

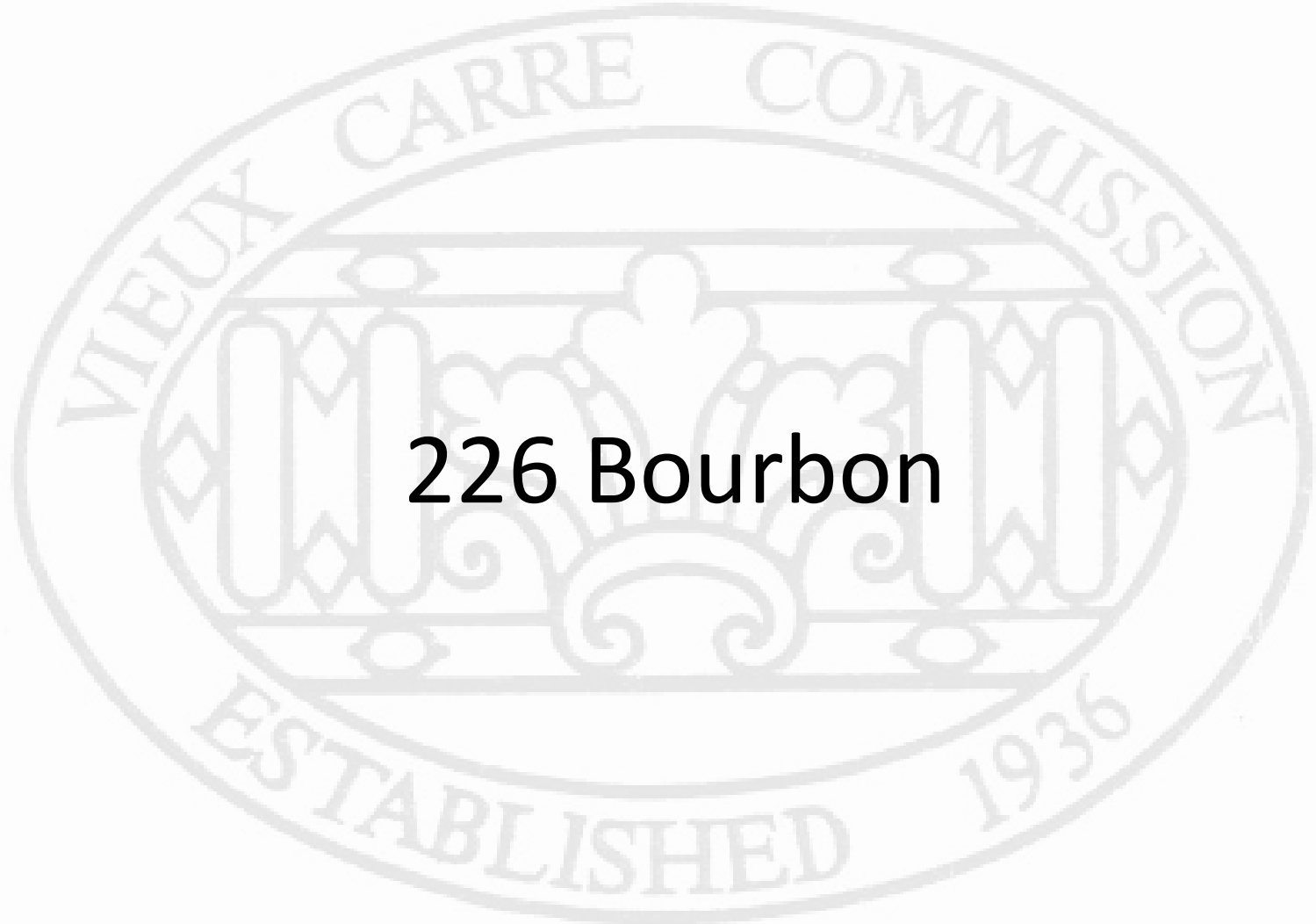


# Vieux Carré Commission Architecture Committee Meeting

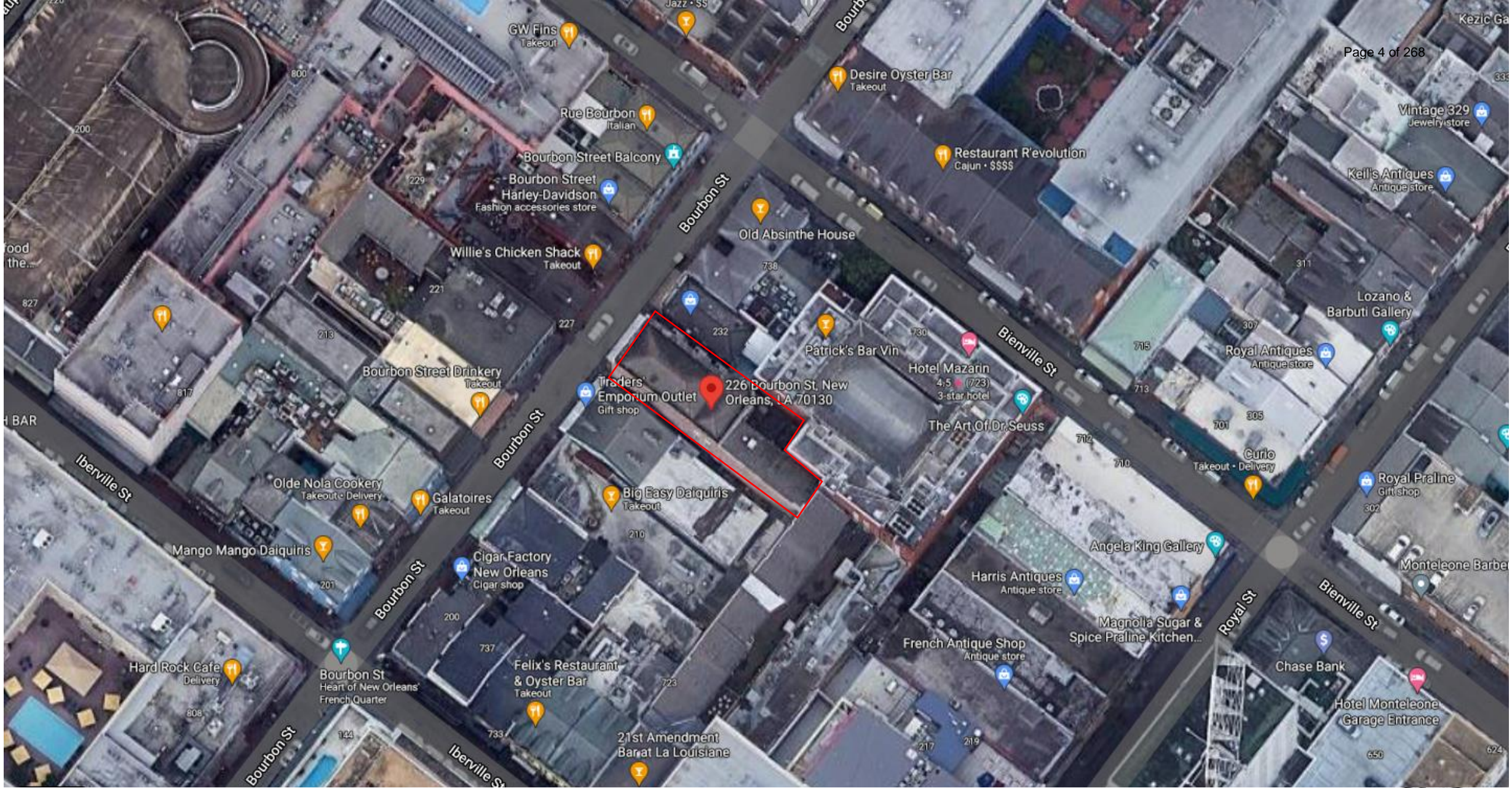
Tuesday, May 9, 2023



# Old Business



**226 Bourbon**

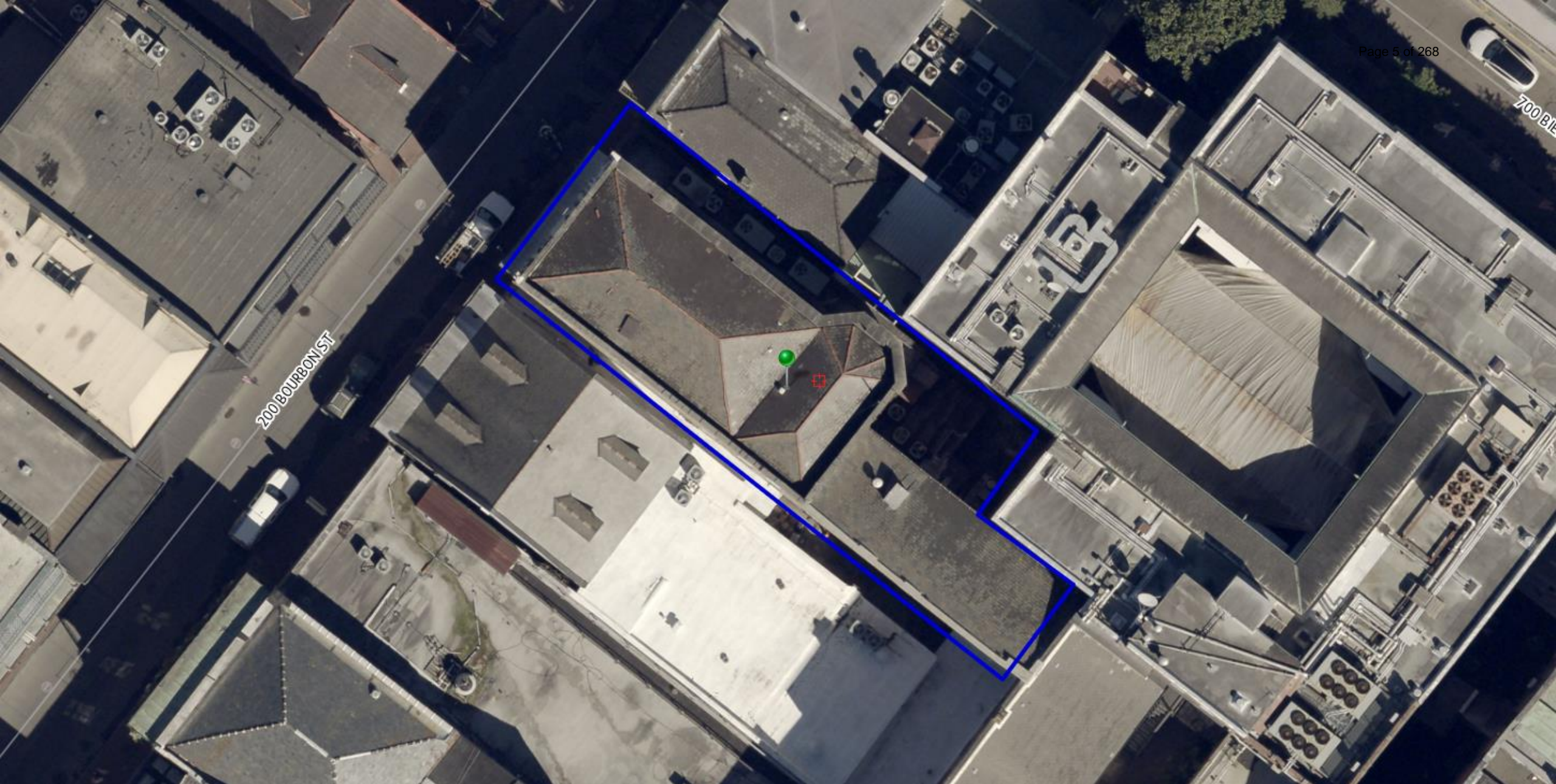


226 Bourbon

VCC Architectural Committee

May 9, 2023





226 Bourbon

VCC Architectural Committee

May 9, 2023





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May 9, 2023



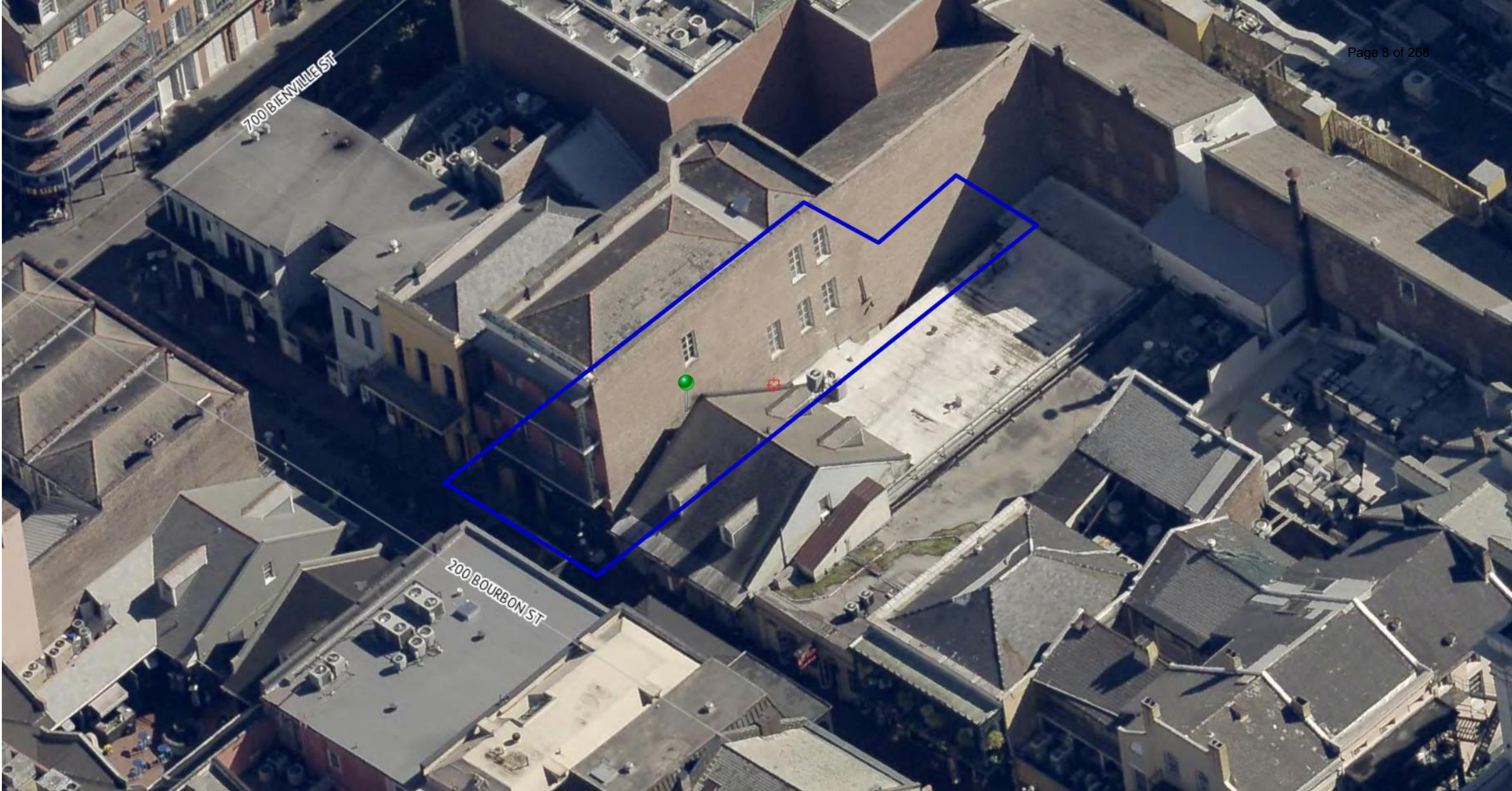


226 Bourbon

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226 Bourbon

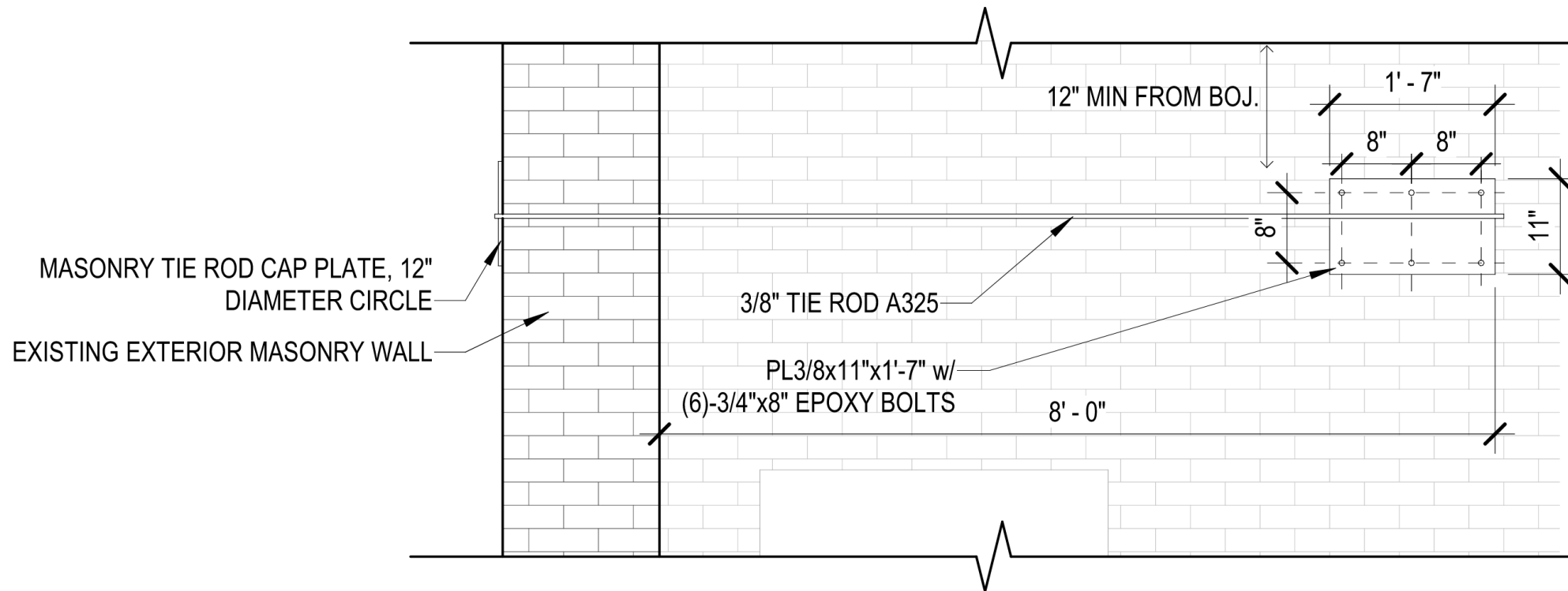
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A203

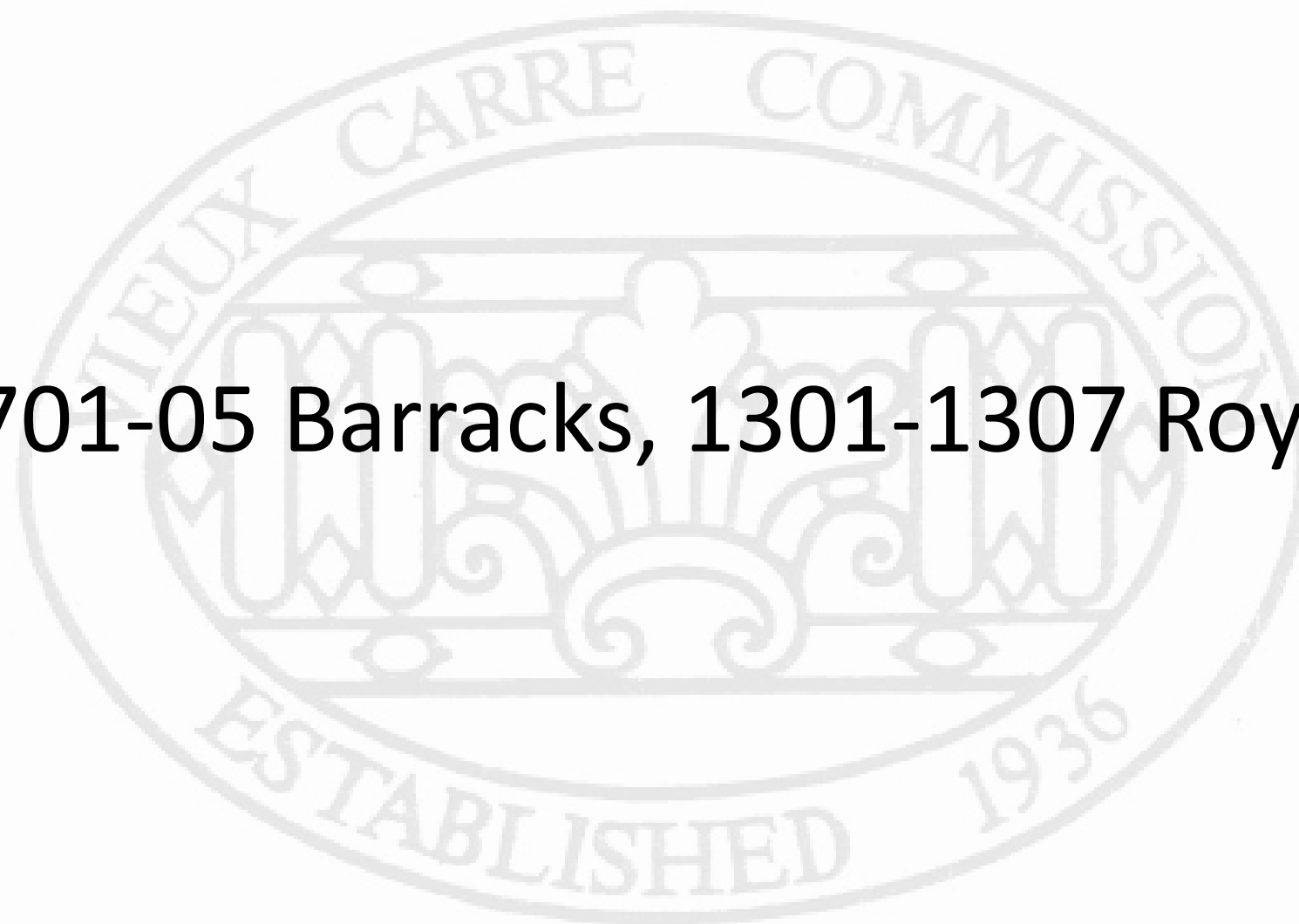
### MASONRY WALL TIE BACK DETAIL

1/2" = 1'-0"



# New Business

**701-05 Barracks, 1301-1307 Royal**





**701-705 Barracks**

VCC Architecture Committee

May 09, 2023





701-705 Barracks,  
ca. 1960

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701-705 Barracks, 1964

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701-705 Barracks

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May 09, 2023







701-705 Barracks

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**705  
Barracks**  
(rotted porch  
boards/  
temporary  
bracing  
schematic)

See "Bracing  
Details" for  
more  
information

## 701-705 Barracks

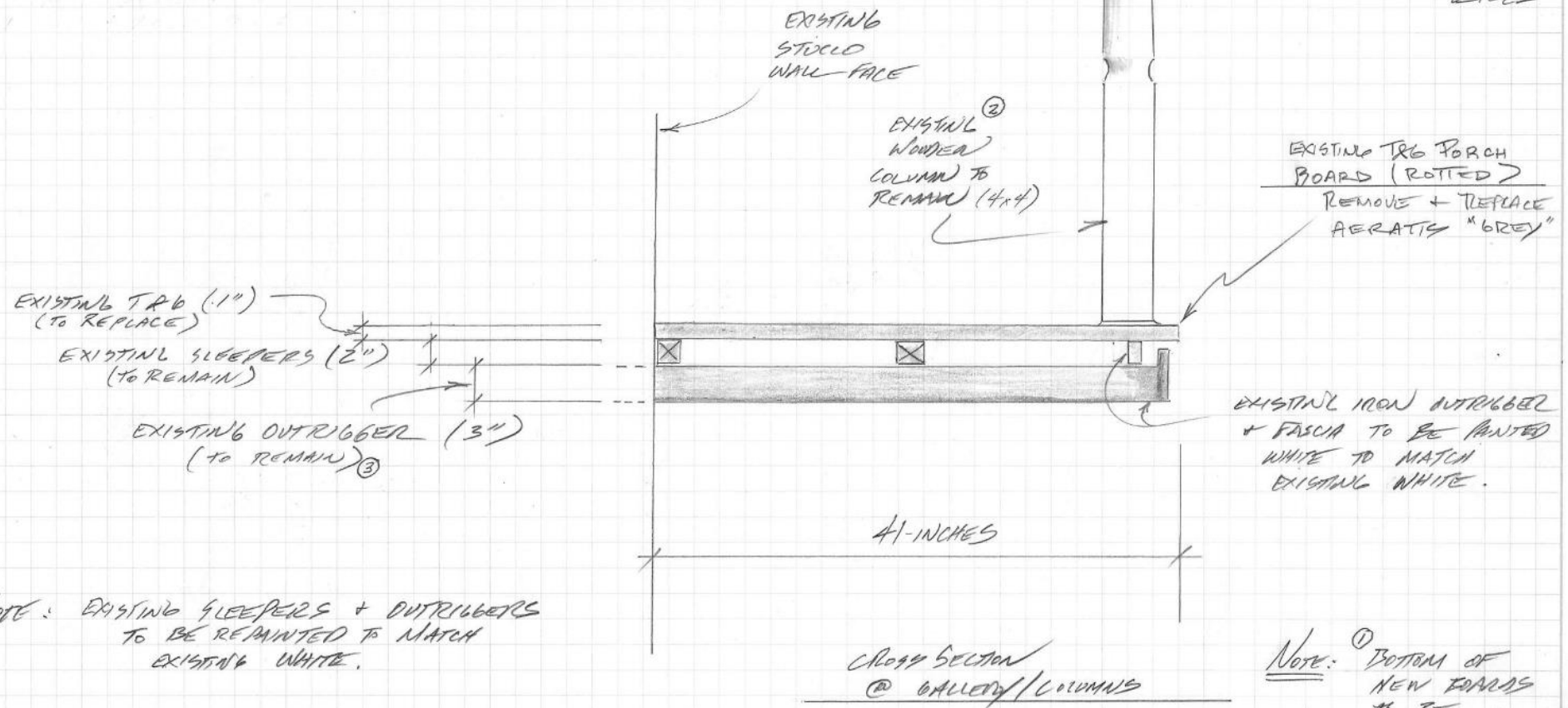
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# 705 BARRACKS



③ NOTE: EXISTING SLEEPERS + OUTRIGGERS TO BE REPAINTED TO MATCH EXISTING WHITE.

NOTE: ① BOTTOM OF NEW FASCIA TO BE PAINTED WHITE TO MATCH EXISTING UNDER SIDE WHITE.  
② SEE PERMITS # TIBADC # 16Y00V FOR SHORING.

## PROPOSED REPAIR + REPAINTING (705 BARRACKS) / ROTTED PORCH BOARDS

1/8" = 1"  
BJS/CH





**Stream Projects (705 Barracks - Permitting & Temp Shoring only)airs) Proposal**

Date:  
March 13, 2023

701-705 Barracks  
VCC Architecture Committee



May 09, 2023



#### Existing Usage

- property owned my Matilda Stream, 1315 Royal Street (c/o Jane Boddie)
- property occupied 24/7 by married couple (tenants) utilizing the gallery daily
- gallery and roof-overhang above are both very narrow (41-inches)
- gallery decking is traditional tongue and groove, wooden boards, painted
- roof-overhang is partially supported by 3 wooden columns connected to the deck boards
- tenants have table and chair on gallery
- tenants have 8 plants on gallery (hanging and seated), requiring daily watering
- tenants own 2 large dogs, that are active on the gallery daily
- 

#### Existing Conditions (see photos)

- deck board surface has lost its coatings
- deck board surfaces are wavy, discontinuous, separated, and loose
- deck boards sections are crushing where loads are exerted on them
- deck boards are lacking contact to their supports below
- deck board ends are curled, translated, and separated from each other
- deck board tongue & grooves are separated from each other and missing
- 

#### Causes of Existing Conditions

- conditions noted above have been caused by a combination of wood-rot and loading from normal usage ("usage" noted farther above)
- the wood rot is being caused by continuous exposure to dampness via plant watering, dog-watering, humidity, rainfall, and run-off
- the dampness in and on the boards is perpetuated by unmanageable combinations of plant watering, dog-watering, humidity, rainfall, and run-off
- the dampness in and on the boards is not prevented by the roof-overhang alone
- the dampness in and on the boards, or frequency and direction of rains and storms, cannot be known or controlled by the tenants or owner
- the wood rot (fungus) accelerates its growth and spread when not controlled, and continues now unabated, as temperature and humidity allow
- the wood rot (fungus) benefits from the expansion and contraction of wood in all directions, shrinking and swelling as the wood grains allow

#### Potential Hazards of Existing Conditions & Causes

- the deck board surface is a worsening tripping hazard, as the boards continue buckling, separating, and disconnecting
- the deck board surface is a worsening slipping hazard, as curled ends and spongy wood expand and retain more and more water and dampness
- the deck board dampness and deterioration may have attracted termites to the boards and/or building, or will if not prevented
- the deck board deterioration allows deteriorated material to fall to the sidewalk below
- the deck board deterioration has advanced the point that it is structurally dangerous, or will be, if not prevented
- the column loads from the roof and self-weight may become unsupported at their connections to the deck
- the column support and connections to the deck will not prevent hand rails from loosening or kicking-out if not secured
- the hazards and causes expose tenant, owner, and contractor to general liability risk and cost
- 

#### Conclusions

- the causes and hazards occur faster than can be known and controlled by routine maintenance by owner or tenant
- the causes and hazards cannot be eliminated or feasibly managed by traditional wood materials, given the varying combinations of the causes and hazards
- the causes and hazards cannot be eliminated or feasibly managed by traditional wood coatings
- the causes and hazards require scheduling, site access, site clearing, and optimal weather for extended periods of time to facility wood installation, priming, and 2-coats of painting.
- the scheduling, site access, site clearing, and optimal weather requires the absence of tenants, their pets, their plants, and their furniture to facilitate wood installation, priming, and 2-coats of painting
- the causes, hazards, feasibility, scheduling, site clearing, and optimal weather conditions for repairing and/or replacing and re-painting natural wood creates a perpetual financial uncertainty, increased cost, and general liability risk to the tenants, owners, and contractors that are aware of these issues
- the causes and hazards above have become exponentially expensive to prevent or eliminate using painted wood alone and/or a broader roof-overhang
- the causes and hazards above can be prevented or eliminated using a synthetic/composite material for the decking surface
- a composite material is made in exactly the same profile, size, texture, and color of the existing wooden deck surface (when new), but will not deteriorate, translate, retain water, rot, or termites, or lose structural integrity, as the wood has
-

# Estimate

<b>1000 Preparation Preliminaries</b>	<b>\$1,956.1</b>
<p><b>0000 Project Requirements</b></p> <p>Important project information, contact information and general documents should be included here.</p> <p>Responsibilities of Parties</p> <p>Builder:</p> <p>Client:</p>	
<p><b>1000 Permits and Fees</b></p> <p>Builder shall complete permit applications and make submissions to municipality for all building and mechanical permits required. Standard permits have been included in this agreement for the permit fees. Unexpected fees will be billed to the client as needed.</p> <p>Owner is responsible for any HOA approvals, if required.</p>	
<p><b>1100 Architectural and Engineering</b></p> <p>Permit Coordination &amp; Drawings (Measurements, Site Plans, Detailing, Engineering, Photos, Scope of Work and submission per VCC Requirements)</p>	
<b>3000 Rough Structure</b>	<b>\$1,632.1</b>
<p><b>3100 Temporary Framing &amp; Bracing</b></p> <p>All temporary lumber and framing materials to sized and spaced per approved engineering drawings. Materials, where applicable, to be kiln dried and treated. To facilitate removal of existing boards and maintain alignment of columns and safety of tenants, temporary stanchions will be installed along each column at sidewalk to remove column/roof loads on boards and distribute them to sidewalk and wall-mounted cleats per engineering drawings attached.</p>	
<b>Pricing Summary</b>	
<b>Base Price</b>	<b>\$3,588.3</b>





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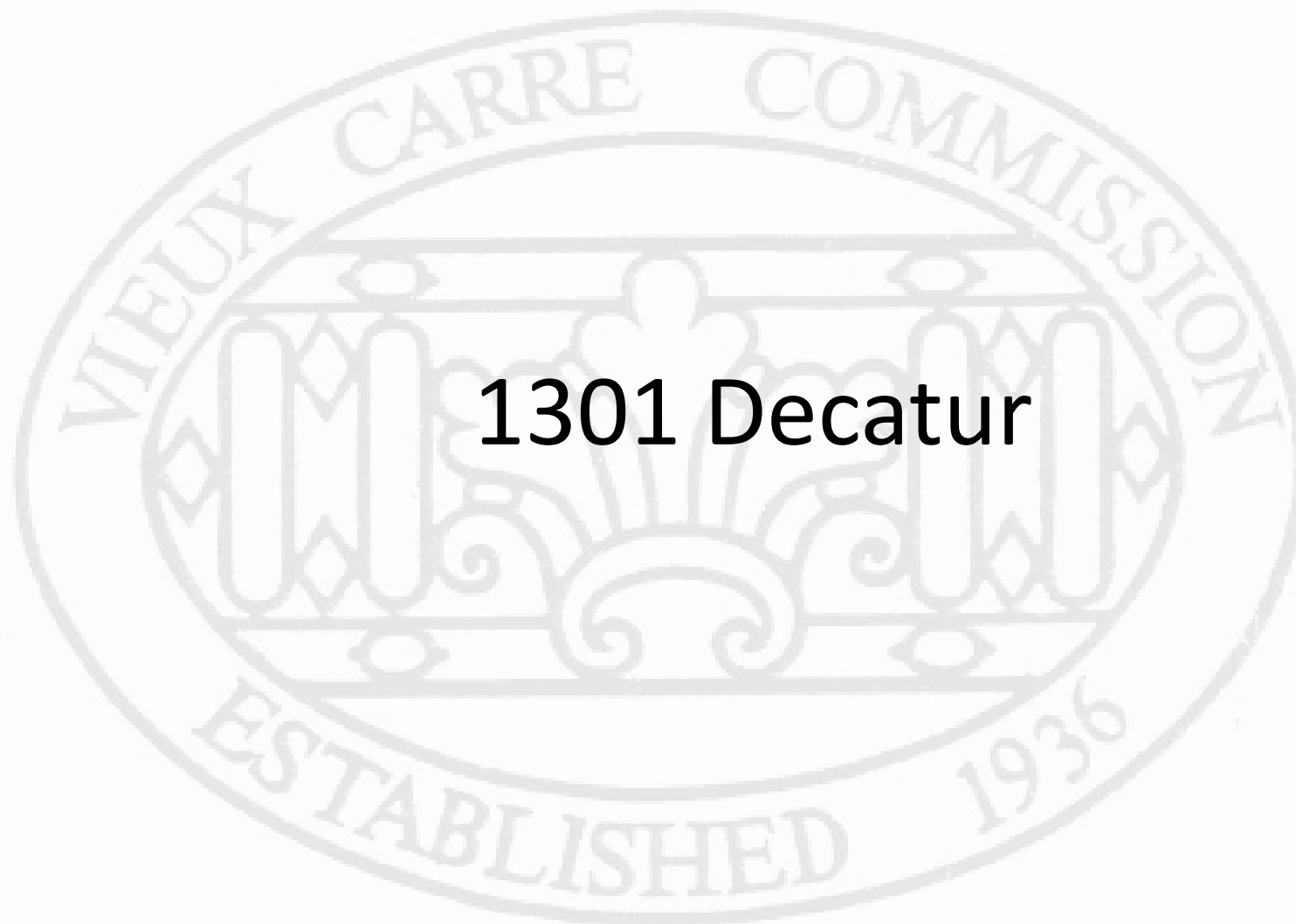


701-705 Barracks

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**1301 Decatur**



1301 Decatur

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1301 Decatur

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1301 Decatur, 1989

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May 09, 2023





1301 Decat  
VCC Architect

03 10 2023





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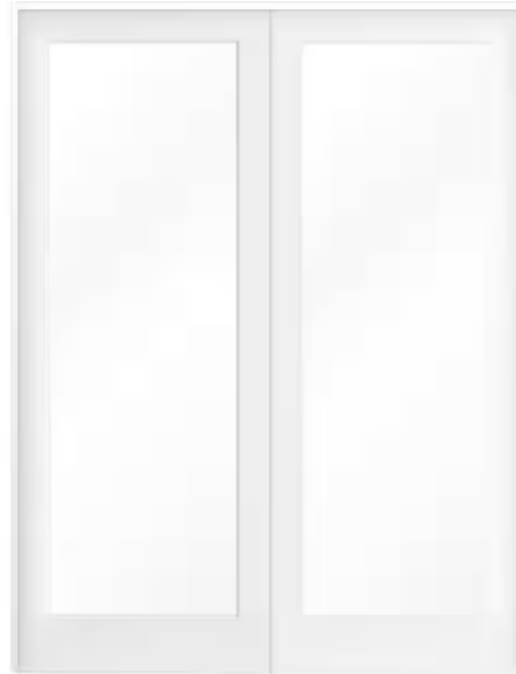
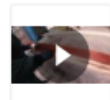
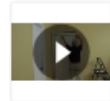
Home / Doors & Windows / Interior Doors / French Doors

Internet #308443150 Model #

185

Krosswood Doors  
**48 in. x 80 in. Craftsman Shaker 1-Lite Clear Glass Both Active  
MDF Solid Hybrid Core Double Prehung Interior Door**

★★★★☆ (69) Questions & Answers (82)



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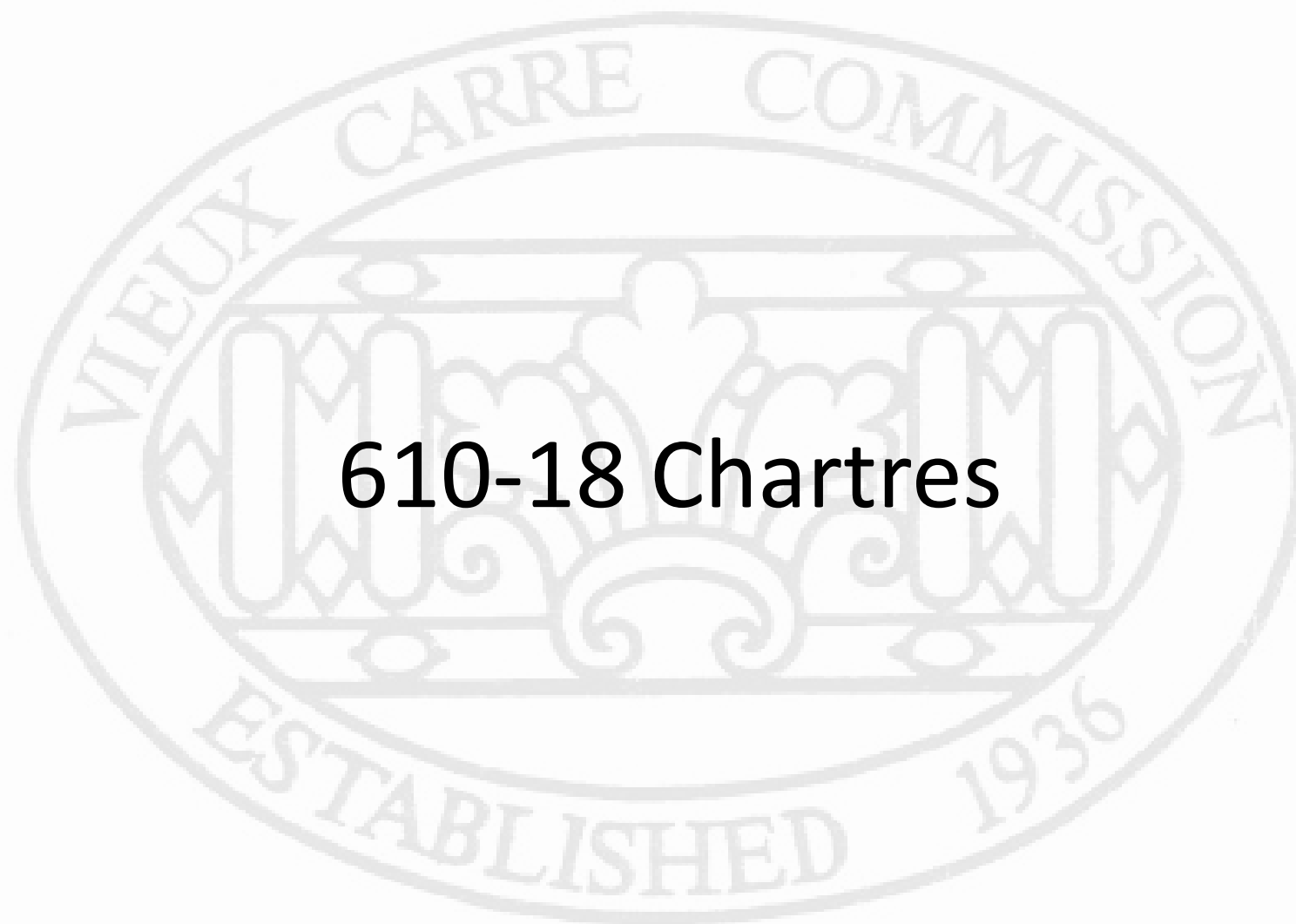
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**\$958<sup>00</sup>**

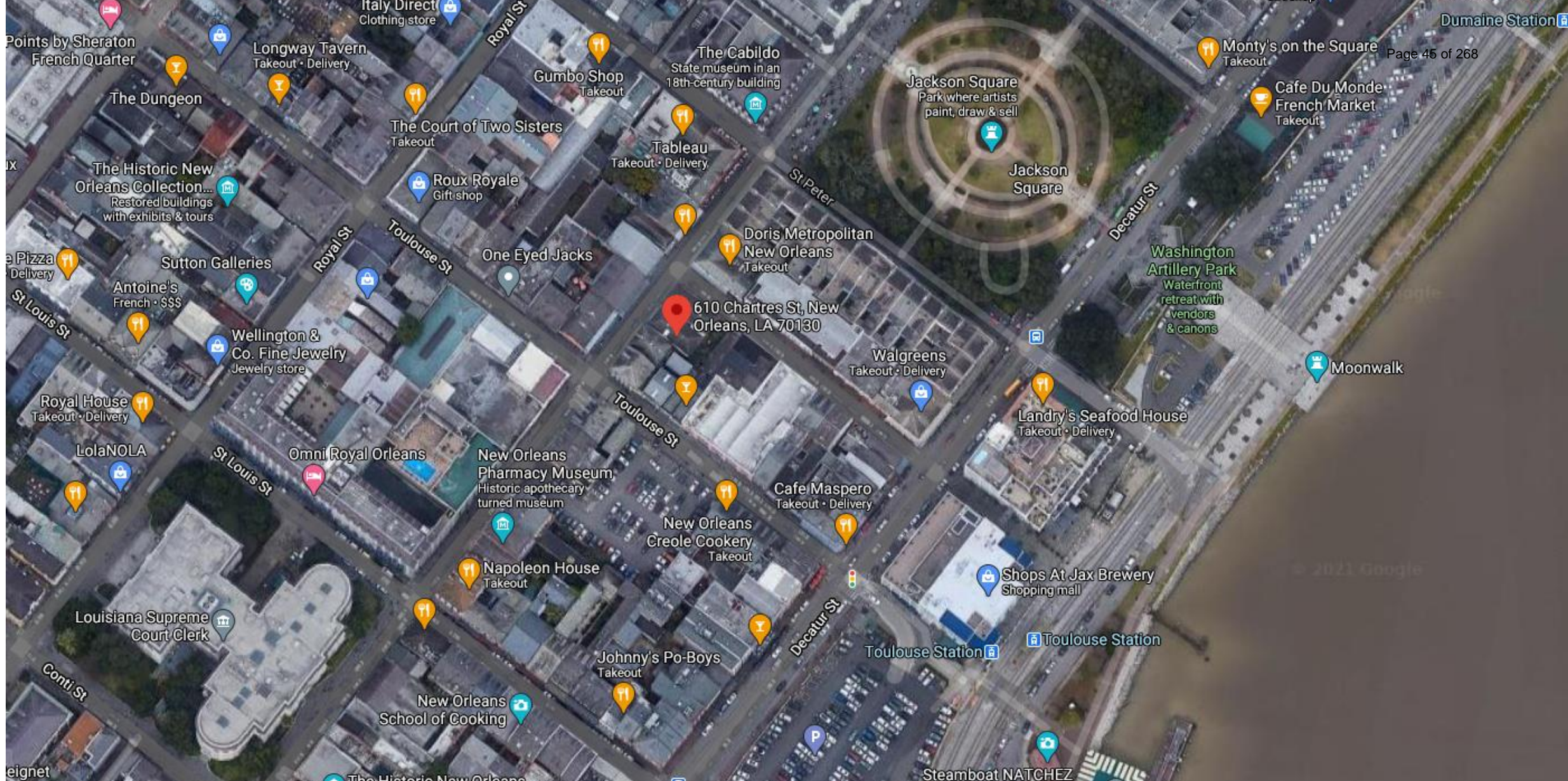
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# 610-18 Chartres



610 Chartres

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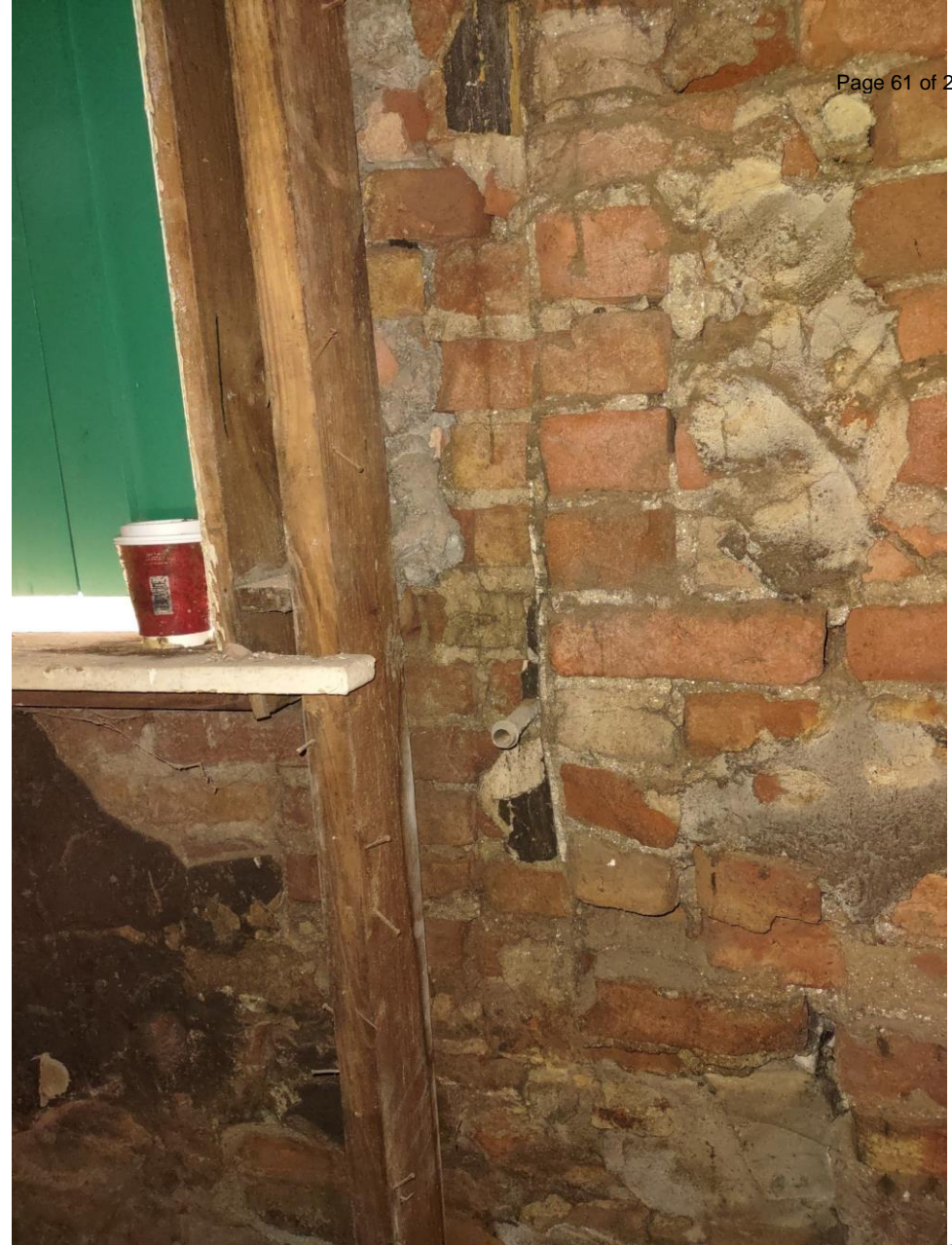


610 Chartres

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May 9, 2023







610 Chartres

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May 9, 2023





**KOCH AND WILSON ARCHITECTS**  
A PROFESSIONAL CORPORATION (CA) 441 581 7023  
1100 JACOBSON BLVD. LA 70130  
architects@kochandwilson.com



610-12 CHARTRES ALLEY  
3/4"=1'-0"



photo #2  
DEPENDENCY  
3/4"=1'-0"  
photo #1 →

photo #3

photo #4  
No Sash

photo #5

photo #6

Project:

EXISTING CONDITIONS  
610-12 # 616-18 CHARTRES ST

Form No. K1905

DATE: 11-1-2019

REVISION:

SCALE:

5

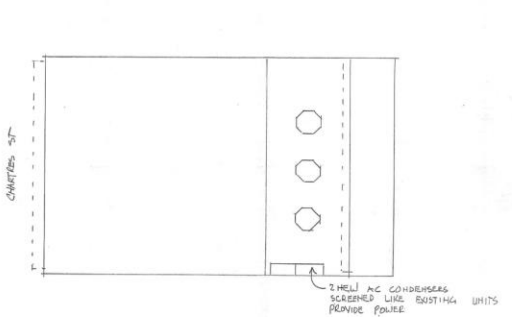
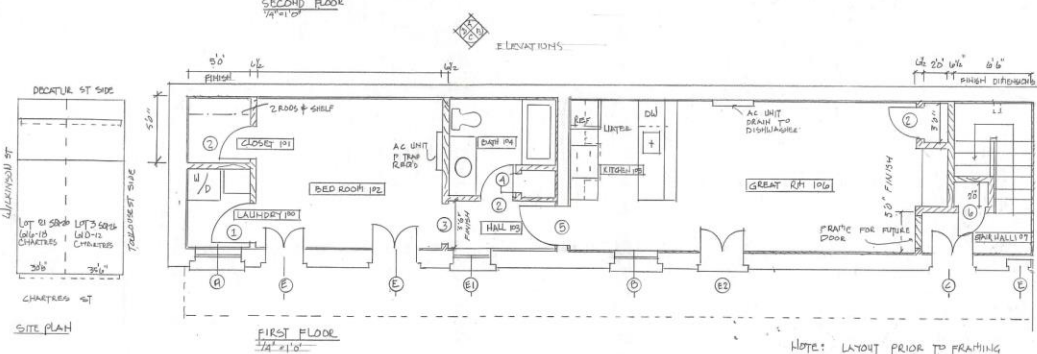
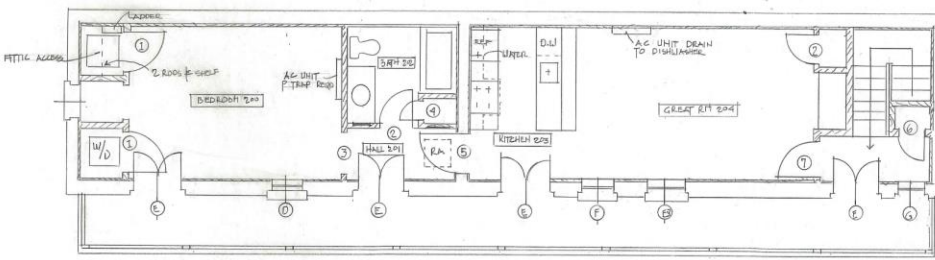
1/5



ROOM	FLOOR	BASE	WALL	CORNER	CERAMIC	NOTES
LAUNDRY 100	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	BASE BLENDED - SOUND ATTENUATION BATHS IN DRILLING
CLOSET 101	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
BEDROOM 102	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
HALL 103	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
BATH 104	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
KITCHEN 105	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
GREAT RM 106	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
STAIR HALL 107	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
BEDROOM 200	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	BASE BLENDED
HALL 201	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
BATH 202	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
KITCHEN 203	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
GREAT RM 204	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME
STAIRHALL 205	VINYL	6" LD	2 1/2" FD	-	2 1/2" FD	SAME

FRAM.	WIDTH	HEIGHT	THICK	DESCRIPTION	OPENING
E				EXISTING	
1	3'0"	6'6"	1 3/8"	2 PANEL WD DOOR	
2	2'4"	6'6"	1 3/8"	2 PANEL WD DOOR	
3	3'0"	6'6"	-	CASSED OPG	
4	1'6"	6'6"	1 3/8"	2 PANEL WD DOOR	
5	3'0"	6'6"	1 3/8"	2 PANEL WD DOOR THICK JAMB	
6	2'0"	6'6"	1 3/8"	2 PANEL WD DOOR	
7	4'0"	6'6"	1 3/8"	2 PANEL WD DOOR	
H	3'5"	4'0"	1 1/2"	NEW PAIR OF 3 LITE CASSEMENT WINDOWS NEW SHUTTERS	SEE DETAILS
B	3'0"	4'6"	1 1/2"	NEW PAIR OF 12 LITE CASSEMENT WINDOWS & NEW SHUTTERS	SEE DETAILS
D	3'6"	6'6"	1 1/2"	NEW PAIR OF 12 LITE CASSEMENT DOORS & SHUTTERS	SEE DETAILS
Z	2'6"	2'6"	1"	NEW 2 LITE DOUBLE HUNG WINDOW	SEE DETAILS
T	4'0"	3'8"	1 1/2"	NEW 4 LITE CASSEMENT	SEE DETAILS
G	5'6"	3'0"	1 1/2"	NEW 4 LITE CASSEMENT SASH	SEE DETAILS

**NOTES**  
 TALK POINT THREE FACE OF BRASSKEY W/MS 1PT PORTLAND 3PARTS LIME 1 PART SAND  
 REPLACE IT 4"x4" FLOOR JOIST  
 REMOVE EX. STAIRS  
 RW5C FIRST FLOOR SLAB TO EX. DOOR SILL HEIGHT  
 REMOVE GAIN FLOOR FLOOR RISER DRAIN W/ 3/4" PLYWOOD  
 INT. MILLWOOD POPLAR EXTERIOR RED GRATING  
 VINYL FLOORING SHALL BE DUNLOP LAMER FLOOR RIGID CORE LUXURY VINE PLANK - ROAM



**Koch and Wilson Architects**  
 A Professional Corporation (504) 381-7023  
 1100 Jackson Avenue, New Orleans, LA 70130  
 architects@kochandwilson.com



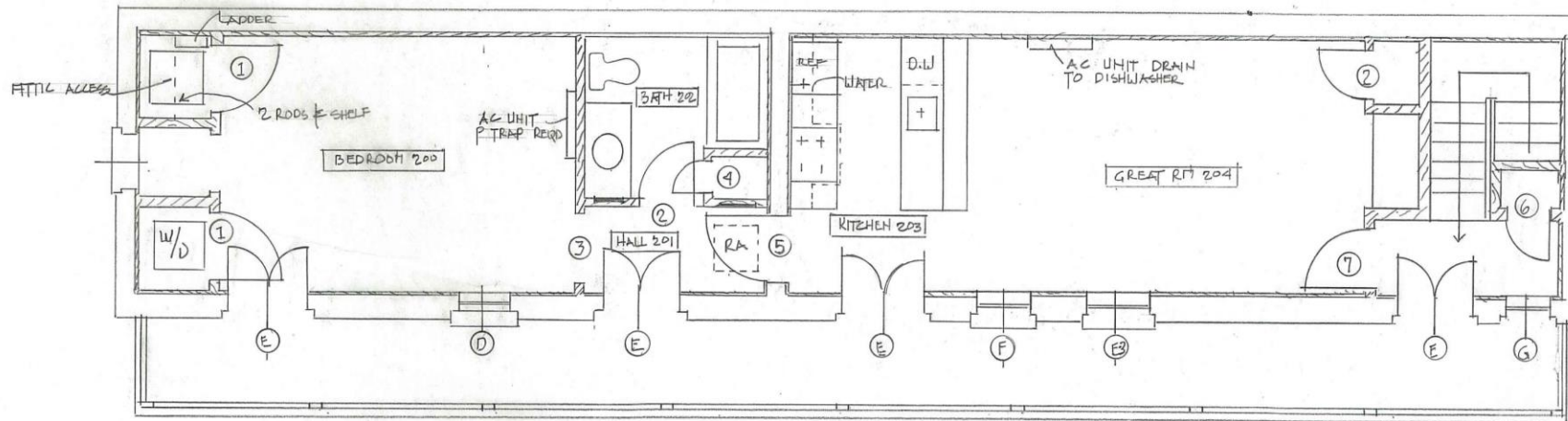
RENOVATIONS TO  
 610-1113 CHARTRES ST

Fig No.  
 12 APR 2023  
 Project  
 Sheet Title: Drawn  
 Sheet Date  
 1

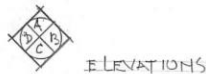




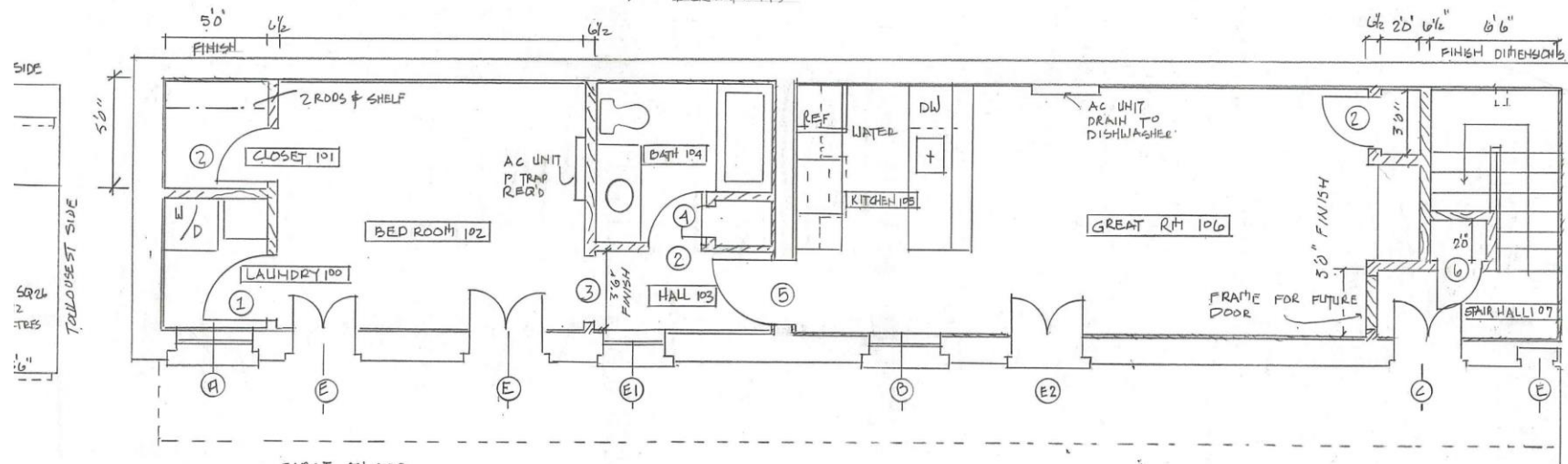




SECOND FLOOR  
1/4" = 1'-0"



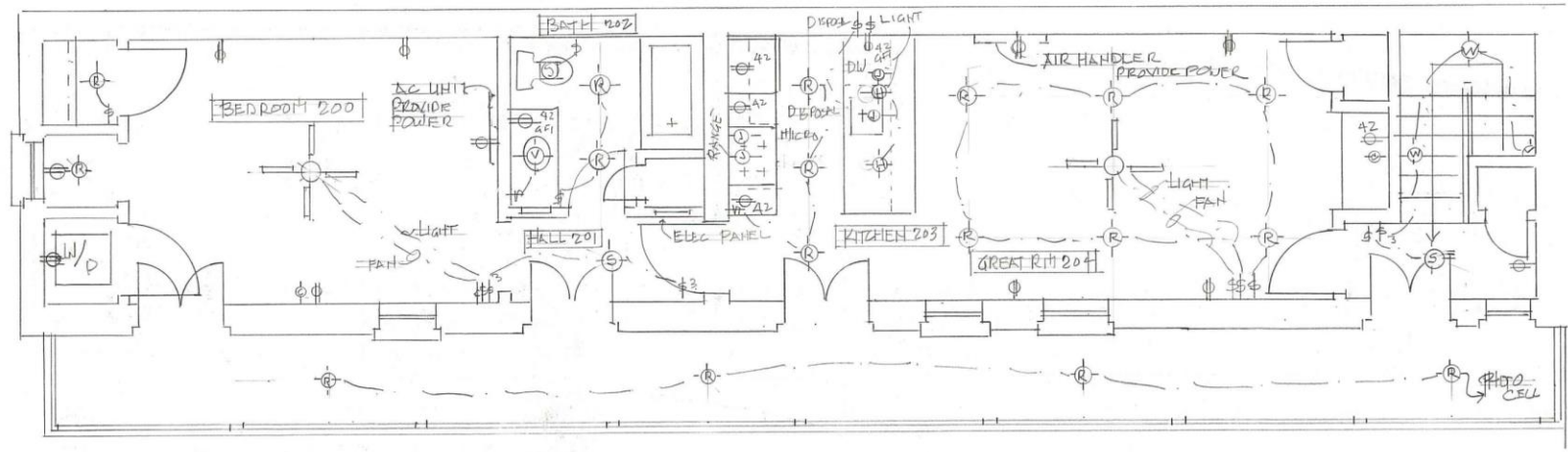
ELEVATIONS



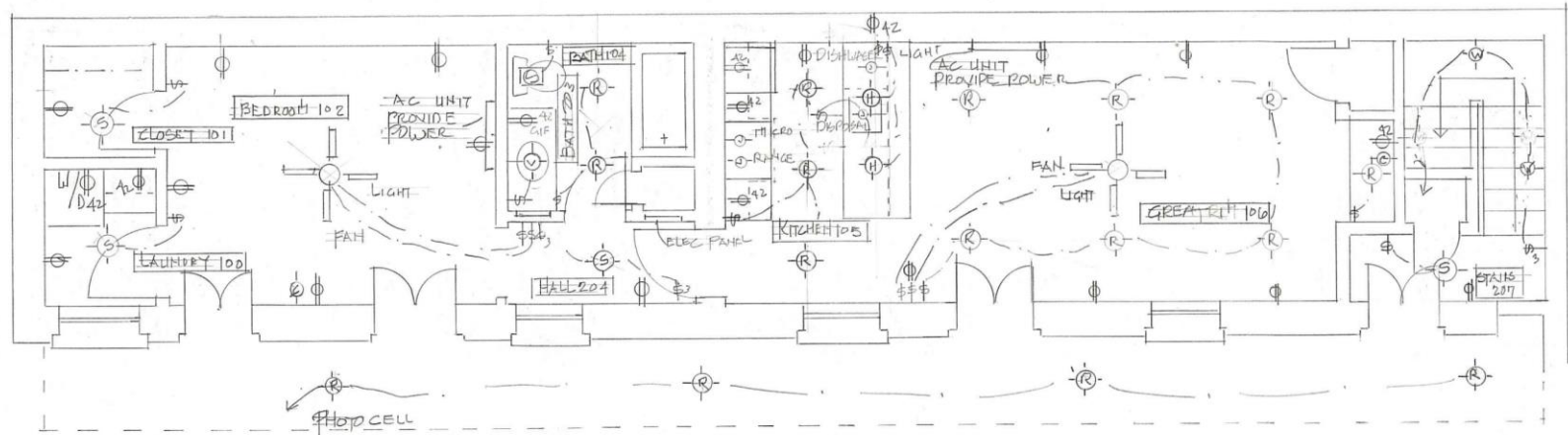
FIRST FLOOR  
1/4" = 1'-0"

NOTE: LAYOUT PRIOR TO FRAMING





SECOND FLOOR ELECTRICAL



FIRST FLOOR ELECTRICAL



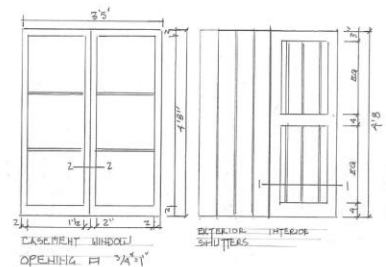


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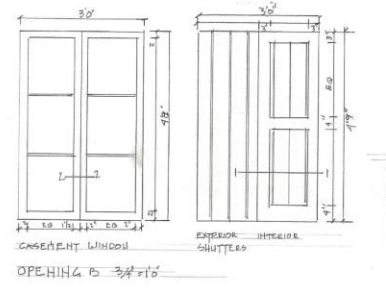


Project:  
**RENOVATIONS TO  
610 - 618 CHARTRES ST.**

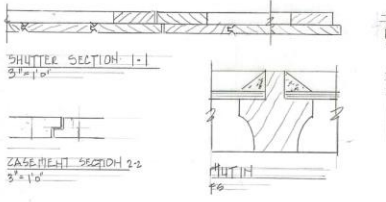
Fig. No.:  
Sheet: **TA-APR 5013**  
Revision:  
Sheet Title: **Drawn**  
Sheet: **CHD**  
**3**



NOTES:  
MATCH DETAILS OF ORIGINAL  
REPAIR FRAME - ADD  
REPAIR FRAME  
EXTEND FRAME FOR FINISHED WALL  
FIELD VERIFY DIMENSIONS

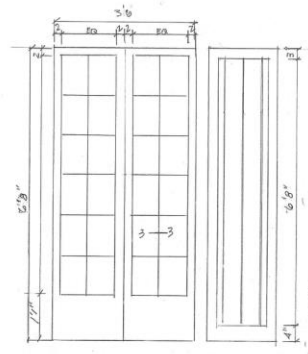


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REPAIR FRAME  
EXTEND FRAME FOR FINISHED WALL  
FIELD VERIFY DIMENSIONS

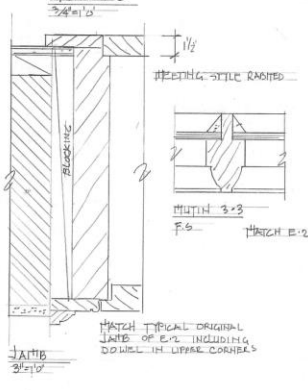


NOTE:  
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DETAILS

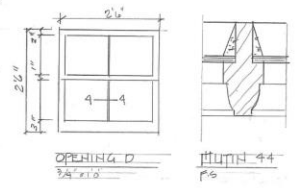
NOTE:  
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DETAILS



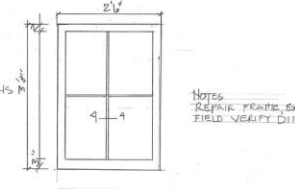
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FIELD VERIFY DIMENSIONS



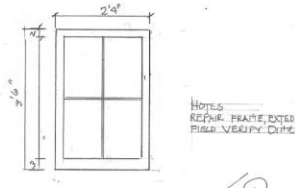
NOTE:  
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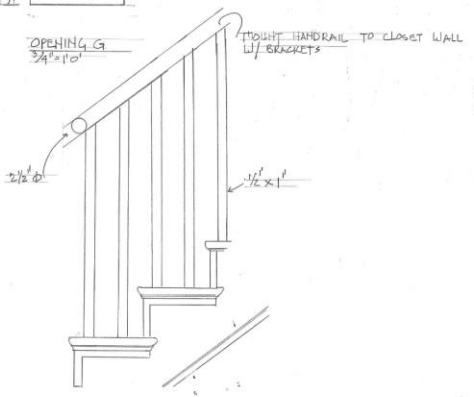
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MATCH DETAILS OF ORIGINAL  
REPAIR FRAME  
EXTEND FRAME FOR FINISHED WALL  
FIELD VERIFY DIMENSIONS

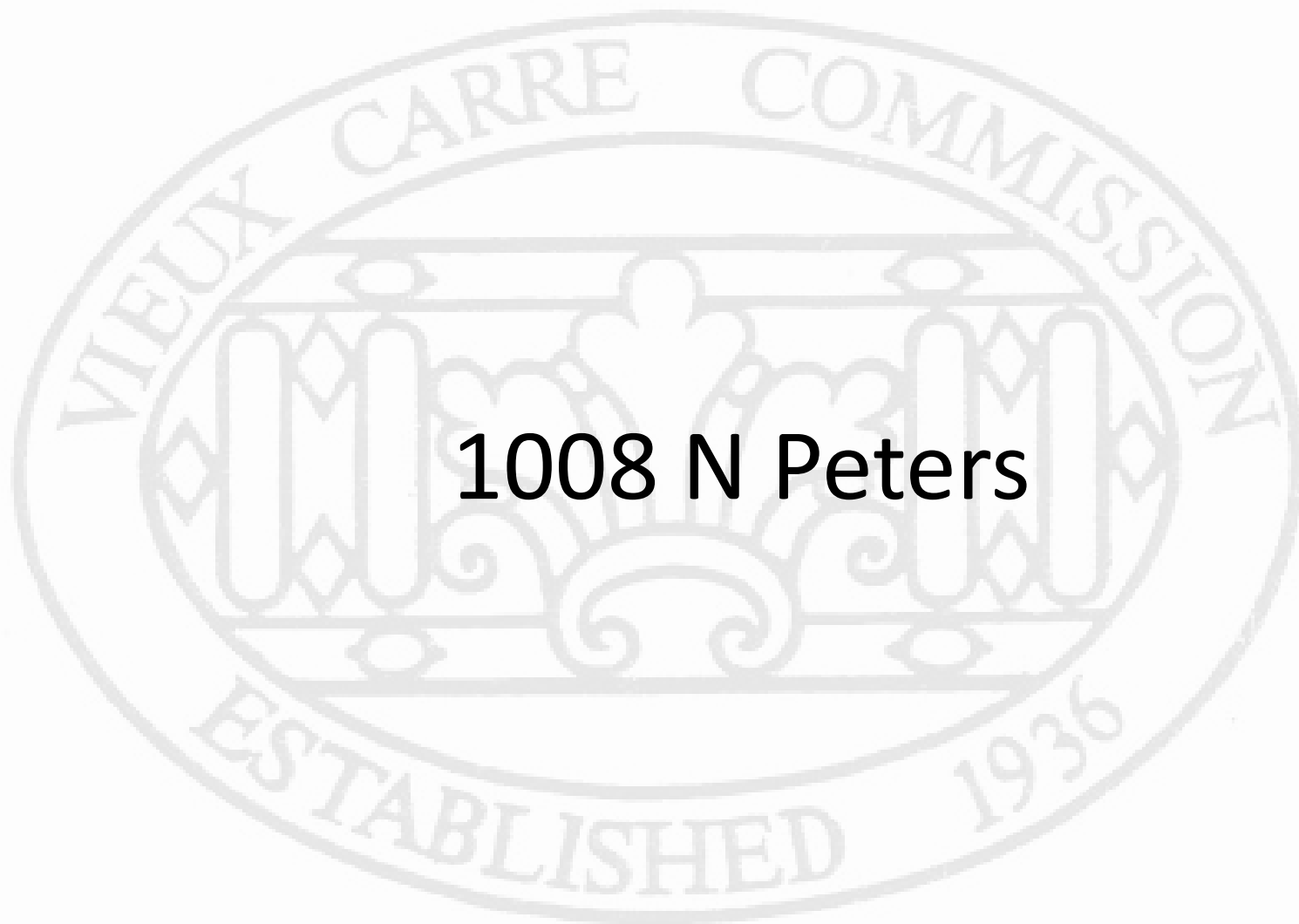


NOTES:  
REPAIR FRAME EXTEND FRAME FOR FINISHED WALL ADD STOP  
FIELD VERIFY DIMENSIONS

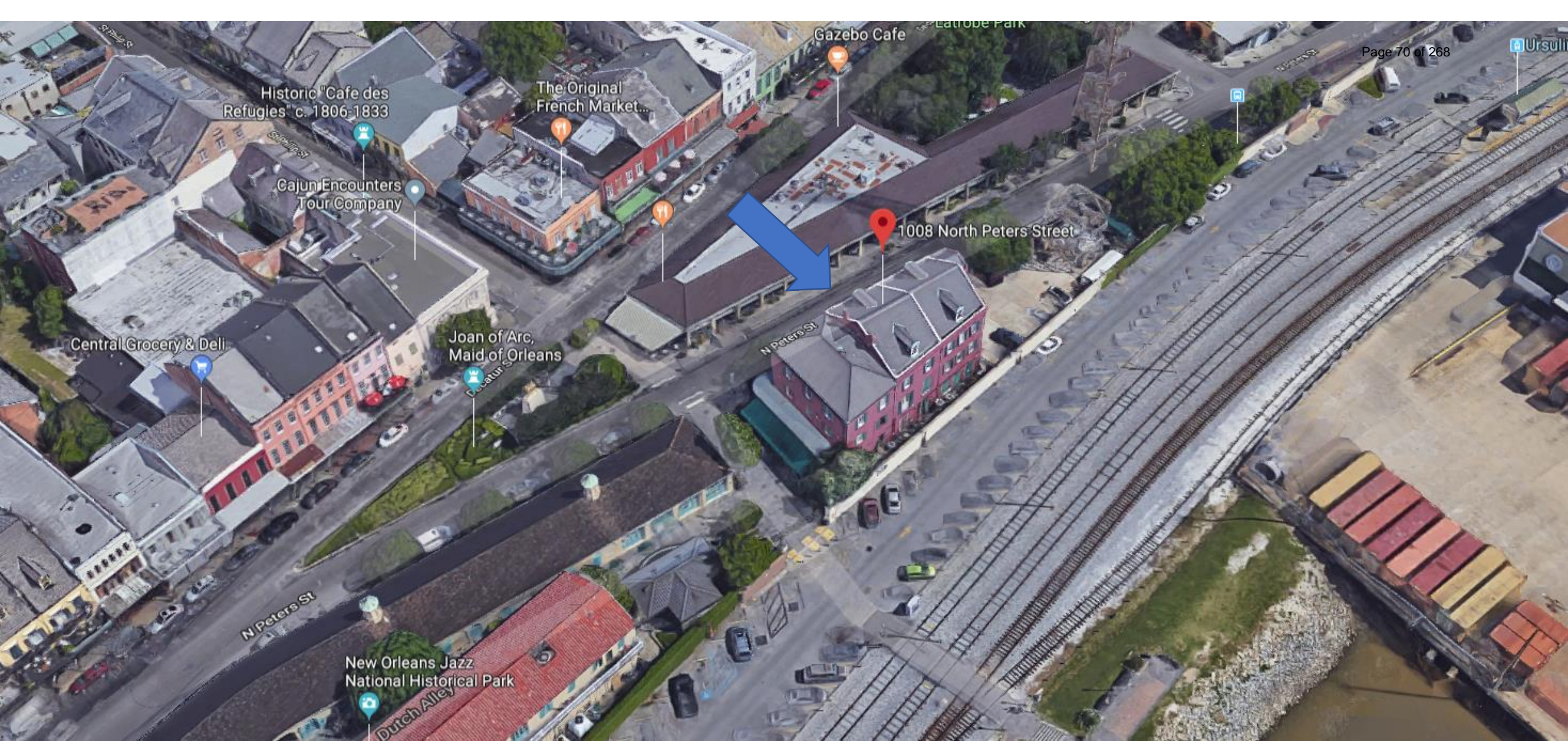


NOTES:  
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FIELD VERIFY DIMENSIONS





**1008 N Peters**

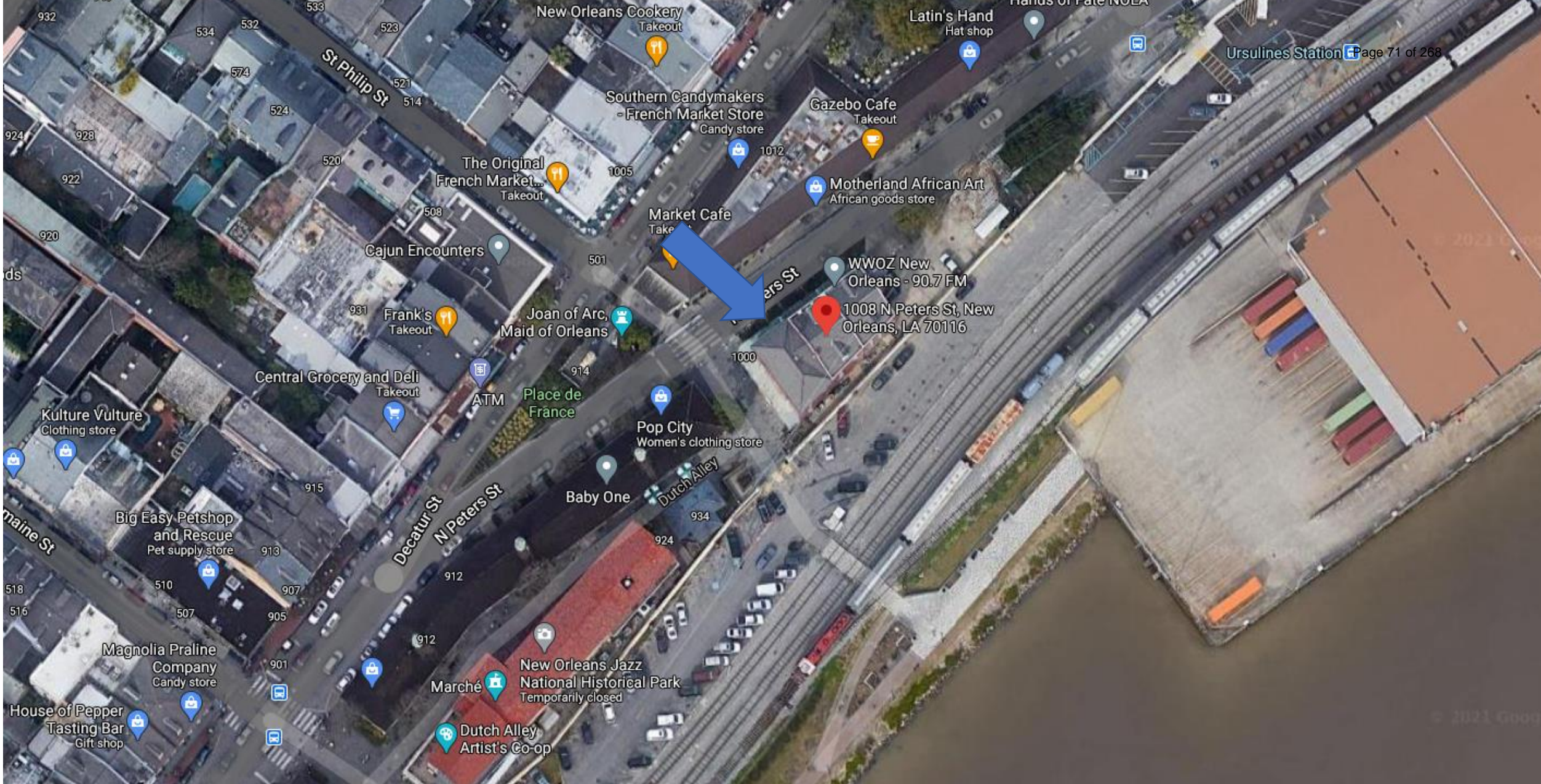


1008 N Peters Street

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May 9, 2023



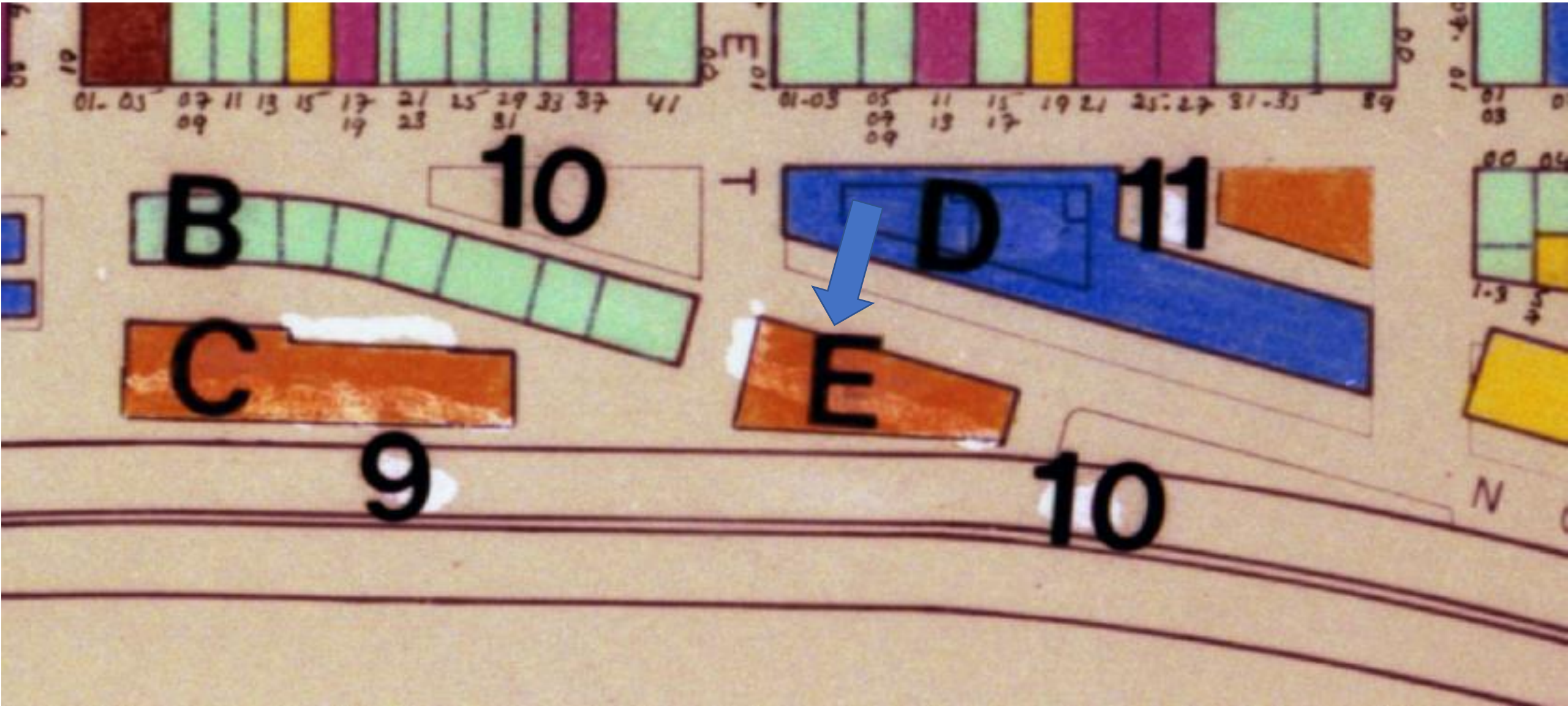


# 1008 N Peters

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May 9, 2023





1008 N Peters Street

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1008 N Peters Street

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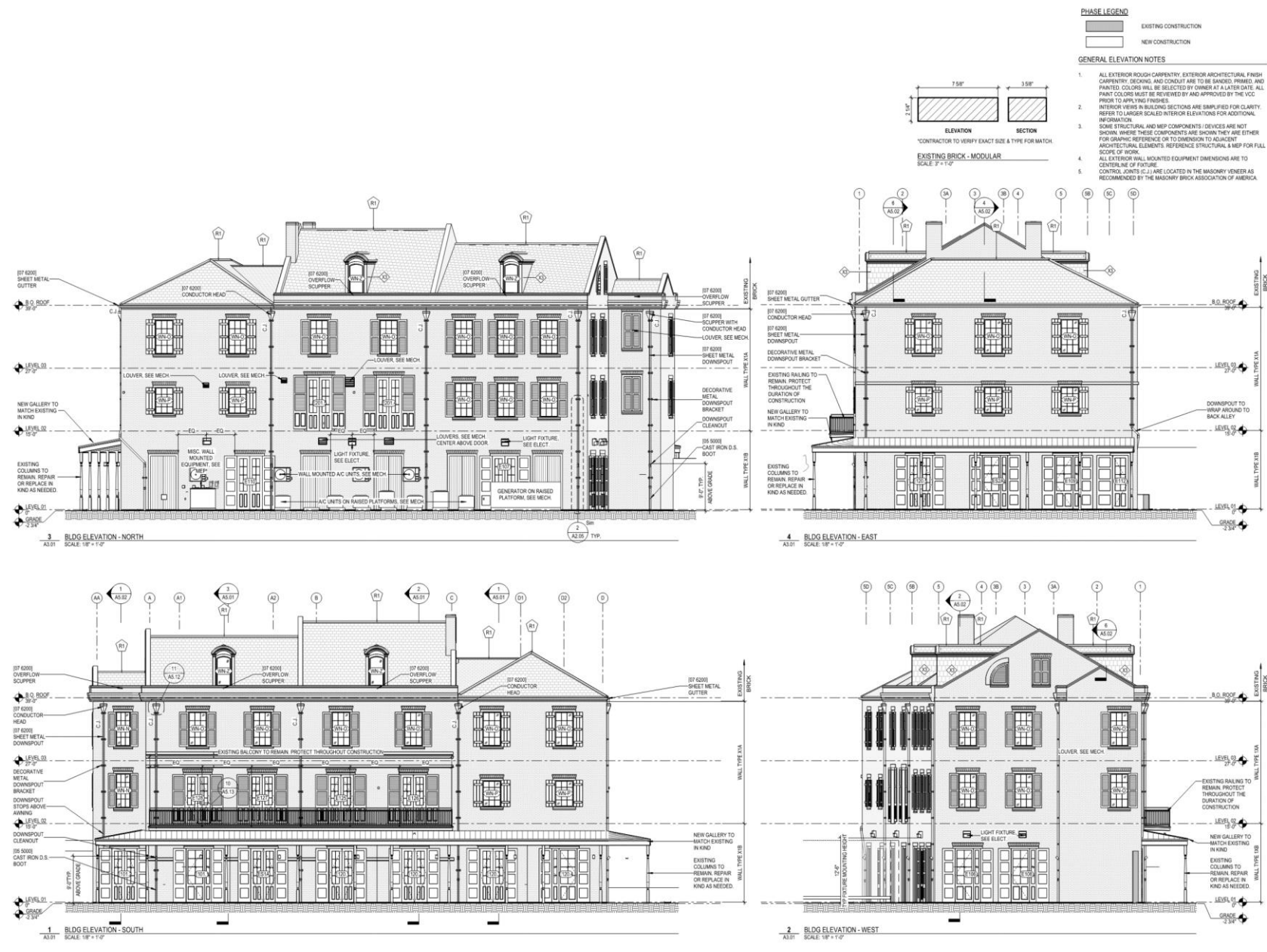




1008 N Peters Street  
VCC Architectural Committee

May 9, 2023





**FMC BLDG E RENOVATION**  
 1008 N. PETERS ST. #3  
 NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION  
 518 ST. PETERS STREET  
 NEW ORLEANS, LA 70116  
 (504) 438-6400

ARCHITECT: TRAPOLIN PEER  
 850 TCHOUPITOLLA ST.  
 NEW ORLEANS, LA 70130  
 (504) 523-2772  
 www.trapolinpeer.com

CONTRACTOR: TBD  
 Street Address  
 City, State  
 Phone Number

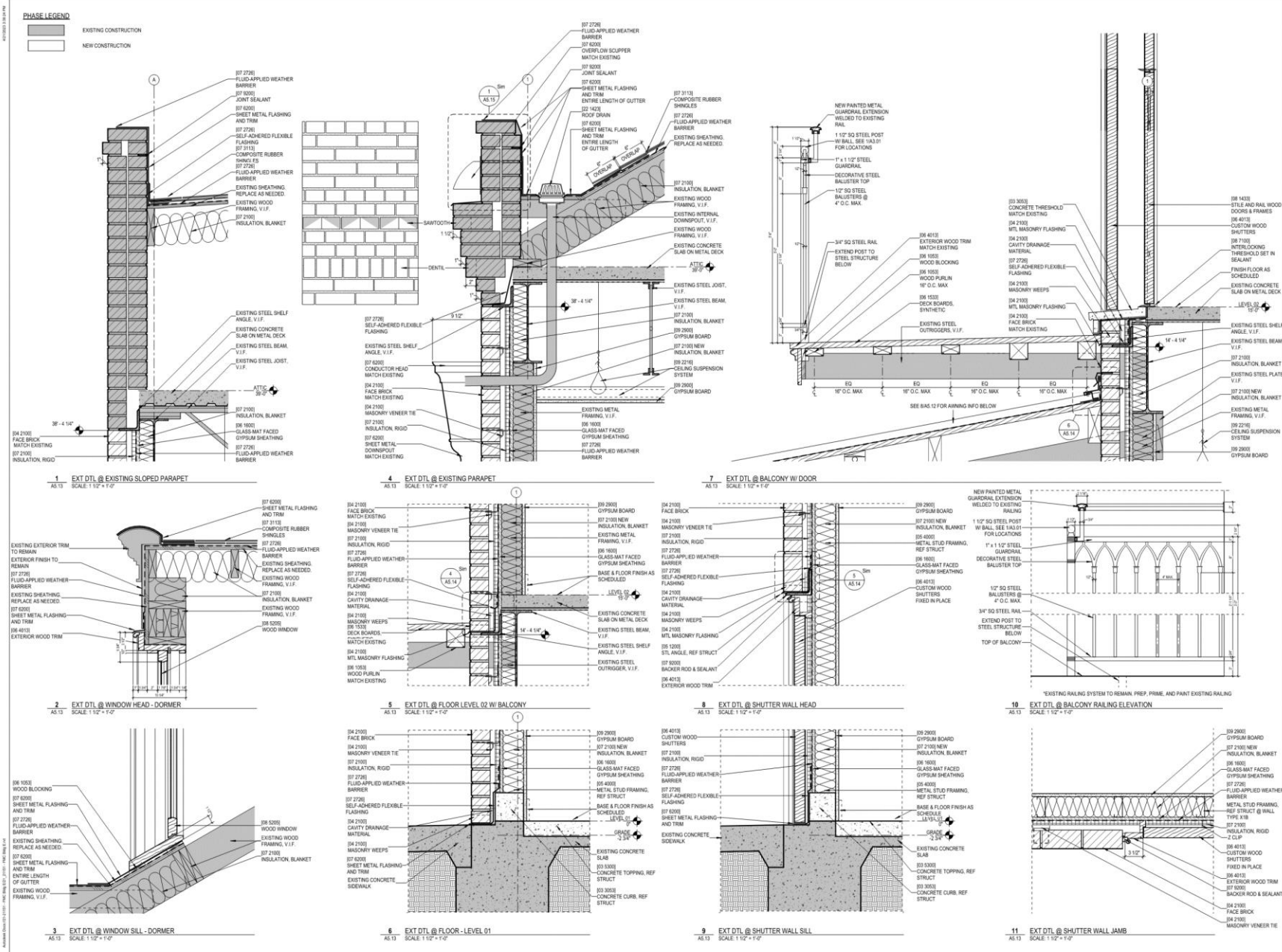
REVISION # DESCRIPTION DATE

© TRAPOLIN PEER ARCHITECTS, APC  
 PROJECT NUMBER: CN21151  
 SHEET DATE: 02/10/2023

BLDG ELEVATIONS

A3.01





**FMC BLDG RENOVATION**  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION  
518 ST. PETERS STREET  
NEW ORLEANS, LA 70116  
504-636-6400

ARCHITECT: TRAPOLIN PEER  
850 TCHOUPIQUAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

CONTRACTOR: TBD  
Street Address  
City, State  
Phone Number

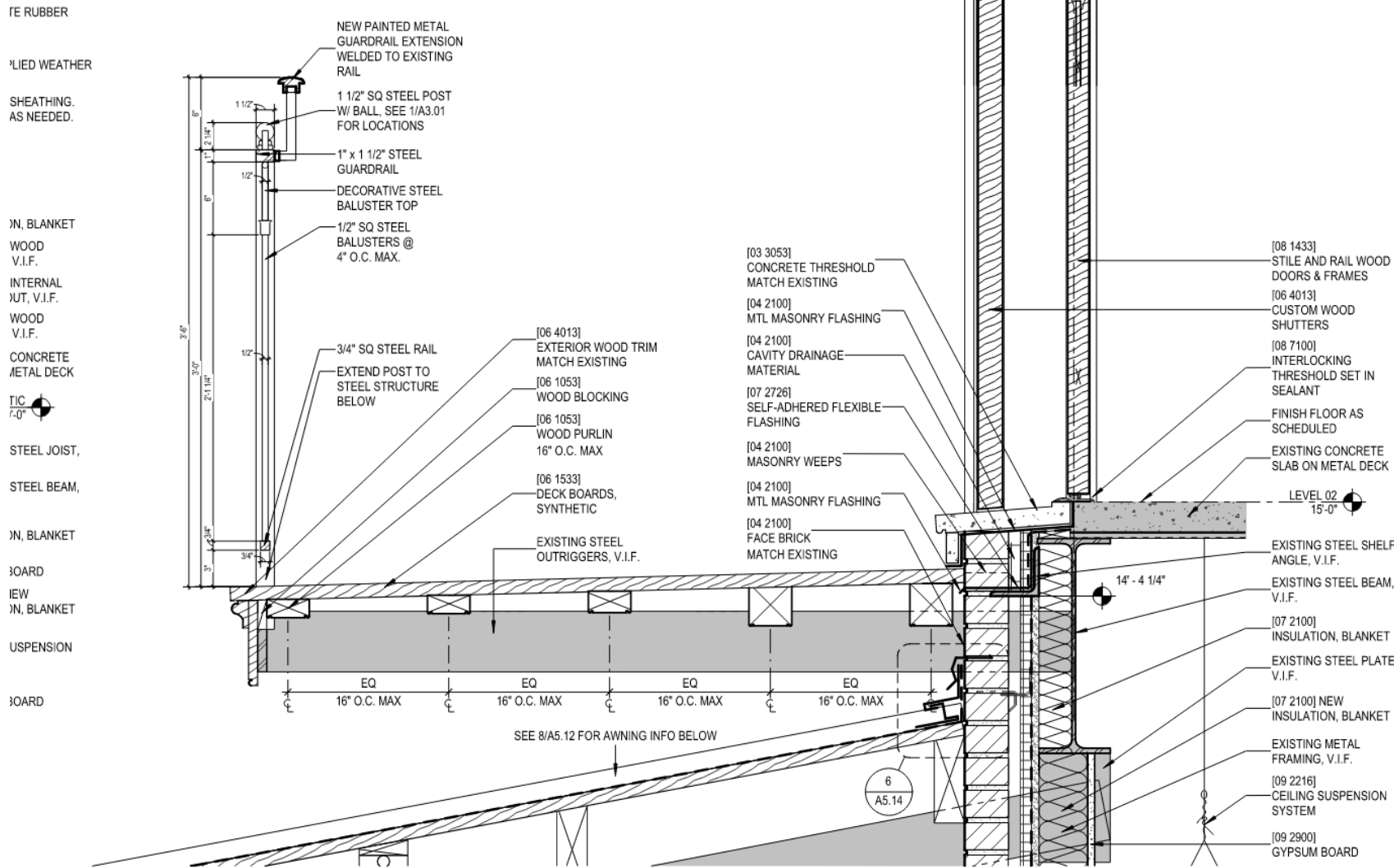
REVISION #	DESCRIPTION	DATE

© TRAPOLIN PEER ARCHITECTS, APC  
PROJECT NUMBER: CN21151  
ISSUE DATE: 02/19/2023

EXTERIOR DETAILS

A5.13





1008 N Peters Street 7 EXT DTL @ BALCONY W/ DOOR  
 A5.13 SCALE: 1 1/2" = 1'-0"

VCC Architectural Committee

May 9, 2023





# Appeals and Violations





625 Dauphine



625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine, 2015

VCC Architectural Committee

May 9, 2023





625 Dauphine, 2015

VCC Architectural Committee

May 9, 2023







625 Dauphine

VCC Architectural Committee

05 12 2020

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

06 08 2021

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

04 17 2023

May 9, 2023







625 Dauphine  
Before

VCC Architectural Committee

05 12 2020

May 9, 2023





625 Dauphine  
After

VCC Architectural Committee

04 17 2023

May 9, 2023





625 Dauphine – Prior to Current Ownership

VCC Architectural Committee

May 9, 2023





625 Dauphine

VCC Architectural Committee

07 27 2021

May 9, 2023





**Engineering and Inspections**

622 City Park Avenue  
New Orleans, LA 70119

(504) 486-8500  
(504) 486-8777 Fax

[www.gurtlerbros.com](http://www.gurtlerbros.com)  
[inspections@gurtlerbros.com](mailto:inspections@gurtlerbros.com)

- Home and Commercial Building Inspections
- Mold Sampling and Testing
- Certified Stucco Inspections
- Thermal Imaging
- Engineering Services
- Construction Management

March 15, 2023

22-2876

Mr. Charles Zimmer II  
Davillier Law Group , LLC.  
Via email to [CZimmer@DavillierLawGroup.com](mailto:CZimmer@DavillierLawGroup.com)

Subject: The Residence of Mr. Kent Wells  
625 Dauphine Street  
New Orleans, Louisiana

Dear Mr. Zimmer:

At your request, we reviewed the recent roof installation of the subject property particularly to evaluate the suitability of metal cap flashing installed on the parapet walls and the effectiveness of metal cap flashing relative to other options for sealing these parapet walls.

In connection with this evaluation, we performed an aerial drone inspection of the roof and parapet wall caps of the subject property on November 27, 2022. We also visually surveyed the block on the subject property and the eight blocks contiguous with this block to catalog similar construction in this area. Additionally, we reviewed the following documents:

- Building Permit issued by the Vieux Carré Commission (VCC) on December 10, 2020
- Property Summary Report for the Architectural Committee Meeting of the VCC of August 24, 2021
- Photographs prepared for the Architectural Committee Meeting of the VCC of October 26, 2021
- Stop Work Order dated December 3, 2021, issued by the City of New Orleans
- Exhibits from Adjudication Hearing dated March 16, 2022
- Undated – various photographs of the subject property
- Undated – Page 02-3 from the VCC Guidelines for Building Types & Architectural Styles showing the characteristics of a Creole Cottage

This report is the expressed opinion of this company only and is not intended to bind any party to make any repairs or replacements. This report includes only the elements and conditions and does not purport to cover inaccessible areas or hidden damages.

The directions in this report refer to the property as you are facing it, with your back to Dauphine Street.

**General Description and Background Information**

The subject property is a one-story structure single-family residence. This property has exterior load-bearing side walls that extend above the roof line to form parapets. The ceiling and roof are framed with wood that typically bears in pockets on the inside faces of the brick walls. The house is classified by its architectural style as a Creole cottage by the Vieux Carré Commission.

Building permit no. 20-48314-VCCGEN was issued by the VCC to Mr. Wells for the removal of the existing slate roof and the installation of a natural slate roof “using copper nails, to match existing.” The permit issued states that “metal-cap flashing on the parapets or chimneys is not allowed.”

A Stop Work order was issued by the VCC on December 3, 2021 cites “Working Without Approval.” This Stop Work order references prior Stop Work orders issued on July 28 and October 18, 2021.

At the meeting of the Architectural Committee of August 24, 2021, Mr. Wells applied to retain the copper flashing that was installed along with the new roof, and it is our understanding that his request was denied.

**Observations**

**Aerial Property Inspection**

Our aerial drone survey was performed from the front of the property and, although we had a limited view of the rear roof slope, we confirmed that copper flashing is installed on the left- and right-side parapet walls. Copper flashing also was noted at the base of the chimneys that extend above the parapet walls.

Our observations indicate that the copper flashing on the parapet walls was installed properly and in a professional and workmanlike manner.

**Survey of Adjacent Properties**

Page 02-3 of the VCC guidelines indicate that “A typical Creole cottage façade is symmetrical with four openings, usually four sets of French doors or two sets of French doors and two double-hung or casement windows, all shuttered. The front façade is sheltered from the weather by an overhang (*abat-vent*) or roof overhang that directs rain away from the front façade.”

On February 6, 2023, we surveyed from the street the block upon which this property is situated and the eight blocks contiguous. We identified during our survey approximately 47 properties other than the subject property that fit the description of a Creole cottage. Approximately 21 of these Creole cottages do not have parapet walls that extend above the roof line. Out of the remaining 26 Creole cottages with parapet walls,



we determined that 11 are fitted with metal cap flashing and that 15 are not fitted with metal cap flashing.

Photographs of the conditions we noted during our property survey are shown in the attached Survey of Adjacent Properties.

### Discussion

Most of the historic buildings in the French Quarter are constructed of bricks and mortar that are in excess of 100 years old. The bricks are not as strong as bricks used in current construction, as the bricks were air dried and not dried in a kiln. The mortar used for masonry repairs is a specific mix of lesser compressive strength than current mortar mixes to reflect the diminished compressive strength of the bricks. There also is no steel reinforcement inside the masonry walls in the French Quarter.

When moisture leaks into the brick walls for extended periods of time, the walls lose structural integrity and often the courses of brick within the walls separate. Separation between the courses of bricks becomes visible from outside the building when walls bow outward. At the point of walls visibly bowing outward, the structural integrity of the wall is diminished and it is possible that the wall is in danger of collapse.

It is not economically feasible to completely reconstruct old brick walls. The method generally employed when significant soft and deteriorated mortar is encountered is to tuckpoint the outside face of the wall. This process involves removing at least 1/2" of the mortar at the outside of the wall and replacing the soft mortar with new mortar. At the completion of this work, the wall is not waterproof, as the bricks are not waterproof and there are hairline cracks in the newly installed brickwork mortar that allow moisture intrusion.

Capping parapet walls with metal reduces the potential for significant moisture intrusion through the top of the wall and through the inside face of the parapet wall. Other options available for waterproofing the parapets walls are to mortar, stone caps, roofing cement, or chemicals.

Mortar mix is applied as a workable paste that dries and hardens to bind bricks and blocks. Shrinkage of mortar on the top of a parapet wall results in hairline cracking that permits water intrusion.

When stone caps are used to waterproofing the tops of parapet walls these caps must be secured. We have a concern for adding additional weight on top of a wall that is already subject to the loss of structural integrity due to its age and prior moisture intrusion.

Roofing cement is another option to waterproof the tops of parapet walls. However, the application of roofing cement also is not a historically accurate construction detail and is less effective at repelling moisture than metal cap flashing.

There are chemicals that can be used to waterproof brick parapets. Most of these chemicals do not completely prevent rainwater intrusion into the walls and require frequent re-treatment. When using a chemical barrier to moisture intrusion, there is generally no way to confirm that the barrier is effective until the mortar has failed.

The VCC also provides guidelines for the installation of flashing. As noted in page 04-8 of their Guidelines, the VCC does permit the use of copper flashing and further indicates that "Generally, copper or lead-coated copper has the longest life span..."

### Opinions:

Based on our observations and the documents that we reviewed, we offer the following opinions:

- a) The enforcement of the VCC regulations with respect to metal parapet cap flashing has been sporadic, as we noted metal parapet caps on numerous similar properties within the vicinity of this property.
- b) In our opinion, the most effective means of protecting the integrity of the historic load-bearing brick walls on properties in the French Quarter is to cap the tops and the insides of the parapet walls with metal, as was done on this property.
- c) The copper flashing on this property was installed in a professional and workmanlike manner, and in our opinion this flashing will serve effectively to protect this property.

We reserve the right to amend our report as additional information becomes available. This report is an instrument of professional service and is the property of Gurtler Bros. Consultants, Inc. This report is strictly and solely a professional opinion of the subject property based on the observations made on the day of our Inspection.

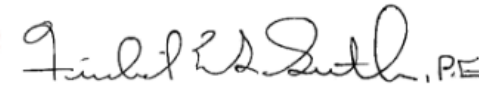
Any third-party use of this report is prohibited. The scope of this report is limited to the above items. This report does not include environmental aspects or building code compliance.

Yours very truly,

**GURTLER BROS. CONSULTANTS, INC.**



**Michael K. A. Gurtler**  
**President**  
**Louisiana State Contractors License #30228**



**Friedrich W. L. Gurtler, P. E.**  
**Vice-President**  
**Louisiana Professional Engineer License #25374**

Attachments: Property Condition Assessment  
Survey of Adjacent Properties





# Property Condition Report

LOCATED AT:  
625 Dauphine Street  
New Orleans, Louisiana 70112

PREPARED EXCLUSIVELY FOR:  
Mr. Charles F. Zimmer, II

INSPECTED ON:  
Wednesday, November 22, 2022

Inspector, Scott Statham LHI#10634  
Gurtler Bros. Consultants



625 Dauphine

VCC Architectural Committee

May 9, 2023



## Inspection Report Summary



### Property Information

Job Name  
625 Dauphine Street

Job Type  
Residential

Phone Number  
N/A

Email Address  
N/A

### About This Report

Report Created  
01/24/2023

Assets  
13

Added Photos  
13

Annotations  
0

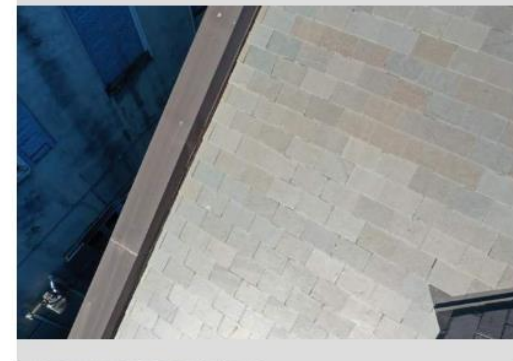
Images With Confirmed Damage  
0

### General Information

Completed by  
Scott Statham

Completed on  
11/27/2022

Inspect List Type  
N/A

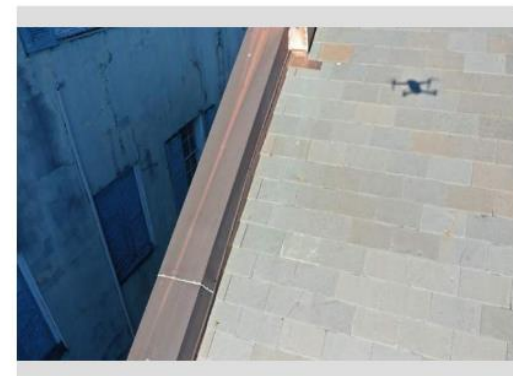


### PO001

Photo Added by Scott Statham on  
01/20/2023 9:44 AM CST

#### Additional Notes

Scott Statham  
01/24/2023 2:16 PM CST  
View of parapet flashing. This type of flashing is effective at preventing moisture intrusion into the masonry wall which in turn prevents mortar deterioration.



### PO002

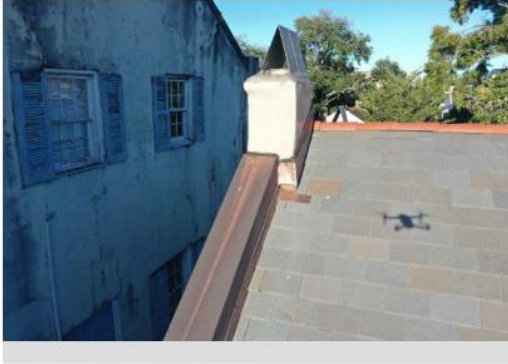
Photo Added by Scott Statham on  
01/20/2023 9:44 AM CST

#### Additional Notes

Scott Statham  
01/20/2023 9:44 AM CST  
Parapet flashing installation.







**PO003**

Photo Added by Scott Statham on  
01/20/2023 9:45 AM CST

Additional Notes

Scott Statham  
01/20/2023 9:46 AM CST  
Parapet Flashing detail. Poor sealant detail at the chimney.

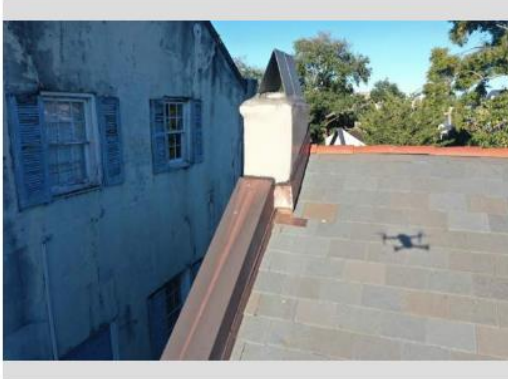


**PO005**

Photo Added by Scott Statham on  
01/20/2023 9:47 AM CST

Additional Notes

Scott Statham  
01/24/2023 2:18 PM CST  
View of flashing at the chimney. Long term moisture penetration into the masonry wall will deteriorate the mortar joints and undermine the structural integrity of the walls.

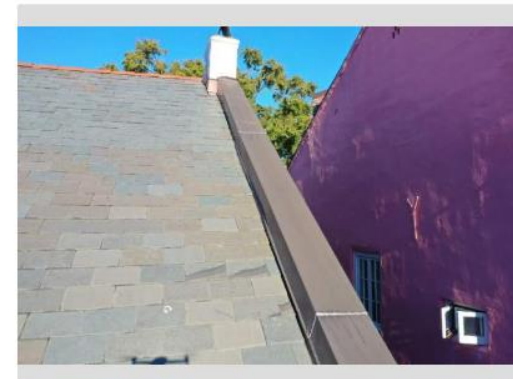


**PO004**

Photo Added by Scott Statham on  
01/20/2023 9:46 AM CST

Additional Notes

Scott Statham  
01/20/2023 9:46 AM CST  
View of same.



**PO006**

Photo Added by Scott Statham on  
01/20/2023 9:47 AM CST

Additional Notes

Scott Statham  
01/24/2023 2:18 PM CST  
View of right parapet wall.





**PO007**

Photo Added by Scott Statham on  
01/20/2023 9:47 AM CST

**Additional Notes**

Scott Statham  
01/24/2023 2:18 PM CST  
**Note the deflection of the chimney structure. The installed flashing can help prevent this condition from worsening.**

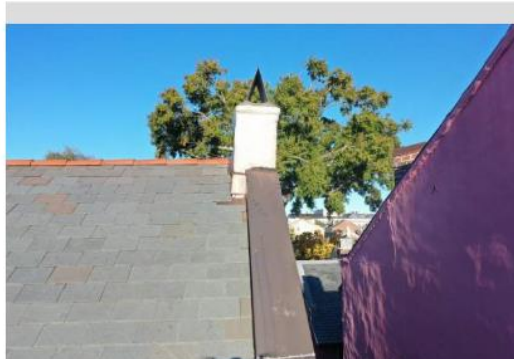


**PO010**

Photo Added by Scott Statham on  
01/20/2023 9:48 AM CST

**Additional Notes**

Scott Statham  
01/24/2023 2:20 PM CST  
**View of chimney structure and the wall cap flashing.**



**PO008**

Photo Added by Scott Statham on  
01/20/2023 9:48 AM CST

**Additional Notes**

Scott Statham  
01/20/2023 9:48 AM CST  
**View of chimney structure.**



**PO011**

Photo Added by Scott Statham on  
01/20/2023 9:49 AM CST

**Additional Notes**

Scott Statham  
01/20/2023 9:49 AM CST  
**Rear slope - limited flight access with no visual contact to drone.**





**PO012**

Photo Added by Scott Statham on  
01/20/2023 9:49 AM CST

**Additional Notes**

Scott Statham  
01/20/2023 9:49 AM CST  
Rear slope details.

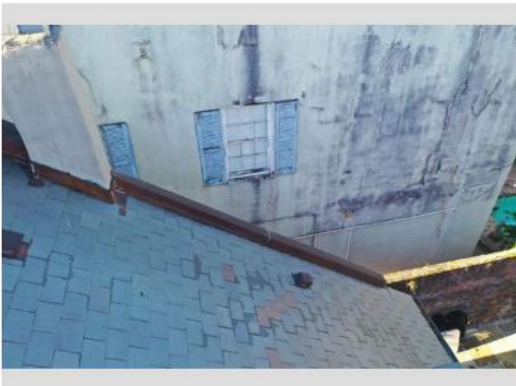


**PO009**

Photo Added by Scott Statham on  
01/24/2023 2:19 PM CST

**Additional Notes**

Scott Statham  
01/24/2023 2:19 PM CST  
View of properly installed flashing.



**PO013**

Photo Added by Scott Statham on  
01/20/2023 9:49 AM CST

**Additional Notes**

Scott Statham  
01/24/2023 2:20 PM CST  
Rear roof general details. View of cap  
flashing on the rear slopes.



## Flight Information



Photo Locations from Scan

### GENERAL INFO

**Pilot in Command**  
Scott Statham

**Drone ID Number**  
163DFB800136N7

**Scan Date**  
11/27/2022

**Start Time**  
8:11 AM CST

**End Time**  
8:15 AM CST

**Total Flight Time**  
00:04:10

### ALTITUDES

 **Safe Height**  
80 ft

## Survey of Nearby Properties

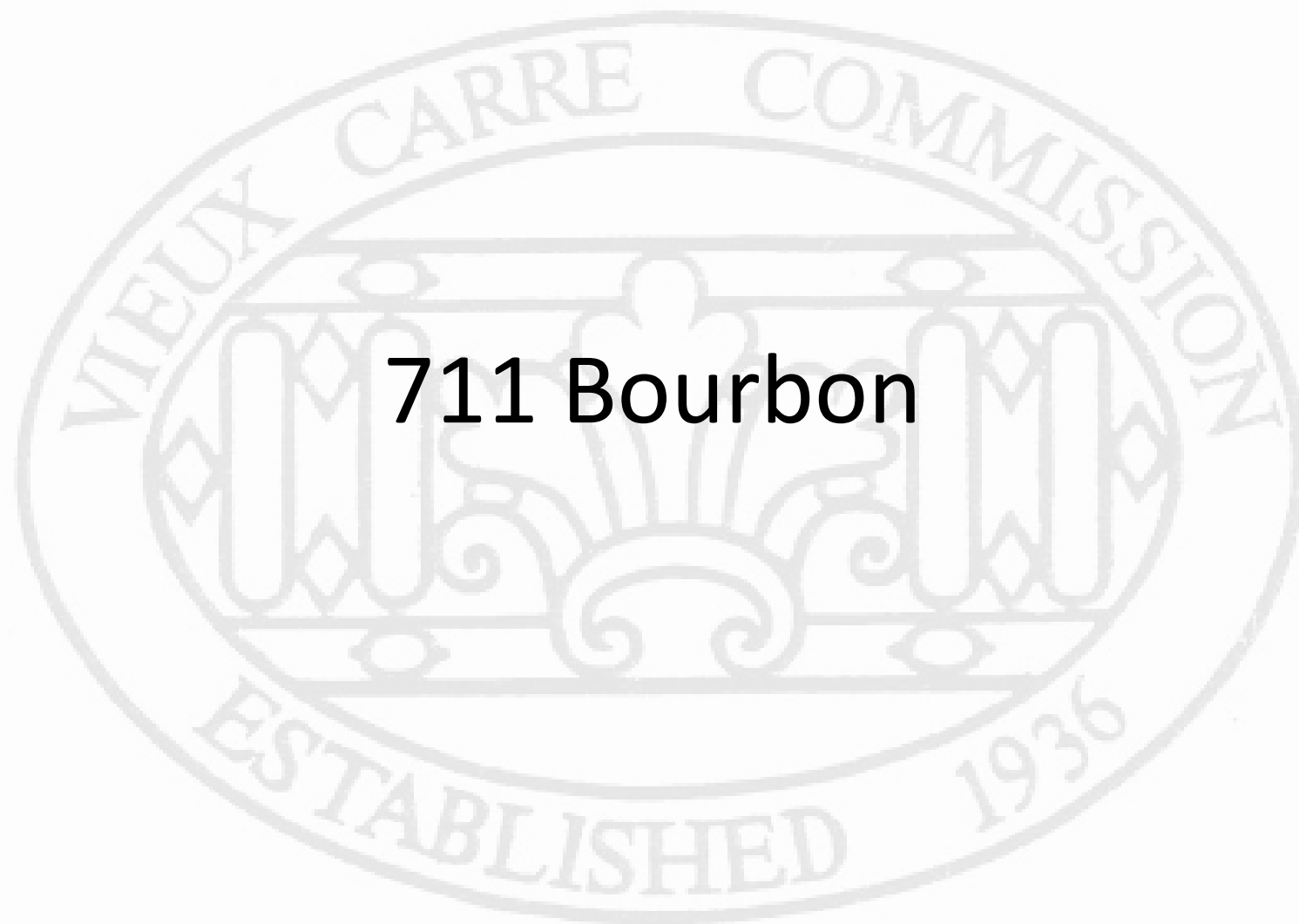
SUBJECT PROPERTY:

625 Dauphine Street

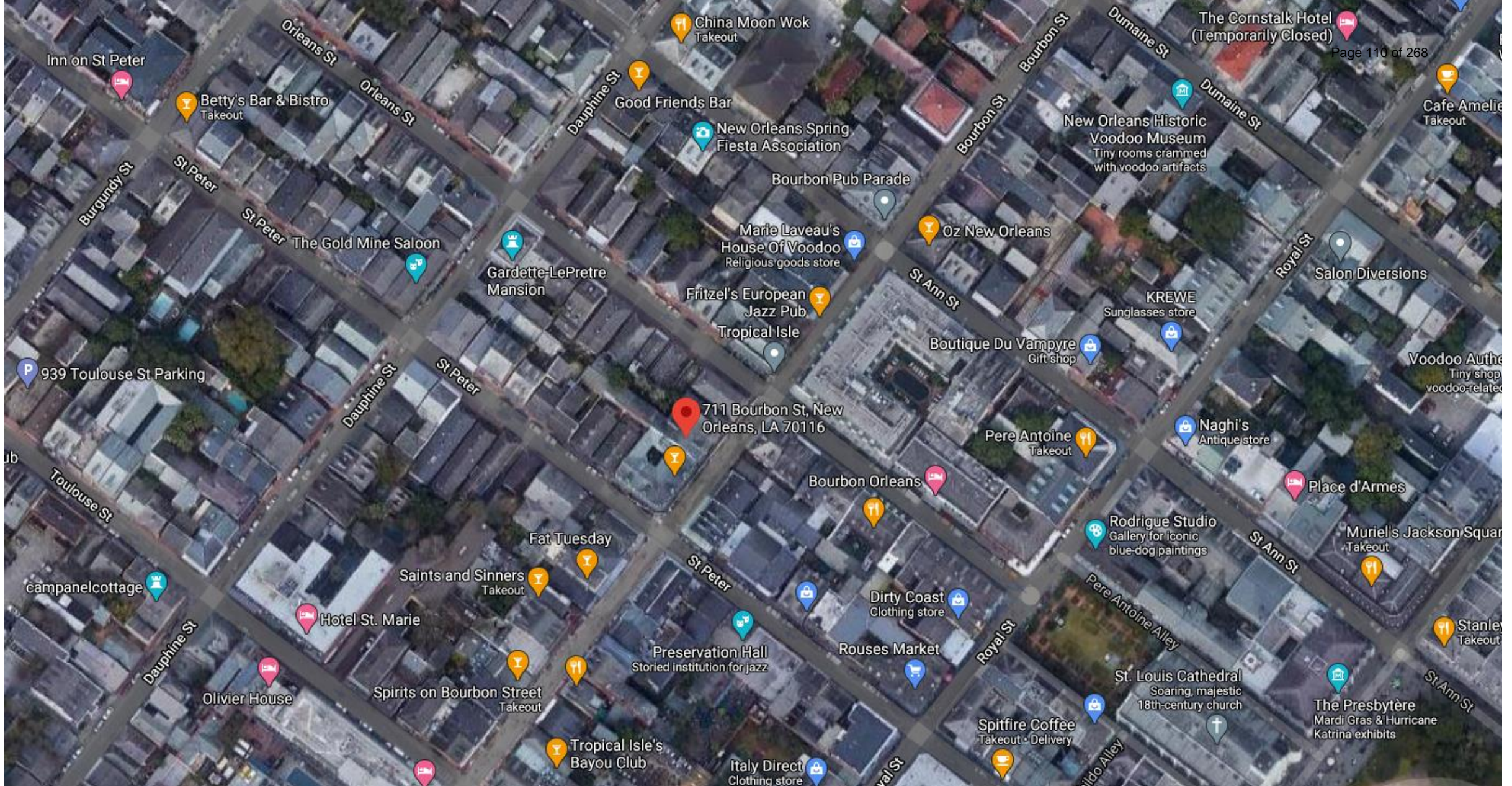
New Orleans, Louisiana

INSPECTED ON:  
Monday, February 6, 2023

Inspector, Joseph Dendinger LHI #10974  
Gurtler Bros. Consultants



**711 Bourbon**



# 711 Bourbon

VCC Architectural Committee

May 9, 2023





711 Bourbon - 1948  
VCC Architectural Committee

May 9, 2023





711 Bourbon – ca. 1960  
VCC Architectural Committee

May 9, 2023







711 Bourbon – 1988

VCC Architectural Committee

May 9, 2023





711 Bourbon – 1995

VCC Architectural Committee

May 9, 2023





711 Bourbon

VCC Architectural Committee

May 9, 2023





711 Bourbon

VCC Architectural Committee

May 9, 2023





711 Bourbon

VCC Architectural Committee

May 9, 2023





711 Bourbon

VCC Architectural Committee

May 9, 2023





711 Bourbon

VCC Architectural Committee

May 9, 2023





711 Bourbo  
VCC Architect

10 15 2020







711 Bourbon

VCC Architectural Committee

10 15 2020

May 9, 2023





711 Bourbon

VCC Architectural Committee

10 15 2020

May 9, 2023





711 Bourbon – Mechanical Equipment April 2020





10 15 2020

## 711 Bourbon – Current Mechanical Equipment

VCC Architectural Committee

May 9, 2023





711 Bourbon – Current Mechanical Equipment

VCC Architectural Committee

May 9, 2023





711 Bourbon – Current Mechanical Equipment





## 711 Bourbon – Current Mechanical Equipment

VCC Architectural Committee

May 9, 2023





711 Bourbon – Current Mechanical Equipment







# 711 Bourbon – Current Mechanical Equipment

VCC Architectural Committee

May 9, 2023





711 Bourbon - Lighting

VCC Architectural Committee

02 11 2022

May 9, 2023





711 Bourbon - Lighting

VCC Architectural Committee

May 9, 2023





711 Bourbon - Lighting

VCC Architectural Committee

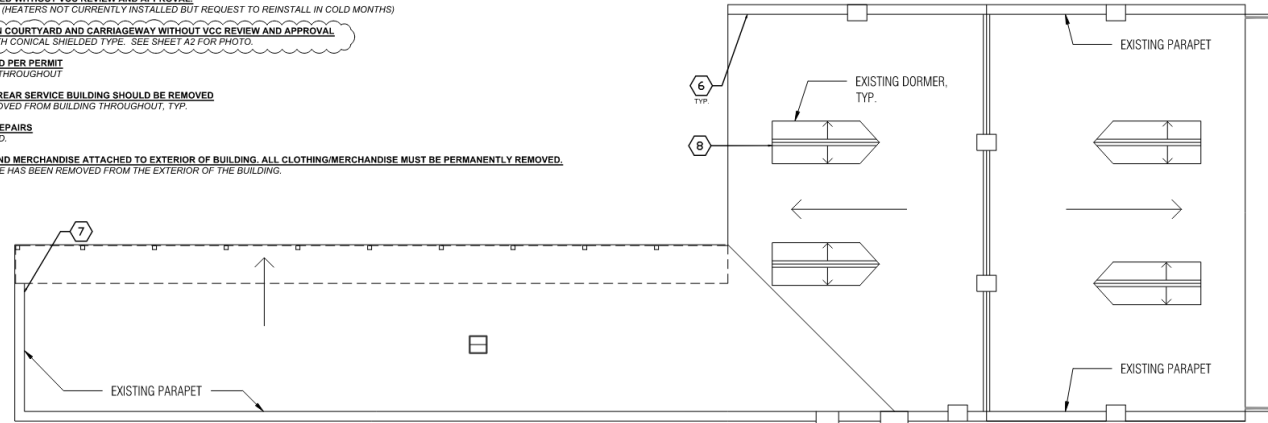
May 9, 2023



**KEYNOTES**

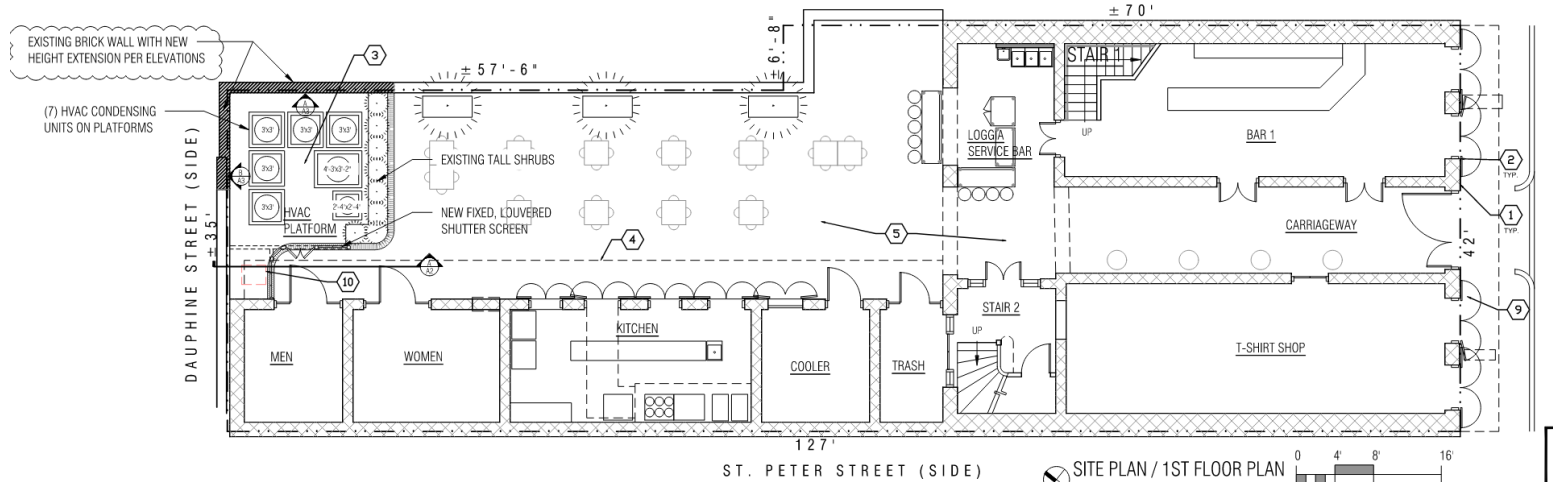
**V.C.C. VIOLATIONS & PROPOSED RESOLUTIONS**

1. **PREVIOUSLY AND HISTORICALLY EXPOSED BRICK HAS BEEN PAINTED OVER IN DEVIATION OF VCC PERMITS.**  
RETAIN EXISTING PAINT ON BRICK. TYP. ATTEMPTS TO REMOVE PAINT HAVE BEEN UNSUCCESSFUL WITHOUT CAUSING DAMAGE TO BRICKS.
2. **SHUTTER HINGES SHOULD BE PAINTED TO MATCH ADJACENT SURFACE, NOT BLACK.**  
ALL SHUTTER HINGES THAT ARE CURRENTLY PAINTED BLACK SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
3. **ADDITIONAL CONDUIT, ADDITIONAL HVAC INSTALLED WITHOUT VCC REVIEW AND APPROVAL.**  
RETAIN EXISTING HVAC PLATFORM WITH 7 UNITS AND ASSOCIATED CONDUIT. SEE SITE PLAN / 1ST FLOOR PLAN, SHEET A1
4. **MOUNTED HEATERS INSTALLED WITHOUT VCC REVIEW AND APPROVAL.**  
RETAIN MOUNTED HEATERS. (HEATERS NOT CURRENTLY INSTALLED BUT REQUEST TO REINSTALL IN COLD MONTHS)
5. **STRING LIGHTS INSTALLED IN COURTYARD AND CARRIAGEWAY WITHOUT VCC REVIEW AND APPROVAL.**  
REPLACE STRING LIGHTS WITH CONICAL SHIELDED TYPE. SEE SHEET A2 FOR PHOTO.
6. **CAP FLASHING NOT REMOVED PER PERMIT.**  
RETAIN CAP FLASHING. TYP. THROUGHOUT.
7. **VEGETATION ATTACHED TO REAR SERVICE BUILDING SHOULD BE REMOVED.**  
VEGETATION HAS BEEN REMOVED FROM BUILDING THROUGHOUT, TYP.
8. **REAR DORMER IN NEED OF REPAIRS.**  
DORMER HAS BEEN REPAIRED.
9. **IMPERMISSIBLE CLOTHING AND MERCHANDISE ATTACHED TO EXTERIOR OF BUILDING. ALL CLOTHING/MERCHANDISE MUST BE PERMANENTLY REMOVED.**  
CLOTHING AND MERCHANDISE HAS BEEN REMOVED FROM THE EXTERIOR OF THE BUILDING.
10. **REMOVE MISTING SYSTEM.**



ROOF PLAN  
SC: 1/8" = 1'-0"

ORLEANS STREET (SIDE)



SITE PLAN / 1ST FLOOR PLAN  
SC: 1/8" = 1'-0"

NOTE:  
ALL CONSTRUCTION IS EXISTING  
UNLESS NOTED AS "NEW".

**BOURBON HEAT V.C.C.VIOLATIONS**

711 Bourbon Street  
New Orleans, Louisiana 70116



**LKHarm Architects**

A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans Louisiana 70124  
504.485.5870 harmon@lkharmarchitects.com

8.9.2022  
PROGRESS  
10.4.2022  
REV.  
4.12.2023  
REV.

**A1**

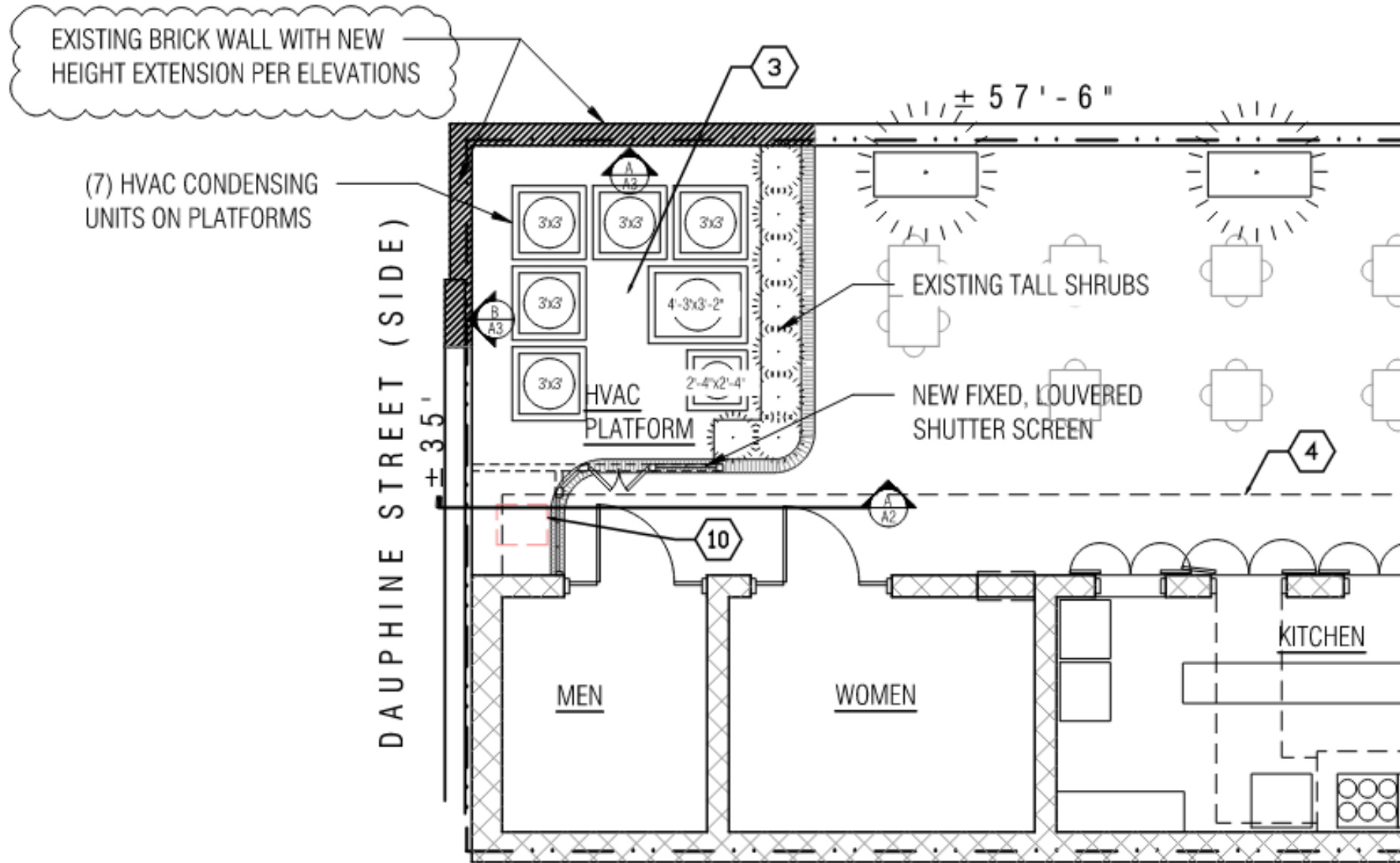
LKH#3615.4

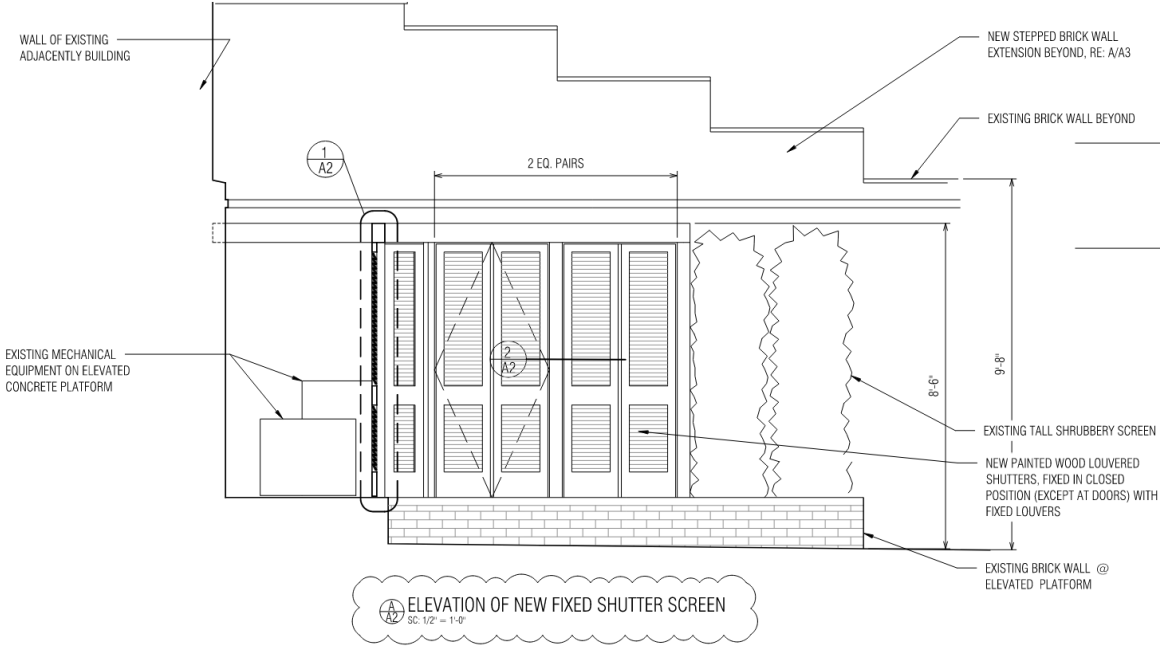
711 Bourbon

VCC Architectural Committee

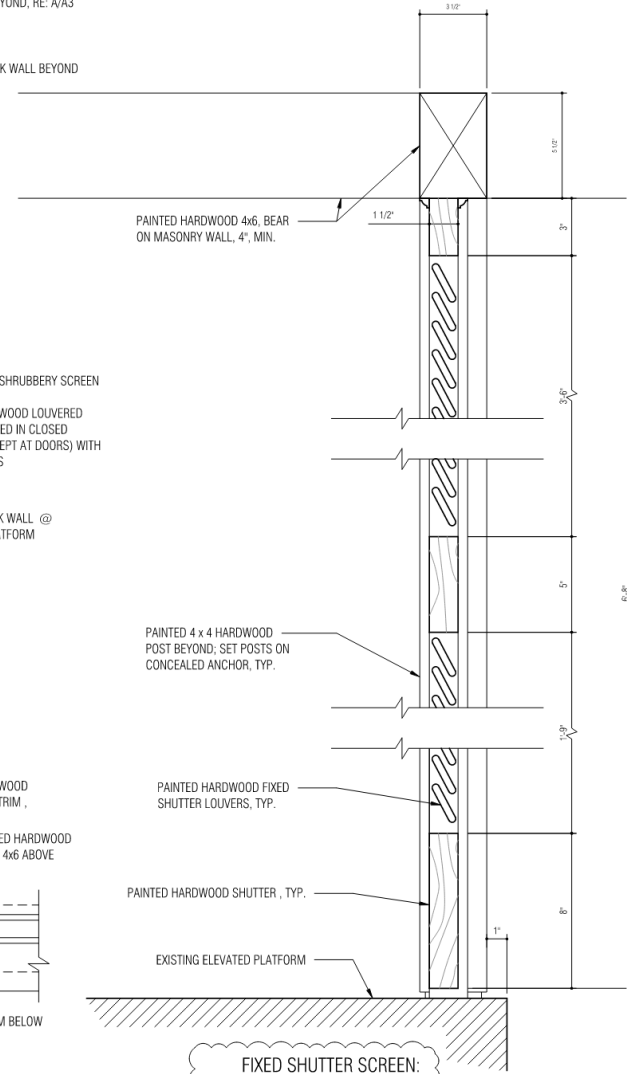
May 9, 2023







**ELEVATION OF NEW FIXED SHUTTER SCREEN**  
SC: 1/2" = 1'-0"

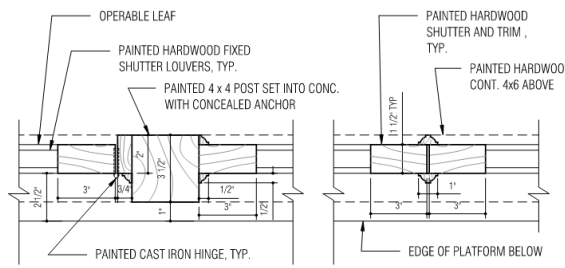


**FIXED SHUTTER SCREEN: VERTICAL SECTION DETAIL**  
SC: 3/8" = 1'-0"



TYPICAL SHIELDED STRING LIGHT

**48 | 24**  
FEET | LIGHTS  
**LINKABLE**



**FIXED SHUTTER SCREEN: PLAN DETAIL**  
SC: 3/8" = 1'-0"

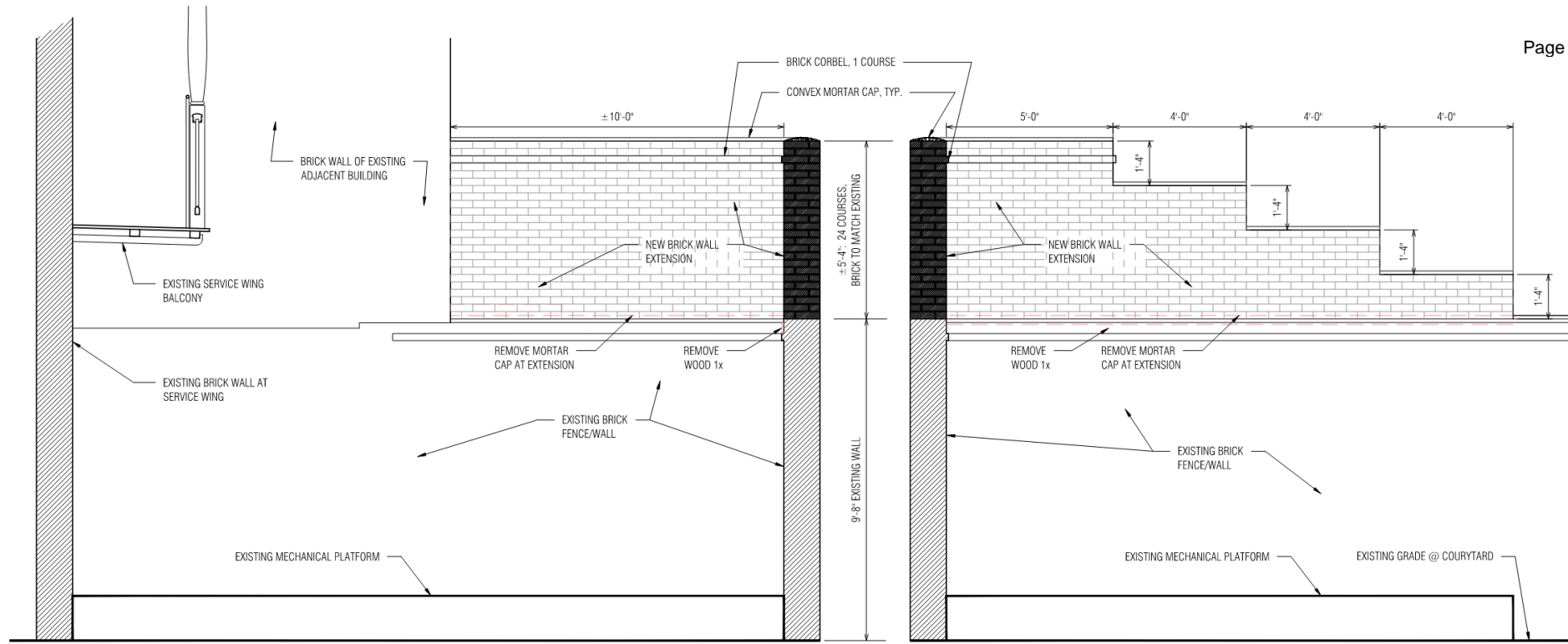
<p><b>BOURBON HEAT V.C.C.VIOLATIONS</b> 711 Bourbon Street New Orleans, Louisiana 70116</p>	 <p><b>LKHarmont Architects</b> A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans Louisiana 70124 504.485.5870 harmon@lkharmontarchitects.com</p>	<p>10.4.2022</p>	<p><b>A2</b></p>
		<p>4.12.2023 REV.</p>	

711 Bourbon

VCC Architectural Committee

May 9, 2023





ⓑ ELEVATION OF NEW BRICK WALL EXTENSION @ REAR  
SC: 1/2" = 1'-0"

Ⓐ ELEVATION OF NEW BRICK WALL EXTENSION @ SIDE  
SC: 1/2" = 1'-0"

711 Bourbon

VCC Architectural Committee

**BOURBON HEAT V.C.C.VIOLATIONS**  
711 Bourbon Street  
New Orleans, Louisiana 70116



**LKH Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans Louisiana 70124  
504.485.5870 harmon@lkharchitects.com

4.12.2023

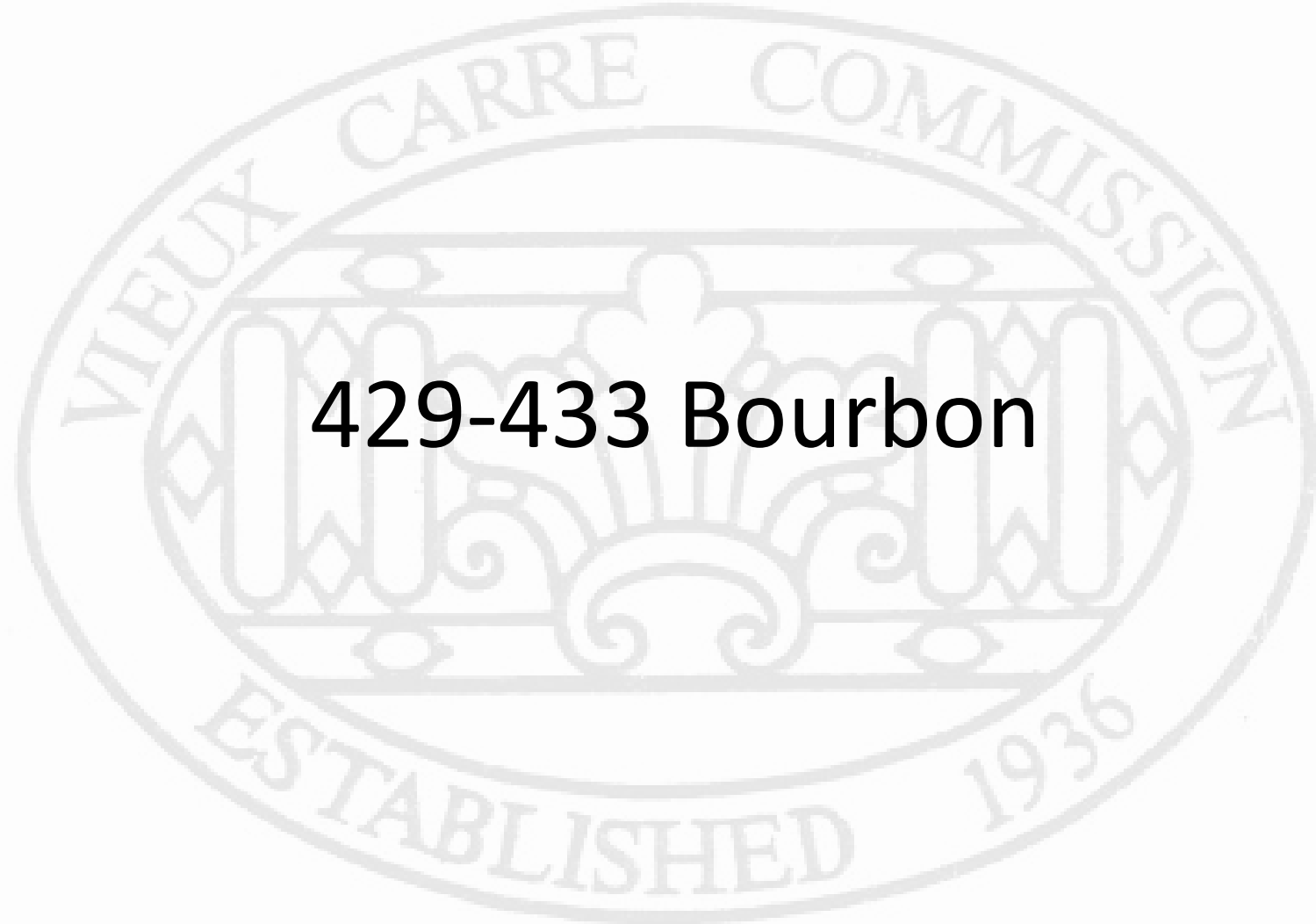
A3

LKH#3615.4

May 9, 2023







**429-433 Bourbon**

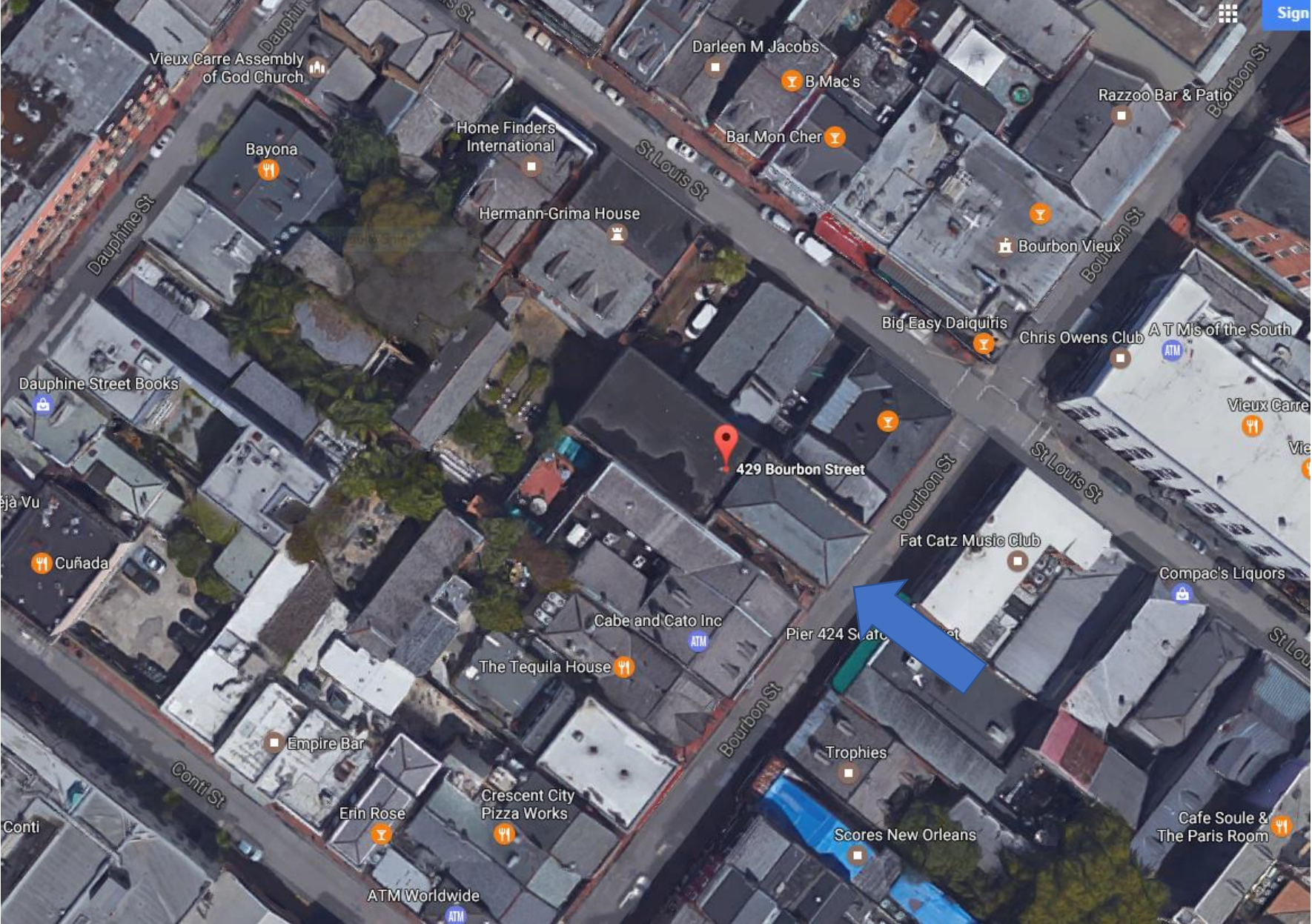


429-433 Bourbon

VCC Architecture Committee

May 9, 2023





429-433 Bourbon  
 VCC Architecture Committee

May 9, 2023



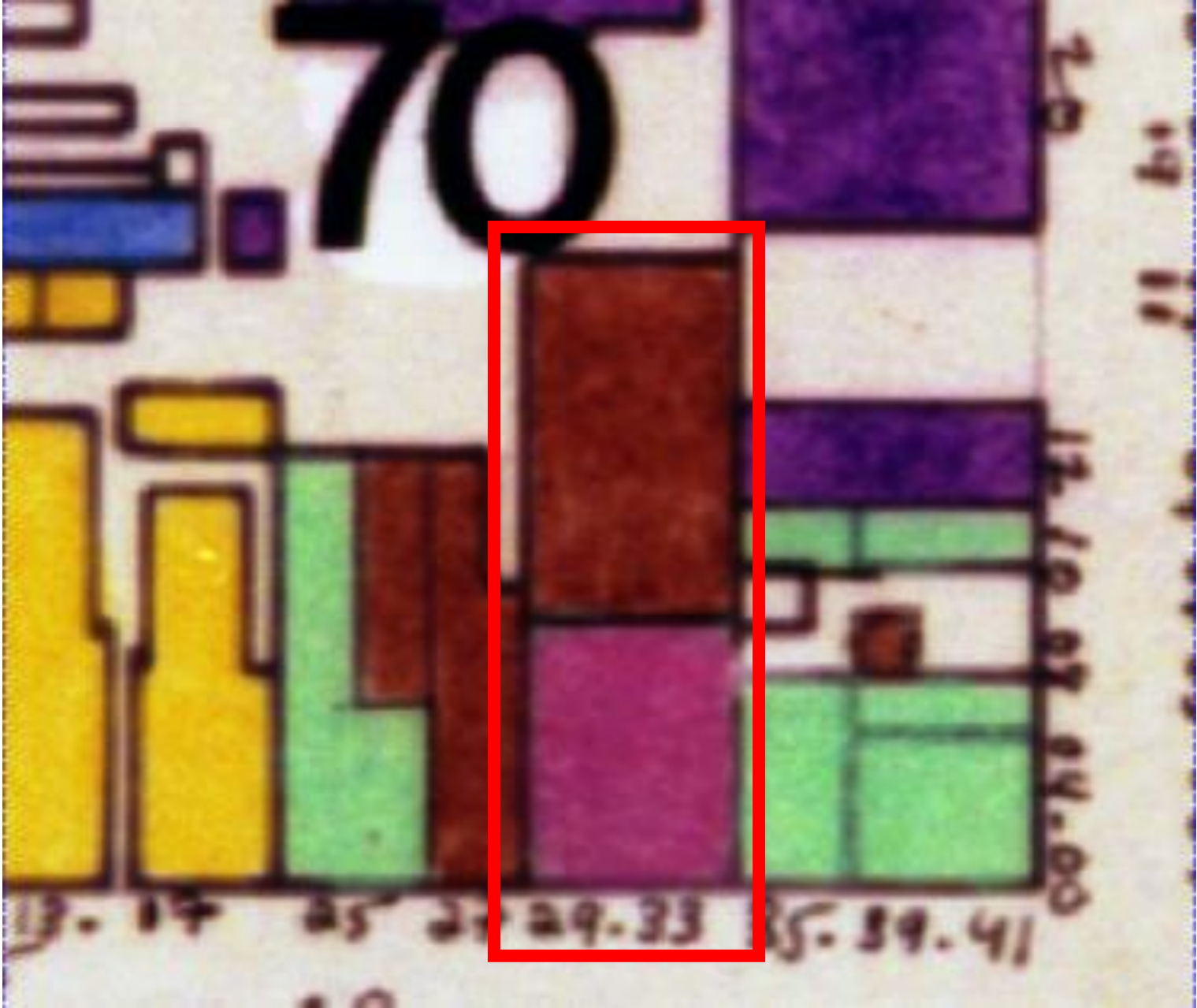


429-433 Bourbon

VCC Architecture Committee

May 9, 2023





429-433 Bourbon

VCC Architecture Committee

May 9, 2023





429-433 Bourbon

VCC Architecture Committee

May 9, 2023





429-433 Bourbon  
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May 9, 2023





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May 9, 2023





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02 11 2022

May 9, 2023





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May 9, 2023





429-433 Bourbon

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02 11 2022

May 9, 2023





429-433 Bourbon  
VCC Architecture Committee

04 27 2023

May 9, 2023





429-433 Bourbon  
VCC Architecture Committee

04 27 2023

May 9, 2023



# EXTERIOR AND STRUCTURAL REPAIRS TO 429-33 BOURBON STREET NEW ORLEANS, LA



601 Papworth Avenue  
Suite 200  
Metairie, LA 70005  
504.838.8091  
www.moutonlong.com



PHOTO  
SCALE: N.T.S.

PROJECT DATA:		SCOPE OF WORK	
1. SUBMITTOR	MOUTON LONG TURNER ARCHITECTS	<b>SITE:</b> 1. <b>NO WORK</b>	9. REPAIR/ REPLACE ORNAMENTAL BRICKWORK IN AREAS REFERRED TO IN #8
2. SUBMITTOR ADDRESS	601 PAPWORTH AVENUE SUITE 200 METAIRIE, LA 70005 (504) 838-8091	<b>EXTERIOR WALLS:</b> 1. REMOVE SIGN FACE AND REPLACE WITH A BLANK FACE 2. REMOVE ABANDONED WIRING AND PIPING ATTACHED TO THE EXTERIOR WALLS. 3. REMOVE NON-APPROVED LIGHT FIXTURES AND SECURITY CAMERAS. 4. REPAIR MILLWORK TO MATCH EXISTING	10. INSTALL THRU-RODS AND TIE-BACK PLATES ON EXTERIOR. SEE STRUCTURAL. 11. SEE STRUCTURAL ENGINEERING DRAWINGS FOR DETAILS AND SPECS FOR SHORING, BRACING, TIE BACKS, AND BRICK WALL REPAIRS.
3. PROJECT NAME	429-33 BOURBON ST. EXTERIOR REPAIRS	<b>ROOF:</b> 1. REPAIR AND REPLACE ROOF, FLASHING, PARAPET CAPS, GUTTERS AND DOWNSPOUTS. 2. INSPECT ROOF FRAMING LUMBER AND REPAIR/ REPLACE AS NECESSARY.	<b>MILLWORK/ WINDOWS AND DOORS:</b> 8. REPAIR/ REPLACE/ AND PAINT MEMBERS OF EXTERIOR CEILINGS AND BALCONIES IN POOR CONDITION. 9. REPAIR/ REPLACE/ AND PAINT WINDOW SASHES, MOLDINGS, AND TRIM IN POOR CONDITION OR MISSING TO BE OPERABLE AND WATERTIGHT. 10. REPLACE MISSING/ BROKEN WINDOW GLAZING WITH APPROVED MATERIALS. 11. REMOVE AND REPLACE ACRYLIC AND/ OR NON-APPROVED GLAZING. 12. REPAIR, REPLACE, EXTERIOR DOORS WITH MATCHING STYLE AND MATERIALS. 13. G.C. SHALL INSPECT EACH WINDOW WITH THE MILLWORK CONTRACTOR TO DETERMINE IF THE WINDOW CAN BE SALVAGED AND REPAIRED OR IS NEED OF TOTAL REPLACEMENT.
4. PROJECT ADDRESS	429-33 BOURBON STREET NEW ORLEANS, LA	<b>STRUCTURAL/ MASONRY:</b> <b>NOTE:</b> REMOVE INTERIOR FINISHES ON EXTERIOR WALLS THAT MAY BE CONCEALING STRUCTURAL CRACKS OR OTHER HIDDEN ISSUES TO PROVIDE FOR VISUAL INSPECTION. REFER TO REPORT AND AND DETAILS PREPARED BY ANDERSON AND BUUCK CONSULTING ENGINEERS, DATED 4-2-23.	11. REMOVE AND REPLACE ACRYLIC AND/ OR NON-APPROVED GLAZING. 12. REPAIR, REPLACE, EXTERIOR DOORS WITH MATCHING STYLE AND MATERIALS. 13. G.C. SHALL INSPECT EACH WINDOW WITH THE MILLWORK CONTRACTOR TO DETERMINE IF THE WINDOW CAN BE SALVAGED AND REPAIRED OR IS NEED OF TOTAL REPLACEMENT.
5. PROJECT DESCRIPTION	EXTERIOR REPAIRS	1. REPAIR SECTIONS OF WALLS IN DANGER OF COLLAPSE. 2. REPAIR CRACKS IN MASONRY WALLS. 3. REPAIR CHIMNEYS 4. REPAIR PARAPETS. 5. PROPERLY CLEAN EXTERIOR AND REMOVE VEGETATION GROWING FROM WALLS. 6. TUCK POINT DETERIORATED MORTAR WITH APPROVED MATERIALS TO RESTORE WATER TIGHTNESS OF EXTERIOR WALLS. 7. REMOVE GRAFFITI BY APPROVED METHODS FOR HISTORIC BUILDINGS. 8. REMOVE STEEL PLATES ON BUILDING EXTERIOR WALL THAT WERE PART OF PREVIOUS STRUCTURAL WORK.	<b>IRONWORK</b> 1. REMOVE RUST, REPAIR, PRIME, AND PAINT EXISTING IRON RAILINGS, EXPOSED SUPPORTS, AND OTHER METALS EXPOSED TO THE EXTERIOR. <b>NOTE:</b> SCOPE OF WORK IS LIMITED TO BUILDING EXTERIOR ONLY (OTHER THAN WORK RELATED TO STRUCTURAL REPAIRS) - NO INTERIOR WORK - NO CHANGE OF EXITS - NO MECHANICAL WORK - NO PLUMBING WORK - NO GAS WORK
6. OCCUPANCY	VACANT		
7. TOTAL GROSS AREA	(1) 5393 SF (2) 4860 SF (3) 4860 SF (4) 1908 SF <b>17,019 SF (+/-)</b>		
8. GROSS RENOVATED AREA OF ROOF	4,860 SF (+/-)		
9. BUILDING HEIGHT:	4 STORIES		
<b>ZONING</b>		<b>ST. LOUIS ST. (SIDE)</b>	
ZONING: VCE MAXIMUM HEIGHT: 50' MAXIMUM F.A.R.: 0 SETBACKS: NONE PERMITTED USES: RETAIL, BAR, LIVE ENTERTAINMENT, SHORT TERM RENTALS		<p><b>SITE PLAN</b> SCALE: 1"=200'-0"</p>	
<b>LEGAL DESCRIPTION</b>			
SQ 70 LOT 6 41'X128'			
<b>CODE DATA</b>		<b>DAUPHINE ST. (SIDE)</b>	
IEBC 2015 NRCA ROOFING AND WATERPROOFING MANUAL		<b>BOURBON ST.</b>	
		<b>CONTI ST. (SIDE)</b>	

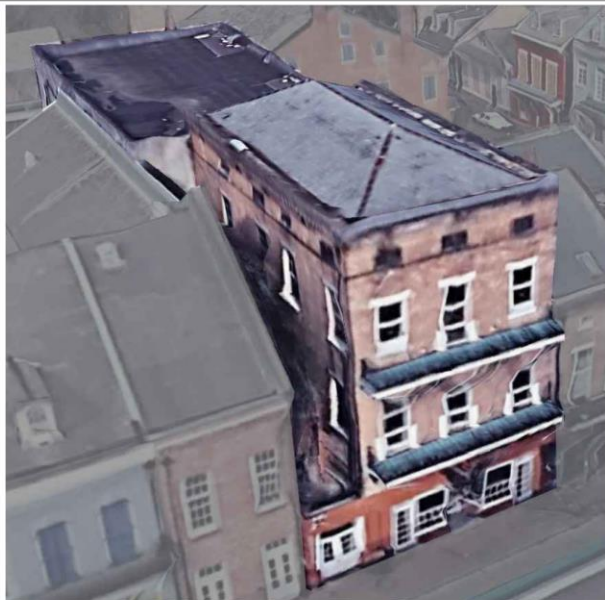


EXTERIOR AND STRUCTURAL REPAIRS  
TO  
429-33 BOURBON STREET  
NEW ORLEANS, LA

Issued		
Date	By	Remarks

Revisors:  
 VCCZ  
 VCCZ COMMENTS  
 1/31/23 22-1767  
 Date Project No.  
**CV**





BOURBON ST. SIDE



ST. LOUIS ST. SIDE



ST. LOUIS ST. SIDE AND REAR



DAUPHINE ST. SIDE

**MOULTON LONG TURNER**  
ARCHITECT

601 Papworth Avenue  
Suite 200  
Metairie, LA 70005  
504.838.8091  
www.moultonlong.com

EXTERIOR AND STRUCTURAL REPAIRS  
TO  
429-33 BOURBON STREET  
NEW ORLEANS, LA

Issued		
Date	To	Revisions

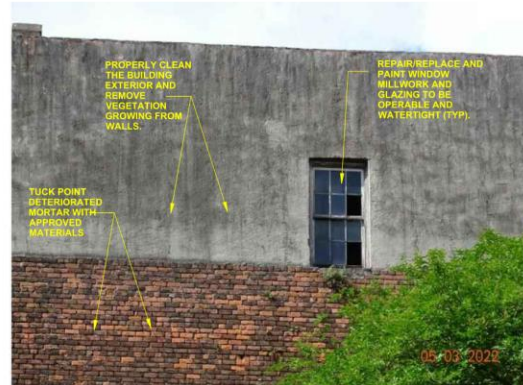
  

Revisions	
Date	Project No.
1/31/23	22-1767

A1.0



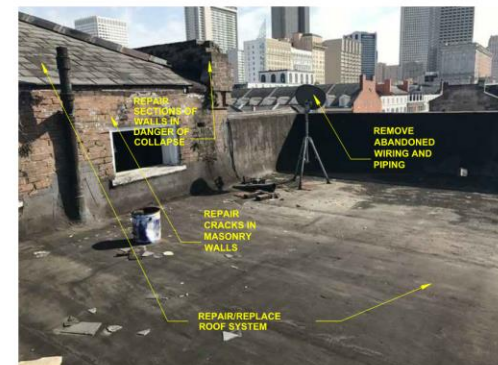




NOTE: THESE PHOTOS REPRESENT EXAMPLES OF AREAS OF CONCERN THAT ARE TYPICAL THROUGHOUT THE BUILDING AND APPLY EQUALLY TO THE REMAINDER OF THE BUILDING.



EXTERIOR AND STRUCTURAL REPAIRS TO 429-33 BOURBON STREET NEW ORLEANS, LA



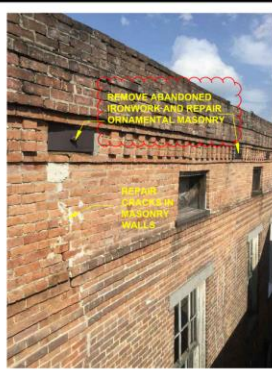
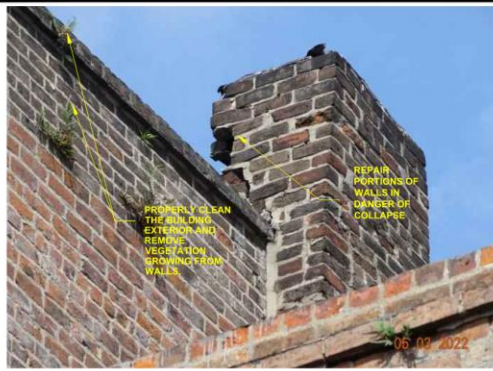
Issued	By	Revised

Revisions	4/25/23	VCC COMMENTS

1/31/23	22-1767
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A1.1





**MOULTON LONG TURNER ARCHITECT**  
 601 Papworth Avenue  
 Suite 200  
 Metairie, LA 70005  
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EXTERIOR AND STRUCTURAL REPAIRS  
 TO  
 429-33 BOURBON STREET  
 NEW ORLEANS, LA

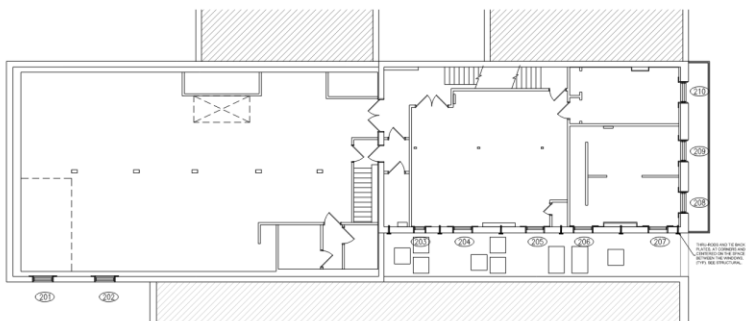
Issued	
Date	Remarks

Revisions	Date	Project No.
4/25/23 VCC COMMENTS		

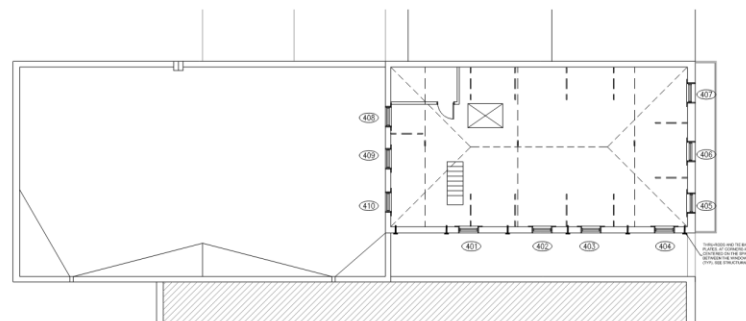
1/31/23 22-1787  
 Drawing No.

**A1.2**



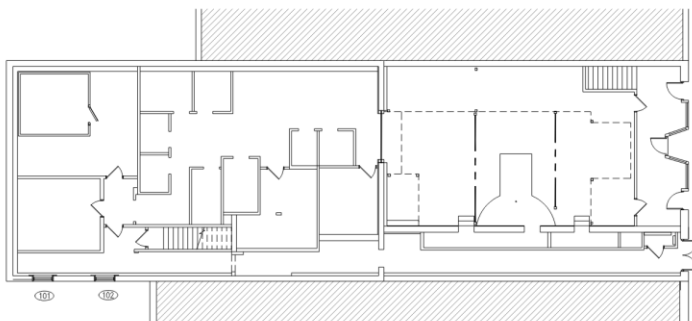


2 SECOND FLOOR PLAN  
A3.0 SCALE: 3/32" = 1'-0"

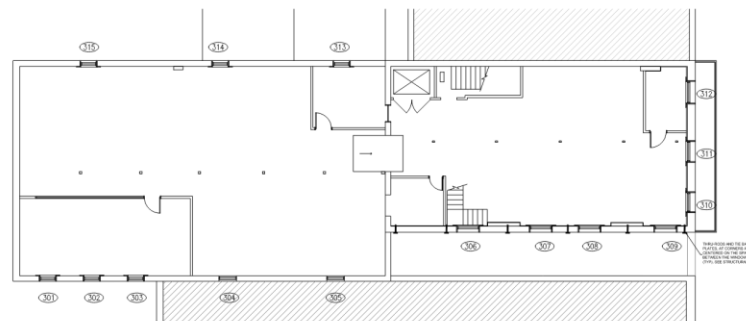


4 FOURTH FLOOR PLAN  
A3.0 SCALE: 3/32" = 1'-0"

NOTE: MEZZANINE LEVEL PLAN IS NOT SHOWN HERE



1 FIRST FLOOR PLAN  
A3.0 SCALE: 3/32" = 1'-0"



3 THIRD FLOOR PLAN  
A3.0 SCALE: 3/32" = 1'-0"

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 ARCHITECTS  
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EXTERIOR AND STRUCTURAL REPAIRS  
 TO  
 429-33 BOURBON STREET  
 NEW ORLEANS, LA

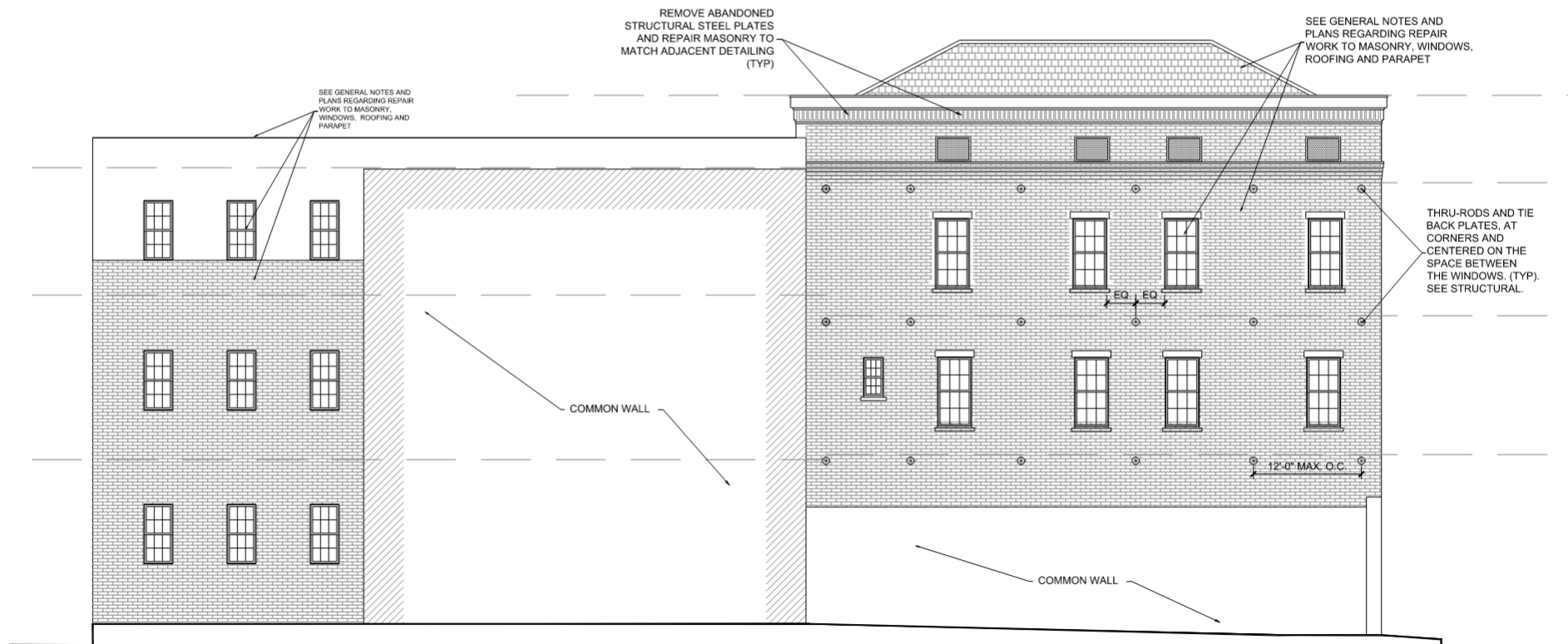
Issued		
Date	By	Remarks

Revisions: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z  
 VCC COMMENTS  
 1/31/23 Date: 22-1767 Project No.  
 Drawing No.

A2.0







LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

429-433 Bourbon

VCC Architecture Committee

May 9, 2023

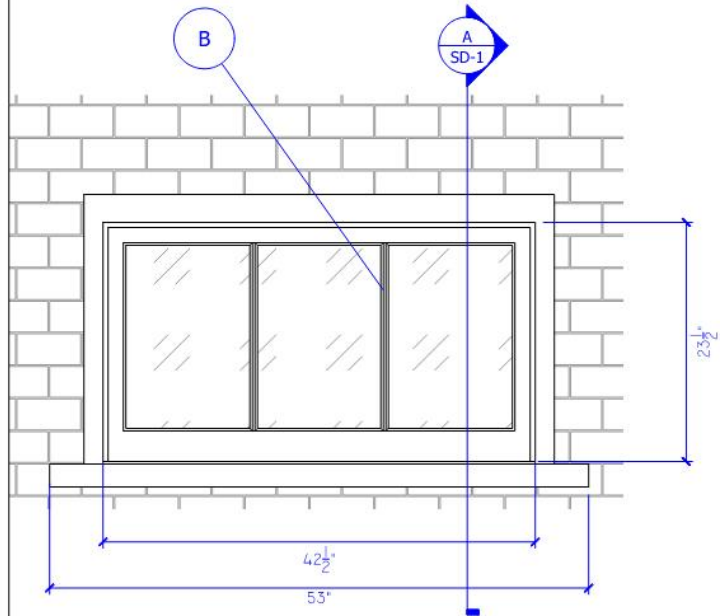


EXISTING SASHES DAMAGED BY ROT TO BE REPLACED  
EXISTING JAMBS TO REMAIN WHERE REPAIRABLE

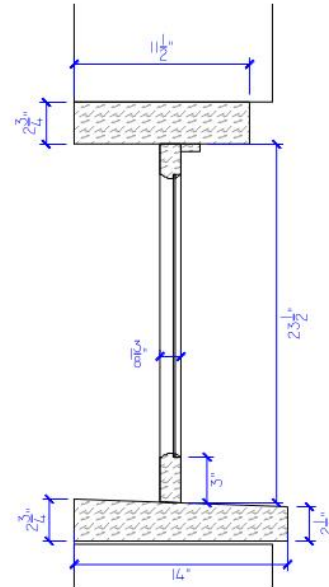


UNIT TO BE REPLACED AT LOCATIONS WHERE  
JAMB AND SILL ARE COMPROMISED BEYOND REPAIR

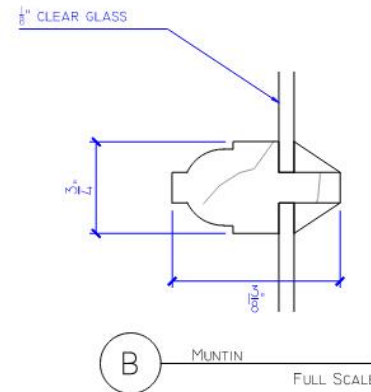
○ 4TH FLOOR/ ATTIC WINDOWS



○ 1 4TH FLOOR/ ATTIC WINDOWS - 9 SASHES ONLY, 1 COMPLETE UNIT  
SCALE: 1" = 1'



○ A 4TH FLOOR/ ATTIC WINDOWS  
SCALE: 1 1/2" = 1'



**CUSTOM MILLWORK NOTES:**

1. REPLACE 9 MISSING OR DAMAGED SASHES ONLY & 1 COMPLETE UNIT
2. WINDOW STYLE : FIXED
3. GLASS TYPE: 1/8" CLEAR DBSG
4. WOOD SPECIES: SPANISH CEDAR OR EQUAL
5. FINISH: PAINT GRADE: SUPPLIED PRIMED
6. ALL WEATHERPROOFING, CAULKING TO MASONRY AND FINAL FINISH BY OTHERS

**SHOP DRAWINGS**

These drawings are the property of the drafter. They are not to be used for any purpose without the approval of the drafter and are to be returned upon request. They are not to be reproduced, copied or altered without consent.

project name:

**429-433 Bourbon**  
New Orleans, LA

drawing dates:

DATE	BY	REVISION
04.28.23	A.G. Ramos	

revisions:

NO.	DATE	REVISION
1		
2		
3		

contents & description:

**Window & restoration**

sheet no.:

**SD-1**



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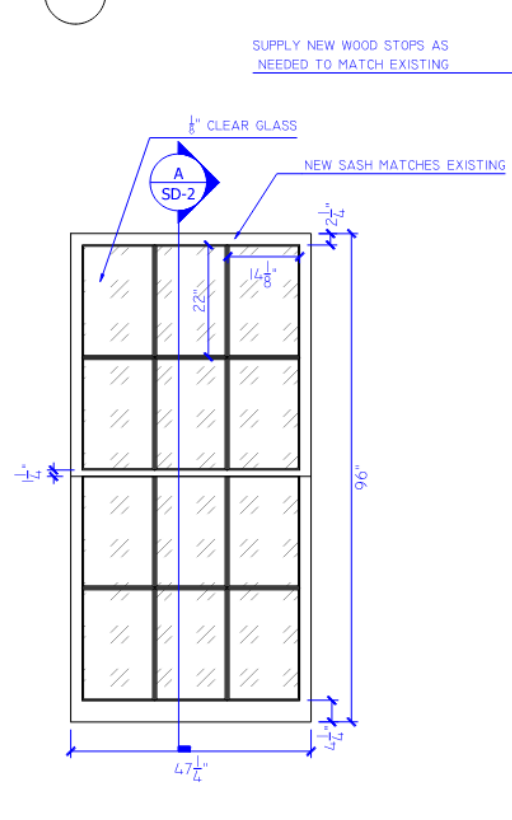


3RD FLOOR - SIDE WINDOWS- QTY 4 EACH FLOOR

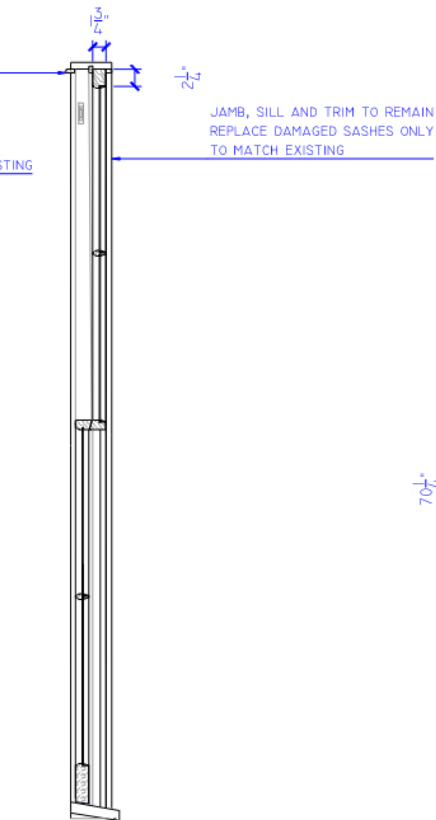


MISSING OR DAMAGED SASHES  
3RD FLOOR -SIDE WALLS  
-REAR BUILDING

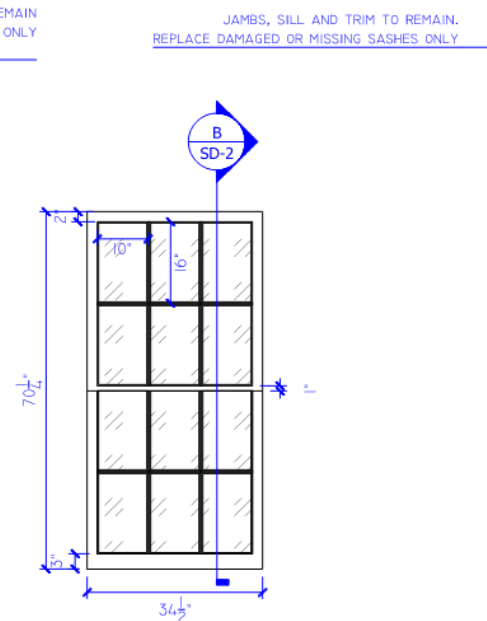
3RD FLOOR - SIDE WINDOWS ( REAR ) - QTY 8



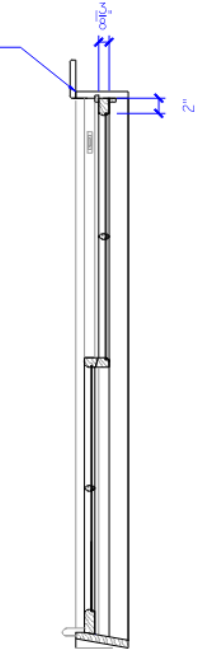
I 3RD & 2ND FLOOR WINDOWS - SIDE WALL  
SCALE: 1/2" = 1'



A SECTION  
SCALE: 3/4" = 1'



I 3RD FLOOR WINDOWS- QTY 8 + 1 ON 2ND FLOOR  
SCALE: 1/2" = 1'



B SECTION  
SCALE: 3/4" = 1'

project name:

429-433 Bourbon  
New Orleans, LA

drawing dates:

04.28.23	A.G. Ramos
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revisions:

1		
2		
3		

contents & description:

Window & restoration

sheet no.:

SD-2



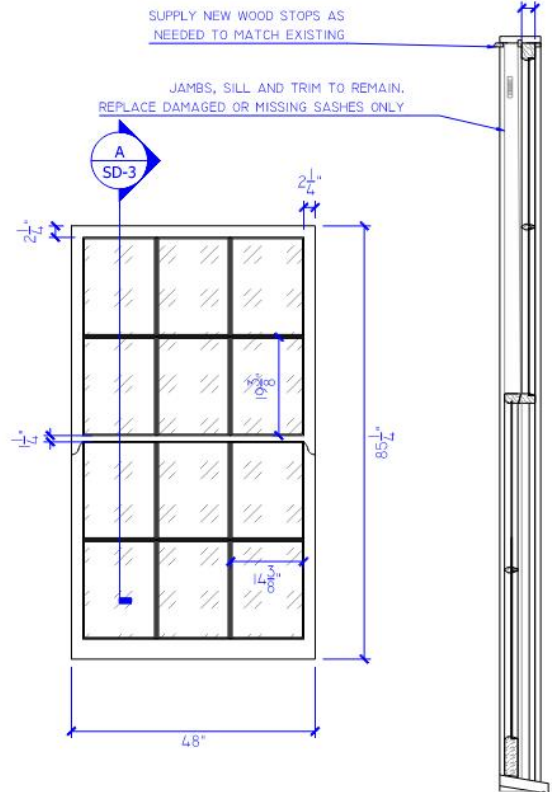
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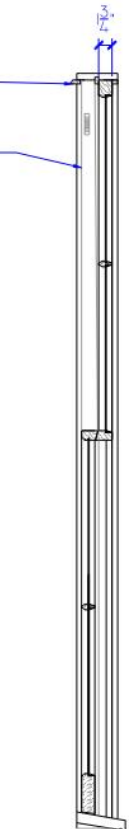
SHORT WINDOWS ON 3RD FLOOR ONLY  
 SAME SIZE WINDOWS ON 3RD FLOOR CENTER (1) AND 2ND FLOOR (ALL THREE)

JAMB, SILL AND TRIM TO REMAIN  
 REPLACE DAMAGED SASHES ONLY  
 TO MATCH EXISTING

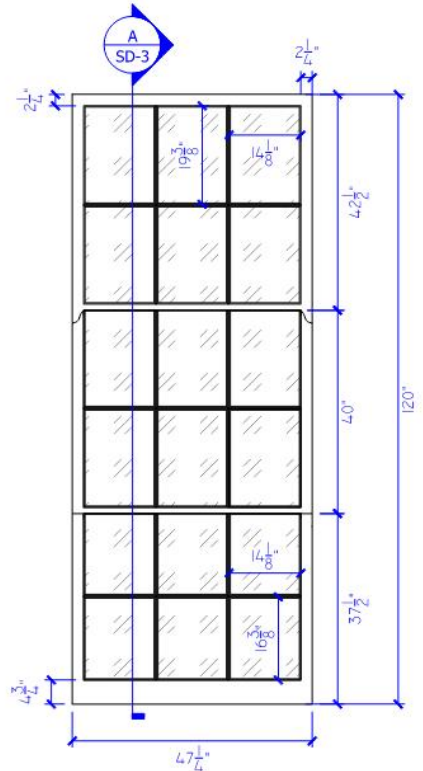
3RD FLOOR - FRONT WINDOWS



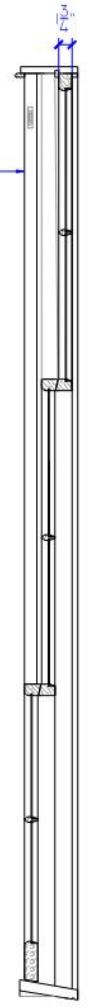
1 3RD FLOOR BALCONY WINDOWS (QTY 2)  
 SCALE: 1/2" = 1'



A 3RD FLOOR - BALCONY WINDOWS  
 SCALE: 3/4" = 1'



2 BALCONY WINDOWS (QTY 4)  
 SCALE: 1/2" = 1'



B BALCONY WINDOWS  
 SCALE: 3/4" = 1'

project name:

429-433 Bourbon  
 New Orleans, LA

drawing dates:

04.28.23 A.G.Ramos

revisions:

1  
 2  
 3

contents & description:

Window & restoration

sheet no:

SD-3

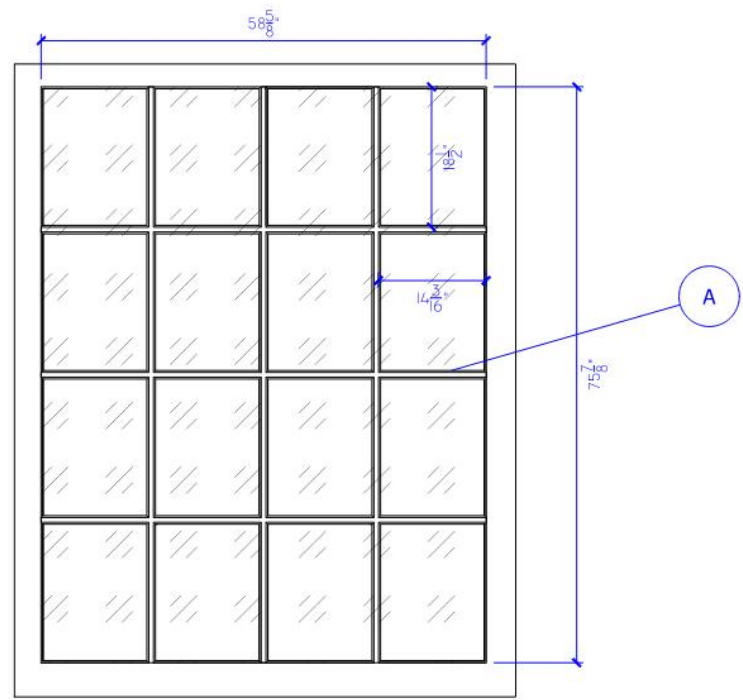




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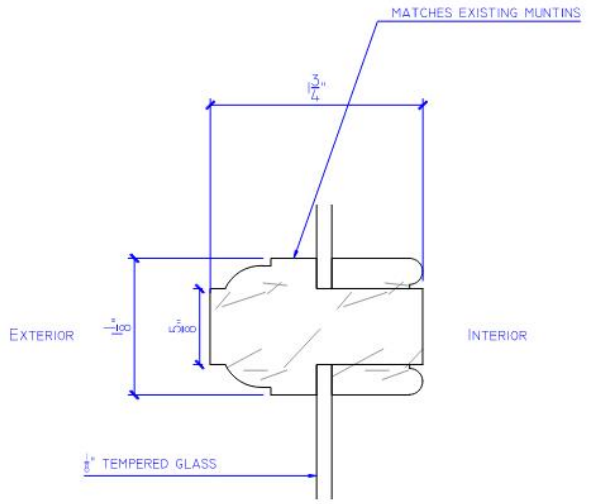


○ STOREFRONT WINDOWS



○ 1 EXTERIOR ELEVATION (QTY 2)

SCALE: 1/2" = 1'



○ A DETAIL FULL SCALE

project name:

429-433 Bourbon  
New Orleans, LA

drawing dates:

DATE: 04 28 23 DRAWN BY: A.G. Ramos

revisions:

NO.	DATE	BY	DESCRIPTION
1			
2			
3			

contents & description:

Window & restoration

sheet no.:

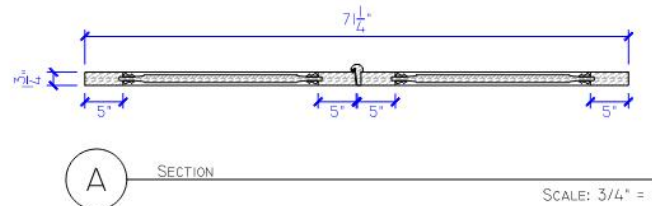
SD-4



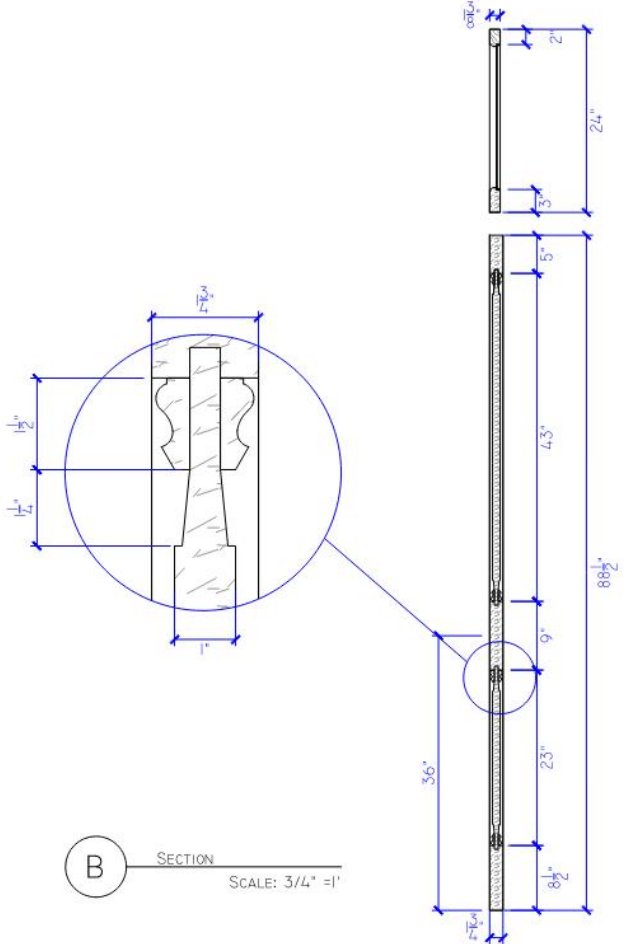
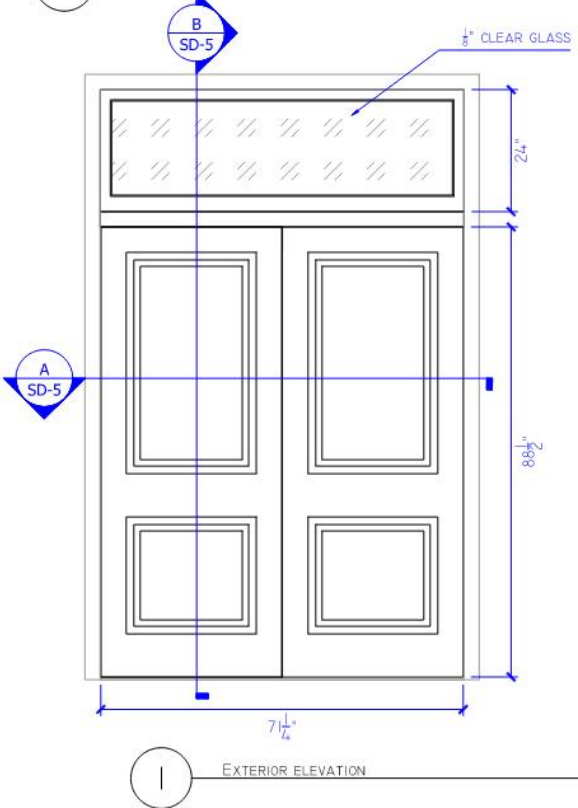


EXISTING JAMB, TRANSOM BAR AND TRIM TO REMAIN

NEW TRANSOM AND DOOR SLABS TO FIT IN EXISTING UNIT



ALLEY FRENCH DOOR



project name:

429-433 Bourbon  
New Orleans, LA

drawing dates:

revision: 04.28.23 drafter: A.G. Ramos

revisions:

1		
2		
3		

contents & description:

Window & restoration

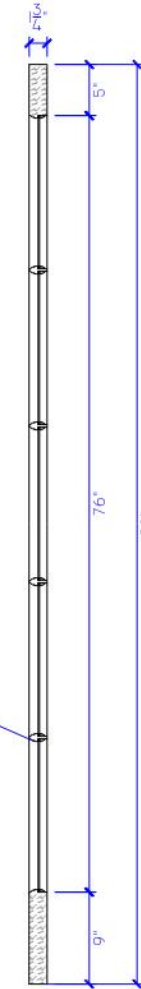
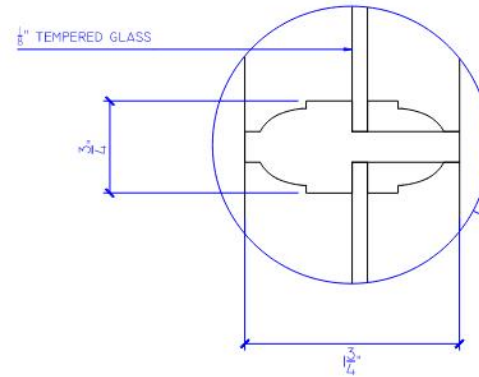
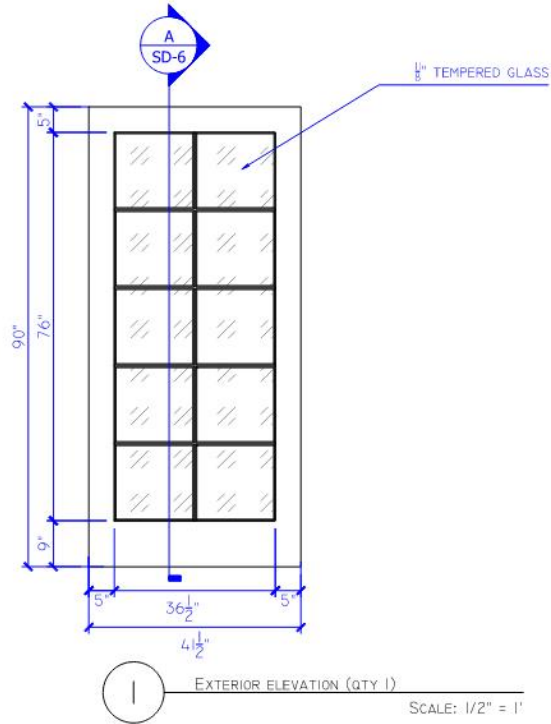
sheet no:

SD-5





NEW DOOR SLAB TO MATCH EXISTING DETAILS, JAMB AND TRIM TO REMAIN



project name:

429-433 Bourbon  
New Orleans, LA

drawing dates:

04.28.23 A.G. Ramos

revisions:

NO.	DATE	BY	CHKD BY
1			
2			
3			

contents & description:

Window & restoration

sheet no.:

SD-6





429-433 Bourbon – Mill work photos from Applicant  
VCC Architecture Committee

May 9, 2023





429-433 Bourbon – Mill work photos from Applicant  
VCC Architecture Committee

May 9, 2023





429-433 Bourbon – Mill work photos from Applicant

VCC Architecture Committee

May 9, 2023





429-433 Bourbon – Mill work photos from Applicant  
VCC Architecture Committee

May 9, 2023



SUITE 306  
432 N. ANTHONY STREET  
NEW ORLEANS, LOUISIANA 70119

PHONE: (504) 488-7797  
E-MAIL: abeng@andersonbuuck.com

January 26, 2023

Revised April 20, 2023

Mouton Long Turner  
601 Papworth Avenue, Suite 200  
Metairie, LA 70005

Attn: Ralph Long  
[ralph@moutonlong.com](mailto:ralph@moutonlong.com)

**RE:** 433 Bourbon Street  
New Orleans, LA

Dear Mr. Long:

This is to advise you that on January 10, 2023, we performed an inspection at the above referenced address for the purpose of assessing the existing condition of the overall structure, outlining structural concerns, and making recommendations for necessary repairs. The following is an outline of our findings with recommended repairs if applicable.

1. Interior brick cracks were evident on the inside face of the front corners of the building as shown in Photograph #1.

Recommended Repair: Stitch corners with steel straps above and below the adjacent window at each floor as shown in the attached Detail A.

2. Major brick cracking was visible on the interior of the front wall adjacent to the western most front window. This crack appears to translate from floor to floor. Examples of this crack at the third floor and attic are shown in Photographs #2 and #3 respectively. Additional investigation is needed after removal of finishes from walls to determine the extent of the cracks.

Recommended Repair: Careful deconstruction and reconstruction to be carried out by a masonry expert with experience in Vieux Carre renovations.

3. Center Column line and beam at the third floor of the front original structure has evident deflection towards the western wall as shown in Photograph #4. The west masonry wall has visible lateral deflection as can be seen in Photograph #5. These items lead us to the hypothesis that the front original structure is deficient in lateral strength. It should be noted that the deflection in the western wall is inconsistent and could be the cause of multiple factors.

Recommended Repair: Reconstruct the central column line as shown in Detail C and install steel ties to the floor system at the west wall as shown in Detail D and at the East wall as shown in Detail E. Please also refer to Building Section 1 for a diagram of the proposed front lateral structure retrofit.

4. Center Column line and beam at the third floor of the rear structure has evident lateral and vertical deflection as depicted in Photograph #6. Localized cracks are visible on the terracotta block masonry walls at the newer rear addition as can be seen in Photographs #7 through #10. These items lead us to the hypothesis that the rear structure is deficient in strength.

Recommended Repair: Reconstruct the central column line as shown in Detail C and install steel ties to the floor system at the East wall as shown in Detail D and at the West wall as shown in Detail E.

5. We suspect that moisture and termite damages could be an issue on some floor joists. Additional investigation is needed after partial demolition is complete to reveal all floor systems.

Recommended Repair: Joist with significant damages shall be sistered with a light gauge metal joist as per the attached Detail G.

6. Masonry cracks were significant in the attic. Examples of these cracks can be seen in Photographs #11 and #12.

Recommended Repair: Careful deconstruction and reconstruction to be carried out by a masonry expert with experience in Vieux Carre renovations.

7. Steel brick ties in the attic make the space unusable and appear to be deficient..

Recommended Repair: We suggest removing the existing ties and sistering steel to the rafters and collar braces as shown in Details H.1 and H.2 to provide a rigid roof structure to tie brick wall to brick wall.

8. The east facing masonry parapet is significantly leaning as depicted in Photograph #13.

Recommended Repair: Deconstruct the damaged parapet with care and rebuild in kind. Stitch to adjacent wall with steel plate as shown in Detail J.

9. Both the gable roof at the front structure and the flat roof at the rear structure appear to have some deficiencies.

Recommended Repair: The entirety of both roof systems shall be inspected and reconditioned as required by a waterproofing and roofing consultant retained by owner.

10. Masonry cracks are present in various locations, and we believe there is a potential for cracks behind plaster coatings, however it is not possible to confirm this without reveal.

Recommended Repair: If cracks are found to be structural, Careful deconstruction and reconstruction to be carried out by a masonry expert with experience in Vieux Carre renovations.

11. Additional foundation investigation is needed at the front masonry wall. Should it be found to be deficient, we would recommend the installation of (4)-helical pilings. Further Investigation to be carried out at a follow-up inspection.

The above findings are limited to what was accessible and visible at the time of our inspection and thus additional site visits shall be required after the partial demolition, to reveal all wall and floor surfaces, has been completed. Partial demolition shall be executed by others.





No warranty is given or implied with these observations relative to any hidden damage not observable at this time. These observations are a statement of opinion relative to structural performance of the above referenced structure. They do not purport to be an in depth technical report entailing contingent professional liability for future performance. The purpose and scope of these observations are to provide, on an economical basis, an experienced professional engineer's opinion relative to performance.

This report is the expressed opinion of this company only and does not bind any party to make any repairs or replacements. Specific compliance with applicable building code requirements is not included in this report unless otherwise stipulated. Observations are made under normal weather conditions and are not opinions of the conditions which may exist under unusual circumstances, such as, but not limited to, floods, heavy rains, high winds or any act of God.

Our report is based on the information available to us at this time. Should additional information become available, we reserve the right to determine the impact, if any, of the new information on our opinions and conclusions, and to revise our opinions and conclusions if necessary and warranted.

We hope the information provided meets your needs. Should you have any further questions, please do not hesitate to contact us. We thank you for this opportunity of being of service to you.

Respectfully submitted,

*Dalton*

Dalton J. Buuck, P.E.  
LA Reg. #47368



DJB:ss



Photograph #1

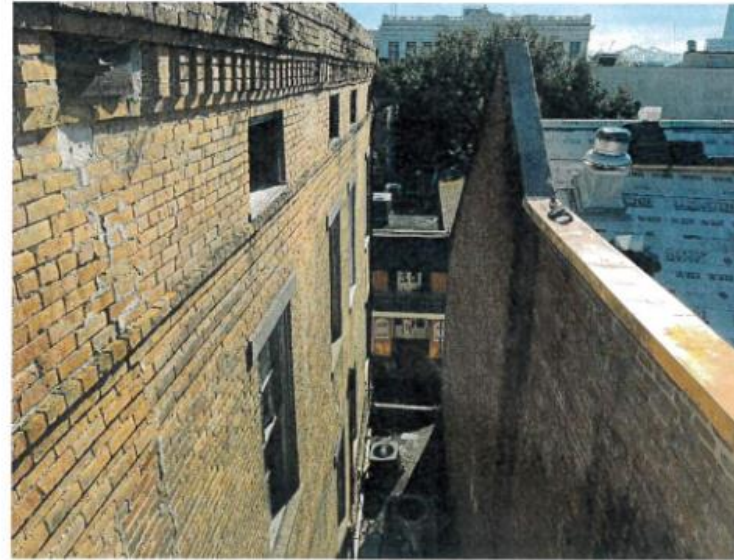


Photograph #2





Photograph #3



Photograph #5



Photograph #4



Photograph #6



Photograph #7



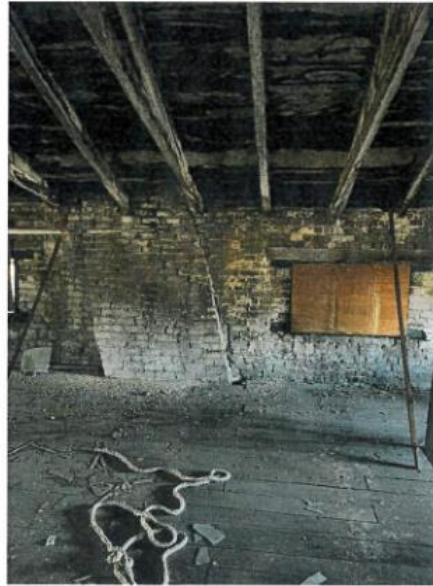
Photograph #9



Photograph #8



Photograph #10



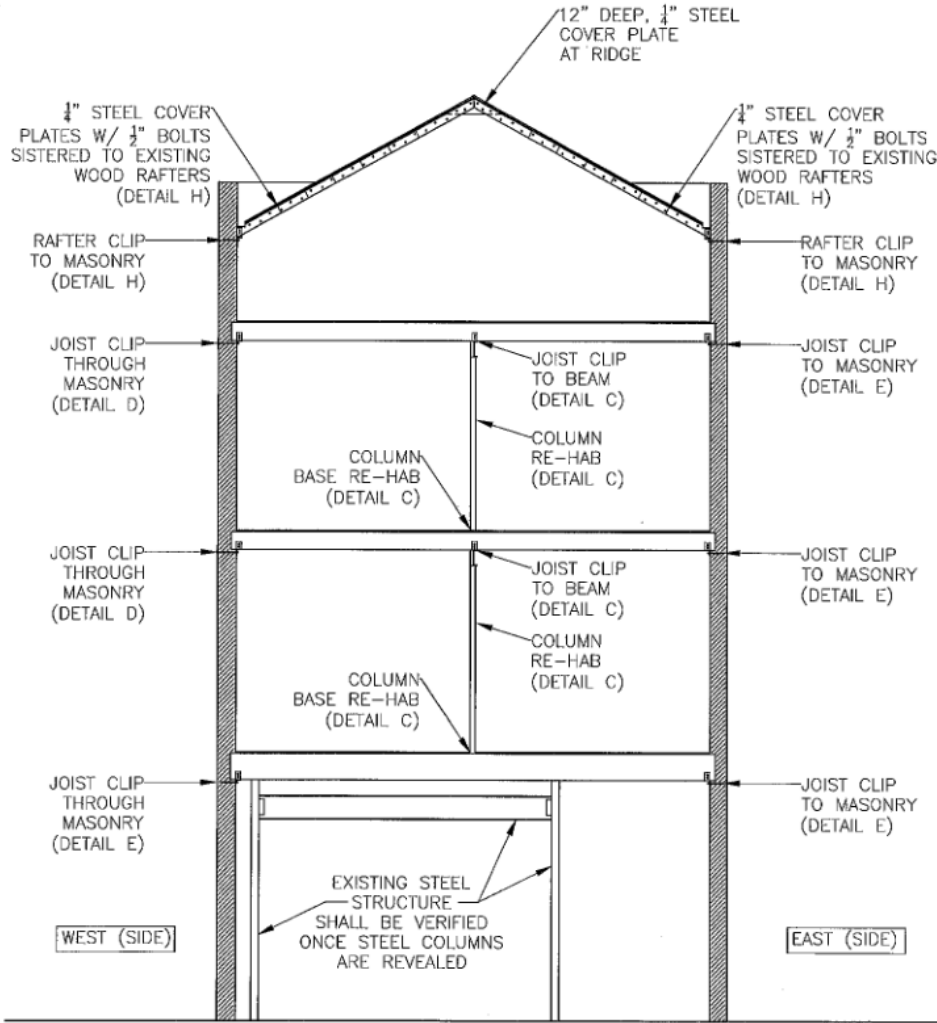
Photograph #11



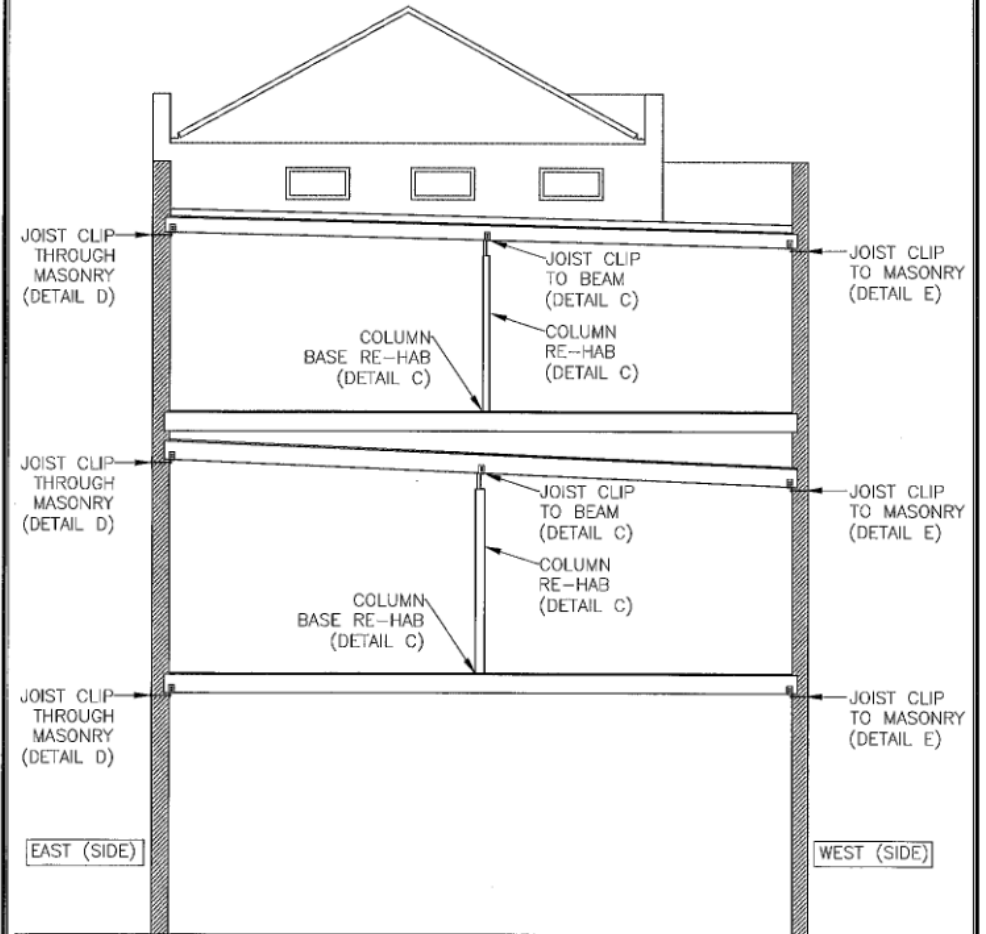
Photograph #12



Photograph #13



1 FRONT LATERAL STRUCTURE RETROFIT  
NOT TO SCALE



2 REAR LATERAL STRUCTURE RETROFIT  
NOT TO SCALE

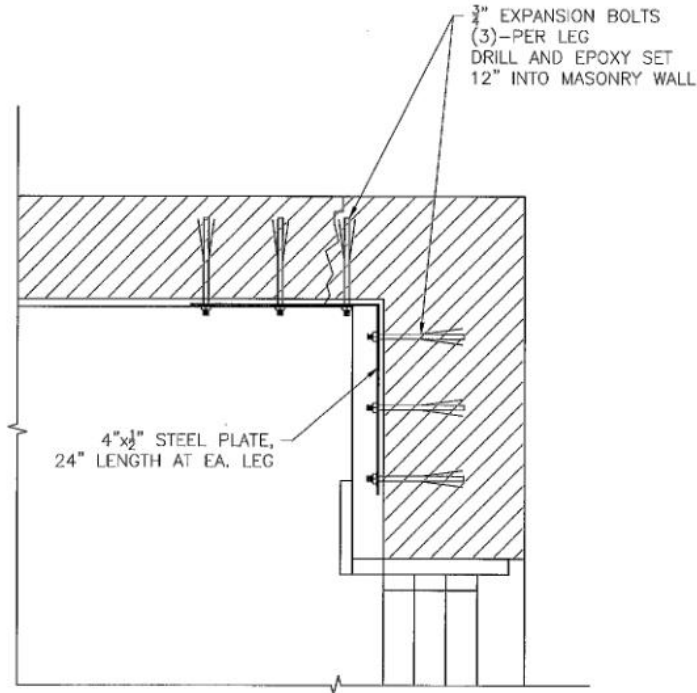


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**433 BOURBON ST., NEW ORLEANS, LA  
MASONRY CORNER STITCH**

PREPARED BY D.J.B. CHECKED BY R.B.A. SHEET NO. 3  
FILE REPORT OF 10  
SCALE AS SHOWN DATE 4-20-23



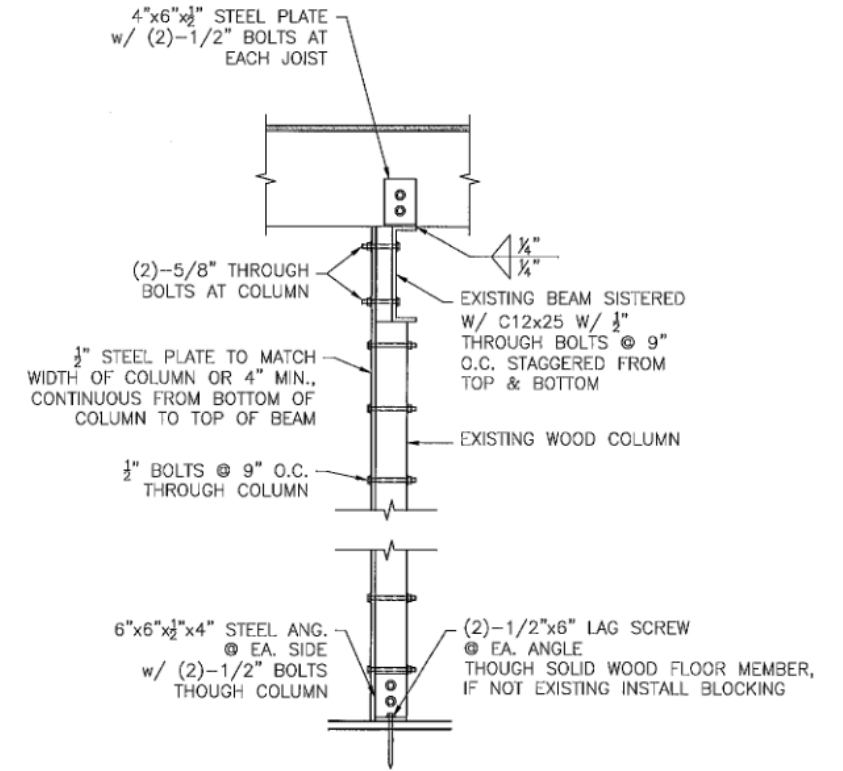
**A MASONRY WALL CORNER REPAIR**  
SCALE: 3/4" = 1'-0"

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**433 BOURBON ST., NEW ORLEANS, LA  
CENTRAL COLUMN LINE AND BEAM REBUILD**

PREPARED BY D.J.B. CHECKED BY R. Page 174 of 268 SHEET NO. 4  
FILE REPORT OF 10  
SCALE AS SHOWN DATE 4-20-23



**C CENTRAL COLUMN / BEAM REBUILD**  
SCALE: 1" = 1'-0"



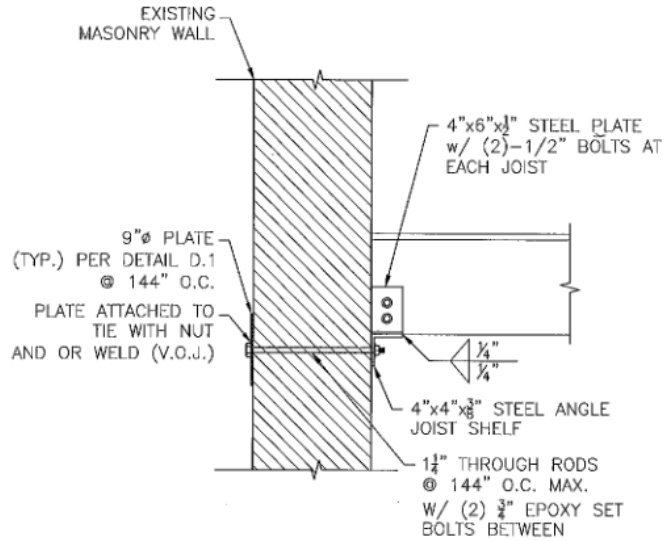
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(504) 488-7797

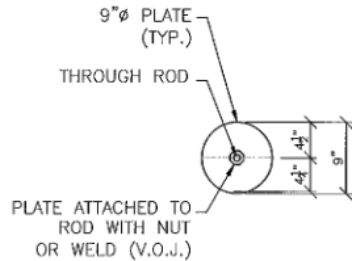
433 BOURBON ST., NEW ORLEANS, LA

**MASONRY WALL TIE AT OPEN WALL**

PREPARED BY D.J.B. CHECKED BY R.B.A. SHEET NO. 5  
FILE REPORT OF 10  
SCALE AS SHOWN DATE 4-20-23



**D MASONRY WALL TIE AT OPEN WALL**  
SCALE: 1" = 1'-0"



**D.1 TIE BACK PLATE**  
SCALE: 1" = 1'-0"

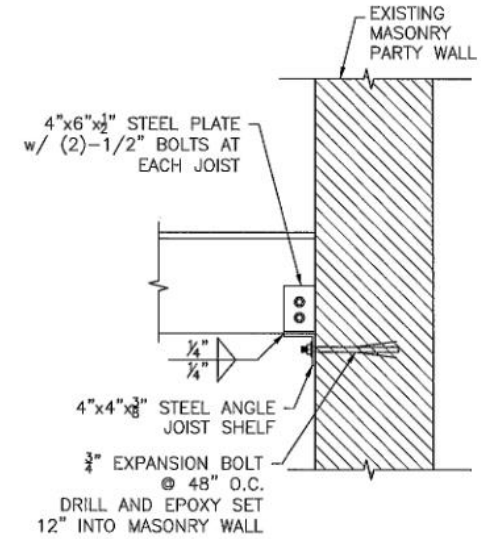
**ANDERSON & BUUCK  
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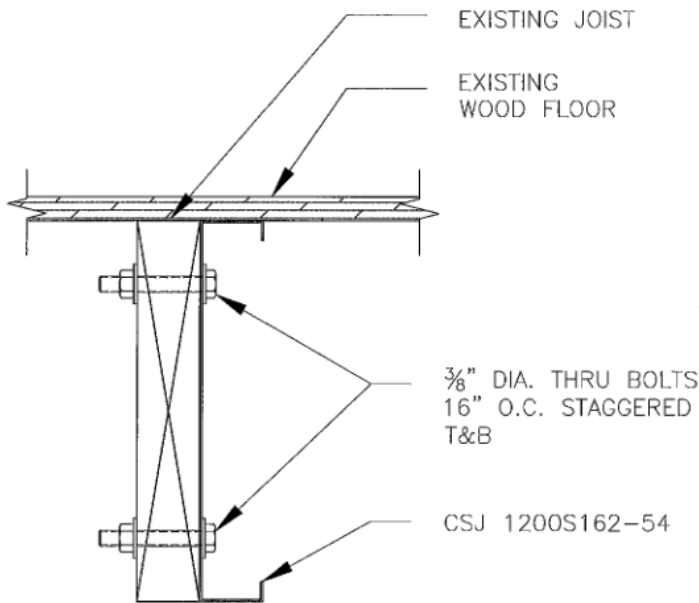
433 BOURBON ST., NEW ORLEANS, LA

**MASONRY WALL TIES AT PARTY WALL**

PREPARED BY D.J.B. CHECKED BY R.B.A. Page 175 of 268 6  
FILE REPORT OF 10  
SCALE AS SHOWN DATE 4-20-23

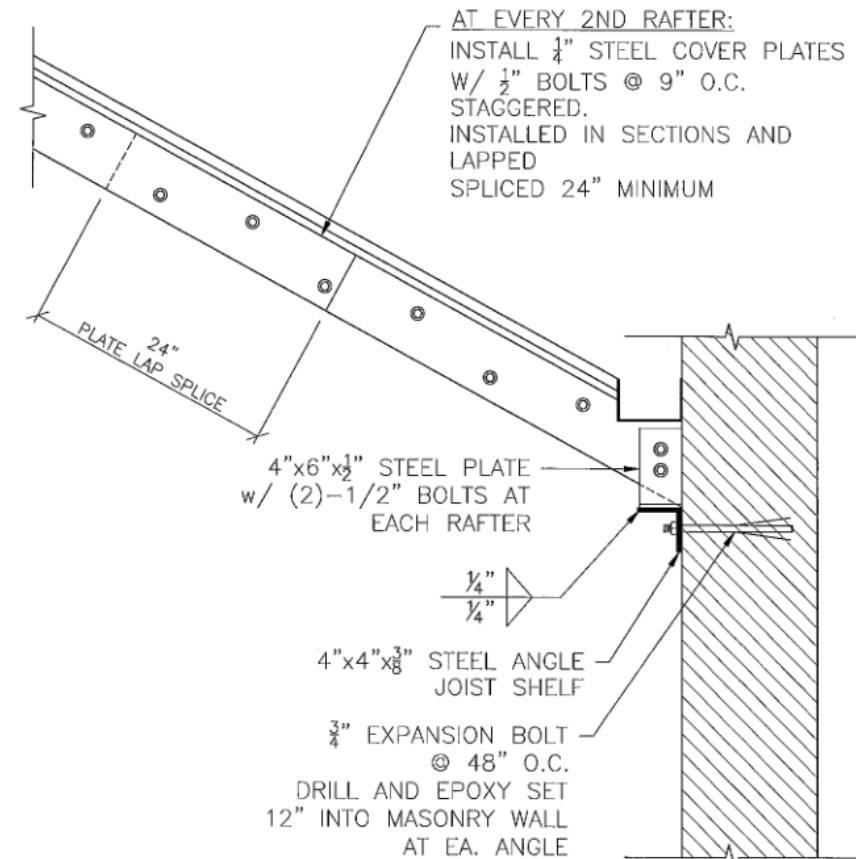


**E TIE BACK AT EAST WALL**  
SCALE: 1" = 1'-0"



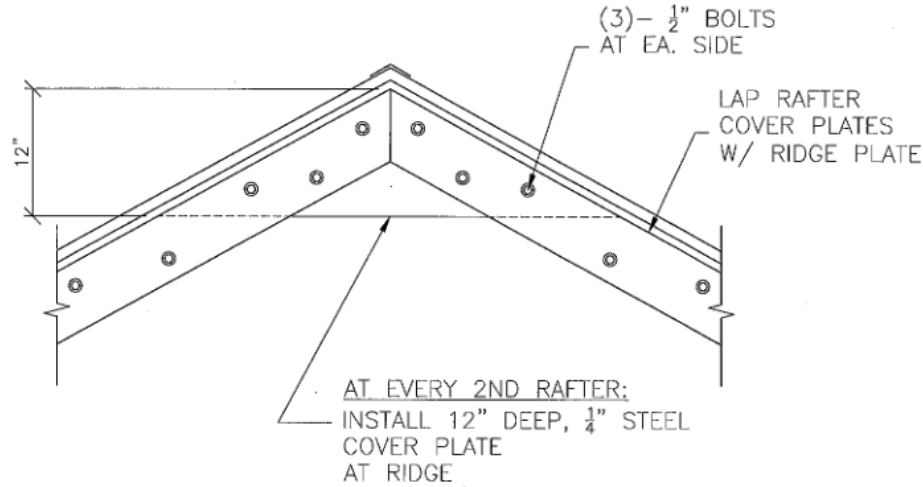
SISTER EXISTING JOIST AS REQUIRED.  
(SHALL BE FIELD VERIFIED IN NEXT PHASE)

**G** JOIST REPAIR (TYP.)  
SCALE: 3" = 1'-0"

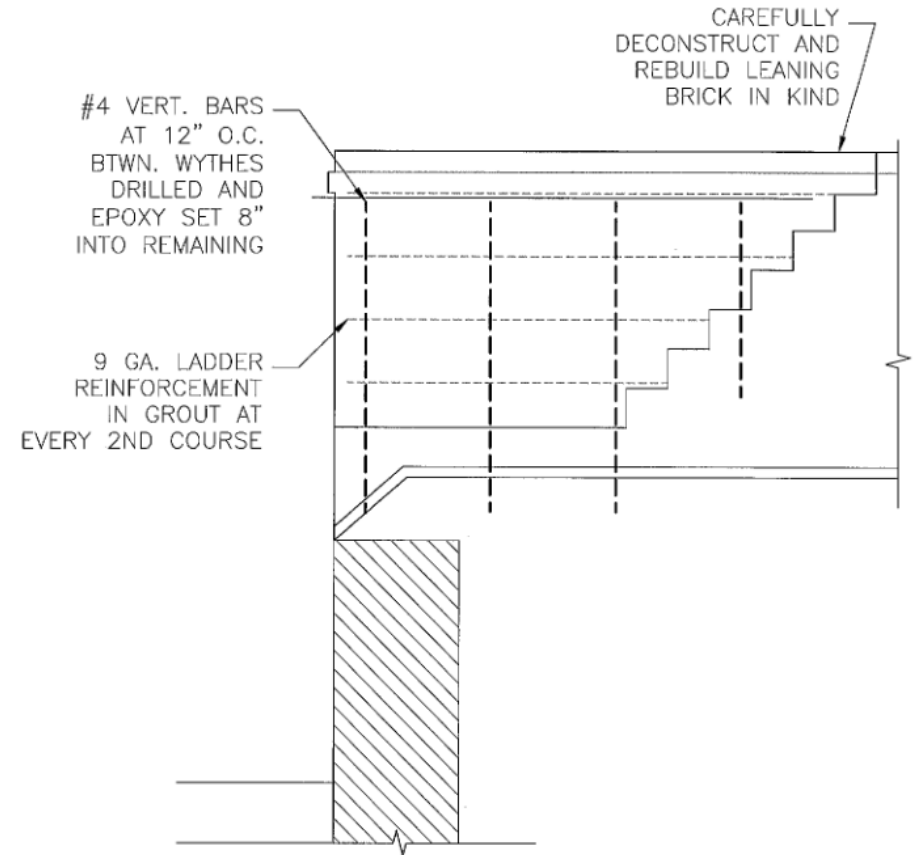


**H.1** ATTIC RESTRUCTURE - RAFTER TO MASONRY  
SCALE: 1" = 1'-0"





**H.2 ATTIC RESTRUCTURE - RIDGE**  
SCALE: 1" = 1'-0"



**J PARAPET REPAIR**  
SCALE: 1" = 1'-0"



02 11 2022

429-433 Bourbon

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02 11 2022

429-433 Bourbon

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02 11 2022

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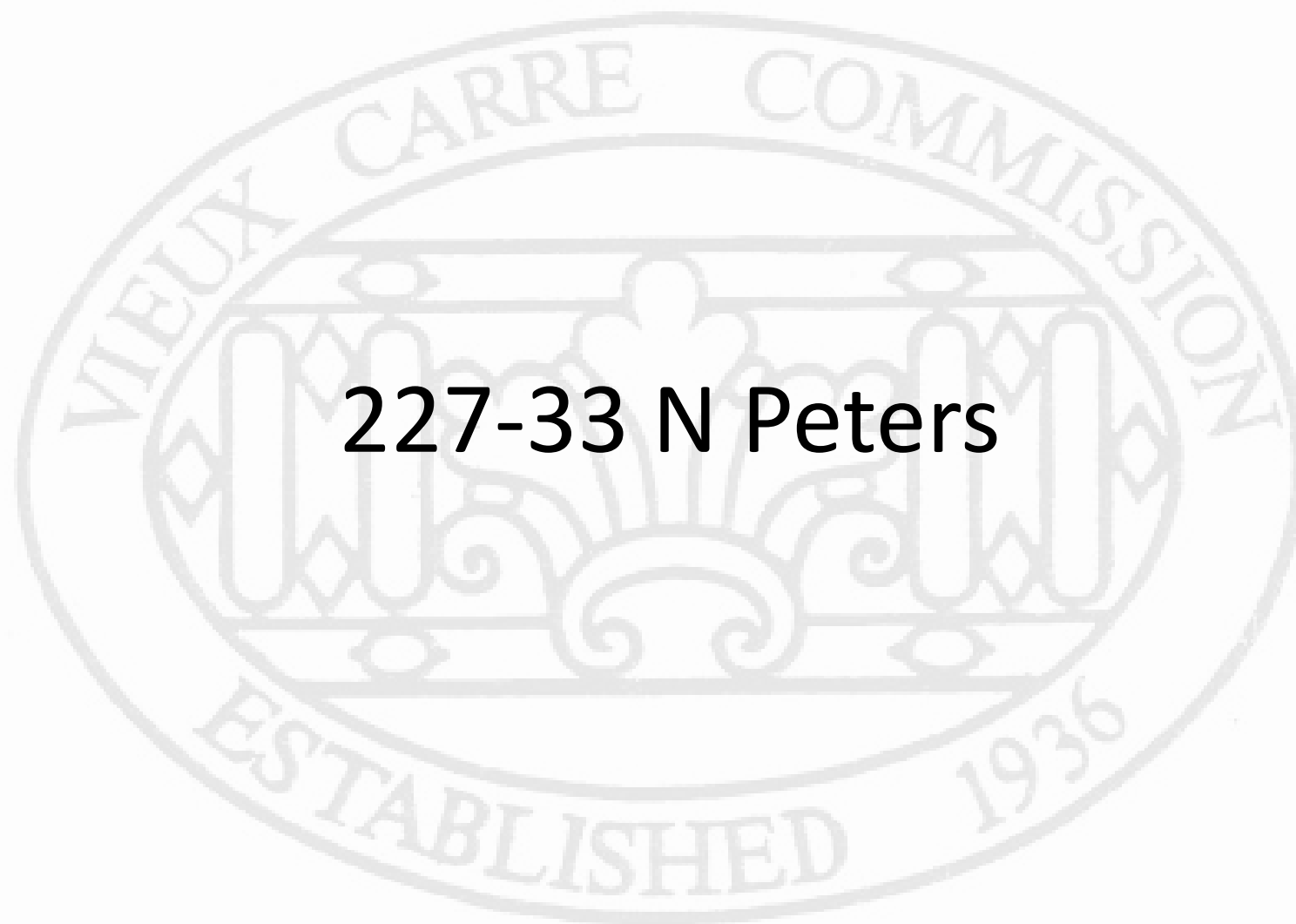
429-433 Bourbon

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**227-33 N Peters**



233 N Peters







233 N Peters

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233 N Peters





233 N Peters – prior to 1895





233 N Peters – 1962



233 N Peters





233 N Peters





233 N Peters – Clinton elevation





227-33 N Peters







227-33 N Peters

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227-33 N Peters





227-33 N Peters





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227-33 N Peters





227-33 N Peters





227-33 N Peters





227-33 N Peters







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Engineering and Inspections

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April 27, 2023

22-1459.03

Hancock Whitney Corp.  
c/o Ms. Lourdes Burke  
Via email to [Lourdes.burke@hancockwhitney.com](mailto:Lourdes.burke@hancockwhitney.com)

Copy to Mr. Steve Rapier  
Via email to [Steve.rapier@hancockwhitney.com](mailto:Steve.rapier@hancockwhitney.com)

Subject: 227-233 North Peters Street  
New Orleans, Louisiana

Dear Ms. Burke:

We previously conducted visual inspections of the subject property on August 2, 2022, and September 8, 2022, to address concerns expressed by the Vieux Carré Commission with respect to the condition of the exterior walls at this property. We rendered our reports 22-1459.02, dated August 15, 2022, and 22-1459.02a, dated October 5, 2022, in connection with that inspection. In those reports we mis-identified the cladding over the brick columns on the front of the building as stucco.

Based on our reports, you subsequently engaged Volker Waterproofing to provide a repair proposal. Volker Waterproofing submitted a proposal dated January 31, 2023, that was predicated upon stucco cladding over the brick columns.

The property report from the Architectural Committee meeting of March 14, 2023, indicated that "Staff notes that the pilaster is cast iron, not stucco." The property report further indicates that, "Staff is concerned with the proposed "expansion joint" and use of caulk in this location, and at the wooden door frame. Since repair of masonry piers behind cast iron pilasters is not commonly undertaken in this manner, staff seeks the guidance of the Committee regarding this proposal."

Based on the information provided by the VCC staff, we reinspected the exterior of this property on March 29, 2023. We also reinspected the front wall inside Units 1 and 4 on the second floor of the building with Mr. Nicholas Volker on April 21, 2023.

Our observations confirmed that, as noted by the VCC staff, there is a cast iron facing approximately 1/4 of an inch thick over the brick pilasters on the front of the building at the door openings. Our inspection of the building indicated minor cracking on the inside of the front wall in Unit No. 1 between the pilasters and stucco cracking above the middle pilaster. However, there is no indication of significant lateral movement of the front wall arising from deterioration of the pilasters. Photographs of the conditions that we noted during our most recent inspections are attached to this report.

In our opinion, the deterioration of the brickwork and mortar at the bottom of the left front pilaster has not yet resulted in structural distress, but we do recommend that this pilaster be stabilized as a precautionary measure. Removal of the cast iron facing to effect repairs to this deteriorated brickwork would probably cause additional damage to the property. Based on our conversations with Mr. Volker, we recommend injecting grout into the wall cavity and then sealing all openings between the cast iron facings and the adjacent surfaces on the front wall to reduce the potential for further moisture intrusion.

Yours very truly,

GURTLER BROS. CONSULTANTS, INC.



Friedrich W. L. Gurtler, P. E.  
Vice-President  
Louisiana Professional Engineer License #25374

Copy to Mr. Nicholas Volker  
Via email to [nick@volkerwp.com](mailto:nick@volkerwp.com)



## Property Photographs

LOCATED AT:  
227-233 N. Peters Street  
New Orleans, Louisiana

PREPARED EXCLUSIVELY FOR:  
Hancock Whitney c/o Ms. Lourdes Burke

RE-INSPECTED ON:  
Friday, April 21, 2023

Inspector, Joseph Dendinger LHI #10974  
Gurtler Bros. Consultants

## On Site Photos

Photographs during additional visit on April 21, 2023



Overview of the inside of the front wall in Unit No. 1 on the left side of the second floor



Close-up view of the left front corner of Unit No. 1



Another close-up view of the left front corner of Unit No. 1



Another close-up view of the left front corner of Unit No. 1





Another close-up view of the left front corner of Unit No. 1



Another close-up view of the left front corner of Unit No. 1



View of the right front corner of Unit No. 1



Another view of the right front corner of Unit No. 1



Hairline cracking under the left window on the front wall of Unit No. 1



Separation between the trim at the middle windows and the front wall in Unit No. 1



Cracking above the right middle window on the front wall of Unit No. 1



Another view of the separations between the window trim and the front wall in Unit No. 1



Another view of the separations between the trim and the front wall of Unit No. 1



Damaged sash at the right window on the front wall of Unit No. 1



Overview of the inside of the front wall in Unit No. 4



View of the left front corner of Unit No. 4

227-33 N Peters





Another view of the left front corner of Unit No. 4



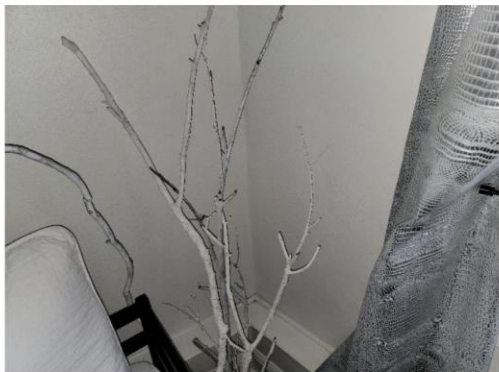
Another view of the front wall in Unit No. 4



Another view of the left front corner on the first floor



Another view of the left front corner on the first floor



View of the right front corner of Unit No. 4



Another view of the right front corner of Unit No. 4



Another view of the left front corner on the first floor



Stucco cracking above the middle pilaster on the front wall



View of the left front corner of the building on the first floor



Another view of the left front corner on the first floor



Close-up of the stucco cracking above the middle pilaster on the front wall



View of the interior of the wall above the middle pilaster on the front wall



Overview of the right front pilaster



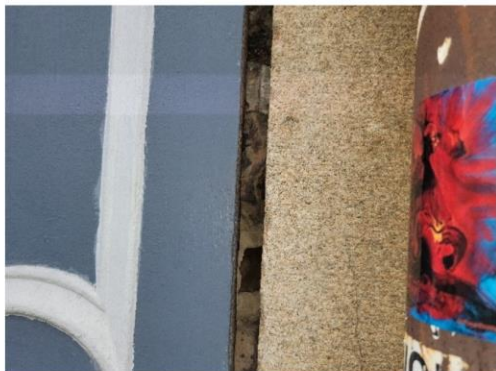
Another view of the front pilaster



Close-up view of the separation at the side of the left front pilaster



Another close-up view of separation at the side of the left front pilaster



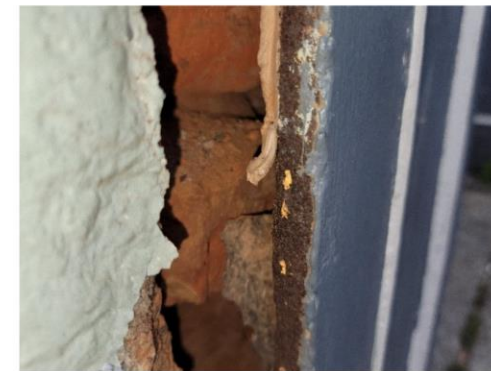
Close-up view of the separation at the side of the right front pilaster



Close-up view of the right front pilaster



Another close-up view of separation at the side of the left front pilaster



Close-up view of the side of the cast iron facing at the left front pilaster



Overview of the left front pilaster



Another view of the left front pilaster



Another close-up view of the side of the cast iron facing at the left front pilaster



Another close-up view of the side of the cast iron facing at the left front pilaster

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235 N Peters





235 N Peters

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237, 241 N Peters





237, 241 N Peters



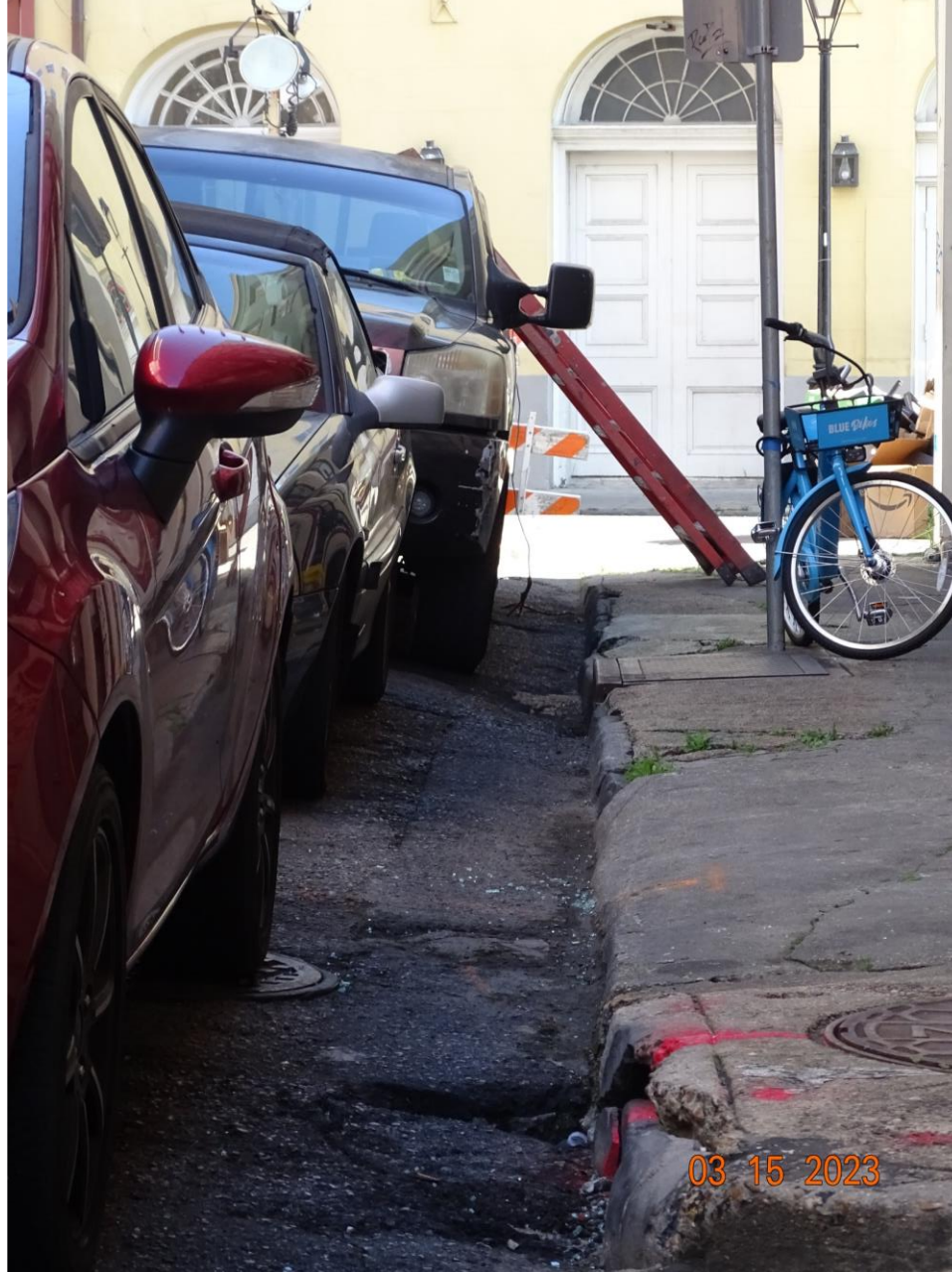


237, 241 N Peters

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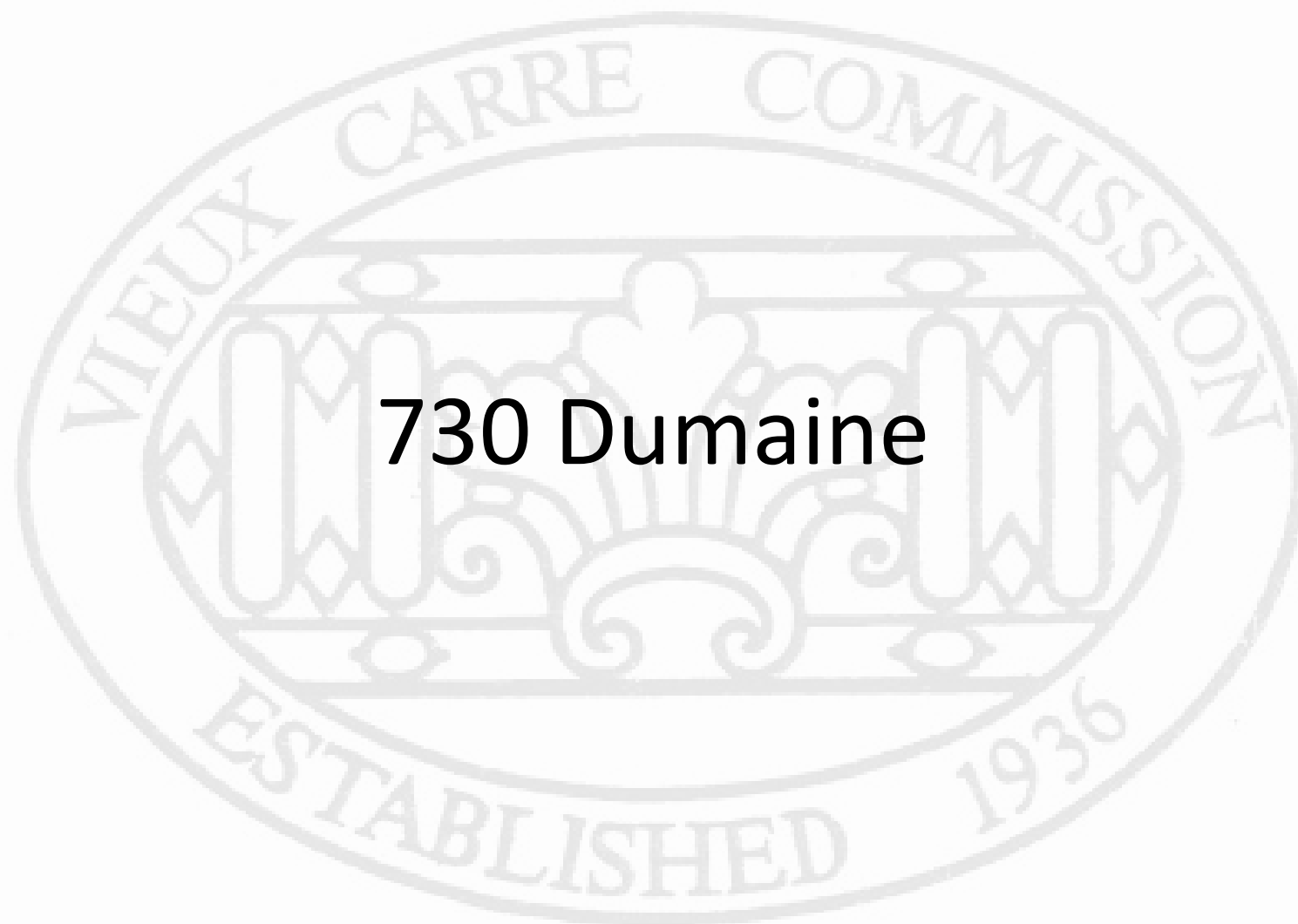
237, 241 N Peters





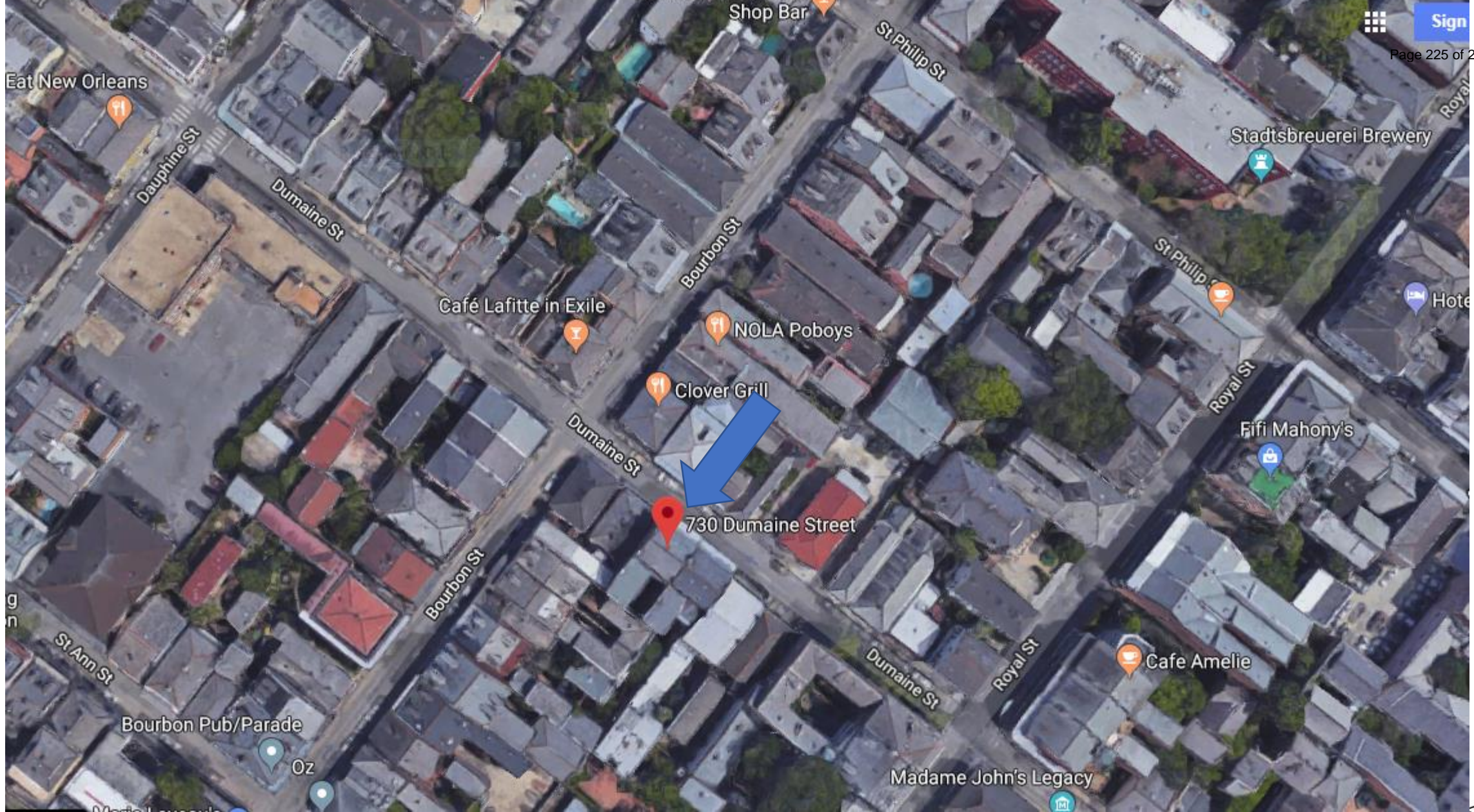
237, 241 N Peters





**730 Dumaine**





# 730 Dumaine

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VCC Architecture Committee

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VCC Architecture Committee

May 9, 2023





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VCC Architecture Committee

01 26 2018

May 9, 2023





730 Dumaine

VCC Architecture Committee

01 26 2018

May 9, 2023





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VCC Architecture Committee

01 26 2018

May 9, 2023





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VCC Architecture Committee

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VCC Architecture Committee

06 24 2021

May 9, 2023





730 Dumai  
VCC Architect

06 24 2021







730 Dumai  
VCC Architect

06 24 2021





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06 24 2021

May 9, 2023





730 Dumai  
VCC Architect

06 24 2021







Repair rotted  
lintel and  
repair/replace  
balcony where  
rotted. Touch up  
paint as needed



Replace  
inoperable keyed  
hardware with new  
YALE ASSURED  
Y43-226 knob  
hardware

07 27 2017

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Exterior

Exterior

Interior

YALE ASSURE YRL226 oil rubbed bronze





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Repair/Replace and Repaint  
Existing damaged decking

↑ All to match existing

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Repair/replace existing

fascia

to match existing  
adjacent fascia

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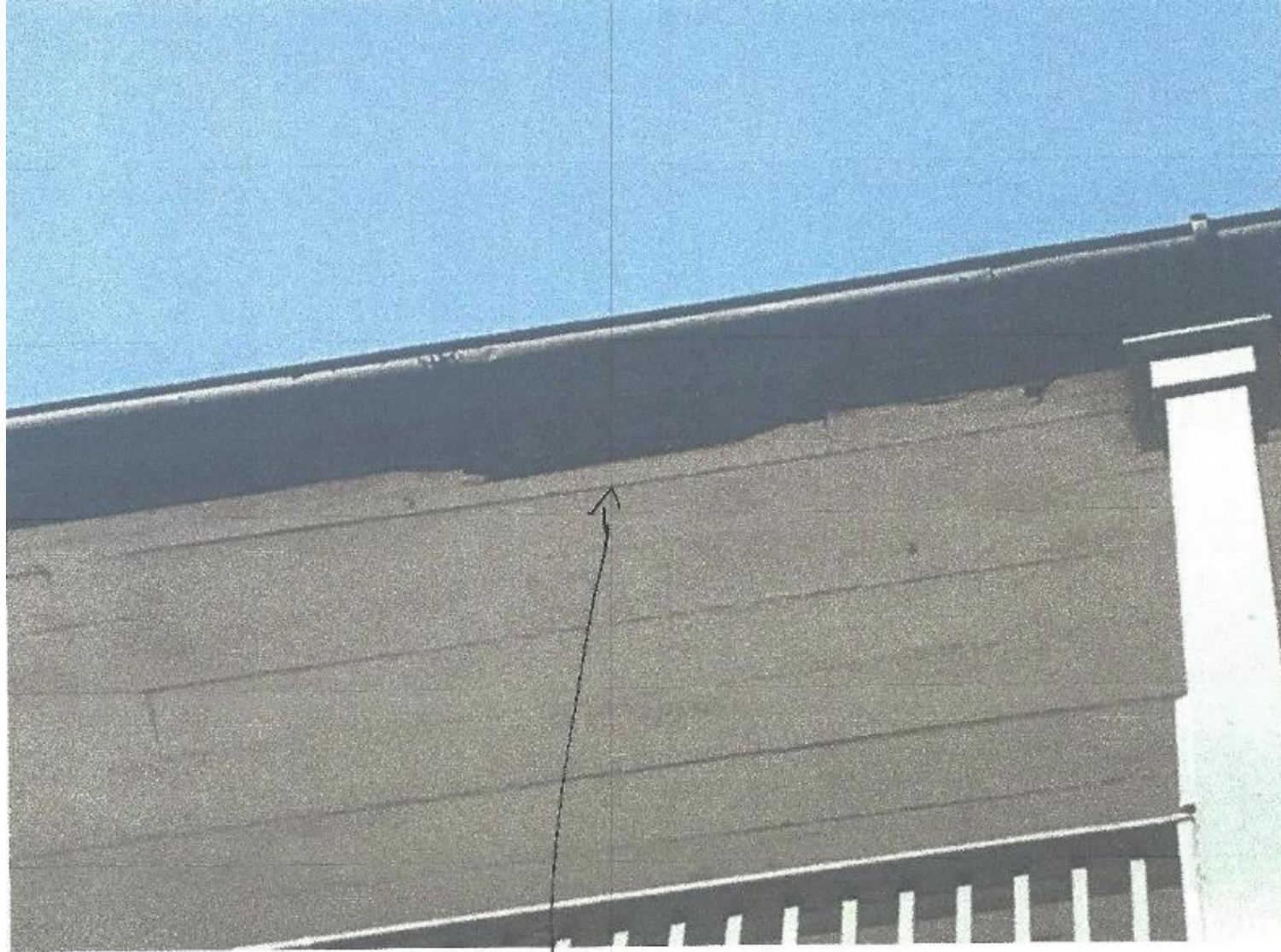
Remove courtyard vegetation  
and find moisture sources

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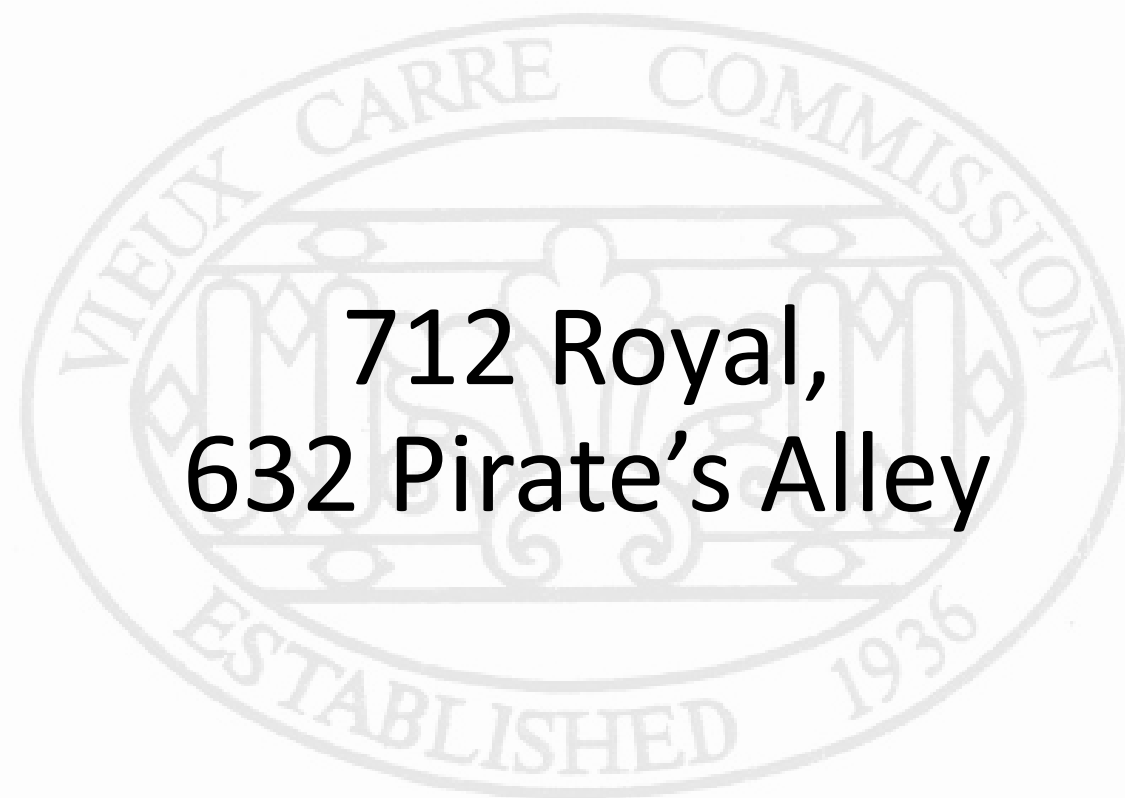
Repair / Replace existing  
damaged soffit

730 Dumaine

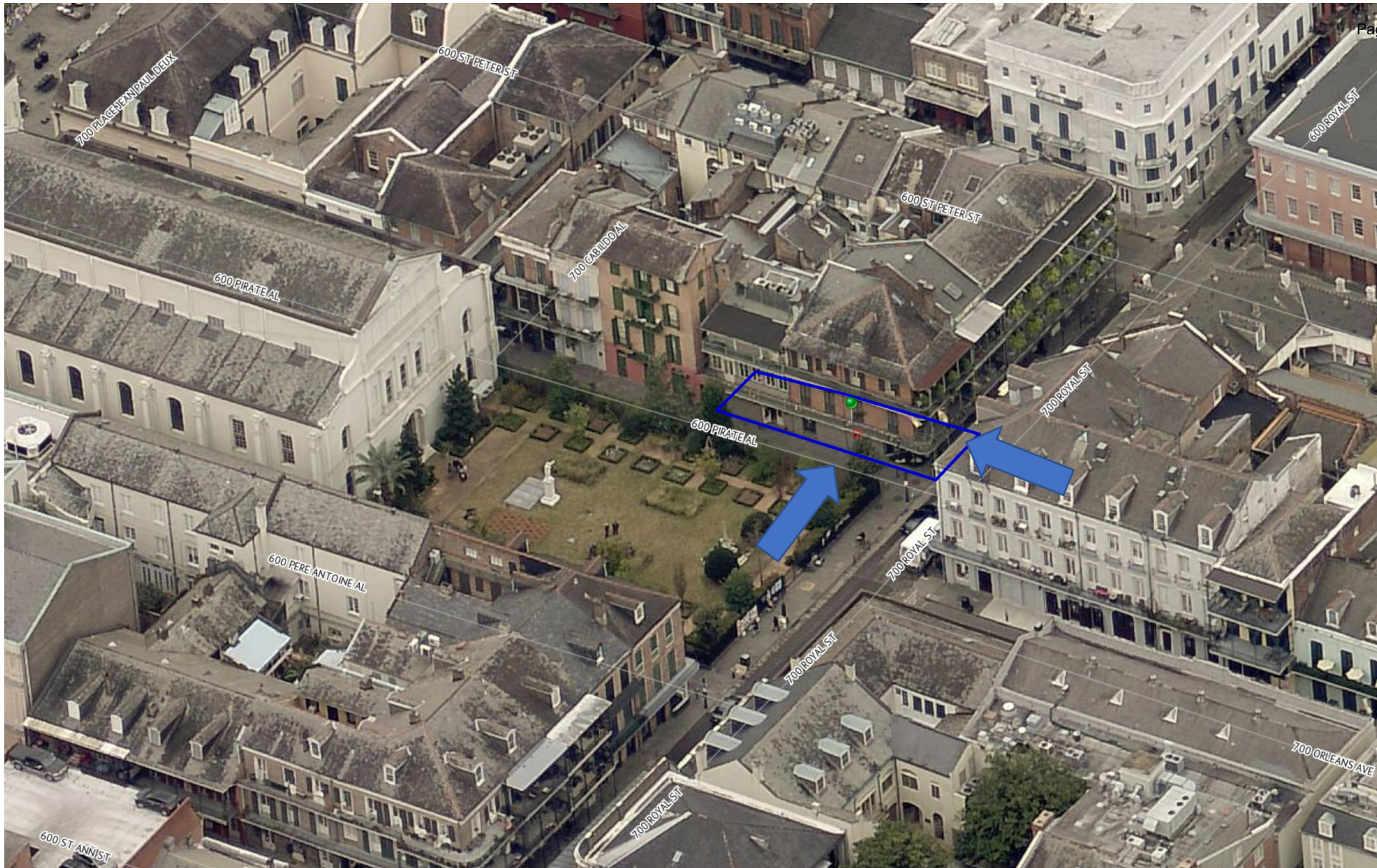
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May 9, 2023





**712 Royal,  
632 Pirate's Alley**



712 Royal, 632 Pirate's Alley  
VCC Architectural Committee

May 9, 2023







712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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712 Royal, 632 Pirate's Alley

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