



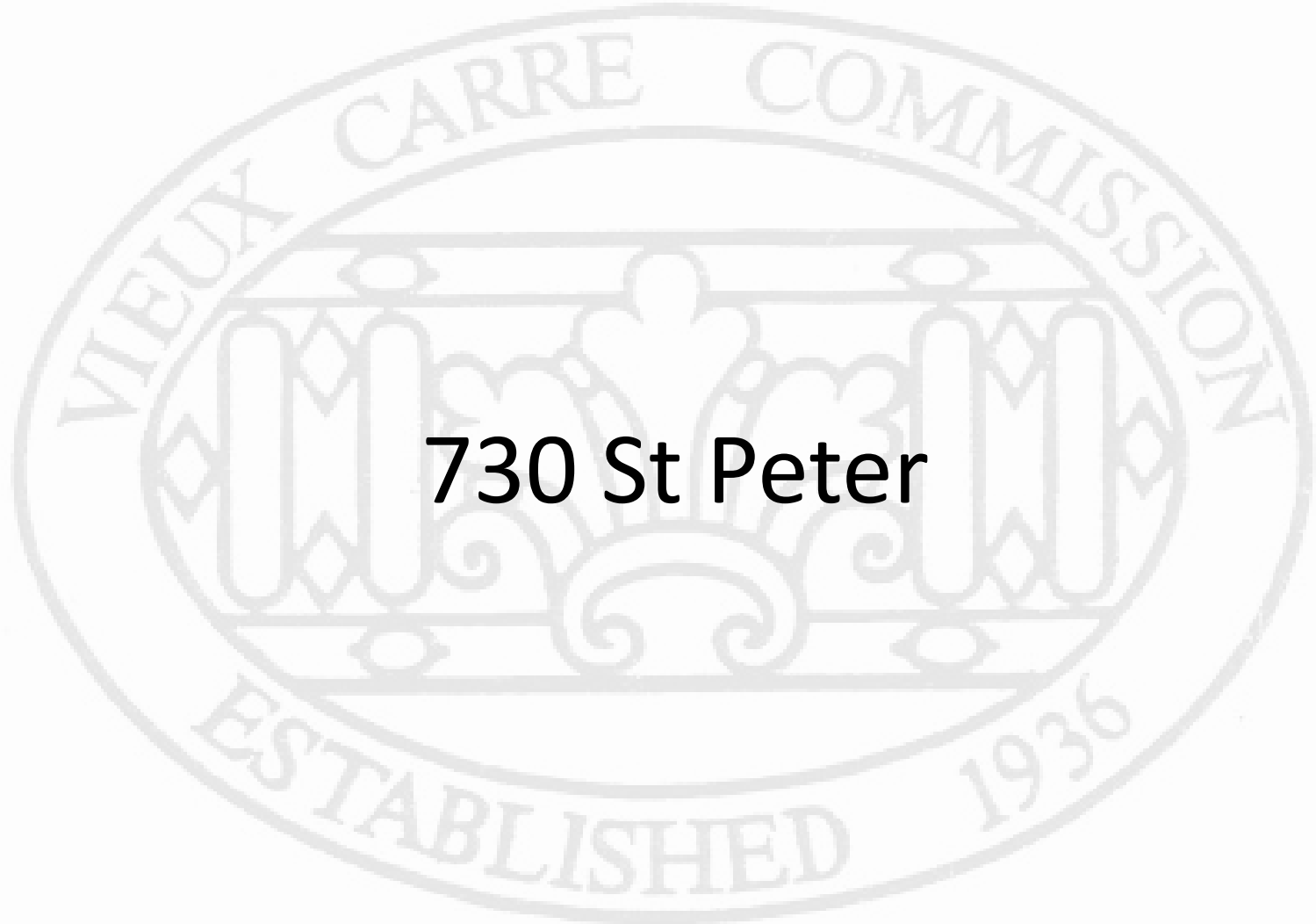
# Vieux Carré Commission Architecture Committee Meeting

Tuesday, July 11, 2023



# Old Business





**730 St Peter**





730-732 St Peter

Vieux Carre Commission

February 16, 2022







730-732 St Peter

Vieux Carre Commission

February 16, 2022







730-732 St Peter – 1860 plan book

Vieux Carre Commission

February 16, 2022





730-732 St Peter – 1930s – 40s?

Vieux Carre Commission

February 16, 2022





730-732 St Peter – 1950s?

Vieux Carre Commission

February 16, 2022





730-732 St Peter – 1963

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February 16, 2022







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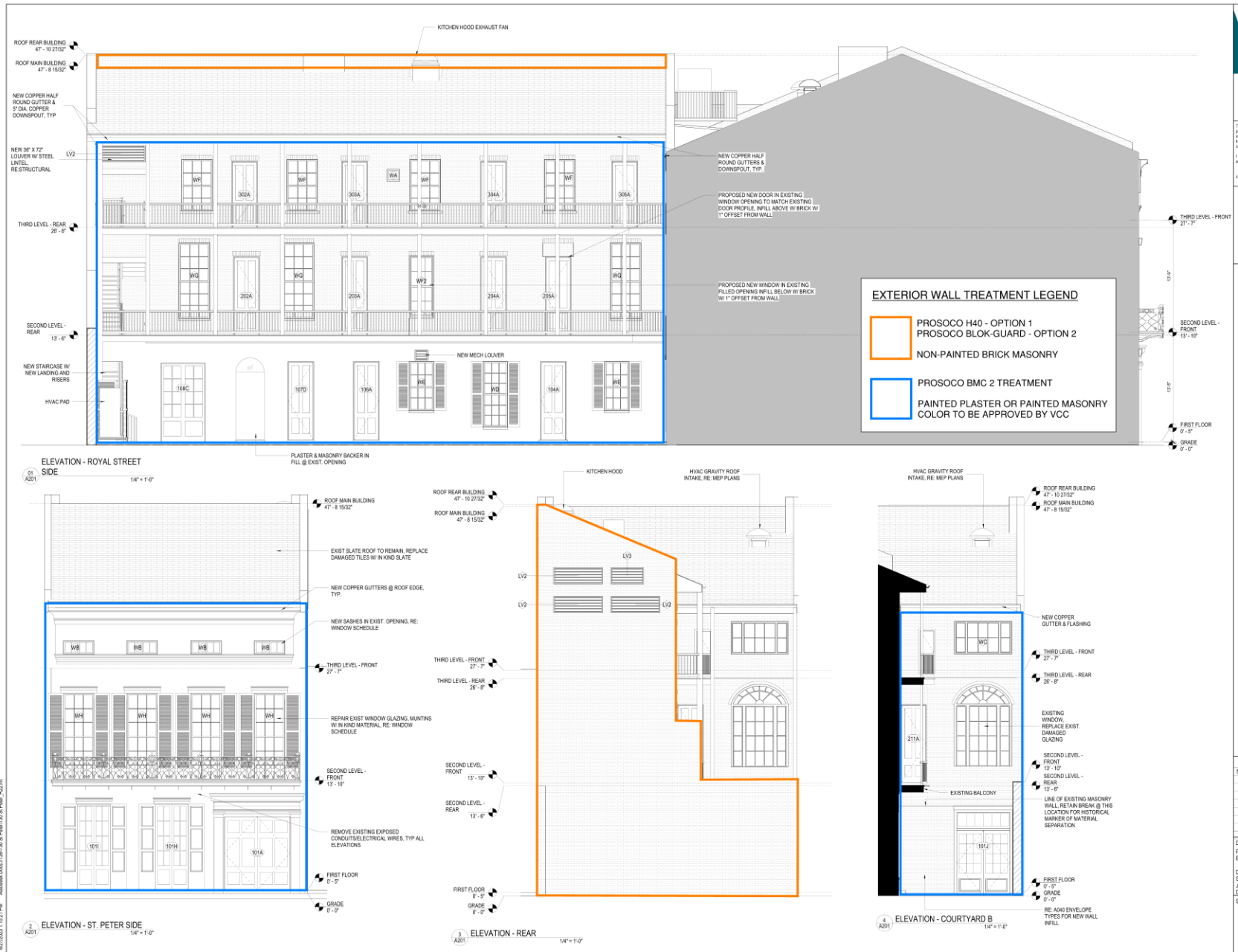
730-732 St Peter

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730-732 St Peter

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February 16, 2022









# H40

Sure Klean® Weather Seal H40 is a deep-penetrating water repellent and consolidation treatment for brick, most natural stone, unglazed terra cotta, historic concrete, stucco and cast stone surfaces. H40 protects against deterioration caused by water and waterborne contaminants while strengthening weathered surfaces and soft mortar joints.

Weather Seal H40 also reduces the severity of biological staining common to regions with high relative humidity. It helps prevent the rapid recolonization of biological species such as mold, mildew and lichens that normally thrive on masonry and natural stone architecture.

### TYPICAL TECHNICAL DATA

FORM	Clear, slightly yellow liquid Mild petroleum odor
SPECIFIC GRAVITY	0.882
pH	not applicable
WT/GAL	7.34 lbs
ACTIVE CONTENT	23%
TOTAL SOLIDS	21% ASTM D 2369
VOC CONTENT	>600 g/L
FLASH POINT	108° F (42° C) ASTM D3278
FREEZE POINT	<-22° F (<-30° C)
SHELF LIFE	2 years in tightly sealed, unopened container

### SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

**24-Hour Emergency Information:**  
INFOTRAC at 800-535-5053

### ADVANTAGES

- Deep penetration provides long-lasting protection.
- Strengthens and protects deteriorating surfaces.
- Strengthens soft mortar – reduces need for repointing.
- Treated surfaces “breathe” – does not trap moisture.
- H40 helps prevent rapid recolonization by biological species such as mold, mildew and lichens.
- Low odor.
- Resists water penetration when applied over existing shrinkage cracks of 0.02 inches or less

### Limitations

- May damage glass or be difficult to remove. Always protect.
- May cause slight or moderate darkening on some surfaces. Always test for desired results.
- Surface and air temperatures should be above 40°F (4°C) and below 95°F (35°C). Avoid application on extremely windy days to avoid rapid evaporation of the solvent carrier.
- Not recommended for application to new concrete or below-grade application.
- Will not prevent water penetration through structural cracks, defects or open joints.

### REGULATORY COMPLIANCE

#### VOC Compliance

Sure Klean® Weather Seal H40 is compliant with the US Environmental Protection Agency’s AIM VOC regulations. Manufactured and marketed in compliance with US EPA AIM VOC regulations (40 CFR 59.403).

Visit [www.prosoco.com/voccompliance](http://www.prosoco.com/voccompliance) to confirm compliance with individual district or state regulations.

## EXTERIOR WALL TREATMENT LEGEND



PROSOCO H40 - OPTION 1  
PROSOCO BLOK-GUARD - OPTION 2  
NON-PAINTED BRICK MASONRY



PROSOCO BMC 2 TREATMENT  
PAINTED PLASTER OR PAINTED MASONRY  
COLOR TO BE APPROVED BY VCC





## Product Data Sheet Weather Seal H40

### PREPARATION

Protect people, property, vehicles, plants and all non masonry surfaces from contact with the product, fumes and wind drift. Protect and/or divert pedestrian and auto traffic. H40 may damage some metal finishes and glass. Test and protect as necessary. PROSOCO's Strippable Masking is not effective protection for use with H40.

Ensure fresh air entry and cross ventilation during application and drying. Extinguish all flames, pilot lights and other potential sources of ignition during use and until all vapors are gone.

When applying to exteriors of occupied buildings make sure all windows, exterior intakes and air conditioning vents are covered and air handling equipment is shut down during application and until all vapors have dissipated. Fill all cracks and voids to keep fumes out of buildings.

Recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon.			
Substrate	Type	Use?	Coverage
Architectural Concrete Block	Burnished Smooth	yes	50-100 sq.ft. 5-9 sq.m.
	Split-faced	yes	
	Ribbed	yes	
Concrete*	Brick Tile	yes	75-175 sq.ft. 7-16 sq.m.
	Precast Panels	yes	
	Pavers	yes	
	Cast-in-place	yes	
Fired Clay	Brick Tile	yes	50-175 sq.ft. 5-16 sq.m.
	Terra Cotta (unglazed)	yes	
	Pavers	yes	
	Polished	no	
Marble*, Travertine, Limestone	Unpolished	yes	100-175sq.ft. 9-16 sq.m.
	Polished	no	N/A
Granite*	Unpolished	yes	150-400 sq.ft. 14-37 sq.m.
	Polished	no	N/A
Sandstone	Unpolished	yes	75-200 sq.ft. 7-19 sq.m.
Slate*	Unpolished	yes	200-600 sq.ft. 19-56 sq.m.

\*Not suitable for application to new concrete.  
\*Slight darkening may occur.  
Always test to ensure desired results.  
Coverage estimates depend on surface texture and porosity.

Surface should be clean and free of dirt, dust, oils and other contaminants. If necessary, clean with the appropriate PROSOCO cleaner. Surface must be thoroughly dry and absorbent before application.

All caulks and sealants should be in place and thoroughly cured before application. The top of walls should be capped and made watertight prior to application.

**NOTE:** Some floor and wall systems incorporate asphaltic or other crack-suppression membranes. This deeply penetrating protective treatment may penetrate through exposed stone, tile, grout or paver surfaces and react with the membrane to mobilize objectionable staining. Always pretest to ensure desired results.

### Surface and Air Temperatures

For maximum effectiveness, surface and air temperatures should be above 40°F (4°C) and below 95°F (35°C). Application on windy days may cause rapid evaporation of the solvent carrier and should be avoided.

### Equipment

Recommended application is by high volume, low-pressure (<50 psi) spray. Fit sprayers with solvent-resistant gaskets and hoses to avoid discoloration. Fan spray tips are recommended to avoid atomization. Do not atomize or vaporize the material.

For small scale application, or when spray application is not appropriate, product may be applied using brush or roller. Contact Customer Care or your local PROSOCO representative for more information. Brushes and rollers should be nylon or other synthetic material resistant to solvent solutions.

### Storage and Handling

Store in a cool, dry place away from potential ignition sources. Keep tightly closed when not dispensing. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperature of 45-100°F (7-38°C). Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

### APPLICATION

Read "Preparation" and the Safety Data Sheet before use. **ALWAYS TEST** a small area of each surface to confirm suitability, coverage rates and desired results before starting overall application. Include in the test area any previous repairs and patches,

## Product Data Sheet Weather Seal H40

including aesthetic cementitious finishes. Different surface compositions may result in absorption and/or appearance differences. Test with the same equipment, recommended surface preparation and application procedures planned for general application.

### Dilution & Mixing

Apply as packaged. Do not dilute or alter.

### Application Instructions

#### Vertical Surfaces

##### Spray Application

- For best results, apply "wet-on-wet." Spray from the bottom up, saturating with enough material for a 6 to 8 inch rundown below the spray contact point.
- Let the first application penetrate for 5-10 minutes.
- Reapply in the same saturating manner. Less material will be required on the second application.

#### Brush or Roller Application

Recommended for small scale application or when spray application is not appropriate. Contact PROSOCO for more information. Take extra care to saturate the surface. Brush out heavy runs and drips that do not penetrate the surface after a few minutes.

**Horizontal Surfaces Application:** Saturate so the surface stays wet for a few minutes. Thoroughly broom out any pools or puddles that don't completely penetrate.

**Dense Surfaces Application:** Apply a single coat. Use enough to completely wet the surface without creating drips, puddles or rundown. Do not over apply. Always test for proper rate of application.

**Strengthening Deteriorated Surfaces:** For maximum strengthening benefits, apply H40 in as few as 1 and as many as 3 "cycles." Each cycle consists of 3 consecutive saturating applications applied at 5 to 10 minute intervals. Allow enough time between cycles (30-60 minutes) for penetration of the previous application.

### Drying Time

Protect the treated surface from rain and traffic for 4-6 hours after application. Highly absorbent horizontal surfaces may take several days before the damp appearance is gone. Weather Seal H40 gains its water-repellency properties in 72 hours.

### Cleanup

Clean tools and equipment immediately with mineral spirits or an equivalent cleaning solvent. Remove over spray and spills as soon as possible.

### Painting Treated Surfaces

Surfaces treated with Weather Seal H40 can be painted over with most high quality, oil-base and acrylic emulsion paints. Testing is always necessary to ensure adhesion.

### WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.** The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

### CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care - technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our website at prosoco.com, for the name of the PROSOCO representative in your area.







# Blok-Guard® & Graffiti Control WB 6

Sure Klean® Weather Seal Blok-Guard® & Graffiti Control WB 6 is a clear-drying, water-based silicone emulsion for weatherproofing concrete block and other porous masonry materials, like brick, unglazed terra cotta, porous tile, concrete and some natural stones. Blok-Guard® & Graffiti Control WB 6 protects interior and exterior masonry surfaces from graffiti attacks without altering the natural appearance.

Blok-Guard® & Graffiti Control WB 6 also protects exterior walls exposed to normal weathering. Graffiti removal from treated surfaces is fast and easy using PROSOCO's Graffiti Remover. Blok-Guard® & Graffiti Control WB 6 is easy to apply with low-pressure spray.

## TYPICAL TECHNICAL DATA

FORM	White liquid, slight odor
SPECIFIC GRAVITY	1.00
pH	5.4
WT/GAL	8.32 lbs
ACTIVE CONTENT	6%
TOTAL SOLIDS	6% ASTM D 2369
VOC CONTENT	<20 g/L Low Solids Coating
FLASH POINT	>212° F (>100° C) ASTM D 3278
FREEZE POINT	32° F (0° C)
SHELF LIFE	1 year in tightly sealed, unopened container

## ADVANTAGES

- Treated surfaces resist penetration of most types of graffiti.
- Low odor. Excellent UV stability.
- Simplifies graffiti removal.
- Effectively protects hard-to-seal surfaces.
- Suitable for exterior and interior use.

- Controls rainwater penetration through exterior block walls.
- Resists water penetration when applied over existing shrinkage cracks of 0.02 inches or less.
- Helps control efflorescence, mildew and other moisture-related stains.
- Treated surfaces exhibit excellent surface beading.
- Treated surfaces "breathe" – does not trap moisture.

## Limitations

- May darken or enhance the natural color of some surfaces. Always test to ensure desired results.
- Not appropriate for use on limestone, marble, travertine or other calcareous stones. Always test other natural stone to ensure desired results.
- Not suitable for extremely dense or polished surfaces.
- Not appropriate for application to asphaltic or painted surfaces.
- Not suitable for application to synthetic resin paints, gypsum, plaster or other non-masonry surfaces.
- Not recommended for below-grade applications.
- Will not prevent water penetration through structural cracks, defects or open joints.
- May be difficult to remove from adjacent surfaces. Always protect.
- Not recommended for horizontal surfaces.

## REGULATORY COMPLIANCE

### VOC Compliance

Sure Klean® Weather Seal Blok-Guard® & Graffiti Control WB 6 is compliant with the US Environmental Protection Agency's AIM VOC regulations.

Visit [www.prosoco.com/voccompliance](http://www.prosoco.com/voccompliance) to confirm compliance with individual district or state regulations.

## Product Data Sheet Weather Seal Blok-Guard® & Graffiti Control WB 6

### SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

**24-Hour Emergency Information:**  
INFOTRAC at 800-535-5053

### PREPARATION

Protect people, vehicles, property, plants, windows and all non-masonry surfaces from product, splash, residue, fumes and wind drift. Protect and/ or divert foot and auto traffic.

Surface should be clean, dry and absorbent. If cleaning is necessary, use the appropriate PROSOCO cleaner. Do not use raw acids. Let cleaned surfaces dry completely.

Recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon.

Substrate	Type	Use?	Coverage
Architectural Concrete Block	Burnished	yes	30–100 sq.ft. 3–9 sq.m.
	Smooth	yes	
	Split-faced	yes	
	Ribbed	yes	
Concrete	Brick	yes	75–175 sq.ft. 7–16 sq.m.
	Tile	yes	
	Precast Panels	yes	
	Pavers	no	
Fired Clay	Cast-in-place	yes	50–125 sq.ft. 5–12 sq.m.
	Brick	yes	
	Tile	yes	
	Terra Cotta (unglazed)	yes	
Marble, Travertine, Limestone	Pavers	no	N/A
	Polished	no	
	Unpolished*	no	
Granite	Polished	no	N/A
	Unpolished	no	
Sandstone	Unpolished	yes	100–150 sq.ft. 9–14 sq.m.
Slate	Unpolished	no	N/A

May darken or enhance the natural color of some surfaces.  
\*Weather Seal Blok-Guard® & Graffiti Control VOC 9 or Natural Stone Treatment WB Plus may be more suitable products.

Always test to ensure desired results.  
Coverage estimates depend on surface texture and porosity.

Newly constructed surfaces and re-pointed surfaces should cure for 28 days before application. Sealant and caulking compounds should be in place and cured before application.

The top of walls should be capped and made watertight prior to application.

### Surface and Air Temperatures

Best surface and air temperatures are 40–95°F (4–35°C) during use and for 8 hours after. If freezing conditions exist before application, let masonry thaw.

Blok-Guard® & Graffiti Control WB 6's water carrier may freeze at low temperatures or evaporate in high temperatures. Both conditions impair penetration and results.

### Equipment

Recommended application is by high volume, low-pressure (<50 psi) spray. Fan spray tips are recommended to avoid atomization of the material.

For small scale application, or when spray application is not appropriate, product may be applied using brush or roller. Contact Customer Care or your local PROSOCO representative for more information.

### Storage and Handling

Store in a cool, dry place. Always seal container after dispensing. Do not alter or mix with other chemicals. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperature of 45–100°F (7–38°C). Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

### APPLICATION

Read "Preparation" and the Safety Data Sheet before use.

**ALWAYS TEST** a small area of each surface to confirm suitability, coverage rates and desired results before starting overall application. Test with the same equipment, recommended surface preparation and application procedures planned for general application. Include any previous repairs and patches, including aesthetic cementitious finishes, in the test area. Different surface compositions may result in absorption and/ or appearance differences.



## Product Data Sheet Weather Seal Blok-Guard® & Graffiti Control WB 6

### Dilution & Mixing

Do not dilute or alter. Apply as packaged.

### Application Instructions

Lightweight block and porous masonry will need 2 coats. See "Second Coat Application."

#### SprayER Application

1. Saturate, "wet-on-wet" spraying from the bottom up. Avoid excessive overlapping. **For textured and porous surfaces**, apply enough material to create 6–8 inch rundown below the contact point. NOTE: When spray applying to fluted architectural block, spray in an "overlapping X pattern" for complete coverage of recessed surfaces.
2. Let first application penetrate masonry surface for 2 to 3 minutes. **For textured and porous surfaces**, reapply in same saturating manner to ensure complete coverage of recessed surfaces.
3. Immediately brush out runs and drips to prevent build up.

#### Brush or Roller Application

*Recommended for small scale application or when spray application is not appropriate. Contact PROSOCO for more information.* Saturate uniformly. Let product penetrate for 2–3 minutes. Re-saturate. Brush out heavy runs and drips that don't penetrate.

#### Dense, Smooth Surface Application

Apply in a single coat using enough to completely wet the surface without creating drips, puddles or rundown. Brush out or back roll all runs and drips for uniform appearance. Do not over apply. Over application may cause unacceptable color change. One application is normally enough. Always test for application rate.

#### Second Coat/Porous Surfaces Application

Some surfaces will need an additional coat of Blok-Guard® & Graffiti Control WB 6 for maximum protection. Apply the second wet-on-wet coat as soon as the first application is dry to the touch or within one hour. Immediately back roll or brush out runs and drips for a uniform appearance and to prevent build up.

Allowing more than one hour between coats could reduce the effectiveness of the second coat or cause darkening.

### Cleanup

Clean tools, equipment, and over spray with soap and warm water. Cleanup is more difficult from surfaces hotter than 95°F (35°C).

### Drying Time

In normal weather (60–80°F; [16–27°C] 50% humidity), Blok-Guard® & Graffiti Control WB 6 dries to the touch in about 1 hour. Drying takes longer at lower temperatures.

Blok-Guard® & Graffiti WB 6 Control gains its water-repellency properties in 24 hours. Graffiti resistance properties fully develop in 3 to 5 days, depending upon climate conditions. Protect treated surfaces from rain for at least 6 hours after application.

### Graffiti Removal

Remove most types of graffiti with PROSOCO's Graffiti Remover or SafStrip®. See product literature or call Customer Care at 800-255-4255.

### WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.**

The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.





# BMC® II

BREATHABLE MASONRY COATINGS



## Breathable Masonry Coating II

Breathable Masonry Coating (BMC®) II combines the beauty of high-quality paint with the protective power of breathable water repellents. BMC® II lets water vapor escape from masonry, while stopping destructive liquid water from entering. The masonry's appearance is preserved, and its service life is prolonged. BMC® II's unique silicone emulsion formulation makes the coating more resistant to weathering (UV, moisture and soiling) and so more durable and lasting than most conventional paints.

BMC® II dries to an attractive flat finish. It's compatible with the CCE ColorCast Ecotoner colorant system for achieving predictable color matches. BMC® II is available in four different bases, allowing for the greatest range of colors: Pastel, Tint, Deep and Accent. BMC bases are ready to use or can be custom tinted by local distributors. Call PROSOCO Customer Care at 800-255-4255 for your local distributor or for additional information about BMC® II.

### REGULATORY COMPLIANCE

#### VOC Compliance

BMC® II bases are compliant with the US Environmental Protection Agency's AIM VOC regulations.

Visit [www.prosoco.com/voc-compliance](http://www.prosoco.com/voc-compliance) to confirm compliance with individual district or state regulations.

### SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job-site controls during application and handling.

24-Hour Emergency Information:  
INFOTRAC at 800-535-5053

### ADVANTAGES

- Specifically designed for use on masonry substrates.
- Highly vapor permeable.
- Meets and exceeds requirements of ASTM E 2357.
- Field-proven technology used on the U.S. Capitol and other U.S. and European landmarks.
- Excellent UV stability and hiding.
- Easy application with roller, brush or spray.
- No primer needed.
- Silicone emulsion formula resists soiling.
- Good adhesion. Exceptional color retention.
- Ideal for interiors or exteriors. No harsh odors.
- Complies with all known national and state AIM VOC regulations.

### Limitations

- Not for use on horizontal surfaces subject to vehicular or pedestrian traffic.
- Not suitable for application on some resin paints.
- Manufacturer does not endorse use of organic colorants. Use of organic colorants for color matching may result in color fading.

## Product Data Sheet BMC® II

### TYPICAL TECHNICAL DATA

FORM	White viscous batter-like liquid with mild odor
SPECIFIC GRAVITY	1.41 Pastel Base 1.38 Tint Base 1.28 Deep Base 1.22 Accent Base
pH	9.0-10.0
WT/GAL	11.76 lbs Pastel Base 11.55 lbs Tint Base 10.66 lbs Deep Base 10.15 lbs Accent Base
PERCENT SOLIDS BY WEIGHT	56 Pastel Base 55 Tint Base 48 Deep Base 43 Accent Base
PERCENT SOLIDS BY VOLUME	38 Pastel Base 38 Tint Base 34 Deep Base 31 Accent Base
VOC CONTENT	100 g/L, maximum
FLASH POINT	>200°F (>93°C) ASTM D 3278
FREEZE POINT	32°F (0°C)
SHELF LIFE	1 year in tightly sealed, unopened container

### PREPARATION

Protect people, vehicles, property, metal, and all surfaces not set for coating from product, residue, splash, fumes and wind drift. Use drop cloths or other proven protective material. Protect and/or divert foot and vehicle traffic.

Surfaces must be clean, dry and absorbent. Correct the causes of moisture-related stains before application. Thoroughly clean efflorescence, algae and other moisture-related stains. In coastal areas, check for salt contamination. Call PROSOCO Customer Care for cleaning recommendations.

Roughen or abrade glazed or glossy surfaces for proper adhesion before application.

BMC® II needs no primer, though a priming coat may be applied if desired. Use Sure Klean® Weather Seal Siloxane WB Concentrate at a dilution ratio of one part product to 19 parts water. Apply BMC® II within 48 hours of primer application.

Recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon.

Substrate	Type	Use?	Coverage
Architectural Concrete Block	Burnished	yes	100-150 sq.ft. 9-14 sq.m.
	Smooth	yes	
	Split-faced	yes	
	Ribbed	yes	
Concrete	Brick	yes	100-300 sq.ft. 9-28 sq.m.
	Tile	yes	
	Precast Panels	yes	
	Pavers Cast-in-place	yes	
Fired Clay	Brick	yes	150-350 sq.ft. 14-33 sq.m.
	Tile	yes	
	Terra Cotta (unglazed) Pavers	yes	
Marble, Travertine, Limestone	Polished	no	N/A
	Unpolished	yes	100-300 sq.ft. 9-28 sq.m.
Granite	Polished	no	N/A
	Unpolished	yes	100-300 sq.ft. 9-28 sq.m.
Sandstone	Unpolished	yes	100-250 sq.ft. 9-23 sq.m.
Slate	Unpolished	yes	100-350 sq.ft. 9-33 sq.m.

Always test to ensure desired results. Coverage estimates depend on surface texture and porosity.

### Surface & Air Temperatures

Do not apply if temperatures are colder than 40°F (4°C), or expected to be within 24 hours. Do not apply to surfaces hotter than 95°F (35°C).

### Equipment

Apply with roller, brush or airless sprayer.

### Storage & Handling

Keep from freezing. Store in a cool, dry place. Always seal container after dispensing. Do not alter or mix with other chemicals. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperature of 45-100°F (7-38°C). Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.



## Product Data Sheet BMC® II

### APPLICATION

Before use read “Preparation” and the Safety Data Sheet. **ALWAYS TEST** each type of surface for suitability and results before overall application. Include in the test area any previous repairs and patches, including aesthetic cementitious finishes. Different surface compositions may result in absorption and/or appearance differences. Test using the following application instructions. Let tests dry thoroughly before inspection.

### Dilution

Do not alter or dilute except for use in sprayers. The concentrate may need thinning with up to 5 percent fresh water, based on surface and drying conditions, and equipment.

Mix well before use.

### Color Uniformity

BMC® II from multiple containers must be “boxed” (mixed) to ensure color uniformity.

### Application Instructions

1. Apply a smooth, uniform coating, 7 wet mils thick. Work from the top down. Brush out runs or drips. Back roll spray applications for proper adhesion and good coating performance.
2. Let first coat dry 2-4 hours
3. Reapply. The second coat should be 4 mils thick.

### Drying Time

Protect from rain for at least 6 hours or until coating is thoroughly dry.

At 77°F (25°C) and 50% relative humidity, coating dries to the touch in approximately 45 minutes. Allow 2 hour dry time before recoating. Coating dries completely in 48 hours.

### Cleanup

Clean equipment with warm water and mild detergents. Use solvent paint thinner to remove dried-on BMC® II.

### WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.** The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

### CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care – technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our website at [www.prosoco.com](http://www.prosoco.com), for the name of the PROSOCO representative in your area.



**521 Dauphine**





## 521 Dauphine







521 Dauphine, ca. 1939  
Vieux Carre Commission

February 16, 2022





521 Dauphine, ca. 1950

Vieux Carre Commission

February 16, 2022







521 Dauphine

Vieux Carre Commission

February 16, 2022





521 Dauphine

Vieux Carre Commission

February 16, 2022





521 Dauphine

Vieux Carre Commission

February 16, 2022







521 Dauphine

Vieux Carre Commission

06 08 2021

February 16, 2022







521 Dauphine

Vieux Carre Commission

08 01 2022

February 16, 2022







521 Dauphine

Vieux Carre Commission

05 19 2022

February 16, 2022







521 Dauphine

Vieux Carre Commission

February 16, 2022







521 Dauphine, ca. 1939

Vieux Carre Commission

February 16, 2022



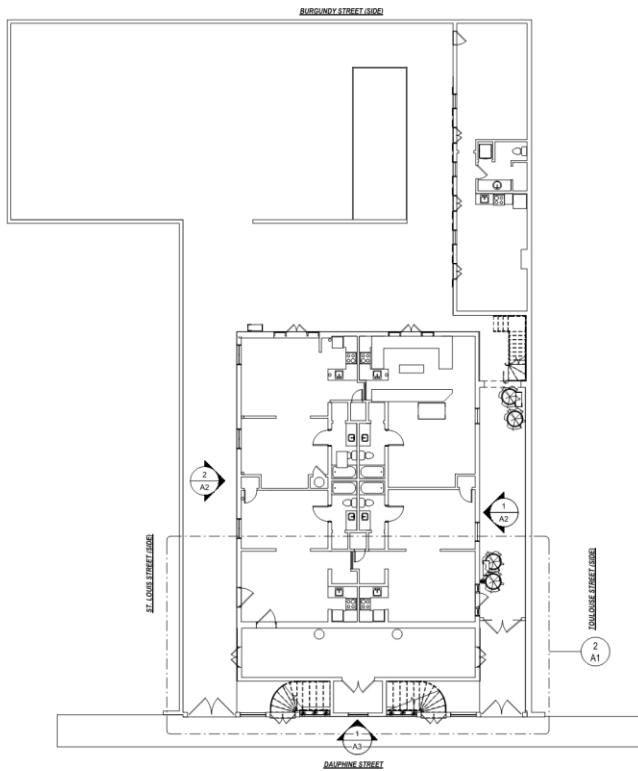


521 Dauphine, 1858 sketch

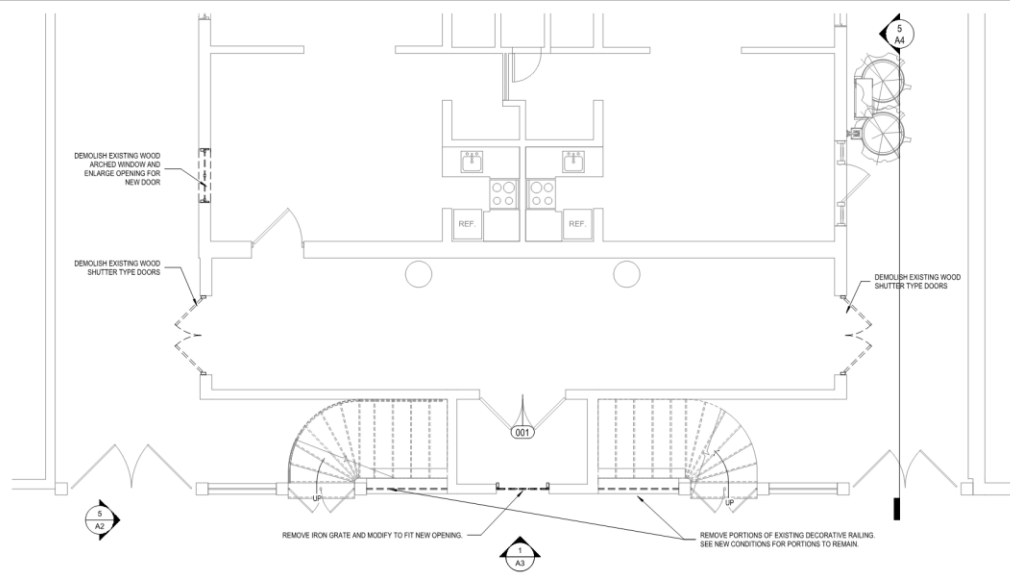


# MINOR ALTERATIONS TO 521 DAUPHINE STREET

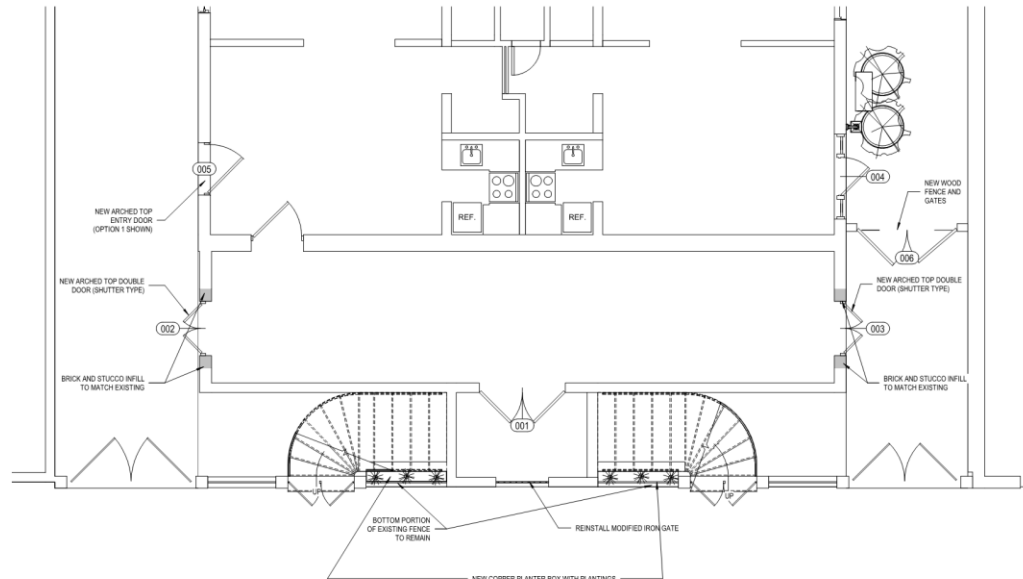
PROJECT DIRECTORY	PROJECT INFORMATION
<b>OWNER/CLIENT</b> 521 DAUPHINE STREET, LLC 521 DAUPHINE ST NEW ORLEANS, LA 70112 CONTACT: CAROLYN ZELLER (cmz08@yahoo.com)	<b>PROJECT ADDRESS</b> 521 DAUPHINE STREET NEW ORLEANS, LA 70112
<b>ARCHITECT</b> WINK ARCHITECTURE, LLC 3270 DUMAS ST NEW ORLEANS, LA 70119 TEL: (504) 251-4370 CONTACT: DANIEL WINKERT (info@winkarchitecture.com)	<b>PROJECT DESCRIPTION:</b> 1. CHANGES TO FRONT FENCE. 2. ALTERATIONS OF FRONT GROUND FLOOR OPENING. 3. ALTERATIONS TO SIDE ENTRANCES LEADING TO UNDER FRONT PORCH. 4. CHANGE SIDE WINDOW TO UNIT ENTRY DOOR ON ST. LOUIS ST. SIDE. 5. ADDITION OF REPLICA WOOD FENCE AND GATES ON TOULOUSE ST. SIDE.
<b>GENERAL CONTRACTOR</b> TBD	<b>MAJOR APPLICABLE CODES AND REGULATIONS, NOT LIMITED TO THE FOLLOWING:</b> • INTERNATIONAL EXISTING BUILDING CODE, 2015 ED. • INTERNATIONAL BUILDING CODE, 2015 ED. • INTERNATIONAL PLUMBING CODE, 2015 ED. • INTERNATIONAL MECHANICAL CODE, 2015 ED. • NFPA 70, LIFE SAFETY CODE, 2015 ED. • NATIONAL ELECTRICAL CODE (NFPA-70)
	<b>PROPERTY INFORMATION:</b> SQUARE: 90 LOT: 1 MUNICIPAL DISTRICT: 3 BOUNDING STREETS: DAUPHINE, ST. LOUIS, BURGUNDY, TOULOUSE STREETS HISTORIC DISTRICT: VIEUX CARRE HISTORIC DISTRICT FLOOD ZONE: X CONSTRUCTION TYPE: IIB



1 SITE PLAN  
3/32" = 1'-0"



2 PARTIAL GROUND FLOOR PLAN - DEMO  
1/4" = 1'-0"



3 PARTIAL GROUND FLOOR PLAN - NEW  
1/4" = 1'-0"

**wink**  
 architecture  
 5210 Dauphine St New Orleans, LA 70119  
 info@winkarchitecture.com  
 504.251.4370

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administrative services on this project.

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Wink Architects LLC

**MINOR ALTERATIONS TO  
 521 DAUPHINE STREET**  
 New Orleans, Louisiana  
 70112

-REVISIONS-		
No.	Date	Scope

DRAWING  
COVER AND PLANS

SCALE: As indicated  
 JOB No. 2302.00  
 DATE: 07.03.2023  
 Sheet No.

A1



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**MINOR ALTERATIONS TO  
 521 DAUPHINE STREET**

70112  
 New Orleans, LOUISIANA

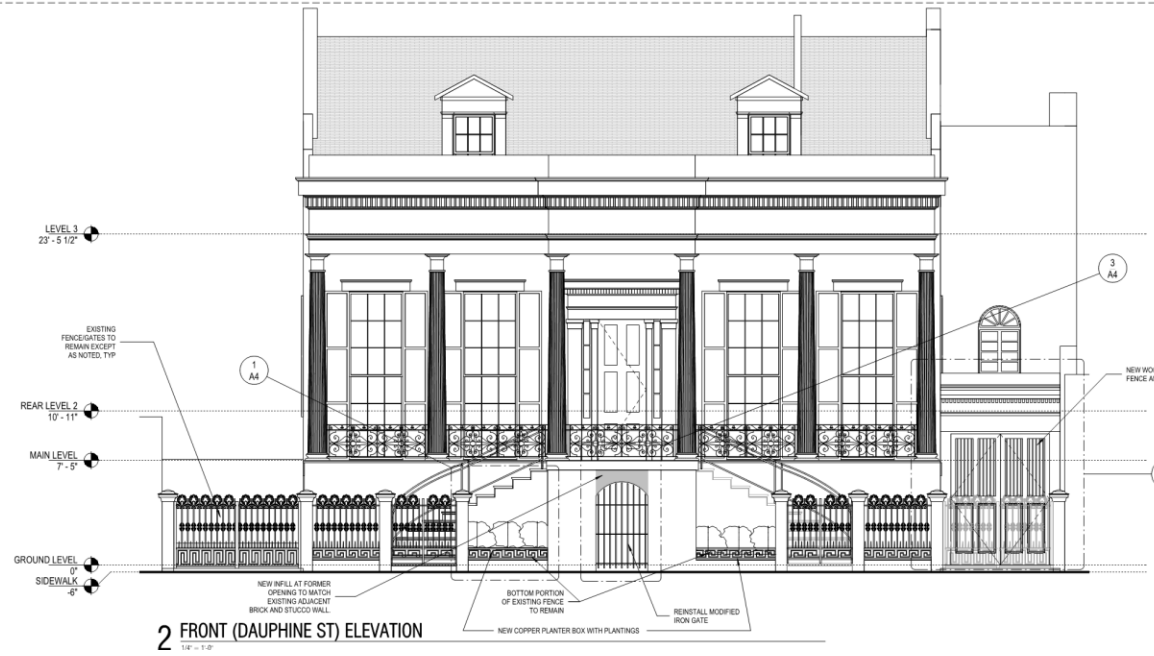
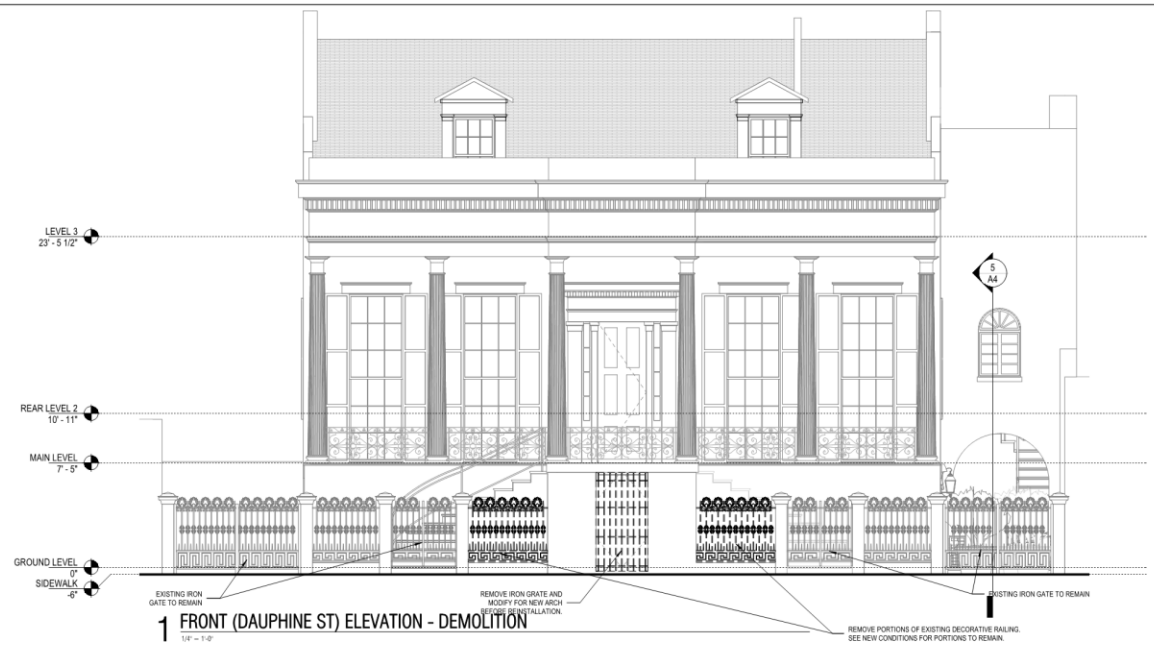
**-REVISIONS-**

No.	Date	Scope

DRAWING  
 FRONT ELEVATIONS

SCALE 1/4" = 1'-0"  
 JOB No. 2302.00  
 DATE 07.03.2023  
 Sheet No.

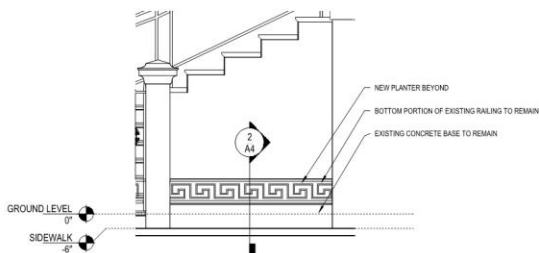
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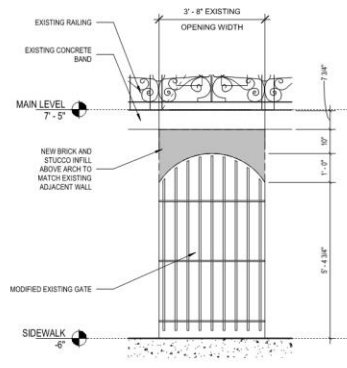




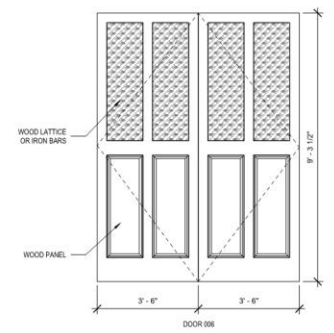
C:\Users\win\Documents\Wink Architecture\Projects\2022\_00\_511\Dauphine\Drawings\03\_REVIT\2022\_00\_511\_Dauphine.rvt 7/3/2023 2:21:48 PM



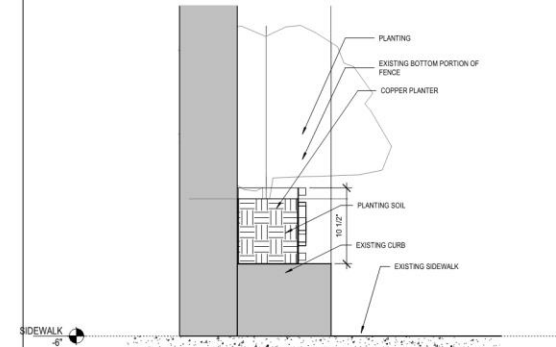
**1 ENLARGED ELEVATION AT DAUPHINE STREET PLANTER**  
1/2" = 1'-0"



**3 DAUPHINE STREET GATE ELEVATION**  
1/2" = 1'-0"



**DOOR TYPES NEW GATE IN WOOD FENCE**



**2 PLANTER DETAIL**  
1/2" = 1'-0"



**HISTORIC PHOTO**



**6 NEW FENCE AND GATES - IRON BARS OPTION 1**  
1/2" = 1'-0"



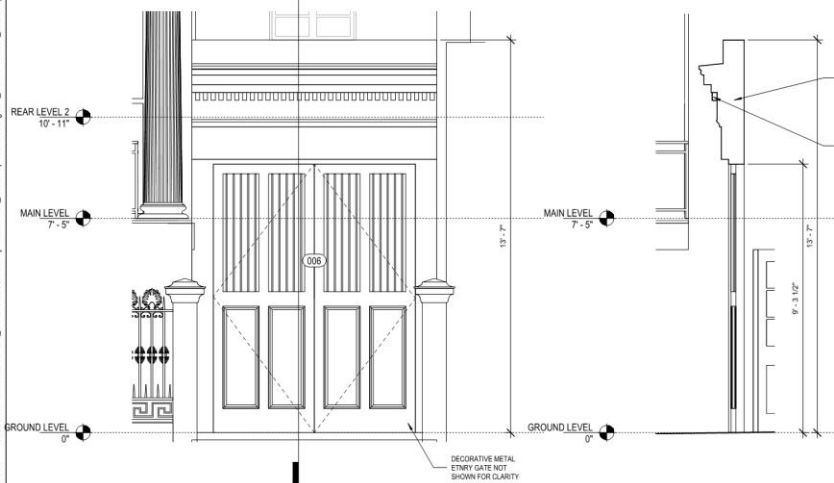
**7 NEW FENCE AND GATES - LATTICE OPTION 2**  
1/2" = 1'-0"



**8 NEW FENCE AND GATES DETAIL - IRON BARS OPTION 1**  
1/2" = 1'-0"



**9 NEW FENCE AND GATES DETAIL - LATTICE OPTION 2**  
1/2" = 1'-0"



**4 NEW FENCE ELEVATION**  
1/2" = 1'-0"

**5 NEW FENCE SECTION**  
1/2" = 1'-0"

**wink**  
architecture  
3210 Bayshore St, New Orleans, LA, 70119  
info@winkarchitecture.com  
504.231.4370

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**MINOR ALTERATIONS TO  
521 DAUPHINE STREET**

70112

New Orleans, LOUISIANA

**-REVISIONS-**

No.	Date	Scope

**DRAWING DETAILS**

SCALE: As indicated  
JOB No.: 2302.00  
DATE: 07.03.2023  
Sheet No.:

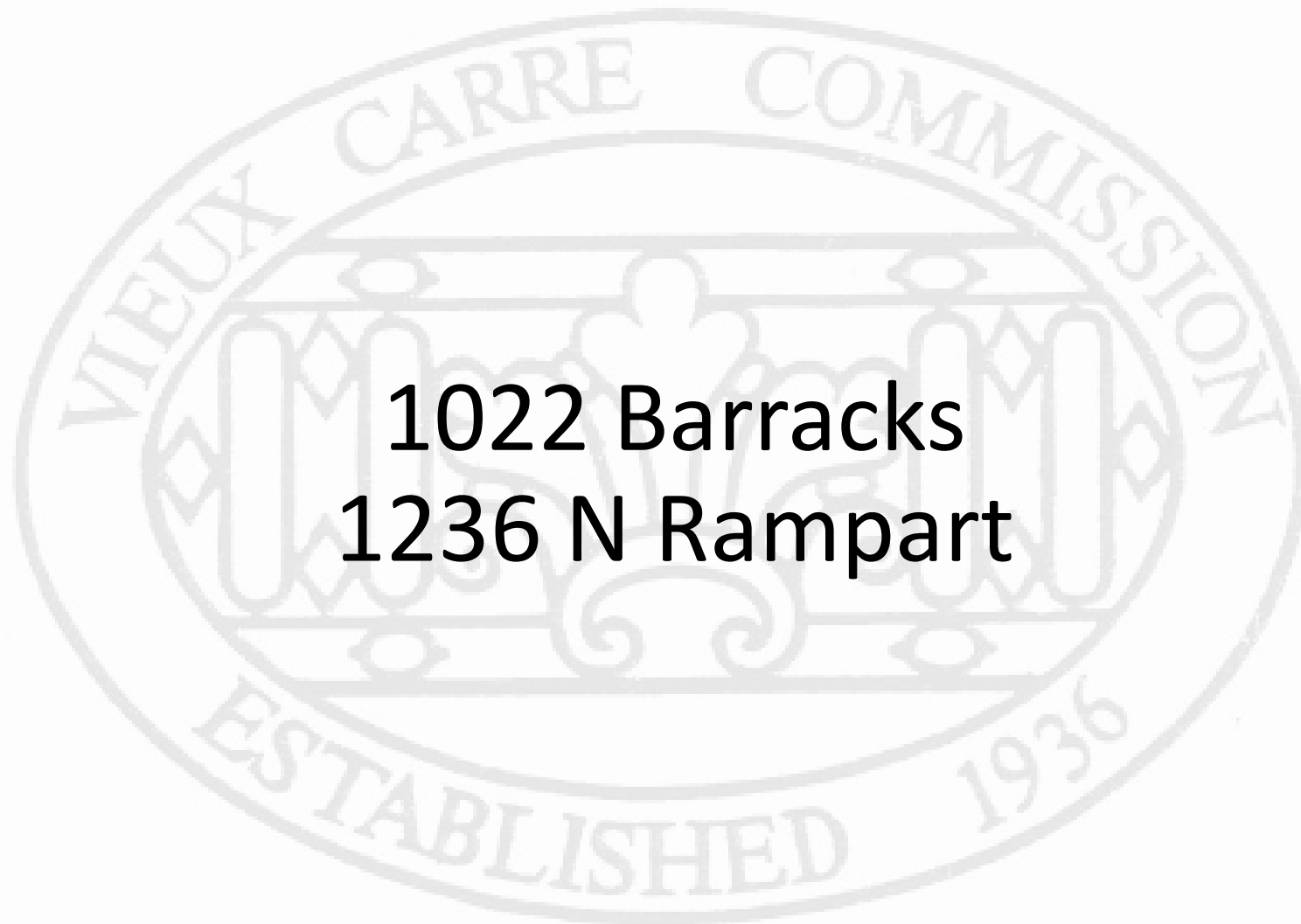
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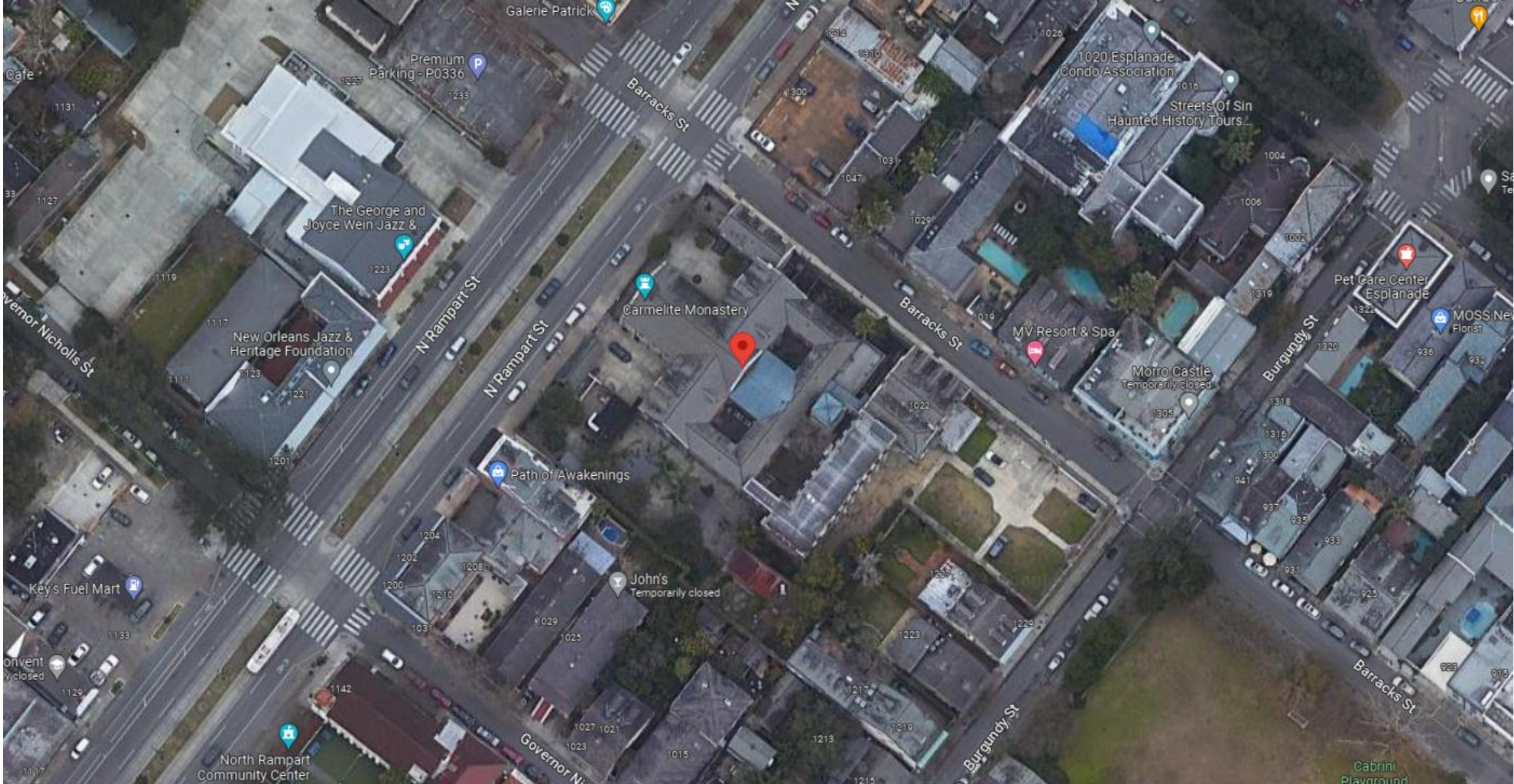


# New Business



**1022 Barracks  
1236 N Rampart**





1236 N Rampart, 1022 Barracks St

Vieux Carre Commission

February 16, 2022







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Vieux Carre Commission

February 16, 2022







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February 16, 2022





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1 PROPOSED MANSON (BARRACKS STREET) ELEVATION  
 SCALE: 1/4" = 1'-0"

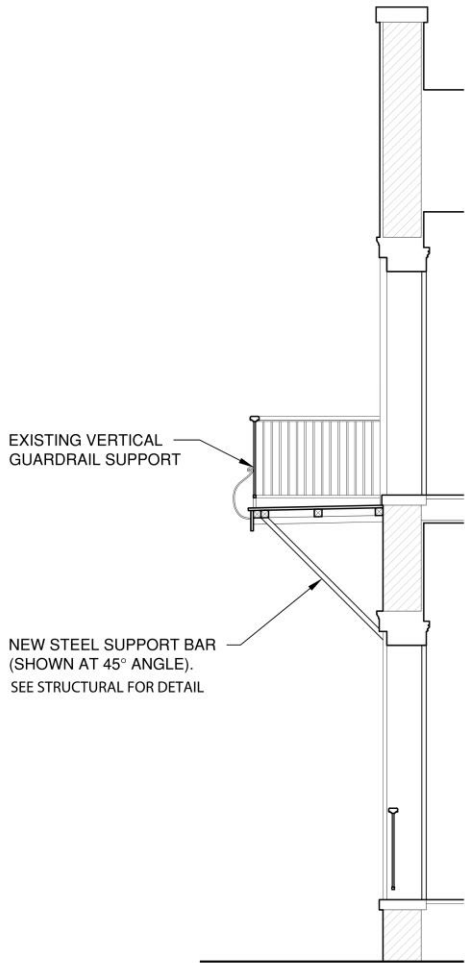
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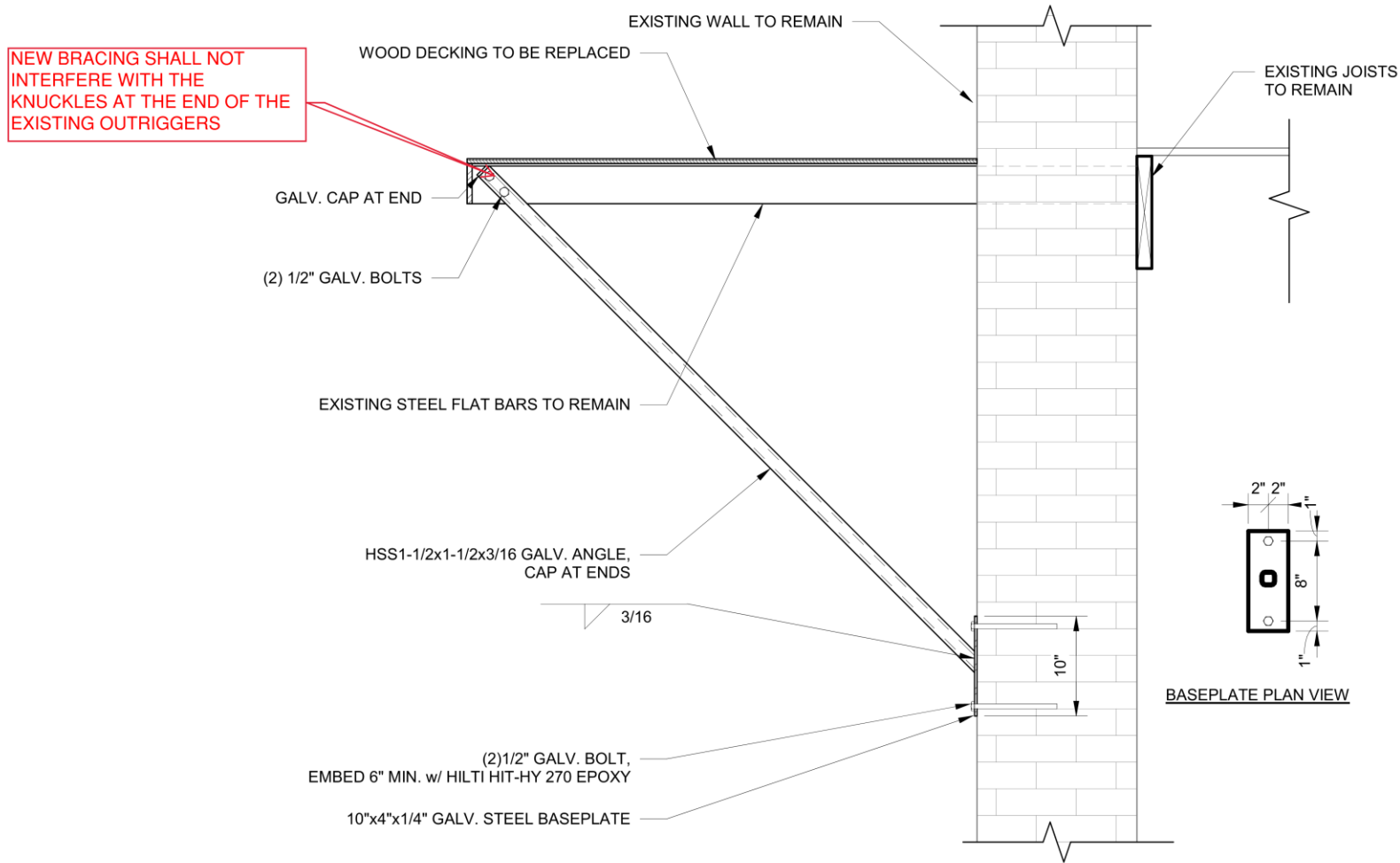




2 PROPOSED GALLERY SECTION  
SCALE:  $\frac{1}{4}" = 1'-0"$



3 DESIGN REFERENCE: EXISTING BALCONY SUPPORT ON BURGUNDY ST SIDE



**STRUCTURAL DETAIL OF MANSION GALLERY SUPPORT**  
6/13/2023







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Jun 28, 2023 8:10:12 PM

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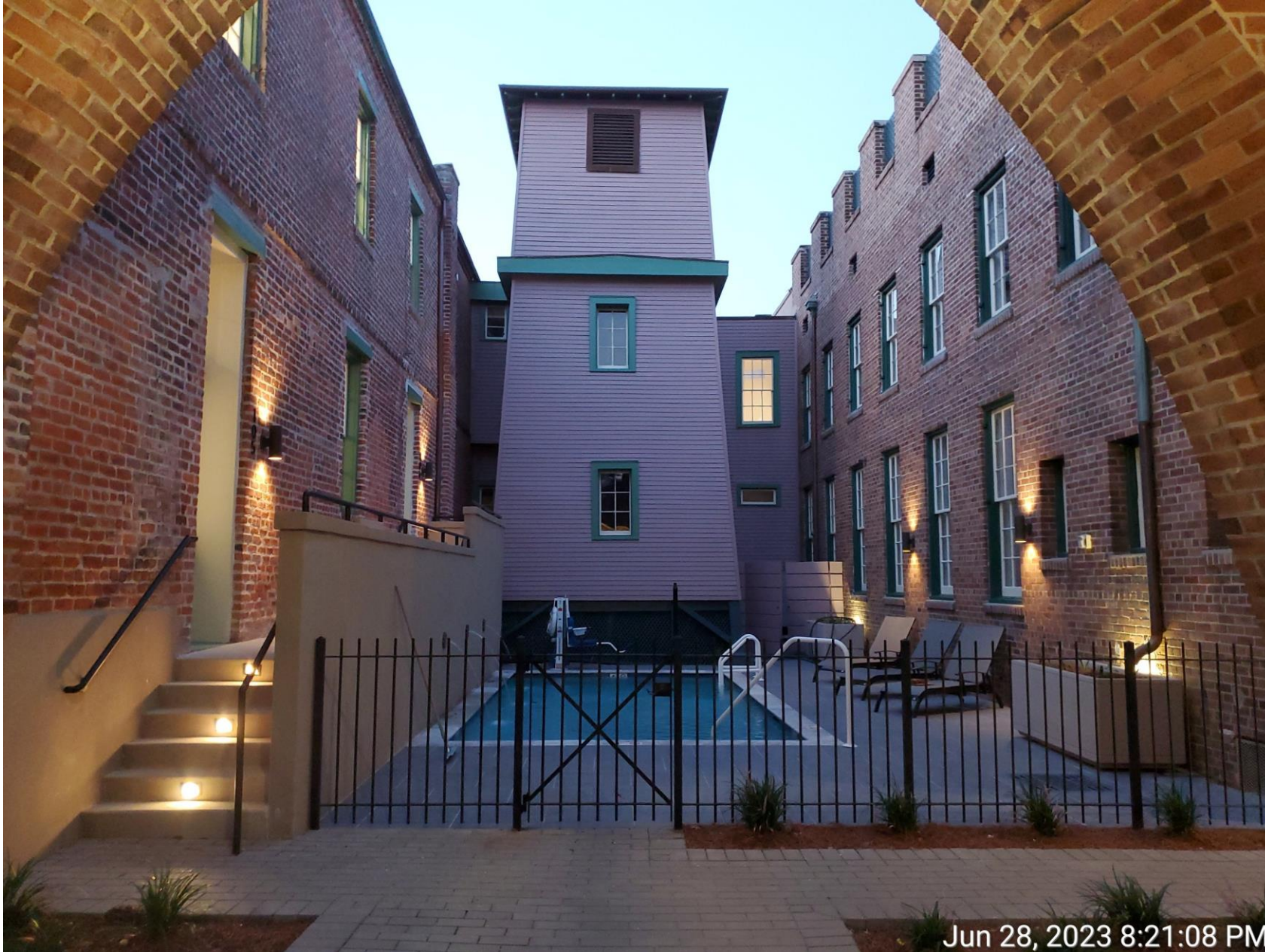
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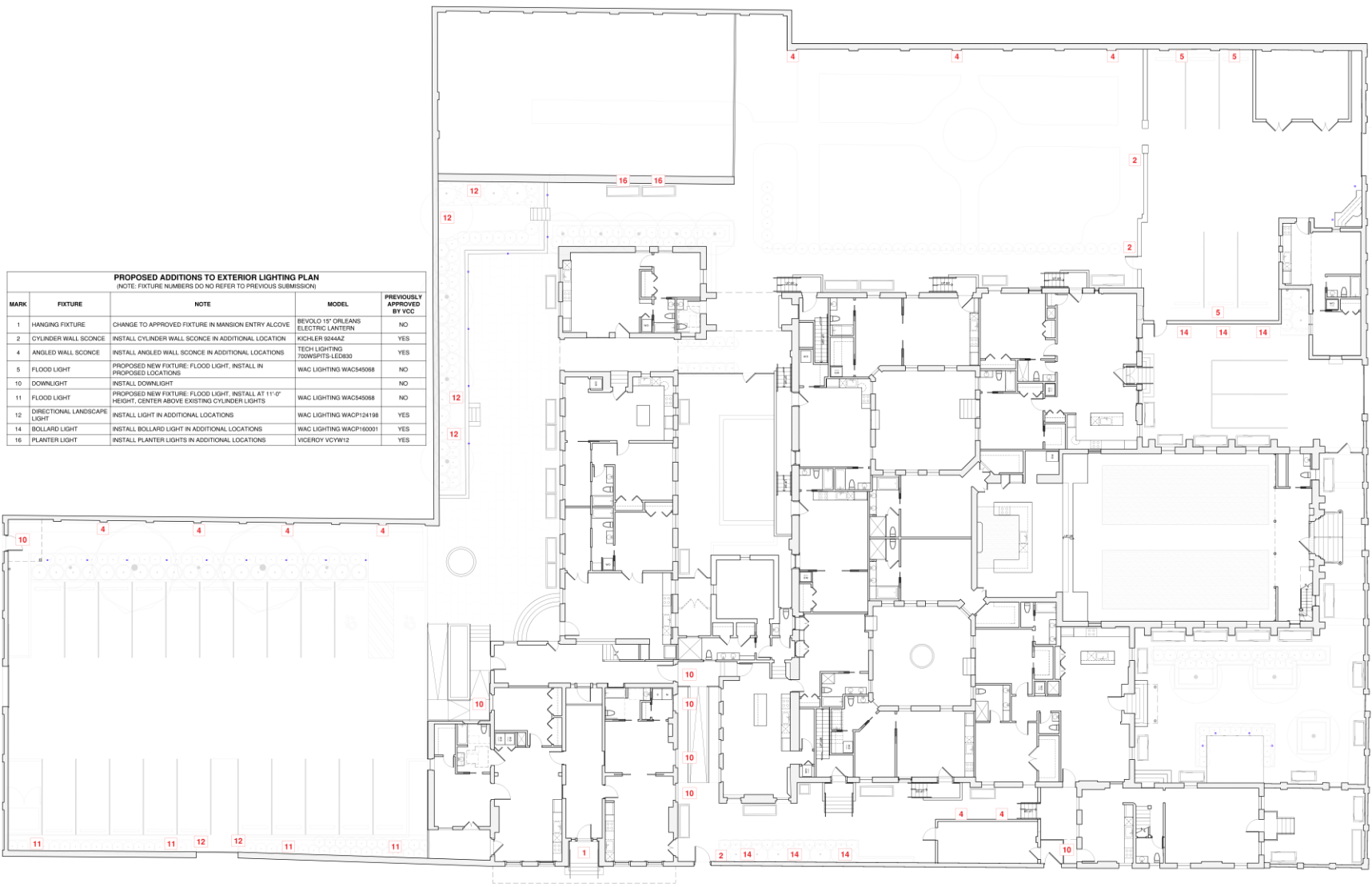
February 16, 2022



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1236 N Rampart St - Architecture.dwg

**PROPOSED ADDITIONS TO EXTERIOR LIGHTING PLAN**  
(NOTE: FIXTURE NUMBERS DO NOT REFER TO PREVIOUS SUBMISSION)

MARK	FIXTURE	NOTE	MODEL	PREVIOUSLY APPROVED BY VCC
1	HANGING FIXTURE	CHANGE TO APPROVED FIXTURE IN MANSION ENTRY ALCOVE	BEVOLO 15" ORLEANS ELECTRIC LANTERN	NO
2	CYLINDER WALL SCIENCE	INSTALL CYLINDER WALL SCIENCE IN ADDITIONAL LOCATION	RICHER BR442	YES
4	ANGLED WALL SCIENCE	INSTALL ANGLED WALL SCIENCE IN ADDITIONAL LOCATIONS	TECH LIGHTING 700SPITS-LED830	YES
5	FLOOD LIGHT	PROPOSED NEW FIXTURE: FLOOD LIGHT. INSTALL IN PROPOSED LOCATIONS	WAC LIGHTING WAC545088	NO
10	DOWNLIGHT	INSTALL DOWNLIGHT		NO
11	FLOOD LIGHT	PROPOSED NEW FIXTURE: FLOOD LIGHT. INSTALL AT 11'-0" HEIGHT, CENTER ABOVE EXISTING CYLINDER LIGHTS	WAC LIGHTING WAC545088	NO
12	DIRECTIONAL LANDSCAPE LIGHT	INSTALL LIGHT IN ADDITIONAL LOCATIONS	WAC LIGHTING WACP124198	YES
14	BOLLARD LIGHT	INSTALL BOLLARD LIGHT IN ADDITIONAL LOCATIONS	WAC LIGHTING WACP160001	YES
16	PLANTER LIGHT	INSTALL PLANTER LIGHTS IN ADDITIONAL LOCATIONS	VICEROFF VCVW12	YES



1 SITE PLAN - LIGHTING UPDATES  
SCALE: NOT TO SCALE

**RODERICK A. FRIELED, ARCHITECT, LLC**  
A PROFESSIONAL ARCHITECTURE COMPANY  
101 N. WALKER AVENUE, SUITE 200  
300 ST. MICHAEL AVENUE  
NEW ORLEANS, LA 70116  
PHONE: 504.581.1377  
EMAIL: RICK.FRIELED@GMAIL.COM

1236 N. RAMPART STREET  
NEW ORLEANS, LA 70116

DATE: 06/27/2023

EXTERIOR LIGHTING

SK.1

1236 N Rampart, 1022 Barracks St

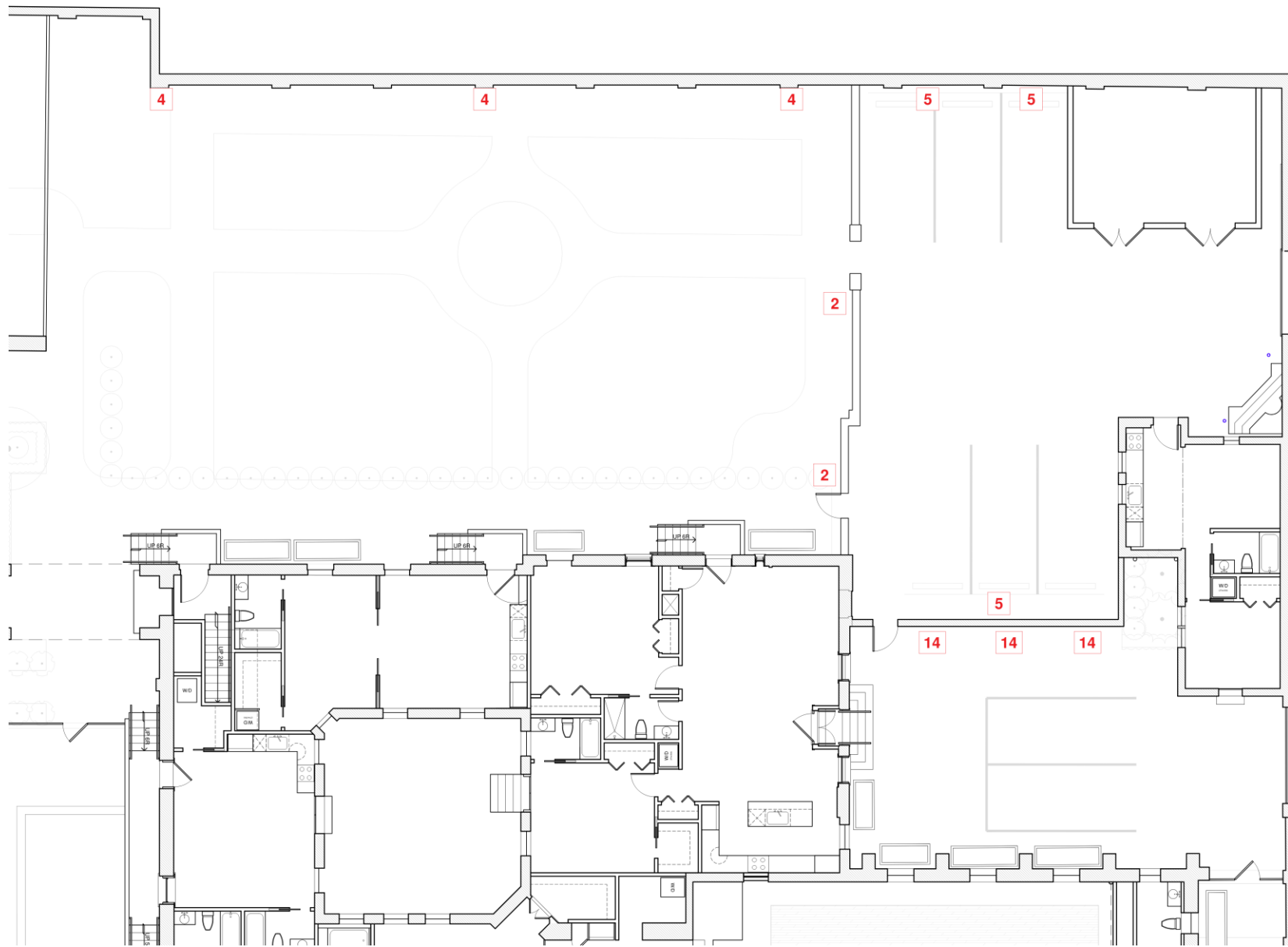
View Carre Commission

February 16, 2022









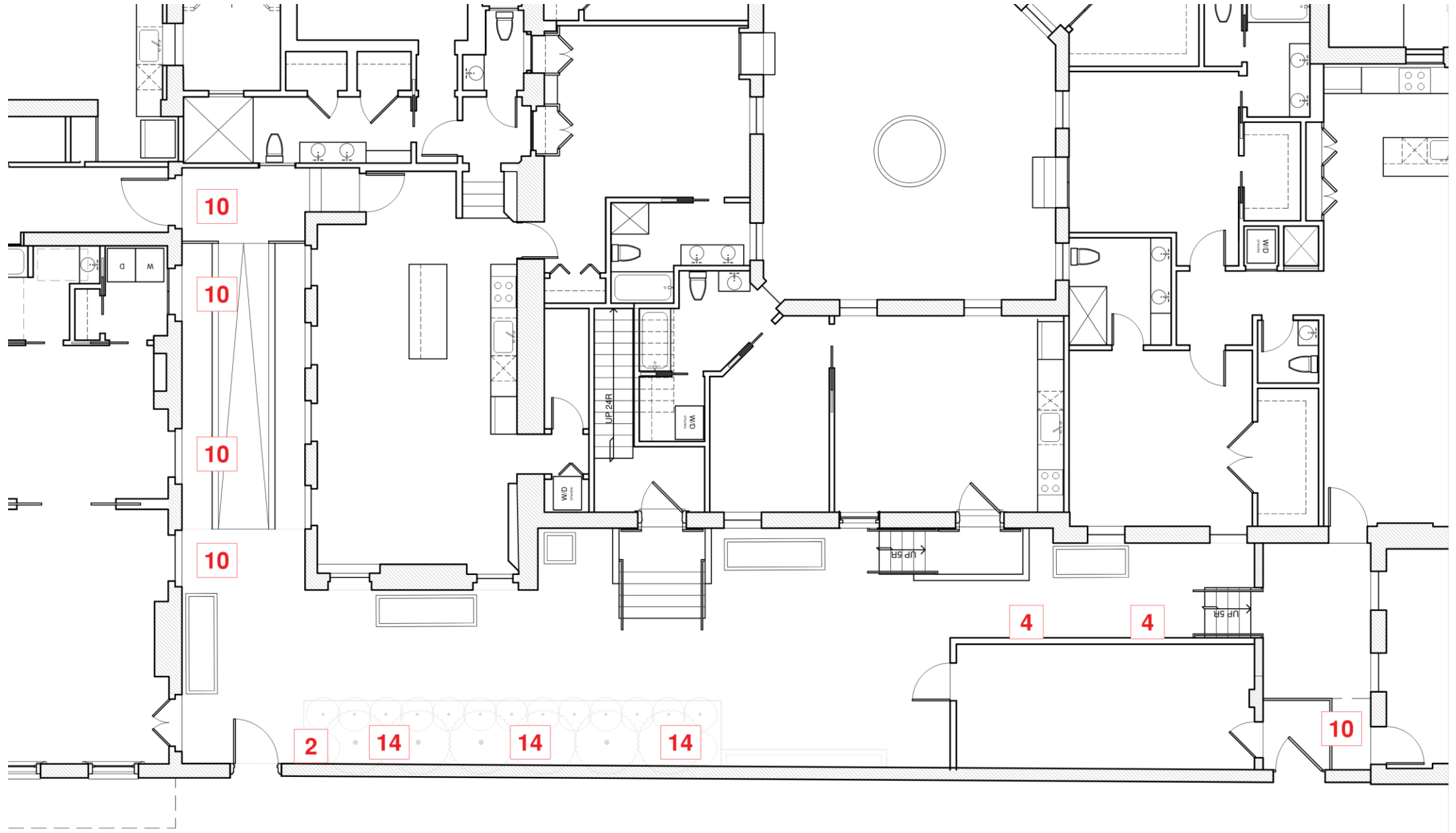
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February 16, 2022







1236 N Rampart, 1022 Barracks St

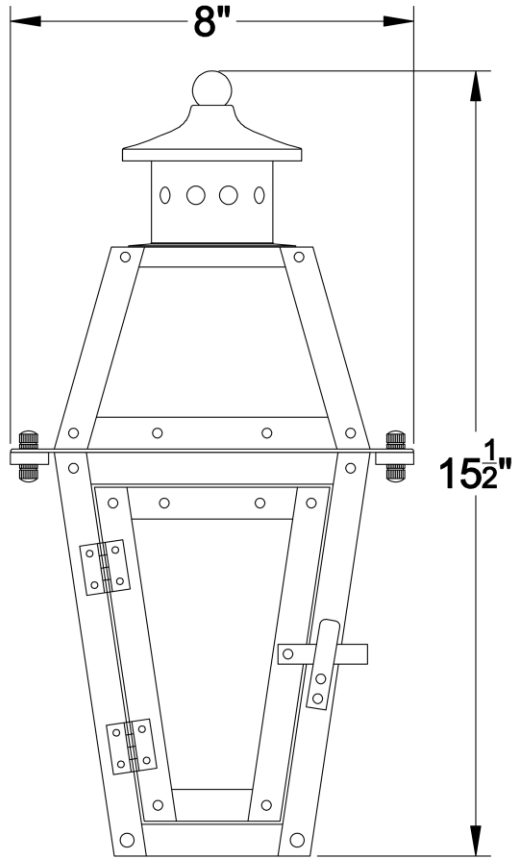
Vieux Carre Commission

February 16, 2022



OL-15

FIXTURE '1'  
BEVOLO 15" ORLEANS  
ELECTRIC ALNTERN



Front

quorum

FIXTURE '10'  
DOWNLIGHT



### Cylinder series

320-86  
Outdoor Ceiling Mount

Dimensions

- 7.00 H x 4.25 W
- Canopy: 4.25 W

Lamping/Electrical

- Damp Listed
- 1 light
- 75 watt
- Medium Base

Finish & Materials

- Oiled Bronze

201 Railhead Road, Fort Worth, TX 76106 - Tel. (817) 626-5483 - www.QuorumInternational.com

Please be advised that all information shown here is subject to verification by Quorum. In the event of a discrepancy, we reserve the right to make any corrections necessary.

1236 N Rampart, 1022 Barracks St

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February 16, 2022





**FLOOD/FLOOD PRO** Endurance Wallpack  
WP-LED335/WP-LED354

**WAC LIGHTING**



Includes two canopy accessories for surface mount  
Or recessed junction boxes



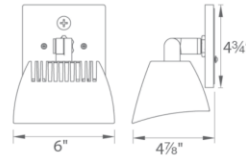
Fixture Type:

**FIXTURE '11'**  
**FLOOD LIGHT**

Catalog Number:

Project:

Location:



**PRODUCT DESCRIPTION**

Die cast aluminum factory sealed housings with patent pending design for a water and dust proof IP66 rated outdoor luminaire

**FEATURES**

- Factory-Sealed LED Light Engine
- 360° Horizontal Rotation, 90° Vertical Aiming
- Photo/Motion Sensor Compatible (Sold Separately)
- Suitable to install in all directions
- 120V Direct Wire - No Driver Needed
- Smooth and Continuous ELV Dimming
- 90 CRI
- 54,000 hour rated life

**SPECIFICATIONS**

**Construction:** Die-cast aluminum

**Power:** Line Voltage input (120V)

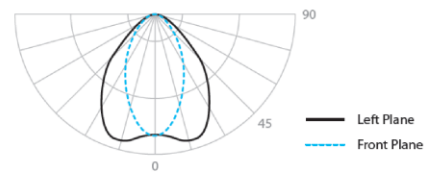
**Dimming:** 100% - 10% with Electronic Low Voltage (ELV) dimmer

**Finish:** Architectural Bronze, White and Graphite

**Standards:** IP66, Wet Location, ETL & cETL Listed

**Operating Temperature:** -40°C (-40°F) to 40°C (104°F)

**PHOTOMETRY**



**ORDER NUMBER**

Model	Wattage	Comparable	Color temp	Delivered Lumens	Finish
WP-LED335	Flood	35.5W	100W HID	30 3000K 2450	aBK Architectural Black
				50 5000K 2730	
WP-LED354	Flood Pro	53W	150W HID	35 3500K 3445	aBZ Architectural Bronze aGH Architectural graphite aWT Architectural White

Example: WP-LED354-35-aWT

wacighting.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

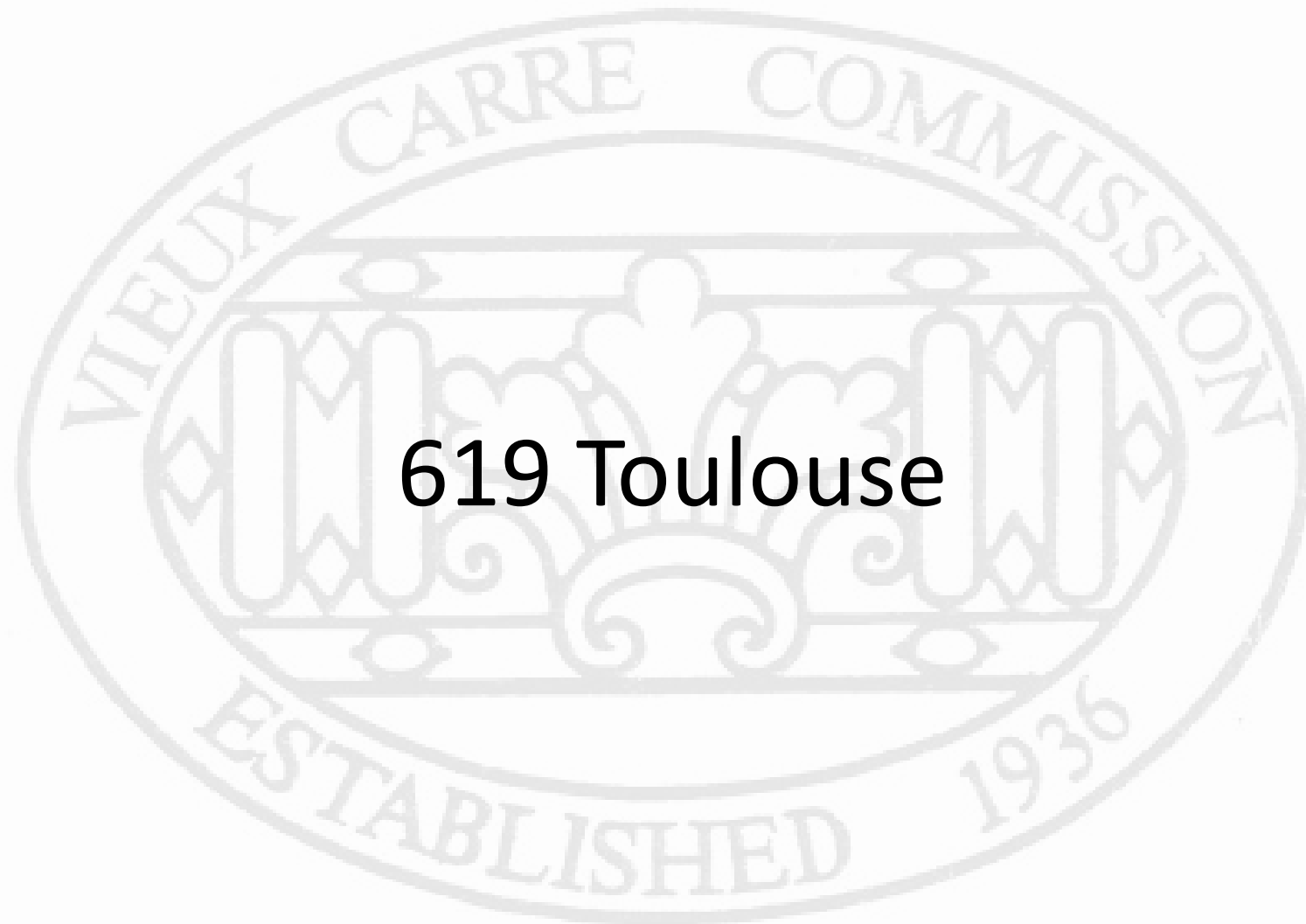
WAC LIGHTING retains the right to modify the design of our products at any time as part of the company's continuous improvement program. Feb 2018

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**619 Toulouse**





619-21 Toulouse

Vioux Carre Commission

February 16, 2022







619-21 Toulouse

Vieux Carre Commission

February 16, 2022







1937

619-21 Toulouse

Vieux Carre Commission

February 16, 2022





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619-21 Toulouse

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Vieux Carre Commission

February 16, 2022





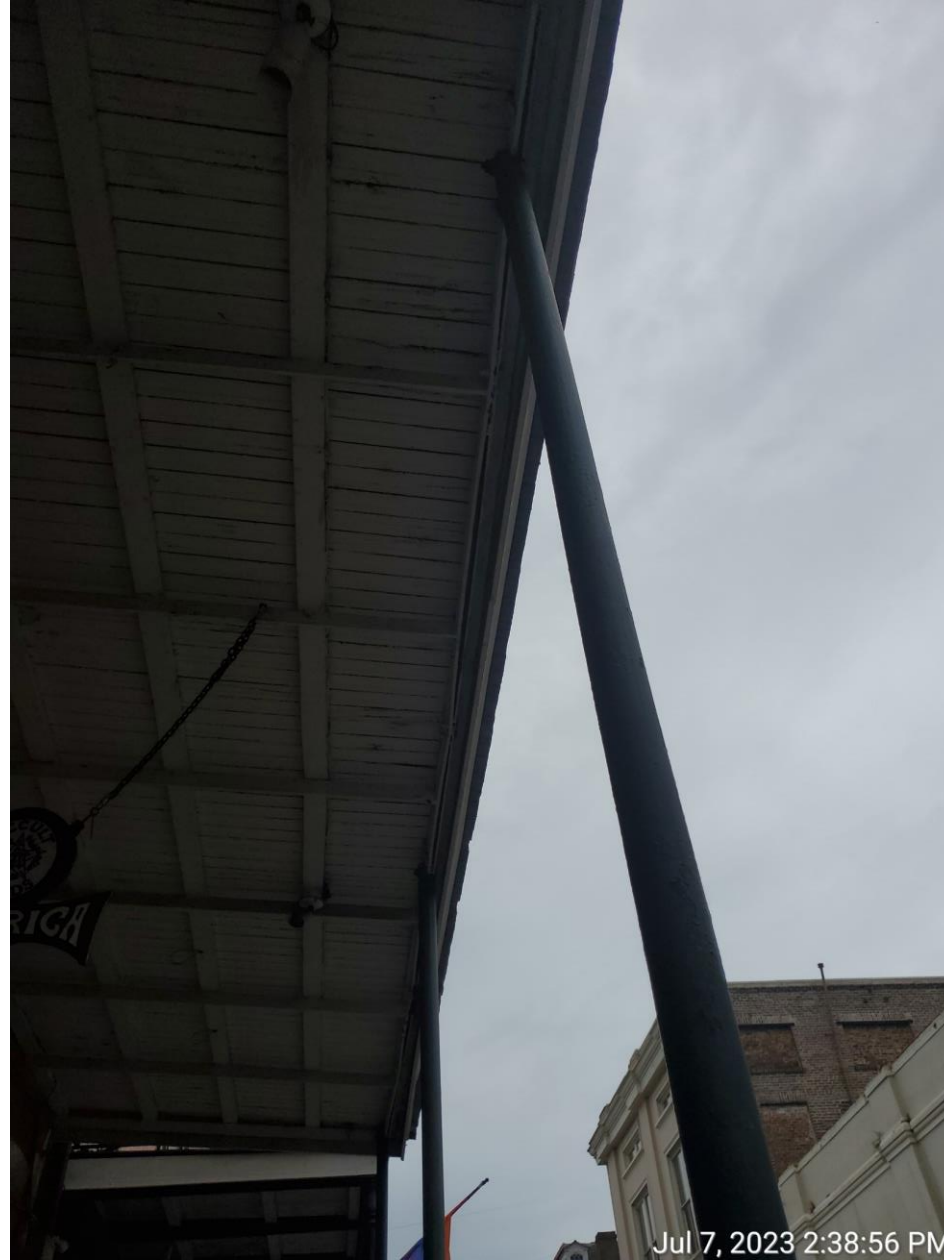


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Vieux Carre Commission

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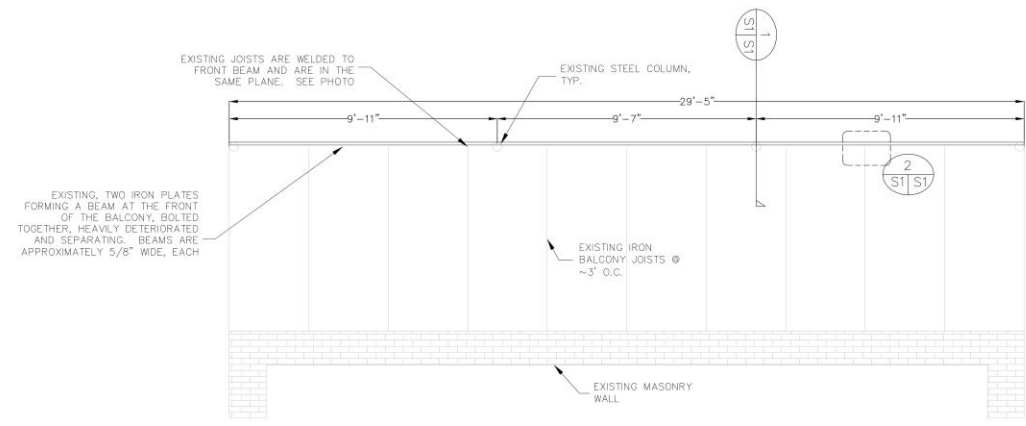
619-21 Toulouse

Vieux Carre Commission

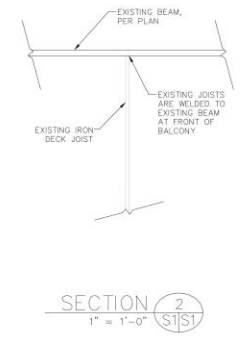
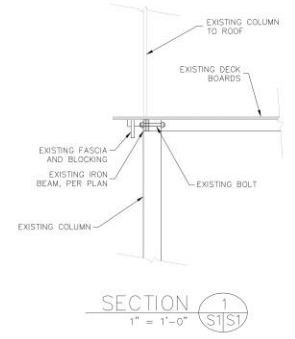
February 16, 2022







PLAN VIEW OF BALCONY  
 1/2" = 1'-0"



PHOTOGRAPH FROM BELOW SHOWING EXISTING CONDITIONS OF BALCONY

REV. NO.	DATE	DESCRIPTION

**619 TOULOUSE**  
 619 Toulouse St.  
 New Orleans, Louisiana

DRAWN BY: TAP  
 CHECKED BY: JMS  
 DATE: JUNE 23, 2023  
 ISSUE: PERMIT



EXISTING CONDITIONS

SHEET:  
**S1**



GENERAL STRUCTURAL NOTES

I. GENERAL

- A. The contractor shall be responsible for all final dimensions and fit-up of the structure, including verifying all existing conditions and dimensions before commencing work. No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- B. The contractor shall verify the location of all existing utilities before commencing any work. Any interference shall be brought to the attention of the structural engineer.
- C. The contractor shall be responsible for the design, placement, maintenance, etc. of any and all shoring, bracing, tie backs, etc. needed to support any part of the new or existing construction during the entire construction process to ensure the safety and integrity of the structure until the necessary permanent elements are in place. The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
- D. Structural drawings are intended to be used with architectural, mechanical, and electrical drawings. See these drawings for exact location of all depressions, slopes, openings, penetrations, etc. Penetrations not shown on the structural drawings shall be brought to the attention of the structural engineer.
- E. Dimensions - Do not scale these drawings, use written dimensions only. Verify all dimensions at job site before commencing work and report any discrepancies. Where no dimensions are provided obtain clarification prior to proceeding with work.
- F. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- G. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.
- H. With the exception of defects discovered by us or pointed out to us by others to date, our design and the work shown here assumes that the existing structural elements are sound and capable of supporting loads to their full, theoretical, code-allowed capacities. EOR is not responsible for any additional costs, damages, or injuries resulting from discovery or failure of any element that is found to be damaged, deteriorated, or otherwise structurally impaired.
- I. The Contractor shall inform the professional of record in writing of any deviation from the Contract Documents. The Contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.
- J. Note: If any items herein are not understandable or clear as to intent, the contractor must notify the Engineer of Record for clarification and/or supplemental information prior to actual installation.

II. DESIGN BASIS

A. Applicable Codes and Standards  
International Residential Code 2021; ASCE 7-2016

B. Design Loads

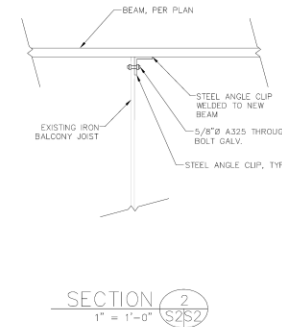
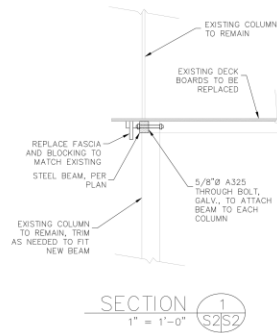
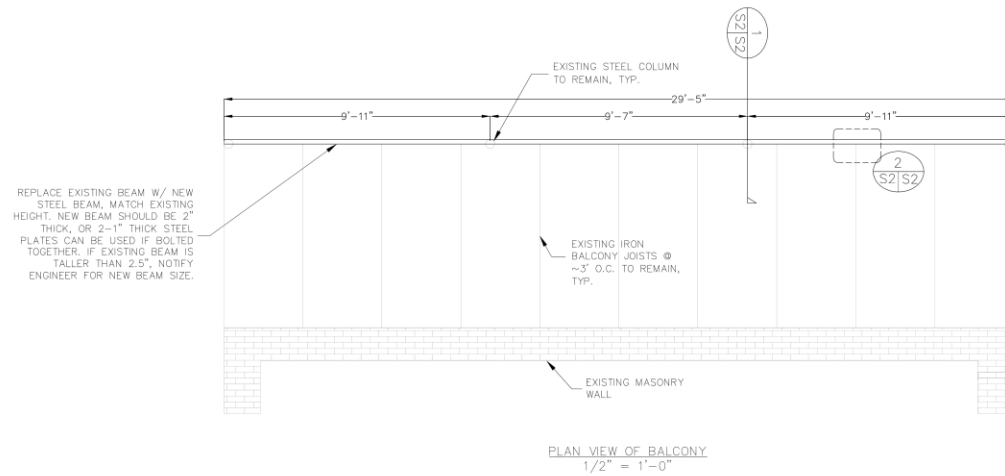
Roof	Live Load	20 psf;	Dead Load	10 psf
Decks	Live Load	60 psf;	Dead Load	10 psf
Living Floors	Live Load	40 psf	Dead Load	10 psf

Wind Load

The criteria is based on ASCE 7-2016 Minimum Design Loads for Buildings and Other Structures:  
Basic Wind Velocity 144 mph  
Risk Category II  
Exposure B  
For Main Wind Force Resisting System - Enclosed Building, Method 1, Simplified Procedure  
For Components and Cladding - Partially Enclosed Building, Method 2, Analytical Procedure

C. Deflection Limitations

Floor Members	Live	Dead + Live	L/240
Roof Member	Live	L/360	
Roof Live		L/240	



MARAIS

CONSULTANTS, LLC  
2018 JANA STREET  
NEW ORLEANS, LA 70115  
504.350.2644  
maraisconsultants.com  
PROFESSIONAL OF RECORD  
pro@maraisconsultants.com

DESCRIPTION

REV. NO. DATE

619 TOULOUSE  
619 Toulouse St.  
New Orleans, Louisiana

DRAWN BY: BJS  
CHECKED BY: BJS  
DATE: JUNE 23, 2022  
SHEET: 000001



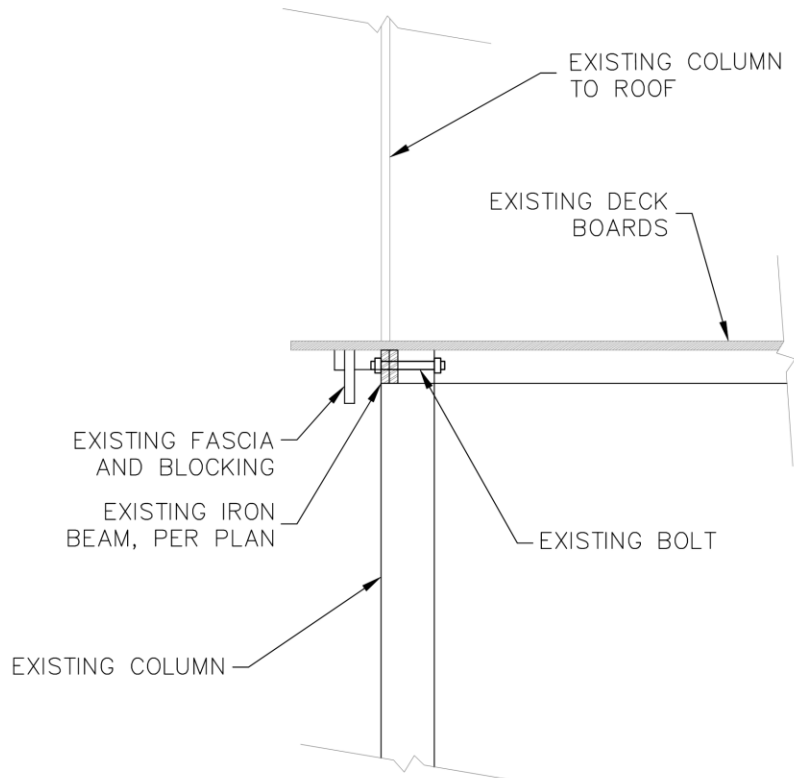
PROPOSED STRUCTURAL WORK

SHEET

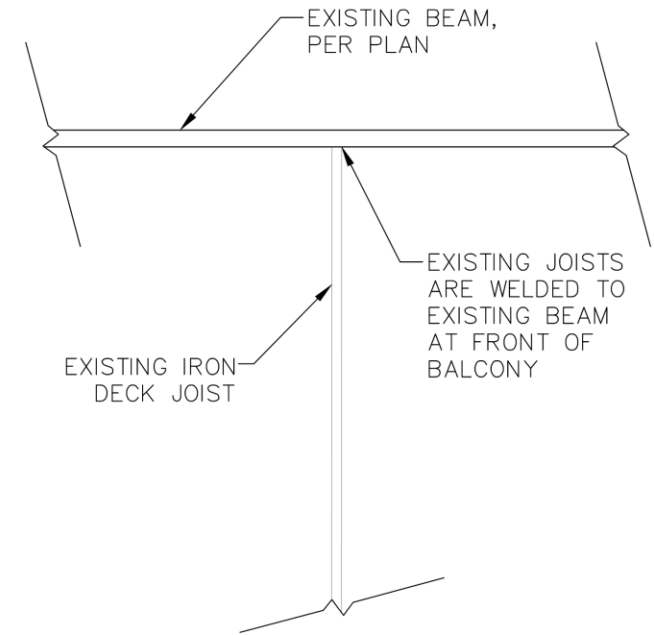
S2





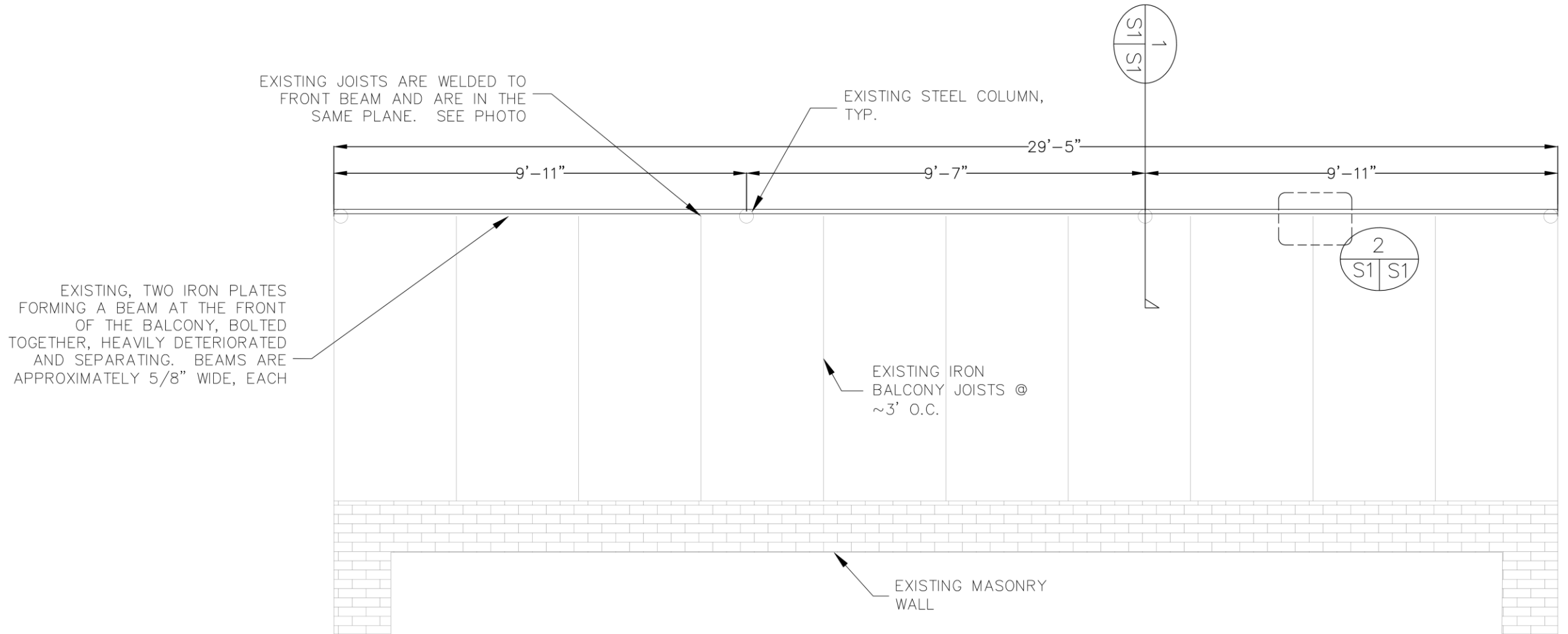


SECTION 1  
1" = 1'-0" S1|S1



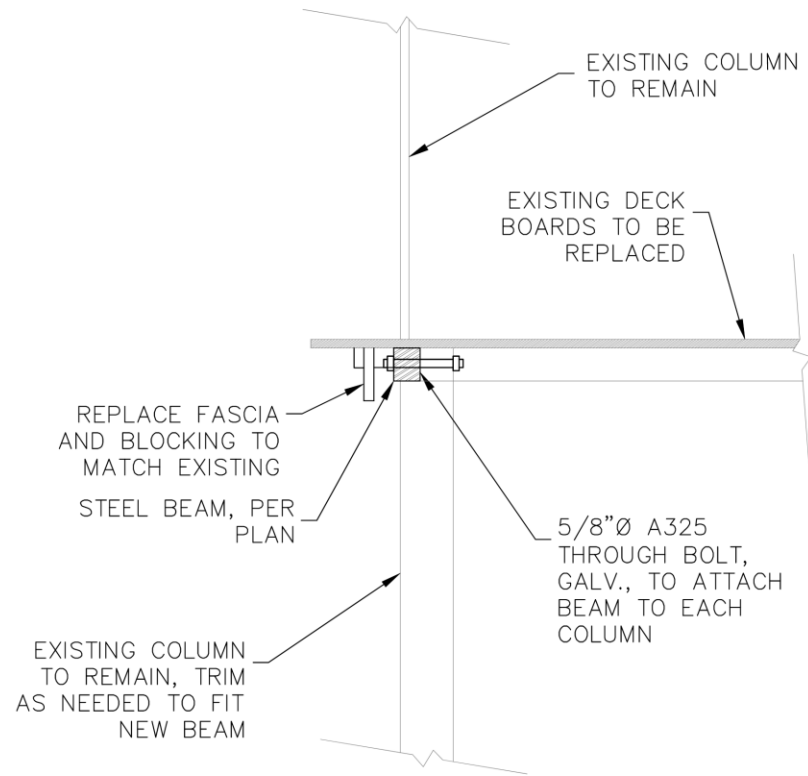
SECTION 2  
1" = 1'-0" S1|S1



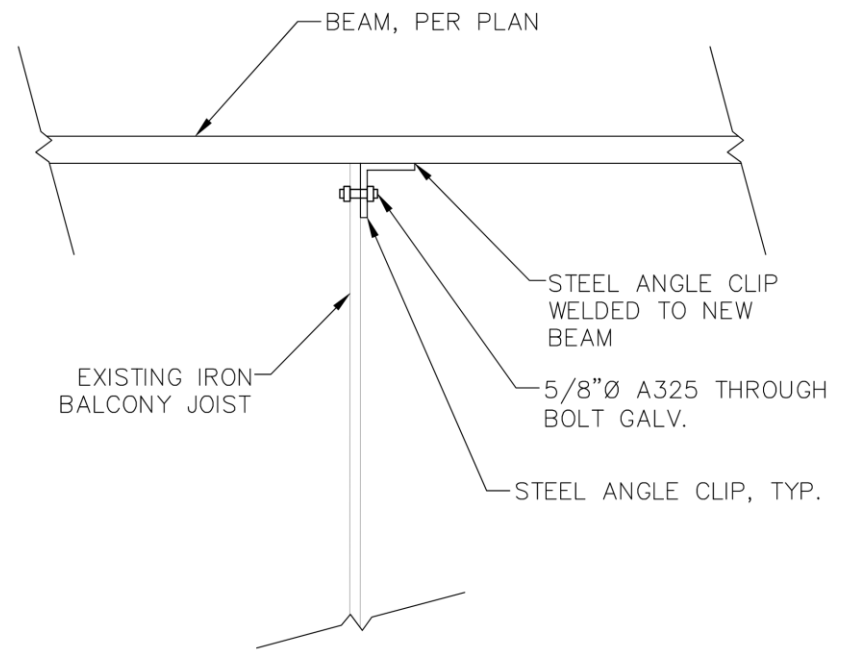


PLAN VIEW OF BALCONY  
 1/2" = 1'-0"



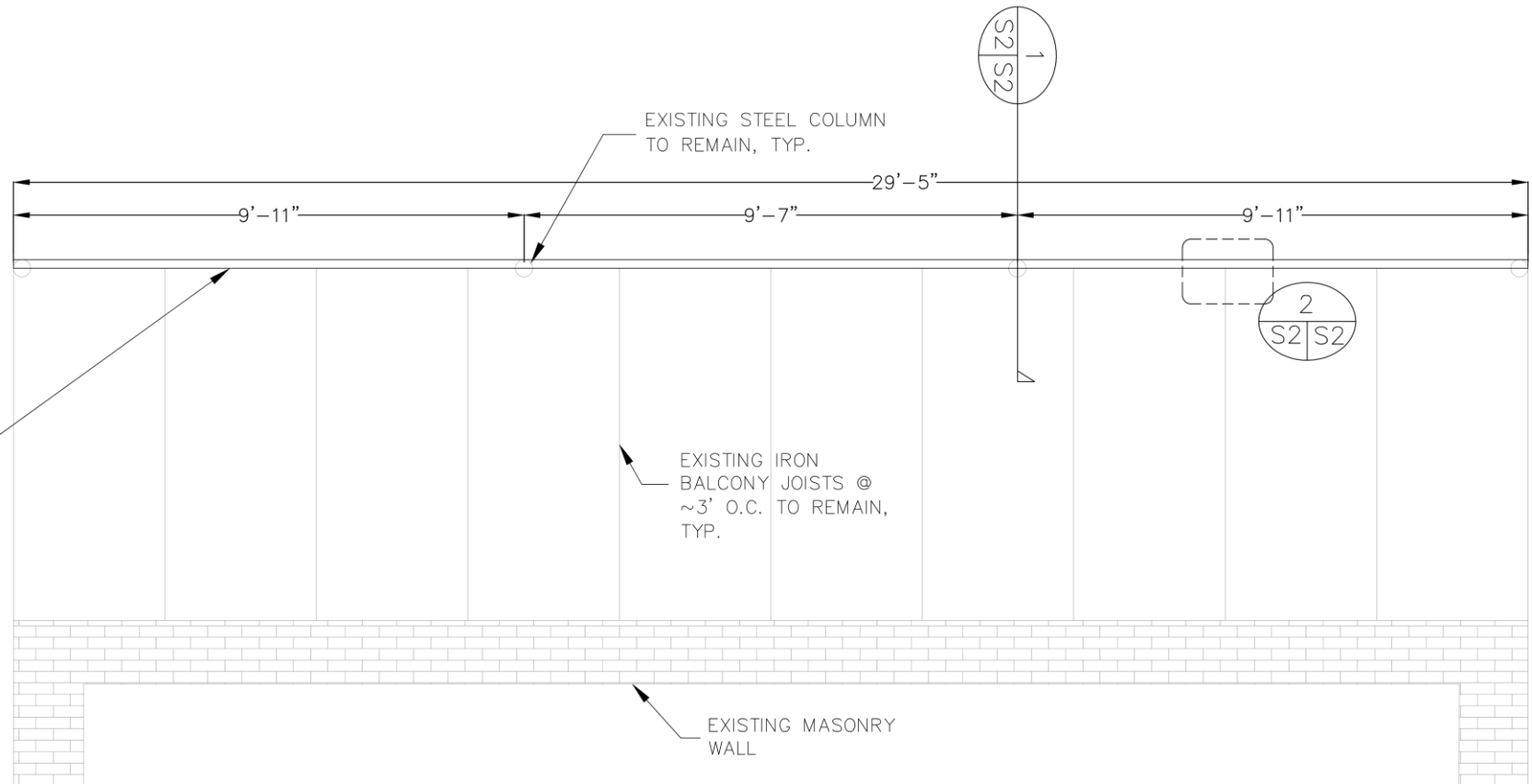


SECTION 1  
1" = 1'-0" S2S2



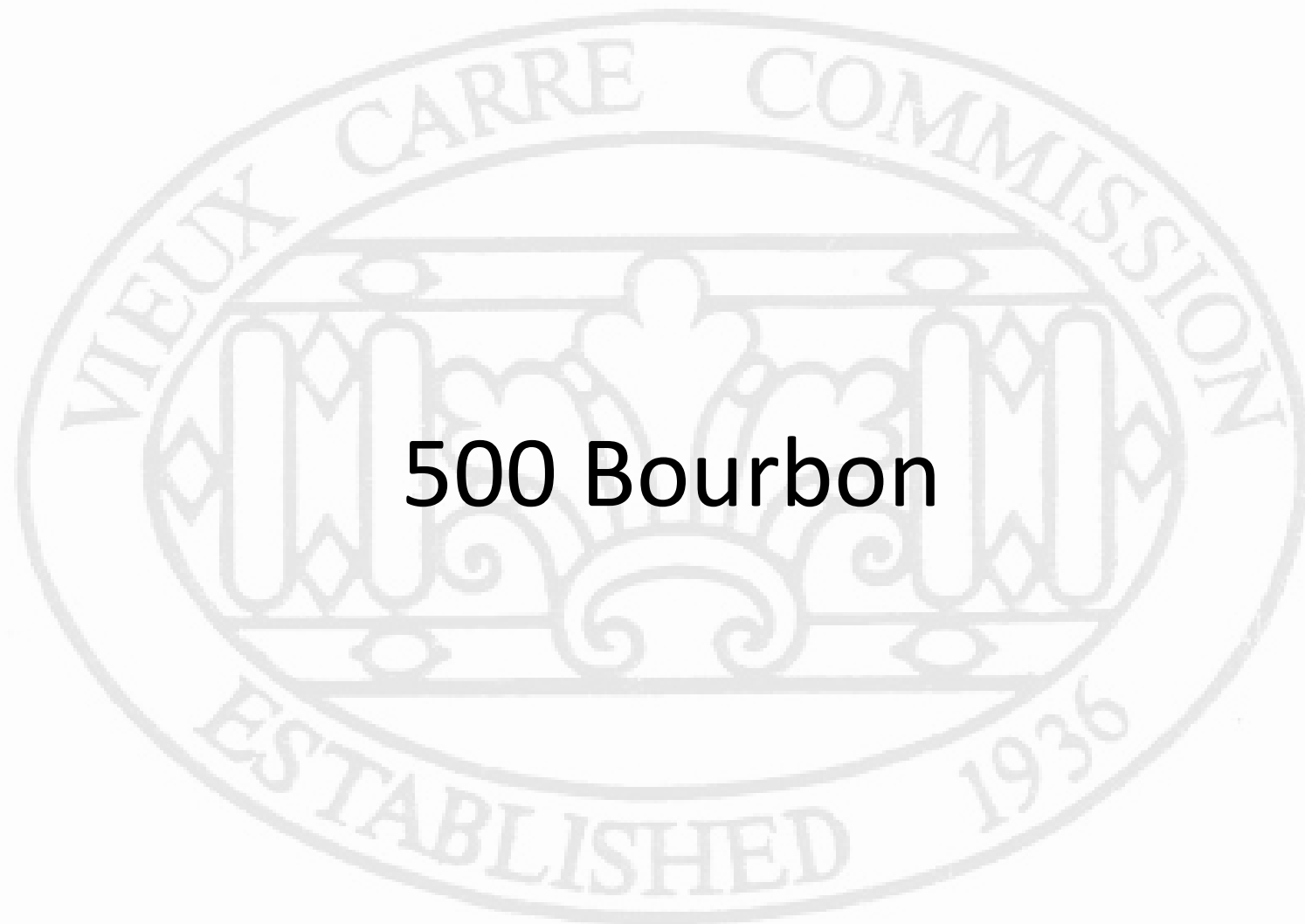
SECTION 2  
1" = 1'-0" S2S2

REPLACE EXISTING BEAM W/ NEW STEEL BEAM, MATCH EXISTING HEIGHT. NEW BEAM SHOULD BE 2" THICK, OR 2-1" THICK STEEL PLATES CAN BE USED IF BOLTED TOGETHER. IF EXISTING BEAM IS TALLER THAN 2.5", NOTIFY ENGINEER FOR NEW BEAM SIZE.



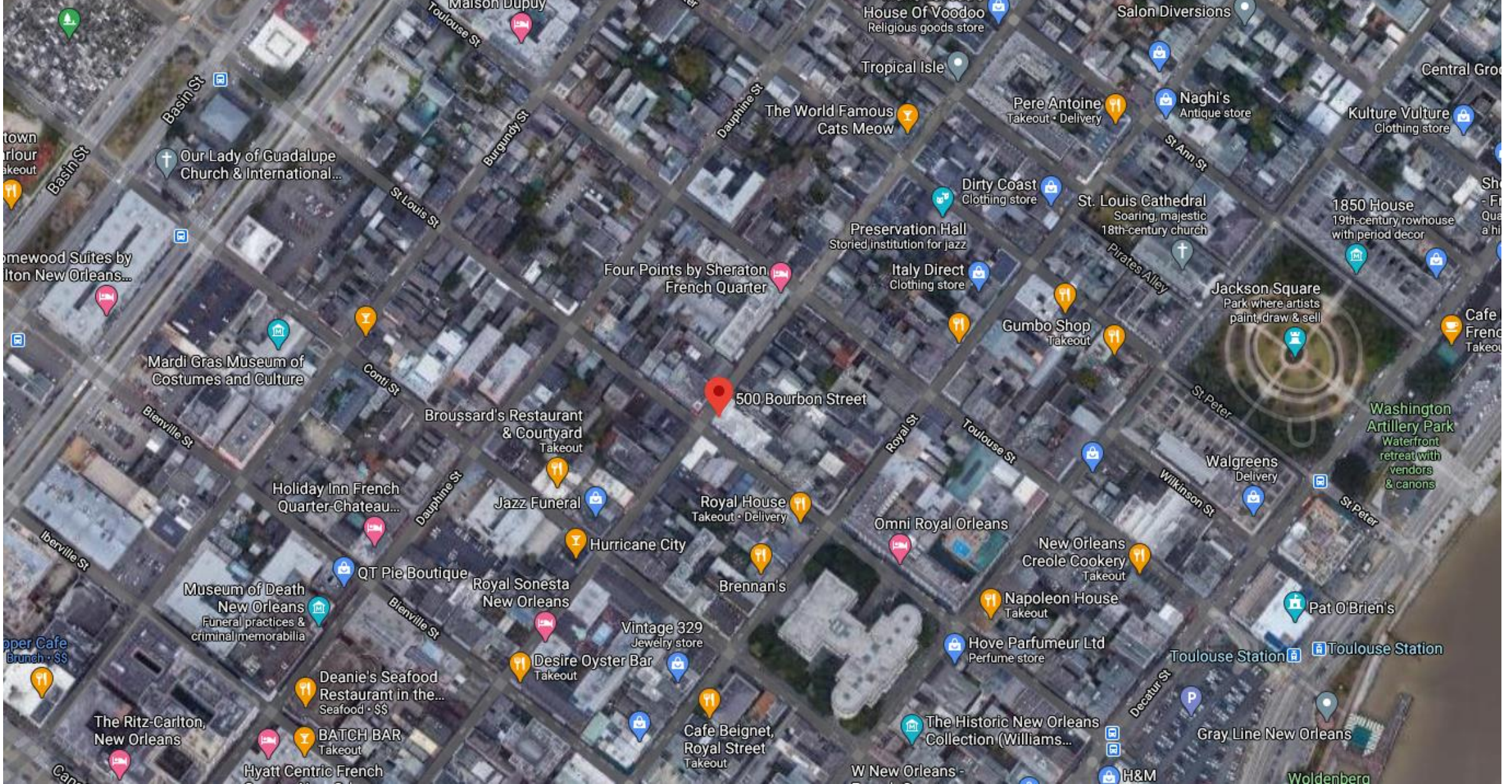
PLAN VIEW OF BALCONY  
1/2" = 1'-0"





**500 Bourbon**





## 500 Bourbon

Vieux Carre Commission

February 16, 2022







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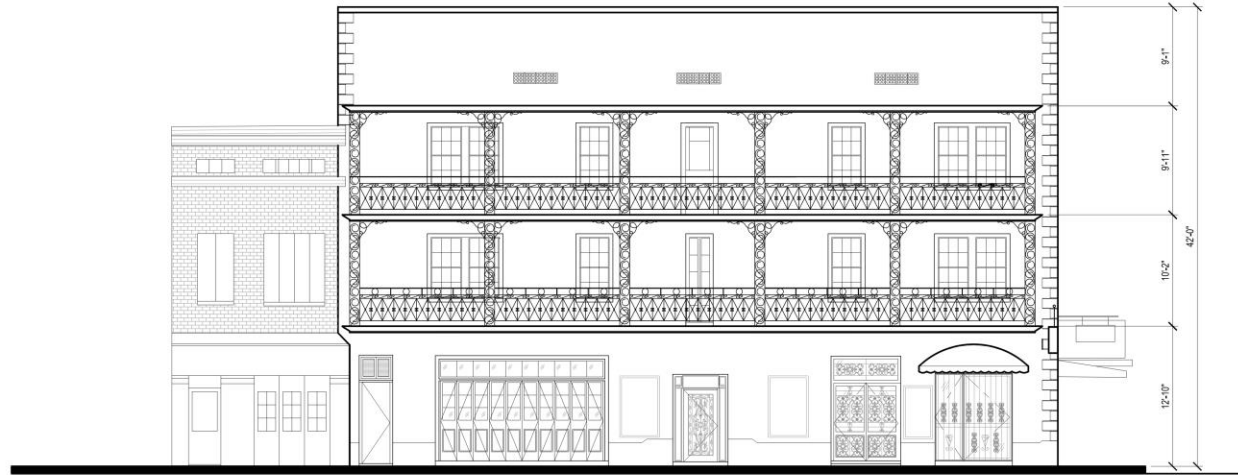
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EXISTING BOURBON ST. ELEVATION  
SCALE: 3/32" = 1'-0"

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CHICAGO . MIAMI . NEW ORLEANS  
info@cbdarchitects.com





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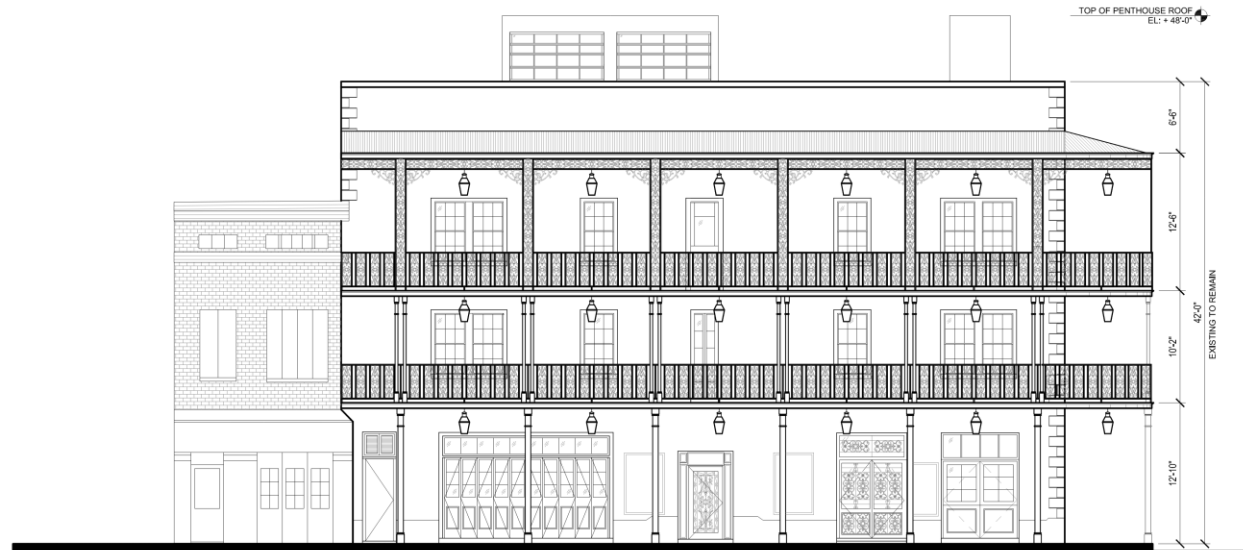
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PROPOSED BOURBON ST. ELEVATION - OPTION A

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR  
FLOOR HEIGHTS, GALLERY ONLY, RAILING TYPE C)

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CHICAGO . MIAMI . NEW ORLEANS  
info@cbdarchitects.com



PROPOSED ST. LOUIS ST. ELEVATION - OPTION A

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR  
FLOOR HEIGHTS, GALLERY ONLY, RAILING TYPE C)

CBD | ARCHITECTS  
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info@cbdarchitects.com

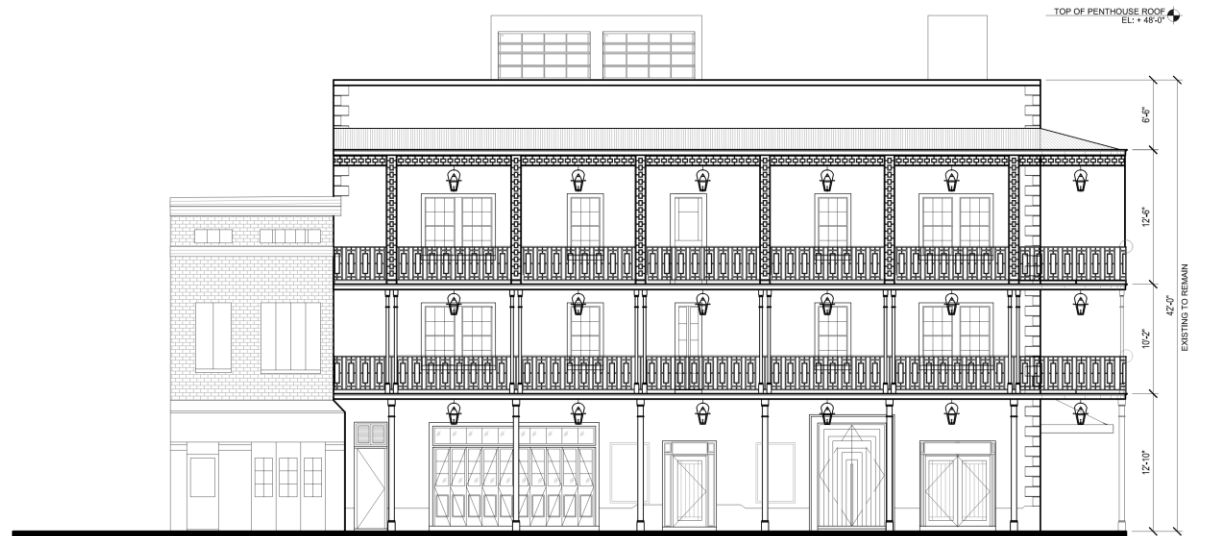
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**PROPOSED BOURBON ST. ELEVATION - OPTION B**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS.  
NON-CONTINUOUS GALLERY ONLY. RAILING TYPE D)

**CBD | ARCHITECTS**  
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**PROPOSED ST. LOUIS ST. ELEVATION - OPTION B**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
NON-CONTINUOUS GALLERY ONLY. RAILING TYPE D)

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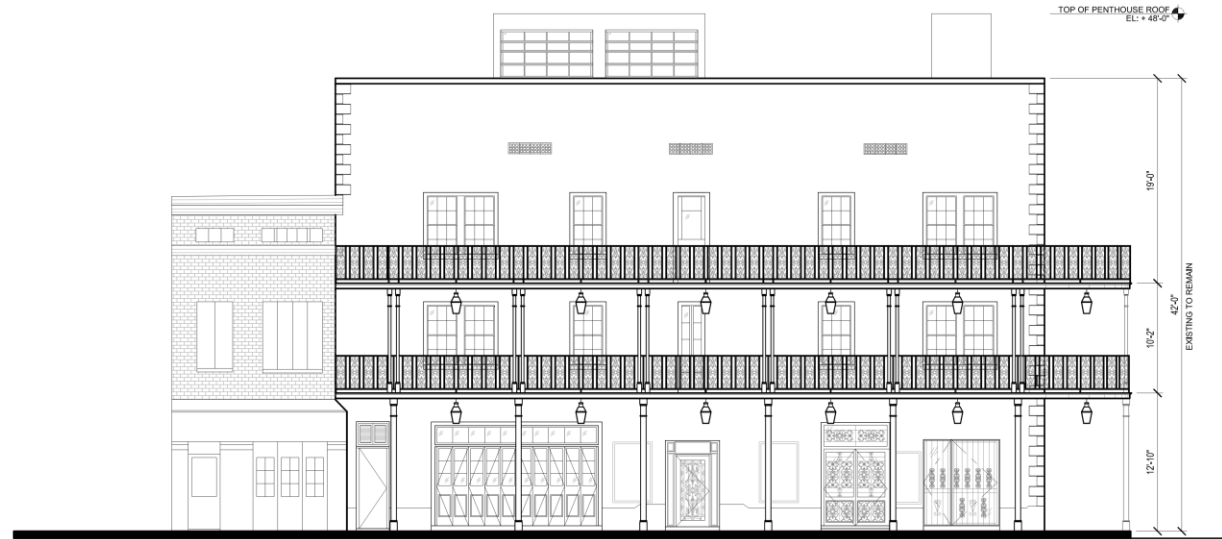
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**PROPOSED BOURBON ST. ELEVATION - OPTION C**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
GALLERY WITHOUT ROOF ONLY. RAILING TYPE C)

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**PROPOSED ST. LOUIS ST. ELEVATION - OPTION C**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
GALLERY WITHOUT ROOF ONLY, RAILING TYPE C)

**CBD | ARCHITECTS**  
 CHICAGO . MIAMI . NEW ORLEANS  
 info@cbdarchitects.com







PROPOSED BOURBON ST. ELEVATION - OPTION D

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
NON-CONTINUOUS GALLERY ONLY, RAILING TYPE E)

**CBD | ARCHITECTS**  
 CHICAGO . MIAMI . NEW ORLEANS  
 info@cbdarchitects.com



**PROPOSED ST. LOUIS ST. ELEVATION - OPTION D**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
NON-CONTINUOUS GALLERY ONLY. RAILING TYPE E)

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info@cbdarchitects.com

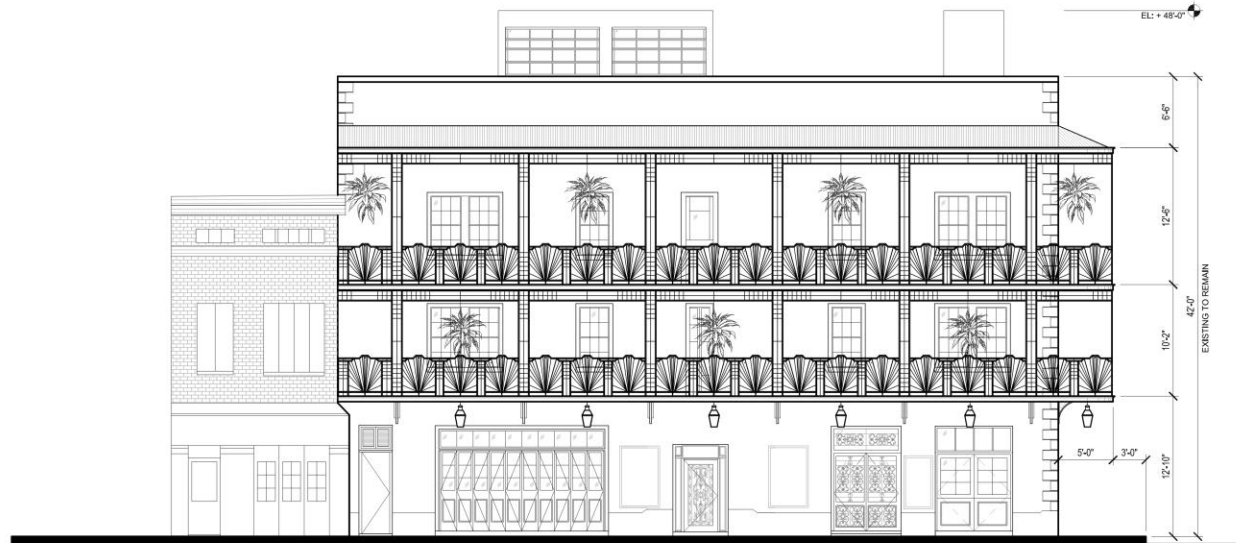
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**PROPOSED BOURBON ST. ELEVATION - OPTION E**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
BALCONY ONLY. RAILING TYPE F)

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 info@cbdarchitects.com





**PROPOSED ST. LOUIS ST. ELEVATION - OPTION E**

SCALE: 3/32" = 1'-0"

(NO MODIFICATIONS TO EXISTING FACADE OR FLOOR HEIGHTS,  
BALCONY ONLY. RAILING TYPE F)

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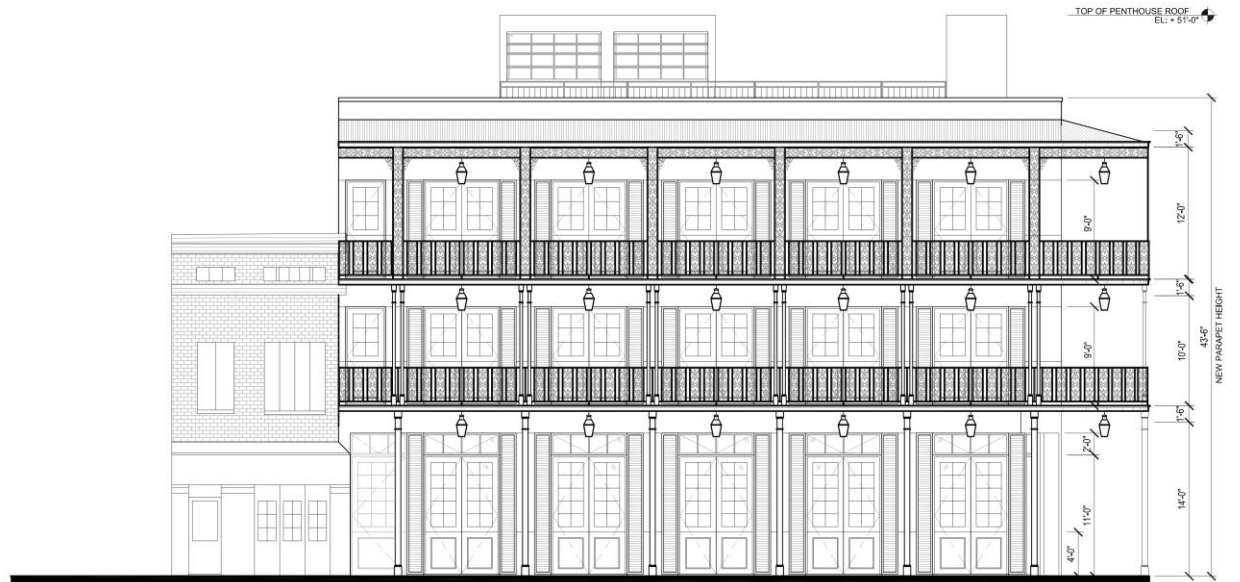
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**PROPOSED BOURBON ST. ELEVATION - OPTION F**

SCALE: 3/32" = 1'-0"

(MODIFICATIONS TO EXISTING FACADE, FLOOR HEIGHTS,  
GALLERY AND PARAPET EXTENDED 18". RAILING TYPE C)

**CBD | ARCHITECTS**  
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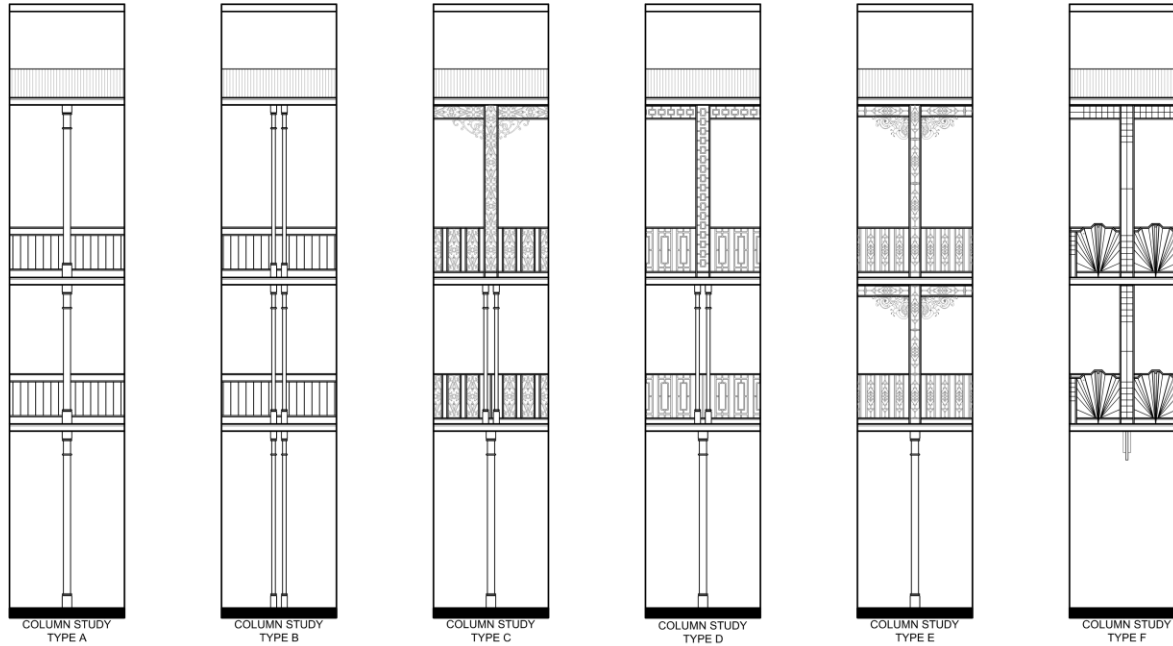
**PROPOSED ST. LOUIS ST. ELEVATION - OPTION F**

SCALE: 3/32" = 1'-0"

(MODIFICATIONS TO EXISTING FACADE, FLOOR HEIGHTS,  
GALLERY AND PARAPET EXTENDED 18". RAILING TYPE C)

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## PROPOSED REVISIONS TO VCC DESIGN GUIDELINES

Currently, the design guidelines define a **roof top addition** as any new construction on top of an existing rooftop for occupied or unoccupied space, and includes a full-floor addition. This definition should be revised to include **“occupied, finished space designed to accommodate outdoor commercial or residential living space including, but not limited to, furniture, landscaping, lighting, etc., all of which must be reviewed and approved by VCC.”**

**Roof deck** should be defined as, generally, a platform built above the roof structure, capable of supporting weight, similar to a floor and connected to the main building by stairs and possibly an elevator. It is typically enclosed by a railing or parapet for safety.

Based on research of how other similar historic districts have regulated this condition, we also propose that **food must be served in such activated, commercial, open-air rooftop additions, not just alcohol, and no rooftop space can be occupied after 10:00 pm. Noise must not exceed prescribed decibel levels, reading to be taken at 5’ above deck. No amplified music nor speakers shall be allowed.**

For properties located adjacent to residential areas, approved screens, walls, shutters, or other devices shall be required to restrict visual access to the residential units.

Illumination of the activated, open-air rooftop addition shall be restricted to avoid lights that focus outward or upward and should limit spillage of light from the deck.

Guidelines should explicitly indicate that rooftop decks that are highly visible are strongly discouraged. Such

**ROOFTOP ADDITIONS**

**THE VCC REQUIRES:**

- Compliance with the Comprehensive Zoning Ordinance (CZO) – A rooftop addition shall not require a variance for height limit or floor area ratios
- Review of all exterior items located on a roof surface including paving, railings and built-in furnishings

**THE VCC DOES NOT RECOMMEND:**

- A rooftop addition on a Green, Pink or Yellow rated building
- A rooftop addition on a building of less than three full stories in height

**THE VCC DOES NOT ALLOW:**

- A rooftop addition on a Purple or Blue rated building
- A rooftop addition on a building originally constructed as a residential building
- A rooftop addition on a roof with a pitch greater than 3-inches vertically in 12-inches horizontally and an existing parapet less than 18-inches in height – Except at a camelback shotgun
- A roof addition greater than one story and/or 12’-0” in height or with a roof form other than a flat or low-sloped roof – Excluding an elevator override

additions to historic buildings shall be located to the rear of the structure or the most inconspicuous side of the building. Additions to roofs shall not be visible from the front elevation.

To be added to VCC Design Guidelines 14:17 Design Standards for Rooftop Addition Review (at left):

- **Activated, open-air rooftop additions shall comply with all Rooftop Addition requirements and recommendations shown on VCC Design Guidelines.**
- **No activated, open-air rooftop addition shall be allowed such that accessory structures (stair, elevator, etc.) would exceed the max. height allowable as per the CZO.**



## ROOFTOP ADDITIONS

As most buildings in the Vieux Carré were built at or close to their property lines, it is often not possible to expand a building's footprint. As a result, some property owners hope to add new space on top of an existing building. The two types of additions on top of an existing building are a camelback and a rooftop addition.

- **Camelback:** The camelback is a traditional addition design for a wood frame shotgun or shotgun double (Refer to *Shotgun, Guidelines for Architectural Building Types & Architectural Styles*, page 02-8) – A traditionally designed camelback proposed for a wood-framed shotgun building is not subject to the more rigorous submittal requirements for a rooftop addition; however, it must be compatible with the existing building (Refer to *Principles for Additions*, page 14-11)



A camelback addition typically is found on a wood-framed shotgun single or double.

- **Rooftop Addition:** A rooftop addition is defined as any new construction on top of an existing rooftop for occupied or unoccupied space, and includes a full-floor addition

A rooftop addition is a way to increase the square footage and floor area ratio of an existing masonry building in the Vieux Carré. This method of adding space to a building predominantly occurs between Bourbon Street and the river where conversion of a commercial or warehouse building to residential use is common. In considering a proposed rooftop addition, the VCC considers the historic integrity of the original structure and surrounding area. It is equally important that an addition, when appropriate and allowed, contribute to the character of the area and respect the design and context of the building and its streetscape.



This rooftop addition is set back from the building corner on both sides and has a flat roof without permanent projecting overhangs. The metal railing is nominally visible to pedestrians.

When reviewing a proposal for a rooftop addition, the VCC evaluates the application on a case by case basis. An approved rooftop addition at one location should not be considered a precedent or construed to mean that a similar proposal for another property will be approved. Factors considered by the VCC in its review include:

- The significance of the building or site as defined by its color rating
- The location of the building and site
- The height of the existing building, the proposed addition and surrounding buildings – It must also meet zoning requirements including height and setback
- The visibility of the proposed addition
- The architectural treatment of the proposed addition and its compatibility with the existing building – it should not be obtrusive or detract from the architecture of the existing building or the surrounding Vieux Carré Historic District, streetscape or adjacent buildings.

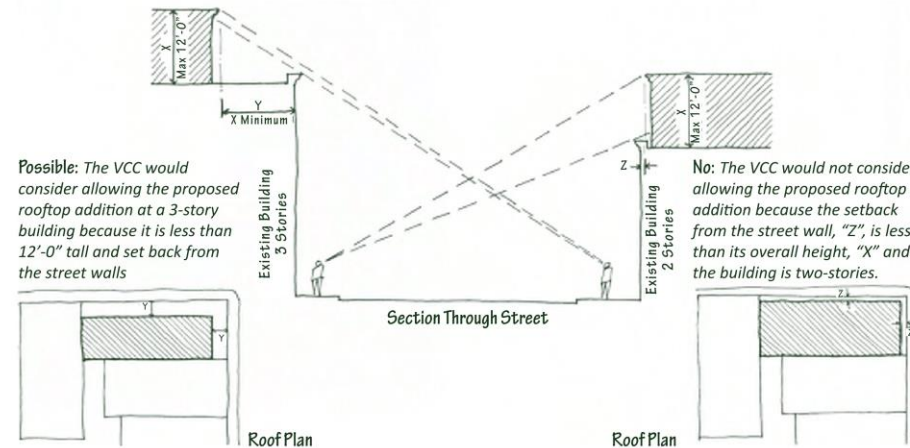
### ROOFTOP ELEMENTS

The VCC has jurisdiction over roof-mounted equipment and rooftop decks, including paving and semi-permanent furnishings. (Refer to *Roof Mounted Equipment, Guidelines for Roofing*, page 04-11, and *Outdoor Furnishings, Guidelines for Site Elements & Courtyards*, page 10-9.)

### ROOFTOP ADDITIONS SUBMITTAL REQUIREMENTS

In addition to the submission requirements identified in the *New Construction & Addition Review* (page 14-2), the following information is required for each application for a rooftop addition:

- Dimensioned elevations and plans showing the proposed rooftop addition on the existing building
- Sight-line studies, either photographs or drawings, illustrating the massing of the proposed addition and visibility in all directions, and showing not only the impact on the subject building, but also on the adjacent buildings and the Vieux Carré as a whole
- A scaled massing model of the addition on the existing building that includes adjacent buildings
- A section through the building to the boundary of the property on the other side of the street



Possible: The VCC would consider allowing the proposed rooftop addition at a 3-story building because it is less than 12'-0" tall and set back from the street walls

No: The VCC would not consider allowing the proposed rooftop addition because the setback from the street wall, "Z", is less than its overall height, "X" and the building is two-stories.

A rooftop addition must be set back from the street walls of the existing building by a minimum of the proposed height of the addition, (i.e. 12'-0" high rooftop addition must be set back from the street wall a minimum of 12'-0".) The VCC discourages a rooftop addition on a building less than three full stories in height because of the increased likelihood of visibility.

### DESIGN STANDARDS FOR ROOFTOP ADDITION REVIEW

If allowable by the Comprehensive Zoning Ordinance (CZO) and appropriate at a particular site, the VCC uses specific design standards to review a rooftop addition proposal. In its review of a proposed rooftop amenity or addition, the VCC:

- Strives to make a rooftop addition, including an elevator and mechanical equipment, as well as furnishings as unobtrusive and minimally visible as possible
- Limits the overall height of a rooftop addition, including framing and parapet, to 12'-0" above the lowest surface of the existing roof, except for code-required components, such as an elevator override
- Requires that a rooftop addition be set back from the street façade(s) of the building by a minimum of the overall height of the proposed addition (i.e., a 12'-0" high rooftop addition should be set back from the street wall a minimum of 12'-0")
- Requires that a rooftop addition incorporate elevator, mechanical and HVAC equipment within the single story and allowable addition footprint
- Requires that all furnishings including railings, screens, planters, plants and permanent rooftop furnishings taller than the closest parapet be setback from the street wall(s) a minimum of the height of the proposed furnishing from the lowest roof surface
- Considers a proposal for a rooftop addition that does not conform to these *Guidelines* at a Green, Pink or Yellow rated building under limited circumstances; however, excellence in design and the architectural character of the existing building are strong factors in the review

### Rooftop Addition Review

Construct a rooftop addition

1 2 3

Commission

### ROOFTOP ADDITIONS

#### THE VCC REQUIRES:

- Compliance with the Comprehensive Zoning Ordinance (CZO) – A rooftop addition shall not require a variance for height limit or floor area ratios
- Review of all exterior items located on a roof surface including paving, railings and built-in furnishings

#### THE VCC DOES NOT RECOMMEND:

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- A roof addition greater than one story and/or 12'-0" in height or with a roof form other than a flat or low-sloped roof – Excluding an elevator override





A first floor remnant of the old St. Louis Hotel remains to the right. In 1960, a larger hotel was constructed, incorporating the remnant, with compatible arched ground floor openings and storefront cornice.

## COMPATIBLE DESIGN PRINCIPLES

The development of the Vieux Carré followed its own pattern and rhythm. As the heart of New Orleans, the heritage and culture of the French Quarter's early inhabitants are expressed through the architectural and built environment. To continue the District's evolution, the VCC encourages design excellence and creative design solutions for a new construction and/or an addition that are sensitive to the character of their historic surroundings. Generally, there are three appropriate design approaches in the Vieux Carré:

- **Reconstruction:** A design that faithfully duplicates details and materials based upon clear documentary evidence
- **Traditional:** A design that could have been constructed on a property for which there is insufficient evidence
- **Present Day:** A contemporary design compatible within the context of the property and neighboring sites

The approach, style and type of compatible new construction or an addition will vary at each site depending on the specific context. The approach for an addition or new secondary building is guided by the architectural and historical importance of the property as identified by its color rating. Recognizing that what might be appropriate at one property is not appropriate at another, the VCC does not mandate specific design "solutions" for new construction or an addition. However, when determining the appropriateness of a new construction or an addition, the VCC is guided by *The Secretary of the Interior's Standards* and the general design principles below.

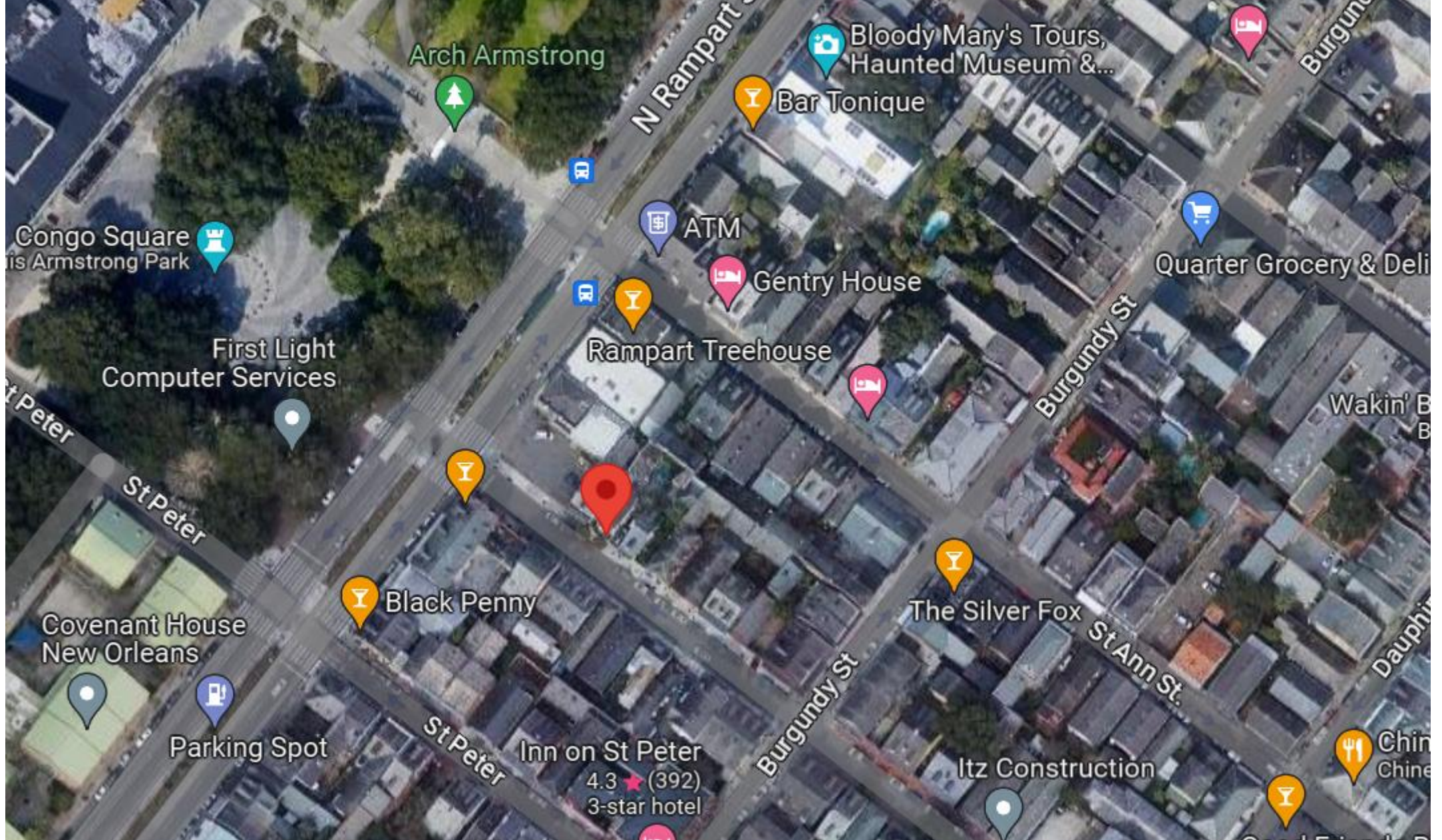
DESIGN PRINCIPLES	NEW CONSTRUCTION & ADDITIONS
<b>Scale: Height &amp; Width</b>	Proportions and size of the new building/addition compared with neighboring buildings/existing building
<b>Building Form &amp; Massing</b>	The three-dimensional relationship and configuration of the new building/addition footprint, its walls and roof compared with neighboring buildings/existing building
<b>Setback</b>	Distance of the new building/addition to the street or property line when compared with other buildings on the block/existing building
<b>Site Coverage</b>	Percentage of the site that is covered by a building/addition, when compared to nearby sites of compatible size
<b>Orientation</b>	Location of the front of the new building/addition and principal entrance relative to other buildings on the block
<b>Alignment, Rhythm &amp; Spacing</b>	Effect the new building/addition will have on the existing patterns on its block
<b>Architectural Elements &amp; Projections</b>	Size, shape, proportions and location of each entrance, balcony, gallery, porch, roof overhang, chimney, dormer, parapet and other elements that contribute to the building's overall shape and silhouette relative to neighboring buildings
<b>Façade Proportions: Window &amp; Door Patterns</b>	Relationship of the size, shape and location of the new building/addition façade and building elements to each other, as well as when compared to other buildings on the property, block/existing building
<b>Trim &amp; Detail</b>	Mouldings, decorative elements and features of a building that are secondary to major surfaces such as walls and a roof and how they relate to the neighboring buildings/existing building
<b>Materials</b>	Products with which an addition or new building is composed or constructed and how these relate to neighboring buildings/existing building

14-4 Vieux Carré Commission – Guidelines for New Construction, Additions & Demolition





1020 Orleans



1020 Orleans

Vieux Carre Commission

February 16, 2022







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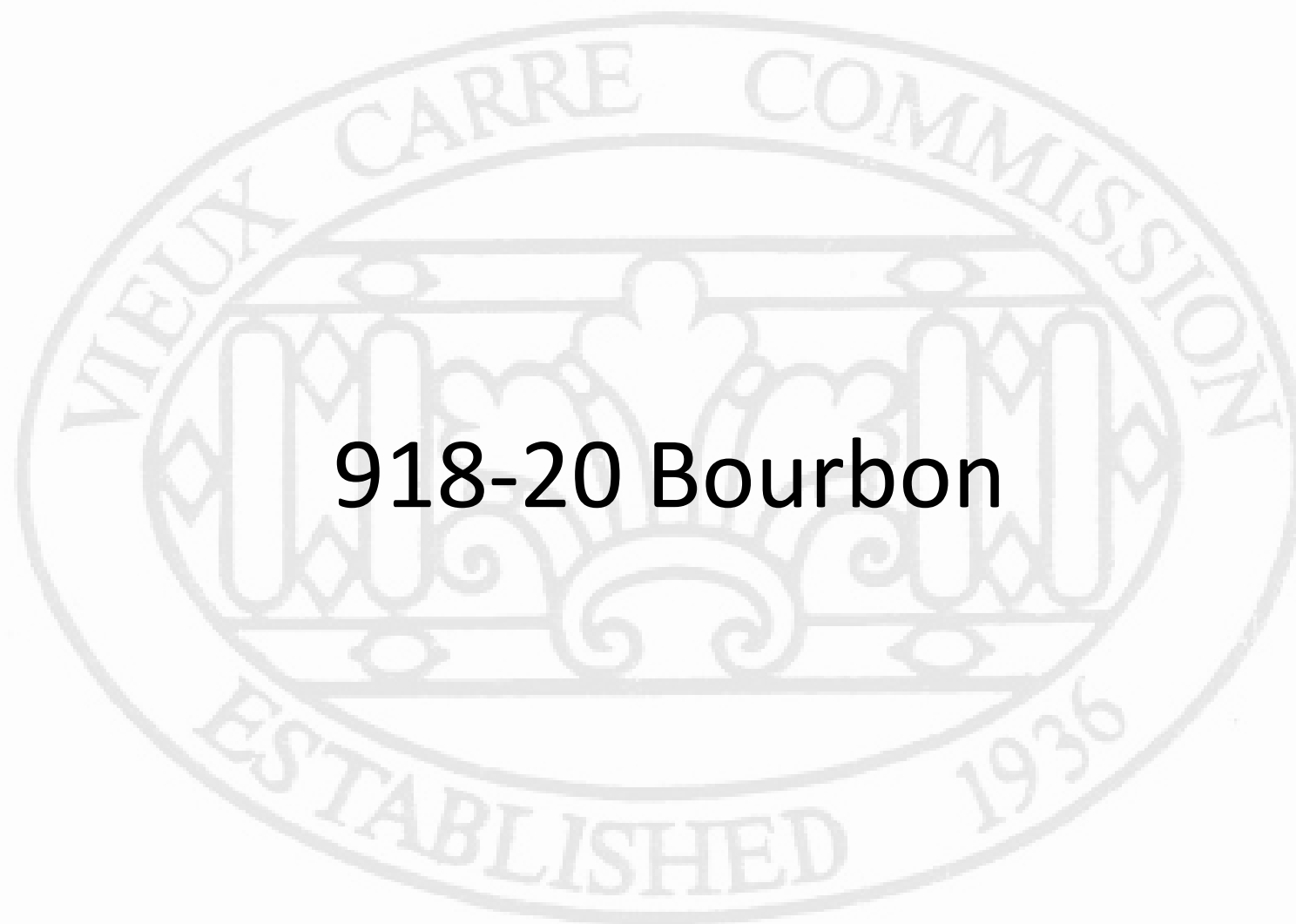
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Tankless water heater (Ru 199e) location, will be at or above BFE and will not be seen from any public right of way. The unit will not be mounted any higher than the fence height.







**918-20 Bourbon**



918-20 Bourbon

Vieux Carre Commission

February 16, 2022







918-20 Bourbon

Vieux Carre Commission

February 16, 2022





918-20 Bourbon

Vieux Carre Commission

February 16, 2022







918-20 Bourbon

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February 16, 2022



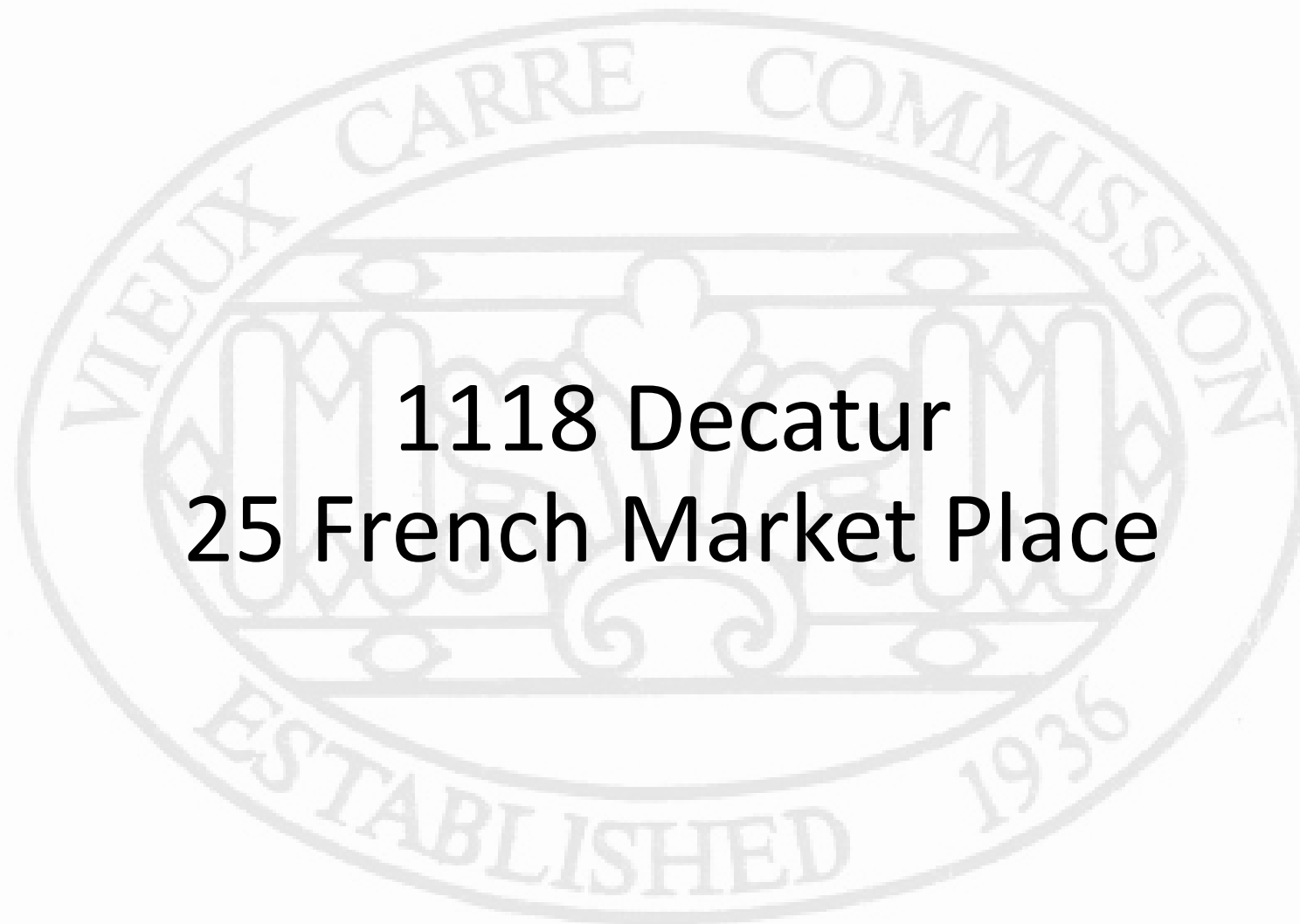
918-20 Bourbon

Vieux Carre Commission

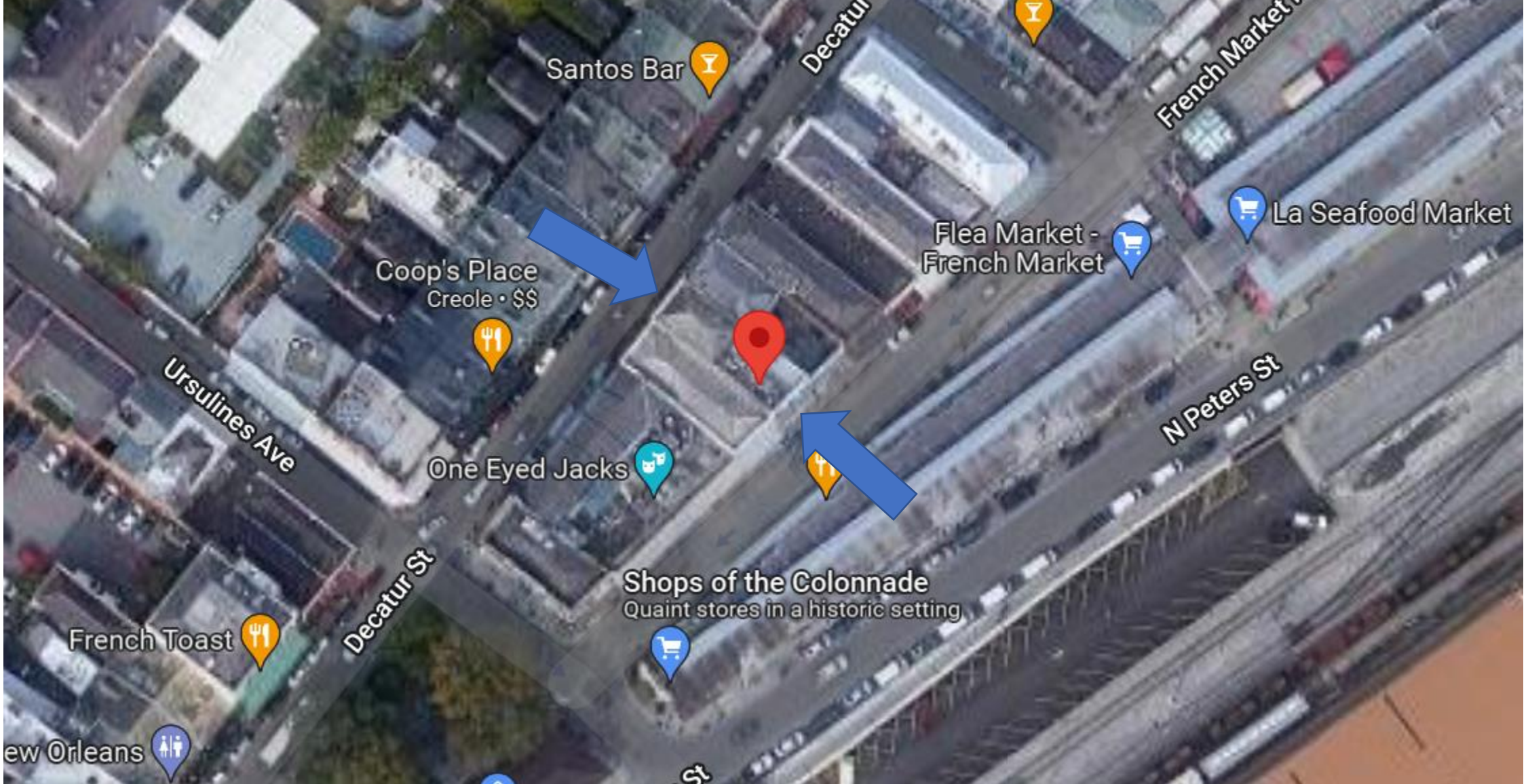
February 16, 2022







**1118 Decatur**  
**25 French Market Place**



1128 Decatur and 25 French Market Place



1118 Decatur, 1945

Vieux Carre Commission



February 16, 2022





1118 Decatur, 1964

Vieux Carre Commission

February 16, 2022







1118 Decatur

Vieux Carre Commission

February 16, 2022





1118 Decatur

Vieux Carre Commission

10 13 2022

February 16, 2022







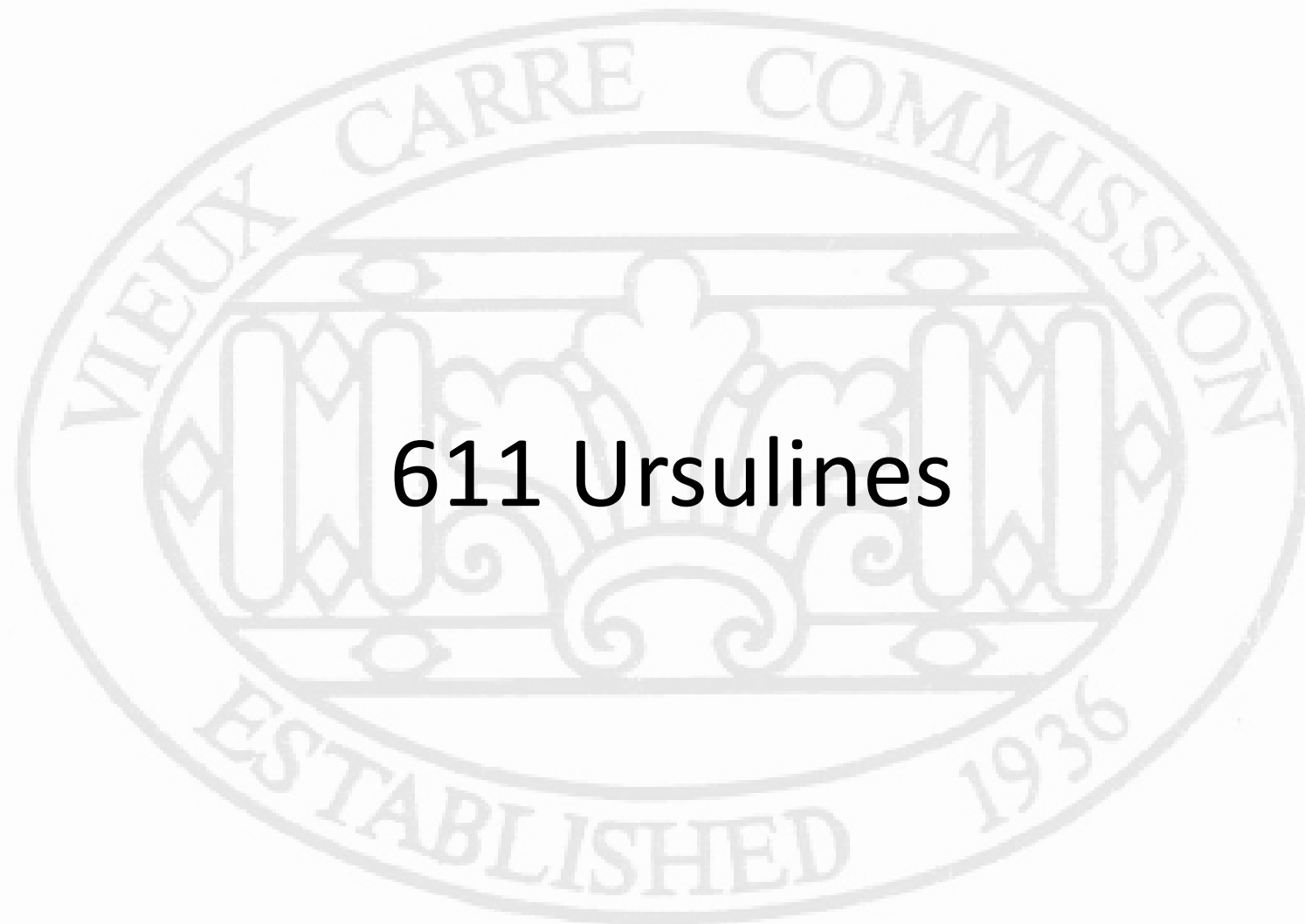
1118 Decatur

Vieux Carre Commission

10 13 2022

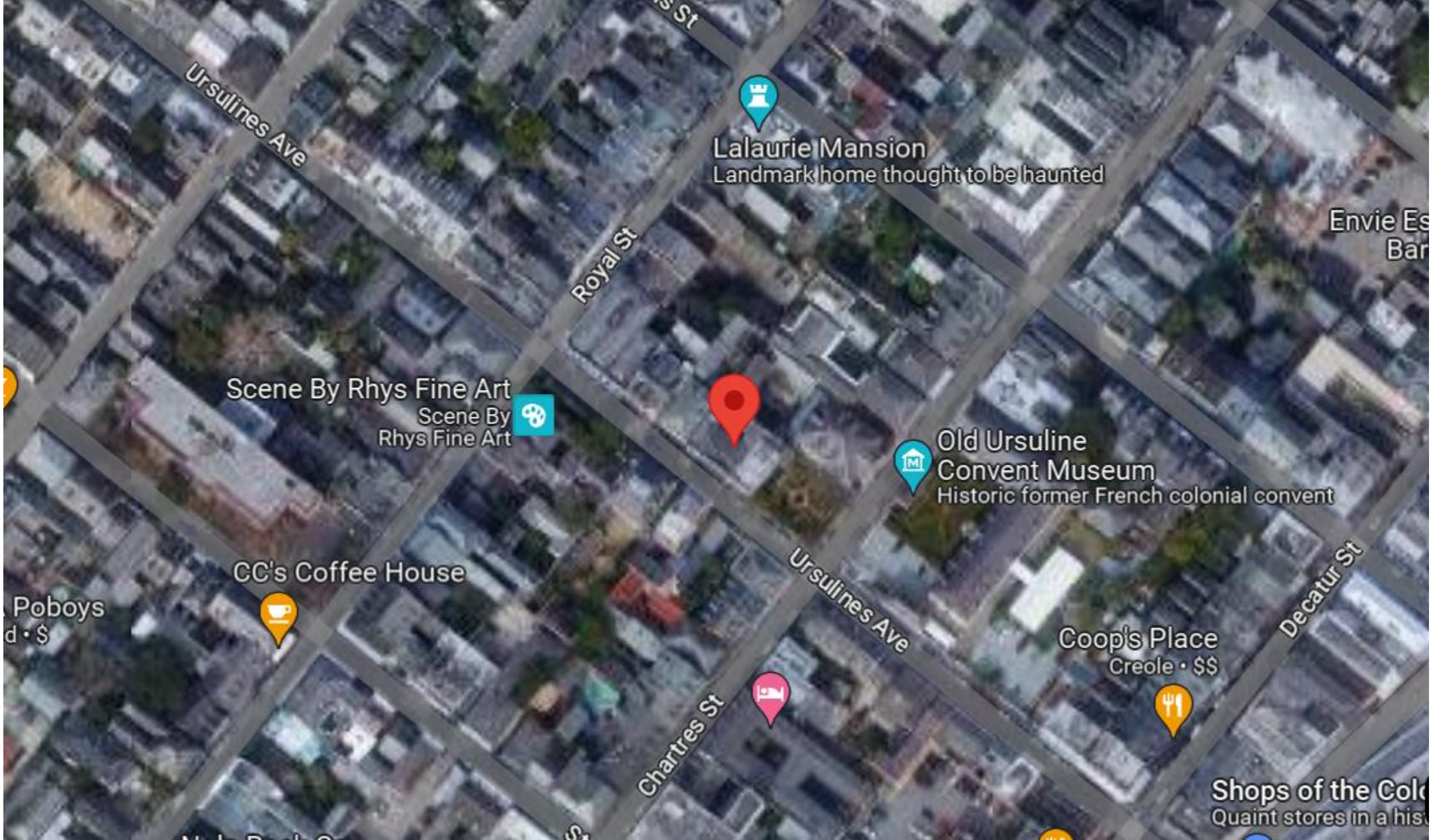
February 16, 2022





**611 Ursulines**





## 611 Ursulines



611 Ursulines

Vieux Carre Commission

February 16, 2022







611 Ursulines

Vieux Carre Commission

February 16, 2022



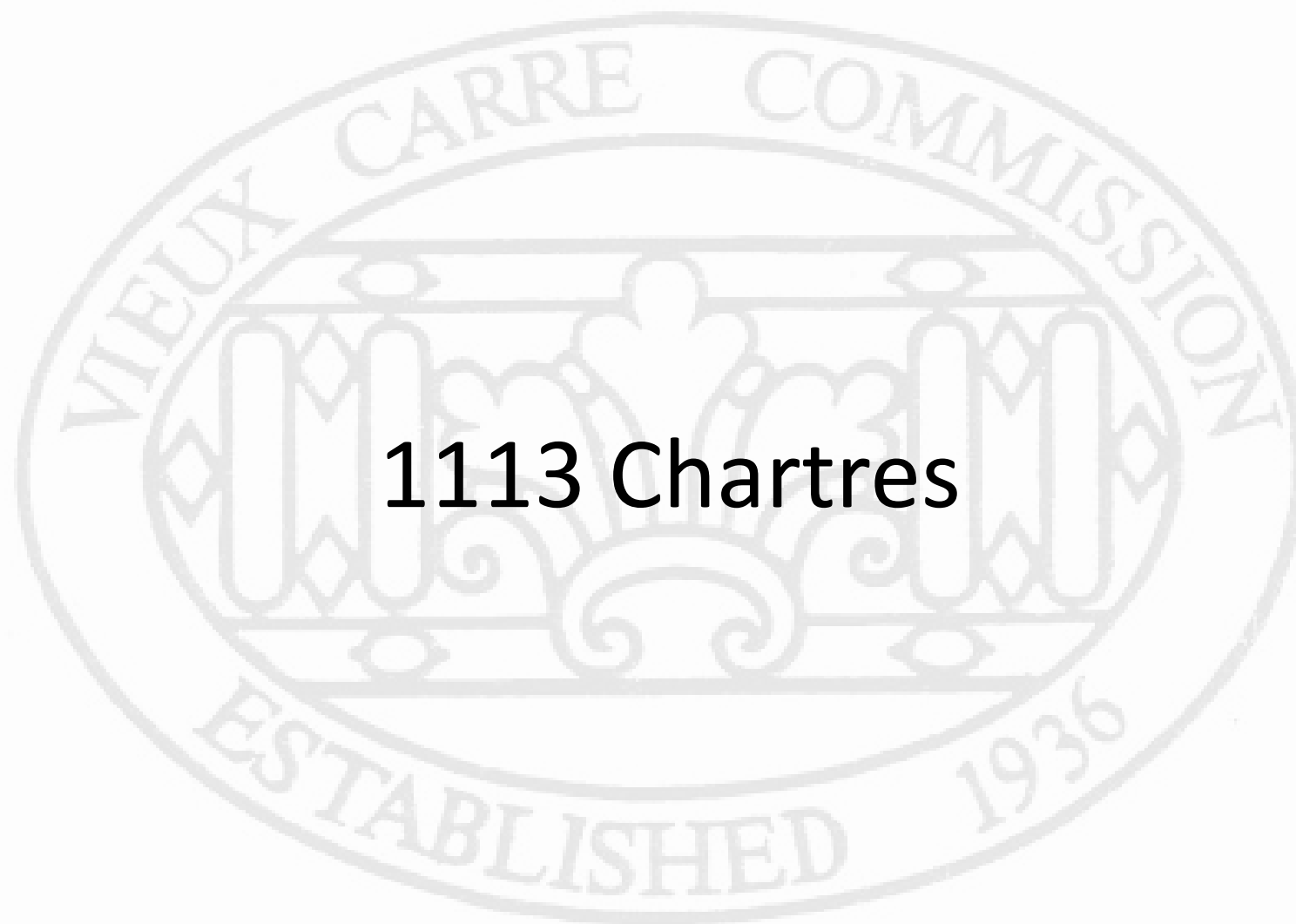
611 Ursulines

Vieux Carre Commission

February 16, 2022

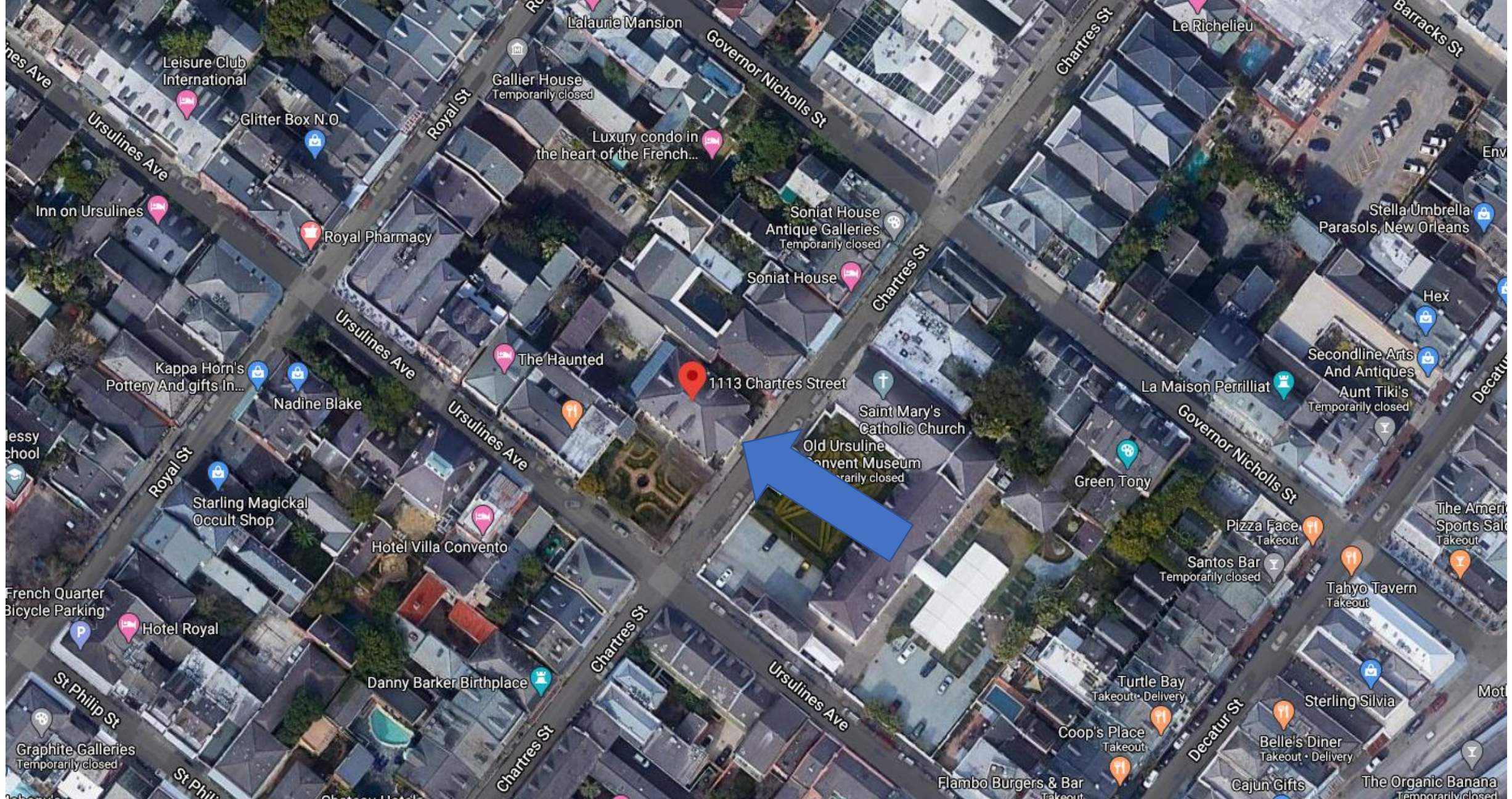






**1113 Chartres**





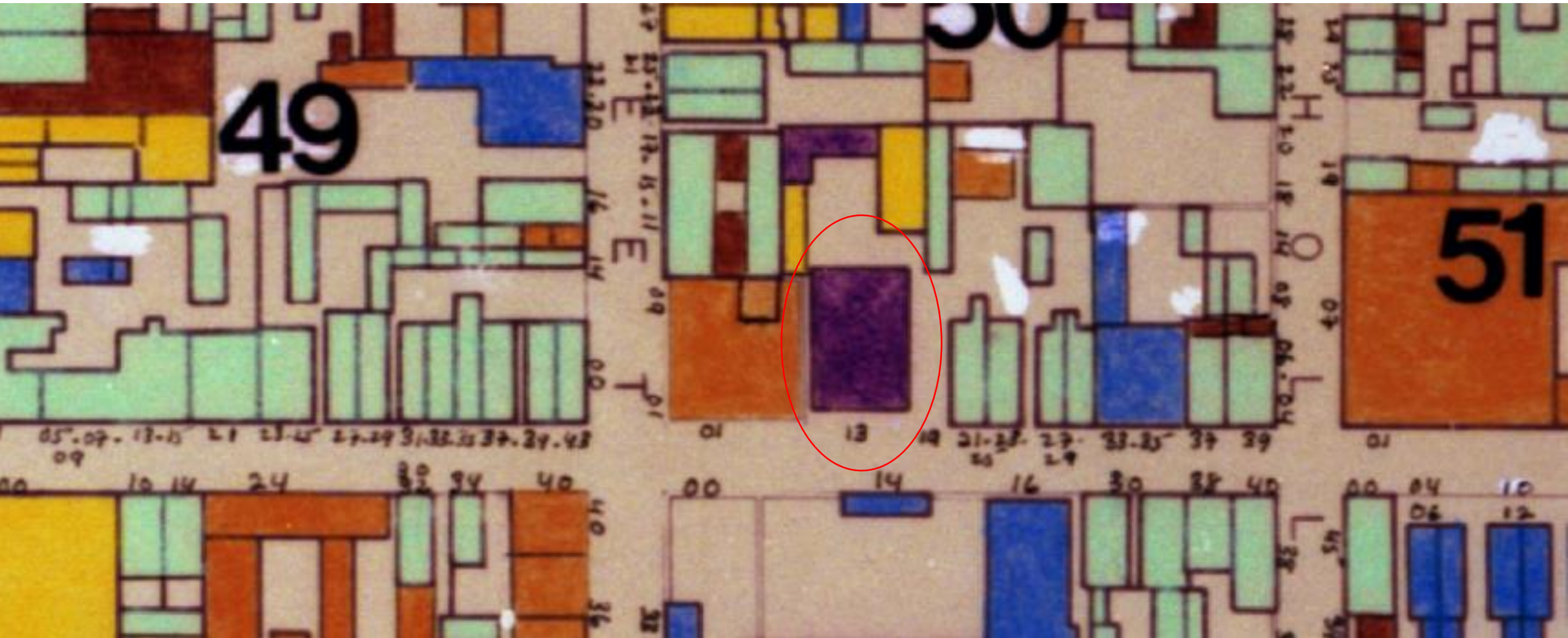
1113 Chartres

Vieux Carre Commission

February 16, 2022







1113 Chartres

Vieux Carre Commission

February 16, 2022





1113 Chartres, 1900

Vieux Carre Commission

February 16, 2022

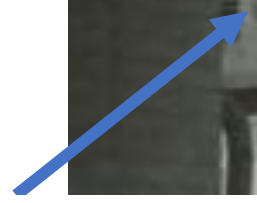




Paneled shutters  
on front elevation



Louvered shutters on  
side elevation



1113 Chartres, 1900

Vieux Carre Commission

February 16, 2022





1113 Chartres, ca. 1920s

Vieux Carre Commission

February 16, 2022





U.S. DEPARTMENT OF THE INTERIOR  
OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS  
BRANCH OF PLANS AND DESIGN

BEAUREGARD HOUSE

NAME OF STRUCTURE

1113 CHARTRES ST.  
NEW ORLEANS, LOUISIANA



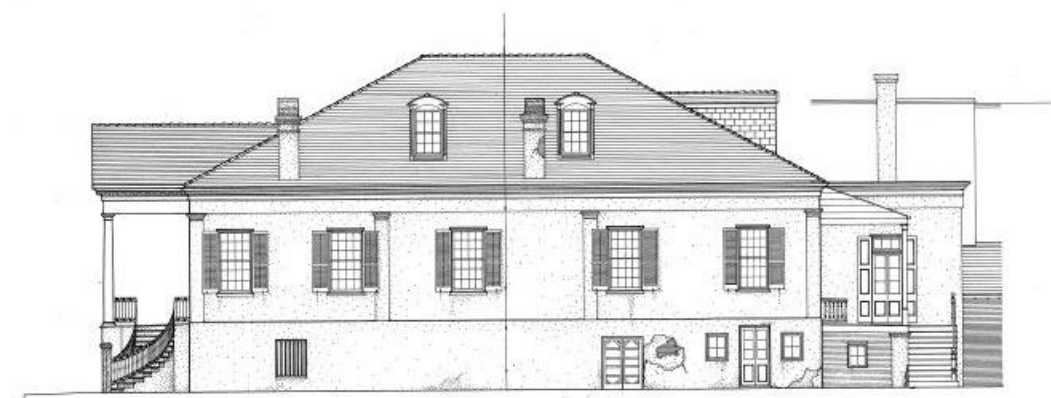
CONTRACT NO.  
1871  
JAN. 27, 1934

HISTORIC AMERICAN  
BUILDINGS SURVEY  
SHEET 4 OF 16 SHEETS

INDEX NO.

One time Residence of  
• GEN. P. G. T. BEAUREGARD •  
- BUILT IN 1826

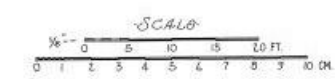
*There is evidence of three colors on the Stucco. First a deep Pink or Red, then an Ochre and now a Gray. The Fence Posts and Steps are a dark Gray Granite. The Stucco is lined off to represent Stone joints.*



N · E · SIDE ELEVATION



S · E ·  
FRONT ELEVATION  
- CHARTRES STREET ELEVATION -  
SCALE - 1/8" = 1'-0"



DOUGLASS V. FREDET, Dtl.

1113 Chartres, 1934 HABS  
Vieux Carre Commission

February 16, 2022





N · E · SIDE ELEVATION

1113 Chartres, 1934 HABS

Vieux Carre Commission

February 16, 2022







1113 Chartres

Vieux Carre Commission

04 16 2020

February 16, 2022







1113 Chartres  
Vieux Carre C

10 14 2021







**Koch and Wilson Architects**  
 A Professional Corporation (504) 581-7023  
 1100 Jackson Avenue, New Orleans, LA 70130  
 architects@kochwilson.com

Project: REPAIRS TO BRICK HOUSE 1125 CHARLES ST

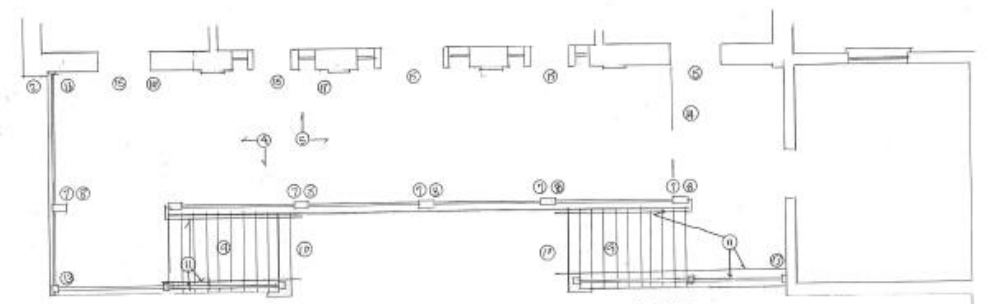
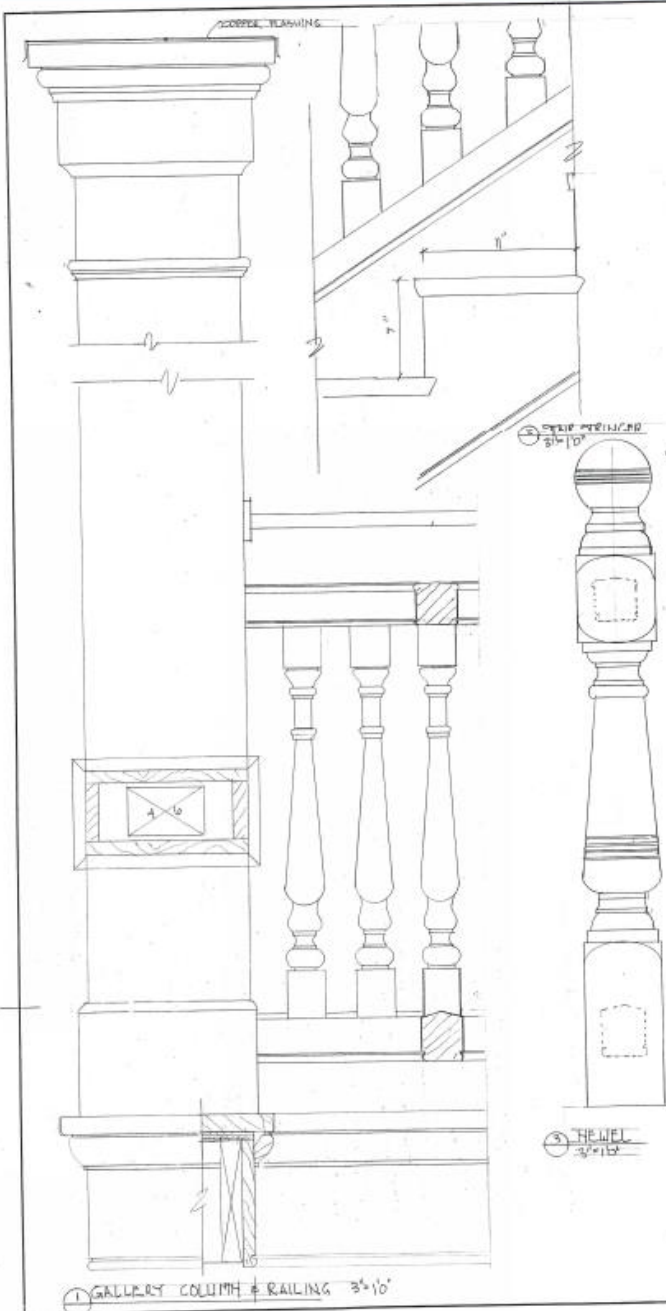
Phase: 1000

Date: 15 JUNE 2023

Revision:

Drawn: [ ]

Check: [ ]



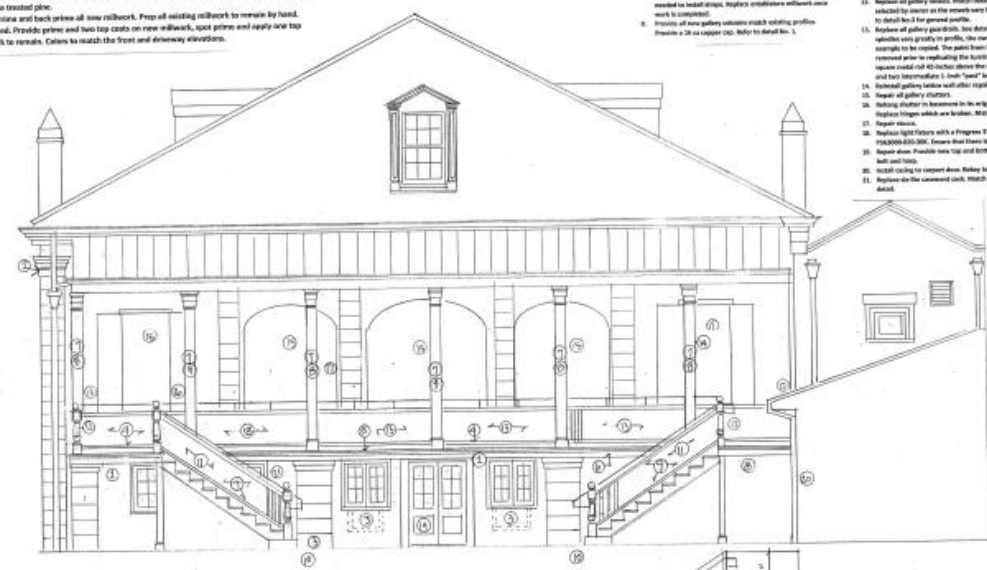
3 PLAN 1/4" = 1'-0"

**General Notes:**

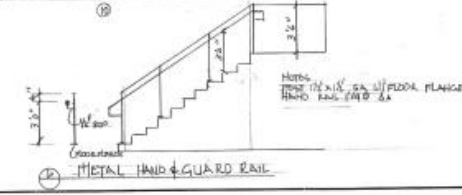
1. Remove abandoned electrical, water, waste and gas lines. Maintain safety lines.
2. Remove gypsum board ceiling in basement rooms under gallery. Disconnect light fixtures and create detentions excavated to the ceiling or in ceiling of the rooms below the gallery if they affect the work to be performed. Reinstall after new deck is installed.
3. Protect gallery light fixtures.
4. Remove gallery lattice and salvage for reinstallation. Repair as needed.
5. Remove existing columns, guards, concrete hand rails, decking, fascia and stairs. Shore gallery roof.
6. Replacement decking and railwork shall be red granite or approved equal. Shop drawings are required. Rough framing shall be pressure treated pine.
7. Patch entire exterior. Prime and back prime all new railwork. Fill all existing railwork to remain by hand. No rotary sanders allowed. Provide prime and two top coats on new railwork, spot prime and apply one top coat on existing railwork to remain. Color to match the front and driveway elevations.

**Specific Notes:**

1. Remove abandoned gas line behind gallery back, routing to appropriate and on the face sides of the dependencies.
2. Replace abandoned electrical. Match adjacent upgrades.
3. Repair (finish in base of "tile") concrete base for rear AC unit. Remove and remove wood with brick. Match existing brick size and bonding.
4. Repair/replace deteriorated gallery framing with pressure treated pine. Match existing in color.
5. Provide new gallery decking. Provide full brick exterior treated plywood, topped with a self-adhering, self-healing membrane and 3/4" by 1/2" inch thick copper and green galvanized decking.
6. Provide new gallery fascia and end framing per detail No. 1. Use fascia to its original location against the masonry after job site is reworked. Match best woodwork on both parts.
7. Replace all exterior lateral supports with four inch by six inch pressure treated post, strapped at top and bottom with 1.5 x 10 gal. steel plate to post with 1/2 inch by 1/2 inch steel plate to bottom and plywood deck. Remove fascia of conditions on existing to match steps. Replace masonry without new work to existing.
8. Provide all new gallery columns match existing profiles. Provide a 2" x 2" copper cap. Refer to detail No. 1.
9. Match both ends. Provide rough framing, structural post and beam masonry. Match existing framing. Steel reinforcement for concrete and brick above. Refer to detail No. 1.
10. Replace column support for basement loading support to match the existing loads with the gallery back on the exterior side. Match steel concrete masonry. Prepare an enclosure for steel end of stairs. Refer to detail No. 1 for details.
11. Provide the grade of the top of the bottom of the stairs. Reproduce the stone below to maintain the existing condition.
12. Replace stone wood handrail and newel. Match existing details. Provide new metal handrail and guard per detail No. 6 on the exterior face of stairs and one end of 2.0 inch diameter galvanized handrail with full brass wall bracket for pipe will replace the brass face. Extend all metal with pipe base into 12 inches and on the top return to the brick column. Provide shop drawings.
13. Replace all gallery masonry. Match details of existing used selected by owner as the masonry to be used and detail. Refer to detail No. 3 for general profile.
14. Remove all gallery postwork. See details. Once the existing masonry is in place in profile, the owner will select the masonry to be replaced. The post from the masonry shall be removed prior to replacing the framing. Provide a 1 inch square steel rod 40 inches above the deck with one through and two intermediate 1 inch "tee" between columns.
15. Reinstall gallery lattice wall after repair at original location.
16. Repair all gallery masonry.
17. Reinstall shutter in basement to its original gallery location. Repair hinges with new bracket. Match existing hinges.
18. Repair masonry.
19. Replace light fixture with a Progress 1" wall mt. diameter stainless steel. Remove brass to expose to the light.
20. Repair door. Provide new top and bottom lock. Remove side lock and hinge.
21. Install ceiling to support door. Back lay to match top.
22. Repaint on the cemented back. Match existing in size and detail.



4 ELEVATION 1/4" = 1'-0"



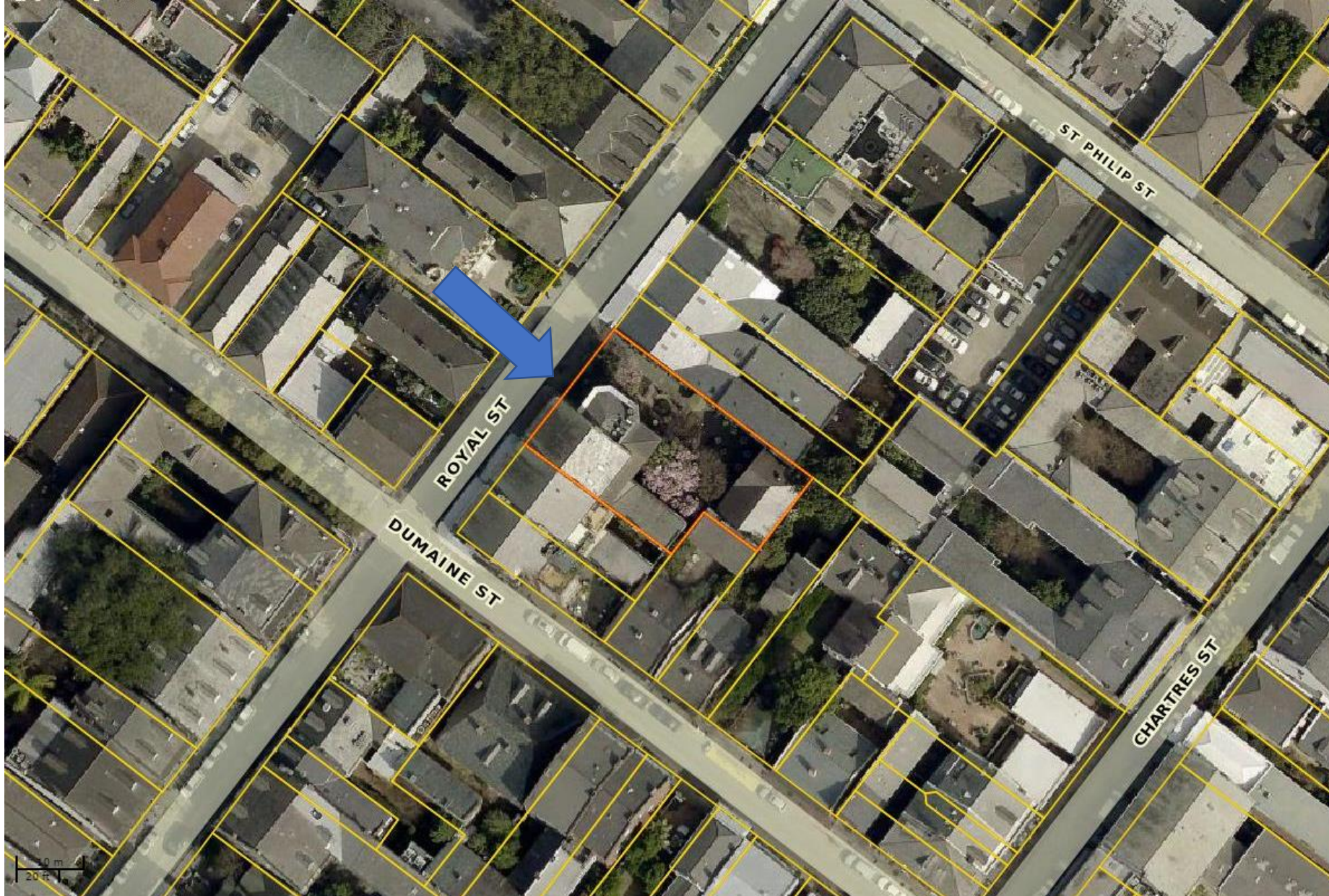


912 Royal









910 Royal

Vieux Carre Commission

February 16, 2022







910 Royal

Vieux Carre Commission

February 16, 2022





910 Royal, 1965

Vieux Carre Commission

February 16, 2022







910 Royal

Vieux Carre Commission

February 16, 2022







910 Royal

Vieux Carre Commission

February 16, 2022







910 Royal

Vieux Carre Commission

01 03 2023

February 16, 2022







910 Royal

Vieux Carre Commission

February 16, 2022







910 Royal

Vieux Carre Commission

04 19 2023

February 16, 2022







910 Royal

Vieux Carre Commission

04 19 2023

February 16, 2022







910 Royal

Vieux Carre Commission

February 16, 2022







910 Royal, 1982

Vieux Carre Commission

February 16, 2022





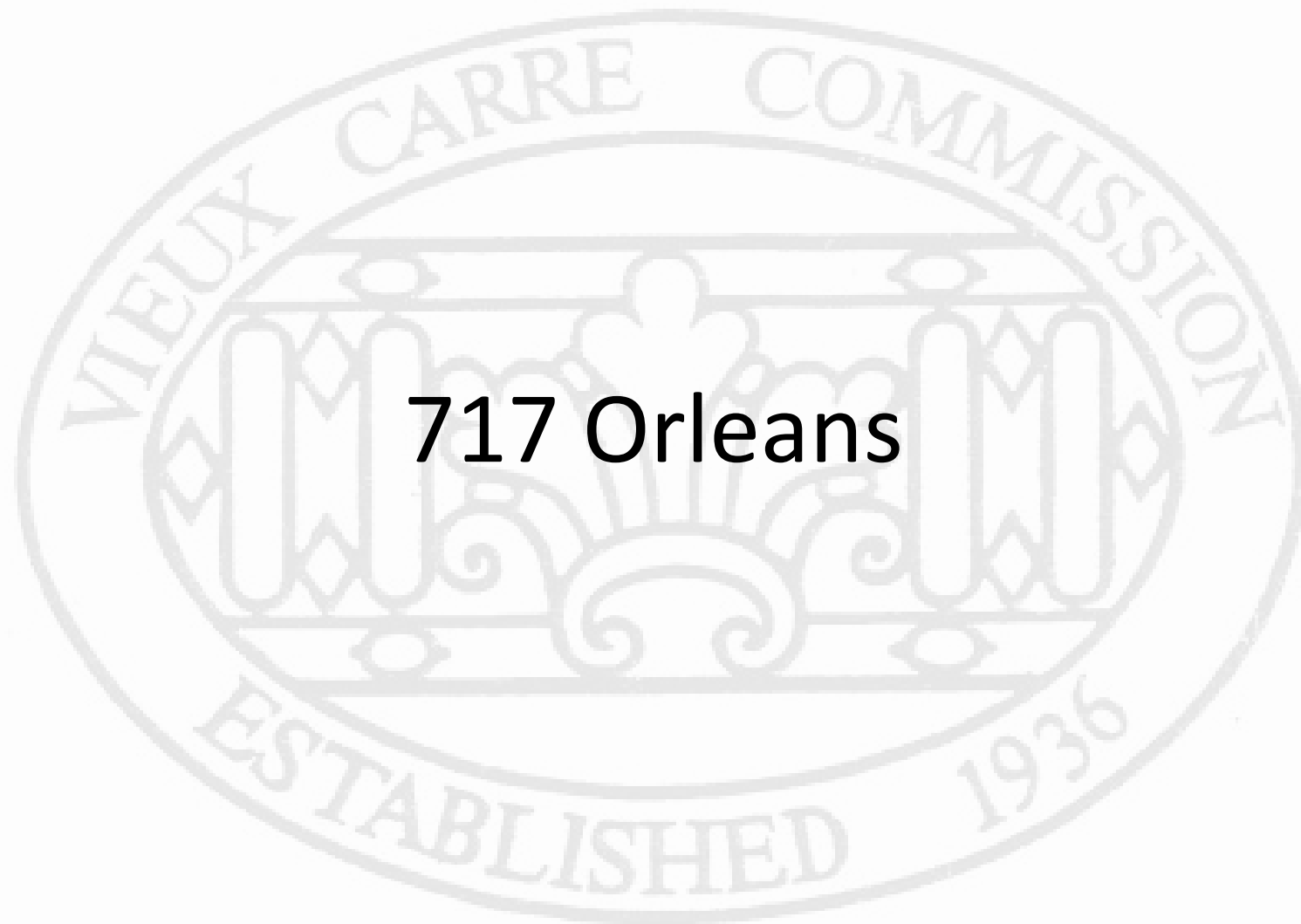


910 Royal, 1983

Vieux Carre Commission

February 16, 2022





717 Orleans









717 Orleans – ca. 1900

Vieux Carre Commission

February 16, 2022







717 Orleans – ca. 1940s

Vieux Carre Commission

February 16, 2022





717 Orleans – 1964

Vieux Carre Commission

February 16, 2022







717 Orleans – 1964

Vieux Carre Commission

February 16, 2022





717 Orleans

Vieux Carre Commission

05 19 2022

February 16, 2022







717 Orleans

Vieux Carre Commission

06 01 2021

February 16, 2022







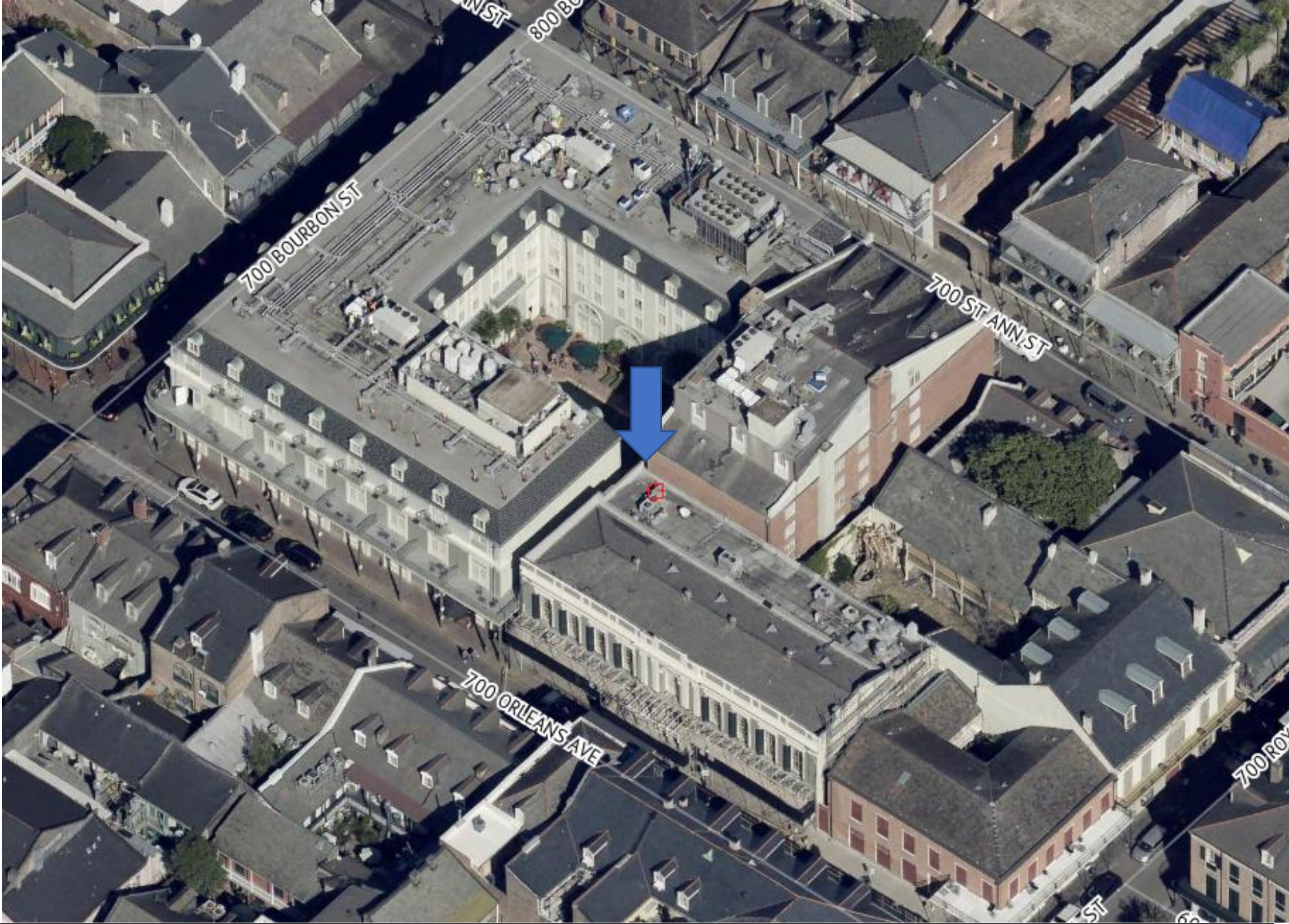
717 Orleans

Vieux Carre Commission

February 16, 2022







717 Orleans

Vieux Carre Commission

February 16, 2022







717 Orleans

Vieux Carre Commission

February 16, 2022





# BOURBON ORLEANS HOTEL

RENOVATION - ORLEANS FACADE ALTERATIONS (VCC 02)

717 ORLEANS AVE.  
NEW ORLEANS, LA 70116

**OWNER**

DRH Bourbon Owner, LLC  
2 Bethesda Metro Center, Suite 1400  
Bethesda, MD 20814  
(202) 930-9956  
Contact: Debbie Dupar  
Email: debbie.dupar@drhc.com

**ARCHITECT**

Trapolin+Peer | Architects, APC  
850 Tchoupitoulas Street  
New Orleans, LA 70130  
(504) 523-2772  
Contact: Blake Kiddar  
Email: bkiddar@trapolinpeer.com

**STRUCTURAL ENGINEER (BALCONY)**

John Bose  
2113 Octavia St  
New Orleans, LA 70115  
(504) 865-9941  
Contact: John Bose  
Email: office@johnbose.com

**MEP ENGINEER**

IMC Consulting Engineers  
2714 Independence St.  
Metairie, LA 70006  
(504) 831-0119  
Contact: Richard Nichols  
Email: richols@imcconsultingengineers.com

**STRUCTURAL ENGINEER (ST ANNE ALLEY)**

Batture, LLC  
5115 Frenet St.  
New Orleans, LA  
(504) 533-8644  
Contact: Herman Alb  
Email: hab@batture-eng.com



TRAPOLIN+PEER  
ARCHITECTS  
COURTYARD  
ALTERATIONS  
**BOURBON ORLEANS HOTEL**  
RENOVATION - ORLEANS FACADE  
ALTERATIONS (VCC 02)  
717 ORLEANS AVE.  
NEW ORLEANS, LA 70116

DRH Bourbon Owner, LLC  
2 Bethesda Metro Center, Suite 1400  
Bethesda, MD 20814  
(202) 930-9956

TRAPOLIN+PEER  
850 TCHOUPILOULAS ST  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

GIBBS CONSTRUCTION  
1726 Canal Blvd  
New Orleans, LA 70123  
gibbs.us/la-number

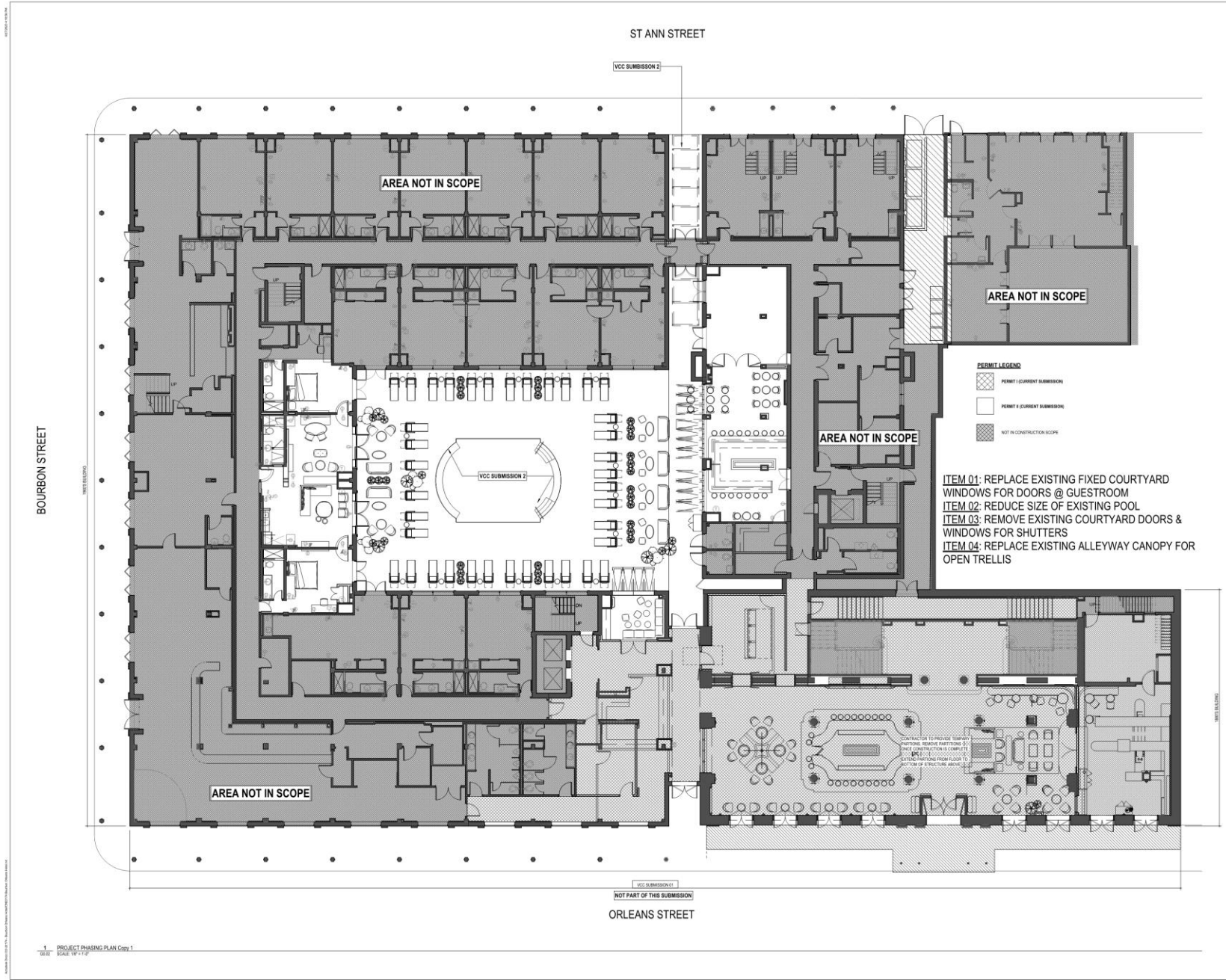
NOT FOR  
CONSTRUCTION

REVISION	DESCRIPTION	DATE

© TRAPOLIN+PEER ARCHITECTS, APC  
PROJECT NUMBER  
CN 22174  
ISSUE DATE  
06/27/2023  
COVER SHEET

T1.01





1 PROJECT PHASING PLAN Copy 1  
SCALE: 1/8" = 1'-0"

VCC SUBMISSION 1  
NOT PART OF THIS SUBMISSION

**PERMIT LEGEND**

- PERMIT 1 CURRENT SUBMISSION
- PERMIT 4 CURRENT SUBMISSION
- NOT IN CONSTRUCTION SCOPE

- ITEM 01: REPLACE EXISTING FIXED COURTYARD WINDOWS FOR DOORS @ GUESTROOM
- ITEM 02: REDUCE SIZE OF EXISTING POOL
- ITEM 03: REMOVE EXISTING COURTYARD DOORS & WINDOWS FOR SHUTTERS
- ITEM 04: REPLACE EXISTING ALLEYWAY CANOPY FOR OPEN TRELLIS

TRAPOLIN PEER ARCHITECTS  
COURTYARD ALTERATIONS  
**BOURBON ORLEANS HOTEL RENOVATION - ORLEANS FACADE ALTERATIONS (VCC 02)**  
NEW ORLEANS, LA 70116

OWNER: DRW Bourbon Owner, LLC  
2 Boulevard Marie Curie, Suite 1000  
Baton Rouge, LA 70814  
USA; 504 9888

ARCHITECT: TRAPOLIN PEER  
850 TOUCHARD ST. SUITE 400  
NEW ORLEANS, LA 70110  
504-524-2772  
www.trapolinpeer.com

CONTRACTOR: GIBBS CONSTRUCTION  
6791 CANAL BLVD  
New Orleans, LA 70112  
(area code) number

NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

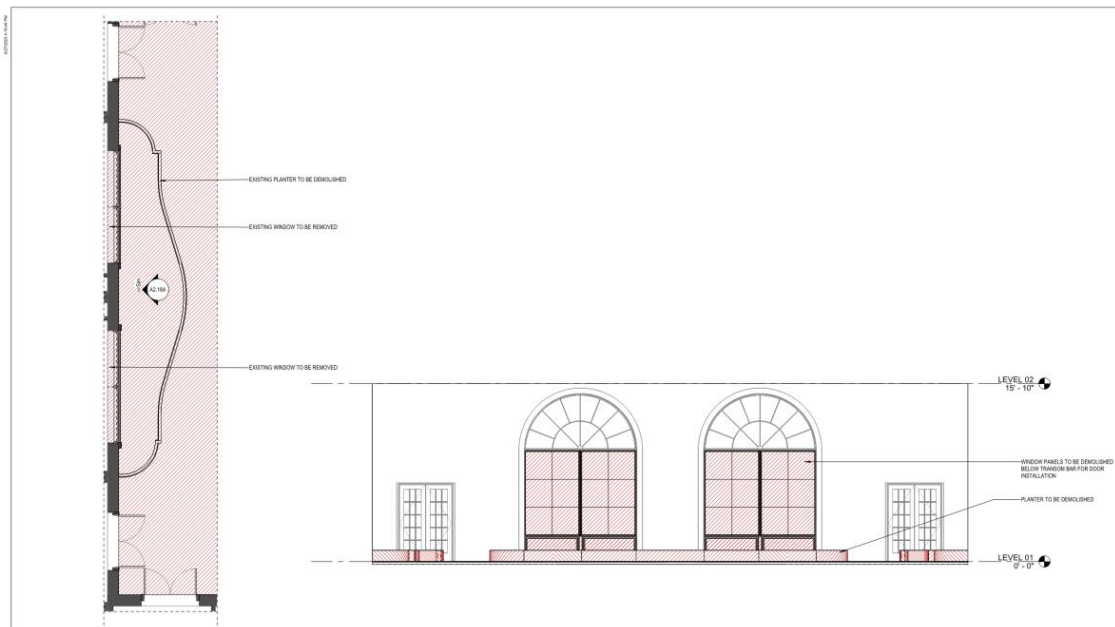
TRAPOLIN PEER ARCHITECTS, INC.  
PROJECT NUMBER:  
CIN 2014  
ISSUE DATE:  
08/12/2022

SITE / PHASING PLAN

G0.02

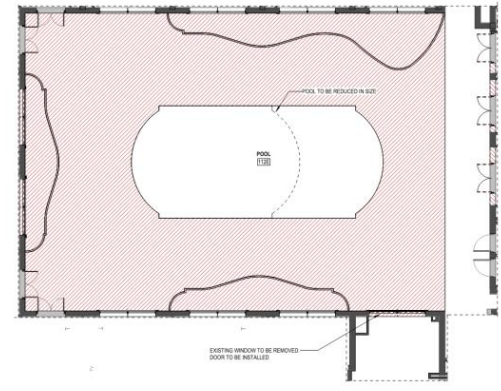






2 ENLARGED FLOOR PLAN - EXISTING GUESTROOM COURTYARD ENTRY  
 A2.18A SCALE 1/4" = 1'-0"

3 ITEM 01 - ELEVATION - EXISTING COURTYARD & POOL WEST  
 A2.18A SCALE 1/4" = 1'-0"

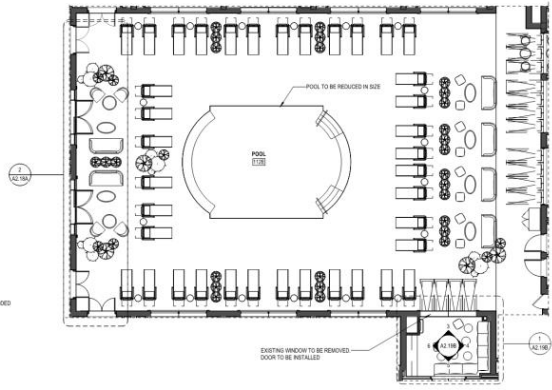


5 ITEM 02 - ENLARGED FLOOR PLAN - EXISTING COURTYARD & POOL  
 A2.18A SCALE 1/4" = 1'-0"



1 ITEM 01 - ENLARGED FLOOR PLAN - GUESTROOM COURTYARD ENTRY  
 A2.18A SCALE 1/4" = 1'-0"

4 ITEM 01 - ELEVATION - PROPOSED COURTYARD & POOL WEST  
 A2.18A SCALE 1/4" = 1'-0"



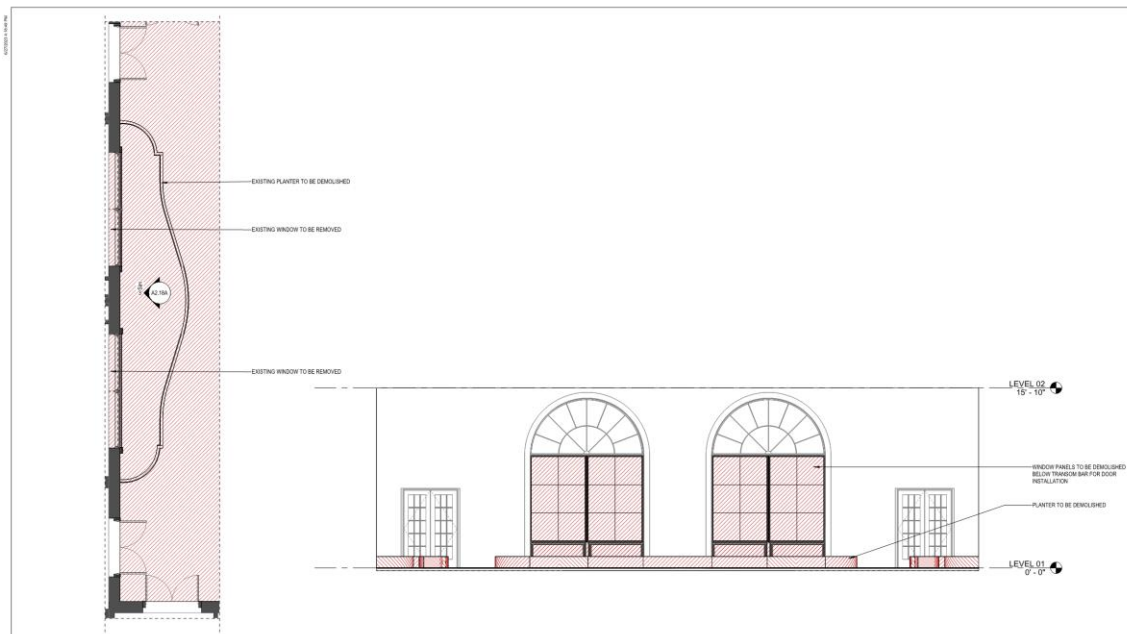
6 ENLARGED FLOOR PLAN - COURTYARD & POOL  
 A2.18A SCALE 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

NO.	DESCRIPTION	DATE

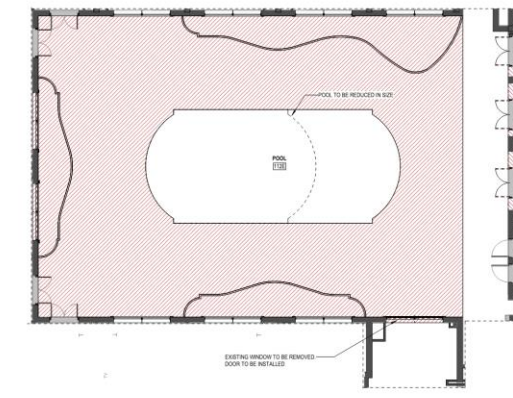


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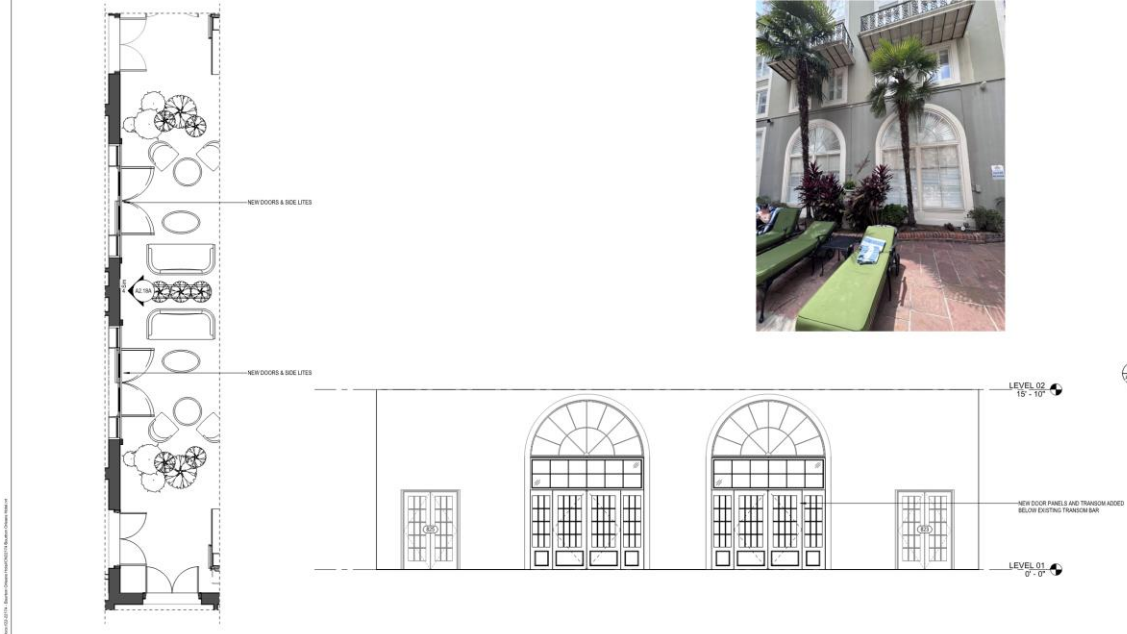


2 ENLARGED FLOOR PLAN - EXISTING GUESTROOM COURTYARD ENTRY  
SCALE 1/4" = 1'-0"

3 ITEM 01 - ELEVATION - EXISTING COURTYARD & POOL WEST  
SCALE 1/4" = 1'-0"

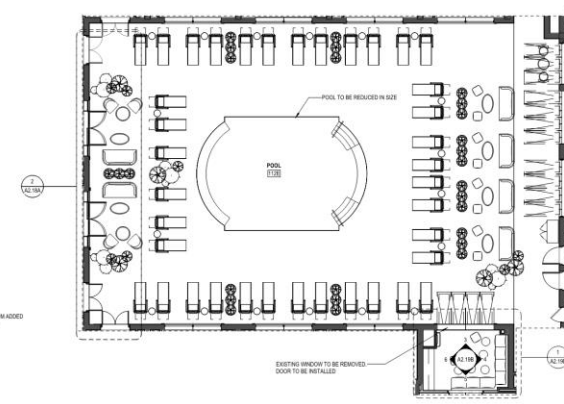
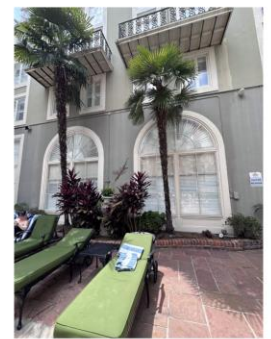


5 ITEM 02 - ENLARGED FLOOR PLAN - EXISTING COURTYARD & POOL  
SCALE 1/4" = 1'-0"



1 ITEM 01 - ENLARGED FLOOR PLAN - GUESTROOM COURTYARD ENTRY  
SCALE 1/4" = 1'-0"

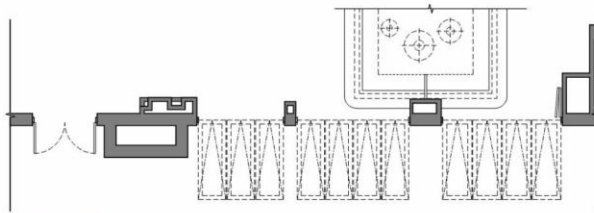
4 ITEM 01 - ELEVATION - PROPOSED COURTYARD & POOL WEST  
SCALE 1/4" = 1'-0"



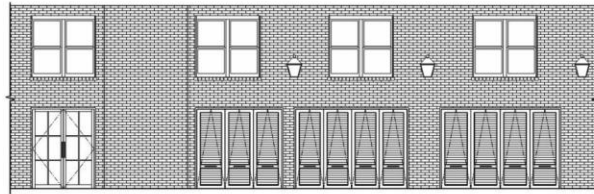
6 ENLARGED FLOOR PLAN - COURTYARD & POOL  
SCALE 1/4" = 1'-0"





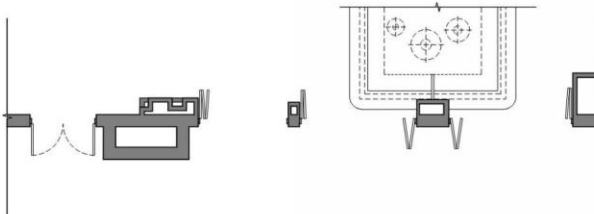


Pool bar plan w/ Bahama shutters

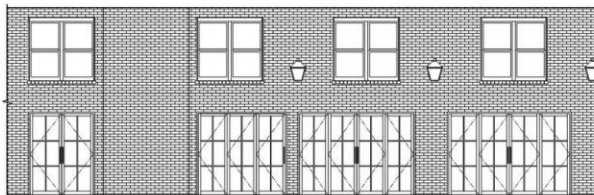


Pool bar elevation w/ Bahama shutters - all louvers  
SE side of Courtyard

ITEM 03

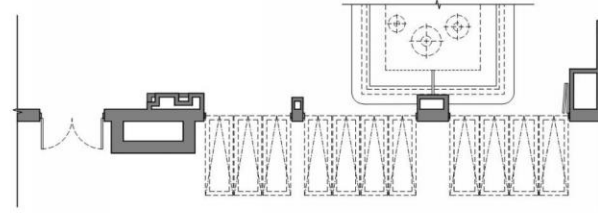


Pool bar plan w/ Bi-fold divided lite wood doors

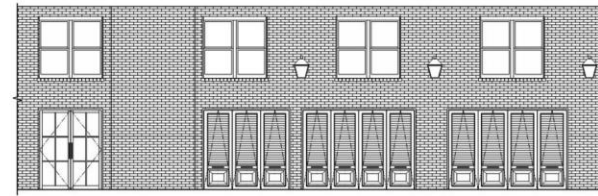


Pool bar elevation w/ Bi-fold divide lite wood doors  
SE side of Courtyard

ITEM 03



Pool bar plan w/ Bahama shutters



Pool bar elevation w/ Bahama shutters - raised panel @ bottom  
SE side of Courtyard

ITEM 03



Painted wood shutters w/ iron hardware

ITEM 03



Hardware style for securing panels from inside

TRAPOLI PEER ARCHITECTS  
COURTYARD ALTERATIONS  
**BOURBON ORLEANS HOTEL RENOVATION - ORLEANS FACADE ALTERATIONS (VCC 02)**  
717 ORLEANS, LA  
NEW ORLEANS, LA 70116

Client: DBA Bourbon Owner, LLC  
2 Berthelette Marie Center, Suite 100  
Baton Rouge, LA 70814  
(225) 930-9990  
Architect: TRAPOLI PEER  
888 FORTCHAMPLAIN ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolipeer.com  
Contractor: GIBBS CONSTRUCTION  
3738 Canal Blvd  
New Orleans, LA 70123  
(504) 586-0400

NOT FOR CONSTRUCTION

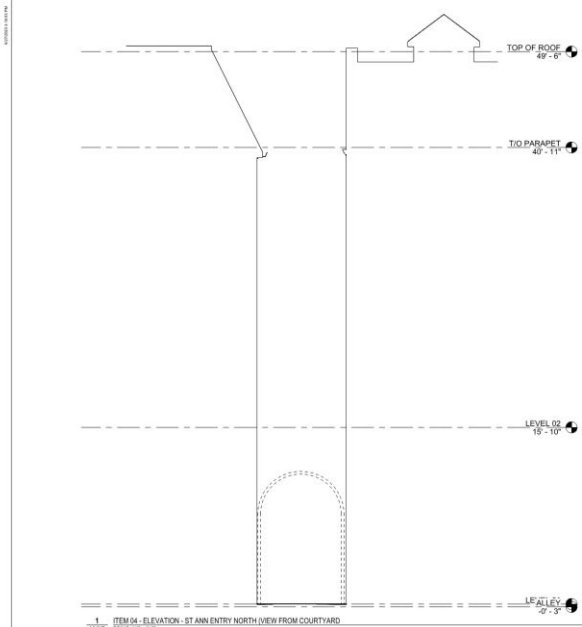
DATE	DESCRIPTION

© TRAPOLI PEER ARCHITECTS, LLC  
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DATE: 02/16/2022

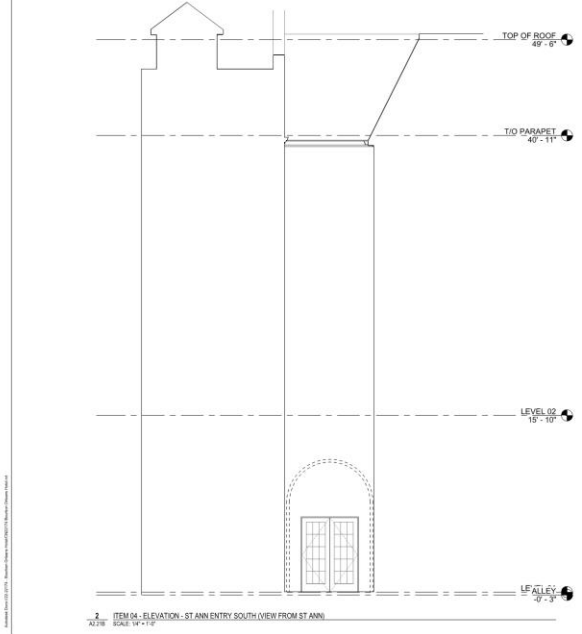
COURTYARD/POOL INTERIOR DESIGN OPTIONS

A2.18C

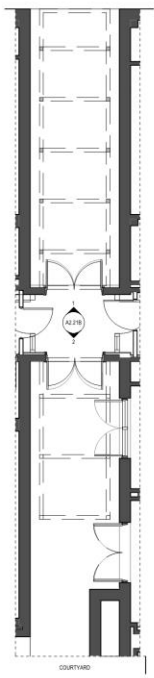
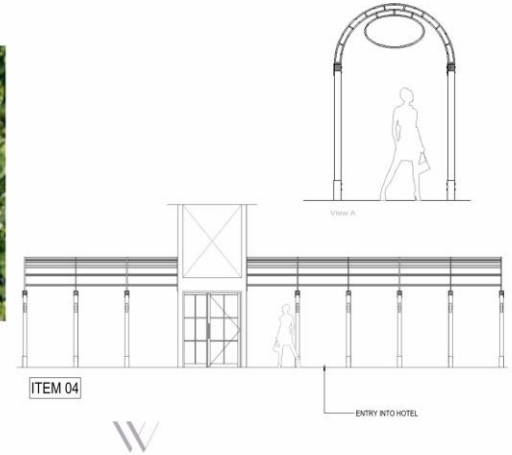




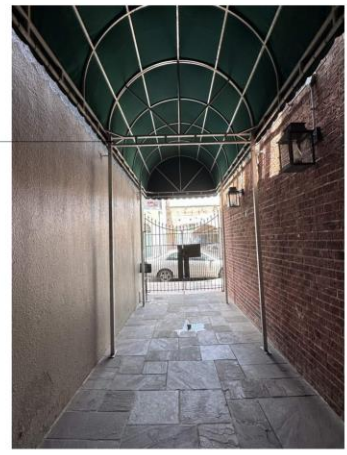
1 ITEM 04 - ELEVATION - ST ANN ENTRY NORTH (VIEW FROM COURTYARD)  
 1/2" = 1'-0" SCALE: 1/4" = 1'-0"



2 ITEM 04 - ELEVATION - ST ANN ENTRY SOUTH (VIEW FROM ST ANN)  
 1/2" = 1'-0" SCALE: 1/4" = 1'-0"



3 ITEM 04 - ENLARGED FLOOR PLAN - ST ANN ENTRY  
 1/2" = 1'-0" SCALE: 1/4" = 1'-0"



EXISTING VIEW OUT TO ST ANN ST

TRAPOLIN PEER ARCHITECTS  
 COURTYARD ALTERATIONS  
**BOURBON ORLEANS HOTEL**  
 RENOVATION - ORLEANS FACADE  
 ALTERATIONS (VCC 02)  
 717 ORLEANS AVE.  
 NEW ORLEANS, LA 70116

OWNER: DBM Bourbon Square, LLC  
 2 Bayou Lake Center, Suite 1400  
 Metairie, LA 70001  
 (504) 833-9950  
 ARCHITECT: TRAPOLIN PEER  
 850 TCHOUPOULAS ST.  
 NEW ORLEANS, LA 70116  
 (504) 523-2772  
 www.trapolinpeer.com  
 CONTRACTOR: GIBBS CONSTRUCTION  
 2734 Canal Blvd  
 New Orleans, LA 70123  
 (same code) number

NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE

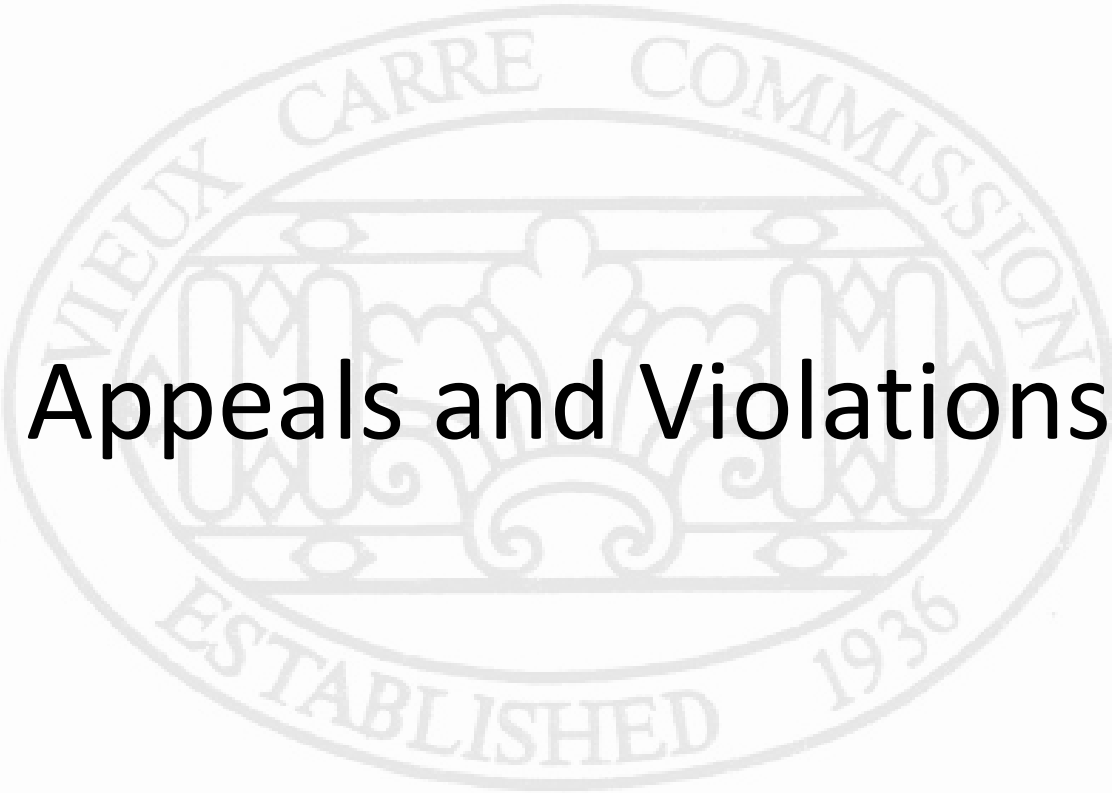
© TRAPOLIN PEER ARCHITECTS, APC  
 PROJECT NUMBER:  
 CN 22174  
 DATE PLOTTED:  
 06/07/2023

ST ANN ENTRY

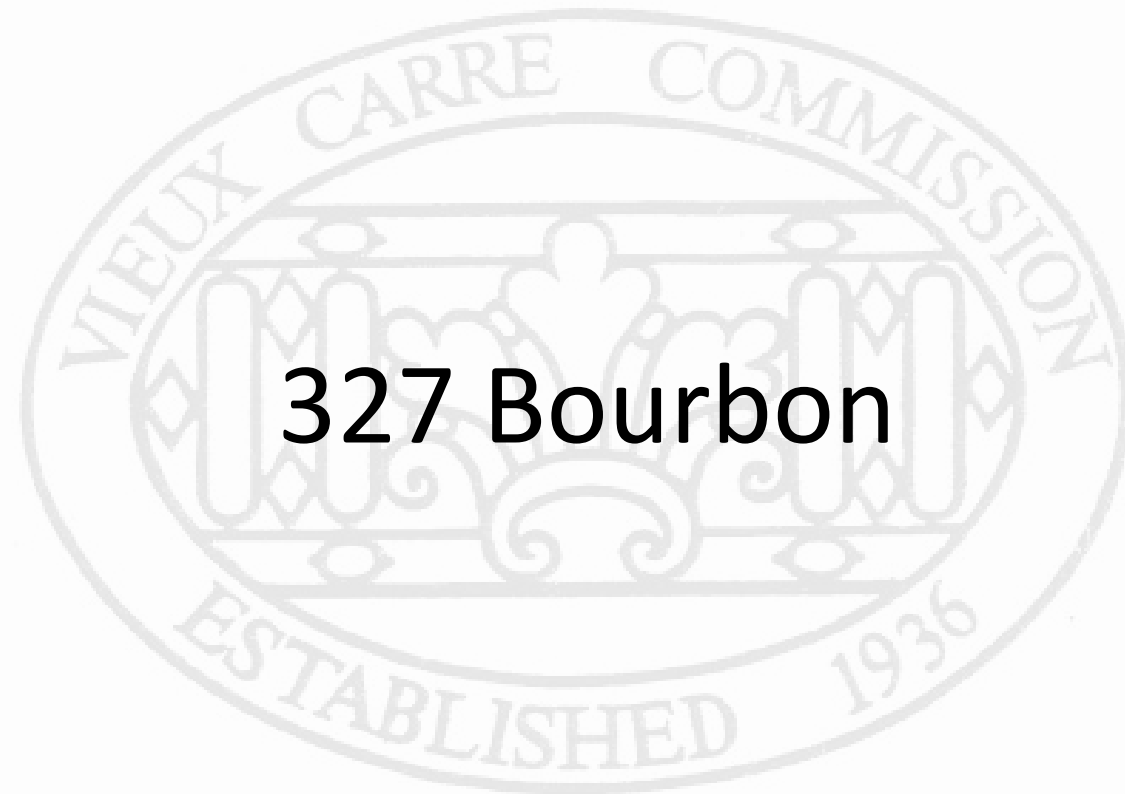
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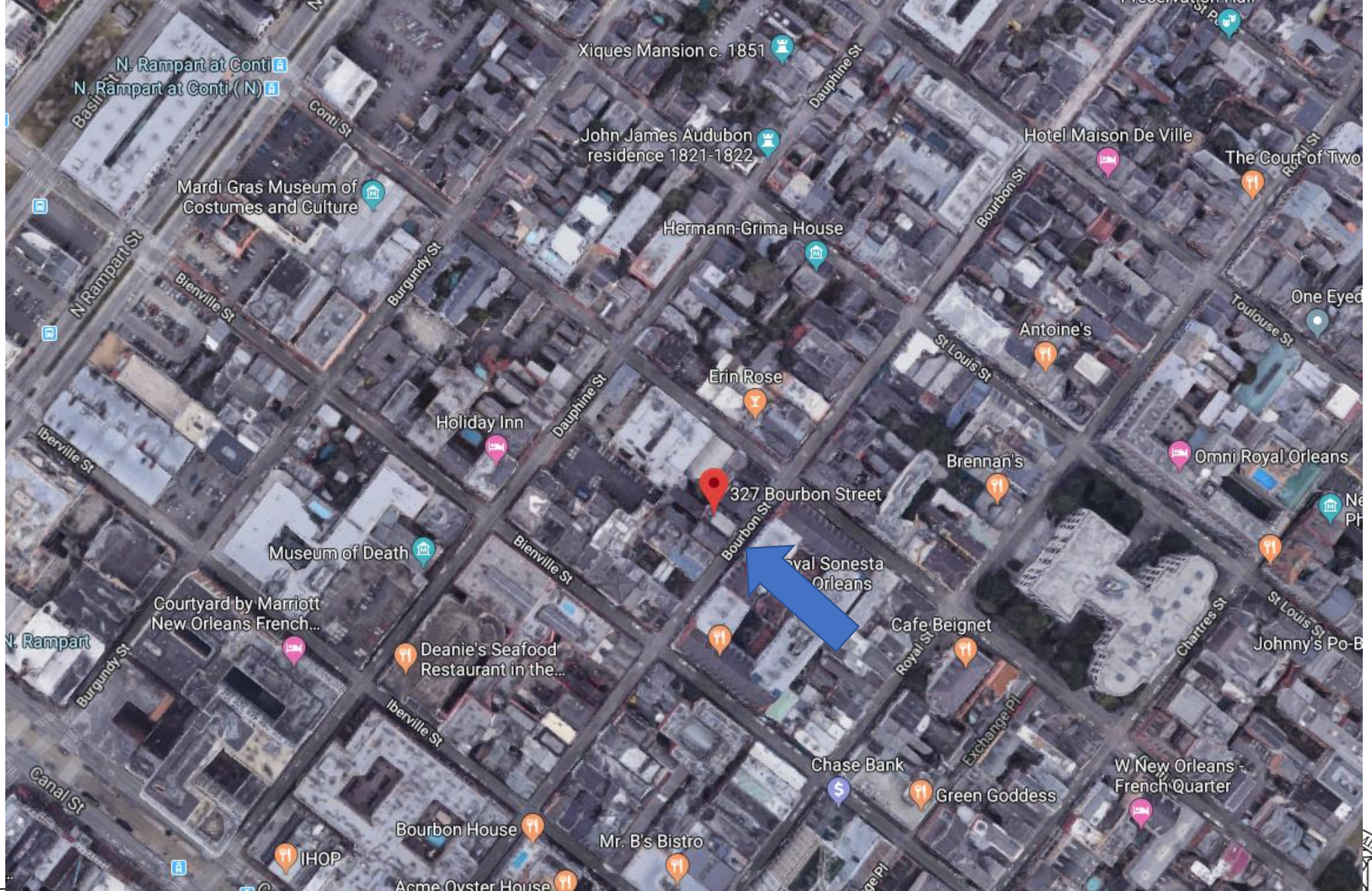


# Appeals and Violations



**327 Bourbon**





327 Bourbon







327 Bourbon

VCC Architecture Committee

April 11, 2023







327 Bourbon - 2018

VCC Architectural Committee

April 11, 2023





327 Bourbon – November, 2020

VCC Architecture Committee

April 11, 2023





327 Bourbon

VCC Architecture Committee



April 11, 2023







327 Bourbon

VCC Architecture Committee

April 11, 2023







327 Bourbon

VCC Architecture Committee

03 31 2023

April 11, 2023







## 1ST FLOOR NORTH WALL

Brick point

Possibly need to fill in left side opening  
to the left

Lintel repair



## 1ST FLOOR WEST WALL

Brick point behind electrical panel wall





## 2ND FLOOR EAST WALL

Brick pointing

Lintel repair



## 2ND FLOOR NORTH WALL

Brick pointing

Lintel repair



## 3RD FLOOR NORTH WALL

Brick pointing

Lintel repair



## 3RD FLOOR WEST WALL

Brick pointing

Brick/Wood infill





## 4TH FLOOR SOUTH WALL

Brick pointing

Lintel repair



## 4TH FLOOR EAST WALL

Brick pointing

Lintel repair



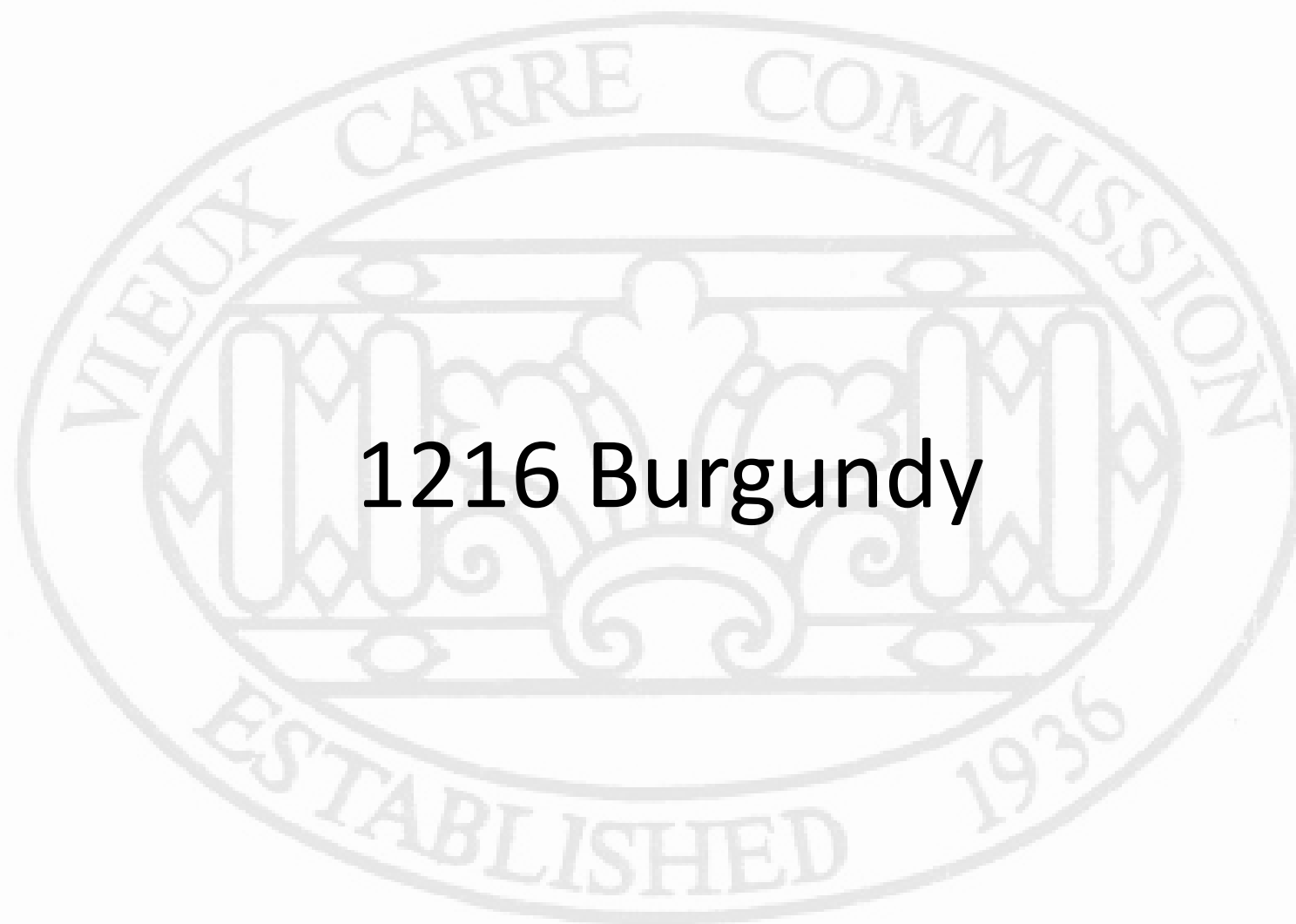
## 327 Bourbon – Interior Conditions

VCC Architecture Committee

April 11, 2023







**1216 Burgundy**



1216 Burgundy

VCC Architecture Committee

April 11, 2023







1216 Burgundy

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April 11, 2023





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1216 Burgundy

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1216 Burgundy

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Typical 19<sup>th</sup> century double hung windows throughout the house have vertical rectangular lites with narrow 5/8" muntin bars with a 1/4" bone, most openings in 1216 Burgundy are either double hung windows or French doors. All have a typical Greek Revival interior casing w/ bullnosed sill.



The ground floor kitchen windows while historic were installed in a later period with 7/8" muntin bars with a 3/8" bone. The shaped profile on the sides of the muntins is similar.



1216 Burgundy

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The front windows retain their historic character



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While the muntin bars of the front street level windows were cut likely in the early 20<sup>th</sup> century in an attempt to update the windows to more of a Craftsman appearance.



The rear opening on the main block of the house that I am proposing new sash for is not the same period as the earlier openings of the house, however does match the muntin and bone for the kitchen windows. The existing historic transom has 7/8" muntin bars w/ a 3/8" bone.



1216 Burgundy

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The earliest openings have a narrower 5/8" muntin with a 1/4" bone.



The bathroom window in question is immediately adjacent to a French door to the service wing balcony. The lower sash were removed at some point in the modern era and plate glass window and stops were added.



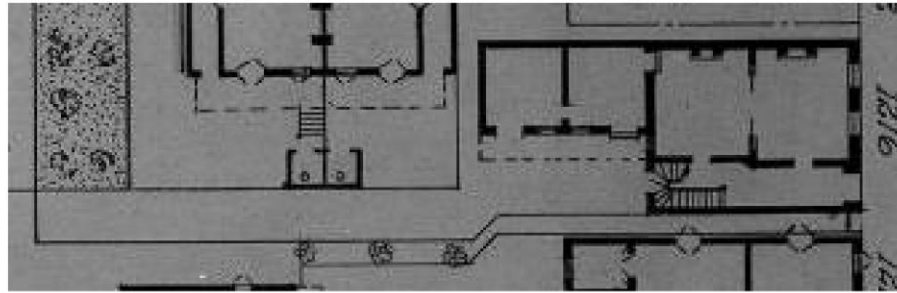
1216 Burgundy

VCC Architecture Committee

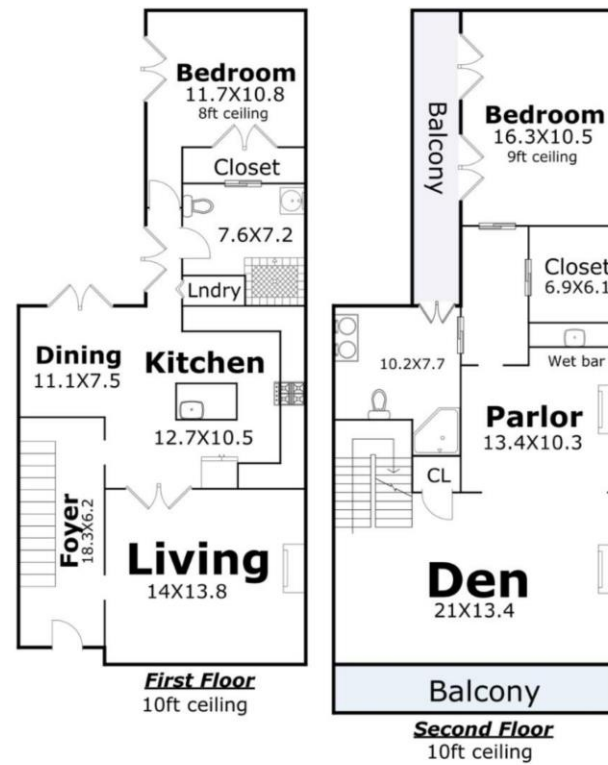
April 11, 2023



The 1940's HABS documents this window was once in the stairwell.



The stair has been relocated towards the front of the house at some point in the mid 1900's to create a bathroom on the second floor and a dining room on the first floor.





There were sales in 1921, 1930, 1932, 1941, and 1950, 1951, 1952, 1955, and 1958 with the City owning it from 1937-41, and again in 1946. I doubt the city would have done a whole stair move, so the other dates would most likely coincide with the transom sash. The house wasn't sold again until 1993.

This window also matches the upper sash of the front dormer in character, there is no documentation on when the dormer was built or if it was original to the house.



The frame of the window is beaded and historic, although perhaps not period to the house. The original sill has previously been replaced, but new work has been done to secure the glass, perhaps after Hurricane Ida?



The transom sill if original to the house would likely have had a shaped nosing, it has either been replaced or installed in the mid 20<sup>th</sup> century as-is.



1216 Burgundy

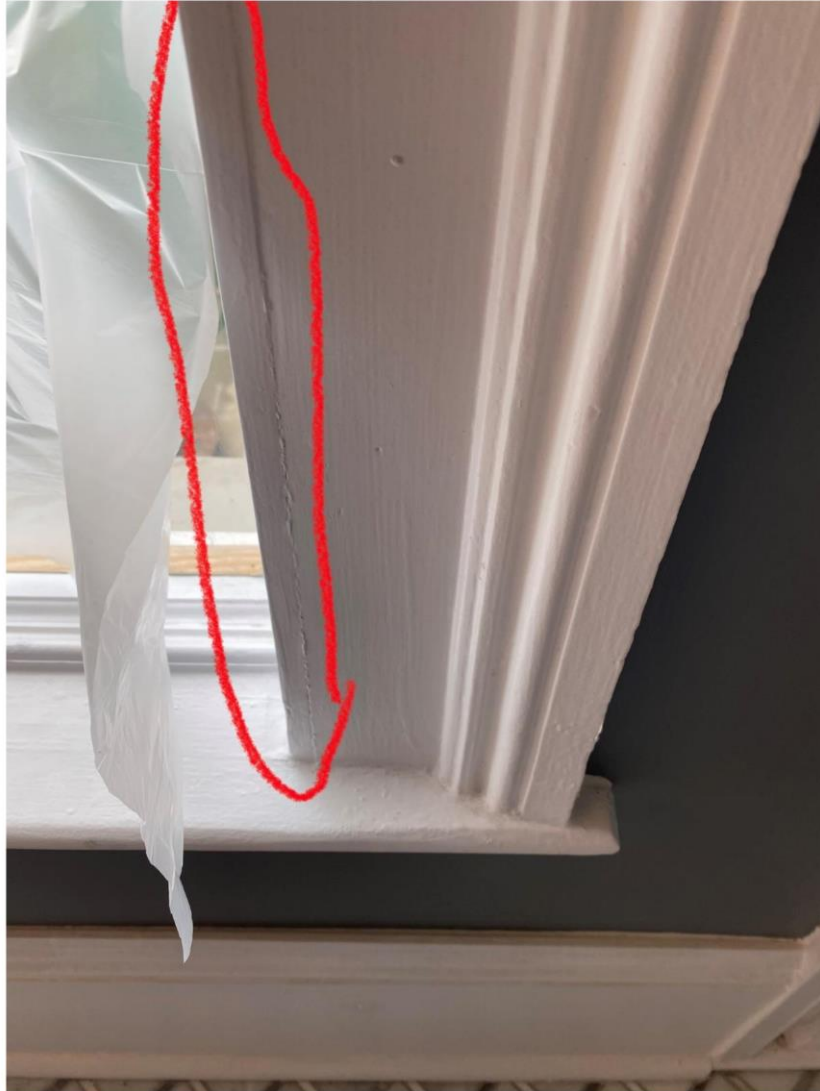
VCC Architecture Committee

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On the interior side it appears the historic frame is viable. The rabbet had been filled with a trim piece to cover the original hinge locations.



Removing this interior filler strip revealed the original hinge locations documenting that it was a casement window and not a double hung like the other windows.

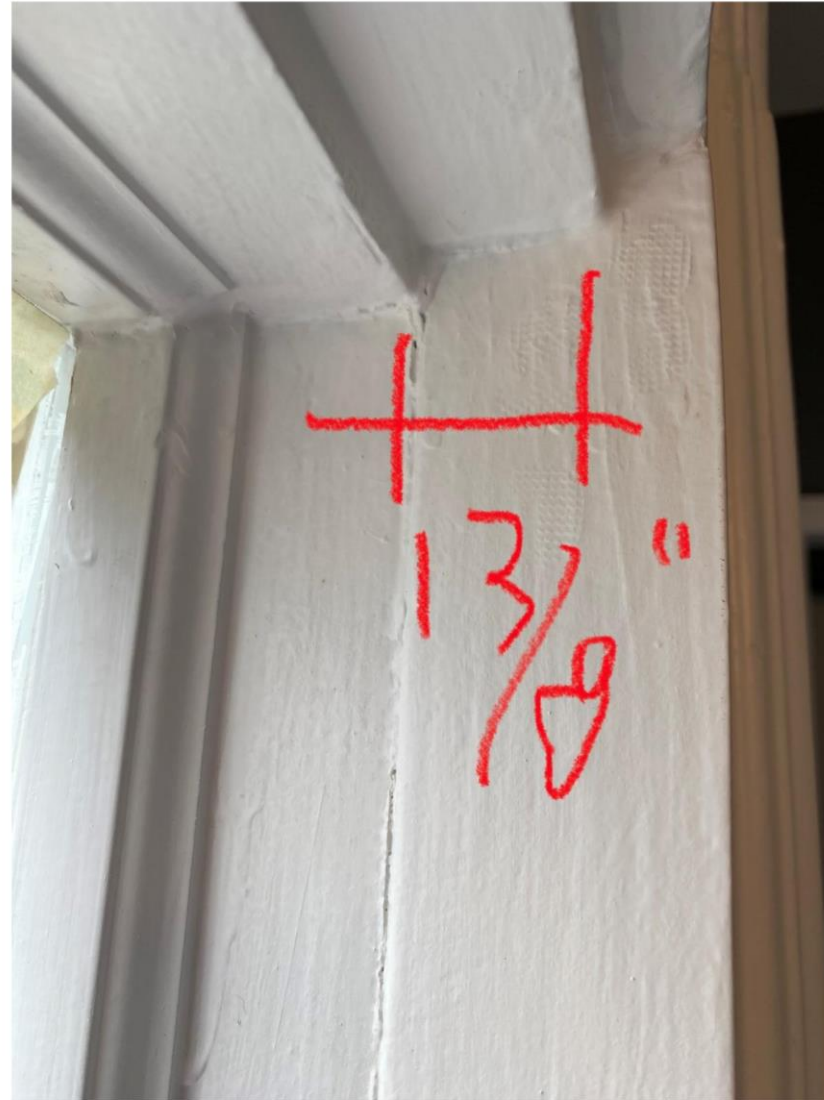
The upper 2 1/2" hinge is 4 7/8" from the top of the hinge to the head of the frame.



The lower hinge is 3 13/16" from the interior sill to the bottom of the hinge.



Before the filler was removed it was clear from the head that it was set up for 1-3/8" sash.



1216 Burgundy

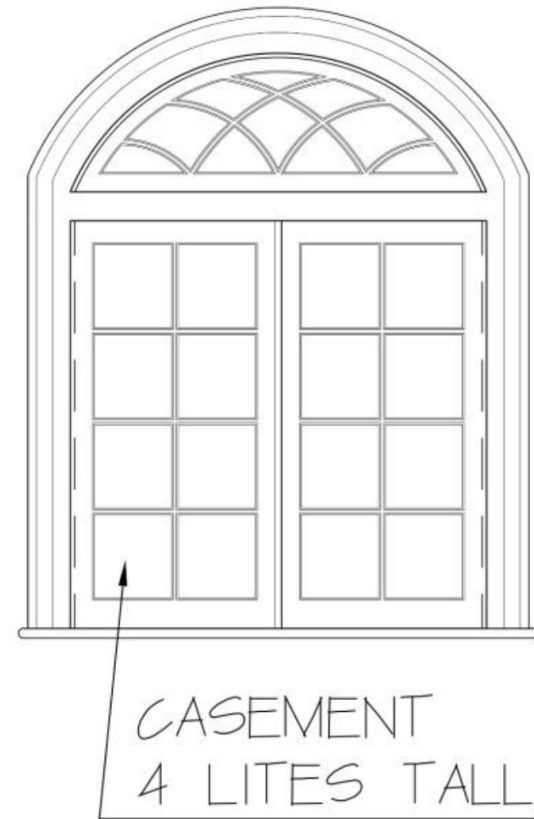
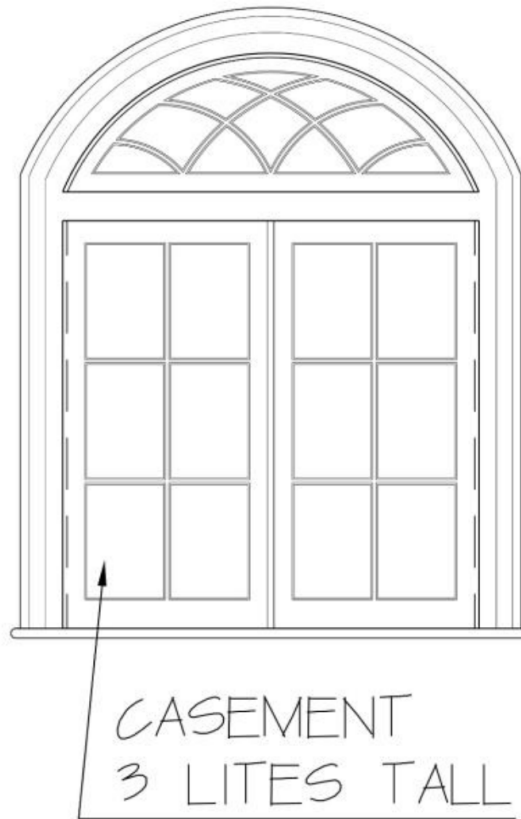
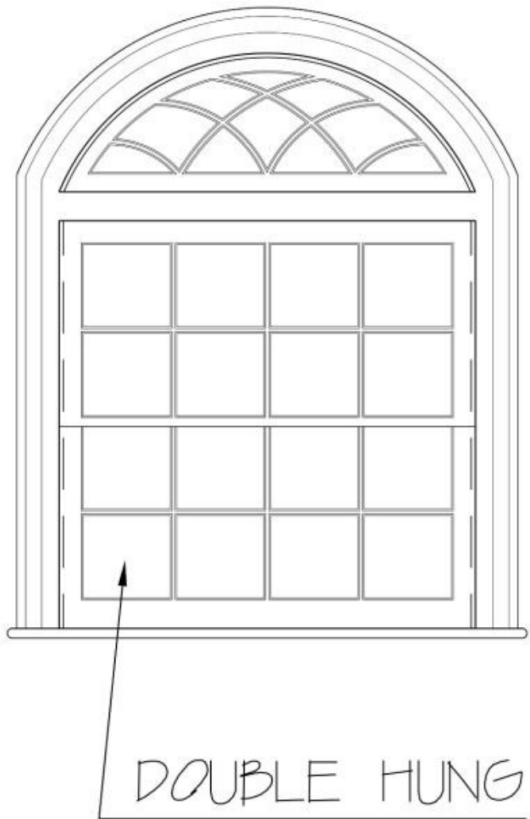
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The following sash options were looked at. Double hung was eliminated once the hinge locations were found on the historic window frame. Given the late 1820's early 1830's date attributed to the house, square lites were also looked at but decided against as no other openings in the house had square lites, all are vertical and rectangular of similar proportions to the 3 lites tall version.



It was noted that this window has the same interior sill bullnosed stool profile, missing the 1x4 board underneath.



The interior casing trim profile does not match the profile of the earlier windows and doors such as the adjacent French door in the bathroom to the rear balcony, this points that it is a later historic modification, most likely to an earlier taller window due to the stair having been moved.





Exterior view of the window with sash proposed to be replaced. In this view, you can also see the upper arched sash of the dormer which inspired this later historic window.



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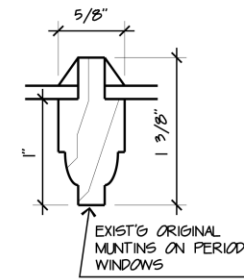
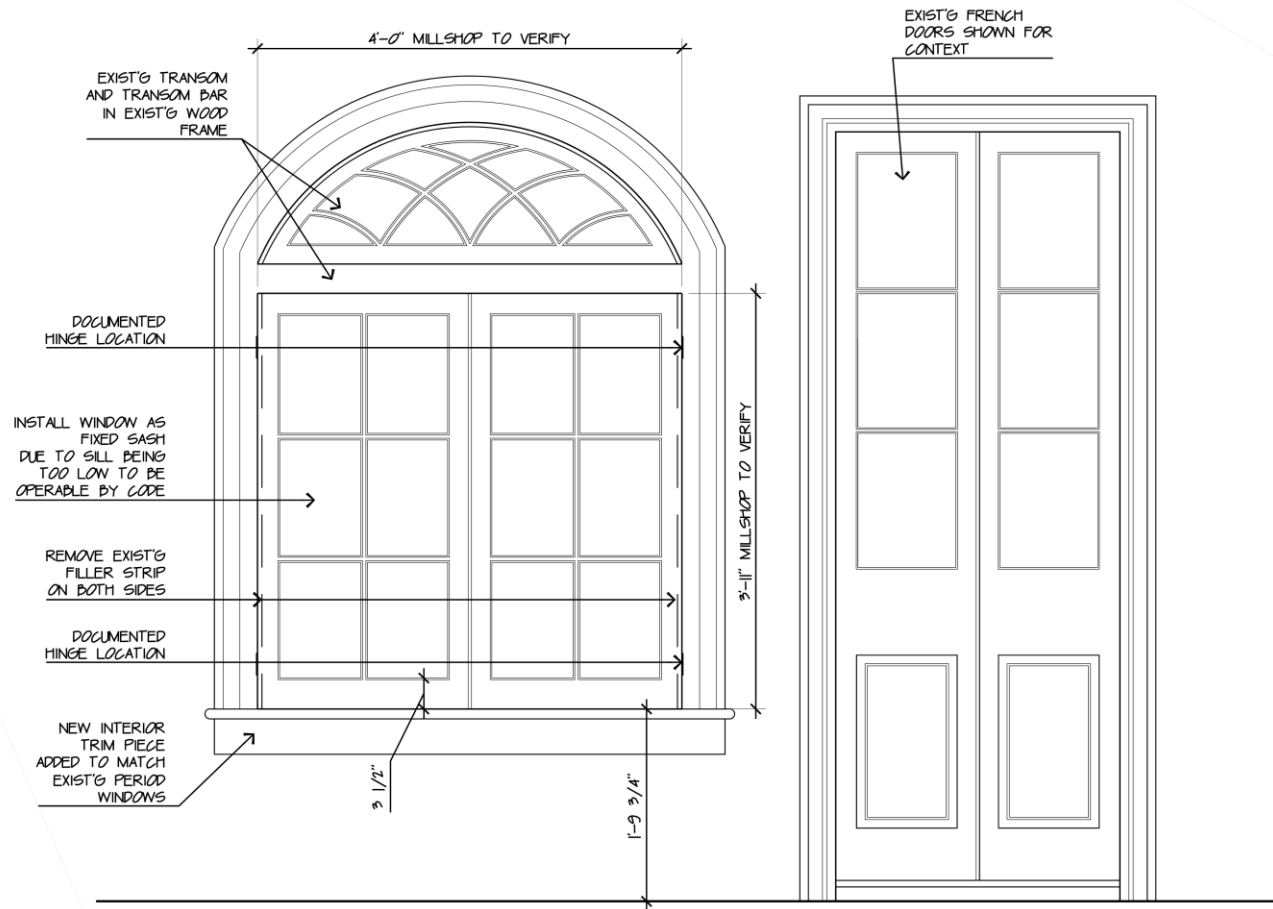


### INTERIOR ELEVATION

SCALE: 1" = 1'-0"







**INTERIOR ELEVATION**

SCALE: 1" = 1'-0"



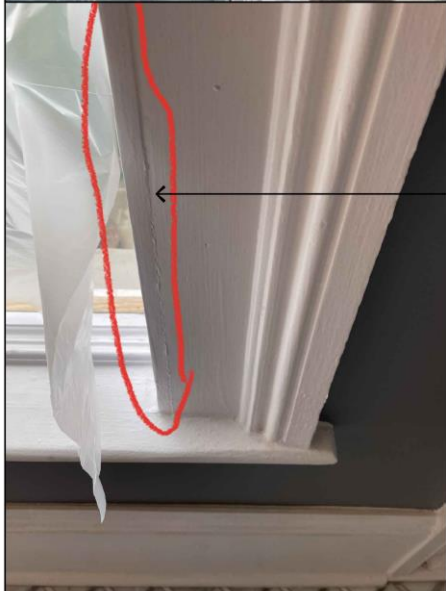


EXIST'G HISTORIC SASH RABBET

RIGHT SIDE INTERIOR FILLER STRIP WAS REMOVED TO EXPOSE EXIST'G HINGE RABBETS

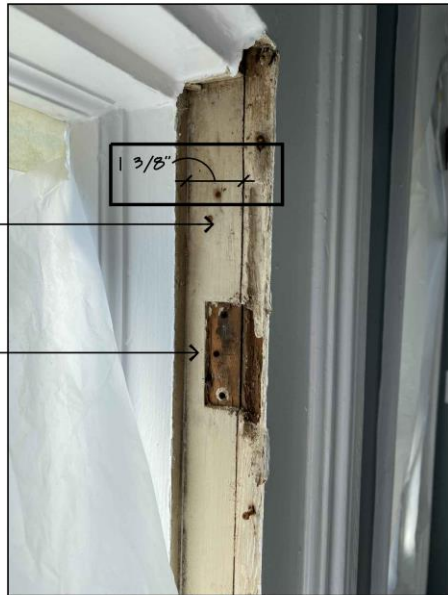
EXIST'G BEADED FRAME TO REMAIN IN PLACE REPAIR AS REQ'D

REMOVE EXIST'G NON-HISTORIC STOPS @ PLATE GLASS



REMOVE EXIST'G FILLER STRIP BOTH SIDES OF WINDOW

RIGHT SIDE INTERIOR FILLER STRIP WAS REMOVED TO EXPOSE EXIST'G HINGE RABBETS



1 3/8"



REMOVE EXIST'G NON-HISTORIC PLATE GLASS AND STOPS

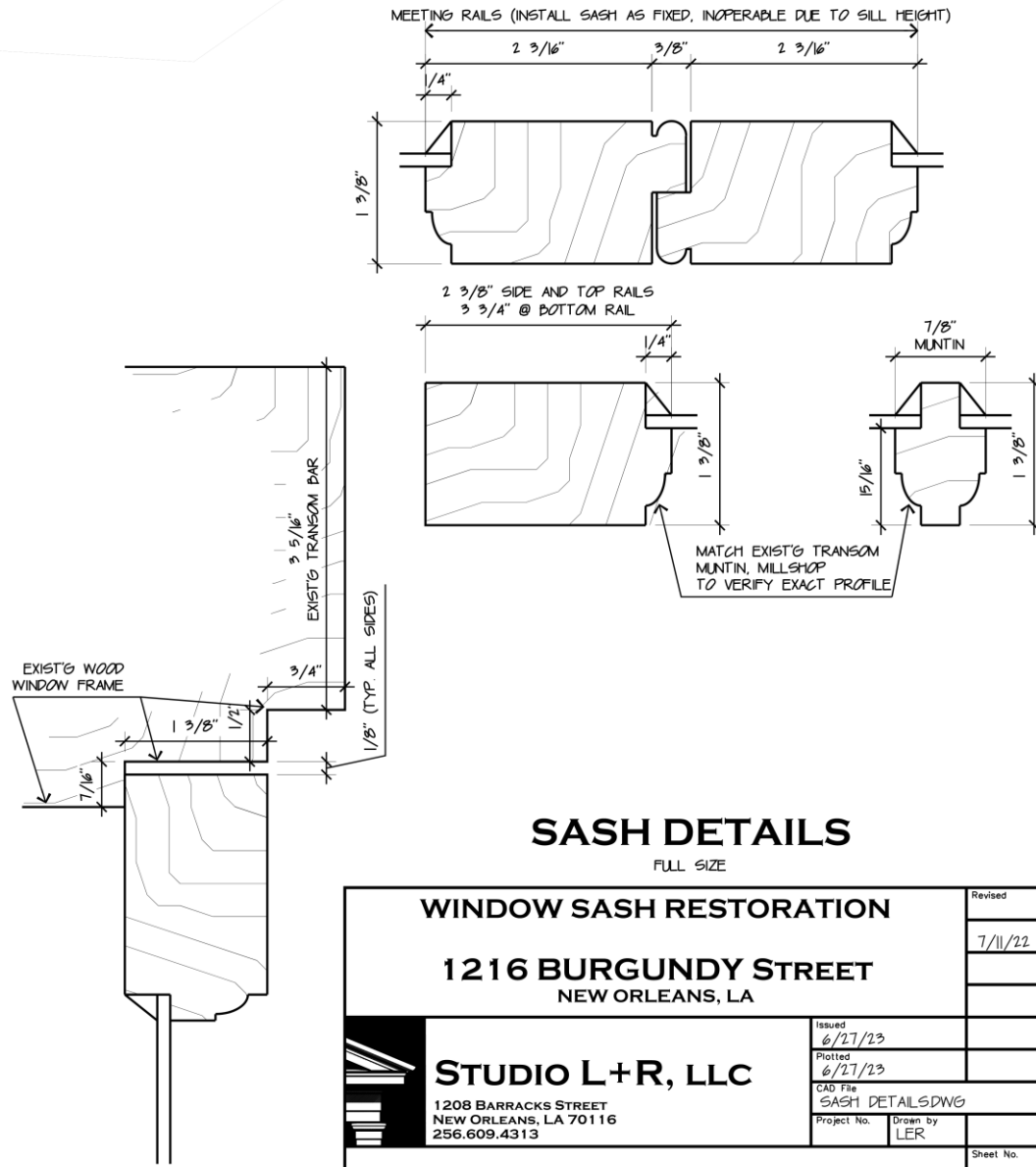


REMOVE EXIST'G NON-HISTORIC PLATE GLASS AND STOPS

REPAIR/REPLACE EXIST'G NON-HISTORIC 2x SILL IF REPLACED, FRONT FACE TO BE 90 DEGREES VERTICAL







### SASH DETAILS

FULL SIZE

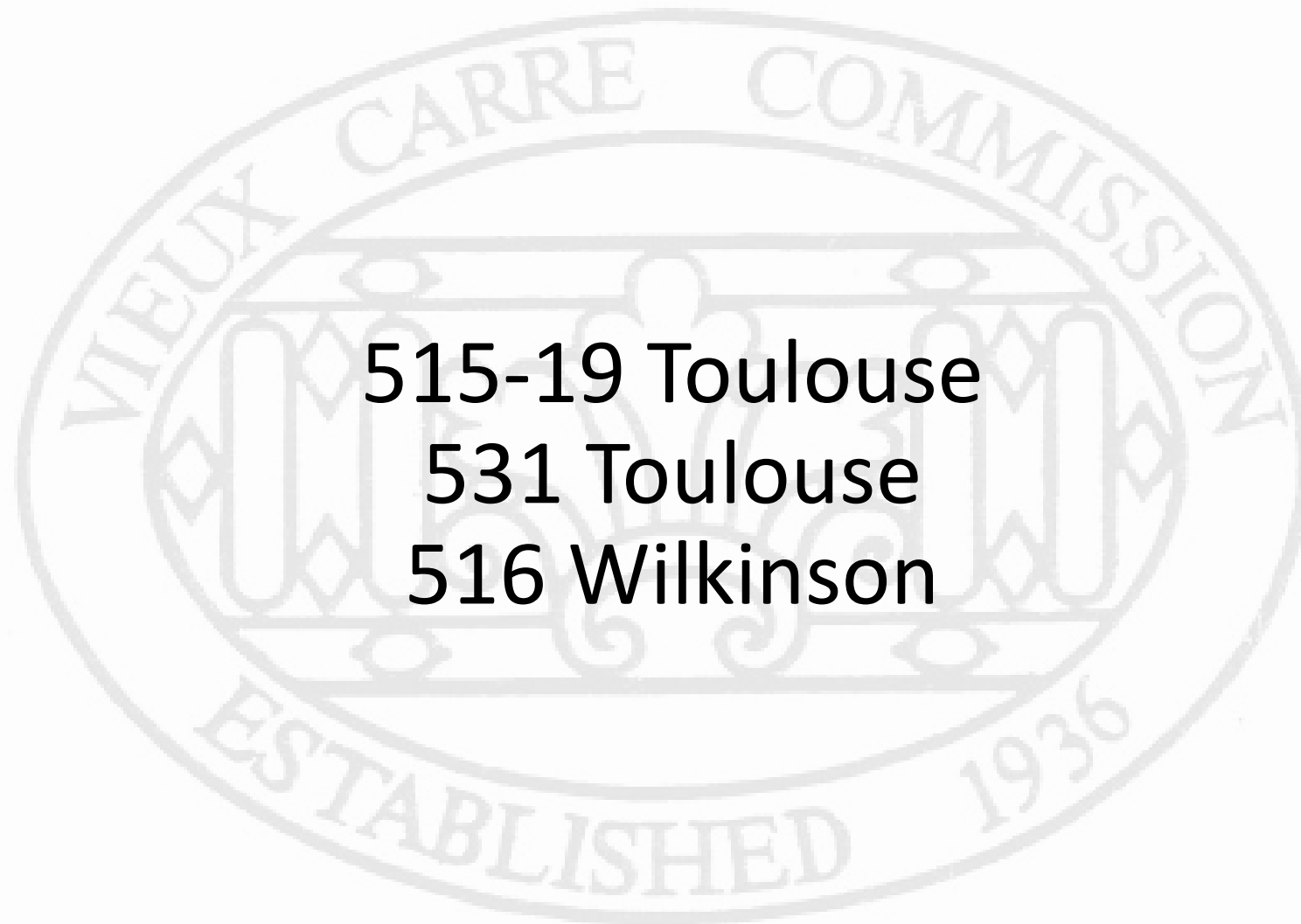
<b>WINDOW SASH RESTORATION</b>		Revised
<b>1216 BURGUNDY STREET</b> NEW ORLEANS, LA		7/11/22
 <b>STUDIO L+R, LLC</b> 1208 BARRACKS STREET NEW ORLEANS, LA 70116 256.609.4313	Issued 6/27/23	
	Plotted 6/27/23	
	CAD File SASH DETAILS.DWG	
	Project No.      Drawn by LER	
SASH DETAILS AND PHOTO DOCUMENTATION		Sheet No. 1

1216 Burgundy

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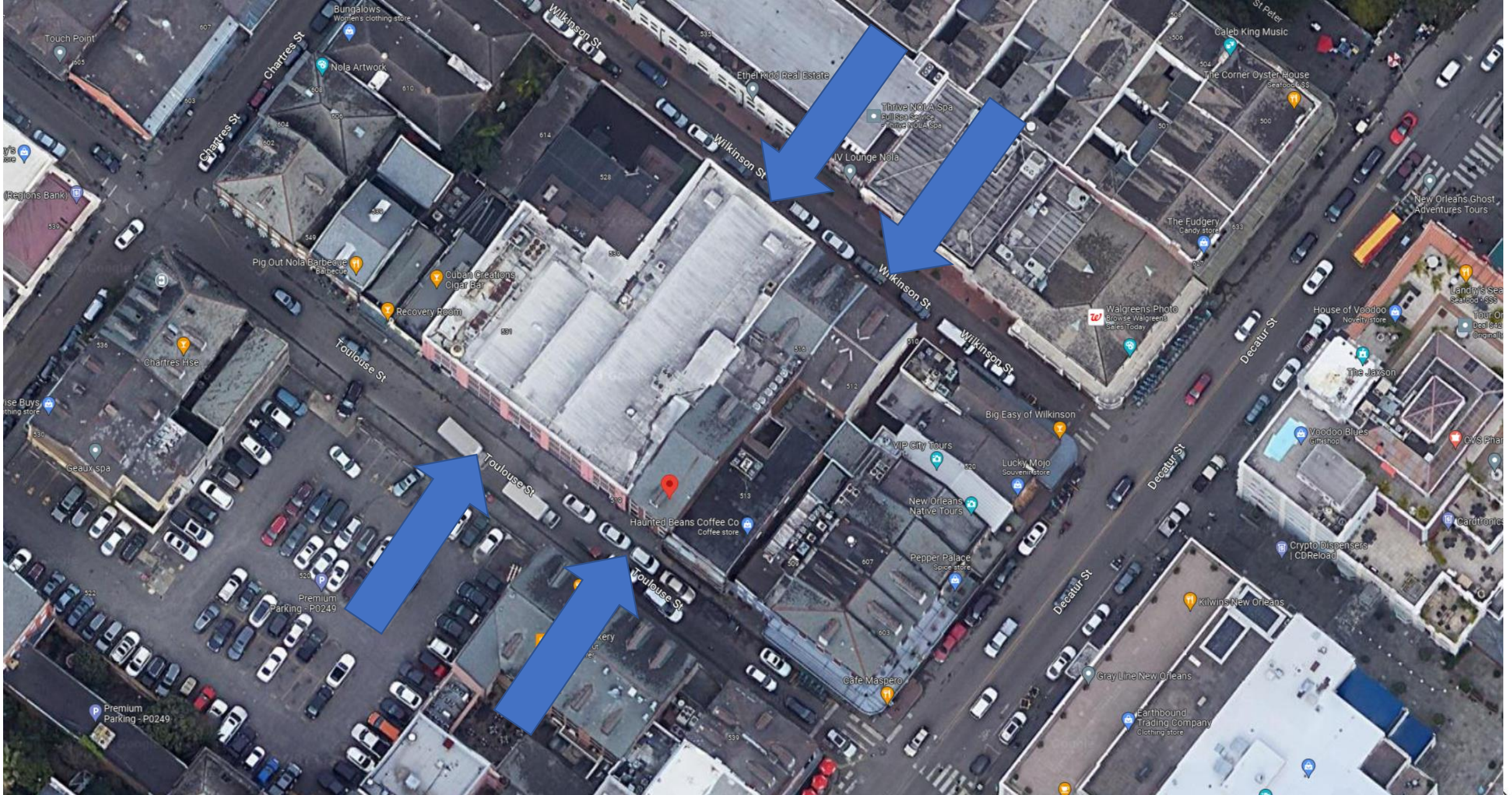
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515-19 Toulouse  
531 Toulouse  
516 Wilkinson





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# 515 Toulouse

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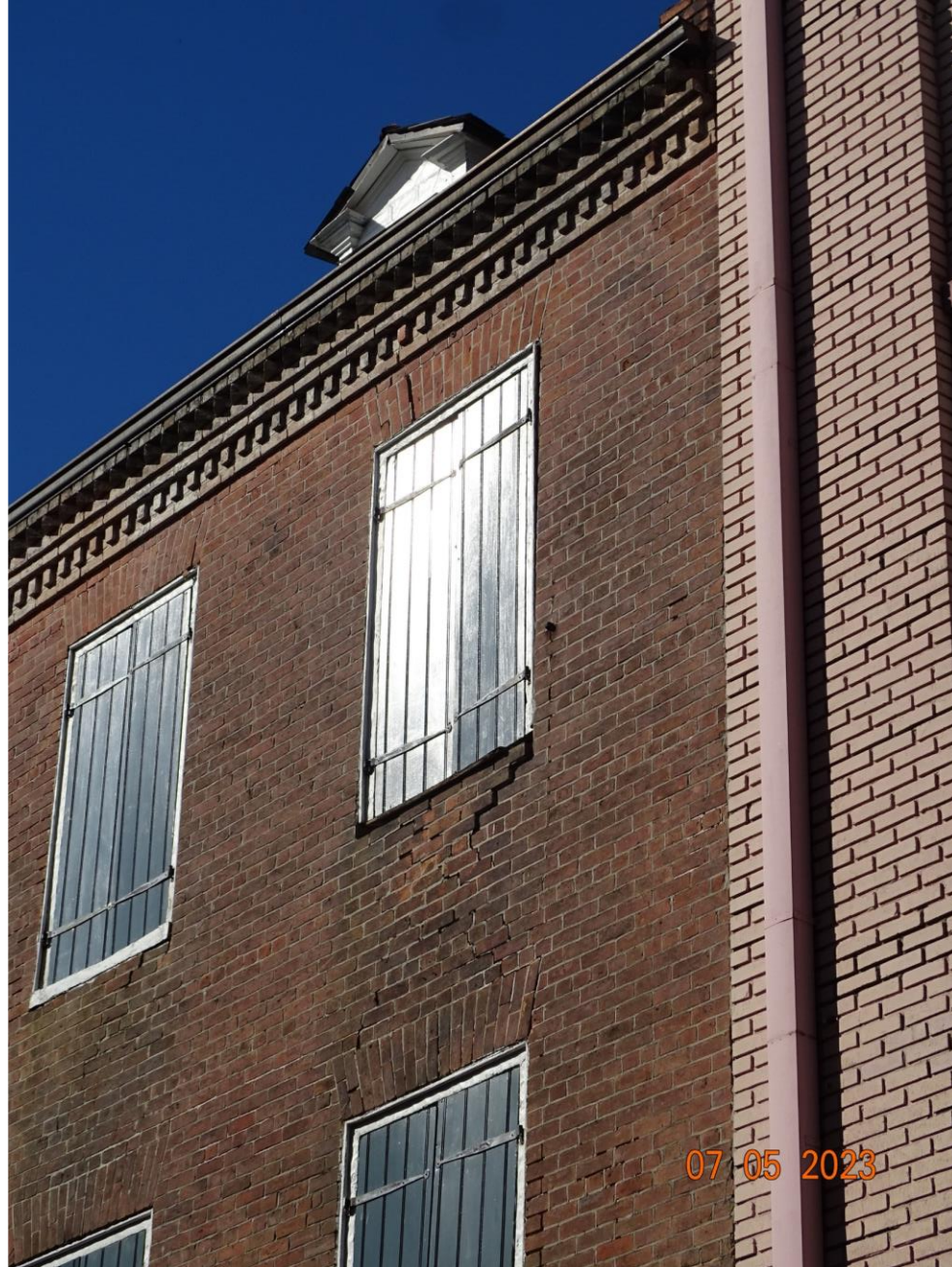
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515 Toulouse – previous crack





515 Toulouse – previous crack

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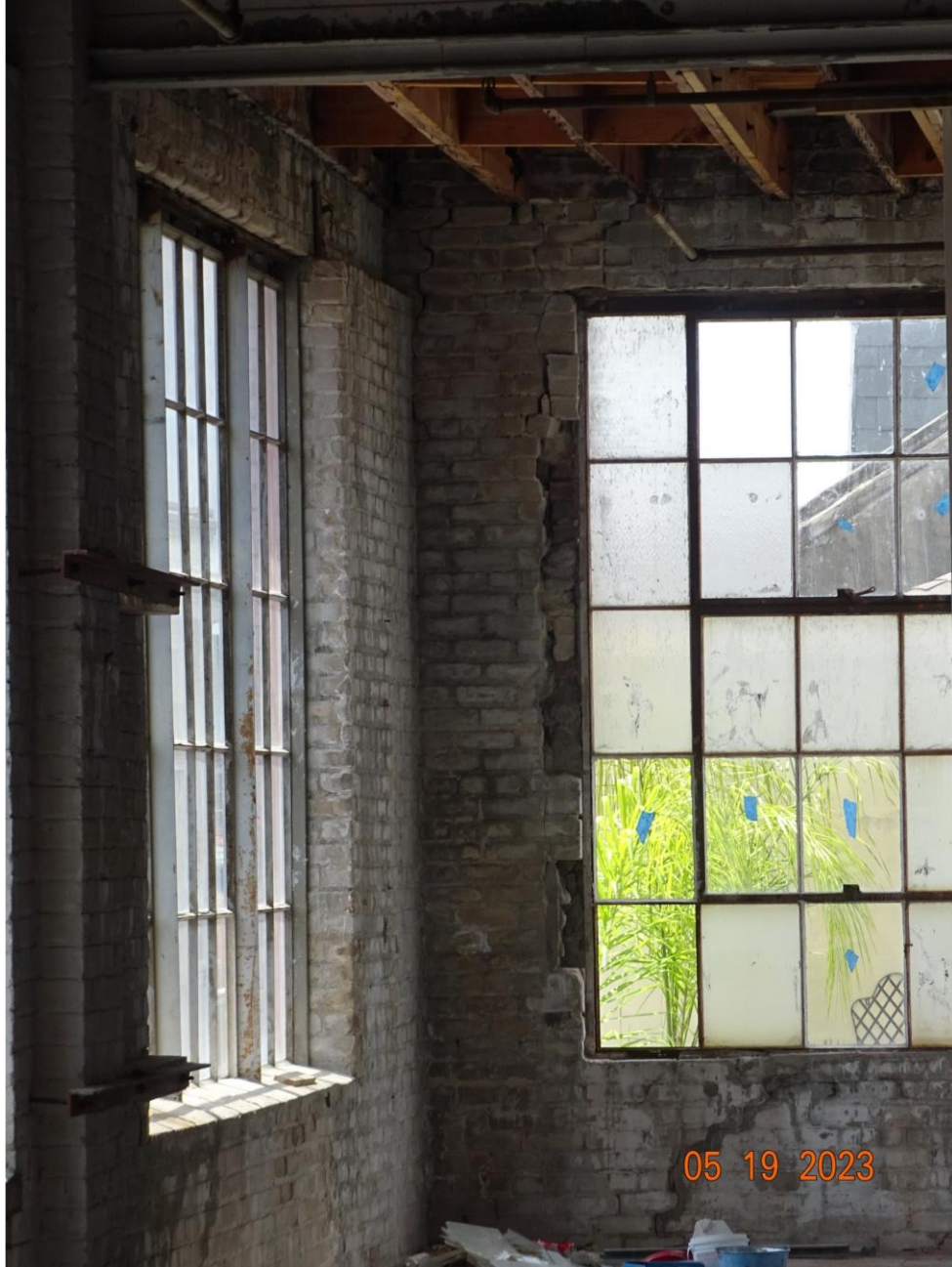
515 Toulouse – previous crack

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515 Toulouse

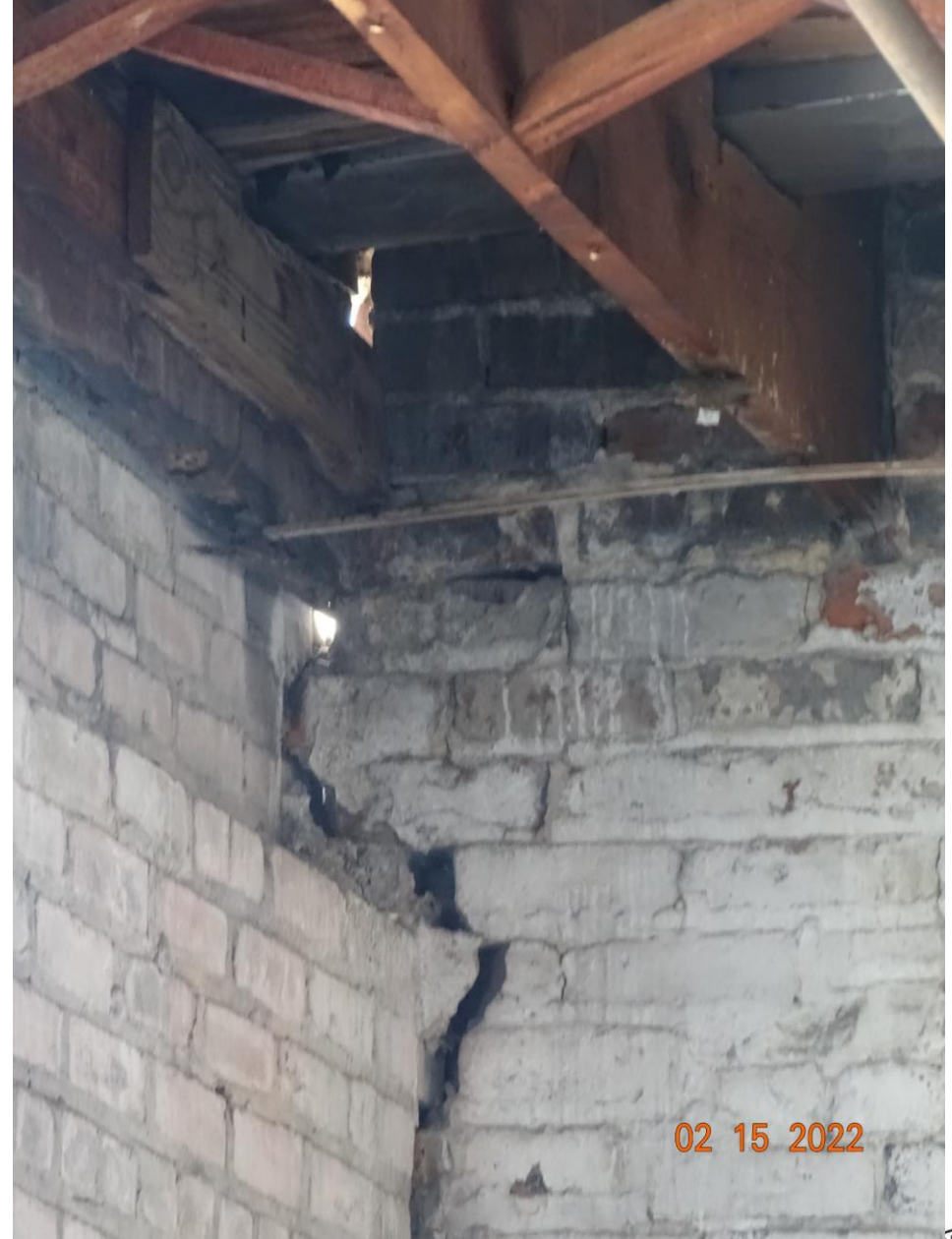
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02 15 2022



02 15 2022

515 Toulouse

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February 13, 2023

• CIVIL  
• STRUCTURAL  
• INDUSTRIAL  
• MARINE

Ms. Lori Mitchell  
212 B Brickell Way  
Lafayette, Louisiana 70508

**RE: Existing Commercial Building  
515 & 517 Toulouse Street  
New Orleans, Louisiana 70130  
Report of Findings - Subsequent Report and Recommendations**

Dear Ms. Mitchell:

In accordance with your request, we completed a subsequent limited structural visual observation in an effort to address specific concerns as it relates to the overall structural condition of the building. We understand those concerns to be the following.

- Crack repair (interior)
- Water intrusion
- Structural condition of select wooden members

*Cracks in Masonry Wall*

The cracking in the masonry wall is stable in its present condition. We understand that there are concerns about the condition of the wall as it relates to said cracks. We recommend that the cracks be repaired as a matter of course. We also recommend that the cracks be repaired prior to any work being done on the exterior masonry.

*Water Intrusion*

As we stated in our initial report, there is water infiltration into the building. We recommend that you hire a qualified roofing contractor to assess the envelope, and make recommendations on arresting the water intrusion, hence rendering the building watertight.

*Floor Joists*

There are several joists and portions of floor decks that are degraded/deflected due to water infiltration. We recommend that the building envelope be secured (see previous bullet point) and these areas blocked from pedestrian access until such a time that the building is under comprehensive renovation. These isolated conditions have not degraded the overall general structural condition of the building.

O:\Carubba\2023\Inspections\2023.01.16 515 & 517 Toulouse Street\Documents\2023.02.13 Report Subsequent.doc

3400 Hessmer Avenue • Metairie, LA 70002  
Phone: 504.888.1400 • www.carubbaengineering.com

*Conclusion*

Per our previous report, the buildings are structurally sound in their present condition, notwithstanding the isolated conditions noted herein. When the building is renovated, we strongly recommend that the owner hire a qualified structural engineer to address the isolated conditions noted herein and provide the requisite information for their repair. We also recommend that a qualified waterproofing expert examine the roof system closely and also provide a scope of work to restore the building envelope to an acceptable level of integrity. We recommend that renovation work begin at the earliest possible time as the building is structurally sound in its present condition.

Thank you for the opportunity to provide this information to you. Please contact our office if you need further assistance. We reserve the right to amend this report if additional information becomes available.

Respectfully,  
Carubba Engineering, Inc.

  
Roy M. Carubba, P.E.  
w/ attachments



O:\Carubba\2023\Inspections\2023.01.16 515 & 517 Toulouse Street\Documents\2023.02.13 Report Subsequent.doc





Drawing #1

### 515 Toulouse – tan front

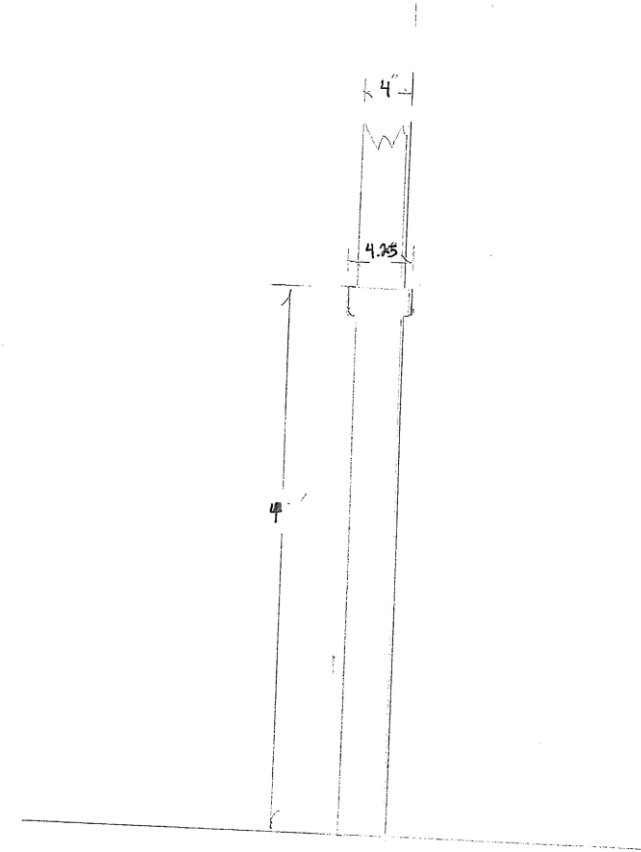
- Roof:
  - replace missing ridge caps
  - replace missing copper flashing
  - replace missing slate to match existing –as needed
- 2x copper downspouts with 2x cast iron boots – see drawing 1
- 1x window dormer replacement – see drawing 2
- Cosmetic work:
  - repoint brick as needed
  - remove vegetation

### 516 Wilkinson – rear

- Roof:
  - replace missing ridge caps
  - replace missing copper flashing
  - replace missing slate to match existing –as needed
- 1x copper downspout with cast iron boot – see drawing 1
- Brick Arch: repair and replace wrong size bricks with hard tan jumbo brick

### 519 Toulouse – pink

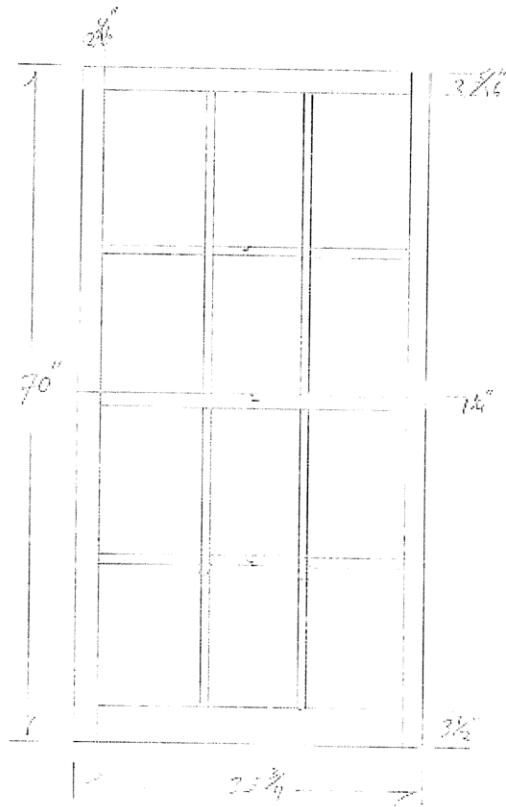
- Front:
  - repoint bricks on façade
  - paint building pink to match existing
  - remove graffiti
  - remove vegetation
  - repair windows and trim – paint trim cream white
- Rear (Wilkinson):
  - Replace double doors with door with panels – see drawing 3
  - Replace PVC downspout boot with cast iron boot
  - Repoint bricks as needed
  - Remove vegetation
  - Paint to match existing color



Scale  
1" = 1'



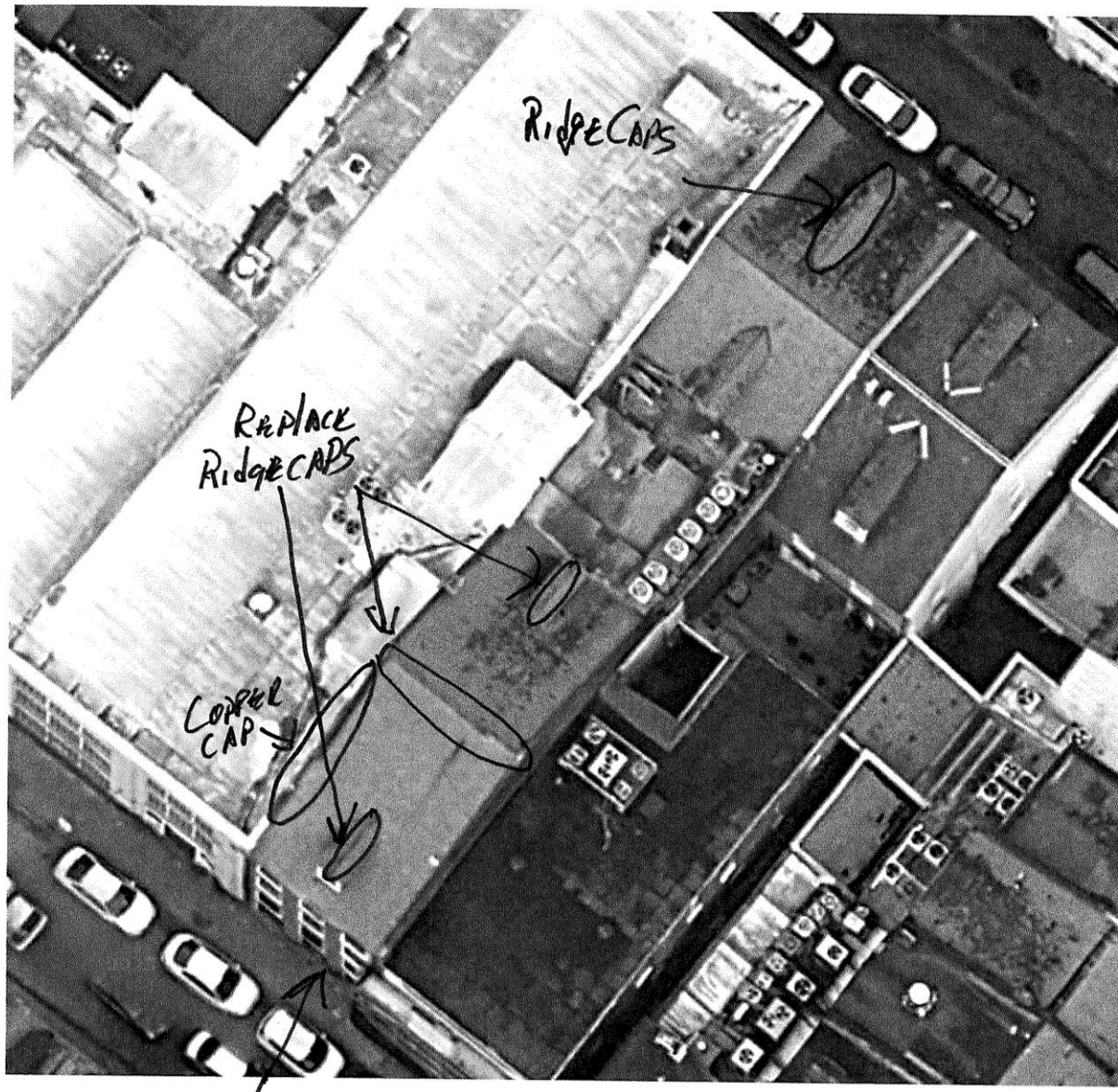
Drawing # 2



scale:  
1" = 1'







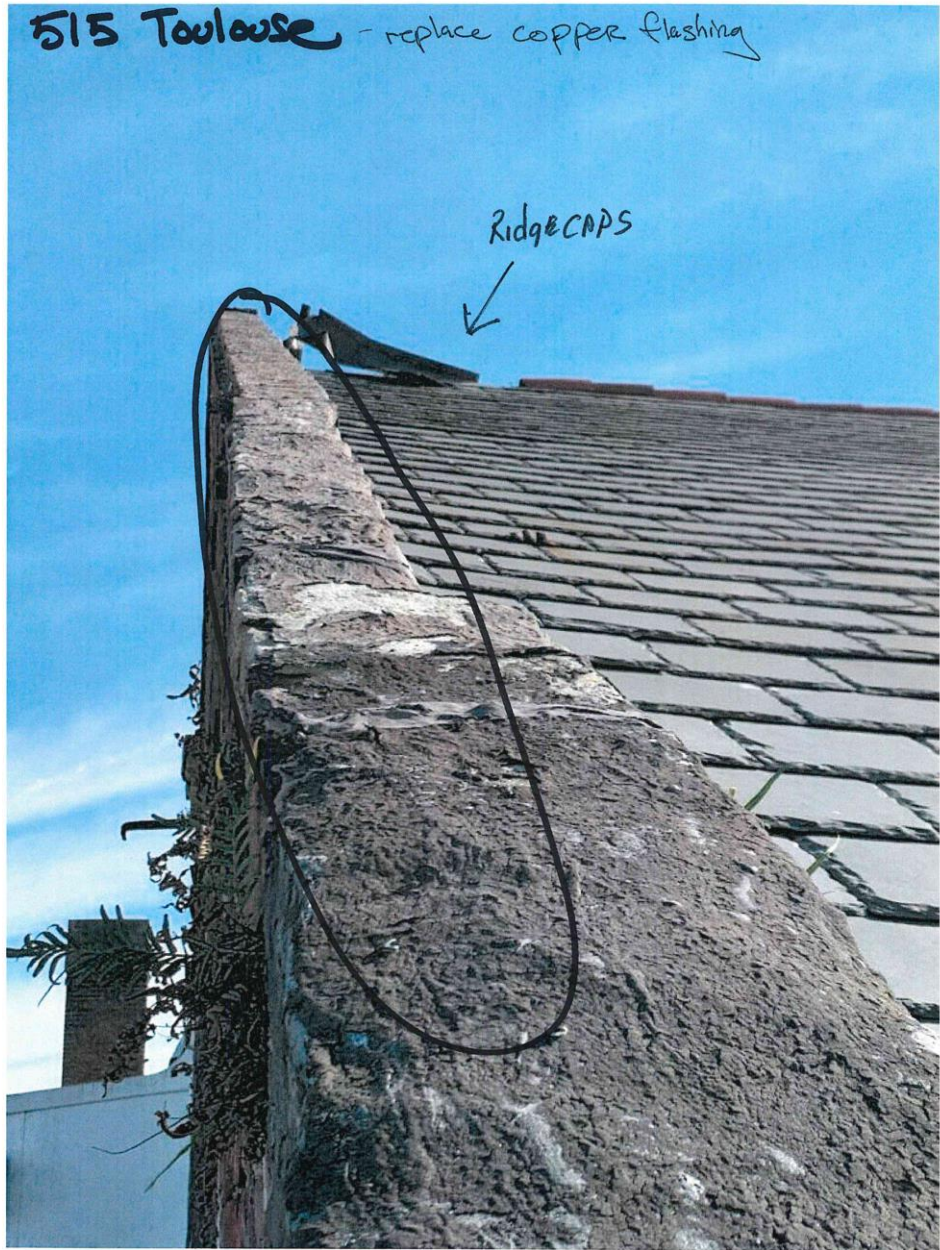
515 Toulouse

VCC Architecture Committee

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515 Toulouse





516 WILKINSON - replace copper flashing  
- replace missing slate  
- replace missing ridgecaps



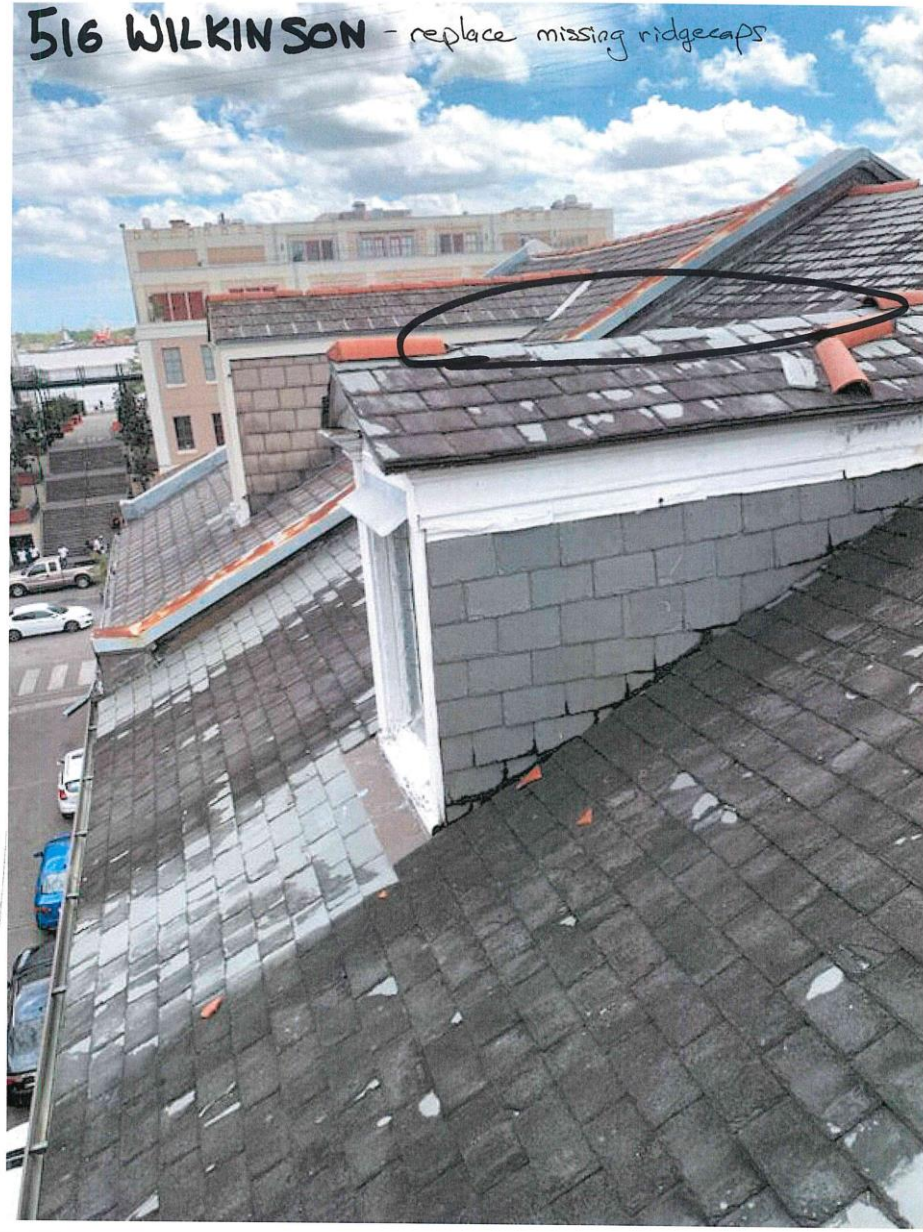
515 Toulouse

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516 WILKINSON - replace missing ridgecaps



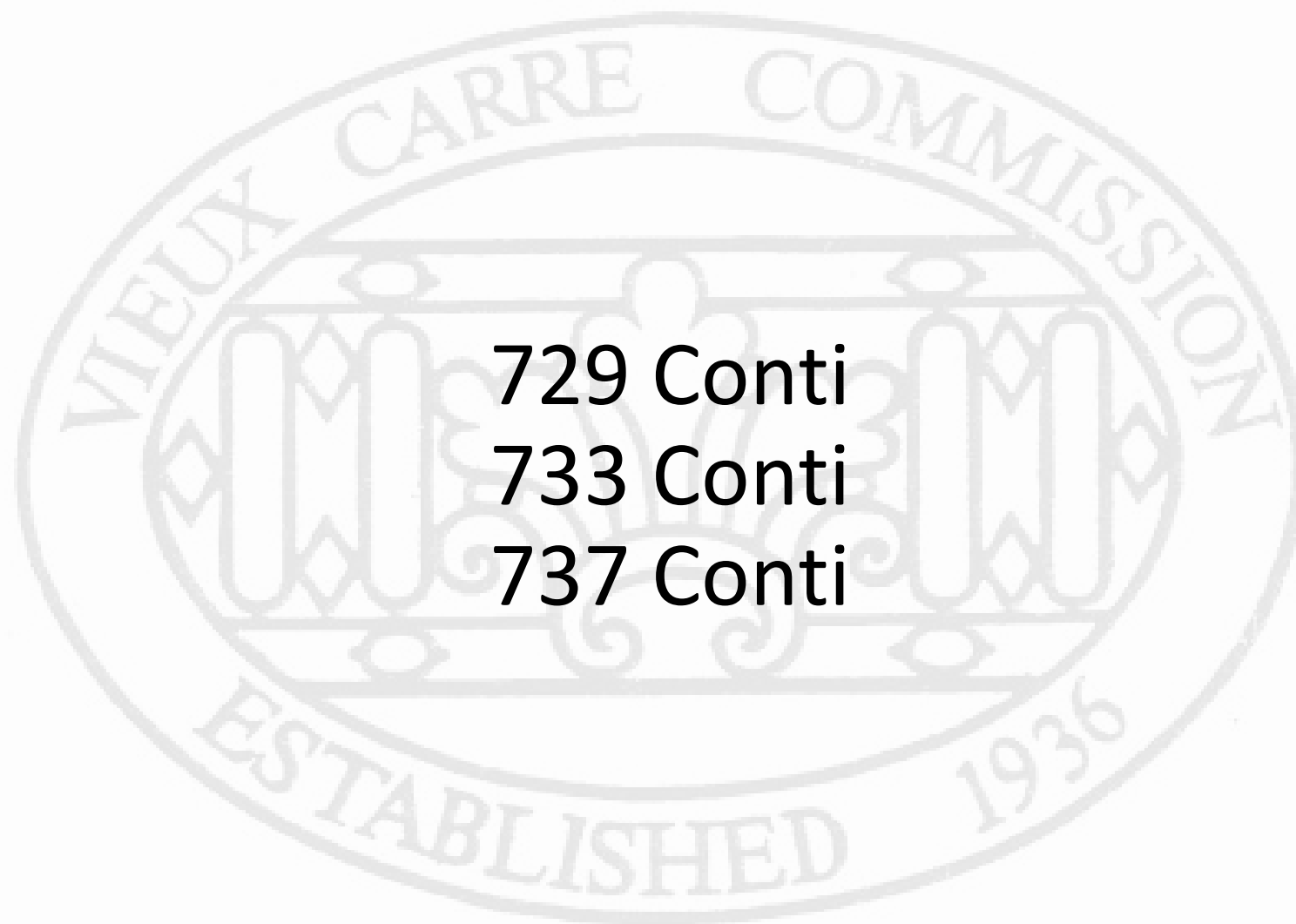
515 Toulouse

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729 Conti

733 Conti

737 Conti



729-31 Conti

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April 11, 2023







729-37 Conti

VCC Architecture Committee

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729-37 Conti

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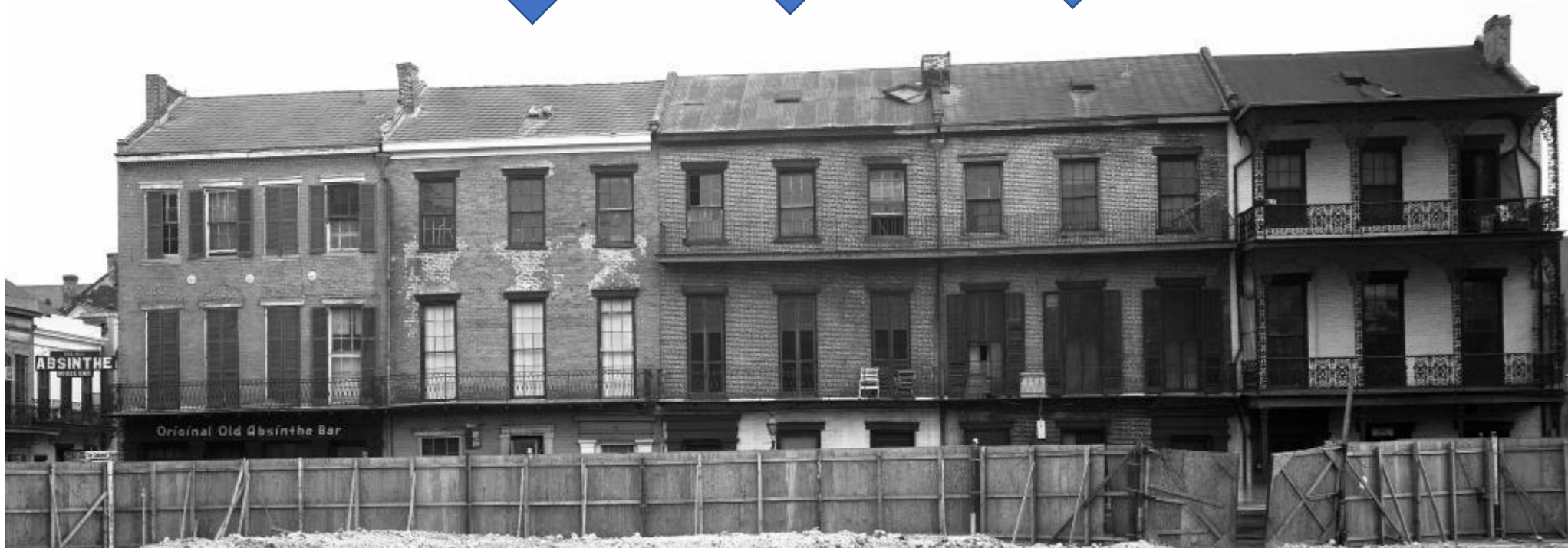


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729-31 Conti

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729-31 Conti

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729-35 Conti

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729-37 Conti

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VICINITY MAP



PROJECT INFO

**OWNER**  
CAJUN CUISINE LLC  
5828 MARCIA AVE  
NEW ORLEANS, LA 70124

**APPLICANT**  
WEBRE CONSULTING  
2131 BIENVILLE ST  
NEW ORLEANS, LA 70112  
(504) 605-3699

GENERAL NOTES

1. THE SCOPE IN THIS SUBMITTAL COMPRISES PHASE 1 OF THE RESOLUTIONS OF VCC VIOLATIONS, ADDRESSING THE LIFE SAFETY DEFICIENCIES/CONCERNS AS IDENTIFIED BY THE VCC STAFF, AS WELL AS ALL OTHER VIOLATIONS .
2. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS ON SITE BEFORE ANY CONSTRUCTION WORK IS STARTED. ALL DISCREPANCIES SHALL BE REPORTED TO THE APPLICANT.
3. NO WORK SHALL COMMENCE UNTIL ALL NECESSARY VCC PERMITS HAVE BEEN OBTAINED.
4. NO WORK OR ORDERING OF MATERIAL MAY BE STARTED UNTIL ALL DIMENSIONED ITEMS HAVE BEEN RESOLVED.
5. NO EXTRA CHARGE OF COMPENSATION WILL BE ALLOWED ON ACCOUNT OF ANY DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS WHICH MAY BE FOUND AS INDICATED ON THE DRAWINGS.
6. THE CONTRACTOR SHALL ASSUME FULL AND UNDIVIDED RESPONSIBILITY FOR THE ACCURACY, FIT, AND STABILITY OF ALL PARTS OF THE WORK.
7. NO PLANS SHALL BE SCALED; DIMENSIONS SHALL BE USED.
8. ALL LABOR, MATERIALS AND INSTALLATIONS MUST COMPLY WITH THE CODES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCY WHICH EXISTS BETWEEN THE REQUIREMENTS BY THE PLANS, SPECIFICATIONS, SAID CODES, RULES AND REGULATIONS, SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE APPLICANT, IN WRITING FOR RESOLUTION.
9. IF ANY CHANGE IN THE PLANS AND / OR SPECIFICATIONS OCCURS AS A RESULT OF THE REQUIREMENTS OF THE LIFE SAFETY CODE (NFPA 101) OR ANY OTHER AUTHORITIES HAVING JURISDICTION AFTER THE SUBMISSIONS OF BIDS, THEN THE BIDDERS WILL BE GIVEN THE OPPORTUNITY TO ADJUST THEIR BIDS, IF NECESSARY, ONLY FOR THE CHANGE. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION OF EXISTING WORK AND NEWLY ADDED WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS.
11. THE CONTRACTOR SHALL REPAIR AND RESTORE TO ITS ORIGINAL CONDITION ALL WORK AND ITEMS DAMAGED AS A RESULT OF BUILDING OPERATIONS AND SHALL LEAVE THE WORK COMPLETED TO THE TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
12. ANY DISTURBANCE OR DAMAGE TO THE EXISTING BUILDINGS OR UTILITIES RESULTING EITHER DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THIS CONTRACT SHALL BE PROMPTLY REPAIRED, RESTORED OR REPLACED TO THE SATISFACTION OF THE APPLICANT AT NO ADDITIONAL COST TO THE OWNER. ALL REPAIR WORK MUST BE REVIEWED AND APPROVED BY THE VCC.



REVISIONS		
No.	Description	Date

SHEET INDEX

	Sheet Number	Sheet Name	Sheet Issue Date
1	A0.0	TITLE SHEET	05/26/2023
2	A1.0	SITE PLAN	05/26/2023
3	A2.0	FACADE ELEVATIONS	05/26/2023
4	A3.0	BUILDING SECTIONS	05/26/2023
5	A4.0	ADDITIONAL DETAILS + SCREENING	06/27/2023
6	A5.0	HVAC SCHEDULE + PHOTOS	06/27/2023
7	A6.0	FIRST FLOOR PHOTO KEY	05/30/2023
8	A7.0	SECOND FLOOR PHOTO KEY	05/30/2023
9	A8.0	THIRD FLOOR PHOTO KEY	05/30/2023

PROPERTY INFO

**PARCEL IDS**  
737-CONTIST  
733-CONTIST  
729-CONTIST

**TAX IDS**  
206102719  
206102720  
206102721

**ZONING DISTRICT**  
VCC-2 VIEUX CARRE COMMERCIAL

**FUTURE LAND USE**  
MU-HC MIXED USE HISTORIC CORE

**INTERIM ZONING DISTRICTS**  
RESIDENTIAL SHORT TERM RENTAL IZD  
BED AND BREAKFAST IZD

**HISTORIC DISTRICTS**  
VIEUX CARRE LOCAL HISTORIC DISTRICT  
VIEUX CARRE NATIONAL REGISTER DISTRICT

FACADE IMAGES



737-739 CONTI

733 CONTI

729 CONTI

**OCEANA GRILL - VCC VIOLATIONS PH 1 + 2**  
Resolution of Life Safety Issues, Work without Permit, and Demolition by Neglect Violations  
729, 733, and 739 Conti St. | New Orleans, LA 70130

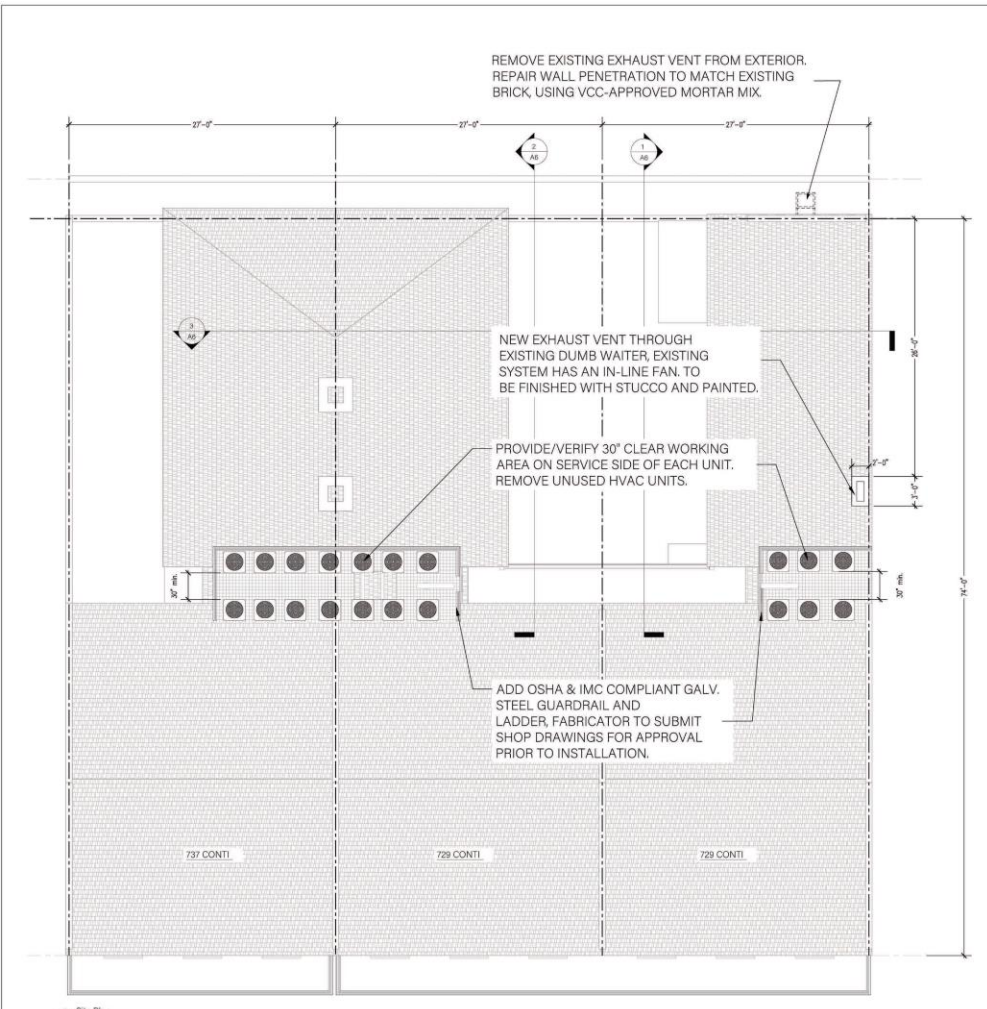


TITLE SHEET

Client ID: TOG - 739 Conti  
Date: 5/26/23  
Drawn by: RFP  
Checked by: KD

A0.0

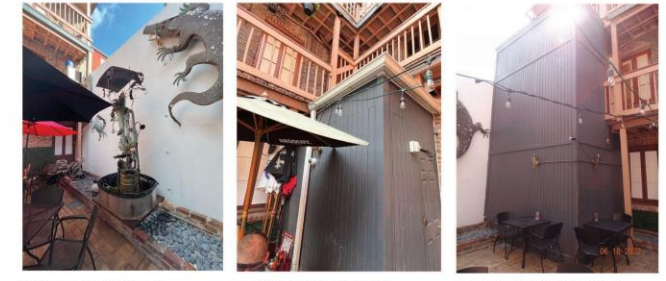




1 Site Plan  
3/16" = 1'-0"

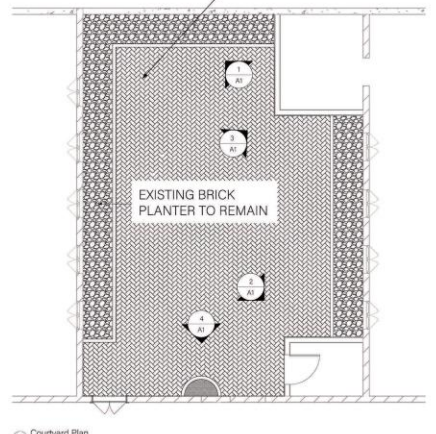
**KEYNOTES:**

- REMOVE INAPPROPRIATE LIGHTING AND REPLACE WITH VCC APPROVED FIXTURE. SUBMIT CUT SHEET FOR APPROVAL.
- REPLACE PLYWOOD SIDING ON IN-FILL STRUCTURE WITH WOOD LAP SIDING OVER BUILDING WRAP, PROVIDE WD. CORNER BOARDS.
- ALL WOOD TO BE PRIMED AND PAINTED WITH COLOR APPROVED BY VCC STAFF.
- REMOVE AND REPLACE ALL GUTTERS WITH HALF-ROUND
- GUTTERS AND ROUND DOWNSPOUTS. NO GUTTERS TO BE RE-INSTALLED AT
- BALCONIES, ROOF LINE ONLY.
- RETAIN SECURITY CAMERA AS INSTALLED.
- REMOVE ALL ABANDONED CONDUIT, WIRING AND PVC.
- REPAIR/REPOINT ANY DAMAGED/MISSING/INAPPROPRIATELY MODIFIED MORTAR AND/OR STUCCO USING VCC-APPROVED MIX.



- 1 REAR CMU COURTYARD WALL**
  - RETAIN EXISTING PLANTER AND ROCK MATERIAL
  - REMOVE INAPPROPRIATE FOUNTAINS
  - REMOVE WALL HANGINGS, REPAIR WALL PENETRATIONS WITH STUCCO + PAINT TO MATCH EXISTING
- 2 EXISTING COURTYARD ADDITION**
  - RETAIN EXISTING FOOTPRINT AND FRAMING
  - REMOVE ALL EXISTING SIDING AND REPLACE WITH HORIZONTAL WOOD SIDING. PAINT TO BE APPROVED BY VCC STAFF
  - REMOVE INAPPROPRIATE GUTTERS AND DOWNSPOUTS, REPLACE WITH HALF-ROUND GUTTER + ROUND DOWNSPOUT IN GALVANIZED METAL
- 3 EXISTING COURTYARD ADDITION**
  - RETAIN EXISTING FOOTPRINT AND FRAMING
  - REMOVE ALL EXISTING SIDING AND REPLACE WITH HORIZONTAL WOOD SIDING. PAINT TO BE APPROVED BY VCC STAFF
  - INSTALL HALF-ROUND GUTTER + ROUND DOWNSPOUT IN GALVANIZED METAL

REMOVE INAPPROPRIATE EXISTING PAVING MATERIAL, REPLACE WITH TRADITIONAL BRICK LAID IN HERRINGBONE PATTERN. MORTAR SHALL BE APPROPRIATE TO MASONRY HARDNESS, PER VCC'S GUIDELINES FOR EXTERIOR MASONRY



2 Courtyard Plan  
3/16" = 1'-0"

**VCC-APPROVED MORTAR MIX**

- 1 PART (MAXIMUM) PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX

**VCC-APPROVED STUCCO MIX**

SCRATCH COAT + BROWN COAT

- 1 PART (MAXIMUM) PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND
- 6 LBS / CUBIC YARDS OF HAIR OR FIBER
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX

FINISH COAT:

- 1 PART (MAXIMUM) PORTLAND CEMENT
- 3 PARTS LIME
- 9 PARTS SAND
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX



- 4 EXISTING FOUNTAIN**
  - RETAIN EXISTING APPROXIMATELY 2' X 4' FOUNTAIN



REVISIONS

No.	Description	Date

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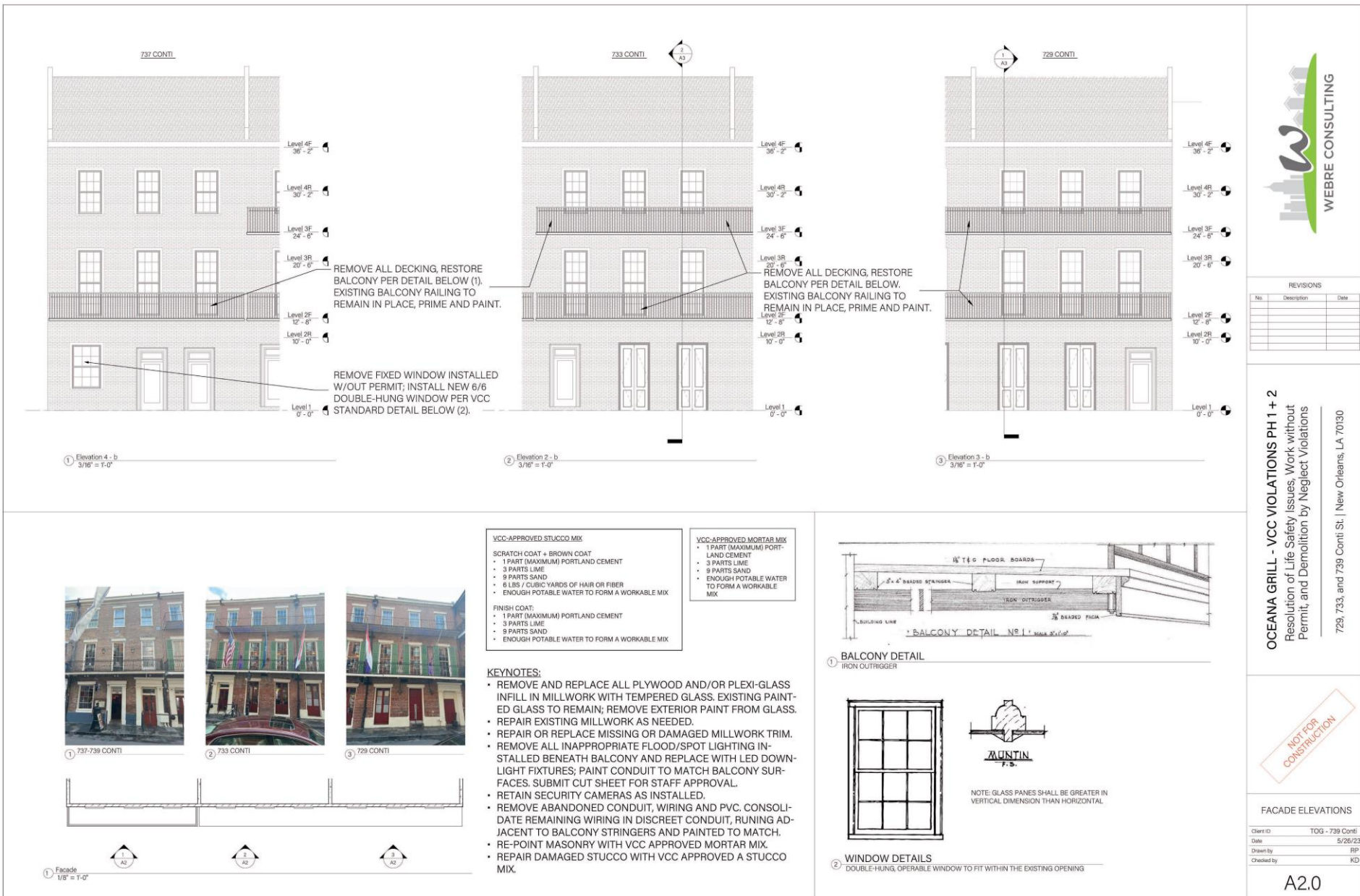
**SITE + COURTYARD PLAN**

Client ID: TOG - 739 Conti  
Date: 5/26/23  
Drawn by: RP  
Checked by: KD

A1.0





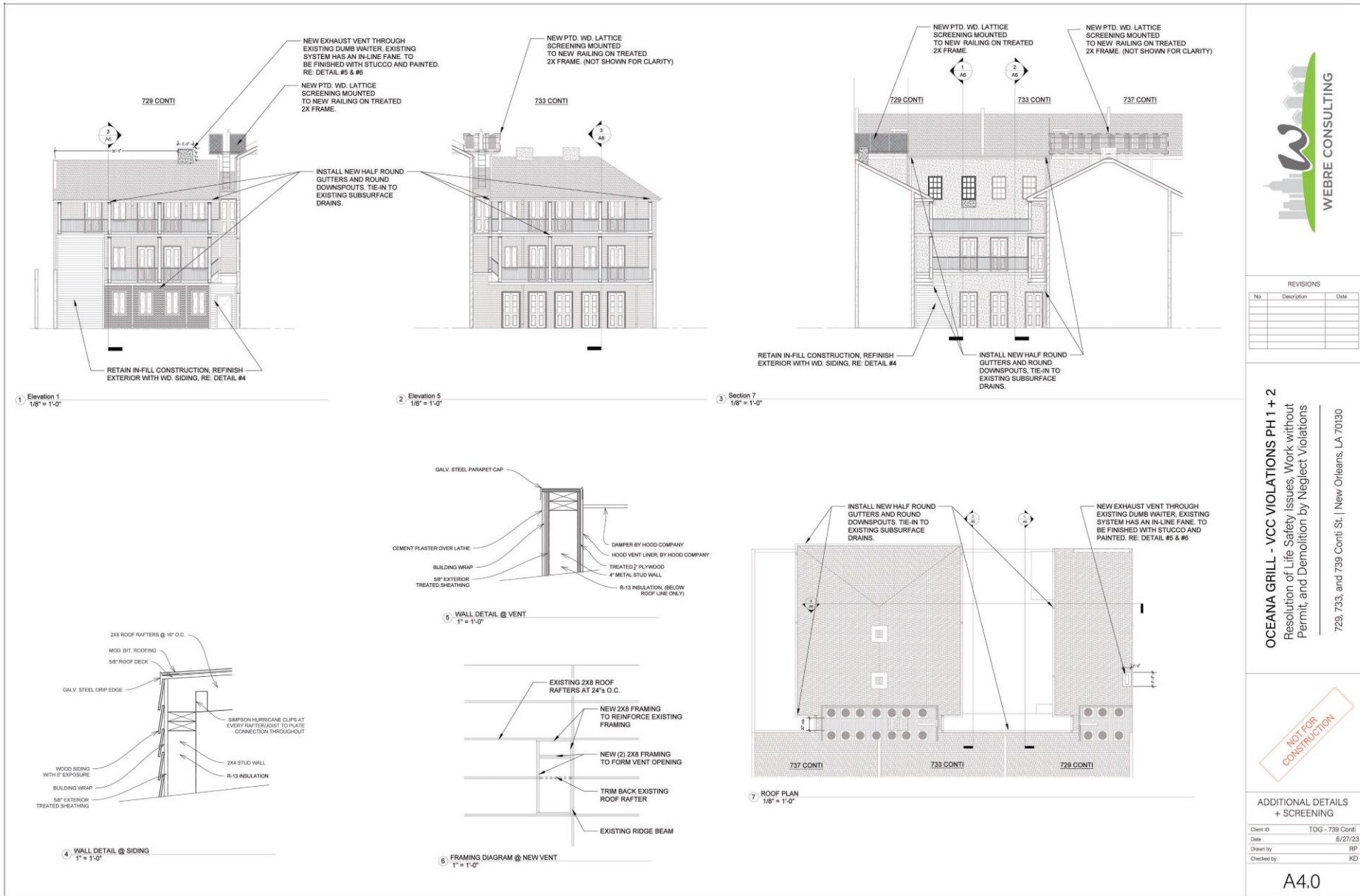


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NOT FOR CONSTRUCTION

ADDITIONAL DETAILS + SCREENING

Client ID: TOG - 739 Conti  
 Date: 6/27/23  
 Drawn by: RP  
 Checked by: KD

A4.0



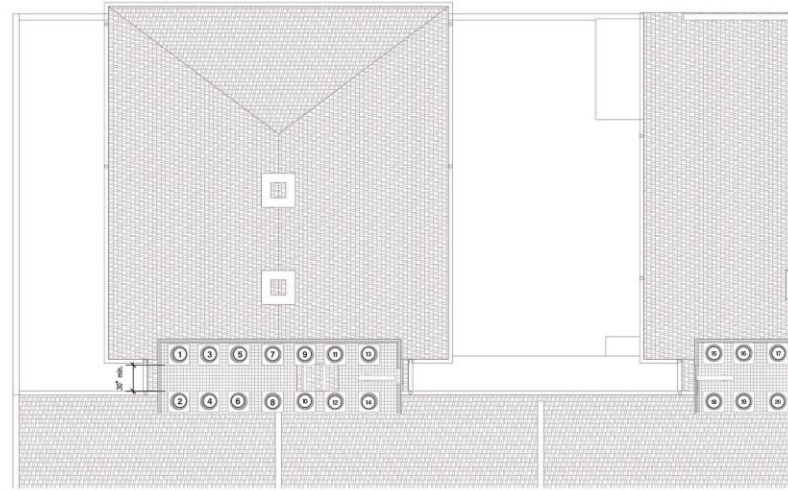
HVAC SCHEDULE

733 & 737 CONTI

	MAKE	MODEL	TONNAGE	DECIBEL LEVEL
1	TEMPSTAR	MODEL-NXA424GKC101	2 TONS	50-70 DECIBELS
2	DAIKIN	MODEL-DX13SA0603AD	5 TONS	60-70 DECIBELS
3	TRANE	MODEL-2TTB0060A1000AA	5 TONS	60-70 DECIBELS
4	GOODMAN	MODEL-GSCI30603BA	2 TONS	50-70 DECIBELS
5	GOODMAN	MODEL-GSCI30603BA	5 TONS	60-70 DECIBELS
6	GOODMAN	MODEL-GSCI30481A6	4 TONS	60-70 DECIBELS
7	GOODMAN	MODEL-GSCI30603BB	5 TONS	60-70 DECIBELS
8	LENNOX	MODEL-13ACX-060-230-17	5 TONS	60-70 DECIBELS
9	GOODMAN	MODEL-GSX130603AA	5 TONS	60-70 DECIBELS
10	CARRIER	MODEL-24ACC460A300	5 TONS	60-70 DECIBELS
11	CRANE	MODEL-2TWA0060A3000AB	5 TONS	60-70 DECIBELS
12	CARRIER	MODEL-24ACC460A300	5 TONS	60-70 DECIBELS
13	TRANE	MODEL-2TTB0060A1000AA	5 TONS	60-70 DECIBELS
14	GOODMAN	MODEL-GSCI30481A6	4 TONS	60-70 DECIBELS

729 CONTI

	MAKE	MODEL	TONNAGE	DECIBEL LEVEL
15	TRENTON	MODEL-TESA090L6HT3BF	7.5 TONS	80-90 DECIBELS
16	ICP	MODEL-24ACC460A300	5 TONS	60-70 DECIBELS
17	ICP	MODEL-24ACC460A300	5 TONS	60-70 DECIBELS
18	RHEEM	MODEL-RA1436JJINA	3 TONS	50-70 DECIBELS
19	LENNOX	MODEL-TSA06054N44Y	5 TONS	60-70 DECIBELS
20	LENNOX	MODEL-TSA06054N44Y	5 TONS	60-70 DECIBELS



IMAGES



REVISIONS		
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HVAC PHOTOS + SCHEDULE

Client ID TOG - 739 Conti  
 Date 6/27/23  
 Drawn by KD  
 Checked by KD

A5.0



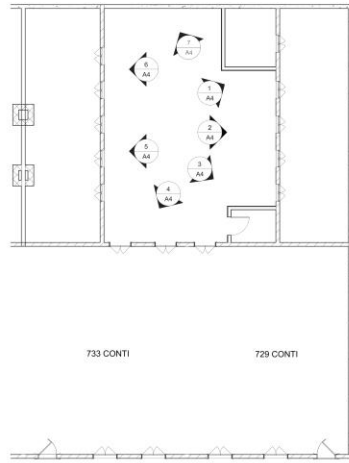




1 Photo



3 Photo



First Floor Key  
1/8" = 1'-0"



2 Photo



4 Photo



5 Photo



6 Photo



7 Photo

**KEY NOTES:**

1. REMOVE AND REPLACE ALL PLYWOOD AND PLEXI-GLASS INFILL IN MILLWORK WITH TEMPERED GLASS. EXISTING PAINTED TO REMAIN, REMOVE EXTERIOR PAINT.
2. REPAIR EXISTING MILLWORK AS NEEDED.
3. REPLACE IN APPROPRIATE OR ILL FITTING MILLWORK. SUBMIT SHOP DRAWINGS FOR APPROVAL.
4. REPAIR OR REPLACE MISSING OR DAMAGED MILLWORK TRIM.
5. REMOVE INAPPROPRIATE LIGHTING AND REPLACE WITH VCC APPROVED FIXTURE. SUBMIT CUT SHEET FOR APPROVAL.
6. REPLACE PLYWOOD SIDING ON IN-FILL STRUCTURE WITH WOOD LAP SIDING OVER BUILDING WRAP. PROVIDE WD. CORNER BOARDS. ALL WOOD PRIMED AND PAINTED.
7. REMOVE INAPPROPRIATE PLANTER/FOUNTAIN.
8. REMOVE AND REPLACE ALL GUTTERS WITH HALF-ROUND GUTTERS AND ROUND DOWNSPOUTS. NO GUTTERS TO BE REINSTALLED AT BALCONIES, ROOF LINE ONLY.
9. REMOVE AND REPLACE CHIMNEY CAP FLASHING WITH APPROPRIATE CAP. VCC TO APPROVE FINAL DETAILS.
10. REMOVE STEEL HOIST, INSTALL MISSING MILLWORK. SUBMIT SHOP DRAWINGS FOR APPROVALS.
11. REMOVE PAVERS, INSTALL HERRINGBONE BRICK PAVERS.
12. RETAIN SECURITY CAMERA AS INSTALLED.
13. REMOVE ABANDONED CONDUIT, WIRING AND PVC.
14. RE-POINT MASONRY WITH VCC APPROVED MORTAR MIX.
15. REPAIR DAMAGED STUCCO WITH VCC APPROVED A STUCCO MIX.



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**FIRST FLOOR PHOTOS**

Client ID TOG - 739 Conti  
Date 5/26/23  
Drawn by RFP  
Checked by KD

A7.0





1 Photo



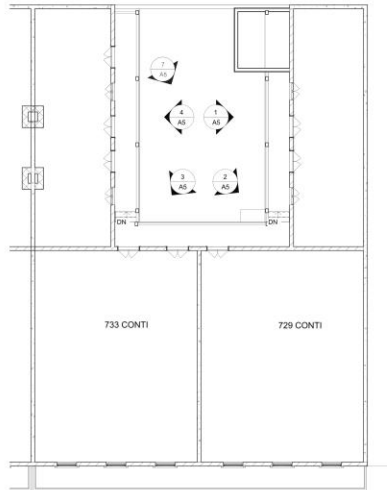
2 Photo



3 Photo



4 Photo



Second Floor  
1/8" = 1'-0"



5 Photo

KEY NOTES:

1. REMOVE AND REPLACE ALL PLYWOOD AND PLEXI-GLASS INFILL IN MILLWORK WITH TEMPERED GLASS. EXISTING PAINTED TO REMAIN, REMOVE EXTERIOR PAINT.
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10. REMOVE STEEL HOIST, INSTALL MISSING MILLWORK. SUBMIT SHOP DRAWINGS FOR APPROVALS.
11. REMOVE PAVERS, INSTALL HERRINGBONE BRICK PAVERS.
12. RETAIN SECURITY CAMERA AS INSTALLED.
13. REMOVE ABANDONED CONDUIT, WIRING AND PVC.
14. RE-POINT MASONRY WITH VCC APPROVED MORTAR MIX.
15. REPAIR DAMAGED STUCCO WITH VCC APPROVED A STUCCO MIX.



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SECOND FLOOR PHOTOS

Client ID: TOG - 739 Conti  
Date: 5/26/23  
Drawn by: RP  
Checked by: KD

A8.0



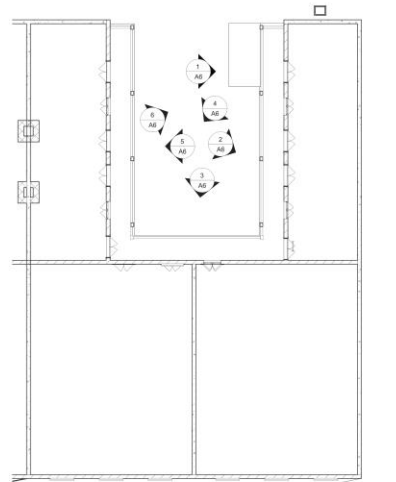




1 Photo



3 Photo



Level SR  
18' x 1'-0"



2 Photo



4 Photo



5 Photo



6 Photo

**KEY NOTES:**

1. REMOVE AND REPLACE ALL PLYWOOD AND PLEXI-GLASS INFILL IN MILLWORK WITH TEMPERED GLASS. EXISTING PAINTED TO REMAIN, REMOVE EXTERIOR PAINT.
2. REPAIR EXISTING MILLWORK AS NEEDED.
3. REPLACE IN INAPPROPRIATE OR ILL FITTING MILLWORK. SUBMIT SHOP DRAWINGS FOR APPROVAL.
4. REPAIR OR REPLACE MISSING OR DAMAGED MILLWORK TRIM.
5. REMOVE INAPPROPRIATE LIGHTING AND REPLACE WITH VCC APPROVED FIXTURE. SUBMIT CUT SHEET FOR APPROVAL.
6. REPLACE PLYWOOD SIDING ON IN-FILL STRUCTURE WITH WOOD LAP SIDING OVER BUILDING WRAP, PROVIDE WD. CORNER BOARDS. ALL WOOD PRIMED AND PAINTED.
7. REMOVE INAPPROPRIATE PLANTER/FOUNTAIN.
8. REMOVE AND REPLACE ALL GUTTERS WITH HALF-ROUND GUTTERS AND ROUND DOWNSPOUTS. NO GUTTERS TO BE REINSTALLED AT BALCONIES, ROOF LINE ONLY.
9. REMOVE AND REPLACE CHIMNEY CAP FLASHING WITH APPROPRIATE CAP. VCC TO APPROVE FINAL DETAILS.
10. REMOVE STEEL HOIST, INSTALL MISSING MILLWORK, SUBMIT SHOP DRAWINGS FOR APPROVALS.
11. REMOVE PAVERS, INSTALL HERRINGBONE BRICK PAVERS.
12. RETAIN SECURITY CAMERA AS INSTALLED.
13. REMOVE ABANDONED CONDUIT, WIRING AND PVC.
14. RE-POINT MASONRY WITH VCC APPROVED MORTAR MIX.
15. REPAIR DAMAGED STUCCO WITH VCC APPROVED A STUCCO MIX.
16. REMOVE INAPPROPRIATE PARAPET CAP FLASHING; RESTORE PER VCC GUIDELINES.



REVISIONS

No.	Description	Date

**OCEANA GRILL - VCC VIOLATIONS PH 1 + 2**

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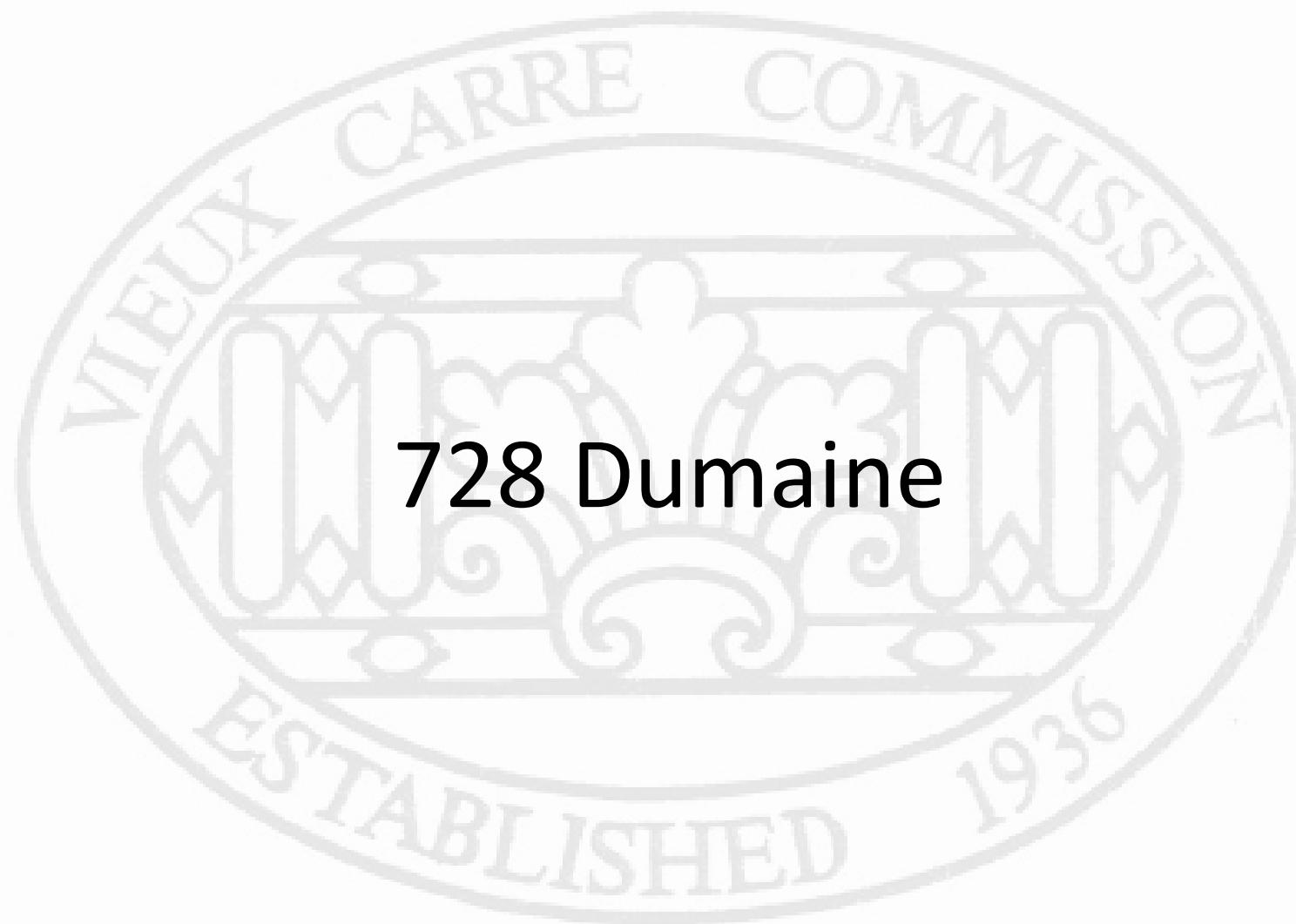


THIRD FLOOR PHOTOS

Client ID	TOG - 739 Conti
Date	5/26/23
Drawn by	RP
Checked by	KD

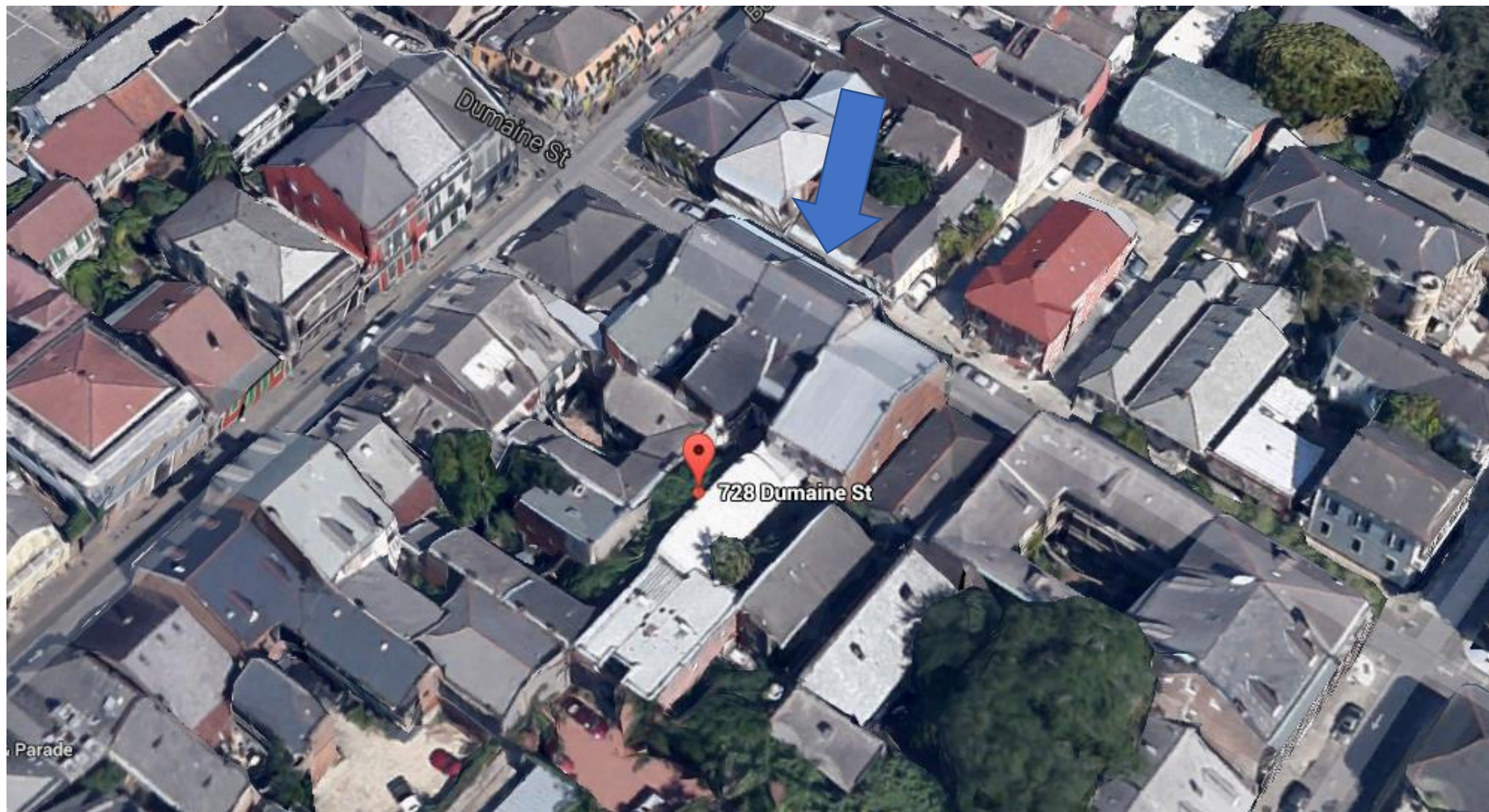
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**728 Dumaine**





728 Dumaine





728 Dumaine





Title: 728 Dumaine  
Date: 05/28/1964

press x to close

728 Dumaine



728 Dumaine





728 Dumaine







06 24 2021