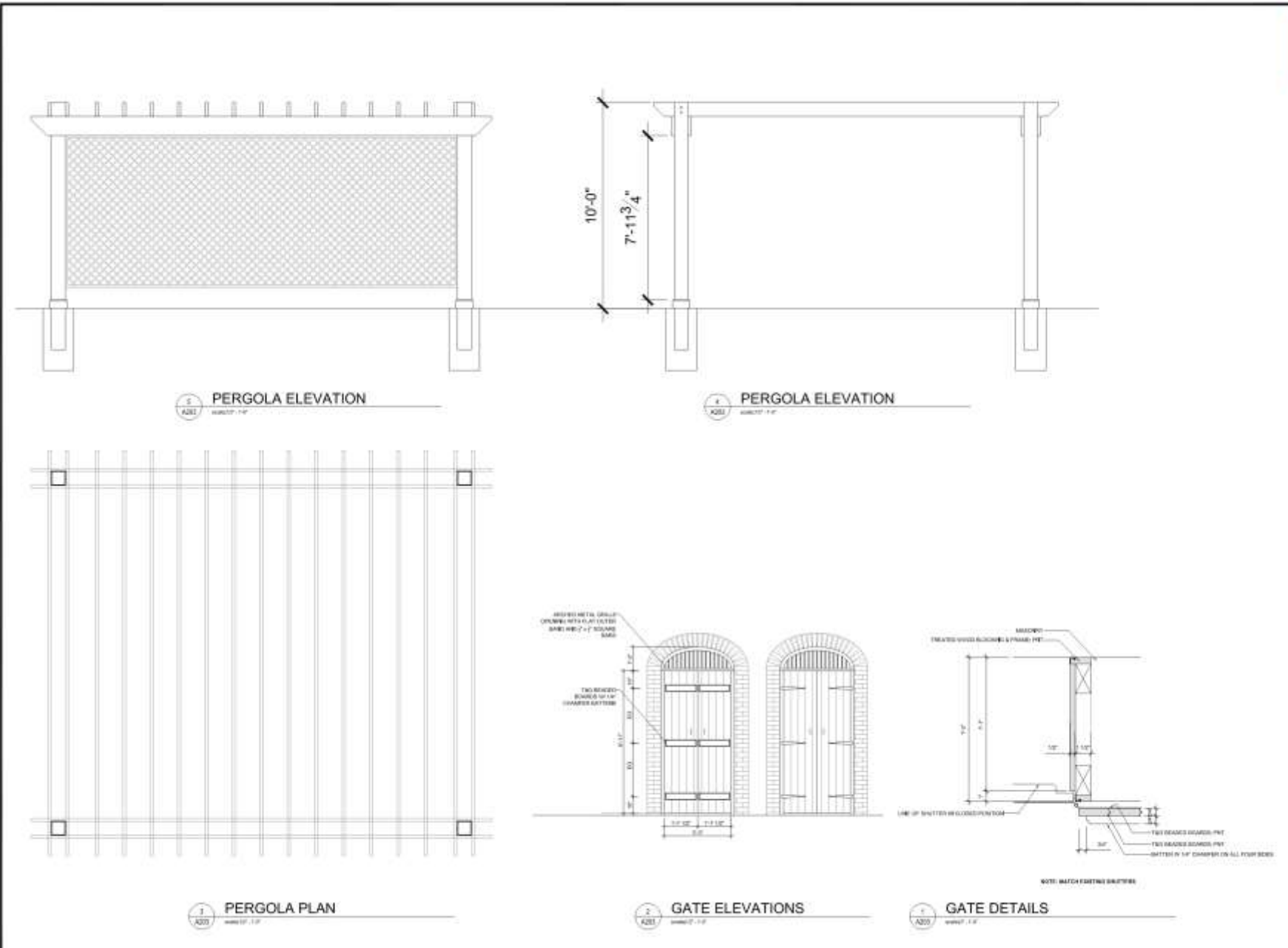


729 Gov. Nicholls – Plans Approved 12/15/2020

VCC Architectural Committee

July 13, 2021





5 PERGOLA ELEVATION
A201 1/8"=1'-0"

4 PERGOLA ELEVATION
A202 1/8"=1'-0"

1 PERGOLA PLAN
A201 1/8"=1'-0"

2 GATE ELEVATIONS
A202 1/8"=1'-0"

3 GATE DETAILS
A202 1/8"=1'-0"



WILLIAMS ARCHITECTS
504 BARRINGER STREET
NEW ORLEANS, LA 70113
504 784-0880
WILLIAMSARCHITECTS.COM

These drawings are intended to be used for informational purposes only. No construction or other action should be taken based on these drawings without the written consent of the architect.

DATE: 07/13/21
DRAWN BY: JCN
CHECKED BY: JCN



729 GOVERNOR NICHOLLS ST.
NEW ORLEANS, LA 70116

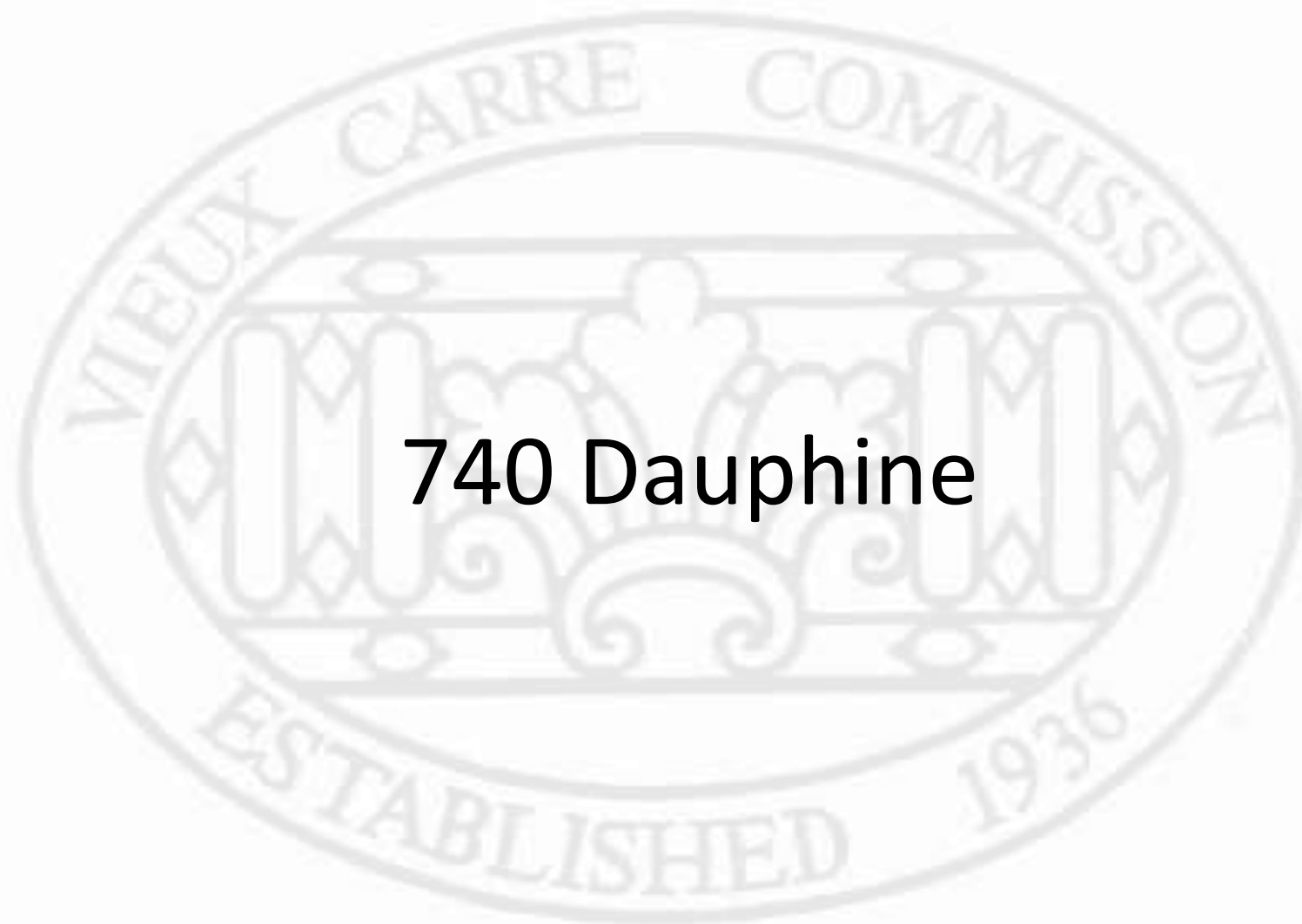
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SHEET: SITE PLAN

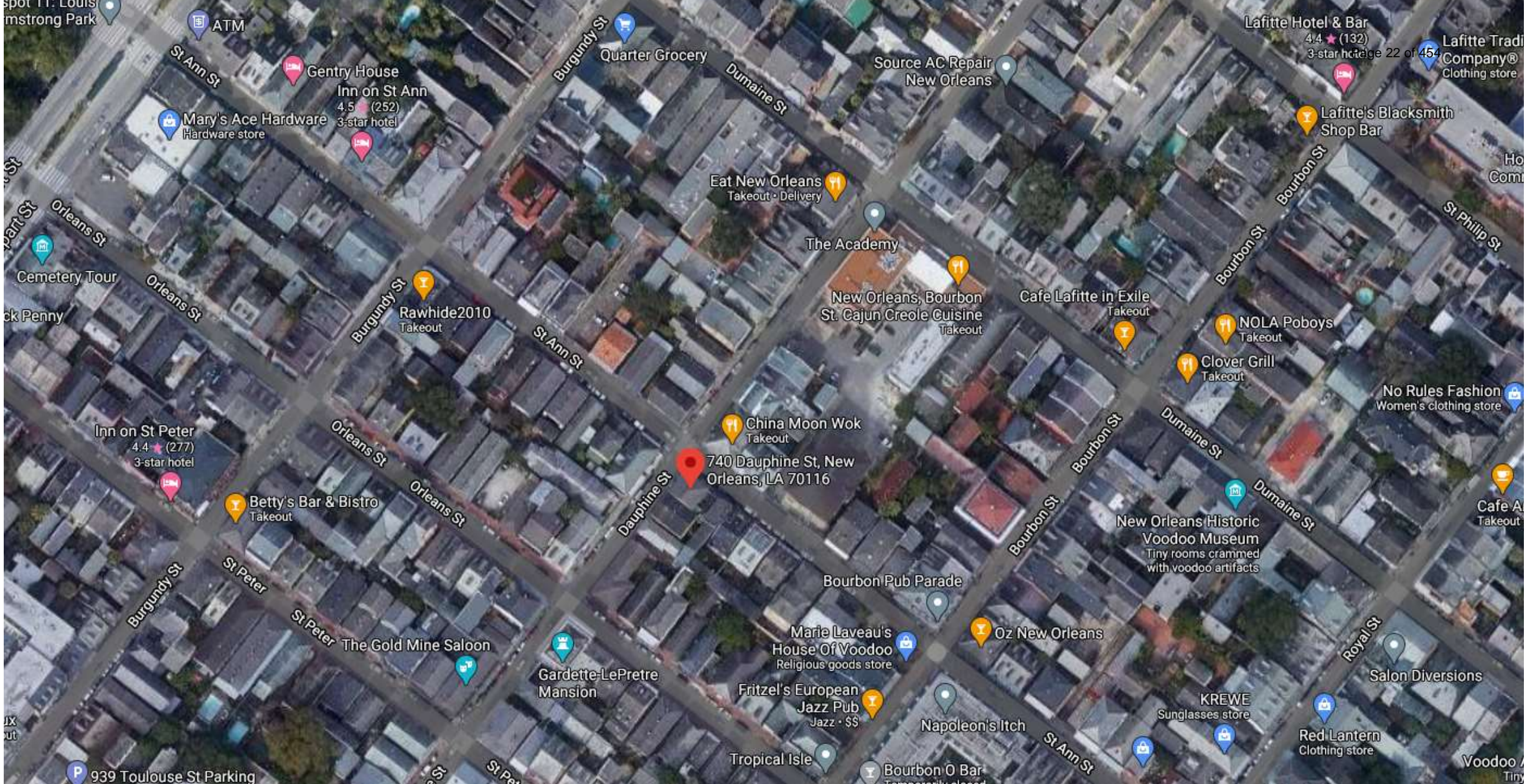
DRAWING BY: JCN
SCALE: 1/8" = 1'-0"
JOB No.: 19052101
DATE: 07/13/21

Sheet No. **A203**





740 Dauphine



740 Dauphine

VCC Architectural Committee

July 13, 2021





740 Dauphine

VCC Architectural Committee

July 13, 2021





740 Dauphine - 1988

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July 13, 2021





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July 13, 2021





740 Dauphine - 1989

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July 13, 2021





740 Dauphine

VCC Architectural Committee

July 13, 2021





1 VICINITY MAP
NOT TO SCALE

740 DAUPHINE ST WOOD ENTERPRISES NEW ORLEANS LA 70116

07 05 2021

VCC REVIEW & PERMIT SET

DESCRIPTION OF WORK:

ADDITION OF A NEW GALLERY ROOF AND COLUMNS TO THE EXISTING GALLERY AT 740 DAUPHINE AS SHOWN IN THE PROPOSED IMAGE #2 SHT A01 AND OTHER DETAILED DRAWINGS ON SHEETS A03 & 04. EXISTING EXPOSED RAFTER TAILS AND PORTION OF ROOF TO BE REMOVED TO ACCOMMODATE NEW GALLERY ROOF. THIS SUBMISSION IS FOR APPROVAL BY VEUX CARRE COMMISSION AND A FULL PERMIT/CONSTRUCTION SUBMISSION TO BE SUBMITTED AT LATER DATE.

BUILDING INFORMATION

SCOPE OF WORK: ADDITION OF NEW GALLERY ROOF AND COLUMNS TO EXISTING GALLERY.
ZONING: VEUX CARRE RESIDENTIAL VCR-1
OCCUPANCY: RESIDENTIAL TWO FAMILY DWELLING
CONSTRUCTION TYPE: TYPE V
SITE INFORMATION: SQ 74 LOT 8 30 X 63
APPLICABLE CODES: INTERNATIONAL RESIDENTIAL CODE 2015
 LIFE SAFETY CODE 2015
 INTERNATIONAL MECHANICAL CODE 2015
 INTERNATIONAL ELECTRICAL CODE 2015

GENERAL NOTES:

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE FOLLOWING DOCUMENTS COMPLY WITH ALL APPLICABLE SECTIONS OF THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO DWELLINGS, 2015.

THESE PLANS WERE DONE UNDER THE DIRECT SUPERVISION OF THE ARCHITECT. THIS OFFICE IS ADMINISTERING THE CONSTRUCTION OF THIS PROJECT. THE ARCHITECT TAKES FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

INDEX OF DRAWINGS

- A01** PHOTOS
- A02** PHOTOS
- A03** ELEVATIONS
- A03.1** ELEVATIONS
- A04** SECTIONS/DETAILS
- A04B** SECTIONS/DETAILS
- A05** REFLECTED CEILING PLAN

ARCHITECTURE+
306 PINE ST
NEW ORLEANS, LA 70118
PH: 504 . 908 . 6364
FAX: 504 . 314 . 8263

**DESIGN
COLLABORATIVE, LLC.**

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1 EXISTING BUILDING /GALLERY
SCALE: NTS



2 PROPOSED BUILDING w/ COVERED GALLERY
SCALE: NTS



3 EXAMPLES BOURBON & ORLEANS
SCALE: NTS



4 EXAMPLES DAUPHINE & CONTI
SCALE: NTS

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NEW ORLEANS, LA 70118
PH: 504.908.6364
FAX: 504.314.8263

WOOD ENTERPRISES
740 DAUPHINE ST
NEW ORLEANS LA 70116

JOB: 740DAUP
DATE: 06-15-2021
REVISIONS:
07-05-2021
--

SEAL

SHEET
A01





1 EXISTING GALLERY
SCALE: NTS



2 EXISTING GALLERY
SCALE: NTS



3 EXISTING GALLERY
SCALE: NTS



4 EXISTING GALLERY
SCALE: NTS



5 EXISTING GALLERY
SCALE: NTS



6 EXISTING GALLERY
SCALE: NTS



7 EXISTING GALLERY
SCALE: NTS

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07-05-2021
-

SEAL

SHEET
A02





3 PROPOSED BUILDING /GALLERY ROOF ADDITION
 SCALE: 1/8" = 1'-0"
 DAUPHINE ST SIDE



4 PROPOSED BUILDING /GALLERY ROOF ADDITION
 SCALE: 1/8" = 1'-0"
 ST ANN ST SIDE



1 EXISTING BUILDING /GALLERY
 SCALE: 1/8" = 1'-0"
 DAUPHINE ST SIDE



2 EXISTING BUILDING /GALLERY
 SCALE: 1/8" = 1'-0"
 ST ANN ST SIDE

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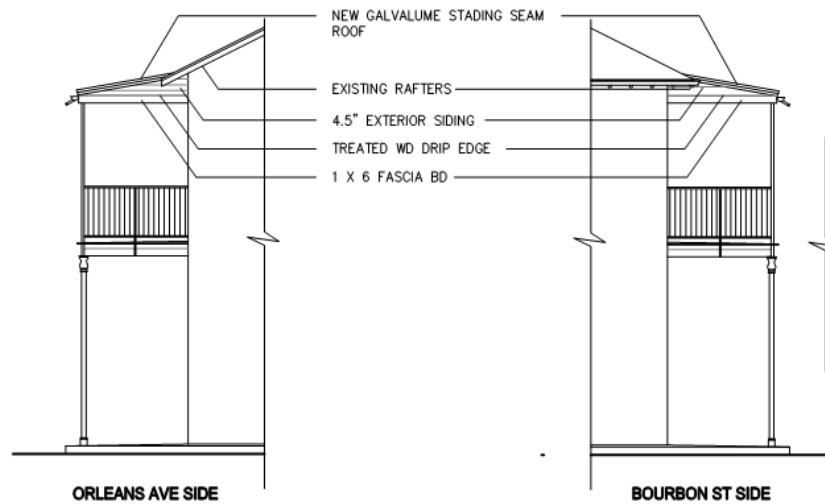
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 740 DAUPHINE ST
 NEW ORLEANS LA 70116

JOB: **740DAUP**
 DATE: **08-15-2021**
 REVISIONS:
 07-05-2021
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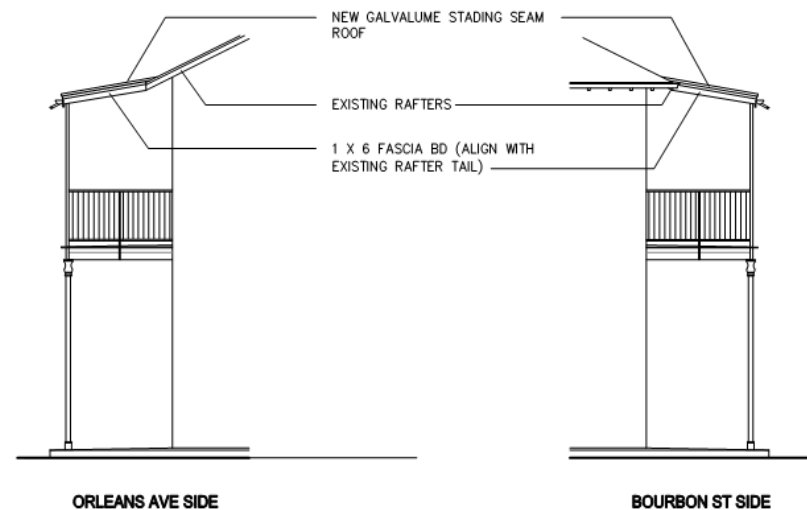
SEAL

SHEET
A03





2 PROPOSED GALLERY ROOF ADDITION - SIDE ELEVATIONS OPTION 2
 SCALE: 1/8" = 1'-0" CLOSED GABLED ENDS



1 PROPOSED GALLERY ROOF ADDITION - SIDE ELEVATIONS OPTION 1
 SCALE: 1/8" = 1'-0" OPENED GABLED ENDS

A. ELEVATION TO BE LOCATED FROM THE APPROXIMATE POSITION SHOWN ON THE SHEET. VERIFY EXISTING CONDITIONS IN WORK. FROM THE ARCHITECT. ANY AND EVERY COLLABORATIVE, LLC. REPRESENTS THE COMPANY AND DESIGN AS THE PROPERTY OF DESIGN COLLABORATIVE, LLC. AND IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED FOR THE PROJECT AND THE SPECIFIC DESIGN AREA.

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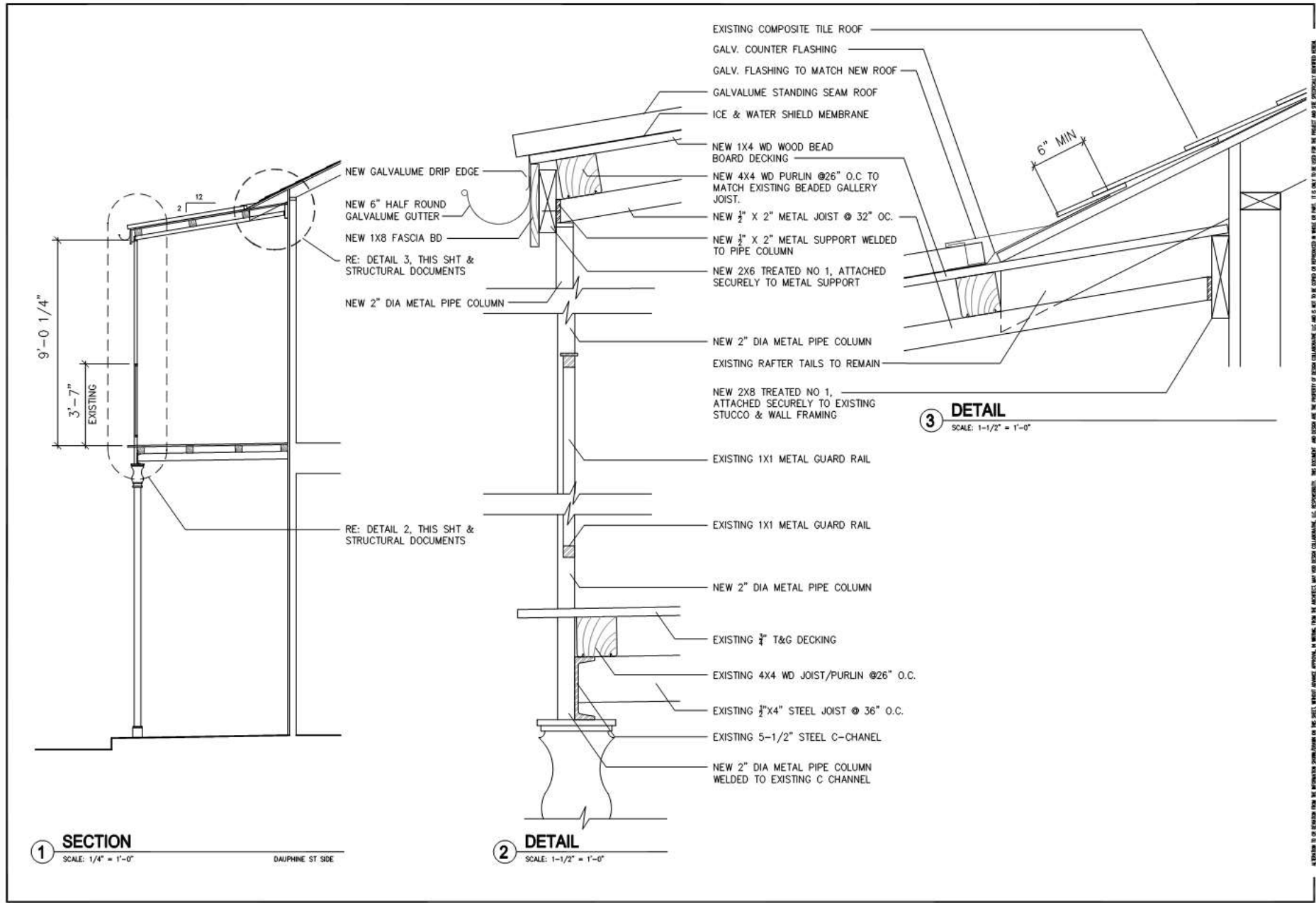
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 740 DAUPHINE ST
 NEW ORLEANS LA 70116

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SHEET
A03.1





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 FAX: 504.314.8263

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 740 DAUPHINE ST
 NEW ORLEANS LA 70116

JOB: 740DAUP
 DATE: 06-15-2021
 REVISIONS:
 07-05-2021
 - - -

SEAL

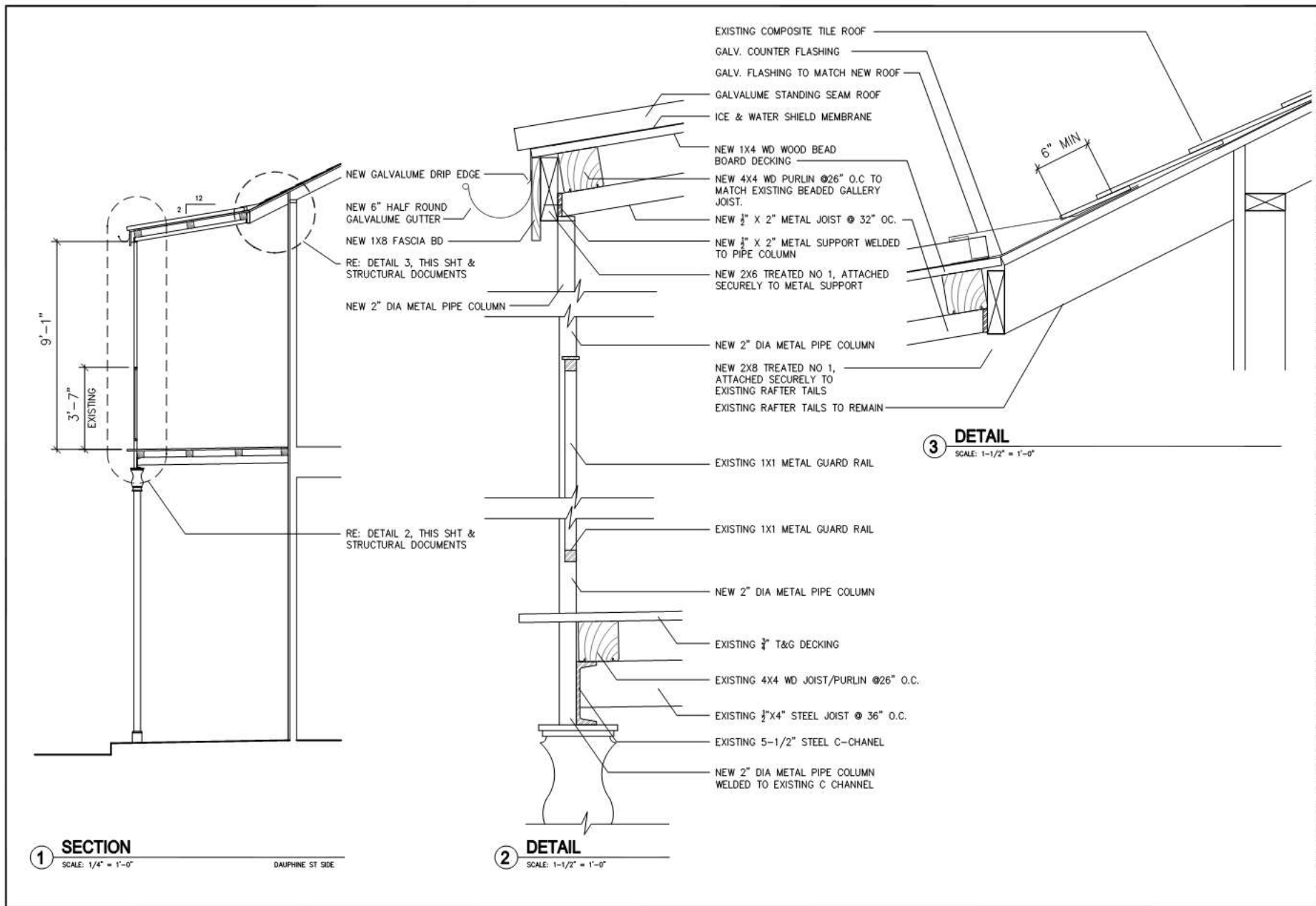
SHEET
A04

740 Dauphine

VCC Architectural Committee

July 13, 2021





1 SECTION
SCALE: 1/4" = 1'-0"
DAUPHINE ST SIDE

2 DETAIL
SCALE: 1-1/2" = 1'-0"

3 DETAIL
SCALE: 1-1/2" = 1'-0"

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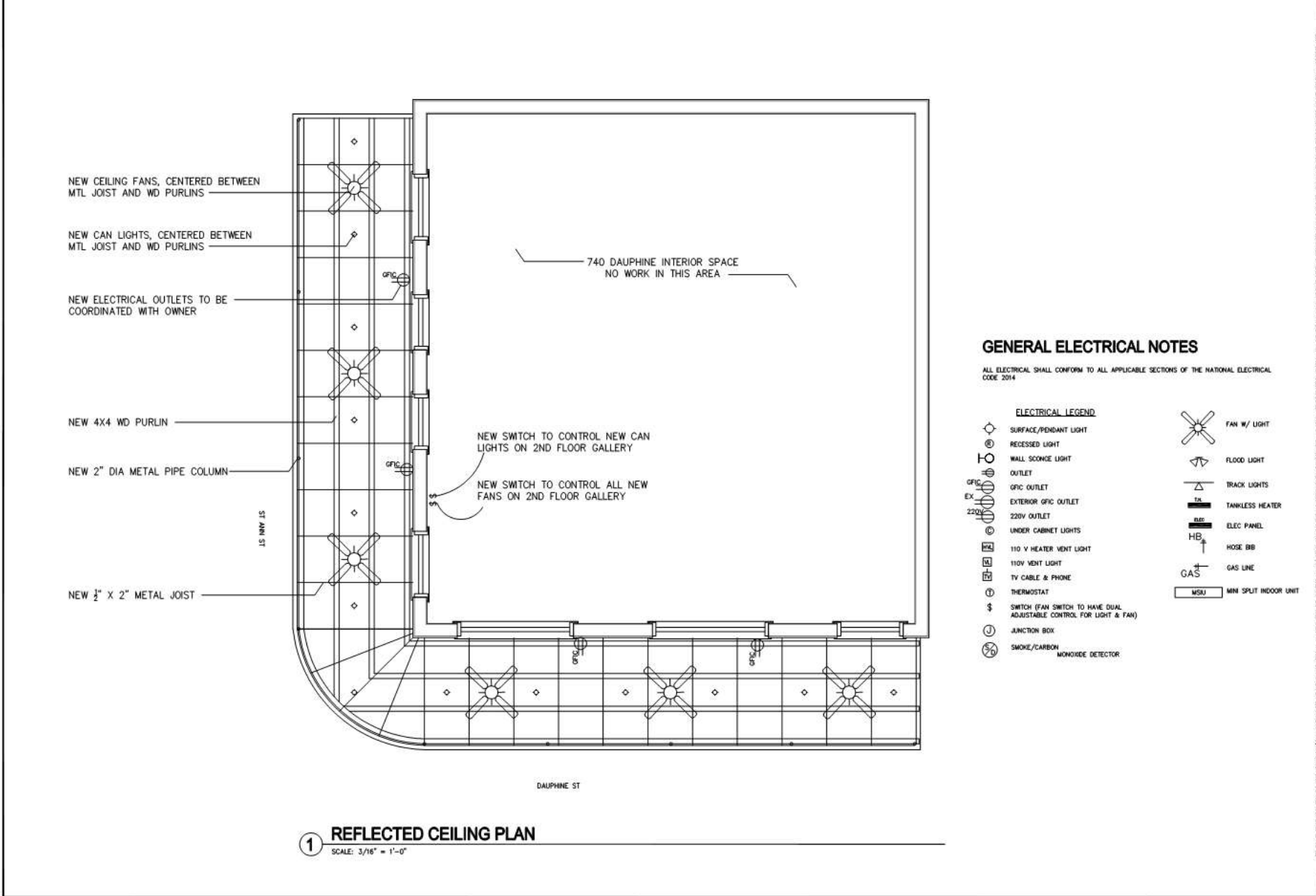
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 NEW ORLEANS LA 70116

JOB: **740DAUP**
 DATE: **08-15-2021**
 REVISIONS:
 07-05-2021
 -

SEAL

SHEET
A04B





1 REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

GENERAL ELECTRICAL NOTES

ALL ELECTRICAL SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE 2014

ELECTRICAL LEGEND

	SURFACE/PENDANT LIGHT		FAN W/ LIGHT
	RECESSED LIGHT		FLOOD LIGHT
	WALL SCONCE LIGHT		TRACK LIGHTS
	OUTLET		TANKLESS HEATER
	GFCI OUTLET		ELEC PANEL
	EXTERIOR GFCI OUTLET		HOSE BIB
	220V OUTLET		GAS LINE
	UNDER CABINET LIGHTS		MSU MINI SPLIT INDOOR UNIT
	110 V HEATER VENT LIGHT		
	110V VENT LIGHT		
	TV CABLE & PHONE		
	THERMOSTAT		
	SWITCH (FAN SWITCH TO HAVE DUAL ADJUSTABLE CONTROL FOR LIGHT & FAN)		
	JUNCTION BOX		
	SMOKE/CARBON MONOXIDE DETECTOR		

DESIGN COLLABORATIVE P.L.L.C.
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WOOD ENTERPRISES
740 DAUPHINE ST
NEW ORLEANS LA 70116

JOB: 740DAUP
DATE: 06-16-2021
REVISIONS: 07-05-2021

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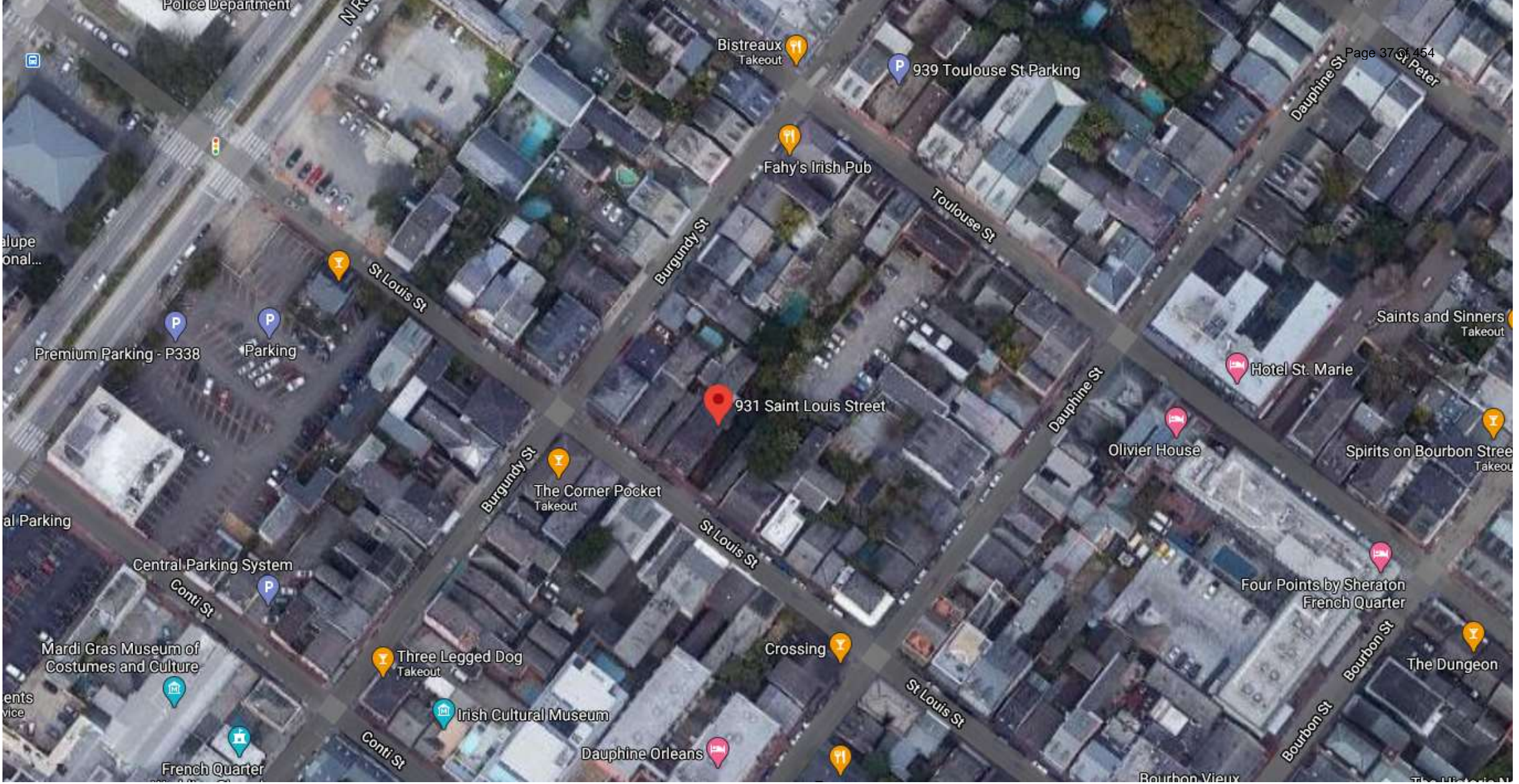
SHEET: A05

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931 St Louis



931 St Louis

VCC Architectural Committee

July 13, 2021





931 St Louis

VCC Architectural Committee

July 13, 2021





931 St Louis

VCC Architectural Committee

July 13, 2021



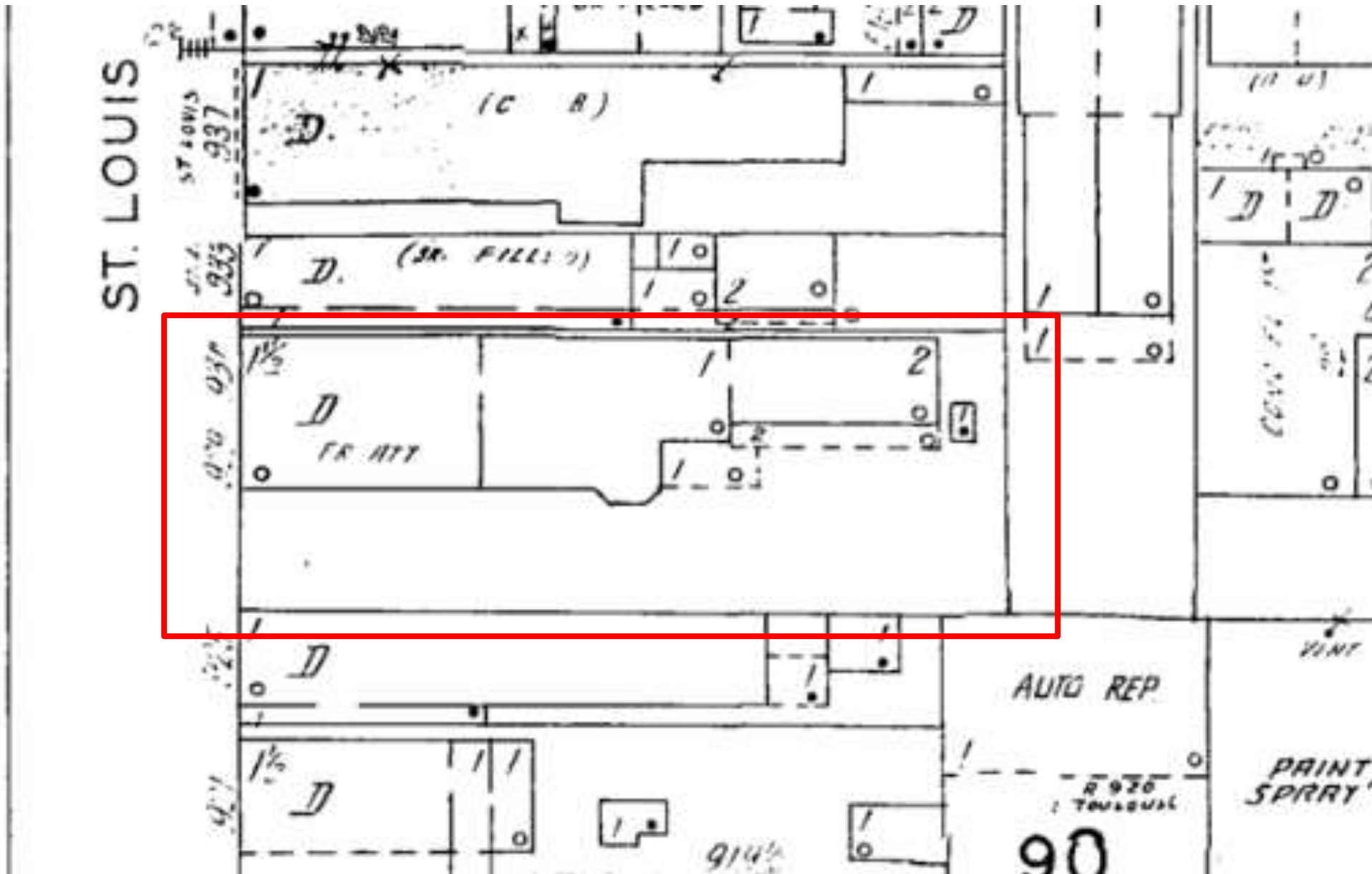


931 St Louis - 1985

VCC Architectural Committee

July 13, 2021





931 St Louis – 1940 Sanborn





931 St Louis

VCC Architectural Committee

July 13, 2021





931 St Louis

VCC Architectural Committee

July 13, 2021





931 St Louis

VCC Architectural Committee

July 13, 2021



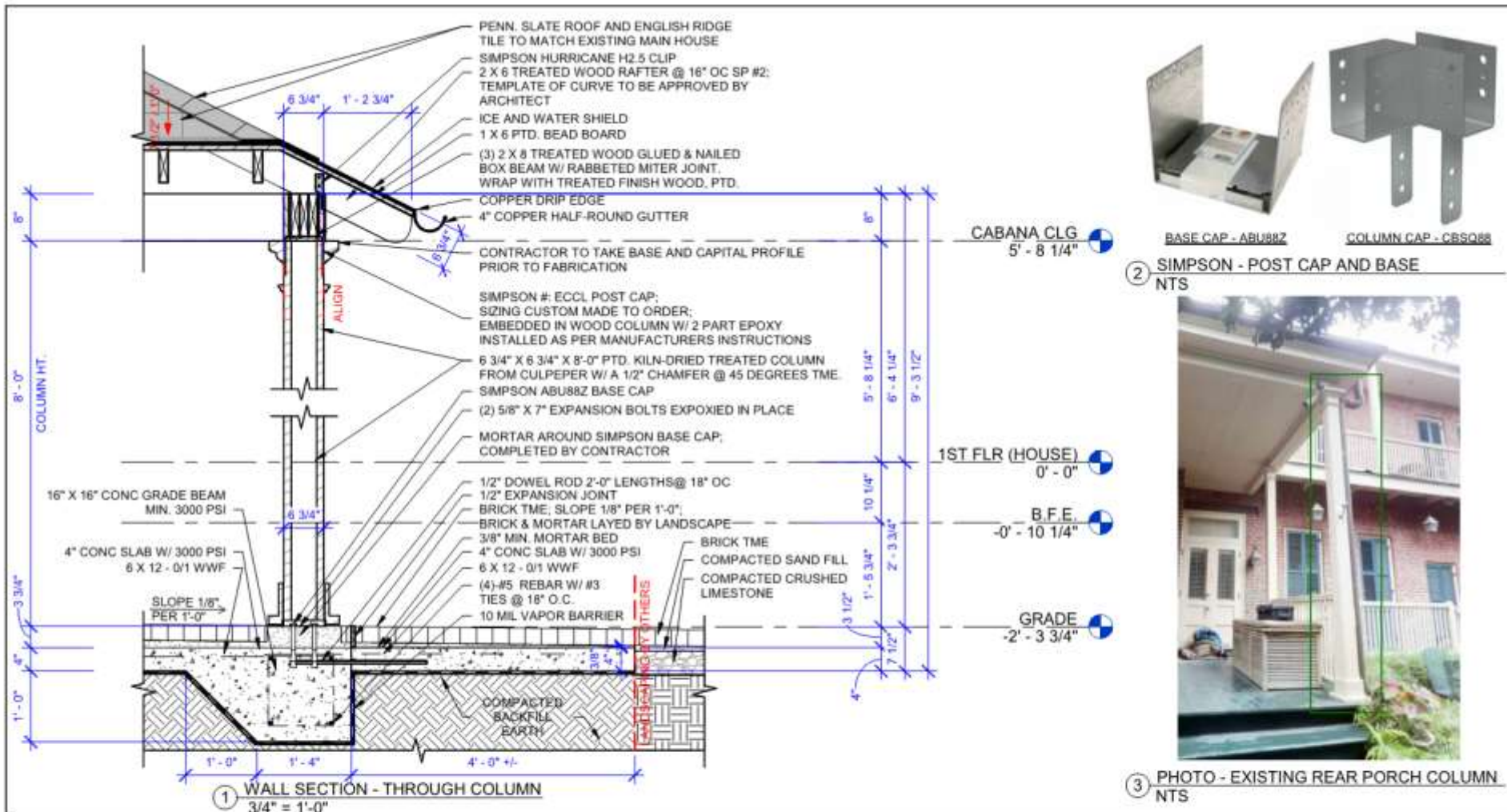


931 St Louis

VCC Architectural Committee

July 13, 2021





② SIMPSON - POST CAP AND BASE NTS



③ PHOTO - EXISTING REAR PORCH COLUMN NTS

CLASSICAL ROOTS ARCHITECTURE
CLASSICAL ROOTS ARCHITECTURE LLC
 WWW.CLASSICALROOTS.COM

CLASSICAL ROOTS ARCHITECTURE LLC
 3881 ANNUNCIATION ST.
 NEW ORLEANS, LA 70115
 (985) 765-3813
 (504) 913-0028
 GRETCHEN@CLASSICALROOTS.COM

MUDD/NICHOLS RESIDENCE - GAZEBO
 MR. & MRS. WILLIAM A. MUDD
 931 ST. LOUIS STREET
 NEW ORLEANS, LA 70112

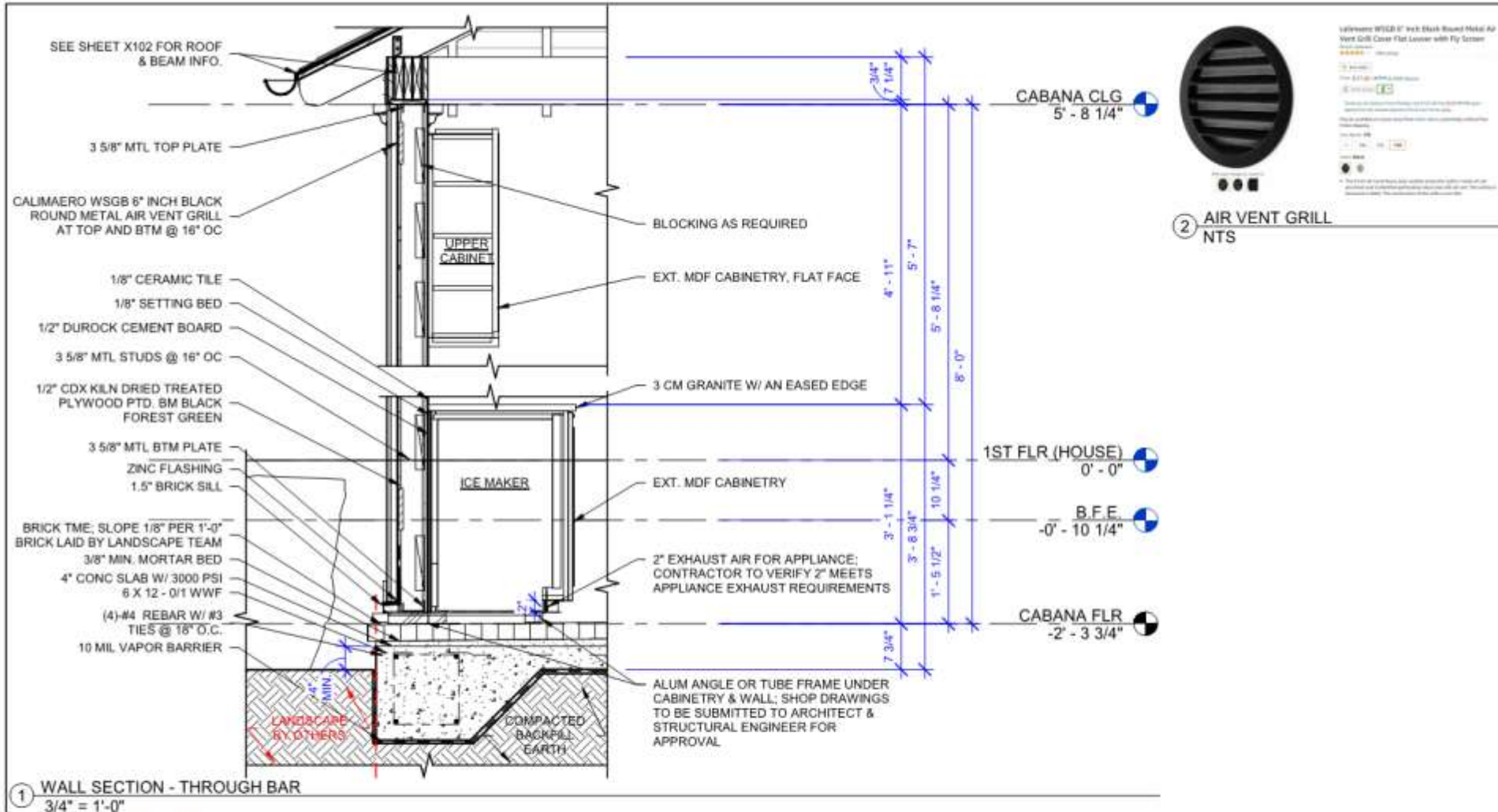
No.	Description	Date

COLUMN WALL SECTION
 CDS (NFC)

Project number	2020-024	X102
Date	04/23/2021	
Drawn by	GR	Scale As indicated
Checked by	MR	

6/17/2021 1:57:08 PM





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 NEW ORLEANS, LA 70115 GRETCHEN@CLASSICALROOTS.COM

MUDD/NICHOLS RESIDENCE - GAZEBO
 MR. & MRS. WILLIAM A. MUDD
 931 ST. LOUIS STREET
 NEW ORLEANS, LA 70112

No.	Description	Date

WALL SECTION - THROUGH BAR
 CDS (NFC)

Project number	2020-024	X103
Date	04/23/2021	
Drawn by	MR	Scale As Indicated
Checked by	WZ	

6/17/2021 1:57:08 PM



ROOM SCHEDULE

Number	Name	Area
1	GAZEBO	101 SF
TOTAL AREA		101 SF

GAZEBO VCC REVIEW

Project number	20201024
Date	04/23/2021
A101	
Scale	As Indicated

MUDD/NICHOLS RESIDENCE - GAZEBO
 MR. & MRS. WILLIAM A. MUDD
 301 ST. LOUIS STREET
 NEW ORLEANS, LA 70112
 CDS (NFC)

GAZEBO ARCH - SUMMER SOLISTICE AT 2PM



CULPEPER COLUMNS

The Original Laminated Timber Columns

Care & Handling



Culpeper Columns are a wet wood building product, which dries out after the treatment process. This phenomenon is known as wood shrinkage. To reduce the amount of shrinkage, it is recommended to store the columns in a shaded area, away from direct sunlight, and to keep them in a stack with a minimum of 2 inches between them. The columns should be installed as soon as possible after treatment to reduce the risk of checking and splitting.





When moving the columns, always use proper lifting techniques. Do not use a forklift to lift the columns unless they are properly supported. Do not use a crane to lift the columns unless they are properly supported. Do not use a crane to lift the columns unless they are properly supported.



When moving the columns, always use proper lifting techniques. Do not use a forklift to lift the columns unless they are properly supported. Do not use a crane to lift the columns unless they are properly supported. Do not use a crane to lift the columns unless they are properly supported.

This product is Kiln Dried After Treatment:

- Keep columns off the ground and use proper installation.
- Do not use a quality of wood product and paint or stain as soon as possible, and then use again.
- Excess should be added before installation.
- Do not use a quality of wood product and paint or stain as soon as possible, and then use again.

The Culpeper Wood Care for exterior finish, available upon request, is recommended for exterior finish and maintenance.

Tools Required:	Safety:
• Tape Measure	• Chisel
• 800# Jack	• Cap Protection
• Circular Saw	• Dust Mask
• DDI	

CULPEPER WOOD CARE 1 800-817-5215

CULPEPER WOOD PRESERVERS

Hollowed Out and Loaded Up

Load-Rated Solutions for Securing Laminated Timber Columns from Culpeper



When building a structure with hollowed-out columns, it is important to use the right hardware to secure the columns. The hardware should be designed to handle the load of the structure and the weight of the columns. The hardware should be designed to handle the load of the structure and the weight of the columns.



Hardware	Material	QTY	Description	Dimensions	Weight
...

Trusted to Work with Culpeper Columns

Supporting Roof Structure

Hardware	Material	QTY	Description	Dimensions	Weight
...

Supporting Decking

Hardware	Material	QTY	Description	Dimensions	Weight
...

KEYNOTE A501

CDS (NFC)

No.	Description	Qty

MUDD/NICHOLS RESIDENCE - GAZEBO
 MR. & MRS. WILLIAM & MURDO
 831 ST. LOUIS STREET
 NEW ORLEANS, LA 70138

EXTERIOR COLUMNS SPECS

Project Number: 2021-024
 Date: 06/23/2021
 Client: SBR
 Drawing: 001

A501



CULPEPER COLUMNS

The Original Laminated Timber Column

Care & Handling



Culpeper Columns are a real wood building product, which is kiln dried after the treatment process. This system helps to reduce the natural tendencies of wood to warp, cup and shrink. However, as wood, it remains sensitive to environmental conditions if not properly handled on the job site.

This product is Kiln Dried After Treatment:

- Keep columns dry, off the ground, and covered until installation.
- Seal with a quality oil based primer and paint or stain as soon as possible, no later than upon installation.
- End cuts should be sealed before installation.
- Surface "checks" can be filled with wood putty before sealing

Visit CulpeperWood.com for allowable loads, available styles, sizes, connectors recommended by manufacturers and warranty information.



Tools Required:

- Tape Measure
- Bottle jack
- Circular Saw
- Drill
- Hammer or Mallet
- Carpenter's Square
- Level

Safety:

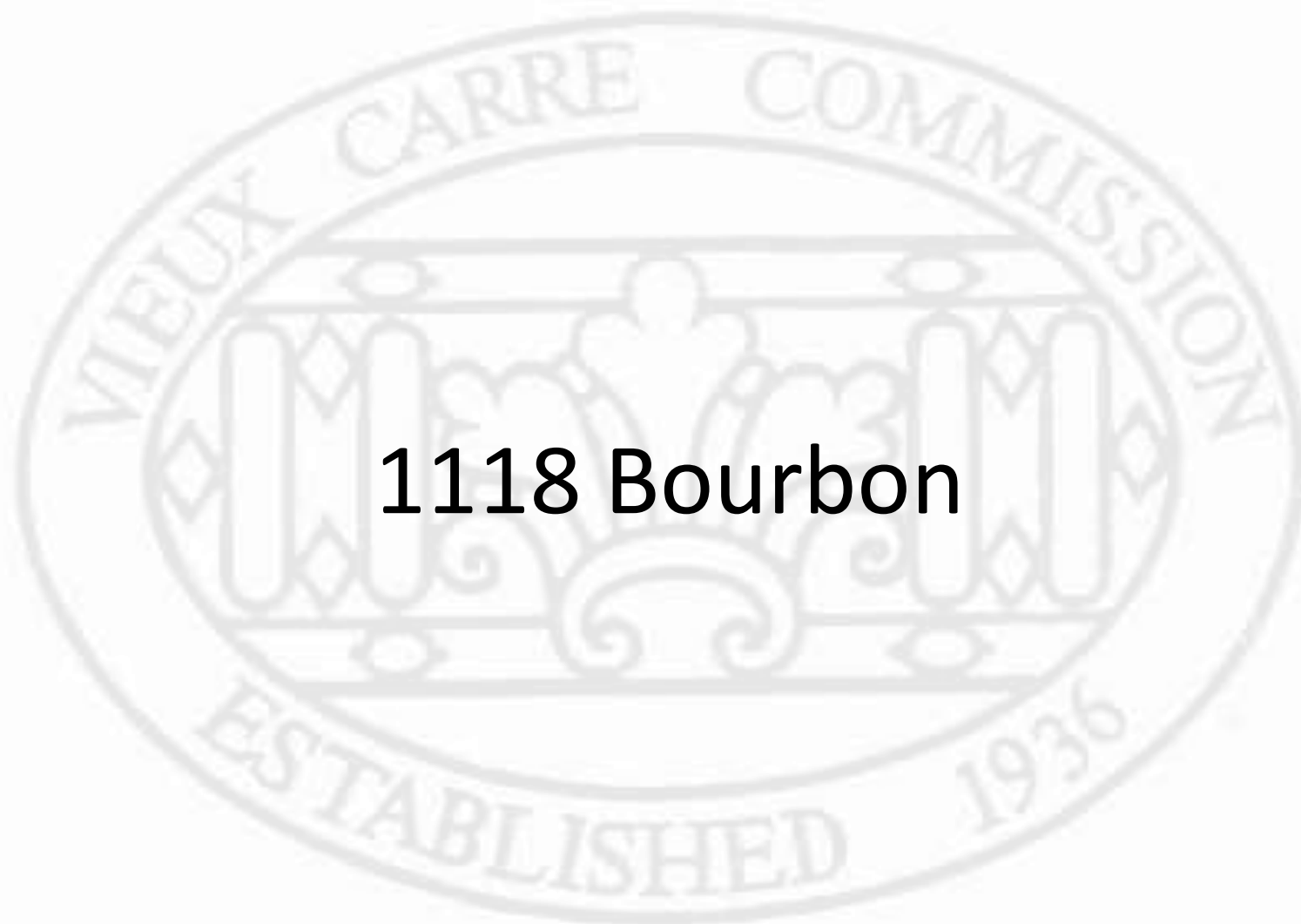
- Gloves
- Eye Protection
- Dust Mask

Culpeper
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1118 Bourbon



1120 Bourbon

VCC Architectural Committee

July 13, 2021





1120 Bourbon

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July 13, 2021





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July 13, 2021





1 BOURBON ST.



2 SIDE YD. GOV. NICHOLS SIDE



3 NEIGHBOR SIDE YARD



4 SIDE YD. GOV. NICHOLS SIDE



5 REAR STRUCTURE



6 REAR STRUCTURE



7 SIDE YARD FENCE AT REAR STRUCTURE



8 SIDE YARD FENCE



9 SIDE YD. URSULINES SIDE



10 REAR STRUCTURE @ REAR YD.



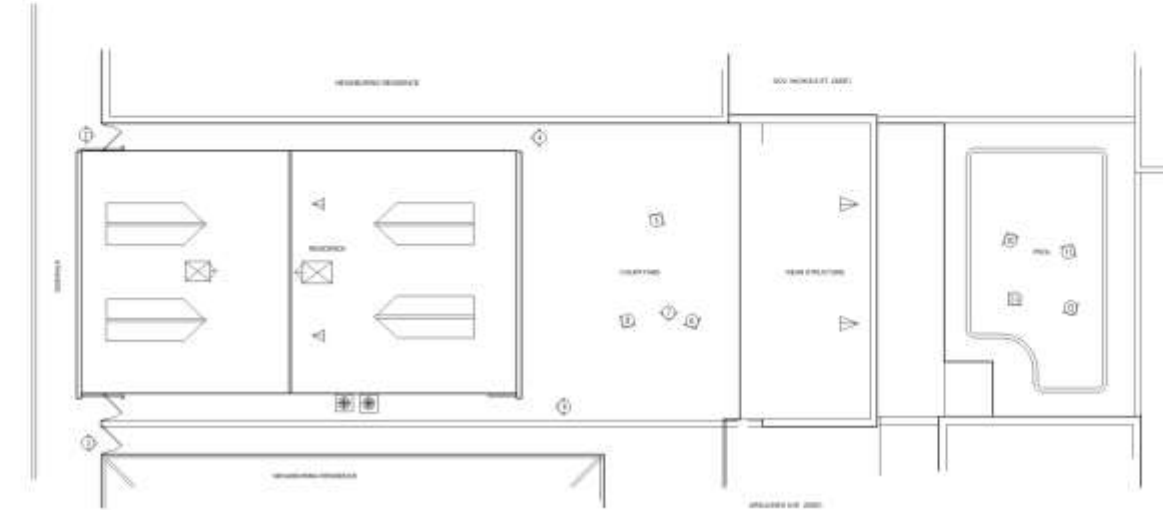
11 REAR YD. FENCE



12 REAR YD. FENCE



13 REAR STRUCTURE @ REAR YD.



1 KEY PLAN
NOT TO SCALE

GRAY STUDIO
1118 BOURBON ST. #101
NEW ORLEANS, LA 70116
504.581.1118
www.graystudio.com



PERMIT SET
GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: MR. & MRS. SOREN GISLESON
1118 BOURBON ST.
NEW ORLEANS, LA 70116

PHOTOS

A010



1120 Bourbon

VCC Architectural Committee

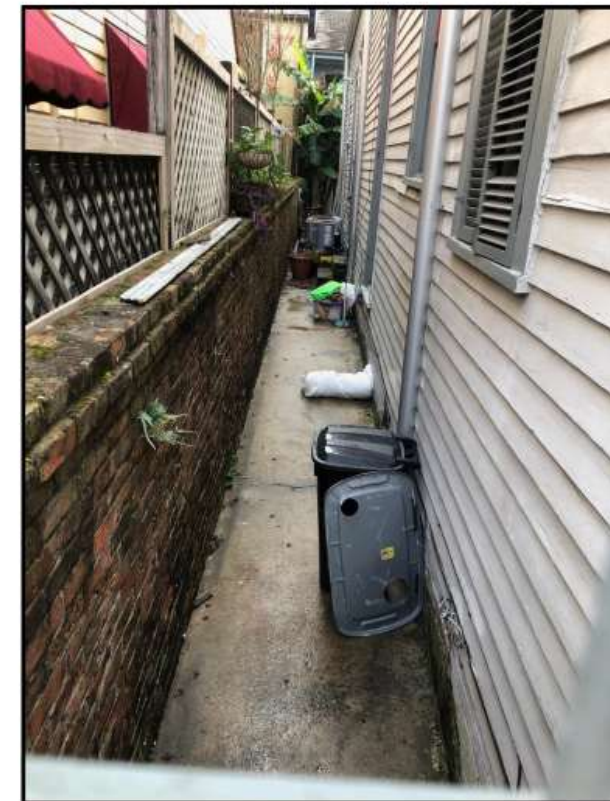
July 13, 2021



1 BOURBON ST.



2 SIDE YD. GOV. NICHOLS SIDE



3 NEIGHBOR SIDE YARD

1120 Bourbon

VCC Architectural Committee

July 13, 2021





4 SIDE YD. GOV. NICHOLS SIDE



5 REAR STRUCTURE



6 REAR STRUCTURE

1120 Bourbon

VCC Architectural Committee

July 13, 2021





7 SIDE YARD FENCE AT REAR STRUCTURE



8 SIDE YARD FENCE

1120 Bourbon

VCC Architectural Committee

July 13, 2021





9 SIDE YD. URSULINES SIDE



10 REAR STRUCTURE @ REAR YD.



11 REAR YD. FENCE

1120 Bourbon

VCC Architectural Committee

July 13, 2021





12 REAR YD. FENCE



13 REAR STRUCTURE @ REAR YD.



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS

FOR MR. & MRS. SOREN GISLESON

1118 BOURBON ST.
NEW ORLEANS, LA 70116

GRAY STUDIO
2018 Magazine Street, Suite 101
New Orleans, Louisiana 70112
Phone: 504.581.1111
www.graystudio.com



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR: MR. & MRS. SOREN GISLESON
 1118 BOURBON ST.
 NEW ORLEANS, LA 70116
 PERMIT SET

LAND INFORMATION:

1. ZONING: R2-1 (SINGLE-DWELL RESIDENTIAL DISTRICT)
2. PROPERTY RECORD BOOK: SO-25 LOT 23 BOURBON 201421
3. TRACT INFO: NONE
USE INFO: NONE
REAR YARD: NONE

BUILDING INFORMATION:

1. BUILDING TYPE: SINGLE DETACHED GABLE ROOF WITH CHIMNEYS
2. HISTORICAL SIGNIFICANCE: NONE - OF LOCAL, ARCHITECTURAL, OR HISTORICAL IMPORTANCE

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL VISIT SITE AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., RECORDED HEREIN AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
2. GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL PHASES OF THE WORK, INCLUDING ALL CITY PERMITS, IF ANY.
3. GENERAL CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS. ANY DAMAGE TO THE EXISTING SITE DETERMINED TO REMAIN SHALL BE REPAIRED BY THE GENERAL CONTRACTOR PRIOR TO THE COMPLETION OF THE WORK AND THE FINAL PAYMENT.
4. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ANY AND ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.

CODE COMPLIANCE:

1. ALL CONSTRUCTION DOCUMENTS, STANDARD NOTES, RESPONSE LETTERS AND CODE CHANGES SHALL COMPLY WITH THE 2018 EDITION OF THE IRC TO PROPERLY REFLECT THE CURRENT BUILDING CODE SECTION.
2. THIS STRUCTURE SHALL BE DESIGNED FOR 130 MPH BASIC WIND SPEED - INCLUDING, BUT NOT LIMITED TO, PROVISIONS FOR IMPACT RESISTANCE AT OPERABLE AND NON-OPERABLE OPENINGS AT BARRIERS AND TOP FLOORS.
3. WIND BORNE DEBRIS PROTECTION FOR WINDOWS SHALL BE PROVIDED IN ACCORDANCE WITH RS212.2.2 (RC 2018 ED. WITH THE USE OF ACCEPTED PLUMBING CAPPING & SPANWISE SHUTTERS).
4. BUILDING MATERIALS USED BELOW DESIGN FLOOD ELEVATION SHALL COMPLY WITH SEC. R322.1.8 (RC 2018 ED.).
5. REGULATION SHALL BE PROVIDED AS REQUIRED BY SECTION 1102 OF THE IRC 2018 ED. (2018 EDITION/WALL IS 4-30/19-16)



INDEX OF DRAWINGS:

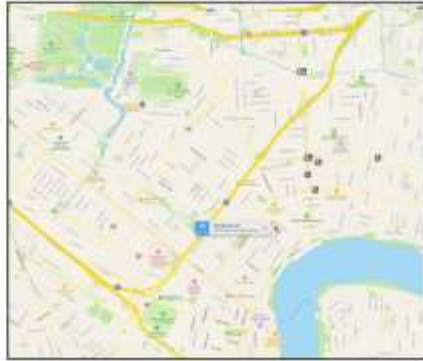
- *A000 COVER SHEET
 - A010 PHOTOS AND KEY PLAN
- ARCHITECTURAL**
- A100 EXISTING DEMOLITION SITE PLAN, SURVEY & DETAILS
 - A110 FIRST FLOOR DEMOLITION PLAN
 - A120 SECOND FLOOR DEMOLITION PLAN
 - A130 EXTERIOR ELEVATIONS DEMOLITION
 - A131 EXTERIOR ELEVATIONS DEMOLITION
 - A200 PROPOSED SITE PLAN & MASONRY NOTES
 - A210 PROPOSED FIRST FLOOR PLAN & AWNING SCHEDULE
 - A220 PROPOSED SECOND FLOOR PLAN & AWNING SCHEDULE
 - A400 PROPOSED EXTERIOR ELEVATIONS & AWNING SCHEDULE
 - A401 PROPOSED EXTERIOR ELEVATIONS & CROSS SECTION AT REAR YARD
 - A410 DETAILED SECTIONS AND MASONRY NOTES



2 HISTORIC PHOTO



3 PHOTO 1961



1 VICINITY MAP

THIS PLAN AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY REQUIREMENTS, AND THEY ACCURATELY DESCRIBE THE WORK.

ARCHITECT SIGNATURE: *[Signature]*

LICENSE NUMBER: 2085



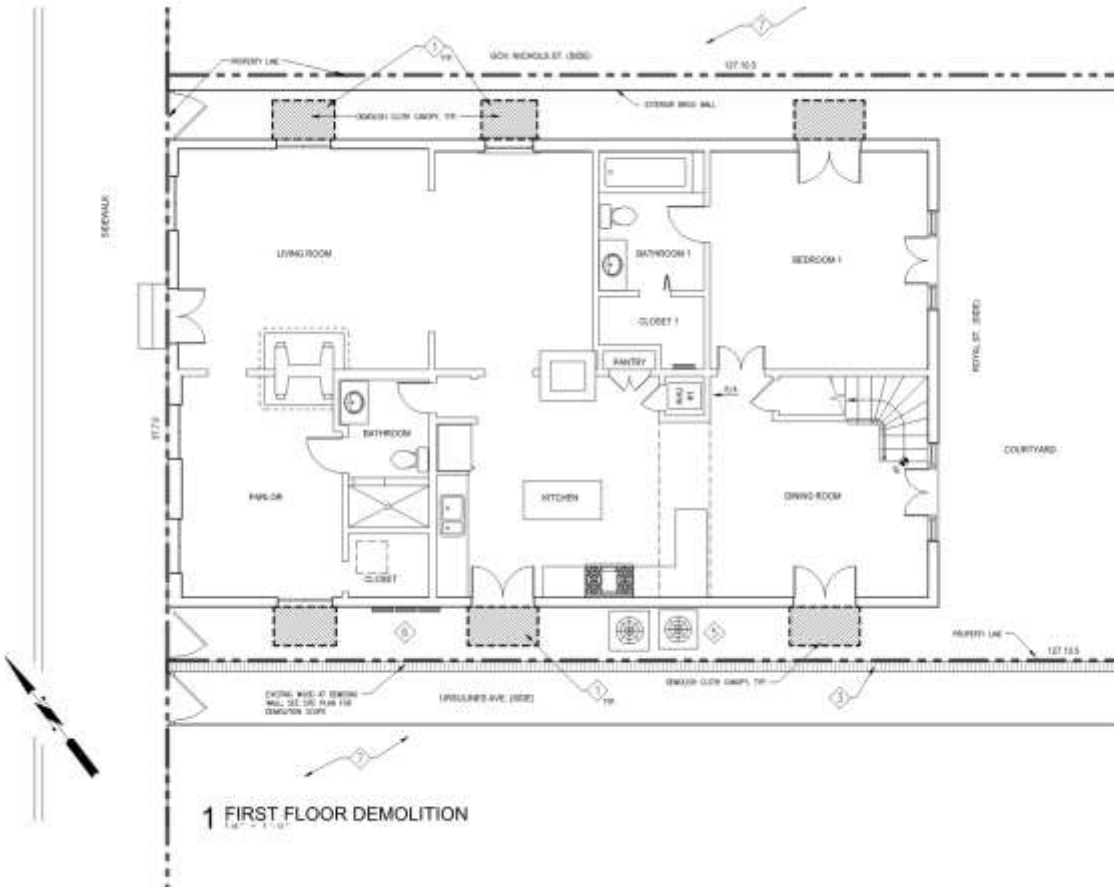
A000

COVER SHEET

LEGEND	
	TO BE DEMOLISHED OR REMOVED AND REPLACED
	EXISTING
	KEY NOTE

- GENERAL DEMOLITION NOTES:**
1. SHALL THE MATERIAL SPECIFIED IN THE CONSTRUCTION DOCUMENTS SHALL BE USED TO COMPLETE THE DEMOLITION WORK. ANY DEMOLITION OCCURRING WITHIN DESIGNATED AREAS OF A MATERIAL PART OF JOB IS AND NOT OCCURRING ON THE PLAN AND SPECIAL SHALL BE REMOVED FROM THE NEW CONSTRUCTION PERMITS TO INSURE THE WORK ACCORDS TO COMPLETE THE PERMITS.
 2. SEE FOUNDATION DEMOLITION PLAN AND PROPOSED PLAN FOR ADDITIONAL DETAILED INFORMATION.
 3. ALL BRICKWORK AND CONCRETE THAT IS NOT TO BE COVERED BY EXISTING CONSTRUCTION AND APPROVED AND NOT PROPOSED TO BE COVERED BY EXISTING CONSTRUCTION AND CONCRETE SHALL BE FIELD DEMOLISHED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION OF FOUNDATION AND DEMOLITION WORK. DEMOLITION FROM EXISTING STRUCTURES SHALL BE MOVED ON OR TO CONSTRUCTION WORK.
 4. PRIOR TO THE START OF DEMOLITION OR EXPLORATION WORK, THE OWNER SHALL OBTAIN AN INDEPENDENT TESTING LABORATORY. IF HAZARDOUS MATERIALS ARE DETECTED TO VERIFY THE EXISTING AND CONSTRUCTION FOR PRESENCE OF HAZARDOUS MATERIALS SUCH AS, BUT NOT LIMITED TO, LEAD-BASED PAINTS, ASBESTOS, MOLD, ETC. IF THE TEST RESULTS ARE POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL DEMOLITION WORK TO REMOVE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE APPLICABLE AND REGULATIONS OF LOCAL, STATE AND FEDERAL GOVERNMENTS FOR DEMOLITION OF EXISTING WORK WITH COMMENTS.
 5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION WORK.

- DEMOLITION KEY NOTES:**
1. DEMOLISH EXISTING CLAYS BRICKS, ASSORTED METAL FINISH AND FINISHES, EXISTING EXTERIOR WALLS AND EXISTING FROM BRICKS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS.
 2. CONTROLLED DEMOLITION SHALL BE PROVIDED FOR NEW PARTS TO BE DEMOLISHED BY REMOVAL EXISTING WITH A WALL EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS.
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 4. SHALL NOT PROTECT THE EXISTING EXTERIOR WALLS FROM DEMOLITION AND EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS.
 5. PROTECT EXISTING ELECTRICAL PANELS AND METAL FROM DEMOLITION CONSTRUCTION WITH MATERIAL TO BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS.
 6. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS. EXISTING EXTERIOR WALLS SHALL BE DEMOLISHED TO MATCH THE EXISTING EXTERIOR WALLS.



GRAY STUDIO
 1145 Decade Blvd #101
 Metairie, Louisiana 70001
 504.885.8888
 www.graystudio.com



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR: **MR. & MRS. SOREN GISLESON**
 1118 BOURBON ST.
 NEW ORLEANS, LA 70116

PERMIT SET

APRIL 1, 2021
 04/01/2021
FIRST FLOOR DEMOLITION

A110

July 13, 2021



1120 Bourbon
 VCC Architectural Committee

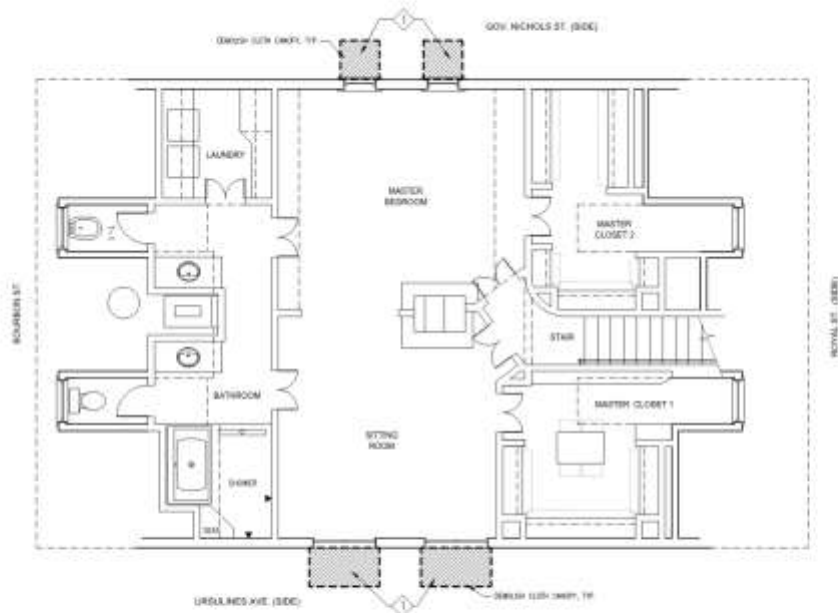
LEGEND	
	TO BE DEMOLISHED OR REMOVED AND REPLACED
	NO NOTE

GENERAL DEMOLITION NOTES:

1. ONLY THE MATERIAL SPECIFIED IN THE CONSTRUCTION ACCOUNTS SHALL BE USED TO COMPLETE THE DEMOLITION WORK. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS.
3. ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, AND THE STATE OF LOUISIANA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS.
4. PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION WORK, THE OWNER SHALL NOTIFY AN APPROPRIATE LOCAL AGENCY OF THE DEMOLITION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND THE USE OF A SAFETY SIGNAL LIGHTS.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING WORK.

DEMOLITION SET NOTES:

1. DEMOLISH EXISTING GLASS WINDOWS, ALUMINUM WINDOW FRAMES AND INTERIOR PARTIAL DOOR COORS AND WOOD TRIM. REMOVE EXISTING INTERIOR PARTIAL DOOR COORS AND WOOD TRIM. REMOVE EXISTING INTERIOR PARTIAL DOOR COORS AND WOOD TRIM.
2. DEMOLISH EXISTING WOOD FRAMING, WOOD JOISTS WITH WOOD JOIST AND BRACED SUPPORTS IN REMOVED AREA. REMOVE EXISTING WOOD FRAMING, WOOD JOISTS WITH WOOD JOIST AND BRACED SUPPORTS IN REMOVED AREA.
3. REMOVE AND PROTECT THE EXISTING METALLIC CONCRETE CHAIRS FROM REMOVED AREA. REMOVE AND PROTECT THE EXISTING METALLIC CONCRETE CHAIRS FROM REMOVED AREA.
4. REMOVE EXISTING ELECTRICAL PANELS AND WIRING FROM REMOVED AREA. REMOVE EXISTING ELECTRICAL PANELS AND WIRING FROM REMOVED AREA.
5. REMOVE EXISTING MECHANICAL EQUIPMENT FROM REMOVED AREA. REMOVE EXISTING MECHANICAL EQUIPMENT FROM REMOVED AREA.



1 SECOND FLOOR DEMOLITION

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 1118 BOURBON ST. SUITE 100
 NEW ORLEANS, LA 70116
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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR **MR. & MRS. SOREN GISLESON**
 1118 BOURBON ST.
 NEW ORLEANS, LA 70116

PERMIT SET

APRIL 1, 2021
 JOB NUMBER: 2021
SECOND FLOOR DEMOLITION

A120



July 13, 2021

1 FRONT ELEVATION - BOURBON ST.

2 SIDE ELEVATION - GOV. NICHOLS (SIDE)

3 SIDE ELEVATION - URSULINES AVE. (SIDE)

4 REAR ELEVATION - ROYAL ST. (SIDE)

CONSTRUCTION NOTES:

1. SHALL BE DEMOLISHED WITH REMOVAL OF ALL EXISTING MATERIALS AND STRUCTURES. ALL MATERIALS TO BE REMOVED SHALL BE TAKEN OFF-SITE TO A RECYCLING FACILITY OR OTHER APPROPRIATE FACILITY. ALL MATERIALS TO BE REMOVED SHALL BE TAKEN OFF-SITE TO A RECYCLING FACILITY OR OTHER APPROPRIATE FACILITY.
2. ALL MATERIALS TO BE REMOVED SHALL BE TAKEN OFF-SITE TO A RECYCLING FACILITY OR OTHER APPROPRIATE FACILITY.
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5. ALL MATERIALS TO BE REMOVED SHALL BE TAKEN OFF-SITE TO A RECYCLING FACILITY OR OTHER APPROPRIATE FACILITY.

LEGEND

- TO BE DEMOLISHED
- TO BE DEMOLISHED AND REBUILT
- TO BE DEMOLISHED AND REBUILT WITH CHANGES
- TO BE DEMOLISHED AND REBUILT WITH CHANGES AND IMPROVEMENTS

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 NEW ORLEANS, LA 70118
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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR MR. & MRS. SOREN GISLESON
 1118 BOURBON ST.
 NEW ORLEANS, LA 70118

PERMIT SET

APRIL 1, 2021
 04/01/2021

EXTERIOR ELEVATIONS DEMOLITION

A130



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NEW ORLEANS, LA 70116
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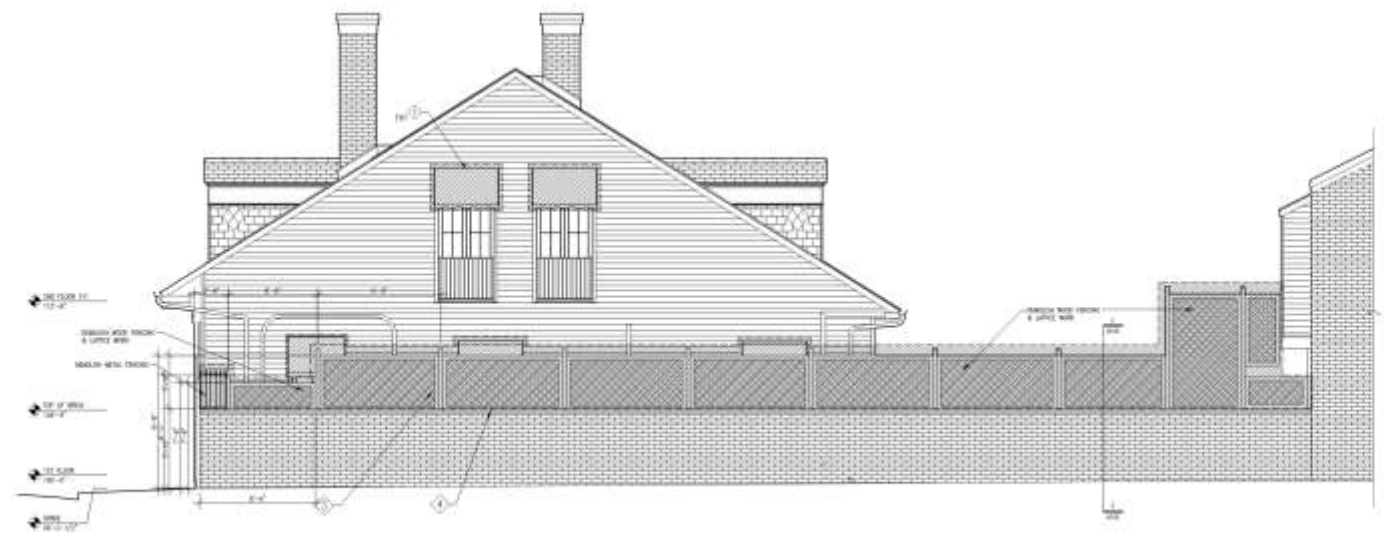
DEBRAJ GUY

GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR MR. & MRS. SOREN GISLESON
1118 BOURBON ST.
NEW ORLEANS, LA 70116

DATE: 01.2021
JOB NUMBER: 2001

EXTERIOR ELEVATIONS
DEMOLITION

A131



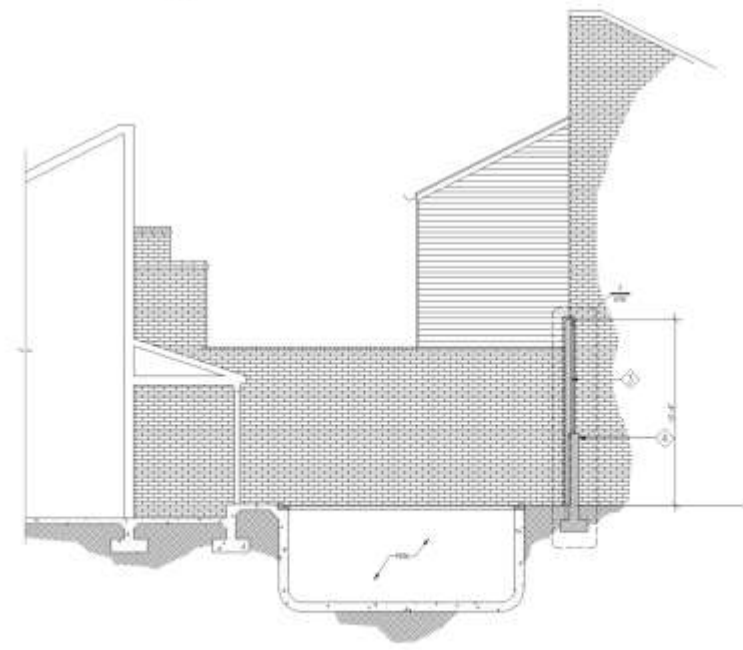
1 PARTIAL SIDE ELEVATION - GOV. NICHOLS (SIDE)

LEGEND

(Symbol)	TO BE DEMOLISHED
(Symbol)	REPAIR AND REBUILD
(Symbol)	NEW WALL

- GENERAL REMOVAL NOTES:**
1. ONLY THE MATERIAL SPECIFIED IN THE CONTRACTOR DOCUMENTS SHALL BE USED TO COMPLETE THE DEMOLITION WORK. NO OTHER MATERIALS SHALL BE USED FOR REPAIRS TO THE EXISTING STRUCTURE. ALL MATERIALS TO BE REMOVED SHALL BE PROTECTED FROM THE WEATHER AND STORED IN AN AREA TO BE DETERMINED BY THE CONTRACTOR.
 2. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED FROM THE EXTERIOR UNLESS OTHERWISE SPECIFIED.
 3. ALL EXISTING AND REMOVED MATERIALS SHALL BE DEMOLISHED BY CUTTING, CHIPPING, OR SHOCKING. NO EXPLOSIVES SHALL BE USED. ALL DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 4. PRIOR TO THE START OF DEMOLITION AN INVESTIGATION SHALL BE CONDUCTED TO DETERMINE THE PRESENCE OF HAZARDOUS MATERIALS. IF HAZARDOUS MATERIALS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE CITY OF NEW ORLEANS IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND DISPOSING OF HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.
 5. DEMOLITION SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE CONTRACT DOCUMENTS.

- DEMOLITION SET NOTES:**
1. DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 2. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED FROM THE EXTERIOR UNLESS OTHERWISE SPECIFIED.
 3. ALL EXISTING AND REMOVED MATERIALS SHALL BE DEMOLISHED BY CUTTING, CHIPPING, OR SHOCKING. NO EXPLOSIVES SHALL BE USED. ALL DEMOLITION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
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 5. DEMOLITION SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE CONTRACT DOCUMENTS.



2 SECTION THROUGH REAR STRUCTURE & POOL - GOV. NICHOLS (SIDE)

1120 Bourbon

VCC Architectural Committee

July 13, 2021

HDLC + VCC
APPROVED MORTAR FORMULA

MORTAR

- part Portland Cement
- part lime
- parts sand

through sifter for better workability mix.

STUCCO

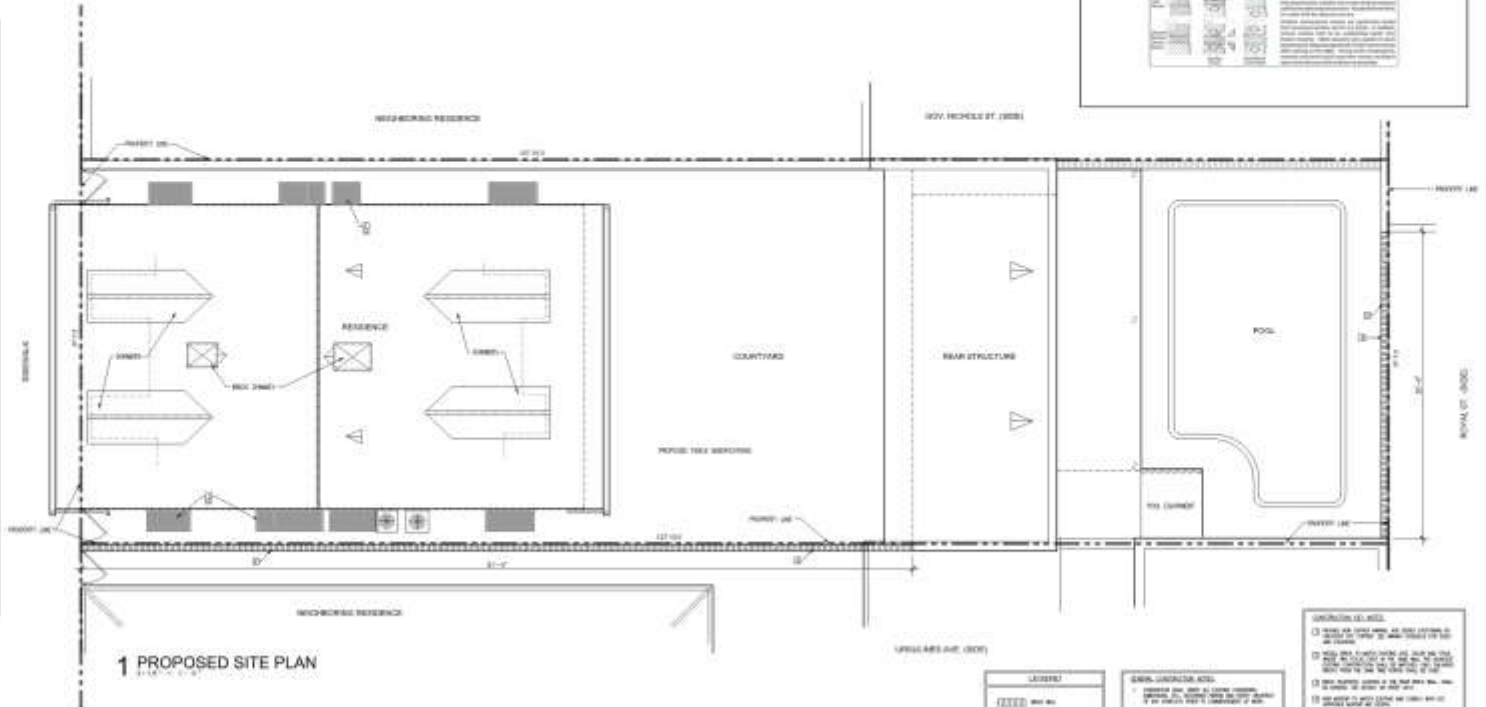
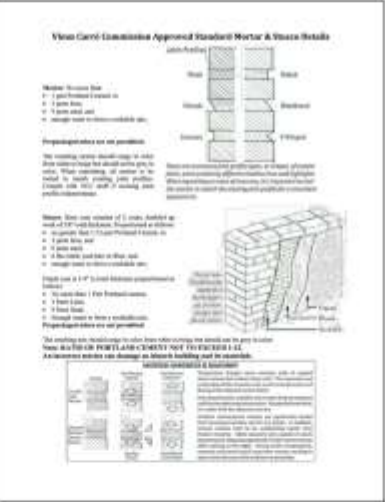
Same mix - consists of 3 parts for 1" total thickness.

- part Portland Cement
- part lime
- parts sand
- two parts perlite or other lightweight material for better workability mix.

Finish coat - 1/2" HDLC Finish

- part Portland Cement
- part lime
- parts sand

through sifter for better workability mix.



GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR: **MR. & MRS. SOREN GISLESON**
 1118 BOURBON ST.
 NEW ORLEANS, LA 70118

PERMIT SET

LEGEND

[Symbol]	EXISTING WALL
[Symbol]	EXISTING WINDOW
[Symbol]	EXISTING DOOR
[Symbol]	NEW WALL
[Symbol]	NEW WINDOW
[Symbol]	NEW DOOR

GENERAL CONDITIONS:

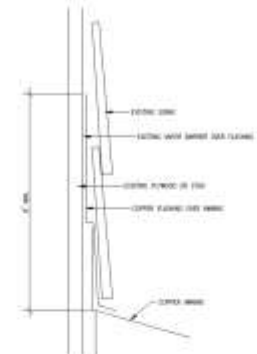
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
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CONTRACTOR'S NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
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APRIL 1, 2021
 1118 BOURBON ST
PROPOSED SITE PLAN
 A200

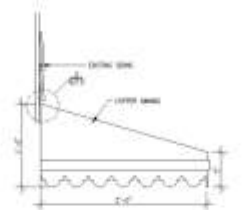




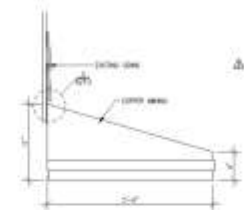
3 FLASHING DETAIL

AWNING SCHEDULE					
MARK	AWNING SIZE W x D x H	GALVE	OPENING TYPE	WIDTH OF MOUNTING SPACING	DESCRIPTION
A	4'-0" x 2'-0" x 1'-0"	16 GA.	STEEL DOOR	4'-0"	COPPER AWNING MOUNTED OVER STEEL DOORWAY. MANUFACTURED & DELIVERED BY CUPRO.
B	2'-0" x 1'-0" x 1'-0"	16 GA.	STEEL WINDOW	2'-0"	
C	4'-0" x 2'-0" x 1'-0"	16 GA.	STEEL DOOR	4'-0"	
D	2'-0" x 2'-0" x 1'-0"	16 GA.	STEEL WINDOW	2'-0"	

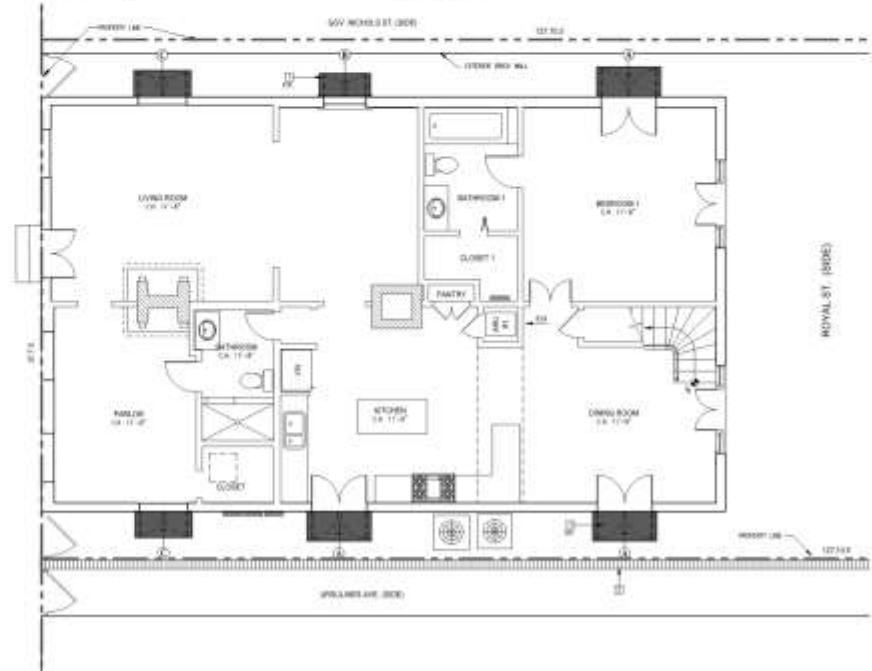
GENERAL AWNING NOTES:
1. VERIFY ALL MOUNTING SPACING IN THE FIELD PRIOR TO MANUFACTURING AWNING.



2 SECTION THROUGH AWNING
OPTION A



2B SECTION THROUGH AWNING
OPTION B



1 PROPOSED FIRST FLOOR PLAN

- GENERAL CONSTRUCTION NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., BEFORE BEGINNING WORK AND REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - PROVIDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AS SHOWN ON ALL DRAWINGS, ETC., PRIOR TO WORK.
 - THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS, MATERIALS, AND A GENERAL AVERAGE COMPLIANCE OF ALL CITY AND STATE BUILDING CODES.
 - ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY OF NEW ORLEANS.
 - CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME.

- CONSTRUCTION SET NOTES**
- PROVIDE NEW AWNING MATERIAL AND COLOR DETERMINED BY CONSULTING WITH CUPRO. SEE GENERAL CONDITIONS FOR SIZE AND COLOR.
 - VERIFY WITH THE ARCHITECT THE COLOR AND TYPE OF AWNING MATERIAL TO BE USED AND THE MANUFACTURER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY AND STATE PRIOR TO WORK.
 - AWNING MATERIAL SHALL BE INSTALLED OVER EXISTING WINDOW FRAME AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME.
 - AWNING MATERIAL SHALL BE INSTALLED OVER EXISTING WINDOW FRAME AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME.
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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLESON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

APR 23 2021

PROPOSED FIRST FLOOR PLAN

A210



1120 Bourbon

VCC Architectural Committee

July 13, 2021

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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR: **MR. & MRS. SOREN GISLESON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

PERMIT SET

Area 02, 030

07/13/2021
07/13/2021
SECOND FLOOR PLAN

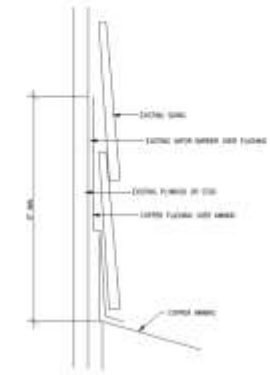
A220

July 13, 2021

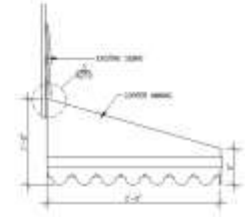


AWNING SCHEDULE					
MARK	AWNING SIZE W x D x H	SAUCE	OPENING TYPE	WIDTH OF ROOF OPENING	DESCRIPTION
A	4'-0" x 2'-0" x 1'-0"	1/2" IN	GLASS DOOR	4'-0"	UPPER BALCONY, NORTH FACED, NO GROUND INTERNAL, MANUFACTURED & FINISHED BY CONTRACTOR'S CHOICE
B	2'-0" x 1'-0" x 1'-0"	1/2" IN	GLASS WING WINDOW	2'-0"	
C	4'-0" x 2'-0" x 1'-0"	1/2" IN	GLASS DOOR	4'-0"	
D	2'-0" x 2'-0" x 1'-0"	1/2" IN	GLASS WINDOW	2'-0"	

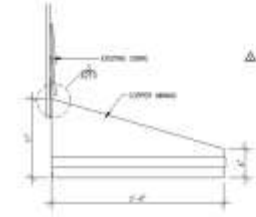
GENERAL AWNING NOTES:
1. VERIFY ALL WINDOW OPENING TYPES IN THE FIELD PRIOR TO MANUFACTURING WINDOW.



3 FLASHING DETAIL
1/2" SECTIONAL SIZE



2 SECTION THROUGH AWNING
OPTION A



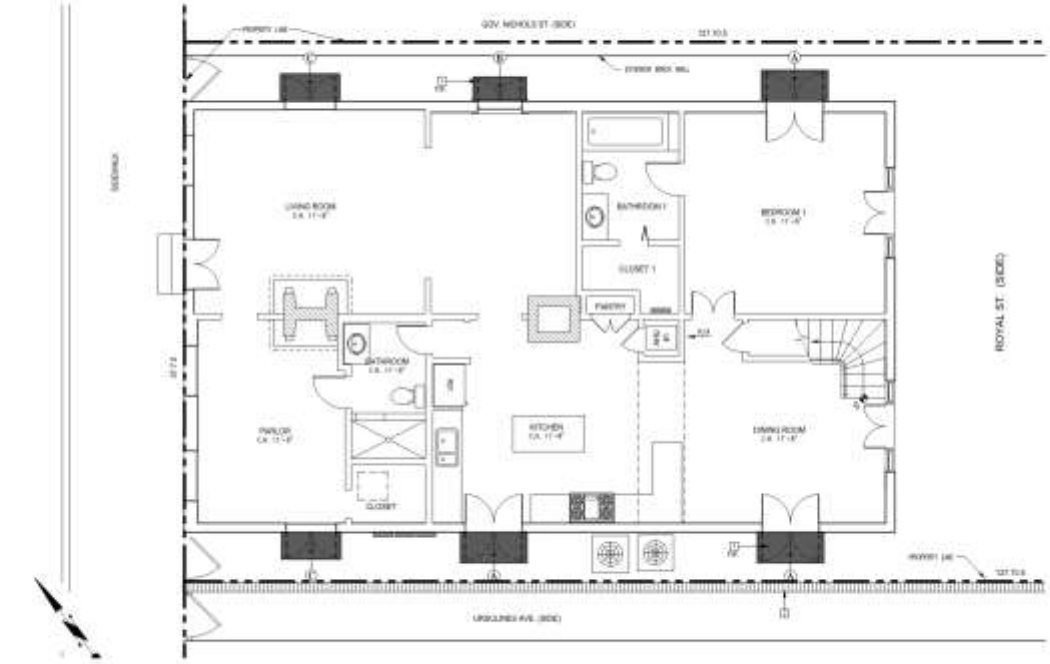
2B SECTION THROUGH AWNING
OPTION B

LEGEND

- [Symbol] ROOF WALL
- [Symbol] EXTERIOR WALL
- [Symbol] INTERIOR WALL
- [Symbol] 1/2" AIR GAP

- GENERAL CONSTRUCTION NOTES:**
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC. BEFORE BEGINNING WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MATERIALS TO BE USED IN WORK INCLUDING ALL TESTS, ETC.
 - THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND ALL OTHER EXISTING CONDITIONS OF EXISTING BUILDING MATERIALS.
 - ALL CONSTRUCTION MUST BE DONE TO WORK IN THE CITY OF NEW ORLEANS.
 - CONTRACTOR SHALL MAINTAIN THE EXISTING SITE CONDITIONS AND DRAINAGE TO BE EXISTING UNLESS OTHERWISE NOTED. SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN THE WORKSHOP.

- CONSTRUCTION DETAILS:**
- REMOVE AND REPAIR EXISTING ROOF TO ALLOW FOR THE INSTALLATION OF NEW ROOF SYSTEM. SEE DRAWING FOR DETAILS AND NOTES.
 - REMOVE AND REPAIR EXISTING ROOF TO ALLOW FOR THE INSTALLATION OF NEW ROOF SYSTEM. SEE DRAWING FOR DETAILS AND NOTES.
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 - REMOVE AND REPAIR EXISTING ROOF TO ALLOW FOR THE INSTALLATION OF NEW ROOF SYSTEM. SEE DRAWING FOR DETAILS AND NOTES.



1 PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"

1 FRONT ELEVATION - BOURBON ST.

2 SIDE ELEVATION - GOV. NICHOLS (SIDE)

3 SIDE ELEVATION - URSULINES AVE. (SIDE)

4 REAR ELEVATION - ROYAL ST. (SIDE)

CONSTRUCTION NOTES:

- REMOVE AND REINSTALL EXISTING AWNINGS AND BRACKETS EXISTING AT LOCATIONS SHOWN. DO NOT REMOVE EXISTING AWNINGS AT LOCATIONS SHOWN.
- REMOVE AND REINSTALL EXISTING AWNINGS AND BRACKETS EXISTING AT LOCATIONS SHOWN. DO NOT REMOVE EXISTING AWNINGS AT LOCATIONS SHOWN.
- REMOVE AND REINSTALL EXISTING AWNINGS AND BRACKETS EXISTING AT LOCATIONS SHOWN. DO NOT REMOVE EXISTING AWNINGS AT LOCATIONS SHOWN.
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- REMOVE AND REINSTALL EXISTING AWNINGS AND BRACKETS EXISTING AT LOCATIONS SHOWN. DO NOT REMOVE EXISTING AWNINGS AT LOCATIONS SHOWN.

GENERAL CONTRACTOR NOTES:

- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, FINISHES, AND MATERIALS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VERIFY AND CORRECT ALL FINISHES TO NEW FINISHES AS NOTED IN THIS SET.
- ALL FINISHES SHALL BE AS NOTED IN THIS SET. CONTRACTOR SHALL VERIFY AND CORRECT ALL FINISHES TO NEW FINISHES AS NOTED IN THIS SET.
- ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
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- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

LEGEND

- BRICK WALL
- EXTERIOR WALL
- INTERIOR WALL
- NO WALL

AWNING SCHEDULE

MARK	AWNING SIZE W x D x H	GRADE	OPENING TYPE	WIDTH OF ROOF OPENING	DESCRIPTION
A	4'-0" x 7'-0" x 1'-0"	12.00	SHADE	2'-0"	COPPER AWNING, 400 SERIES, VICTORIAN, MANUFACTURED & INSTALLED BY GISELSON (SEE SHEET)
B	7'-0" x 7'-0" x 1'-0"	12.00	SHADE	2'-0"	COPPER AWNING, 400 SERIES, VICTORIAN, MANUFACTURED & INSTALLED BY GISELSON (SEE SHEET)
C	4'-0" x 7'-0" x 1'-0"	12.00	SHADE	2'-0"	COPPER AWNING, 400 SERIES, VICTORIAN, MANUFACTURED & INSTALLED BY GISELSON (SEE SHEET)
D	7'-0" x 7'-0" x 1'-0"	12.00	SHADE	2'-0"	COPPER AWNING, 400 SERIES, VICTORIAN, MANUFACTURED & INSTALLED BY GISELSON (SEE SHEET)

GENERAL CONTRACTOR NOTES:

- VERIFY ALL DIMENSIONS AND FINISHES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

COPPER

400 Series (Victorian)

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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR: **MR. & MRS. SOREN GISLESON**
 1118 BOURBON ST.
 NEW ORLEANS, LA 70118

PROPOSED EXTERIOR ELEVATIONS

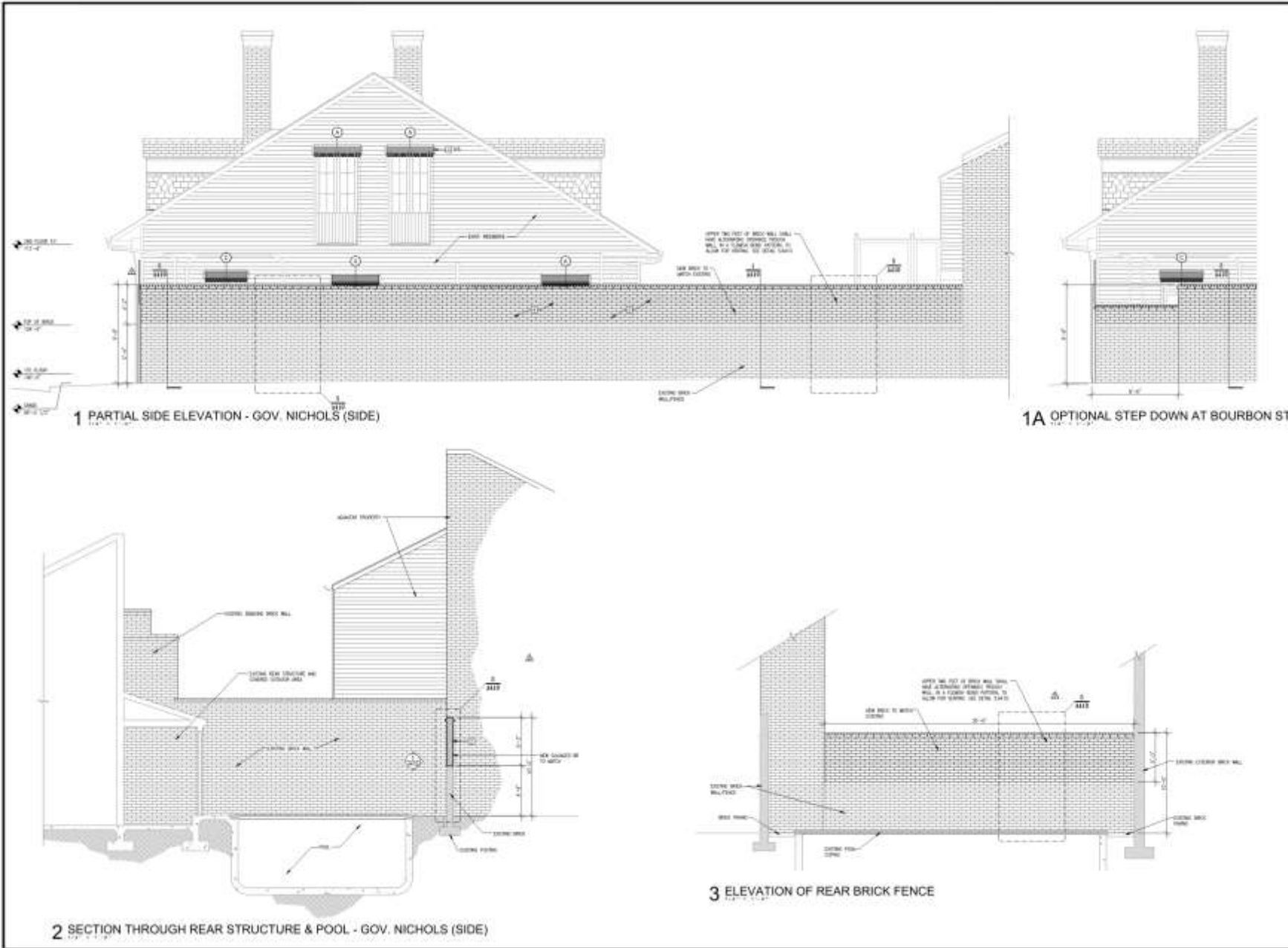
A400



1120 Bourbon

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July 13, 2021



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GISELSON RESIDENCE - EXTERIOR IMPROVEMENTS
 FOR
 MR. & MRS. SOREN GISELSON
 1118 BOURBON ST.
 NEW ORLEANS, LA 70116

APRIL 1, 2021
 PERMIT SET
 PROPOSED EXTERIOR ELEVATIONS

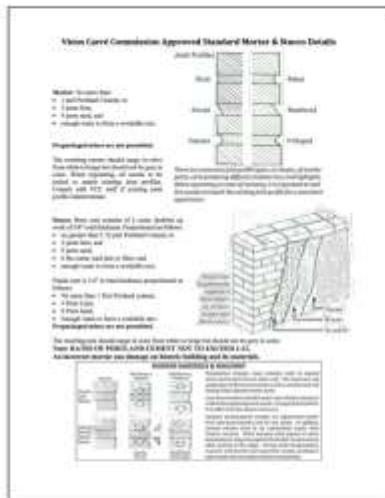
A401



1120 Bourbon

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HDLC + VCC APPROVED MORTAR FORMULA

MORTAR

- 1. 1 part Portland Cement
- 2. 2 parts Sand
- 3. 1 part Vitreous Concrete

STAKES

- 1. 1/2" x 1/2" x 1/2" Stakes
- 2. 1/2" x 1/2" x 1/2" Stakes
- 3. 1/2" x 1/2" x 1/2" Stakes

LEGEND

- BRICK WALL
- CONCRETE WALL
- CONCRETE MASONRY UNIT
- STAKE

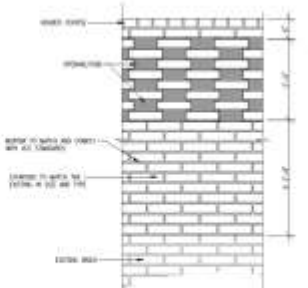
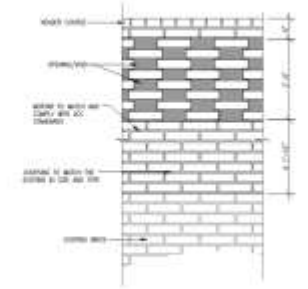
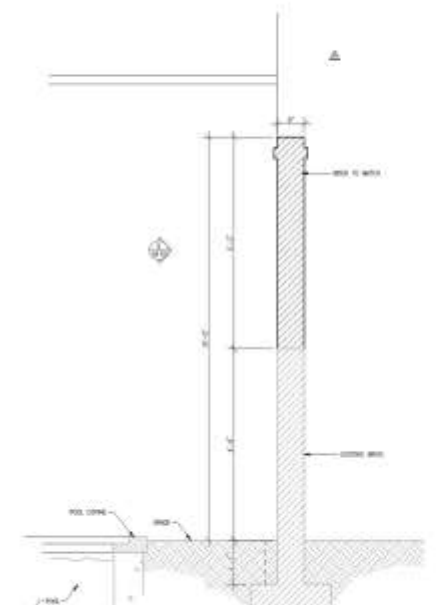
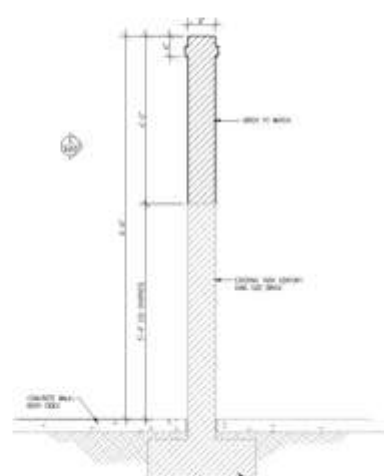
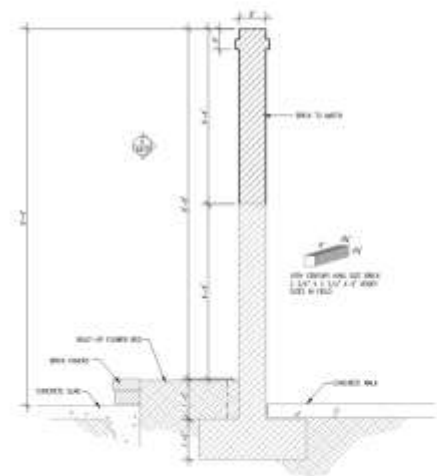
GENERAL CONSTRUCTION NOTES

- CONCRETE SHALL BE CAST IN PLACE AND CURED PROPERLY.
- CONCRETE SHALL BE CAST IN PLACE AND CURED PROPERLY.
- CONCRETE SHALL BE CAST IN PLACE AND CURED PROPERLY.
- CONCRETE SHALL BE CAST IN PLACE AND CURED PROPERLY.
- CONCRETE SHALL BE CAST IN PLACE AND CURED PROPERLY.
- CONCRETE SHALL BE CAST IN PLACE AND CURED PROPERLY.

CONSTRUCTION DETAILS

- BRICK WALL SHALL BE CONSTRUCTED WITH 3/8" MORTAR JOINTS.
- CONCRETE WALL SHALL BE CONSTRUCTED WITH 3/8" MORTAR JOINTS.
- CONCRETE MASONRY UNIT SHALL BE CONSTRUCTED WITH 3/8" MORTAR JOINTS.
- STAKES SHALL BE PLACED AT THE CORNERS AND MIDSPAN.

4 NOT USED



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GISLESON RESIDENCE - EXTERIOR IMPROVEMENTS
FOR **MR. & MRS. SOREN GISLESON**
1118 BOURBON ST.
NEW ORLEANS, LA 70116

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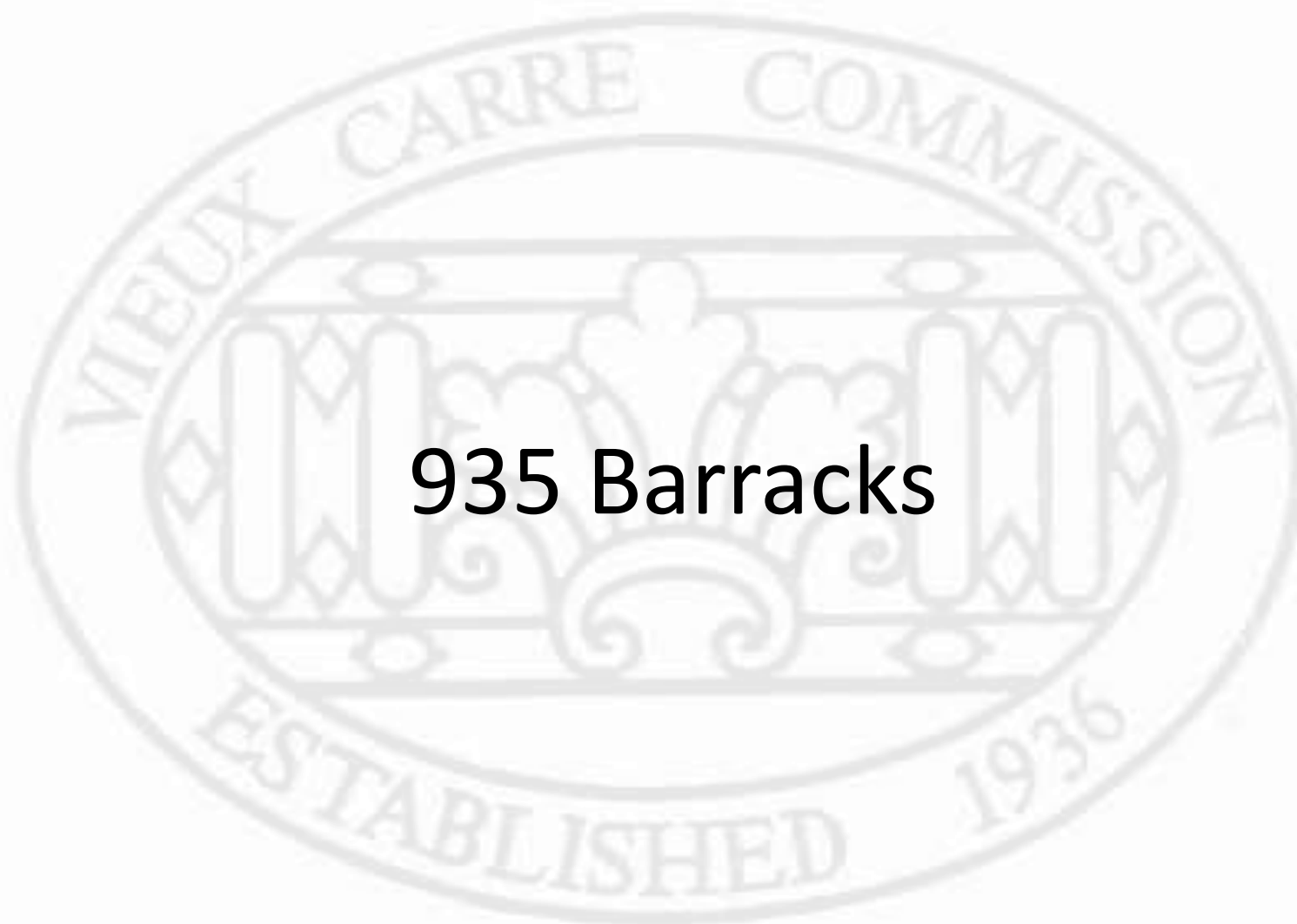
WALL SECTIONS

A410





New Business



935 Barracks



935 Barracks

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July 13, 2021





935 Barracks

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July 13, 2021





935 Barracks

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935 Barracks

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935 Barracks

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NOTE 3

NOTE 1

5' x 5' x 1' BOX PLATE

TOP VIEW (NTS-BRACKET ONLY)

FRONT VIEW (NTS)

SIDE VIEW (NTS)

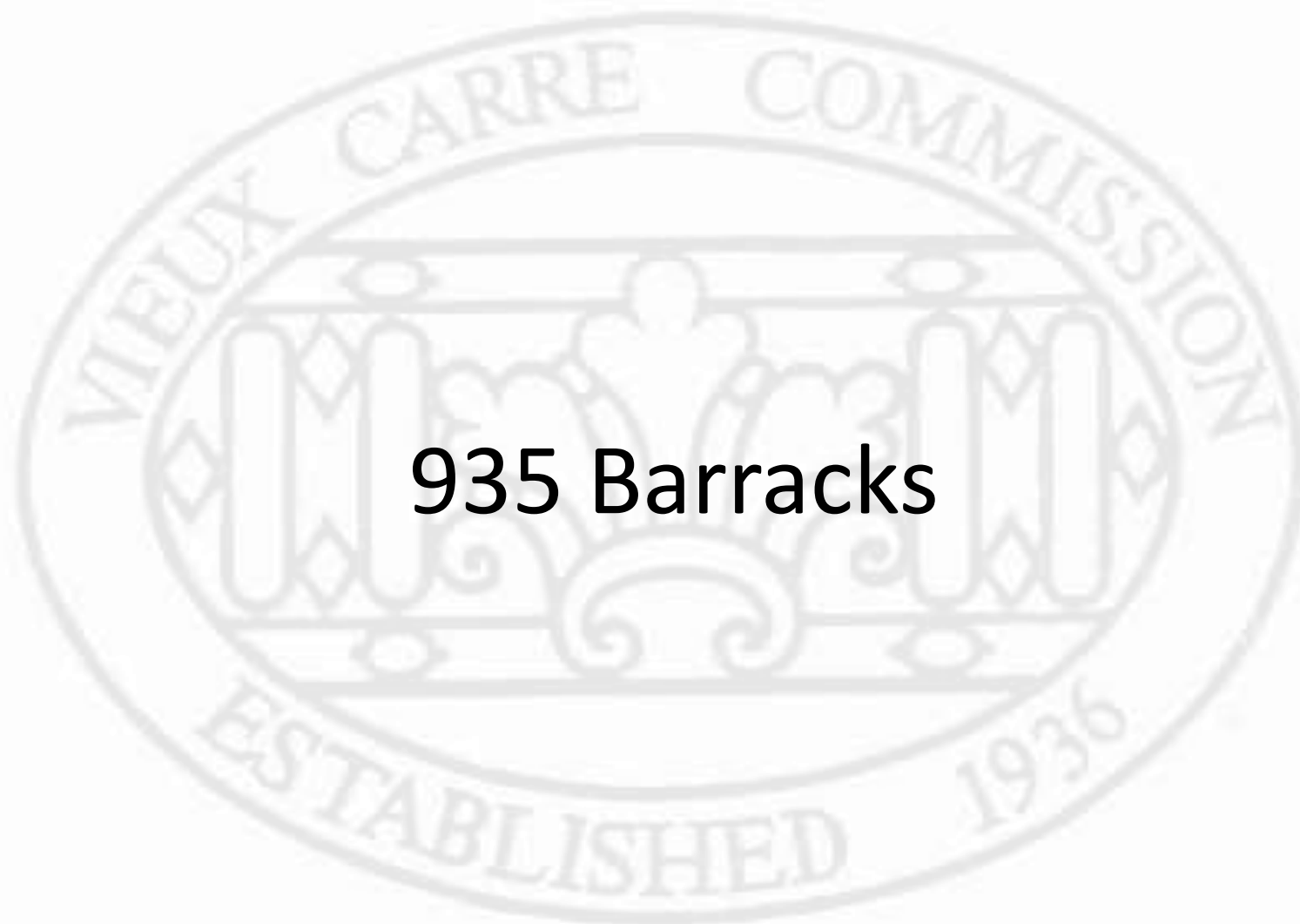
NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	14"	18"	21"	24"	27"	30"	36"
A:	20"	24"	26"	30"	33 $\frac{3}{4}$ "	38 $\frac{3}{4}$ "	46 $\frac{3}{4}$ "
B:	14 $\frac{1}{4}$ "	15 $\frac{7}{8}$ "	17 $\frac{1}{4}$ "	20 $\frac{1}{2}$ "	21 $\frac{7}{8}$ "	25 $\frac{3}{4}$ "	31"
C:	9 $\frac{7}{8}$ "	11 $\frac{1}{4}$ "	12 $\frac{1}{8}$ "	14 $\frac{3}{8}$ "	15 $\frac{1}{4}$ "	18 $\frac{1}{4}$ "	22 $\frac{1}{4}$ "
D:	VARIES	VARIES	VARIES	VARIES	VARIES	VARIES	VARIES
E:	6 $\frac{1}{4}$ "	7 $\frac{5}{8}$ "	9 $\frac{3}{8}$ "	12 $\frac{3}{8}$ "	11 $\frac{7}{8}$ "	14 $\frac{1}{2}$ "	17 $\frac{3}{8}$ "
F:	8"	10 $\frac{1}{8}$ "	11 $\frac{1}{8}$ "	12 $\frac{7}{8}$ "	14 $\frac{3}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{5}{8}$ "

BEVOLO GAS & ELECTRIC LIGHTS			DRW BY:	JJG	<small>COPYRIGHT 2015, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.</small>	
LIGHT:	FRENCH QUARTER		DATE:	APP. BY:		MAJ
BRACKET:	YOKE		12-7-15	REVISION:		10





935 Barracks



935 Barracks

VCC Architectural Committee

July 13, 2021





935 Barracks

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July 13, 2021





935 Barracks

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July 13, 2021





935 Barracks

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July 13, 2021





935 Barracks





935 Barracks

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July 13, 2021





935 Barracks

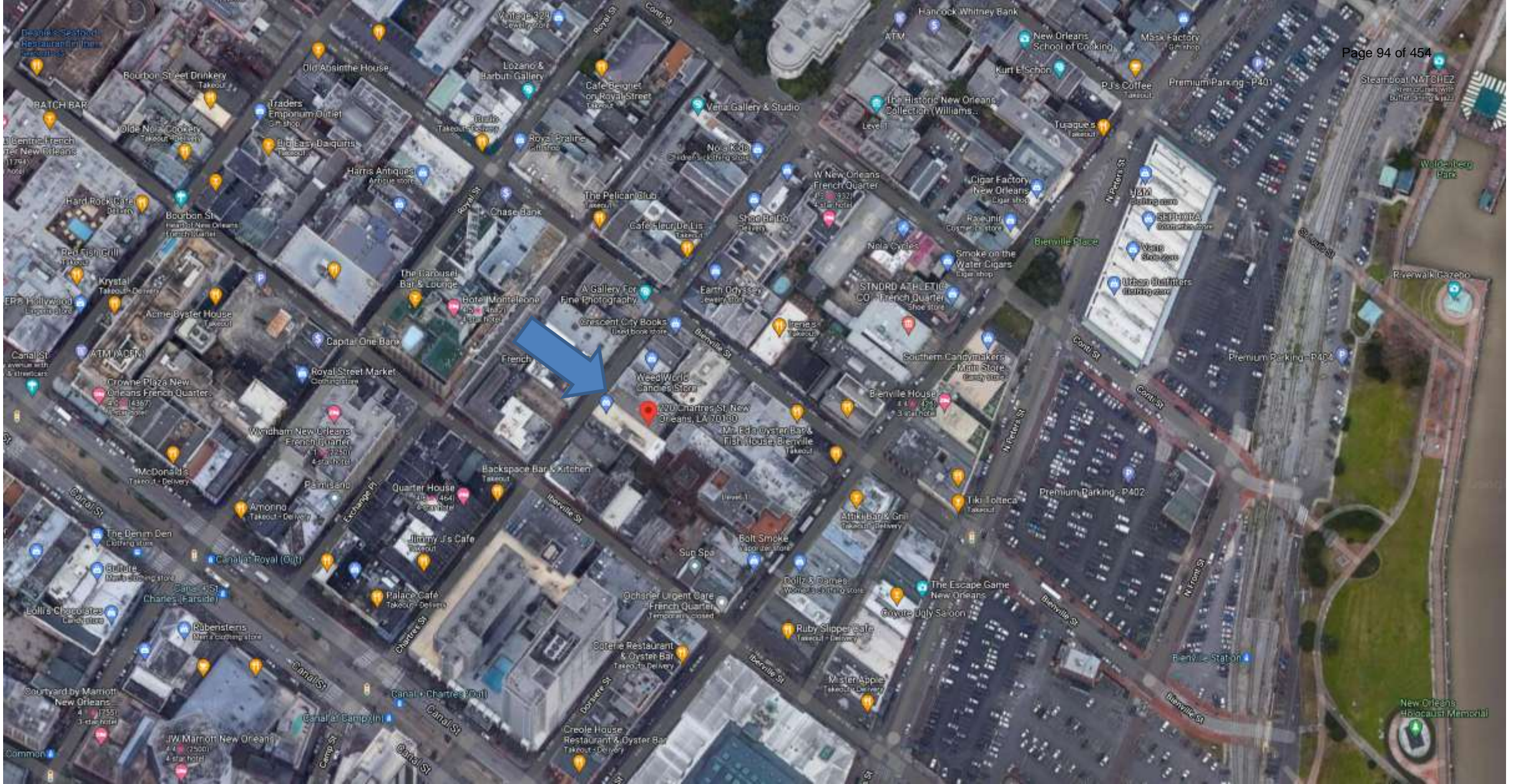
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220-22 Chartres



220-22 Chartres

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220-22 Chartres



220-22 Chartres

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220-22 Chartres – 1965

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July 13, 2021



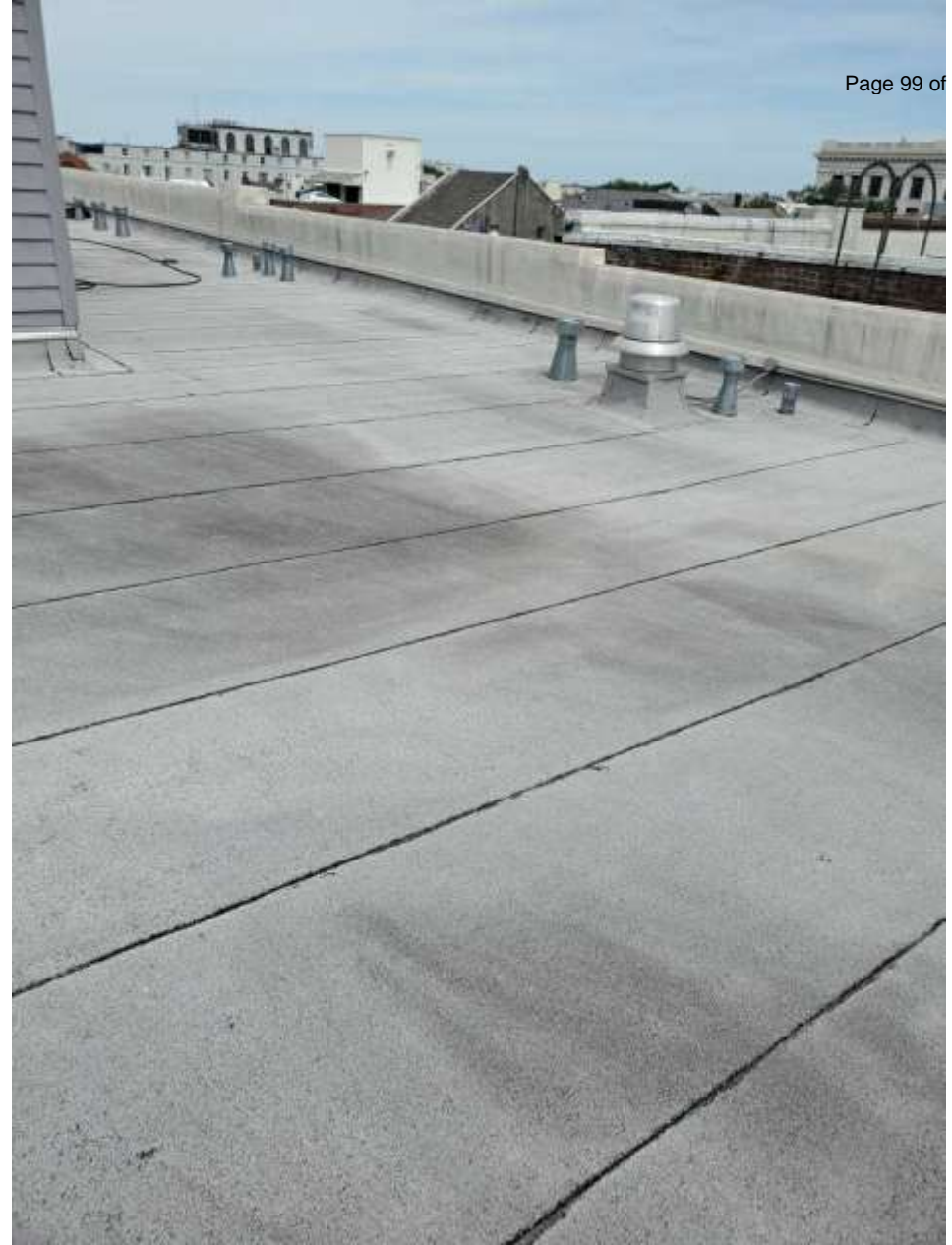


220-22 Chartres

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220-22 Chartres

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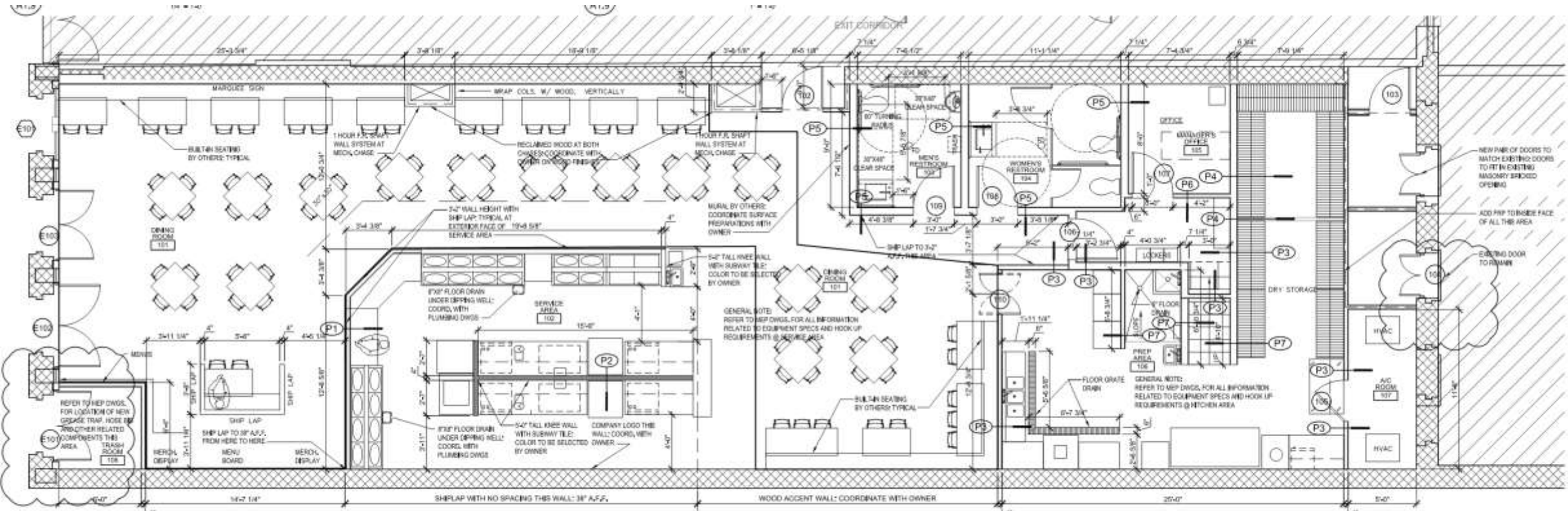


220-22 Chartres

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July 13, 2021





01 PROPOSED FLOOR PLAN
A1.9 1/8" = 1'-0"

- GENERAL NOTE:
 1. REFER TO EQUIPMENT PLAN AND MEP DRAWINGS FOR SPECIFIC INFORMATION ON EQUIPMENT.
 2. ALL FURNITURE TO BE INSTALLED AND SPECIFIED BY OWNER.
 3. ALL SHIP LAP TO HAVE 1/8" SPACING EXCEPT WHERE NOTED OTHERWISE.

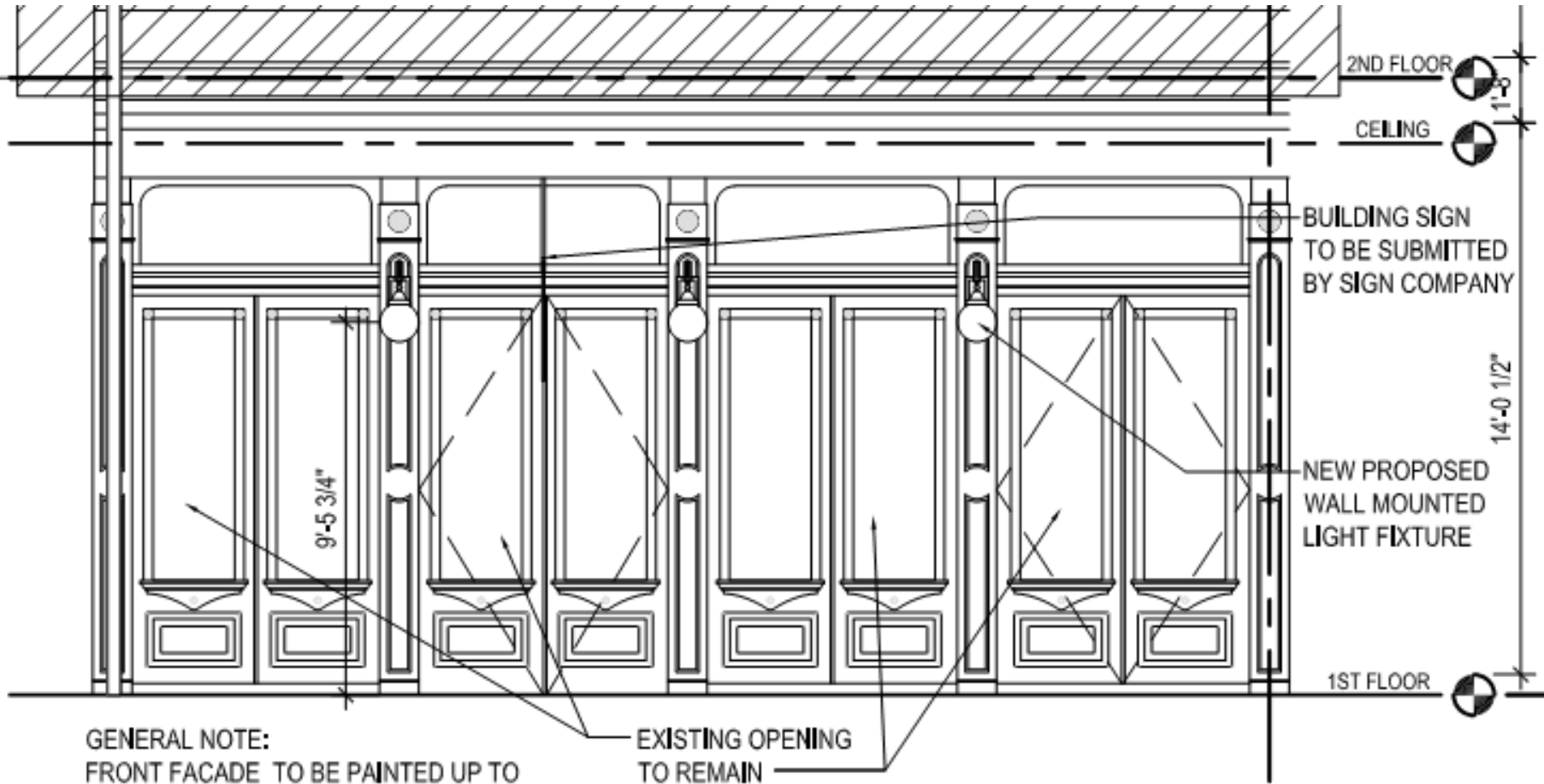
VCC SUBMITTAL- JULY 13, 2021

220-22 Chartres

VCC Architectural Committee

July 13, 2021

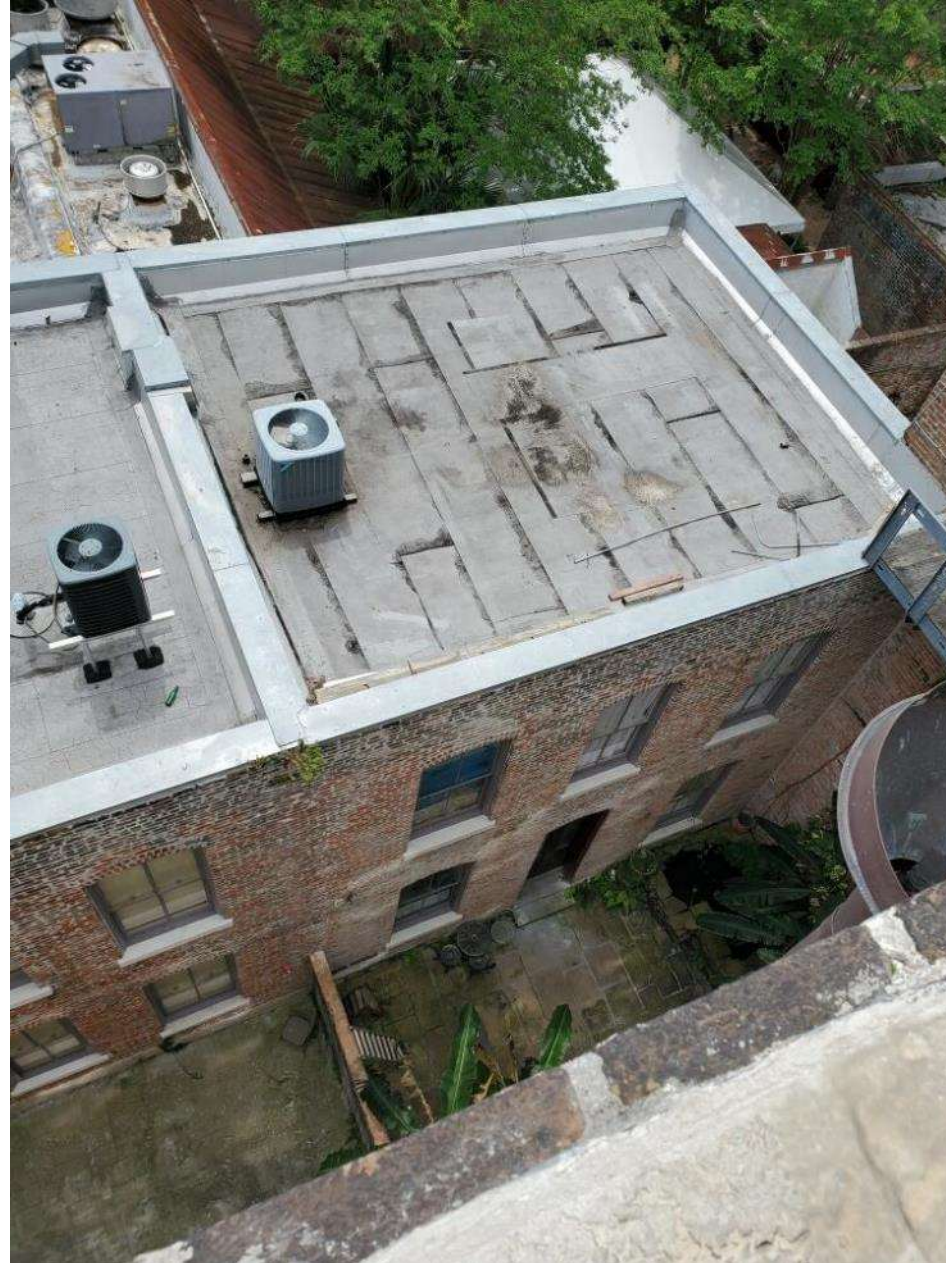




GENERAL NOTE:
 FRONT FACADE TO BE PAINTED UP TO
 UNDERSIDE OF SECOND FLOOR FENESTRATION;
 SAME COLOR AS EXISTING; DOORS TO BE
 REPAINTED SAME COLOR AS EXISTING



NO. 215: Height overall, less
 globe, 15 1/2". Backplate 6 3/4" x
 14". Wall to center 12". Holder
 size 5" or 6" (state size).



220-22 Chartres

VCC Architectural Committee

July 13, 2021





220-22 Chartres

VCC Architectural Committee

July 13, 2021



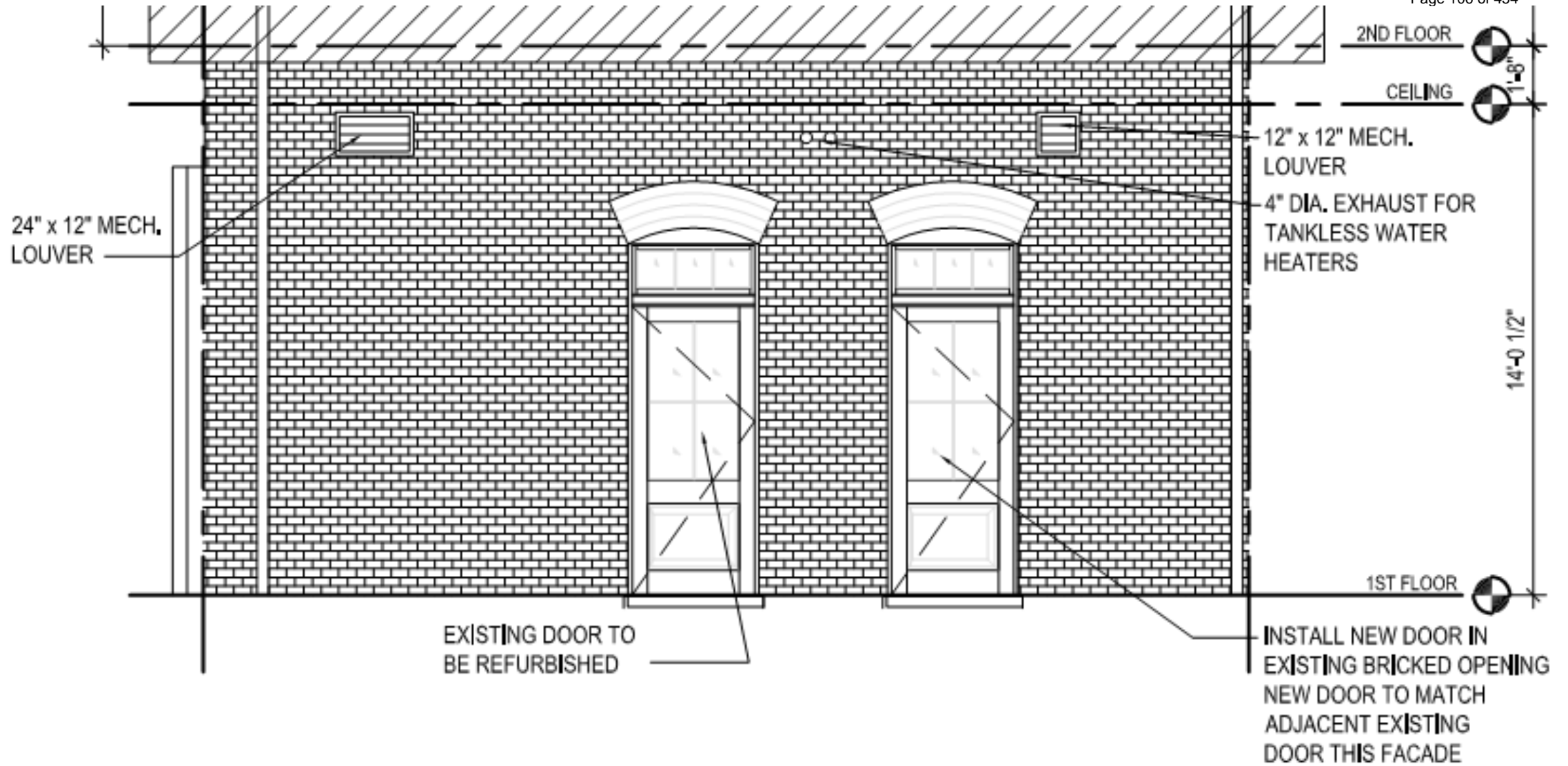


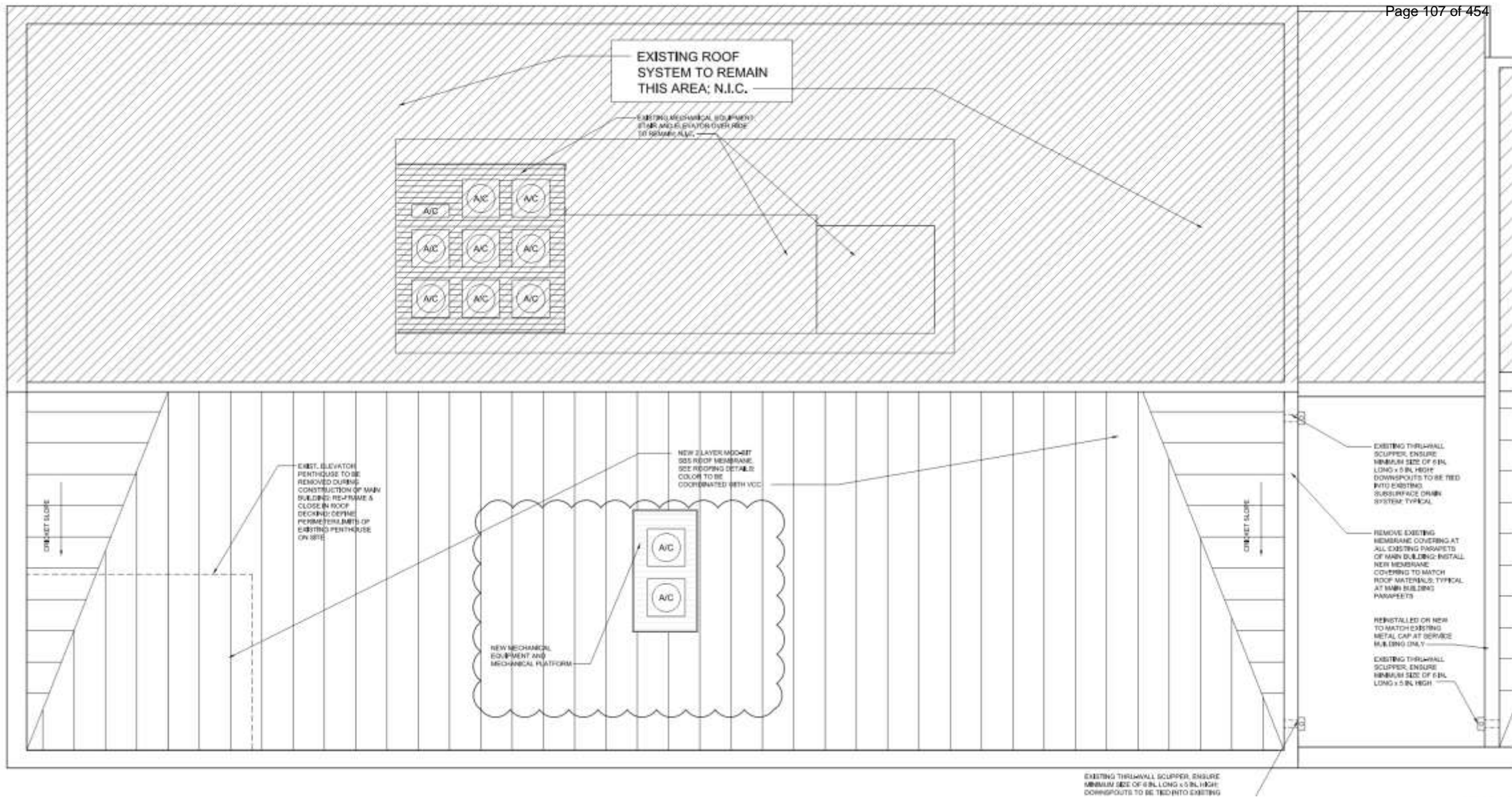
220-22 Chartres

VCC Architectural Committee

July 13, 2021









Product Catalog

6-25 TONS

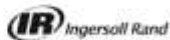
Split System Air Conditioners Odyssey™

Cooling Condenser — 6 to 25 Tons — 60 Hz
Air Handler — 5 to 25 Tons — 60 Hz



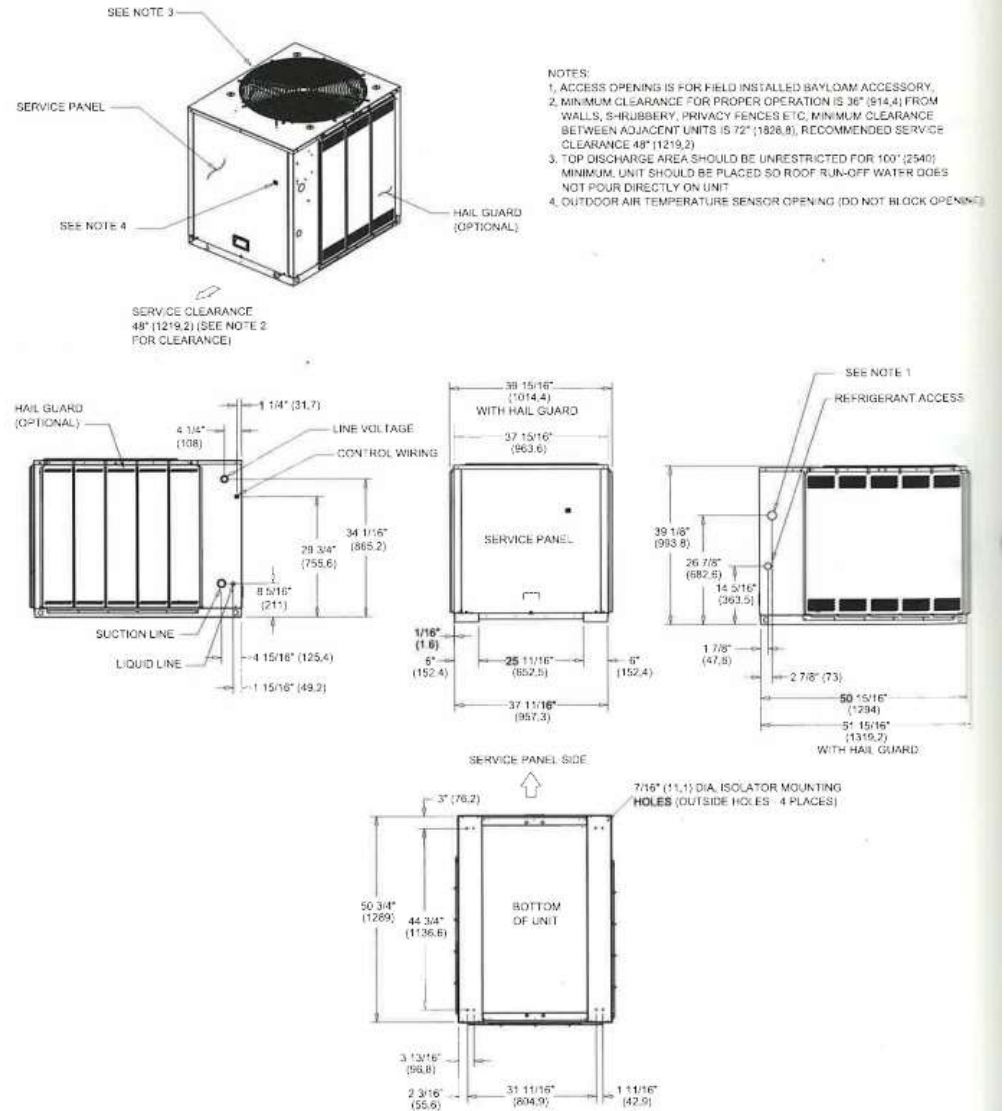
March 2015

SS-PRC028H-EN



Dimensional Data

Figure 31. 10 condensing unit, manifolded compressor, tube and fin



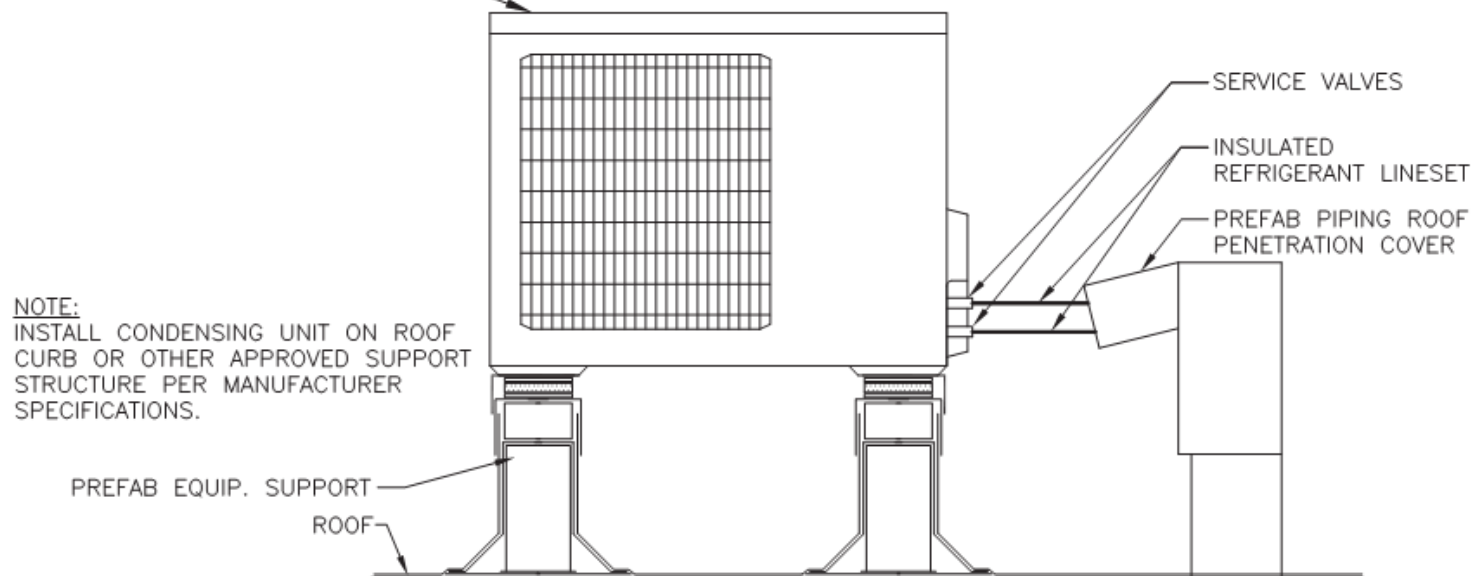
REFER TO MANUFACTURER FOR MINIMUM INSTALLATION CLEARANCES.

NEW CURB DETAIL TO MATCH EXISTING

06-28-21

VRF CONDENSING UNIT

NOTE:
REFER TO MANUFACTURER
SPECIFICATIONS FOR MAXIMUM
REFRIGERANT LINESET LENGTH.



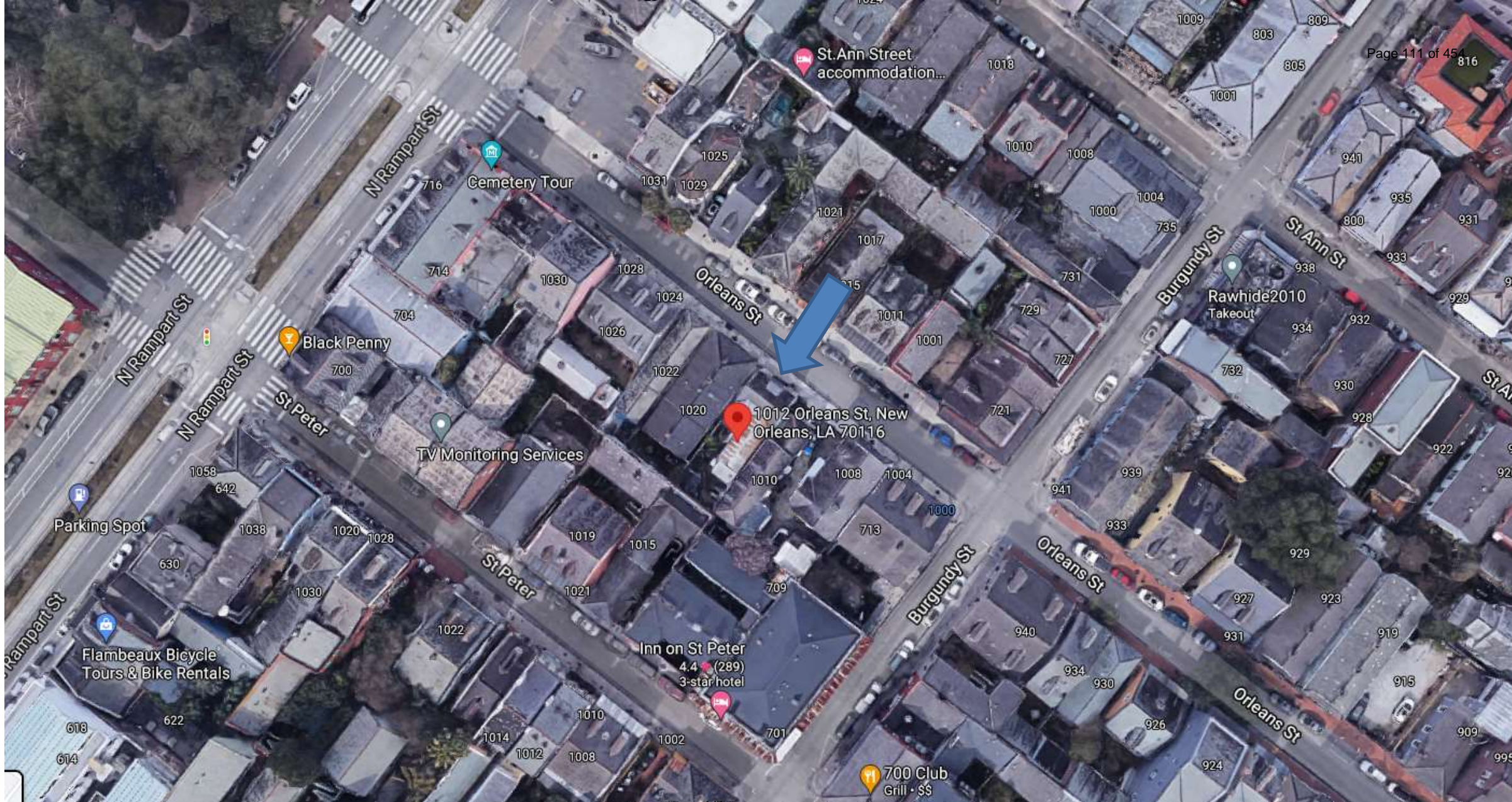
2
M.100.3

ROOF MOUNTED VRF DUCTLESS SPLIT CONDENSING UNIT

SCALE: NONE



1012-1014 Orleans

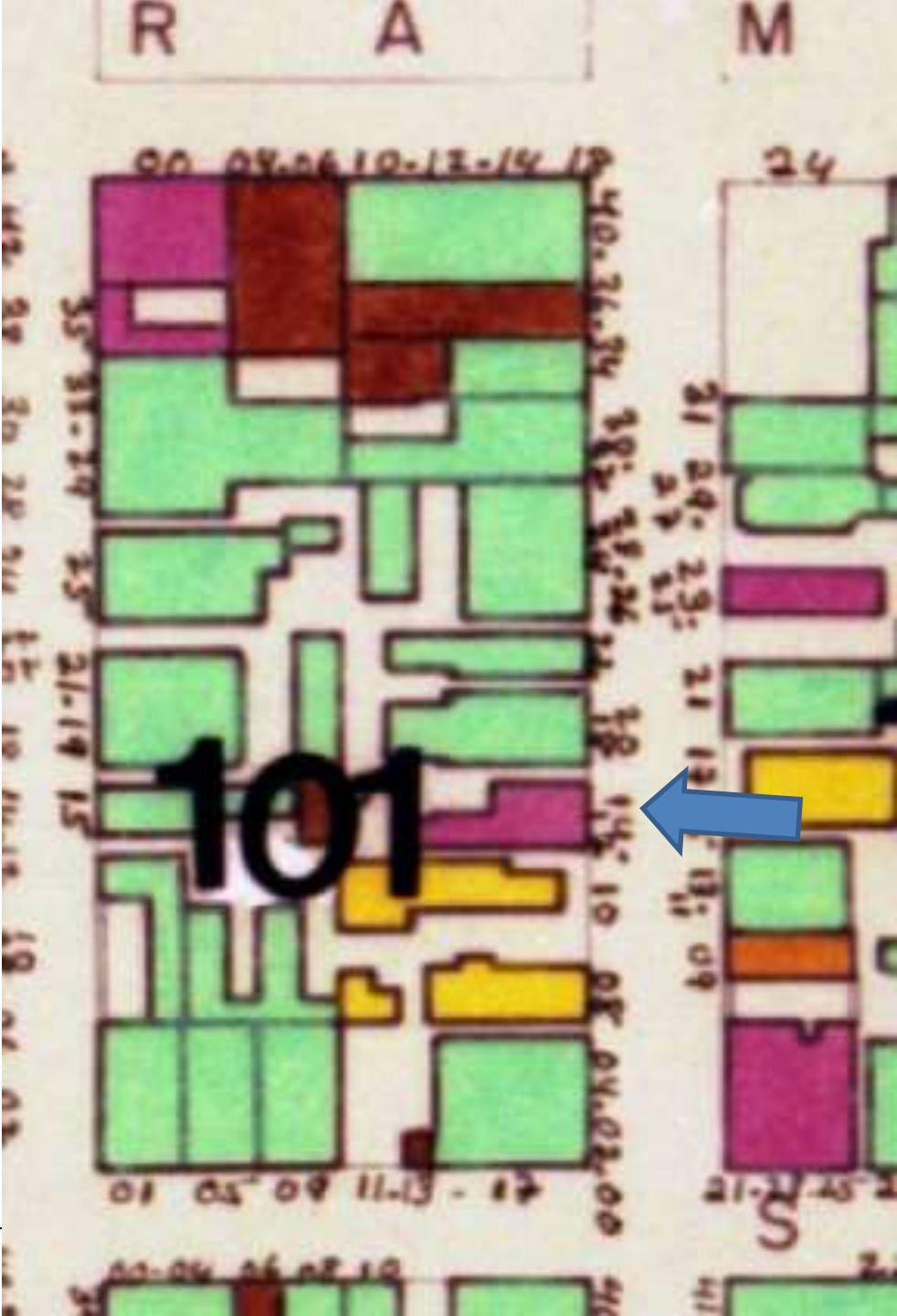


1012-1014 Orleans

VCC Architectural Committee

July 13, 2021





1012-1014 Orleans

VCC Architectural Committee

July 13, 2021





1012-1014 Orleans - 1963





1012-1014 Orleans - 1980





1012-1014 Orleans

VCC Architectural Committee

06 24 2021

July 13, 2021



NOTES

EXTERIOR PAINT

1. REPAIR \ REPLACE ANY FAILING WOOD, RESTORE ALL WINDOW GLAZING.
2. ONE COAT OF EXTERIOR OIL BASE PRIMER,
3. TWO COATS OF EXTERIOR ACRYLIC PAINT (SATIN)
4. COLORS (BENJAMIN-MOORE)
 TRIM: 1514 FRENCH CANVAS
 BODY: 705 SIOUX FALLS
 SHUTTERS: 707 CALICO BLUE
 MASONRY: 1034 CLAY
5. SEE PAGE 4 FOR DETAILS



NEW WINDOW

NEW DOOR

FRONT ELEVATION

SCALE: 3/8" = 1'-0"

NOTE: ALL OPENINGS HAVE SHUTTERS.

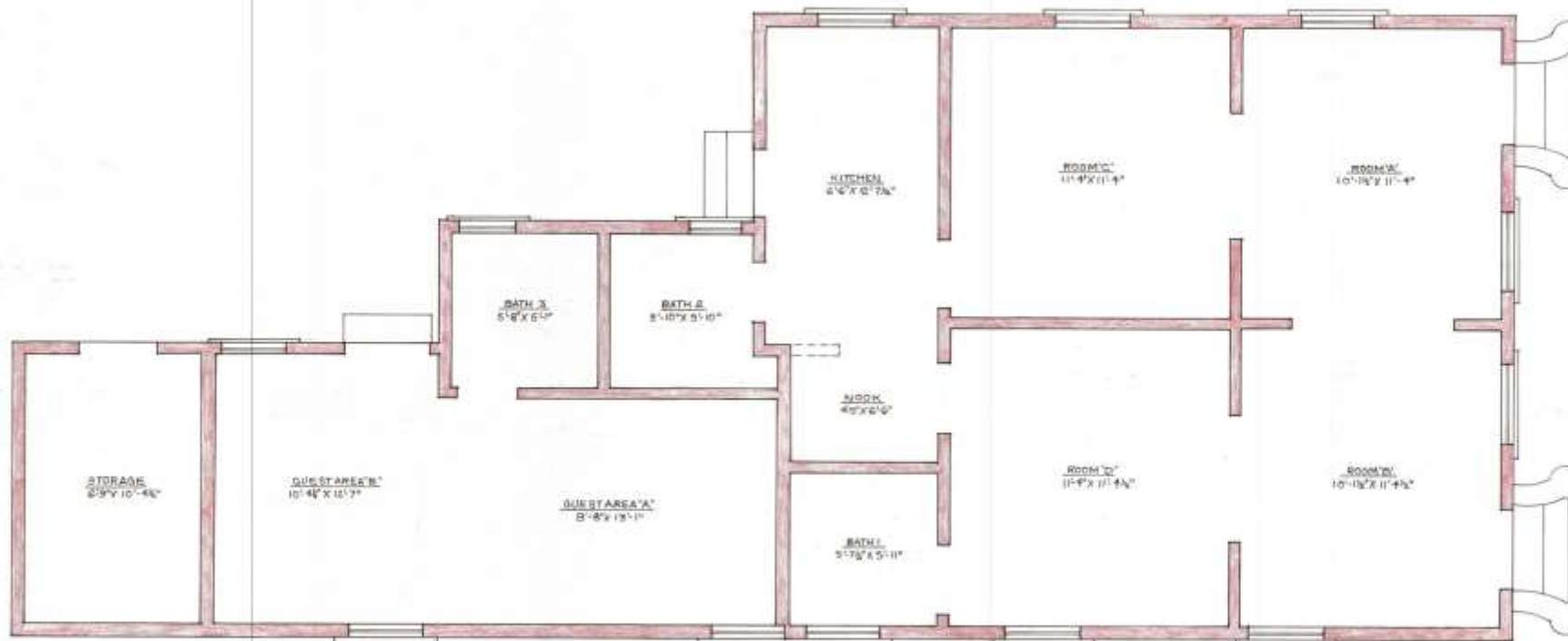


WINDOW & SHUTTER DETAIL

SCALE: 3/8" = 1'-0"

1012 & 1014 ORLEANS
 NEW ORLEANS, LA 70116





EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0"
NOTE: ALL DIMENSIONS ARE APPROXIMATE

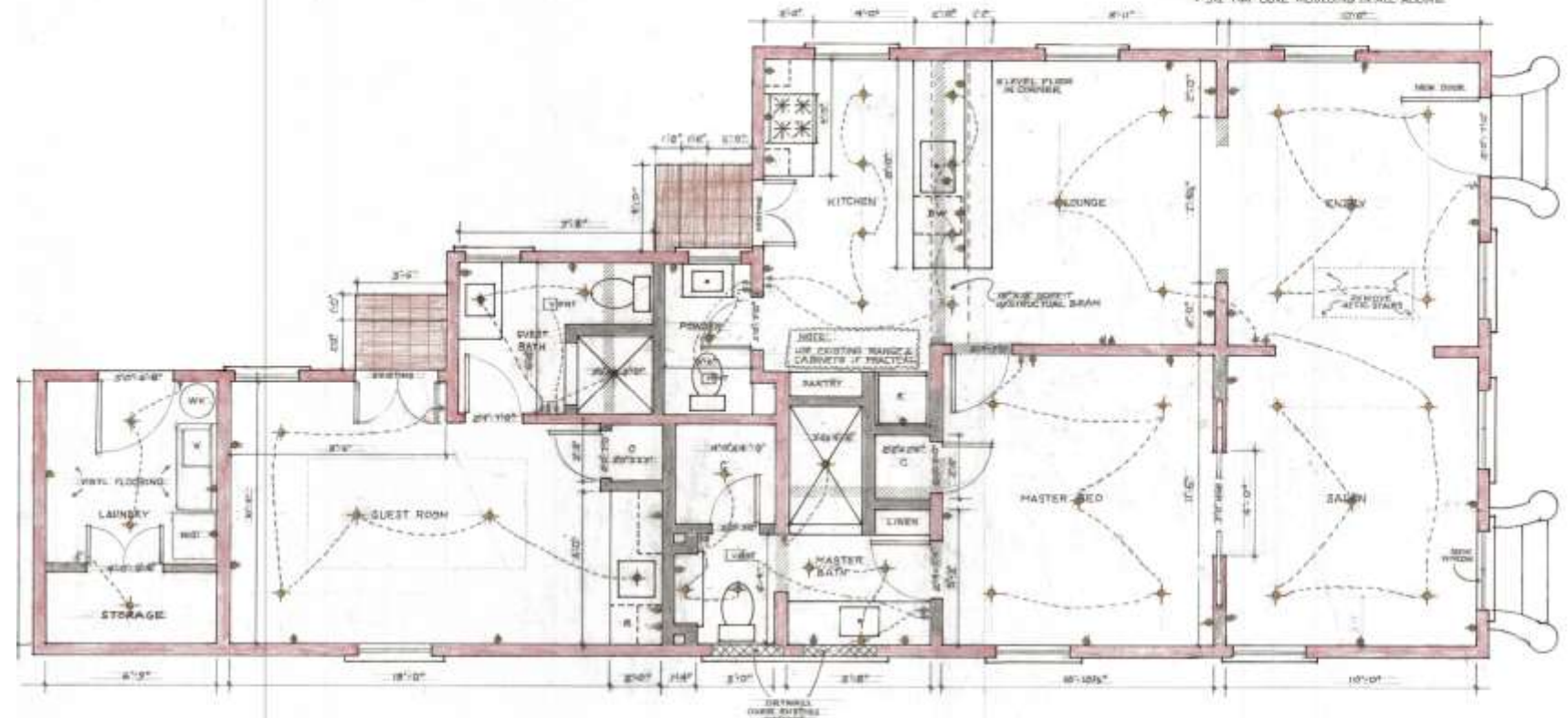
1012-1014 ORLEANS
NEW ORLEANS, LA 70116



PLUMBING NOTES
 EXISTING KITCHEN SINK & CABINET MOVED TO LAUNDRY.
 GAS RANGE IN KITCHEN.
 ALL NEW PLUMBING FIXTURES.
 ALL NEW H/W.
 PLUMBS IN KITCHEN & BATHS OPEN DURING CONSTRUCTION.

ELECTRICAL NOTES
 UPGRADE ELECTRICAL SERVICE PANELS.
 NEW PLUGS INSTALLED IN BASEBOARDS.
 CEILING LIGHTS: 8" RECESSED CANLS.
 DIMMERS ON ALL LIGHT SWITCHES.

GENERAL NOTES
 VERIFY ALL MEASUREMENTS.
 OAKY FLOORS IN ALL ROOMS BUT BATHROOMS.
 TILE FLOORS IN BATHROOMS.
 QUARTZ ON ALL COUNTERTOPS.
 GUEYWAY TILE IN BATHROOMS.
 TILES SHALL BE 1/4" WITH BACKBAND.
 DOORS FINISHING SOLID MDF.
 ALL NEW DOOR HARDWARE.
 INSULATION DRYWALL NEW FLOOR IN LAUNDRY.
 NEW REAR STEPS W/ BRICK FINISH.
 1/2" HPF CORE MOLDING IN ALL ROOMS.



PROPOSED FLOOR PLAN
 Scale: 1/8" = 1'-0"

- LEGEND**
- EXISTING WALLS
 - REMOVE EXISTING WALLS
 - NEW WALLS
 - COVER EXISTING WINDOW WITH DW

1012-1014 ORLEANS
 NEW ORLEANS, LA 70116

3





NEW WINDOW

• MATCH EXISTING WINDOWS

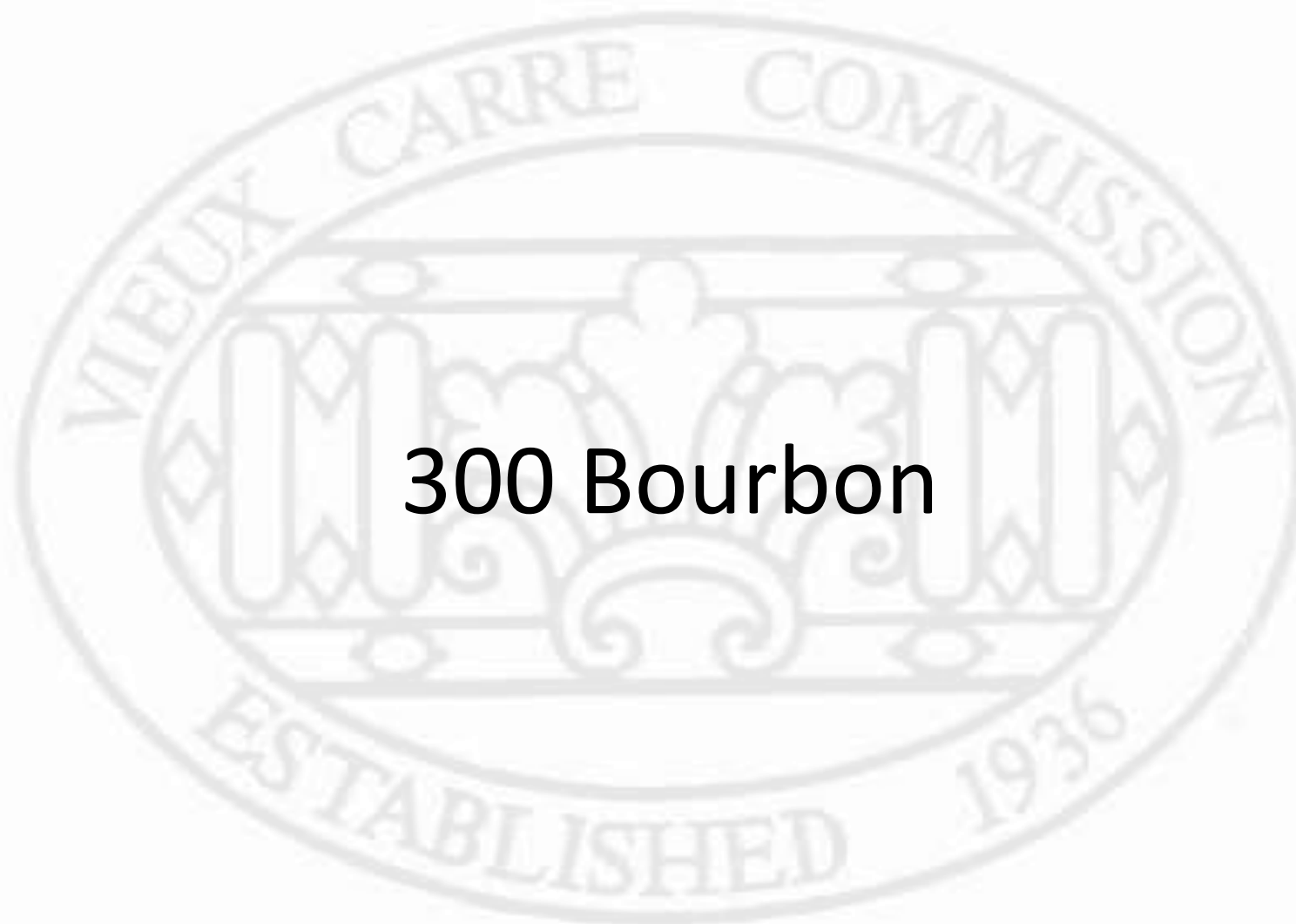
SCALE: 1/8" = 1'-0"

NEW DOOR

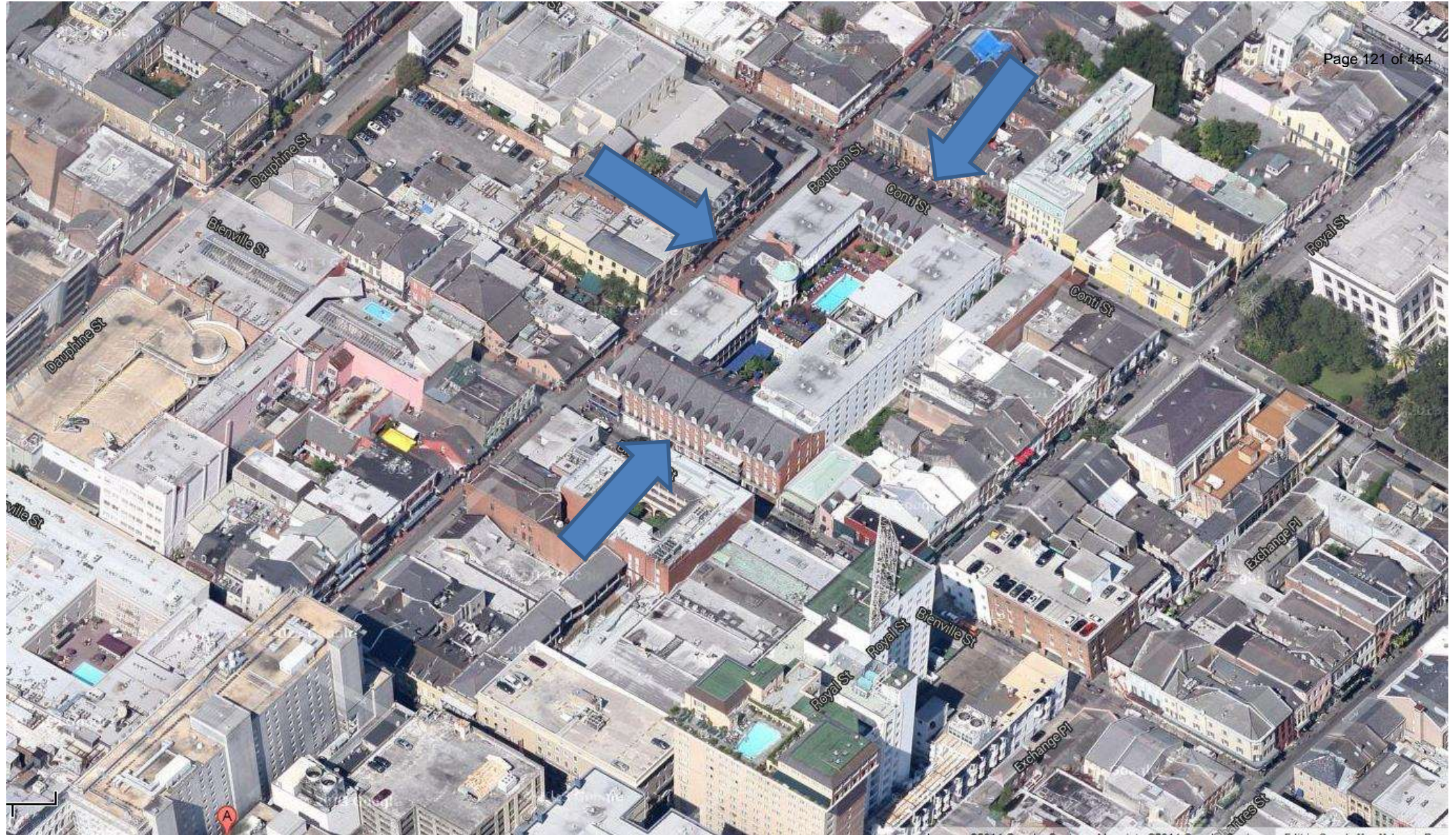
• HINGE ON RIGHT SIDE
• 1 1/2" THICK

1012-1014 ORLEANS
NEW ORLEANS, LA. 70116





300 Bourbon



300 Bourbon

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July 13, 2021





300 Bourbon

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300 Bourbon

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July 13, 2021





300 Bourbon





300 Bourbon





300 Bourbon

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July 13, 2021





300 Bourbon

VCC Architectural Committee

July 13, 2021





300 Bourbon





300 Bourbon

VCC Architectural Committee

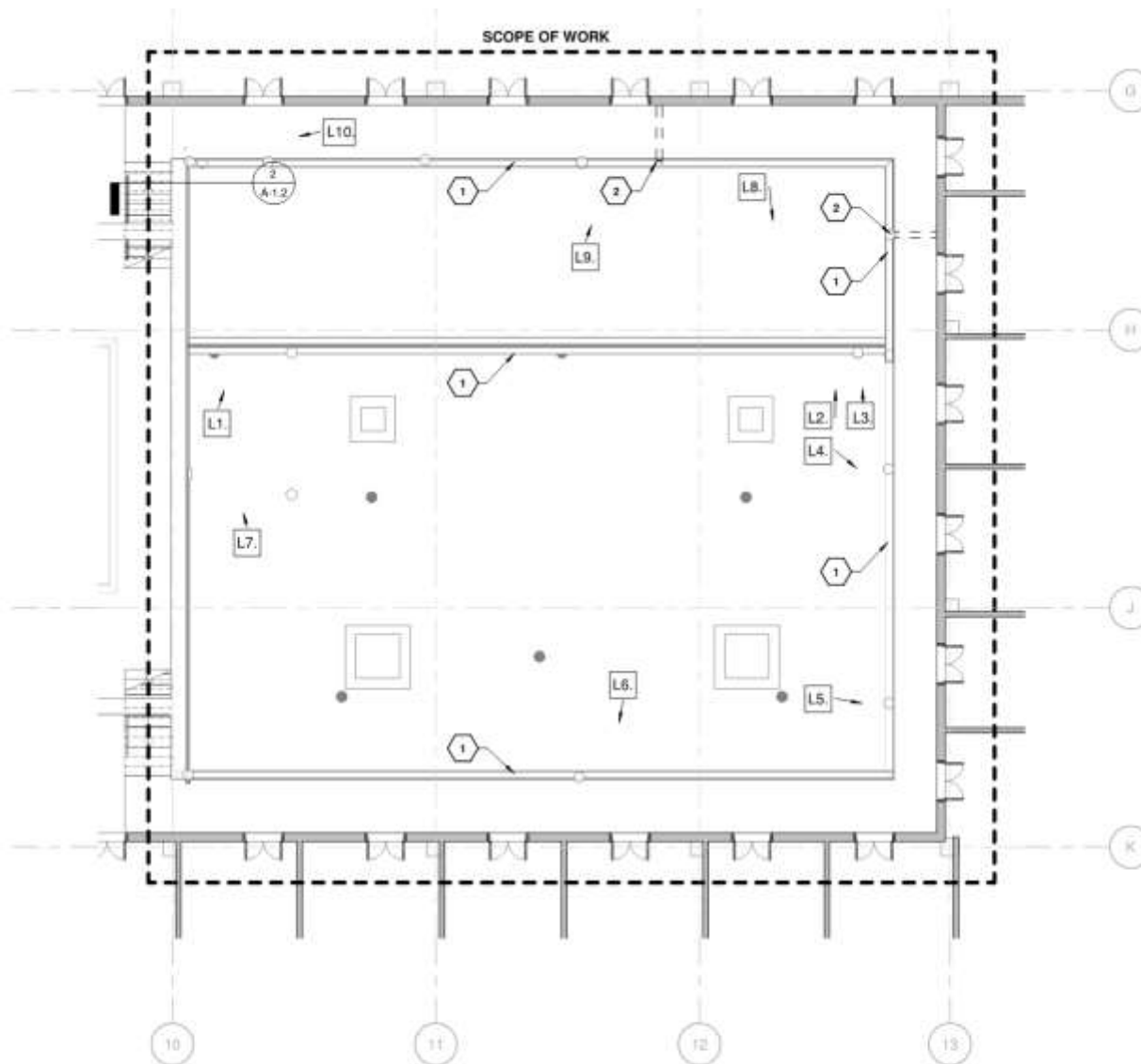
July 13, 2021





300 Bourbon



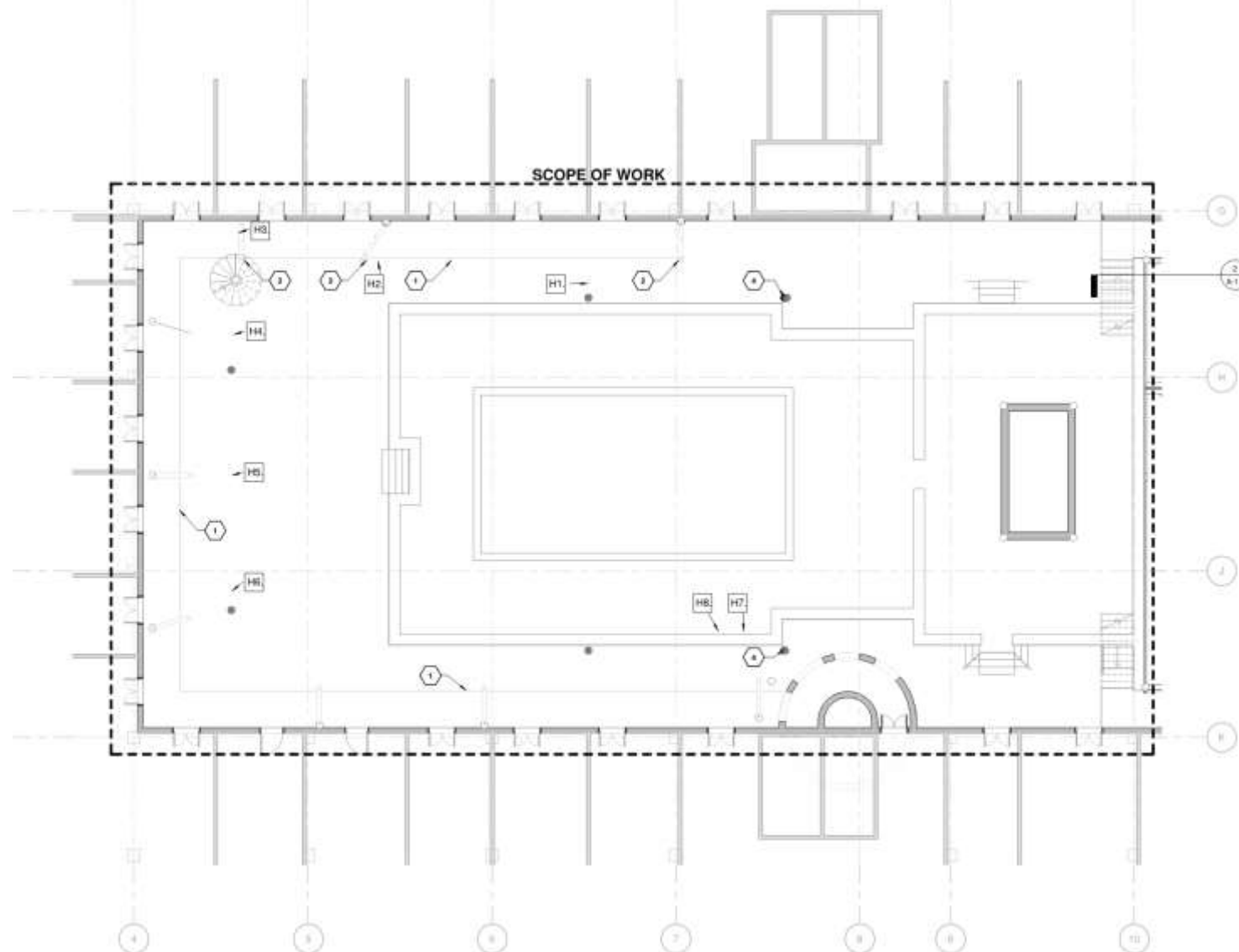


STORMWATER SYSTEM DEMO NOTES	
KEYNOTE	
1	REMOVE EXISTING GUTTER
2	REMOVE EXISTING DOWNSPOUT
3	REMOVE EXISTING RECEIVER HEAD
4	REMOVE EXISTING DRAIN

1
D-1.0
COURTYARD FLOOR PLAN
1/8" = 1'-0"

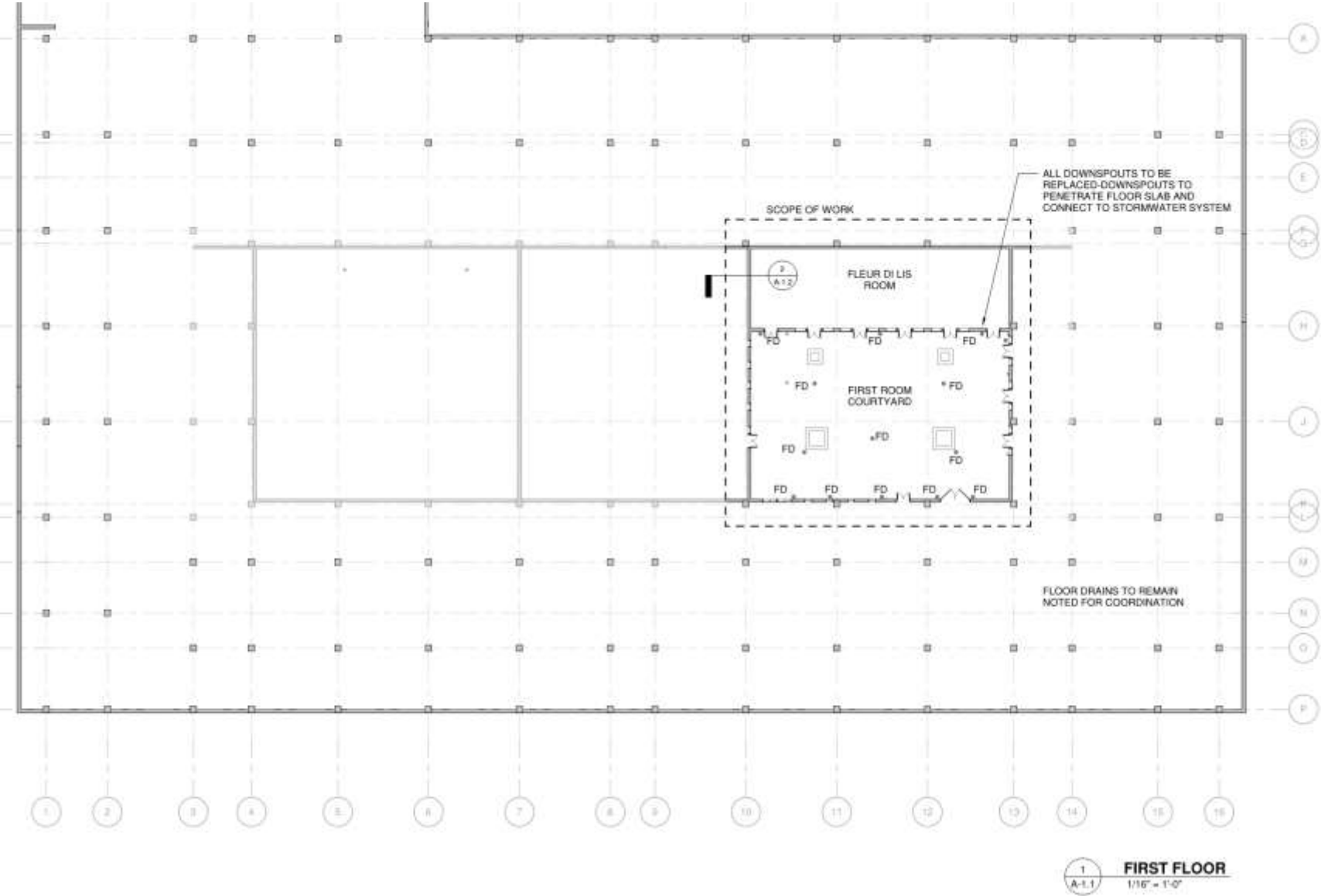


STORMWATER SYSTEM DEMO NOTES	
KEYNOTE	
1	REMOVE EXISTING GUTTER
2	REMOVE EXISTING DOWNSPOUT
3	REMOVE EXISTING RECEIVER HEAD
4	REMOVE EXISTING DRAIN

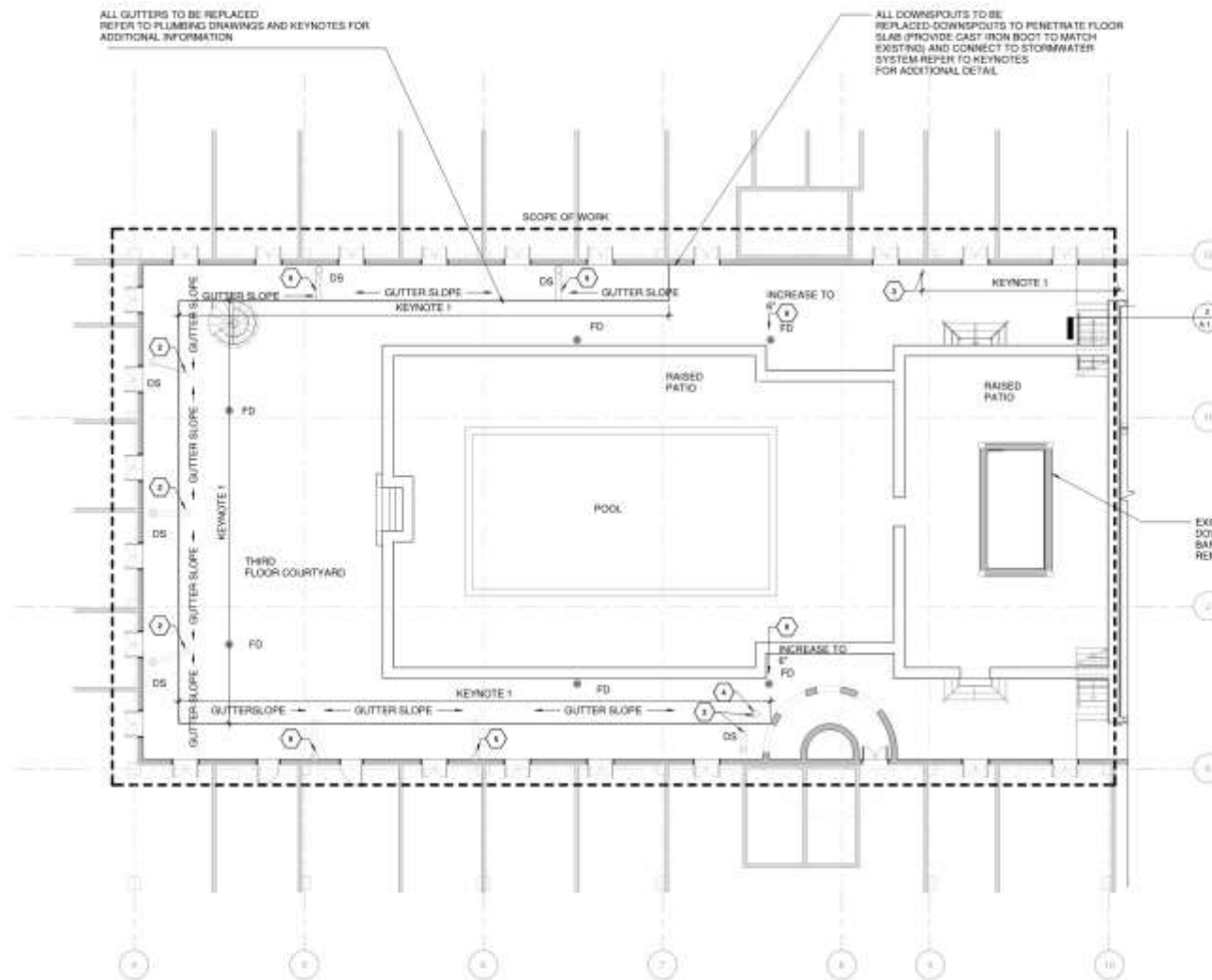


1 COURTYARD FLOOR PLAN
0-1.1
1/8" = 1'-0"





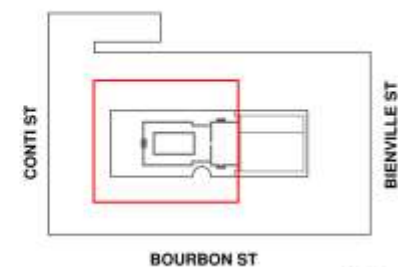
STORMWATER SYSTEM REPAIR NOTES	
KEYNOTE	DESCRIPTION
1	REPLACE EXISTING GUTTER WITH GUTTER SIZED PER STORMWATER REQUIREMENTS AT 1/16" SLOPE
2	REPLACE EXISTING DOWNSPOUT WITH DOWNSPOUT SIZED PER STORMWATER REQUIREMENTS
3	REPLACE EXISTING RECEIVER HEAD WITH HEAD SIZED PER STORMWATER REQUIREMENTS
4	PROVIDE NEW PENETRATION AND BOOT TO MATCH EXISTING AT EXISTING DECK-CONNECT TO STORMWATER SYSTEM
5	PROVIDE NEW DOWNSPOUT SIZED PER STORMWATER REQUIREMENTS
6	RELOCATE DOWNSPOUT AS SHOWN, AND PROVIDE NEW DOWNSPOUT SIZED PER STORMWATER REQUIREMENTS
7	PROVIDE NEW GUTTER, WITH SLOPE TO ACCOMMODATE ADDITIONAL DOWNSPOUTS SIZE PER STORMWATER REQUIREMENTS
8	PROVIDE NEW RAINWATER DIVERTER AS SHOWN
9	PROVIDE NEW DRAIN ATTACH TO EXISTING STORMWATER SYSTEM
10	REMOVE AND REPLACE EXISTING PLUMBING DRAIN LINE, RESEAL EXISTING PENETRATIONS IN STRUCTURAL CONCRETE SLAB

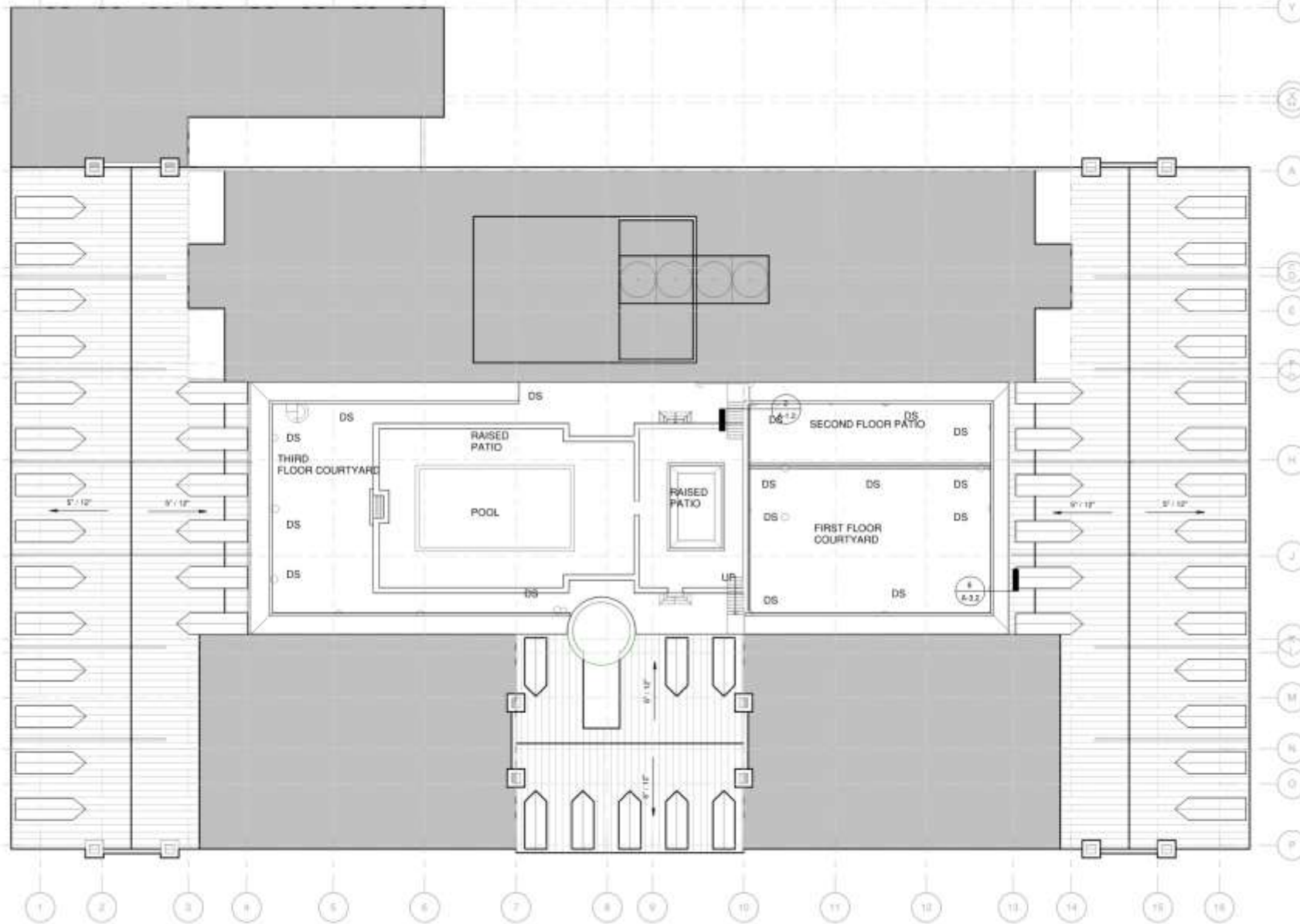


- GENERAL NOTES**
- A. ALL DIMENSIONS, QUANTITIES, AND CONDITIONS TO BE VERIFIED IN FIELD BY CONTRACTOR
 - B. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES NOTED
 - C. REFER TO DRAWING 00.01 FOR TYPICAL NOTES, ABBREVIATIONS AND SYMBOLS
 - D. PHOTOS REFERRING TO 04 LOCATED ON A-0.86. PHOTOS REFERRING TO 18 LOCATED ON A-0.91. PHOTOS REFERRING TO H8 LOCATED ON A-0.92
 - E. REFER TO P SERIES OF DRAWINGS FOR ADDITIONAL GUTTER, DOWNSPOUT, AND DRAINAGE INFORMATION
 - F. ROOF ASSEMBLIES AND FASCIA ASSEMBLIES TO BE REPAIRED WHERE STORMWATER SYSTEMS REPLACEMENT RESULTS IN DAMAGE/MODIFICATIONS TO THE ROOFING
 - G. FLOOR PENETRATIONS TO BE 2 HR RATED UL ASSEMBLY 1470 OR EQUAL

EXISTING GUTTERS AND DOWNSPOUTS BUILT INTO SILL TO REMAIN

1
A-13
COURTYARD FLOOR PLAN
1/8" = 1'-0"





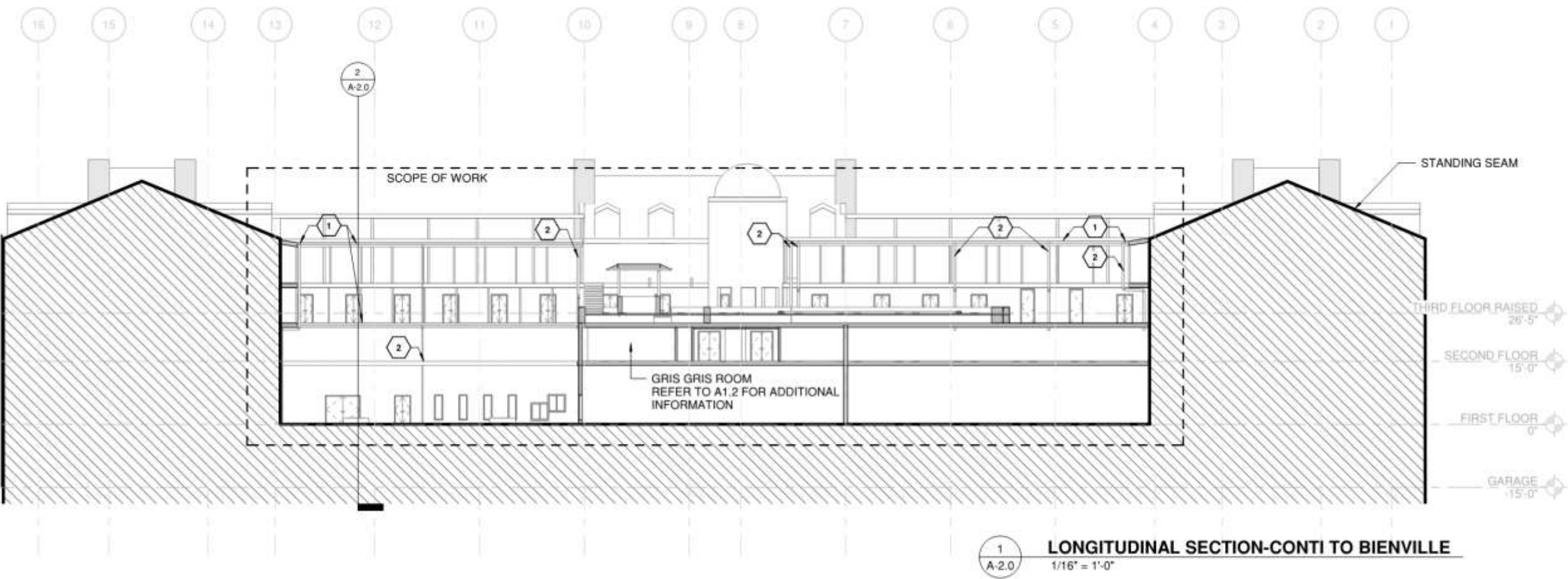
300 Bourbon

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1 ROOF PLAN
A-1.4 1/16" = 1'-0"

July 13, 2021



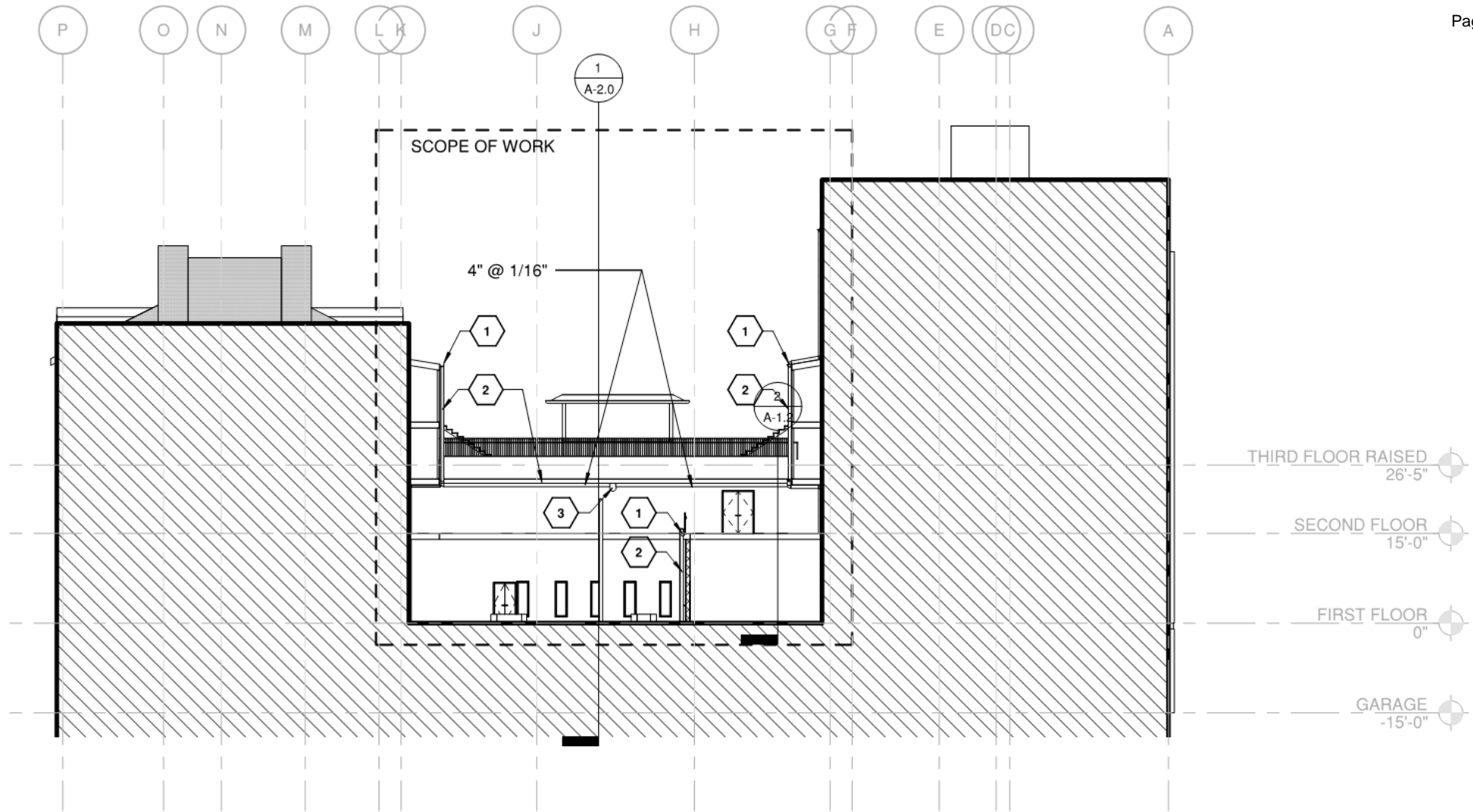


300 Bourbon

VCC Architectural Committee

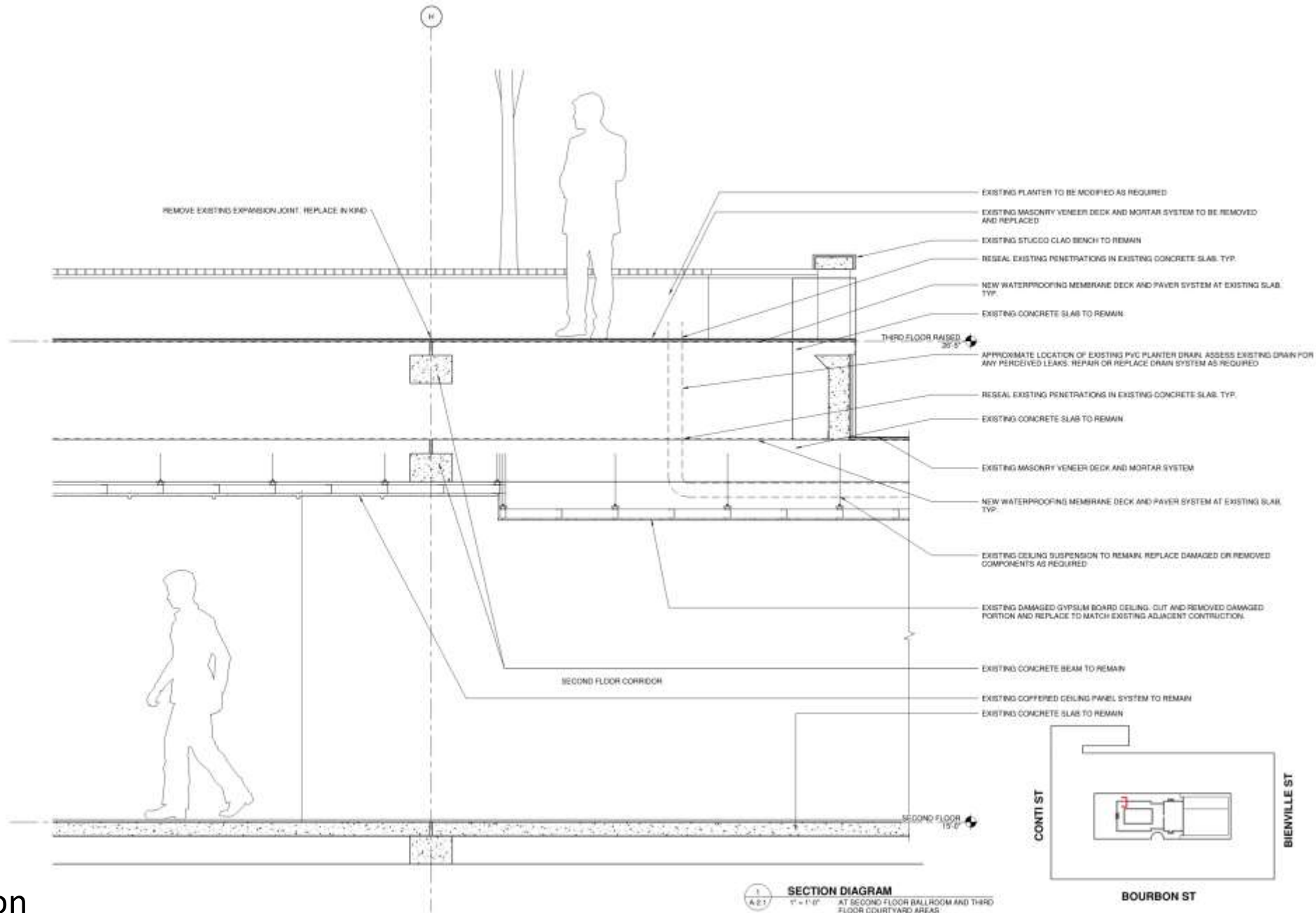
July 13, 2021





2
A-2.0 **CROSS SECTION BOURBON TO ROYAL**
1/16" = 1'-0"

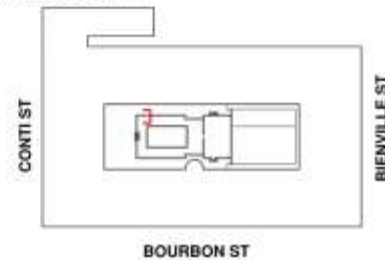




300 Bourbon

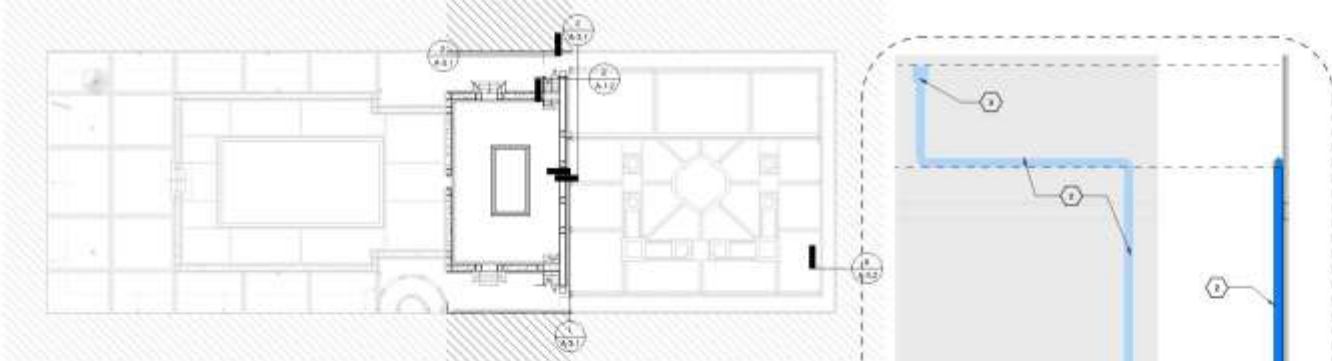
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SECTION DIAGRAM
1" = 1'-0"
AT SECOND-FLOOR BALLROOM AND THIRD-FLOOR COURTYARD AREAS



July 13, 2021





STORMWATER SYSTEM REPAIR NOTES	
KEYNOTE	DESCRIPTION
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3	REPLACE EXISTING RECEIVER HEAD WITH HEAD SIZED PER STORMWATER REQUIREMENTS
4	PROVIDE NEW PENETRATION AND BOOT TO MATCH EXISTING AT EXISTING DECK, CONNECT TO STORMWATER SYSTEM
5	PROVIDE NEW DOWNSPOUT SIZED PER STORMWATER REQUIREMENTS
6	RELOCATE DOWNSPOUT AS SHOWN, AND PROVIDE NEW DOWNSPOUT SIZED PER STORMWATER REQUIREMENTS
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10	REMOVE AND REPLACE EXISTING PLUMBING DRAIN LINE, RESEAL EXISTING PENETRATIONS IN STRUCTURAL CONCRETE SLAB



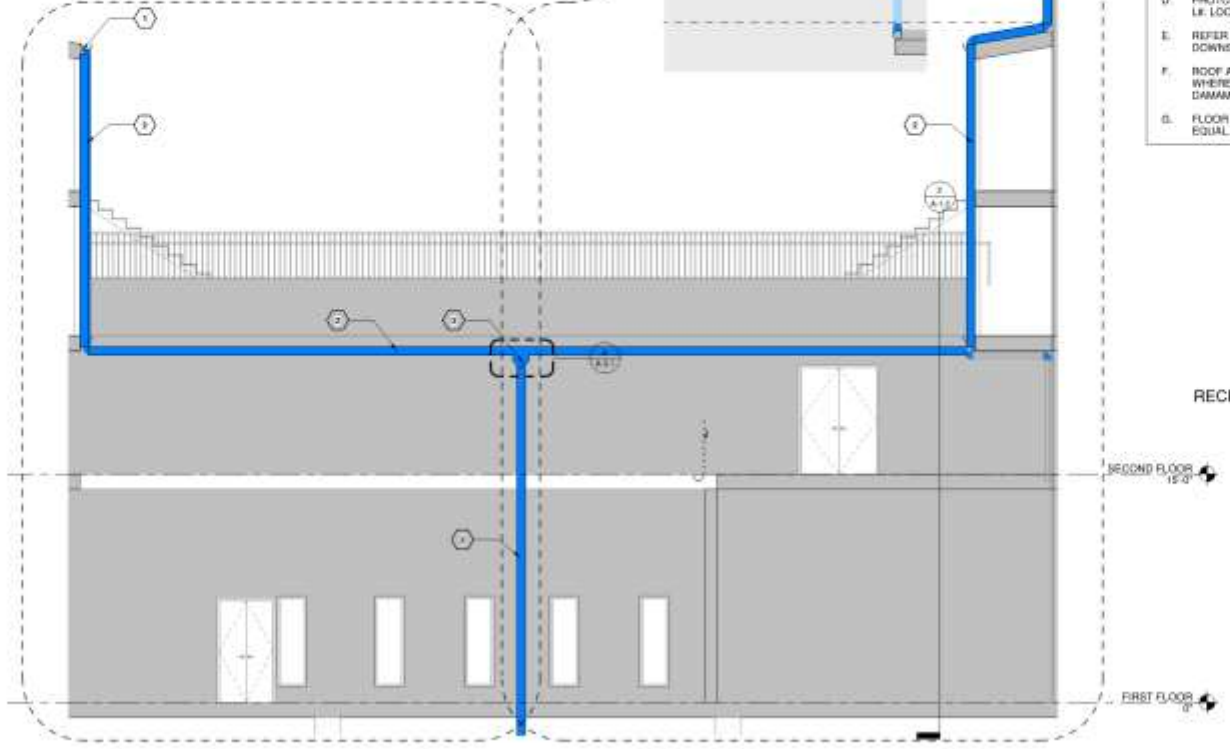
LOWER COURTYARD LOOKING AT POOL DECK



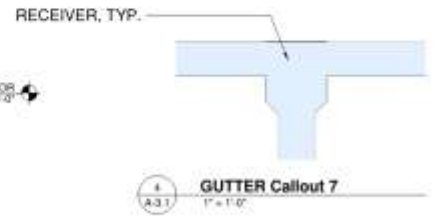
3 STORY WALL AT POOL DECK



STAIR AT BALCONY ADJOINING POOL DECK



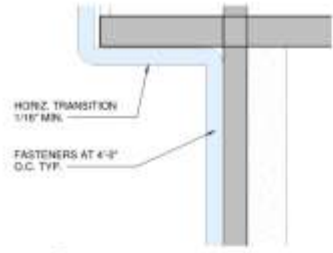
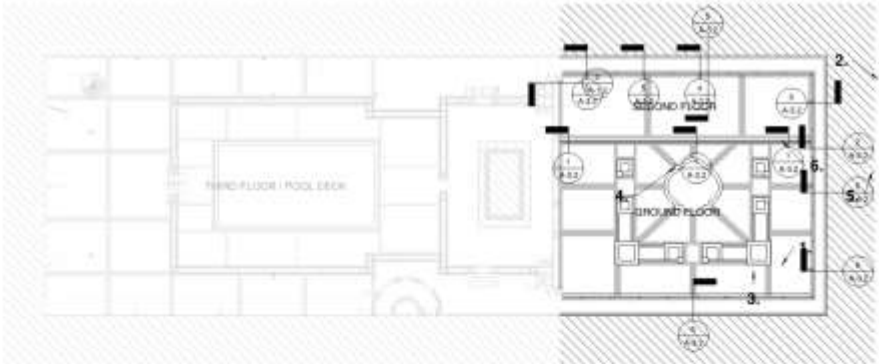
- GENERAL NOTES**
- A. ALL DIMENSIONS, QUANTITIES, AND CONDITIONS TO BE VERIFIED IN FIELD BY CONTRACTOR
 - B. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES NOTED
 - C. REFER TO DRAWING 06.01 FOR TYPICAL NOTES, ABBREVIATIONS AND SYMBOLS
 - D. PHOTOS REFERRING TO 04, LOCATED ON A-6-R; PHOTOS REFERRING TO 1E, LOCATED ON A-6-S; PHOTOS REFERRING TO 1H, LOCATED ON A-6-S
 - E. REFER TO P SERIES OF DRAWINGS FOR ADDITIONAL GUTTER, DOWNSPOUT, AND DRAINAGE INFORMATION
 - F. ROOF ASSEMBLIES AND FASCIA ASSEMBLIES TO BE REPAIRED WHERE STORMWATER SYSTEMS REPLACEMENT RESULTS IN DAMAGE/MODIFICATIONS TO THE ROOFING
 - G. FLOOR PENETRATIONS TO BE 2 HR RATED, UL ASSEMBLY 1473 OR EQUAL



1 GUTTER TYPE D
14" x 11" 4TH TO 2ND SCUPPER

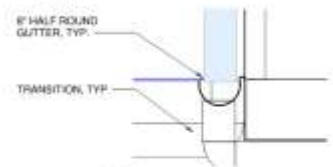
2 GUTTER TYPE E
14" x 11" UPPER FL SCUPPER TO 2ND SCUPPER



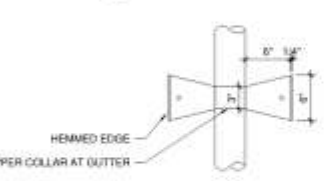


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GUTTER BALCONY SECTION
1/2" = 1'-0" 4TH THRU 1ST

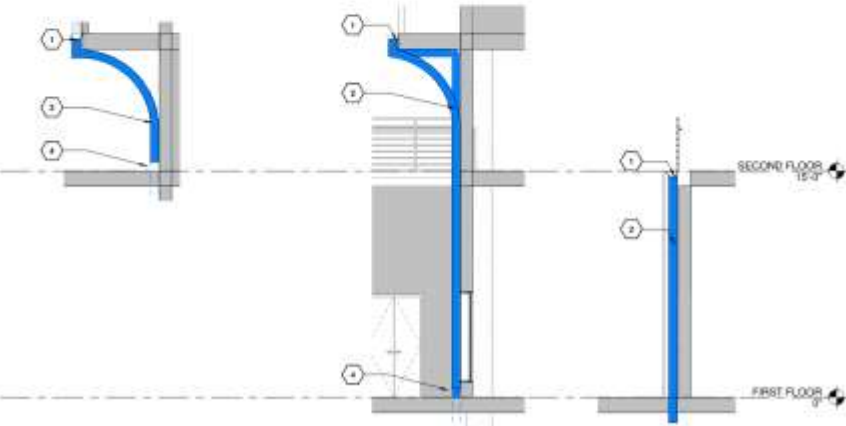
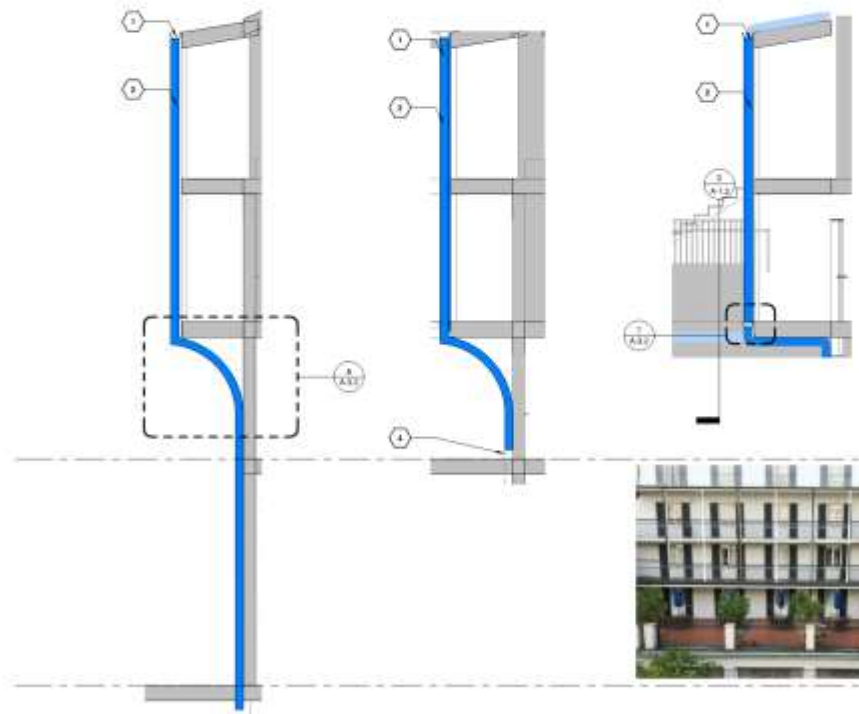


GUTTER ENLARGED
1" = 1'-0" 4TH TO 2ND GUTTER



GUTTER BRACKET DETAIL
1/2" = 1'-0"

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 - D. PHOTOS REFERRING TO G4, LOCATED ON A-0.90. PHOTOS REFERRING TO L4, LOCATED ON A-0.91. PHOTOS REFERRING TO H4, LOCATED ON A-0.88.
 - E. REFER TO P-SERIES OF DRAWINGS FOR ADDITIONAL GUTTER, DOWNSPOUT, AND DRAINAGE INFORMATION
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GUTTER TYPE K
1/2" = 1'-0" 4TH THRU 1ST

GUTTER TYPE H
1/4" = 1'-0" 4TH TO 2ND

GUTTER TYPE J
1/4" = 1'-0" 4TH TO 2ND GUTTER

GUTTER TYPE I
1/4" = 1'-0" 3RD TO 2ND

GUTTER TYPE G
1/4" = 1'-0" THIRD TO 1ST

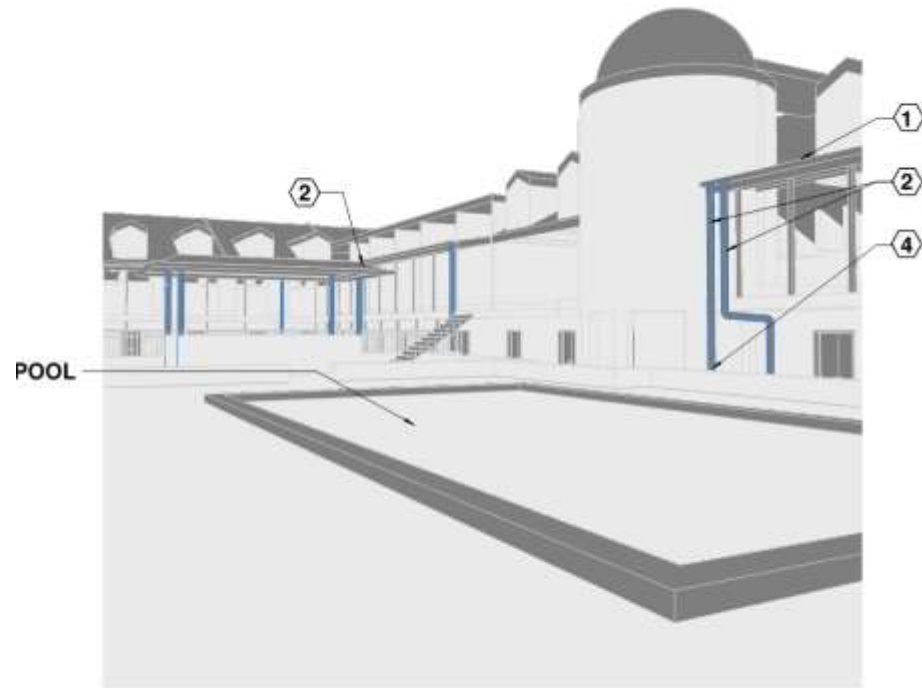
GUTTER TYPE F
1/4" = 1'-0" 2ND TO 1ST



STORMWATER SYSTEM REPAIR NOTES

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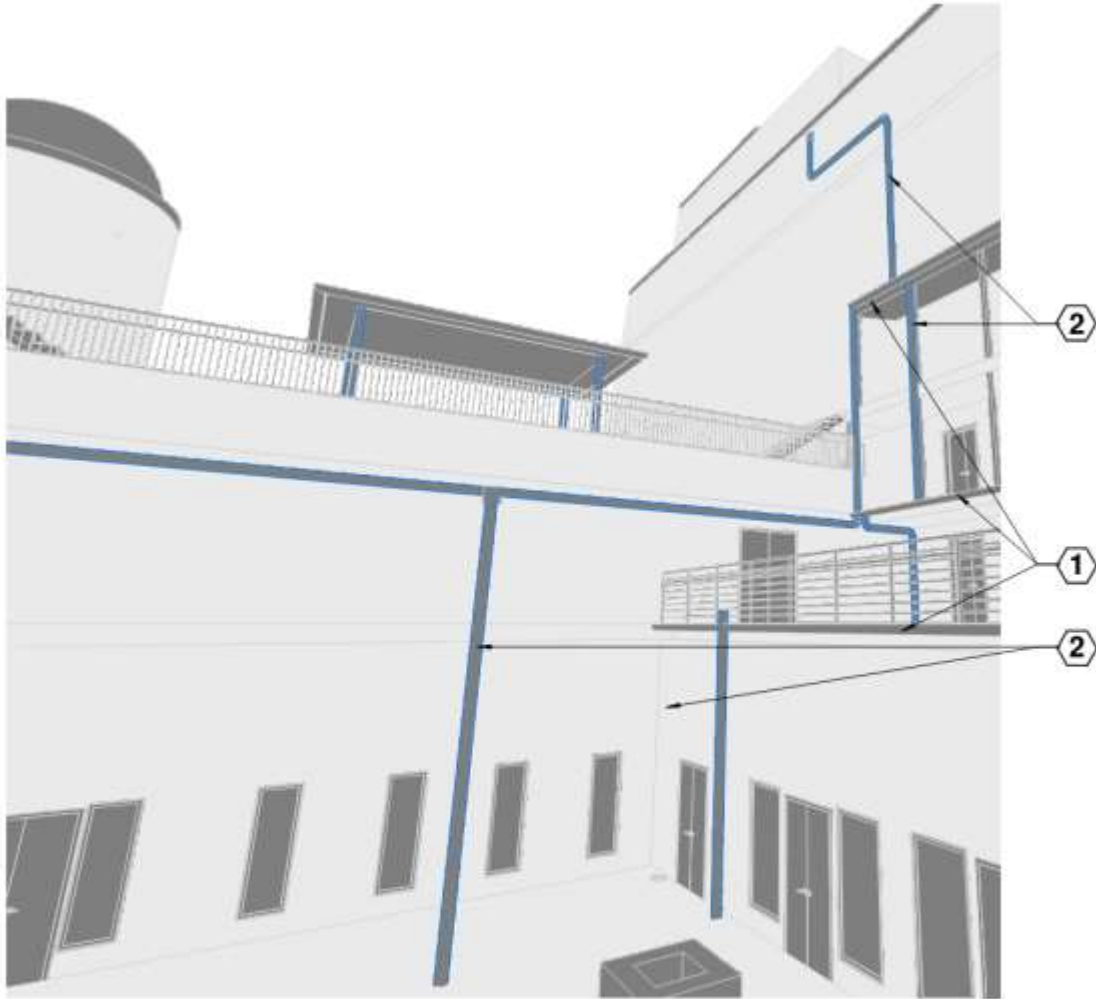
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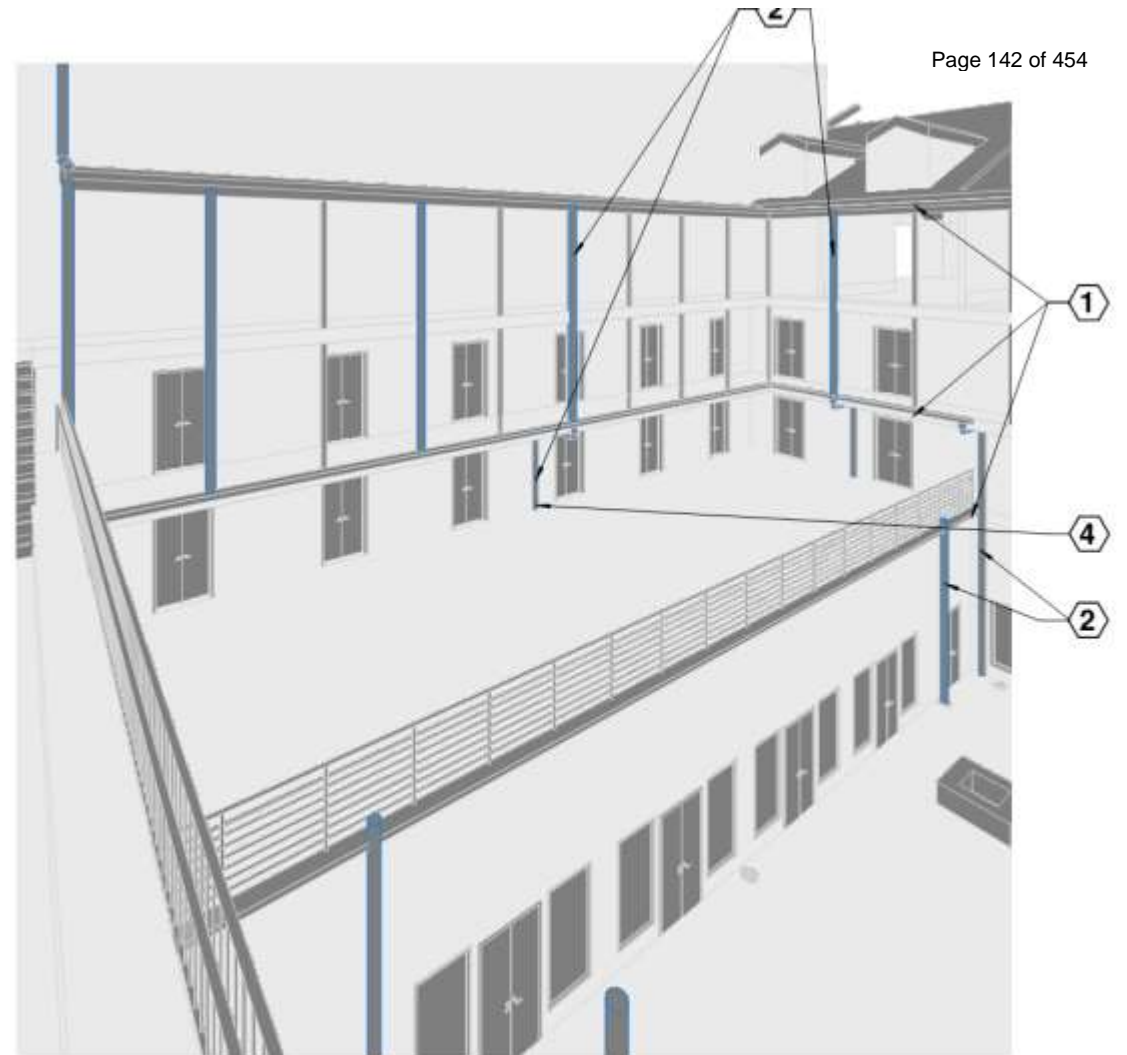
UPPER COURTYARD LOOKING WEST



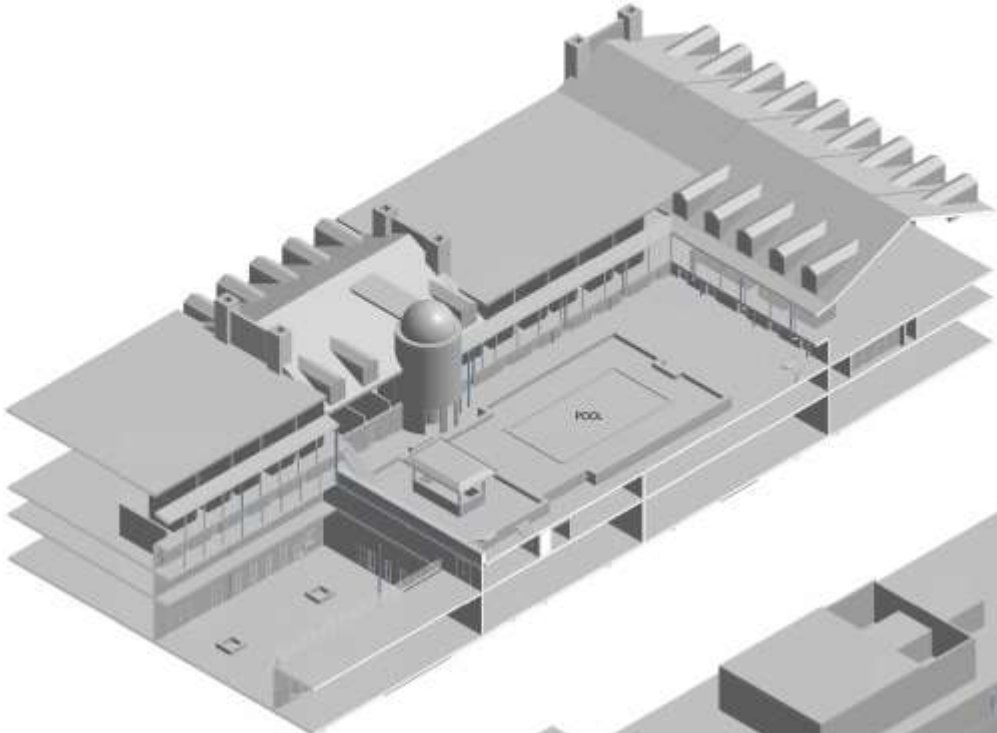
UPPER COURTYARD LOOKING NORTHEAST



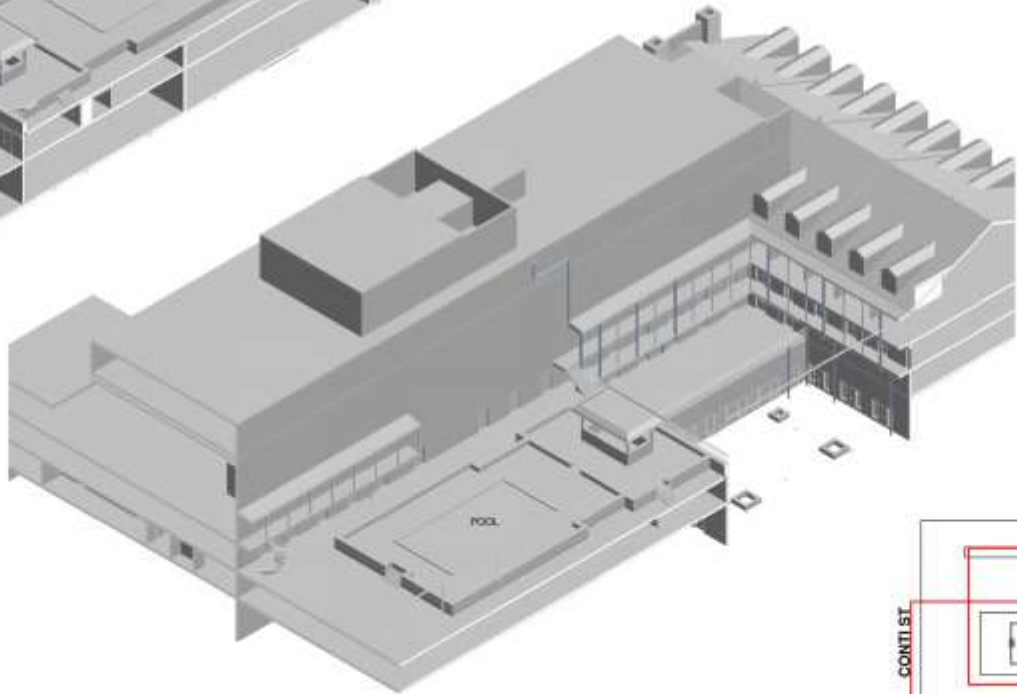
3 LOWER COURTYARD LOOKING EAST
A-4.0



4 LOWER COURTYARD LOOKING SOUTH
A-4.0

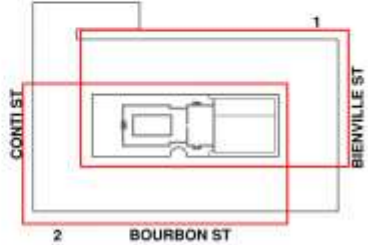


1
A-1
AXON VIEW LOOKING NORTH



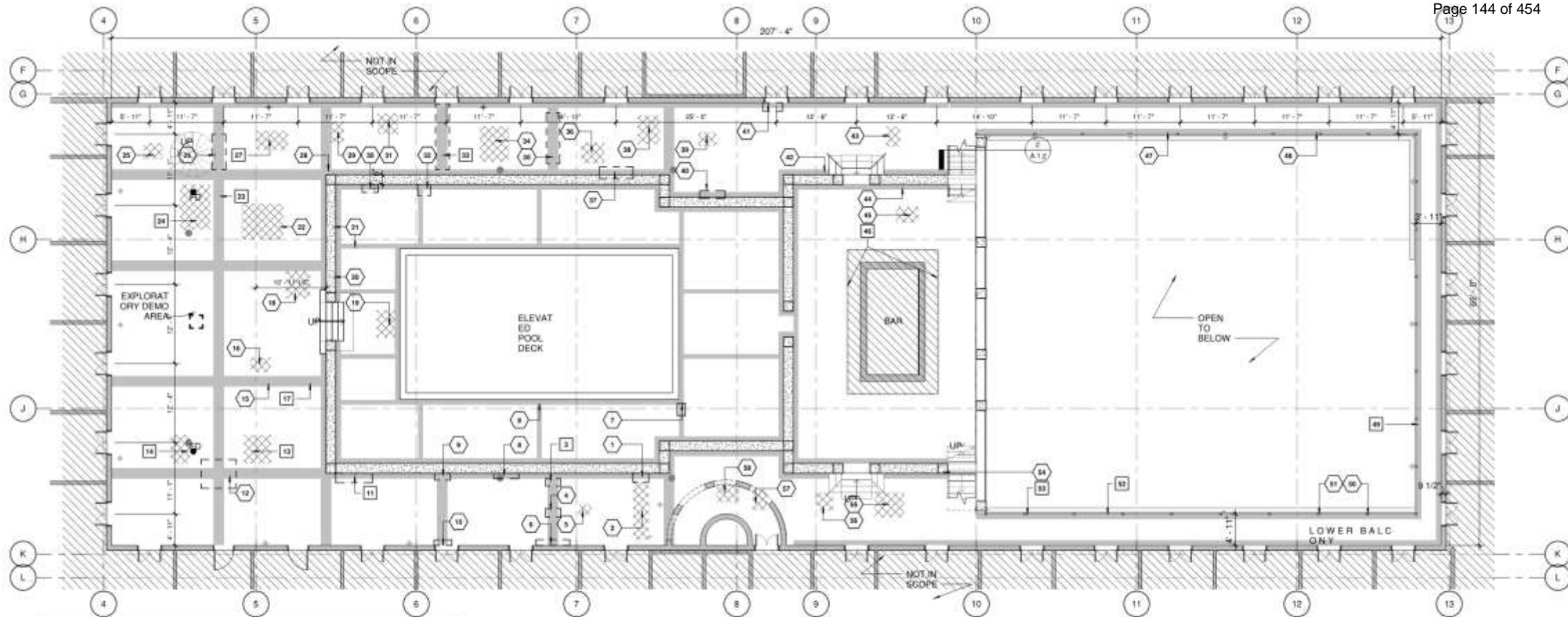
2
A-1
AXON VIEW LOOKING SOUTH

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 - D. PHOTOS REFERRING TO DA, LOCATED ON A-0.90. PHOTOS REFERRING TO LA, LOCATED ON A-0.91. PHOTOS REFERRING TO HA, LOCATED ON A-0.92.
 - E. REFER TO P-SERIES OF DRAWINGS FOR ADDITIONAL GUTTER, DOWNSPOUT, AND DRAINAGE INFORMATION.
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GRAPHIC LEGEND	
	INDICATES AREA NOT IN SPECIFIC PHASE'S SCOPE OF WORK
	EXISTING PERIMETER WALLS TO REMAIN
	EXISTING CONCRETE PERIMETER FENCING TO REMAIN
	EXISTING BRICK PAVERS, TO BE REPAIRED AS REQUIRED
	EXISTING SLATE TILE, TO BE REPAIRED AS REQUIRED

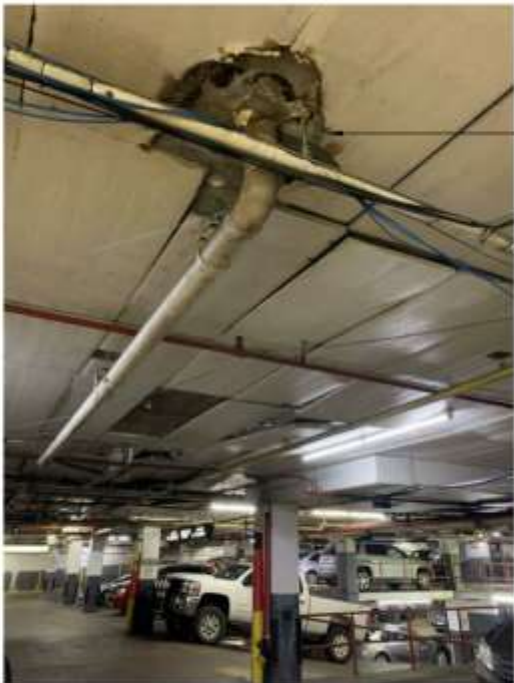
INVENTORY KEY LEGEND	
	INDICATES CORRESPONDING NOTE ON DAMAGE INVENTORY KEY
	INDICATES CORRESPONDING NOTE AND PHOTOGRAPH ON DAMAGE INVENTORY KEY

1 UPPER COURTYARD DAMAGED PAVER INVENTORY
A-5.0 N.T.S.





G1.



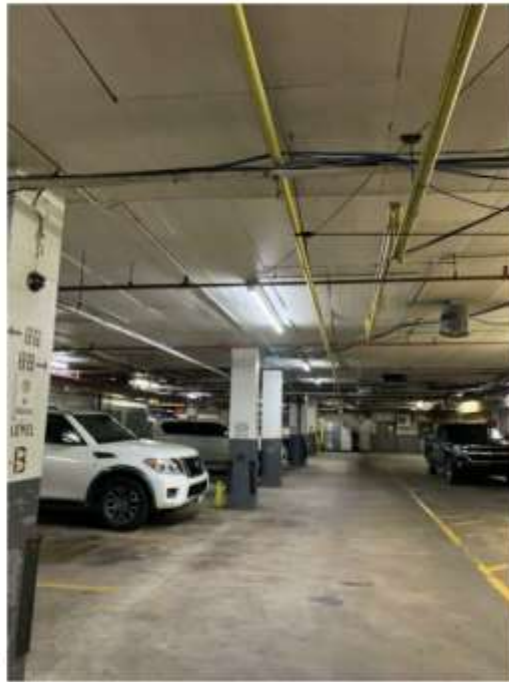
G2.



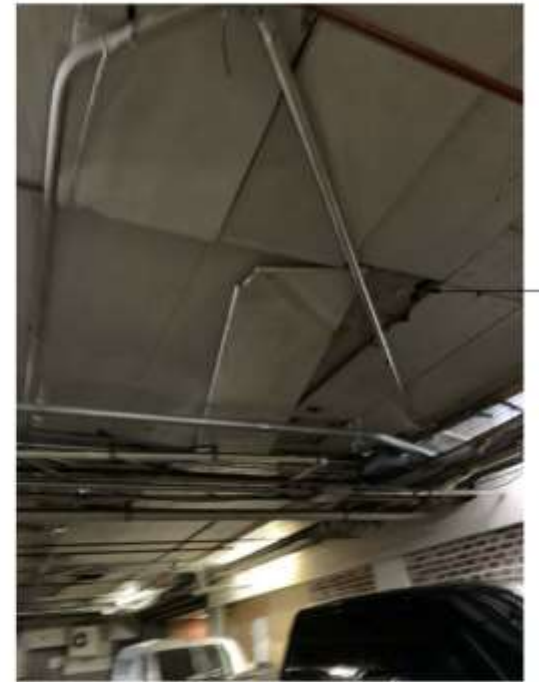
G3.



G4.



G5.



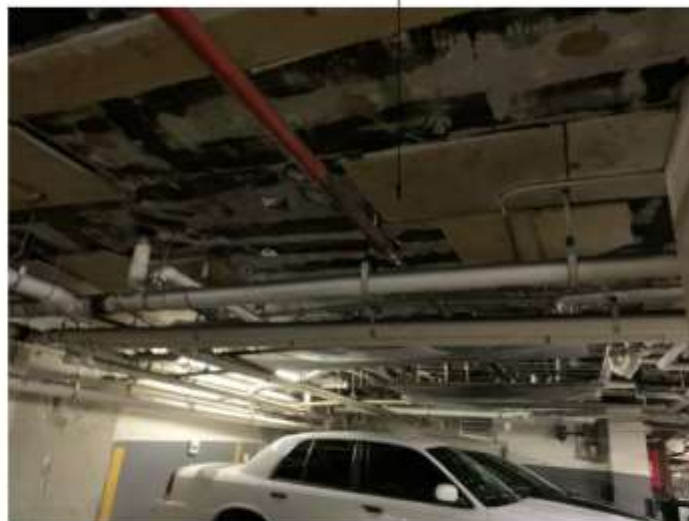
G6.

5
?



G7.

3



G8.

2



G9.



L1.



L2.



L3.





L7.



L8.



2

4

L9.



2

4

L10.

300 Bourbon

VCC Architectural Committee

July 13, 2021







H4.



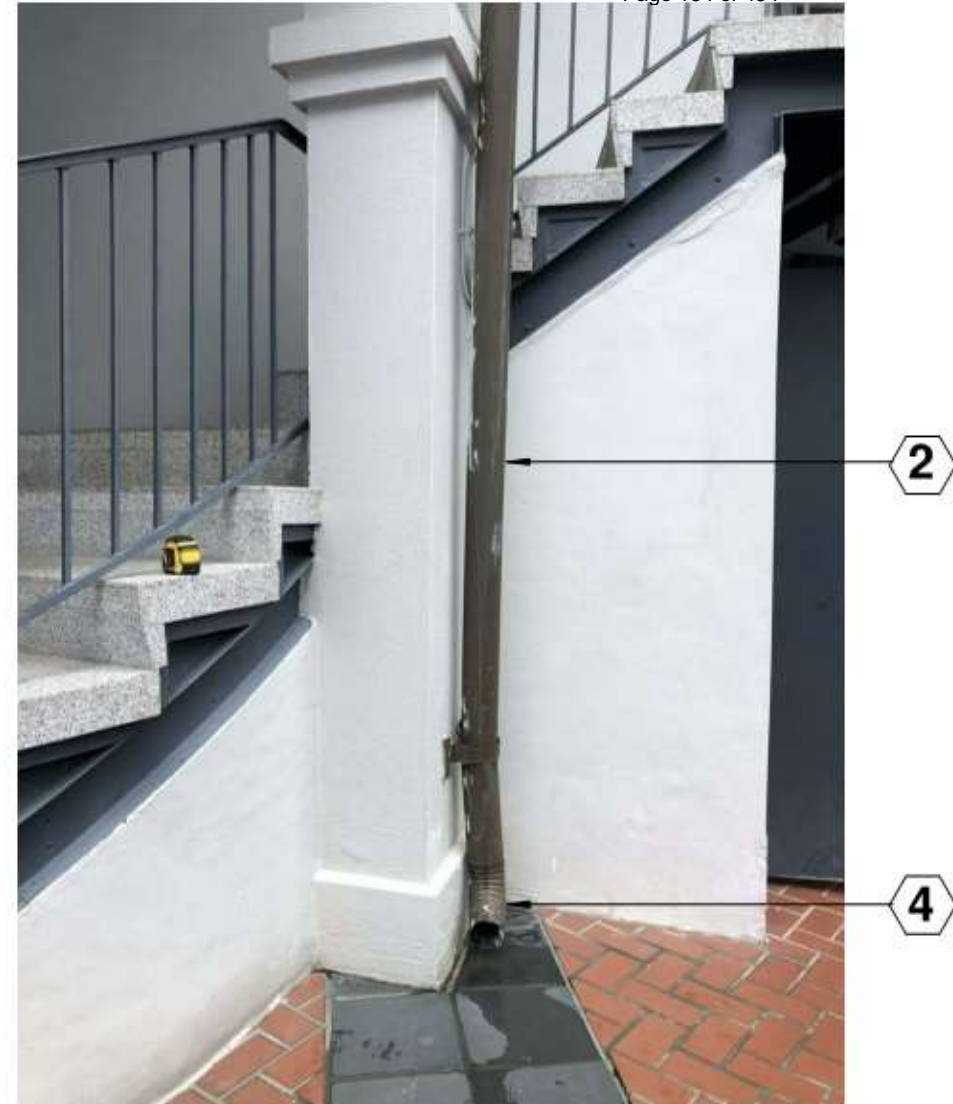
H5.



H6.



H7.



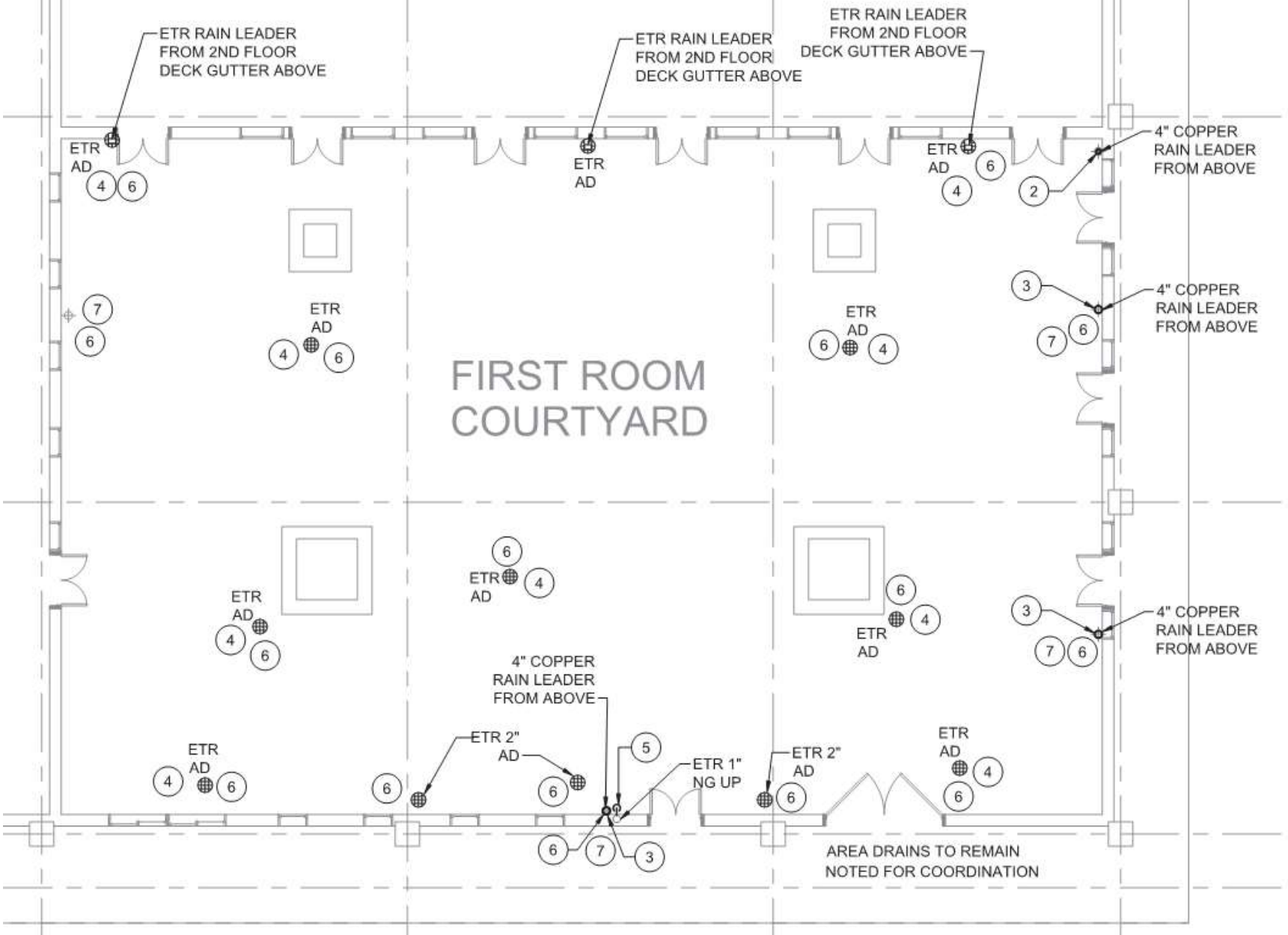
H8.

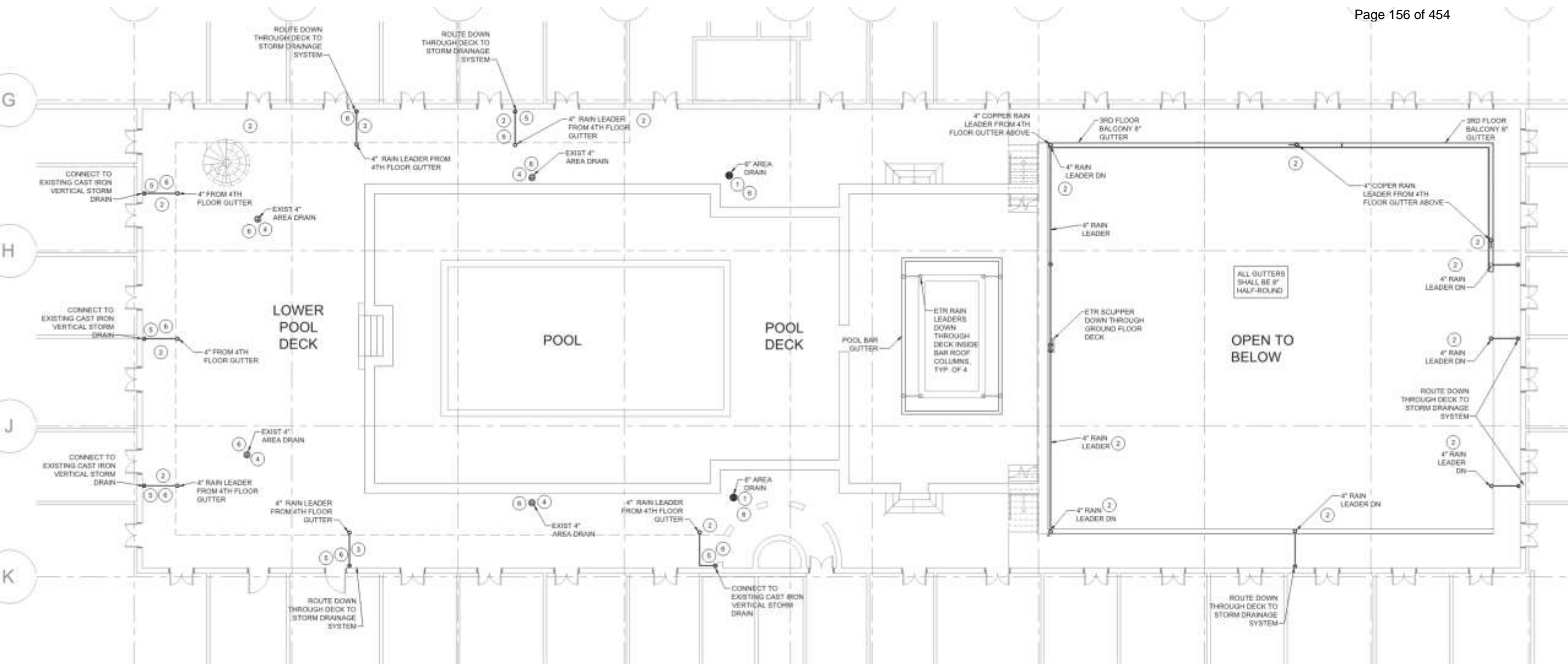
300 Bourbon

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1 THIRD FLOOR POOL DECK STORM WATER PLAN
P-1.03 1/8" = 1'-0"



Picture 1915 - Lime run (Carbonate Staining). Heavy accumulation around drain hub impeding the flow of water through the drain line.



Picture 1916 - Lime salts are present on the surface. Heavy calcium carbonate staining. Pattern of stain shows a poor drainage condition and an area of ponding water.



3-1



3-2



3-3



3-4

Picture 1942 - The rectangle and three arrows show areas where the gutter is spilling over water out of the gutter can. This is because the gutter can is deformed. Lower arrow shows dampness and mildew.



3-5



3-6



3-7



3-8

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2-2



2-3



2-6



2-7



2-4



2-5



2-8



2-9

SITE OBSERVATION

The balconies are supported by a series of steel framing with a ~1.5" reinforced concrete walking surface that is topped with tile. Most of the accessible concrete that was inspected showed no signs of deterioration largely due to the tile on top or paint on the bottom that have been acting as primary barriers which block moisture, chemicals, and other contaminants from entering the concrete and attacking the embedded reinforcing steel.



Notice all elements underneath the balcony are sufficiently painted which "seals" the concrete



The edges of the balconies, however, do not have a barrier and over time moisture (rain) and other contaminants have entered the pores of the concrete and started to corrode the embedded reinforcing steel. This is an extremely common occurrence in reinforced concrete structures exacerbated by the fact that the concrete cover over the reinforcing steel was so minimal.

Once the reinforcing steel starts to corrode, it expands up to 10 times its original thickness which causes tremendous internal tension stress within the concrete. The concrete cracks under this internal pressure (see below picture). If left unaddressed, the corrosion of the reinforcing steel will continue to propagate and cause more cracking and spalling.

This is also a safety concern as some areas of concrete spalling was also causing the wooden façade to become detached. This could be a potential falling hazard and needs to be mitigated before affecting Hotel Patrons.



Embedded metal induced cracking.





300 Bourbon

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300 Bourbon

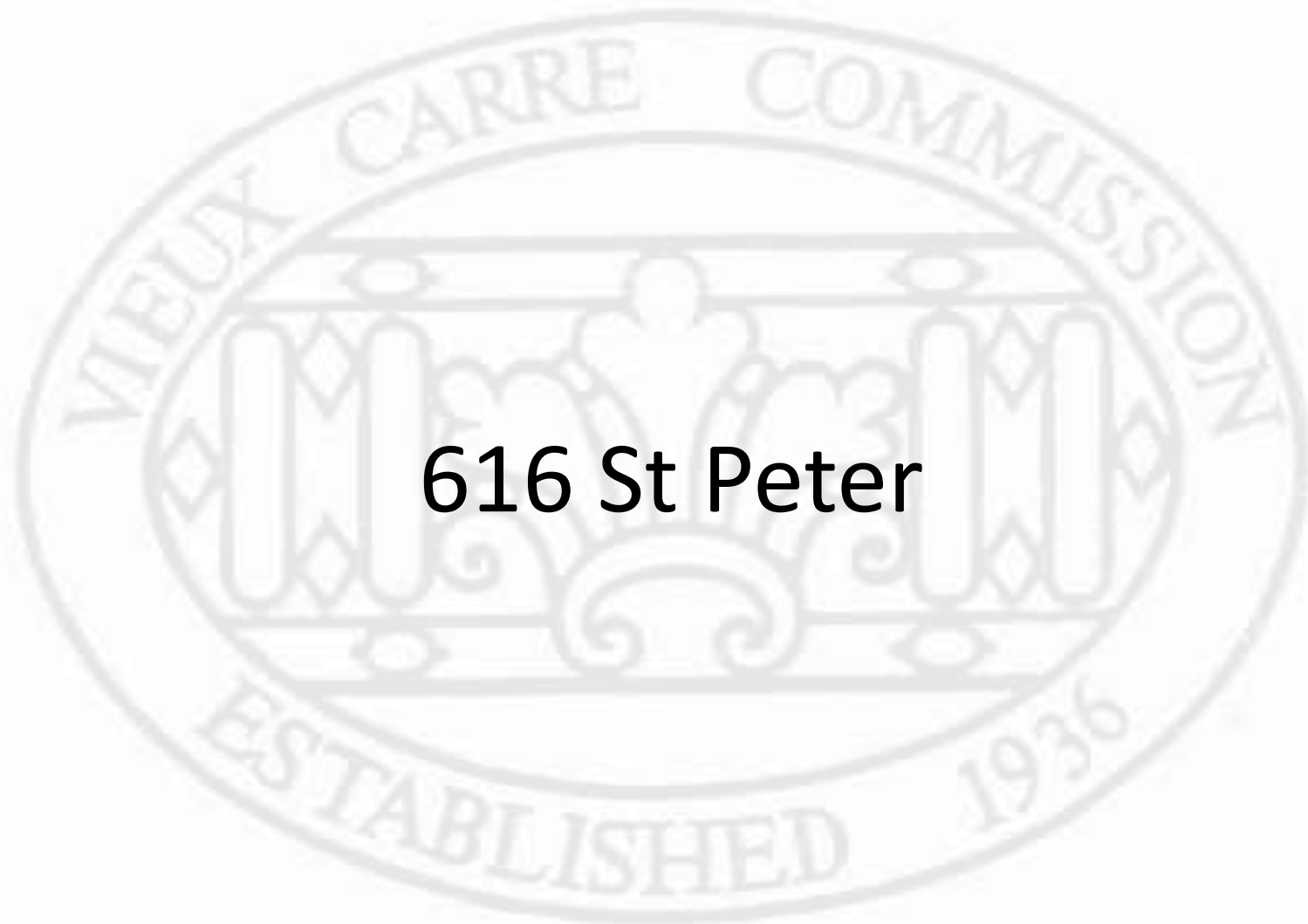
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July 13, 2021



Picture 1928 – An example of a typical courtyard door. The door needs a rain shed at the base of the door with an integrated door sweep. The joint at the wall needs to be sealed to the masonry sill. Cracks in the door sill allow pooling of water to migrate underneath the masonry sill and enter the hotel rooms.



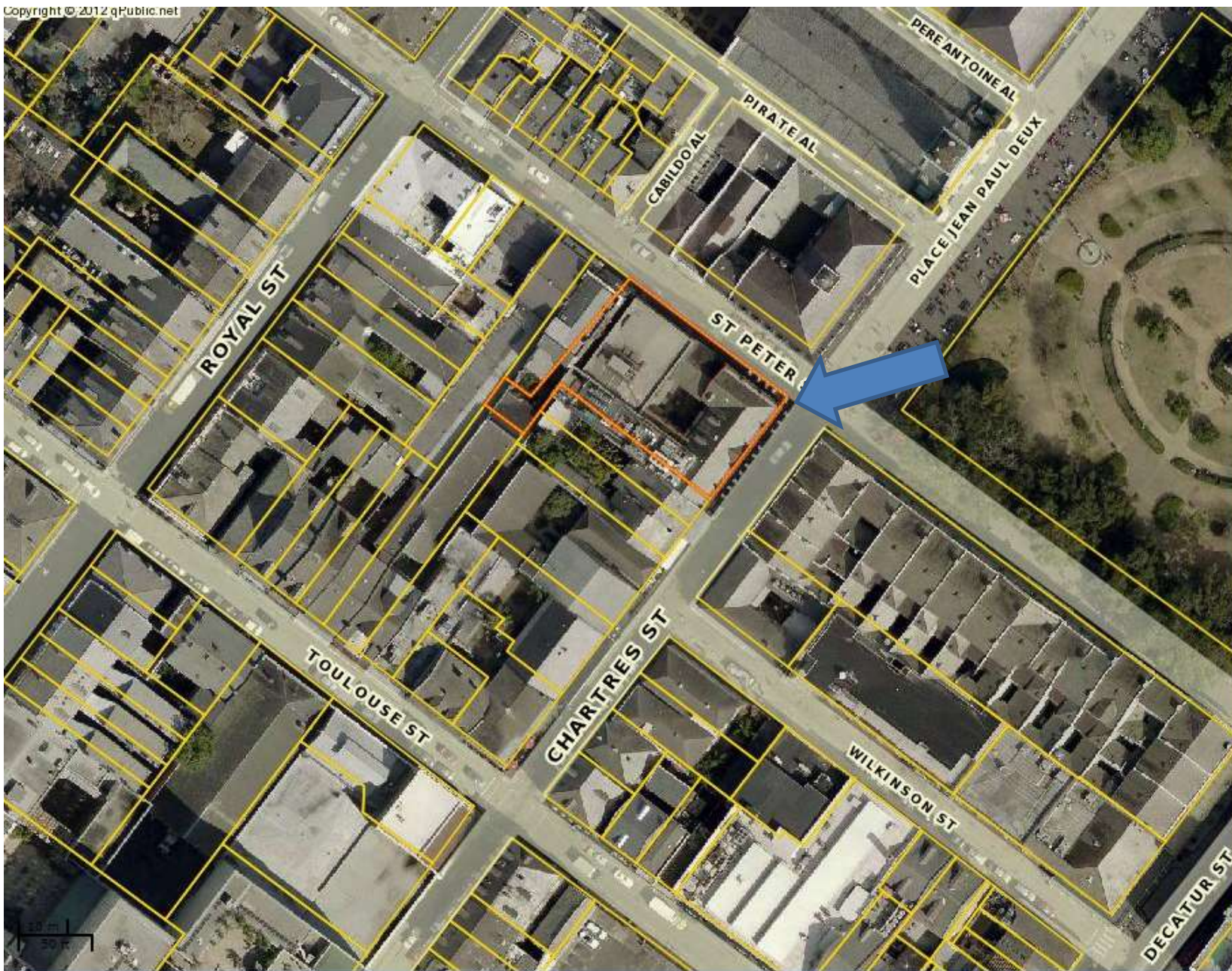


616 St Peter



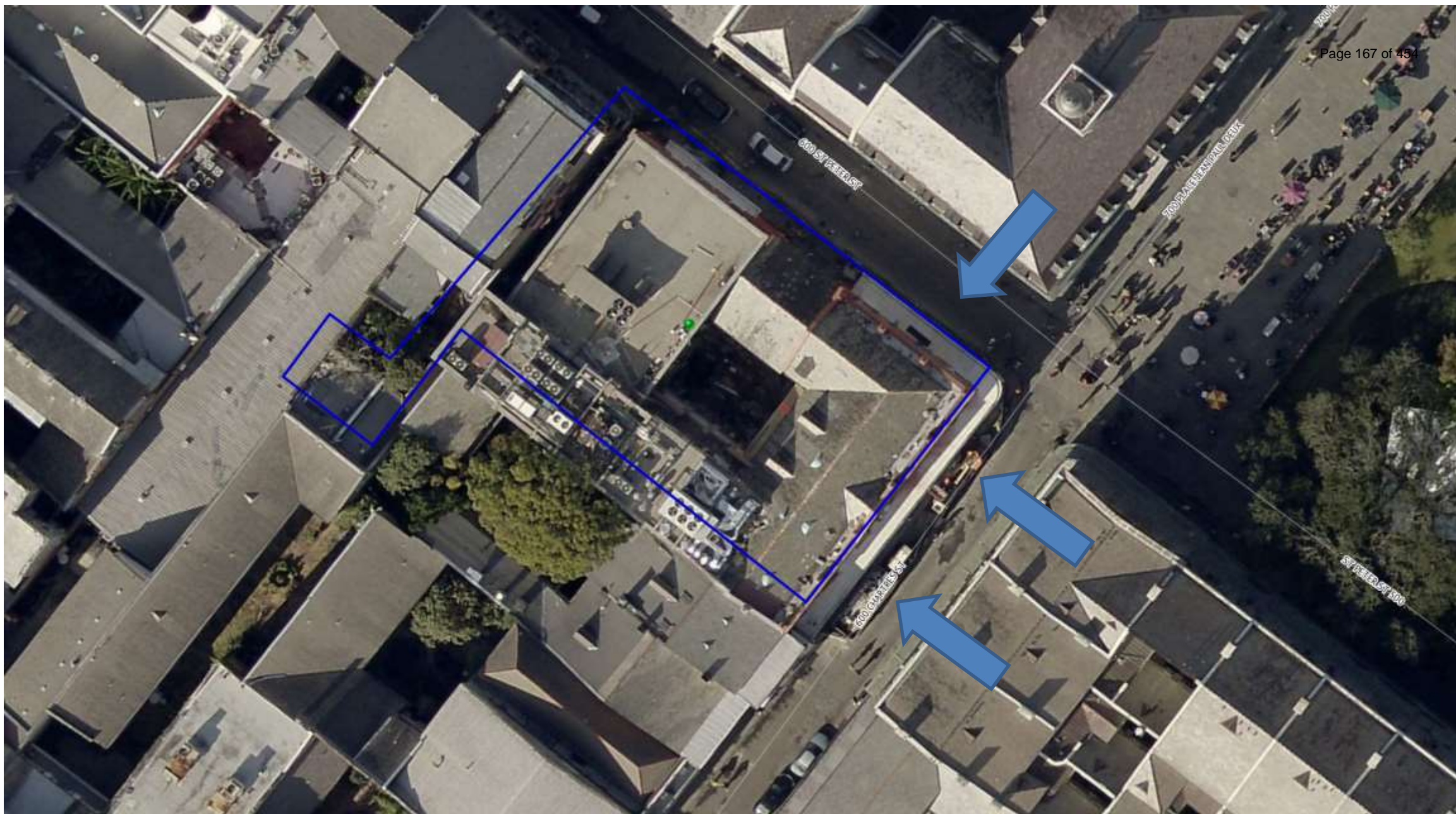
616 St. Peter





616 St. Peter



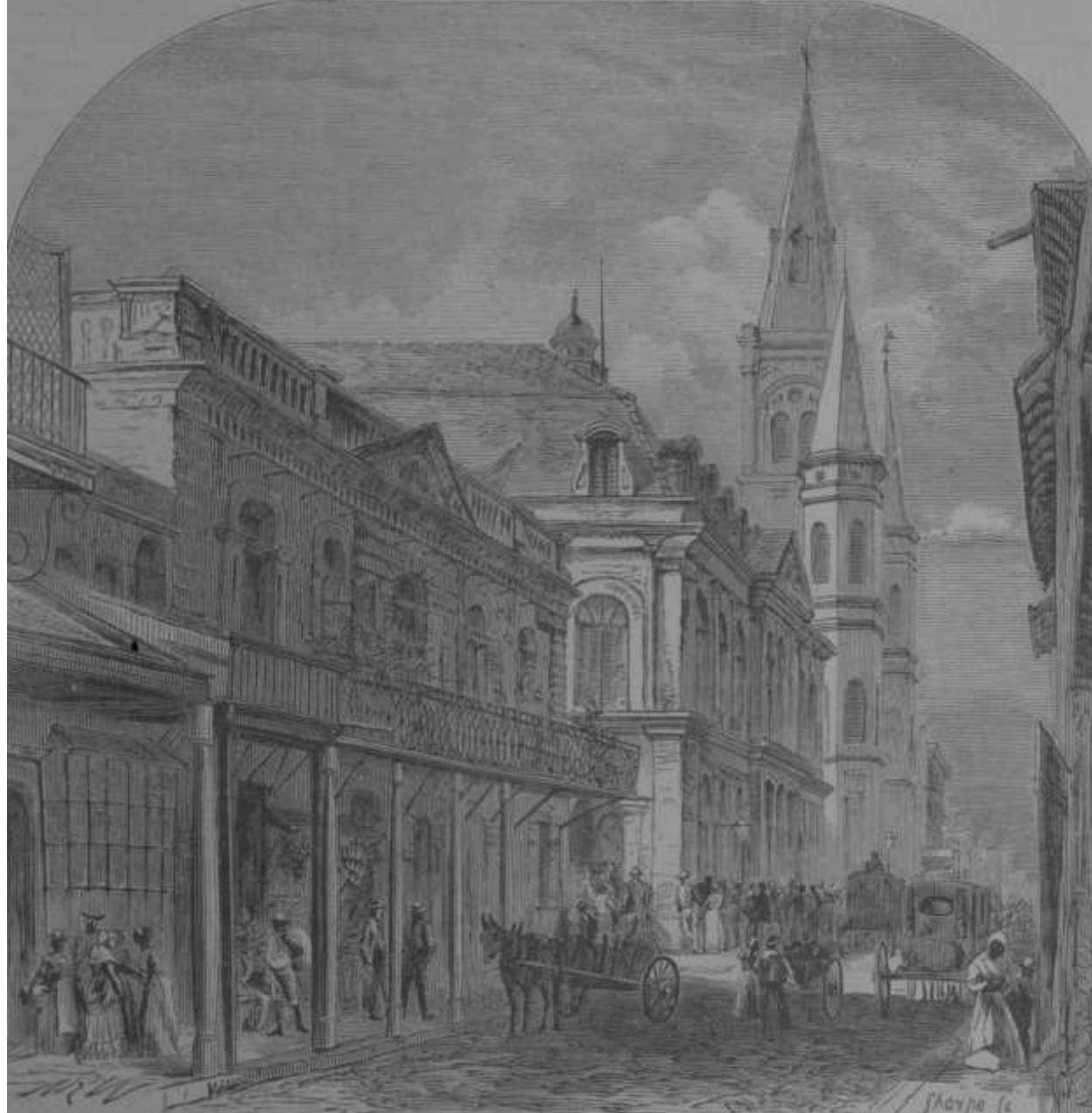


616 St. Peter

VCC Architectural Committee

May 28, 2019



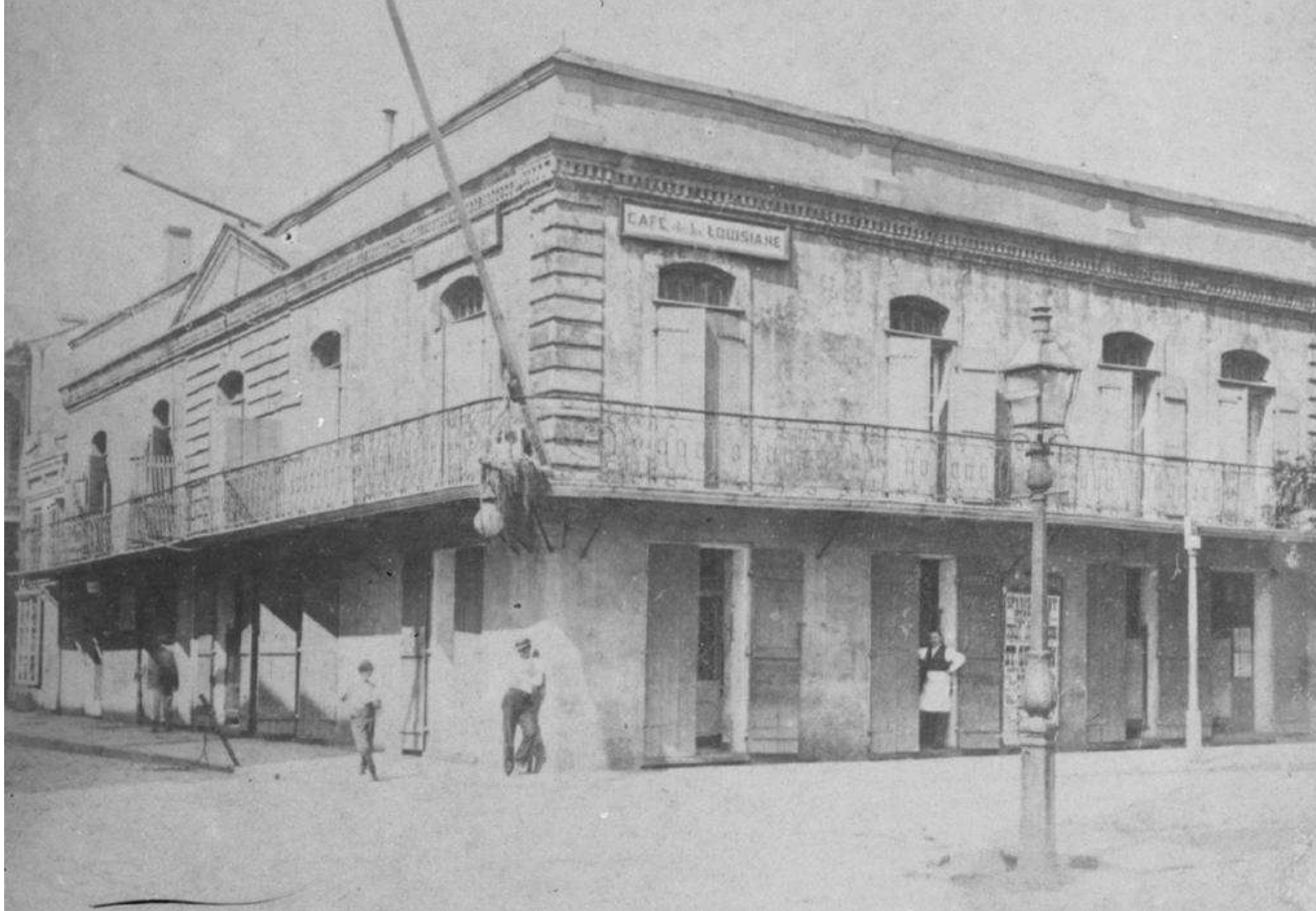


616 St. Peter, 1872

VCC Architectural Committee

May 28, 2019





616 St. Peter - 1885

VCC Architectural Committee

May 28, 2019





616 St. Peter, circa 1900

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May 28, 2019





616 St. Peter – 1940

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May 28, 2019





616 St. Peter – 1930

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May 28, 2019





616 St. Peter – 1960

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May 28, 2019





616 St. Peter, 1962

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May 28, 2019





616 St. Peter, 1963

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616 St. Peter, 1964

VCC Architectural Committee

May 28, 2019





616 St. Peter

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May 28, 2019





616 St. Peter

VCC Architectural Committee

May 28, 2019





616 St. Peter

VCC Architectural Committee

May 28, 2019





616 St. Peter

VCC Architectural Committee

May 28, 2019





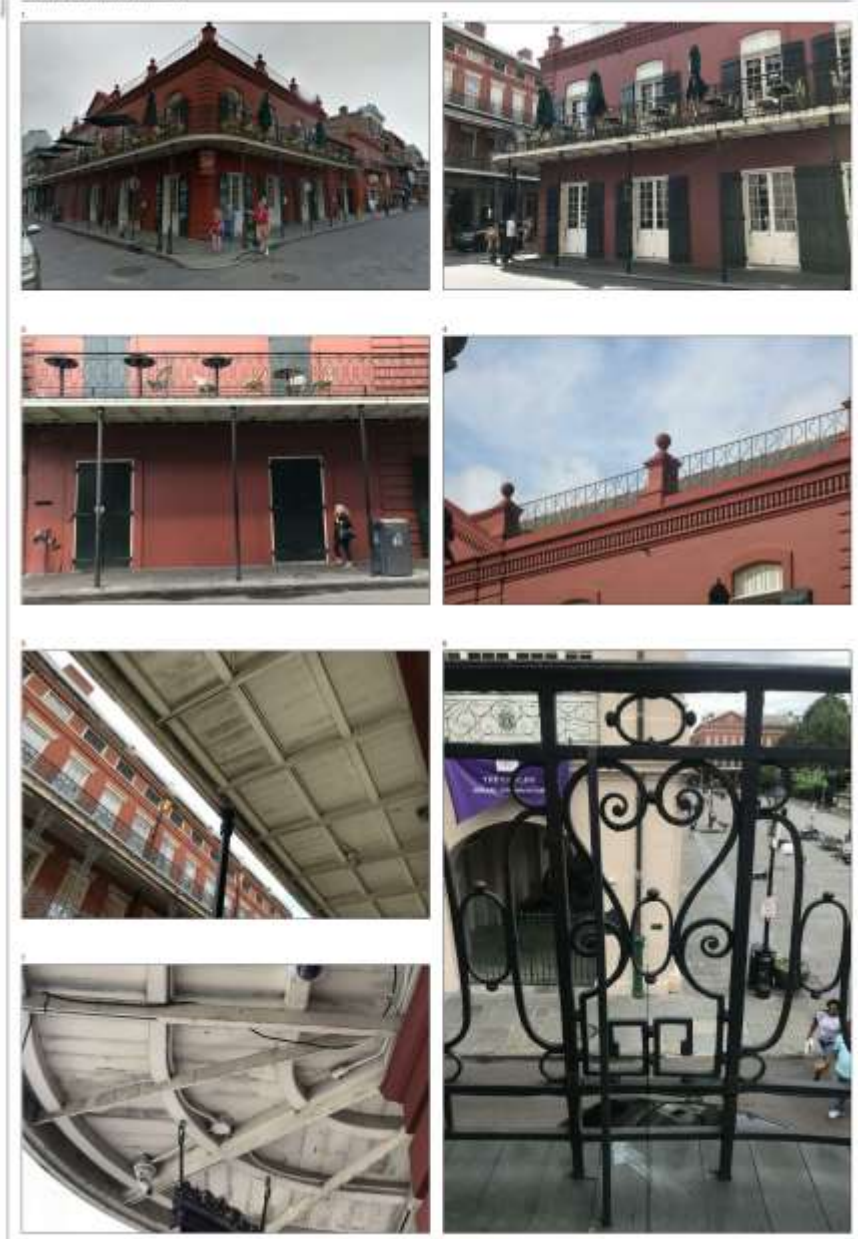
616 St. Peter

VCC Architectural Committee

May 28, 2019



PHOTOS OF EXISTING CONDITIONS



VICINITY MAP



ZONING MAP



AREA PLAN



FEMA FLOOD MAP



PROJECT DATA

PROJECT DESCRIPTION
REVISION OF AWNING TO COVER BIKES BICYCLAVY. RELOCATION OF EXISTING COLUMNA ALONG CHARTRES STREET. MAJOR REPAIR TO EXISTING PORCHES/PALMS.

PROJECT ADDRESS
616 ST PETER STREET
NEW ORLEANS, LA 70116

PROPERTY INFORMATION
SCOTCH HOUSE
PAROLA BLDG COMPANY
1057 P
BLOCK 41
RPO: 0001020918
CLANCK DISTRICT 8
KLODZ JOHN, A PROJECT DESIGN LEADERS
STREET FRONT 60.0000
AREA: 1000.00 SQ FT

ZONING INFORMATION
COMMERCIAL DISTRICT CCL-2
ZONING DISTRICT: P-1 (BASIC COMMERCIAL DISTRICT)
DISTRICT: COMMERCIAL - HIGH DENSITY
APPLICABLE ZONING DISTRICT

BUILDING INFORMATION
OCCUPANCY CLASSIFICATION ASSEMBLY A-1 (RESTAURANT AND BAR)
CONSTRUCTION TYPE: 5-B (MASONRY)
CONSTRUCTION TYPE: 5-B (MASONRY)
NUMBER OF FLOORS: 2
FLOOR AREA: 1000 SQ FT
PERMITS REQUIRED: FULL SERVICE (ELECTRICAL, PLUMBING, MECHANICAL, STRUCTURAL)
DESIGNATED AS A HISTORIC PROPERTY
DESIGNATED AS A HISTORIC PROPERTY
DESIGNATED AS A HISTORIC PROPERTY

GOVERNING CODES
MINIMUM CODE OF ORDINANCE
REGULATORY CODE OF ORDINANCE
PLANNING CODE OF ORDINANCE
MHA
2014 MHA STANDARDS

GOVERNING AGENCIES
NEW ORLEANS SAFETY & PERMITS
120 PONDRO STREET
THEYLOR
NEW ORLEANS, LA 70116
88-888-1732

NEW ORLEANS COMMISSION
120 PONDRO STREET
THEYLOR
NEW ORLEANS, LA 70116
88-888-1732

PROJECT TEAM
OWNER:
DEKOR BRENNAN & CO
408 CANAL STREET
NEW ORLEANS, LA 70116

ARCHITECT
TRAPOLIN PIERRE ARCHITECTS
407 TOWER WICKHAM STREET
NEW ORLEANS, LA 70116
504-522-2771

GENERAL CONTRACTOR
RYAN GOOTTEE GENERAL CONTRACTORS
1729 BEAUFORT DRIVE
METairie, LA 70001

DESIGN CRITERIA

CLIMATIC AND BIOCLIMATIC / ENVIRONMENTAL BUILDING CODE SPECIFICATIONS	DESCRIPTION	CODE/RECOMMENDED DESIGN VALUE
RAINFALL	RAINFALL	52 (5995.43 MM)
WIND SPEED	WIND SPEED	115 (410.00 MPH)
WIND-BORNE SAND/DEBRIS	WIND-BORNE SAND/DEBRIS	WIND-BORNE SAND/DEBRIS
WIND-BORNE SAND/DEBRIS	WIND-BORNE SAND/DEBRIS	WIND-BORNE SAND/DEBRIS
PERCENT WINTER DESIGN TEMPERATURE	PERCENT WINTER DESIGN TEMPERATURE	95
SEISMIC CLASSIFICATION CATEGORY	SEISMIC CLASSIFICATION CATEGORY	A - SEISMIC 115
SEISMIC CLASSIFICATION CATEGORY	SEISMIC CLASSIFICATION CATEGORY	SEISMIC CLASSIFICATION CATEGORY
CLIMATIC INFILTRATION PROBABILITY	CLIMATIC INFILTRATION PROBABILITY	VERY HIGH
GROUNDED BAWN LOADS	GROUNDED BAWN LOADS	NOISE - 0.000
BALCONIES EXTERIOR FLOOR LOADS	BALCONIES EXTERIOR FLOOR LOADS	50 PPF
ROOF LIVE LOADS	ROOF LIVE LOADS	30 PPF

SHEET LIST

NUMBER	TITLE
001	REGULATORY NOTES
002	GENERAL NOTES
003	CONSTRUCTION NOTES
004	004
005	005
006	006
007	007
008	008
009	009
010	010
011	011
012	012
013	013
014	014
015	015



TABLEAU AWNING
EXTERIOR AWNING ADDITION
616 ST. PETER STREET, NEW ORLEANS, LA 70116
TRAPOLIN PIERRE ARCHITECTS
www.trapolin.com

DEKOR BRENNAN & CO
608 CANAL STREET
NEW ORLEANS, LA 70116

RYAN GOOTTEE GENERAL CONTRACTORS
1729 BEAUFORT DRIVE
METairie, LA 70001

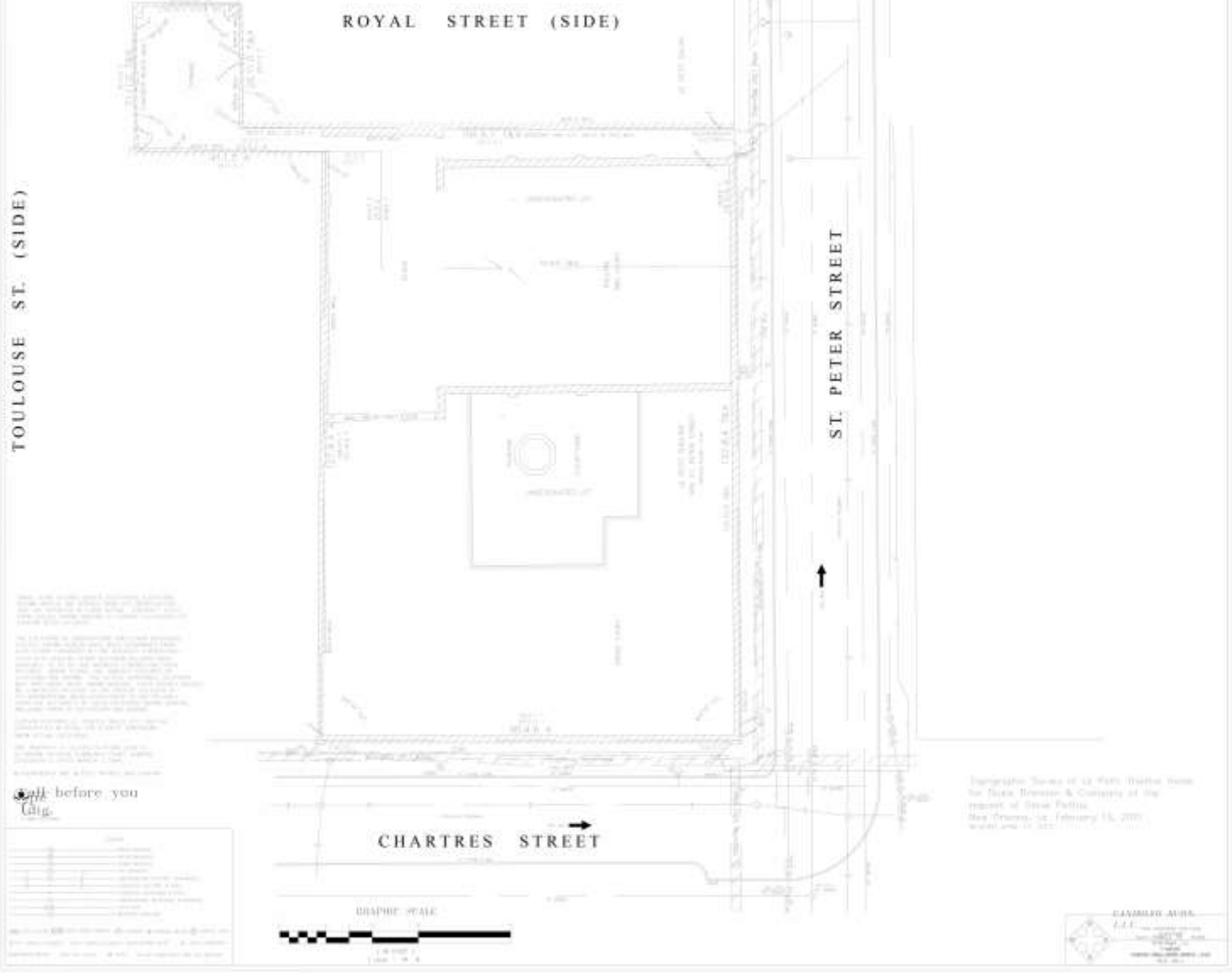


VOC 07-03-2019

REGULATORY NOTES
A-0.01



SQUARE 42
SECOND DISTRICT



before you dig.



TABLEAU AWNING
EXTERIOR AWNING ADDITION
616 ST. PETER STREET, NEW ORLEANS, LA 70116
TRAPOLIN • PEER ARCHITECTS

DICKER BRENNAN & CO
609 CANAL STREET
NEW ORLEANS, LA 70116

RYAN GOOTTEE GENERAL CONTRACTORS
1101 RIDGEWOOD DRIVE
METairie, LA 70001

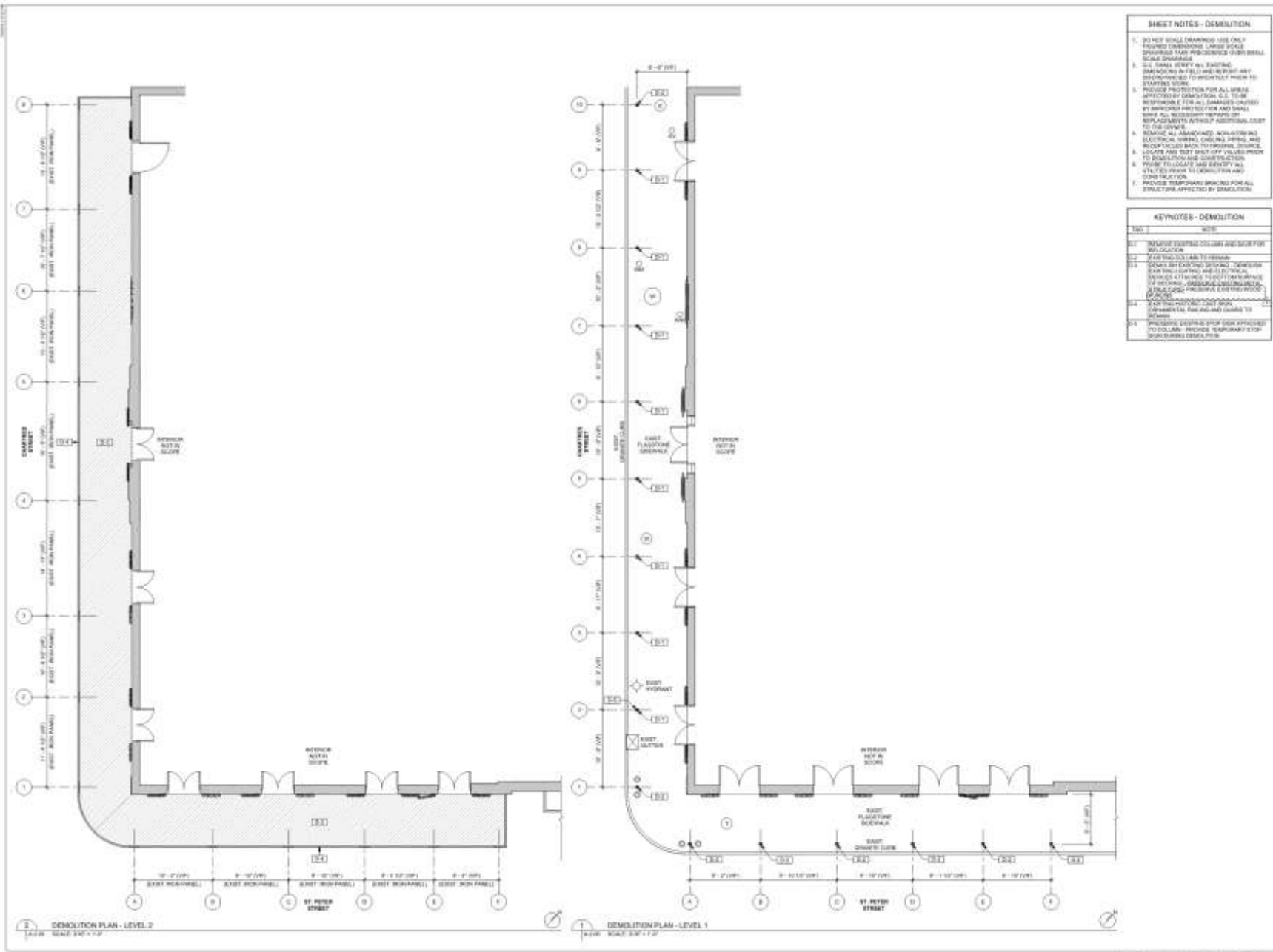


PROJECT NO.	19-00000
DATE	07/08/2019
SCALE	AS SHOWN
BY	TRAPOLIN
CHECKED BY	TRAPOLIN
DATE	07/08/2019

SITE SURVEY

A-0.10





616 St. Peter

VCC Architectural Committee

May 28, 2019





TABLEAU AWNING
EXTERIOR AWNING ADDITION
816 ST. PETER STREET, NEW ORLEANS, LA 70116
TRAPOLIN • PEER ARCHITECTS

DICKIE BRENNAN & CO
602 CANAL STREET
NEW ORLEANS, LA 70130

RYAN GOOTEE GENERAL
CONTRACTORS
1108 RESOLUTIONS DRIVE
METairie, LA 70001



1 VCC 07.02.2019

DATE: 07.02.2019

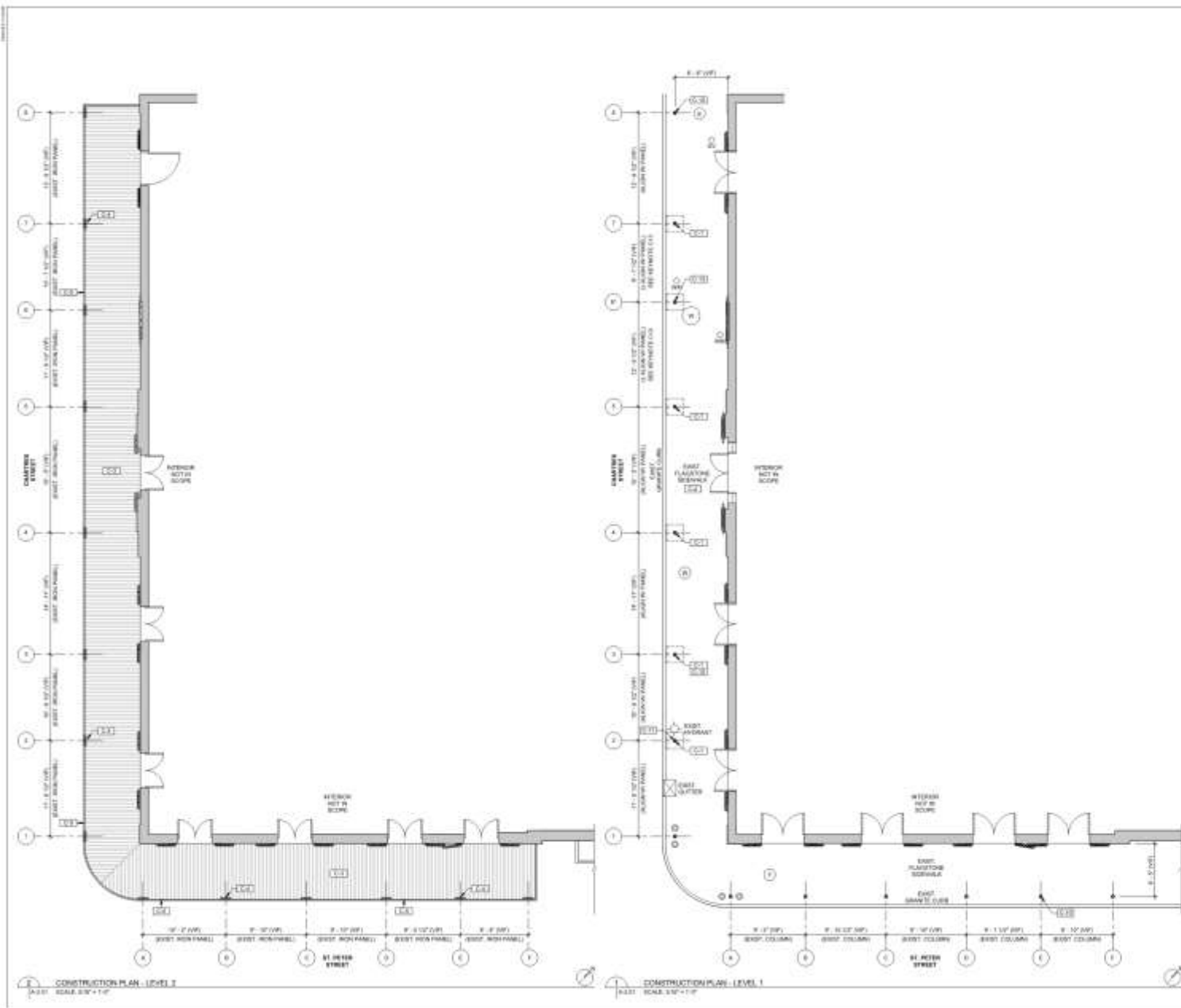
FLOOR PLANS - CONSTRUCTION

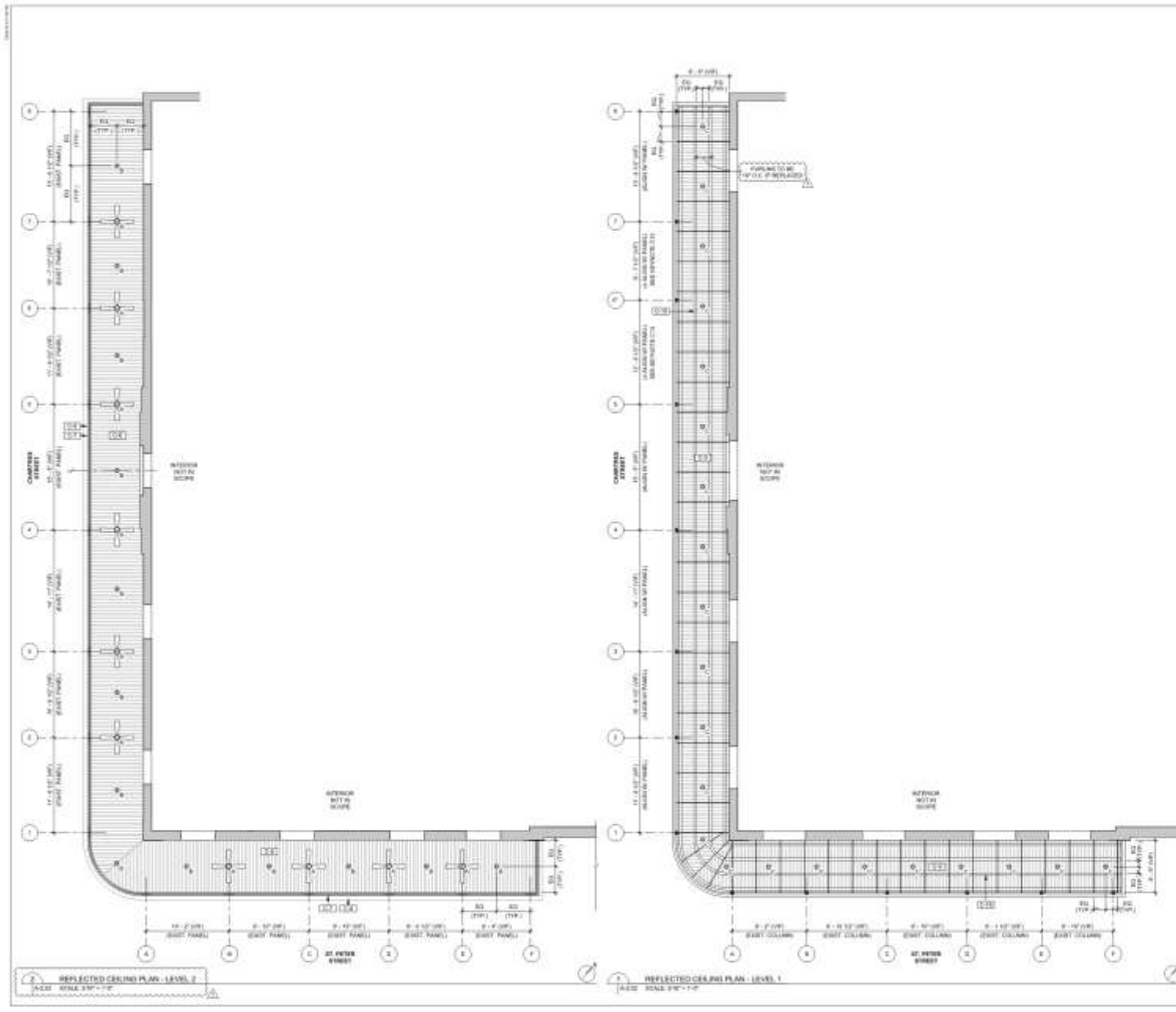
A-2.01

- SHEET NOTES - CONSTRUCTION**
- DO NOT SCALE DRAWING. USE ONLY DIMENSIONS SHOWN.
 - ALL DIMENSIONS ARE MEASURED TO THE FACE UNLESS NOTED OTHERWISE.
 - CONCRETE AND MASONRY SHALL BE CONSTRUCTED ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES OF THE STATE OF LOUISIANA.
 - ALL DIMENSIONS ARE MEASURED TO THE FACE UNLESS NOTED OTHERWISE.
 - CONCRETE AND MASONRY SHALL BE CONSTRUCTED ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES OF THE STATE OF LOUISIANA.
 - ALL DIMENSIONS ARE MEASURED TO THE FACE UNLESS NOTED OTHERWISE.

REVISIONS - CONSTRUCTION

NO.	DATE	DESCRIPTION
01		ISSUED FOR PERMIT
02		REVISED PER COMMENTS
03		REVISED PER COMMENTS
04		REVISED PER COMMENTS
05		REVISED PER COMMENTS
06		REVISED PER COMMENTS
07		REVISED PER COMMENTS
08		REVISED PER COMMENTS
09		REVISED PER COMMENTS
10		REVISED PER COMMENTS





- SHEET NOTES - RCP**
- DO NOT SCALE DIMENSIONS. USE ONLY DIMENSIONS SHOWN.
 - IF SMALL, VERIFY ALL DIMENSIONS IN FIELD BY ANY DIMENSION LINE OR DIMENSION LINE WITH DIMENSION LINE.
 - DO NOT SCALE DIMENSIONS. USE ONLY DIMENSIONS SHOWN.
 - ALL DIMENSIONS FOR LIGHT FIXTURES TO BE SHOWN UNDER THE FACE AND PROVIDE ALL REQUIRED SLOTTING AND CUTTING FOR LIGHT FIXTURES AND PANELS. PROVIDE ALL REQUIRED DIMENSIONS FOR LIGHT FIXTURES AND PANELS. PROVIDE ALL REQUIRED DIMENSIONS FOR LIGHT FIXTURES AND PANELS.
 - PROVIDE AND INSTALL ALL REQUIRED LOW VOLTAGE TRANSFORMERS AND ACCESSORIES. VERIFY LOCATION AND ACCESS REQUIREMENTS WITH ARCHITECT PRIOR TO INSTALLATION.
 - LIGHTING TRIM IS TO BE MATCHED TO LIGHT FIXTURES AND SPECIFIED LIGHT FIXTURES.
 - ALL NEW FIXTURES TO BE INSTALLED TO THE ARCHITECT'S SHALL PROVIDE A 1/8" MINIMUM AIR GAP TO THE SURFACE OF THE LIGHT FIXTURES AND SPECIFIED LIGHT FIXTURES.
 - ALL NEW FIXTURES TO BE INSTALLED TO THE ARCHITECT'S SHALL PROVIDE A 1/8" MINIMUM AIR GAP TO THE SURFACE OF THE LIGHT FIXTURES AND SPECIFIED LIGHT FIXTURES.
 - PROVIDE LAMP ALL FIXTURES PRIOR TO COMPLETION OF CONSTRUCTION.
 - THESE NOTES ARE NOT TO BE CONSIDERED AS A SUBSTITUTE FOR THE ARCHITECT'S INTENT.

- SYMBOL LEGEND - RCP**
- Light fixture symbol
 - Light fixture trim
 - Decorative
 - Recessed downlight
 - Match existing

- KEYNOTES - CONSTRUCTION**
- | NO. | NOTE |
|-----|---|
| K1 | REMOVE THE EXISTING TWO PARTED WOOD CEILING. |
| K2 | REMOVE DIMENSIONAL CAST IRON PANELS AND PROVIDE 4" DIA. VACUUM FORMED CEILING PANELS AND HANGERS. |
| K3 | REMOVE 4" DIA. VACUUM FORMED CEILING PANELS AND HANGERS. |
| K4 | REMOVE EXISTING BALCONY STRUCTURE. |
| K5 | REMOVE EXISTING BALCONY STRUCTURE. PROVIDE 4" DIA. VACUUM FORMED CEILING PANELS AND HANGERS. PROVIDE ALL AREA FLOOR FINISHES ACCORDING TO ARCHITECT'S INTENT. |

TABLEAU AWNING
 EXTERIOR AWNING ADDITION
 616 ST. PETER STREET, NEW ORLEANS, LA 70116
 TRAPOLIN • PEER ARCHITECTS

SECKE BRENNAN & CO
 600 CANAL STREET
 NEW ORLEANS, LA 70112

RYAN GOODIE GENERAL CONTRACTORS
 1100 RIDGEWOOD DRIVE
 METairie, LA 70001



1	VCC	07.02.2019
2	VCC	07.06.2019

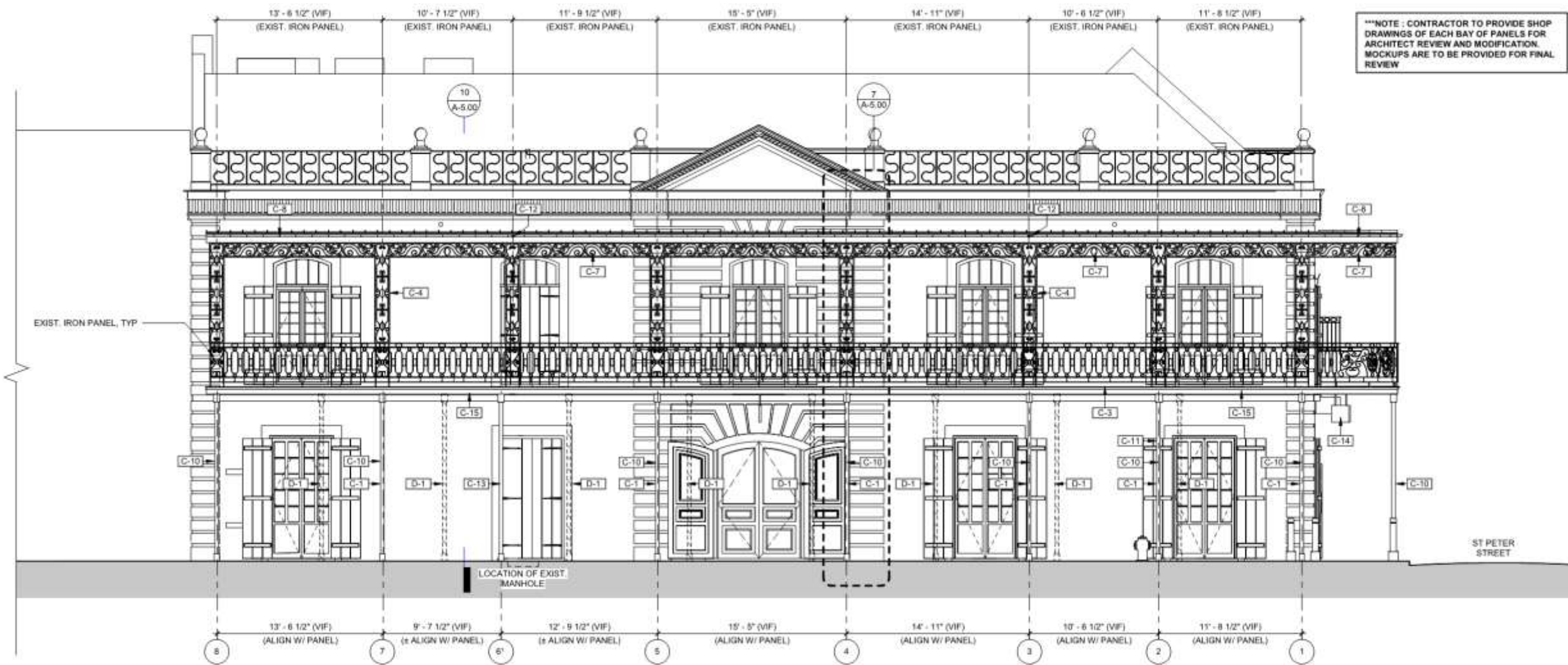
PROJECT: 616 ST. PETER
 DRAWN: J. TRAPOLIN
 CHECKED: J. TRAPOLIN
 DATE: 07.06.2019

FLOOR PLANS - REFLECTED CEILING

A-2.02



***NOTE : CONTRACTOR TO PROVIDE SHOP DRAWINGS OF EACH BAY OF PANELS FOR ARCHITECT REVIEW AND MODIFICATION. MOCKUPS ARE TO BE PROVIDED FOR FINAL REVIEW



ELEVATION - CHARTRES STREET

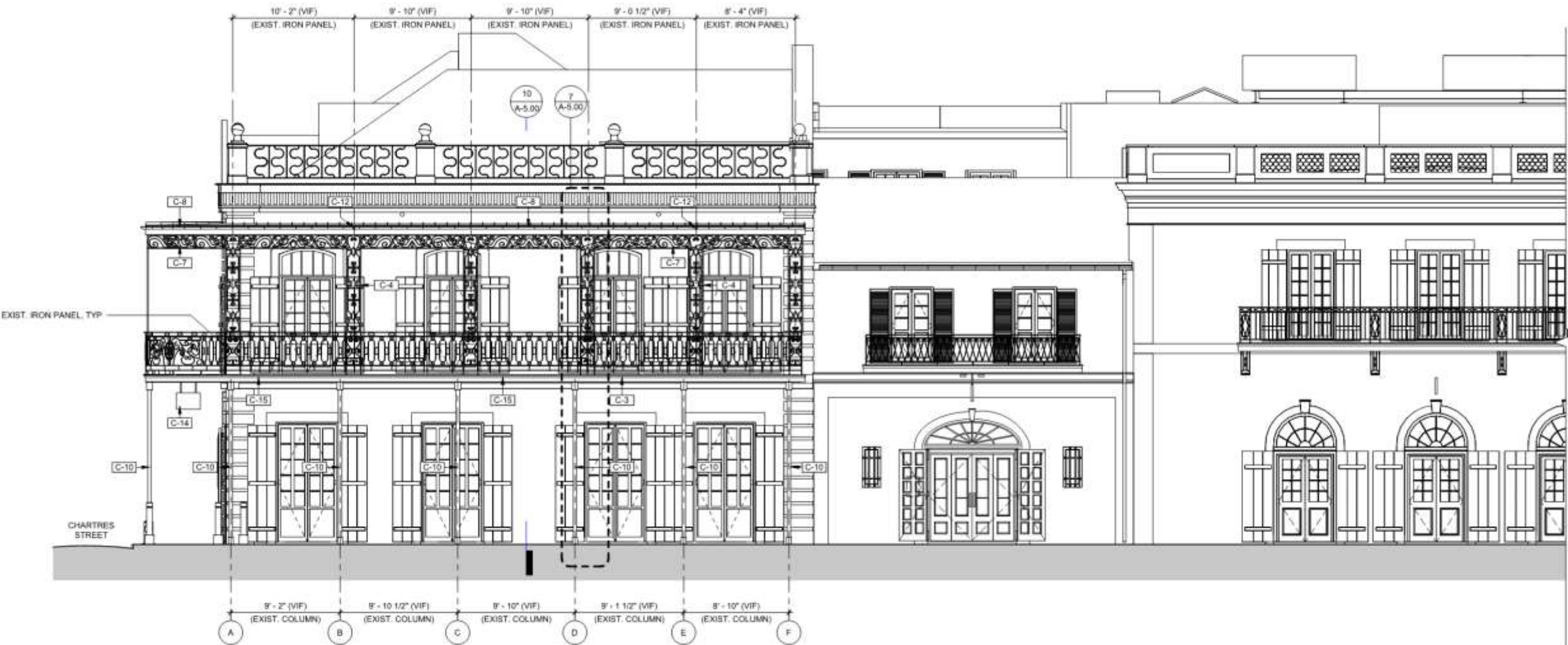
SCALE: 3/16" = 1'-0"

616 St. Peter

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May 28, 2019





ELEVATION - ST PETER STREET

SCALE: 1/8" = 1'-0"

616 St. Peter

VCC Architectural Committee

May 28, 2019



FOR PERMIT



TABLEAU AWNING
EXTERIOR AWNING ADDITION
616 ST. PETER STREET, NEW ORLEANS, LA 70118
TRAPOLIN & PEER ARCHITECTS

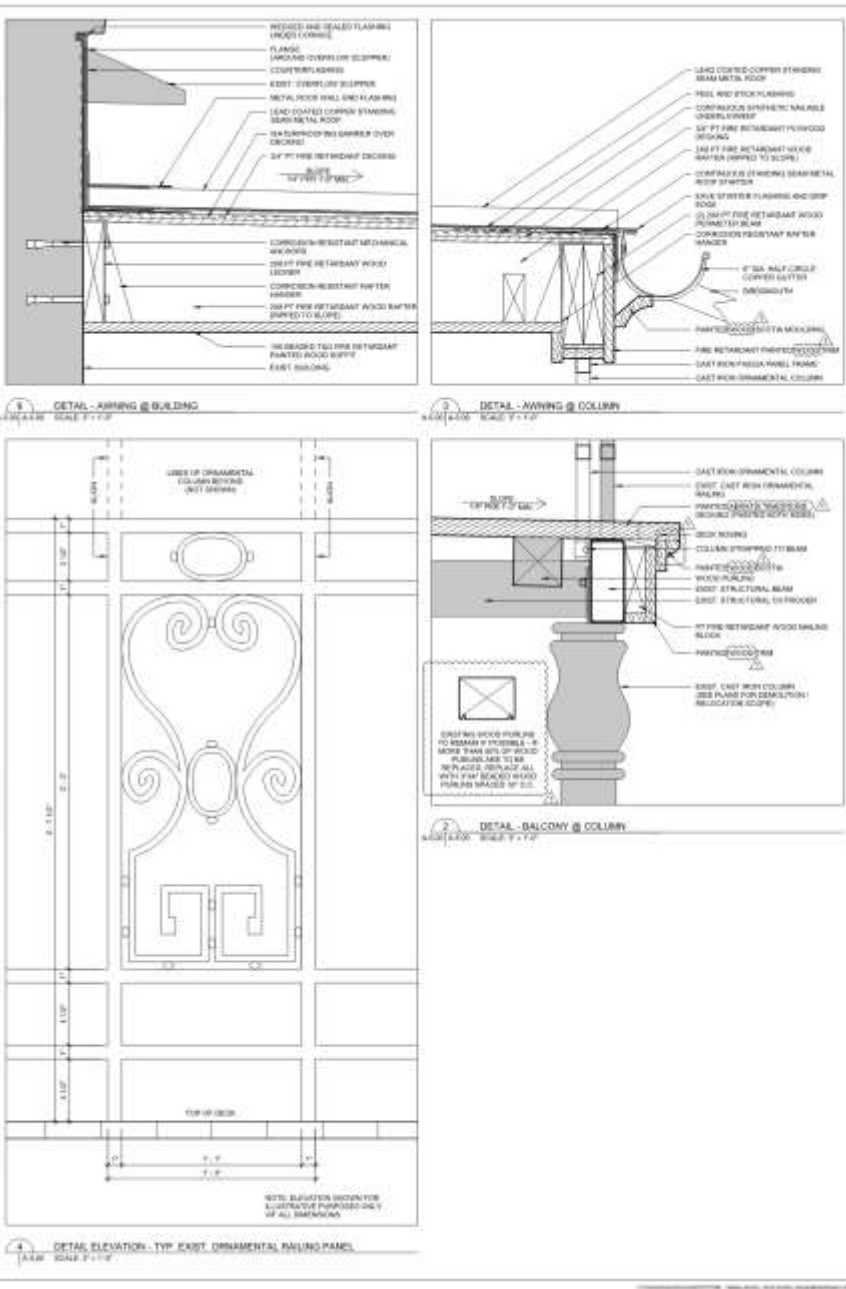
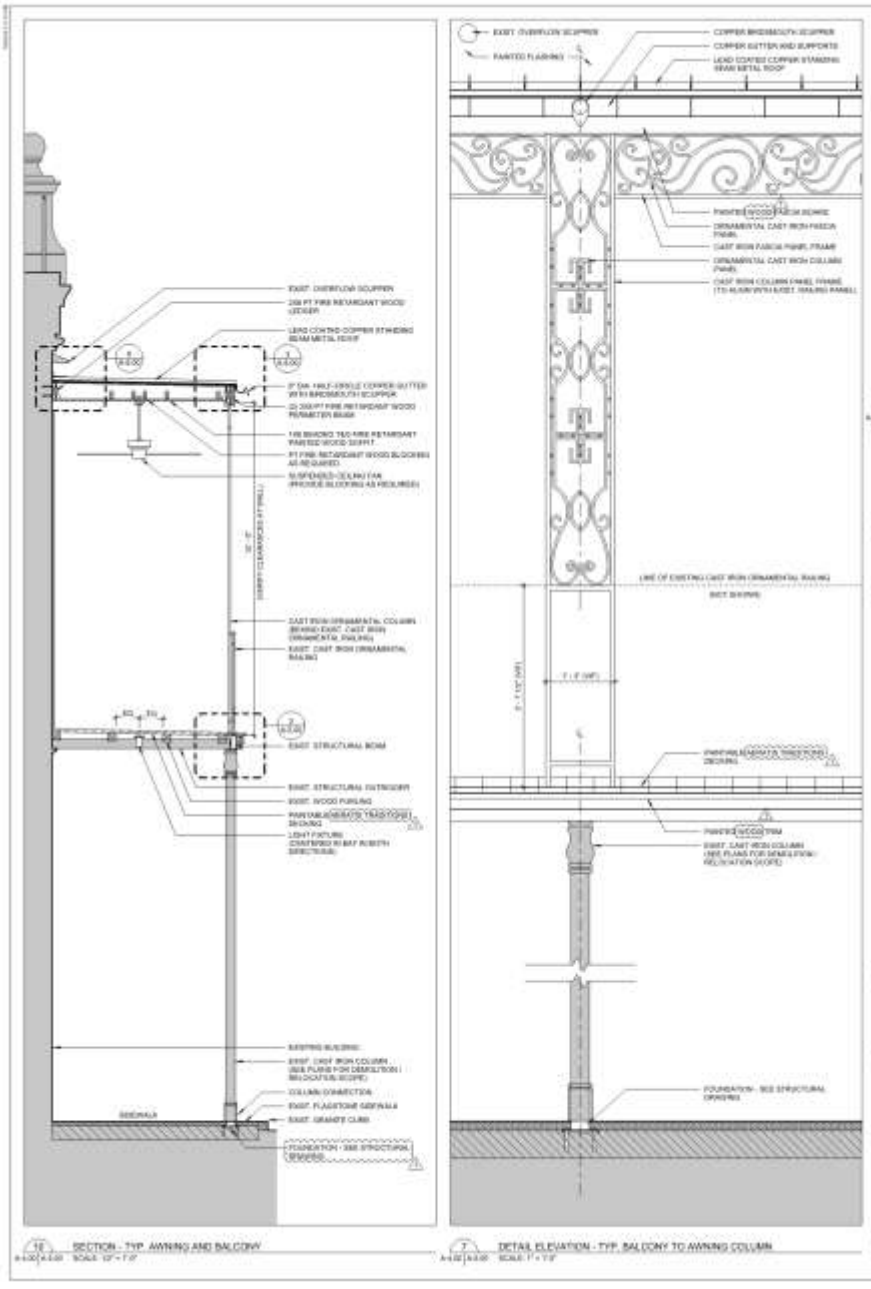
CHICK BRENNAN & CO
485 CANAL STREET
NEW ORLEANS, LA 70112



NO.	DESCRIPTION	DATE
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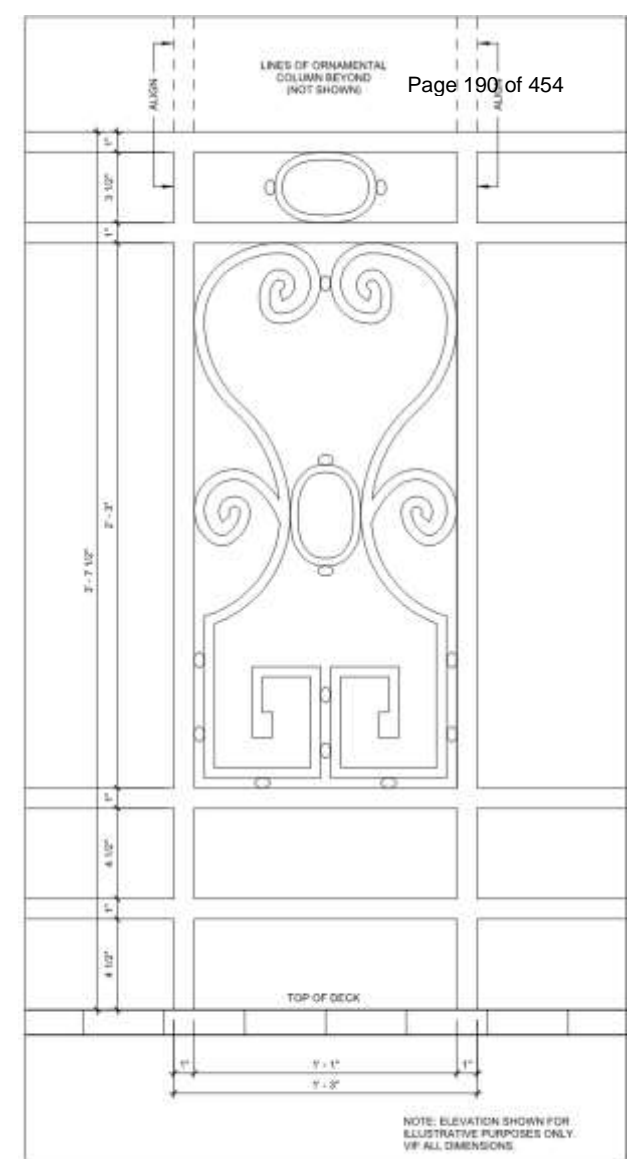
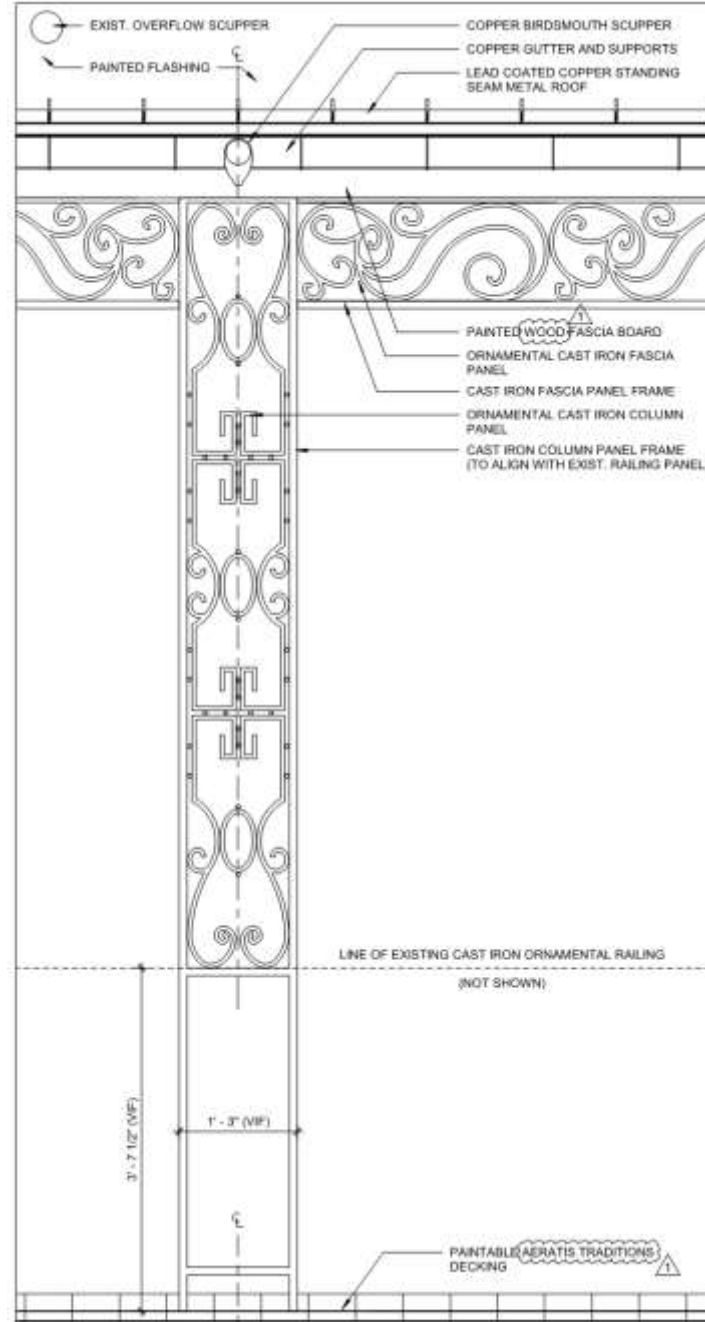
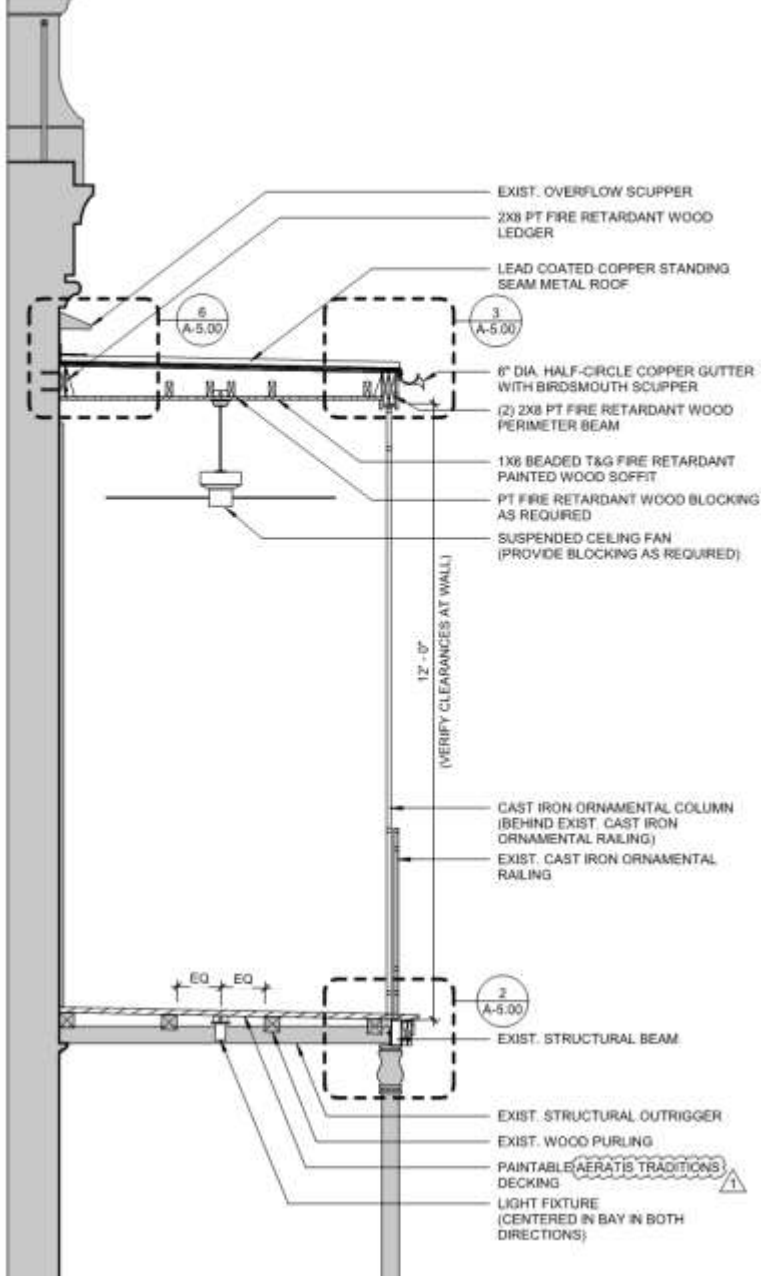
07/08/2018

A-5.00



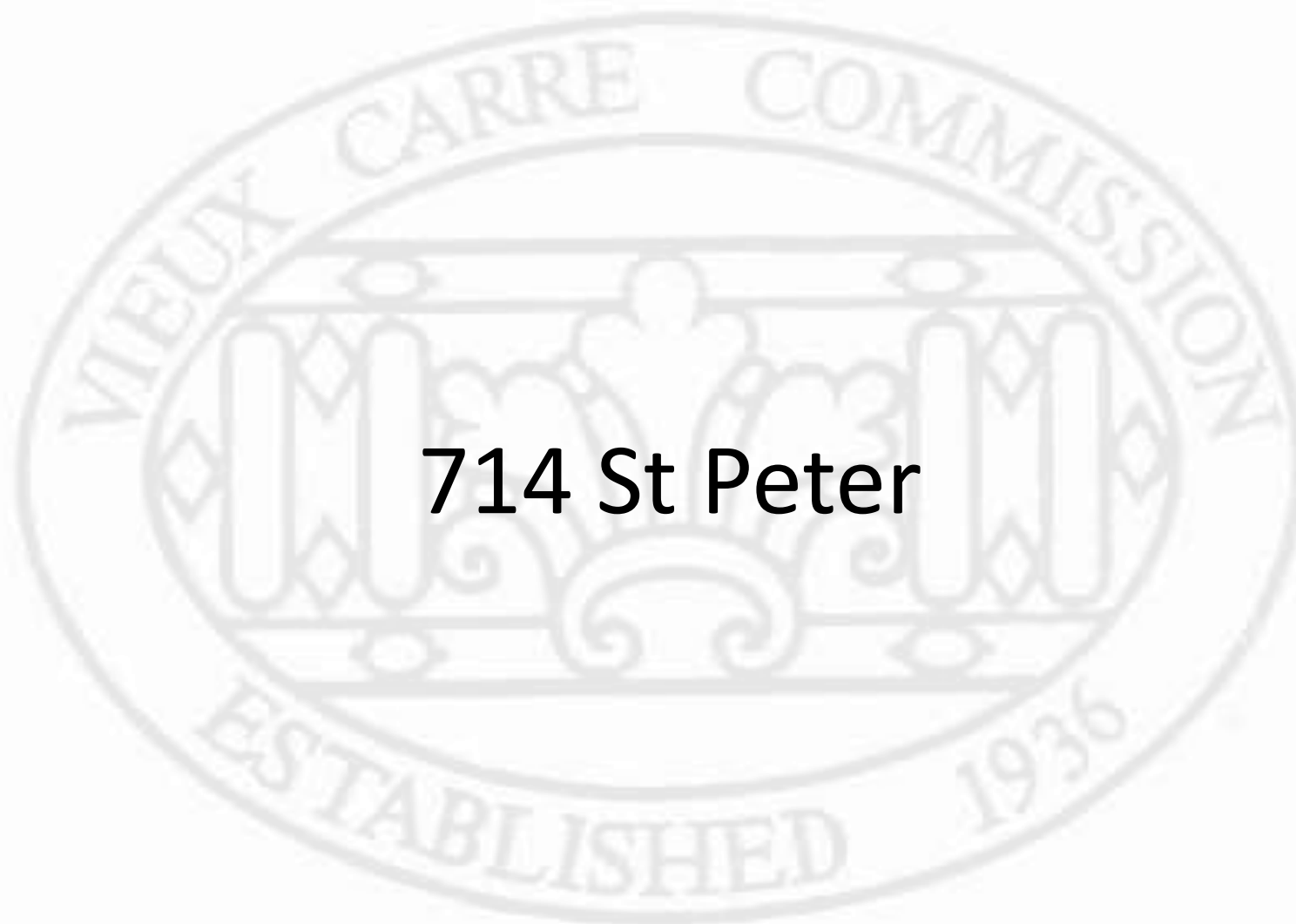
616 St. Peter
VCC Architectural Committee

May 28, 2019



4 DETAIL ELEVATION - TYP. EXIST. ORNAMENTAL RAILING PANEL
 A-5.00 SCALE 3" = 1'-0"





714 St Peter



714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





Title: 714 St. Peter
Date: [1930s-1940s?]

press x to close

714 St. Peter

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July 13, 2021





714 St. Peter

VCC Architectural Committee

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714 St. Peter

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714 St. Peter – 1987 Post-Renovation
VCC Architectural Committee

July 13, 2021





714 St. Peter- Ca. 2005
VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

12/19/2011

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021





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VCC Architectural Committee

July 13, 2021





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VCC Architectural Committee

July 13, 2021





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July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021



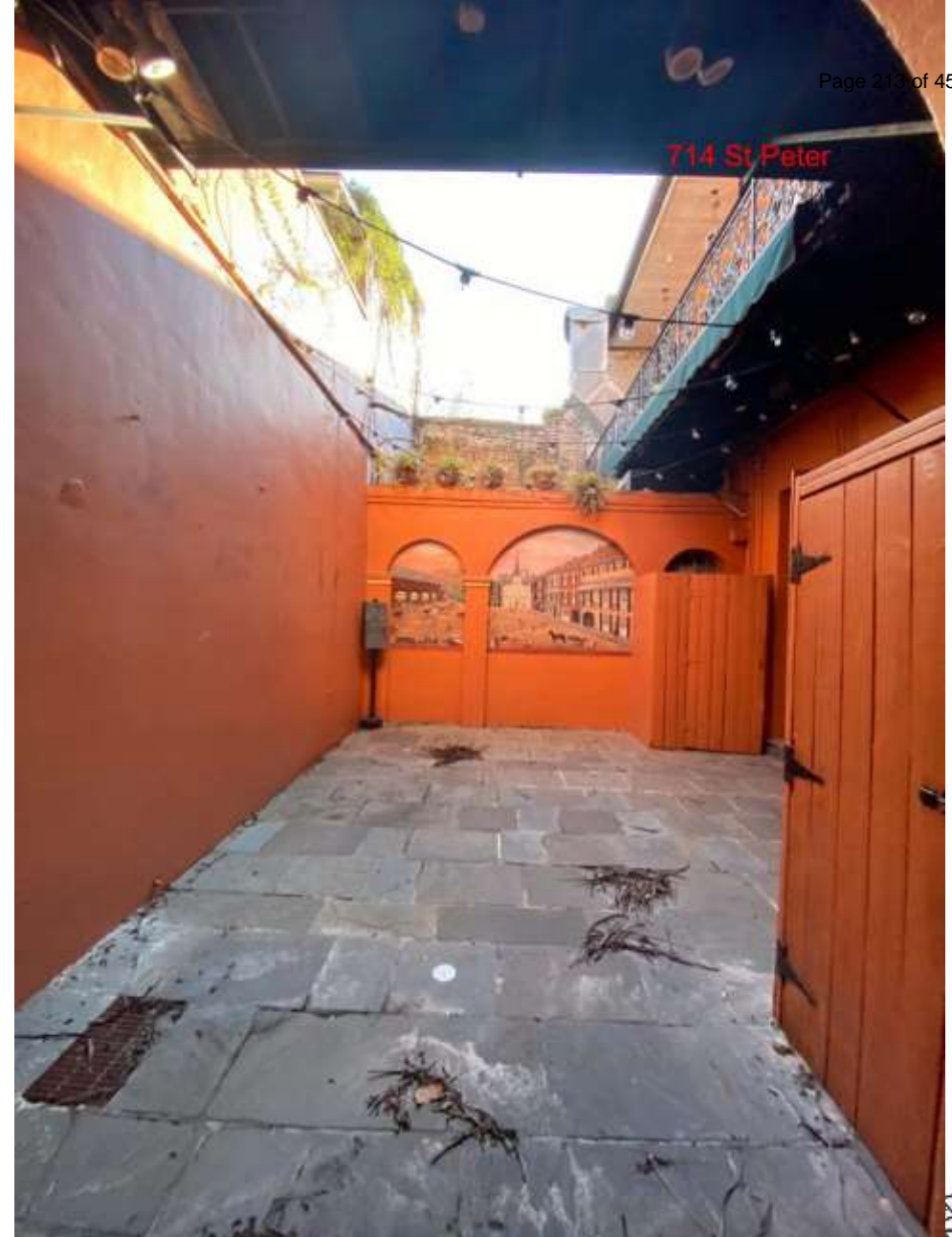


714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021



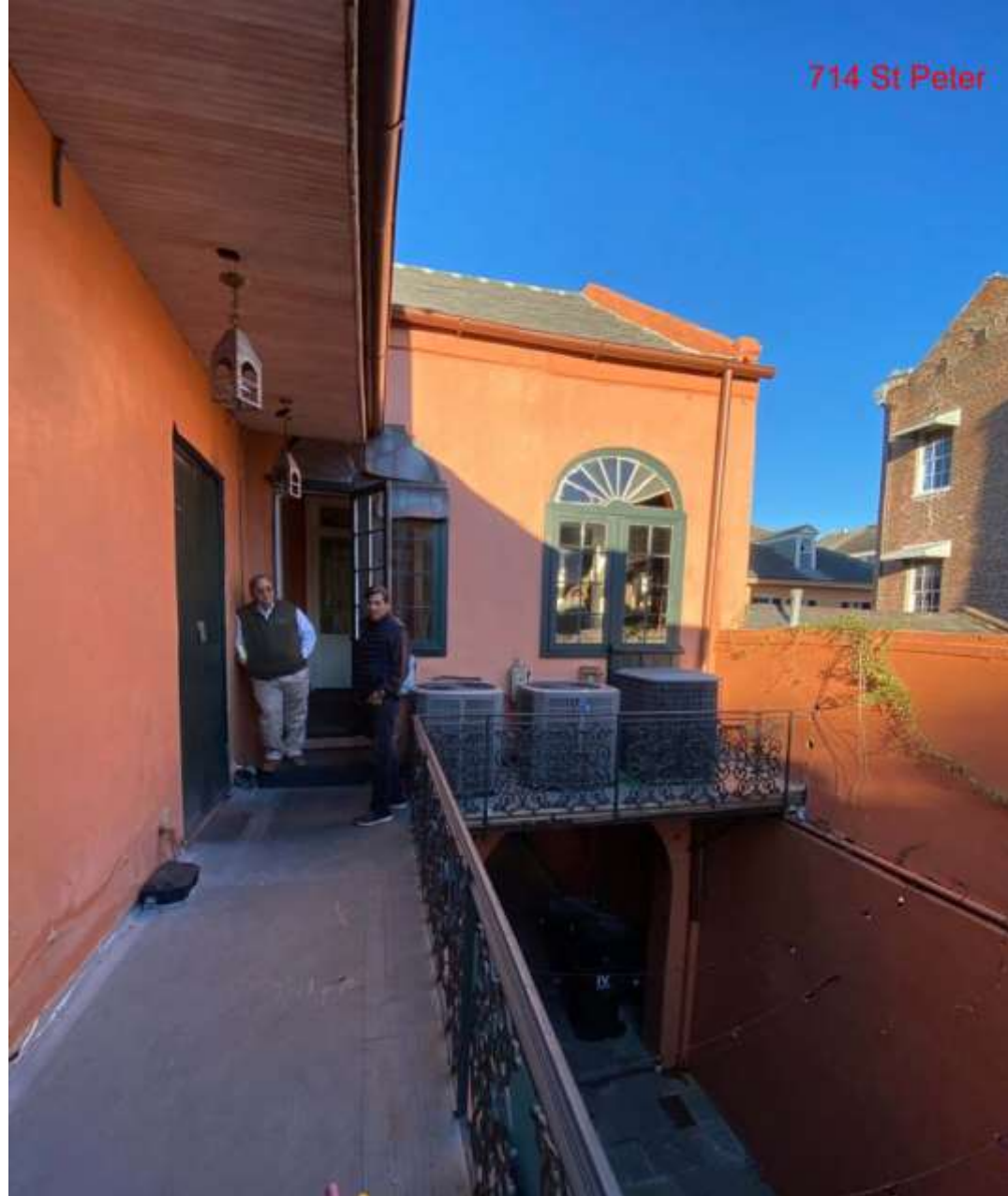


714 St. Peter

VCC Architectural Committee

July 13, 2021







714 St. Peter

VCC Architectural Committee

July 13, 2021





714 St. Peter

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July 13, 2021





714 St. Peter

VCC Architectural Committee

July 13, 2021



Fat Boy's Pizza French Quarter

Interior Renovation (Non-Structural)

Square 61, Lot A New Orleans Orleans Parish, Louisiana

Square Footage

First Floor	2,108
Second Floor	2,154
Total	4,262

Article XXXV Off-Street Parking and Loading

Parking Spaces Required
All Historic Core Neighborhood Districts, the HU-B1A District, and the Central Business District are exempt from the vehicle parking requirements of Table 22-1.

Codes

1. International Building Code, 2015 Edition
2. Parish / City, Amendments to IBC 2015
3. Life Safety Code, ANSINFPFA 101, 2015 Edition
4. American with Disabilities Act, Public Law 101-538

Site Information

Address	714 St Peter Street New Orleans, Louisiana 70116
Lot#	A
Square	61
Area of Lot	2,112

Design Criteria

Zoning: VCC-2 Vieux Carré Commercial District

Occupancy IBC 2015: Assembly Group A-2

NFPA 101 2015: Assembly

Type of Construction IBC 2015: Type V-A [Table 601]
1-Hour Protected

NFPA 101 2015: Type V-111 [Table A.8.2.1.2]

Sprinkler System: No

Building Hgt: Existing

Occupant Load for IBC 2015
Unconcentrated (tables and chairs)
IBC 2015 1,436 / 15net = 95.73 occupants

Kitchen, Bar (Serving area and dishwashing)
IBC 2015 1,030 / 200 = 5.15 occupants

Restroom and Corridor
IBC 2015 259 / 100 = 2.59 occupants
IBC 2015 Total 103.47 occupants

Occupant Load for NFPA 101 2015
Less concentrated use, without fixed seating
NFPA 101 2015 1,436 / 15net = 95.73 occupants

Kitchen, Bar (Serving area and dishwashing)
NFPA 101 2015 1,030 / 100 = 10.30 occupants

Restroom and Corridor
NFPA 101 2015 259 / 100 = 2.59 occupants
NFPA 101 2015 Total 108.62 occupants

Using NFPA 101 2015 to determine occupant load = 109 occupants

Live Loads:
Floor Load 125 PSF
Roof Load 20 PSF
Wind Load 130 MPH

Architect

CIS Architects
Charles I Silbermangel & Associates, Inc.
Architects, A Professional Design Group
3129 Edenborn Avenue, Suite 100
Metairie, Louisiana 70002
Office (504) 454-3112
Fax (504) 454-3215
Email: charles@cisarchitects.com

Mechanical Engineer

The work is less than \$15,000 and according to Orleans Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Electrical Engineer

The work is less than \$15,000 and according to Orleans Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Plumbing Engineer

The work is less than \$15,000 and according to Orleans Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Structural Engineer

No structural work is being done.

THIS PLAN AND SPECIFICATION HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.

I, CHARLES I SILBERMANGEL, CHARTERED PROFESSIONAL ENGINEER, LICENSE NO. 108,000, AM NOT PROVIDING CONTRACT ADMINISTRATION WITHOUT THE WRITTEN CONSENT OF CHARLES I SILBERMANGEL, LICENSE NO. 108,000.

SUPPORT BY: CHARLES I SILBERMANGEL & ASSOCIATES, INC. ALL RIGHTS RESERVED.



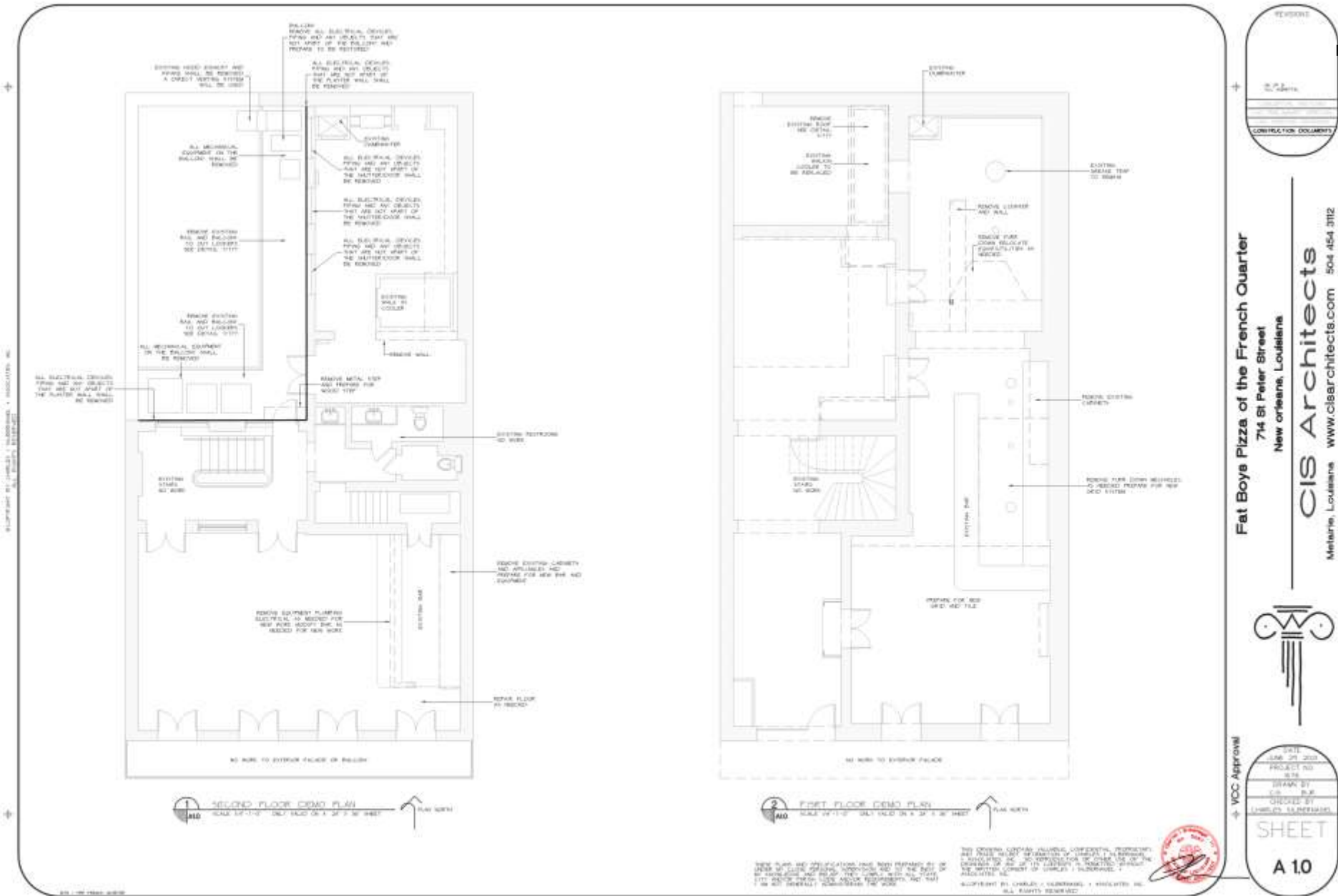
Fat Boys Pizza of the French Quarter
 714 St Peter Street
 New Orleans, Louisiana
CIS Architects
 Metairie, Louisiana www.cisarchitects.com 504-454-3112

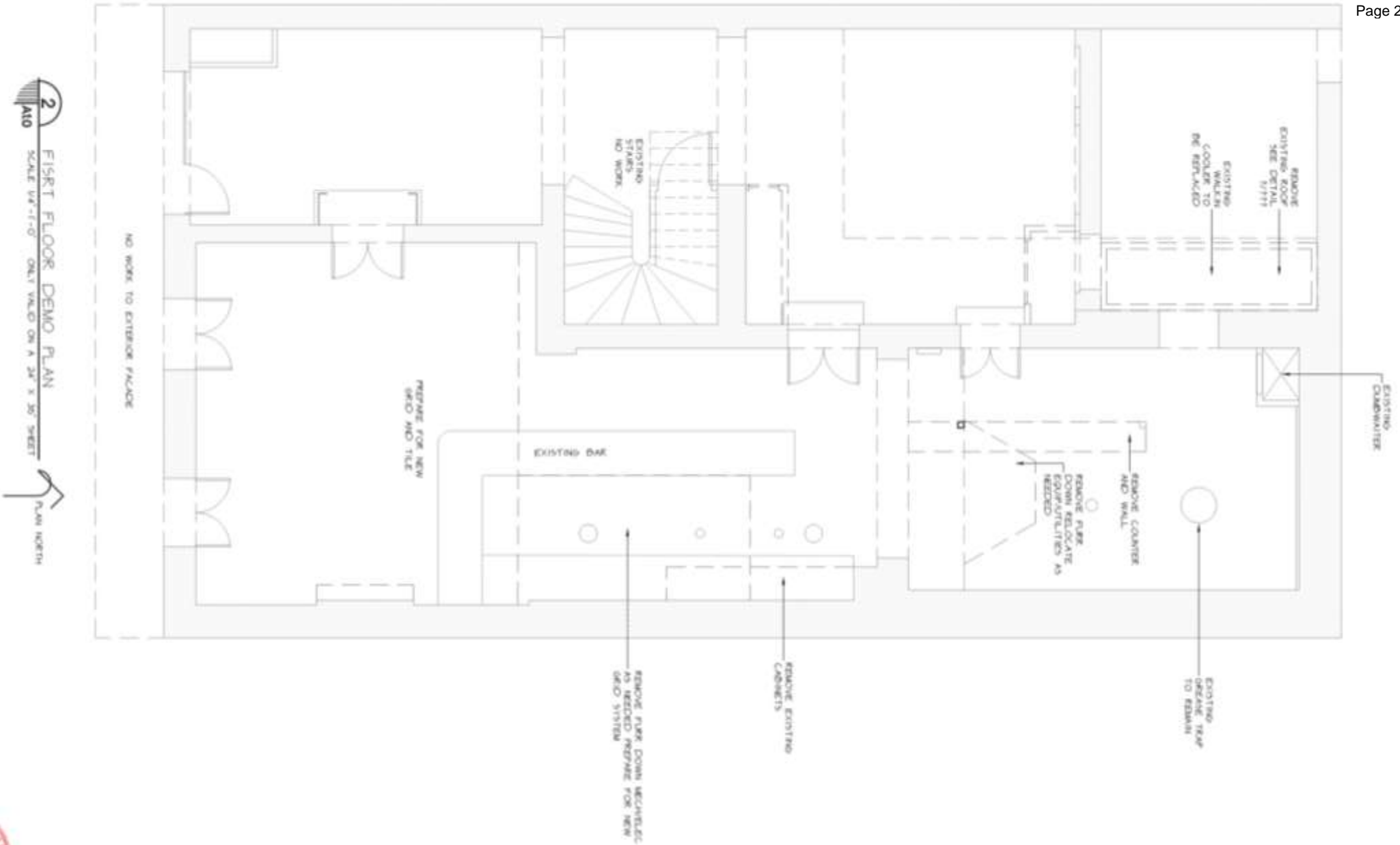


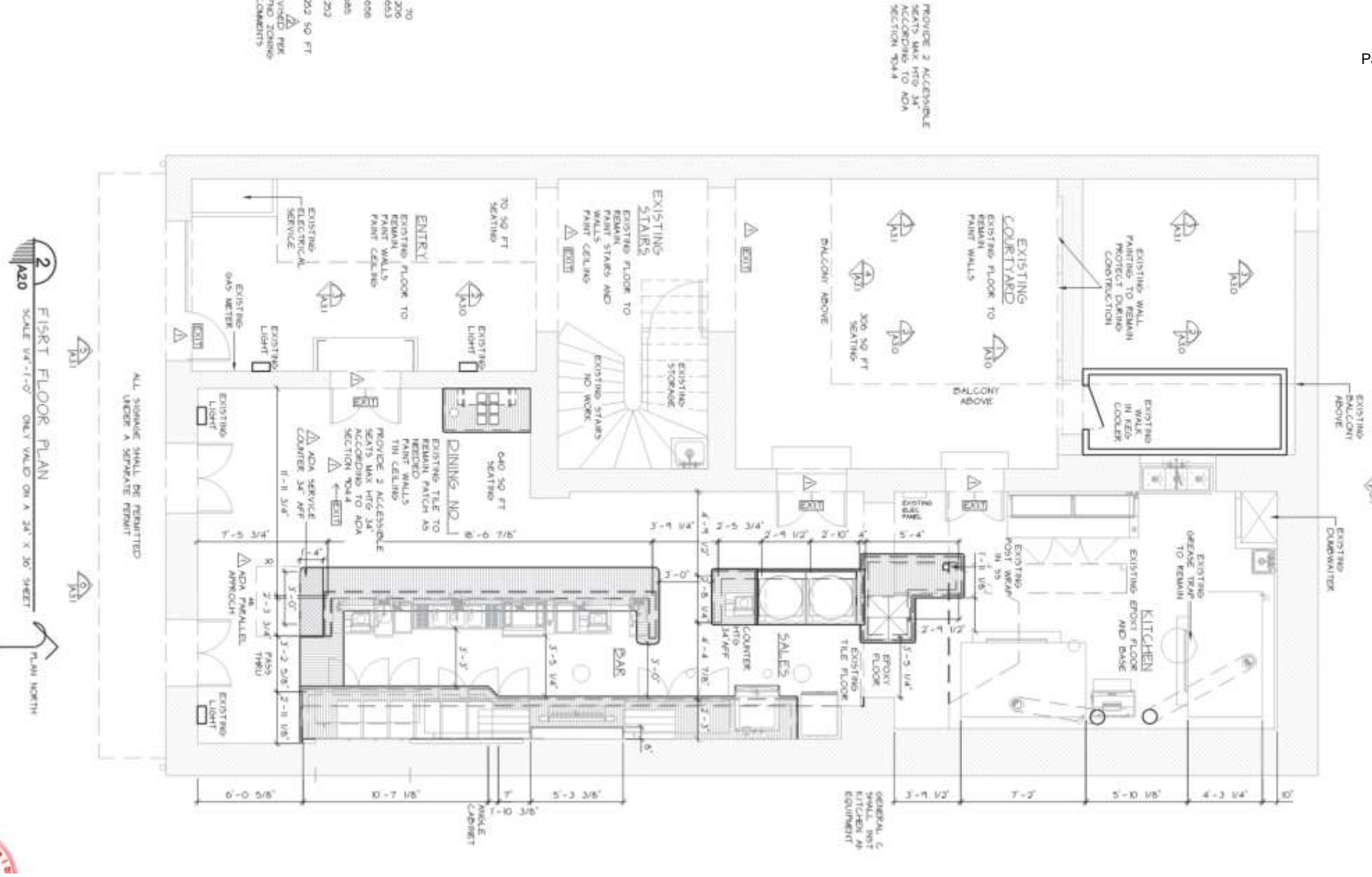
VCC Approval

DATE	APR 28 2021
PROJECT NO.	2101
DRAWN BY	CIS / PLW
CHECKED BY	CHARLES I SILBERMANGEL
SHEET	
T1	









2 FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0" ONLY VALID ON A 24" X 36" SHEET
 PLAN NORTH

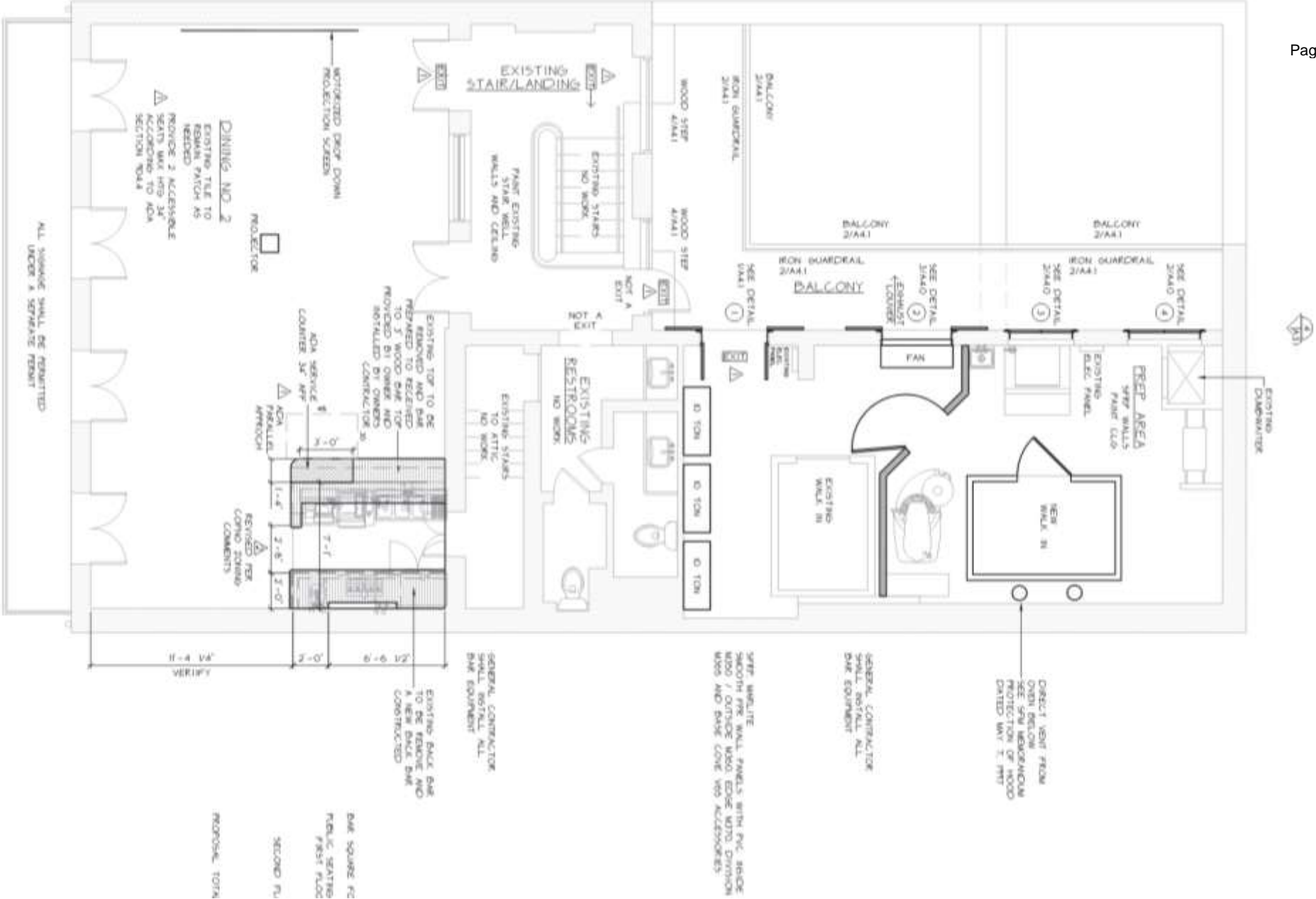
PROVIDE 2 ACCESSIBLE SEATS MAX HIG 34" ACCORDING TO ADA SECTION 704.4

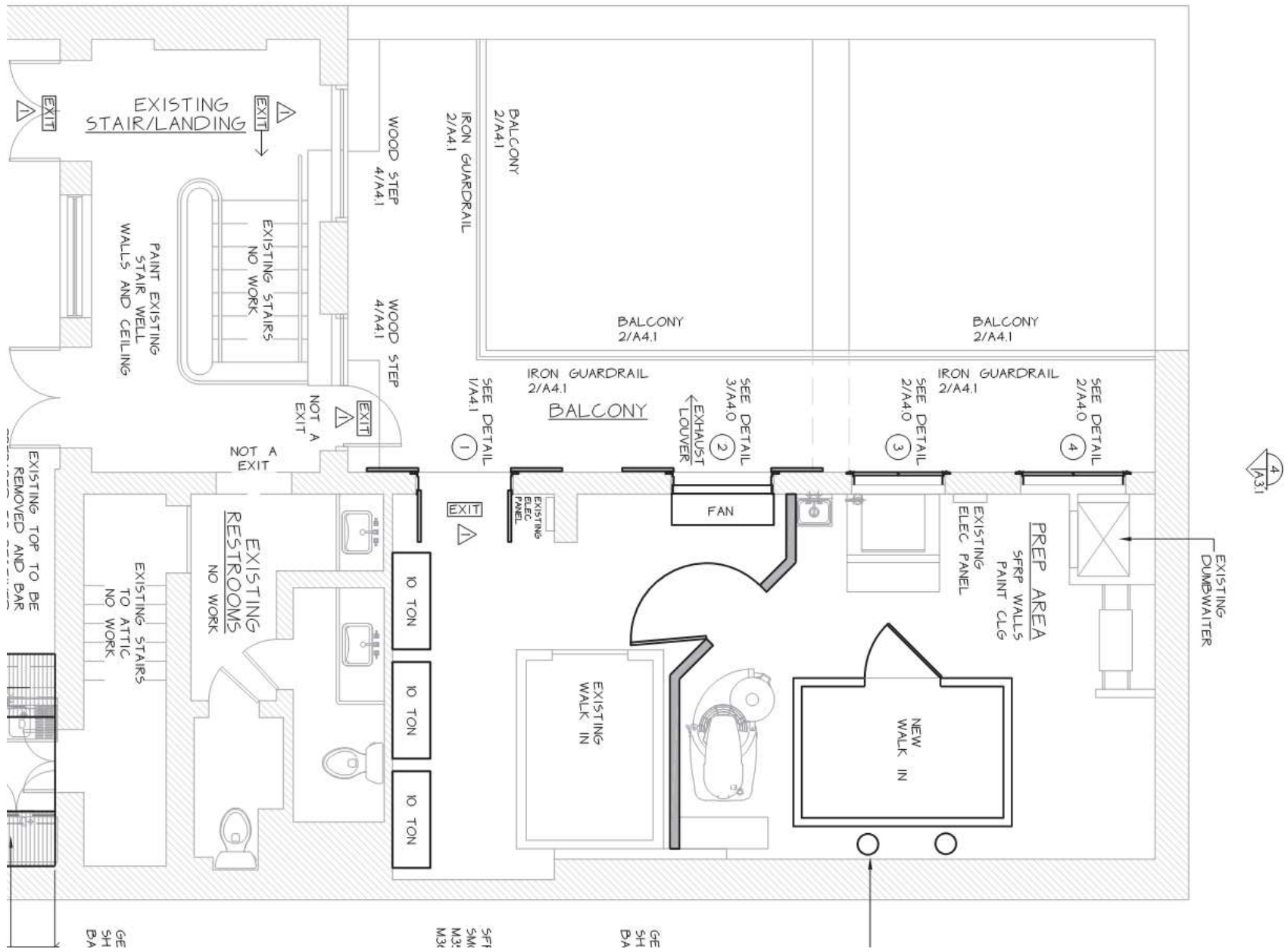
PROVIDE 2 ACCESSIBLE SEATS MAX HIG 34" ACCORDING TO ADA SECTION 704.4

ALL STORAGE SHALL BE MOUNTED UNDER A SEPARATE PERMIT



1 SECOND FLOOR PLAN
 SCALE 1/4"=1'-0" ONLY VALID ON A 24" X 36" SHEET
 PLAN NORTH





ROOF PLAN
SCALE: 1/4" = 1'-0" (SEE TITLE SHEET FOR FULL SCALE)

ATTIC PLAN
SCALE: 1/4" = 1'-0" (SEE TITLE SHEET FOR FULL SCALE)

1 A21

2 A21

WCC Approval

DATE: 07/13/21
 DRAWN BY: [Signature]
 PROJECT NO.: [Number]
 SHEET OF: [Number]
 CHECKED BY: [Signature]
 SHEET A 21

Fat Boys Pizza of the French Quarter
 714 St. Peter Street
 New Orleans, Louisiana

CIS Architects
 Metairie, Louisiana www.cisarchitects.com 504-454-3112

CONTRACTOR DOCUMENT

THIS PLAN AND SPECIFICATIONS ARE FOR THE USE OF THE CONTRACTOR AND SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL RIGHTS RESERVED.

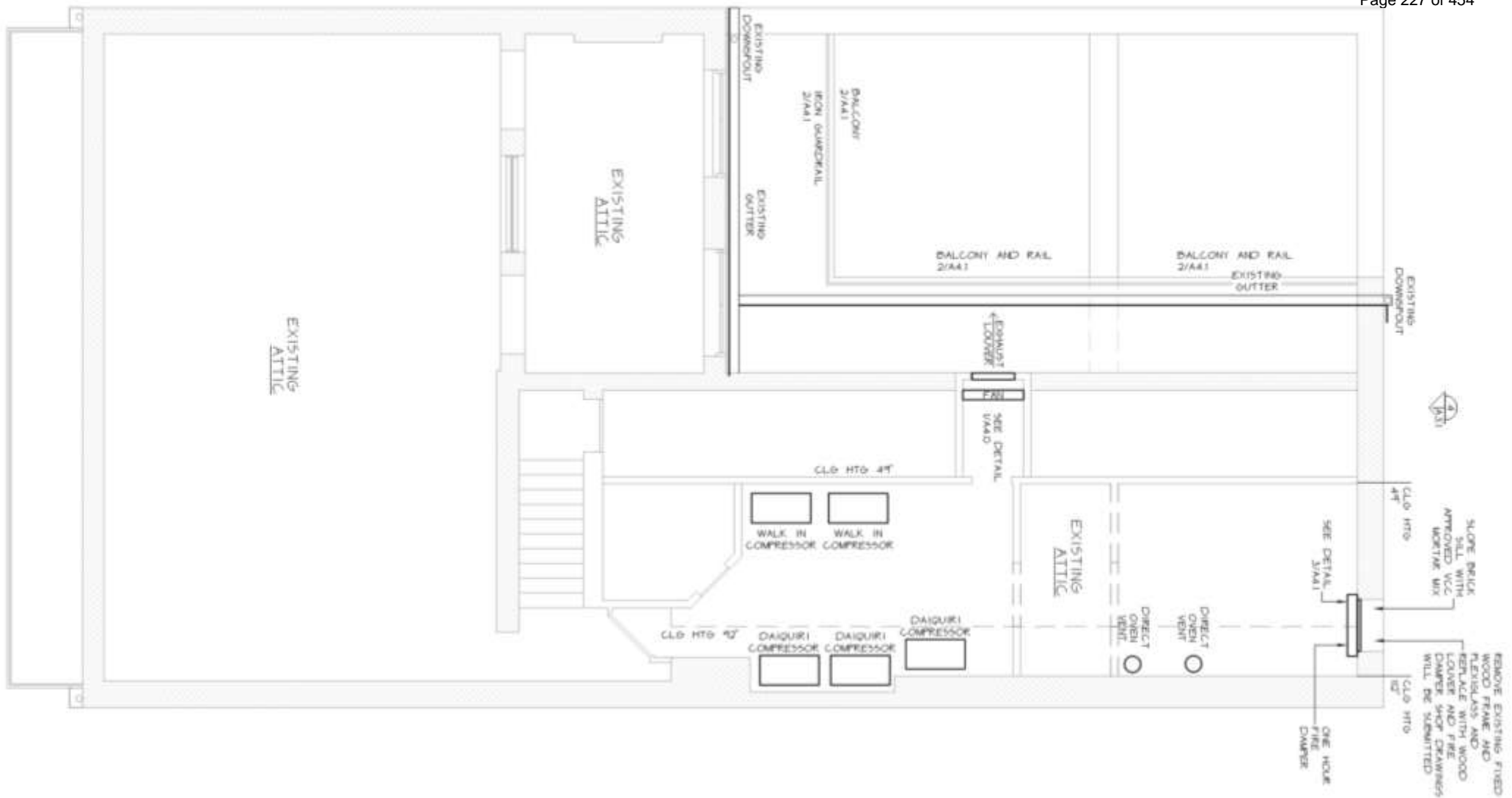
714 St. Peter

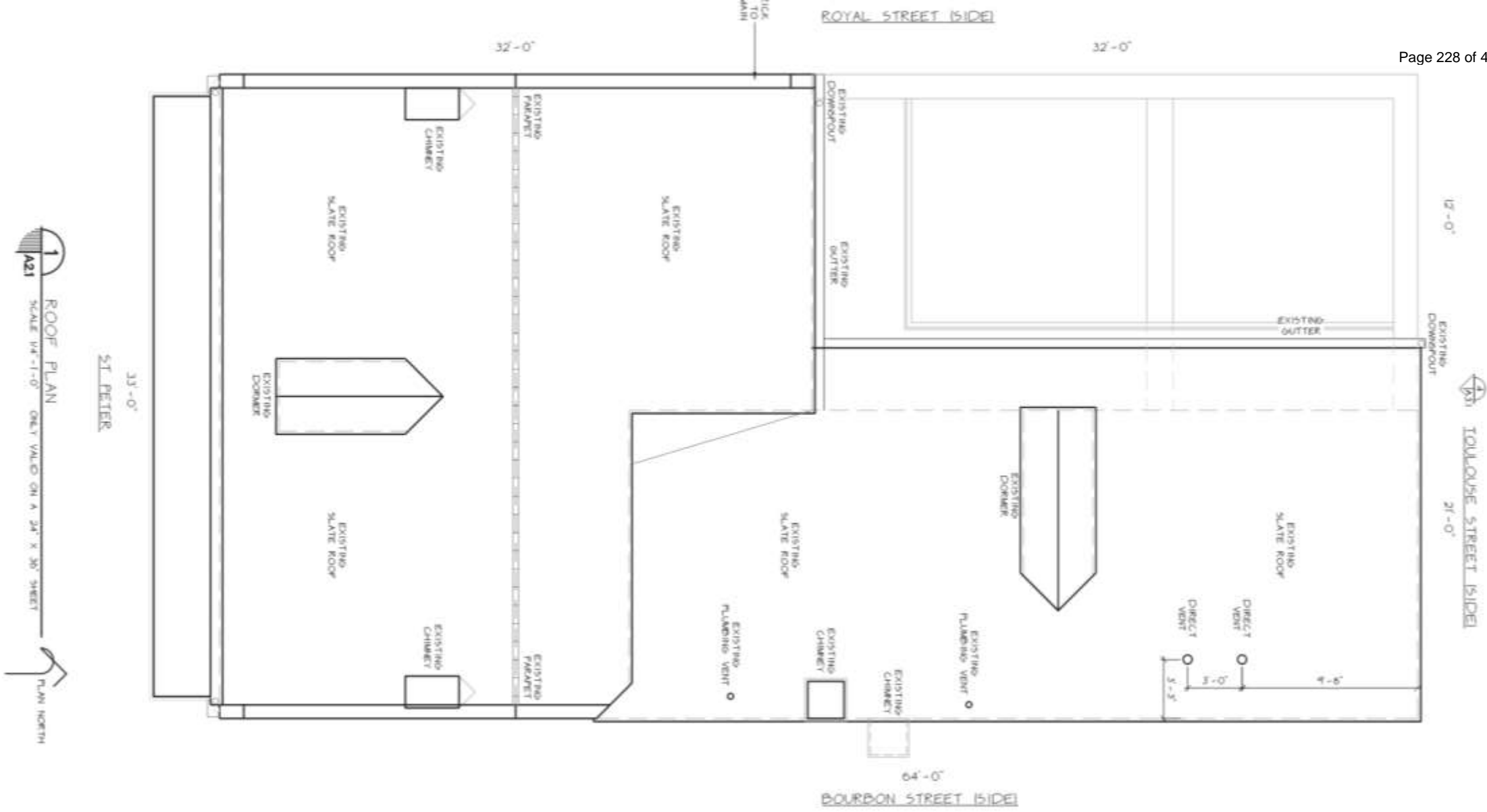
VCC Architectural Committee

July 13, 2021



2 ATTIC PLAN
 SCALE 1/4"=1'-0" ONE-T W/ALD ON A 24" X 30" SHEET
 PLAN NORTH



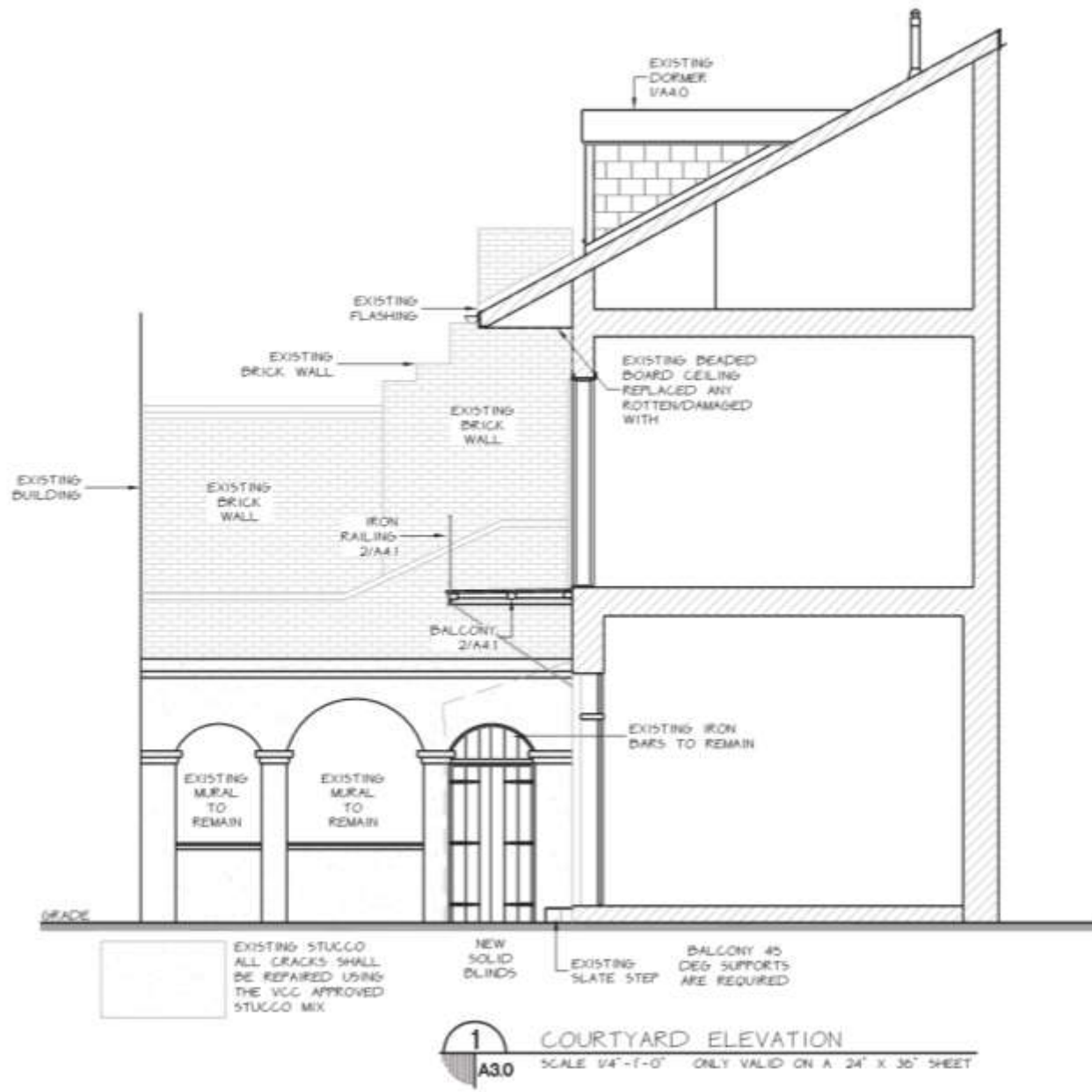


714 St. Peter

VCC Architectural Committee

July 13, 2021



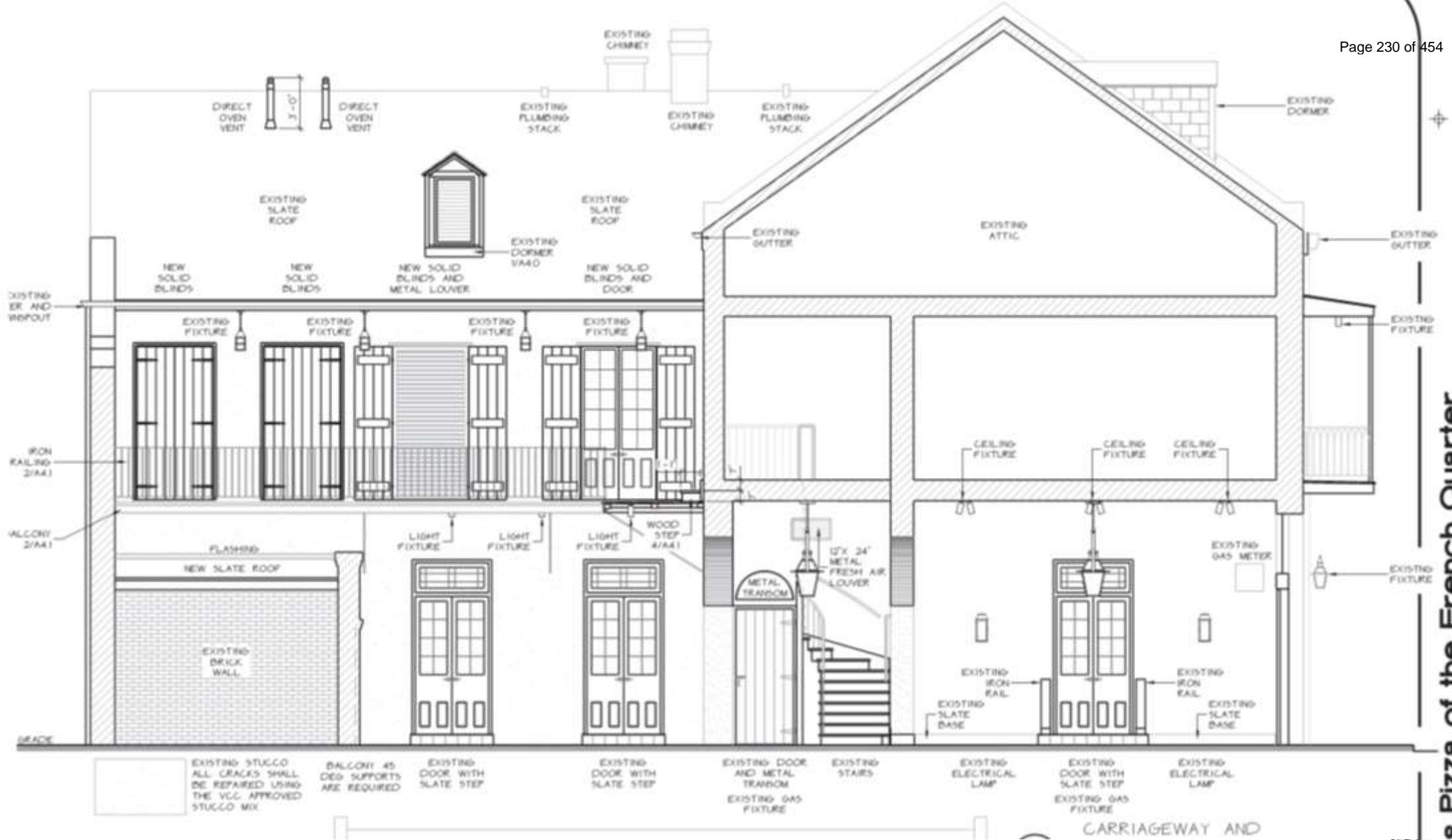


1
A30

COURTYARD ELEVATION

SCALE 1/4"=1'-0" ONLY VALID ON A 24" X 36" SHEET





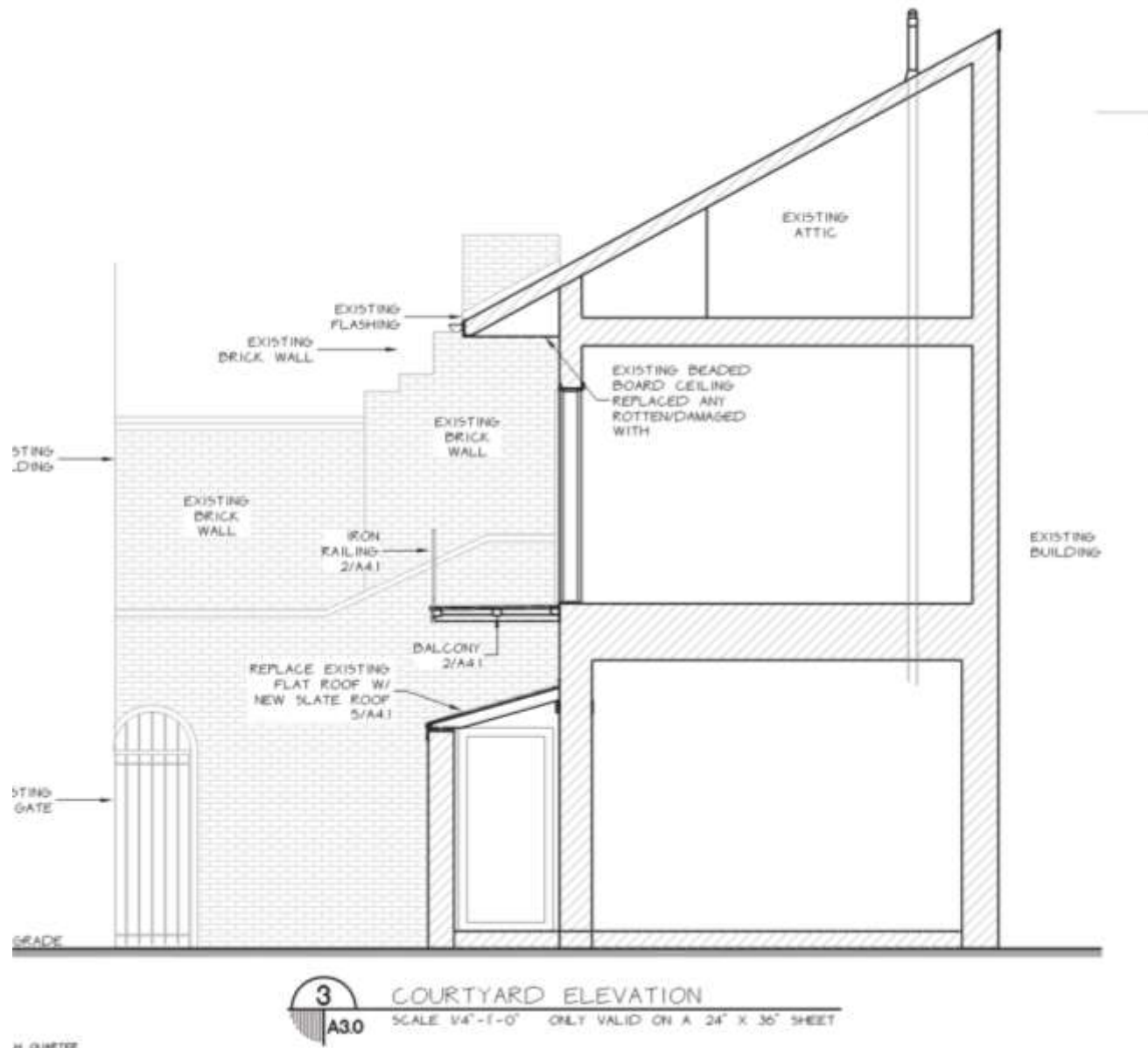
Pizza of the French Quarter

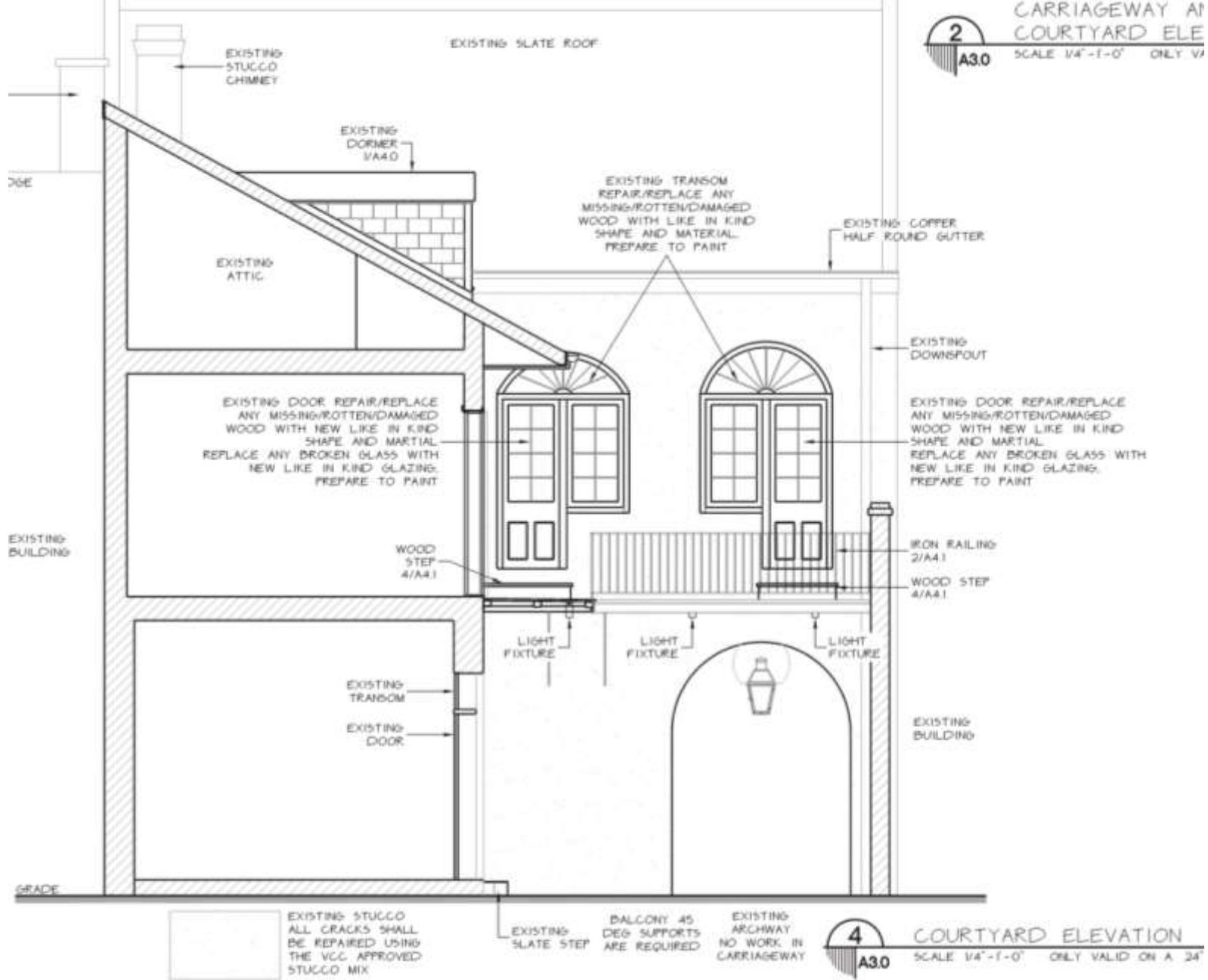
714 St. Peter

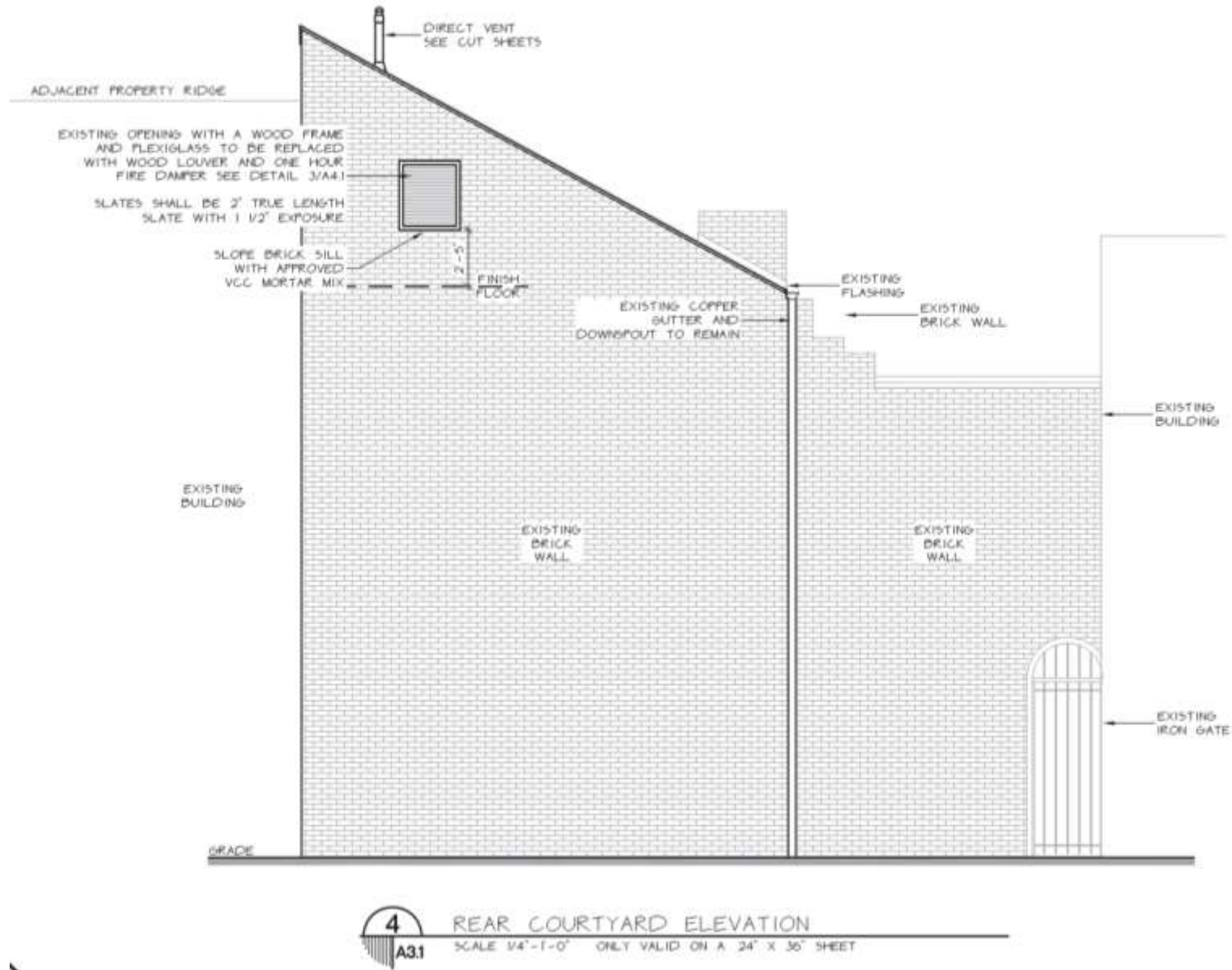
VCC Architectural Committee

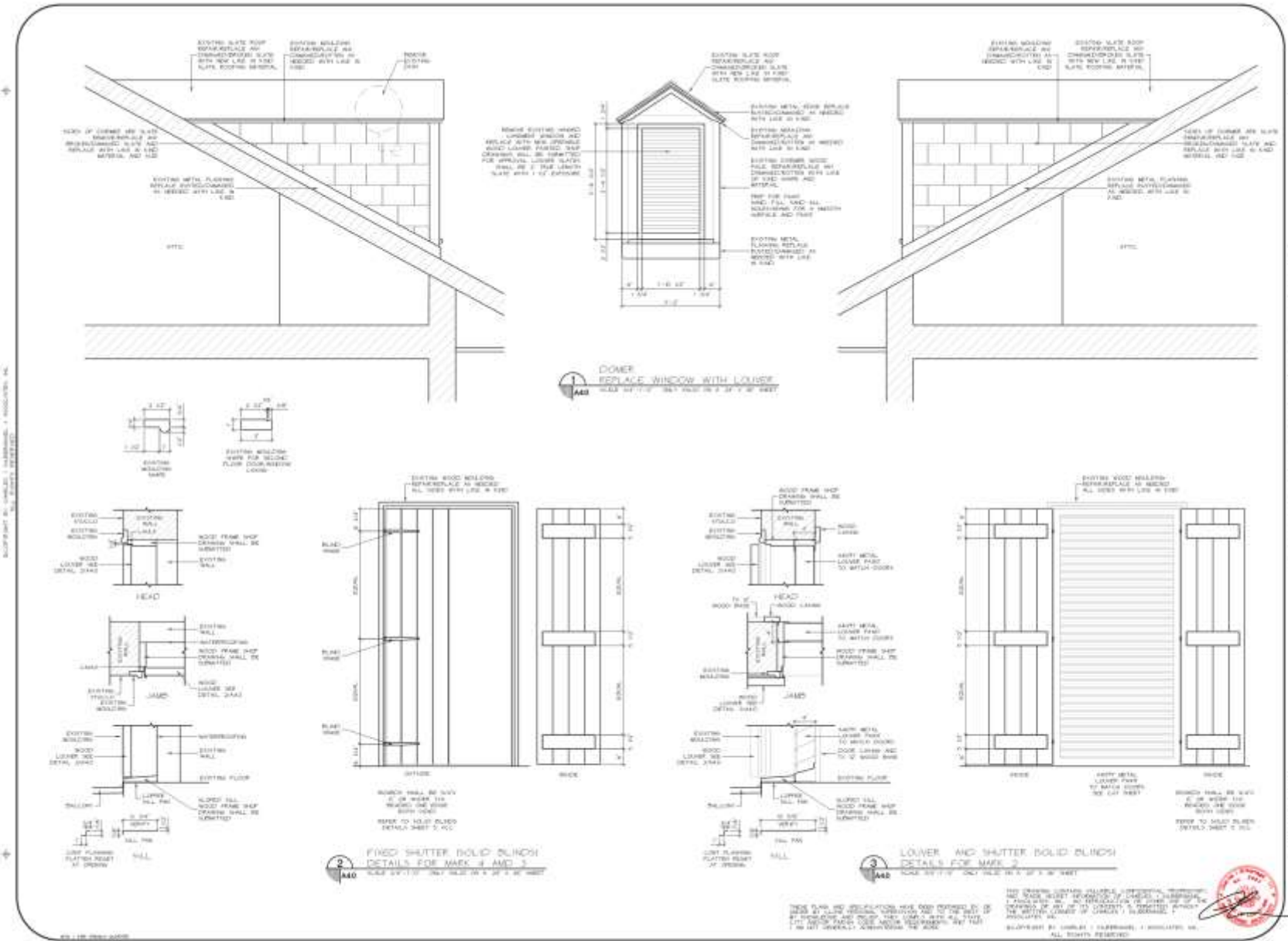
July 13, 2021











Fat Boys Pizza of the French Quarter
 714 St. Peter Street
 New Orleans, Louisiana

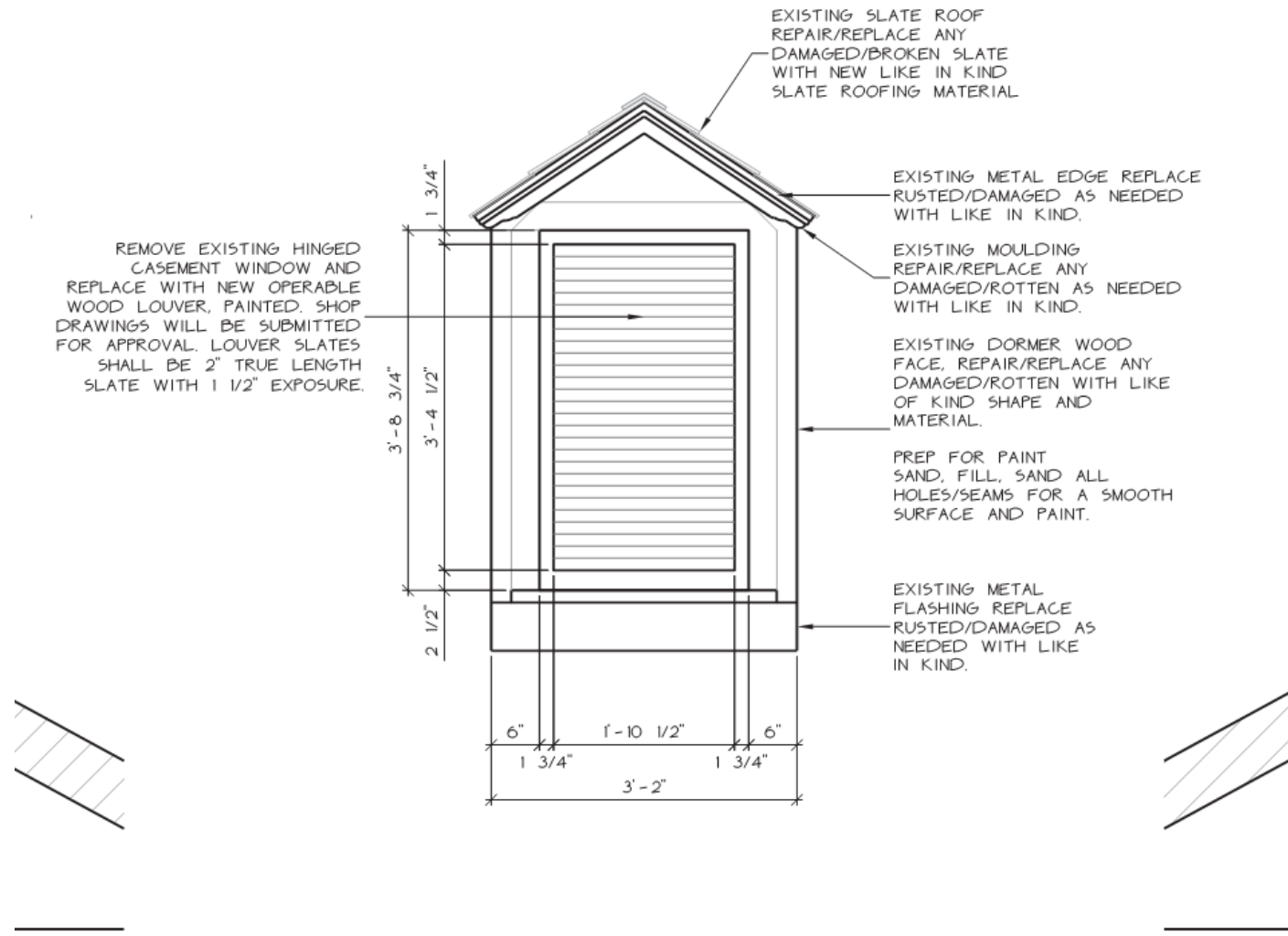
CIS Architects
 Metairie, Louisiana www.cisarchitects.com 504-454-3112



VCC Approval

DATE: 07/13/21
 PROJECT NO: 210
 DRAWN BY: E.A.
 CHECKED BY: C.H.
 SHEET
A 40

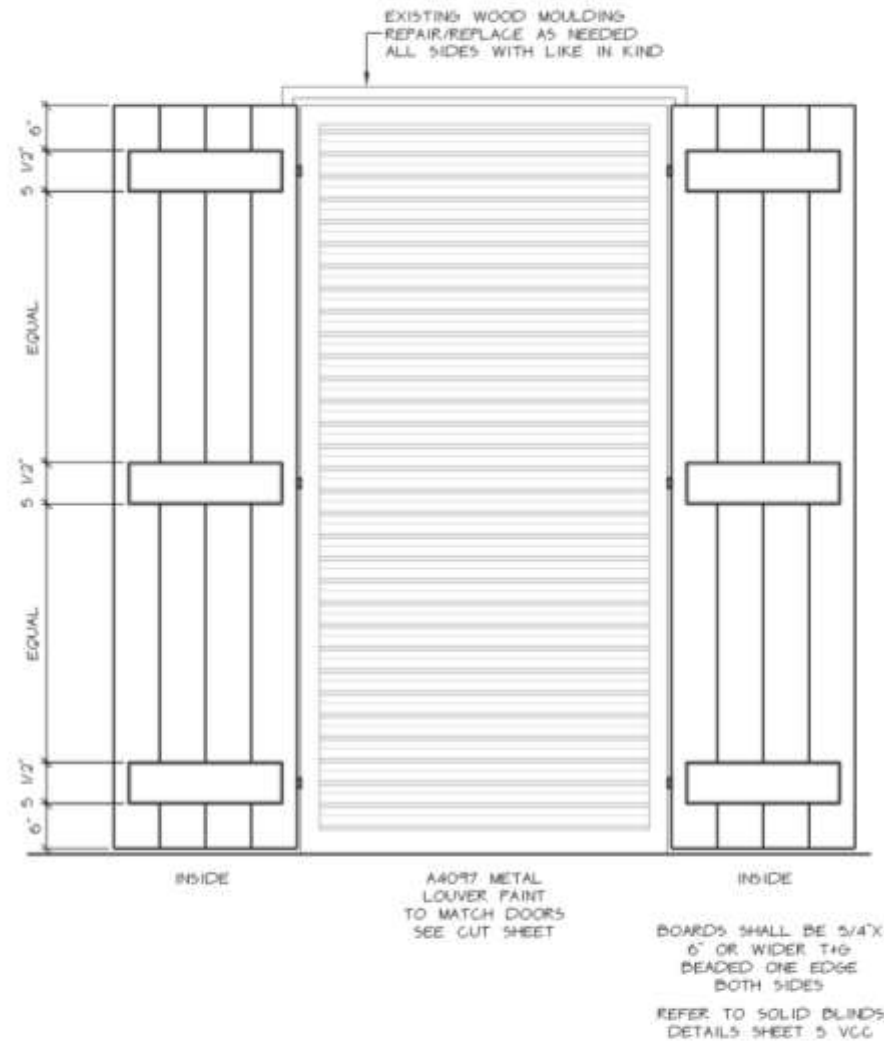
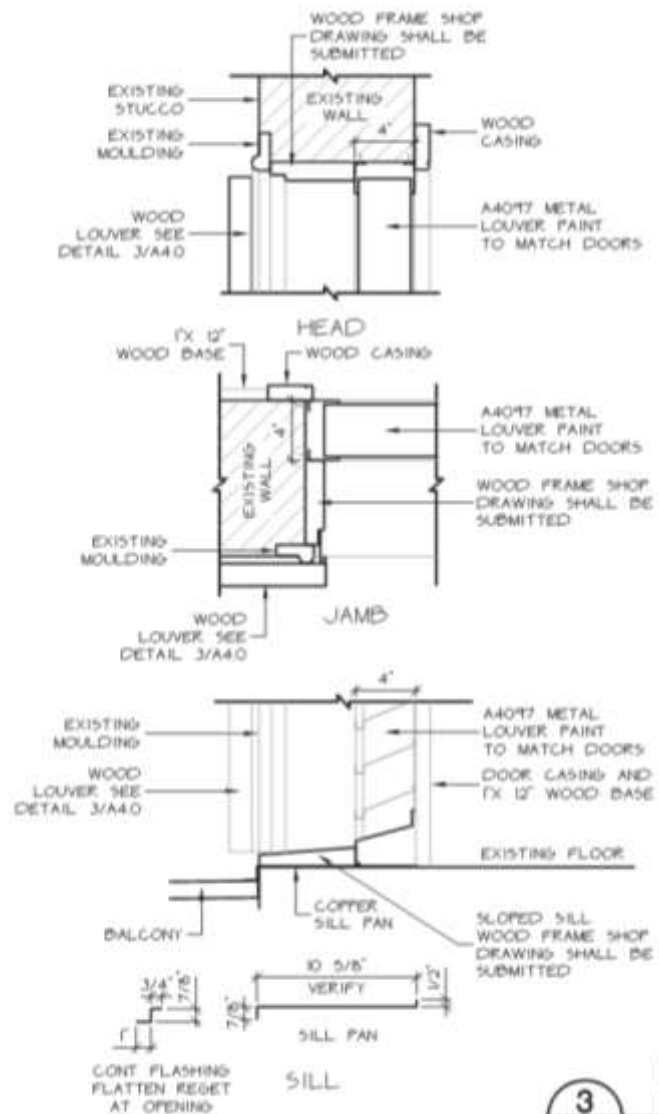




1
A4.0

DOMER
REPLACE WINDOW WITH LOUVER
SCALE 3/4"-1'-0" ONLY VALID ON A 24" X 36" SHEET

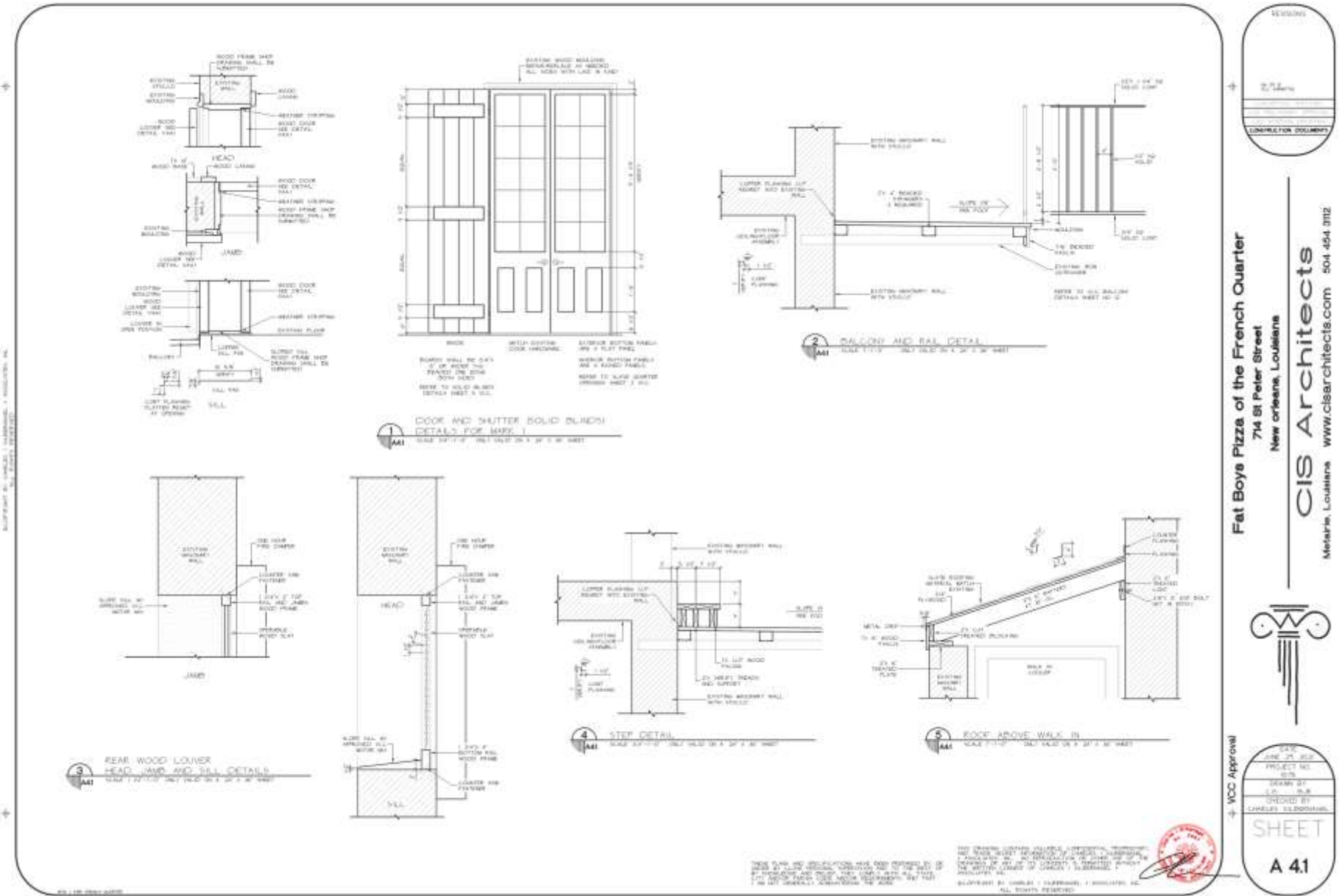


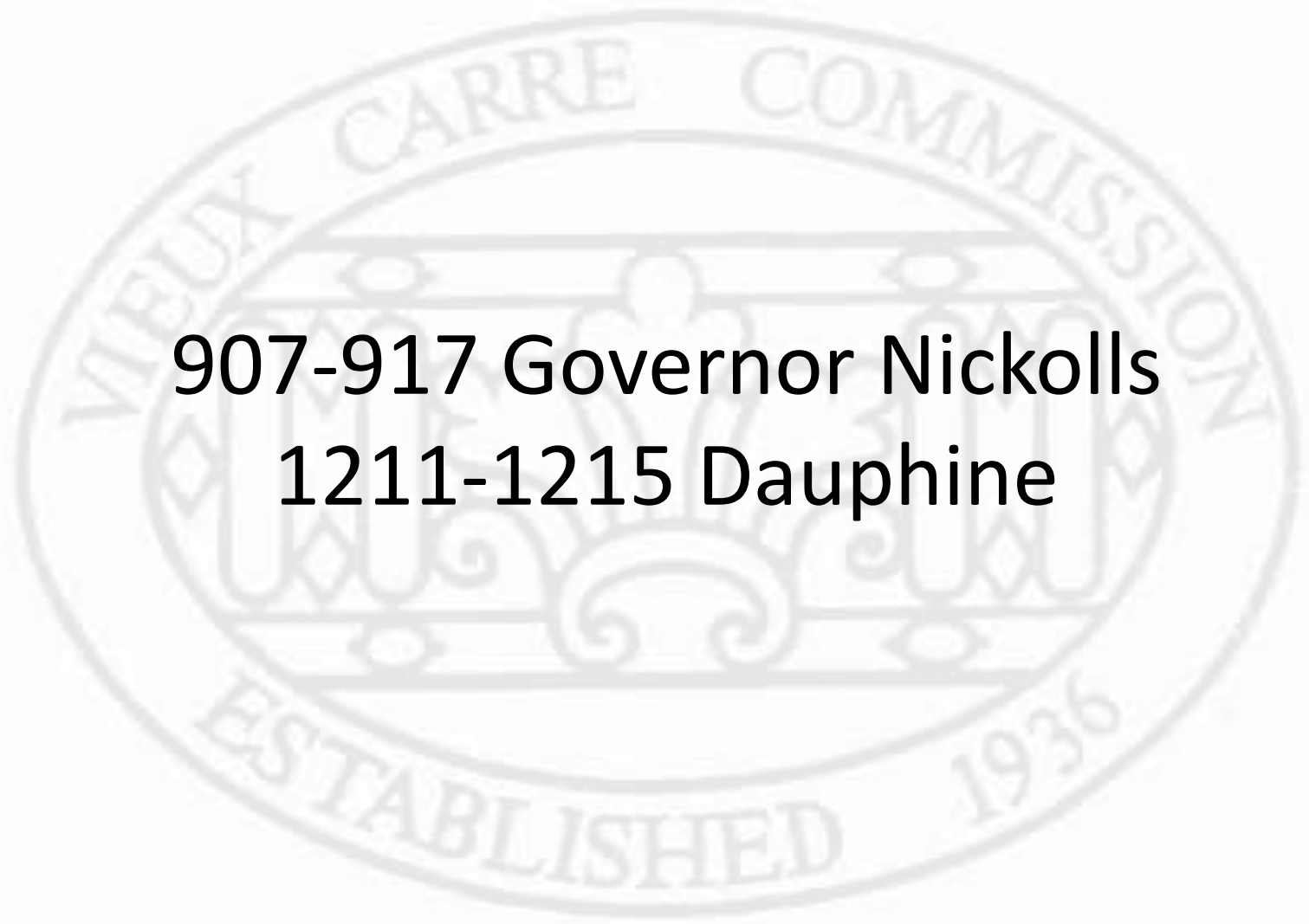


3
A40
LOU
DET
SCALE

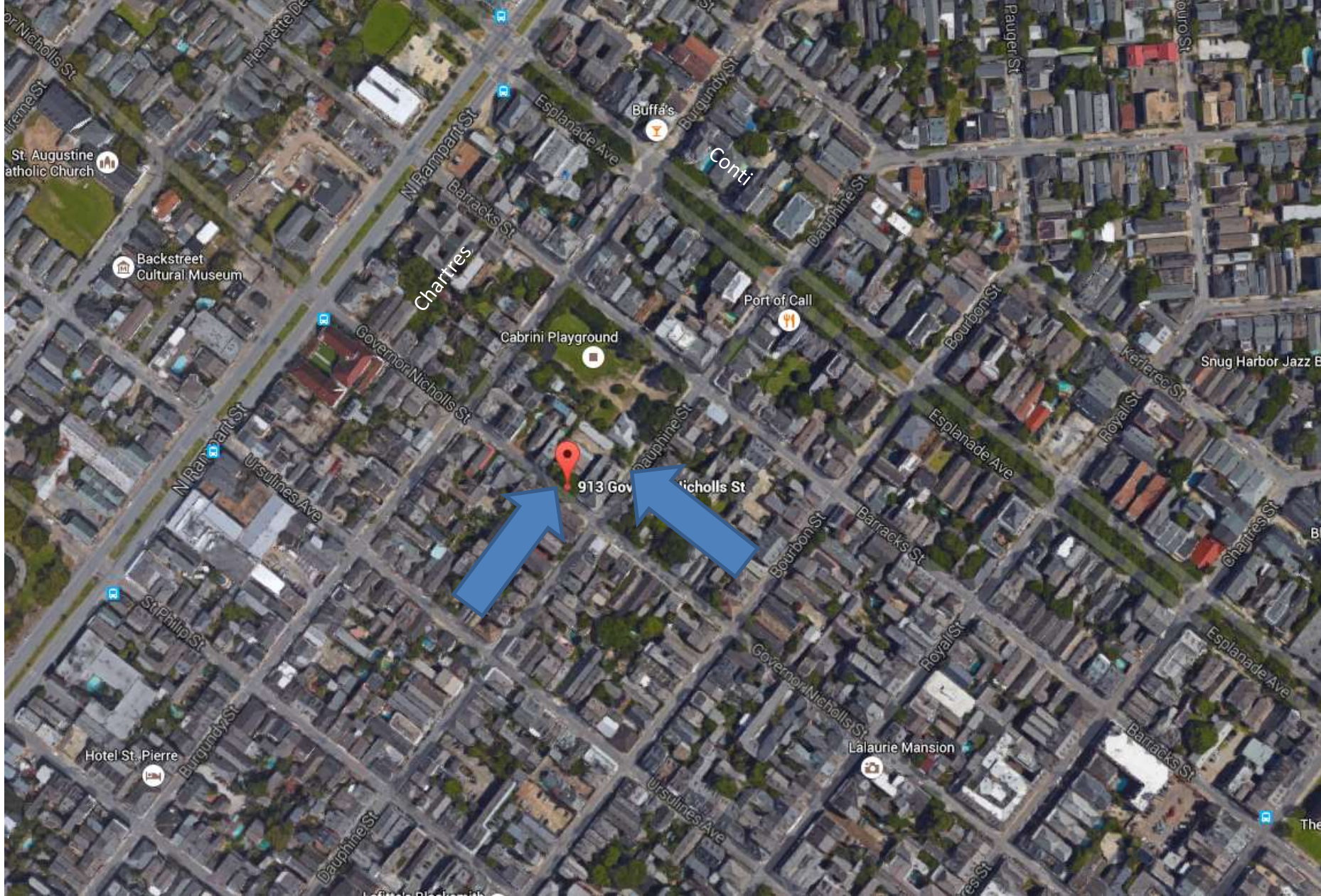
ER AND SHUTTER (SOLID BLINDS)
LS FOR MARK 2
4'-7'-0" ONLY VALID ON A 24" X 36" SHEET





The seal of the Vieux Carre Commission is a large, faint watermark in the background. It is an oval shape with a decorative border. The text "VIEUX CARRE COMMISSION" is written along the top inner edge, and "ESTABLISHED 1936" is written along the bottom inner edge. In the center of the seal is a heraldic crest featuring a crown on top, a shield with a central figure, and decorative flourishes below.

**907-917 Governor Nickolls
1211-1215 Dauphine**



907-17 Governor Nicholls





907-17 Governor Nicholls



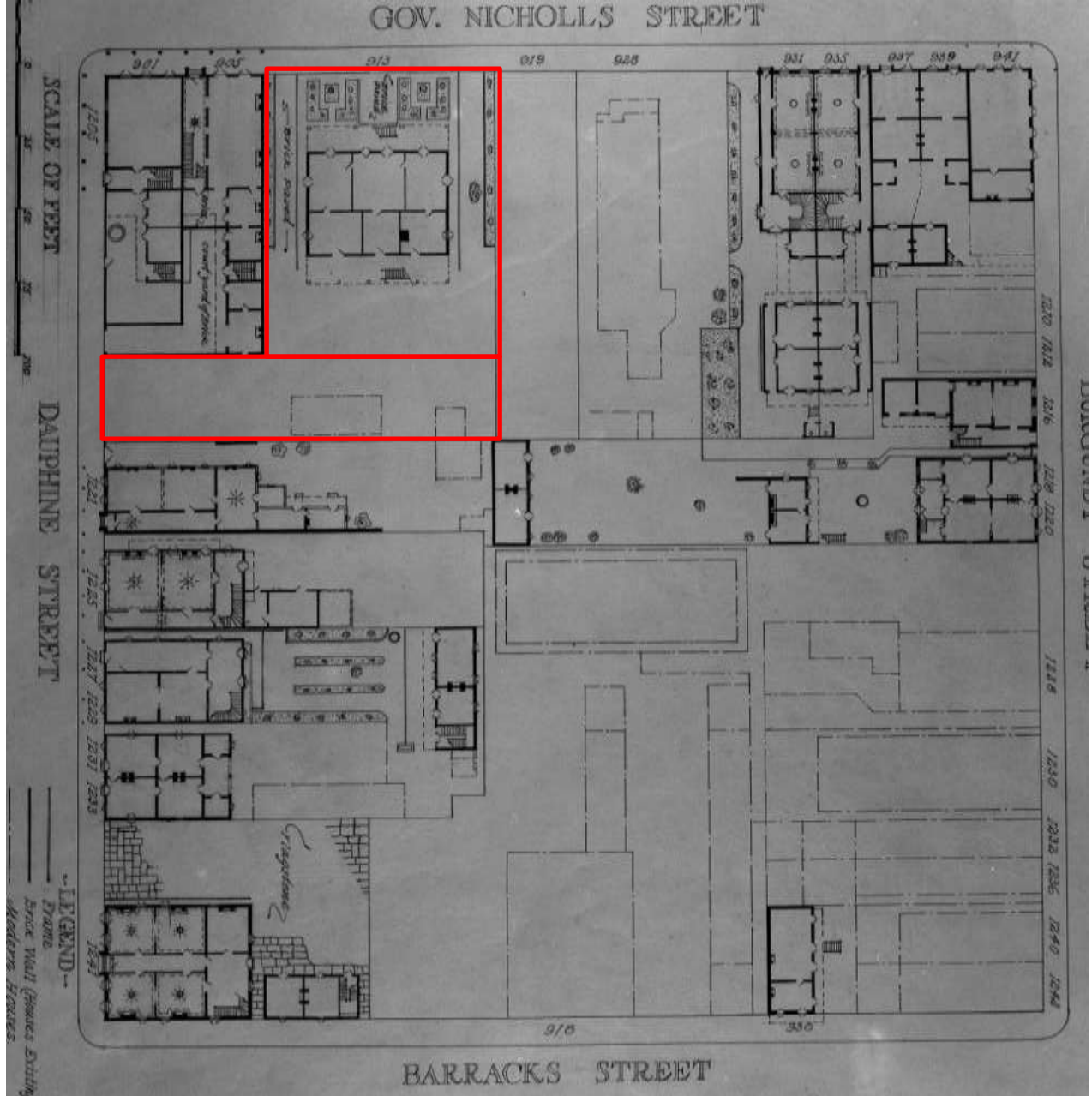


907-17 Governor Nicholls





907-17 Governor Nicholls



907-17 Governor Nicholls





907-17 Governor Nicholls (rear elevation)



907-17 Governor Nicholls



907-17 Governor Nicholls



1211-15 Dauphine

VCC Architectural Committee

July 13, 2021





1211-15 Dauphine





1211-15 Dauphine



913 GOVERNOR NICHOLLS STREET PHASE 2 RENOVATIONS & NEW CONSTRUCTION



BUILDING OWNER

GOV NICHOLS PROPERTIES LLC
3535 CANAL ST. NEW ORLEANS, LA 70119
CESAR@BURGOSLAWFIRM.COM

ARCHITECT

JOHN C. WILLIAMS ARCHITECTS LLC.
824 BARONNE ST NEW ORLEANS, LA 70113
(504) 566-0888
ASTEPHENS@WILLIAMSARCHITECTS.COM

MEP ENGINEER

PROFESSIONAL ENGINEERING SERVICES
DAMIEN SERAUSKAS
15 CYPRESS POINT LANE NEW ORLEANS, LA 70131
(504) 566-2600
DAMIENPE@COX.NET

STRUCTURAL ENGINEER

WALTER ZEHNER & ASSOCIATES INC
WALTER ZEHNER
4702 TOULOUSE ST
NEW ORLEANS, LA 70119
(504) 488-1442
walterzehner@msn.com



913 GOVERNOR NICHOLLS
913 Governor Nicholls St. New Orleans, LA 70116

VCC PERMIT REDLINE REVIEW SET - MARCH 2, 2018



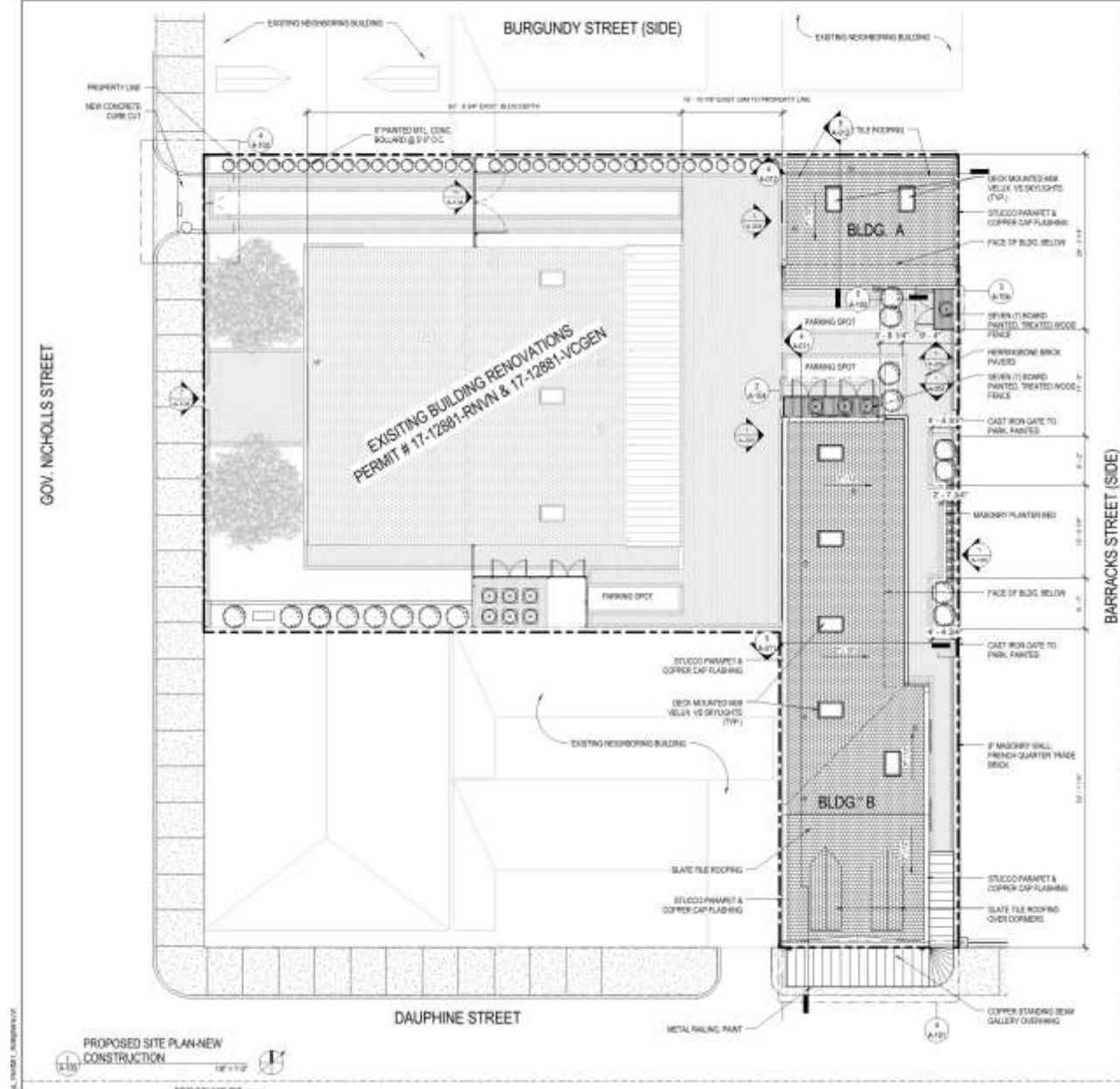
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913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



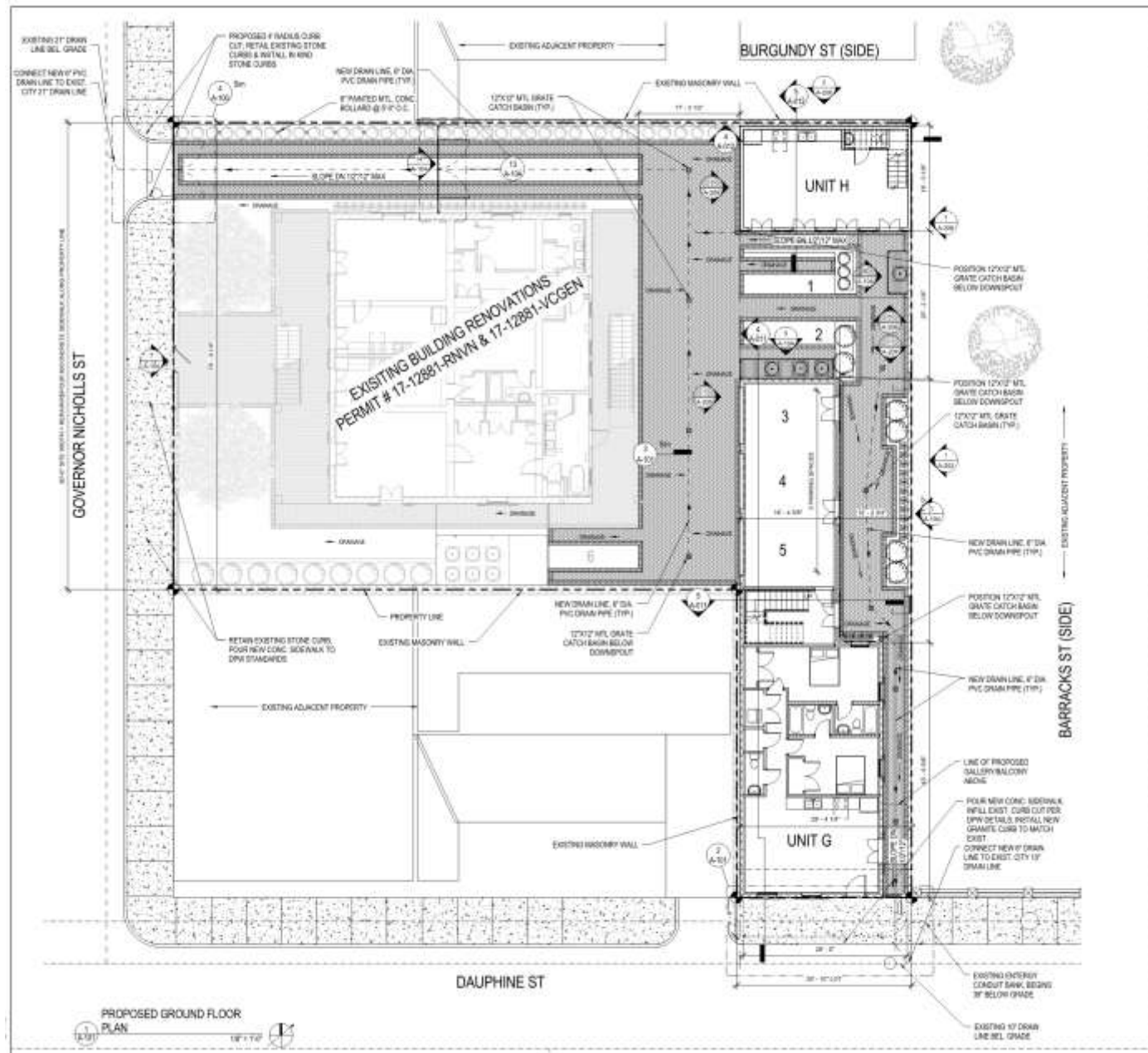


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



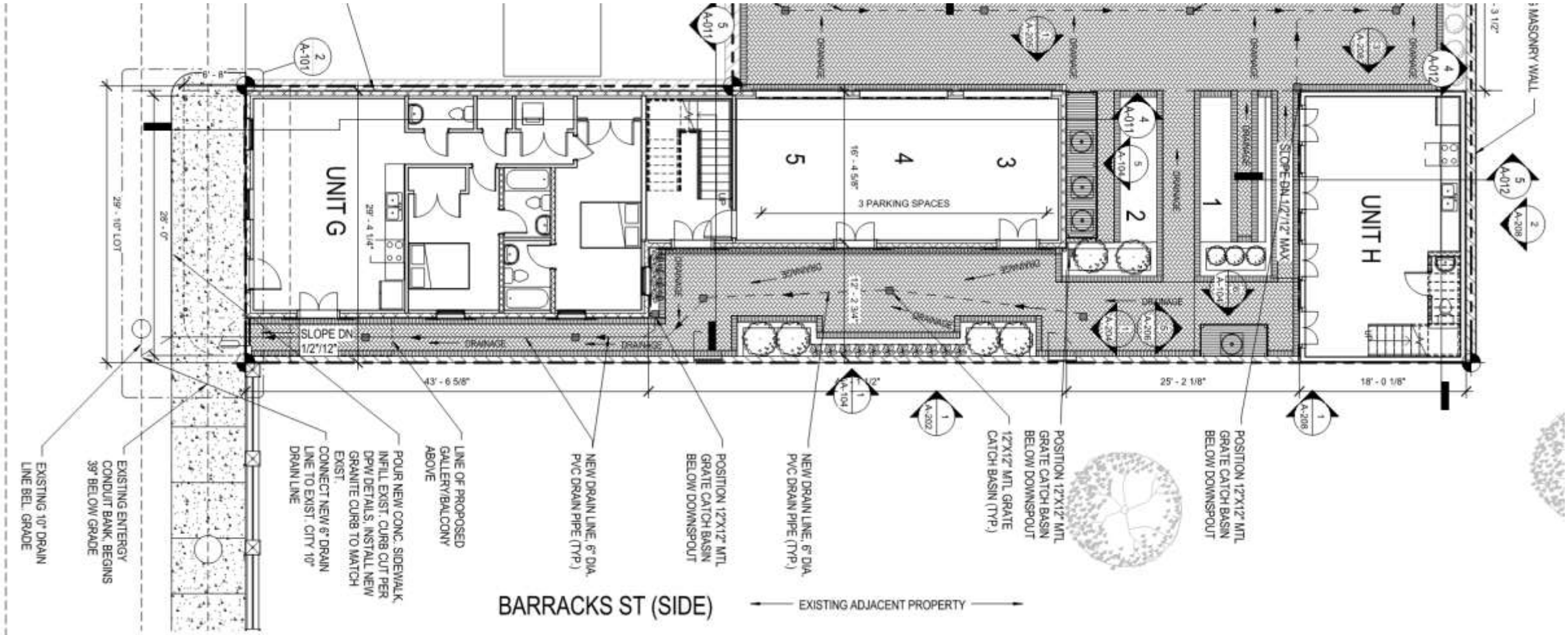


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



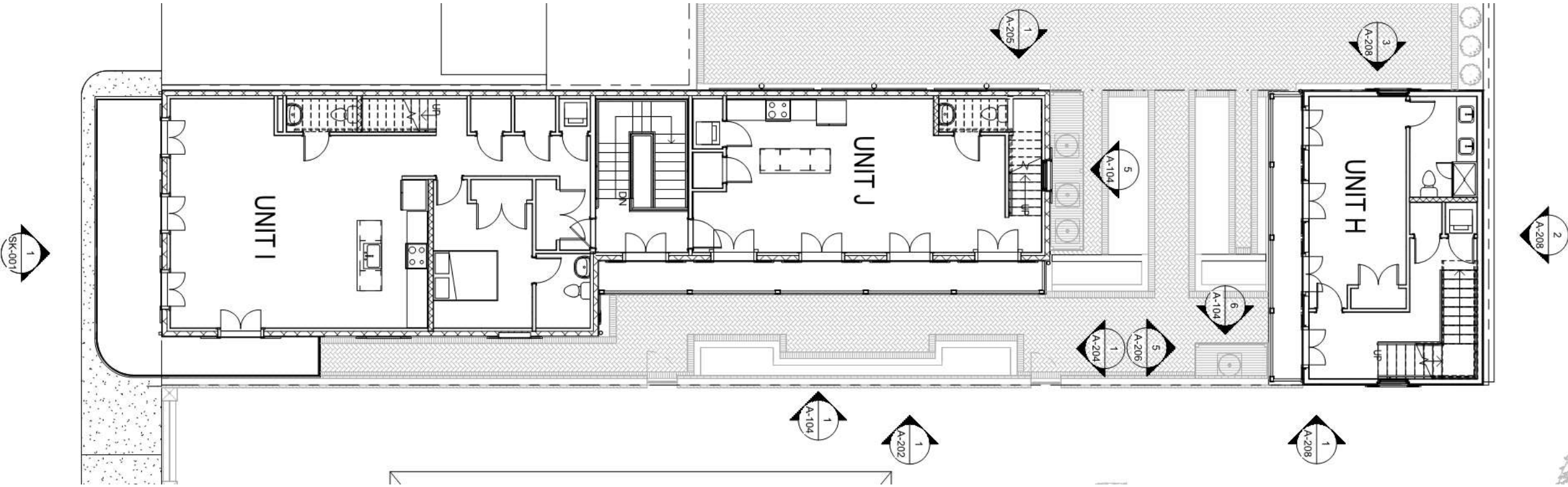


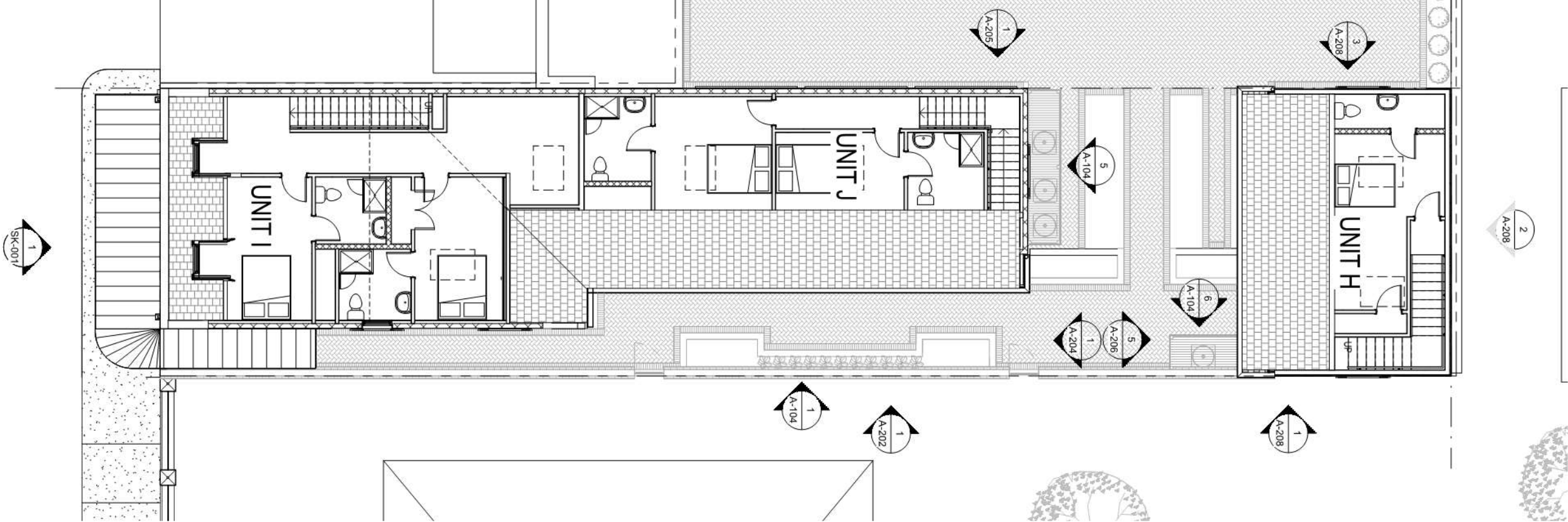
913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021





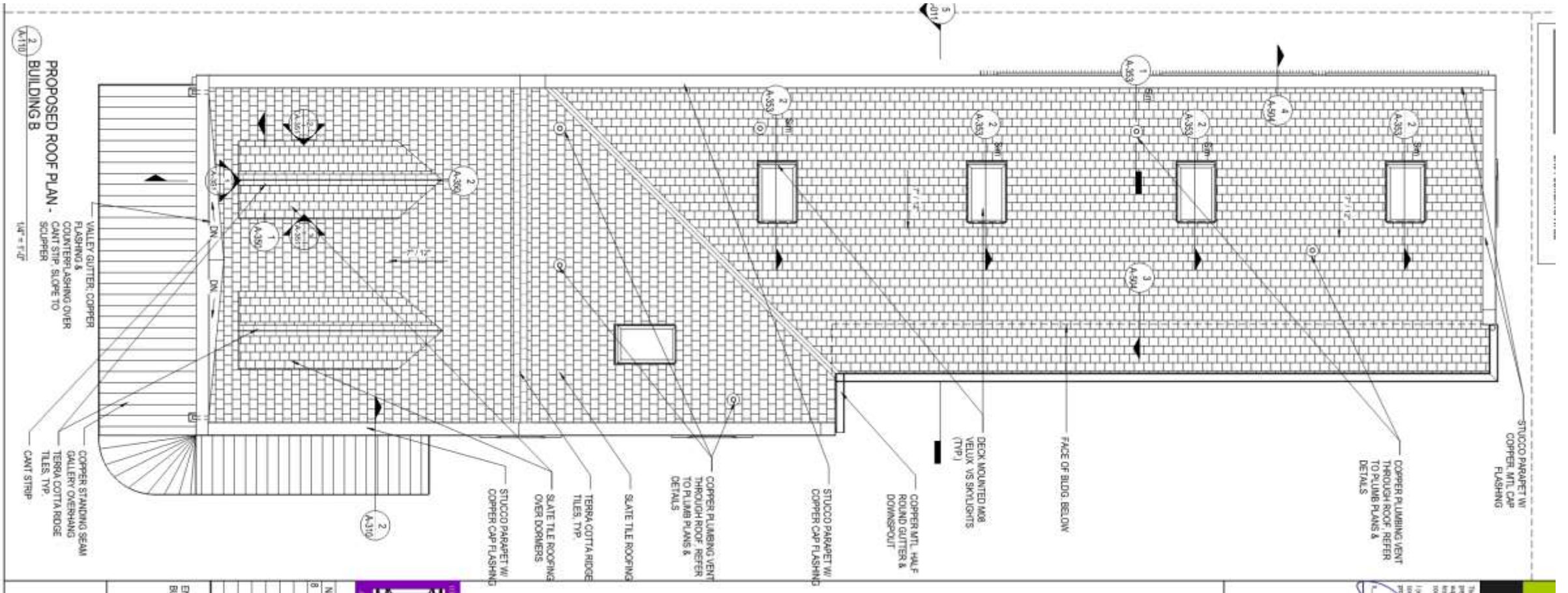


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021





FLOOR FINISHES

- 1. FLOOR FINISH WALL
- 2. EXTERIOR WALL
- 3. WALL
- 4. EXTERIOR WALL

PROPOSED SECOND FLOOR PLAN - BUILDING A

PROPOSED ROOF PLAN - BUILDING A

PROPOSED FIRST FLOOR PLAN - BUILDING A

PROPOSED THIRD FLOOR PLAN - BUILDING A

913 GOVERNOR NICHOLLS
913 Governor Nicholls St, New Orleans, LA 70116

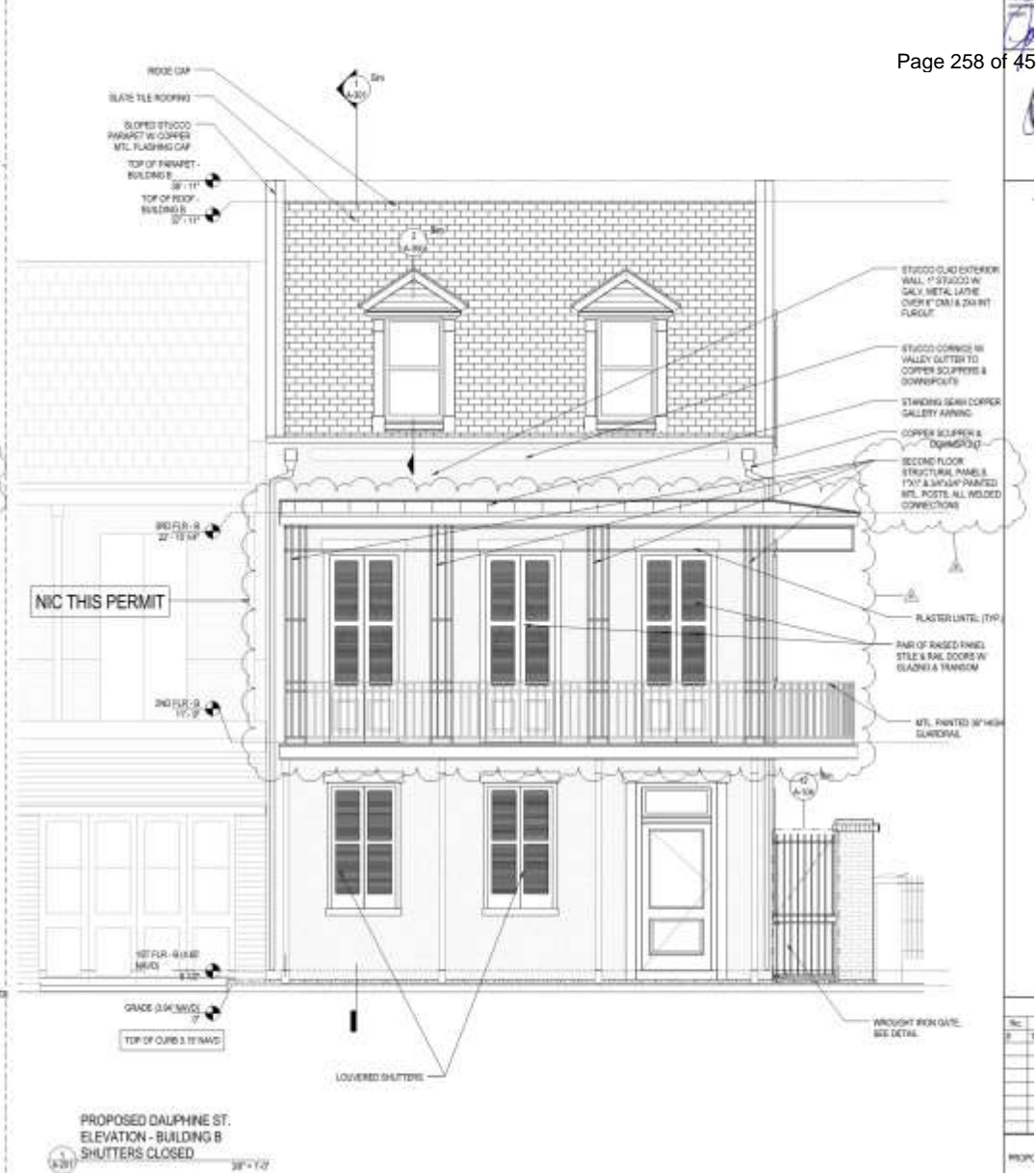
A-111

913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021





PROPOSED DAUPHINE ST. ELEVATION - BUILDING B 3/8\"/>

PROPOSED DAUPHINE ST. ELEVATION - BUILDING B SHUTTERS CLOSED 3/8\"/>

913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



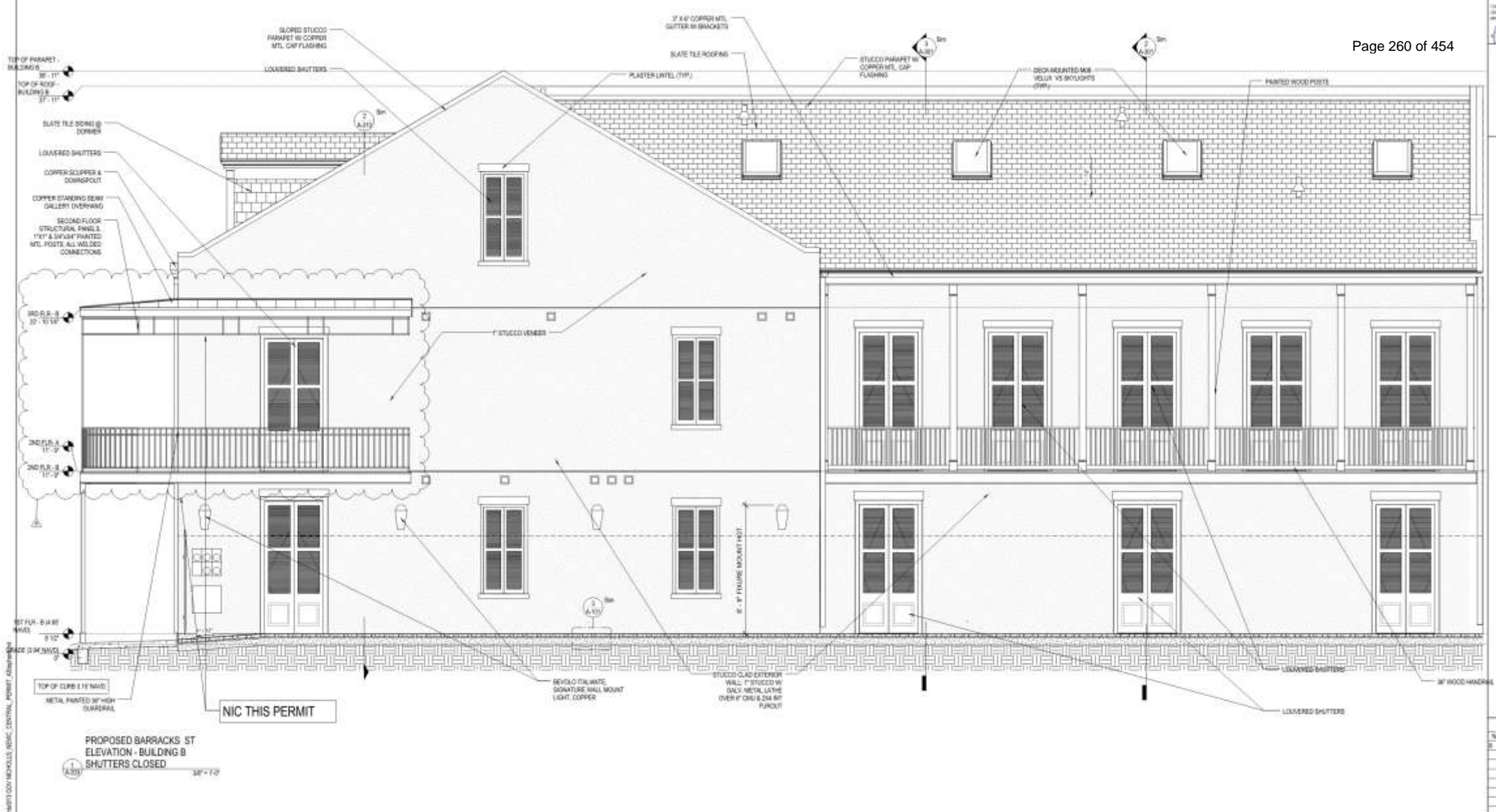


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



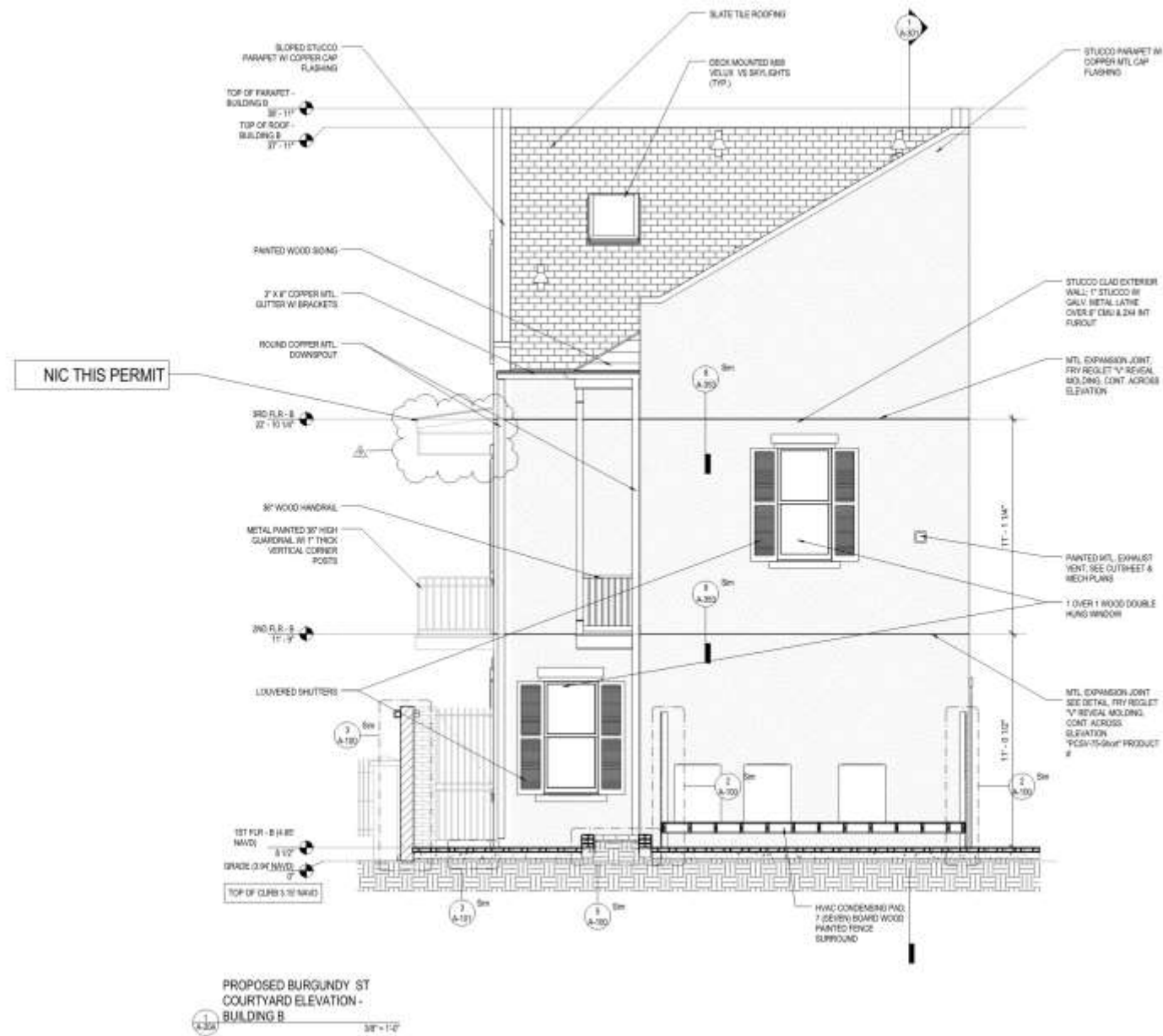


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



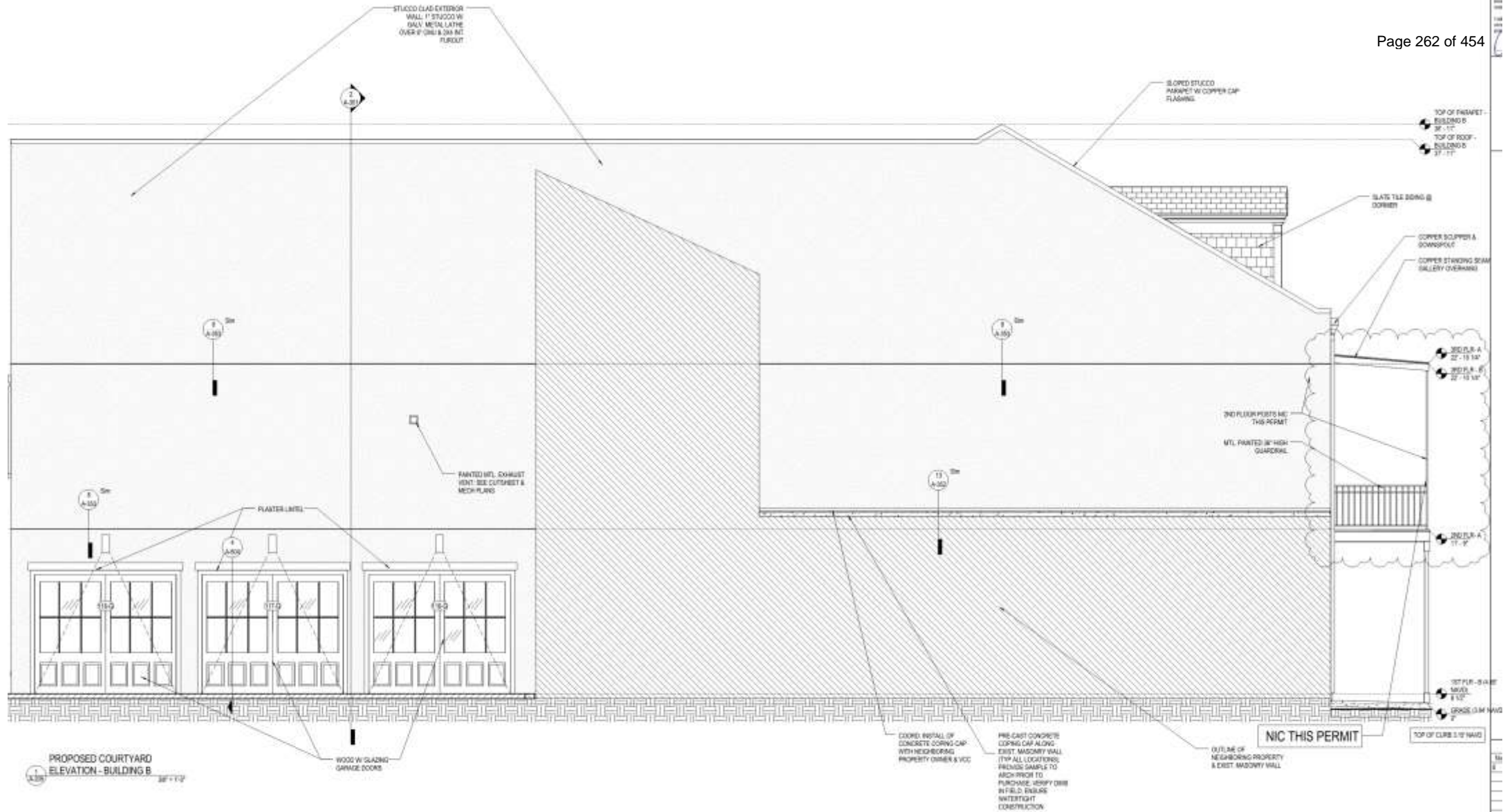


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



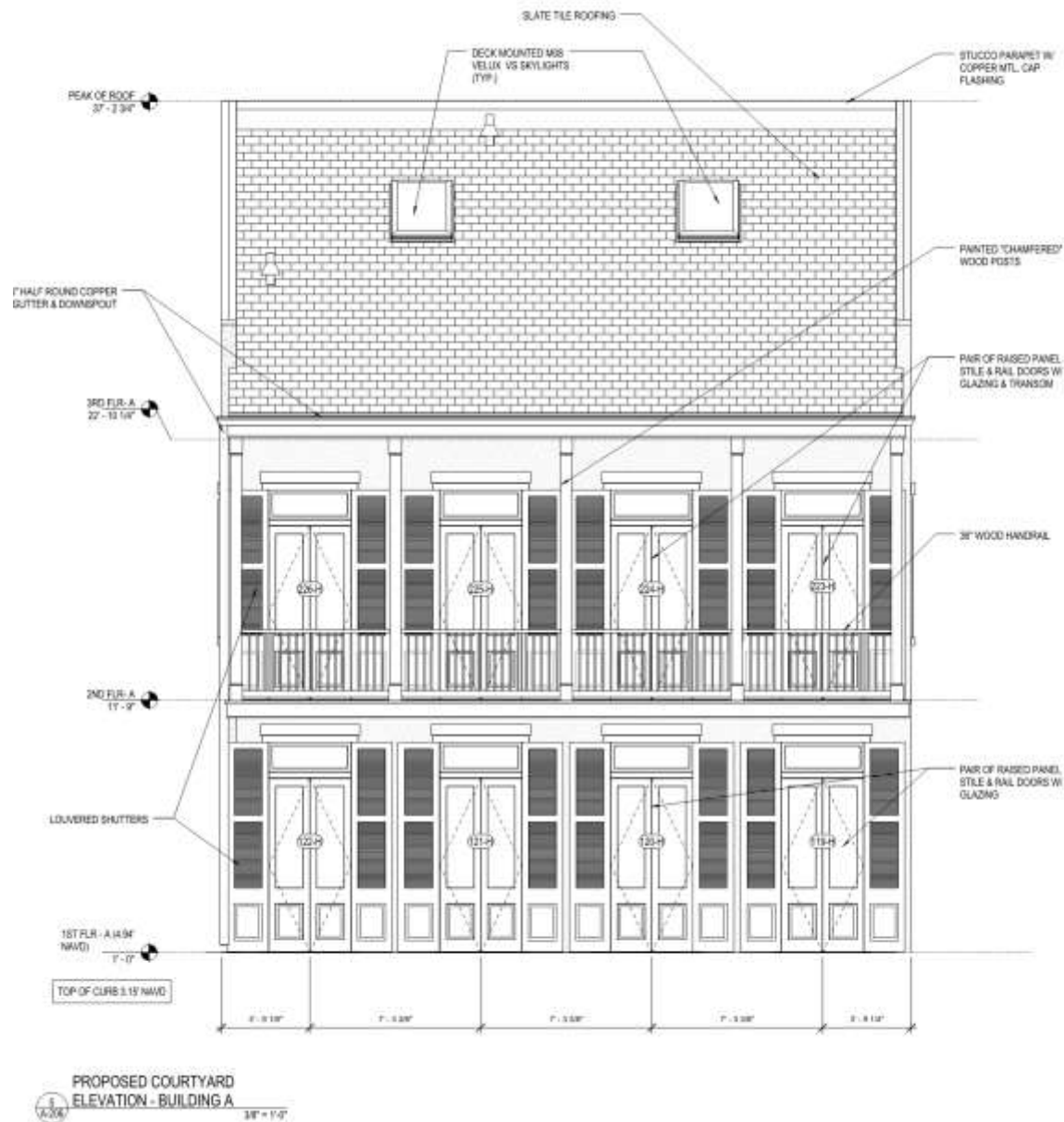


913 Gov. Nicholls, 1211-15 Dauphine

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July 13, 2021



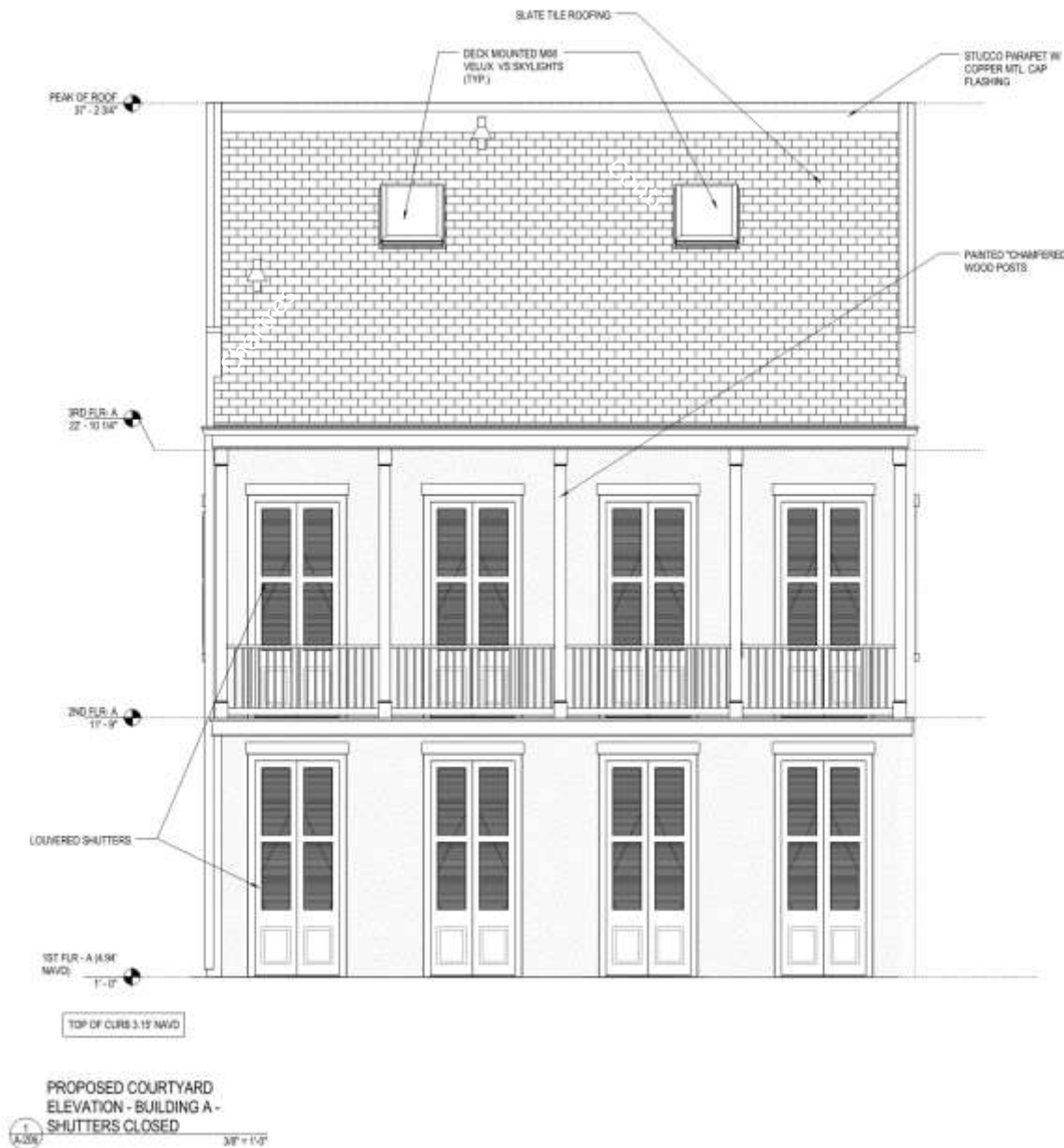


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



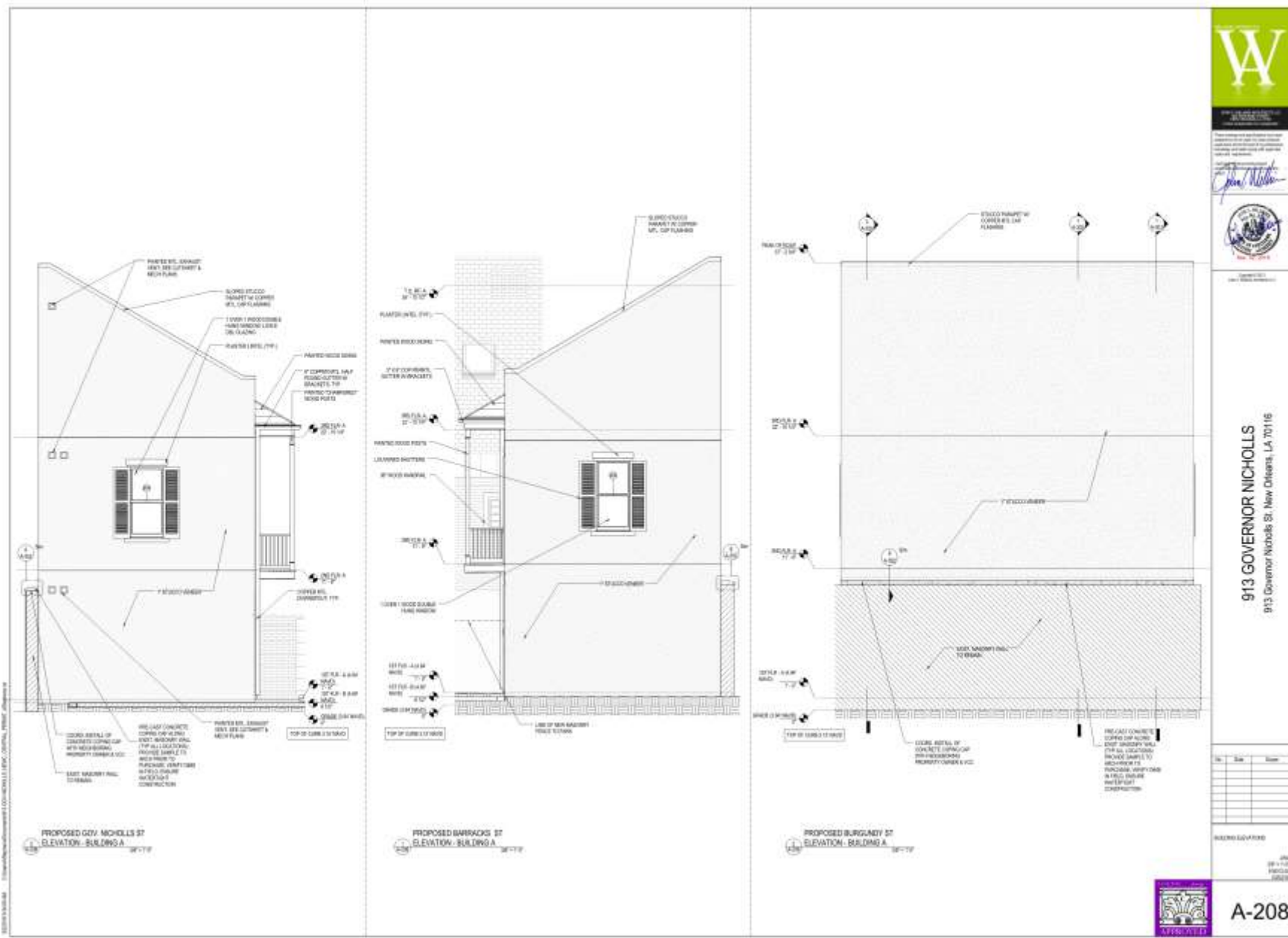


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021



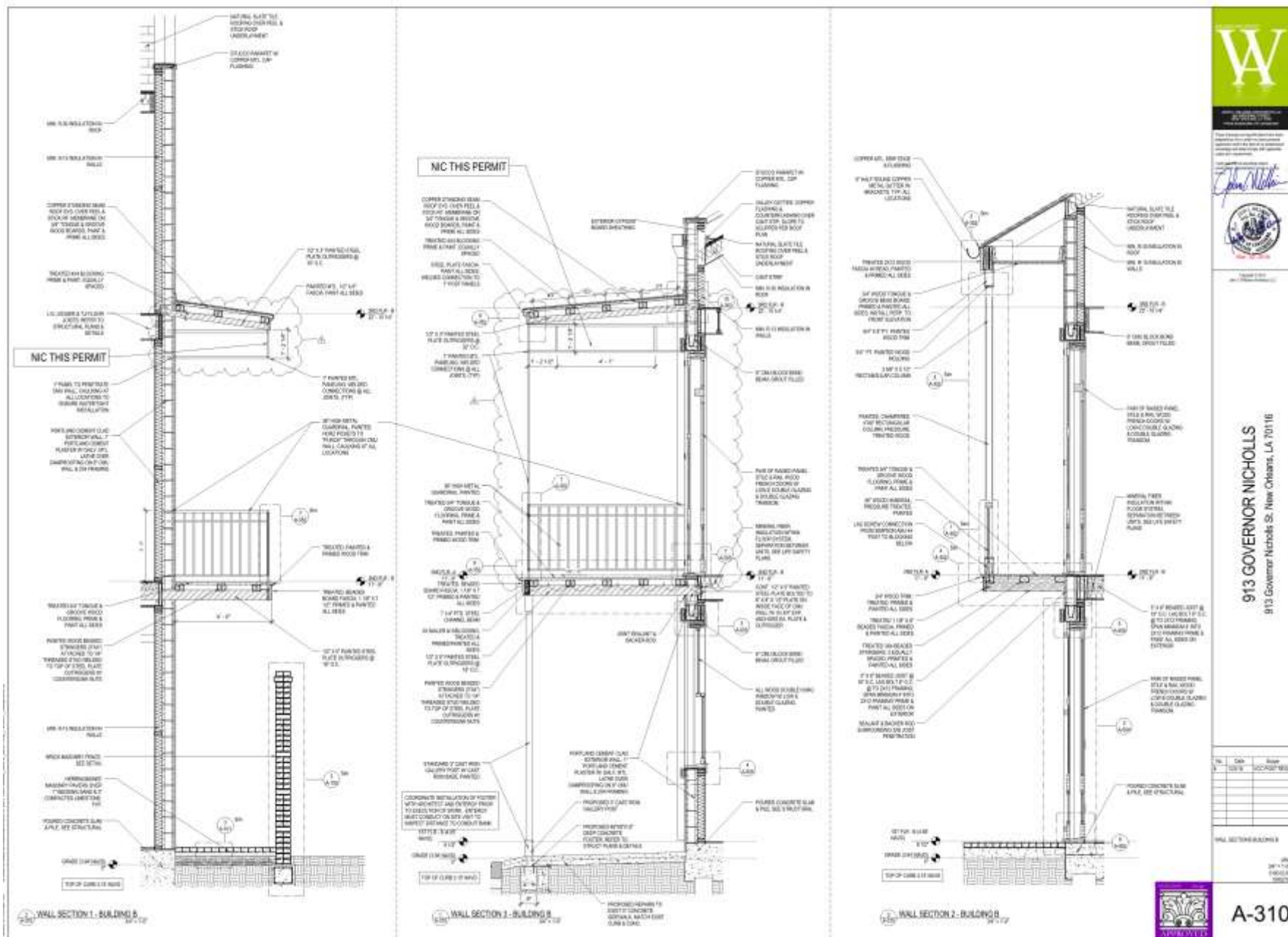


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021





JOHN W. MILLER

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

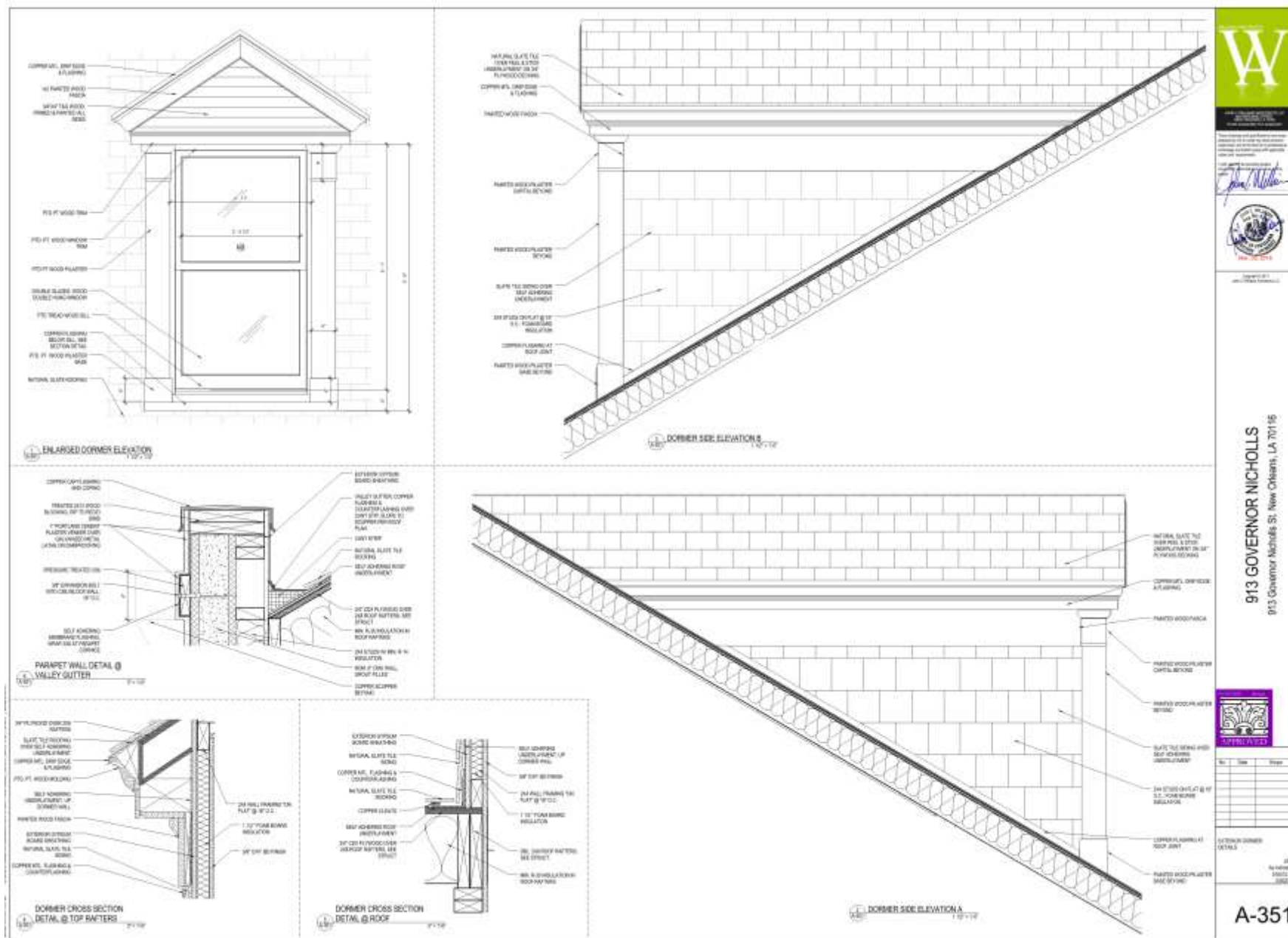
No.	DATE	DESCRIPTION

A-310

913 Gov. Nicholls, 1211-15 Dauphine
 VCC Architectural Committee

July 13, 2021





913 GOVERNOR NICHOLLS
913 Governor Nicholls St., New Orleans, LA 70116

APPROVED

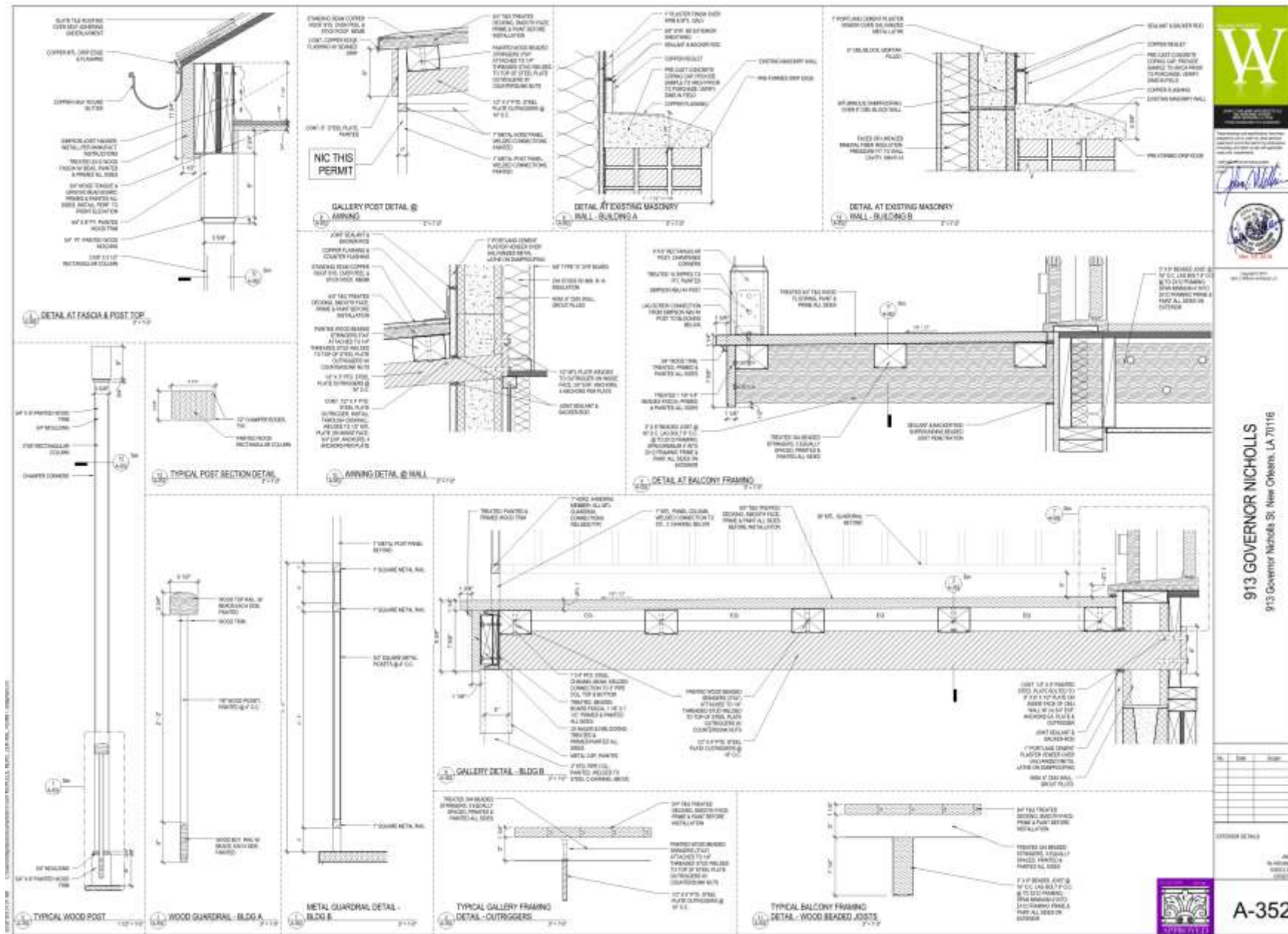


913 Gov. Nicholls, 1211-15 Dauphine

VCC Architectural Committee

July 13, 2021





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913 Governor Nicholls St, New Orleans, LA 70116

913 GOVERNOR NICHOLLS
913 Governor Nicholls St, New Orleans, LA 70116

A-352



DOOR TYPE DA
EXTERIOR DOOR TYPE

DOOR TYPE DB

DOOR TYPE DC

DOOR TYPE DD

DOOR DA - FRONT ELEVATION SECTION BOX

DOOR DB - FRONT ELEVATION SECTION BOX

DOOR DC - SIDE ELEVATION SECTION BOX

DOOR TYPE KEYNOTES

- ① DOUBLE GLAZE, LOW-E GLASS
- ② OPERABLE LOUVERED SHUTTER W/ CONTROL RODS, PAINT
- ③ CAST IRON ACME SHUTTER HINGES, FIELD VERIFY THROW
- ④ 6" X 2" THICK STUCCO BAND, EXTEND 2" PAST FACE OF OPENING, TYP.
- ⑤ WOOD DOOR W/ DOUBLE GLAZING, PAINTED, RECESS IN EXTERIOR WALL
- ⑥ BRICK MOULD
- ⑦ STUCCO FINISH
- ⑧ EXTERIOR WALL TYPE: 1" STUCCO W/ GALV. MTL. LATHE OVER 6" CMU & 2x4 INTERIOR FRAMING

DOOR WINDOW, AND SHUTTER GENERAL NOTES

1. ALL GLAZING IN WINDOWS AND DOORS TO BE BLACK FRAME CLEAR
2. PROVIDE GLAZING DETAILS TO OWNER AND ACCEPT FOR ALL OTHER REQUIREMENTS TO SPECIFICATIONS
3. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SCHEDULE, TO INCLUDE FOR MATERIAL AND FINISH, PANEL, TRANOM, SHUTTER, OPERABLE DOORS & WINDOW TYPE, WINDOW APPROVED BY ALL PARTIES WITH PROOF TO ARCHITECT
4. GENERAL CONTRACTOR TO PROVIDE DOOR WINDOW, ALL ACCESSORY PARTS AND FINISHES WITH UP TO ARCHITECT & ALL FOR REVIEW AND APPROVAL FROM CONTRACTOR
5. ALL INTERIOR AND EXTERIOR DOORS TO BE SHUTTERED, INSULATED AND FINISH TO ARCHITECT & ALL FROM CONTRACTOR
6. GENERAL CONTRACTOR TO PROVIDE SHUTTER THRESHOLD, SHUTTER DOOR AND WINDOW HINGE TO ALL OR IN DOORS OPERABLE LEFT FOR DOOR & WINDOW TO WALL OR WINDOW
7. GENERAL CONTRACTOR TO COORDINATE ALL ACCESSORY PARTS AND FINISHES WITH UP TO ARCHITECT & ALL FROM CONTRACTOR
8. GENERAL CONTRACTOR TO COORDINATE ALL MATERIALS AND FINISHES WITH UP TO ARCHITECT & ALL FROM CONTRACTOR
9. GENERAL CONTRACTOR TO PROVIDE OPERATIONAL DETAILS AND ACCESSORIES AND FINISHES TO ARCHITECT & ALL FROM CONTRACTOR
10. GENERAL CONTRACTOR TO PROVIDE OPERATIONAL DETAILS AND ACCESSORIES AND FINISHES TO ARCHITECT & ALL FROM CONTRACTOR

RENDERINGS OF DOORS ARE TO PROVIDE 3D DESIGN INTENT OF DOOR TYPES, GENERAL CONTRACTOR TO UTILIZE DOOR TYPE ELEVATIONS, DOOR SCHEDULE, SECTIONS, DETAILS AND EXTERIOR ELEVATIONS FOR SPECIFIC DESIGN AND WILL SUPERSEDE RENDERINGS.

913 GOVERNOR NICHOLLS
913 Governor Nicholls St. New Orleans, LA 70116

A-501

913 Gov. Nicholls, 1211-15 Dauphine

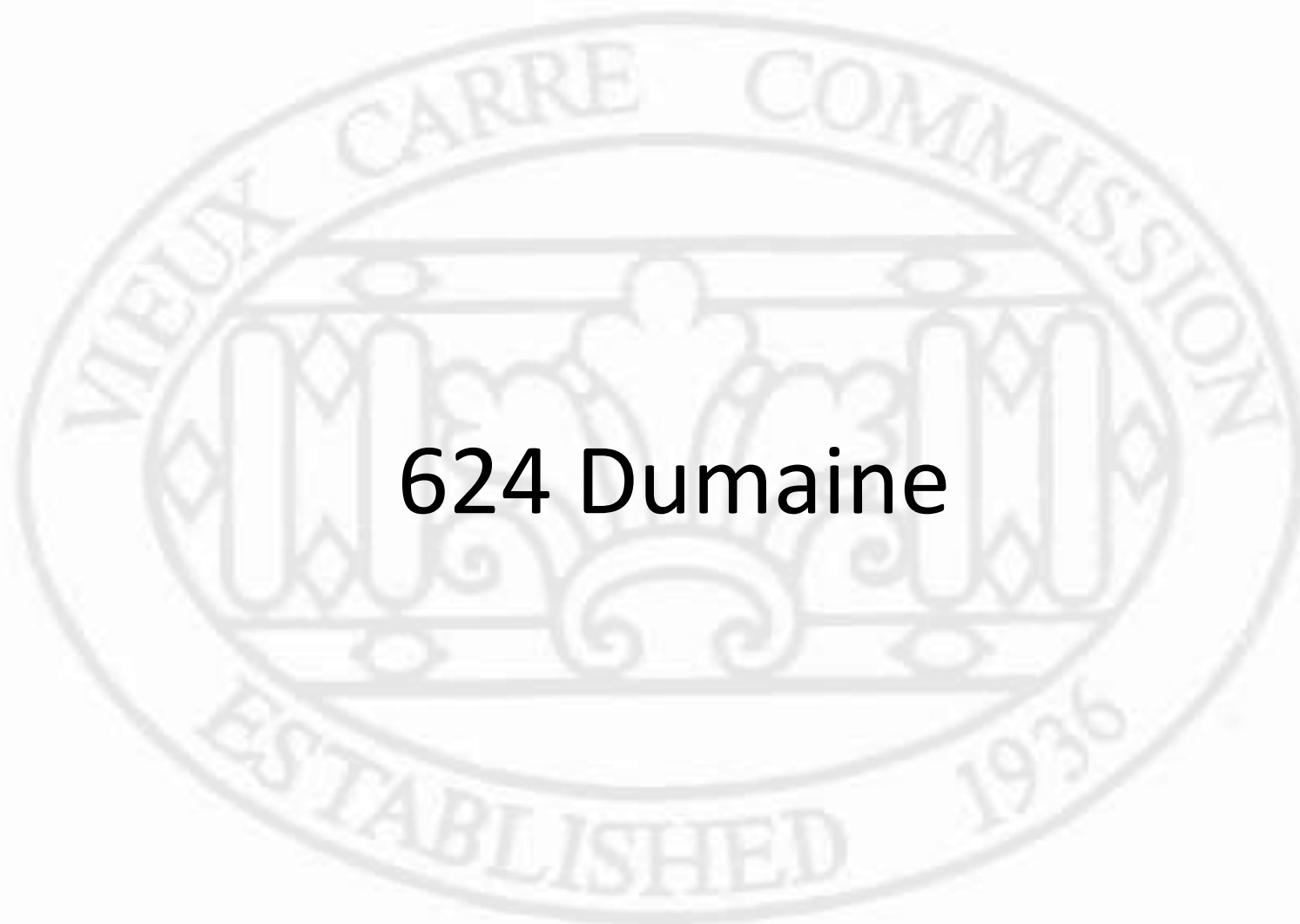
VCC Architectural Committee

July 13, 2021

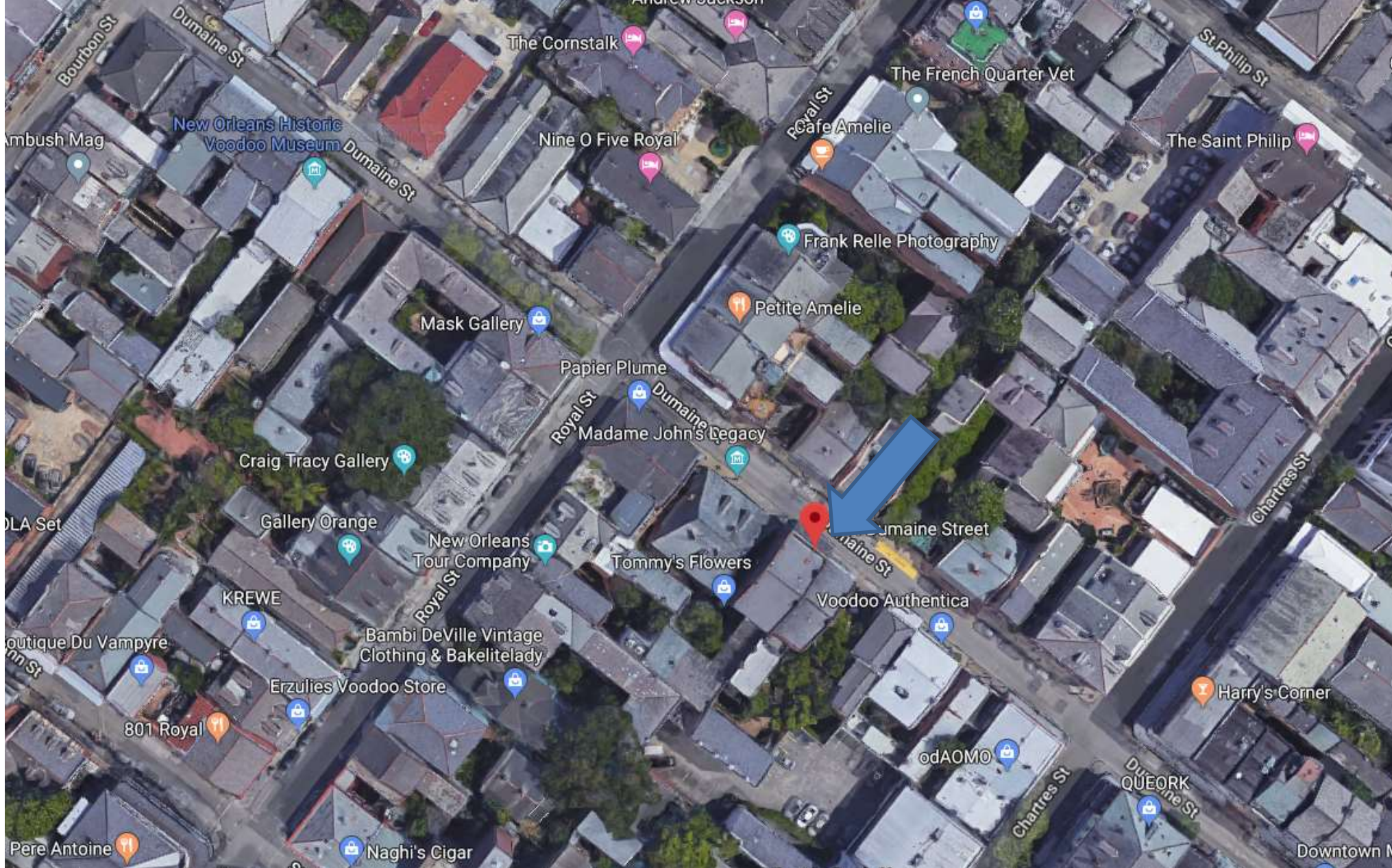




Appeals & Violations



624 Dumaine



624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

02 15 2019

July 13, 2021





624 Dumaine

VCC Architectural Committee

02 15 2019

July 13, 2021





624 Dumaine

VCC Architectural Committee

02 15 2019

July 13, 2021





02 15 2019

624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

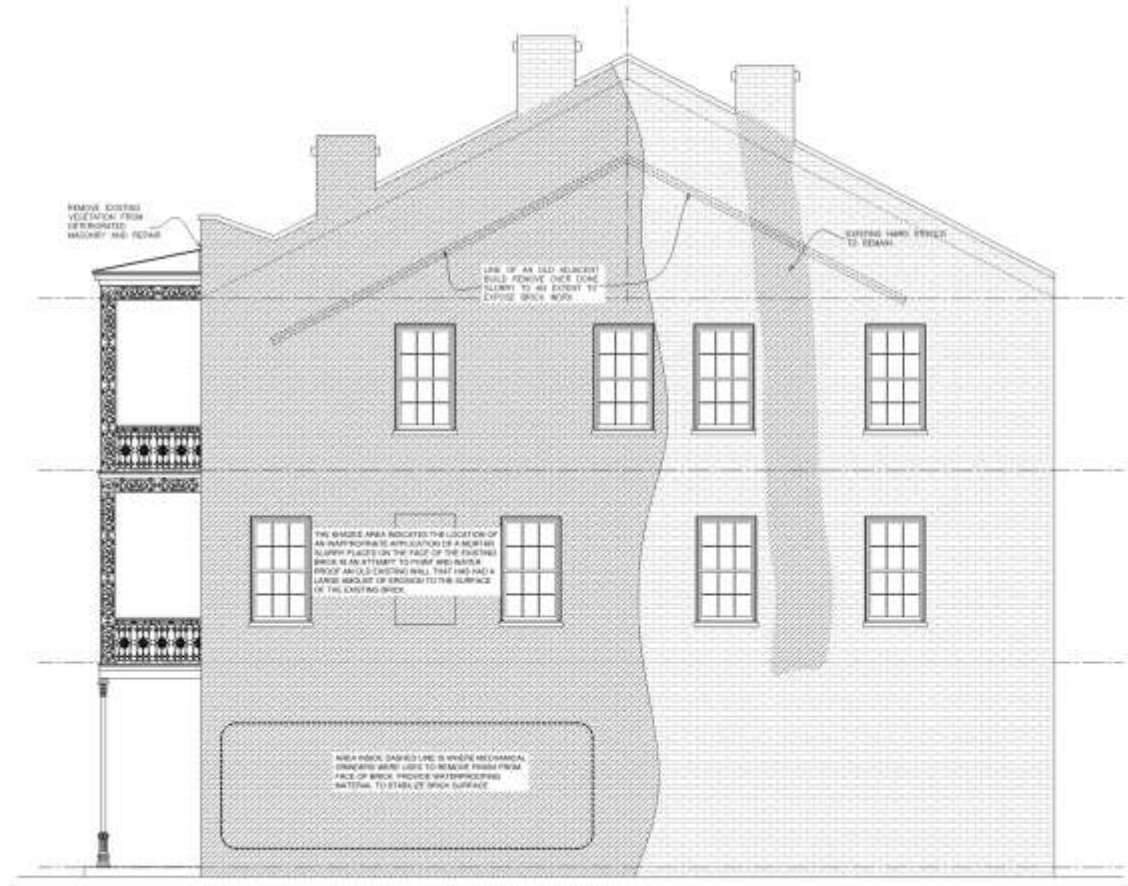
July 13, 2021



REPAIRS TO NORTH WALL & BALCONY FLOORS AND SOFFIT

624 DUMAINE NEW ORLEANS, LA

- THE SCOPE OF WORK OF THIS PROJECT IS TO:
1. CORRECT POORLY EXECUTED BRICK REPAIR PERFORMED UNDER A SEPARATE CONTRACT.
 2. REPAIR ROTTED SOFFIT MATERIAL WITH MATCHING WOOD SPECIES, SHAPE AND THICKNESS.
 3. REPAIR WARPED AND SWOLLEN BALCONY FLOORING MATERIAL WITH TREATED PINE OR SPANISH CEDAR TO MATCH THE EXISTING BALCONY FLOOR.
 4. REPAIR AND WATERPROOF AREA OF EXTERIOR BRICK WALL WHERE A PREVIOUS CONTRACTOR USED A MECHANICAL GRINDER TO ATTEMPT TO REMOVE VEGETATION.
 5. REMOVE ANY AND ALL VEGETATION GROWING FROM THE BRICK MORTAR JOINTS.
- THE PRODUCTS TO BE USED FOR THE REMOVAL AND/OR FEATHERING IN OF POORLY EXECUTED SLURRY WILL BE PROSOCCO SURE KLEAN 800. THE PROCESS WILL BE A TOTAL WETTING OF THE SURFACE WITH THE MORTAR SLURRY, WAIT 5 MINUTES, THEN APPLY THE SURE KLEAN PRODUCT WAIT 5 MINUTES THEN TOTALLY RINSE THE ENTIRE WALL SURFACE.
- AFTER CLEANING SEAL BRICK WITH PROSOCCO WEATHER SEAL-UP, A SILANE/SILOXANE BASED PRODUCT.
- A 3 FOOT BY 3 FOOT TEST AREA IS REQUIRED PRIOR TO COMPLETELY COVERING THE AFFECTED AREAS OF THE WALL IN QUESTION.



1 NORTH WALL ELEVATION
 SCALE: 1/4" = 1'-0"



4 DETAIL #4
 SCALE: 1/4"



3 DETAIL #3
 SCALE: 1/4"



2 NORTH WALL PHOTOGRAPH EXISTING CONDITIONS
 SCALE: 1/4"

REPAIRS TO NORTH WALL & BALCONY FLOORS AND SOFFIT
 624 DUMAINE NEW ORLEANS, LA

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF MAPLE RIDGE ARCHITECTS AND SHALL BE KEPT IN CONFIDENCE AND NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MAPLE RIDGE ARCHITECTS.

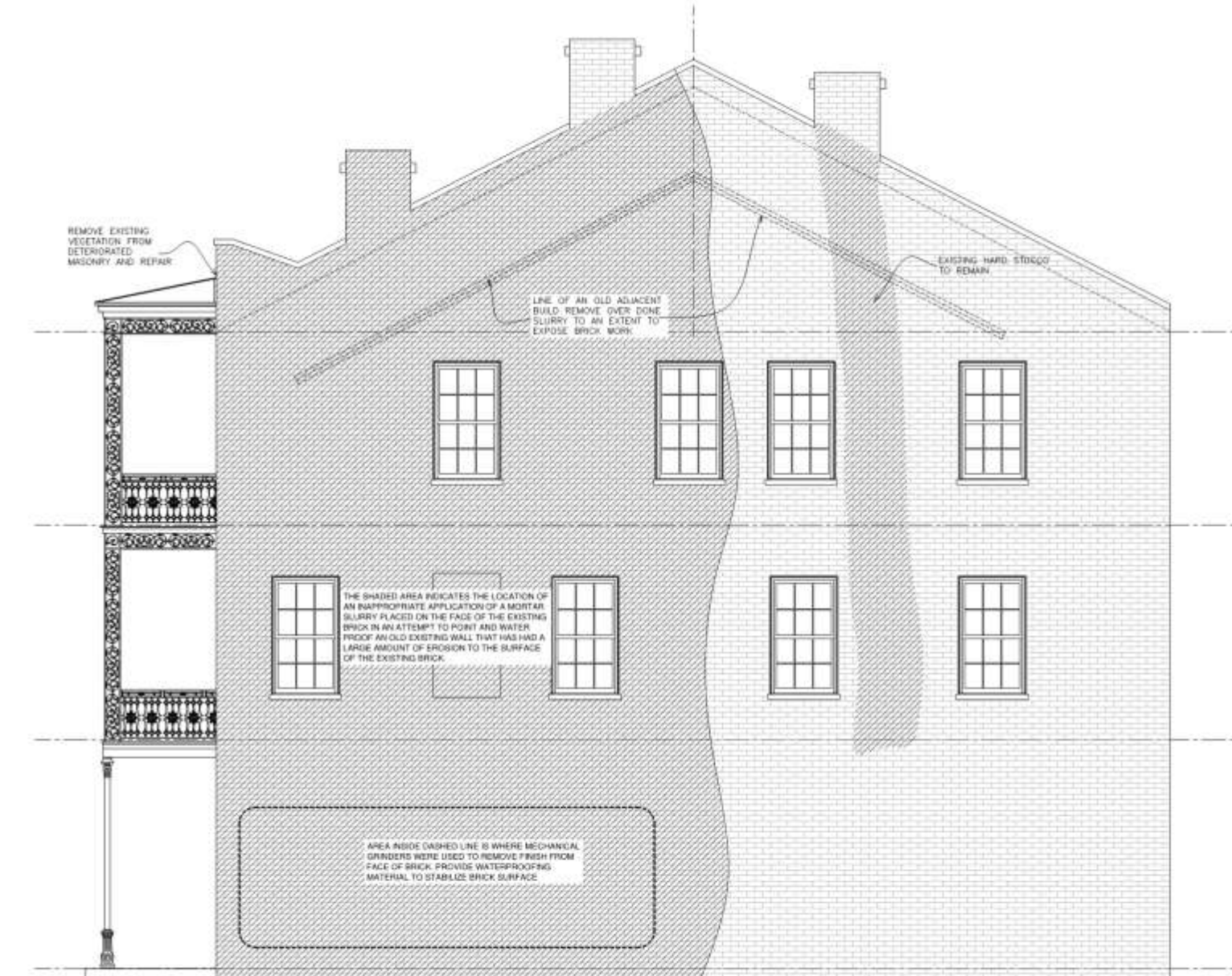
CERTIFIED CONTACT

THE OWNER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE RESULTS OF ANY INVESTIGATION OR TESTING CONDUCTED BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS AND SPECIFICATIONS.

REVISION HISTORY	DATE	DESCRIPTION

PROJECT: 1912
 PHASE: CD
 DRAWN: HANK
 CHECKED: HANK
 SCALE: AS SHOWN
 DATE: 06/18/2021





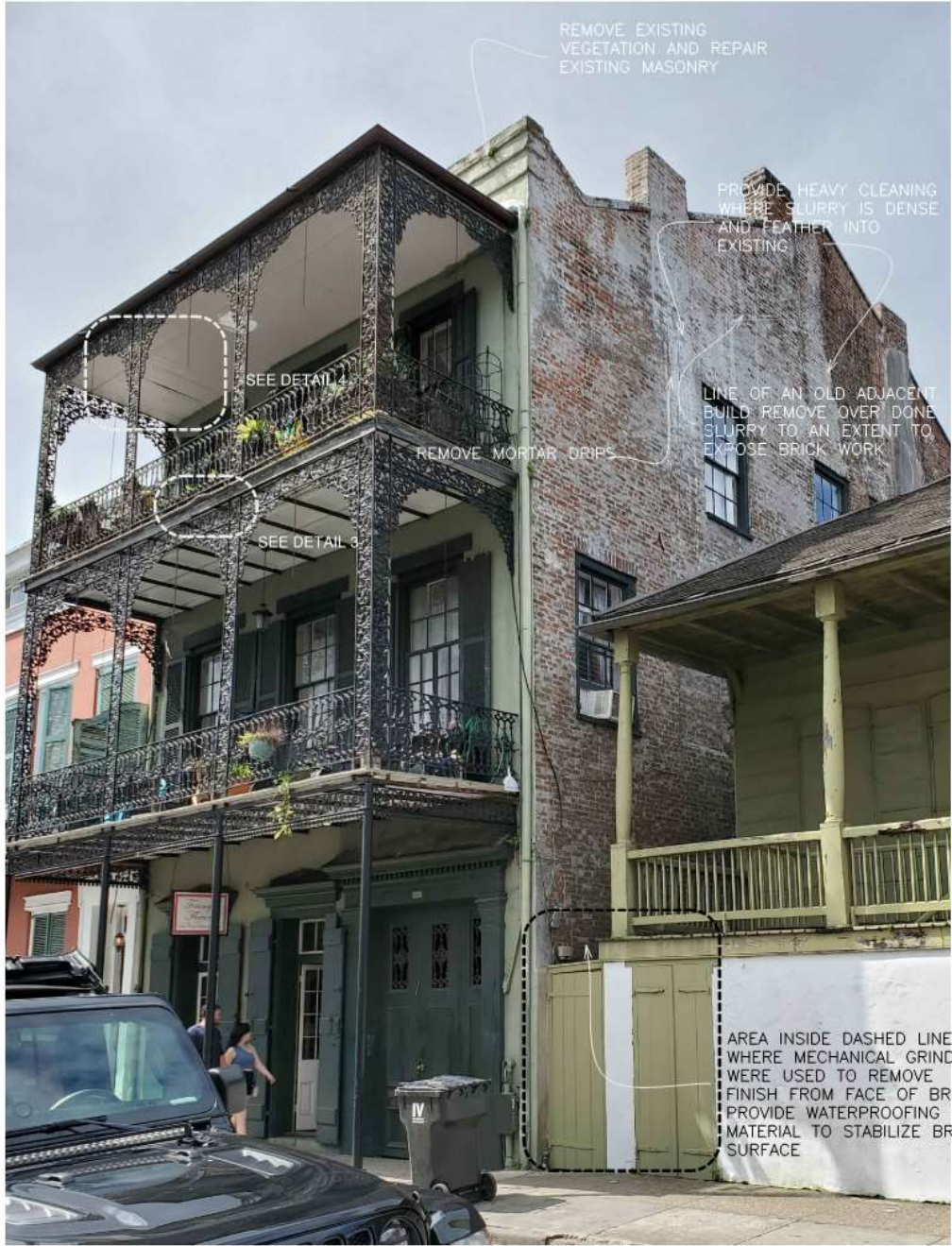
1 NORTH WALL ELEVATION
SCALE: 1/8" = 1'-0"

624 Dumaine

VCC Architectural Committee

July 13, 2021





624 Dumaine

VCC Architectural Committee

2 NORTH WALL PHOTOGRAPH EXISITNG CONDITIONS
SCALE: NTS

July 13, 2021





600

Sure Klean® 600 is a general purpose, concentrated acidic cleaner for brick, tile and concrete surfaces. Sure Klean® 600 dissolves mortar smears and construction dirt quickly, leaving the masonry clean and uniform with no acid burning or streaking.

ADVANTAGES

- The No. 1-selling proprietary cleaner for new masonry.
- Proven effective through years of use.
- Recommended by many brick, tile and mortar manufacturers.
- Safer than muriatic acid for new masonry surfaces.
- Removes efflorescence on bricks, new concrete and new stone construction.
- Fast and easy to apply – use with cold water rinse.
- Special wetting agents let larger masonry surfaces be cleaned at one time, eliminating streaking.

Limitations

- May not be suitable for cleaning buff-colored brick and brick, stone or tile with manganese or other metallic additives. See product literature on Sure Klean® Vana Trol®.
- Not suitable for cleaning polished or certain glazed surfaces. Always test to ensure suitability.
- Repeated applications may leave a detergent residue. Always prewet to reduce potential for detergent residue. Rinse thoroughly. Do not apply more than twice.
- Not effective for removing atmospheric dirt and black carbon stains. Use the appropriate Sure Klean® restoration cleaner to remove atmospheric staining from older masonry surfaces.
- Not for use on treated low-E glass; acrylic and polycarbonate sheet glazing; and glazing with surface-applied reflective, metallic or other synthetic coatings and films.

REGULATORY COMPLIANCE

VOC Compliance

Sure Klean® 600 is compliant with all national, state and district VOC regulations.

TYPICAL TECHNICAL DATA

FORM	Clear, slight amber liquid Pungent odor
SPECIFIC GRAVITY	1.130
pH	0.1 @ 1:9 dilution
WT/GAL	9.4 lbs
ACTIVE CONTENT	not applicable
TOTAL SOLIDS	not applicable
VOC CONTENT	not applicable
FLASH POINT	not applicable
FREEZE POINT	<-22° F (<-30° C)
SHELF LIFE	3 years in tightly sealed, unopened container

SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053





H40

Sure Klean® Weather Seal H40 is a deep-penetrating water repellent and consolidation treatment for brick, most natural stone, unglazed terra cotta, historic concrete, stucco and cast stone surfaces. H40 protects against deterioration caused by water and waterborne contaminants while strengthening weathered surfaces and soft mortar joints.

Weather Seal H40 also reduces the severity of biological staining common to regions with high relative humidity. It helps prevent the rapid recolonization of biological species such as mold, mildew and lichens that normally thrive on masonry and natural stone architecture.

TYPICAL TECHNICAL DATA

FORM	Clear, slightly yellow liquid Mild petroleum odor
SPECIFIC GRAVITY	0.882
pH	not applicable
WT/GAL	7.34 lbs
ACTIVE CONTENT	23%
TOTAL SOLIDS	21% ASTM D 2369
VOC CONTENT	>600 g/L
FLASH POINT	108° F (42° C) ASTM D 3278
FREEZE POINT	<-22° F (<-30° C)
SHELF LIFE	2 years in tightly sealed, unopened container

SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053

ADVANTAGES

- Deep penetration provides long-lasting protection.
- Strengthens and protects deteriorating surfaces.
- Strengthens soft mortar – reduces need for repointing.
- Treated surfaces “breathe” – does not trap moisture.
- H40 helps prevent rapid recolonization by biological species such as mold, mildew and lichens.
- Low odor.

Limitations

- May damage glass or be difficult to remove. Always protect.
- May cause slight or moderate darkening on some surfaces. Always test for desired results.
- Surface and air temperatures should be above 40°F (4°C) and below 95°F (35°C). Avoid application on extremely windy days to avoid rapid evaporation of the solvent carrier.
- Not recommended for application to new concrete or below-grade application.
- Will not prevent water penetration through structural cracks, defects or open joints.

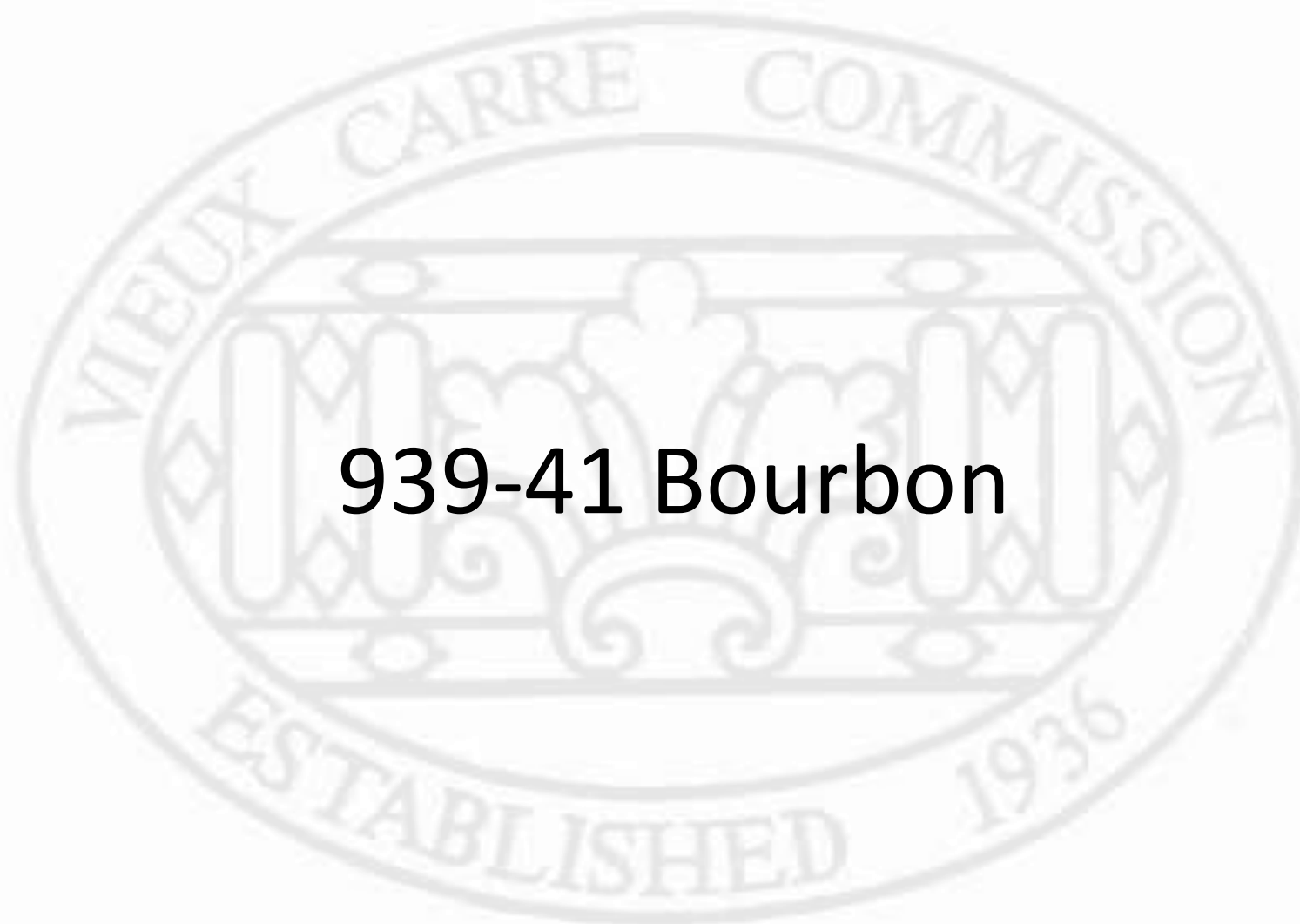
REGULATORY COMPLIANCE

VOC Compliance

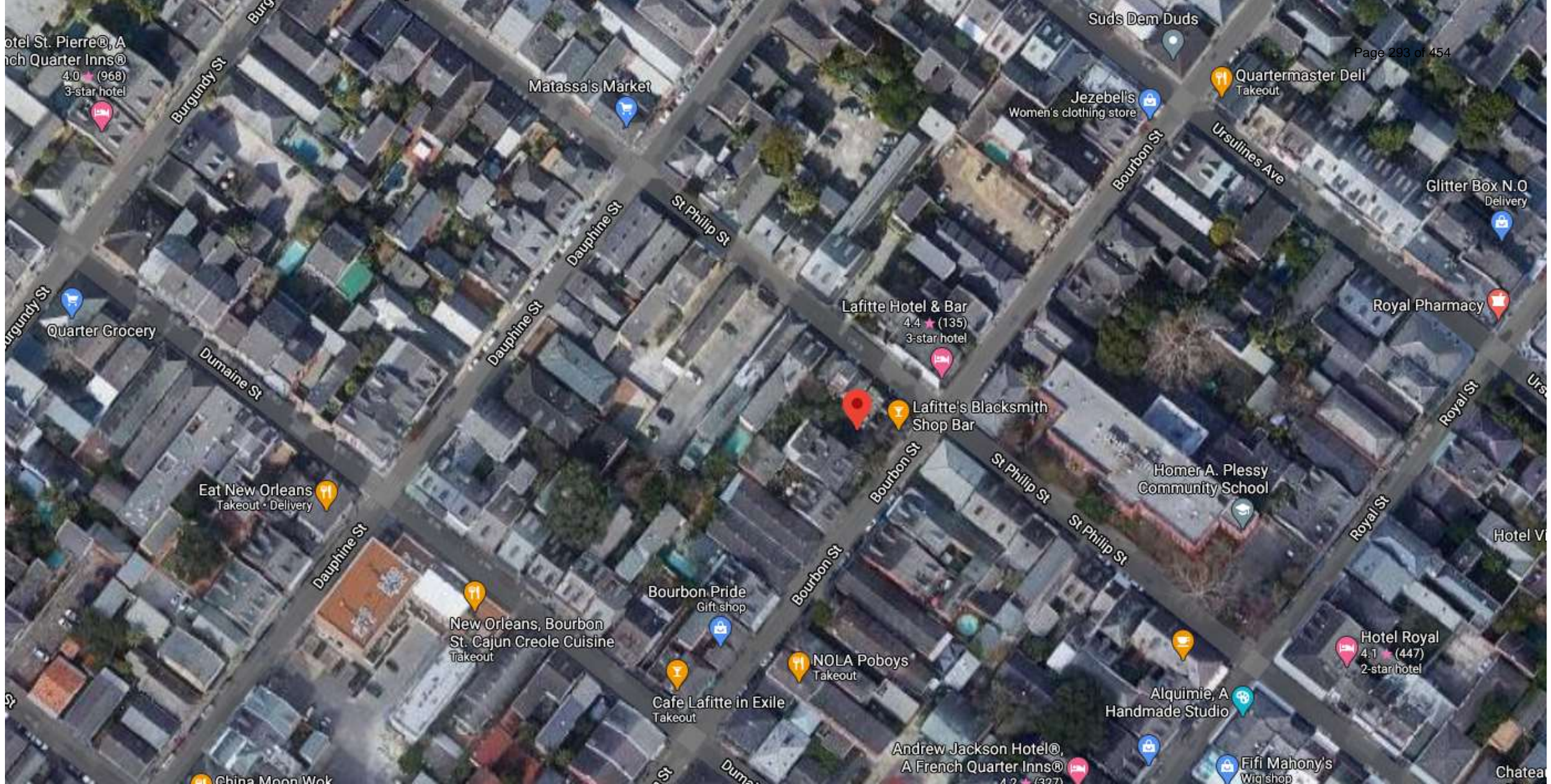
Sure Klean® Weather Seal H40 is compliant with the US Environmental Protection Agency’s AIM VOC regulations. Manufactured and marketed in compliance with US EPA AIM VOC regulations (40 CFR 59.403).

Visit www.prosoco.com/voccompliance to confirm compliance with individual district or state regulations.





939-41 Bourbon



939 Bourbon

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July 13, 2021





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VCC Architectural Committee

July 13, 2021





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VCC Architectural Committee

July 13, 2021





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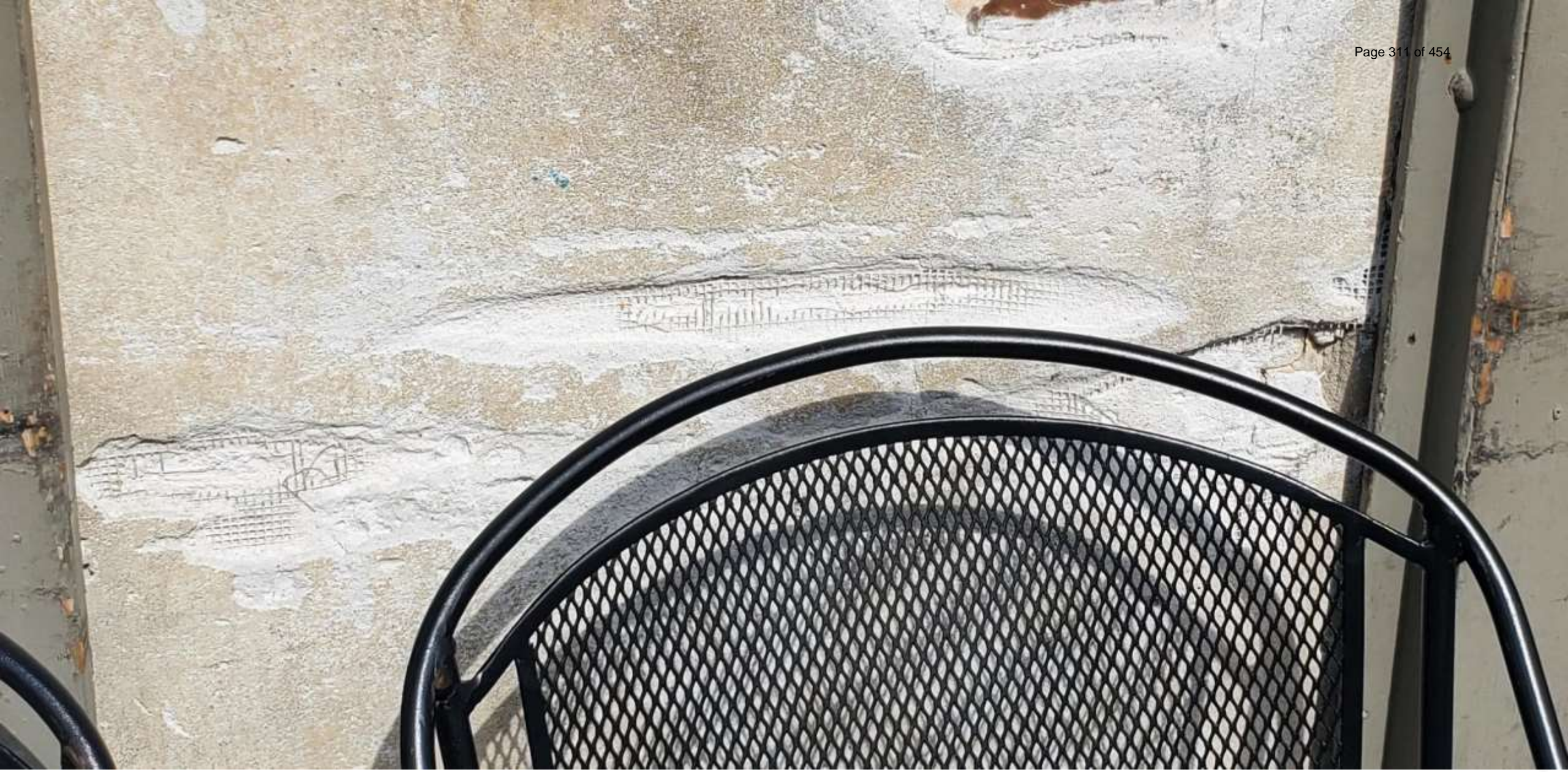


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July 13, 2021



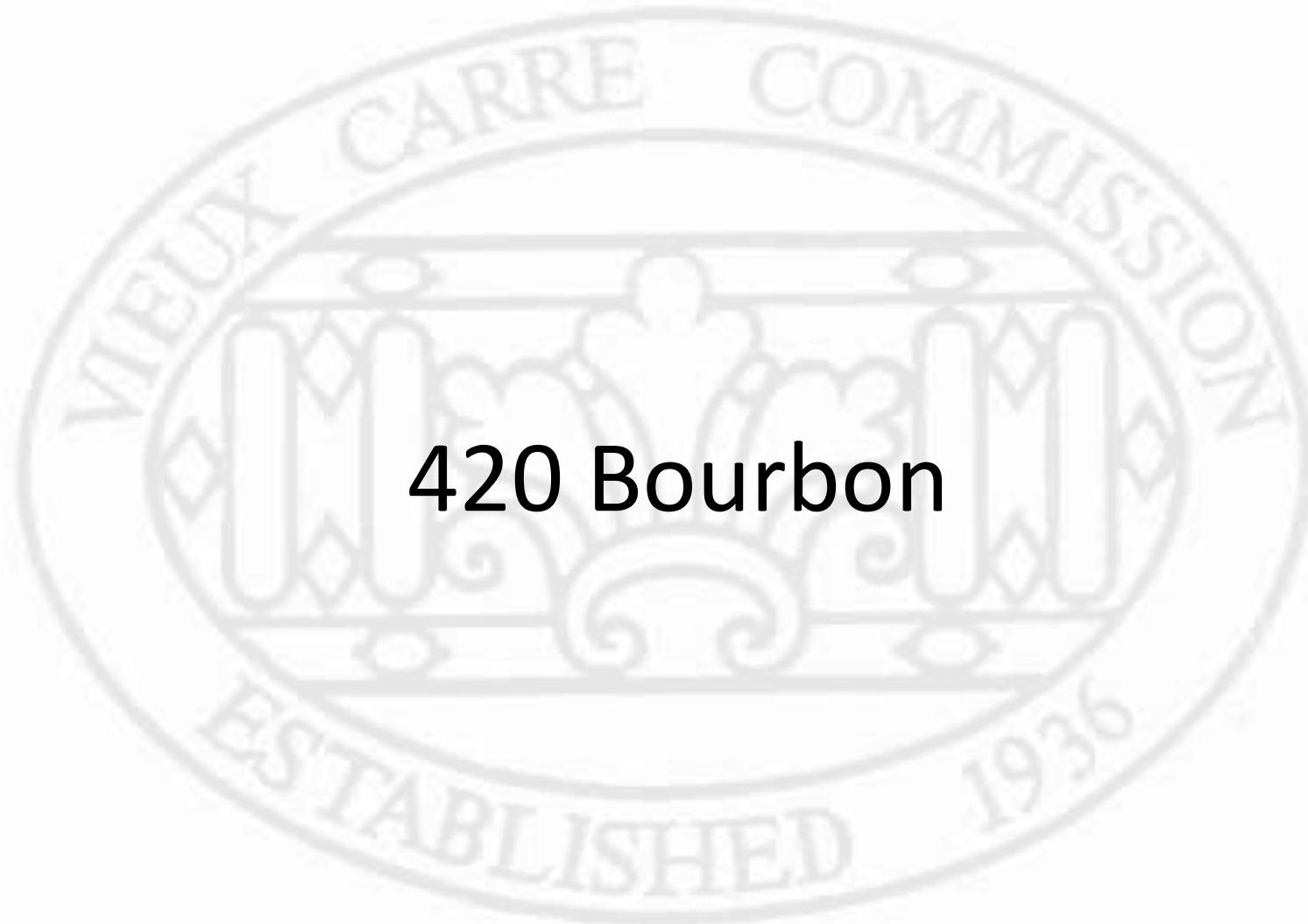


939 Bourbon

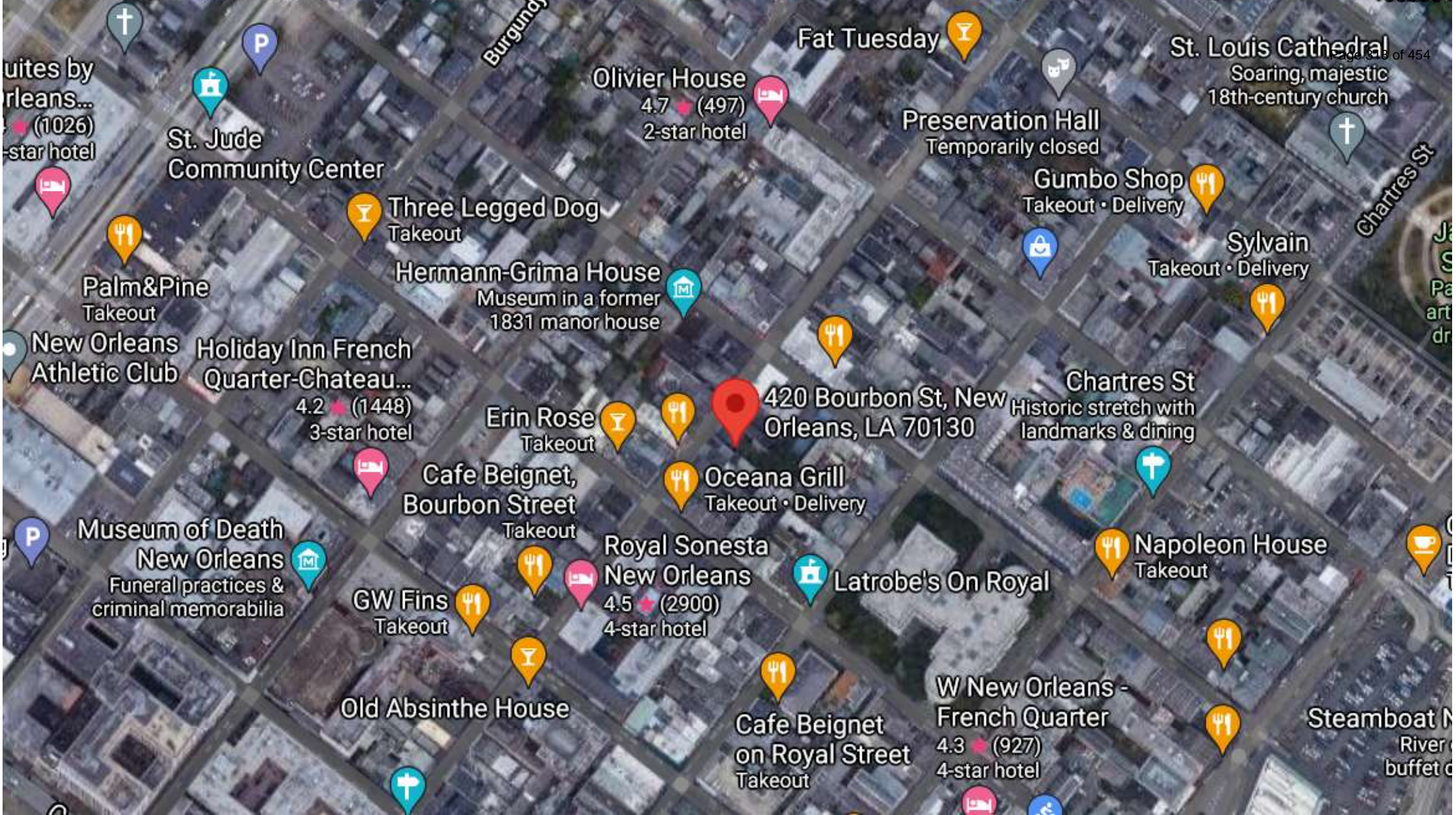
VCC Architectural Committee

July 13, 2021





420 Bourbon



420 Bourbon





420 Bourbon



420 Bourbon





420 Bourbon





420 Bourbon





420 Bourbon





420 Bourbon





420 Bourbon





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VCC Architectural Committee

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420 Bourbon





420 Bourbon





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July 13, 2021



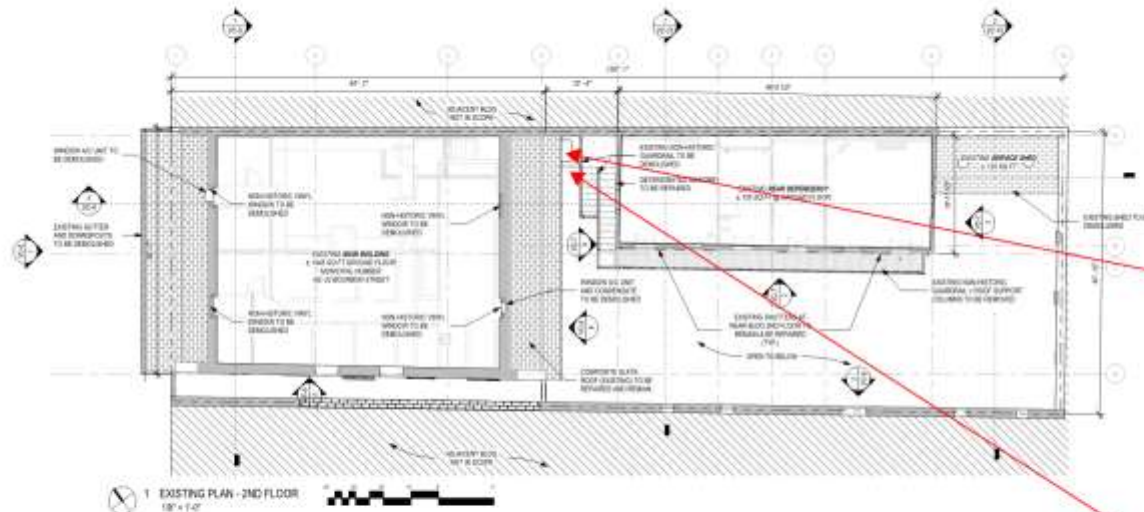


420 Bourbon

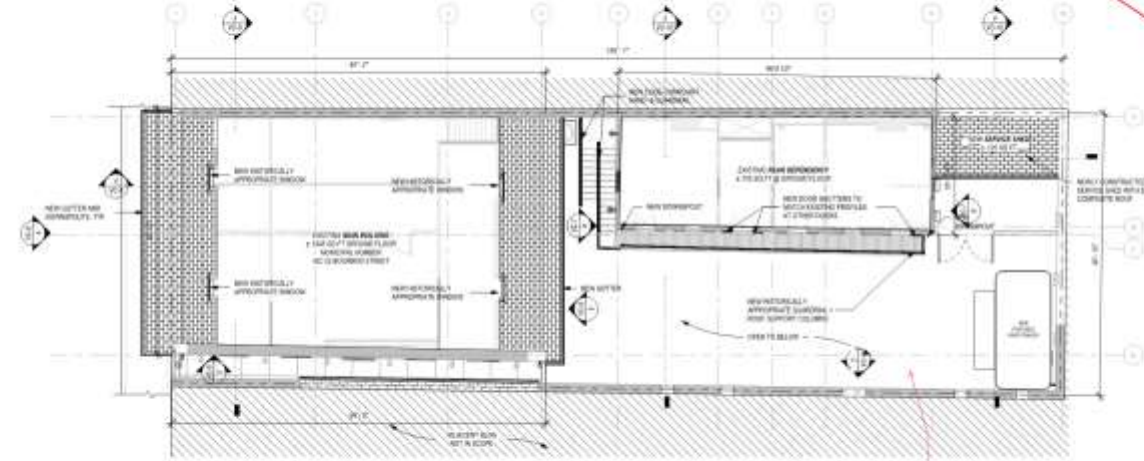
VCC Architectural Committee

July 13, 2021



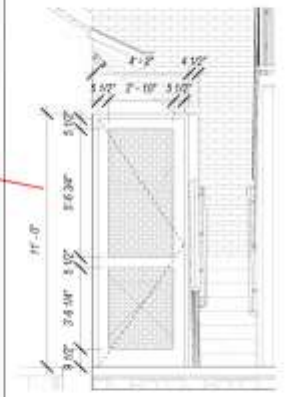


1 EXISTING PLAN - 2ND FLOOR 18' x 11'2"

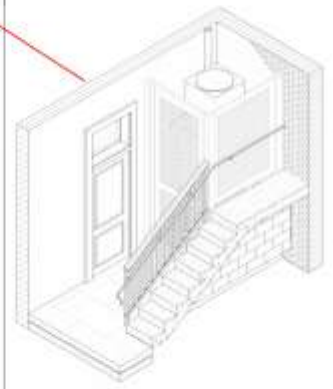


2 PROPOSED PLAN - 2ND FLOOR 18' x 11'2"

- GENERAL NOTES**
1. FINISHED FLOORING TO BE REINSTALLED THROUGHOUT EXISTING FLOOR CORNER WALLS TO BE REMOVED AND REPLACED WITH 8" X 16" JOISTS.
 2. VERTICAL FINISHES TO BE REINSTALLED TO MATCH EXISTING FINISHES.
 3. EXISTING DOOR FRAME TO BE REMOVED AND NEW HISTORIC WOOD FLOOR TO BE REINSTALLED THROUGHOUT EXISTING FLOOR.
 4. ALL UNFINISHED CORNER AND STUDY AREAS TO BE REFINISHED.
 5. ALL UNFINISHED QUALITY MATERIALS AND EXTERIOR LIGHTS TO BE REINSTALLED (SEE GENERAL NOTES).
 6. ALL EXTERIOR DOORS, WINDOWS, SHUTTERS, EXTERIOR LIGHTS TO BE REINSTALLED (SEE GENERAL NOTES).



3 1:4" MECH LOUVER - HANDRAIL ASSEMBLY



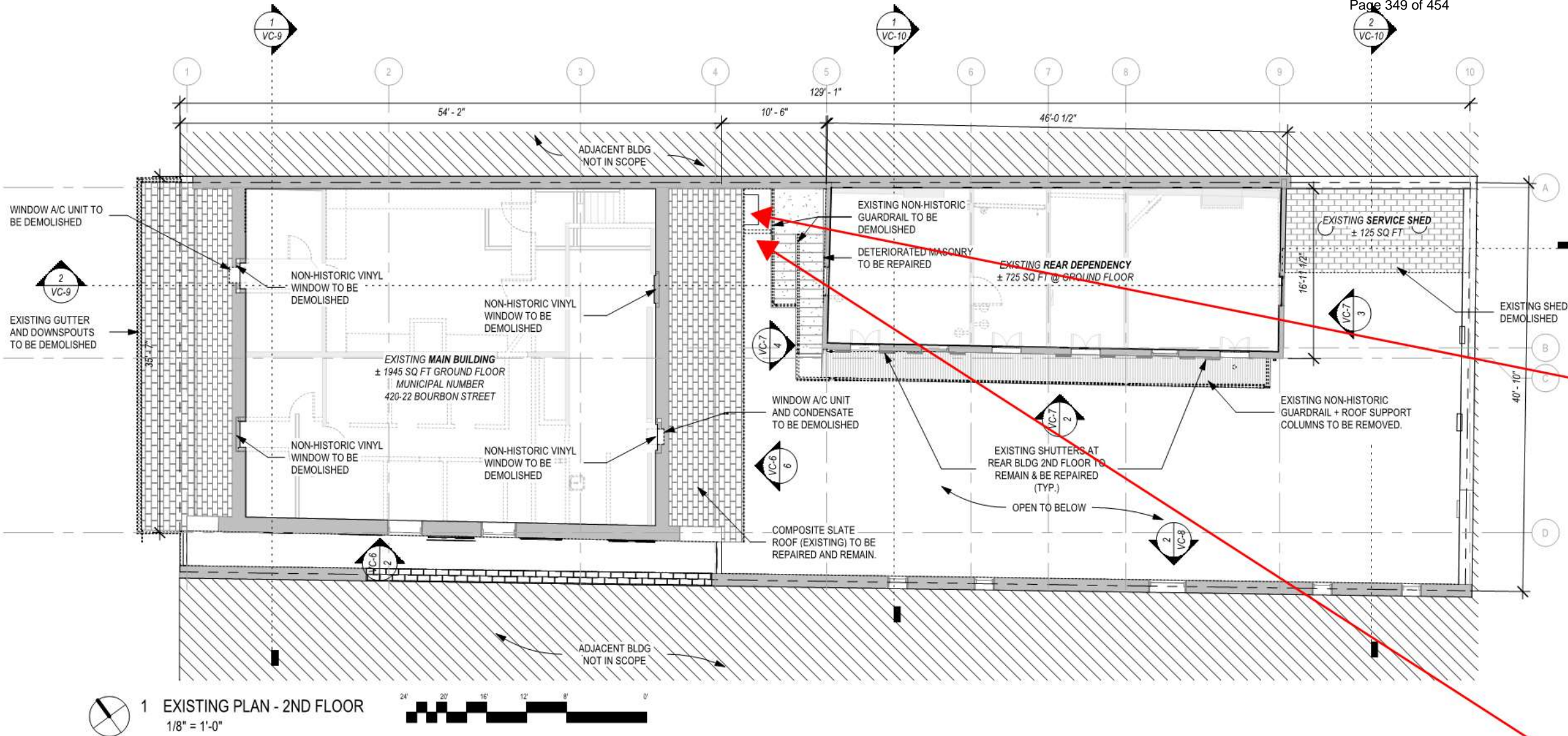
3 1:4" MECH LOUVER - HANDRAIL ASSEMBLY

FAT BOOTS NOLA
 415 ROUREN STREET
 NEW ORLEANS, LA 70114

NO.	DESCRIPTION	DATE

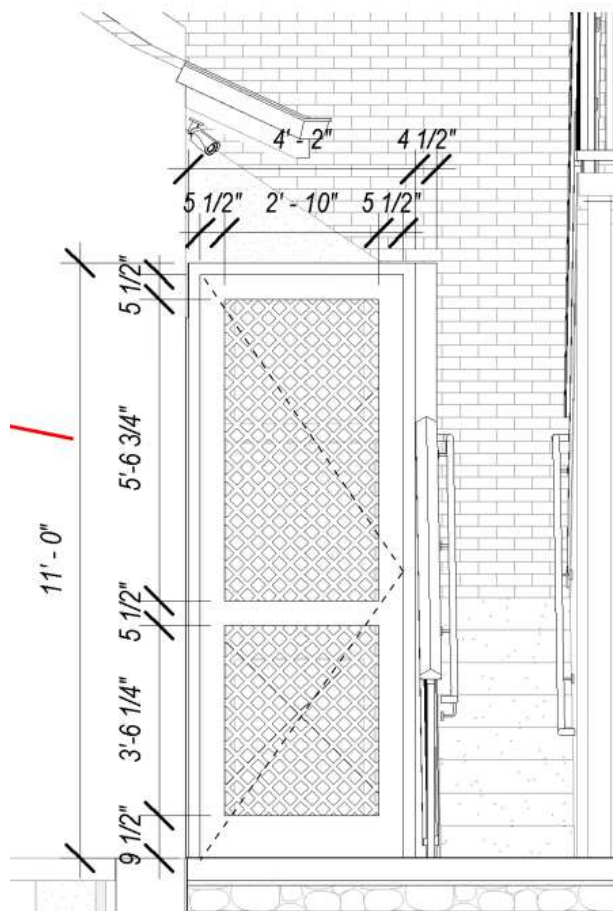
PROJECT NO: VC-4
 DATE: 07/13/2021
 DRAWN BY: J. [Name]
 CHECKED BY: [Name]
 DATE: 07/13/2021
 SHEET NO: VC-4
 FLOOR PLAN - LEVEL 2



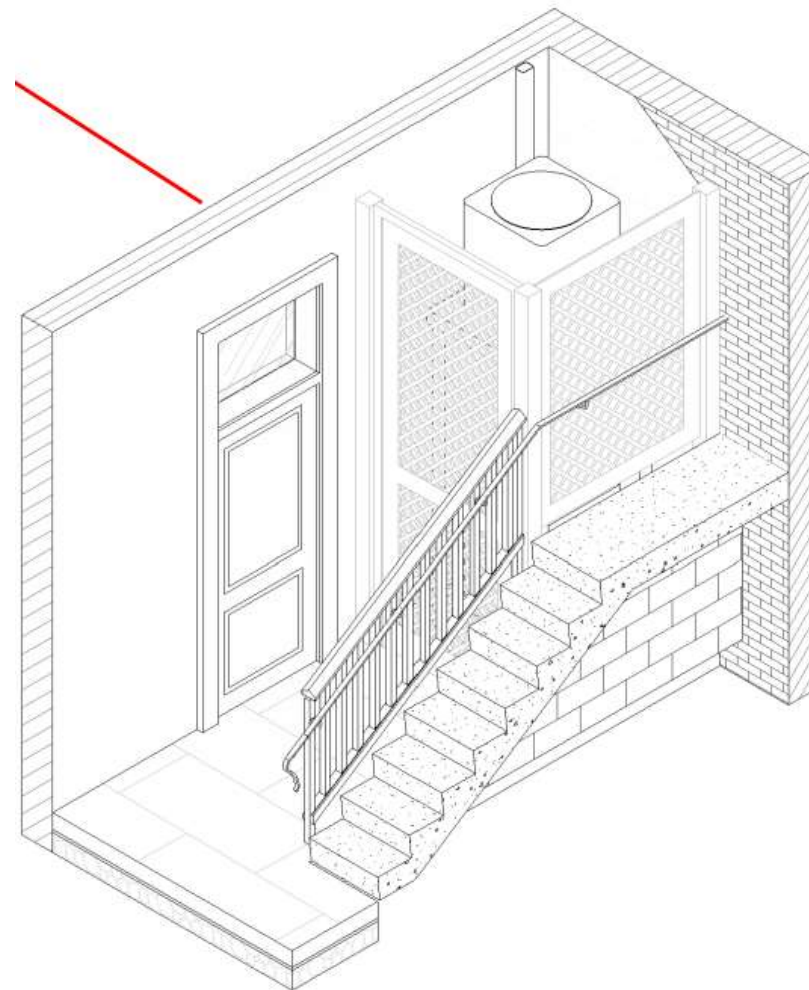


420 Bourbon

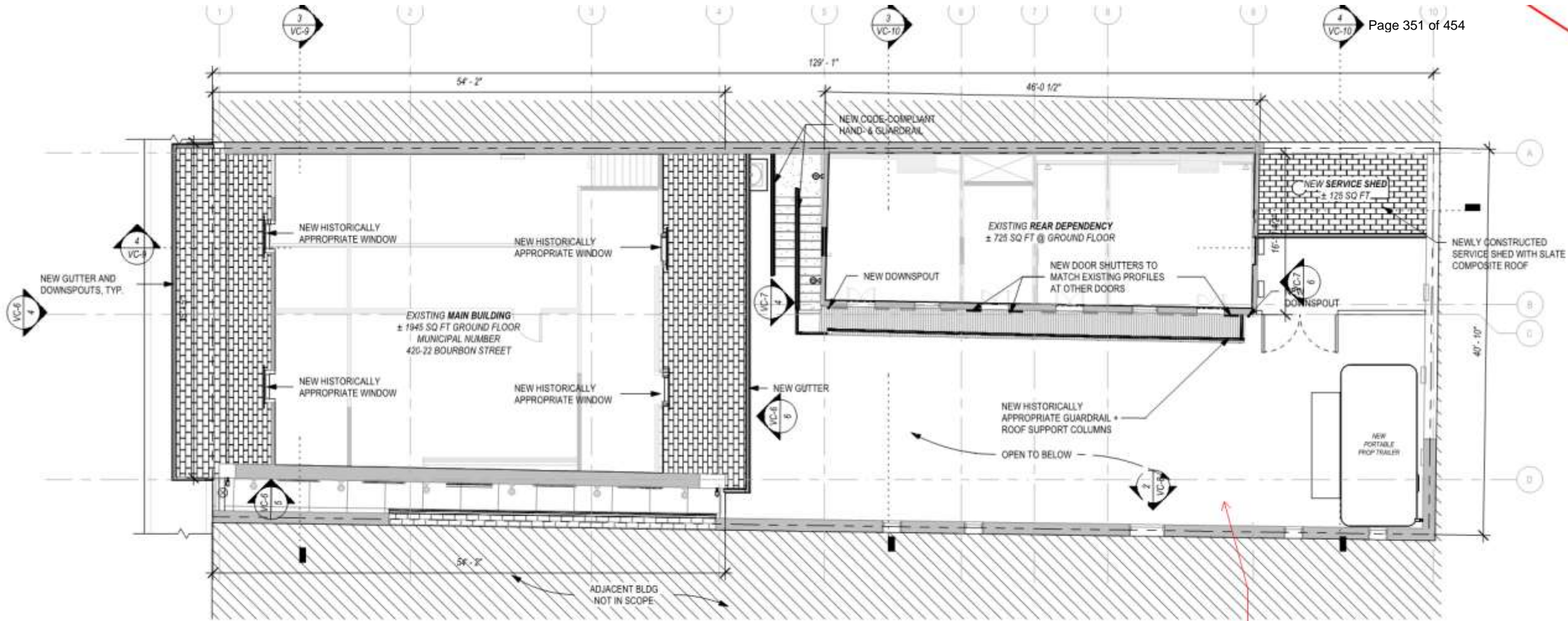




**OPERABLE LATTICE DOOR TO
SCREEN MECHANICAL EQUIPMENT.**
ENGINEER REQUIRES LATTICE DUE TO AIR FLOW
REQUIREMENT OF HEAT PUMP UNITS.



3 MECH. LOUVER + HANDRAIL AXON

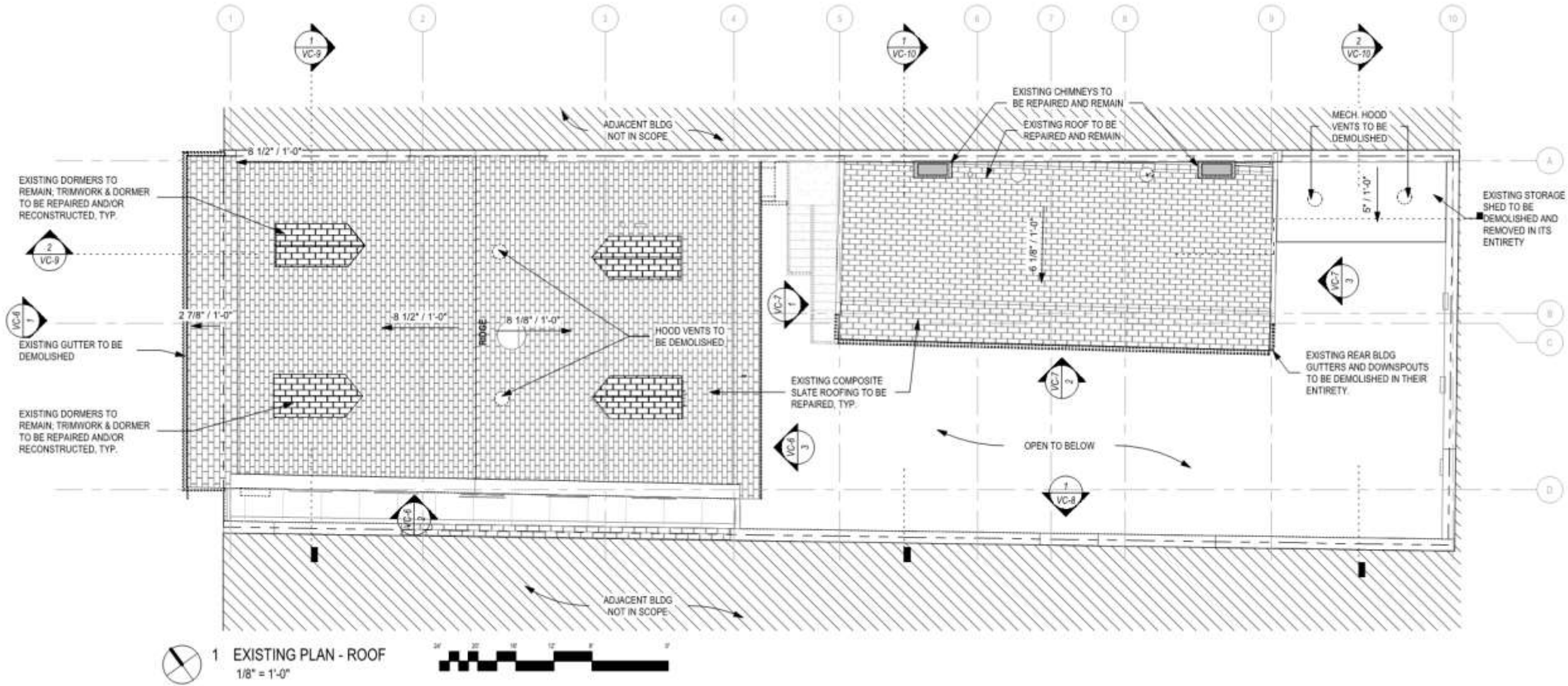


2 PROPOSED PLAN - 2ND FLOOR
 1/8" = 1'-0"

STRING LIGHTS
 REMOVED FROM
 SCOPE

420 Bourbon



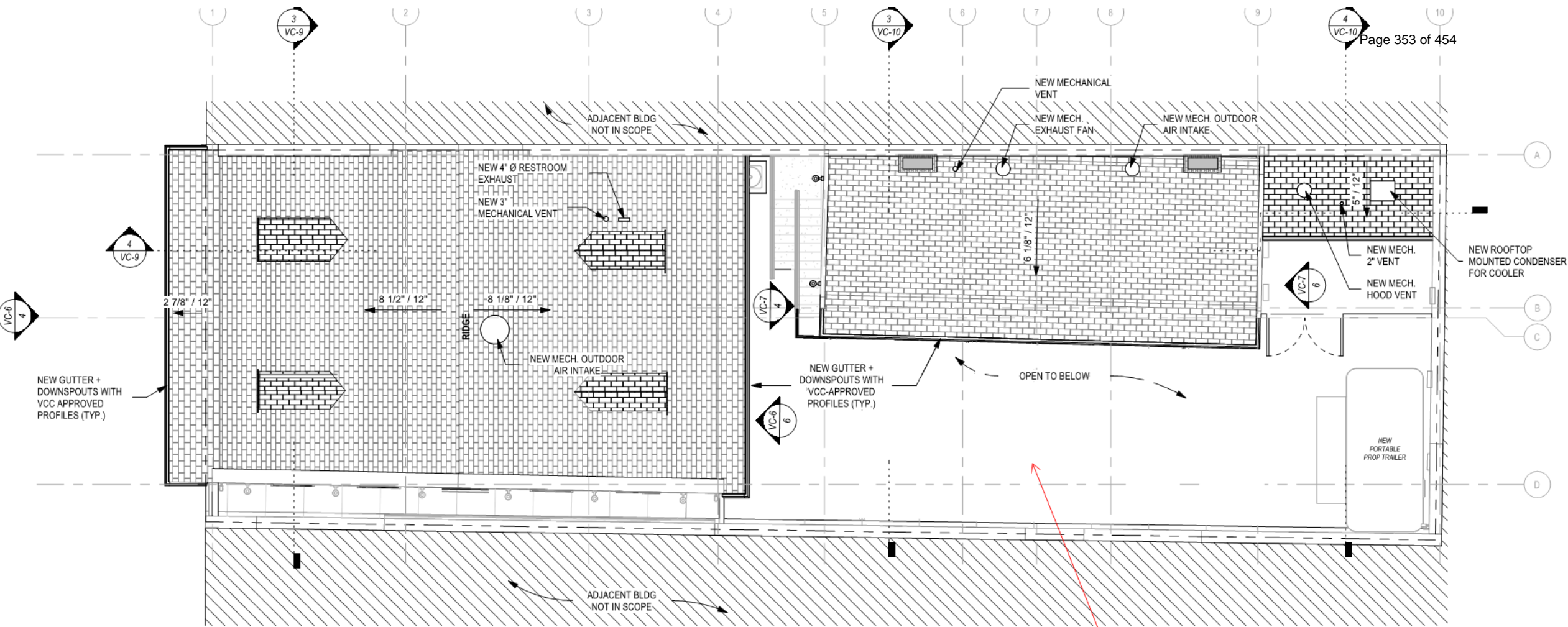


420 Bourbon

VCC Architectural Committee

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2 PROPOSED PLAN - ROOF
 1/8" = 1'-0"



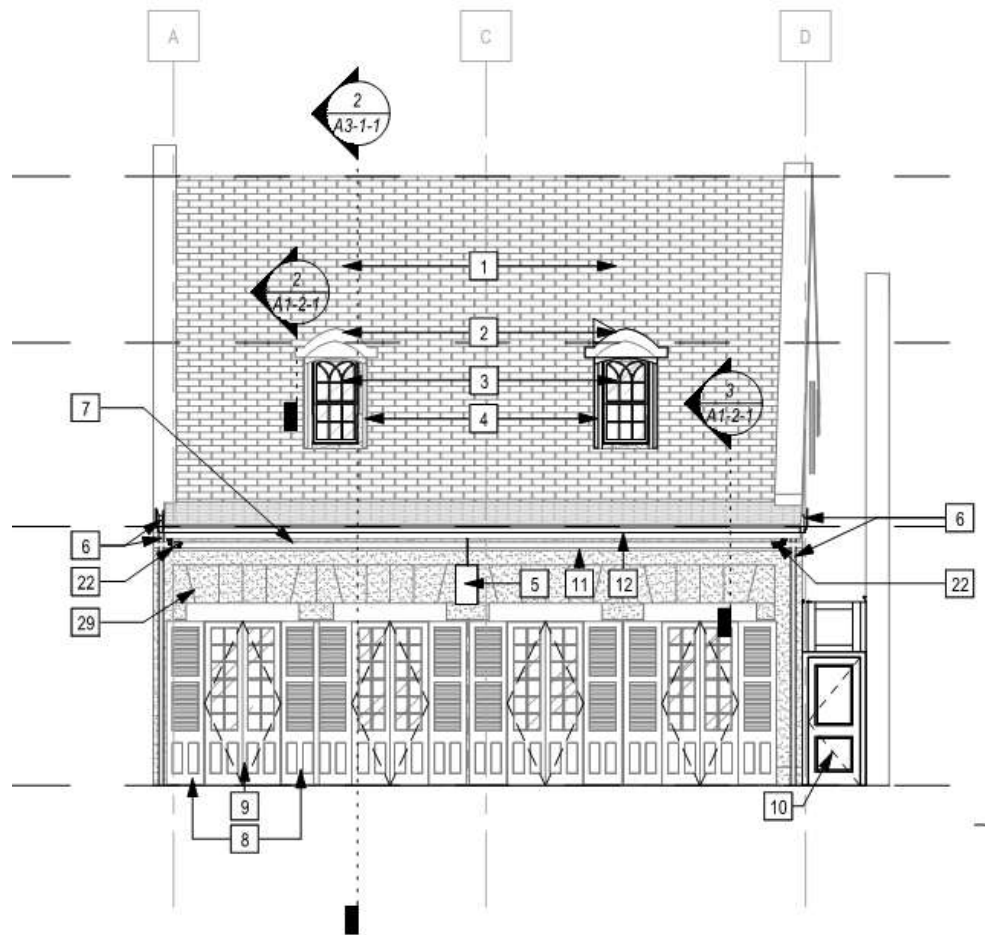
STRING LIGHTS
 REMOVED FROM
 SCOPE

420 Bourbon

VCC Architectural Committee

July 13, 2021

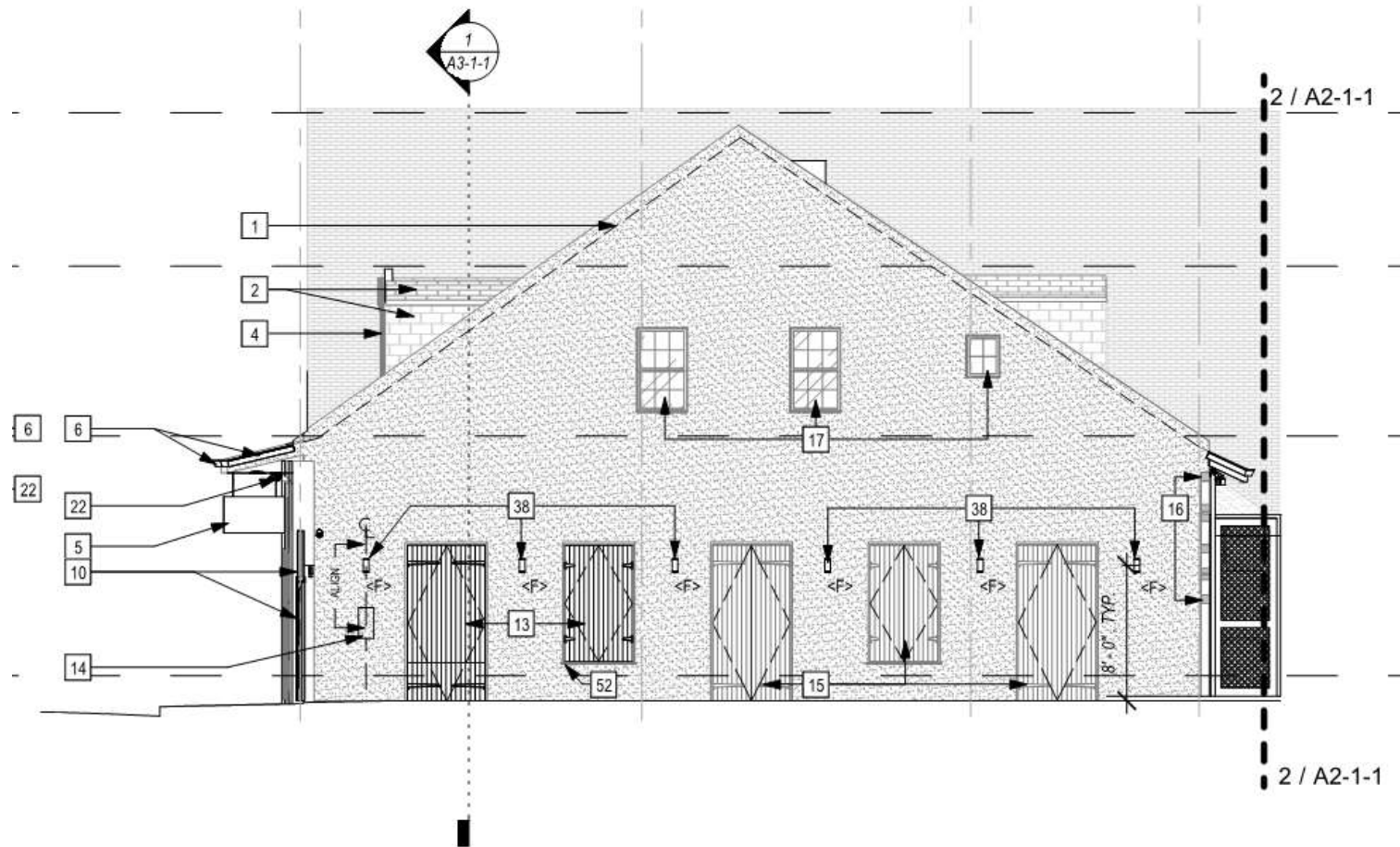




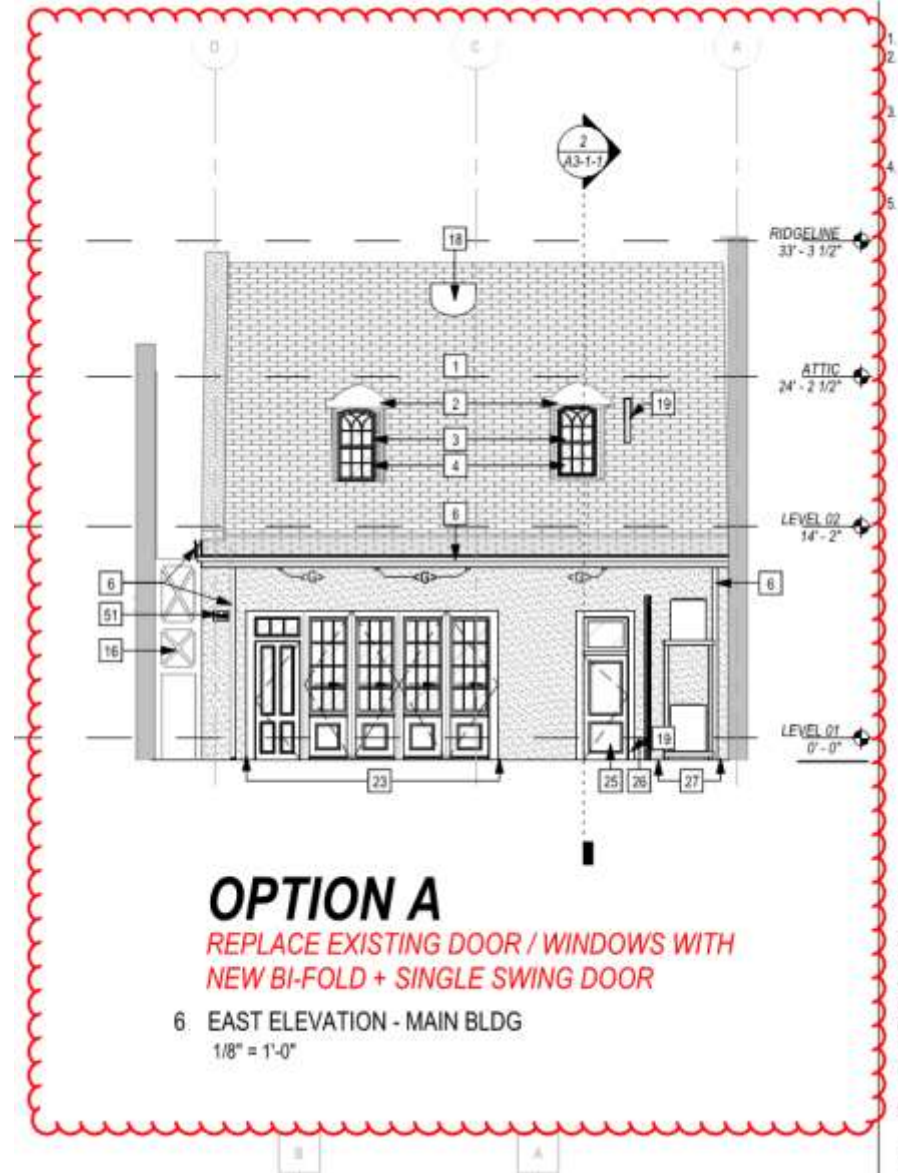
4 WEST ELEVATION - MAIN BLDG
1/8" = 1'-0"

5 S
1





5 SOUTH ELEVATION - MAIN BLDG
1/8" = 1'-0"

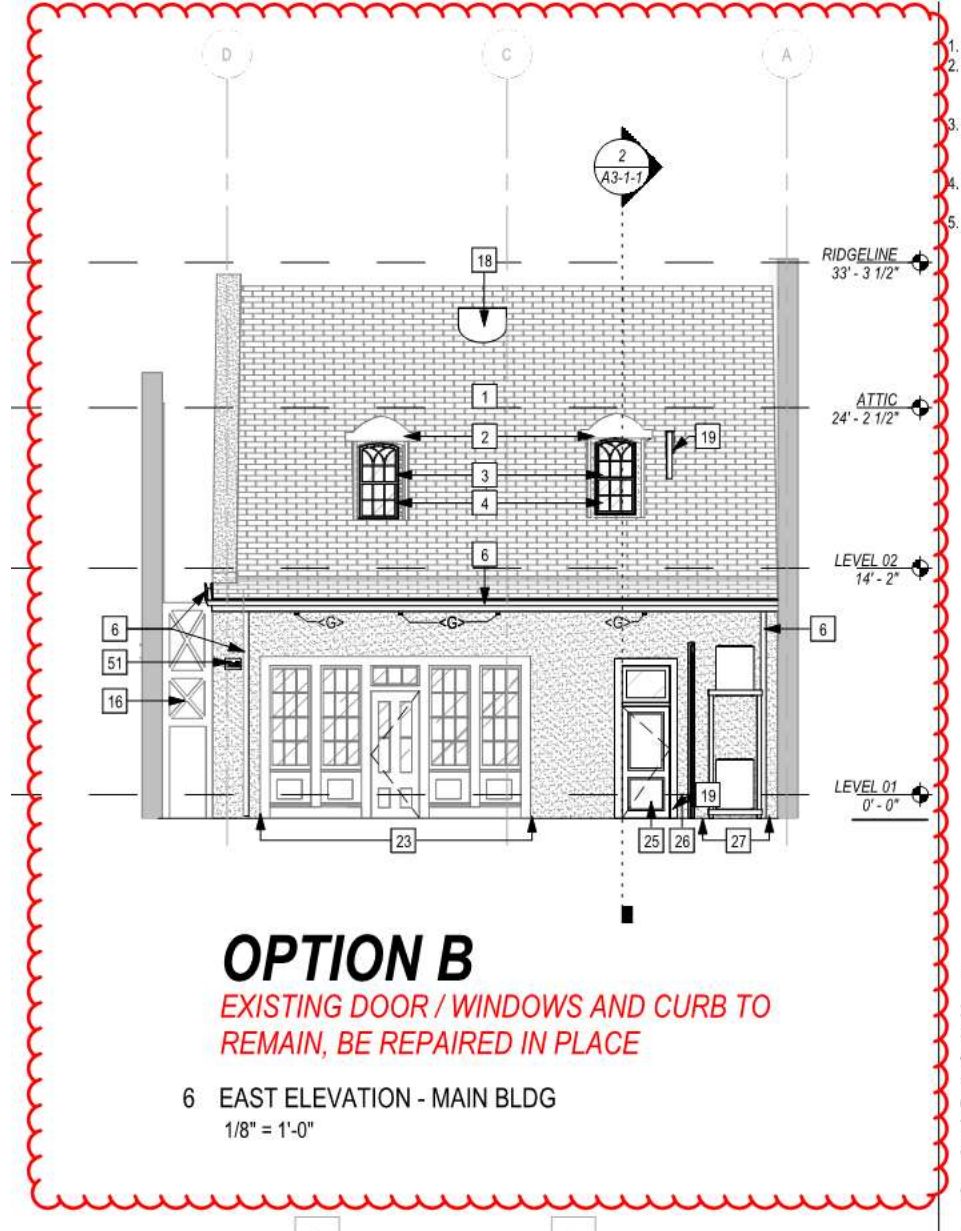


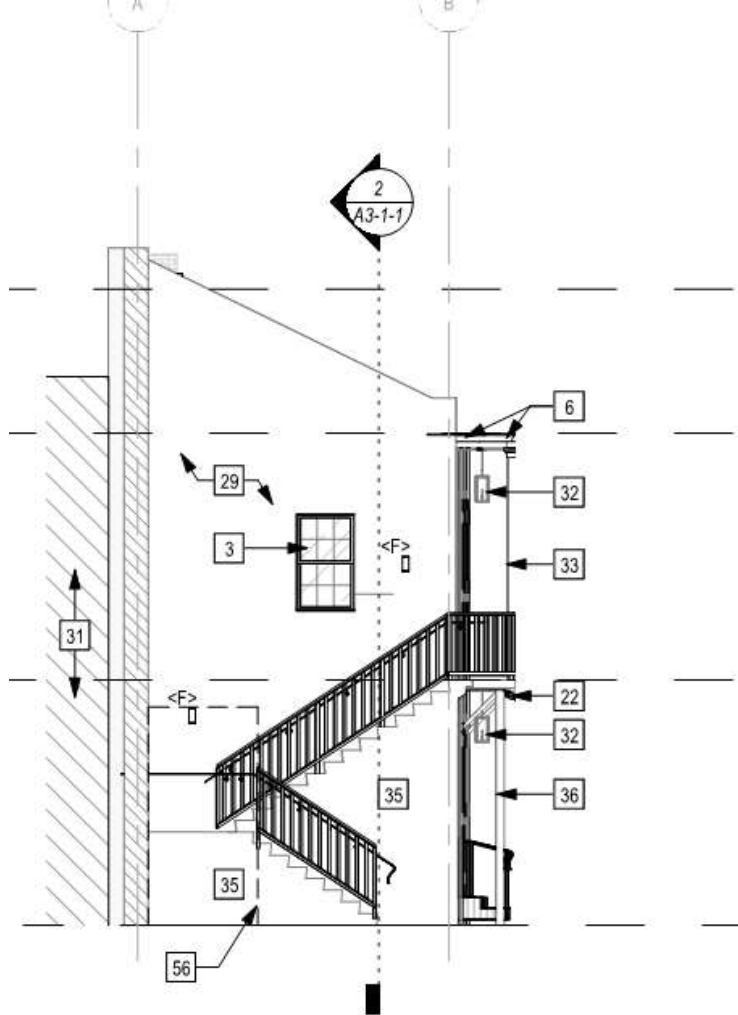
OPTION A

REPLACE EXISTING DOOR / WINDOWS WITH
NEW BI-FOLD + SINGLE SWING DOOR

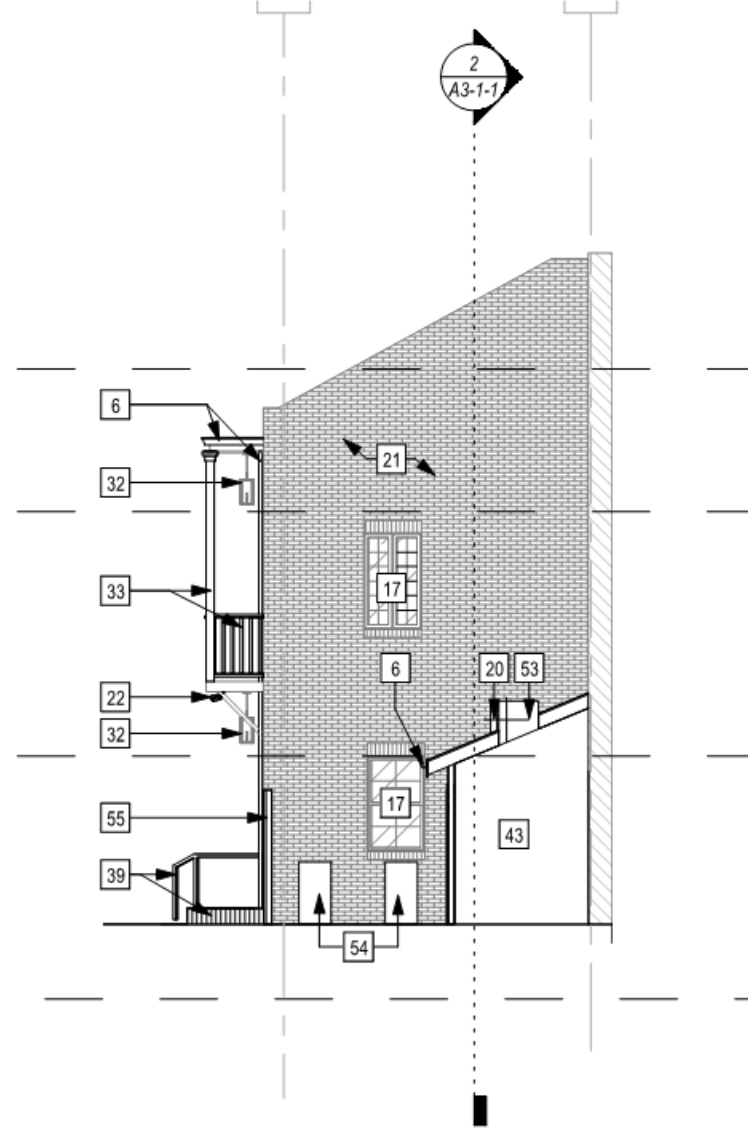
6. EAST ELEVATION - MAIN BLDG
1/8" = 1'-0"



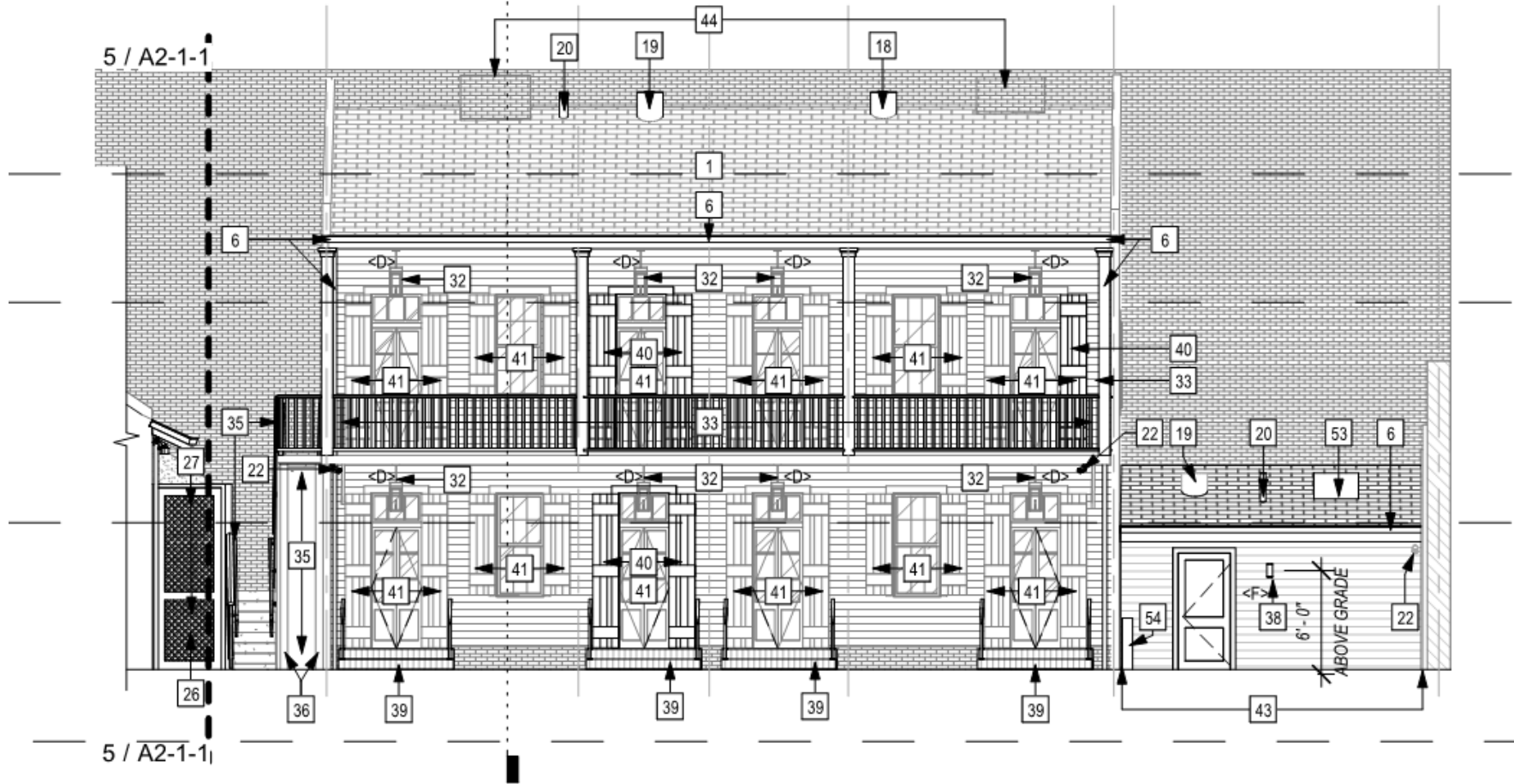




3 WEST ELEVATION - DEPENDENCY BLDG
1/8" = 1'-0"



1 EAST ELEVATION - DEPENDENCY BLDG
1/8" = 1'-0"



2 SOUTH ELEVATION - DEPENDENCY BLDG
1/8" = 1'-0"

420 Bourbon

VCC Architectural Committee

July 13, 2021





1 EXTERIOR - REAR DEPENDENCY + MAIN

OPTION A

AT MAIN BUILDING REAR ELEVATION, REPLACE
EXISTING DOOR / WINDOWS WITH NEW BI-FOLD
+ SINGLE SWING DOOR



2 EXTERIOR - REAR DEPENDENCY

LARGER TONIQUE METAL
RAILING

420 Bourbon





420 Bourbon

VCC Architectural Committee

July 13, 2021



NOTE 3

NOTE 4

5" x 5" x 1" BOX PLATE

FRONT VIEW (NTS)

SIDE VIEW (NTS)

TOP VIEW (NTS- BRACKET ONLY)

**PROPOSED FIXTURE D
REAR DEPENDENCY PENDANT
ELECTRIC FIXTURE WITH FLAME
STYLE BULB**

NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS $\frac{1}{4}$ "
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH $\frac{3}{16}$ " COPPER GAS LINE AND $\frac{3}{16}$ " x $\frac{1}{4}$ " GAS LINE ADAPTOR

SIZE:	15"	19"	23"	27"
A:	19 $\frac{1}{4}$ "	24"	28 $\frac{3}{4}$ "	34"
B:	8 $\frac{1}{4}$ "	9 $\frac{3}{4}$ "	11 $\frac{1}{4}$ "	13 $\frac{3}{8}$ "
C:	7 $\frac{1}{2}$ "	9 $\frac{1}{8}$ "	11"	13"
D:	VARIABLES	VARIABLES	VARIABLES	VARIABLES
E:	15 $\frac{1}{4}$ "	19"	22 $\frac{3}{4}$ "	27"

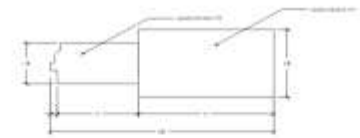
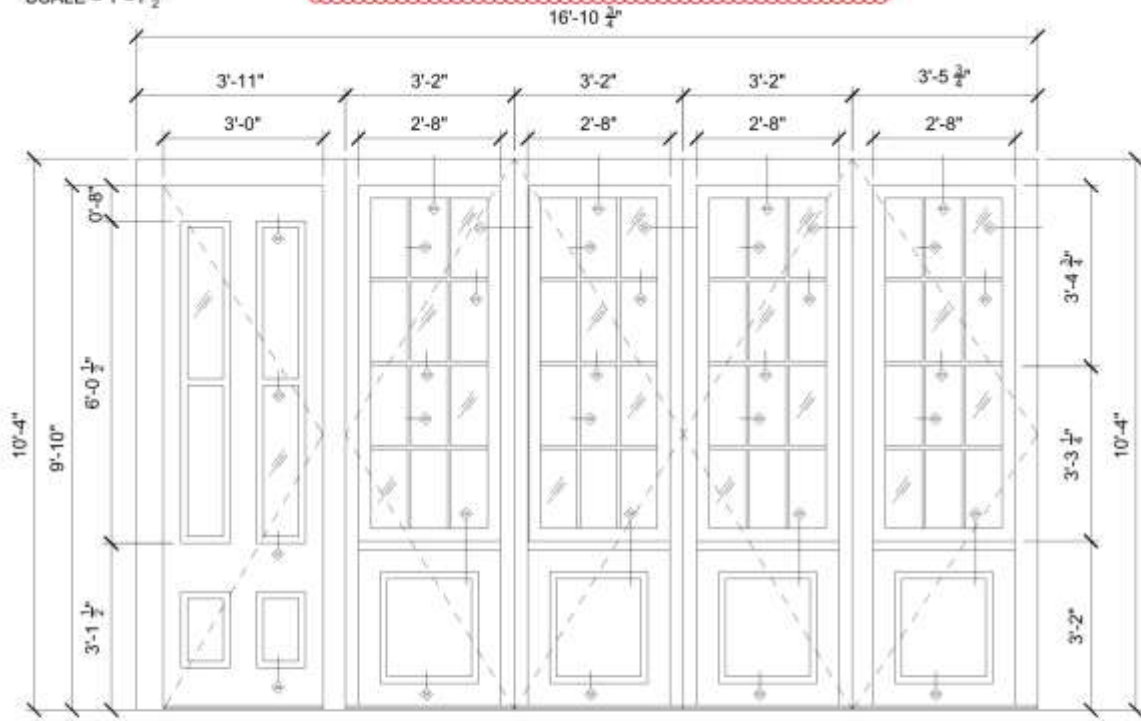
BEVOLO GAS & ELECTRIC LIGHTS		DRW BY:	JJG	<small>COPYRIGHT 2017, BEVOLO GAS & ELECTRIC LIGHTS. THIS DRAWING AND ANY DESIGN OR DATA CONTAINED THEREIN ARE CONSIDERED PROPERTY OF BEVOLO GAS AND ELECTRIC LIGHTS. NEITHER THE DRAWING NOR ITS CONTENT MAY BE COPIED, REPRODUCED, OR EDITED TO A LIKENESS WITHOUT THE WRITTEN CONSENT OF BEVOLO GAS AND ELECTRIC LIGHTS.</small>
LIGHT:	MODERNIST	DATE:		
BRACKET:	SQUARE YOKE	4-25-17	REVISION: 1	



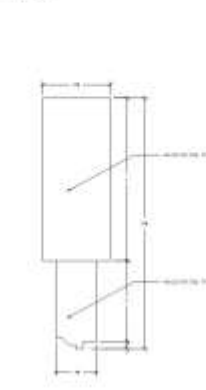
EGRESS & BIFOLD DOOR SPEC

OPTION A
AT MAIN BUILDING REAR ELEVATION TO REPLACE EXISTING DOOR / WINDOWS WITH NEW
BI-FOLD + SINGLE SWING DOOR

SCALE = 1"=1'-0"



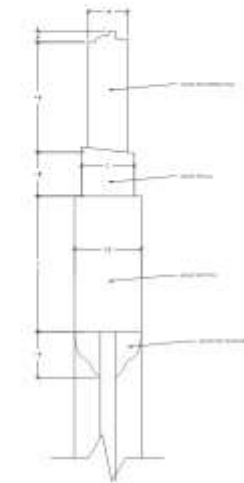
D1 TYP. STILE SECTION
SCALE 1/4"=1"



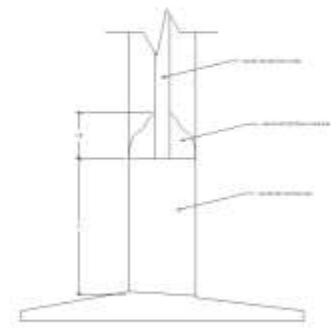
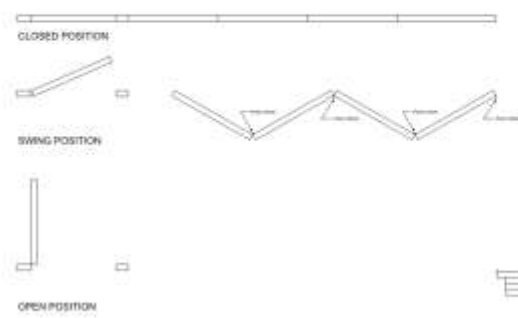
D2 TYP. TOP RAIL SECTION
SCALE 1/4"=1"



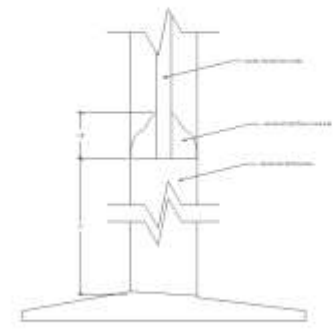
D3 TYP. MUNTIN SECTION
SCALE 1/4"=1"



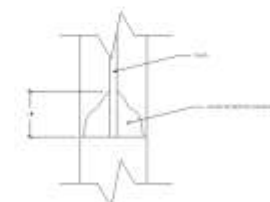
D4 TYP. BOTTOM RAIL SECTION
SCALE 1/4"=1"



D5 TYP. BOTTOM PANEL SECTION
SCALE 1/4"=1"



D6 TYP. BOTTOM PANEL SECTION
SCALE 1/4"=1"



D7 TYP. RAIL SECTION
SCALE 1/4"=1"

MK RED

SHOP DRAWINGS
420 BOURBON STREET
NEW ORLEANS, LA 70130

JOB #
420-2021
DRAWN BY: MB
CHECKED BY: MB
DATE:
5.27.2021
FOR:
VCC
REVISIONS:

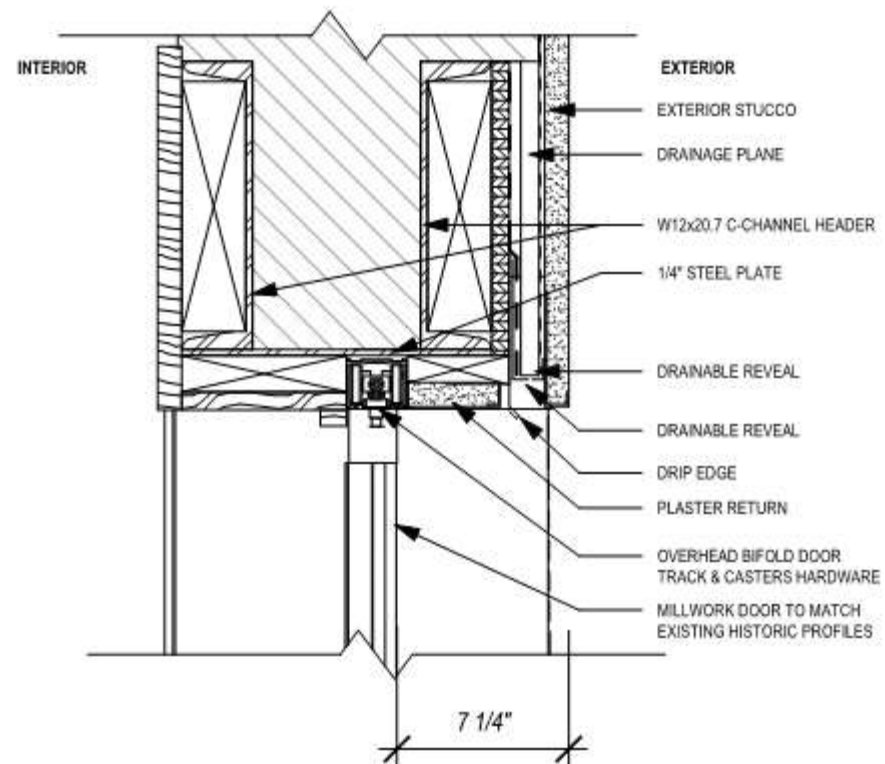
SHEET CONTENTS:
DOOR &
BIFOLD
DETAILS

A602

2 OF 2

30154 DAUPHINE STREET NEW ORLEANS, LA 70117 - ARCHITECT@MKREDLLP.COM | 504.265.0332
MICHAEL BOSSO, RA, NALMBA, ARCHITECT





OPTION A
HEAD DETAIL @ BI-FOLD DOOR
SCALE 1-1/2" = 1'-0"



530-34 Bourbon
(deferral to allow for resubmittal)



700 Royal



700 Royal - 2011





700 Royal – 1920s





700 Royal



700 Royal – 1930s



700 Royal – 2011

VCC Architectural Committee

July 13, 2021





700 Royal – 2011

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July 13, 2021





700 Royal, "Soot," freshly painted, 2013





700 Royal, "Soot," 2014

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July 13, 2021





700 Royal, "Soot," 2014

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July 13, 2021





700 Royal, 07/14/2020

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July 13, 2021





700 Royal, 07/14/2020

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July 13, 2021





700 Royal, 07/14/2020

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July 13, 2021





700 Royal, 4/29/2021





700 Royal, 4/29/2021

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700 Royal, Smoke Gray swatch





700 Royal, Smoke Gray swatch

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July 13, 2021





700 Royal

VCC Architectural Committee

July 13, 2021





700 Royal, second swatch

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July 13, 2021





700 Royal, second swatch

VCC Architectural Committee

July 13, 2021





700 Royal, second swatch

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July 13, 2021





700 Royal, Smoke Gray

VCC Architectural Committee

July 13, 2021





700 Royal, submitted by applicant





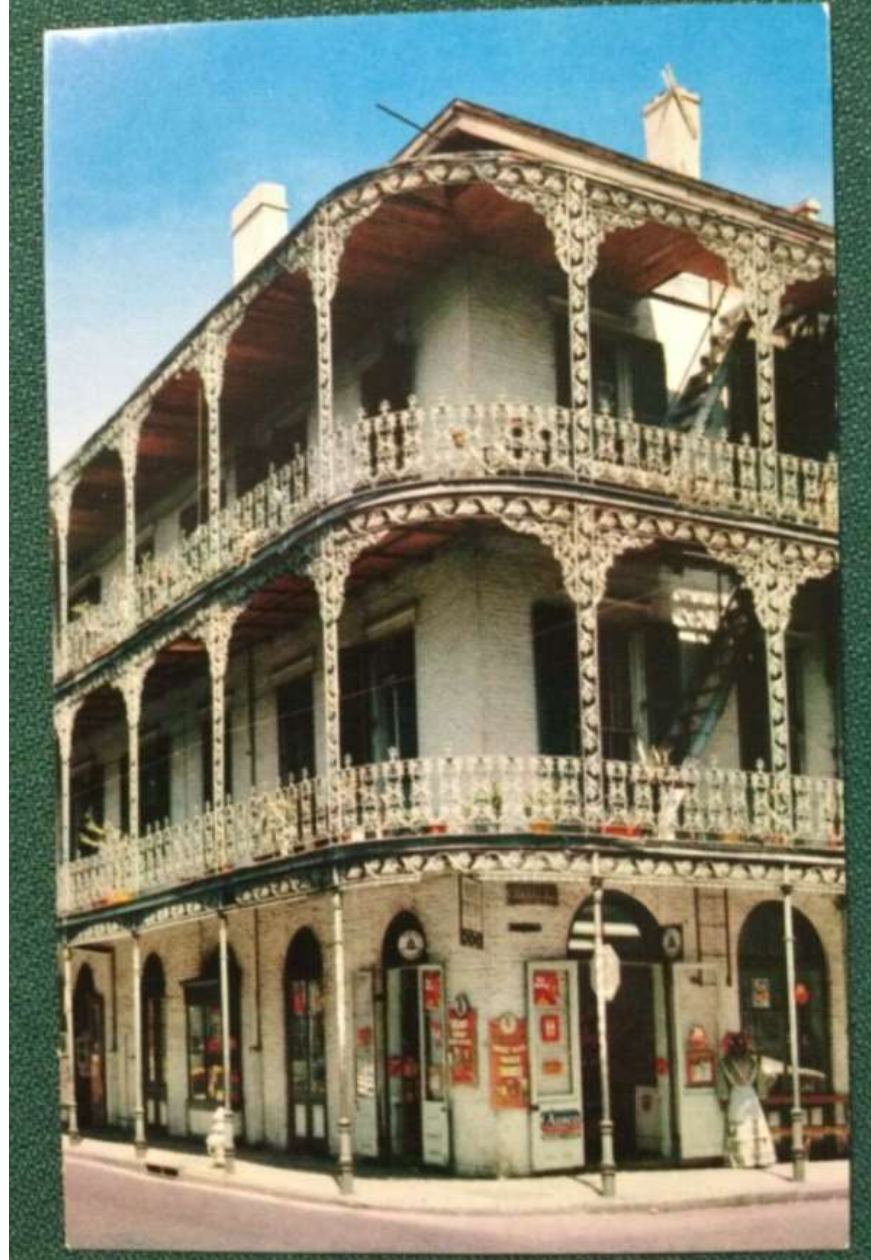
700 Royal Street

700 Royal, submitted by applicant

VCC Architectural Committee

July 13, 2021





700 Royal, submitted by applicant

VCC Architectural Committee

July 13, 2021





700 Royal, submitted by applicant

VCC Architectural Committee

July 13, 2021



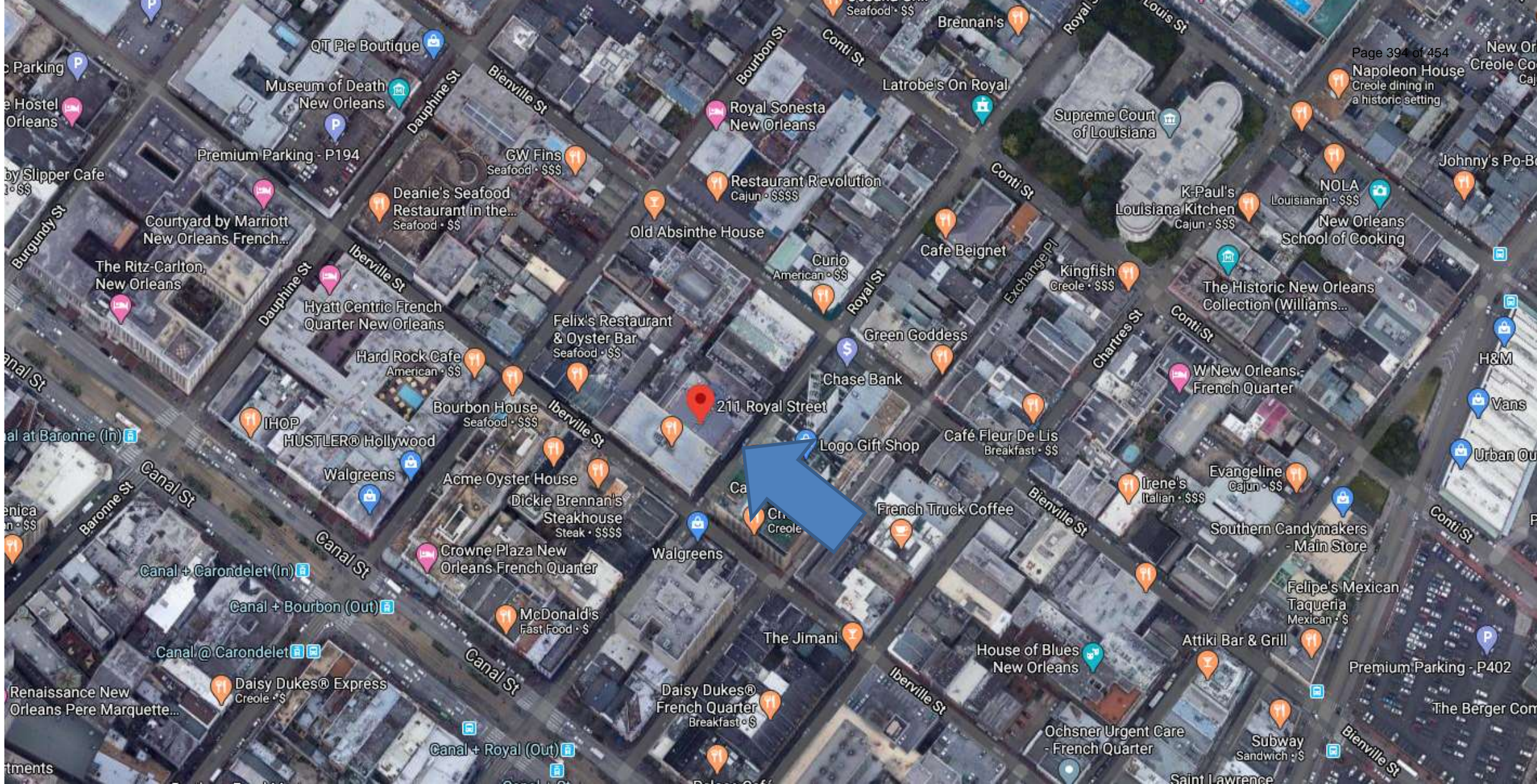


700 Royal, submitted by applicant





211 Royal

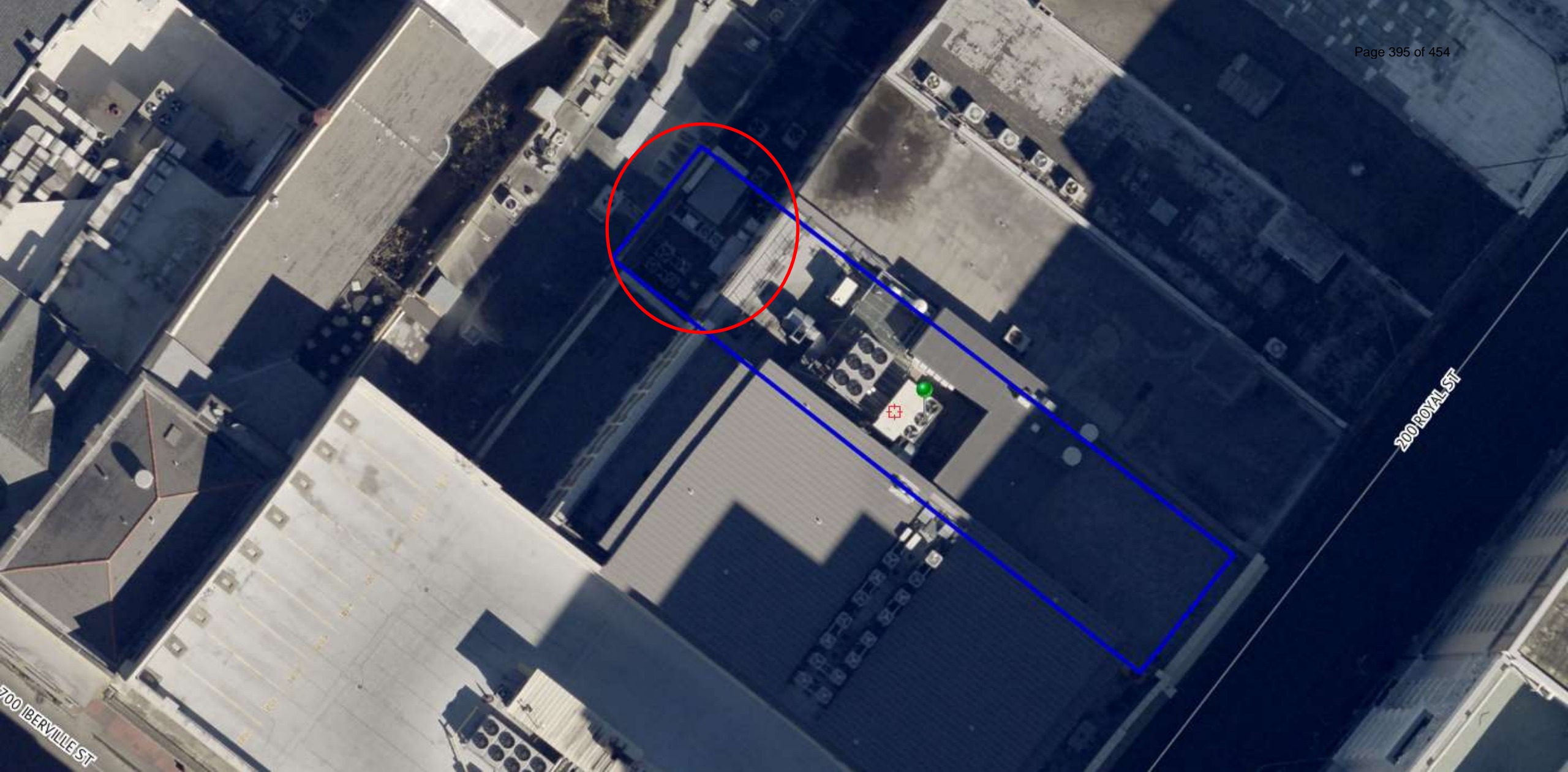


211-219 Royal

Vieux Carre Commission

December 4th, 2019





211-219 Royal

Vieux Carre Commission

December 4th, 2019





211-219 Royal

Vieux Carre Commission

December 4th, 2019





211-219 Royal

Vieux Carre Commission

December 4th, 2019





211-219 Royal

Vieux Carre Commission

December 4th, 2019



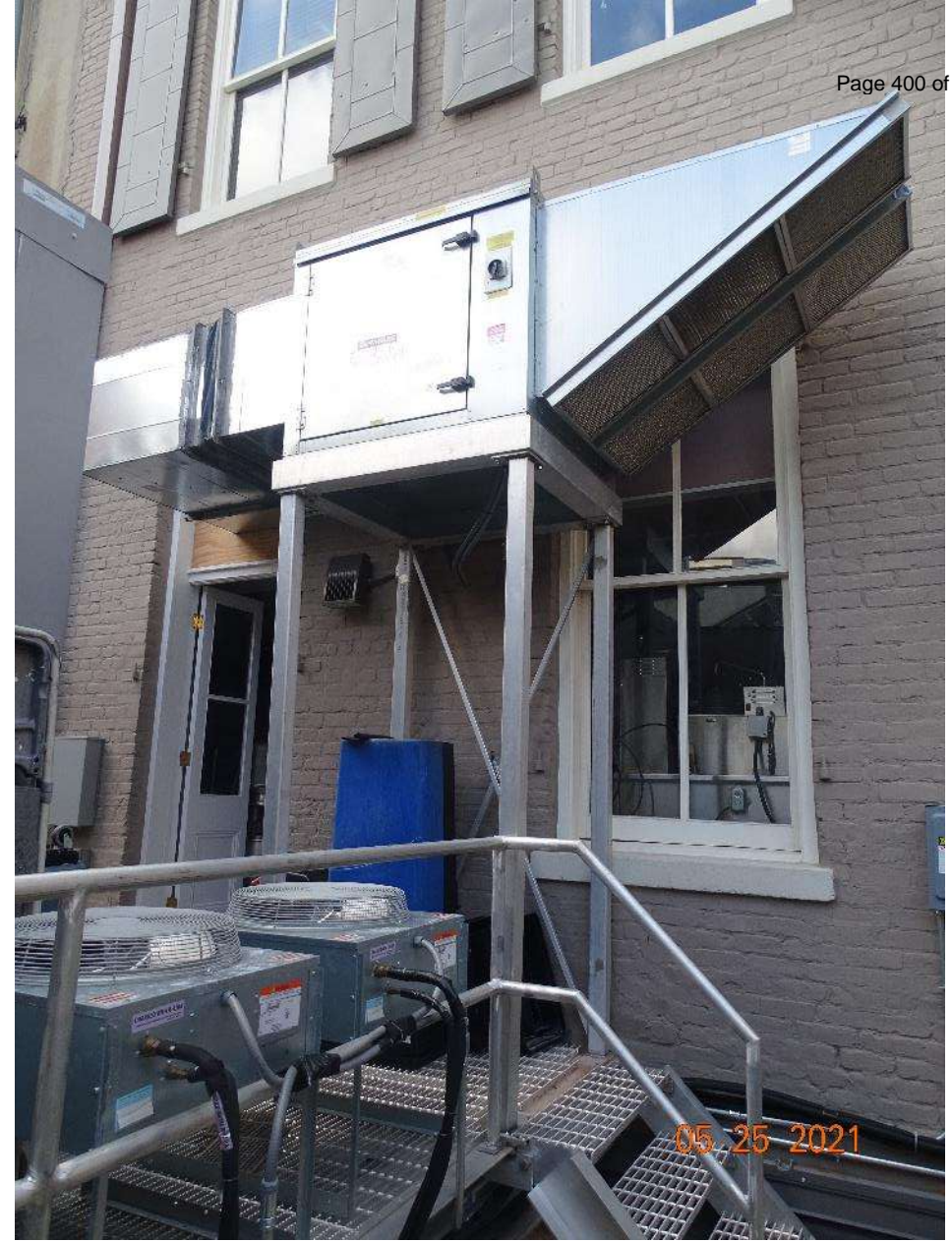


211 Royal

VCC Architectural Committee

July 13, 2021





211 Royal

VCC Architectural Committee

July 13, 2021





211 Royal

VCC Architectural Committee

July 13, 2021





211 Royal

VCC Architectural Committee

July 13, 2021





211 Royal

VCC Architectural Committee

July 13, 2021



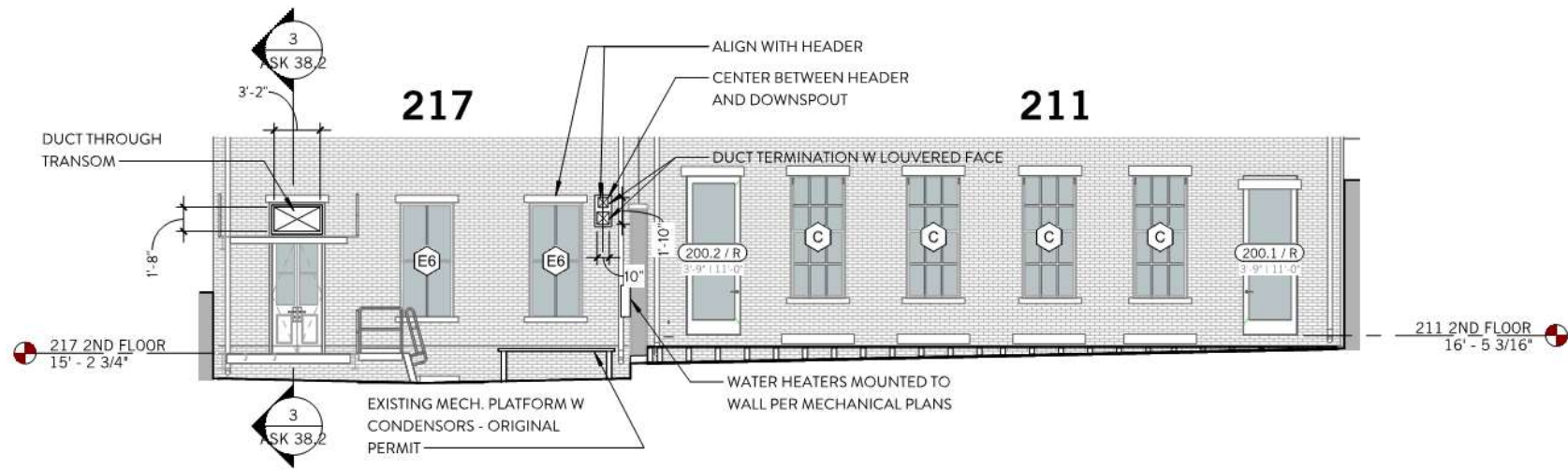


211 Royal

VCC Architectural Committee

July 13, 2021





1 ELEVATION - REAR WALL PENETRATIONS

ASK 1/8" = 1'-0"
38.2

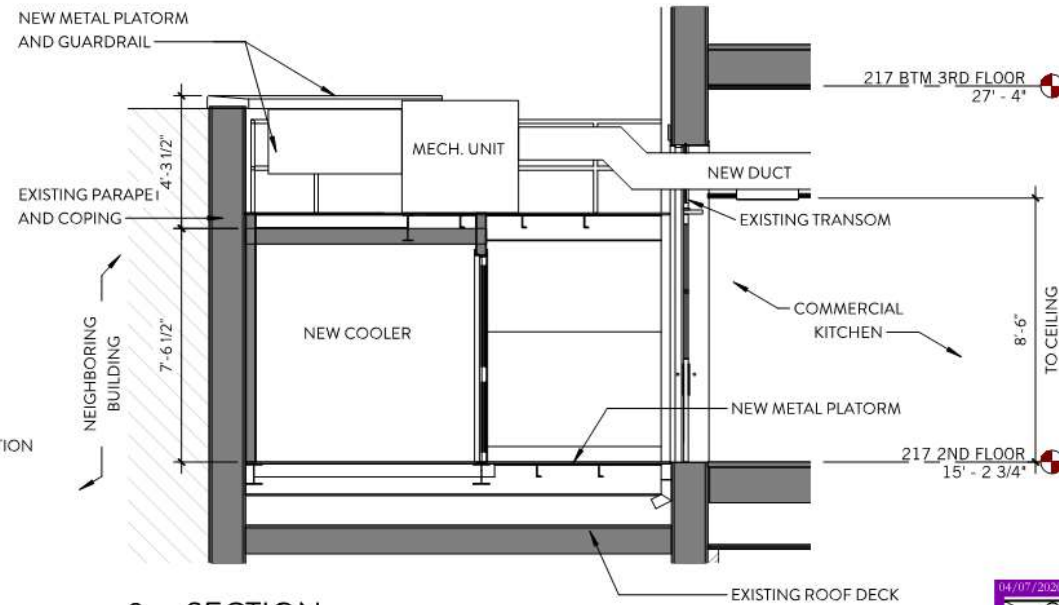


MECHANICAL PENETRATION LOCATION



MECHANICAL PENETRATION LOCATION, THROUGH TRANSOM

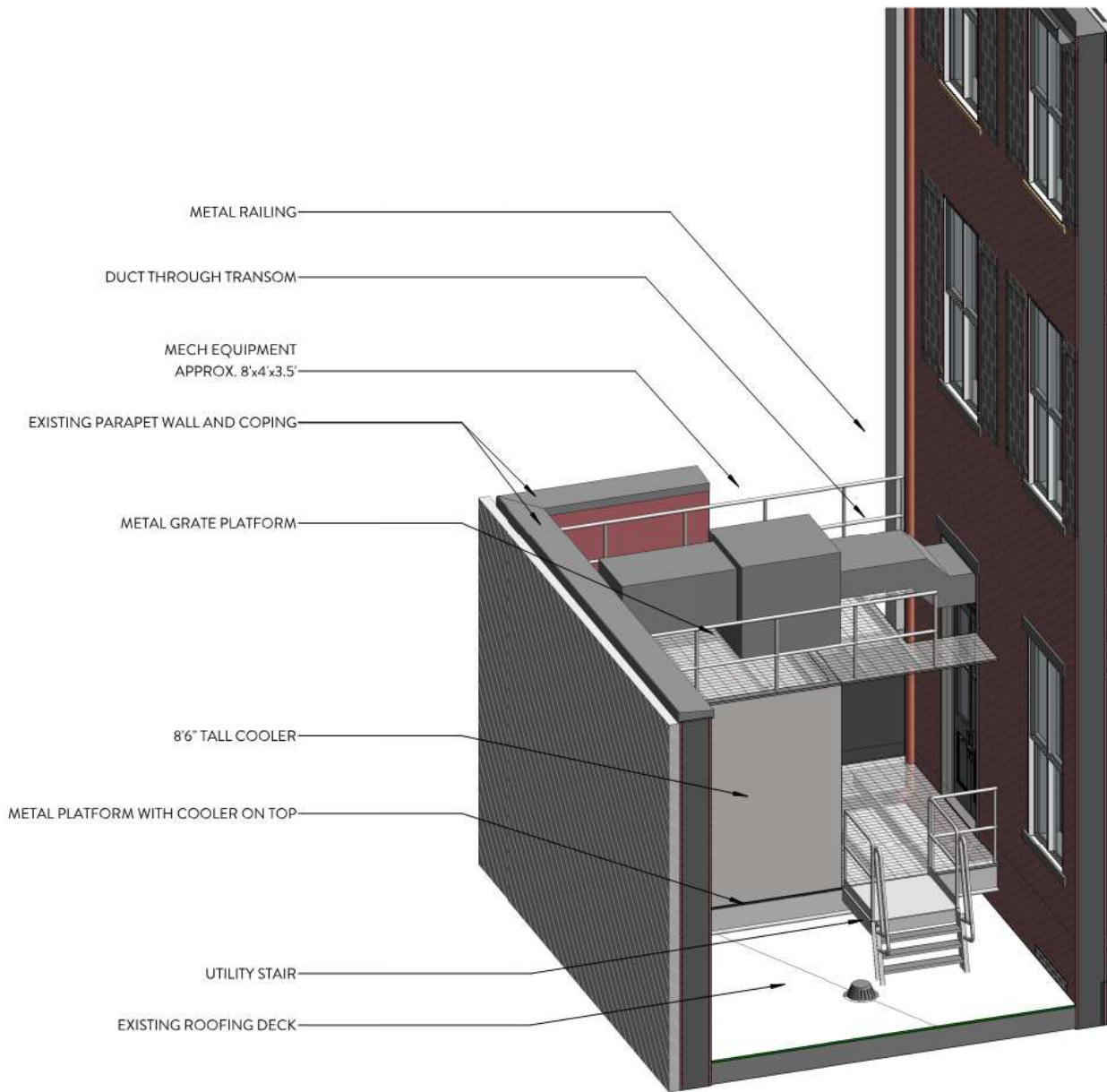
SITE PHOTOS



3 SECTION

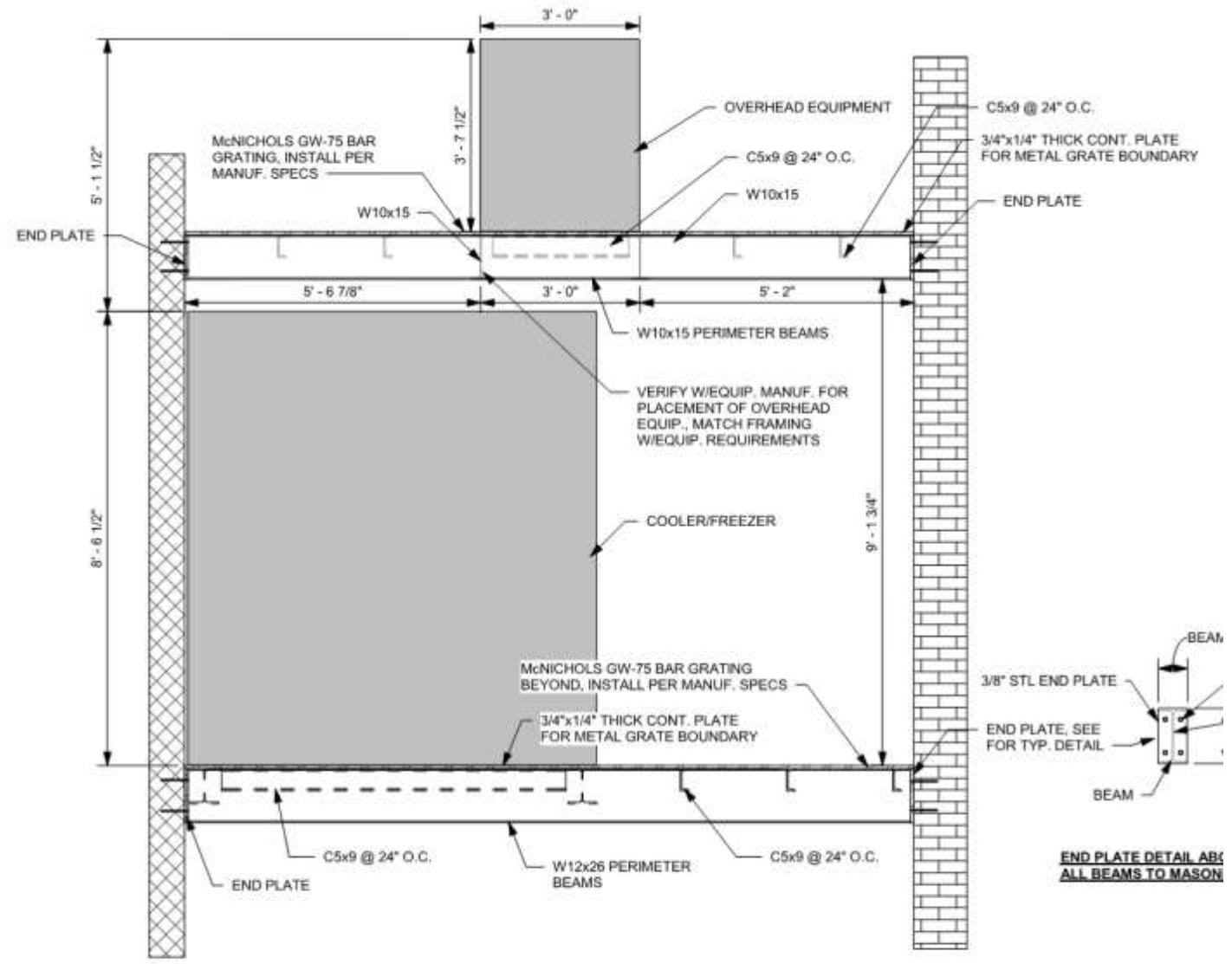
ASK 1/4" = 1'-0"
38.2





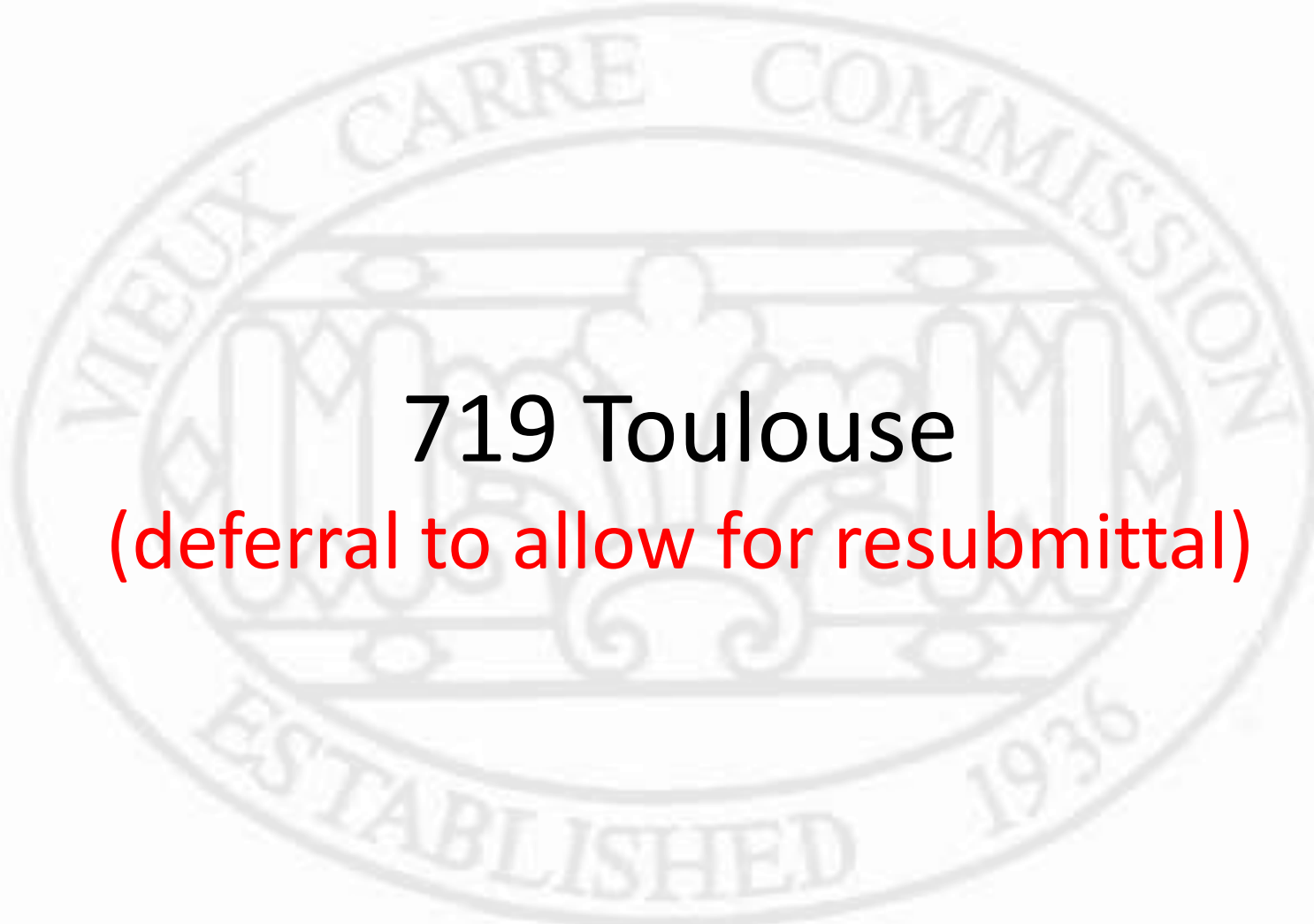


211 Royal



3 Cooler Platform Elevation
SKS-12 1/2" = 1'-0"



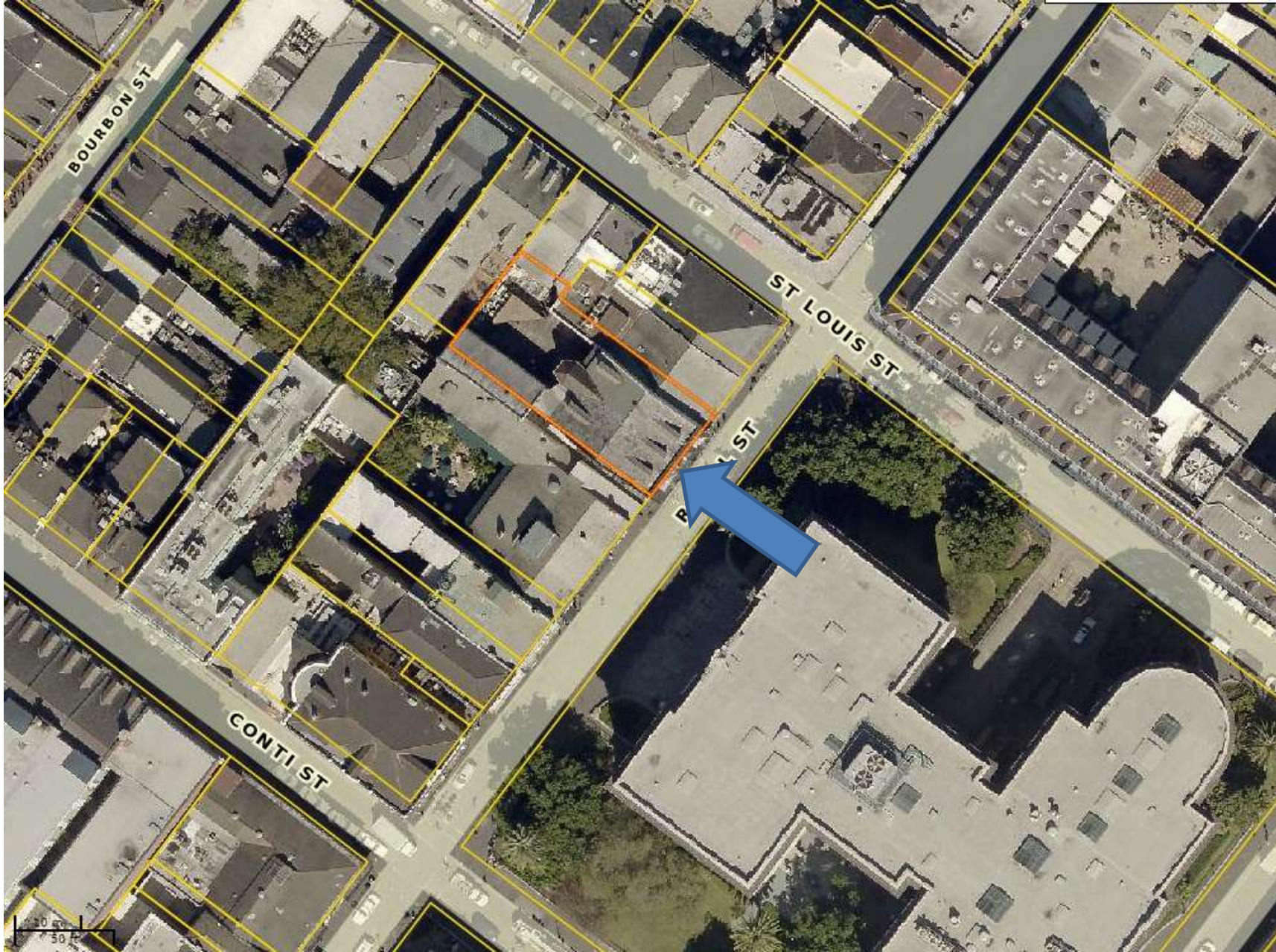


719 Toulouse

(deferral to allow for resubmittal)



427-33 Royal



427-433 Royal

VCC Architectural Committee

July 13, 2021



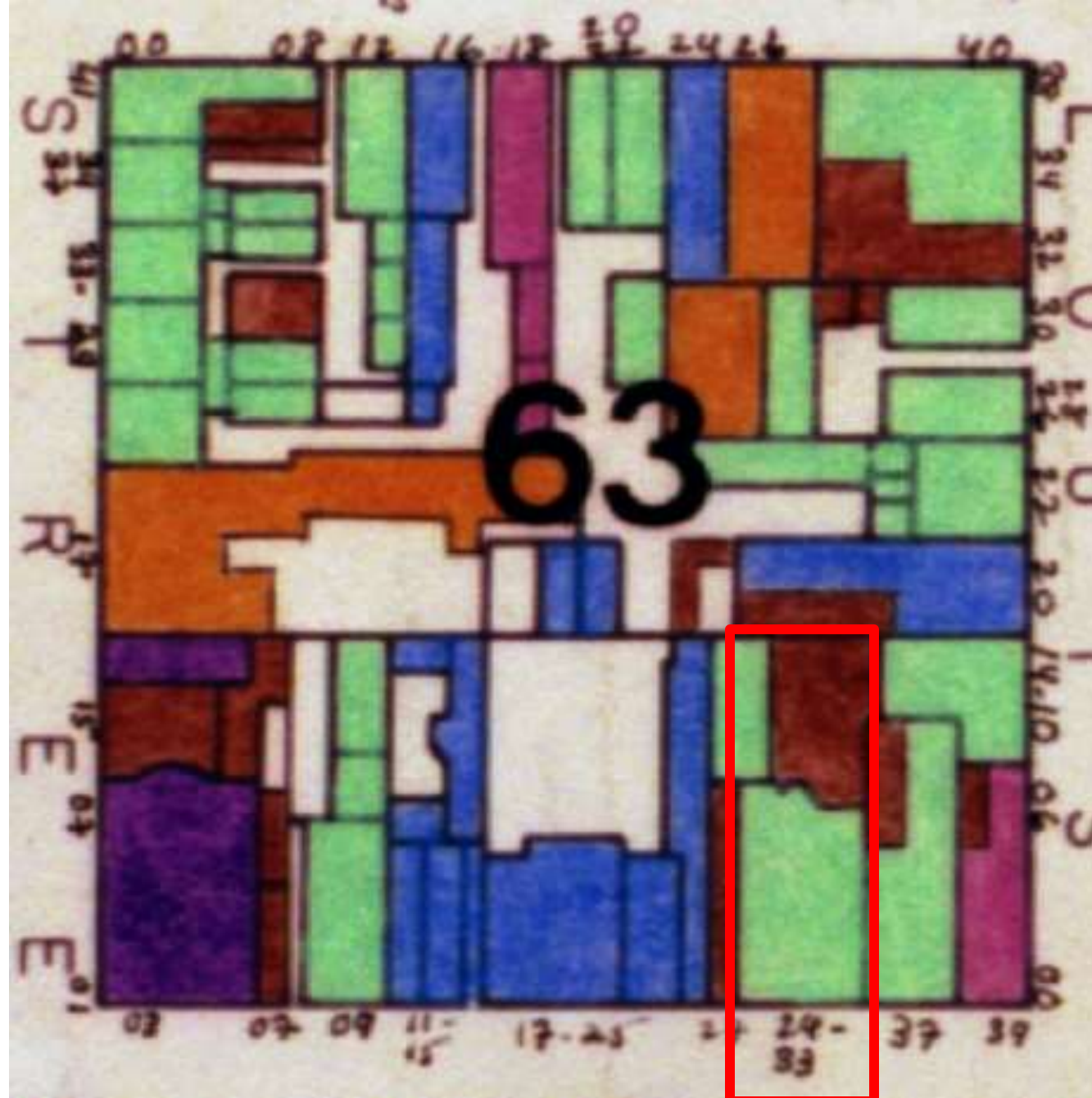


427-433 Royal

VCC Architectural Committee

July 13, 2021





431 Royal

VCC Architectural Committee

July 13, 2021





431 Royal, ca. 1959

VCC Architectural Committee

July 13, 2021





431 Royal

VCC Architectural Committee

July 13, 2021





431 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

VCC Architectural Committee

July 13, 2021





427-433 Royal

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427-433 Royal

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July 13, 2021





427-433 Royal – 04/19/2021

VCC Architectural Committee

July 13, 2021





427-433 Royal – 04/19/2021





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July 13, 2021





427-433 Royal – 04/19/2021

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427-433 Royal – 04/19/2021



427 - 433 ROYAL ST.



VICINITY MAP



FRONT FACADE



WILLIAMS ARCHITECTS
 434 MARCONI STREET
 NEW ORLEANS, LA 70116
 504-582-0888
 WILLIAMSARCHITECTS.COM

This drawing and specifications have been prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Louisiana. I am not providing any design services for this project.



DRAWN BY: J. J. WILLIAMS
 DATE: 07/13/2021

EXTERIOR RENOVATIONS TO:
 431 ROYAL STREET, NEW ORLEANS LA 70116

BENCHMARK INFO

REVISIONS		
No.	Date	Scope

TITLE PAGE

DRAWING BY: J. J. WILLIAMS
 JOB NO.: 21001
 DATE: 07/13/2021
 SHEET NO.: G001

GENERAL NOTES	PROJECT DIRECTORY	PROJECT INFORMATION	SYMBOL LEGEND	DRAWING INDEX
<p>SEE OTHER SHEETS FOR ADDITIONAL GENERAL CONSTRUCTION NOTES</p> <p>1. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY THE PROJECT SITE AND SECURE NECESSARY PERMITS FROM THE PROJECT SITE BEFORE THE IMPACT OF THE WORK FROM THE PROJECT SITE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE PROJECT SITE.</p> <p>2. THE GENERAL CONTRACTOR SHALL VERIFY THE PROJECT SITE AND SECURE NECESSARY PERMITS FROM THE PROJECT SITE BEFORE THE IMPACT OF THE WORK FROM THE PROJECT SITE.</p> <p>3. THE GENERAL CONTRACTOR SHALL VERIFY THE PROJECT SITE AND SECURE NECESSARY PERMITS FROM THE PROJECT SITE BEFORE THE IMPACT OF THE WORK FROM THE PROJECT SITE.</p> <p>4. THE GENERAL CONTRACTOR SHALL VERIFY THE PROJECT SITE AND SECURE NECESSARY PERMITS FROM THE PROJECT SITE BEFORE THE IMPACT OF THE WORK FROM THE PROJECT SITE.</p> <p>5. 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WILLIAMS</p> <p>PROJECT PHONE: 504-582-0888</p> <p>PROJECT EMAIL: J.WILLIAMS@WILLIAMSARCHITECTS.COM</p> <p>PROJECT WEBSITE: WILLIAMSARCHITECTS.COM</p> <p>PROJECT START DATE: 07/13/2021</p> <p>PROJECT END DATE: 07/13/2021</p>	<p>SYMBOL LEGEND</p> <p>1. 1/4" = 1'-0" (SCALE)</p> <p>2. 1/4" = 1'-0" (SCALE)</p> <p>3. 1/4" = 1'-0" (SCALE)</p> <p>4. 1/4" = 1'-0" (SCALE)</p> <p>5. 1/4" = 1'-0" (SCALE)</p> <p>6. 1/4" = 1'-0" (SCALE)</p> <p>7. 1/4" = 1'-0" (SCALE)</p> <p>8. 1/4" = 1'-0" (SCALE)</p> <p>9. 1/4" = 1'-0" (SCALE)</p> <p>10. 1/4" = 1'-0" (SCALE)</p> <p>11. 1/4" = 1'-0" (SCALE)</p> <p>12. 1/4" = 1'-0" (SCALE)</p> <p>13. 1/4" = 1'-0" (SCALE)</p> <p>14. 1/4" = 1'-0" (SCALE)</p> <p>15. 1/4" = 1'-0" (SCALE)</p> <p>16. 1/4" = 1'-0" (SCALE)</p> <p>17. 1/4" = 1'-0" (SCALE)</p> <p>18. 1/4" = 1'-0" (SCALE)</p> <p>19. 1/4" = 1'-0" (SCALE)</p> <p>20. 1/4" = 1'-0" (SCALE)</p>	<p>DRAWING INDEX</p> <p>1. 1/4" = 1'-0" (SCALE)</p> <p>2. 1/4" = 1'-0" (SCALE)</p> <p>3. 1/4" = 1'-0" (SCALE)</p> <p>4. 1/4" = 1'-0" (SCALE)</p> <p>5. 1/4" = 1'-0" (SCALE)</p> <p>6. 1/4" = 1'-0" (SCALE)</p> <p>7. 1/4" = 1'-0" (SCALE)</p> <p>8. 1/4" = 1'-0" (SCALE)</p> <p>9. 1/4" = 1'-0" (SCALE)</p> <p>10. 1/4" = 1'-0" (SCALE)</p> <p>11. 1/4" = 1'-0" (SCALE)</p> <p>12. 1/4" = 1'-0" (SCALE)</p> <p>13. 1/4" = 1'-0" (SCALE)</p> <p>14. 1/4" = 1'-0" (SCALE)</p> <p>15. 1/4" = 1'-0" (SCALE)</p> <p>16. 1/4" = 1'-0" (SCALE)</p> <p>17. 1/4" = 1'-0" (SCALE)</p> <p>18. 1/4" = 1'-0" (SCALE)</p> <p>19. 1/4" = 1'-0" (SCALE)</p> <p>20. 1/4" = 1'-0" (SCALE)</p>



WINDOW ELEVATIONS

STOREFRONT DETAIL

DRAIN DETAIL

WINDOW DETAILS

REPLACE-GENERAL

WILLIAMS ARCHITECTS
 814 BARRINGER STREET
 NEW ORLEANS, LA 70113
 504-586-3000
 WILLIAMSARCHITECTS.COM

EXTERIOR RENOVATIONS TO:
 431 ROYAL STREET, NEW ORLEANS, LA 70116

BENCHMARK INFO

-REVISIONS-		
No.	Date	Scope
01	06/10/2011	VOC SUBMITTAL

DETAILS

DRAWING BY: CR
 SCALE: 1/8" = 1'-0"
 DATE: 06/20/2011
 Sheet No.

A201

427-433 Royal

VCC Architectural Committee

July 13, 2021



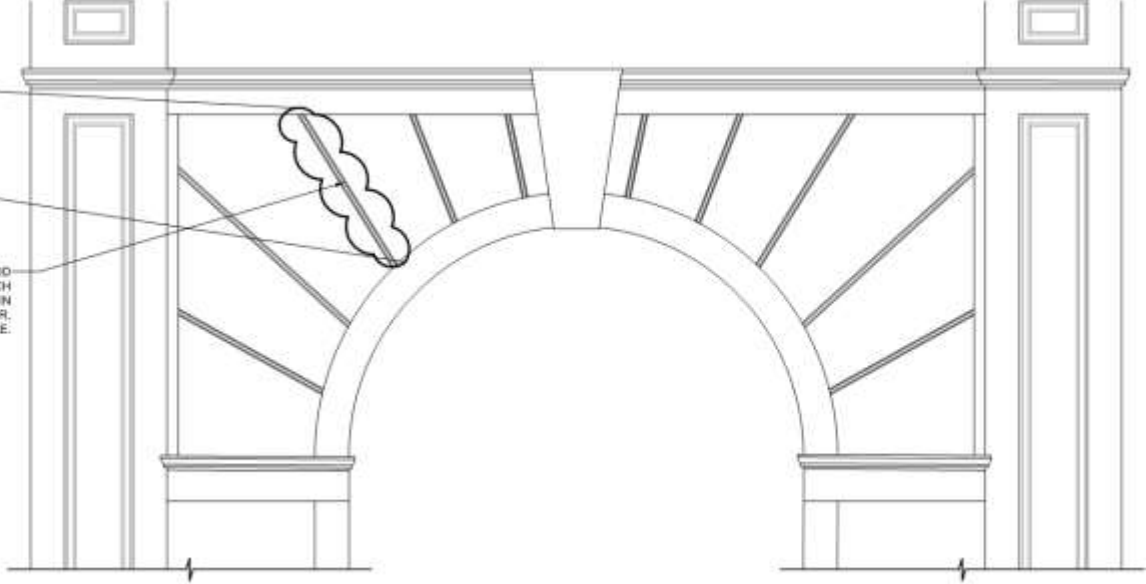


RE-ATTACH HANDRAIL
THAT WAS REMOVED
WHEN FLAT ROOFING
WAS UPGRADED

○ REPLACE HANDRAIL
scale: N/A

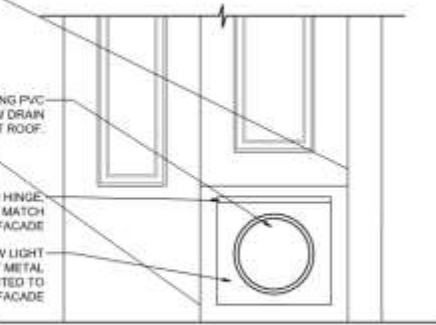


NEW WOOD MUNTIN, MATCH EXISTING IN PROFILE, COLOR, & ANGLE.



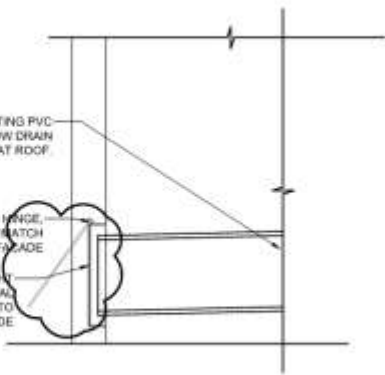
STOREFRONT DETAIL

EXISTING PVC OVER FLOW DRAIN FROM FLAT ROOF.
PIANO HINGE, PAINTED TO MATCH FACADE
NEW LIGHT WEIGHT METAL FLAP, PAINTED TO MATCH FACADE



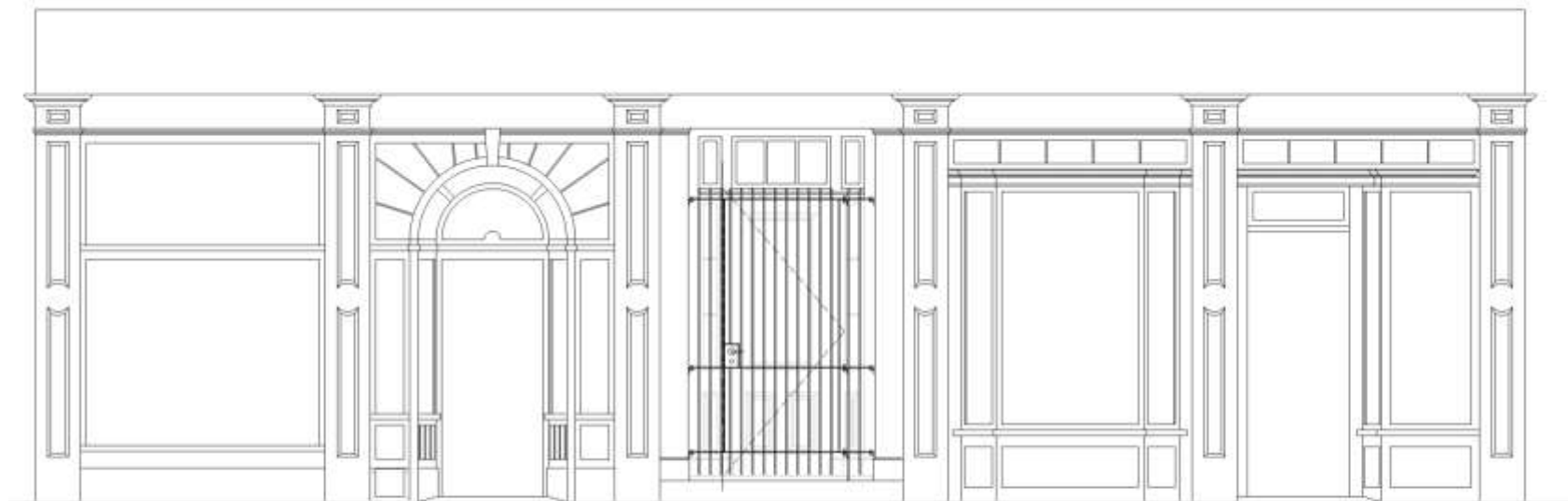
DRAIN DETAIL

EXISTING PVC OVER FLOW DRAIN FROM FLAT ROOF.
PIANO HINGE, PAINTED TO MATCH FACADE
NEW LIGHT WEIGHT METAL FLAP, PAINTED TO MATCH FACADE

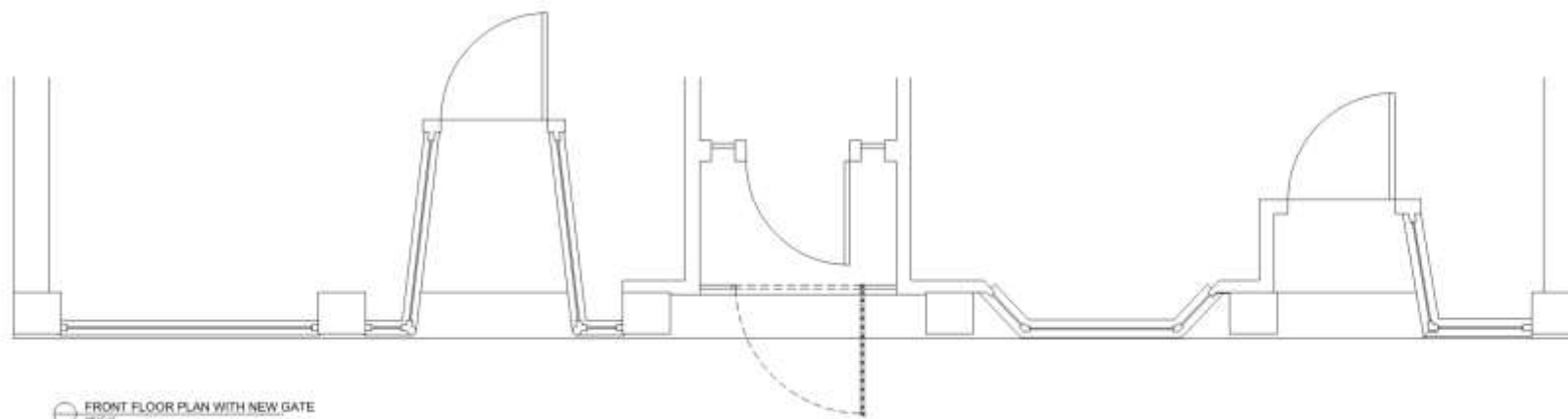


DRAIN SECTION





FRONT FACADE WITH NEW GATE



FRONT FLOOR PLAN WITH NEW GATE

