

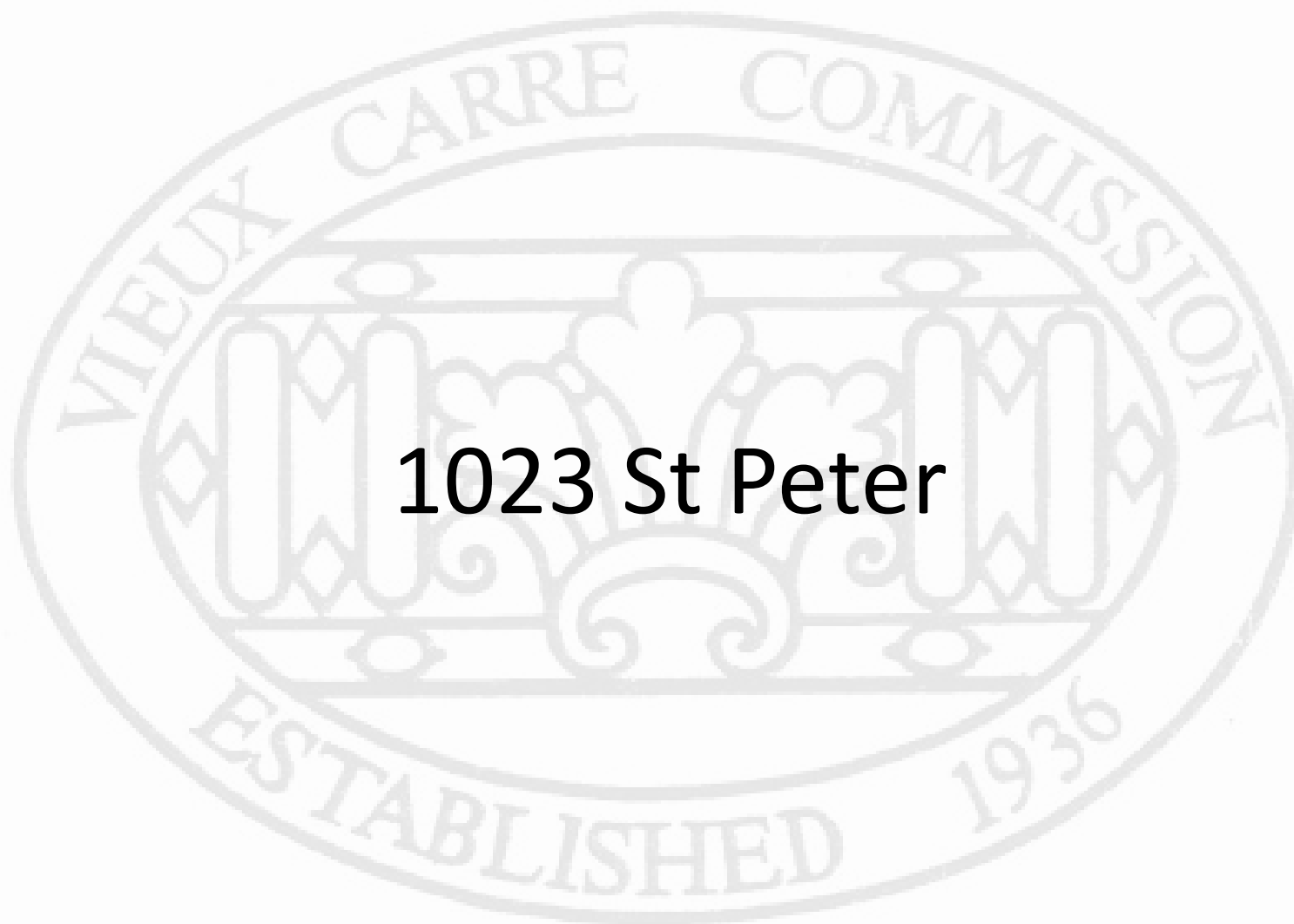


Vieux Carré Commission Architecture Committee Meeting

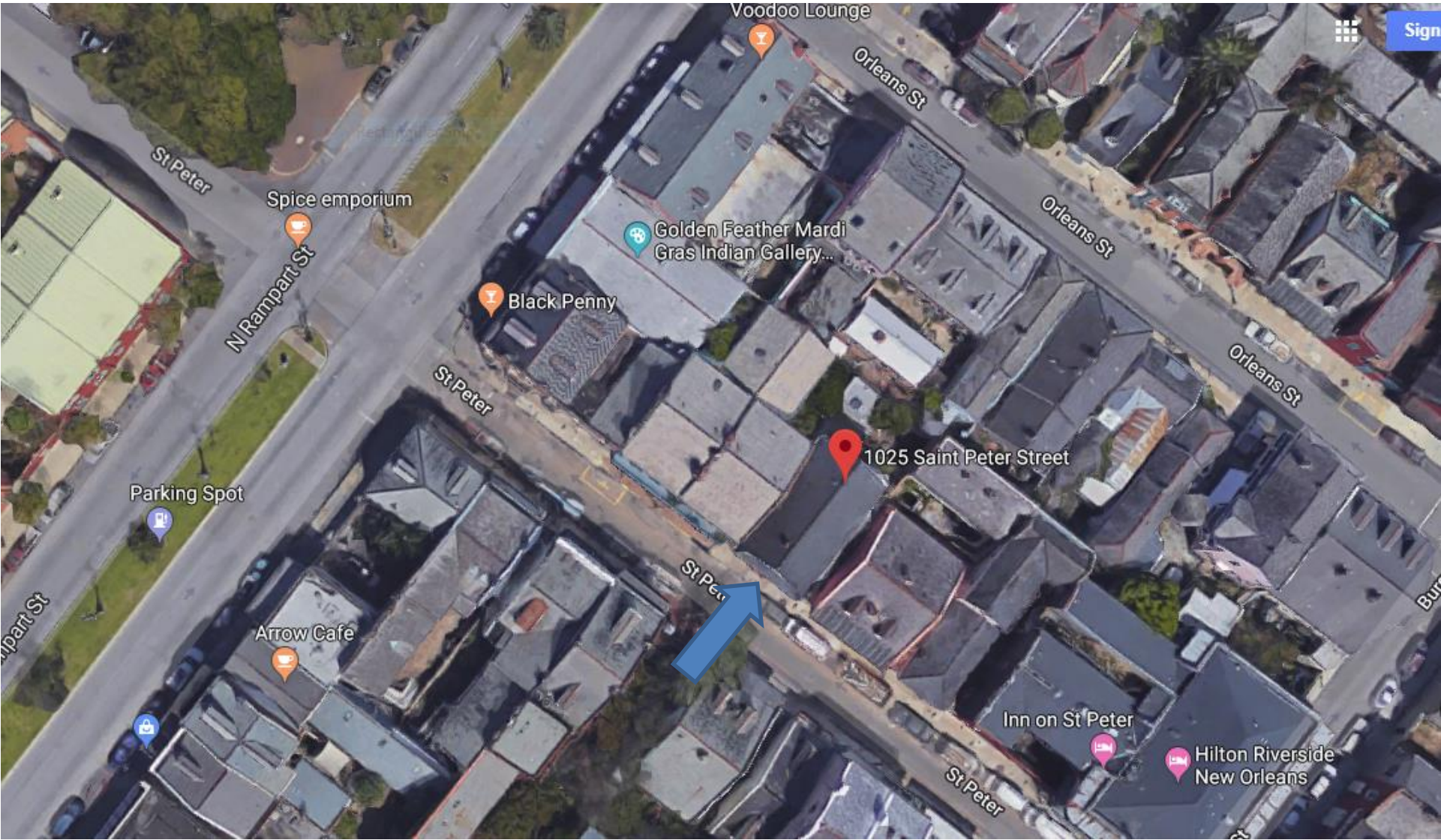
Tuesday, September 21, 2021



Old Business

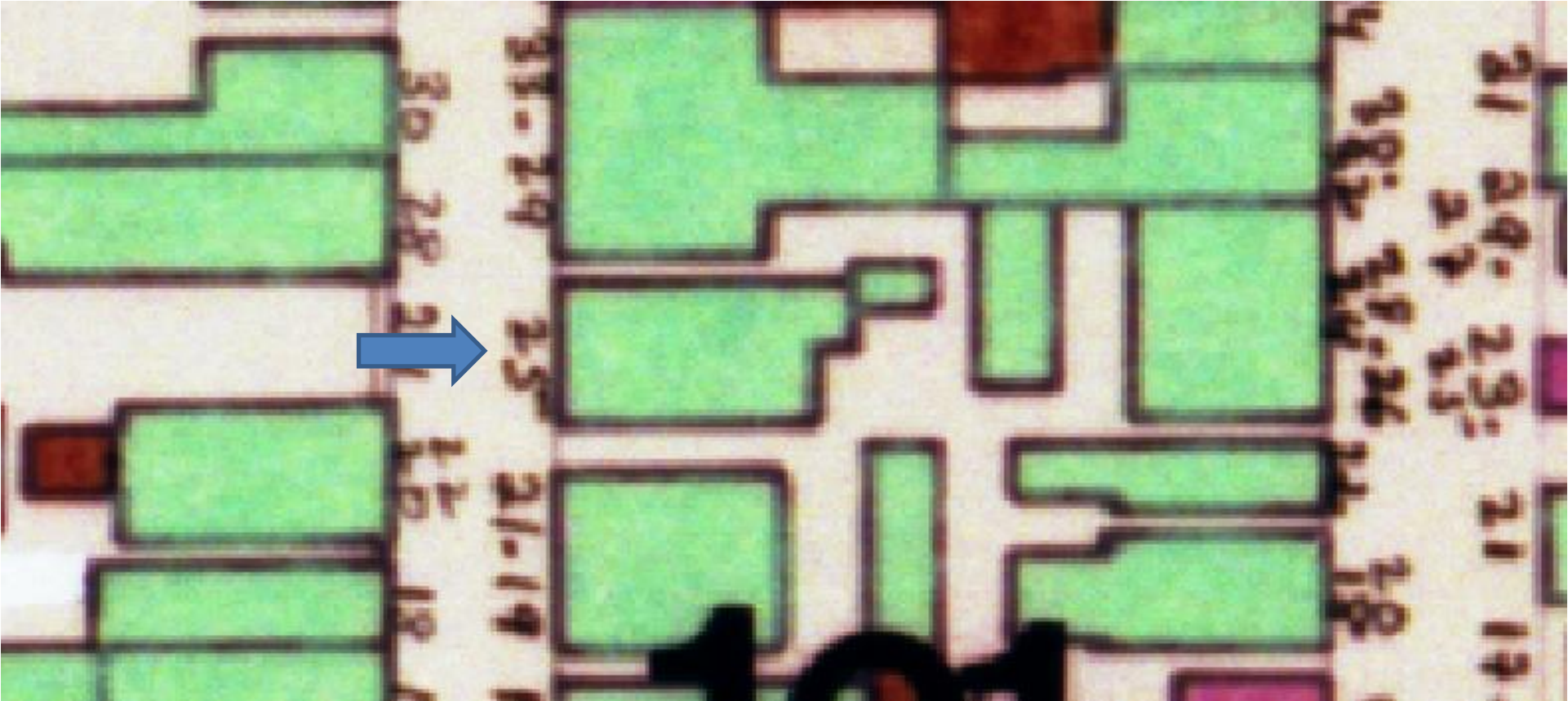


1023 St Peter



1025 St Peter





1025 St Peter





1025 St Peter - 1964

VCC Architectural Committee

September 21, 2021





1025 St Peter

VCC Architectural Committee

September 21, 2021





1023 St Peter

VCC Architectural Committee

02 01 2021

September 21, 2021





1023 St Peter

VCC Architectural Committee

02 01 2021

September 21, 2021





1023 St Peter

02 01 2021



1025 SAINT PETER STREET NEW ORLEANS, LA 70116

PROJECT DESCRIPTION: RENOVATION TO EXISTING SINGLE FAMILY RESIDENCE
AND NEW GUEST HOUSE IN REAR

PROJECT DIRECTORY:

Owner: Rory Panepinto Email: rppinto@aol.com
1 Forrest Court Phone: (504) 376-4664
Metairie, LA 70001

PROJECT ADDRESS: 1025 Saint Peter Street
New Orleans, LA 70116

BOUNDED STREETS: North Rampart St., Burgundy St., & St. Ann St.

PROPERTY DESCRIPTION: Square 101, Lot A
Vieux Carré, Orleans Parish, Louisiana.

CONSTRUCTION TYPE: IRC, Type V, Raised on Piers on Footings.

GEOLOGICAL ZONE: Pile Zone GM-3, Orleans Parish allowable capacity: 5 tons for class 5, 30' long
or refusal,* Pile Tip embedded in sand strata

ZONING: VCR-1 Vieux Carré Residential District

MINIMUM PERMEABLE OPEN SPACE REQUIREMENT: 30% OF LOT AREA
TOTAL LOT AREA: 2,776.92 SF
ACTUAL PERMEABLE OPEN SPACE: 836.25 SF OR 30.11%

MAX. HEIGHT: 50'-0", ACTUAL HEIGHT OF GUEST HOUSE: 24' 6-1/8"

PROJECT INFORMATION:

Renovation of existing single family residence and addition of new Guest House in rear.

MAIN HOUSE:

1ST FLOOR AREA: 1,545.33 SF
2ND FLOOR AREA: 665.22 SF
TOTAL LIVING AREA: 2,211 SF

NEW SLAVE QUARTER / GUEST HOUSE:

1ST FLOOR AREA: 395 SF
2ND FLOOR AREA: 330 SF
TOTAL LIVING AREA: 725 SF

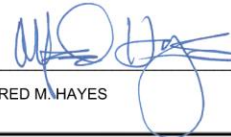


List of Drawings

- G-100 Title Sheet
- A-100 Existing Floor Plan
- D-100 Demolition Plan
- A-101 New First Floor Plan
- A-102 New Second Floor Plan
- A-200 Right Side Elevation / Left Side Elevation / Guest House Front & Rear Elevations
- A-201 Guest House Section 1 & 2 / Loath Path / Rear Elevation (Main House)
- A-202 New Steel Door & Wood Shutter Details for Gust House
- S-100 Main House Foundation Plan
- S-101 Guest House Section 1 & Section 2 / Load Path
- S-102 Guest House Foundation Plan / Second Floor Framing Plan / Roof Framing Plan
- E-100 First Floor Electrical Plan
- E-200 Second Floor Electrical Plan

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH IRC 2015

I HEREBY CERTIFY THAT THE PROJECT MANUAL AND THE PROJECT DRAWINGS WERE
PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY
REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF LOUISIANA. TO THE BEST
OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS COMPLY WITH ALL CODE REQUIREMENTS.
I SHALL OBSERVE THE WORK. I TAKE FULL RESPONSIBILITY FOR THESE PLANS.

BY: 
ALFRED M. HAYES

LICENSE NO. 4032

1025 SAINT PETER STREET
NEW ORLEANS, LA 70116

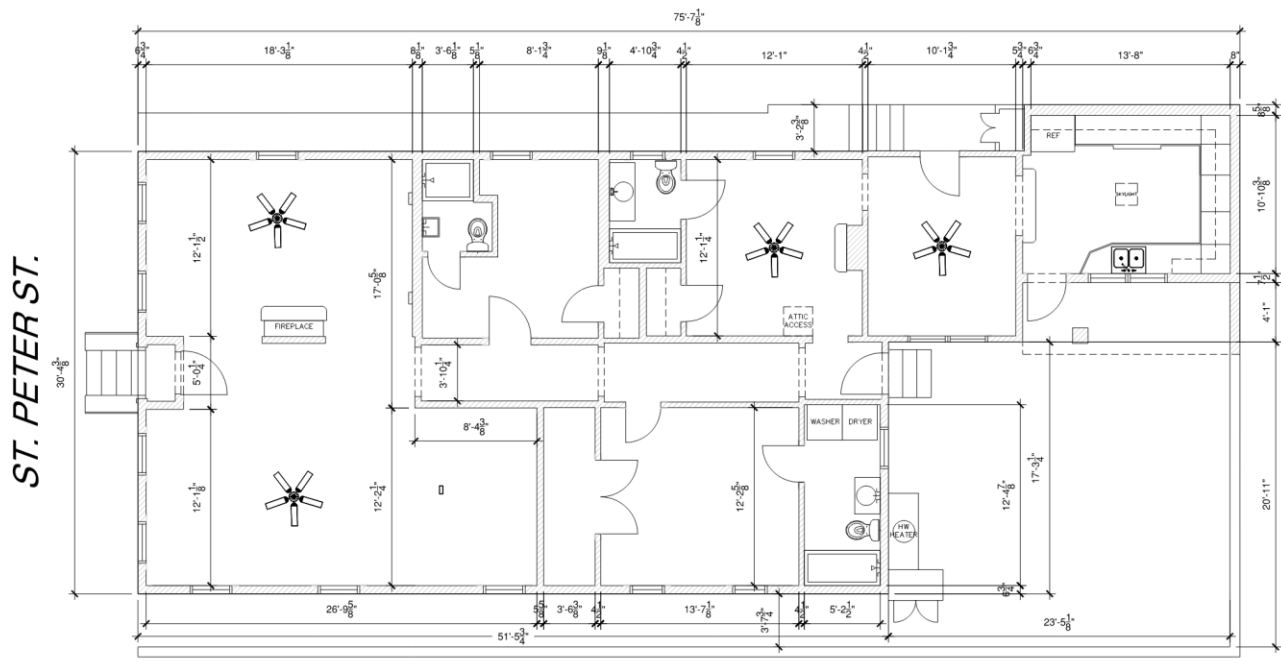
Hayes Architects
A.P.A.C.



DESIGNED BY:	A.HAYES
DRAWN BY:	R.ABNEY
CHECKED BY:	A.HAYES
PROJECT NO:	1025SPF 001
SCALE:	DATE: 10/16/16 REVISION: 00001

G-100
SHEET 1 OF 13





1 EXISTING FIRST FLOOR PLAN
1/4"=1'-0" 1025 ST. PETER ST.

FIRST FLOOR AREA: 1,865 SF

2215 ELMBROOK PARKWAY
METairie, LOUISIANA 70003
E-MAIL: AHAYES33@AISCANT
ARCHITECTS
COPYRIGHT 2017

1025 St. Peters
NEW ORLEANS, LA 70116

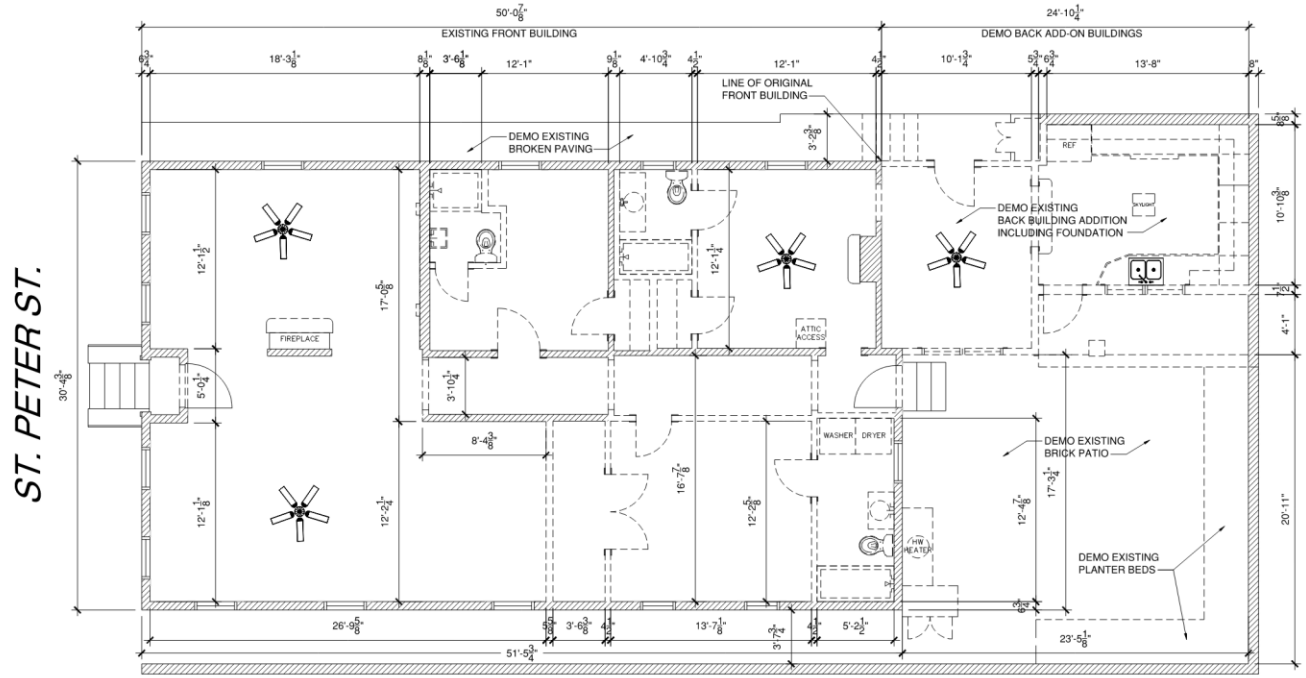
Hayes Architects
A.P.A.C.



DESIGNED BY:	A HAYES
DRAWN BY:	A HAYES
CHECKED BY:	A HAYES
PROJECT NO.:	10255P
SCALE:	
DATE:	8/26/18

A-100
SHEET 2 of 13





1 **DEMOLITION PLAN**
 1/4"=1'-0"
 1025 ST. PETER ST.

EXISTING FIRST FLOOR AREA: 1,865 SF

LEGEND

- EXISTING WALLS TO BE REMOVED
- ===== EXISTING WALLS TO REMAIN

1025 St Peter
 NEW ORLEANS, LA 70116

Hayes Architects
 A.P.A.C.



DESIGNED BY: A.HAYES
 DRAWN BY: A.HAYES
 CHECKED BY: A.HAYES
 PROJECT NO: 1025SP
 SCALE:
 DATE: 09/20/21

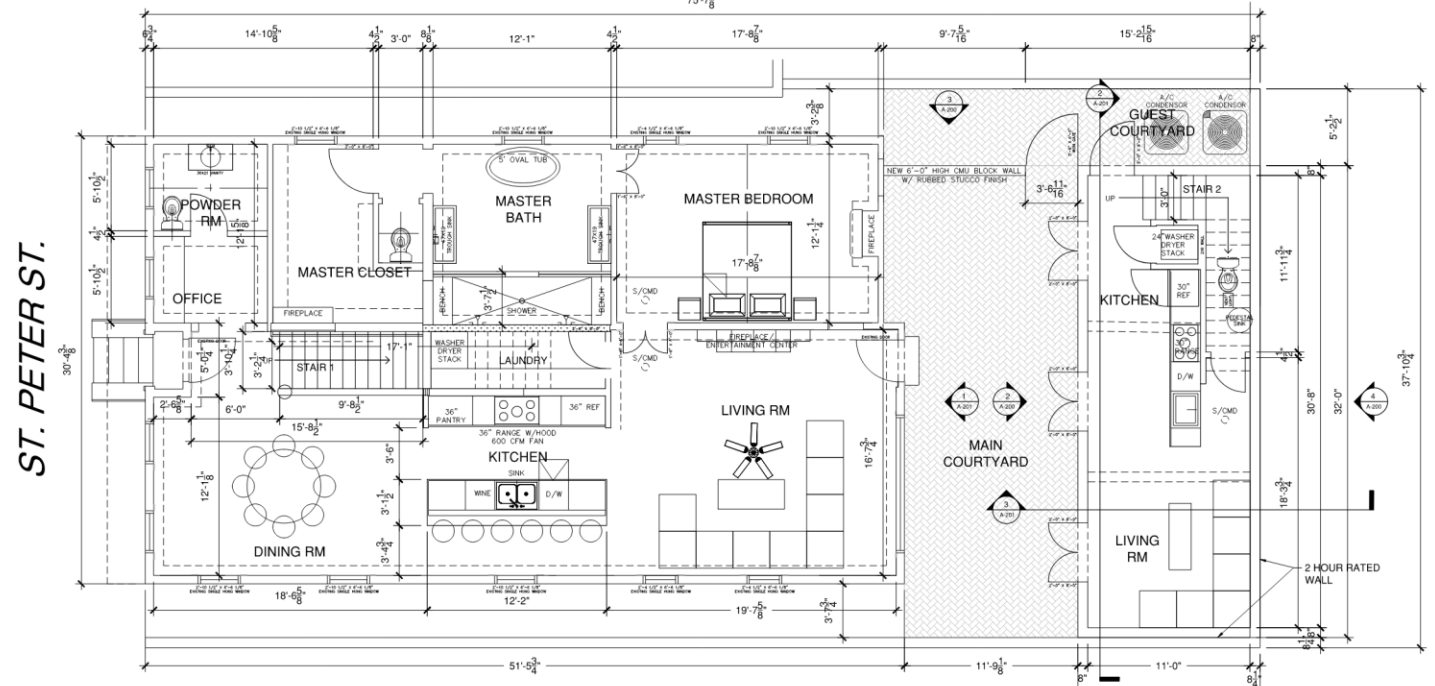
D-100
 SHEET 3 OF 13



NOTE: ALL EXTERIOR WALLS MIN. R-19
 NOTE: ALL ROOF AREAS MIN. R-38
 NOTE: ALL UNDERFLOOR AREAS MIN. R-19
 NOTE: ALL WINDOWS INSULATED LOW-E
 NOTE: PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS.
 AND WITHIN 24" OF ANY DOORS AND 18" OF ANY WALKING SURFACE.
 NOTE: PROVIDE 1 HOUR FIRE RESISTIVE CONSTRUCTION ON
 ROOF OVERHANGS WITHIN 3' FROM PROPERTY LINES.

NOTE: PROVIDE BATHROOM VENTILATION IN ACCORDANCE
 WITH SECTION 1507 OF THE IRC 2015 ED.
 NOTE: PROVIDE PROTECTION OF OPENINGS MEETING THE
 REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.
 CONTRACTOR TO USE 7/16" PLYWOOD PANELS IN ACCORDANCE
 WITH TABLE R301.2.1.2 IRC 2015.
 NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE
 WITH IRC 2015 & ASCE 07-10. BASED UPON 130 BASIC WIND SPEED,
 EXPOSURE "B".

NOTE: ALL WOOD BELOW BFE MUST
 BE TREATED WOOD.
 NOTE: ALL STUDS AT EXTERIOR WALLS
 TO BE 2 X 6 AT 16" O.C.
 NOTE: ALL STUDS AT INTERIOR WALLS TO BE
 2 X 4 AT 16" O.C. UNLESS OTHERWISE NOTED
 NOTE: ALL DIMENSIONS ON ARCHITECTURAL
 FLOOR PLANS ARE TO FACE OF GYP. BD.



ST. PETER ST.

1 NEW FIRST FLOOR PLAN
 1/4"=1'-0"

1025 ST. PETER ST.
 FIRST FLOOR AREA: 1,545.33 SF
 2ND FLOOR AREA: 665.22 SF
 TOTAL FLOOR AREA: 2,211 SF

LEGEND	
	NEW WALLS
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO BE REBUILT
	WALL ABOVE

MINIMUM PERMEABLE OPEN SPACE REQUIREMENT: 30% OF LOT AREA
 TOTAL LOT AREA: 2,776.92 SF
 ACTUAL PERMEABLE OPEN SPACE: 836.25 SF OR 30.11%

NEW SLAVE QUARTER / GUEST HOUSE
 1ST FLOOR: 395 SF
 2ND FLOOR: 330 SF
 725 SF TOTAL

INTERIOR MAIN STAIRS:
 FIRST RUN: 13 RISERS @ 7-3/8" = 7' 11-15/16"
 12 TREADS @ 10-1/4" = 10'-3"
 SECOND RUN: 7 RISERS @ 7-3/8" = 4' 3-11/16"
 6 TREADS @ 10-1/4" = 5' 1-1/2"
 36" HANDRAIL HT. 36" GUARDRAIL HT.
 1.25" NOSING MAX. 2.25" HANDRAIL CLEARANCE
 4" MAX. OPENING IN HANDRAIL/ GUARDRAIL

315 ST. PETER ST. SUITE 100
 METairie, Louisiana 70002
 E-MAIL: ANNA@HAYESARCHITECTS.COM
 TEL: 504.885.3333
 WWW.HAYESARCHITECTS.COM
 COPYRIGHT 2017

1025 St. Peters
 NEW ORLEANS, LA 70116
 Hayes Architects
 A.P.A.C.

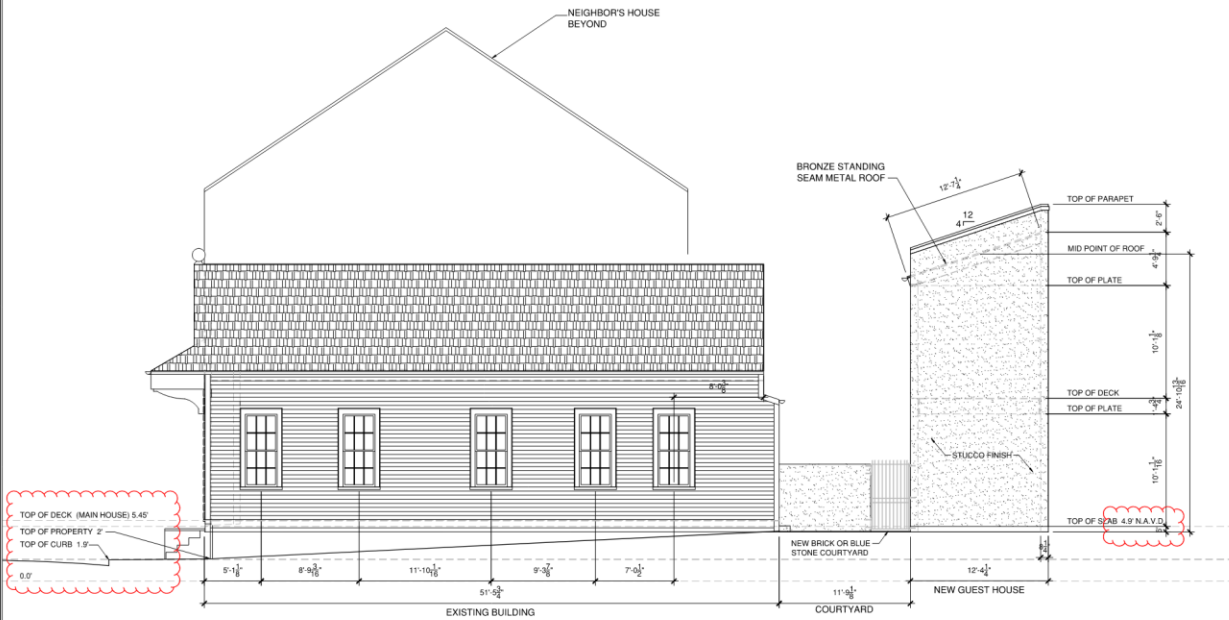


DESIGNED BY:	ANNA HAYES
DRAWN BY:	ANNA HAYES
CHECKED BY:	ANNA HAYES
PROJECT NO:	1025SP
SCALE:	DATE: 6/19/19 REVISED: 11/20/20

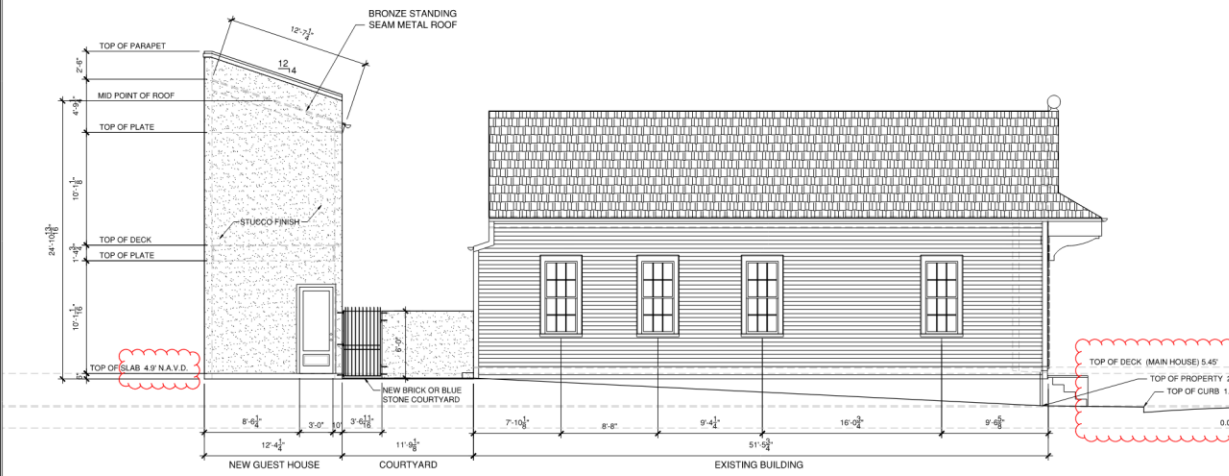
A-101
 SHEET 4 of 13



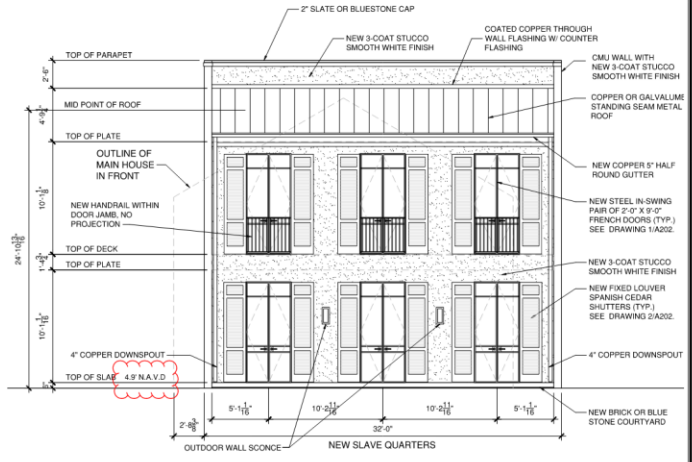
1212 ELWIND PARKWAY
 METairie, LA 70002
 PHONE: 504.885.1154
 FAX: 504.885.1154
 E-MAIL: ARCH@HAYESARCHITECTS.COM
 WWW.HAYESARCHITECTS.COM



1 RIGHT SIDE ELEVATION
 3/16"=1'-0"



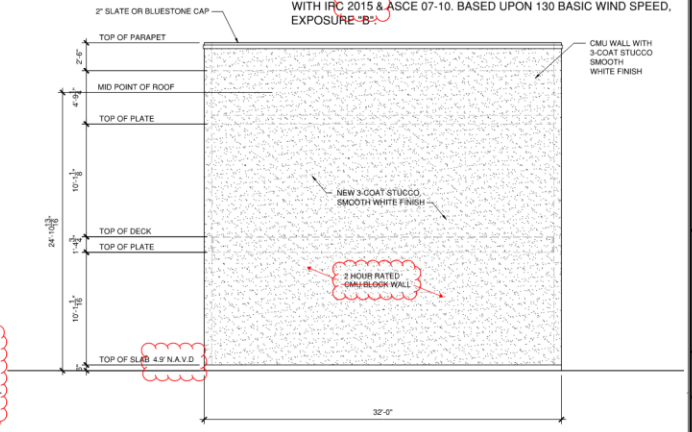
3 LEFT SIDE ELEVATION
 3/16"=1'-0"



2 GUEST HOUSE FRONT ELEVATION
 3/16"=1'-0"

NOTE: PROVIDE PROTECTION OF OPENINGS MEETING THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996. CONTRACTOR TO USE 7/16" PLYWOOD PANELS IN ACCORDANCE WITH TABLE R301.2.1.2 IRC 2015.

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH IRC 2015 & ASCE 07-10. BASED UPON 130 BASIC WIND SPEED, EXPOSURE B.



4 GUEST HOUSE REAR ELEVATION
 3/16"=1'-0"

NOTE: ALL WOOD BELOW BFE MUST BE TREATED WOOD.

1025 St Peters
 NEW ORLEANS, LA 70116

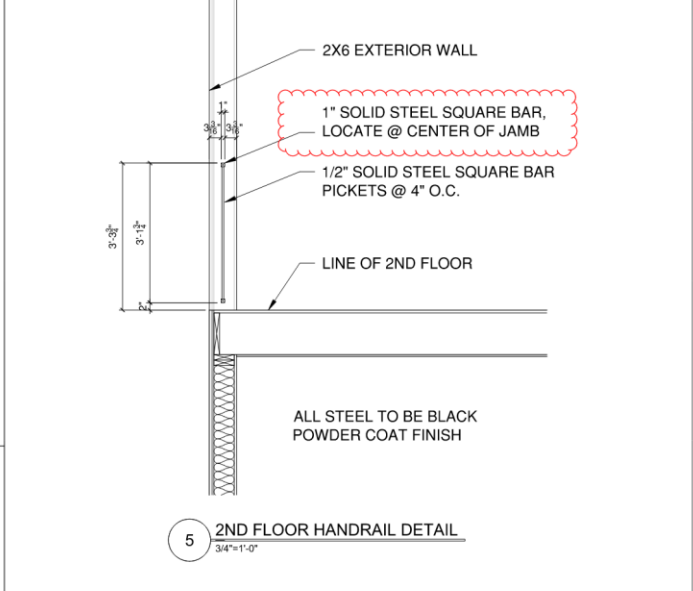
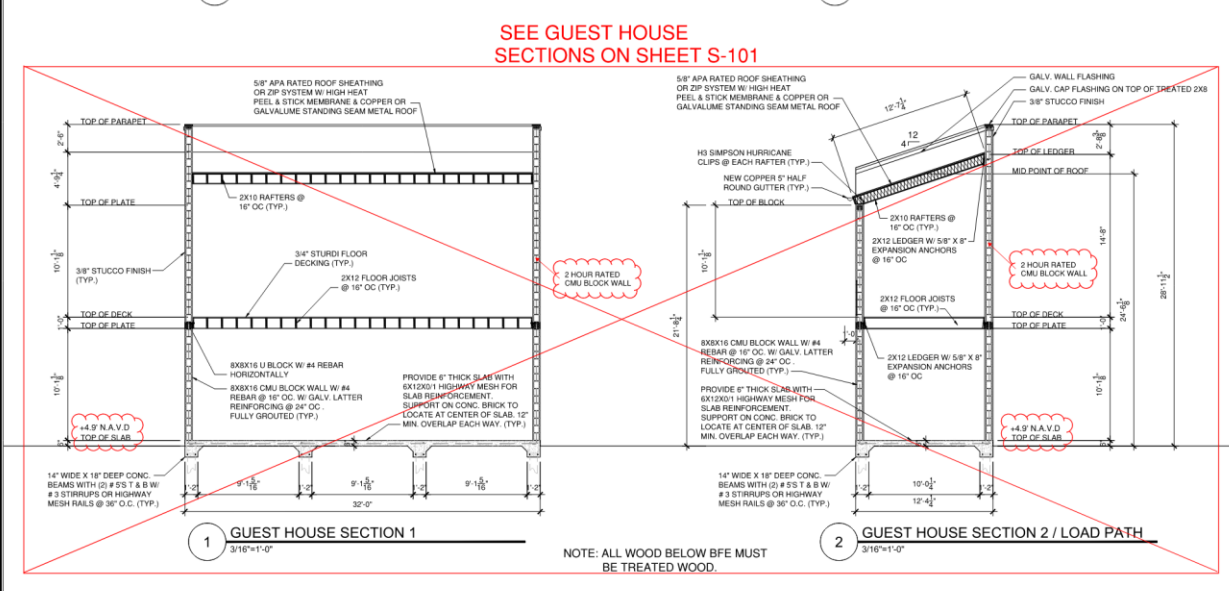
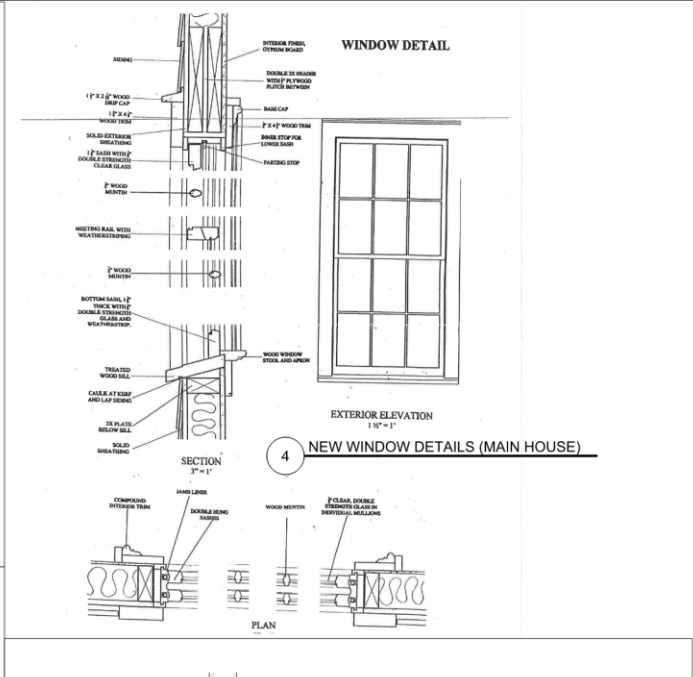
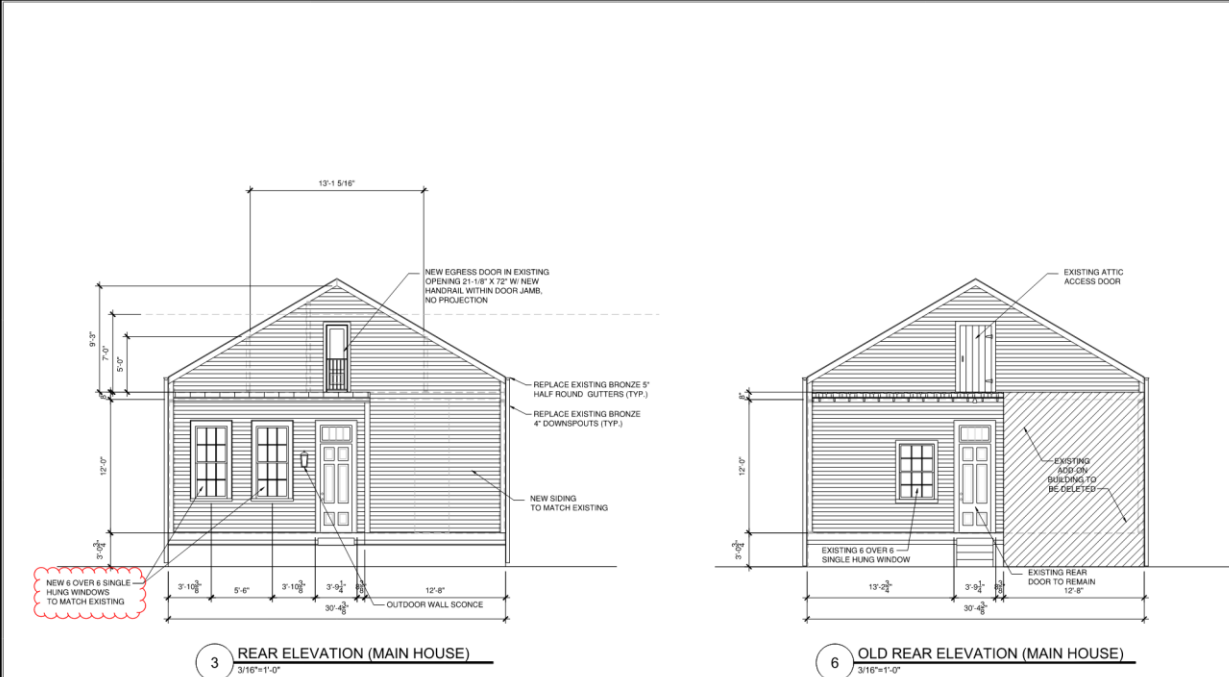
Hayes Architects
 A.P.A.C.



DESIGNED BY	AWHES
DRAWN BY	R.KAMP
CHECKED BY	AWHES
PROJECT NO.	1025SP
SCALE	
DATE	10/30/18
REVISED	11/10/20

A-200
 sheet 6 of 13





1025 St Peters
 NEW ORLEANS, LA 70116
 Hayes Architects
 A.P.A.C.

DESIGNED BY: A.HAYES
 DRAWN BY: A.HAYES
 CHECKED BY: A.HAYES
 PROJECT NO: 1025SP REV.
 SCALE:
 DATE: 01/19
A-201
 SHEET 7 OF 13



521.2 ELWING ROAD PARKWAY
 METAIRIE, LOUISIANA 70002
 E-MAIL: ARCH@HAYESARCH.COM

1025 St Peters
 NEW ORLEANS, LA 70116

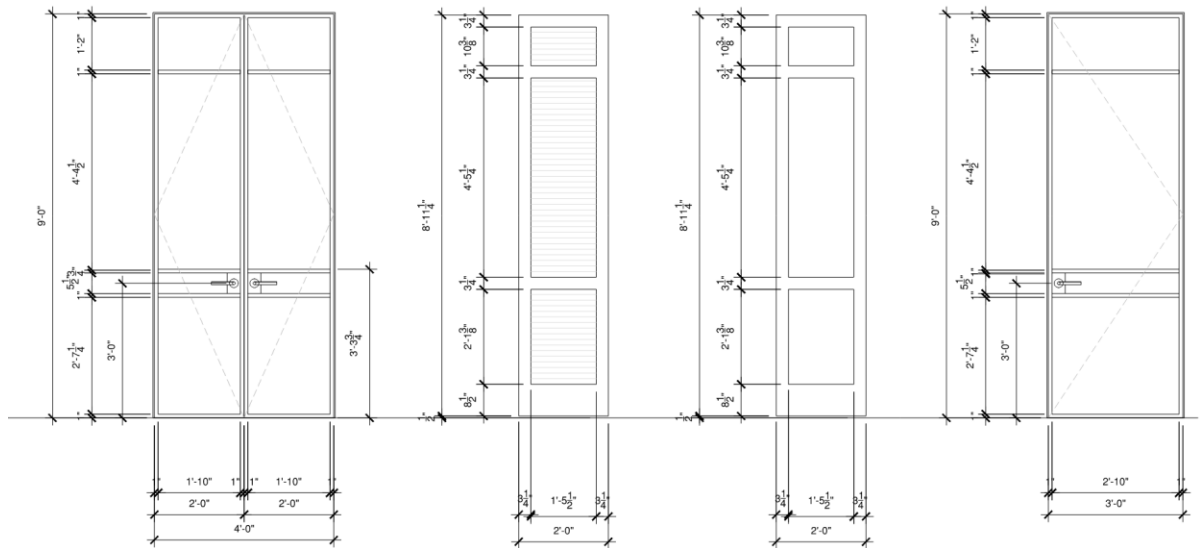
Hayes Architects
 A.P.A.C.



DESIGNED BY: AJAYES
 DRAWN BY: R4EMP
 CHECKED BY: AJAYES
 PROJECT NO. 1025SP REV1

SCALE:
 DATE: 9/19

A-202
 SHEET 8 of 13

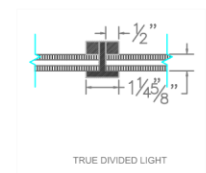
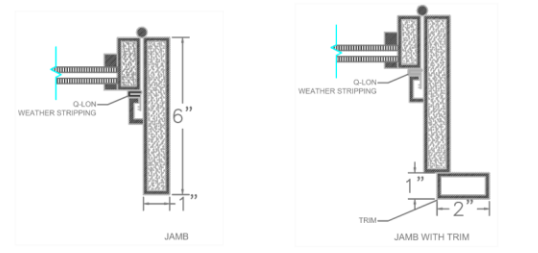
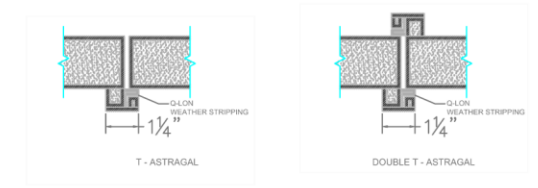


1 STEEL FRENCH DOOR ELEVATION
 3/4"=1'-0"

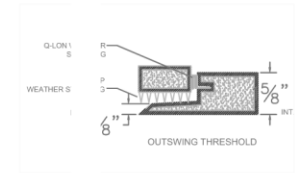
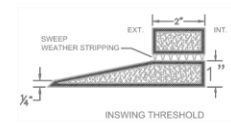
2 SPANISH CEDAR SHUTTER ELEVATION
 3/4"=1'-0"

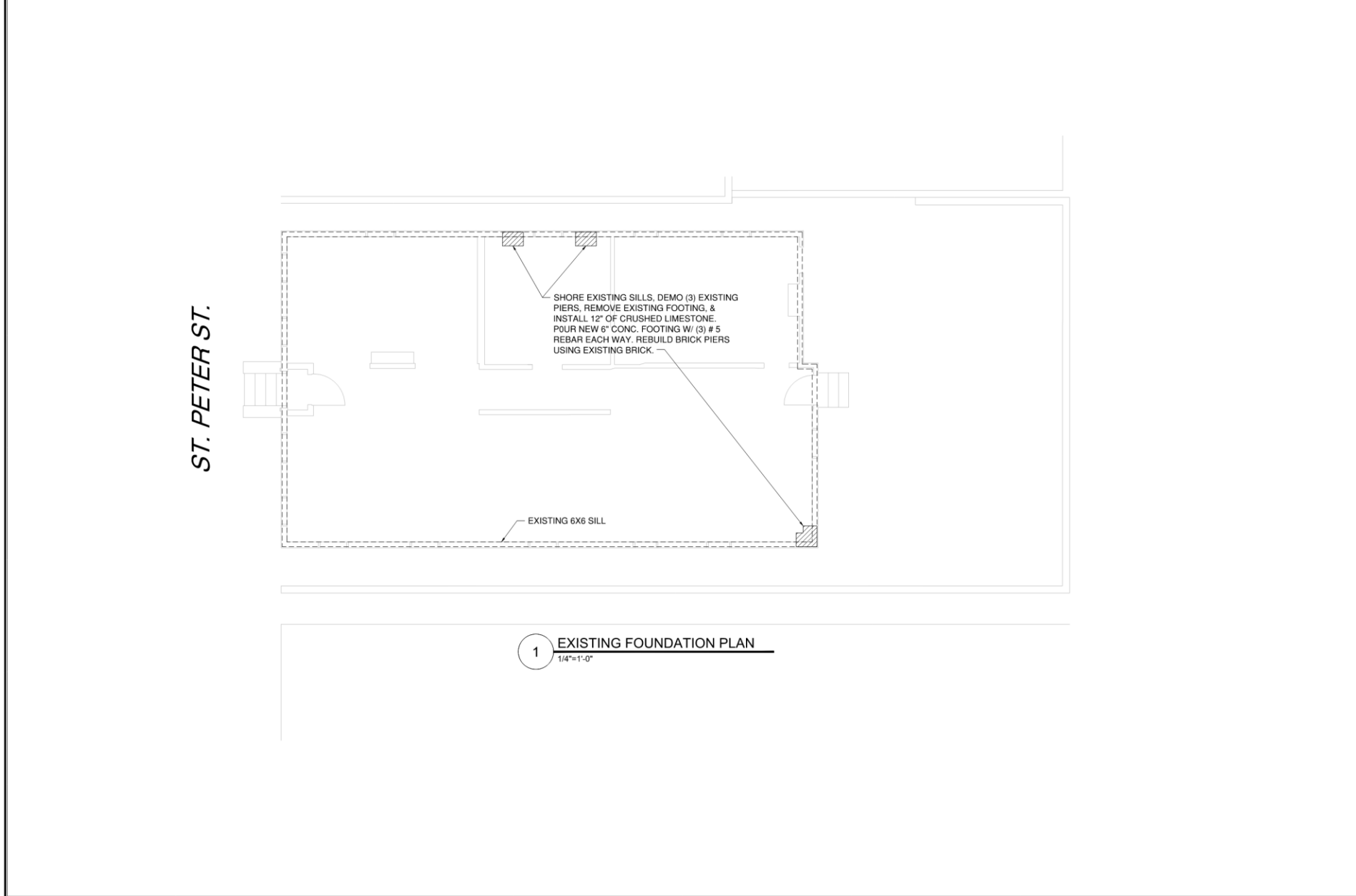
3 STEEL ENTRY DOOR ELEVATION
 3/4"=1'-0"

4 ALTERNATE METAL SHAKER STYLE SHUTTER
 3/4"=1'-0"



5 STEEL DOOR DETAILS





ST. PETER ST.

1 EXISTING FOUNDATION PLAN
1/4"=1'-0"

1025 St. Peter's
NEW ORLEANS, LA 70116

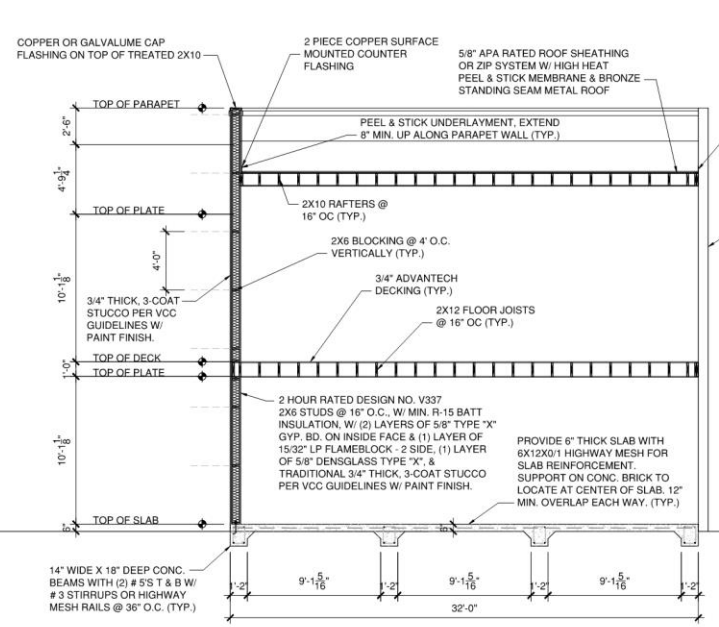
Hayes Architects
A.P.A.C.



DESIGNED BY:	A.HAYES
DRAWN BY:	R.HOSP
CHECKED BY:	A.HAYES
PROJECT NO.:	1005EP Rev.
SCALE:	
DATE:	09/20/16

S-100
sheet 9 of 13

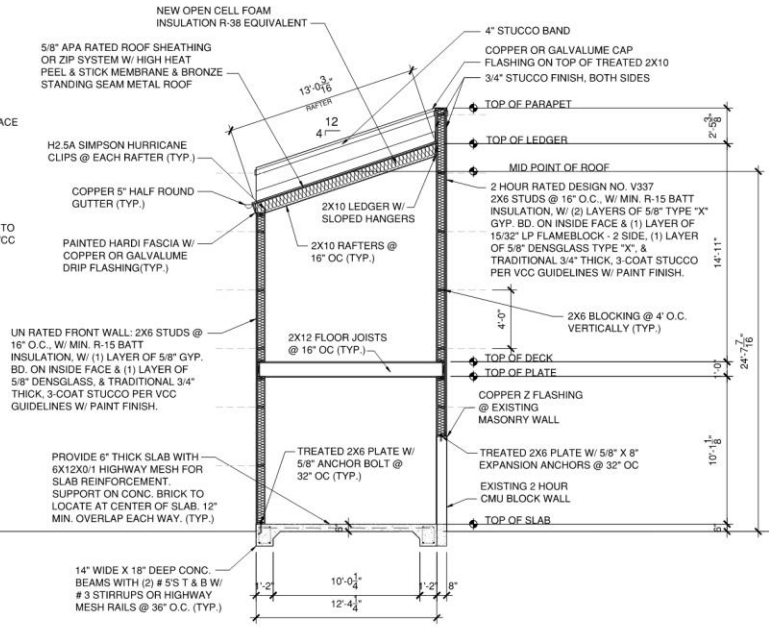




1 GUEST HOUSE SECTION 1
 1/4"=1'-0"

NOTE: PROVIDE PROTECTION OF OPENINGS MEETING THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996. CONTRACTOR TO USE 7/16" PLYWOOD PANELS IN ACCORDANCE WITH TABLE R301.2.1.2 IRC 2015.

NOTE: ALL WOOD BELOW BFE MUST BE TREATED WOOD.



2 GUEST HOUSE SECTION 2 / LOAD PATH
 1/4"=1'-0"

NOTE: ALL EXTERIOR DENGGLASS TO RECEIVE 'STOGUARD' OR EQUAL LIQUID APPLIED VAPOR PERMEABLE AIR & MOISTURE BARRIER.

NOTE: THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH IRC 2015 & ASCE 07-10. BASED UPON 130 BASIC WIND SPEED, EXPOSURE "B".

1023 ST PETERS
 NEW ORLEANS, LA 70116

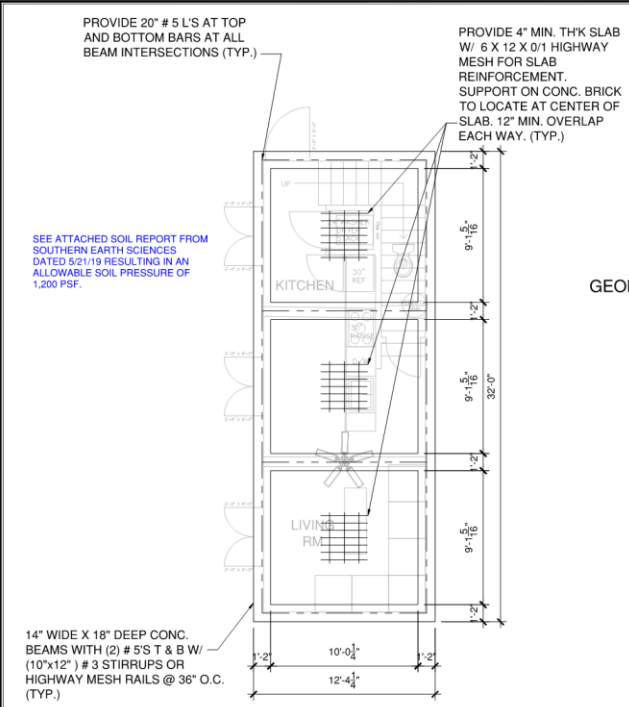
Hayes Architects
 A.P.A.C.



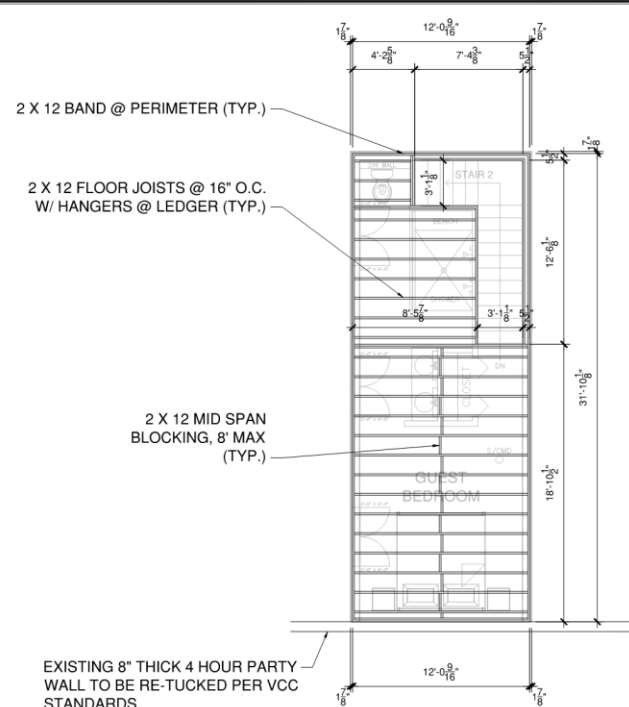
DESIGNED BY:	A.HAYES
DRAWN BY:	A.HAYES
CHECKED BY:	A.HAYES
PROJECT NO.:	1023SP
DATE:	10/20/18
REVISED:	5/11/21

S-101
 SHEET 10 of 13

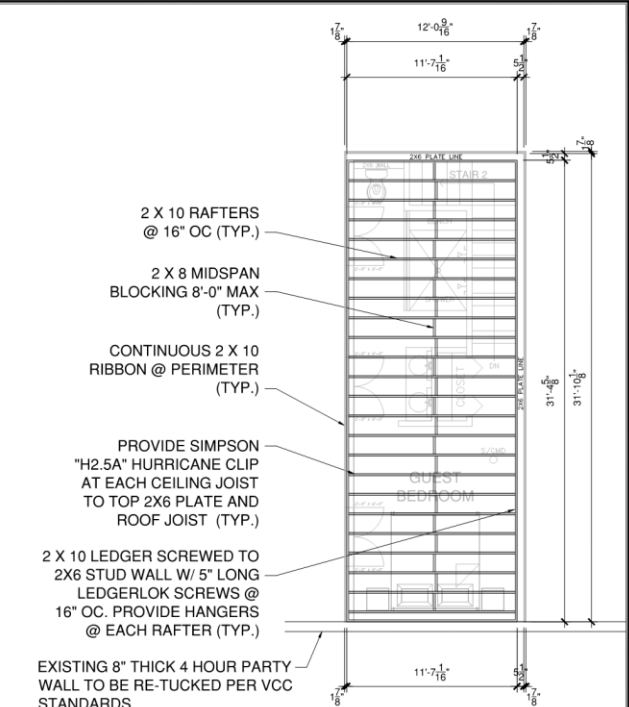




- SPECIFICATIONS - CONCRETE FOOTINGS AND SLABS ON GRADE**
THE GOVERNING CODE FOR THE DESIGN IS THE IBC/IRC.
- The concrete mix should yield a minimum compressive strength of 3000 p.s.i. at 28 days. Concrete design mix shall be in accordance with ACI-318 (latest version). No chlorides shall be allowed.
 - All conventional reinforcing steel shall meet ASTM-A615 (Grade 60). Reinforcing steel shall be detailed and accessories provided in accordance with the latest ACI Manual of Standard Practice.
 - Unless noted otherwise, where continuous reinforcing is designated, lap bottom and top bars 24 dias. (12" min.). At non-continuous ends of all beams and slabs provide ACI recommended 90 degrees hook for all bars, horizontal top, bottom and all intermediate bars overlapping 24 dias. in each direction. All walls, see "typical wall details" in the ACI detailing manual for hooks and bars for the horizontal wall reinforcing.
 - Reinforcement shall have 3" cover in the grade beam bottoms, 1 1/2" cover in the beam sides and top, 1 1/2" cover in the slab top and bottoms, unless noted otherwise.
 - 1 layer of polyethylene vapor barrier shall be placed under all concrete.
 - The contractor shall verify all drops, off-sets, brick ledges, and block outs and Architectural plans and notify the Engineer of any discrepancies that may exist.
 - All subgrade fill shall be select granular material compacted to 90% standard Procter density in a maximum of 6" lifts.
 - A minimum of 4" of concrete will be maintained throughout the entire slab. All trees within close proximity shall be removed to prevent the roots from extending under the slab.
 - Remove a minimum of 12" of existing soil and all unstable silt prior to placing any fill. Maximum of 2 feet of fill may be placed on the site. Maximum differential fill shall not exceed 20%.
 - Exterior footings will have a minimum of 12" embedment below finished grade.
 - Provide termite treatment in accordance with Louisiana Pest Control and as required by Sec. R318 IRC 2015.



- NOTE: ALL WOOD BELOW BFE MUST BE TREATED WOOD.
- NOTE: ALL DIMENSIONS ARE TO FACE OF FRAMING ON FRAMING PLANS.



- NOTE: ROOF PITCH IS 4 / 12
- NOTE: ALL DIMENSIONS ARE TO FACE OF FRAMING ON FRAMING PLANS.
- NOTE: FOIL FACED ROOF SHEATHING IS RECOMMENDED (FOIL FACING ATTIC).

1023 ST PETERS NEW ORLEANS, LA 70116

Hayes Architects A.P.A.C.

APPROVED BY: [Signature]

DESIGNED BY: AJW/MS
DRAWN BY: RJS/MS
CHECKED BY: AJW/MS

PROJECT NO. 1023SP REV.

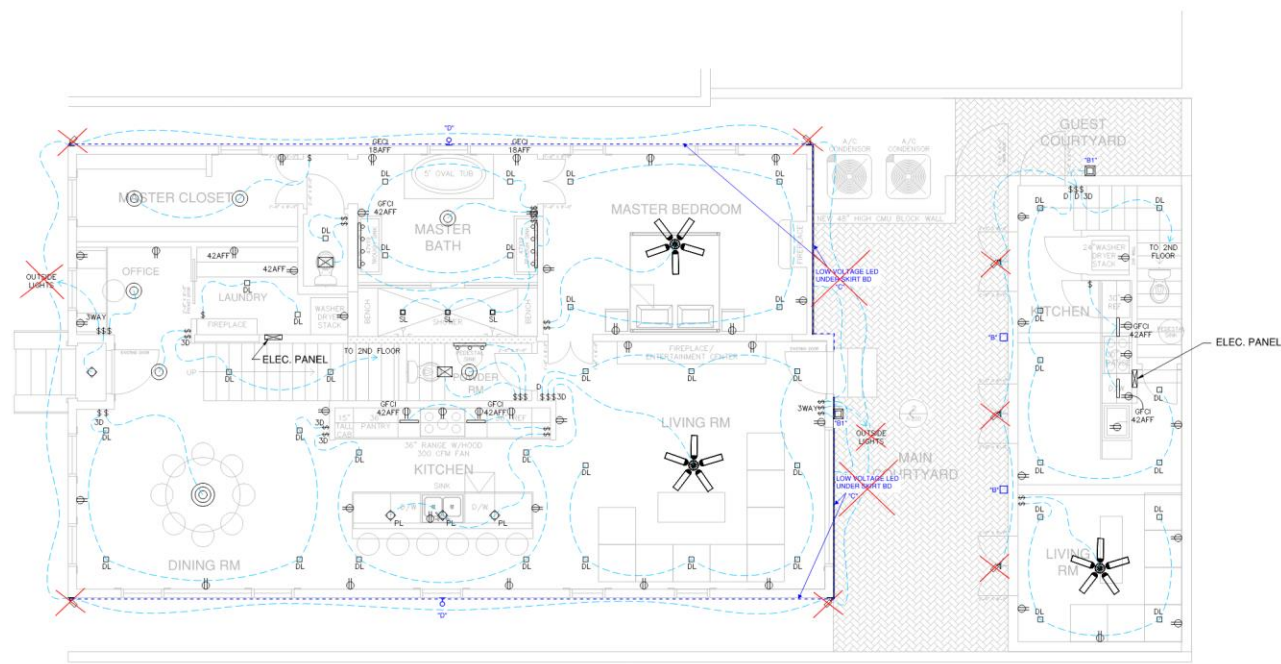
SCALE: 1/8" = 1'-0"
DATE: 10/16/19 REVISED: 5/1/21

S-102
sheet 11 of 13



521.12 ELMWOOD PARKWAY
 METAIRIE, LOUISIANA 70002
 E-MAIL: AHAYES@HAYESARCHITECTS.COM
 PHONE: (504) 885-1207

ST. PETER ST.



1 1ST FLOOR ELECTRICAL PLAN
 1/4"=1'-0"

ELECTRICAL KEY			
\$	SWITCH		CEILING FAN
\$F	SWITCH, FAN CONTROL		HEATER /VENT
\$30	3-WAY SWITCH, DIMMER		CLOSET STRIP LIGHT
	DUPLEX RECEPTACLE		VANITY LIGHT
	DOWN LIGHT		WIRING
	SHOWER DOWN LIGHT, WET LOCATION		BREAKER PANEL
	HANGING PENDANT LIGHT FIXTURE		2 HEAD EXTERIOR LIGHT
	CEILING LIGHT FIXTURE		1 HEAD EXTERIOR LIGHT
	EXTERIOR CEILING LIGHT FIXTURE		8X18 EXTERIOR WALL SCONCE

1025 St Peters
 NEW ORLEANS, LA 70116

Hayes Architects
 A.P.A.C.

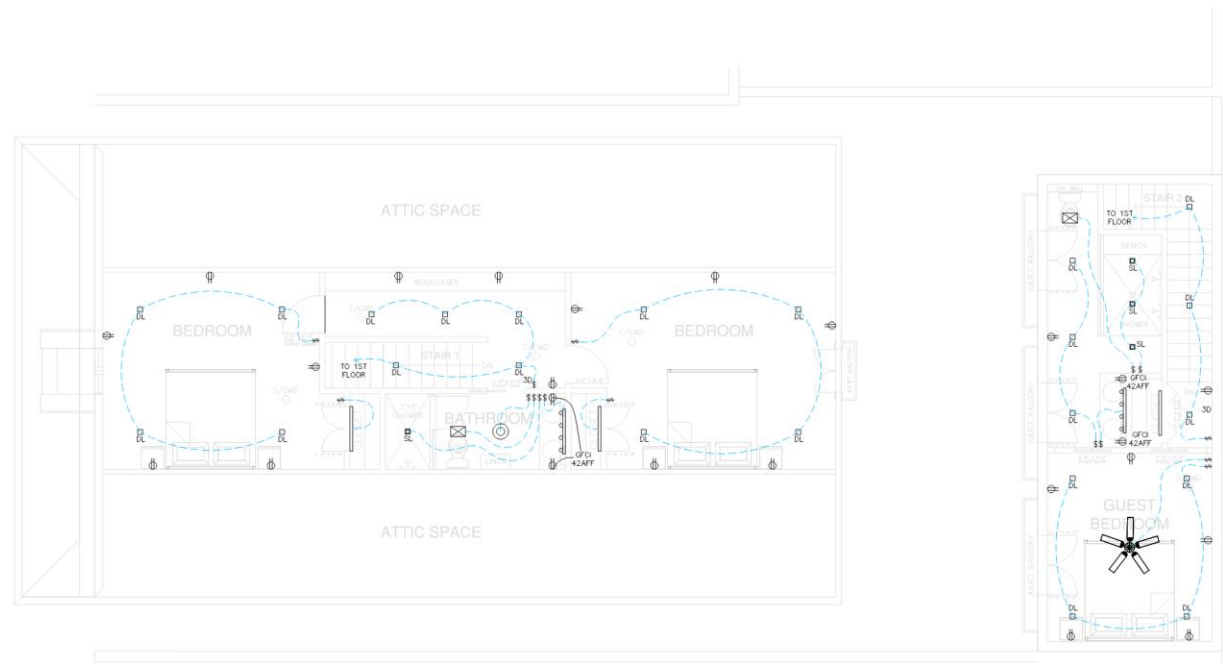


DESIGNED BY: AHAYES
 CHECKED BY: AHAYES
 PROJECT NO. 1025SP

SCALE: AS SHOWN

E-100
 SHEET 12 OF 13





1 **2ND FLOOR ELECTRICAL PLAN**
1/4"=1'-0"

ELECTRICAL KEY			
ⓘ	SWITCH		CEILING FAN
ⓘ ^F	SWITCH, FAN CONTROL		HEATER /VENT
ⓘ ³	3-WAY SWITCH, DIMMER		CLOSET STRIP LIGHT
	DUPLEX RECEPTACLE		VANITY LIGHT
	DOWN LIGHT		WIRING
	SHOWER DOWN LIGHT, WET LOCATION		BREAKER PANEL
	HANGING PENDANT LIGHT FIXTURE		2 HEAD EXTERIOR LIGHT
	CEILING LIGHT FIXTURE		1 HEAD EXTERIOR LIGHT
	EXTERIOR CEILING LIGHT FIXTURE		8X18 EXTERIOR WALL SCONCE

1025 St Peters
NEW ORLEANS, LA 70116
Hayes Architects
A.P.A.C.

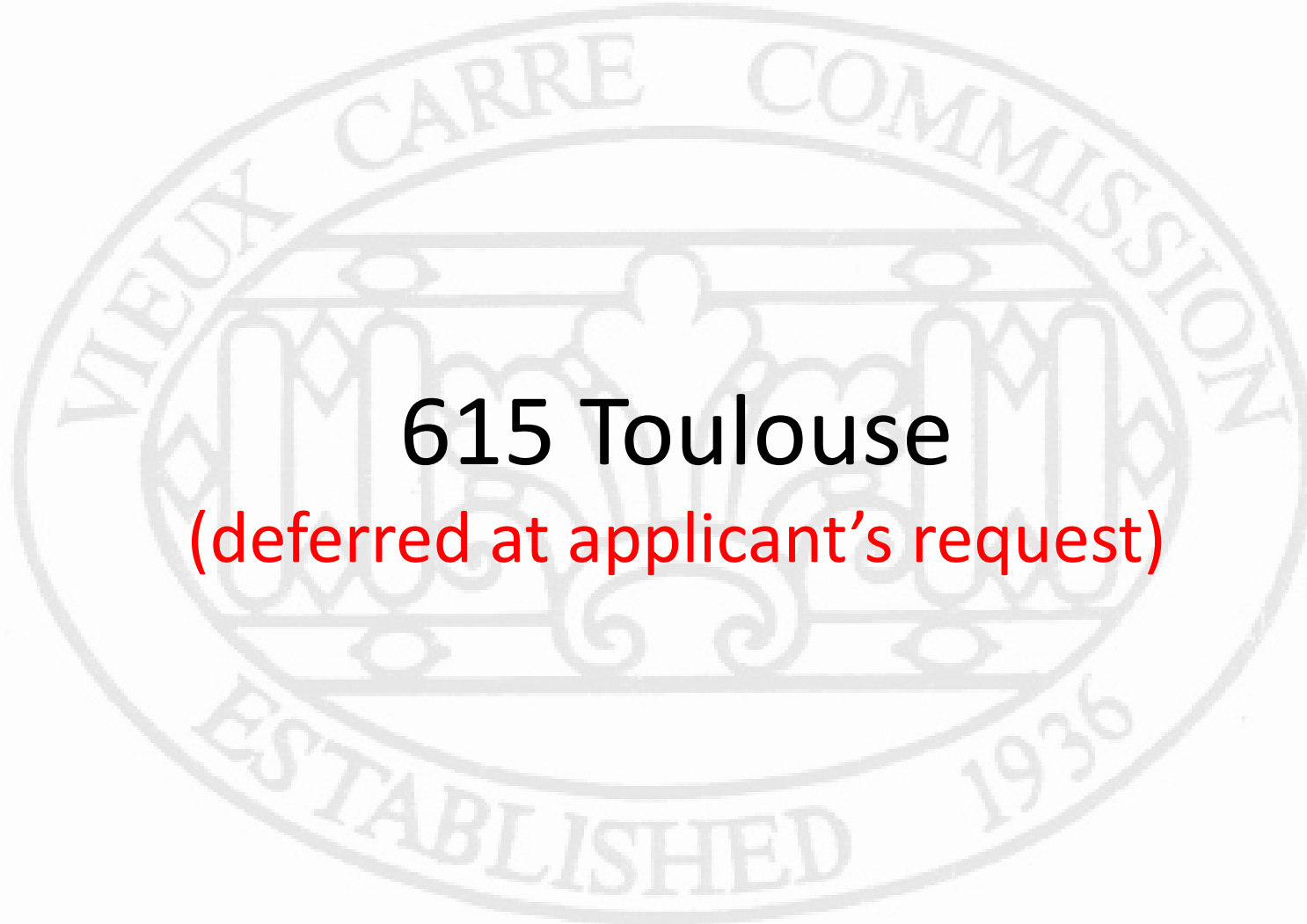


DESIGNED BY:	A-HAYES
DRAWN BY:	R-KOOP
CHECKED BY:	A-HAYES
PROJECT NO:	1025SP
SCALE:	
DATE:	5/15

E-200
SHEET 13 OF 13

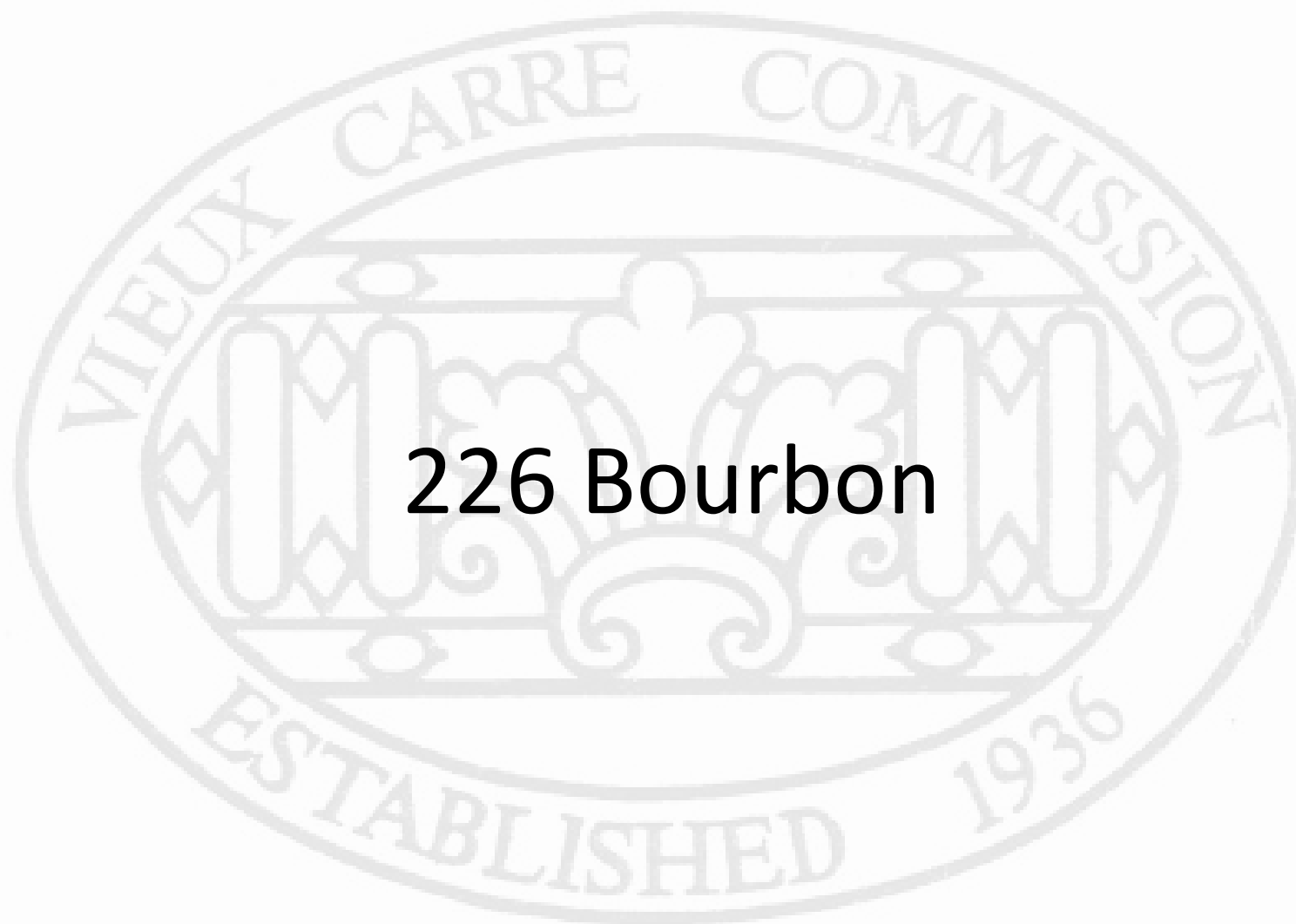


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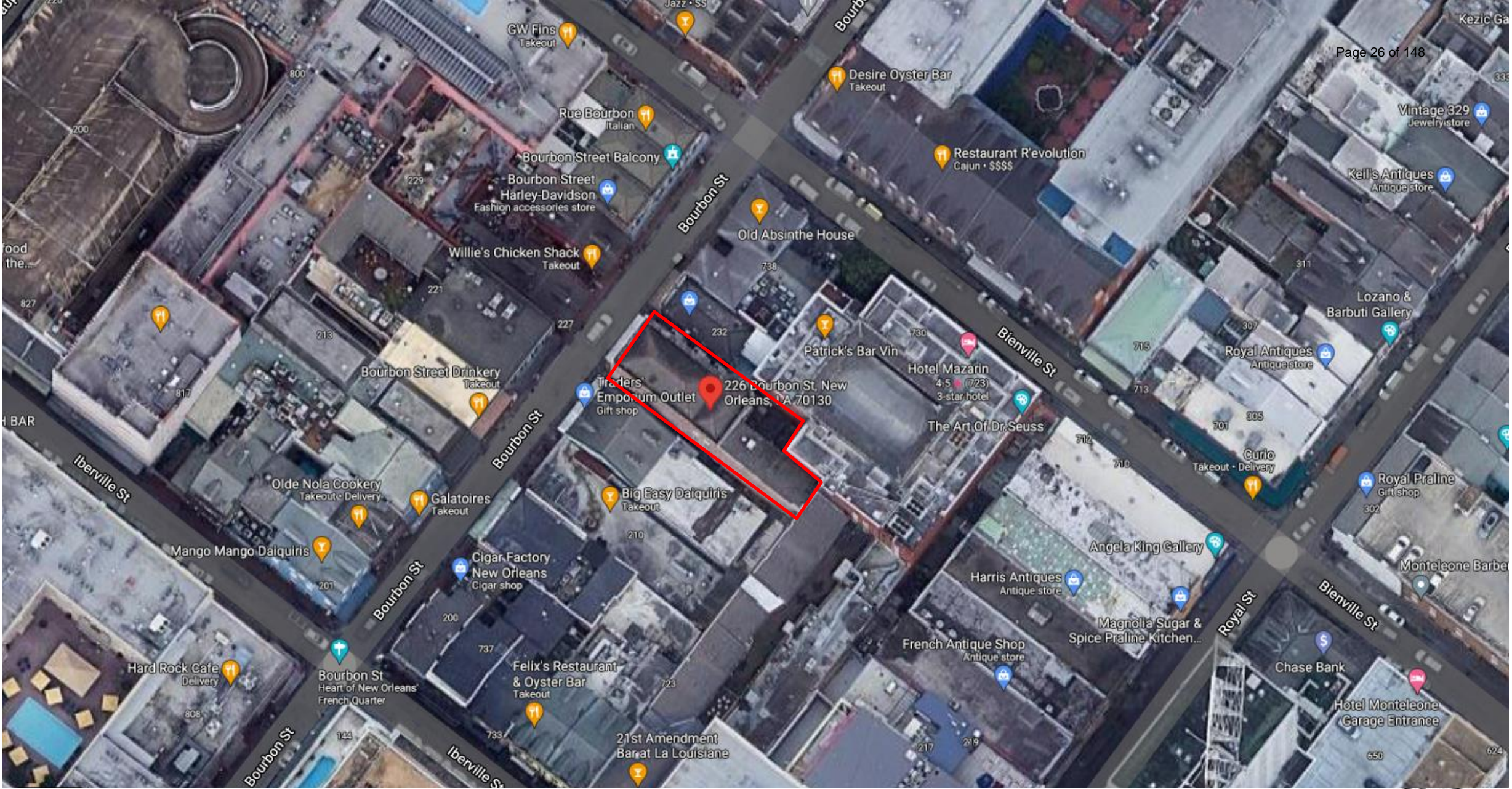


615 Toulouse

(deferred at applicant's request)



226 Bourbon

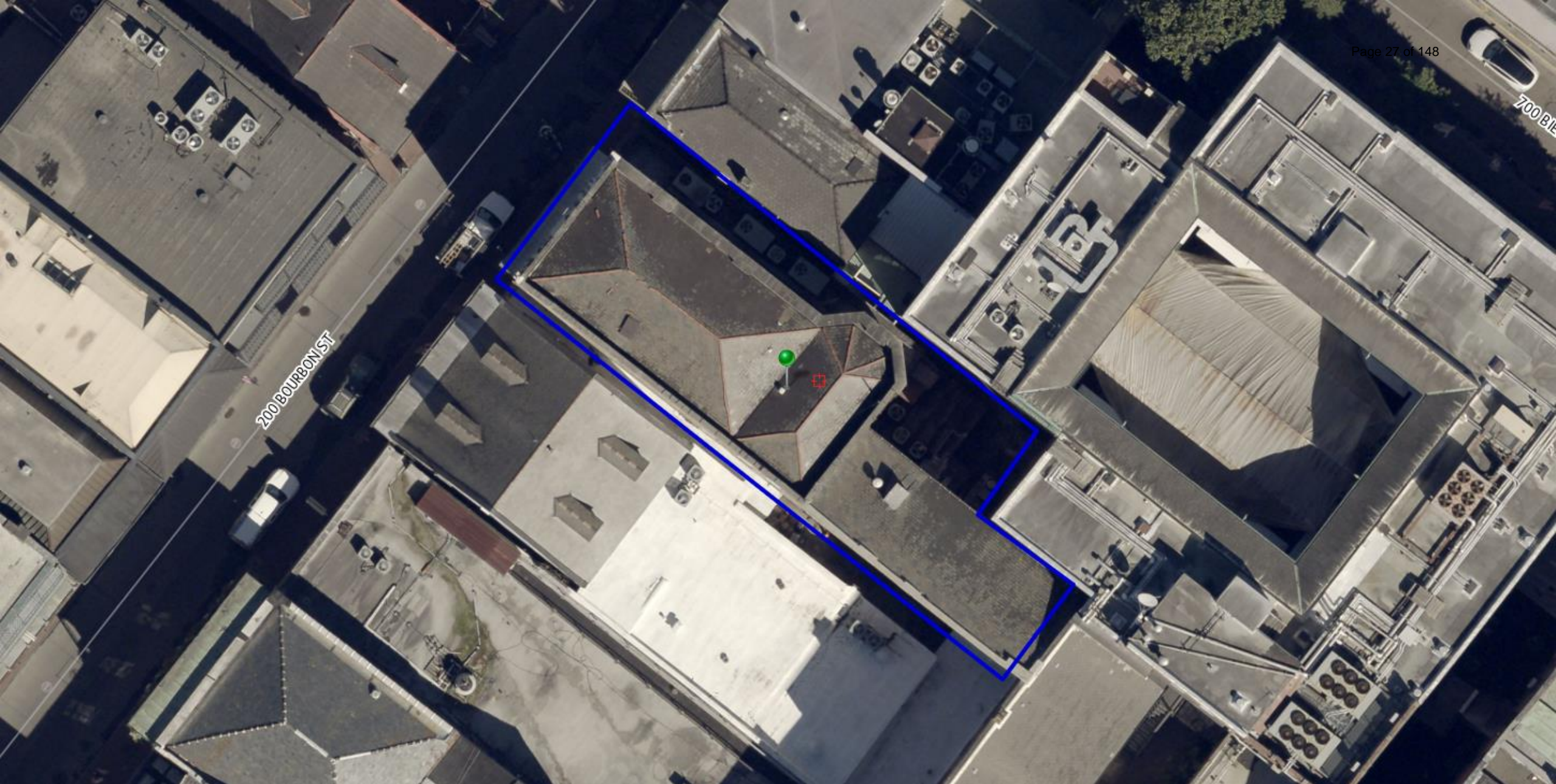


226 Bourbon

VCC Architectural Committee

September 21, 2021





226 Bourbon

VCC Architectural Committee

September 21, 2021





226 Bourbon

VCC Architectural Committee

September 21, 2021





226 Bourbon

VCC Architectural Committee

September 21, 2021





226 Bourbon - 1963

VCC Architectural Committee

September 21, 2021





226 Bourbon - 1963

VCC Architectural Committee

September 21, 2021





226 Bourbon

VCC Architectural Committee

September 21, 2021



226 BOURBON STREET STOREFRONT RENOVATION



EXISTING STOREFRONT



EXISTING STOREFRONT SWING DOORS



EXISTING STOREFRONT WINDOWS



EXISTING STOREFRONT WINDOWS



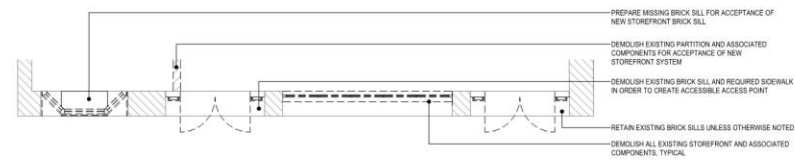
HISTORIC PHOTOGRAPH CIRCA 1963



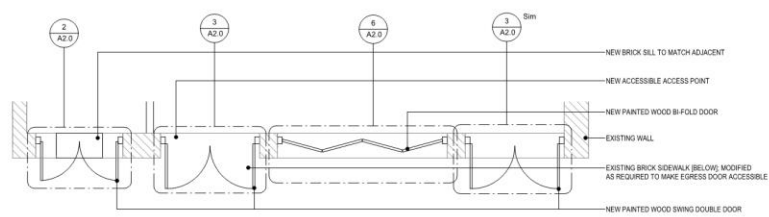
1 EXISTING & DEMOLITION BOURBON STREET ELEVATION
1/4" = 1'-0"



2 PROPOSED BOURBON STREET ELEVATION
1/4" = 1'-0"



3 EXISTING & DEMOLITION STOREFRONT PLAN
1/4" = 1'-0"



4 PROPOSED STOREFRONT PLAN
1/4" = 1'-0"

PERMIT SET NO	REVISION	DATE
226 BOURBON		06.02.21

PROJECT
226 BOURBON STREET
NEW ORLEANS, LA 70130

21017 JOB NO

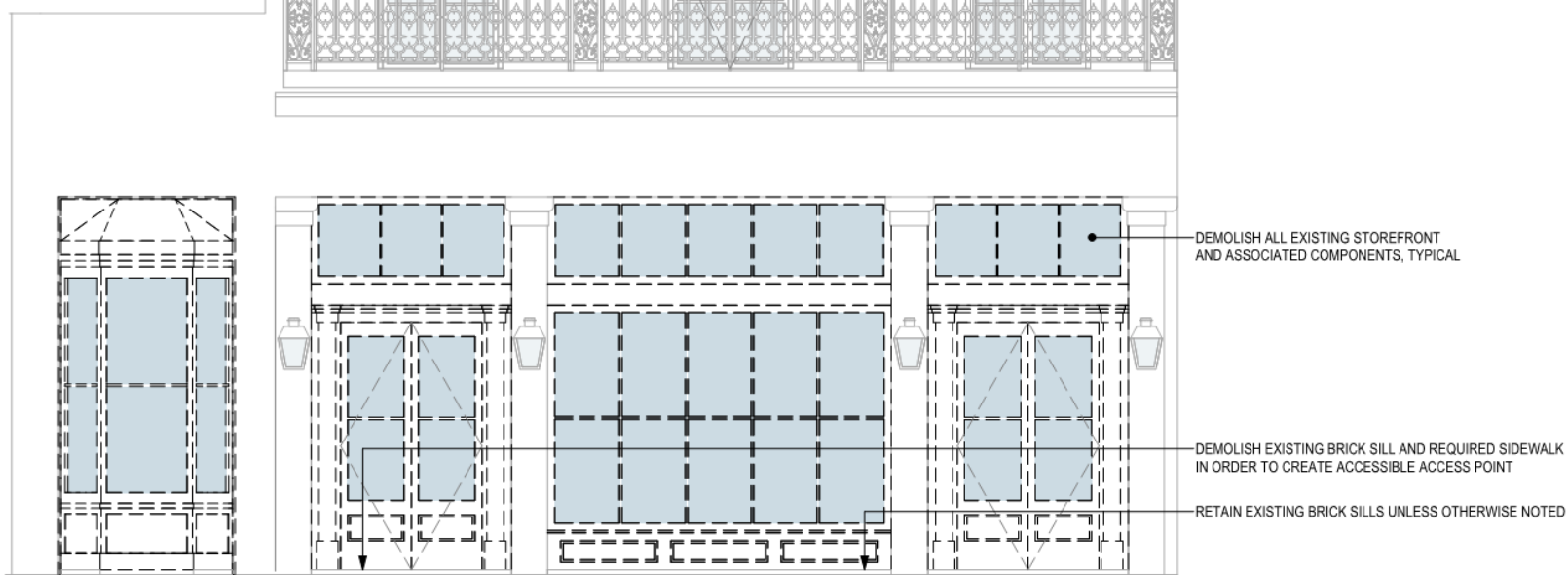
EXISTING & PROPOSED PLAN & ELEVATION	TITLE
1/4" = 1'-0"	SCALE
Author/Checker	DRAWN/CHK

A1.0

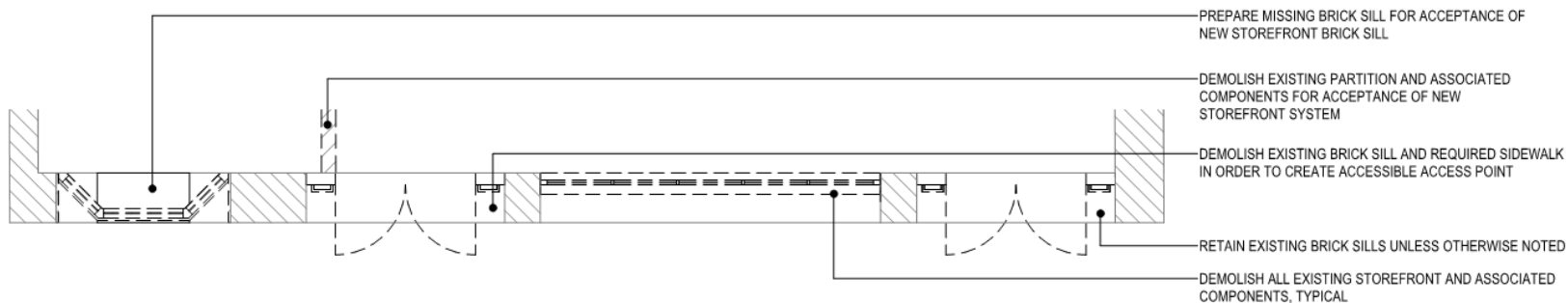
RW ROZAS WARD
architects

A PROFESSIONAL CORPORATION www.rozasward.com
1100 POYDRAS ST. SUITE 3050 NO LA 70163 504-524-4375





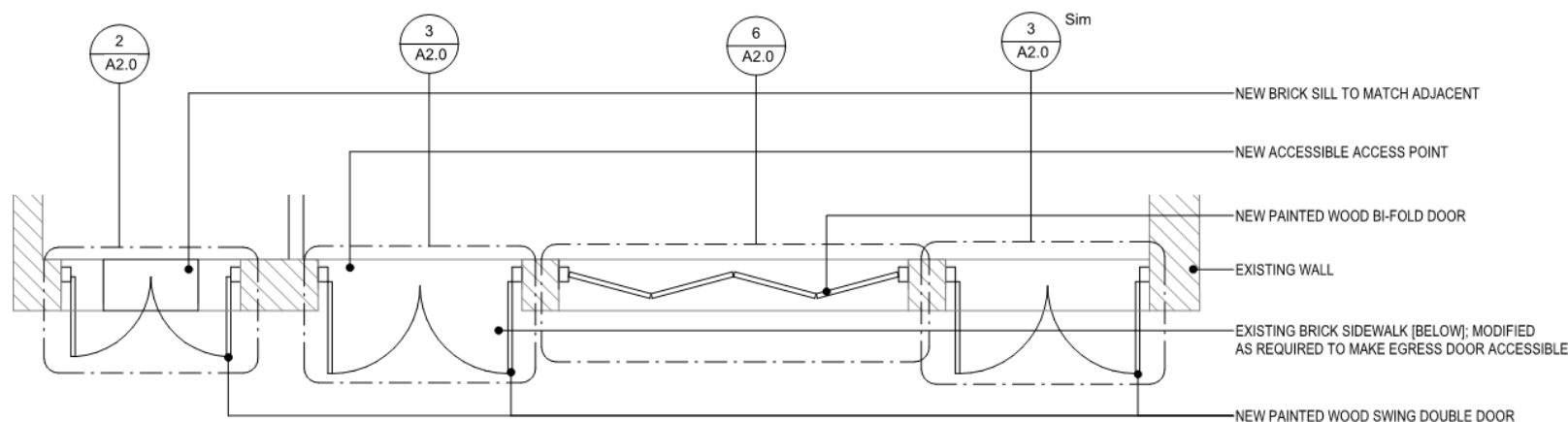
① EXISTING & DEMOLITION BOURBON STREET ELEVATION
1/4" = 1'-0"



③ EXISTING & DEMOLITION STOREFRONT PLAN
1/4" = 1'-0"

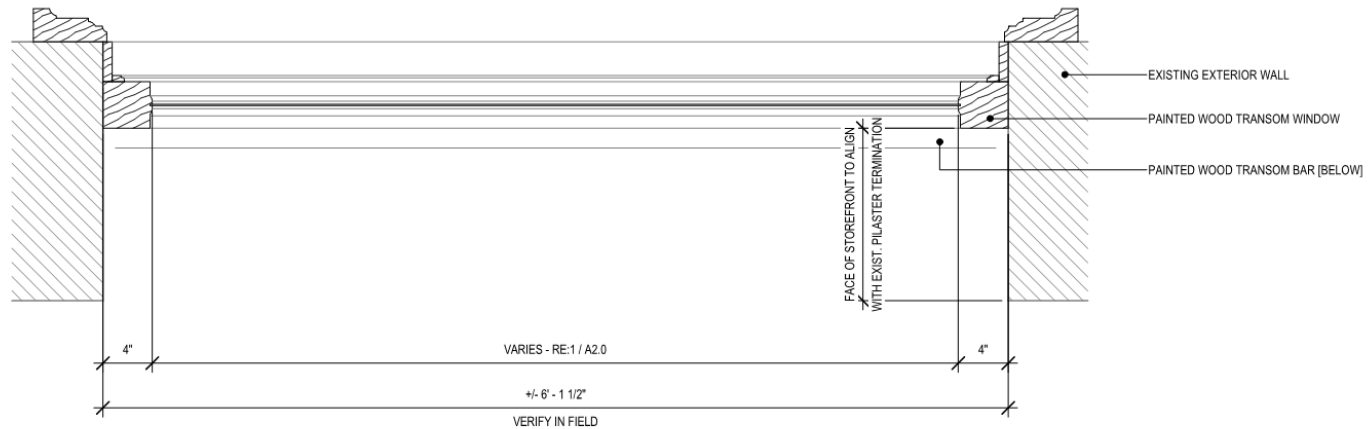


② PROPOSED BOURBON STREET ELEVATION
1/4" = 1'-0"

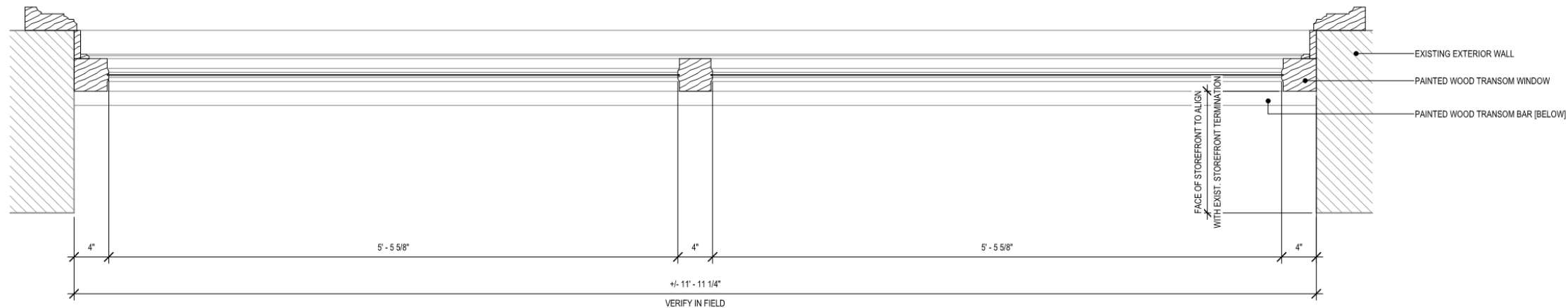


④ PROPOSED STOREFRONT PLAN
1/4" = 1'-0"

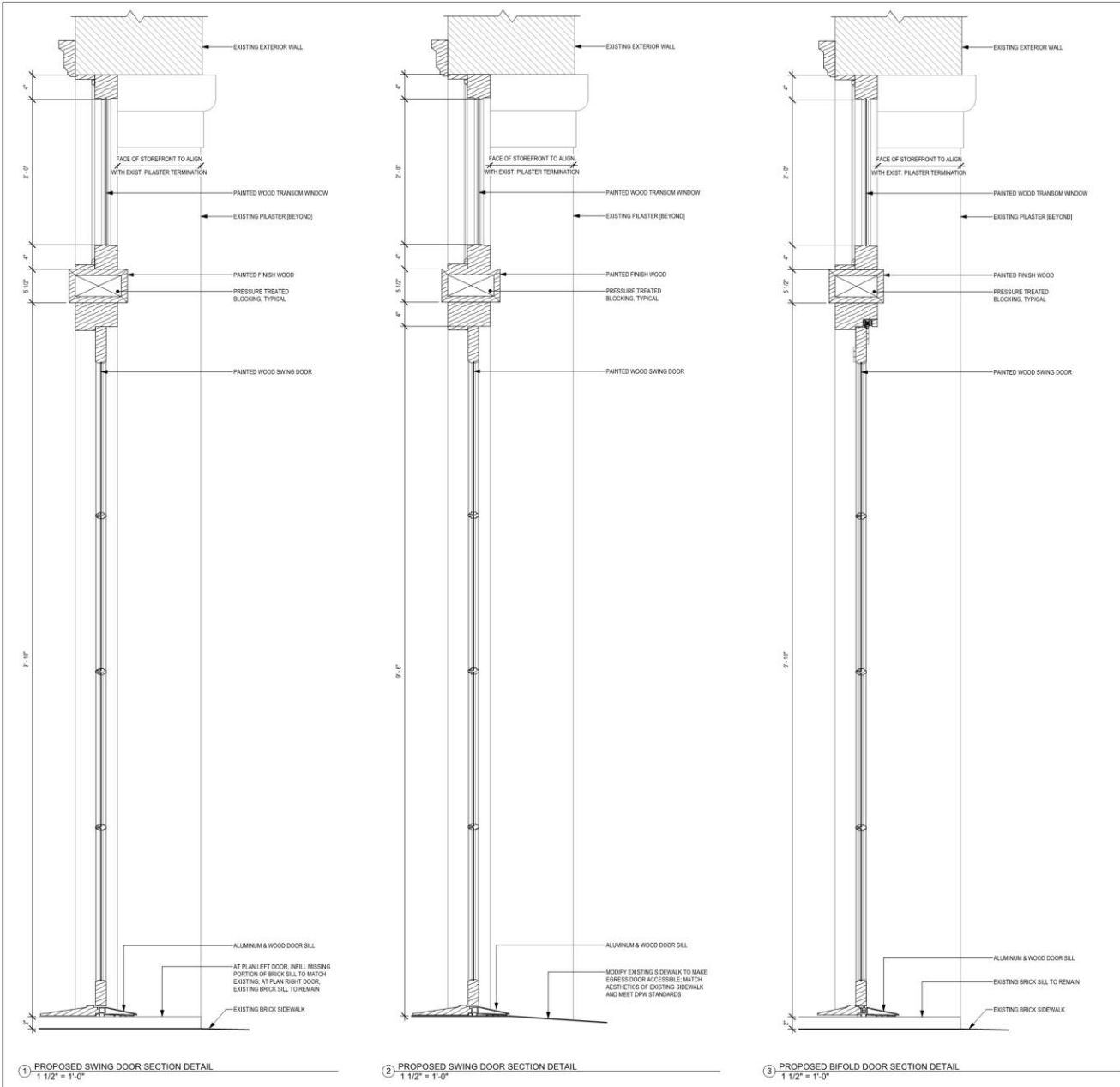




① ENLARGED PROPOSED TRANSOM WINDOW PLAN @ SWING DOORS
1 1/2" = 1'-0"



② ENLARGED PROPOSED TRANSOM WINDOW PLAN @ BIFOLD DOORS
1 1/2" = 1'-0"



1 PROPOSED SWING DOOR SECTION DETAIL
1 1/2" = 1'-0"

2 PROPOSED SWING DOOR SECTION DETAIL
1 1/2" = 1'-0"

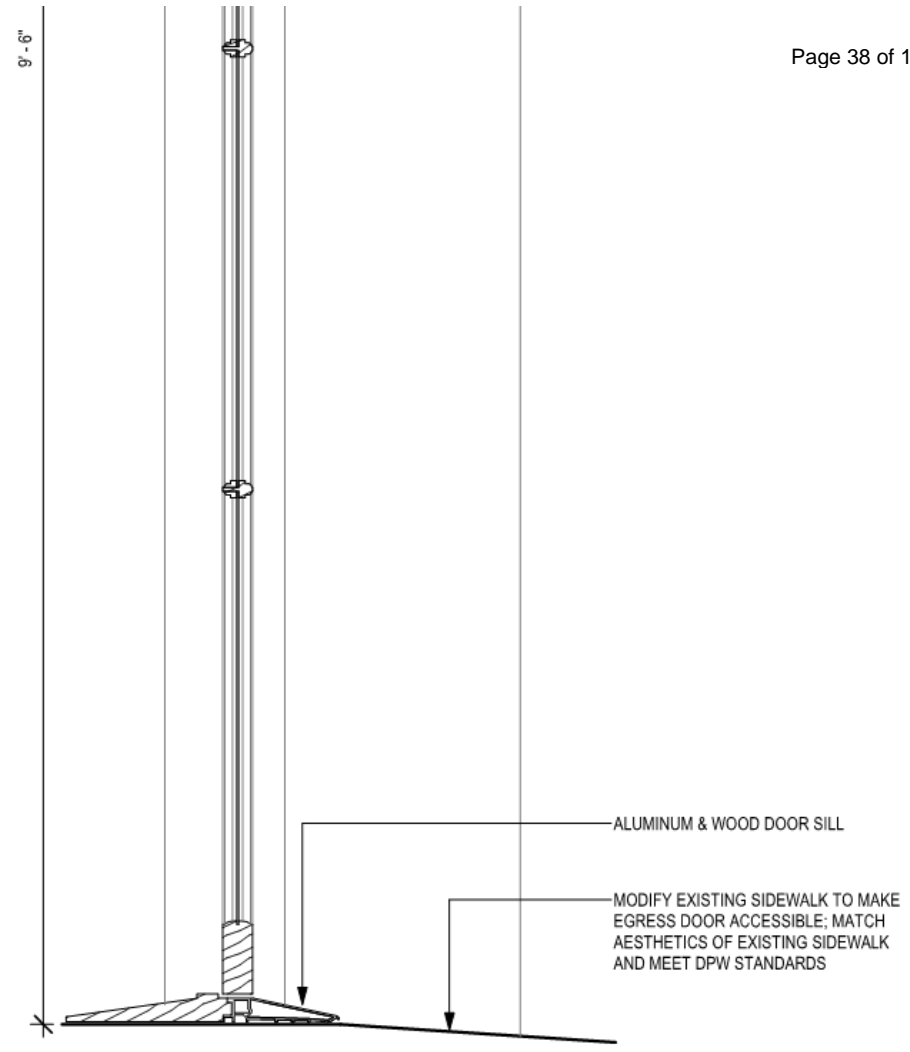
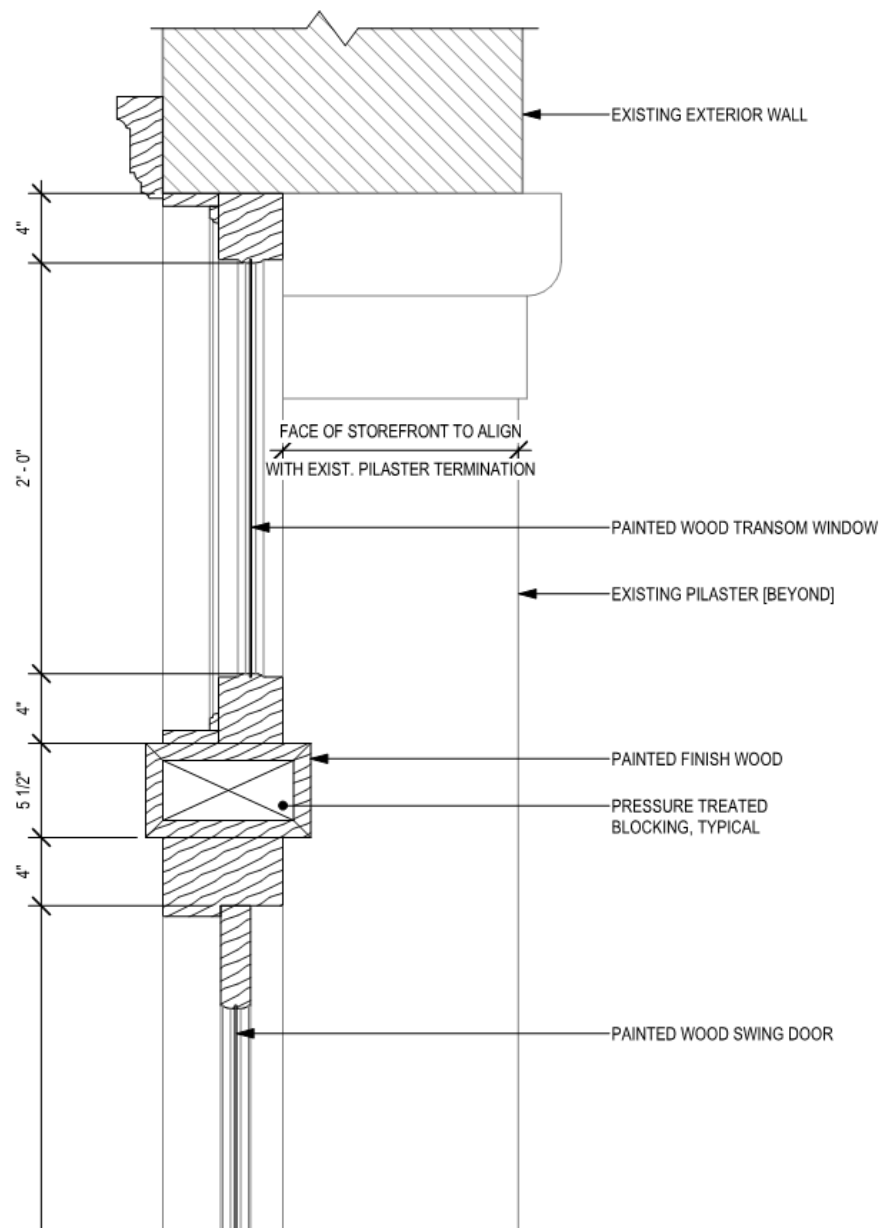
3 PROPOSED BIFOLD DOOR SECTION DETAIL
1 1/2" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING CONDITIONS IN FIELD. ALL REPLACEMENT MATERIALS TO MATCH EXISTING IN SIZE, MATERIAL, PROFILE, AND DIMENSION.
- ANY REQUIRED WORK OUTSIDE THE SCOPE OF THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND APPROVED BY THE VCC.
- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS SHALL BE CONSIDERED A HAZARDOUS LOCATION AND REQUIRE SAFETY GLAZING AS PER IBC 2015 2408.4.1

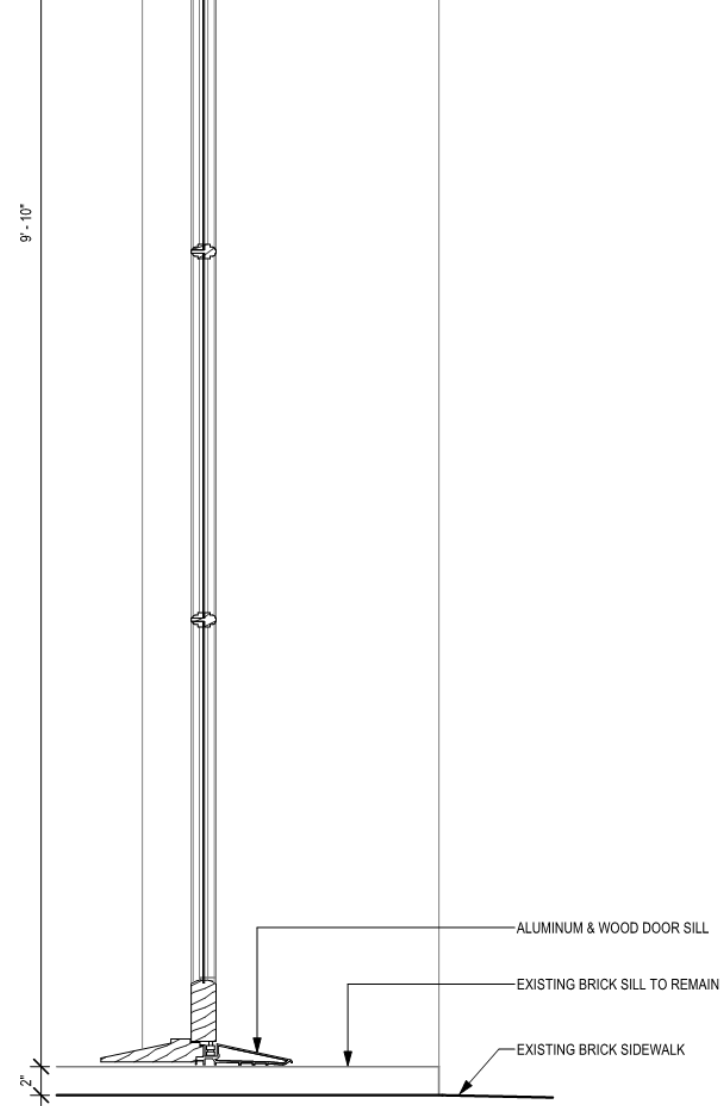
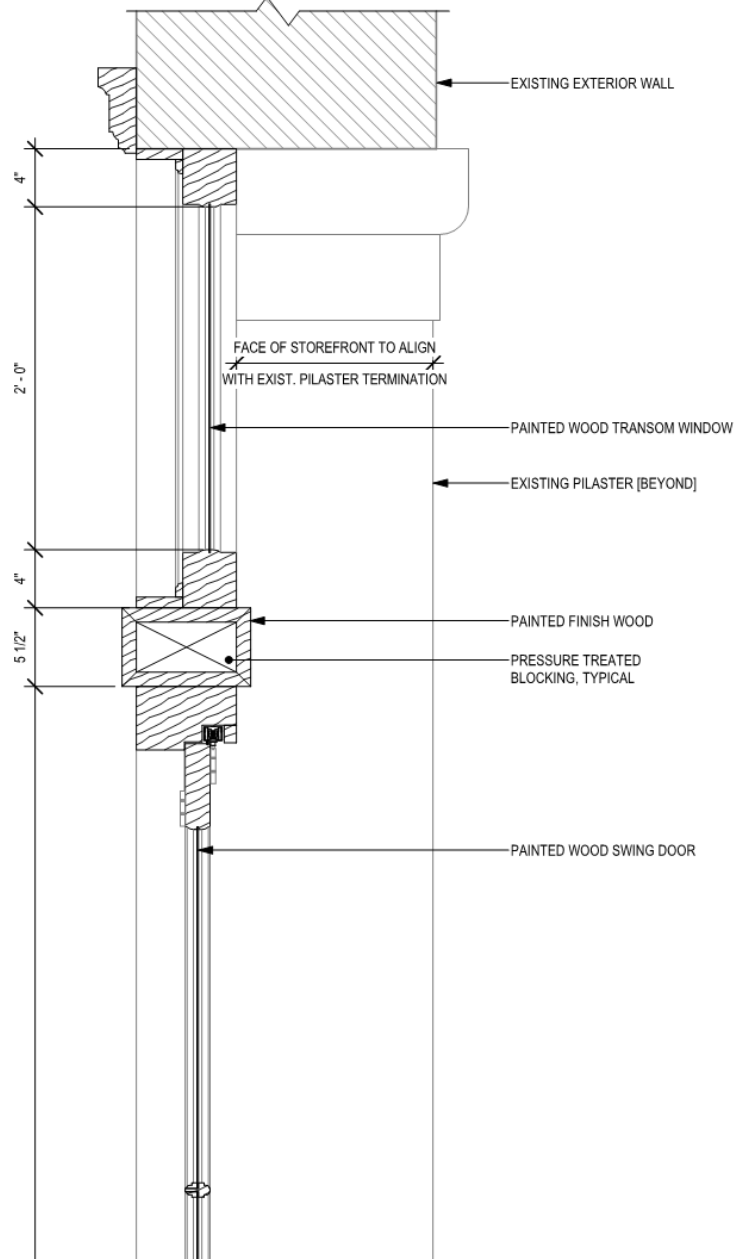
1	PLAN REVIEW RESPONSE	05.20.21
	#1	02
PERMIT SET	NO	REVISION
	NO	DATE
226 BOURBON		PROJECT
726 BOURBON STREET NEW ORLEANS, LA 70130		
21017		JOB NO
DETAILS		TITLE
As Indicated		SCALE
Author /Checker		DRAWN/CHK
	A2.2	
	ROZAS WARD architects	
A PROFESSIONAL CORPORATION www.rozas-ward.com		
1108 PONDRAIS ST. SUITE 3550 NO LA 70163 504-524-4375		





② PROPOSED SWING DOOR SECTION DETAIL
1 1/2" = 1'-0"

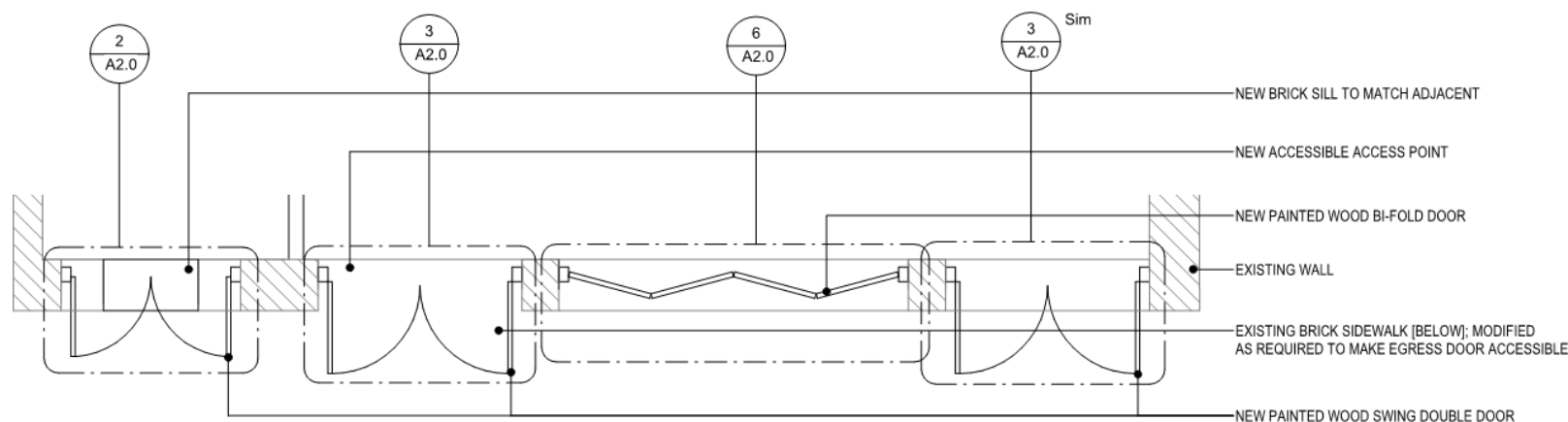




③ PROPOSED BIFOLD DOOR SECTION DETAIL
1 1/2" = 1'-0"



② PROPOSED BOURBON STREET ELEVATION
1/4" = 1'-0"



④ PROPOSED STOREFRONT PLAN
1/4" = 1'-0"

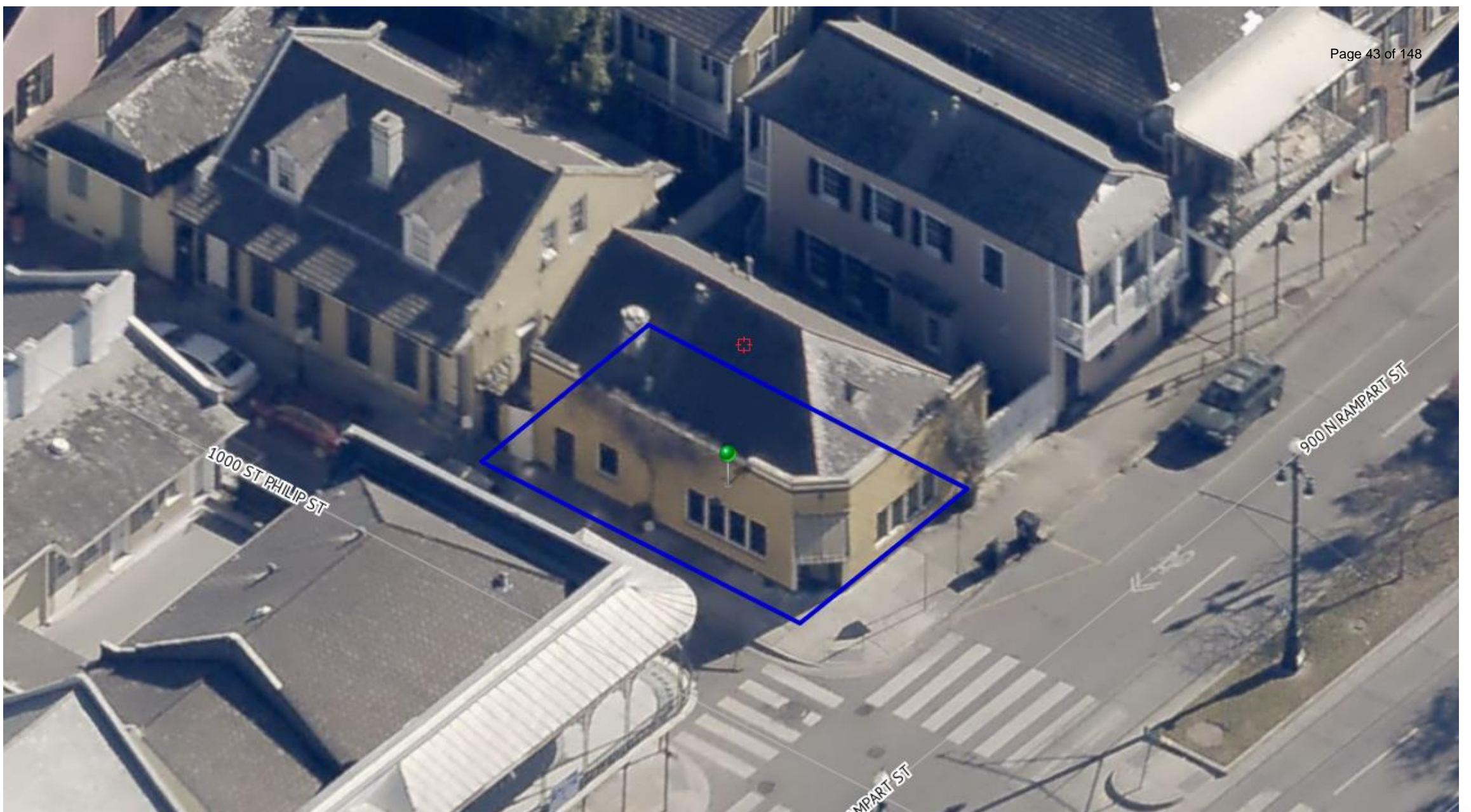


942 N Rampart



942 N Rampart





942 N Rampart

VCC Architectural Committee

September 21, 2021





942 N Rampart

VCC Architectural Committee

September 21, 2021





942 N Rampart





942 N Rampart





942 N Rampart

VCC Architectural Committee

September 21, 2021





942 N Rampart





942 N Rampart





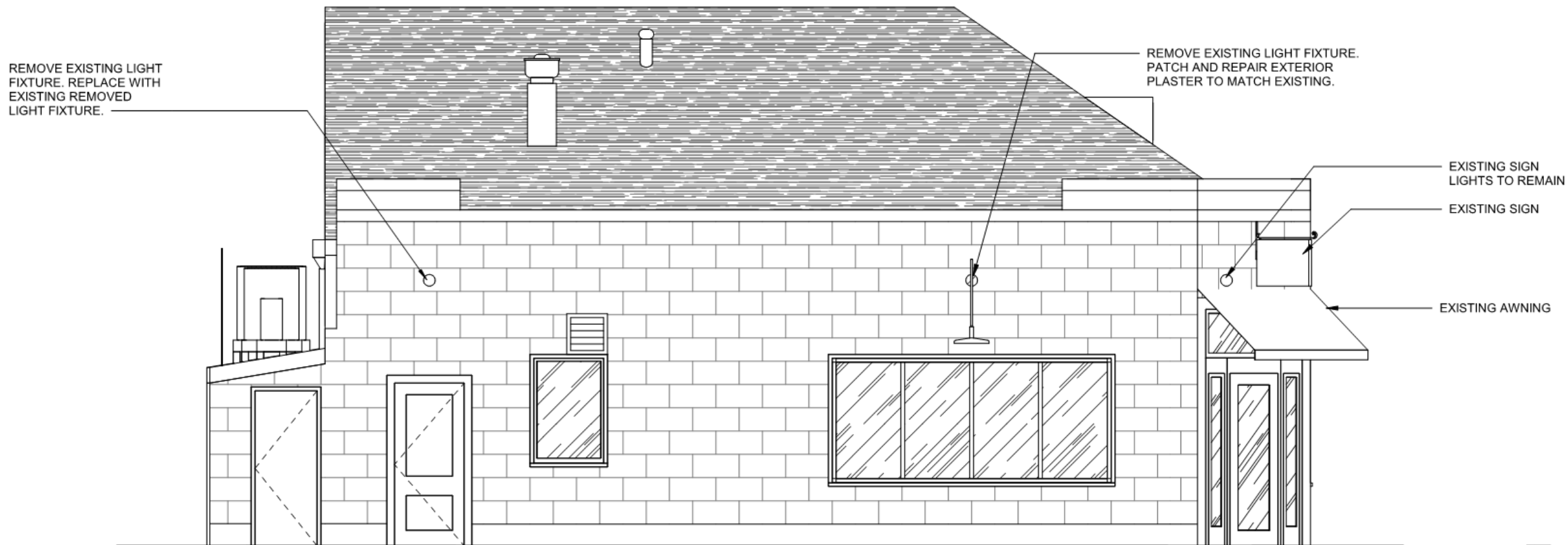
942 N Rampart





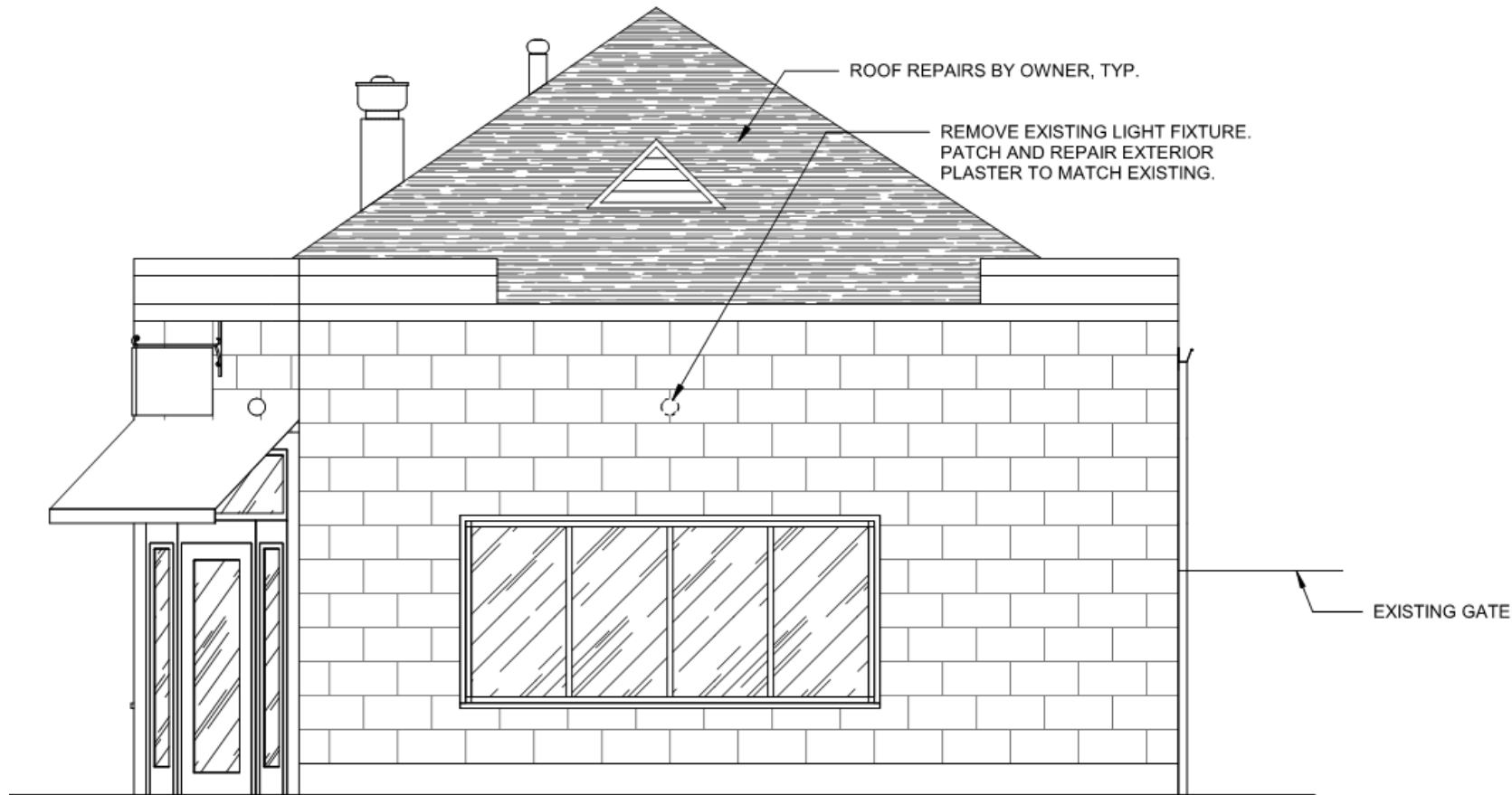
942 N Rampart



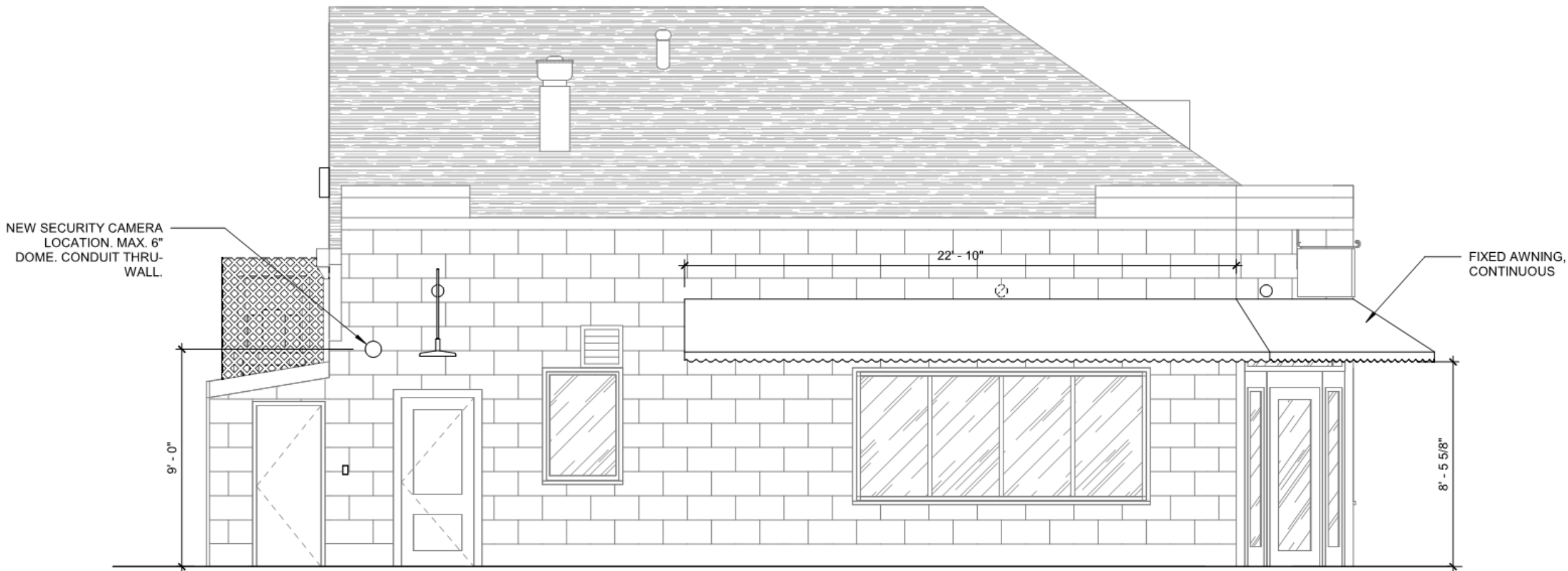


2 EAST EXTERIOR ELEVATION - EXISTING
VCC01 1/4" = 1'-0"



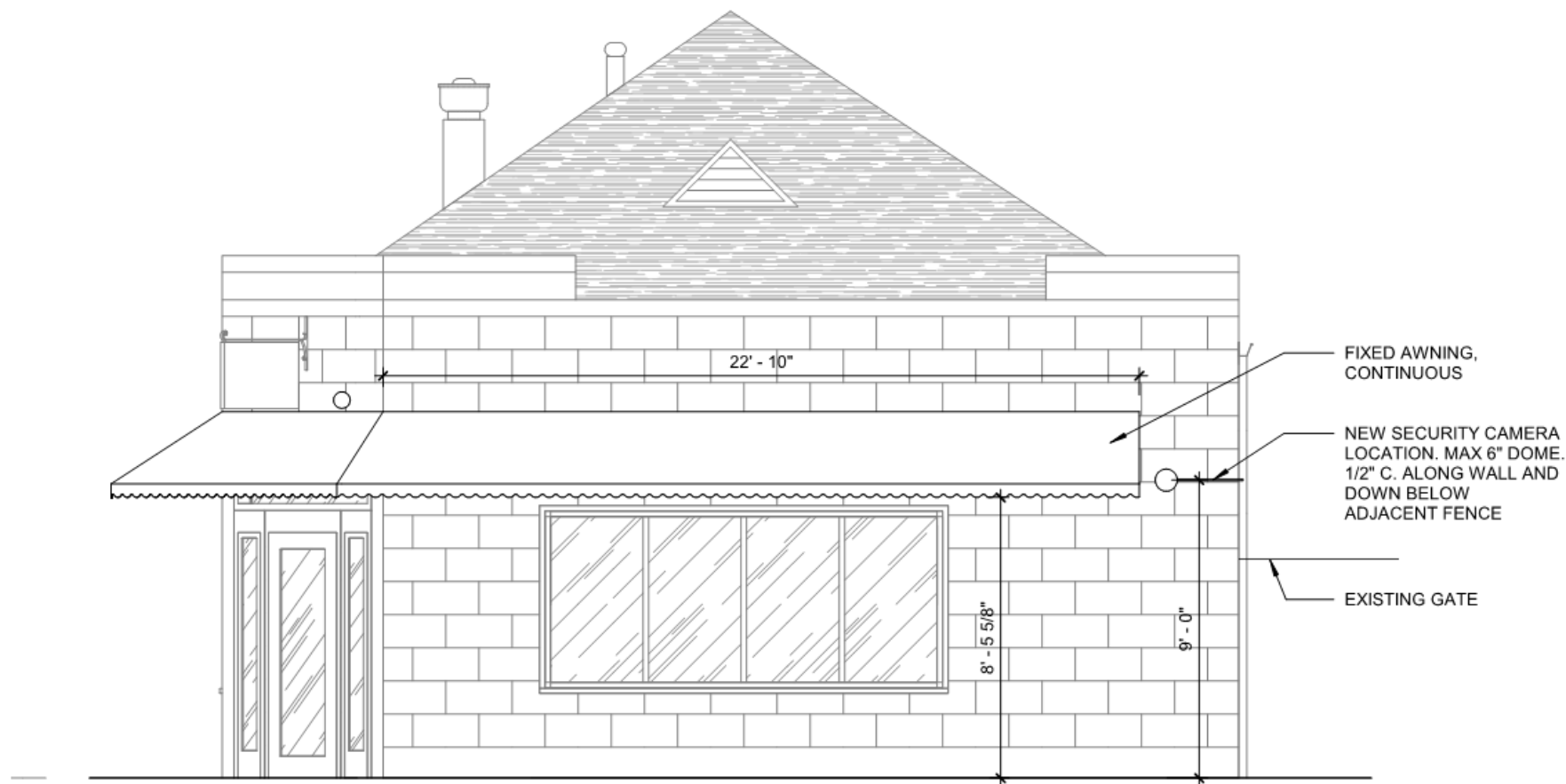


1 NORTH EXTERIOR ELEVATION - EXISTING
VCC01 1/4" = 1'-0"



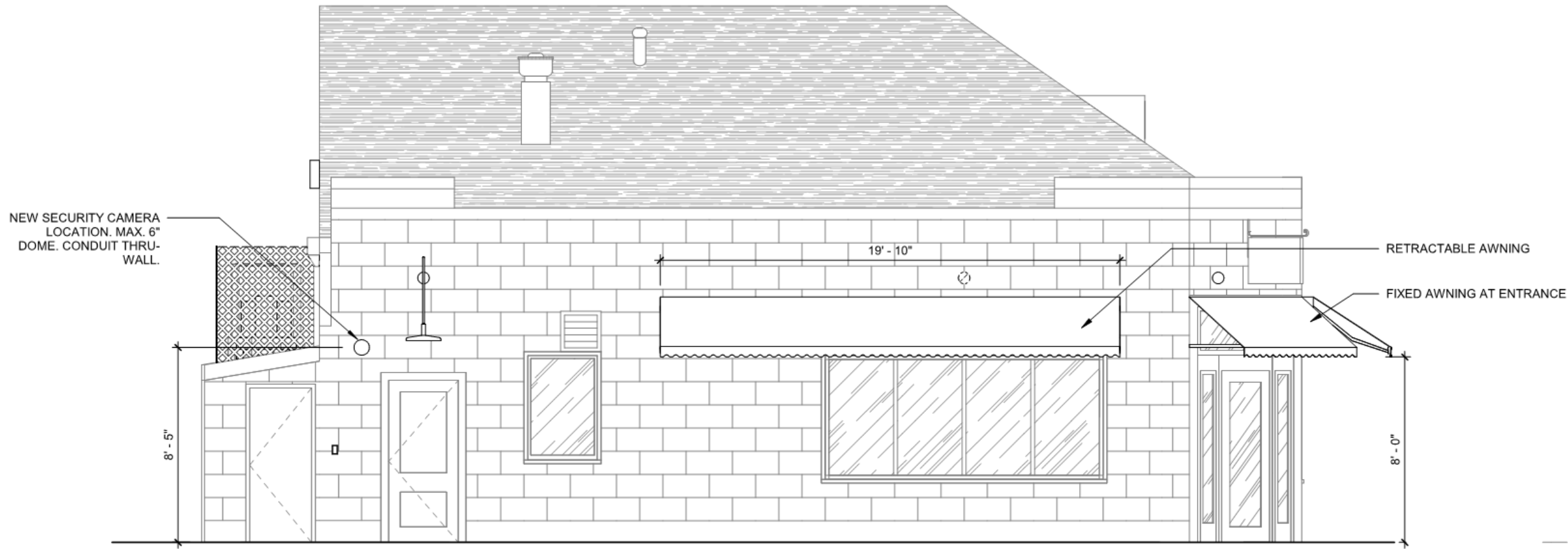
1 EAST EXTERIOR ELEVATION VCC OPTION 1
A001|VCC02 1/4" = 1'-0"





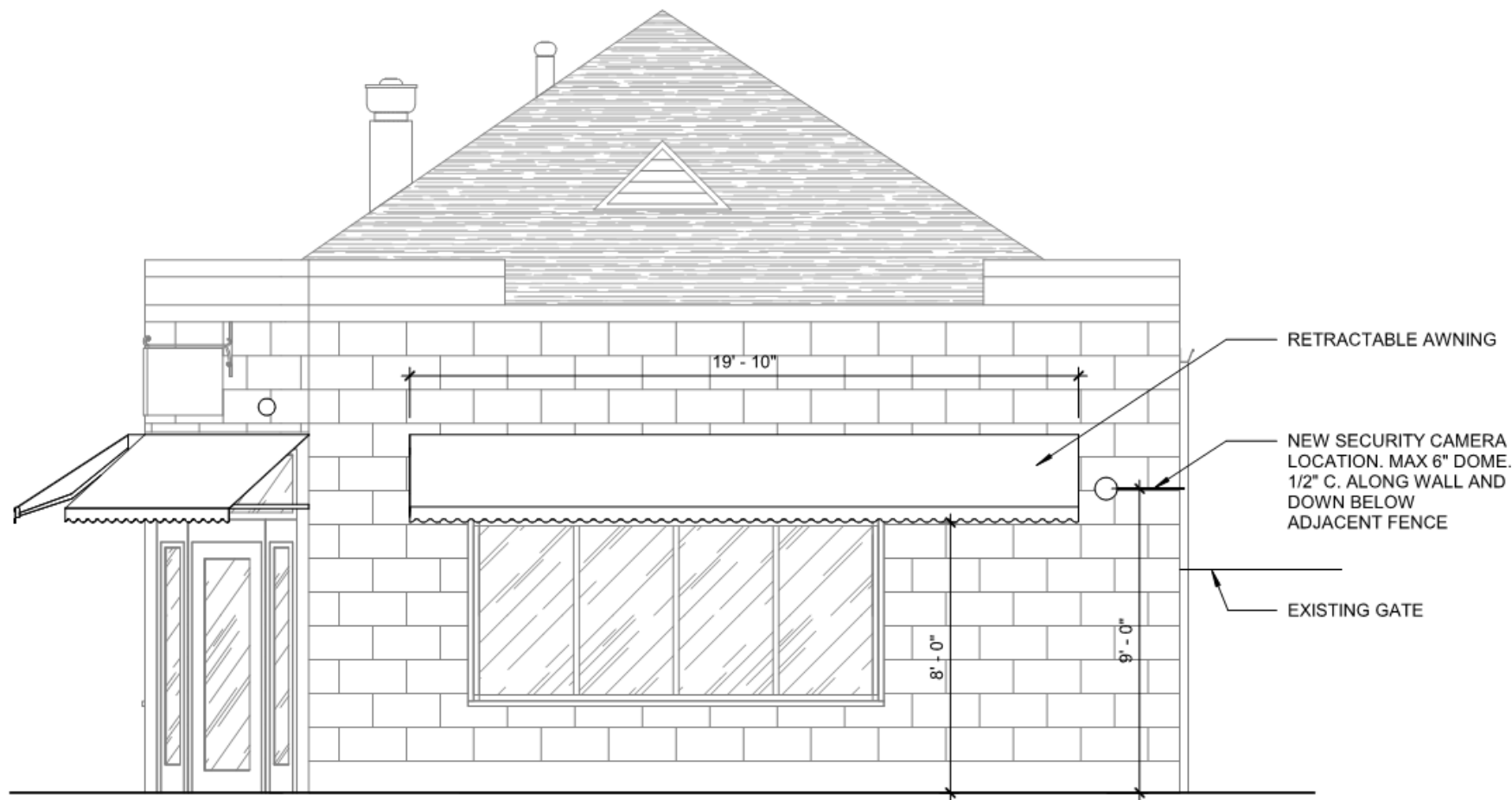
2 NORTH EXTERIOR ELEVATION VCC OPTION 1
A001|VCC02 1/4" = 1'-0"



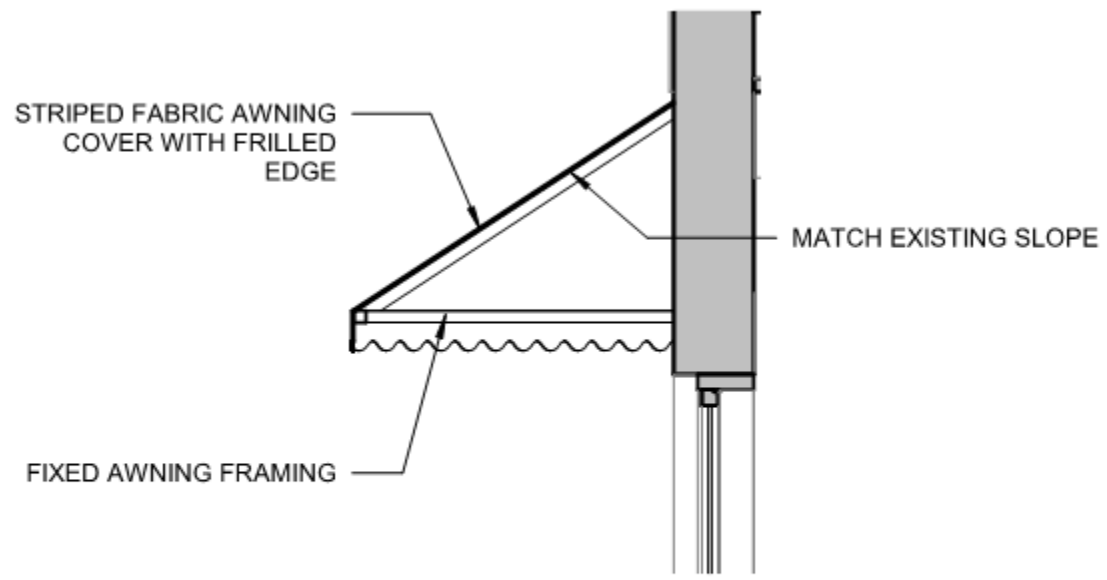


4 EAST EXTERIOR ELEVATION VCC OPTION 2
A001VCC02 1/4" = 1'-0"

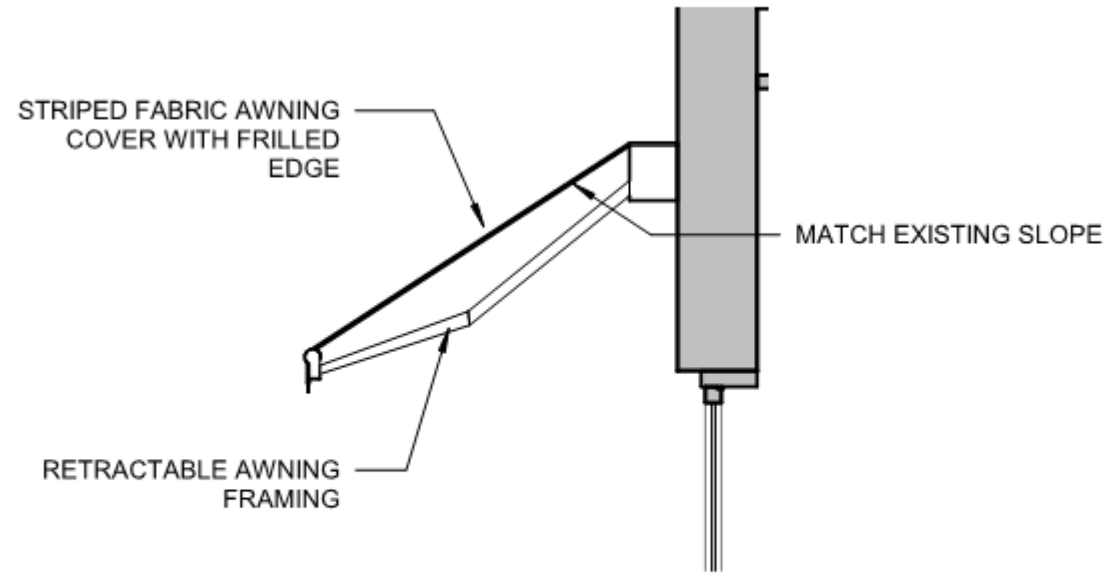




5 NORTH EXTERIOR ELEVATION VCC OPTION 2
A001|VCC02 1/4" = 1'-0"



6 SECTION THRU AWNING VCC OPTION 1
VCC02 1/2" = 1'-0"



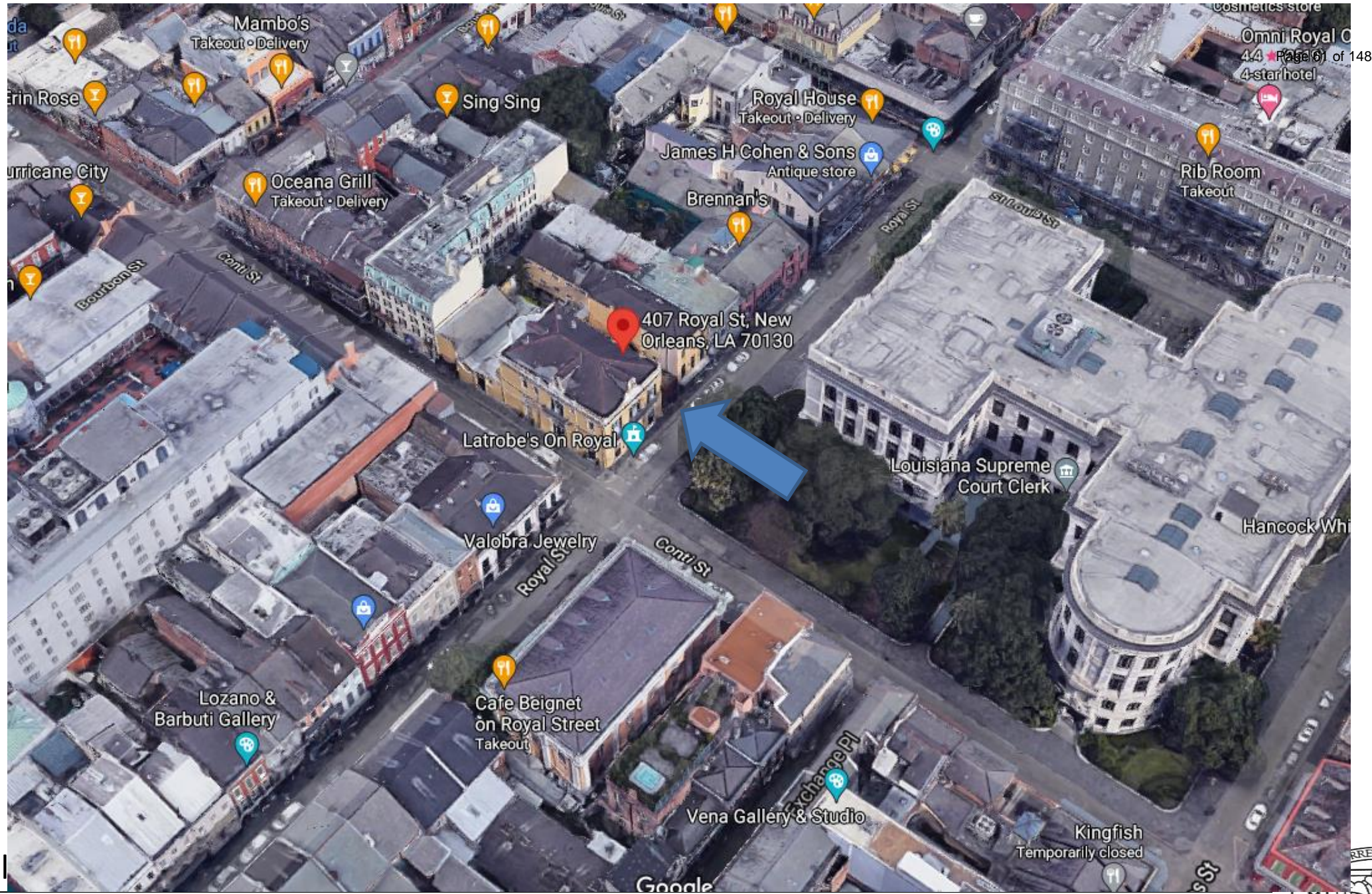
3 SECTION THRU AWNING VCC OPTION 2
VCC02 1/2" = 1'-0"



New Business

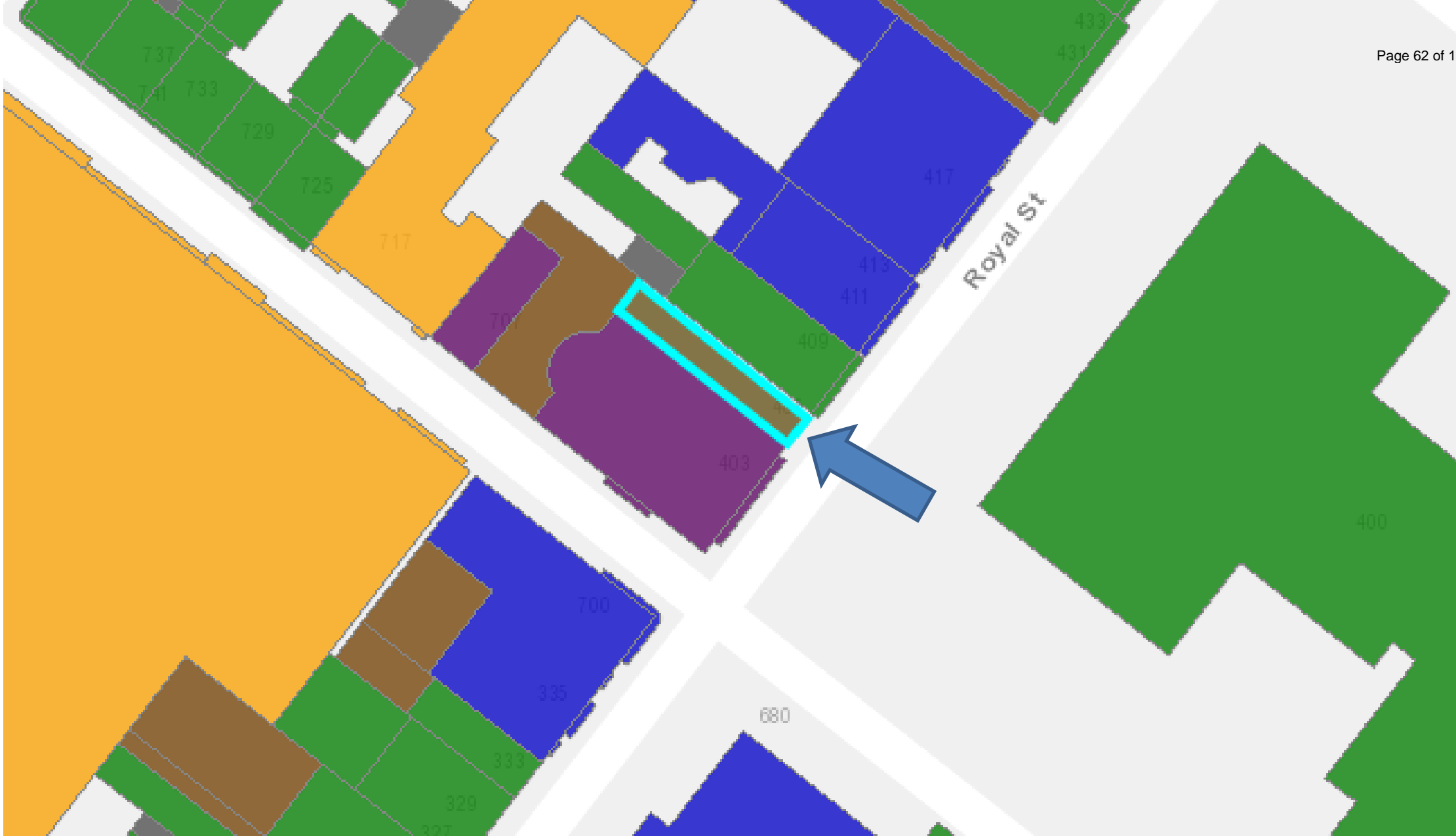


407 Royal



407 Royal





407 Royal





407 Royal

VCC Architectural Committee

September 21, 2021





407 Royal

VCC Architectural Committee

September 21, 2021





407 Royal

VCC Architectural Committee

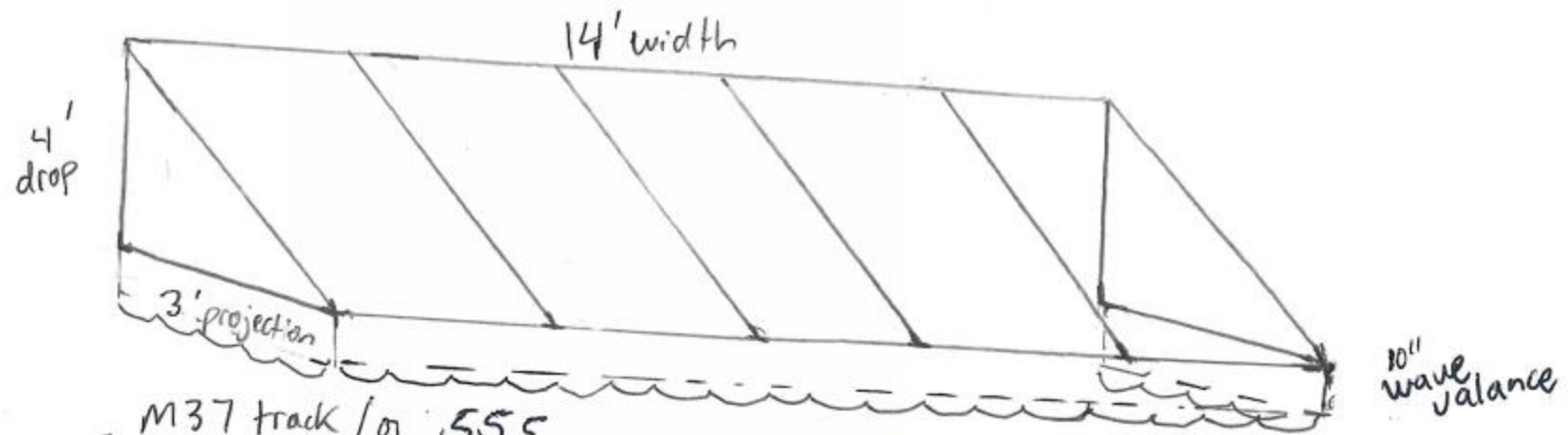
01 08 2020

September 21, 2021



CORRECTION

Peter Moss Brass Monkey
Hood w/ side & 10" wave scallop @ bottom



- M37 track / or 555
- 1/2" pipe frame, 4 laced rafters
- no truss, lace to frame
- frame painted black



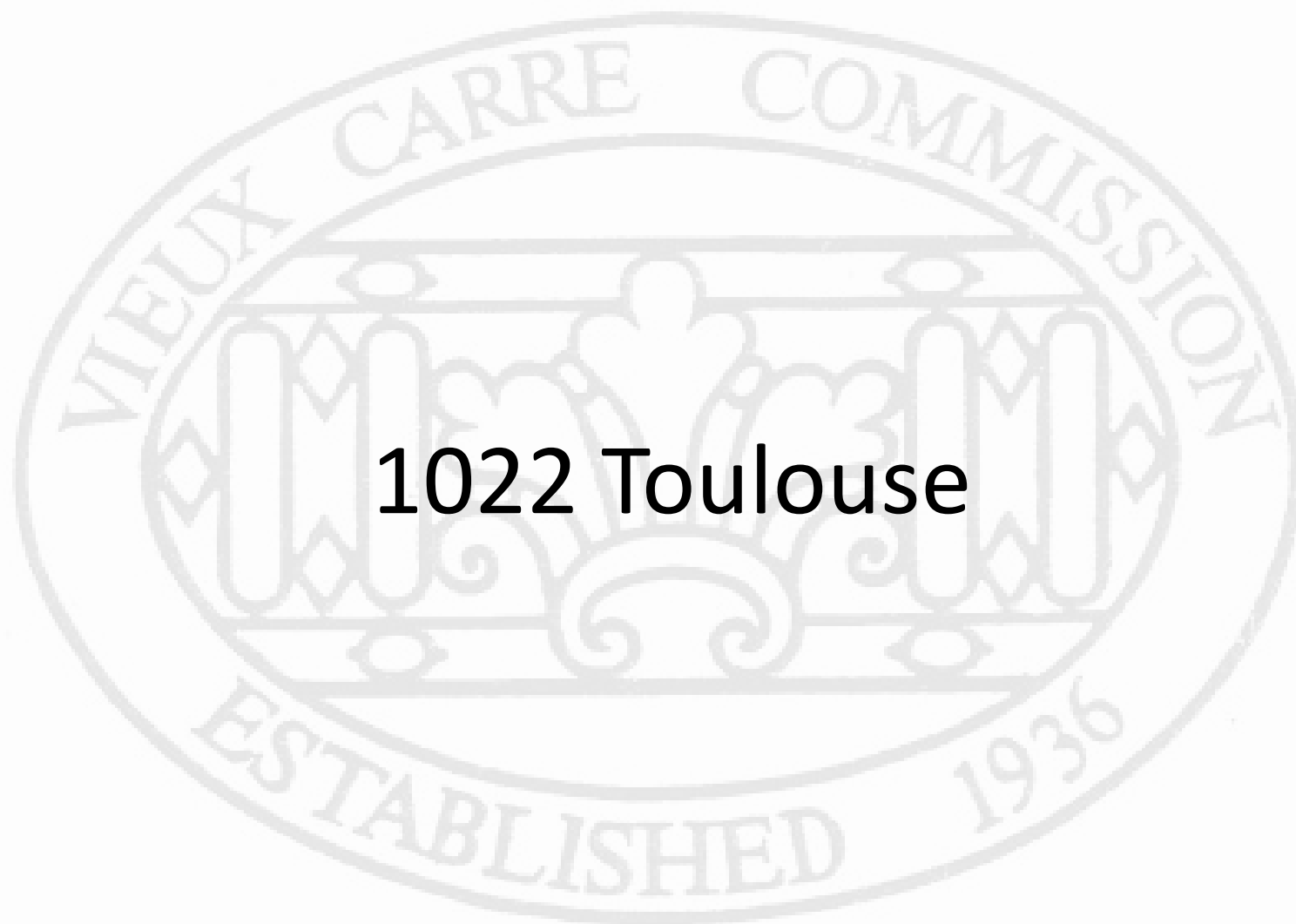


Sunbrella® Awning / Marine 46" Forest Green 4637-0000

Forest Green

Item # 874637

[SIGN IN FOR PRICE](#)



1022 Toulouse



1022 Toulouse





1022 Toulouse





1022 Toulouse, 1964



1022 Toulouse

VCC Architectural Committee

September 21, 2021





1022 Toulouse

VCC Architectural Committee

September 21, 2021





1022 Toulouse

VCC Architectural Committee

06 30 2021

September 21, 2021





06 30 2021

1022 Toulouse

VCC Architectural Committee

September 21, 2021





1022 Toulouse

VCC Architectural Committee

06 30 2021

September 21, 2021





06 30 2021

1022 Toulouse

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September 21, 2021



1022 Toulouse

Chuck Ransdell 504-451-8731

OWNERS – Multiple (condos)

8/16/21

Remove existing wood T&G decking from all nine balconies and replace with 1x4 Aeratis T&G decking over existing purlins. Existing fascia & trim to remain. Fascia, trim and purlins are in very good condition and will only need minor repairs prior to painting. The under-side of the new decking material will be pre-primed and painted white (to match existing) prior to installation. Paint touch-ups to be made after installations are complete.

The balconies are installed on 4" x ½" structural steel outriggers, secured internally. The existing T&G decking is installed without flashing where the deck meets the stucco. This T&G/stucco joint is caulked. We propose to duplicate this installation.

TOULOUSE ELEVATIONS of FRONT BUILDING



Six Balconies – 10' wide x 5' depth

1022 Toulouse

VCC Architectural Committee

September 21, 2021



ST LOUIS ELEVATION of FRONT BUILDING (facing courtyard)



Two Balconies – 69' wide x 5' depth

ST LOUIS ELEVATION of REAR BUILDING (facing courtyard)



One Balcony – 69' wide x 5' depth

1022 Toulouse

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DETAIL of Balcony support structures/purlins

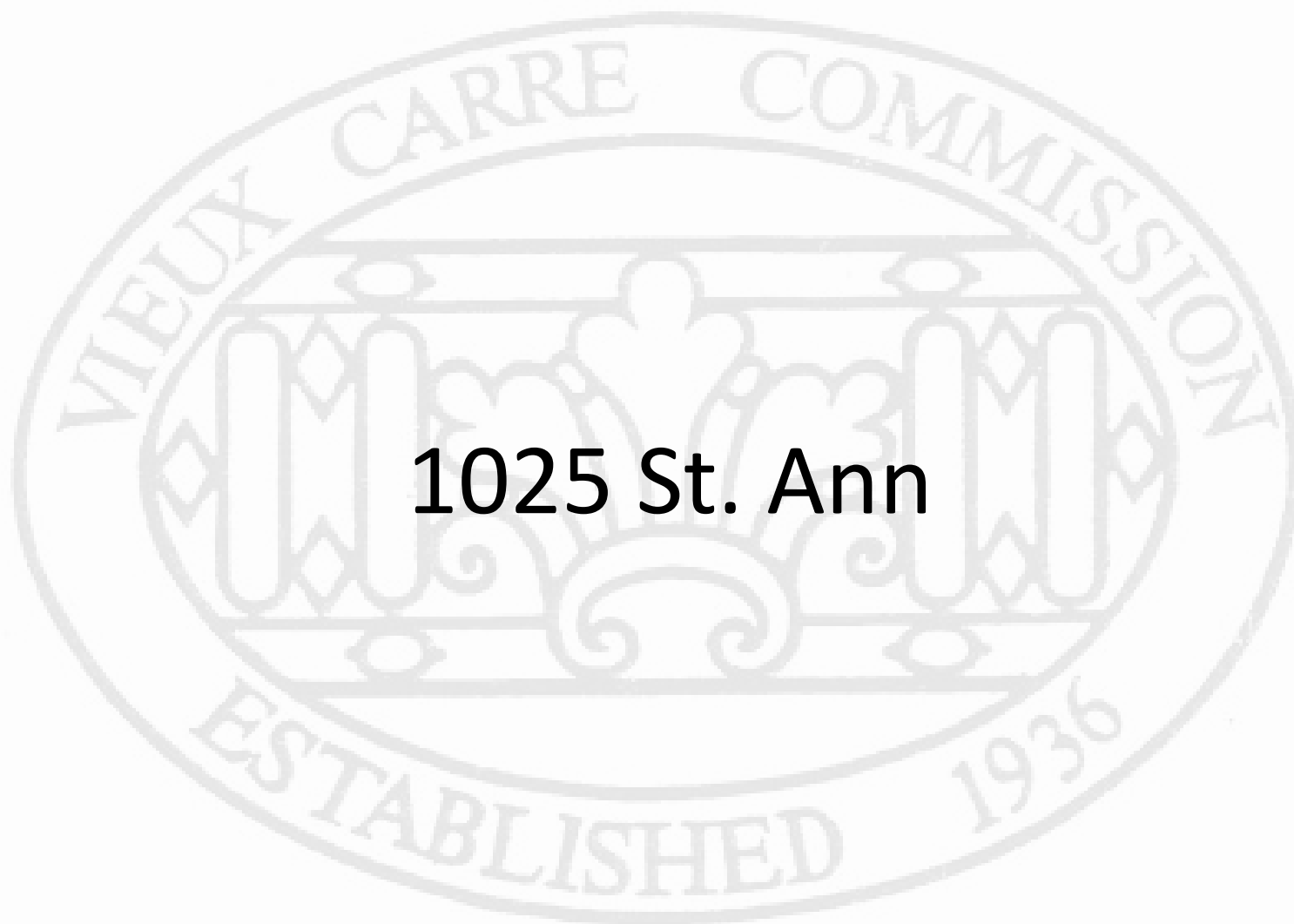


1022 Toulouse

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1025 St. Ann



1025 St. Ann

VCC Architectural Committee

September 21, 2021





1025 St. Ann





1025 St. Ann, 1962





1025 St. Ann, 1975



1025 St. Ann, 1996



1025 St. Ann, 2004



1025 St. Ann, 2021





1025 St. Ann, 2021





1025 St. Ann, Example Photo from Applicant





1025 St. Ann, Example Photo from Applicant



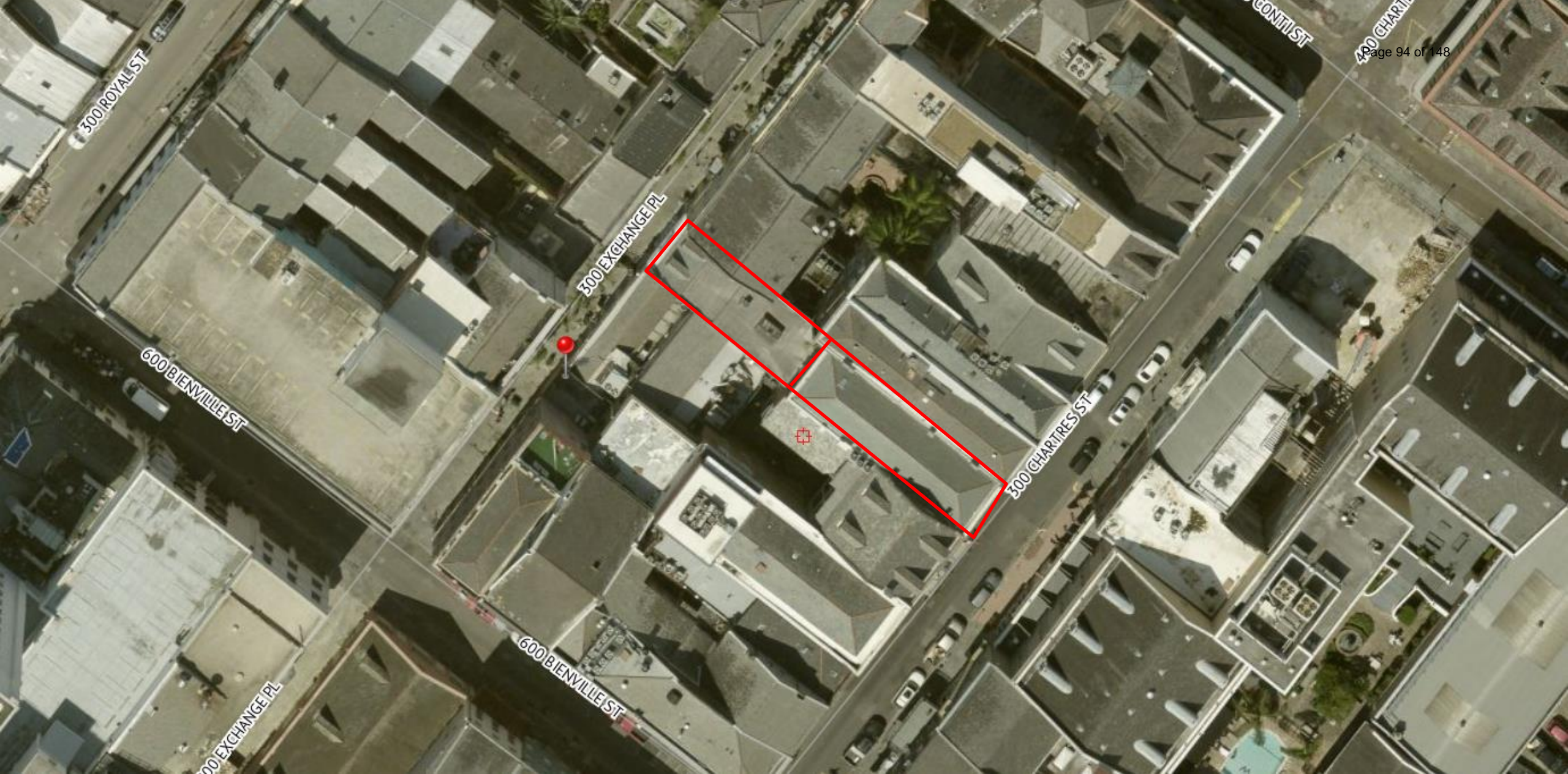
The seal of the Vieux Carre Commission is a large, faint watermark in the background. It is an oval shape with a decorative border. The text "VIEUX CARRE COMMISSION" is written along the top inner edge, and "ESTABLISHED 1936" is written along the bottom inner edge. In the center of the seal is a stylized figure of a person standing on a base, with decorative flourishes around it.

**317-19 Chartres Street
316-18 Exchange Place**



317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

September 21, 2021



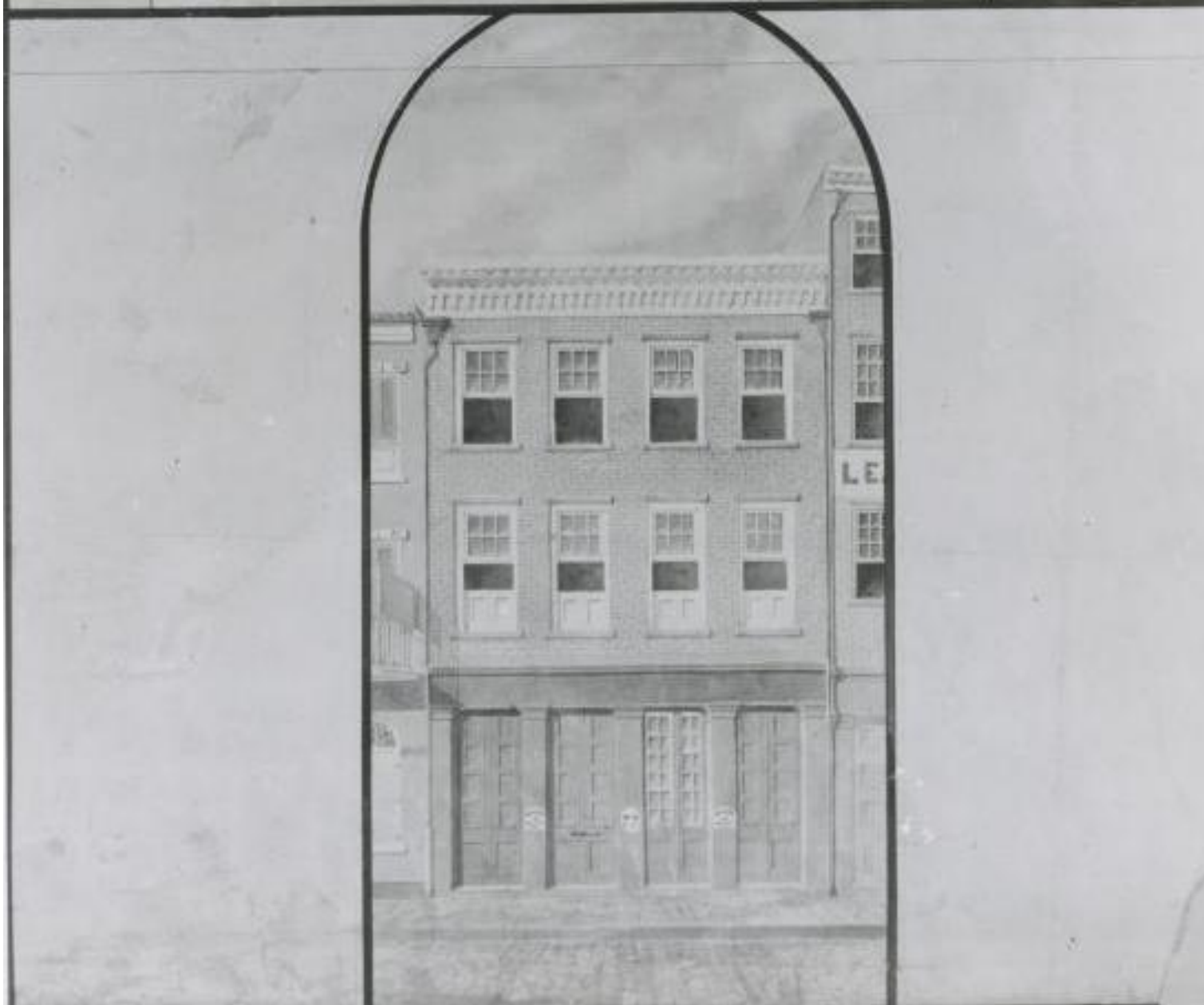


317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

September 21, 2021





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

September 21, 2021





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

September 21, 2021





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

September 21, 2021





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

September 21, 2021





317-19 Chartres/ 316-18 Exchange Place

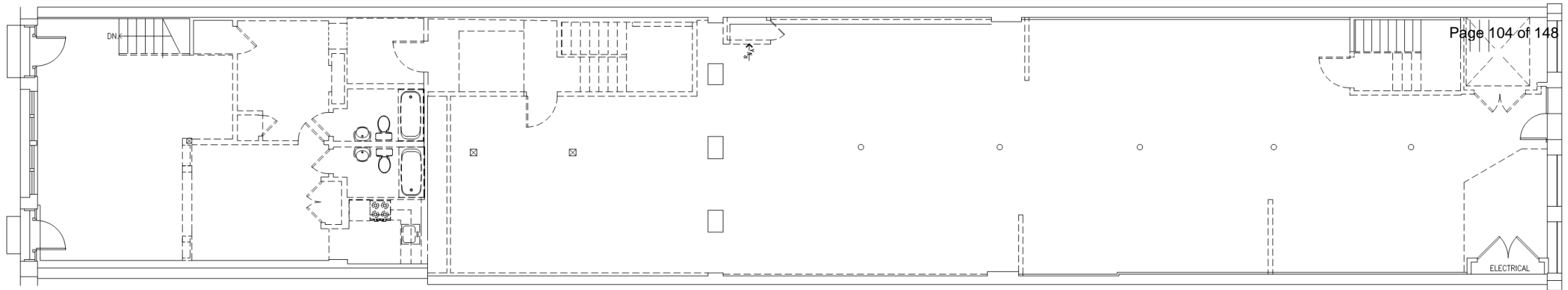


317-19 Chartres/ 316-18 Exchange Place

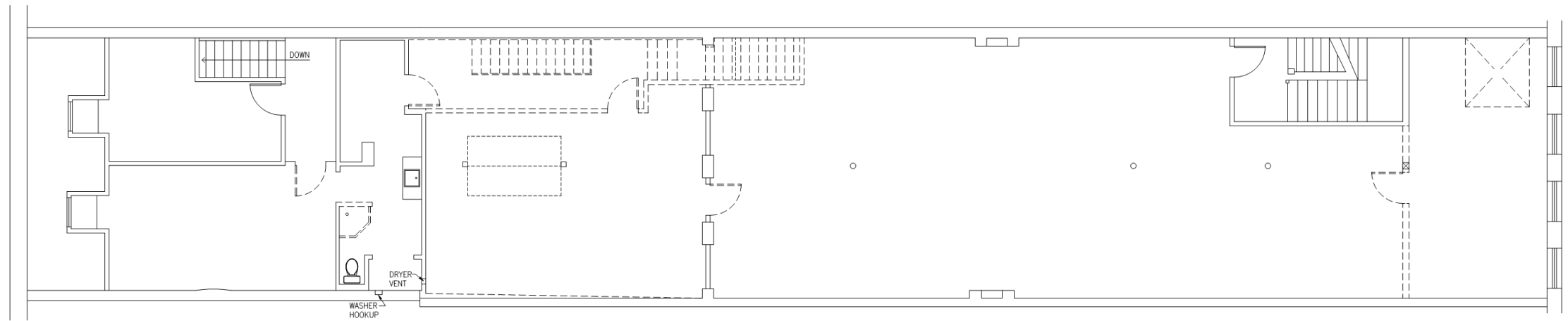


317-19 Chartres/ 316-18 **Exchange** Place





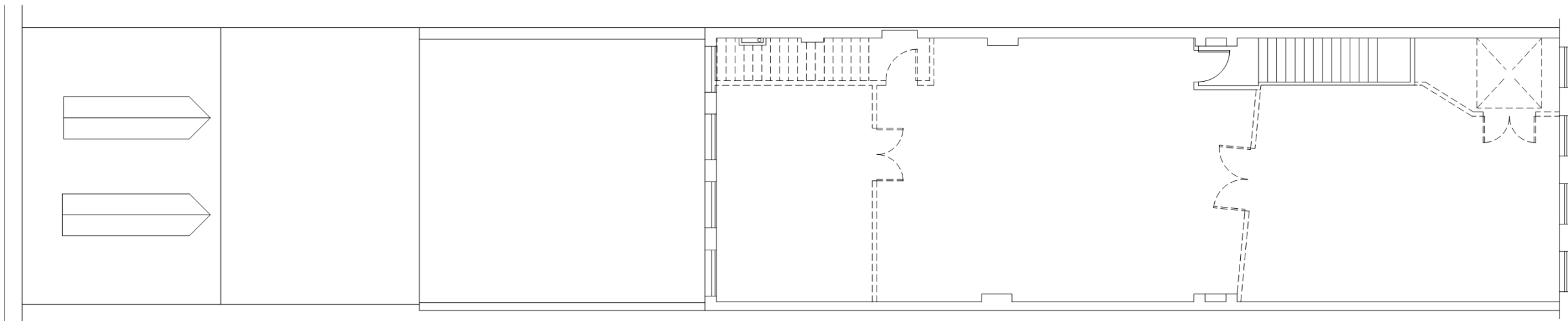
1 PROPOSED FIRST FLOOR DEMOLITION PLAN
SCALE: 3/16"=1'-0"



2 PROPOSED SECOND FLOOR DEMOLITION PLAN
SCALE: 3/16"=1'-0"

317-19 Chartres/ 316-18 Exchange Place





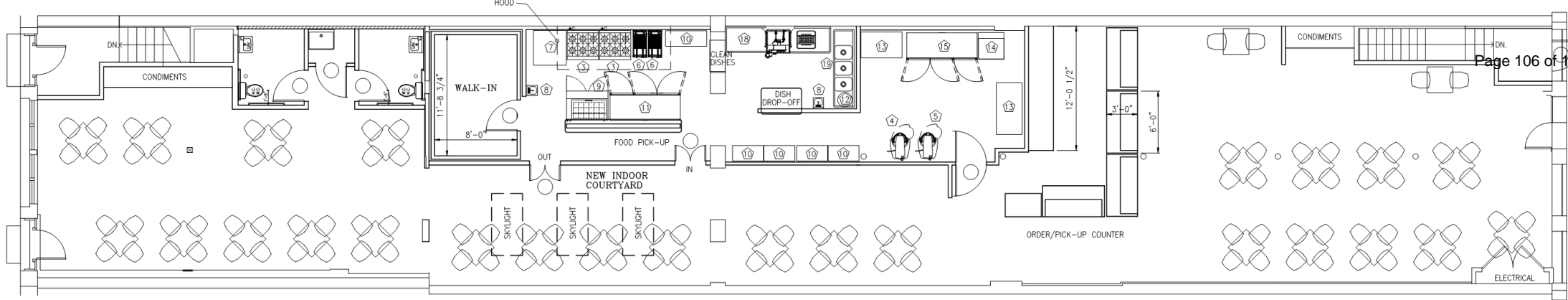
1 PROPOSED THIRD FLOOR DEMOLITION PLAN
SCALE: 3/16"=1'-0"

317-19 Chartres/ 316-18 Exchange Place

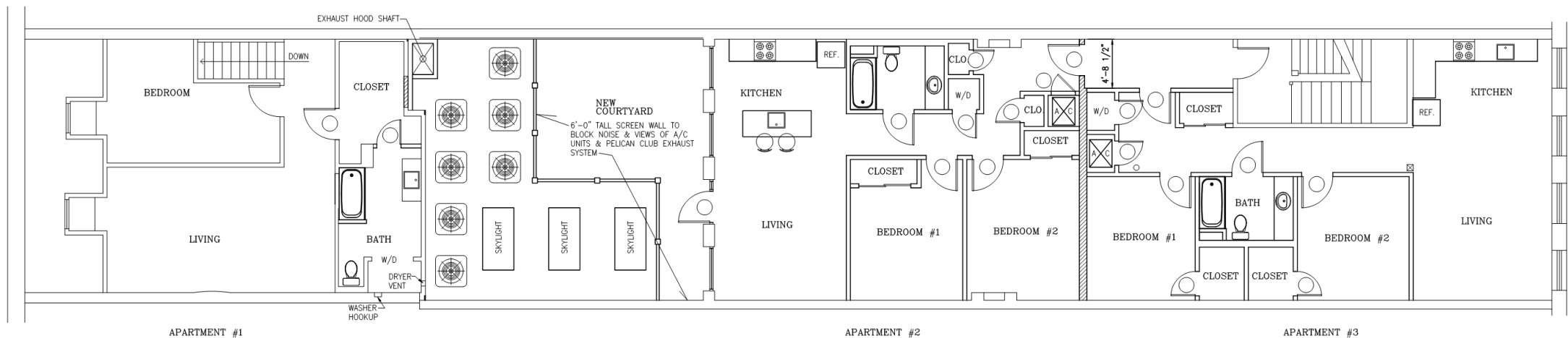
VCC Architectural Committee

September 21, 2021





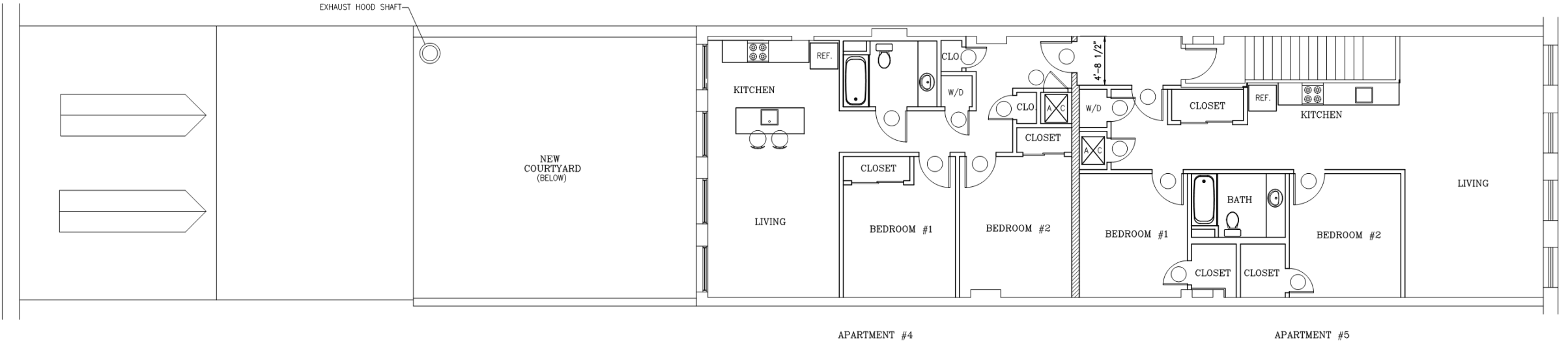
1 PROPOSED FIRST FLOOR PLAN (BAKERY)
SCALE: 3/16"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

317-19 Chartres/ 316-18 Exchange Place





2

PROPOSED THIRD FLOOR PLAN

SCALE: 3/16"=1'-0"



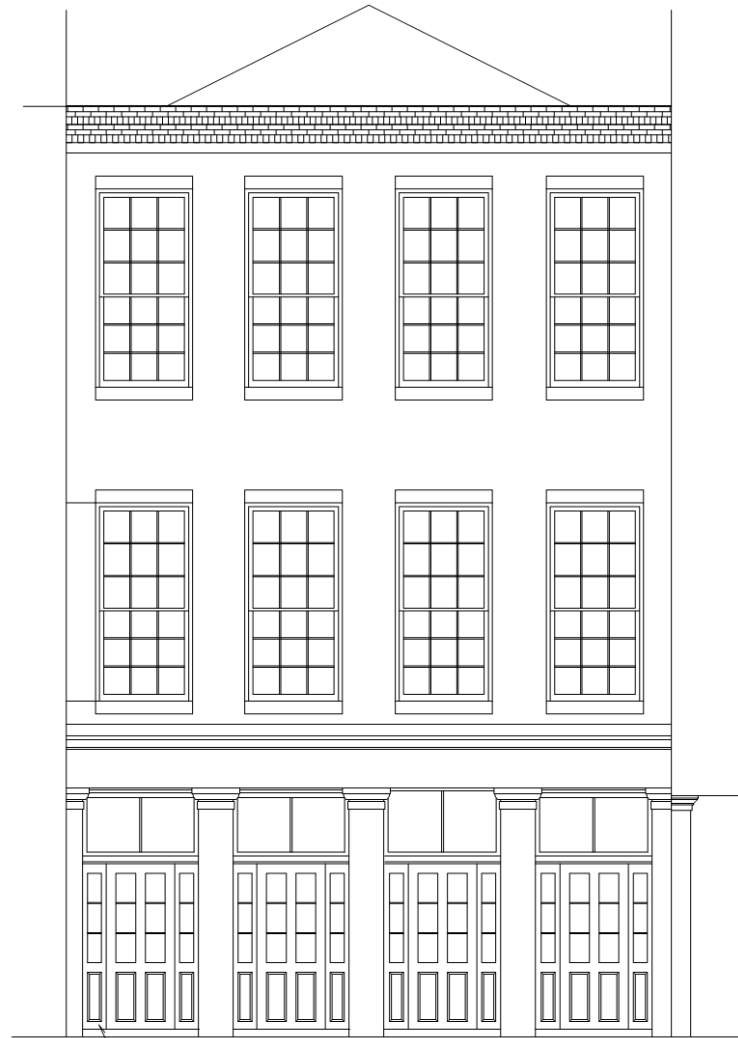


EXIST. ENTRANCE DOORS DO NOT HAVE THE REQ'D 36" EXIT DOOR WIDTH

EXIST. WINDOWS ARE NOT ORIGINAL TO THE BUILDING

5'-0 1/2"

3 EXIST. CHARTRES ELEVATION
SCALE: 1/4"=1'-0"



THIS SIDELITE WOULD BE BLACKED-OUT DUE TO EXIST. ELECTRICAL PANEL BEHIND IT

OLD PHOTOS SHOW ALL 5'-0" WIDE DOUBLE DOORS - NEW LAYOUT SHOWS ALL 36" WIDE CENTER DOORS WITH PANELLED SIDELITES TO FILL OUT THE 5'-0" WIDTH

4 PROPOSED. CHARTRES ELEVATION #1
SCALE: 1/4"=1'-0"

317-19 Chartres/ 316-18 Exchange Place





EXIST. ENTRANCE DOORS DO NOT HAVE THE REQ'D 36" EXIT DOOR WIDTH

5'-0 1/2"

EXIST. WINDOWS ARE NOT ORIGINAL TO THE BUILDING

3 EXIST. CHARTRES ELEVATION
SCALE: 1/4"=1'-0"



THIS SIDELITE WOULD BE BLACKED-OUT DUE TO EXIST. ELECTRICAL PANEL BEHIND IT

OLD PHOTOS SHOW ALL 5'-0" WIDE DOUBLE DOORS - NEW LAYOUT SHOWS ALL 36" WIDE CENTER DOORS WITH PANELLED SIDELITES TO FILL OUT THE 5'-0" WIDTH

5 PROPOSED. CHARTRES ELEVATION #2
SCALE: 1/4"=1'-0"

317-19 Chartres/ 316-18 Exchange Place





6 PROPOSED. CHARTRES ELEVATION #3
SCALE: 1/4"=1'-0"



7 PROPOSED. CHARTRES ELEVATION #4
SCALE: 1/4"=1'-0"

317-19 Chartres/ 316-18 Exchange Place





① EXIST. EXCHANGE ELEVATION
SCALE: 1/4"=1'-0"



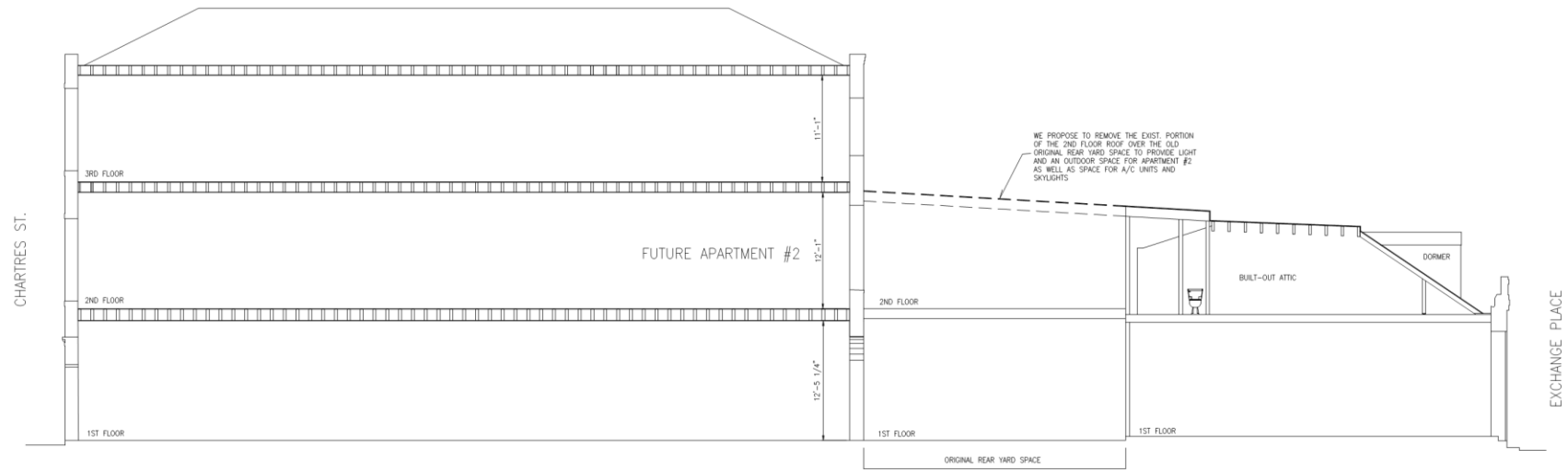
② PROPOSED. EXCHANGE ELEVATION
SCALE: 1/4"=1'-0"

317-19 Chartres/ 316-18 Exchange Place

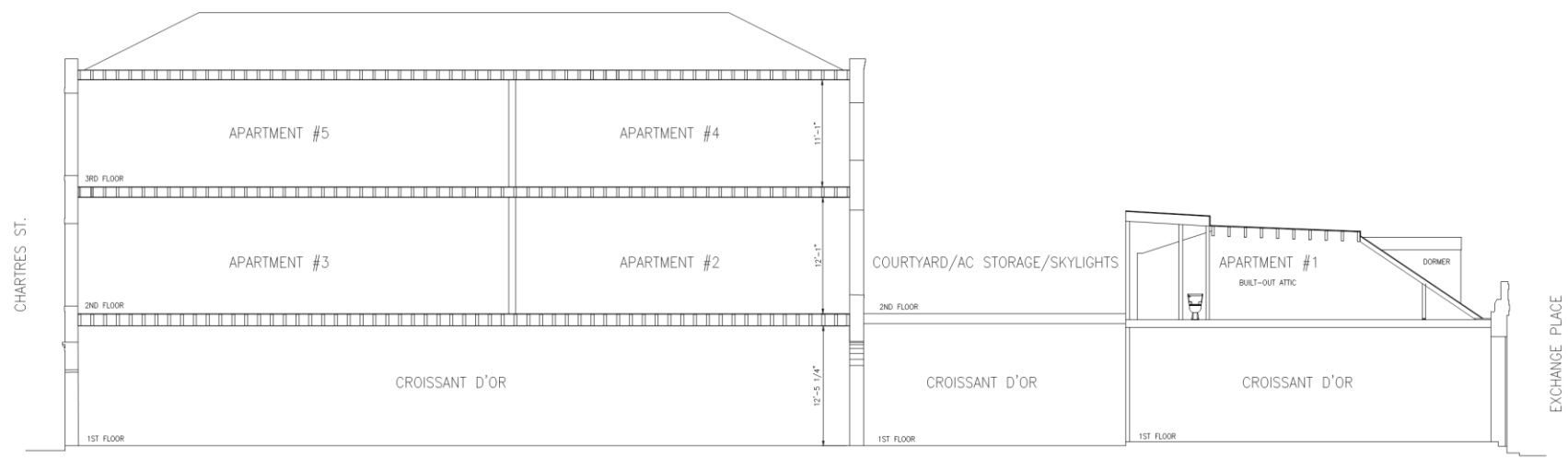
VCC Architectural Committee

September 21, 2021





1 EXISTING BUILDING SECTION
SCALE: 3/16"=1'-0"



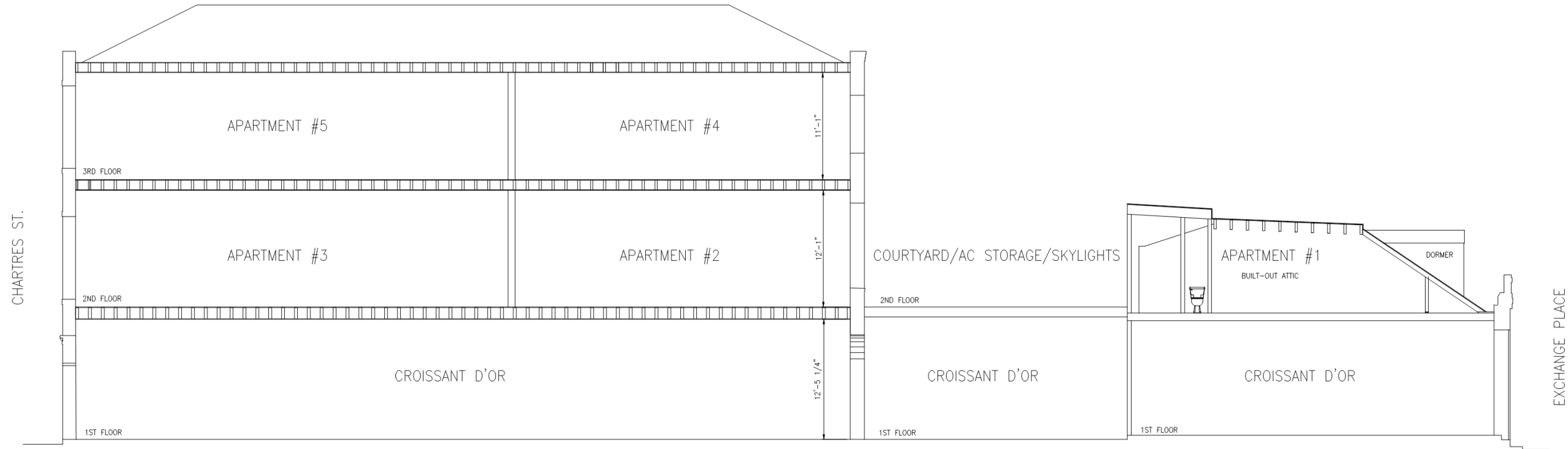
2 NEW BUILDING SECTION
SCALE: 3/16"=1'-0"

A3.0

STEVEN J. FINEGAN ARCHITECTS, LTD.
 A PROFESSIONAL CORPORATION
 123 S. Pierce St. - New Orleans, LA 70119
 (504)496-5744 www.stevefineganarchitect.com
 E-mail: stevefinegan@nocomail.com

317-19 Chartres/ 316-18 Exchange Place





2 NEW BUILDING SECTION
 SCALE: 3/16"=1'-0"

317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place

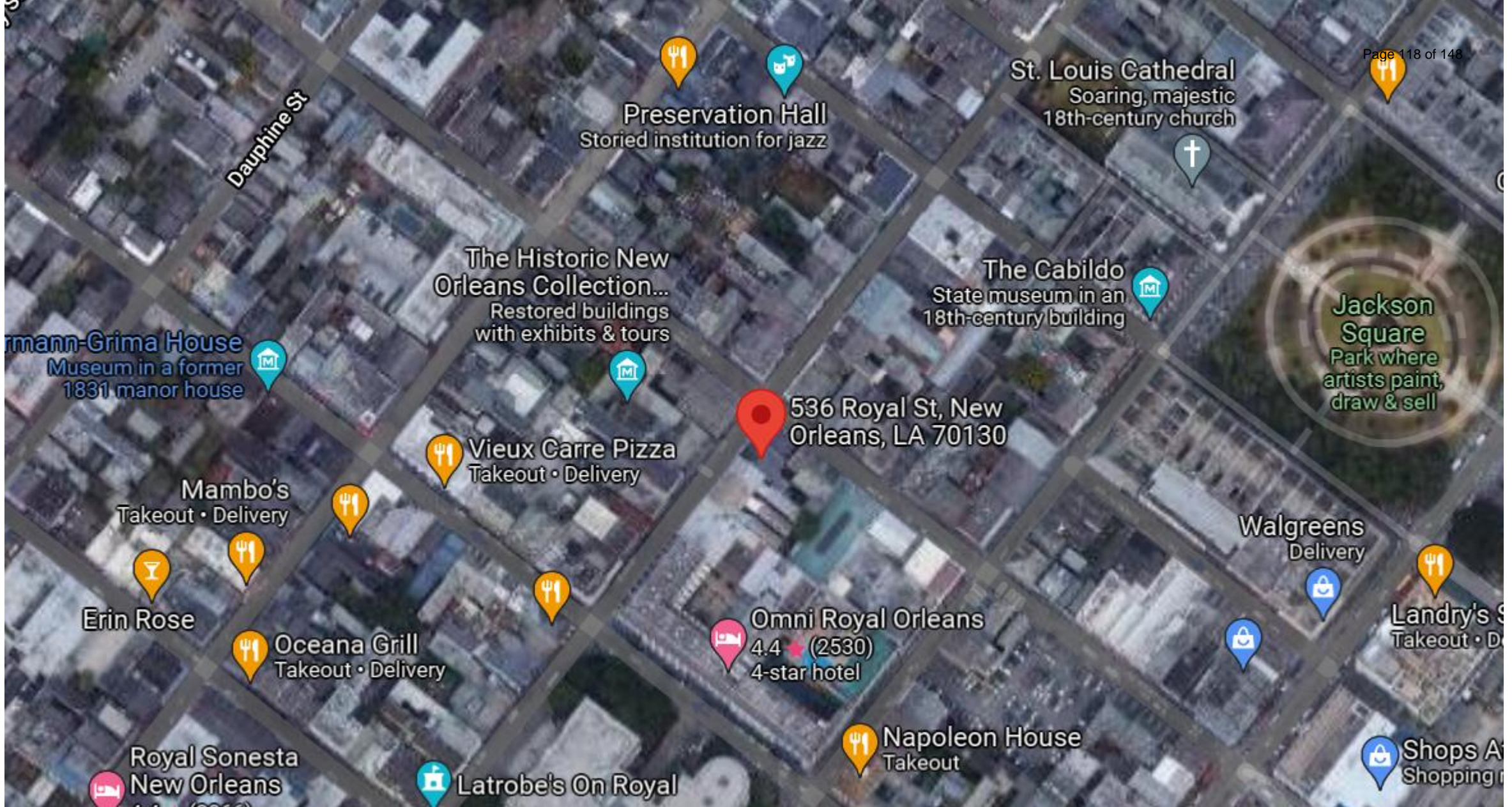




Appeals & Violations



534-36 Royal



536 Royal Street





536 Royal Street





536 Royal Street



536 Royal Street



536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street





536 Royal Street





536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street

VCC Architectural Committee

September 21, 2021



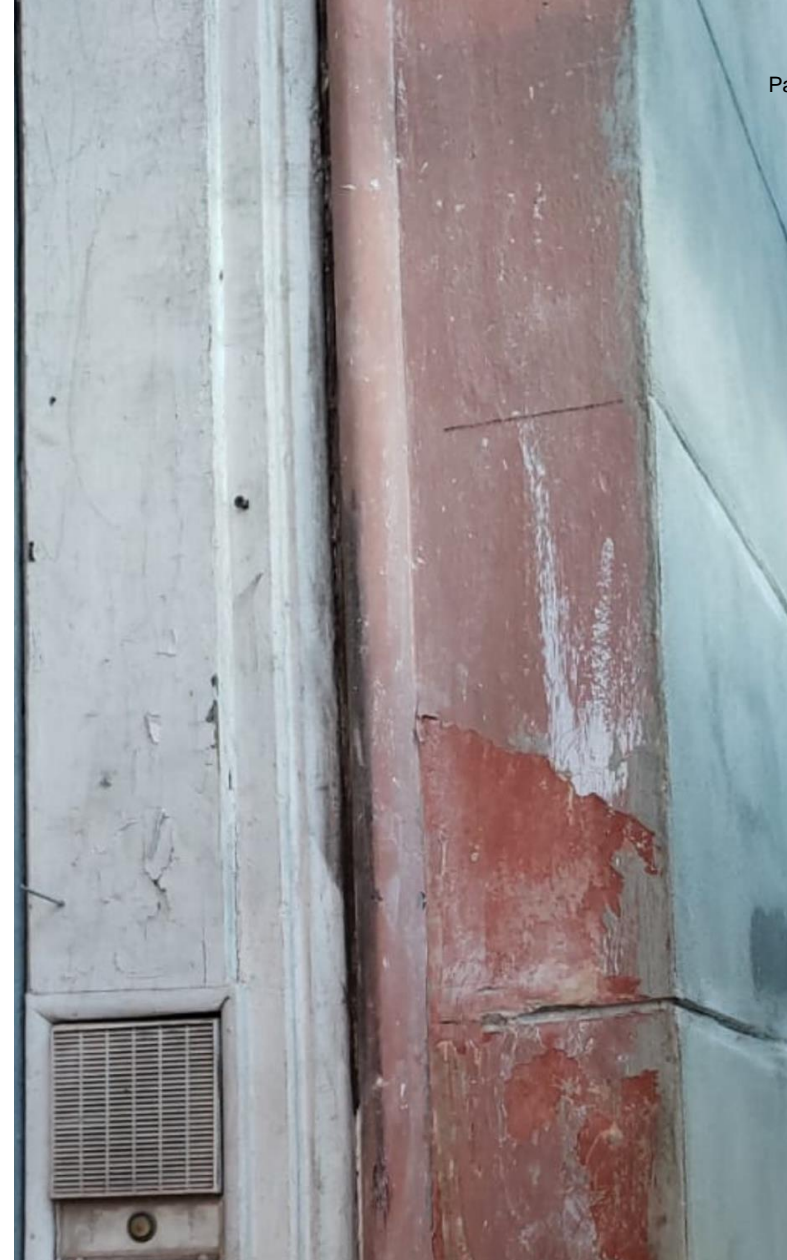


536 Royal Street

VCC Architectural Committee

September 21, 2021



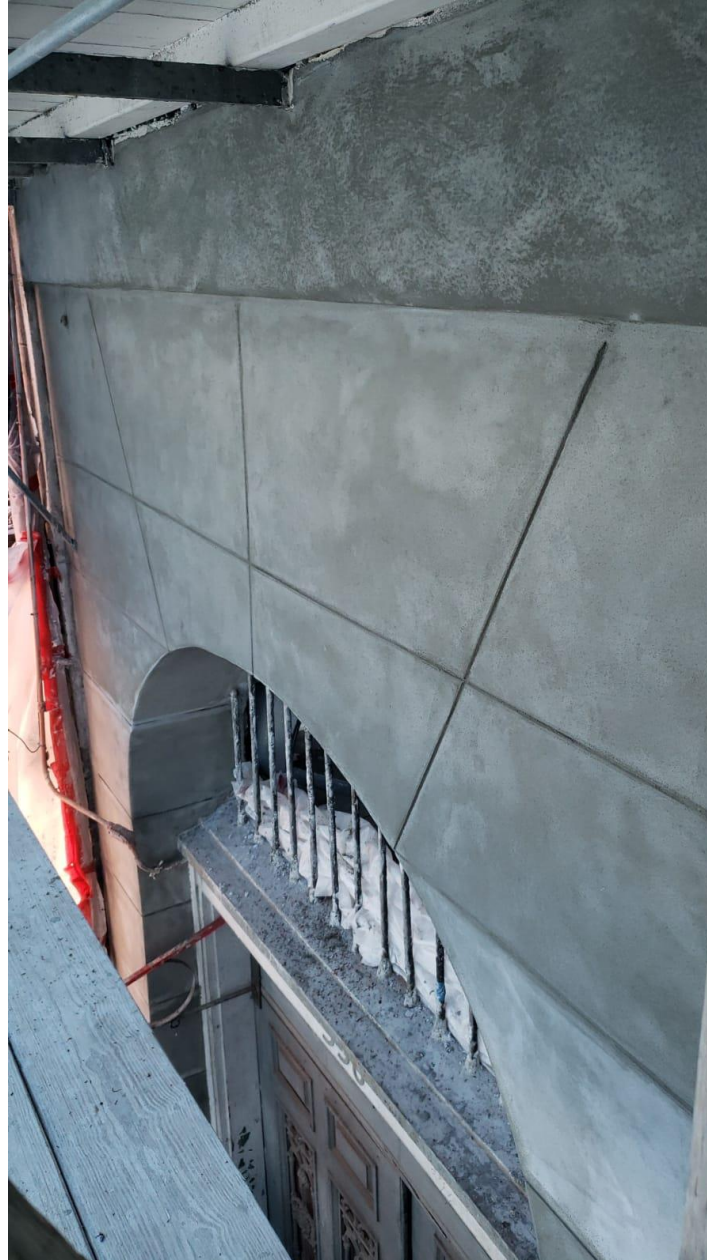


536 Royal Street

VCC Architectural Committee

September 21, 2021



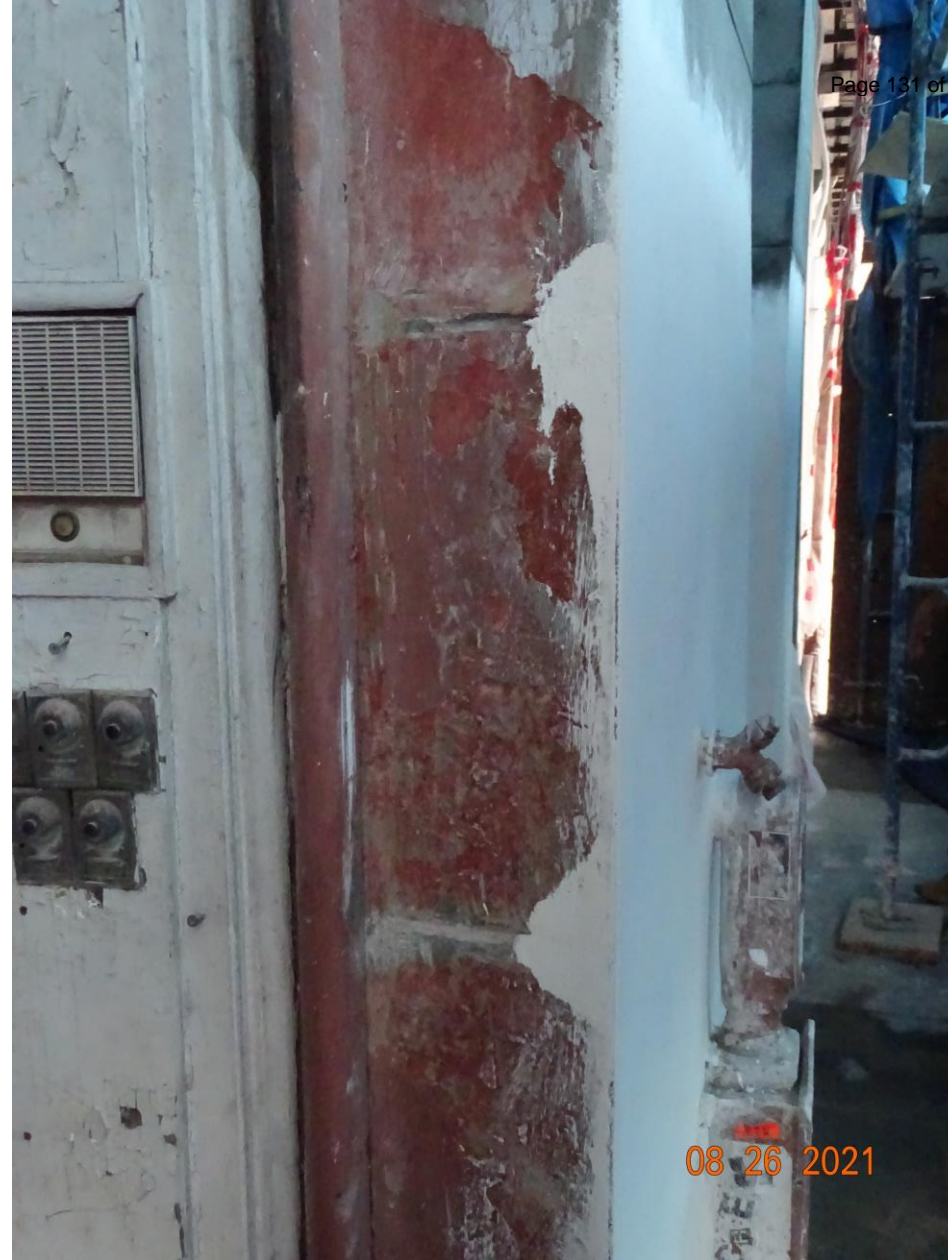


536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street

VCC Architectural Committee

September 21, 2021



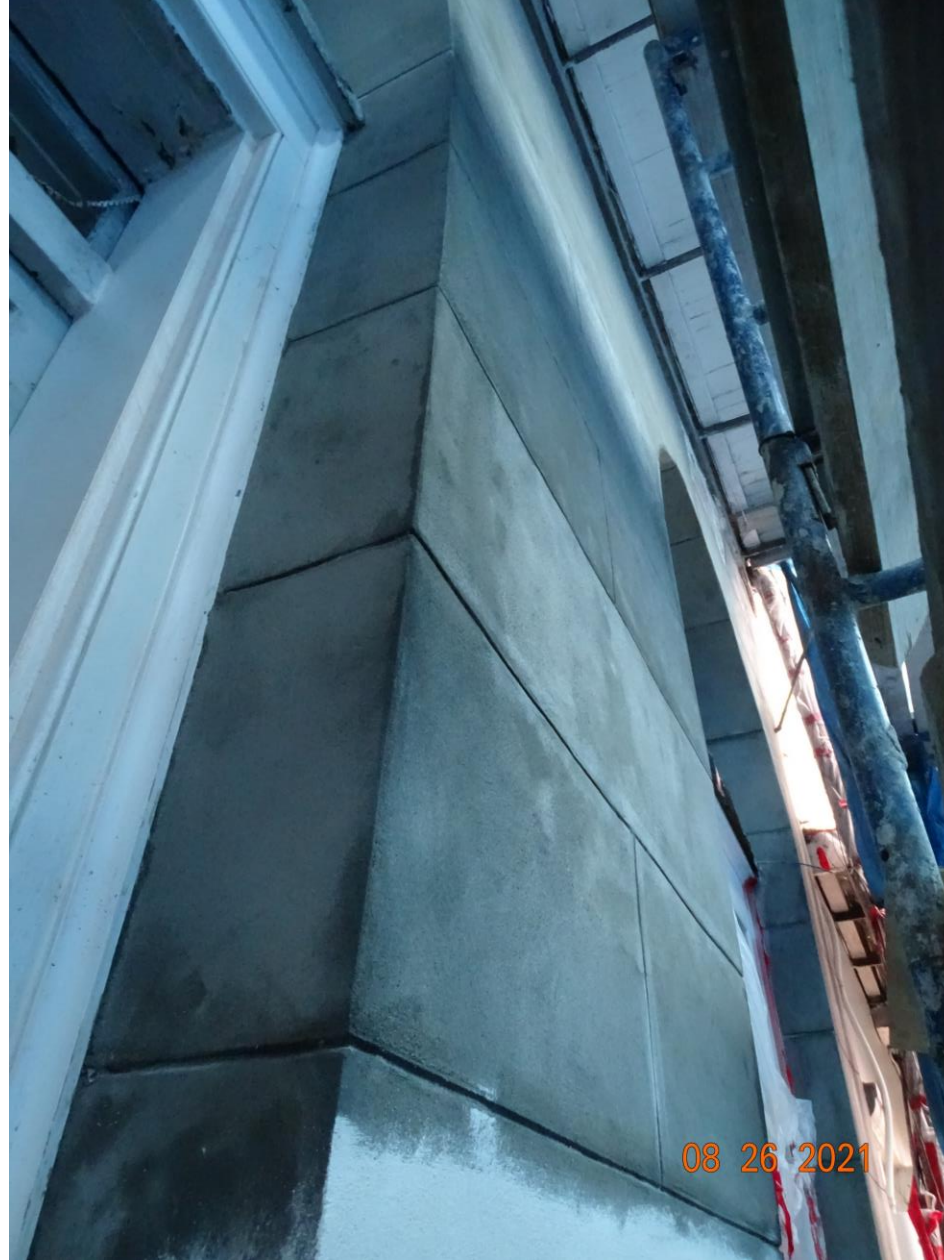


536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street

VCC Architectural Committee

September 21, 2021





536 Royal Street

VCC Architectural Committee

September 21, 2021



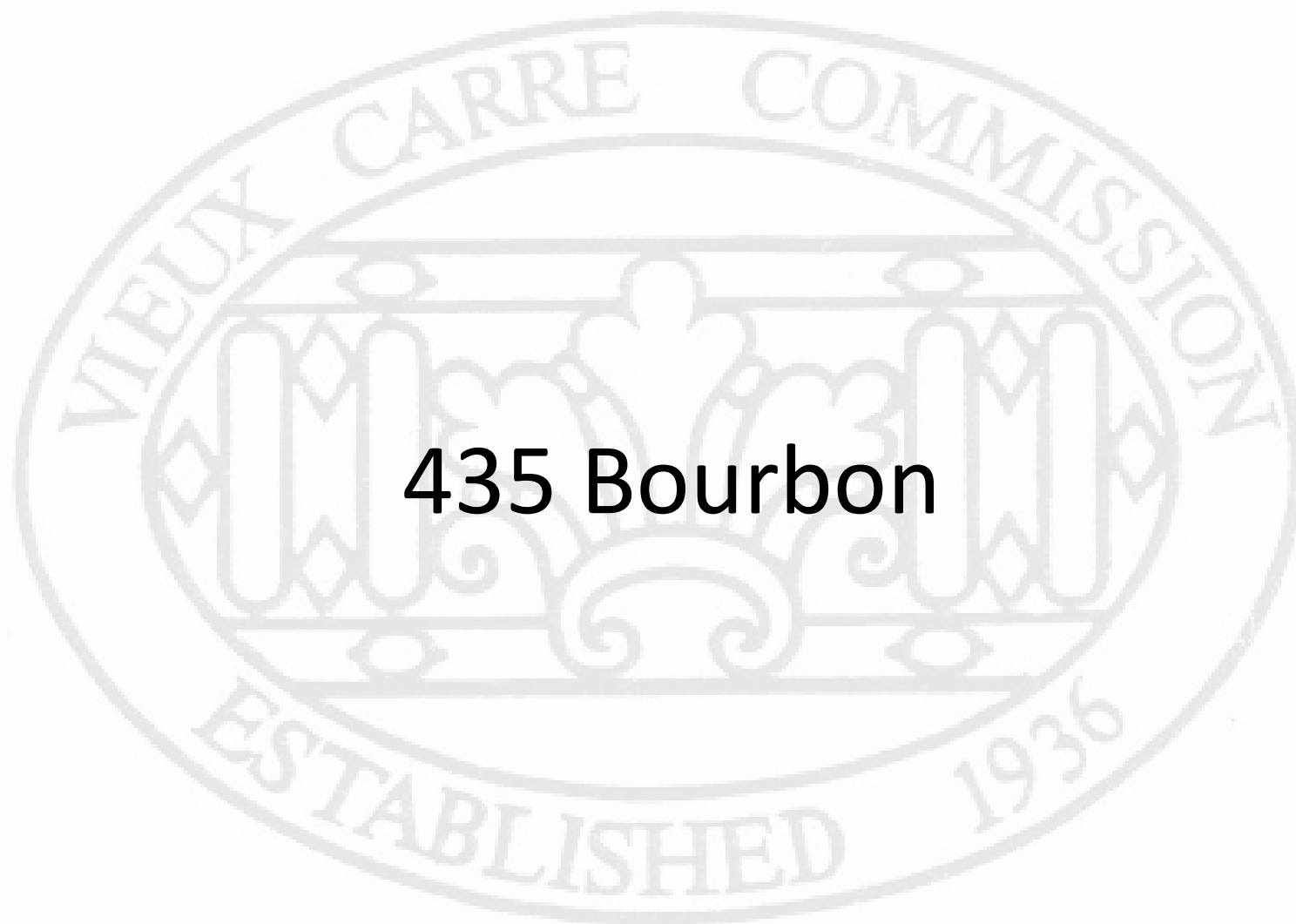


536 Royal Street

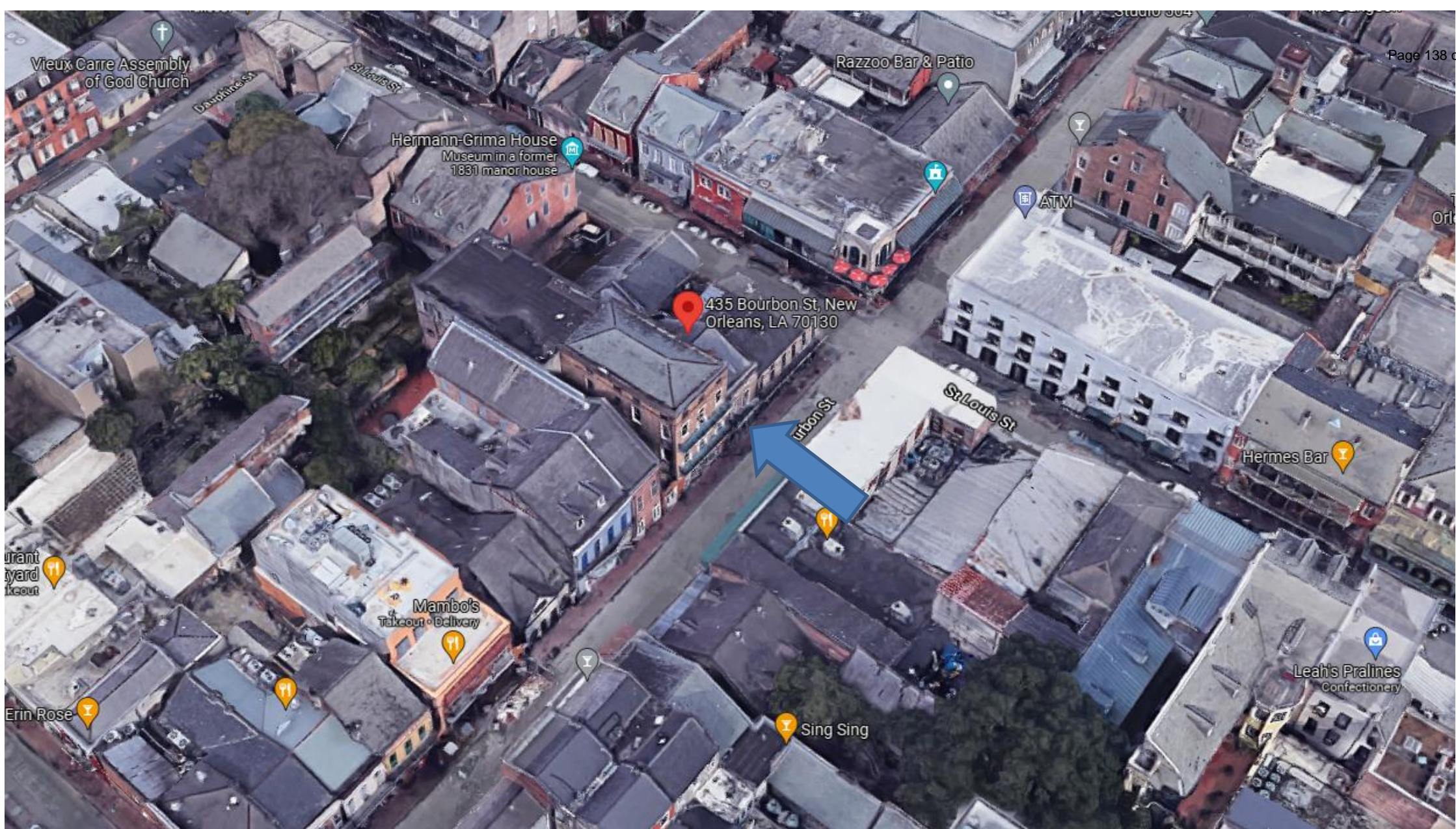
VCC Architectural Committee

September 21, 2021





435 Bourbon



435 Bourbon





435 Bourbon





435 Bourbon, 1963

VCC Architectural Committee

September 21, 2021





435 Bourbon

VCC Architectural Committee

01 06 2021

September 21, 2021





435 Bourbon

VCC Architectural Committee

01 06 2021

September 21, 2021





435 Bourbon

VCC Architectural Committee

September 21, 2021





435 Bourbon, Courtyard





435 Bourbon, Courtyard



VIOLATION:
DOORS - ALTERATION DOORS WITHOUT BENEFIT OF VCC REVIEW OR APPROVAL, OR IN DEVIATION OF PERMIT.
*BATHROOM SAFETY BAR IN DOOR FRAME (PER 2016 VIOLATION)

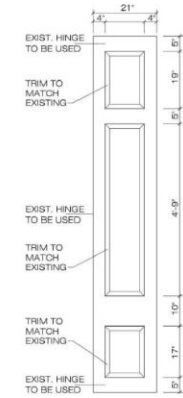


CORRECTION: RESTROOM GRAB BAR TO BE REMOVED FROM DOOR. OWNER TO PROVIDE SIGNS ON BOTH SIDES OF DOOR STATING: "CAUTION WATCH YOUR STEP"

VIOLATION:
SHUTTERS - REMOVAL/ALTERATION/INSTALLATION/CONSTRUCTION OF SHUTTER/SHUTTER HARDWARE WITHOUT BENEFIT OF VCC REVIEW OR APPROVAL, OR IN DEVIATION OF PERMIT.
*SHUTTER INAPPROPRIATELY CUT ON DECATUR ELEVATION.



CORRECTION: REPLACE CUT SHUTTER/DOOR TO MATCH EXISTING. RELOCATE SIGN AS SHOWN ABOVE TO ALLOW DOOR TO SWING OPEN PROPERLY. SIGN SHALL BE MOUNTED AT SAME HEIGHT AS EXISTING



SHUTTER ELEVATION

SHUTTER REPLACEMENT / REPAIR
435 BOURBON STREET
NEW ORLEANS, LOUISIANA

EXISTING CUT SHUTTERS TO BE REMOVED AND REPLACED WITH FULL SHUTTER AS SHOWN TO MATCH EXISTING. CONTRACTOR TO VERIFY ALL DIMENSIONS

EXISTING SIGN TO BE MOVED TO ABOVE THE NORTH DOOR



601 Pargworth Avenue
Suite 200
Metairie, LA 70005
504.838.8091
www.moutonlong.com

XXX

VIOLATION:
RAILINGS - INAPPROPRIATE RAILING EXTENSION INSTALLED ON AT LEAST THE BOURBON ELEVATION.



CORRECTION: WE ARE REQUESTING APPROVAL TO RETAIN THE RAILING AS IS.

VIOLATION:
SECURITY CAMERAS - SECURITY CAMERA(S) INSTALLED WITHOUT BENEFIT OF VCC REVIEW OR APPROVAL, OR IN DEVIATION OF PERMIT. PERMIT APPROVAL WITH THE VCC IS REQUIRED BEFORE INSTALLING SECURITY CAMERAS. PLEASE PROVIDE MAKE/MODEL AND QUANTITY OF SECURITY CAMERAS INSTALLED ON THE EXTERIOR IN A PERMIT APPLICATION.



CORRECTION: WE ARE REQUESTING APPROVAL TO RETAIN THE EXISTING SECURITY CAMERA.
*SEE SPEC FOR EXISTING CAMERA, THIS SHEET.

EZDome VP-IR Platinum



CAMERA SPECIFICATION: EZ DOME VP-IR PLATINUM

CORRECTIONS TO VCC VIOLATIONS
435 BOURBON ST
NEW ORLEANS, LA

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Date	To	Revised

Revisions	
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VCC1.0





REPLACE FLOOD LIGHTS UNDER BALCONY WITH LED DOWNLIGHTS. SEE SPEC.
1 FIXTURE, CENTERED ABOVE EACH DOOR OPENING (3 TOTAL)

MODEL #: DCCSMSS4D10F000030W
COLOR TEMPERATURE: 3000K
FINISH: WHITE
LUMENS: 1000

DCC
LED Cylinder



- Customize your cylinder with over one million configurations
- Powered by DMF's advanced LED downlight technology
- Modular Twist & Lock frame and Plug & Play light engines for easy maintenance and on-site modifications
- Shadeless pendant upright allows for direct and indirect lighting from a single cylinder
- Die-cast aluminum with no visible hardware for a sleek, symmetrical design

Lumen Output 750 lm (120W) 1000 lm (170W) 1500 lm (20W), 2000 lm (28W)	Mount Surface Cord, Stem, Wall
Color Quality 90+ CRI, 3-step SDCM	Size Diameter: L, I, Length: Small, L, Medium (18"), Large (12")
Color Temperature 2700K 3000K 3500K 4000K Warm White	Finish White Black, Brushed Aluminum, Bronze, Custom Color
Lighting Type Downlight Uplight Up and downlight Adjustable	Stem/Cord Length 24" or 48" (standard), Up to 96" (custom)
Specialty Lens Option Recessed Linear Spread	Optics Beam Narrow Flood Spot Ambient Diffuse
Emergency Lighting Optional Remote Inverter or Emergency LED Driver for lighting up to 90 minutes in event of power failure	Input 120V/277V
Standards UL, ENEC, CE, RoHS	Dimming TRIAC, ELV 5%, 0-10V 1%, Lutron Hi-Lume 1%
Guarantee 50,000 hrs 5 years	Shims and Shades Recessed Beveled Trim Hyperbolic Trim, Smooth, Decorative Trim, Low Profile Decorative Trim, Round Shade, Flat Shade

dmflighting.com



VIOLATION:
HVAC/MECHANICAL/ELECTRICAL/GAS/VENTS - A/C UNIT IN WINDOW IN COURTYARD AREA.



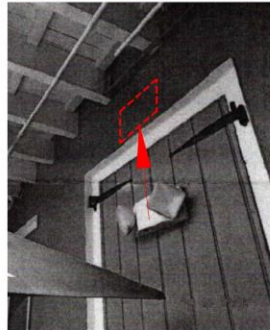
CORRECTION: WE ARE ASKING APPROVAL FOR EXISTING A/C WINDOW UNITS TO REMAIN.

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VIOLATION:
LIGHTING - LIGHT FIXTURES INSTALLED WITHOUT VCC REVIEW AND APPROVAL. LIGHT FIXTURE INSTALLED ON SHUTTERS IN COURTYARD WITHOUT VCC REVIEW AND APPROVAL.



CORRECTION: RELOCATE EMERGENCY LIGHT TO WALL ABOVE OPENING

VIOLATION:
HVAC/MECHANICAL/ELECTRICAL/GAS/VENTS - FANS INSTALLED IN COURTYARD WITHOUT VCC REVIEW AND APPROVAL



CORRECTION: WE ARE ASKING APPROVAL FOR FANS TO REMAIN. FANS MOUNTED TO RAILING SHALL BE RE-MOUNTED TO WALL.

VIOLATION:
WIRES/CONDUITS - UNUSED WIRES/CONDUITS SHOULD BE REMOVED AND REMAINING LOOSE WIRING/CONDUITS SHOULD BE PROPERLY SECURED AND PAINTED TO MATCH THE BUILDING.



CORRECTION: REMOVE UNUSED WIRING AND CONDUITS. PAINT ANY REMAINING WIRING/CONDUITS TO MATCH THE BUILDING



CORRECTIONS TO VCC VIOLATIONS
435 BOURBON ST
NEW ORLEANS, LA

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DEMOLITION BY NEGLECT VIOLATIONS:

VIOLATION:
GUTTERS - GUTTER MISSING OR DAMAGE/ DETERIORATION/
DEFORMATION PRESENT ON THE BUILDING(S) PROPERTY.



CORRECTION: REPAIR DAMAGED GUTTERS. CLEAN AND
PAINT GUTTERS THROUGHOUT PROPERTY.

VIOLATION:
PAINT - PAINT DETERIORATION PRESENT ON THE BUILDING(S)/PROPERTY.
PAINT DETERIORATION ON WINDOWS, TRIM, GUTTERS.



CORRECTION: PAINT ALL GUTTERS, WINDOWS, AND TRIM

VIOLATION:
VEGETATION - VEGETATION ON BUILDING WHICH CAN CAUSE
DAMAGE TO THE BUILDING AND IS LIKELY A SIGN OF MOISTURE
PROBLEMS WITHIN THE WALL.



CORRECTION: REMOVE ALL VEGETATION ON BUILDING

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 504.838.8091
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VIOLATION:
HORIZONTAL MEMBERS - DECKING DETERIORATION ON
BOURBON ELEVATION OF MAIN BUILDING.



CORRECTION: REPLACE DAMAGED DECKING ON BALCONY WITH
AERATIS HERITAGE T&G PORCH FLOORING. ADD SUPPORTS TO
MATCH EXISTING OUTRIGGERS AND TO MEET MANUFACTURER'S
REQUIREMENTS FOR SPACING.
ALT. OPTION - REPLACE WITH WOOD DECKING TO MATCH EXISTING.
ALL SIDES SHALL BE PAINTED (BOTH OPTIONS).

VIOLATION:
HORIZONTAL MEMBERS - DECKING, RAILING, AND FASCIA
DETERIORATION IN COURTYARD.



CORRECTION: REPAIR/REPLACE ALL RAILINGS, FASCIA, SOFFITS, ETC.
WITH WOOD TO MATCH EXISTING.
REPLACE ALL DAMAGED DECKING WITH AERATIS HERITAGE T&G PORCH
FLOORING. ADD SUPPORTS AS NECESSARY TO MATCH EXISTING JOISTS
AND TO MEET MANUFACTURER'S REQUIREMENTS FOR SPACING.
ALT. DECKING OPTION - REPLACE WITH WOOD DECKING TO MATCH
EXISTING.
ALL SIDES SHALL BE PAINTED (BOTH OPTIONS).



REPLACE SIDING
AND TRIM THIS AREA

CORRECTIONS TO VCC VIOLATIONS
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