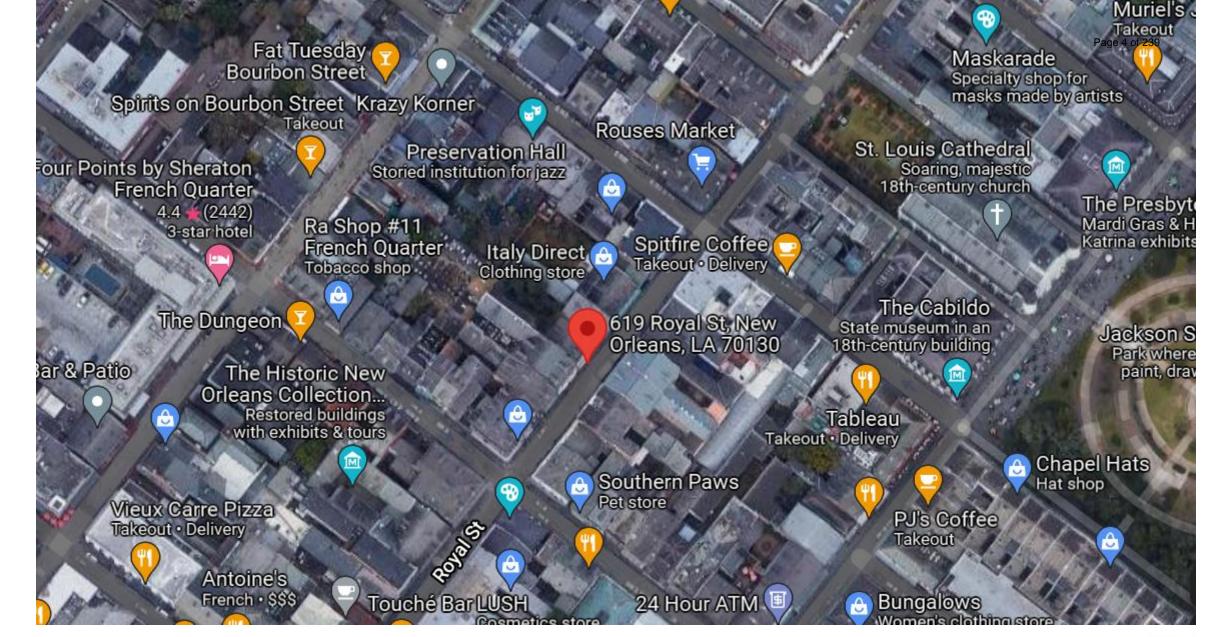
Vieux Carré Commission Architecture Committee Meeting

Tuesday, July 26, 2022



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VCC Architectural Committee





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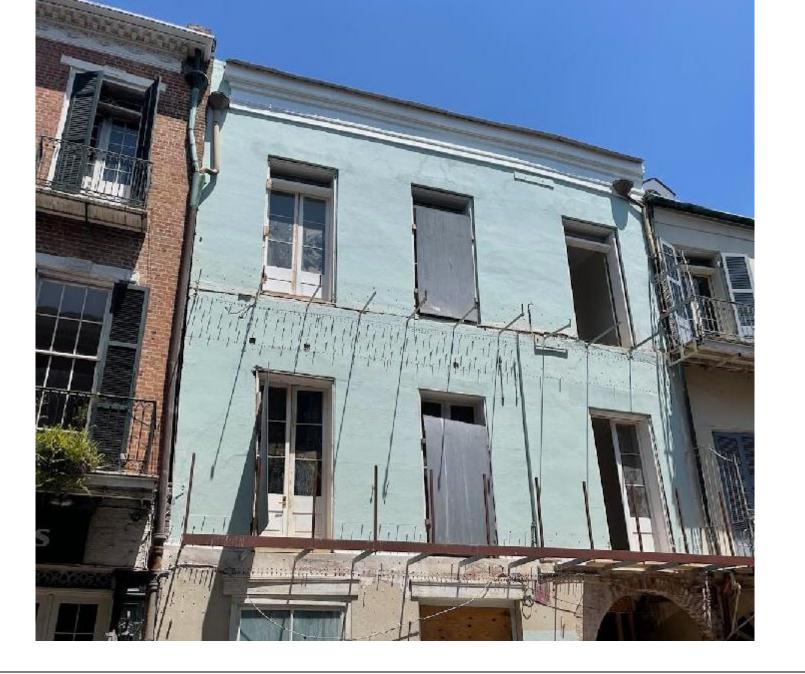
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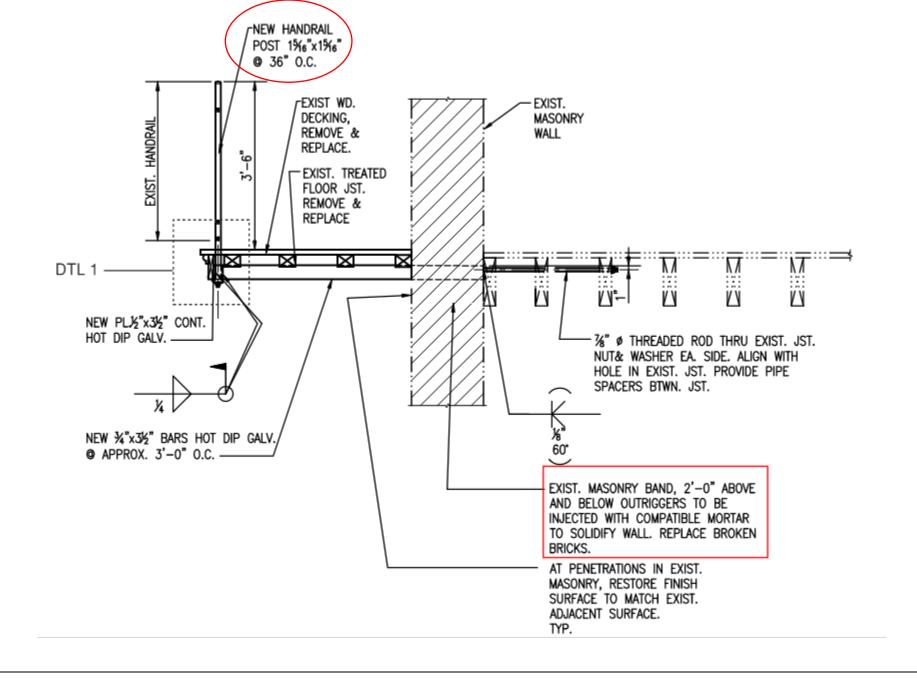
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619 Royal

July 26, 2022



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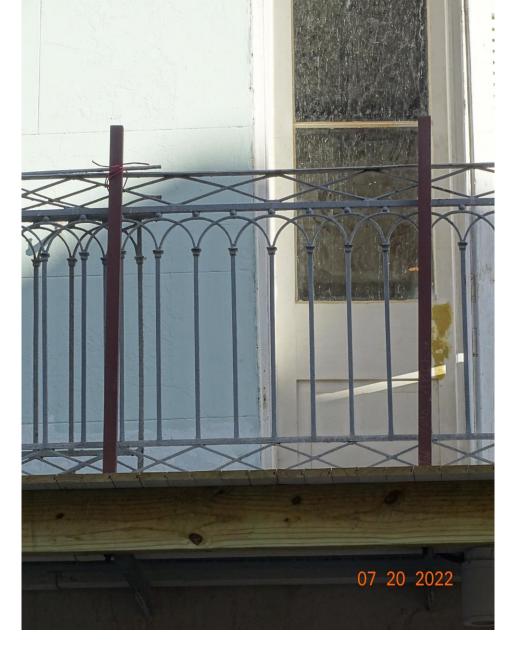












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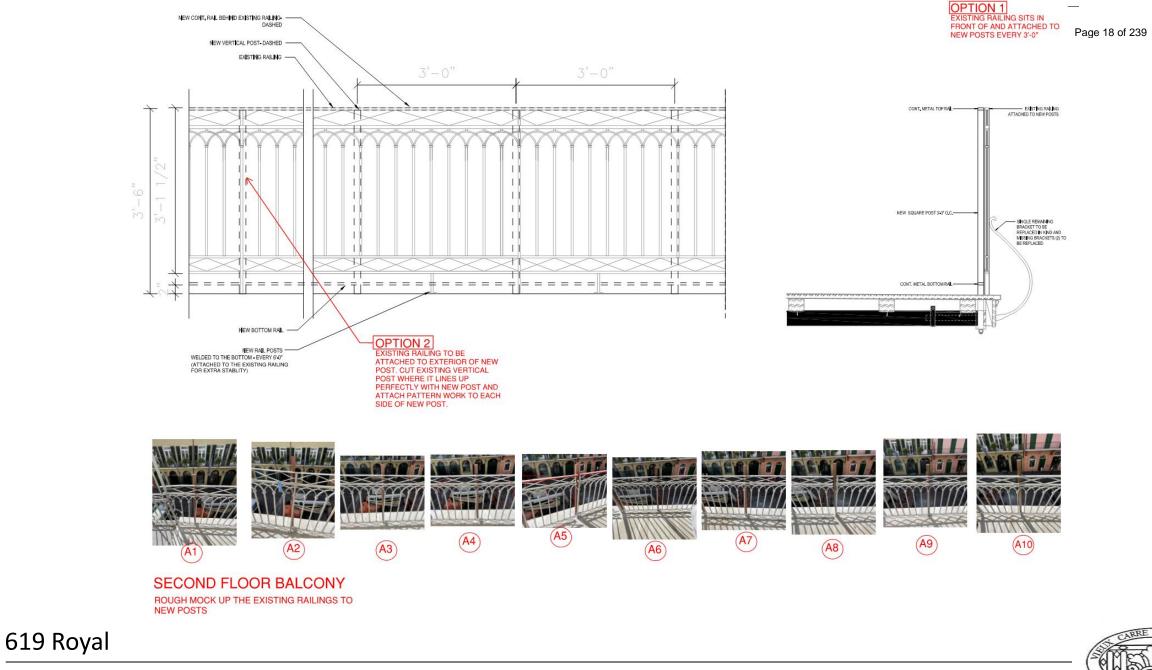
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CURRENT CONDITION

619 Royal

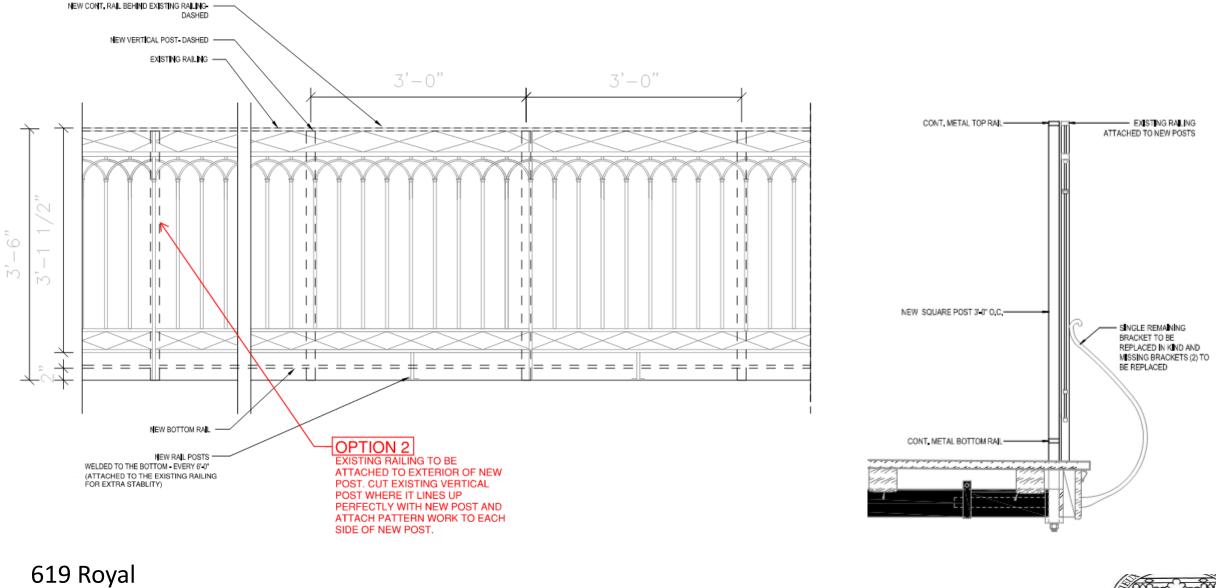




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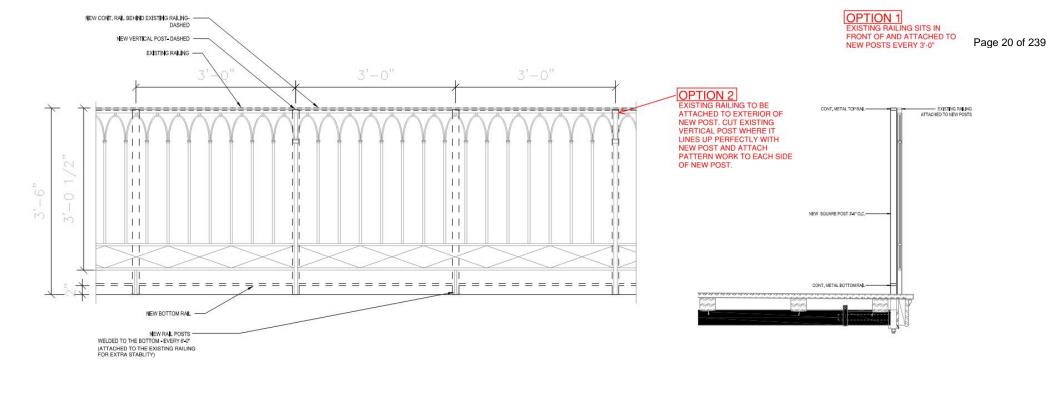


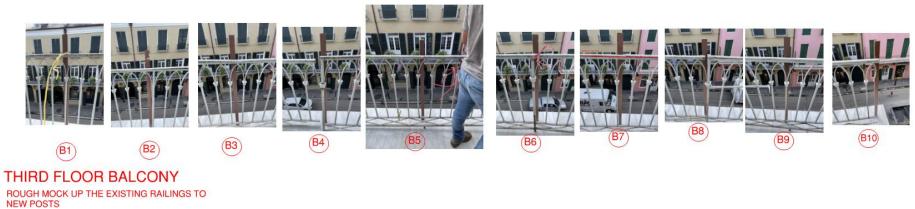




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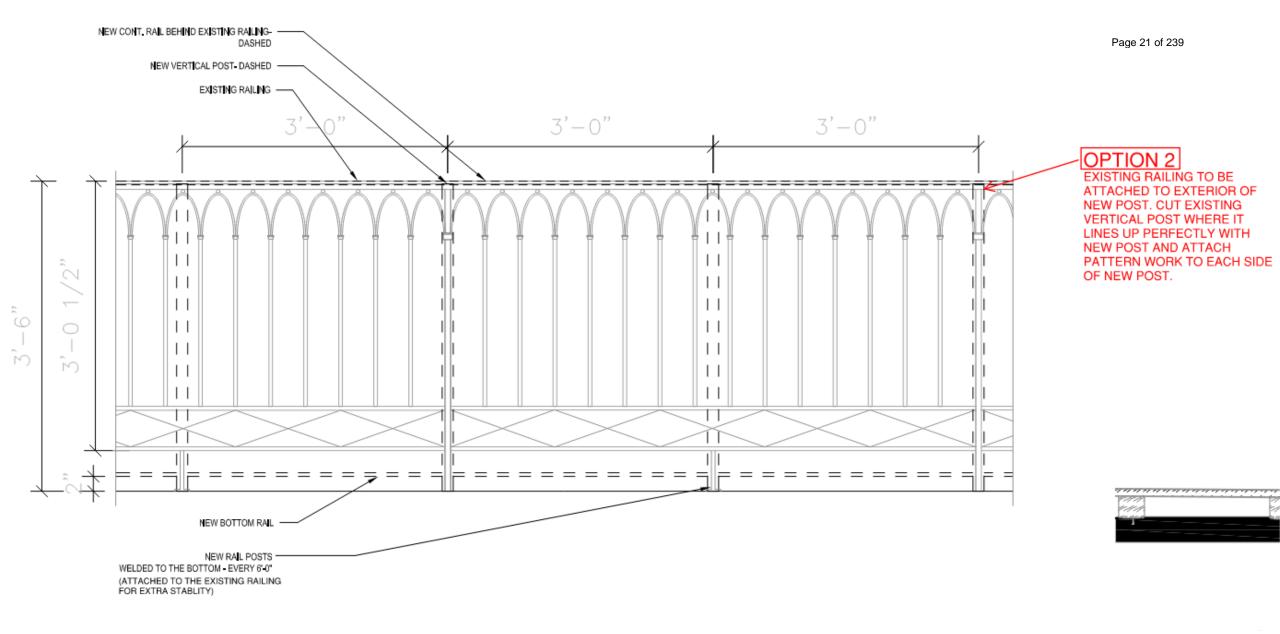








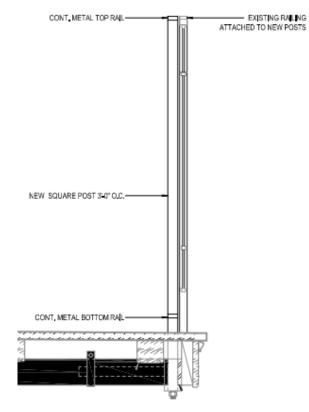




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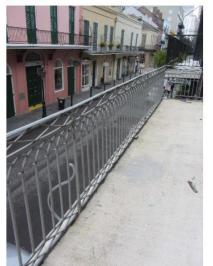
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3RD FLOOR BALCONY EXISTING RAILING- APPROX. 2" OFF DECK PROPOSING NEW HORIZONTAL BAR TO SIT 2" FROM BOTTOM OF DECK



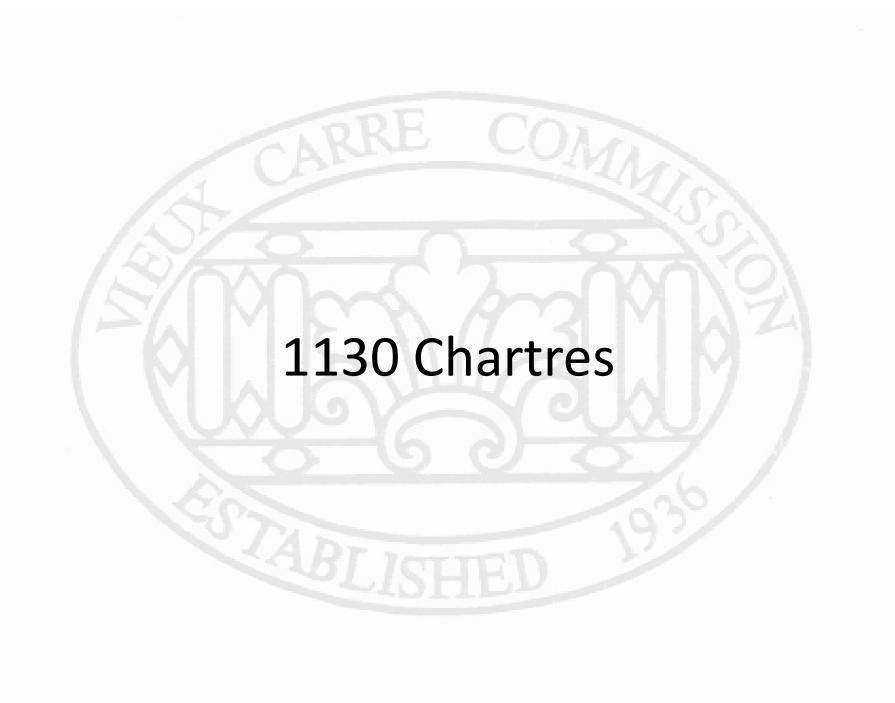


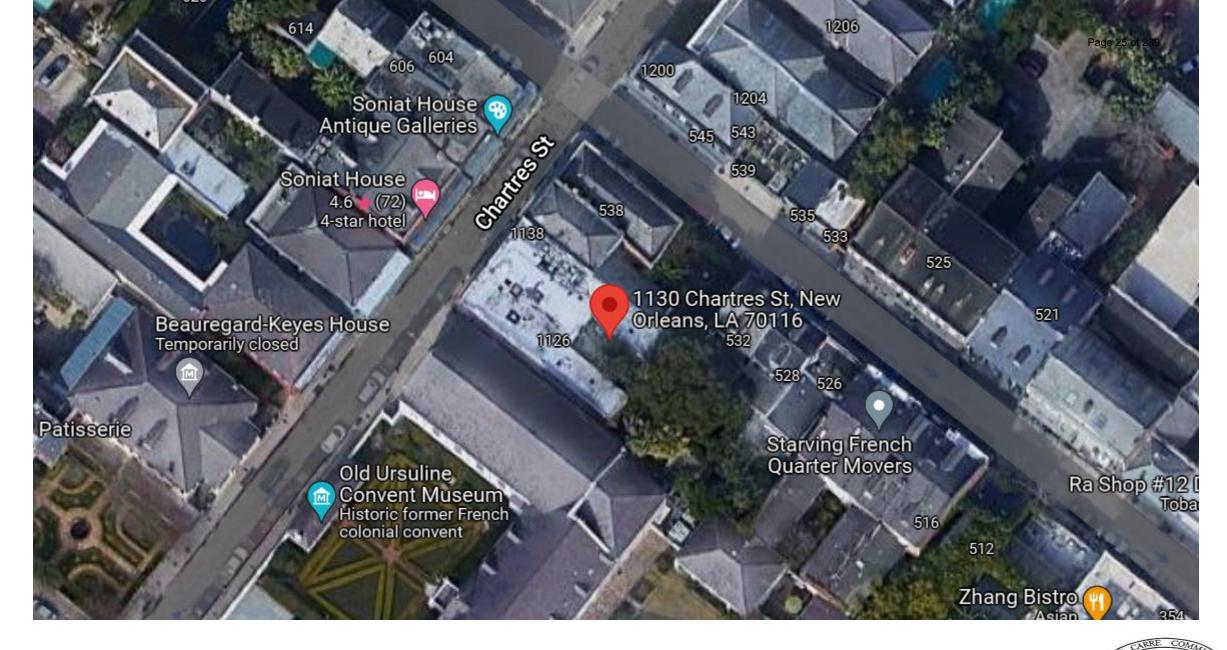
EXISTING BALCONY CONDITION

3RD FLOOR BALCONY EXISTING RAILING- SAT DIRECTLY ON THE DECK-PROPOSING NEW HORIZONTAL BAR TO SIT 2" FROM BOTTOM OF DECK

619 Royal



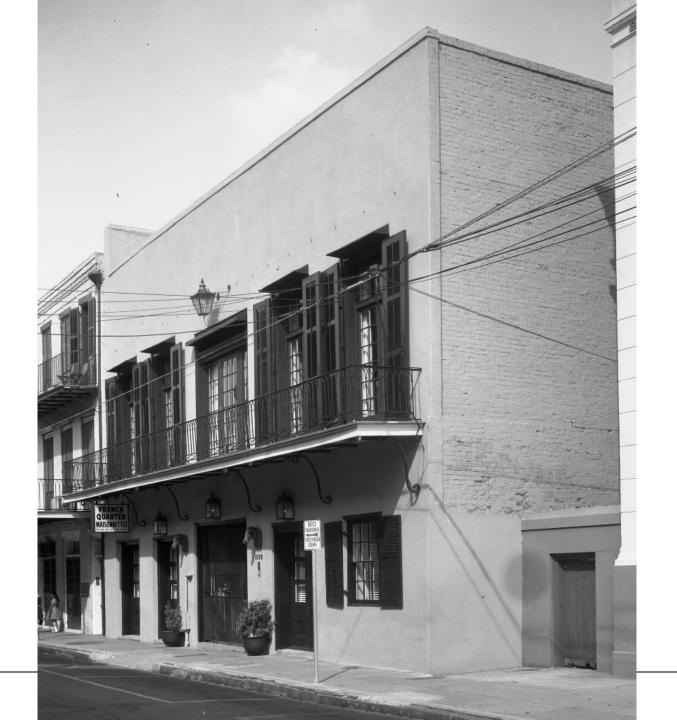




1130 Chartres VCC Architectural Committee







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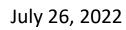




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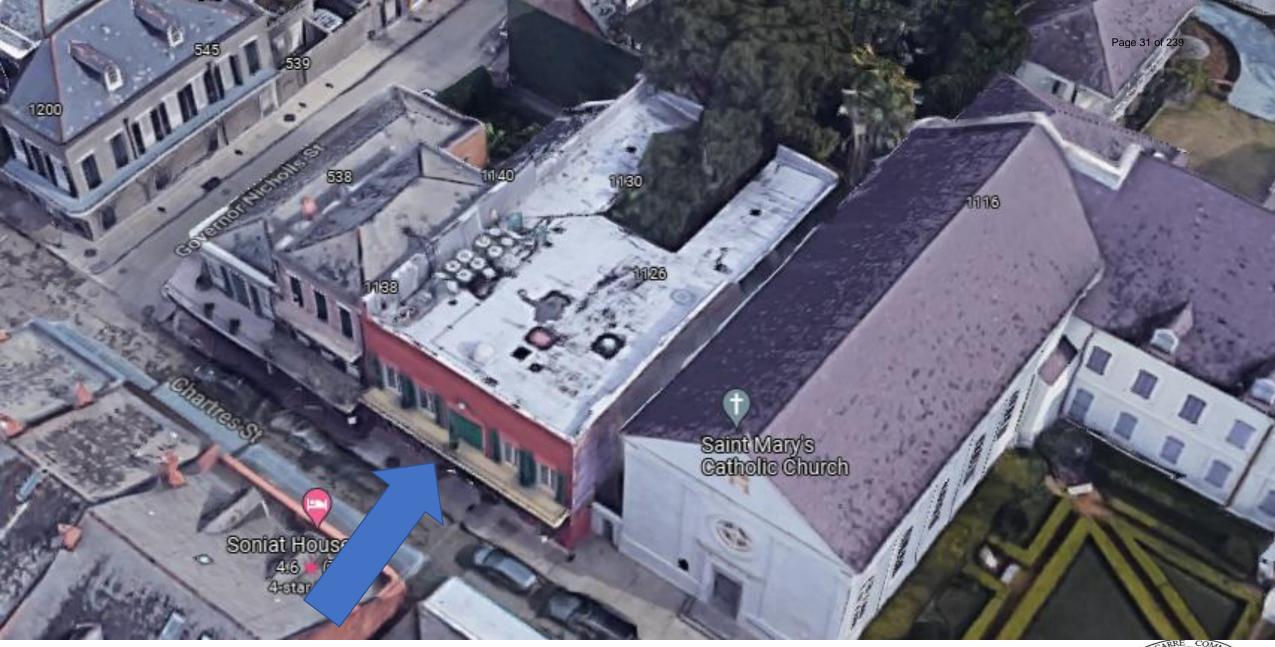






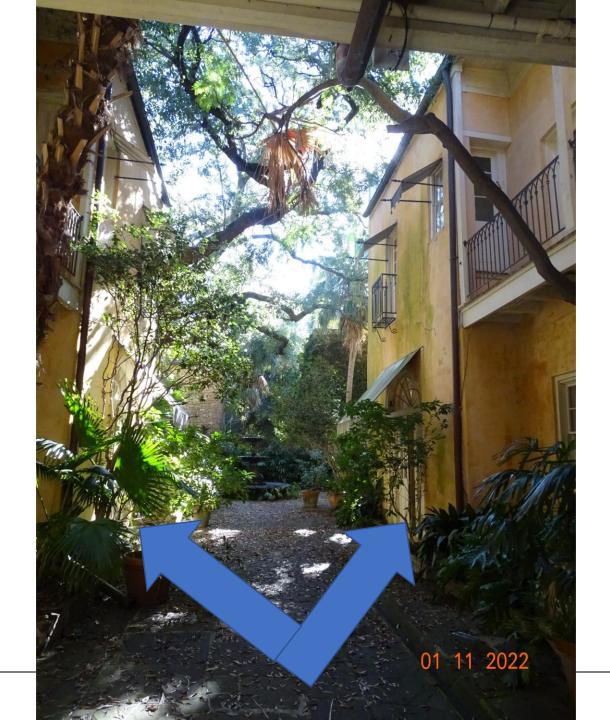






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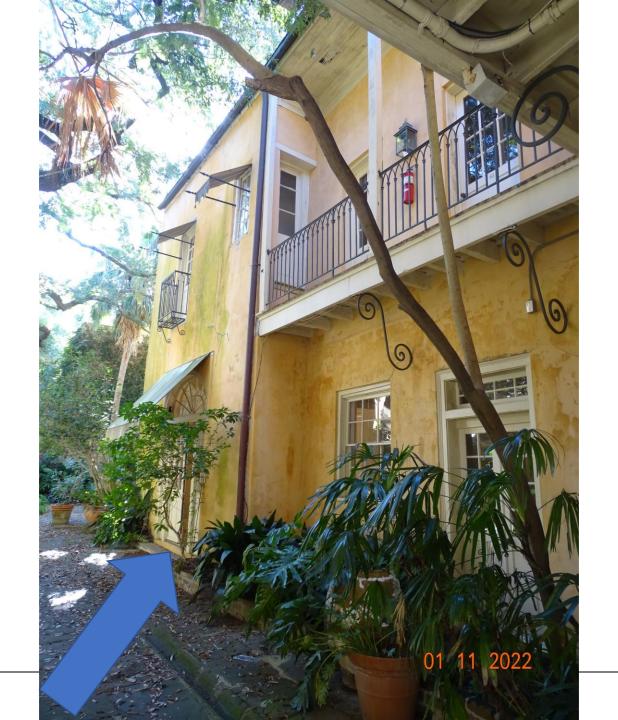




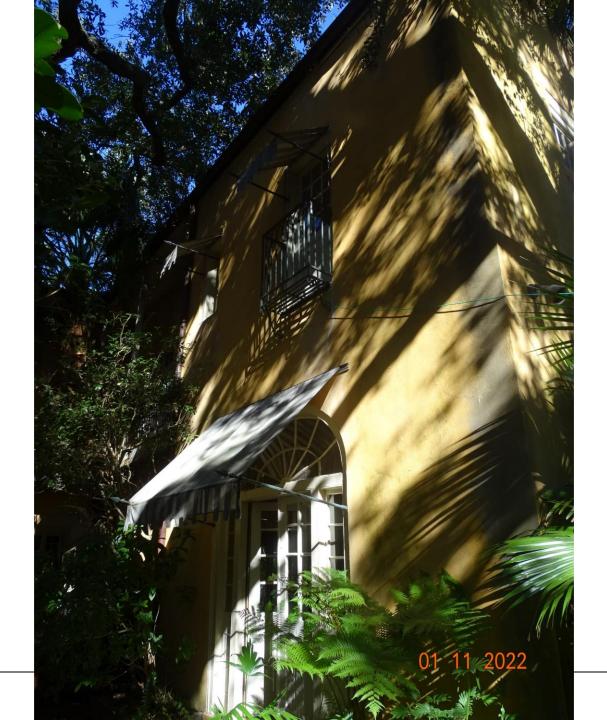
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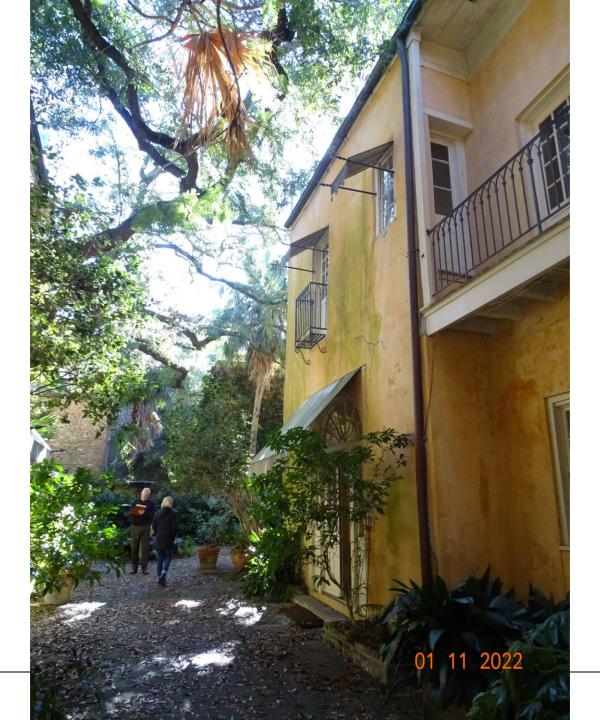
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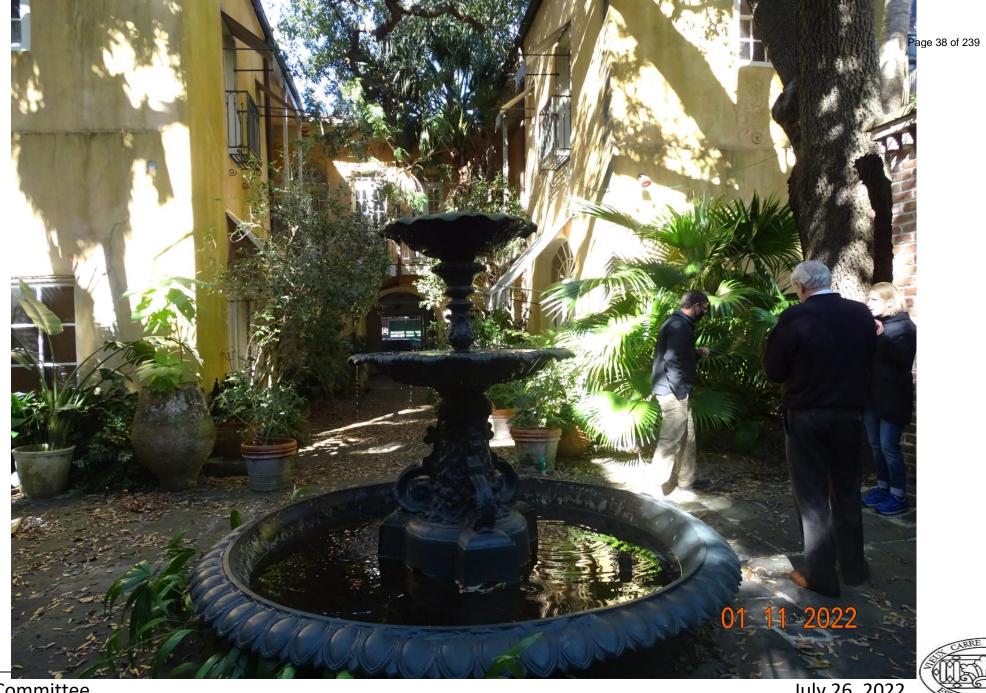


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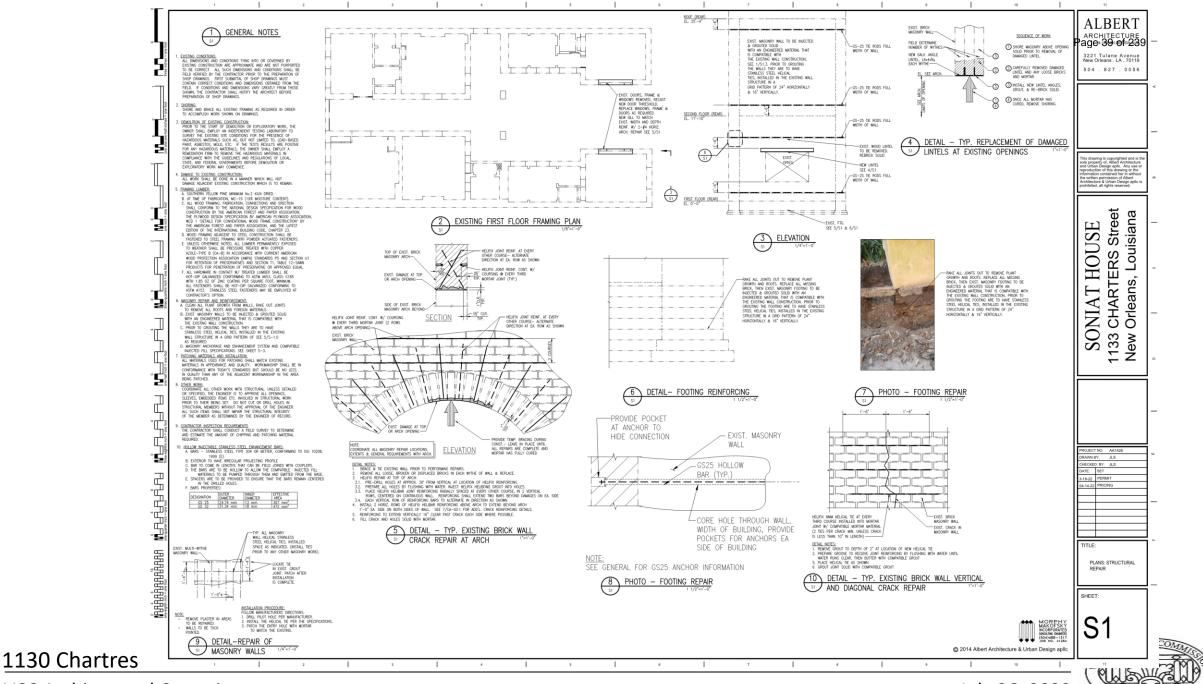




1130 Chartres







VCC Architectural Committee

1 MASONRY SPECIFICATION ALBERT \$1.3 scolor composeds, A evolution uplottin presente of 4 loss may be used. The final isotrawing field, singlets highlight and the imposed of the scale down and be the side of the injection hole must be plaqued only when OF fires finally rooms with the imposed with injection of the next order as also bed able multi-old plaqued region area benefits and injected or plaque. For the meanury anchorage and enforcement system andorum, the compatible injected fit had be injected through the holose states also all adverses in the determined the scale of the significant for the meanury anchorage and enforcement system andorum, the compatible injected fit had be injected through the holose states also adverses the set interval of the significant for the meanury anchorage and enforcement system andorum, the compatible injected fit had be injected through the holose states also adverses the set interval of the significant and and adverses in the significant to a state of the significant states and the significant of the significant of the significant of any adverses the set of the significant injected of will stiffen registry after placement: injection of the significant of any adverse the set of the significant of the significant of the significant of any adverse the set of the significant of the significant of any adverse the set of the significant ARCHITECTURE WASONRY ANCHORAGE AND ENHANCEMENT SYSTEM AND COMPATIBLE INJECTED FILL SPECIFICATIONS: eran, no one reason. In bijection Enjoure Marcaget and certify the foreman, who must have had previous experience with compolitie injected fill gendration. The competent in all skills If the compatible injected fill gendration. The foremon will direct wall prevanding, requirement shalp, injection, and dismang operations. The crew foreman will do act to the rozzin-man and will gendrate the injection has at the wall. The foreman will record the following in a dow log: age 40 of 239 These specifications describe materials, equipment, personnel, procedures, and nondestructive testing quality control requirements for injection of compatible injection fill (CP) into anchoring and enhancement systems. The formulation and injection of a committious fill for and into masony was is on highly specialized application. The process requires on seperienced, approved applicator and professionial engineer trained to swith together before and during the work. 3221 Tulane Avenue New Orleans . LA . 70119 1. personnel involved 2. weather conditions including temperature, humidity, cloud cover, and wind 1.0 MATERIAL REQUIREMENTS 3. time of operations 504 . 827 . 0056 4. total production and tasks completed 5. equipment performance 6. personnel performance logistication for composible injected BI shall include cament and camenditions while non-non-tension 0.5% by valume of consistance, on required to bufflet priprict abjects the hypotemet, crystics are priorise will be cooperating in the final meteorist. All Contradicts ability to exon-chronice and one-conversions. We formulations shall be developed for the specific contribution of materials present, the condition of materials present. We construct the condition of materials present the specific contribution of materials present, the condition of materials present the specific contribution of materials present the specific contribution of materials present the condition of materials present the specific contribution of the specific contribution of materials present the specific contribution of materials and the specific contribution of materials present the spe 4.5 POST-INJECTION AND INSERTION WALL CLEAN-UP 7. notes regarding any special or non-typical situations encountered during the day Sufface cleaning shall be conducted during injection by immediately flushing any competition injected III from the masanry surface with water. Immediately following competition of the injection process, remove any remaining surface status using water and a slift, non-mediate bradite brank. Water competition injection III to stilling but not before removing during from item from injection have a during and the status of the status The injection engineer will accept and certify the person in charge of compatible injected fill and the masonry anchorage and enhancement materials, including material storage, balching, mixing, and conducting flow tests, information regarding balch volume, flow, and injection area is entered into a lapbook for each balch. This person is door charged with equipment stratus and mantemater, including proper idensing of timining and injection equipment. Wamitals will include appropriate test data, along with information on three (3) projects at which the grouf(s) were utilized. Historical information will include wall bection, type of project, scale of project, moterial characteristics, quality control test results, contact names and plane numbers. The applicator and historian ingineer will certify that the submitted material are metamical and upgrade of those used at similar contactions the past projects. Prolos or details are One or two persons will act as assistants to the foremon during wall preparation, compatible injected fill injection and massary cleanap. During compatible injected fill injection, one assistant will be stationed at the duties will have cost will apply injection hairs as compatible injected fill bear from them. The second assistant will be stationed at the building effort for which for operated compatible injected fill apply and will not the horder state and the operated compatible injected fill bears from them. The second assistant will be stationed at the building effort for which for operated compatible injected fill apply and will not the horders and subject. The interview control her injection are compatible injected fill advect the interview of the horder state states. The interview control horder building the interview of the horder state states. The interview control horder building the interview of the horder states and building to interview interview of the interview of the horder states. The interview control horder building the interview of the interview of the horder state states. The interview control horder building the interview of the interview of the horder states and building to interview of the interview of required depicting project similarities 5.0 TOP OF WALL CONDITIONS Pre-blended compatible injected fill is to be stored in a covered location, protected fram environmental moisture. A covered staging area of at least 200 square feet will be required. Access to the area shall be sufficient to aff load patiets of material using a farkfill. In addition, an interior temperature controlled area of at least 150 square necessary. The massary anchorage and enhancement hallow steel anchors are to be connected to steel framing of the tops of wall in such a manner as to provide a continuous load path to structural framing members, if required. Post-tensioned massary anchorage and enhancement system anchors shall extend a minimum of 6 inches adowe the top of wall anchor polite for mitchment of lemining rame, if required. monitor for compatible injected fill leokage. For compatible injected fill work in conjunction with the massary anchoring and enhancement system, compatible injected fill will be formulated to oblive materials distancements as identified adver, to match the material characteristics of the host wait. The injection engineer will certify as to the material compatibility with each Of submassion. Qualification data shall be submitted 90 days prior to start of compatible injected fill, anchorage and enhancement operations. All injection personnel shall have training in CP or certified by the Massary Injection Training Center, Baudier, Calando or approved equal and approved by the Injection Engineer and the eachor and enhancement, munucluster Qualifications shall be current to domentatories by certification and remedial training conducted within the previsor of manifer and marked and provided training conducted within the previsor of manifer and predict and the current of advector to advect and the current of advector to advect advector to advector to advector to advector to advect advector to advect advector to advector to advect advector to advect advector to advect advector to advecto 6.0. OLIALITY VERIFICATION drawing is copyrighted and is to property of, Albert Architecture Urban Design aplic. Any use of on a 6-month basis The injection Engineer shall conduct nondestructive verification of compatible injected fill penetration. Verification shall consist of pulse-echo, infrared thermopraphy, microwave radar, or through-well pulse velocity nondestructive messurements conducted throughout the injected area. The injection engineer shall determine the number and location of such tests by a random statistical process. Approximately 10 percent of the injection area is to be tested to every injection quality. rban Design aplic. Any use luction of this drawing or the ation contained her in withou itten permission of Albert 1 COMPATIBLE INJECTED FILL CRITERIA 4.0 PROCEDURES FOR MASONRY ANCHORAGE AND ENHANCEMENT Compatible injected fill shall be mixed according to the proportions and mix procedures determined by the Injection Engineer shall have demonstrated properties suitable for maxony injection. Demonstration that the compatible injected fill CIF formulation meets performance criteria shall be provided prior to beginning the lecture & Urban Design aplic i bited, all rights reserved. After coring, physically inspect hole for depth, and vacuum to remove all foreign materials, and materials which may damage fabric, or impede CIF flow. Inspect fabric for holes and potential abrasions, and assure that the fabric length and diameter in consistent with the contract documents and the approved shop drawings. Nondestructive measurements and visual inspection by the engineer shall confirm the presence of compatible injected fill around the maconry anchoing and enhancement system and adhesion of compatible injected fill within existing maconry. Where confirmation cannot be made or endence of incomplete adhesion is froud inspection bles shall be drifted to verify CF by borescopic examination. Locidicins where compatible injected fill is not to the statistication of the hipiction. roject in the form of test reports from the Injection Engineer's approved laboratory. Performance criteria include Where shown, carefully install Taper-isk geometrical extension to the footing or substrate to which connection is intended. Clear any foreign materials or debris by vacuum, and re-check depth of core hole. found inspection holes shall be Engineer shall be re-injected. Nav time: APR Recommended Practice: 13b or XS10 C 593, Test Method for Dava of Grout for Prepioxed-Agregate Councet (Plaw Cane Method); moterials shall be required to flow without separation; they time will be specified for the project by injection engineer, hypically in the range of 9 to 55 seconds.
Beening: XS10 C 5940, Test Method for Lippansian and Beening of Freshly Med Crouts for Prepioxed-Agregate Councet in the Laboration; no greater than 0.5 Following manufacturer's recommendations, dampen fabric and install fabric-closked enhancement bar assembly into hole with the compression disc resting on the bottom of the Taper-lok core extension. Assure ports and hollow injectable bar is clear and ready to receive CIF. Quality verification for anchor installation shall include a series of proof tests, conducted at the start of masonry anchoring and enhancement system installation operations. A minimum of 3 anchors shall be laboratory tested in tension, following the requirements of ASTM E 488. Anchors shall be preladed to 300 pounds to establish a displacement dolum. The tension test load stalls be recorded at displacement of 1015 rich, indicating oncher failure. Loads thus established shall be reliablish and specification and the recorded to a stall be recorded at 1025 rich, indicating oncher failure. Loads thus established shall be reliable of a stall be precised at 1025 rich, indicating oncher failure. Loads thus established shall be reliable of a stall be recorded at 1025 rich, indicating oncher failure. Loads thus established shall be reliable of a stall be recorded at 1025 rich, indicating oncher failure. Loads thus established shall be reliable of a stall be recorded at 1025 rich, indicating oncher failure. Loads thus established shall be reliable. et protein: J. Mix stability: measured with the Gelman pressure cell; water loss under 10 psi pressure shall not be more than 1 ml per 350 ml sample. 4. Expansion: ASTM C 940; range shall be specified by the injection engineer, considering the in-place material and project objectives, typically in the range of 1 4.1 PRE-INJECTION EVALUATION Stree [T] least 2.5 times the design anchor load 4 percent As assessment of macrom metalicit candition is to be conducted by the hiptication Explanar or his representative for each sector isofallation over. The indication regulation is a sector isofallation regulation of one with the strate of one values are strate or supplication and the metalicity and the strate of the strate st . Shear band strength: ATC (Tentative Provisions for the Development of Seismic Regulations for Buildings); shall be greater than 100 psi., as tested in a mockup panel constructed to be representative of in-place construction. At least 3D percent of all isolated exclores shall does be proof tarted using a collorated targe extension. The following maximum torpus table the restaled by installed andrones. "In-rob determined: 4D for goards, 5D risk-min deminer 5D or locations, 3D -rob deminer 4D or locations, and the state of the specific demines and the specific demine S resion strength: ASIM C 1019, Standard Test Method for Sampling and Testing Grout; strength shall be compatible with base material, based or variable testing and certified by the implicition traineer. Louisi HOU Engineer will certify with each submitted by the important protection of compatible materials; flow shall be within historical and empirical guidelines. The Injection Engineer will certify with each submitted that the material will flow within the existing voids and not shrink, and will bond to the substrate. S 4.2 WALL PREPARATION 4.2.1 SURFACE REPAIRS PRIOR TO INJECTION Ŕ 1.2 STAINLESS STEEL INJECTABLE WALL TIES AND STRUCTURAL ENHANCEMENT FACTORY ASSEMBLAGES to not allow compatible injected fill to flow into existing expansion or control joints. Provide a means to interrupt compatible injected fill flow at each existing novement joint such that compatible injected fill is prevented from penetrating into the joint. The masonry contractor shall seal around all wall penetrations adjacent ш END OF SPECIFICATION inplete management is explore. Such as management by 7 hom wide with a conter difficulty bias of 3 form danker by 1 hom their formed form out-instel database test. Type 34 or testing, with 44 testing methy follow-provide within a 10 mm 0 and 3.3 0 delays table. The bate bis Muo 22 Boy. -0.10 + 40 Depre Oblias and confinement meters. To be injected with for compatible injected for per the lepton follower protocil β the standard standard of 2.4 To space refeloid standards on the standard for exchanges of the methy of 2.4 To space refeloid standards of the compatible injected row-injected orders. to installed anchors as necessary (including electrical outlets, water cocks, doors, windows, etc.) flashing, and beam seats to prevent leakage such that all compatible injected fill will be contained within the wall. -F Masonry wals containing significant interior voids such as empty or partially empty callor joints must have sufficient consection between wythes to resist injection pressure, as shown on the documents and adtermined by the linjection Engineer. Deficient areas shall be strengthened by installation of remedial helical injected wall ties compatible with the masonry anatomycane stytem at an immism spacing are to elia equivalent 2.25 square test of wall area. È Holes hijetable Stahless Steel Enhancement Archors- Stahless steel Type 304 or better, with a regular projecting profile to increase outside surface area. Press see the Technical Information Isated below. The archor to will be findly assembled on site from 3M weights and pixed with coopers. The archor tended incorporate applies to even the backdoor increase. The many term of the tender of the term of the steep of archors the tender of terms of the steep of terms of the archor term of the terms of the terms of the terms of terms of terms of terms the steep of terms of terms of terms of the terms of the terms of terms of terms of terms of terms of terms of the disc will be at minimum the some thickness out have other back with the order to be an of the stable terms of terms of terms of terms of the stable terms of the terms of terms of the terms of the terms of terms of the terms of A HΑ Ľ 4.2.2 INJECTION TUBES AND DELIVER SONL The spice dor eacher injection before the term to be factory-structed to the masony anchorage and enhancement assembly. Takes must be free and clear and be reported for contraining. The major vertical stabilities steel through enhancement assembly and the stabilities steel deviated servicement contrained and end to crass section of the quarter stabilities. The origination of the stabilities steel deviated servicement contrained and end to crass section of the quarter stabilities that the origination of the stabilities that the stability of the stabilities of ΰO 33 еV The steel must conform with ISO :10208:1999(E) Technical Information Effective Outer Diameter (mm) R25 R32 25 32 <u>R38</u> R51 <u>_</u> Ž 4.2.3 DETERMINATION OF AGGREGATE SIZE WITH IN-SITU TESTING 29.1 35.7 Effective Outer Digmeter (mm) 22.5 47.8 $\overline{}$ Average Inner diameter (mm) 17.5 425 If intervised one to be injected, Lugeon masory anchors and enhancement system tests shall be conducted by the injection. Engineer to determine a injected fill fluidly and aggregate requirements. The method is to be collarated on site by determining the water flow rate that indicates void spaces grea 1/5° wide, for corres compatible injected fill injection versus the flow rate for void spaces its lint 1/5° wide, for fine compatible injected fill injection 717 Average Effective Cross Sectional Area (mm²) 284 939 Average U.T.S (kN) Yield Load (kN) 208* 308* 500 400 250* 3.65 630 Weight (Kg/m) Steel Grade 37Mn5 Standard Lengths 1m, 2m, 3m, 4m & 6m. 4.3 COMPATIBLE INJECTED FILL MATERIAL MIXING 2.8 8.5 Ke all complitie injected fill matrixis according to supplier's reconnected/ass. Monker free times of complitie injected fill using appropriate guidity northworks to welly appropriate guidity northworks (the wellow start and the values start making and testing, as part the manage radiosation and the material scale start and the values start making and testing, as part the manage radiosation and the material scale start and the values start making and testing, as part the manage radiosation and the material scale start and the values start making and testing, as part the manage radiosation and the material scale start and the values start making and testing, as part the manage radiosation and the scale material scale start and the scale start and the scale material scale start and the scale material scale start and the scale material scale start and the s The fabric containment sock should be woven from Polyester Yarn of 42%, Poly Cotton Yarn of 42% and Elastometic Yarn of 16%. The sock must be capable of 300% expansion. The sock to reinforcement member connection must be able to withstand an internal pressure of 4 Bar. 2.0 EQUIPMEN 4.4 INJECTION WITH COMPATIBLE INJECTED FILL The controls whill provide all reasonary equipments for competible properties lighted III werk, including minure, parge, and parally control expenses. Expenses in that is in which proved or claritorist, there any opticable. Expensioned that is in which properties for use on historical properties. On the limit and provide properties of the interval of the well. At no time will be expenses the proof 2 Bor when measured if the well. At no time will be expenses the proof 2 Bor when measured if the well. He injection engineer will submit provide program that the involve of program that has an appendent the expension of program that many temperature of the well. Compatible injected fill injection will proceed per the injection engineer's protocol. The following procedure applies to each specific masonry anchorage and whencement assembly to be injected with compatible injected fill 4.4.1 CORING EXISTING MASON OJECT NO. AA142 Equipment for injection shall be law pressure range self-during, automatic mining with outcometic pressure shalleds, and rhoostat wall controls, self leveling mining controls, and pressure values at the pump. Material flow will be collected daily by flow core tests. No hord-mixing or small (200 pump) mixes will be allowed except for moterial within on-half meter of window, down or well termination, or secondary fine medical injection, if required per 10, paragraph. AWN BY: JLS The Applicator shall coordinate with the roofing contractor that all temporary roofing accesses are properly closed and sealed by the end of a day's work. ECKED BY: JLS additional mixes (above) After the Injection Engineer's pre-injection examination of the existing conditions, remedial work programs including injected stainless steel helical wall ties and CIF DATE: SET hightion shall be completed per the hightion Engineer's protocol. After completion and verification of the remandar work protocols by the hightion Engineer, coring utilizing a non-inrigated aty system may proceed. UKE To THE FOSSBUTY OF EROSON AND UNDERMINNO, ONLY A NON-REPORTED bit's TSTEW MILL &E FERRITION Core drilles must demonstrate perificación in masarry dry coring, demonstrated by prior work with masarry of similar characteristics, societ and the second secon quipment for drilling will be three- phase electrically powered hydraulic power packs driving silent, automatic feed drill stands capable of drilling multiple 2 meter ngths of mining barrel. I-18-22 PERMIT -14-22 PRICING drills are to be temporarily fitted to the top of the exposed wall and secured via temporary fixings. The brickwork will be drilled using compressed air any crete will be drilled using lubricating drill foom, which will not stain or effect the masonry. Pure water should not be used to avoid flushing away existing mortar Coring contractors must be approved by the Injection Engineer as well as the Engineer of Record. Core and core remnants must be completely removed by method that will assure that no remnants of the core remain. not we assure that no remoted of the core mends. We want the same base of the same set of the FOINDS NO SUBSTITUTIONS WILL BE FERMITED. The tapend connection of the base of the well (bording) will cored by the same appendix that cores the vertical cores for the massiony andwarps and enhancement takine statistics stelled base, with the exception table to the tape of the foring, the core will be the same with as the vertical induces and will good universe through the height of the foring down by an increasing circumstrance of an increasing roll of, of minimum, free percent. No substitutions will be allowed for this outward tapening core in the footing, as it is essential to multicity the footing as the increasing statem. The cutting heads shall incorporate field-patterned and applied poly-crystalline diamond mineral chips to enhance drilling and eliminate vibratio When the vertical holes have been drilled to the correct depth, the base of the hole should be reamed using coring equipment which provides for a positive, sloping core will of at least 5degrees (wider at the bottom than the top) and thus a positive connection at the base of the anchor. The anchorage at the base of the anchor into the footing must provide for the full mobilization of the hollow stainless steel injection anchor. 4.4.2 OUT OF PLANE CONTAINMENT Where containment is shown, containment shall be the size indicated, utilizing a masonry anchorage and enhancement injection containment system. The Injection Engineer will approve the containment system as suitable for the hollow stainless steel enhancement and the tapered connection of the base. ITLE 2 MASONRY ANCHORAGE AND ENHANCEMENT APPLICATOR QUALIFICATIONS The anchorage, enhancement and injection of masonry wells are a specialized technique. The applicator for this work shall have demonstrated copabilies by way of continuous priming, and a minimum of the years accessful experiment with projects of similar stage and size stands the technique deached terms to abstitution of enhancement terms within balance macrossic which compares the approximation of the stands of the s 4.4.3 FLUSHING PRIOR TO INJECTION MASONRY SPECIFICATION Flush all injection tubes within the designated repair area with water before compatible injected fill injection. Inject a small amount of water (from ½ to 2 pints) into each injection hole to flush away dust and drill outlings. When opending outside in hot weather conditions, with temperatures greater than 90 F spray additions where into each core hole to coal and particity souther the manary. During the flushing procedure water must flow freely into each injection tube. If a hole is partially or totally blocked, remove the anchor and install a new injection tube. Do not allow pressure buildup in excess of 2 Bar during flushing. Immediately prior to compatible injected fill injection (within 10 minutes) spray the exterior masonry surface lightly with water, if necessary, to prevent compatible injected fill adhesion. Keep a water hose and brush on hand during injection for cleaning any compatible injected fill spills from the masonry surface. SHEET 3.3 INJECTION ENGINEER QUALIFICATIONS 4.4.4 MASONRY STRUCTURAL ENHANCEMENT ANCHORAGE INSERTION A qualified independent CIF engineer shall be approved by the Engineer of Record for impaction and nondestructive testing of the CIF work. The engineer, or his firm, must be registered professional engineers in the State of Louisano and Calorado and tabil hore an minimum qualifications. To years previous experiments in a CIF, testing, anglysis, and qualitation of the contexpect for management of the strategies and and the contexpect and table publications. The engineers for this productions the engineering firm that posters a laboratory states for the research energy and guality centor imparted for this project. All certifications, when required by this specification, and the stepsing and stated by regulated previous contexpecting and a classication of the contexpect and the specification and the engineer of the State of Louisian.

Seal to Type 324 or heter states state rule, in quarks, specing and demantion an included on the drawing and applied by the macrosy advantage and ensomement monotention and approved by the helpictics forger and ensorer of uncord. False manufacturity instructions for the placement of the rod and compatible injected III containents caseship. Compatible injected III, specified to the total will and explorers for the macrosy autorage and enhancement appliern will be diverse. In weter -light, accord exclosers with manufactures incommonthions and the hejetics forgeres's pational.

The masonry anchor and enhancement installer is to maintain an injection pressure, as required by the Injection Engineer, to completely fill the core hole and all

4.4.5 INJECTION OF MASONRY ANCHORAGE AND ENHANCEMENT ASSEMBLIES

4 INJECTION PERSONNEL QUALIFICATIONS 1130 Chartres A one to three-person crew is required to inject the compatible injected fill-based masonry anchor and enhancement system. The crew must be nasonry construction and be certified by the injection Engineer for compatible injected fill. Crewmembers are designated as the foreman, a mater

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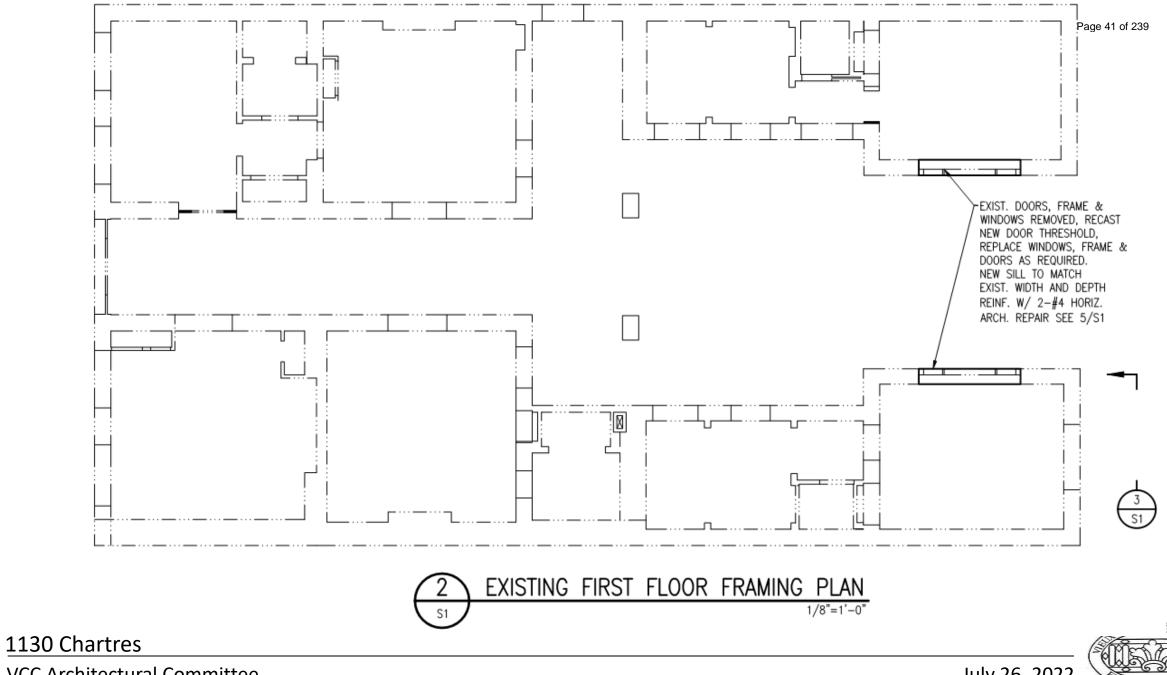
MORPHY MAKOFSKY INCORPORATED CONSULTING ENGINEERS (504)488-1317 (504)488-1317 (504)488-1317

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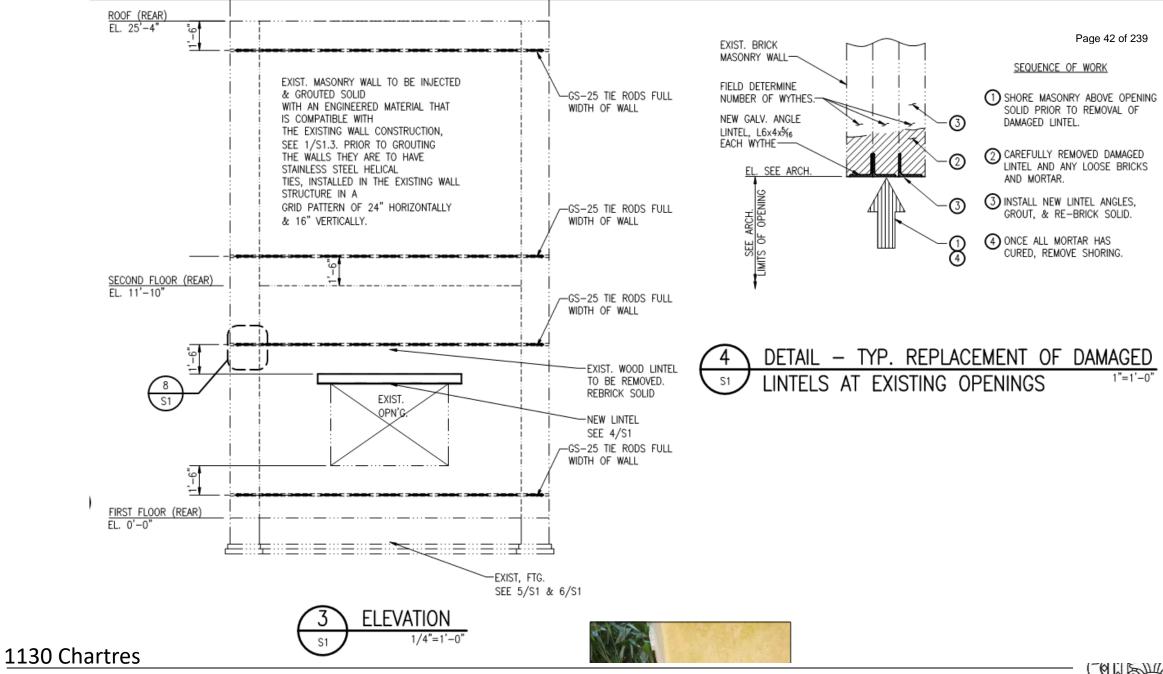
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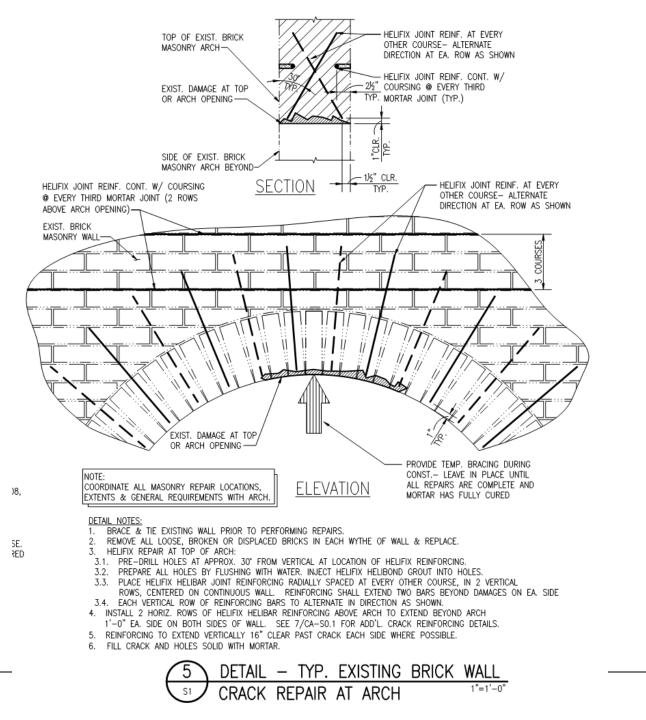
VCC Architectural Committee





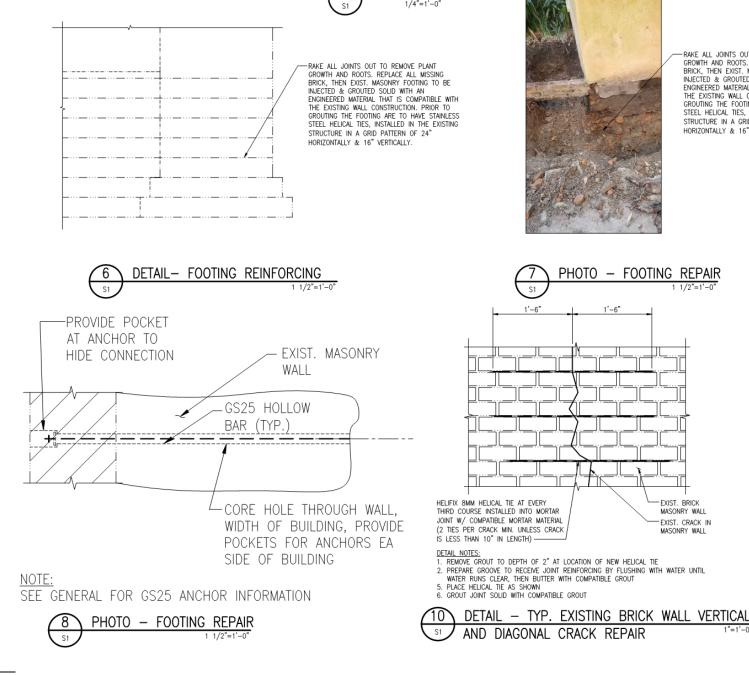






July 26, 2022

1130 Chartres



-RAKE ALL JOINTS OUT TO REMOVE PLANT GROWTH AND ROOTS. REPLACE ALL MISSING BRICK, THEN EXIST. MASONRY FOOTING TO BE INJECTED & GROUTED SOLID WITH AN ENGINEERED MATERIAL THAT IS COMPATIBLE WITH THE EXISTING WALL CONSTRUCTION. PRIOR TO GROUTING THE FOOTING ARE TO HAVE STAINLESS STEEL HELICAL TIES, INSTALLED IN THE EXISTING STRUCTURE IN A GRID PATTERN OF 24" HORIZONTALLY & 16" VERTICALLY.

1 1/2"=1'-0"

EXIST. BRICK

MASONRY WALL

EXIST. CRACK IN

1"=1'-0"

MASONRY WALL

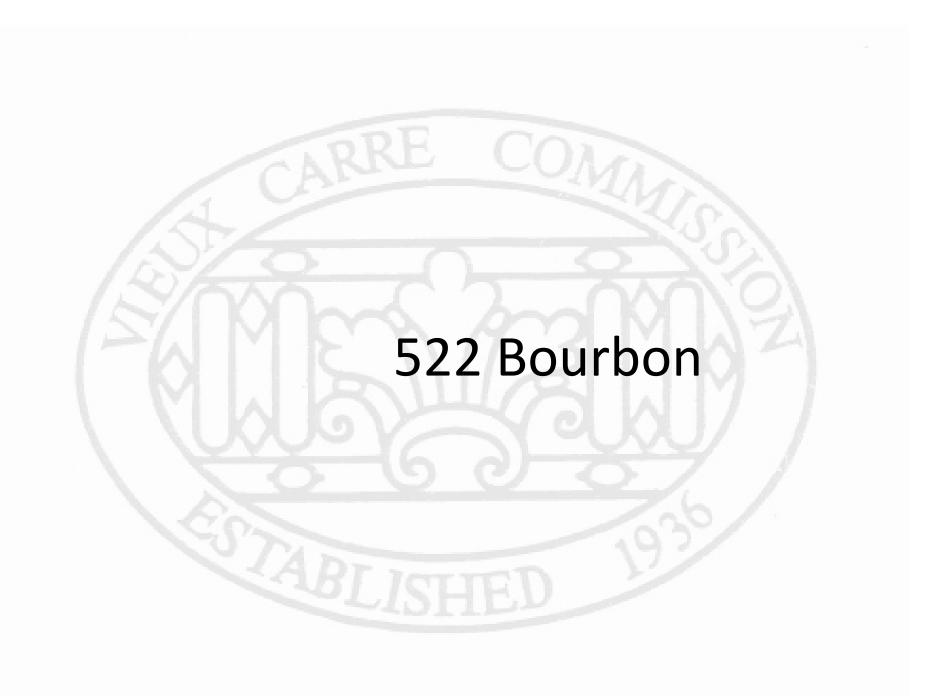
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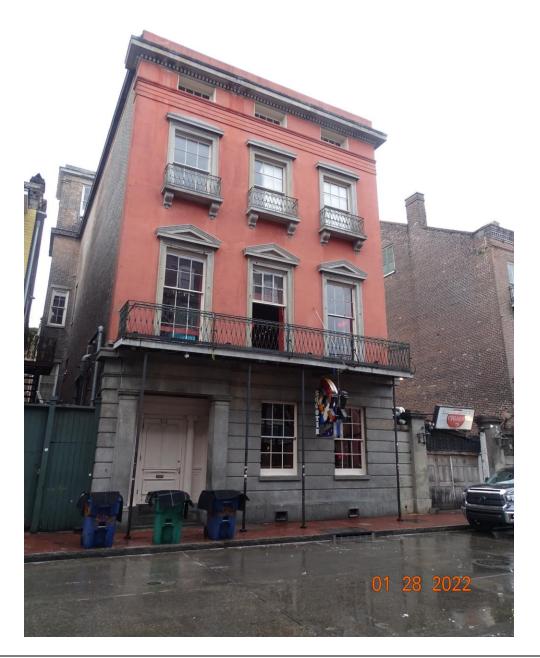
July 26, 2022



VCC Architectural Committee

1130 Chartres





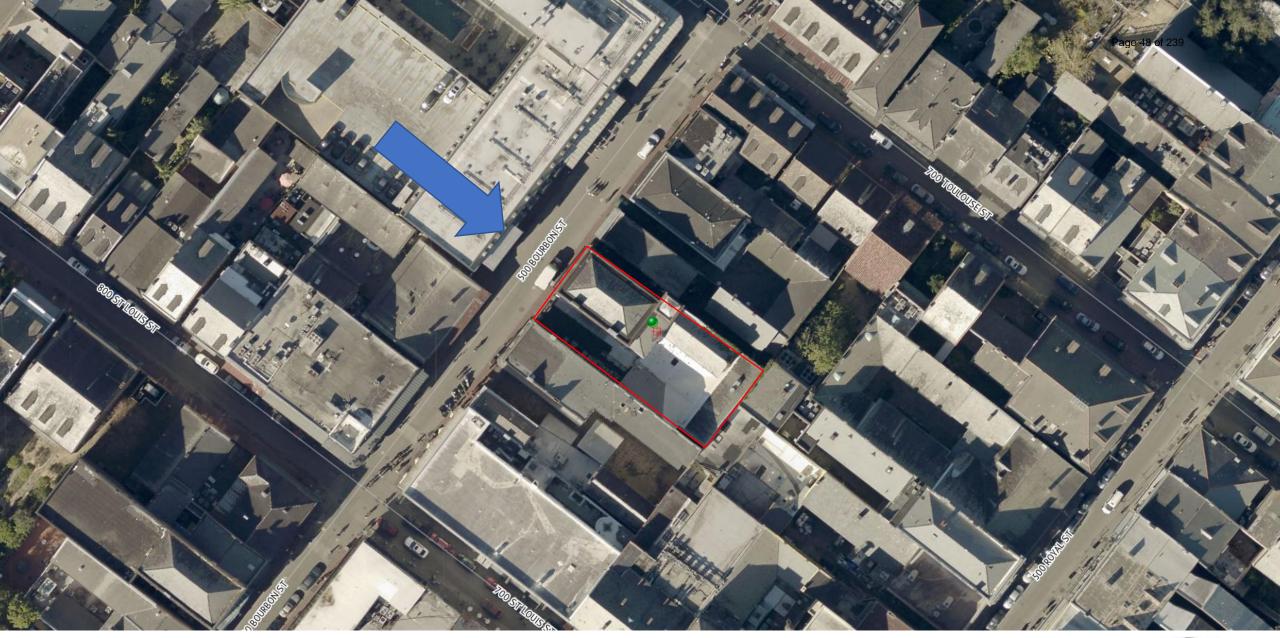
5, 2022

VCC Architectural Committee



VCC Architectural Committee







July 26, 2022



VCC Architectural Committee

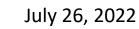




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VCC Architectural Committee





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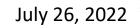
VCC Architectural Committee

July 26, 2022

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VCC Architectural Committee





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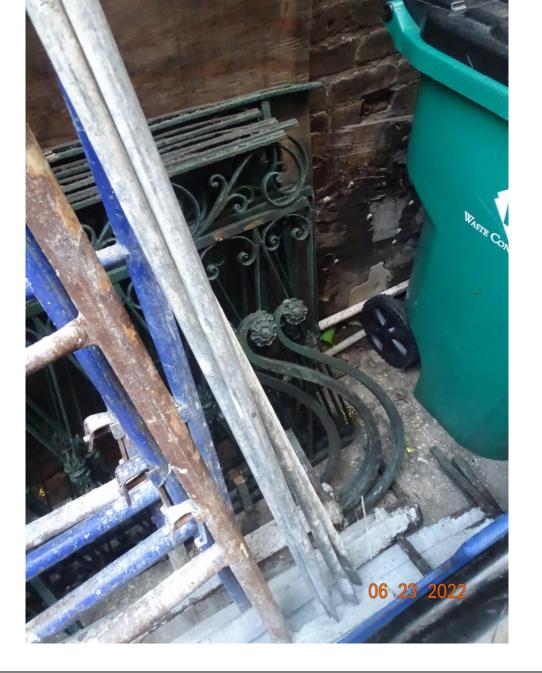




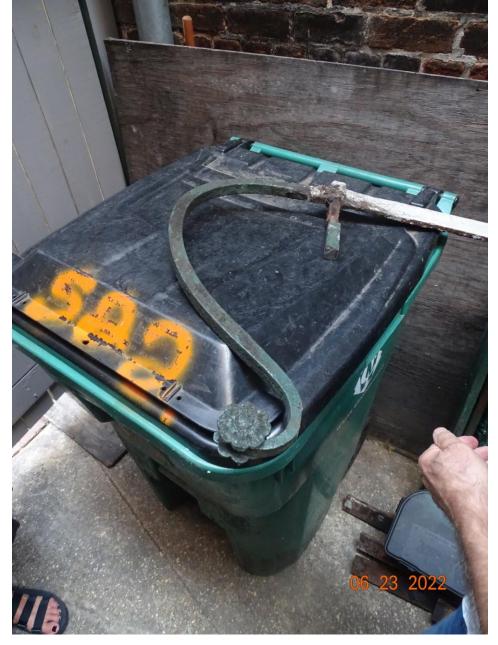


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July 26, 2022











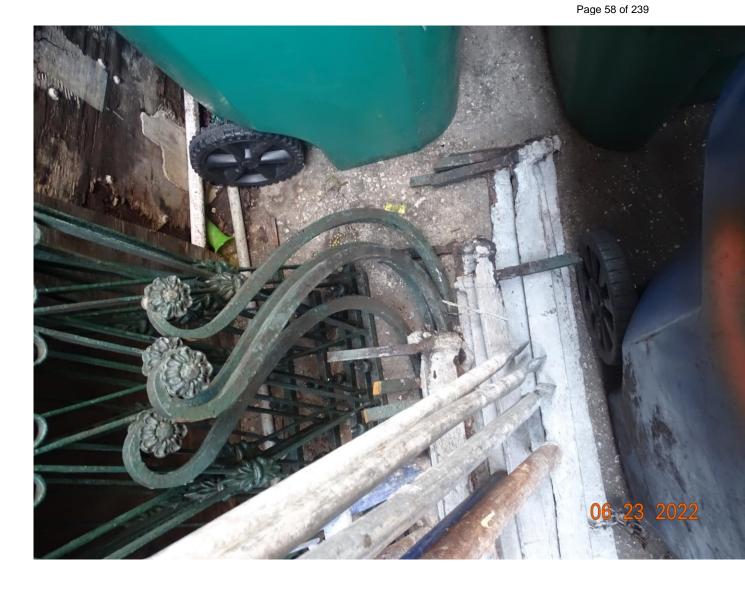
522 Bourbon VCC Architectural Committee

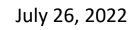




July 26, 2022











VCC Architectural Committee







VCC Architectural Committee

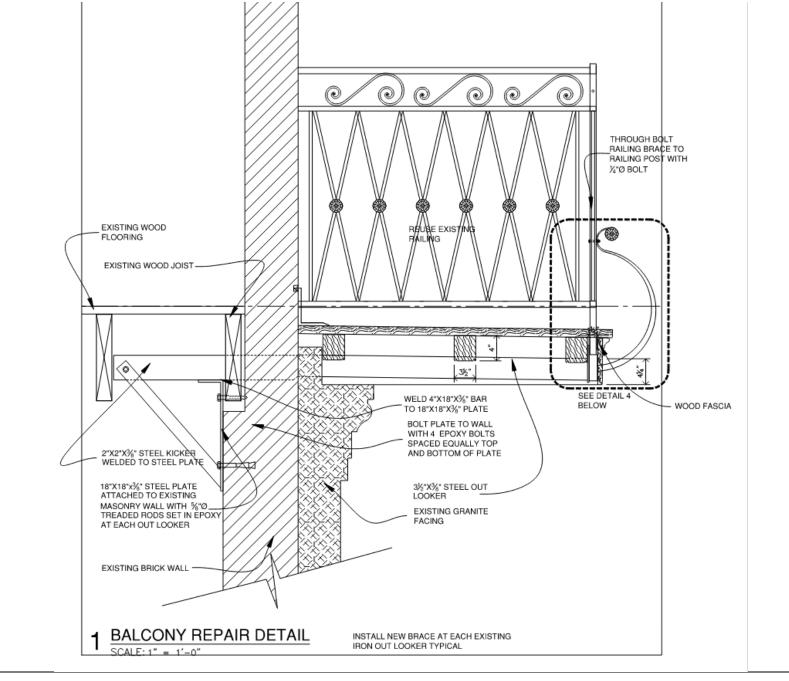
July 26, 2022

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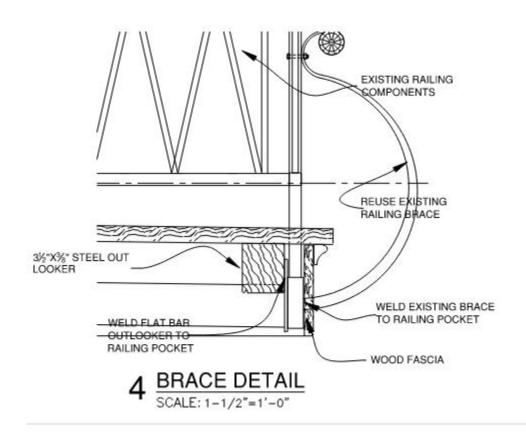


VCC Architectural Committee







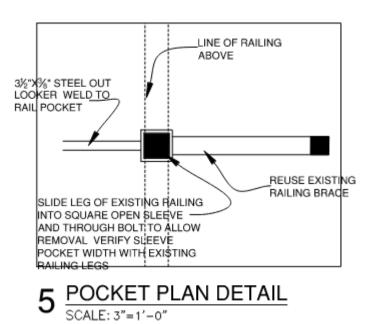






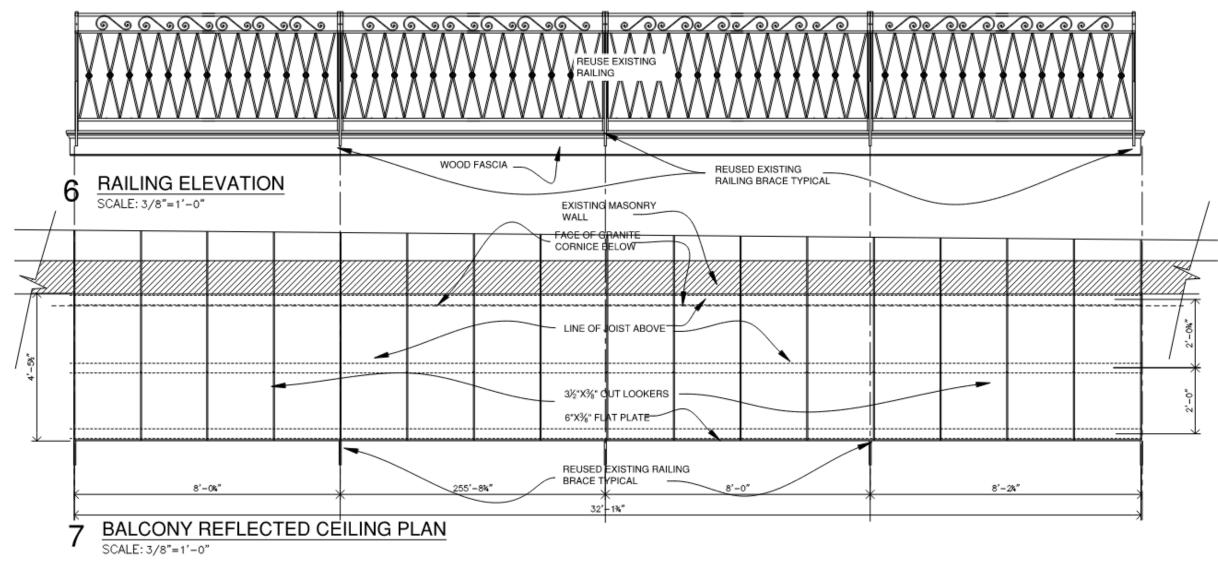








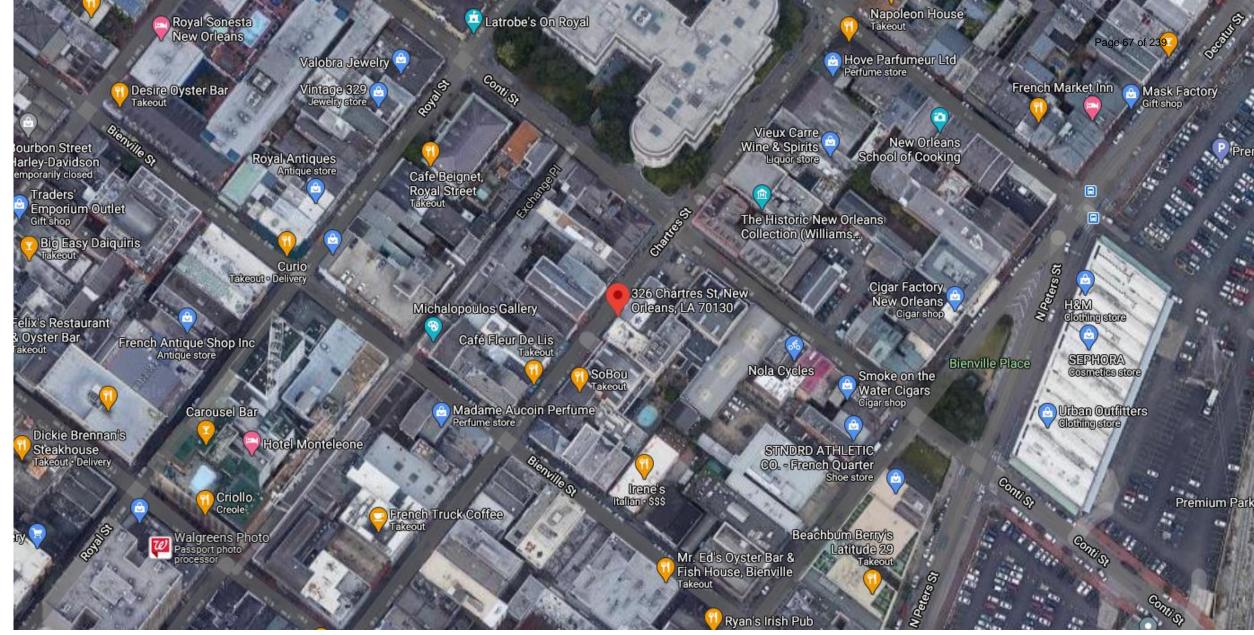
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522 Bourbon

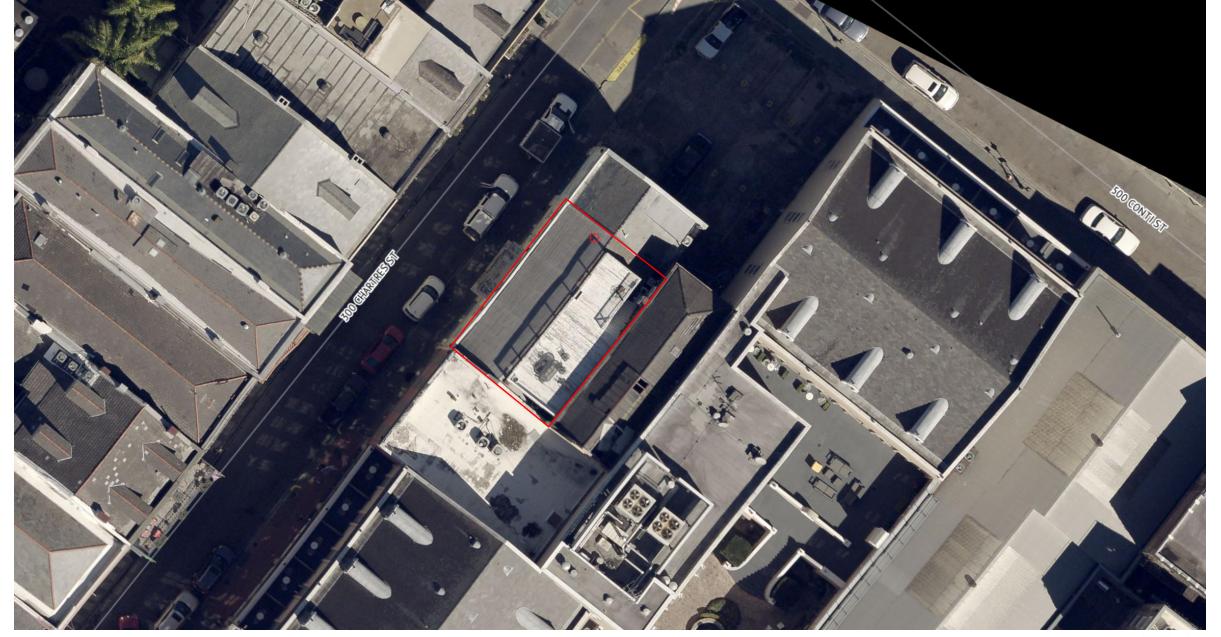
VCC Architectural Committee







VCC Architectural Committee

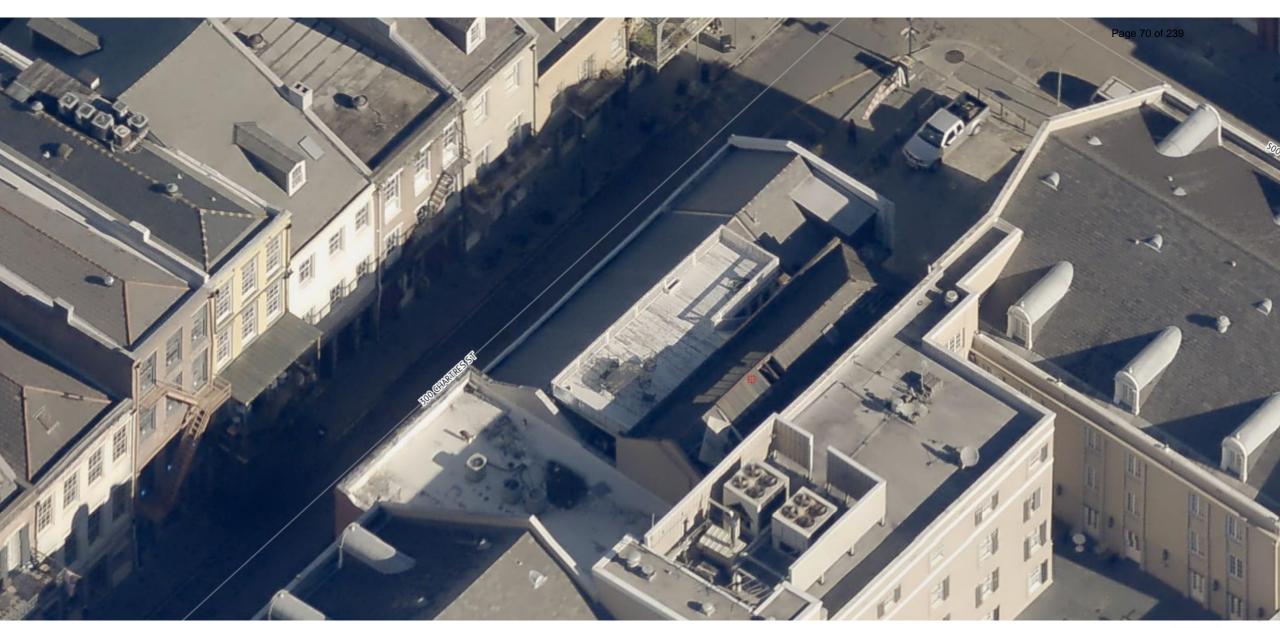




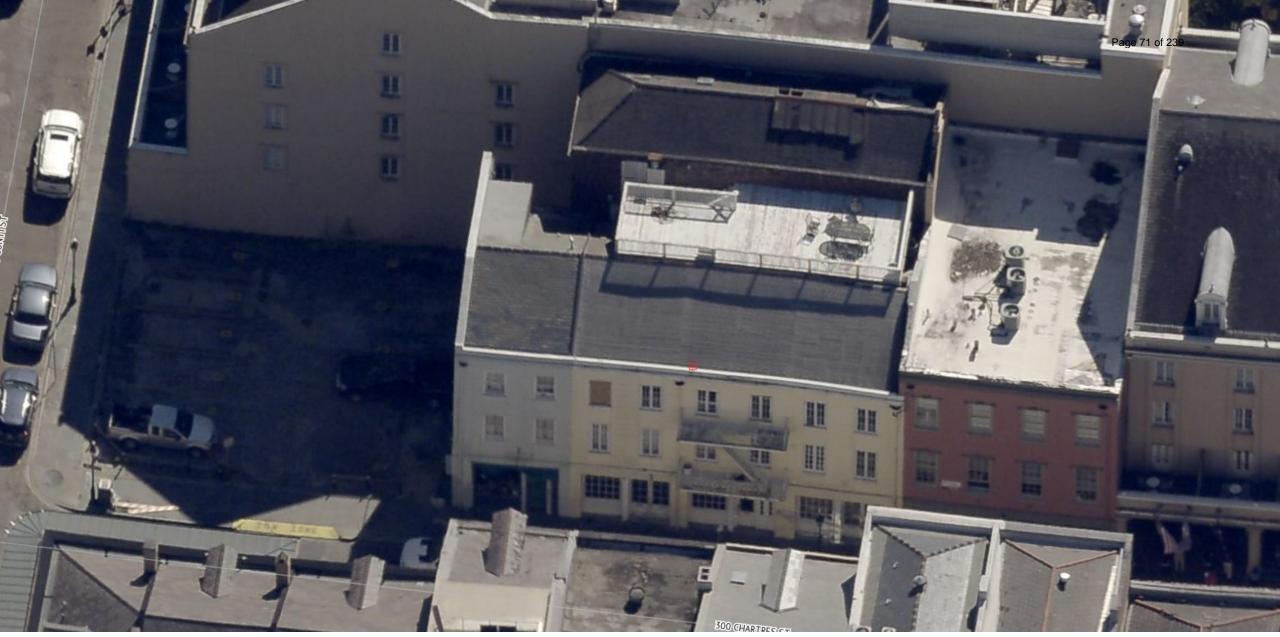




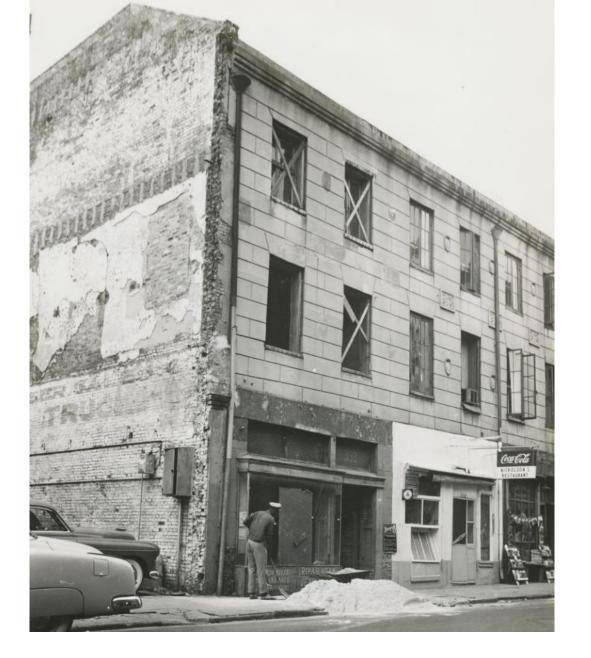
July 26, 2022













VCC Architectural Committee











VCC Architectural Committee



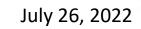
July 26, 2022

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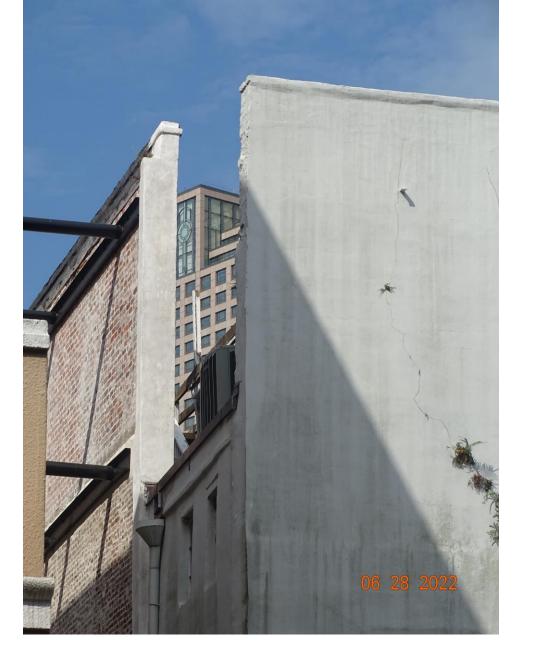
326-30 Chartres – from Conti

VCC Architectural Committee





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326-30 Chartres – from Conti





VCC Architectural Committee







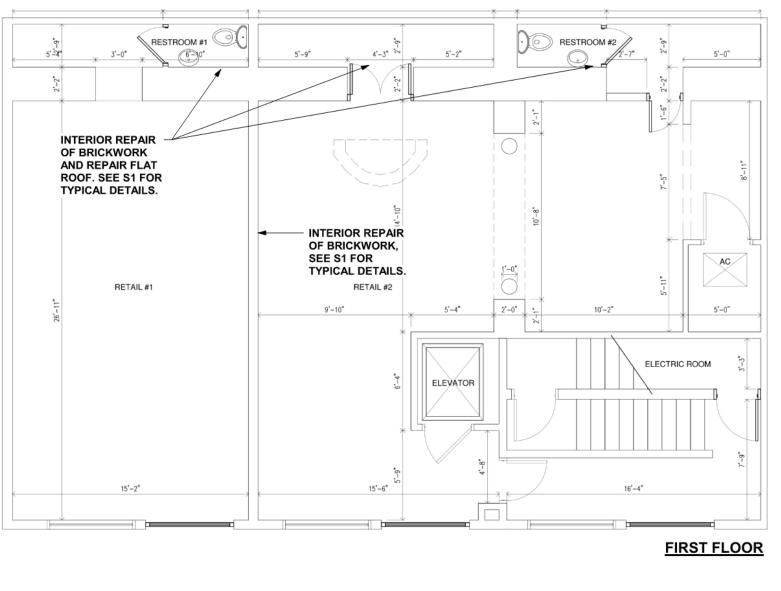
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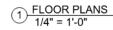


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VCC Architectural Committee



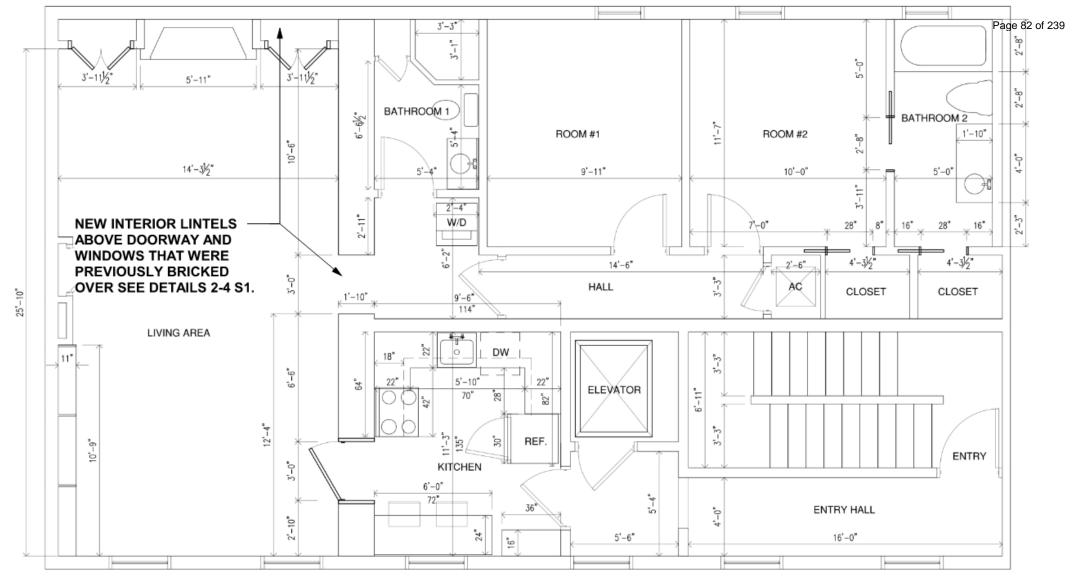




VCC Architectural Committee



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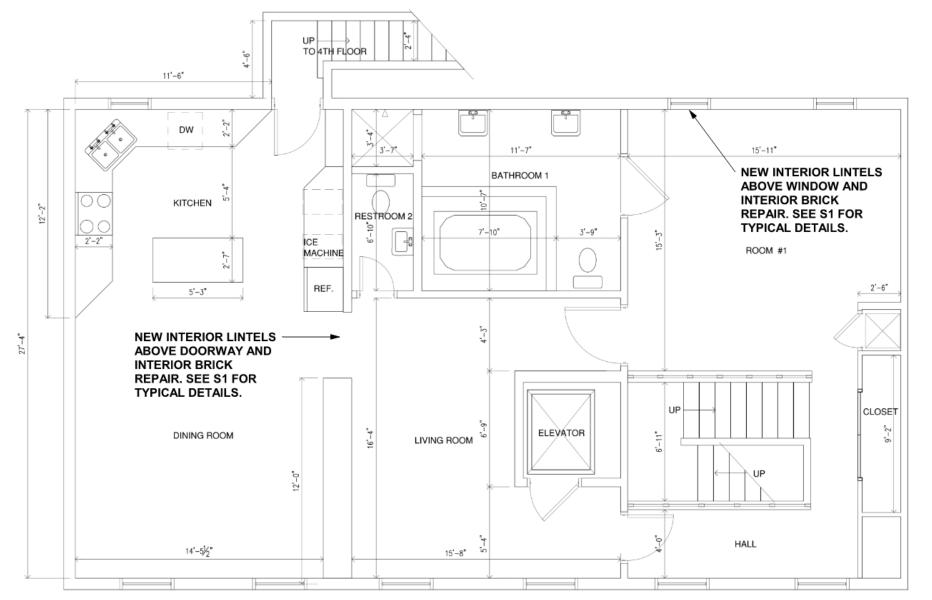


SECOND FLOOR



326-30 Chartres

VCC Architectural Committee



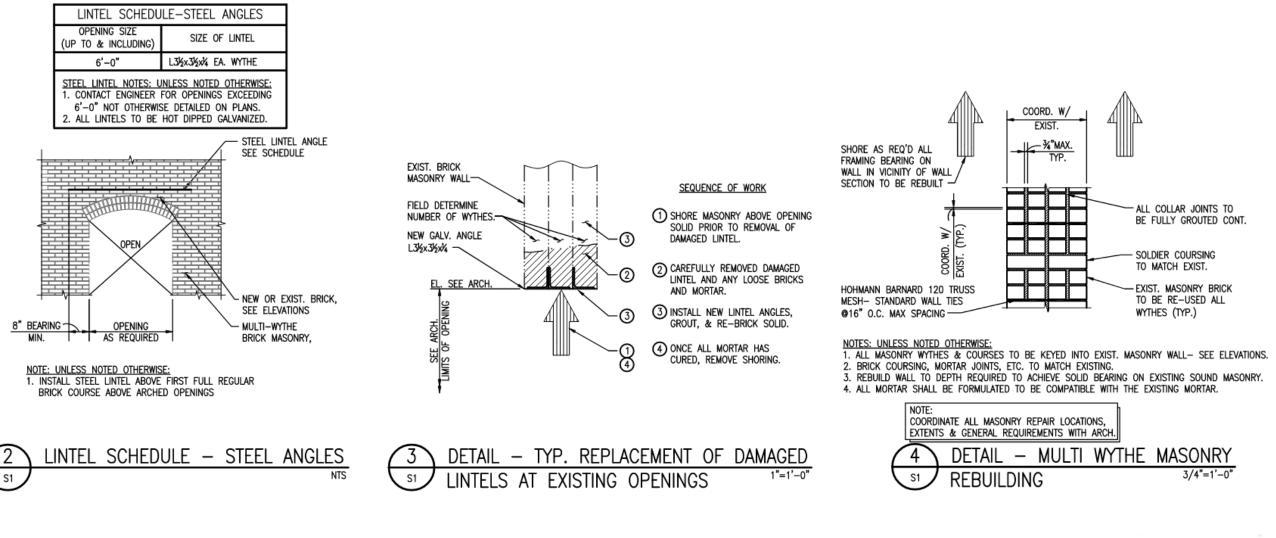
THIRD FLOOR



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326-30 Chartres

VCC Architectural Committee

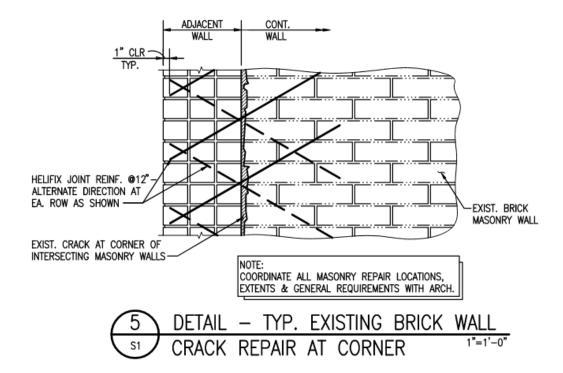


VCC Architectural Committee



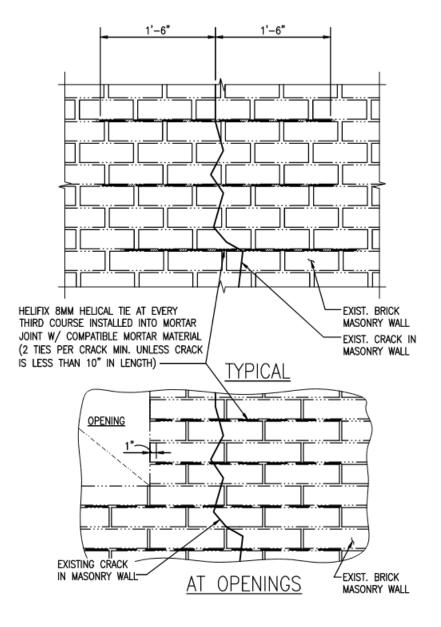
DETAIL NOTES:

- 1. BRACE & TIE EXISTING WALL PRIOR TO PERFORMING REPAIRS.
- 2. REMOVE ALL BROKEN BRICKS IN EACH WYTHE OF WALL & REPLACE.
- 3. HELIFIX REPAIR AT INTERSECTING WALL:
 - 3.1 PRE-DRILL HOLES AT APPROX. 30° ANGLE AT LOCATION OF HELIFIX REINFORCING. LOCATE ALL HOLES IN NEAREST HORIZONTAL MORTAR JOINT.
 - 3.2. PREPARE HOLES BY FLUSHING WITH WATER. INJECT GROUT INTO HOLES WITH HELIFIX HELIBOND GROUT.
 - 3.3. PLACE HELIFIX HELIBAR JOINT REINFORCING SPACED AT 12" O.C. MAX. VERTICAL, 6" O.C. MAX. HORIZONTAL, 2 VERTICAL ROWS, CENTERED ON CONTINUOUS WALL.
 - 3.4. EACH VERTICAL ROW OF REINFORCING BARS TO ALTERNATE DIRECTION AS SHOWN.
- 4. IF ADD'L. DAMAGES ARE PRESENT BEYOND SEPARATION IN THE CORNER, SEE 7/CA-S0.1 FOR GENERAL REPAIR DETAILS.
- 5. REINFORCING TO EXTEND 16" CLEAR PAST CRACK EACH SIDE WHERE POSSIBLE.
- 6. FILL CRACK AND HOLES SOLID WITH COMPATIBLE MORTAR.



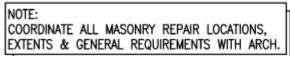


326-30 Chartres



DETAIL NOTES:

- 1. BRACE & TIE EXISTING WALL AND SHORE HEADERS PRIOR TO PERFORMING REPAIRS.
- 1. REMOVE ALL BROKEN BRICKS IN EACH WYTHE OF WALL.
- 2. REMOVE GROUT TO DEPTH OF 2" AT LOCATION OF NEW HELICAL TIE
- PREPARE GROOVE TO RECEIVE JOINT REINFORCING BY FLUSHING WITH WATER UNTIL WATER RUNS CLEAR, THEN BUTTER WITH COMPATIBLE GROUT
- 5. PLACE HELICAL TIE AS SHOWN
- 6. GROUT JOINT SOLID WITH COMPATIBLE GROUT
- 7. AT OPENINGS:
 - 7.1 BEND HELICAL TIE IN CONFIGURATION.
- 7.2 PREPARE GROUT JOINT ON BOTH SIDES OF WALL AND AT JAMB TO ACCEPT BENT TIE.
- 7.3 REINFORCING TO EXTEND 18" CLEAR PAST CRACK WHERE POSSIBLE.
- 7.4 GROUT JOINT SOLID WITH COMPATIBLE GROUT

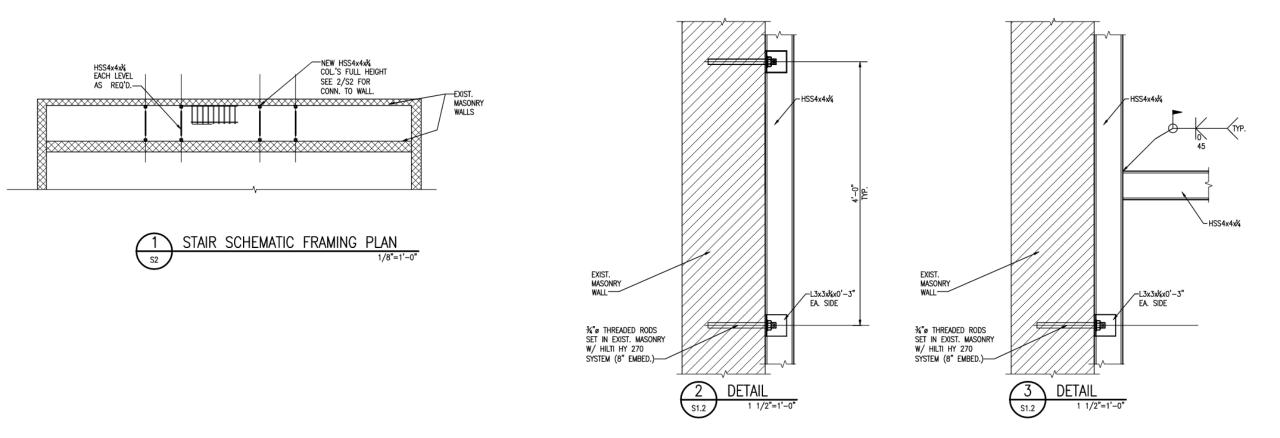




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326-30 Chartres

VCC Architectural Committee



VCC Architectural Committee









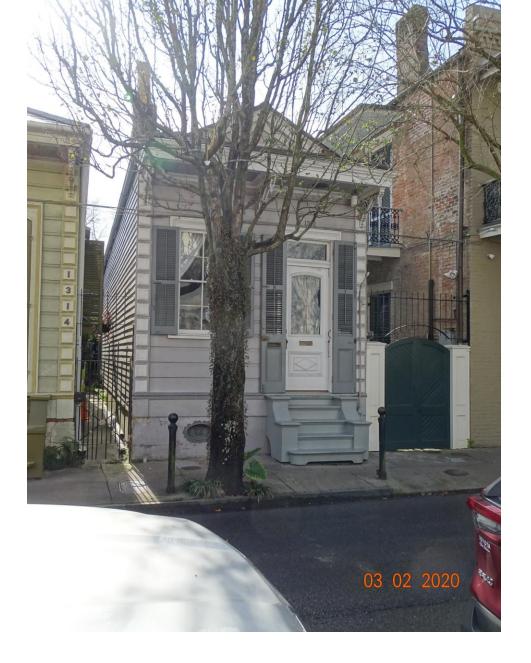




VCC Architectural Committee

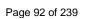


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CONTRE COMMON





Address: 1312 Dauphine Street Owner: Asha Ganpat, (973) 432-4992, ashashasha@yahoo.com Item: Lamb's tongue railing Material: Iron Attachment: Iron hardware, lag bolts into wood Dimensions: 36" long railing, 25" h baluster (to reach 36" height) Shutter interaction: will be able to open 130 degrees

1312 Dauphine

Attachment: Iron hardware, lag bolts into wood Dimensions: 36" long railing, 25" h baluster (to reach 36" height) Shutter interaction: will be able to open 130 degrees

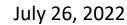
Address: 1312 Dauphine Street

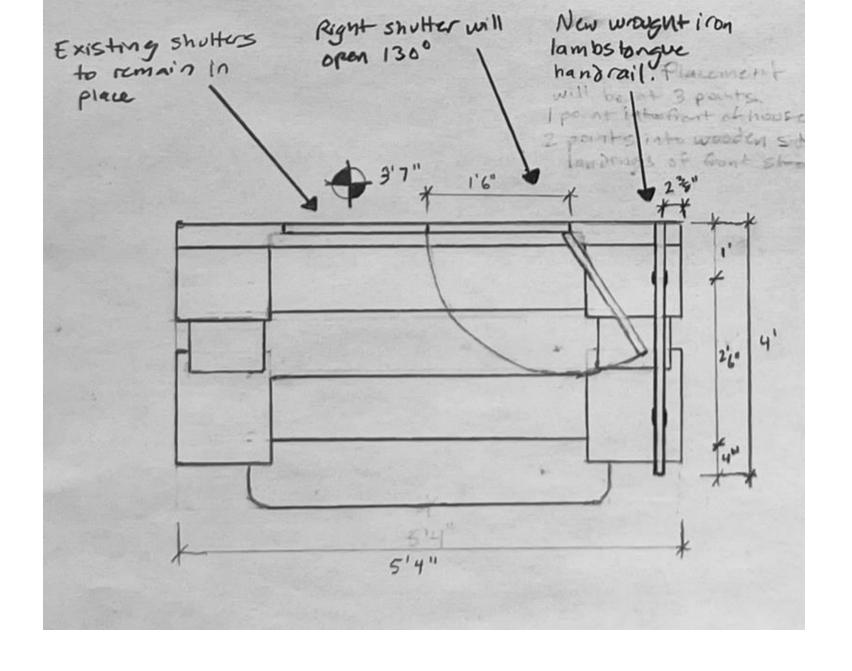
Item: Lamb's tongue railing

Material: Iron

Owner: Asha Ganpat, (973) 432-4992, ashashasha@yahoo.com







VCC Architectural Committee





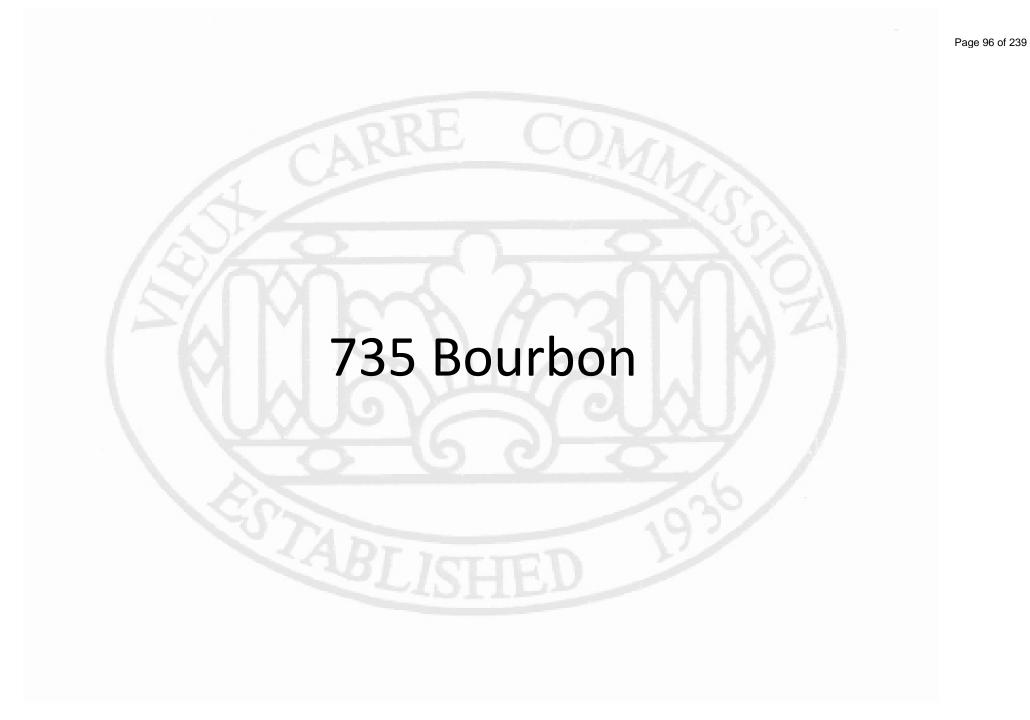
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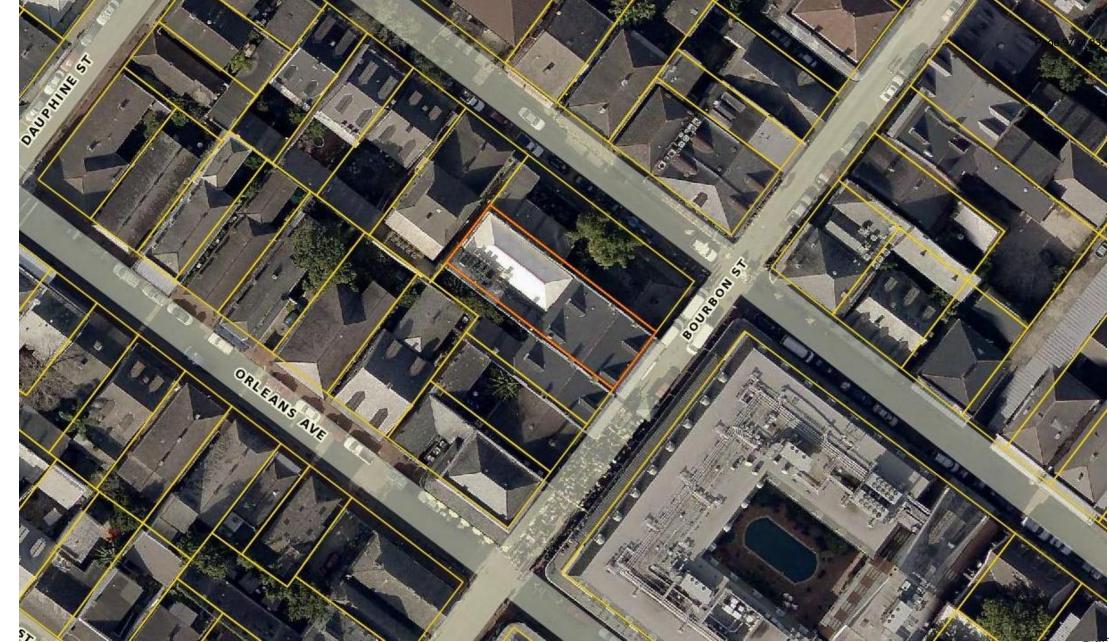
Roiling # MCR # 1/2" W 13/4" Note: All serial numbers from Orleans Ornamental from and Casting Distributors, Inc. # # 654 # 3 3/4" Bawstrade # OC 101 (Post) 1/2" thick # EE H 7/8" W 2 Rag 11 1/2" thick # 4.X H 22/2" W 1 578" L4 2" Attach how I rail to building at end flange of rail 1/2 square iron post for railing Decorative base for post Lambstonque iron handrail 3'aboue stepstrisers 2'1 3 3' 3'7" 3'7"

VCC Architectural Committee



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735 Bourbon - 2005 VCC Architectural Committee



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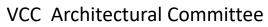
June 26, 2018













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735 Bourbon VCC Architectural Committee



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June 26, 2018



















735 Bourbon VCC Architectural Committee



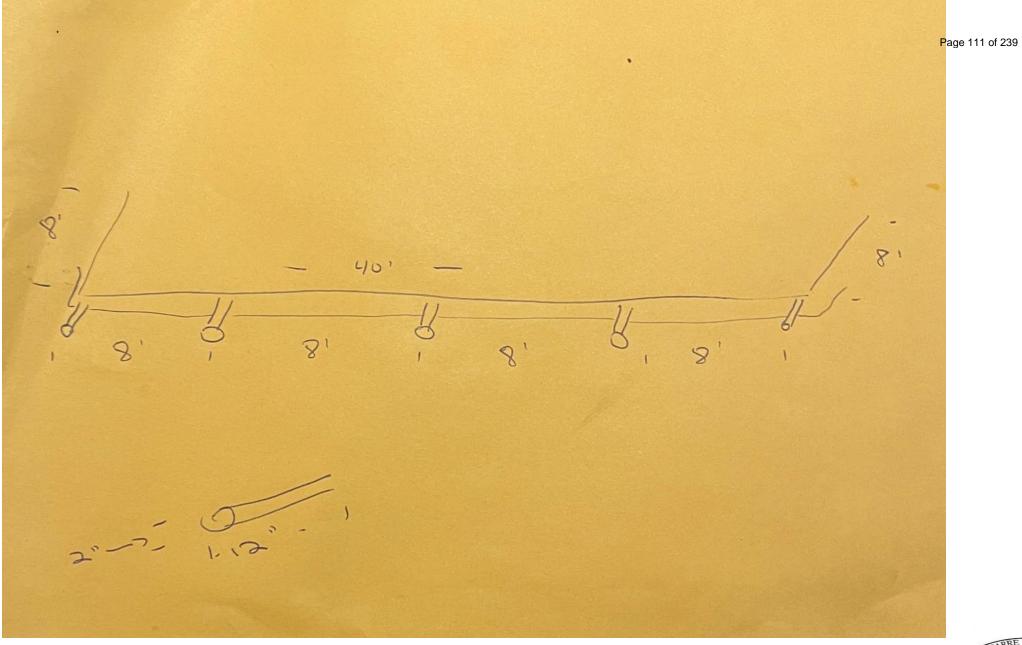
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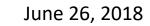


735 Bourbon VCC Architectural Committee

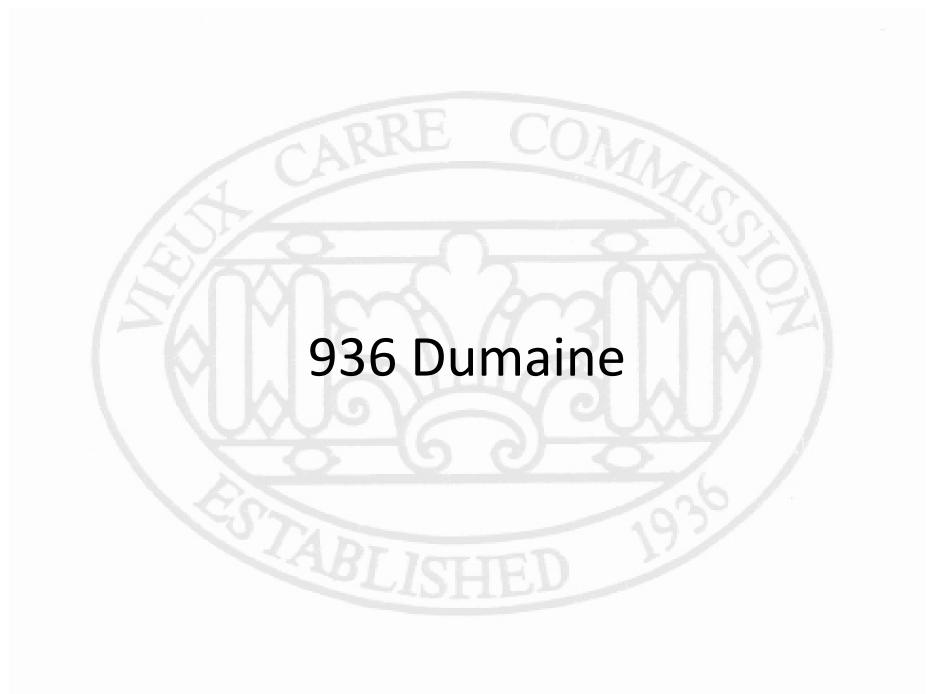


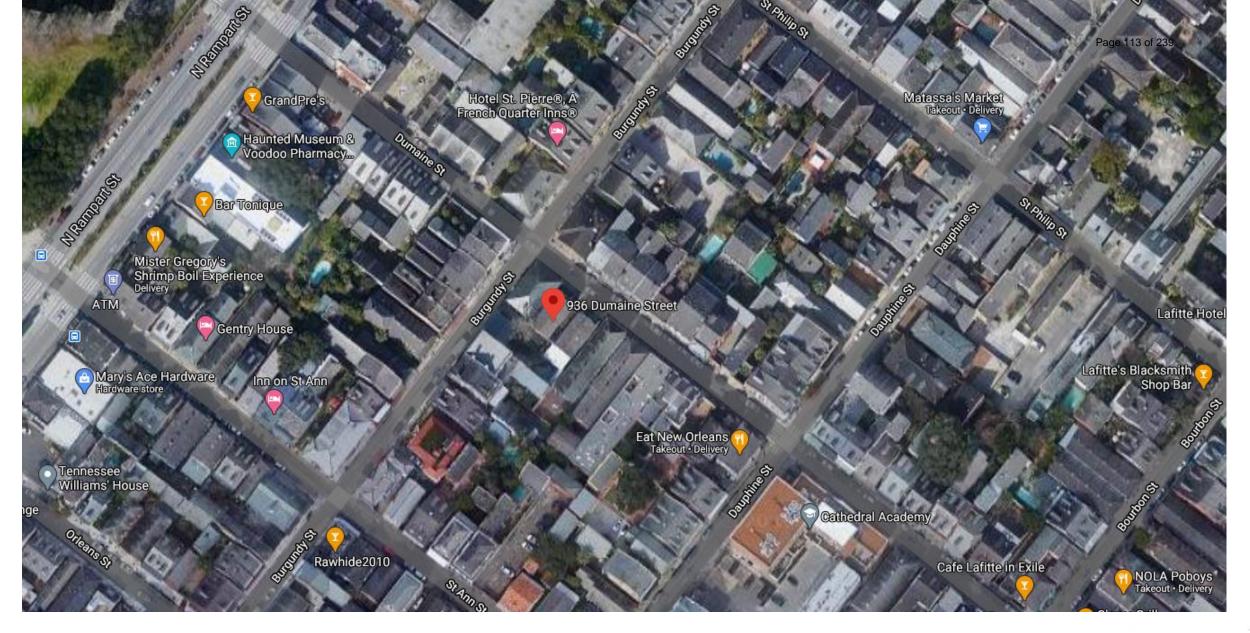
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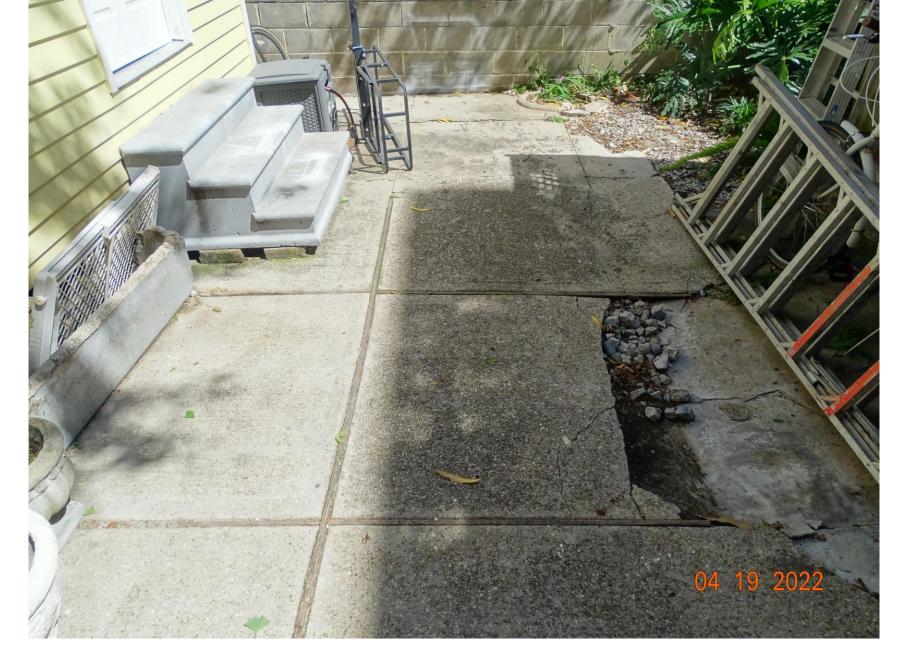




VCC Architectural Committee

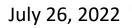
July 26, 2022



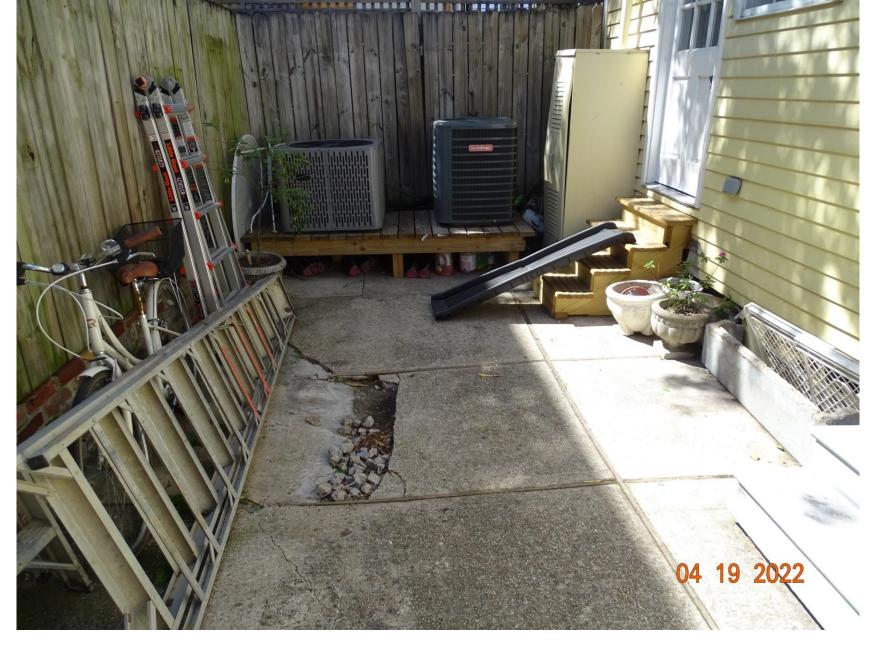


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936 Dumaine







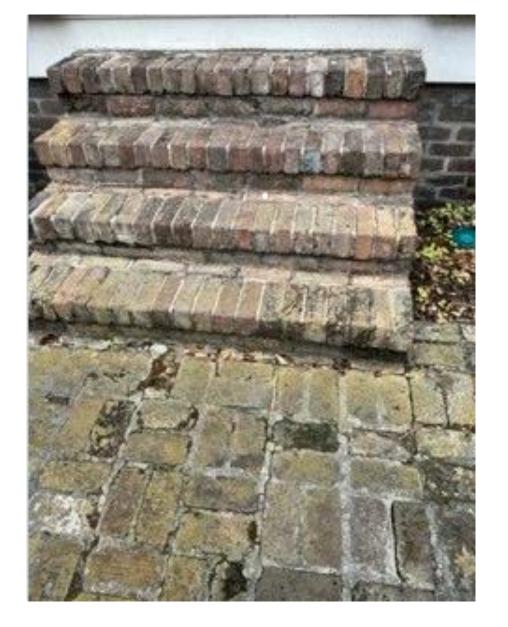
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VCC Architectural Committee



July 26, 2022

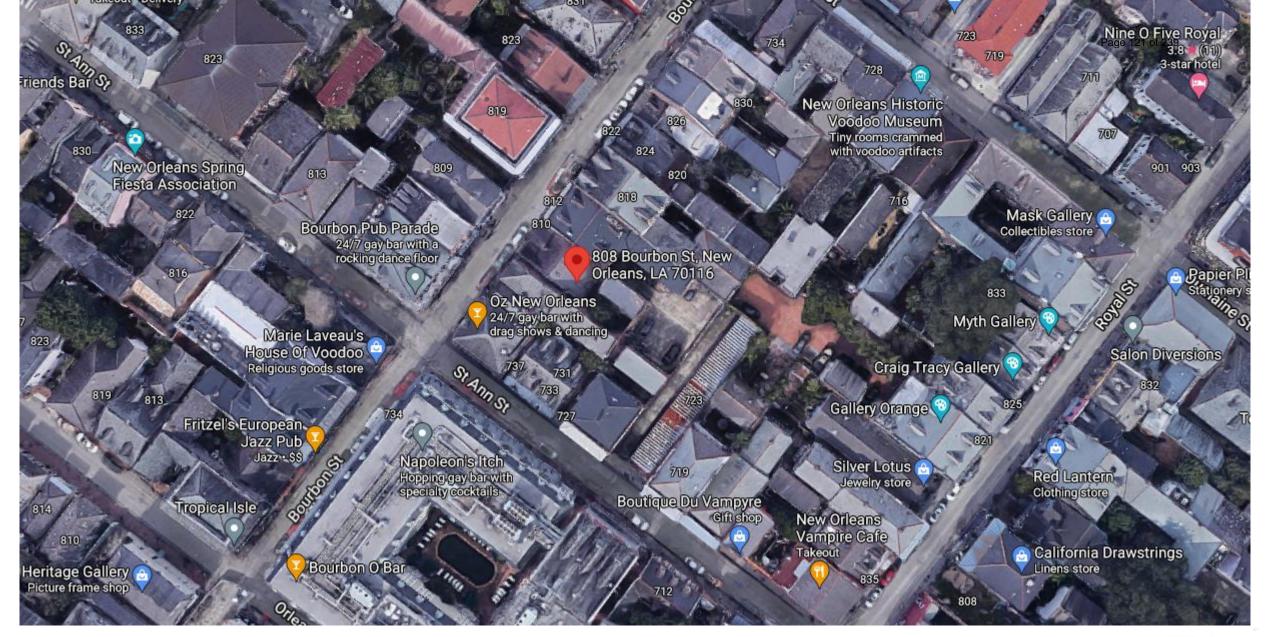
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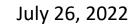




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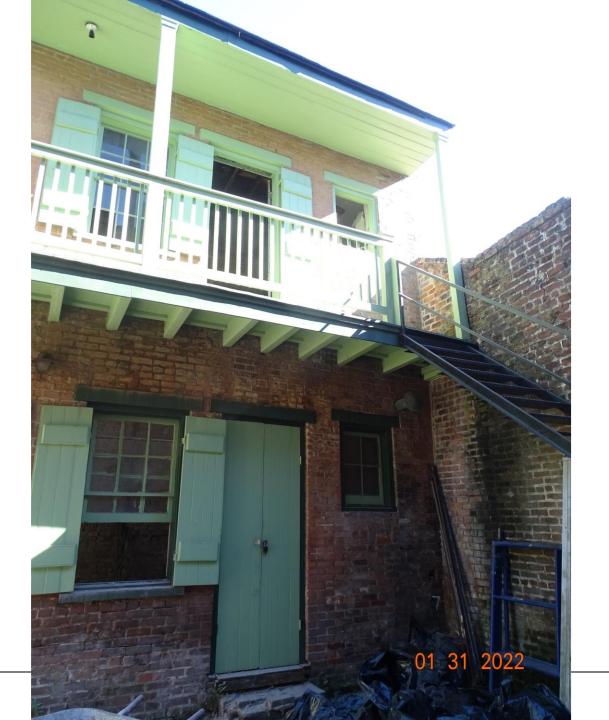
VCC Architectural Committee

July 26, 2022





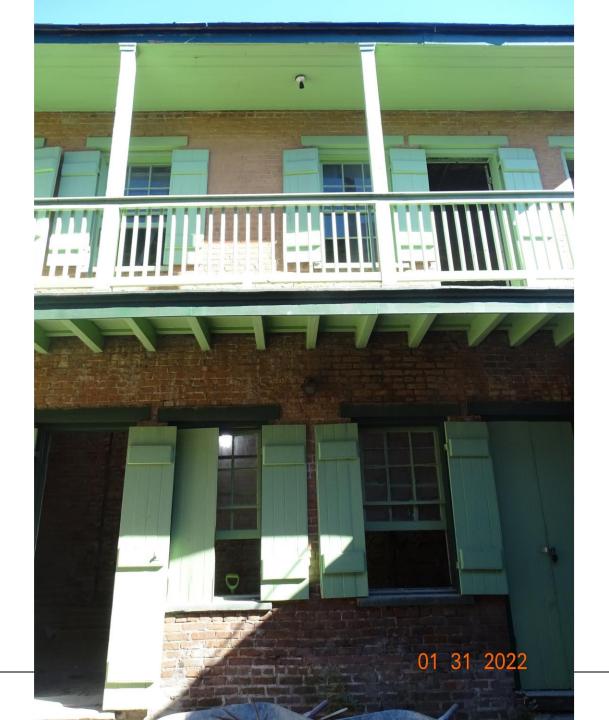
808 Bourbon



VCC Architectural Committee



July 26, 2022



VCC Architectural Committee



July 26, 2022

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VCC Architectural Committee

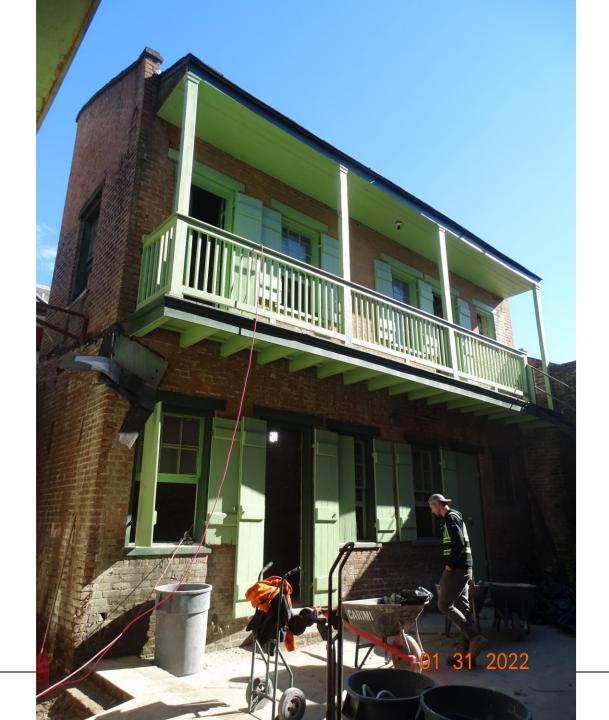


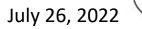
July 26, 2022





808 Bourbon





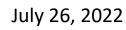




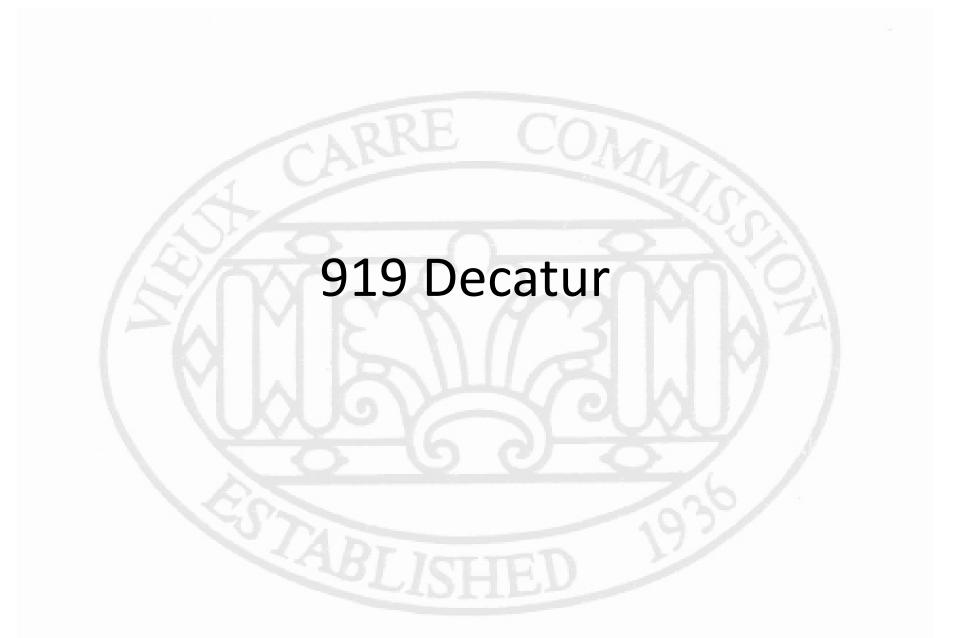
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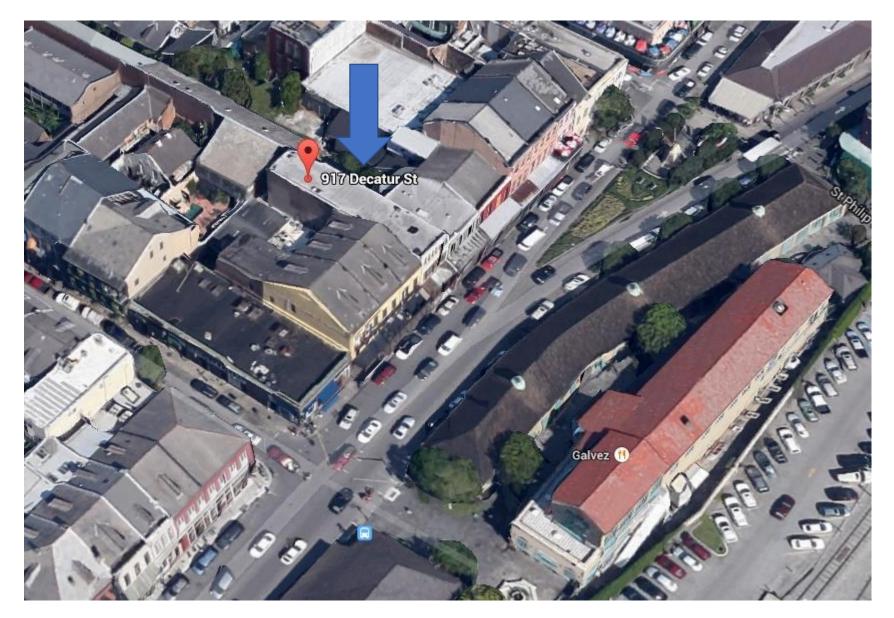












917-919 Decatur VCC Architectural Committee



July 26, 2022

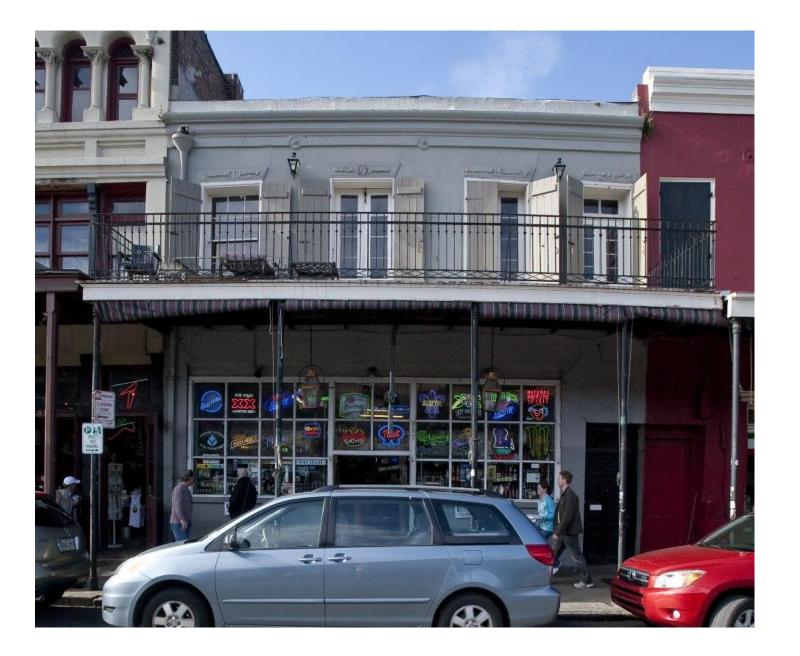


917-919 Decatur, 1866



July 26, 2022

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917-919 Decatur VCC Architectural Committee





917-919 Decatur







917 Decatur



917 Decatur, 1975





July 26, 2022

VCC Architectural Committee

917 Decatur

BOPP ENTERPRISES DECATUR ST RENOVATION

Renovation

Square 21, Lot 30

New Orleans

1,352

154

1.506



1. International Building Code, 2015 Edition 2. Parish / City, Amendments to IBC 2015 3. Life Safety Code, ANSI/NFPA 101, 2015 Edition 4. American with Disabilities Act. Public Law 101-336

Site Information

Address:	919 Decatur St
Address.	New Orleans, Louisiana 70116
Lot:	30
Square:	21
Area of Lot:	6,603 SF

Design Criteria	I
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Zoning VCC-1 Occupancy IBC 2015: **Residential R-3** NFPA 101 2015: Residentia Type of Construction: Type V-B Unprotected Maximum Htg Existing Sprinkler System No. of Stories 2 **Occupant Load** IBC 2015: 1506 / 200 = 8 NFPA 101 2015: 1506 / 200 = 8 Live Loads Floor 40 nsf Roof Load 20 psf



AERIAL MAP

Square Footage

Living

Entry

Total

Project Directory

Charles I Silbernagel + Associates, Inc.

Architects, A Professional Design Group

3129 Edenborn Avenue, Suite 100 Metairie, Louisiana 70002

Email: Charles@clsarchitects.con

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heo I briW

Architect

(504) 454-3112 - Office

(504) 454-3125 - Fax

CIS Architects

Mechanical Engineer

product

The work is less than \$15,000 and according to Jefferson Parish, a professional engineer is not required This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final

1

TRUE

professional engineer is not required This work shall be performed as a performance specification and the subcontractor shall provide all necessary documents to properly deliver a final

product.

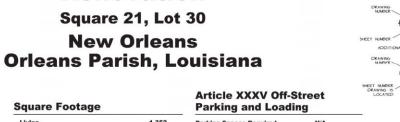
Electrical Engineer

The work is less than \$15,000 and The work is less than \$15,000 and according to Jefferson Parish, a according to Jefferson Parish, a professional engineer is not required This work shall be performed as a

Plumbing

performance specification and the subcontractor shall provide all necessary documents to properly deliver a final product

VICINITY MAP



Parking Spaces Required N/A Per New Orleans Comprehensive Zoning Ordinance Sec. 22.5.A.1, no parking required in all Historic Core Districts, except HM-MU and HMC-2

Project Location





Structural Engineer

No structural work required

MT METAL THRESHOLD FOB FACE OF BRICK

ABBREVIATIONS & SYMBOLS

XXXXXXXX

DRAWING TITLE

SECTION MARK

ELEVATION MARK

ENLARGED DETAIL MARK

CALE OF DRAWING

PLAN NORTH ARROW

RECESS WATER CONNECTION

DOOR MARK

HOSE BIB

H GAS GAS CONNECTION

WALL TYPES

REVISION NUMBER

CFOS CORNER FACE OF STUD

ASSOCIATES

EXISTING ELEVATION

WINDOW MARK

DIRECTION OF

DIRECTION O

(4)

A

HB+

WATER

OCOPYRIGHT BY CHARLES I SILDERNAGEL ALL RIGHTS RESERVED

CFOB CORNER FACE OF BRICK FOS FACE OF STUD

July 26, 2022



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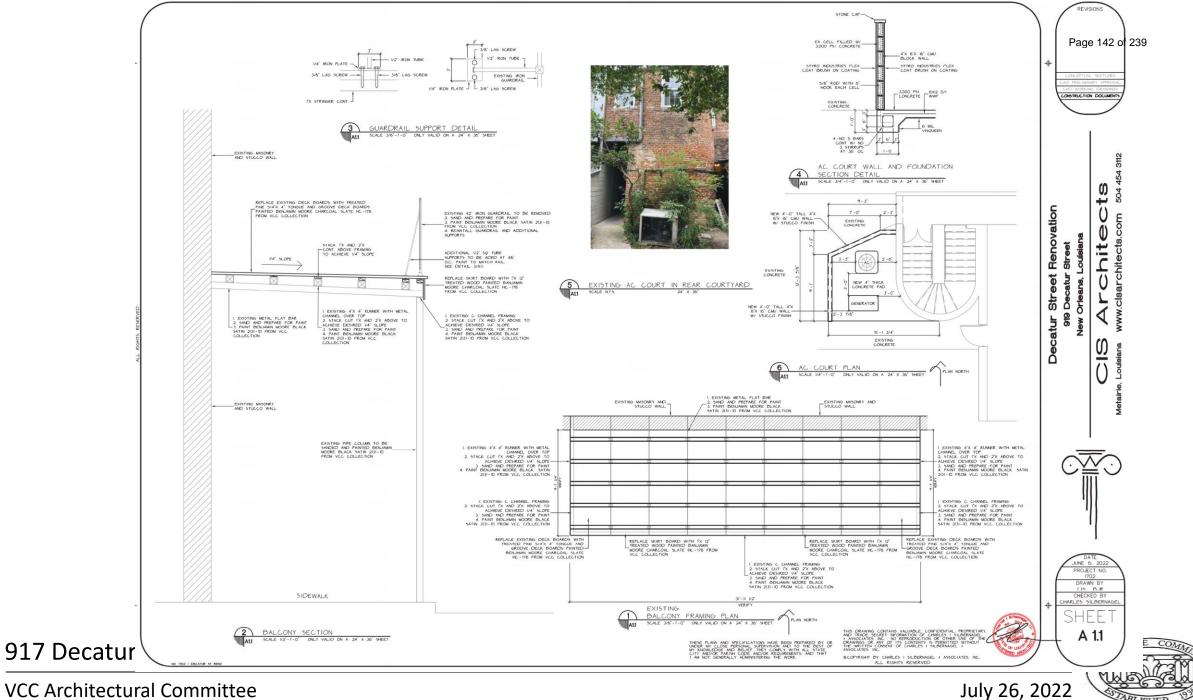
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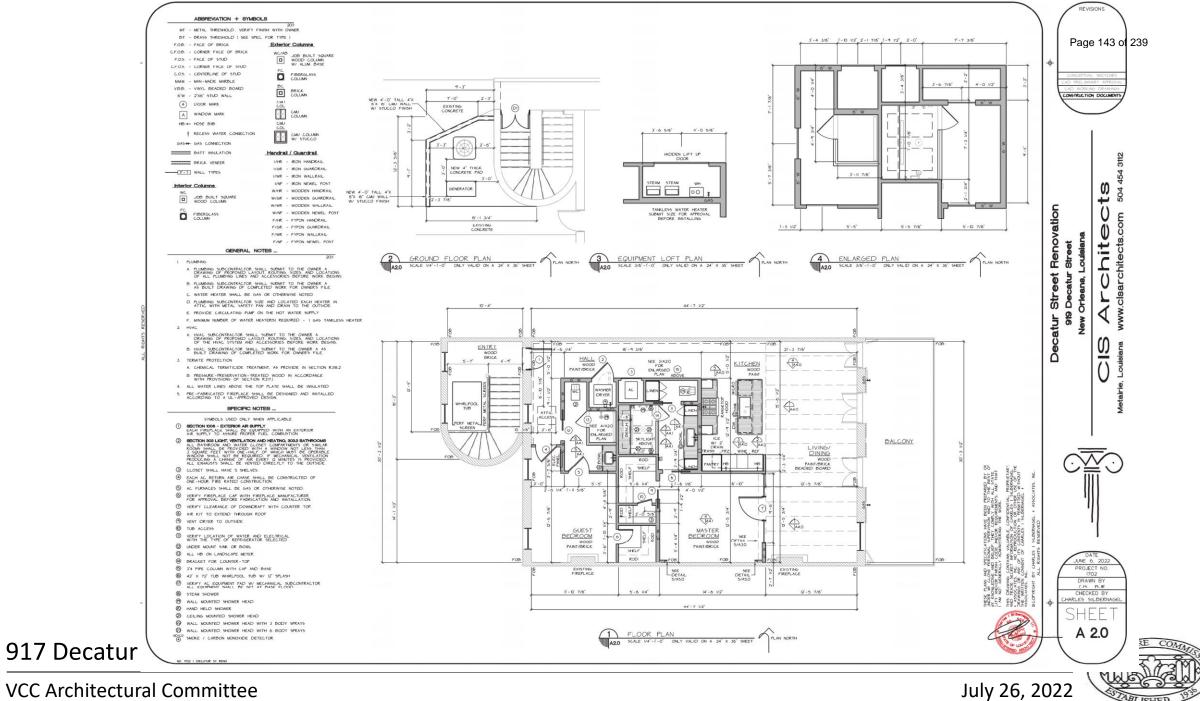
VCC Architectural Committee

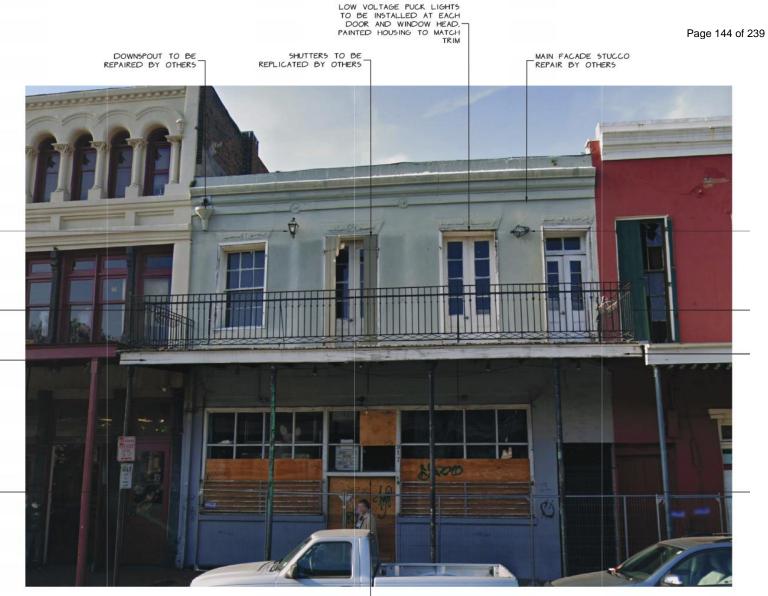
917 Decatur



July 26, 2022







EXISTING ELECTRIC LANTERN TO BE REPLACED WITH NEW BEVELO WILLIAMSBURG 22" FLUSHMOUNT GAS LANTERN

I REMOVE EXISTING 42" IRON GUARDRAIL 2. SAND AND PREPARE FOR PAINT 3. PAINT BENJAMIN MOORE BLACK SATIN 2131-10 FROM VCC COLLECTION 2. RE-INSTALL GUARDRAIL AND ADD ADDITIONAL SUPPORTS TO BE ADDED AT 48" O.C.

I. REMOVE EXISTING WOOD DECKING -2. EXISTING IRON JOISTS AND CHANNELS TO REMAIN. SANDED AND PAINTED BENJAMIN MOORE BLACK SATIN 2131-10 FROM VCC COLLECTION 3. NEW TREATED I'X AND 2"X RUNNERS STACKED ON EXISTING REDUCE SLOPE OF DECK TO 1/4". I. NEW TREATED PINE 4" TONGUE AND GROOVE DECK BOARDS PAINTED BENJAMIN MOORE CHARCOAL SLATE HC - 178 FROM VCC COLLECTION KISTING FACIA TO BE REMOVED AND REPLACED WITH TREATED I'X 12", PAINTED TO MATCH EXISTING.

I. EXISTING POLES, SAND AND PREPARE FOR PAINT 2. PAINT BENJAMIN MOORE BLACK SATIN 2131-10-FROM VCC COLLECTION

SCALE N.T.S.

A1.0

DECATUR STREET ELEVATION PHOTO FIRST FLOOR NOT IN SCOPE OF WORK. REPAIRS BY OTHERS

24" X 36"

NMP-LED Josh 12V LED Puck Light

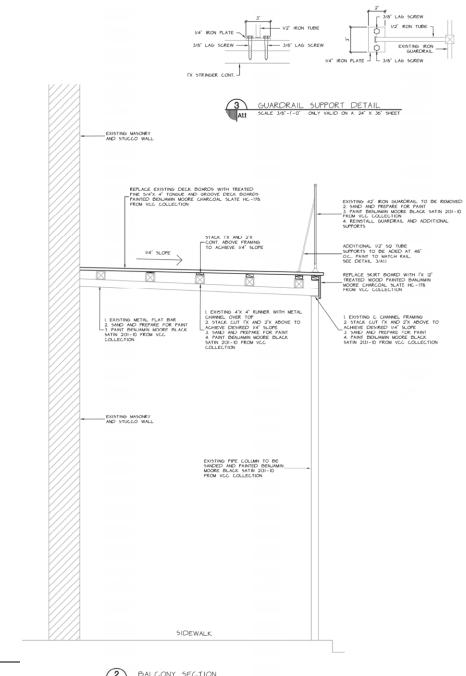
July 26, 2022



VCC Architectural Committee

917 Decatur

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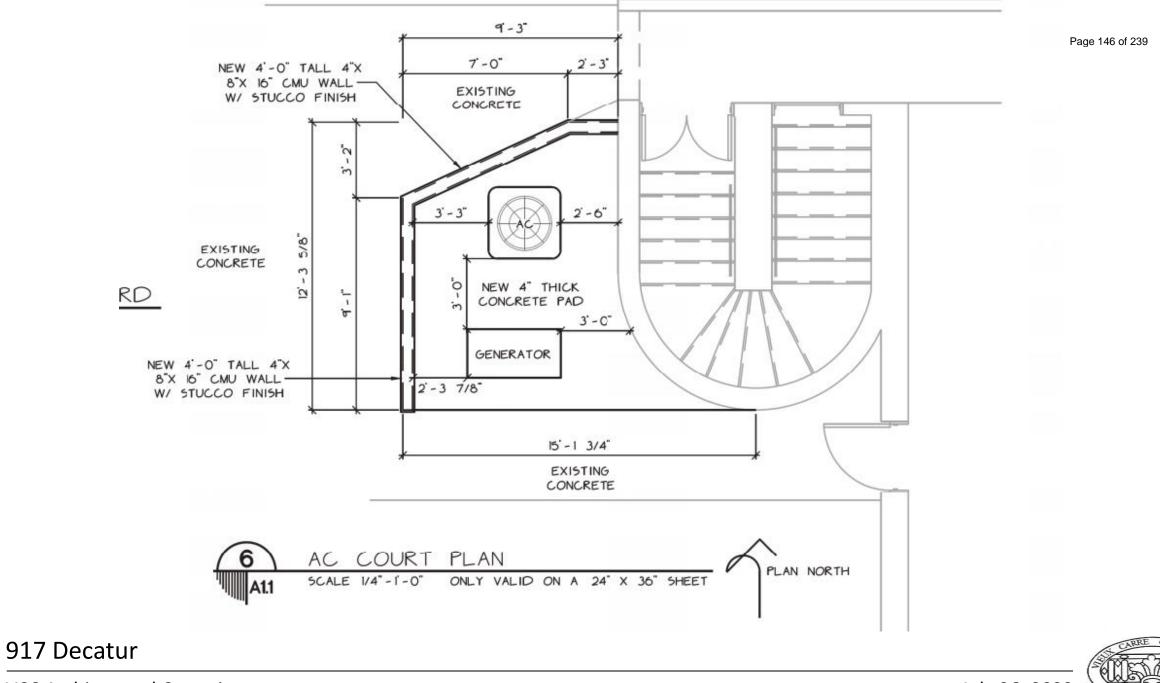


917 Decatur

VCC Architectural Committee











STONE CAP Page 147 of 239 EA CELL FILLED W/ 3,000 PSI CONCRETE 4"X 8"X 16" CMU BLOCK WALL STYRO INDUSTRIES FLEX STYRO INDUSTRIES FLEX COAT BRUSH ON COATING COAT BRUSH ON COATING 5/8" ROD WITH 6" HOOK EACH CELL 3,000 PSI 6XI2 0/I CONCRETE WWF EXISTING CONCRETE 'n ı' ە" 0 6 MIL VISQUEEN 4-NO 5 BAR5 6" CONT W/ NO 3 STIRRUPS AT 36" OC 1-0 AC COURT WALL AND FOUNDATION SECTION DETAIL SCALE 3/4"-1'-0" ONLY VALID ON A 24" X 36" SHEET A1.1

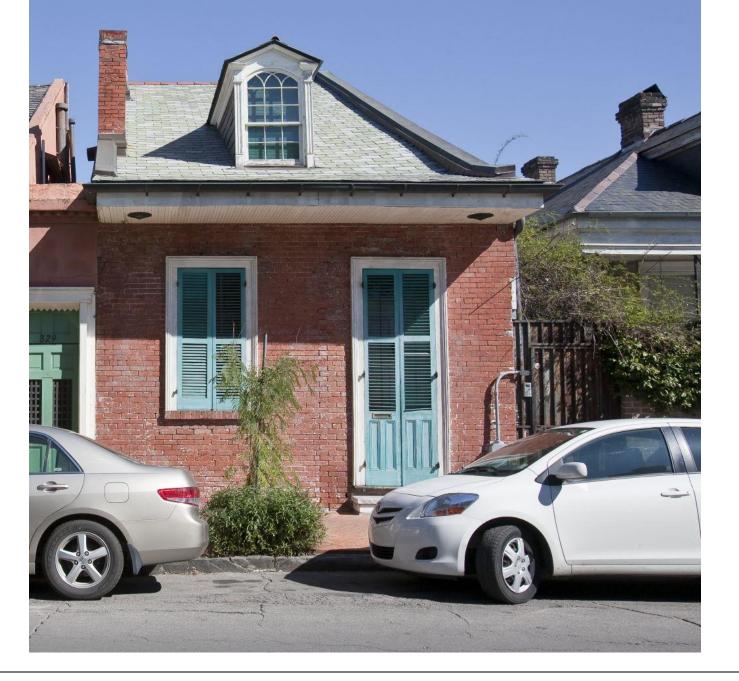




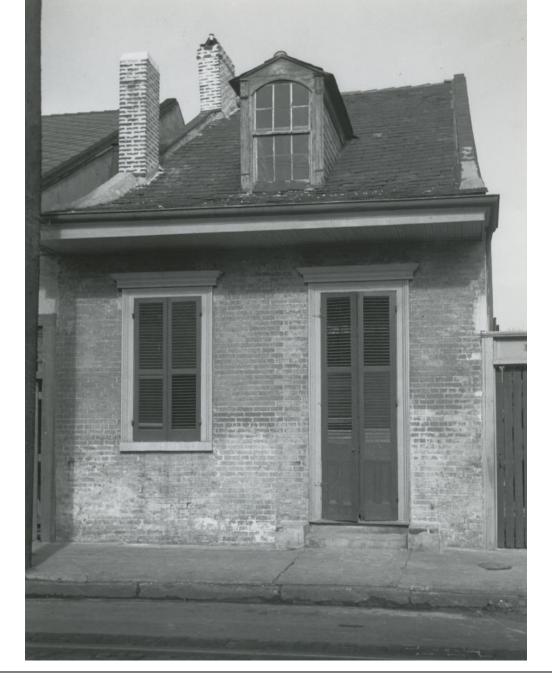
827 Ursulines











827 Ursulines









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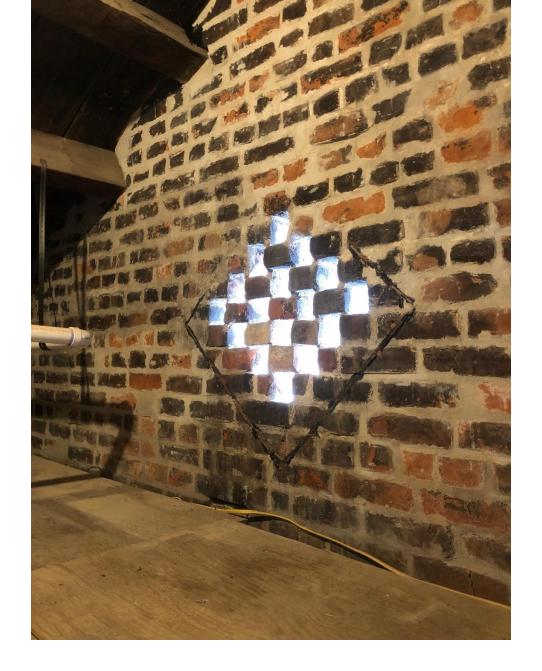




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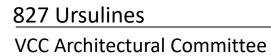




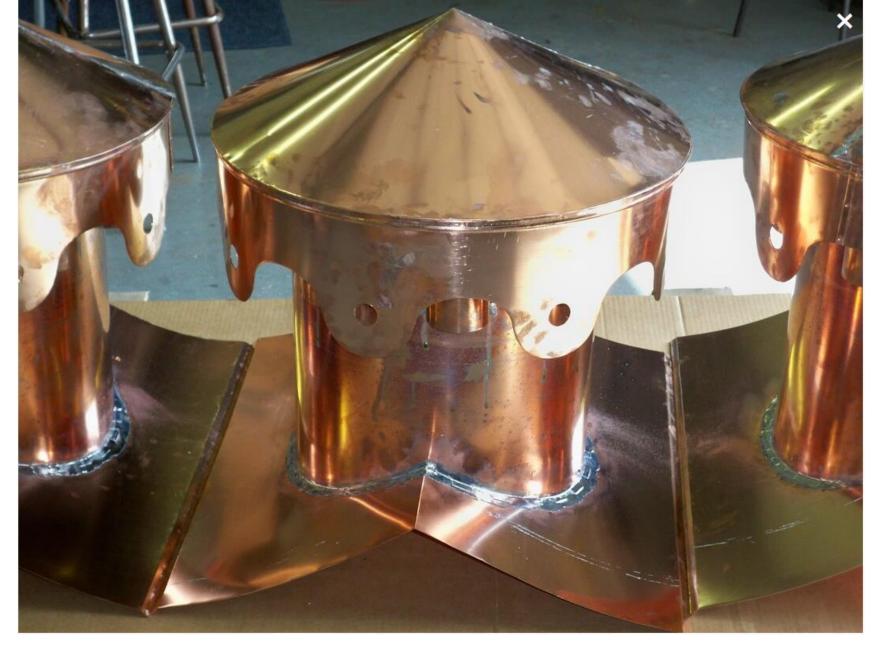


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922-24 Dauphine



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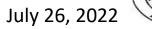






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924 Dauphine

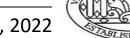




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924 Dauphine, 1963

VCC Architectural Committee

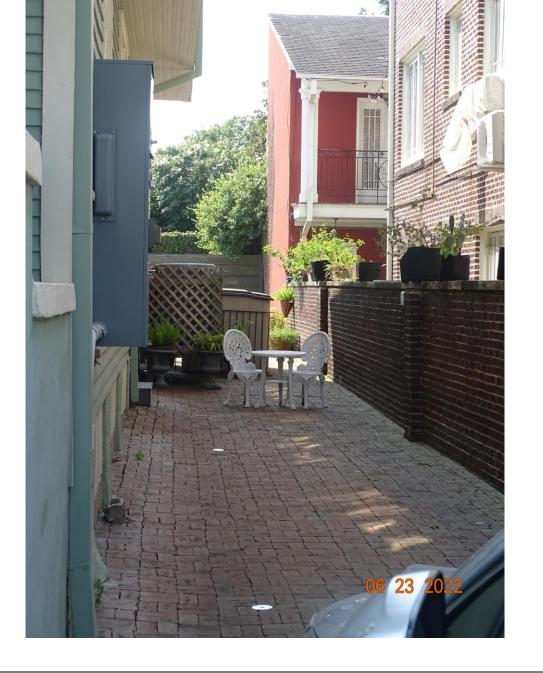














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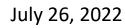


Line Item Description	Sales Price	Quantity	Additional Discount	Promo	Total Price
Premier Lean-To 8 x 10	\$3,579.00	1.00	\$0.00	\$0.00	\$3,579.00
Upgrade - 4' x 6'2" Single Shed Door	\$299.00	1.00	\$0.00	\$0.00	\$299.00
Shed Anchor into Dirt - Auger or MR88	\$55.00	4.00	\$0.00	\$0.00	\$220.00
Horizontal Transom Window in Door - 4' door	\$119.00	1.00	\$0.00	\$0.00	\$119.00
Black Door Hardware - Single Door	\$40.00	1.00	\$0.00	\$0.00	\$40.00
Door - Decorative Single Door Trim - Wainscot	\$39.00	1.00	\$0.00	\$0.00	\$39.00
16"x8" Wall Vent - Brown	\$23.00	1.00	\$0.00	\$0.00	\$23.00
Fuel Surcharge	\$20.00	1.00	\$0.00	\$0.00	\$20.00
Paint 10% of building base price	\$358.00	1.00	\$0.00	\$358.00	\$0.00
Credit for Removal of Default Door	(\$299.00)	1.00	\$0.00	\$0.00	(\$299.00)
Delivery Fee	\$99.00			\$0.00	\$99.00

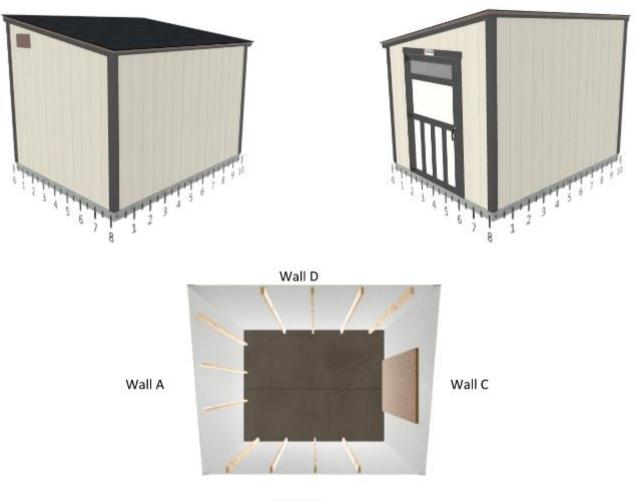
Gross Total	\$4,497.00	
Discount	(\$358.00)	
Net Total	\$4,139.00	
Tax	\$391.15	
Grand Total	\$4,530.15	
Amount Due Amount Paid Amount Scheduled	\$4,530.15 \$0.00 \$0.00	

DocuSigned by:

922 Dauphine







Wall B



922 Dauphine

Base Details

Building Size & Style Premier Lean-To - 8' wide by 10' long Paint Selection Base: Southern Breeze, Trim: Black Magic Roof Selection Charcoal 3 Tab Drip Edge Brown Is a permit required for this job? No,If local jurisdiction requires a permit, fees will be added before installation can take place

Options Details

Doors 4' x 6'2" Single Shed Door, Left Hinge Placement, In Door Horizontal Transom (4' door), Wainscot, Decorative Door Hardware Floor and Foundation 4 Ea Shed Anchor into Dirt - Auger or MR88 Vents

16"x8" Wall Vent - Brown

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it? No Is there a power outlet within 100 feet of installation location? Yes The building location must be level to properly install the building. How level is the install location? Within 4" of level Will there be 18" of unobstructed workspace around the perimeter of all four walls? Yes Can the installers park their pickup truck & trailer within approximately 200' of your installation site? Yes Substrate Shed will be installed on?

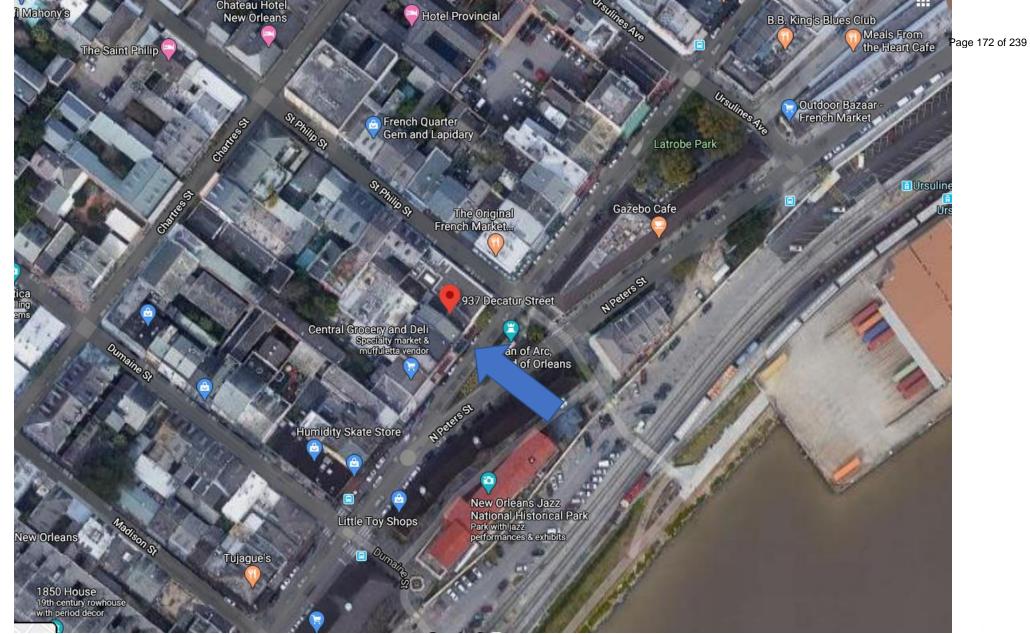
Cement pad

Signature: Dillie Sinopoli Date: 5/16/2022



922 Dauphine

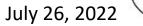






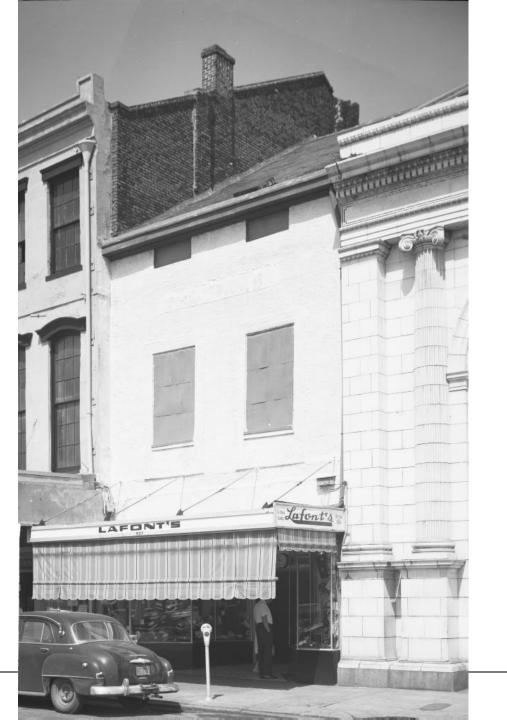


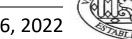
VCC Architectural Committee





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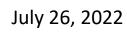












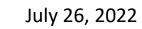


















937 Decatur VCC Architectural Committee



VCC Architectural Committee

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VCC Architectural Committee

July 26, 2022



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ob Address:

BINOLA DBA Central City Millworks LLC 2610 Second Street | New Orleans LA 70113 Ph (504) 899-1351

937 Decatur

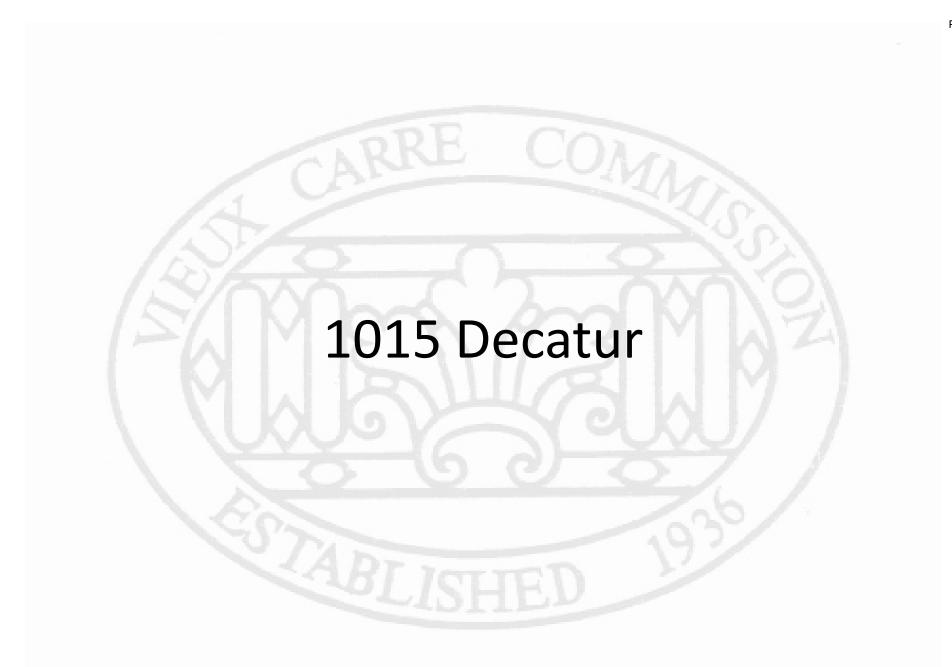
New Orleans, LA

tem Code	Item Description SPANISH CEDAR DOORS	
	PRIME	Prime and paint of door
	HARDWARE	Hardware

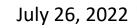


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937 Decatur











CRIBE COMMUNICATION

VCC Architectural Committee











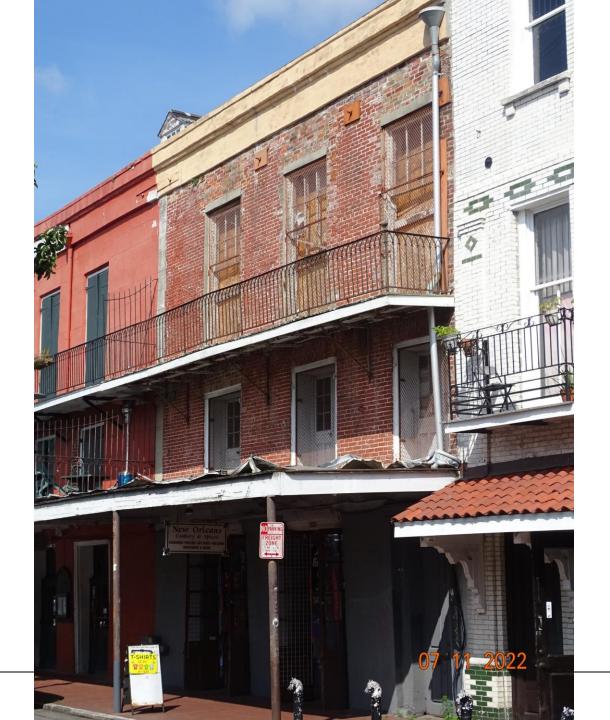




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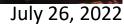
VCC Architectural Committee



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1015 Decatur VCC Architectural Committee

1015 Decatur St. New Orleans, LA 70116

Replace dormer window. Paint; color TBD.

Add stucco to the top two floors. Color TBD.

Paint doors and trim. Color TBD.

Remove metal covering and replace rotten wood with like material; paint to match.



Remove windows and install new windows and French Doors to match 1005 Decatur Building. Paint, color TBD. See Exhibit "A".

Add metal railing to match existing. Paint.

Paint the first floor store front and posts. Color TBD.



1015 Decatur

Exhibit "A" 1005 Decatur St. New Orleans, LA 70116



1015 Decatur St. Reference French Door and Windows;



1015 Decatur

1215 Royal Deferred at the Applicant's Request

Appeals and Violations

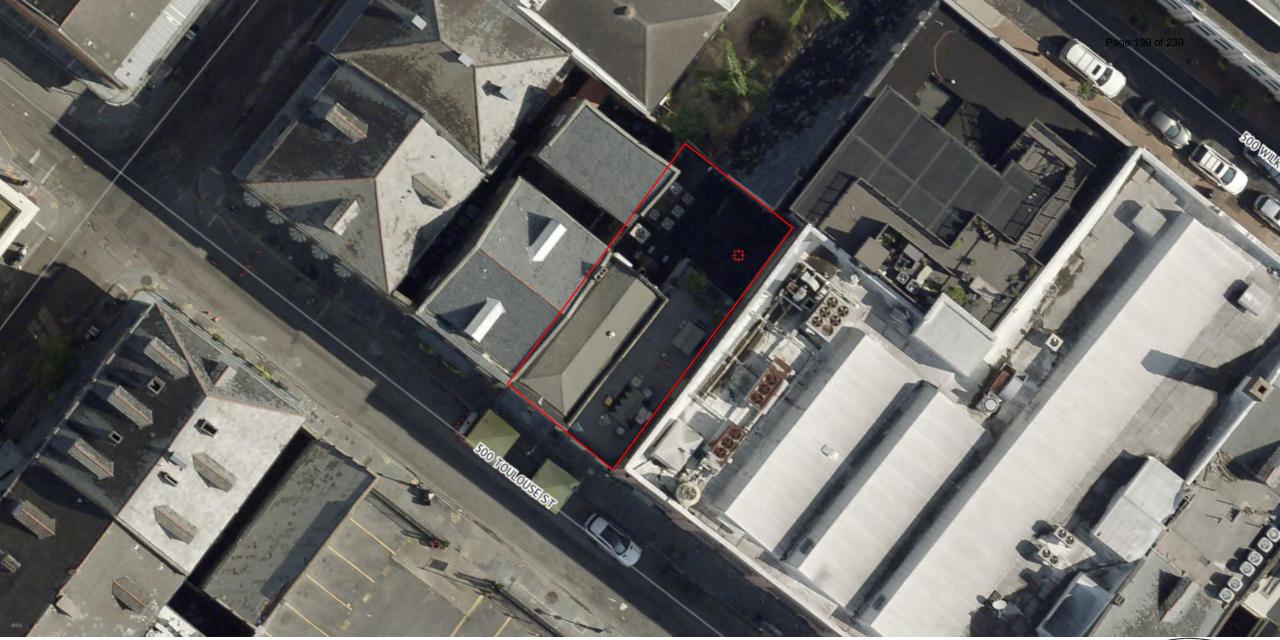






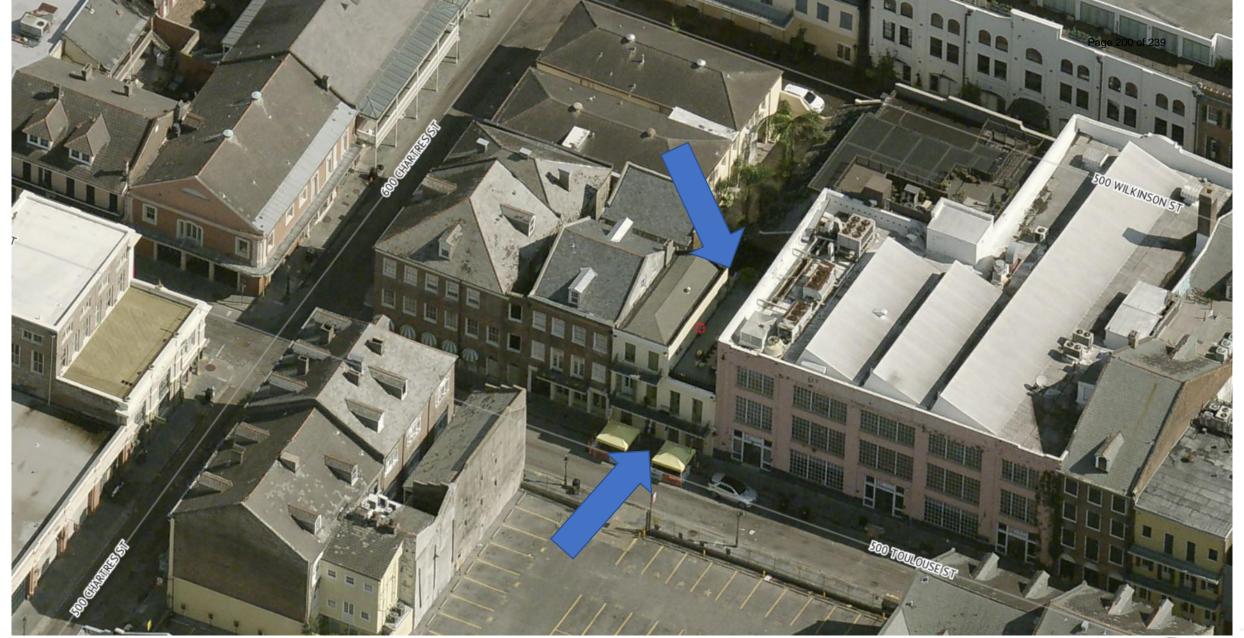






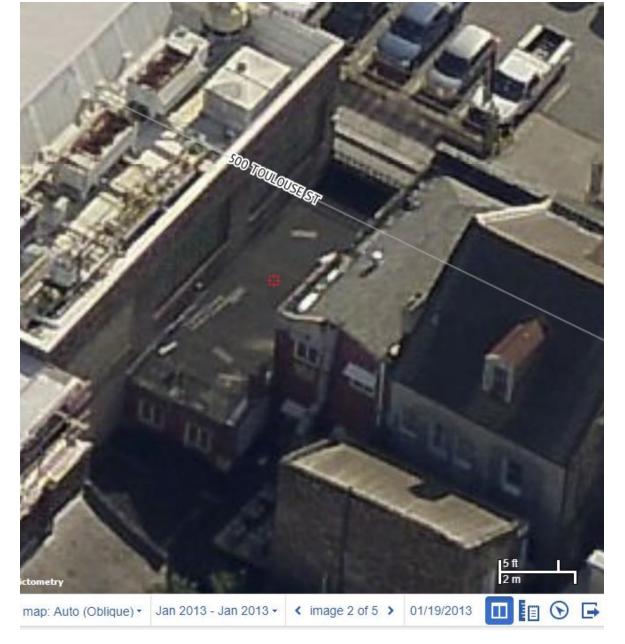
533 Toulouse VCC Architectural Committee





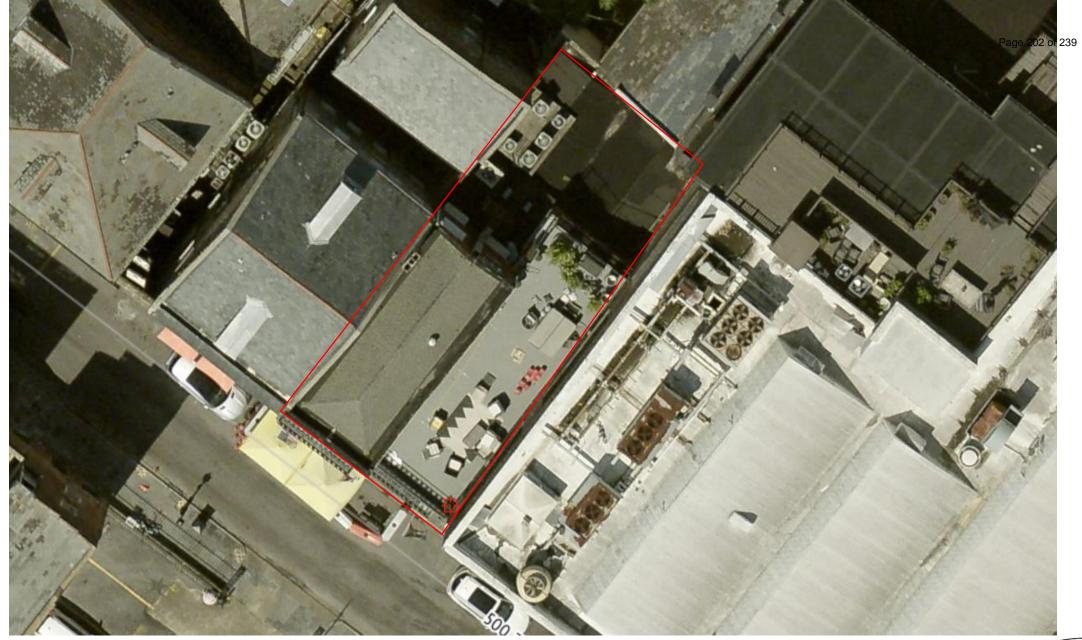
VCC Architectural Committee





533 Toulouse – 2013 prior to deck installation





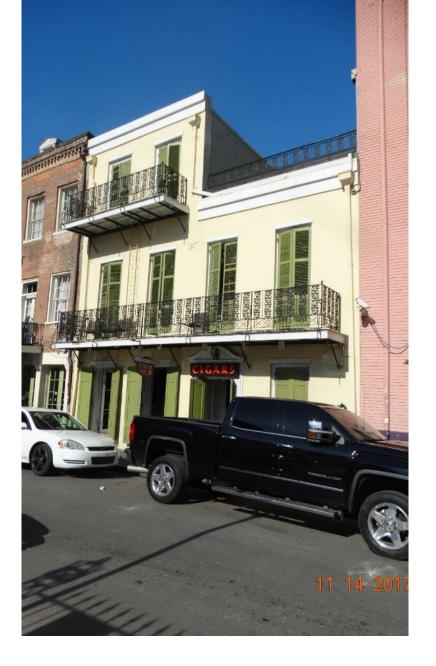
533 Toulouse – September 2021







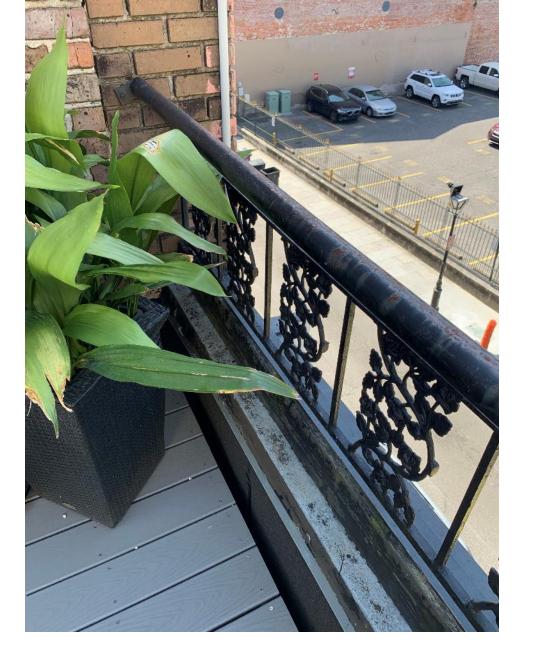






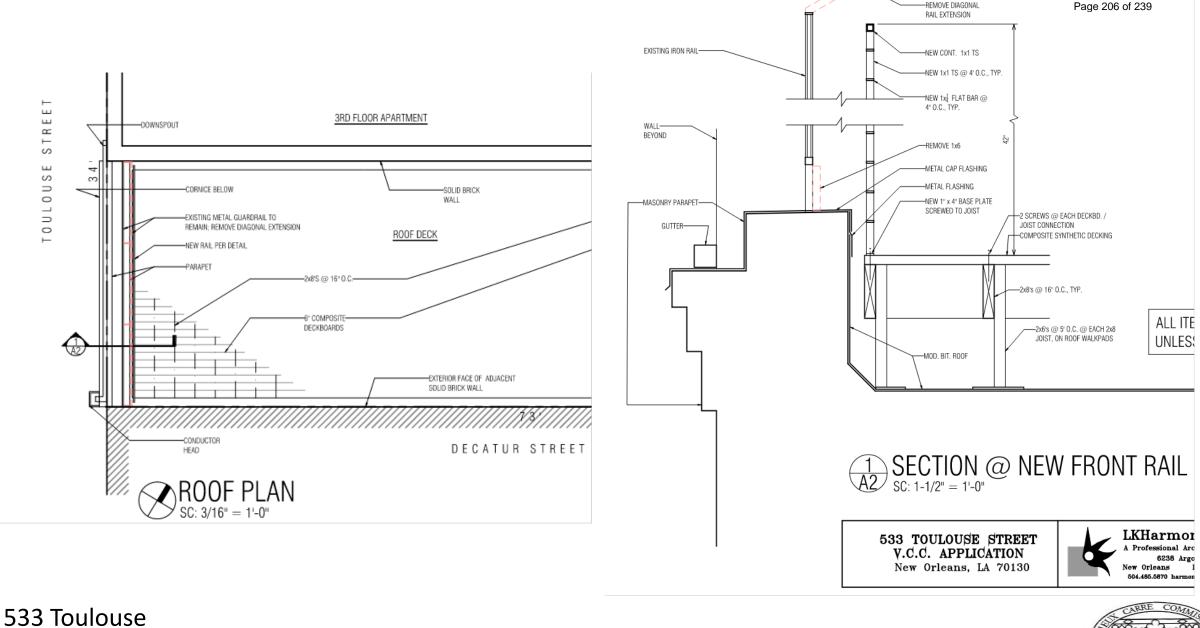
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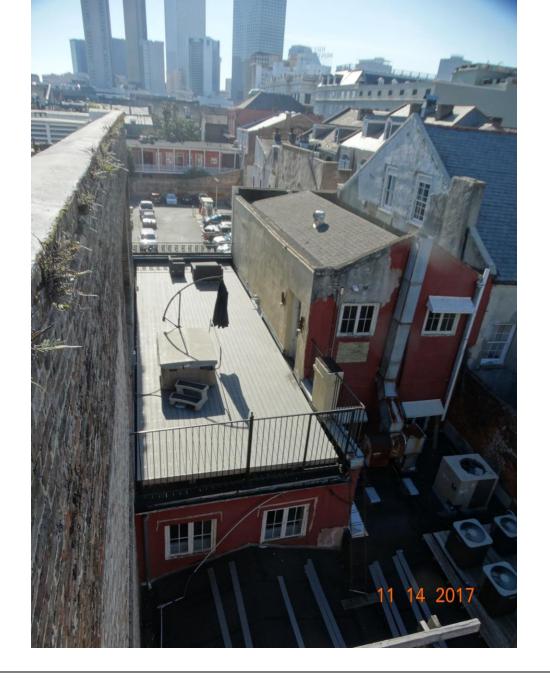
VCC Architectural Committee

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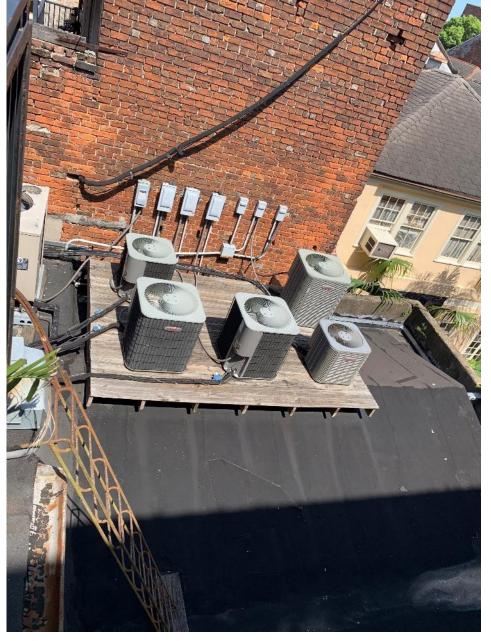
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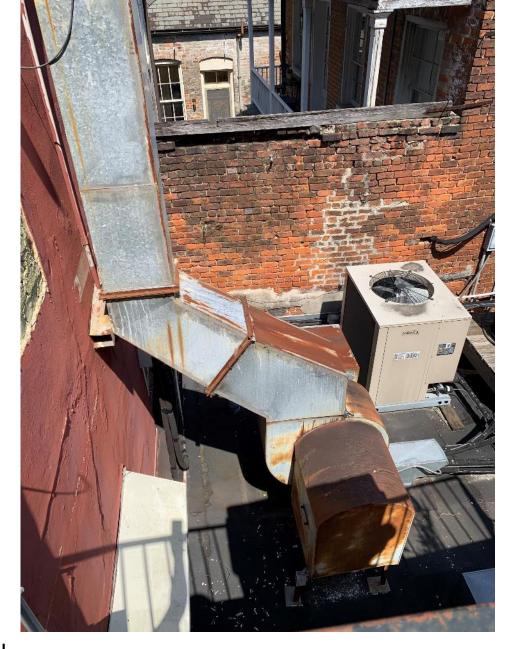


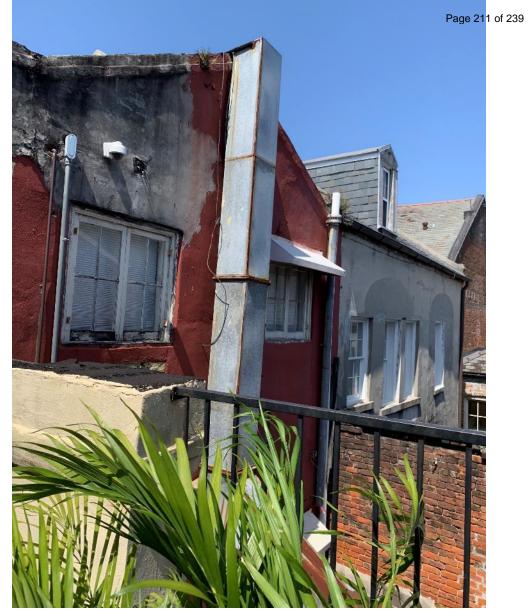


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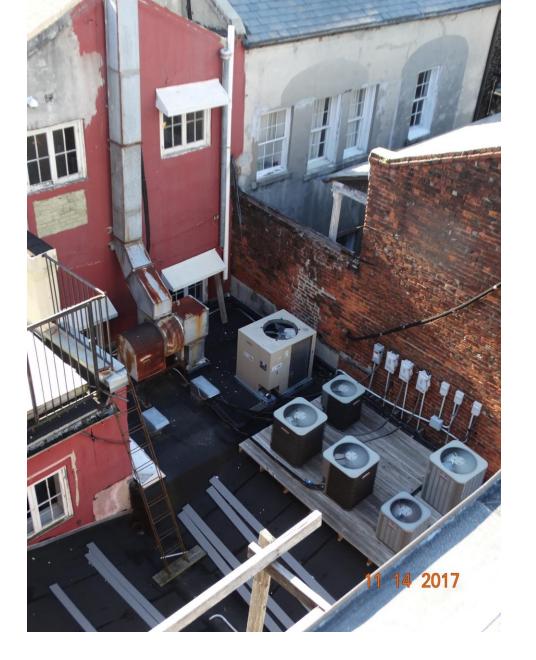


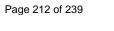






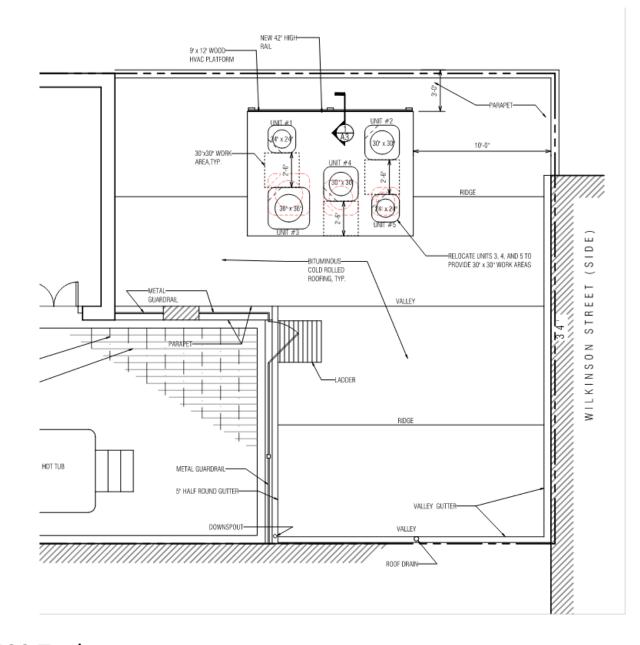
VCC Architectural Committee

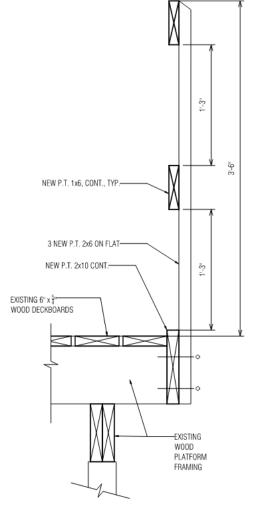












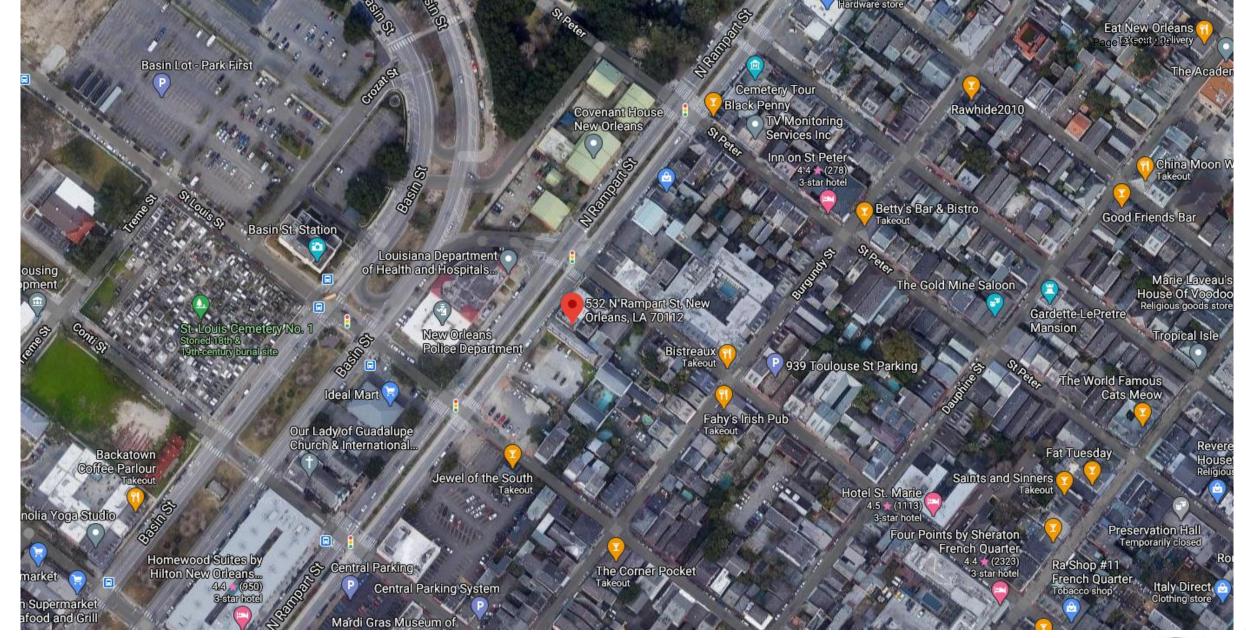
 $\underbrace{1}{A3} \underbrace{\text{SECTION}}_{\text{SC: } 1-1/2" = 1'-0"} \textcircled{O} \text{ NEW HVAC PLATFORM RAIL}$



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533 Toulouse







July 26, 2022

532 N Rampart



532 N Rampart

VCC Architectural Committee





VCC Architectural Committee



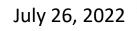




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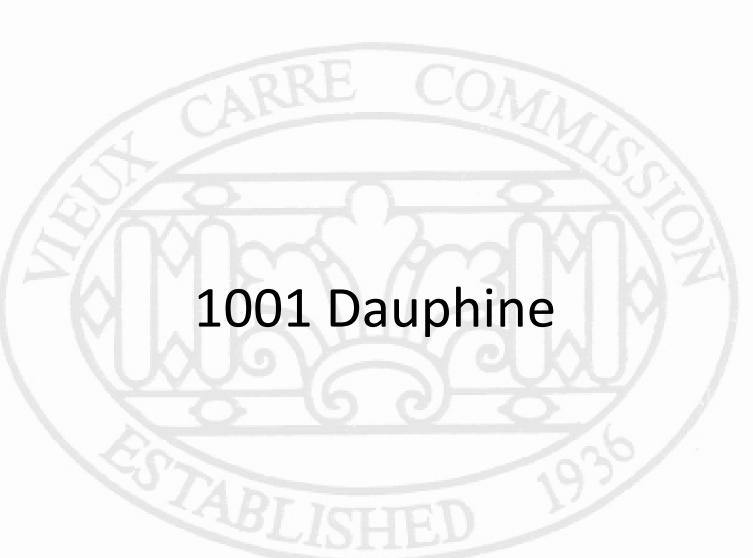
























VCC Architectural Committee



VCC Architectural Committee



July 26, 2022

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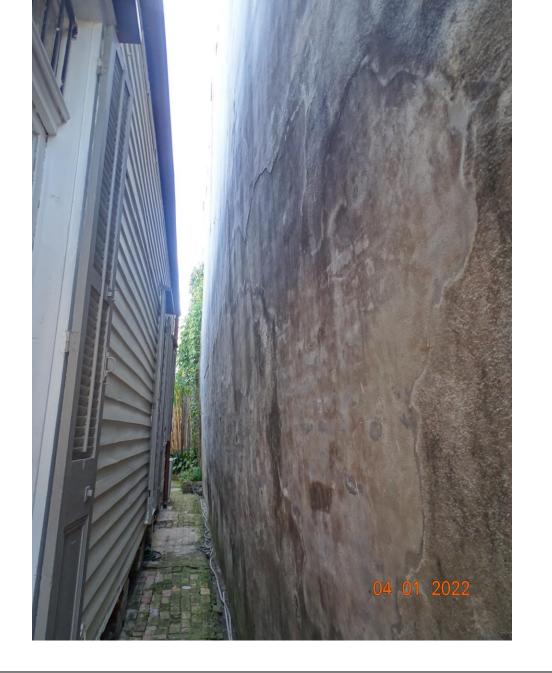


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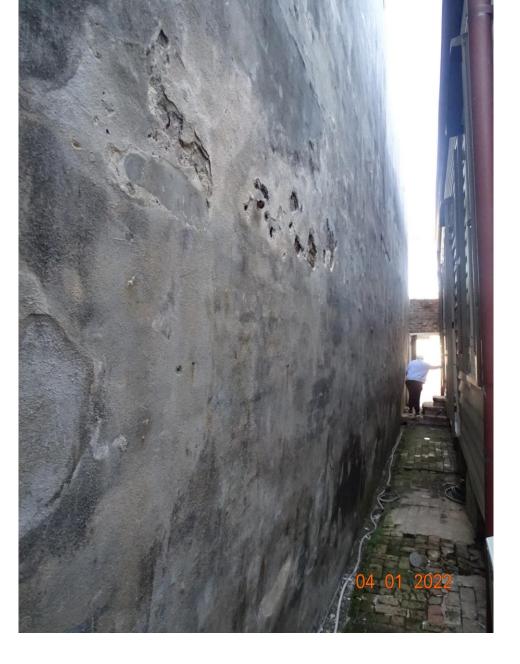


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VCC Architectural Committee

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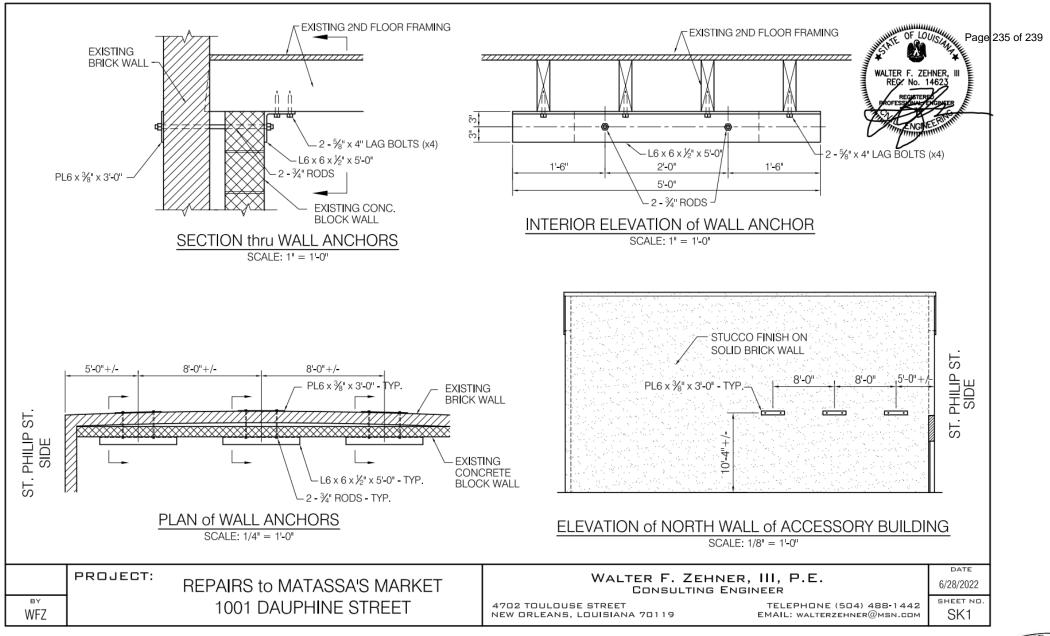


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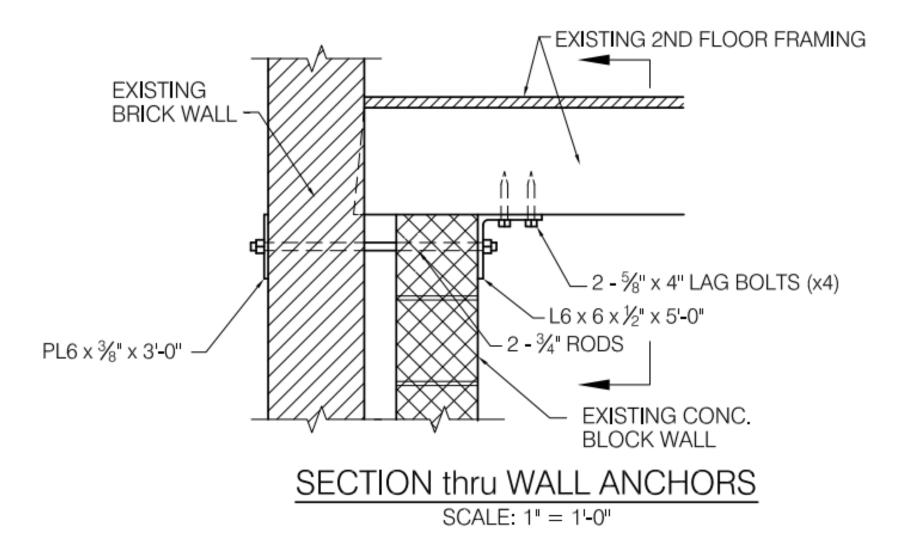




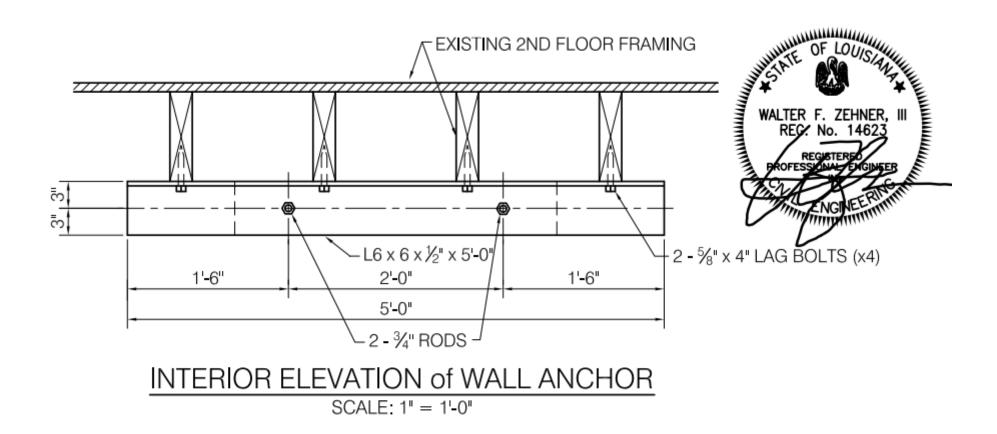


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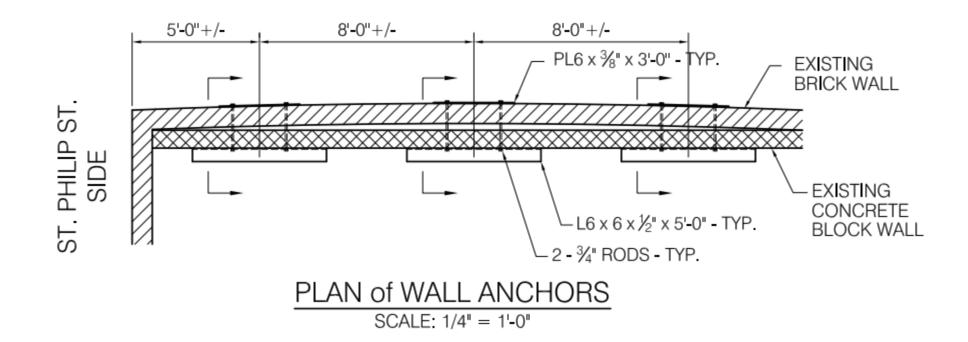






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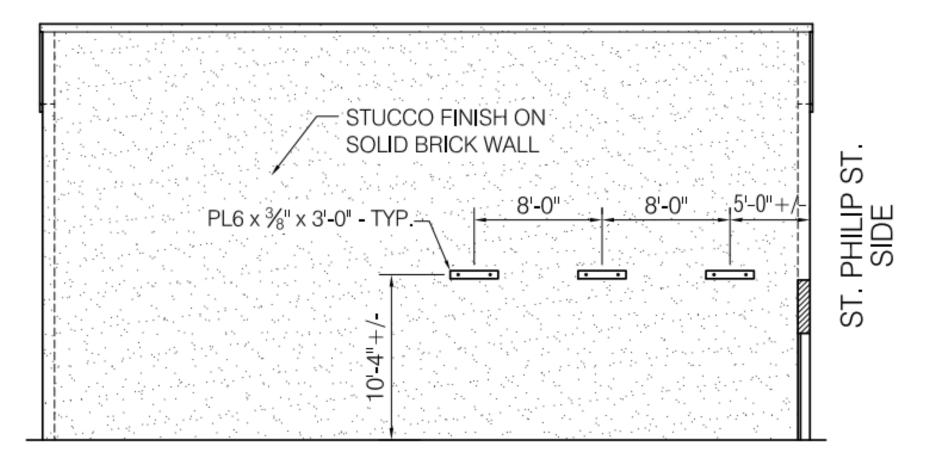




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ELEVATION of NORTH WALL of ACCESSORY BUILDING

SCALE: 1/8" = 1'-0"

1001 Dauphine

