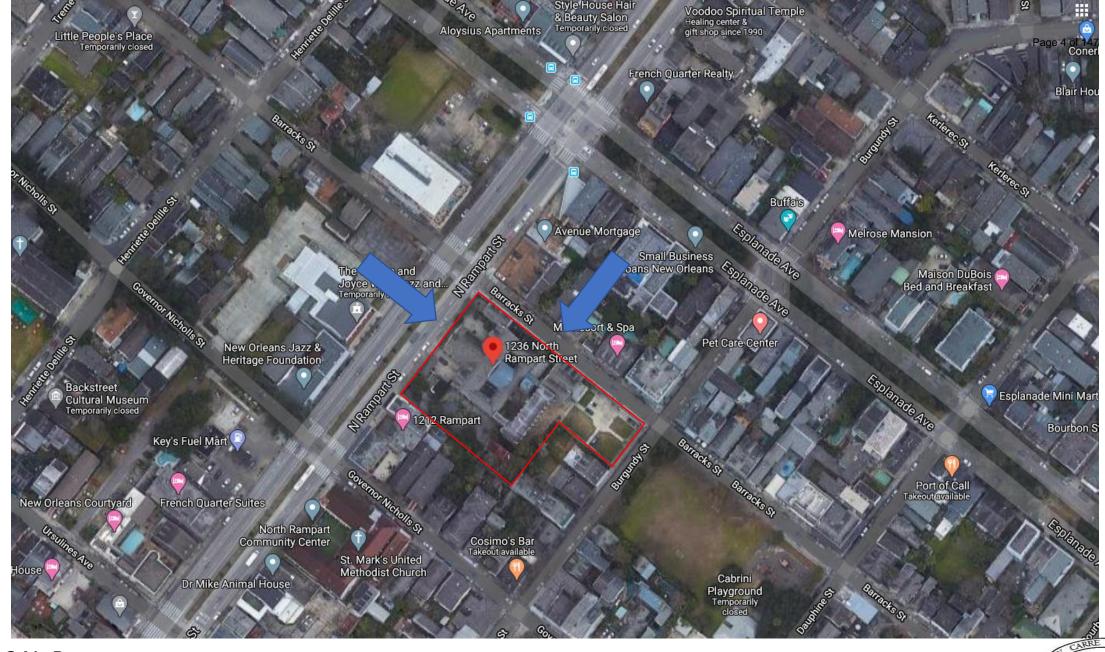
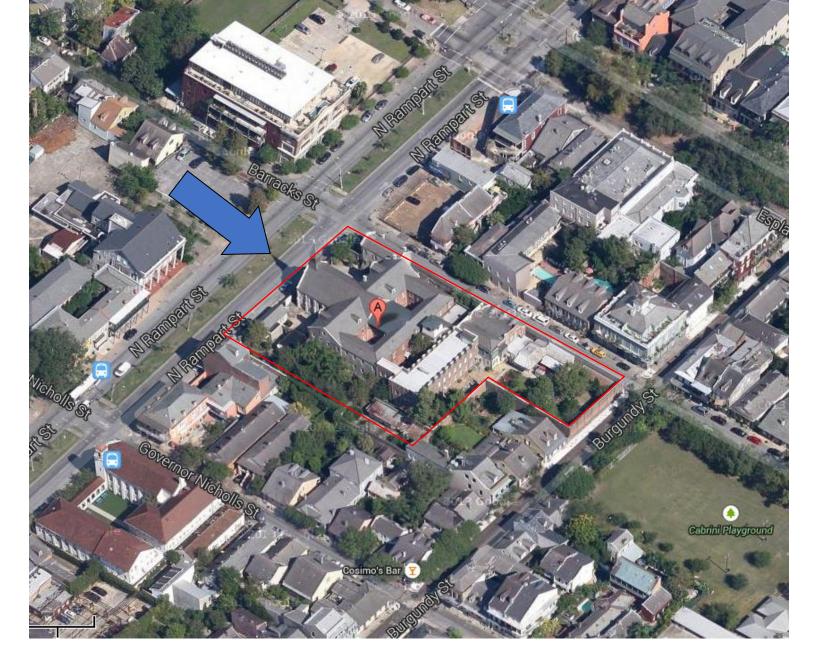
Vieux Carré Commission Architecture Committee Meeting

Tuesday, September 27, 2022

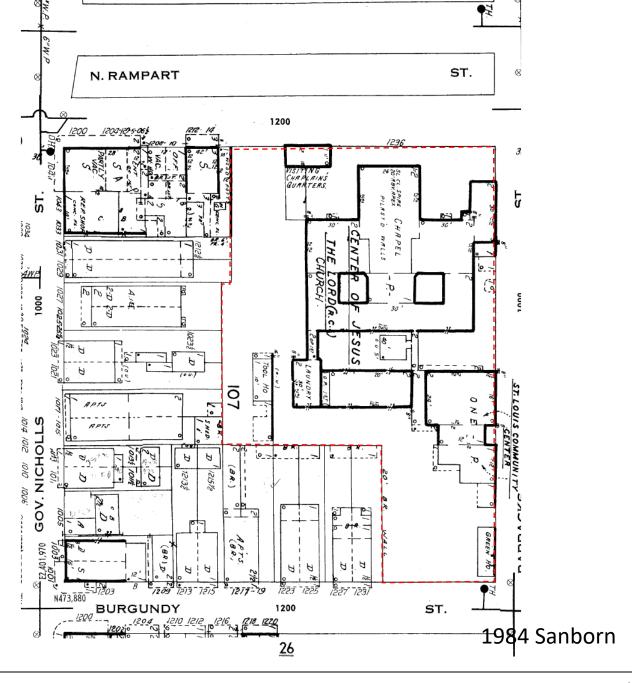


1236 N Rampart, 1022 Barracks





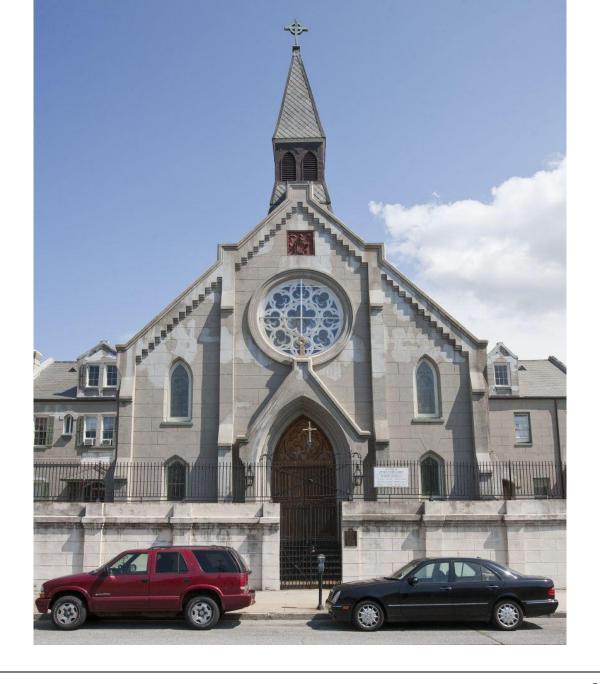












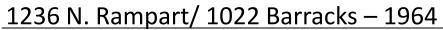




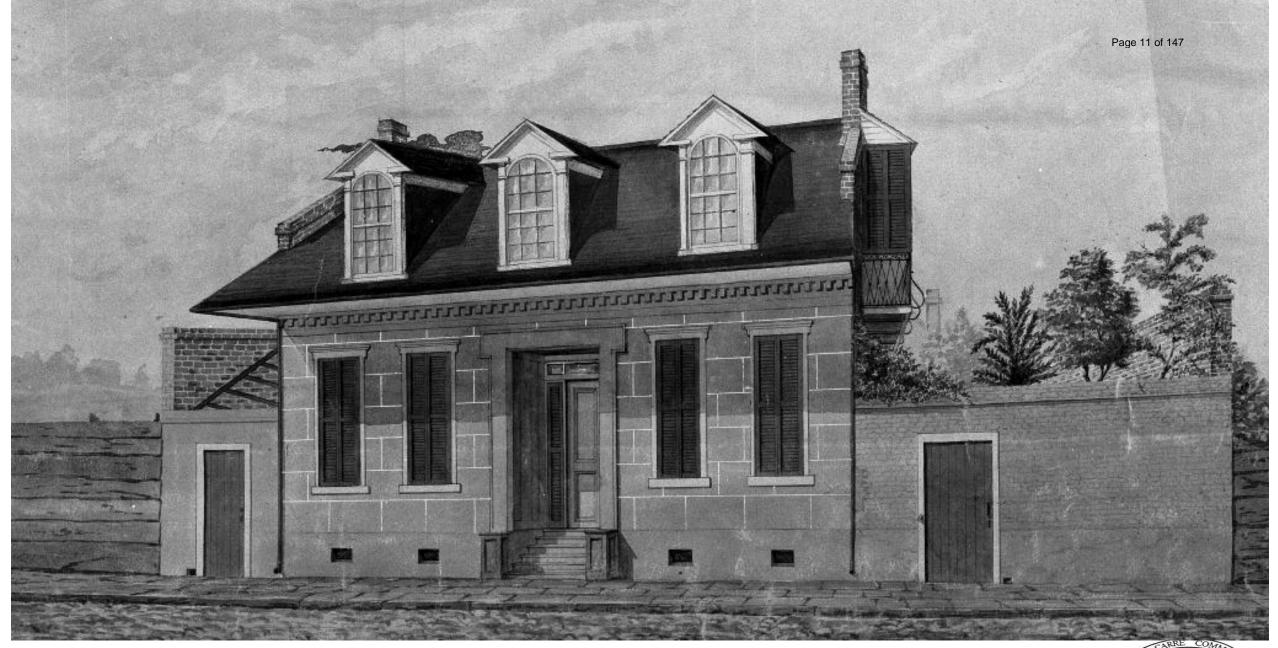




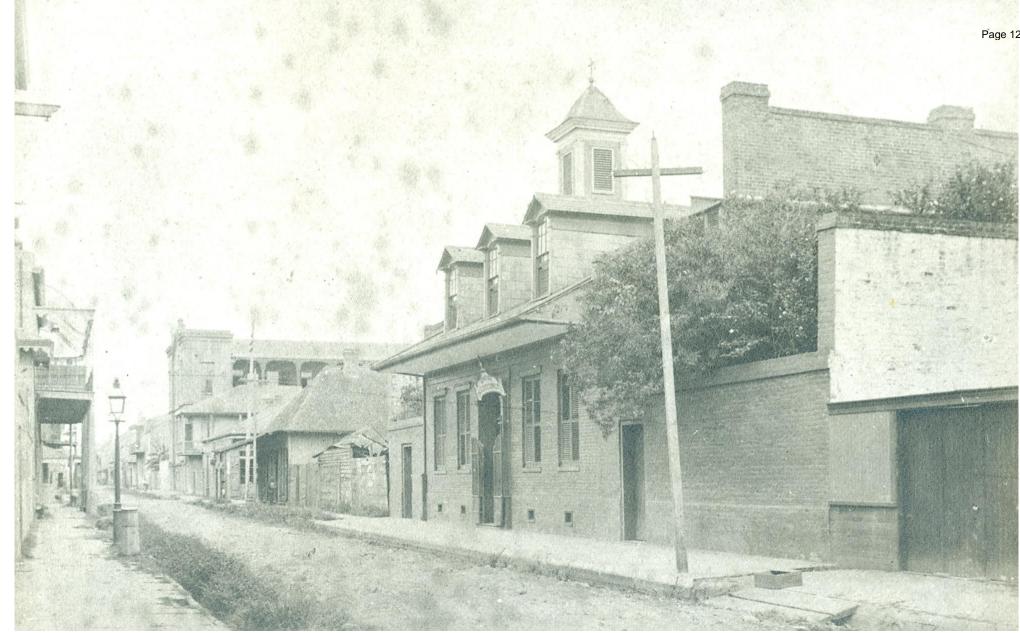








1236 N. Rampart/ 1022 Barracks – ca. 1866 - 1868



























PROPOSED BARRACKS STREET ELEVATION

SCALE: \frac{1}{4}" = 1'-0"

1236 N. Rampart/ 1022 Barracks





1236 N. Rampart/ 1022 Barracks



1236 N. Rampart/ 1022 Barracks

VCC Architectural Committee



1236 N. Rampart/ 1022 Barracks



MATERIALS FIT FOR PURPOSE

"I found I could say things with color and shapes that I couldn't say any other way." —Georgia O'Keeffe

BRING YOUR IDEAS TO LIFE

EcologicTM Potassium Silicate coatings are ideal for interior and exterior wall surfaces including historic masonry, stucco, plaster, and modern concrete.

- · Bonds to masonry substrates.
- · Highly breathable, vapor permeable, and extremely durable.
- Maintains color integrity.
- · Surfaces stay fresh and attractive.
- · Never requires stripping or removal of old mineral coatings before repainting.



BASE COLORS



DESIGNER COLORS

PT 5000	PT 5005	PT 5010	PT 5015	PT 5020	PT 5025	PT 5030	PT 5035	
Coin Grey	Mysterious Sea	Twilight Blue	Lucky Clover	Sunrise	Autumn Gold	Red Grapefruit	Robin Red	
PT 5001	PT 5006	PT 5011	PT 5016	PT 5021	PT 5026	PT 5031	PT 5036	
Crystal Moon	Maya Blue	Benjamin Blue	Pacific Green	May Flowers	Flame	Rose	Remington	
PT 5002	PT 5007	PT 5012	PT 5017	PT 5022	PT 5027	PT 5032	PT 5037	
Enchantment	Slate Grey	Sea Breeze	Wilderness	Canary Yellow	Harvest Red	Marigold Red	Rust Red	
1308							The	
PT 5003	PT 5008	PT 5013	PT 5018	PT 5023	PT 5028	PT 5033	PT 5038	
Lilac Purple	Midnight Sky	Tea Leaf	Earth Green	Peach Yellow	Poppy	Cardinal Red	Crimson	
	1770	19						
PT 5004	PT 5009	PT 5014	PT 5019	PT 5024	PT 5029	PT 5034	PT 5039	
Blue Jay	Deep Blue	Mint Green	Black Bark	Creamsicle	Ancient Artifact	Firebrick	Rhode Island Red	
				1 (18)				

Custom color matching available on request to any manufacturer's samples. *Due to limitations in color reproduction and print process, color swatches may vary from the actual product.

1236 N. Rampart/ 1022 Barracks

Page 22 of 147

As solid as it seems, masonry is a porous material that naturally absorbs and expels water and water vapor. Allowing the expiration of water vapor is the key to ensuring a coating helps preserve the masonry rather than causing further deterioration. LIME-WORKS.us manufactures unique and durable mineral paints and stains for stone, brick, stucco, plaster,

block, concrete, and other masonry surfaces. While standard acrylic and latex paints form a film on the substrate surface and rely on organic binders that decay over time, our mineral paints and stains contain a potassium silicate binder that penetrates to form a molecular bond with the masonry substrate. Exhibiting the microcrystalline properties of natural stone, these potassium silicate coatings feature high breathability-allowing water vapor to pass through (rather than trapping moisture inside the wall), yet keeping rainwater out. Two coats may provide a water vapor permeance of 77.5 US-perms. Traditional paints also rely on organic resins which dry out causing failure due to prolonged exposure to ultraviolet light. Our potassium silicate binder is exceptionally resistant to ultraviolet light and acid rain, inhibits the growth of algae and mildew, and remains stable through decades of exposure. The mineral coatings are also pigmented with inorganic iron-oxides that do not fade in ultraviolet light—allowing our paints and stains to maintain their rich and vibrant colors.



A potassium silicate tint (right) was created to successfully blend the mismatched repair work (left) with the original surrounding brick.



3145 State Road Telford, PA 18969 215-536-6706

admin@limeworks.us





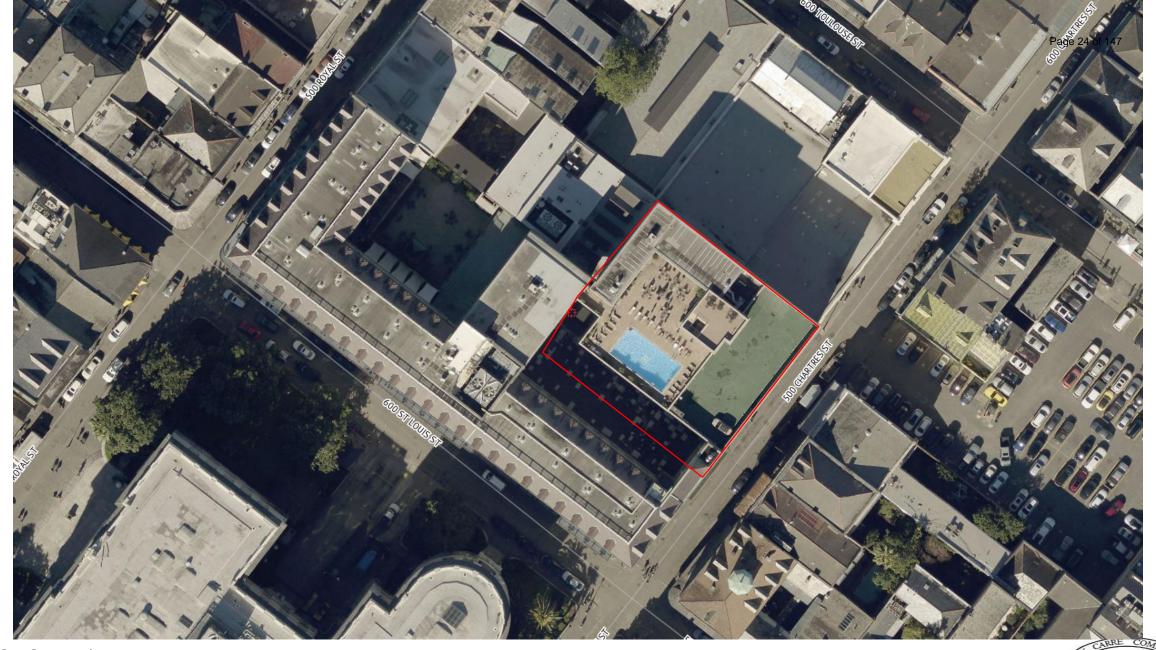


FORMULAS FOR DESIGN

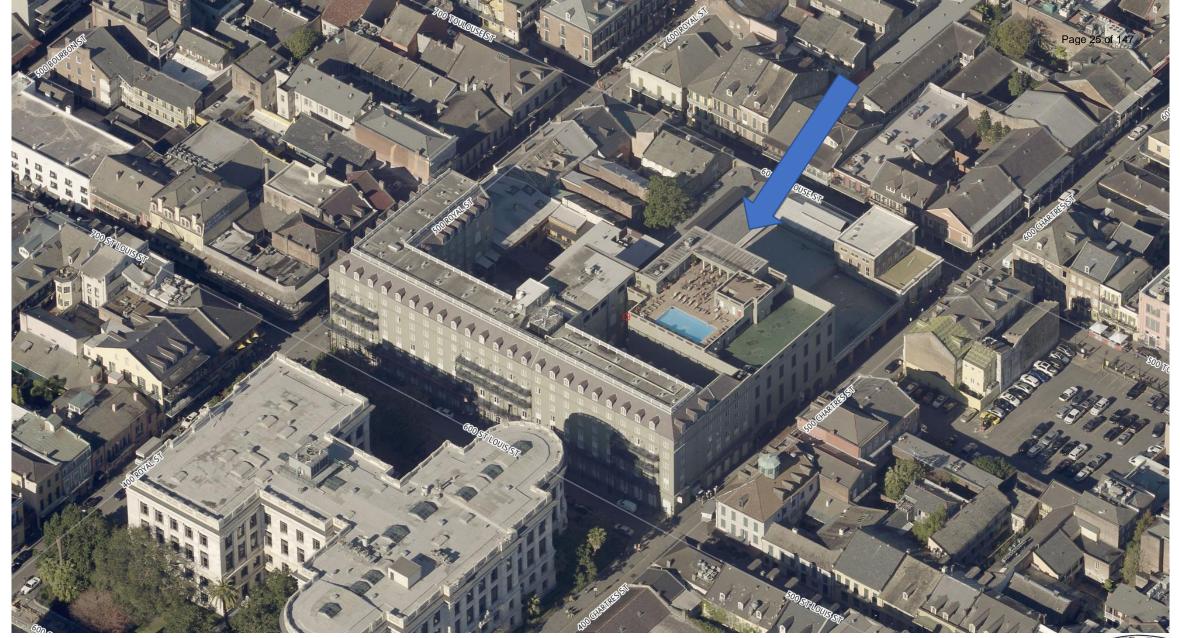
- Available as Ecologic™ Colorwash Stain or Ecologic™ Potassium Silicate Paint.
- · 13 stock colors, 80 designer colors, and limitless custom color simulations available upon request.
- Noncombustible, fire retardant, odorless within hours, and zero VOCs.
- · Resistant to sulfate and salt attacks.
- · Meets the rigorous German Industrial Standard DIN 18 363 for mineral paints.
- Service life may range 20 to 50 years.
- · Apply with a brush, roller, or sprayer.



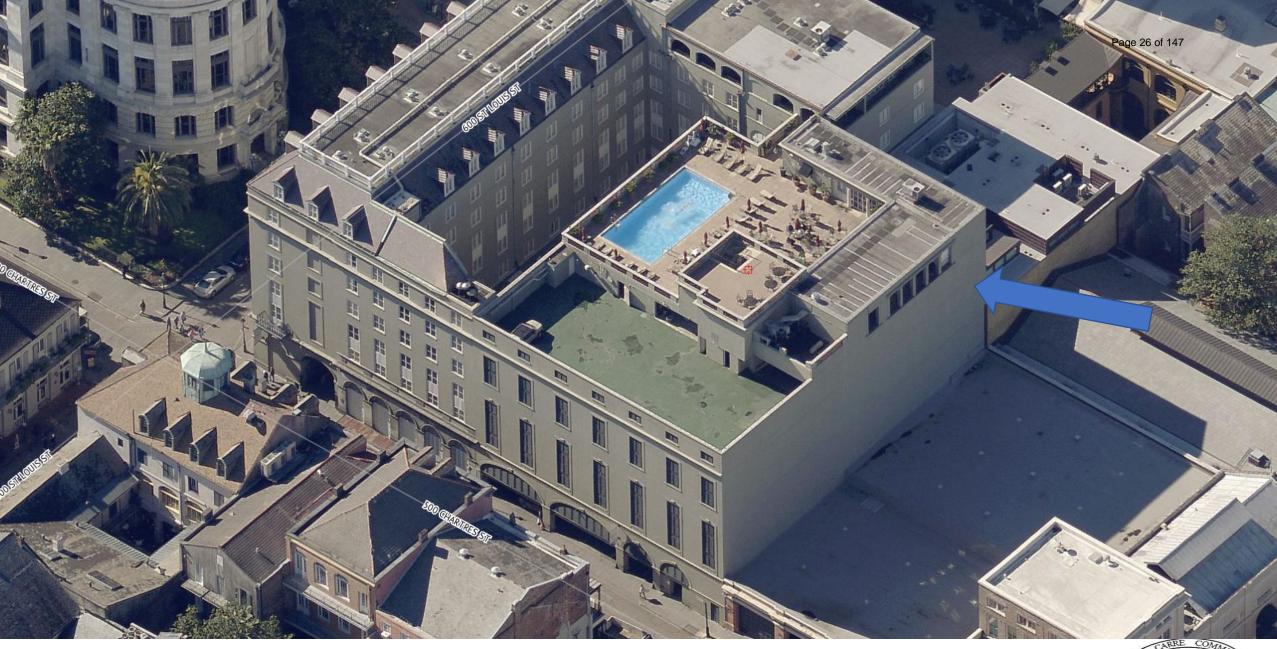


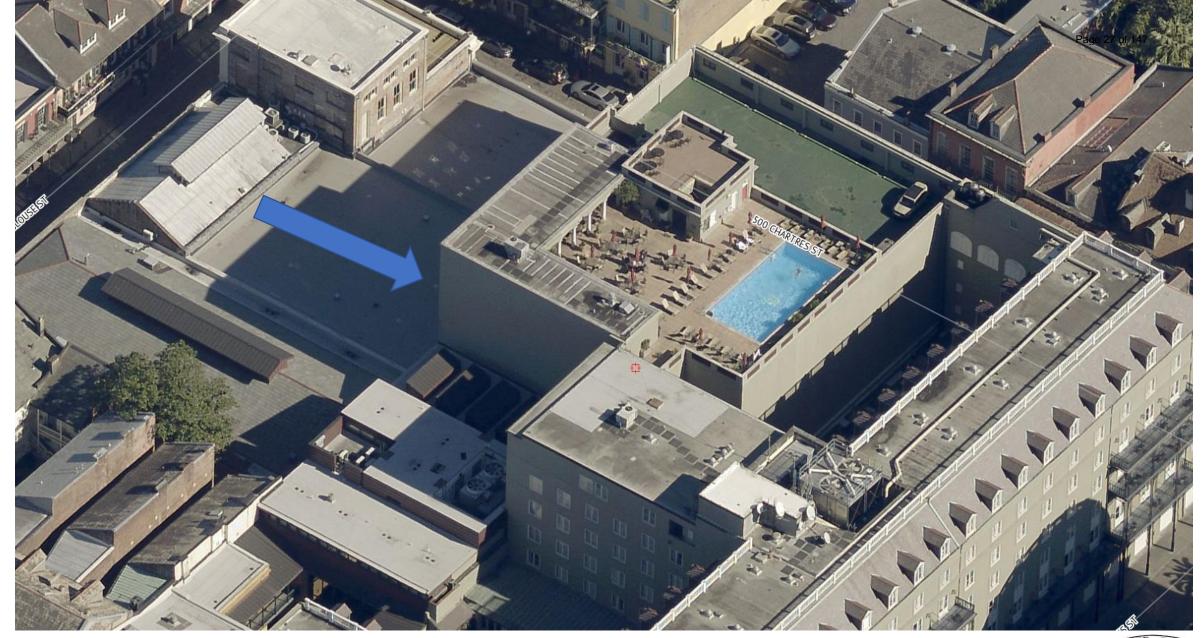


621 St Louis

















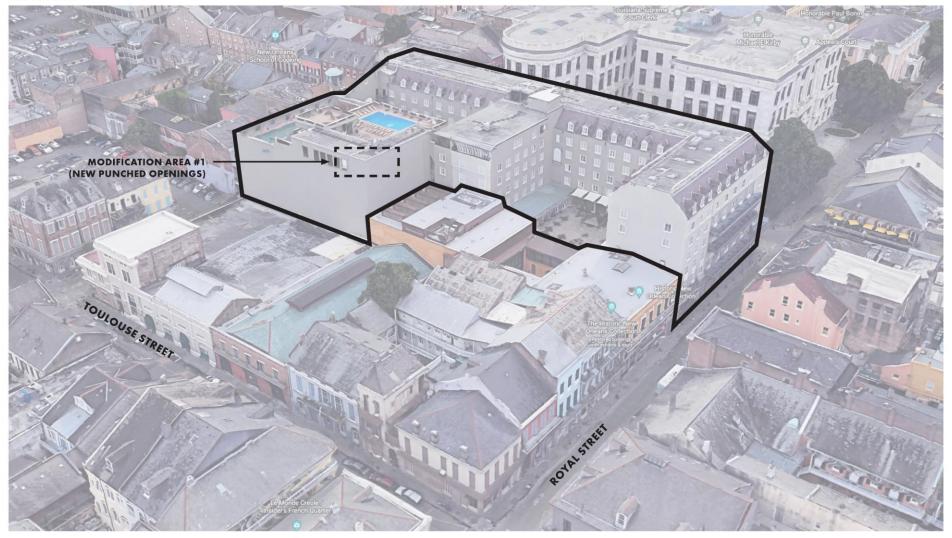






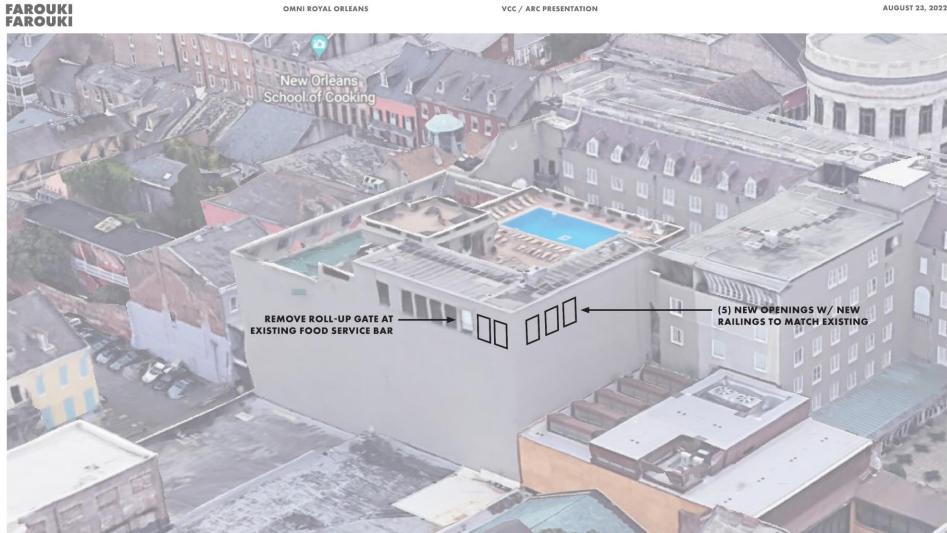






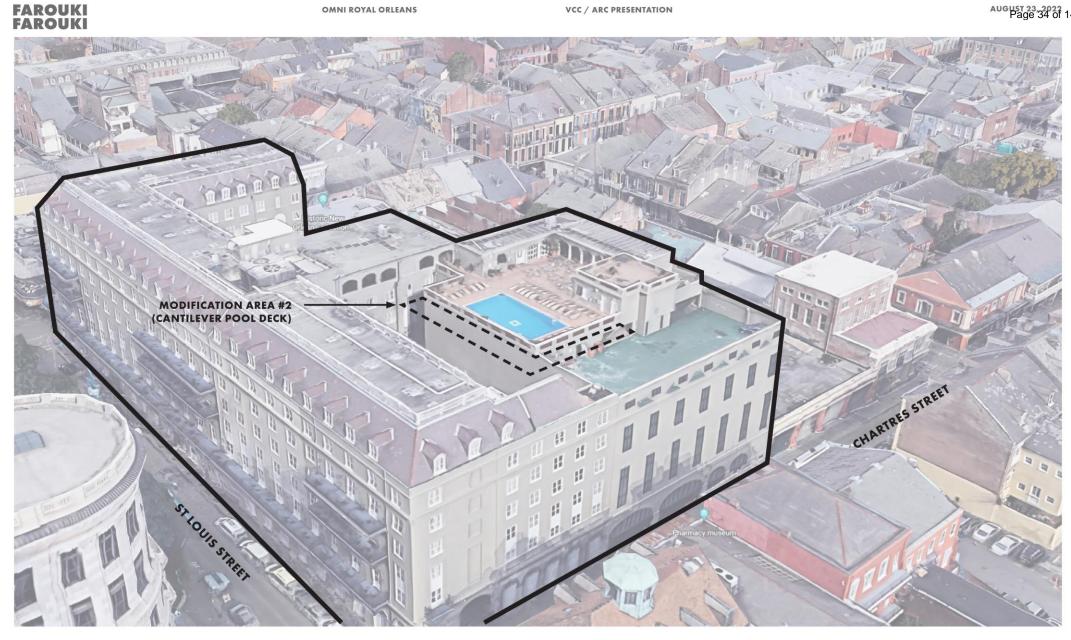
BIRD'S EYE VIEW - NORTH





MODIFICATION AREA #1

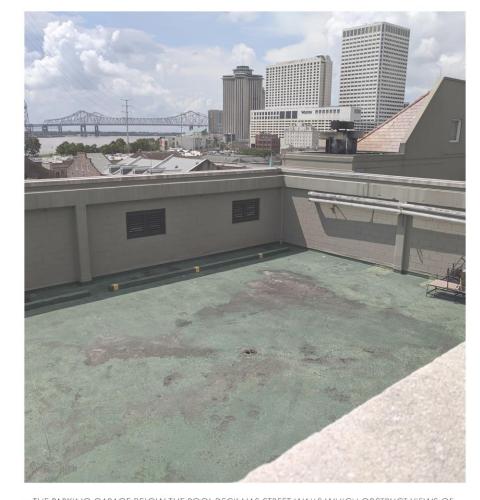




VCC / ARC PRESENTATION



- THE POOL DECK WILL BE CANTILEVERED 7'-0" OVER THE LIGHT WELL.
- THE GUARDRAIL DETAIL, FASCIA PROPORTIONS, AND MATERIALS WILL MATCH EXISTING.



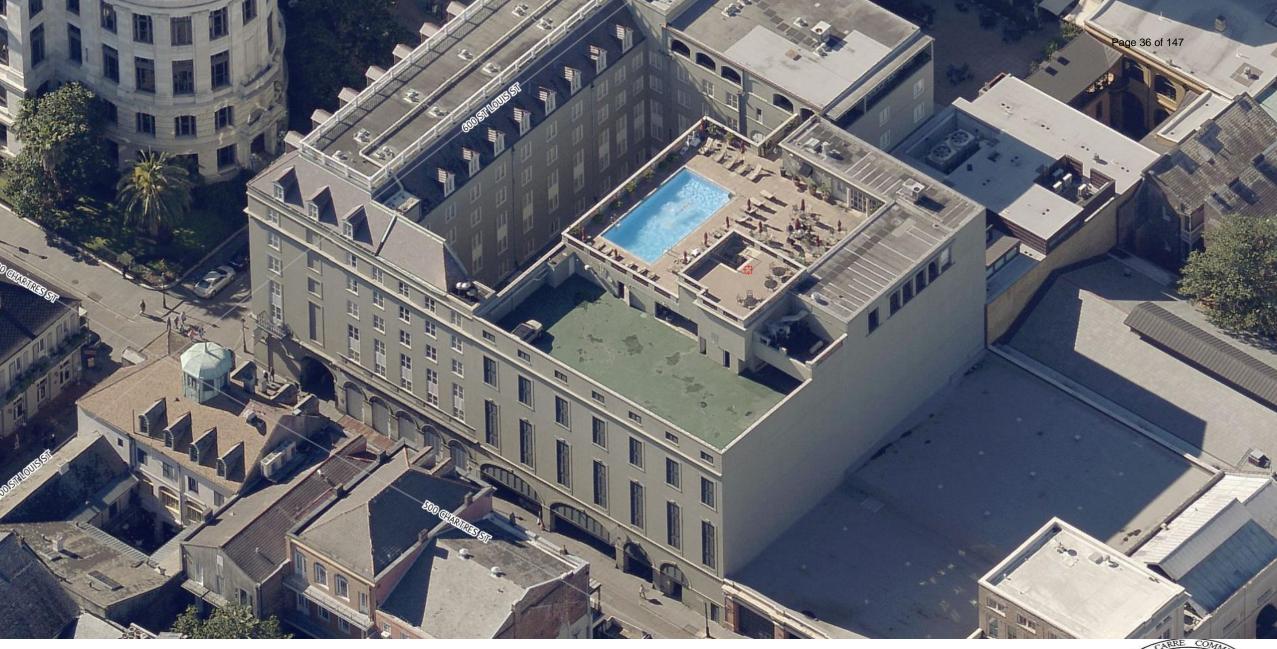
- THE PARKING GARAGE BELOW THE POOL DECK HAS STREET-WALLS WHICH OBSTRUCT VIEWS OF THE POOL DECK FROM THE RIGHT-OF-WAY.
- THE POOL DECK WILL BE CANTILEVERED 4'-0" OVER THE PARKING GARAGE.

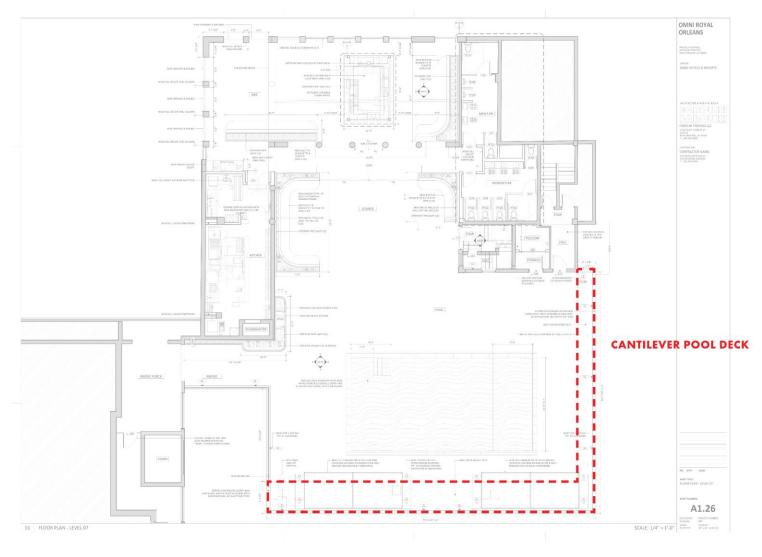
VIEW FROM ACROSS LIGHT WELL TOWARD EXISTING POOL DECK

VIEW FROM POOL DECK DOWN TOWARD PARKING GARAGE ROOF



FAROUKI FAROUKI



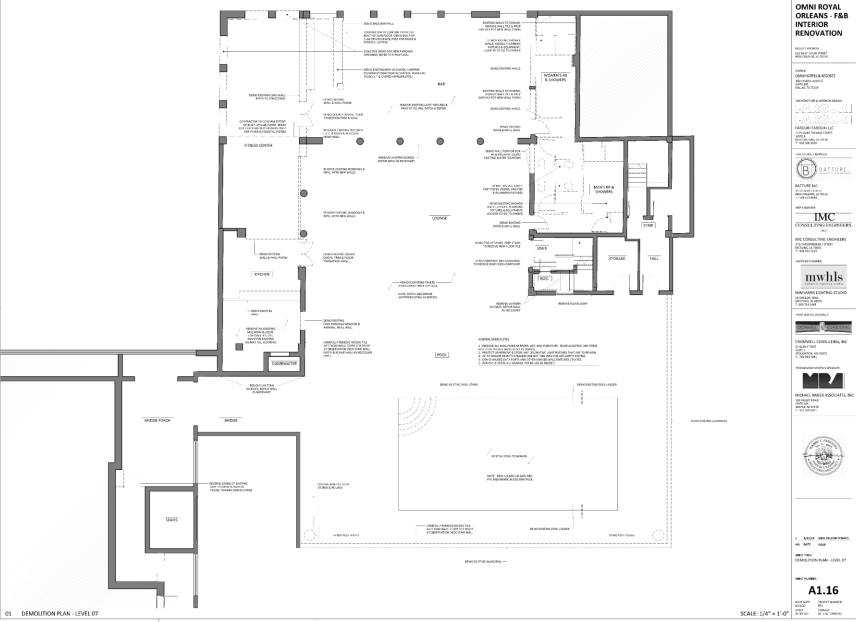


PROPOSED ROOFTOP FLOOR PLAN

0

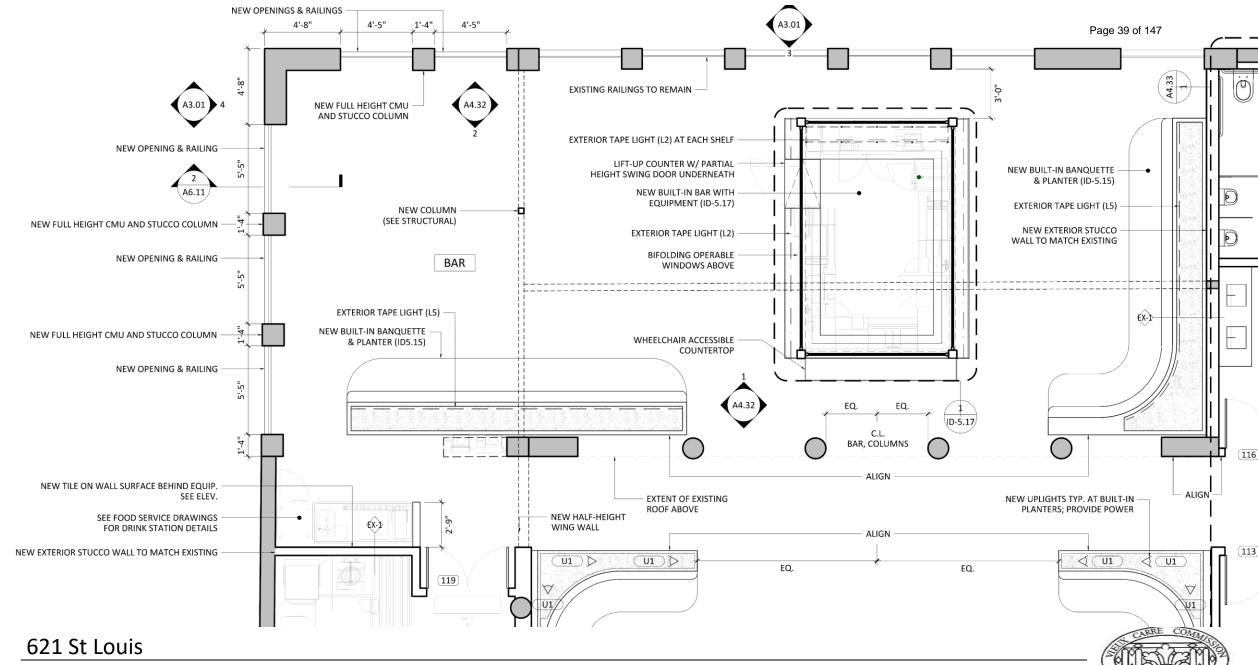


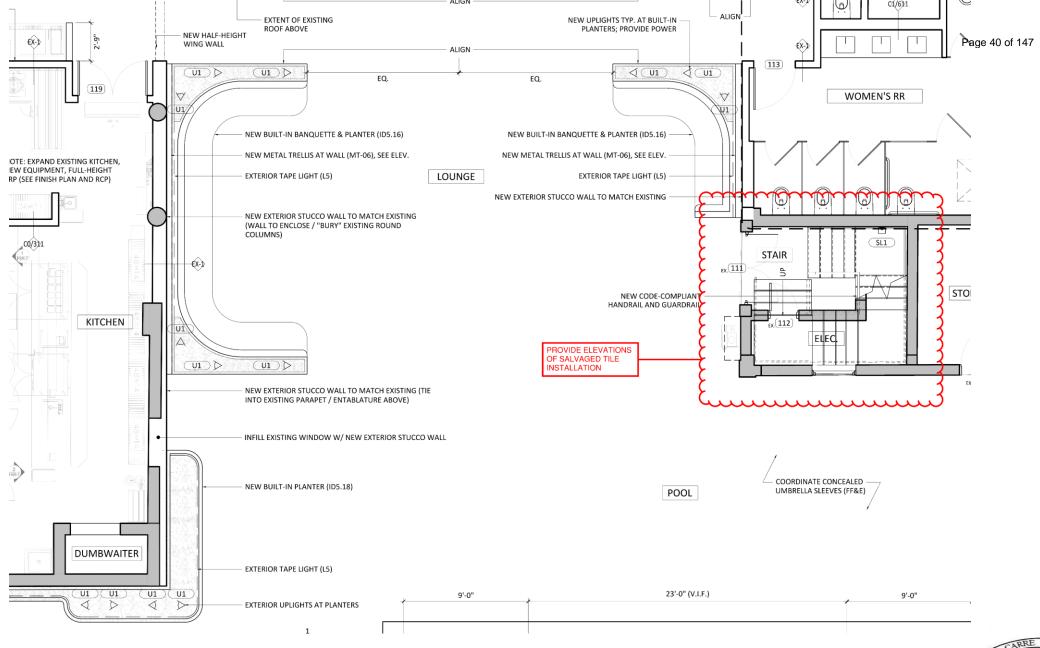
FAROUKI FAROUKI

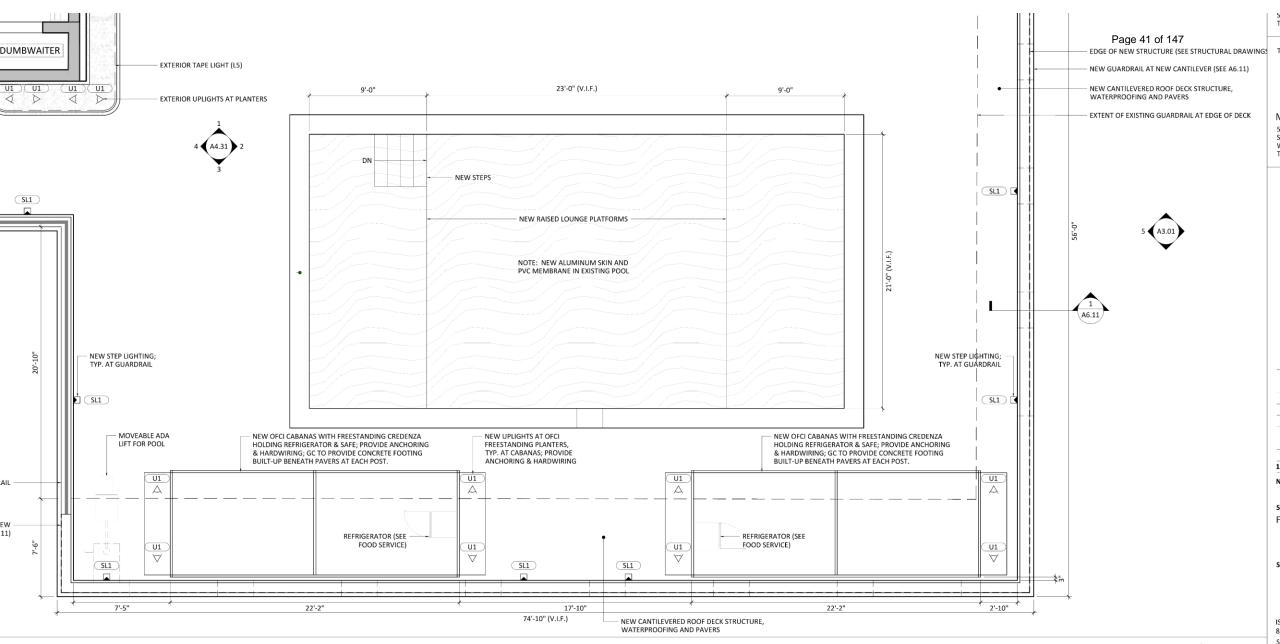


621 St Louis



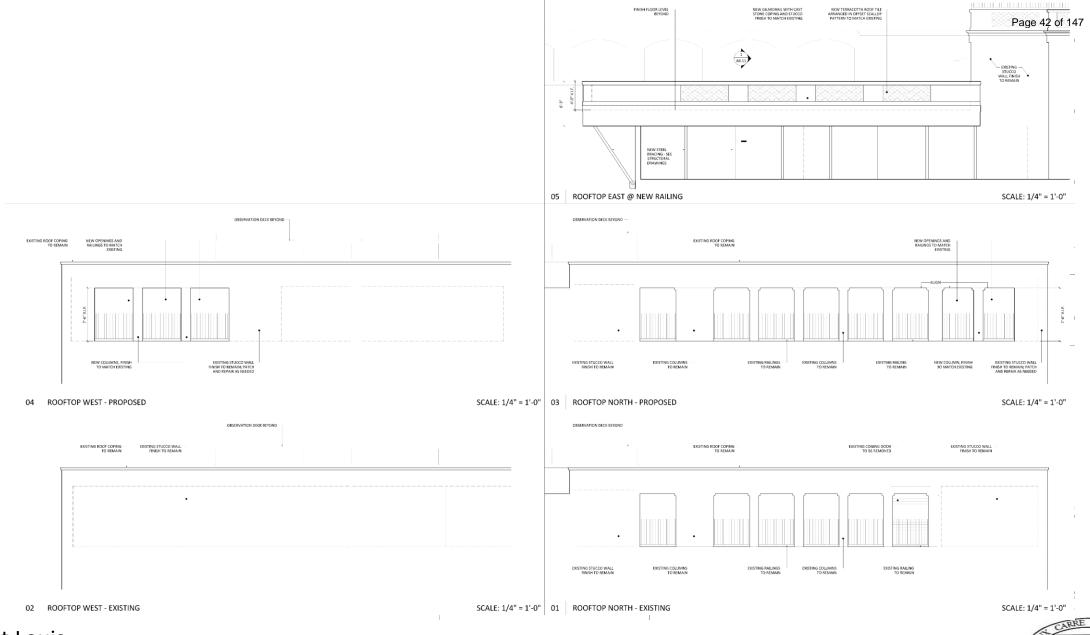


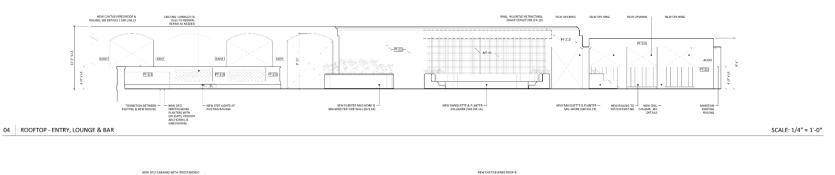


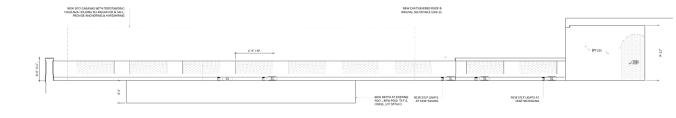


621 St Louis

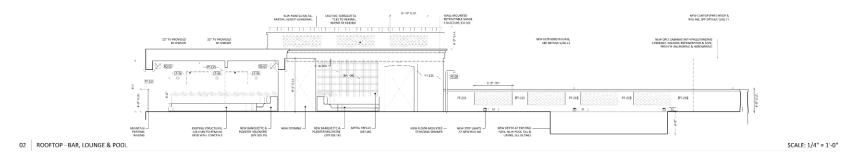


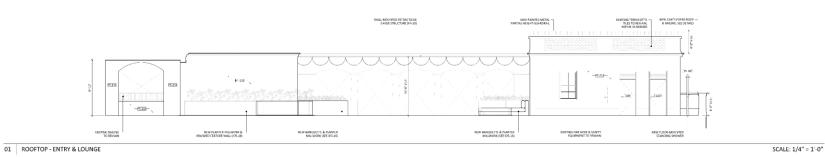






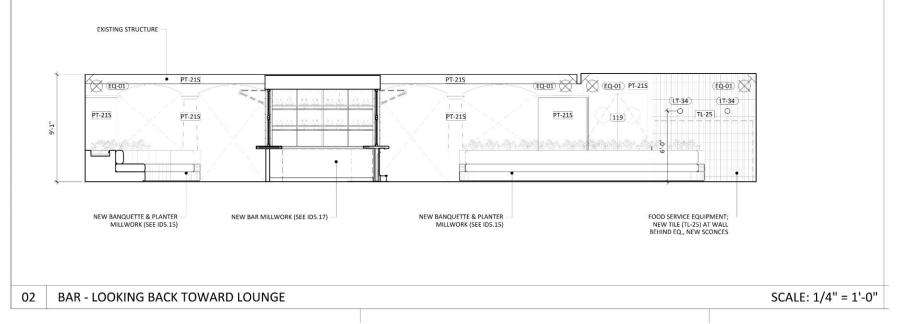
03 ROOFTOP - POOL

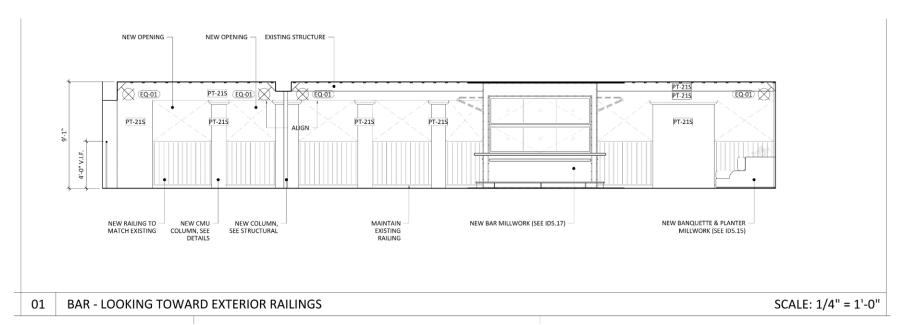




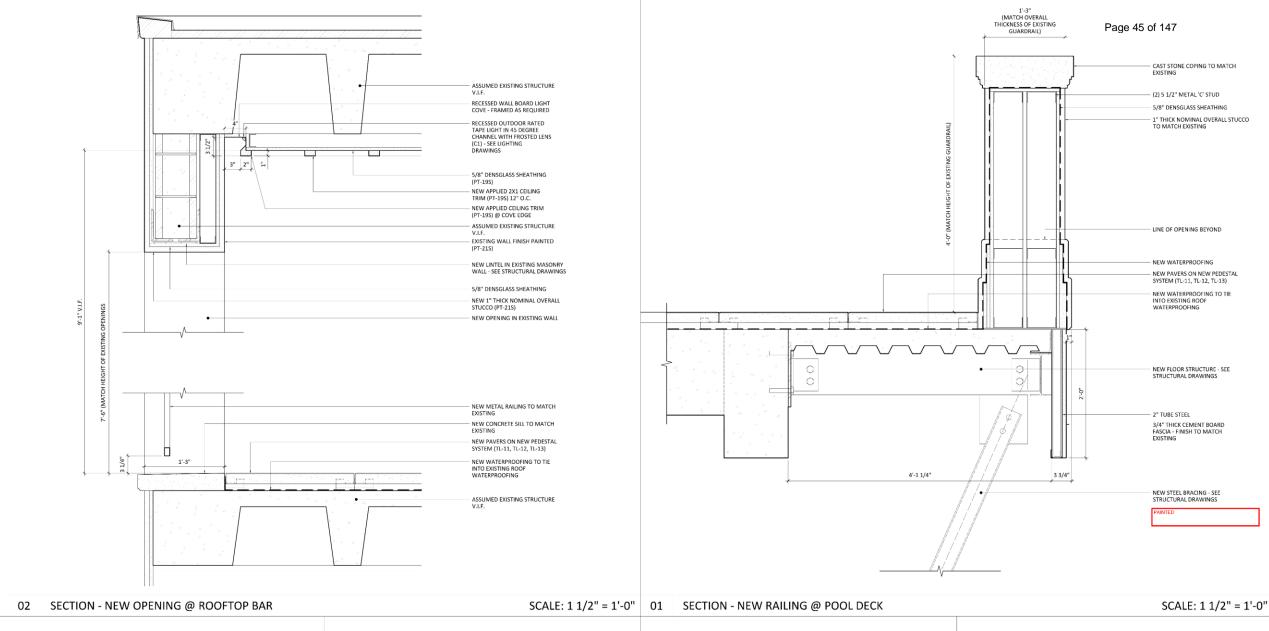
621 St Louis

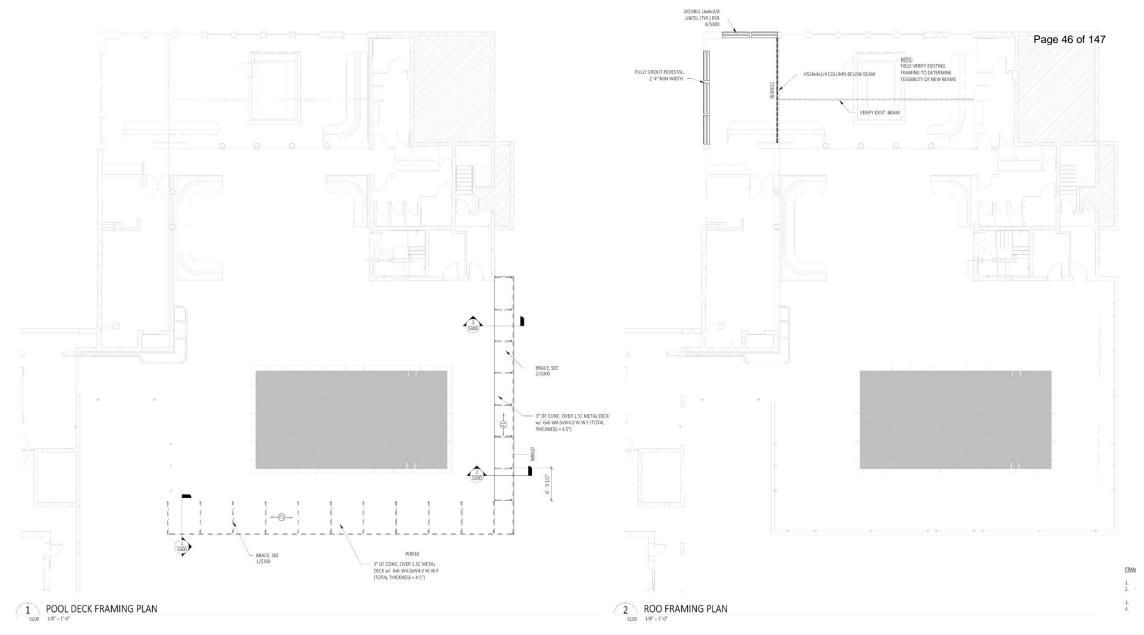






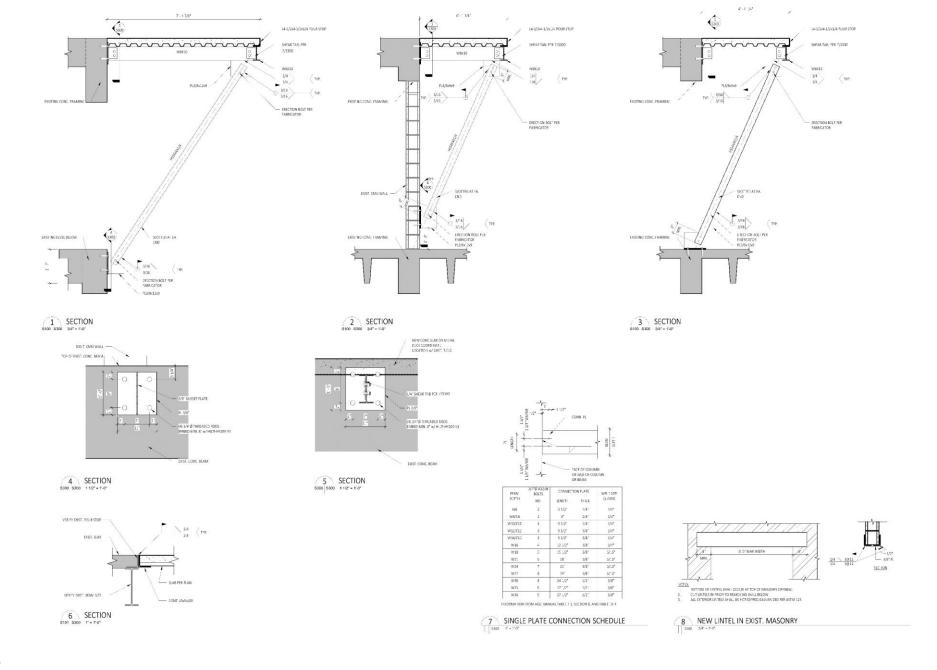






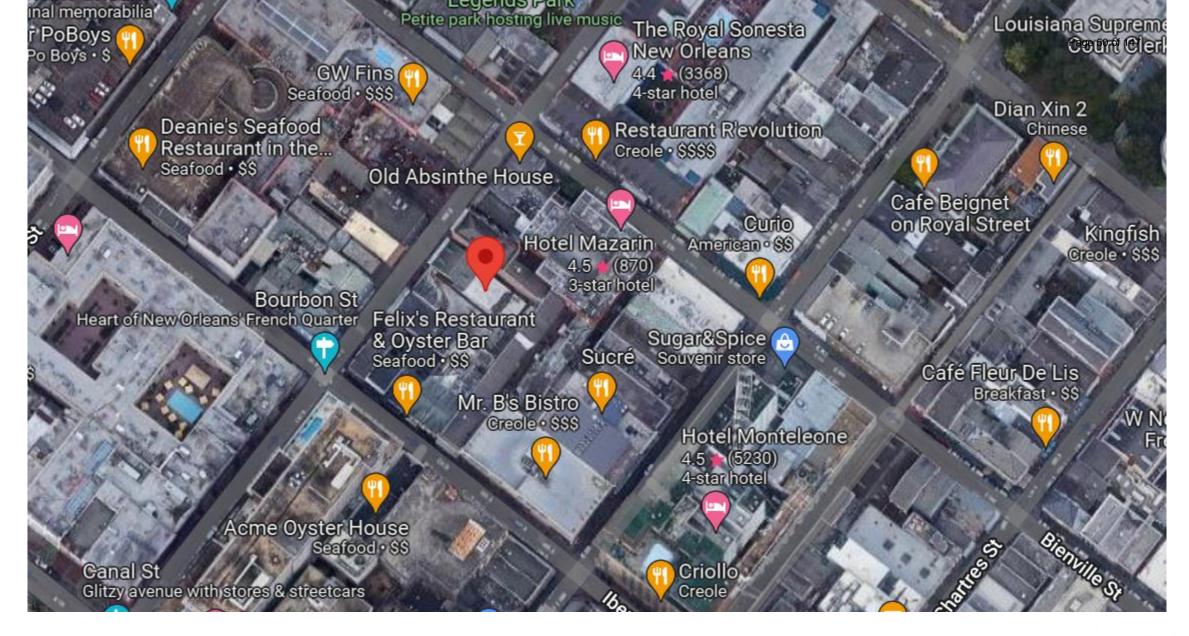






















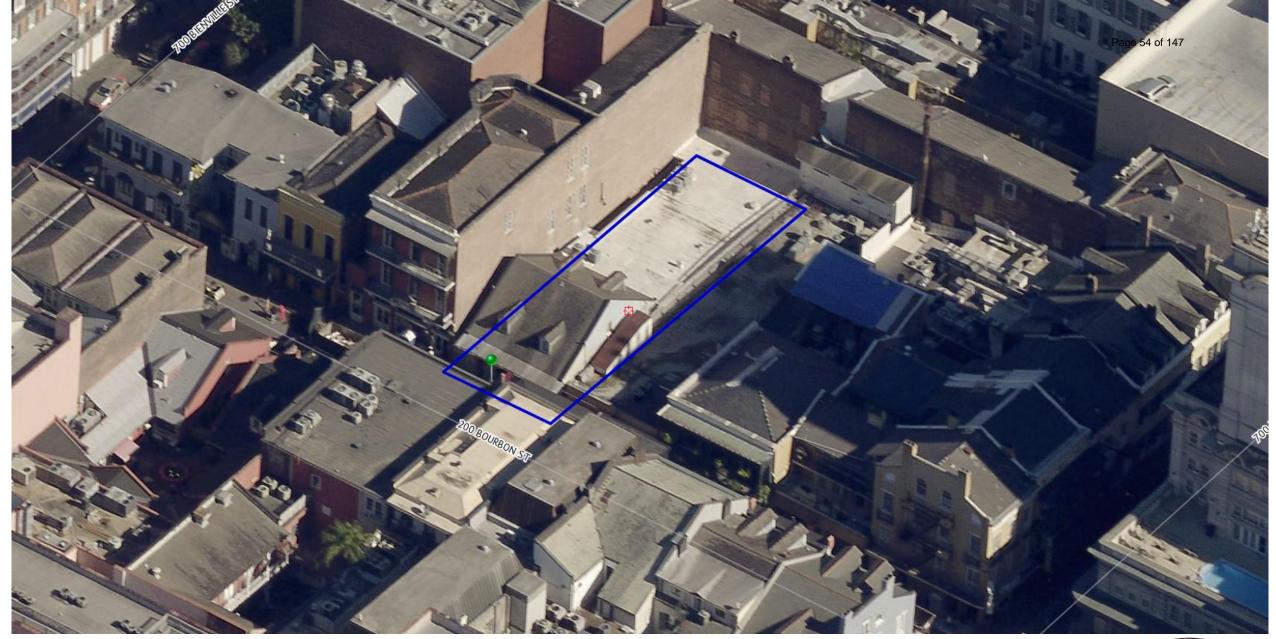






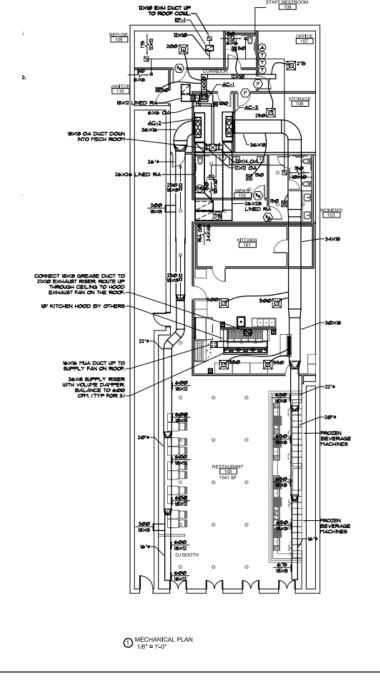


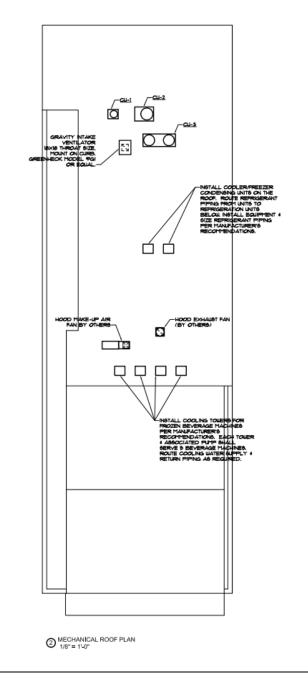




220-22 Bourbon

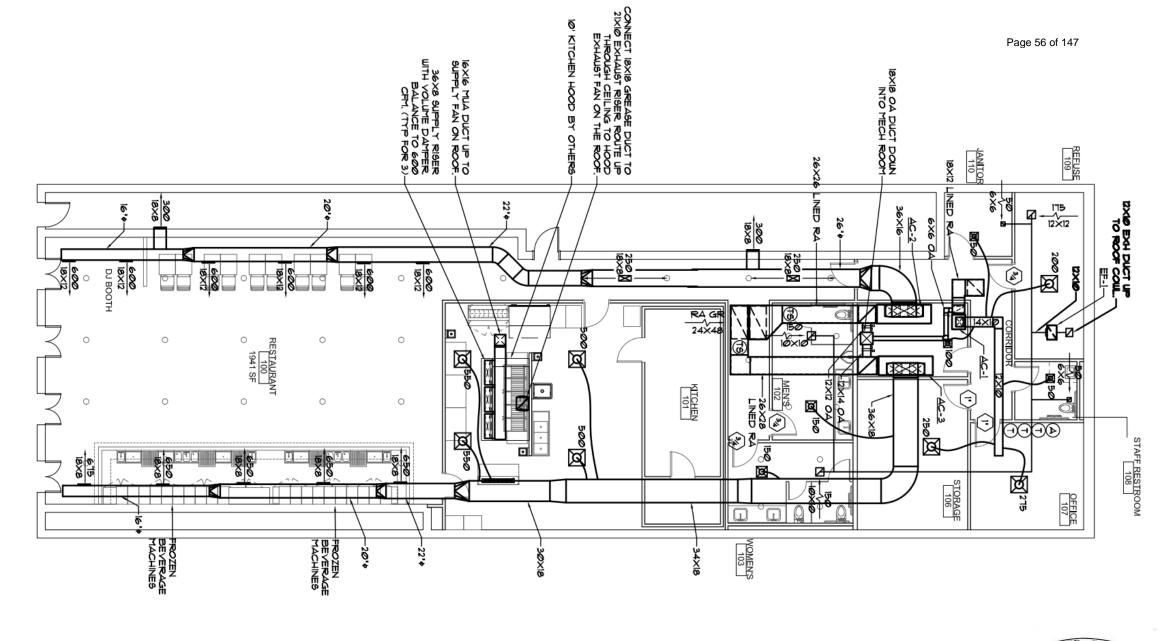






220-22 Bourbon

- COMPANIE C



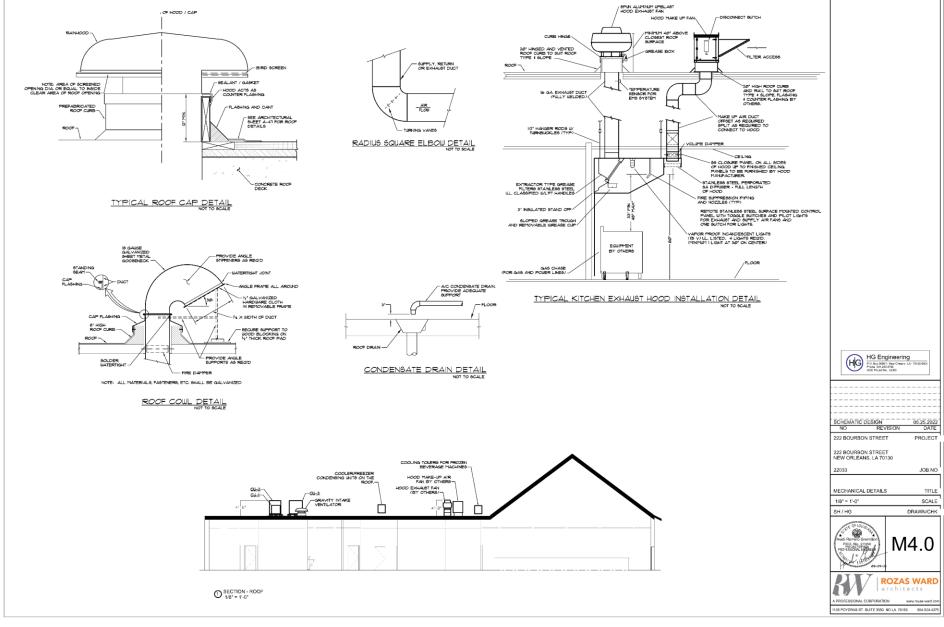






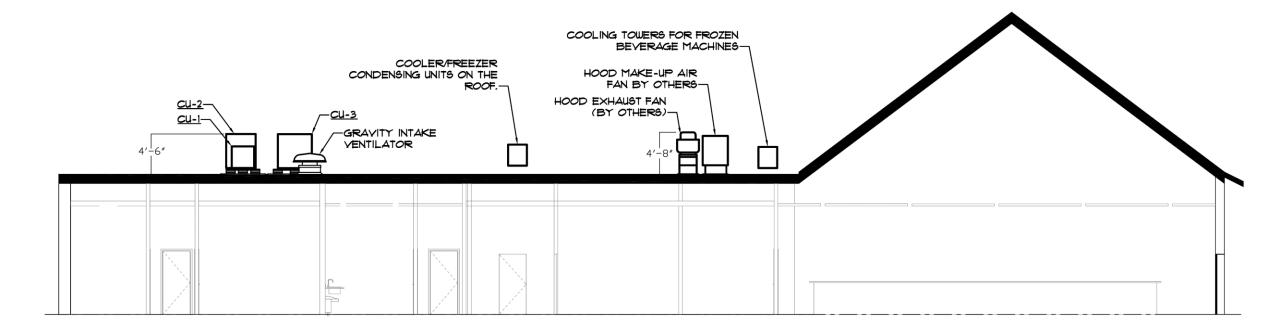






220-22 Bourbon

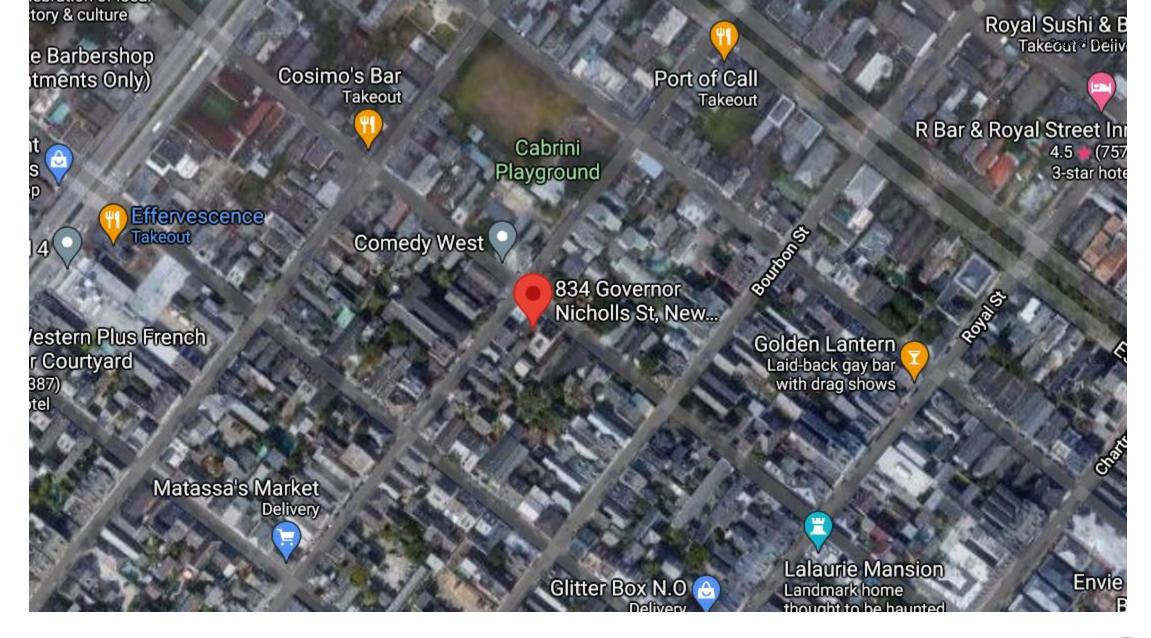




1/8" = 1'-0"

220-22 Bourbon

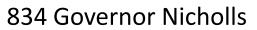
834 Governor Nicholls















834 Governor Nicholls







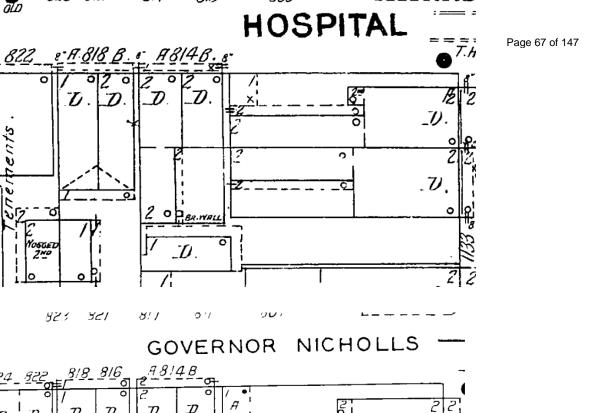


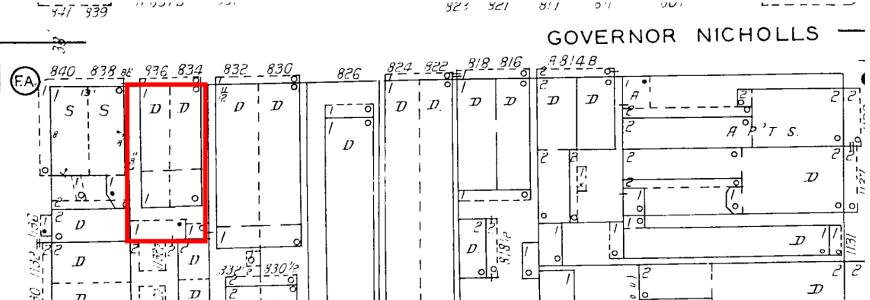






834 Governor Nicholls – 1964





834 Governor Nicholls 1908, 1940

836 834 832 830

D.W.

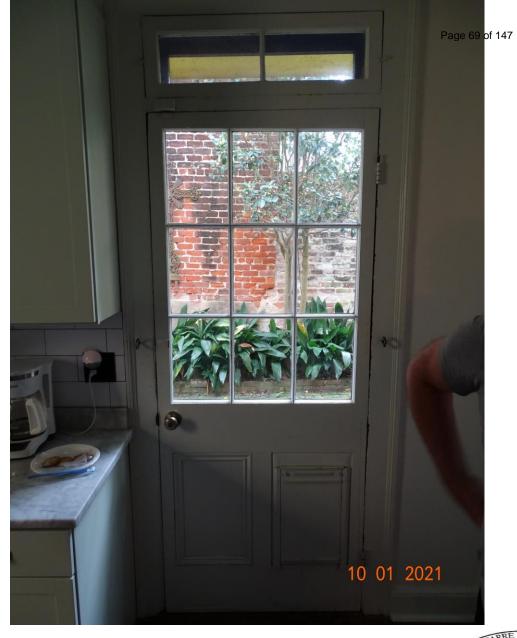
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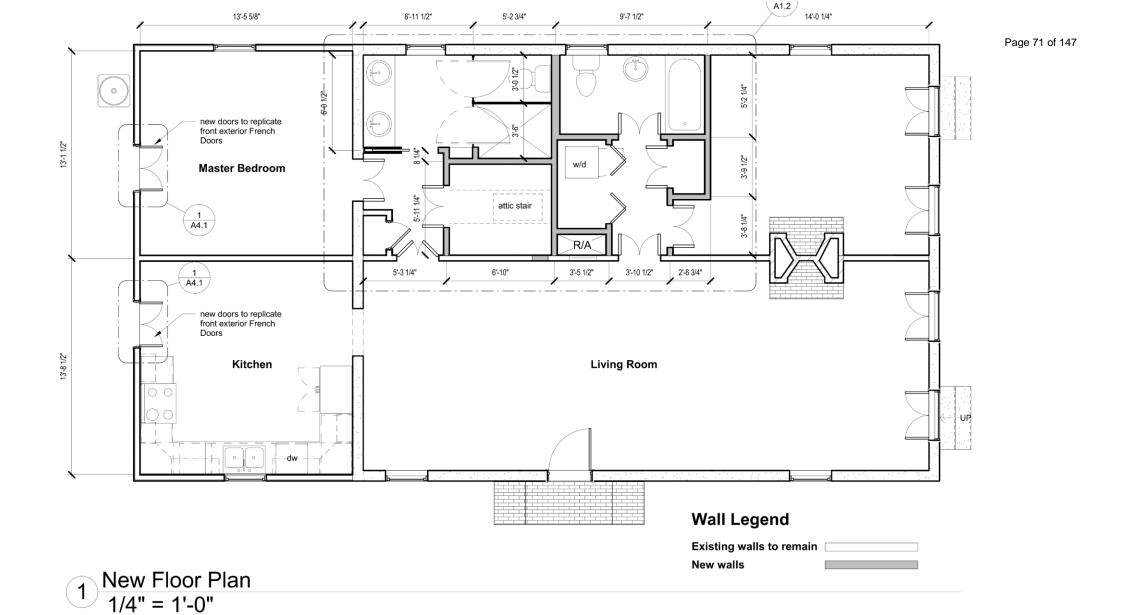




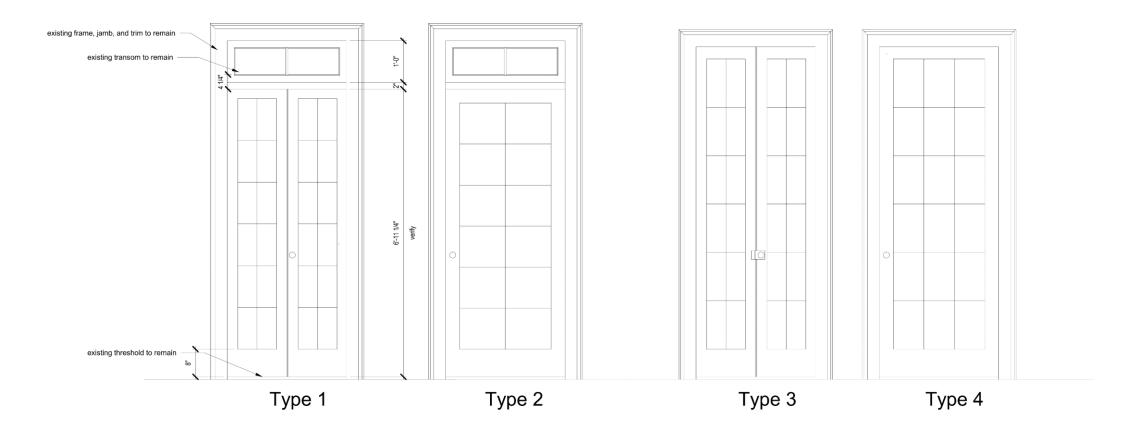
834 Governor Nicholls



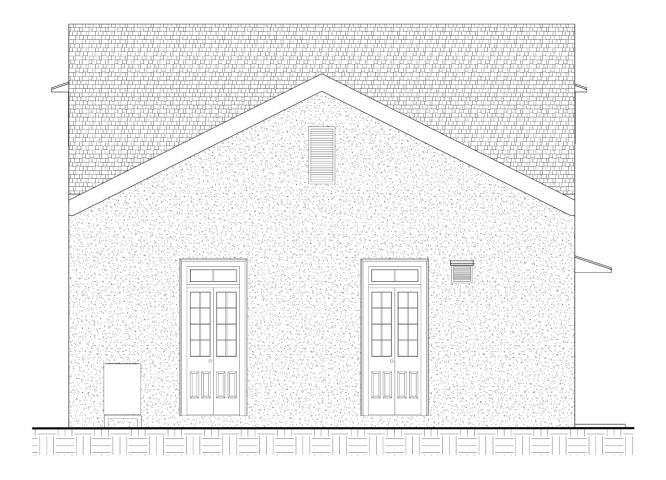




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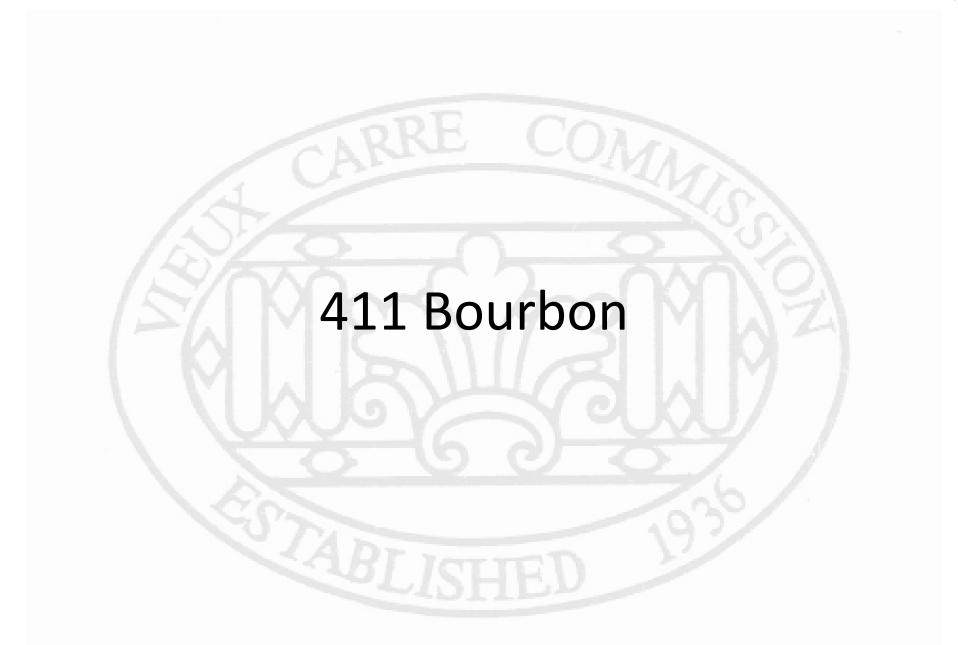


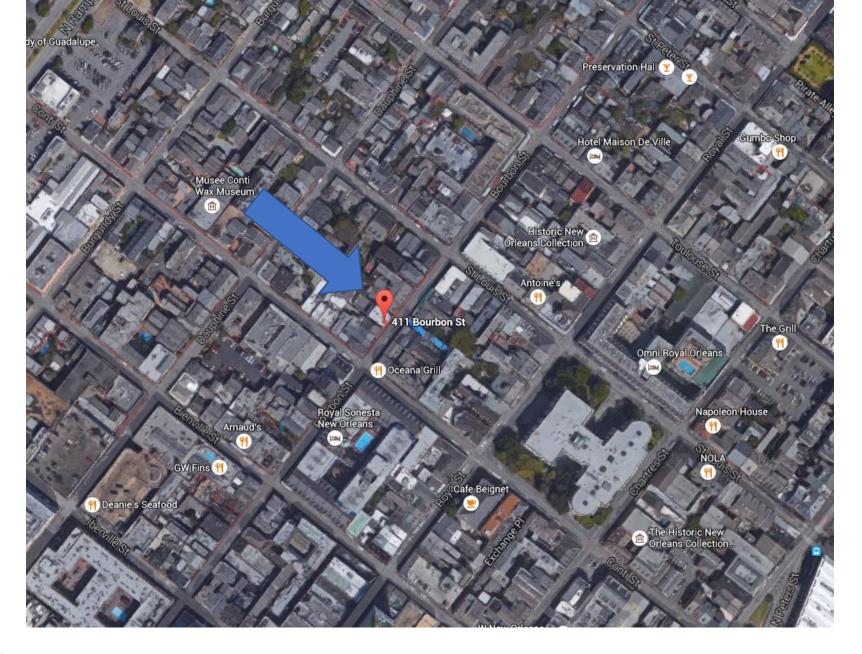




Rear with Front Door Reproductions
1/4" = 1'-0"























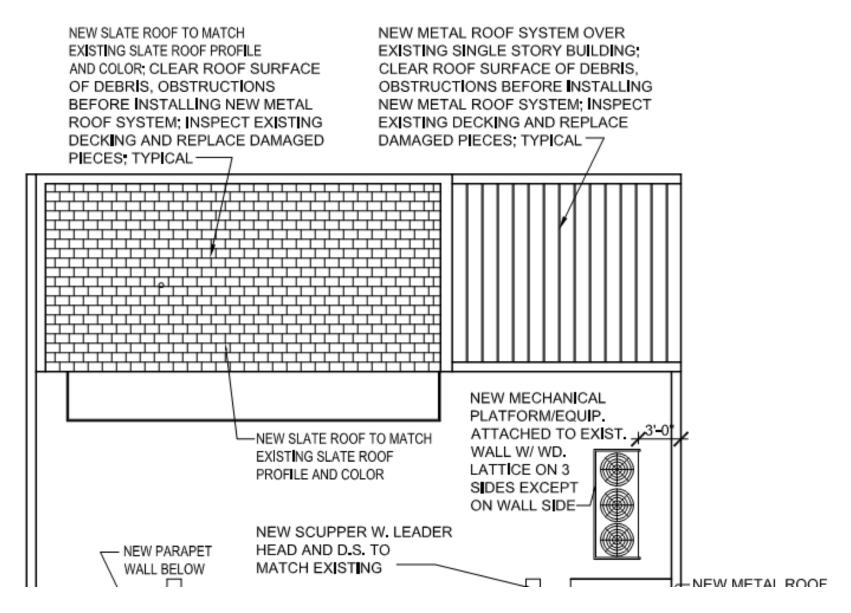
411 Bourbon



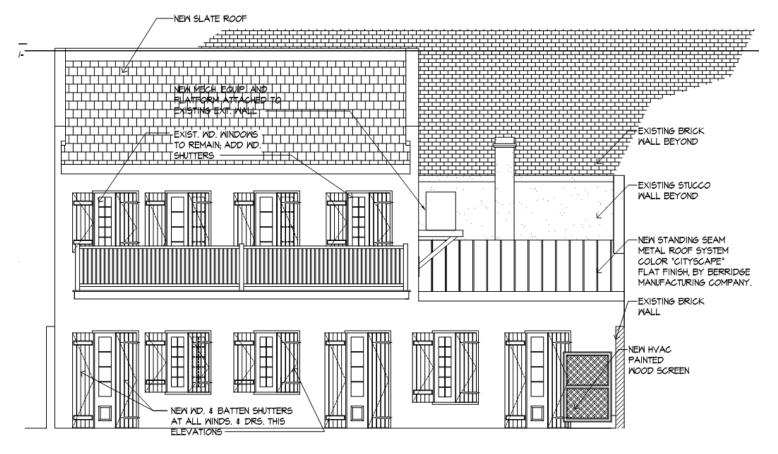


411 Bourbon









CENERAL NOTE

I. OUTBACK BUILDING FACADE- EXISTING STUCCO, WOOD TRIM, DOORS, WOOD RAILS TO BE PAINTED. COLOR TO BE SELECTED BY INTERIOR DESIGNER/ONNER AND COORDINATED WITH VCC GUIDELINES FOR PAINTING. VCC APPROVAL REQUIRED 2. STUCCO REPAIRS TO BE DONE BASED ON VCC GUIDELINES. MATCH EXISTING STUCCO MATERIAL, TEXTURE & SCORE PAITERN.

03 PROPOSED BACK BUILDING FRONT ELEVATION
A2.2 411 BOURBON STREET Scale 3/16*-1'-0*









411 Bourbon – Mechanical Equipment – Rear Building – As Built

VCC Architectural Committee



411 Bourbon – Mechanical Equipment – Rear Building – As Built





411 Bourbon – Mechanical Equipment – Rear Building – As Built











411 Bourbon – Mechanical Equipment – Rear Building – As Built

VCC Architectural Committee



411 Bourbon – Mechanical Equipment – Rear Building – As Built





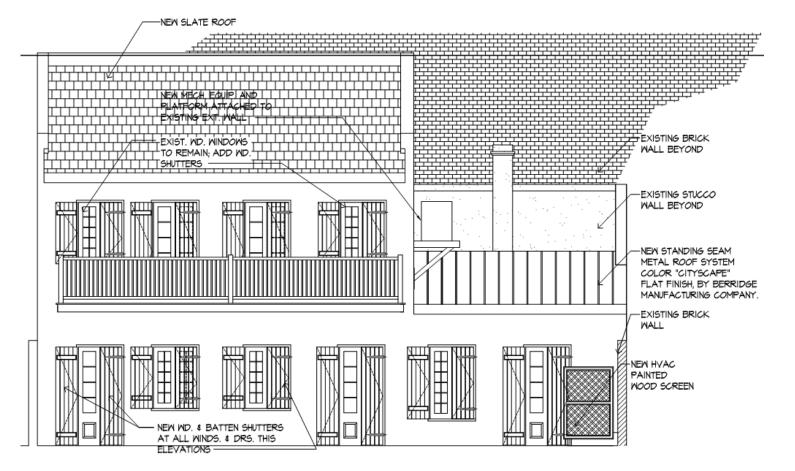






411 Bourbon – Rear Building – Previous Conditions





GENERAL NOTE:

I. OUTBACK BUILDING FACADE- EXISTING STUCCO, WOOD TRIM, DOORS, WOOD RAILS TO BE PAINTED. COLOR TO BE SELECTED BY INTERIOR DESIGNER/OWNER AND COORDINATED WITH VCC GUIDELINES FOR PAINTING. VCC APPROVAL REQUIRED 2. STUCCO REPAIRS TO BE DONE BASED ON VCC GUIDELINES. MATCH EXISTING STUCCO MATERIAL, TEXTURE & SCORE PATTERN.



411 Bourbon – Exterior Conduit/Ducting – Rear Building – Approved Plans





411 Bourbon – Exterior Conduit/Ducting – Rear Building – As Built







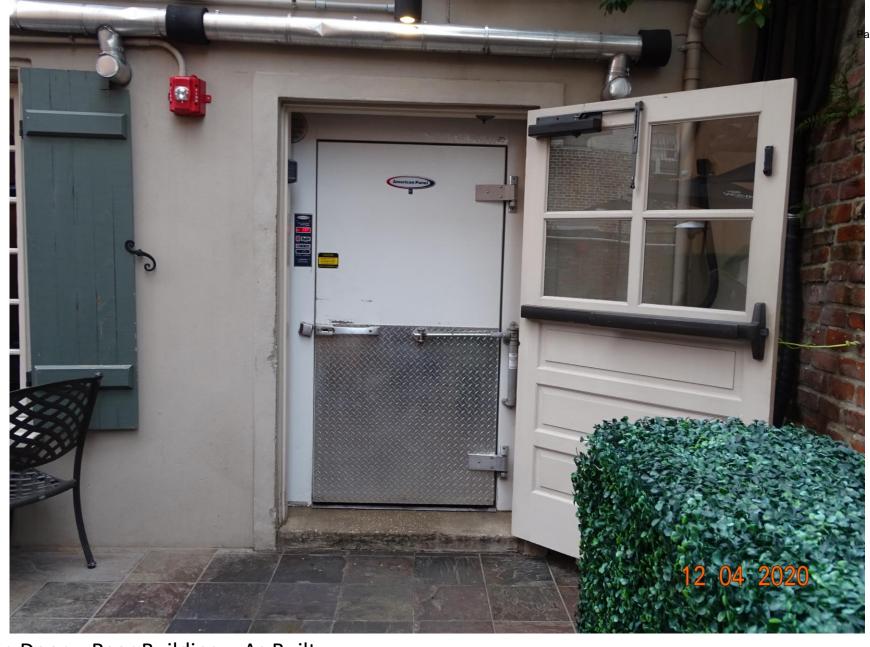




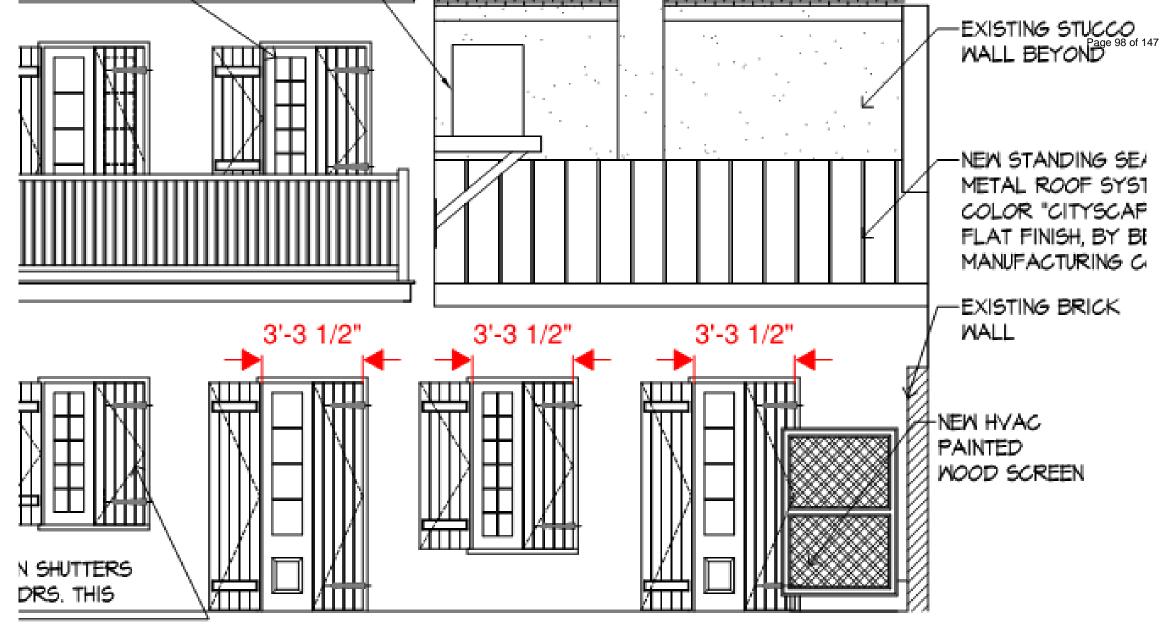
411 Bourbon – Walk-in Door – Rear Building – As Built











411 Bourbon – Walk-in Door – Rear Building – As Built VCC Architectural Committee





411 Bourbon – Rear Building – Previous Conditions







































































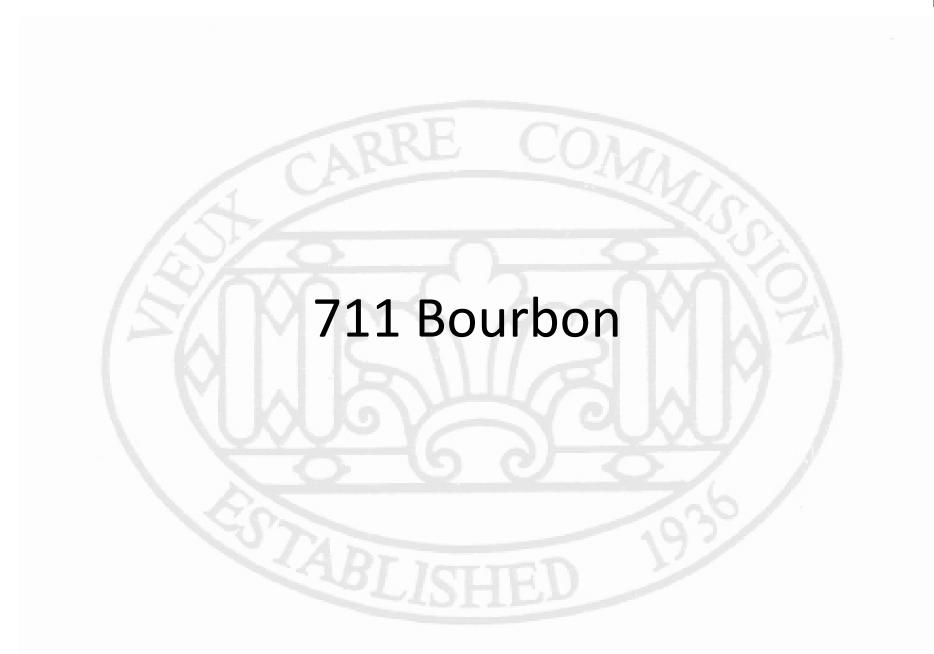


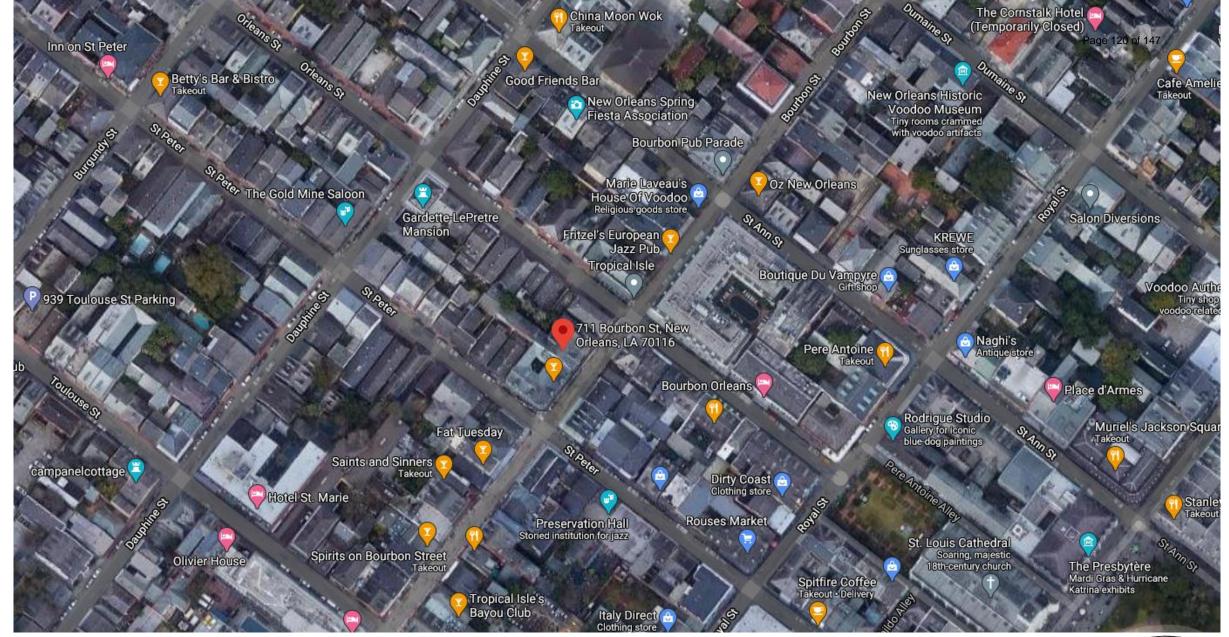




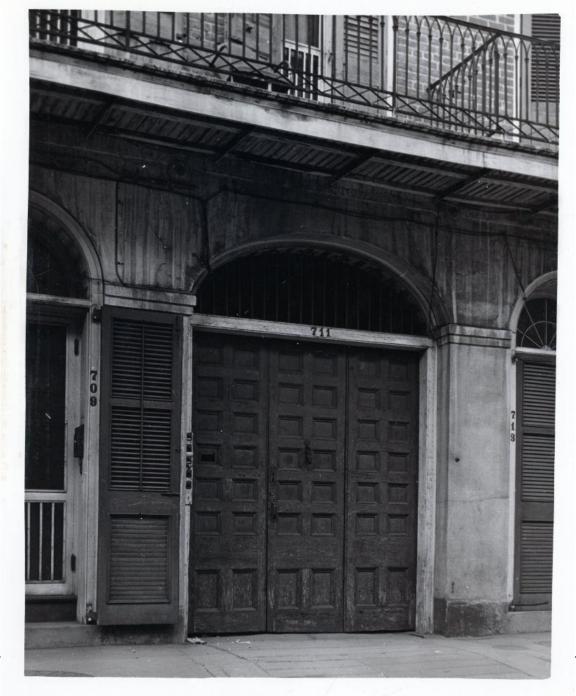




























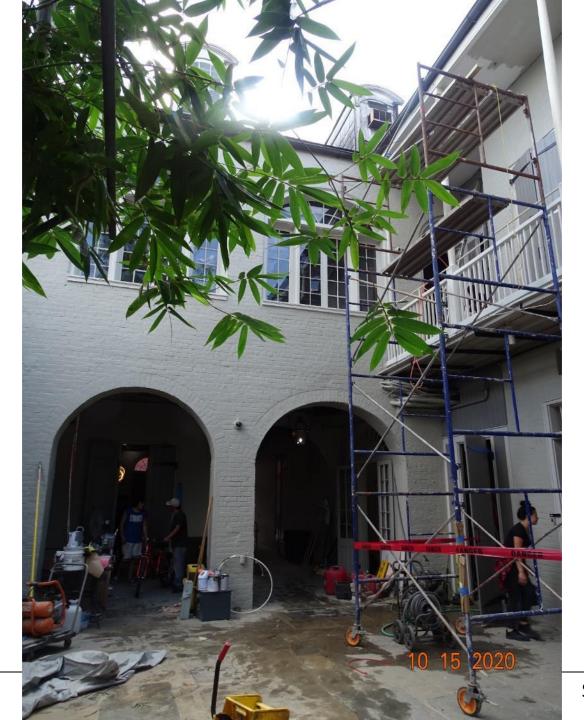
























September 27, 2022









711 Bourbon – Current Mechanical Equipment





711 Bourbon – Current Mechanical Equipment











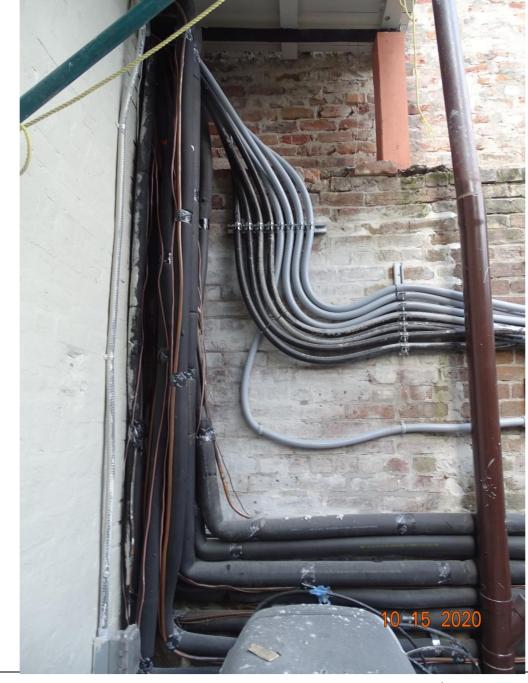
















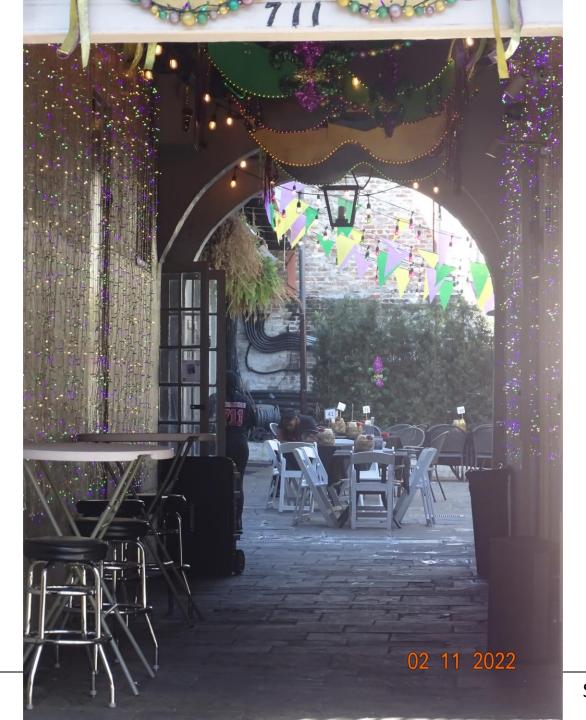


Heaters



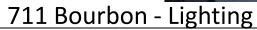
Heaters





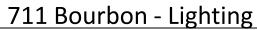
















VCC Architectural Committee

September 27, 2022

