



# Vieux Carré Commission Architecture Committee Meeting

Thursday, June 16, 2022

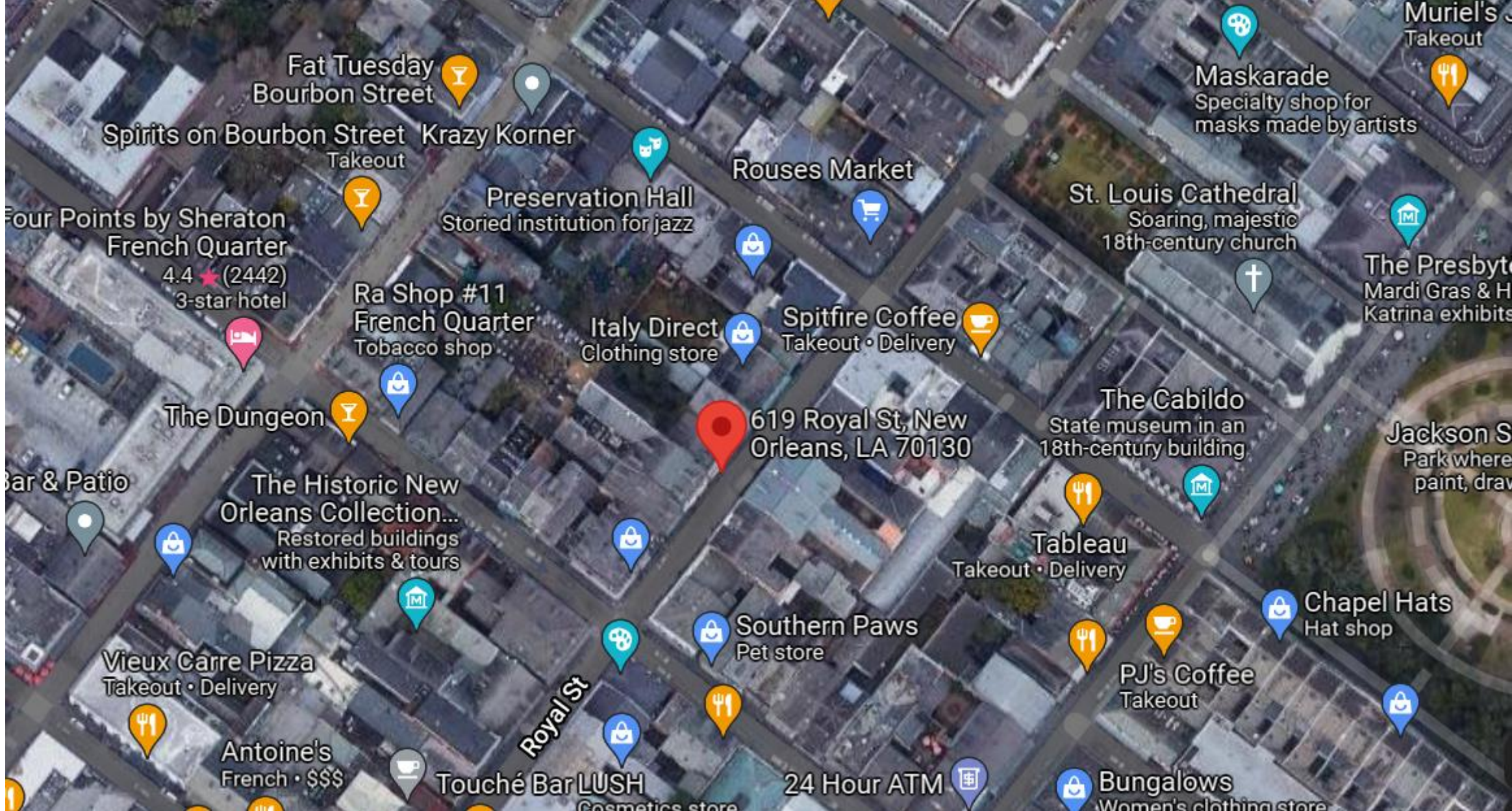
The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a central figure. The shield is flanked by two vertical banners. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

**Old Business**





619 Royal



619 Royal

VCC Architectural Committee

June 16, 2022







619 Royal

VCC Architectural Committee

June 16, 2022





619 Royal

VCC Architectural Committee

June 16, 2022







619 Royal

VCC Architectural Committee

June 16, 2022







619 Royal

VCC Architectural Committee

June 16, 2022





619 Royal

VCC Architectural Committee

June 16, 2022







619 Royal

VCC Architectural Committee

June 16, 2022







619 Royal

VCC Architectural Committee

June 16, 2022







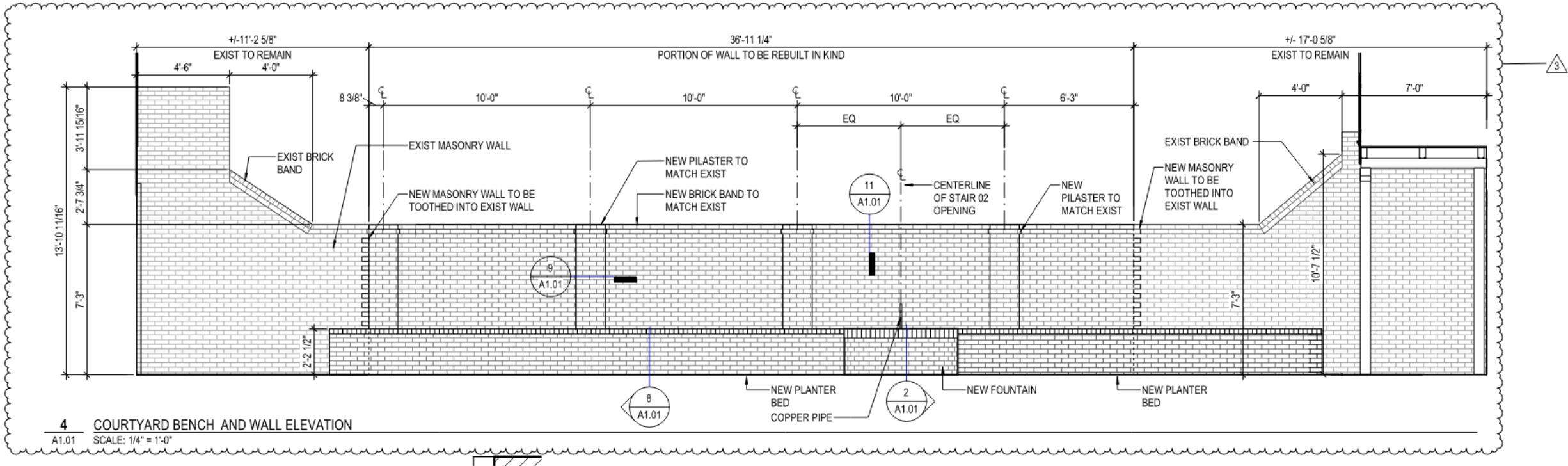
619 Royal

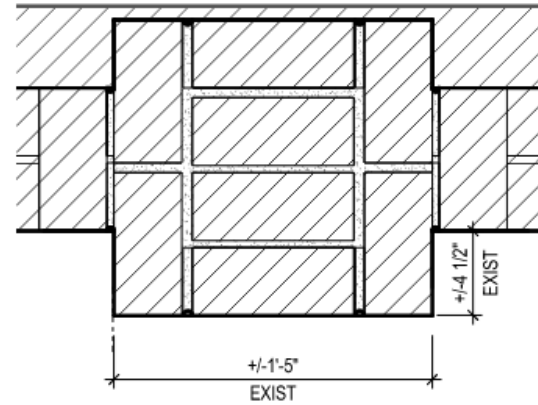
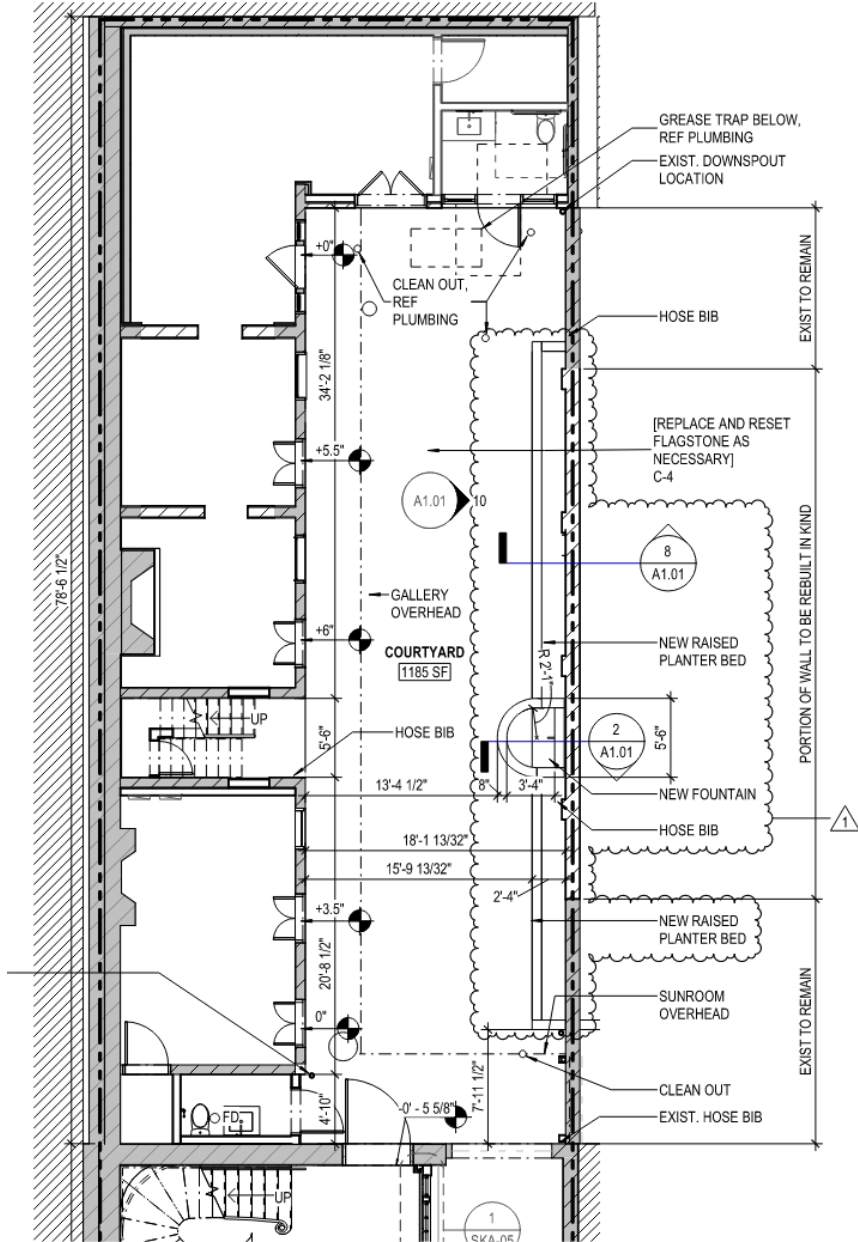
VCC Architectural Committee

June 16, 2022

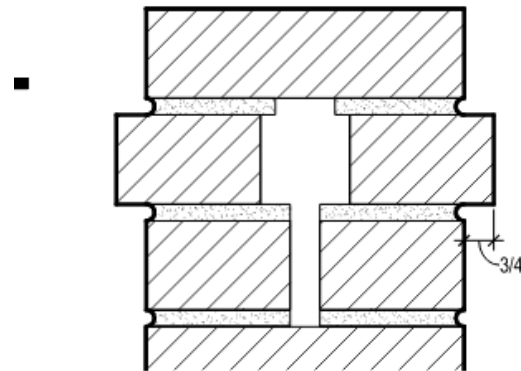




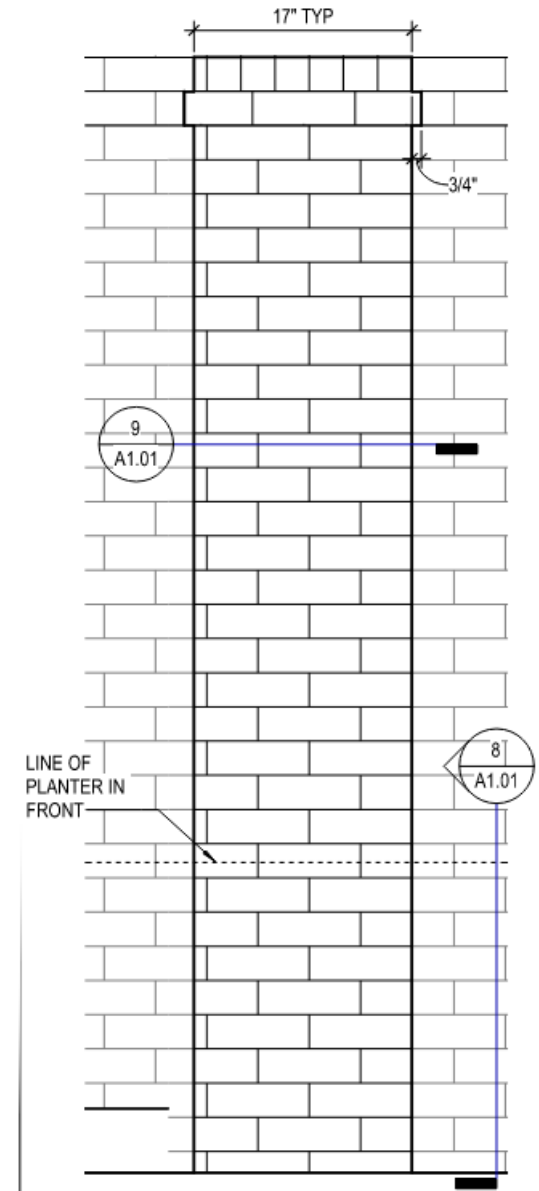




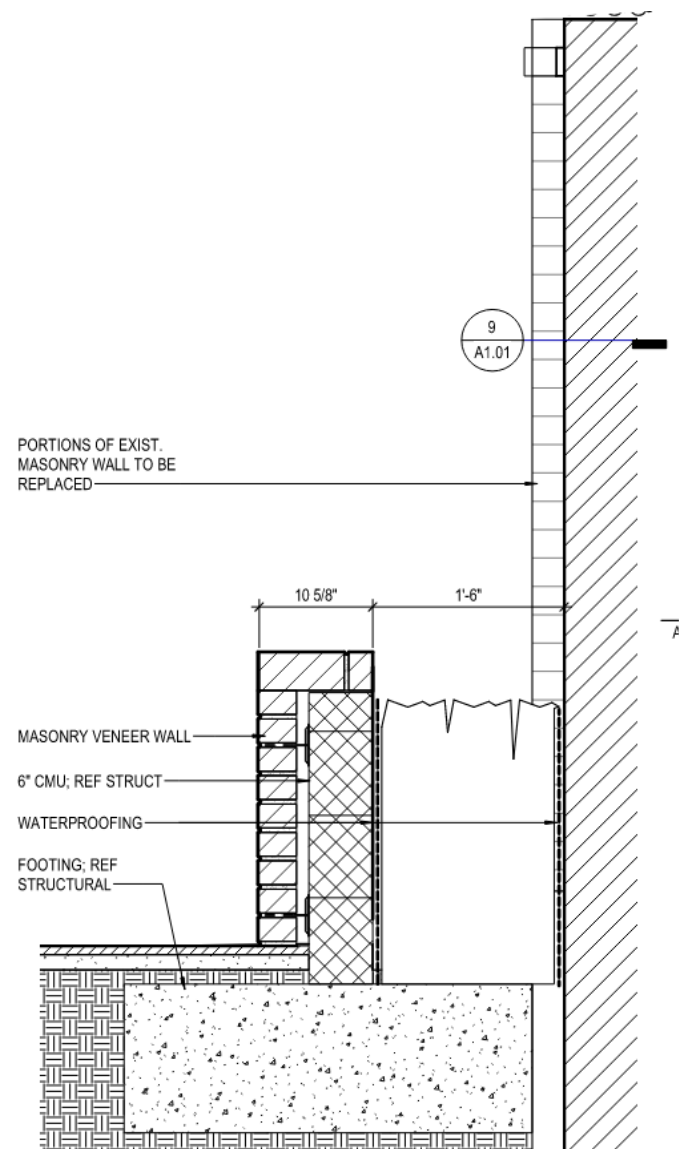
**9** PLAN DTL - PILASTER  
A1.01 SCALE: 1 1/2" = 1'-0"



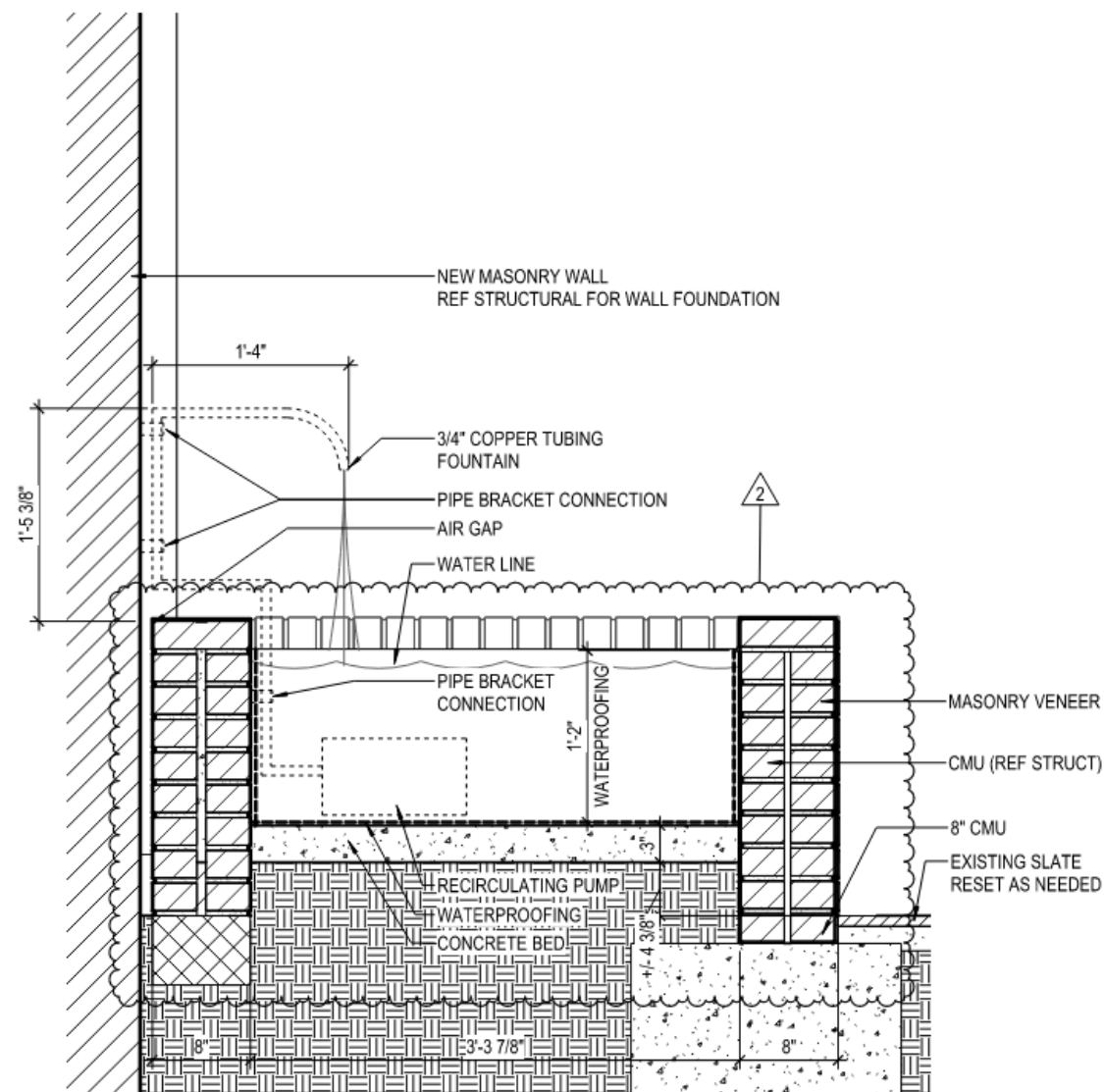
**11** DTL - COURTYARD WALL  
A1.01 SCALE: 3" = 1'-0"



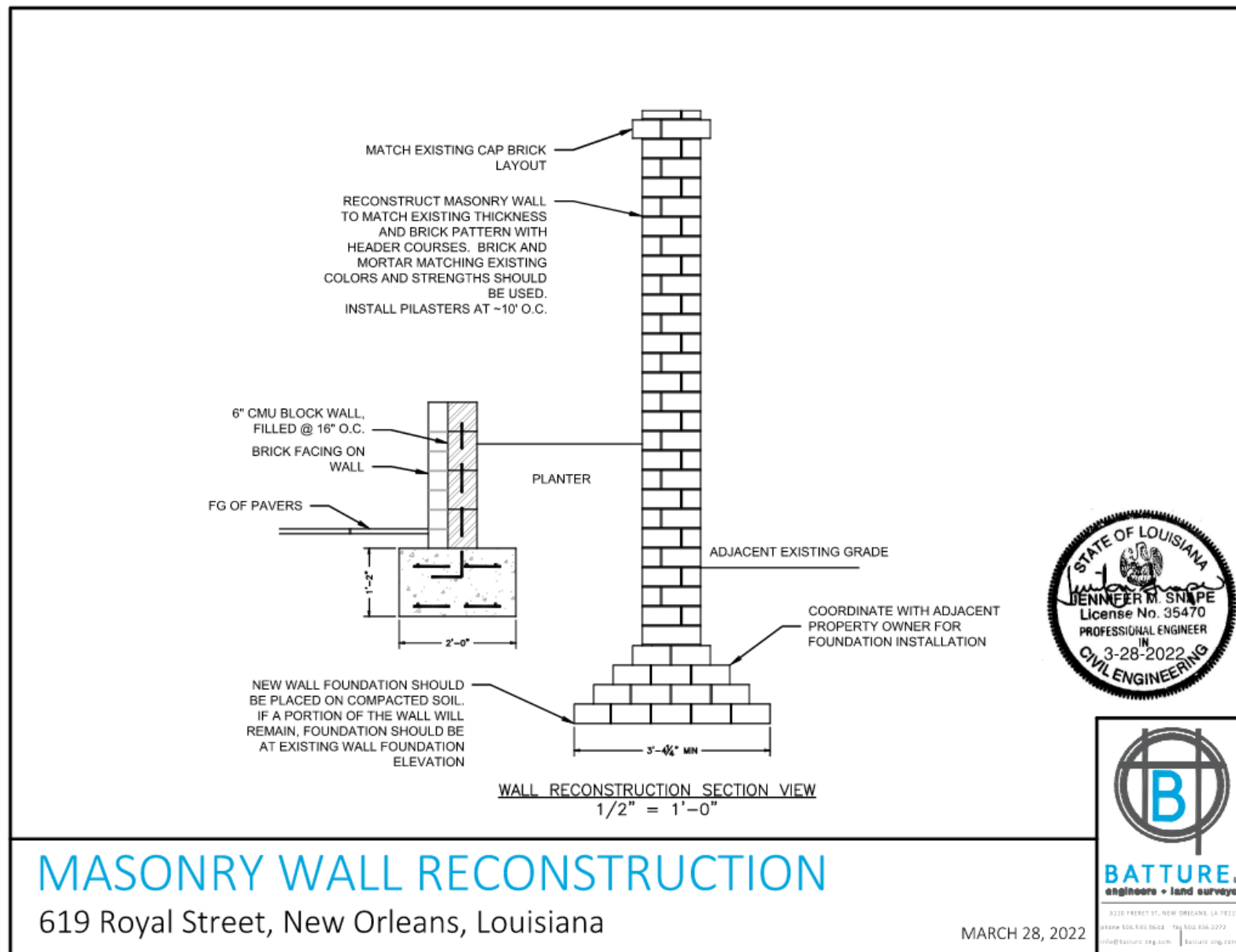
**10** ELEV @ PILASTER BRACING  
A1.01 SCALE: 1" = 1'-0"



**8** SECT@ PILASTER BRACING  
A1.01 SCALE: 1" = 1'-0"



**2** WATER FOUNTAIN  
A1.01 SCALE: 1" = 1'-0"



## MASONRY WALL RECONSTRUCTION

619 Royal Street, New Orleans, Louisiana

MARCH 28, 2022

619 Royal

VCC Architectural Committee

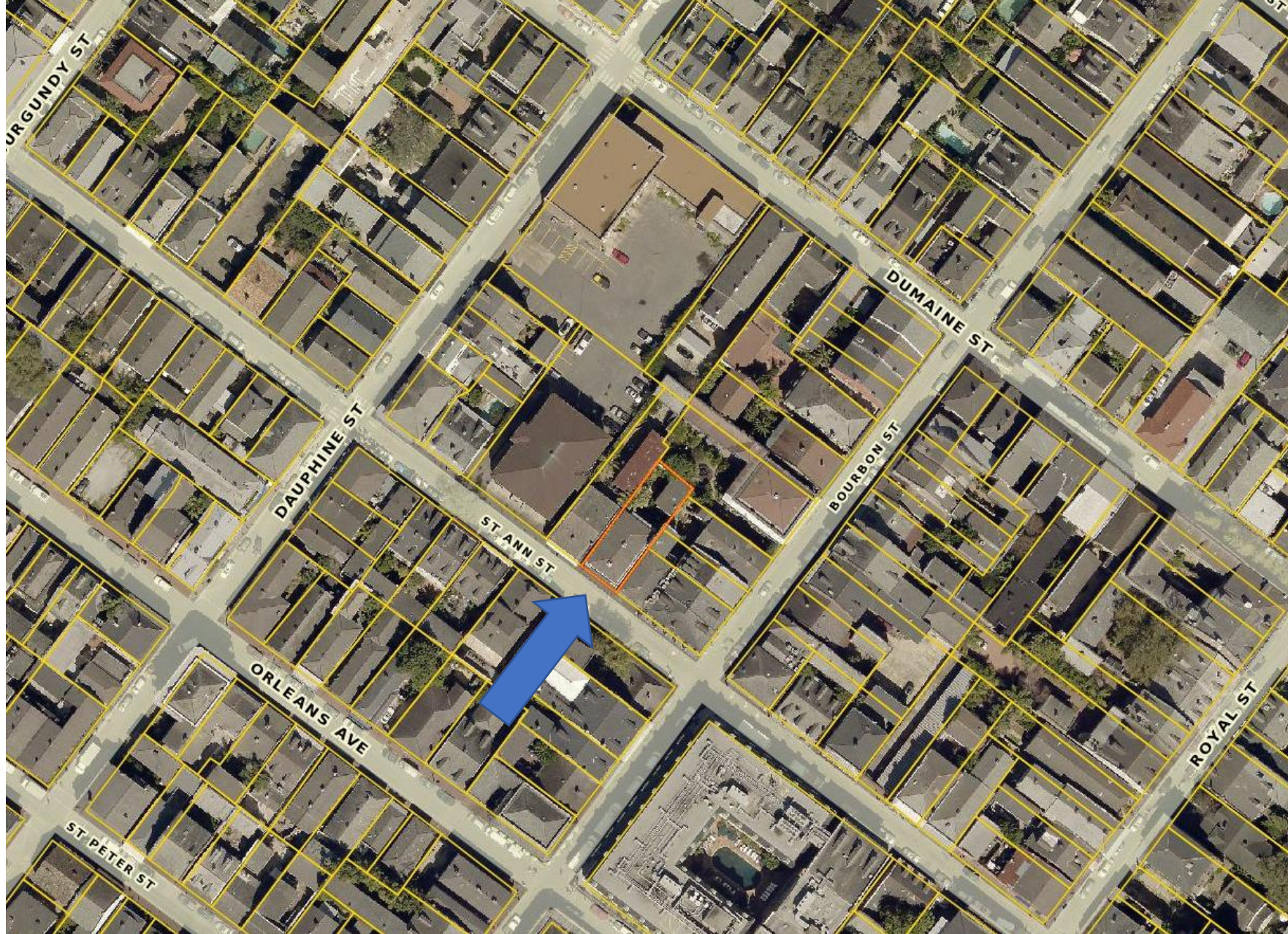
June 16, 2022



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative design, including a central fleur-de-lis and symmetrical scrollwork. The shield is flanked by two vertical bars with diamond-shaped details. The entire shield is enclosed within a circular border. The text "VIEUX CARRE COMMISSION" is written along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

815 St Ann

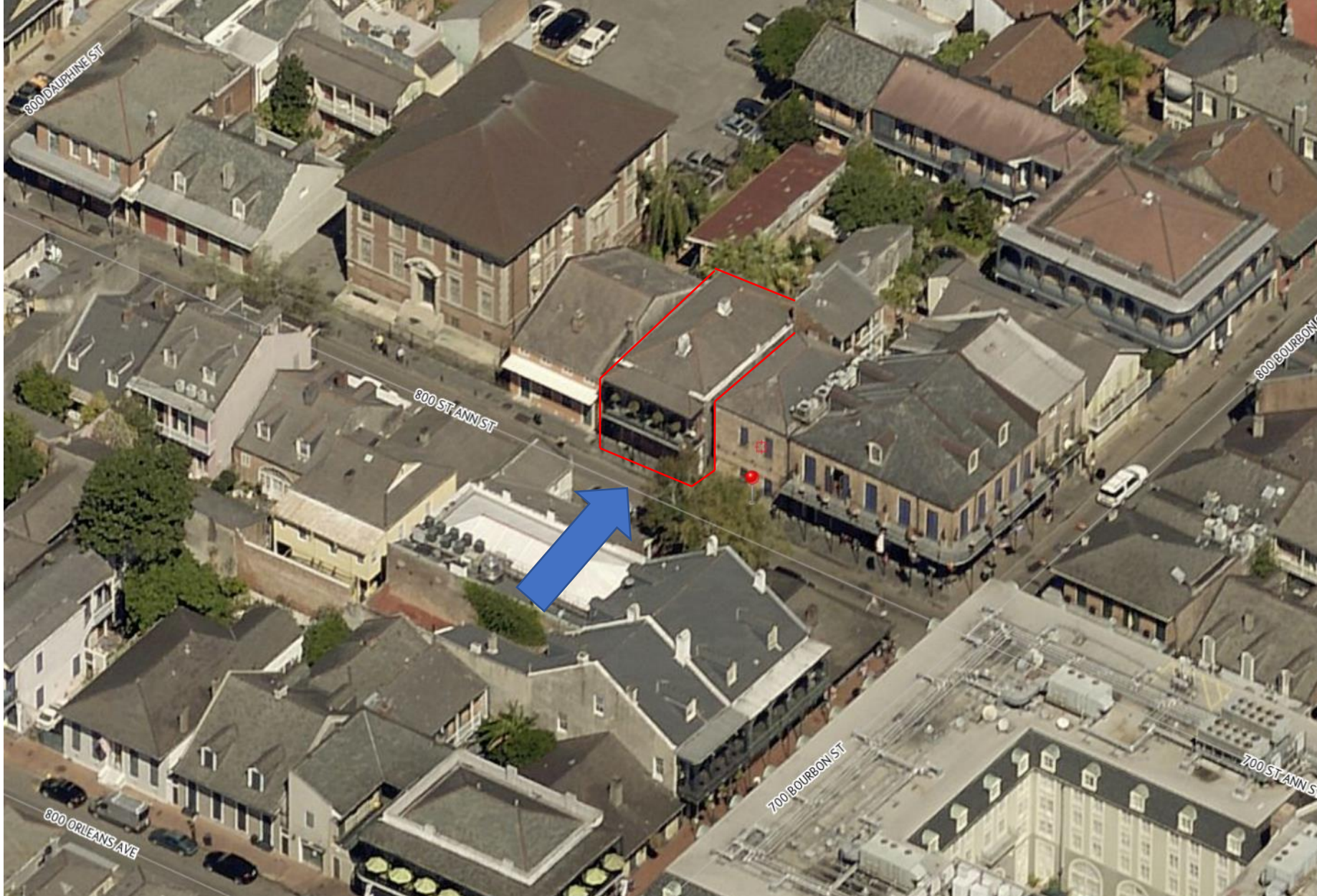




815 St. Ann







815 St. Ann



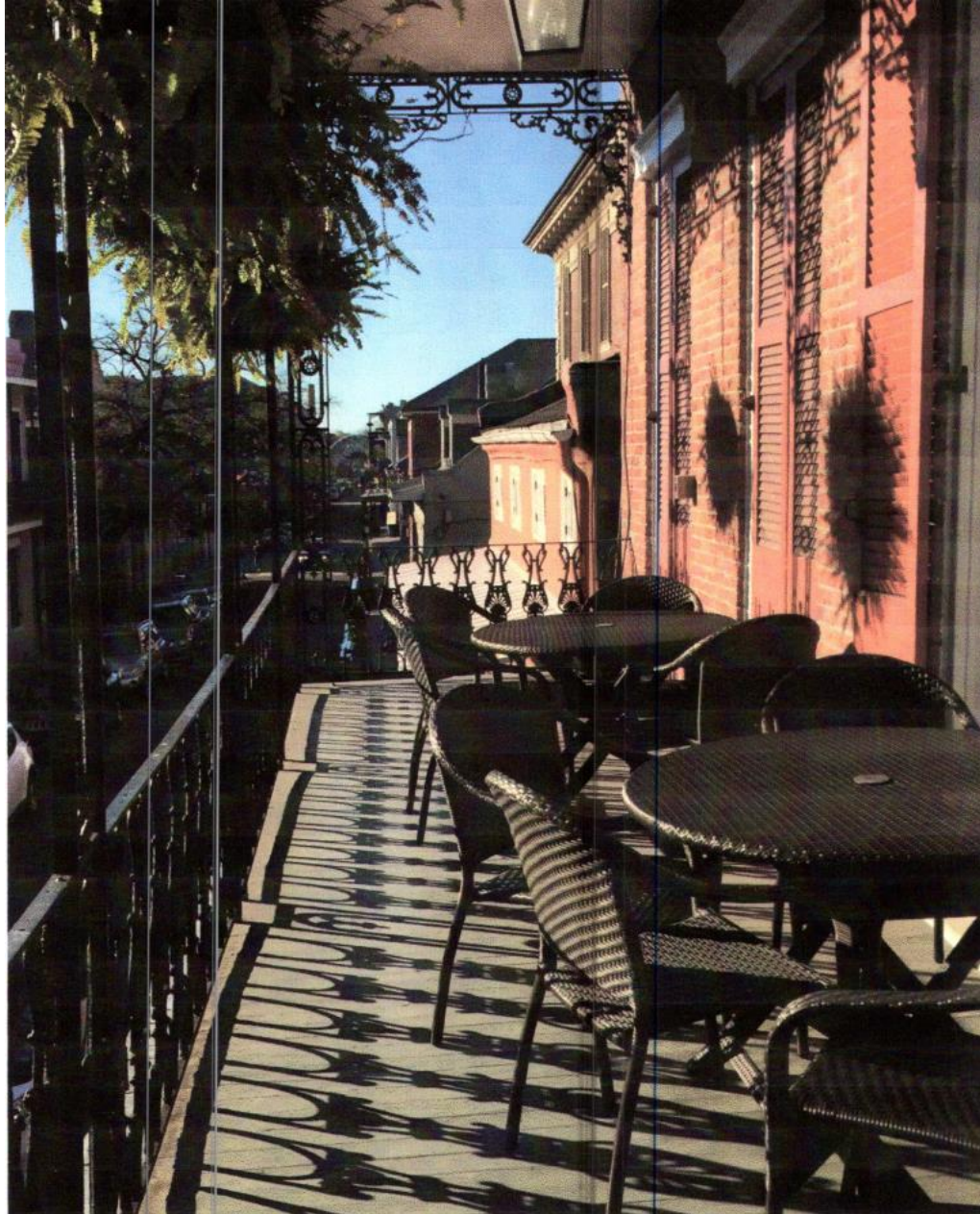


815 St. Ann



815 St. Ann - 1974





815 St. Ann

VCC Architectural Committee

June 16, 2022







815 St. Ann

VCC Architectural Committee

June 16, 2022







815 St. Ann

VCC Architectural Committee

June 16, 2022







06 29 2021

815 St. Ann

VCC Architectural Committee

June 16, 2022





815 St. Ann

VCC Architectural Committee

June 16, 2022







815 St. Ann

VCC Architectural Committee

June 16, 2022







815 St. Ann – 1<sup>st</sup> Floor Interior



815 St. Ann – 1<sup>st</sup> Floor Interior  
VCC Architectural Committee

11 04 2021

June 16, 2022





815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior

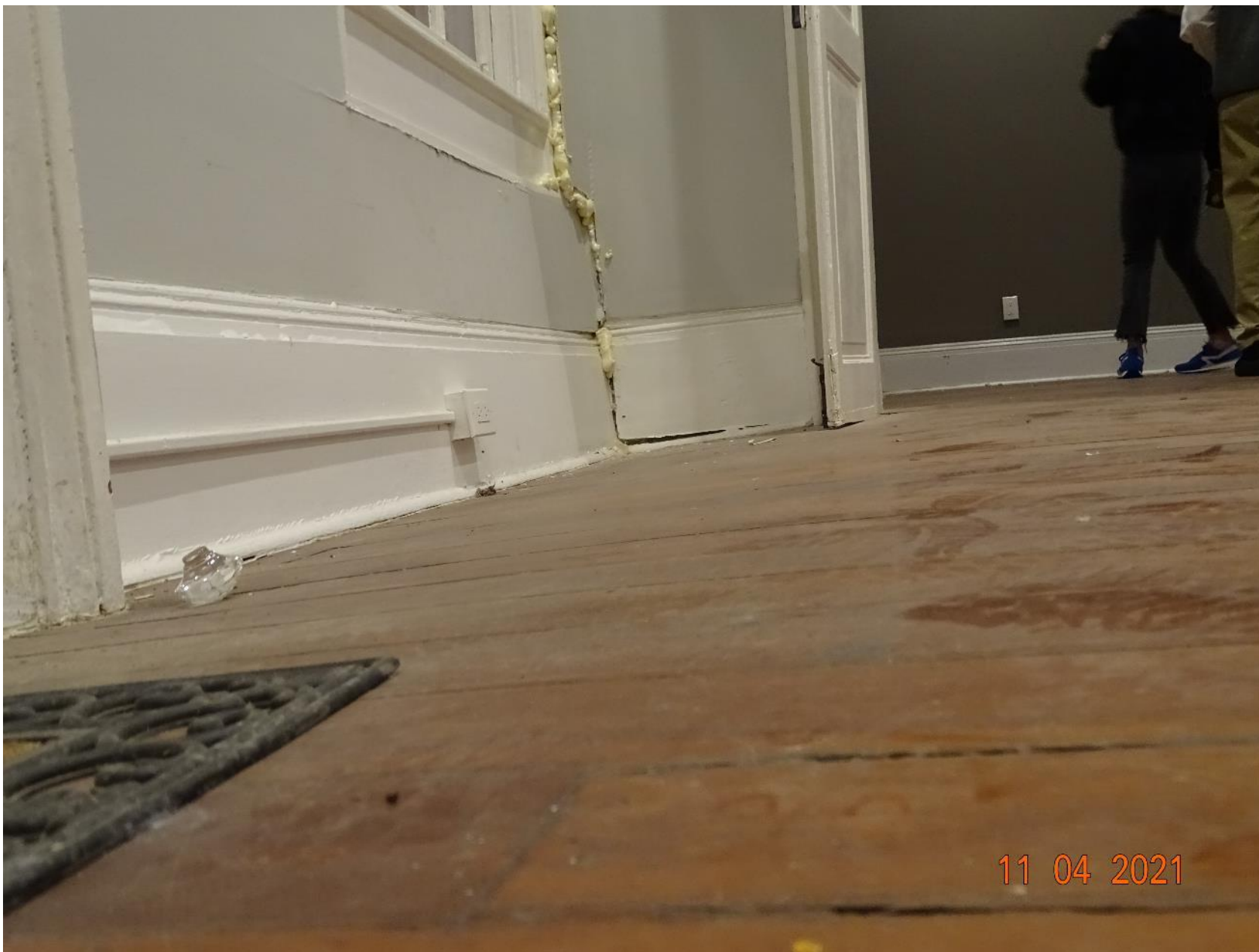
VCC Architectural Committee

June 16, 2022





11 04 2021



815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

June 16, 2022



815 St. Ann – 1<sup>st</sup> Floor Interior  
VCC Architectural Committee



11 04 2021

June 16, 2022







815 St. Ann – 1<sup>st</sup> Floor Interior  
VCC Architectural Committee

11 04 2021

June 16, 2022





815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

June 16, 2022





815 St. Ann – 1<sup>st</sup> Floor Interior

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June 16, 2022







815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

June 16, 2022





815 St. Ann – 1<sup>st</sup> Floor Interior





815 St. Ann – 1<sup>st</sup> Floor Interior  
VCC Architectural Committee

02 17 2022

June 16, 2022





815 St. Ann – 1<sup>st</sup> Floor Interior  
VCC Architectural Committee

02 17 2022

June 16, 2022







815 St. Ann – 1<sup>st</sup> Floor Interior



815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

June 16, 2022







815 St. Ann – 1<sup>st</sup> Floor Interior

VCC Architectural Committee

June 16, 2022



815 St. Ann – 2<sup>nd</sup> Floor Interior  
VCC Architectural Committee



11 04 2021

June 16, 2022







815 St. Ann – 2<sup>nd</sup> Floor Interior

VCC Architectural Committee

June 16, 2022





815 St. Ann – 2<sup>nd</sup> Floor Interior

VCC Architectural Committee

June 16, 2022







815 St. Ann – 2<sup>nd</sup> Floor Interior

815 St. Ann – 2<sup>nd</sup> Floor Exterior  
VCC Architectural Committee



02 17 2022

June 16, 2022







815 St. Ann – 2<sup>nd</sup> Floor Exterior  
VCC Architectural Committee

02 17 2022

June 16, 2022







815 St. Ann – 2<sup>nd</sup> Floor Exterior





815 St. Ann – 2<sup>nd</sup> Floor Exterior  
VCC Architectural Committee

June 16, 2022







815 St. Ann – 2<sup>nd</sup> Floor Exterior

VCC Architectural Committee

June 16, 2022







815 St. Ann

VCC Architectural Committee

June 16, 2022







815 St. Ann

VCC Architectural Committee

04 18 2022

June 16, 2022

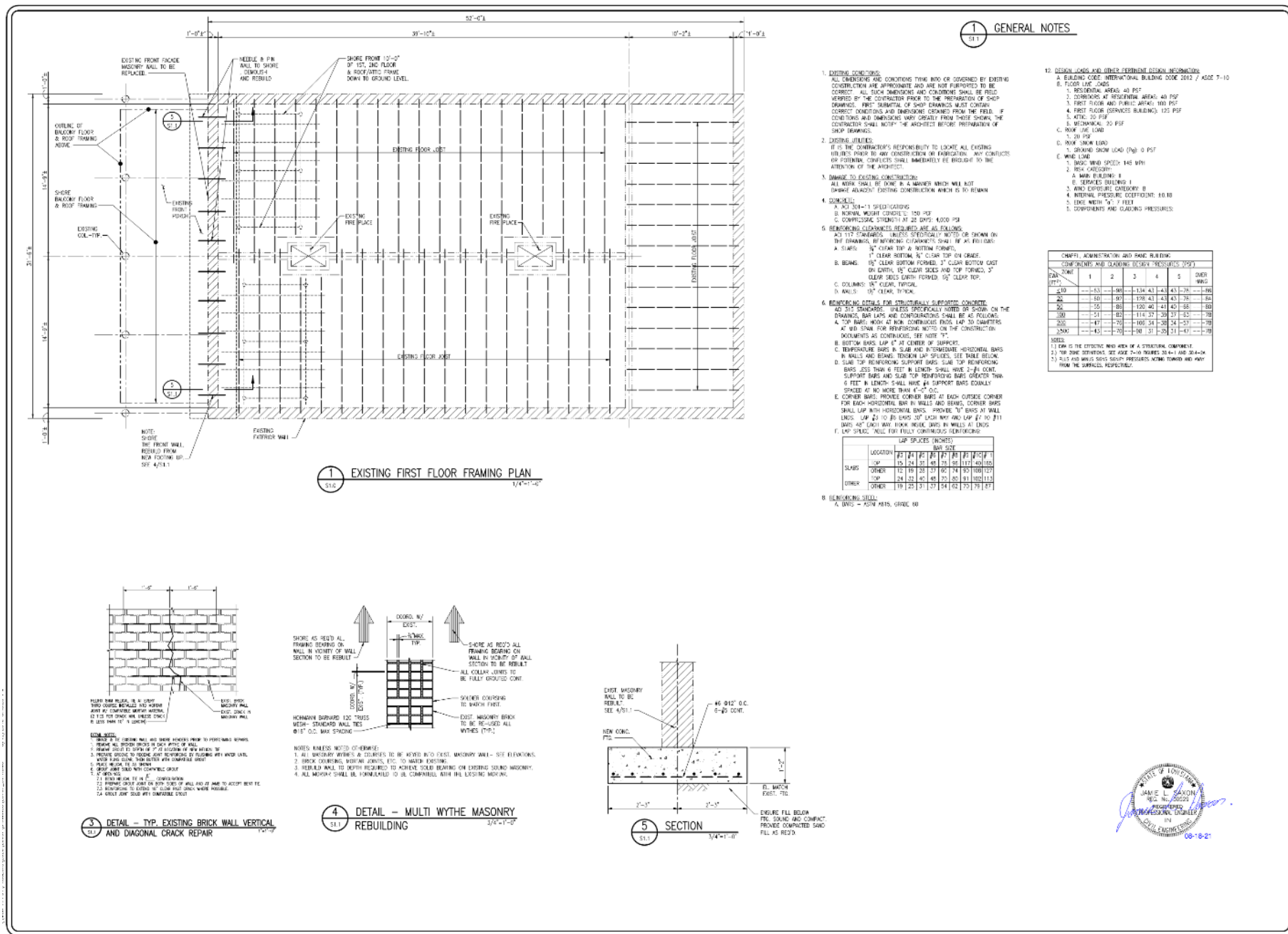




815 St. Ann

VCC Architectural Committee

June 16, 2022



REVISIONS

NO.	DATE	BY

BY

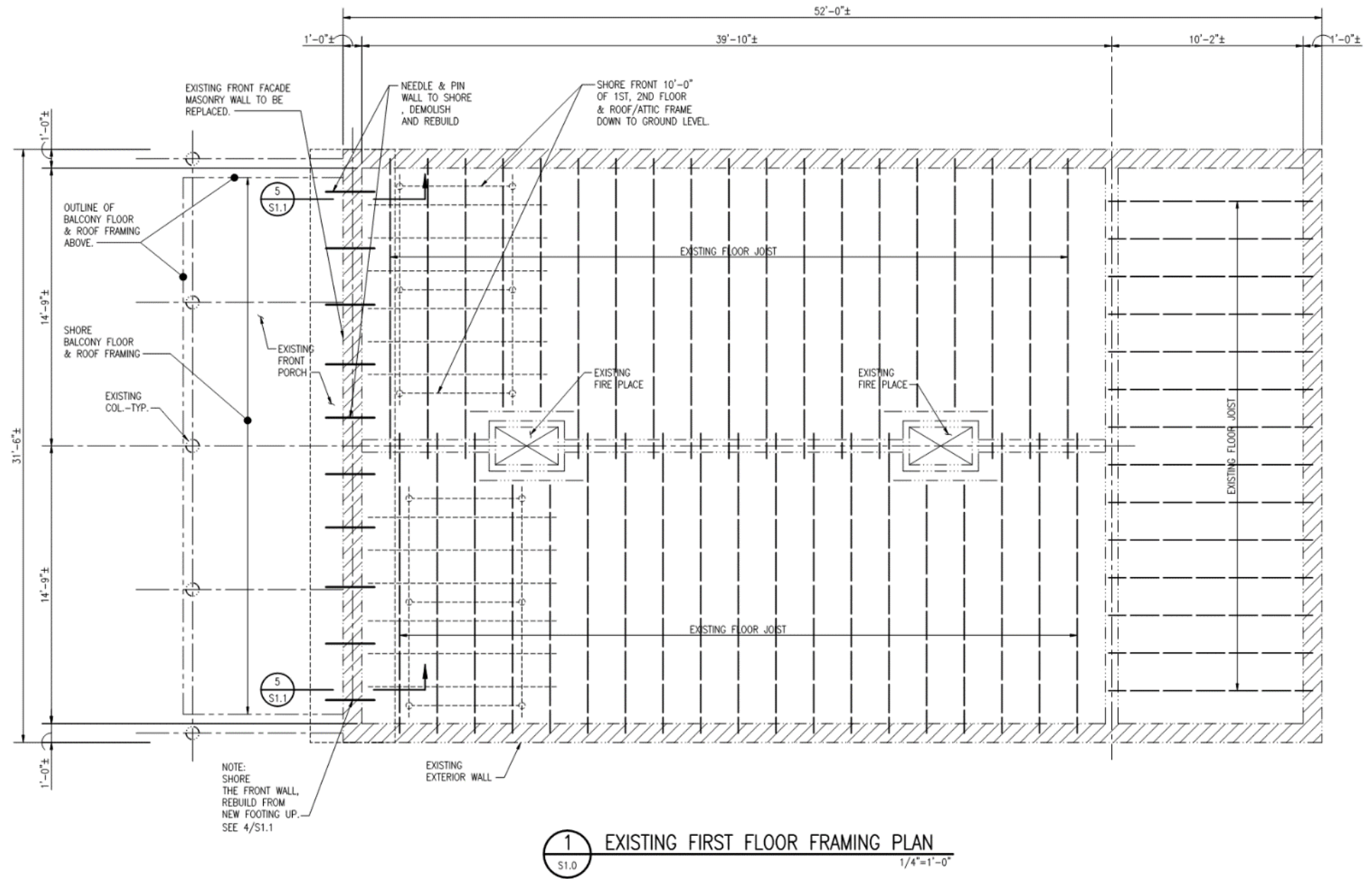
MORPHY Consulting Engineers  
336 N. NORTON C. FRENCH PKWY.  
NEW ORLEANS, LOUISIANA 70119  
PHONE: (504) 488-1317  
FAX: (504) 488-1824  
WWW.MORPHY-ENR.COM

815 ST ANN ST  
MASONRY WALL REPAIRS  
NEW ORLEANS, LA 70130

MAKOFSKY  
INCORPORATED

DRAWN: JLS  
CHECKED: JLS  
DATE: 06-16-22  
ISSUE: 1  
SCALE: AS SHOWN  
JOB NO.: 20167  
SHEET: S1.1  
1 of 3

ARRE COMMISSION  
ESTABLISHED 1936



815 St. Ann

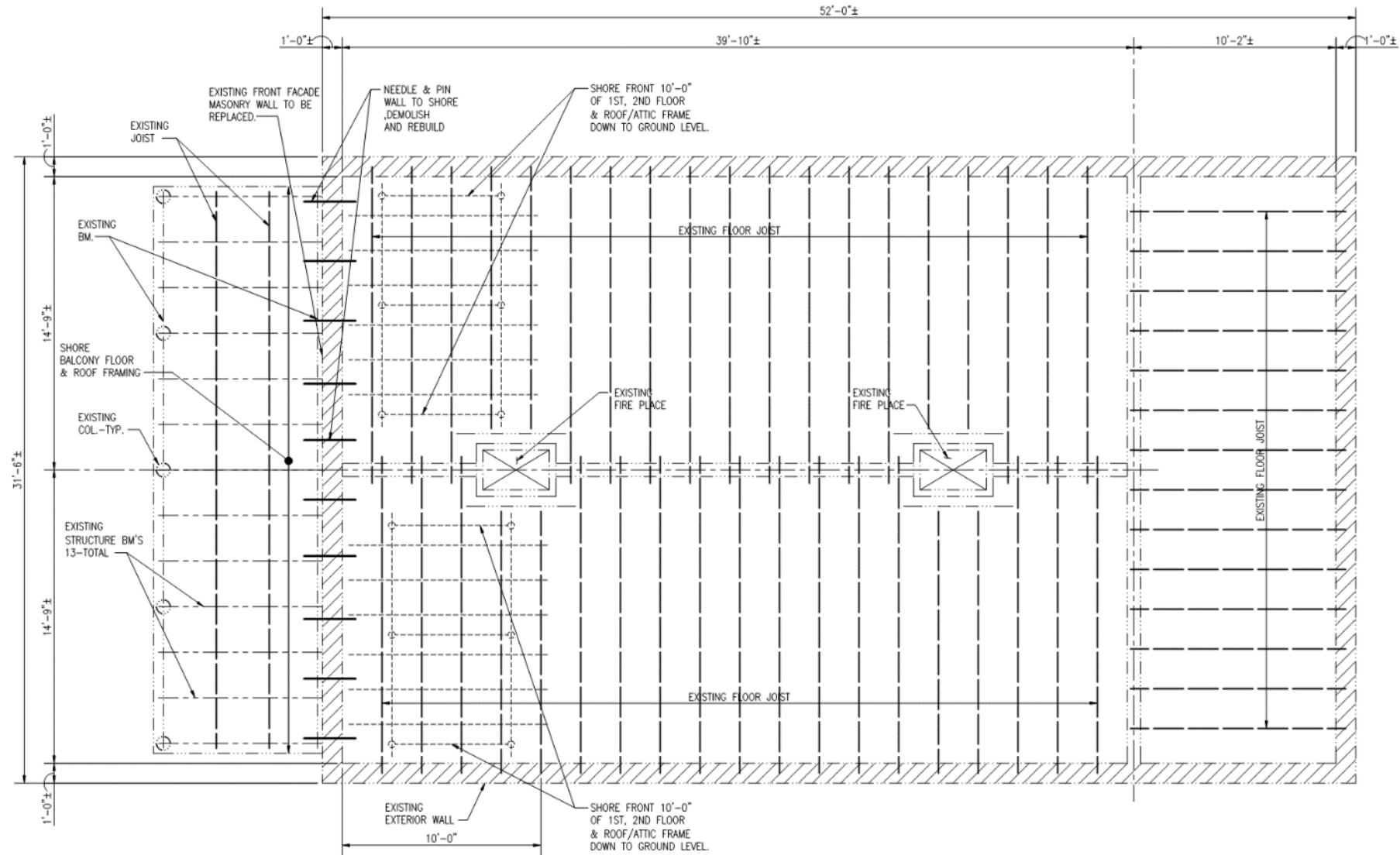
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June 16, 2022









1 EXISTING SECOND FLOOR FRAMING PLAN  
S1.2 1/4"=1'-0"

815 St. Ann

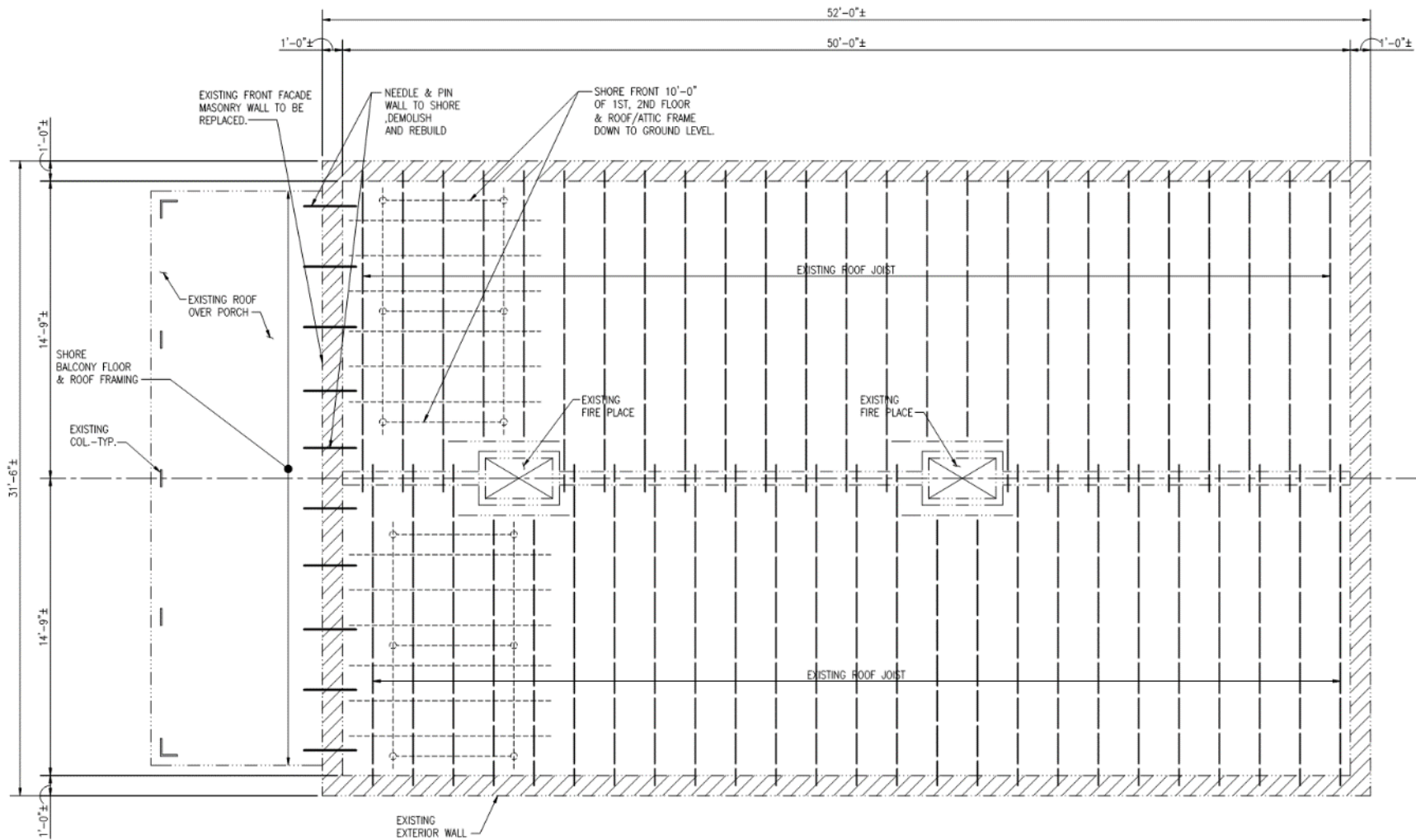
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June 16, 2022









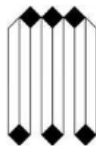
815 St. Ann

VCC Architectural Committee

June 16, 2022







**MORPHY, MAKOFSKY, INC.**  
CONSULTING ENGINEERS  
336 N. Norman C. Francis Parkway  
New Orleans, LA 70119  
P:504/488-1317 F:504/488-0924  
www.mmi-eng.com

Jamie L. Saxon  
Jonathan A. Sofranko  
H. Stephan Bernick

September 24, 2021

John Williams  
Williams Architects  
824 Baronne Street  
New Orleans, LA 70113

RE: 815 St Ann Street  
New Orleans, La.

Dear Mr. Williams,

We are writing this letter to explain that the front façade wall will need to be rebuilt. The existing building is two stories tall with wood framing at the 1st, 2nd and roof levels. The exterior walls are multi-wythe, load bearing, clay masonry brick walls. The front of the building abuts onto St. Ann Street. The floor joists appear to span in the direction parallel with the street.

At the time of our inspection, Tuesday, October 27, 2020, we could see displacement of the front façade wall and cracking in the masonry wall. The lower section of the wall tilts outwards, and the masonry towards the Dauphine Street side has cracked and begun to separate. The front wall has actually buckled which occurred when the footing under the front wall was undermined and likely rotated. Above the second floor we can also see significant horizontal movement across the wall resulting in large cracks above and adjacent to the windows. In addition, the front wall is separating from the side and central walls.

In consideration that the lower half of the wall needs to be removed to allow for the total replacement of the footing, and theoretically, significant sections removed to allow for needle beams to be installed to support the upper portions and finally portions of the upper wall need to be removed and rebuilt to restore the integrity; the portion that would remain is insignificant and would be very difficult to maintain during all the renovations. In view of this extent of work, the entire front façade will need to be removed and rebuilt. This also provides the safest means of restoration of the front façade when you consider that this wall is on the property line and close to a very busy part of the French Quarter.

Morphy Makofsky, Inc.

Yours truly

  
Jamie Saxon, P.E.



815 St. Ann

VCC Architectural Committee

June 16, 2022



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Morphy Makofsky, Inc.

815 St. Ann

VCC Architectural Committee



June 16, 2022







511 Bourbon





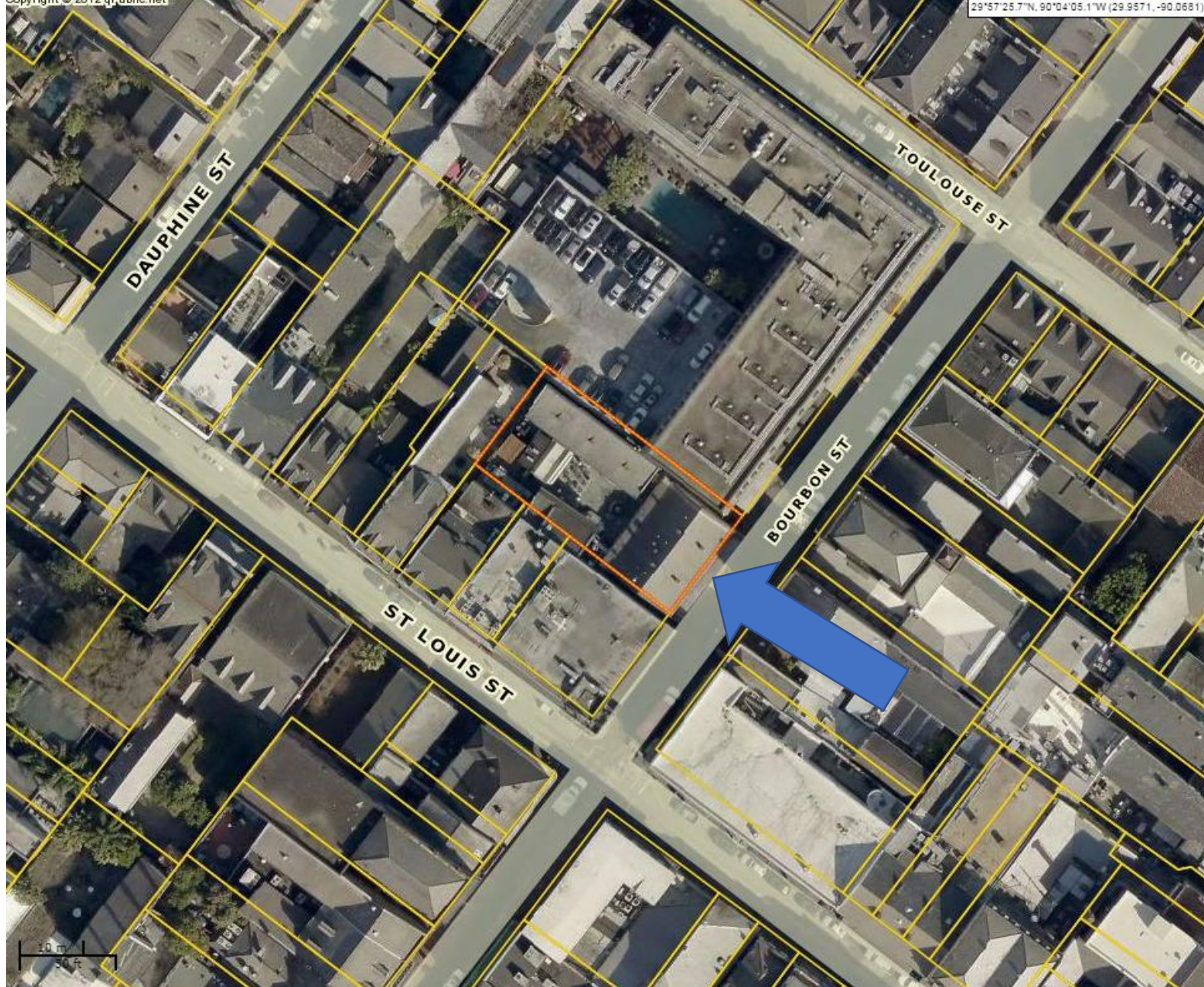
511 Bourbon

VCC Architectural Committee

June 16, 2022







511 Bourbon

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June 16, 2022







511 Bourbon, ca. 1900

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June 16, 2022







511 Bourbon, 1964  
VCC Architectural Committee

June 16, 2022





511 Bourbon, 1975

VCC Architectural Committee

June 16, 2022







511 Bourbon, 1980

VCC Architectural Committee

June 16, 2022







511 Bourbon, 1987

VCC Architectural Committee

June 16, 2022







511 Bourbon

VCC Architectural Committee

June 16, 2022





511 Bourbon

VCC Architectural Committee

June 16, 2022







511 Bourbon

VCC Architectural Committee

June 16, 2022





511 Bourbon

VCC Architectural Committee

June 16, 2022







511 Bourbon

VCC Architectural Committee

June 16, 2022





511 Bourbon

VCC Architectural Committee

02 11 2022

June 16, 2022







511 Bourbon

VCC Architectural Committee

June 16, 2022





511 Bourbon

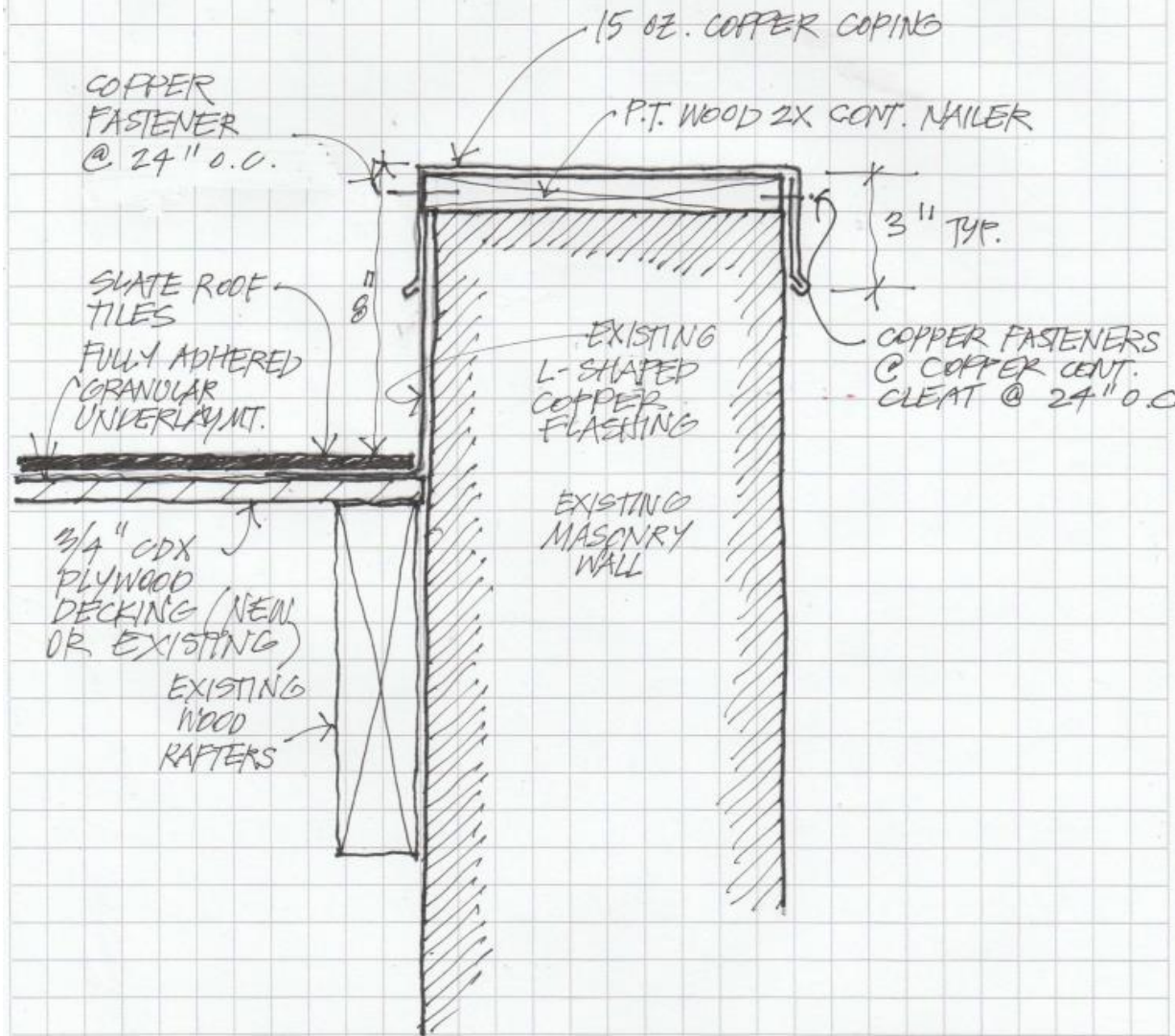
VCC Architectural Committee

June 16, 2022





RAZZOO: 511 BOURBON  
LKH #22/5 3 MAR '22



511 Bourbon – Proposed Detail

VCC Architectural Committee

**CAP FLASHING DETAIL**

SO: 3" = 1'

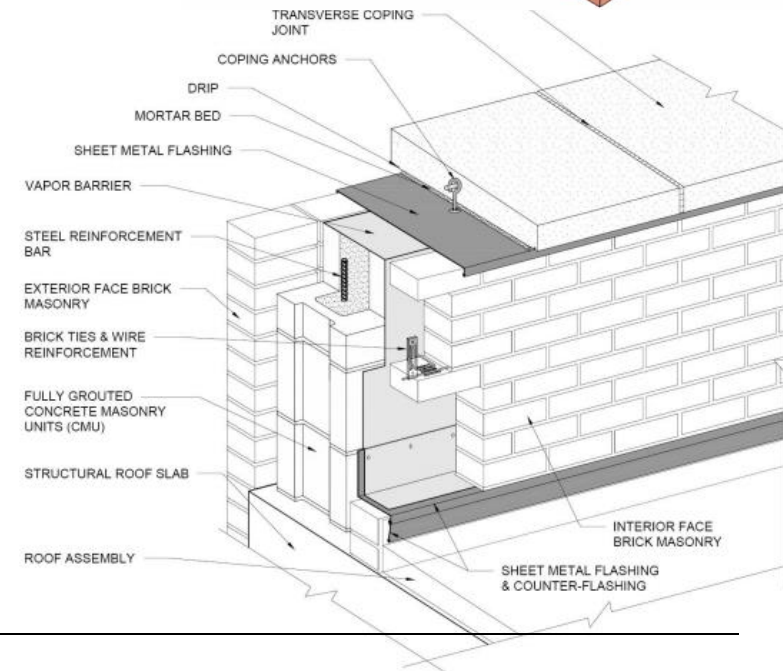
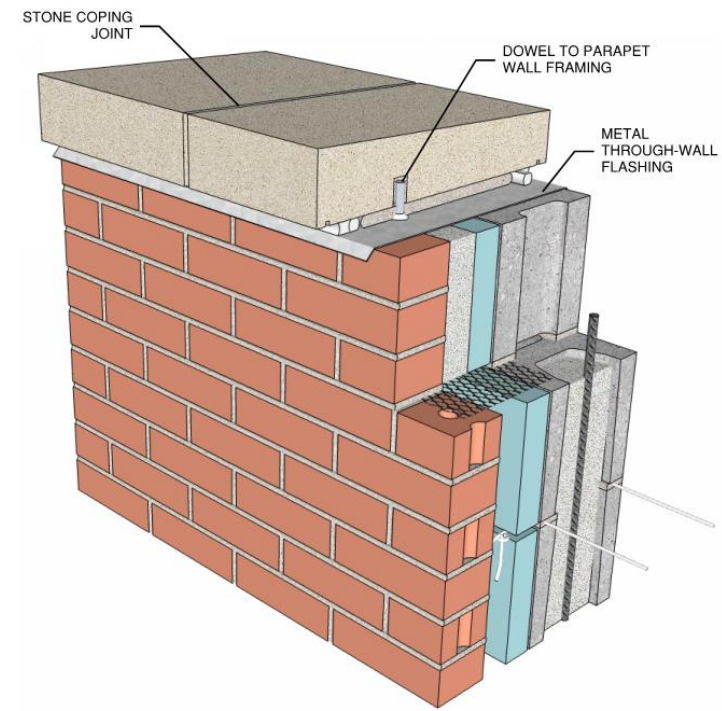
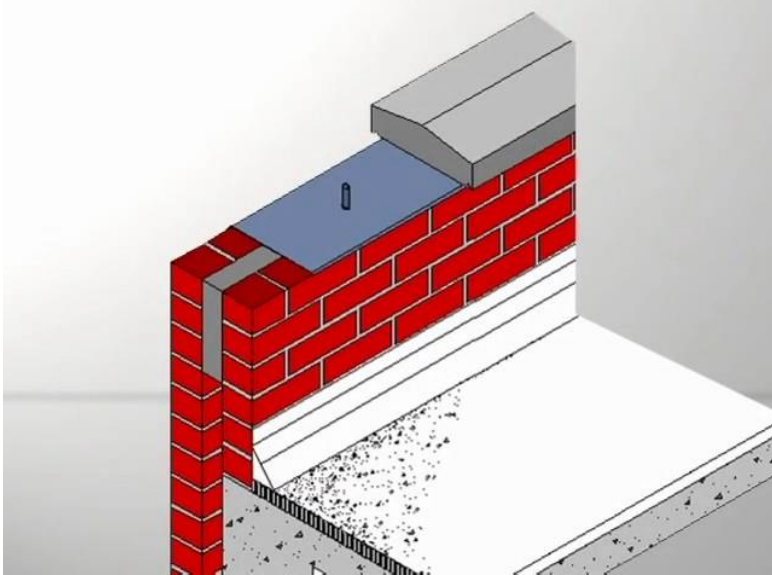
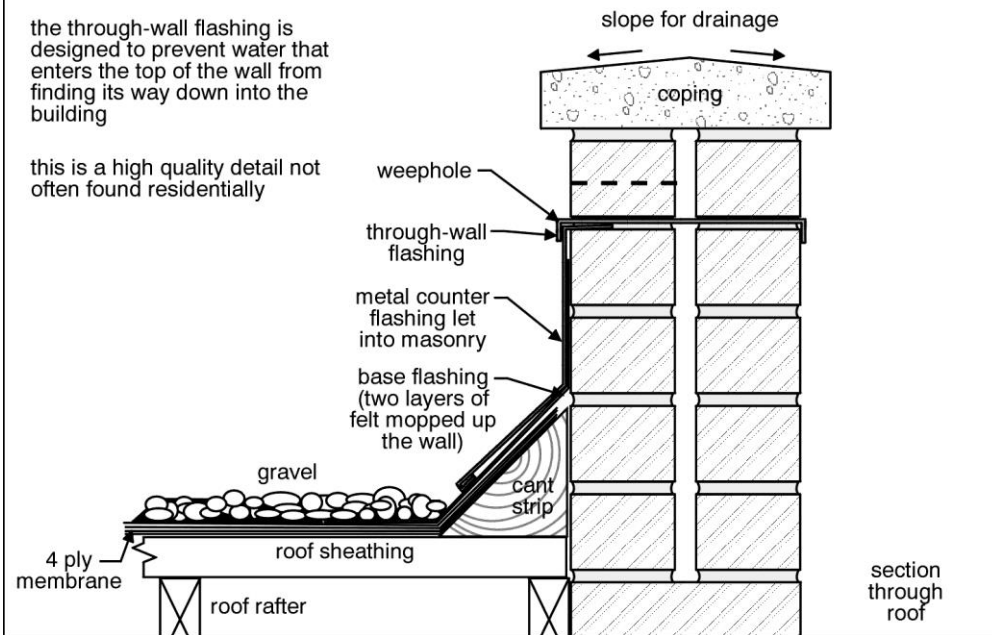
June 16, 2022



## Through-wall flashings

the through-wall flashing is designed to prevent water that enters the top of the wall from finding its way down into the building

this is a high quality detail not often found residentially



511 Bourbon – Found Example Alternative Details

VCC Architectural Committee

JUNE 16, 2022

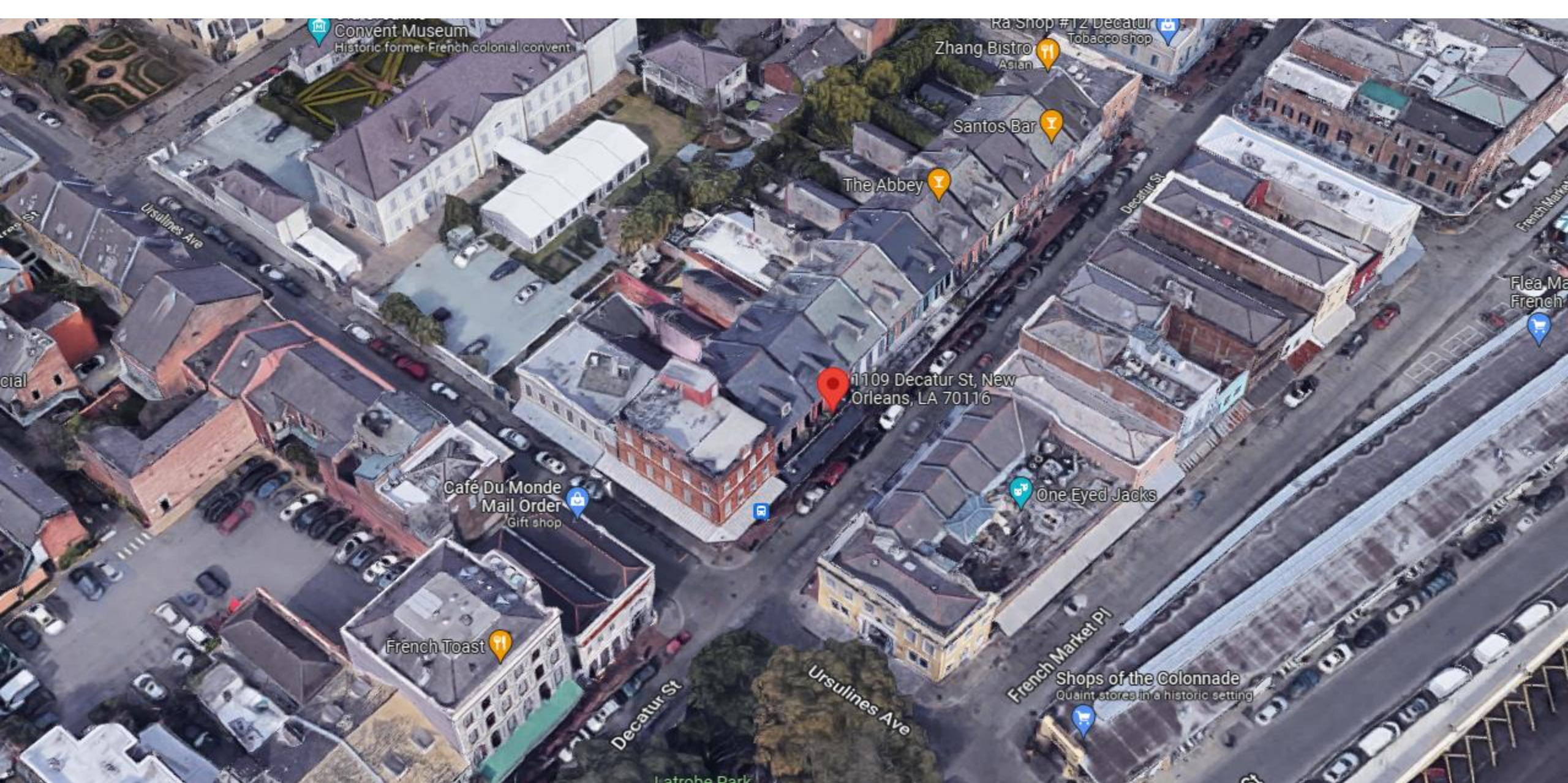




The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork design. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" along the bottom arc.

1109 Decatur





1109 Decatur

VCC Architectural Committee

June 16, 2022







1109 Decatur

VCC Architectural Committee

June 16, 2022





1109 Decatur

VCC Architectural Committee

June 16, 2022







1109 Decatur

VCC Architectural Committee

June 16, 2022





1109 Decatur

VCC Architectural Committee

June 16, 2022







1109 Decatur

VCC Architectural Committee

05 14 2021

June 16, 2022





1109 Decatur

VCC Architectural Committee

05 14 2021

June 16, 2022





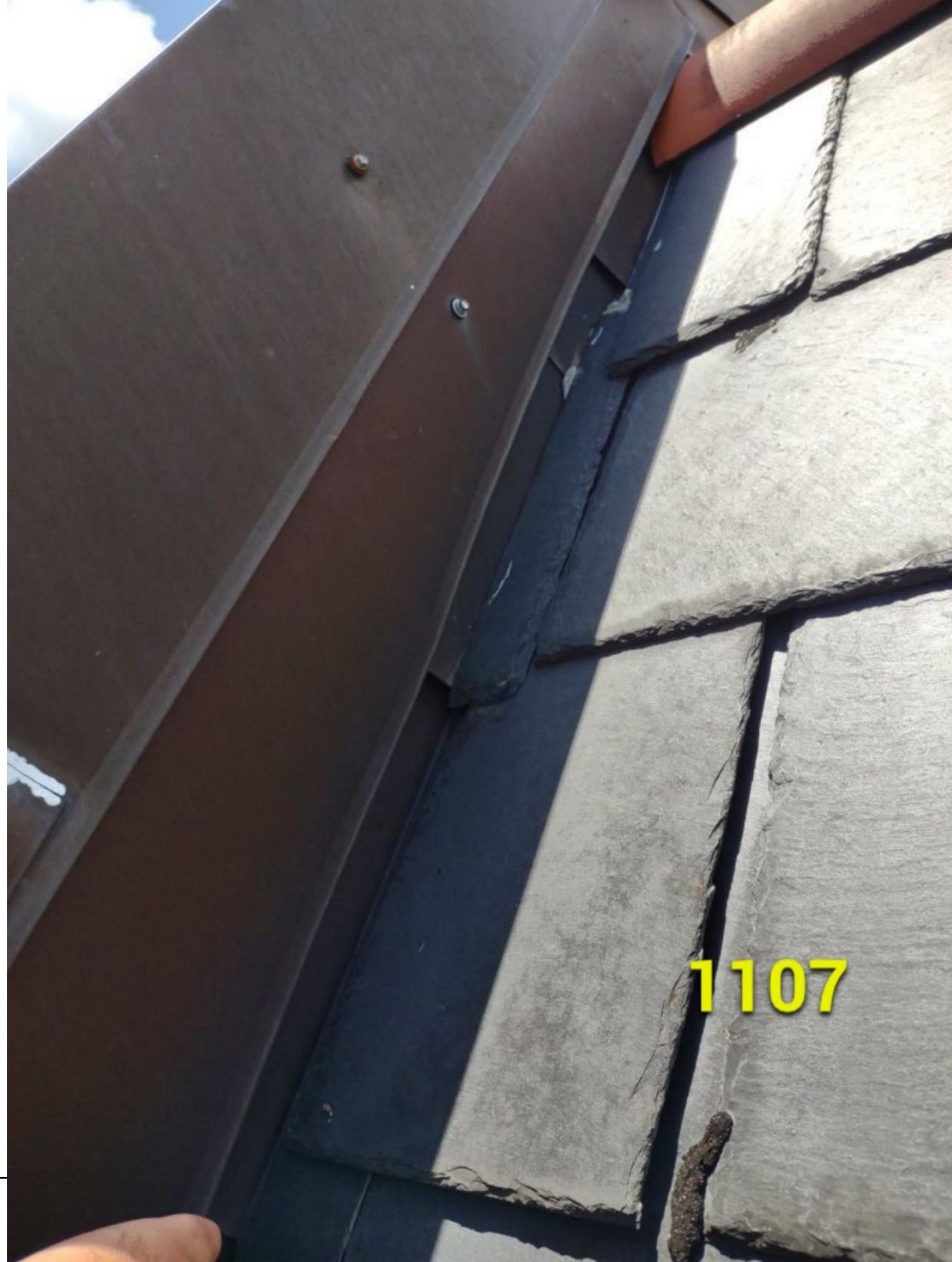


1109 Decatur – Rear Roof Slope

VCC Architectural Committee

June 16, 2022





1109 Decatur – Photos From Applicant  
VCC Architectural Committee

June 16, 2022









1109 Decatur – Photos From Applicant  
VCC Architectural Committee

June 16, 2022







1109 Decatur – Photos From Applicant  
VCC Architectural Committee

June 16, 2022





1109 Decatur – Photos From Applicant





**30 feet parapet wall  
front elevation**





1109 Decatur – Photos From Applicant

VCC Architectural Committee

June 16, 2022







1109 Decatur – Photos From Applicant

VCC Architectural Committee

June 16, 2022









1109 Decatur – Photos From Applicant  
VCC Architectural Committee

June 16, 2022



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scroll. The shield is flanked by two vertical bars with diamond-shaped details. The entire shield is set within a circular border. The text "VIEUX CARRE COMMISSION" is written along the top arc of the border, and "ESTABLISHED 1936" is written along the bottom arc.

1107 Decatur





1107 Decatur

VCC Architectural Committee

June 16, 2022







1107 Decatur

VCC Architectural Committee

June 16, 2022







1107 Decatur

VCC Architectural Committee

June 16, 2022







1107 Decatur

VCC Architectural Committee

June 16, 2022

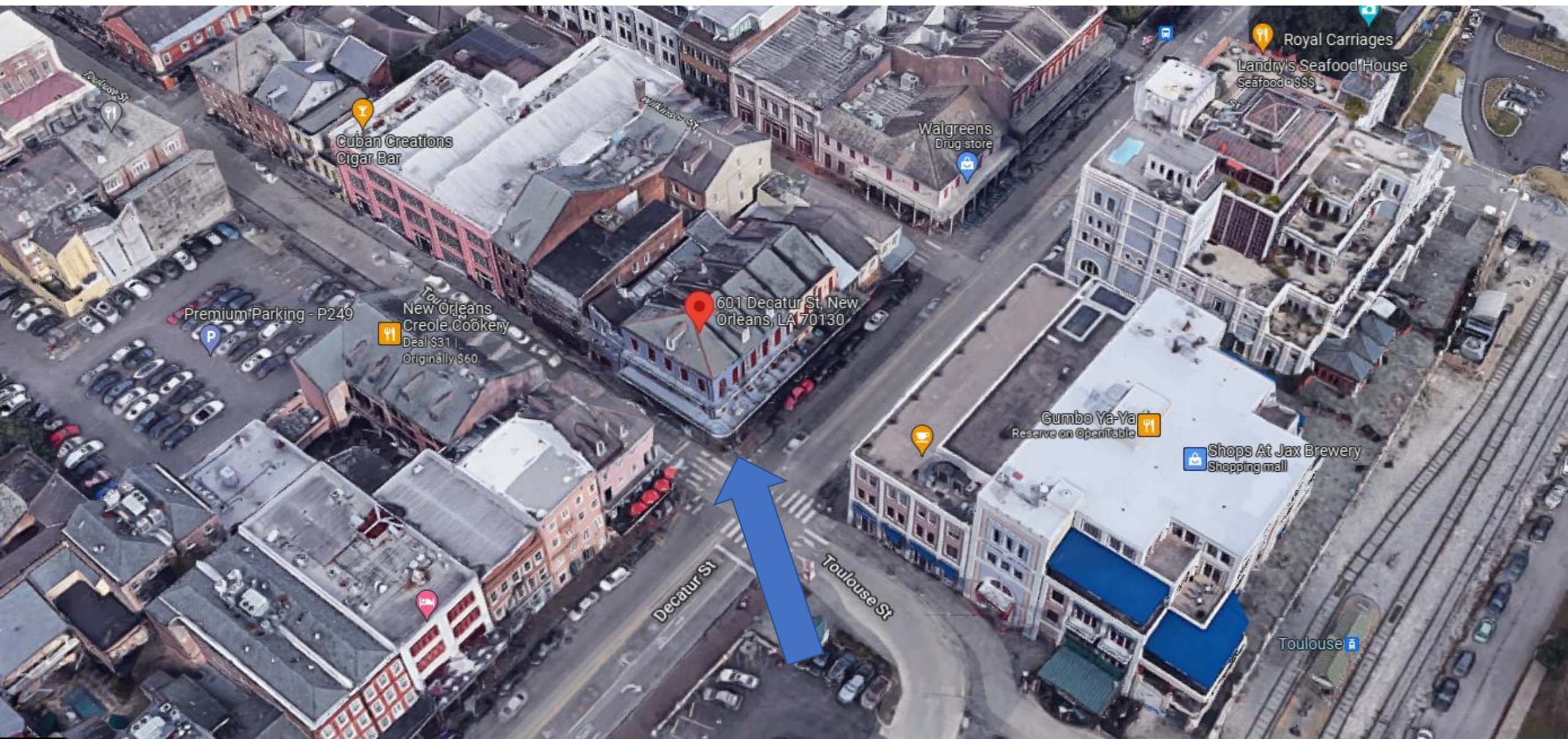




The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and vertical bars. The shield is flanked by decorative scrollwork. The words "VIEUX CARRE COMMISSION" are inscribed along the top arc, and "ESTABLISHED 1936" along the bottom arc.

601 Decatur





601 Decatur

VCC Architectural Committee

June 16, 2022





601 Decatur - 1939

VCC Architectural Committee



June 16, 2022





601 Decatur

VCC Architectural Committee

June 16, 2022







601 Decatur

VCC Architectural Committee

June 16, 2022







601 Decatur

VCC Architectural Committee

June 16, 2022







1 VICINITY MAP  
NOT TO SCALE

# 601 DECATUR ST MALACHIAS NEW ORLEANS LA 70116

03 17 2022

VCC SET

PRELIMINARY  
NOT FOR CONSTRUCTION  
CONSTRUCTION

DESIGN  
COLLABORATIVE, LLC.

ARCHITECTURE+  
306 PINE ST  
NEW ORLEANS, LA 70118  
PH: 504 - 908 - 6364  
FAX: 504 - 314 - 8263

## DESCRIPTION OF WORK:

THIS REQUEST IS FOR APPROVAL BY THE VIEUX CARRE COMMISSION FOR THE FOLLOWING:

1. TO ADD A 9" GUARD RAIL ON TOP OF THE EXISTING 33" GUARD RAIL ALONG THE ENTIRE EXISTING GALLERY AS SHOWN IN THE PROPOSED DOCUMENTS. TWO DIFFERENT SCHEMES ARE PRESENTED - SEE SHT A02.
2. ON BOTH THE GALLERY AND BALCONY, REMOVE EXISTING ROTTED WOOD DECK BOARDS AND REPLACE WITH COMPOSITE DECK BOARDS AS SHOWN IN THE PROPOSED DOCUMENTS

## BUILDING INFORMATION

**ZONING:** VIEUX CARRE COMMERCIAL VCC-2  
**OCCUPANCY:** MIXED-USE  
**CONSTRUCTION TYPE:** TYPE V  
**SITE INFORMATION:** S026 LOT A7 17X71; LOT B P16 16X74; LOT 6 16X74  
**APPLICABLE CODES:** INTERNATIONAL BUILDING CODE 2015  
LIFE SAFETY CODE 2015  
INTERNATIONAL MECHANICAL CODE 2015  
NATIONAL ELECTRICAL CODE 2014

## GENERAL NOTES:

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE FOLLOWING DOCUMENTS COMPLY WITH ALL APPLICABLE SECTIONS OF THE REQUIRED BUILDING CODES BY THE CITY OF NEW ORLEANS

THESE PLANS WERE DONE UNDER THE DIRECT SUPERVISION OF THE ARCHITECT. THIS OFFICE IS ADMINISTERING THE CONSTRUCTION OF THIS PROJECT. THE ARCHITECT TAKES FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

UNLESS OTHERWISE NOTED, ALL EXTERIOR WOOD & TRIM TO BE TREATED, DRIED & BACK PRIMED (ALL EDGES) PRIOR TO INSTALLATION; FINISH PAINT TO BE 2 COATS BENJAMIN MOORE AURA OR EQUAL.

ALL METAL WORK TO BE PRIMED (ALL EDGES) PRIOR TO INSTALLATION; FINISH PAINT TO BE 2 COATS; PRIMER & FINISH PAINT TO BE METAL MASTER BY SUMNER COATINGS OR EQUAL.

## INDEX OF DRAWINGS

- A01 PHOTOS
- A02 RAILING ELEVATIONS- SCHEMES A & B
- A03 EXISTING DETAIL GALLERY
- A04 PROPOSED DETAIL GALLERY SCHEME A
- A05 PROPOSED DETAIL GALLERY SCHEME B
- A06 EXISTING/PROPOSED DETAIL BALCONY

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**1 EXISTING BUILDING** CORNER OF DECATUR & TOULOUSE  
SCALE: NTS



**2 EXISTING BUILDING** TOULOUSE ST SIDE  
SCALE: NTS



**3 EXISTING BUILDING /GALLERY** DECATUR ST SIDE  
SCALE: NTS

**DESIGN  
COLLABORATIVE, LLC.**

ARCHITECTURE+  
306 PINE ST  
NEW ORLEANS, LA 70119  
PH: 504 . 908 . 6304  
FAX: 504 . 314 . 8263

**MALACHIAS**  
601 DECATUR ST  
NEW ORLEANS LA 70116

JOB  
**601 DECAT**  
DATE:  
**03-17-2022**  
REVISIONS:

SEAL  
**PRELIMINARY  
NOT FOR CONSTRUCTION**

SHEET  
**A01**

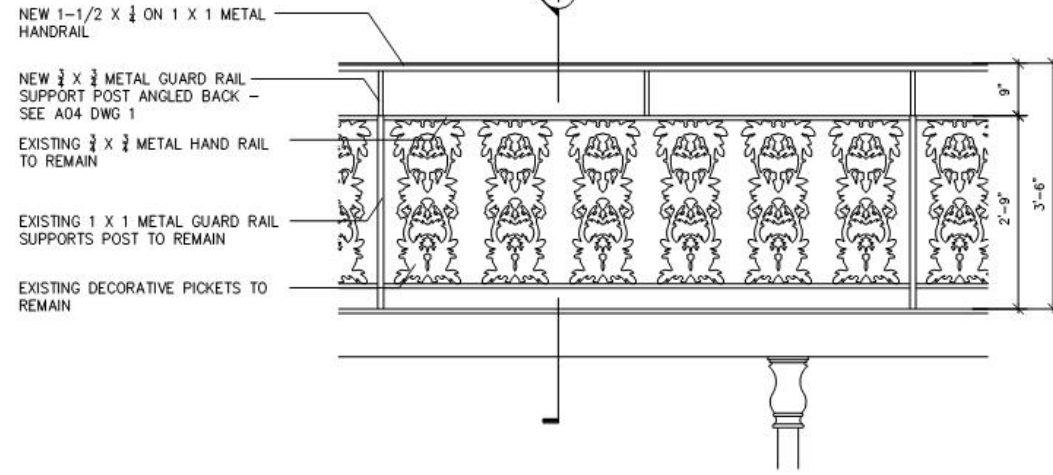
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1 **EXISTING GUARD RAIL**  
NTS

DETAIL PHOTO  
TOULOUSE ST SIDE



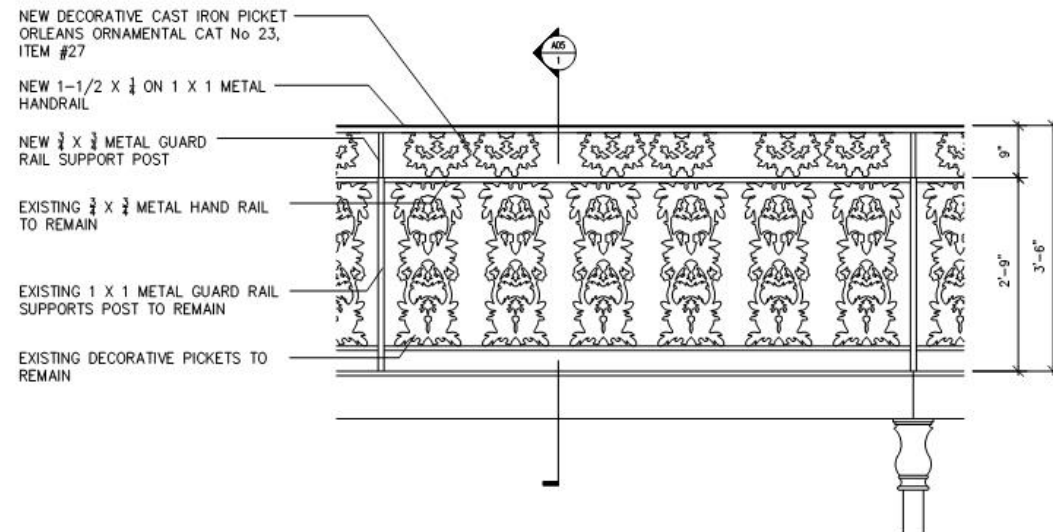
2 **PROPOSED NEW GUARD RAIL SCHEME A**  
SCALE: 1/2" = 1'-0"

ELEVATION  
TYPICAL GUARD RAIL SECTION



3 **EXISTING GUARD RAIL**  
NTS

DETAIL PHOTO  
DECATUR ST SIDE SHOWING NEIGHBOR'S GUARD RAIL



4 **PROPOSED NEW GUARD RAIL SCHEME B**  
SCALE: 1/2" = 1'-0"

ELEVATION  
TYPICAL GUARD RAIL SECTION

601 Decatur

VCC Architectural Committee

June 16, 2022

**DESIGN COLLABORATIVE, LLC**  
ARCHITECTURE+  
306 PINE ST  
NEW ORLEANS, LA 70118  
PH: 504 . 508 . 6384  
FAX: 504 . 314 . 8283

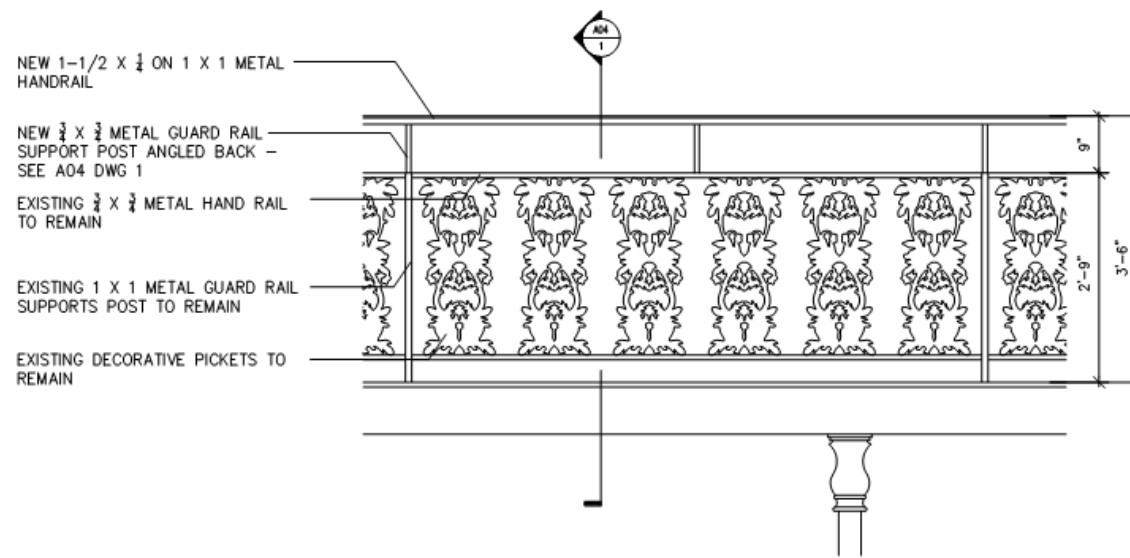
**MALACHIAS**  
601 DECATUR ST  
NEW ORLEANS LA 70116

JOB  
**601 DECAT**  
DATE:  
**03-17-2022**  
REVISIONS:

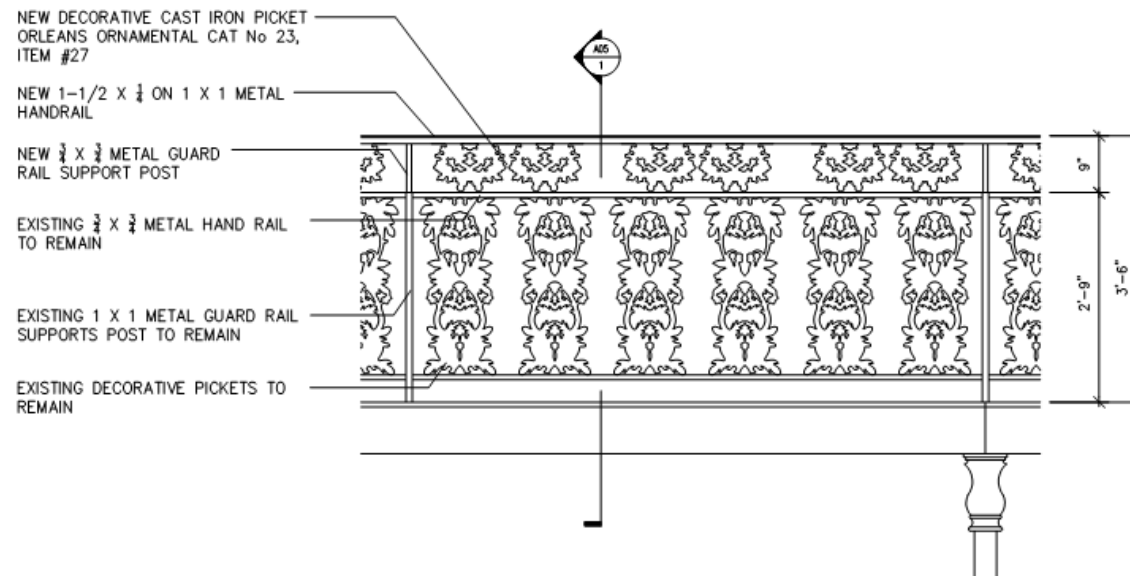
SEAL  
PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET  
**A02**  
PROFESSIONAL SEAL  
ESTABLISHED 1936

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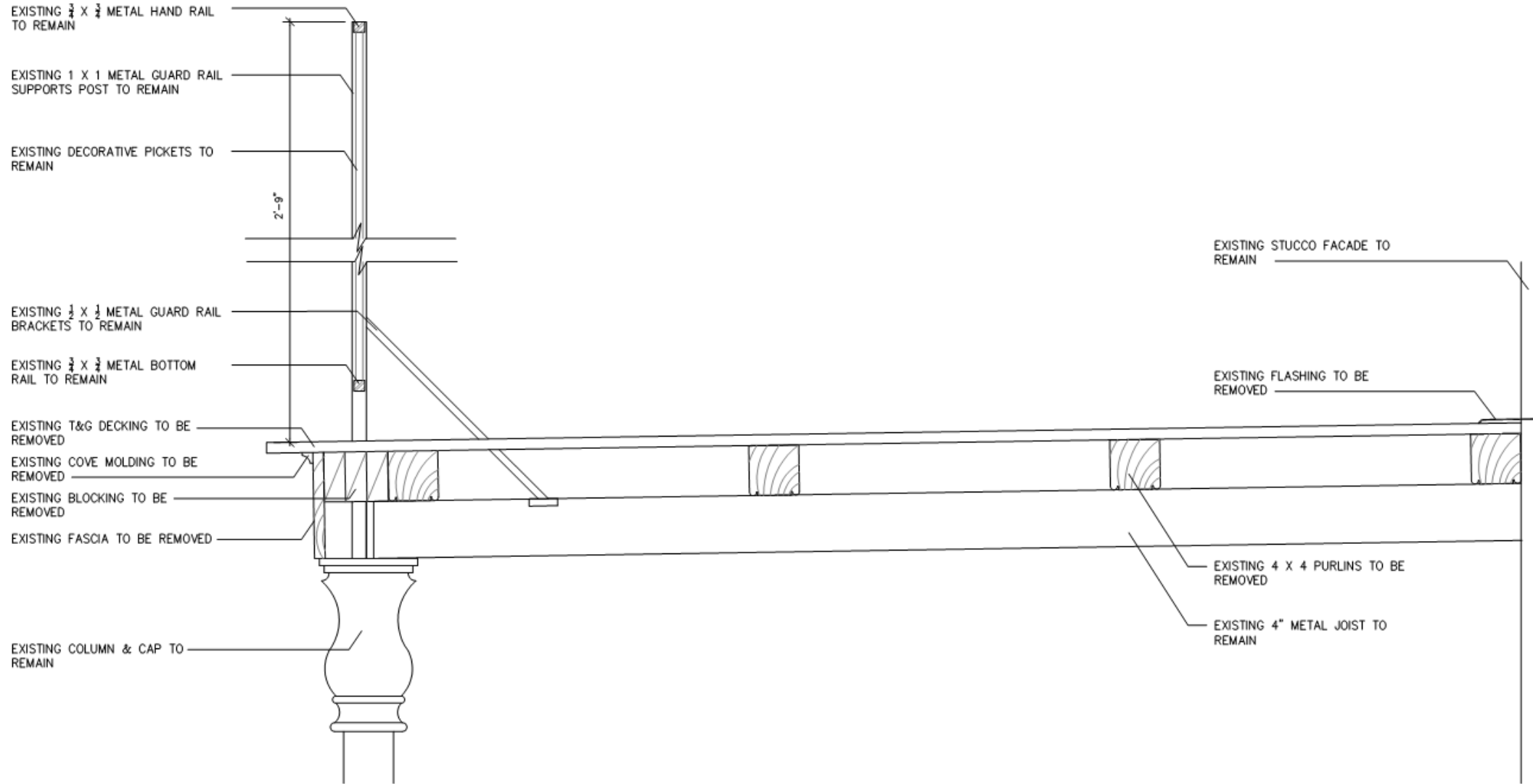


**2 PROPOSED NEW GUARD RAIL SCHEME A** ELEVATION  
SCALE: 1/2" = 1'-0" TYPICAL GUARD RAIL SECTION



**4 PROPOSED NEW GUARD RAIL SCHEME B** ELEVATION  
SCALE: 1/2" = 1'-0" TYPICAL GUARD RAIL SECTION





**1** **DETAIL** EXISTING GALLERY SECTION  
SCALE: 1-1/2" = 1'-0"

TOULOUSE ST SIDE (DECATUR ST SIDE SIMILAR)

DESIGN  
COLLABO

ARCHITECTURE+

306 PINE ST  
NEW ORLEANS, LA 70118

PH: 504 . 908 . 6304  
FAX: 504 . 314 . 8263

**MALACHIAS**  
**601 DECATUR ST**  
**NEW ORLEANS LA 70116**

JOB  
**601 DECAT**

DATE:  
**03-17-2022**

REVISIONS:  
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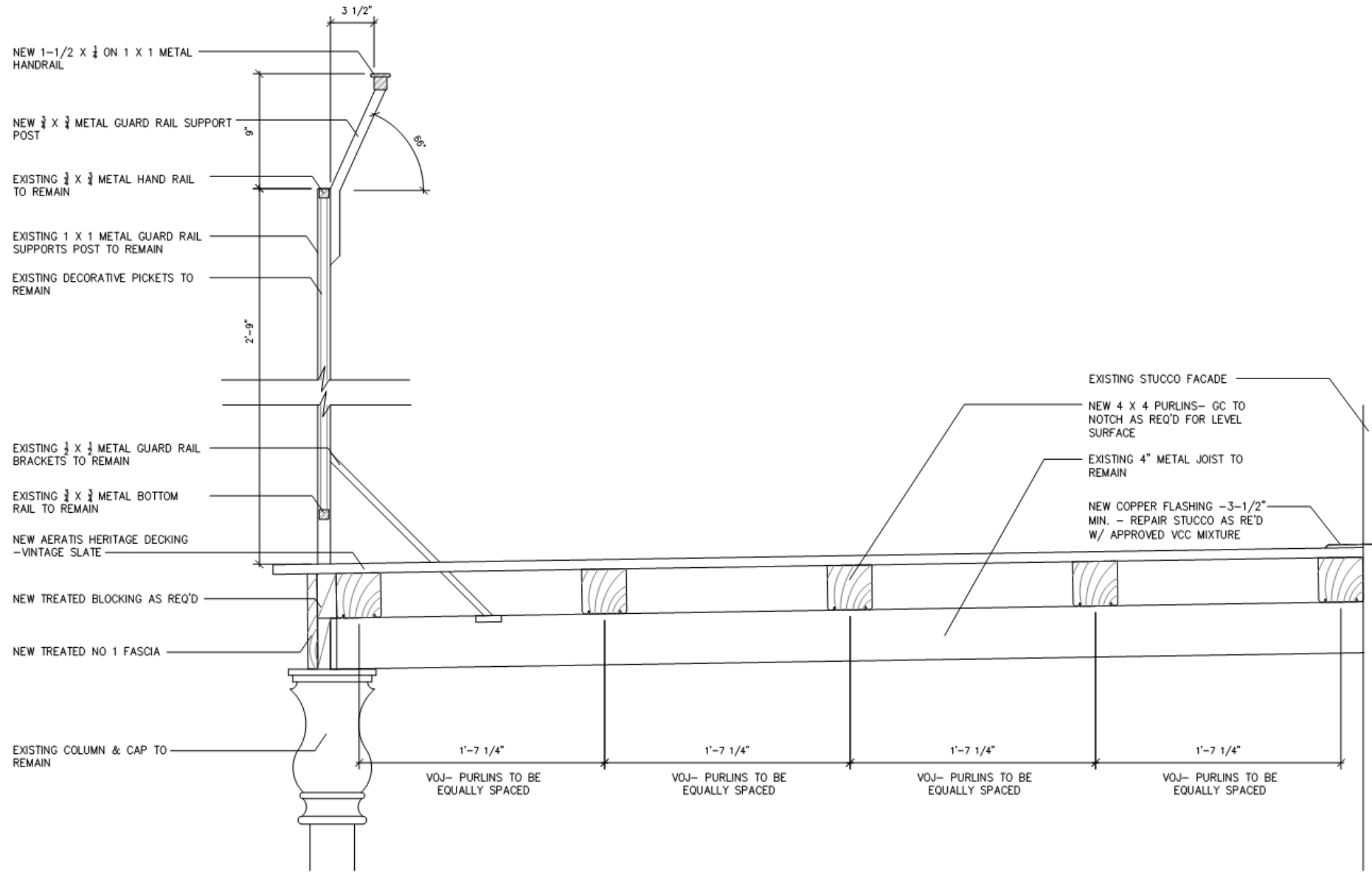
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**A03**

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306 PINE ST  
NEW ORLEANS, LA 70116  
PH: 504 . 908 . 6364  
FAX: 504 . 314 . 8363

**MALACHIAS**  
**601 DECATUR ST**  
**NEW ORLEANS LA 70116**

JOB  
**601 DECAT**  
DATE:  
**03-17-2022**  
REVISIONS:

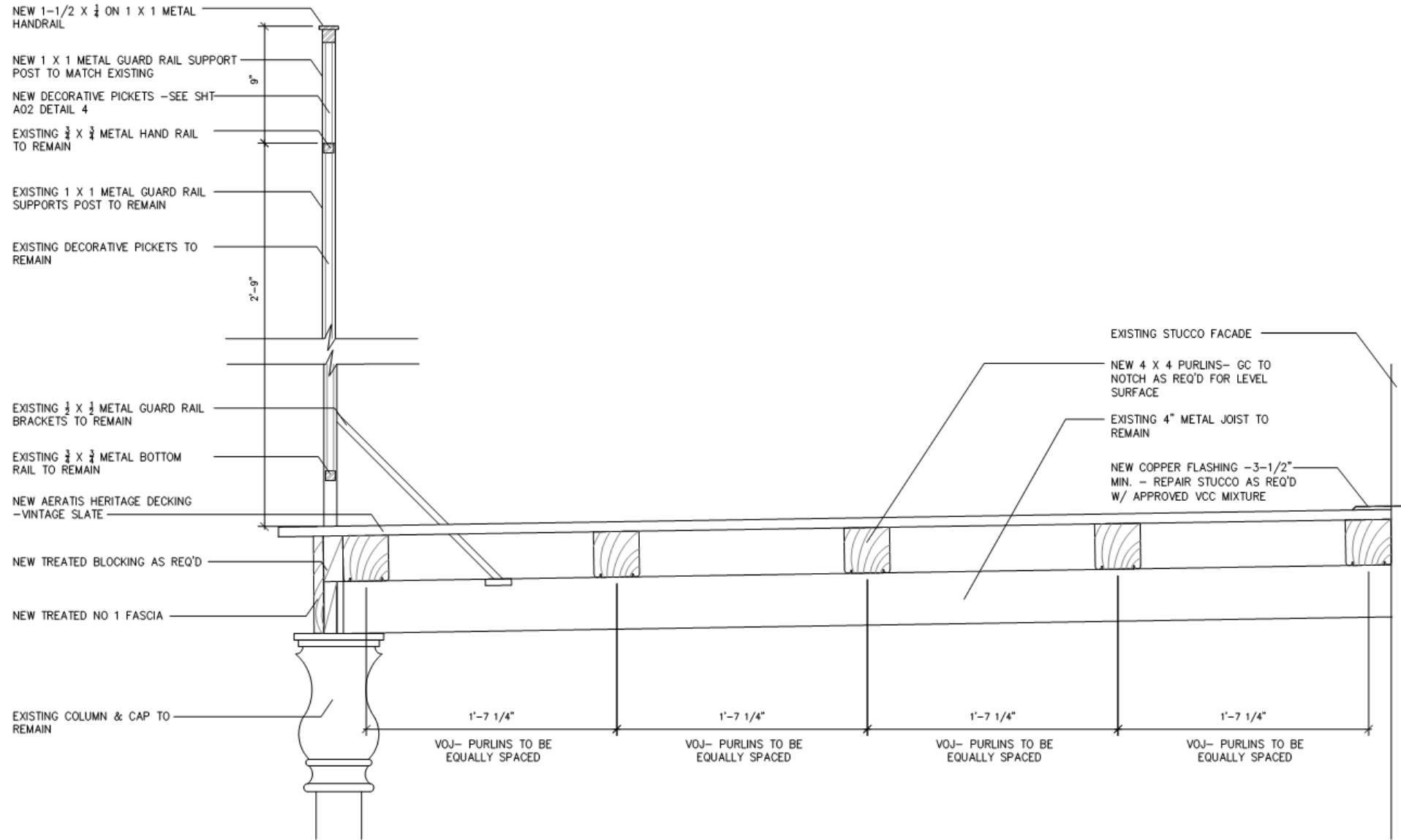
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PREPARED BY  
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CONSTRUCTION

SHEET  
**A04**

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1 DETAIL PROPOSED GALLERY SECTION SCHEME B  
SCALE: 1-1/2" = 1'-0"

TOULOUSE ST SIDE (DECATUR ST SIDE SIMILAR)



601 Decatur

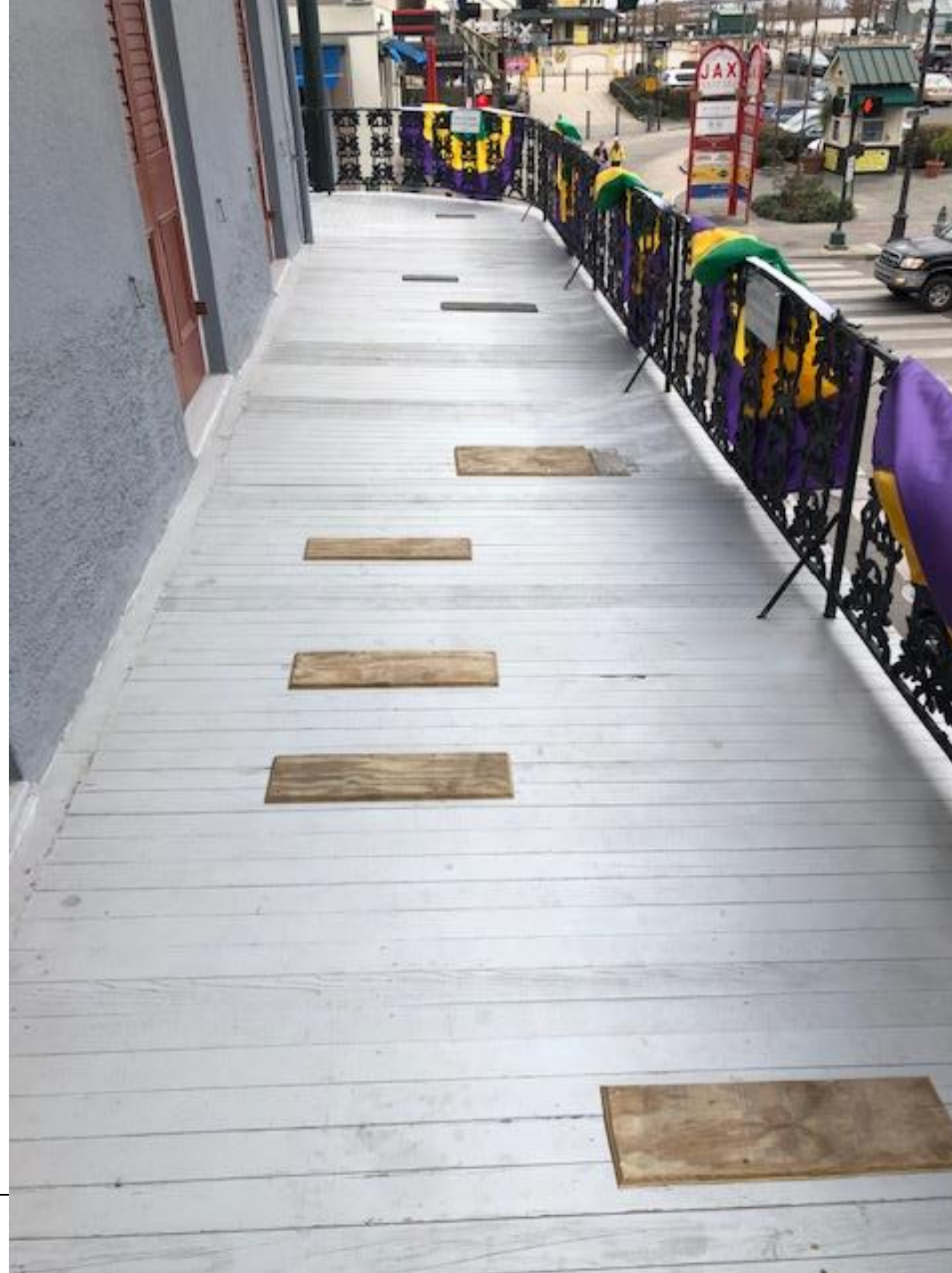
VCC Architectural Committee

June 16, 2022













601 Decatur

VCC Architectural Committee

June 16, 2022





601 Decatur

VCC Architectural Committee

June 16, 2022







601 Decatur  
VCC Architectural Committee

05 19 2022

June 16, 2022





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05 19 2022

June 16, 2022





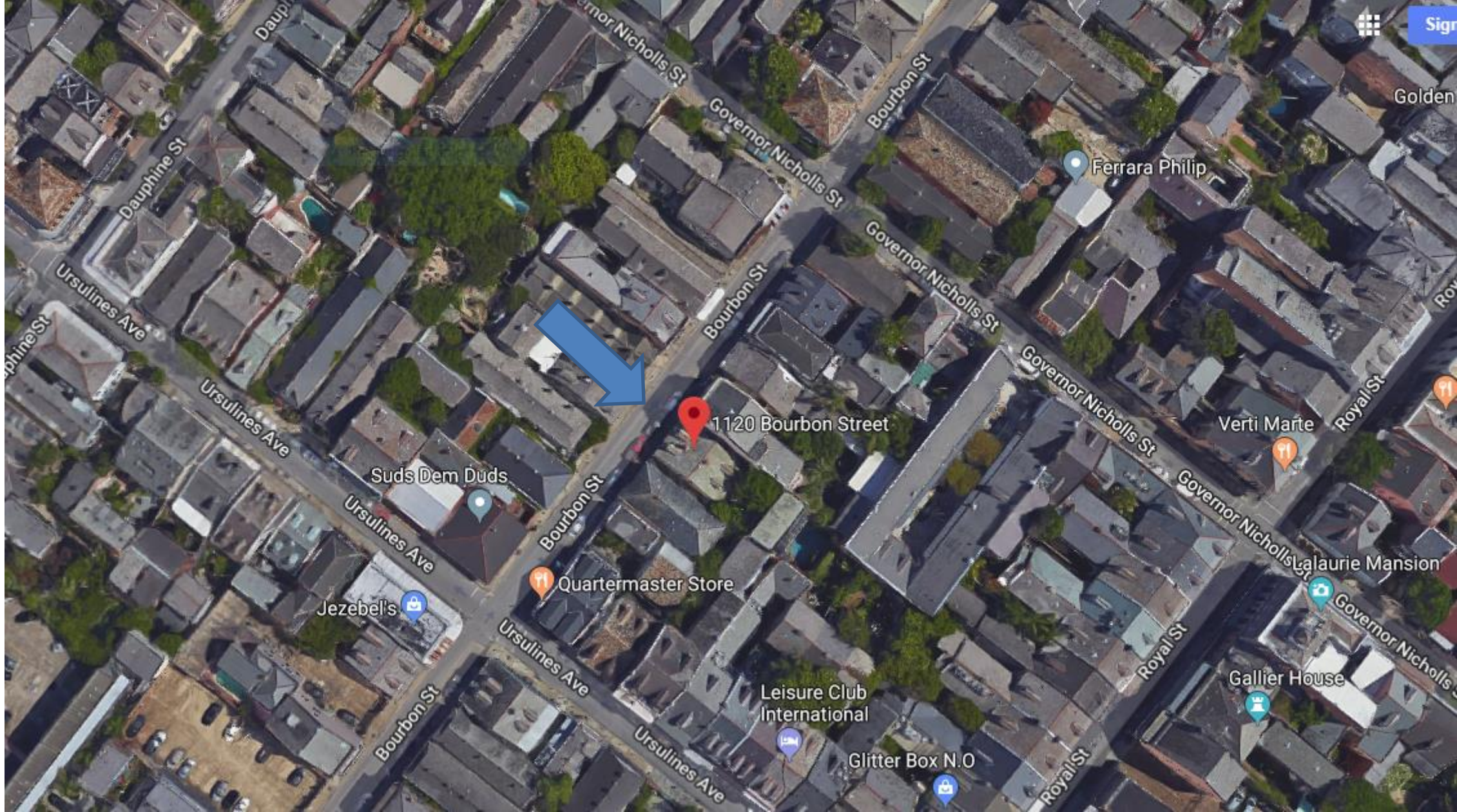


**New Business**



**1118 Bourbon**





1118 Bourbon

VCC Architectural Committee

June 16, 2022







1118 Bourbon

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June 16, 2022







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4 SIDE YD. GOV. NICHOLS SIDE



5 REAR STRUCTURE



6 REAR STRUCTURE

1118 Bourbon

VCC Architectural Committee

June 16, 2022







1118 Bourbon

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1118 Bourbon - 1949

VCC Architectural Committee



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1118 Bourbon - 1949

VCC Architectural Committee



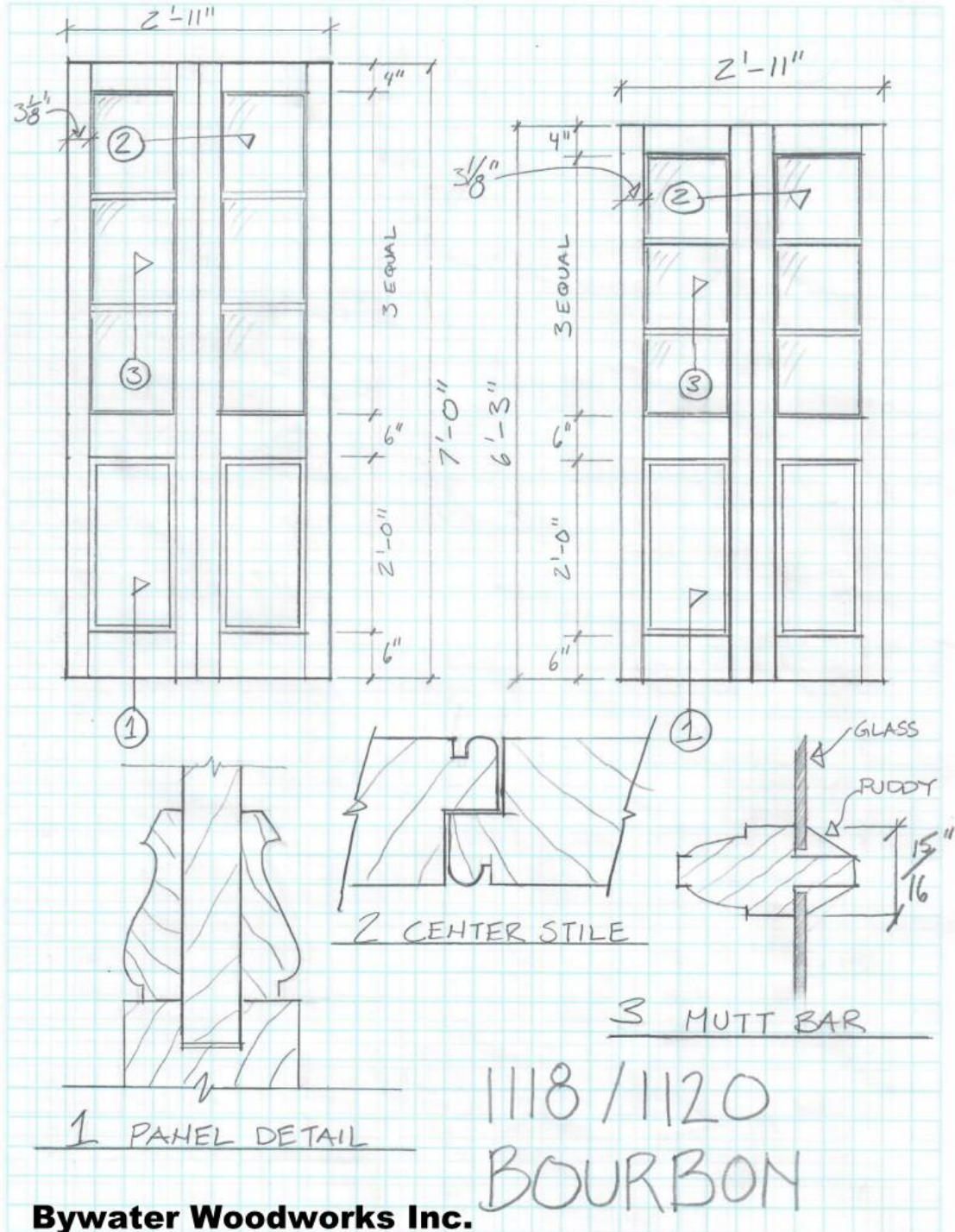
June 16, 2022







1118 Bourbon – Existing Rear Building Doors



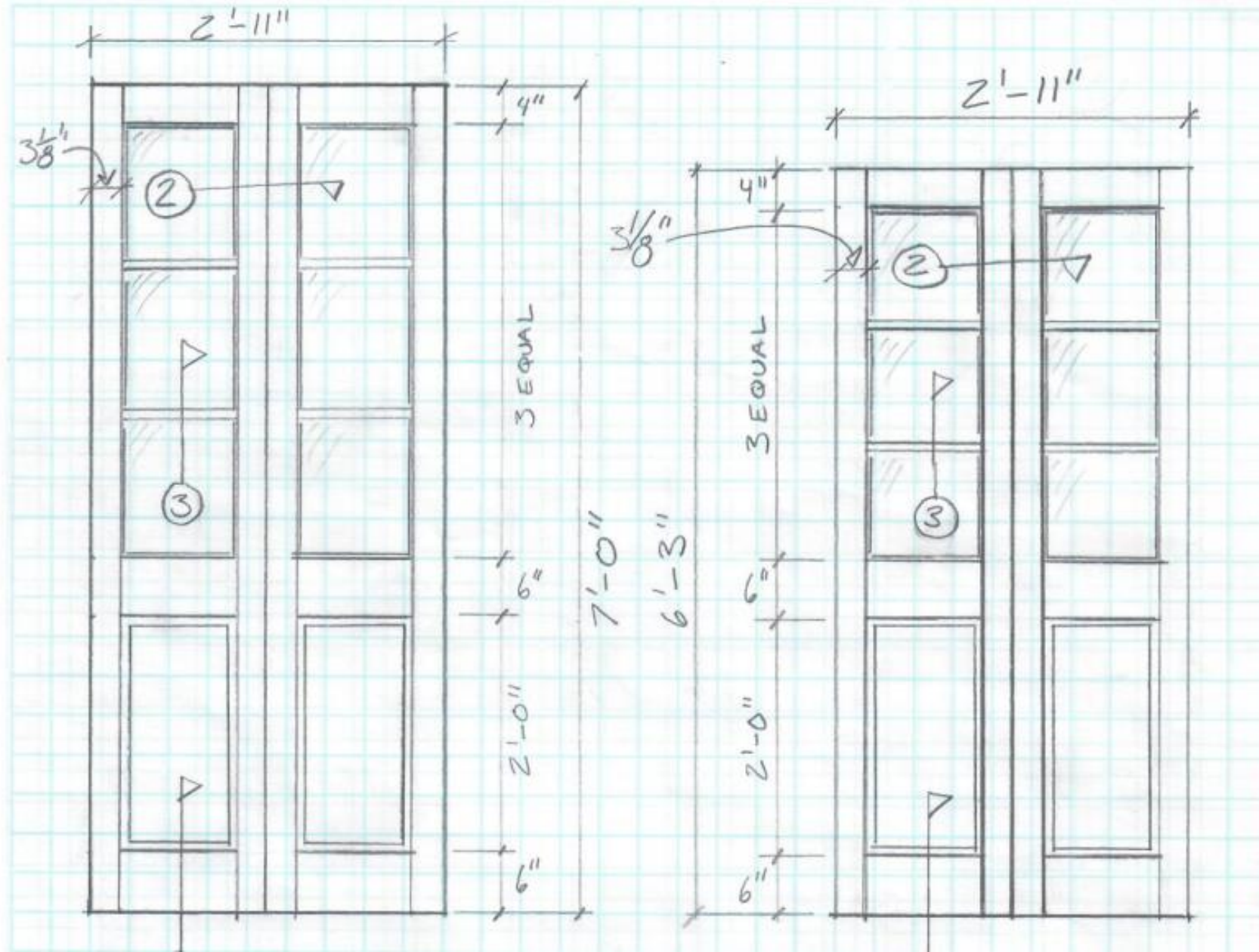
1118 Bourbon

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## 1118 Bourbon – Proposed Replacement Doors

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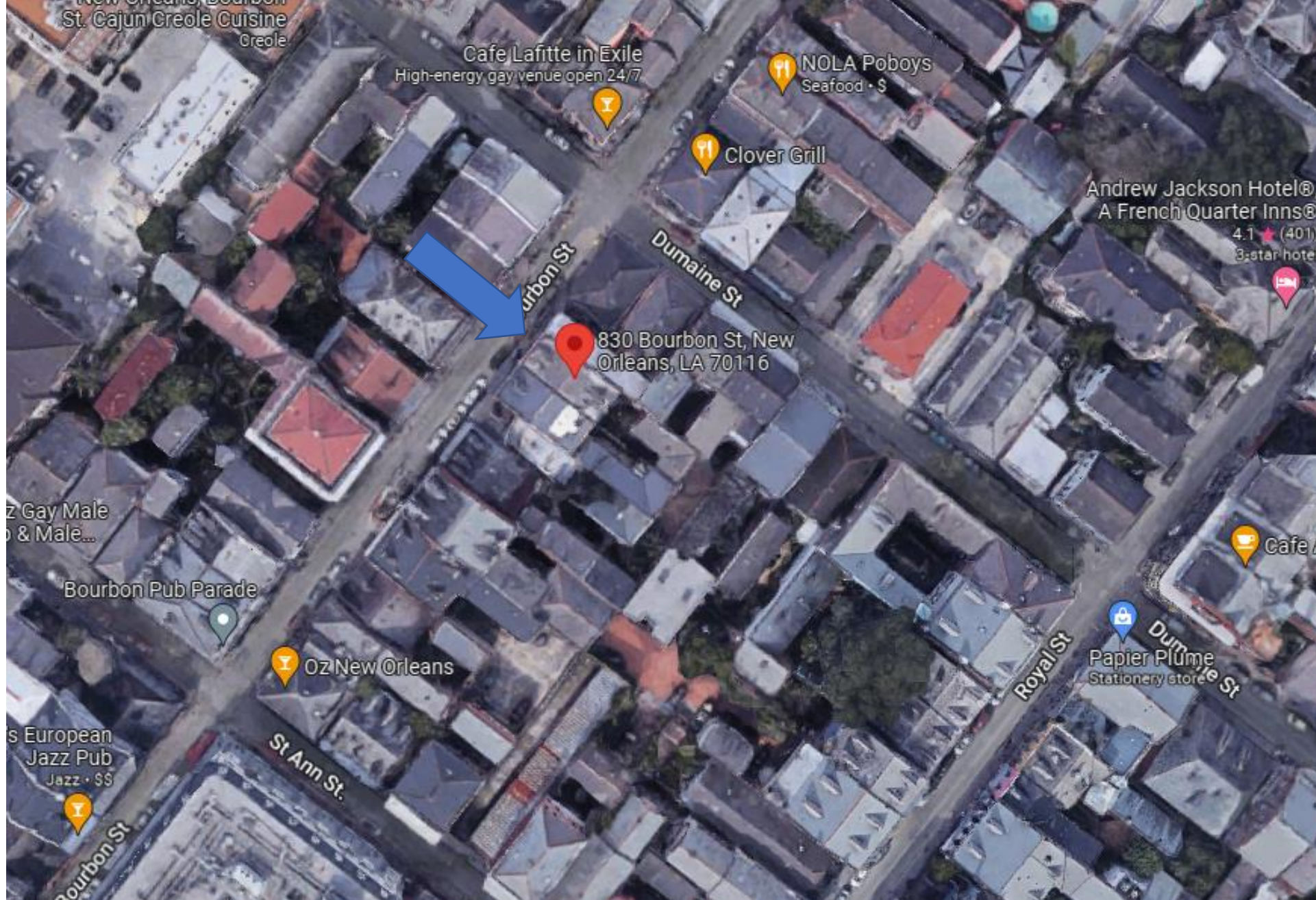
June 16, 2022





830 Bourbon





830 Bourbon

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June 16, 2022







830 Bourbon

VCC Architectural Committee

June 16, 2022





830 Bourbon, 1964

VCC Architectural Committee



June 16, 2022





830 Bourbon

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830 Bourbon

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June 16, 2022







830 Bourbon

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### Franklin Street Pendant Yoke

Size: 26.5 in

Illumination: Natural Gas

Finish: Aged Copper

Decorative Options: Fleur de Lis Finial [ \$20.00 ]

[Remove](#)



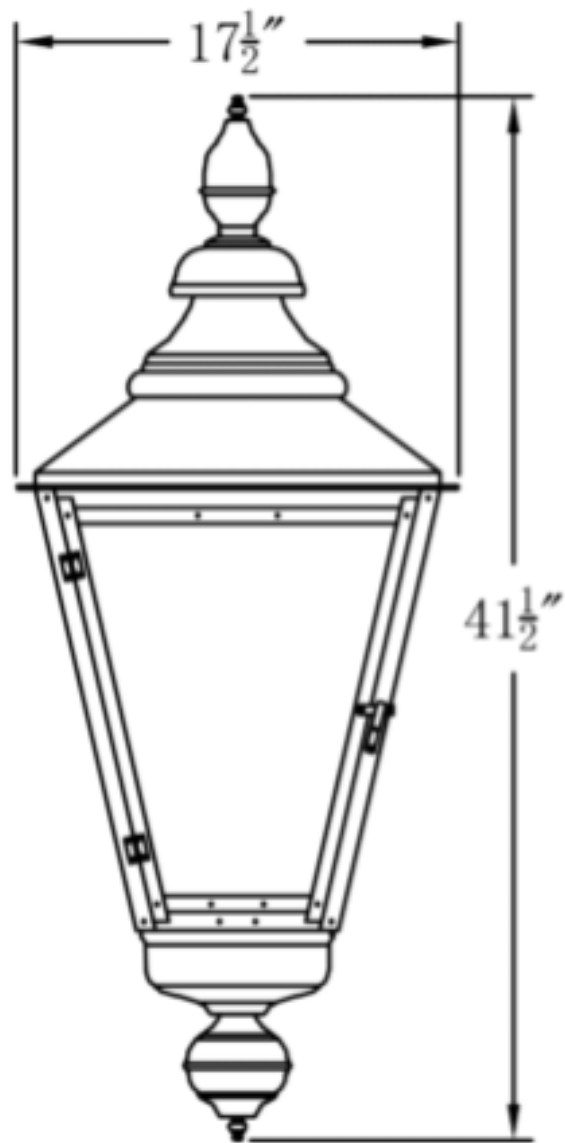
### Franklin Street Top Scroll

Size: 26.5 in

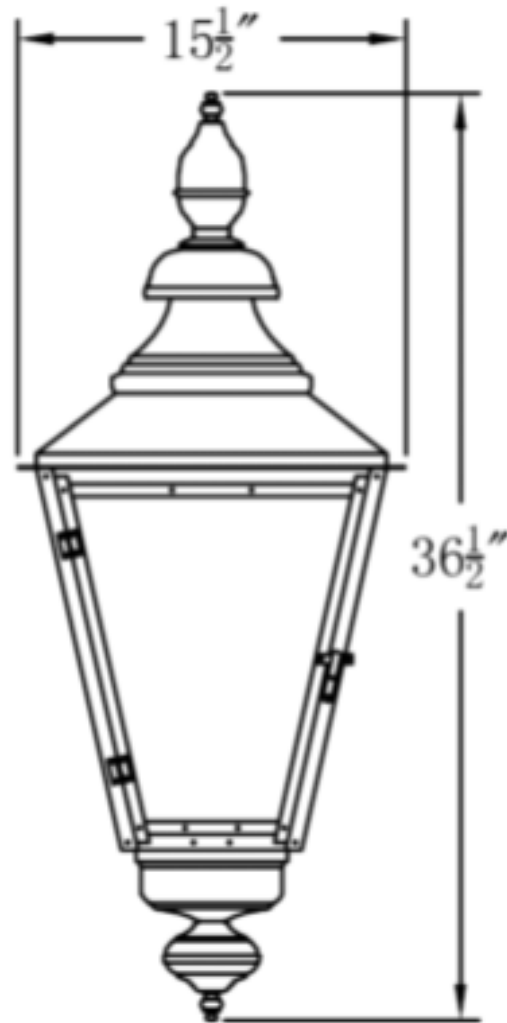
Illumination: Natural Gas

Finish: Aged Copper

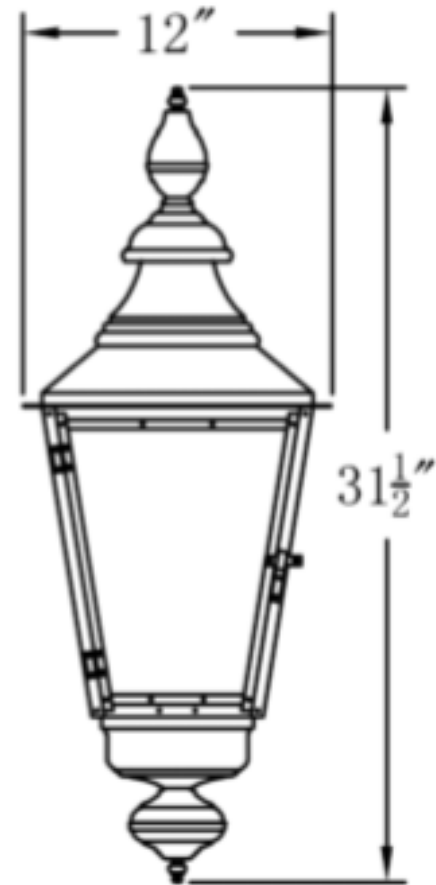
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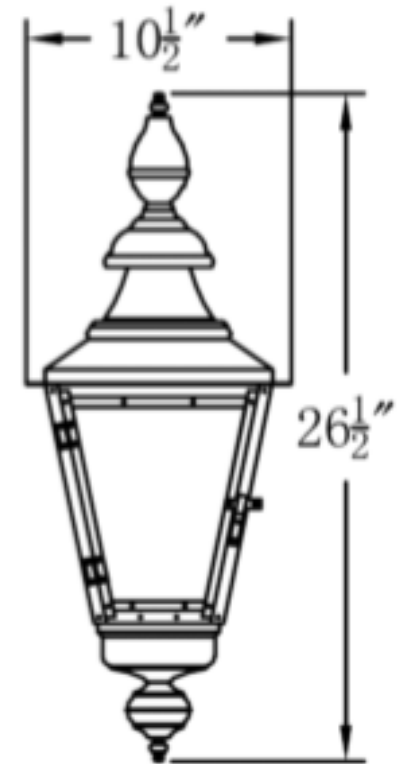
FS 44



FS 43



FS 42



FS 41



830 Bourbon

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June 16, 2022







830 Bourbon

VCC Architectural Committee

June 16, 2022







830 Bourbon

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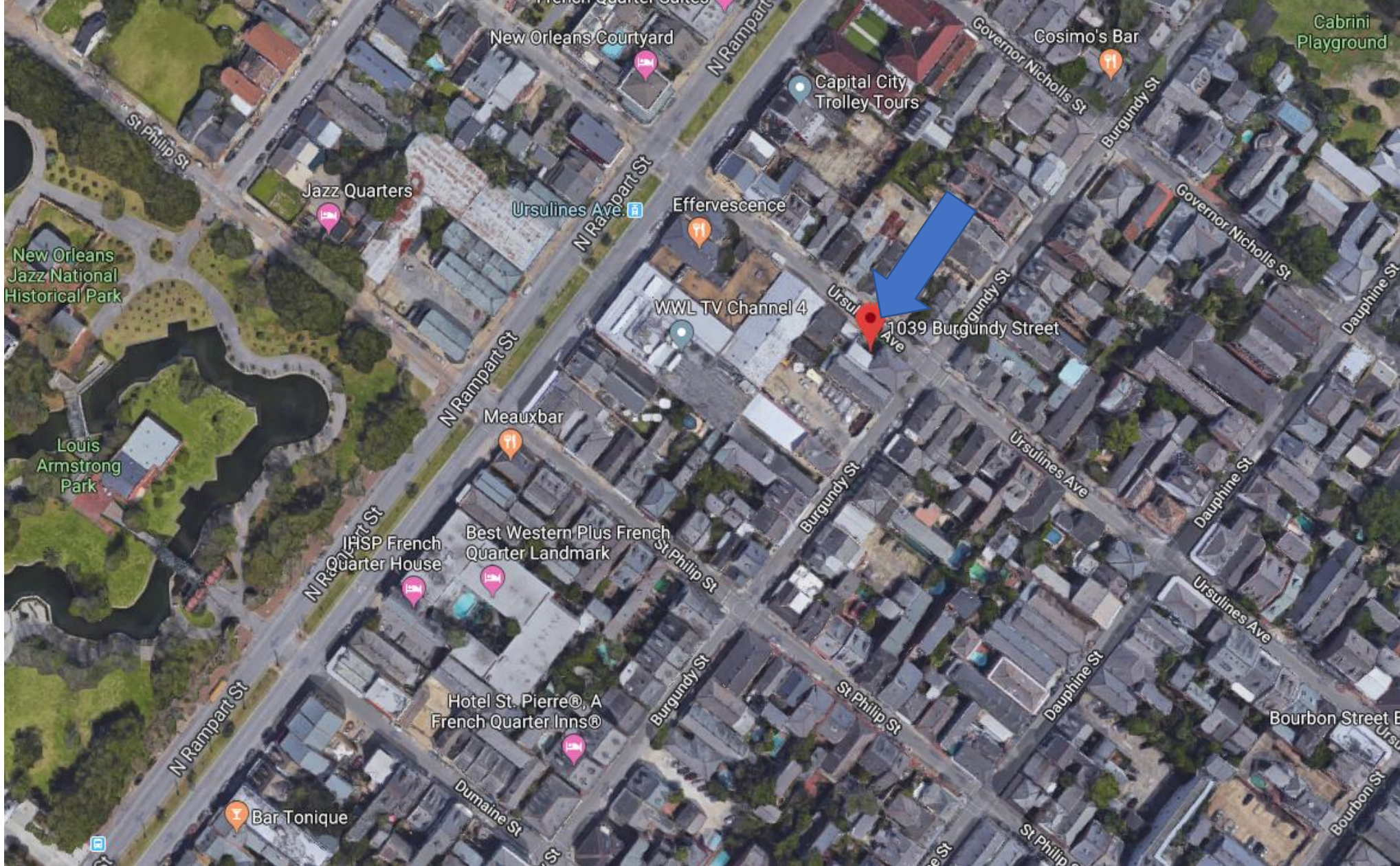






1039 Burgundy





1039 Burgundy

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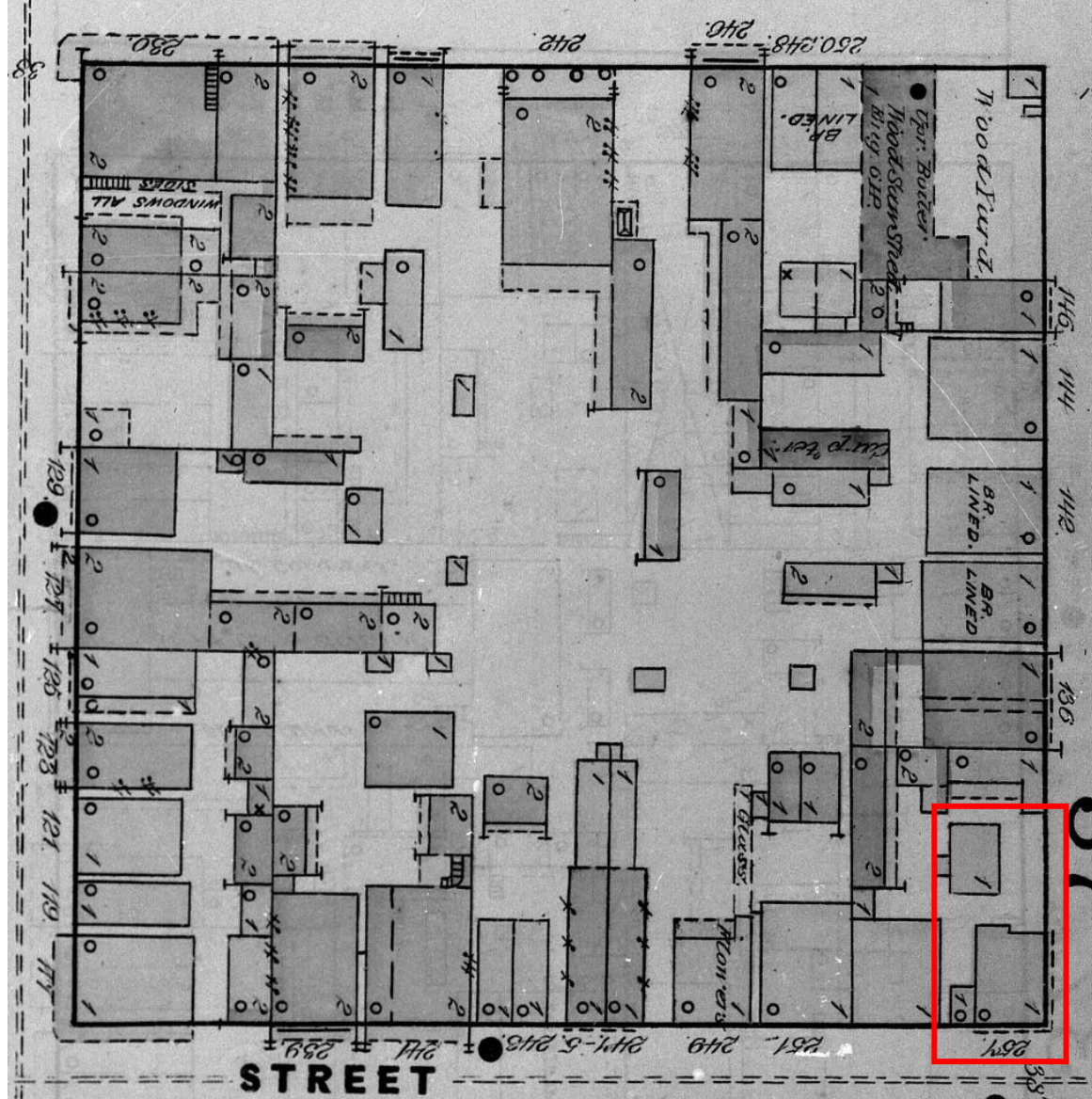
1039 Burgundy

VCC Architectural Committee

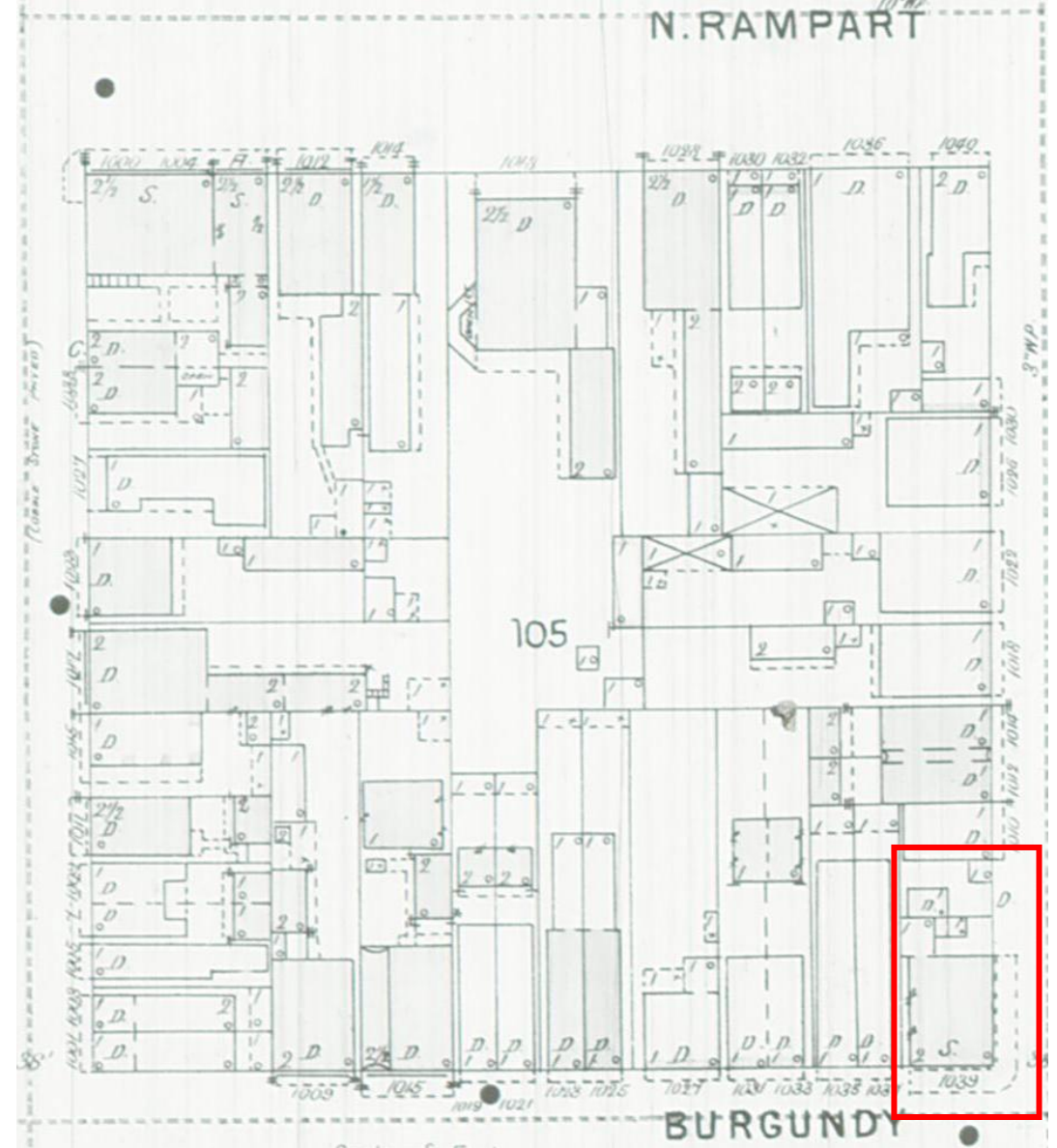
June 16, 2022







1876



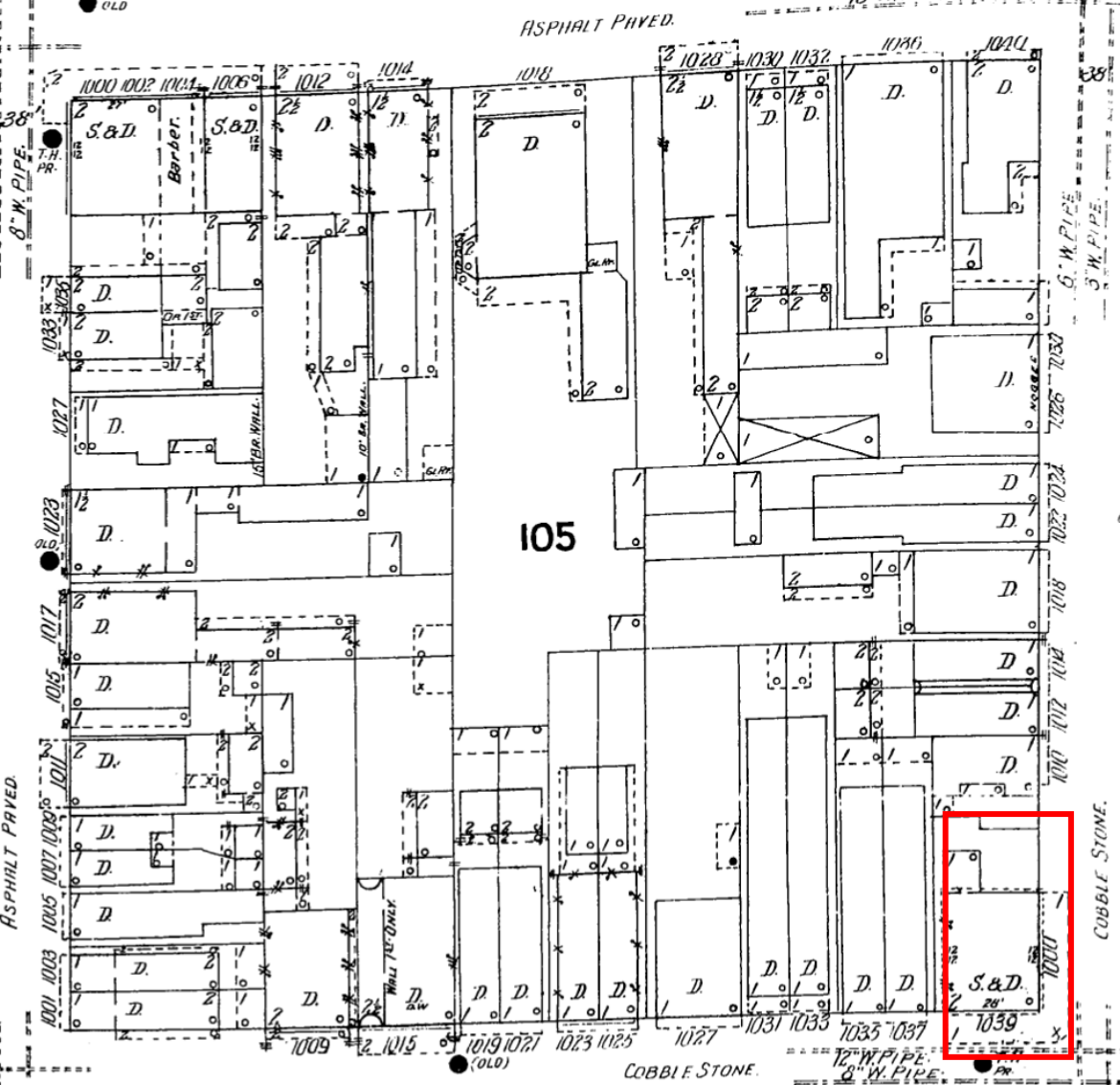
1896

1039 Burgundy – service ell rating

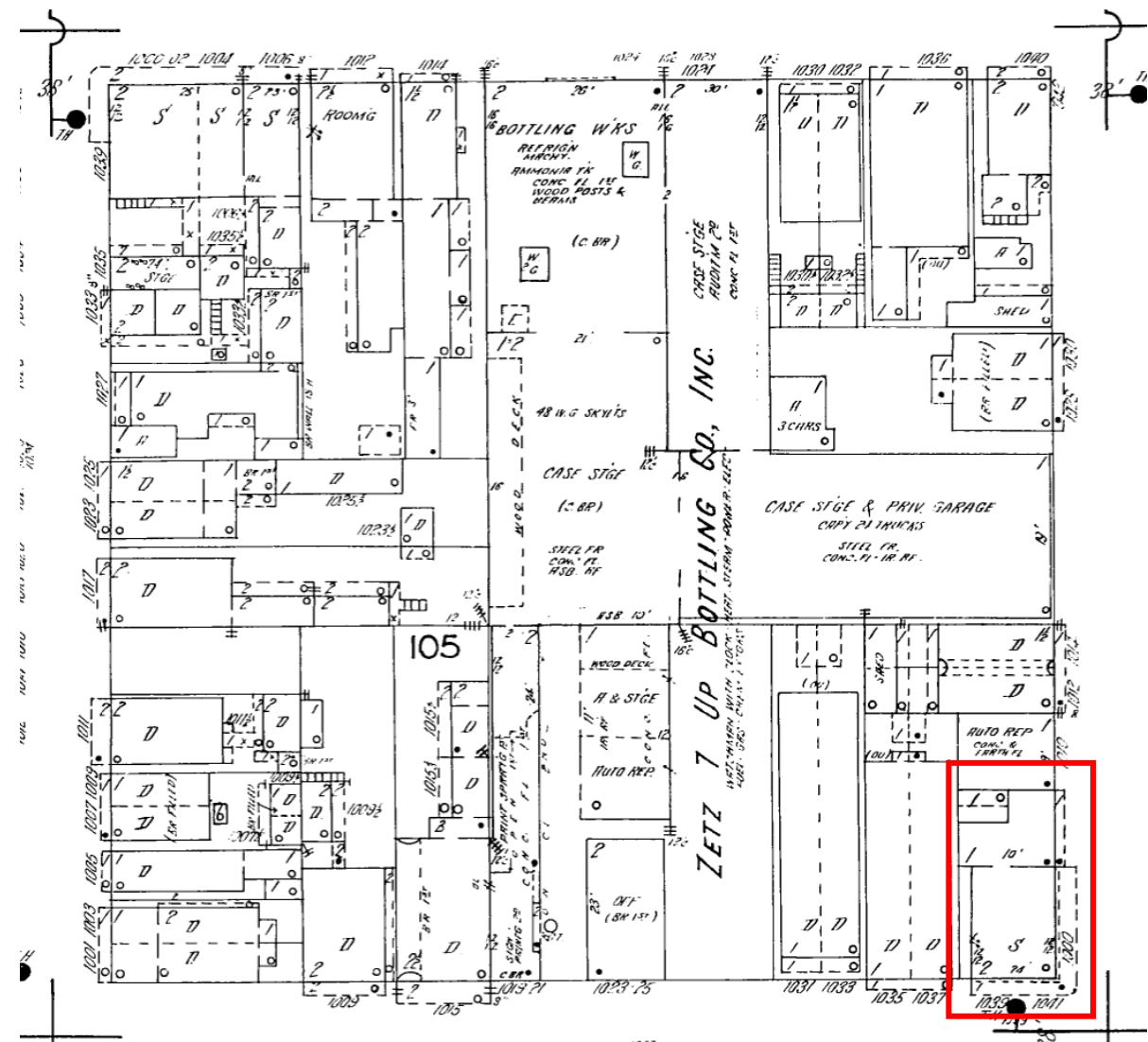
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1908



1940

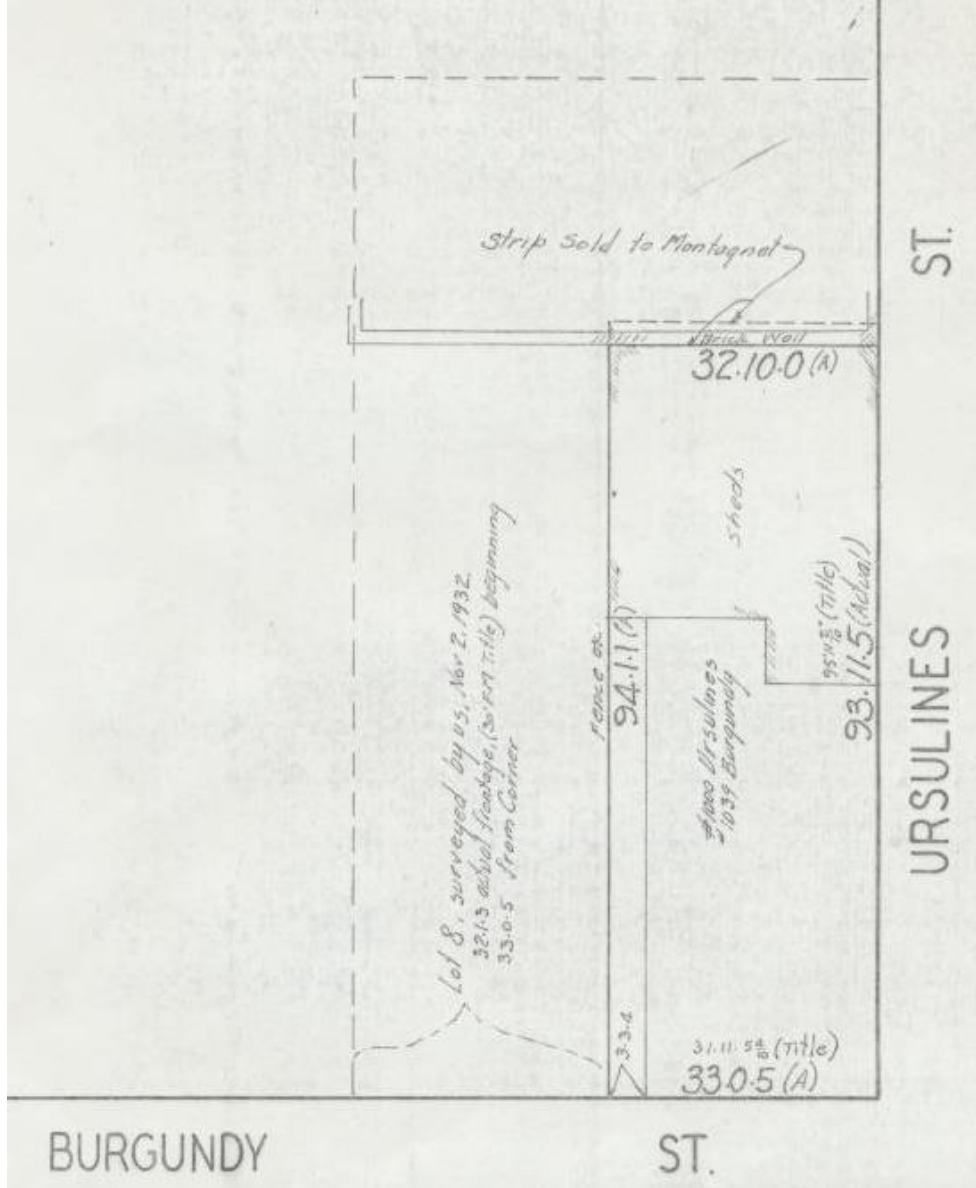
1039 Burgundy – service ell rating

VCC Architectural Committee

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1934



1964

1039 Burgundy – service ell rating

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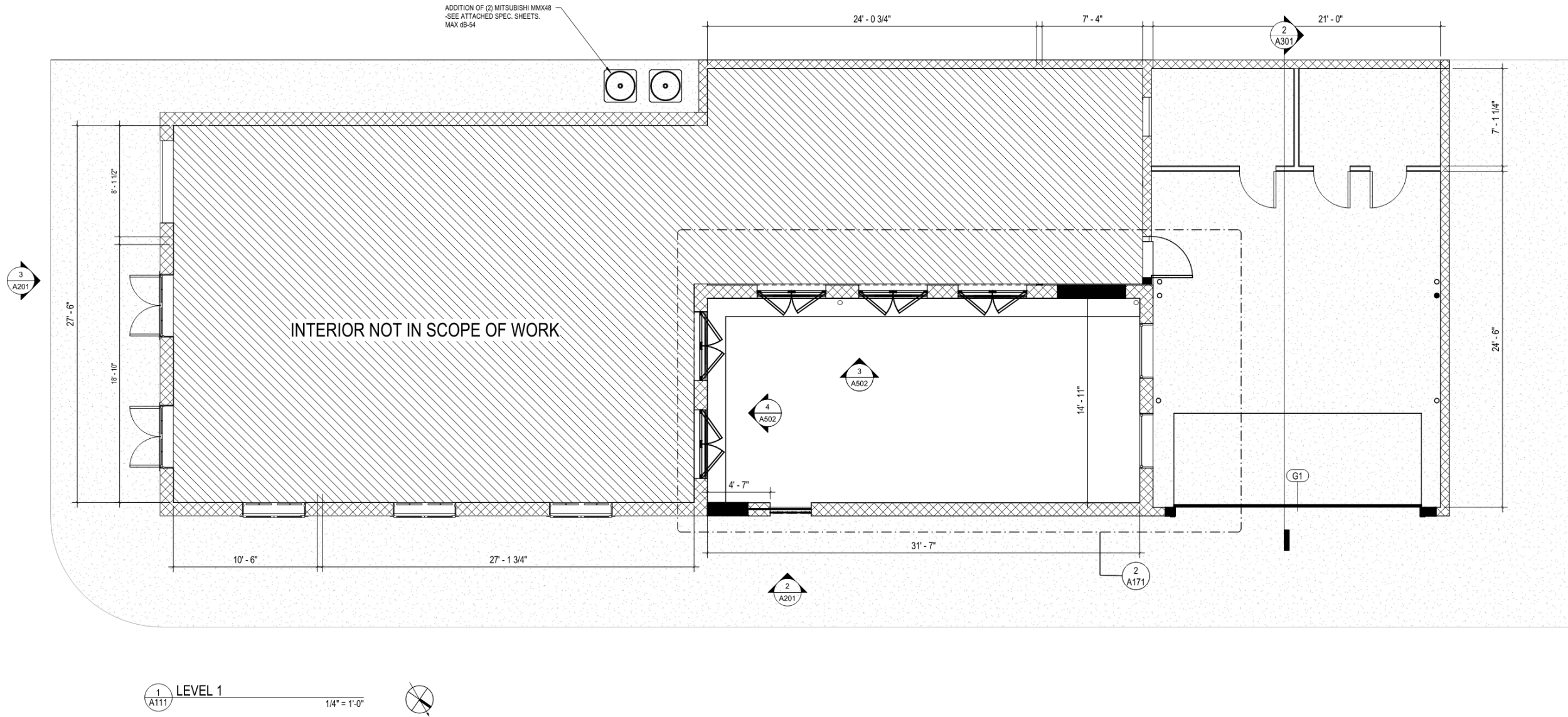
1039 Burgundy

VCC Architectural Committee

June 16, 2022







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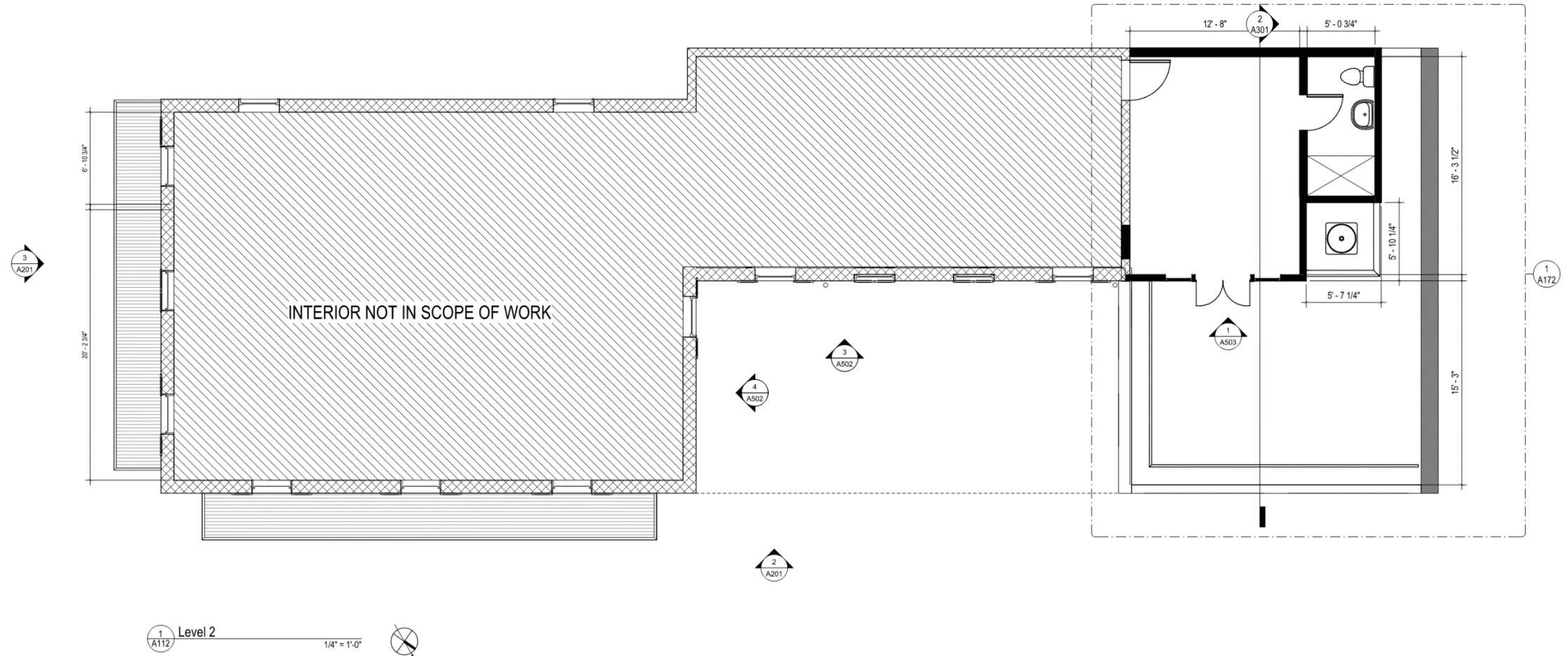
June 16, 2022

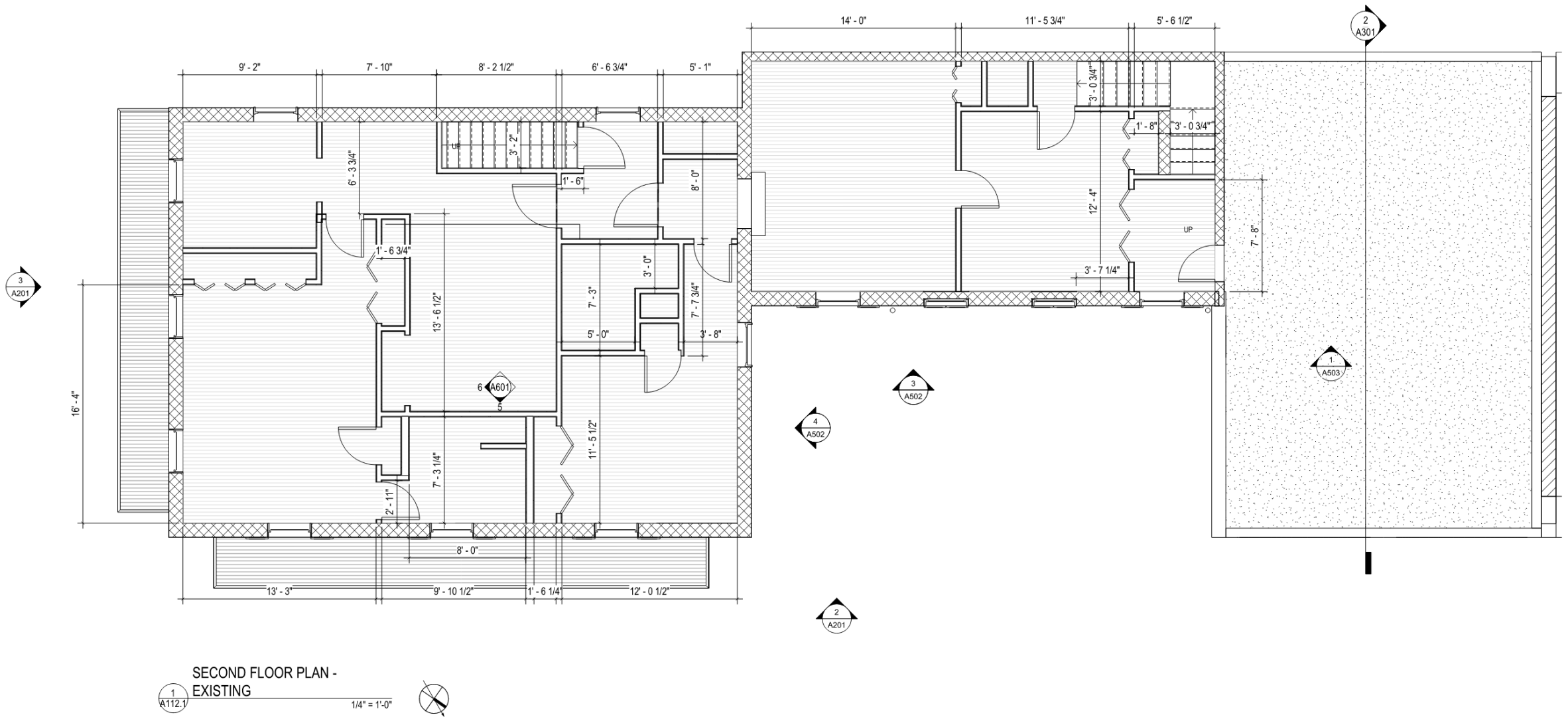




# WALL PHASING LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS AND AREA OF INFILL





1039 Burgundy

VCC Architectural Committee

June 16, 2022

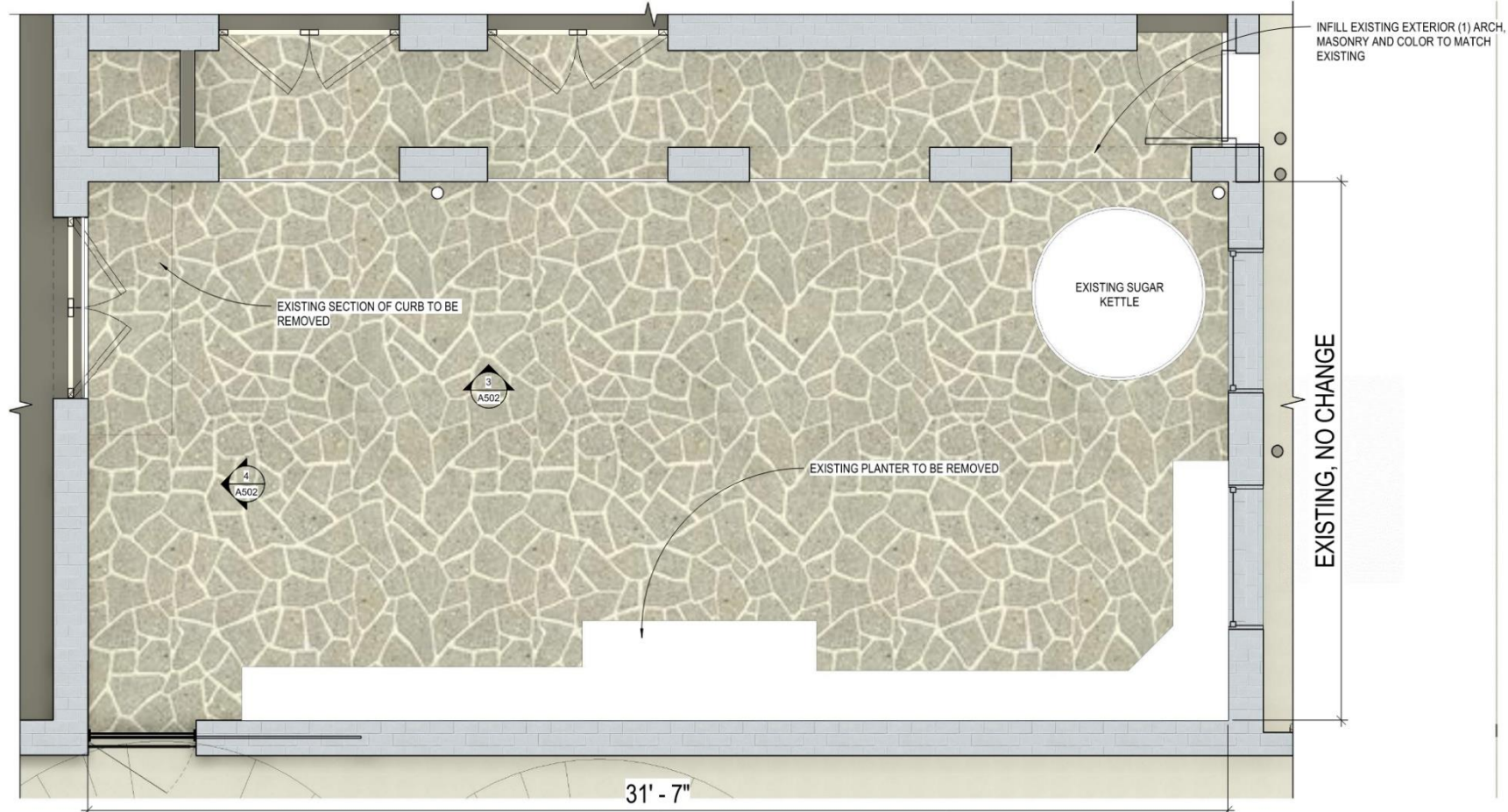






PHOTOGRAPH OF EXISTING  
COURTYARD

1  
A171  
ENLARGED COURTYARD -  
EXISTING  
1/2" = 1'-0"



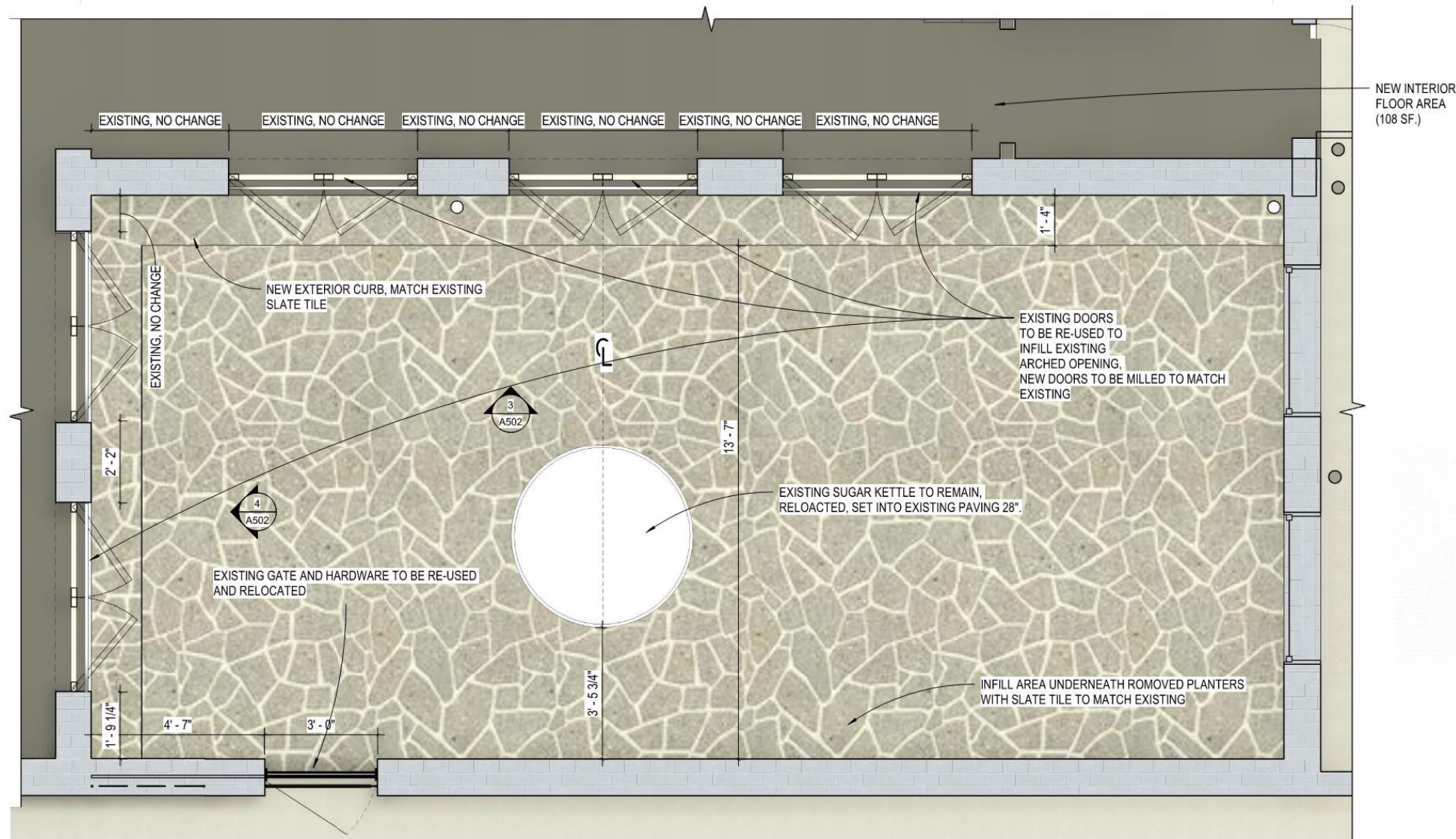
1039 Burgundy

VCC Architectural Committee

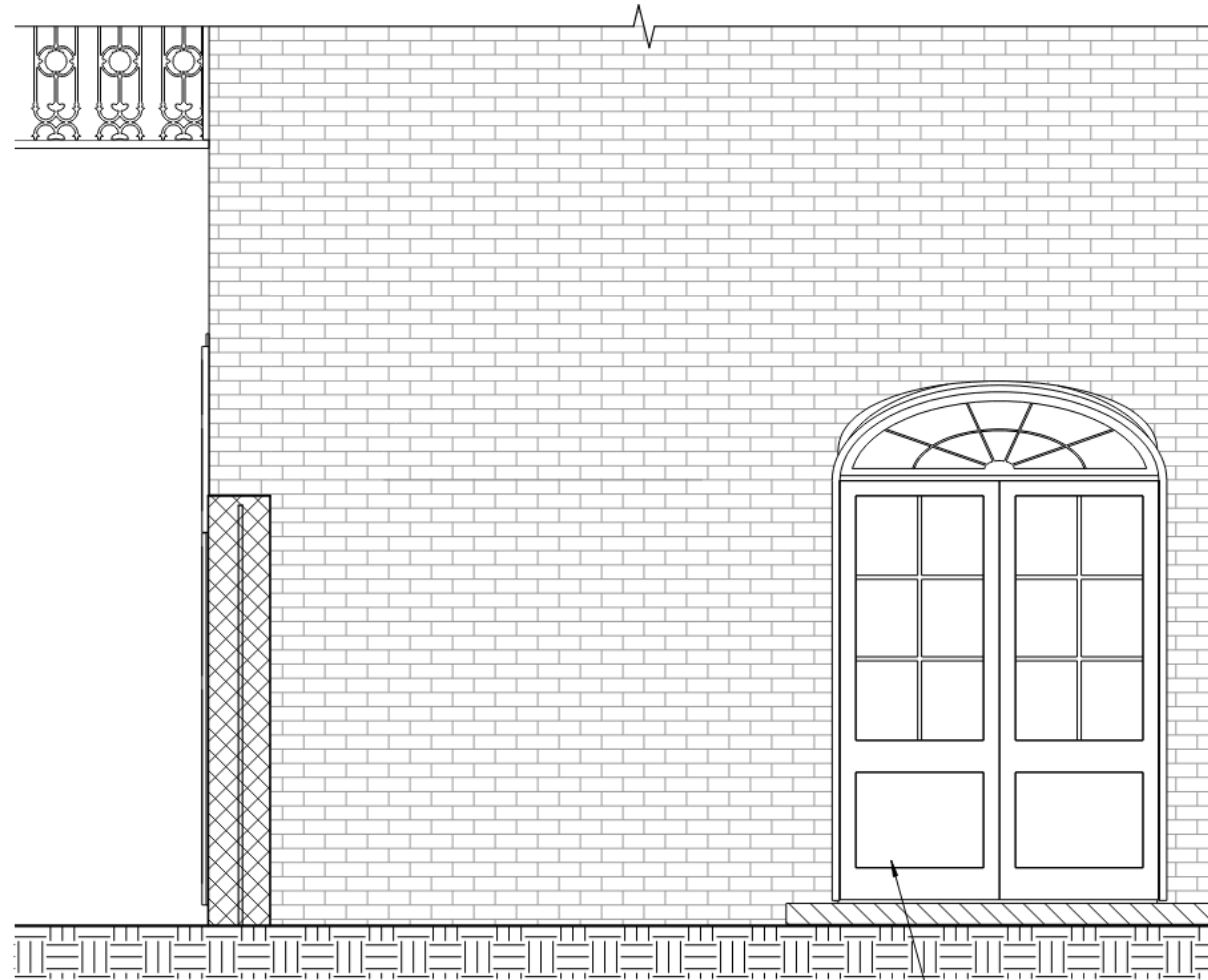
June 16, 2022









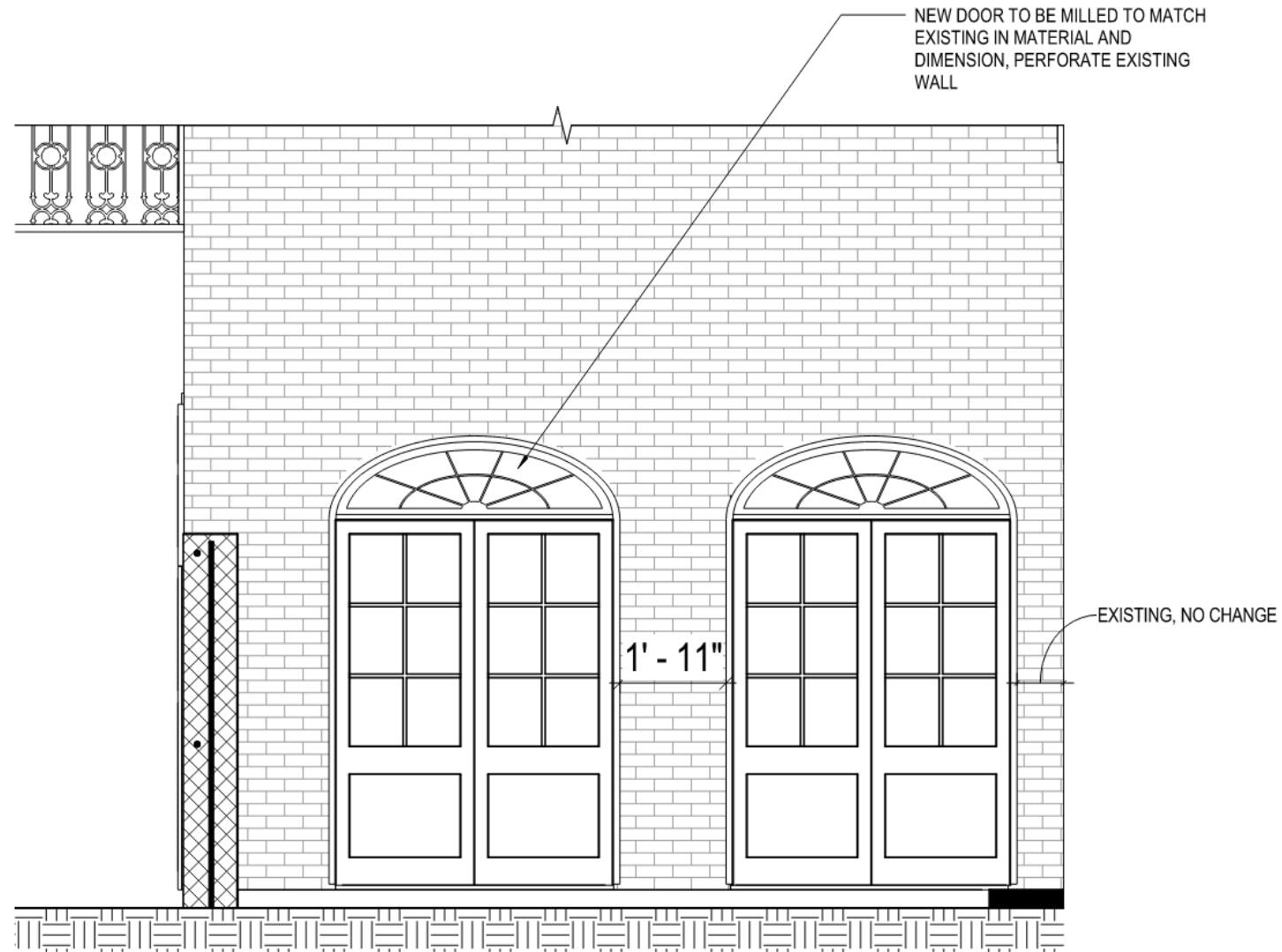


WEST COURTYARD ELEVATION  
- EXISTING

1  
A502

1/2" = 1'-0"

EXISTING DOOR TO REMAIN, EXISTING  
CURB UNDERNEATH TO BE REMOVED



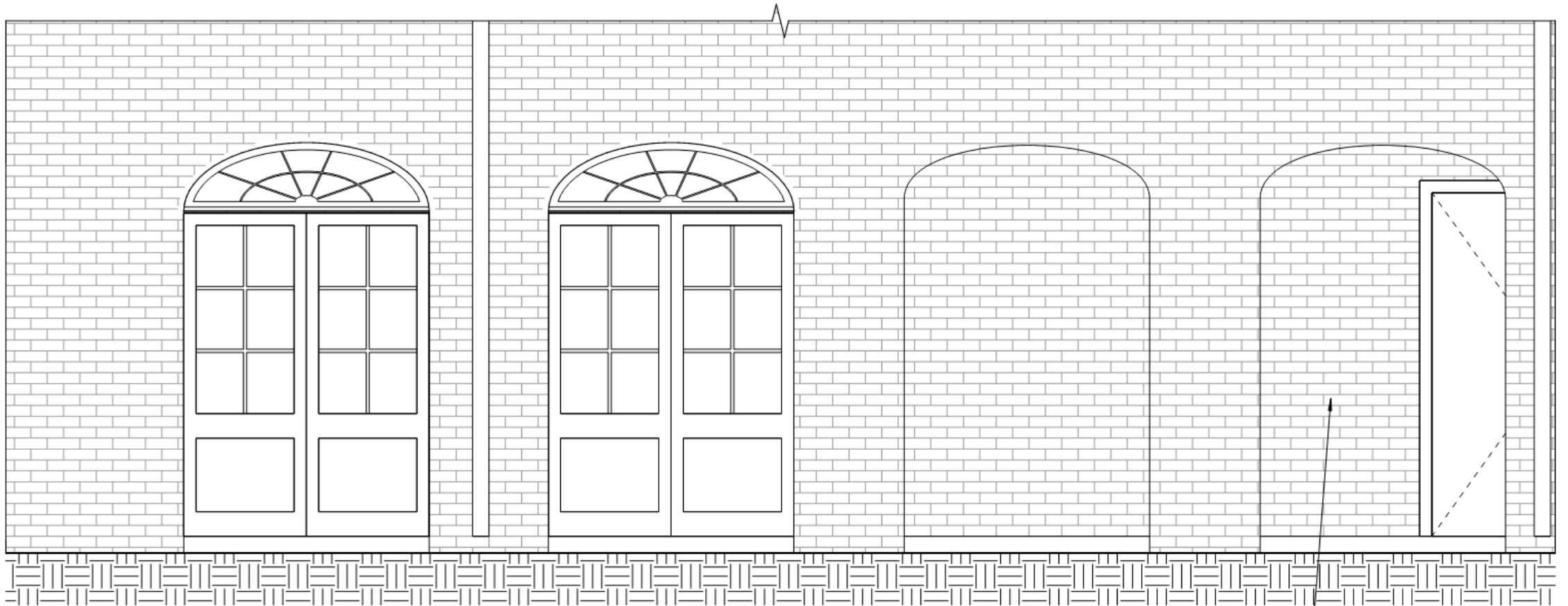
WEST COURTYARD ELEVATION

- EXISTING Copy 1

4  
A502

1/2" = 1'-0"



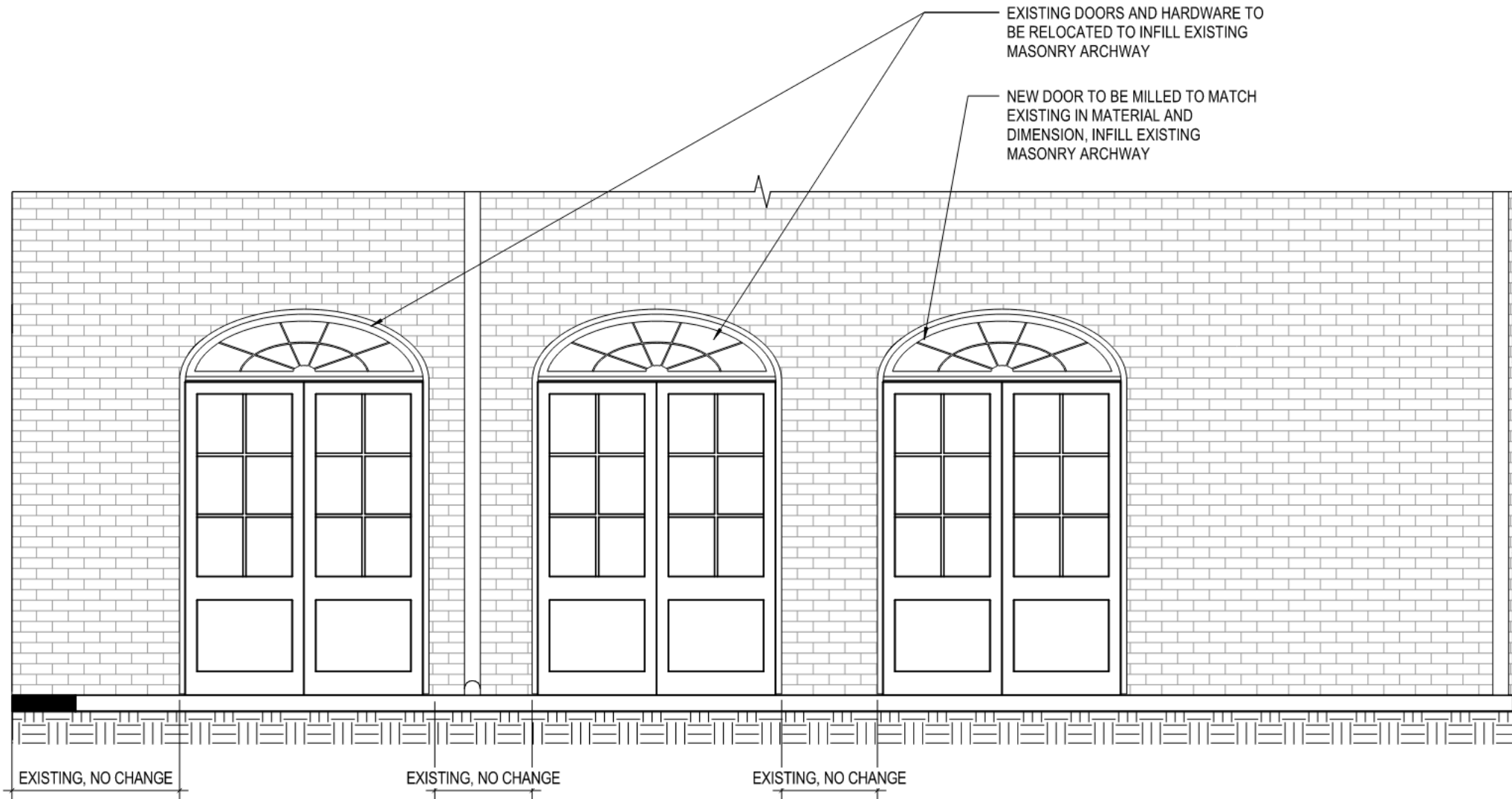


NORTH COURTYARD  
ELEVATION - EXISTING

2  
A502

1/2" = 1'-0"

(1) EXISTING ARCHWAY TO BE  
INFILLED WITH MASONRY TO MATCH  
EXISTING IN KIND, VCC APPROVED  
MORTAR MIX



NORTH COURTYARD

ELEVATION - EXISTING Copy 1

3  
A502

1/2" = 1'-0"

1039 Burgundy

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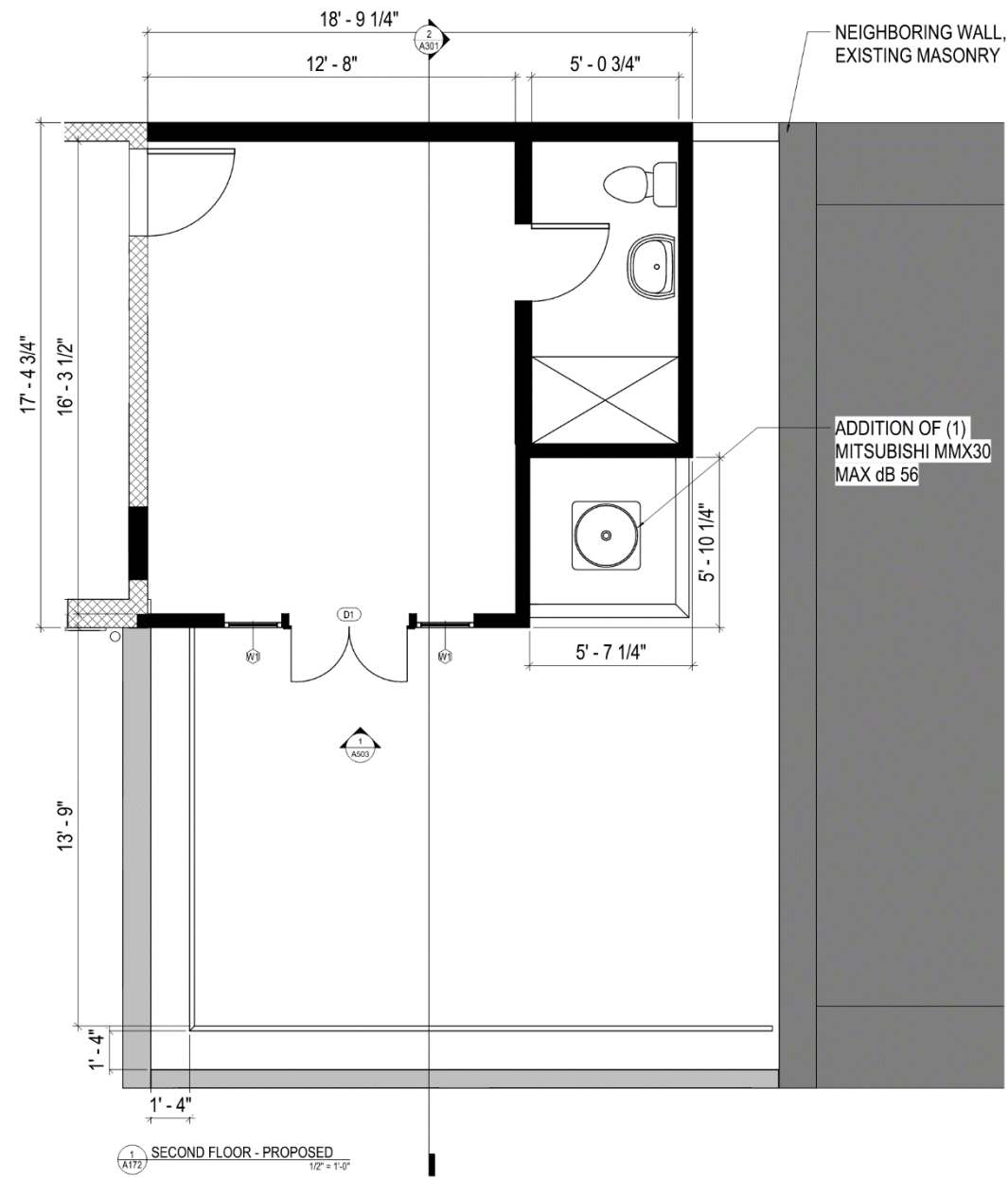
June 16, 2022





# WALL PHASING LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS AND AREA OF INFILL

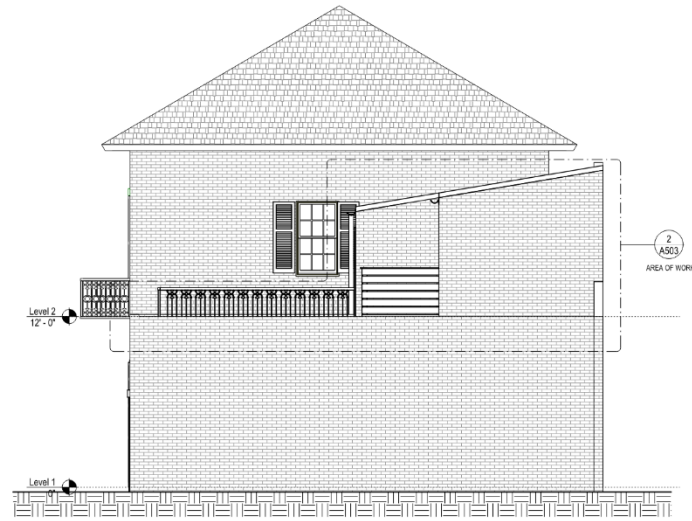


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June 16, 2022





1 WEST ELEVATION  
1/4" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

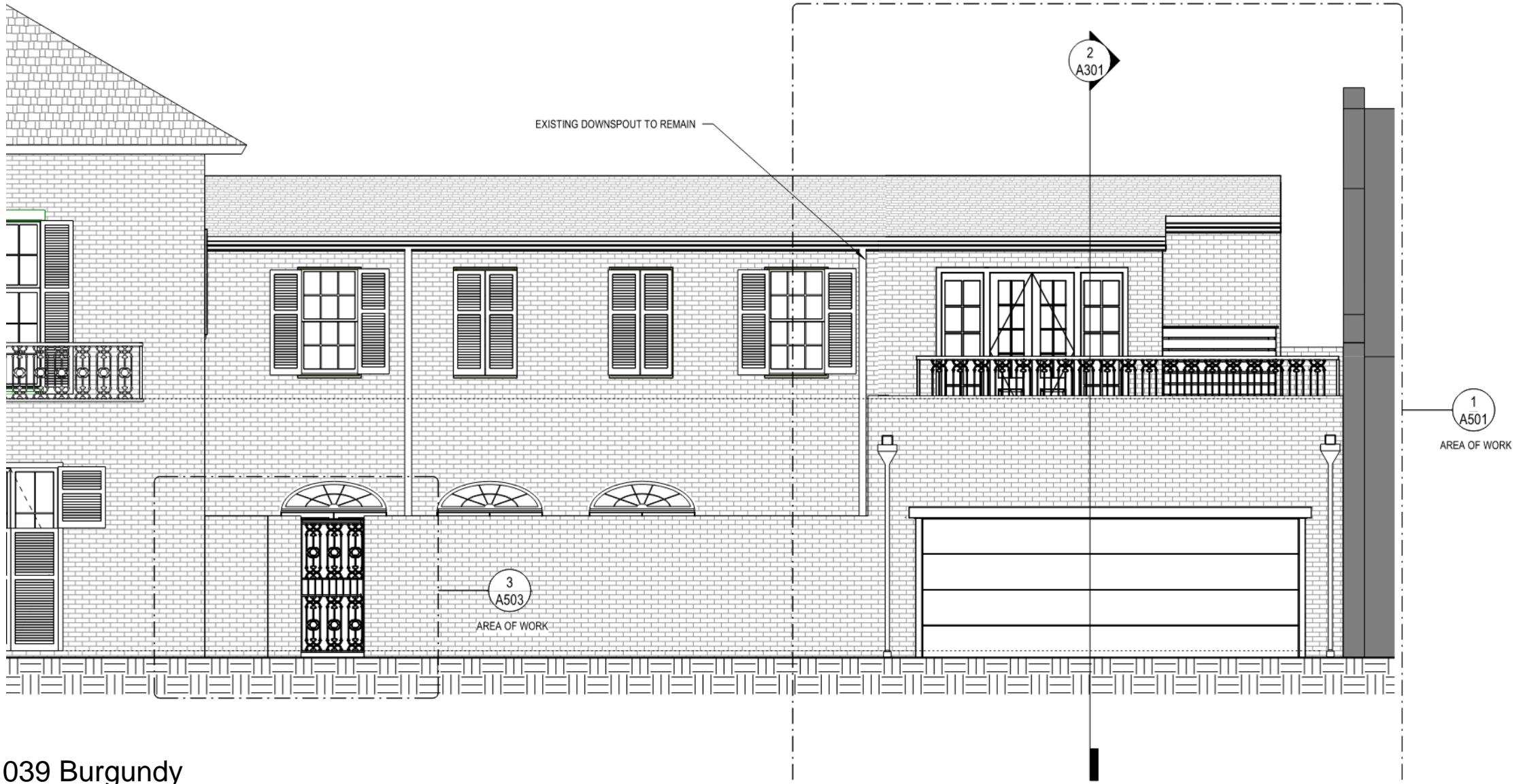
1039 Burgundy

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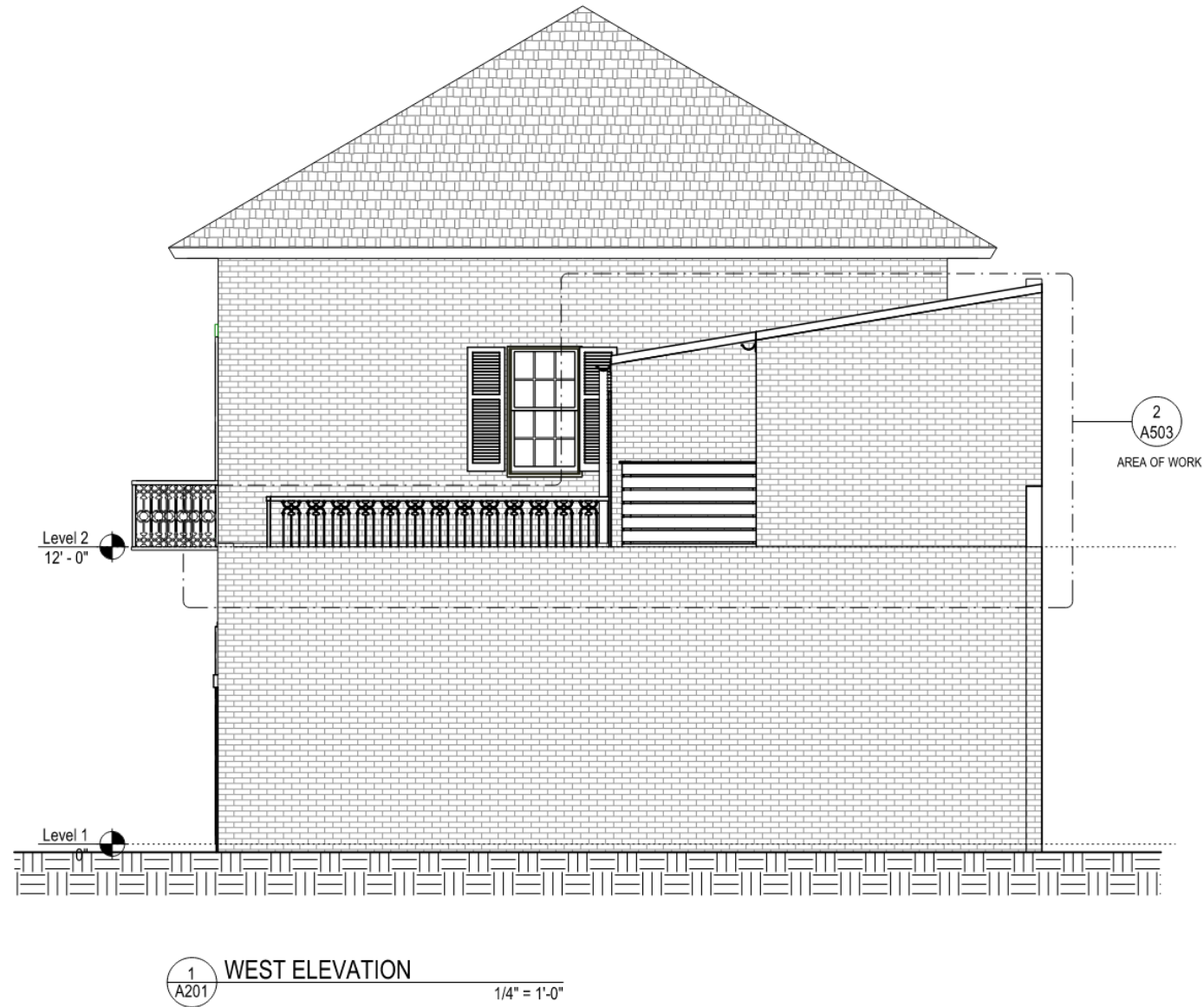


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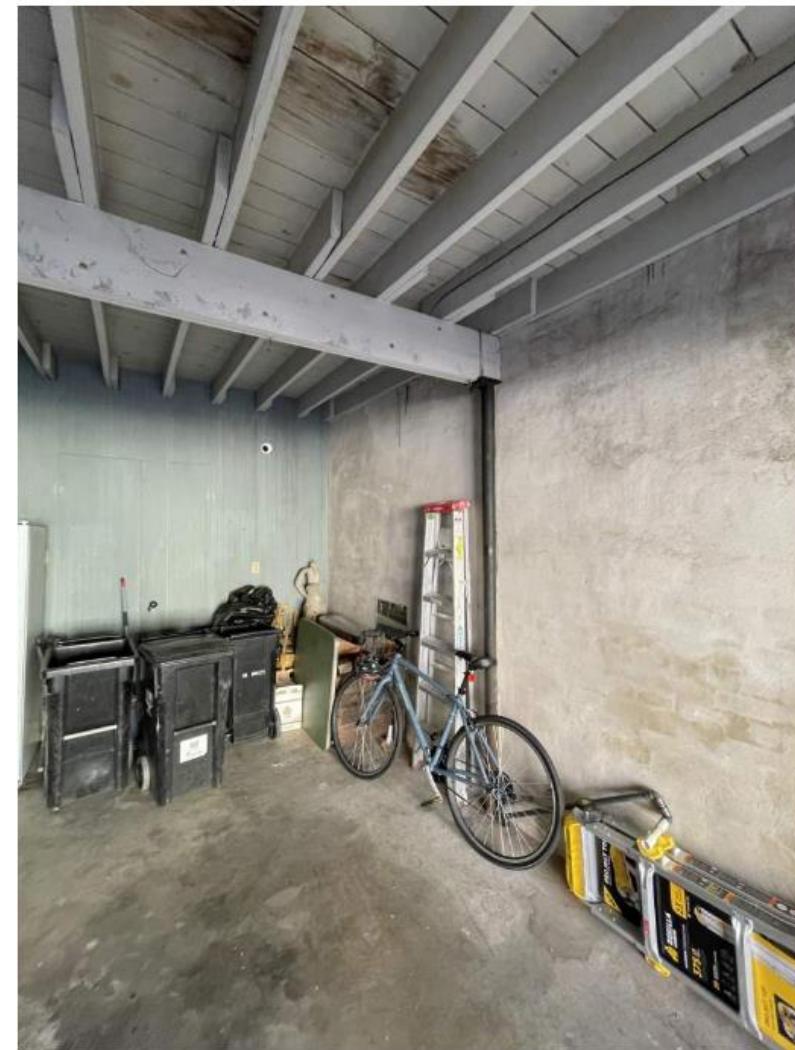
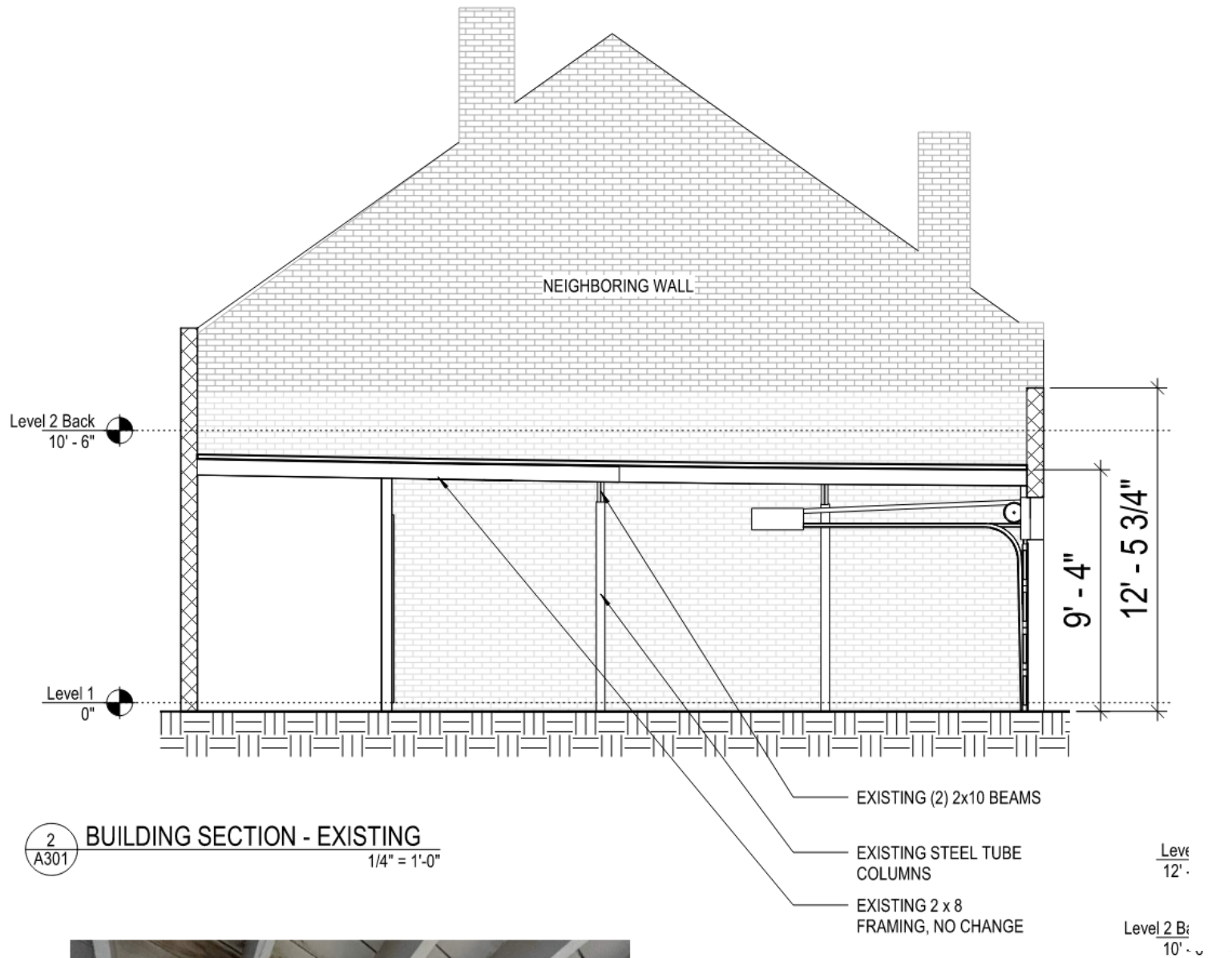
1039 Burgundy

VCC Architectural Committee

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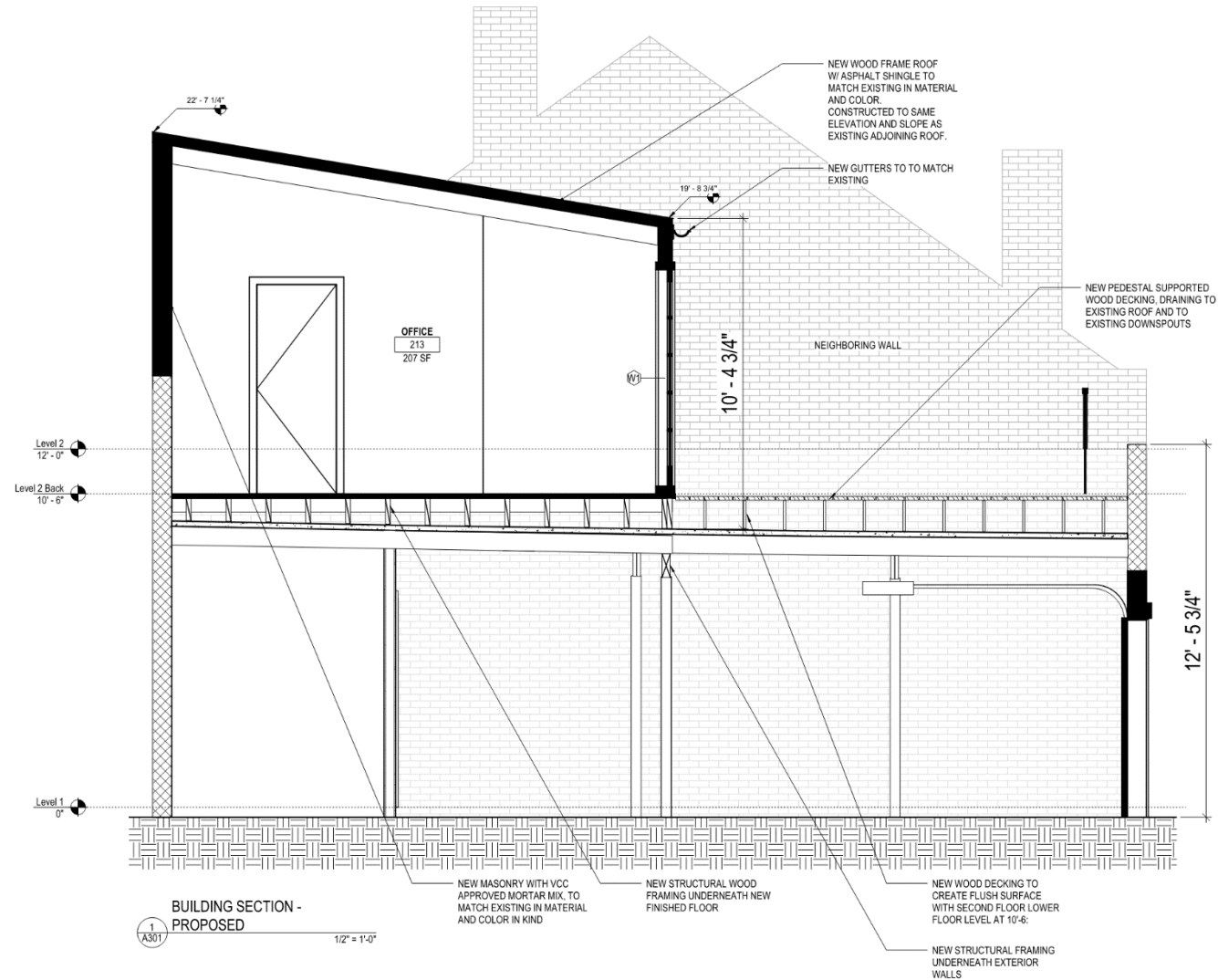
GARAGE INTERIOR

1039 Burgundy



VCC Architectural Committee

June 16, 2022





#### WALL PHASING LEGEND

-  EXISTING WALLS TO REMAIN
-  NEW WALLS AND AREA OF INFILL

#### NOTE

ALL STAMPED STRUCTURAL DRAWING  
TO BE SUBMITTED TO VCC FOR  
APPROVAL.

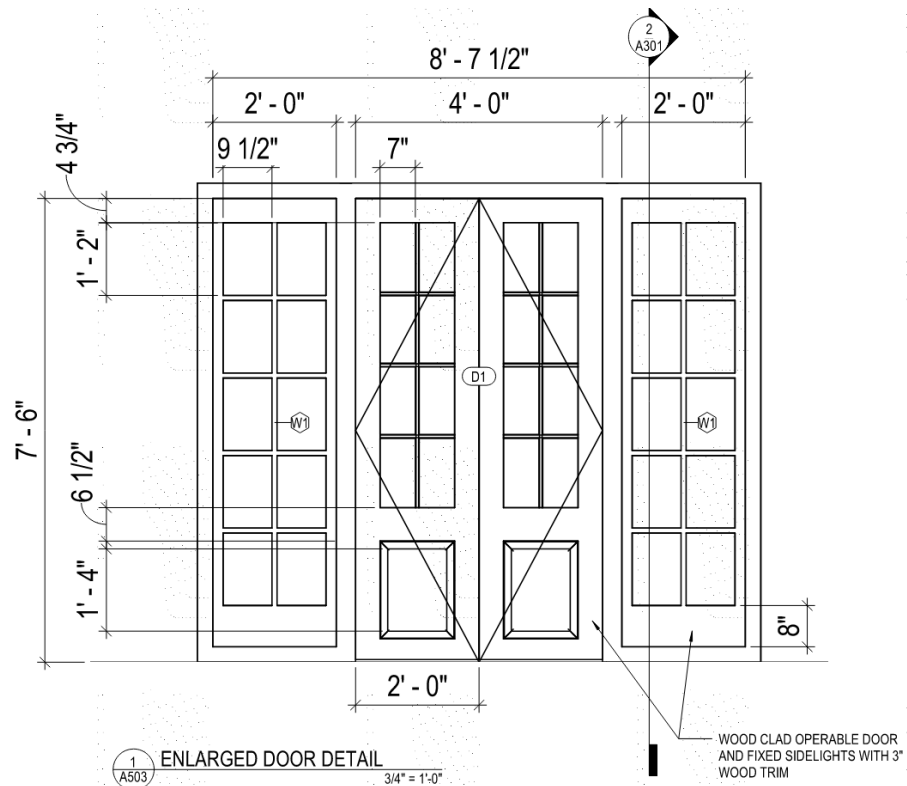
1039 Burgundy

VCC Architectural Committee

June 16, 2022

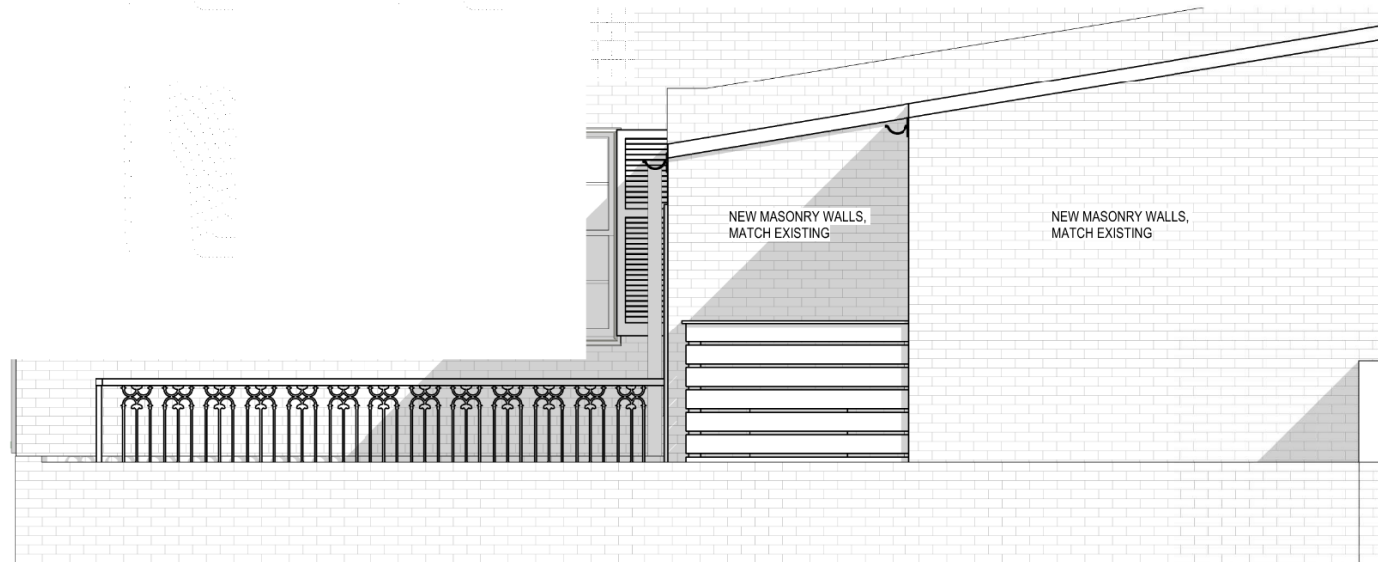






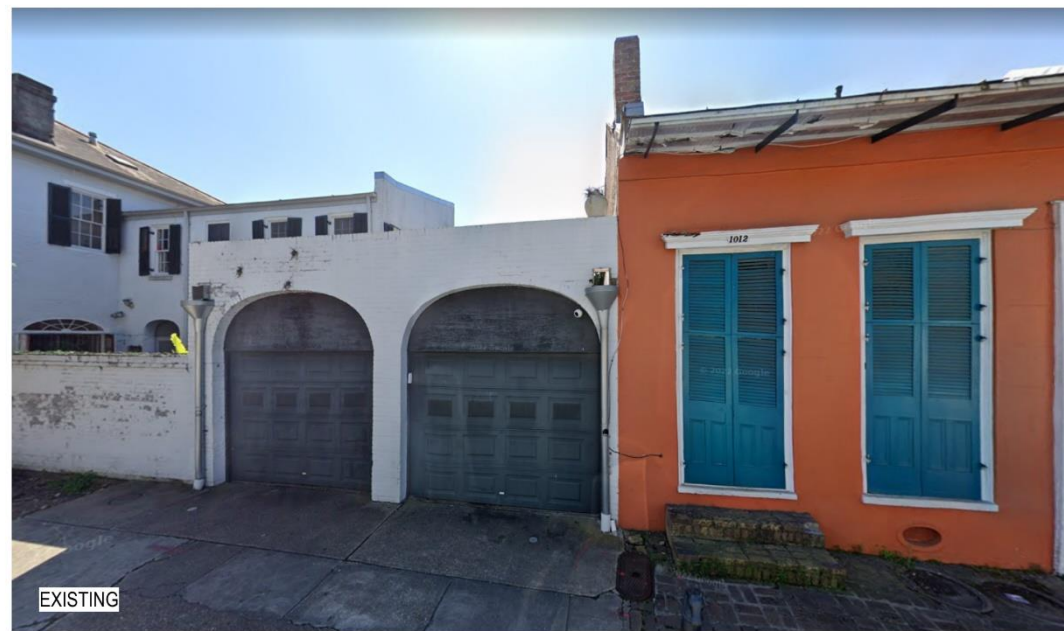
### NOTE

WINDOW AND DOOR MODEL AND MANUFACTURER TO BE SUBMITTED TO VCC FOR APPROVAL



**NOTE**

3D VIEWS ARE DIAGRAMATIC IN NATURE  
ONLY. SEE PLANS AND ELEVATIONS FOR  
DETAILS AND DIMENSIONS



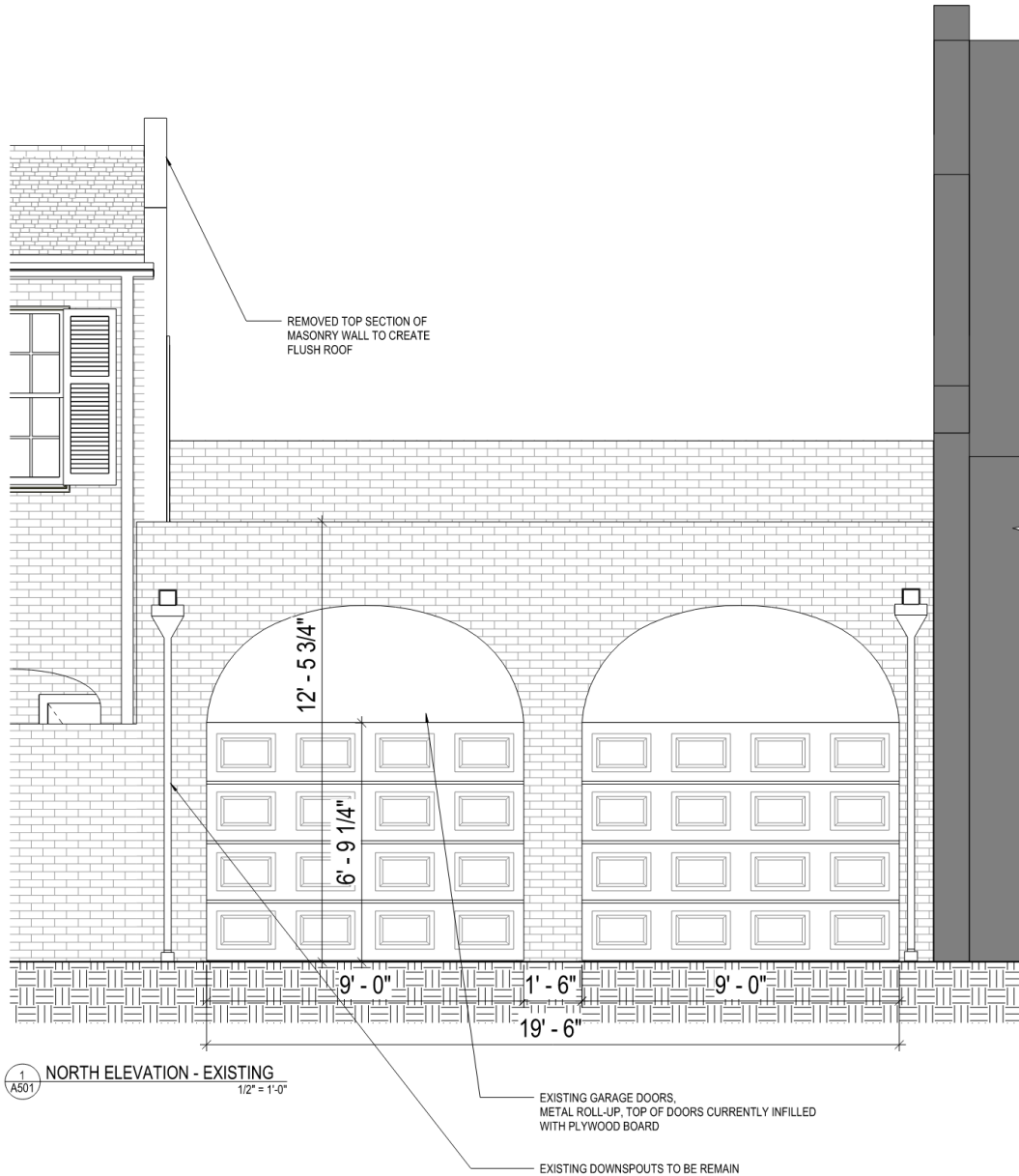
1039 Burgundy

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PHOTOGRAPH OF EXISTING GARAGE DOORS

1039 Burgundy

VCC Architectural Committee

June 16, 2022







1039 Burgundy

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June 16, 2022





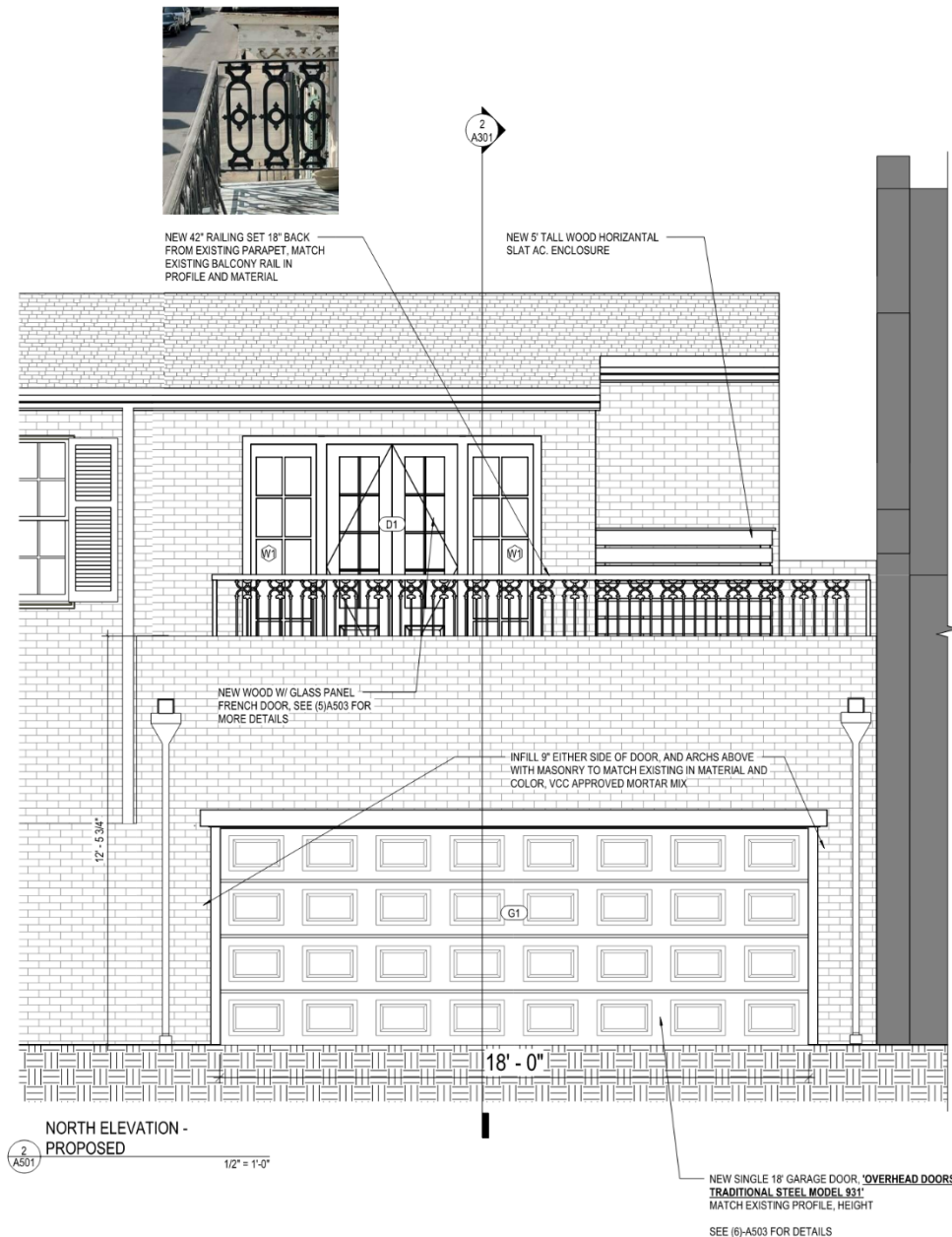


1039 Burgundy

VCC Architectural Committee

June 16, 2022





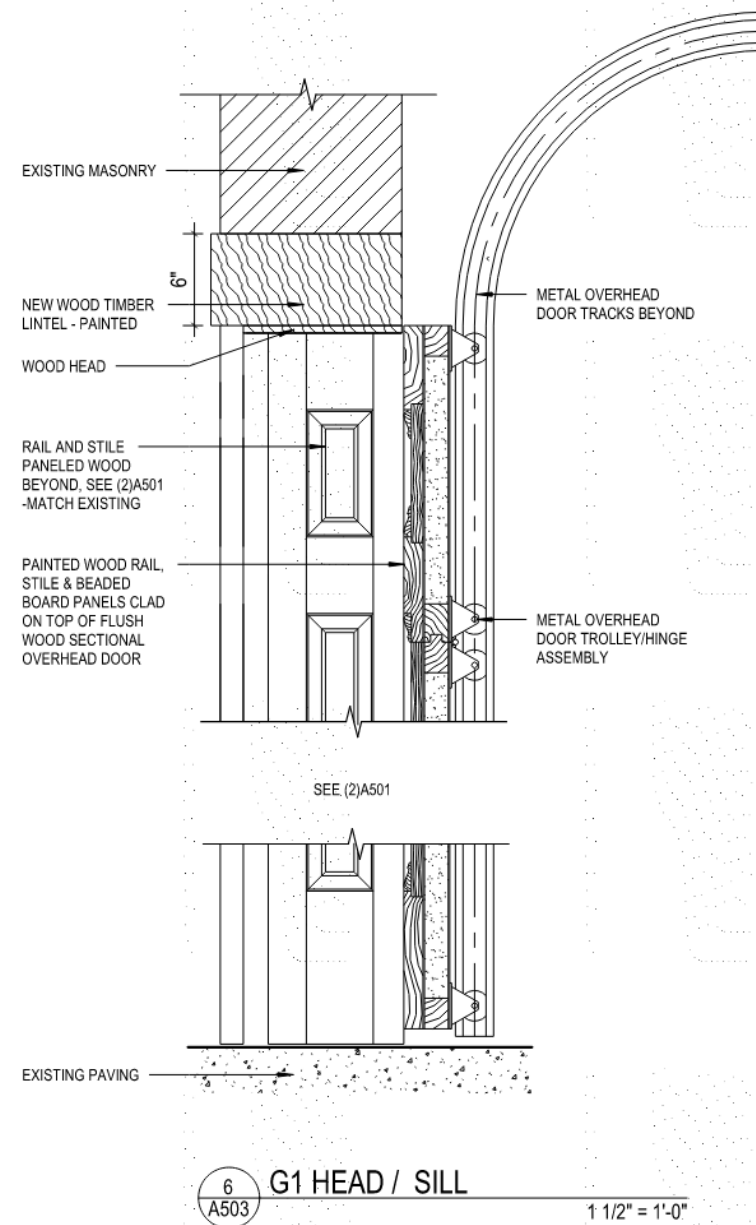
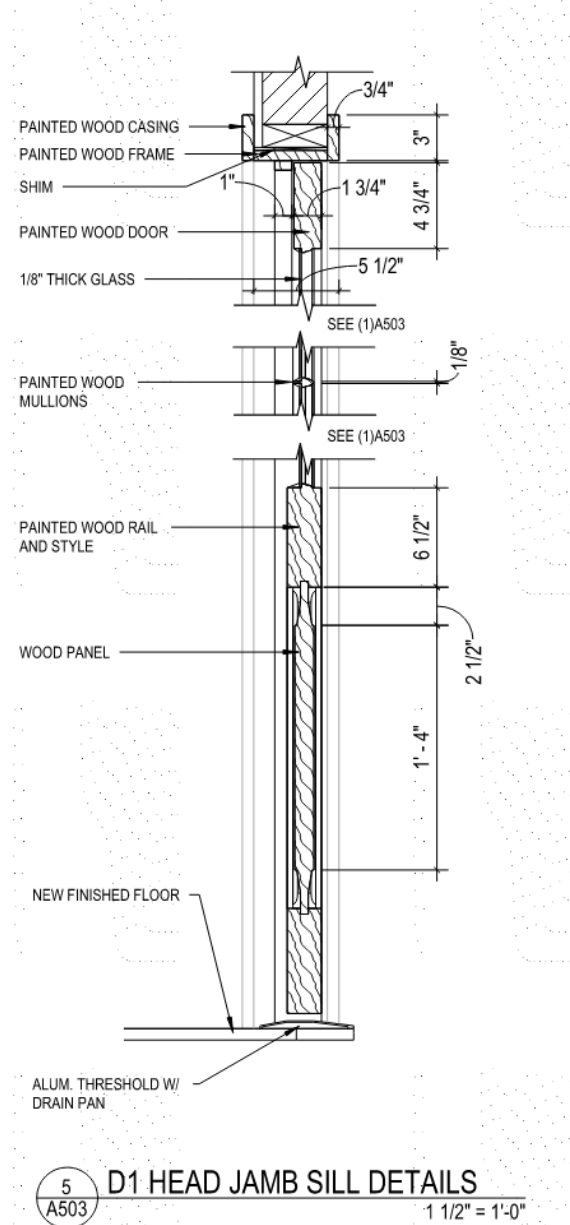
1039 Burgundy

VCC Architectural Committee

June 16, 2022







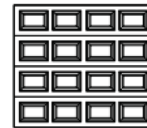
# Door Designs

Select your door panel style and color

## 1 Choose a panel style and model

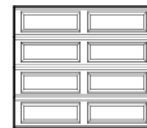
Note:  
Previous model numbers and panel styles are noted in parentheses in gray.

**Standard Panel (SP)**  
(S)



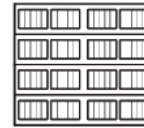
Models 1400, 1440,  
1500, 1540  
(170, 173, 180, 183)

**Long Panel (LP)**  
(L)



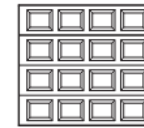
Models 1400, 1440,  
1500, 1540  
(171, 174, 181, 184)

**Vertical Short (VS)**  
(VS)



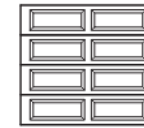
Models 1400, 1440,  
1500, 1540  
(175, 176, 185, 186)

**Standard Panel (SP)**  
(S)



Model 1600  
(391)

**Long Panel (LP)**  
(L)



Model 1600  
(399)

MODELS	1400	1440	1500	1540	1600
Polystyrene insulation			•	•	•
R-value*			7.4	7.4	9.8
Heavy-duty steel		•		•	
Backing			Vinyl	Vinyl	Steel
Warranty	15-Year Limited	Limited Lifetime	20-Year Limited	Limited Lifetime	Limited Lifetime

\* **R-value:** R-value is a measure of thermal efficiency. The higher the R-value the greater the insulating properties of the door. Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

## 2 Choose a color

### Standard finishes



White



Almond



Desert Tan



Taupe/Sandstone\*



Brown

### Textured Wood Grain finishes<sup>††</sup>



Walnut



Mission Oak

Actual colors may vary from brochure due to fluctuations in the printing process. **Always request a color sample from your Overhead Door™ Distributor for accurate color matching before ordering your door.** To custom paint your door see painting instructions in the owner's manual.

\* Called Sandstone on Model 1600.

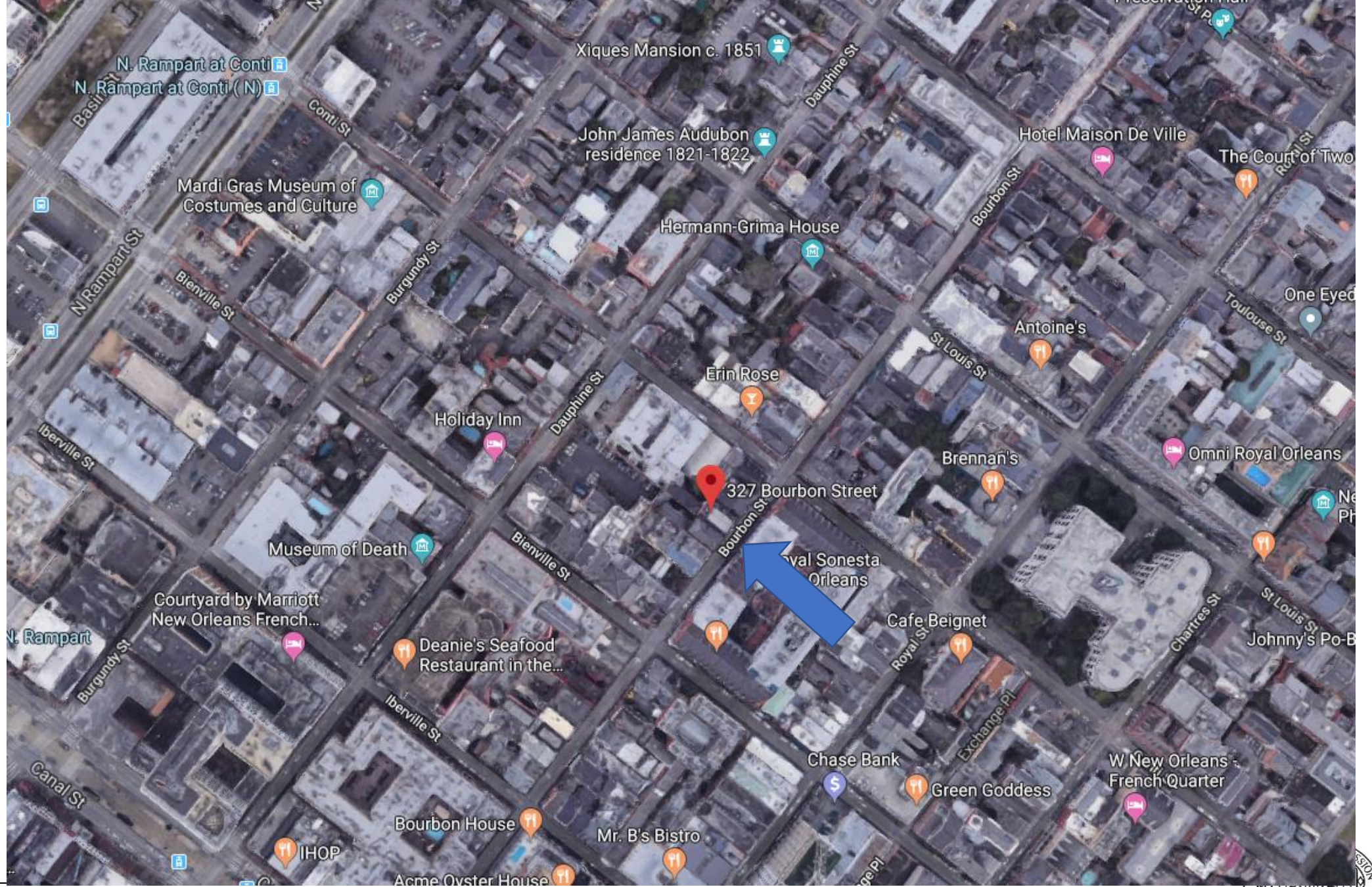
†† Only available on Models 1400 and 1500 and features a uni-directional pattern.





327 Bourbon





327 Bourbon





327 Bourbon

VCC Architectural Committee



June 16, 2022



327 Bourbon - 2018

VCC Architectural Committee



February 23, 2021







327 Bourbon – November, 2020

VCC Architectural Committee

February 23, 2021







327 Bourbon

VCC Architectural Committee

June 16, 2022





327 Bourbon

VCC Architectural Committee



05 19 2022

June 16, 2022





327 Bourbon - 1945

VCC Architectural Committee

June 16, 2022







327 Bourbon - 1951

VCC Architectural Committee

June 16, 2022





327 Bourbon - 1979

VCC Architectural Committee

June 16, 2022







327 Bourbon, 1980

VCC Architectural Committee

June 16, 2022





327 Bourbon, 1980

VCC Architectural Committee



June 16, 2022







327 Bourbon, 1980

VCC Architectural Committee

June 16, 2022





327 Bourbon

VCC Architectural Committee

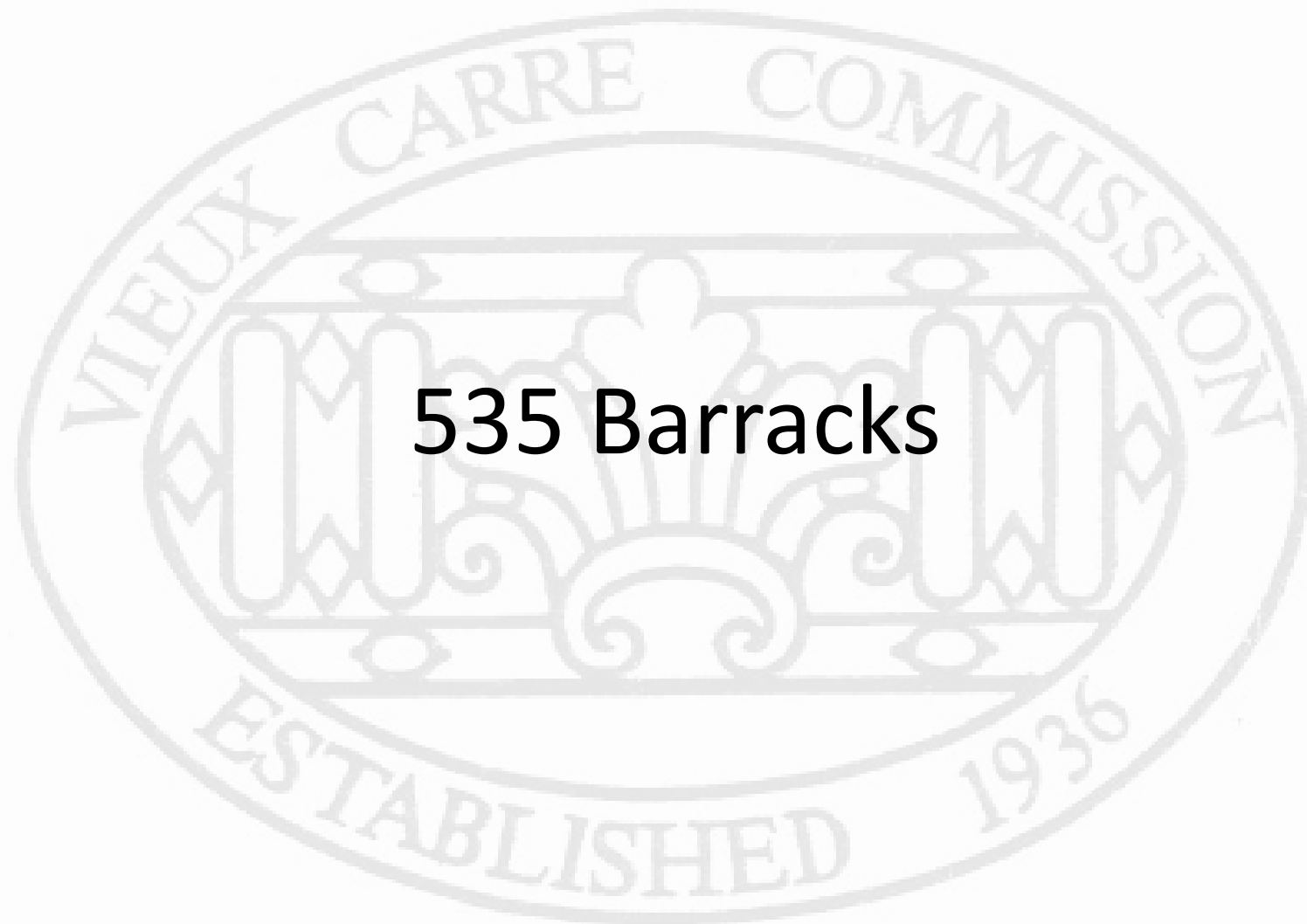


05 19 2022

June 16, 2022







**535 Barracks**



535 Barracks

VCC Architectural Committee

June 16, 2022





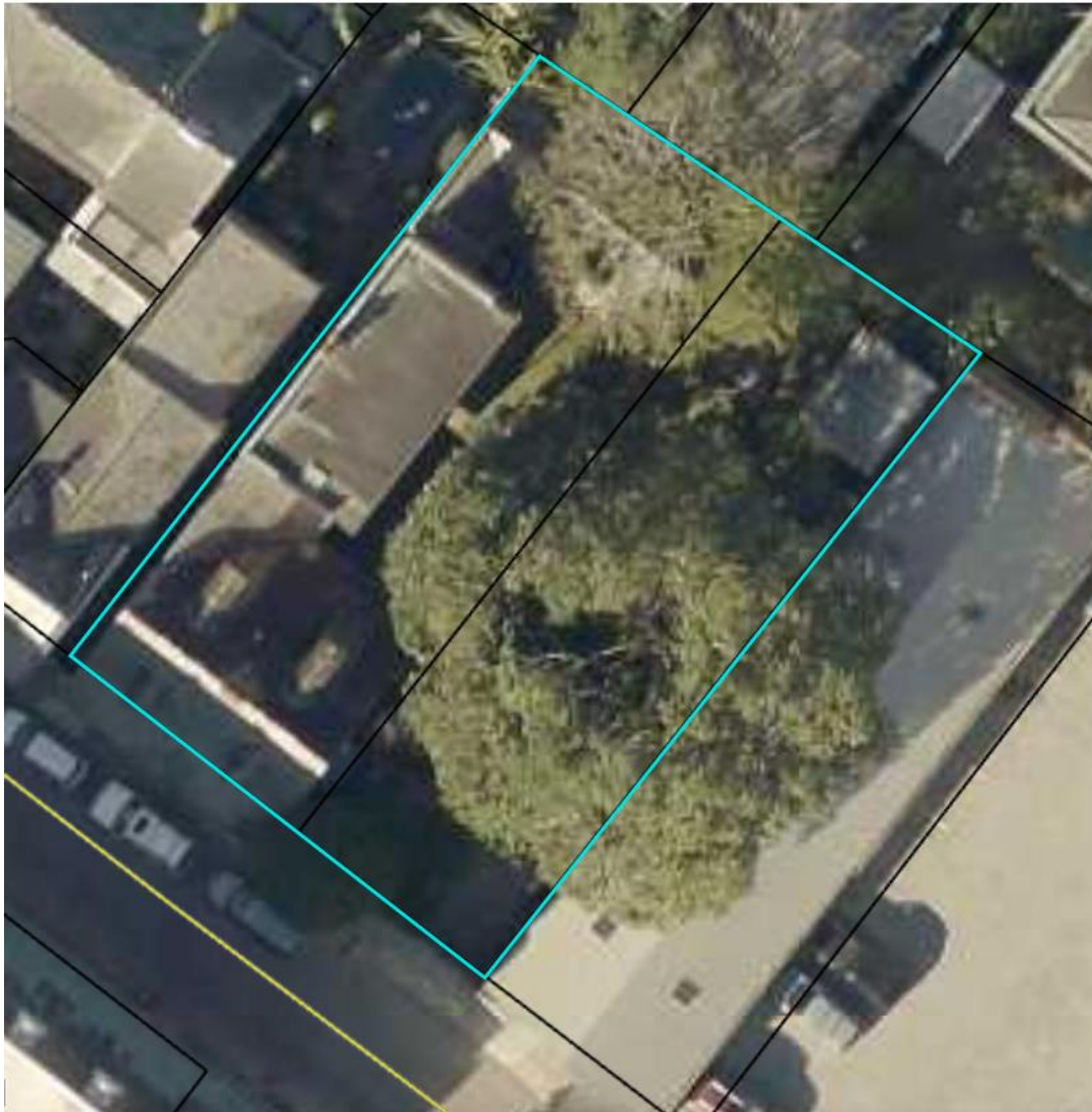


535 Barracks

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535 Barracks

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535 Barracks, ca. 1950s

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June 16, 2022





535 Barracks, ca. 1960s

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June 16, 2022







535 Barracks

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June 16, 2022







535 Barracks

VCC Architectural Committee

June 16, 2022





535 Barracks –  
View from gate

VCC Architectural Committee



04 22 2020

June 16, 2022





535 Barracks –  
View from gate

VCC Architectural Committee



June 16, 2022







535 Barracks

VCC Architectural Committee

June 16, 2022







535 Barracks

VCC Architectural Committee

June 16, 2022







535 Barracks

VCC Architectural Committee

June 16, 2022







535 Barracks

VCC Architectural Committee

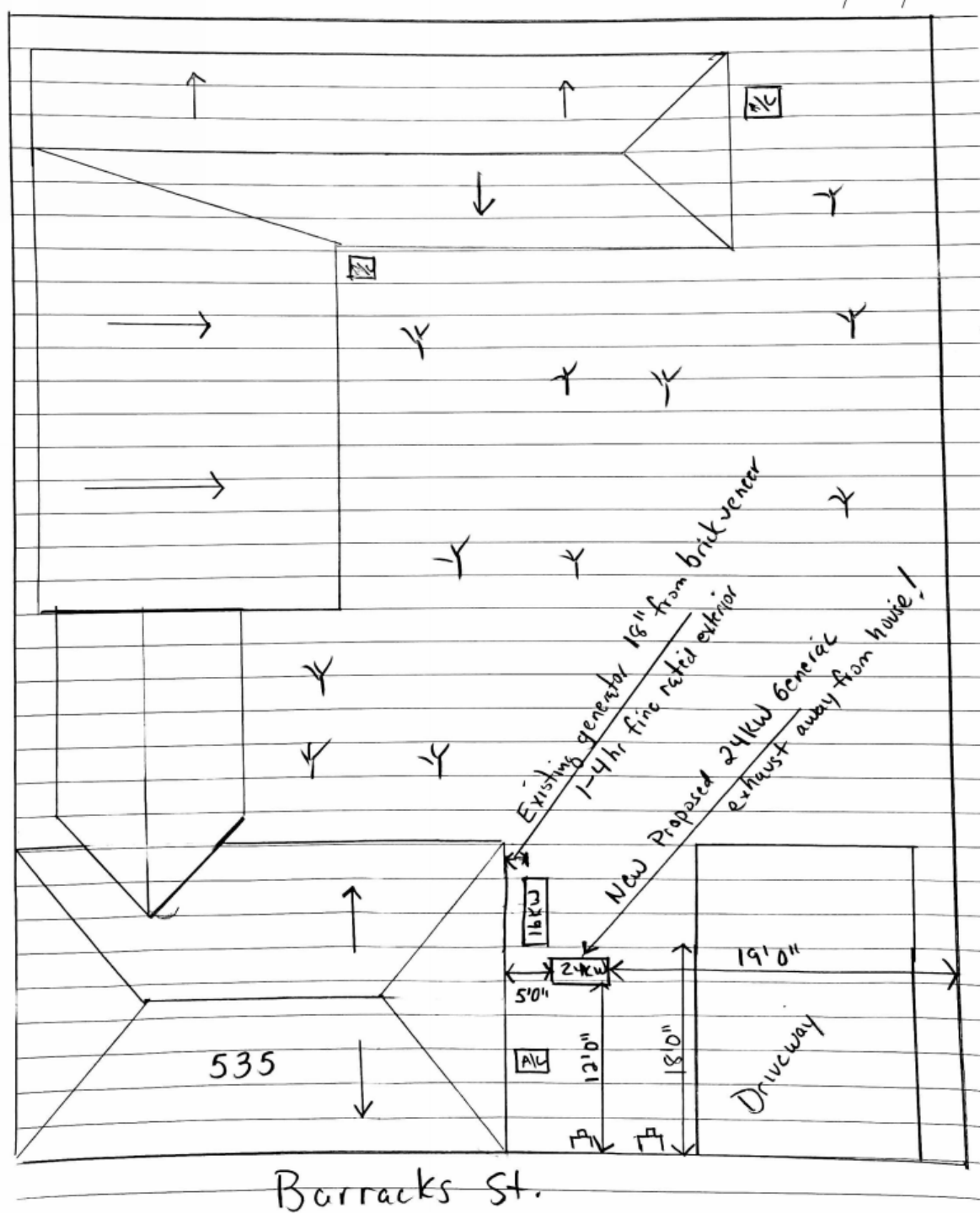
June 16, 2022





535 Barracks

VCC Architectural Committee



June 16, 2022



20/22/24 kW

GENERAC®

GUARDIAN® SERIES  
Residential Standby Generators  
Air-Cooled Gas Engine

INCLUDES:

- True Power™ Electrical Technology
- Two-line multilingual digital LCD Evolution™ controller (English/Spanish/French/Portuguese)
- 200 amp service rated transfer switch available
- Electronic governor
- Standard Wi-Fi® connectivity
- System status & maintenance interval LED indicators
- Sound attenuated enclosure
- Flexible fuel line connector
- Natural gas or LP gas operation
- 5 Year limited warranty
- Listed and labeled by the Southwest Research Institute allowing installation as close as 18 in (457 mm) to a structure.\*  
*\*Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.*  
[https://assets.swri.org/library/DirectoryOfListedProducts/ConstructionIndustry/973\\_DoC\\_204\\_13204-01-01\\_Rev9.pdf](https://assets.swri.org/library/DirectoryOfListedProducts/ConstructionIndustry/973_DoC_204_13204-01-01_Rev9.pdf)

Standby Power Rating

G007038-1, G007039-1, G007038-3, G007039-3 (Aluminum - Bisque) - 20 kW 60 Hz  
G007042-2, G007043-2, G007042-3, G007043-3 (Aluminum - Bisque) - 22 kW 60 Hz  
G007209-0, G007210-0 (Aluminum - Bisque) - 24 kW 60 Hz



Note: ETL or CUL certification only applies to unbundled units and units packaged with limited circuit switches. Units packaged with the Smart Switch are ETL or UL certified in the USA only.

FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
  - ✓ **PROTOTYPE TESTED**
  - ✓ **SYSTEM TORSIONAL TESTED**
  - ✓ **NEMA MG1-22 EVALUATION**
  - ✓ **MOTOR STARTING ABILITY**
- **MOBILE LINK® CONNECTIVITY:** FREE with select Guardian Series Home standby generators, Mobile Link Wi-Fi allows users to monitor generator status from anywhere in the world using a smartphone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account to an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at  $\pm 1\%$ .
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.
- **PWRVIEW™ TRANSFER SWITCH:** The Generac PWRview Automatic Transfer Switch integrates the PWRview energy monitor to provide real-time energy consumption data that can help lower a home's electricity bill. Using a convenient mobile app, homeowners can access energy usage and alert information while under utility power or generator power. The PWRview energy monitor is a simple to use and low cost tool which helps save money over the life of the generator. Included with model G007210-0.

535 Barracks

VCC Architectural Committee

THE GENERAC  
PROMISE



GENERAC

PWRVIEW

June 16, 2022





**20/22/24 kW**
**Engine**

- Generac G-Force design
- "Spiny-lok" cast iron cylinder walls
- Electronic ignition/spark advance
- Full pressure lubrication system
- Low oil pressure shutdown system
- High temperature shutdown

Maximizes engine "breathing" for increased fuel efficiency. Plateau honed cylinder walls and plasma moly rings help the engine run cooler, reducing oil consumption and resulting in longer engine life.

Rigid construction and added durability provide long engine life.

These features combine to assure smooth, quick starting every time.

Pressurized lubrication to all vital bearings means better performance, less maintenance, and longer engine life. Now featuring up to a 2 year/200 hour oil change interval.

Shutdown protection prevents catastrophic engine damage due to low oil.

Prevents damage due to overheating.

**Generator**

- Revolving field
- Skewed stator
- Displaced phase excitation
- Automatic voltage regulation
- UL 2200 listed

Allows for a smaller, light weight unit that operates 25% more efficiently than a revolving armature generator.

Produces a smooth output waveform for compatibility with electronic equipment.

Maximizes motor starting capability.

Regulating output voltage to  $\pm 1\%$  prevents damaging voltage spikes.

For your safety.

**Transfer Switch (if applicable)**

- Fully automatic
- NEMA 3R
- Integrated load management technology
- Remote mounting

Transfers vital electrical loads to the energized source of power.

Can be installed inside or outside for maximum flexibility.

Capability to manage additional loads for efficient power management.

Mounts near an existing distribution panel for simple, low-cost installation.

**PWRview Transfer Switch (if applicable)**

- PWRview energy monitor
- Ability to view real-time energy consumption data
- PWRview mobile app

Energy usage at-a-glance.

Better understand the home's energy profile.

Access daily energy intelligence and insights.

**Evolution™ Controls**

- AUTO/MANUAL/OFF illuminated buttons
- Two-line multilingual LCD
- Sealed, raised buttons
- Utility voltage sensing
- Generator voltage sensing
- Utility interrupt delay
- Engine warm-up
- Engine cool-down
- Programmable exercise

Selects the operating mode and provides easy, at-a-glance status indication in any condition.

Provides homeowners easily visible logs of history, maintenance, and events up to 50 occurrences.

Smooth, weather-resistant user interface for programming and operations.

Constantly monitors utility voltage, setpoints 65% dropout, 80% pick-up, of standard voltage.

Constantly monitors generator voltage to verify the cleanest power delivered to the home.

Prevents nuisance start-ups of the engine, adjustable 2-1500 seconds from the factory default setting of 5 seconds by a qualified dealer.

Verifies engine is ready to assume the load, setpoint approximately 5 seconds.

Allows engine to cool prior to shutdown, setpoint approximately 1 minute.

Operates engine to prevent oil seal drying and damage between power outages by running the generator for 5 minutes every other week. Also offers a selectable setting for weekly or monthly operation providing flexibility and potentially lower fuel costs to the owner.

Delivers charge to the battery only when needed at varying rates depending on outdoor air temperature.

Compatible with lead acid and AGM-style batteries.

Protects generator from overload.

Maintains constant 60 Hz frequency.

- Smart battery charger
- Main line circuit breaker
- Electronic governor

**GENERAC**

## Features and Benefits

### 20/22/24 kW

#### Unit

- SAE weather protective enclosure
- Enclosed critical grade muffler
- Small, compact, attractive

Sound attenuated enclosures ensure quiet operation and protection against mother nature, withstanding winds up to 150 mph (241 km/h). Hinged key locking roof panel for security. Lift-out front for easy access to all routine maintenance items. Electrostatically applied textured epoxy paint for added durability.

Quiet, critical grade muffler is mounted inside the unit to prevent injuries.

Makes for an easy, eye appealing installation, as close as 18 in (457 mm) away from a structure.

#### Installation System

- 14 in (35.6 cm) flexible fuel line connector
- Integral sediment trap

Listed ANSI Z21.75/CSA 6.27 outdoor appliance connector for the required connection to the gas supply piping.

Meets IFGC and NFPA 54 installation requirements.

#### Connectivity (Wi-Fi equipped models only)

- Ability to view generator status
- Ability to view generator Exercise/Run and Total Hours
- Ability to view generator maintenance information
- Monthly report with previous month's activity
- Ability to view generator battery information
- Weather information

Monitor generator with a smartphone, tablet, or computer at any time via the Mobile Link application for complete peace of mind.

Review the generator's complete protection profile for exercise hours and total hours.

Provides maintenance information for the specific model generator when scheduled maintenance is due.

Detailed monthly reports provide historical generator information.

Built in battery diagnostics displaying current state of the battery.

Provides detailed local ambient weather conditions for generator location.





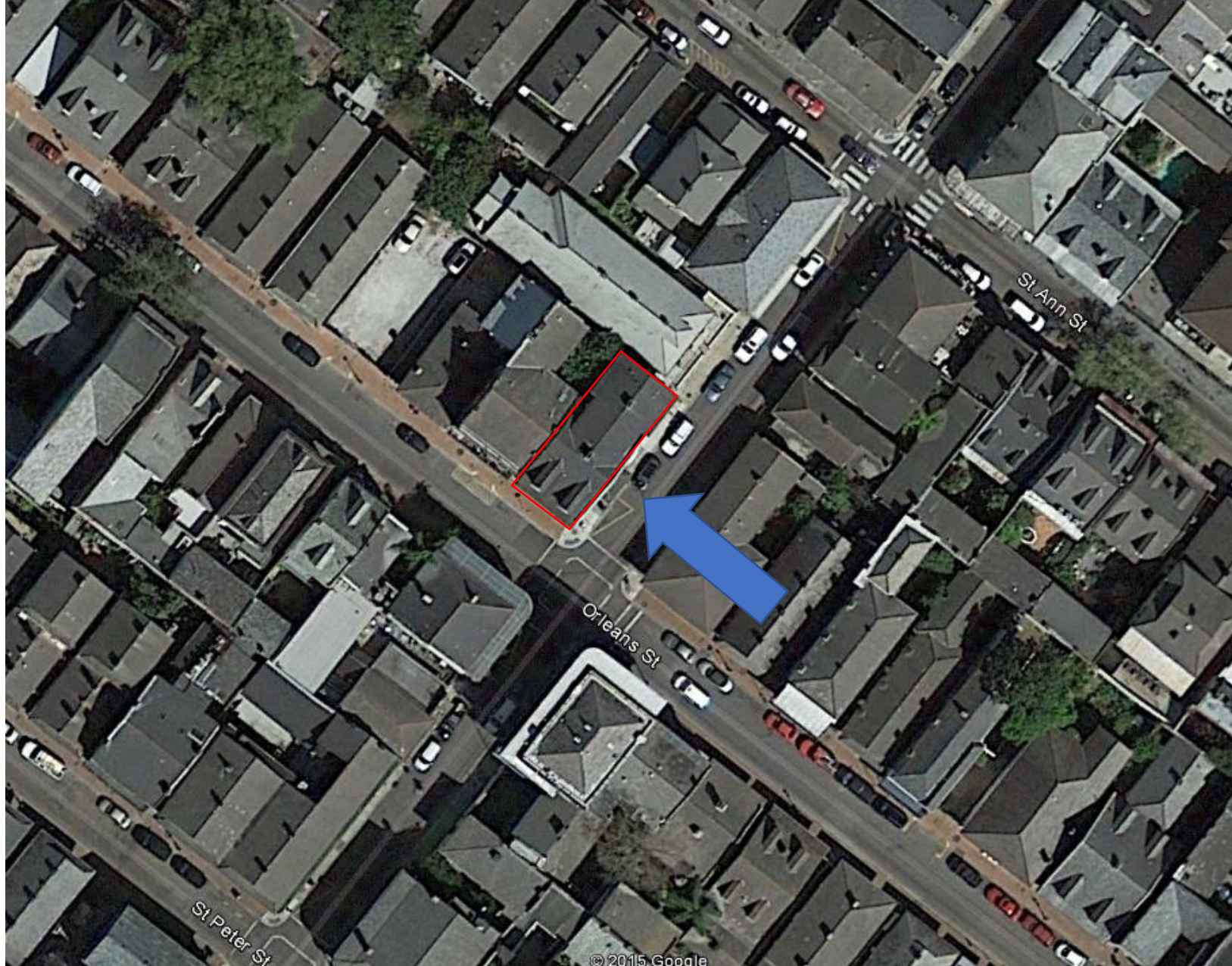
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# Appeals and Violations

901 Orleans

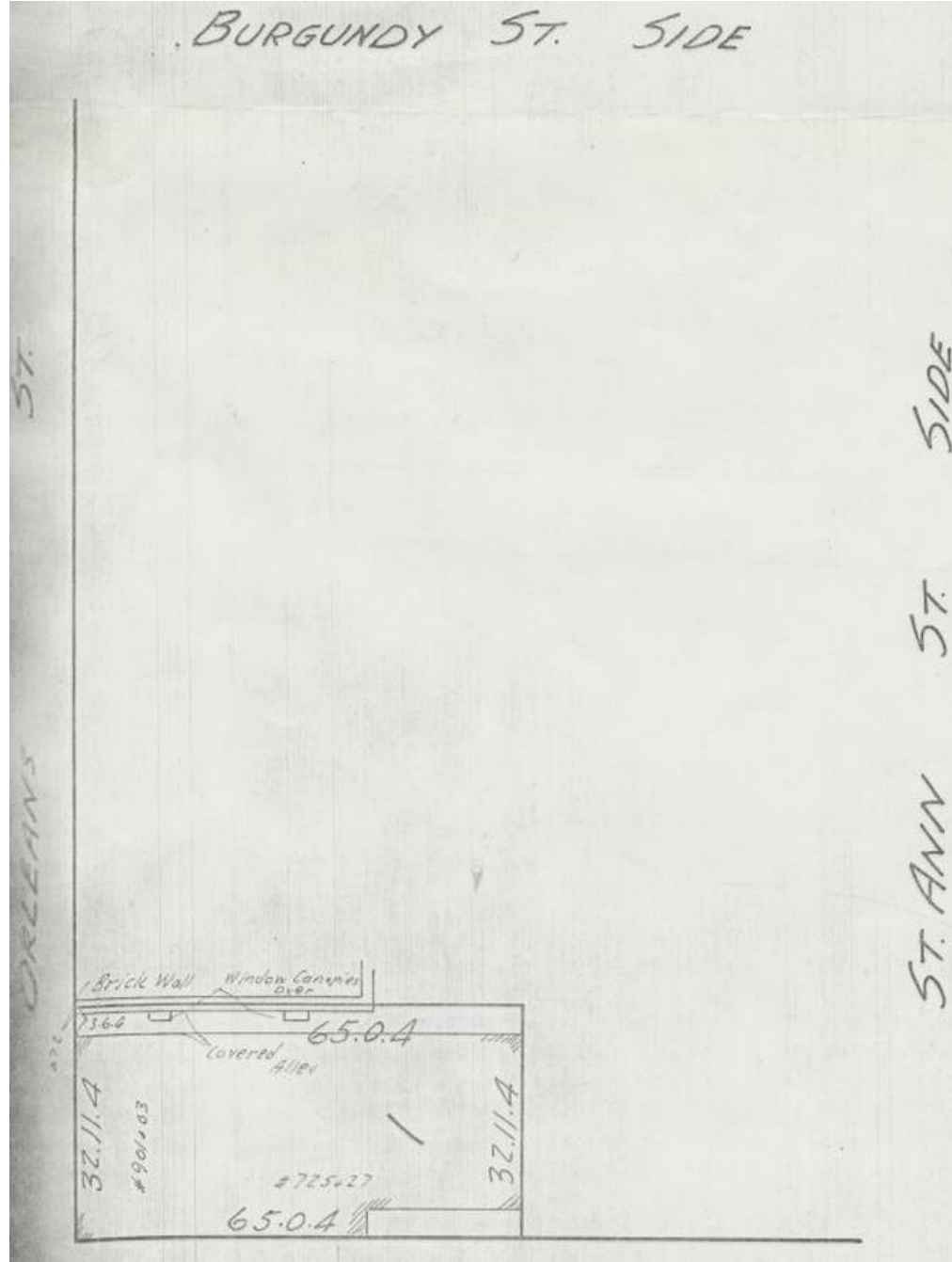






901 Orleans

901 Orleans







c. 1962

901 Orleans



901 Orleans

VCC Architectural Committee

June 16, 2022







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June 16, 2022





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VCC Architectural Committee

June 16, 2022







901 Orleans

VCC Architectural Committee

June 16, 2022







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VCC Architectural Committee

June 16, 2022







901 Orleans – 2011

VCC Architectural Committee

June 16, 2022







901 Orleans – 2011

VCC Architectural Committee

June 16, 2022







901 Orleans

VCC Architectural Committee

June 16, 2022







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VCC Architectural Committee

June 16, 2022







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June 16, 2022







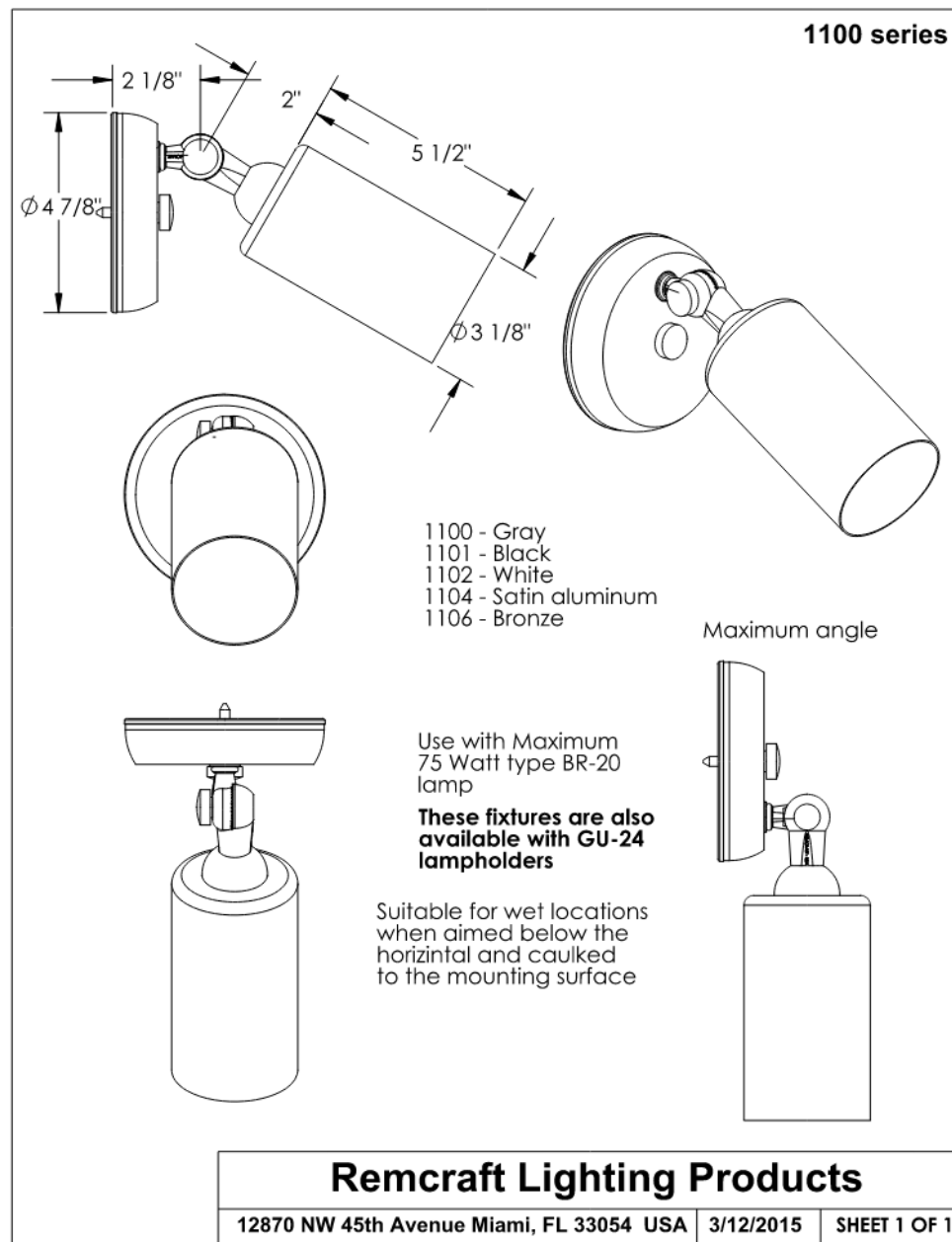
901 Orleans

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June 16, 2022







905 Orleans







905 Orleans

VCC Architectural Committee

June 16, 2022







905 Orleans - 1963





905 Orleans

VCC Architectural Committee

June 16, 2022





905 Orleans – Previously Existing Window Units





905 Orleans – Previously Existing Window Units





905 Orleans

VCC Architectural Committee

June 16, 2022





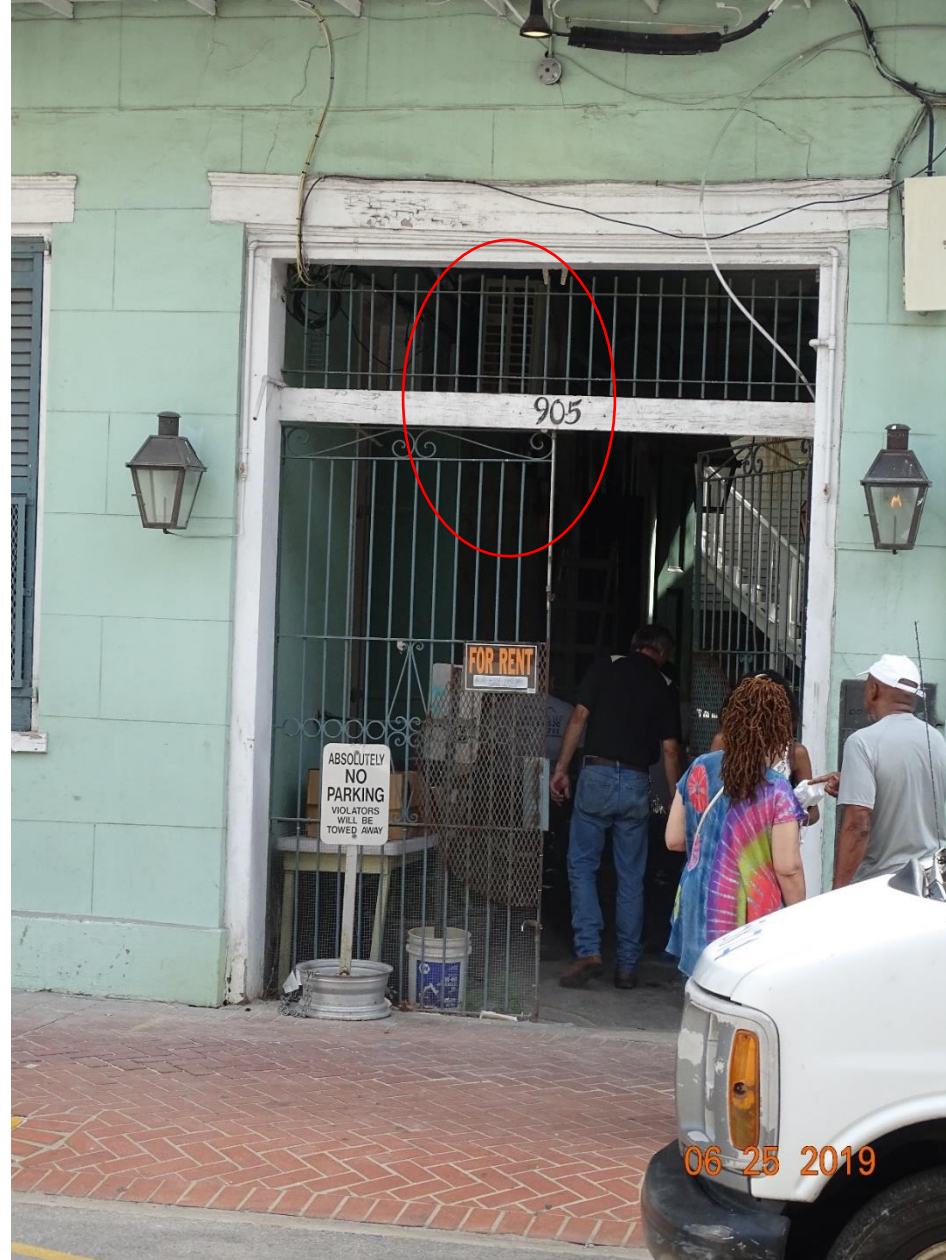


905 Orleans

VCC Architectural Committee

June 16, 2022





905 Orleans

VCC Architectural Committee

June 16, 2022







905 Orleans

VCC Architectural Committee

June 16, 2022





905 Orleans

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June 16, 2022







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June 16, 2022





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June 16, 2022







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VCC Architectural Committee

June 16, 2022





905 Orleans

VCC Architectural Committee

June 16, 2022







905 Orleans

VCC Architectural Committee

June 16, 2022







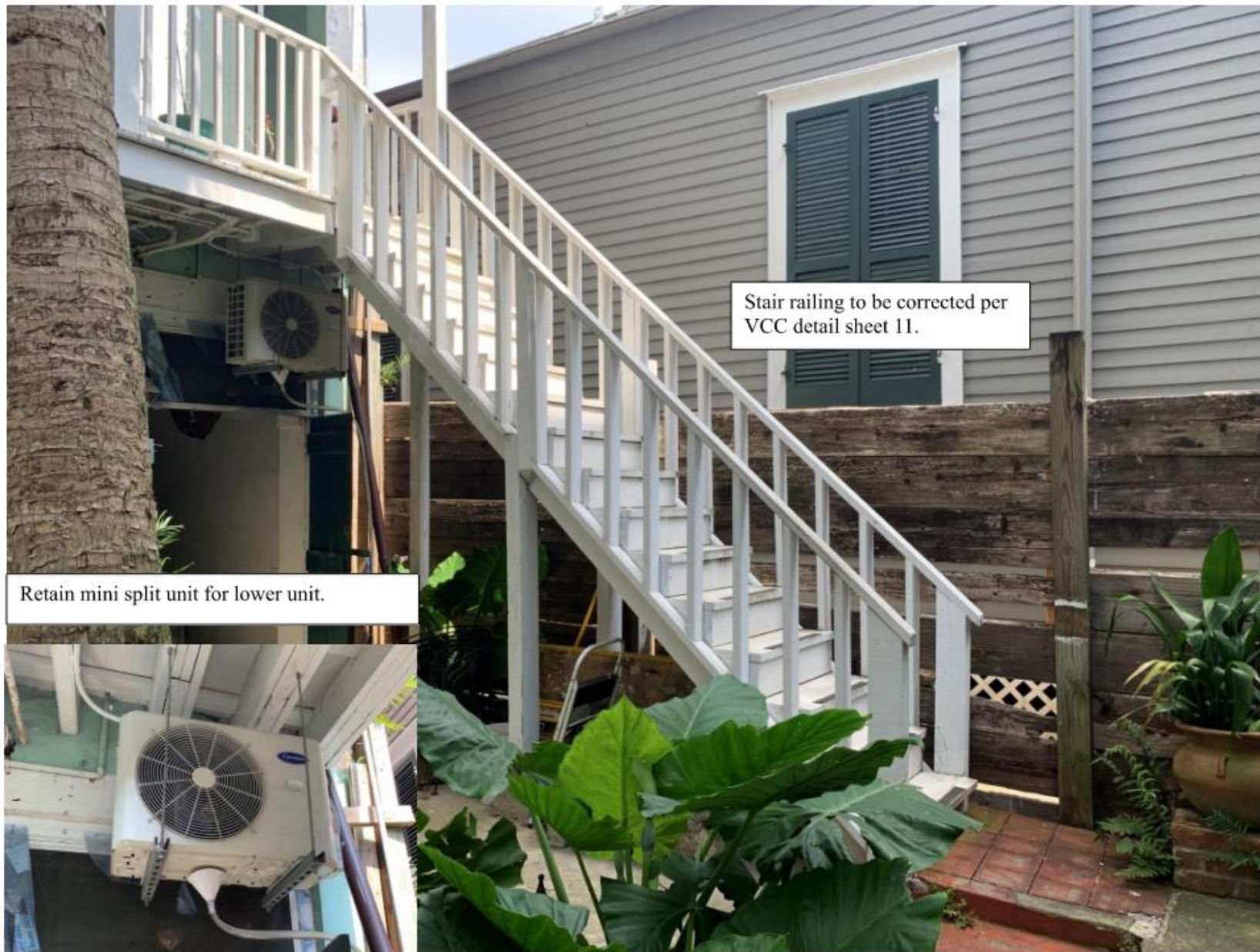
905 Orleans

VCC Architectural Committee

June 16, 2022







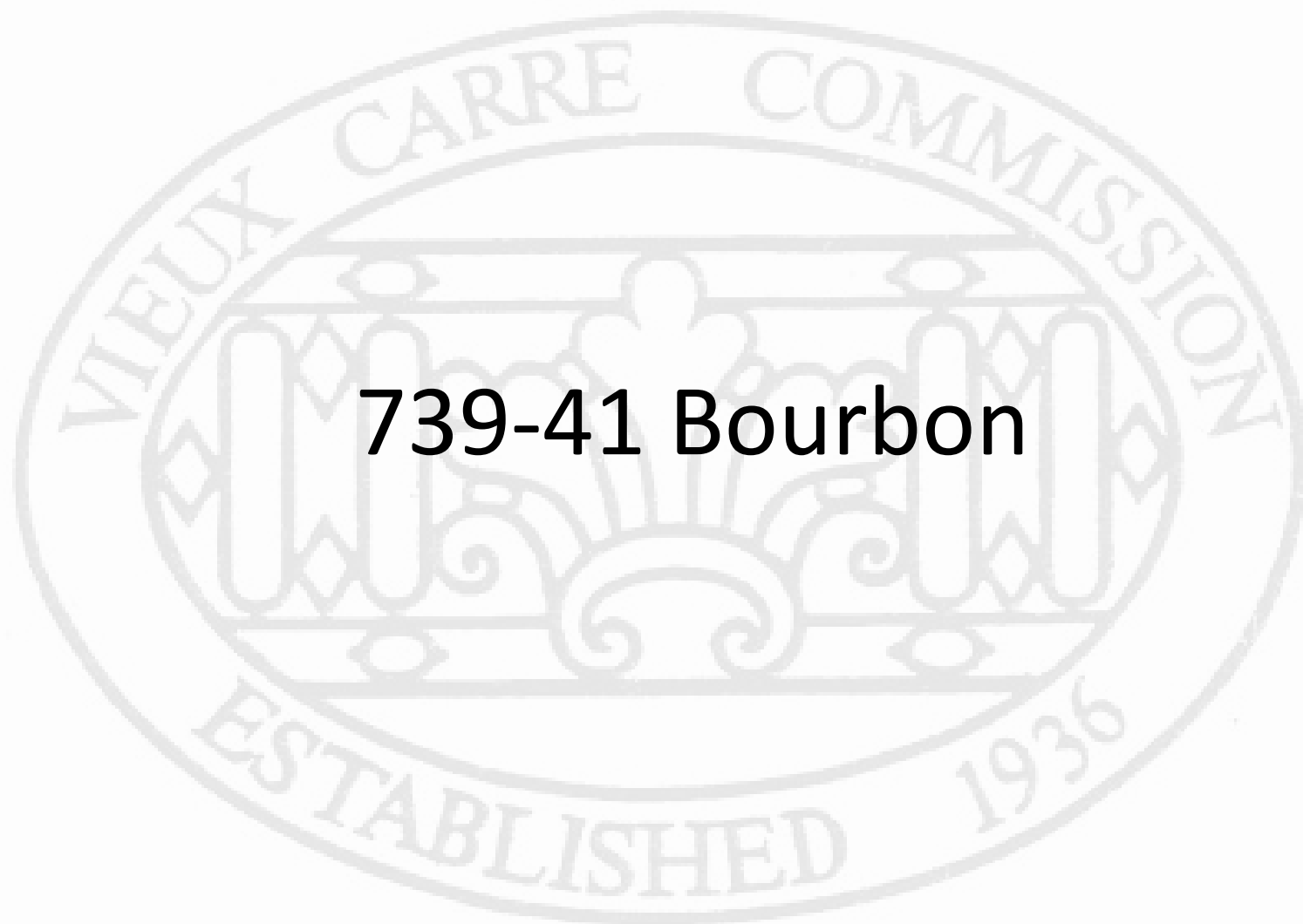
905 Orleans

VCC Architectural Committee

June 16, 2022



**739-41 Bourbon**







739-741 Bourbon – ca. 1937



739-741 Bourbon

VCC Architectural Committee

January 30, 2018







739-741 Bourbon

VCC Architectural Committee

January 30, 2018







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022







739-741 Bourbon

VCC Architectural Committee

June 16, 2022





CONSTRUCTION DOCUMENTS

739-741 BOURBON ST RENOVATION  
739-741 BOURBON ST  
NEW ORLEANS LA 70116

PROPERTY DESCRIPTION  
SQ 14 LOT 13 BOURBON AND ST ANN 32X115 739-741 BOURBON STREET

OWNER:  
741 BOURBON STREET LLC  
ET AL, C/O BEQUE MANAGEMENT LLC  
2127 DAUPHINE ST  
NEW ORLEANS, LA 70116

PROJECT DESCRIPTION  
RENOVATION OF AN EXISTING RETAIL SHOP FOR A NEW TENANT ON THE 1ST FLOOR OF THE MAIN CORNER STRUCTURE. MINOR EXTERIOR RENOVATIONS TO ADDRESS OPEN V.C.C. FLAGS.

ZONING DISTRICT: VCE - Vieux Carre Entertainment District

PROPOSED DEVELOPMENT:  
MAIN BUILDING SQUARE FOOTAGE (TOTAL): 1,425 SQ. FT.

NO. OF STORIES: 1  
PROJECT ON FLOOR: 1

CONSTRUCTION TYPE:  
B/C/F/C: NFA - COMMON TERMINOLOGY  
TYPE 18-6: 81 (2003) - UNPROTECTED ORDINARY

OCCUPANCY TYPE:  
B/C: MERCANTILE (M)  
NFA: MERCANTILE

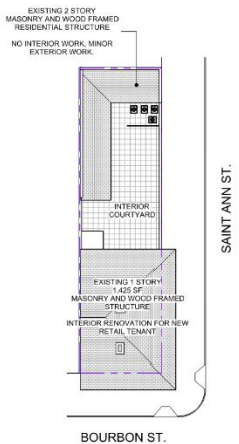
SPRINKLERED / FIRE ALARM:  
NO / NO

APPLICABLE CODES:  
2015 IBC WITH NEW ORLEANS CODE ADOPTIONS  
2015 INTERNATIONAL MECHANICAL CODE  
2015 LOUISIANA STATE PLUMBING CODE  
2014 NATIONAL ELECTRIC CODE  
2015 ADA ACCESS GUIDELINES

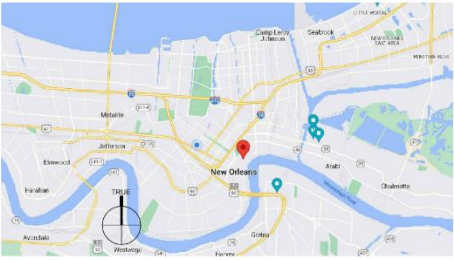
ARCHITECT:  
M3 DESIGN GROUP LLC  
328 BARRIS ST.  
NEW ORLEANS, LA 70119  
MYLES@M3DESIGNGROUP.COM  
504-585-9952

STRUCTURAL/CIVIL ENGINEER:  
MORPHY MARKOVSKY INC.  
JOSHUA J. NEAU  
336 N. NORMAN C. FRANCIS PARKWAY  
NEW ORLEANS, LA 70119  
504-486-1317

PROJECT INFORMATION



1 SITE PLAN - TITLE SHEET  
1" = 20'-0"



1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMN, AND FACES OF EXISTING WALLS.
4. THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HUNG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS.
5. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
6. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
7. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
8. COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
9. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATION PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
11. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES

SHEET LIST				
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Description
A1.0	TITLE SHEET	05/17/22		
A2.0	NOTES	05/17/22		
A3.0	FLOOR PLANS	05/17/22		
A4.0	EXTERIOR STREET ELEVATIONS	05/17/22		
A4.1	COURTYARD ELEVATIONS	05/17/22		
A5.0	FENESTRATION	05/17/22		
A6.0	STRUCTURAL REPORT	05/17/22		

DbyN Violations	Description of Violation	Method of Abatement
1. Brick	Brick/mortar damage/deterioration/deformation on the building's property.	Report brick as needed with VCC mortar mix. Replace brick as needed on wall between service building and main building. Brick must match in material, color, and harness. SEE STRUCTURAL ENGINEER REPORT.
2. Stucco	Stucco damage/deterioration/deformation present on the building's property.	Repair deteriorated stucco on rear section of service building with VCC stucco mix.
3. Courtyard, Paving	Courtyard ground/materials damaged/deteriorated/deformed.	Courtyard pavers will be excavated and retained. Courtyard to be regraded and drainage corrected. Courtyard to be repaved with brick to match.
4. Fence, Gate	Fence/gate damage/deterioration/deformation present on the building's property.	Report brick as needed with VCC mortar mix. Replace brick as needed must match in material, color, and harness. SEE STRUCTURAL ENGINEER REPORT.
5. Roof	Roof damage/deterioration present on the building's property.	Replace missing slates on roof with matching.
6. Chimney	Chimney damage/deterioration/deformation present on the building's property.	Report chimney with VCC mortar mix. SEE STRUCTURAL ENGINEER REPORT.
7. Windows	Window/door trim missing or damage/deterioration/deformation present on the building's property.	Repair and paint windows as needed.
8. Doors	Door/door trim missing or damage/deterioration/deformation present on the building's property.	Repair and paint doors as needed.
9. Trim	Trim/wooden trim damage/deterioration/deformation present on the building's property.	Repair and paint trim to match as needed.
10. Shutters	Shutter damage/deterioration present on the building's property.	Repair all deteriorated shutters in courtyard first floor to match existing.
11. Paint	Paint deterioration present on the building's property.	Paint to match as needed.
12. Vegetation	Vegetation growing from/on building and/or surrounding area. Vegetation on building which can cause damage to the building and is likely a sign of moisture problems within the wall.	Kill and remove all vegetation from buildings, wall and courtyard.

WwoP Violations	Description of Violation	Method of Abatement
13. Fence, Gate	Courtyard fence, enclosure installed without approval. Removal/deterioration/deformation/damage/deterioration of fence/gate without benefit of VCC review or approval, or in deviation of permit.	Retain existing wood fence enclosing service building HVAC, altered as needed to meet VCC guidelines.
14. Windows	Removal/deterioration/deformation/damage/deterioration of windows without benefit of VCC review or approval, or in deviation of permit.	Restore all windows altered by window units. SEE A5.0.
15. Doors	Removal/deterioration/deformation/damage/deterioration of doors without benefit of VCC review or approval, or in deviation of permit.	Restore doors altered by window units. SEE A5.0.
16. Shutters	Removal/deterioration/deformation/damage/deterioration of shutters/shutter hardware without benefit of VCC review or approval, or in deviation of permit.	Rebuild all cut shutters to match existing. SEE A5.0.
17. Lighting	Improper/dangerous lighting installed on the property, impermissible light fixtures installed, impermissible exterior/denon lights installed, impermissible string lights installed, light fixtures installed without benefit of VCC review or approval, and/or light fixtures installed in violation of permit.	All colored/neon/string lights have been removed. All permanent light fixtures on street side to be spaced evenly under overhang. Spec attached.
18. Plumbing	Improper/dangerous plumbing installed on the property, impermissible PVC plumbing installed on the property, plumbing installed on the property without benefit of VCC review or approval, or in deviation of permit.	Remove PVC plumbing in courtyard. On courtyard wall, from HVAC units, on rear of service building.
19. Wires	Unused wiring/cables should be removed and remaining, loose wiring/cables should be properly secured and sealed to match the building.	Any unused wires to be removed, remaining wiring to be placed in conduit of securely attached to building to be minimally visible.
20. Barbed wire	Impermissible barbed wire installed on the building's structure/property. Security ironwork installed on the building's structure/property.	See attached consent decree.
21. Only one sign per shop	Excessive business sign.	All previous business signs have been removed; new business signs will be permitted is separate sign permit.
22. Signs not to be placed on Balcony, Fence, etc.	Impermissible attachment of signage to the building.	All previous business' signs have been removed.

VCC SCOPE WORK

739-741 BOURBON ST RENOVATION

739-741 BOURBON ST  
NEW ORLEANS LA 70116

22-133-RVW.COM

DATE

\* TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP

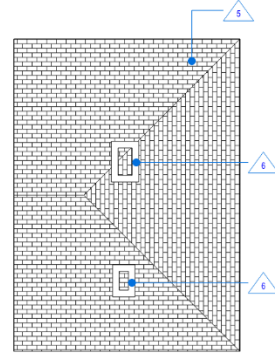
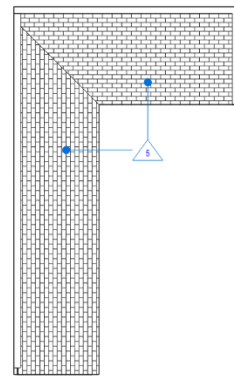
3335 BARRIS ST. SUITE 101 NEW ORLEANS, LA 70119  
504-585-9952

CONSTRUCTION DOCUMENTS

ISSUED 05/17/22

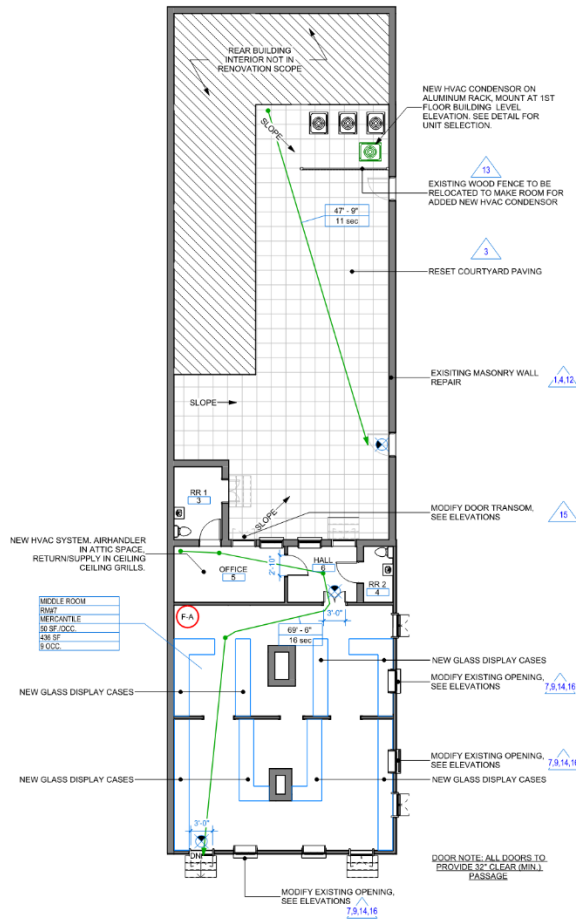
A1.0  
TITLE SHEET





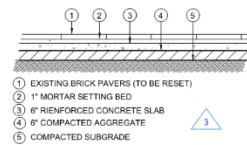
## ROOF

5 | ROOF  
1/8" = 1'-0"

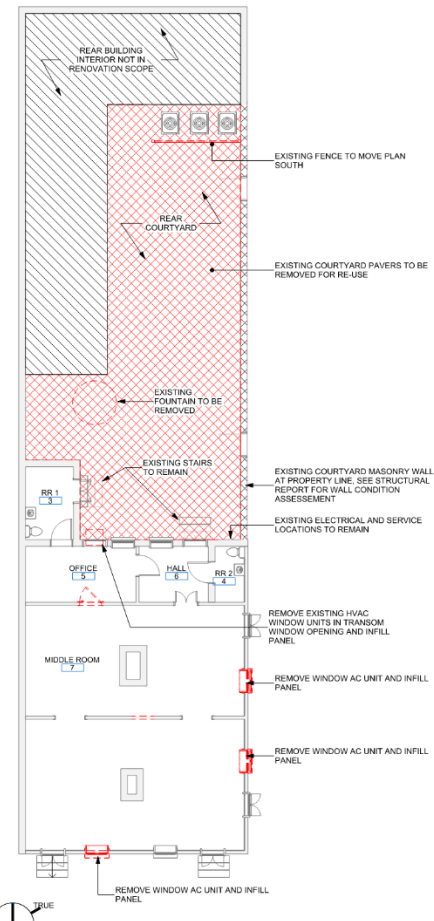


## 1ST FLOOR

1 | 1ST FLOOR PLAN - PROPOSED  
1/8" = 1'-0"

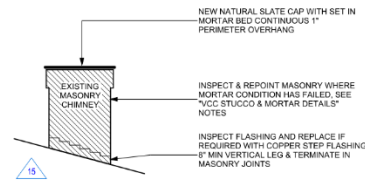


FLAGSTONE PAVER DETAIL



## 1ST FLOOR

2 | 1ST FLOOR PLAN - EXISTING + DEMO  
1/8" = 1'-0"



ROOF DETAILS - CLOSED CHIMNEY CAP

739-741 Bourbon

VCC Architectural Committee

June 16, 2022





# R4A5

## Product Specifications

### EFFICIENT 15 SEER/11.7-12.5 EER AIR CONDITIONER ENVIRONMENTALLY BALANCED R-410A REFRIGERANT

1-1/2 THRU 5 TONS SPLIT SYSTEM

208/230 Volt, 1-phase, 60 Hz

#### REFRIGERATION CIRCUIT

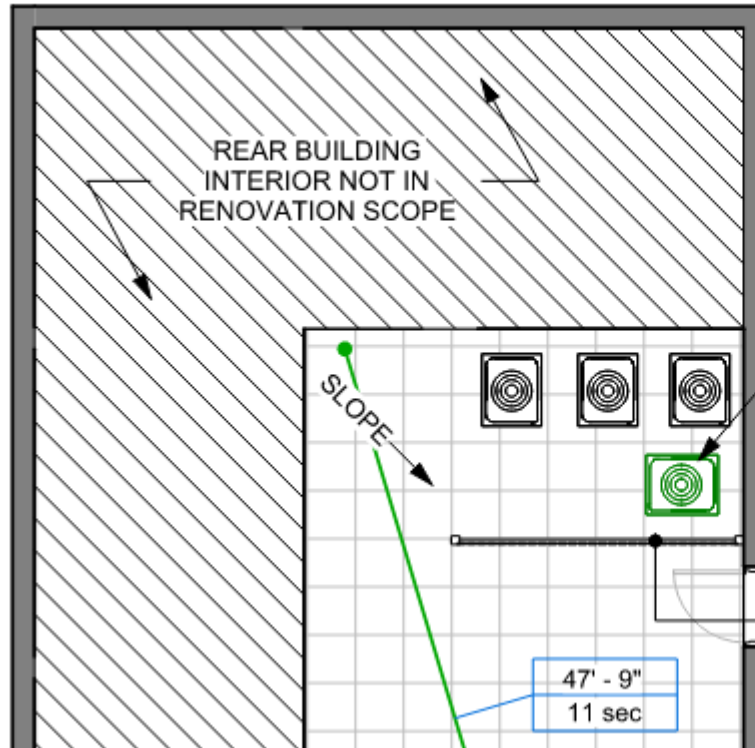
- Scroll compressors on all models
- Copper tube / aluminum fin coil
- EASY TO INSTALL AND SERVICE**
  - Easy Access service valves on all models
  - External high and low refrigerant service ports
  - Only two screws to access control panel
  - Factory charged with R-410A refrigerant

#### BUILT TO LAST

- Pre-painted cabinet finish over galvanized steel
- Coated inlet grille with 2" (51mm) spacing or with 3/8" (10mm) grille spacing for extra protection

#### LIMITED WARRANTY\*

- 5 year parts limited warranty (including compressor and coil)
  - With timely registration, an additional 5 year parts limited warranty (including compressor and coil)
- For residential applications only. See warranty certificate for complete details and restrictions, including warranty coverage for other applications.



NEW HVAC CONDENSOR ON ALUMINUM RACK, MOUNT AT 1ST FLOOR BUILDING LEVEL ELEVATION. SEE DETAIL FOR UNIT SELECTION.

13

EXISTING WOOD FENCE TO BE RELOCATED TO MAKE ROOM FOR ADDED NEW HVAC CONDENSOR

Model Number	Size (tons)	Nominal BTU/hr	Min. Circuit Amps	Max. Fuse or Breaker	Operating Dimensions: length/width (in.) x height in. (in.)	Ship / Operating Weight (lbs./kg)
RAA512HED	1-1/2	12,000	11.7	20	25-3/4 x 35-5/8 (654 x 912)	143/125 (64/56)
RAA514HED	2	16,000	14.1	30	25-3/4 x 35-5/8 (654 x 912)	143/125 (64/56)
RAA516HED	2-1/2	20,000	16.9	35	31-3/8 x 31-11/16 (792 x 804)	168/151 (76/68)
RAA518HED	3	24,000	18.1	40	31-3/8 x 35-5/8 (792 x 911)	174/157 (79/71)
RAA520HED	3-1/2	28,000	21.3	45	31-3/8 x 38-1/4 (792 x 964)	208/187 (94/85)
RAA522HED	4	32,000	23.8	50	31-3/8 x 38-1/4 (792 x 964)	208/187 (94/85)
RAA524HED	5	40,000	27.5	60	31-3/8 x 41-11/16 (792 x 1054)	218/197 (99/89)

\* 2" (51mm) spacing inlet grille  
C = Coated condensing coil  
G = 3/8" (10mm) spacing inlet grille

739-741 Bourbon

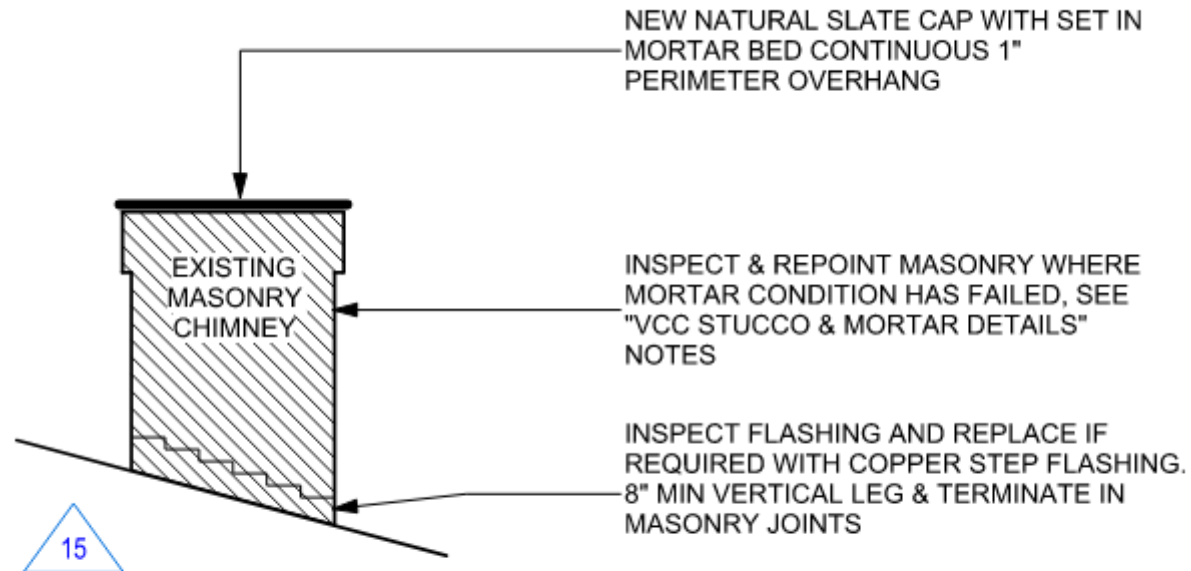
VCC Architectural Committee

Specifications subject to change without notice.

421 65 6250 05 01/10/19

June 16, 2022





15  
ROOF DETAILS\_CLOSED CHIMNEY CAP





4 | COURTYARD ELEVATION 1  
12" = 1'-0"



2 | COURTYARD ELEVATION 2



3 | COURTYARD ELEVATION 3



BOURBON ST



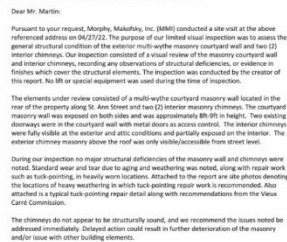
1 | KEY PLAN  
3/64" = 1'-0"

739-741 Bourbon

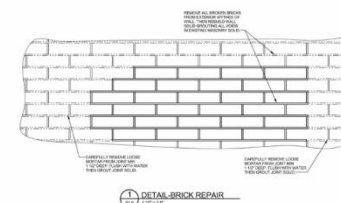
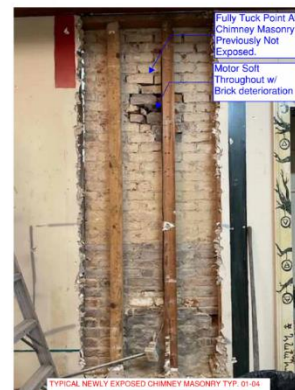
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June 16, 2022

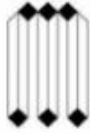




Joshua Juneau, P.E.







**MORPHY, MAKOFSKY, INC.**  
CONSULTING ENGINEERS  
336 N. Norman C. Francis Parkway  
New Orleans, LA 70119  
P:504/488-1317  
www.mmi-eng.com

Jamie L. Saxon  
Jonathan A. Sofranko  
H. Stephan Bernick

May 05, 2022

Mr. Myles Martin  
M3 Design Group  
3328 Banks St.  
New Orleans, LA 70119

Re: Future Ra-Shop  
729 Bourbon Street  
New Orleans, LA 70130  
Masonry Courtyard Wall and Interior Chimney Inspection

Dear Mr. Martin:

Pursuant to your request, Morphy, Makofsky, Inc. (MMI) conducted a site visit at the above referenced address on 04/27/22. The purpose of our limited visual inspection was to assess the general structural condition of the exterior multi-wythe masonry courtyard wall and two (2) interior chimneys. Our inspection consisted of a visual review of the masonry courtyard wall and interior chimneys, recording any observations of structural deficiencies, or evidence in finishes which cover the structural elements. The inspection was conducted by the creator of this report. No lift or special equipment was used during the time of inspection.

The elements under review consisted of a multi-wythe courtyard masonry wall located in the rear of the property along St. Ann Street and two (2) interior masonry chimneys. The courtyard masonry wall was exposed on both sides and was approximately 8ft-9ft in height. Two existing doorways were in the courtyard wall with metal doors as access control. The interior chimneys were fully visible at the exterior and attic conditions and partially exposed on the interior. The exterior chimney masonry above the roof was only visible/accessible from street level.

During our inspection no major structural deficiencies of the masonry wall and chimneys were noted. Standard wear and tear due to aging and weathering was noted, along with repair work such as tuck-pointing, in heavily worn locations. Attached to the report are site photos denoting the locations of heavy weathering in which tuck-pointing repair work is recommended. Also attached is a typical tuck-pointing repair detail along with recommendations from the Vieux Carré Commission.

The chimneys do not appear to be structurally sound, and we recommend the issues noted be addressed immediately. Delayed action could result in further deterioration of the masonry and/or issue with other building elements.

To the best of our knowledge, the masonry courtyard wall is currently structurally sound. However, we recommend engaging a qualified contractor to review and/or address the items noted above and in the attachments. If left unchecked the issues noted could cause structural issues in the future.

We suggest the recommended repairs be done in a timely manner to retain the structural integrity of the wall and repair the chimneys. See attachments for recommended repair locations.

If you have any further questions, please do not hesitate to contact our office.

Thank you,

MORPHY, MAKOFSKY, INC.



Joshua Juneau, P.E.



Jamie L. Saxon, P.E.

739-741 Bourbon

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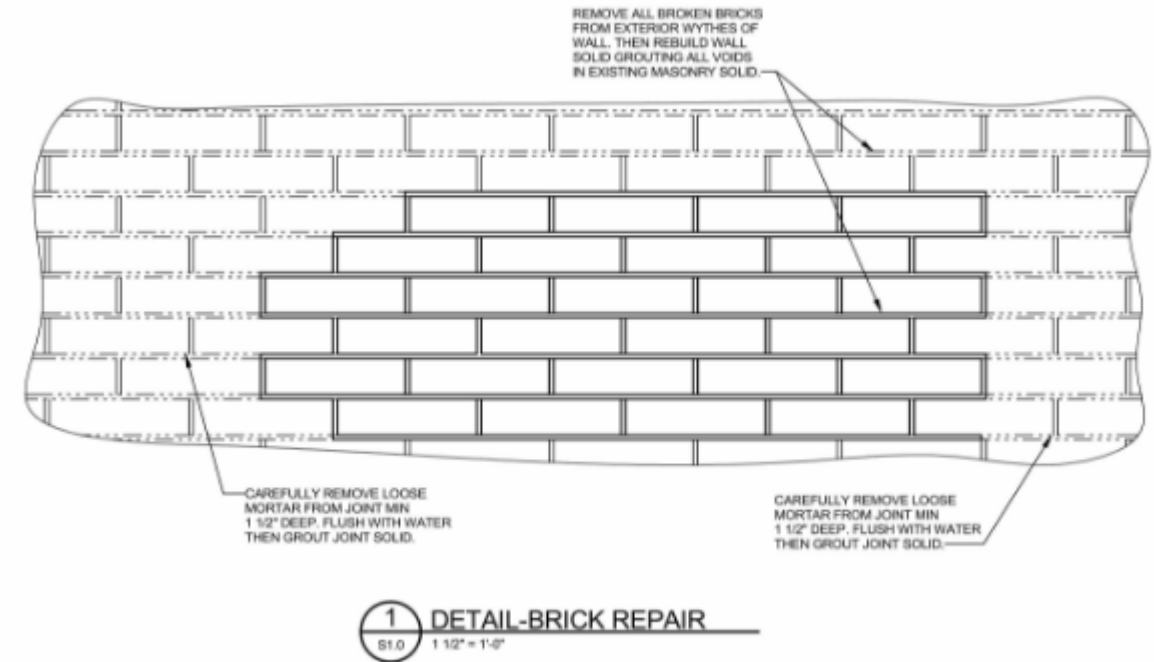
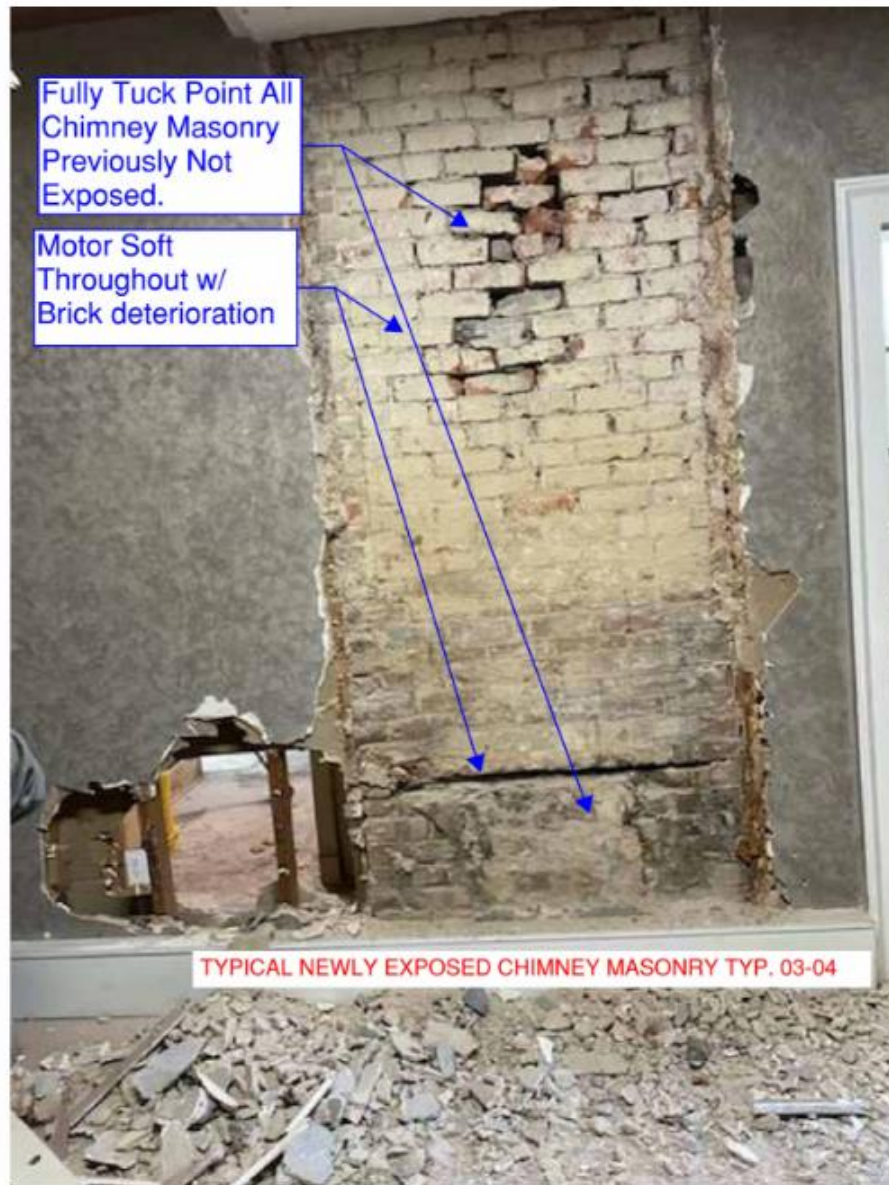


739-741 Bourbon

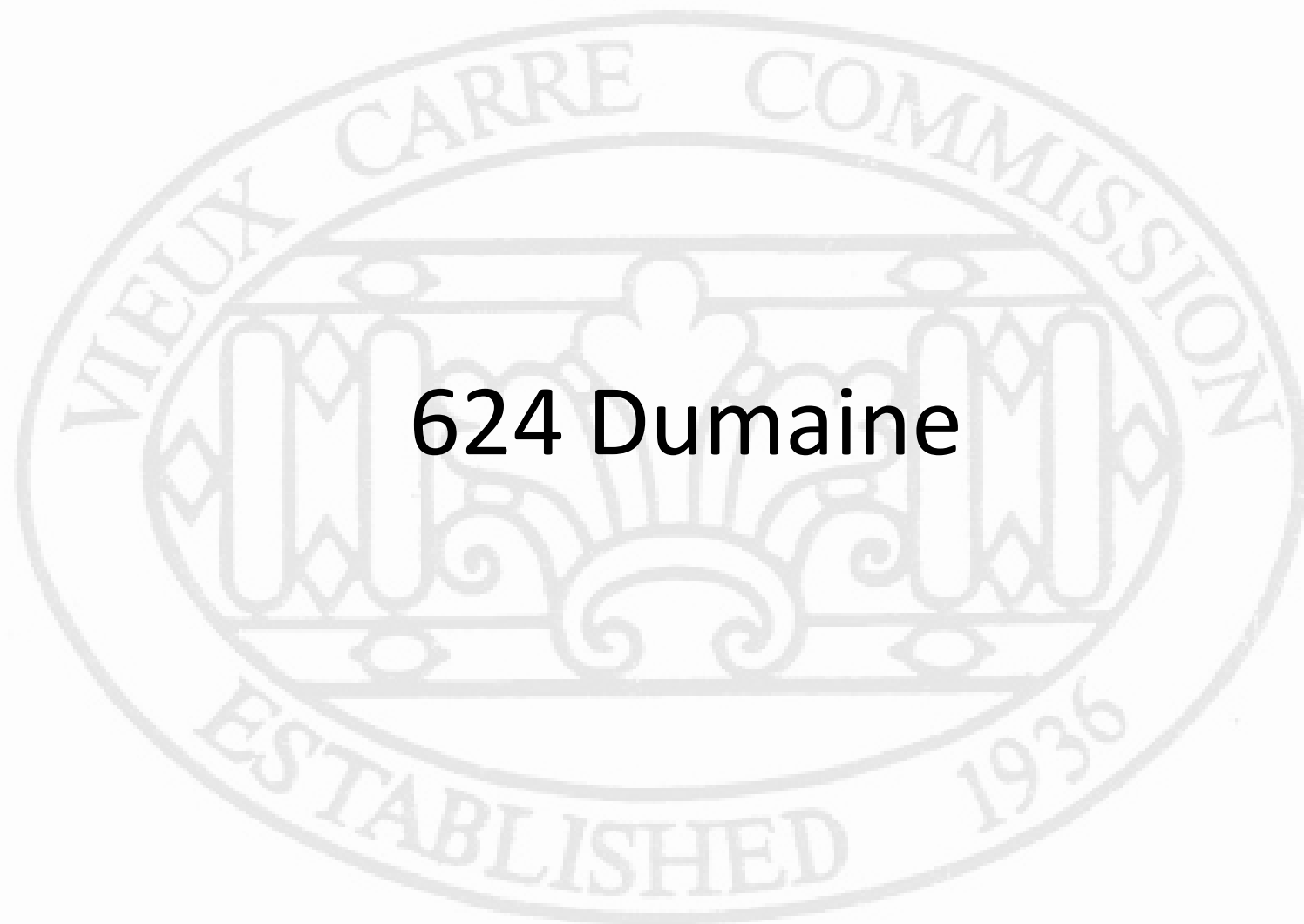
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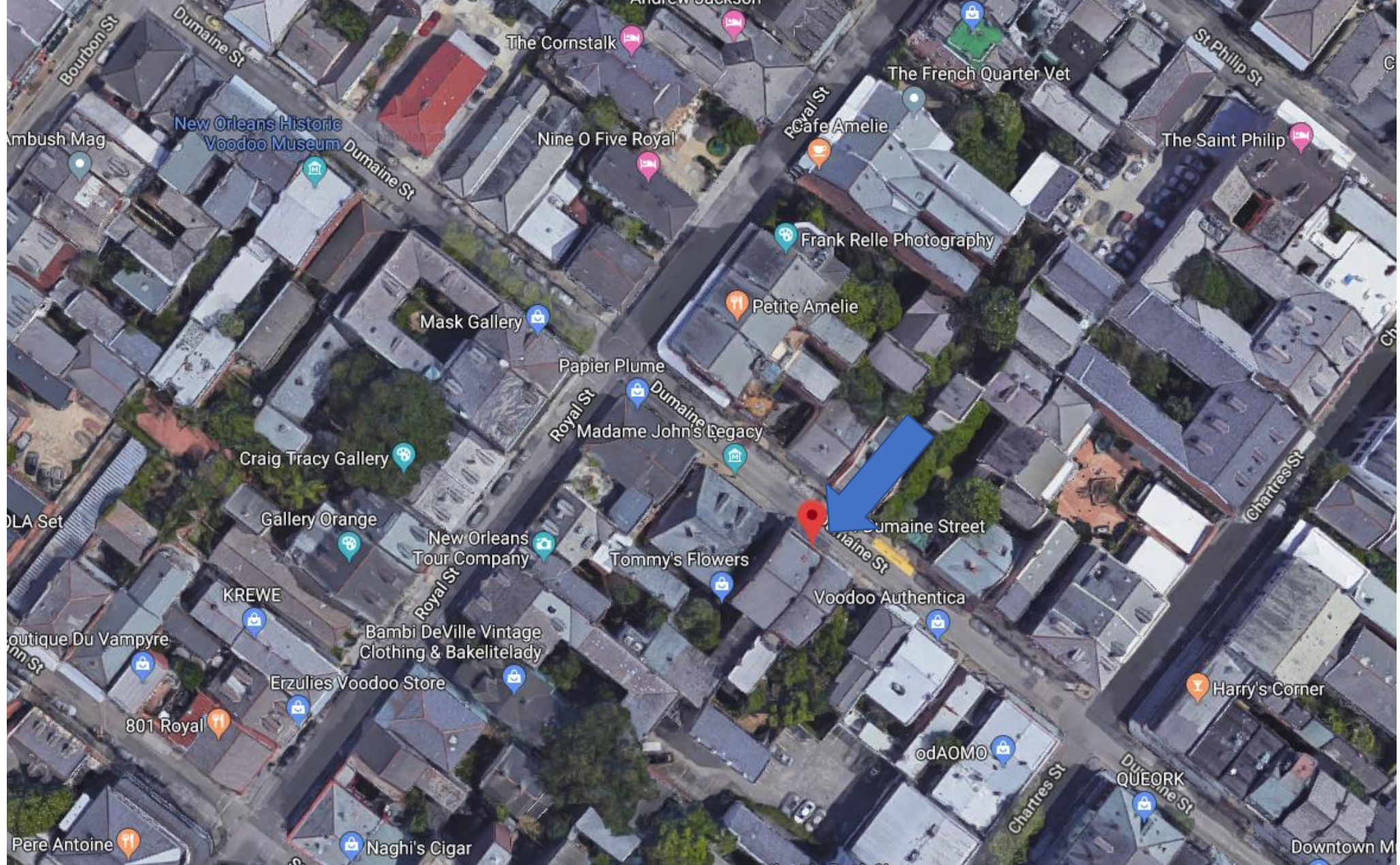








624 Dumaine



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# H40

## Masonry strengthening water repellent

H40 is a deep-penetrating water repellent and consolidation treatment for brick, most natural stone, unglazed terra cotta, historic concrete, stucco and cast stone surfaces. H40 protects against deterioration caused by water and waterborne contaminants while strengthening weathered surfaces and soft mortar joints.

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The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a stylized fleur-de-lis and a scrollwork base. The shield is flanked by two vertical bars with diamond-shaped details. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

**635 Barracks**





635 Barracks

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June 16, 2022







635 Barracks, 1964

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635 Barracks

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635 Barracks

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June 16, 2022







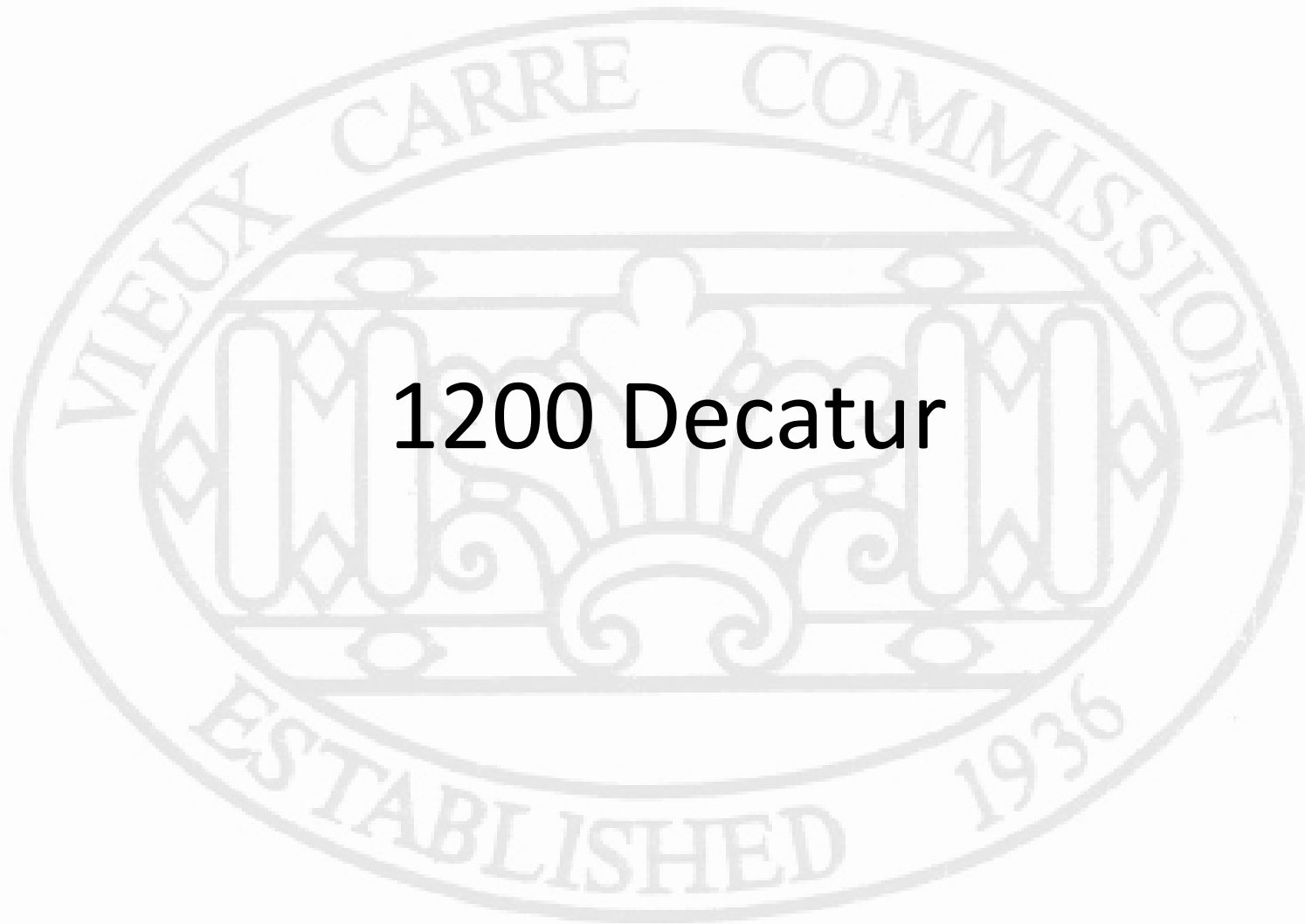
635 Barracks

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1200 Decatur







1200 Decatur

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1200 Decatur, 1963

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1200 Decatur – French Market Elevation, 1939

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June 16, 2022





1200 Decatur

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1200 Decatur

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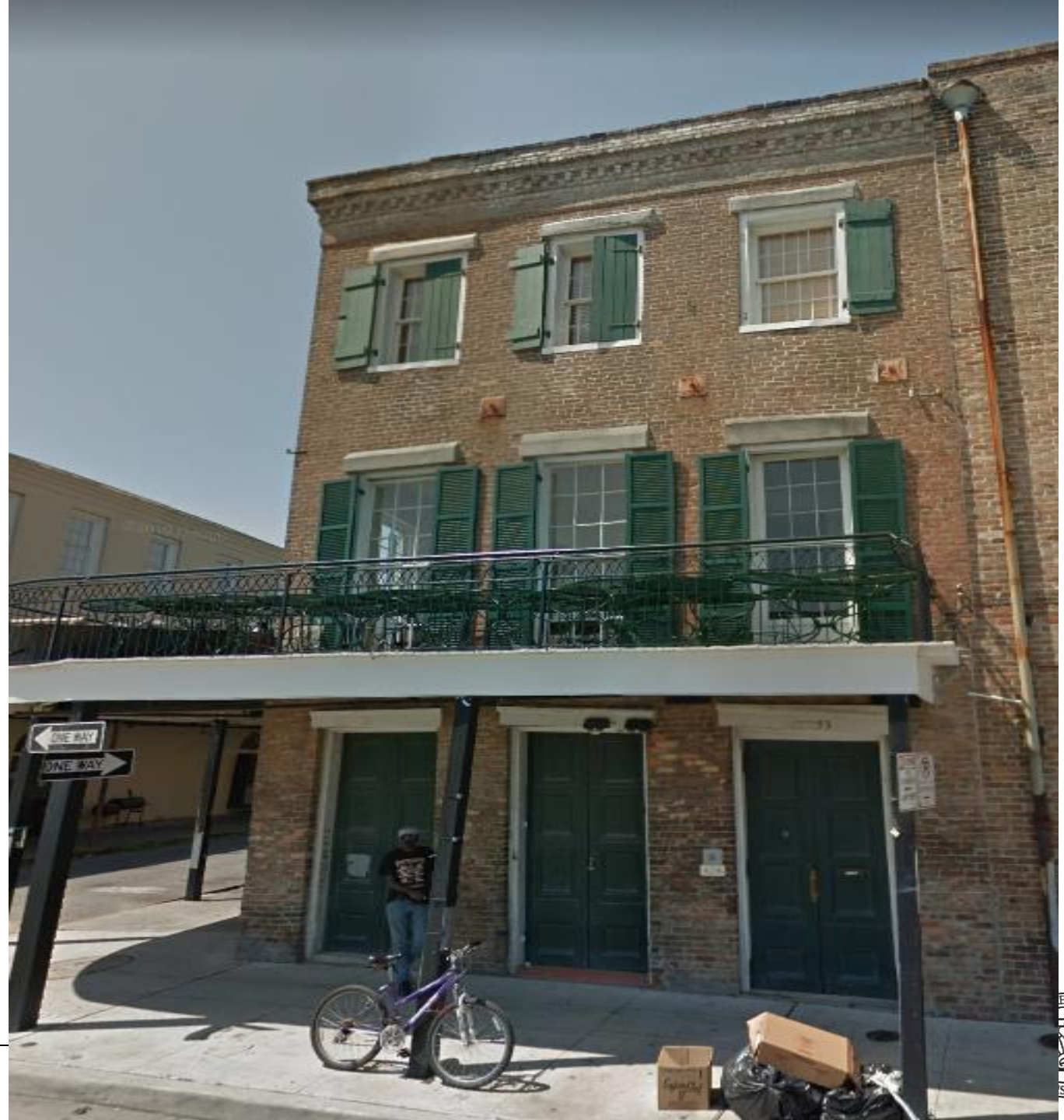
June 16, 2022



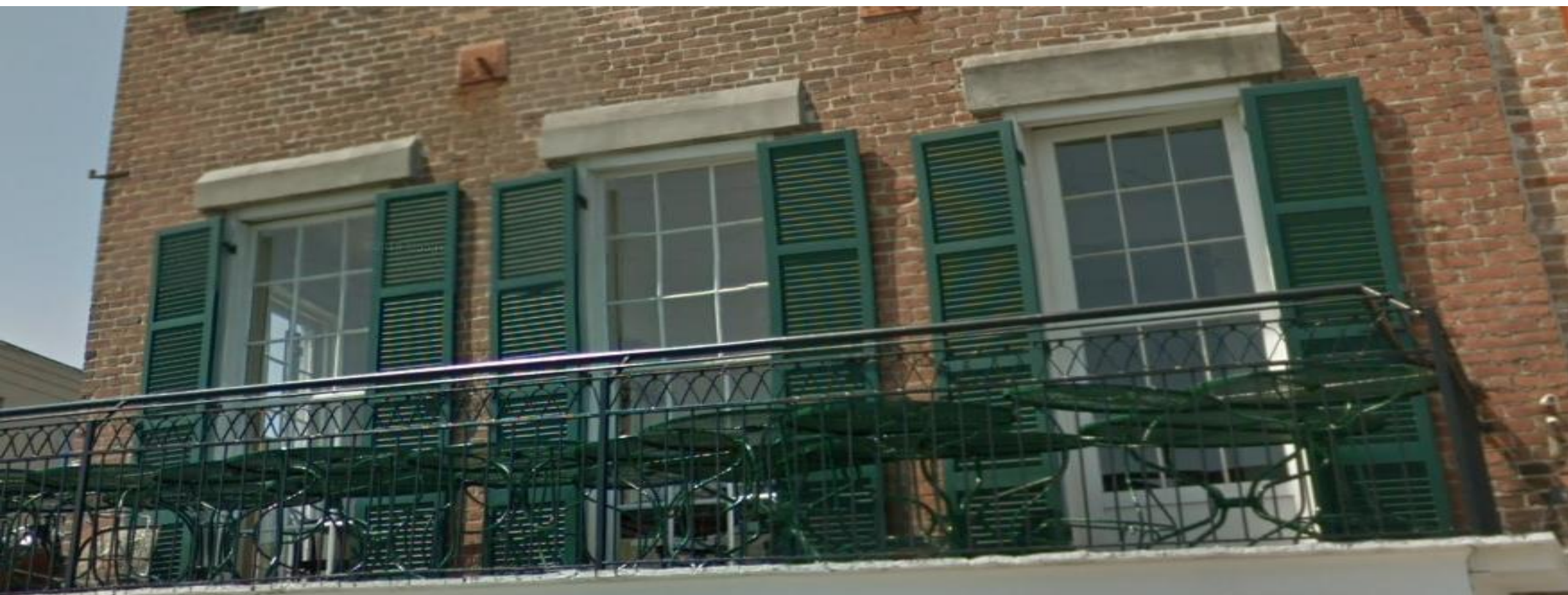


1200 Decatur - 2011

VCC Architectural Committee







1200 Decatur - 2011

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1200 Decatur - Current

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June 16, 2022





## 1200 Decatur - Current

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## 1200 Decatur - Current

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June 16, 2022







1200 Decatur

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June 16, 2022







1200 Decatur

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June 16, 2022







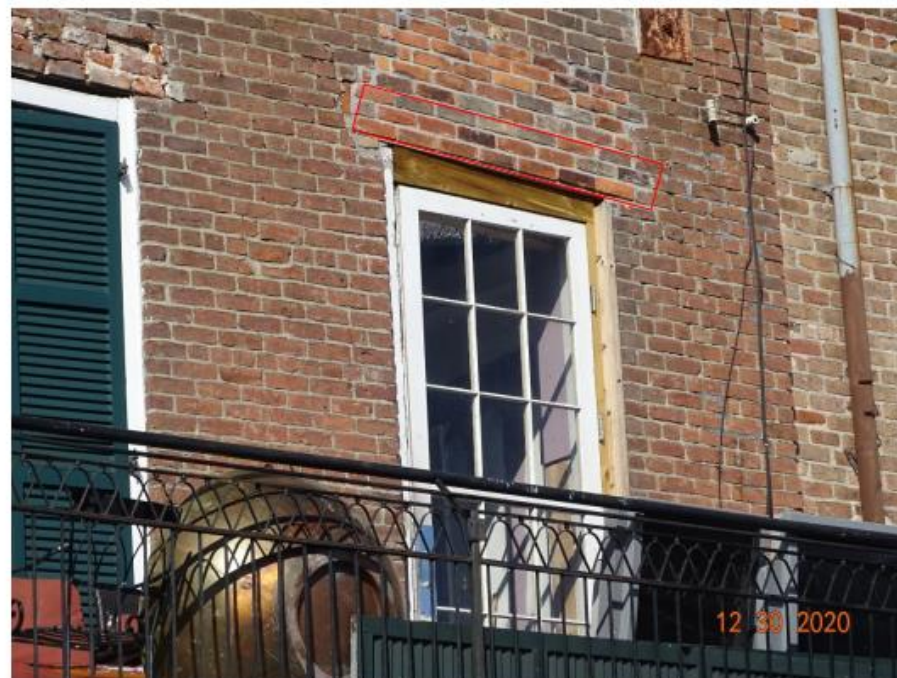
1200 Decatur

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1200 Decatur

VCC Architectural Committee

June 16, 2022







1200 Decatur

VCC Architectural Committee

June 16, 2022





Remove  
and replace  
area shown  
bricklayer  
shall step  
back bricks  
on both  
sides of  
corner to  
achieve  
results  
needed to  
repair  
cracked  
area

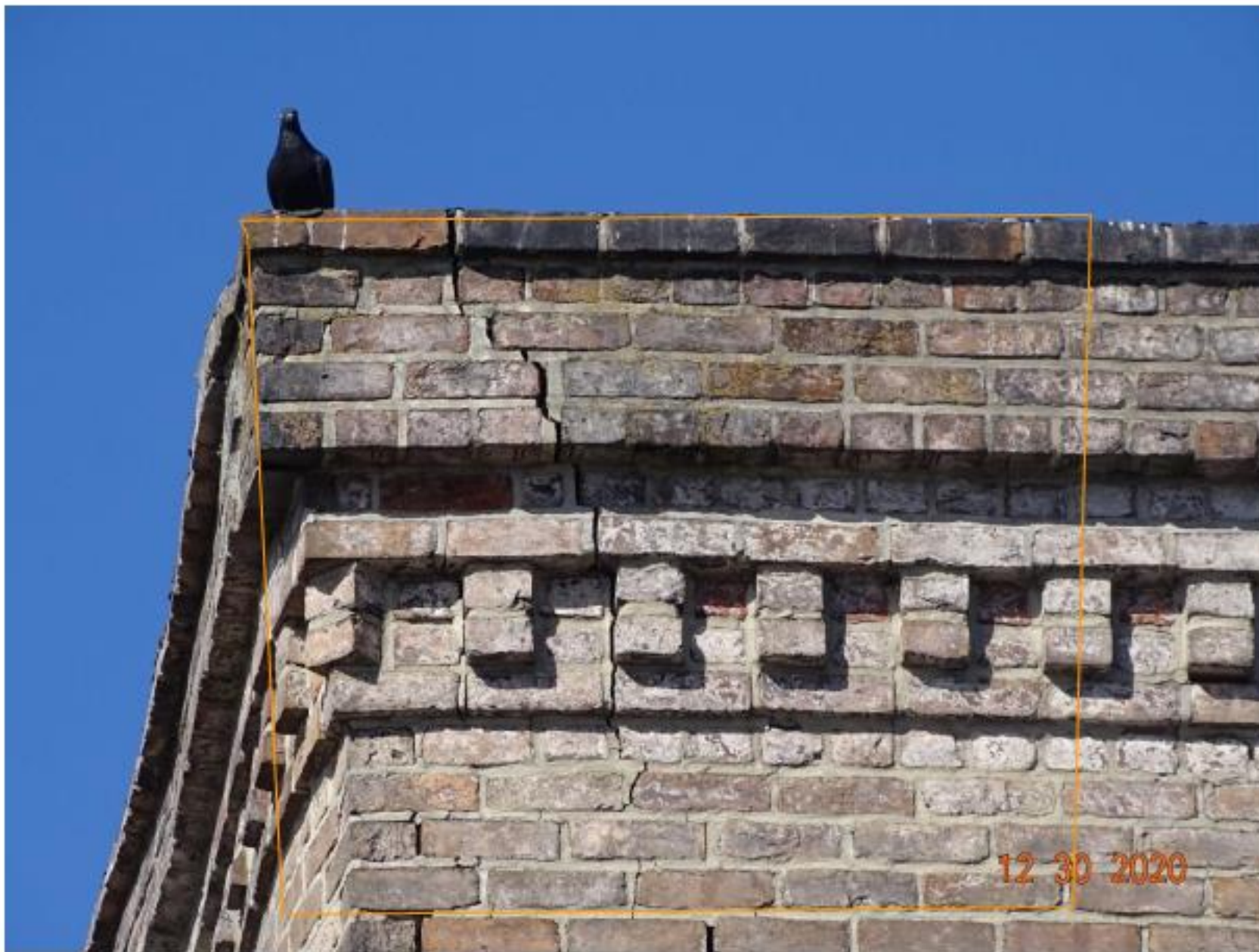
1200 Decatur

VCC Architectural Committee

June 16, 2022







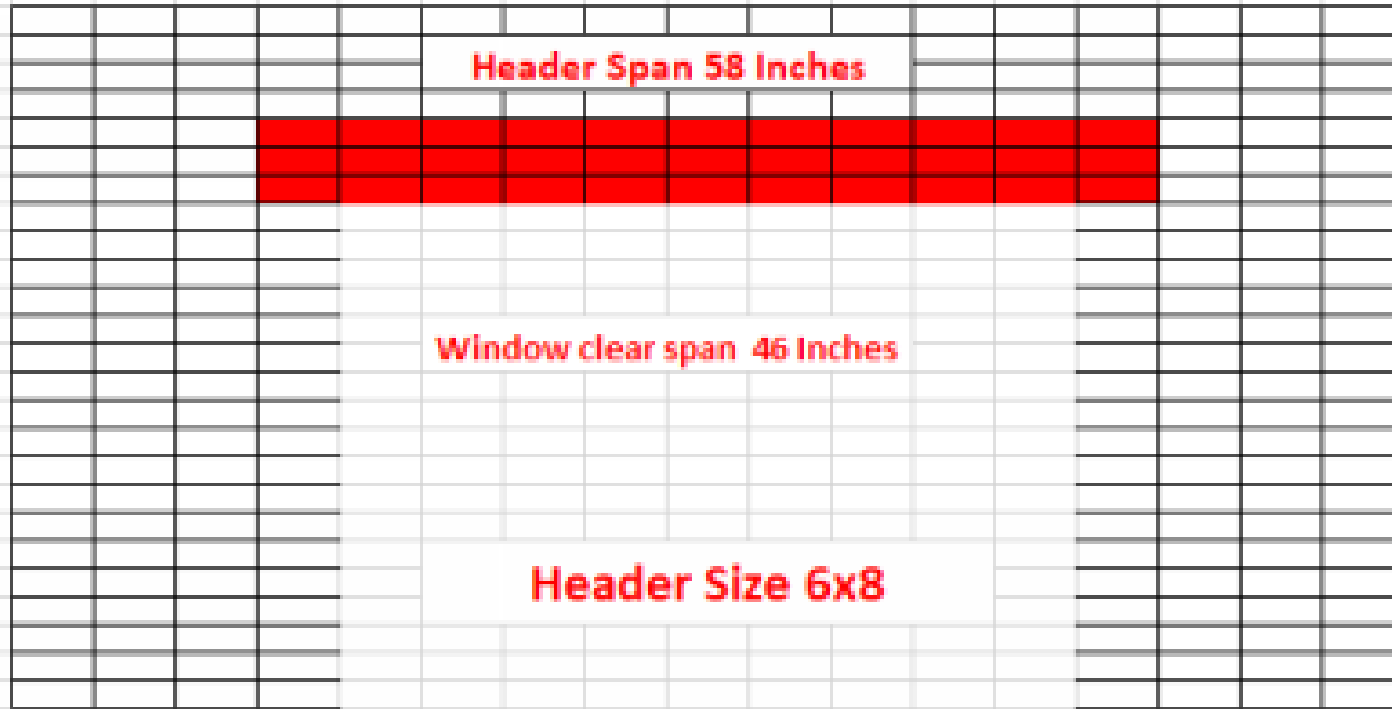
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on both  
sides of  
corner to  
achieve  
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needed to  
repair  
cracked  
area

1200 Decatur

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June 16, 2022





We are replacing 11 windows total 5 on frenchman and 6 on Governor Nicholes

We are replacing headers on 3 doors on Frenchman Place

Tuckpointing over all walls as needed



**All windows and doors are existing only  
adding wood headers over existing angle  
headers**

