



Vieux Carré Commission Architecture Committee Meeting

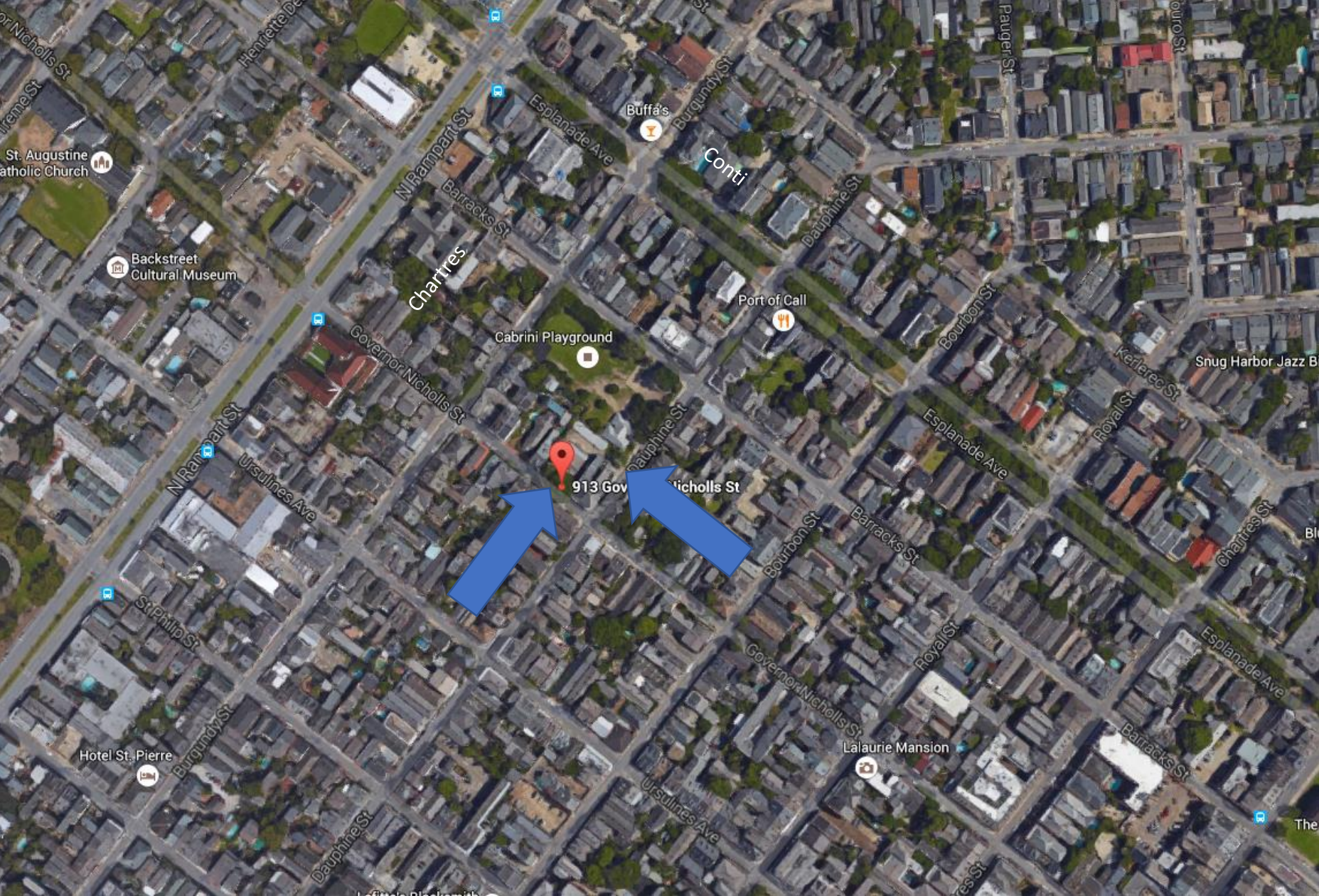
Tuesday, April 25, 2023



Old Business

The seal of the Vieux Carre Commission is a large, faint watermark in the background. It is an oval shape with a decorative border. The text "VIEUX CARRE COMMISSION" is written along the top inner edge, and "ESTABLISHED 1936" is written along the bottom inner edge. In the center of the seal is a heraldic crest featuring a shield with a crown on top, supported by two figures, and a banner below with a scroll.

**913 Governor Nicholls/
1215 Dauphine**



907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023



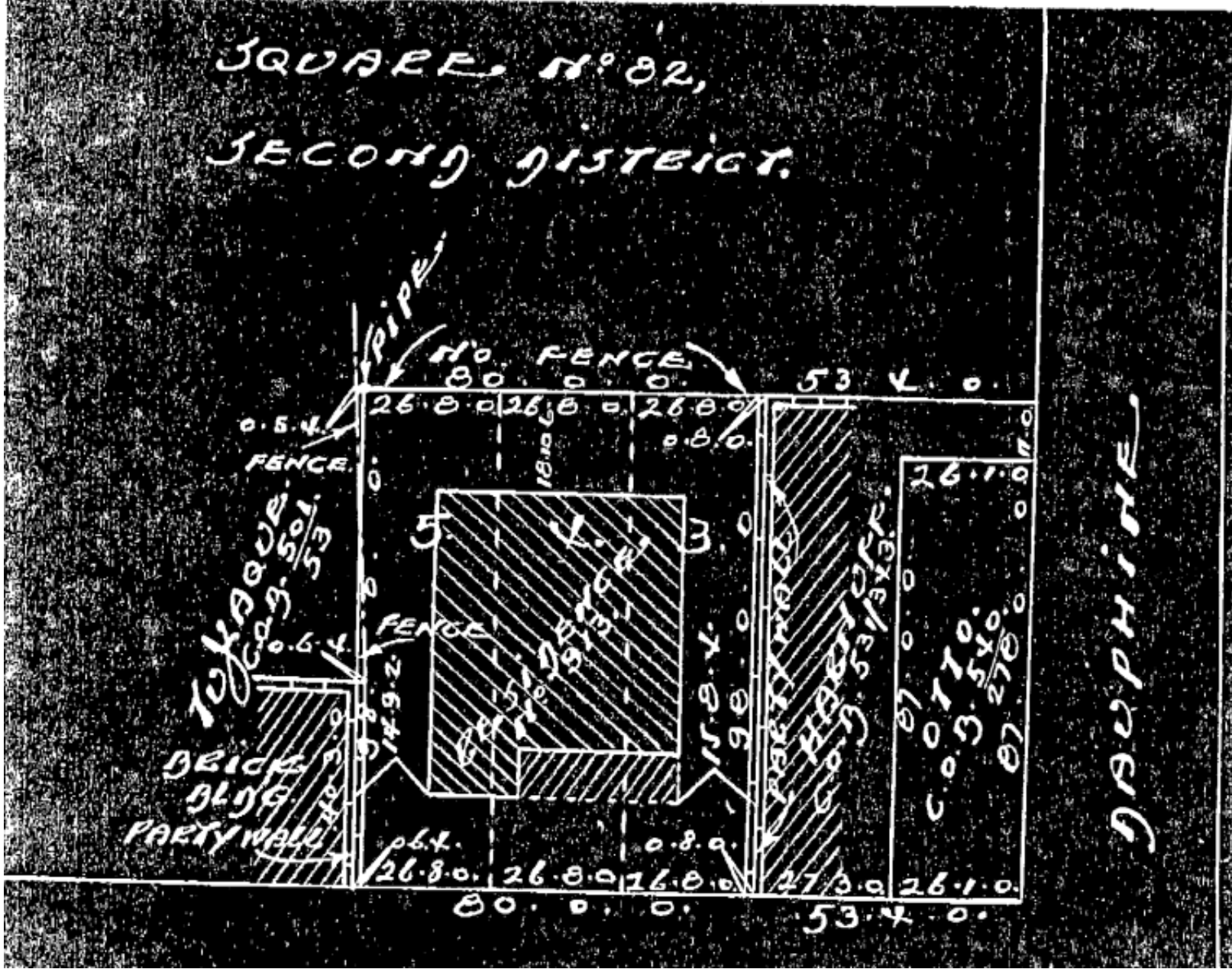


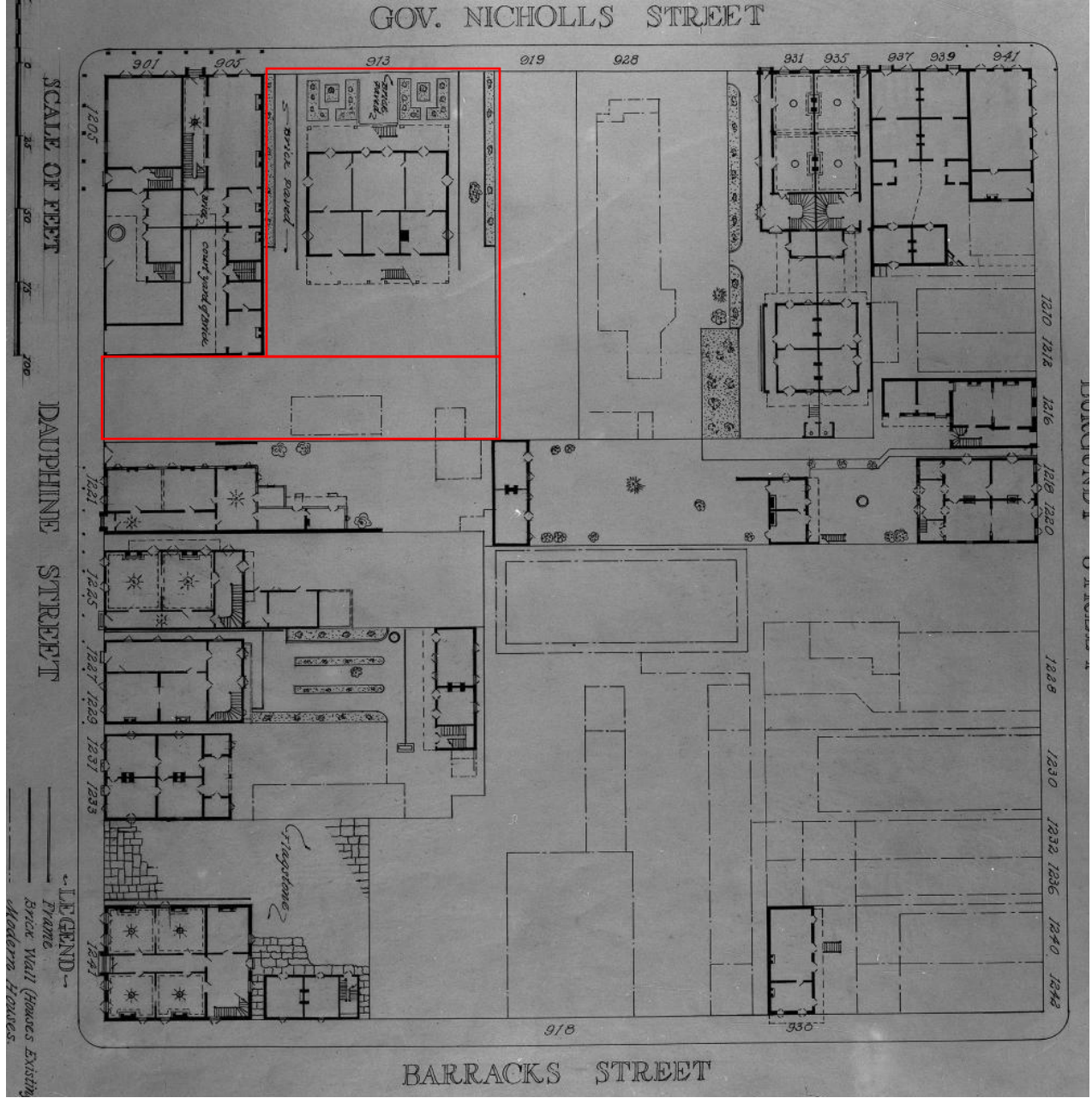
907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023







907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023



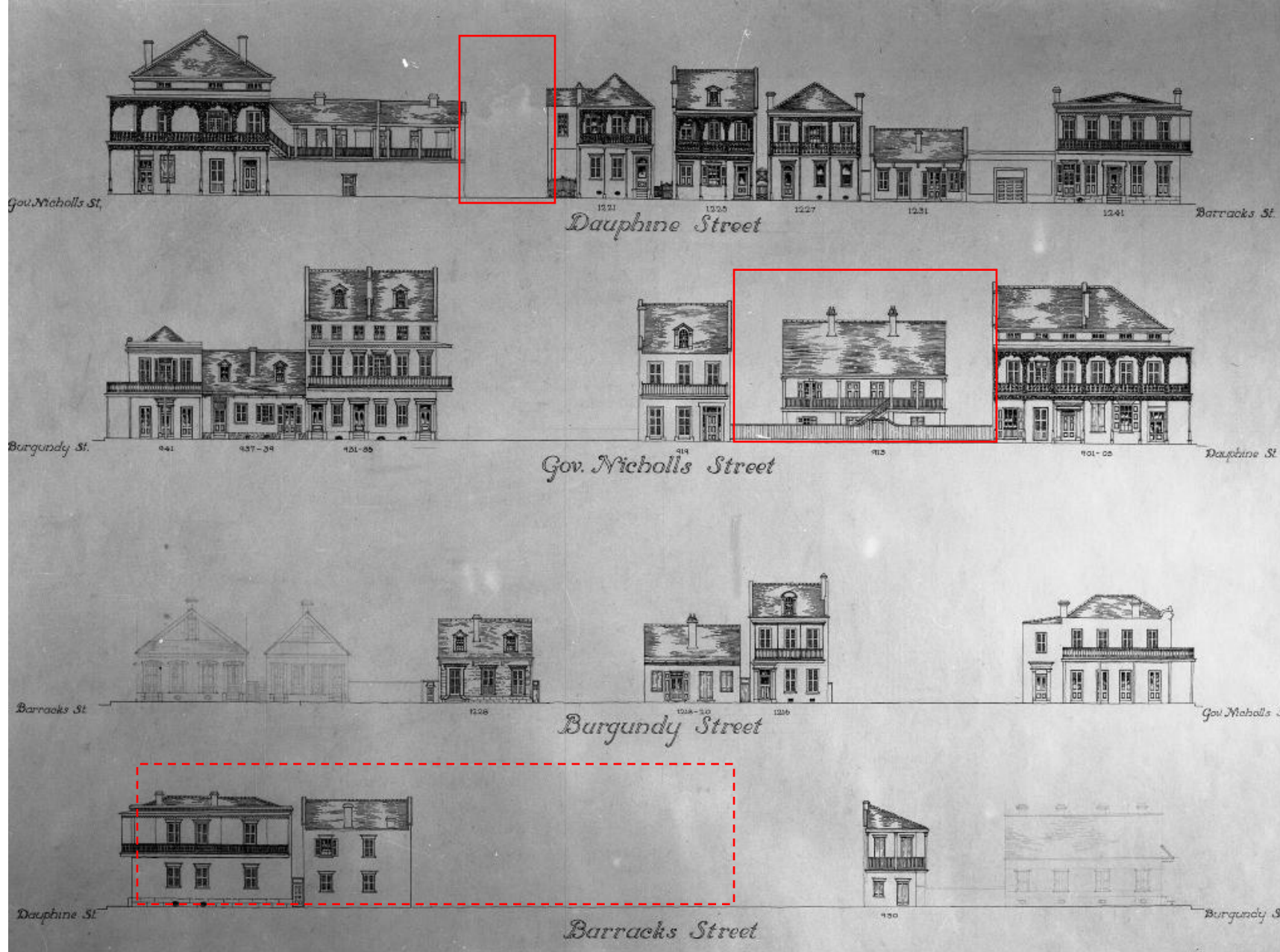


907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

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April 25, 2023





1211-15 Dauphine

VCC Architecture Committee

April 25, 2023





1211-15 Dauphine

VCC Architecture Committee

April 25, 2023





1211-15 Dauphine

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





907-17 Governor Nicholls

VCC Architecture Committee

April 25, 2023





913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





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April 25, 2023





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VCC Architecture Committee

April 25, 2023





11 10 2022

913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023



913 GOVERNOR NICHOLLS STREET PHASE 2 RENOVATIONS & NEW CONSTRUCTION

BUILDING OWNER

GOV NICHOLS PROPERTIES LLC
3535 CANAL ST. NEW ORLEANS, LA 70119
CESAR@BURGOSLAWFIRM.COM

ARCHITECT

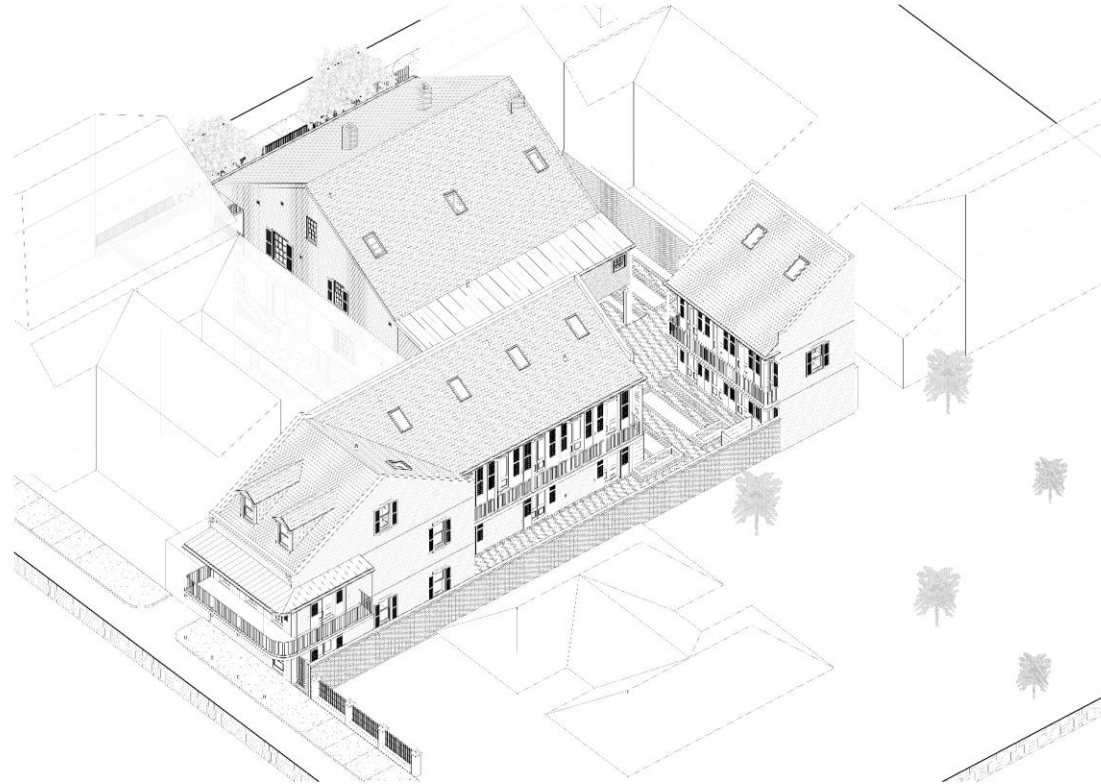
JOHN C. WILLIAMS ARCHITECTS LLC.
824 BARONNE ST NEW ORLEANS, LA 70113
(504) 566-0888
ASTEPHENS@WILLIAMSARCHITECTS.COM

MEP ENGINEER

PROFESSIONAL ENGINEERING SERVICES
DAMIEN SERAUSKAS
15 CYPRESS POINT LANE NEW ORLEANS, LA 70131
(504) 866-2600
DAMIENPE@COX.NET

STRUCTURAL ENGINEER

WALTER ZEHNER & ASSOCIATES INC
WALTER ZEHNER
4702 TOULOUSE ST
NEW ORLEANS, LA 70119
(504) 488-1442
walterzehner@msn.com



JOHN C. WILLIAMS ARCHITECTS LLC
824 BARONNE ST. NEW ORLEANS, LA 70113
(504) 566-0888

I have designed and prepared these plans for the purpose of obtaining a permit and for the construction of the project. I am a duly licensed professional engineer in the State of Louisiana. I have not been convicted of any criminal offense involving fraud or negligence.

I, the undersigned, have prepared these plans and specifications for the purpose of obtaining a permit and for the construction of the project. I am a duly licensed professional engineer in the State of Louisiana. I have not been convicted of any criminal offense involving fraud or negligence.



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John C. Williams Architects LLC

913 GOVERNOR NICHOLLS
913 Governor Nicholls St. New Orleans, LA 70116

No.	Date	Scope

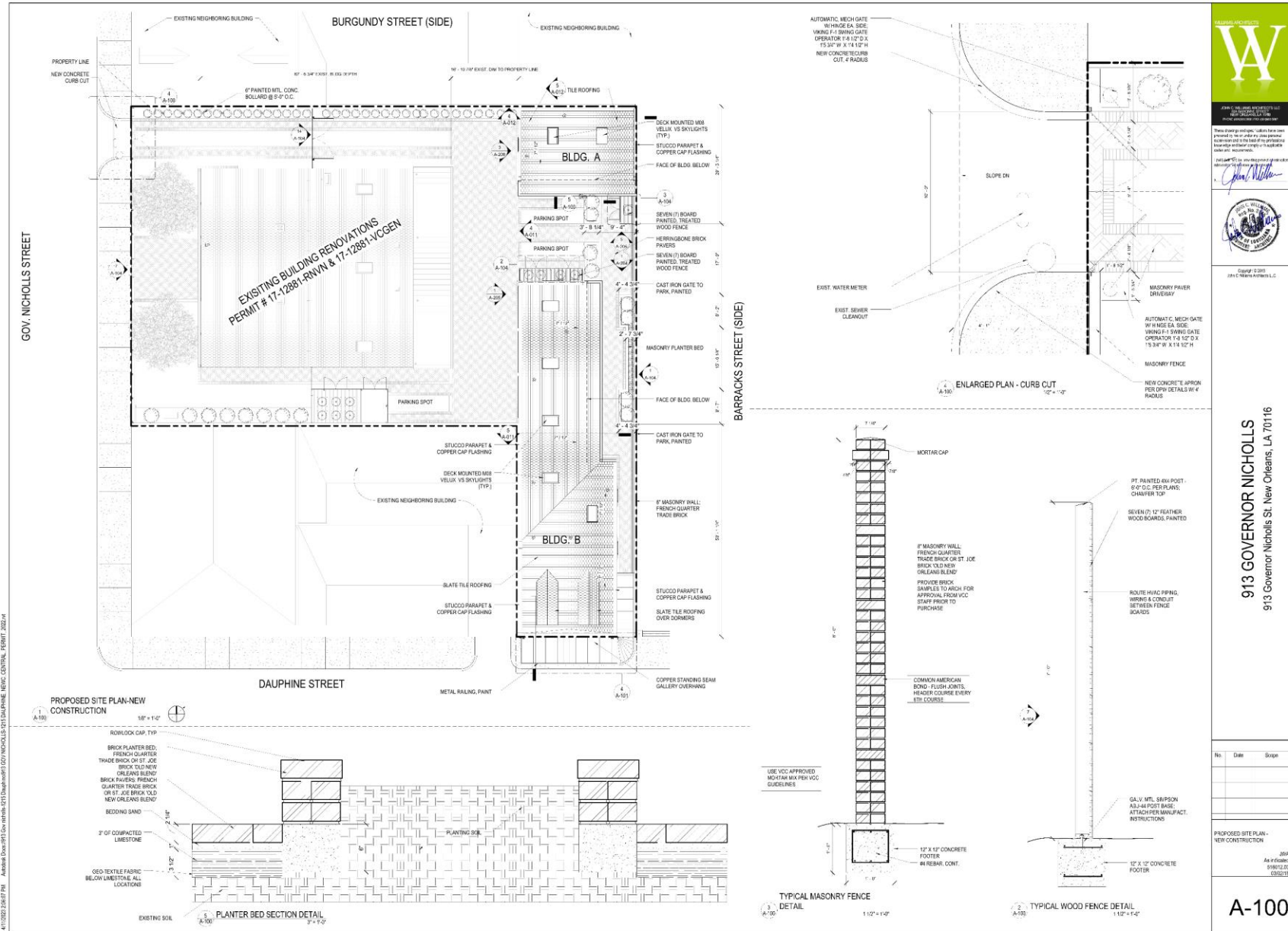
TITLE SHEET
JWA
5/16/23 09:50:18

A-001

04/11/2023 1:00:17 PM - Autodesk Inventor V10: Gov. nicholls-913 Governor Nicholls St. NEW ORLEANS, LA 70116 - JMW - CENTRAL - PERMIT - 2023-14

VCC PERMIT AC REVIEW SET - APRIL 11, 2023





W

ARCHITECT

1215 DAUPHINE BLVD., SUITE 200
NEW ORLEANS, LA 70112
PHONE: (504) 581-1111
WWW.WALTERWILKINS.COM

Professional Seal: Walter Wilkins, Architect, No. 12345, State of Louisiana

Client: VCC Architecture Committee, LLC

Table:

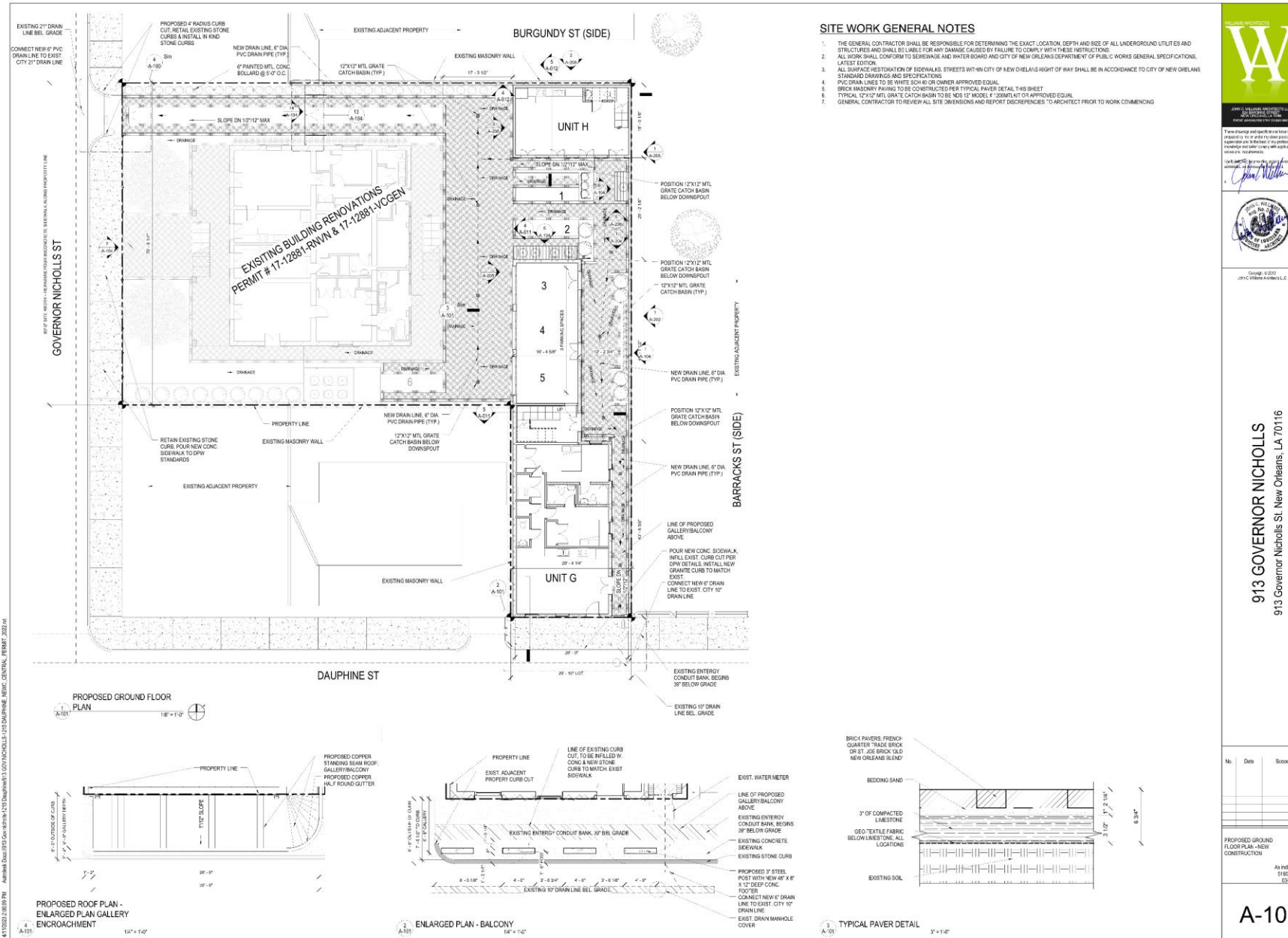
No.	Date	Scope

PROPOSED SITE PLAN-NEW CONSTRUCTION

30A
As of 12/15/23
11:00:00 AM
03/23/24

A-100





W

913 GOVERNOR NICHOLLS
913 Governor Nicholls St. New Orleans, LA 70116

A-101





ARCHITECTURE
1100 Poydras Street, Suite 2000
New Orleans, LA 70112
Tel: (504) 581-1100
Fax: (504) 581-1101
www.williamsbrinkley.com



James W. Williams
Architect
No. 10000
State of Louisiana

913 GOVERNOR NICHOLLS
913 Governor Nicholls St., New Orleans, LA 70116

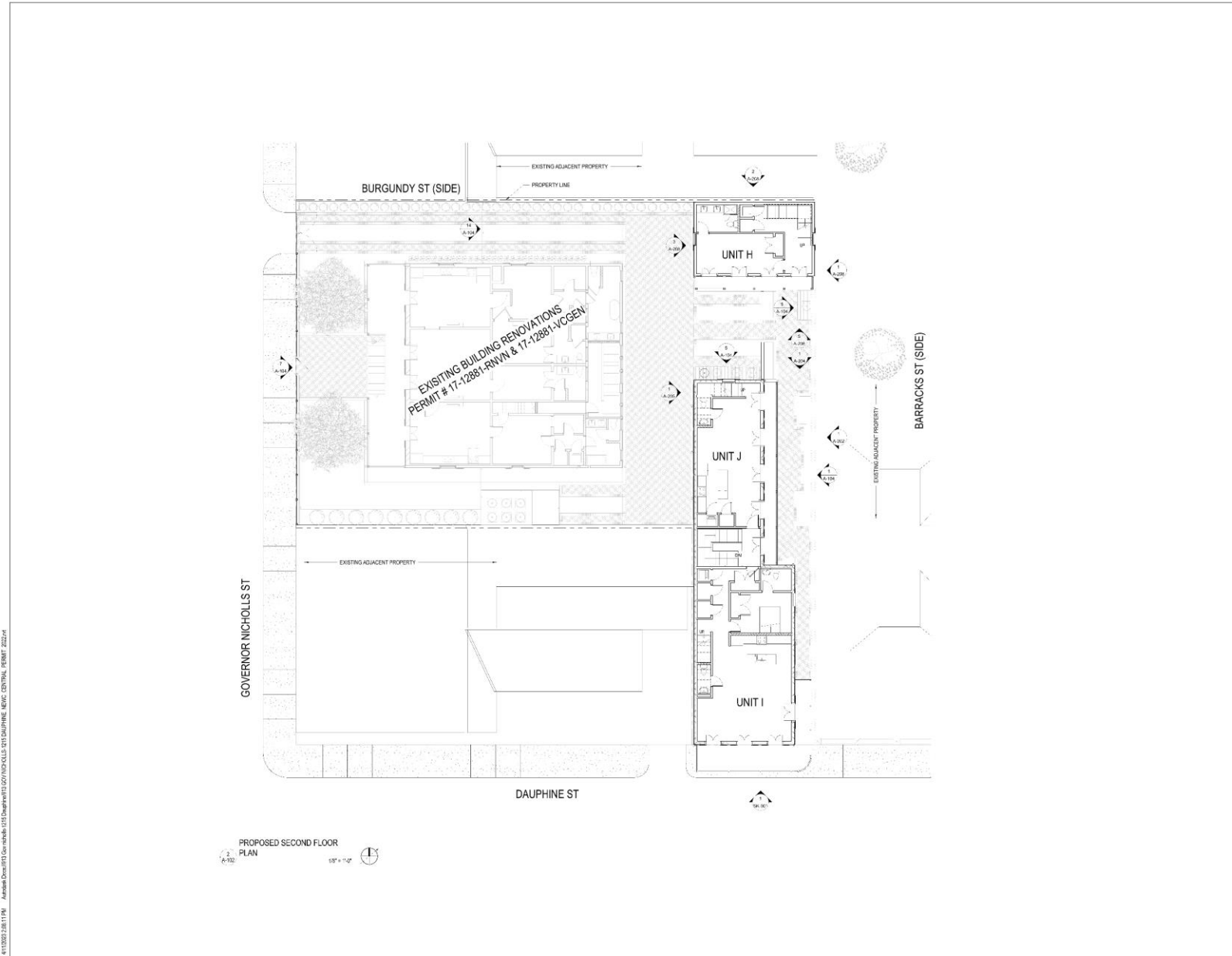
913 GOVERNOR NICHOLLS
913 Governor Nicholls St., New Orleans, LA 70116

No. | Date | Scope

PROPOSED SECOND FLOOR PLAN - NEW CONSTRUCTION

JWA
18" x 11"
5/18/23
03/23

A-102



4/13/2023 2:48:11PM Address: D:\313 Gov Nicholls\313 Governor Nicholls\313 Governor Nicholls - CENTRAL PERMIT - 2023.rvt

913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





These drawings and specifications have been prepared by the licensor or their authorized representative and do not constitute a contract unless so indicated. It is the responsibility of the contractor to verify all conditions before construction. I certify that the licensor is a duly qualified and licensed professional engineer or architect in the State of Louisiana.
John C. Wilson
Professional Seal of Louisiana

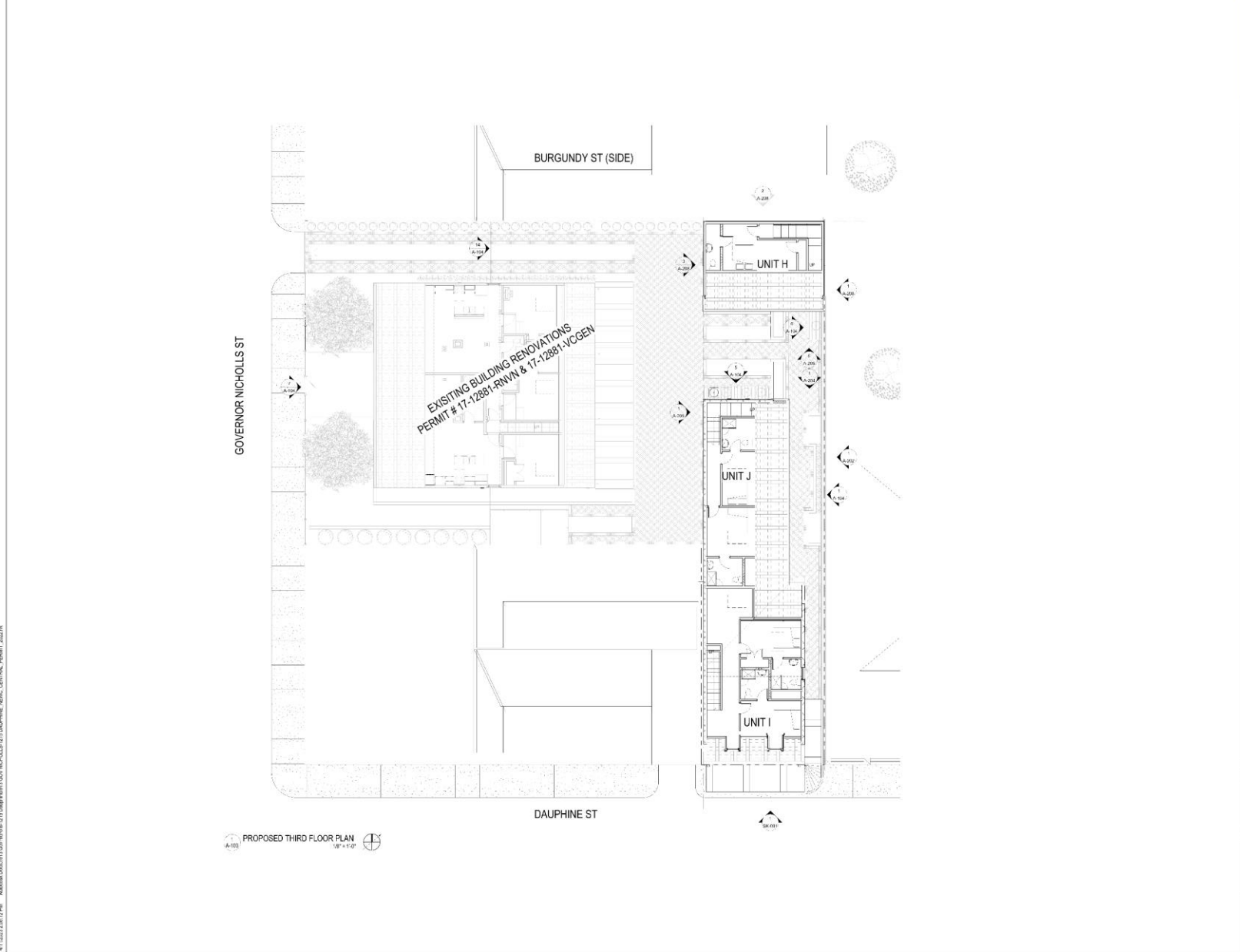
Owner: JCHS
John C. Wilson Architects, LLC

913 GOVERNOR NICHOLLS
913 Governor Nicholls St., New Orleans, LA 70116

No.	Date	Scope

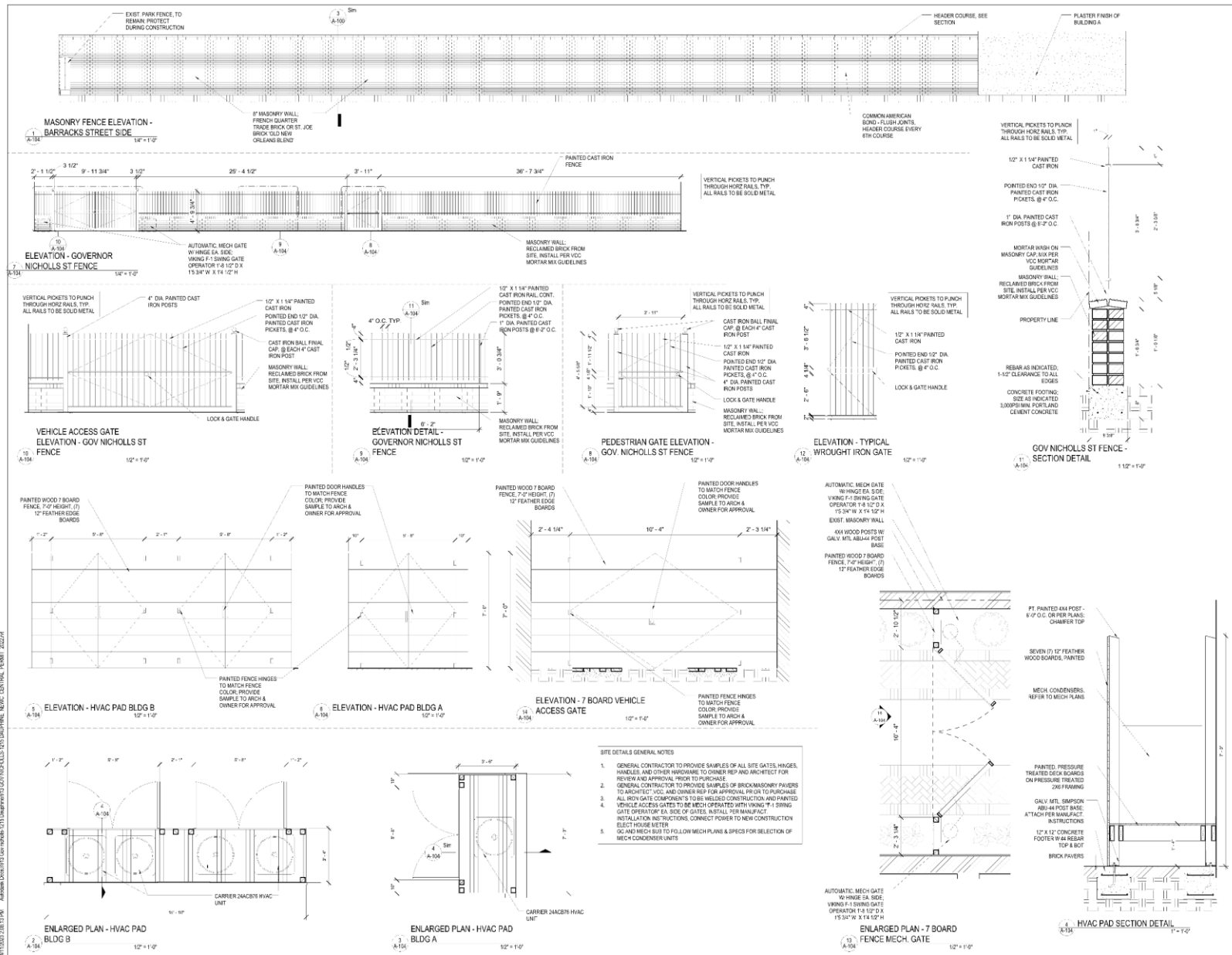
PROPOSED THIRD FLOOR
PLAN - NEW
CONSTRUCTION
DWG
18" x 14"
03/25/23

A-103



A:\170223\26-17-PM - A\work\2110\Drawings\913 GOVERNOR NICHOLLS-913 DAUPHINE 1616- CONSTRUCTION PERMIT 2023.rvt





913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

W

ARCHITECT

1000 Poydras Street, Suite 2000
 New Orleans, LA 70112-2000
 Phone: (504) 581-1100
 Fax: (504) 581-1101
 Email: info@warchitect.com

Project: 913 Governor Nicholls St. New Orleans, LA 70116

Owner: VCC

Scale: 1/8" = 1'-0"

DATE: 04/25/23

NO. DATE SCOPE

1 04/25/23 SITE ELEVATIONS & DETAILS

A-104





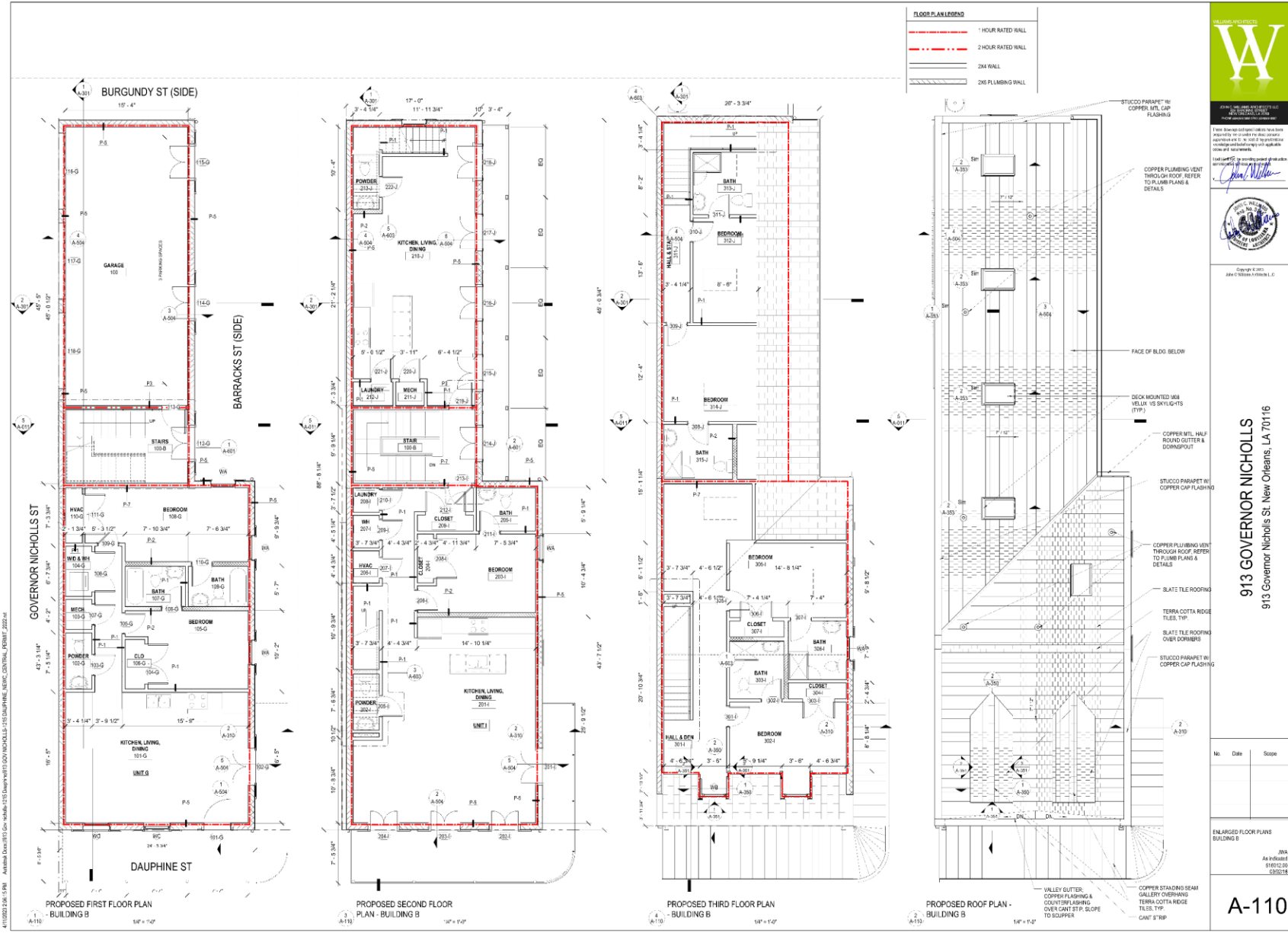
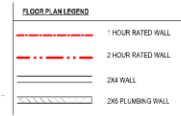
913 GOVERNOR NICHOLLS
913 Governor Nicholls St, New Orleans, LA 70116

No.	Date	Scope

ENLARGED FLOOR PLANS
BUILDING B

2016
As Indicated
5/10/22 (D)
03/23/18

A-110



PROPOSED SECOND FLOOR PLAN - BUILDING A
1/4" = 1'-0"

PROPOSED ROOF PLAN - BUILDING A
1/4" = 1'-0"

FLOOR PLAN LEGEND

- 1 HOUR RATED WALL
- 2 HOUR RATED WALL
- 2X4 WALL
- 2X6 PLUMBING WALL

PROPOSED FIRST FLOOR PLAN - BUILDING A
1/4" = 1'-0"

PROPOSED THIRD FLOOR PLAN - BUILDING A
1/4" = 1'-0"

913 GOVERNOR NICHOLLS
913 Governor Nicholls St, New Orleans, LA 70116

No.	Date	Scope

ENLARGED FLOOR PLANS
BUILDING A

JMA
As Prepared
09/02/20
05/25/20

A-111

James W. Williams
Professional Engineer
State of Louisiana
License No. 10000

4/11/2023 2:38:20 PM Autodesk Docs#131 Gov Nicholls 1015 Dauphin#1015 Governor Nicholls 1215 Dauphine, MOVC, CENTRAL PERMIT, 2023-24





ARCHITECTURAL FIRM
 W
 ARCHITECTS

These drawings and specifications have been prepared by the undersigned architectural firm in accordance with the rules and regulations of the State Board of Architecture and Public Safety and the applicable code books and regulations.

I, the undersigned, being a duly licensed architect under the laws of the State of Louisiana, do hereby certify that these drawings and specifications were prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Louisiana.

John C. Brennan, Architect



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 John C. Brennan, Architect, LLC

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116



4/1/2023 10:22 PM Annual Draw 913 Gov Nicholls 1215 Dauphine 913 GOV NICHOLLS 913 DAUPHINE, NEW ORLEANS, LA 70116

913 Governor Nicholls, 1215 Dauphine
 VCC Architecture Committee

April 25, 2023

A-201





W
ARCHITECTURE

1. This drawing and specifications have been prepared by us or at our request pursuant to a contract with you and shall constitute the entire agreement between us and you. No oral agreement or understanding shall be binding on either of us unless it is in writing and signed by both of us.

2. We warrant that the design and construction of the project shall conform to the applicable laws, codes, and regulations of the jurisdiction in which the project is located.

3. The architect shall not be responsible for the construction of the project.



John Miller
Architect

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J.M.C. Miller Architects, L.L.C.



913 GOVERNOR NICHOLLS
913 Governor Nicholls St. New Orleans, LA 70116

No.	Date	Scale

PROPOSED ELEVATION
JMA
3/8\"/>

A-202

913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





ARCHITECTURAL ELEVATION
 913 GOVERNOR NICHOLLS ST
 NEW ORLEANS, LA 70116

These drawings and specifications have been prepared by us or under our close personal supervision and to the best of our professional knowledge and belief, comply with all applicable codes and requirements.

I, the undersigned, do hereby certify that I am a duly licensed Professional Engineer in the State of Louisiana.

John Miller



Company ID: 2013
 John C. Brennan, Architect, LLC

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

No.	Date	Scope

PROPOSED ELEVATIONS

202A
 38' - 1 1/2"
 516012.00
 05/20/23

A-203

913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





W
ARCHITECTURE AND INTERIORS, INC.
1215 DAUPHINE ST., SUITE 200
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504.581.1234
www.warchitect.com

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10/12/2023 2:36:27 PM - A:\architect\913 Governor Nichols\1215 Dauphine\1215 Governor Nichols\MEP\MEP_CENTRAL_PRINT1_2023.rvt

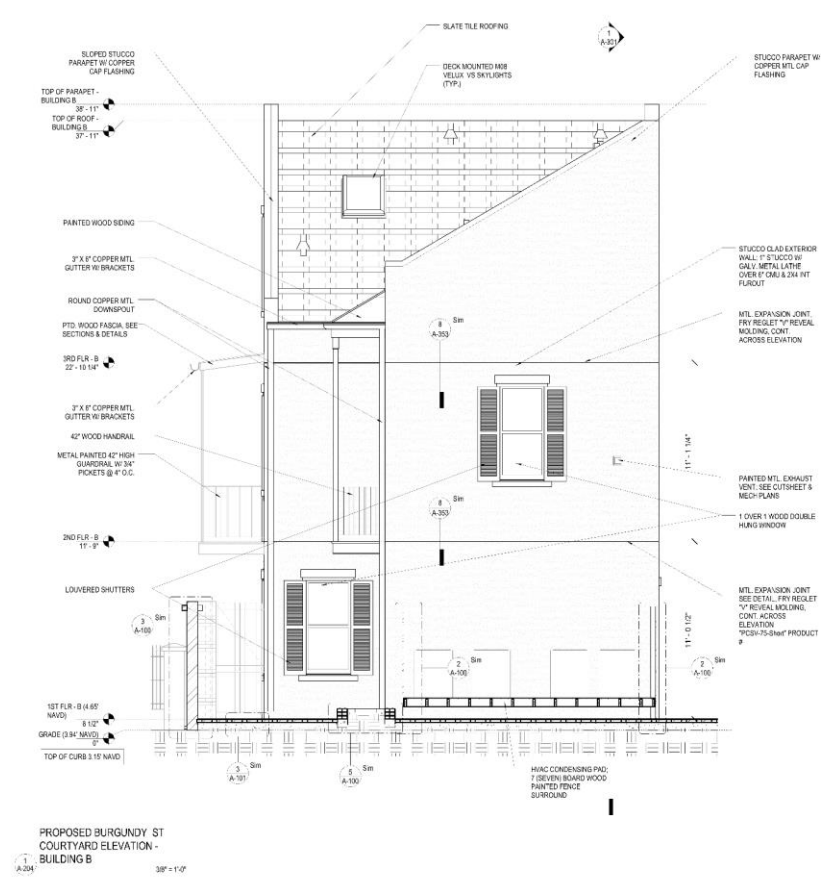
913 GOVERNOR NICHOLLS
913 Governor Nichols St. New Orleans, LA 70116

No. Date Scope

BUILDING ELEVATIONS

00A
3/8" = 1'-0"
5/16" = 2'-0"
08/01/18

A-204

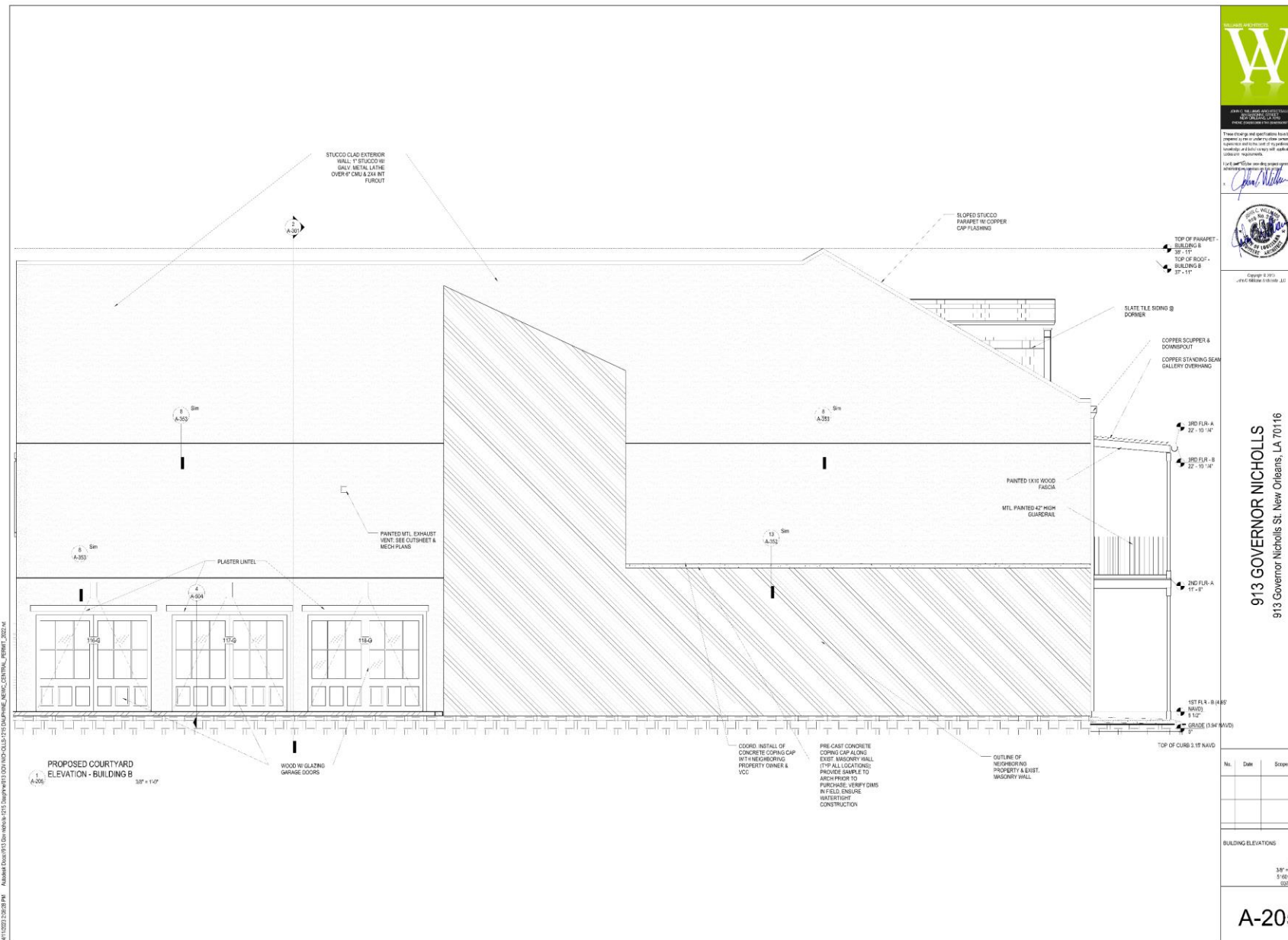


913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





W

ARCHITECTURE

1215 DAUPHINE STREET, SUITE 200, NEW ORLEANS, LA 70112

Project: 913 GOVERNOR NICHOLLS

913 Governor Nicholls St, New Orleans, LA 70116

Scale: 3/8" = 1'-0"

DATE: 03/20/23

BY: JWA

NO. Date Scope

A-205

913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023



913 GOVERNOR NICHOLLS
 913 Governor Nicholls St., New Orleans, LA 70116



4/11/2023 2:28:31 PM - Autodesk Docs#131 Con-144044-1015 Dauphin#1015 GOV NICHOLLS 1215 DAUPHINE, MECH. - CENTRAL PERMIT 2022-74

No.	Date	Scope

BUILDING ELEVATIONS

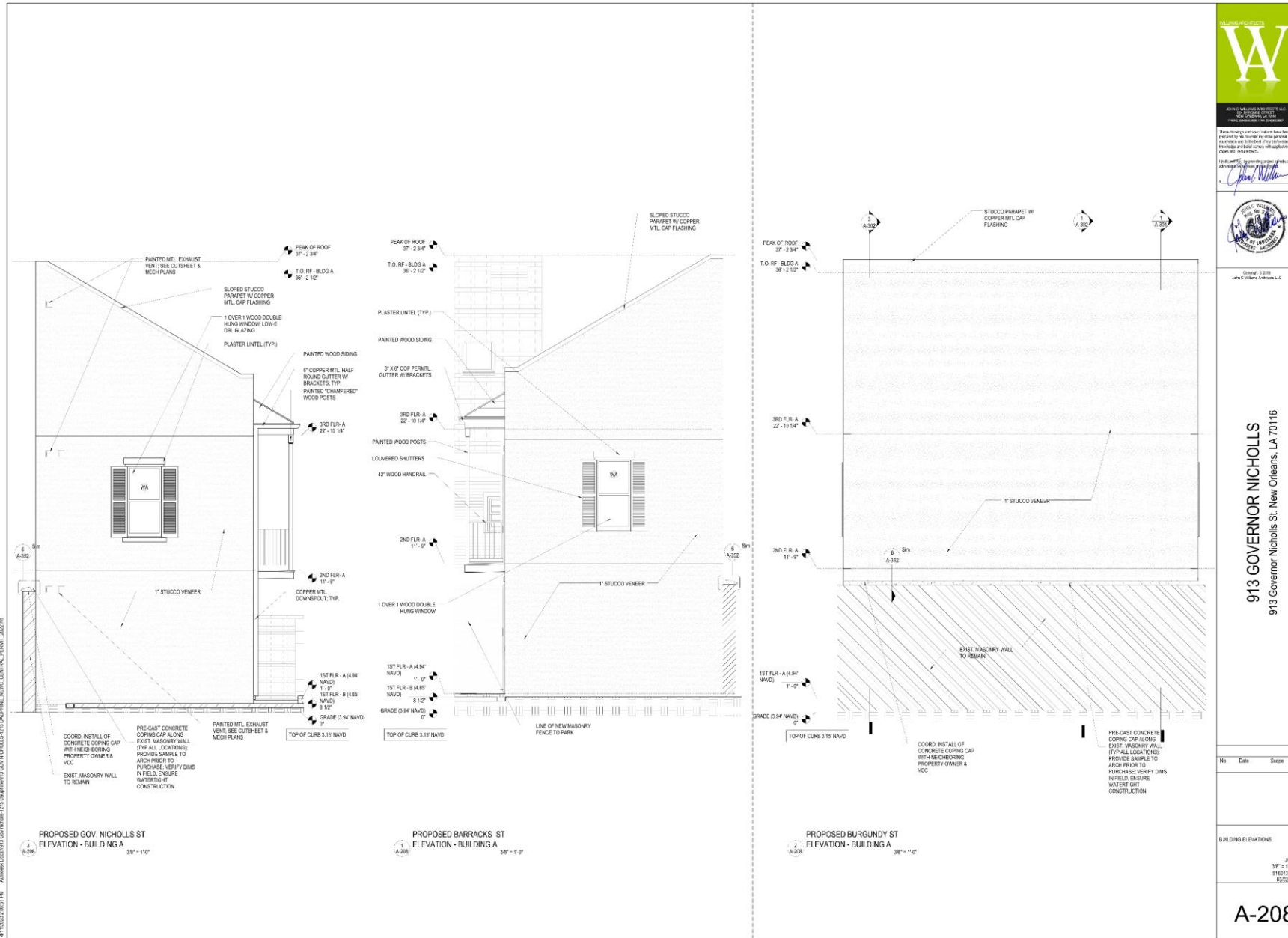
JWA
 3/8" = 1'-0"
 03/11/23
 03/22/23

A-206

913 Governor Nicholls, 1215 Dauphine
 VCC Architecture Committee

April 25, 2023





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913 GOVERNOR NICHOLLS
 913 Governor Nicholls St, New Orleans, LA 70116

No.	Date	Scope
BUILDING ELEVATIONS		

A-208



W
WILLIAMSON ARCHITECTS
 1000 PINE BLVD, SUITE 200
 NEW ORLEANS, LA 70112
 TEL: 504.581.1111
 WWW.WILLIAMSONARCHITECTS.COM

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John Williams
 ARCHITECT

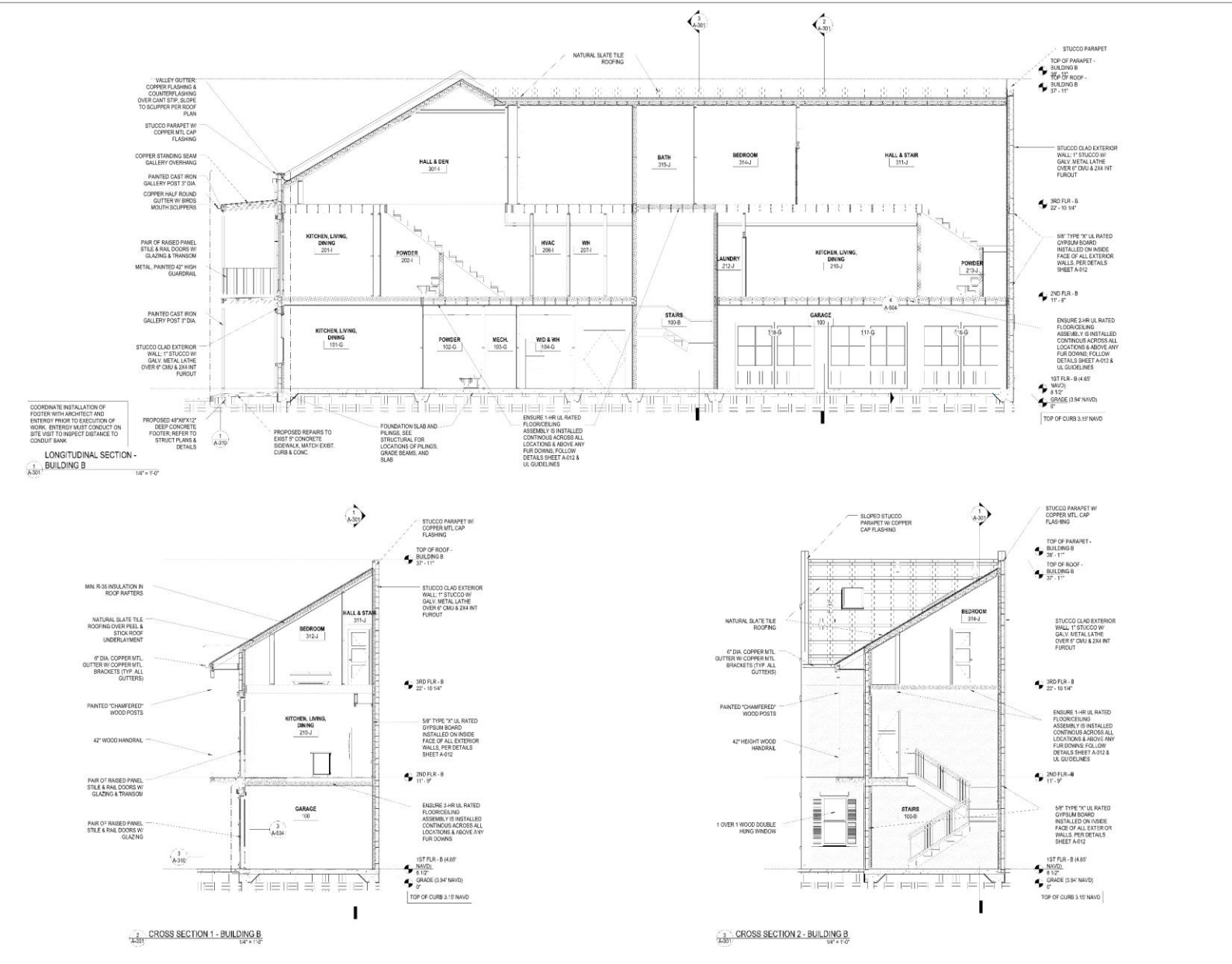
913 GOVERNOR NICHOLLS
 913 Governor Nicholls St., New Orleans, LA 70116

No. Date Scope

BUILDING SECTIONS

A-301
 11' x 14'
 5/10/23 2.00
 08/20/19

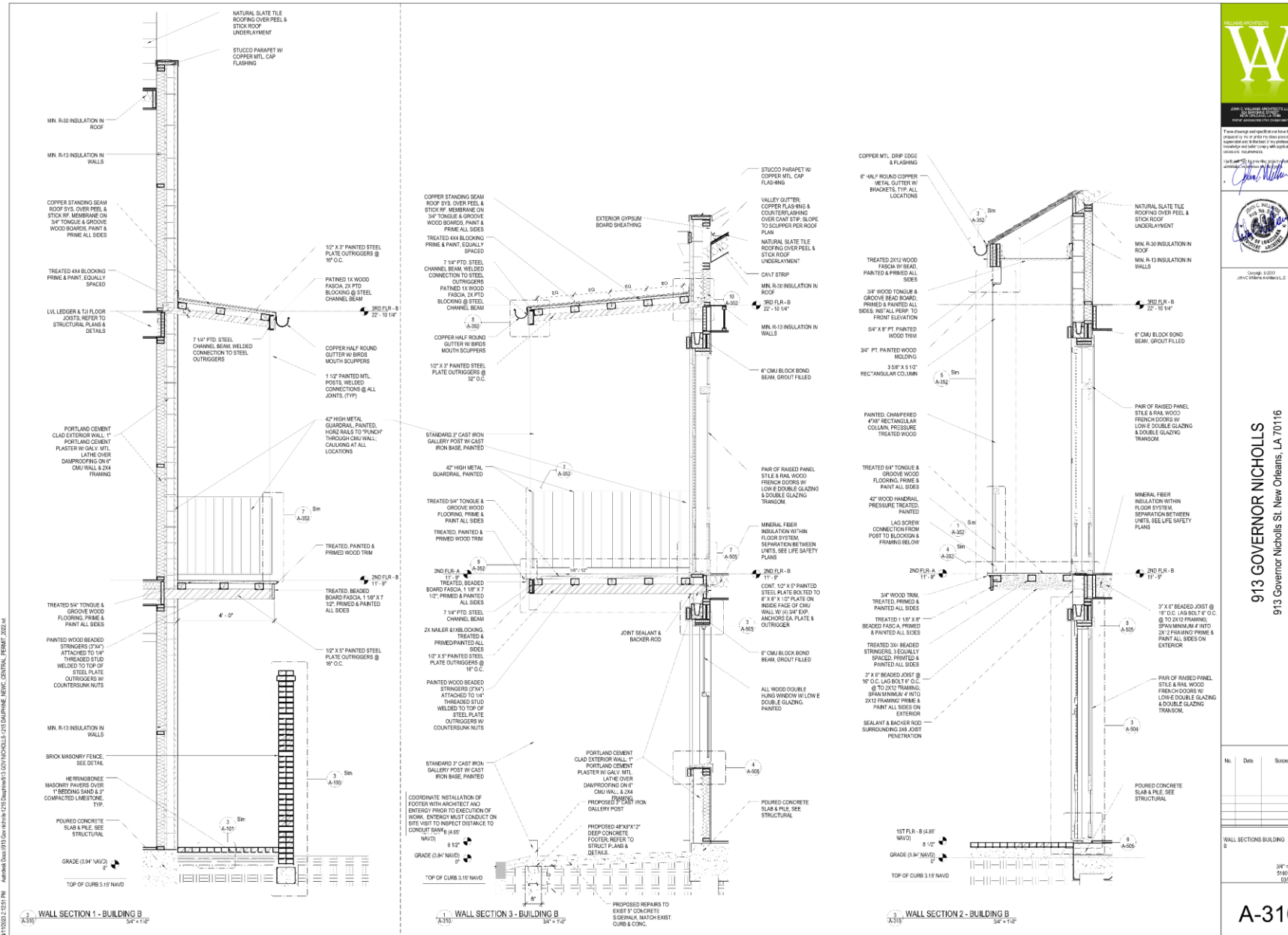
A-301



913 Governor Nicholls, 1215 Dauphine
 VCC Architecture Committee

April 25, 2023





Walter P. Reuther Institute for Labor Education and Research
1215 Dauphine Street, New Orleans, LA 70116
504.581.1215
www.wprer.com



Joseph N. Williams
Professional Engineer
State of Louisiana
License No. 10000

913 GOVERNOR NICHOLLS
1215 DAUPHINE, NEW ORLEANS, LA 70116

No.	Date	Issue

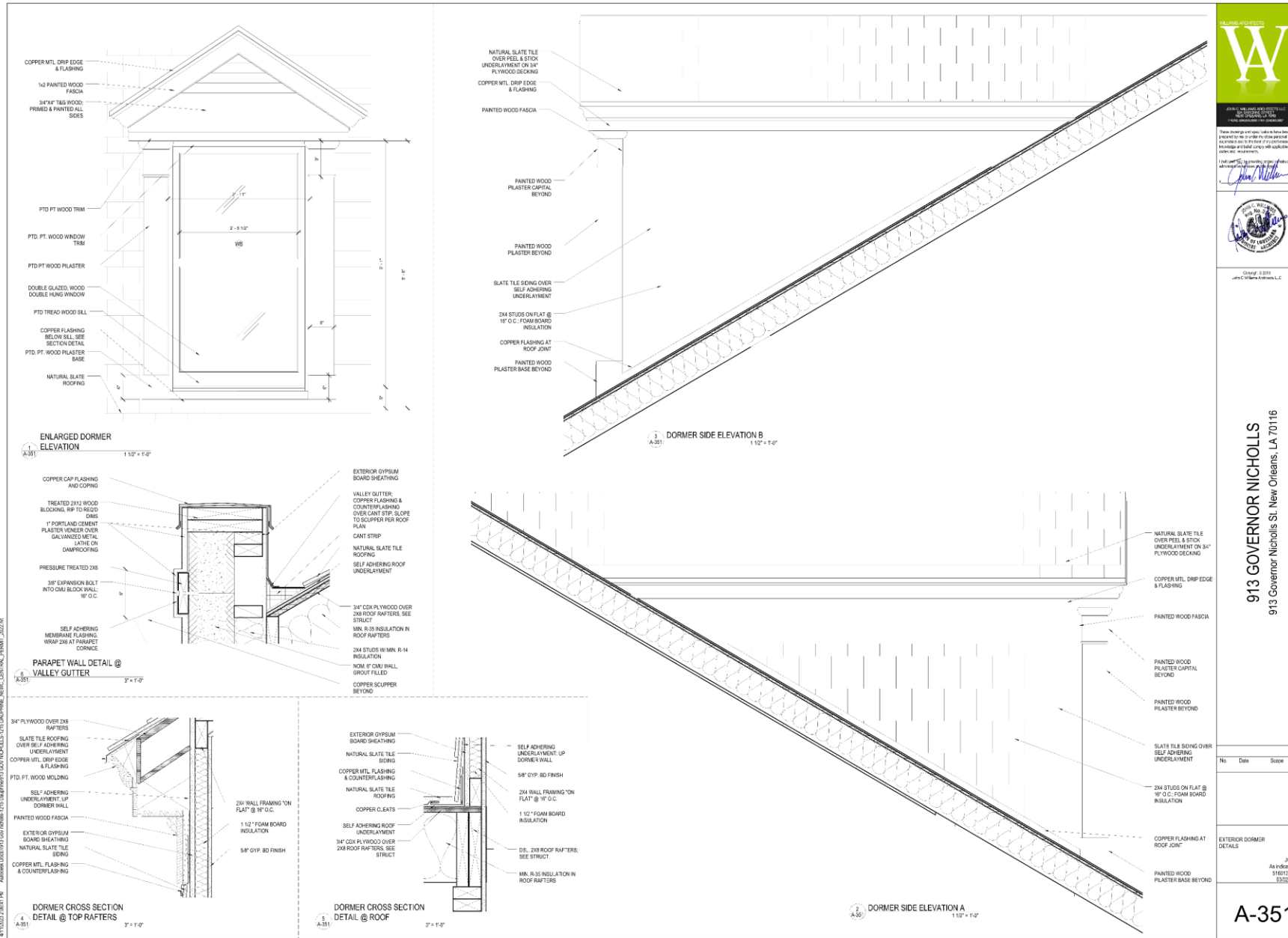
HALL SECTIONS BUILDING B
3/4" = 1'-0"
DATE: 03/28/18

913 Governor Nicholls, 1215 Dauphine

VCC Architecture Committee

April 25, 2023





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 ARCHITECT
 1215 DAUPHINE STREET, SUITE 200
 NEW ORLEANS, LA 70116
 (504) 581-1100
 www.williams-williams.com

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

Sheet: 0201
 JWC/CWN/ADN/SLC

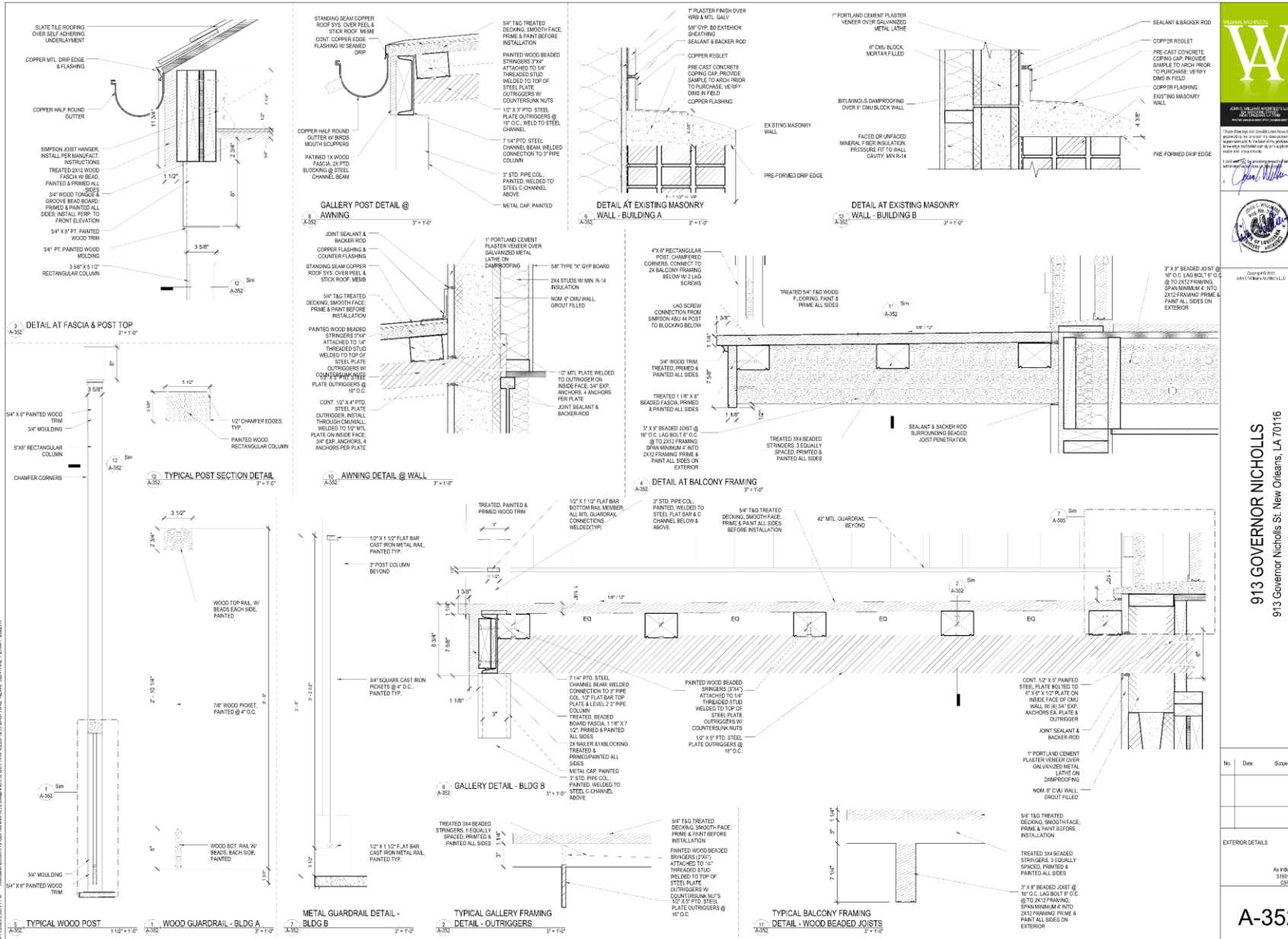
No.	Date	Scope

EXTERIOR DORMER DETAILS

JWA
 As Indicated
 5/16/21 (2)
 (5/20/21)

A-351





913 GOVERNOR NICHOLLS
913 Governor Nicholls St., New Orleans, LA 70116

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913 Governor Nicholls St., New Orleans, LA 70116

No.	Date	Issue

EXTERIOR DETAILS

ANA
As Prepared
09/10/18
08/21/18

A-352



DOOR TYPE DA
EXTERIOR DOOR TYPES 3'0" x 7'0"

DOOR TYPE DB

DOOR TYPE DC

DOOR TYPE DD

DOOR TYPE DA
RAISED PANEL STILE & RAIL WOOD DOOR WITH DOUBLE GLAZING, TRANSOM & SHUTTERS

DOOR TYPE DB
PAIR OF RAISED PANEL STILE & RAIL WOOD DOOR WITH DOUBLE GLAZING, TRANSOM & SHUTTERS

DOOR TYPE DC
PAIR OF RAISED PANEL STILE & RAIL WOOD DOOR WITH DOUBLE GLAZING & SHUTTERS

DOOR TYPE DD
RAISED PANEL STILE & RAIL WOOD DOOR GARAGE DOOR WITH DOUBLE GLAZING & TILT-UP CANOPY OPERATION

RENDERINGS OF DOORS ARE TO PROVIDE 3D DESIGN INTENT OF DOOR TYPES, GENERAL CONTRACTOR TO UTILIZE DOOR TYPE ELEVATIONS, DOOR SCHEDULE, SECTIONS, DETAILS AND EXTERIOR ELEVATIONS FOR SPECIFIC DESIGN AND WILL SUPERSEDE RENDERINGS.

DOOR TYPE KEYNOTES

- 1 DOUBLE GLAZE, LOW-E GLASS
- 2 OPERABLE LOUVERED SHUTTER W/ CONTROL RODS, PAINT
- 3 CAST IRON ACME SHUTTER HINGES, FIELD VERIFY THROW
- 4 6" X 2" THICK STUCCO BAND, EXTEND 2" PAST FACE OF OPENING, TYP.
- 5 WOOD DOOR W/ DOUBLE GLAZING, PAINTED, RECESS IN EXTERIOR WALL
- 6 BRICK MOULD
- 7 STUCCO FINISH
- 8 EXTERIOR WALL TYPE: 1" STUCCO W/ GALV. MTL. LATHE OVER 6" CMU & 2X4 INTERIOR FRAMING

DOOR WINDOW, AND SHUTTER GENERAL NOTES

1. ALL GLAZING IN WINDOWS AND DOORS TO BE DBL GLAZING LOW-E CLEAR
2. PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE
3. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE. EXTERIOR DOORS & WINDOWS TO BE REVIEWED & APPROVED BY VCC THROUGH ARCH. PRIOR TO PURCHASE
4. GENERAL CONTRACTOR TO PROVIDE DOOR, WINDOW & LOUVERED SHUTTER SHOP DRAWINGS BY MILLSHOP TO ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE
5. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER-REPELLENT PRESERVATIVE TREATED
6. ALL WINDOWS AND DOORS TO BE PAINTED
7. GENERAL CONTRACTOR TO FIELD VERIFY THROW REQUIRED ON ALL SHUTTERS, EXTERIOR DOOR AND WINDOW HINGES TO ALLOW FOR 182 DEGREE OPENING EXCEPT FOR DOOR IS ADJACENT TO WALL OR GUARDRAIL
8. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENINGS WITH MILLSHOP SHOP DRAWINGS AND DIMENSIONS
9. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC PRIOR TO PURCHASE
10. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE. PRIOR SPECS FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE

ARCHITECTURE PROJECTS
W
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New Orleans, LA 70112
Tel: 504.581.1111
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913 Governor Nicholls St. New Orleans, LA 70116

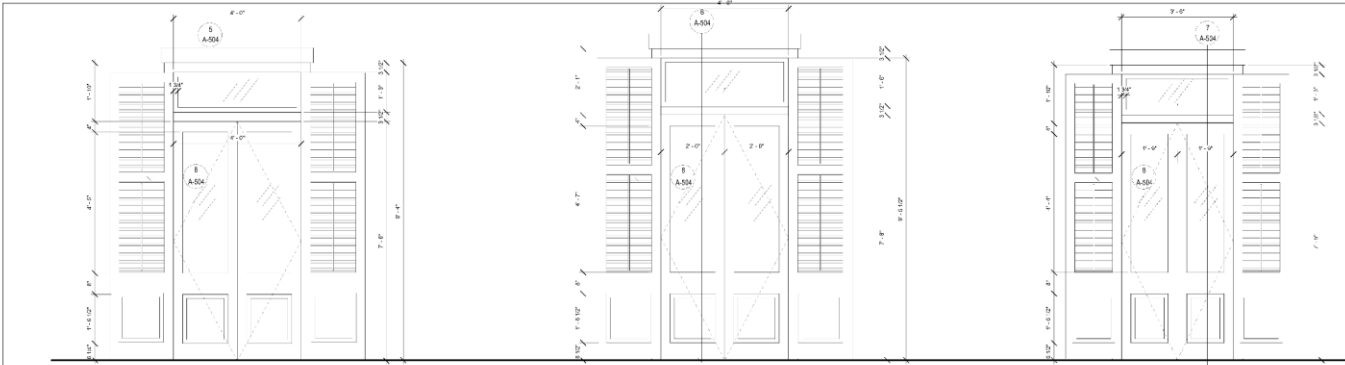
No.	Date	Issue

EXTERIOR OPENING TYPES:
DOORS

JNA
As Indicated
9/10/23
03/25/18

A-501

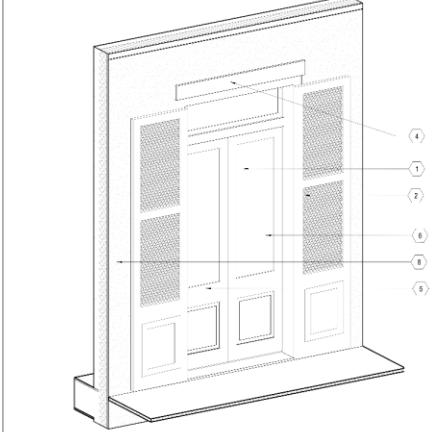




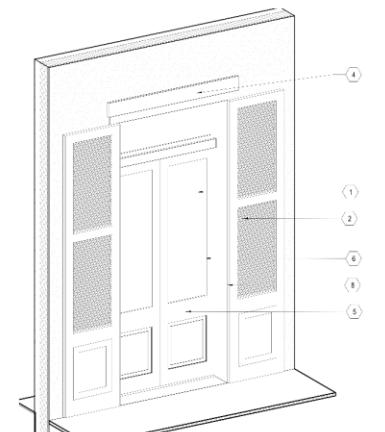
DOOR TYPE DE
PAIR OF RAISED PANEL STILE & RAIL WOOD DOOR WITH DOUBLE GLAZING, TRANSOM & SHUTTERS

DOOR TYPE DF
PAIR OF RAISED PANEL STILE & RAIL WOOD DOOR WITH DOUBLE GLAZING, TRANSOM & SHUTTERS

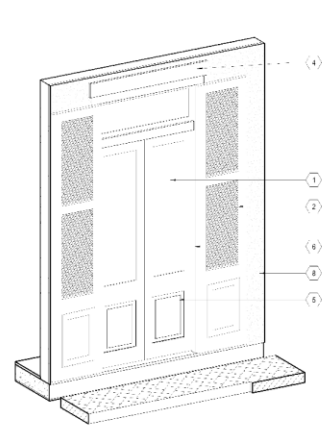
DOOR TYPE DG
PAIR OF RAISED PANEL STILE & RAIL WOOD DOOR WITH DOUBLE GLAZING, TRANSOM & SHUTTERS



DOOR DE - SIDE ELEVATION SECTION BOX



DOOR DF - SIDE ELEVATION SECTION BOX



DOOR DG - SIDE ELEVATION SECTION BOX

DOOR TYPE KEYNOTES

- ① DOUBLE GLAZE, LOW-E GLASS
- ② OPERABLE LOUVERED SHUTTER W/ CONTROL RODS, PAINT
- ③ CAST IRON ACME SHUTTER HINGES, FIELD VERIFY THROW
- ④ 6" X 2" THICK STUCCO BAND, EXTEND 2" PAST FACE OF OPENING, TYP.
- ⑤ WOOD DOOR W/ DOUBLE GLAZING, PAINTED, RECESS IN EXTERIOR WALL
- ⑥ BRICK MOULD
- ⑦ STUCCO FINISH
- ⑧ EXTERIOR WALL TYPE: 1" STUCCO W/ GALV. MTL. LATHE OVER 6" CMU & 2X4 INTERIOR FRAMING

DOOR WINDOW AND SHUTTER GENERAL NOTES

- 1. ALL GLAZING IN WINDOWS AND DOORS TO BE DBL GLAZING LOW-E CLEAR
- 2. PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE
- 3. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE. EXTERIOR DOORS & WINDOWS TO BE REVIEWED & APPROVED BY VCC THROUGH ARCH PRIOR TO PURCHASE.
- 4. GENERAL CONTRACTOR TO PROVIDE DOOR WINDOW & LOUVERED SHUTTER SHOP DRAWINGS BY MILLSHOP TO ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
- 5. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER REPELLENT PRESERVATIVE TREATED
- 6. ALL WINDOWS AND DOORS TO BE PAINTED
- 7. GENERAL CONTRACTOR TO FIELD VERIFY THROW REQUIRED ON ALL SHUTTERS, EXTERIOR DOOR AND WINDOW HINGES TO ALLOW FOR 180 DEGREE OPENING EXCEPT FOR DOOR IS ADJACENT TO WALL OR SLABWORK.
- 8. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENINGS WITH MILLSHOP SHOP DRAWINGS AND DIMENSIONS
- 9. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC PRIOR TO PURCHASE.
- 10. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE. PRIOR SPECS FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.

RENDERINGS OF DOORS ARE TO PROVIDE 3D DESIGN INTENT OF DOOR TYPES, GENERAL CONTRACTOR TO UTILIZE DOOR TYPE ELEVATIONS, DOOR SCHEDULE, SECTIONS, DETAILS AND EXTERIOR ELEVATIONS FOR SPECIFIC DESIGN AND WILL SUPERSEDE RENDERINGS.

4/13/2023 2:07:19 PM AutodeskDWG2DPlotter:1513 Dauphin\1513\DWG\1513\GOV\NICHO\1513\1215 DAUPHINE.650.CAD - CENTRAL PERMET 2023.rvt



WARING ARCHITECTS
ARCHITECTS

1700 Poydras Street, Suite 2000
New Orleans, LA 70112
Phone: (504) 581-1100
www.waringarchitects.com

John Waring



Contract No. 2023-001
Architect: Waring Architects, L.L.C.

913 GOVERNOR NICHOLLS
913 Governor Nicholls St. New Orleans, LA 70116

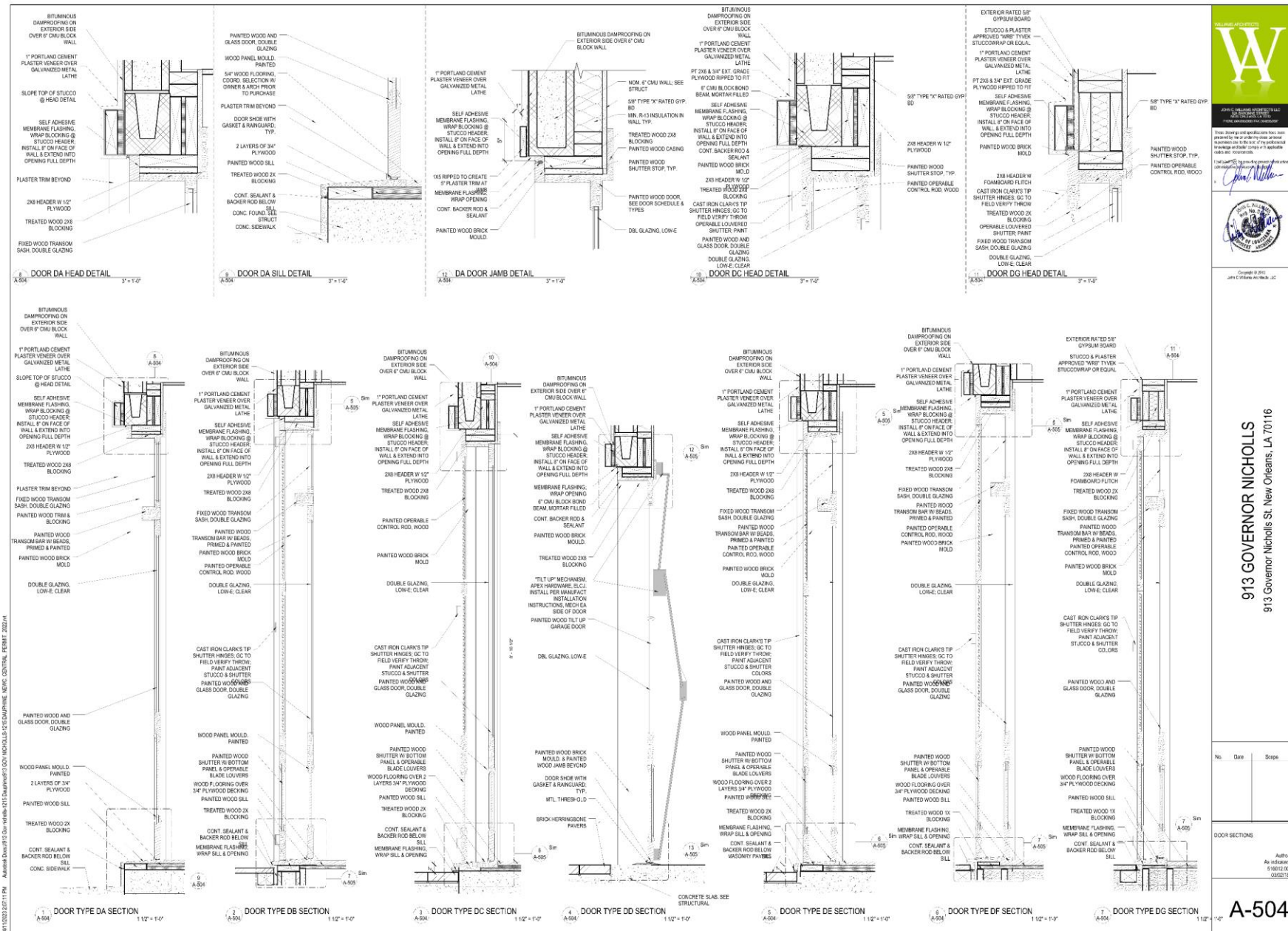
No.	Date	Scope

EXTERIOR OPENING TYPES
DOORS

JMA
As of 4/25/23
09:01:33
03/22/23

A-502





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W Architecture, LLC



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No.	Date	Scope

Author
5/16/23
05/16/23

A-504



WINDOW WA - HEAD DETAIL

WINDOW WB - HEAD DETAIL

WINDOW WA - SILL DETAIL

WINDOW WB - SILL DETAIL

WINDOW WA JAMB DETAIL

WINDOW WB JAMB DETAIL

DOOR WINDOW AND SHUTTER GENERAL NOTES

1. ALL GLAZING IN WINDOWS AND DOORS TO BE DBL. GLAZING LOW-E CLEAR. PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE.
2. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
3. GENERAL CONTRACTOR TO PROVIDE DOOR, WINDOW, & LOUVERED SHUTTER SHOP DRAWINGS BY MILLSHOP TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
4. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER-REPLENT, PRESERVATIVE TREATED.
5. ALL WINDOWS AND DOORS TO BE PAINTED & PRIMED ALL SIDES.
6. GENERAL CONTRACTOR TO FIELD VERIFY THROW REQUIRED ON ALL SHUTTERS, EXTERIOR DOOR, AND WINDOW HINGES TO ALLOW FOR 180 DEGREE OPENING EXCEPT FOR DOOR TO BALCONY TO WALL OR GLAZING.
7. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENERS WITH MILL SHOP DRAWINGS AND DIMENSIONS.
8. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER AND ARCHITECT PRIOR TO PURCHASE.
9. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE.

DOOR HEAD DETAIL

DOOR SILL DETAIL @ GRADE

DOOR JAMB DETAIL

DOOR SILL DETAIL @ BALCONY/GALLERY

GARAGE DOOR HEAD DETAIL

GARAGE DOOR SILL DETAIL

GARAGE DOOR JAMB DETAIL



Client: 6-2013
 913 Governor Nicholls St., New Orleans, LA 70116

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St., New Orleans, LA 70116

No.	Date	Scope
1	05/11/13	05/11/13

WINDO AND DOOR DETAILS

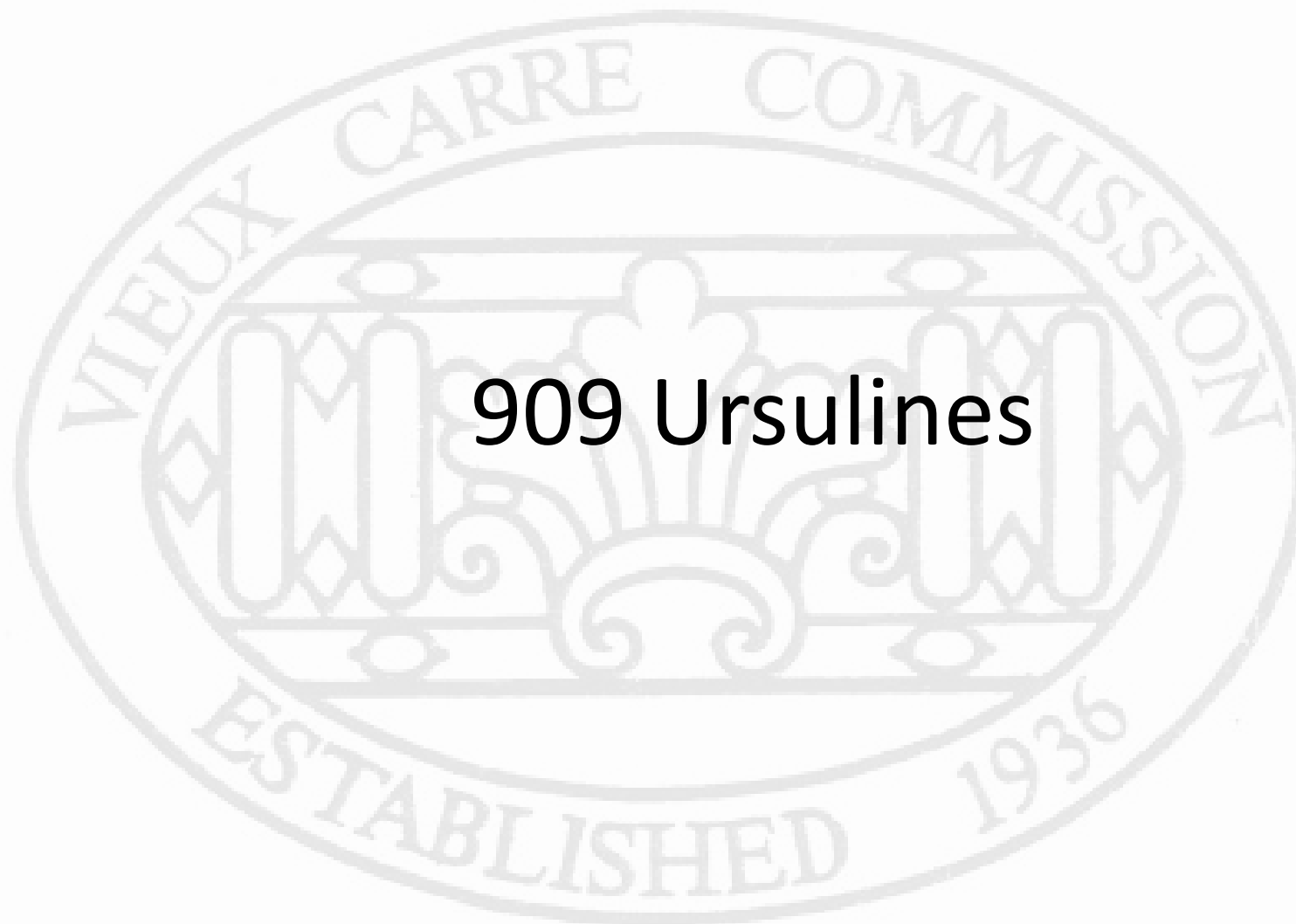
JNA
 7'-10"
 5/16/13
 05/13

A-505





New Business



909 Ursulines

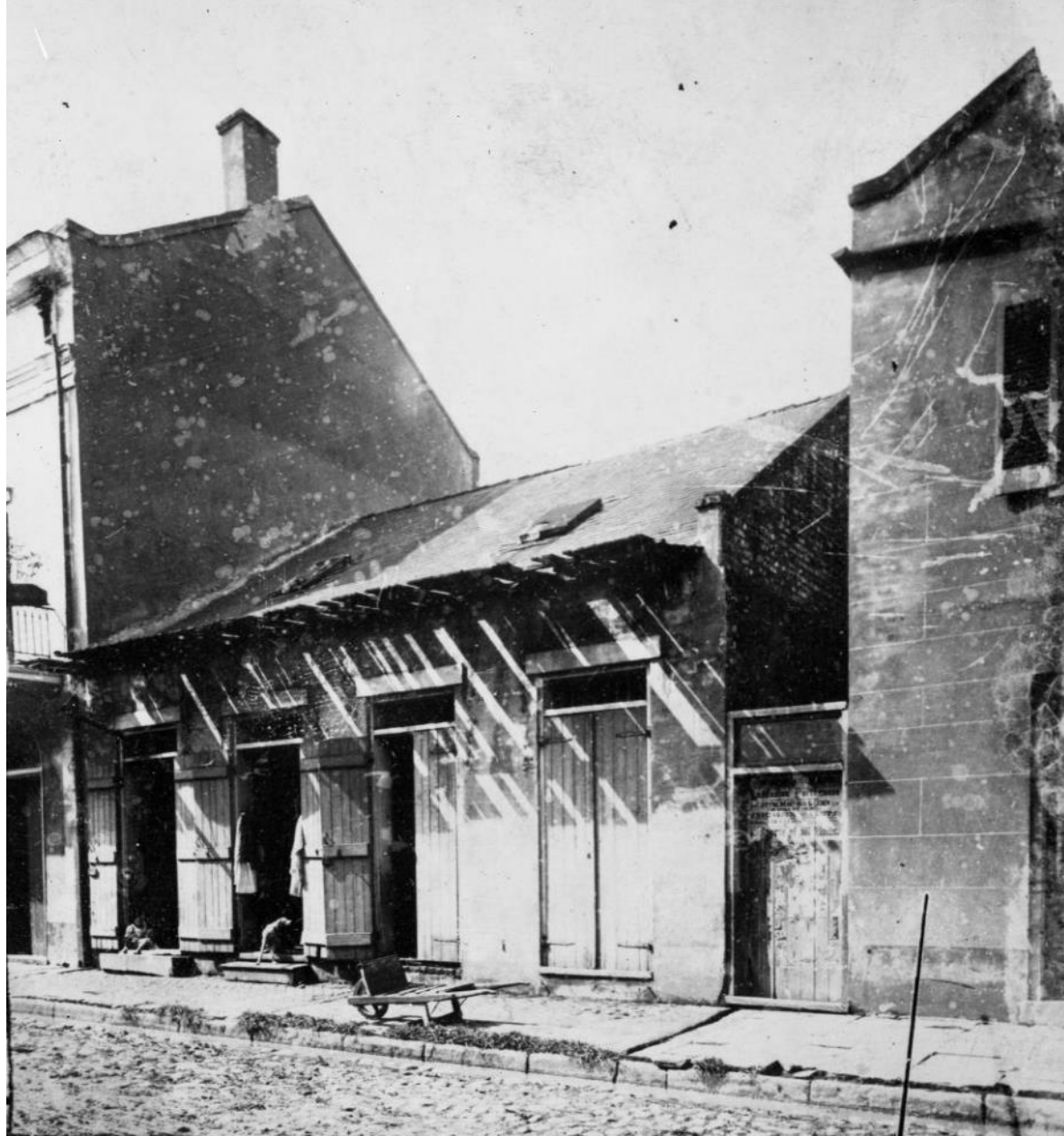


909 Ursulines

VCC Architecture Committee

April 25, 2023





909 Ursulines – c. 1900

VCC Architecture Committee

April 25, 2023





909 Ursulines – 1963

VCC Architecture Committee

April 25, 2023





909 Ursulines

VCC Architecture Committee

April 25, 2023





909 Ursulines

VCC Architecture Committee

April 25, 2023



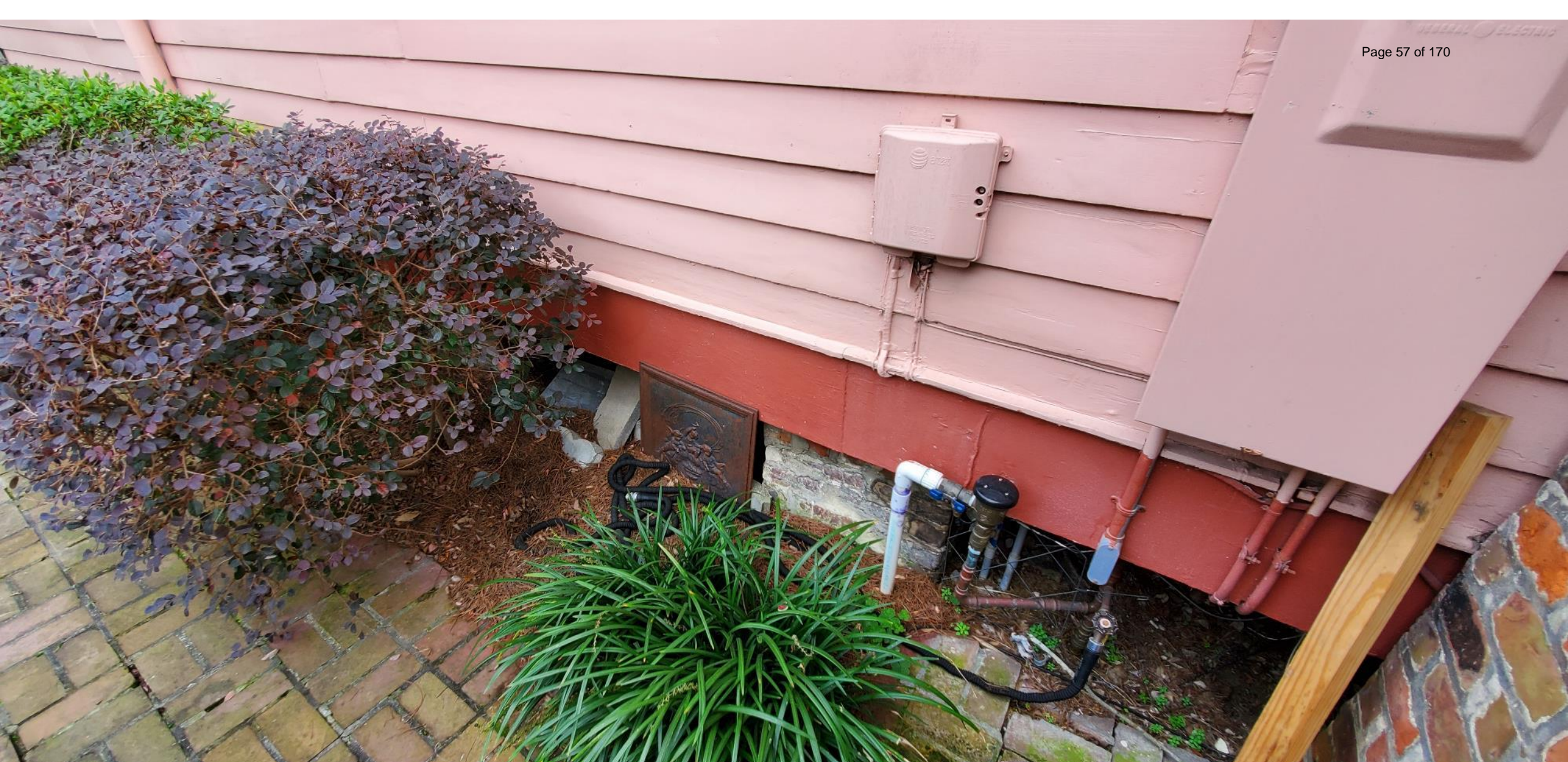


909 Ursulines

VCC Architecture Committee

April 25, 2023





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VCC Architecture Committee

April 25, 2023





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April 25, 2023





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VCC Architecture Committee

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VCC Architecture Committee

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VCC Architecture Committee

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VCC Architecture Committee

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VCC Architecture Committee

April 25, 2023





909 Ursulines

VCC Architecture Committee

April 25, 2023





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April 25, 2023



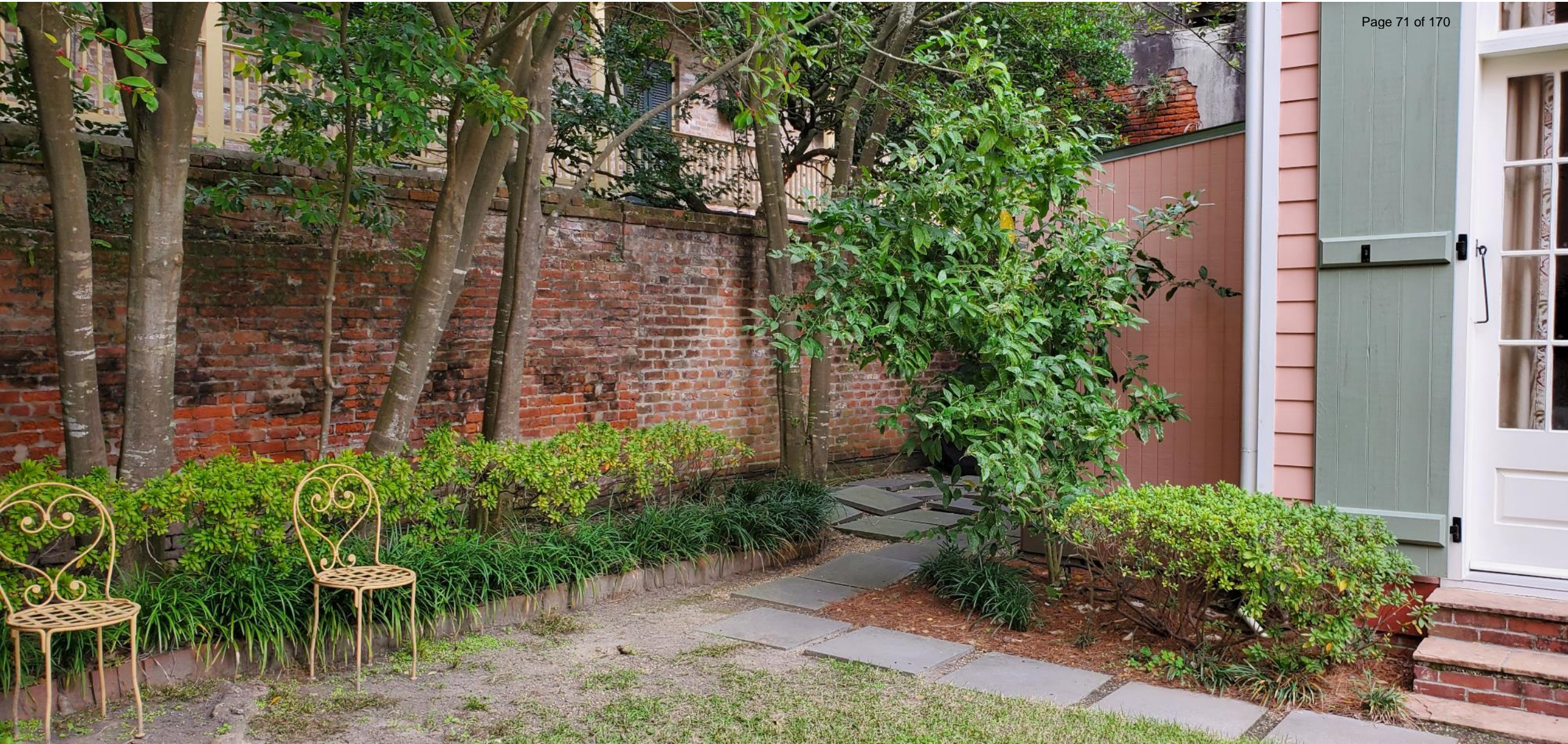


909 Ursulines

VCC Architecture Committee

April 25, 2023





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April 25, 2023





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April 25, 2023





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April 25, 2023



EXISTING RESIDENCE

909 URSULINES AVENUE

1 EXISTING PLAN
Scale: 1/8" = 1'-0"

EXISTING JULIET RAIL

EXISTING REAR YARD

EXISTING FRONT STEPS

EXISTING FRONT PORCH / STONE

CONCEPTUAL SKETCH

NEW BACK WALL

EXISTING RESIDENCE

909 URSULINES AVENUE

2 PROPOSED PLAN
Scale: 3/16" = 1'-0"

EXISTING PRIVACY WALL

EXISTING PRIVACY WALL BRICK CONDITION

EXISTING PRIVACY WALL BRICK CONDITION

*** SCHEMATIC DESIGN DRAWINGS - FOR REVIEW ONLY - NOT FOR CONSTRUCTION ***

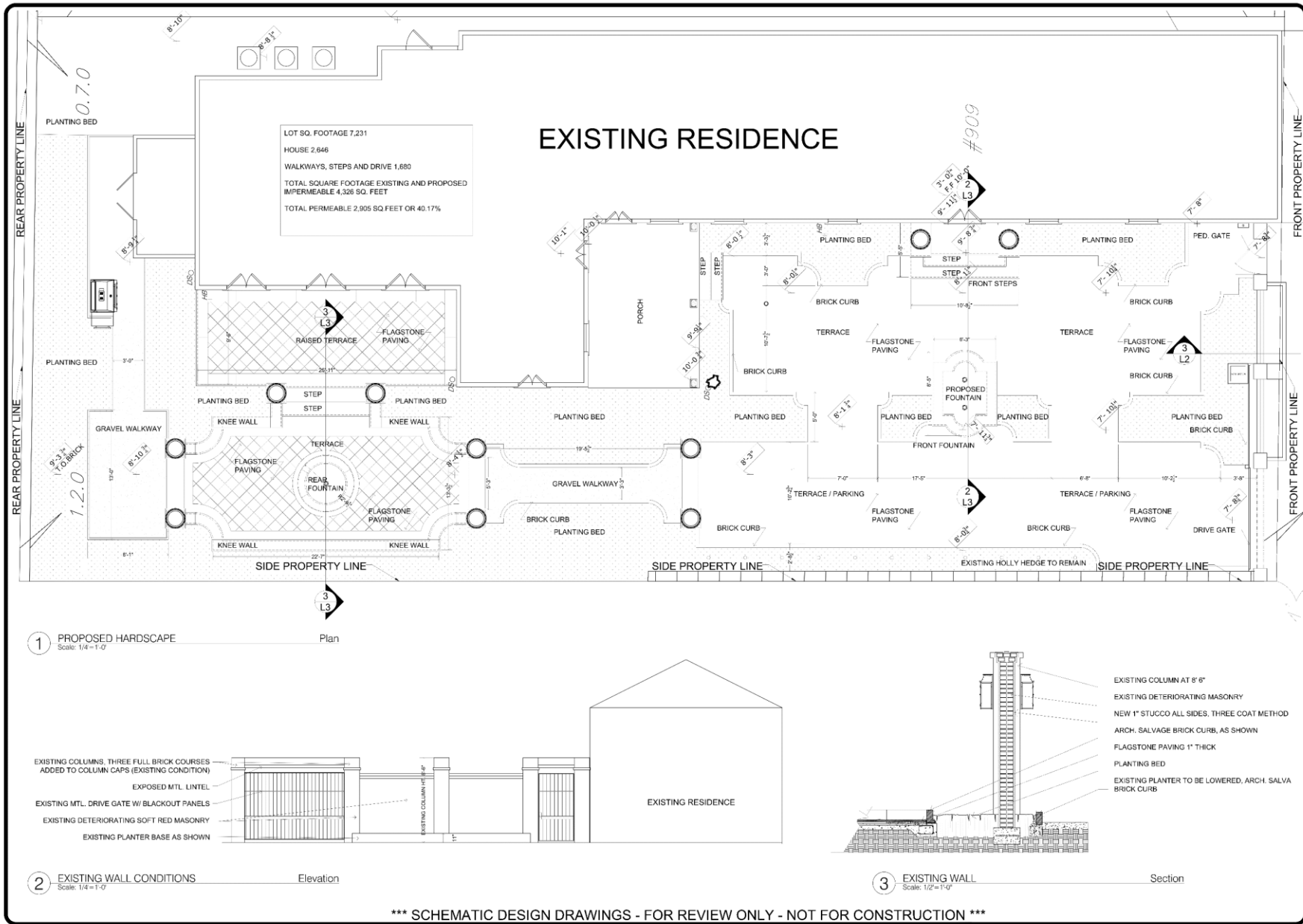
REVISIONS	BY

FRANSEN MILLS LLC
LANDSCAPE ARCHITECTS
1419 AMELIA STREET
NEW ORLEANS, LOUISIANA
(504) 422-5355

WILLIS RESIDENCE
909 URSULINES AVENUE
NEW ORLEANS, LA 70116

DATE	BY
2023-03-01	FE
2023-03-01	FE
MARCH 2023	
SCALE: 3/16" = 1'-0"	
DATE PLOTTED: 3/15/23 10:58 AM	
DRAWING TITLE: EXISTING PLAN	
SHEET	
L1	





*** SCHEMATIC DESIGN DRAWINGS - FOR REVIEW ONLY - NOT FOR CONSTRUCTION ***

REVISIONS	BY

**FRANSEN MILLS LLC
 LANDSCAPE ARCHITECTS**
 1419 AMELIA STREET
 NEW ORLEANS, LOUISIANA
 (504) 422-5325

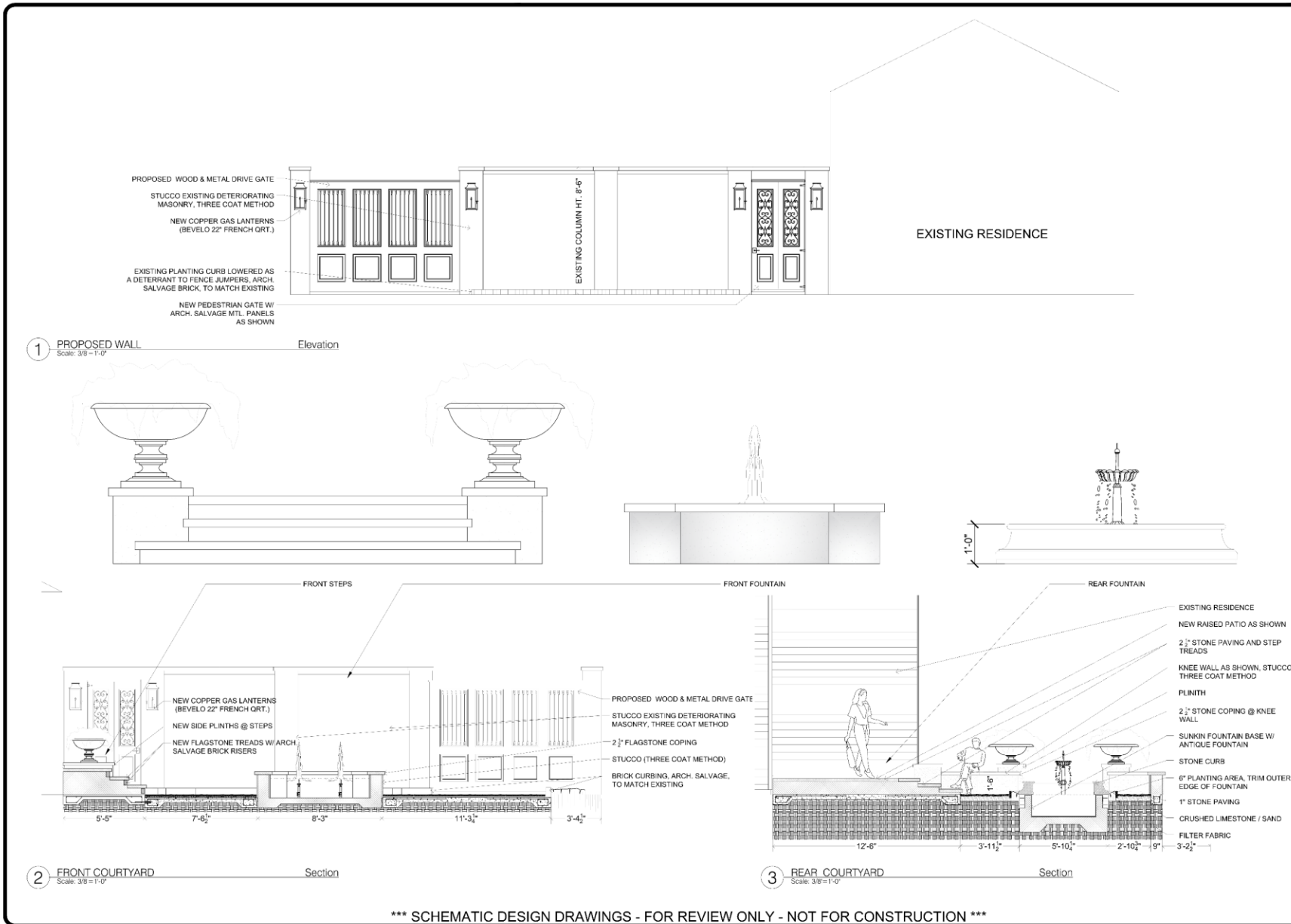
WILLIS RESIDENCE
 909 URSULINES AVENUE
 NEW ORLEANS, LA 70116

Although every effort has been made to prepare these plans, the contractor must check all details for accuracy of materials, quantities, elevations, and overall information before work begins. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

WILLIS RESIDENCE
 909 URSULINES AVENUE
 NEW ORLEANS, LA 70116

DATE	FE
DATE	REVISED
DATE	MARCH 2023
DATE	VARES
DATE	EXISTING PLAN
DATE	L2
DATE	REVISED





REVISIONS	BY

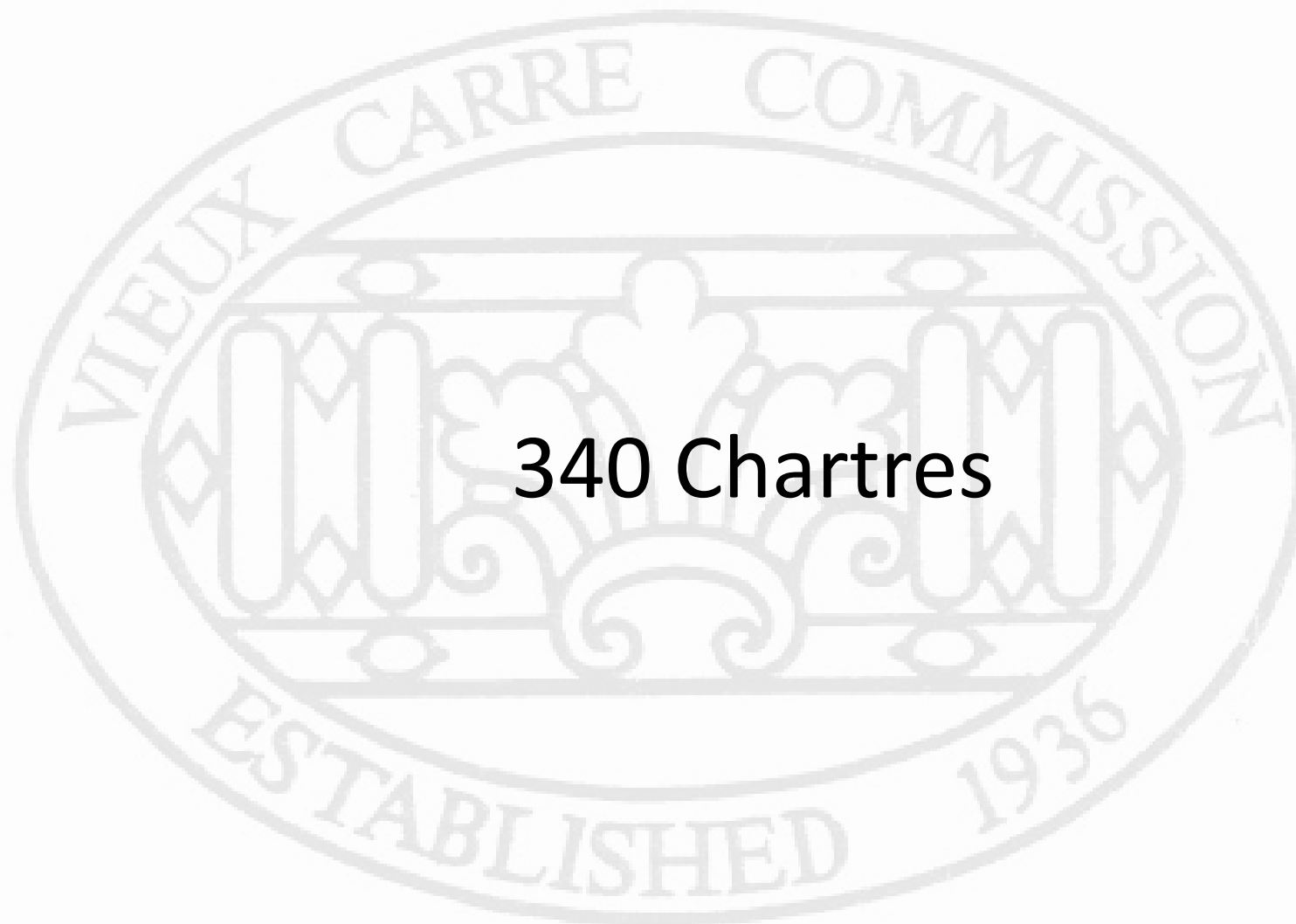
FRANSEN MILLS LLC
LANDSCAPE ARCHITECTS
115 W. BELLAIR STREET
NEW ORLEANS, LA 70116
(867) 422-5255

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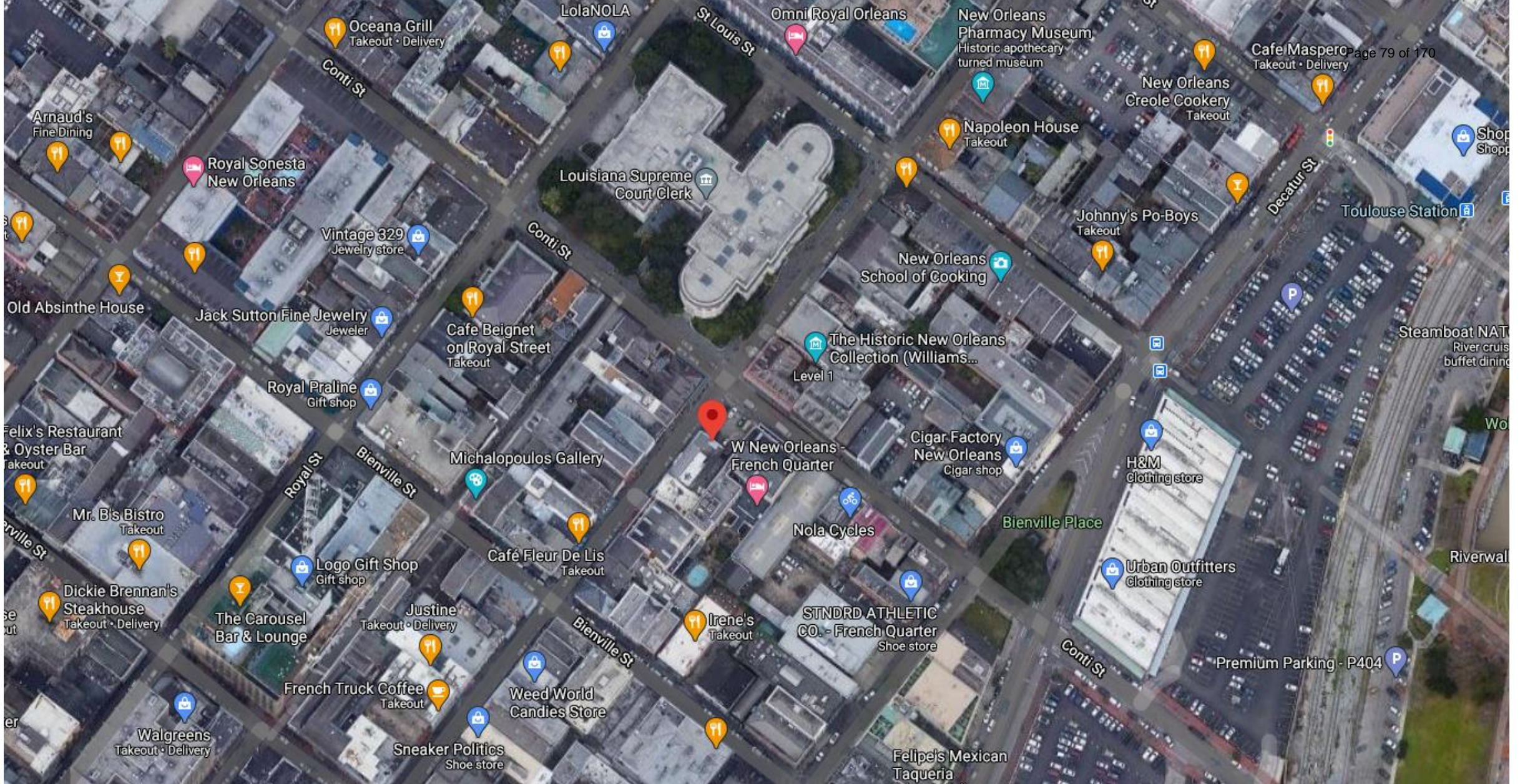
WILLIS RESIDENCE
909 URSULINES AVENUE
NEW ORLEANS, LA 70116

DATE	REVISED
MARCH 2023	
VARIES	
EXISTING PLAN	
L3	





340 Chartres



336 Chartres

VCC Architecture Committee

April 25, 2023





336 Chartres

VCC Architecture Committee

April 25, 2023





336 Chartres

VCC Architecture Committee

April 25, 2023





336 Chartres

VCC Architecture Committee

April 25, 2023





340 Chartres

VCC Architecture Committee

April 25, 2023





340 Chartres

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April 25, 2023



LEGEND



COLLUM LINE



FINISH KEY



WINDOW TAG



DOOR TAG



PARTITION



ROOF ASSEMBLY



ARCHITECTURAL WOODWORK KEYNOTE



PLUMBING & MECHANICAL KEYNOTE



EXISTING PARTITION TO BE DEMOLISHED



NEW PARTITION OR MODIFIED - REFER TO FRAMING NOTES AND PARTITION DETAILS



EXISTING DOOR & FRAME TO REMAIN



EXISTING DOOR & FRAME TO BE REMOVED



NEW OR RELOCATED DOOR & FRAME - REFER TO DOOR SCHEDULE



ELEVATION MARKER



DRAWING TAG



SECTION MARKER



EXTERIOR ELEVATION



INTERIOR ELEVATION

H.P. HIGH POINT

L.P. LOW POINT

SUSP. SUSPENDED

GYP. BD. GYPSUM BOARD

CONC. CONCRETE

H.M. HOLLOW METAL

FIXT. FIXTURE

LT. LIGHT

GALV. GALVANIZED

ALUM. ALUMINUM

ADJ. ADJUSTABLE

HWH. HOT WATER HEATER

MECH. MECHANICAL

STRUCT. STRUCTURAL

ELEC. ELECTRICAL

F.O. FACE OF

T.O. TOP OF

U.S. UNDERSIDE OF

EXIST. EXISTING

WD. WOOD

CLG. CEILING

STL. STEEL

MTL. METAL

PTD. PAINTED

PTN. PARTITION

SPKLR. SPRINKLER

CMU. CONCRETE MASONRY UNIT

NOTE:
THIS LEGEND CONTAINS SYMBOLS AND ABBREVIATIONS USED IN THE ARCHITECTURAL DRAWINGS. SOME SYMBOLS AND ABBREVIATIONS SHOWN ARE NOT USED IN THIS PROJECT. REFER ALSO TO LEGENDS PROVIDED IN EACH SHEET FOR SYMBOLS AND ABBREVIATIONS USED TO FURTHER DESCRIBE THE WORK.

INDEX OF DRAWINGS

- ARCHITECTURAL**
- A-005 SITE SCOPE LEGEND
 - A-301 FENCING PLANS
 - A-302 FENCING ELEVATIONS
 - A-303 FENCING DETAILS
 - P-101 PAVING PLAN
 - E-101 LIGHTING PLAN

DIRECTORY

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NEW ORLEANS, LA 70112
(504) 523-1191
mercierrealty@mscibouf.net

ARCHITECT:
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NEW ORLEANS, LA 70115
(504) 451-6209

JOHN E. BENDERNAGEL
johnbendenaga@gmail.com

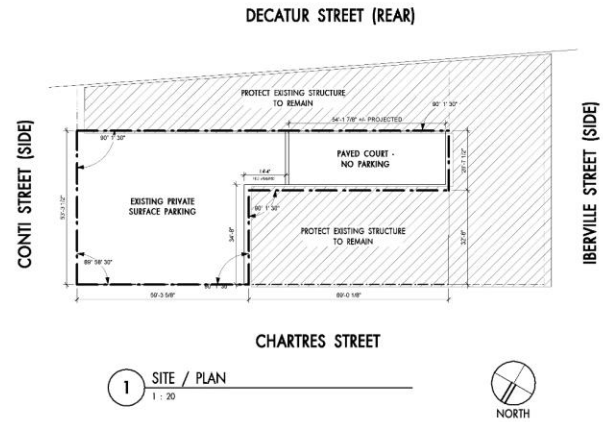
NOTES

SUMMARY DESCRIPTION OF WORK

- THE PROJECT IS IMPROVEMENTS TO THE EXISTING PRIVATE SURFACE PARKING LOT.
- THE WORK SHALL INCLUDE WITHOUT LIMITATION:
1. ERECT, PLACE AND MAINTAIN PROTECTION.
 2. REMOVE EXISTING SURFACE PAVING.
 3. PLACE FENCE FOUNDATIONS
 4. PLACE SUBSURFACE DRAINAGE.
 5. INSTALL PAVING SYSTEMS
 6. CONSTRUCT MASONRY & STEEL FENCING & GATES
 7. INSTALL SITE LIGHTING

GENERAL CONSTRUCTION NOTES

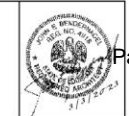
1. THE AA A201:2017 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL GOVERN THE WORK.
2. CONTRACTOR IS TO READ ALL PORTIONS AND SECTIONS OF THE CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH EXISTING CONDITIONS.
3. THE CONTRACTOR SHALL REVIEW FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPROVE AND SUBMIT TO THE ARCHITECT SHOP DRAWINGS, PRODUCT DATA SHEETS, AND SIMILAR SUBMITTALS REQUIRED BY THE CONTRACT DOCUMENTS PRIOR TO SHIPPING TO THE ARCHITECT. THE CONTRACTORS REVIEW SHALL CONFORM COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS ARE TO BE CLEARLY AND VISIBLY NOTED.
4. THESE DRAWINGS ARE INTENDED TO DESCRIBE THE SCOPE OF WORK REQUIRED TO PROVIDE A COMPLETE IN OPERABLE PROJECT CONSTRUCTION. ALL MISCELLANEOUS COMPONENTS PARTS, FASTENERS, GRIDS, AND OTHER INCIDENTAL ITEMS NECESSARY TO PROVIDE A COMPLETE PROJECT SHALL BE PROVIDED WHENEVER OR NOT SPECIFICALLY NOTED.
5. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS. CONTRACTOR TO VERIFY OUR MEASUREMENTS IN THE FIELD PRIOR TO ORDERING MATERIAL.
6. CONTRACTOR IS TO NOTIFY THE ARCHITECT AND/OR ENGINEER TO ALL SIGNIFICANT WORK TO BE COMPLETED AT LEAST 24 HOURS PRIOR TO THE EVENT. IN THE EVENT THAT NEED THE ARCHITECT AND/OR ENGINEER CAN OBSERVE THE WORK PRIOR COMPLETION, THE CONTRACTOR IS TO TAKE CONSTRUCTION PHOTOS OF THE WORK WHICH WOULD PRECLUDE ACCESS. ACCESS TO PHOTOS ARE TO BE GRANTED TO THE ARCHITECT AND/OR ENGINEER UPON REQUEST.
7. CONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS ARISING FROM DISCOVERED HIDDEN CONDITIONS AT ANY PHASE OF THE PROJECT.
8. ANY DEVIATION TO THE CONTRACT DOCUMENTS NOT APPROVED IN WRITING BY THE ARCHITECT/ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT HIS/HER OWN EXPENSE.
9. DURING AND UPON COMPLETION OF THE WORK, ALL SERVICES, UTILITIES, AND EQUIPMENT SHALL BE KEPT CLEAN AND FREE OF EXCESS MATERIAL, STAINS, OR SOIL.
10. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS AT THE PROJECT SITE AND ADJACENT PROPERTIES PRIOR TO START CONSTRUCTION.



1 SITE / PLAN
1 : 20

SITE PLAN NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE DONE AS A RESULT OF HIS OPERATIONS, INCLUDING DAMAGE TO ADJACENT STRUCTURES, PAVING, VEHICLES, AND PERSONAL PROPERTY OF OTHERS IN THE IMMEDIATE VICINITY OF THE SITE.
2. FIELD VERIFY ALL DIMENSIONS.
3. NOTIFY THE ARCHITECT IN ADVANCE IF ANY SPECIFIED DIMENSIONS CANNOT BE ACHIEVED.



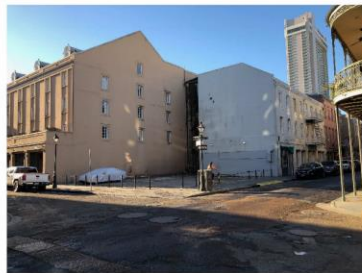
THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE SUPERVISION TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH APPLICABLE BUILDING LAWS. I WILL CORRECT THE WORK.

JOHN E. BENDERNAGEL, ARCHITECT
LA 4718

SITE IMPROVEMENTS TO
336-340 CHARTRES STREET
NEW ORLEANS, LOUISIANA
BENDERNAGEL ARCHITECTS, L.L.C.
5530 ATLANTA STREET, NEW ORLEANS, LA 70115 (504) 451-6209
johnbendenaga@gmail.com

PROJECT: #2020-08
CHD PUNG
3/3/2023
A005
SITE SCOPE LEGEND





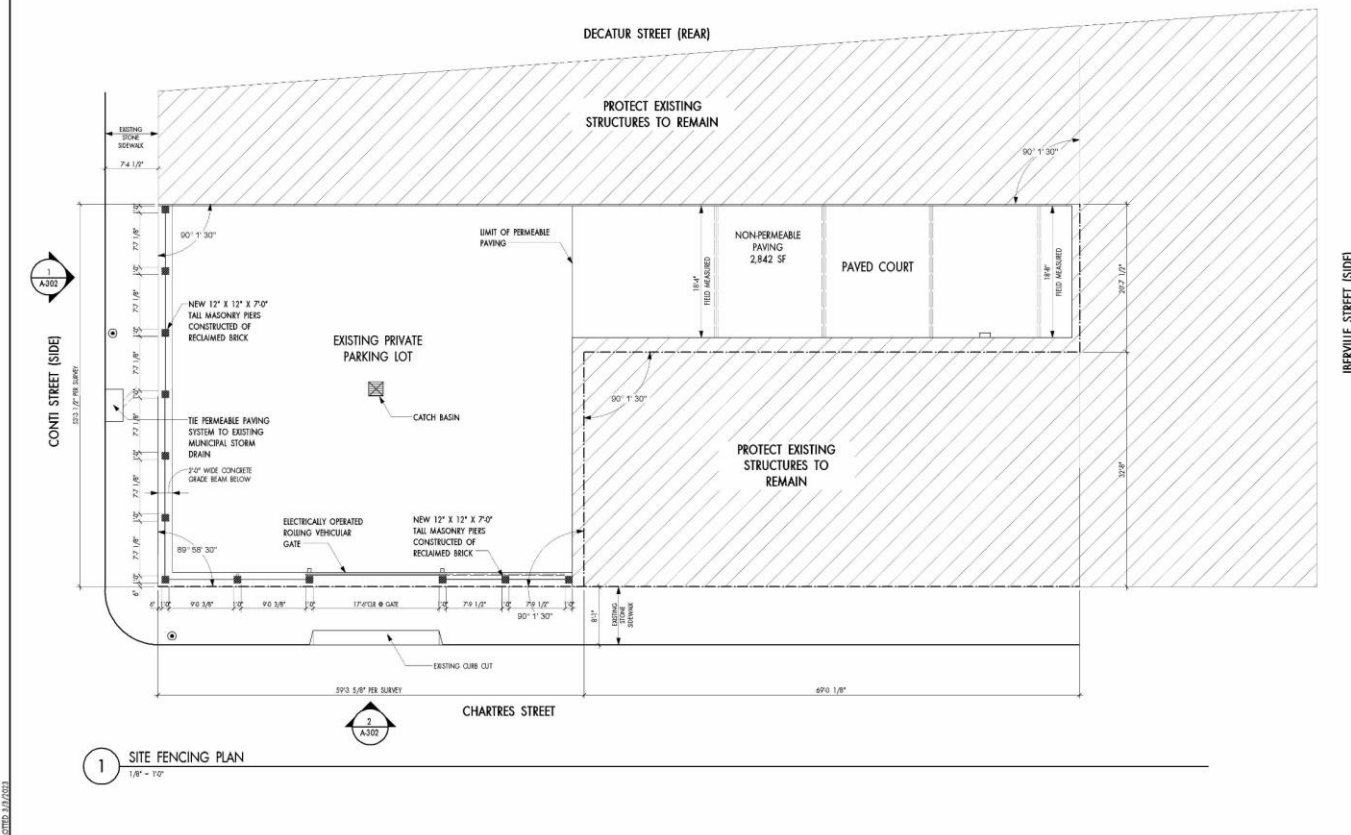
2 VIEW FROM CORNER OF CONTI & CHARTRES



3 VIEW DOWN CHARTRES STREET



4 VIEW UP CONTI STREET



1 SITE FENCING PLAN
1/8" = 1'-0"

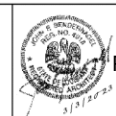


JOHN S. BRADSHAW, ARCHITECT
LA 0113

SITE IMPROVEMENTS TO
336-340 CHARTRES STREET
NEW ORLEANS, LOUISIANA
BREN DERNAUGE, ARCHITECT, L.L.C.
5530 ULIANA STREET, SUITE 115, CHALMERS, LA 70019
www.brendernauge.com

PROJECT: #2020-08
CNO FILING
3/7/2023
A-301
FENCING PLAN





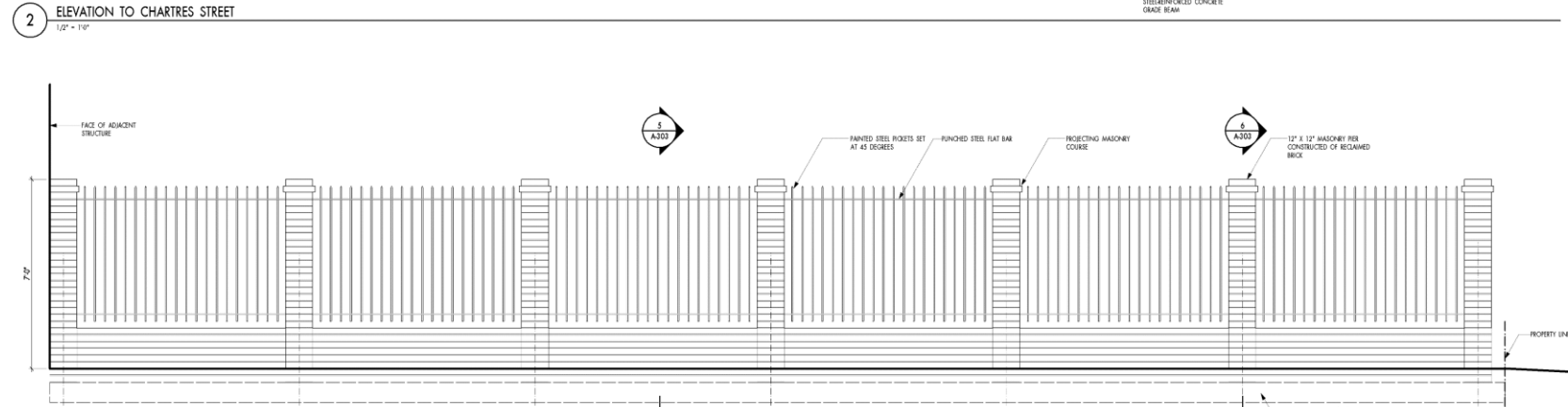
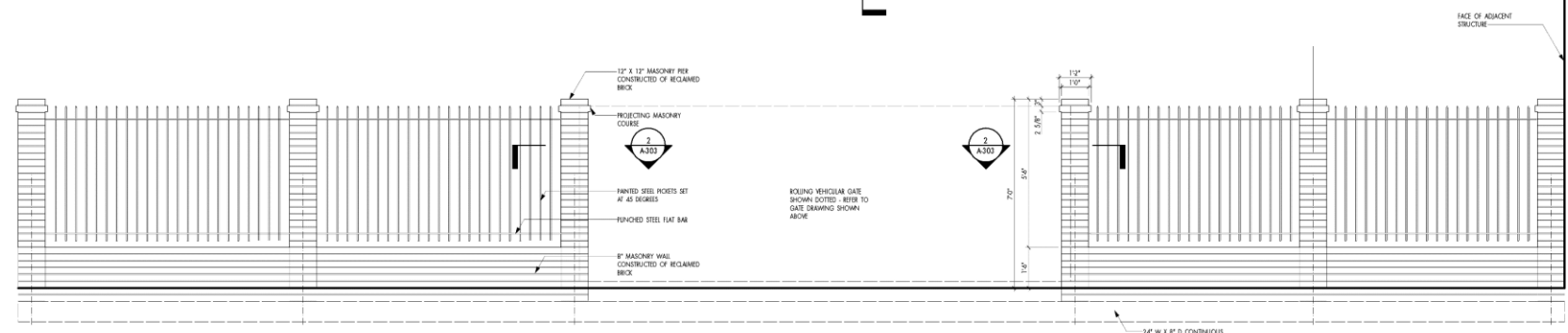
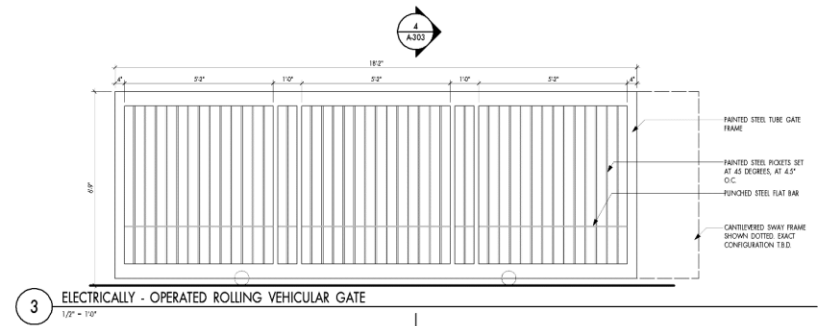
THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, TO THE BEST OF MY KNOWLEDGE & BELIEF IT COMPLY WITH ALL CITY, STATE & FEDERAL REQUIREMENTS. I WILL CORRECT THE WORK.

JOHN E. WINEMORE, ARCHITECT
LA #716

SITE IMPROVEMENTS TO
336-340 CHARTRES STREET
NEW ORLEANS, LOUISIANA
BRENDEN ABEL ARCHITECTURE, L.L.C.
3330 LAURENCE STREET, SUITE 100, NEW ORLEANS, LA 70115
504.581.8888

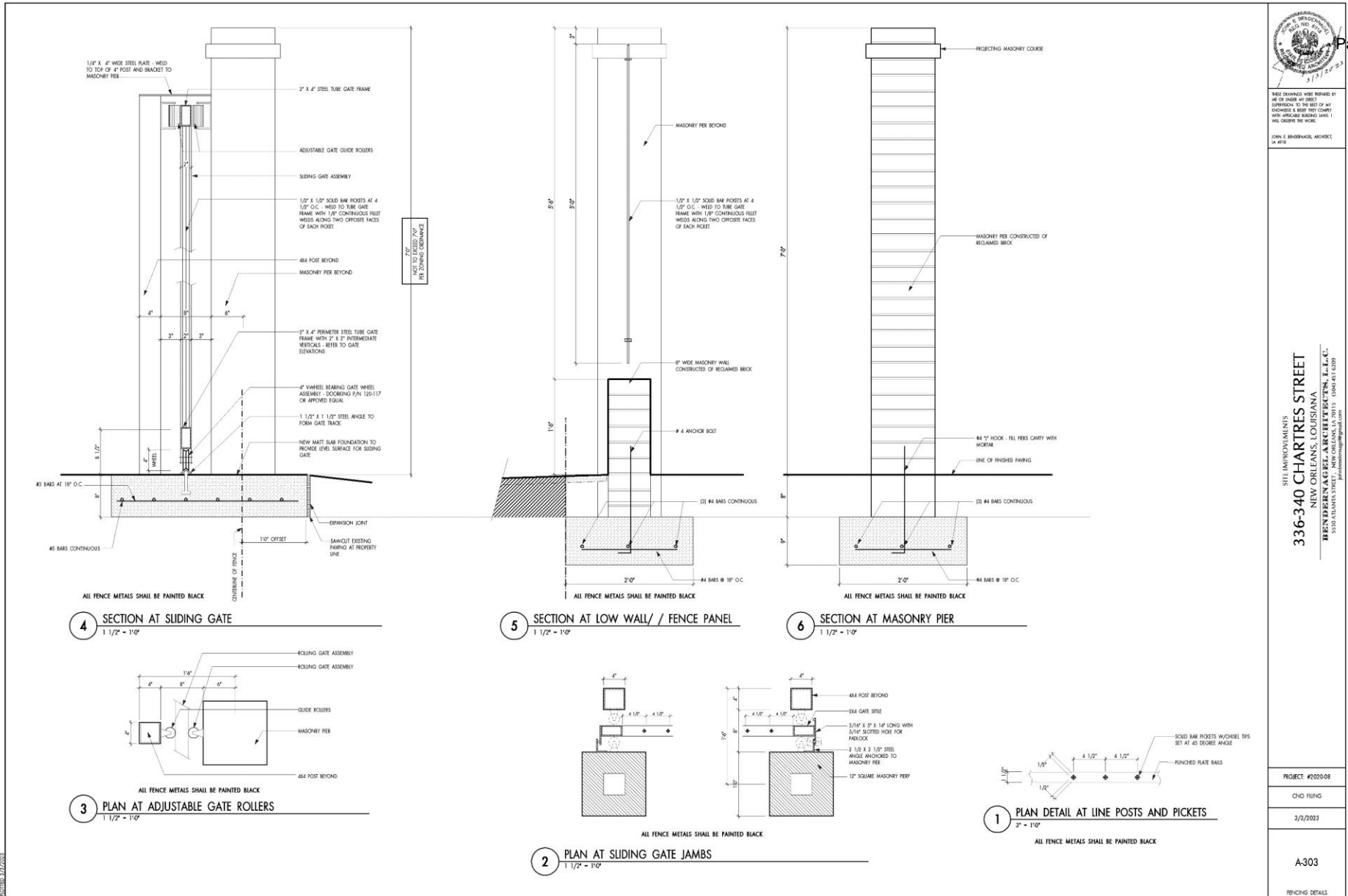
PROJECT #2020-08
ONO FILING
3/7/2023
A-302
FENCING ELEVATIONS

PAINT COLOR:
ALL METAL FENCING SHALL BE PAINTED
BLACK



PLOTED 3/10/2023





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JOHN E. UNDERBRUG, ARCHITECT
A.A.P.E.

SITE IMPROVEMENTS
336-340 CHARTRES STREET
NEW ORLEANS, LOUISIANA
BENJAMIN B. BROWN, P.E., A.C.
1515 ATLANTA STREET, NEW ORLEANS, LA 70115 (504) 451-1200
ben@brownengineering.com





THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE SUPERVISION, TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE REGULATORY AND ETHICAL REQUIREMENTS. I WILL CORRECT THE WORK.

JOHN E. UNDERBRINK, ARCHITECT
A. P.E.

SITE IMPROVEMENTS TO
336-340 CHARTRES STREET
NEW ORLEANS, LOUISIANA
WESLEY BURNETT ARCHITECTS, L.L.C.
5370 STANTON STREET, NEW ORLEANS, LA 70114 (504) 833-5200
jeb@wesburnett.com

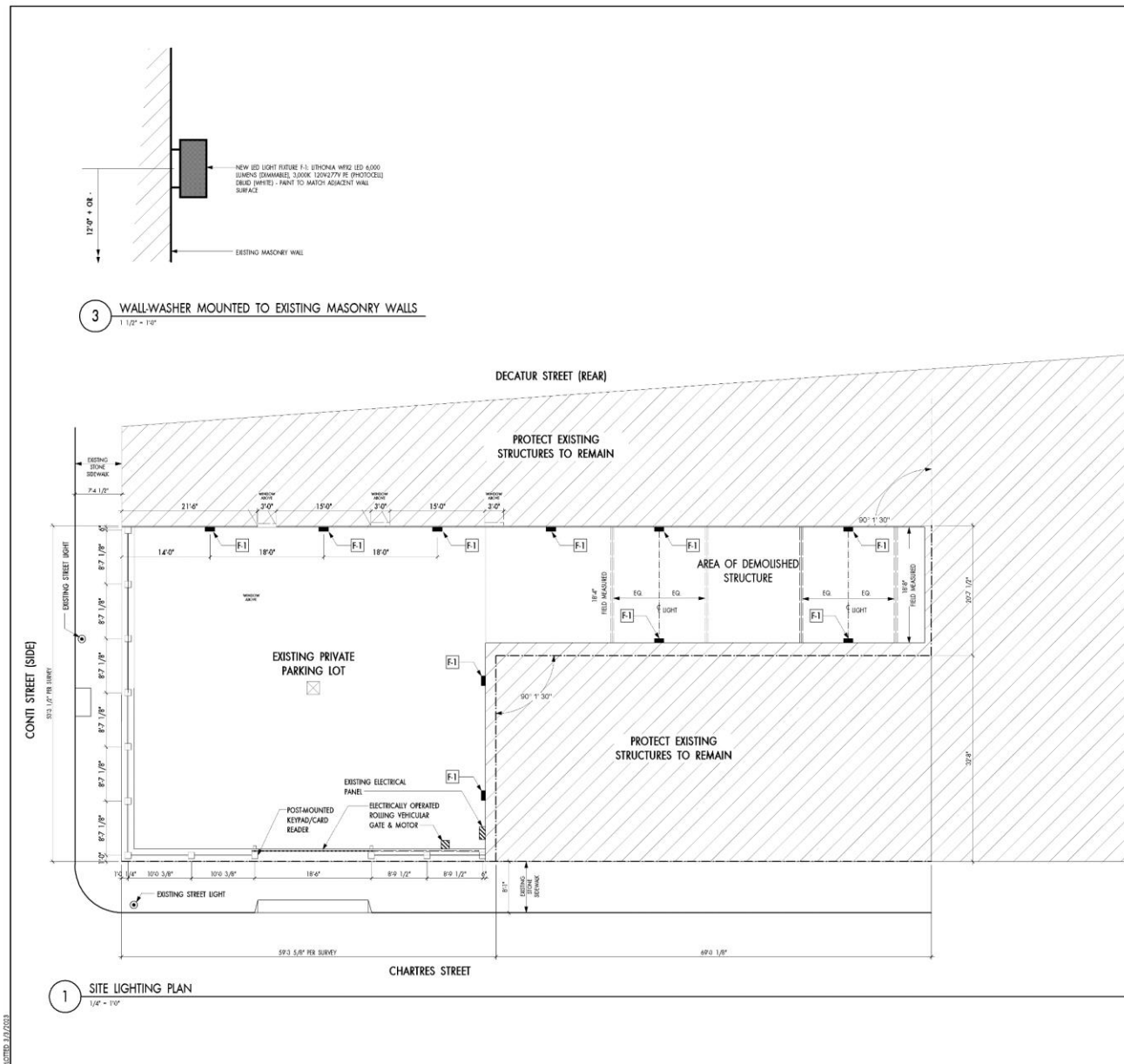
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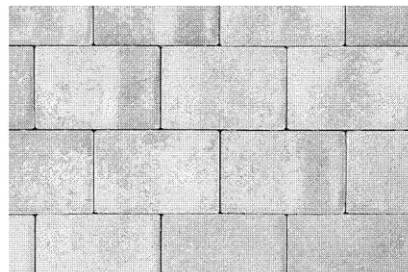
CHD FILING

3/7/2023

E-101

SITE LIGHTING

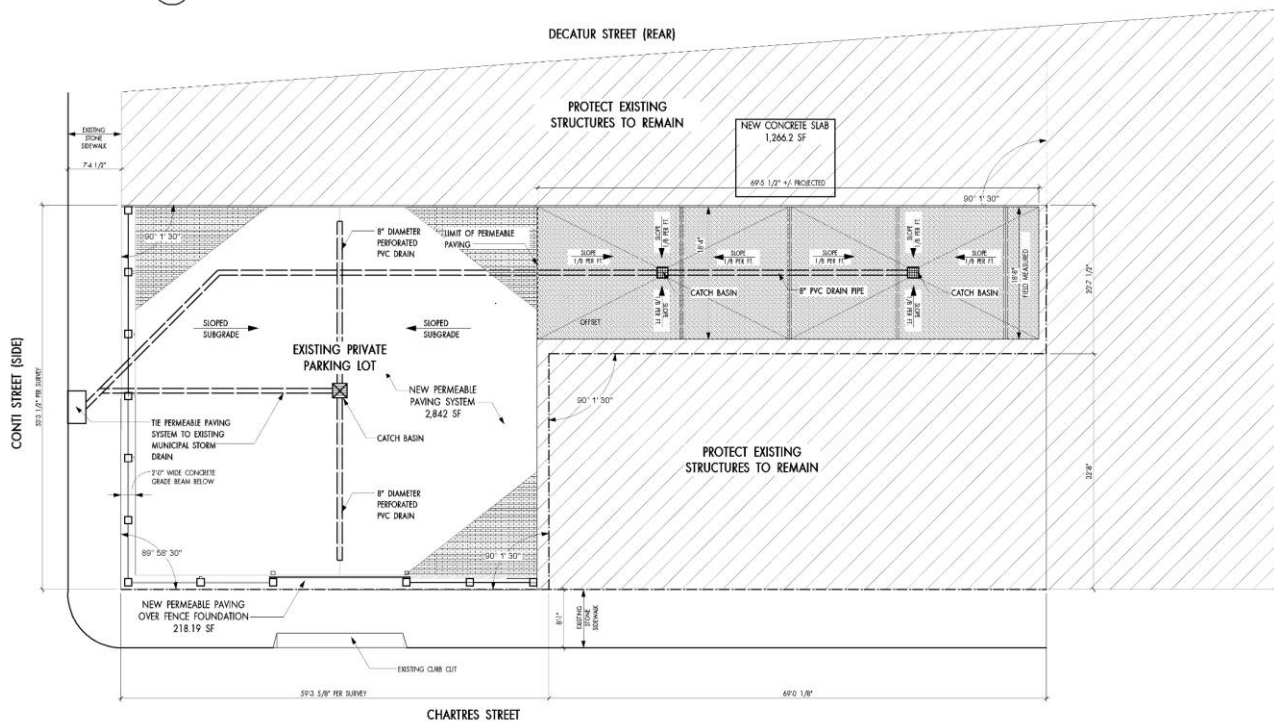




5" X 10" KEYSTONE PAVERS
BY PAVESTONE
COLOR: ANTIQUE PEWTER




ACTUAL MATERIAL SAMPLE IS
AVAILABLE AND WILL BE
SUBMITTED TO V.C.C. STAFF
BY THE OWNER

2 PHOTO OF PAVERS
NOT TO SCALE



1 SITE PAVING & DRAINAGE PLAN
1/4" = 1'-0"

SITE PAVING LEGEND

-  POURED IN PLACE CONCRETE SLAB
-  PERMEABLE PAVING SYSTEM ON GRAVEL BED
-  EXISTING ADJACENT STRUCTURE TO REMAIN

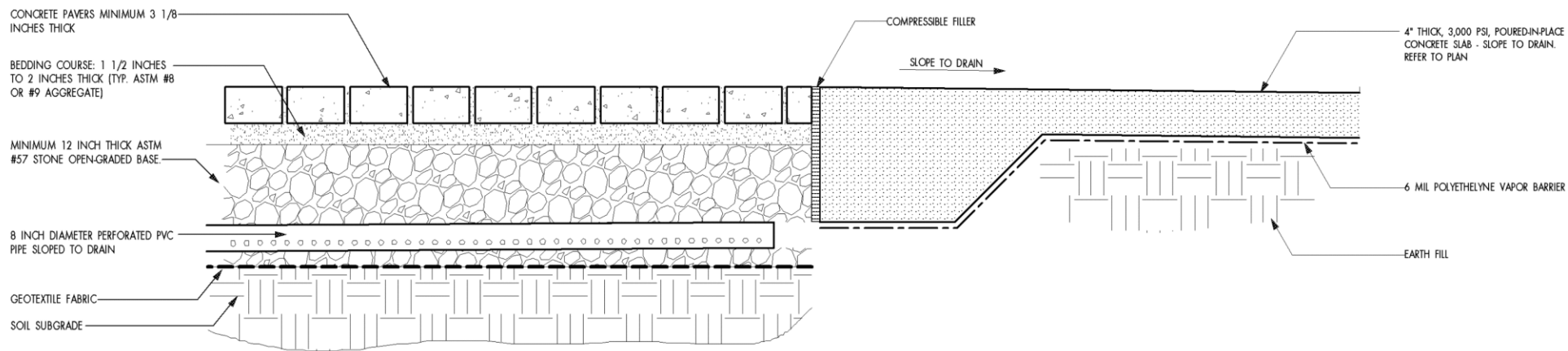
NON PERMEABLE PAVING AT DEMOLISHED BUILDING	1,266.2 SF
NON PERMEABLE PAVING AT FENCE FOUNDATION	218.2 SF
PERMEABLE PAVING AT EXISTING PARKING LOT	2,842 SF



336-340 CHARTRES STREET
NEW ORLEANS, LOUISIANA
BEN BERNADEL ARCHITECTS, L.L.C.
5530 ALABAMA STREET, NEW ORLEANS, LA 70115 (504) 851-6289
jbernagel@bernagelarchitects.com

PROJECT: #2020-08
 CHD FILE#
 3/3/2023
 P-101
 SITE PAVING & DRAINAGE





1 SECTION AT JOINT BETWEEN PERMEABLE PAVING AND CONCRETE SLAB
 1 1/2" = 1'-0"

PROJECT: #2020-08
CNO FILING
4/10/2023
P-102
SITE PAVING DETAIL



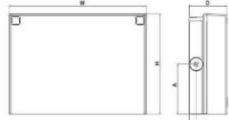
F-1: WPX2 LED 30K MVOLT DWHXD (PAINT TO MATCH ADJACENT WALL)



WPX LED Wall Packs



Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DBDX

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K, 3000K	MVOLT 120V-277V	(blank) None	DBDX Dark bronze
WPX1 LED P2	40K, 4000K	347, 347V	E4WH Emergency battery backup, CEC compliant (4W, 0°C min)	DWHXD White
WPX2 LED	50K, 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min)	DBLXD Black
WPX3 LED			PE Photocell	

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

- NOTES
- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6kV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6kV DBDX
 - Battery pack options only available on WPX1 and WPX2.
 - Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE
The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION
WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL
Light engine configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell LED options are MVOLT 120V-277V input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output to dim the luminaire.

INSTALLATION
WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS
CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomersResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



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WPX LED
Rev. 03/08/22

THIS FIXTURE IS DIMMABLE

Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

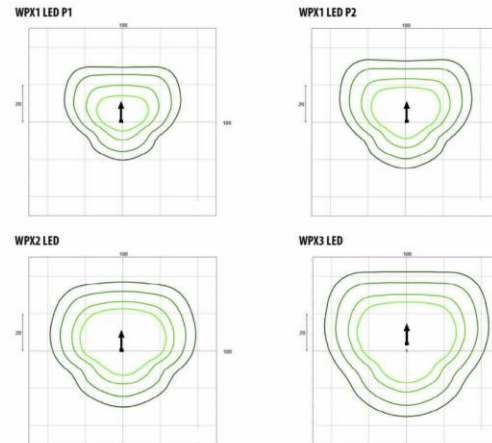
Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DBDX
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DBDX

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WPX LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

0.1 fc
0.2 fc
0.5 fc
1.0 fc



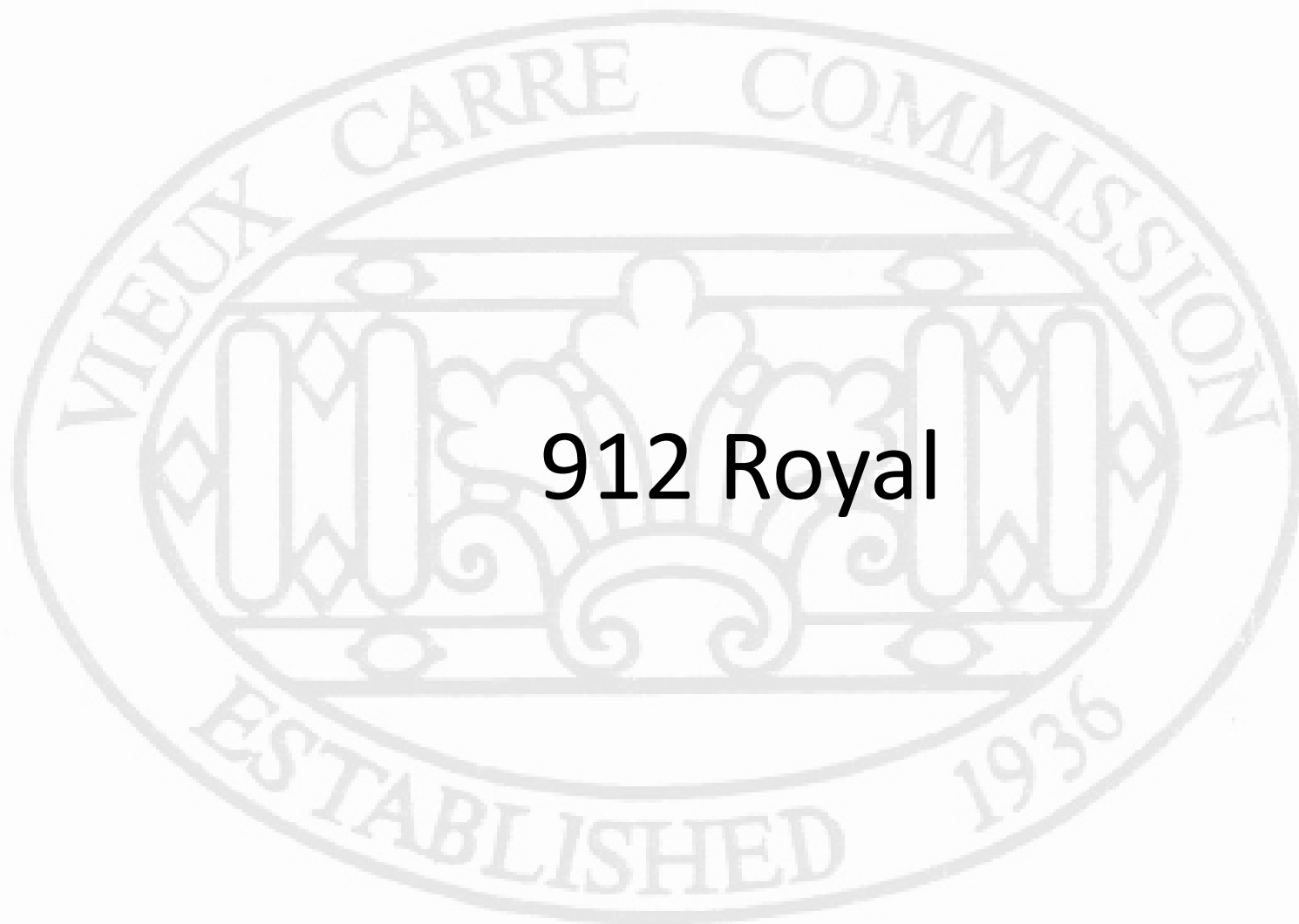
Mounting Height = 12 Feet.



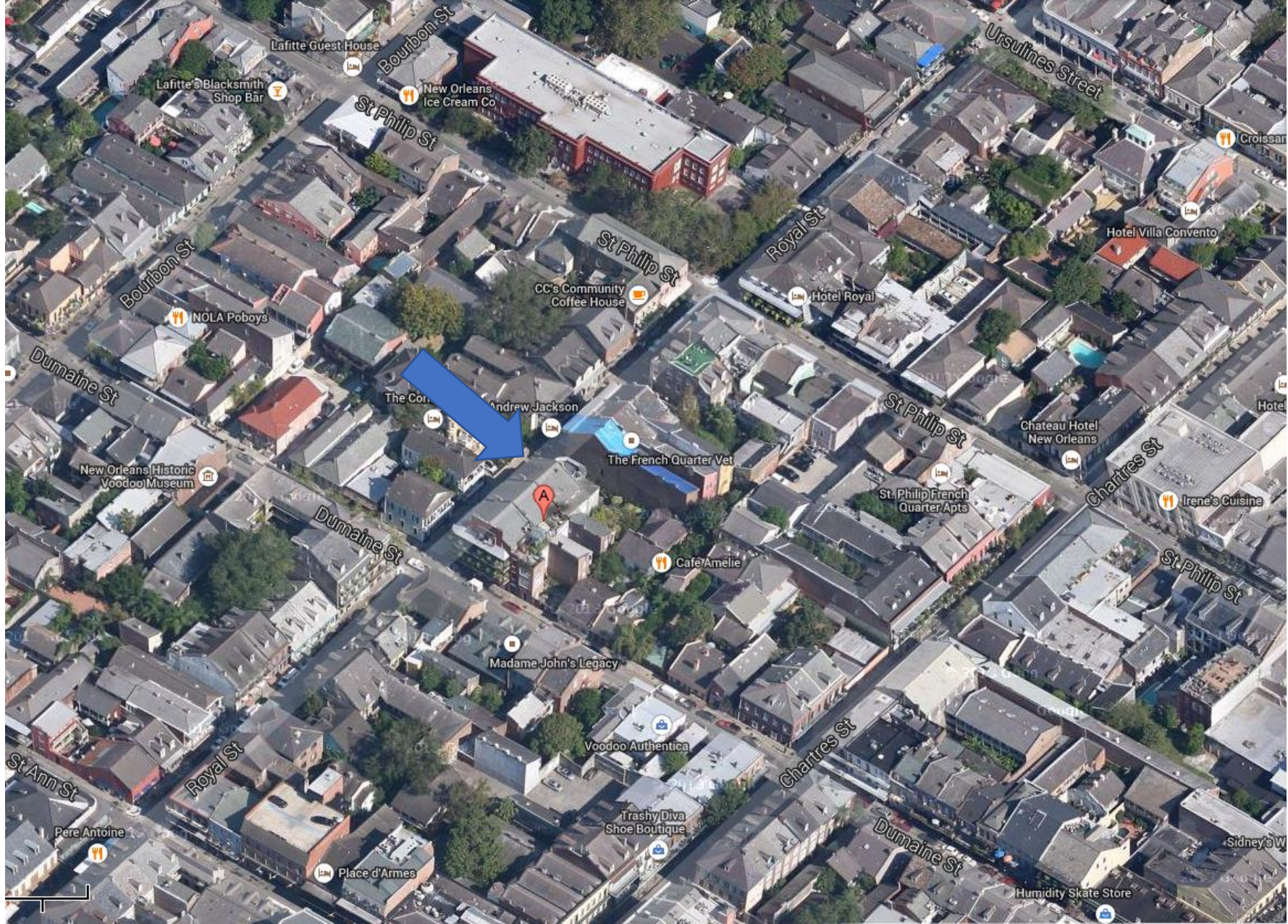
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WPX LED
Rev. 03/08/22





912 Royal

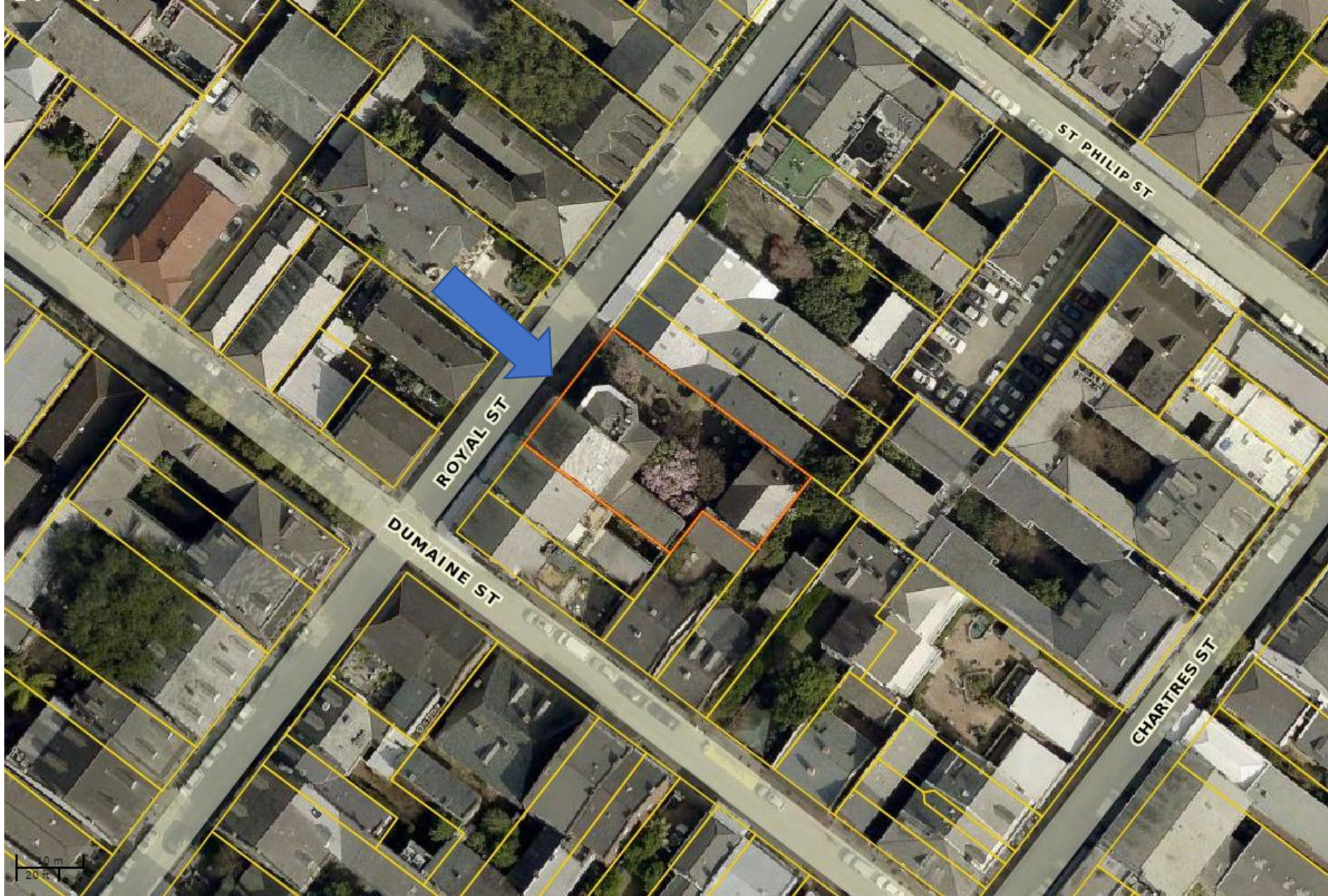


910 Royal

Vieux Carré Commission

April 25, 2023





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Vieux Carré Commission

April 25, 2023





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Vieux Carré Commission

April 25, 2023





910 Royal, 1965

Vieux Carré Commission

April 25, 2023





910 Royal

Vieux Carré Commission

09 15 2022

April 25, 2023





910 Royal

Vieux Carré Commission

01 03 2023

April 25, 2023





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Vieux Carré Commission

01 03 2023

April 25, 2023





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Vieux Carré Commission

01 03 2023

April 25, 2023





910 Royal

Vieux Carré Commission

04 19 2023

April 25, 2023





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Vieux Carré Commission

04 19 2023

April 25, 2023





910 Royal

Vieux Carré Commission

04 19 2023

April 25, 2023





910 Royal, 1982

Vieux Carré Commission

April 25, 2023





910 Royal, 1983

Vieux Carré Commission

April 25, 2023



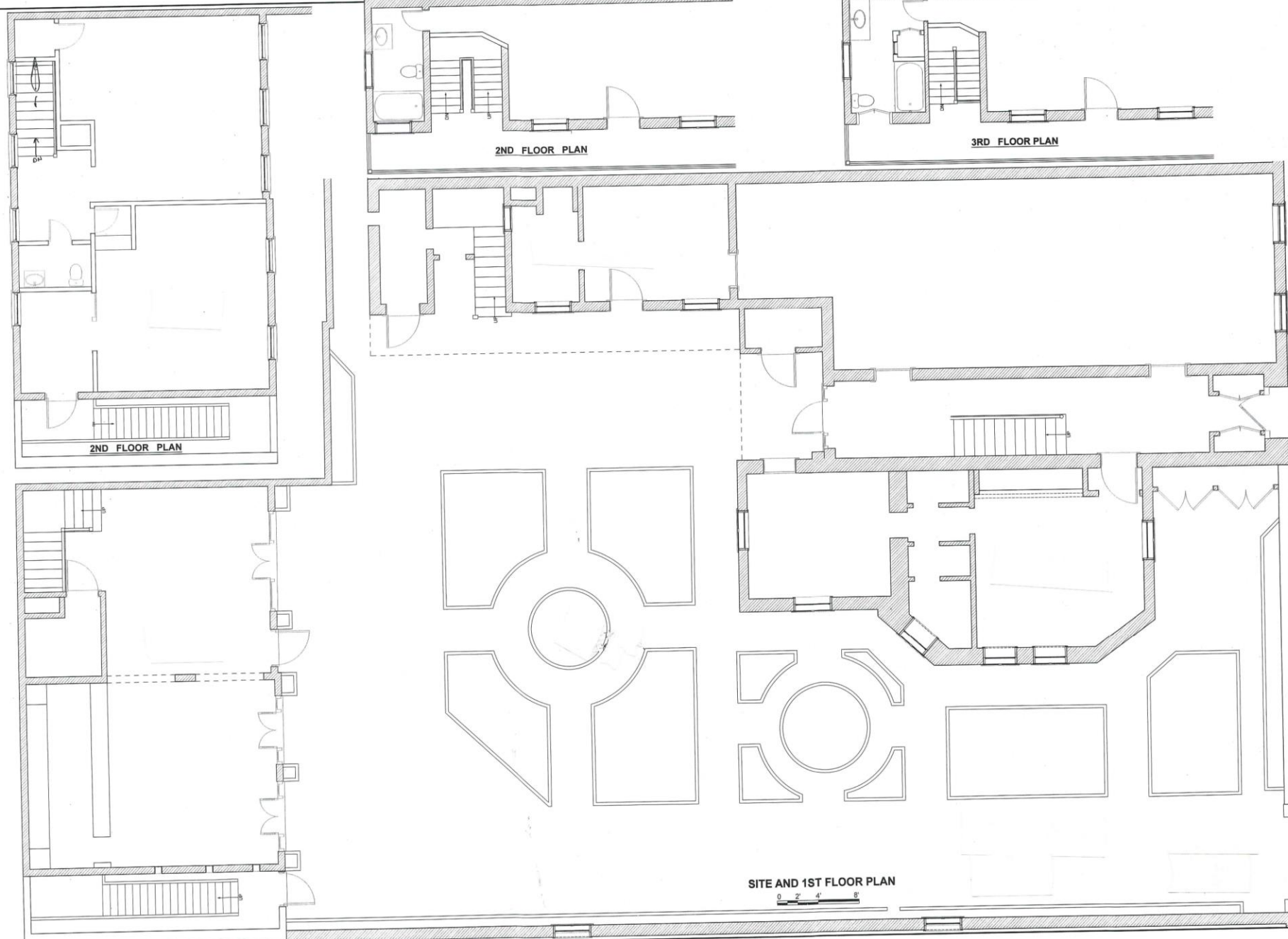
Koch and Wilson Architects
A PROFESSIONAL CORPORATION (504) 581-7023
1100 JACKSON AVENUE, NEW ORLEANS, LA 70130
architects@kochandwilson.com

Project
910-12 ROYAL ST.
New Orleans, LA

Proj. No. K2218
Rev. 1
Erg. Conditions
19 Sept. 2022
Revisions:
28 Oct. 2022

Sheet Title
SITE / FLOOR
PLANS

Sheet
EC1



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Vieux Carré Commission

April 25, 2023



Koch and Wilson Architects
A Professional Corporation (504) 581-7023
1100 Jackson Avenue, New Orleans, LA 70130
architects@kochandwilson.com

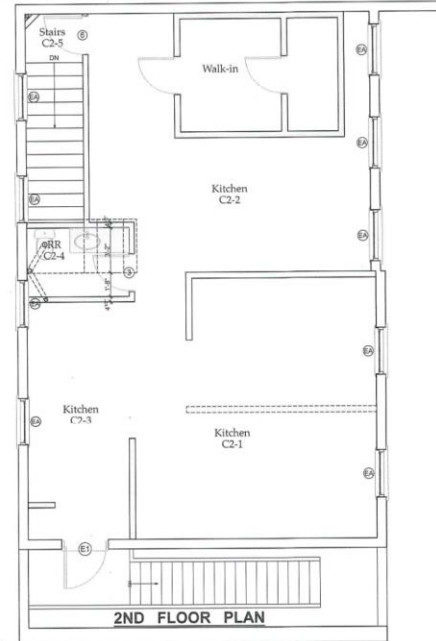
Cafe Monaco
910 - 912 Royal St.
New Orleans, LA

Proj. No.: K2218
Issued: Prelim. CD's
4 Nov. 2022
Revisions:
20 Dec. 2022
30 Jan. 2023
9 Feb. 2023
16 Feb. 2023
20 Mar. 2023
21 Mar. 2023
10 Apr. 2023

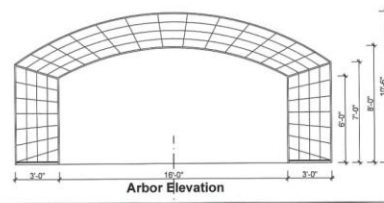


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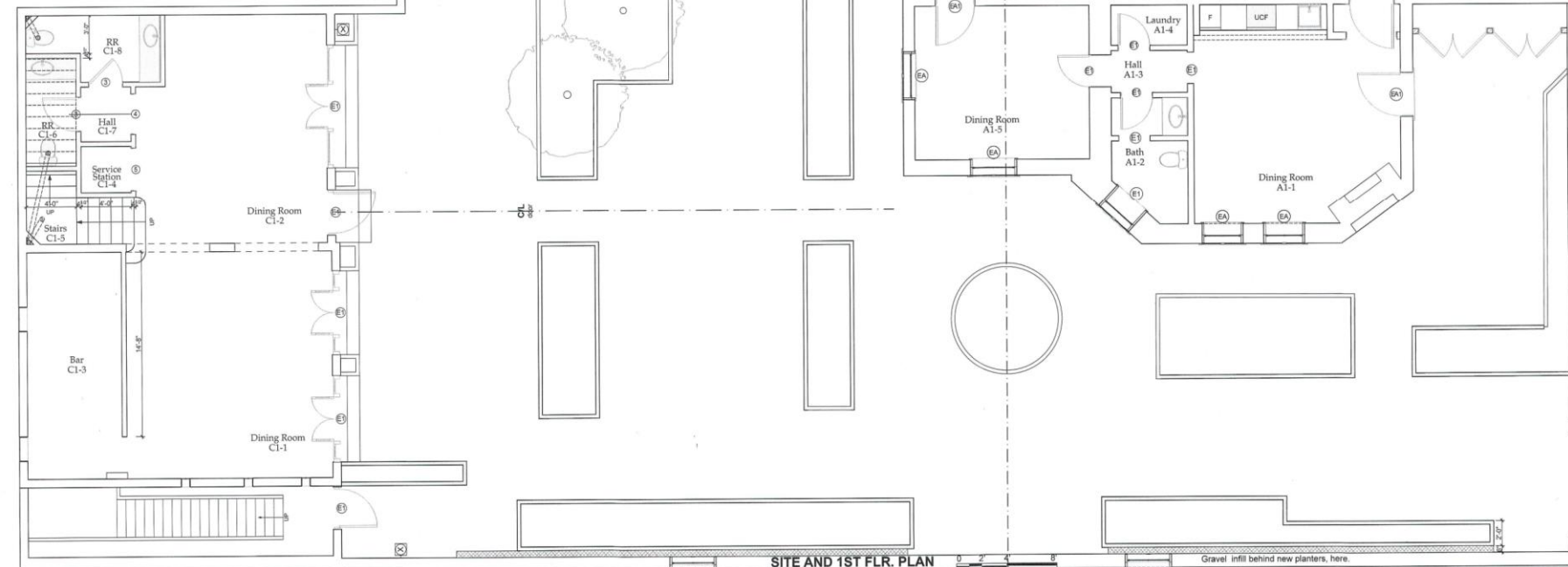
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A1



2ND FLOOR PLAN



Arbor Elevation



SITE AND 1ST FLR. PLAN

Gravel infill behind new planters, here.

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April 25, 2023





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A Professional Corporation (504) 581-7023
1100 Jackson Avenue, New Orleans, LA 70130
architects@kochandwilson.com

Cafe Monaco
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New Orleans, LA

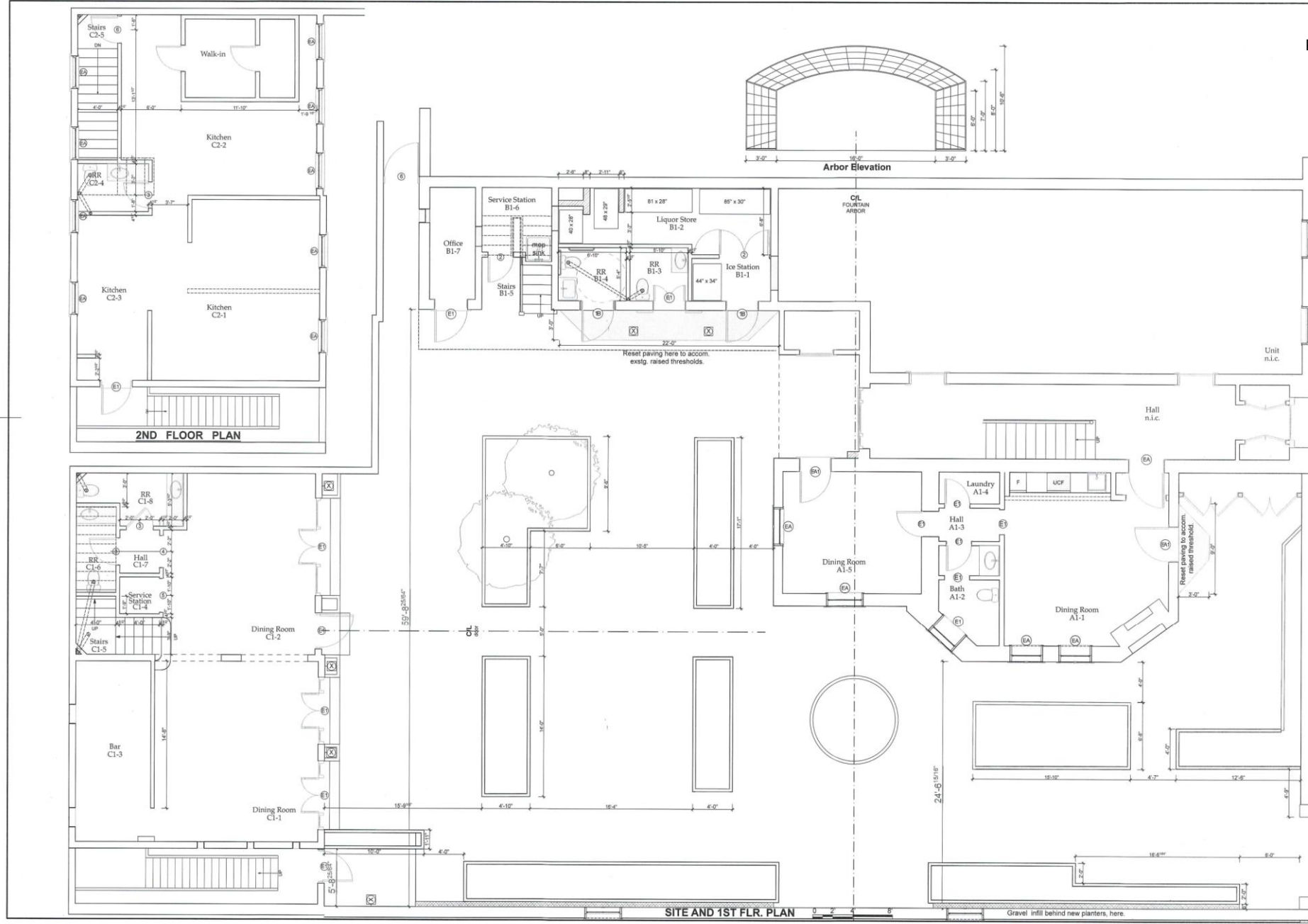
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Issue:
Prelim. CD's
4 Nov. 2022
Revisions:
20 Dec. 2022
30 Jan. 2023
9 Feb. 2023
18 Feb. 2023
20 Mar. 2023
21 Mar. 2023



Sheet Title:
Site&Arch Plans

Sheet:
A1

Scale:



2ND FLOOR PLAN

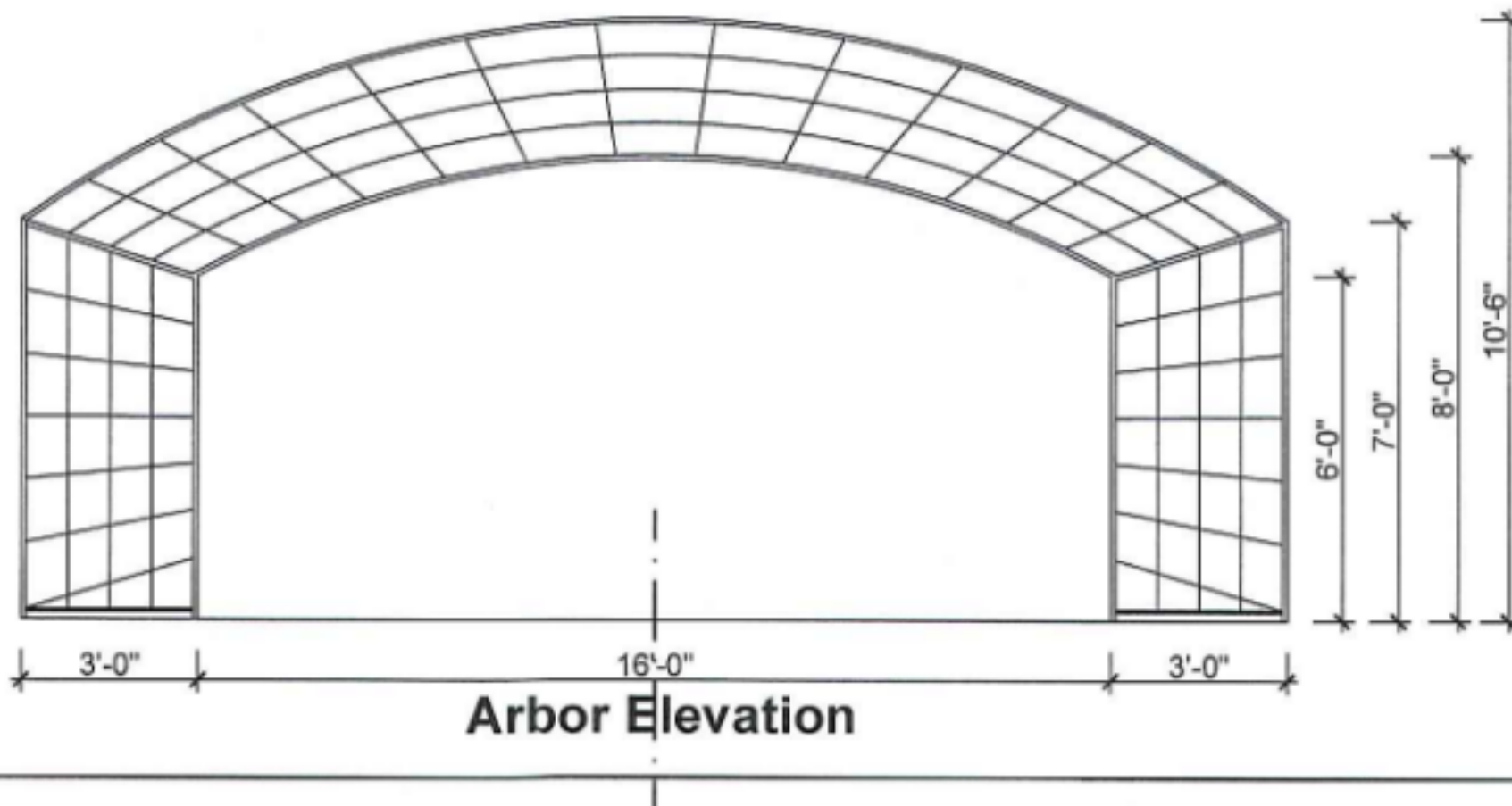
SITE AND 1ST FLR. PLAN

Arbor Elevation

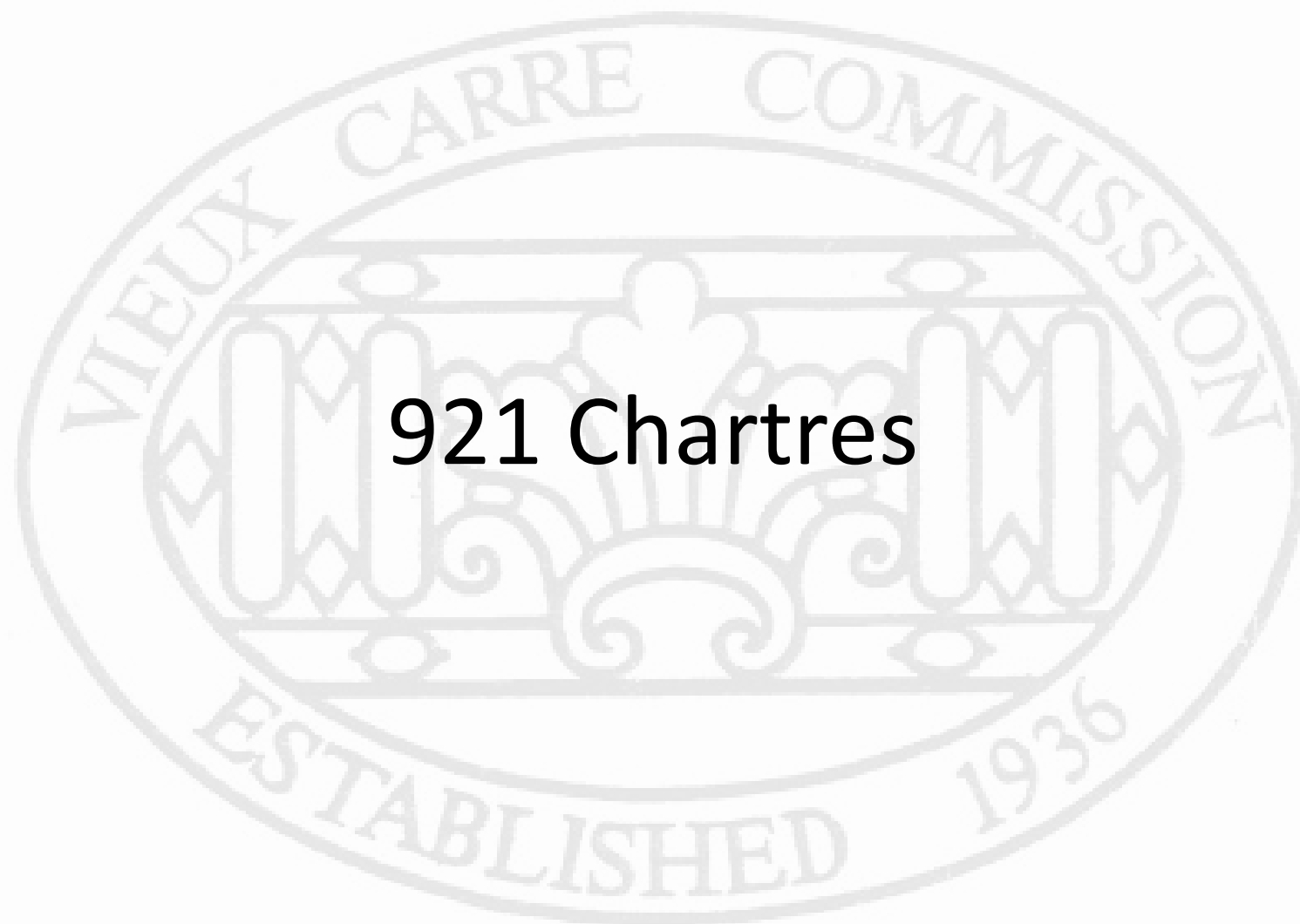
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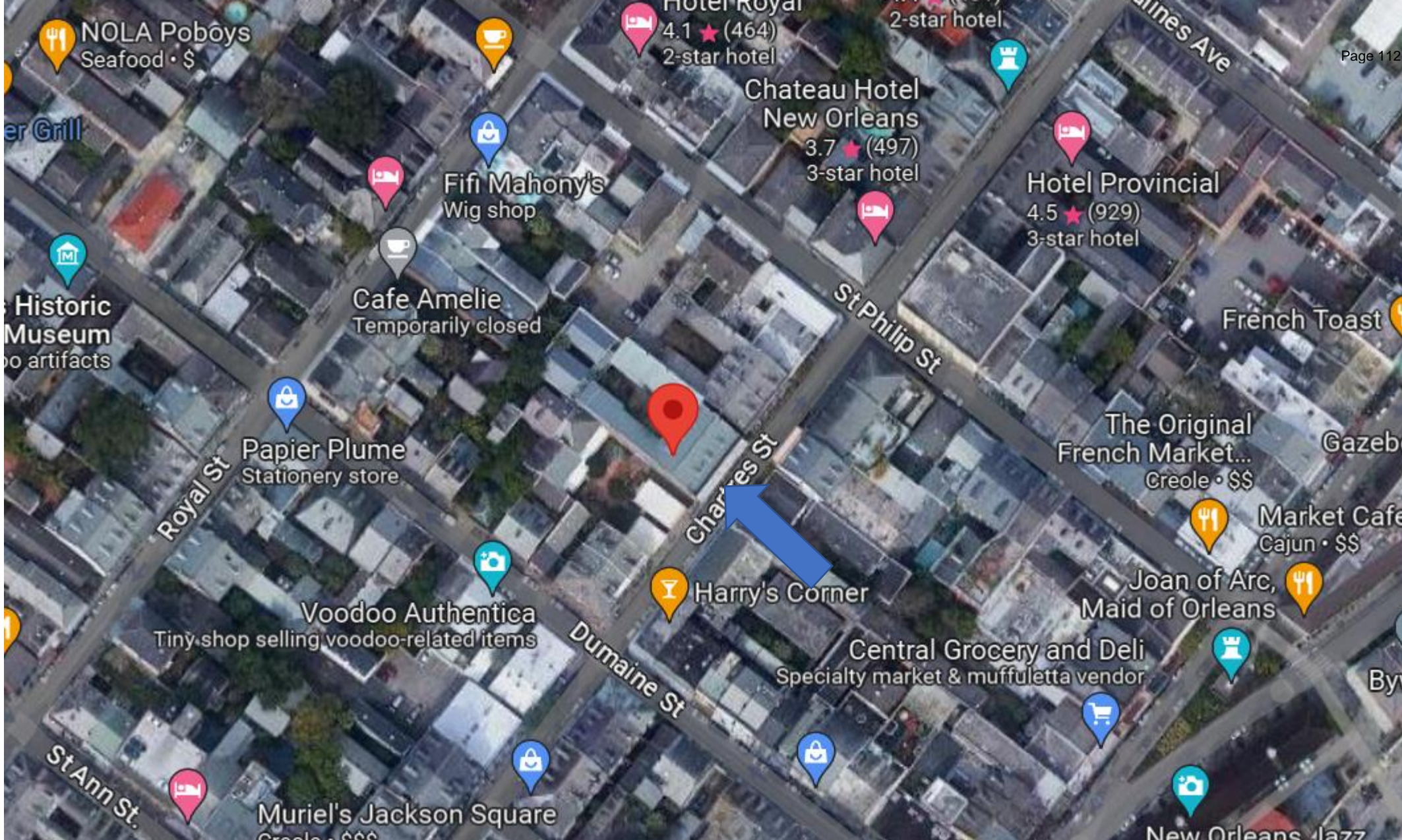
April 25, 2023



Arbor Elevation



921 Chartres



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06 16 2022

April 25, 2023





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06 16 2022

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April 25, 2023





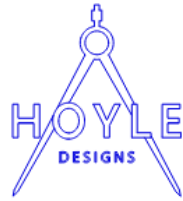
06 16 2022

921 Chartres

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April 25, 2023





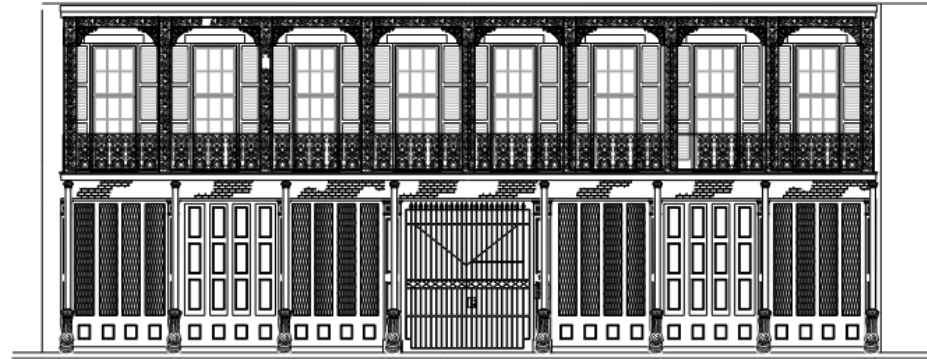
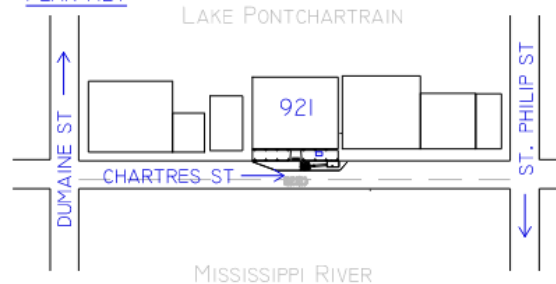
CONTRACTOR INFO:
 HOYLE DESIGNS LLC
 RESIDENTIAL BUILDING CONTRACTOR
 LOUISIANA LICENSE NO. 855945

CONDO OWNERS INFO:
 MITCH BRASHIER - UNIT 10
 ANDY ROSS - UNIT 12
 REGINA BRACY - UNIT 16

DRAWING SHEET INDEX:

1. PROJECT INFO AND COVER SHEET
2. FRONT ELEVATION 2.1 AND 2.2
3. SECTION VIEW 3.1, 3.2, 3.3, 3.4
4. PLAN VIEW 4.1 STREET PARKING DIAGRAM
5. ELEVATION 5.1-5.5 REPAIR TO IRON
6. PAINT COLORS AND ALTERNATIVE MATERIAL INFO
7. REFERENCE PHOTOS OF BUILDING

PLAN KEY



921 CHARTRES STREET GALLERY RESTORATION PLAN

PREPARED FOR VIEUX CARRE COMMISSION REVIEW.
 DRAFTING BY DREW D. HOYLE.

PROJECT DESCRIPTION:

PROPOSAL FOR INSTALLATION OF NEW COMPOSITE AERATIS PORCH BOARD ON GALLERY THAT INCLUDES UNIT 10, UNIT 12, AND UNIT 16. WOOD PORCH ON UNIT 10 IS DAMAGED. PROPOSAL FOR INSTALLATION OF TWO EXTRA SLEEPERS UNDER PORCH TO SUPPORT COMPOSITE DECKING. PAINT ALL IRON WORK ON SECOND FLOOR PER VCC GUIDELINES. REPAIR IRON WORK ON SECOND FLOOR, WELD BACK THREE AREAS. A 40' ARTICULATING LIFT IS NEEDED TO PERFORM THE IRON RESTORATION WORK. THE LIFT WILL NEED TO BE POSITIONED ON CHARTRES STREET, TRAFFIC WILL GO AROUND CONSTRUCTION AREA DURING RESTORATION. SCAFFOLDING BLOCKING THE SIDEWALK ON THE RIVER SIDE OF CHARTRES WILL BE USED TO INSTALL THE PORCH BOARDS. SCOPE OF RESTORATION WORK IS ON THE FRONT OF THE BUILDING ONLY.

PROPOSED SCOPE OF WORK:

1. IRON WORK - WASH, HAND SCRAPE, PRIME, AND PAINT. WELD BROKEN PARTS, THREE AREAS.
2. GALLERY PORCH - REMOVE EXISTING TREATED PINE PORCH BOARDS. REPLACE USING AERATIS COMPOSITE DECKING.
3. SOFFIT - CLEAN, PREP AND PAINT ENTIRE AREA. REPLACE ONE SIDE OF WEATHER BOARD (TOP RIGHT). CLEAN AND ADJUST RAIN GUTTER TO STOP LEAKING DURING HEAVY RAIN.
4. PAINT AND REPAIR ALL WOODEN SHUTTERS ON 2ND FLOOR. PATCH WEATHERED PARTS AS NEEDED USING SPANISH CEDAR AND EPOXY WOOD REPAIR KIT. SECURE HINGES TO EXISTING WINDOW JAMBS.
5. ADD ADDITIONAL WOOD SLEEPER TO SUPPORT AERATIS PORCH INSTALL.

VCC GUIDELINES REFERENCED FOR THIS PROPOSAL
GUIDELINES FOR EXTERIOR PAINTING 09-4
GUIDELINES FOR WINDOW AND DOORS 07-6, 07-14
GUIDELINES FOR BALCONIES, GALLERIES, AND PORCHES 08-12

FRENCH QUARTER
 921 CHARTRES ST

HOYLE DESIGNS LLC
 504-256-8747 DREW@HOYLEDESIGNS.COM
 WWW.HOYLEDESIGNS.COM

DATE
 4.11.23

REVISION
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SHEET
 1 OF 7

FRENCH QUARTER
921 CHARTRES ST

HOYLE DESIGNS LLC
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WWW.HOYLEDISIGNS.COM

DATE
2.28.23

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SHEET
2 OF 7

OUTLINE OF PROPOSED RESTORATION AREA.

RAIN GUTTER:
CLEAN, ATTACH, AND ADJUST
TO STOP LEAKING.

IRON REPAIR:
WELD BROKEN PARTS. PARTS
ARE AT PROJECT SITE.

REPLACE WEATHER BOARD:
REMOVE AND REPLACE S&S WEATHER
BOARD AT TOP.

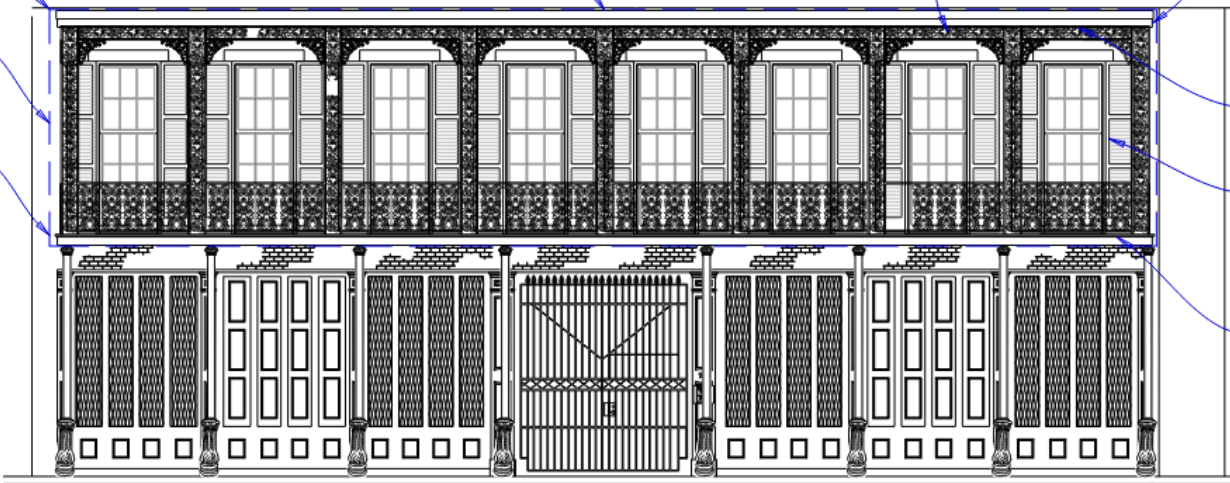
IRON WORK:
PREPARE, PRIME, AND PAINT.

PAINT PORCH CEILING

GALLERY PORCH:
REMOVE EXISTING TREATED PINE
PORCH BOARDS. REPLACE USING
AERATIS COMPOSITE DECKING.

PAINT ALL SHUTTERS. PATCH WEATHERED PARTS
AS NEEDED USING SPANISH CEDAR AND EPOXY
WOOD REPAIR KIT. SECURE HINGES TO EXISTING
WINDOW JAMBS.

DAMAGED WOOD PORCH BOARDS.



921 CHARTRES ST FRONT ELEVATION 2.1
SCALE: 1/8"=1'-0"
GALLERY AND IRON WORK SHOWN.

CONDO UNIT 12

CONDO UNIT 10

CONDO UNIT 16

PAINT UNDER PORCH AND STRINGERS.

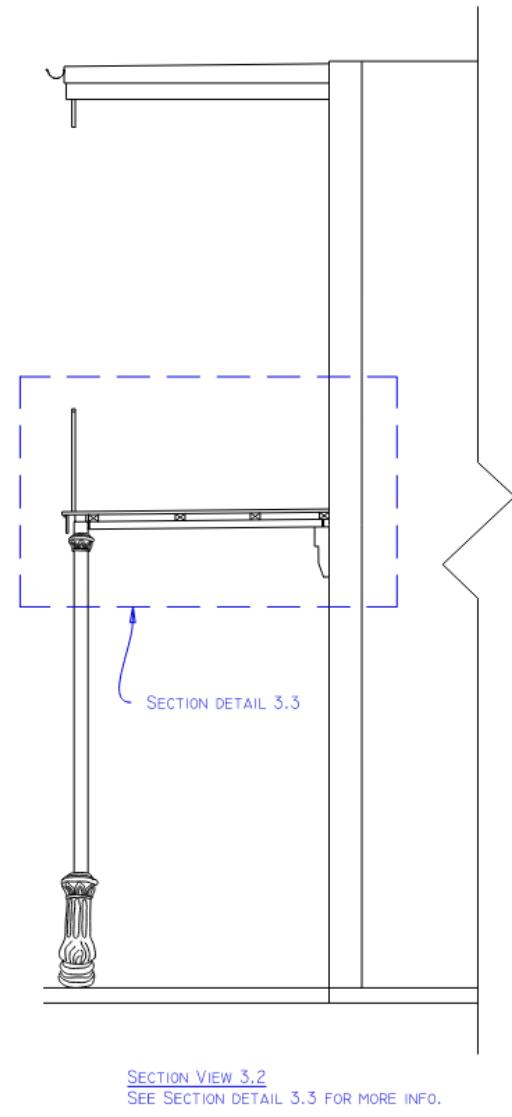
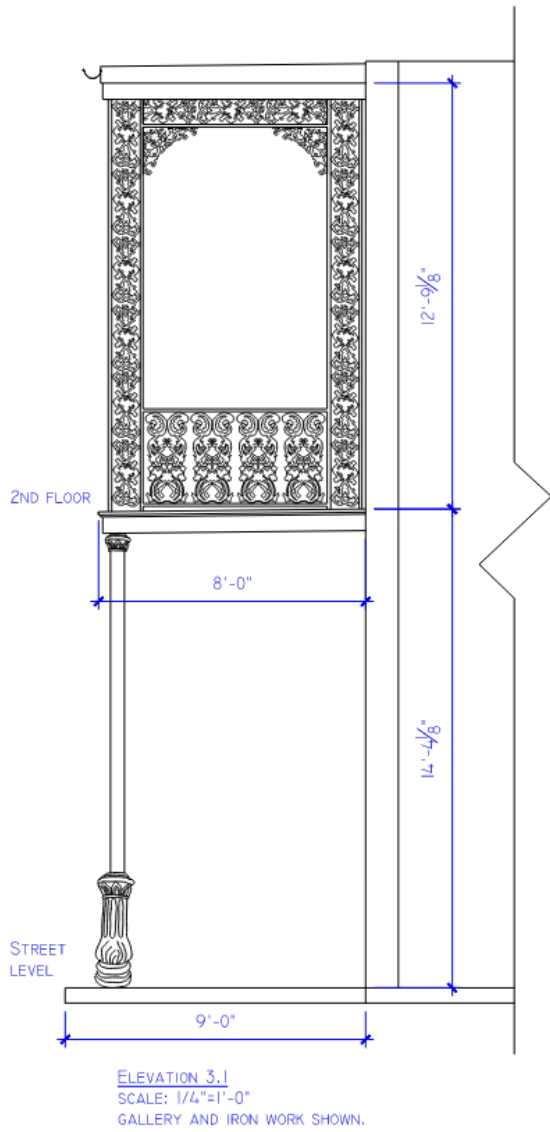
NO WORK HERE. 1ST FLOOR

921 CHARTRES ST FRONT ELEVATION 2.2
WINDOWS AND BRICK SHOWN.

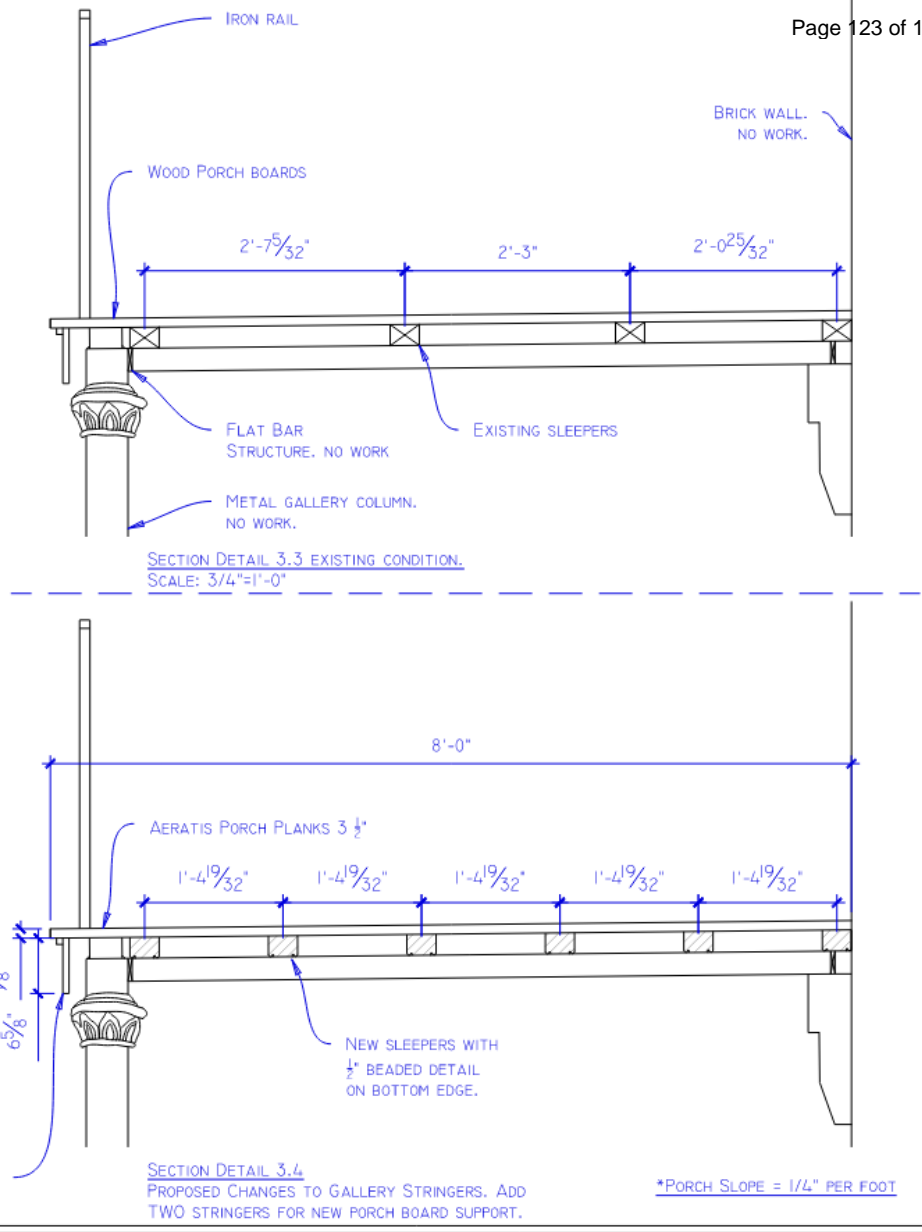
SECTION 3.1
SEE SHEET 3 FOR MORE INFO.

921 Chartres





NEW S4S CEMENT TRIM BOARD AND TRIM, PAINTED.
TRIM PROFILE TBD.



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SHEET
3 OF 7





921 CHARTRES ST REFERENCE PHOTO 2/3/23
SIDE OF BUILDING.



921 CHARTRES ST REFERENCE PHOTO 2/3/23
STREET AND PARKING SHOWN.



921 CHARTRES ST GOOGLE SATELLITE VIEW

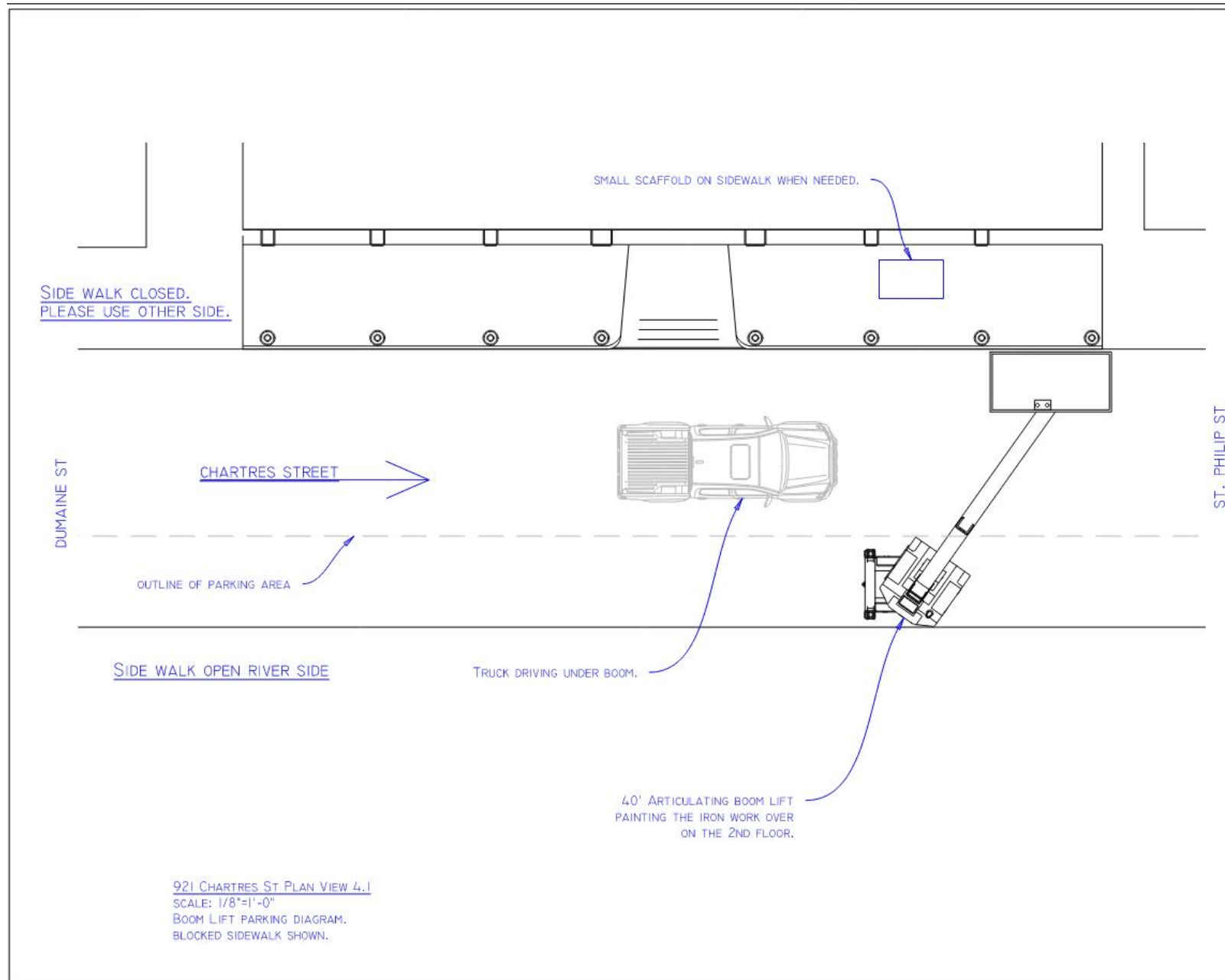
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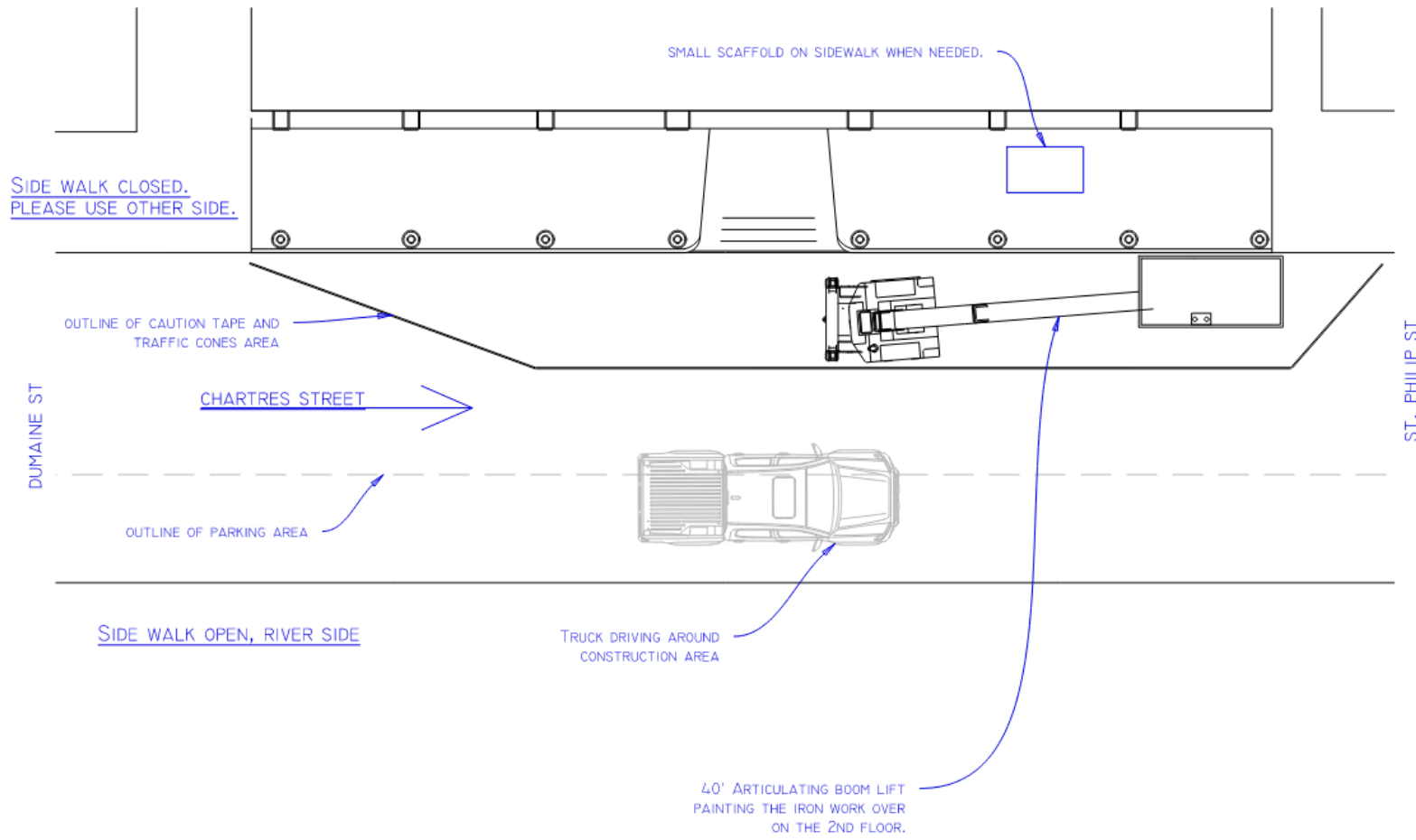
SHEET
4 OF 7



921 CHARTRES ST PLAN VIEW 4.1
SCALE: 1/8"=1'-0"
BOOM LIFT PARKING DIAGRAM.
BLOCKED SIDEWALK SHOWN.

921 Chartres





921 CHARTRES ST PLAN VIEW 4A.1 OPTION 2
 SCALE: 1/8"=1'-0"
 BOOM LIFT PARKING DIAGRAM.
 BLOCKED SIDEWALK SHOWN.

FRENCH QUARTER
 921 CHARTRES ST

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 WWW.HOYLEDISIGNS.COM

DATE
 4.11.23

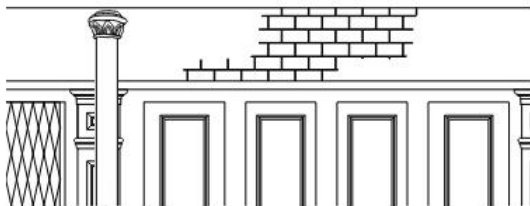
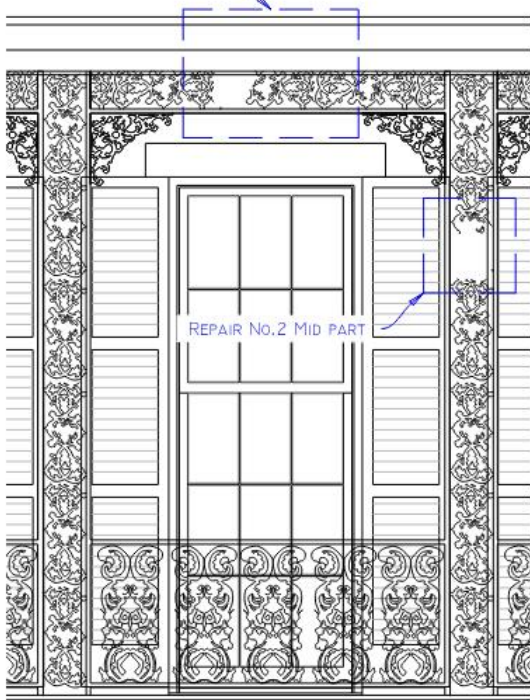
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SHEET
 4A OF 7

921 Chartres



REPAIR NO.1 TOP PART



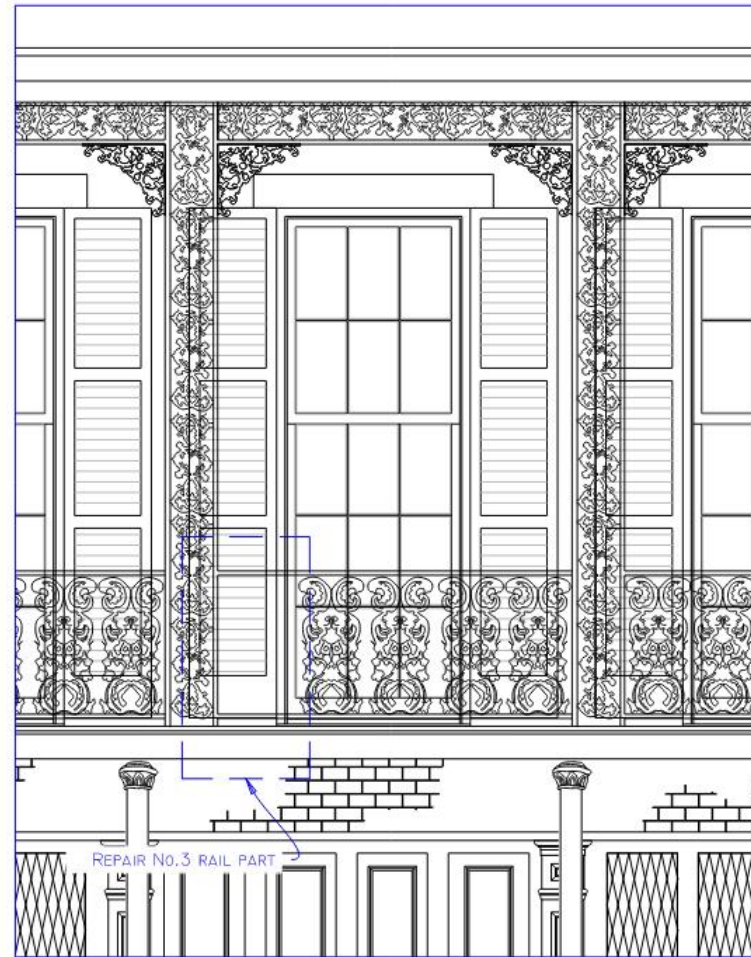
UNIT 16 ELEVATION 5.1
REPAIR TO IRON WORK. TWO BROKEN PARTS TO WELD BACK.



REFERENCE PHOTO 5.2
IRON PIECE FOR THE TOP.
REPAIR NO.1



REFERENCE PHOTO 5.3
IRON PIECE FOR THE MID PART.
REPAIR NO.2



UNIT 10 ELEVATION 5.4
REPAIR TO IRON WORK. ONE BROKEN PART TO WELD BACK.

- NOTES:
1. REPAIR WELDS TO BE PREFORMED USING NICKEL WELDING RODS.
 2. PRIMER TO BE RUSTOLEUM RED OXIDE PRIMER.



REFERENCE PHOTO 5.5
IRON PIECE FOR THE RAIL PART.
REPAIR NO.3

FRENCH QUARTER
921 CHARTRES ST

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WWW.HOYLEDISIGNS.COM

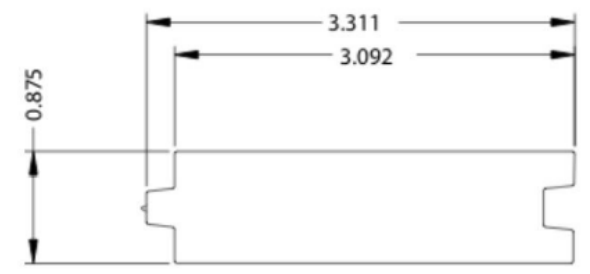
DATE
2.28.23

REVISION
0

SHEET
5 OF 6



Aeratis Heritage T&G Porch Flooring Dimensions



Lengths: 12', 16', or 20'
Width: 3-1/8" (3.092)
Thickness: 7/8"

[AERATIS HERITAGE T&G PORCH FLOORING DETAILS HTTPS://WWW.AERATIS.COM/HERITAGE](https://www.aeratis.com/heritage)



[AERATIS HERITAGE T&G PORCH FLOORING BATTLESHIP GRAY.](#)

Aeratis Battleship Gray, Weathered Wood and Vintage Slate

Black HC-90



[PROPOSED TOP COAT PAINT COLOR FOR IRON, BENJAMIN MOORE HC-90 BLACK. HELM PAINT ALL PURPOSE ENAMEL GLOSS, SOLVENT BASED PAINT.](#)

White Dove OC-17



[PROPOSED TOP COAT PAINT COLOR PORCH CEILING, BENJAMIN MOORE WHITE DOVE OC-17, EXTERIOR AURA OR HELM ALL PURPOSE ENAMEL.](#)

Eternity AF-695

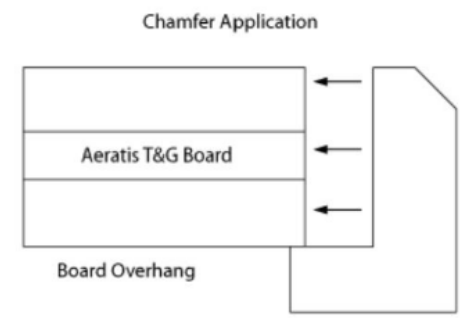
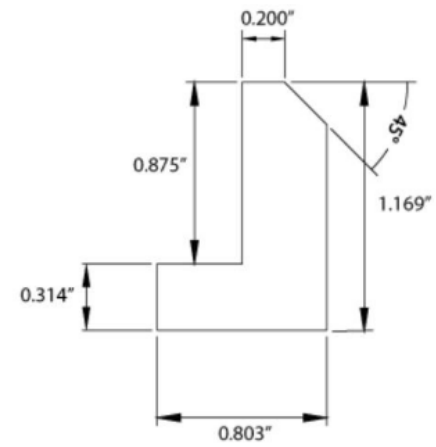


[PROPOSED TOP COAT PAINT COLOR FOR WOOD SHUTTERS, BENJAMIN MOORE ETERNITY AF-695. HELM PAINT ALL PURPOSE ENAMEL GLOSS, SOLVENT BASED PAINT.](#)



1" x 7/8"
Chamfer nosing

[AERATIS HERITAGE T&G PORCH FLOORING CHAMFER NOSING OPTION. PLEASE ADVISE.](#)



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HOYLE DESIGNS LLC
504-256-8747 DREW@HOYLEDISIGNS.COM
WWW.HOYLEDISIGNS.COM

DATE
2.28.23

REVISION
0

SHEET
6 OF 7





REFERENCE PHOTO OF DAMAGED WOOD. UNIT 10.



REFERENCE PHOTO OF BUILDING.



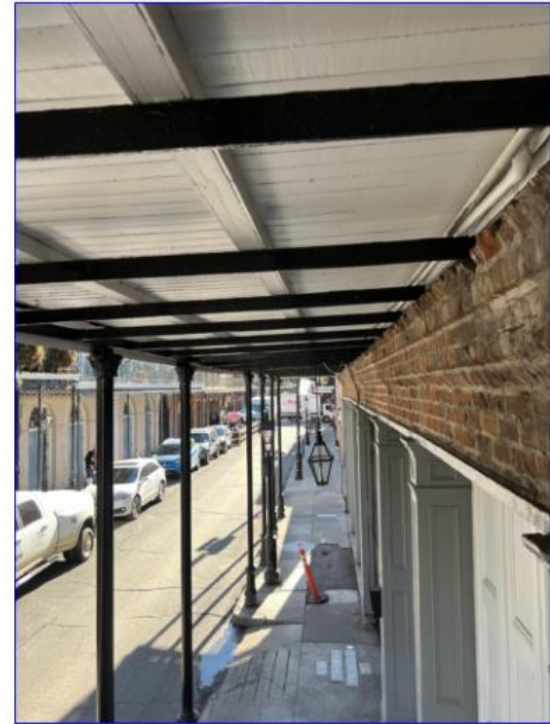
REFERENCE PHOTO OF SHUTTERS FOR PAINT COLOR AND RESTORATION.



REFERENCE PHOTO OF PORCH CEILING.



REFERENCE PHOTO OF EXISTING PORCH SLEEPERS.



REFERENCE PHOTO OF STREET AND SIDEWALK.

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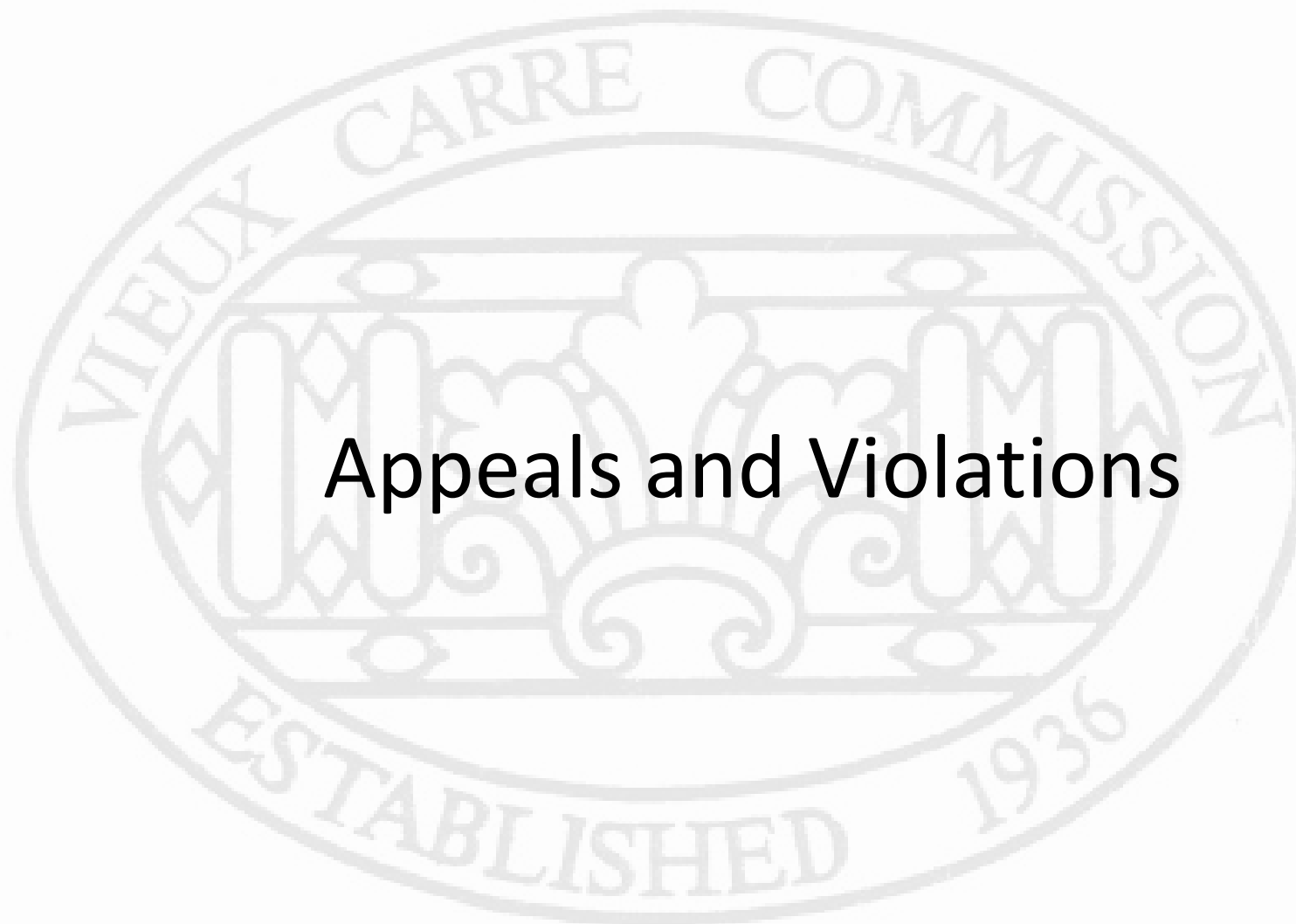
SHEET
7 OF 7

921 Chartres

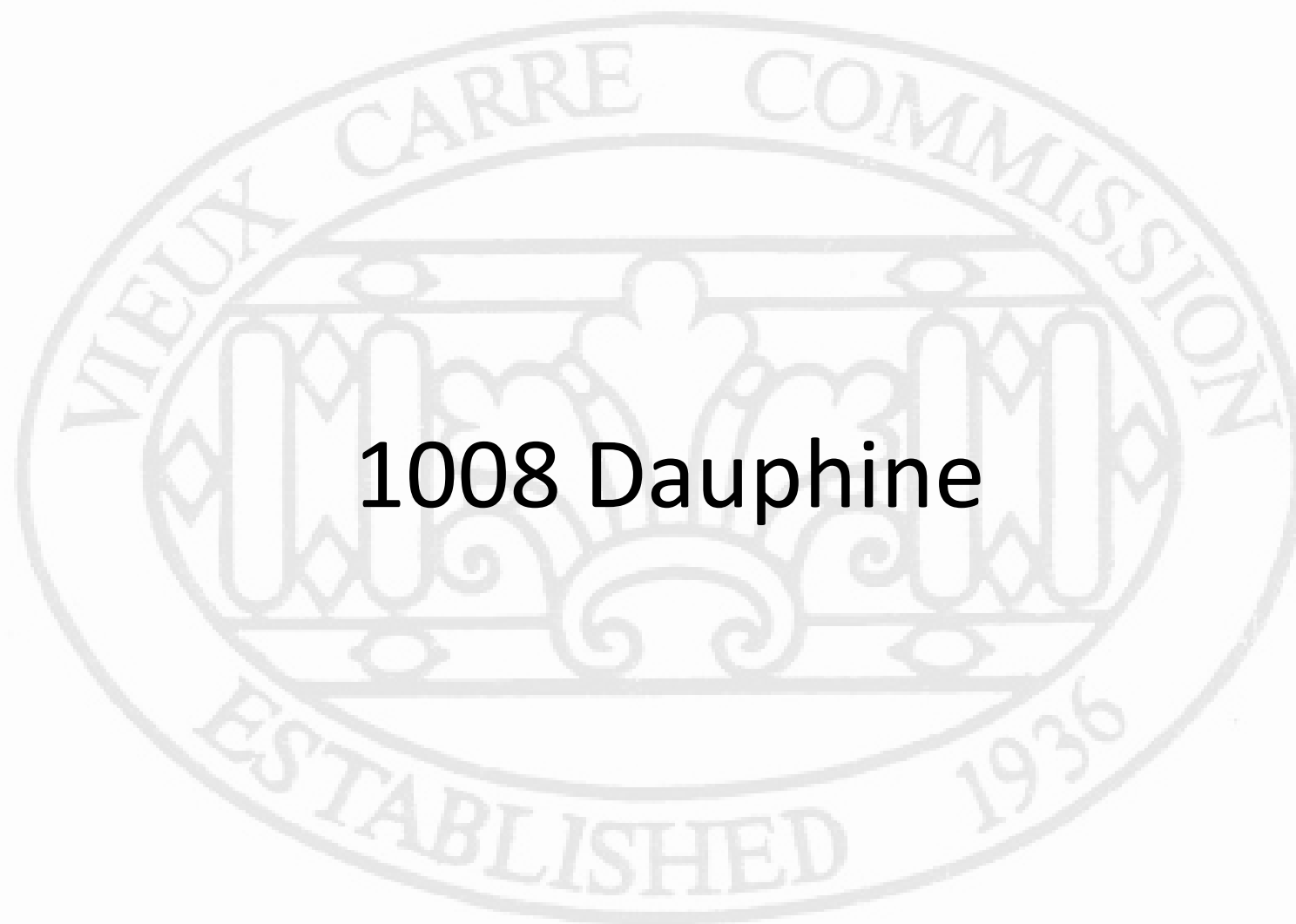
Vieux Carré Commission

April 25, 2023





Appeals and Violations



1008 Dauphine



1008 Dauphine

VCC Architecture Committee

April 25, 2023





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1008 Dauphine – previous band above frieze windows





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1008 Dauphine – previous band above and below frieze windows



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REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA



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NO.	DESCRIPTION

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PHASE CD
DRAFTER JC
CHECKER JC
SCALE AS SHOWN
ISSUE# 01/30/2022
SHEET

SK-2





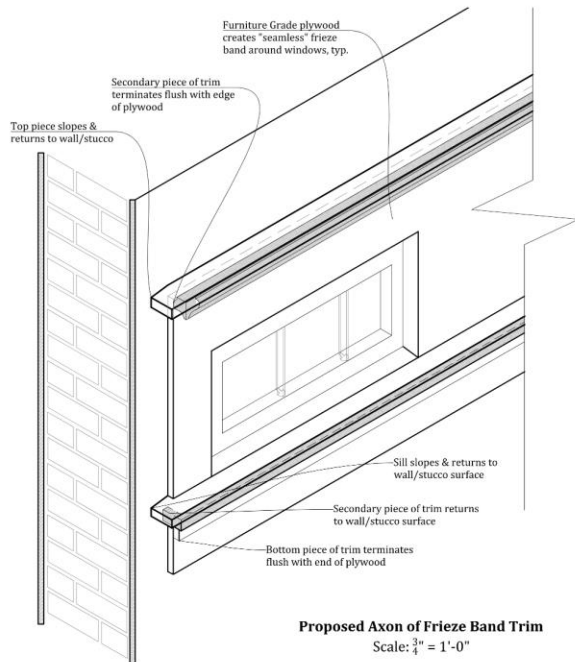
Southkick Historic Preservation
southkicktlc@gmail.com

Revisions

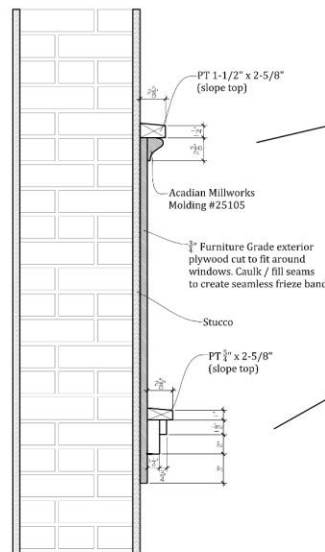
1008 Dauphine
Frieze Band Details

Date
3-6-23

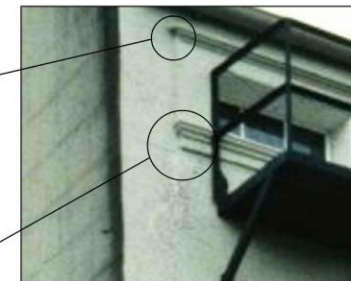
Sheet
SK-3



Proposed Axon of Frieze Band Trim
Scale: 3/4" = 1'-0"



Proposed Section of Frieze Band Trim
Scale: 1" = 1'-0"



Scaled from photo

Scaled from photo

VCC Library Photo of 1008 Dauphine, 1991
Close-up on frieze band trim suggests a small curved trim piece at the top with squared/stepped trim elements at the bottom, elements in-line with the Greek Revival style.



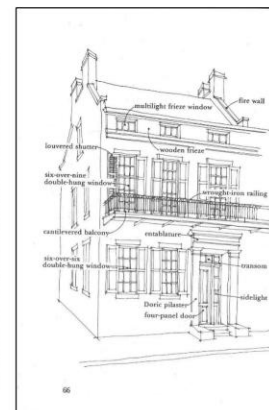
810 Esplanade, NOLA
Greek Revival Frieze Band Windows with stepped/square trim elements



Julia Row, NOLA
Greek Revival Frieze Band Windows with stepped/square and dentil trim elements



Virginia McAlester's Example of Greek Revival Townhouse in New Orleans
Greek Revival Frieze Band Windows with stepped/square and dentil trim elements

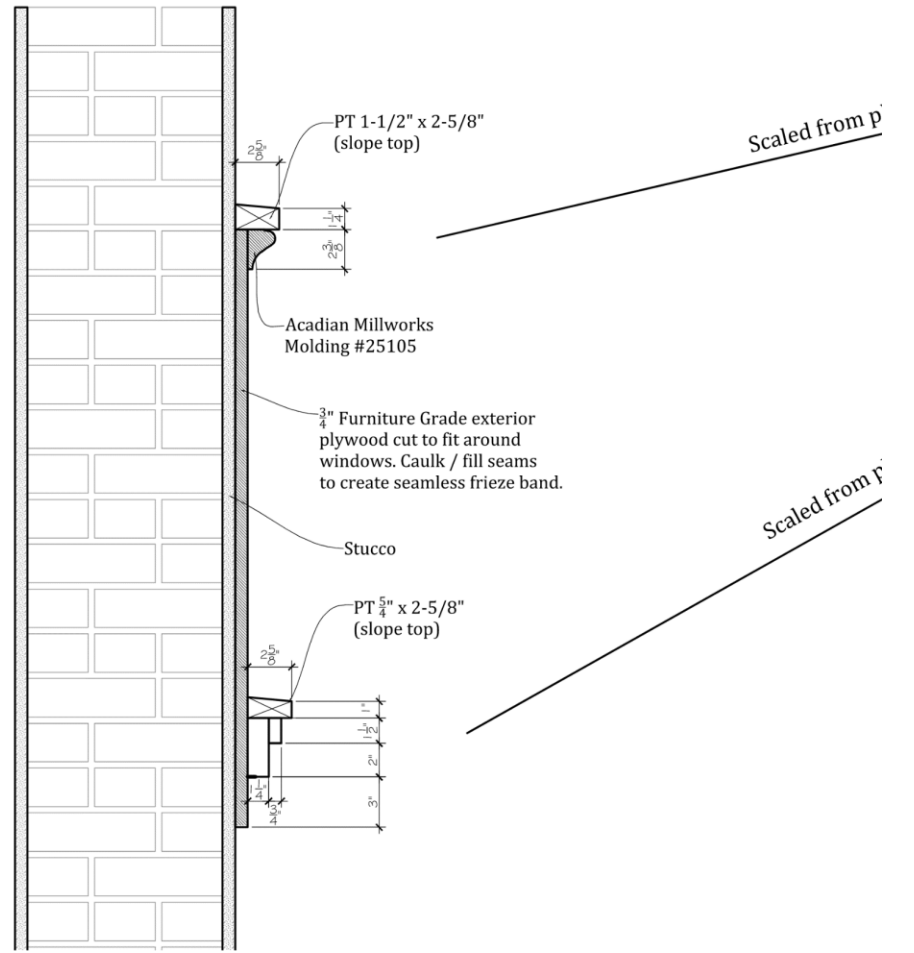
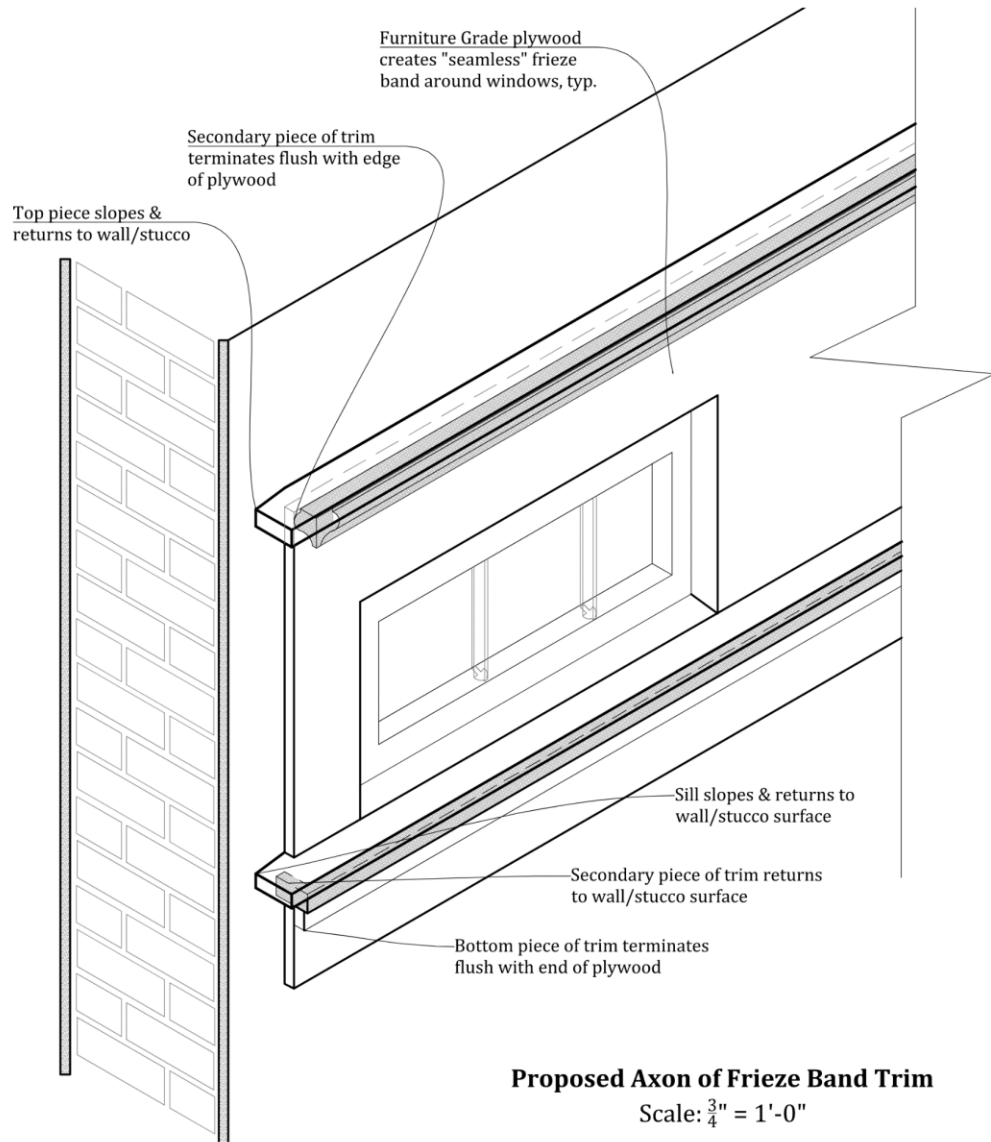


Lloyd Vogt's example of Greek Revival Townhouse in New Orleans
Greek Revival Frieze Band Windows with simplified trim details



VCC Library Photo of 1008 Dauphine, 1991
This image shows square/stepped trim at the bottom of the frieze band, which we believe is closer to the historic condition.





Proposed Section of Frieze Band Trim
Scale: 1" = 1'-0"

REPAIRS AND RESTORATIONS TO
1008-1010 DAUPHINE STREET
FRENCH QUARTER, NEW ORLEANS, LA

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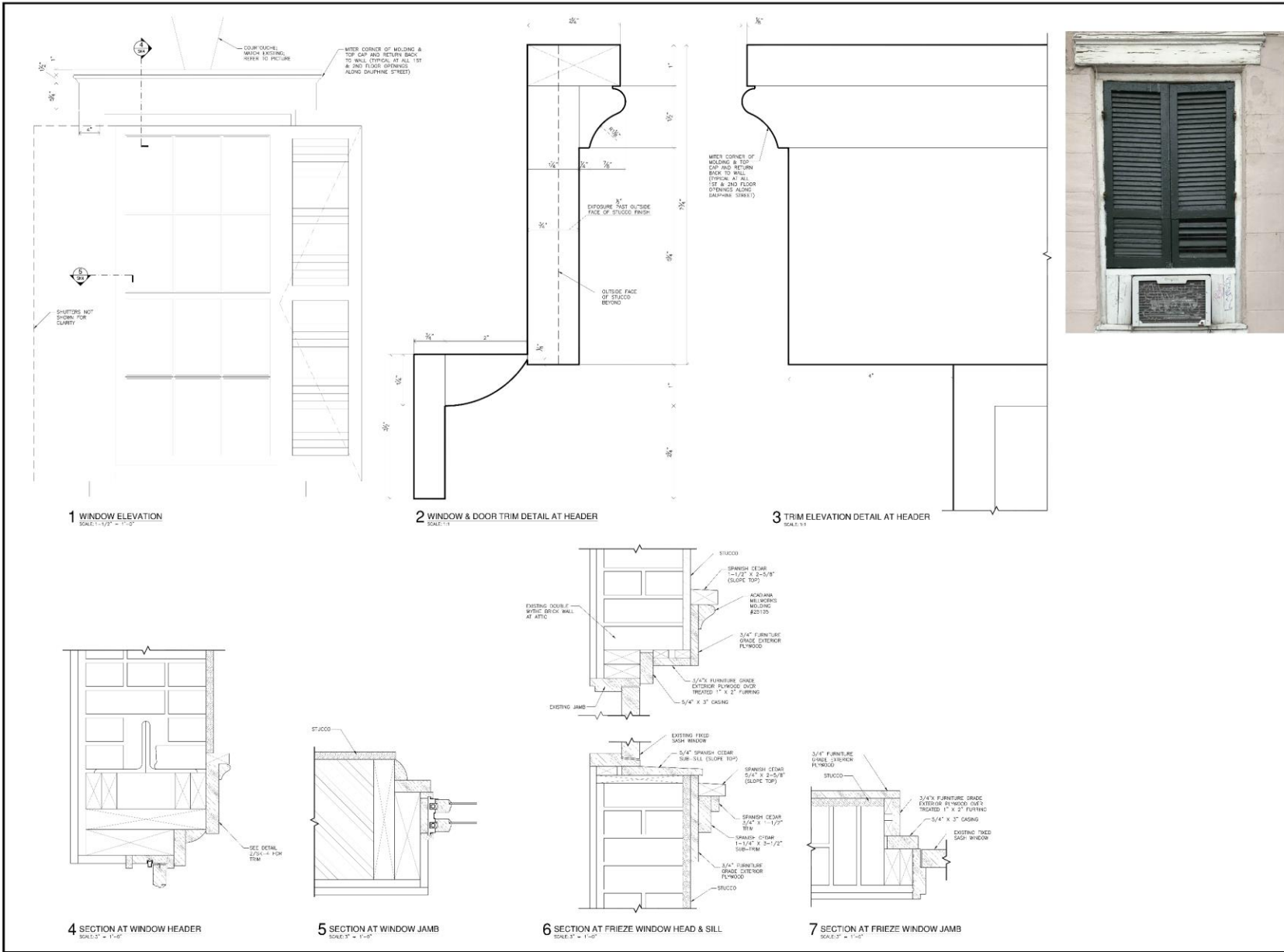
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SCALE: AS SHOWN
ISSUE#: 01/30/2022

SK-4





1008 Dauphine – mockup

VCC Architecture Committee

April 25, 2023





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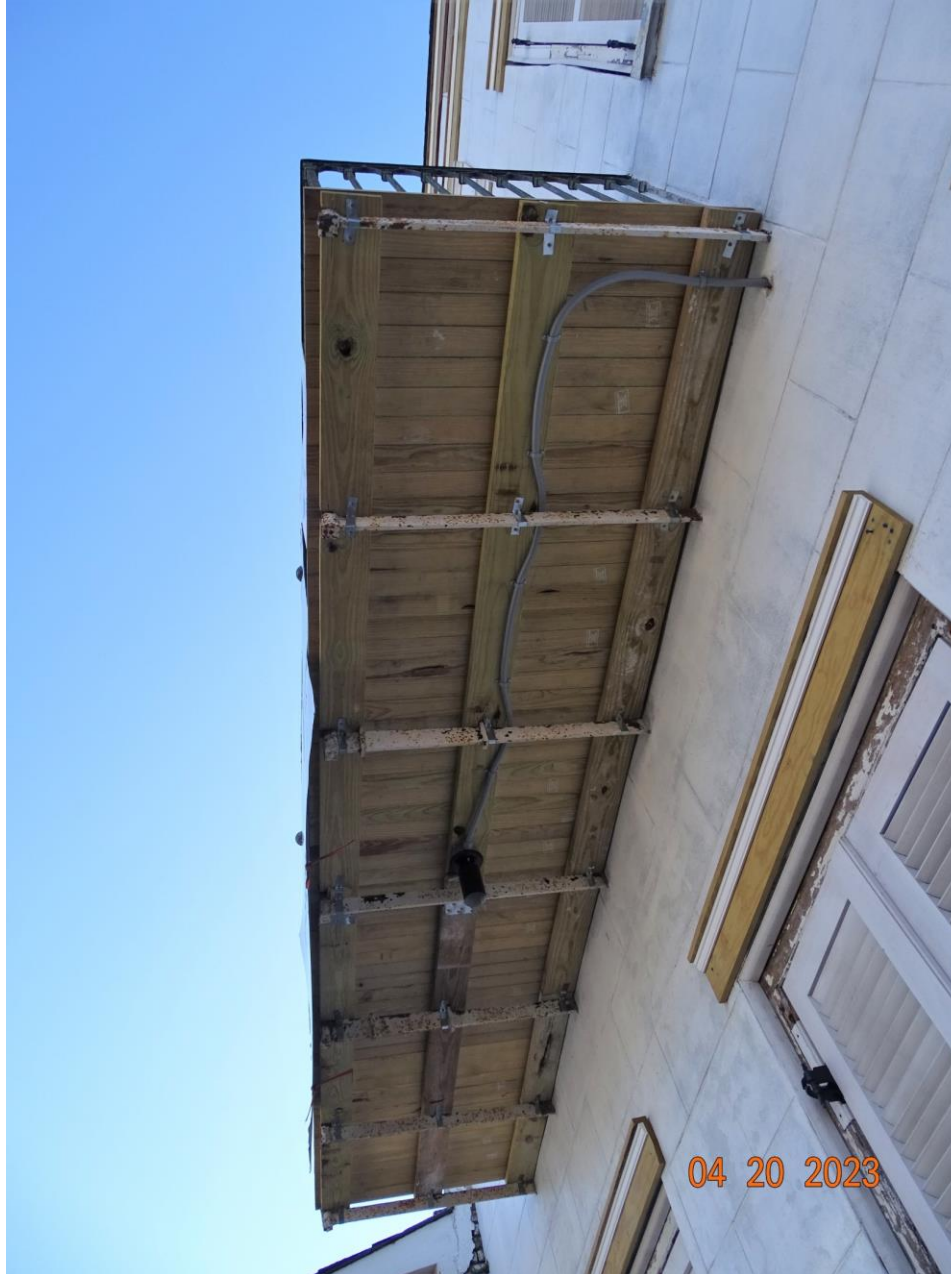




1008 Dauphine – mockup
VCC Architecture Committee

April 25, 2023







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April 25, 2023



