



Vieux Carré Commission Architecture Committee Meeting

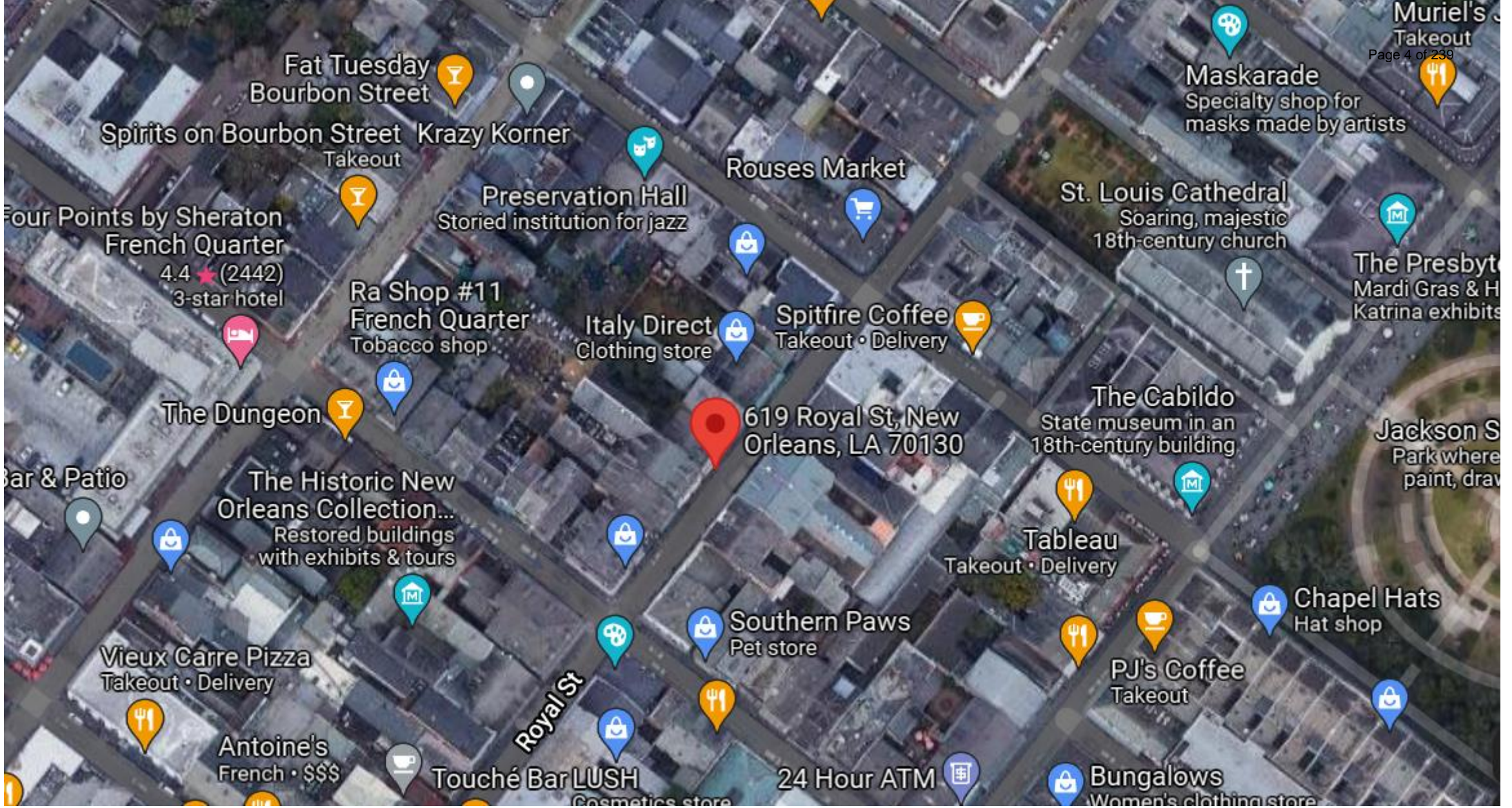
Tuesday, July 26, 2022



Old Business



619 Royal



619 Royal





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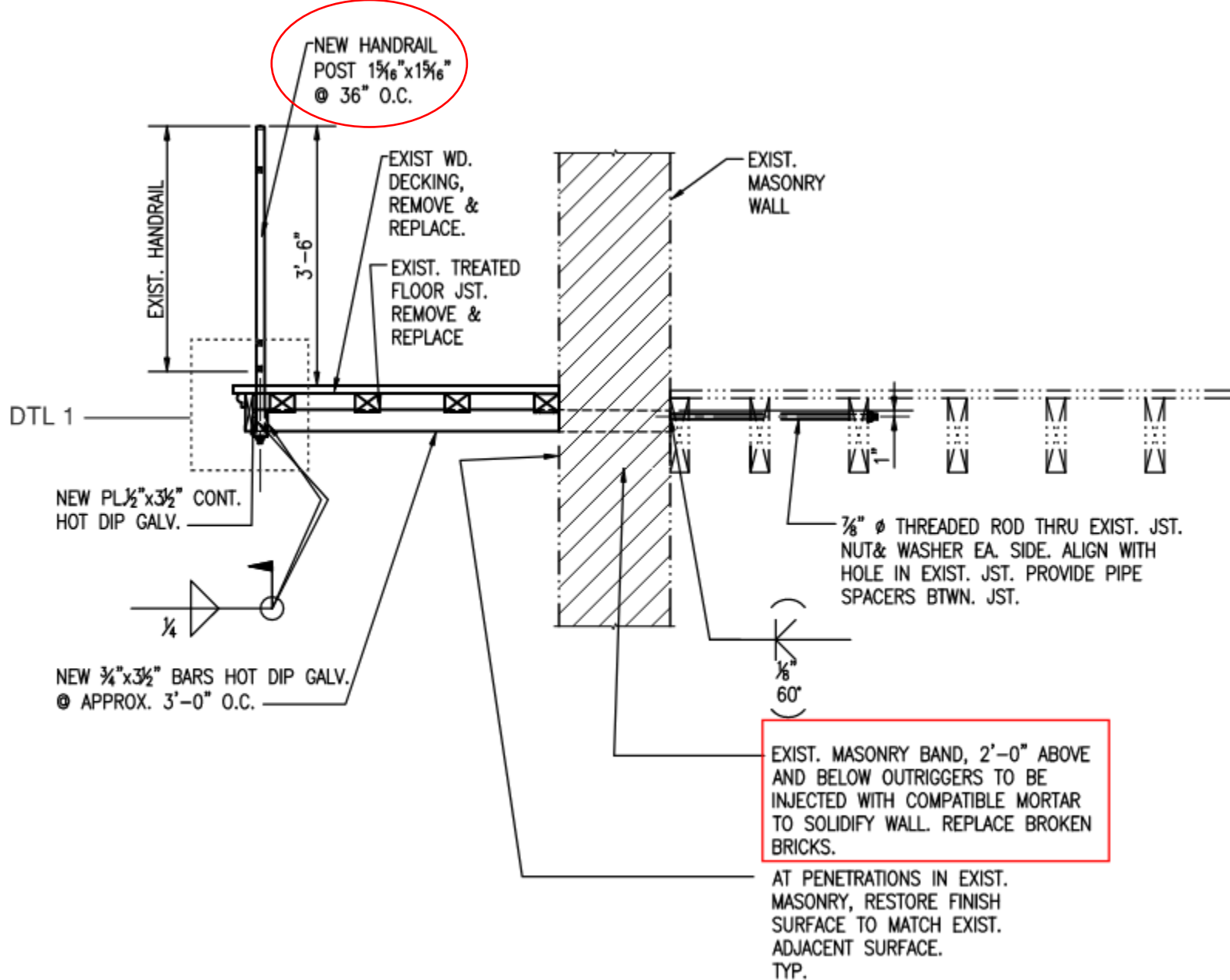


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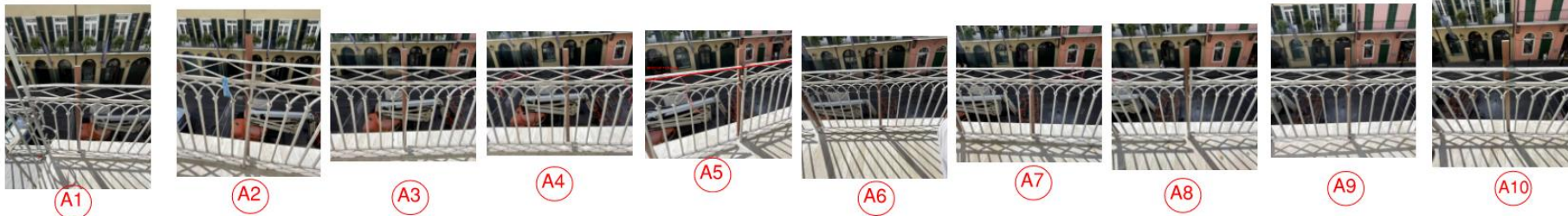
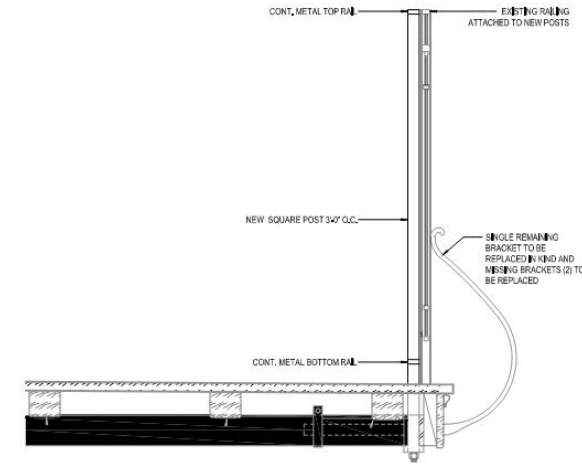
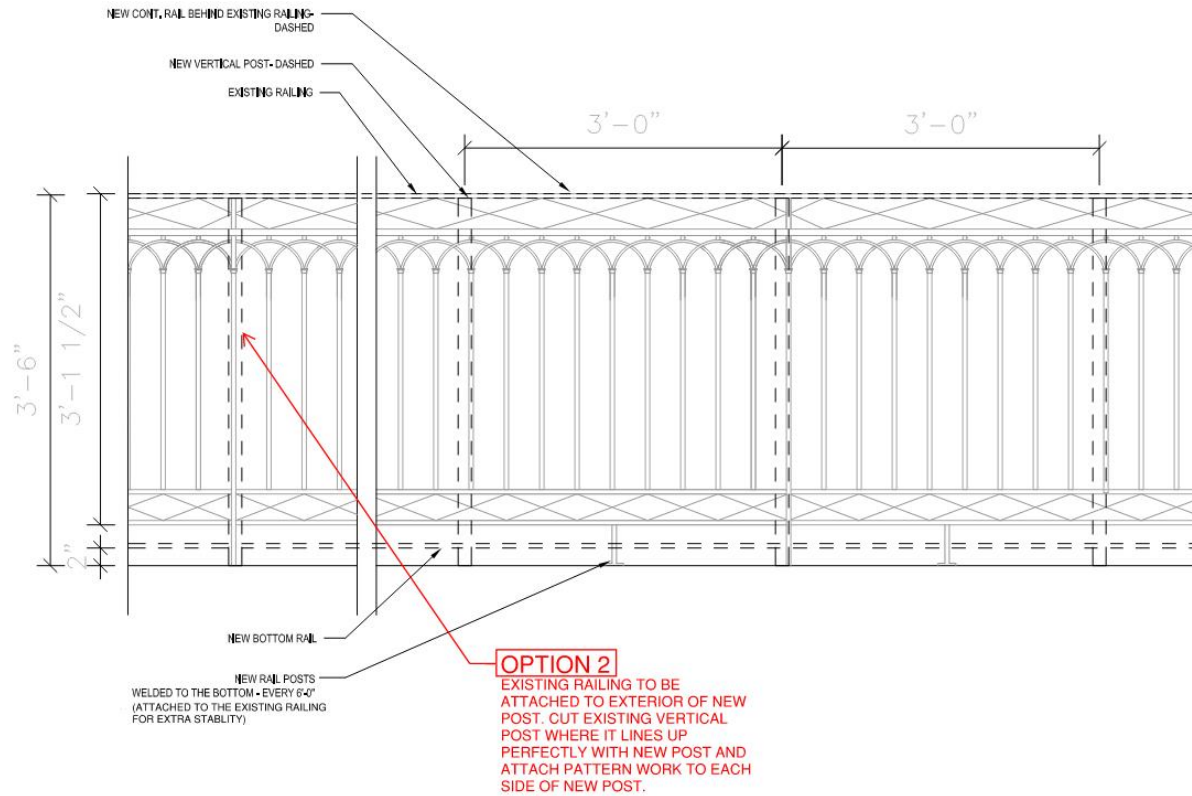
CURRENT CONDITION

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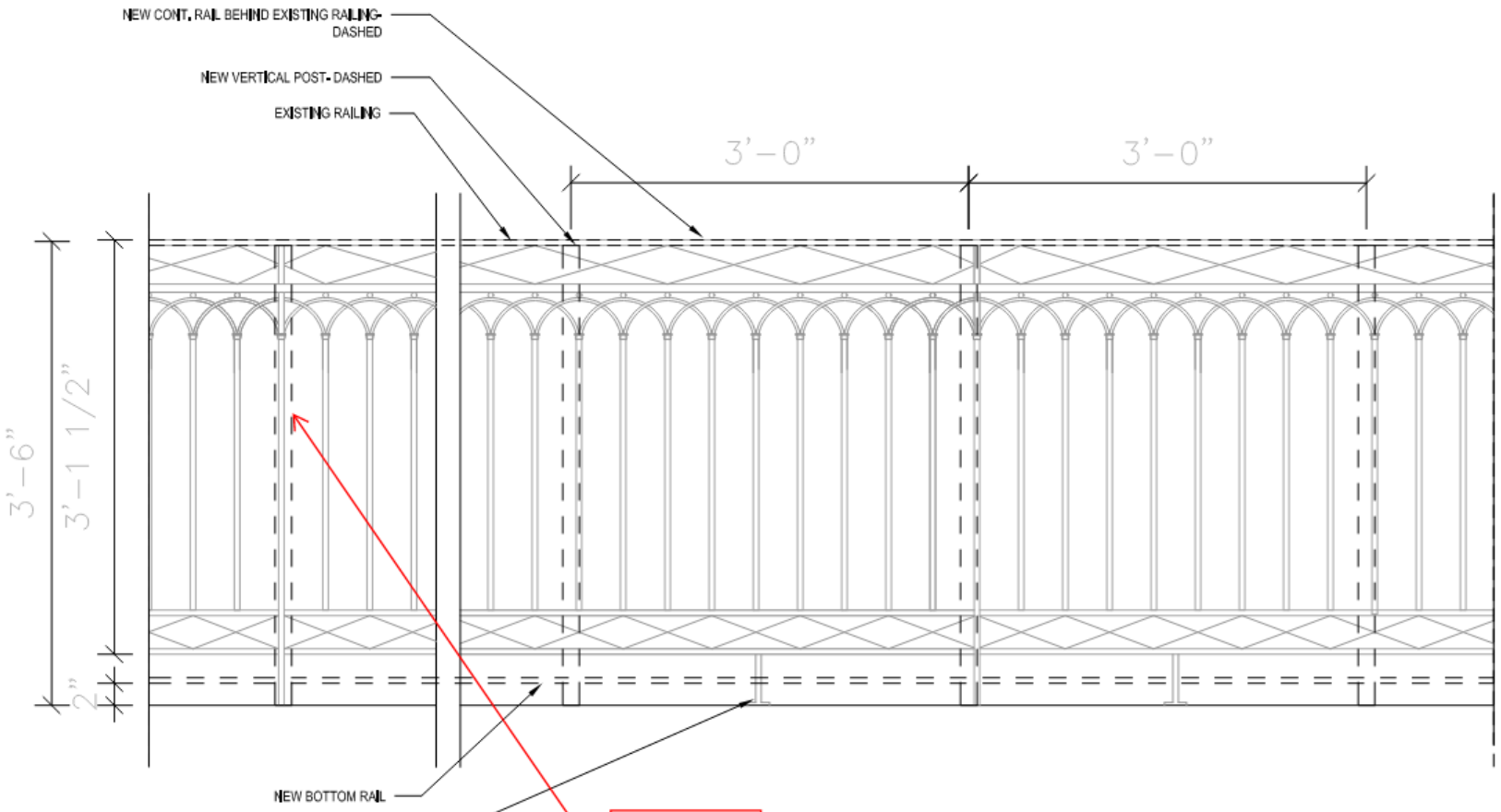
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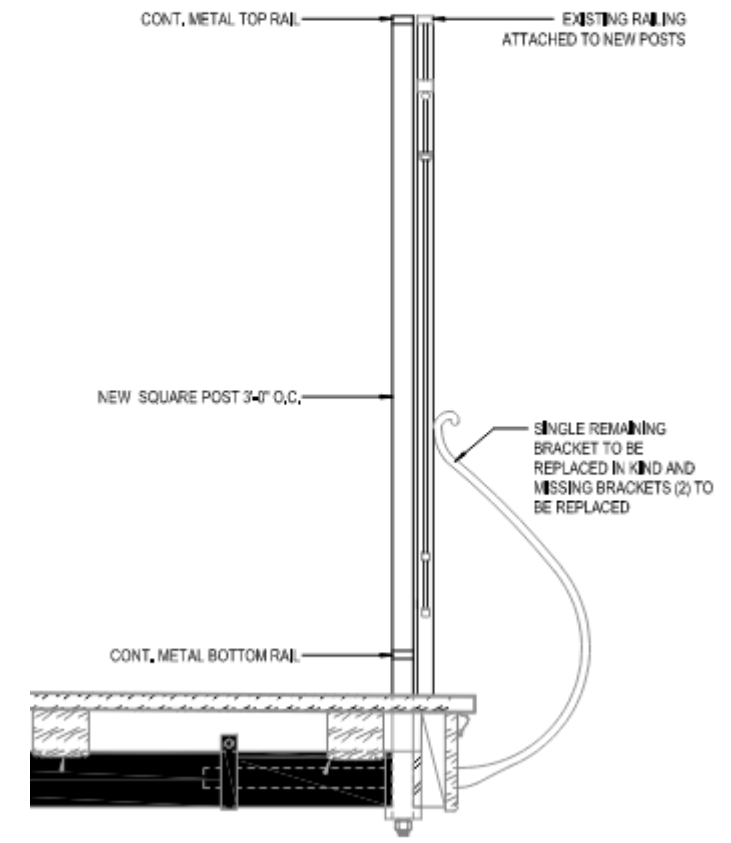


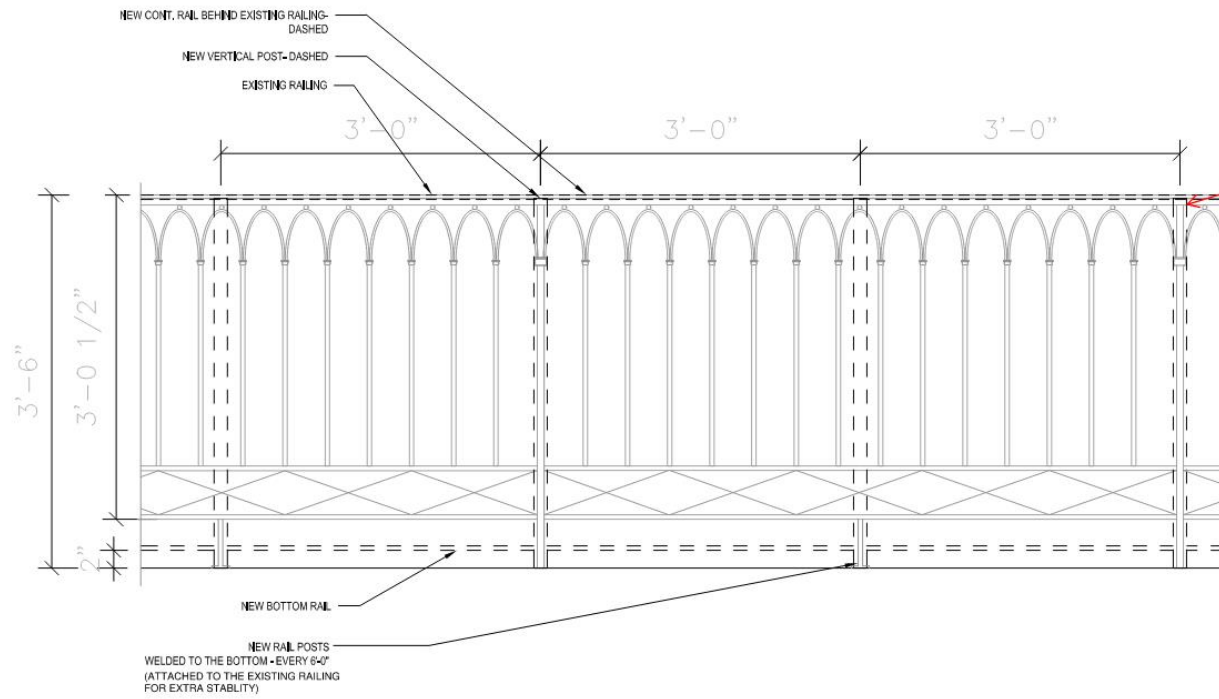
SECOND FLOOR BALCONY
 ROUGH MOCK UP THE EXISTING RAILINGS TO
 NEW POSTS

OPTION 1
 EXISTING RAILING SITS IN FRONT OF AND ATTACHED TO NEW POSTS EVERY 3'-0"

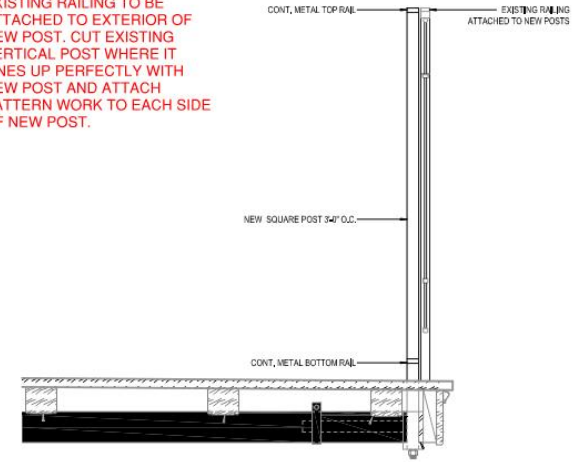


OPTION 2
 EXISTING RAILING TO BE ATTACHED TO EXTERIOR OF NEW POST. CUT EXISTING VERTICAL POST WHERE IT LINES UP PERFECTLY WITH NEW POST AND ATTACH PATTERN WORK TO EACH SIDE OF NEW POST.

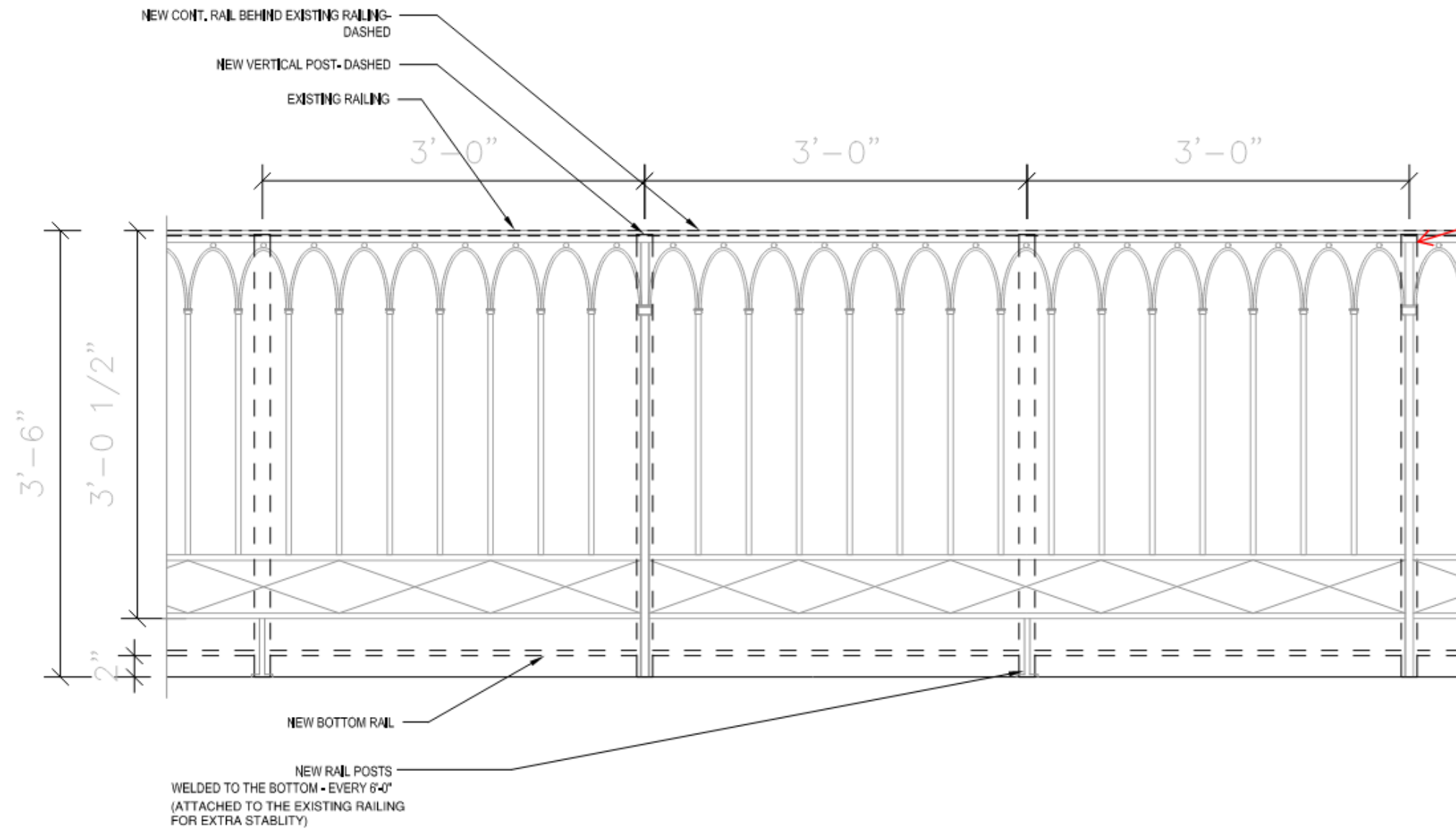




OPTION 2
 EXISTING RAILING TO BE
 ATTACHED TO EXTERIOR OF
 NEW POST. CUT EXISTING
 VERTICAL POST WHERE IT
 LINES UP PERFECTLY WITH
 NEW POST AND ATTACH
 PATTERN WORK TO EACH SIDE
 OF NEW POST.



THIRD FLOOR BALCONY
 ROUGH MOCK UP THE EXISTING RAILINGS TO
 NEW POSTS

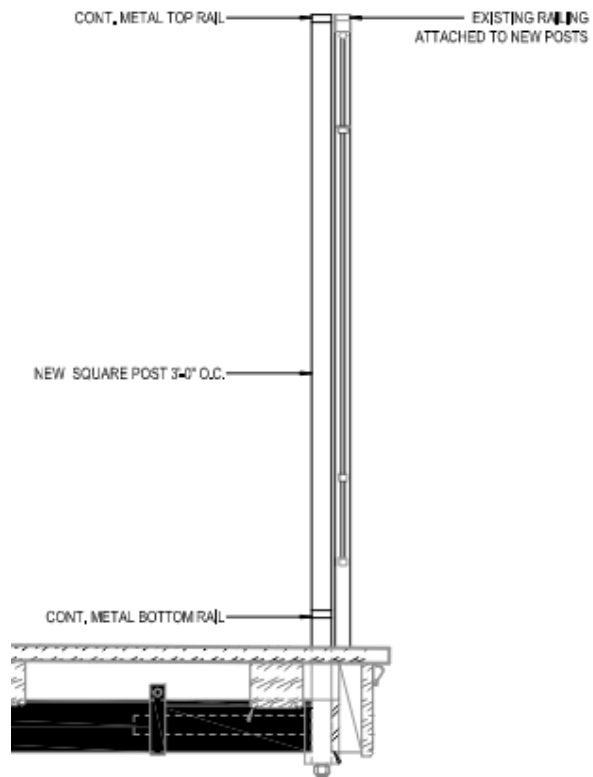


OPTION 2
EXISTING RAILING TO BE ATTACHED TO EXTERIOR OF NEW POST. CUT EXISTING VERTICAL POST WHERE IT LINES UP PERFECTLY WITH NEW POST AND ATTACH PATTERN WORK TO EACH SIDE OF NEW POST.



OPTION 1

EXISTING RAILING SITS IN
FRONT OF AND ATTACHED TO
NEW POSTS EVERY 3'-0"





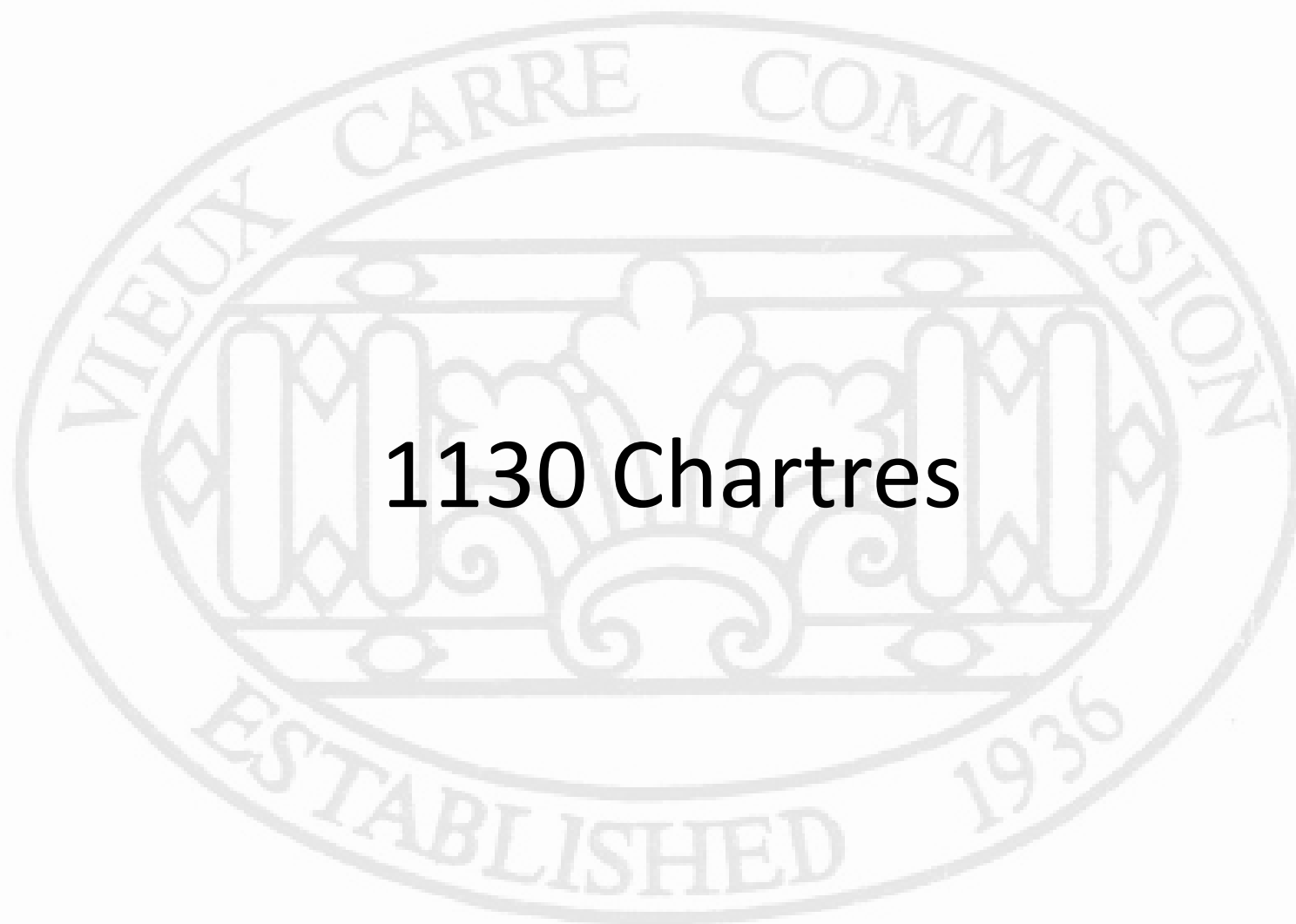
3RD FLOOR BALCONY EXISTING RAILING- APPROX. 2" OFF DECK
PROPOSING NEW HORIZONTAL BAR TO SIT 2" FROM BOTTOM
OF DECK



3RD FLOOR BALCONY EXISTING RAILING- SAT DIRECTLY ON THE DECK-
PROPOSING NEW HORIZONTAL BAR TO SIT 2" FROM BOTTOM OF DECK



EXISTING BALCONY CONDITION



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SONIAT HOUSE
 1133 CHARTERS Street
 New Orleans, Louisiana

PROJECT NO.	AA1428
DRAWN BY	JLS
CHECKED BY	JLS
DATE	SET
3-18-22	PERMIT
04-14-22	PRICING

TITLE:
 PLANS: STRUCTURAL REPAIR

SHEET:
S1



1 GENERAL NOTES

- EXISTING CONDITIONS:** ALL DIMENSIONS AND CONDITIONS TYPING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT SUPPORTED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS. FIRST SURVEY OF SHOP DRAWINGS MUST CONTAIN CORRECT CONDITIONS AND DIMENSIONS OBTAINED FROM THE FIELD. IF CONDITIONS AND DIMENSIONS VARY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PREPARATION OF SHOP DRAWINGS.
- SHORING:** SHORE AND BRACE ALL EXISTING FRAMING AS REQUIRED IN ORDER TO ACCOMPLISH WORK SHOWN ON DRAWINGS.
- DEMOLITION OF EXISTING CONSTRUCTION:** PRIOR TO THE START OF DEMOLITION OR EXPLORATORY WORK, THE OWNER SHALL EMPLOY AN INDEPENDENT TESTING LABORATORY TO SURVEY THE EXISTING MASS. IF THE TESTS REVEAL ARE POSITIVE FOR ANY HAZARDOUS MATERIALS, THE OWNER SHALL EMPLOY A REMEDIATION FIRM TO REMOVE THE HAZARDOUS MATERIALS IN COMPLIANCE WITH THE ORDINANCES AND REGULATIONS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS BEFORE DEMOLITION OR EXPLORATORY WORK MAY COMMENCE.
- DAMAGE TO EXISTING CONSTRUCTION:** ALL WORK SHALL BE DONE IN A MANNER WHICH WILL NOT DAMAGE ADJACENT EXISTING CONSTRUCTION WHICH IS TO REMAIN.
- FRAMING LUMBER:**
 - SOUTHERN YELLOW PINE MINIMUM NO.2 KILN DRIED.
 - AT TIME OF FABRICATION, MC-19 (19% MOISTURE CONTENT).
 - ALL WOOD FRAMING, FABRICATION, CONNECTIONS AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST AND PAPER ASSOCIATION, THE FLYWOOD DESIGN SPECIFICATION BY AMERICAN FLYWOOD ASSOCIATION, WCD 1-DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION BY THE AMERICAN FOREST AND PAPER ASSOCIATION, AND THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, CHAPTER 23.
 - WOOD FRAMING ADJACENT TO STEEL CONSTRUCTION SHALL BE FASTENED TO STEEL FRAMING WITH POWER ACTUATED FASTENERS.
 - UNLESS OTHERWISE NOTED, ALL LUMBER PERMANENTLY EXPOSED TO WEATHER SHALL BE PRESERVE TREATED WITH COPPER AZOLE-TYPE B (CA-B) IN ACCORDANCE WITH CURRENT AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARDS PS AND SECTION U1 FOR RETENTION OF PRESERVATIVE AND SECTION F1, TABLE 12-2.8.8. PRODUCTS FOR PENETRATION OF PRESERVATIVE OR APPROVED EQUAL.
 - ALL HARDWARE IN CONTACT W/ TREATED LUMBER SHALL BE HOT-DIP GALVANIZED CONFORMING TO ASTM A553, CLASS G188 WITH 1.95 OZ OF ZINC COATING PER SQUARE FOOT. MINIMUM ALL FASTENERS SHALL BE HOT-DIP GALVANIZED CONFORMING TO ASTM A153. STAINLESS STEEL FASTENERS MAY BE EMPLOYED AT CONTRACTOR'S OPTION.
- MASONRY REPAIR AND REINFORCEMENT:**
 - CLEAR ALL PLANT GROWTH FROM WALLS, MAKE OUT JOINTS TO REMOVE ALL ROOTS AND FOREIGN MATERIALS.
 - EXIST. MASONRY WALLS TO BE INJECTED & GROUTED SOLID WITH AN ENGINEERED MATERIAL THAT IS COMPATIBLE WITH THE EXISTING WALL CONSTRUCTION.
 - PRIOR TO GROUTING THE WALLS THEY ARE TO HAVE STAINLESS STEEL HELICAL TIES, INSTALLED IN THE EXISTING WALL STRUCTURE IN A GRID PATTERN OF SEE 5/5-1.0 AS REQUIRED.
 - MASONRY ANCHORAGE AND ENHANCEMENT SYSTEM AND COMPATIBLE INJECTED FILL SPECIFICATIONS SEE SHEET 5-3.
- PATCHING MATERIALS AND INSTALLATION:** ALL MATERIALS USED FOR PATCHING SHALL MATCH EXISTING MATERIALS IN APPEARANCE AND QUALITY. WORKMANSHIP SHALL BE IN CONFORMANCE WITH TODAY'S STANDARDS BUT SHOULD BE NO LESS IN QUALITY THAN ANY OF THE ADJACENT WORKMANSHIP IN THE AREA BEING PATCHED.
- OTHER WORK:** COORDINATE ALL OTHER WORK WITH STRUCTURAL UNLESS DETAILED OR SPECIFIED, THE ENGINEER IS TO APPROVE ALL OPENINGS, SLEEVES, EMBEDDED ITEMS, ETC. INVOLVED IN STRUCTURAL WORK PRIOR TO THEIR BEING SET. DO NOT CUT OR DRILL HOLES IN STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ENGINEER. ALL SUCH ITEMS SHALL NOT IMPAIR THE STRUCTURAL INTEGRITY OF THE MEMBER AS DETERMINED BY THE ENGINEER OF RECORD.
- CONTRACTOR INSPECTION REQUIREMENTS:** THE CONTRACTOR SHALL CONDUCT A FIELD SURVEY TO DETERMINE AND ESTIMATE THE AMOUNT OF CHIPPING AND PATCHING MATERIAL REQUIRED.
- HOLLOW INJECTABLE STAINLESS STEEL ENHANCEMENT BARS:**
 - BARS - STAINLESS STEEL TYPE 304 OR BETTER, CONFORMING TO ISO 10208, 1999 (E).
 - EXTERIOR TO HAVE IRREGULAR PROJECTING PROFILE.
 - BAR TO COME IN LENGTHS THAT CAN BE FIELD JOINED WITH COUPLERS. THE BARS ARE TO BE HOLLOW TO ALLOW THE COMPATIBLE INJECTED FILL MATERIALS TO BE PUMPED THROUGH THEM AND EMITTED FROM THE BASE.
 - SPEAKERS ARE TO BE PROVIDED TO ENSURE THAT THE BARS REMAIN CENTERED IN THE DRILLED HOLES.
 - BARS PRIORITIES:

DESIGNATION	OUTER DIAMETER	INNER DIAMETER	EFFECTIVE AREA
OS 32	1 1/2 in.	1 1/8 in.	172 mm ²
OS 36	1 3/4 in.	1 1/4 in.	212 mm ²

INSTALLATION PROCEDURE DIRECTION:

- DRILL PILOT HOLE PER MANUFACTURER'S DIRECTIONS.
- INSTALL THE HELICAL TIE PER THE SPECIFICATIONS.
- PATCH THE ENTRY HOLE WITH MORTAR TO MATCH THE EXISTING.

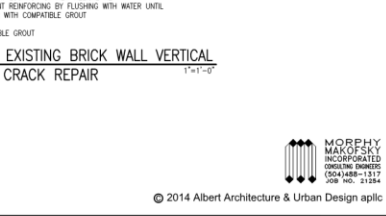
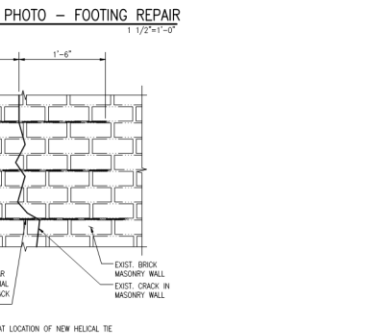
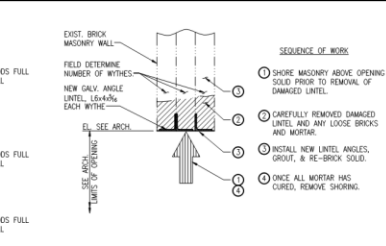
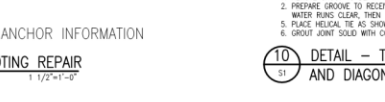
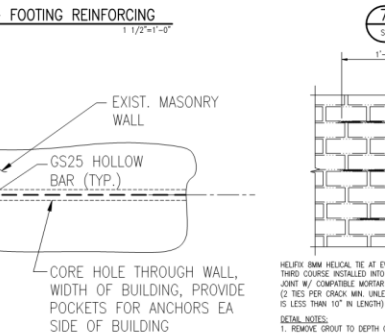
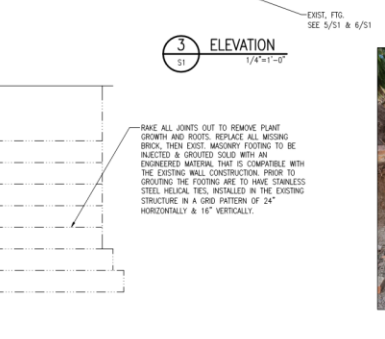
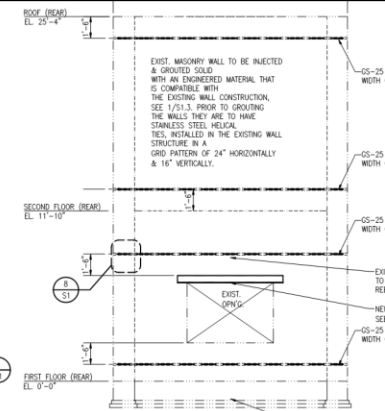
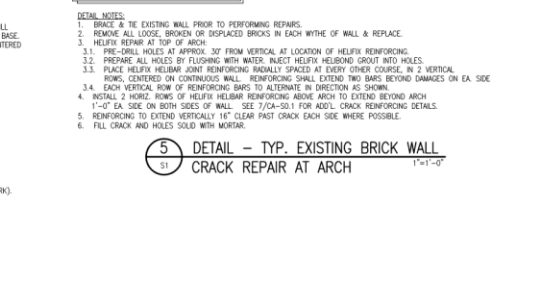
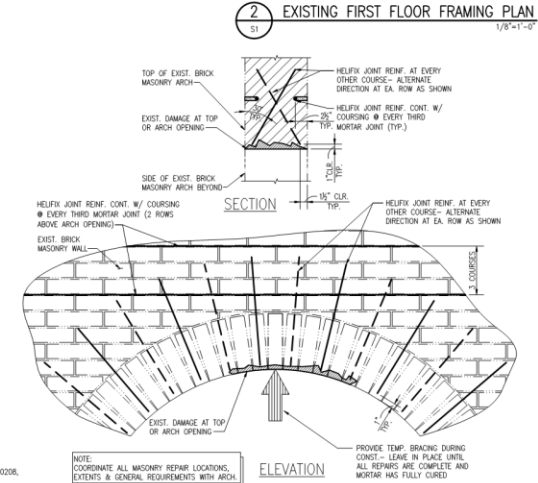
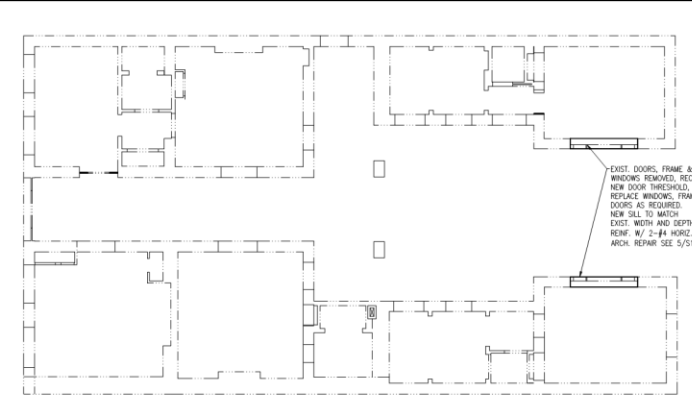
NOTE:

- REMOVE PLASTER IN AREAS TO BE REPAIRED.
- WALLS TO BE TUCK POINTED.

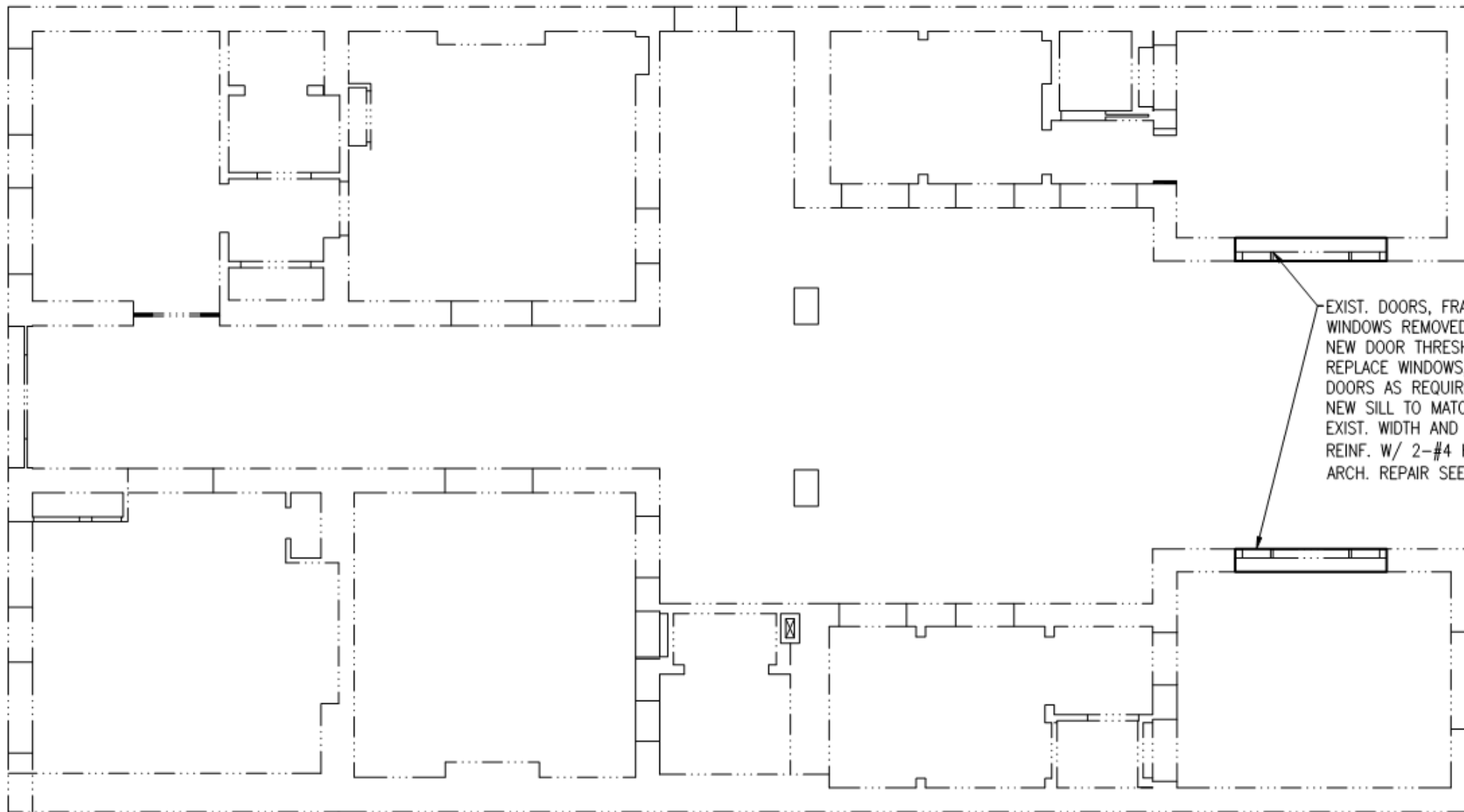
9 DETAIL - REPAIR OF MASONRY WALLS
 1/4"x1'-0"

TYP. ALL MASONRY WALL HELICAL STAINLESS STEEL HELICAL TIES, INSTALLED SPACE AS INDICATED. (INSTALL TIES PRIOR TO ANY OTHER MASONRY WORK).

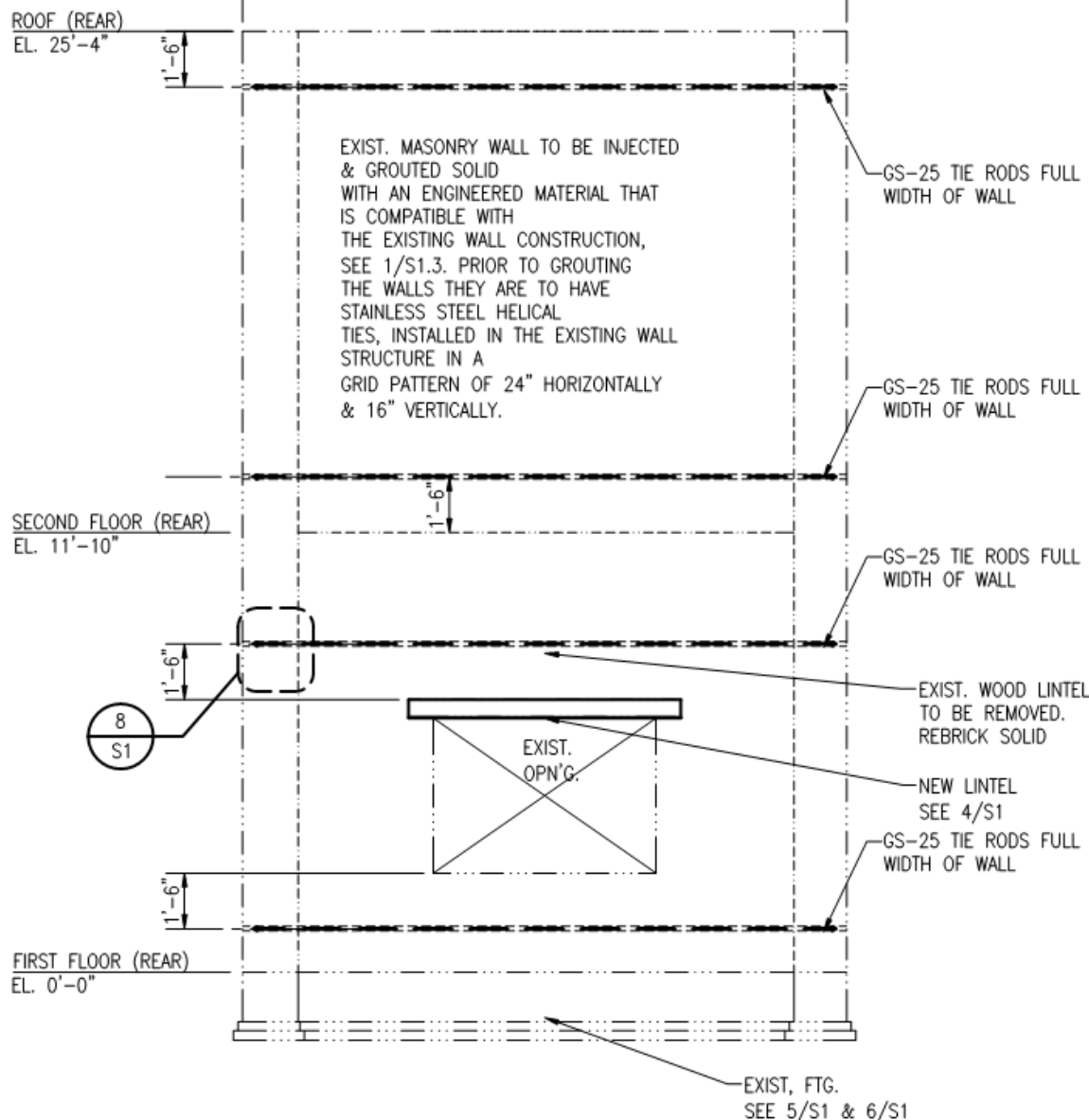
LOCATE TIE IN EXIST. GROUT JOINT. PATCH AFTER INSTALLATION IS COMPLETE.



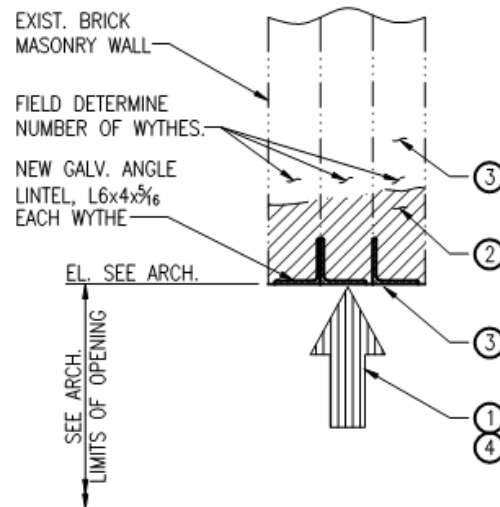
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2 EXISTING FIRST FLOOR FRAMING PLAN
S1 1/8"=1'-0"



3
S1
ELEVATION
1/4"=1'-0"

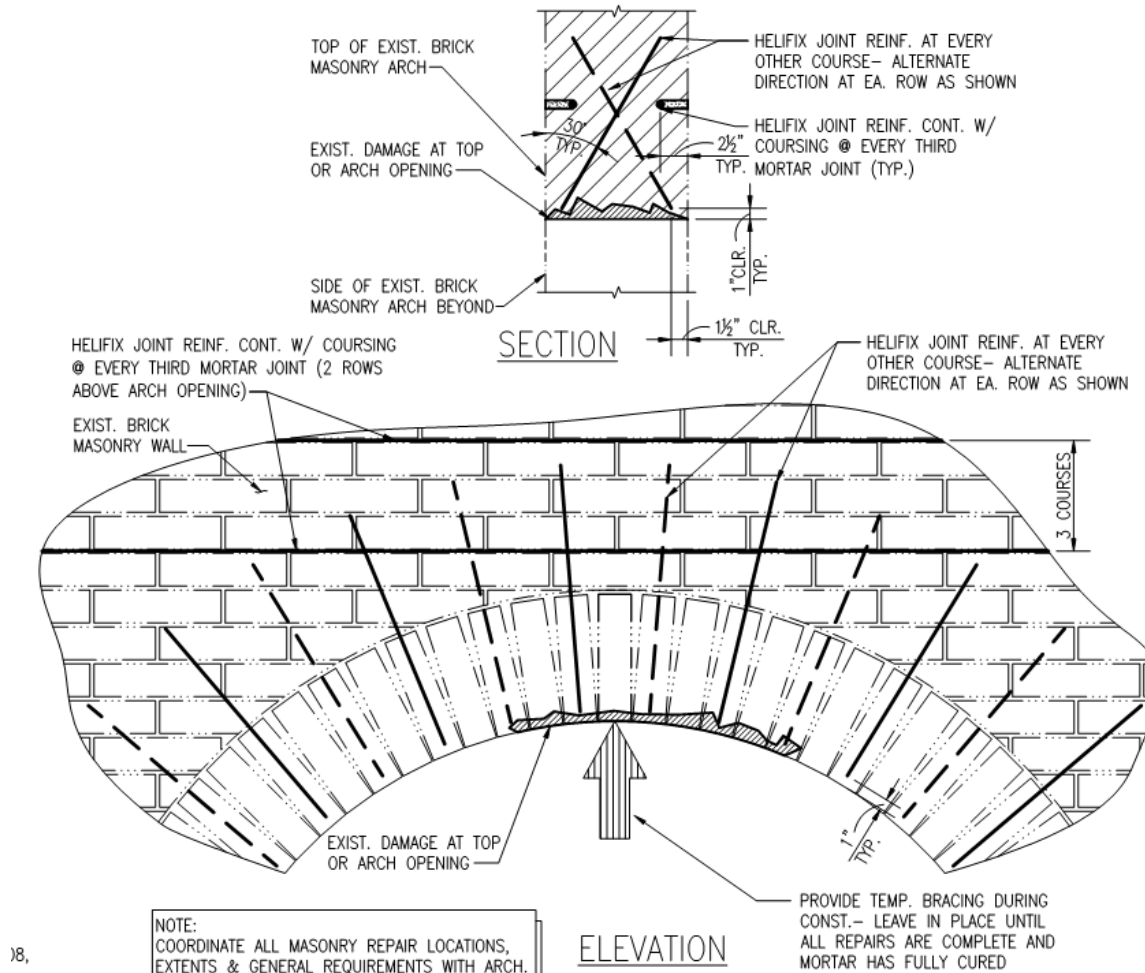


SEQUENCE OF WORK

- ① SHORE MASONRY ABOVE OPENING SOLID PRIOR TO REMOVAL OF DAMAGED LINTEL.
- ② CAREFULLY REMOVED DAMAGED LINTEL AND ANY LOOSE BRICKS AND MORTAR.
- ③ INSTALL NEW LINTEL ANGLES, GROUT, & RE-BRICK SOLID.
- ④ ONCE ALL MORTAR HAS CURED, REMOVE SHORING.

4
S1
DETAIL - TYP. REPLACEMENT OF DAMAGED LINTELS AT EXISTING OPENINGS
1"=1'-0"





18.

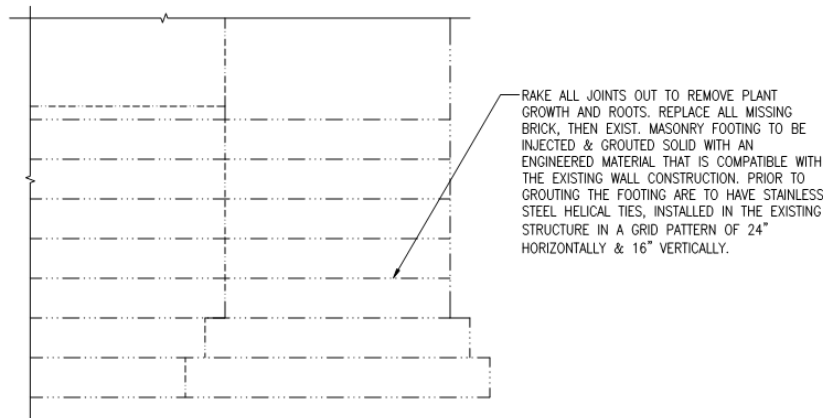
SE.
RED

NOTE:
COORDINATE ALL MASONRY REPAIR LOCATIONS,
EXTENTS & GENERAL REQUIREMENTS WITH ARCH.

DETAIL NOTES:

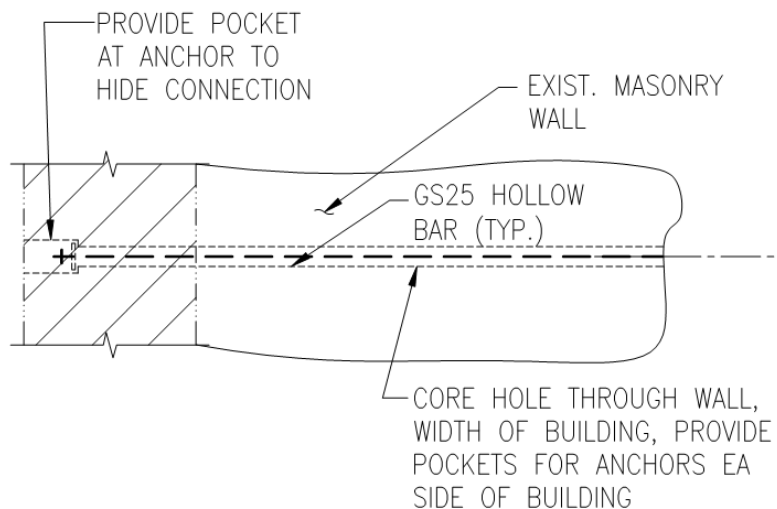
1. BRACE & TIE EXISTING WALL PRIOR TO PERFORMING REPAIRS.
2. REMOVE ALL LOOSE, BROKEN OR DISPLACED BRICKS IN EACH WYTHE OF WALL & REPLACE.
3. HELIFIX REPAIR AT TOP OF ARCH:
 - 3.1. PRE-DRILL HOLES AT APPROX. 30° FROM VERTICAL AT LOCATION OF HELIFIX REINFORCING.
 - 3.2. PREPARE ALL HOLES BY FLUSHING WITH WATER. INJECT HELIFIX HELIBOND GROUT INTO HOLES.
 - 3.3. PLACE HELIFIX HELIBAR JOINT REINFORCING RADIALLY SPACED AT EVERY OTHER COURSE, IN 2 VERTICAL ROWS, CENTERED ON CONTINUOUS WALL. REINFORCING SHALL EXTEND TWO BARS BEYOND DAMAGES ON EA. SIDE
 - 3.4. EACH VERTICAL ROW OF REINFORCING BARS TO ALTERNATE IN DIRECTION AS SHOWN.
4. INSTALL 2 HORIZ. ROWS OF HELIFIX HELIBAR REINFORCING ABOVE ARCH TO EXTEND BEYOND ARCH 1'-0" EA. SIDE ON BOTH SIDES OF WALL. SEE 7/CA-S0.1 FOR ADD'L. CRACK REINFORCING DETAILS.
5. REINFORCING TO EXTEND VERTICALLY 16" CLEAR PAST CRACK EACH SIDE WHERE POSSIBLE.
6. FILL CRACK AND HOLES SOLID WITH MORTAR.





RAKE ALL JOINTS OUT TO REMOVE PLANT GROWTH AND ROOTS. REPLACE ALL MISSING BRICK, THEN EXIST. MASONRY FOOTING TO BE INJECTED & GROUTED SOLID WITH AN ENGINEERED MATERIAL THAT IS COMPATIBLE WITH THE EXISTING WALL CONSTRUCTION. PRIOR TO GROUTING THE FOOTING ARE TO HAVE STAINLESS STEEL HELICAL TIES, INSTALLED IN THE EXISTING STRUCTURE IN A GRID PATTERN OF 24" HORIZONTALLY & 16" VERTICALLY.

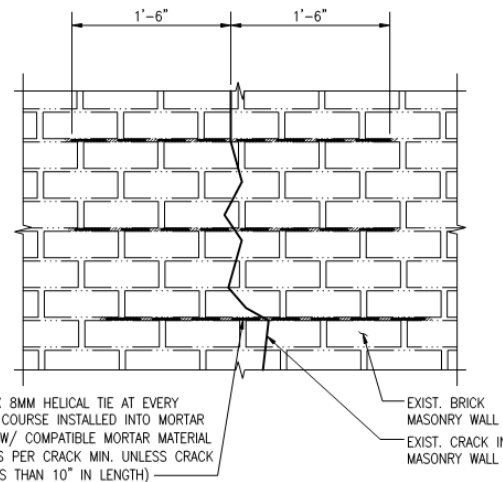
6 DETAIL- FOOTING REINFORCING
S1 1 1/2"=1'-0"



NOTE:
SEE GENERAL FOR GS25 ANCHOR INFORMATION

8 PHOTO - FOOTING REPAIR
S1 1 1/2"=1'-0"

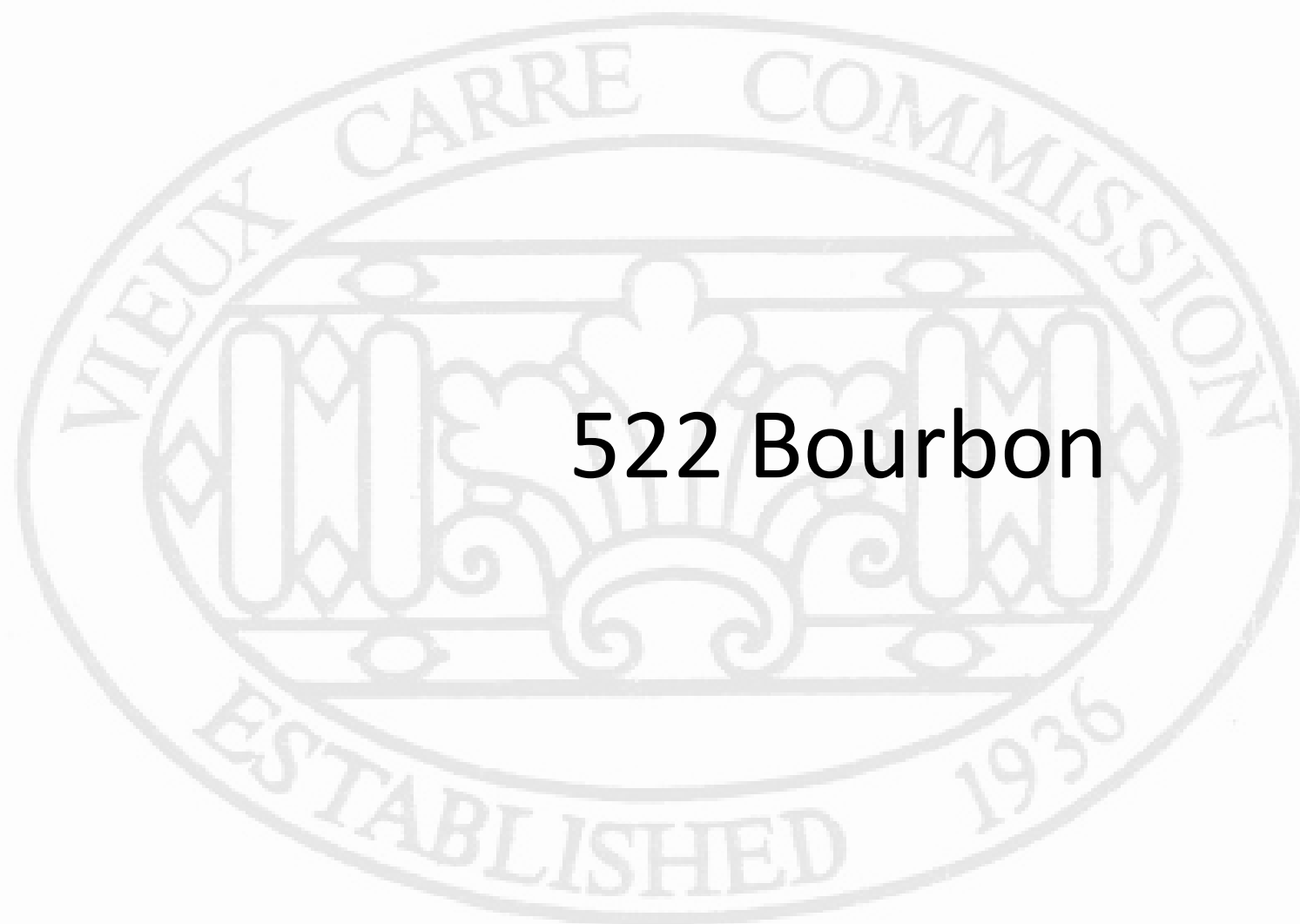
7 PHOTO - FOOTING REPAIR
S1 1 1/2"=1'-0"



- DETAIL NOTES:
1. REMOVE GROUT TO DEPTH OF 2" AT LOCATION OF NEW HELICAL TIE
 2. PREPARE GROOVE TO RECEIVE JOINT REINFORCING BY FLUSHING WITH WATER UNTIL WATER RUNS CLEAR, THEN BUTTER WITH COMPATIBLE GROUT
 5. PLACE HELICAL TIE AS SHOWN
 6. GROUT JOINT SOLID WITH COMPATIBLE GROUT

10 DETAIL - TYP. EXISTING BRICK WALL VERTICAL AND DIAGONAL CRACK REPAIR
S1 1"=1'-0"





522 Bourbon



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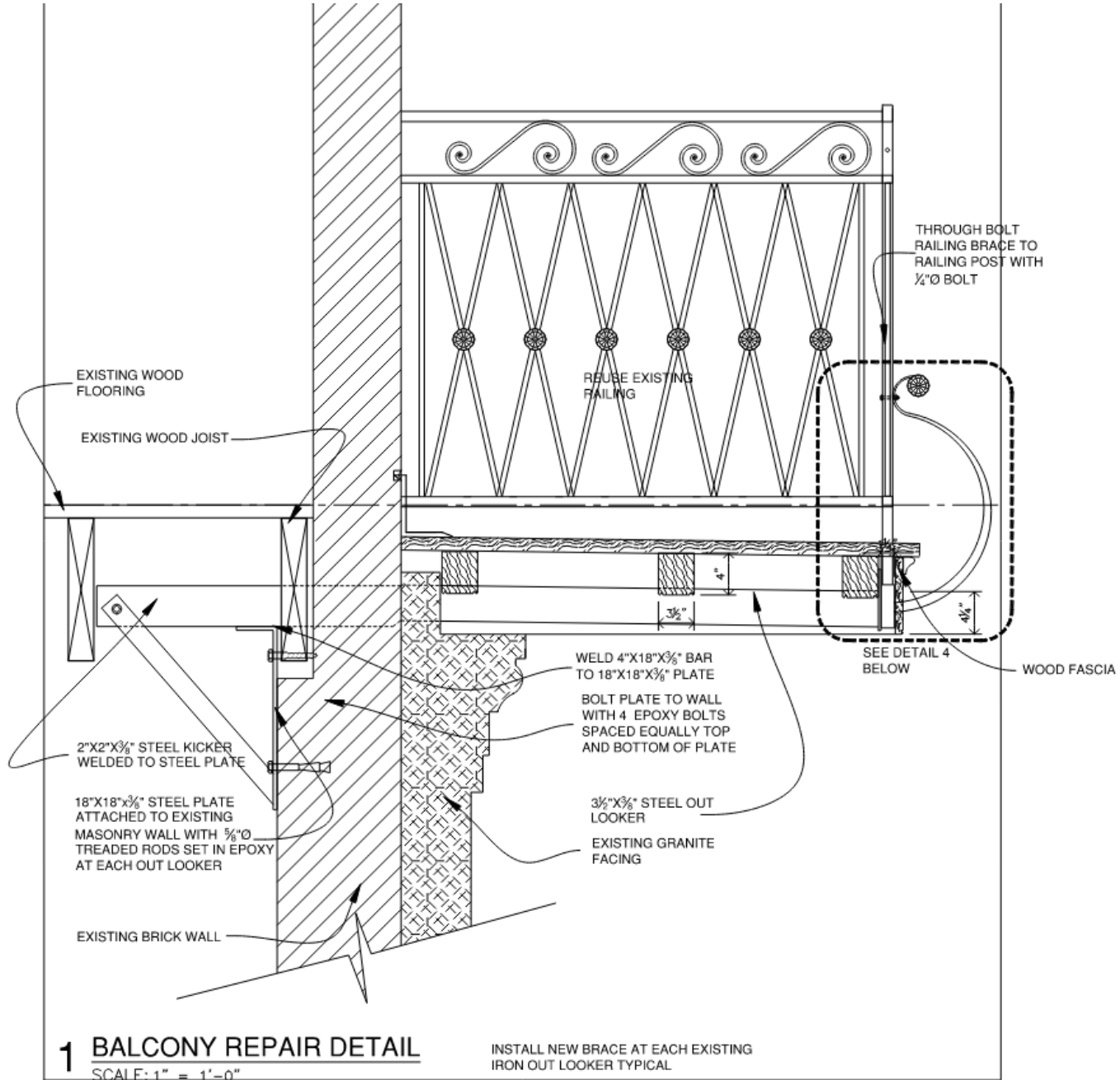


522 Bourbon

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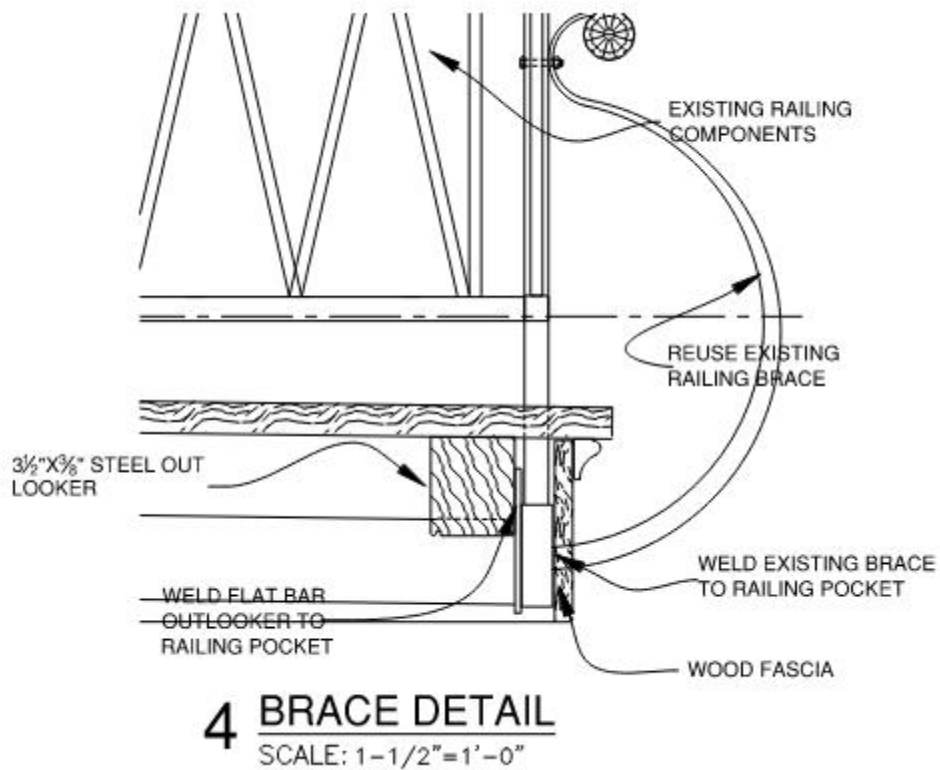




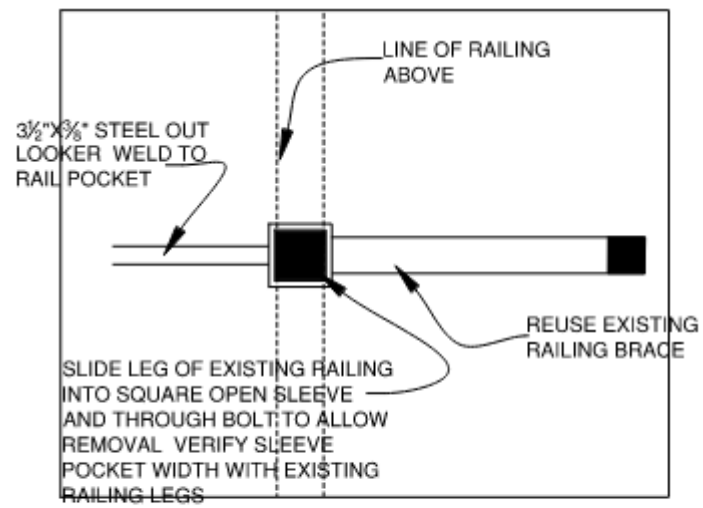
1 BALCONY REPAIR DETAIL
SCALE: 1" = 1'-0"

INSTALL NEW BRACE AT EACH EXISTING IRON OUT LOOKER TYPICAL

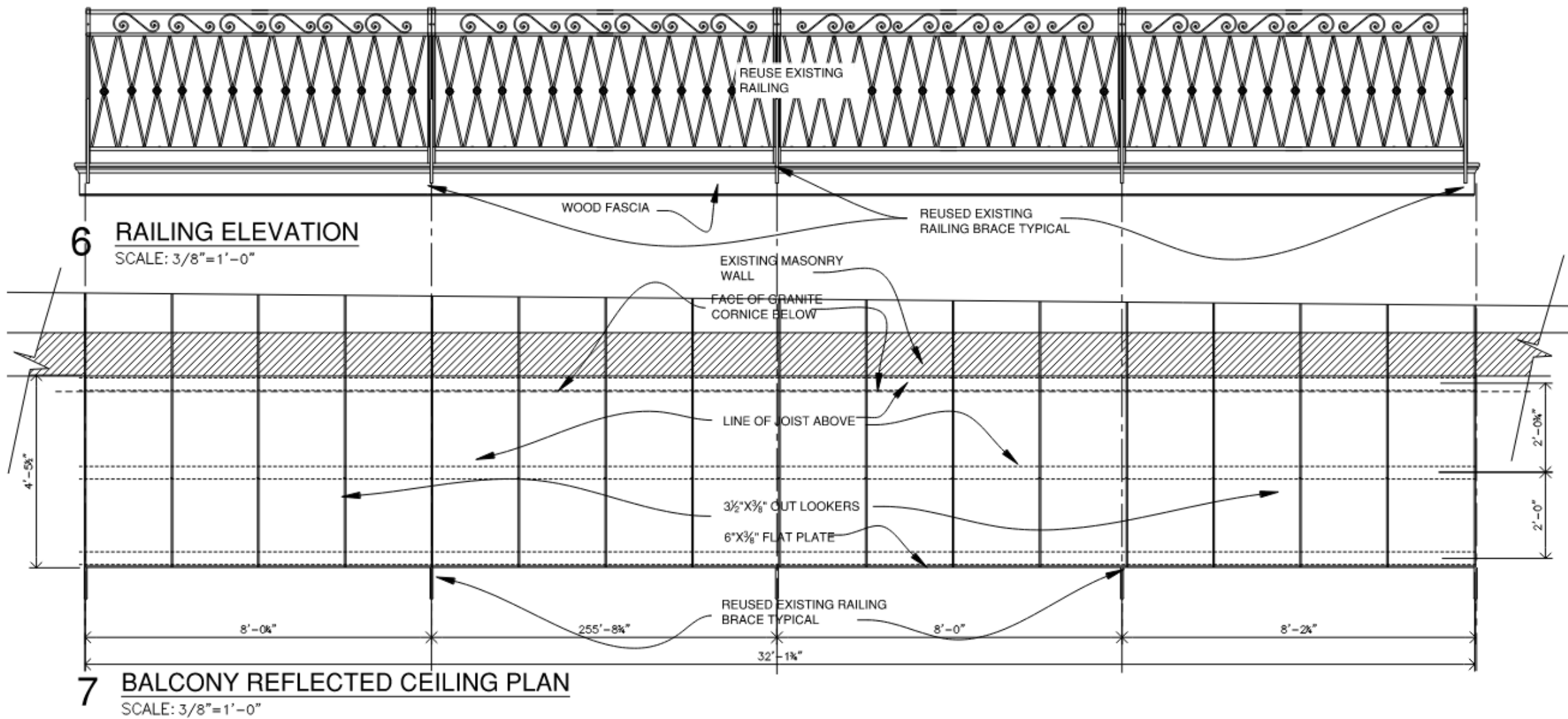


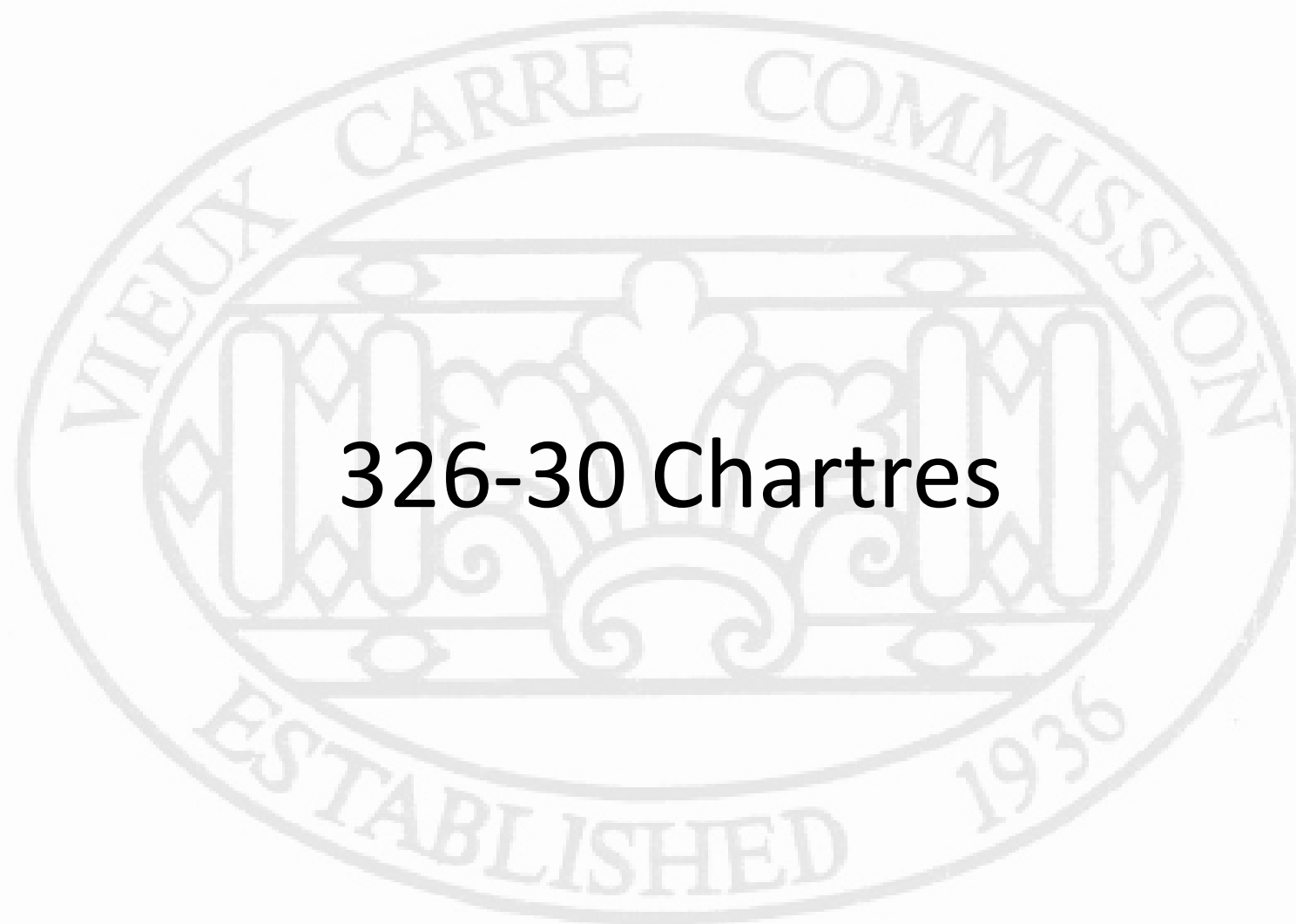


3 BRACE TO BE REUSED
SCALE: NTS

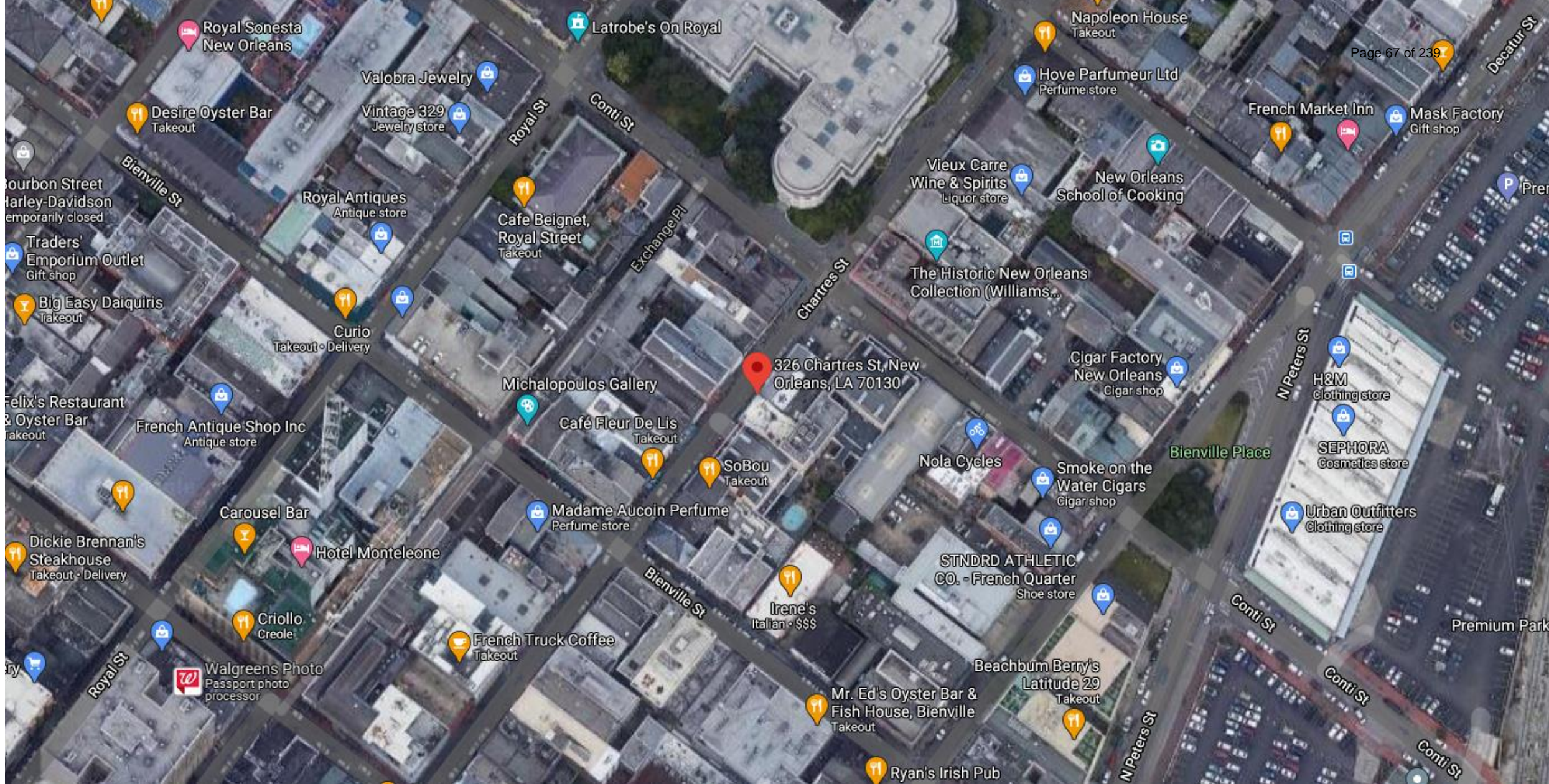


5 POCKET PLAN DETAIL
SCALE: 3" = 1'-0"





326-30 Chartres

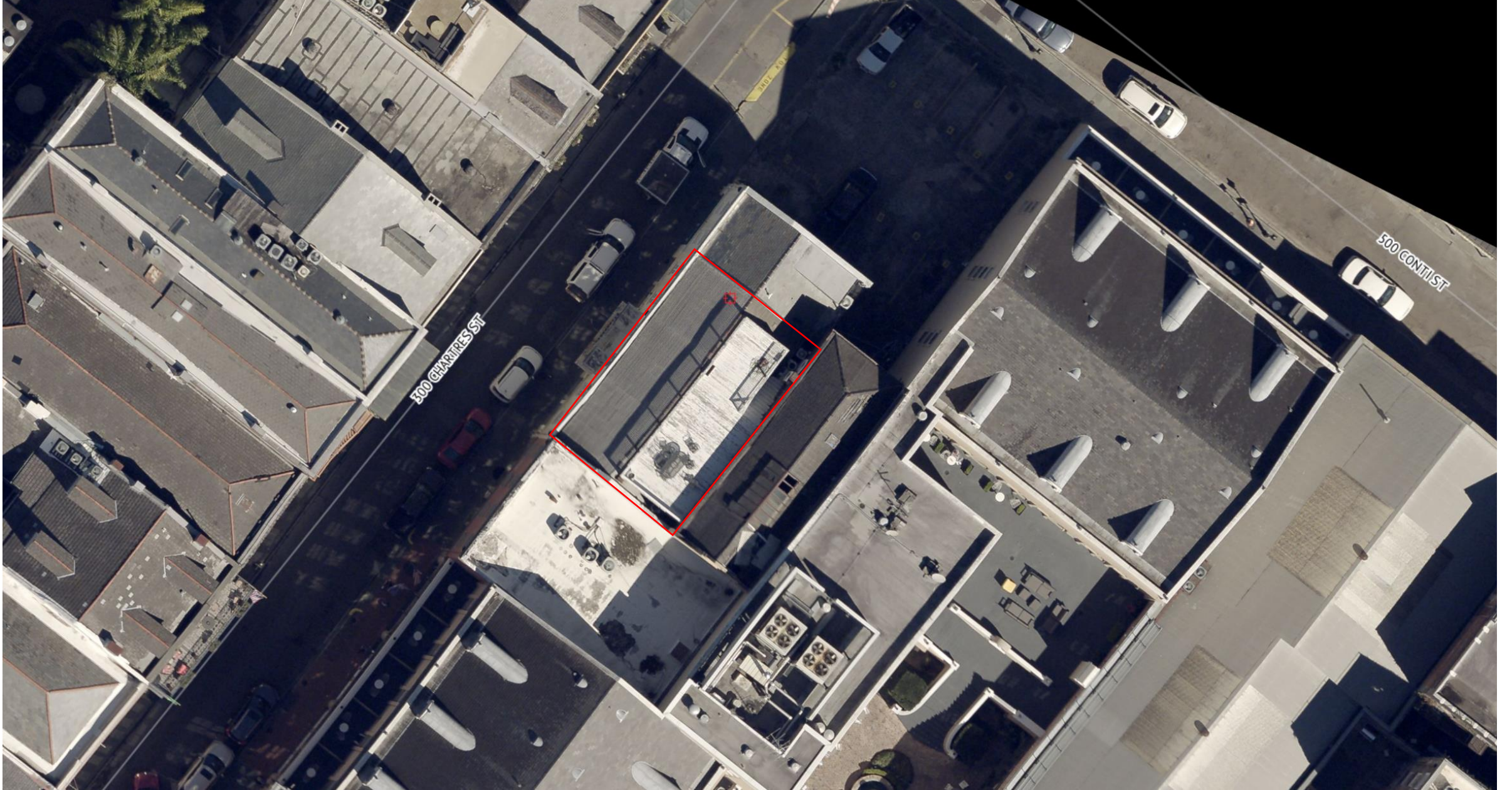


326-30 Chartres

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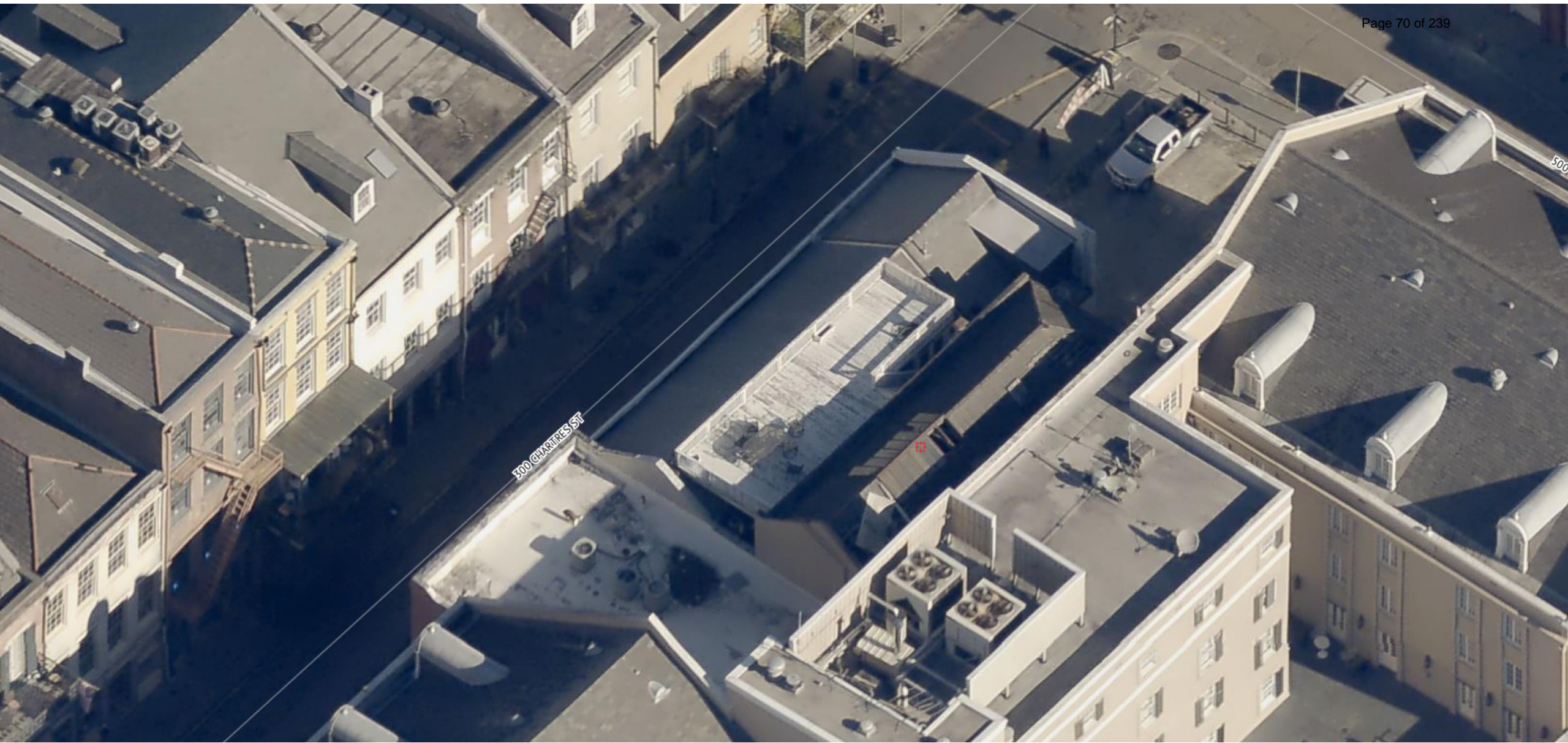


326-30 Chartres

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326-30 Chartres

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326-30 Chartres

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326-30 Chartres – from Conti





326-30 Chartres – from Conti

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326-30 Chartres

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326-30 Chartres

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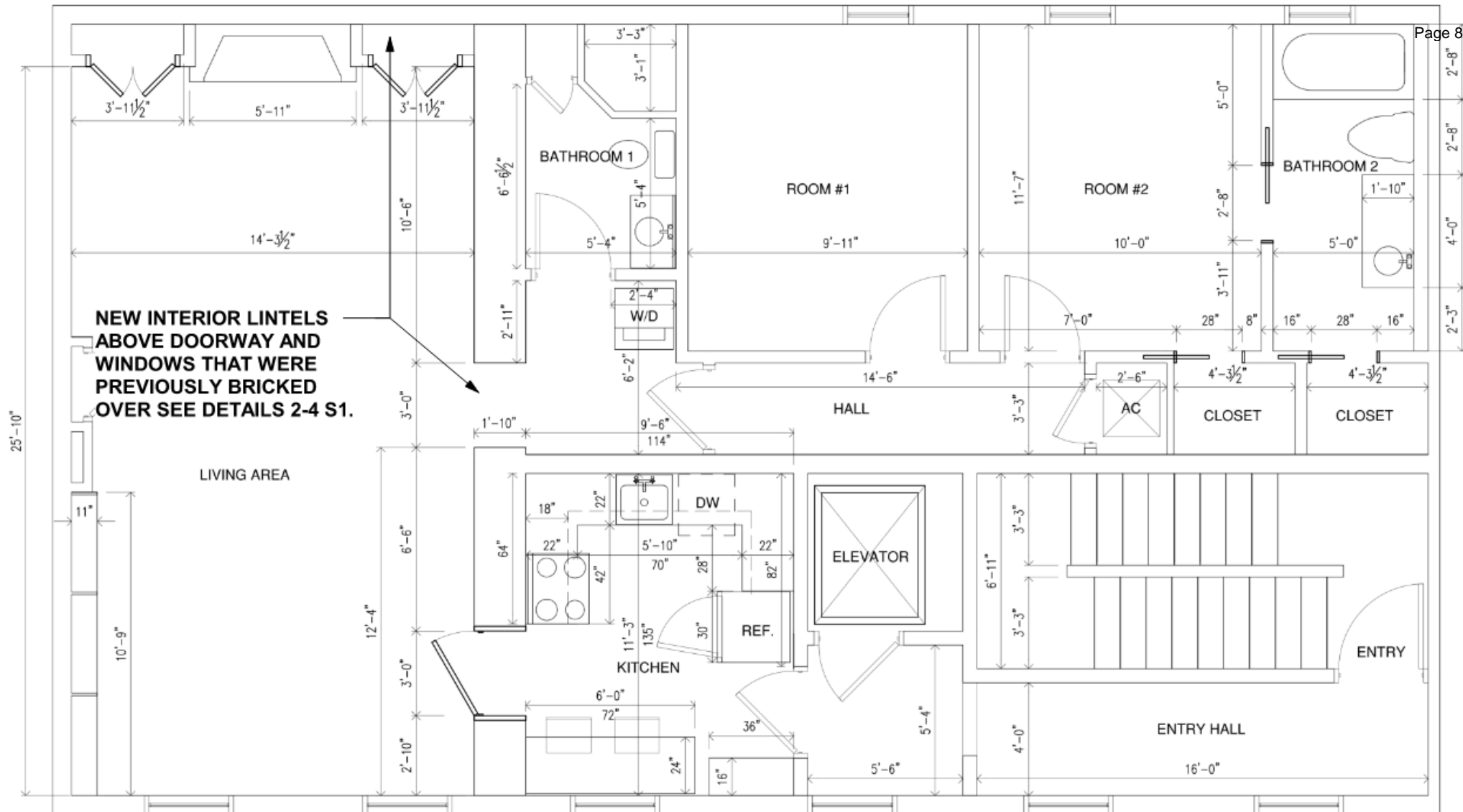


326-30 Chartres

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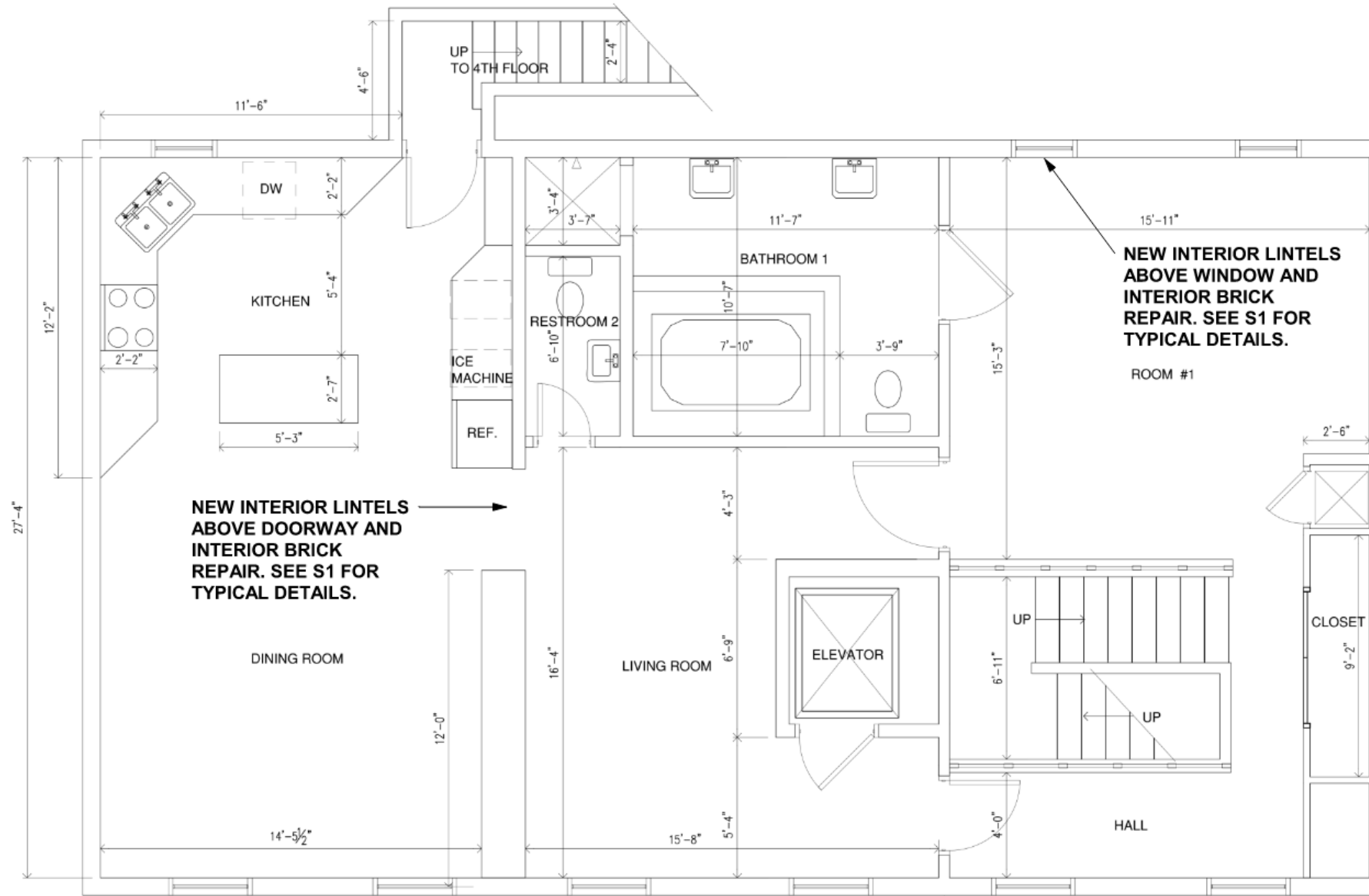
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SECOND FLOOR



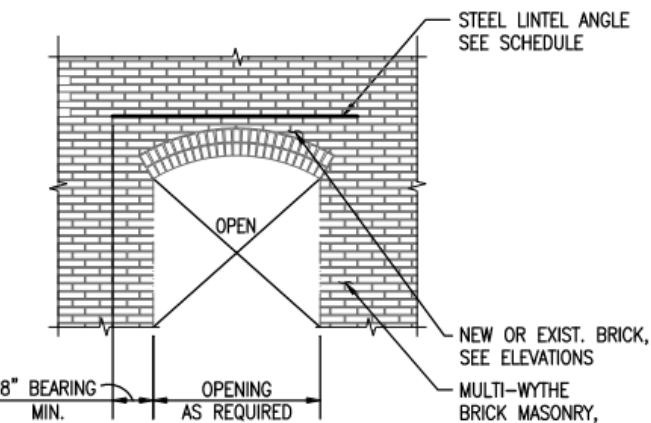


THIRD FLOOR

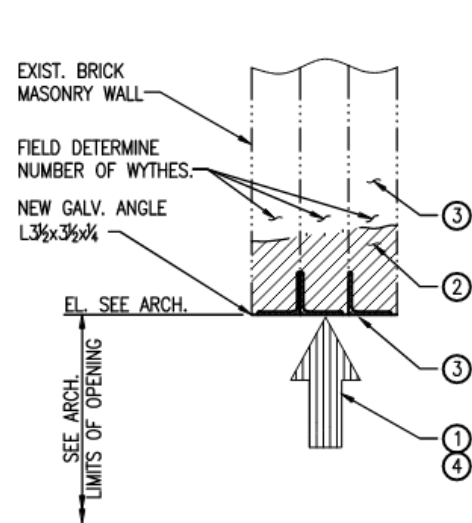


LINTEL SCHEDULE-STEEL ANGLES	
OPENING SIZE (UP TO & INCLUDING)	SIZE OF LINTEL
6'-0"	L3½x3½x¼ EA. WYTHE

STEEL LINTEL NOTES: UNLESS NOTED OTHERWISE:
 1. CONTACT ENGINEER FOR OPENINGS EXCEEDING 6'-0" NOT OTHERWISE DETAILED ON PLANS.
 2. ALL LINTELS TO BE HOT DIPPED GALVANIZED.

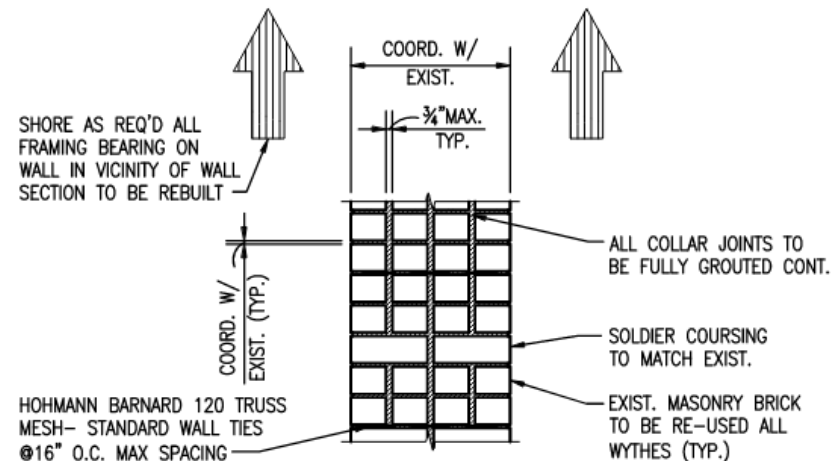


NOTE: UNLESS NOTED OTHERWISE:
 1. INSTALL STEEL LINTEL ABOVE FIRST FULL REGULAR BRICK COURSE ABOVE ARCHED OPENINGS



SEQUENCE OF WORK

- ① SHORE MASONRY ABOVE OPENING SOLID PRIOR TO REMOVAL OF DAMAGED LINTEL.
- ② CAREFULLY REMOVED DAMAGED LINTEL AND ANY LOOSE BRICKS AND MORTAR.
- ③ INSTALL NEW LINTEL ANGLES, GROUT, & RE-BRICK SOLID.
- ④ ONCE ALL MORTAR HAS CURED, REMOVE SHORING.



- NOTES: UNLESS NOTED OTHERWISE:**
1. ALL MASONRY WYTHES & COURSES TO BE KEYED INTO EXIST. MASONRY WALL- SEE ELEVATIONS.
 2. BRICK COURSING, MORTAR JOINTS, ETC. TO MATCH EXISTING.
 3. REBUILD WALL TO DEPTH REQUIRED TO ACHIEVE SOLID BEARING ON EXISTING SOUND MASONRY.
 4. ALL MORTAR SHALL BE FORMULATED TO BE COMPATIBLE WITH THE EXISTING MORTAR.

NOTE:
 COORDINATE ALL MASONRY REPAIR LOCATIONS, EXTENTS & GENERAL REQUIREMENTS WITH ARCH.

2 LINTEL SCHEDULE - STEEL ANGLES
 S1 NTS

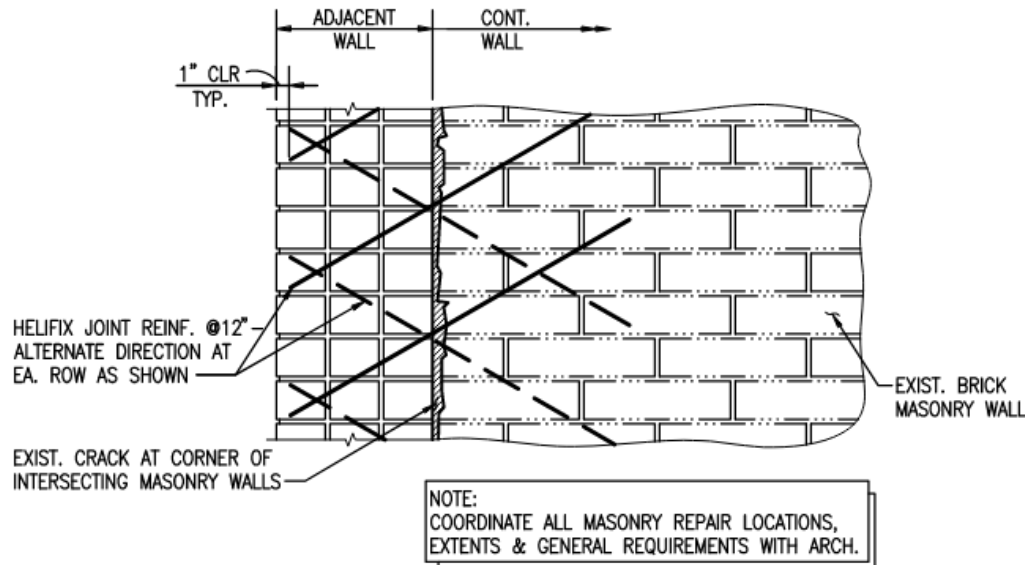
3 DETAIL - TYP. REPLACEMENT OF DAMAGED LINTELS AT EXISTING OPENINGS
 S1 1"=1'-0"

4 DETAIL - MULTI WYTHE MASONRY REBUILDING
 S1 3/4"=1'-0"



DETAIL NOTES:

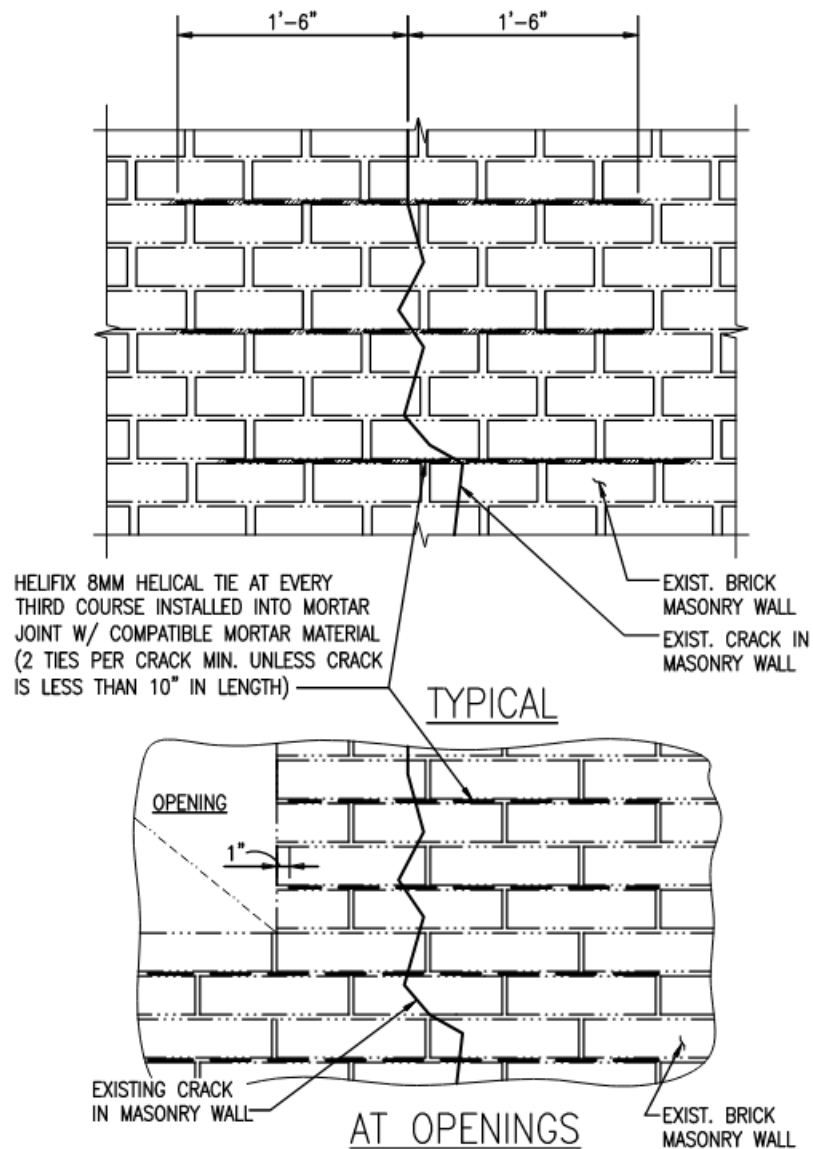
1. BRACE & TIE EXISTING WALL PRIOR TO PERFORMING REPAIRS.
2. REMOVE ALL BROKEN BRICKS IN EACH WYTHE OF WALL & REPLACE.
3. HELIFIX REPAIR AT INTERSECTING WALL:
 - 3.1 PRE-DRILL HOLES AT APPROX. 30° ANGLE AT LOCATION OF HELIFIX REINFORCING. LOCATE ALL HOLES IN NEAREST HORIZONTAL MORTAR JOINT.
 - 3.2 PREPARE HOLES BY FLUSHING WITH WATER. INJECT GROUT INTO HOLES WITH HELIFIX HELIBOND GROUT.
 - 3.3 PLACE HELIFIX HELIBAR JOINT REINFORCING SPACED AT 12" O.C. MAX. VERTICAL, 6" O.C. MAX. HORIZONTAL, 2 VERTICAL ROWS, CENTERED ON CONTINUOUS WALL.
 - 3.4. EACH VERTICAL ROW OF REINFORCING BARS TO ALTERNATE DIRECTION AS SHOWN.
4. IF ADD'L. DAMAGES ARE PRESENT BEYOND SEPARATION IN THE CORNER, SEE 7/CA-S0.1 FOR GENERAL REPAIR DETAILS.
5. REINFORCING TO EXTEND 16" CLEAR PAST CRACK EACH SIDE WHERE POSSIBLE.
6. FILL CRACK AND HOLES SOLID WITH COMPATIBLE MORTAR.



5

 DETAIL – TYP. EXISTING BRICK WALL
 CRACK REPAIR AT CORNER

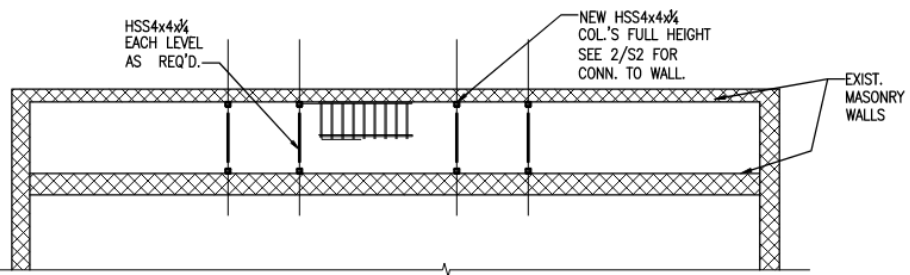
1"=1'-0"



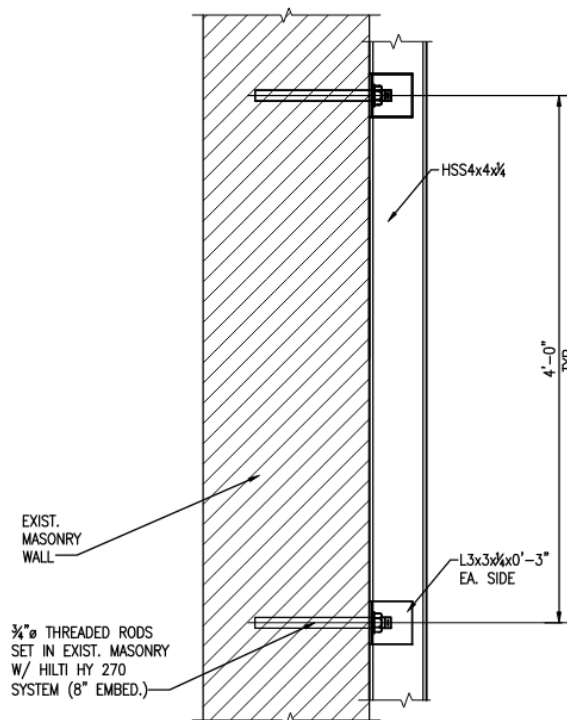
DETAIL NOTES:

1. BRACE & TIE EXISTING WALL AND SHORE HEADERS PRIOR TO PERFORMING REPAIRS.
1. REMOVE ALL BROKEN BRICKS IN EACH WYTHE OF WALL.
2. REMOVE GROUT TO DEPTH OF 2" AT LOCATION OF NEW HELICAL TIE
3. PREPARE GROOVE TO RECEIVE JOINT REINFORCING BY FLUSHING WITH WATER UNTIL WATER RUNS CLEAR, THEN BUTTER WITH COMPATIBLE GROUT
5. PLACE HELICAL TIE AS SHOWN
6. GROUT JOINT SOLID WITH COMPATIBLE GROUT
7. AT OPENINGS:
 - 7.1 BEND HELICAL TIE IN $\overline{6}$ " CONFIGURATION.
 - 7.2 PREPARE GROUT JOINT ON BOTH SIDES OF WALL AND AT JAMB TO ACCEPT BENT TIE.
 - 7.3 REINFORCING TO EXTEND 18" CLEAR PAST CRACK WHERE POSSIBLE.
 - 7.4 GROUT JOINT SOLID WITH COMPATIBLE GROUT

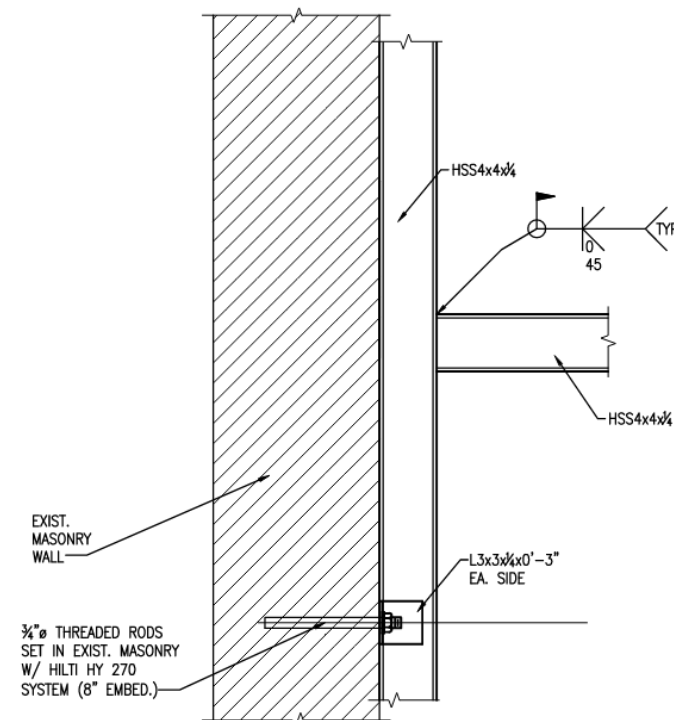
NOTE:
 COORDINATE ALL MASONRY REPAIR LOCATIONS,
 EXTENTS & GENERAL REQUIREMENTS WITH ARCH.



1 STAIR SCHEMATIC FRAMING PLAN
S2 1/8"=1'-0"



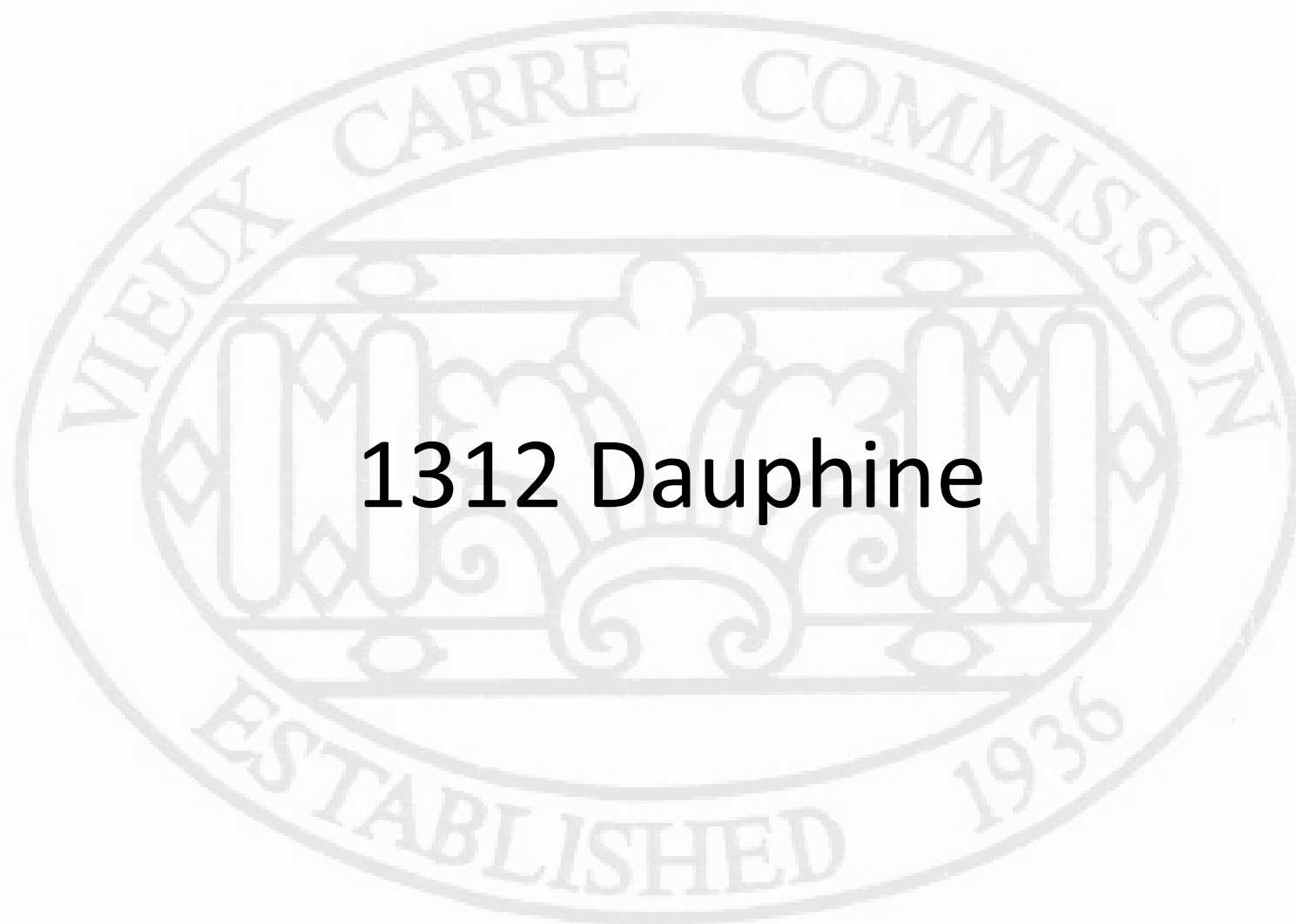
2 DETAIL
S1.2 1 1/2"=1'-0"



3 DETAIL
S1.2 1 1/2"=1'-0"



New Business



1312 Dauphine



1312 Dauphine

VCC Architectural Committee

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1312 Dauphine

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July 26, 2022





1312 Dauphine

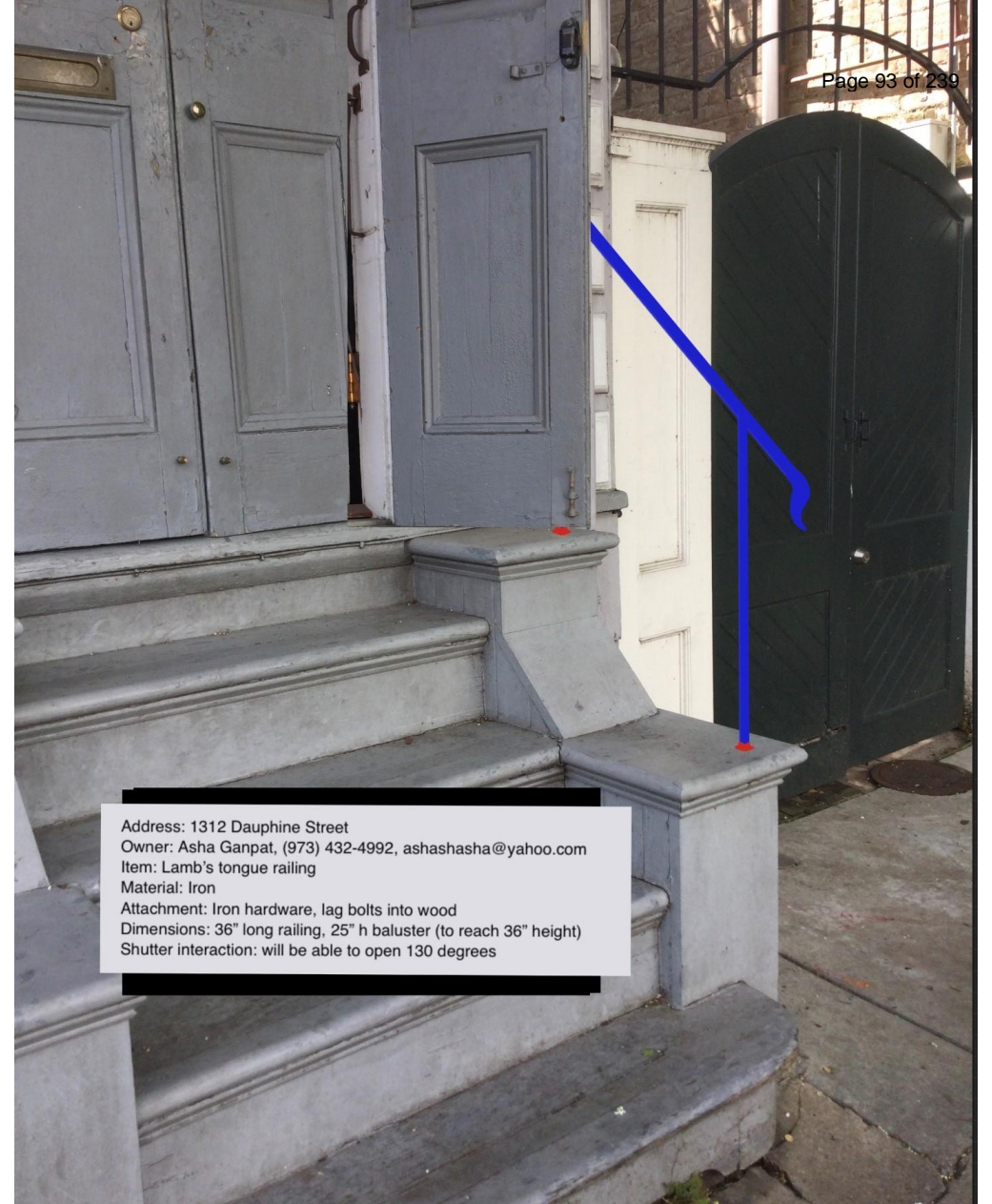
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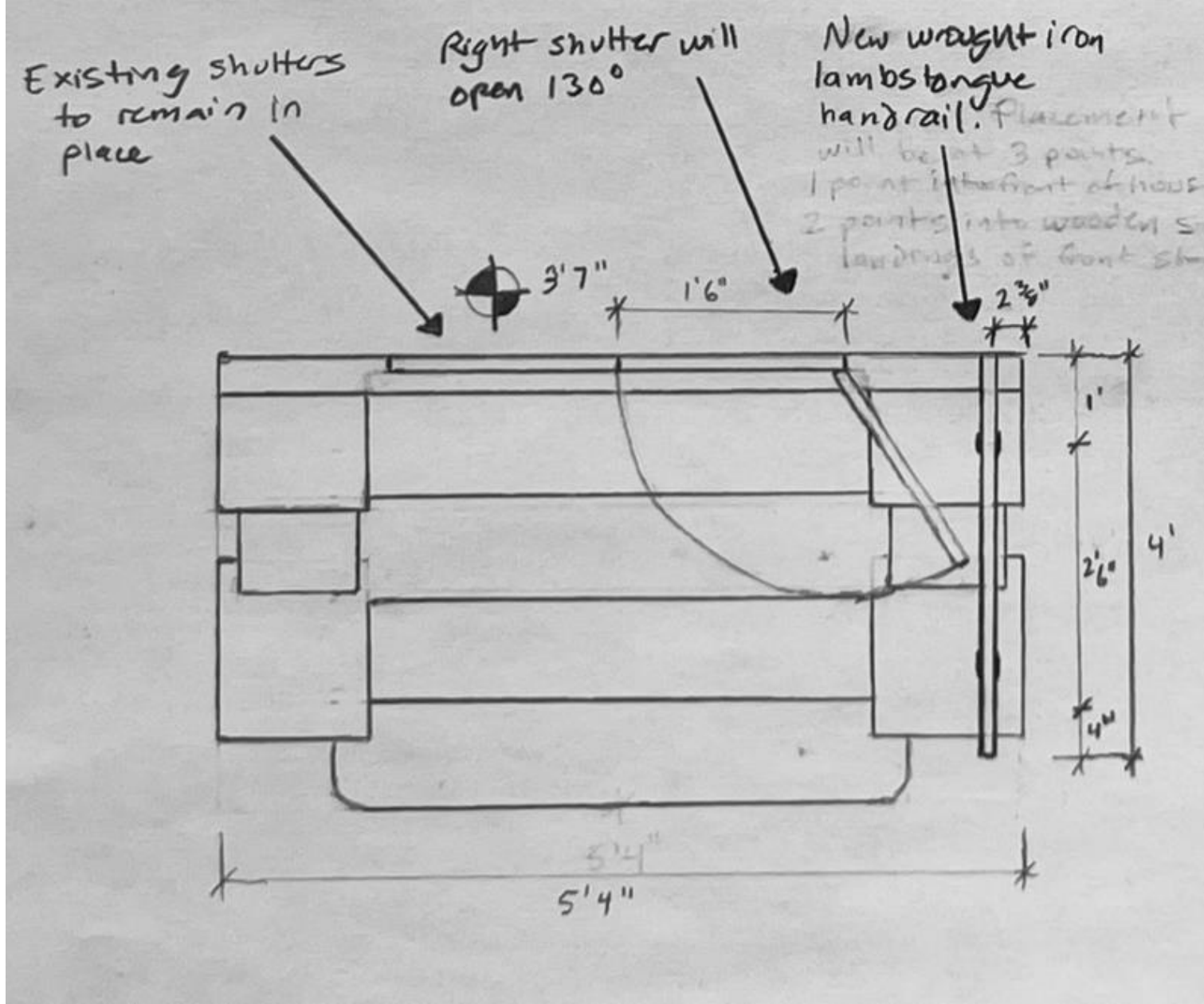
Address: 1312 Dauphine Street
 Owner: Asha Ganpat, (973) 432-4992, ashashasha@yahoo.com
 Item: Lamb's tongue railing
 Material: Iron
 Attachment: Iron hardware, lag bolts into wood
 Dimensions: 36" long railing, 25" h baluster (to reach 36" height)
 Shutter interaction: will be able to open 130 degrees



Address: 1312 Dauphine Street
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1312 Dauphine



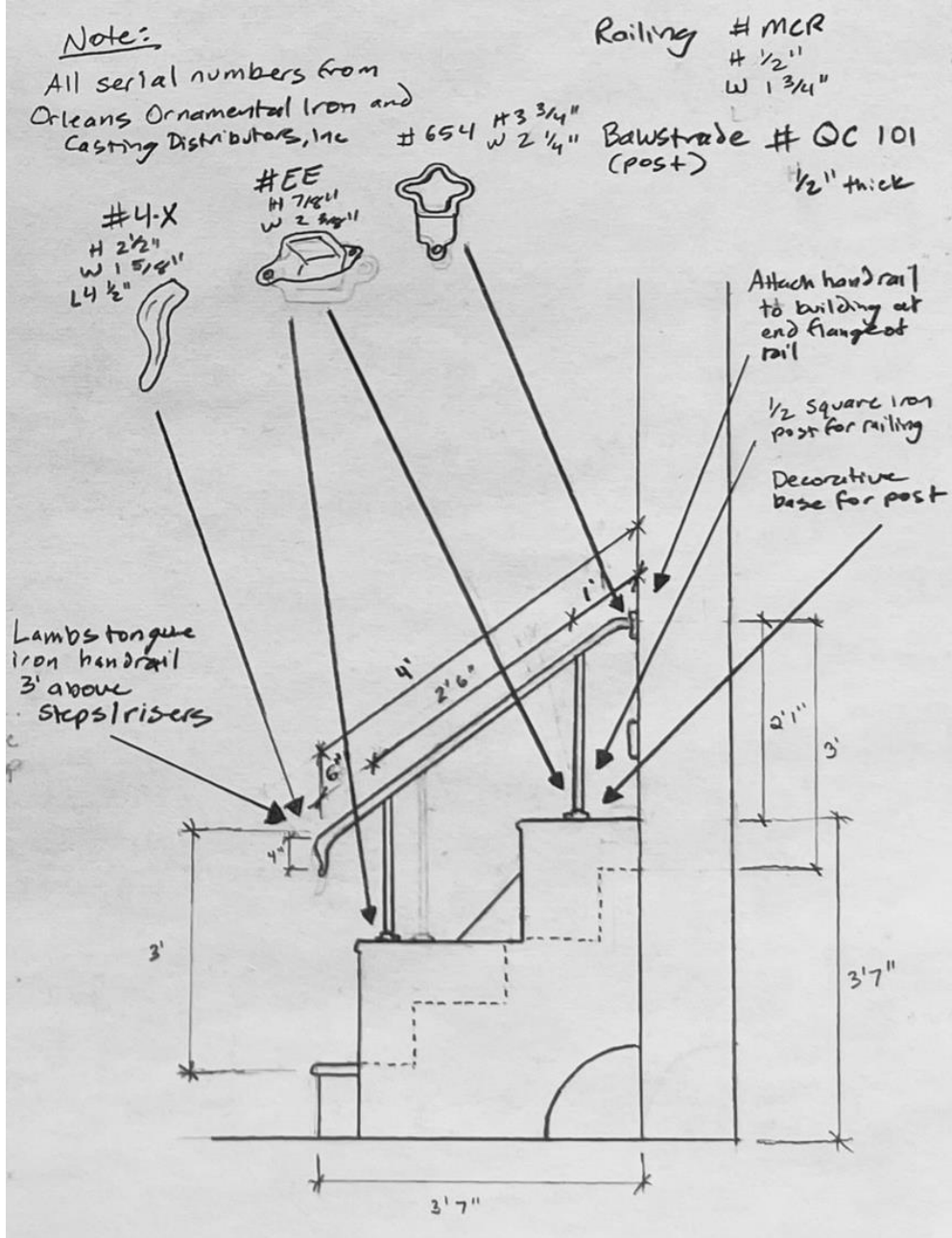


1312 Dauphine

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July 26, 2022



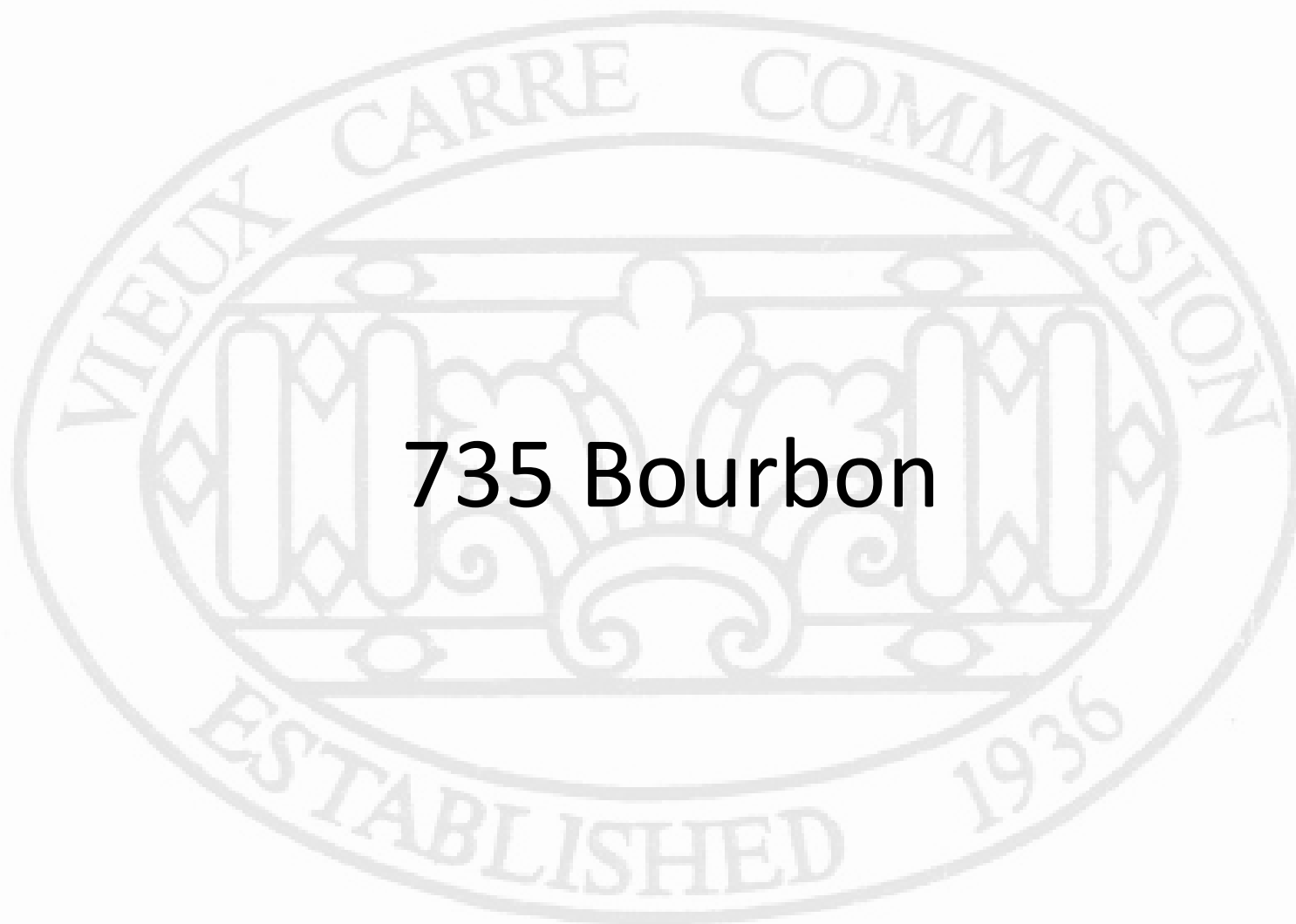


1312 Dauphine

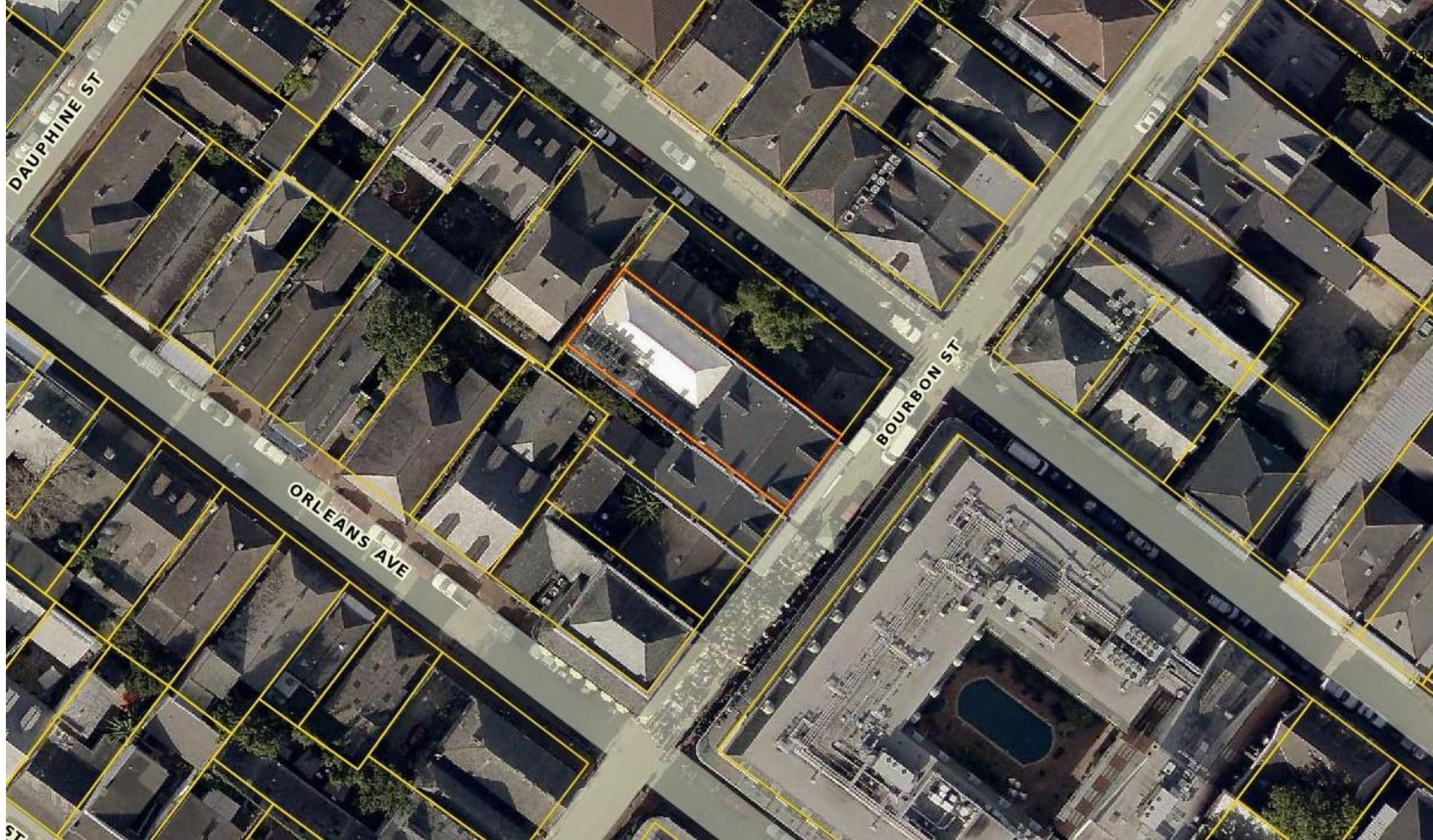
VCC Architectural Committee

July 26, 2022





735 Bourbon



735 Bourbon

VCC Architectural Committee

June 26, 2018





735 Bourbon, 1962

VCC Architectural Committee

June 26, 2018





735 Bourbon, 1962

VCC Architectural Committee

June 26, 2018





735 Bourbon - 2005

VCC Architectural Committee

June 26, 2018





735 Bourbon, 2010

VCC Architectural Committee

June 26, 2018





735 Bourbon





735 Bourbon

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June 26, 2018





735 Bourbon

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June 26, 2018





735 Bourbon

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June 26, 2018





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735 Bourbon

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June 26, 2018





735 Bourbon

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June 26, 2018





735 Bourbon

VCC Architectural Committee

June 26, 2018



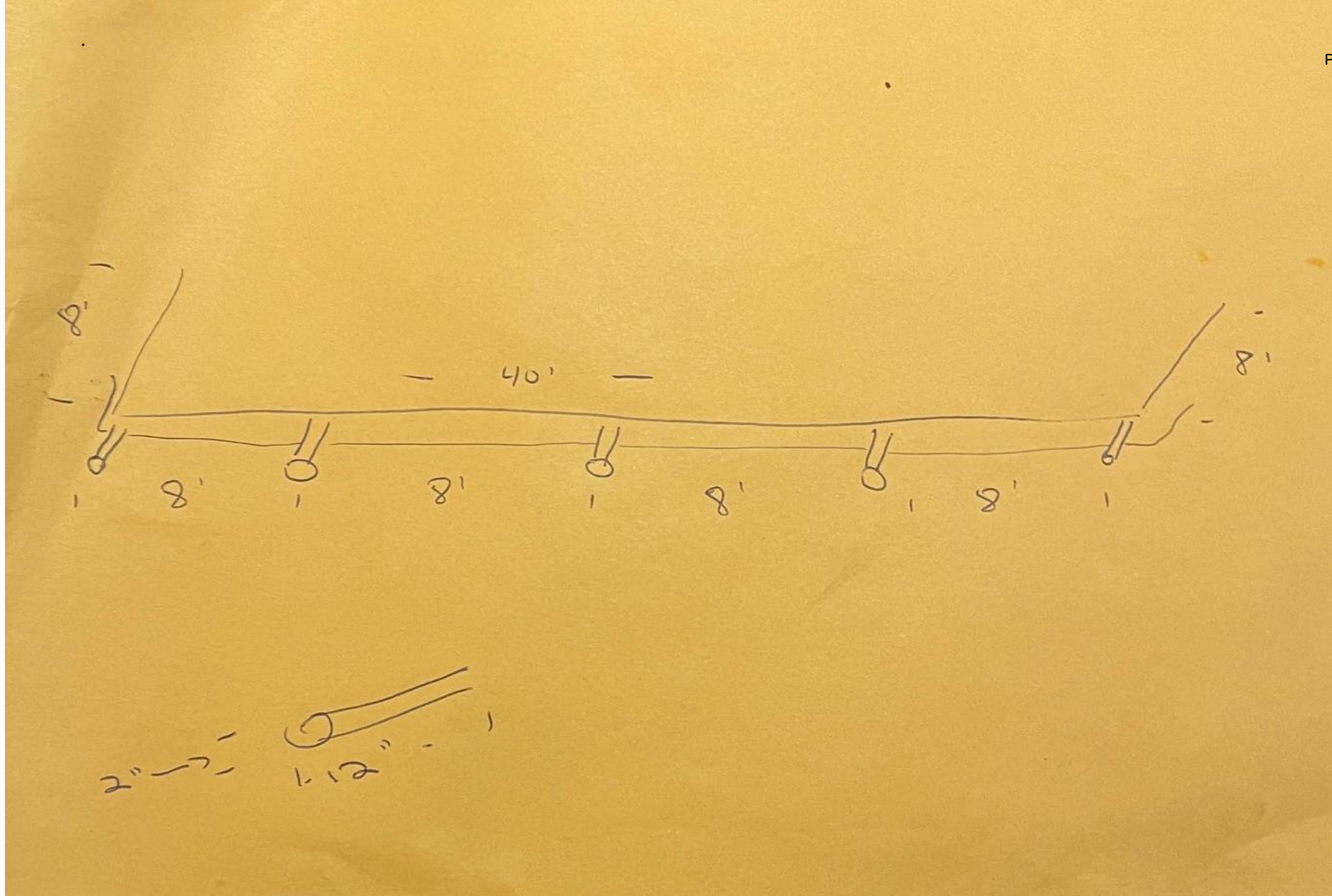


735 Bourbon

VCC Architectural Committee

June 26, 2018



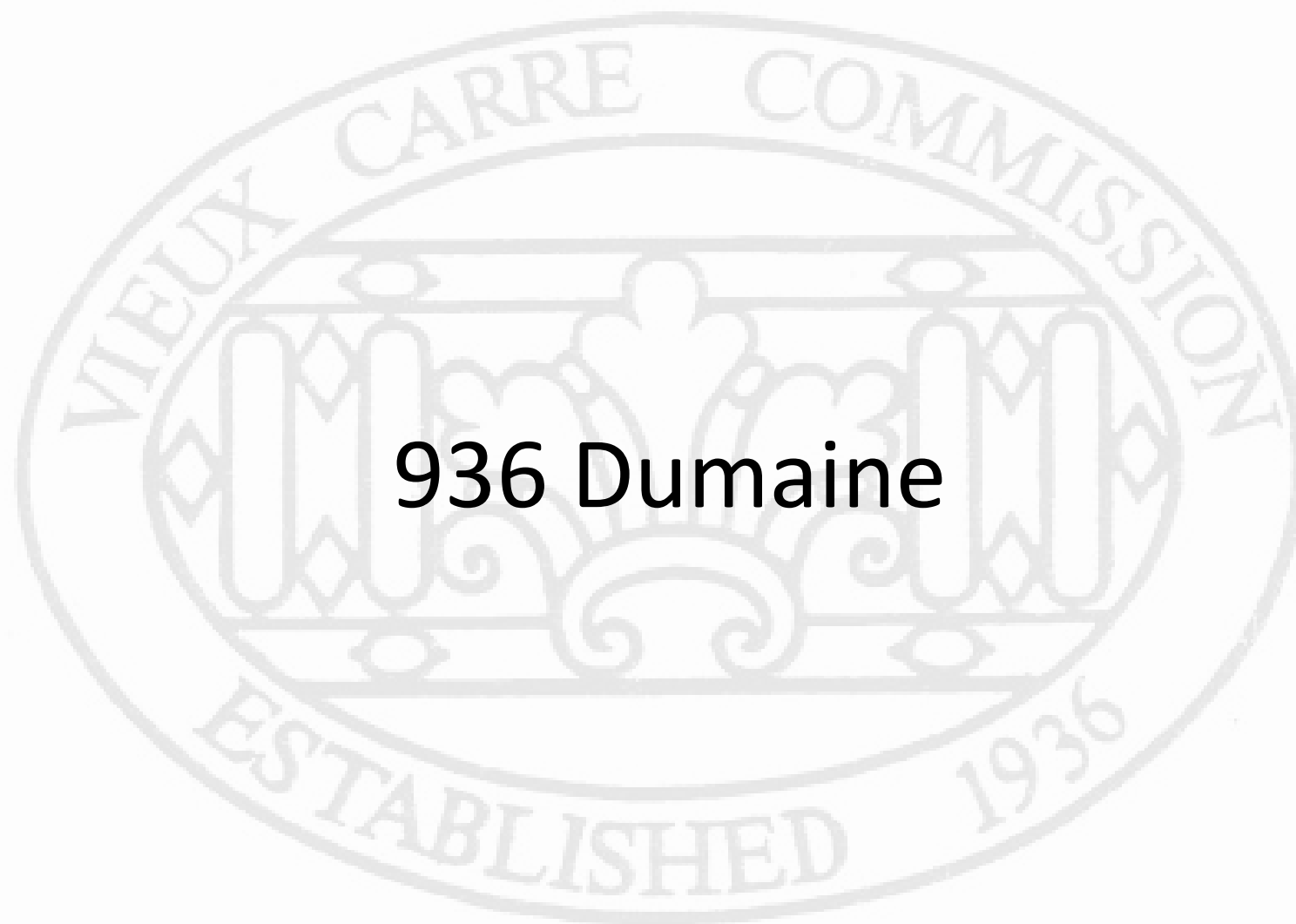


735 Bourbon

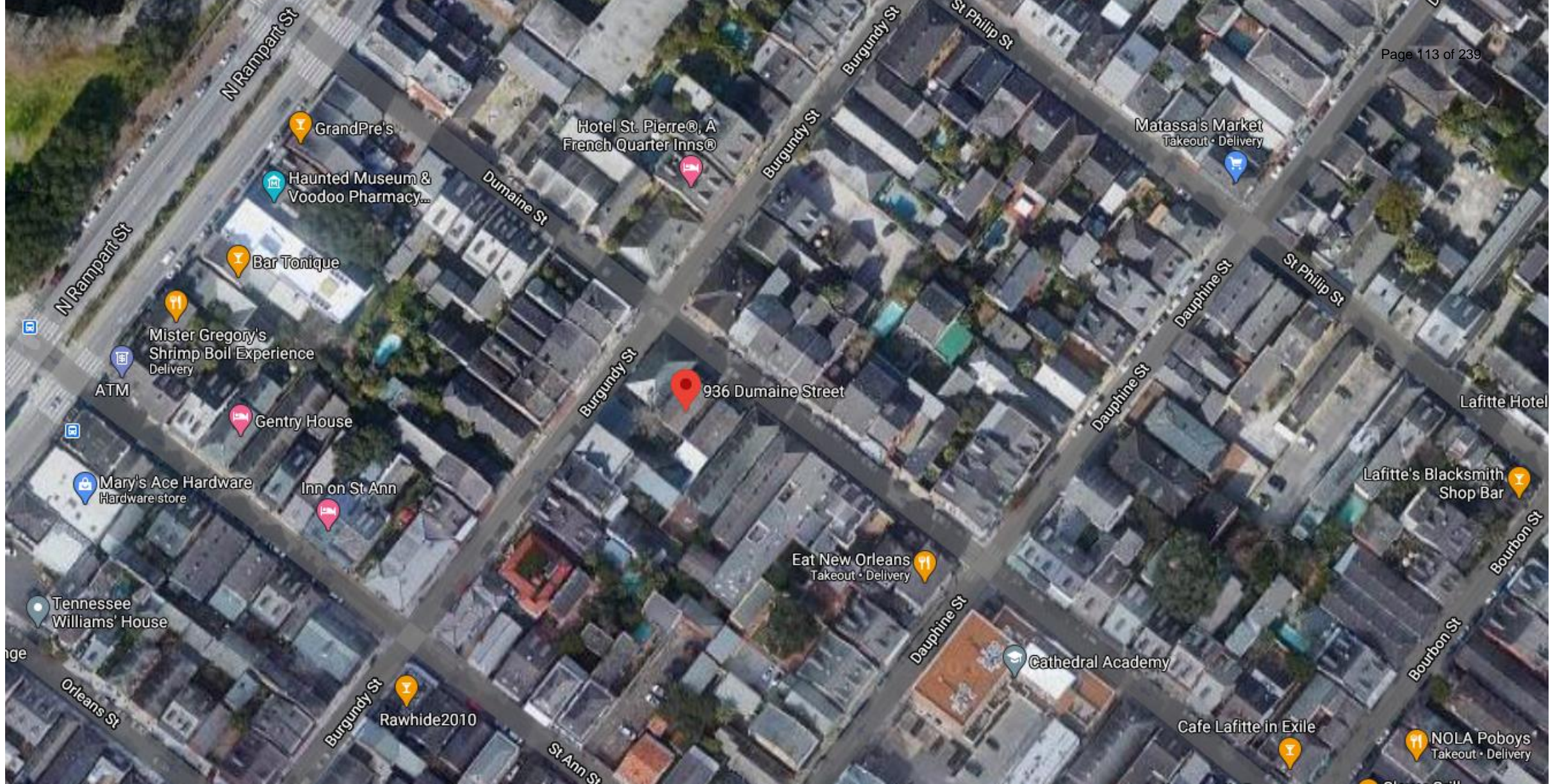
VCC Architectural Committee

June 26, 2018





936 Dumaine



936 Dumaine

VCC Architectural Committee

July 26, 2022





936 Dumaine

VCC Architectural Committee

July 26, 2022





936 Dumaine

VCC Architectural Committee

July 26, 2022





936 Dumaine

VCC Architectural Committee

July 26, 2022





936 Dumaine

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July 26, 2022





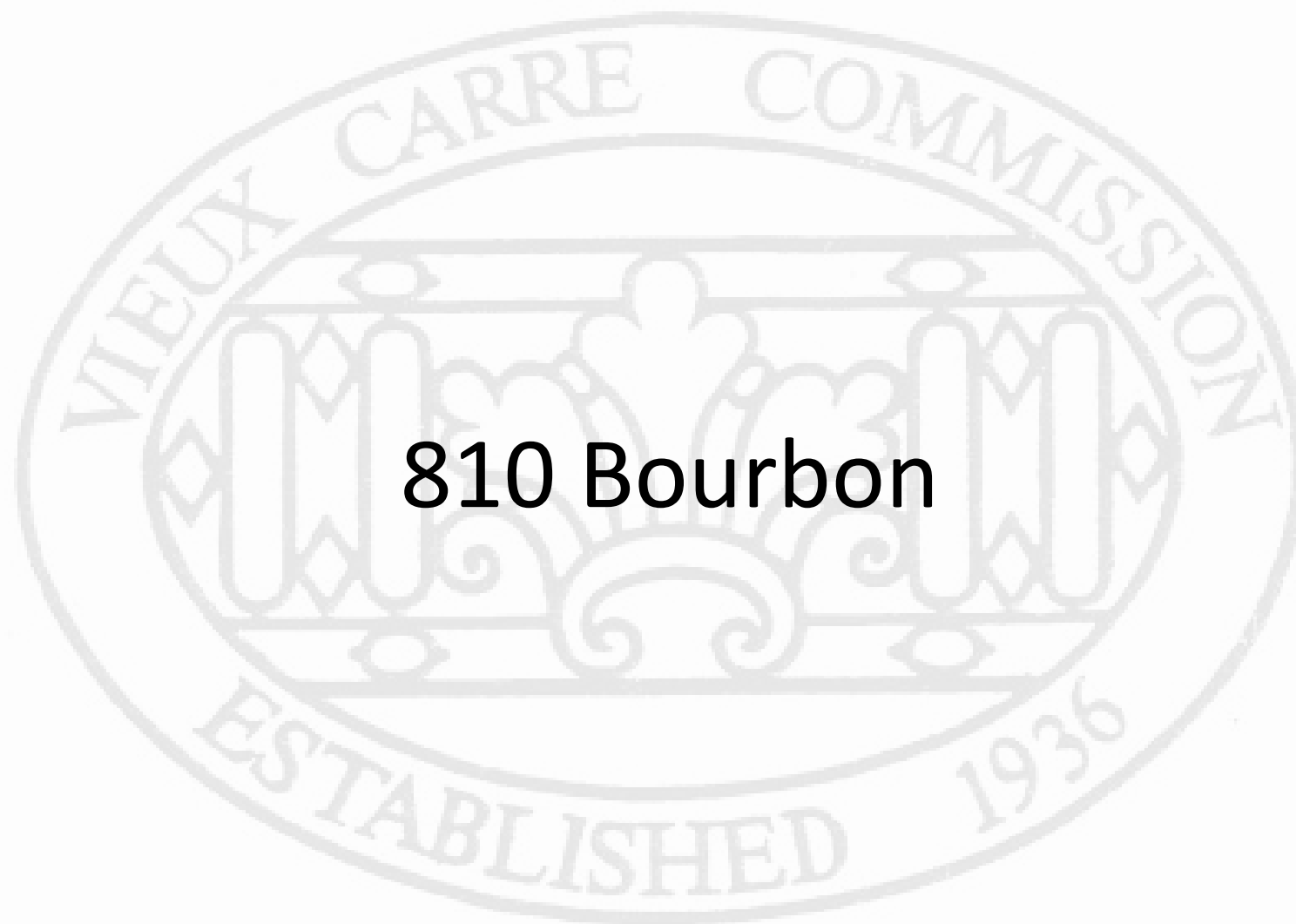
936 Dumaine

VCC Architectural Committee

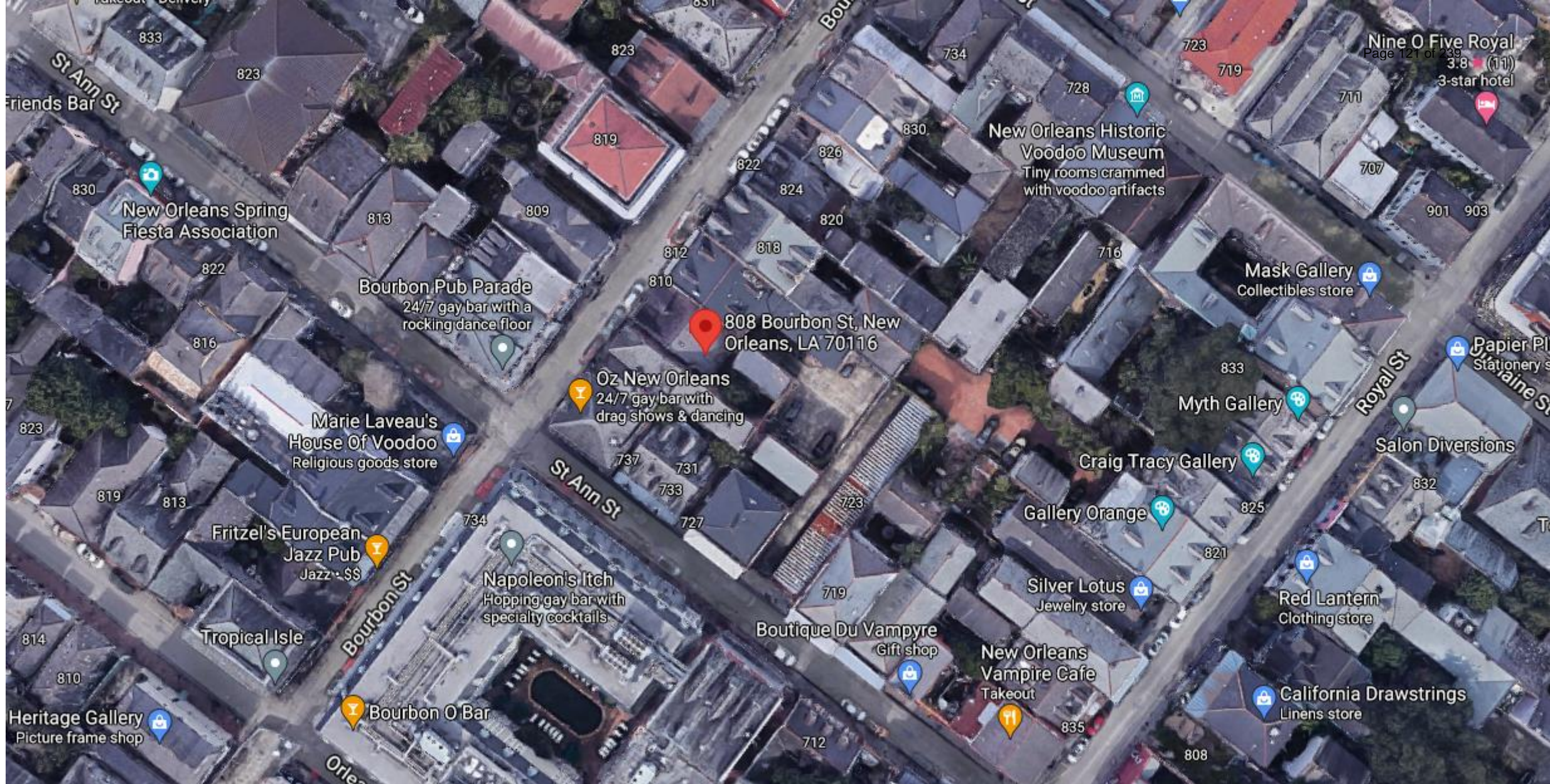
July 26, 2022







810 Bourbon



808 Bourbon

VCC Architectural Committee

July 26, 2022





808 Bourbon

VCC Architectural Committee

July 26, 2022





808 Bourbon

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July 26, 2022





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VCC Architectural Committee

01 31 2022

July 26, 2022





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July 26, 2022





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July 26, 2022





808 Bourbon

VCC Architectural Committee

July 26, 2022





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July 26, 2022



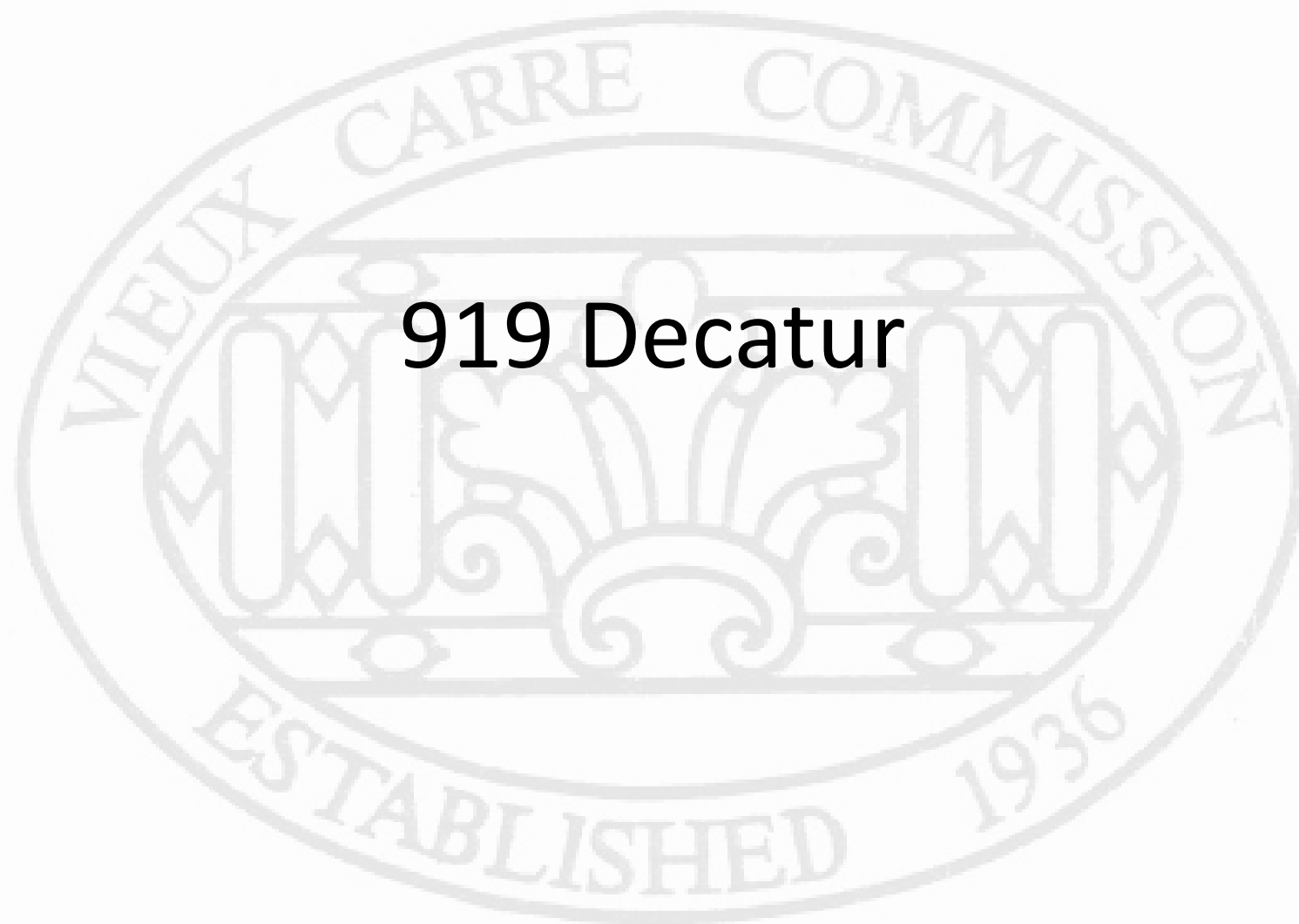


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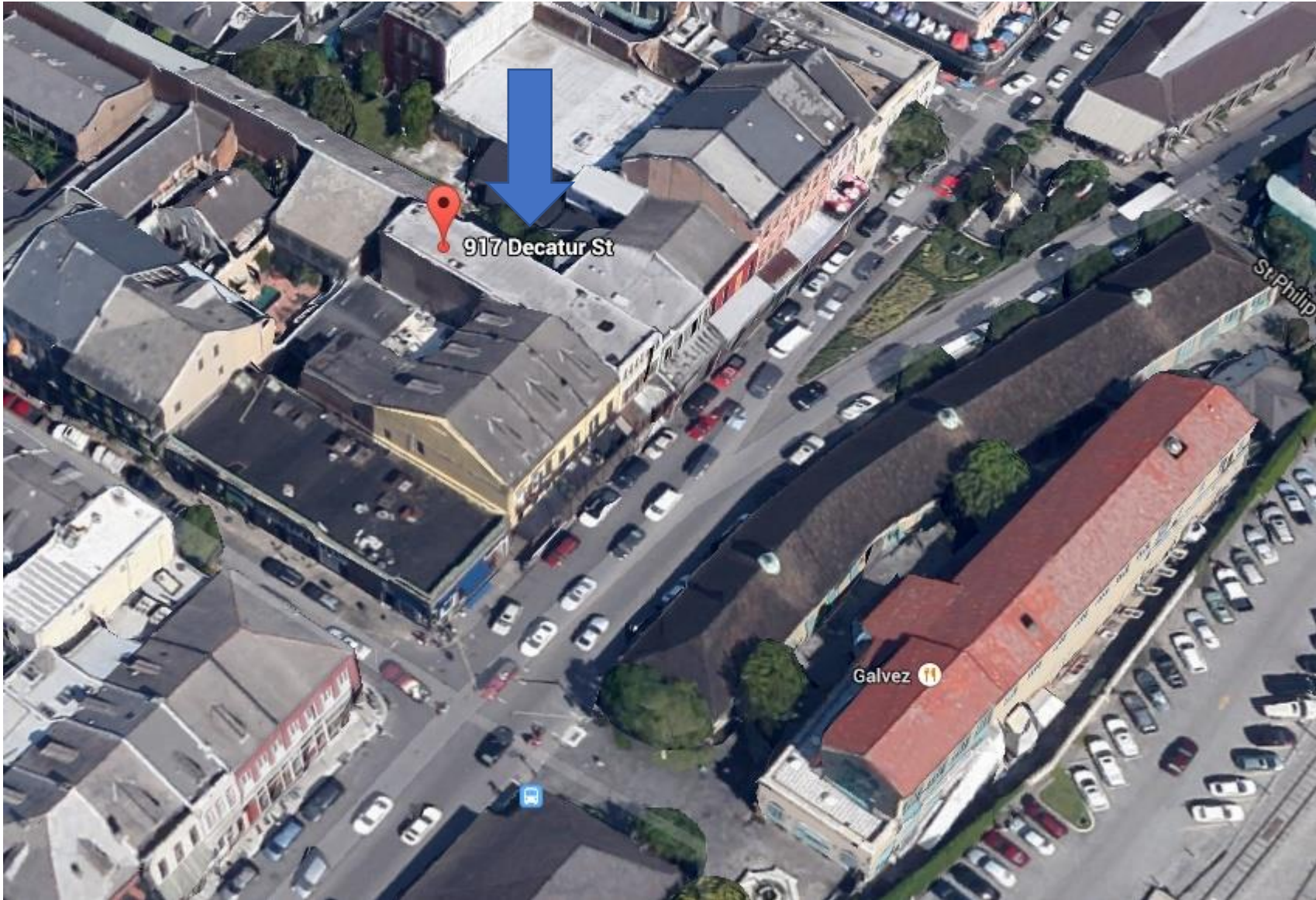
VCC Architectural Committee

July 26, 2022





919 Decatur



917-919 Decatur

VCC Architectural Committee

July 26, 2022





917-919 Decatur, 1866

VCC Architectural Committee

July 26, 2022





917-919 Decatur

VCC Architectural Committee

July 26, 2022





917-919 Decatur

VCC Architectural Committee

July 26, 2022





917 Decatur

VCC Architectural Committee

July 26, 2022





917 Decatur, 1975

VCC Architectural Committee

July 26, 2022





917 Decatur

VCC Architectural Committee

July 26, 2022



BOPP ENTERPRISES DECATUR ST RENOVATION

Renovation

Square 21, Lot 30

New Orleans
Orleans Parish, Louisiana

Codes

1. International Building Code, 2015 Edition
2. Parish / City, Amendments to IBC 2015
3. Life Safety Code, ANSI/NFPA 101, 2015 Edition
4. American with Disabilities Act, Public Law 101-336

Site Information

Address: 919 Decatur St
New Orleans, Louisiana 70116

Lot: 30

Square: 21

Area of Lot: 6,603 SF



Square Footage

Living	1,352
Entry	154
Total	1,506

Article XXXV Off-Street Parking and Loading

Parking Spaces Required N/A
Per New Orleans Comprehensive Zoning Ordinance,
Sec. 22.5.A.1, no parking required in all Historic Core
Districts, except HM-MU and HMC-2

Design Criteria

Zoning: VCC-1

Occupancy
IBC 2015: Residential R-3
NFPA 101 2015: Residential

Type of Construction: Type V-B
Unprotected

Maximum Mtg. Existing

Sprinkler System No

No. of Stories 2

Occupant Load
IBC 2015: 1506 / 200 = 8
NFPA 101 2015: 1506 / 200 = 8

Live Loads
Floor 40 psf
Roof Load 20 psf
Wind Load 130 mph



1 AERIAL MAP
SCALE N.T.S. 24' X 30'



2 VICINITY MAP
SCALE N.T.S. 24' X 30'

Project Directory

Architect

CIS Architects
Charles I Silbernagel + Associates, Inc.
Architects, A Professional Design Group
3129 Edenborn Avenue, Suite 100
Metairie, Louisiana 70002
(504) 454-3112 - Office
(504) 454-3125 - Fax
Email: Charles@cisarchitects.com

Mechanical Engineer

The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Electrical Engineer

The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Plumbing

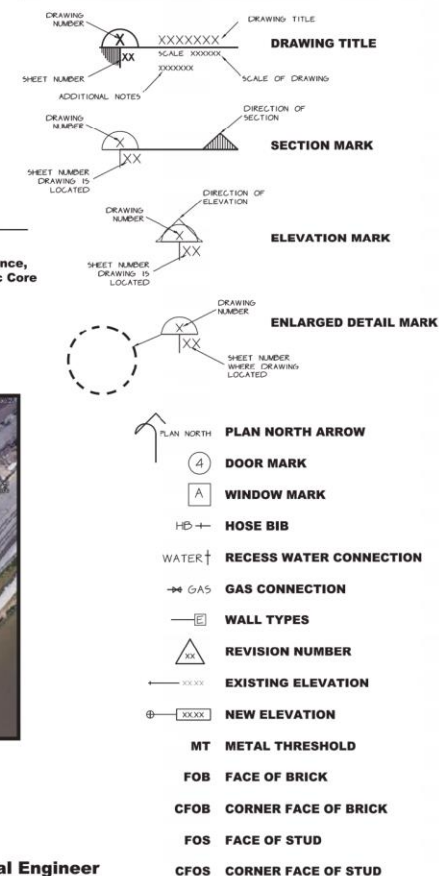
The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required.

This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product.

Structural Engineer

No structural work required

ABBREVIATIONS & SYMBOLS



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CONCEPTUAL SKETCHED
S/C PRELIMINARY APPROVAL
CONSTRUCTION DOCUMENTS

Decatur Street Renovation
919 Decatur Street
New Orleans, Louisiana

CIS Architects
www.cisarchitects.com 504.454.3112

Metairie, Louisiana



DATE: JUNE 06, 2022
PROJECT NO: 1702
DRAWN BY: CIS - BUR
CHECKED BY: CHARLES SILBERNAGEL

SHEET
T1



917 Decatur

VCC Architectural Committee

July 26, 2022

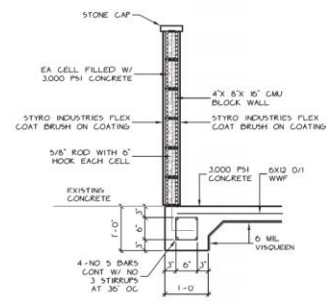
Decatur Street Renovation
919 Decatur Street
New Orleans, Louisiana

CIS Architects
Metairie, Louisiana www.cisarchitects.com 504 454 3112

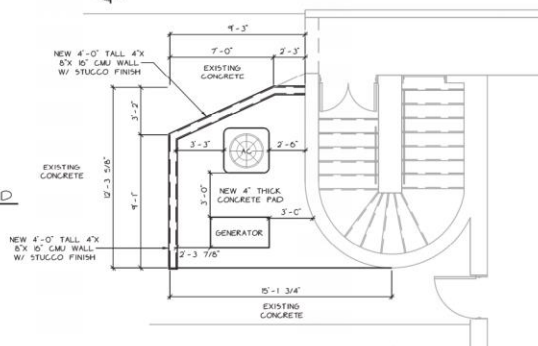


DATE	JUNE 06, 2022
PROJECT NO.	1702
DRAWN BY	C.I.S. P.R.
CHECKED BY	CHARLES SILBERBAGEN

SHEET A.11



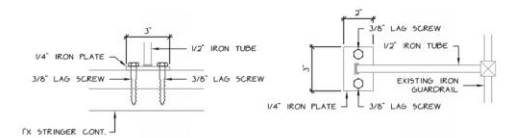
4 AC COURT WALL AND FOUNDATION SECTION DETAIL
SCALE 3/4\"/>



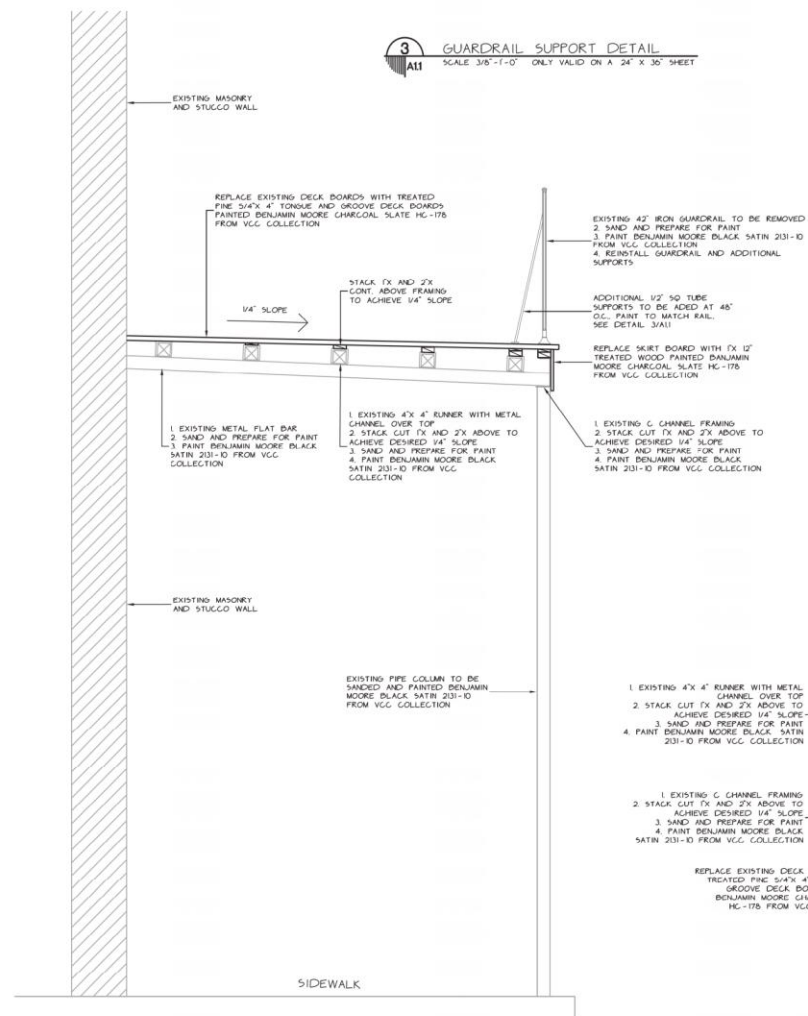
6 AC COURT PLAN
SCALE 1/4\"/>



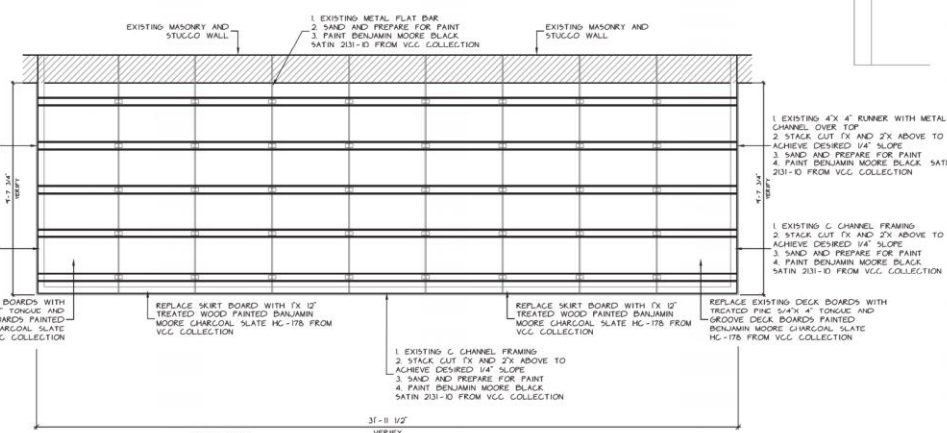
5 EXISTING AC COURT IN REAR COURTYARD
SCALE N.T.S. 24' X 30'



3 GUARDRAIL SUPPORT DETAIL
SCALE 3/8\"/>



2 BALCONY SECTION
SCALE 1/2\"/>



1 EXISTING BALCONY FRAMING PLAN
SCALE 3/8\"/>

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917 Decatur

VCC Architectural Committee

July 26, 2022

CONCEPTUAL SKETCHES
LAD PRELIMINARY APPROVAL
CONSTRUCTION DOCUMENTS

Decatur Street Renovation
919 Decatur Street
New Orleans, Louisiana

CIS Architects
Metairie, Louisiana www.cisarchitects.com 504 454 3112



DATE: JUNE 6, 2022
PROJECT NO: 1702
DRAWN BY: C.S. P.R.
CHECKED BY: CHARLES SILBERNAGEL

SHEET A 20



ABBREVIATION + SYMBOLS

MT	- METAL THRESHOLD. VERIFY FINISH WITH OWNER
DT	- BRASS THRESHOLD (SEE SPEC. FOR TYPE)
F.O.B.	- FACE OF BRICK
C.F.O.B.	- CORNER FACE OF BRICK
F.O.S.	- FACE OF STUD
C.F.O.S.	- CORNER FACE OF STUD
C.O.S.	- CENTERLINE OF STUD
MM	- MAN-MADE MARBLE
V.B.B.	- VINYL BEADED BOARD
B.W.	- 2"x2" STUD WALL
⊙	- DOOR MARK
⊠	- WINDOW MARK
HD	- HOSE BIB
↑	- RECESS WATER CONNECTION
⊕	- GAS CONNECTION
---	- BATT INSULATION
---	- BRICK VENEER
---	- WALL TYPES

Interior Columns

⊠	- JOB BUILT SQUARE WOOD COLUMN
⊠	- FIBERGLASS COLUMN
⊠	- BRICK COLUMN
⊠	- CMU COLUMN
⊠	- CMU COLUMN W/ STUCCO

Handrail / Guardrail

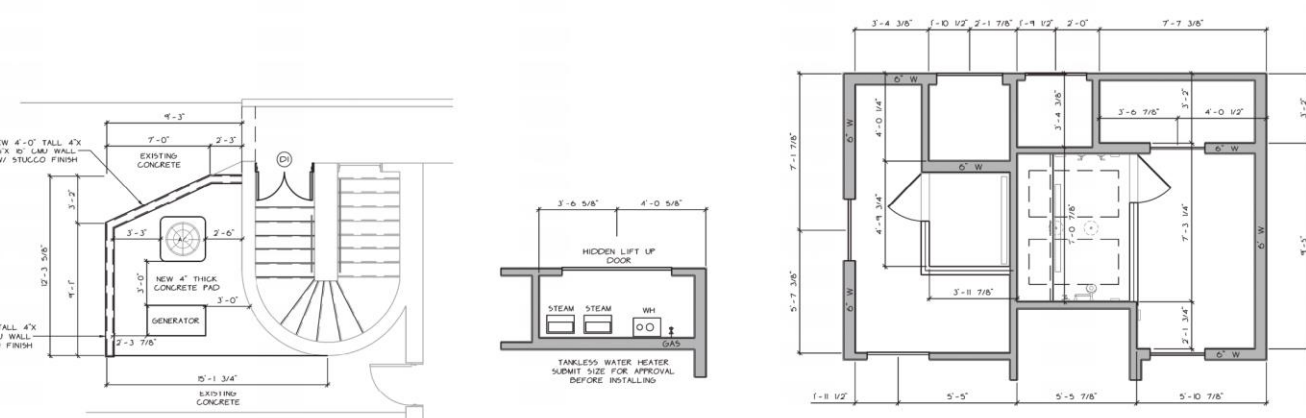
1/4"R	- IRON HANDRAIL
1/4"R	- IRON GUARDRAIL
1/4"R	- IRON WALLRAIL
1/4"R	- IRON NEWEL POST
W/R	- WOODEN HANDRAIL
W/R	- WOODEN GUARDRAIL
W/R	- WOODEN WALLRAIL
W/NP	- WOODEN NEWEL POST
F/H	- FIPYON HANDRAIL
F/R	- FIPYON GUARDRAIL
F/W	- FIPYON WALLRAIL
F/NP	- FIPYON NEWEL POST

GENERAL NOTES

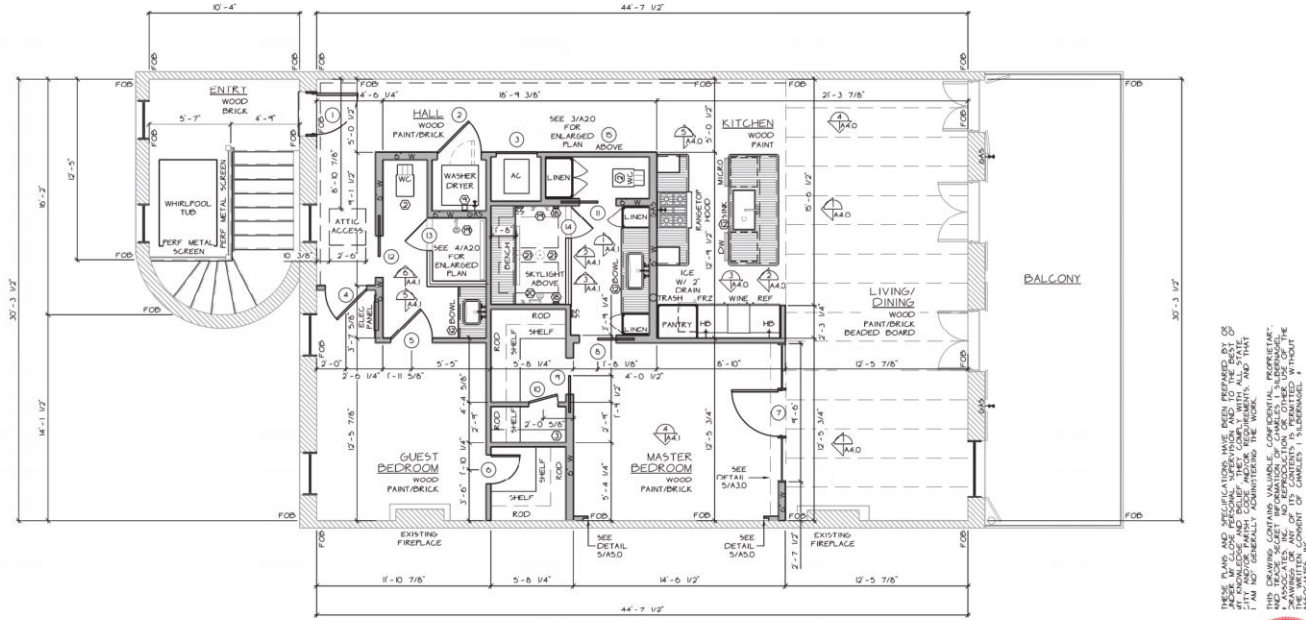
- PLUMBING
 - PLUMBING SUBCONTRACTOR SHALL SUBMIT TO THE OWNER A DRAWING OF PROPOSED LAYOUT, ROUTING, SIZES AND LOCATIONS OF ALL PLUMBING LINES AND ACCESSORIES BEFORE WORK BEGINS.
 - PLUMBING SUBCONTRACTOR SHALL SUBMIT TO THE OWNER A JOB BUILT DRAWING OF COMPLETED WORK FOR OWNER'S FILE.
 - WATER HEATER SHALL BE GAS OR OTHERWISE NOTED.
 - PLUMBING SUBCONTRACTOR SIZE AND LOCATED EACH HEATER IN ATTIC WITH METAL SAFETY PAN AND DRAIN TO THE OUTSIDE.
 - PROVIDE CALCULATING PUMP ON THE HOT WATER SUPPLY.
 - MINIMUM NUMBER OF WATER HEATERS REQUIRED - 1 GAS, TANKLESS HEATER.
- HVAC
 - HVAC SUBCONTRACTOR SHALL SUBMIT TO THE OWNER A DRAWING OF PROPOSED LAYOUT, ROUTING, SIZES, AND LOCATIONS OF THE HVAC SYSTEM AND ACCESSORIES BEFORE WORK BEGINS.
 - HVAC SUBCONTRACTOR SHALL SUBMIT TO THE OWNER A JOB BUILT DRAWING OF COMPLETED WORK FOR OWNER'S FILE.
- TERMINATE PROTECTION
 - CHEMICAL TERMITICIDE TREATMENT, AS PROVIDED IN SECTION R312.2
 - PRESSURE-PRESERVATION-TREATED WOOD IN ACCORDANCE WITH PROVISIONS OF SECTION R317.1
 - ALL WATER LINES ABOVE THE TOP PLATE SHALL BE INSULATED
 - PRE-FABRICATED FIREPLACE SHALL BE DESIGNED AND INSTALLED ACCORDING TO A UL-APPROVED DESIGN

SPECIFIC NOTES

- SYMBOLS USED ONLY WHEN APPLICABLE
- SECTION 1006 - EXTERIOR AIR SUPPLY
 - EACH FIREPLACE SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ASSURE PROPER FUEL COMBUSTION.
 - SECTION 1008 LIGHT VENTILATION AND HEATING
 - ALL BATHROOM AND WATER CLOSET COMPARTMENTS OR SIMILAR ROOMS SHALL BE PROVIDED WITH A WINDOW NOT LESS THAN 3 SQUARE FEET WITH ONE-HALF OF WHICH MUST BE OPERABLE. WINDOW SHALL NOT BE EQUIPPED WITH MECHANICAL VENTILATION. PROVIDING A CHANGE OF AIR EVERY 12 MINUTES IS PROVIDED. ALL EXHAUSTS SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
 - CLOSET SHALL HAVE 5 SHELVES.
 - EACH AC RETURN AIR CHASE SHALL BE CONSTRUCTED OF ONE-HOUR FIRE RATED CONSTRUCTION.
 - AC FURNACES SHALL BE GAS OR OTHERWISE NOTED.
 - VERIFY FIREPLACE CAP WITH FIREPLACE MANUFACTURER FOR APPROVAL BEFORE FABRICATION AND INSTALLATION.
 - VERIFY CLEARANCE OF DOWNDRAFT WITH COUNTER TOP.
 - AIR KIT TO EXTEND THROUGH ROOF.
 - TUB ACCESS.
 - VERIFY LOCATION OF WATER AND ELECTRICAL WITH THE TYPE OF REFRIGERATOR SELECTED.
 - UNDER MOUNT SINK OR BOWL.
 - ALL HD ON LANDSCAPE METER.
 - BRACKET FOR COUNTER-TOP.
 - 2x PIPE COLUMN WITH CAP AND BASE.
 - 42" x 72" TUB WHIRLPOOL, TUB W/ 12" SPLASH.
 - VERIFY AC EQUIPMENT PAD W/ MECHANICAL SUBCONTRACTOR. ALL EQUIPMENT SHALL BE SET AT PANE FLOOR.
 - STEAM SHOWER.
 - WALL MOUNTED SHOWER HEAD.
 - HAND HELD SHOWER.
 - CEILING MOUNTED SHOWER HEAD.
 - WALL MOUNTED SHOWER HEAD WITH 3 BODY SPRAYS.
 - WALL MOUNTED SHOWER HEAD WITH 6 BODY SPRAYS.
 - SMOKE / CARBON MONOXIDE DETECTOR.



1 FLOOR PLAN SCALE 1/4"=1'-0" ONLY VALID ON A 24" X 36" SHEET



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR FOR THE ARCHITECT AND DESIGNED BY THEM IN ACCORDANCE WITH ALL STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR OTHER WORKS OR FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL DESIGN AND CONSTRUCTION OF THE PROJECT.

LOW VOLTAGE PUCK LIGHTS
TO BE INSTALLED AT EACH
DOOR AND WINDOW HEAD,
PAINTED HOUSING TO MATCH
TRIM

DOWNSPOUT TO BE
REPAIRED BY OTHERS

SHUTTERS TO BE
REPLICATED BY OTHERS

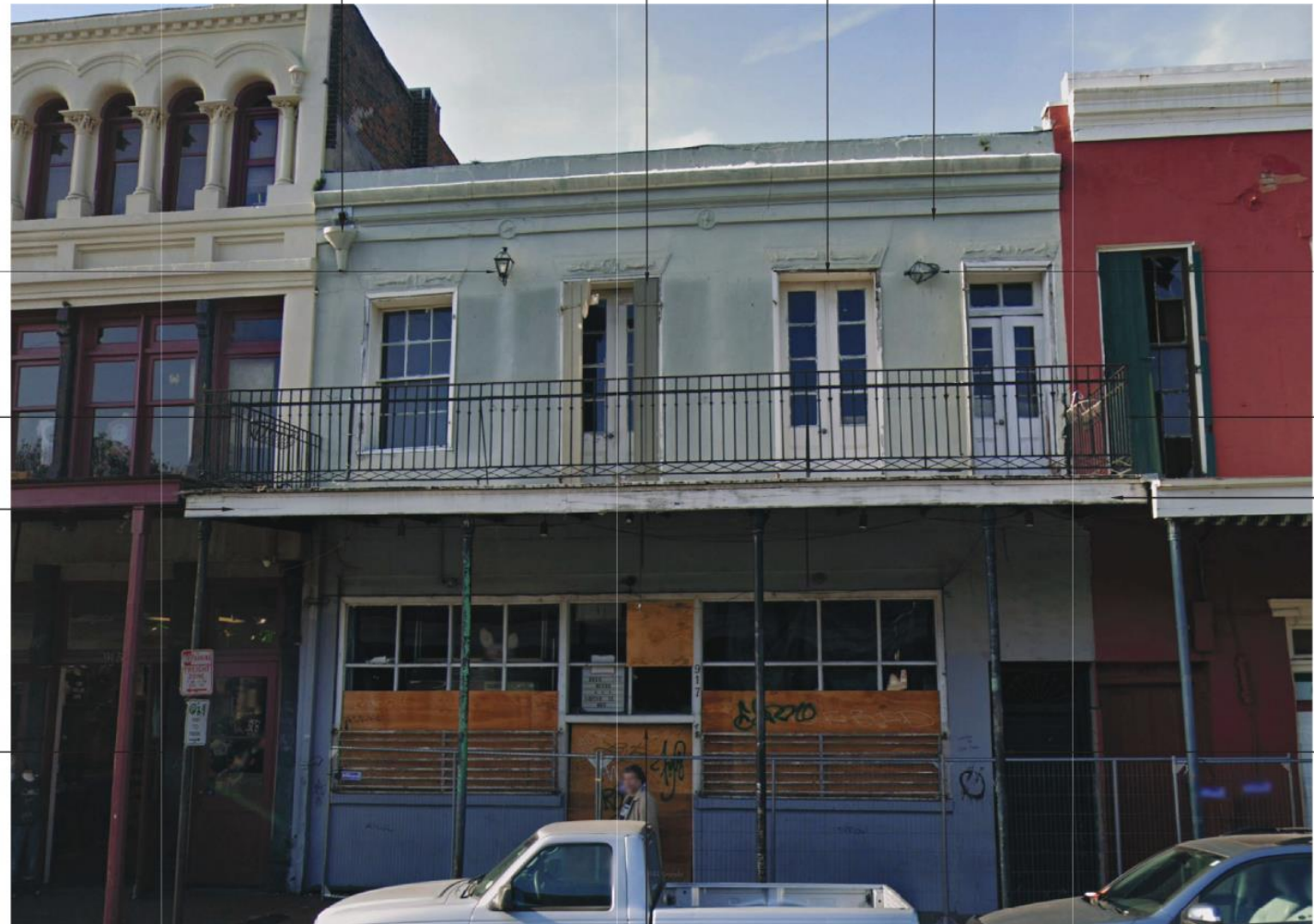
MAIN FACADE STUCCO
REPAIR BY OTHERS

EXISTING ELECTRIC LANTERN TO BE
REPLACED WITH NEW BEVELO WILLIAMSBURG
22" FLUSHMOUNT GAS LANTERN

- 1. REMOVE EXISTING 42" IRON GUARDRAIL
- 2. SAND AND PREPARE FOR PAINT
- 3. PAINT BENJAMIN MOORE BLACK SATIN 2131-10
FROM VCC COLLECTION
- 2. RE-INSTALL GUARDRAIL AND ADD ADDITIONAL
SUPPORTS TO BE ADDED AT 48" O.C.

- 1. REMOVE EXISTING WOOD DECKING
- 2. EXISTING IRON JOISTS AND CHANNELS TO REMAIN,
SANDED AND PAINTED BENJAMIN MOORE BLACK SATIN
2131-10 FROM VCC COLLECTION
- 3. NEW TREATED 1"X AND 2"X RUNNERS STACKED ON
EXISTING. REDUCE SLOPE OF DECK TO 1/4".
- 1. NEW TREATED PINE 4" TONGUE AND GROOVE DECK
BOARDS PAINTED BENJAMIN MOORE CHARCOAL SLATE
HC-178 FROM VCC COLLECTION
- EXISTING FACIA TO BE REMOVED AND REPLACED WITH
TREATED 1"X 12". PAINTED TO MATCH EXISTING.

- 1. EXISTING POLES, SAND AND PREPARE FOR PAINT
- 2. PAINT BENJAMIN MOORE BLACK SATIN 2131-10
FROM VCC COLLECTION



917 Decatur

VCC Architectural Committee



DECATUR STREET ELEVATION PHOTO

SCALE N.T.S.

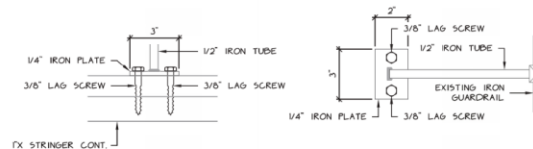
24" X 36"

FIRST FLOOR NOT IN
SCOPE OF WORK,
REPAIRS BY OTHERS

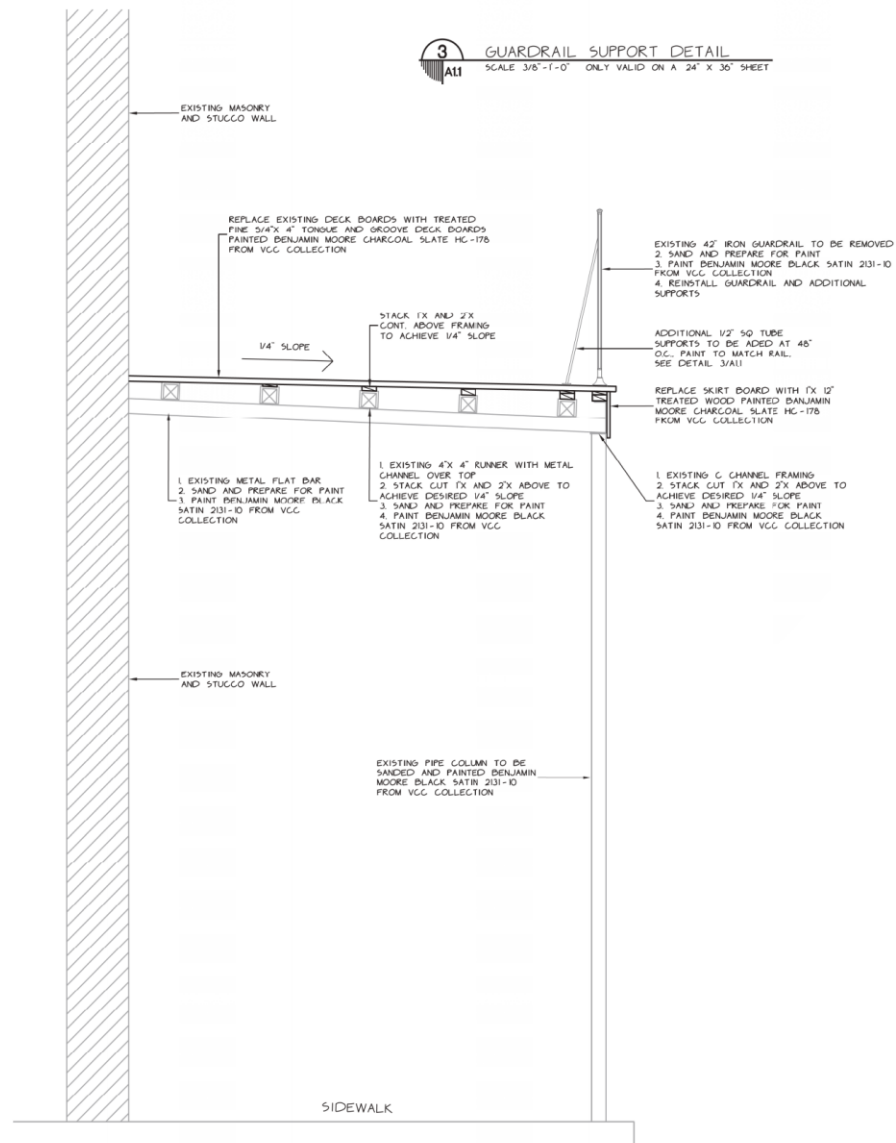
NMP-LED
Inst. 12V LED Puck Light



July 26, 2022

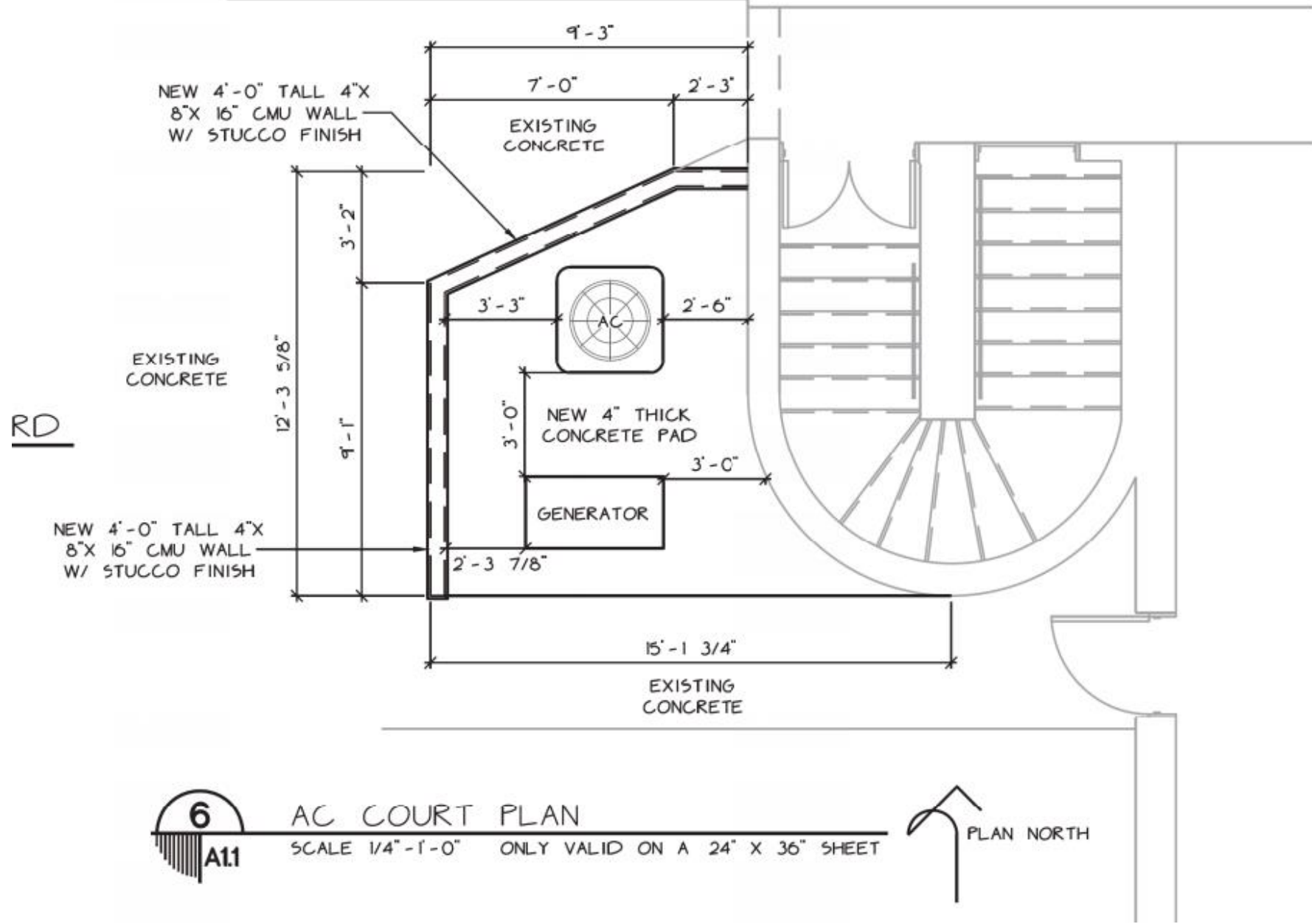


3 GUARDRAIL SUPPORT DETAIL
 SCALE 3/8"=1'-0" ONLY VALID ON A 24" X 36" SHEET



2 BALCONY SECTION
 SCALE 1/2"=1'-0" ONLY VALID ON A 24" X 36" SHEET

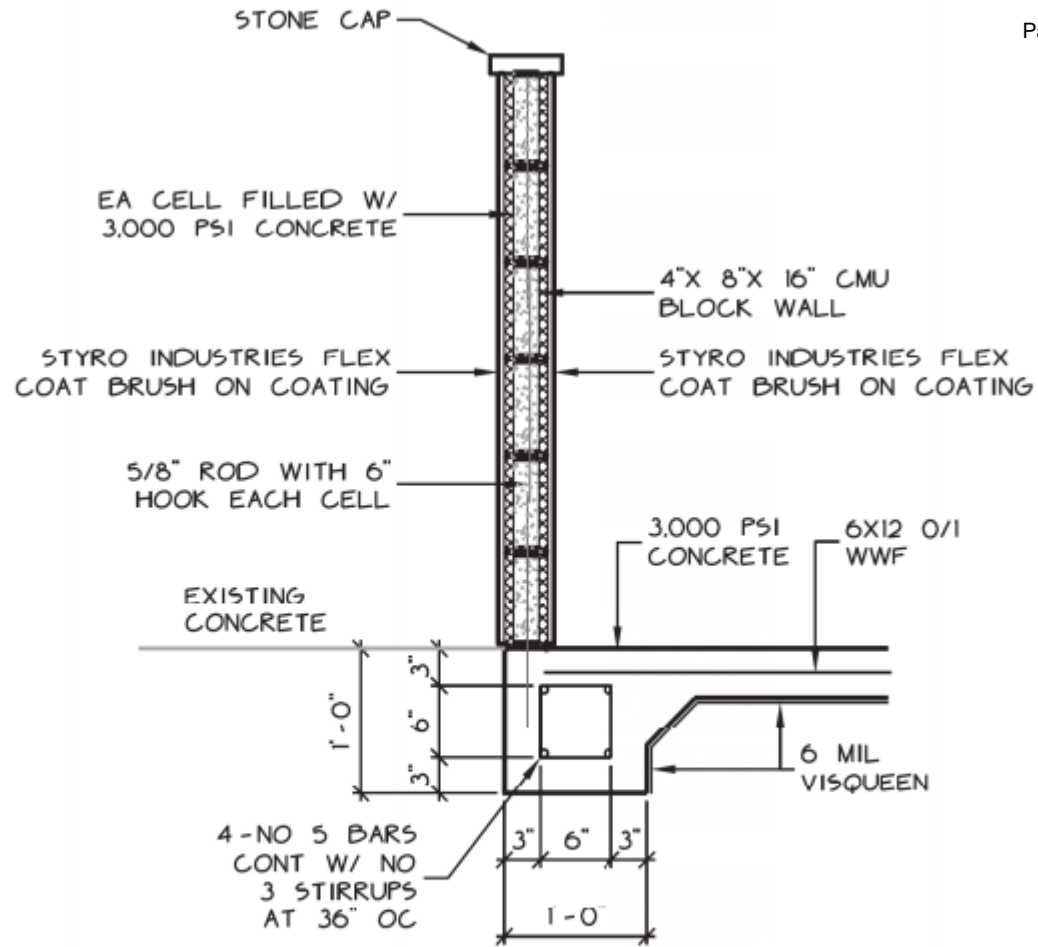




AC COURT PLAN

SCALE 1/4" = 1'-0" ONLY VALID ON A 24" X 36" SHEET





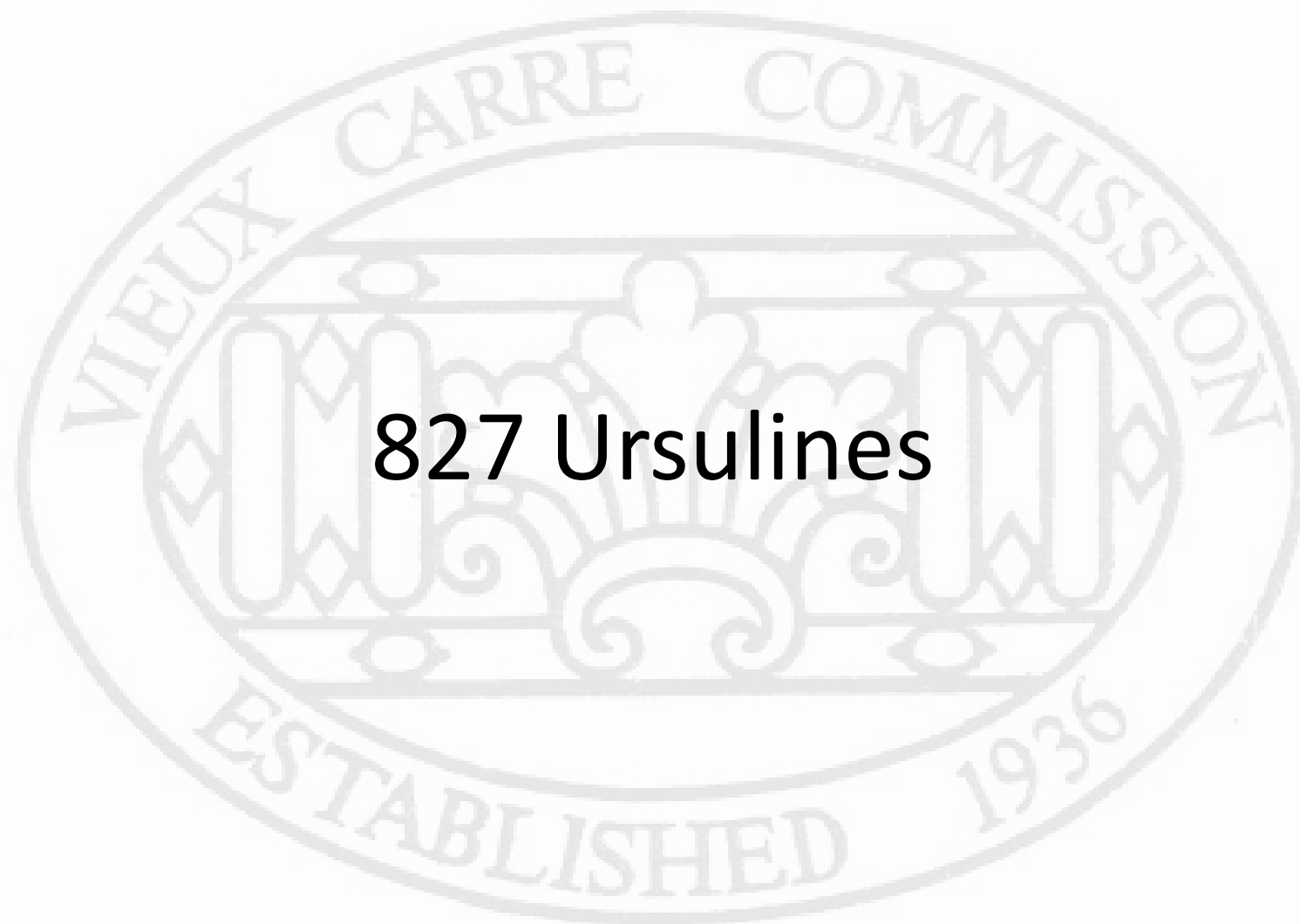
AC. COURT WALL AND FOUNDATION SECTION DETAIL
 SCALE 3/4" = 1'-0" ONLY VALID ON A 24" X 36" SHEET

917 Decatur

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July 26, 2022





827 Ursulines



827 Ursulines

VCC Architectural Committee

July 26, 2022





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July 26, 2022





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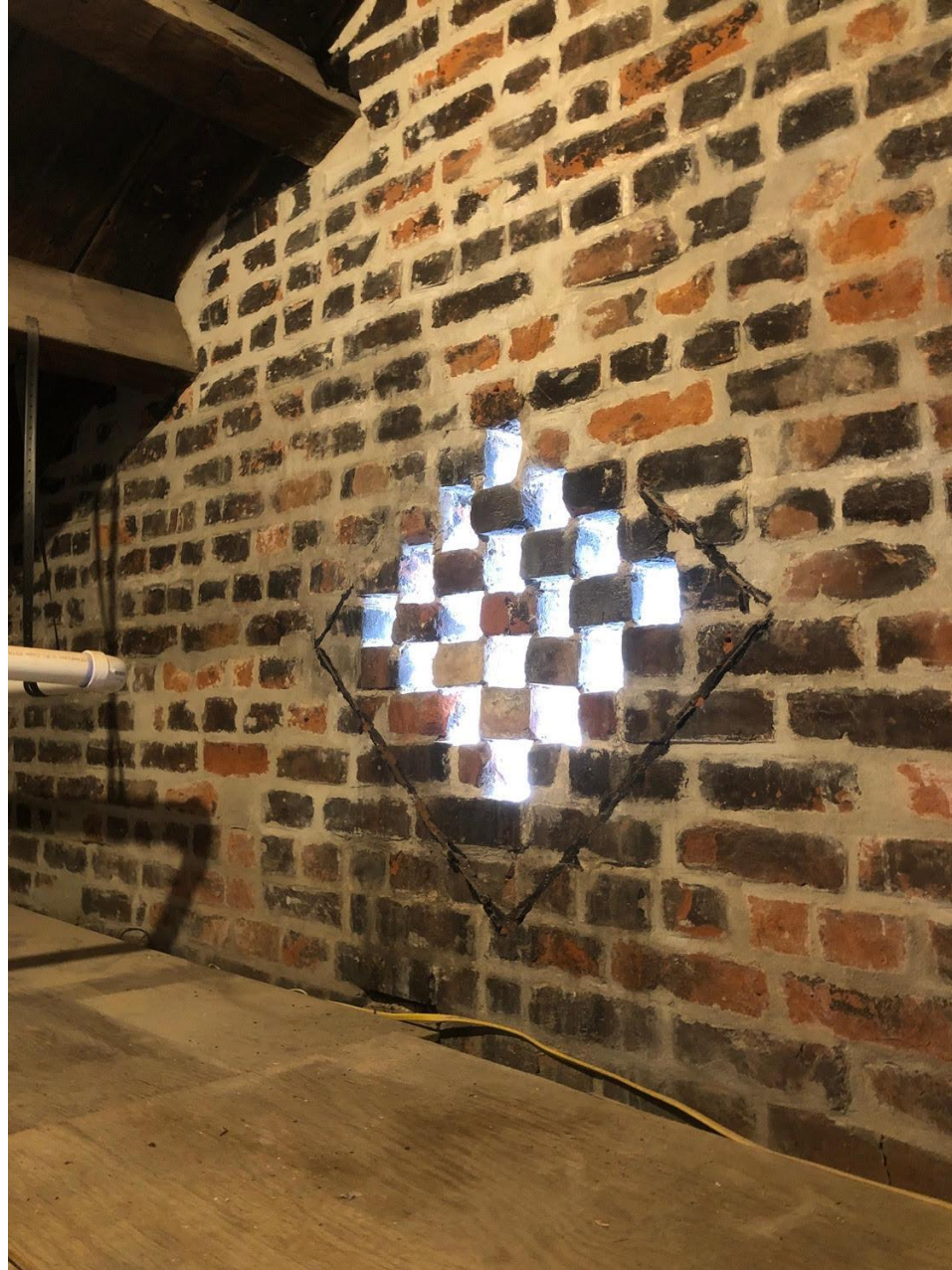


827 Ursulines

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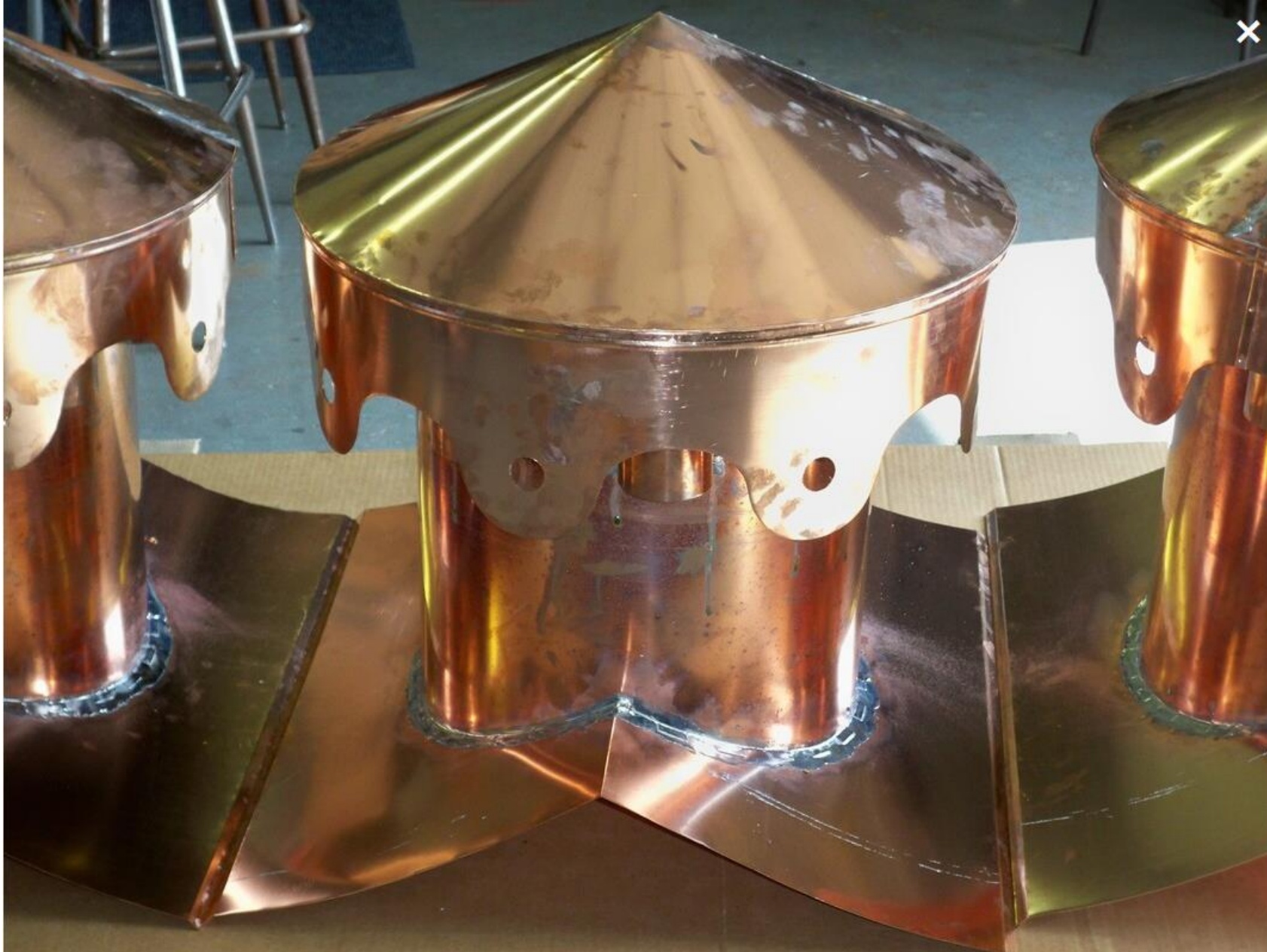


827 Ursulines

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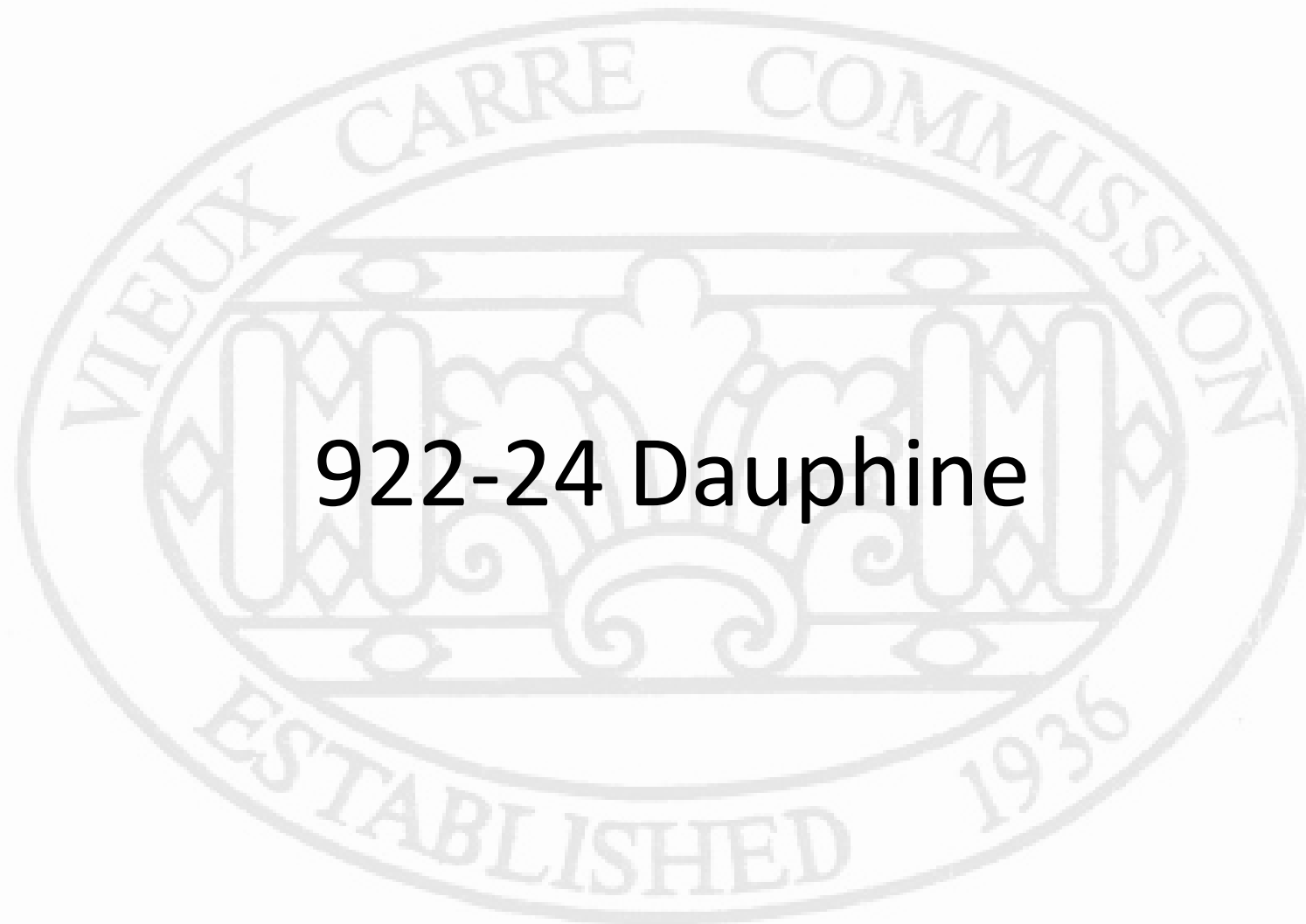


827 Ursulines

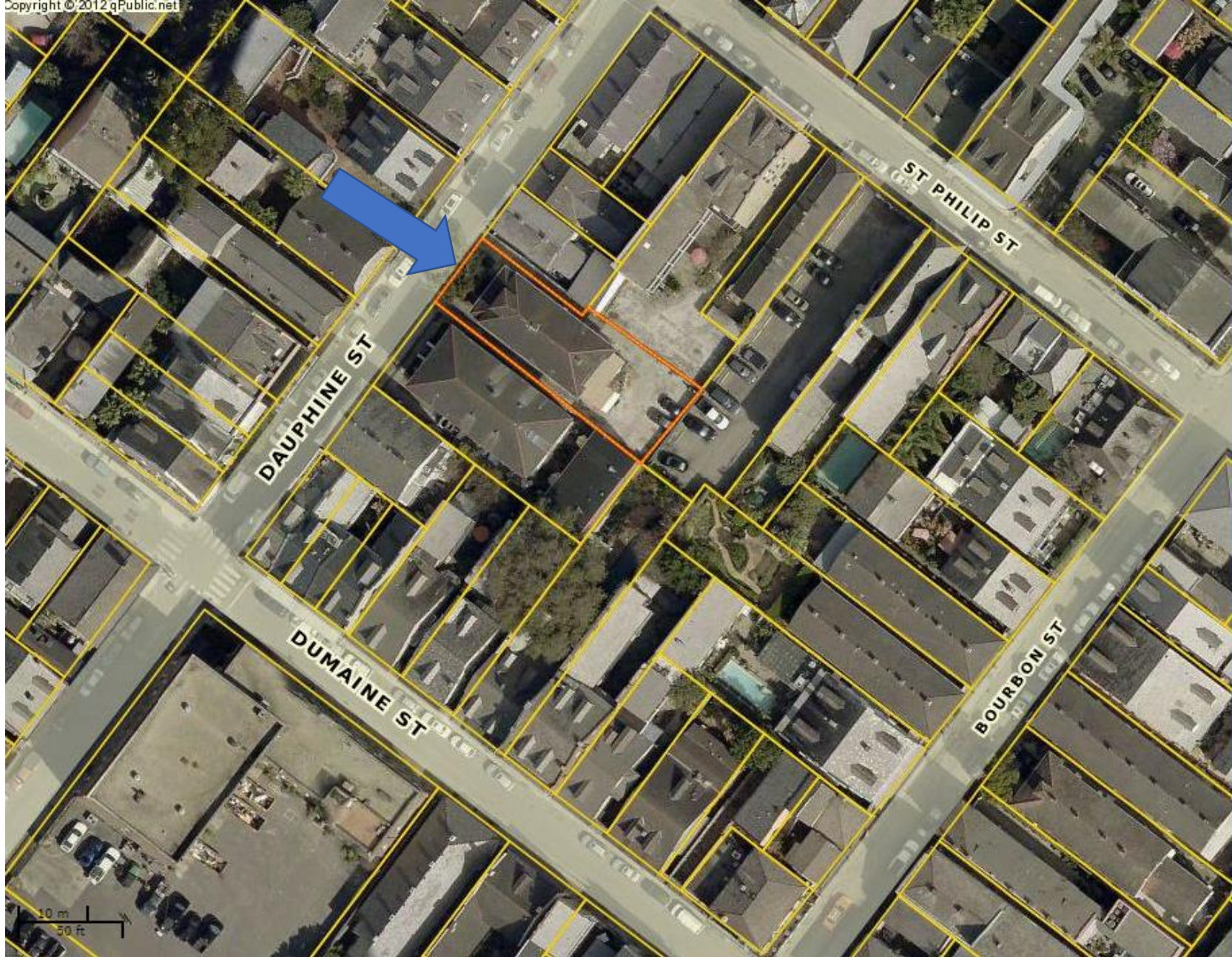
VCC Architectural Committee

July 26, 2022





922-24 Dauphine



924 Dauphine





924 Dauphine





924 Dauphine, 1963



922 Dauphine

VCC Architectural Committee

July 26, 2022





922 Dauphine

VCC Architectural Committee

July 26, 2022





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July 26, 2022





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July 26, 2022



Line Item Description	Sales Price	Quantity	Additional Discount	Promo	Total Price
Premier Lean-To 8 x 10	\$3,579.00	1.00	\$0.00	\$0.00	\$3,579.00
Upgrade - 4' x 6'2" Single Shed Door	\$299.00	1.00	\$0.00	\$0.00	\$299.00
Shed Anchor into Dirt - Auger or MR88	\$55.00	4.00	\$0.00	\$0.00	\$220.00
Horizontal Transom Window in Door - 4' door	\$119.00	1.00	\$0.00	\$0.00	\$119.00
Black Door Hardware - Single Door	\$40.00	1.00	\$0.00	\$0.00	\$40.00
Door - Decorative Single Door Trim - Wainscot	\$39.00	1.00	\$0.00	\$0.00	\$39.00
16"x8" Wall Vent - Brown	\$23.00	1.00	\$0.00	\$0.00	\$23.00
Fuel Surcharge	\$20.00	1.00	\$0.00	\$0.00	\$20.00
Paint 10% of building base price	\$358.00	1.00	\$0.00	\$358.00	\$0.00
Credit for Removal of Default Door	(\$299.00)	1.00	\$0.00	\$0.00	(\$299.00)
Delivery Fee	\$99.00			\$0.00	\$99.00

Gross Total \$4,497.00

Discount (\$358.00)

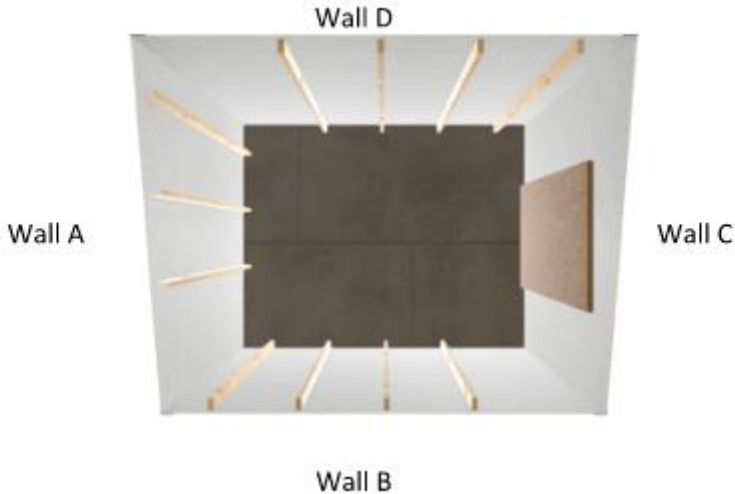
Net Total \$4,139.00

Tax \$391.15

Grand Total \$4,530.15**Amount Due \$4,530.15****Amount Paid \$0.00****Amount Scheduled \$0.00**

DocuSigned by:





Base Details

Building Size & Style

Premier Lean-To - 8' wide by 10' long

Paint Selection

Base: Southern Breeze, Trim: Black Magic

Roof Selection

Charcoal 3 Tab

Drip Edge

Brown

Is a permit required for this job?

No, If local jurisdiction requires a permit, fees will be added before installation can take place

Options Details

Doors

4' x 6'2" Single Shed Door, Left Hinge Placement, In Door Horizontal Transom (4' door), Wainscot, Decorative Door Hardware

Floor and Foundation

4 Ea Shed Anchor into Dirt - Auger or MR88

Vents

16"x8" Wall Vent - Brown

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Within 4" of level

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

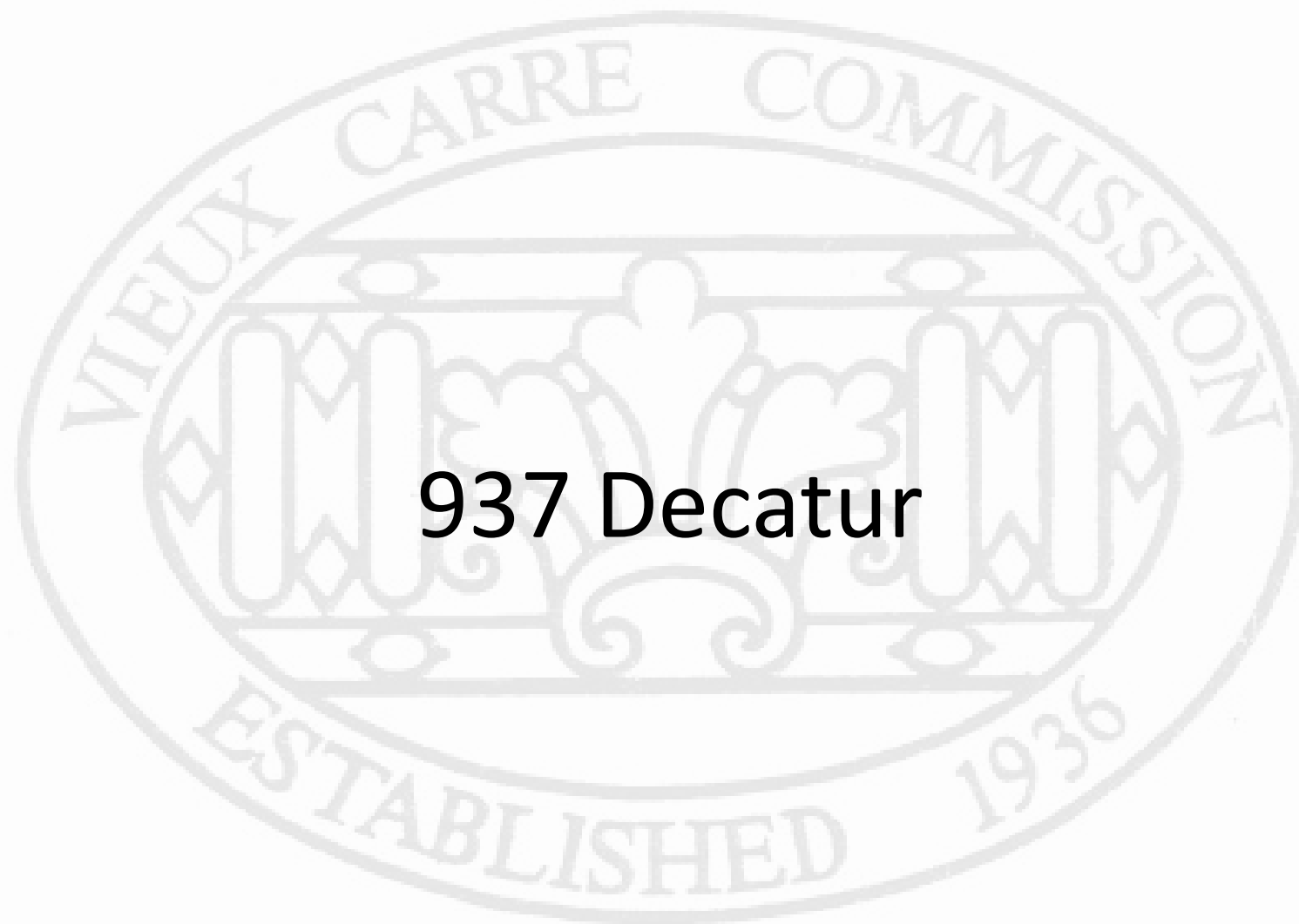
Yes

Substrate Shed will be installed on?

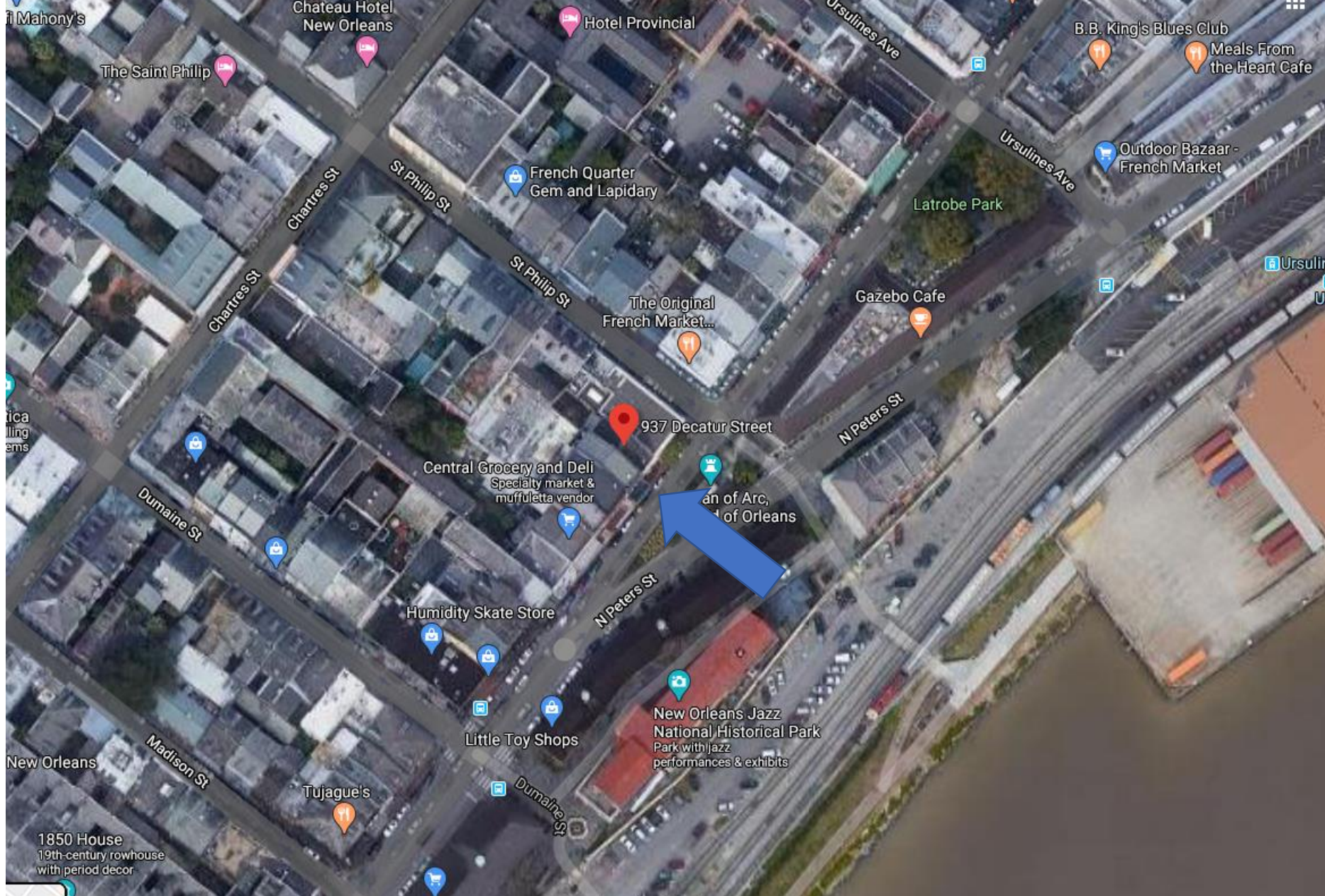
Cement pad

DocuSigned by:
Signature: Debbie Sinopoli Date: 5/16/2022
3C7452158E4048E...





937 Decatur



937 Decatur

VCC Architectural Committee

July 26, 2022





937 Decatur, 1957



937 Decatur, 1964

VCC Architectural Committee

July 26, 2022





937 Decatur, 1979

VCC Architectural Committee

July 26, 2022





937 Decatur, 1989

VCC Architectural Committee

July 26, 2022





937 Decatur, 1997

VCC Architectural Committee

July 26, 2022





937 Decatur, 2001

VCC Architectural Committee

July 26, 2022





937 Decatur

VCC Architectural Committee

04 26 2017

July 26, 2022





937 Decatur

VCC Architectural Committee

07 16 2021

July 26, 2022





937 Decatur

VCC Architectural Committee

July 26, 2022



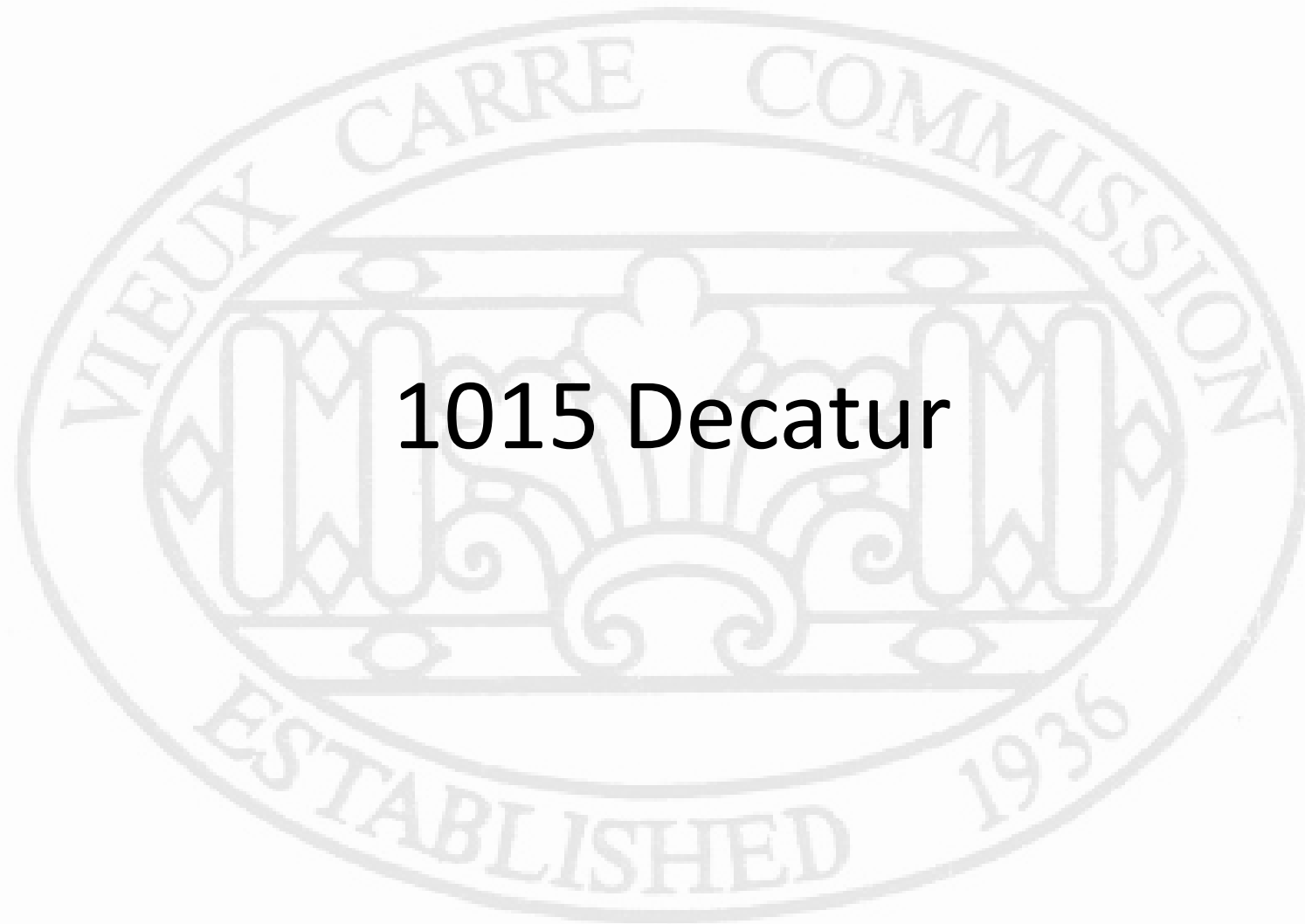


BINOLA DBA
Central City Millworks LLC
 2610 Second Street | New Orleans LA 70113
 Ph (504) 899-1351

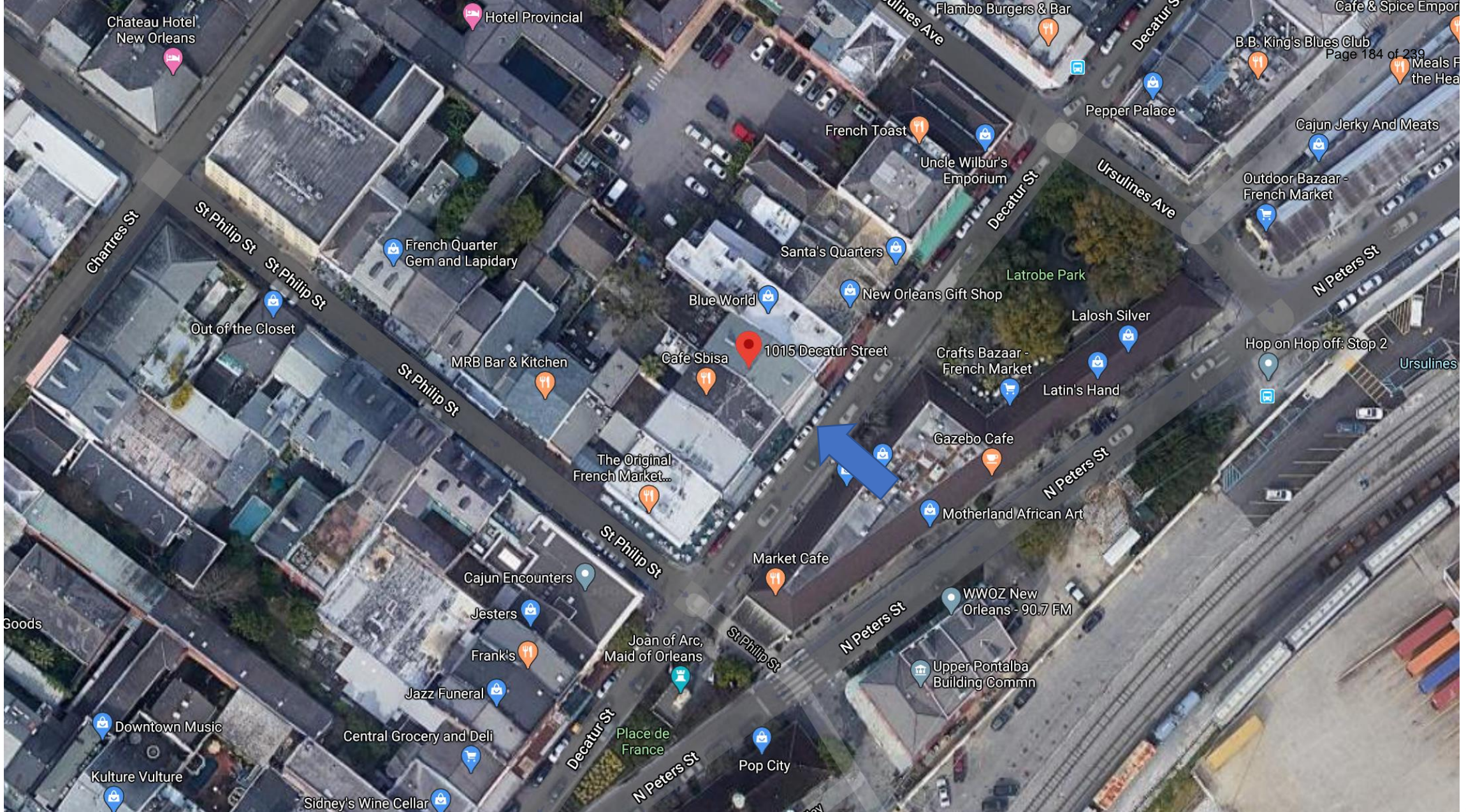
Job Address: **937 Decatur**
 New Orleans, LA

Item Code	Item Description
	SPANISH CEDAR DOORS
	DOORS <i>Pair of Spanish cedar French doors Rough opening 59-1/2" X 101-1/4" 1 Light over 1 flat panel 1/8" Clear tempered glass Putty glazed</i>
	PRIME <i>Prime and paint of door</i>
	HARDWARE <i>Hardware</i>





1015 Decatur



1015 Decatur

VCC Architectural Committee

July 26, 2022





1015 Decatur, 1948

VCC Architectural Committee

July 26, 2022





1015 Decatur



1015 Decatur, 1964

VCC Architectural Committee

July 26, 2022





1015 Decatur

VCC Architectural Committee

July 26, 2022





1015 Decatur

VCC Architectural Committee

July 26, 2022





1015 Decatur

VCC Architectural Committee

06 16 2022

July 26, 2022





1015 Decatur

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06 16 2022

July 26, 2022



1015 Decatur St.
New Orleans, LA 70116

Replace dormer window.
Paint; color TBD.

Add stucco to the top
two floors. Color TBD.

Paint doors and trim.
Color TBD.

Remove metal covering
and replace rotten wood
with like material; paint to
match.



Remove windows and
install new windows and
French Doors to match
1005 Decatur Building.
Paint, color TBD.
See Exhibit "A".

Add metal railing to
match existing. Paint.

Paint the first floor
store front and posts.
Color TBD.

Exhibit "A"
1005 Decatur St.
New Orleans, LA 70116



1015 Decatur St. Reference
French Door and Windows;

1015 Decatur

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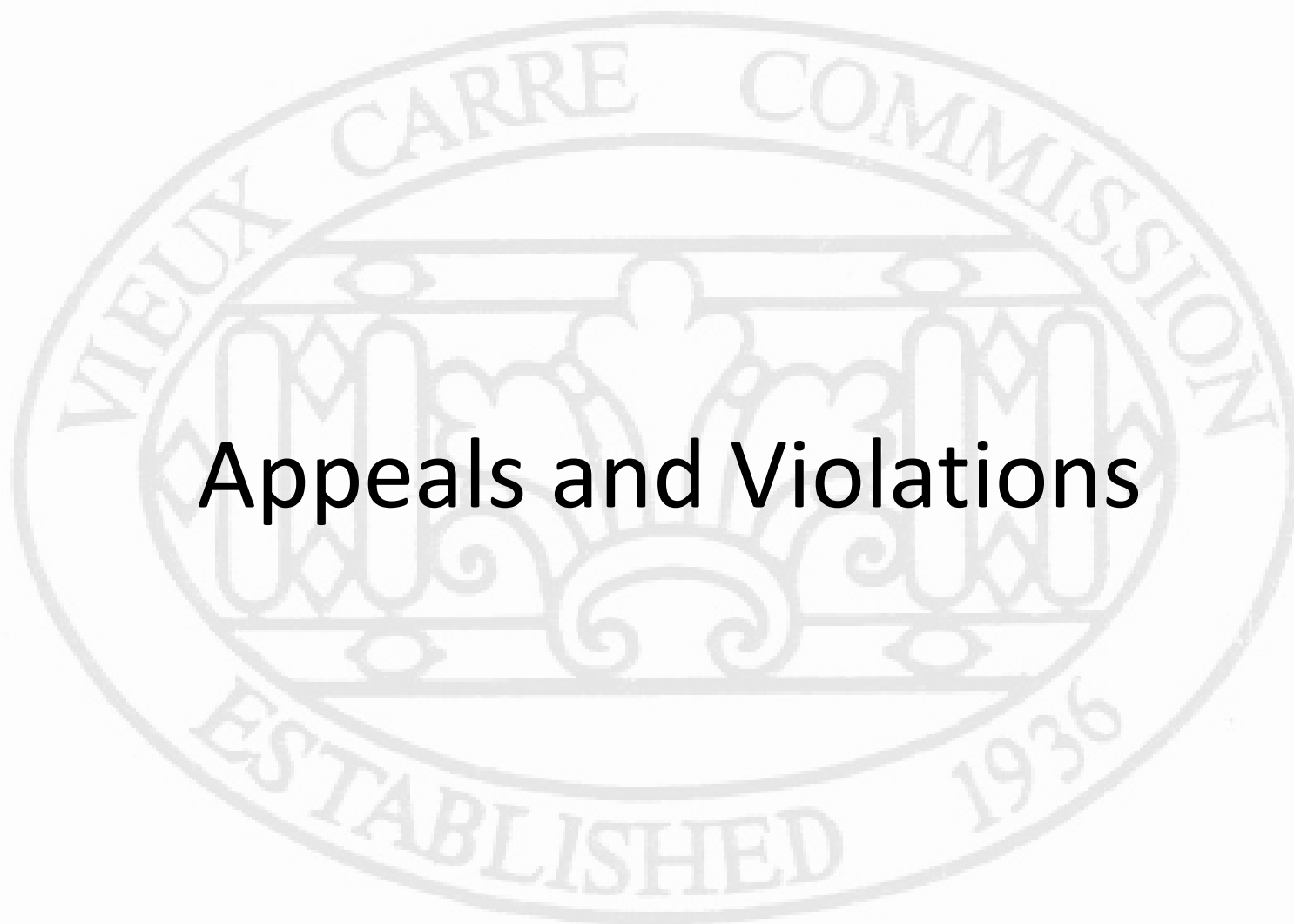
July 26, 2022





1215 Royal

Deferred at the Applicant's Request



Appeals and Violations



533 Toulouse



533 Toulouse

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July 26, 2022



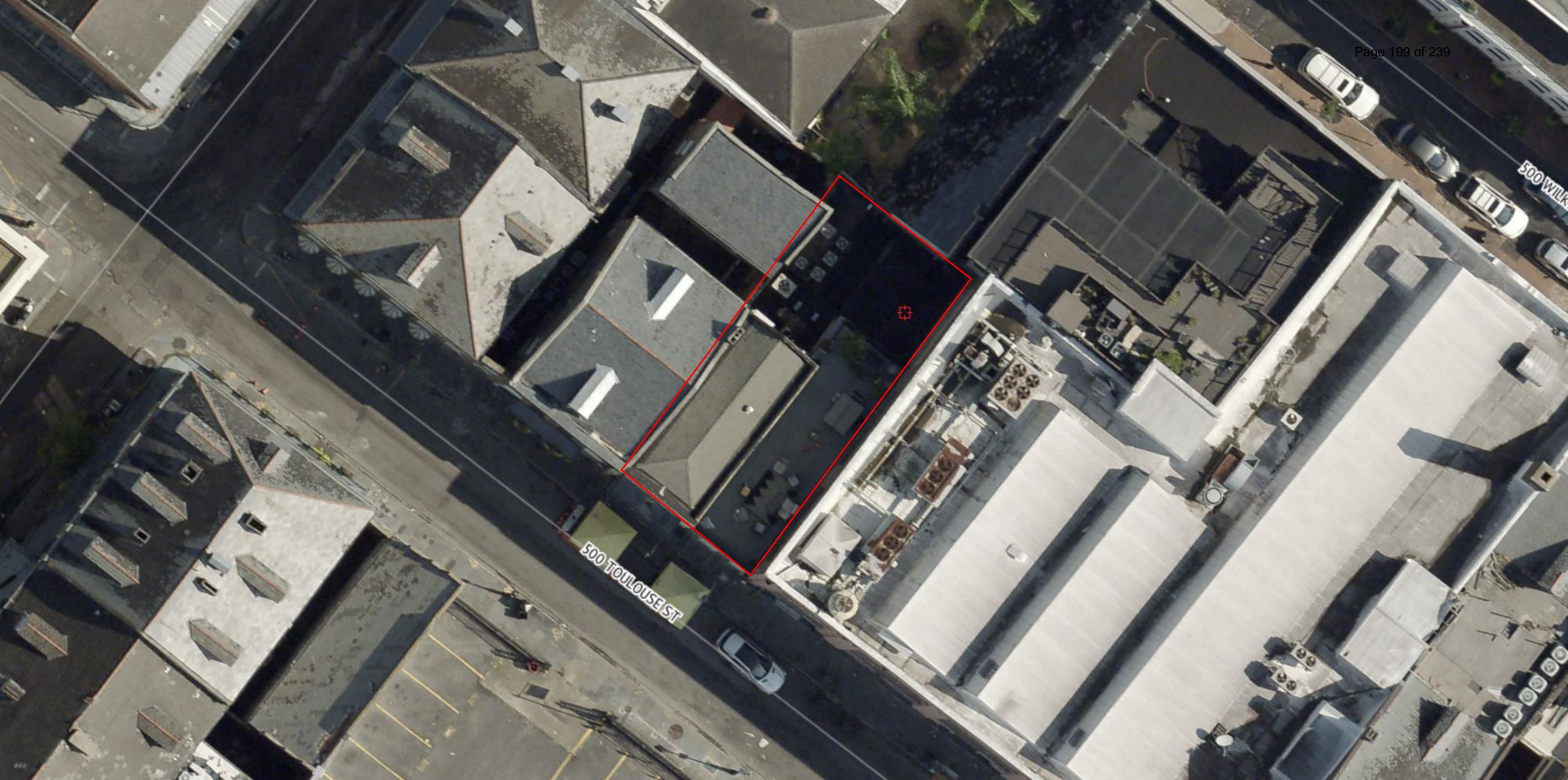


533 Toulouse

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July 26, 2022



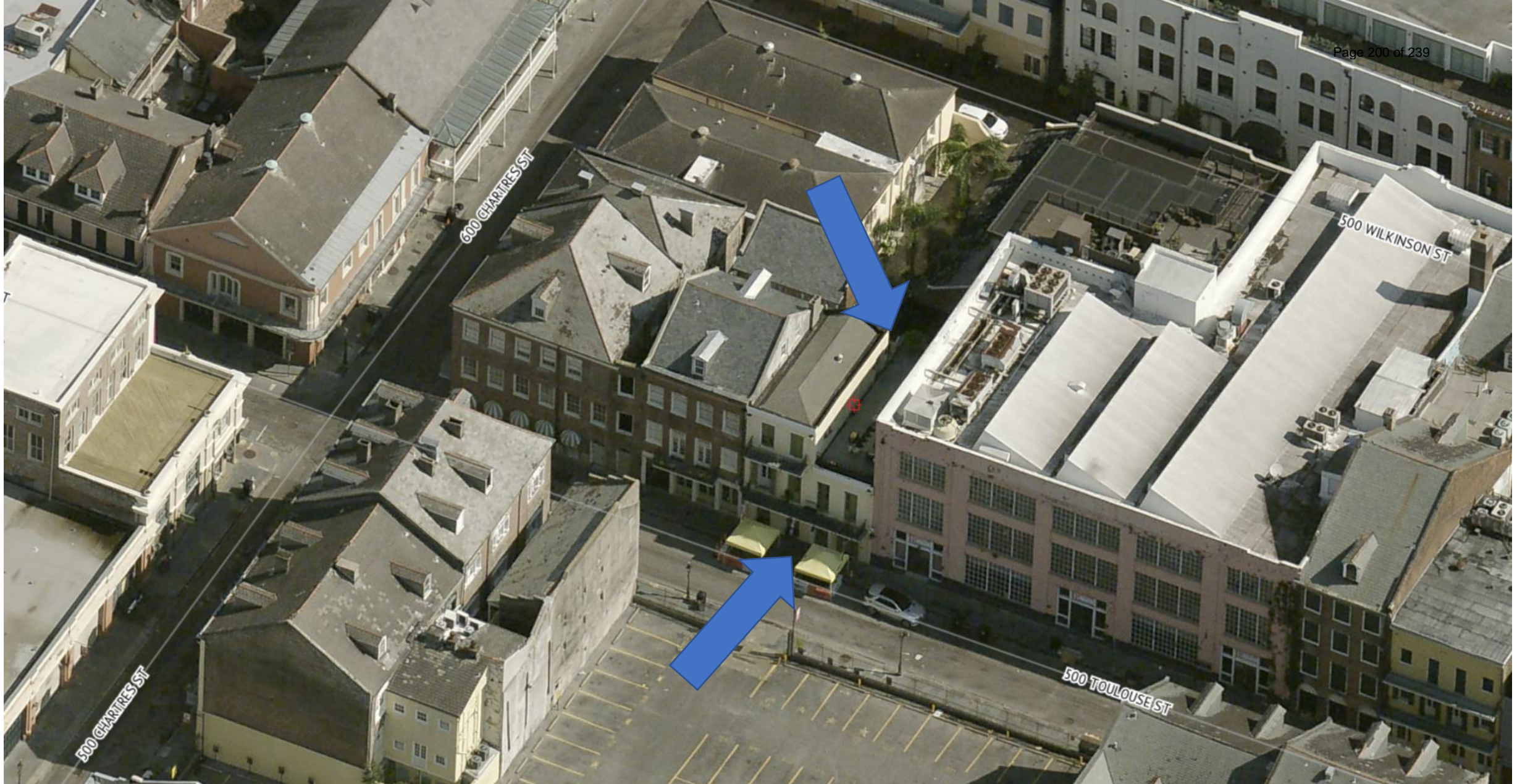


533 Toulouse

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July 26, 2022



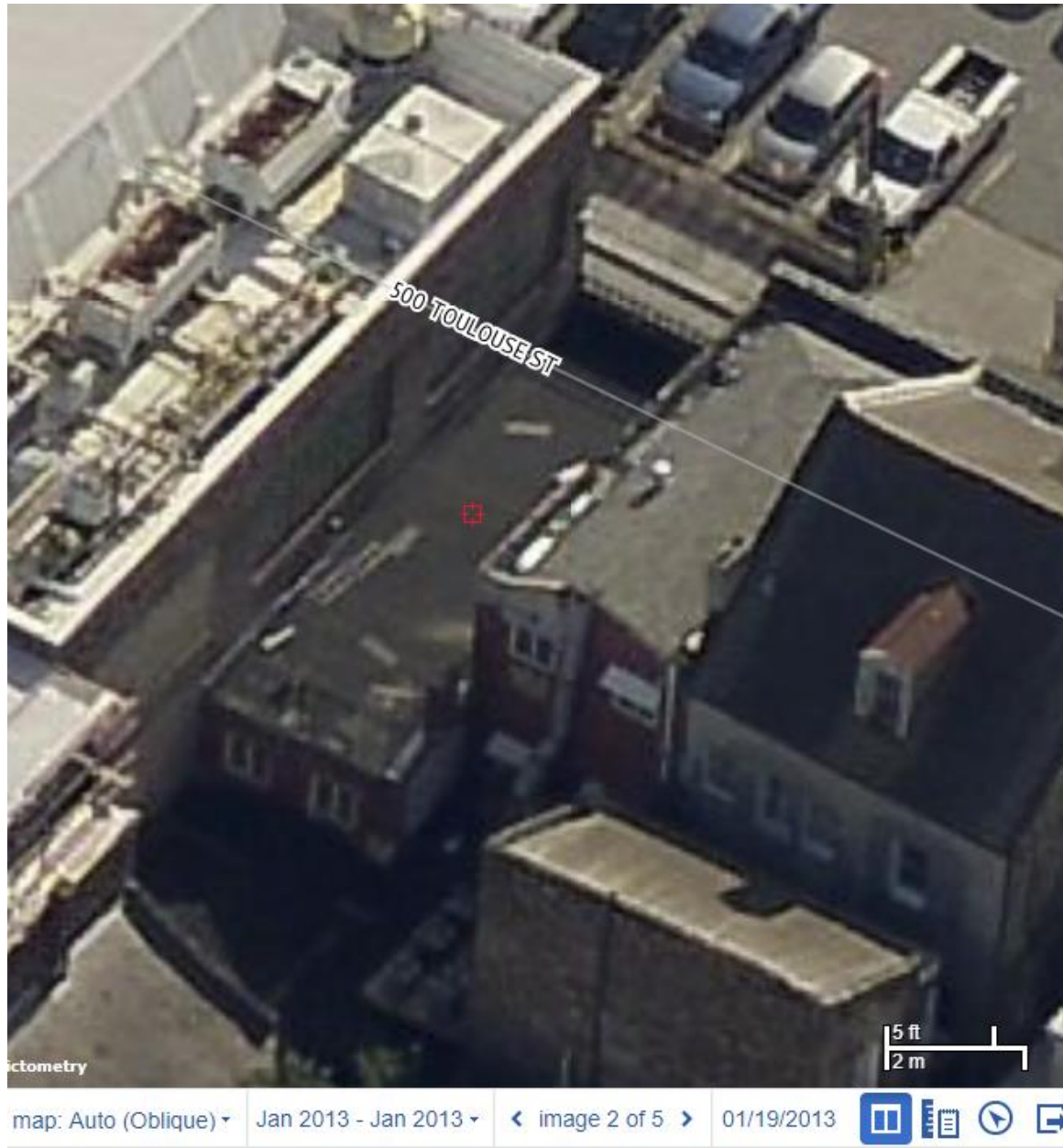


533 Toulouse

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533 Toulouse – 2013 prior to deck installation



533 Toulouse – September 2021

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July 26, 2022





533 Toulouse

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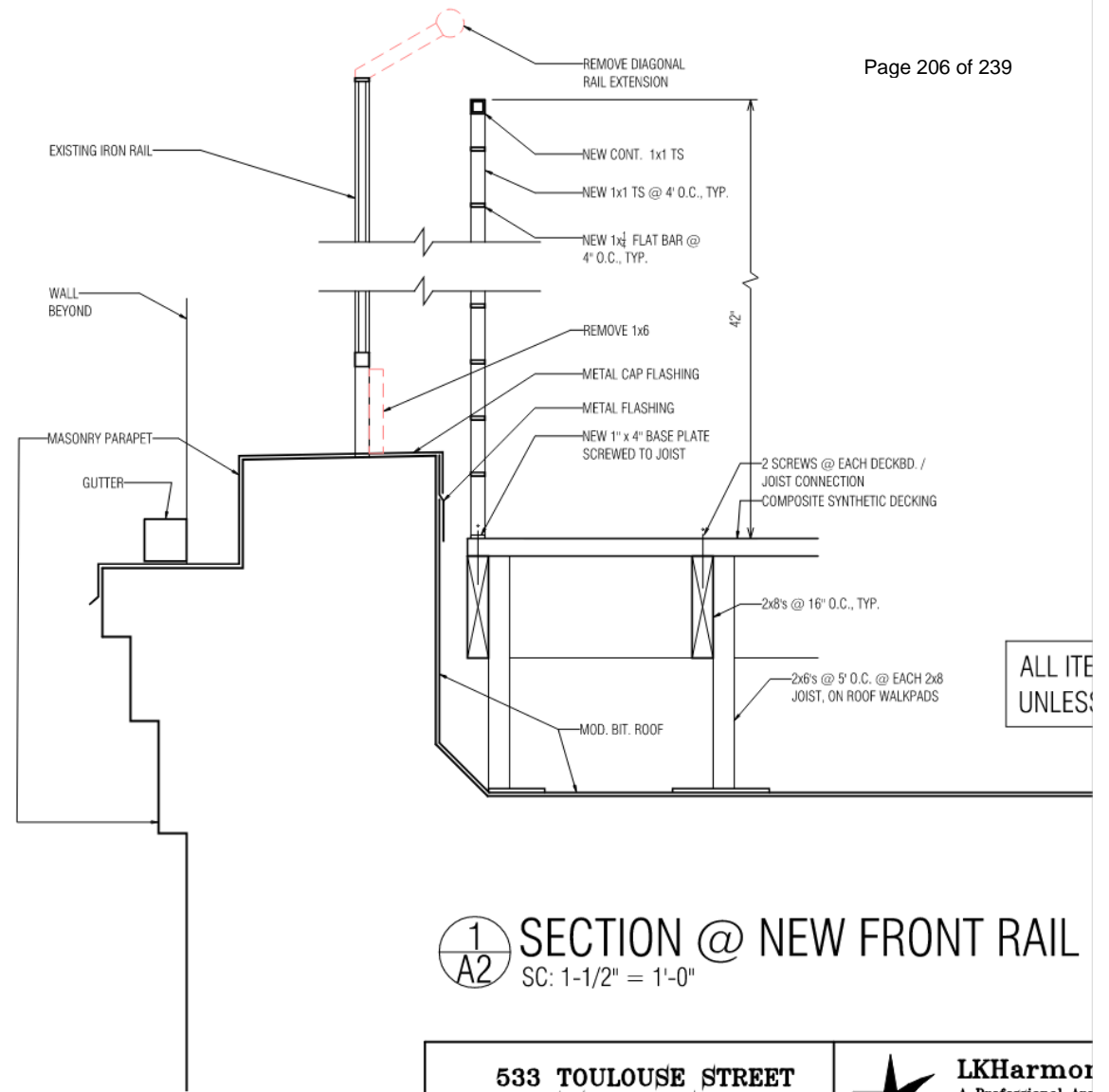
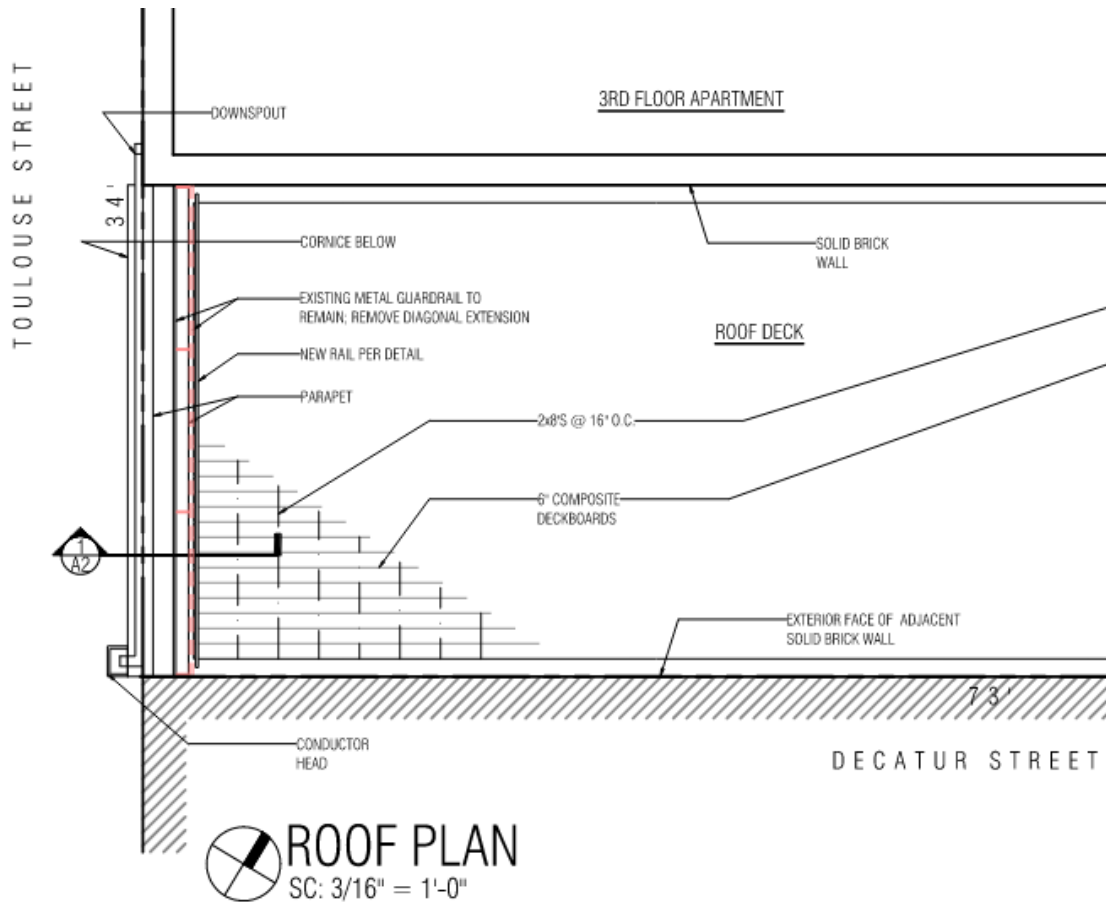



533 Toulouse

VCC Architectural Committee

July 26, 2022





<p>533 TOULOUSE STREET V.C.C. APPLICATION New Orleans, LA 70130</p>	 <p>LKHarmor A Professional Arc 6238 Argo New Orleans, LA 70118 504.485.5870 harmon</p>
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533 Toulouse

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July 26, 2022





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July 26, 2022





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July 26, 2022





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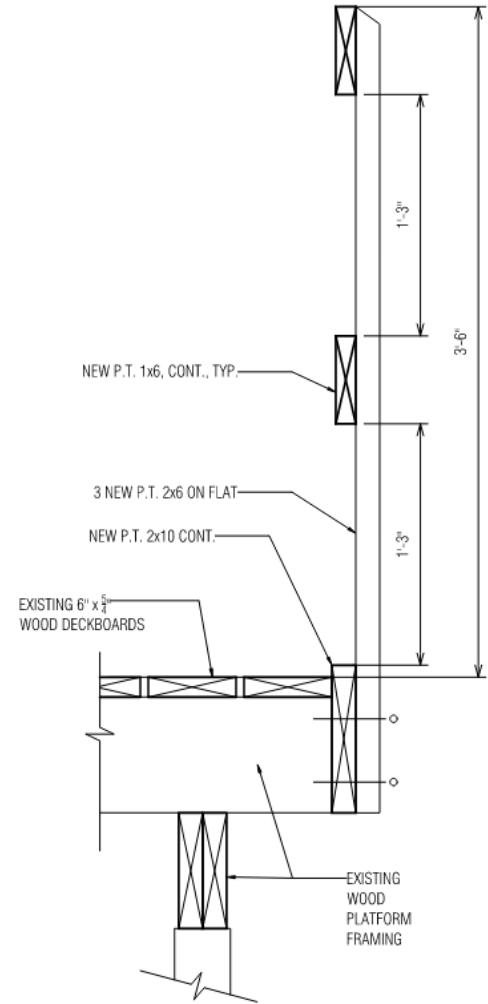
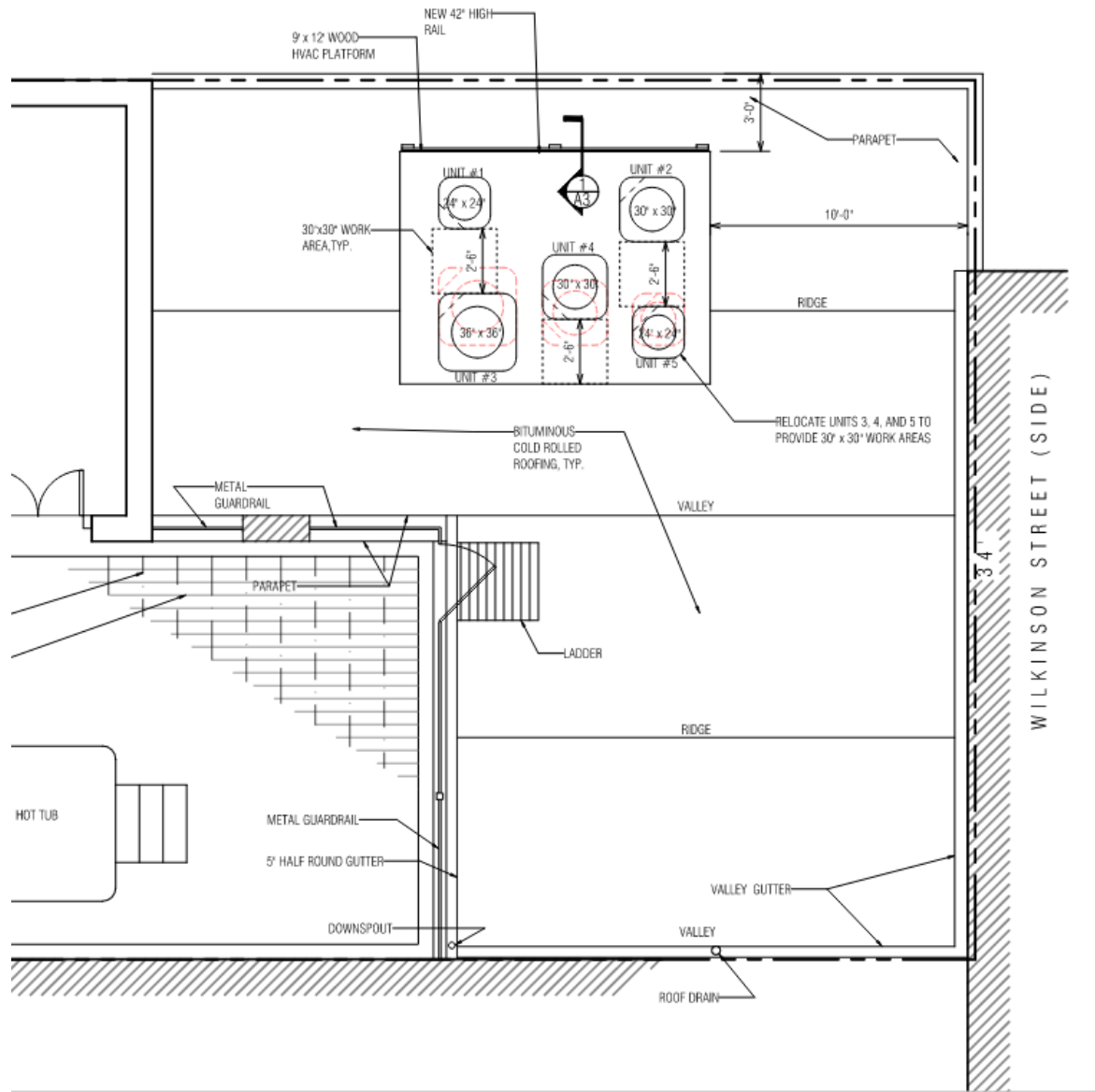


533 Toulouse

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July 26, 2022

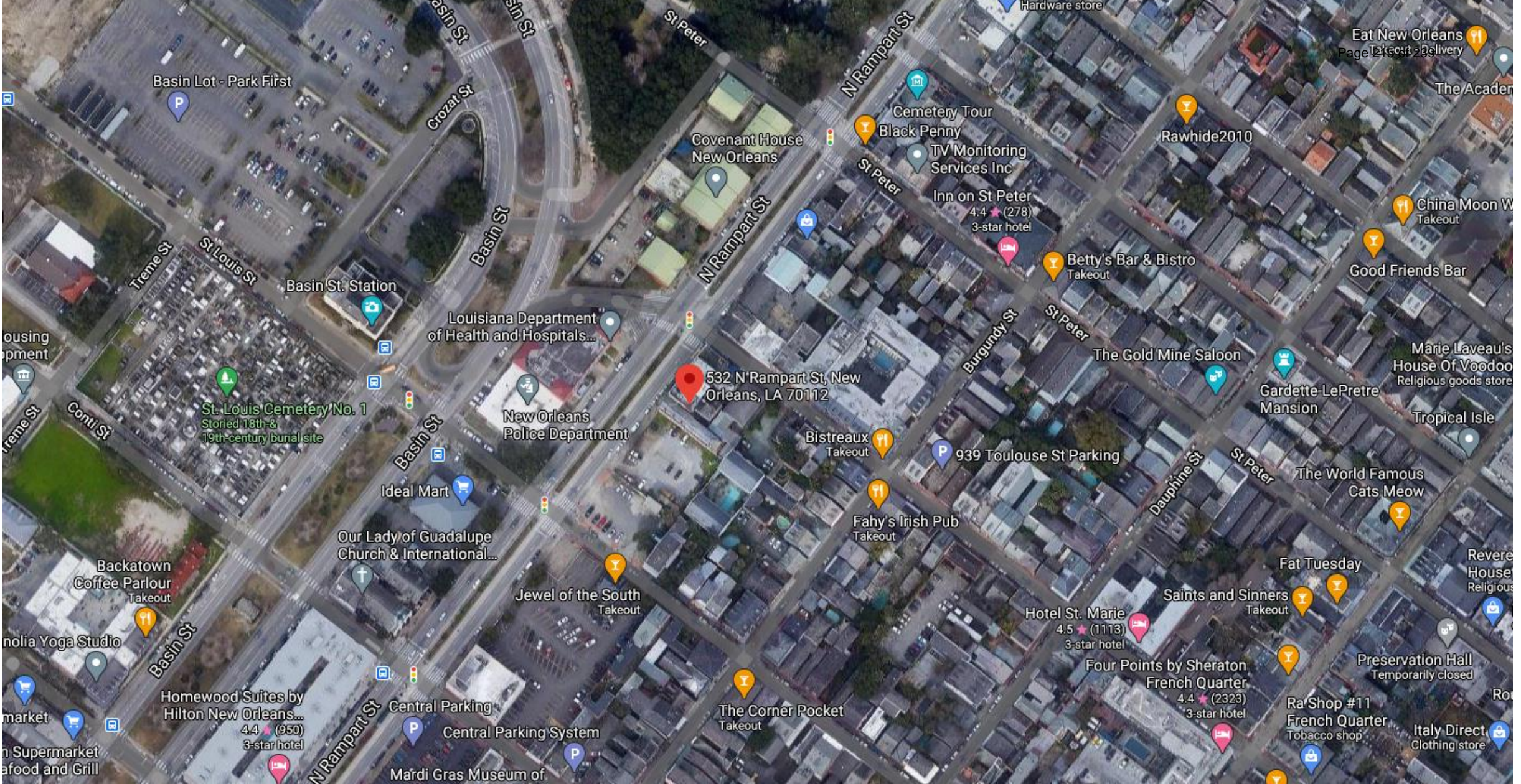




1 SECTION @ NEW HVAC PLATFORM RAIL
 A3 SC: 1-1/2" = 1'-0"



523-34 N Rampart



532 N Rampart

VCC Architectural Committee

July 26, 2022





532 N Rampart

VCC Architectural Committee

July 26, 2022





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VCC Architectural Committee

July 26, 2022





532 N Rampart

VCC Architectural Committee

05 01 2020

July 26, 2022





05 01 2020

532 N Rampart

VCC Architectural Committee

July 26, 2022





532 N Rampart

VCC Architectural Committee

July 26, 2022





532 N Rampart

VCC Architectural Committee

05 01 2020

July 26, 2022



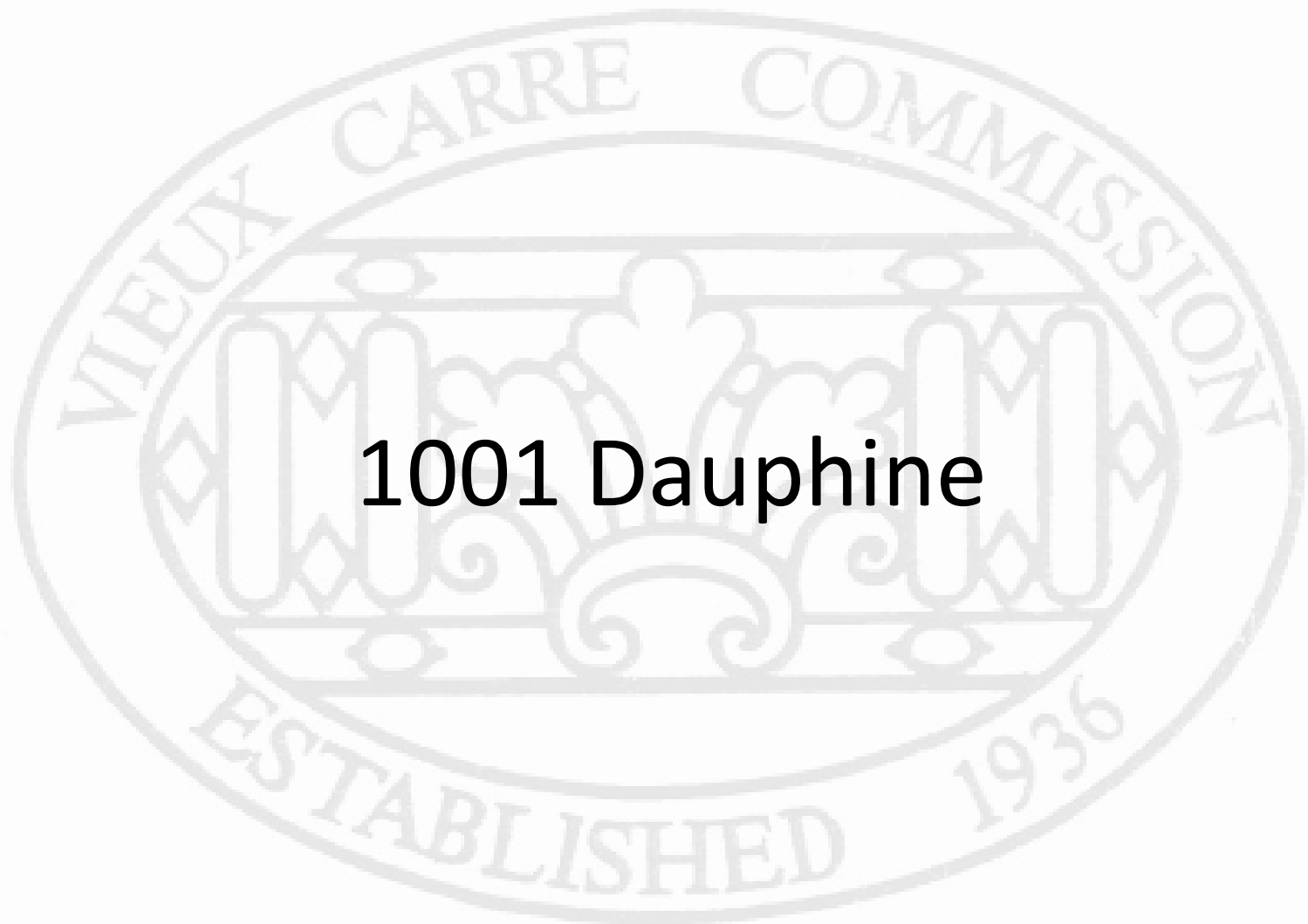


532 N Rampart

VCC Architectural Committee

July 26, 2022





1001 Dauphine



1001 Dauphine

VCC Architectural Committee

July 26, 2022





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July 26, 2022





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July 26, 2022





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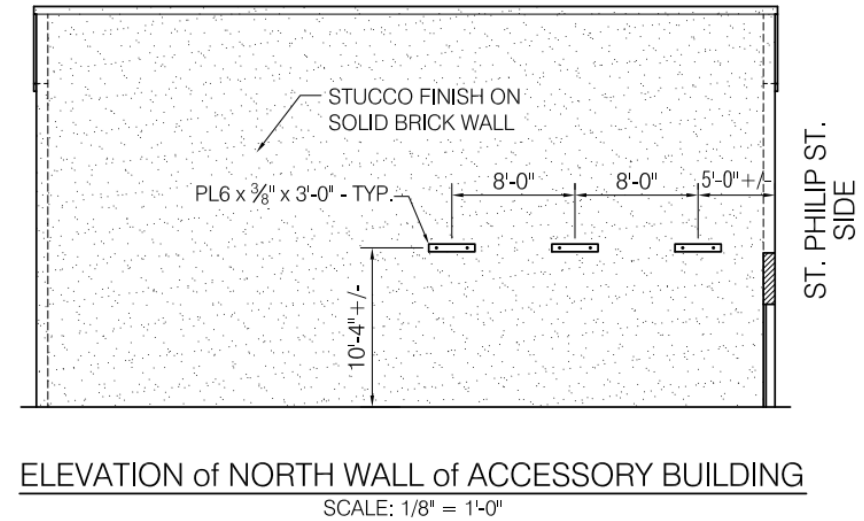
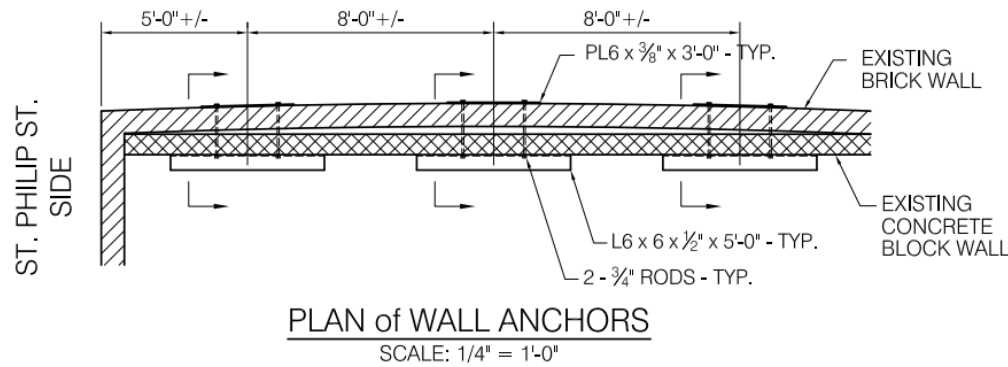
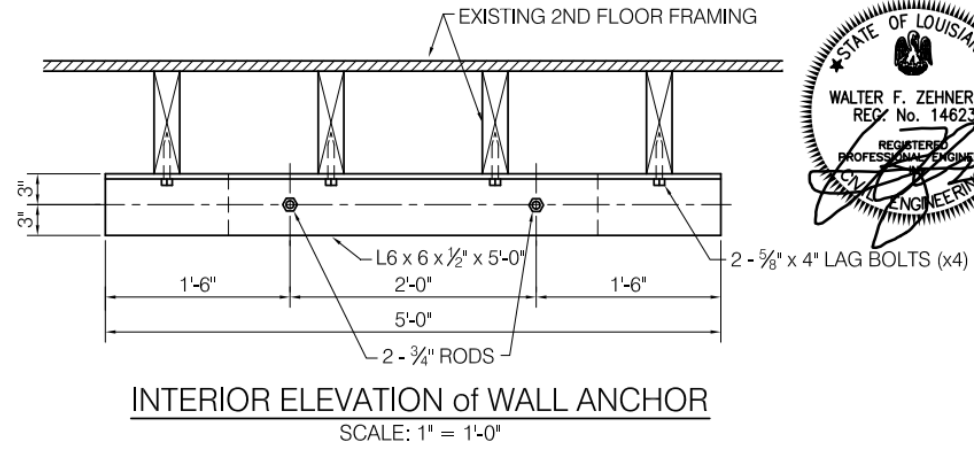
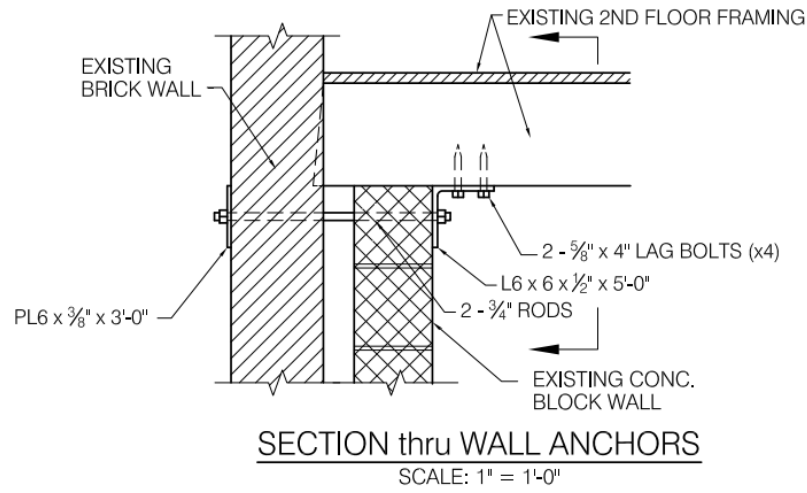
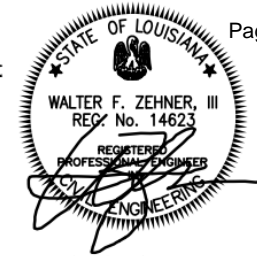


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July 26, 2022





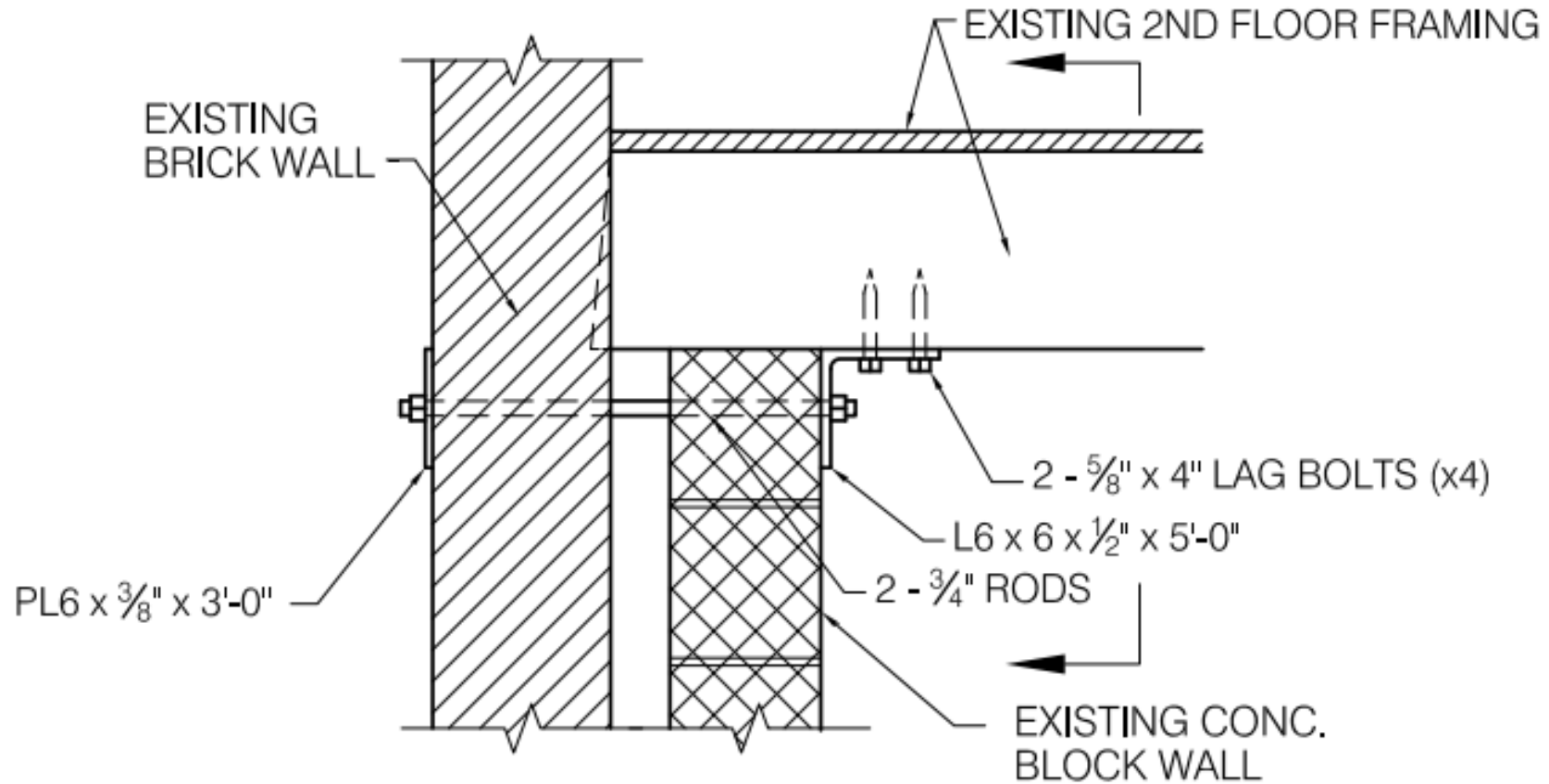
BY WFZ	PROJECT:	REPAIRS to MATASSA'S MARKET 1001 DAUPHINE STREET	WALTER F. ZEHNER, III, P.E. CONSULTING ENGINEER 4702 TOULOUSE STREET NEW ORLEANS, LOUISIANA 70119 TELEPHONE (504) 488-1442 EMAIL: WALTERZEHNER@MSN.COM	DATE 6/28/2022
				SHEET NO. SK1

1001 Dauphine

VCC Architectural Committee

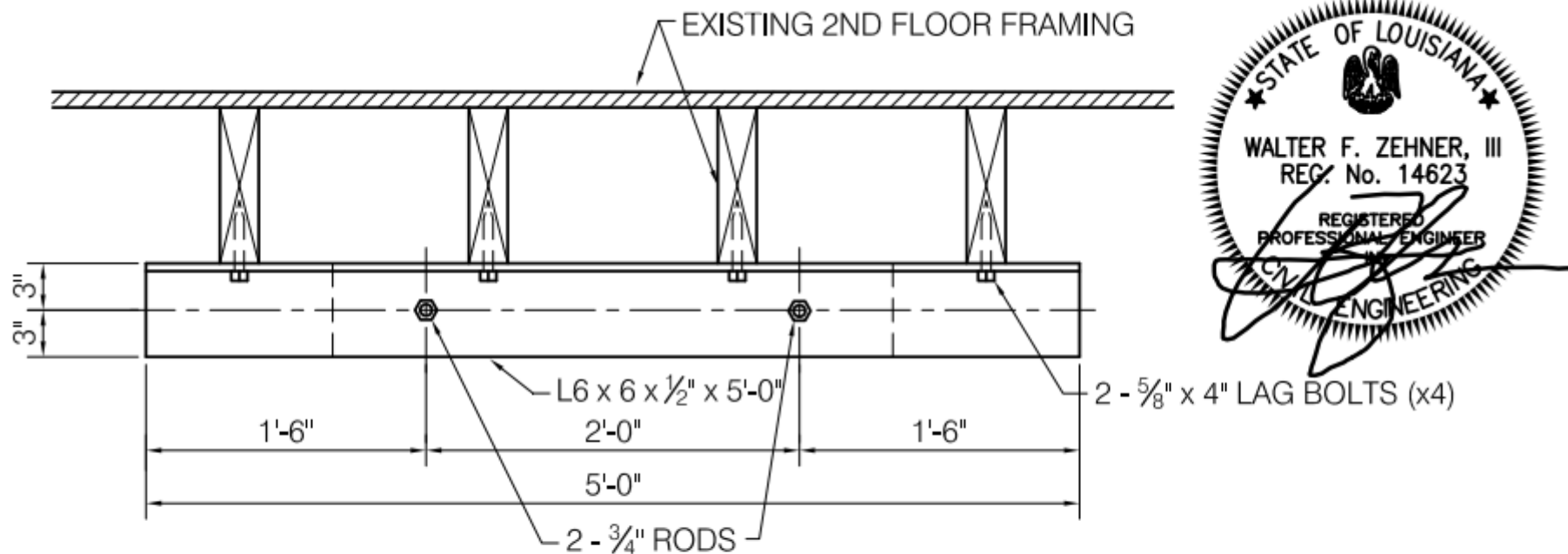
July 26, 2022





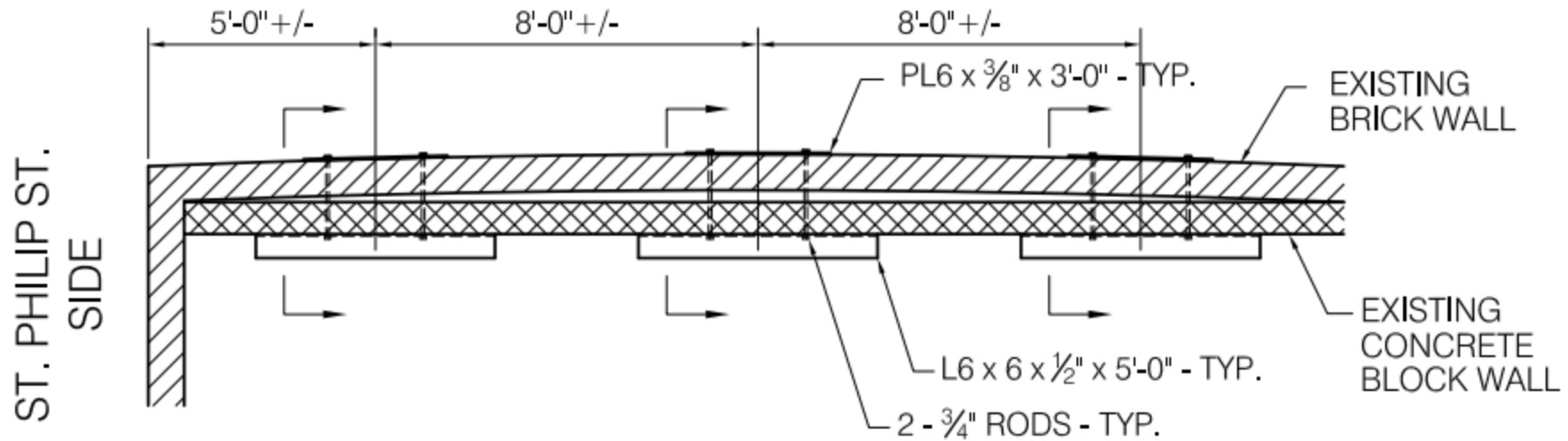
SECTION thru WALL ANCHORS

SCALE: 1" = 1'-0"



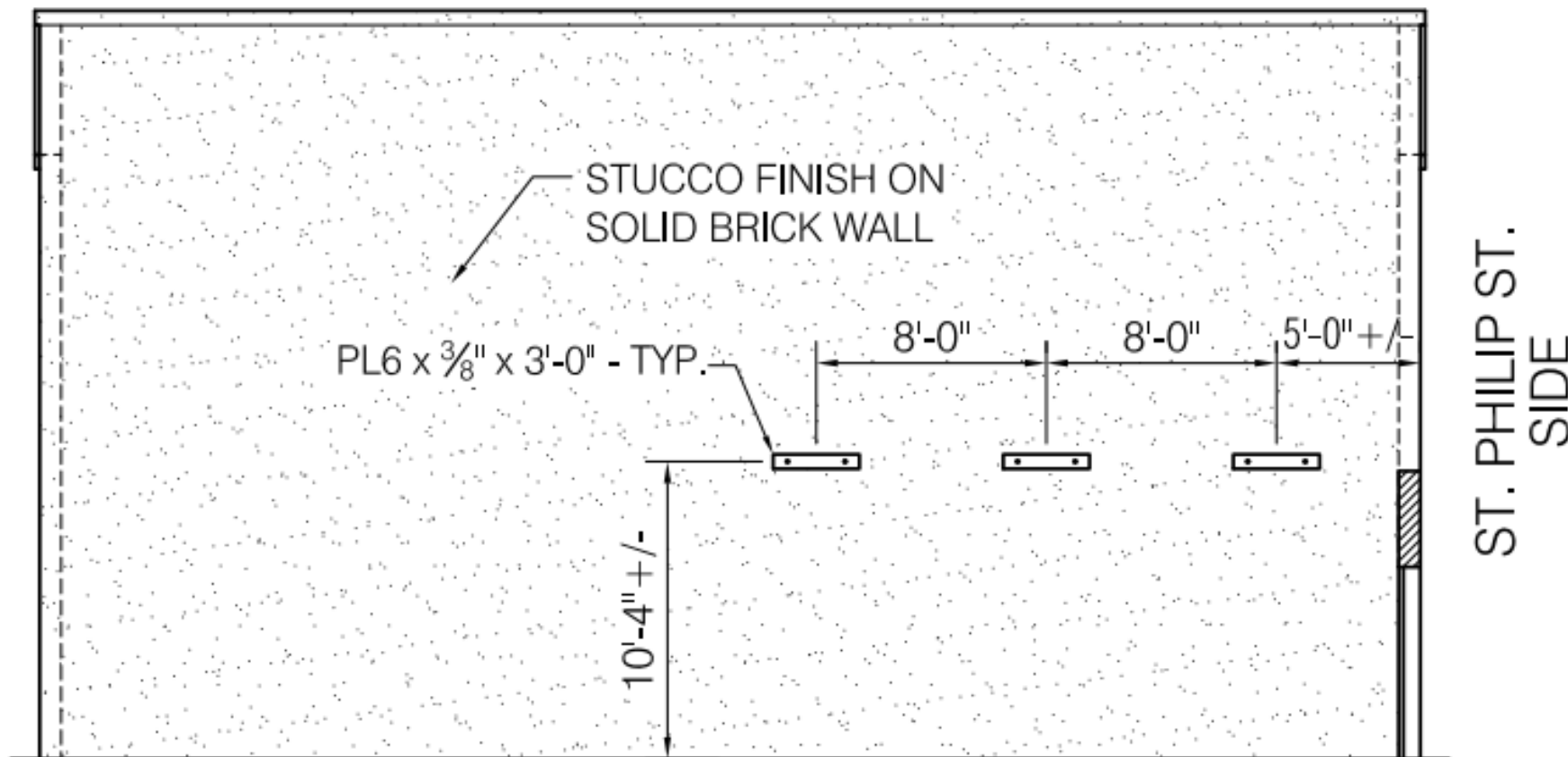
INTERIOR ELEVATION of WALL ANCHOR

SCALE: 1" = 1'-0"



PLAN of WALL ANCHORS

SCALE: 1/4" = 1'-0"



ELEVATION of NORTH WALL of ACCESSORY BUILDING

SCALE: 1/8" = 1'-0"