



Vieux Carré Commission Architecture Committee Meeting

Tuesday, September 12, 2023

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center features a stylized architectural design with vertical columns, decorative scrolls, and a central fleur-de-lis-like motif.

Old Business

The seal of the Vieux Carre Commission is an oval emblem. The outer ring contains the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom. The center features a stylized architectural design with vertical columns and a central decorative element.

726 St Peter

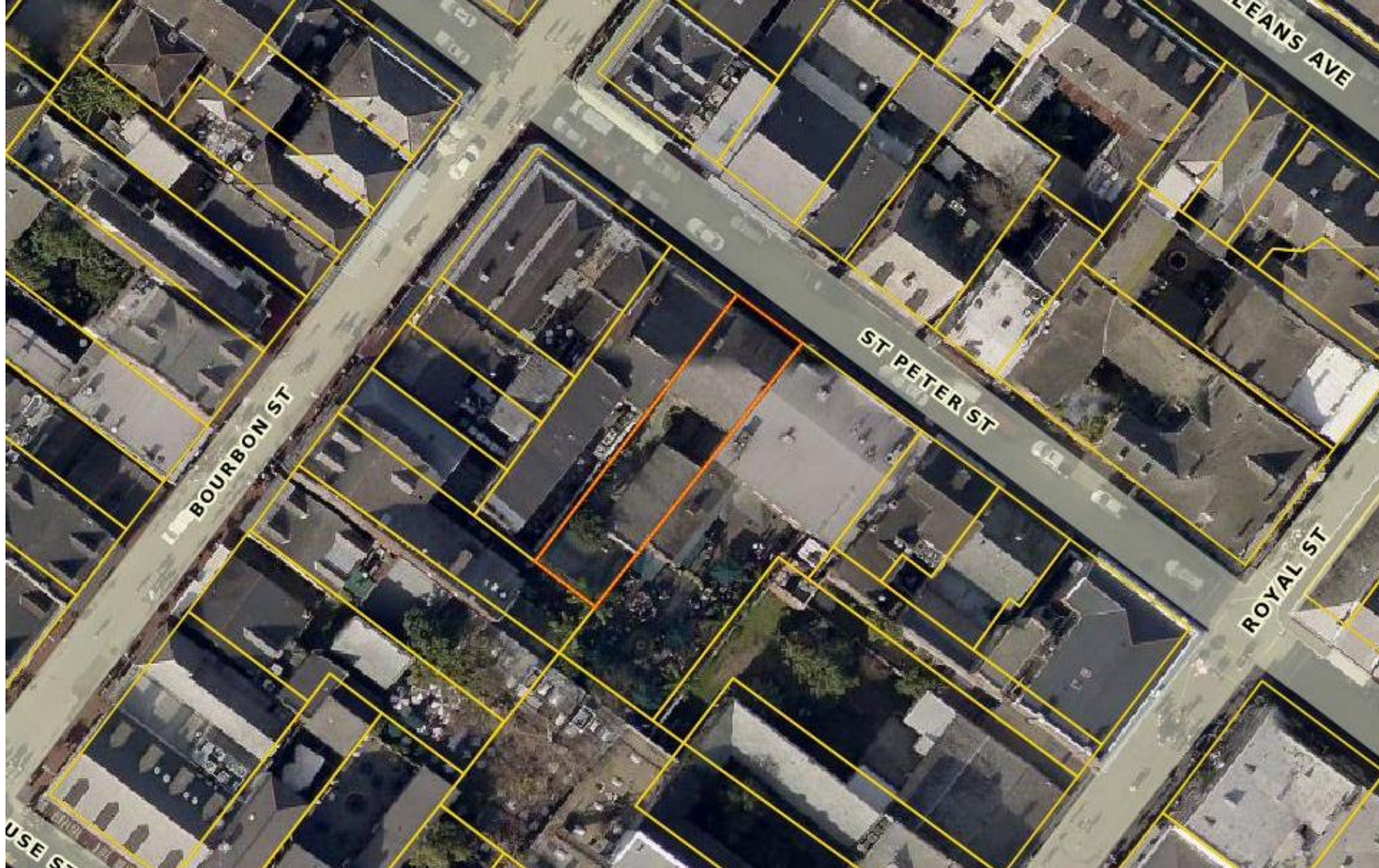


726 St. Peter

VCC Architectural Committee

March 14, 2023



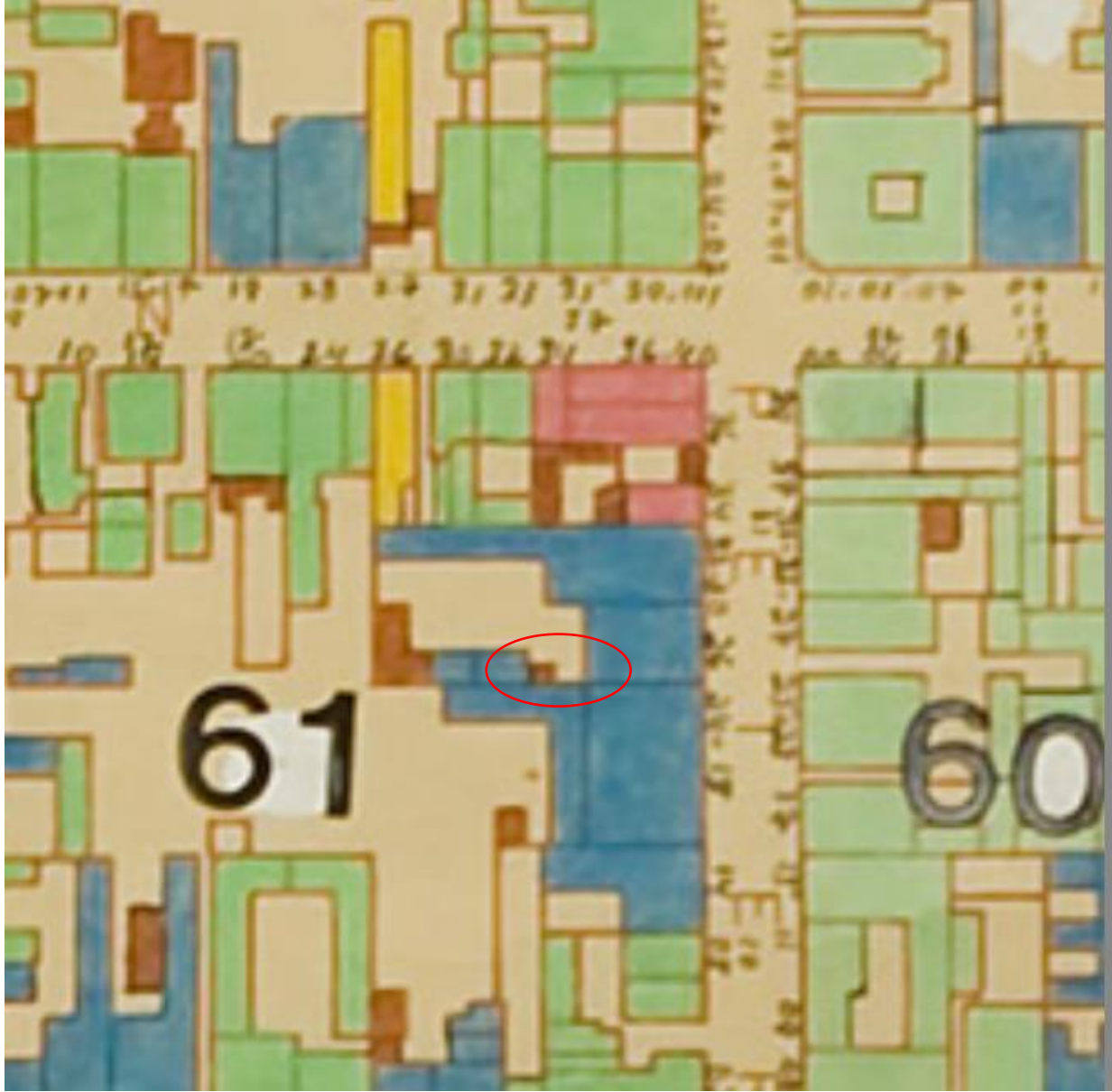


726 St. Peter

VCC Architectural Committee

March 14, 2023





726 St. Peter

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March 14, 2023



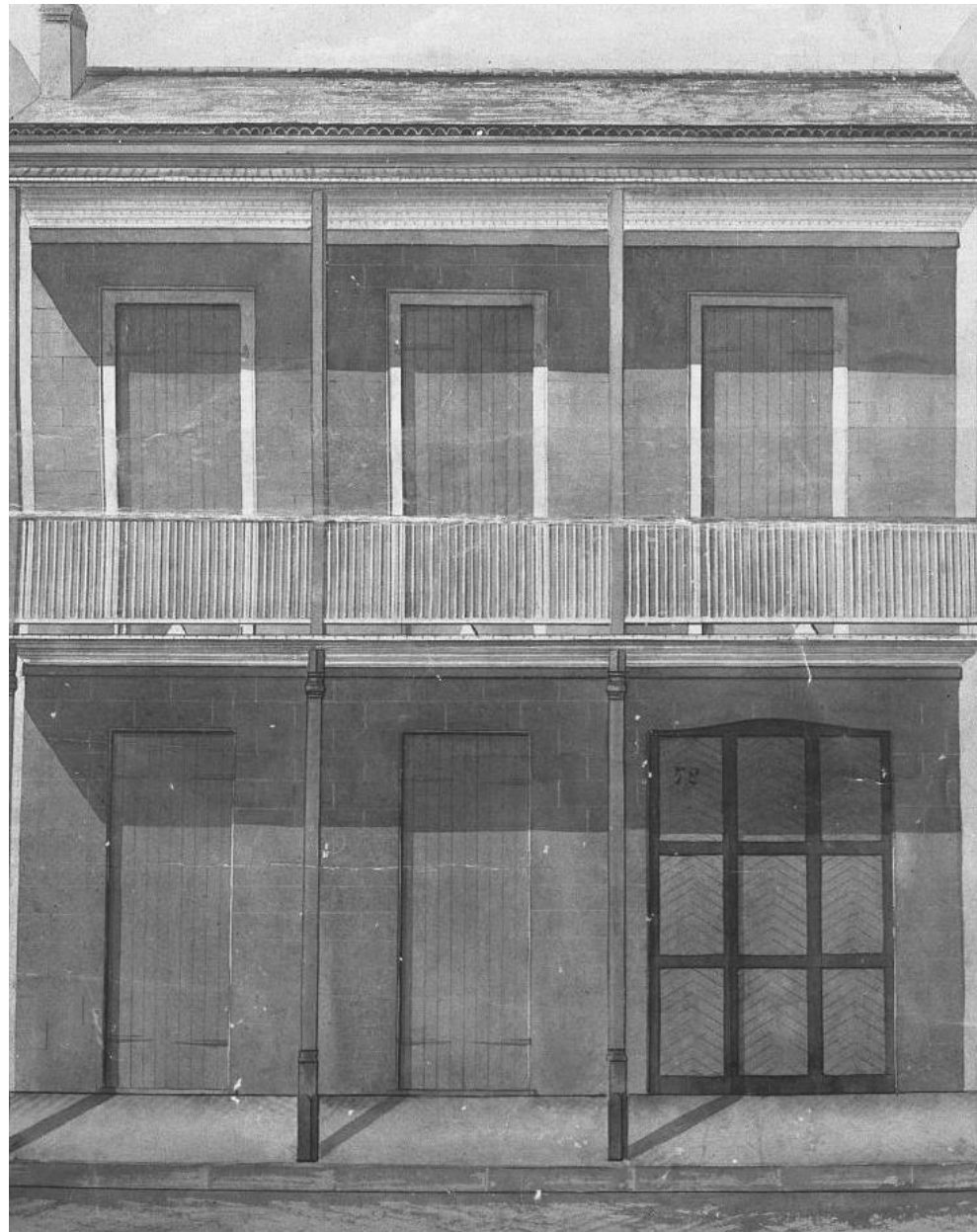


726 St. Peter (1866)

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March 14, 2023





726 St. Peter (1872)

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726 St. Peter (c. 1900)

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726 St. Peter (courtyard - 1972)

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726 St. Peter (1963)

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726 St. Peter (2010)



726 St. Peter

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Feb 16, 2023 11:24:50 AM

726 St. Peter

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March 14, 2023





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March 14, 2023



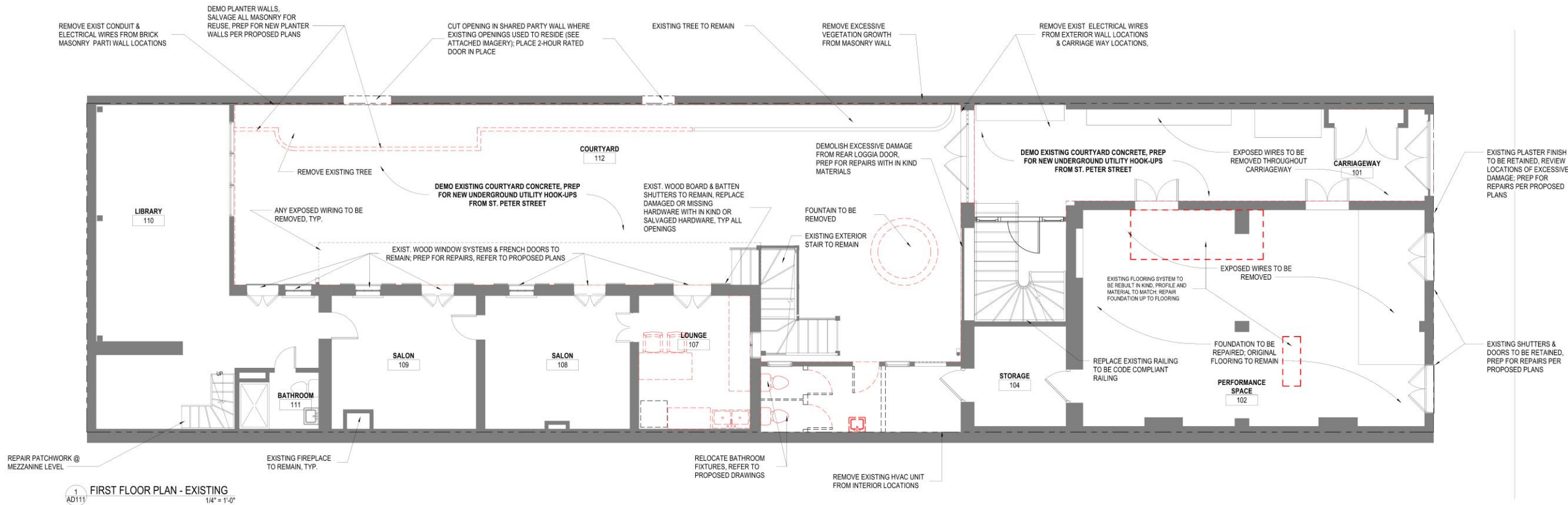


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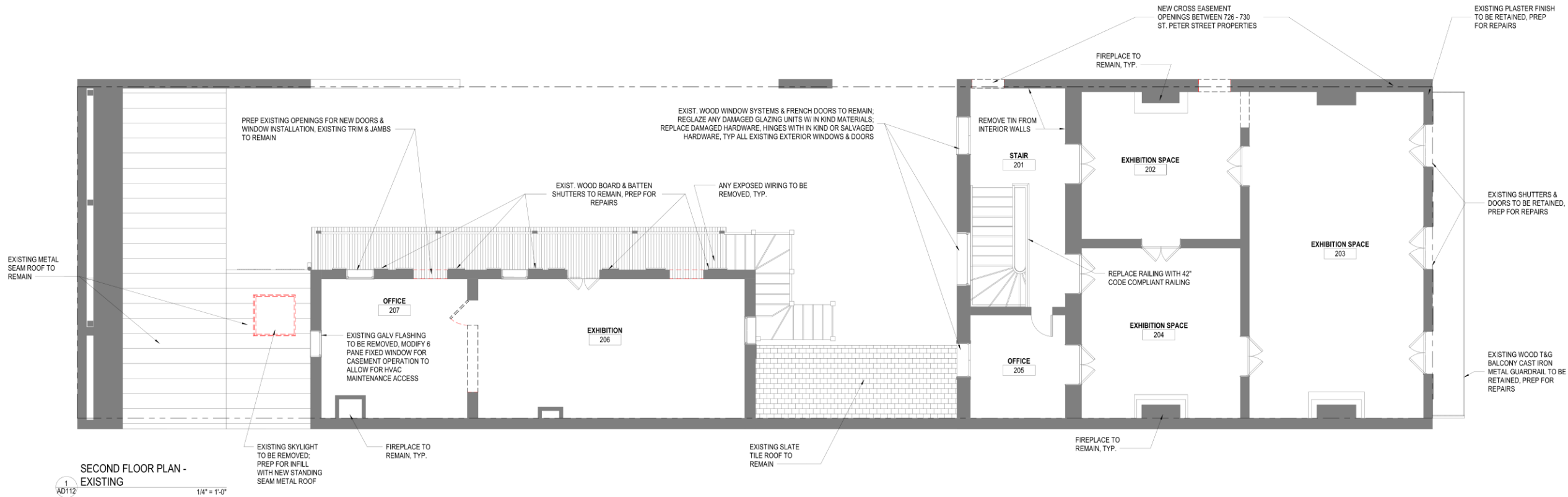


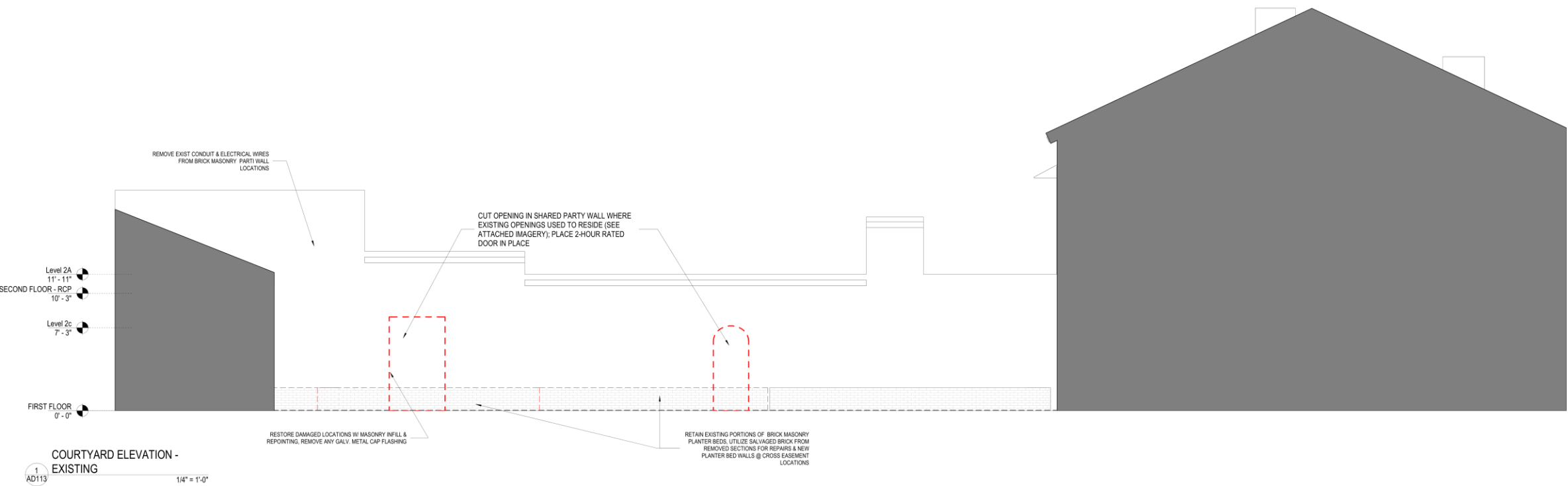
726 St. Peter

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March 14, 2023





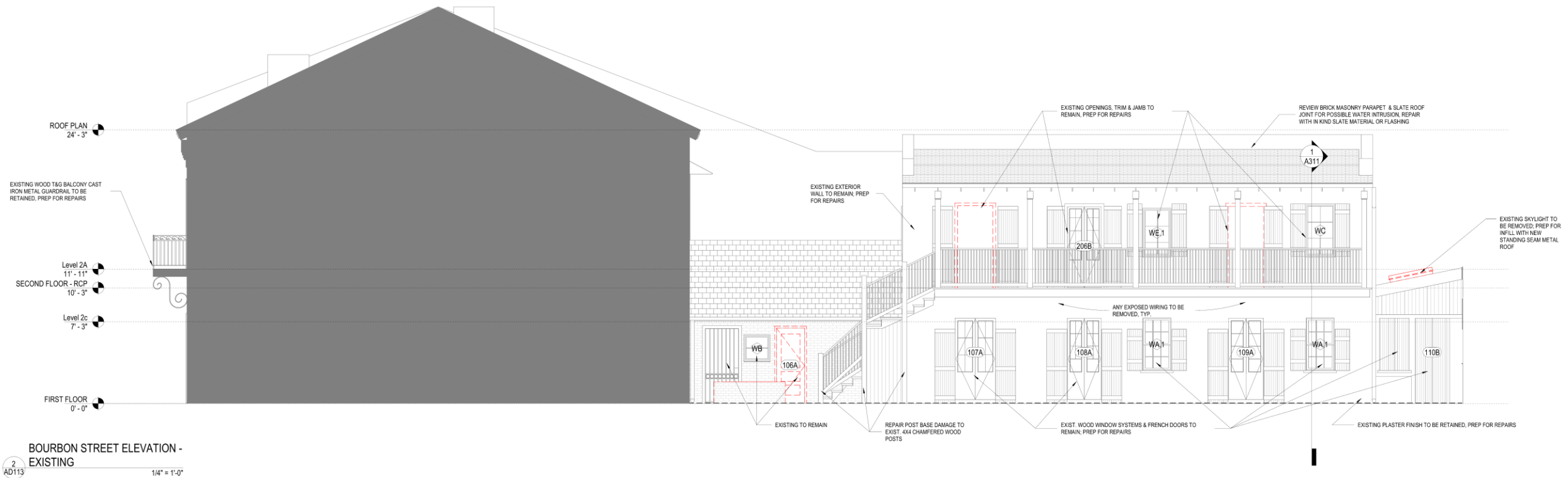


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March 14, 2023



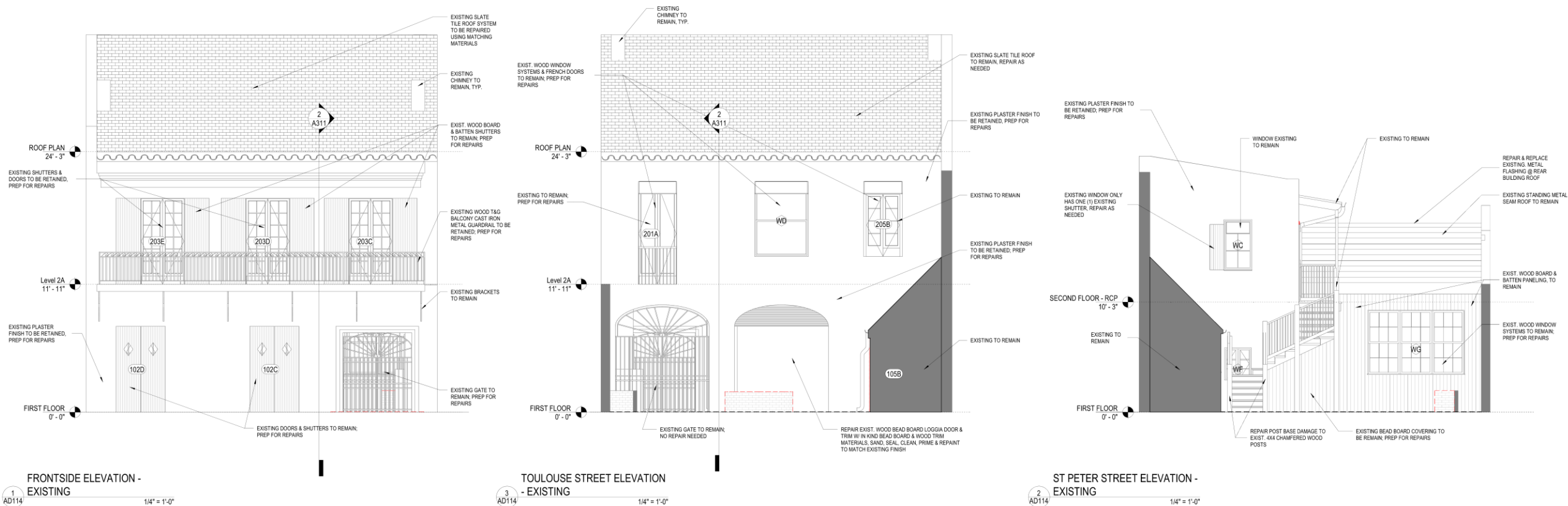


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VCC Architectural Committee

March 14, 2023





DOOR SCHEDULE NEW CONSTRUCTION										
MARK	NUMBER	WIDTH	HEIGHT	THICKNESS	PANEL TYPE	FIRE RATING	DESCRIPTION	FRAME TYPE	FRAME MATERIAL	NOTES
0A	20BA	3'-2"	7'-2"	0'-1 1/4"	NEW CONSTRUCTION	NA	DOUBLE FRENCH DOORS W/ LAMINATED GLAZING	WD-1	WOOD	NEW DOOR IN EXISTING OPENING. MATCH EXISTING WOOD TYPE OF EXISTING ADJACENT DOORS
0A	20BAM	2'-10"	6'-6"	0'-2"	NEW CONSTRUCTION	NA	SINGLE FLUSH-SOLID OAK WOOD DOOR, PTD	WD-1	WOOD	NEW DOOR IN EXISTING OPENING. MATCH EXISTING WOOD TYPE OF EXISTING ADJACENT DOORS
0A	20TA	3'-2"	7'-2"	0'-1 1/4"	NEW CONSTRUCTION	NA	DOUBLE FRENCH DOORS W/ LAMINATED GLAZING	WD-1	WOOD	NEW DOOR IN EXISTING OPENING. MATCH EXISTING WOOD TYPE OF EXISTING ADJACENT DOORS

NEW DOOR NOTE: GC TO PROVIDE MOCK UP OF NEW EXTERIOR WOOD DOORS TO VERIFY WOOD SPECIES PRIOR TO SELECTION/PURCHASE/MILLING. GC TO REVIEW OPTIONS FOR SPANISH CEDAR, RECLAIMED PINE FROM SALVAGED 730 ST PETER BEAMS AND CYPRESS. ALL EXTERIOR WOOD DOORS TO BE EXPOSED, NON-PAINTED WOOD

9. ALL GLAZING IN NEW WINDOWS AND DOORS TO BE LAMINATED GLAZING LOW-E GLASS.
10. PROVIDE GLAZING SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
11. GENERAL CONTRACTOR TO PROVIDE DOWNS AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
12. GENERAL CONTRACTOR TO PROVIDE DOWNS AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
13. GENERAL CONTRACTOR TO PROVIDE DOWN, WINDOW AND COVERED SHUTTER SHY DRAWINGS BY MILLSHOP TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
14. VCC TO GET PRICE FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
15. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER-REPELLENT, PRESERVATIVE TREATED
16. ALL WINDOWS AND DOORS TO BE LAMINATED GLAZING LOW-E GLASS.
17. GENERAL CONTRACTOR TO FIELD VEYRER WORK REQUIRED ON ALL SHUTTERS, EXTERIOR DOORS, AND WINDOW HINDS WITH GLAZING SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
18. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENINGS WILL MILLSHOP SHY DRAWINGS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
19. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
20. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
21. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.

DOOR JAMB DETAIL - DOOR DA

DOOR JAMB DETAIL - DOOR DB

DOOR JAMB DETAIL - DOOR DC

DOOR JAMB DETAIL - DOOR DF

1 DOOR JAMB DETAILS
1 1/2" x 1'-0"

DOOR TYPE - DA
EXISTING DOOR W/ REPAIRS

2 DOOR JAMB DETAILS
1 1/2" x 1'-0"

DOOR TYPE - DB
EXISTING DOOR W/ REPAIRS

3 DOOR JAMB DETAILS
1 1/2" x 1'-0"

DOOR TYPE - DC
EXISTING DOOR W/ REPAIRS

4 DOOR JAMB DETAILS
1 1/2" x 1'-0"

DOOR TYPE - DF
EXISTING DOOR W/ REPAIRS

5 Door Detail Sections
1 1/2" x 1'-0"

DOOR TYPE - DA
EXISTING DOOR W/ REPAIRS

WILLIAMS ARCHITECTS
824 BARKANE STREET
NEW ORLEANS, LA 70113
504-566-0888
WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by the architect for the purpose of providing a guide to the construction of the project. The architect assumes no responsibility for the construction of the project. The contractor is responsible for the construction of the project.

PROJECT SET FOR
CONSTRUCTION

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Joni Williams Architects LLC

PRESERVATION HALL
726 ST PETER STREET
NEW ORLEANS, LA 70112

-REVISIONS-		
No.	Date	Scope

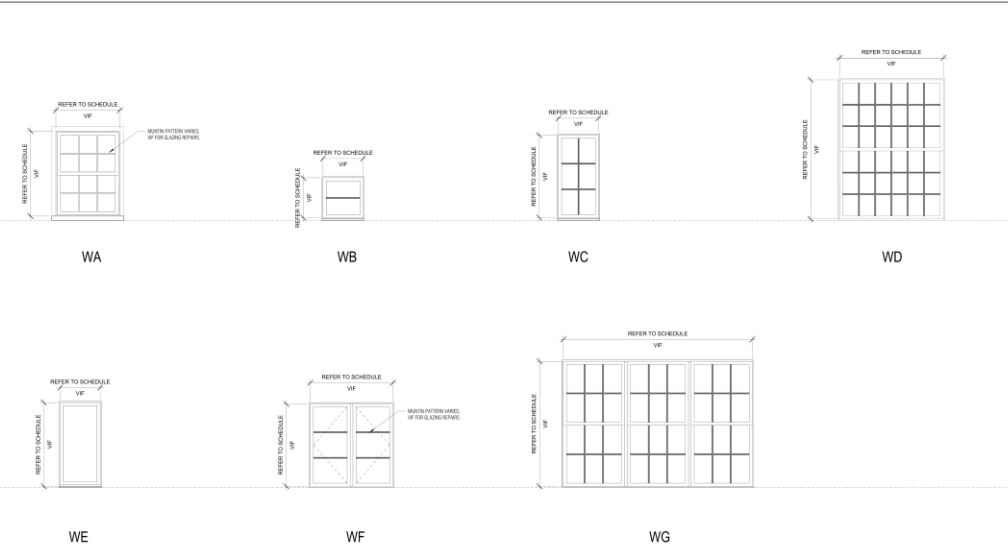
DRAWING
DOOR DETAILS

<small>DRAWING BY: JWB/ML</small>	<small>Author 1 1/2" x 1'-0"</small>
<small>DATE: 08/25/2023</small>	<small>10/08/23</small>
<small>Sheet No:</small>	

A081







WINDOW SCHEDULE									
MARK	Mark	DESCRIPTION	OPERATION	R.O. WIDTH	R.O. HEIGHT	QTY	PHASE	CREATED	COMMENTS
WA	101	DOUBLE HUNG W/ 3 OVER 3 MUNTIN PATTERN	OPERABLE	2'-7 1/2"	4'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA.1	102	DOUBLE HUNG W/ 3 OVER 3 MUNTIN PATTERN	FIXED	2'-6"	4'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA.1	103	DOUBLE HUNG W/ 3 OVER 3 MUNTIN PATTERN	FIXED	2'-6"	4'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA.2	104	DOUBLE OPERABLE W/ 2X2 MUNTIN PATTERN	OPERABLE	3'-5"	2'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA.2	105	DOUBLE OPERABLE W/ 2X2 MUNTIN PATTERN	OPERABLE	3'-5"	2'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WA.3	106	SINGLE HUNG FIXED	FIXED	2'-7"	3'-7 1/2"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WB	107	SINGLE HUNG FIXED	FIXED	2'-4"	2'-4"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WB	108	SINGLE HUNG FIXED	FIXED	2'-4"	2'-4"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WC	109	SINGLE FIXED W/ 2X3 MUNTIN PATTERN	FIXED	2'-7 1/2"	4'-8"	1	NEW		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WD	110	SINGLE FIXED W/ 2X3 MUNTIN PATTERN	FIXED	2'-7 1/2"	4'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WD	111	DOUBLE HUNG W/ 6X3 MUNTIN PATTERN	OPERABLE	5'-0"	6'-8"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WE	112	SINGLE HUNG FIXED WINDOW	FIXED	2'-6"	6'-0"	1	EXISTING		EXISTING WINDOW TO TRANSITION TO ALLOW OPERABLE OPENING.
WE.1	113	SINGLE FIXED W/ 2X3 MUNTIN PATTERN	FIXED	2'-6"	4'-3 1/2"	1	NEW		NEW WINDOW TO BE INSTALLED IN EXISTING OPENING.
WE.2	114	SINGLE FIXED 12 LITE TRANSOM	FIXED	5'-0"	2'-0"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WF	115	FRENCH OPERABLE W/ 1X3 MUNTIN PATTERN	OPERABLE	2'-6"	3'-0"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.
WG	116	TRIPLE DOUBLE HUNG W/ 3X2 MUNTIN PATTERN	OPERABLE	8'-0"	6'-0"	1	EXISTING		REPAIR/REPLACE EXCESSIVE DAMAGED WOOD SASHES AS NEEDED. REPAIR ALL CASING TO MATCH ORIGINAL.

NEW WINDOW NOTE: GC TO PROVIDE MOCK-UP OF NEW EXTERIOR WINDOWS TO VERIFY WOOD SPECIES PRIOR TO SELECTION PURCHASE/MILLING. GC TO REVIEW OPTIONS FOR SPANISH CEDAR, RECLAIMED PINE FROM SALVAGED 730 ST PETER BEAMS, AND CYPRESS. ALL EXTERIOR WOOD WINDOWS TO BE EXPOSED, NON-PAINTED WOOD.

- DOOR, WINDOW, AND SHUTTER GENERAL NOTES
1. ALL GLAZING IN NEW WINDOWS AND DOORS TO BE LAMINATED GLAZING LOW-E CLEAR
 2. PROVIDE GLAZING SAMPLE TO OWNER AND ARCHITECT FOR VCC STAFF REVIEW PRIOR TO PURCHASE.
 3. GENERAL CONTRACTOR TO PROVIDE DOOR AND WINDOW SUBMITTAL TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PURCHASE. EXTERIOR DOORS & WINDOWS TO BE RE-VEINED & APPROVED BY VCC THROUGH ANCH. PRIOR TO PURCHASE.
 4. GENERAL CONTRACTOR TO PROVIDE DOOR, WINDOW, AND (LOUVERED) SHUTTER SHOP DRAWINGS BY MILLSHOP TO ARCHITECT & VCC FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
 5. ALL EXTERIOR WOOD WINDOWS AND DOORS TO BE WATER-REPELLENT, PRESERVATIVE-TREATED
 6. ALL WINDOWS AND DOORS TO BE PAINTED
 7. GENERAL CONTRACTOR TO FIELD VERIFY THROW REQUIRED ON ALL SHUTTERS, EXTERIOR DOOR, AND WINDOW HINGES TO ALLOW FOR 180 DEGREE OPENING EXCEPT FOR DOOR IS ADJACENT TO WALL OR GUARDRAIL
 8. GENERAL CONTRACTOR TO COORDINATE ALL BLOCKING AT DOOR AND WINDOW OPENINGS WILL MILLSHOP SHOP DRAWINGS AND DIMENSIONS.
 9. GENERAL CONTRACTOR TO COORDINATE ALL HARDWARE SELECTION AND FINISHES WITH OWNER, ARCHITECT & VCC PRIOR TO PURCHASE.
 10. GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS FOR ALL FIRE RATED DOORS AND FIRE RATED FRAMES TO ARCHITECT PRIOR TO PURCHASE. PRIOR SPEC FOR EXTERIOR FIRE RATED DOORS TO VCC THROUGH ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.



WILLIAMS ARCHITECTS
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These drawings and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional architect under the laws of the State of Louisiana. I will not be providing expert consultation or administrative services on this project.

PENDING SET FOR CONSTRUCTION

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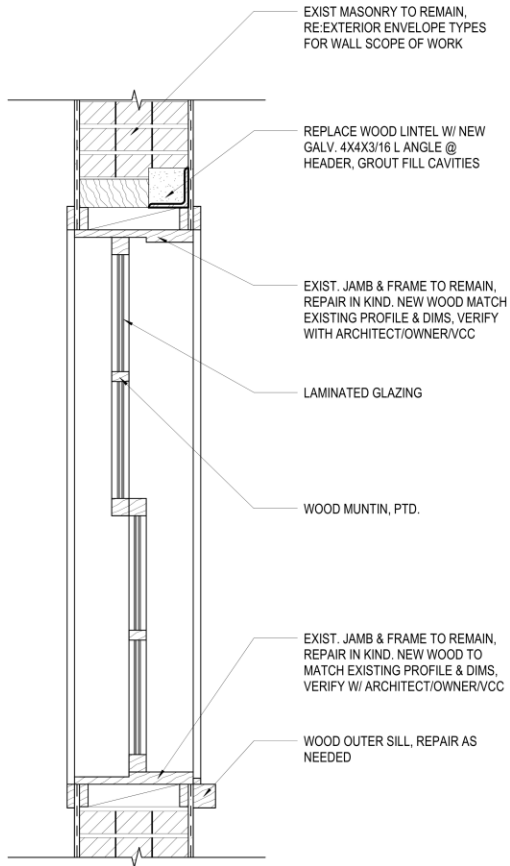
PRESERVATION HALL
726 ST PETER STREET
NEW ORLEANS, LA 70112

-REVISIONS-		
No.	Date	Scope

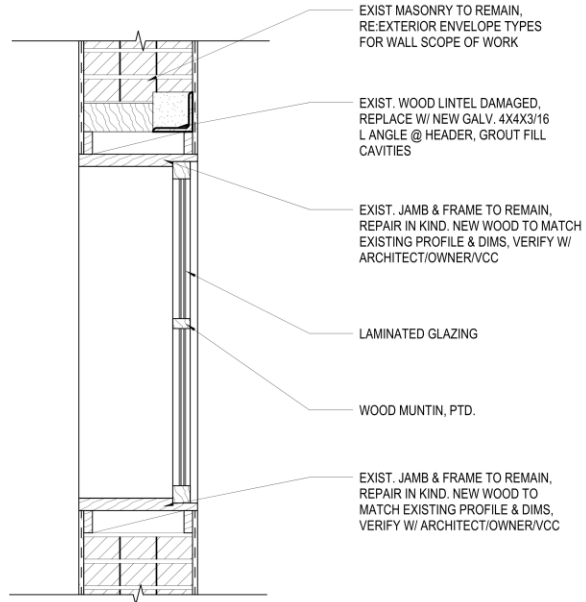
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DRAWING BY: Author
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Sheet No.: **A085**

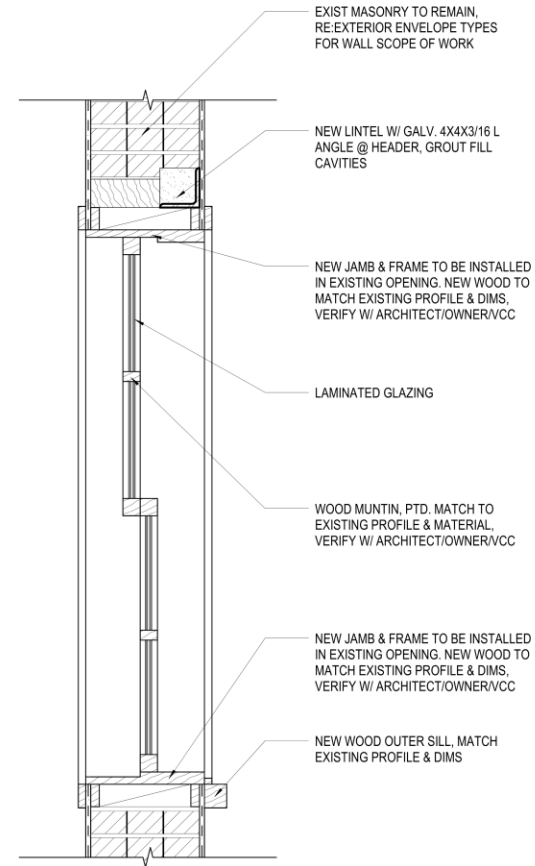




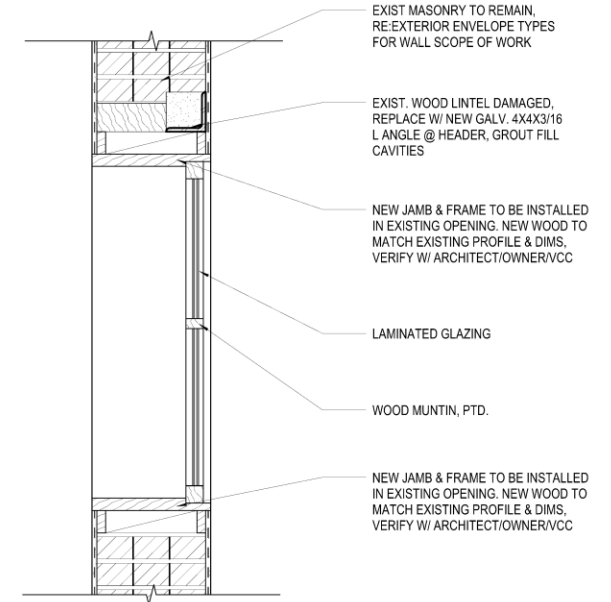
WINDOW TYPE - EXISTING WA



WINDOW TYPE - EXISTING WB



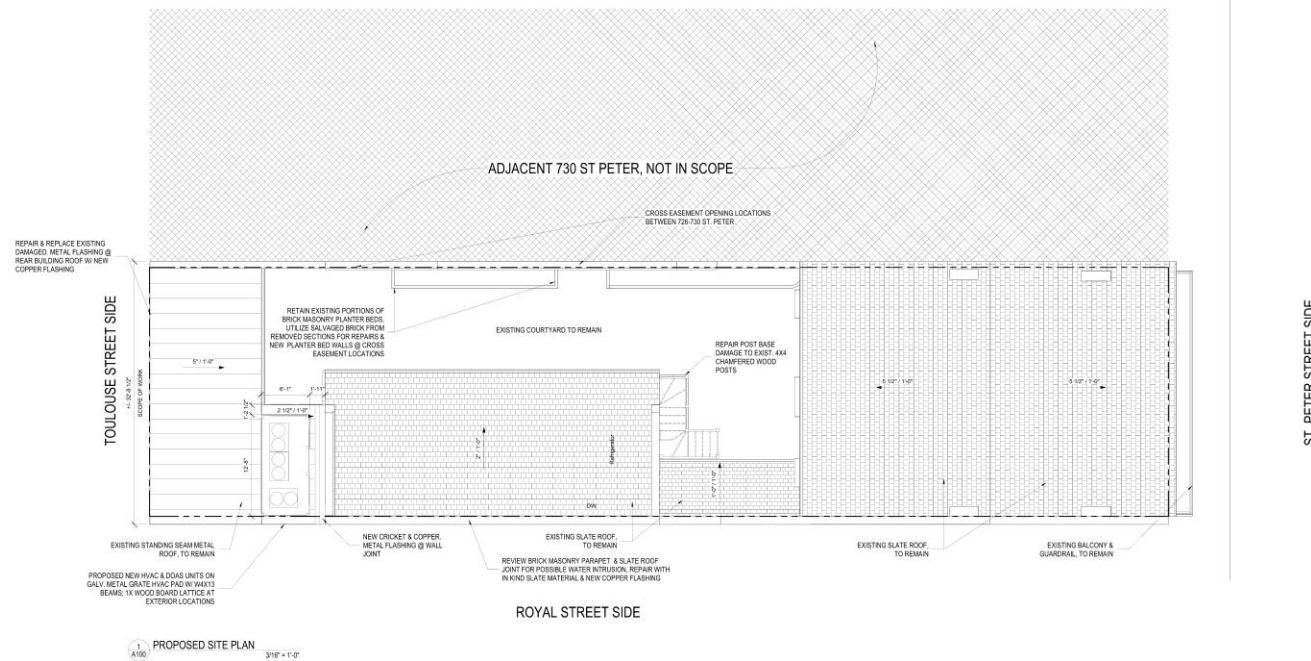
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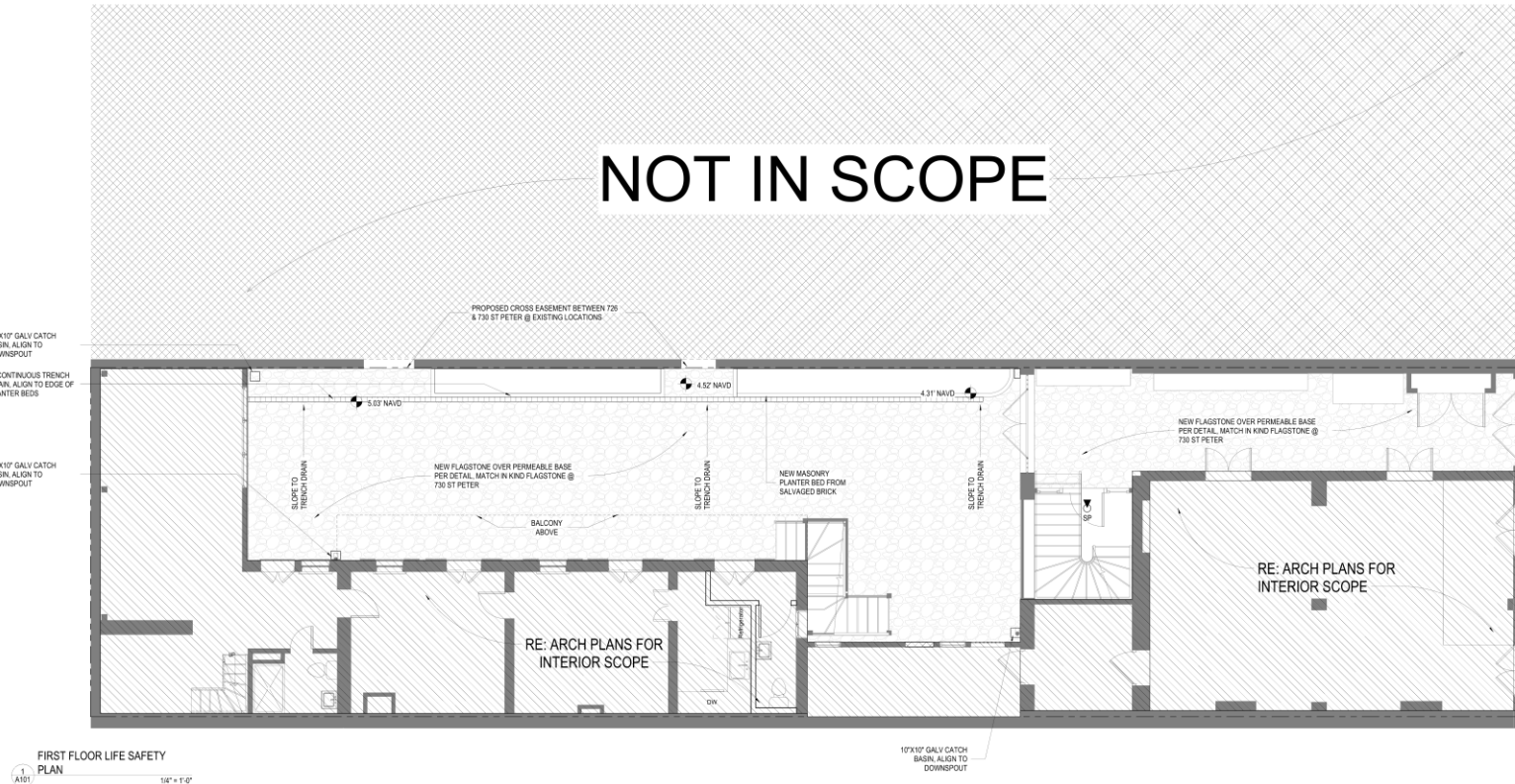
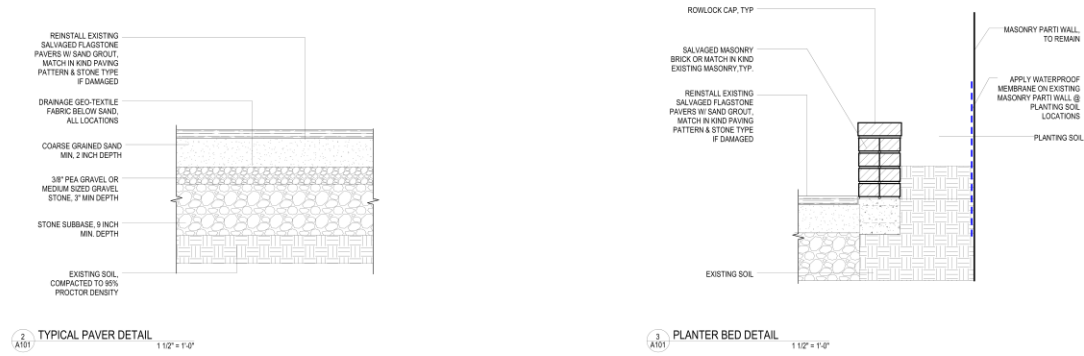


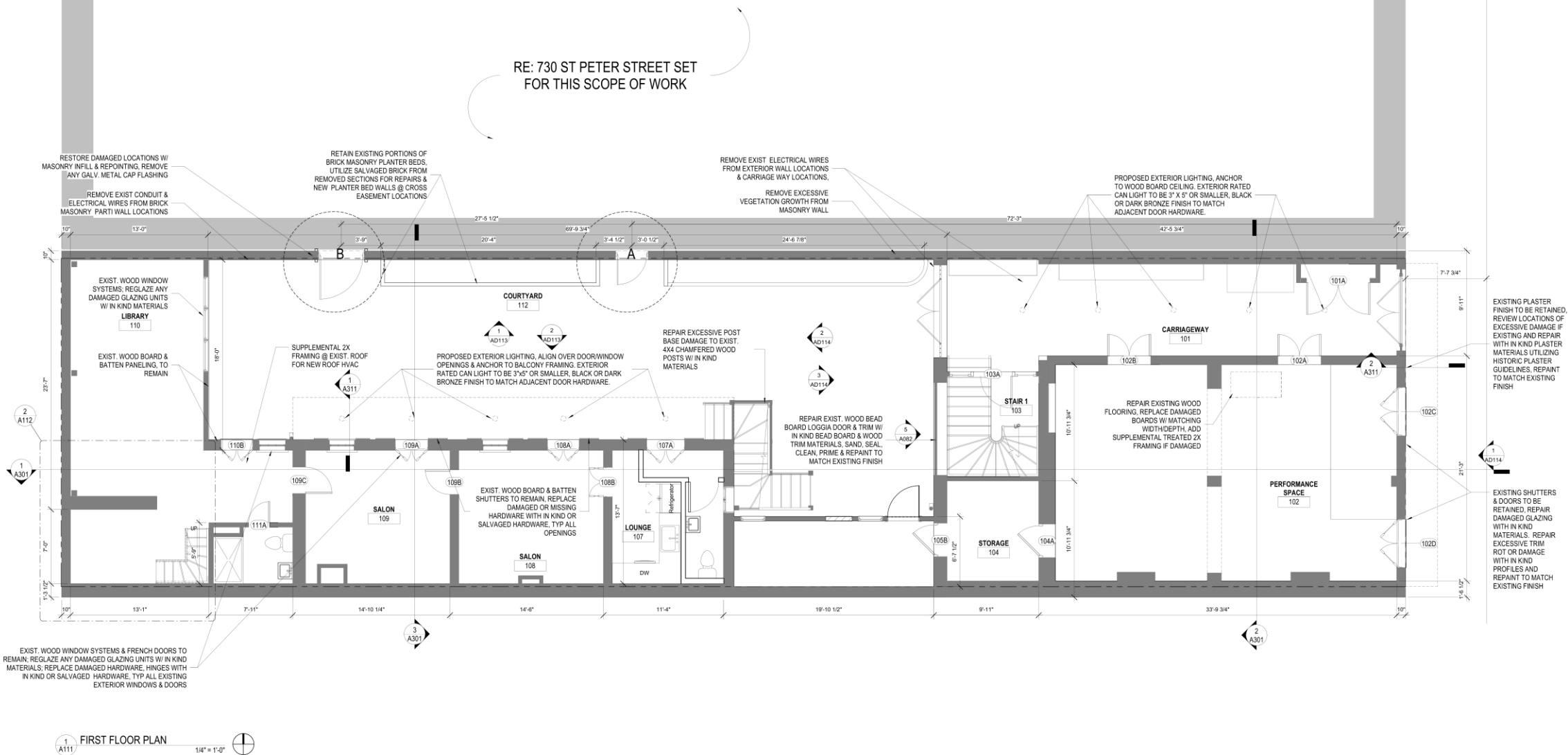
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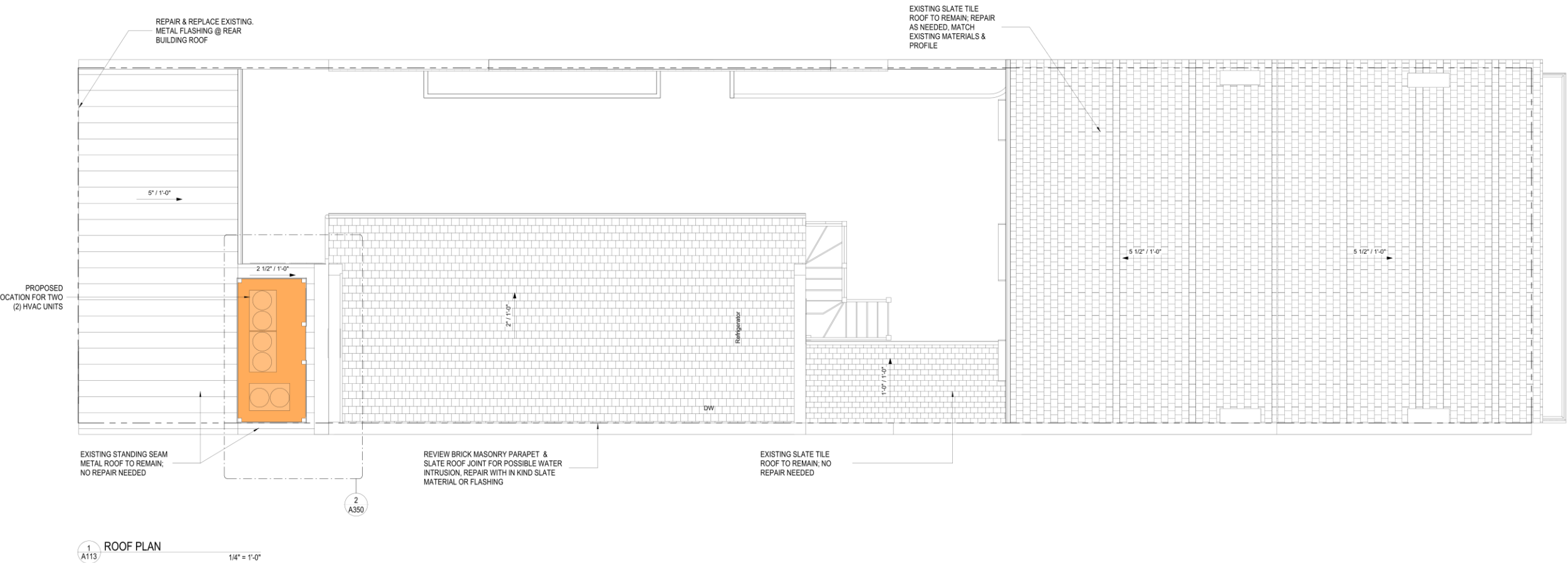


BOURBON STREET SIDE







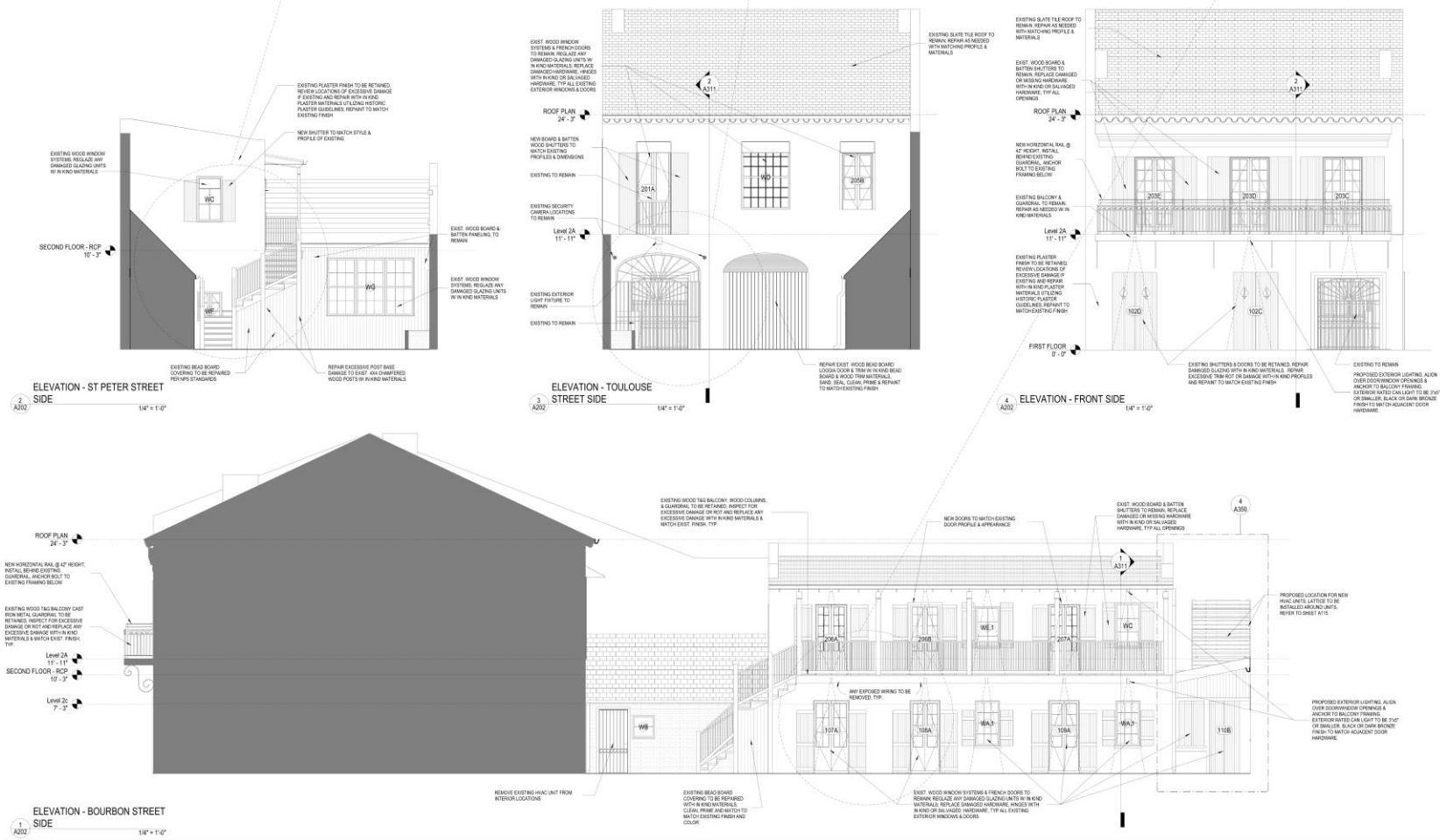


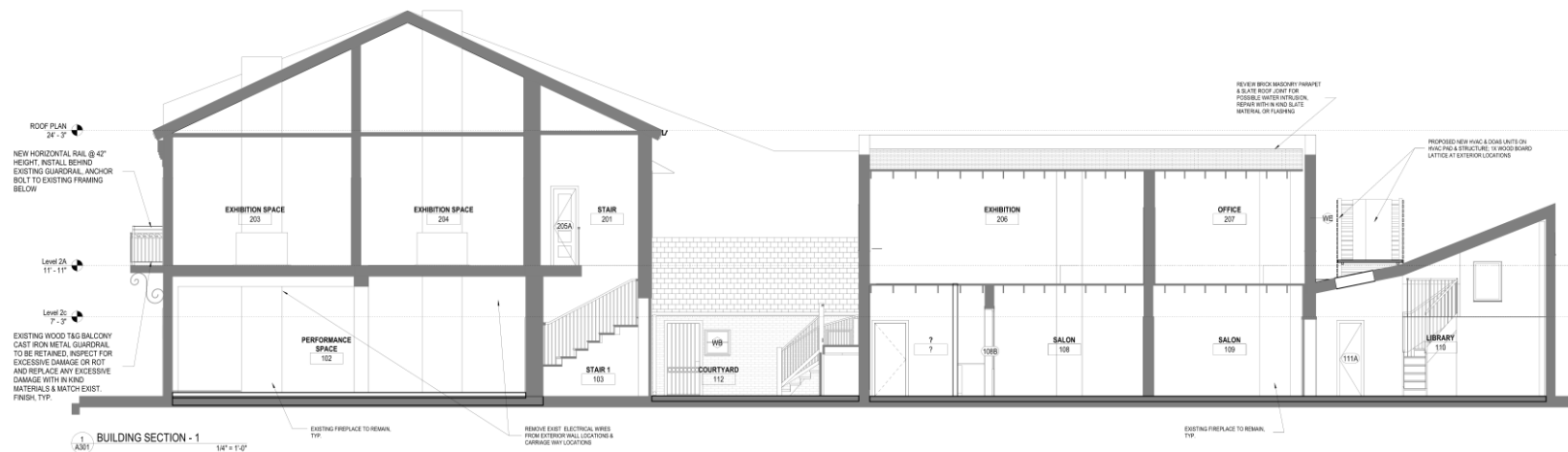
726 St. Peter

VCC Architectural Committee

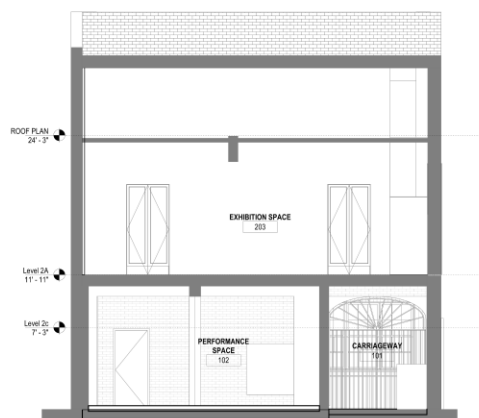
March 14, 2023



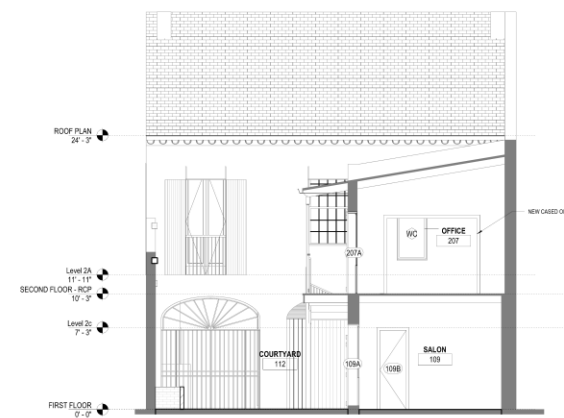




1 BUILDING SECTION - 1
1/4" = 1'-0"



2 BUILDING SECTION - 2
1/4" = 1'-0"



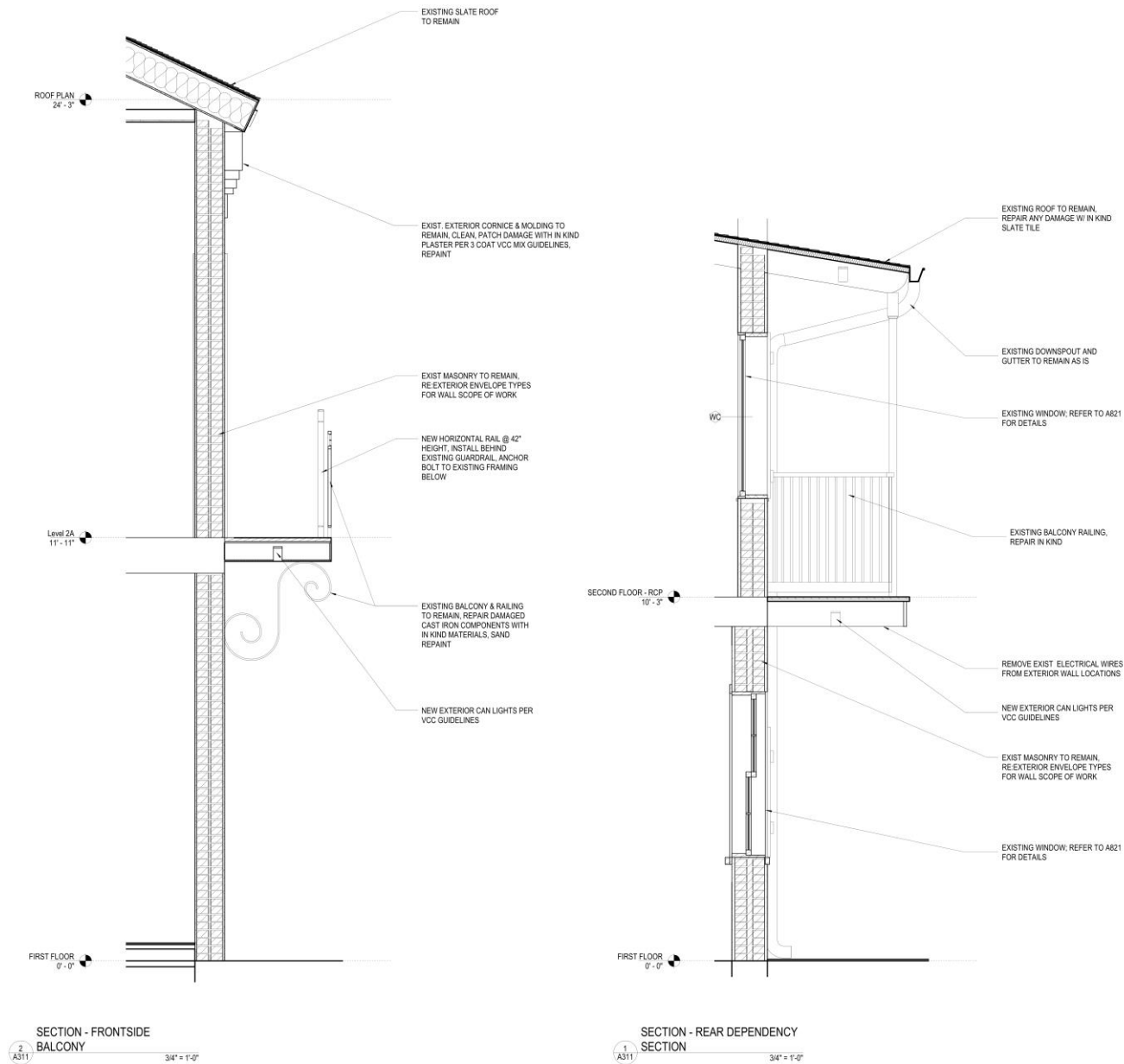
3 BUILDING SECTION - 3
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726 St. Peter

VCC Architectural Committee

March 14, 2023







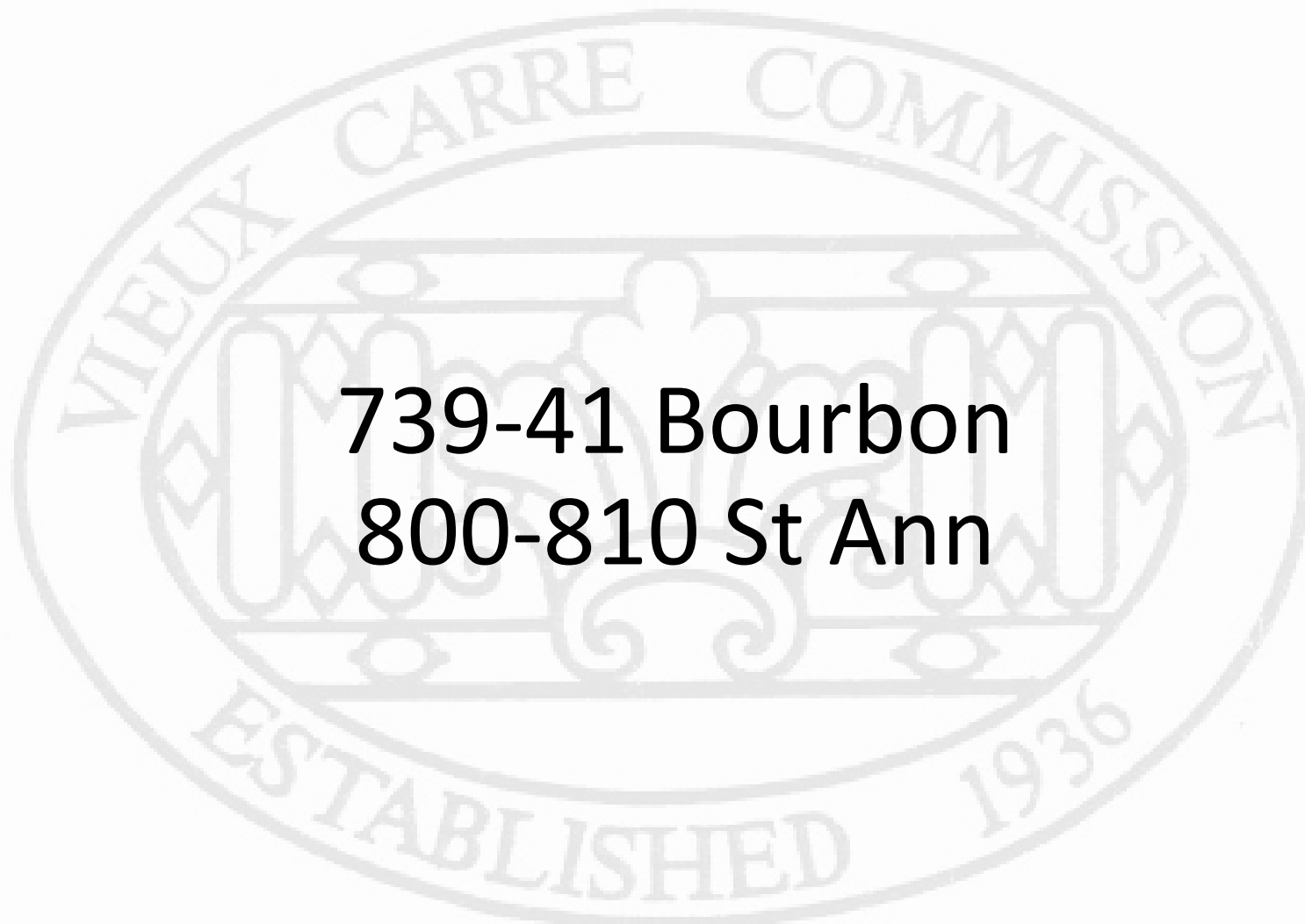


500 Bourbon

(staff requests deferral for late submittal)



New Business



739-41 Bourbon
800-810 St Ann



739-741 Bourbon – ca. 1937



739-741 Bourbon

VCC Architectural Committee

January 30, 2018





739-741 Bourbon

VCC Architectural Committee

January 30, 2018





739-741 Bourbon

VCC Architectural Committee

June 16, 2022





739-741 Bourbon

VCC Architectural Committee

June 16, 2022





739-741 Bourbon

VCC Architectural Committee

June 16, 2022





739-741 Bourbon

VCC Architectural Committee

June 16, 2022



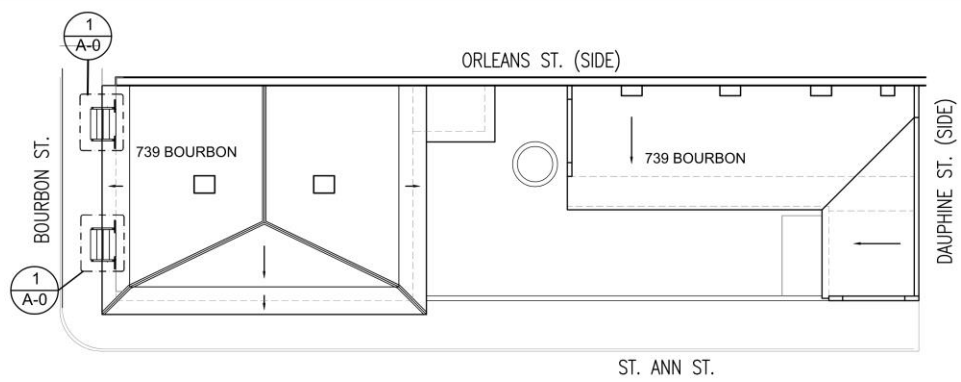


739-741 Bourbon

VCC Architectural Committee

June 16, 2022



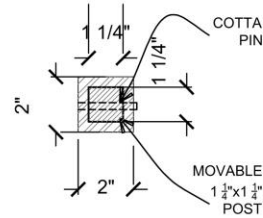


SITE/ ROOF PLAN

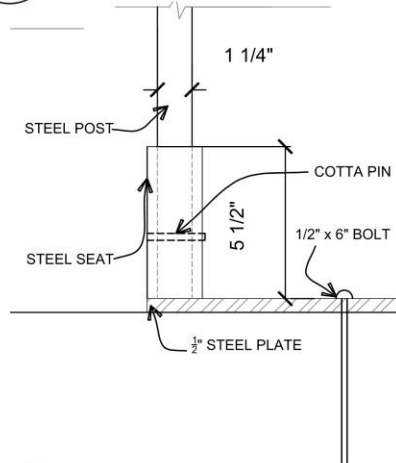
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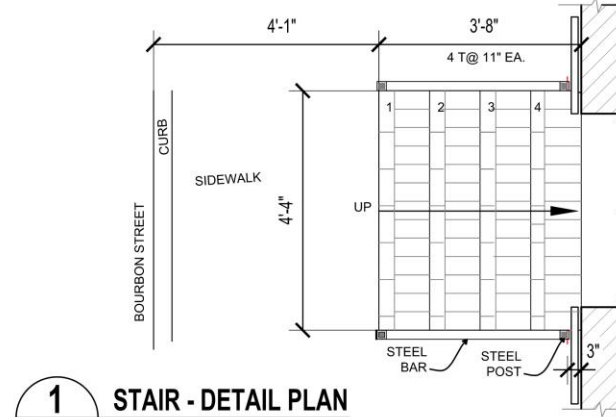
VIEW



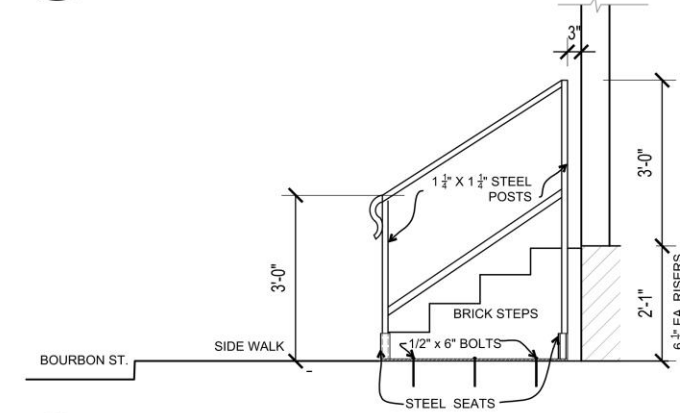
4 POST AND SEAT - PLAN DETAIL
SCALE: 6" = 1'-0"



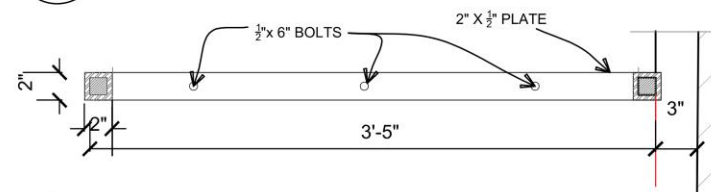
5 POST AND SEAT - ELEV. DETAIL
SCALE: 6" = 1'-0"



1 STAIR - DETAIL PLAN
SCALE: 1" = 1'-0"



2 STAIR - SIDE ELEVATION
SCALE: 1" = 1'-0"



3 BASE PLATE DETAIL
SCALE: 3" = 1'-0"



REMOVABLE RAILINGS
739-41 BOURBON ST
NEW ORLEANS, LA 70116

DONALD MAGINNIS
ARCHITECT, INC.
1111 ST. MARY ST., NEW ORLEANS, LA 70130
Tel: (504) 525-2001 Fax: (504) 596-4574

I 8/11/2023

SCALE:
VARIOUS
SHEET:
TITLE:
DRAWN BY:
FA

A-0
1_OF_1



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a fleur-de-lis at the top, a scroll at the bottom, and a central shield with a fleur-de-lis. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is written in an arc across the top, and "ESTABLISHED 1936" is written in an arc across the bottom.

914 N Rampart



914 N Rampart

VCC Architectural Committee

June 16, 2022





914 N Rampart

VCC Architectural Committee

June 16, 2022





914 N Rampart

VCC Architectural Committee

June 16, 2022





914 N Rampart

VCC Architectural Committee

June 16, 2022





914 N Rampart

VCC Architectural Committee

June 16, 2022





914 N Rampart

VCC Architectural Committee

June 16, 2022



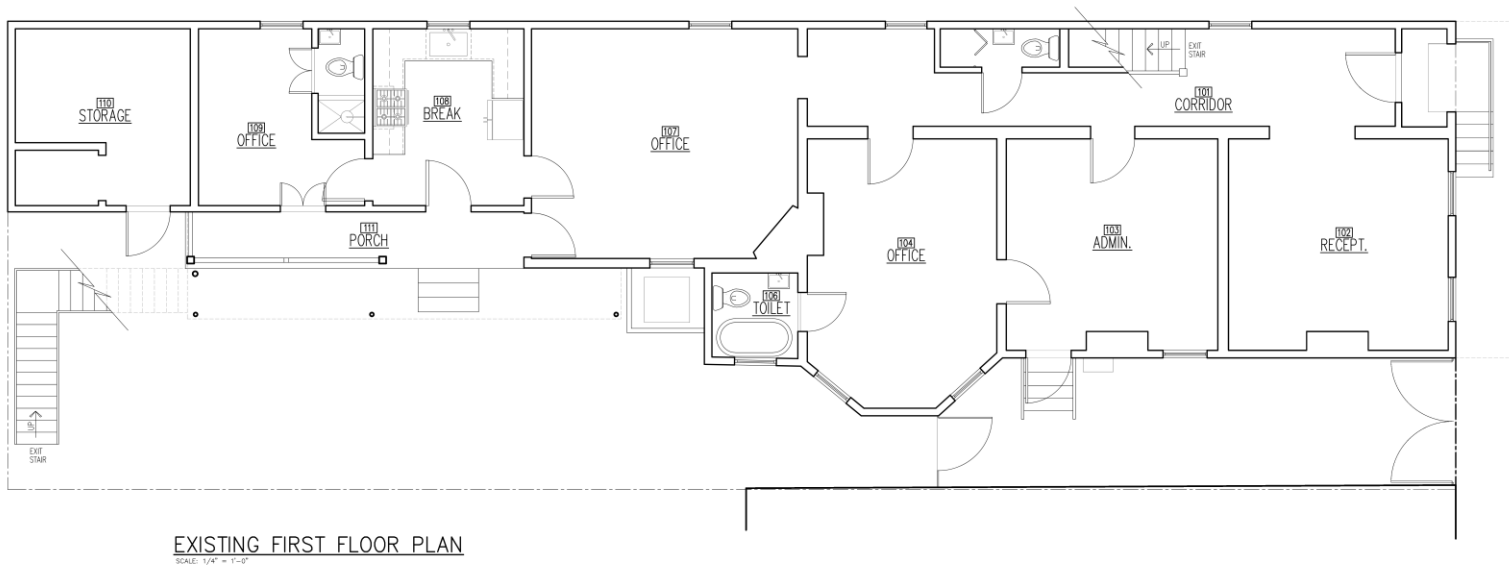
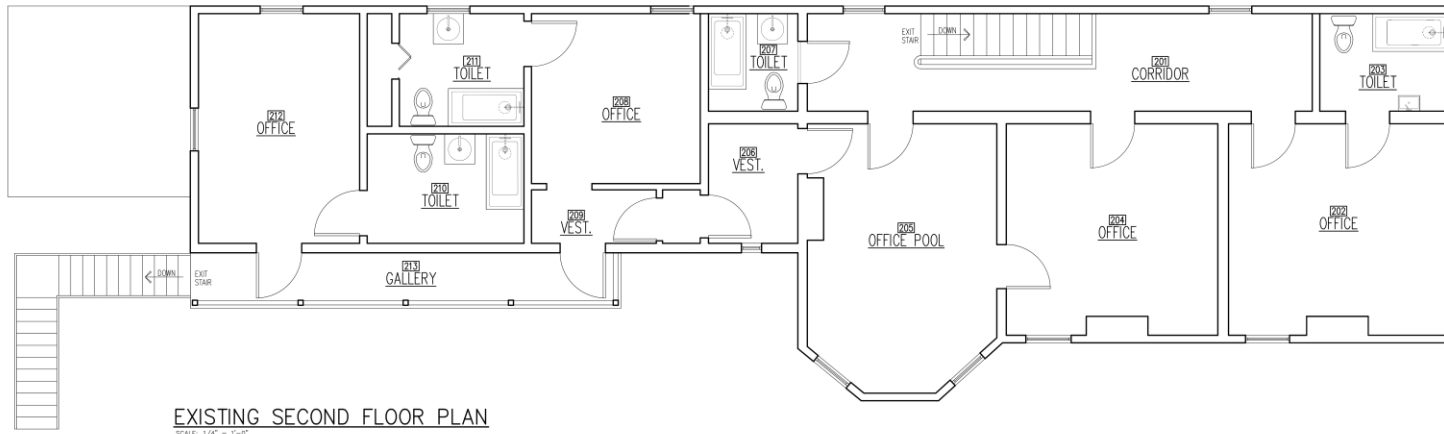


914 N Rampart

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June 16, 2022





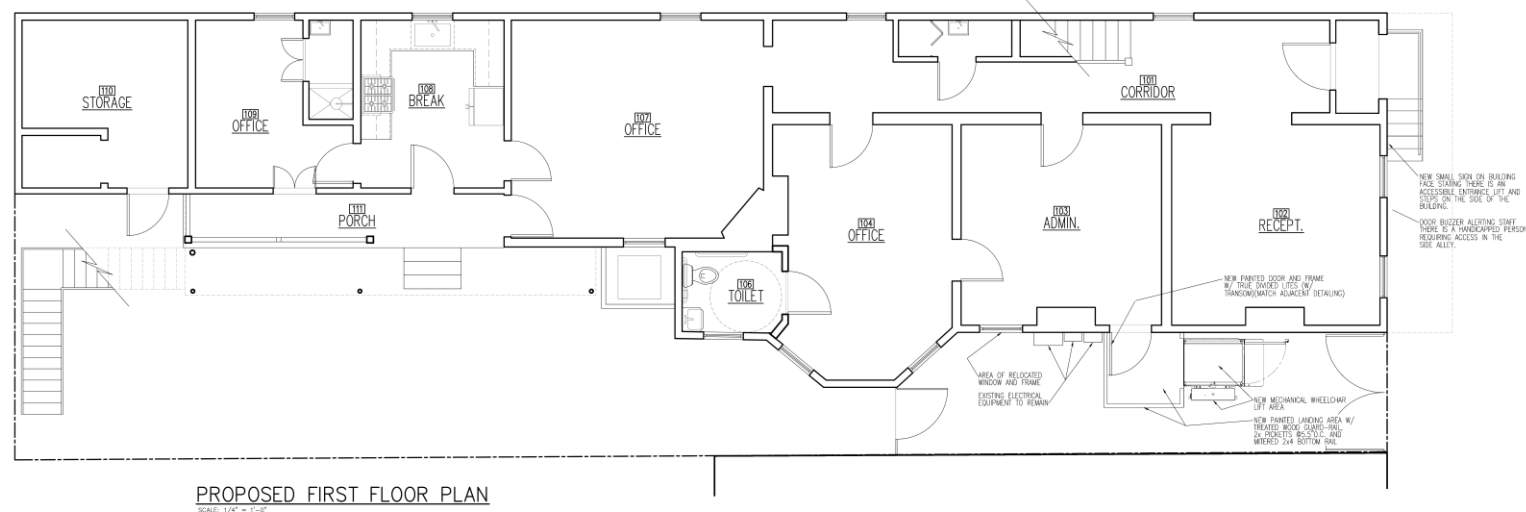
N. RAMPART STREET

914 N Rampart

VCC Architectural Committee

June 16, 2022





PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

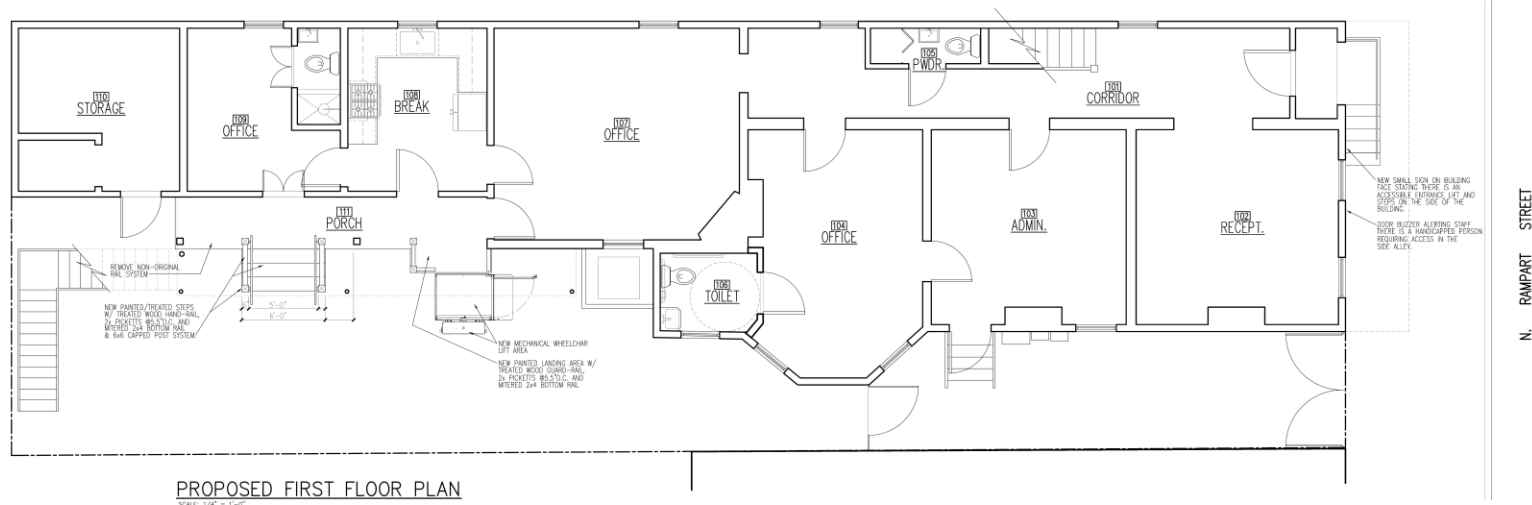
SCHEME "A"

914 N Rampart

VCC Architectural Committee

June 16, 2022





PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"

SCHEME "B"

914 N Rampart

VCC Architectural Committee

June 16, 2022



UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)

VPL-3300B SERIES VERTICAL PLATFORM LIFT

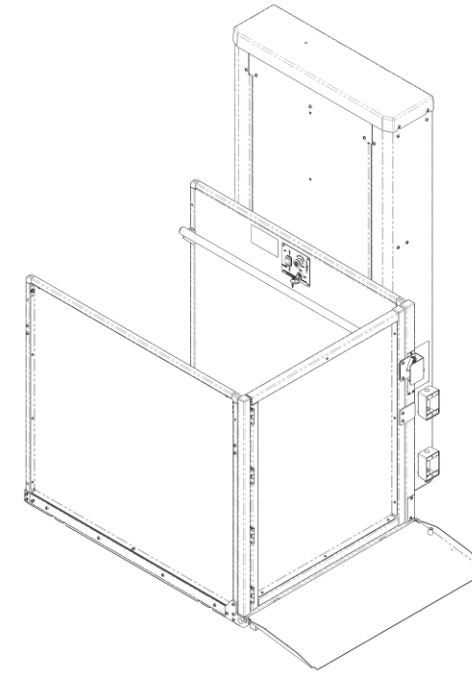
TECHNICAL DATA/SPECIFICATIONS *

RATED LOAD: 750 lbs maximum.
INPUT POWER SOURCE:
-DC BATTERY POWERED UNIT: 110-120 Volt 3 Amp 60 Hz battery charger.
DRIVE:
-DC BATTERY POWERED UNIT: 1/2 hp motor, 1750 rpm, 24 VDC, continuous duty.
INTERMEDIATE REDUCTION: Dual 4L style Poly-V belts and pulleys, 3.94:1 pulley reduction.
FINAL DRIVE: 1" dia. ACME screw w/bronze nut and bronze safety back up nut.
MOTOR CONTROLLER:
-DC BATTERY POWERED UNIT: 24 VDC Relay control.
SPEED:
-DC BATTERY POWERED UNIT: 10 feet per minute maximum

PERFORMANCE STANDARDS

USA FOOD & DRUG ADMINISTRATION: CLASS II, 510(K) Exempt, File No. 890.3930,
Product Code: PCE
ASME A18.1 (Section 2) Safety Standards for Platform Lifts and Stairway Chairlifts *
CSA B355 Lifts for Persons with Physical Disabilities *
CSA B44.1/ASME A17.5 Elevator and Escalator Electrical Equipment *

* For complete technical specifications and performance standards years of compliance please see:
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"



ILS-01102
SHEET 1 OF 3
REV. 4 (7504)(10/15/21)(JMH)

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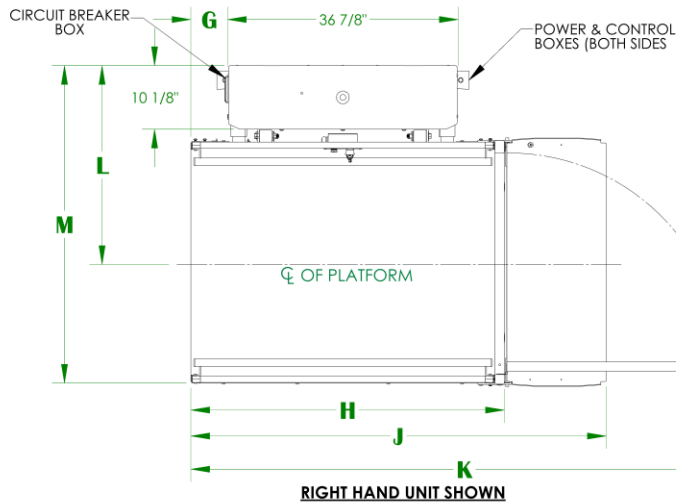
VCC Architectural Committee

June 16, 2022



UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)

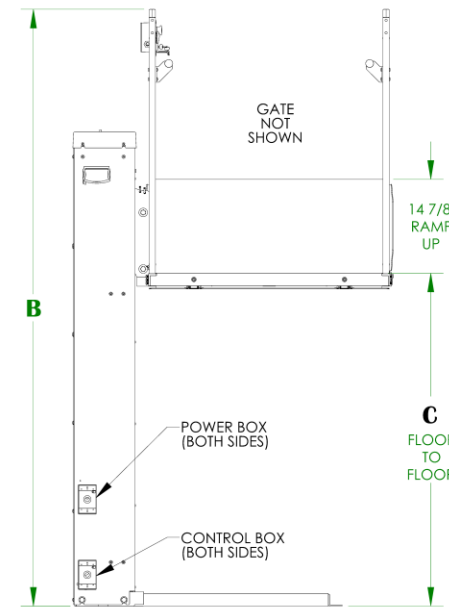
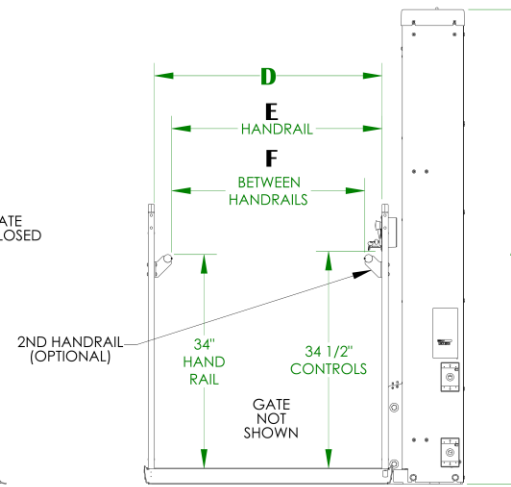
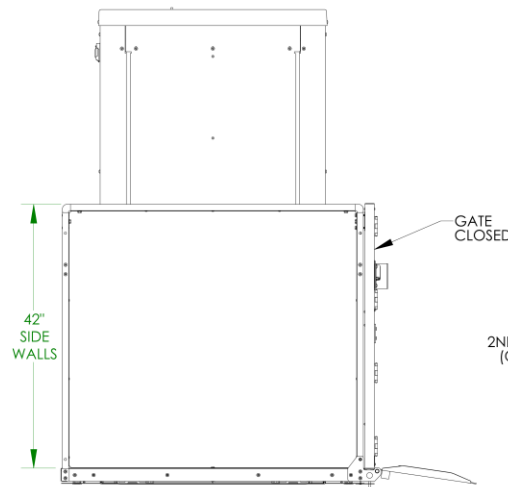
VPL-3300B SERIES VERTICAL PLATFORM LIFT



For complete technical specifications please see
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"

	D	E	F	G	H	J	K	L	M
36" X 48" PLATFORM	36-1/4"	33-1/2"	30-3/4"	5-3/4"	49-15/16"	66-1/8"	87-3/16"	31-9/16"	50-13/16"
36" X 54" PLATFORM	36-1/4"	33-1/2"	30-3/4"	8-3/4"	55-15/16"	72-1/8"	93-3/16"	31-9/16"	50-13/16"
36" X 60" PLATFORM	36-1/4"	33-1/2"	30-3/4"	11-3/4"	61-15/16"	78-1/8"	99-3/16"	31-9/16"	50-13/16"
42" X 60" PLATFORM	42-1/4"	39-1/2"	36-3/4"	11-3/4"	61-15/16"	78-1/8"	105-3/16"	34-9/16"	56-13/16"

V P L - 3 3 5 3 B	A	B	C MIN	C MAX
	75-9/16"	95"	11"	53"



NOTES: 1) ACCESS RAMP & PLATFORM GATE CAN BE MOUNTED ON EITHER SIDE OF THE PLATFORM
2) SEE ILS-00938 FOR LANDING GATE DETAIL/ALIGNMENT

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ILS-01102
SHEET 2 OF 3
REV. 4 (7504)(10/15/21)(JMH)

914 N Rampart

VCC Architectural Committee

June 16, 2022



UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)

VPL-3300B SERIES VERTICAL PLATFORM LIFT

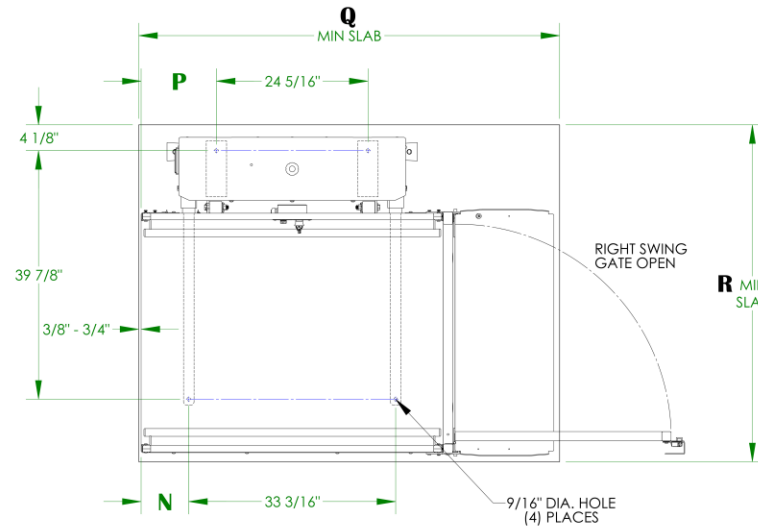
ANCHOR POINT LOCATIONS/SLAB DETAIL

TECHNICAL SPECIFICATIONS *

FLOOR ATTACHMENT:
VPL MUST BE FASTENED TO CONCRETE SLAB USING FOUR (4) 1/2" (3/8" BOLT)
X MINIMUM 2-1/2" LONG CONCRETE ANCHORS SUITABLE FOR THE ENVIRONMENT.
FOLLOW SELECTED CONCRETE ANCHOR MANUFACTURERS GUIDELINES AND
APPLICABLE CODES.

FLOOR REQUIREMENTS:
4" THICK 3500 PSI MINIMUM COMPRESSIVE STRENGTH, REINFORCED CONCRETE SLAB.

* For complete technical specifications please see
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"



UNITS WITH STRAIGHT THROUGH PLATFORM WITH PLATFORM GATE

	N	P	Q	R
36" X 48" PLATFORM	7-5/8"	12-1/16"	67-1/2"	54"
36" X 54" PLATFORM	10-5/8"	15-1/16"	73-1/2"	54"
36" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	54"
42" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	60"

ILS-01102

SHEET 3 OF 3

REV. 4 (7504)(10/15/21)(JMH)

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June 16, 2022



UNENCLOSED 90° /ADJACENT EXIT PLATFORM W/PLATFORM GATE (NO PIT)

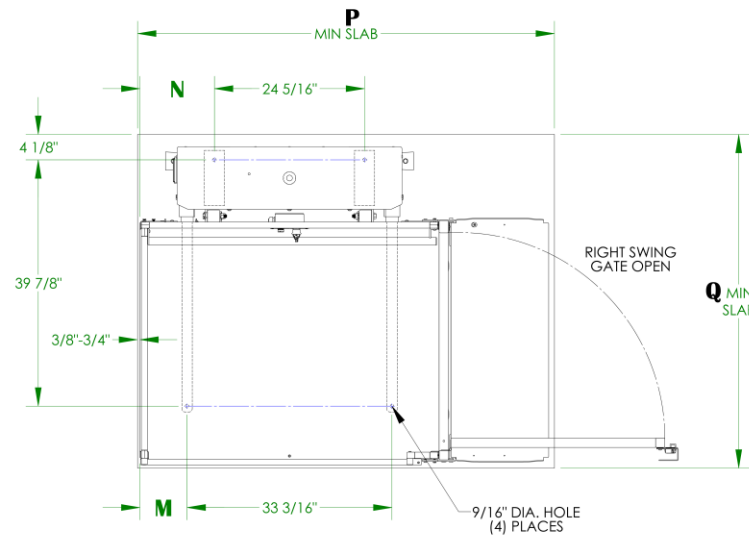
VPL-3300B SERIES VERTICAL PLATFORM LIFT ANCHOR POINT LOCATIONS/SLAB DETAIL

TECHNICAL SPECIFICATIONS *

FLOOR ATTACHMENT:
VPL MUST BE FASTENED TO CONCRETE SLAB USING FOUR (4) 1/2" (3/8" BOLT)
X MINIMUM 2-1/2" LONG CONCRETE ANCHORS SUITABLE FOR THE ENVIRONMENT.
FOLLOW SELECTED CONCRETE ANCHOR MANUFACTURERS GUIDELINES AND
APPLICABLE CODES.

FLOOR REQUIREMENTS:
4" THICK 3500 PSI MINIMUM COMPRESSIVE STRENGTH, REINFORCED CONCRETE SLAB.

* For complete technical specifications please see
ILS-01100 "VPL-3353B Commercial Vertical Platform Lift Technical Specification"



UNITS WITH 90° /ADJACENT EXIT PLATFORM WITH PLATFORM GATE

	M	N	P	Q
36" X 48" PLATFORM	7-5/8"	12-1/16"	67-1/2"	54"
36" X 54" PLATFORM	10-5/8"	15-1/16"	73-1/2"	54"
36" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	54"
42" X 60" PLATFORM	13-5/8"	18-1/16"	79-1/2"	60"

ILS-01104
SHEET 3 OF 3
REV. 4 (7504)(10/15/21)(JMH)

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June 16, 2022

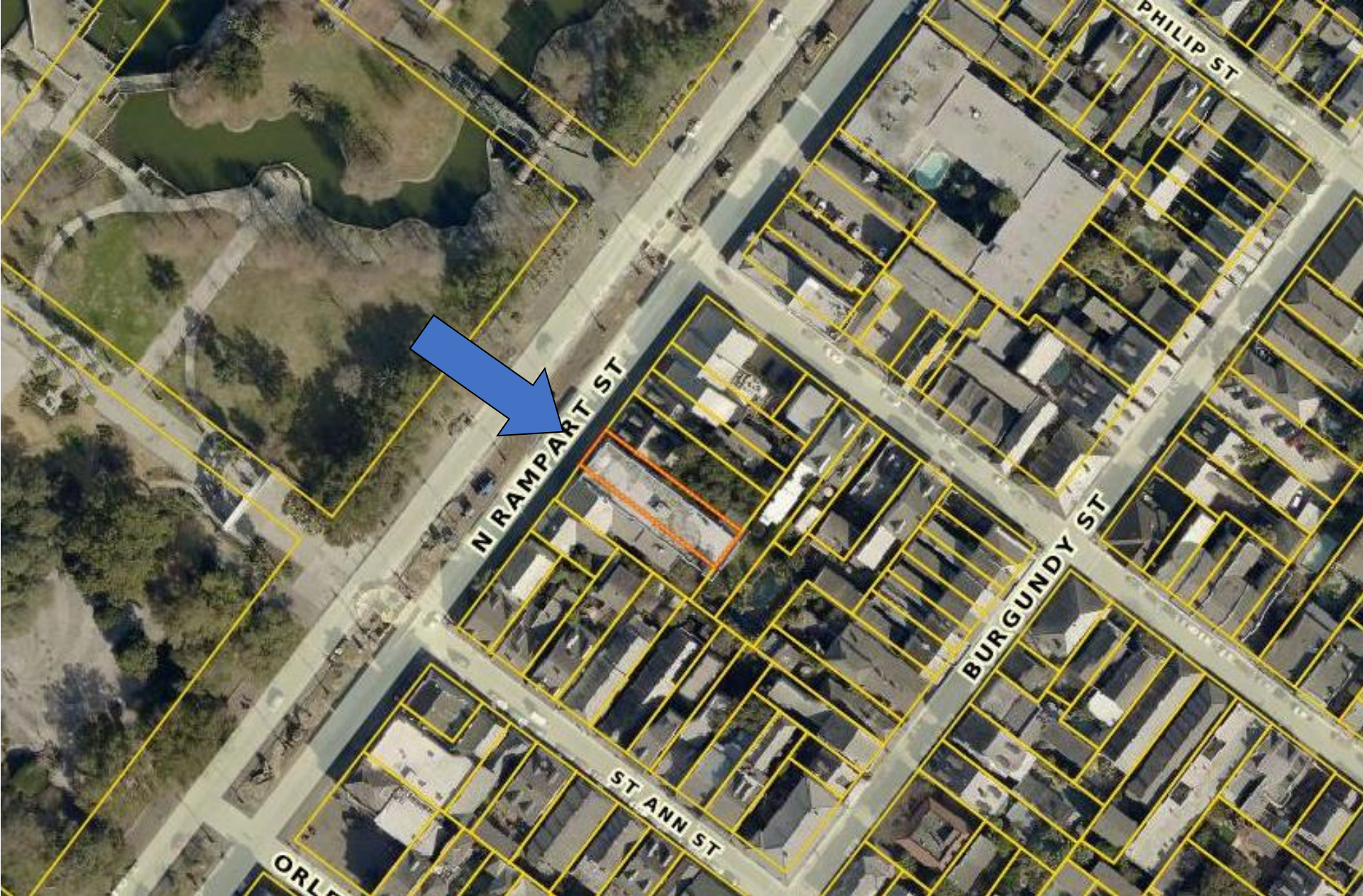




822-24 N Rampart



822 N. Rampart



822 N. Rampart



822 N. Rampart- 1943



822 N. Rampart- 1963



822 N. Rampart



822 N. Rampart



822 N. Rampart

VCC Architectural Committee

March 14, 2023





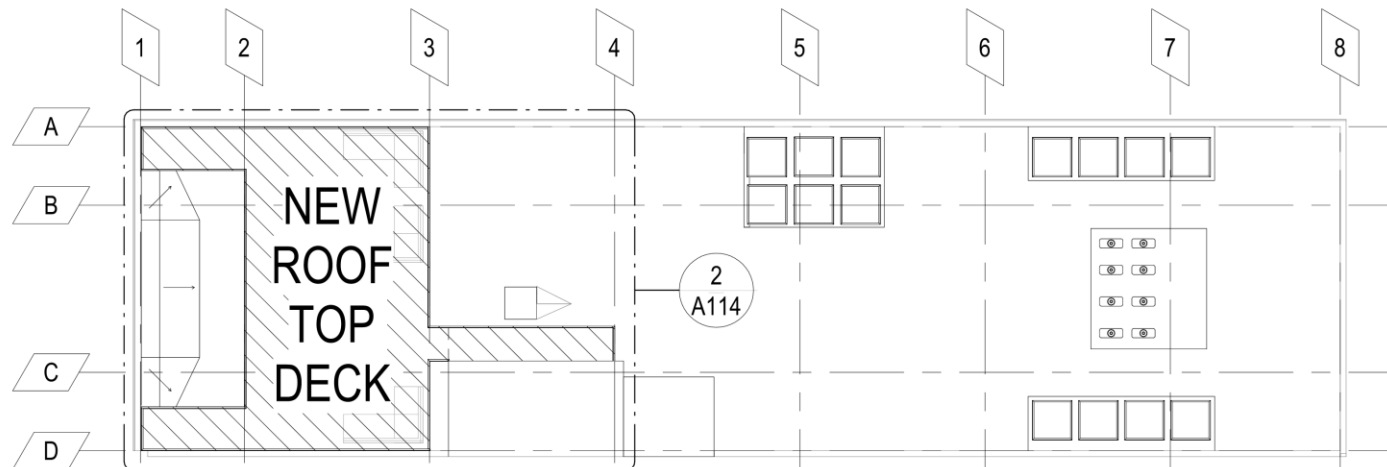
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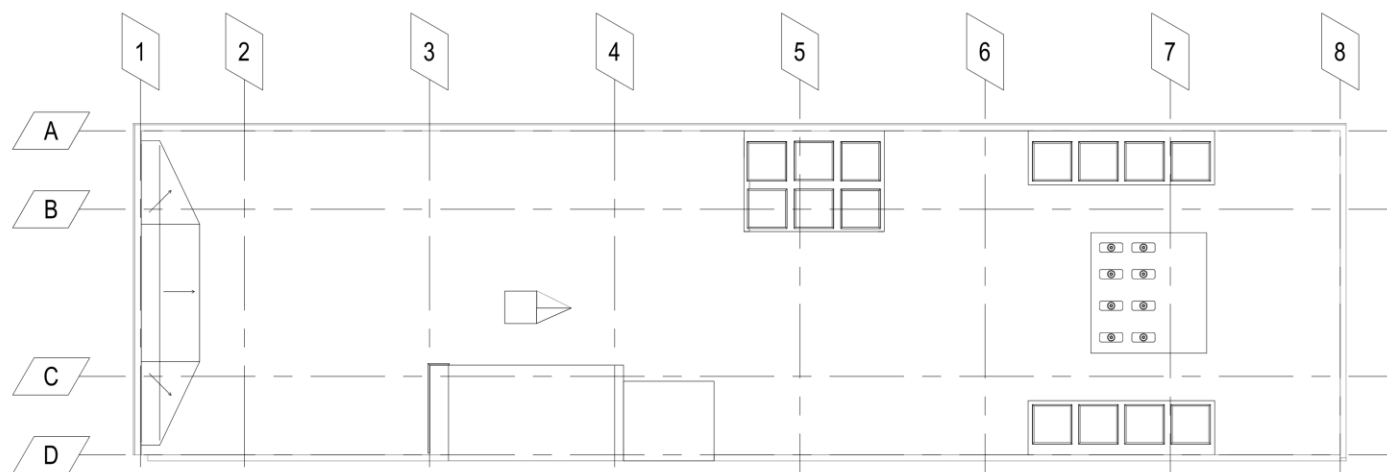
March 14, 2023



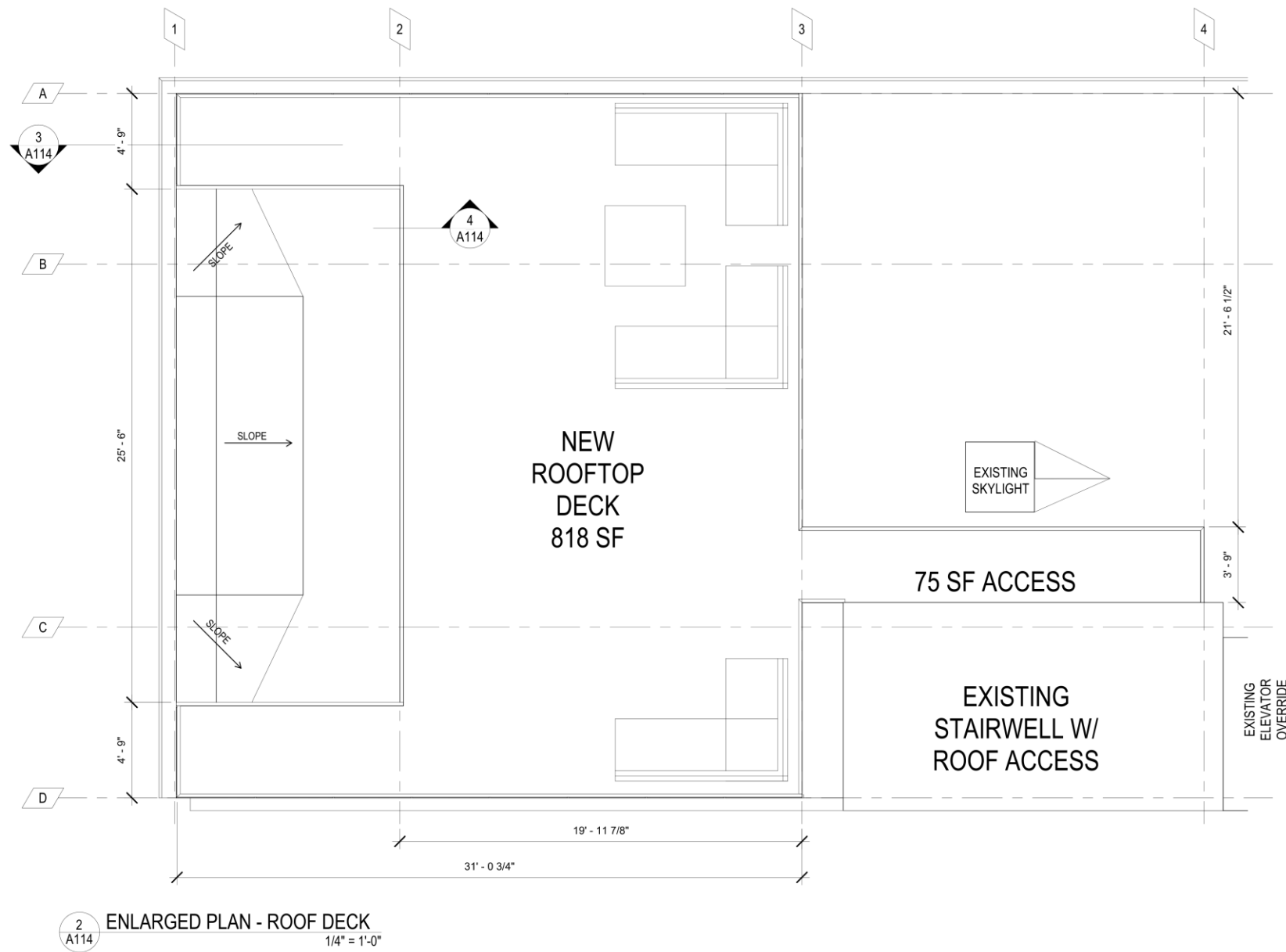


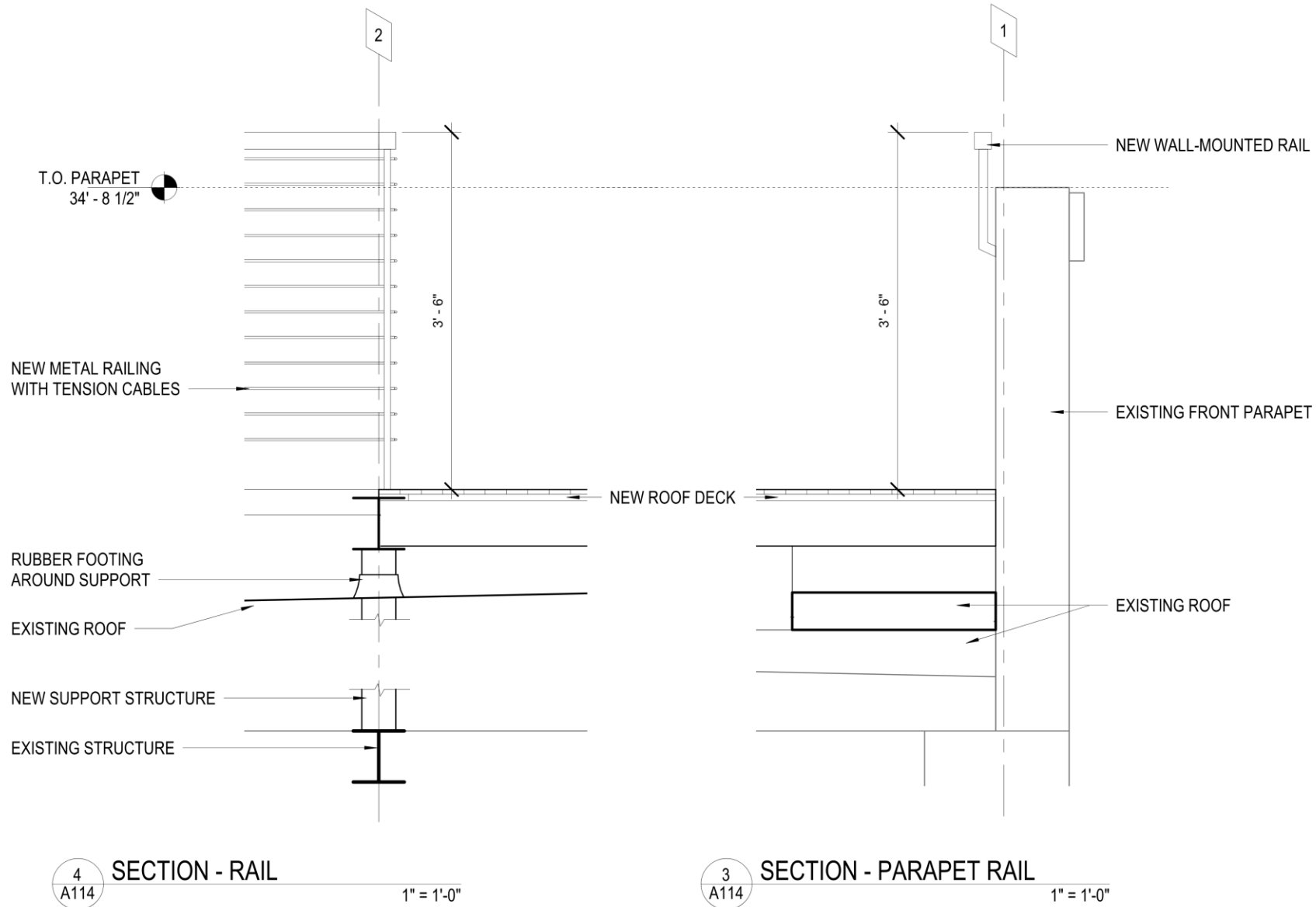


5 ROOF PLAN - NEW
A114 1/16" = 1'-0"



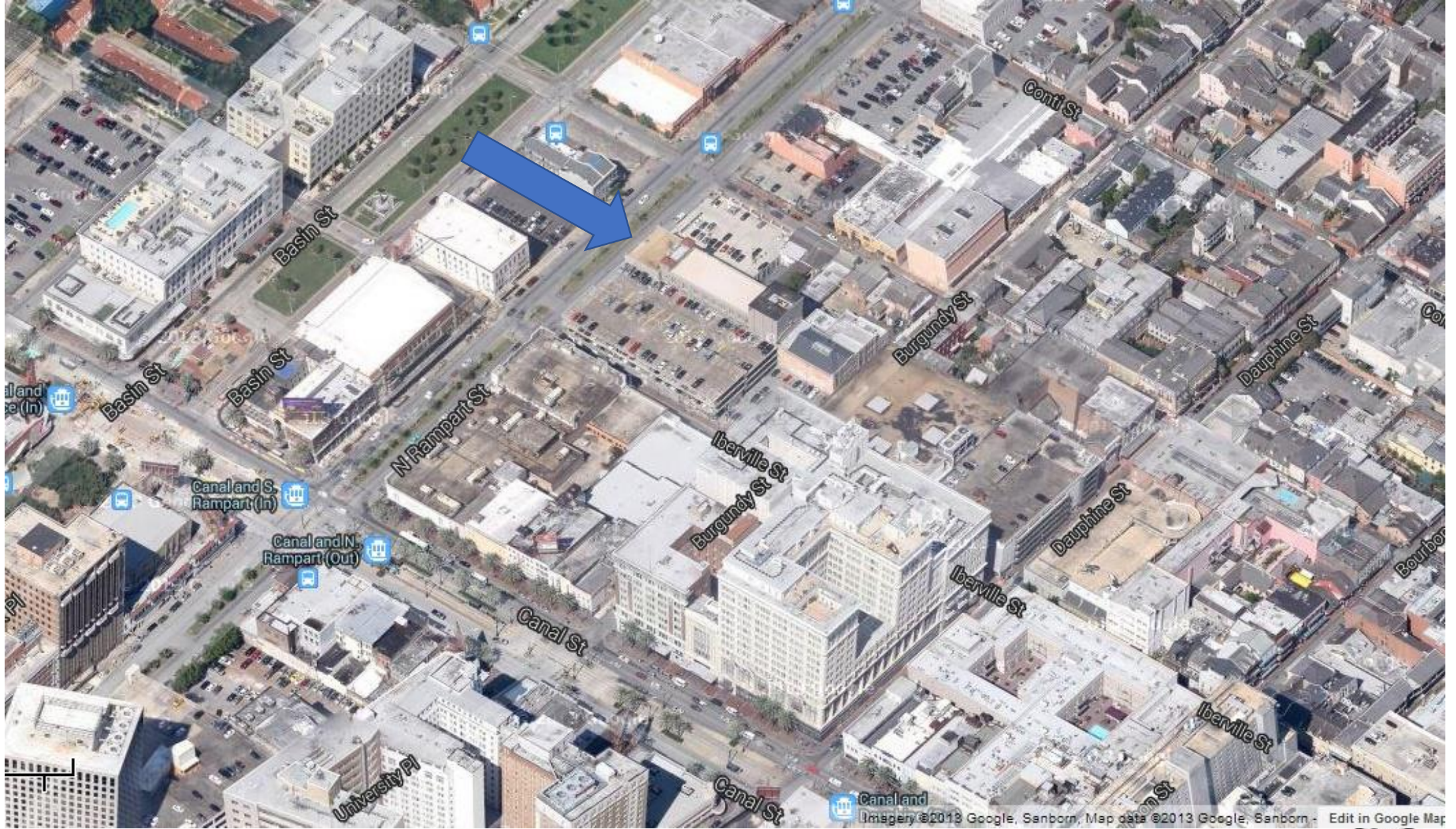
6 ROOF PLAN - EXISTING
A114 1/16" = 1'-0"







222 N Rampart



222 N. Rampart
VCC Architectural Committee

May 22, 2018





222 N. Rampart

VCC Architectural Committee

May 22, 2018





222 N. Rampart- 1930
VCC Architectural Committee

May 22, 2018





222 N. Rampart- 1964
VCC Architectural Committee

May 22, 2018





222 N. Rampart

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May 22, 2018





1026 Bienville

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May 22, 2018





Iberville elevation

VCC Architectural Committee

May 22, 2018





View from neighboring roof
VCC Architectural Committee

May 22, 2018





View from neighboring roof

VCC Architectural Committee

May 22, 2018





Proposed fence

VCC Architectural Committee

May 22, 2018





Proposed fence

VCC Architectural Committee

May 22, 2018





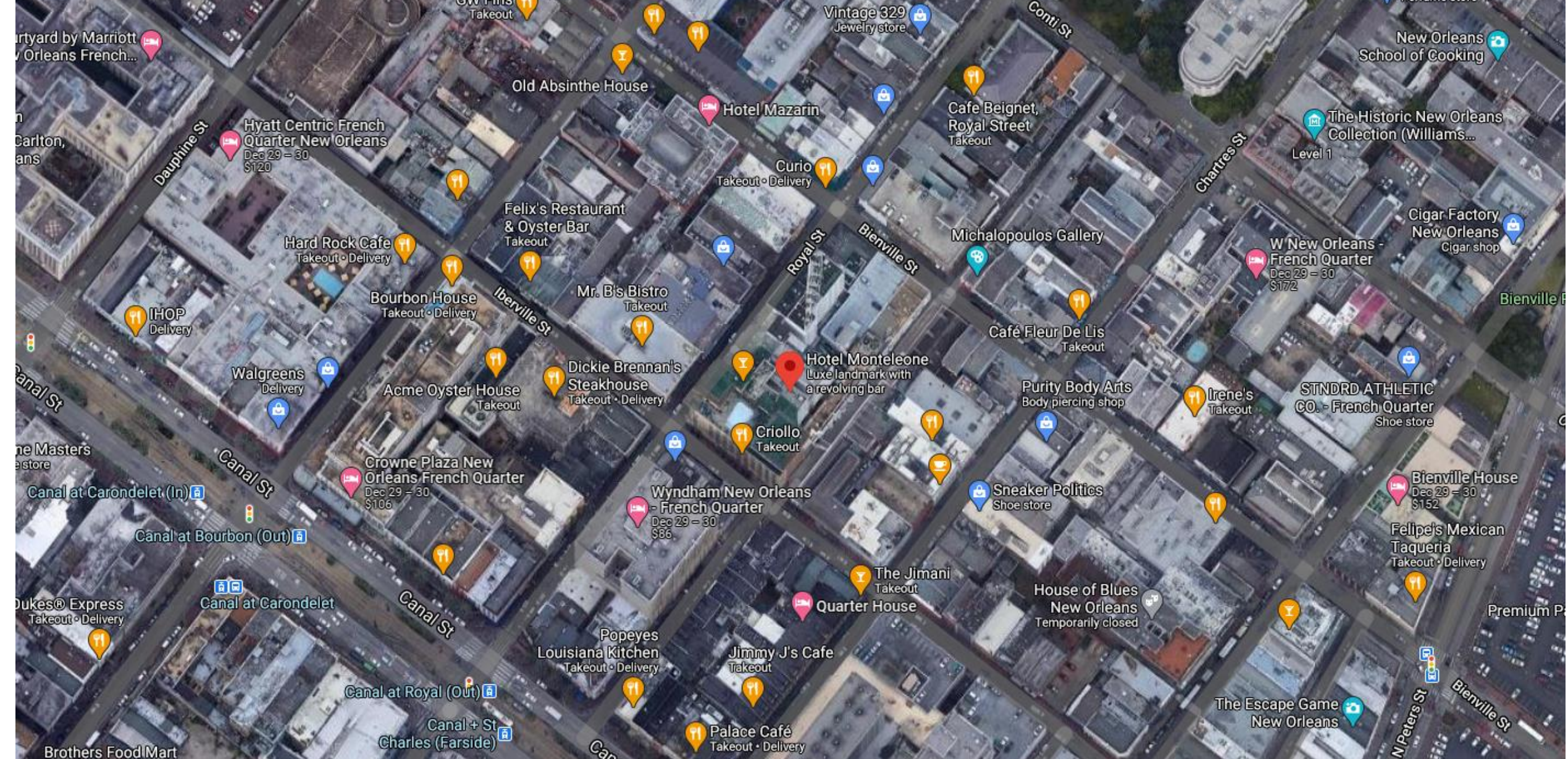
Proposed fence

VCC Architectural Committee

May 22, 2018







214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023



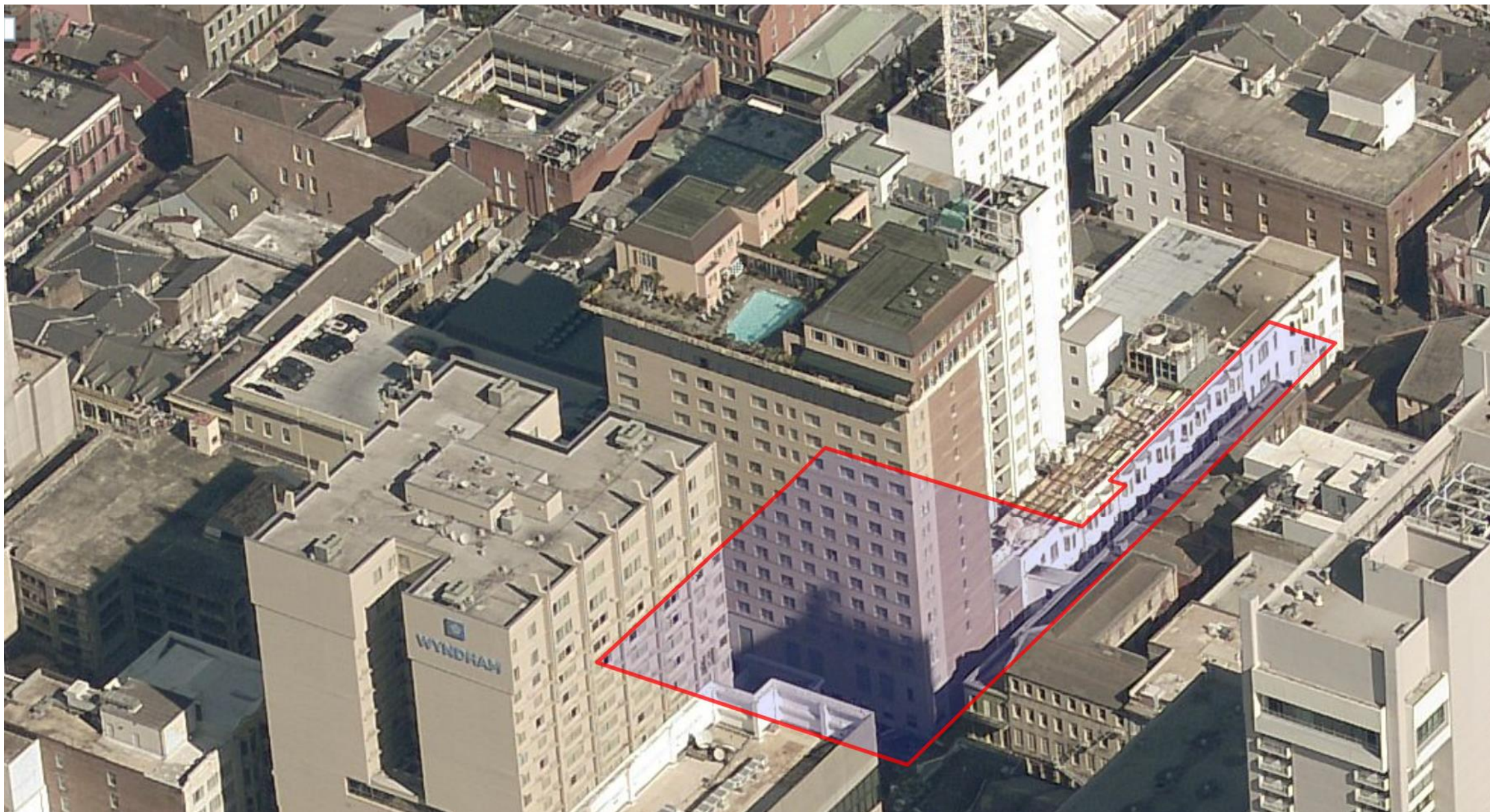


214 Royal

VCC Architectural Committee

March 14, 2023



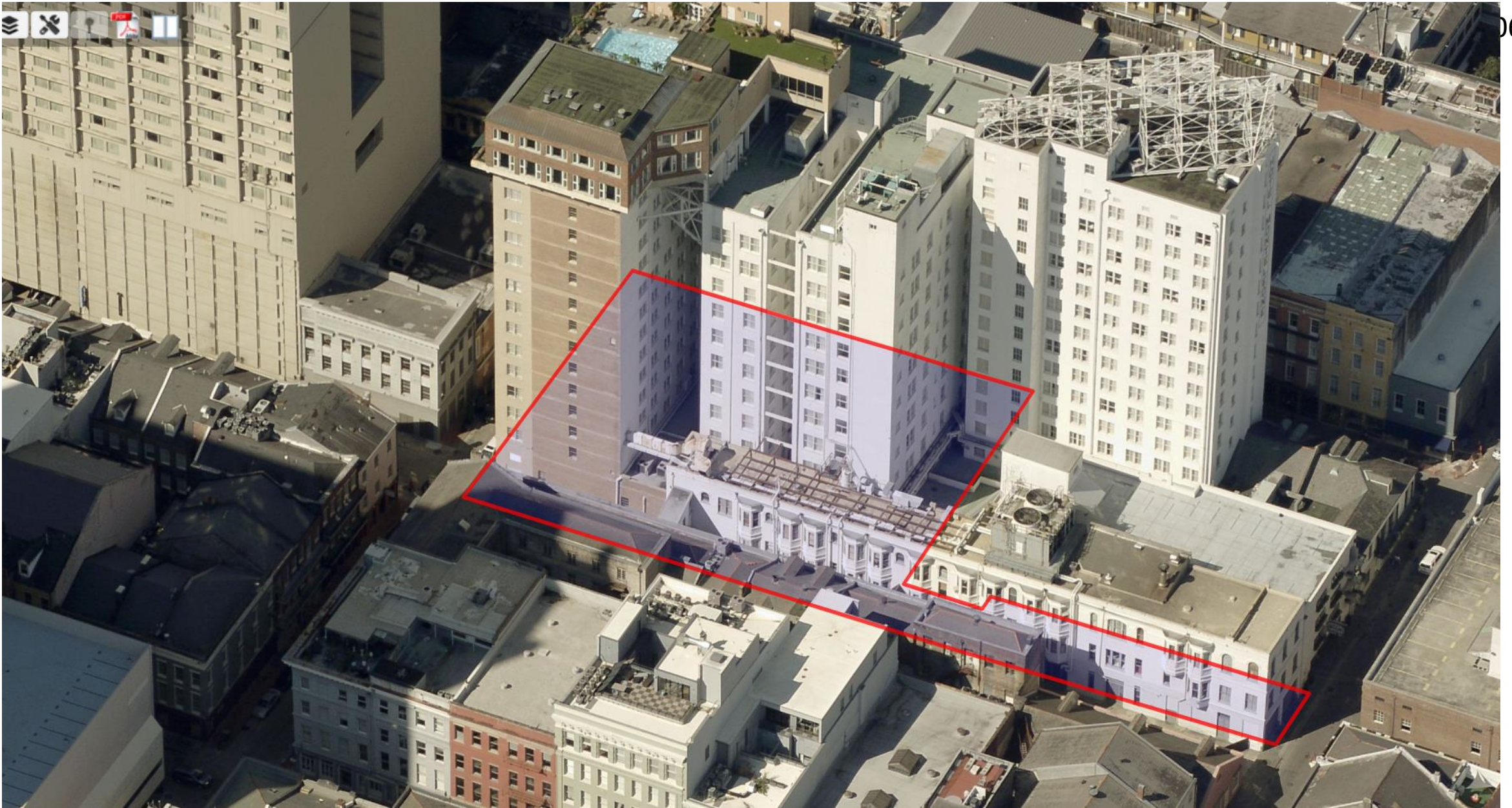


214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





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March 14, 2023





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March 14, 2023





214 Royal

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March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





214 Royal

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March 14, 2023





214 Royal

VCC Architectural Committee

March 14, 2023





08.29.23

Erin B. Vogt, MArch
Office of Business & External Services
Vieux Carré Commission
Principal Historic Preservation Plans Examiner

Dear Erin,

On July 1, 2021, the Design Team and GC were notified by Jennifer R. Kretschmann, (Real Estate Administrator with the City of New Orleans Department of Property Management) that she had flagged the release of the overall Iberville guestroom construction permit pending the submission of structural reports on the tower overhangs and two pedestrian bridges, all of which occupy City airspace. The subsequent reports require exploratory demolition to better identify the deficiencies, and then after visual inspections and shoring, provide solutions to correct these deficiencies.

Throughout the investigatory process, the team made a concerted effort to maintain the appearance of the existing exterior surfaces. The bridge repairs were carefully designed to resolve the structural deficiencies, from the inside out, to best maintain this historic character and existing exterior appearance. The exploration of these structures uncovered problems that required maintenance, and if left untouched, could compromise structural integrity and pose a risk to the public.

SCNZ followed up with Jennifer Kretschmann and Jay Dufour on several occasions to keep them abreast of progress made on the planned structural improvements. See below for a summary of key events that occurred in this timeline starting with the initial structural reports:

August 21, 2021 – EHC Engineering Pedestrian Bridge Report emailed to Jennifer Kretschmann.

- This report requests exploratory demolition at the Hotel and Receiving building exterior walls to expose bearing integrity, beam and decking attachment below the bridges, and interior structure.

August 19, 2021 – EHC Engineering Overhang Report emailed to Jennifer Kretschmann.

- Rust is found at exposed rebar at various overhangs.
- GPR and coring at pool deck level required.

September 17, 2021 – Jennifer Kretschmann reviews and responds to commissioned reports. The response indicates that the red flag on the project will continue to show up at every stage and guest floor TCO until the bridges and overhangs are deemed “structurally sound” by the EOR.

- Engineered repair drawings required.

November 8, 2021 – SCNZ provides email update to Jennifer Kretschmann describing results of site investigations.

- Possible need for red iron repair underneath 2-story bridge (not visible on exterior).
- Various deficiencies identified at the 1-story bridge including need for repair of broken welds at steel joists and decking (not visible on exterior), broken connections at decking and walls (not visible on exterior), deteriorating wall studs (not visible on exterior), and loose roof connection to supporting buildings (not visible on exterior).

2134 Magazine Street, Suite 200
New Orleans, Louisiana 70130
scnz.net | 504.301.3722

February 11, 2022 – New EOR (SEF Engineers) hired to investigate solutions to correct bridge structural deficiencies and to provide required drawings.

March 2, 2022 – SCNZ provides email update to Jennifer Kretschmann. Included in this update:

- Letter to summarize results of first site visit;
- Drawings for 2-story bridge exploratory demolition at 2nd and 3rd story beam/plaster connection. (Minimal visual impact on exterior).
- Drawings for 1-story bridge shoring.

March 3, 2022 - SCNZ notifies Jennifer Kretschmann and Jay Dufour of upcoming Ballroom turnover and State Fire Marshal inspection approval. Reply indicates no RER objection.

July 1, 2022 – SCNZ provides email update to Jennifer Kretschmann and Jay Dufour. Included in this update:

- Exploratory demolition, concrete coring and GPR testing at pool deck level completed at the overhangs. No major structural cracks nor problems with outrigger beams found.
- 2-story bridge repair drawings. Only repairs affecting exterior are to secure plaster to new interior framing. Directive: Install screws to attach to new interior studs, re-plaster screw holes and re-float to match exterior finish texture and color. (Minimal visual impact on exterior).
- 3rd party shoring drawings for 1-story bridge to bolster bridge while maintaining operation of alley.

July 18, 2022 – SCNZ notifies Jennifer Kretschmann and Jay Dufour of upcoming 15th floor guestroom turnover and State Fire Marshal inspection approval.

November 4, 2022 - SCNZ provides email update to Jennifer Kretschmann and Jay Dufour. Included in this update:

- Damaged overhang repairs complete.
- 2-story bridge Architectural drawings restricted to interior of bridge (work not visible on exterior).
- 1-story bridge Architectural drawings where a majority of the work is limited to the interior. Shutters noted to be replaced to match existing shutters exactly due to the advanced state of deterioration uncovered during exploratory demolition.
- 1-story bridge repairs to structure on inside of bridge, where attaches to Hotel and Receiving buildings, and below (work not visible on exterior).

June 16, 2023 - 1-story bridge drawings revised to install new in-wall channel and to enclose 1st floor window opening due to dangerous bearing condition.

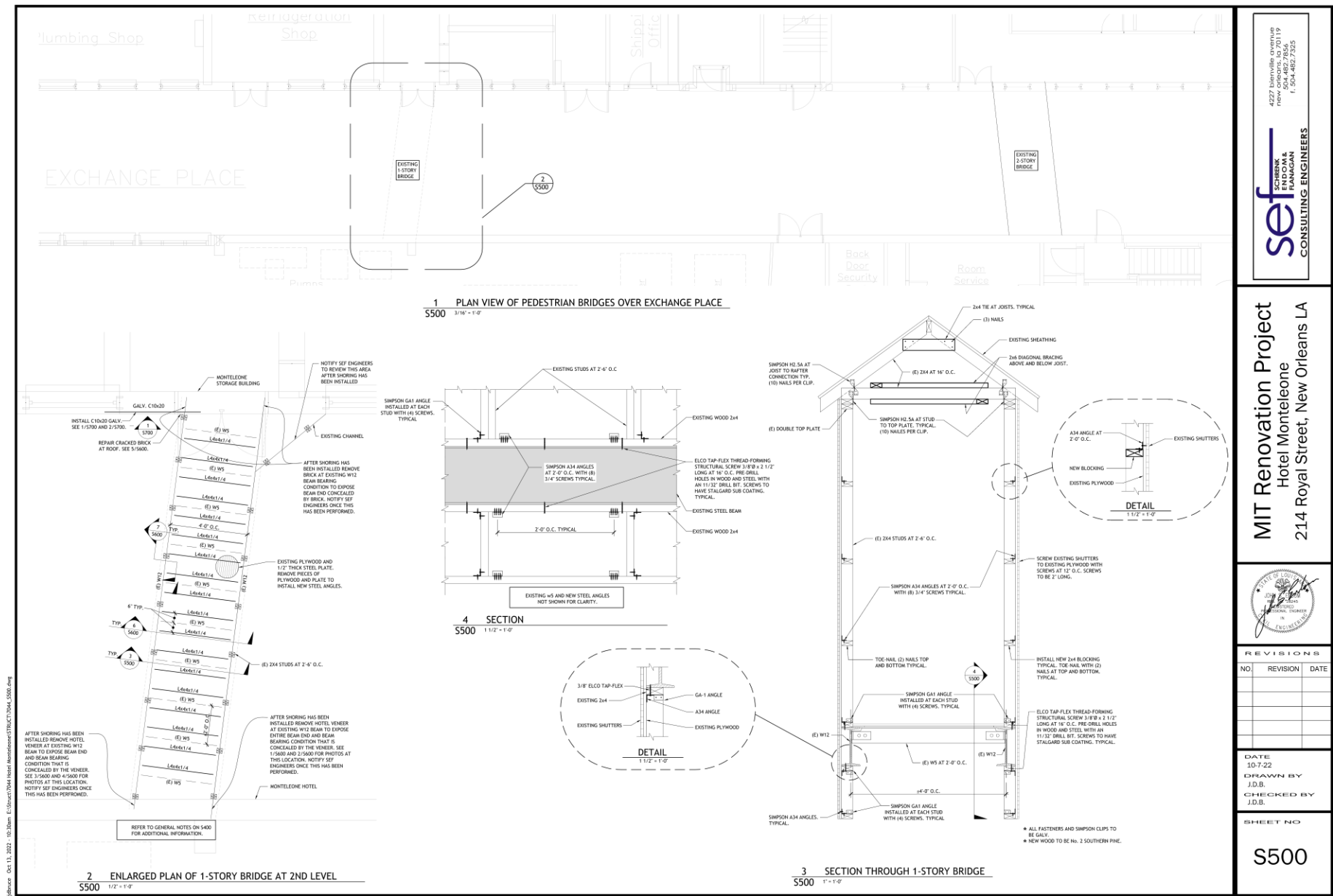
The enumerated work above was included in the Iberville Tower project scope as a matter of necessity to uphold public safety. The investigation process illuminated existing damage requiring maintenance to halt further deterioration.

Thank you in advance for your review of this added scope, which we feel will be aesthetically consistent with the existing condition.

Sincerely,

Richard A. Choate, AIA NCARB
Principal





4027 Lakeside Avenue
New Orleans, LA 70119
504.482.7854
F. 504.482.7325

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FINDORF &
KONIG
CONSULTING ENGINEERS

MIT Renovation Project
Hotel Monteleone
214 Royal Street, New Orleans, LA



REVISIONS		
NO.	REVISION	DATE

DATE
10-7-22
DRAWN BY
J.D.B.
CHECKED BY
J.D.B.

SHEET NO
S500





1 PHOTO #1
S600 N.T.S.



2 PHOTO #2
S600 N.T.S.



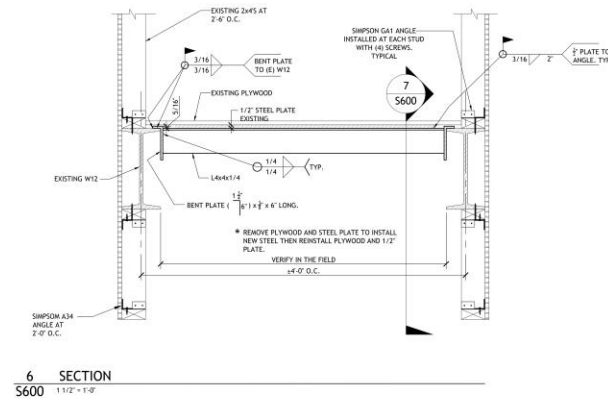
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S600 N.T.S.



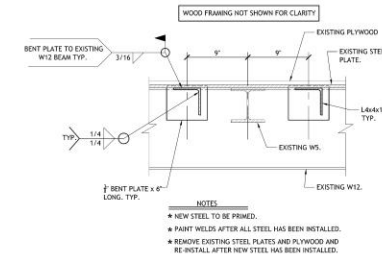
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S600 N.T.S.



5 PHOTO #5
S600 N.T.S.



6 SECTION
S600 1 1/2\"/>



7 SECTION
S600 1 1/2\"/>

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CONSULTING ENGINEERS

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Hotel Monteleone
214 Royal Street, New Orleans LA

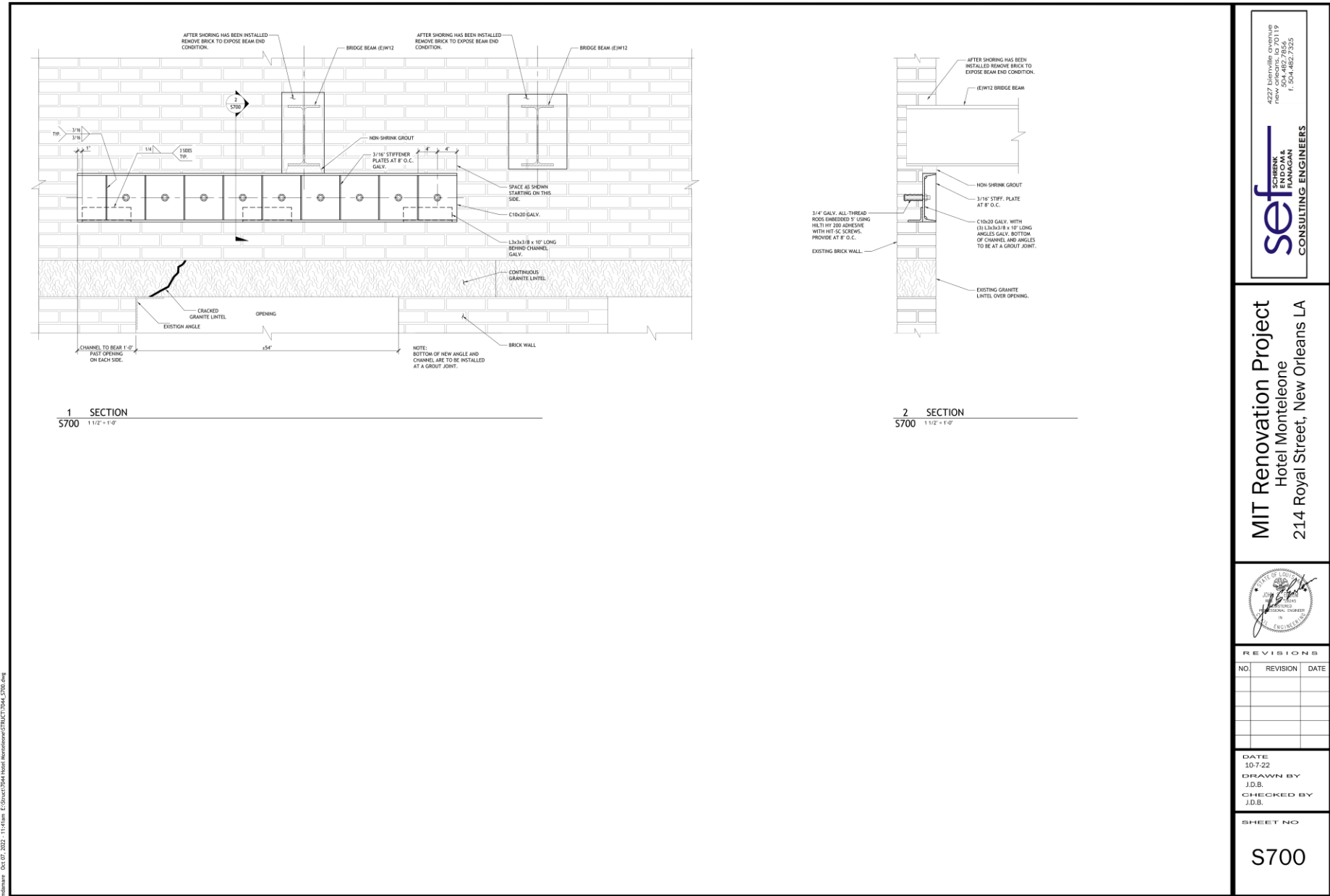


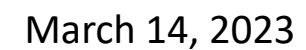
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10-7-22
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J.D.B.
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J.D.B.

SHEET NO
S600







MIT Renovation Project
Hotel Monteleone
214 Royal Street, New Orleans LA

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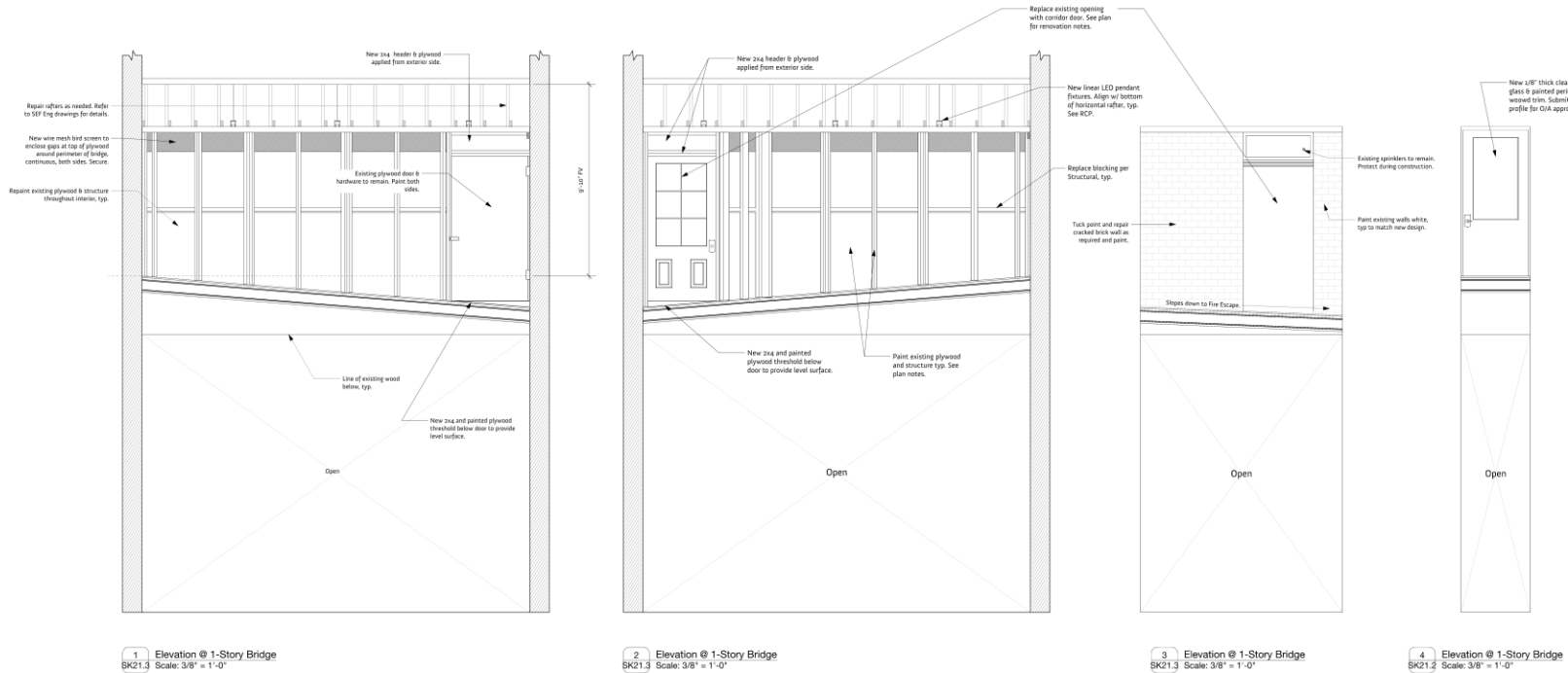
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Release	X

Project No. 1912 Drawn By sbm

1-Story Bridge Repair

Sk-21.3

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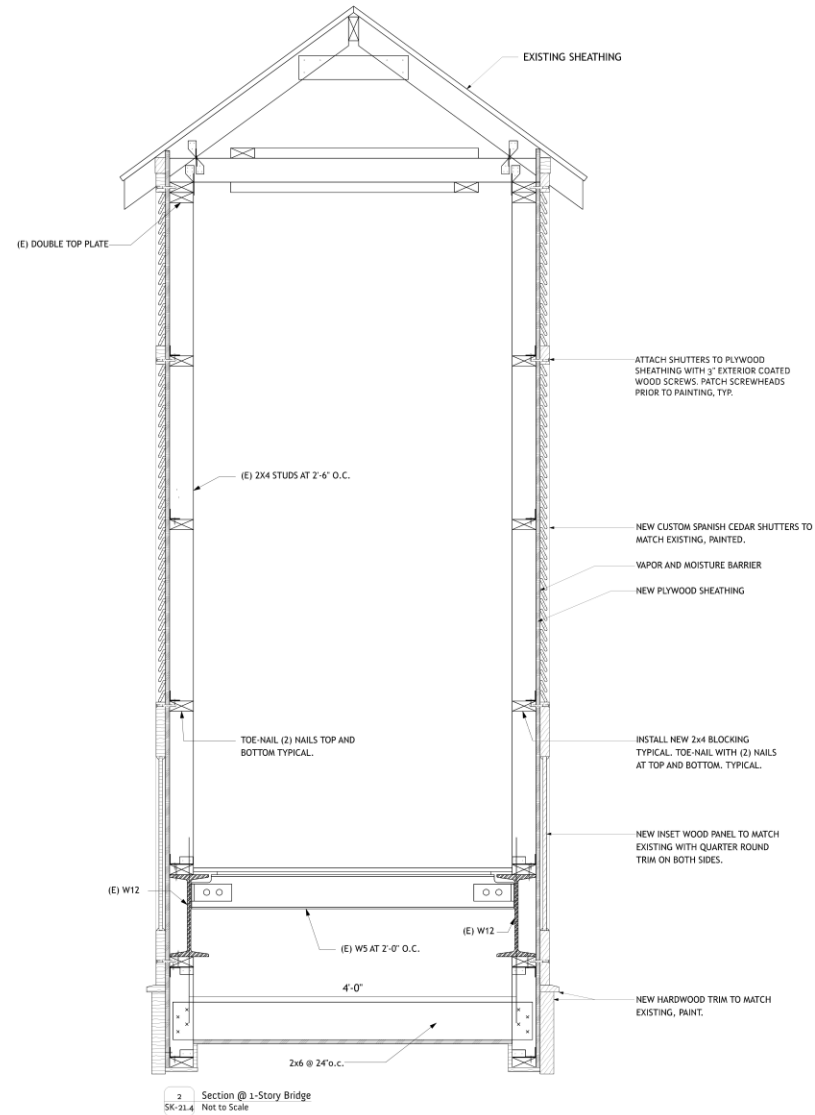


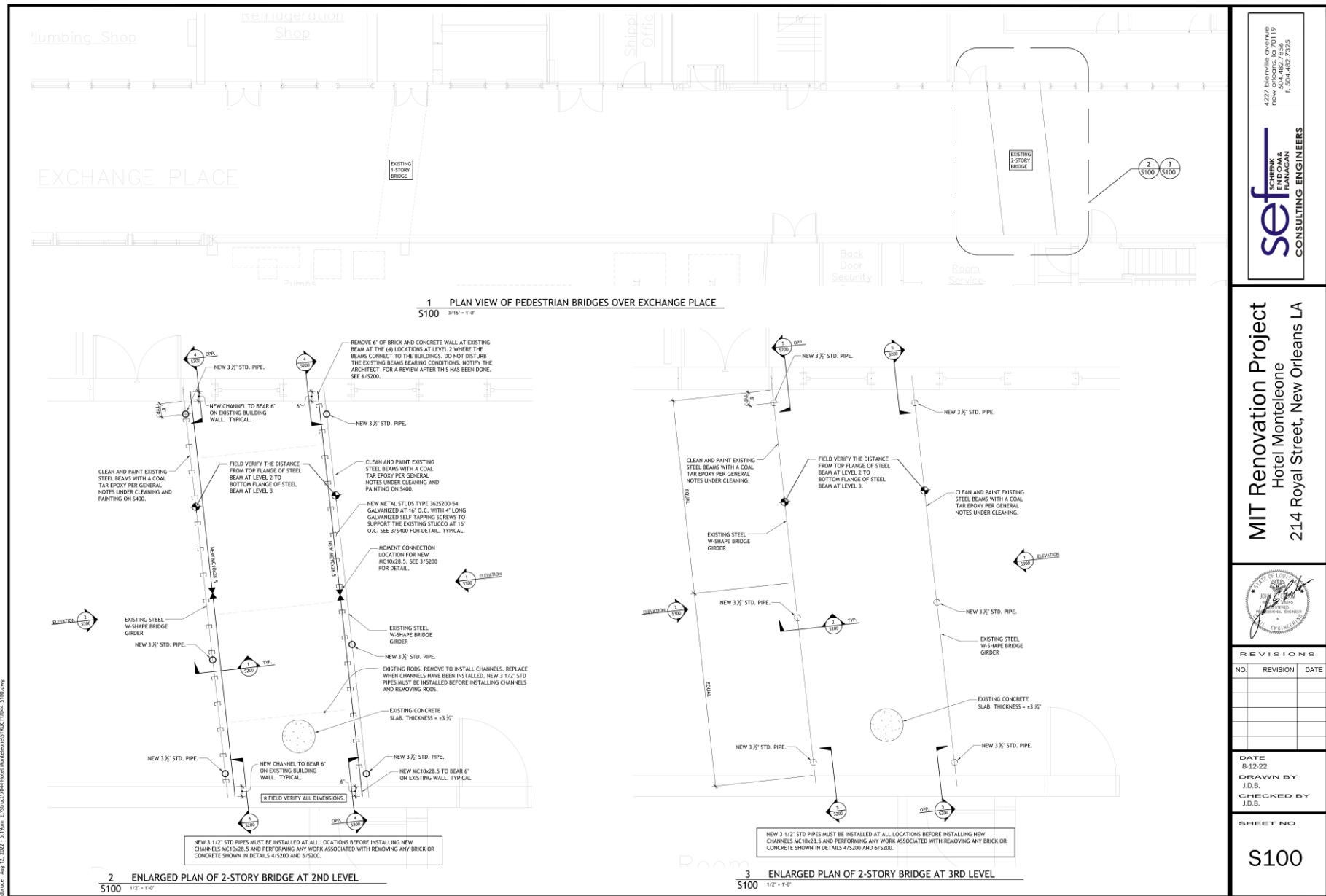
Issued

Progress

Project No. 1212 Drawn By rac

Sk-21.4





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4827 Locust St., Suite 200
New Orleans, LA 70119
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1.504.482.7325

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Hotel Monteleone
214 Royal Street, New Orleans LA



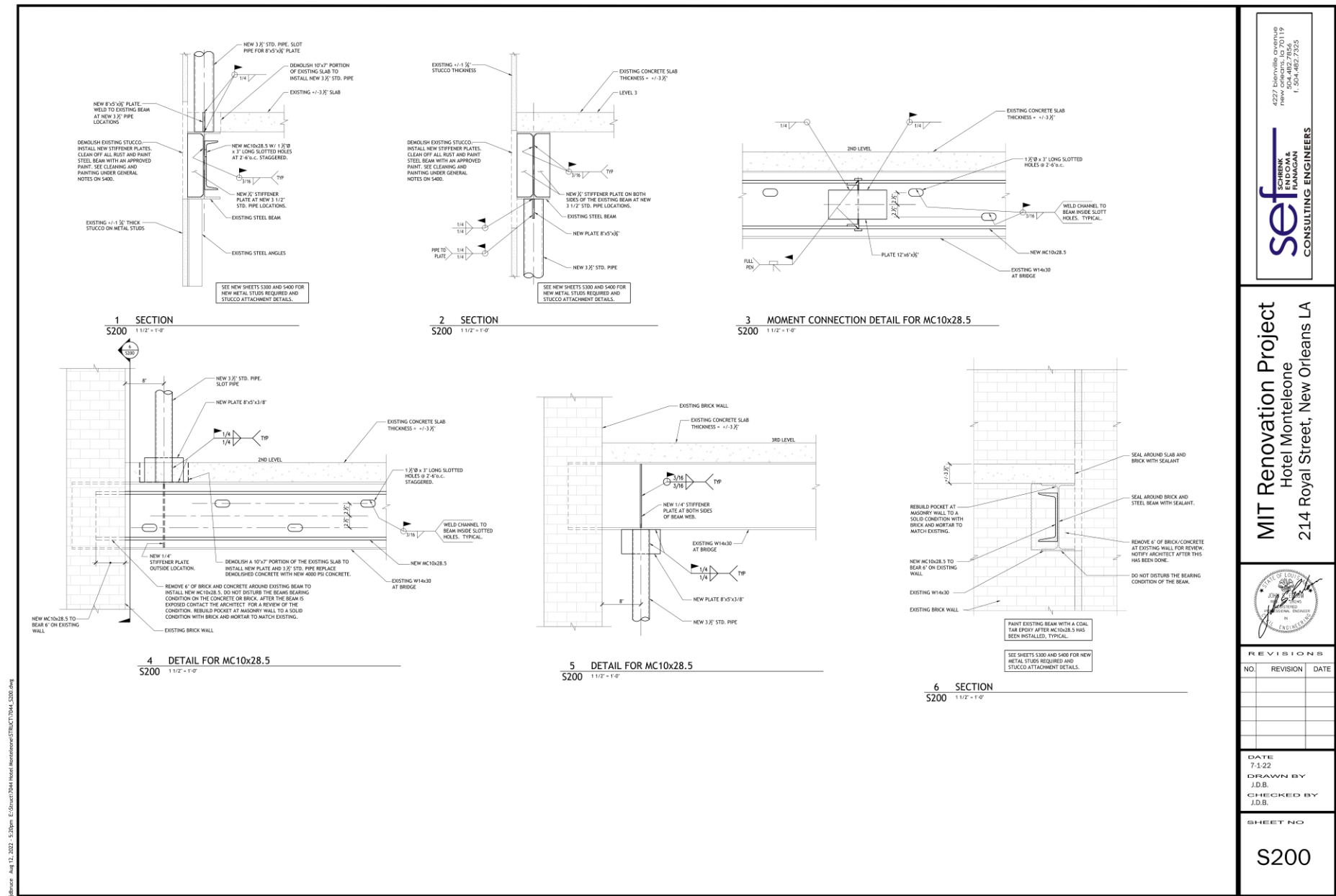
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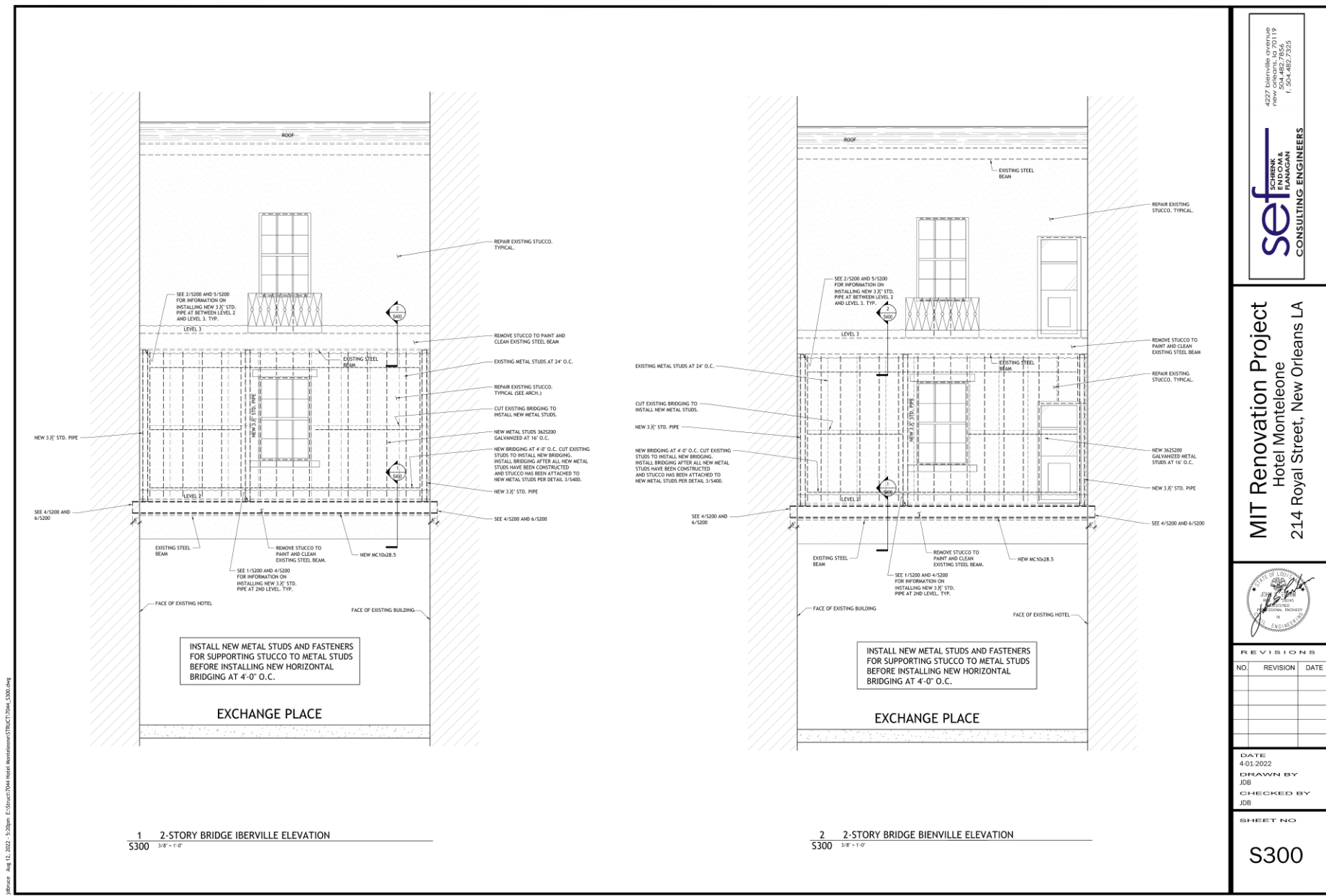
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J.D.B.
CHECKED BY
J.D.B.

SHEET NO

S100







GENERAL NOTES

1. THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS FORM A PART OF THESE DRAWINGS AND SHOULD BE USED ACCORDINGLY.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. ALL DIMENSIONS AND CONDITIONS TYPIC ONLY IF GOVERNED BY EXISTING CONDITIONS ARE APPROXIMATE AND ARE NOT TO BE CONSIDERED AS CONTRACT REQUIREMENTS. DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS. IF CONDITIONS AND DIMENSIONS VARY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY TO PROVIDE CORRECTED DIMENSIONS.
3. TYPICAL STEEL PILES PASS THROUGH BEAMS WITHOUT THE PERMISSION OF THE ARCHITECT. PILES THAT PASS THROUGH BEAMS SHALL PASS WITHIN THE MIDDLE THIRD OF THE BEAM LENGTH AND DEPTH.
4. PHYSICAL DETAILS
5. DETAILS LABELED "TYPICAL DETAILS" ON THE DRAWINGS SHALL APPLY TO ALL SITUATIONS OCCURRING ON THE PROJECT THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILING. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE POINTED IN AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER.
6. THE GENERAL CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND REPORT ANY DISCREPANCY BETWEEN EACH COPY SET OF DRAWINGS TO THE ARCHITECT AND ENGINEER PRIOR TO THE FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBERS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL CONNECTIONS. THE CONTRACTOR IS REQUIRED TO SECURE THE REQUIRED CODE VOUCHERS AND LEGAL FORMS THAT CAN OCCUR IN THE FINAL COMPLETED STRUCTURE. ONLY IF THE CONTRACTOR IS PROVIDING ALL REQUIRED BRACING DURING CONSTRUCTION TO MAINTAIN THE STABILITY AND SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE FINAL TRADING AND COMPLETION.
8. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REQUIRE THE FINISHED STRUCTURE AND, EXCEPT WHERE SPECIFICALLY NOTED, SHALL COMPLETE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, AND MATERIALS, INCLUDING THE SELECTION OF ALL MATERIALS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND FOUNDATIONS. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE AGENCIES WITH THE STRUCTURAL, CONTRACT DOCUMENTS. THIS LIMITED SITE OBSERVATION SHALL NOT BE CONSIDERED AS A GUARANTEE OR WARRANTY OF THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL MAKE AN EFFORT TO GUARD THE OWNER AGAINST GROSS DEFECTS OR DEFICIENCIES IN THE WORK OF THE CONTRACTOR.

STRUCTURAL STEEL NOTES

1. ALL STRUCTURAL STEEL TO CONFORM WITH LATEST REQUIREMENTS OF ASTM AND AISC FOR FABRICATION AND ERECTION OF STRUCTURAL STEEL.
2. ALL WELD FABRICATION STRUCTURAL STEEL SHALL CONFORM TO ASTM A992, ALL OTHER ROLLED STRUCTURAL STEEL SHALL CONFORM TO ASTM A572.
3. STEEL TUBE - ASTM A500, GRADE B (F_y = 48KSI)
4. PLATES AND BARS - ASTM A36 AND ASTM A572-50 WHERE INDICATED.
5. ALL STRUCTURAL BOLTS SHALL BE A 325 UNLESS OTHERWISE NOTED.
6. ALL ANCHOR BOLTS SHALL BE A 305 UNLESS OTHERWISE NOTED.
7. ALL EMBEDDED STEEL TIES EXCLUDING COLUMN ANCHORS (BOLT IN U-JOINT) SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST A.I.A.C. - STANDARD SPECIFICATIONS AND SHALL BE A 3/4" - A 36 U-JOINT. ALL EMBEDDED STEEL TIES SHALL NOT BE HOT DIPPED GALVANIZED AFTER FABRICATION.
8. ALL WELDERS SHALL CONFORM WITH THE LATEST EDITION OF AWS CODE. ALL WELDERS (SHOP & FIELD) SHALL HAVE A CERTIFICATE FOR THE TYPE OF WELDING BEING PERFORMED.
9. WELDING INDICATED ON THESE DWGS. MAY BE SHOP OR FIELD WELDING. CONTRACTORS TO BE PERFORMED WHERE SPECIFICALLY NOTED. EDGE OF SLAB AND ROOF BENT PLATES, ANGLES AND OTHER ASCE, EXTENSION OF FIELD ITEMS SHALL BE FIELD WELDED TO BEAMS. PROVIDE FABRICATION AND ERECTION TOLERANCES MORE STRINGENT THAN SPECIFIED BY ASCE. WHERE REQUIRED TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST.
10. ALL WELDING SHALL BE DONE USING ER70 ELECTRODES, UNLESS
11. UNLESS OTHERWISE INDICATED AT THE STRUCTURAL DETAILS PROVIDE THE ANGLES, TUBES, PLATES, CHANNELS, AND OTHER STEEL MEMBERS' SHOWN AT ARCHITECTURAL DETAILS, AND CONNECT WITH 1/4" PLATE WELDED AT ALL MATERIALS TYPE INTERFACES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DELIVERY OF ALL WELDED STEEL, TIE ANCHORS, BRACKETS, TIES, CHANNELS, PLATE, BAR, ETC. (INDICATED, DETAILING, OR UPON IN THE DRAWING WHETHER SHOWN OR ARCHITECTURAL AND STRUCTURAL DRAWINGS).
13. ALL EXPOSED STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED. REPAIR ALL WELDS AT GALVANIZED STEEL WITH A HIGH CHINE COAL GALVANIZING COMPOUND.

SUBMITTALS

1. STRUCTURAL STEEL SHOP DRAWINGS
2. THE PRODUCT DATA FOR THE FOLLOWING MATERIALS FACTORIES:
3. COAL GALVANIZING SHOP PRODUCT DATA
4. TUBES, CHANNELS, PLATE, BAR, ETC. (INDICATED, DETAILING, OR UPON IN THE DRAWING WHETHER SHOWN OR ARCHITECTURAL AND STRUCTURAL DRAWINGS)
5. TAILOR PRODUCT DATA FOR F60 AND F12 TIE BOLTS AND F12 x 1/4" L12 LONG GALV. STEEL TYPING TUBES
6. F60 TAILOR PRODUCT DATA FOR F60

POST-INSTALLED ANCHORS

1. ALL ROBS AND REINFORCING BARS ANCHORED INTO NEW CONCRETE TO BE INSTALLED WITH HILTI HIT-400 500F SET ADHESIVE. ROBS SHALL BE AS AN THREAD UNLESS INDICATED OTHERWISE.

TESTING

AN OWNER, SELECTED AND COMPENSATED INDEPENDENT TESTING AGENCY SHALL PROVIDE THE FOLLOWING SERVICE. TESTING REQUIREMENTS ARE BASED ON THE FACTS AND OWNERS DESIGNATED REPRESENTATIVE.

1. VISUAL INSPECTION OF ALL SPOT AND FIELD WELDING.
2. VERIFICATION OF SHOP AND FIELD WELDING AND CERTIFICATION.
3. FULL PENETRATION WELDS ARE REQUIRED TO PASS ULTRASONIC (UT) TESTING IN ACCORDANCE WITH AWS D1.101.

COLD-FORMED STEEL FRAMING

1. LIGHT GAUGE STEEL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2015 IRC AND AISI STANDARD NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURES.
2. IRC, STEEL PROPERTIES SHALL BE PER METAL STEEL TRADE MANUFACTURES ASSOCIATION STANDARDS.
3. STUDS SHALL BE SEATED SECURELY IN THE TRACK WITH THE STUD WEB AND FLANGE, ABUTTING THE TRACK WEB, FLANGED AND ALIGNED, AND SECURELY ATTACHED TO THE FLANGES OF BOTH THE UPPER AND LOWER TRACKS AS INDICATED.
4. SPACES IN STUDS SHALL NOT BE PERMITTED.
5. TEMPORARY BRACING SHALL BE PROVIDED UNTIL ERECTION IS COMPLETE. TEMPORARY BRACING REQUIREMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
6. F_y = 50 KSI/GALV.
7. NEW BRIDGING TO BE 36X121/4 S4 WITH 1 x 21 x 1/4 16GA. x 1" LONG ANCHORS. ATTACH ANCHORS TO EACH WITHIN 22" TO 24" TO TOP CORNER OF EACH TRACK. USE 4x4 AND 10x100.

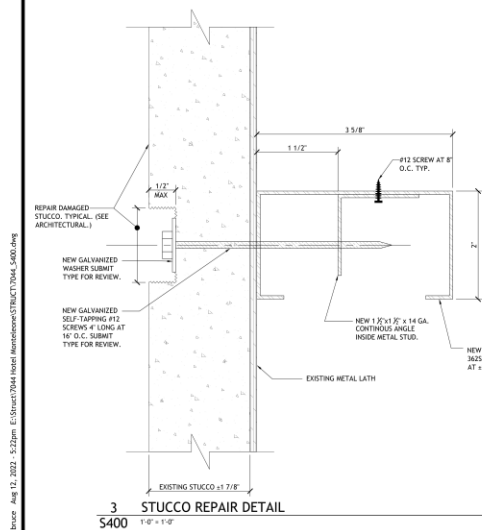
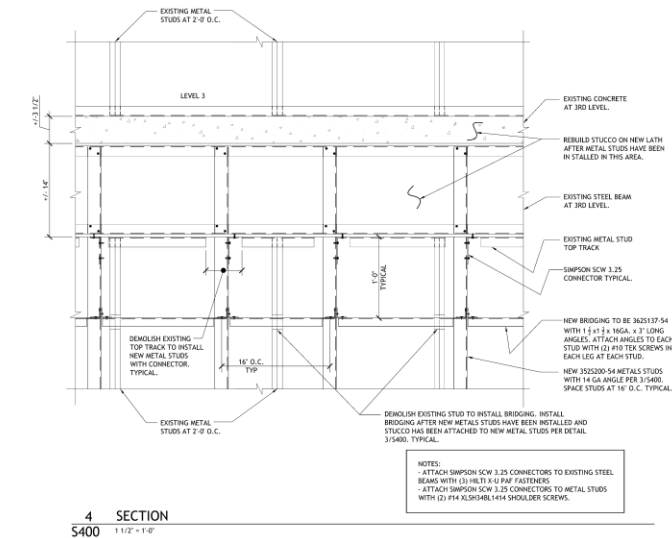
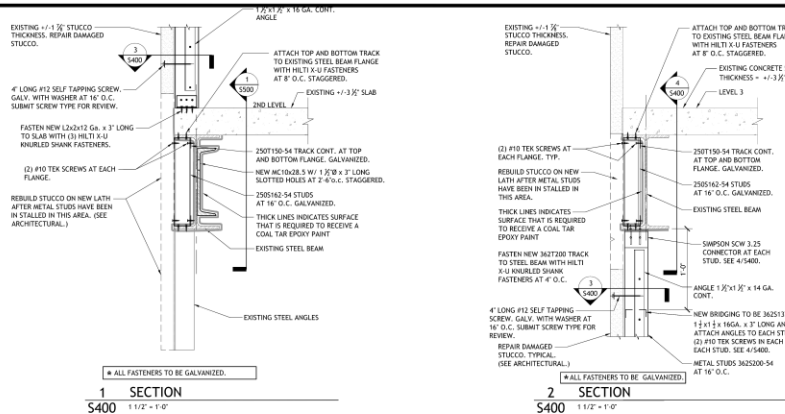
CLEANING AND PAINTING

CLEAN THE 2ND LEVEL AND 3RD LEVEL STEEL BEAMS AT THE 2 STORY BRIDGE AND PAINT WITH A COAL DUST EPOXY PAINT. SUBMIT A COAL DUST EPOXY PAINT DATA FOR REVIEW AND CLEAN THE STEEL FOR THE APPROVED COAL DUST EPOXY PAINT APPLICATION INSTRUCTIONS. USE 1080S AND 2180S FOR THE AREA TO REPAIR THE COAL DUST EPOXY COATING.

TESTING

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3. FULL PENETRATION WELDS ARE REQUIRED TO PASS ULTRASONIC (UT) TESTING IN ACCORDANCE WITH AWS D1.101.



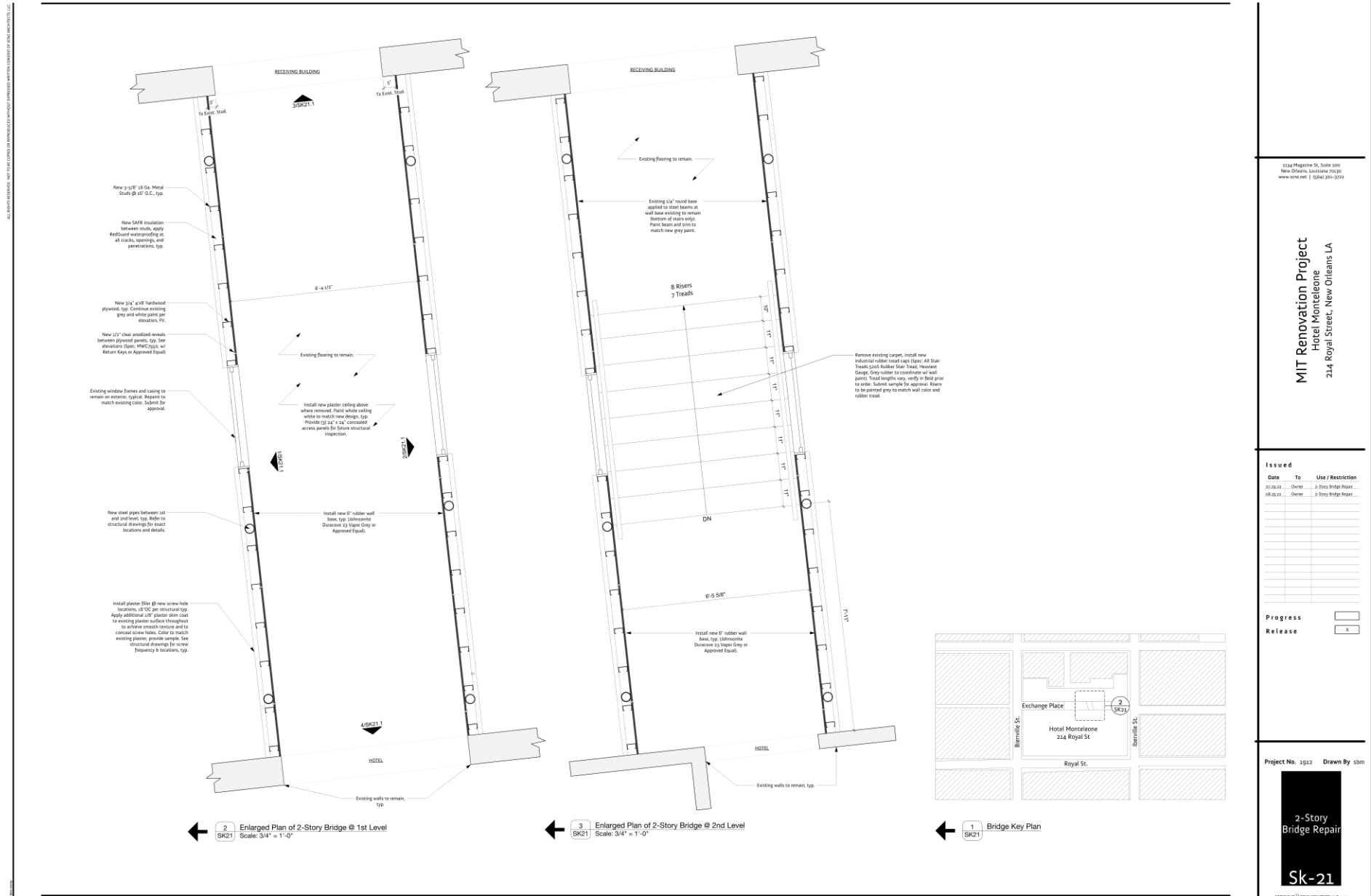
REVISIONS		
NO.	REVISION	DATE

DATE
8-12-2022
DRAWN BY
JDB
CHECKED BY
JDB

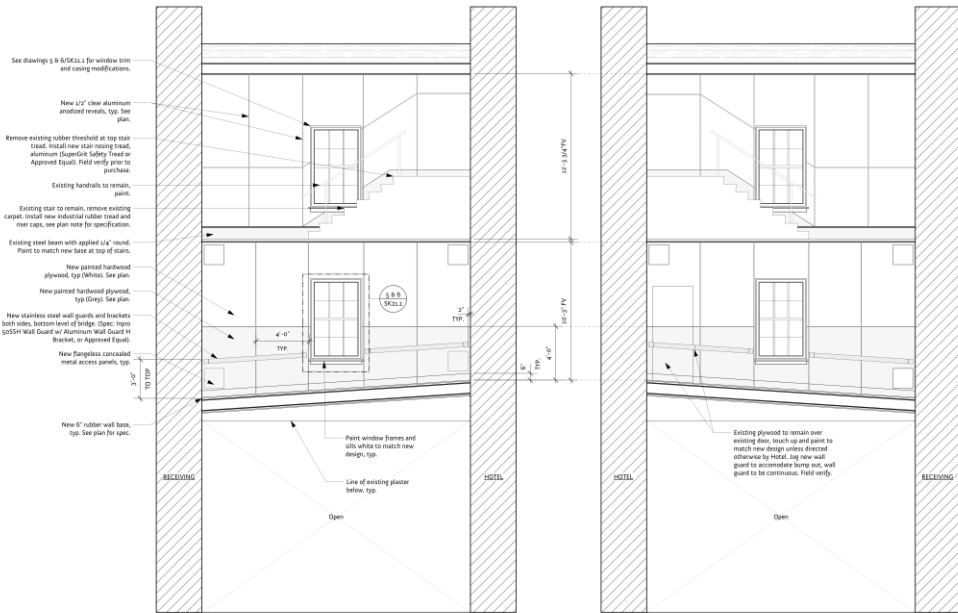
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S500



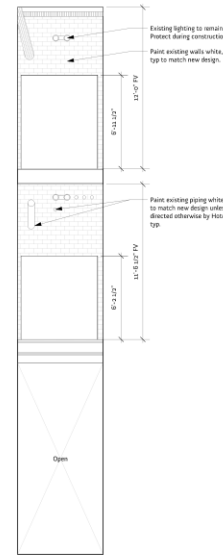


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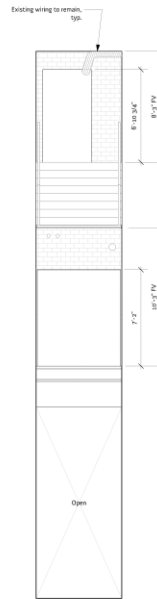


1 Elevation @ 2-Story Bridge (NE)
SK21.1 Scale: 1/4" = 1'-0"

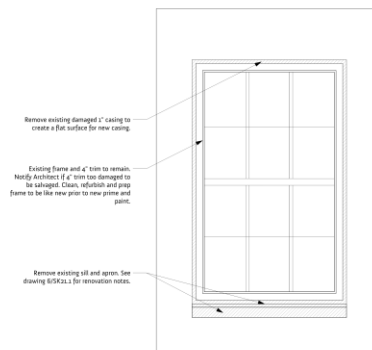
1 Elevation @ 2-Story Bridge (SW)
SK21.1 Scale: 1/4" = 1'-0"



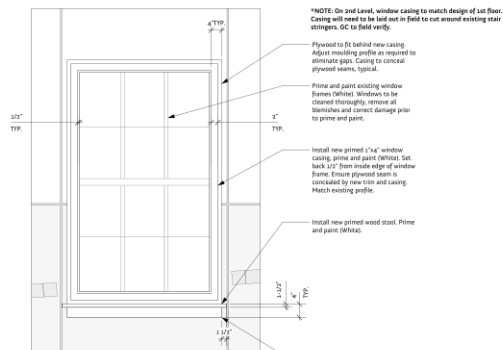
3 Elevation @ 2-Story Bridge (Receiving Side)
SK21.1 Scale: 1/4" = 1'-0"



4 Elevation @ 2-Story Bridge (Hotel Side)
SK21.1 Scale: 1/4" = 1'-0"



5 Typical Demo Elevation @ 2-Story Bridge Windows
SK21.1 Scale: 3/4" = 1'-0"



6 Typical Elevation @ 2-Story Bridge Windows
SK21.1 Scale: 3/4" = 1'-0"

*NOTE: On 2nd Level, window casing to match design of 1st floor. Casing will need to be laid out in field to cut around existing stair stringers. GC to field verify.

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MIT Renovation Project
Hotel Monteleone
214 Royal Street, New Orleans LA

Issued		
Date	To	Use / Restriction
07.09.22	Owner	2-Story Bridge Repair
08.25.22	Owner	2-Story Bridge Repair

Progress	<input type="checkbox"/>
Release	<input checked="" type="checkbox"/>

Project No. 1912 Drawn By: JMB

2-Story
Bridge Repair

SK-21.1

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