

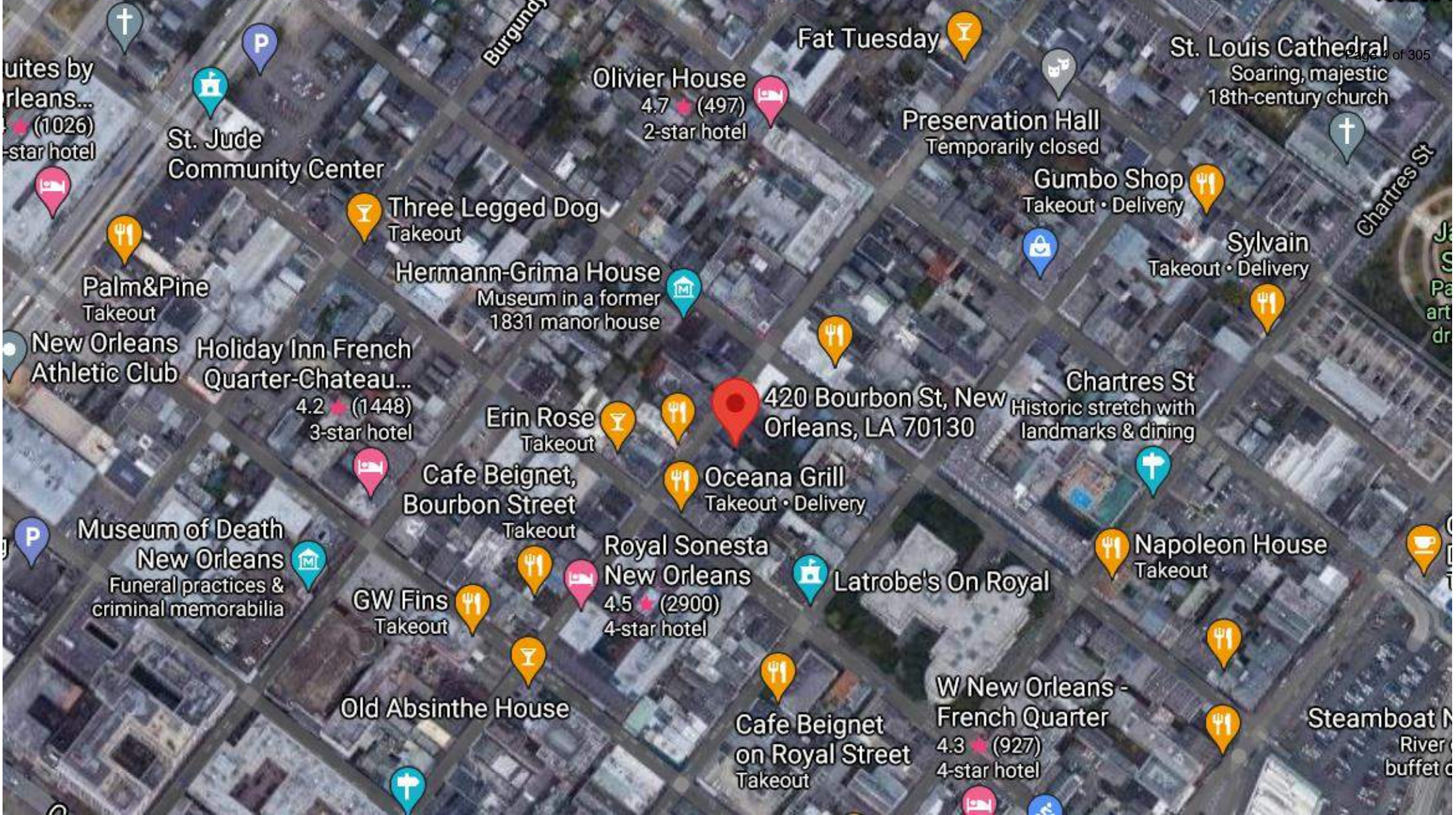
Vieux Carré Commission Architecture Committee Meeting

Tuesday, March 28, 2023



Old Business

420 Bourbon



420 Bourbon





420 Bourbon





420 Bourbon





420 Bourbon – 1980



420 Bourbon – 1987



420 Bourbon – 1987

VCC Architectural Committee

March 28, 2023





420 Bourbon





420 Bourbon





420 Bourbon

VCC Architectural Committee

Jan 12, 2023 11:26:37 AM

March 28, 2023





420 Bourbon

VCC Architectural Committee

March 28, 2023





Jan 12, 2023 11:27:23 AM

420 Bourbon

VCC Architectural Committee

March 28, 2023





420 Bourbon

VCC Architectural Committee

March 28, 2023





420 Bourbon

VCC Architectural Committee

March 28, 2023



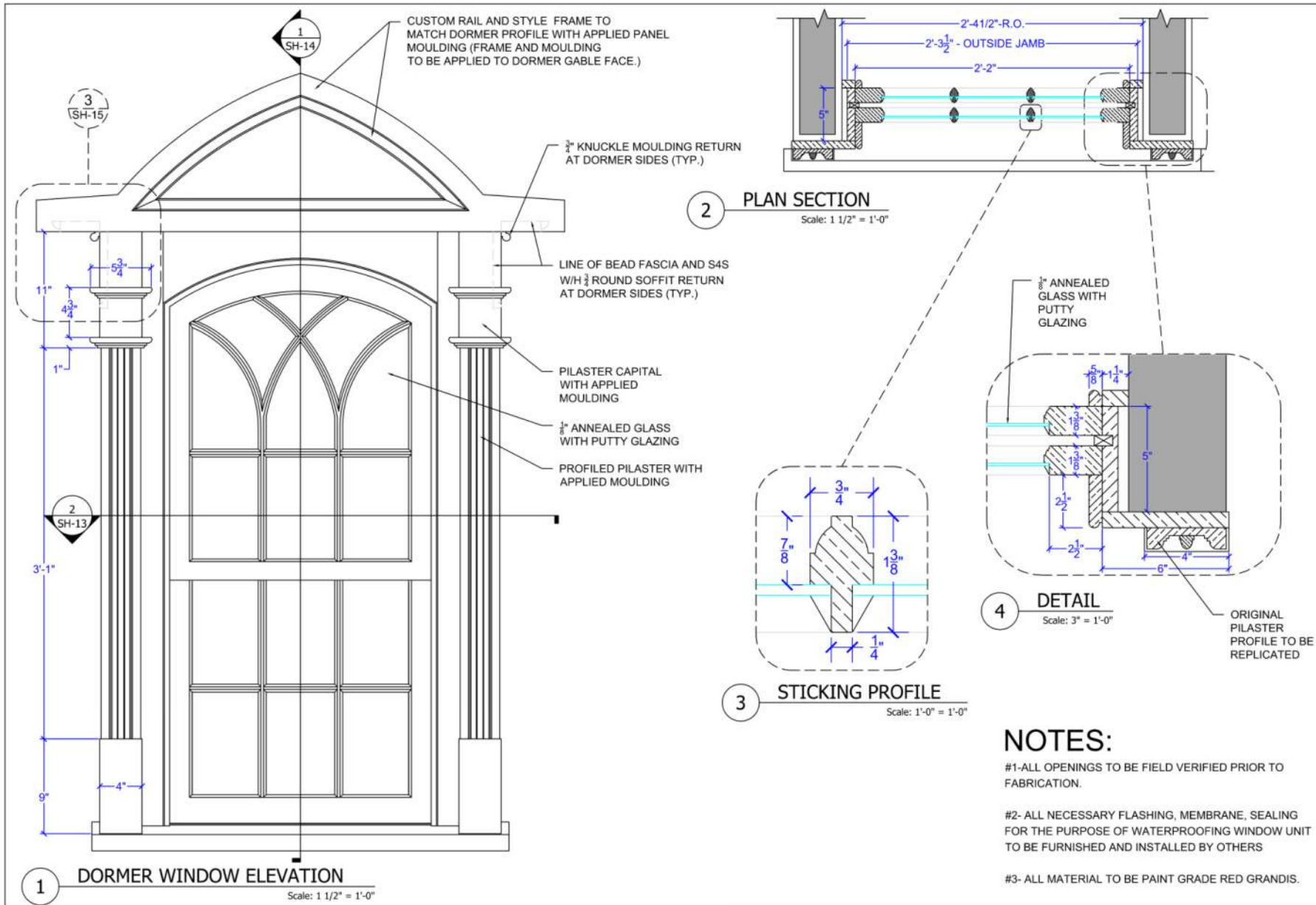


420 Bourbon

VCC Architectural Committee

March 28, 2023





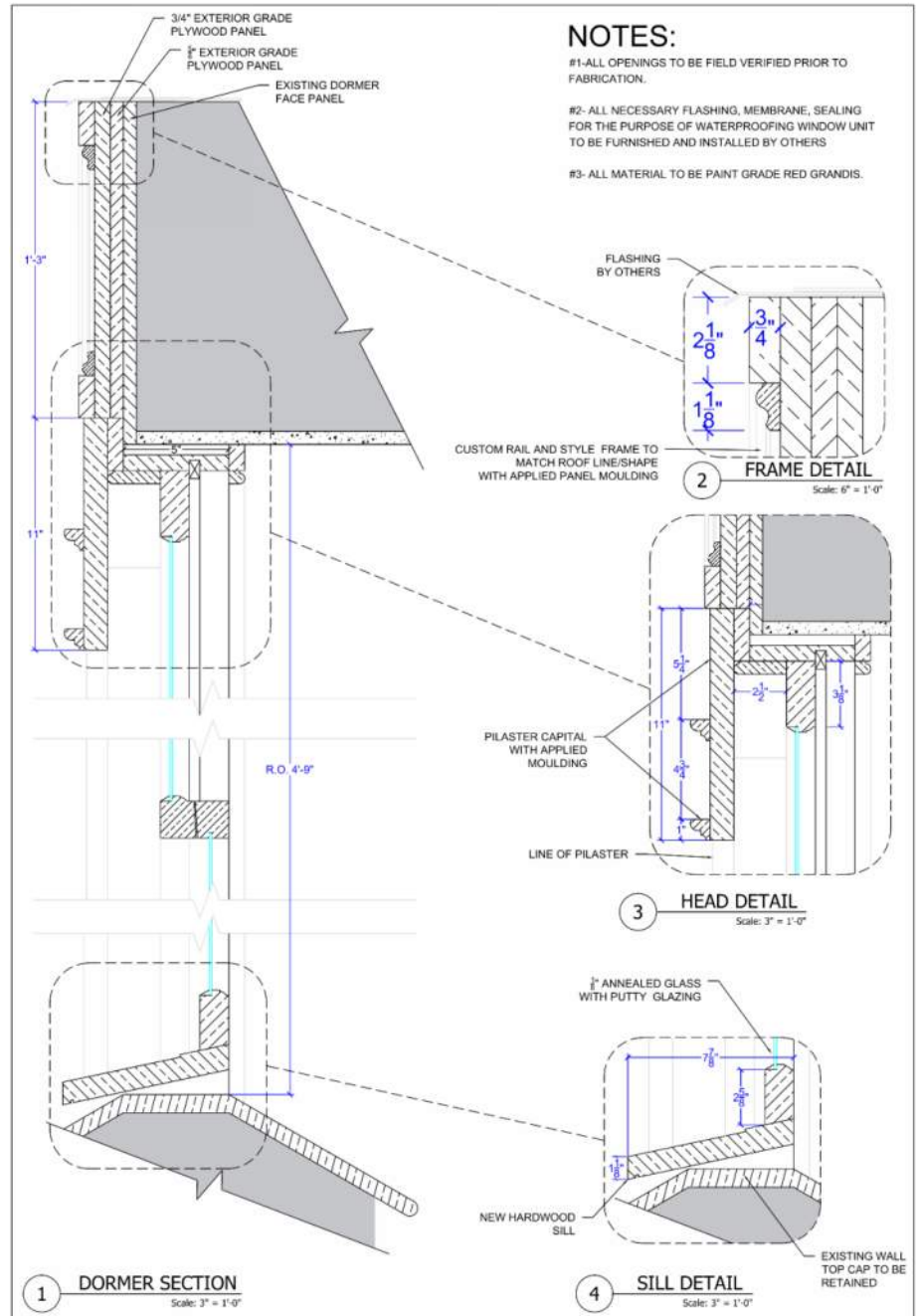
420 Bourbon St. - Renovation
NEW ORLEANS LOUISIANA

TWELVE 17 CREATIVE
E: JASON@1217CREATIVE.COM
PH: 504.253.1872

ORIGINAL: 10/06/2022
REVISION: 02/16/23
REVISION:
REVISION:

SH.13





NOTES:
 #1- ALL OPENINGS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
 #2- ALL NECESSARY FLASHING, MEMBRANE, SEALING FOR THE PURPOSE OF WATERPROOFING WINDOW UNIT TO BE FURNISHED AND INSTALLED BY OTHERS
 #3- ALL MATERIAL TO BE PAINT GRADE RED GRANDIS.

420 Bourbon

VCC Architectural Committee

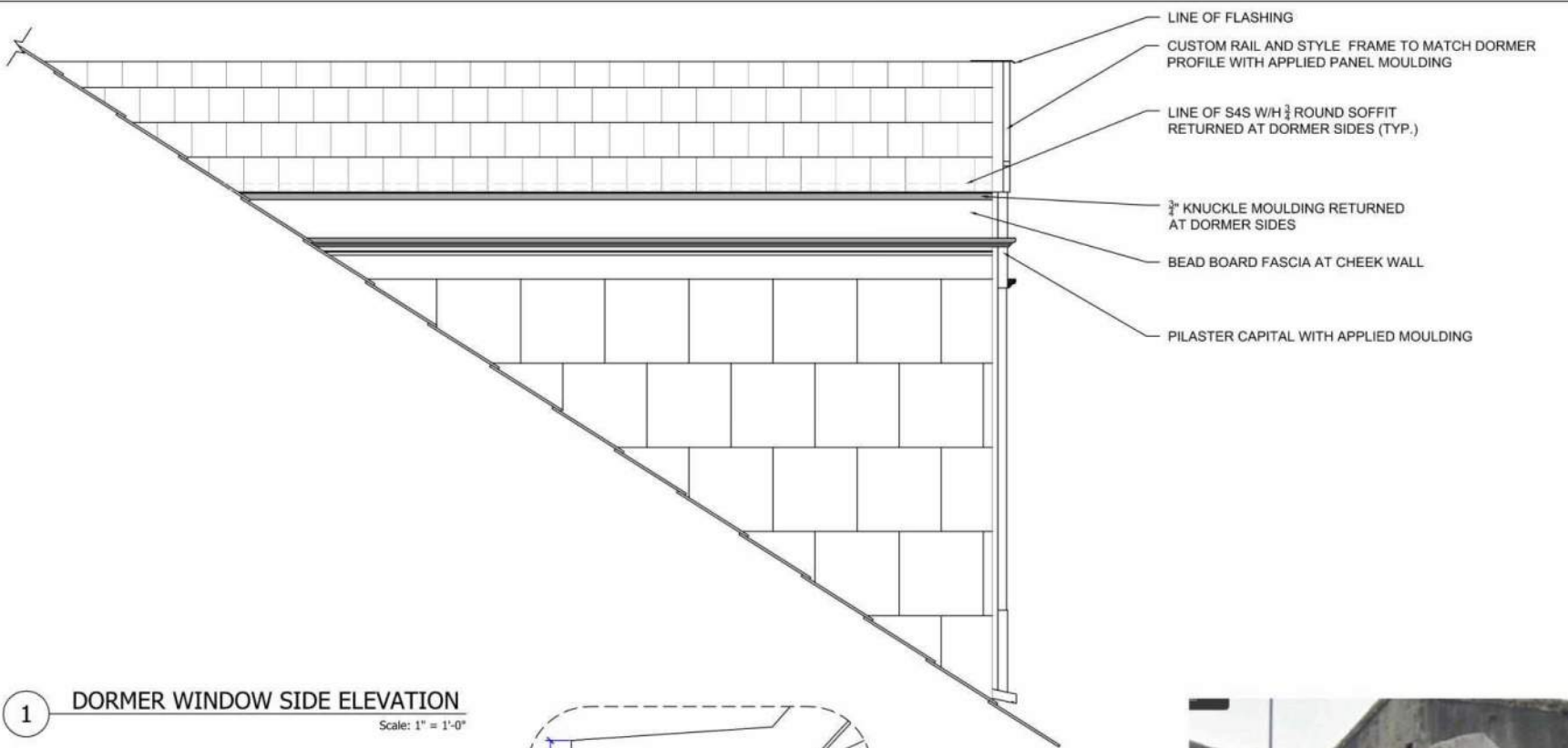
SH.14 ORIGINAL: 10/06/2022
 REVISION: 02/16/23
 REVISION:
 REVISION:

TWELVE 17 CREATIVE
 PH: 504.253.1872
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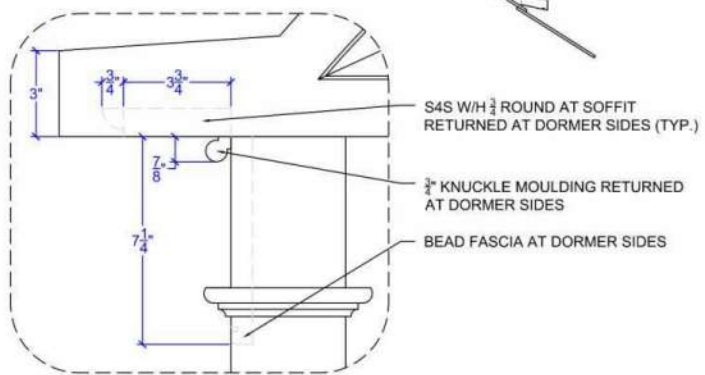
420 Bourbon St. - Renovation
 NEW ORLEANS LOUISIANA

March 28, 2023





1 DORMER WINDOW SIDE ELEVATION
 Scale: 1" = 1'-0"



3 DETAIL
 Scale: 3" = 1'-0"



2 SITE PHOTO

420 Bourbon St. - Renovation
 NEW ORLEANS LOUISIANA

TWELVE 17 CREATIVE
 E: JASON@1217CREATIVE.COM
 PH: 504.253.1872

ORIGINAL: 10/06/2022
 REVISION: 02/16/23
 REVISION:
 REVISION:

SH.13



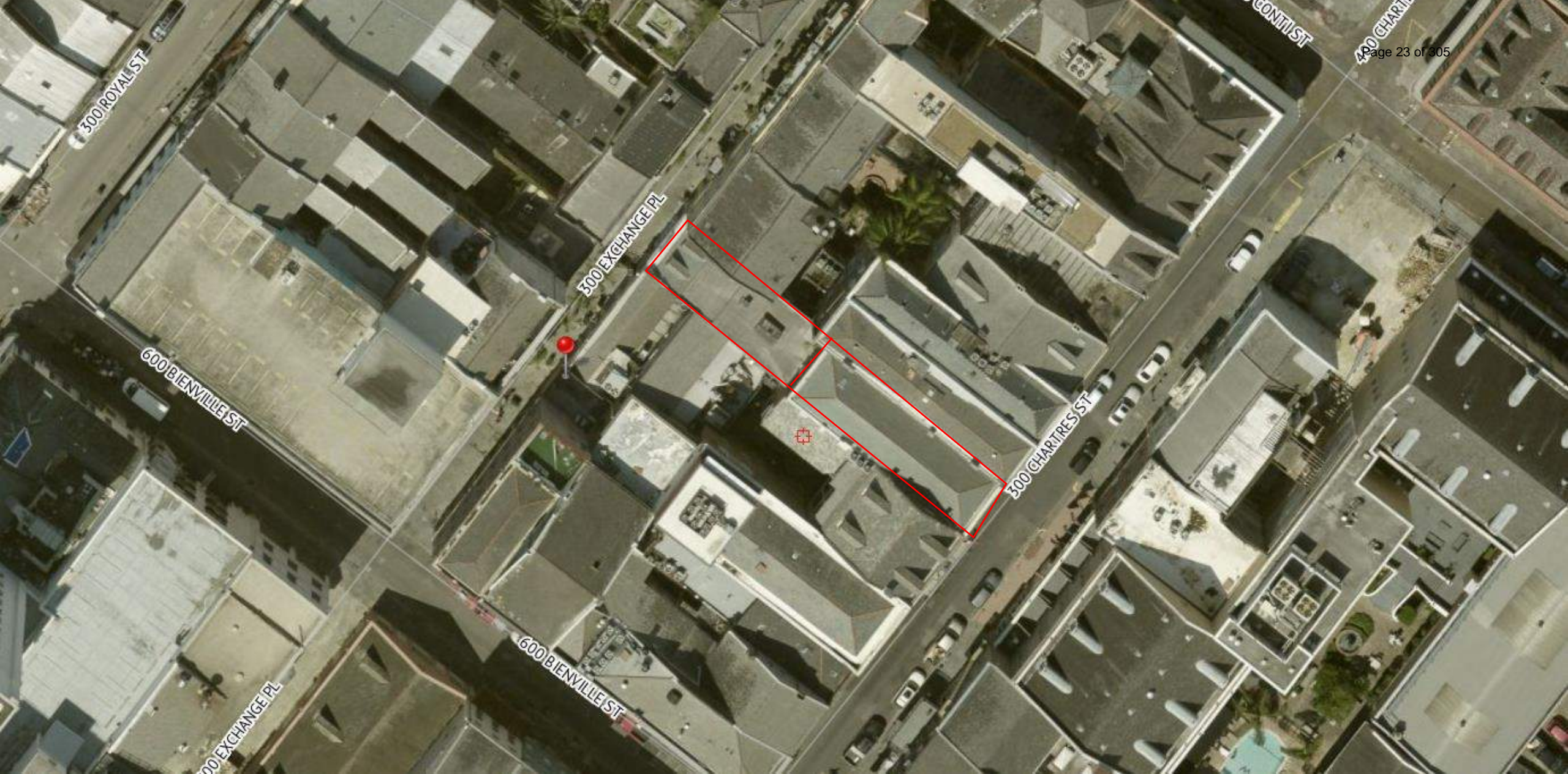


317-19 Chartres



317-19 Chartres/ 316-18 Exchange Place



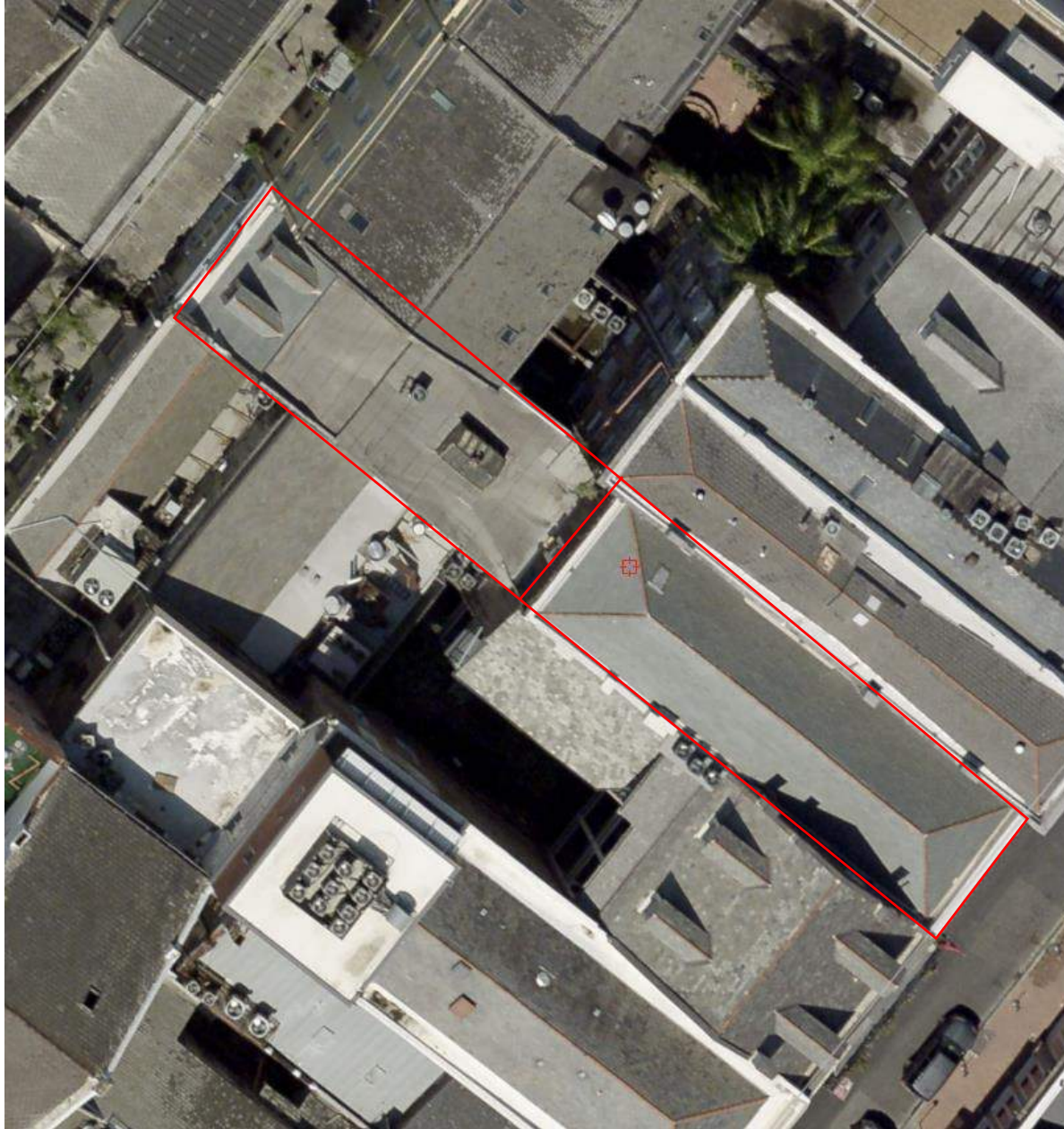


317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023



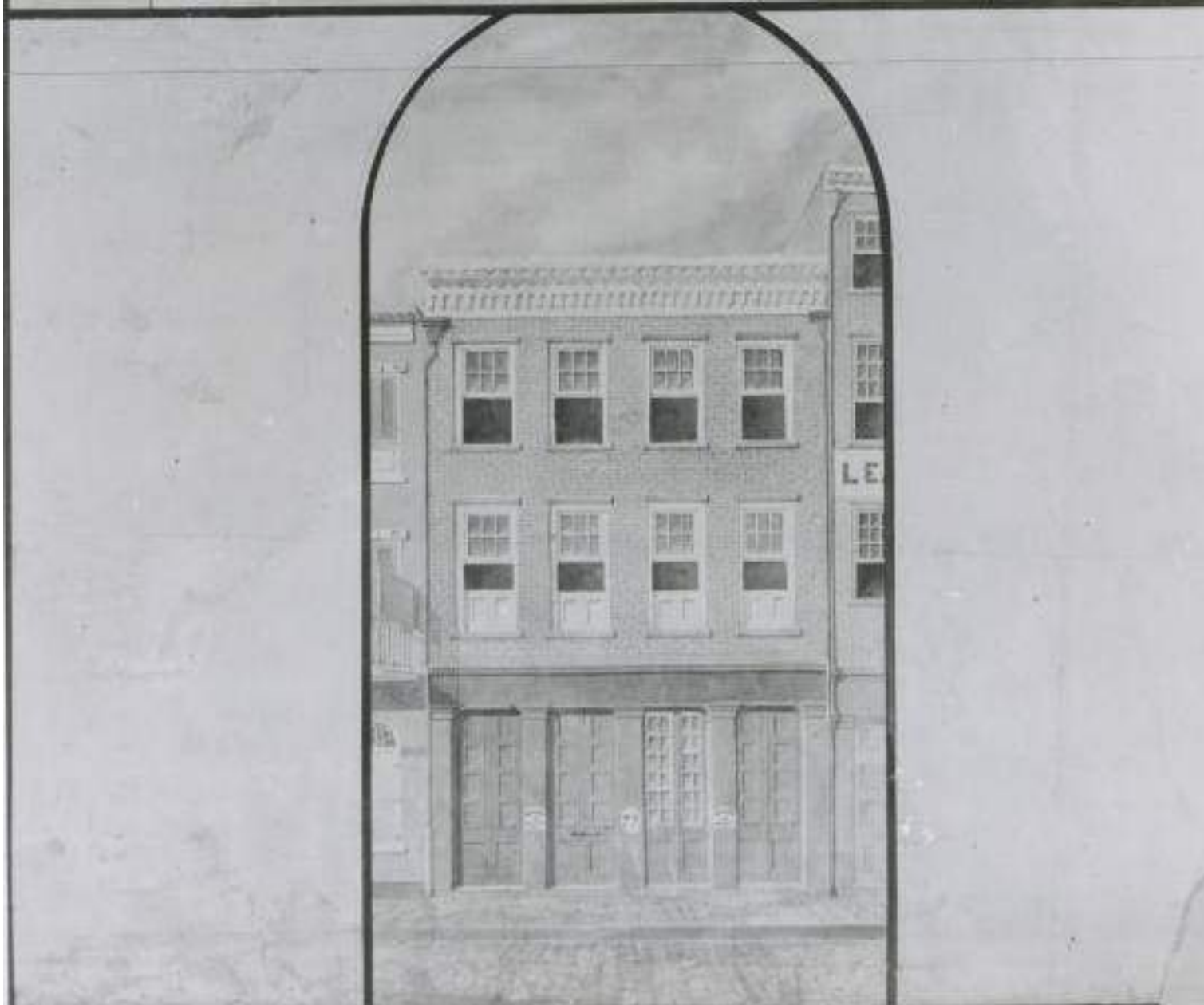


317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023



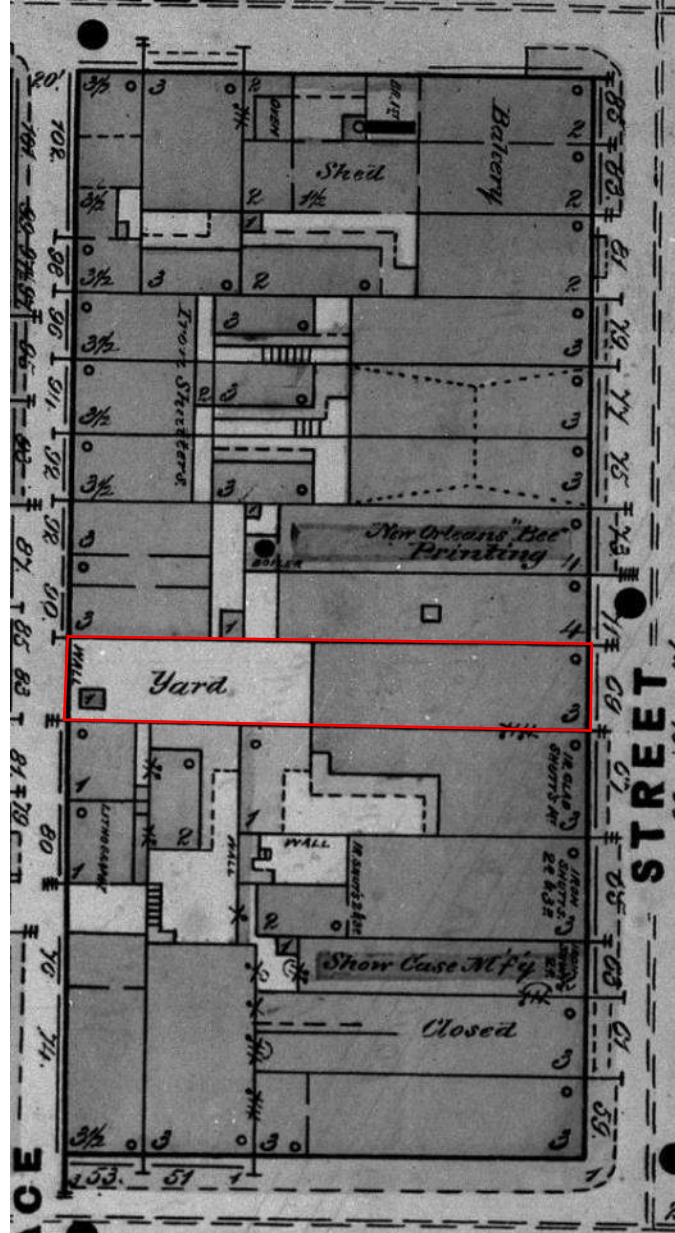


317-19 Chartres/ 316-18 Exchange Place

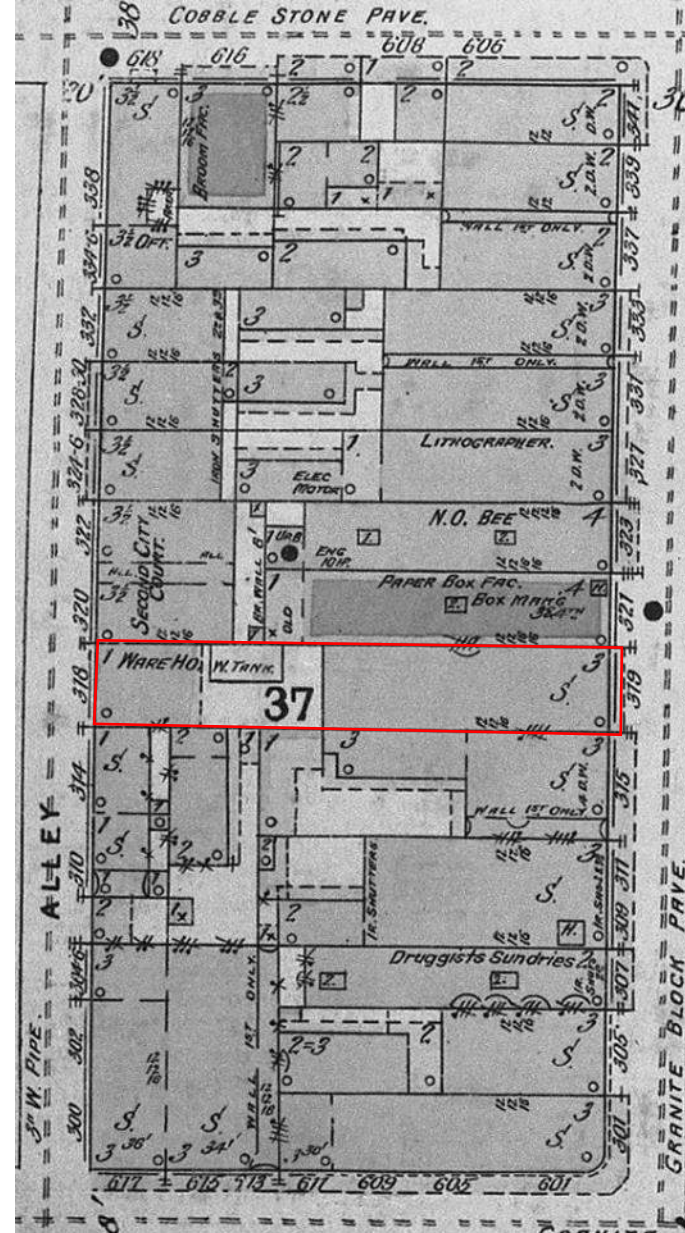


317-19 Chartres/ 316-18 **Exchange** Place





1876



1896

317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place





317-19 Chartres/ 316-18 Exchange Place



317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





EXISTING

317-19 Chartres/ 316-18 Exchange Place





PERMITTED

317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





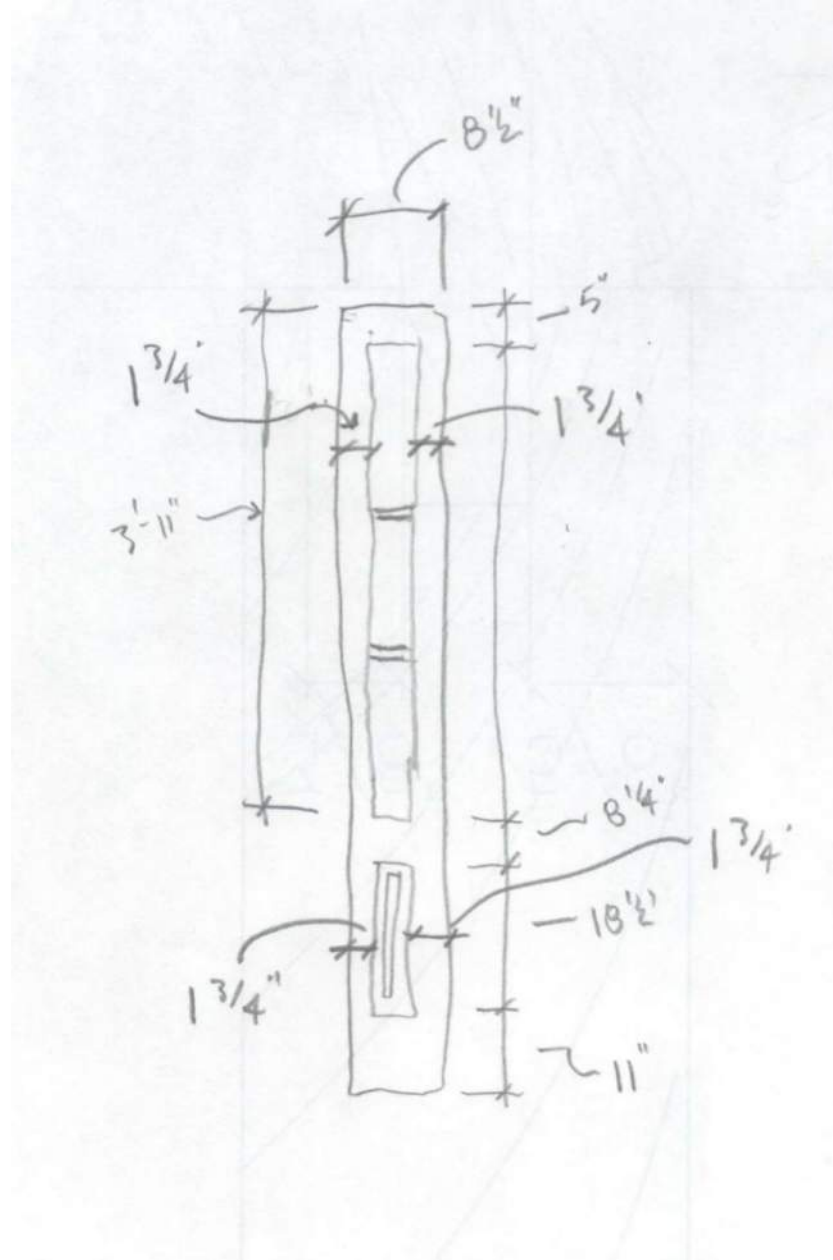
PROPOSED

317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023



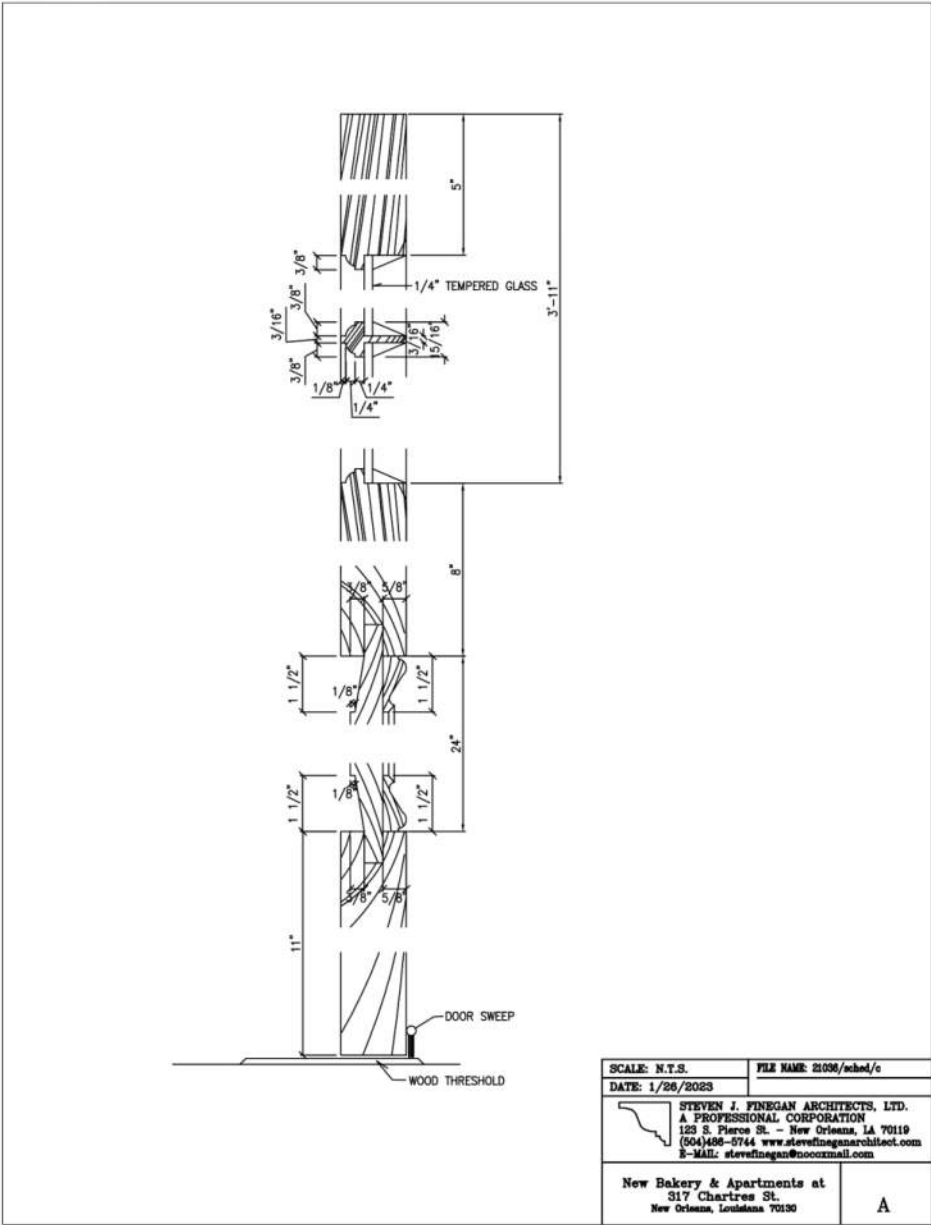


317-19 Chartres/ 316-18 Exchange Place

VCC Architectural Committee

March 28, 2023





317-19 Chartres/ 316-18 Exchange Place



416 Chartres





416 Chartres





416 Chartres





416 Chartres



416 Chartres





416 Chartres





416 Chartres





March 13, 2023

BBSA Board Members
City of New Orleans
Board of Building Standards and Appeals
1300 Perdido St, Seventh Floor
New Orleans, La 70112
Via email: Jay.Dufour@nola.gov, mnmurphy@nola.gov

Re: BBSA appeal for 416 Chartres St (22-35797-RNVS, BBSA 22-09)

Dear BBSA:
In addition to our previous BBSA application (BBSA 22-09), we are expanding our request to include an appeal of IBC 2015, IBC 1010.1.1 which requires at least one leaf in a double door to have 32" clear width when the door is open 90 degrees. The existing front entry doors (Door 103) for the building consist of two 32" wide leaves, which would not allow for a 32" clear opening when either door is open 90 degrees. The doors sit between 2 granite columns with only 1" of jamb space on either side of the doors, making it not possible to widen the opening. The ADA has a similar requirement for door clearance.

The building consists of 5 pairs of identical doors on the first-floor front façade. While all of these doors are operable, they are typically left closed except for door 103 as this is the designated entry/exit door.

Rather than removing the existing door and creating a new single door with or without sidelights that won't match the rest of the building, we propose to retain the existing doors and install overhead door operators which can open the doors from either the inside or outside by pressing a button. The doors will remain unlocked during business hours and can be simply pushed or pulled open (depending on which side of the doors one is on) or the button can be pressed and the doors will open automatically. The doors swing in the direction of egress as is required.

Attached is a diagram of the proposed alternative solution as well as cut sheets of the door hardware. Thank you for your consideration, and please let me know if you have any additional questions.

With warmest regards,

Daniel R. Winkert, AIA
Architect
Attachments

Wink Architecture
3210 Dumaine St New Orleans, LA 70119
504.251.4370
info@winkarchitecture.com



wink
architecture
3210 Dumaine St New Orleans, LA 70119
info@winkarchitecture.com 504.251.4370

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FRENCH QUARTER
BOULANGERIE
RENOVATIONS TO 416
New Orleans, LA 70130
CHARTRES STREET

DRAWING
FRONT ENTRY DETAIL

DRAWING BY Author

SCALE 1/4" = 1'-0"

JOB No. 2115.00

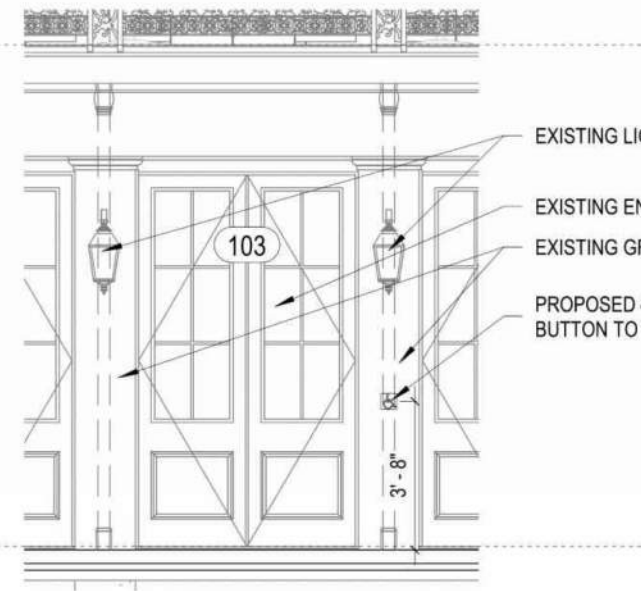
DATE 3/13/2023

Sheet No.

A201b

SECOND FLOOR
12' - 4 1/2"

FIRST FLOOR
0"



- EXISTING LIGHT FIXTURES
- EXISTING ENTRY DOORS
- EXISTING GRANITE COLUMN
- PROPOSED 4 3/4" X 4 3/4" PUSH BUTTON TO OPEN DOORS

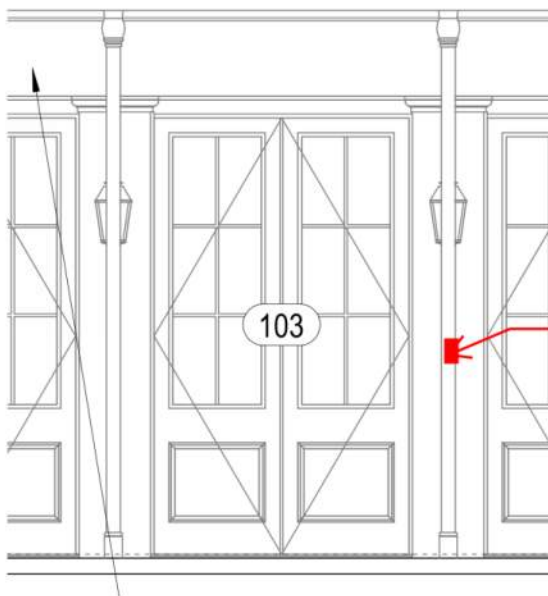
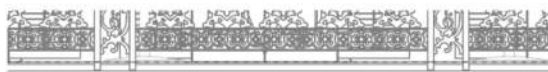
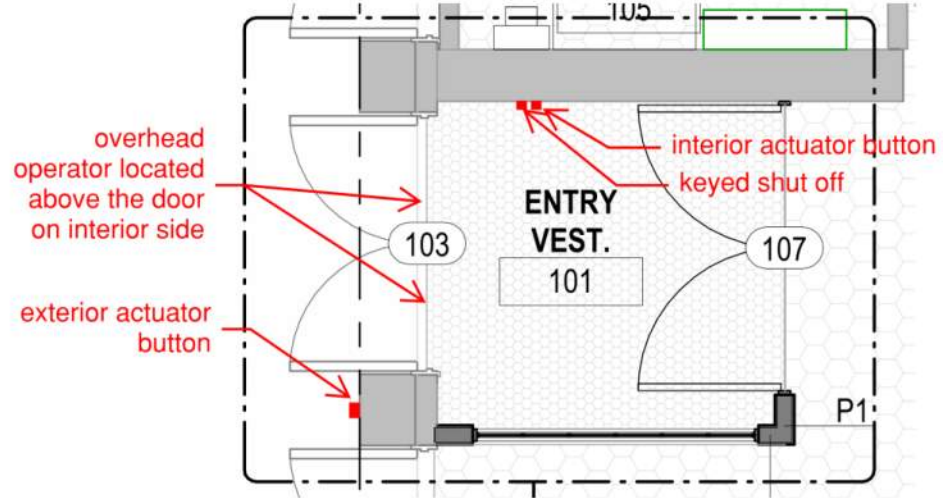
1 FRONT ENTRY DETAIL
1/4" = 1'-0" RE: 1/A201

416 Chartres

VCC Architectural Committee

March 28, 2023





EXTERIOR
PUSH BUTTON
4 3/4"w X 4 3/4"h
(IF USING
WIRELESS
APPLICATION)



EXTERIOR
PUSH BUTTON
1 3/4"w X 4 3/4"h
(IF USING
WIRED
APPLICATION)

NOTE" EACH
APPLICATION
WILL REQUIRE
A SURFACE
JUNCTION BOX
(APPROX 1
13/4" DEPTH)

Actuators and accessories

1 1/2" x 4 3/4" Surface and flush mounts



- 8310-818**
Hard Wired Jamb Mount Actuator, Logo, 1 1/2" x 4 3/4"
- Hardwired low voltage actuator with rectangular stainless steel touch plate
 - 1 1/2" (38mm) wide by 4 3/4" (121mm)
 - Engraved blue filled handicap symbol conforms to most accessibility codes
 - Designed to mount in a frame cutout (template provided) projecting approximately 1/2" (12mm) from the frame
 - Optional mounting in surface or flush mount box (sold separately)
 - Heavy industrial grade components provide vandal resistant mounting and weather resistant switch standard



- 8310-818T**
Hard Wired Jamb Mount Actuator, Logo and Text, 1 1/2" x 4 3/4"
- Same as the 8310-818, with the added engraving of "Push to Open"



- 8310-819F**
Box Only, Jamb Mount and Flush Mount, 1 1/2" x 4 3/4"
- Rugged Plastic Jamb Box
 - 1 1/2" x 4 3/4" rectangle, optional accessory - can be used w/any 1 1/2" x 4 3/4" jamb mount actuator



- 8310-819S**
Box Only, Jamb Mount and Surface Mount, 1 1/2" x 4 3/4"
- Rugged Plastic Jamb Box
 - 1 1/2" x 4 3/4", rectangle
 - Optional accessory - can be used w/any 1 1/2" x 4 3/4" jamb mount plastic mounting box



- 8310-844J**
Transmitter, Wireless, 1 Channel, Jamb Mount, 3V
- Wireless, 1 Channel, Jamb Mount, 3v battery included
 - Used to convert standard jamb mount actuator to wireless when used w/819F or 819S boxes; requires 8310-865 Receiver (interior use only)



- 8310-865**
Wireless Receiver
- Receiver, Wireless, 1 Channel, w/ Sequencing Feature
 - Used in conjunction w/ Wireless Actuators and Transmitter(s) for push plate applications

Note: LCN recommends for all jamb mount actuators be used on an interior installation only.

108 • LCN • Automatic operators

Introduction

Product selection guide

Pneumatic systems
Auto equalizers
2610/4810/MB20/4840/7900 Series

Electrohydraulic systems
Auto equalizers
6400/630/6640 Series

Electromechanical systems
Benchmark
9130/9140/9150 Series

Electromechanical systems
Senior Swing
2810/2850/2860/9530/9540/9550/9560 Series

Actuators and accessories

9140 Series



The 9140 Benchmark by LCN is an electrically powered low-energy operator. It provides easy access for people with disabilities, or the elderly. Designed primarily for automatic opening applications that occasionally require manual opening. The Benchmark is a cost-effective solution for retrofitting an activated or manual door.

Features

Certifications	Grade 1 - A156.19, UL325/228, ADA, 100 Hour Salt Spray, Meets BAA - Buy American Act	Fasteners	Wood and Machine Screws (WMS)
Handing	Non-handed	Mounting	Single interior door, surface mount, offset pivot/butt hinge (push side)
Door width	<ul style="list-style-type: none"> • 26" - 48" • 26" minimum door width for 27" • 36" door width only for full length pull operator 	Arms	Regular Arm (REGARM)
Warranty	2 years	Finishes/colors/powder coat	<ul style="list-style-type: none"> • 628 Aluminum, Anodized • 710 Dark Brown, Anodized

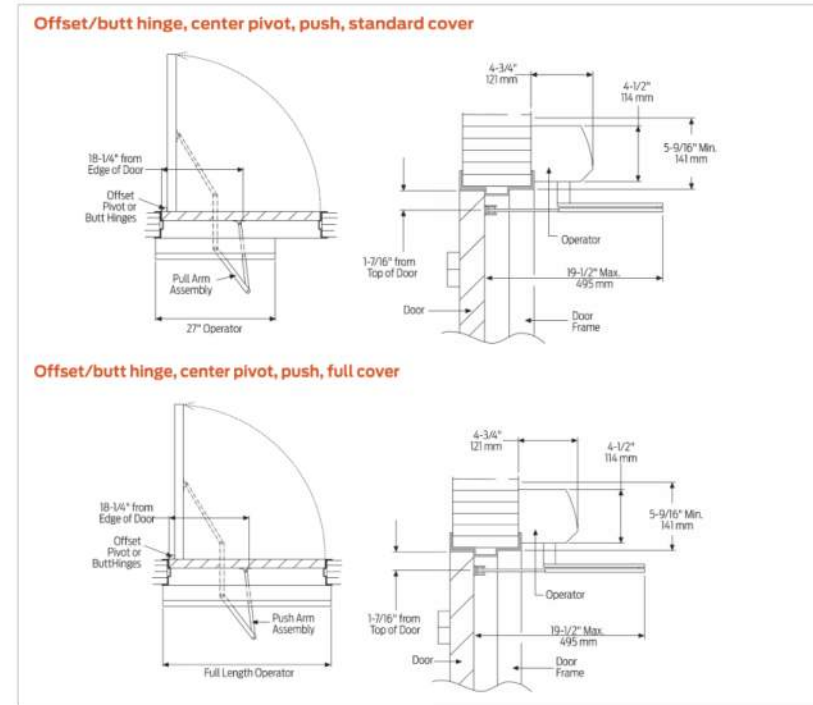
Special templates Customized installation templates or products may be available to solve non-standard applications. Contact LCN Product Support for assistance.

Mounting	Handing	Finish	Cover	Arm function
Surface mount single door	Standard anodized	Standard (single level)	Standard	Regular arm
Surface mount simultaneous pair	Metal	Regular (double level)	Double arms	Offset pivot arm
Concealed single door		Offset pivots	Center pivot arm	
Concealed simultaneous pair				
Handed				
Non-handed				

■ Available
■ Not available

Mounting details

Top jamb (single door) mounting



Butt hinges	Should not exceed 5" (127 mm) in width
Reveal	Push installations should not exceed 6" (152 mm) for regular arm and 9 1/4" (248 mm) for long arm
Top rail	<ul style="list-style-type: none"> • Minimum 2" (51 mm) • Flush ceiling installation requires 5 1/4" (133 mm) minimum
Head frame	Minimum 2" (51 mm)
Opening and closing time	<ul style="list-style-type: none"> • Variable by adjustments to the electronic control module located on the operator assembly • Maximum hold open time adjustable up to approximately 30 seconds
System diagram	See page 45 for typical system wiring and page 44 for electrical data
Maximum opening	Template allows 90 degree power opening and 90 degree manual opening

- Notes:**
- Push 'N' Go permits non-switch activation with a microprocessor control box that ensures reliability and maintains customer settings
 - Power boost allows for increased closing force near latch
 - On/off switch is included as standard
 - All potentiometers are clearly labeled with their functions
 - LED lights indicate power to control box and motor gears

Introduction
 Product selection guide
 Pneumatic systems Auto equalizers 2610/4810/4820/4840/7900 Series
 Electrohydraulic systems Auto equalizers 6400/4630/4640 Series
 Electromechanical systems Benchmark 9130/9140/9150 Series
 Electromechanical systems Senior Swing 2810/2850/2860/9530/9540/9550/9560 Series
 Actuators and accessories

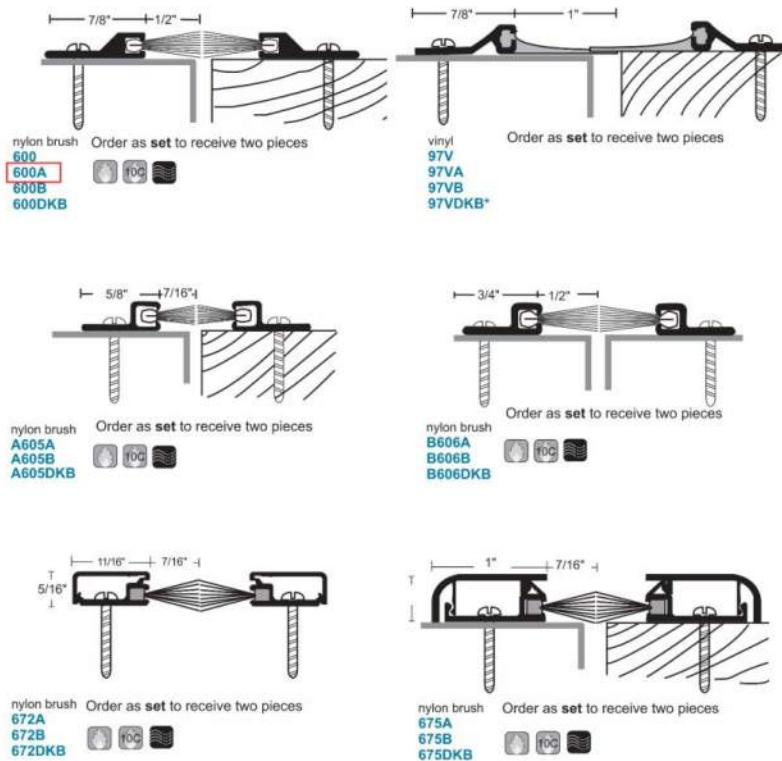
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 Electromechanical systems Senior Swing 2810/2850/2860/9530/9540/9550/9560 Series
 Actuators and accessories



Surface Mounted Astragal Sets

#6 x 3/4" Stainless Steel SMS furnished.
Screw holes are slotted for adjustment.

A - anodized aluminum
B - gold
DKB - dark bronze
no suffix - mill aluminum
Brush is gray with mill finish and anodized aluminum metal; black with gold and DKB
vinyl is gray, except * vinyl is black



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Fax 800-255-7874 | quotes@ngp.com

G-49

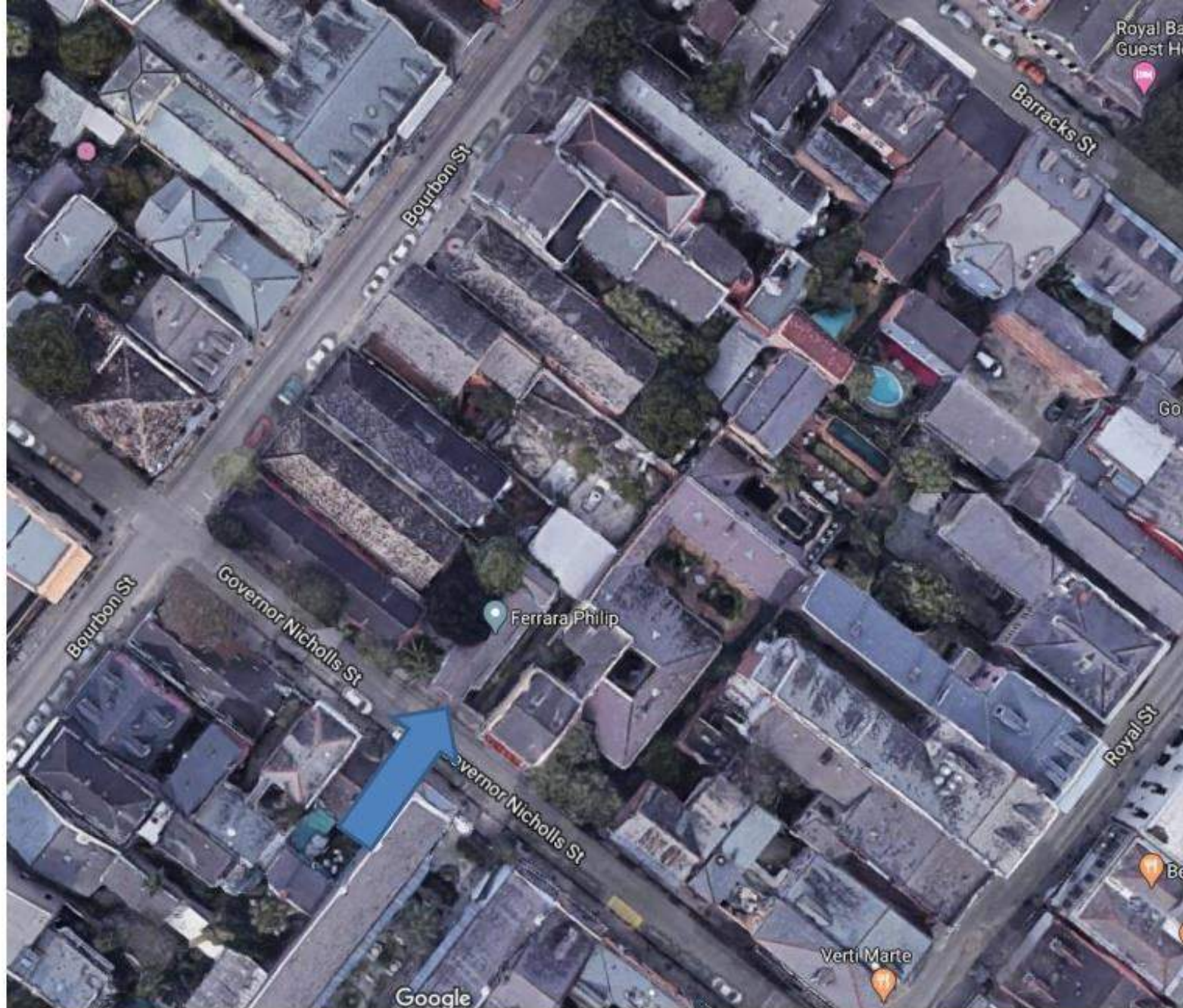




New Business



729 Governor Nicholls

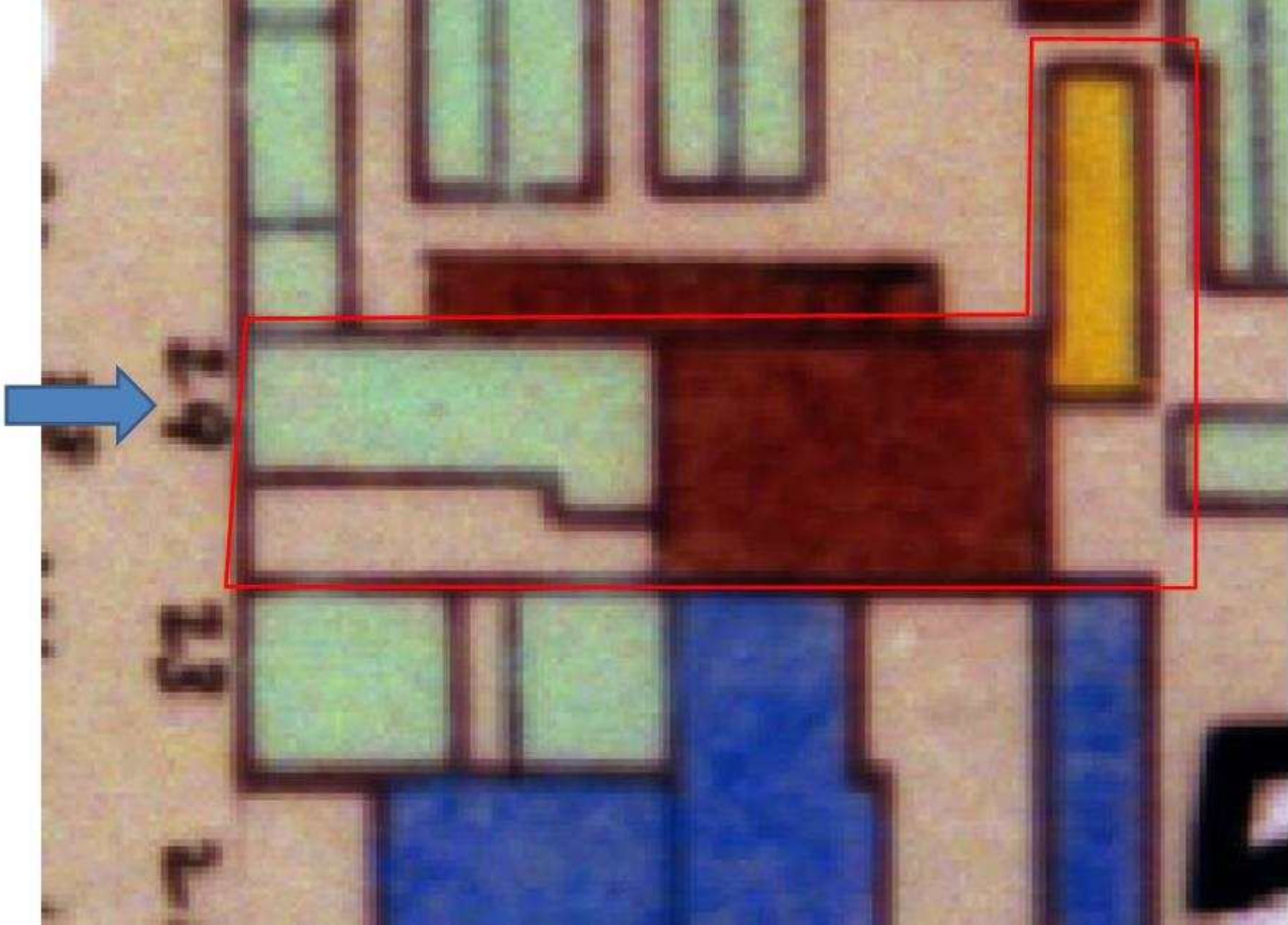


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March 28, 2023





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729 Gov. Nicholls - 1962

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March 28, 2023



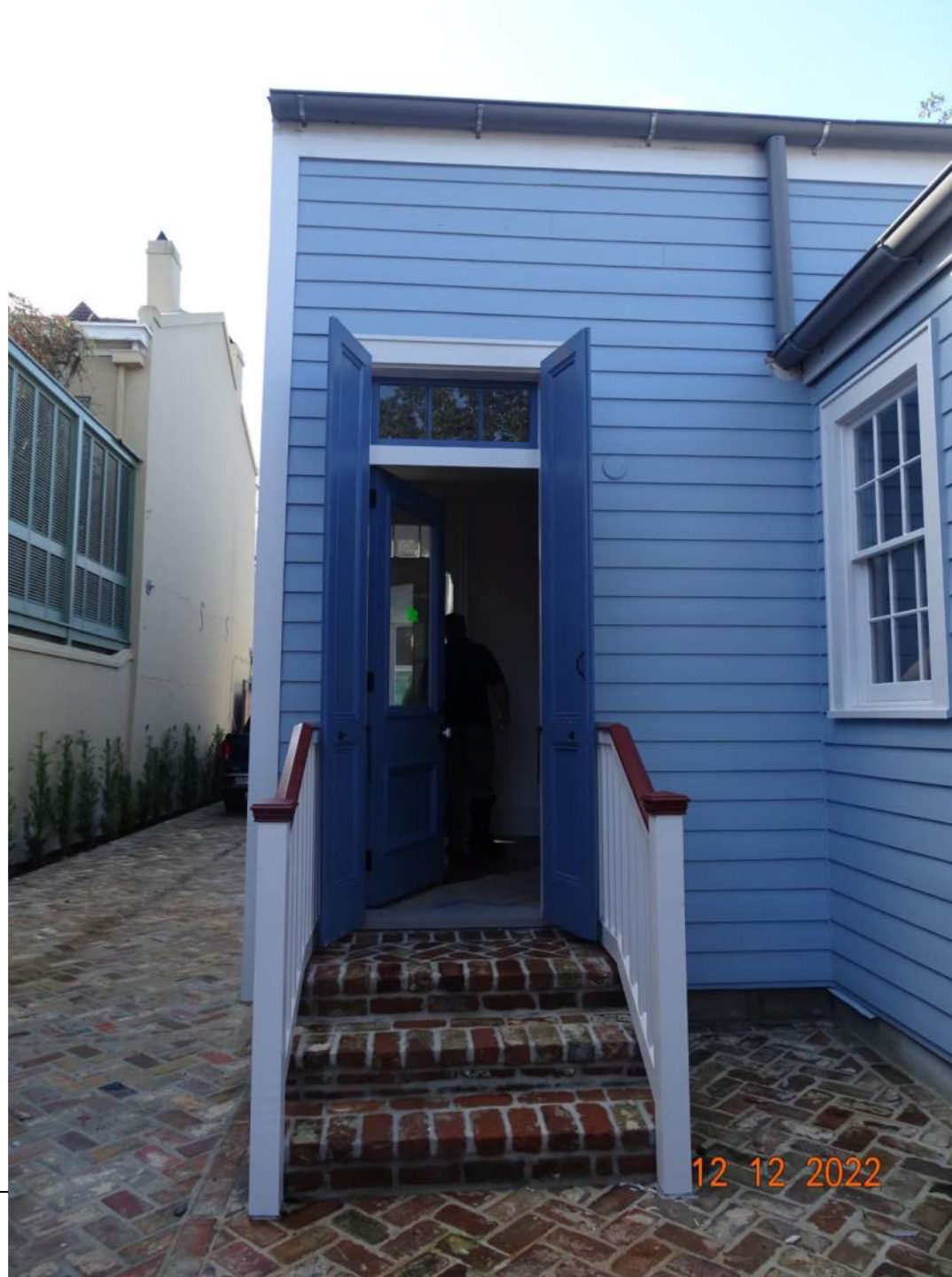


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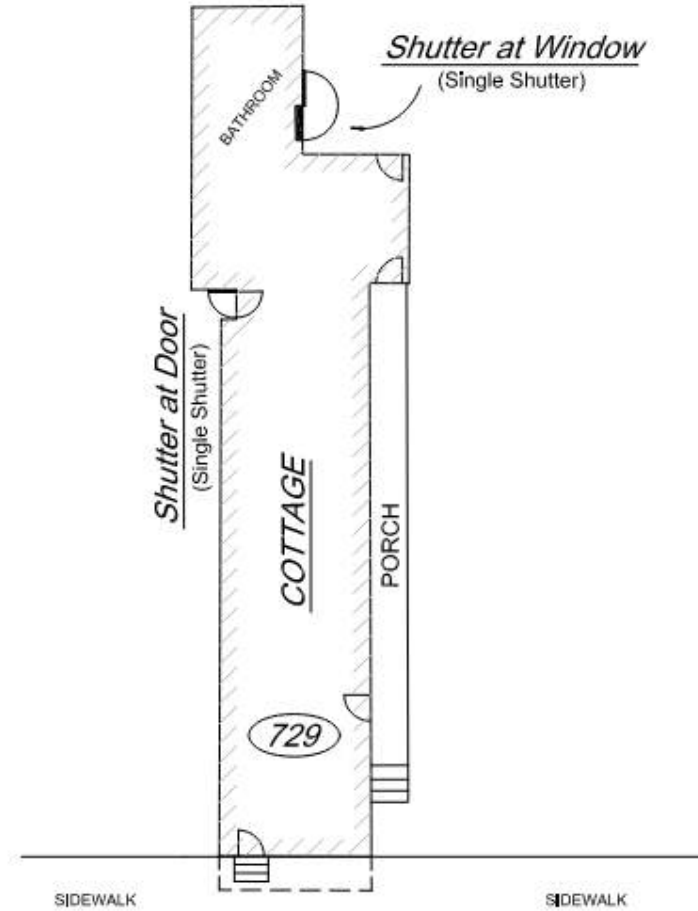
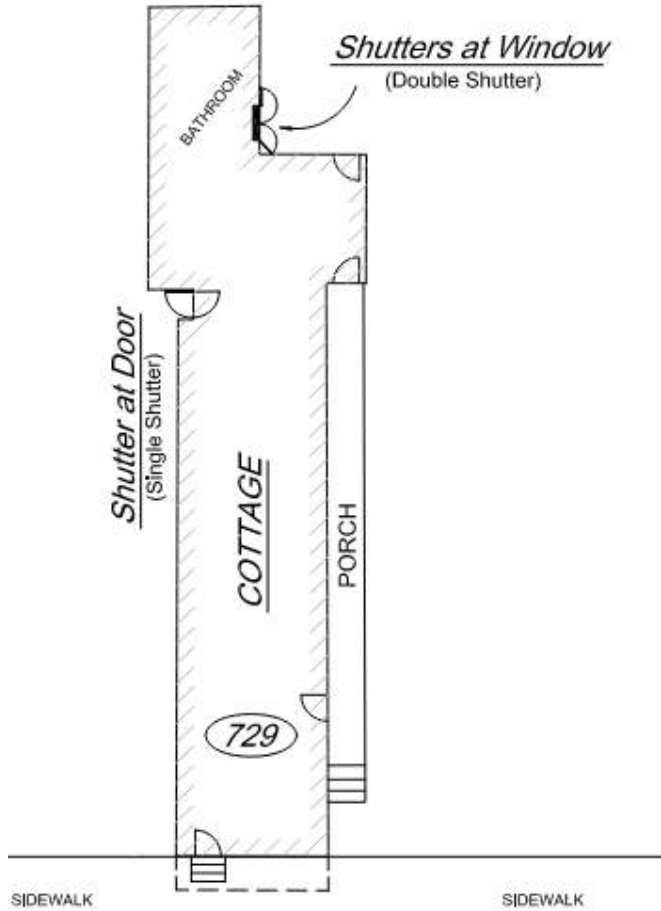
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NOTE: PROPOSED BATHROOM WINDOW SHUTTER
AND LEFT SIDE DOOR SHUTTER ARE BOTH TO BE
BOARD AND BATTEN DESIGN TO MATCH EXISTING



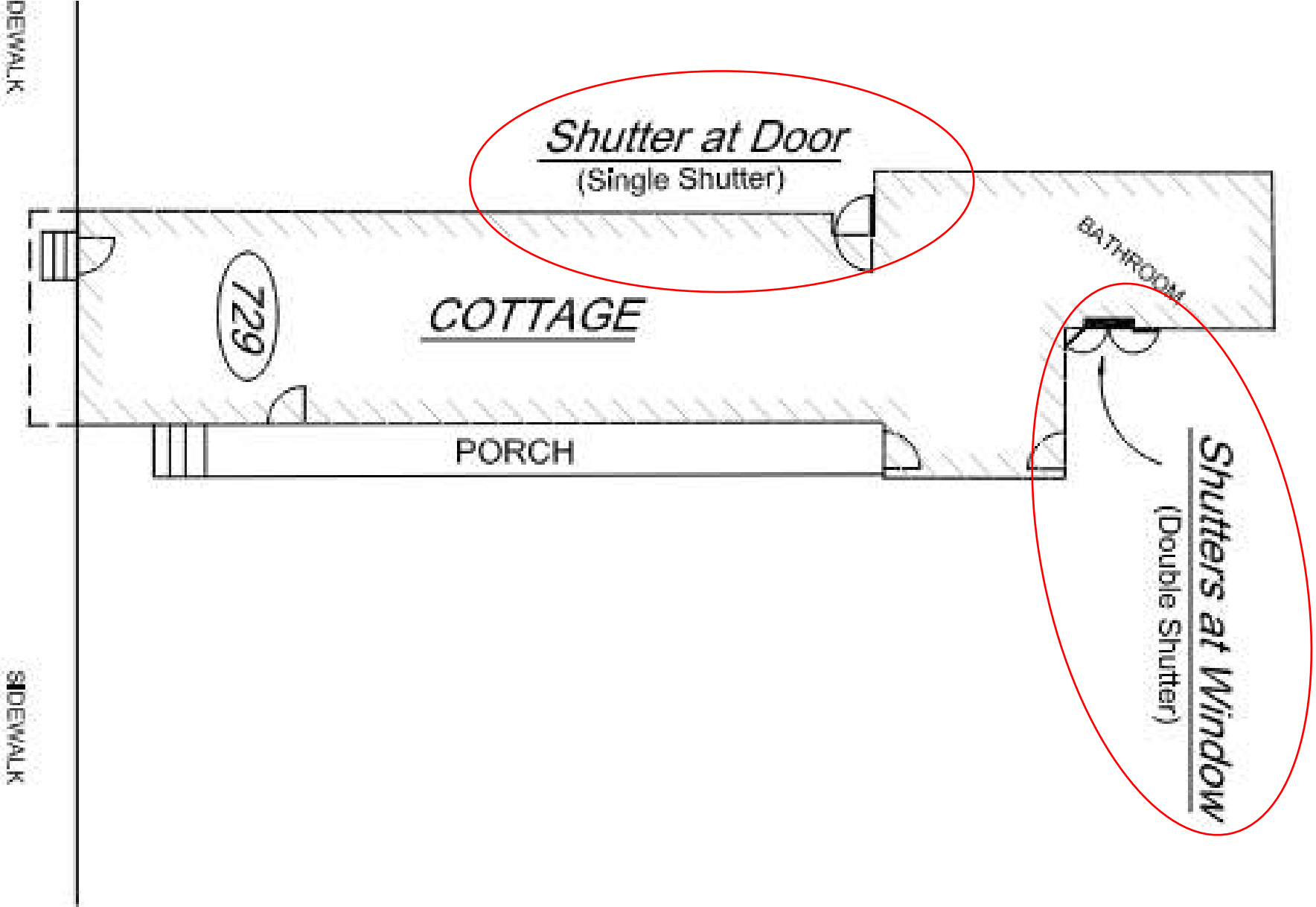
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GOVERNOR NICHOLLS STREET

GOVERNOR NICHOLLS STREET



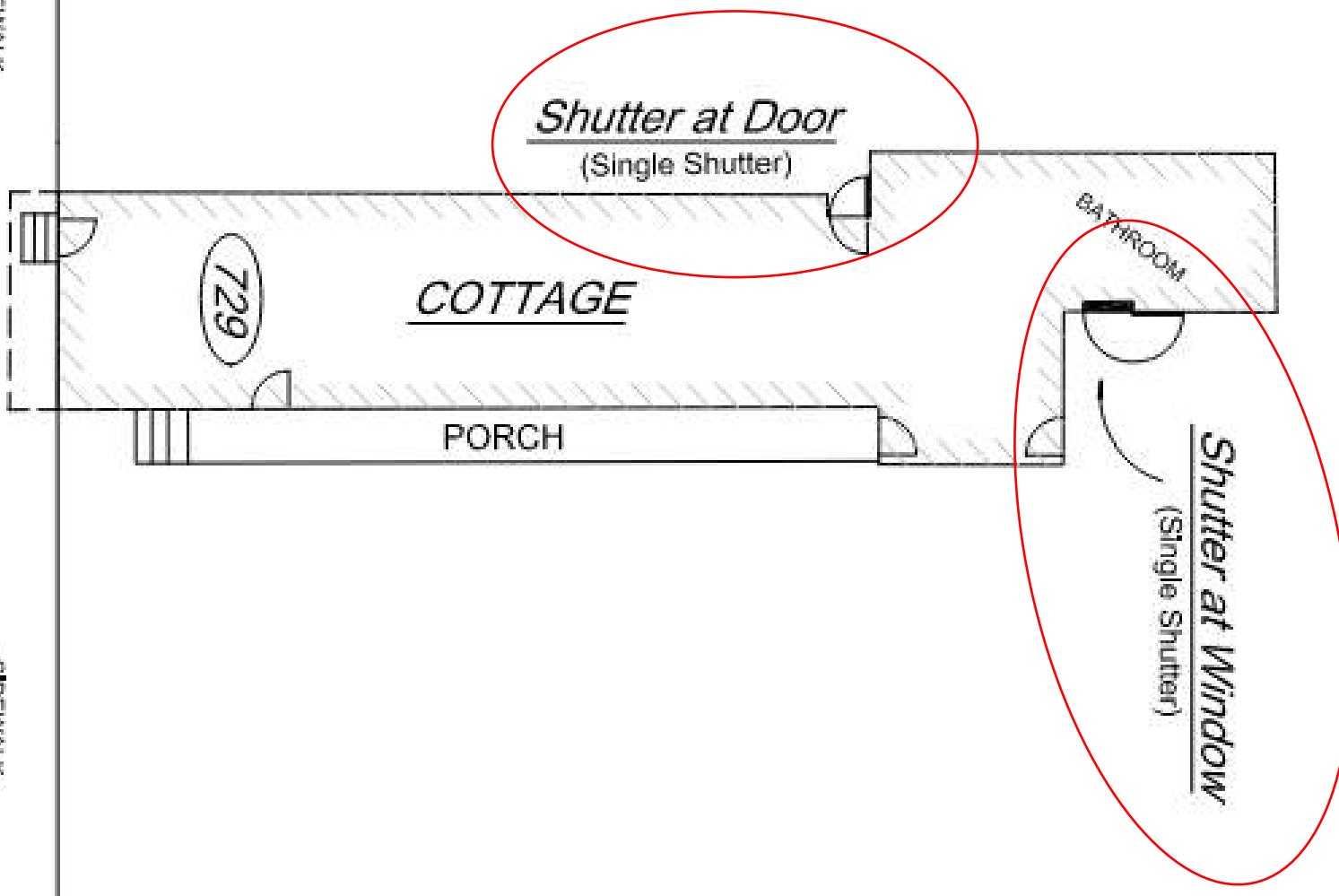
GOVERNOR NICHOLLS STREET

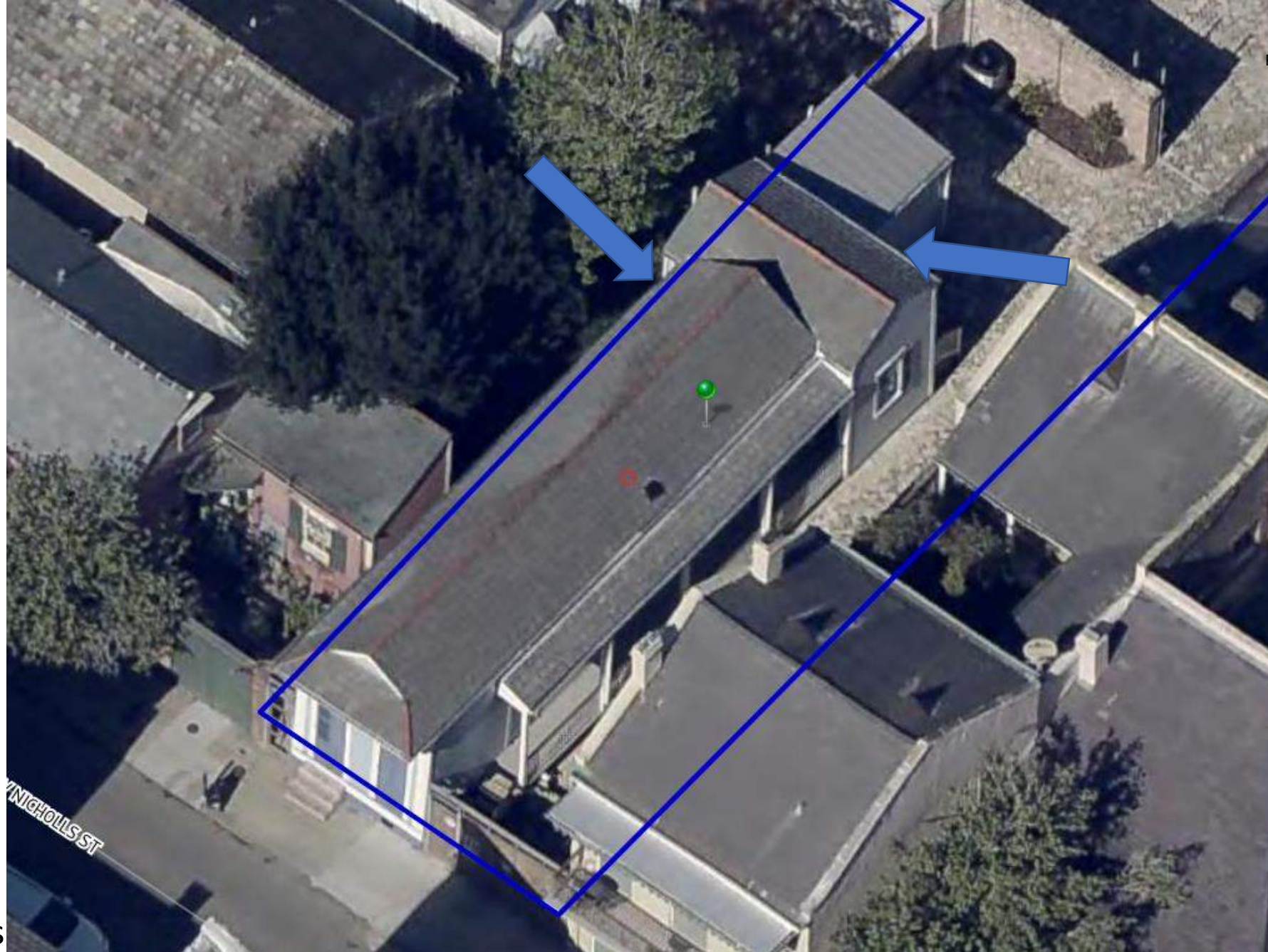


GOVERNOR NICHOLLS STREET

SIDEWALK

SIDEWALK





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March 28, 2023





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908 St Peter



908 St Peter

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March 28, 2023



DRAFTING SYMBOLS	
	SECTION OR DETAIL NUMBER
	DIRECTION OF CUTTING PLANE
	SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN
	DIRECTION OF CUTTING PLANE LONGITUDINAL OR TRANSVERSE BUILDING SECTION NUMBER
	SHEET NUMBER ON WHICH LONGITUDINAL OR TRANSVERSE BUILDING SECTION IS DRAWN
	ELEVATION NUMBER
	SURFACE SHOWN IN ELEVATION
	SHEET NUMBER ON WHICH ELEVATION IS DRAWN
	DETAIL NUMBER
	AREA OF DETAIL
	SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN
	SECTION OR DETAIL NUMBER View Name
	INDICATES SCALE 1/8" = 1'-0"
	SHEET NUMBER ON WHICH THIS SECTION OR DETAIL IS CUT OR REFERENCED (ONE SHEET ONLY)
	ROOM NAME
	ROOM NUMBER
	NEW OR REQUIRED POINT ELEVATION
	EXISTING POINT ELEVATION
	INDICATES FOOD SERVICE EQUIPMENT
	WINDOW TYPE / LOUVER TYPE
	DOOR OR OPENING NUMBER
	FINISH
	PARTITION TYPE
	SMOKE PARTITION / FIRE RATING (HOURS) "3" INDICATES SMOKE PARTITION
	PARTITION STC RATING (IF APPLICABLE)
	REFERENCE NUMBER FOR EQUIPMENT, CONSTRUCTION, ETC. OR ANY INFORMATION TO BE CONVEYED WHICH IS REPETITIVE OR AVAILABLE SPACE PROHIBITS A WRITTEN DESCRIPTION IF ANY ITEM
	ITEMS NOT IN CONTRACT / FURNISHED BY OWNER / INSTALLED BY OWNER / INSTALLED UNDER THE CONTRACT, ETC. (SEE CLARIFICATION OF THIS SYMBOL FOR ITS USE IN REGARD TO THIS PROJECT)
	SPECIFICATION REFERENCE (FOUND IN PROJECT MANUAL)
	SPECIFICATION REFERENCES ARE INDICATED FOR THE CONTRACTOR'S CONVENIENCE. LACK OF REFERENCE OR MISREFERENCE DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE THAT MATERIAL.

PROJECT DIRECTORY	
OWNER	MICHELLE BROOM 908 ST. PETER STREET NEW ORLEANS, LA 70116
ARCHITECT	STUDIO WEST DESIGN & ARCHITECTURE 2340 DAUPHINE STREET NEW ORLEANS, LA 70117 TEL: 504.390.9880
CONTRACTOR	JENNE CANNON WEST, OWNER jcnw@studiowest.design
CONTACT	TELEPHONE TEXT EMAIL LICENSE #

BUILDING INFORMATION	
PROJECT ADDRESS	908 ST. PETER STREET NEW ORLEANS, LA 70116
PROJECT DESCRIPTION	RENOVATION OF A TWO-FAMILY RESIDENCE
LEGAL DESCRIPTION	50 89'01" 2A ST. PETER 320'4"
BOUNDING STREETS	ST. PETER STREET, DAUPHINE STREET (SIDE), BURGUNDY STREET (SIDE), TOULOUSE STREET (SIDE)
HISTORIC DISTRICT	VEUX CARRE
BUILDING AREA	EXISTING PRIMARY STRUCTURE 1,571 SF FIRST FLOOR 1,571 SF TOTAL 1,571 SF
ACCESSORY STRUCTURE	FIRST FLOOR 329 SF SECOND FLOOR 329 SF TOTAL 658 SF
RENOVATED AREA	FIRST FLOOR 1,571 SF SECOND FLOOR 329 SF
MAJOR APPLICABLE CODES AND REGULATIONS	(NOT LIMITED TO THE FOLLOWING) INTERNATIONAL RESIDENTIAL CODE 2015 NATIONAL ELECTRICAL CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2021
ZONING CLASSIFICATION	ZONING DISTRICT VOR-1, VEUX CARRE RESIDENTIAL DISTRICT FUTURE LAND USE R-HC, RESIDENTIAL HISTORIC CORE INTERIM DISTRICT RESIDENTIAL SHORT TERM RENTAL INTERIM ZONING DISTRICT BED AND BREAKFAST INTERIM ZONING DISTRICT LOCAL DISTRICT VEUX CARRE FULL CONTROL
PROJECT ADDRESS	908 ST. PETER STREET NEW ORLEANS, LA 70116
SITE AREA	TOTAL SITE AREA 2,065 SF
FRONT YARD	9'-0"
SIDE YARD	2'-0" 3/4"
REAR YARD	7'-11 1/2"
BUILDING HEIGHT	23'-4 7/8"
PRIMARY STRUCTURE	29'-11 7/8"
ACCESSORY STRUCTURE	
PROPOSED USES	TWO-FAMILY RESIDENCE
FLOOD ZONES	ZONE X+1.5 FIRM PANEL: 2207F0029F
OCCUPANCY CLASSIFICATION	RESIDENTIAL
MINIMUM WIND SPEED CRITERIA TABLE 601.6-B	EXPOSURE CATEGORY B WIND SPEED 130 MPH



INDEX OF DRAWINGS	
G001	INFORMATION SHEET
A001	SITE PLANS
A101	FLOOR PLANS - DEMOLITION
A141	EXTERIOR ELEVATIONS - DEMOLITION
A142	EXTERIOR ELEVATIONS - DEMOLITION
A201	FLOOR PLANS
A202	ROOF PLANS
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A501	WALL SECTIONS AND EXTERIOR DETAILS
A701	ENLARGED STAIR PLAN AND SECTION
S1	GENERAL STRUCTURAL NOTES
P201	RISER DIAGRAMS
TOTAL NUMBER OF SHEETS: 13	

908 ST. PETER

908 St. Peter St., New Orleans, LA 70116

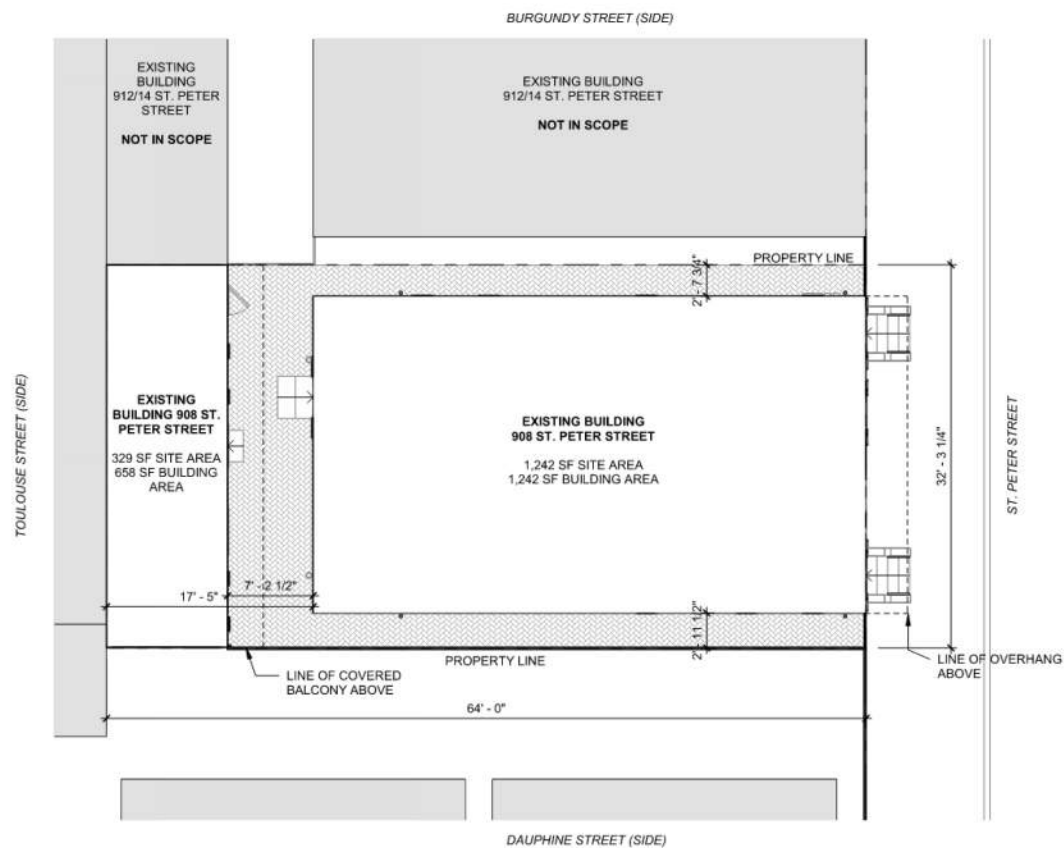
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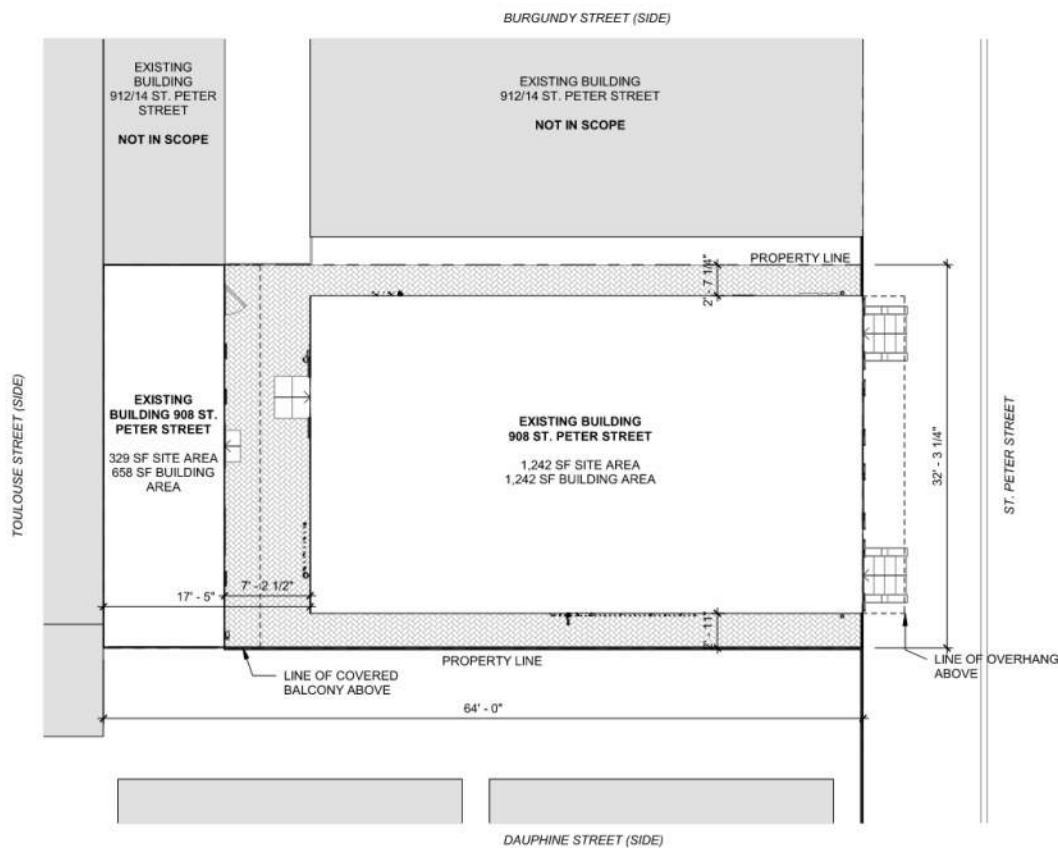
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INFORMATION SHEET



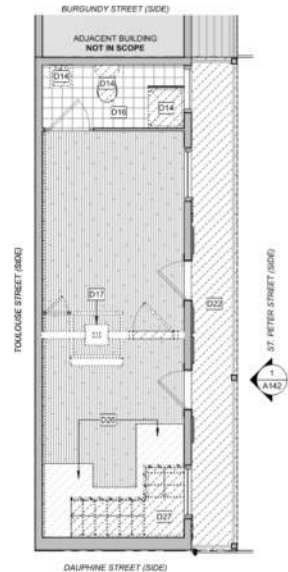


2 SITE PLAN
A001 1/8" = 1'-0"

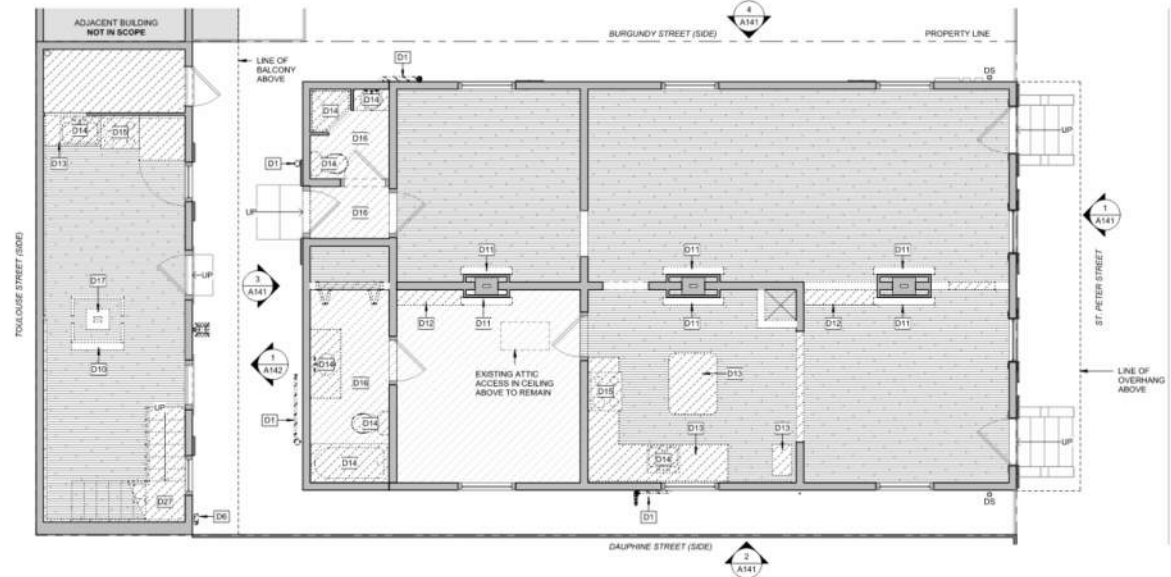


1 SITE PLAN - DEMOLITION
A001 1/8" = 1'-0"





2 SECOND FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



1 FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



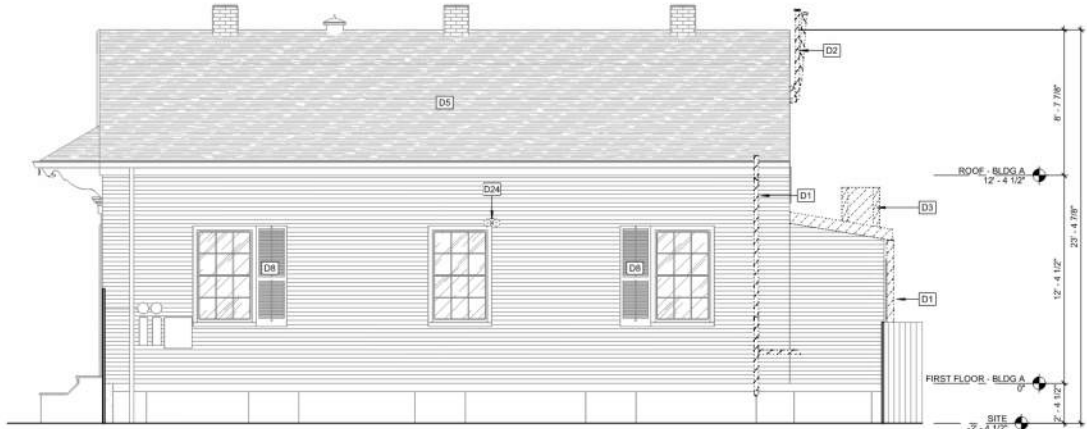
GRAPHIC RENOVATION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING ELEMENTS TO BE DEMOLISHED
- PORTION OF AREA TO BE DEMOLISHED
- NOT IN SCOPE

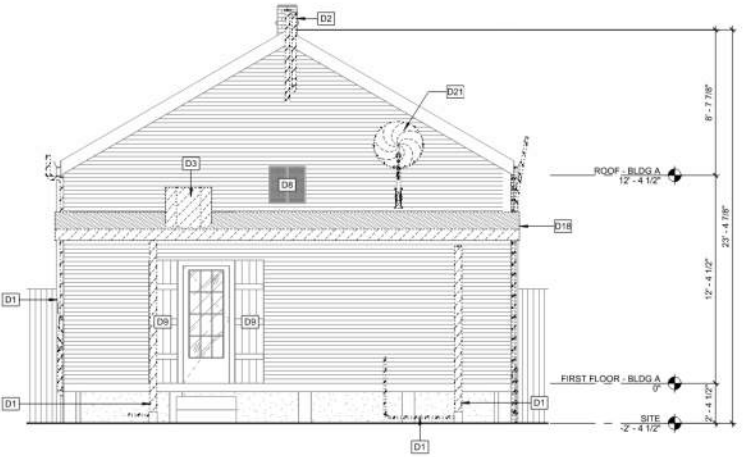
GENERAL NOTES PERTAINING TO DEMOLITION

1. REPLACE DAMAGED SHEATHING TO MATCH EXISTING. REPLACE DAMAGED SIDING TO MATCH EXISTING. REPLACEMENT SIDING SHALL BE KILN-DRIED WOOD WITH ALL SIDES, INCLUDING EDGES, PRE-PRIMED
2. SAND, STAIN, AND SEAL EXISTING WOOD ROOFING WHERE INDICATED TO REMAIN.

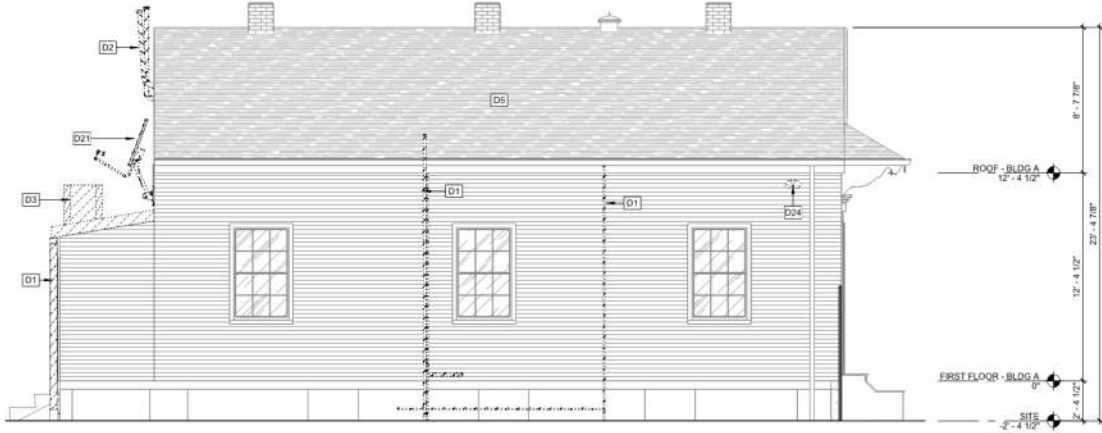
- REFERENCE DESIGNATIONS FOR DEMOLITION**
- D1 REMOVE AND RELOCATE EXISTING EXTERIOR PLUMBING TO INSIDE OF WALL CAVITY.
 - D2 REMOVE AND RELOCATE EXISTING EXTERIOR PLUMBING TO INSIDE OF ATTIC.
 - D3 REMOVE EXISTING MECHANICAL EQUIPMENT.
 - D5 EXISTING SLATE TILE ROOF TO REMAIN. SEE ZIA032 FOR SCOPE.
 - D7 REMOVE TEXTURED STUCCO FINISH.
 - D8 REMOVE AND RETAIN HORIZONTAL LOUVERED SHUTTER. REPAIR, REFINISH AND REINSTALL AS PART OF NEW WORK.
 - D9 REMOVE AND RETAIN VERTICAL BOARD AND BATTEN SHUTTER. REPAIR, REFINISH AND REINSTALL AS PART OF NEW WORK.
 - D16 REMOVE EXISTING ASPHALT SHINGLES AND UNDERLAYMENT. PREPARE EXISTING SUBSTRATE FOR NEW ROOFING AND UNDERLAYMENT AS PART OF NEW WORK.
 - D21 REMOVE SATELLITE DISH.
 - D24 REMOVE LIGHT FIXTURE AND ANY ASSOCIATED EXPOSED CONDUIT.



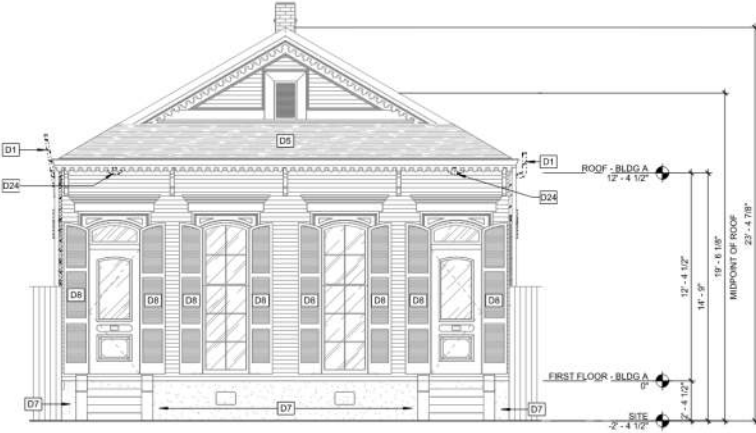
4 WEST EXTERIOR ELEVATION - DEMOLITION
ANSI 1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION - DEMOLITION
ANSI 1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION - DEMOLITION
ANSI 1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION - DEMOLITION
ANSI 1/4" = 1'-0"

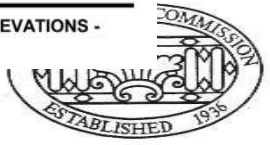
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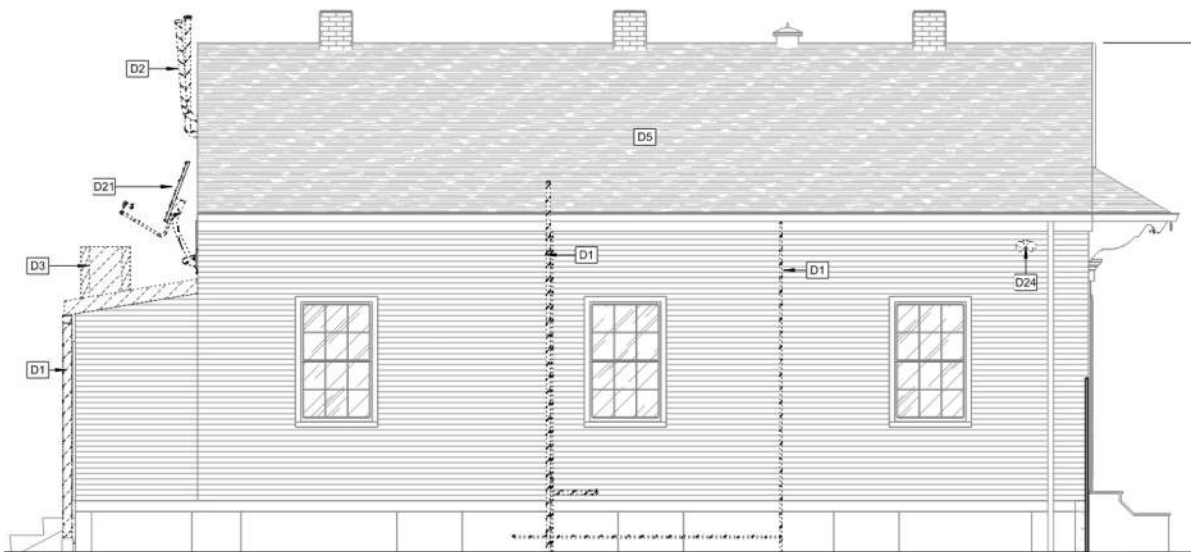
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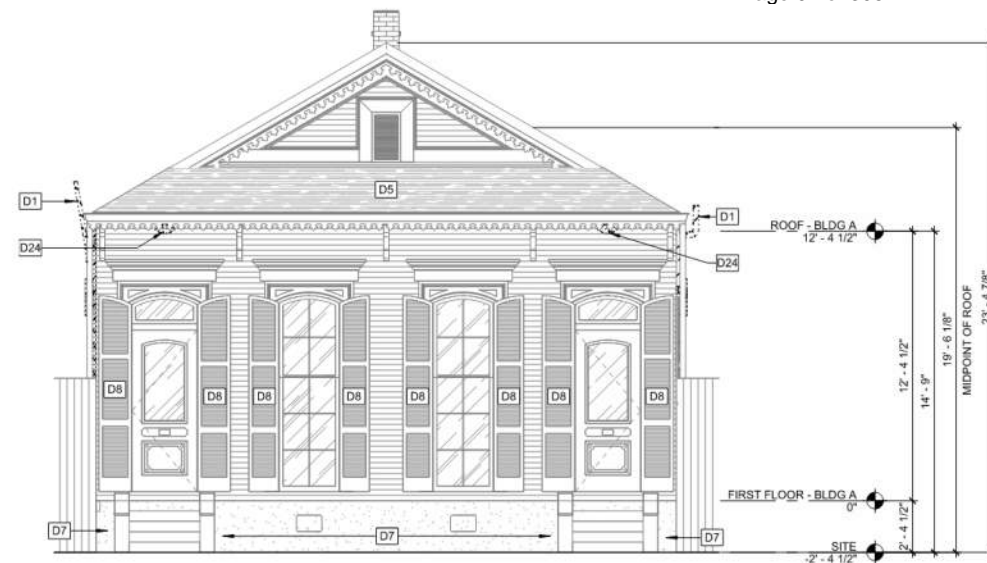
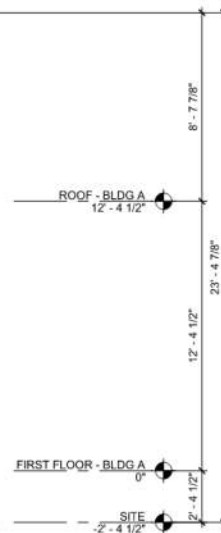
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EXTERIOR ELEVATIONS - DEMOLITION





2 EAST EXTERIOR ELEVATION - DEMOLITION
 1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION - DEMOLITION
 1/4" = 1'-0"

GRAPHIC RENOVATION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING ELEMENTS TO BE DEMOLISHED
- PORTION OF AREA TO BE DEMOLISHED
- NOT IN SCOPE

GENERAL NOTES PERTAINING TO DEMOLITION

1. REPLACE DAMAGED SHEATHING TO MATCH EXISTING. REPLACE DAMAGED SIDING TO MATCH EXISTING. REPLACEMENT SIDING SHALL BE KILN-DRIED WOOD WITH ALL SIDES, INCLUDING EDGES, PRE-PRIMED
2. SAND, STAIN, AND SEAL EXISTING WOOD FLOORING WHERE INDICATED TO REMAIN.

REFERENCE DESIGNATIONS FOR DEMOLITION

- D1 REMOVE AND RELOCATE EXISTING EXTERIOR PLUMBING TO INSIDE OF WALL CAVITY.
- D2 REMOVE AND RELOCATE EXISTING EXTERIOR PLUMBING TO INSIDE OF ATTIC.
- D3 REMOVE EXISTING MECHANICAL EQUIPMENT. EXISTING SLATE TILE ROOF TO REMAIN. SEE 2/A202 FOR SCOPE.
- D5 REMOVE TEXTURED STUCCO FINISH.
- D7 REMOVE AND RETAIN HORIZONTAL LOUVERED SHUTTER. REPAIR, REFINISH AND REINSTALL AS PART OF NEW WORK.
- D8 REMOVE AND RETAIN VERTICAL BOARD AND BATTEN SHUTTER. REPAIR, REFINISH AND REINSTALL AS PART OF NEW WORK.
- D9 REMOVE EXISTING ASPHALT SHINGLES AND UNDERLAYMENT. PREPARE EXISTING SUBSTRATE FOR NEW ROOFING AND UNDERLAYMENT AS PART OF NEW WORK.
- D18 REMOVE SATELLITE DISH.
- D21 REMOVE LIGHT FIXTURE AND ANY ASSOCIATED EXPOSED CONDUIT.





908 St Peter

VCC Architectural Committee

March 28, 2023



GRAPHIC RENOVATION LEGEND

-  EXISTING WALLS TO REMAIN
-  EXISTING ELEMENTS TO BE DEMOLISHED
-  PORTION OF AREA TO BE DEMOLISHED
-  NOT IN SCOPE

GENERAL NOTES PERTAINING TO DEMOLITION

1. REPLACE DAMAGED SHEATHING TO MATCH EXISTING. REPLACE DAMAGED SIDING TO MATCH EXISTING. REPLACEMENT SIDING SHALL BE KILN-DRIED WOOD WITH ALL SIDES, INCLUDING EDGES, PRE-PRIMED.
2. SAND, STAIN, AND SEAL EXISTING WOOD FLOORING WHERE INDICATED TO REMAIN.

REFERENCE DESIGNATIONS FOR DEMOLITION

- D4 REMOVE EXISTING HVAC WINDOW UNIT AND ASSOCIATED BLOCKING. EXISTING WINDOW AND DOOR FRAMING TO REMAIN.
- D6 REMOVE EXISTING DOWNSPOUT. PREPARE EXISTING GUTTER TO RECEIVE NEW DOWNSPOUT AS PART OF NEW WORK.
- D9 REMOVE AND RETAIN VERTICAL BOARD AND BATTEN SHUTTER. REPAIR, REFINISH AND REINSTALL AS PART OF NEW WORK.
- D17 REMOVE EXISTING MASONRY CHIMNEY FROM FOUNDATION TO SECOND FLOOR. PROVIDE NEW STRUCTURE TO SUPPORT EXISTING CHIMNEY FROM ATTIC THROUGH ROOF AS PART OF NEW WORK. SEE STRUCTURAL.
- D23 REMOVE EXISTING HORIZONTAL LOUVERED SHUTTER. REPLACE WITH NEW VERTICAL BOARD AND BATTEN SHUTTER AS PART OF NEW WORK.
- D24 REMOVE LIGHT FIXTURE AND ANY ASSOCIATED EXPOSED CONDUIT.
- D25 REPOINT EXISTING MASONRY MORTAR JOINTS WITH APPROVED VCC MORTAR MIX:
HYDRATED LIME: 3 PARTS
PORTLAND CEMENT: 1 PART
WATER: AS REQUIRED TO FORM A WORKABLE MIX
SAND: 9 PARTS

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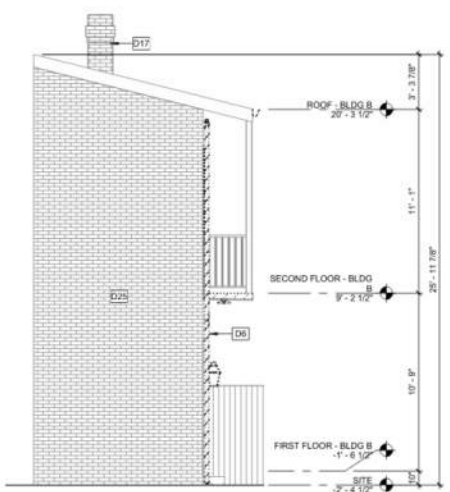
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EXTERIOR ELEVATIONS - DEMOLITION



2 EAST EXTERIOR ELEVATION BUILDING B - DEMOLITION
ANSI 1/4" = 1'-0"



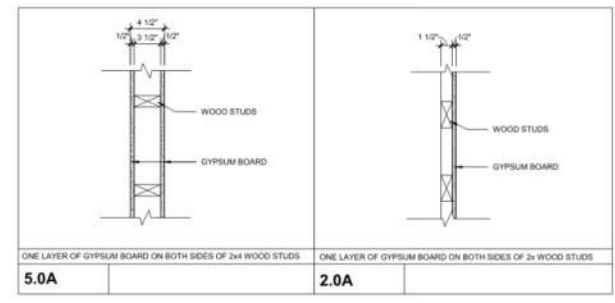
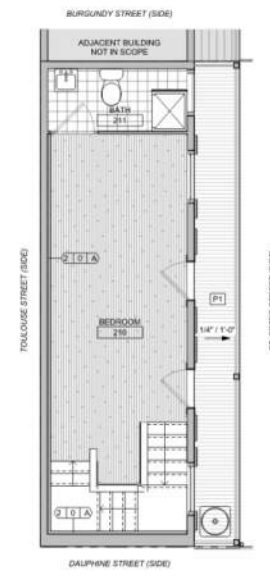
1 NORTH EXTERIOR ELEVATION BUILDING B - DEMOLITION
ANSI 1/4" = 1'-0"

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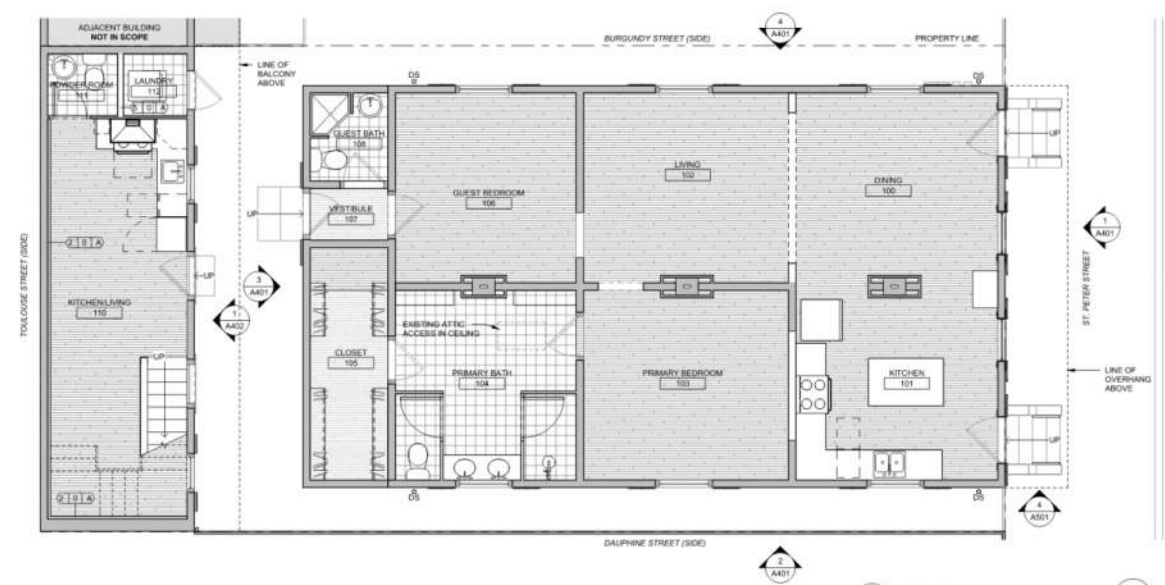
March 28, 2023





- GRAPHIC RENOVATION LEGEND**
- EXISTING WALLS TO REMAIN
 - EXISTING ELEMENTS TO BE DEMOLISHED
 - PORTION OF AREA TO BE DEMOLISHED
 - NOT IN SCOPE
- REFERENCE DESIGNATIONS FOR DEMOLITION**
- P1 TONGUE AND GROOVE WOOD DECKING

2 SECOND FLOOR PLAN
 1/4" = 1'-0"



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

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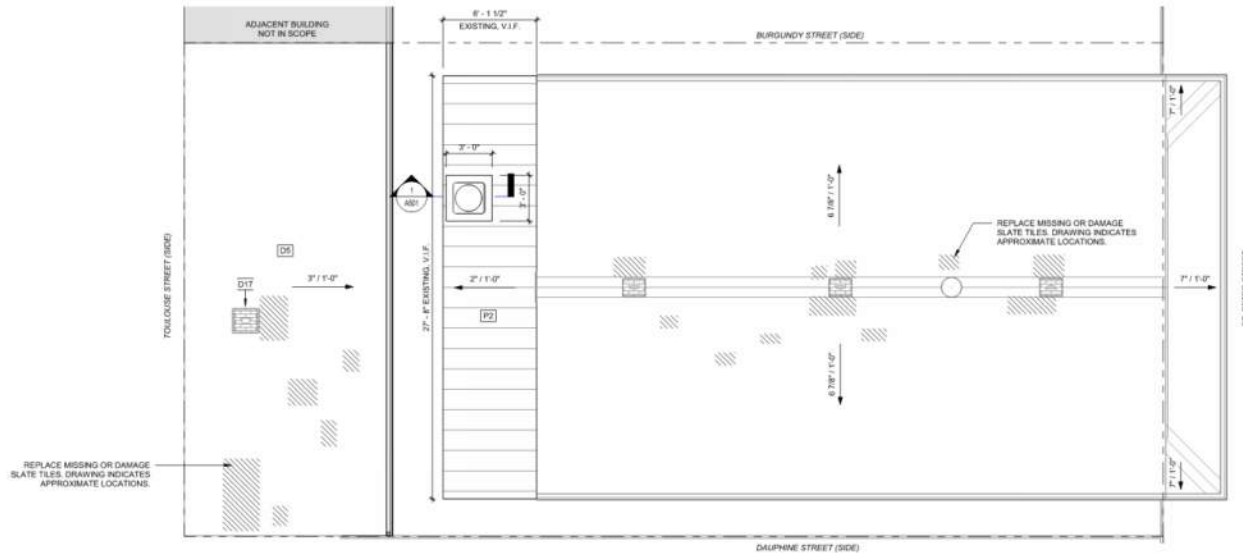
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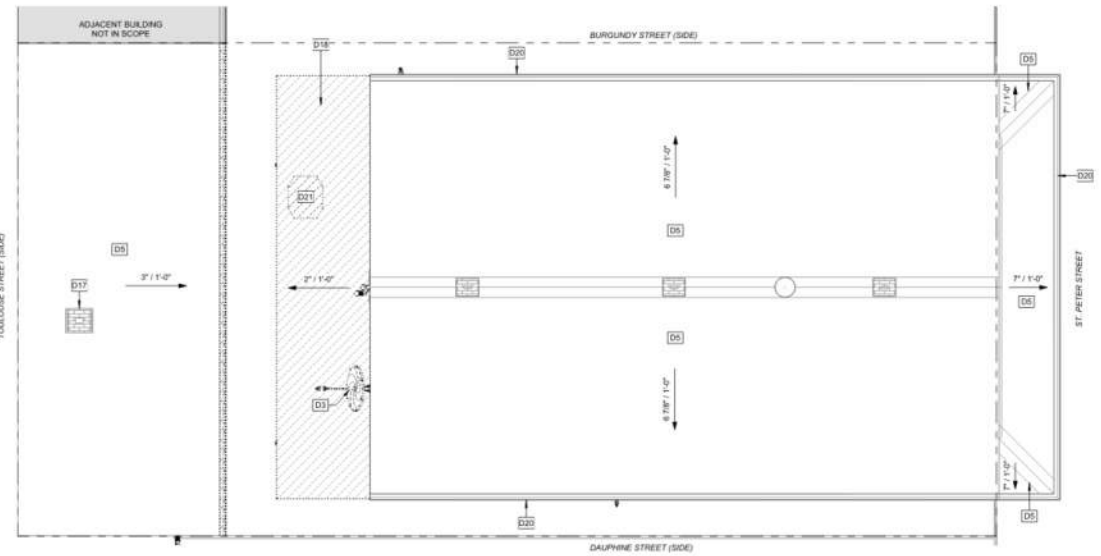
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FLOOR PLANS





2 ROOF PLAN
1/4" = 1'-0"



1 ROOF PLAN - DEMOLITION
1/4" = 1'-0"

GRAPHIC ROOF RENOVATION LEGEND

- EXISTING ROOF AREA TO REMAIN
- NEW ASPHALT SHINGLE ROOF
- APPROXIMATE SLATE TILE REPAIR LOCATION - SEE NOTES

GENERAL NOTES PERTAINING TO ROOF RENOVATION

- 1 REPAIR DAMAGED ROOF SHEATHING LOCATIONS TO MATCH EXISTING.
- 2 AT 2:12 ROOF SLOPE PROVIDE MANUFACTURER'S RECOMMENDED SECONDARY WATERPROOFING / LEAK PROTECTION BENEATH SINGLES.

REFERENCE DESIGNATIONS FOR DEMOLITION

- D0 REMOVE EXISTING MECHANICAL EQUIPMENT EXISTING SLATE TILE ROOF TO REMAIN. SEE ZNDD FOR SCOPE.
- D06 REMOVE EXISTING MASONRY CHIMNEY FROM FOUNDATION TO SECOND FLOOR. PROVIDE NEW STRUCTURE TO SUPPORT EXISTING CHIMNEY FROM ATTIC THROUGH ROOF AS PART OF NEW WORK. SEE STRUCTURAL.
- D07 REMOVE EXISTING ASPHALT SHINGLES AND UNDERLAYMENT. PREPARE EXISTING SUBSTRATE FOR NEW ROOFING AND UNDERLAYMENT AS PART OF NEW WORK.
- D08 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. REMOVE DEBRIS. SEE NEW PLANS FOR SCOPE.
- D09 REMOVE SATELLITE DISH.
- D20 STANDING SEAM PREFINISHED ALUMINUM ROOF PANELS. COLOR TO BE UNITED STEEL SUPPLY ASH GRAY OR SIMILAR. PROVIDE SYNTHETIC UNDERLAYMENT BENEATH ROOF PANELS WITH PEEL AND STICK MEMBRANE AT WALL, EAVE, AND RAKE OF ROOF.

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





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ROOF PLANS



GRAPHIC RENOVATION LEGEND

-  EXISTING WALLS TO REMAIN
-  EXISTING ELEMENTS TO BE DEMOLISHED
-  PORTION OF AREA TO BE DEMOLISHED
-  NOT IN SCOPE

REFERENCE DESIGNATIONS FOR DEMOLITION

- D7 REMOVE TEXTURED STUCCO FINISH
- E1 PAINTED 4" DIA. ALUMINUM DOWNSPOUT
- E2 EXISTING WOOD SIDING. CLEAN AND REPAIR. EXISTING WOOD SHUTTER. REMOVE, RESTORE, AND REPAIR. REINSTALL, TYP.
- E3 EXISTING WOOD WINDOWS. REPAIR ROTTEN OR DAMAGED MORTIS AND TRIM. REMOVE AND REPLACE EXISTING GLAZING PUTTY. REPAIR REPLACE. REFER TO MPS TECHNICAL BRIEF 8, TYP.
- E4 EXISTING SLATE ROOF TILES. SEE A202 FOR REPAIR SCOPE.
- E5 EXISTING WOOD AND GLASS DOOR AND TRANSOM. CLEAN AND REPAIR. REPLACE EXISTING DOWNSPOUT TO REMAIN. REMOVE DEBRIS. CLEAN AND REPAIR.
- E6 PAINTED WOOD HORIZONTAL LOUVERED SHUTTERS. MATCH EXISTING. PROVIDE NEW HISTORIC POWDER-BAKED FINISH SHUTTER HANGWARE.
- E7 EXISTING WOOD STAIRS. REPAIR ROTTEN AND DAMAGED STAIRS. CLEAN AND REPAIR.
- E8 METAL HANDRAIL.
- E9 AIR CONDENSER AND WOOD FRAMED PLATFORM STANDING SEAM. PREFINISHED ALUMINUM ROOF PANELS. COLOR TO BE UNITED STEEL SUPPLY. ASH GRAY OR SIMILAR. PROVIDE SYNTHETIC UNDERLAYMENT BENEATH ROOF PANELS WITH PEEL-AND-STICK MEMBRANE AT WALL, EAVE, AND RAPE OF ROOF.
- P2



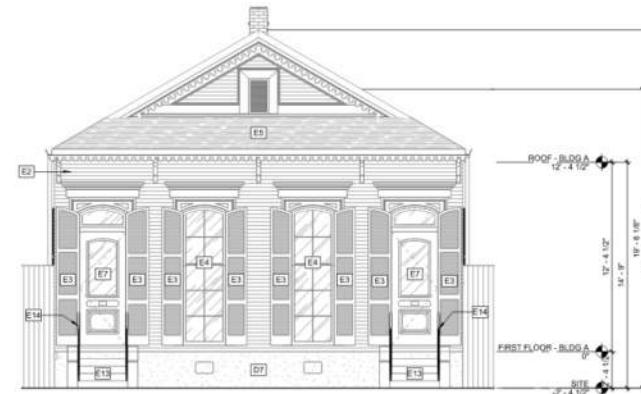
4 WEST EXTERIOR ELEVATION
 1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
 1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION
 1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION
 1/4" = 1'-0"

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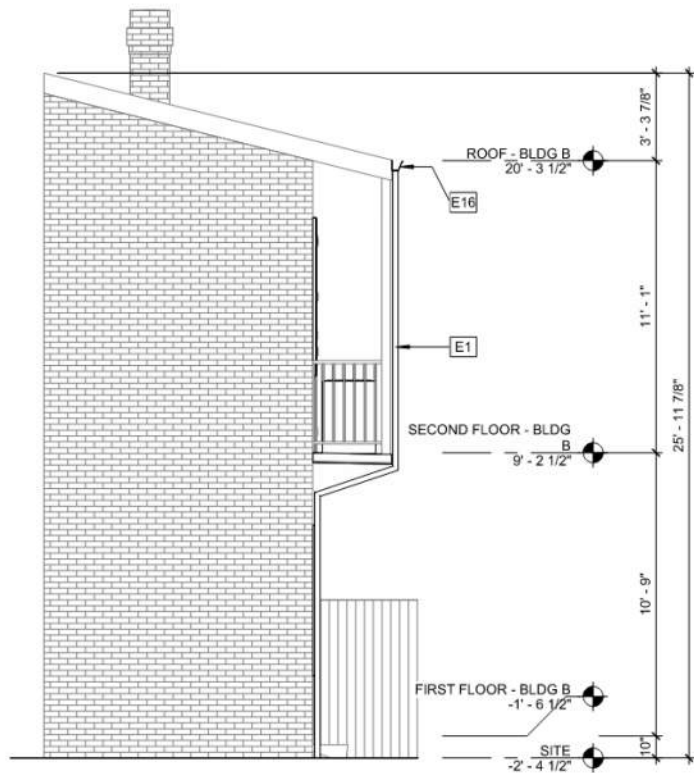
EXTERIOR ELEVATIONS

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VCC Architectural Committee

March 28, 2023





2 EAST EXTERIOR ELEVATION - BUILDING B
1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION - BUILDING B
1/4" = 1'-0"

GRAPHIC RENOVATION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING ELEMENTS TO BE DEMOLISHED
- PORTION OF AREA TO BE DEMOLISHED
- NOT IN SCOPE

REFERENCE DESIGNATIONS FOR DEMOLITION

- E1 PAINTED 4" DIA. ALUMINUM DOWNSPOUT
EXISTING WOOD SHUTTER, REMOVE, RESTORE, AND REPAIR, REINSTALL, TYP.
- E3 EXISTING WOOD WINDOWS. REPAIR ROTTEN OR DAMAGED MUNTINS AND TRIM. REMOVE AND REPLACE EXISTING GLAZING PUTTY, REPAINT IN-PLACE. REFER TO NPS TECHNICAL BRIEF 9, TYP.
- E4 EXISTING SLATE ROOF TILES. SEE A202 FOR REPAIR SCOPE.
- E5 NEW PAINTED WOOD VERTICAL BOARD AND BATTEN SHUTTERS. MATCH EXISTING. PROVIDE NEW HISTORIC POWDER-BAKED FINISH SHUTTER HARDWARE.
- E12 NEW 6" HALF-ROUND PAINTED ALUMINUM GUTTER.



GRAPHIC RENOVATION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING ELEMENTS TO REMAIN UNLESS NOTED OTHERWISE
- PORTION OF AREA TO BE DEMOLISHED
- NOT IN SCOPE

REFERENCE DESIGNATIONS FOR DEMOLITION

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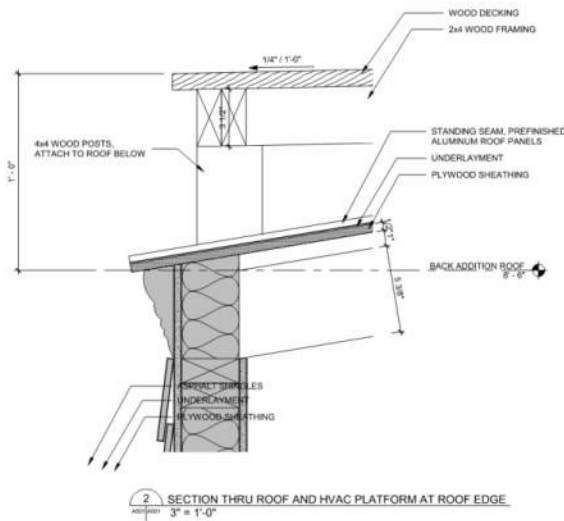
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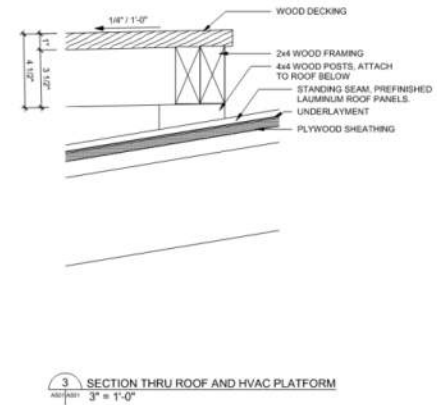


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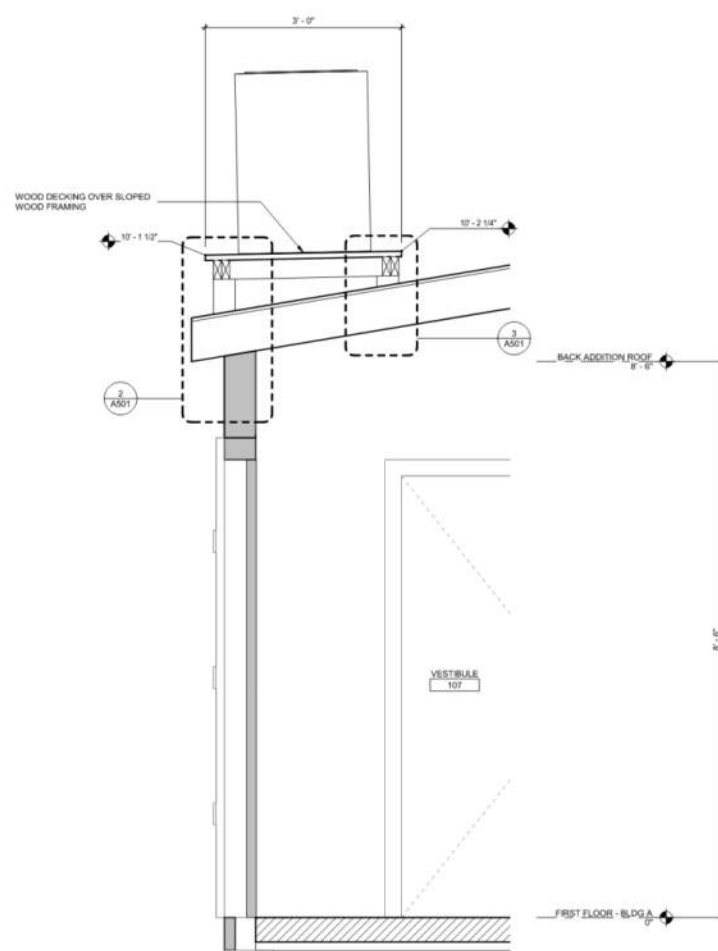
WALL SECTIONS AND EXTERIOR DETAILS



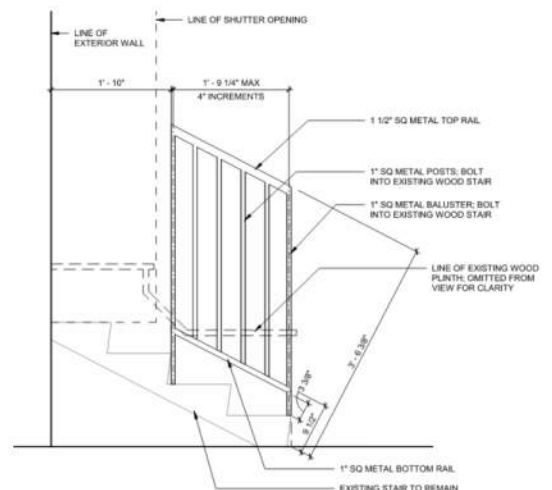
2 SECTION THRU ROOF AND HVAC PLATFORM AT ROOF EDGE
A01/A02 3" = 1'-0"



3 SECTION THRU ROOF AND HVAC PLATFORM
A01/A02 3" = 1'-0"



1 SECTION THRU HVAC PLATFORM
A01/A02 1" = 1'-0"

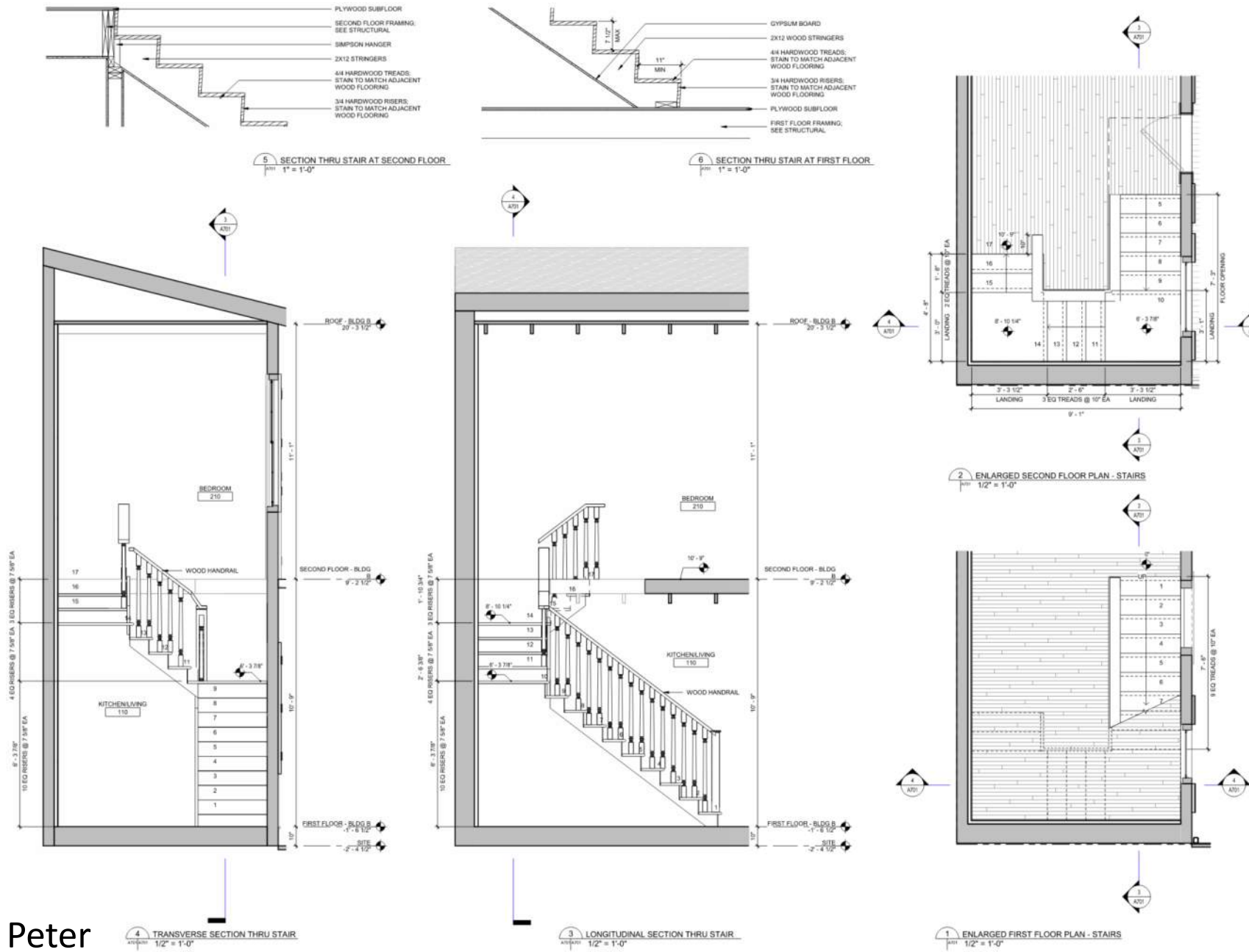


4 ELEVATION OF NEW METAL GUARDRAIL
A01/A02 1" = 1'-0"

GRAPHIC RENOVATION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING ELEMENTS TO BE DEMOLISHED
- PORTION OF AREA TO BE DEMOLISHED
- NOT IN SCOPE

REFERENCE DESIGNATIONS FOR DEMOLITION



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ENLARGED STAIR PLAN AND SECTION

March 28, 2023



GENERAL STRUCTURAL NOTES

I. GENERAL

- A. The contractor shall be responsible for all final dimensions and fit-up of the structure, including verifying all existing conditions and dimensions before commencing work. No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- B. The contractor shall verify the location of all existing utilities before commencing any work. Any interference shall be brought to the attention of the structural engineer.
- C. The contractor shall be responsible for the design, placement, maintenance, etc. of any and all shoring, bracing, tie backs, etc. needed to support any part of the new or existing construction during the entire construction process to ensure the safety and integrity of the structure until the necessary permanent elements are in place. The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
- D. Structural drawings are intended to be used with architectural, mechanical, and electrical drawings. See these drawings for exact location of all depressions, slopes, openings, penetrations, etc. Penetrations not shown on the structural drawings shall be brought to the attention of the structural engineer.
- E. Dimensions - Do not scale these drawings, use written dimensions only. Verify all dimensions at job site before commencing work and report any discrepancies. Where no dimensions are provided obtain clarification prior to proceeding with work.
- F. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- G. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.
- H. With the exception of defects discovered by us or pointed out to us by others to date, our design and the work shown here assumes that the existing structural elements are sound and capable of supporting loads to their full, theoretical, code-allowed capacities. EOR is not responsible for any additional costs, damages, or injuries resulting from discovery or failure of any element that is found to be damaged, deteriorated, or otherwise structurally impaired.
- I. The Contractor shall inform the professional of record in writing of any deviation from the Contract Documents. The Contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.
- J. Note: If any items herein are not understandable or clear as to intent, the contractor must notify the Engineer of Record for clarification and/or supplemental information prior to actual installation.

II. DESIGN BASIS

- A. Applicable Codes and Standards
International Residential Code 2015; ASCE 7-2010

WOOD FRAMING

All wood framing fabrication and erection shall conform to the National Design Specification for Wood Construction by the NFPA, the Plywood Design Specification by the APA and meet the requirements below. Unless noted otherwise, all wood connections shall be in accordance with the fastening schedule of the International Residential Code.

All lumber or plywood in contact with masonry or exposed to earth or weather shall be pressure treated with CCA or MCQ to a minimum retention of 0.40 LBS/CU. FT. in accordance with AWPA. ACQ treatment is not allowed without written approval of the structural engineer. All treated wood members shall be connected or fastened with galvanized nails, screws, or bolts. The coating must be hot-dipped to an equivalent of G-90 rating or greater.

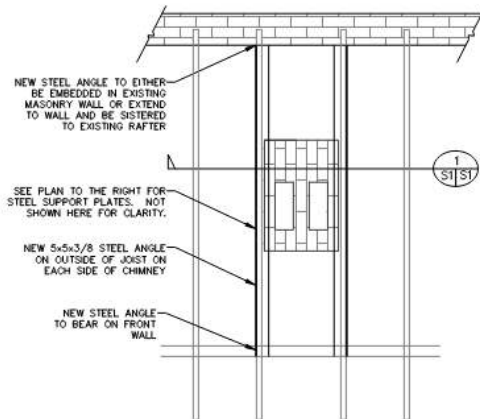
Framing Lumber - Southern Yellow Pine grade marked and kiln dried, S4S, No. 2, maximum moisture content 19%. All member piece ends, joints, or splices shall be over supports unless noted otherwise. Studs shall be continuous between floor levels unless otherwise noted. Unless noted otherwise multiple pieces of lumber used to form beam or header members shall be attached together with 4 rows of 16d nails spaced at 16" for pieces up to 12" deep, 5 rows of 16d nails at 16" for pieces 14" and 16" deep and 6 rows of 16d nails spaced at 16" for pieces 18" deep.

Floor Framing - Provide bridging for dimensioned lumber floor joists at 8'-0" o.c. max.

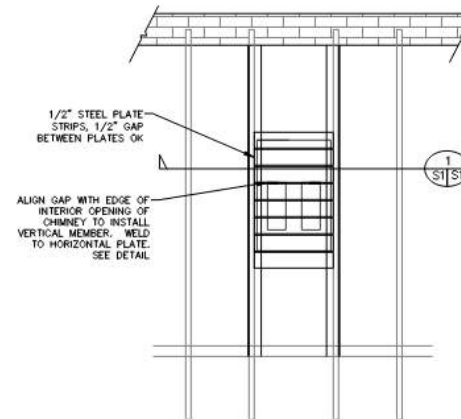
Plywood Flooring - APA rated 48/24, 3/4" thick. Nail with 12d nails spaced at 6" o.c. at panel ends and 12" o.c. at intermediate supports.

Plywood Roofing - APA rated 32/16, 5/8" thick. Nail with 10d nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.

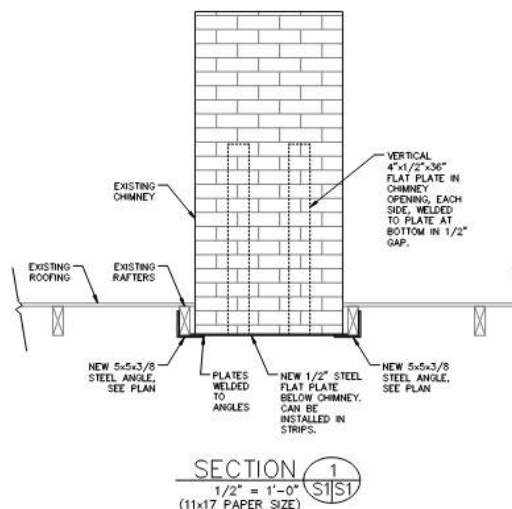
LVL Members - All members designated as "LVL" shall be laminated veneer lumber having properties and strength equal to Trus Joist "Microllam" with a minimum designated modulus of elasticity of 2000 ksi (2.0E) for all headers and beams. LVL members shall be glued and nailed together following the manufacturer's instructions.



CHIMNEY SUPPORT PLAN
1/4" = 1'-0"
(11x17 PAPER SIZE)



CHIMNEY SUPPORT PLAN (ADDITIONAL VIEW)
1/4" = 1'-0"
(11x17 PAPER SIZE)



SECTION 1
1/2" = 1'-0"
(11x17 PAPER SIZE)

REVISION NO. DATE DESCRIPTION

908 St. Peter Street
New Orleans, Louisiana

DRAWN BY: JMS
CHECKED BY: JMS
DATE: FEBRUARY 16, 2023
SCALE: 1/8"=1'-0"

PRELIMINARY
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, RECORDING, OR FOR ANY OTHER PURPOSES, WITHOUT THE WRITTEN CONSENT OF MARASIS CONSULTANTS, LLC.

GENERAL STRUCTURAL NOTES

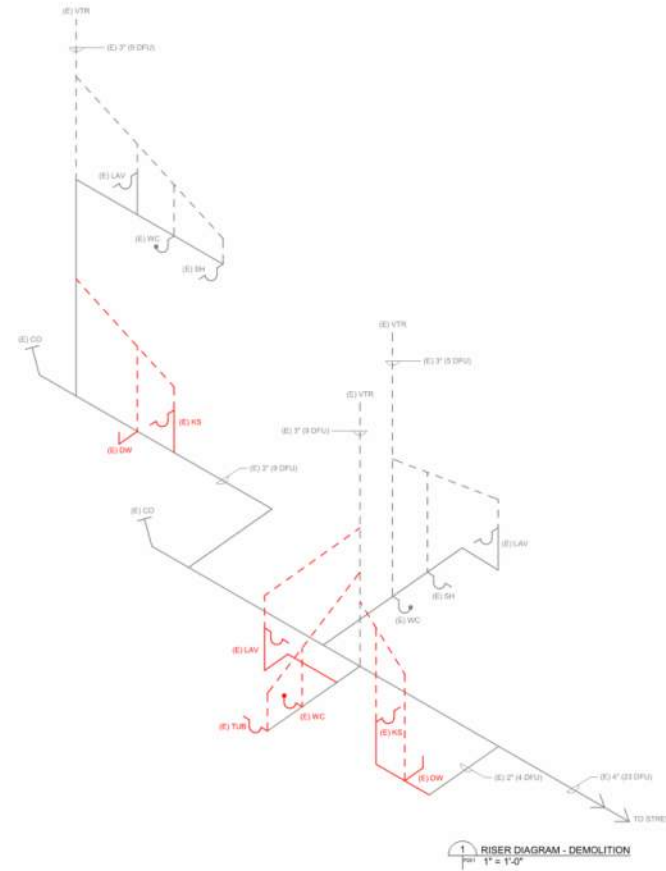
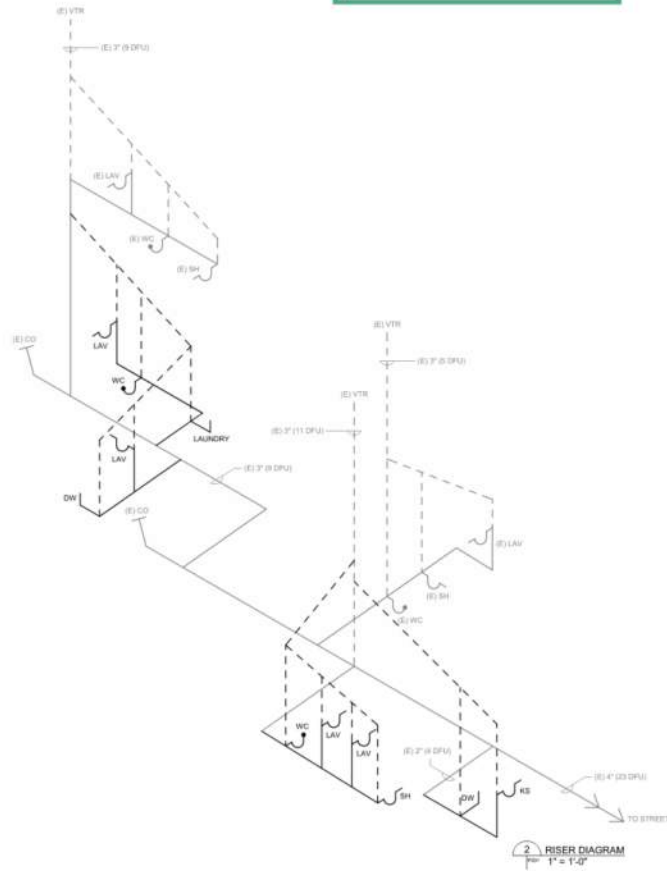
SHEET
S1



GRAPHIC RISER DIAGRAM LEGEND

- WASTE - EXISTING TO REMAIN
- - - VENT - EXISTING TO REMAIN
- WASTE - CAP AND ABANDON
- - - VENT - CAP AND ABANDON
- WASTE - NEW
- - - VENT - NEW

APPROVED
maevans , 3/14/2023 , 7:22:08 AM



908 ST. PETER

908 St. Peter St., New Orleans, LA 70116

SWDA PROJECT NO. | 22050
© Studio West Design & Architecture, LLC 2023



ISSUE DATE | 10 MARCH 2023
CONSTRUCTION DOCUMENTS
REVISIONS

RISER DIAGRAMS





638 Dauphine



636 Dauphine

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March 28, 2023





636 Dauphine, 1950s

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March 28, 2023





636 Dauphine, 1962

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March 28, 2023





636 Dauphine, 1987

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636 Dauphine

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07 29 2022

March 28, 2023





636 Dauphine

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05 19 2022

March 28, 2023





636 Dauphine

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636 Dauphine

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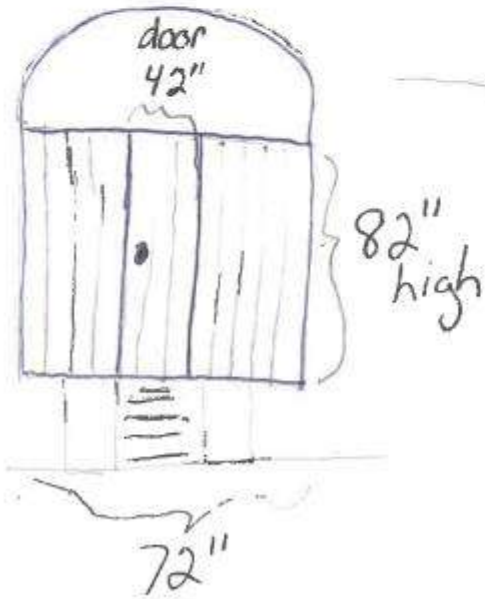
636 Dauphine

VCC Architectural Committee

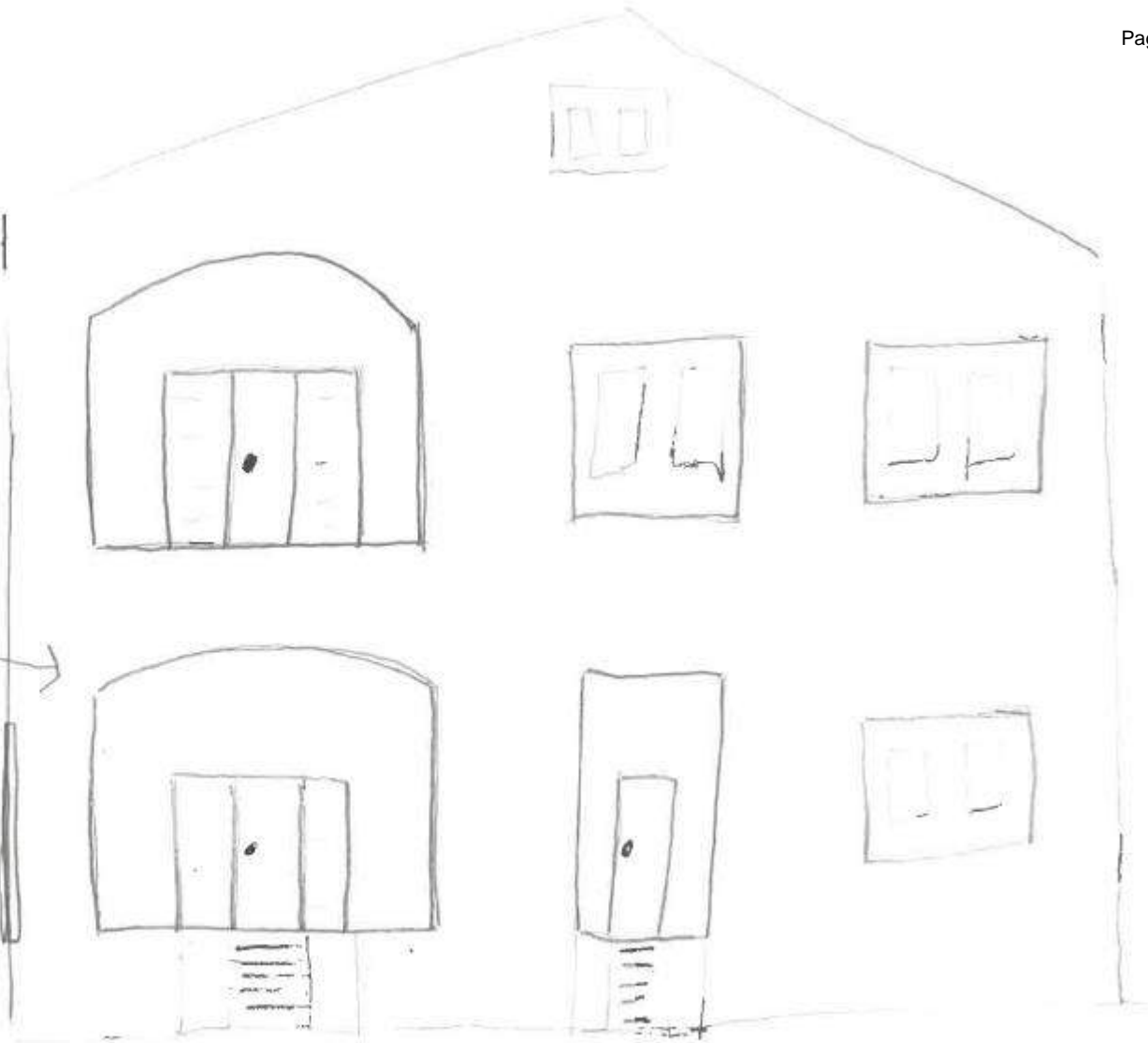
March 28, 2023



proposed black metal
gate/door across the
porch opening



side
opening



638 Dauphine

636 Dauphine

636 Dauphine

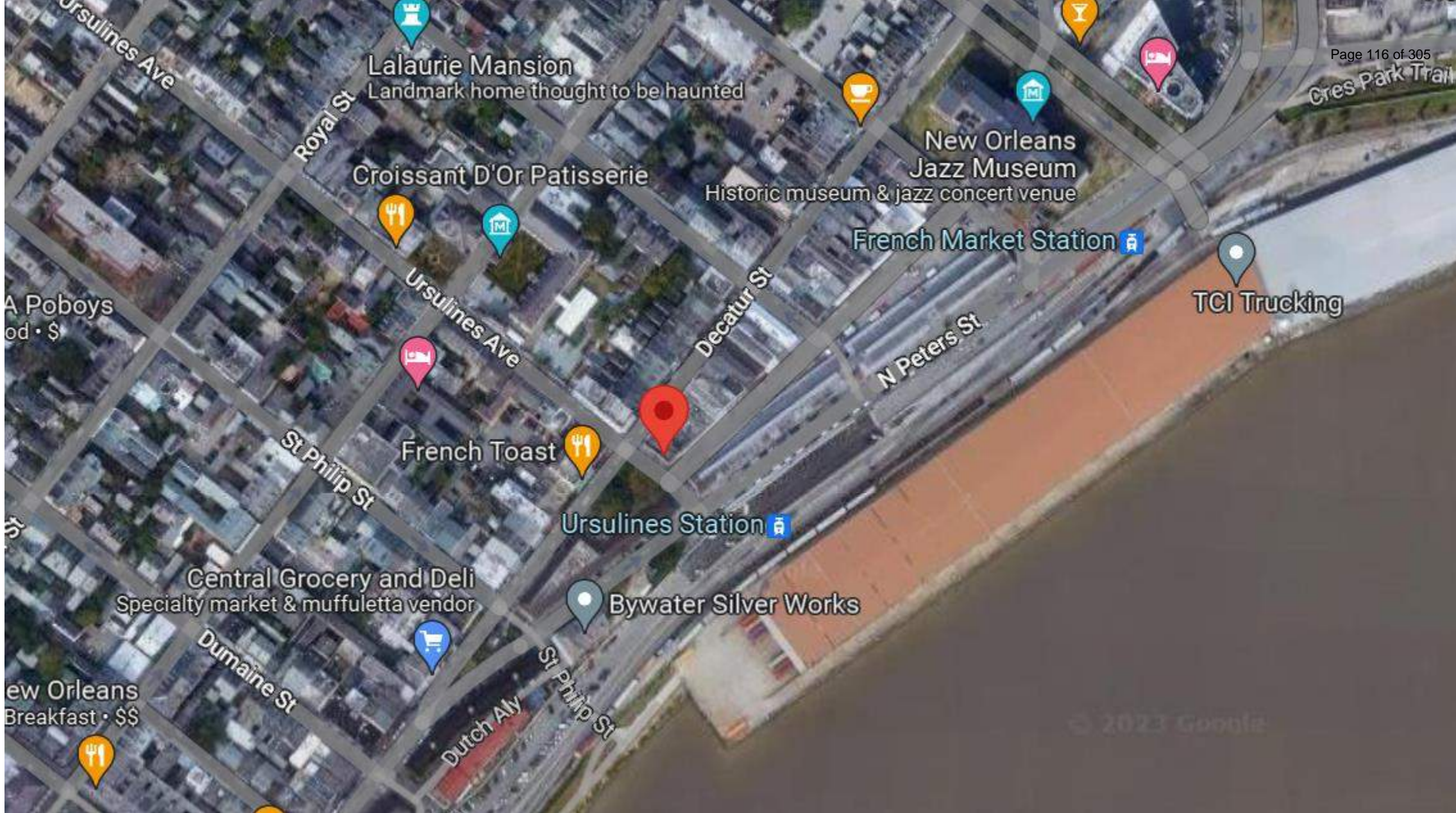
VCC Architectural Committee

March 28, 2023





1 French Market Place 1100 Decatur



1 French Market Place/ 1100 Decatur

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March 28, 2023





1 French Market Place/ 1100 Decatur

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1 French Market Place/ 1100 Decatur, March 2011

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March 28, 2023





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1 French Market Place/ 1100 Decatur

VCC Architectural Committee

March 28, 2023



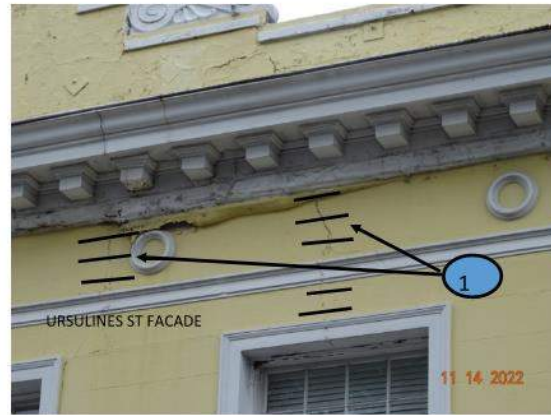


1 French Market Place/ 1100 Decatur

VCC Architectural Committee

March 28, 2023





1 FRENCH MARKET PL

VCC APPL; LKH#6522;

3.14.2023

By

LKHarmonArchitects apac

KEYNOTES:

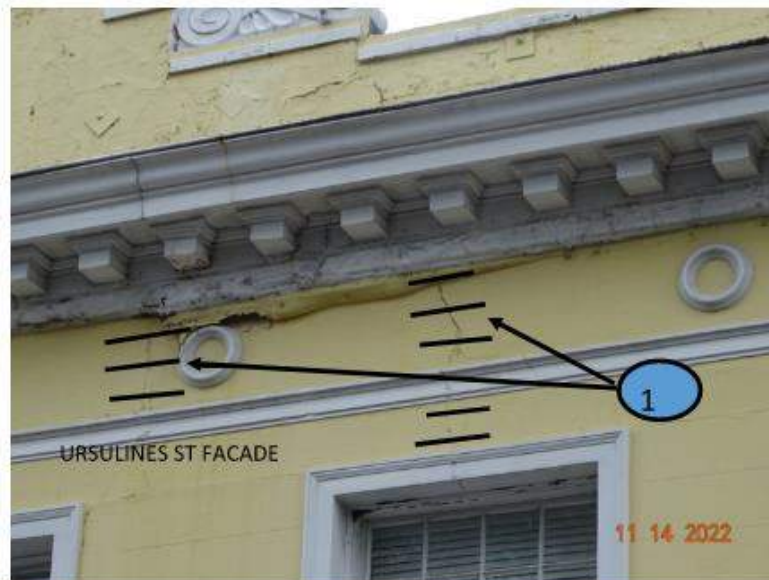
1. INSTALL SIMPSON HELI-TIES PER SIMPSON INSTALLATION INSTRUCTIONS INCL. MORTAR TUCKPOINTING. PRIME AND PAINT TO MATCH.
2. REMOVE AND REPLACE FLAGSTONE PAVING IN—KIND.

1 French Market Place/ 1100 Decatur

VCC Architectural Committee

March 28, 2023





1 FRENCH MARKET PL

VCC APPL; LKH#6522;

3.14.2023

By

LKHarmonArchitects apac

KEYNOTES:

1. INSTALL SIMPSON HELI-TIES PER SIMPSON INSTALLATION INSTRUCTIONS INCL. MORTAR TUCKPOINTING. PRIME AND PAINT TO MATCH.
2. REMOVE AND REPLACE FLAGSTONE PAVING IN—KIND.



1 French Market Place/ 1100 Decatur

VCC Architectural Committee

March 28, 2023



SECTION 04051 – MASONRY HELICAL TIES

PART 1 – GENERAL

1.01 SECTION INCLUDES

- A. This Section pertains to all other Sections of these Specifications that require post-installed helical ties, unless otherwise specified. Requirements pertaining to post-installed helical tie work including, but not limited to, furnishing and installing helical tie and providing all equipment, labor, services, and access to complete the work:
 - a. Helical wall ties to connect multiple wythes of masonry or other wall construction together.
 - b. Helical stitching ties installed in mortar bed joints for crack stabilization.

1.02 RELATED DOCUMENTS

- A. Division 1, General Requirements
- B. Division 4, Masonry

1.03 REFERENCES

Use the most recent edition of the following referenced Standards based on current, jurisdiction Code adoptions.

- A. ANSI B212.15 – Cutting Tools – Carbide-Tipped Masonry Drills and Blanks for Carbide-Tipped Masonry Drills
- B. ASTM E3121 – Standard Test Methods for Field Testing of Anchors in Concrete or Masonry
- C. CSA A370 – Connectors for Masonry
- D. SAE J405 – Chemical Compositions of SAE Wrought Stainless Steels
- E. NFJ 402/602 – Building Code Requirements and Specification for Masonry Structures
- F. 29 CFR, Standard 1926 – Safety and Health Regulations for Construction

1.04 SUBMITTALS AND SUBSTITUTIONS

Submittals and substitutions shall be in accordance with the General Conditions of the Contract Documents, Division 1: General Requirements, and the following procedures:

- A. Submittals: Submit product data for proprietary products and materials listed under Part 2 – Products of this Section that includes General Product Information
 - 1. General Product Information
 - 2. Technical Performance Data
 - 3. Material Safety Data Sheets (MSDS)
 - 4. Manufacturer's Published Installation Instructions (MPI)
 - 5. Results of pre-construction, site-specific, field testing program when required by the Contract Documents or Project existing conditions.

B. Substitutions

- 1. The Contractor shall submit technical performance data and calculations that are prepared & sealed by a registered Design Professional demonstrating that the product substitution is capable of achieving performance values equal to, or better than, the specified product using appropriate design procedure and/or standards as required by the Contract Documents and applicable Building Code.
- 2. Calculations shall specify the diameter and embedment depth required of the substituted product as well as the diameter of drill bits and drilling procedures required to drill holes for the installation.
- 3. The Contractor shall submit results of a pre-construction, site-specific, field testing program for product proposed as a substitution when such field testing is required by the Contract Documents or Project existing conditions.
- 4. Substitution requests must be accompanied by all submittal information required of the specified product for which the substitution is proposed.
- 5. Any increase in costs for such substitution shall be the sole responsibility of the Contractor.

1.05 QUALITY ASSURANCE

- A. Installer Qualifications: Installers shall be trained by a qualified, helical tie product manufacturer's representative to assure proper installation.
- B. The installer shall be experienced with the installation of product similar or equal to the type specified, and into the base material required for the Project, or shall otherwise be acceptable to the Owner.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Deliver products to job site undamaged and in product manufacturer's or distributor's original packaging, complete with installation instructions.
- B. Protect and handle materials in accordance with product manufacturer's recommendations to prevent product damage, degradation, or deterioration.

1.07 PROJECT CONDITIONS

- A. Contractor shall notify the registered Design Professional of inadequate, deteriorated, poor quality, and/or inappropriate base material conditions prior to commencing the work.
- B. The product steel type must provide multiple corrosion resistance for the anticipated service environment following proper installation.
- C. Pre-Construction, Site-Specific, Field Testing Program

- 1. Pre-construction, site-specific, field testing of product may be specified or required when base materials are of unknown quality or poor existing condition to determine specific installation parameters, i.e., drill bit diameter, hole drilling procedures, etc., to optimize product performance.
- 2. Results of the pre-construction, site-specific, field testing program shall be documented in a written field test report. The field test report shall include, but not be limited to, the following information: maximum tensile performance, tensile performance/total deflection relationship, embedment depth, drill bit size, and rotator settings for each test and base material tested.
- 3. Pre-construction, site-specific, field testing shall conform to ASTM E3121 to the greatest extent possible and shall be conducted by qualified field technicians using calibrated test equipment.

PART 2 – PRODUCTS

2.01 Helical Tie

- A. Post-installed helical ties for use in masonry/concrete base materials shall be feature cold fire formed on the steel wire cold rolling process suitable to support and resist structural demand loading by means of tension, compression or a combination of both.
- B. Material: Type 304 or 316 Stainless Steel as specified for the Project conditions.
- C. Helical ties shall be installed using the manufacturer's accessories.
- D. Unless noted otherwise, Helical Tie shall be Heli-Tie products by the Simpson Strong-Tie Company. Use Heli-Tie Wall Tie for wall tie applications and Heli-Tie Stitching Tie for crack stitching applications.

2.02 Non-Shrink Repair Mortar

- A. Mortar for use as a system in the stitching tie application shall be cementitious, single-component, non-shrink, polymer-modified, silica fume-enhanced, structural repair mortar with integral corrosion inhibitor.
- B. Unless otherwise noted, use Simpson Strong-Tie FX-263 Rapid-Hardening Vertical/Overhead Repair Mortar.

2.03 Misc. Repair Materials

- A. Material used for vertical crack repair in stitching tie application shall be as specified or approved by the registered Design Professional.
- B. Material used to conceal horizontal mortar joint in stitching tie application shall be as specified or approved by the registered Design Professional.

2.04 Equipment and tools for installing wall ties

- A. Drill bit, D88 bit shall be carbide-tipped and conforming to ANSI B212.15. Diameter shall be as specified in the Contract Documents.
- B. Installation Tool: Use installation tool as specified by the helical tie manufacturer. Unless noted otherwise, use Simpson Strong-Tie Heli-Tie Installation Tool (model HETI00L37A).

2.05 Equipment and tools for installing stitching ties

- A. Rotary grinding wheel, or other suitable tools for safely removing mortar in bed joints to the depth specified in the Contract Documents.

PART 3 – EXECUTION

3.01 EXAMINATION

- A. Examine supporting base materials and environmental conditions. Do not begin installation until base materials have been properly prepared, silica fume-enhanced, structural repair mortar with integral corrosion inhibitor.
- B. Material used to conceal horizontal mortar joint in stitching tie application shall be as specified or approved by the registered Design Professional.

3.02 INSTALLATION

Installations shall conform to the Manufacturer's Published Installation Instructions (MPI) or to alternative procedures specified in the Contract Documents. Installation procedures specified in the Contract Documents shall supersede procedures in the MPI.

A. For Wall Tie applications

- 1. Drill all holes for helical ties using carbide-tipped drill bits of the diameter specified in the Contract Documents or otherwise recommended in the MPI. Drill holes with rotatorhammer setting set as specified in the Contract Documents or otherwise recommended in the MPI. It is suggested to use rotation only mode for soft or hollow materials.
- 2. Identify position of bed joint reinforcement, reinforcing steel and/or other embedded items prior to drilling holes for ties. Exercise care in drilling to avoid damaging existing reinforcing or embedded items are encountered during hole drilling procedures.
- 3. Drill holes for helical wall ties accurately and squarely without excessive drill bit wobble at locations and spacing specified in the Contract Documents. Drill holes perpendicular to base materials, unless otherwise specified.
- 4. Drill holes continuously into the specified embedment depth through all facing and back-up base materials to be tied together.
- 5. Install helical ties into holes pre-drilled in base materials using the manufacturer's recommended installation tool.
- 6. Position correct end of helical tie into the manufacturer's installation tool set in an SDS-Plus rotatorhammer and drive the helical tie into the pre-drilled hole with the rotatorhammer set in hammer mode. Drive the helical tie into the base material until the helical tie is counter-sunk beyond the facing base-material surface as specified or to the depth permitted by the installation tool. Install specified patch/repair material to match existing finish surface material.
- 7. Where the helical tie manufacturer recommends use of special tools for installation of ties, such tools shall be used, unless otherwise specifically permitted by the registered Design Professional of Record.

B. For Stitching Tie applications

- 1. Remove bed joint mortar for minimum 20 in. length on either side of the affected area (crack) to a depth of approximately 1 1/4", or as otherwise specified, with a rotary grinding wheel. Unless specified otherwise on the contract documents, vertical spacing of installation sites should be 12" for red brick or every other course for concrete masonry units.
- 2. Clear bed joint of all loose debris and condition mortar joint and adjacent units to a saturated surface dry moisture condition.
- 3. Mix non-shrink repair grout or mortar per product instructions and place into the prepared bed joint, filling the void to approximately two-thirds of its depth.
- 4. Embed the stitching tie at one-half the depth of the void. Trowel displaced grout to fully encapsulate the tie.
- 5. Fill and finish any remaining void of the bed joint with mortar to match existing adjacent mortar.
- 6. Fill and finish any vertical cracks with approved repair material to conceal repair site.

3.03 FIELD QUALITY CONTROL

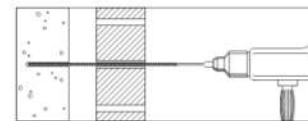
A. Special Inspection

- 1. When Special Inspection is required under the Contract, the Contractor shall notify the Owner's selected Special Inspection Agency of the helical tie installer's intent to commence work, providing at least 72 hours advance notice.
- 2. The Contractor shall provide the Special Inspector with safe access to the work and a representative from the Contractor shall accompany the Special Inspector at all time during Special Inspection, unless otherwise agreed between the Contractor, Owner, and Special Inspection Agency.

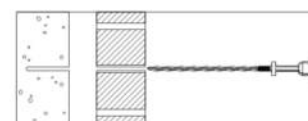
3.04 FIELD TESTING

- A. Helical tie installations shall be tested during construction by qualified field technicians acceptable to the Owner and registered Design Professional of Record using properly calibrated, manufacturer-recommended, proprietary testing equipment when such field testing is specified under the Contract.
- B. Frequency of helical wall tie testing shall be in accordance with the Contract Documents.
- C. Contact Simpson Strong-Tie at 800-999-5099 for additional information related to field testing.

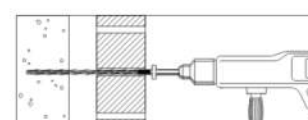
HELI-TIE™ HELICAL WALL TIE



Drill pilot hole through the façade material and into the backup material to the specified embedment depth + 1" using appropriate drill bits in the chart below. Drill should be in rotation-only mode when drilling into soft masonry or into hollow backing material.



Position blue end of the Heli-Tie fastener in the installation tool and insert the unpainted end into the pilot hole.

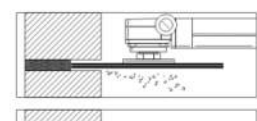


With the SDS-plus rotohammer in hammer mode, drive the tie until the tip of the installation tool enters the exterior surface of the masonry and countersinks the tie below the surface. Patch the hole in the façade with a matching masonry mortar.

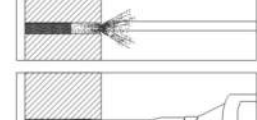
SIZE (IN.)	MODEL NO.	DRILL BIT DIA. (IN.)
1/2" x 7"	HELLI37700A	
1/2" x 8"	HELLI37800A	
1/2" x 9"	HELLI37900A	
1/2" x 10"	HELLI37000A	
1/2" x 11"	HELLI37100A	
1/2" x 12"	HELLI37200A	
1/2" x 14"	HELLI37400A	
1/2" x 16"	HELLI37600A	
1/2" x 18"	HELLI37800A	
1/2" x 20"	HELLI37000A	

HELIC WALL TIE INSTALLATION NOTES

HELI-TIE™ HELICAL STITCHING TIE



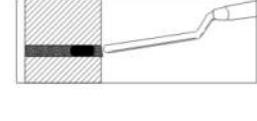
Chase bed joint 20" min. on either side of the affected area to a depth of approximately 1 1/4" with a rotary grinding wheel. Vertical spacing of installation sites should be 12" for brick or every other course for concrete masonry units.



Clear bed joint of all loose debris using water or oil-free compressed air.



Mix non-shrink repair grout or mortar per product instructions and place into the prepared bed joint, filling the void to approximately two-thirds of its depth. Simpson Strong-Tie FX-263 repair mortar should be used.



Embed the tie at one-half the depth of the void.

Trowel displaced grout to fully encapsulate the tie. Fill any remaining voids and vertical cracks with non-shrink repair grout or other repair mortar to conceal repair site.

GENERAL NOTES

1

HELIC STITCHING TIE INSTALLATION NOTES

3

For more information, see *Helical Wall Tie* installation video at www.strongtie.com/video

For more information, see *Helical Stitching Tie* installation video at www.strongtie.com/video

Page 27 of 305

DATE	BY	DESCRIPTION

SIMPSON Strong-Tie, Co. Inc.
 2006 N. Lee Parkway Blvd.
 P.O. Box 1000
 Portland, OR 97208
 Phone: (503) 999-5099
 Website: www.strongtie.com

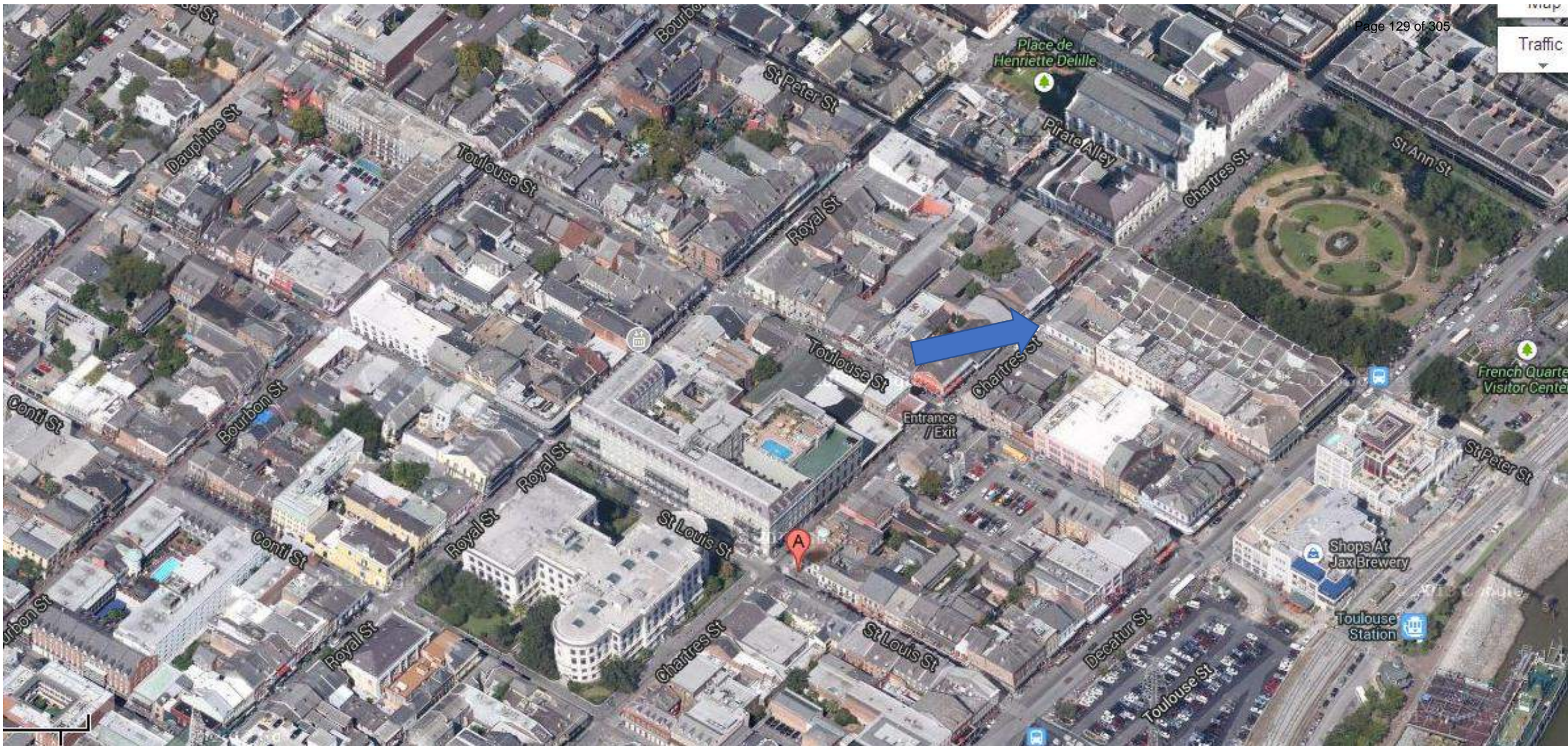
HELI-TIE
GENERAL NOTES

NAME: _____
 DATE: 10-29-2021
 SCALE: N.T.S.
 CHECKED: _____
 SHEET: _____
HT-1
 1 of 2 SHEETS
 DWG NO.: ES-201774





620 Chartres



620 Chartres

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March 28, 2023





620 Chartres

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620 Chartres- 1947





620 Chartres





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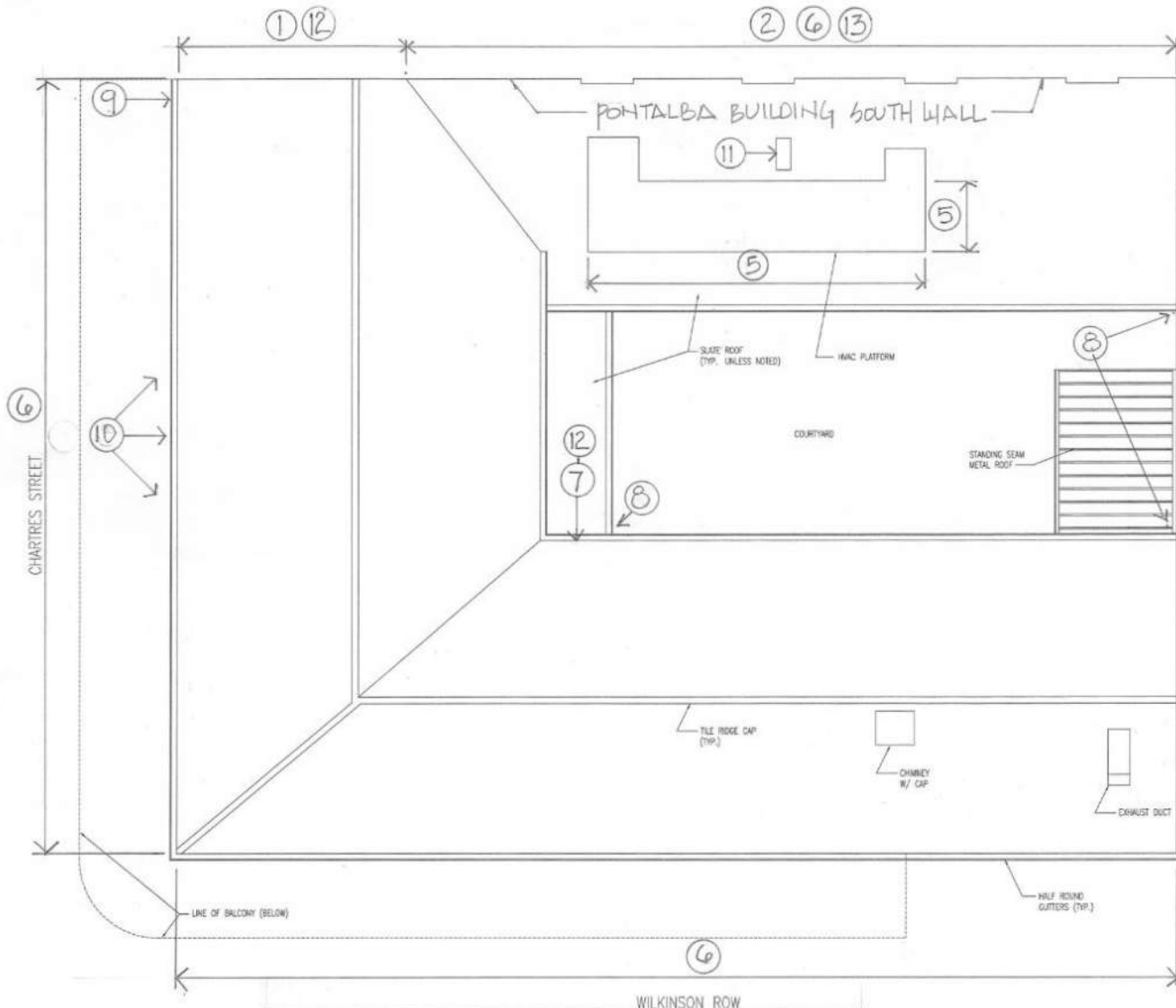


620 Chartres

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March 28, 2023





REPAIR NOTES

1. REPLACE SIDE-WALL FLASHING, SEE ATTACHED SPEC'S (1-31-23).
2. REPLACE END-WALL FLASHING, SEE ATTACHED SPEC'S (1-31-23).
3. REPLACE SIDE-WALL FLASHING PER NOTE #1; REPAIR PARAPET MASONRY, STUCCO AND TOP, AS NEEDED. DO NOT CAP PARAPET HERE.
4. REPLACE SIDE-WALL FLASHING PER NOTE #1; CAP PARAPET & LOCK CAP FLASHING TO SIDE-WALL FLASHING.
5. REPAIR OR REPLACE ALL EXISTING MECHANICAL DECK POST FLASHING, AS NEEDED.
6. REPLACE ALL BROKEN/MISSING ROOF SHINGLES WITH MATERIAL TO MATCH EXISTING AT BOTH FLANKS GABLE ROOFS. (NOTE: EXISTG SHINGLES ARE NATURAL SLATE).
7. REPLACE SIDE-WALL FLASHING PER NOTE #1.
8. RE-SIZE AND REPLACE EXISTING DOWNSPOUTS WITH ROUND COPPER D.S. TO MATCH EXISTING GUTTERS CUNULE THICKNESS.
9. REPLACE EXISTING GUTTER AND DOWNSPOUT WHERE FAILING, THIS AREA, PER NOTE 8.
10. REPLACE DOOR SILL FLASHING AT 3 EXISTING DOORS FOR WATER-TIGHT SILL-TO-GALLERY CONNECTION.
11. REPAIR OR REPLACE FLASHING AT EXISTG THRU-ROOF OPENING FOR MECHANICAL LINES.
12. PROVIDE 160Z, 100% COPPER FLASHING AT THIS AREA
13. PROVIDE GALVANIZED STEEL FLASHING AT THIS AREA (MATCH COLOR)

620 CHARTRES ST. SCOPE OF WORK AND ROOF REPAIR NOTES (NO SCALE) 1-31-23 UPDATED: 3-18-23

EXISTING CONDITIONS ROOF PLAN



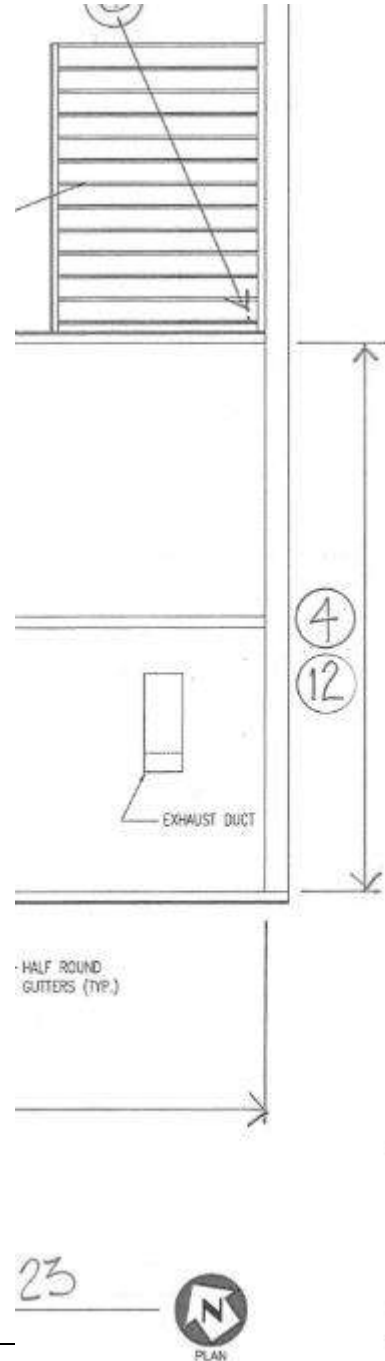
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ISSUED	1-31-23
REVISED	
DATE	3-18-23

SHEET

04 OF 23

NEW BAR AND OFFICES AT DORIS METROPOLITAN RESTAURANT
 620 CHARTRES STREET, NEW ORLEANS, LA
 FOR DORIS METROPOLITAN NEW ORLEANS, LLC
 ERWARD GLEWING ARCHITECT 2245 BELT STREET NEW ORLEANS LA - 504 937 0900





4. REPLACE SIDE-WALL FLASHING PER NOTE #1; CAP PARAPET & LOCK CAP-FLASH'G TO SIDE-WALL FLASH'G.

5. REPAIR OR REPLACE ALL EXISTING MECHANICAL DECK POST FLASHING, AS-NEEDED.

6. REPLACE ALL BROKEN/MISSING ROOF SHINGLES WITH MATERIAL TO MATCH EXISTING AT BOTH FLANKS GABLE ROOFS. (NOTE: EXIST'G SHINGLES ARE NATURAL SLATE.)

7. REPLACE SIDE-WALL FLASHING PER NOTE #1.

8. RE-SIZE AND REPLACE EXISTING DOWNSPOUTS WITH ROUND COPPER D.B. TO MATCH EXISTING GUTTERS ON L.E. THICKNESS.

9. REPLACE EXISTING GUTTER AND DOWNSPOUT WHERE FAILING, THIS AREA, PER NOTE 8.

10. REPLACE DOOR SILL FLASHING AT 3 EXISTING DOORS FOR WATER-TIGHT SILL-TO-GALLERY CONNECTION.

11. REPAIR OR REPLACE FLASHING AT EXIST'G THRU-ROOF OPENING FOR MECHANICAL LINES.

12. PROVIDE 160Z., 100% COPPER FLASHING AT THIS AREA

13. PROVIDE GALVANIZED STEEL FLASHING AT THIS AREA (MATCH COLOR).

NEW BAR AND OFFICES AT DORIS METROPOLITAN RESTAURANT
620 CHARTRES STREET, NEW ORLEANS, LA

DATE
11/26/21
12/01/21
01/25/22
02/15/22
1-31-23
3-18-23

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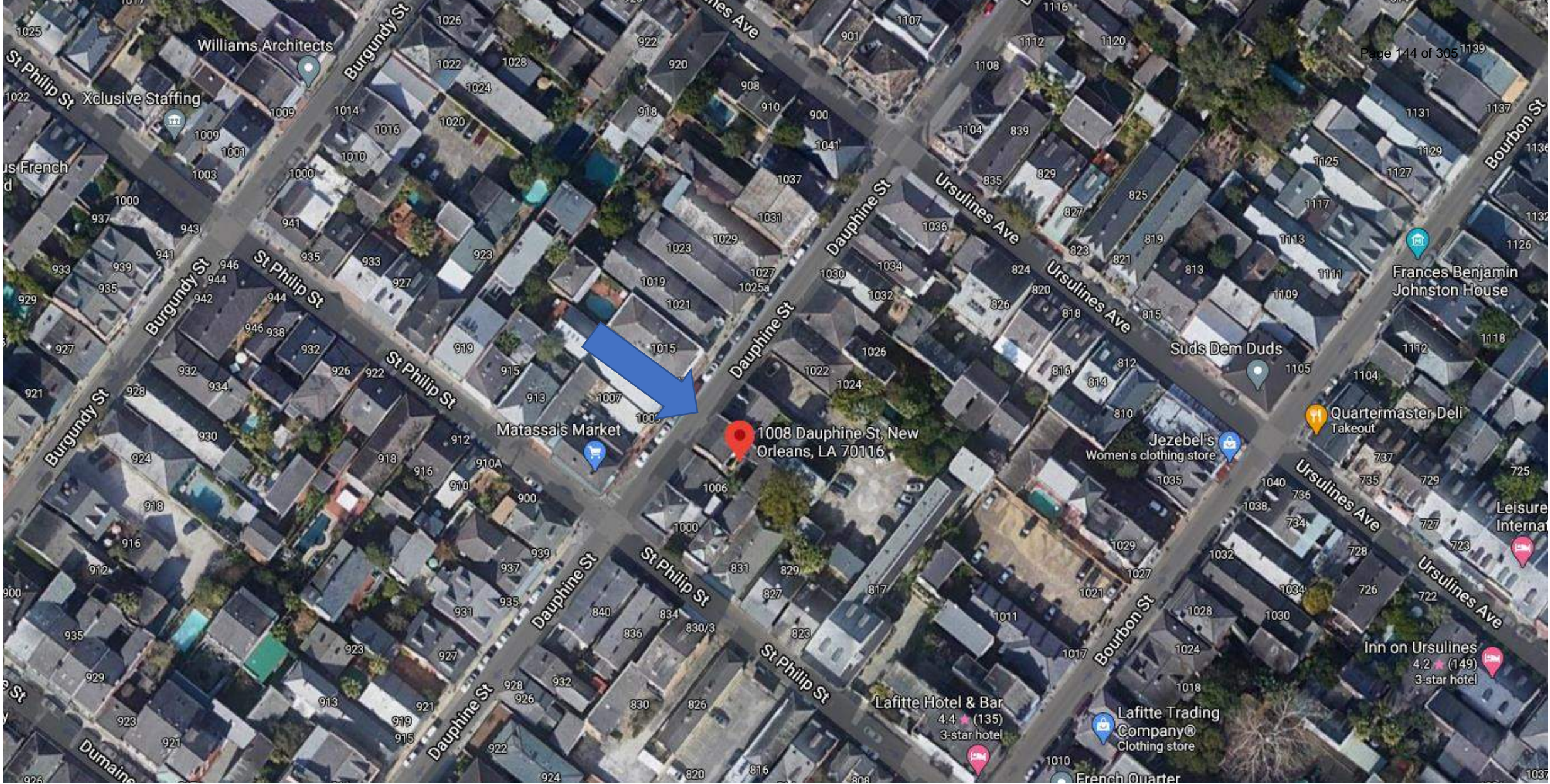
04 OF





Appeals and Violations

1008 Dauphine



1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine

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March 28, 2023





1008 Dauphine

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March 28, 2023





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March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





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VCC Architectural Committee

March 28, 2023





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March 28, 2023





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March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine

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March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine – previous band above frieze windows



1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine – previous band above and below frieze windows



1008 Dauphine

VCC Architectural Committee

March 28, 2023





1008 Dauphine

VCC Architectural Committee

March 28, 2023





**REPAIRS AND RESTORATIONS TO
 1008-1010 DAUPHINE STREET**
 FRENCH QUARTER, NEW ORLEANS, LA

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING TO CONTRACT OR CONTRACTORS.

CERTIFIED CORRECT

THESE CHANGES TO THE ORIGINAL SET OF PLANS ARE BEING SUBMITTED TO YOU AS PART OF MY OBLIGATION TO YOU AS YOUR ARCHITECT. I AM NOT PROVIDING TO CONTRACT OR CONTRACTORS.

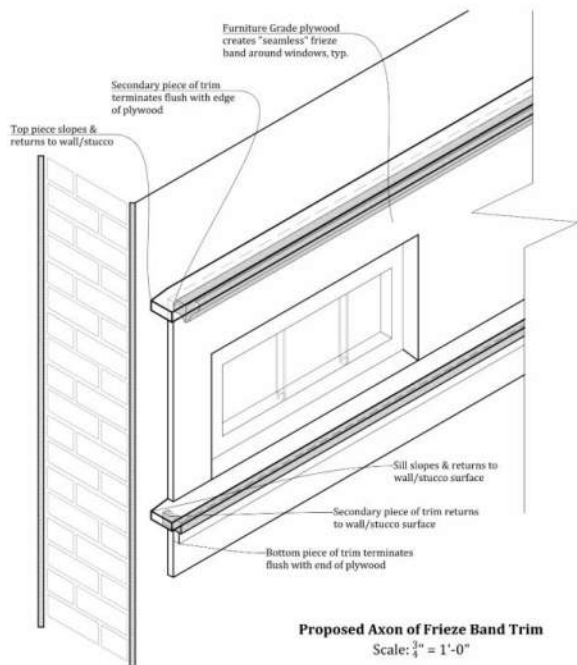
ALL RIGHTS IN THESE CHANGES ARE RESERVED BY ME AND I AM NOT PROVIDING TO CONTRACT OR CONTRACTORS.

REVISION HISTORY	
NO.	DESCRIPTION

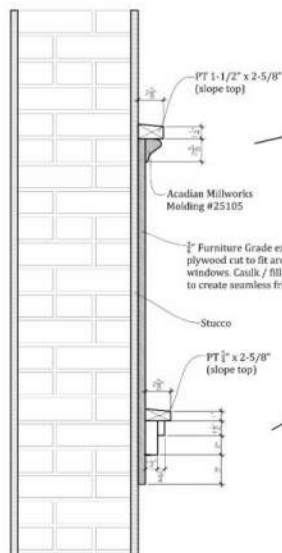
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 CHECKED: JC
 SCALE: AS SHOWN
 DATE: 04/30/2022

SHEET
SK-2

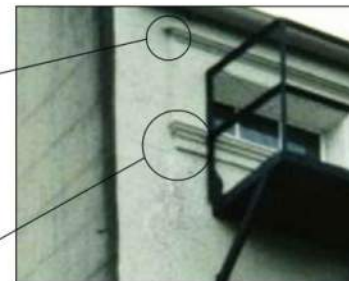




Proposed Axon of Frieze Band Trim
Scale: 3/4" = 1'-0"



Proposed Section of Frieze Band Trim
Scale: 1" = 1'-0"



Scaled from photo

Scaled from photo

VCC Library Photo of 1008 Dauphine, 1991
Close-up on frieze band trim suggests a small curved trim piece at the top with squared/stepped trim elements at the bottom, elements in-line with the Greek Revival style.



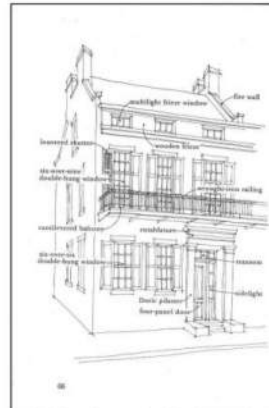
810 Esplanade, NOLA
Greek Revival Frieze Band Windows with stepped/square trim elements



Julia Row, NOLA
Greek Revival Frieze Band Windows with stepped/square and dentil trim elements



Virginia McAlester's Example of Greek Revival Townhouse in New Orleans
Greek Revival Frieze Band Windows with stepped/square and dentil trim elements



Lloyd Vogt's example of Greek Revival Townhouse in New Orleans
Greek Revival Frieze Band Windows with simplified trim details



VCC Library Photo of 1008 Dauphine, 1991
This image shows square/stepped trim at the bottom of the frieze band, which we believe is closer to the historic condition.



Southkick Historic Preservation
southkicktlc@gmail.com

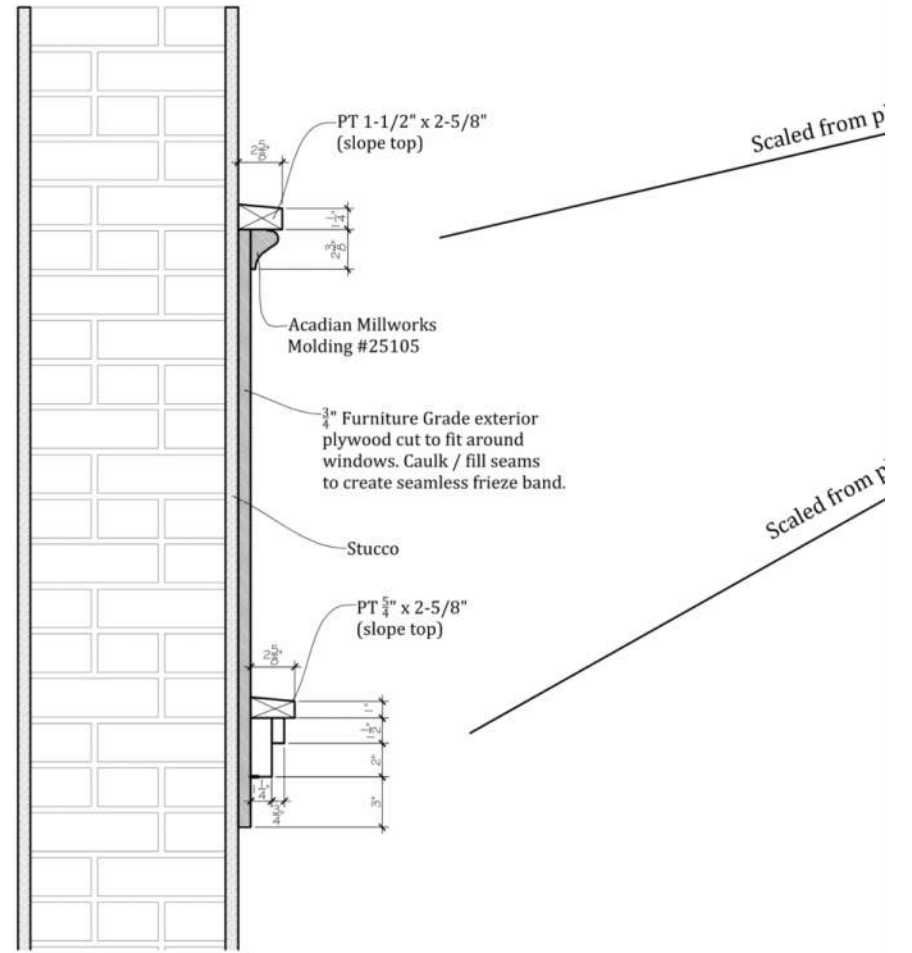
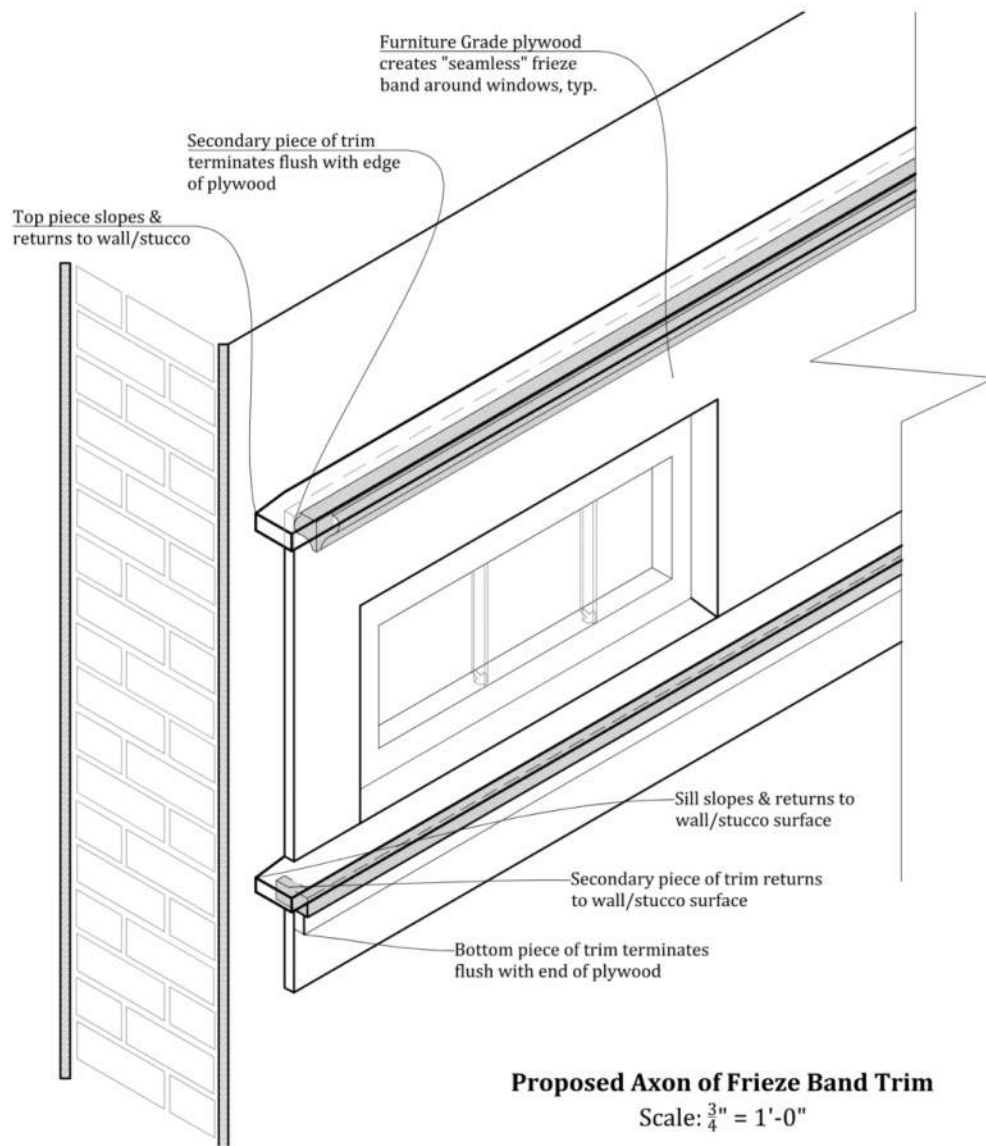
Revisions

1008 Dauphine
Frieze Band Details

Date
3-6-23

Sheet
SK-3

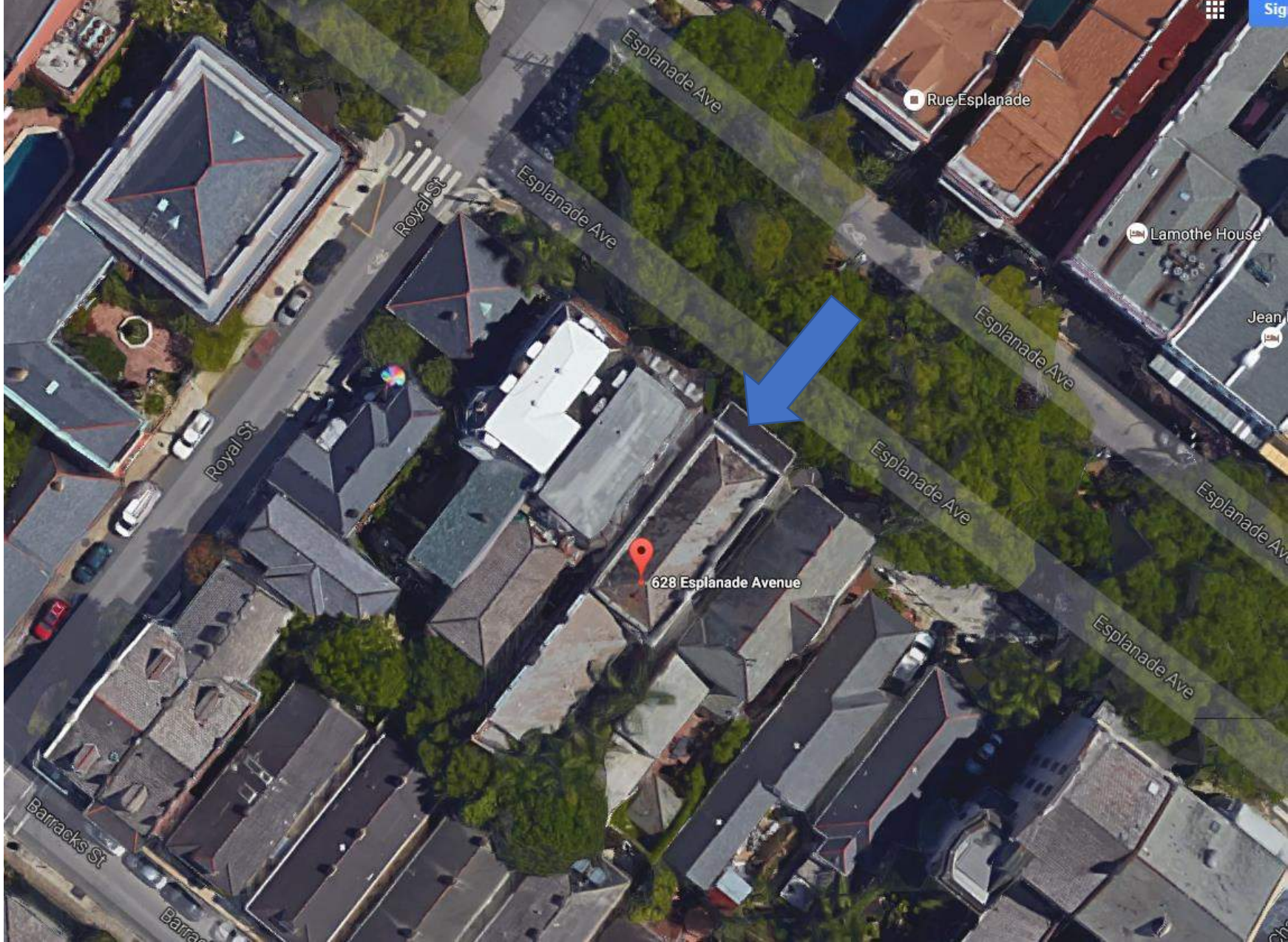




Proposed Section of Frieze Band Trim
Scale: 1" = 1'-0"

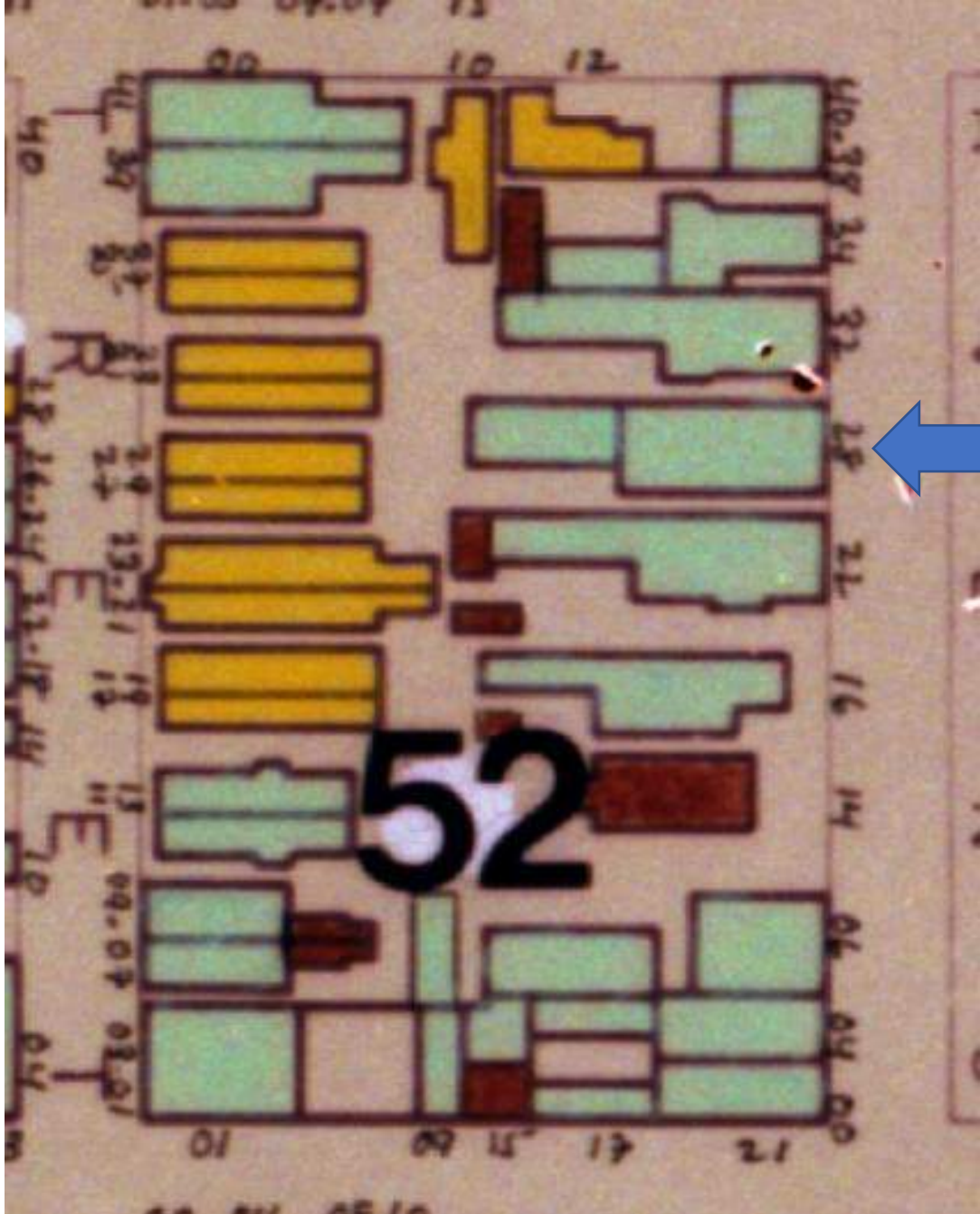


628 Esplanade



628 Esplanade





628 Esplanade





628 Esplanade





628 Esplanade





628 Esplanade – Royal Elevation



628 Esplanade

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628 Esplanade

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628 Esplanade

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628 Esplanade

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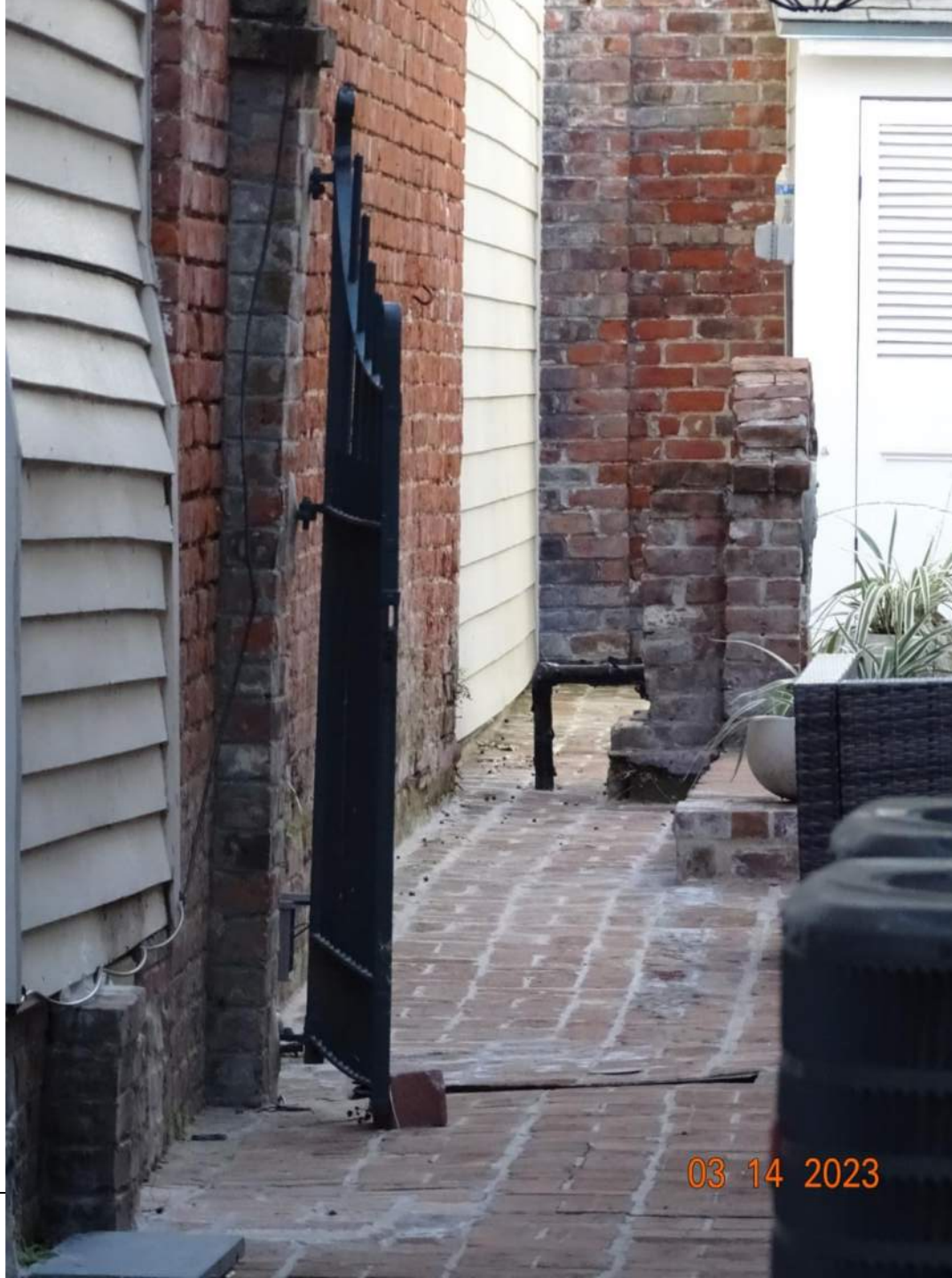


628 Esplanade

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628 Esplanade

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03 14 2023

March 28, 2023





628 Esplanade

VCC Architectural Committee

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March 28, 2023





628 Esplanade

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03 14 2023

March 28, 2023





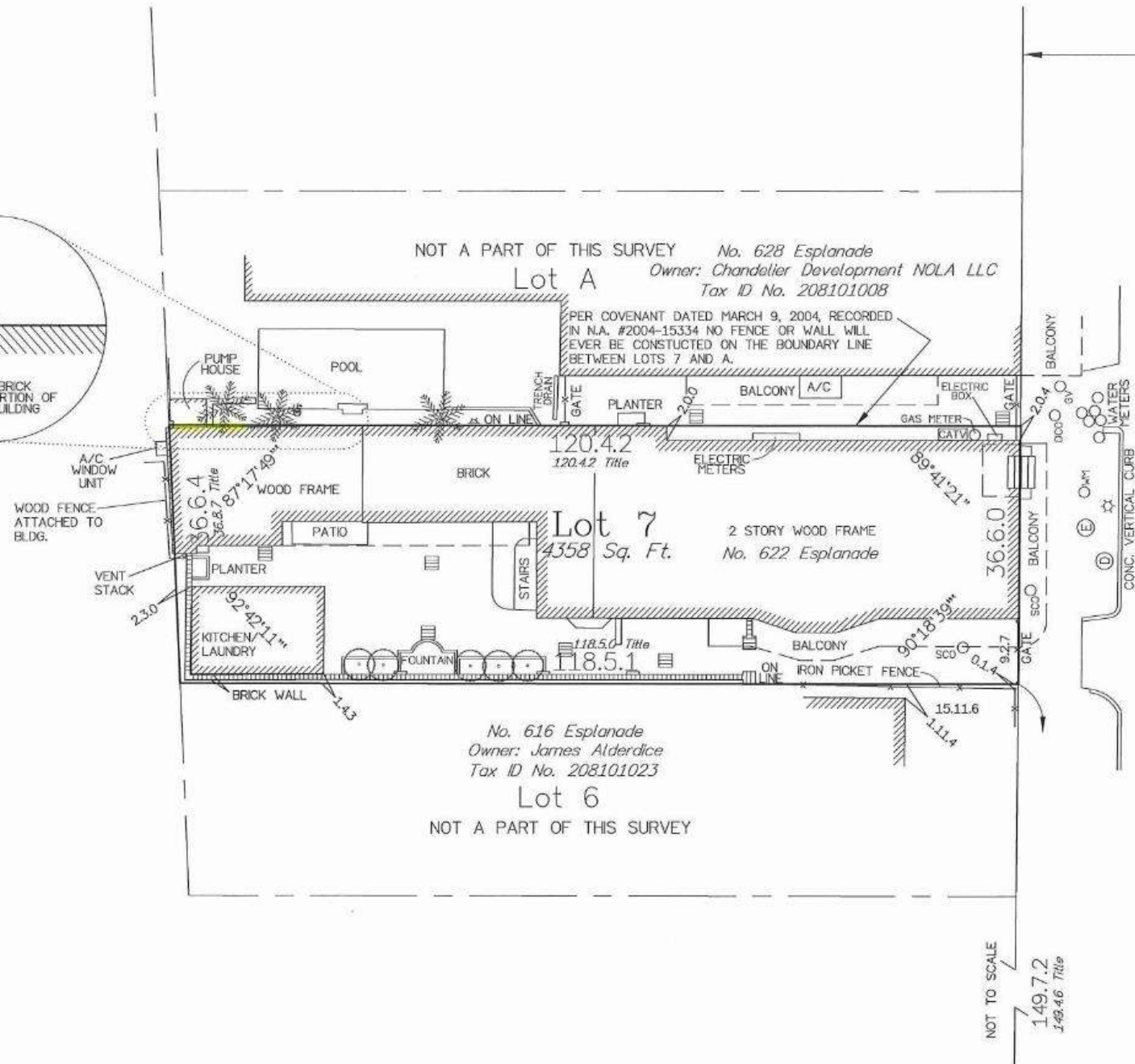
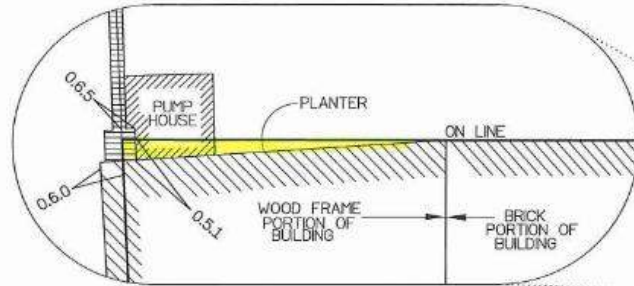
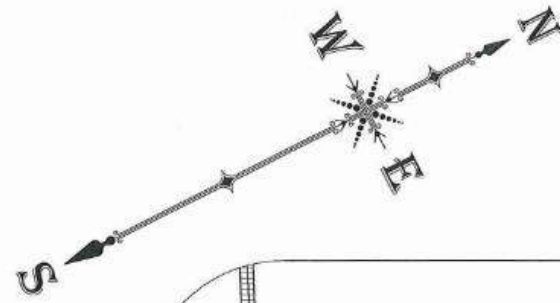
628 Esplanade

VCC Architectural Committee

03 14 2023

March 28, 2023



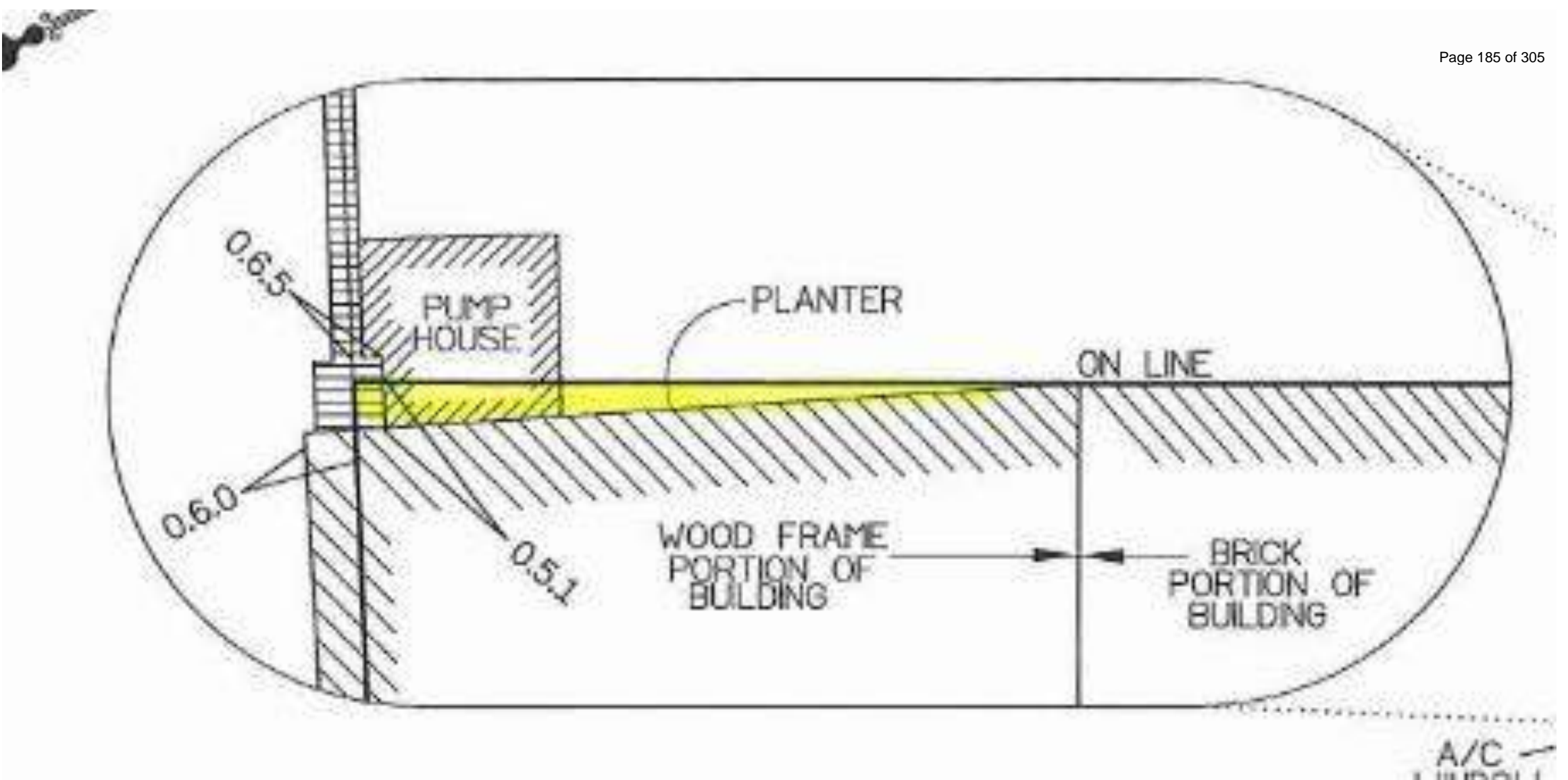


628 Esplanade

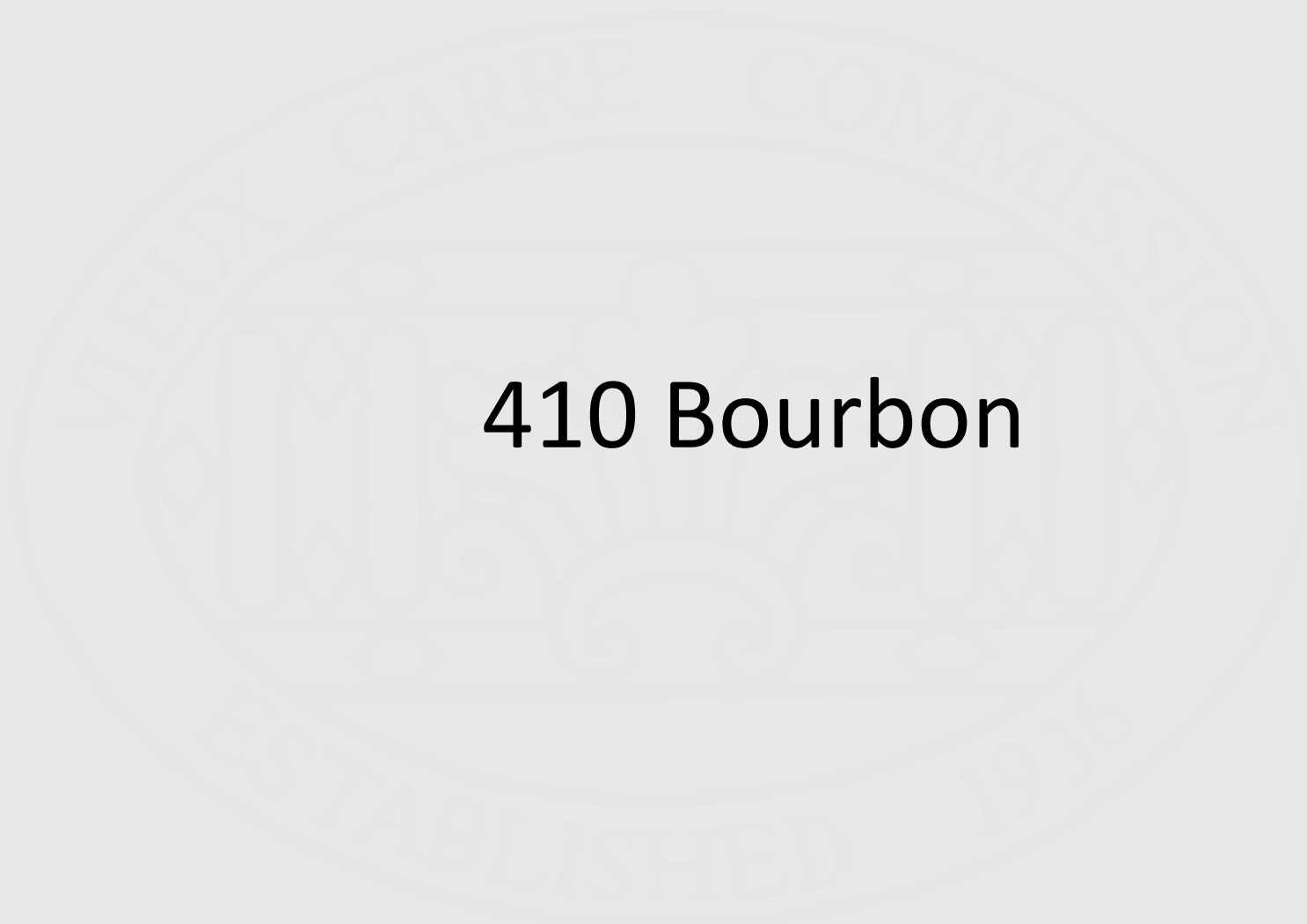
VCC Architectural Committee

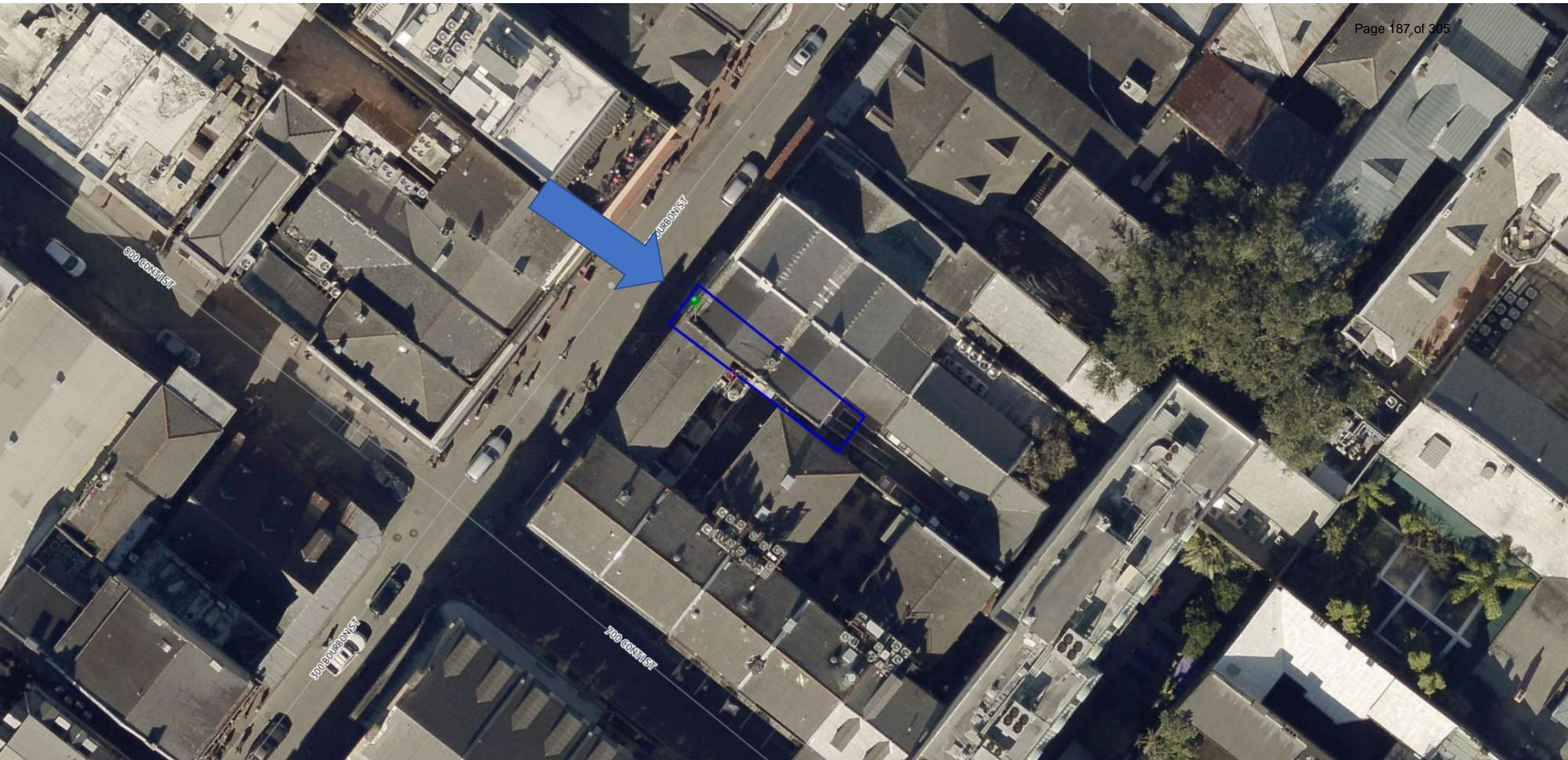
March 28, 2023





410 Bourbon





410 Bourbon

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March 28, 2023





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March 28, 2023





410 Bourbon

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March 28, 2023



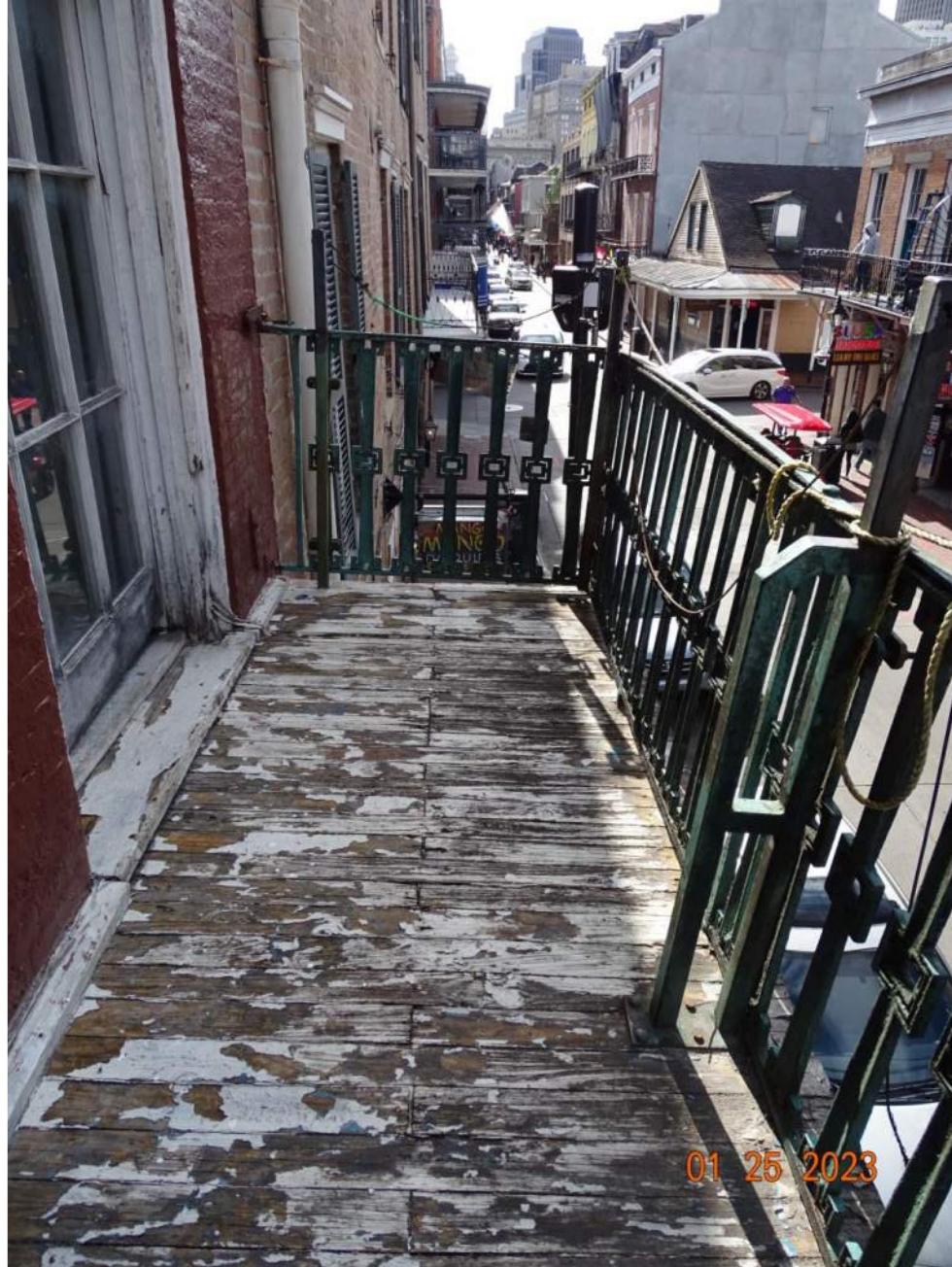


410 Bourbon

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March 28, 2023





410 Bourbon

VCC Architectural Committee

March 28, 2023





410 Bourbon

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March 28, 2023





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VCC Architectural Committee

March 28, 2023



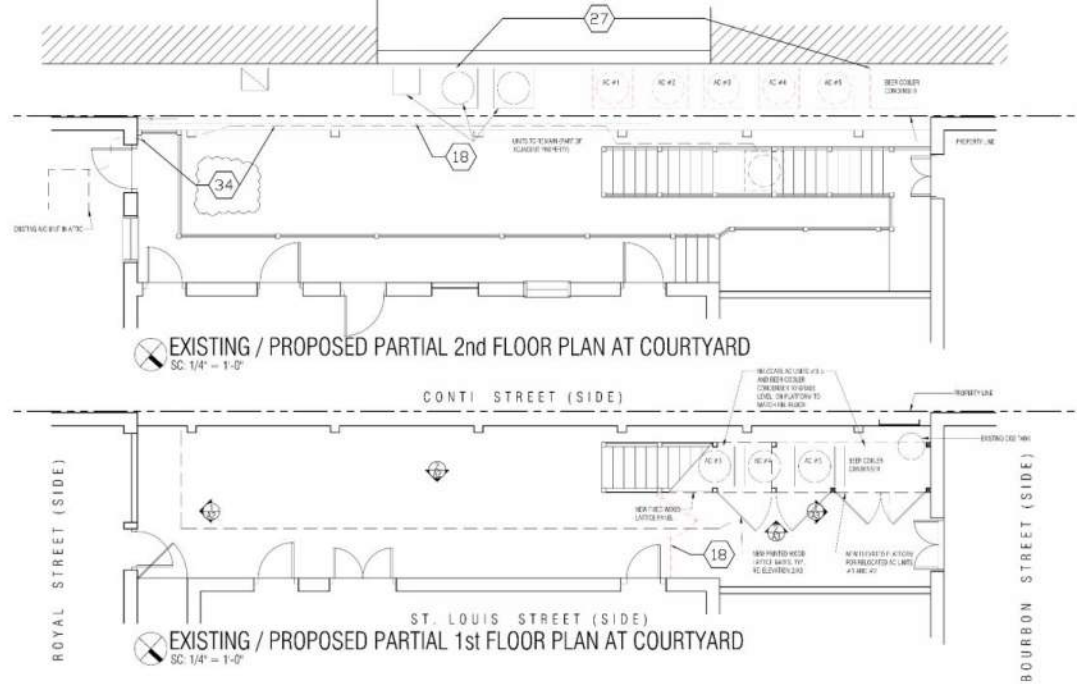


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March 28, 2023





KEYNOTES

1. REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
2. PATCH CRACKS IN STUCCO. PAINT.
3. REMOVE SCORED STUCCO INFILL. NEW SMOOTH STUCCO, UNSCORED, RECESSED 1". PAINT. **VCC: NEW STUCCO TO BE VCC FORMULA. PREPACKAGED MIXES ARE NOT ALLOWED.
4. PERFORM EXPLORATORY DEMOLITION OF CORRUGATED METAL WALL CLADDING TO DETERMINE SUITABILITY OF EXISTING SUBSTRATE FOR NEW STUCCO.
5. PERFORM EXPLORATORY DEMOLITION OF 1-1/4" PLYWOOD WALL CLADDING TO DETERMINE SUITABILITY OF EXISTING SUBSTRATE FOR NEW STUCCO.
6. REMOVE ASPHALT SHINGLES. NEW SLATE ROOF. GALVANIZED FASTENERS AND FLASHING.
7. PARTIALLY RECONSTRUCT/REPAIR (2) CHIMNEYS AND (1) PARAPET AS NECESSARY TO MATCH EXISTING. **VCC: TUCKPOINT USING VCC MORTAR MIX.
8. REPAIR WINDOWS. REPLACE TRIM AS NECESSARY. PAINT.
9. REMOVE AND REPLACE WINDOWS WITH NEW 6 OVER 6 TRUE DIVIDED LITE WOOD DOUBLE HUNG WINDOWS TO FILL MASONRY OPENINGS.
10. REMOVE AND REPLACE WOOD DOOR. NEW PAINTED WOOD 4-PANEL DOOR. NEW PAINTED WOOD JAMB/CASING.
11. REMOVE T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
12. REMOVE PLYWOOD PANEL.
13. REMOVE SHEET METAL FASCIA.
14. REPAIR OR REPLACE WOOD FASCIA AND SOFFIT. PAINT.
15. REPAIR EXISTING WOOD AND/OR METAL BALCONY & STAIR FRAMING. PAINT. WOOD T&G DECKBOARDS TO REMAIN. REPAIR OR REPLACE WOOD TREADS AND RISERS. PAINT.
16. REMOVE AND REPLACE BALCONY RAILING INCLUDING TOP RAIL, PICKETS AND BOTTOM RAIL. PER A1A2 (V.C.C. DETAIL SHEET NO. 1). DETAIL NO. 1) RAIL SHALL BE 42" H. VERTICAL 4x4 POSTS TO REMAIN. PAINT.
17. REMOVE VEGETATION.
18. REMOVE EXISTING PAINTED WOOD 7-BOARD FENCE AND GATE @ GROUND LEVEL COURTYARD AND 7-BOARD FENCE AT MECHANICAL PLATFORM.
19. RETAIN EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS. PAINT.
20. REMOVE AND REPLACE EXISTING K-STYLE GUTTERS WITH NEW HALF ROUND (6" GALVANIZED) GUTTERS TO MATCH EXISTING ADJACENT. RETAIN ROUND DOWNSPOUTS. PAINT.
21. REMOVE PLYWOOD AWNINGS AND T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
22. REMOVE EXISTING PENDANT FIXTURES. REPLACE WITH 6 NEW REMORAFT BALCONY MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
23. FILL CRACKS AT CORNICE WITH EPDM. PAINT. **VCC: FILL CRACKS WITH VCC MORTAR MIX.
24. REMOVE UNUSED WIRING. SECURE EXISTING WIRING. PAINT TO MATCH.
25. REMOVE LIGHTS AT EXISTING PLYWOOD AWNINGS. REPLACE WITH NEW REMORAFT WALL MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
26. REMOVE LIGHTS AT EXISTING PLYWOOD AWNINGS. REPLACE WITH NEW REMORAFT SOFFIT MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
27. RELOCATE 5 EXISTING HVAC CONDENSERS AND 1 EXISTING BEER COOLER CONDENSER TO GROUND LEVEL PER PLAN / ELEVATION. 3 REMAINING CONDENSERS ARE FOR ADJACENT PROPERTY.
28. NEW STUCCO WALL WITH PAINTED WOOD LAP SIDING PER SECTION 10A.
29. NEW PAIR OF 6-LITE OVER PANEL WOOD/GLASS FRENCH DOORS. RE. ELEVATION 1A3 FOR DIMENSIONS OF EXISTING ORIGINAL OPENING.
30. REMOVE (5) VERTICAL PICKETS. INSTALL NEW RAIL PER DETAIL 2A4.
31. REMOVE AND REPLACE WOOD DOOR SURROUND TO MATCH EXISTING. PER DETAILS, SHEET A5.
32. REMOVE (7) EXISTING SHIELDED DOWNLIGHT FIXTURES AND RE-INSTALL A TOTAL OF (6) FIXTURES, REFRONT ELEVATION, SHEET AS FOR SPACING.
33. REMOVE AND REPLACE OR PROVIDE NEW WOOD LINTELS AT (6) EXISTING OPENINGS ON FRONT FACADE PER DETAIL DIA5. STRUCTURAL LINTELS TO REMAIN.
34. PAINT EXISTING CONDENSATE DRAIN LINE. MOVE LINE BEHIND PERIMETER WALL WHERE FEASIBLE.
35. RETAIN ALL PICKETS. VARYING IN SIZE FROM 2" SQ. TO 7" SQ. CLEAR SPACE BETWEEN PICKETS IS 3-5". TYP.



PHOTO OF FRONT FACADE

WINDOW NOTES

1. PER LSUC AMENDMENTS, IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS ON THE 1ST AND 2ND FLOORS PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER IBC2015 TABLE 1609.1.2. PANELS SHALL BE STORED ON-SITE.
2. ALL GLAZING SHALL BE CLEAR.
3. SAFETY GLAZING REQUIRED IN THE FOLLOWING LOCATIONS:
 - ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS
 - GLAZING WITHIN 2FT OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - AN INDIVIDUAL PANE IS GREATER THAN 9SF AND THE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE WALKING SURFACE AND THE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR.

NOTE: DRAWING SCALE INDICATED ARE VALID ONLY IF PRINTED ON 24" X 36" SHEET

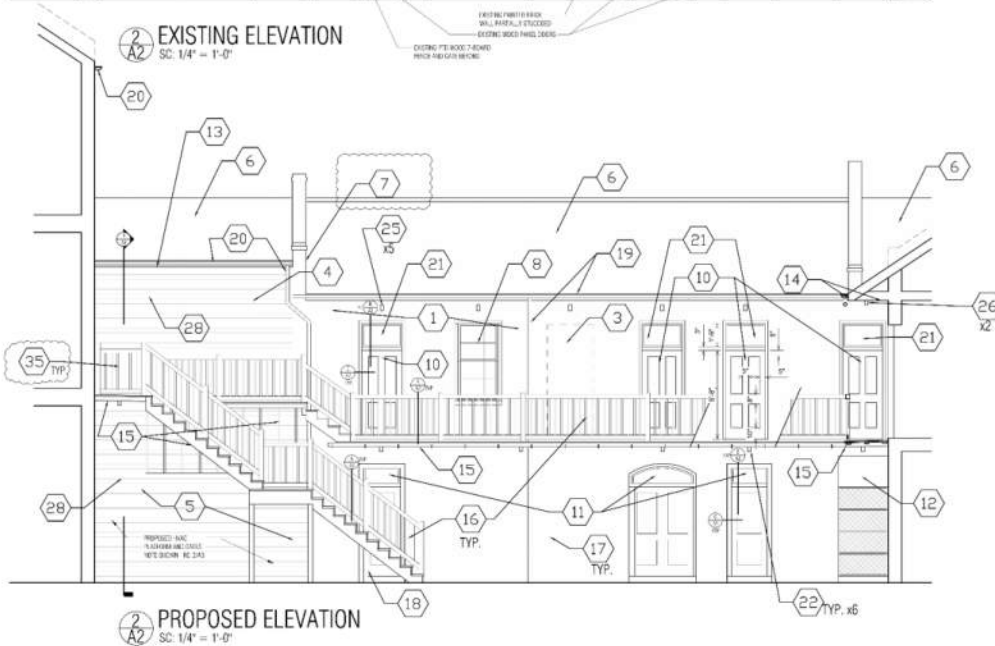
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1.18.2022	
2.4.2023	
4.19.2023	
5.27.2023	
10.14.2022	
2.17.2023	
3.14.2023	

<p>V.C.C. MODIFICATIONS to 410 Bourbon Street New Orleans, Louisiana 70130</p>	<p>LKHARMON ARCHITECTS A Professional Architectural Corporation 6536 Argonne Boulevard New Orleans, Louisiana 70124 504.465.9870 lkharmo@lkharmoarchitects.com</p>	<p>A1</p>

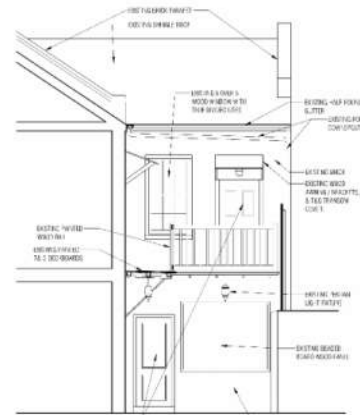




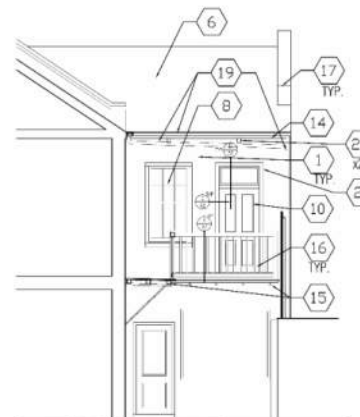
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SC. 1/4" = 1'-0"



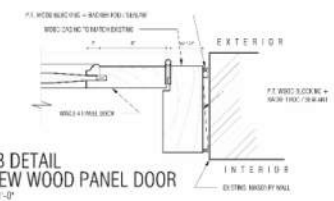
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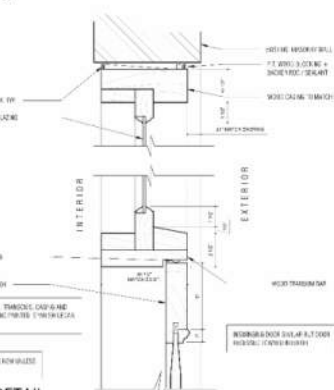
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SC. 1/4" = 1'-0"



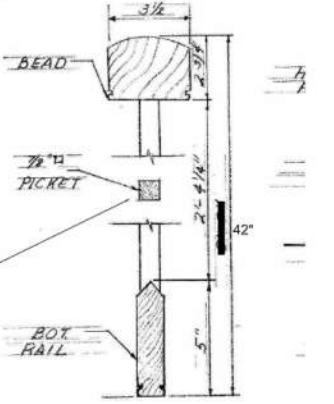
PROPOSED ELEVATION
SC. 1/4" = 1'-0"



JAMB DETAIL
@ NEW WOOD PANEL DOOR
SC. 3" = 1'-0"



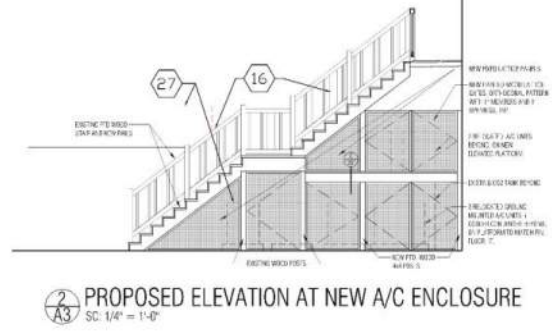
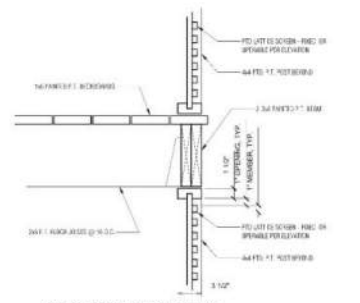
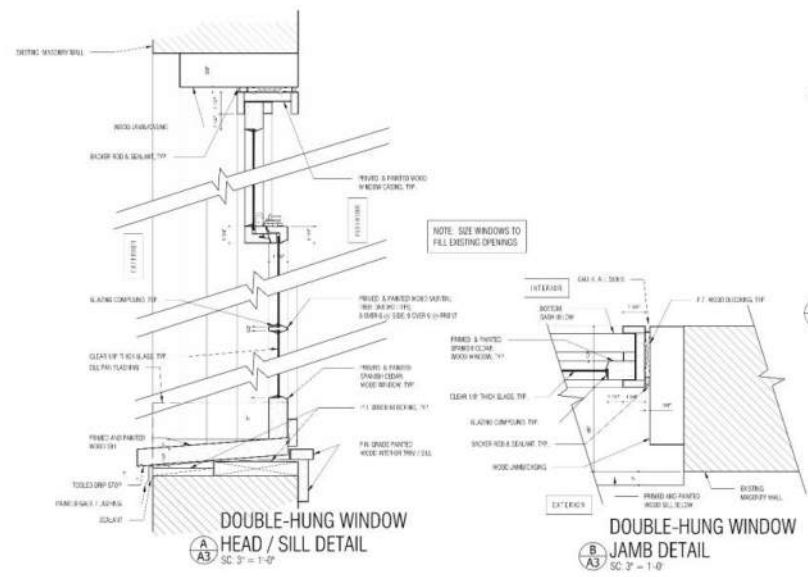
HEAD DETAIL
NEW PAIR WOOD PANEL DOOR & TRANSOM
SC. 3" = 1'-0"



HAND RAIL N^o1
SCALE: 3/8" = 1'-0"
TYP. BALCONY RAILING DETAIL
N.T.S.

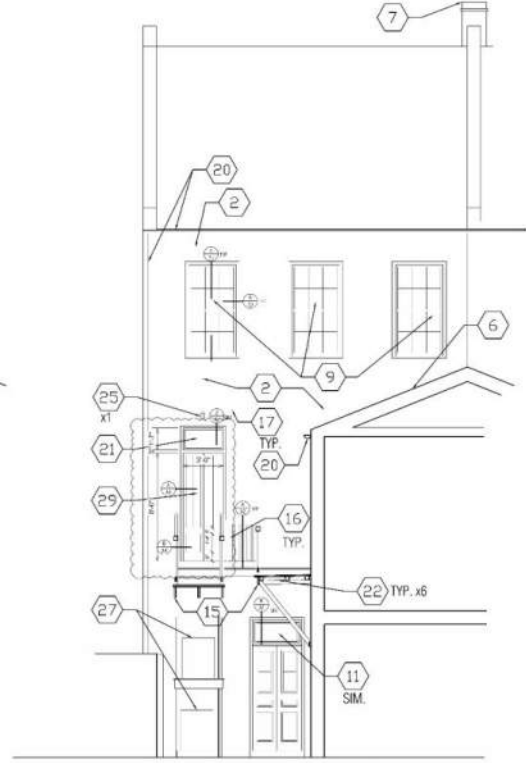
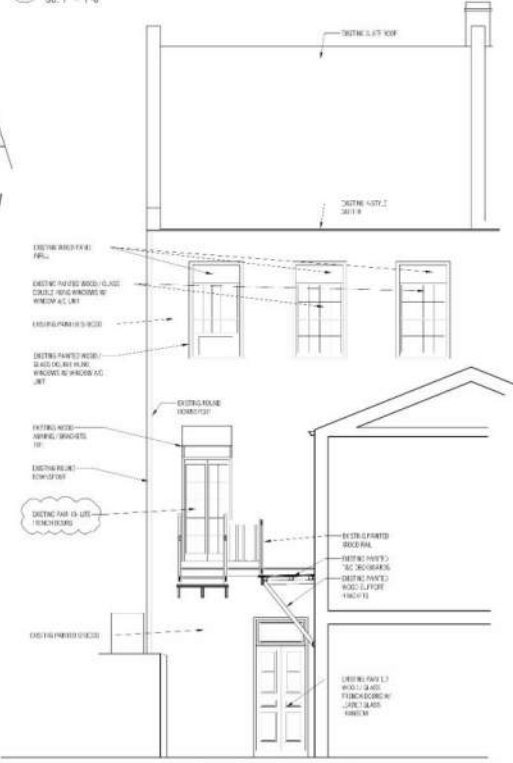
<p>V.C.C. MODIFICATIONS to 410 Bourbon Street New Orleans, Louisiana 70130</p>	<p>LKHARMON ARCHITECTS A Professional Architectural Corporation 6538 Argonne Boulevard New Orleans, Louisiana 70124 504.485.9970 lkharmo@lkharmoarchitects.com</p>	11.5.2021	<p style="font-size: 2em; font-weight: bold;">A2</p> <p>LKH #6021</p>
		1.18.2022	
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10.14.2022	3.14.2023		





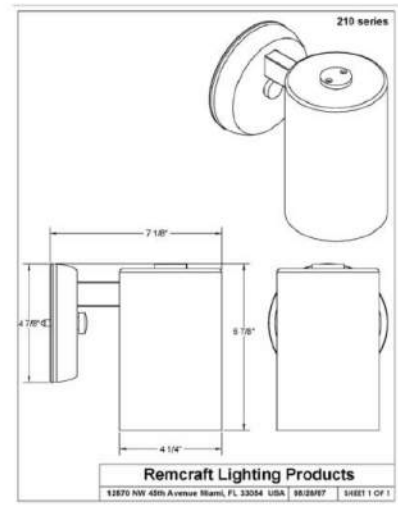
SECTION THRU NEW MECHANICAL PLATFORM & SCREEN
SC: 1/4" = 1'-0"

PROPOSED ELEVATION AT NEW A/C ENCLOSURE
SC: 1/4" = 1'-0"

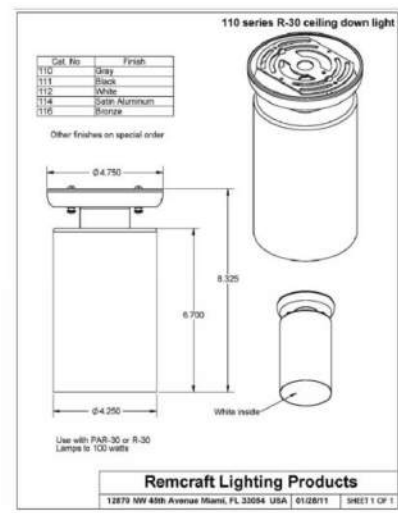


EXISTING ELEVATION
SC: 1/4" = 1'-0"

PROPOSED ELEVATION
SC: 1/4" = 1'-0"



CUTSHEET OF NEW WALL MOUNTED LIGHT FIXTURE



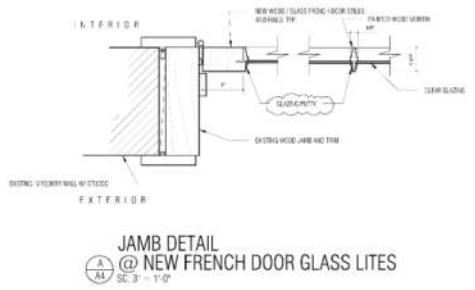
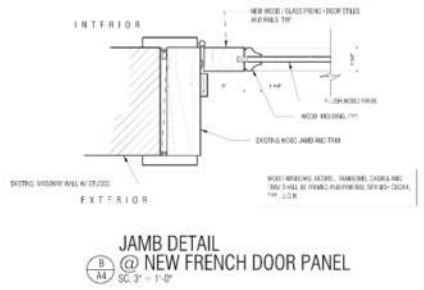
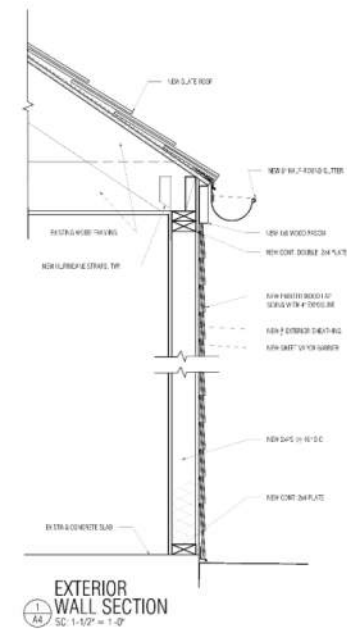
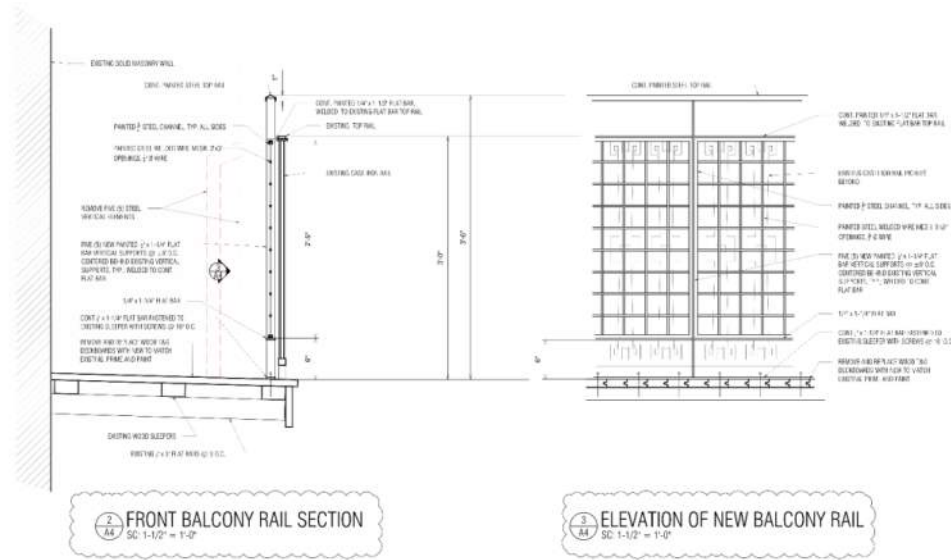
CUTSHEET OF NEW SOFFIT MOUNTED LIGHT FIXTURE

V.C.C. MODIFICATIONS to
410 Bourbon Street
New Orleans, Louisiana 70130

LKharmon Architects
A Professional Architectural Corporation
6028 Argonne Boulevard
New Orleans, Louisiana 70124
504.485.2870 kharmo@lkharmonarchitects.com

11.6.2022	A3
1.19.2022	
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3.14.2023	
3.14.2023	LKII #6021

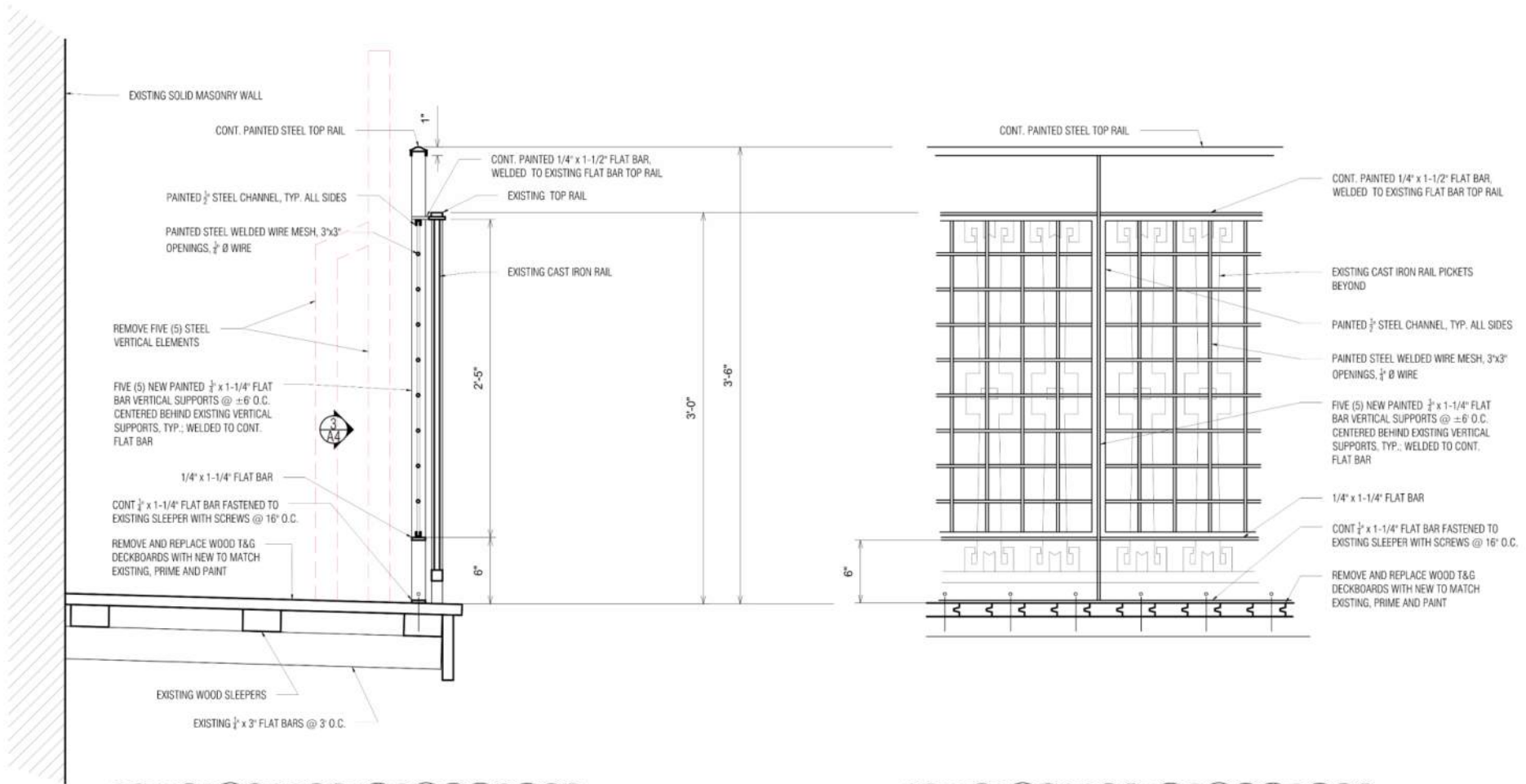




NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24X36\"/>

V.C.C. MODIFICATIONS to 410 Bourbon Street New Orleans, Louisiana 70130	 LKHARMON ARCHITECTS A Professional Architectural Corporation 6030 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harmoon@lkharmonarchitects.com	10.14.2022 2.14.2023 3.14.2023	A4 LKII #6021
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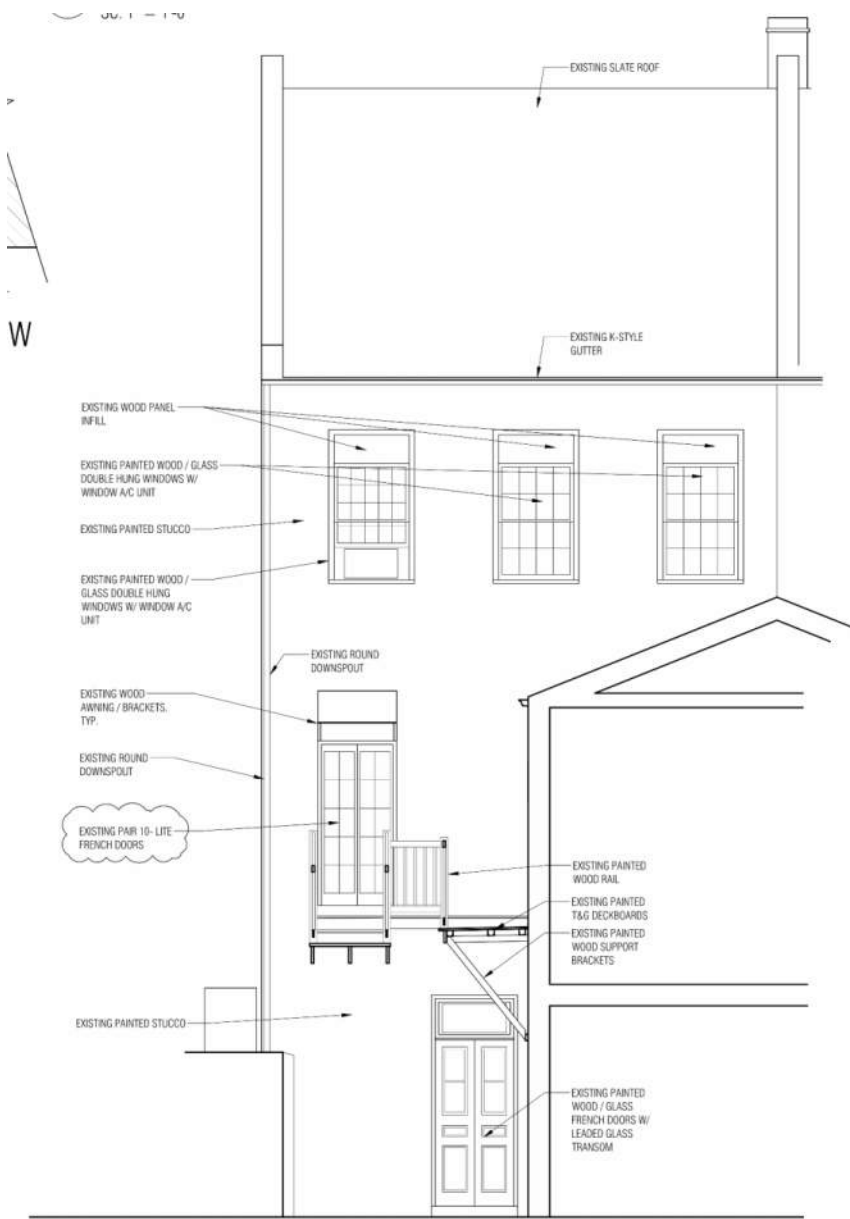




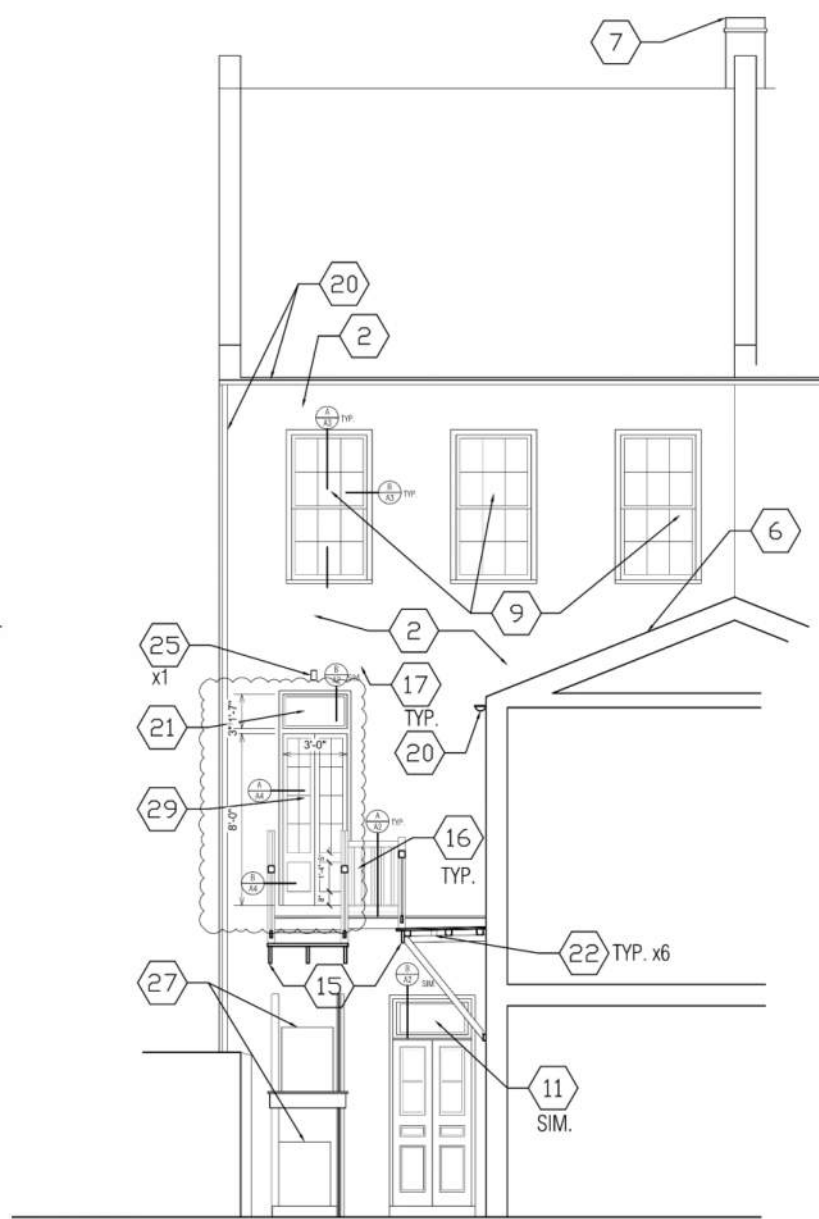
2
A4 FRONT BALCONY RAIL SECTION
SC: 1-1/2" = 1'-0"

3
A4 ELEVATION OF NEW BALCONY RAIL
SC: 1-1/2" = 1'-0"





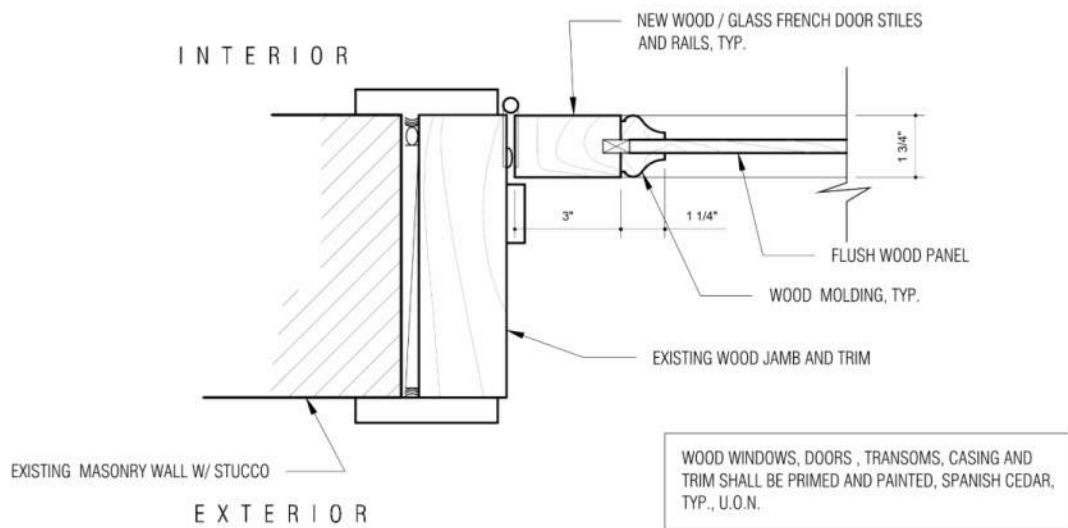
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A3 EXISTING ELEVATION
SC: 1/4" = 1'-0"



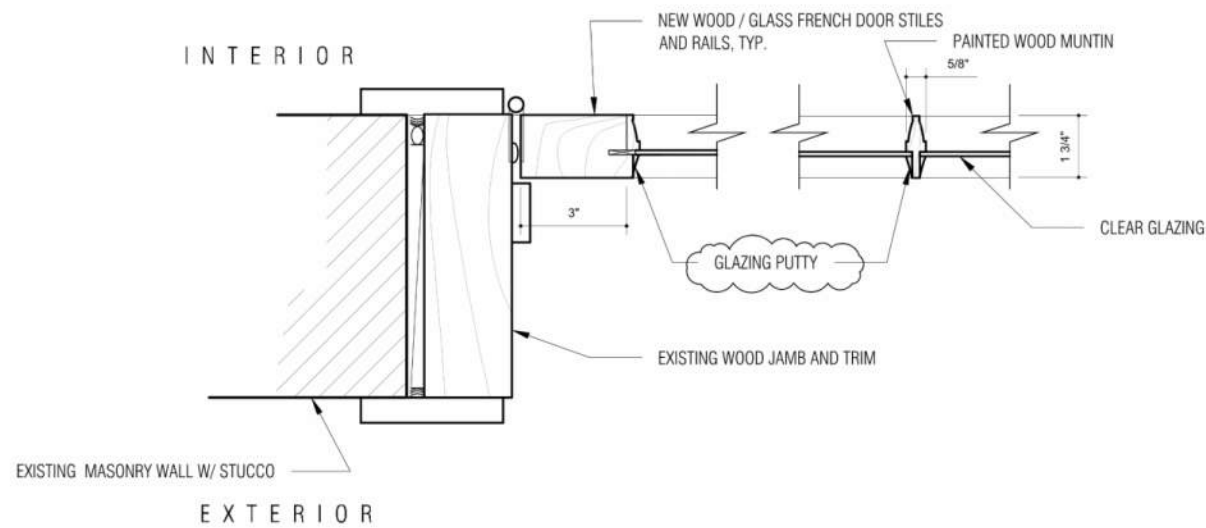
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A3 PROPOSED ELEVATION
SC: 1/4" = 1'-0"

NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24"x36" SHEETS
11.5.2021





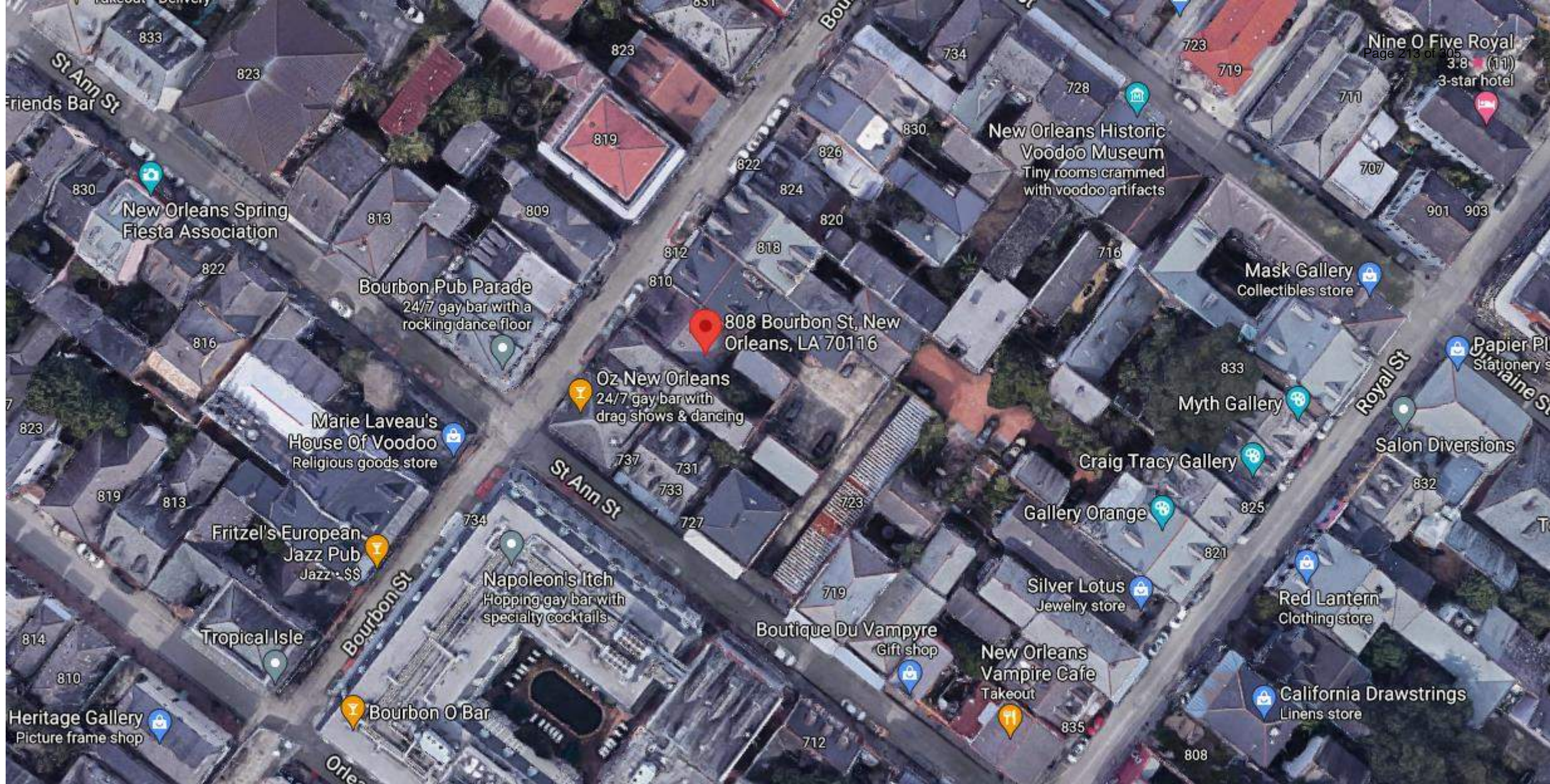
JAMB DETAIL
 (B/A4) @ NEW FRENCH DOOR PANEL
 SC: 3" = 1'-0"



JAMB DETAIL
 (A/A4) @ NEW FRENCH DOOR GLASS LITES
 SC: 3" = 1'-0"

810 Bourbon





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March 28, 2023





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March 28, 2023





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810 Bourbon

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March 28, 2023





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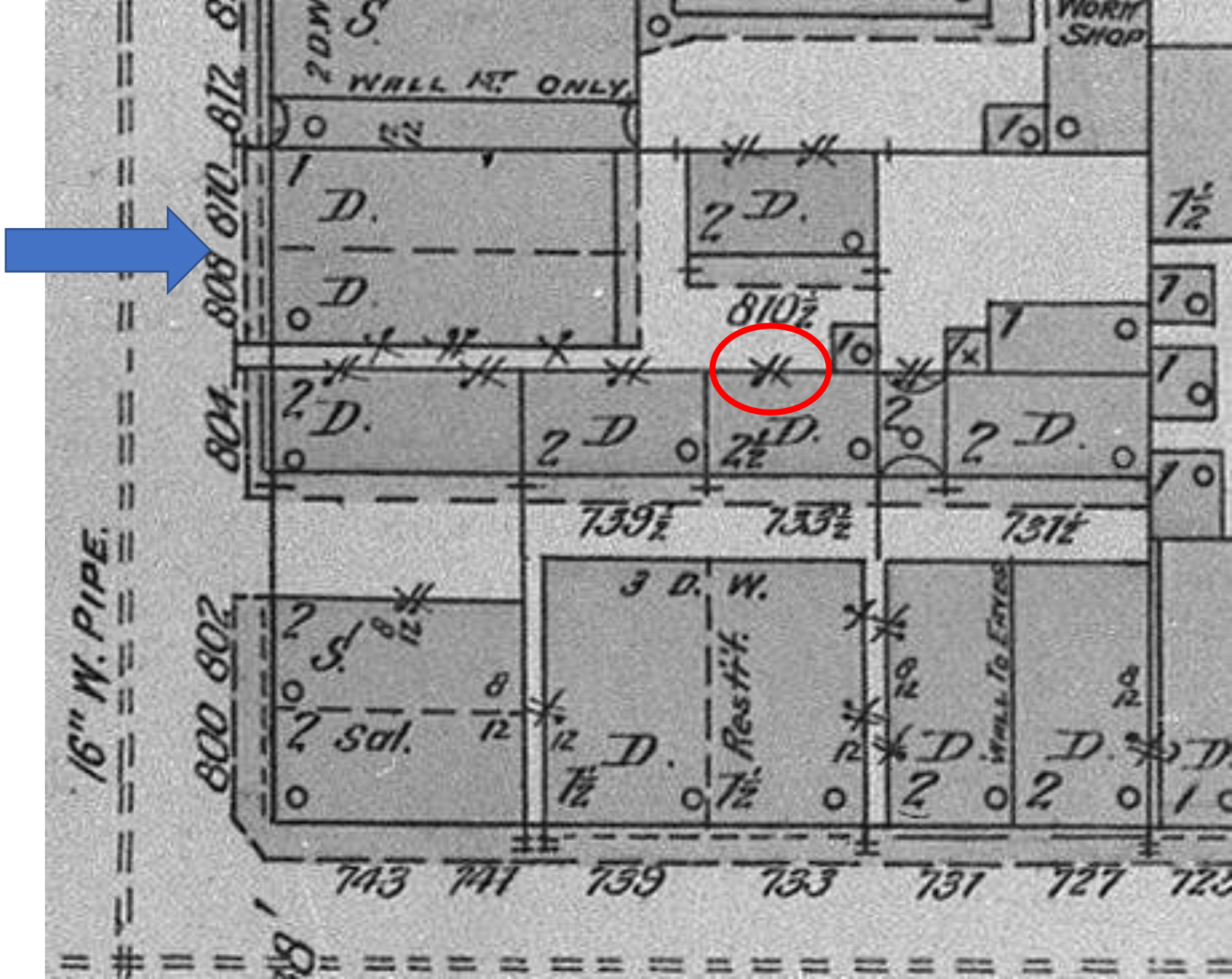
March 28, 2023





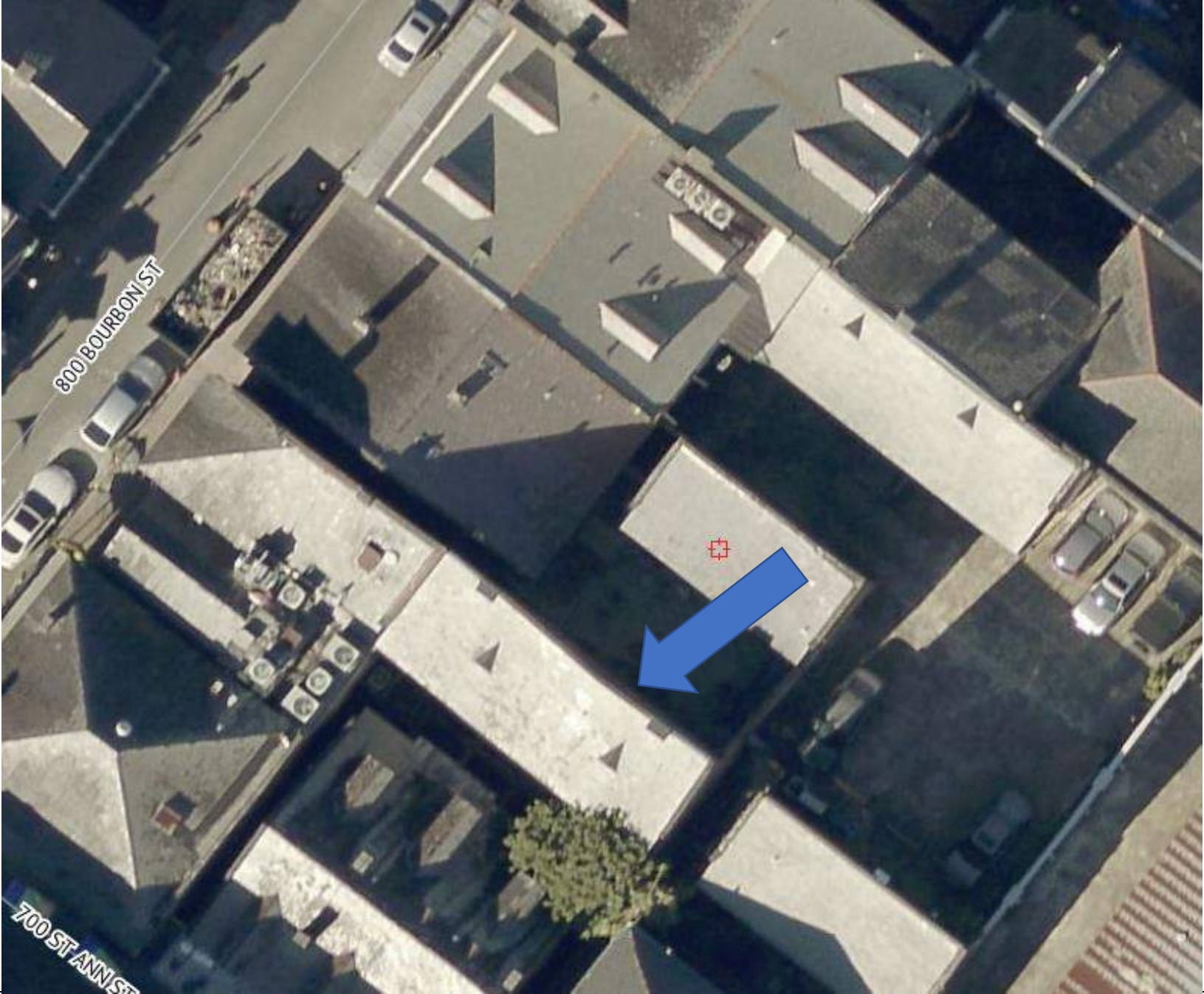
810 Bourbon





810 Bourbon, 1896 Sanborn Map





810 Bourbon

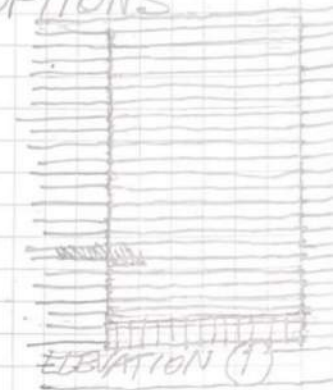
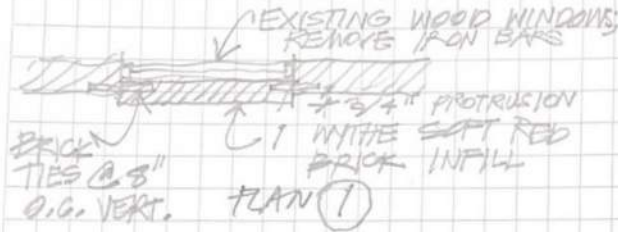




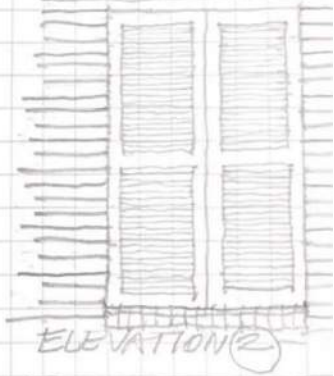
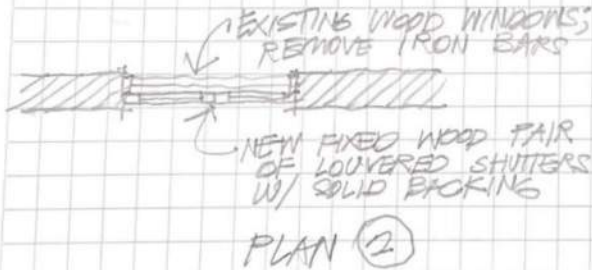
RE: 810 BOURBON / 731-737 ST. ANN
WINDOW INFILL OPTIONS

2/23/23

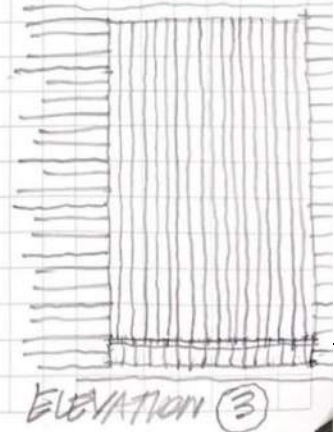
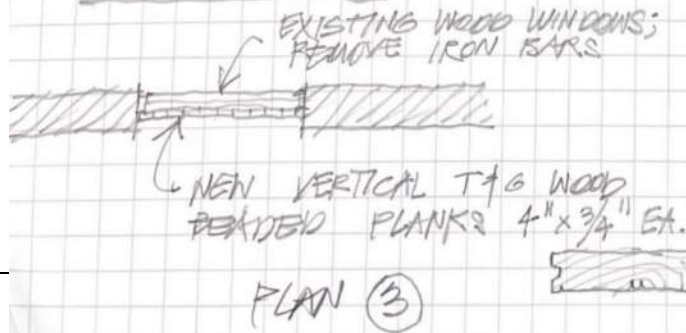
OPTION 1:



OPTION 2:

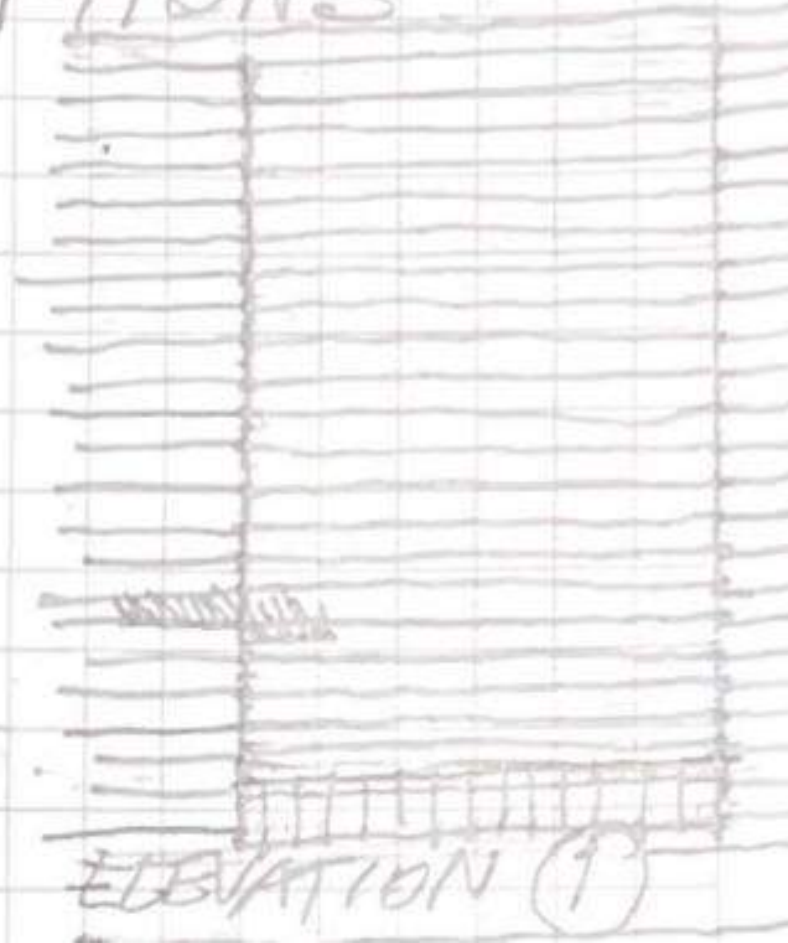
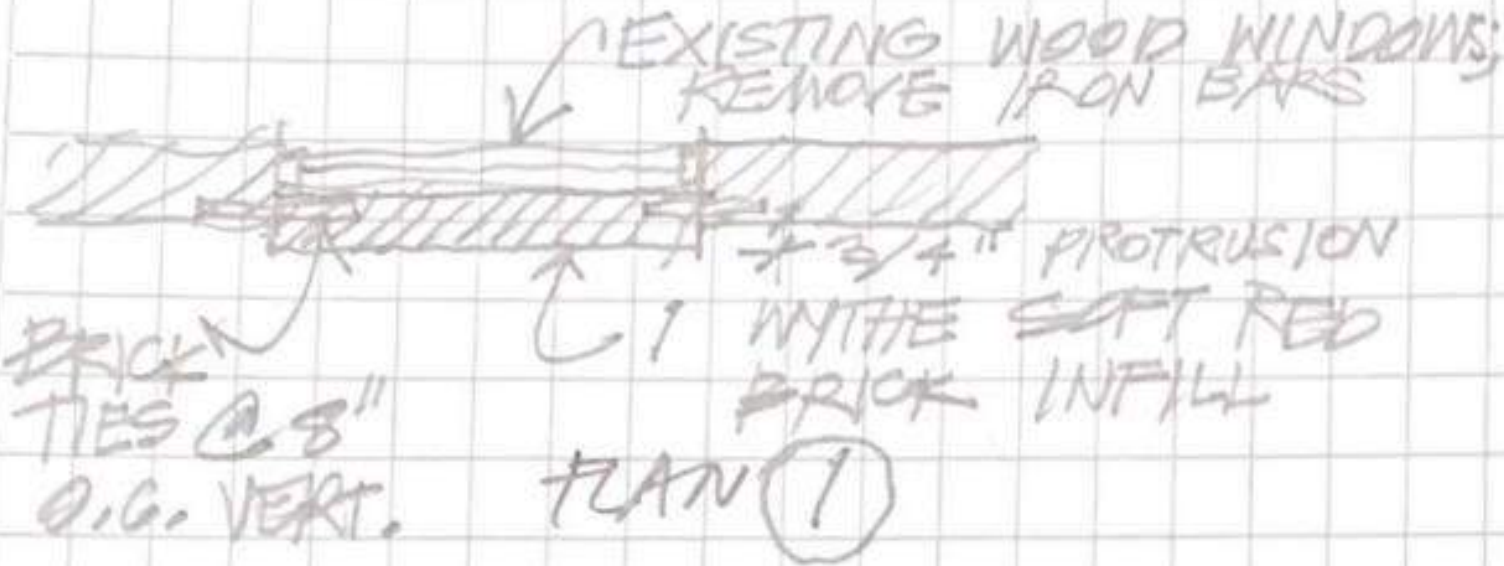


OPTION 3:



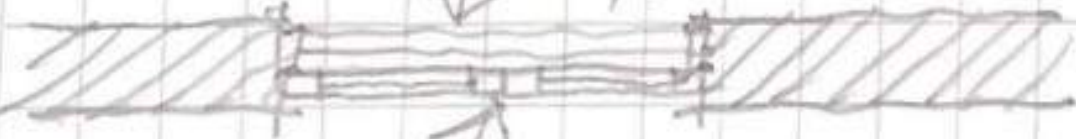
WINDOWN INFILL OPTIONS

OPTION 1:



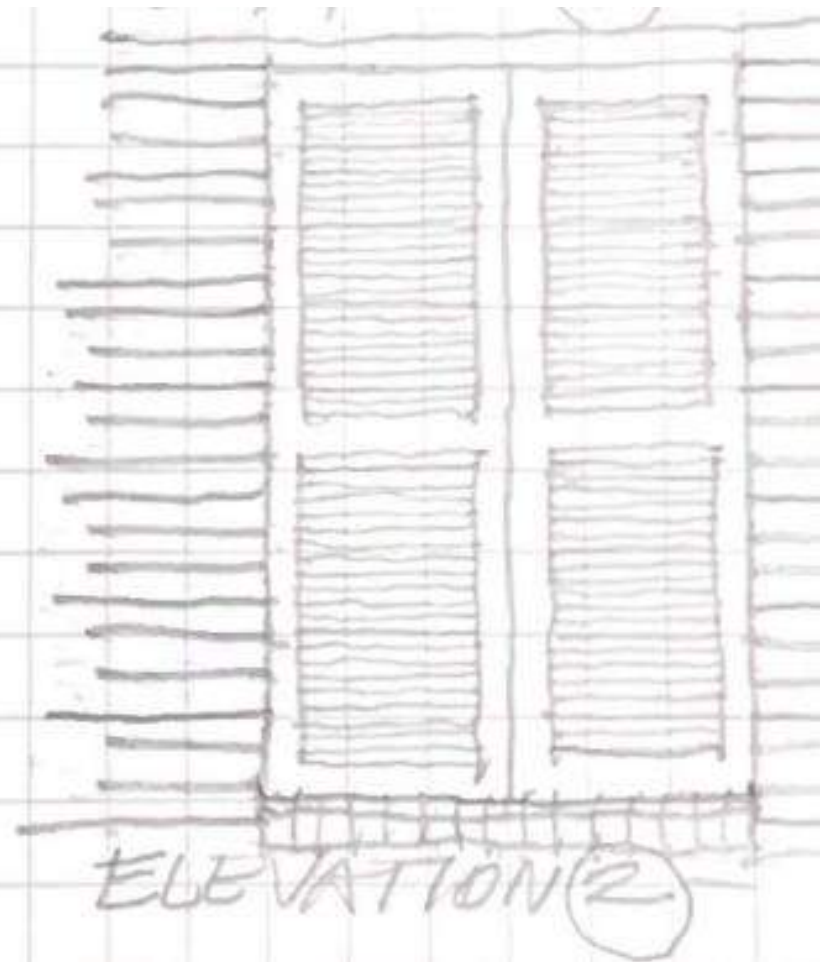
OPTION 2:

EXISTING WOOD WINDOWS;
REMOVE IRON BARS



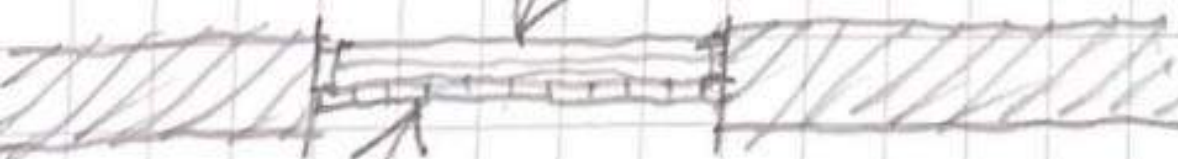
NEW FIXED WOOD PAIR
OF LOUVERED SHUTTERS
W/ SOLID BACKING

PLAN (2)



OPTION 3:

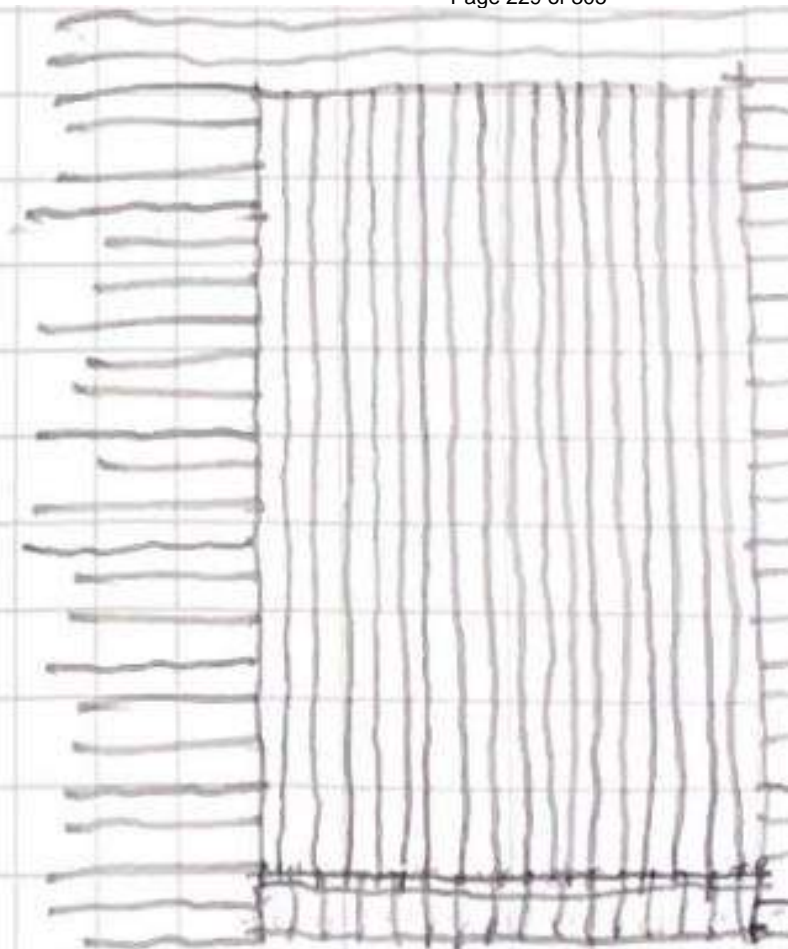
EXISTING WOOD WINDOWS;
REMOVE IRON BARS



NEW VERTICAL T&G WOOD
BEADED PLANKS 4" x 3/4" EA.

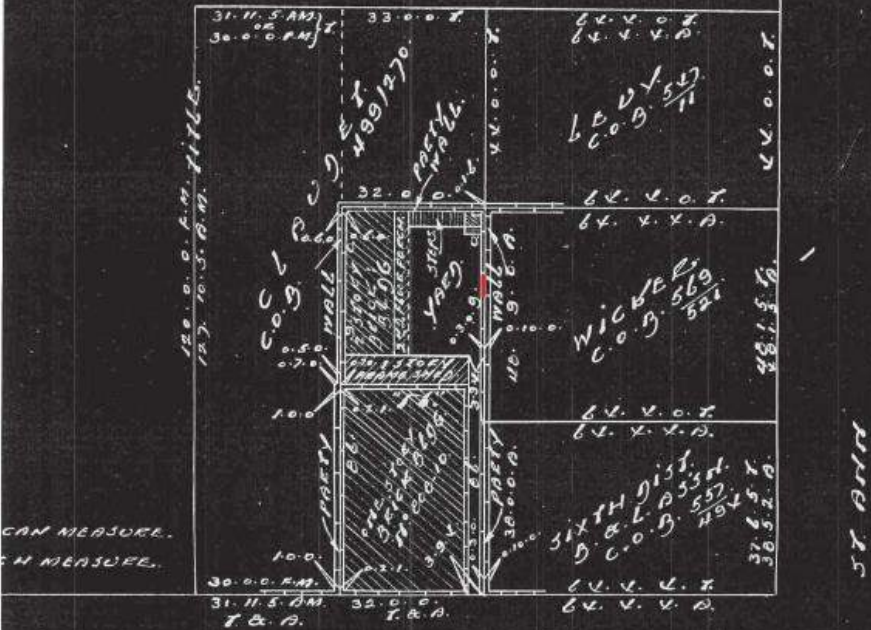


PLAN (3)



ELEVATION (3)

SQUARE NO. 50.
SECOND DISTRICT



BOTH ST.

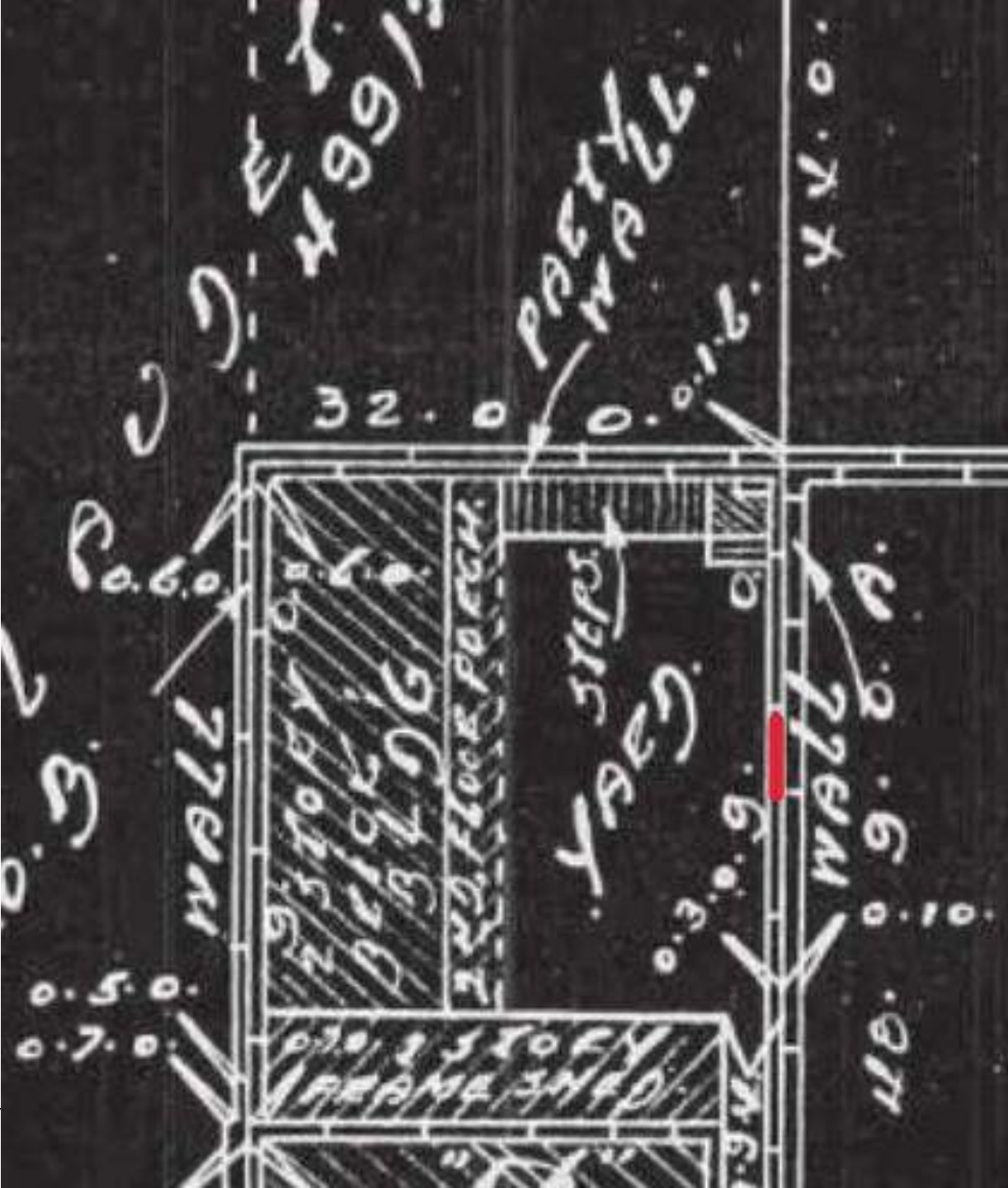
FIELD CORRECT - SURVEY OF LOT "H" FOR
KENT.

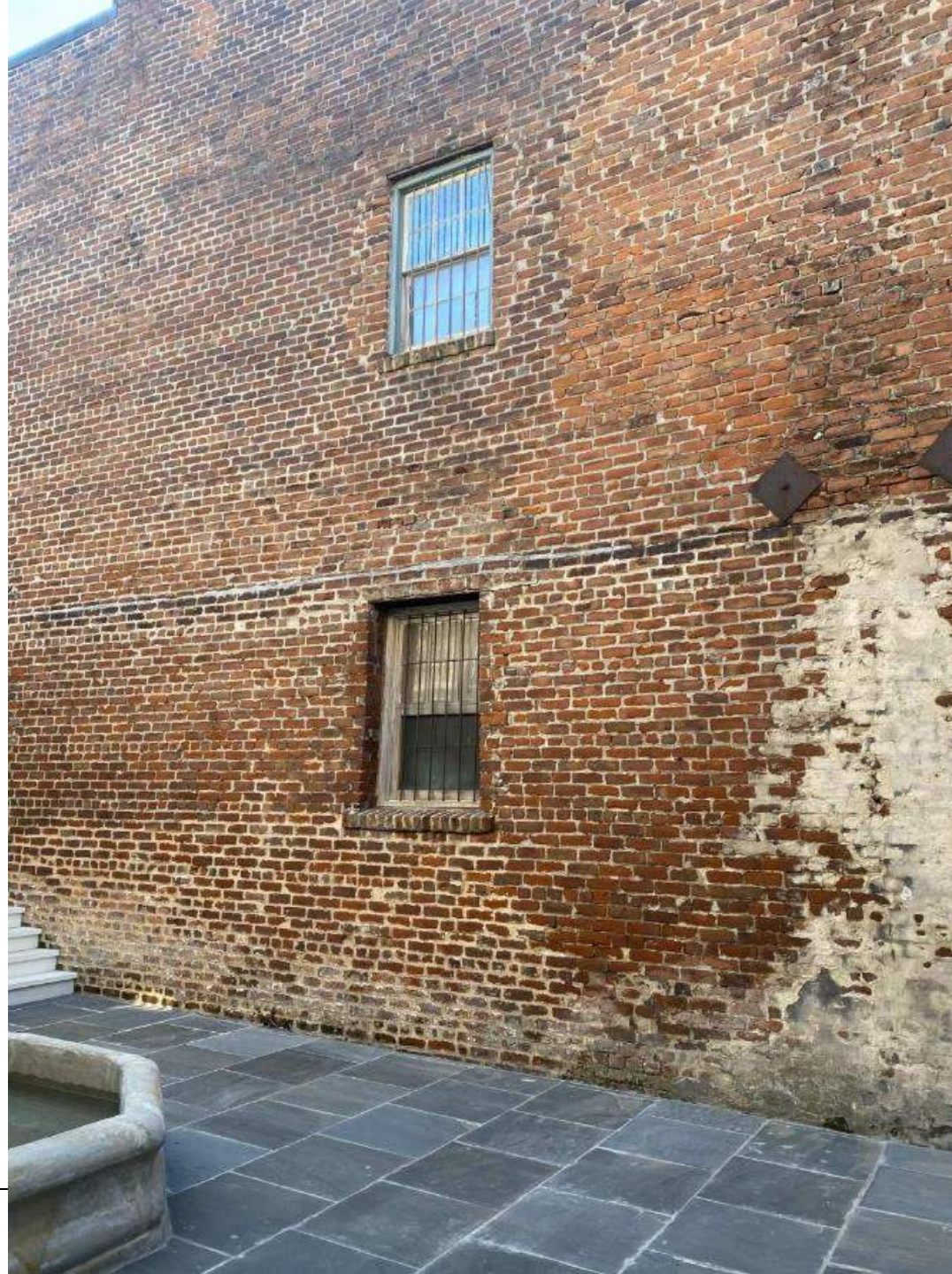
POSITION: LOT "H", PLAN OF J. A. D'HEME COURT,
DEVELOPER, DATED FEBRUARY 10, 1879, ANNEXED TO ACT
TINA, LAKE N. P., ON APRIL 16, 1879.

POSITION: LOT "H" - MR. & MRS. JAMES A. KENT, - ACT OF
ZACIVITCH, N.P. - SEPTEMBER 28, 1950. - C.O.G. 577/25.

E. L. EDSTIS & SONS
C.E. & SURVEYORS.
BY *E. L. Edstis*
MAY 3, 1950.







810 Bourbon

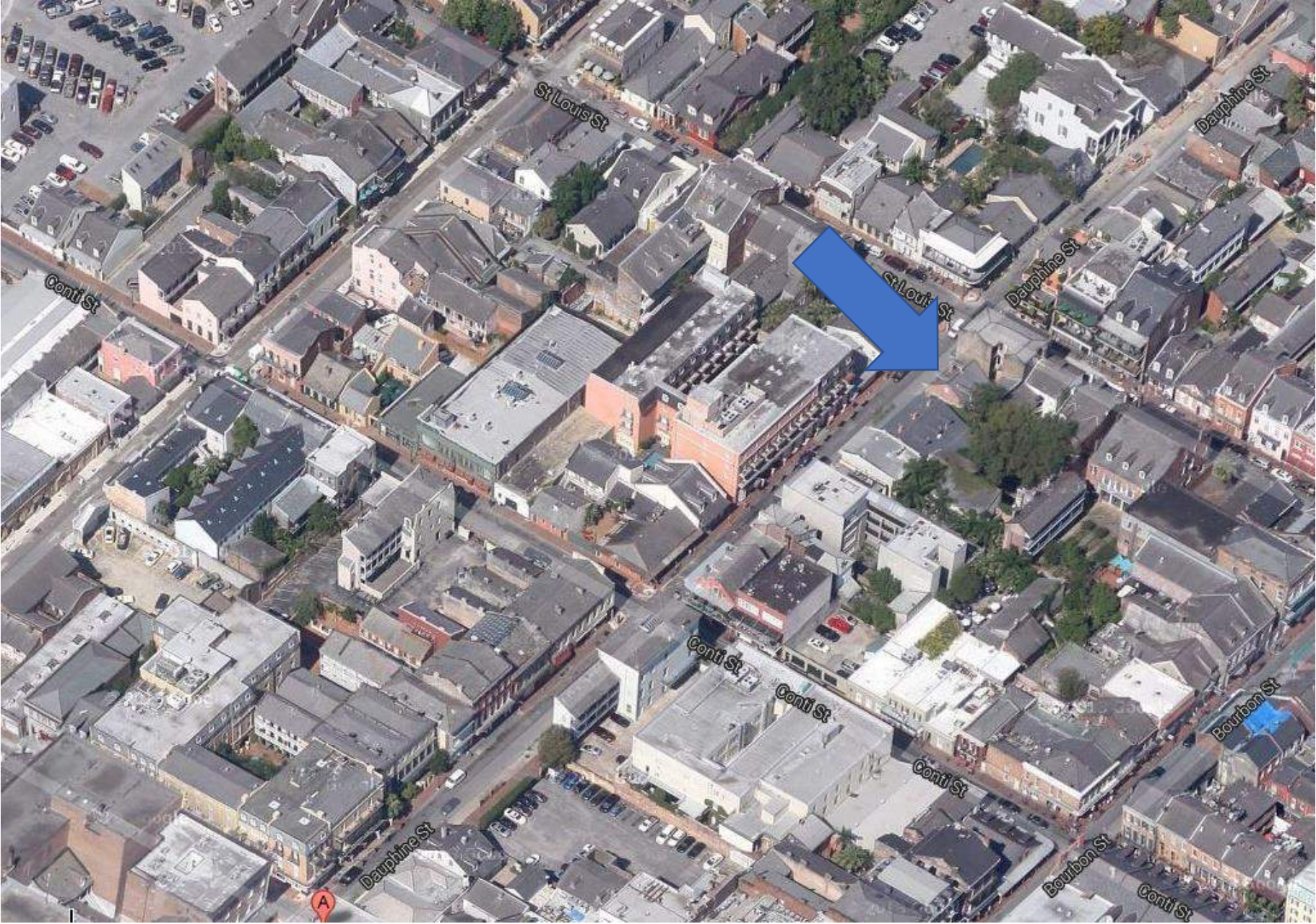
VCC Architectural Committee

March 28, 2023





434 Dauphine



434-36 Dauphine

VCC Architectural Committee

March 28, 2023





434-36 Dauphine- 1934

VCC Architectural Committee

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434-36 Dauphine

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March 28, 2023





434-36 Dauphine

VCC Architectural Committee

March 28, 2023





434-36 Dauphine

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08 26 2022

March 28, 2023





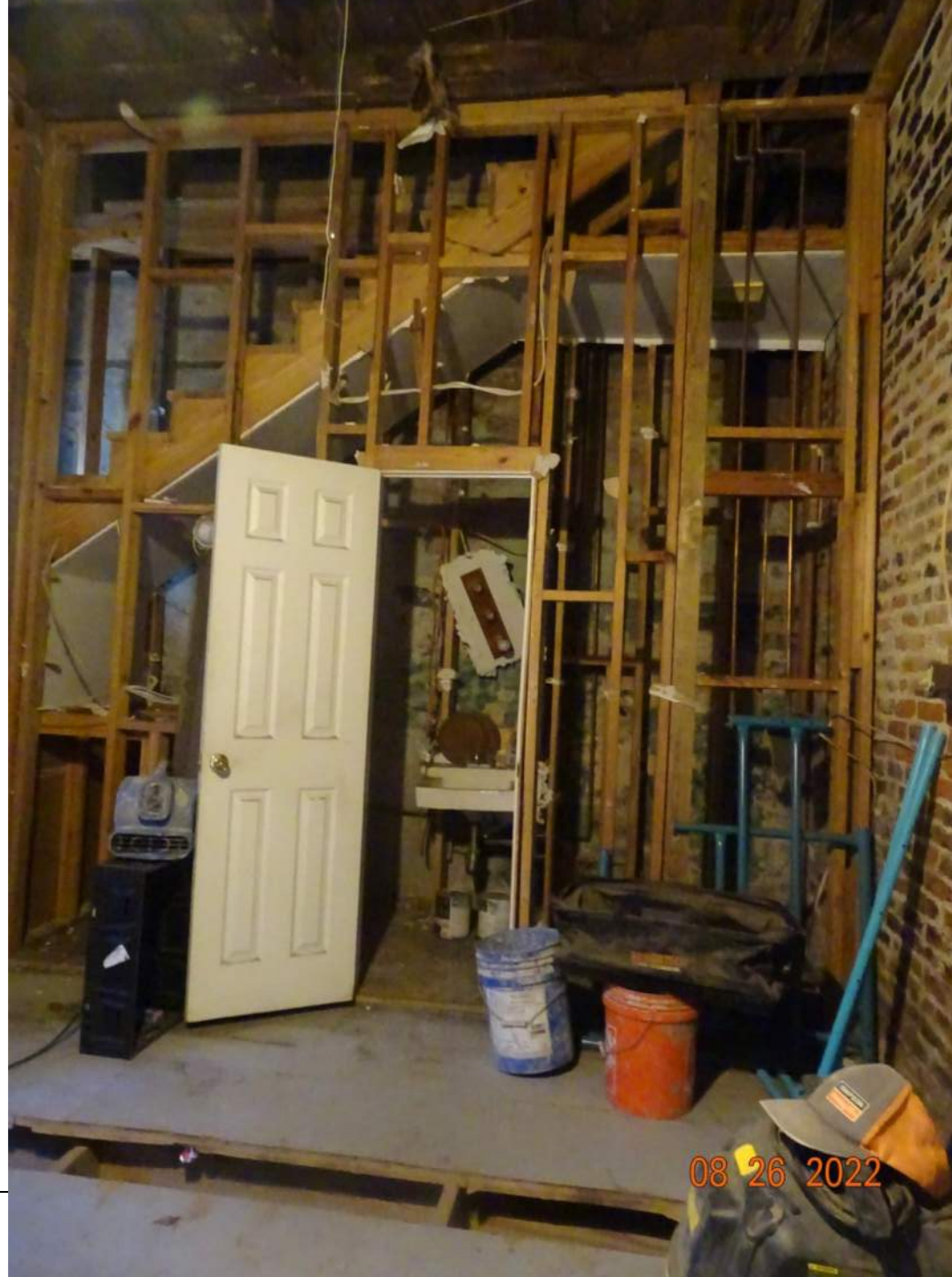
434-36 Dauphine

VCC Architectural Committee

02 06 2023

March 28, 2023





434-36 Dauphine

VCC Architectural Committee

March 28, 2023





434-36 Dauphine

VCC Architectural Committee

March 28, 2023





434-36 Dauphine

VCC Architectural Committee

01 25 2023

March 28, 2023





434-36 Dauphine

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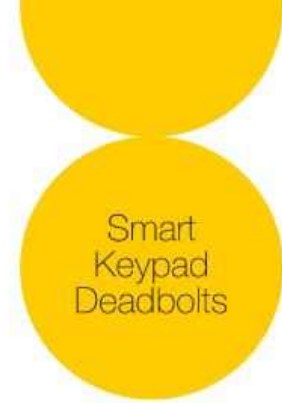
04 27 2022

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Assure Lock[®]

Collection Specifications



Smart Keypad Deadbolts



YRD216



YRD226



YRD256

Upgrade with a Yale Smart Module



Available through Control4 or Crestron and certified dealers.



1000 N Rampart

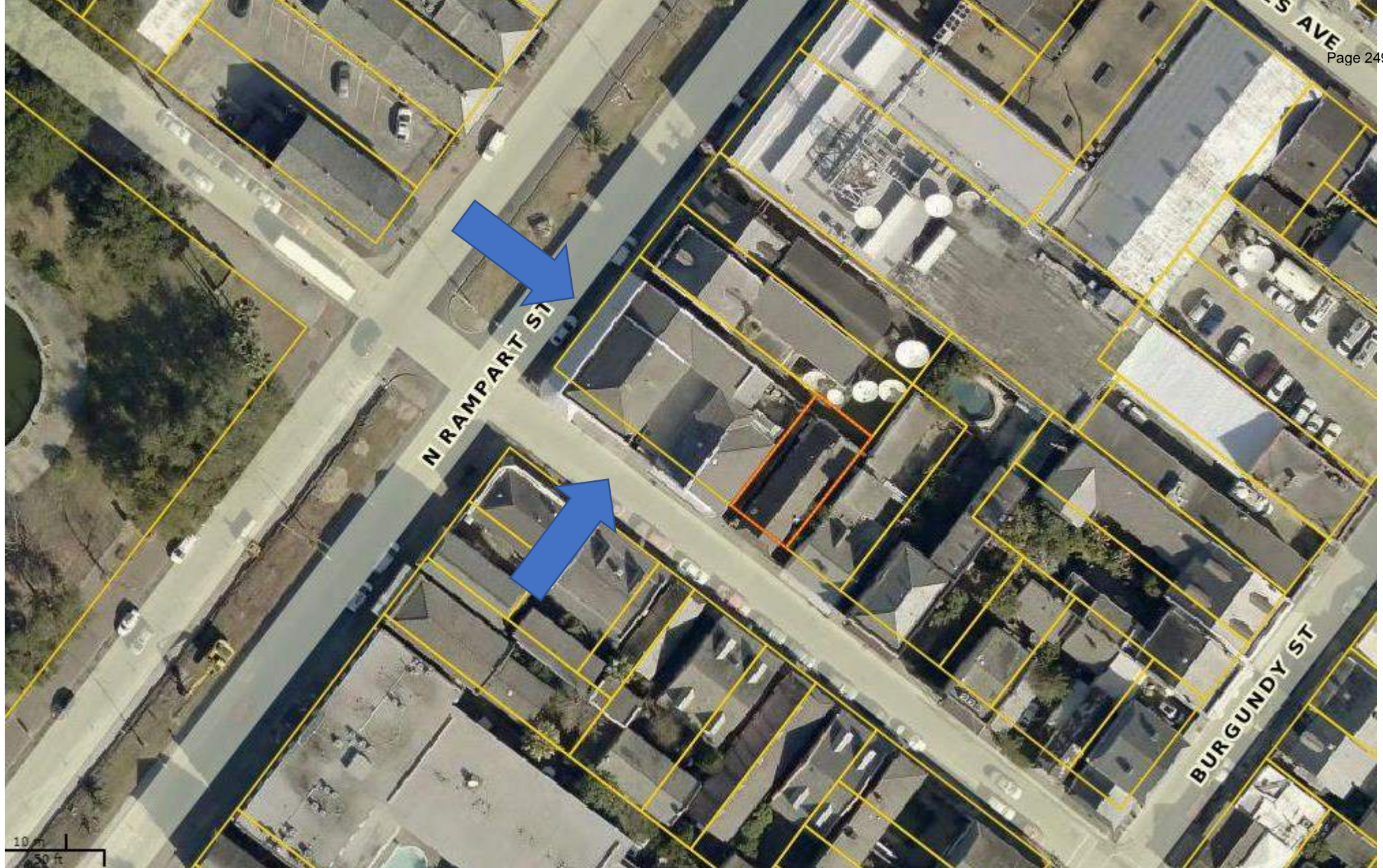


1000 N. Rampart, 1029-35 St. Philip

VCC Architectural Committee

December 6, 2022





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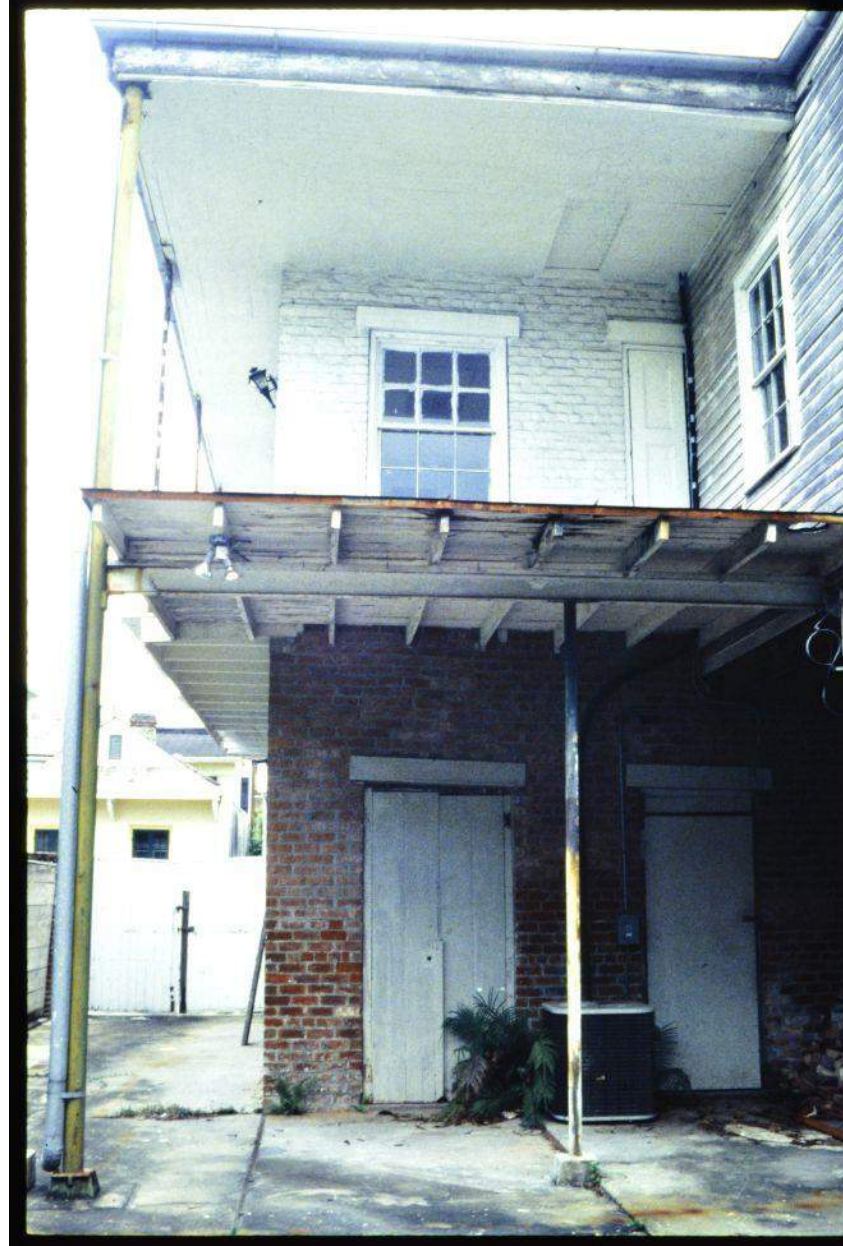


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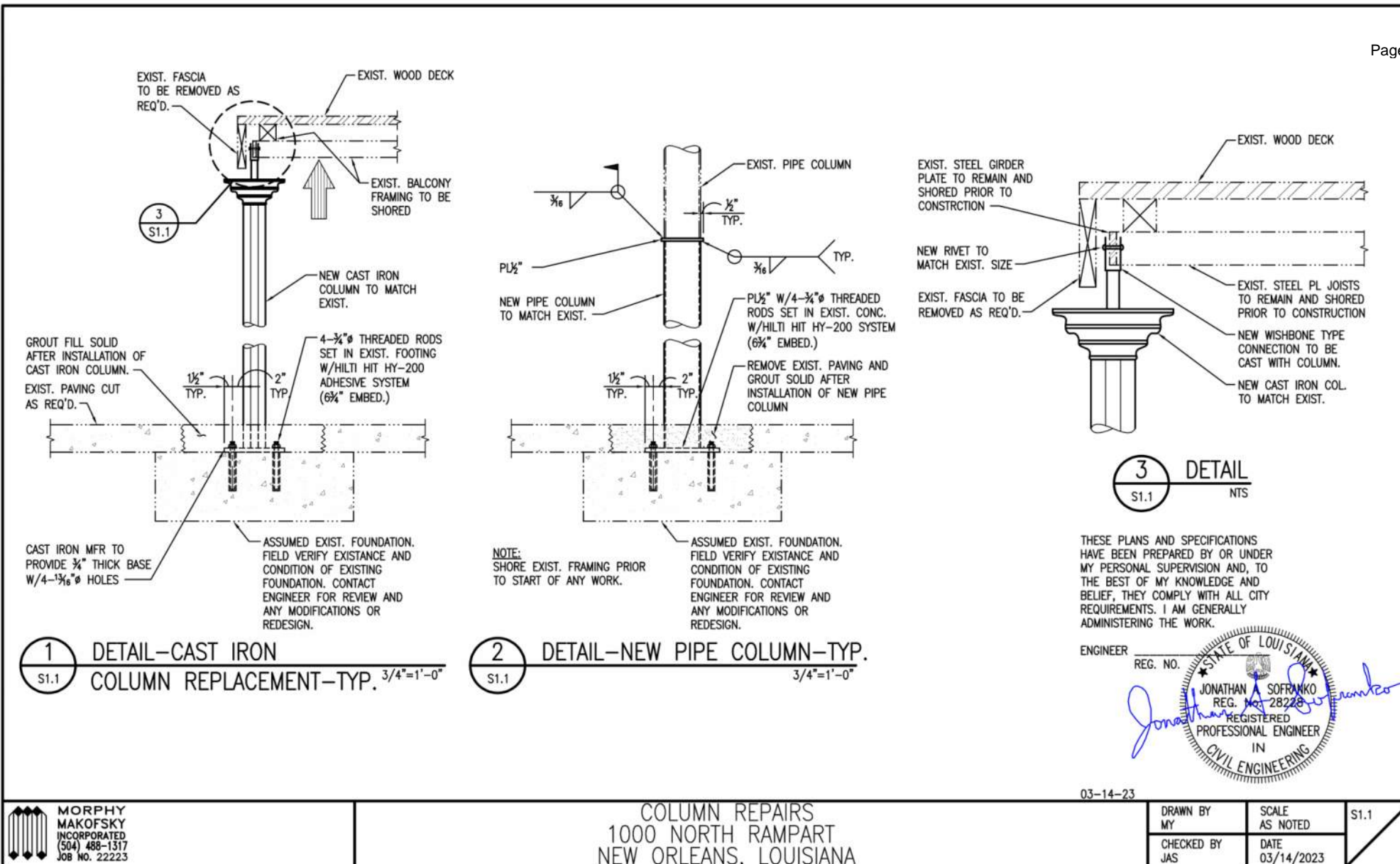
04 15 2020

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MORPHY
MAKOFSKY
INCORPORATED
(504) 488-1317
JOB NO. 22223

COLUMN REPAIRS
1000 NORTH RAMPART
NEW ORLEANS, LOUISIANA

DRAWN BY MY	SCALE AS NOTED	S1.1
CHECKED BY JAS	DATE 03/14/2023	

1000 N. Rampart, 1029-35 St. Philip
VCC Architectural Committee

December 6, 2022





7 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.

8 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.



4 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.



5 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.



6 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.



1 BUILDING #1 - RAMPART ST. SIDE ELEVATION
 SCALE: N.T.S.



2 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.



3 BUILDING #1 - RAMPART ST. ELEVATION
 SCALE: N.T.S.

REMOVE VEGETATION AT PARAPET. REPAIR CRACKS IN STUCCO TO MATCH EXISTING AND PAINT TO MATCH EXISTING ADJACENT STUCCO.
 REPAIR CRACKS IN STUCCO AT PARAPET TO MATCH EXISTING. PAINT PATCHED AREA TO MATCH EXISTING ADJACENT STUCCO.

REPAIR CRACKS IN STUCCO AT PARAPET TO MATCH EXISTING. PAINT PATCHED AREA TO MATCH EXISTING ADJACENT STUCCO.
 REPAIR CRACKS IN CEMENT PLASTER / STUCCO TO MATCH EXISTING CEMENT PLASTER / STUCCO. PAINT PATCHED AREA TO MATCH EXISTING ADJACENT FINISH.
 REMOVE GRAFFITI ON CEMENT PLASTER / STUCCO PER VCC PERMIT 22-32816-KC/PNT

REMOVE EXISTING UNSHIELDED FLOODLIGHTS AND REPLACE WITH NEW AMBIENT LIGHT FIXTURES.
 REPAIR CRACKS IN CEMENT PLASTER / STUCCO TO MATCH EXISTING CEMENT PLASTER / STUCCO. PAINT PATCHED AREA TO MATCH EXISTING ADJACENT FINISH.

REMOVE EXISTING UNSHIELDED FLOODLIGHTS AND REPLACE WITH NEW AMBIENT LIGHT FIXTURES.
 REPAIR CRACKS IN CEMENT PLASTER / STUCCO TO MATCH EXISTING CEMENT PLASTER / STUCCO. PAINT PATCHED AREA TO MATCH EXISTING ADJACENT FINISH.

REMOVE VEGETATION AT PARAPET. REPAIR CRACKS IN STUCCO TO MATCH EXISTING AND PAINT TO MATCH EXISTING ADJACENT STUCCO.

REPLACE MISSING CEMENT PLASTER / STUCCO AT DOWNPOUT TO MATCH EXISTING ADJACENT FINISH. CEMENT PLASTER / STUCCO SHALL BE COMPATIBLE WITH EXISTING MASONRY UNITS AND ADJACENT CEMENT PLASTER / STUCCO. PAINT CEMENT PLASTER / STUCCO TO MATCH EXISTING ADJACENT FINISH.
 REMOVE VEGETATION AT DOWNPOUT.
 REQUEST TO RETAIN EXISTING SECURITY CAMERA AT CURRENT LOCATION.

REMOVE EXISTING MORTAR JOINT AND REMOVE EXISTING MASONRY UNITS AND SALVAGE FOR REINSTALLATION. INSTALL STAINLESS STEEL HELICAL TIE BRACING AT REPAIRED MORTAR JOINT.
 REPAIR CRACKS IN CEMENT PLASTER / STUCCO TO MATCH EXISTING CEMENT PLASTER / STUCCO. PAINT PATCHED AREA TO MATCH EXISTING ADJACENT FINISH.
 CLEAN MILDEW AND STAINS ON CEMENT PLASTER / STUCCO AT DOWNPOUT.
 REMOVE AND REPLACE EXISTING DAMAGED CAST IRON COLUMN TO MATCH EXISTING. PROVIDE TEMPORARY SHORING TO SUPPORT BALCONY ABOVE. ANCHOR COLUMN TO GROUND TO MATCH EXISTING.
 REPLACE MISSING SECTION OF DOWNPOUT TO MATCH EXISTING.

STIRLING PROPERTIES
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 VIEUX CARRE COMMISSION REPAIRS
 NEW ORLEANS, LOUISIANA
 1000 N. RAMPART ST.

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 DRAWN BY: MMH
 CHECKED BY: CEV

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 22093
 TITLE:
 BUILDING #1 - PHOTOS
 SHEET:
 A1.02

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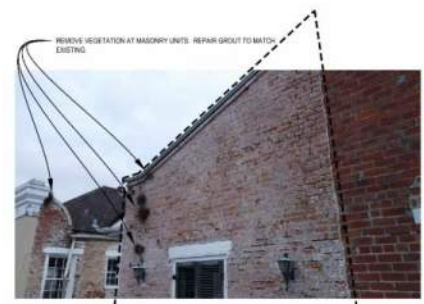
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22093

TITLE:
BUILDING #2 AND #3 - PHOTOS

SHEET:
A1.04

3/1/2023 5:19:10 PM



8 BUILDING #2 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



9 BUILDING #3 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



4 BUILDING #2 AND #3 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



5 BUILDING #2 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



6 BUILDING #3 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



1 BUILDING #2 AND #3 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



2 BUILDING #2 AND #3 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.



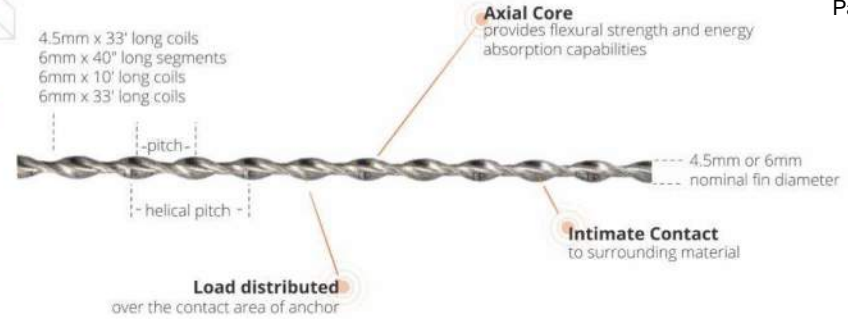
3 BUILDING #3 - ST. PHILIP ST. ELEVATION
 A1.04 SCALE: N.T.S.

STITCH-TIE® BAR

Provides supplemental reinforcement in mortar joints

The stainless steel Stitch-Tie Bar repairs cracked masonry and can provide reinforcement to create structural beams within existing masonry walls. The Stitch-Tie Bar is installed with SureGrout S, which is a high-performance, non-corrosive, non-oxidizing, non-shrink, thixotropic, cement-based grout that's suitable for injecting by hand.

The bar is composed of stainless steel, twisted with a helical-pitched thread to provide intimate contact to the surrounding material. When used together with SureGrout S, they offer a superb combination of axial strength and flexibility, which helps absorb further localized stress.



Stitch-Tie Bar Physical Characteristics*

	nominal dimensions
Outside Tie Diameter	6mm
Mass: lb/ft (kg/m)	0.043 (0.062)
Cross Sectional Area: in ² (mm ²)	0.012 (8)
Yield Strength: ksi (N/mm ²)	108 (745)
Ultimate Tensile Strength: ksi (N/mm ²)	130 (1060)
Ultimate Shear Load: lbs (N)	265 (1180)
Elastic - Modulus: ksi (Gpa)	22,625 (156.3)
Helix Angle: (to longitudinal axis)	32.14°
Pitch Length: in. (mm)	0.59 (15)
Helical Pitch Length: in. (mm)	1.18 (30)

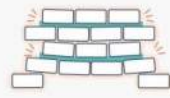
* Material: ASTM A580 TYPE 304 Stainless Steel



CRACK REINFORCEMENT



CORNER CRACKING



HELICAL BEAMING TO REINFORCE ROUGH OPENINGS



Stitch-Tie Bar Kit

- SureGrout S
- 3 liter tub, 3900psi (27.5 Mpa) compressive strength
- 30 oz. Crack Stitching Gun and Nozzle
- Mixing Paddle



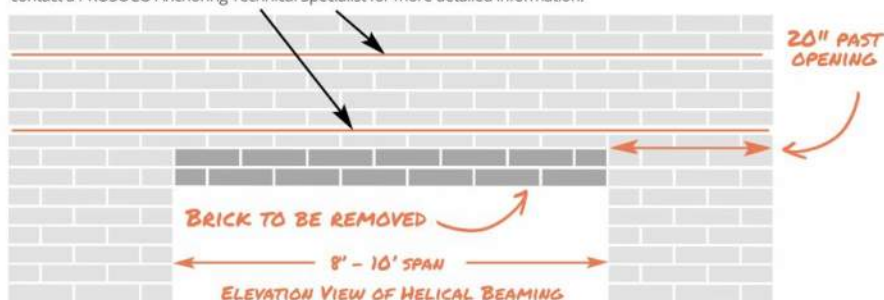
Helical Beaming with Stitch-Tie Bar

Create a new doorway, replace window lintels, or repair flashing by using the PROSOCO Stitch-Tie Bar for helical beaming. This method eliminates tedious and cost-intensive alternatives, including shoring, needling, or removing whole sections of the wall.

Used in conjunction with SureGrout S, the PROSOCO Stitch-Tie Bar reinforces areas of masonry and produces composite brick beams, allowing the masonry to span over openings. In multi-wythe construction, the helical beaming can be further strengthened if installed on the interior and exterior wythes.

By using this system, one will be able to install larger pieces of flashing, thus eliminating unnecessary lap joints and reducing future water problems.

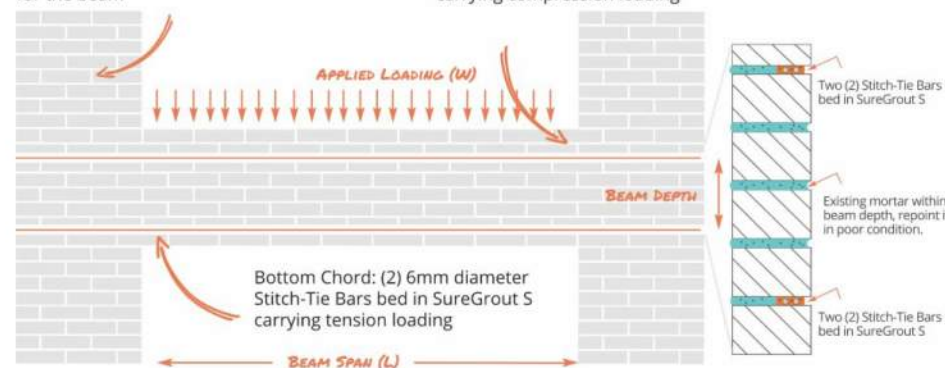
Install two (2) rows of two (2) 6mm Stitch-Tie Bars and SureGrout S to create a composite masonry beam to help support the load. Extend bars 20" past opening on both sides. Vertical spacing varies, contact a PROSOCO Anchoring Technical Specialist for more detailed information.



Helical beaming saves money, labor, and time.

Sufficient gravity loading above to resist thrust, providing a fixed end connection for the beam

Top Chord: (2) 6mm diameter Stitch-Tie Bars bed in SureGrout S and two adjacent brick courses carrying compression loading



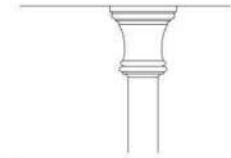
Retrofit Helical Beaming Methodology:

The use of PROSOCO Stitch-Tie Bars in conjunction with SureGrout S has the ability to locally reinforce areas of masonry, producing composite brick beams, allowing the masonry to span over openings. It should be noted that in buildings using a multi-wythe construction, to provide a more effective solution, the helical beaming approach should be installed on the interior and exterior wythes if accessible. The testing performed summarized in the load tables below was performed on both a single wythe and two wythe brick construction with a filled collar joint. For thicker sections or walls in poor condition, the wall should be analyzed to determine if composite action could occur within the brick beam, and should be reinforced if required.

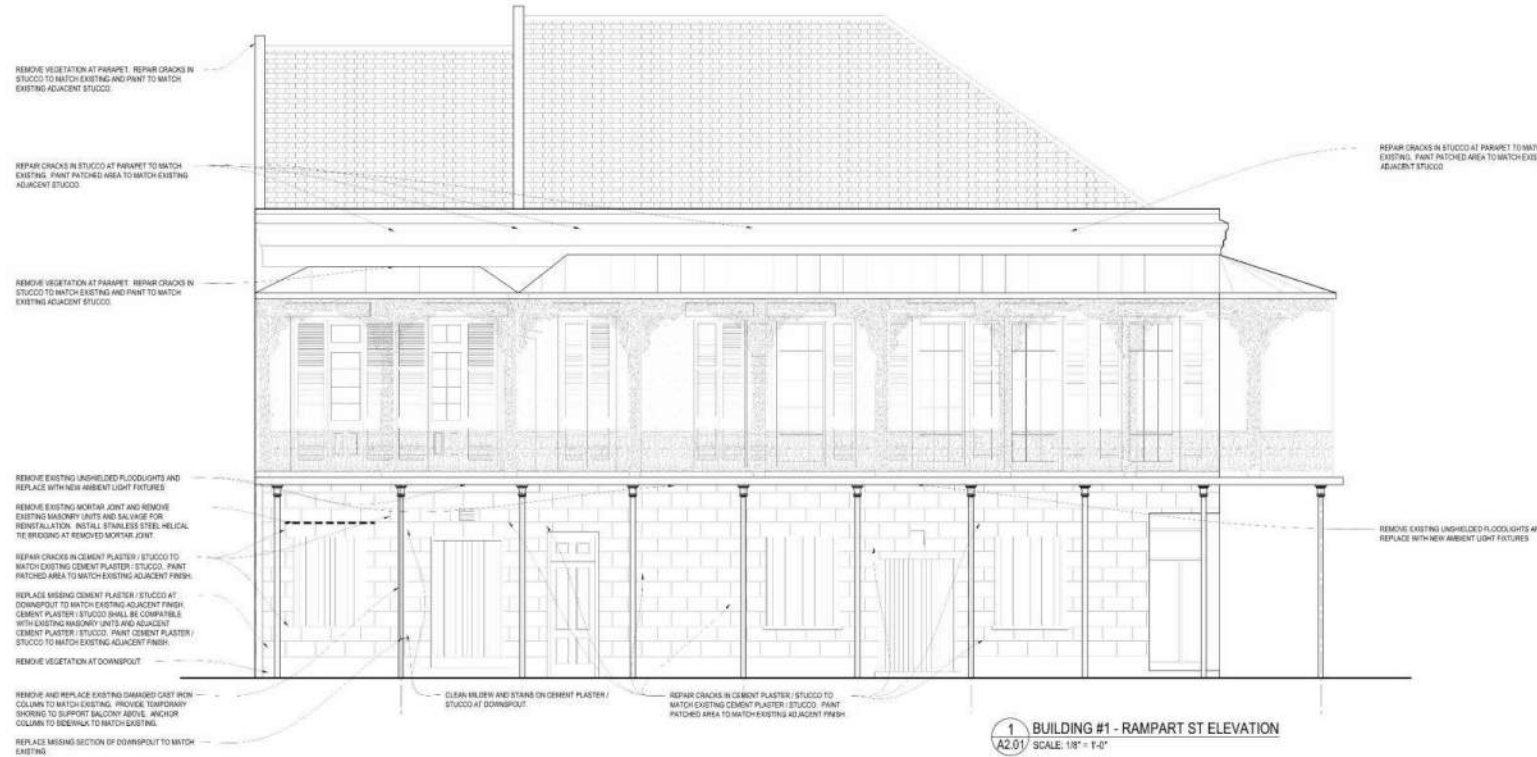
This method involves the insertion of PROSOCO Stitch-Tie Bars into bed joints, set in SureGrout S at various heights in a masonry wall, to create a composite brick beam. The two (2) 6mm diameter Stitch-Tie Bars in the lower joint carry the tensile loading, acting as the bottom chord of a beam, while the additional two (2) 6mm diameter Stitch-Tie Bars in a higher course and its adjacent brick courses carry the compressive loading, acting as the top chord of a beam. The distance between the top and bottom courses reinforced with Stitch-Tie Bar and SureGrout S is considered the "beam depth" in the table below. The unreinforced brick masonry in-filled within this depth is equivalent to the web of the beam, allowing shear transfer. To provide a fixed end condition, sufficient dead load must be provided at the adjacent column sections to resist thrust. If sufficient dead loading is not present, the overall capacity of the beam will be reduced.



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2 BUILDING #1 - COLUMN CAPITAL
SCALE: 1/12" = 1'-0"



1 BUILDING #1 - RAMPART ST ELEVATION
SCALE: 1/8" = 1'-0"

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1000 N. RAMPART ST.

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DRAWN BY: NER
CHECKED BY: DEW
PHASE:

SCOPING DOCUMENTS
22093
TITLE:
EXTERIOR ELEVATIONS

SHEET:
A2.01

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1000 N. Rampart, 1029-35 St. Philip

VCC Architectural Committee

December 6, 2022



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1000 N. RAMPART ST.

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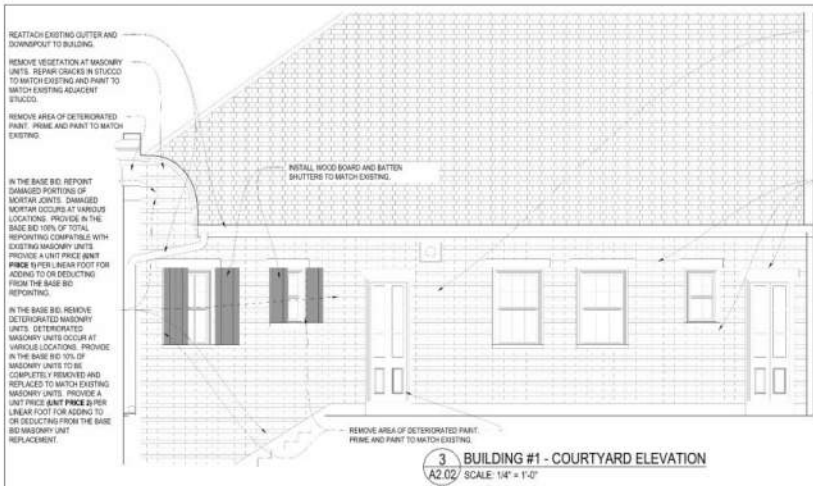
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TITLE: EXTERIOR ELEVATIONS

SHEET

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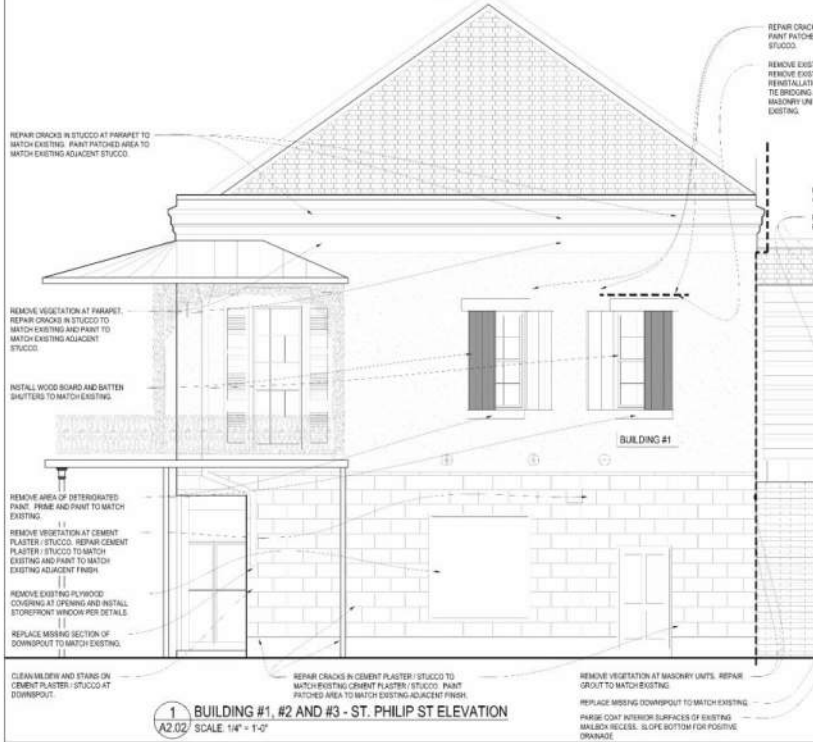
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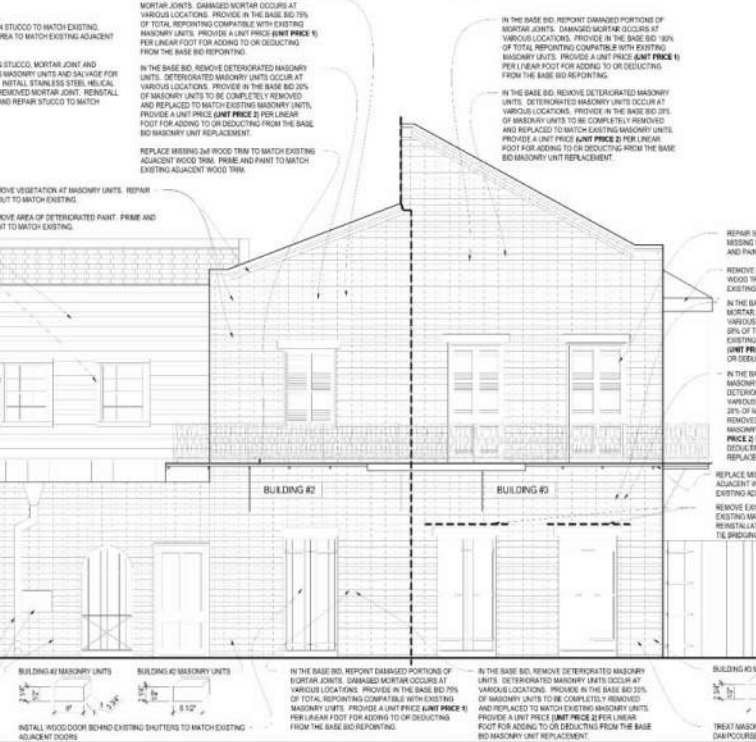
3 BUILDING #1 - COURTYARD ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



2 BUILDING #2 - COURTYARD ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



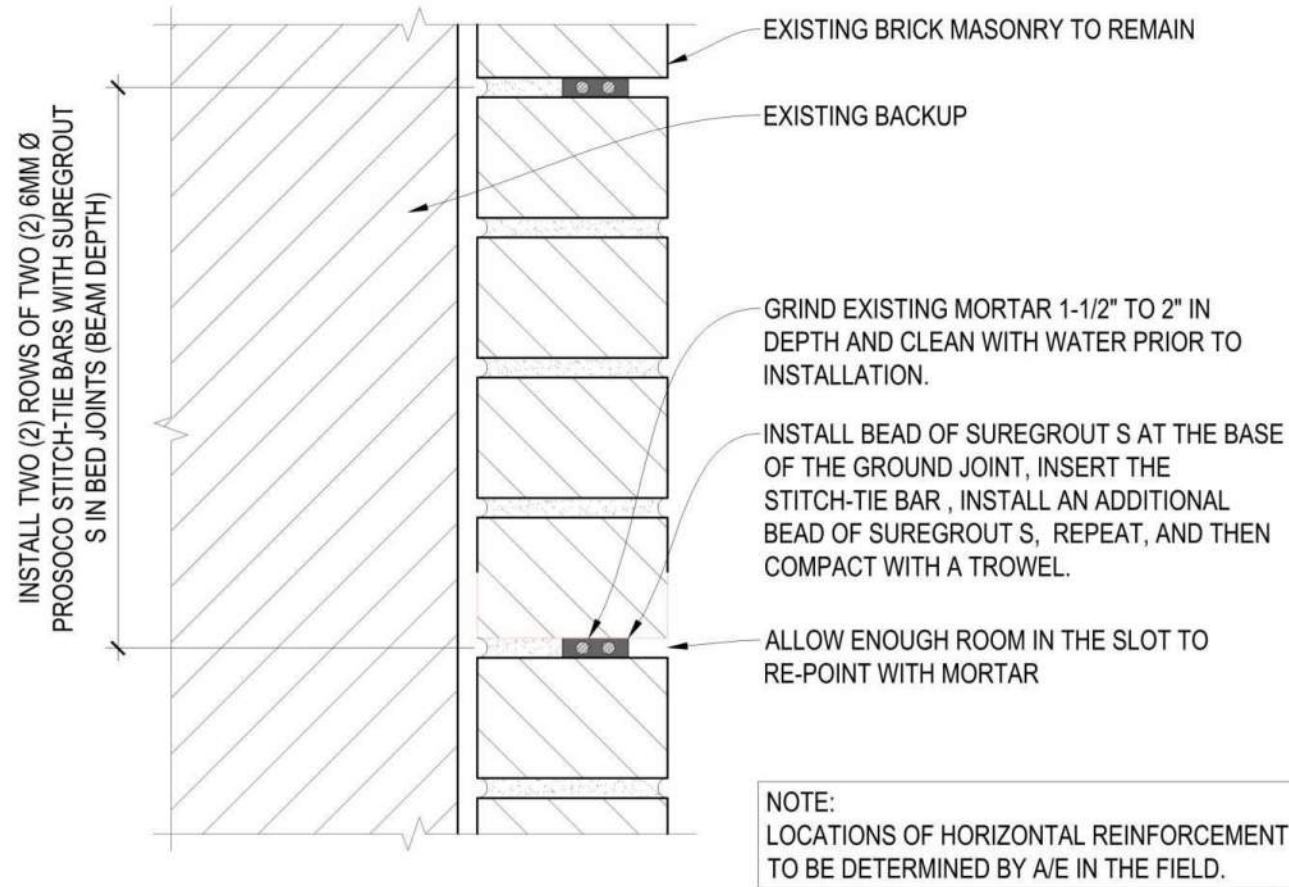
1 BUILDING #1, #2 AND #3 - ST. PHILIP ST ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



BUILDING #2 MASONRY UNITS
BUILDING #3 MASONRY UNITS
BUILDING #4 MASONRY UNITS
A2.02 SCALE: 1/4" = 1'-0"

1000 N. Rampart, 1029-35 St. Philip
VCC Architectural Committee

December 6, 2022



1 HELICAL TIE BRIDGING DETAIL
 A5.01 SCALE: 3" = 1'-0"





Dampcourse Fluid

Conservare® Dampcourse Fluid is a highly specialized compound formulated for injection application into older masonry surfaces. The material is designed to correct the problem of "rising damp" in older buildings caused by masonry walls which stand in continuously wet ground and do not contain a physical barrier to the upward, capillary migration of moisture.

Conservare® Dampcourse Fluid is a specially formulated, silicate water repellent designed for either low-pressure injection or gravity feed into holes drilled at regular intervals in the masonry. The fluid impregnates the masonry, migrating through the capillaries and forms a chemical barrier. By lining the pores with Conservare® Dampcourse Fluid, the natural capillary action of the porous substrate is interrupted and water does not migrate.

When compared with re-installation of mechanical dampcourses, this is a less costly and quicker process involving far less disturbance to the building.

SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job-site controls during application and handling.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053

REGULATORY COMPLIANCE

VOC Compliance

Conservare® Dampcourse Fluid is compliant with all national, state and district VOC regulations.

ADVANTAGES

- Eliminates damp patches on interior walls. Allows installation of decorative coatings and finishes.
- Stops deterioration of masonry caused by constant damp conditions.
- Helps correct unhealthy, damp living conditions in basement areas.
- Improves energy efficiency by reducing heat loss through damp walls.

Limitations

- A chemical dampcourse does not substitute for appropriate external, below grade waterproofing membranes.
- The insertion of a dampproof course does not dry out already wet walls. It only prevents further vertical ingress of water.
- A dampcourse does not prevent penetration of moisture from rainfall onto porous masonry walls. Necessary repointing, roof repairs, etc. should be completed and a suitable masonry water repellent applied to prevent intrusion of moisture into above grade vertical wall areas.
- Chemical dampcourse does not prevent dampness caused by improperly directed downspouts or the poor handling of surface waters.

TYPICAL TECHNICAL DATA

FORM	Clear, colorless liquid Mild odor
SPECIFIC GRAVITY	1.03
pH	10-12
WT/GAL	8.6 lbs
ACTIVE CONTENT	no data
TOTAL SOLIDS	4-5%
VOC CONTENT	not applicable
FLASH POINT	no data
FREEZE POINT	32° F (0° C)
SHELF LIFE	1 year in tightly sealed, unopened container

Product Data Sheet Conservare® Dampcourse Fluid

PREPARATION

When treating from the exterior surface of a masonry wall, facing material such as paint, stucco, skirting, etc. should be removed to expose the masonry substrate along the proposed dampproof course line.

Interior plaster, paint coatings and other decorative finishes which have been affected by rising damp should also be removed to a height of 18-inches above the maximum level of the rising damp.

Internal finishes, including adjoining flooring, may have to be removed to expose the masonry walls for treatment.

Equipment

Applicators should wear personal safety equipment.

Drilling of the holes is best accomplished using a heavy duty (minimum 15 amp), construction grade drill. Variable speed, reversible drills are recommended for best results. An assortment of masonry drill bits should be on hand, ranging from 1/2 to 1-inch in diameter and 12-36 inches long. An air compressor should also be available to blow dust and filings out of freshly drilled holes.

Conservare® Dampcourse Fluid may be installed manually using gravity feed cups. Each injection nozzle is fitted with a cup placed directly above the injector and either tacked to the wall or held in place by rigid tubing connected to the bottom of the cup and the injector nozzle. Cups are manually filled with Dampcourse Fluid allowing gravity to supply sufficient pressure to maintain a constant flow of material into the wall.

Storage and Handling

Keep from freezing. Store in a cool, dry place. Keep container tightly closed when not dispensing. Never touch eyes or face with hands or gloves that may be contaminated with this product. Use care around spilled material because it will be slippery. Wash thoroughly after handling. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperatures above 50°F (10°C). Product should be stored and handled in rubber or plastic containers. Steel containers are not appropriate. Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

APPLICATION

Read "Preparation" and the Safety Data Sheet before use.

See *Conservare® Technical bulletin #683-1 for additional information before application.*

Dilution & Mixing

Apply as packaged. Do not dilute or alter.

Typical Coverage Rates

The volume of Conservare® Dampcourse Fluid to be injected will depend upon the thickness of the wall and porosity of the masonry. Usage will be a minimum of 2-1/2 quarts of Conservare® Dampcourse Fluid per yard (36" run of a 10" thick wall) and increase proportionately for thicker walls.

Application Instructions

1. Establish a drilling pattern for the walls to be treated. Normally, holes which are 5/8-inch to 1-inch in diameter are drilled into the masonry walls approximately 6-inches above the grade line. Holes are drilled at 5-inch and 8-inch intervals and to a depth which is from 80-90% of the total wall thickness. Holes should be drilled at a slight downward angle (approximately 5°) so that the material flows naturally into the wall and reaches to the bottom of the hole.

The type of injectors being utilized and the porosity of the substrate will determine the final diameter of the hole and distance between drilling points. Generally, porous substrates can be drilled at longer intervals (7-8 inches between holes) and more dense substrates require shorter intervals (5-6 inches between holes). If the masonry material is extremely dense, the hole should be drilled at 5-inch intervals and as deeply as possible (+90%) to assure thorough saturation of the masonry.

IMPORTANT: The drilling pattern must be tight enough to ensure uniform and continuous saturation of the masonry substrate. Walls up to 36-inches thick can normally be treated from one side. Where the total thickness of the wall exceeds 36-inches, Dampcourse Fluid should be injected from both sides of the wall, using a staggered, overlapping drilling pattern. See Conservare® Tech Bulletin 1185.

2. Clean all loose filings and debris from the holes using an air compressor. Use of a reversible drill will reduce the amount of drill filings left in the holes. The holes must be free of loose materials to assure an even flow of material.



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3. Insert the proper size injection nozzle to full depth of the drilled holes. Connect injection nozzles to the gravity feed cups.
4. Inject Dampcourse Fluid into the wall until the masonry becomes visibly saturated and fluid is running freely out of the masonry surface. Gravity feed cups should be filled and kept full so a constant flow of material is supplied. In most cases, each cup will require filling two or three times over a 24–48 hour period to achieve thorough saturation.
5. Following injection, allow the treated walls to dry for 14 days to ensure full reaction of the silicate compound. Following the 14-day period, fill all holes with a cementitious mortar.

During the initial drying period, a white surface film will form indicating Dampcourse Fluid has completely reacted with the masonry substrate. Heavy films should be removed prior to application of a cement plaster or coating which serves as a base coat for decorative finishes. (See "Post Treatment" below.) Wire brushes and/or Sure Klean® White Scum Remover followed by high-pressure rinse may be used for cleaning.

Drying Out The Wall

Installation of a chemical dampproof course does not dry out walls which are damp at the time of treatment. The dampcourse prevents further ingress of moisture. The amount of time necessary for internal moisture to dissipate will vary with

the thickness of the wall, moisture content at the time of treatment, interior and exterior atmospheric conditions, etc.

In most cases, an 18-inch solid brick wall which has been effectively treated will dry out in 6–12 months, provided normal heating is used during the winter months. Walls which have been coated with paint films or other non-breathable coatings or wall coverings which serve as vapor barriers will require longer periods to thoroughly dry. These finishes should be removed from affected wall areas to assist the drying out process. Providing increased ventilation and heat to interior wall surfaces will also reduce the dry out time.

Post Treatment

Where treated masonry is to be left exposed, white surface films which develop during the initial drying period should be removed using wire brushes or a solution of Sure Klean® White Scum Remover followed by high-pressure rinse. Any necessary patching or repointing should be completed and repair materials allowed to cure. The masonry should then be treated with a penetrating, breathable water repellent. Call PROSOCO Customer Care at 800-255-4255 for accurate product recommendations.

Where treated masonry is to receive a decorative paint or coating, a cementitious plaster or coating should be applied as a parge coat before application of the final finish coat. These materials should be "breathable" to allow moisture within the masonry

BEST PRACTICES

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Interior plaster, paint coatings and other decorative finishes which have been affected by rising damp should also be removed to a height of 18-inches above the maximum level of the rising damp. Internal finishes, including adjoining flooring, may have to be removed to expose the masonry walls for treatment.

Walls up to 36-inches thick can normally be treated from one side. Where the total thickness of the wall exceeds 36-inches, Conservare® Dampcourse Fluid should be injected from both sides of the wall, using a staggered, overlapping drilling pattern. See Conservare® Tech Bulletin 1185.

Installation of a chemical dampproof course does not dry out walls which are damp at the time of treatment. The dampcourse prevents further ingress of moisture. The amount of time necessary for internal moisture to dissipate will vary with the thickness of the wall, moisture content at the time of treatment, interior and exterior atmospheric conditions, etc.

Where treated walls are to receive wallpaper, conventional paint coatings or other non-breathable materials, the walls should be allowed to thoroughly dry out before application of the decorative finish. Non-breathable finishes will cause the walls to retain moisture, leading to failures in decorative finishes.

Never go it alone. If you have problems or questions, contact your local PROSOCO distributor or field representative. Or call PROSOCO technical Customer Care at 800-255-4255.

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to dissipate. The decorative finish coat should also be a breathable film. PROSOCO's BMC® II or a proprietary cementitious coating is recommended. Call PROSOCO Customer Care at 800-255-4255 or visit www.prosoco.com for more information on BMC® II.

NOTE: Where treated walls are to receive wallpaper, conventional paint coatings or other non-breathable materials, the walls should be allowed to thoroughly dry out before application of the decorative finish. Non-breathable finishes will cause the walls to retain moisture, leading to failures in decorative finishes.

WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.**

The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care – technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our website at www.prosoco.com, for the name of the PROSOCO representative in your area.





1000 N. Rampart, 1029-35 St. Philip – dampcourse example

VCC Architectural Committee

December 6, 2022





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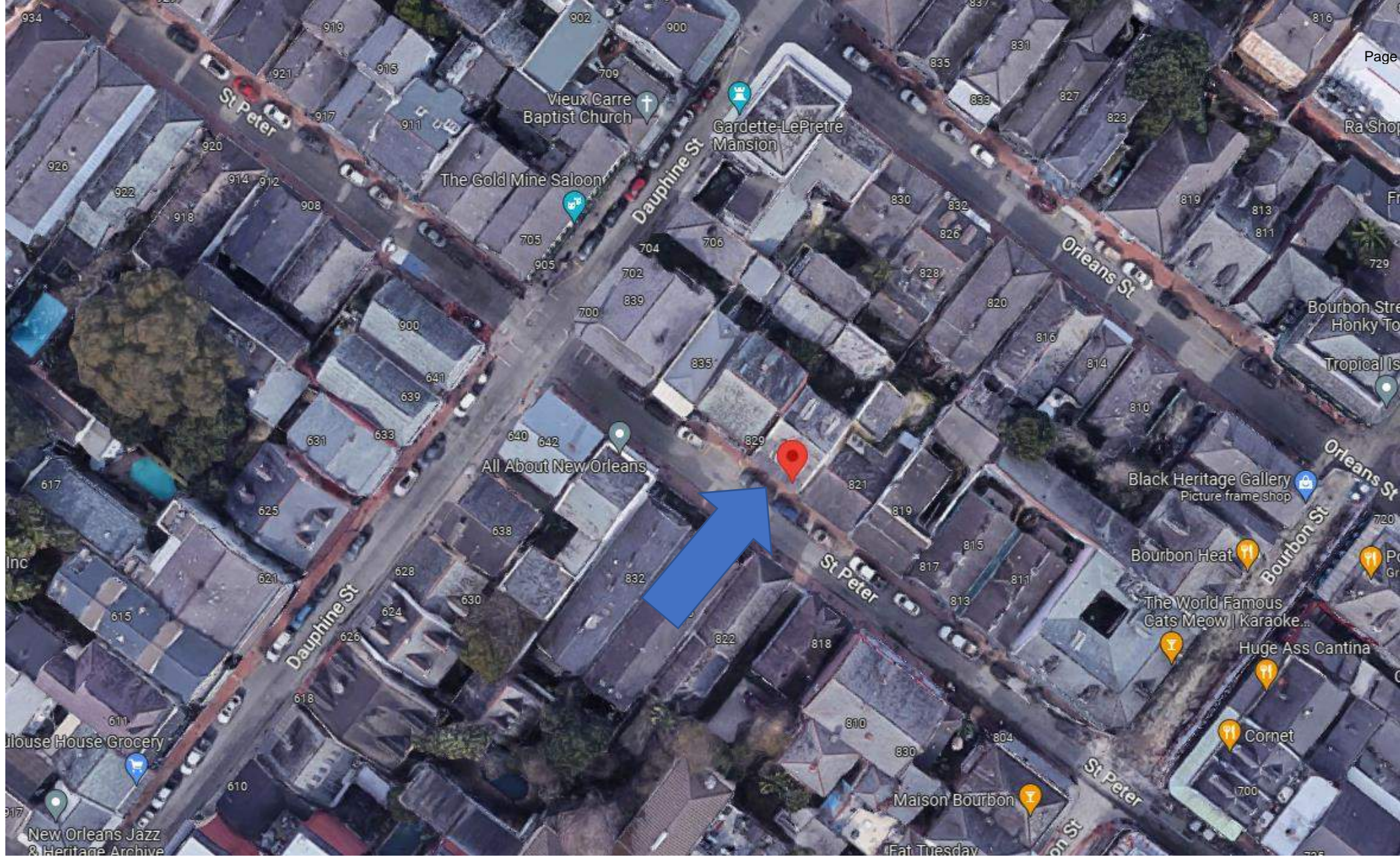
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December 6, 2022





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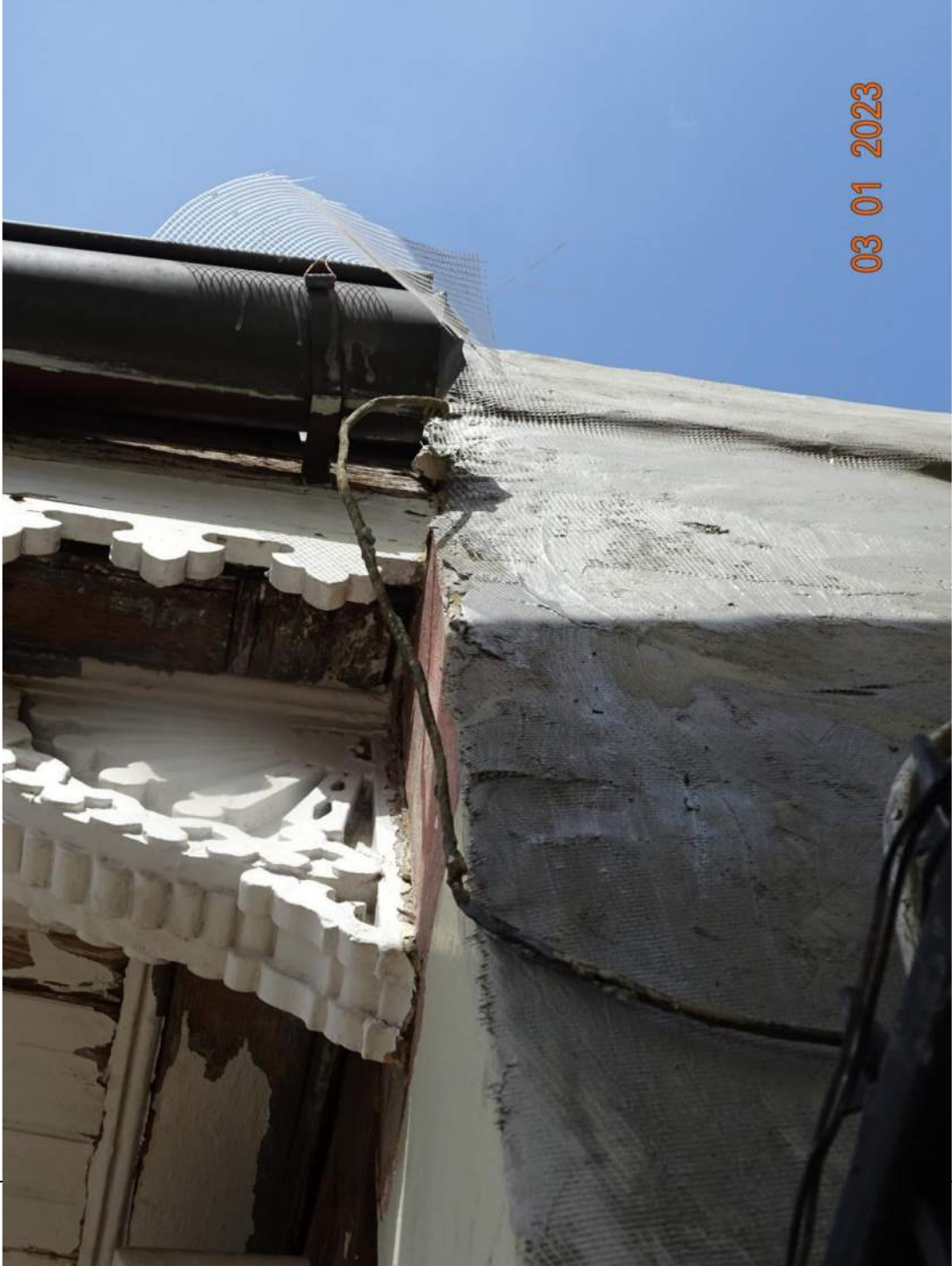


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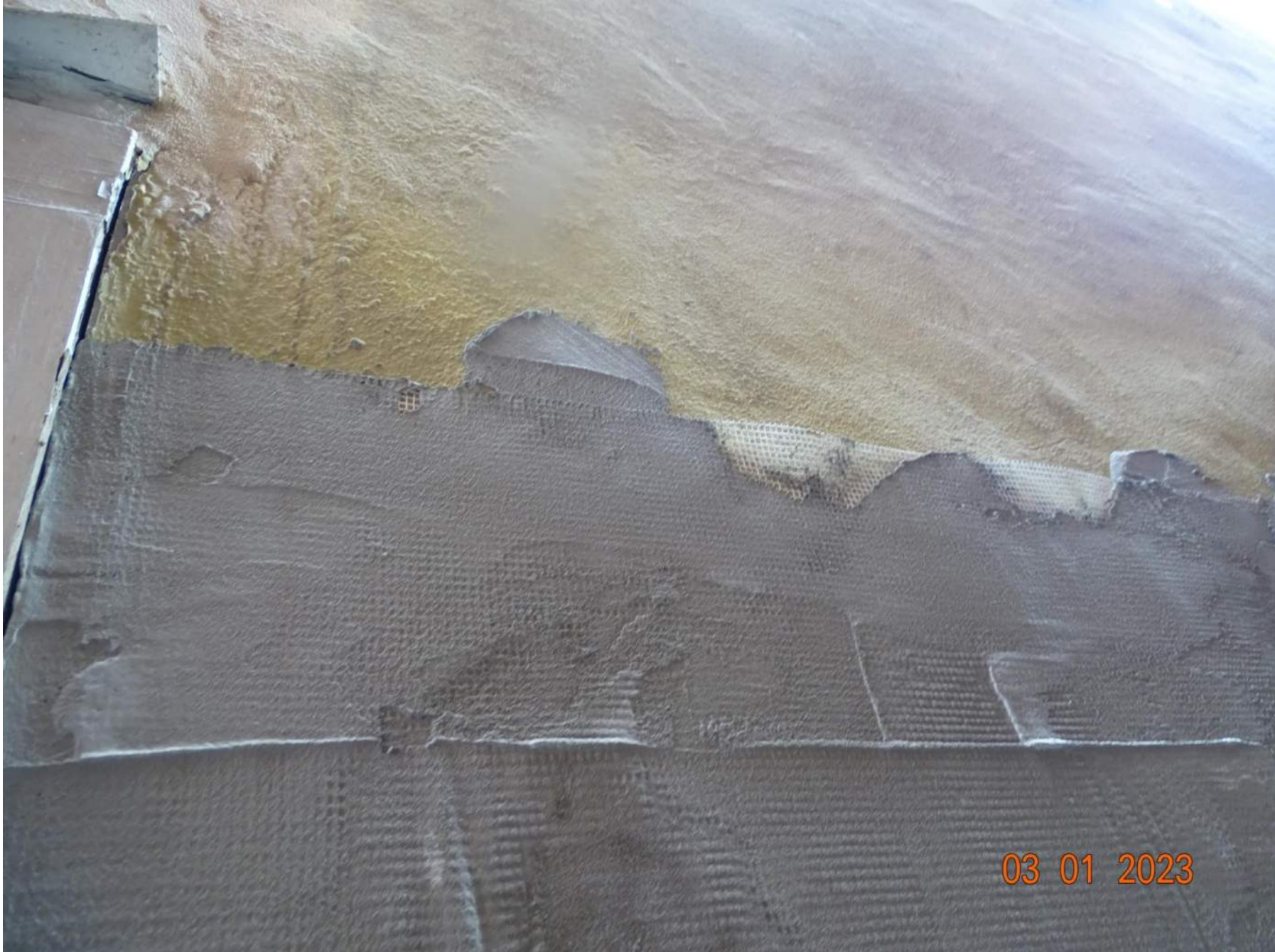
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