

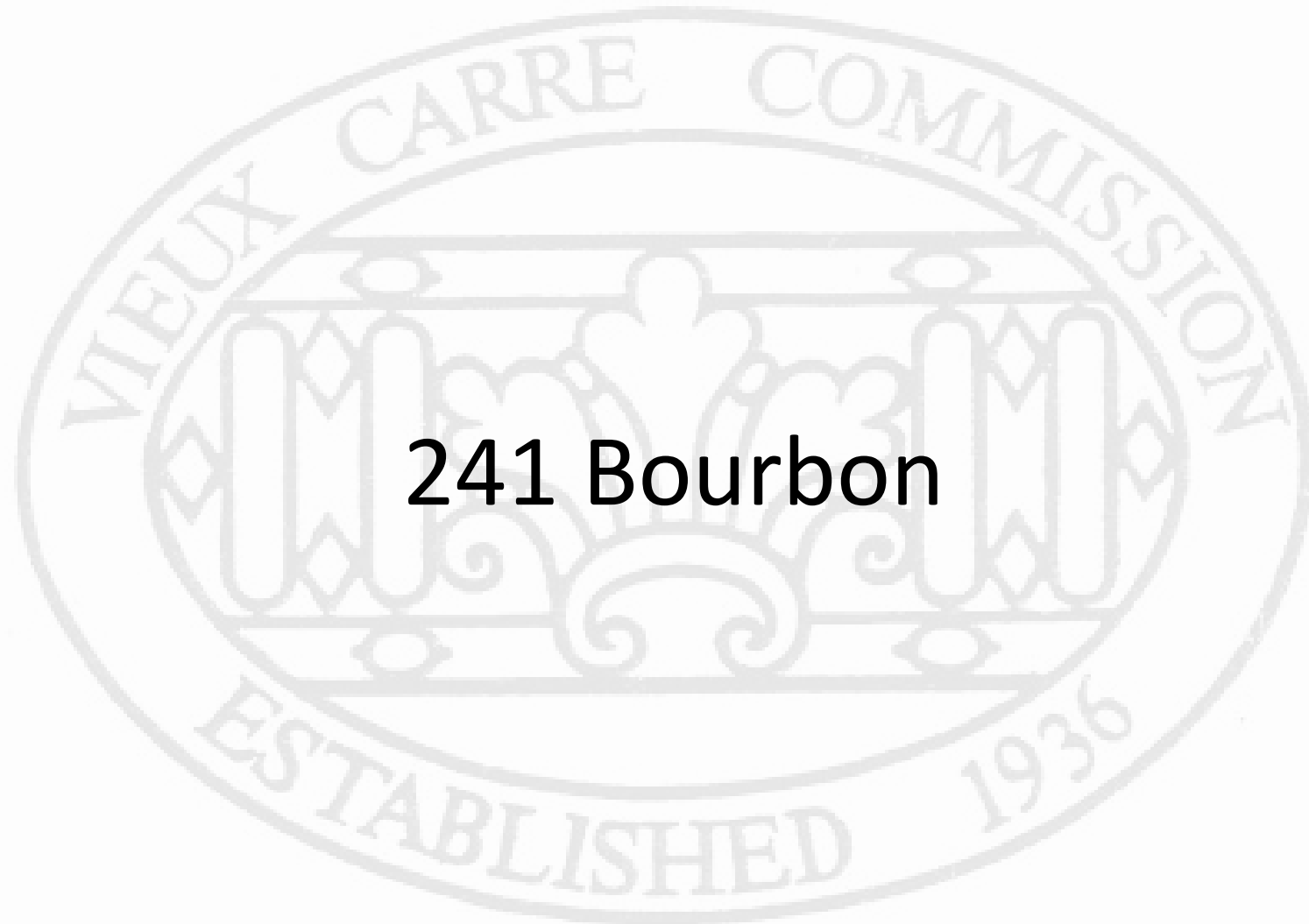


Vieux Carré Commission Architecture Committee Meeting

Tuesday, October 8, 2024



Old Business



241 Bourbon



235-41 Bourbon

VCC Architecture Committee

October 8, 2024





235-41 Bourbon - 1963
VCC Architecture Committee

October 8, 2024





235-41 Bourbon - 1965
VCC Architecture Committee

October 8, 2024





235-41 Bourbon - 1980

VCC Architecture Committee

October 8, 2024





235-41 Bourbon - 2008
VCC Architecture Committee

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

10 19 2022

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

01 29 2024

October 8, 2024





235-41 Bourbon
VCC Architecture Committee

October 8, 2024





235-41 Bourbon
VCC Architecture Committee

October 8, 2024





235-41 Bourbon

VCC Architecture Committee

October 8, 2024





235-41 Bourbon
VCC Architecture Committee

October 8, 2024

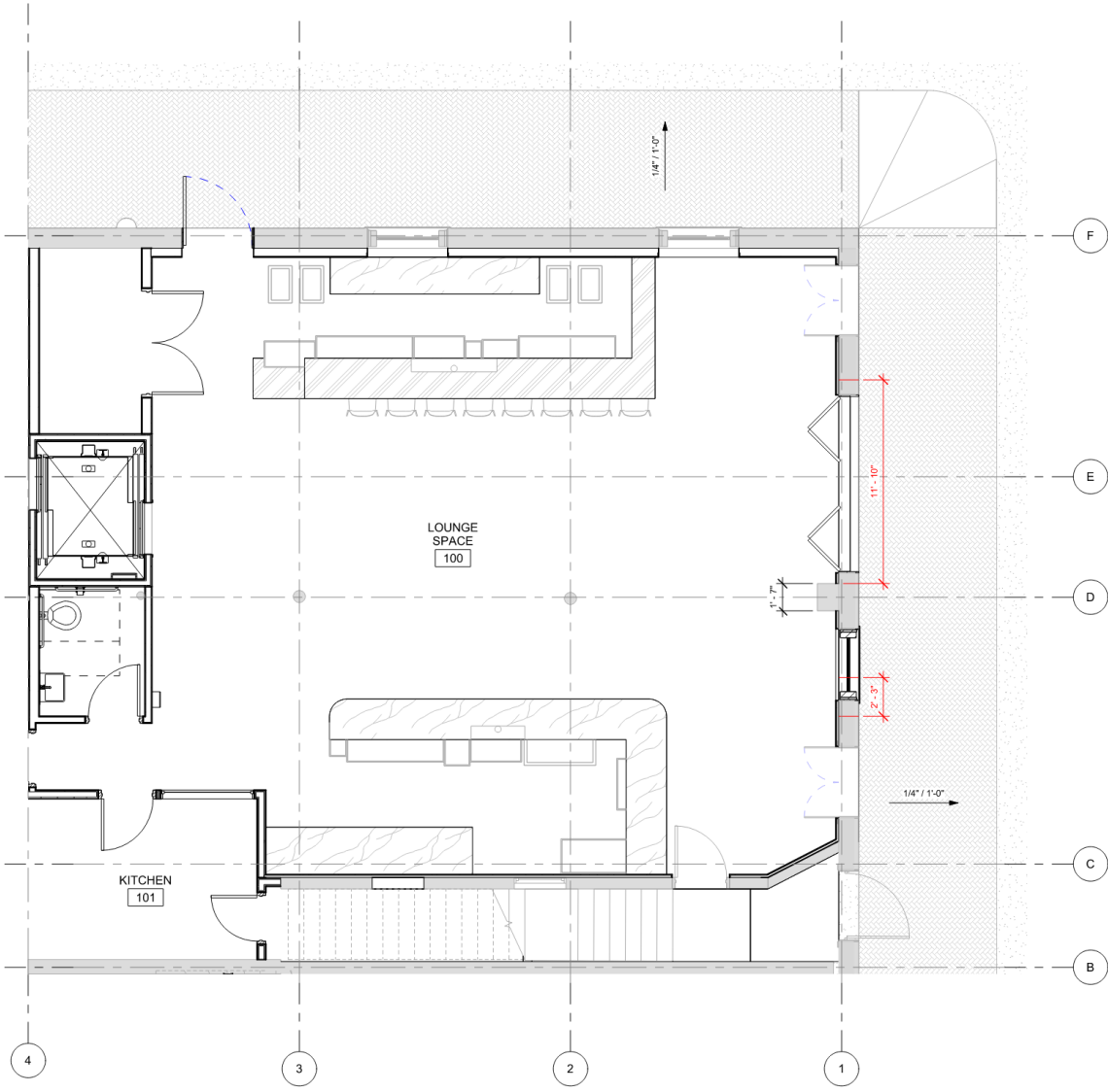




235-41 Bourbon
VCC Architecture Committee

October 8, 2024





2 11.5 FIRST FLOOR PLAN
1/4" = 1'-0"

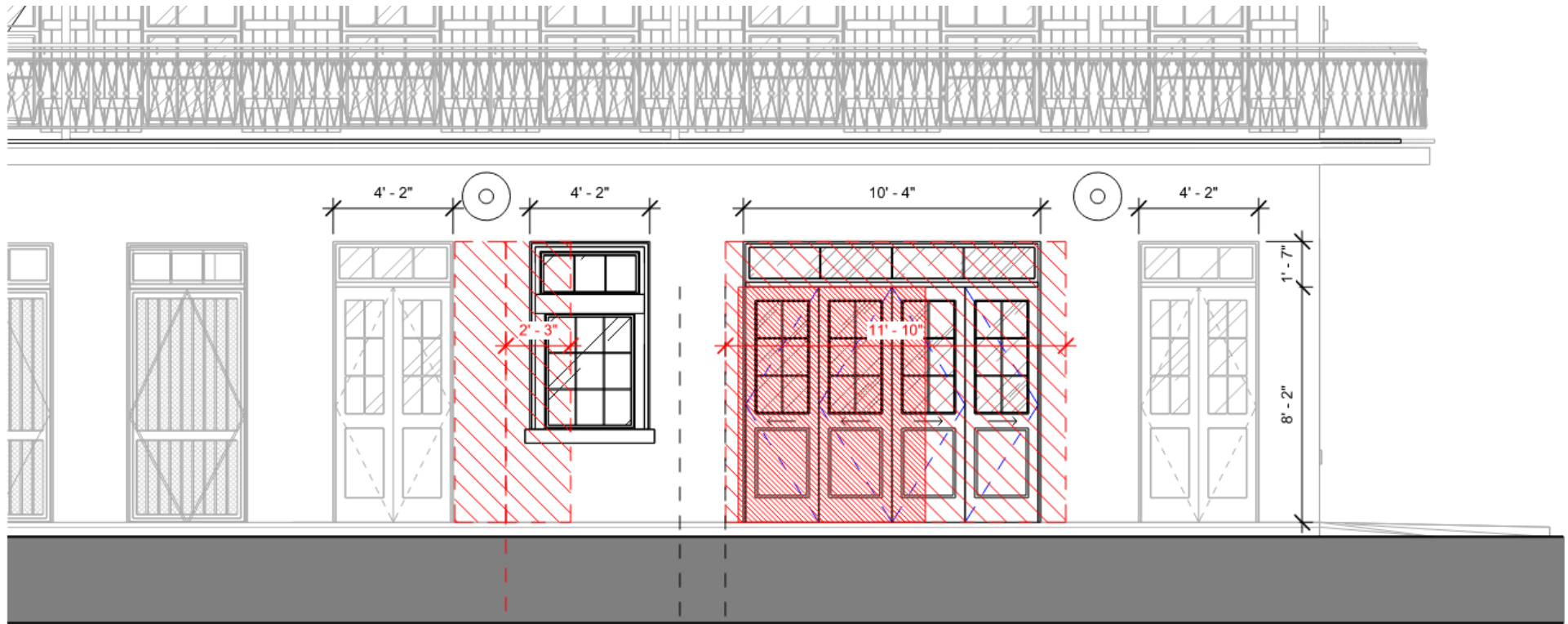




1 11.5 VCC EAST ELEVATION - BOURBON ST.
1/4" = 1'-0"

235-41 Bourbon
VCC Architecture Committee

October 8, 2024






 LOCATION OF EXISTING DOORS
 LOCATION OF CLOSED OPENINGS

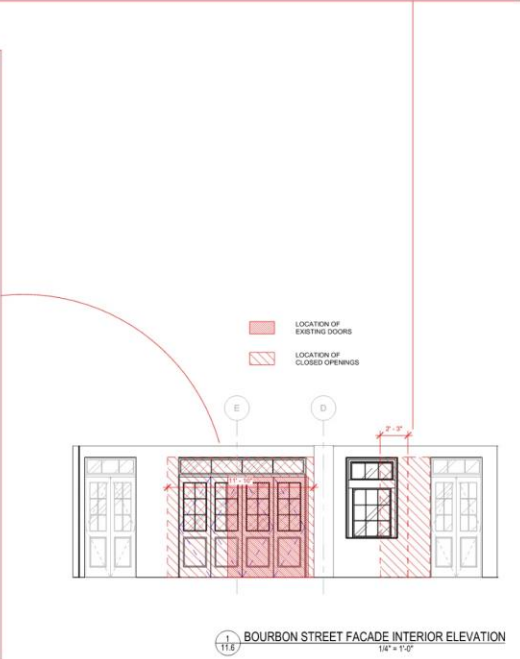
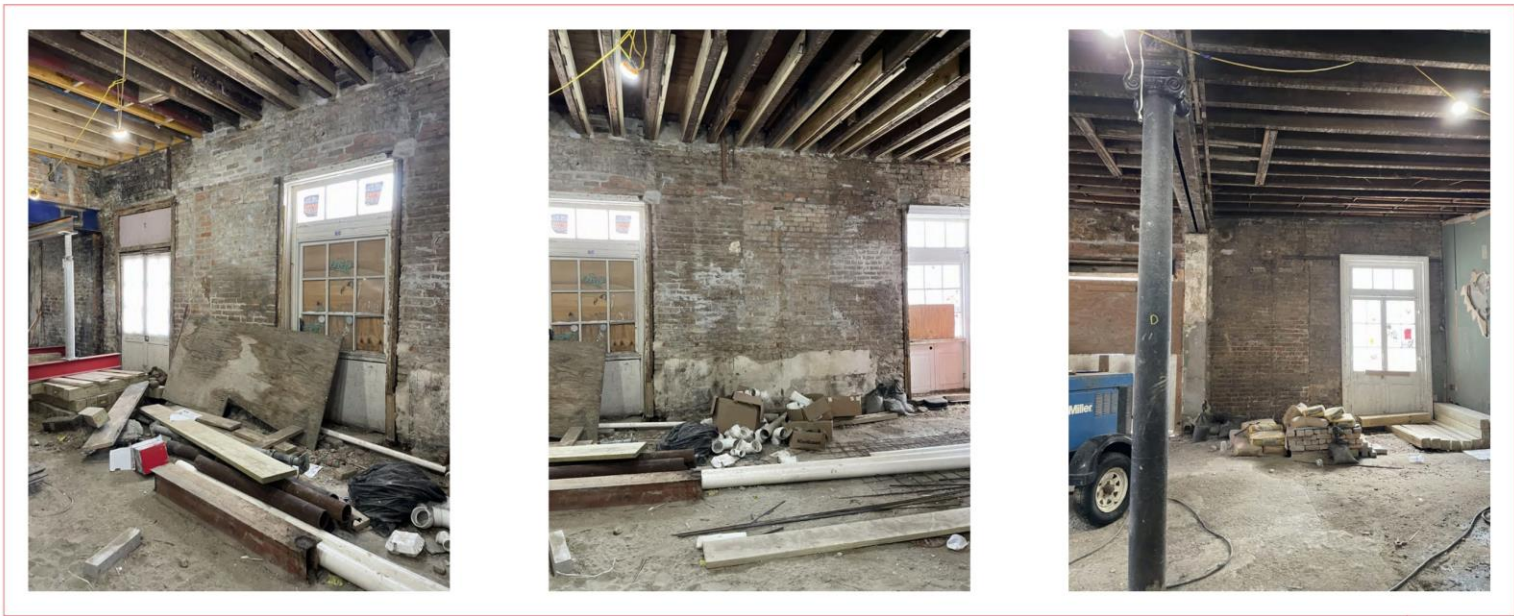
NEW EXTERIOR DOOR TO MATCH EXISTING

NEW BI-FOLD DOOR MILLED TO MATCH ADJACENT DOORS

BOTTOM RAIL EXTENDED TO MEET VARIABLE SIDEWALK GRADE; VCC APPROVED 4/18/24

 VCC EAST ELEVATION - BOURBON ST.
 1/4" = 1'-0"

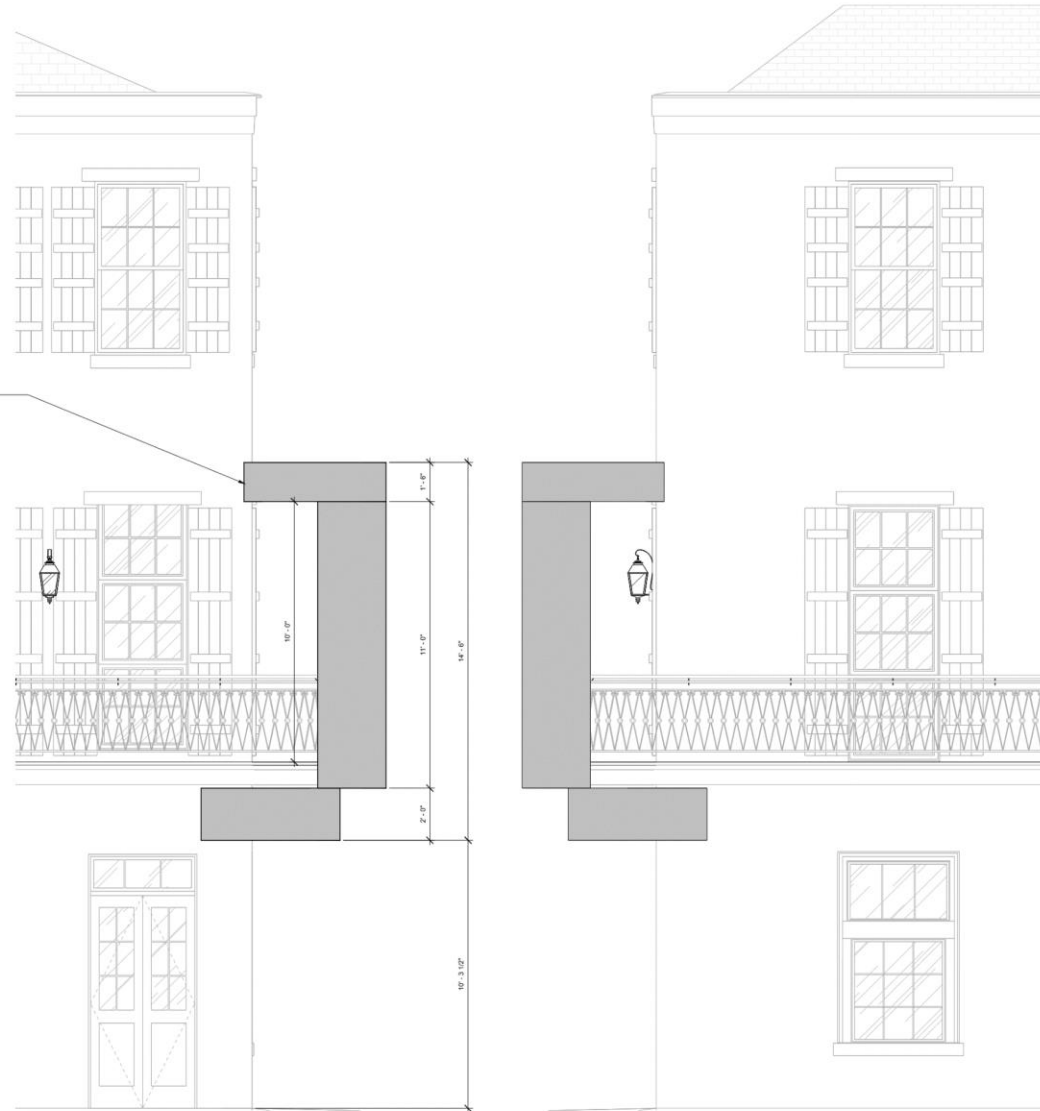






DIMENSIONS TO BE VERIFIED IN FIELD

NEW BLADE SIGN TO MATCH HISTORIC SIZE, SHAPE, AND LOCATION



1 117 BOURBON ST ELEVATION 1/2" = 1'-0"

1 117 BIENVILLE ELEVATION 1/2" = 1'-0"





**97 French Market Place
430 Barracks
1240 Decatur**



97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024



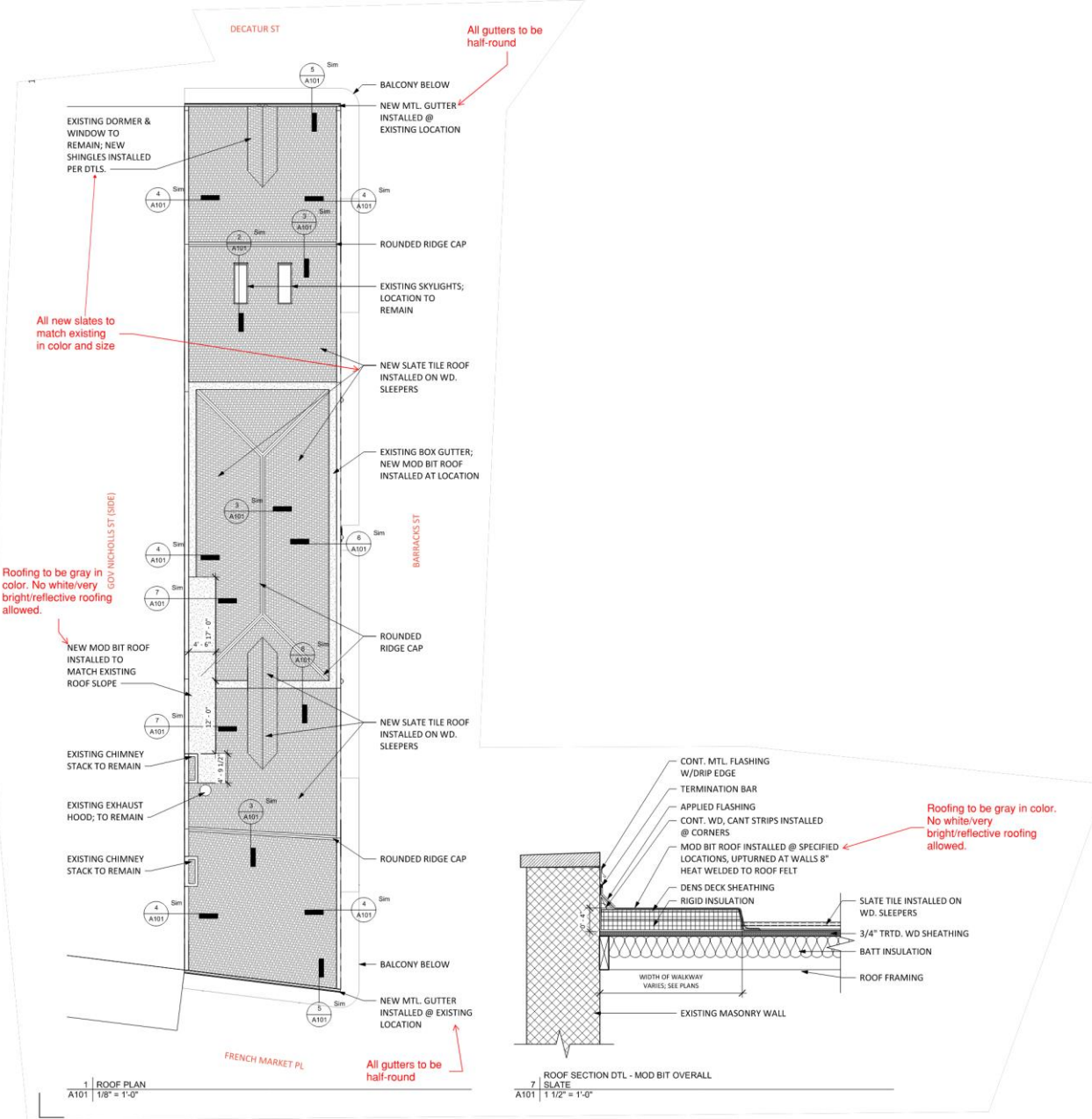


97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

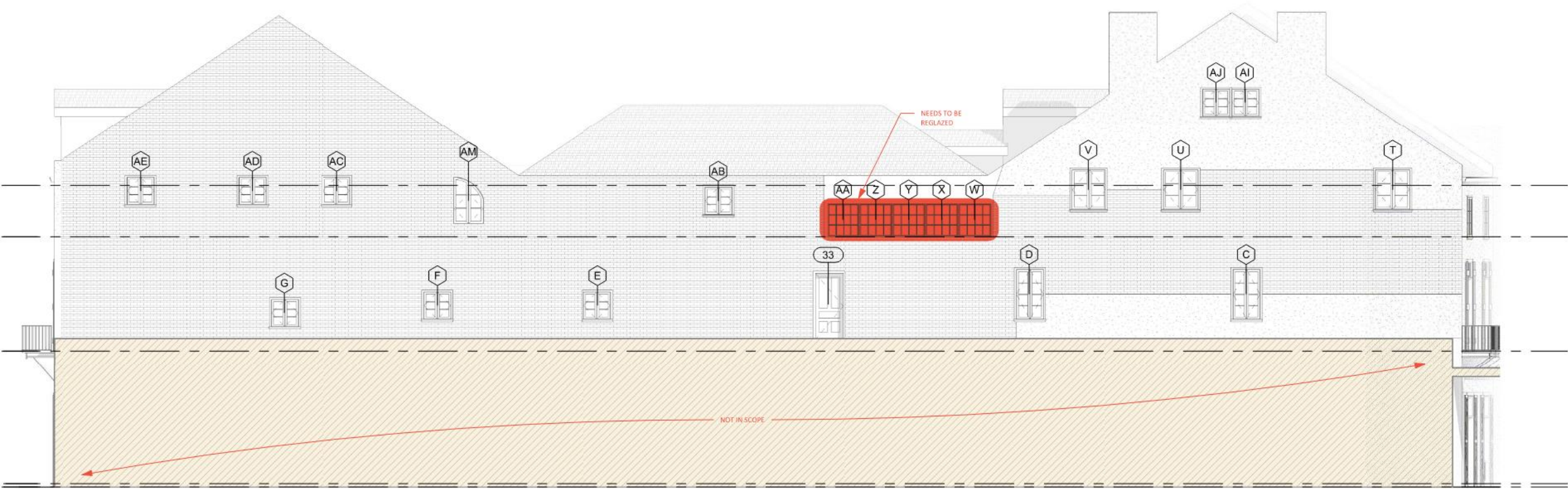
October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur – Approved Plans





4 | GOV. NICHOLLS ST. (SIDE) ELEV.
A200 | 1/8" = 1'-0"

97 French Market Place/ 430 Barracks/ 1240 Decatur – Approved Plans

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

October 8, 2024



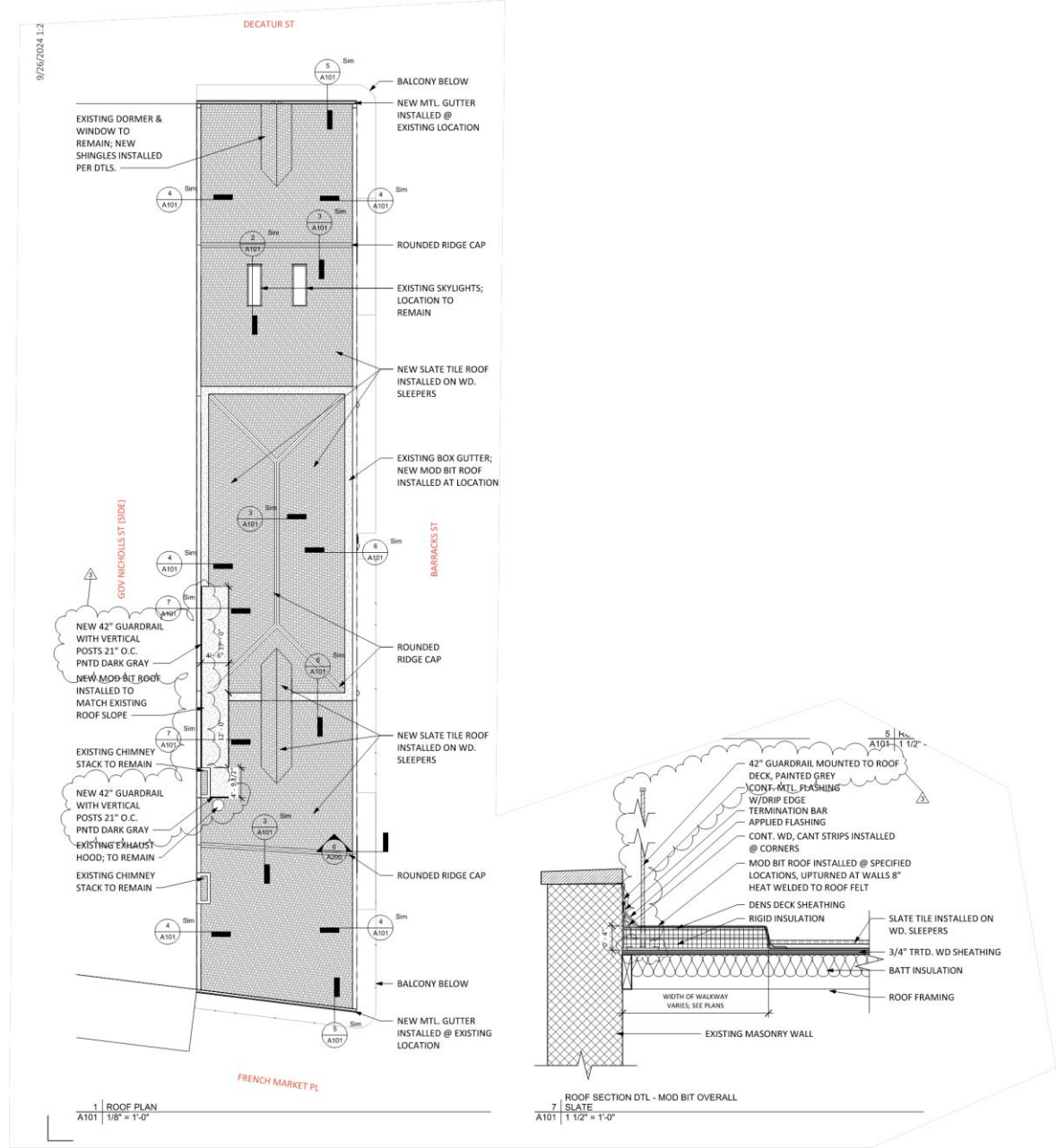


97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

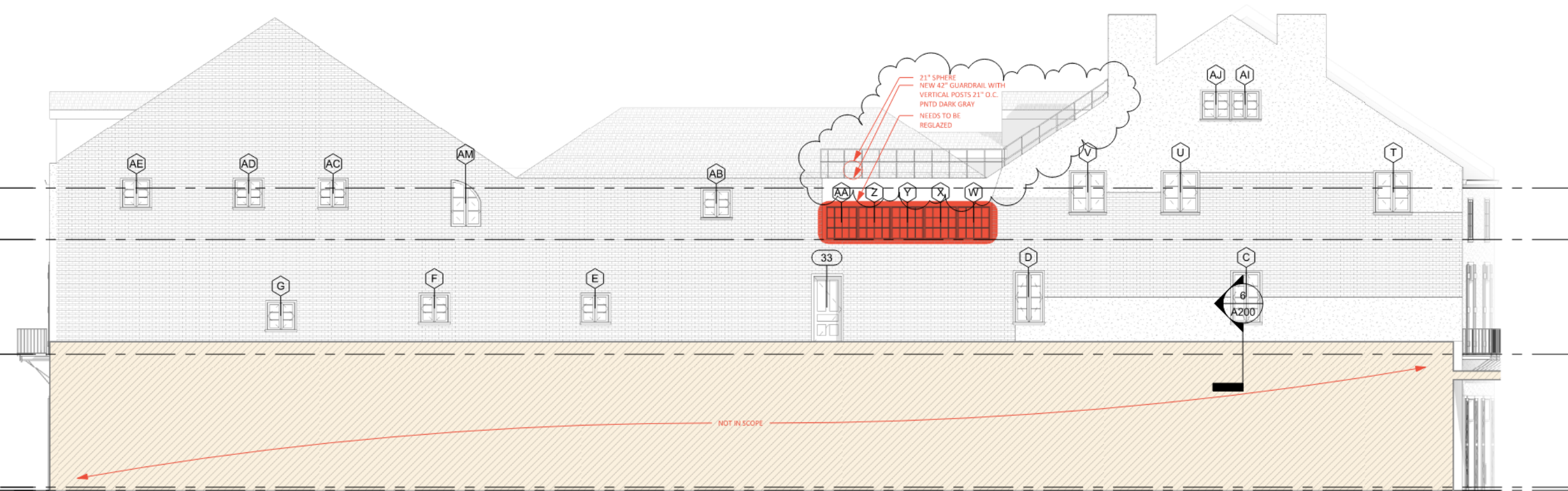
October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur - Proposed





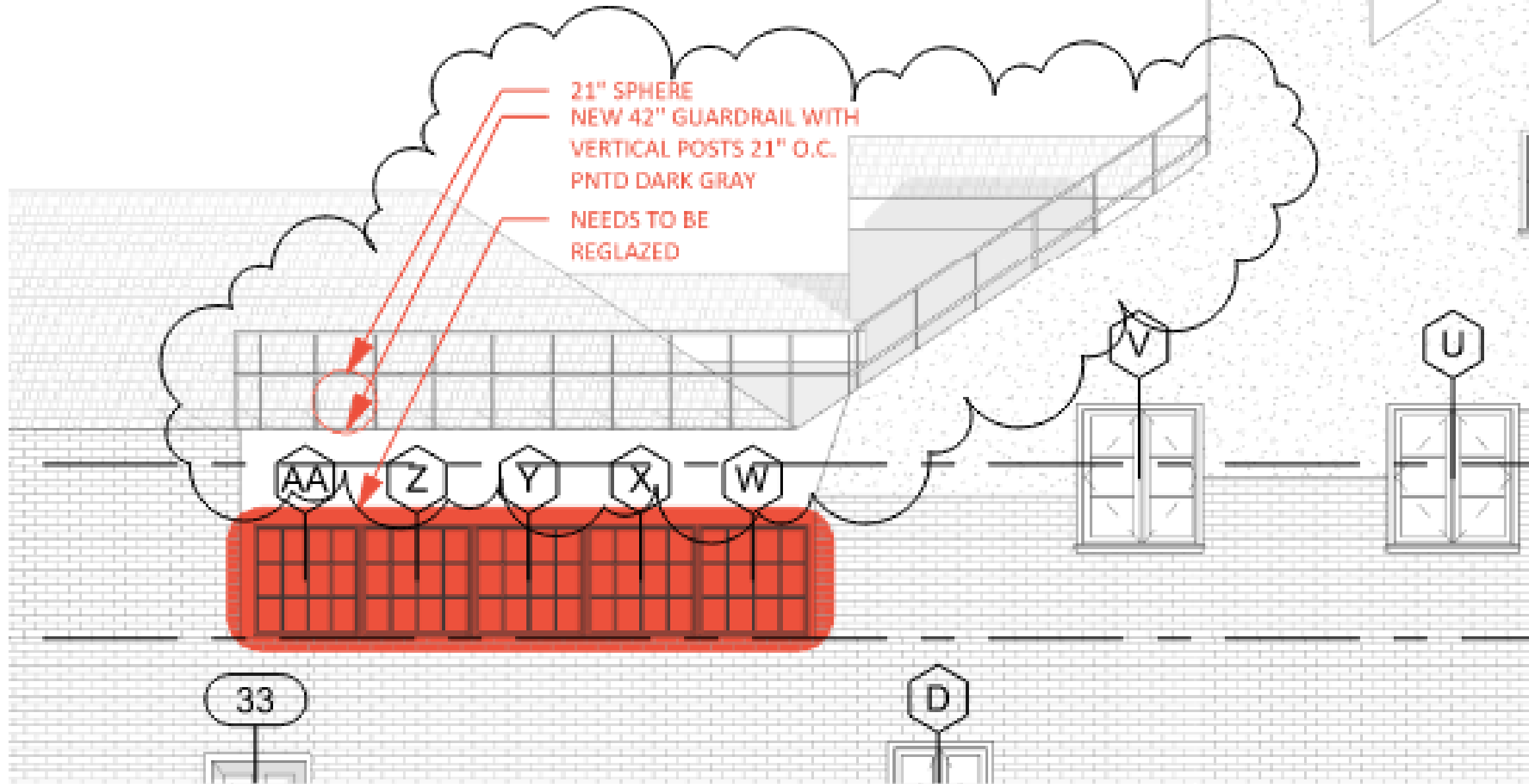
4 | GOV. NICHOLLS ST. (SIDE) ELEV.
 A200 | 1/8" = 1'-0"

97 French Market Place/ 430 Barracks/ 1240 Decatur - Proposed

VCC Architecture Committee

October 8, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur - Proposed





1 | 3D View 5
A103



2 | 3D View 3
A103



3 | 3D View 6
A103



4 | 3D View 7
A103

97 French Market Place/ 430 Barracks/ 1240 Decatur - Proposed

VCC Architecture Committee

October 8, 2024





1 | 3D View 5
A103

97 French Market Place/ 430 Barracks/ 1240 Decatur - Proposed

VCC Architecture Committee

October 8, 2024



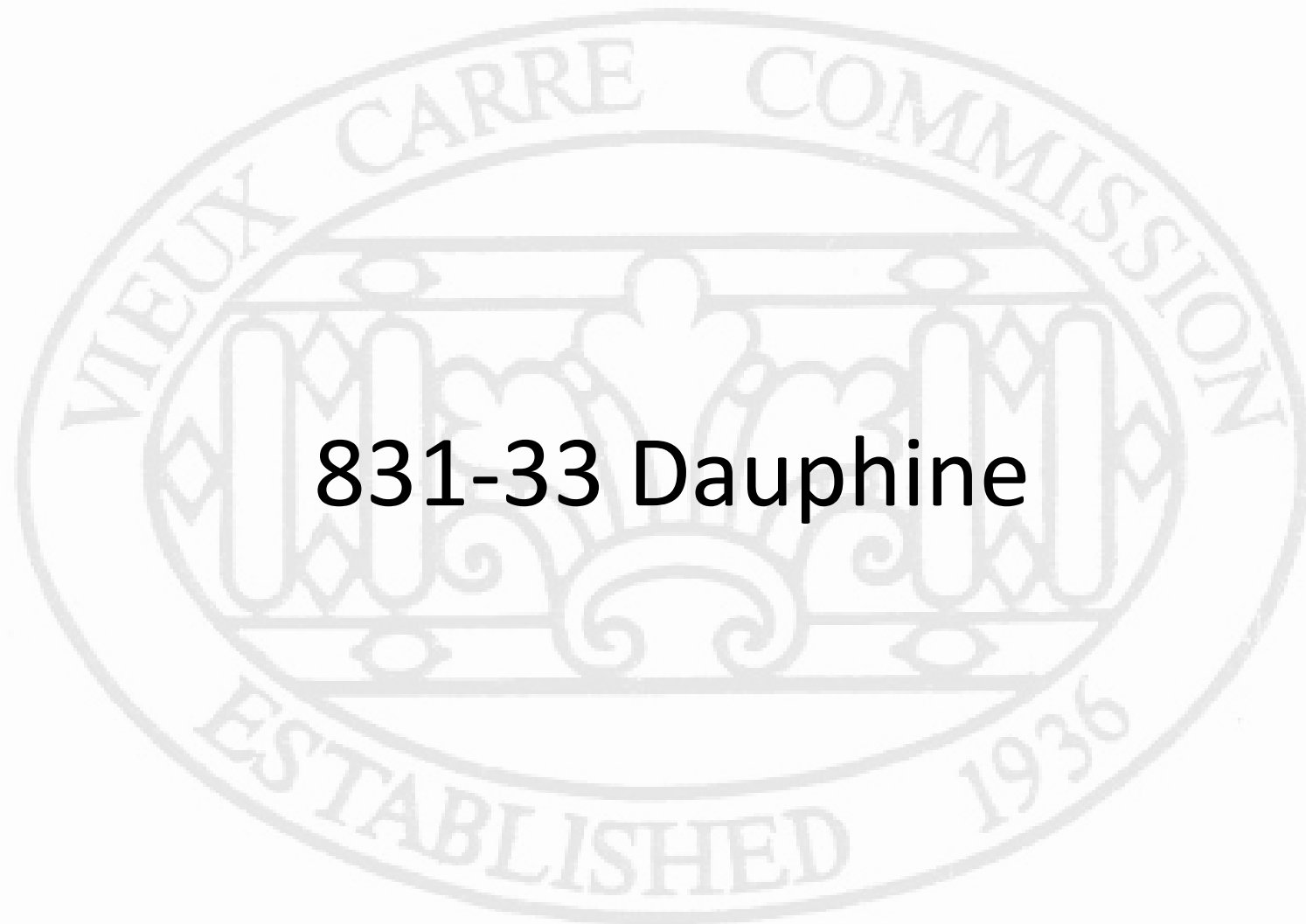


97 French Market Place/ 430 Barracks/ 1240 Decatur

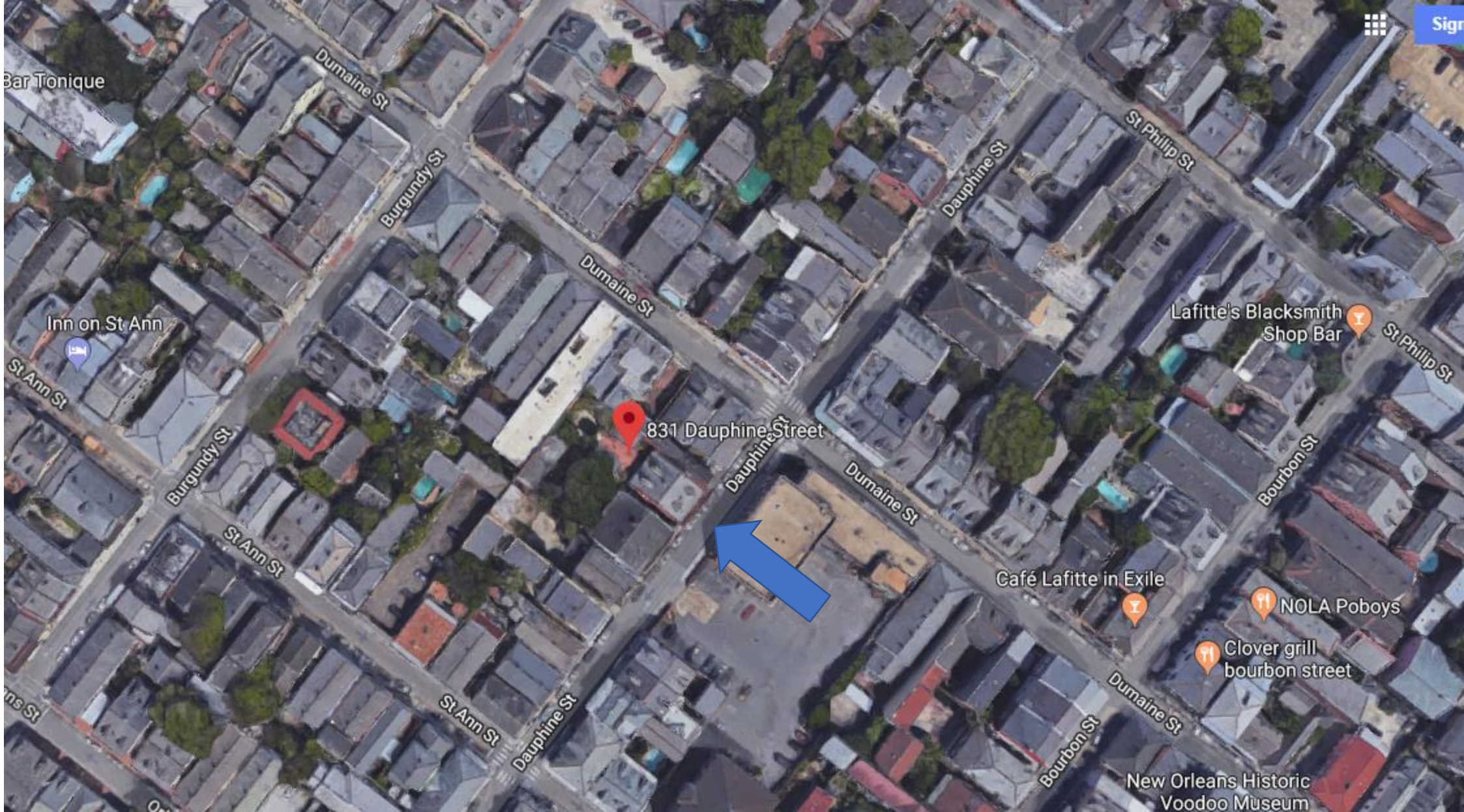
VCC Architecture Committee

October 8, 2024





831-33 Dauphine



831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Daupine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine - 2005

VCC Architectural Committee

June 24, 2024





831 Dauphine - 2008





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024





831 Dauphin
VCC Architect

Jun 20, 2024 3:31:17 PM





831 Dauphi
VCC Architect

Jun 20, 2024 3:31:20 PM





831 Dauphin
VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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VCC Architect

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831 Dauphi
VCC Architect

Jun 20, 2024 3:43:32 PM





831 Dauphi
VCC Architect

Jun 20, 2024 3:36:55 PM





831 Dauphine – previous pool conditions



831 Dauphine – previous pool conditions



831 Dauphine – previous pool conditions



831 Dauphine

VCC Architectural Committee

June 24, 2024





4880 Bluebonnet Blvd. Suite A
Baton Rouge, Louisiana 70809
225-295-1880
seengineers.com



August 22, 2024

Brooke Loupe
Architecture Intern
M2 Studio
Brooke.loupe@m2studiodesigns.com

RE : Historic Masonry Parapet End Wall Remediation
831-33 Dauphine Street,
New Orleans, Louisiana 70116

Ms. Loupe,

Southeast Engineers (SE) was tasked with evaluating the structural integrity of the existing end walls for the courtyard accessory structures at the subject location, reporting on their condition, and providing recommendations and drawings for repair. It is our understanding that repairs shall be made considering the requirements of the City of New Orleans Vieux Carre Commission's "Guidelines for Masonry & Stucco".

Site Observations

- 1) The end walls for the existing building were observed to be constructed of soft fired-clay multi-wythe brick laid in a running bond pattern. Walls are founded on corbelled brick footings approximately 24" below grade and extend up to height of approximately 18" above the roof deck, following the slope of the roof. A dash stucco finish was applied to the exterior face of the wall.
- 2) Visible defects in the in the wall included the following:
 - a) Open cracks and evidence of crack repairs were observed in the stucco finish.
 - b) The wall was observed to be deflected outward along its length at the rafter bearing elevation.
 - c) Selective demolition was performed by the contractor. Brick and mortar were observed to be soft and damp.

Conclusions and Recommendations

It is the opinion of SE that the wall is not properly restrained at the ceiling elevation, due to absence or deterioration of proper attachment at the ceiling elevation. It is also the opinion of SE that the existing wall construction is not sufficiently protected against moisture intrusion. Apart from the above, the wall appears to be performing as expected given its age and construction materials. Two (2) options for remediation are given below.

1. SE recommends demolishing the existing wall structure and reconstructing the wall in accordance with current building code criteria and construction practices. Apply a dash stucco finish to match the existing architectural characteristics.



2. SE will accept restoration of the wall in accordance with drawings issued on 7.9.2024. Please be advised that these repairs are intended to arrest movements of the building and to restore the structural integrity of the existing masonry. These repairs are not intended to restore the plumbness of the wall. Visible out of plumbness may be blended by an experienced stucco installer to make this condition less apparent. Due to the age of the materials and type of construction no guarantee of future performance or resistance to moisture is given by SE.
- a. Please refer to S101 for wall locations, detail callouts, and demolition notes.
 - b. Per S101 the stucco shall be carefully removed from the entirety of the exterior wall face without damaging the existing brick and mortar. All demolition shall be performed by a contractor sufficiently experienced in working with historic masonry.
 - c. Upon completion of demolition the contractor shall identify all cracks in the existing masonry wall and repair in accordance with detail 1/S201.
 - d. Upon completion of demolition the contractor shall identify all damaged clay bricks and repair in accordance with detail 2/S201.
 - e. All deteriorated mortar joints shall be re-pointed.
 - f. Items b-e shall be performed in strict accordance with the "Historic Masonry Notes" given on S201.
 - g. Install tie plates and bracing in accordance with detail 4/S201.
 - h. Apply stucco finish in accordance with the architects recommendations.
 - i. All work shall be performed in strict accordance with the requirements of the City of New Orleans Vieux Carre Commission's "Guidelines for Masonry & Stucco."

Respectfully,

Austin Toney, P.E.
Southeast Engineers





Photo #1



Photo #2



Photo #3



Photo #4



Photo #5



Photo #6

Field Report

8.13. 2024, 8:30 AM

Exploratory demo was performed in 4 locations to assess the current conditions of the brick walls.

Location 1. Demo was conducted at the pinnacle of the wall's bowing, through 1 inch of stucco and 1 brick deep. The findings included moisture within the wall, crumbling mortar, and wet, crumbling bricks. Tuck pointing brick repair was done at this location. The wall is 3 wythes thick.

Location 2. Demo was conducted at the middle third of the wall, through 1 inch of stucco and 1 brick deep. The findings included moisture within the wall, crumbling mortar, and wet, crumbling bricks. The wall is 3 wythes thick.

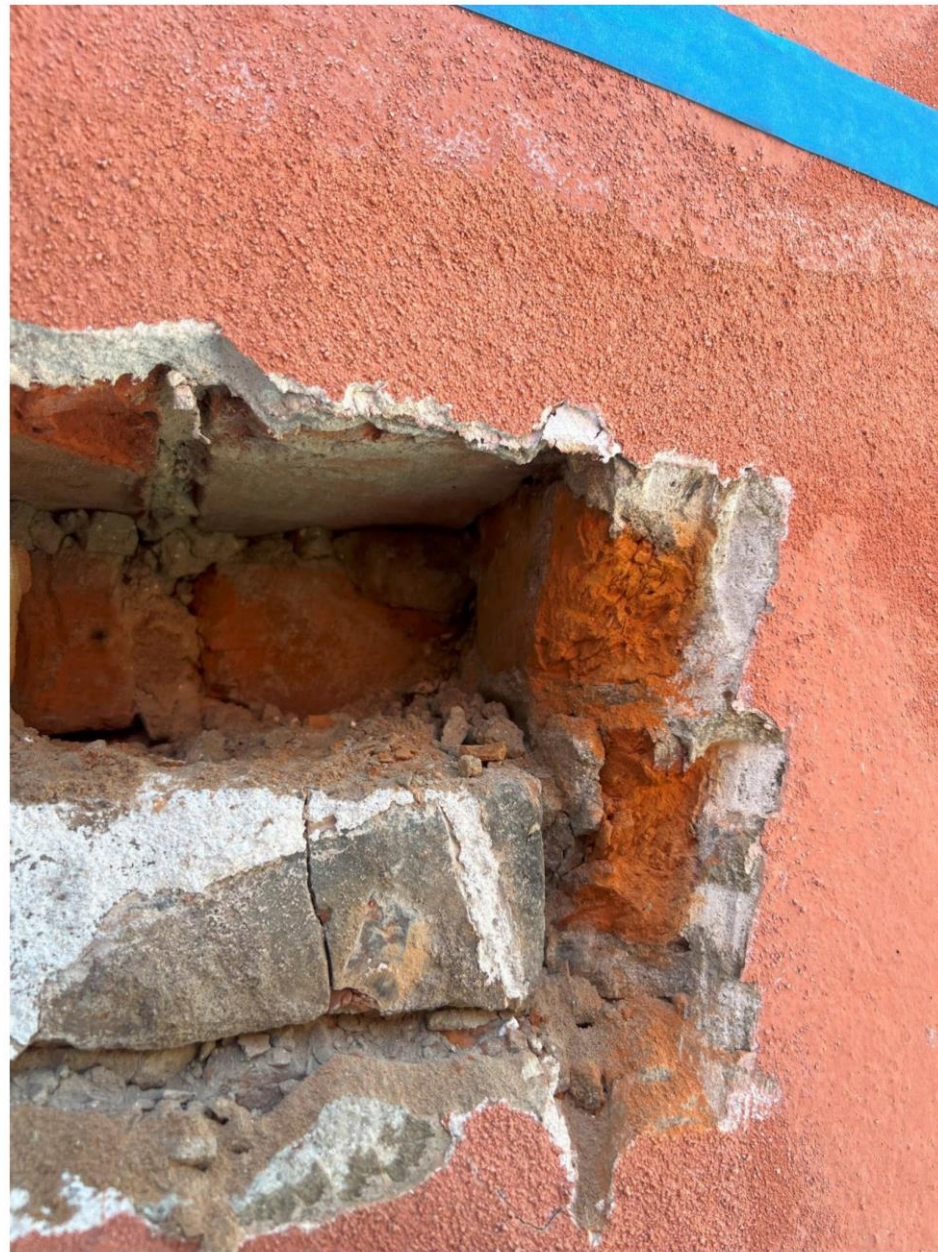
Location 3. Demo was conducted at the pinnacle of the wall's bowing, through 1 inch of stucco and 1 brick deep. The findings included moisture within the wall, crumbling mortar, and wet crumbling bricks. The wall is 3 wythes thick.

Location 4. Some light digging was performed to evaluate the existing foundation. Please refer to the accompanying detail based on our investigation and measurements.



Charles J Neyrey AIA | NCARB | Leed AP

[Architect]



831 Dauphine

VCC Architectural Committee

June 24, 2024





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June 24, 2024





Location 3



Location 4





831 Dauphine

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June 24, 2024





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June 24, 2024





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VCC Architectural Committee

June 24, 2024





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VCC Architectural Committee

June 24, 2024





831 Dauphine

VCC Architectural Committee

June 24, 2024



Report No. 1 September 15, 2024 N24-301

DESCRIPTION : **Rebound Hammer Testing of Mortar, Brick and Stucco For Determining the In-Place Compressive Strength**

PROJECT : **831 Dauphine St.- New Orleans, La.**

REPORTED TO : M2 Studio and Design Architects
 1200 Annunciation St.
 New Orleans, LA 70130
Attn: Ms. Brooke Loupe

Purpose of Report:

The report covers the testing services conducted at the project job site on September 14, 2024. The testing was conducted in order to determine the compressive strength of the existing brick, mortar and stucco at various areas of the rear structures on the site that are scheduled for renovation.

APPLICABLE TESTING STANDARD:

American Society of Testing Materials – Test Standard C805 Rebound Hammer Testing of Hardened Concrete

A Schmidt Test Hammer was used in order to determine the relative compressive strength of the existing brick, mortar, and stucco at the requested areas at subject project.

Test Results:

Ten (10) readings were taken at each of the requested test areas and the average result listed below. The bricks were tested at areas where the stucco had been removed for investigation.

Building / Material Tested	Approximate Compressive Strength of Brick (psi)	Approximate Compressive Strength of Mortar (psi)
North Building (rear wall – orange brick)	1,500	< 50* Note 1

Building / Material Tested	Approximate Compressive Strength of Stucco (psi)
North Building (rear wall stucco)	2,500
South Building (rear wall stucco)	3,000

*Note 1 – The existing original mortar is the soft sandy lime mix that is typically found on old masonry buildings in the French Quarter.

Remarks and Recommendations:

Based on the ASTM Standard C270 - Standard Specification for Mortar for Unit Masonry (copy attached) a cement lime type N mix with a maximum compressive strength of 750 psi may considered as an appropriate mortar type mix if tuck pointing is needed on this project. Attached is a product data sheet for the Quik Crete Vieux Carre mix that can be considered.

If stucco replacement or repair is required, we recommend that a test area be installed and tested to confirm that it is similar in compression strength to the original stucco.

Tests Conducted by: K. Meyn, P.E. 9-12-24

Respectfully submitted,
SOUTHERN EARTH SCIENCES, INC
Kenneth J. Meyn
 Ken J. Meyn, P.E.
 District Manager

KJM
 9-15-24
 /Attachments – Vieux Carre Mix Data
 - ASTM C270





MORTAR MIX

PRODUCT No. 1102-10, -40, -60, -80, -30

DIVISION 4
04 05 13 Masonry Mortaring

PRODUCT DESCRIPTION

QUIKRETE® Mortar Mix is a contractor grade mortar mix designed for laying brick, concrete masonry units and stone.

PRODUCT USE

QUIKRETE® Mortar Mix is a contractor grade mortar mix designed for laying brick, concrete masonry units and stone. QUIKRETE® Mortar Mix is a pre-blended, sanded product. The standard formulation meets ASTM C270 and C1714 as Type N mortar. Other types are available by special request.

SIZES

QUIKRETE® Mortar Mix is available in the following bag sizes:

- 10 lb (4.5 kg)
- 40 lb (18.1 kg)
- 60 lb (27.2 kg)
- 80 lb (36.2 kg)
- 30 kg (66.1 lb)

YIELD

Each 80 lb (36.2 kg) bag of QUIKRETE® Mortar Mix will lay up to 37 standard bricks or 13 standard (8 in by 8 in by 16 in [200 mm by 200 mm by 405 mm]) blocks.

TECHNICAL DATA

APPLICABLE STANDARDS

- ASTM C270 Standard Specification for Mortar for Unit Masonry
- ASTM C1714 Standard Specification for Preblended Dry Mortar Mix for Unit Masonry

PHYSICAL/CHEMICAL

QUIKRETE® Mortar Mix meets or exceeds the property requirements of ASTM C270 and ASTM C1714 for the type selected. Refer to Appendix XI of ASTM C270 for guidance in selecting the proper mortar type. See Table 1 for more information.

INSTALLATION

SURFACE PREPARATION

Surfaces to receive QUIKRETE® Mortar Mix should be clean and free of dirt, loose debris, grease, oil, etc., for the best possible bond.

Mixing

WEAR IMPERVIOUS GLOVES, such as nitrile when handling product. QUIKRETE® Mortar Mix can be hand mixed or can be machine mixed in a paddle-type mortar mixer. A minimum of 5 minutes of mixing is required. Add approximately 5 quarts (4.7 L) of clean water into the mixing container for each 80 lb (36.2) bag; for each 60 lb (27.2 kg) bag add 3-3/4 quarts (3.5 L). Slowly pour the contents of the bag(s) into the mixing water. Mix



until a firm, workable consistency is achieved. The ideal mortar consistency has been achieved when a 1/2 in (13 mm) thickness of mortar will not fall off your trowel when held in a near vertical position. If more water is needed, add small amounts at a time and continue to mix until the desired consistency is achieved. The maximum water content is expected to be below 6 quarts (5.7 L) for each 80 lb (36.2 kg) bag and 4-1/2 quarts (4.3 L) for each 60 lb (27.2 kg) bag)

QUIKRETE® Mortar Mix is available in gray; additional colors may be available by special order.

Application

WEAR IMPERVIOUS GLOVES, such as nitrile when handling product. Apply a full bed of mortar onto the base, approximately 1/2 in to 3/4 in (13 mm to 19 mm) thick. Push downward into the mortar bed and sideways against the previously laid block with a slight twisting motion. Tool the mortar joints when they become thumbprint hard. This will make the mortar joint watertight and provide a smooth appearance.

TABLE 1 TYPICAL PHYSICAL PROPERTIES

Hydraulic Cement-Lime Mortars or Mortar Cement Mortars			
Type	Minimum Compressive Strength, PSI (MPa)	Water Retention Minimum, %	Air Content Maximum, %
M	2500 (17.2)	75	12
S	1800 (12.4)	75	12
N	750 (5.1)	75	14 ¹
Masonry Cement Mortars			
Type	Minimum Compressive Strength, PSI (MPa)	Water Retention Minimum, %	Air Content Maximum, %
M	2500 (17.2)	75	18
S	1800 (12.4)	75	18
N	750 (5.1)	75	20 ²

¹When structural reinforcement is included, the maximum air content shall be 12%
²When structural reinforcement is included, the maximum air content shall be 18%

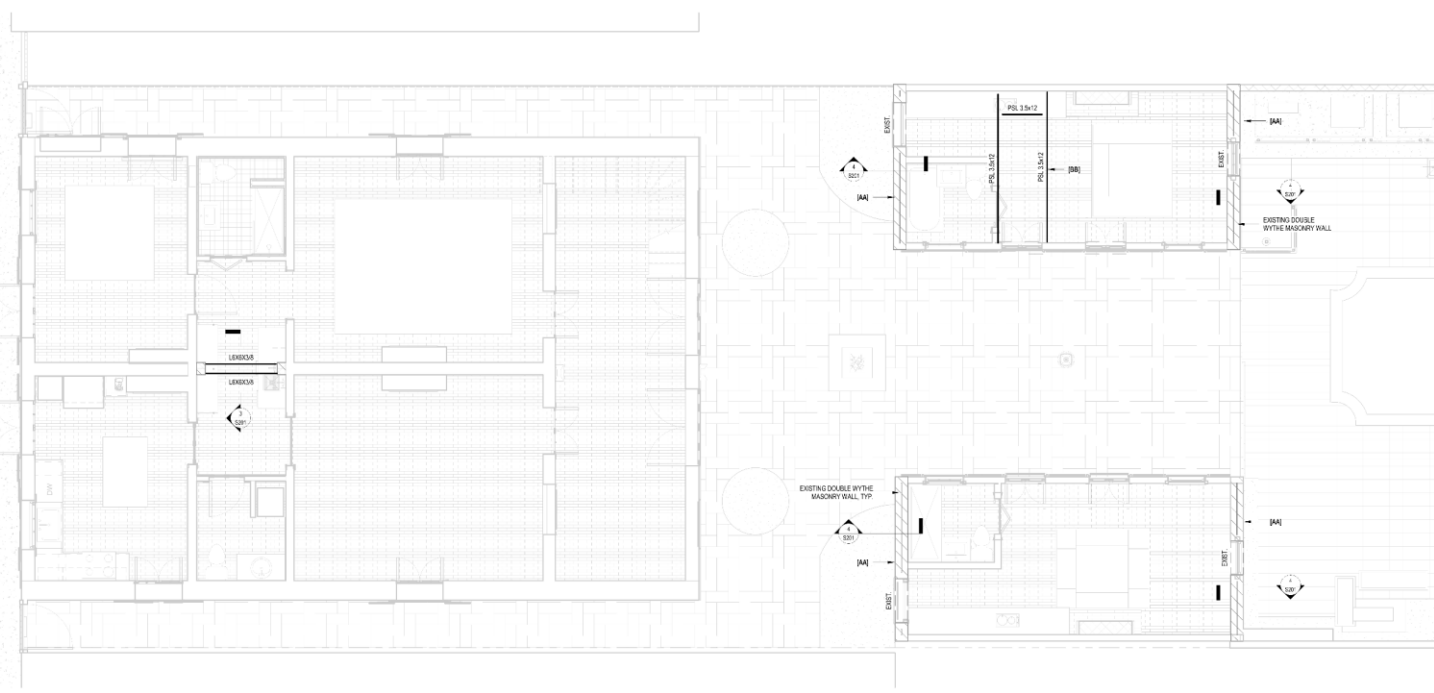


NOTE IAA1

REMOVE EXISTING STUCCO & REPAIR WALL IN ACCORDANCE WITH TYPICAL MASONRY REPAIR DETAILS & NOTES. SUBMIT PHOTOGRAPHS OF THE EXISTING BRICK MASONRY TO THE ARCHITECT AFTER THE REMOVAL OF STUCCO & PRIOR TO REPAIRS & RE-SURFACING.

NOTE IBA1

BAU1 BE1 - IS AN ADDITIONAL BEAM TO SUPPORT EXISTING MASONRY CHIMNEY & CEILING.
ALTERNATE: DEMOLISH CHIMNEY AND ELIMINATE BEAMS FROM SCOPE OF WORK.
VERIFY WITH OWNER & VCC.



1 FRAMING PLAN
14' x 17'

7/8/2024 1:27:24 PM



1200 announcement st | new orleans | louisiana
www.m2studio.com 504.225.0464

No.	Description	Date
IFC		7.9.2024

RENOVATION

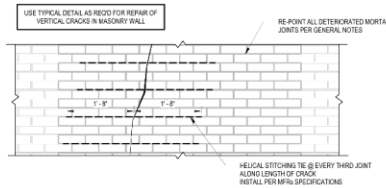
831-33 DAUPHINE ST.
NEW ORLEANS, LA

REMEDICATION PLAN

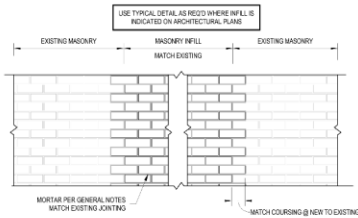
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S101

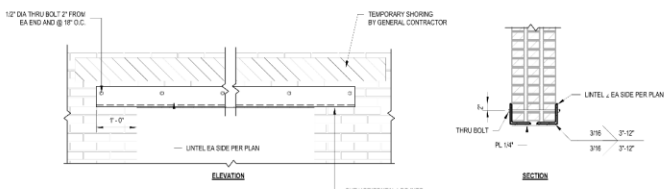




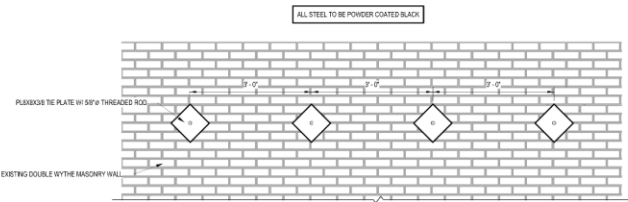
1 TYPICAL MASONRY WALL CRACK REPAIR
3/4" x 1'-0"



2 TYPICAL MASONRY WALL INFILL
3/4" x 1'-0"



3 CUT-IN LINEL @ DOUBLE WYTHE BRICK
3/4" x 1'-0"



4 TYPICAL MASONRY WALL ATTIC BRACING DETAIL
3/4" x 1'-0"

GENERAL
ALL DESIGN LOADS SHOWN ON THE STRUCTURAL PLANS ARE ALLOWABLE STRESS DESIGN (UNFACTORED) SERVICE LOADS.
ALL METHODS, PROCEDURES, AND SEQUENCES OF WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ENSURE ALL PRECAUTIONS ARE TAKEN TO MAINTAIN THE INTEGRITY OF THE STRUCTURE THROUGHOUT ALL STAGES OF CONSTRUCTION.
REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR ALL ITEMS OMITTED FROM THE STRUCTURAL PLANS.
IF A CONFLICT OR OMISSION IN THE STRUCTURAL DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR PROPER GUIDANCE AND CLARIFICATION PRIOR TO CONSTRUCTION.
THE STRUCTURAL INTEGRITY OF THE DESIGN DEPENDS ON THE FULL INTERACTION OF ALL ITS FRAMING MEMBERS AND CLADDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY SHORE AND BRACE ALL STAGES OF CONSTRUCTION UNTIL THE STRUCTURE IS COMPLETED.
THE GENERAL CONTRACTOR SHALL COORDINATE THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS, ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, AND QUANTITIES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO ANY FABRICATION OR INSTALLATION.
SCALING OF THE STRUCTURAL DRAWINGS SHALL NOT BE PERMITTED. IF ANY DIMENSIONS VITAL TO CONSTRUCTION ARE NOT SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, CONTRACTOR SHALL SEND FORAM REQUEST TO THE ARCHITECT OR ENGINEER OF RECORD FOR CLARIFICATION.
IN THE EVENT OF CONFLICTS OR OMISSIONS/REQUIREMENTS INDICATED ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS THAT HAVE NOT BEEN SUBSEQUENTLY CLARIFIED OR CHANGED, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY, GREATER QUANTITY, OR MORE STRINGENT UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.

CODES AND DESIGN SPECIFICATIONS
BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2021
AMERICAN CONCRETE INSTITUTE (ACI 318 LATEST EDITION)
NATIONAL DESIGN SPECIFICATION FOR WOOD FRAME CONSTRUCTION 2015
ASCE 7-16
DESIGN LOADS
- ROOF DESIGN LOADS
CEILING COLLATERAL DEAD LOAD = 10 PSF
CEILING LIVE LOAD = 20 PSF
ROOF COLLATERAL DEAD LOAD = 10 PSF
ROOF LIVE LOAD = 20 PSF
- WIND LOAD CRITERIA
ULTIMATE WINDSPEED = 114 MPH
NORMAL WINDSPEED = 110 MPH
OCCUPANCY CATEGORY = I
EXPOSURE = B
INTERNAL PRESSURE COEFFICIENT = +/- 0.18

POST-INSTALLED ANCHORS
POST-INSTALLED ANCHORS SHALL ONLY BE USED WITH THE PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD OR WHERE SPECIFIED IN THE STRUCTURAL DOCUMENTS.
ALL HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE CONTINUOUS SPECIAL INSPECTION FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE EVALUATION REPORT (ICC-ES ESR).
CONTRACTOR SHALL AVOID DAMAGING ANY REINFORCING STEEL OR POST-TENSIONED TENDONS WHEN DRILLING HOLES FOR POST-INSTALLED ANCHORS.

HISTORIC MASONRY NOTES
ALL WORK RELATED TO HISTORIC MASONRY SHALL BE COMPLETED IN STRICT ACCORDANCE WITH VCC GUIDELINES.
REPLACE DAMAGED MASONRY TO MATCH THE HISTORIC MASONRY IN TYPE, COLOR, TEXTURE, SIZE, SHAPE, BONDING PATTERN AND COMPRESSIVE STRENGTH.
RE-POINT ALL DAMAGED MORTAR JOINTS.
INSTALL REPOINTING MORTAR AND/OR NEW STUCCO OF THE SAME HARDNESS OR SOFTER THAN THE ORIGINAL MORTAR OR STUCCO AND ALWAYS SOFTER THAN THE ORIGINAL MASONRY - TYPICALLY OF HIGH ALKALI CONTENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY MORTAR AND STUCCO ANALYSE BY A PROFESSIONAL LABORATORY WHERE REQUIRED BY JURISDICTION.
USE MORTAR AND STUCCO THAT MATCHES THE APPEARANCE, COLOR, TEXTURE, PATTERN, JOINT SIZE AND COLOR OF THE "HOLD" WORK AND/OR STUCCO.
INSTALL REPLACEMENT MASONRY INTO EXISTING MASONRY, CONTINUING THE ADJACENT PATTERN WITHOUT AN JOINT SIZE.
REMOVE ALGAE, MOSS, WEEDS AND OTHER VEGETATION FROM A MASONRY AND/OR STUCCO WALL CAREFULLY AND REMOVING SHOULDS FROM THE BUILDING FOOTING.
COMPLETE MASONRY AND/OR STUCCO WORK IN 1" AIR WEATHER.
INSTALL AND POINT TO MORTAR IN A SINGLE LAYER NO MORE THAN 3/8" ROCK DEEP.
REMOVE ABANDONED HYDRAULIC, ELECTRICAL, DEVICES, WIRING, CONDUT AND PIPING FROM ALL EXTERIOR WALLS.
DO NOT HIDE OR EXTEND AN EXISTING MORTAR JOINT OR OVERLAPPING NEW MORTAR OVER THE MASONRY SURFACE.
DO NOT REPAIR OR COVER A HISTORIC MASONRY SURFACE OR DETAIL.
DO NOT REMOVE HISTORIC STUCCO FROM A MASONRY SURFACE OR FROM BRICK BETWEEN POINT CONSTRUCT ON EXPOSURE TO THE SOUT. UNLESS IT IS NECESSARY. WHERE REMOVAL IS REQUIRED BY OTHER WORK, PROTECT MASONRY FROM WEATHER UNTIL RESURFACED IN ACCORDANCE WITH APPROVED METHODS.
DO NOT INSTALL MODERN "ANTIQUE BRICK" IN PLACE OF HISTORIC MASONRY.
DO NOT USE PRE-ARRANGED MORTAR OR STUCCO WITHOUT JURISDICTION (VCC) APPROVAL.
MASONRY SUB-CONTRACTOR SHALL HAVE EXPERIENCE IN COMPLETING SIMILAR HISTORIC MASONRY WORK.
CLEAN HISTORIC MASONRY USING THE MOST GENTLE METHOD POSSIBLE. WATER PRESSURE FOR CLEANING SHALL NOT EXCEED 90 PSI AND SHALL NOT CONTAIN SALTS, ACIDS, ALKALIS, OR TRACE METALS THAT MAY DAMAGE OR DISCOLOR MASONRY.
USE A NON-IONIC DETERGENT AND A NATURAL BRISTLE BRUSH FOR CLEANING.
PERFORM CLEANING ACTIVITIES NOT MORE THAN ONE MONTH PRIOR TO SEASONAL FREEZING TEMPERATURES.
DO NOT CLEAN MASONRY WITH HIGH-CHEMICALS, ACIDS, BLEACHES, SAND-BLASTING, POWER WASHERS, METAL BRUSHES OR GRINDERS.

RENOVATIONS
ALL DIMENSIONS AND CONDITIONS TYPING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO SHOP DRAWING SUBMITTALS. NOTIFY THE ARCHITECT PRIOR TO SHOP DRAWING SUBMITTALS WHERE DIMENSIONS VARY SIGNIFICANTLY FROM EXISTING CONDITIONS.
SHORE AND BRACE ALL EXISTING FRAMING AS REQUIRED TO ACCOMPLISH WORK AS SHOWN ON THE DRAWINGS. DESIGN OF ALL SHORING SHALL BE PROVIDED BY THE CONTRACTOR.
ALL MATERIALS USED FOR PATCHES SHALL MATCH EXISTING MATERIALS IN APPEARANCE AND QUALITY. WORKMANSHIP SHALL BE IN CONFORMANCE WITH TODAY'S STANDARDS BUT SHALL BE NO LESS IN QUALITY THAN THE ORIGINAL WORKMANSHIP.
ALL NEW POINT-TO-POINT EXISTING MASONRY WALLS GREATER THAN 2" AND NOT SHOWN HEREIN SHALL BE APPROVED BY THE E.O.R.
ALL ELEMENTS SHALL BE CONSIDERED NEW FOR FINISHING UNLESS SPECIFICALLY IDENTIFIED AS EXISTING.



No.	Description	Date
1	IFC	7.9.2024

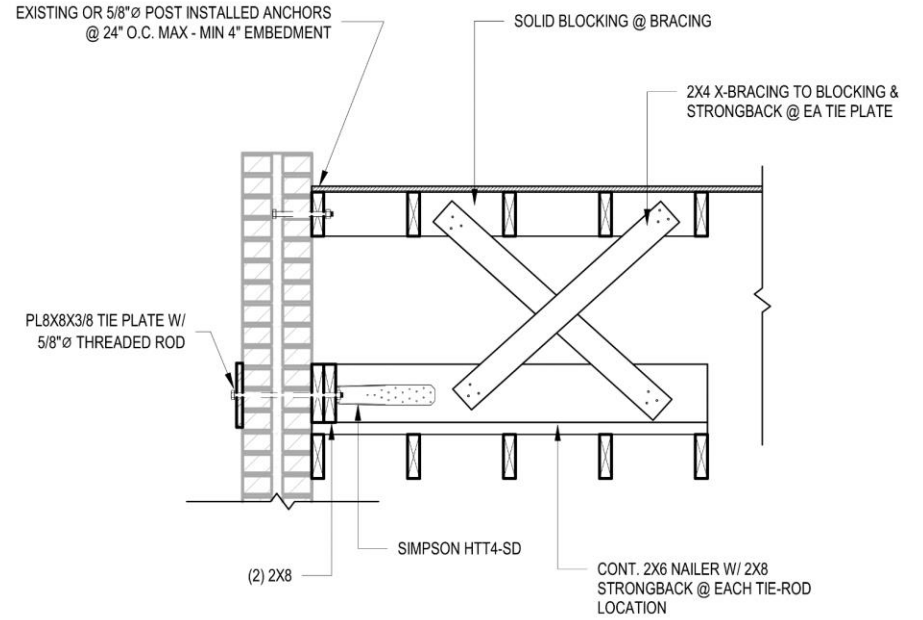
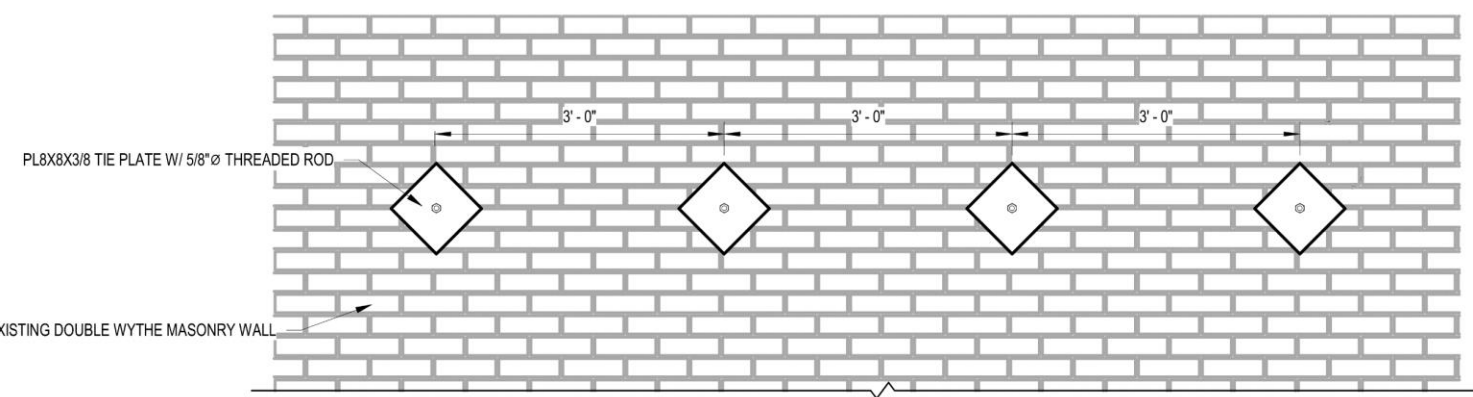
RENOVATION
831-33 DAUPHINE ST.
NEW ORLEANS, LA

DETAILS & NOTES
SE-24-692
S201

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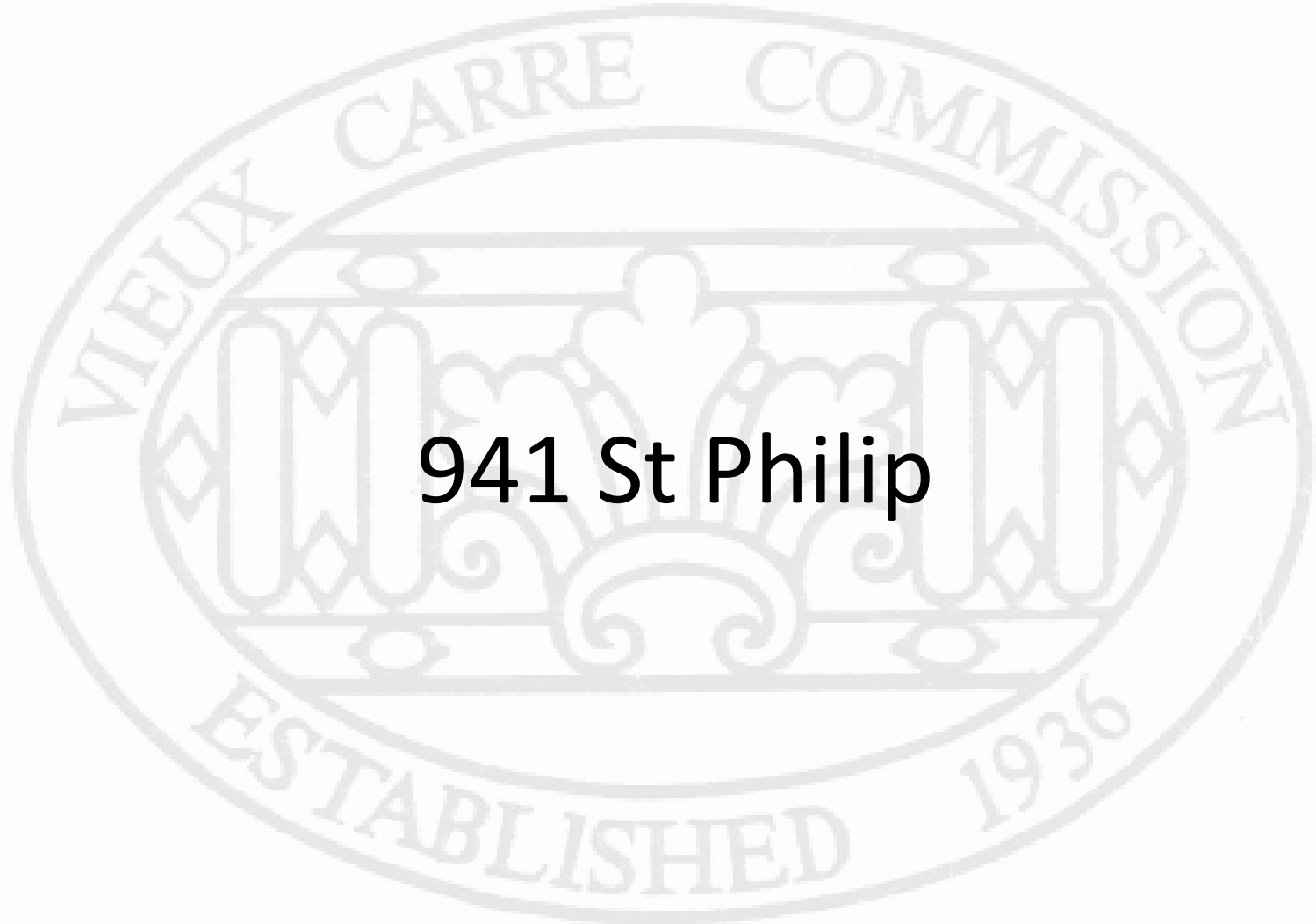
ALL STEEL TO BE POWDER COATED BLACK



4 TYPICAL MASONRY WALL ATTIC BRACING DETAIL

3/4" = 1'-0"





941 St Philip



939-41 St. Philip

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939-41 St. Philip

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939-41 St. Philip – 1939

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October 8, 2024





939-41 St. Philip – c. 1940s-50s

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939-41 St. Philip – 1964

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939-41 St. Philip – 1975

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939-41 St. Philip – 1975

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939-41 St. Philip – 1975

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939-41 St. Philip – 1975

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939-41 St. Philip

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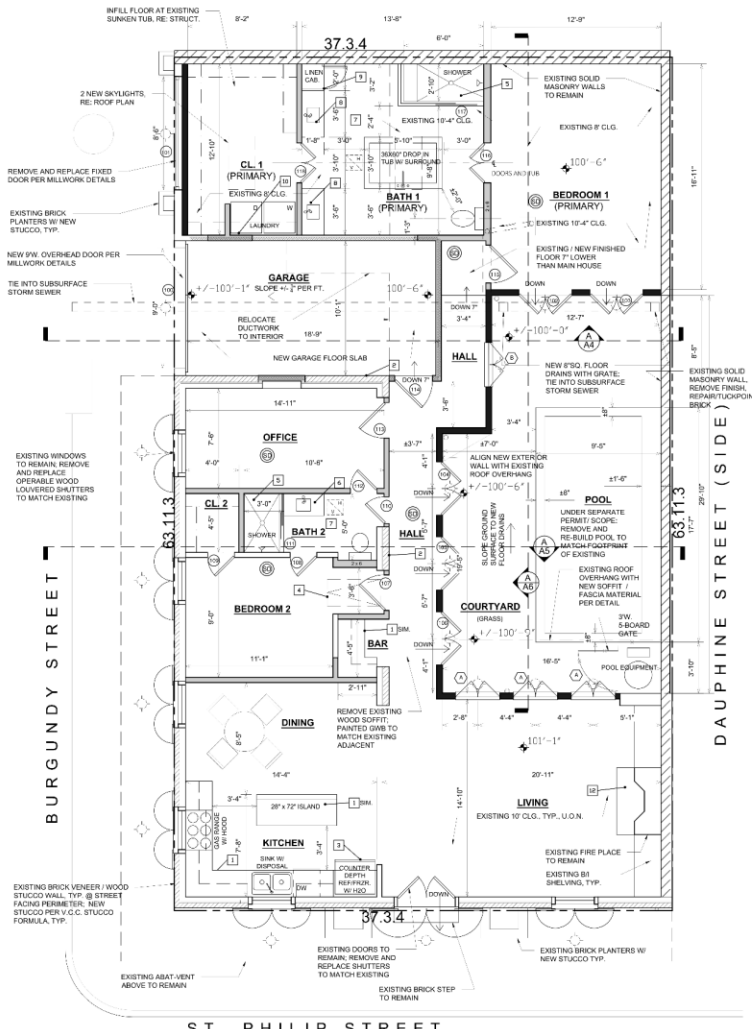


939-41 St. Philip

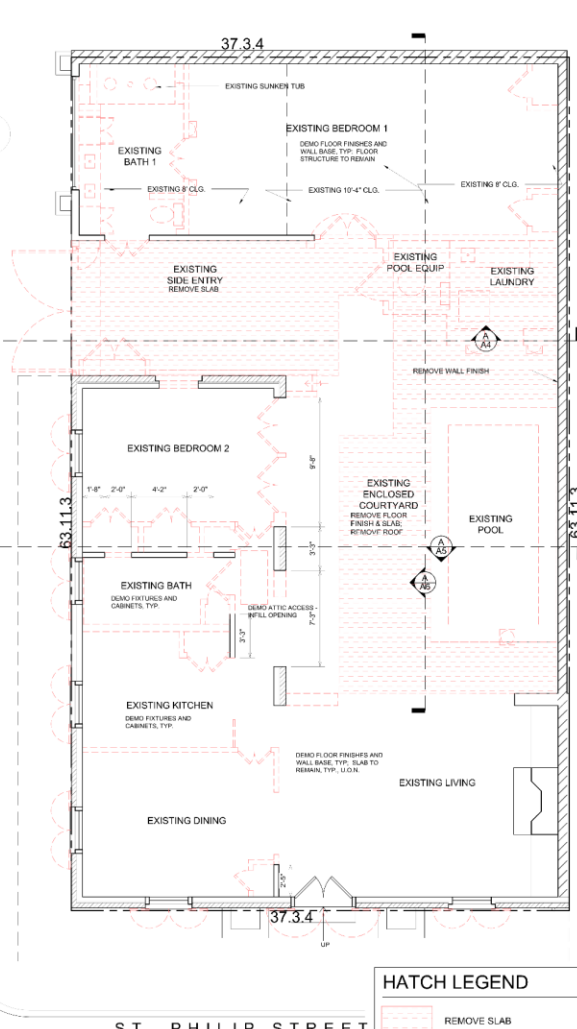
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October 8, 2024





PROPOSED SITE PLAN / FLOOR PLAN
 SC: 1/4" = 1'-0"
 1,900 G.S.F.



EXISTING / DEMOLITION SITE PLAN / FLOOR PLAN
 SC: 1/4" = 1'-0"
 2,374 G.S.F.

PROJECT DATA

- SCOPE OF WORK IS RENOVATION OF AN EXISTING SINGLE FAMILY DWELLING
- THE NEW BUILDING COMPONENTS WILL BE IN COMPLIANCE WITH IRC 2021 AND ICC 2021 AND THE NEW ORLEANS AMENDMENTS
 RE: SHEET A2 FOR IECC COMPLIANCE TABLE
- CITY OF NEW ORLEANS ZONING CLASSIFICATION: VCR-1
- BUILDING AREA
 EXISTING 1ST FLOOR INCLUDING COURTYARD INFILL = 2,374 G.S.F.
 DEMOLISHED COURTYARD INFILL = 450 G.S.F.
PROPOSED TOTAL 1ST FLOOR = 1,900 G.S.F.
 PROPOSED COURTYARD = 450 G.S.F.
- OPEN SPACE RATIO: REQUIRED MINIMUM PERMEABLE OPEN SPACE RATIO = 0.20
 EXISTING:
 PERMEABLE OPEN SPACE = 0.0 S.F.
 GROUND FLOOR AREA = 2,374 G.S.F.
 EXISTING OPEN SPACE RATIO = 0.0 / 2,374 = 0.0
 PROPOSED:
 PERMEABLE OPEN SPACE = 381 S.F.
 GROUND FLOOR AREA = 1,904 G.S.F.
 PROPOSED OPEN SPACE RATIO = 381 / 1,904 = 0.198

GENERAL NOTES

- PLUMBING SYSTEM MODIFICATIONS SHALL BE DESIGNED BY THE PLUMBING CONTRACTOR IN ACCORDANCE WITH CITY OF NEW ORLEANS SCHEDULES AND WATER BOARD STANDARDS AND THE LOUISIANA STATE PLUMBING CODE. PLUMBER SHALL PROVIDE REPAIR/REPLACE PARTS DIAGRAMS FOR SWS REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE.
- PROVIDE AND INSTALL NEW TANKLESS INSTANT WATER HEATER. LOCATION DETERMINED BY G.C. PLUMBER IN COORD. WITH OWNER.
- HVAC SYSTEM MODIFICATIONS SHALL BE DESIGNED BY THE MECHANICAL CONTRACTOR IN ACCORDANCE WITH 2021 INTERNATIONAL MECHANICAL CODE.
- ELECTRICAL SERVICE MODIFICATIONS SHALL BE DESIGNED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND 2021 INTERNATIONAL RESIDENTIAL CODE.
- OWNER SHALL BE THE FACE OF PERMITS UNLESS NOTED OTHERWISE. G.C. SHALL FIELD VERIFY AS-BUILT CONDITIONS PRIOR TO FRAMING NEW WALLS AND COORDINATE ANY VARIATIONS IN FLOOR PLAN WITH THE OWNER.

FLOOR PLAN KEYNOTES

1	2" DEEP GRANITE C-TOP (U.O.N.) @ 3" A.F.F. 2" DEEP BASE CABINETS BELOW 12" x 48" WALL CABINETS ABOVE 24" x 24" x 48" REFR. TO BE BUILT UP TO BOTTOM OF WALL CABINETS / HOOD. APPLIANCES, FIXTURES, FRIGETS, CABINETS AND COUNTERTOPS ALL SELECTED BY OWNER. KITCHEN CABINET LAYOUT BY OTHERS.
2	EXISTING 7" CYP. BOARD FLOORING OVER BRICK. VENEER WITH FINISH AS SCHEDULED.
3	PROVIDE / INSTALL WATER LINE FOR ICE MAKER.
4	NEW INSULATED PU-I DOWN ATTIC ACCESS STAIR IN NEWLY FRAMED OPENING.
5	NEW SHOWER FLOOR AND CURB OVER SHOWER PAN. WATERPROOF MEMBRANE @ PRIMARY SHOWER. TUB BENCH 12" x 18".
6	NEW 20" x 36" VANTY LAVATORY WITH CABINET BELOW. SELECTED BY OWNER.
7	NEW BATHROOM ACCESSORIES SELECTED BY OWNER AND LOCATED IN FIELD IN COORD. WITH OWNER. PROVIDE BLOCKING IN WALLS, BATH TONEL BRUSH, HAND TONEL, HOOKS, MIRROR, TOILET PAPER DISPENSER.
8	NEW 20" x 36" VANTY LAVATORY WITH CABINET BELOW. SELECTED BY OWNER.
9	NEW 20" x 24" x 4" H. L.N.E. CABINET SELECTED BY OWNER.
10	NEW ELEC. WASHER DRYER HOOKUPS & WATER LINE.
11	NEW 12" D. x 42" WALL CABINETS SELECTED BY OWNER. PROVIDE BLOCKING IN WALLS.
12	EXISTING 4" x 8" PLG. TO REMAIN. REFR. MARBLE, SUBROOFING AND HEAT W/ PER OWNER'S SELECTION.

FLOOR PLAN LEGEND

- DASHED LINE: DEMOLISH
- SOLID LINE: NEW INTERIOR 2x4 STUD WALLS @ 16" O.C. W/ PAINTED 1/2" GW. BOTH SIDES UNLESS NOTED OTHERWISE. BLOCKING @ END POINTS. COFFER PLATES TOP AND BOT. ORG. TOP PLATE @ BRACING WALLS. NOTE: 2x6 STUDS WHERE NOTED ON P. AND. INSTALL REBAR AND HOLD IN PLACE AN OPEN BEAM @ 96" WALLS.
- DOTTED LINE: NEW OR EXISTING TYPICAL STUD WALL WITH NEW R-13 UNFACED BATT INSULATION
- SOLID LINE: NEW EXTERIOR STUD WALLS AS DETAILED
- SOLID LINE: EXISTING INTERIOR STUD WALLS
- SOLID LINE: EXISTING SOLID MASONRY WALLS
- SOLID LINE: EXISTING BRICK VENEER / MUD STUD WALL WITH NEW BRICK / PAINTED PORTLAND CEMENT STUCCO PER V.C.C. FORMULA, TYP. UNLESS NOTED OTHERWISE.
- 2 ROWS OF CLOSET SHELVING / ROD PER OWNER'S SELECTION
- SMOKE / CARBON MONOXIDE DETECTOR HARDWIRED TO HOUSE ELECTRICAL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL ALARMS.
- DOOR MARK: RE: DOOR SCHEDULE, SHEET A8
- NEW WINDOW MARK: RE: WINDOW SCHEDULE, SHEET A8
- CEILING MOUNTED ELECTRICAL HEATER / EXHAUST FAN DUCTED TO EXTERIOR
- FLOOR PLAN KEYNOTE: RE: SHEET A1
- FINISHED FLOOR FINISH
- SURFACE MOUNTED SHELVED CYLINDRICAL PICTURE BY REMOVING. REBEL 18" RE: CUP SHEET ON M
- WALL MOUNTED SHELVED CYLINDRICAL PICTURE BY REMOVING. SERIES 2'S RE: CUP SHEET ON M

HATCH LEGEND

[Hatch Pattern]	REMOVE SLAB
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These drawings and specifications have been prepared under my direct supervision. They comply with all City requirements to the best of my knowledge and belief. I am not generally administering the work.
 Lorella Kolbreins Harmon, Louisiana State Lic. No. 6376
 Elizabeth Harmon Coultter, Louisiana State Lic. No. 7109
 LKHarmonArchitects
 A Professional Architectural Corporation
 LA State Lic. No. AC0520



941 St. Philip Street
 Renovation
 New Orleans, Louisiana 70116

LKHarmon Architects
 A Professional Architectural Corporation
 6238 Argonne Boulevard
 New Orleans, Louisiana 70124
 504.486.5570 lharmon@lkharmonarchitects.com

6.23.2024 PERMIT	A1
LKH #4823.1	

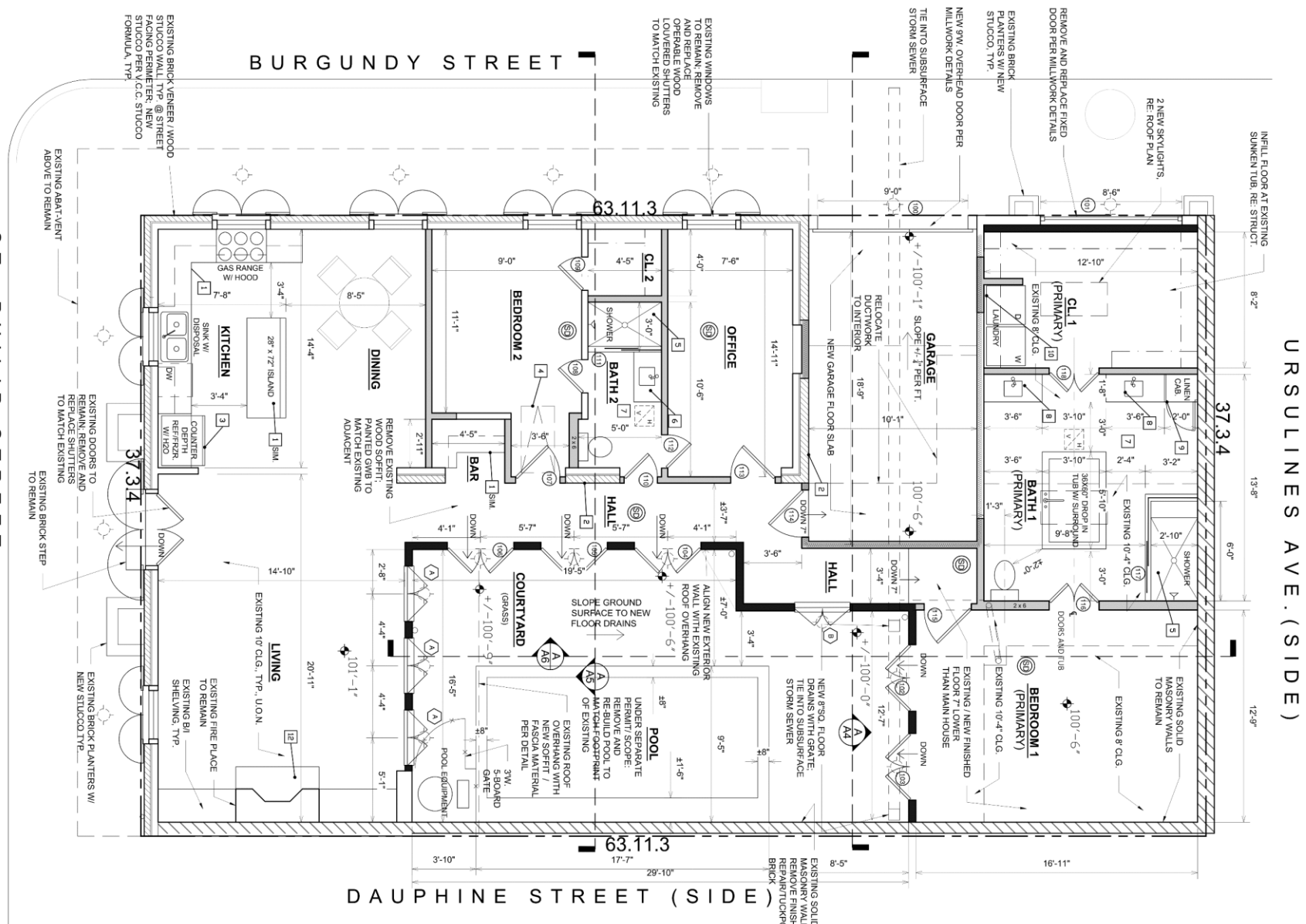




October 8, 2024

939-41 St. Philip

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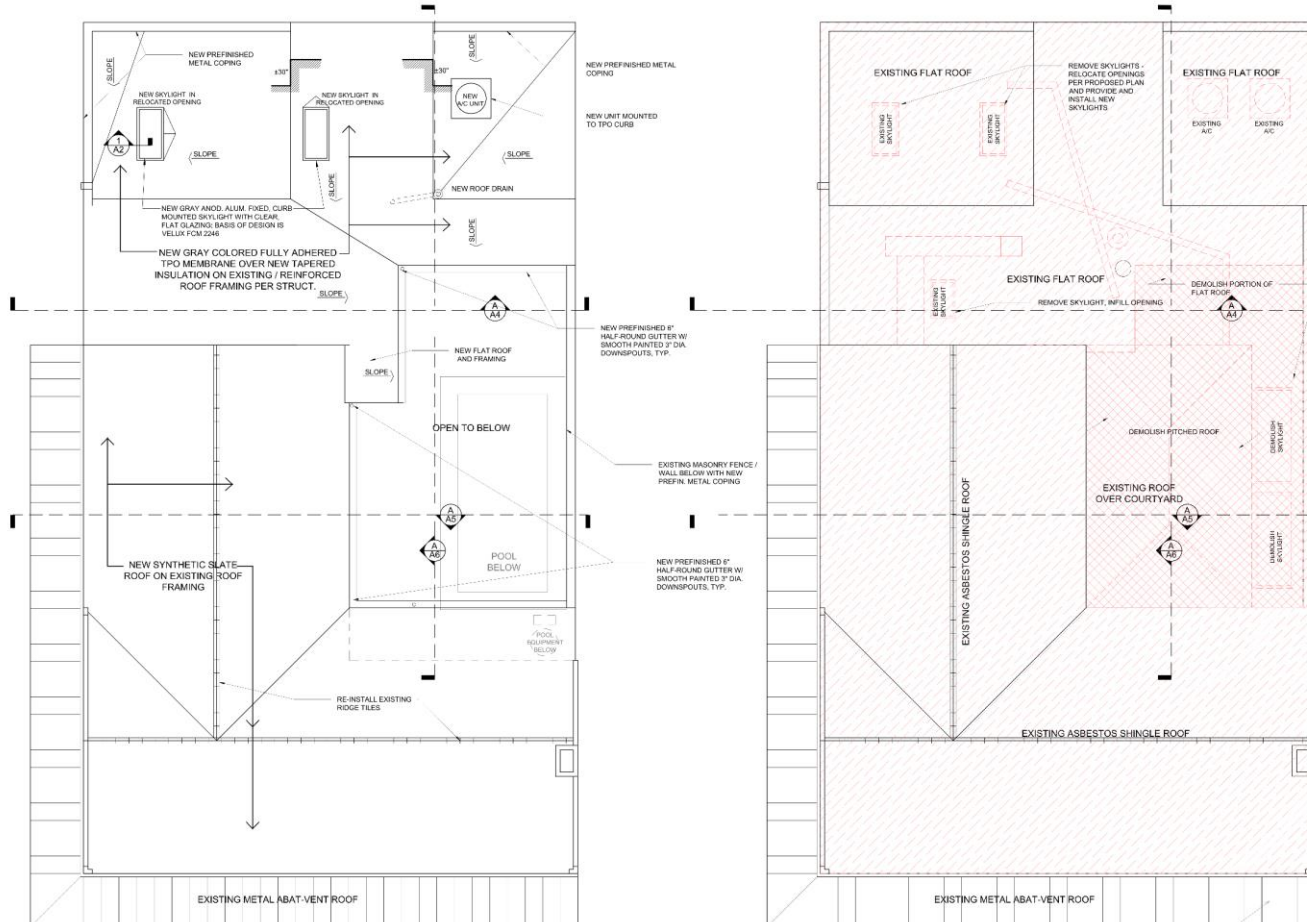
PROPOSED SITE PLAN / FLOOR PLAN
 SC: 1/4" = 1'-0"
 1,900 G.S.F.

ST. PHILIP STREET

BURGUNDY STREET

URSULINES AVE. (SIDE)

DAUPHINE STREET (SIDE)



AERIAL VIEW OF EXISTING ROOF

IECC 2021 COMPLIANCE TABLE

PRESCRIPTIVE COMPLIANCE, CLIMATE ZONE 2

OPAQUE BUILDING THERMAL ENVELOPE

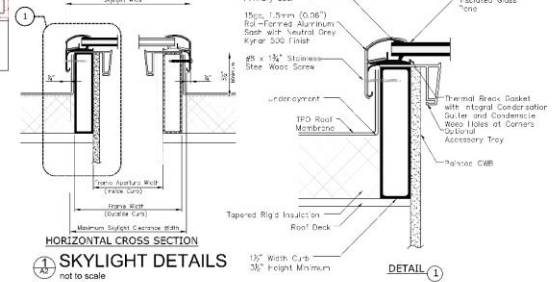
BUILDING COMPONENT	INSULATING MATERIAL	R-VALUE REQUIRED	R-VALUE PROVIDED	REMARKS
SLAB	N/A			
EXTERIOR WOOD STUD WALLS	3-1/2" THICK FIBERGLASS BATTS	R-13	R-13	
ROOF/CEILING W/ ATTIC	9" THICK FIBERGLASS BATTS	R-38	R-38	
ROOF/CEILING WITHOUT ATTIC	TAPERED RIGID INSULATION	R-25cj	R-25cj	

FENESTRATION

BUILDING COMPONENT	U-FACTOR REQUIRED / PROVIDED	SHGC REQUIRED / PROVIDED
WINDOWS A,B	0.40	0.25
GLAZED DOORS	0.40	0.25
SKYLIGHTS	0.65	0.25

ENERGY COMPLIANCE NOTES:

1. A SCENT TRUCK AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. REFER TO IECC TABLE R602.4.1.1 FOR STANDING AIR BARRIER, AIR SEALING AND INSULATION INSTALLATION REQUIREMENTS.



SKYLIGHT AREA CALCULATION
TOTAL AREA OF PROPOSED SKYLIGHTS = 16 S.F.
TOTAL AREA OF FLAT ROOF = 796 S.F.
PROPOSED PERCENTAGE OF SKYLIGHTS = 2%
ALLOWABLE PERCENTAGE OF SKYLIGHTS = 3%

HATCH LEGEND

- REMOVE ROOF STRUCTURE ENTIRELY
- REMOVE ROOF MEMBRANE AND UNDERLAYMENT; REMOVE AND REPLACE DECKING AS NECESSARY; REINFORCE FRAMING AS NECESSARY PER STRUCT; NEW ROOF MEMBRANE PER DRAWINGS

PROPOSED ROOF PLAN
SC: 1/4" = 1'-0"

EXISTING / DEMOLITION ROOF PLAN
SC: 1/4" = 1'-0"



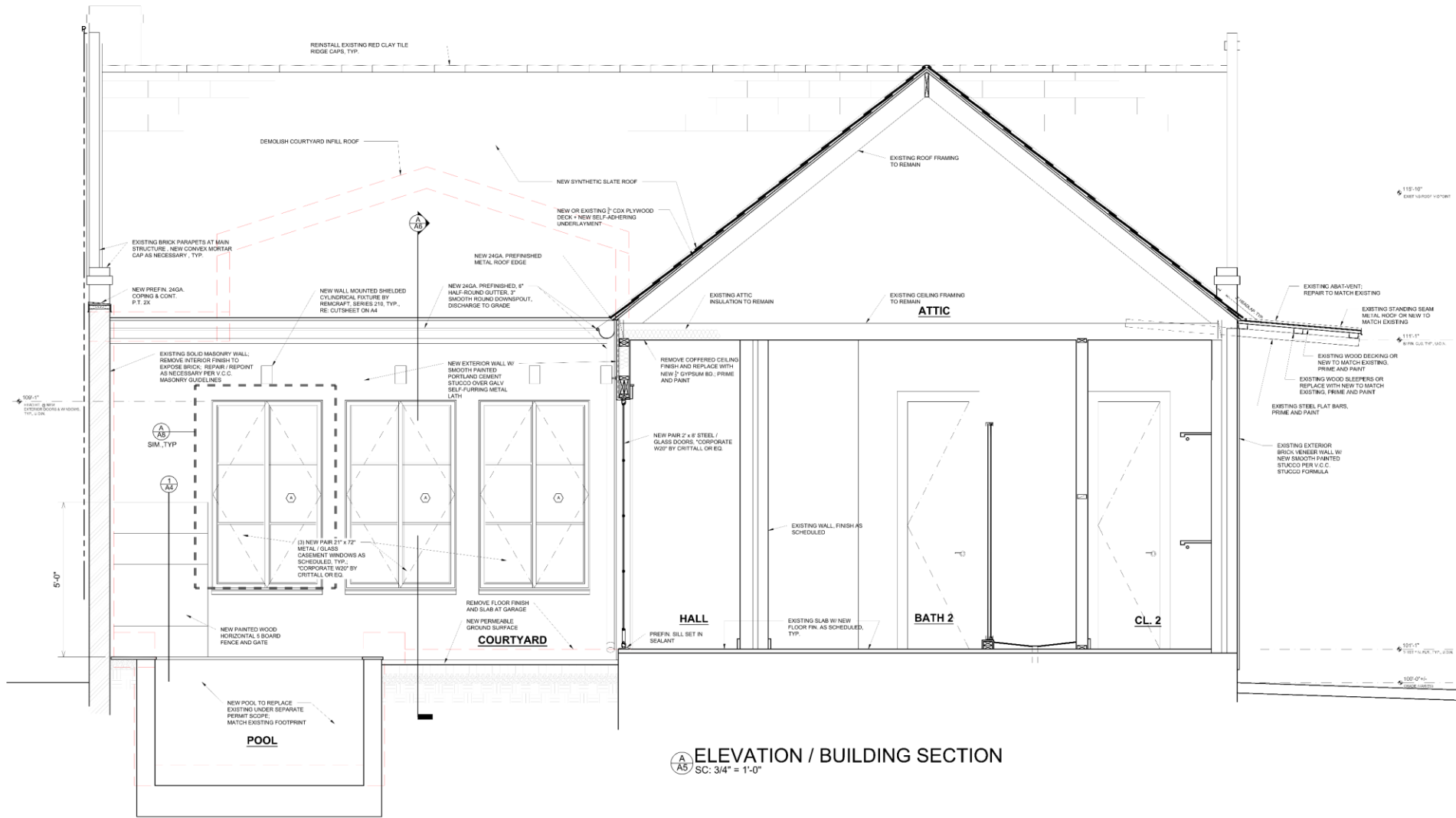
941 St. Philip Street
Renovation
New Orleans, Louisiana 70116



LKHarmon Architects
A Professional Architectural Corporation
6238 Arbonne Boulevard
New Orleans, Louisiana 70124
504.480.0570 | harmon@lkharchitects.com

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ELEVATION / BUILDING SECTION
 SC: 3/4" = 1'-0"



941 St. Philip Street
 Renovation
 New Orleans, Louisiana 70116

LKHarmon Architects
 A Professional Architectural Corporation
 6220 Argonne Boulevard
 New Orleans Louisiana 70124
 504-485-5870 harmon@lkharmearchitects.com

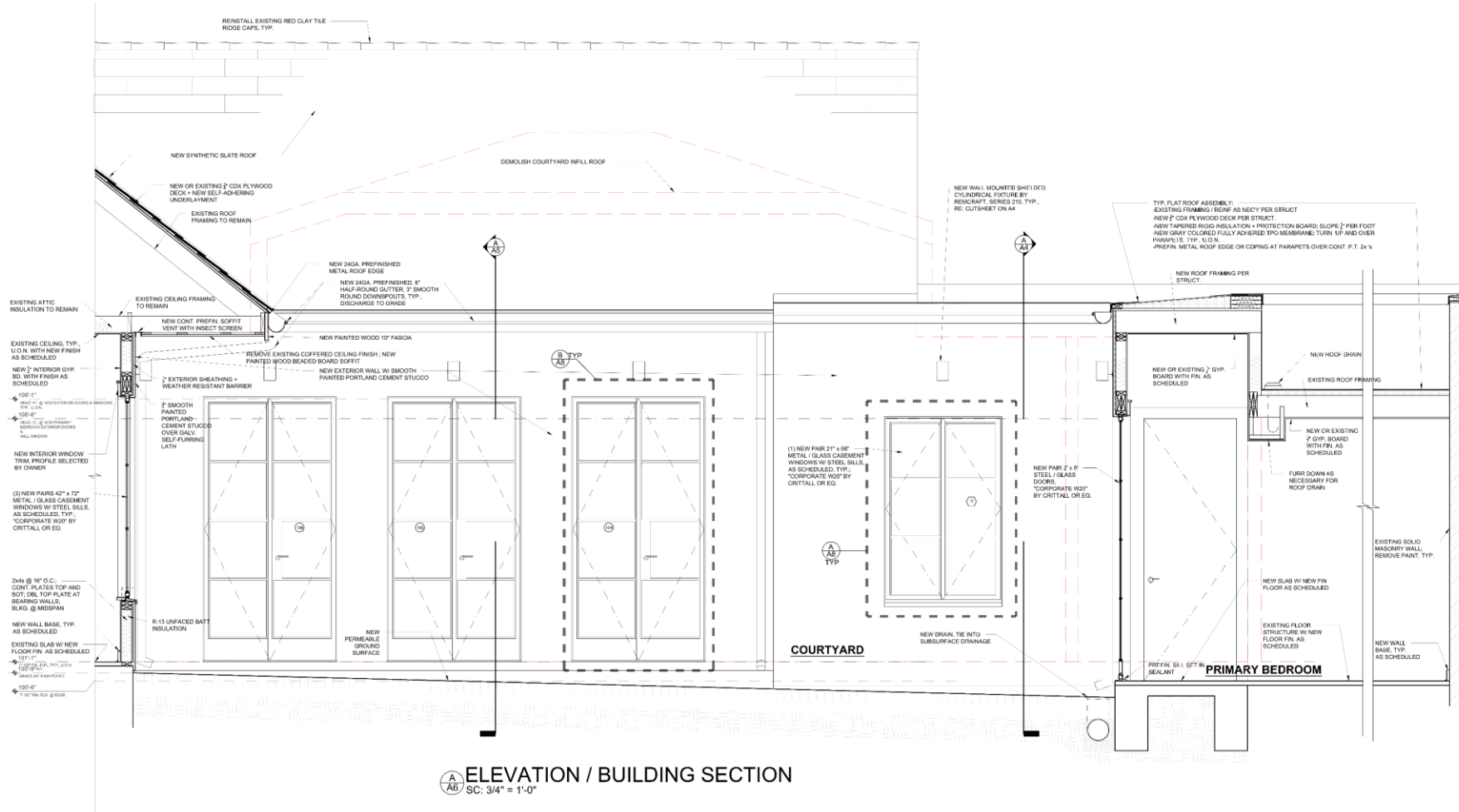
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939-41 St. Philip

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October 8, 2024





ELEVATION / BUILDING SECTION
 SC: 3/4" = 1'-0"



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 New Orleans, Louisiana 70116



LKHarmon Architects
 A Professional Architectural Corporation
 6238 Argonne Boulevard
 New Orleans, Louisiana 70124
 504.485.5870 harmon@lkharmonarichitects.com

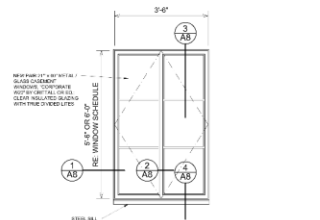
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	LKH 84823.1

939-41 St. Philip

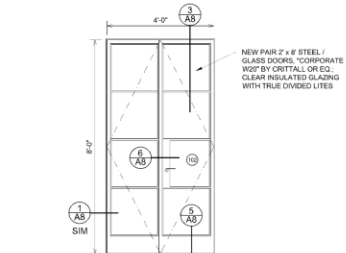
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October 8, 2024



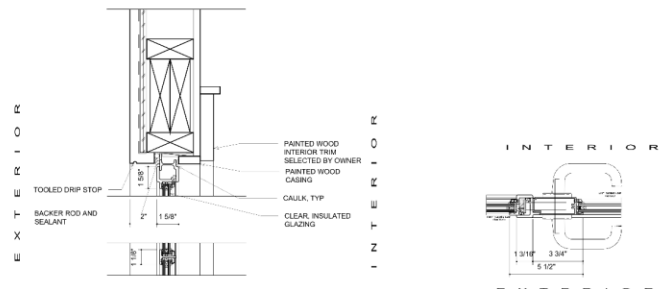


STEEL / GLASS WINDOW ELEVATION
SC: 1/2" = 1'-0"



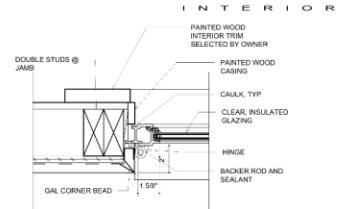
STEEL / GLASS DOOR ELEVATION
SC: 1/2" = 1'-0"

ROOM	FLOOR	BASE	WALLS	CEILING	MOLDING	REMARKS
LIVING	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD	5" CROWN	
KITCHEN	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD	5" CROWN	WALL TILE BACKLASH ABOVE COUINNERS TO BOT. OF WALL CABINETS AND HOOD
DINING	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD	5" CROWN	
HALL	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD	5" CROWN	
BAR	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		WALL 18" BACKLASH ABOVE COUINNERS TO BOT. OF WALL CABINETS AND HOOD
BEDROOM 2	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		
CL. 2	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 1" x 6	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		
BATH 2	NATURAL STONE TILE, THINSET	CERAMIC COVE	WALL TILE TO CEILING	FLAT LATEX PAINT ON GYPSUM BOARD		
SHOWER 2	CERAMIC TILE, MUDDED	CERAMIC COVE	WALL TILE TO CEILING	FLAT LATEX PAINT ON GYPSUM BOARD		SHOWER FLOOR: PORCELAIN CERAMIC TILE, F. ONK. SET IN MUDDED ABOVE WATERPROOF B-DIWER PANSLOPE TO DRAIN.
OFFICE	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		
GARAGE	POLISHED CONCRETE	-	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		
BEDROOM 1	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 8" H. 2-PIECE	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		
BATH 1	NATURAL STONE TILE, THINSET	CERAMIC COVE	WALL TILE TO CEILING	FLAT LATEX PAINT ON GYPSUM BOARD		
SHOWER 1	CERAMIC TILE, MUDDED	CERAMIC COVE	WALL TILE TO CEILING	FLAT LATEX PAINT ON GYPSUM BOARD		SHOWER FLOOR: PORCELAIN CERAMIC TILE, F. ONK. SET IN MUDDED ABOVE WATERPROOF B-DIWER PANSLOPE TO DRAIN.
CL. 1	STAINED HARDWOOD T&G PLANKS	PTD. WOOD 1" x 6	EGGSHELL LATEX PAINT ON GYPSUM BOARD	FLAT LATEX PAINT ON GYPSUM BOARD		

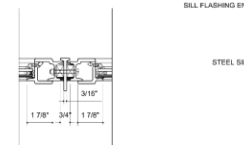


STEEL WINDOW & DOOR HEAD / MUNTIN DETAIL
SC: 3" = 1'-0"

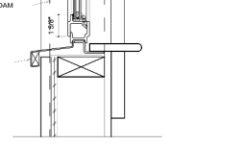
STEEL DOOR MEETING / LOCK RAIL
SC: 3" = 1'-0"



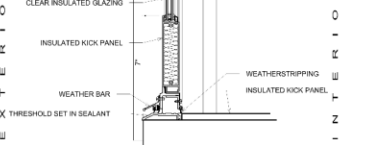
STEEL WINDOW & DOOR JAMB DETAIL
SC: 3" = 1'-0"



STEEL WINDOW MEETING RAIL
SC: 3" = 1'-0"



STEEL WINDOW SILL DETAIL
SC: 3" = 1'-0"



STEEL DOOR THRESHOLD DETAIL
SC: 3" = 1'-0"

MARK	SIZE WxHxTK	TYPE	HARDWARE SET	REMARKS
100	8'-0"H x 4'-1-3/4"W	EXTERIOR COUSERS, 2" SQUARE DOOR STOP AND WOOD VERTICAL, TILE BRIDGE, FLOOR GLAZING, INSULATED LITE SET IN ALUMINUM CASING	AUTOMATIC CORDER ON 8" HIGH H. REMOTE, WEATHERSTRIP	SEE PLAN
101	PAIR 4'-0"H x 1'-3/4"W	PAINTED STEEL, 2" CLEAR INSULATED IMPACT RESISTANT GLAZING, TRUE DIVIDED LITES	RE INSTALL CARRIAGE PINNES	SEE PLAN
102	PAIR 2'-0"H x 1'-5/8"W	PAINTED STEEL, 2" CLEAR INSULATED IMPACT RESISTANT GLAZING, TRUE DIVIDED LITES	NEVER LEVER HANDLE, PINNES, WEATHERSTRIP, COORDINATE NOT BY CRITICAL	SEE PLAN
103	PAIR 2'-0"H x 1'-5/8"W	PAINTED STEEL, 2" CLEAR INSULATED IMPACT RESISTANT GLAZING, TRUE DIVIDED LITES	NEVER LEVER HANDLE, PINNES, WEATHERSTRIP, COORDINATE NOT BY CRITICAL	SEE PLAN
104	PAIR 2'-0"H x 1'-5/8"W	PAINTED STEEL, 2" CLEAR INSULATED IMPACT RESISTANT GLAZING, TRUE DIVIDED LITES	NEVER LEVER HANDLE, PINNES, WEATHERSTRIP, COORDINATE NOT BY CRITICAL	SEE PLAN
105	PAIR 2'-0"H x 1'-5/8"W	PAINTED STEEL, 2" CLEAR INSULATED IMPACT RESISTANT GLAZING, TRUE DIVIDED LITES	NEVER LEVER HANDLE, PINNES, WEATHERSTRIP, COORDINATE NOT BY CRITICAL	SEE PLAN
106	PAIR 2'-0"H x 1'-5/8"W	PAINTED STEEL, 2" CLEAR INSULATED IMPACT RESISTANT GLAZING, TRUE DIVIDED LITES	NEVER LEVER HANDLE, PINNES, WEATHERSTRIP, COORDINATE NOT BY CRITICAL	SEE PLAN
107	2'-0"H x 1'-3/4"W	PAINTED S.C. WOOD PANEL	PRIVATE LATCH-SET, PINNES, DOORSTOP	
108	2'-0"H x 1'-3/4"W	PAINTED S.C. WOOD PANEL	PRIVATE LATCH-SET, PINNES, DOORSTOP	
109	2'-0"H x 1'-3/4"W	PAINTED S.C. WOOD PANEL	PRIVATE LATCH-SET, PINNES, DOORSTOP	
110	2'-0"H x 1'-3/4"W	PAINTED S.C. WOOD PANEL	PRIVATE LATCH-SET, PINNES, DOORSTOP	
111	2'-0"H x 0'-3/8"W	CLEAR, TIMPERED, FRAMELESS GLASS	SLIDER TRACK, PULLS BOTH SIDES	
112	2'-0"H x 0'-3/8"W	CLEAR, TIMPERED, FRAMELESS GLASS	SLIDER TRACK, PULLS BOTH SIDES	
113	2'-0"H x 0'-3/8"W	CLEAR, TIMPERED, FRAMELESS GLASS	SLIDER TRACK, PULLS BOTH SIDES	
114	2'-10"H x 0'-1-3/4"W	PAINTED S.C. WOOD PANEL	PRIVATE LATCH-SET, PINNES, DOORSTOP, THRESHOLD, WEATHERSTRIPING	DOOR SHALL BE SELF-CLOSING AND SELF-LATCHING
115	2'-10"H x 0'-1-3/4"W	PAINTED S.C. WOOD PANEL	PRIVATE LATCH-SET, PINNES, DOORSTOP	
116	PAIR 1'-4"H x 1'-3/8"W	PAINTED S.C. WOOD PANEL	DUMMY HANDLES, BALL CATCH LATCHES, HINGES, DOORSTOP	
117	2'-0"H x 0'-3/8"W	CLEAR, TIMPERED, FRAMELESS GLASS	SLIDER TRACK, PULLS BOTH SIDES	
118	PAIR 1'-4"H x 1'-3/8"W	PAINTED S.C. WOOD PANEL	DUMMY HANDLES, BALL CATCH LATCHES, HINGES, DOORSTOP	

MARK	TYPE	REMARKS
A	TYPE: PAINTED STEEL, OPERABLE OUTSWINGING CASEMENT PAIR. CLEAR INSULATED GLAZING, TRUE DIVIDED LITES, BASIS OF DESIGN. "CORPORATE NOT BY CRITICAL"	UNIT SIZE: 8"0" H x 4"7" W, HEIGHT 7"7"
B	TYPE: PAINTED STEEL, OPERABLE OUTSWINGING CASEMENT PAIR. CLEAR INSULATED GLAZING, TRUE DIVIDED LITES, BASIS OF DESIGN. "CORPORATE NOT BY CRITICAL"	UNIT SIZE: 8"0" H x 4"7" W, HEIGHT 7"7"

- DOOR, WINDOW, AND FINISH NOTES**
- PAINT COLORS TO BE SELECTED BY OWNER FROM MANUFACTURERS' FULL RANGE.
 - INTERIOR PAINTING:
 - WALLS: 2 COATS SHELLAC LATEX OVER PRIMER.
 - DOOR, WINDOW & COLUMN TRIM: 2 COATS SEMI-GLOSS LATEX ENAMEL OVER PRIMER.
 - EXTERIOR PAINTING:
 - WOOD PRODUCTS: 2 COATS EXTERIOR SEMI-GLOSS LATEX ENAMEL OVER PRIMER.
 - STUCCO: 2 COATS EXTERIOR EGGSHELL LATEX OVER PRIMER.
 - MFLT: 7 COATS EXTERIOR SEMI-GLOSS LATEX ENAMEL OVER PRIMER.
 - WOOD PLANK FLOOR FINISH SHALL BE SELECTED BY OWNER. PROVIDE VAPOR BARRIER AS PER MANUF. SPECIFICATIONS.
 - CERAMIC TILE AND NATURAL STONE TILE FLOORS AND TUB / SHOWER SURROUNDS SHALL BE SELECTED BY OWNER. PROVIDE VAPOR BARRIER AS PER MANUF. SPECIFICATIONS.
 - WALL BASE, INTERIOR DOOR AND WINDOW TRIM AND MOLDING SHALL BE SELECTED BY OWNER FROM STOCK PROFILES. PROVIDE NEW INTERIOR TRIM AT ALL EXISTING DOORS AND WINDOWS.
 - INTERIOR AND EXTERIOR DOOR AND WINDOW HARDWARE FINISH AND STYLE SHALL BE SELECTED BY OWNER.
 - INTERIOR DOOR PANEL STYLE SHALL BE SELECTED BY OWNER.
 - ALL EXTERIOR DOOR AND WINDOW GLAZING SHALL BE CLEAR UNLESS OTHERWISE NOTED.
 - SAFETY GLAZING REQUIRED IN THE FOLLOWING HAZARDOUS LOCATIONS:
 - ALL HALLS AND CORRIDORS.
 - GLAZING ADJACENT TO THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE THE WALKING SURFACE.
 - THE EXPOSED AREA OF AN INDIVIDUAL WINDOW PANEL IS LARGER THAN 5 SQUARE FEET (5.69 SQ. FT.)
 - THE BOTTOM EDGE OF THE WINDOW GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.
 - THE TOP EDGE OF THE WINDOW GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR AND THE GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR AND EACH PANEL IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR AND EACH PANEL IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - ON-FACING HOT TUBS, SPAS, HOT TUBS, SAUNAS, STEAM ROOMS, BATH TUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES (914 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - THE TOP EDGE OF THE WINDOW GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR AND EACH PANEL IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR AND EACH PANEL IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - GLAZING ADJACENT TO THE VERTICAL EDGE OF THE GLAZING IS LESS THAN 36 INCHES (914 MM) ABOVE THE FLOOR AND EACH PANEL IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR.
 - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES (914 MM) ABOVE THE LANDING AND WHERE A BALCONY RAILING IS LESS THAN 36 INCHES (914 MM) ABOVE THE LANDING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

939-41 St. Philip
Vieux Carré Commission



941 St. Philip Street
Renovation
New Orleans, Louisiana 70116

LKHarmon Architects
A Professional Architectural Corporation
6238 Argonne Boulevard
New Orleans, Louisiana 70124
504.480.5570 harmon@lkharmona.com

9.23.2024 PERMIT	A8
LKH #4823.1	

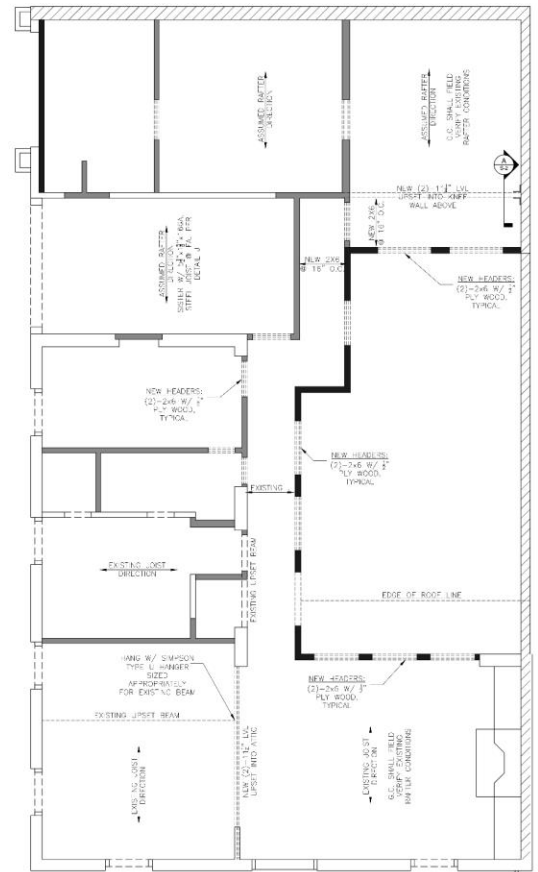


October 8, 2024

THESE DRAWINGS HAVE BEEN CHECKED TO ASSURE A REASONABLE AND USUALLY ACCURATE SHOWN OF DIMENSIONS. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS AND CODE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS PRIOR TO THE START OF WORK.

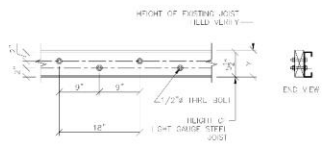
NOTE:
 THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE IRC 2021 CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I HAVE FULL RESPONSIBILITY FOR THE CORRECTNESS OF THESE PLANS. STRUCTURAL MODIFICATIONS ARE NECESSARY TO PRESERVE THE MINIMUM EXISTING RC PER IRC 2021 & THE REQUIREMENTS OF ASCE 7.

- FRAMING GENERAL NOTES:**
- ALL WOOD FRAMING, FABRICATION, AND ERECTION SHALL CONFORM TO THE MINOR DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE IBC. THE ALLOWED DESIGN SPECIFICATION BY THE IBC AND ALL THE REQUIREMENTS BELOW UNLESS NOTED OTHERWISE. ALL WOOD COMPONENTS SHALL BE ACCORDANCE WITH THE FACTORY CONTROLLED OF THE STANDARD BUILDING CODE. ALL JOISTS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED WITH SOLI.
 - ALL FRAMING JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED. MAXIMUM JOIST LENGTH SHALL BE 20'-0".
 CEILING WALLS: 2x4 STUDS AT 16" O.C. (UNLESS NOTED)
 FLOOR JOIST: 2x8 STUDS AT 16" O.C.
 2x8 STUDS AT 16" O.C.
 - FLOOR, ATTIC, AND ROOF FRAMING SHALL BE OF SIZES AS INDICATED ON FRAMING PLANS. PROVIDE WOOD BRIDGE BRACING WITH 1x6x8 OR 2x8x8 OR 2x8x8x8 BRACING (MIN 10' FEET). (2x12) 2x12 BEAMS BELOW BEARING JOISTS AT 8' O.C. ABOVE AND/OR AS INDICATED ON FRAMING PLANS. BEAMS SHALL BEAR ON TOP OF BEARING WALL. TOP PLATES SHALL BE 2x4 (3) STUDS AT 24" O.C. BEARING POINTS BELOW DOUBLE TOP PLATE OR AS SHOWN ON FRAMING PLANS. PROVIDE WOOD COLLAR BRACES AT 24" O.C. ROOF RATHER THAN 24" BELOW JOIST OR WOOD.
 - PLYWOOD SUB FLOORING SHALL BE APA RATED 5/8" 3/4" THICK TONGUE AND GROOVE (OPTIONAL 2x2" O.S.B.) GABLE AND RAILS TO FLOOR JOISTS WITH 68 NAILS SPACED AT 6" O.C. AT WALL LOGS AND 12" O.C. AT INTERMEDIATE SUPPORTS. GULL SHALL BE 2x4x8 NAILS 6" FROM.
 - PLYWOOD ROOFING SHALL BE APA RATED 5/8" 3/4" OR (OPTIONAL 1/2" O.S.B.) 1/2" W/ 1 1/2" NAILS SPACED AT 6" O.C. AT WALL LOGS AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE 1/2" O.S.B. AT UNDESIGNATED ROOFS BETWEEN ROOF JOISTS.
 - WIND BRACING: PROVIDE APA RATED 2x4x8 4" x 8" x 1/2" THICK PLYWOOD SHEATHING (OPTIONAL 1/2" O.S.B.) ON ALL EXISTING WOOD CONNECTION TO MASONRY. G-BOARDS RATHER THAN BRACING SHALL BE 1/2" O.S.B. AND 1/2" O.S.B. SHALL BE 1/2" O.S.B. PROVIDE WITH AN NAIL AT 3" O.C. AT WALL JOISTS AND 6" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL WALL LOGS.
 - COORDINATE FRAMING WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
 - CEILING FINDER SCHEDULED.
 - FIRST FLOOR: (2) 2x8x8 W/ 1/2" PLY WOOD (2) 2x8x8 W/ 1/2" PLY WOOD 6" O.C. STAGGERED TOP AND BOTTOM (2) 2x8x8 W/ 1/2" PLY WOOD 6" O.C. STAGGERED TOP AND BOTTOM (2) 2x8x8 W/ 1/2" PLY WOOD 6" O.C. STAGGERED TOP AND BOTTOM (2) 2x8x8 W/ 1/2" PLY WOOD 6" O.C. STAGGERED TOP AND BOTTOM
 - DOUBLE WALLS SHALL BE 2" CLEAR FROM TOP OF BOTTOM LEVEL JOIST AND SHALL NOT BE LOCATED IN 1/4" IN CLEARANCE AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
 - STRAP ALL STRIPS CUT AWAY FOR PLUMBING WITH 1 1/2" W/ 2x4 GAUGE GALVANIZED STRAPS 16" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.
 - PROVIDE STUD POSTS WITH 2" OF MULTIPLE STUDS BENEATH EACH BEARING OF BEAM AS SHOWN ON FRAMING PLANS. WALL STUDS SHALL BE ADJUSTED TO BE WITH THE JOIST WITH 100 NAILS AT 12" O.C. ON EACH CENTER LINE AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING TOP AND BOTTOM.
 - ALL WALL HANGER BEAMS SHALL BE ANCHORED TO RC AS ONE. DOUBLE BEAMS SHALL BE SPACED AND Nailed FROM ONE END. (2) 11" 1/4" I/BOL'S @ 6" O.C. @ EACH END OF EACH TRIPLE BEAM SHALL BE GALLED AND Nailed FROM BOTH SIDES WITH 100 NAILS @ 6" O.C. STAGGERED TOP AND BOTTOM.

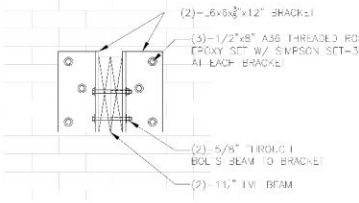


FRAMING RENOVATION PLAN
 SCALE: 1/4" = 1'-0"

G.C. SHALL VERIFY ALL DIMENSIONS, FLOOR ELEVATIONS, SLOPES, EXISTING CONDITIONS AND OTHER CONTROLLING CONDITIONS ON SITE AND NOTIFY ARCHITECT OF RECORD AND ENGINEER OF RECORD ANY DISCREPANCIES THAT MAY EXIST.



DETAIL J - SISTERED RAFTERS
 SCALE: 1" = 1'-0"



SECTION A - BEAM HANGER FROM MASONRY
 SCALE: 1" = 1'-0"

SEAL IS NOT SPECIFIC AND FOR STRUCTURAL DESIGN ONLY. DRAWING AND DESIGN VALID FOR ONE (1) YEAR AFTER LATEST DATE IN TITLE BLOCK.

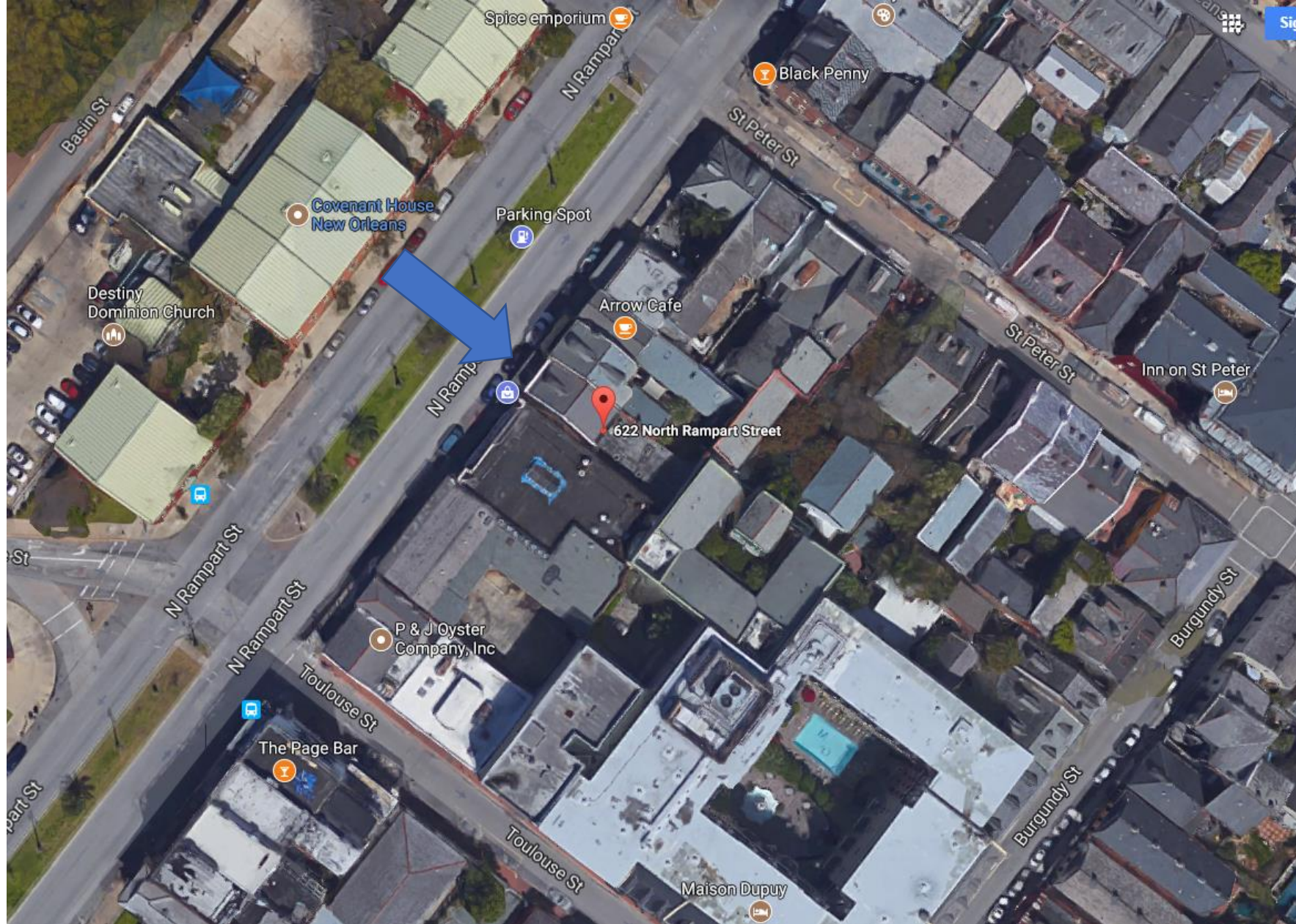
PROJECT:	FRAMING PLANS, DETAILS AND NOTES
PROJECT:	RESIDENTIAL RENOVATION
PROJECT:	941 ST. PHILIP ST., NEW ORLEANS, LA
PROJECT:	FOR: LKHARMON ARCHITECTS
SHEET NO.:	S-2
SHEET NO.:	2

ANDERSON & BUUCK CONSULTING ENGINEERS, LLC.
 143 N. ANNE STREET
 NEW ORLEANS, LA 70119
 PHONE: (504) 585-7379
 email: abuuck@andersonbuuck.com





622 N Rampart



622 N Rampart

VCC Architecture Committee

October 8, 2024





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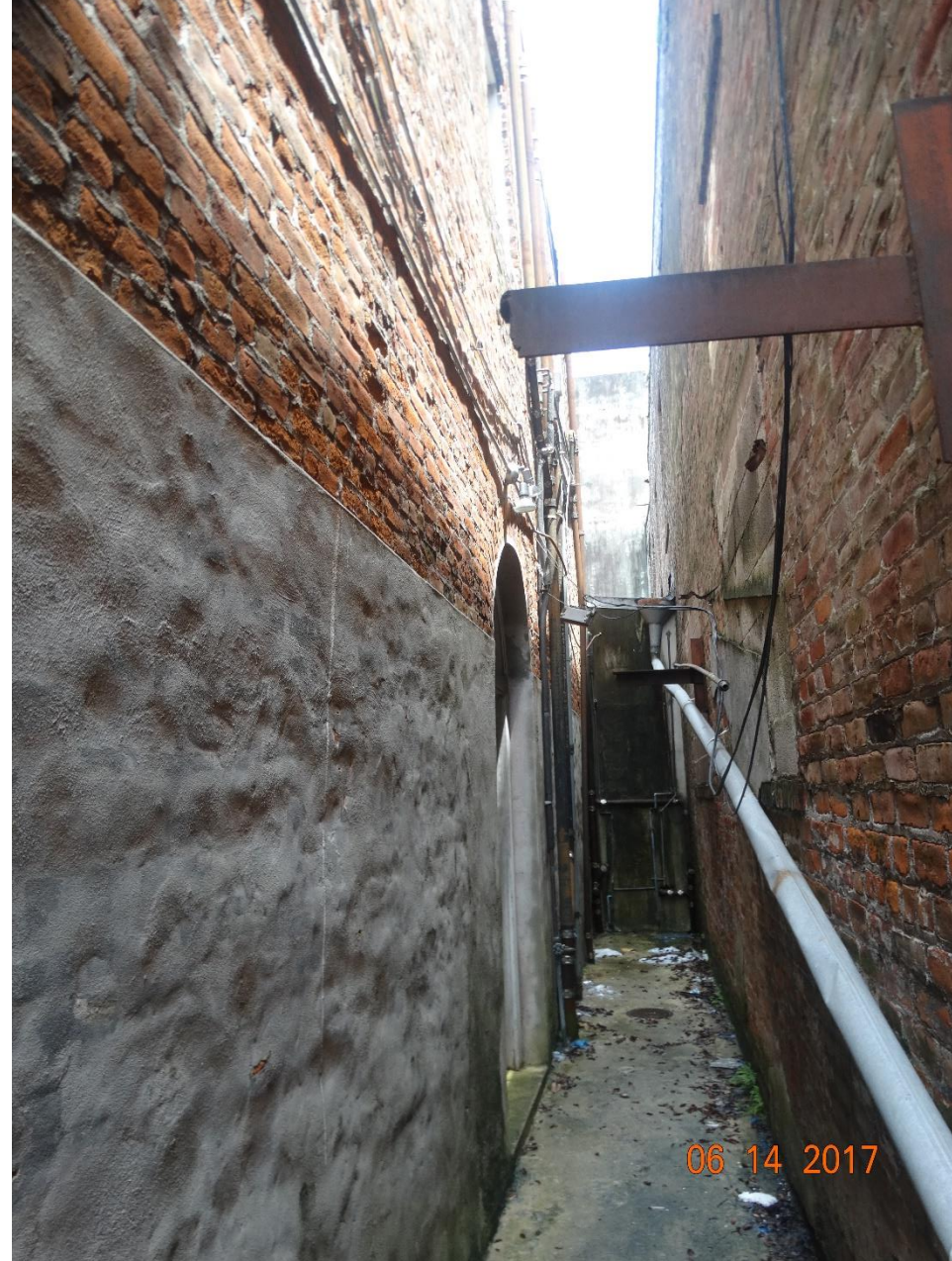
October 8, 2024





622 N Rampart – existing archway at rear of main building





622 N Rampart – existing alleyway

VCC Architecture Committee

October 8, 2024





Existing condenser on roof. Roof to be demolished, condenser to relocate



Existing plumbing fixtures to be demolished



Courtyard roof to be demolished. Slab to be leveled and prepared for pavers



Center stud wall to be removed. Floor to be demoed as needed to provide new footings along columns



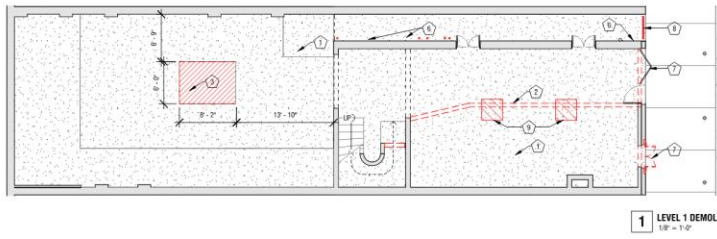
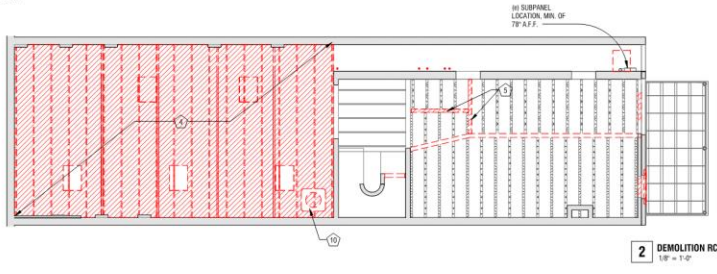
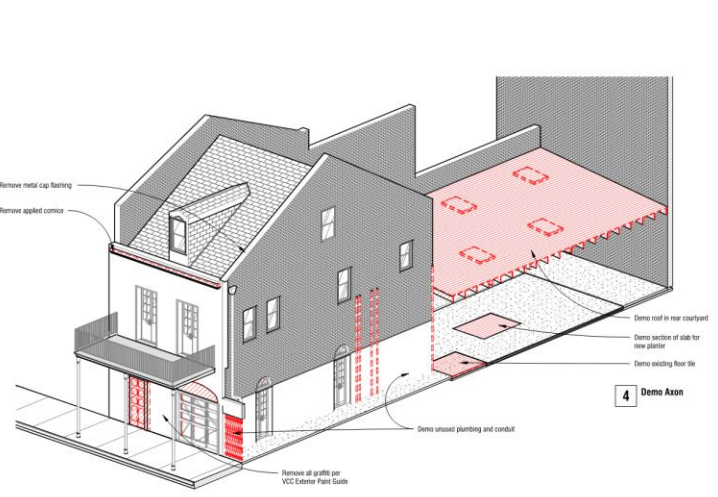
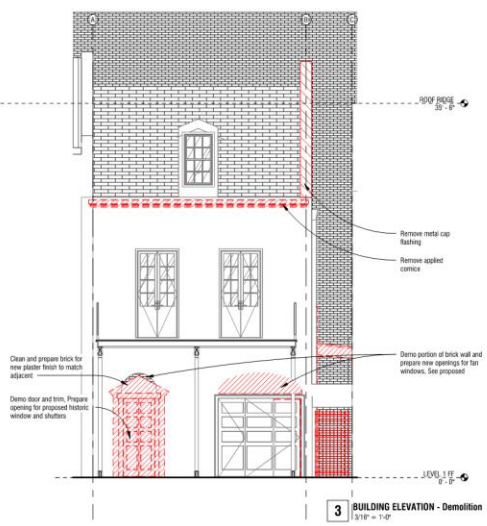
Cornice to be removed. Replace metal parapet cap flashing to be replaced with mortar cap flashing per VCC standard details



Unseal plumbing and conduit to be removed



Beams to be demolished per plans. GC to provide all necessary temporary bracing



DEMOLITION LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	TO BE DEMOLISHED

DEMOLITION NOTES

MARK	NOTE
1	Floor finish to be demolished
2	Wood framing to be demolished
3	Demo portion of concrete slab for proposed planter
4	Demo roof and roof framing
5	Demo beams and replace with new. See proposed
6	Demo unseal plumbing and conduit
7	Demo exterior door and trim. Prep for proposed windows and doors
8	Demo metal gable
9	Demo existing slab as needed to allow for new foundation work
10	Remove HVAC condenser related to roof

GENERAL DEMOLITION NOTES

Contractor shall verify all dimensions and conditions shown on drawings at job site, and is to immediately notify Architect of any new findings, discrepancies, omissions, and/or conflicts prior to proceeding with Work.

Contractor shall be responsible for all temporary bracing and shoring during construction.

Demolition methods shall be solely the Contractor's responsibility.

Contractor to protect any adjoining structures from dirt & damage caused by demolition.

All work damage by the demolition shall be replaced by the Contractor at no cost to the Owner.

All salvaged material, unless noted otherwise, shall become the property of the Contractor and shall be evaluated in the Contractor's bid price.

All debris and salvageable materials shall be removed promptly from the construction site.

Carfully dismantle, store, and protect all materials scheduled to remain or be reused. Locations for re-installation to be coordinated with the Owner.

Contractor is responsible for all demolition & removal of existing partitions, soffits, doors, frames, any mechanical, electrical, or plumbing equipment, wall treatments, floor coverings, etc. as necessary for the proper installation of new work.

Refer to Demolition Plan for other demolition notes.

1/8" = 24" x 36". Do not scale drawings.

Rampart St

622 N Rampart St
 New Orleans, LA 70112



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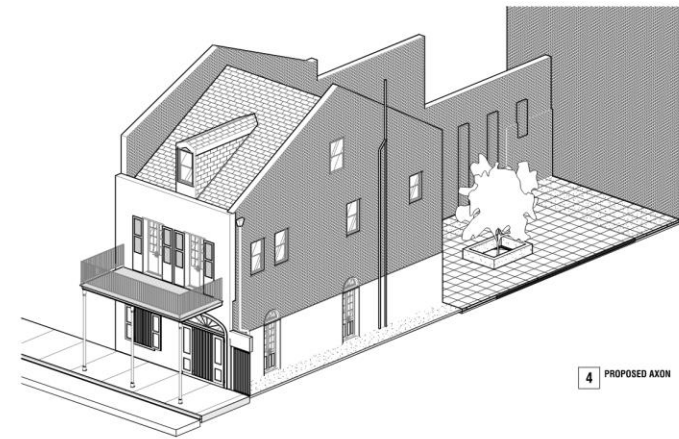
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ISSUE RELEASE SCHEDULE

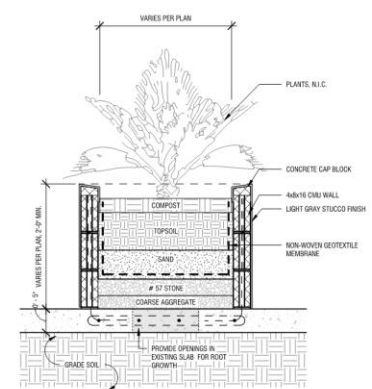
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A1.1
 Demolition Plans

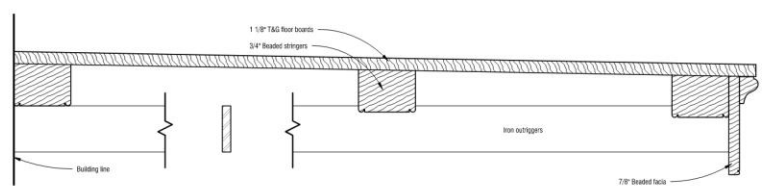




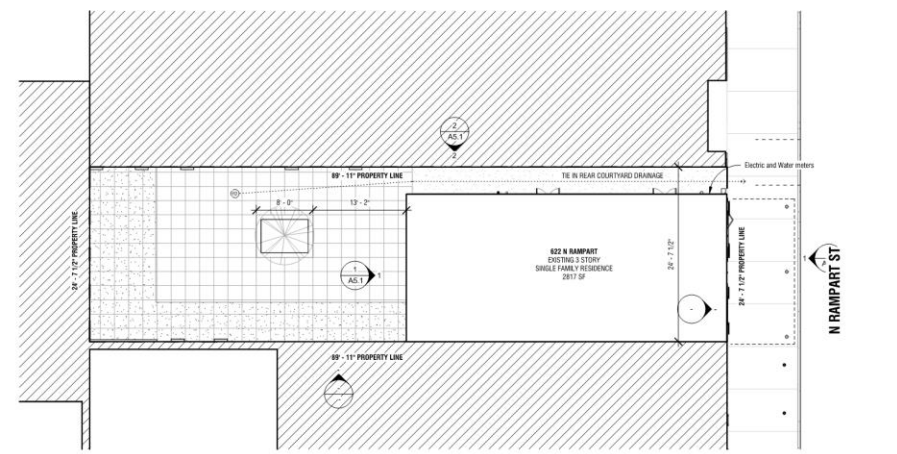
4 PROPOSED AXON



3 PLANTER DETAIL
1" = 1'-0"



2 BALCONY DETAIL
3" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"

SITE PLAN NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES, AND REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE STARTING CONSTRUCTION.

REFER TO THE BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAY OUT PROPERTY LINE.

CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY AGENCIES TO VERIFY THAT UTILITY SERVICES HAVE BEEN TERMINATED OR DISCONNECTED PRIOR TO REMOVAL OF STRUCTURES, WATER METERS, GAS METERS, ETC.

ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO THE CITY OF NEW ORLEANS OPEN TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENT OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA.

THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY UTILITY DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DAMAGES TO THE UTILITY ENTITIES.

CONTRACTOR SHALL FILL TRENCHES/VOIDS CREATED BY REMOVAL OF PIPES, DRAIN PIPES, TREES, STRUCTURES, ETC. WITH SELECT STRUCTURAL FILL.

CONTRACTOR SHALL CLEAR THE EXISTING GROUND SURFACE OF PAVEMENT, VEGETATION, STUMPS, LOOSE TOPSOIL, DEBRIS, LOOSE FILL, ORGANIC MATTER, DEMOLITION DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS. STOPPING SHOULD BE TO A DEPTH NECESSARY TO REMOVE VEGETATION AND ROOTS AND REACH FIRM UNDISTURBED SOIL.

Rampart St

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 New Orleans, LA 70112



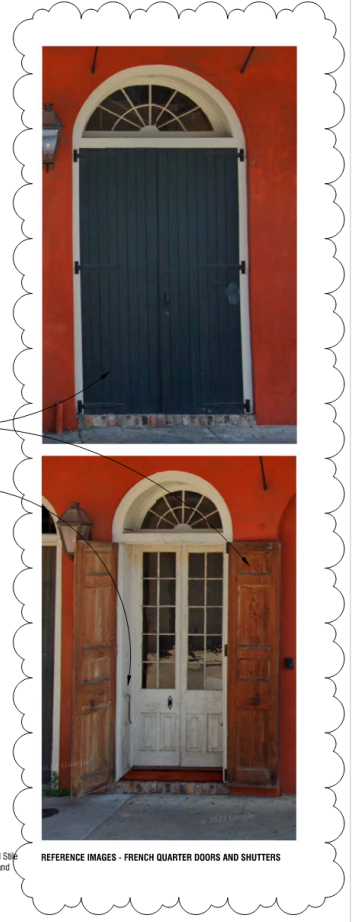
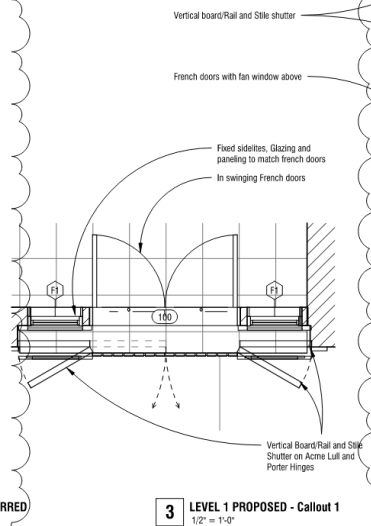
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 checked by: XX

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NO.	DESCRIPTION	DATE

A2.0
 Proposed Site Plan





REFERENCE IMAGES - FRENCH QUARTER DOORS AND SHUTTERS

Rampart St

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New Orleans, LA 70112



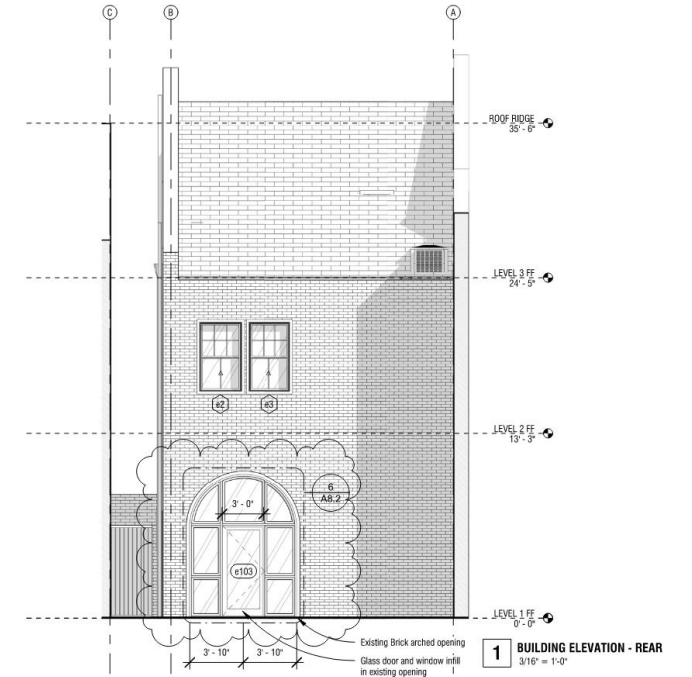
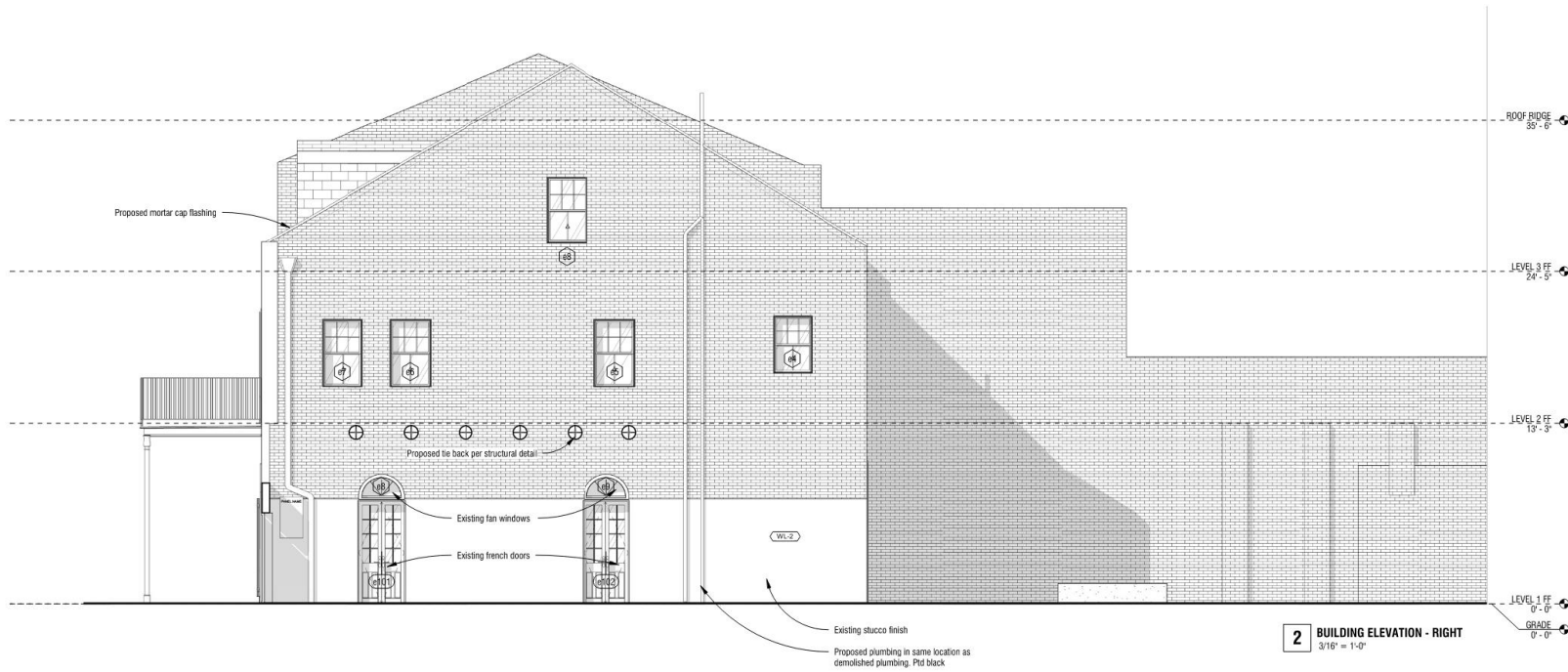
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checked by: Checker

ISSUE RELEASE SCHEDULE		
NO.	DESCRIPTION	DATE
2	VCC Permit Rev 2	09/23/2024

A5.0
Building Elevations &
Cladding Details



sheet size: 24" x 36". Do not scale drawings.



622 N Rampart
VCC Architecture Committee

October 8, 2024

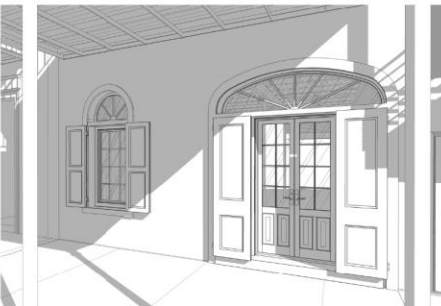




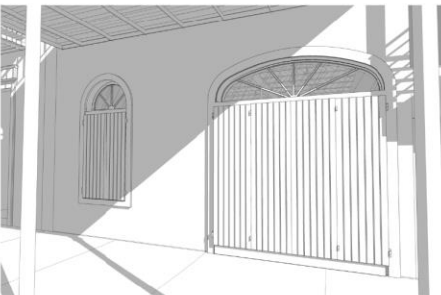
1 Exterior View 1



2 OPTION 1 - Shutters Open



3 OPTION 1 - Shutters 1/2 Open



4 OPTION 1 - Shutters Closed

Sheet Size: 24" x 36". Do not scale drawings.

COLECTIVO
 747 Louisiana Avenue
 New Orleans, LA 70115
 504 232 6013
 colectivoaha.com

Rampart St

622 N Rampart St
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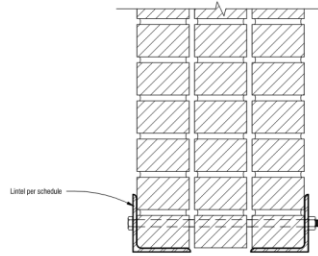
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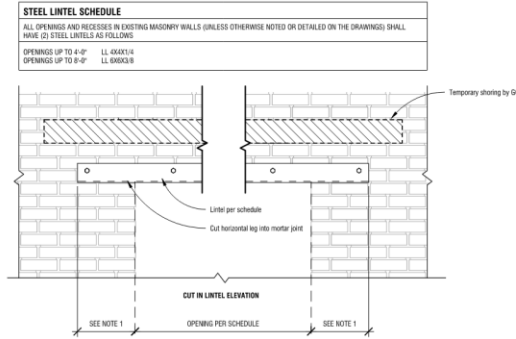
A5.2
 3D Views

NOTES: 3D VIEWS FOR ILLUSTRATION ONLY. FINISH MATERIALS, MASSING, AND LOCATIONS AND SIZES OF OPENINGS ARE SUBJECT TO CHANGE.

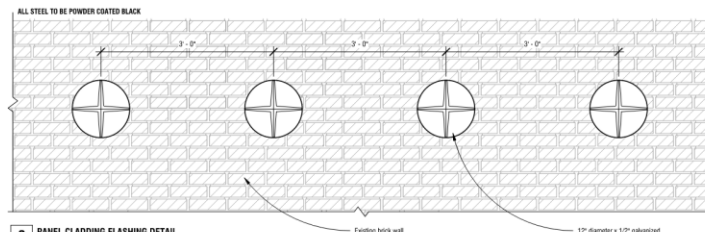
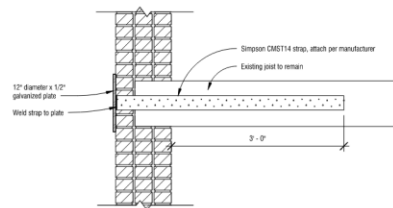
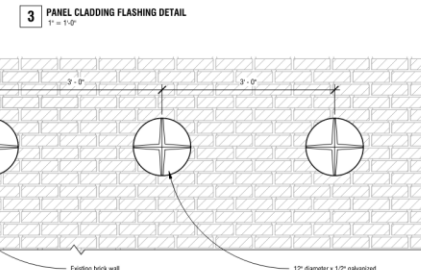
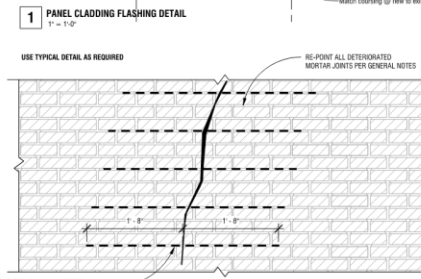
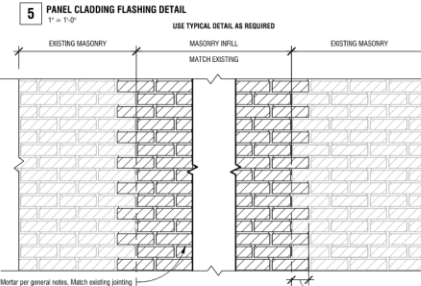




4 door - cut in lintel @ triple wythe brick
3" = 1'-0"



- NOTES:**
1. PROVIDE MIN 0'-0" BEARING AT EA END, BUT NO LESS THAN 1" OF BEARING PER FOOT OF SPAN
 2. BOTTOM OF LINTELS SHALL OCCUR AT TOP OF MASONRY OPENING
 3. CUT LINTELS IN PRIOR TO REMOVING WALL BELOW
 4. ALL EXTERIOR LINTELS SHALL BE HOT DIP GALVANIZED PER ASTM 123
 5. LINTELS SHOWN ARE APPLICABLE FOR MULTI WYTHE MASONRY WALLS UP TO (4) WYTHES THICK



Rampart St

622 N Rampart St
New Orleans, LA 70112



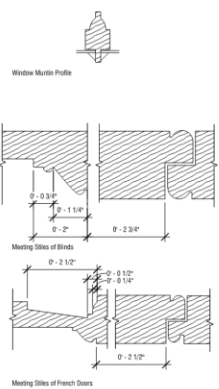
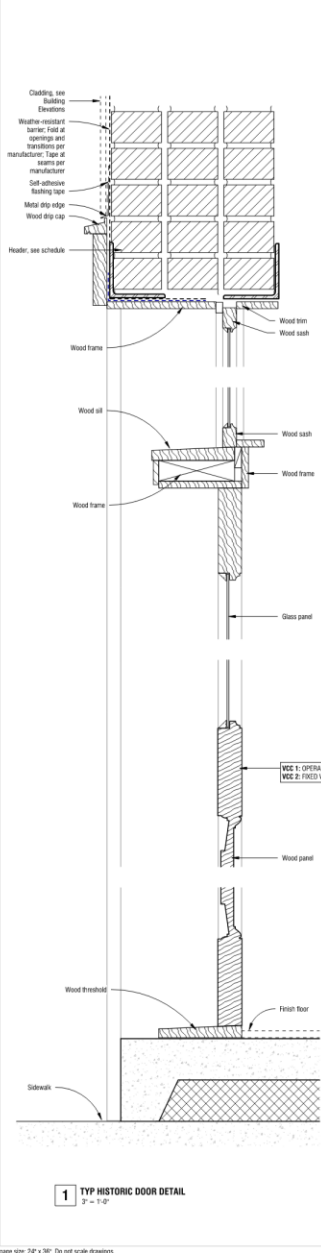
2024.07.23
PERMIT RELEASE SET

Drawn by Author
checked by Checker

ISSUE RELEASE SCHEDULE		
NO	DESCRIPTION	DATE

A7.1
Structural Details





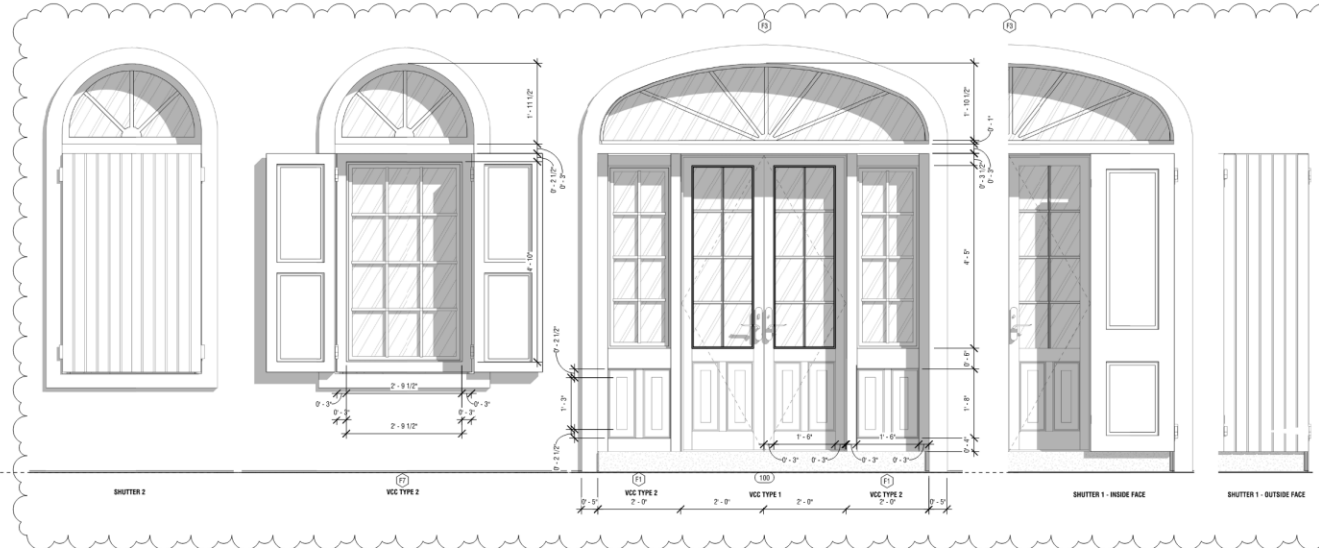
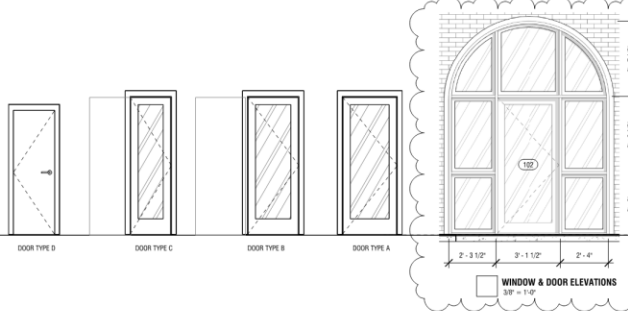
2 VCC French Door & Shutter Profiles
 Ø = 1-1/4"

DOOR SCHEDULE							
MARK	DOOR TYPE	SIZE	HARDWARE	DESCRIPTION	OPERATION	GLAZING	COMMENTS
100		3'-11 1/2" x 7'-2"	VCC-1	CUSTOM WOOD FRENCH DOOR	SWING	Partial	HISTORIC SHUTTER HINGE
101	A	2'-8" x 6'-6"	PH-1	SOLID CORN SINGLE LITE	SWING	Full	SCHLAGE LATTICE
102		2'-11 3/4" x 6'-6 1/4"	PH-1	CUSTOM WOOD DOOR	SWING	Partial	
100	C	2'-8" x 6'-6"	PH-1	SOLID CORN SINGLE LITE	POCKET	Full	SCHLAGE LATTICE
200	B	2'-6" x 6'-6"	PH-1	SOLID CORN SINGLE LITE	POCKET	Full	SCHLAGE LATTICE
202	D	2'-6" x 6'-6"	PH-1	HOLLOW CORN W/ ACOUSTIC SPILL	SWING	None	SCHLAGE LATTICE
4101		3'-3 1/2" x 7'-0"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	REINSTALL DOOR TO OUTSWING
4102		3'-3 1/2" x 7'-0"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	REINSTALL DOOR TO OUTSWING
4000		3'-3 1/2" x 7'-0"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	
4001		3'-3" x 6'-3"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	
4002		3'-3" x 6'-3"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	

DOOR HARDWARE SCHEDULE					
HARDWARE SET	HARDWARE	FINISH	HARDWARE DESCRIPTION	DEADBOLT	HINGE
100/01			<NONE>		
P-1	P-1	MATTE BLACK	SCHLAGE LATTICE		
PH-1	PH-1	MATTE BLACK	SCHLAGE LATTICE		
VCC-1	VCC-1	MATTE BLACK	HISTORIC SHUTTER HINGE		

WINDOW SCHEDULE											
MARK	Count	Height	Width	Height	Operation	Manufacturer	Egress	Glazing Type	Exterior Finish	Interior Finish	Comments
4001	1	2'-8 1/2"	4'-10 1/2"	4'-10 1/2"	SINGLE HUNG	Custom Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed
4001	55	2'-3 1/2"	6'-2 1/2"	6'-2 1/2"	SINGLE HUNG	Historic Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed
4001	1	2'-10 1/2"	4'-3 1/2"	4'-3 1/2"	SINGLE HUNG	Historic Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed
4001	1	3'-0 1/2"	4'-10 1/2"	4'-10 1/2"	SINGLE HUNG	Historic Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed
F1	2	1'-8 1/2"	4'-2 1/2"	4'-2 1/2"	FOLD	Custom Wood Window		IG Low E with Argon	Paint	Paint	PART OF ENTRY DOOR ASSEMBLY
F3	1				FIXED - ARCH	Custom Wood Window		IG Low E with Argon			PART OF ENTRY DOOR ASSEMBLY
F4	2				FIXED - ARCH	Custom Wood Window		IG Low E with Argon			SEE DOOR ELEVATIONS
F7	1	2'-10"	4'-10 1/2"	4'-10 1/2"	FOLD	Custom Wood Window		IG Low E with Argon			SEE DOOR ELEVATIONS
F8	1										

WINDOW NOTES
 All window notes represent basis of design and represent the approximate finished sizes. Verify with window manufacturer for all available selections and sizing. Architect to review and approve window specifications prior to General Contractor placing order.
 Contractor to verify all rough opening sizes in the field prior to ordering.
 Contractor to provide Impact Resistant Glazing (compliant with ASTM E-1888 and the E-1996/WINDA Helman Program) -OR- provide protection from wind borne debris by way of shutters or impact 1/2" plywood panels (compliant with the requirements of IRC 2021 Table 2.1.2.1) shall be provided for all openings.
 All glazing in exterior doors and windows to be double glazed insulated, with Low-E emissivity film. All glazing to comply with IRC 2021 / 2021 IECC Thermal Requirements for Climate Zone 3A - 40 U-factor for windows, .85 U-factor for Skylights, and .25 SHGC for all glazing.
 Provide safety glazing under the following conditions per Section R308.4 of the IRC :
 - All doors, skylights, and shower doors
 - All windows which occur at bathtubs or showers
 - All skylights and windows within 24" of a door
 Minimum opening area of egress windows to be 5.7 square feet. Bottom of egress window not to exceed 44" from the finished floor. Egress window opening minimum dimensions are 20" clear height and 20" clear width.



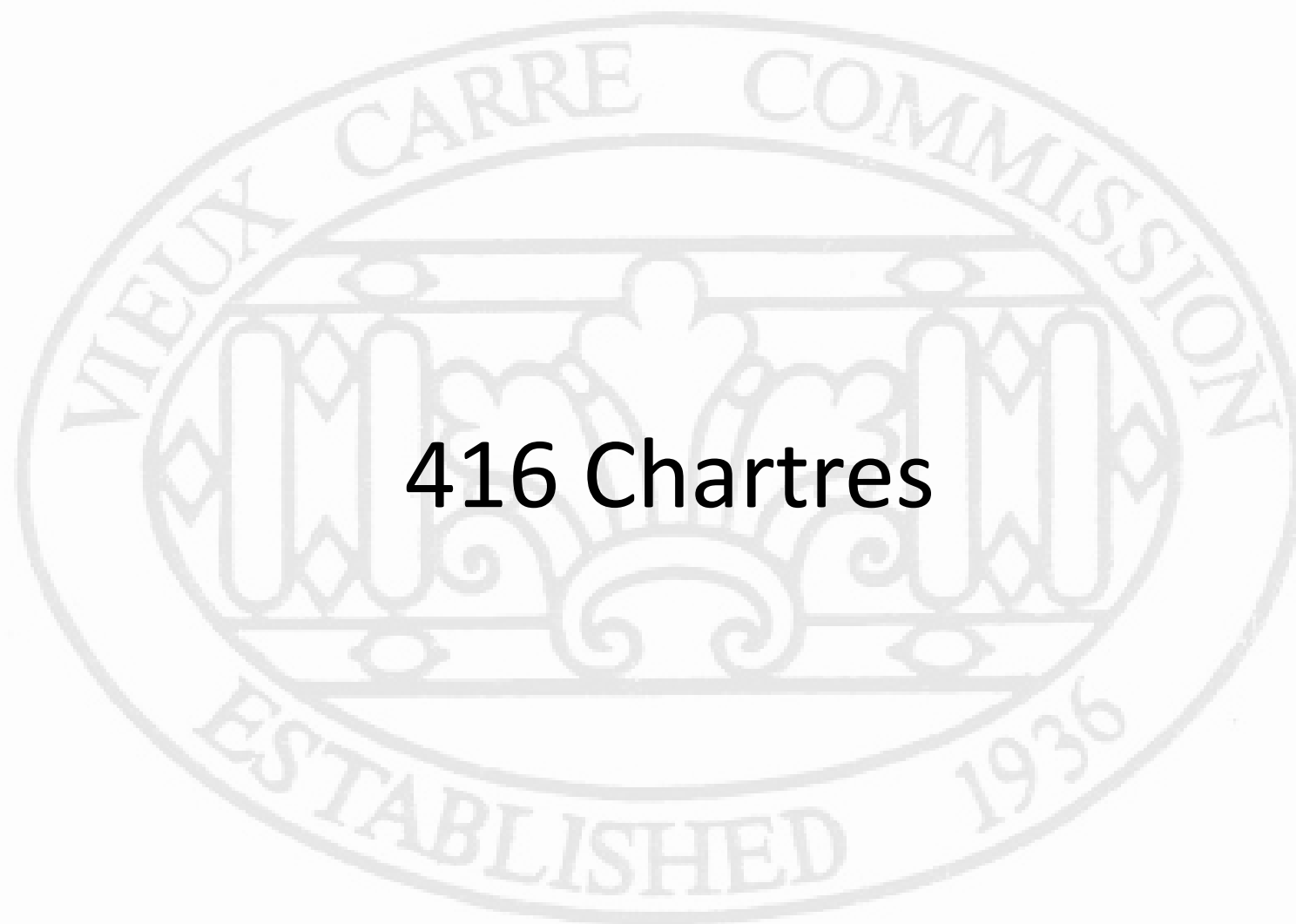
Rampart St
 622 N Rampart St
 New Orleans, LA 70112

2024.07.23
 PERMIT RELEASE SET
 Drawn by: Author
 Checked by: Checker

NO.	DESCRIPTION	DATE
1	VCC Permit Rev. 1 (08/11/2024)	

A8.2
 Window Schedules and Details





416 Chartres



416 Chartres





416 Chartres

Vieux Carré Commission

October 8, 2024





416 Chartres





416 Chartres

Vieux Carré Commission

October 8, 2024



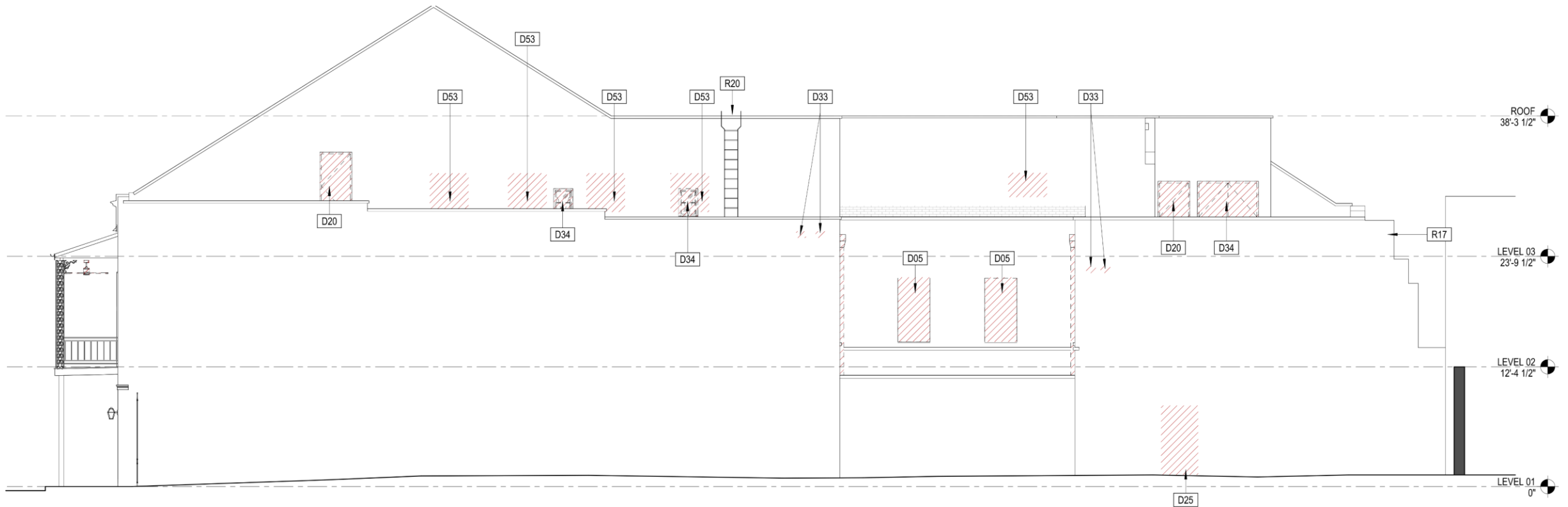


416 Chartres

Vieux Carré Commission

October 8, 2024





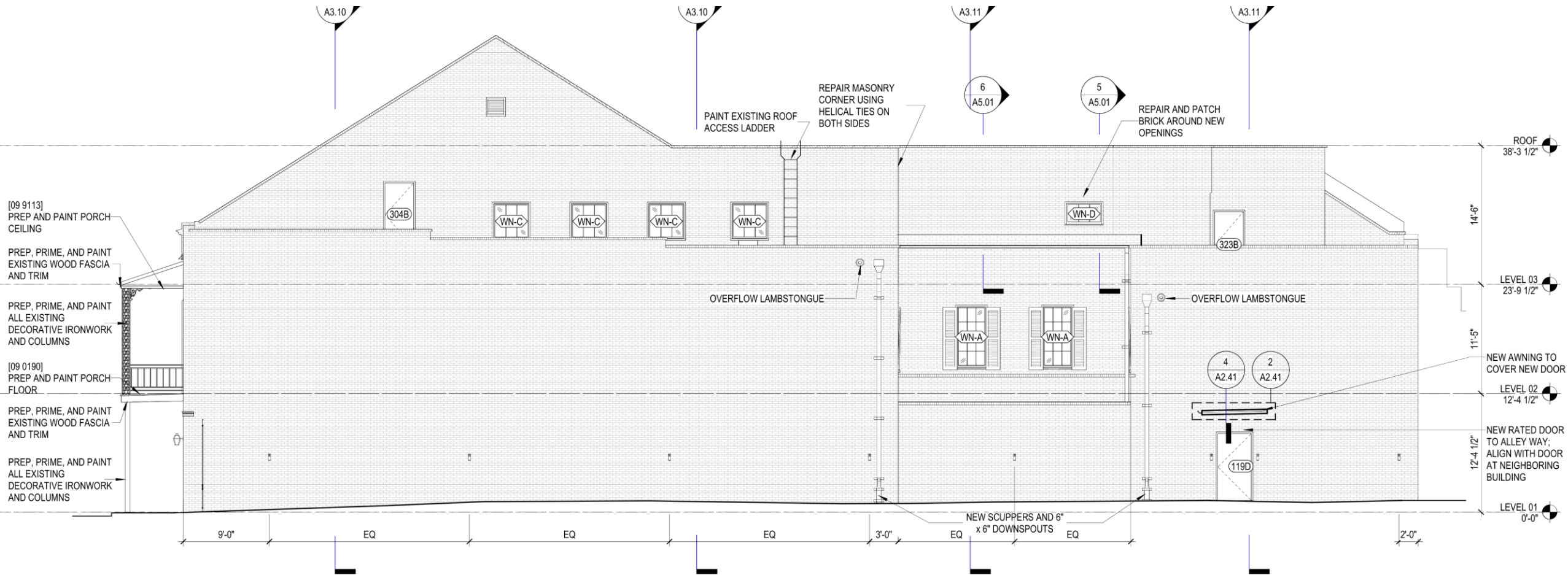
6 DEMO BLDG ELEVATION - SOUTH
 AD3.01 SCALE: 1/8" = 1'-0"

416 Chartres

Vieux Carré Commission

October 8, 2024





2 BLDG ELEVATION - SOUTH
 A3.01 SCALE: 1/8" = 1'-0"

416 Chartres



OWNER: KEMPER & LELLA WILLIAMS
FOUNDATION INC.
520 Royal St.
New Orleans, LA 70130
(504) 556-7859

ARCHITECT: TRAPOLIN PEER
800 Tchoupitoulas St.
New Orleans, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR: RYAN GOOTEE
GENERAL CONTRACTORS
1101 Freretwood Dr.
Metairie, LA 70001
(504) 832-1282



REVISION DESCRIPTION | DATE

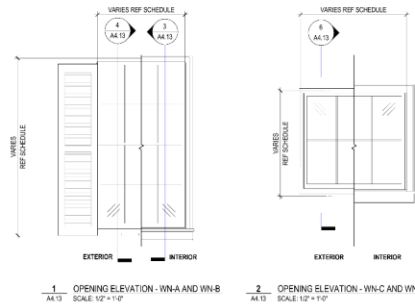
© TRAPOLIN PEER ARCHITECTS, APC
PROJECT NUMBER: CH24200
SHEET DATE: 06/02/2024

WINDOW SCHEDULES AND DETAILS

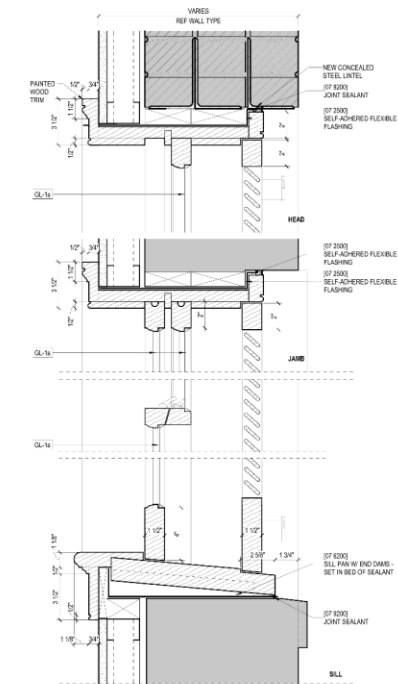
A4.13

New Construction - TPA WINDOW SCHEDULE						
ELEVATION TYPE MARK	DESCRIPTION	OPENING		FRAME MATERIAL	GLAZING TYPE	COMMENTS
		WIDTH	HEIGHT			
New Construction - Phase 1						
WN-A	DB, HING	7'-0"	6'-4"	HD. PAINT	GL-1	REFER TO SPEC. #8 0142 HISTORIC TREATMENT OF WOOD WINDOWS AND DOORS FOR WOOD WINDOW RECREATION
WN-B	DB, HING	7'-0"	6'-4"	HD. PAINT	GL-1	REFER TO SPEC. #8 0142 HISTORIC TREATMENT OF WOOD WINDOWS AND DOORS FOR WOOD WINDOW RECREATION
WN-C	FIXED	7'-0"	7'-0"	-	GL-3	WINDO HISS HISTORIC REPLICA WINDOW WITH TRH AS SHOWN
WN-D	FIXED	7'-0"	2'-0"	-	GL-3	WINDO HISS HISTORIC REPLICA WINDOW WITH TRH AS SHOWN

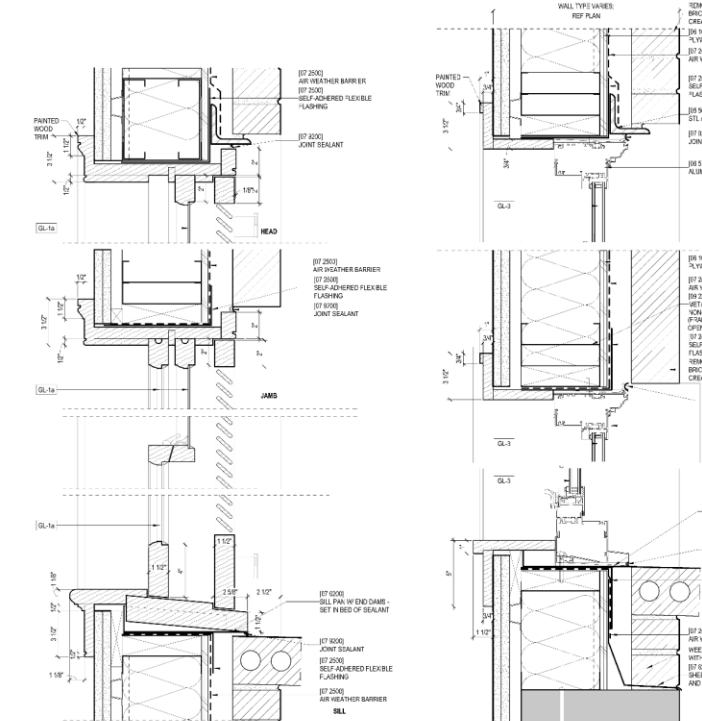
GLAZING LEGEND	
GL-1a	1/4" GLASS WITH IMPACT FILM
GL-1b	MATCH EXISTING GLASS THICKNESS AND PROVIDE IMPACT FILM
GL-2	INSULATED ANIMATED GLASS WITH PVD INTERLAYER (INTERIOR STOREFRONT)
GL-3	INSULATED ANIMATED GLASS WITH PVD INTERLAYER (NEW EXTENSION WINDOWS)
GL-4	1/2" TEMPERED GLASS - INTERIOR STOREFRONT DOORS
GL-5	3/8" TEMPERED GLASS - GLASS RAILING
GL-6	NOT USED
GL-7	1/4" TEMPERED GLASS ACoustICAL PVD INTERLAYER, 1/4" TEMPERED GLASS
GL-8	FIRE RATED GLASS FOR STAIR DOOR



1 OPENING ELEVATION - WN-A AND WN-B SCALE: 1/2" = 1'-0"
2 OPENING ELEVATION - WN-C AND WN-D SCALE: 1/2" = 1'-0"



4 WN-A AND WN-B DETAIL - HEAD, JAMB, SILL @ BRICK MASONRY SCALE: 3/4" = 1'-0"
3 WN-A AND WN-B DETAIL - HEAD, JAMB, SILL @ BRICK VENEER SCALE: 3/4" = 1'-0"



6 WN-C, WN-D & WN-E DETAIL - HEAD, JAMB, SILL @ BRICK VENEER SCALE: 3/4" = 1'-0"
5 WN-A AND WN-B DETAIL - HEAD, JAMB, SILL @ BRICK VENEER SCALE: 3/4" = 1'-0"





416 Chartres

Vieux Carré Commission

October 8, 2024





416 Chartres

Vieux Carré Commission

October 8, 2024





416 Chartres

Vieux Carré Commission

October 8, 2024



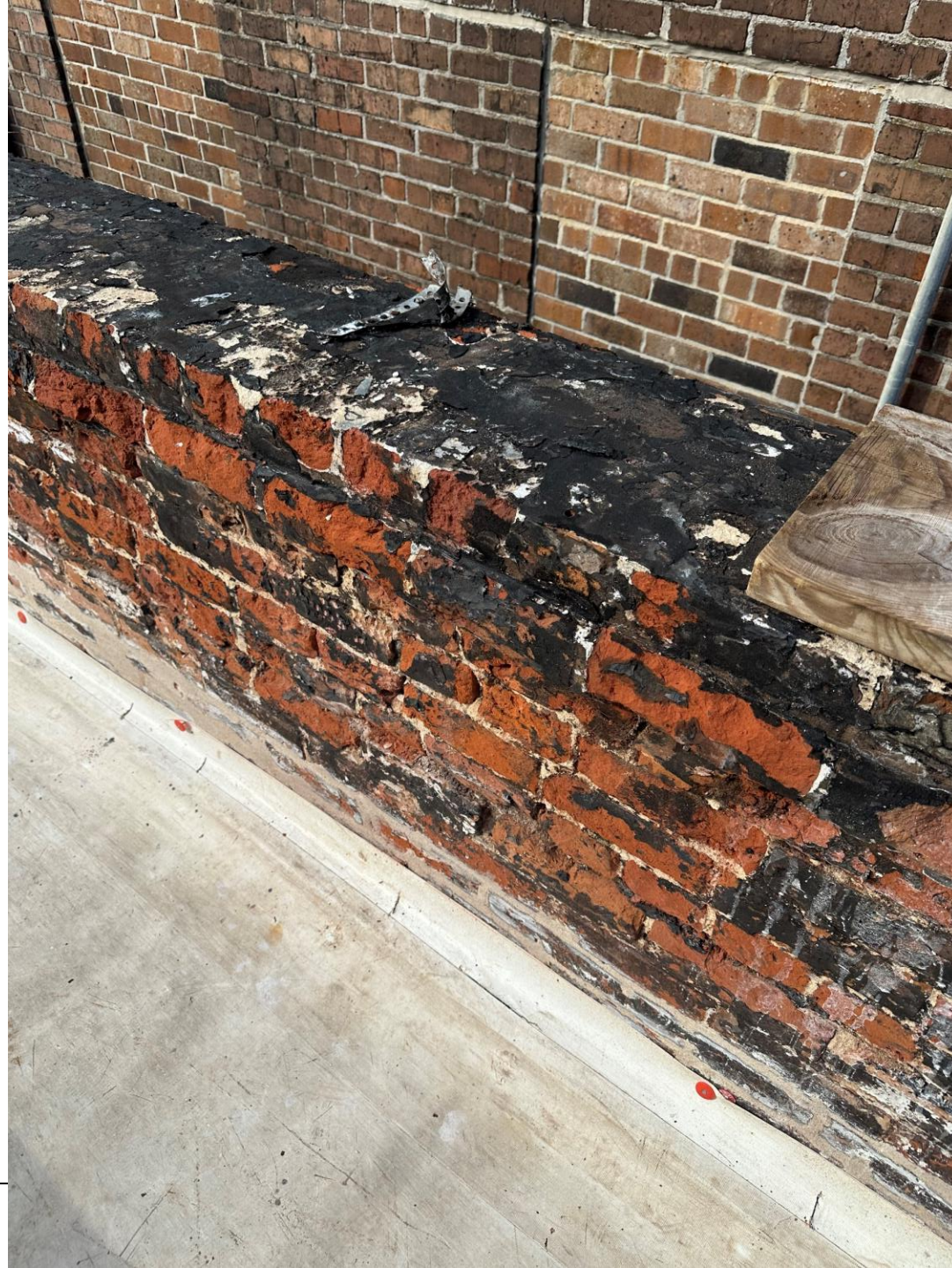


416 Chartres

Vieux Carré Commission

October 8, 2024





416 Chartres

Vieux Carré Commission

October 8, 2024





Ryan Gootee
GENERAL CONTRACTORS, L.L.C.

4 October 2024

RE: Masonry Condition at Parapet Wall
RGGC Job #24003 – HNOG 416 Chartres
416 Chartres Street
New Orleans, LA 70130

Ms. Hodgins,

After reviewing the historic masonry condition of the parapet wall at 416 Chartres and per the attached letter from DRP Masonry, we do not advise installing a mortar cap and waterproofing product directly to the existing brick due to the existing roofing adhesive. Removing the existing adhesive will diminish the integrity of the bricks. We would have to remove the entire top course of historic bricks to achieve a porous surface for the mortar cap to adhere to. Alternatively, the bricks and existing adhesive can remain in place if a metal cap is installed over the top course instead of a mortar cap, similar to the adjacent buildings.

Should you have any questions, please contact us.

Sincerely,
Ryan Gootee General Contractors LLC

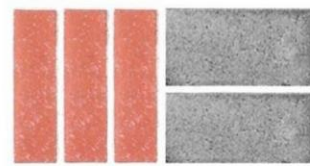
Katie Boyer
Project Manager

416 Chartres

Vieux Carré Commission

October 8, 2024





DRP Masonry

 www.drpmasonry.com  318-600-6129  3 Bancroft Circle Monroe, LA 71201

October 1, 2024

To: Mrs. Katie Boyer
Ryan Gootee General Contractors

Re: 416 Chartres St Project

Katie,

I am writing you regarding the mortar wash shown on the parapet wall at the 416 Chartres St. Project. I have concerns about the mortar bonding to the existing parapet wall in its current condition. The mortar will not create a strong bond due to the many layers of roofing tar across the top of the parapet wall. We would need to demolish the top course of bricks and lay a course with new units to create a suitable substrate for the mortar wash and application of the Sika 107 cementitious waterproofing as per the architectural drawings.

If possible, I would recommend you to install a metal cap over this parapet to match the other existing portions of the parapet wall on the same building. This will give the building much more resistance to water entering the masonry wall and give a much higher performing and longer lasting building, in my opinion.

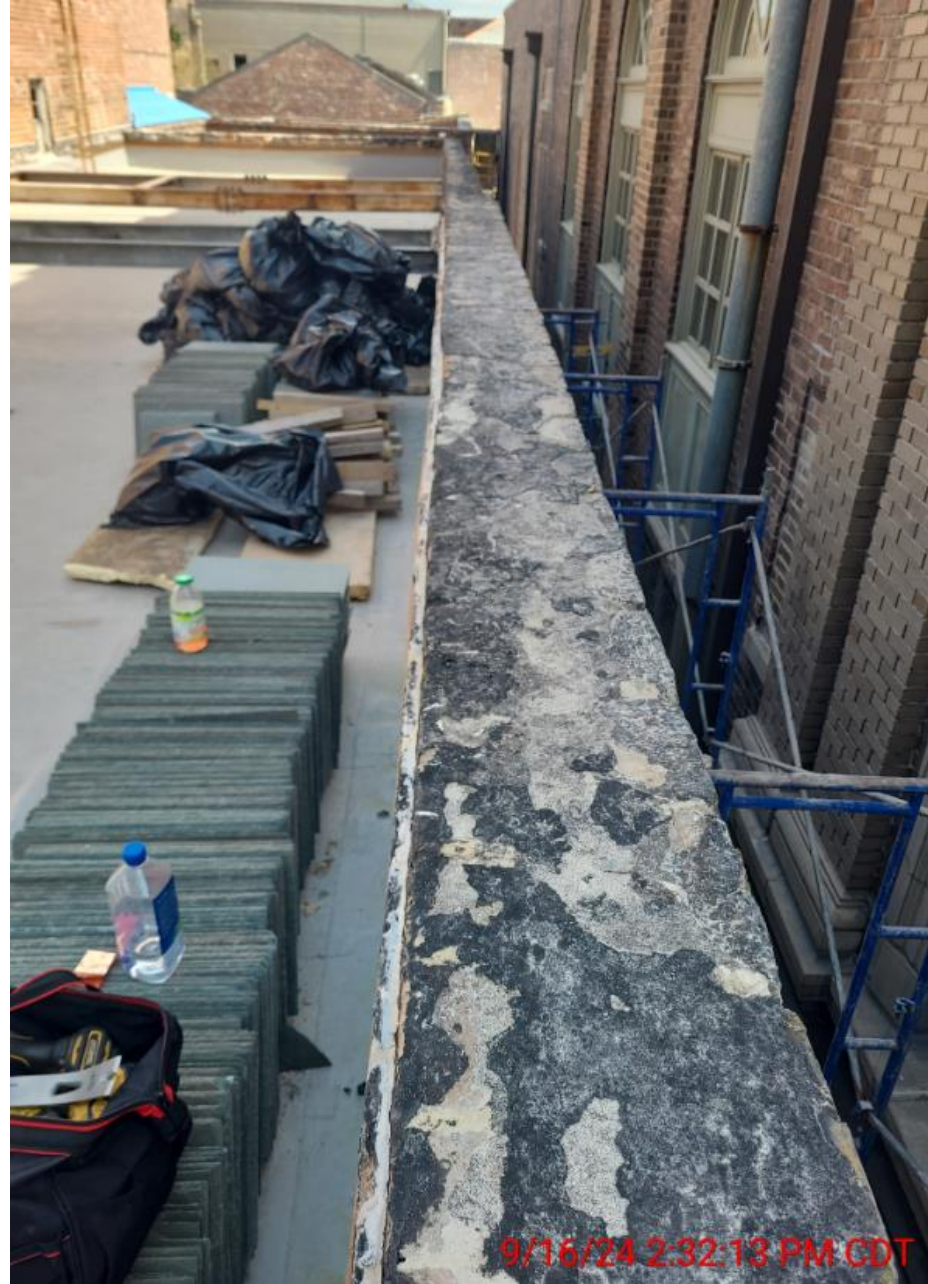
Mark D. Waller
Project Manager, DRP Masonry LLC.

416 Chartres

Vieux Carré Commission

October 8, 2024





416 Chartres

Vieux Carré Commission

October 8, 2024



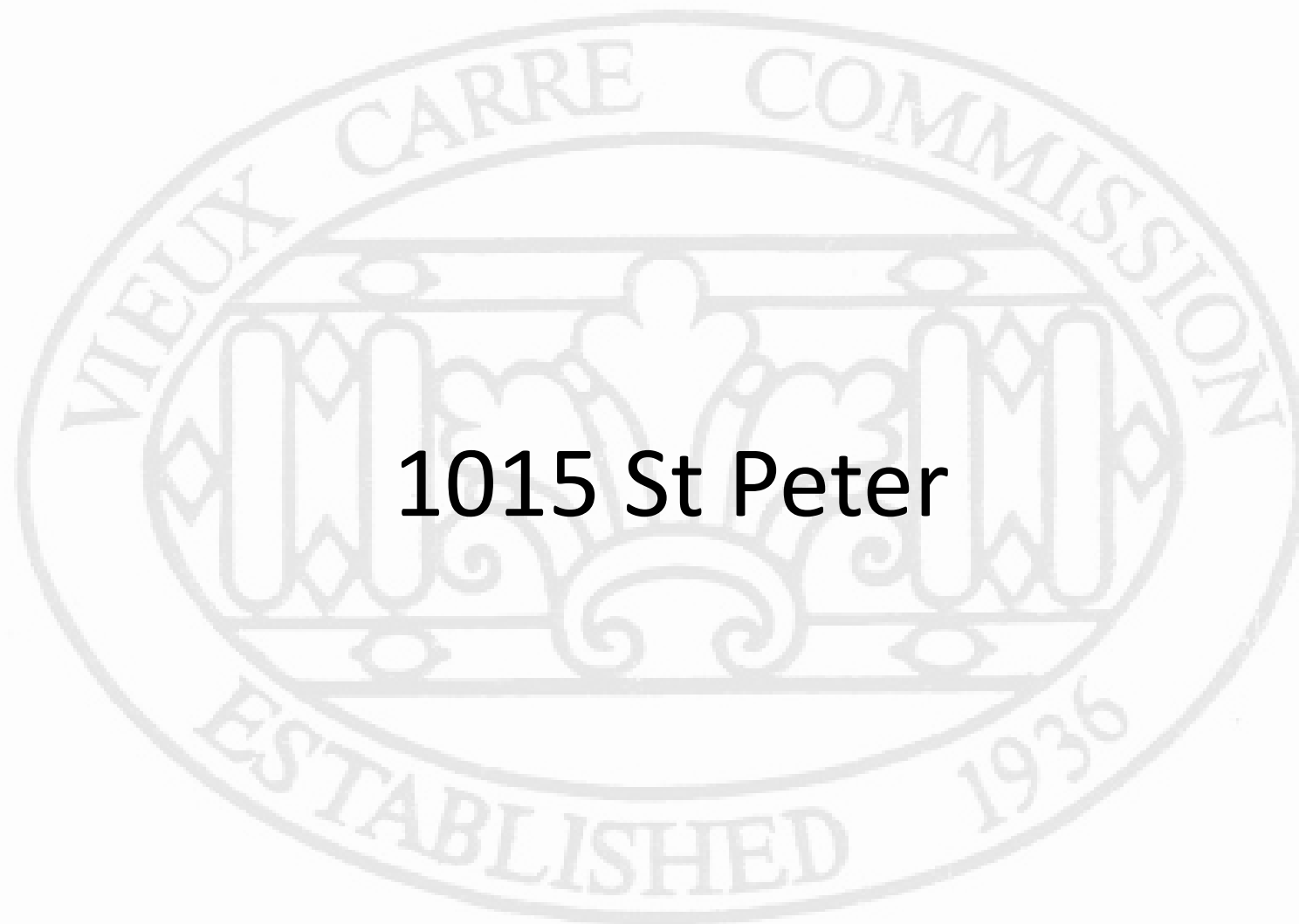


416 Chartres

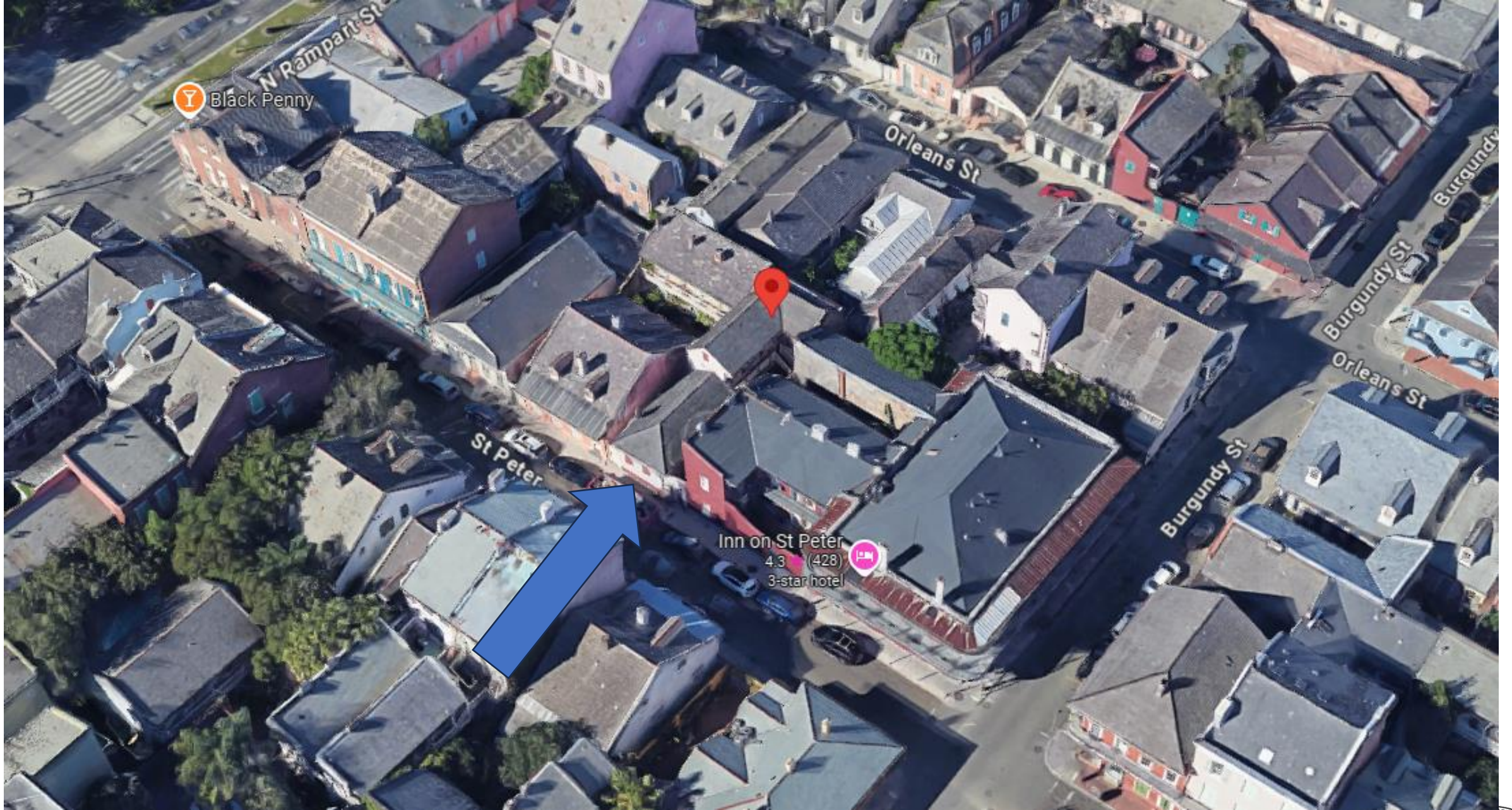
Vieux Carré Commission

October 8, 2024





1015 St Peter



1015 St Peter



1015 St Peter

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October 8, 2024





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October 8, 2024





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October 8, 2024





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06 05 2024

October 8, 2024





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06 05 2024

October 8, 2024





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Vieux Carré C

06 05 2024

2024





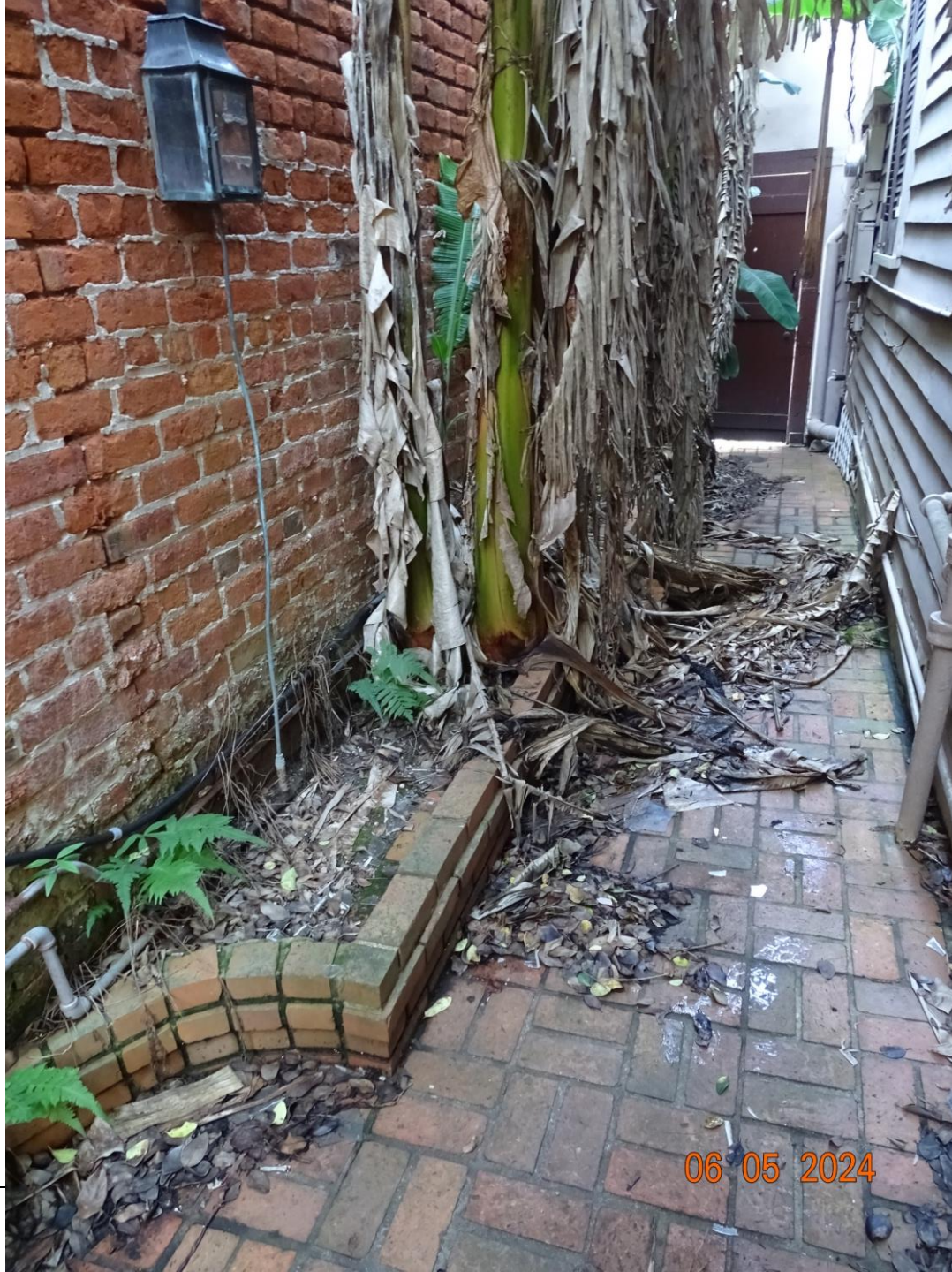
1015 St Peter

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06 05 2024

October 8, 2024





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October 8, 2024





1015 St Peter

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06 05 2024

October 8, 2024





1015 St Peter

Vieux Carré Commission

06 05 2024

October 8, 2024



1015 St Peter St. New Orleans, LA 70116

PROJECT DESCRIPTION: Interior renovation of an existing Two-Family Residence, demo existing planter in courtyard, and rebuild existing exterior stairs.

PROJECT DIRECTORY:

Owner: GX 5 Property LLC
3312 Abottswood Drive
Harvey, LA 70058

Email: georgexia@gmail.com
Phone: (404) 428-2018

PROJECT ADDRESS: 1015 St Peter St.
New Orleans, LA 70116

BOUNDED STREETS: Orleans Ave., N. Rampart St. & Burgundy St.
PROPERTY DESCRIPTION: Lot 12, Square 101,
Orleans Parish, Louisiana.

CONSTRUCTION TYPE: IRC 2021, Type V-B, Raised House on Piers.
ZONING: VCR-1 Vieux Carré Residential District




BUILDING AREAS:

UNIT 1:	FIRST FLOOR:	702 SF
UNIT 2:	FIRST FLOOR:	765 SF
	SECOND FLOOR:	811 SF
	TOTAL AREA:	1,576 SF

List of Drawings:

- G-100 Cover Sheet
- A-100 Existing 1st & 2nd Floor Plans
- A-101 New 1st & 2nd Floor Plans
- A-102 Existing Photos, Notes, & Scope of Exterior Work
- A-103 Existing Photos, Notes, & Scope of Exterior Work
- A-104 Existing Photos, Notes, & Scope of Exterior Work

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH IRC 2021. I HEREBY CERTIFY THAT THE PROJECT MANUAL AND THE PROJECT DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF LOUISIANA. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS COMPLY WITH ALL CODE REQUIREMENTS. I SHALL OBSERVE THE WORK. I TAKE FULL RESPONSIBILITY FOR THESE PLANS.

BY: 
ALFRED M. HAYES

LICENSE NO. 4032

METACAD ARCHITECTS
 1015 ST PETER ST
 NEW ORLEANS, LA 70116
 E-MAIL: ambayes@metacad.com
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1015 ST PETER ST.
 NEW ORLEANS, LA 70116

Hayes Architects
AP.A.C.



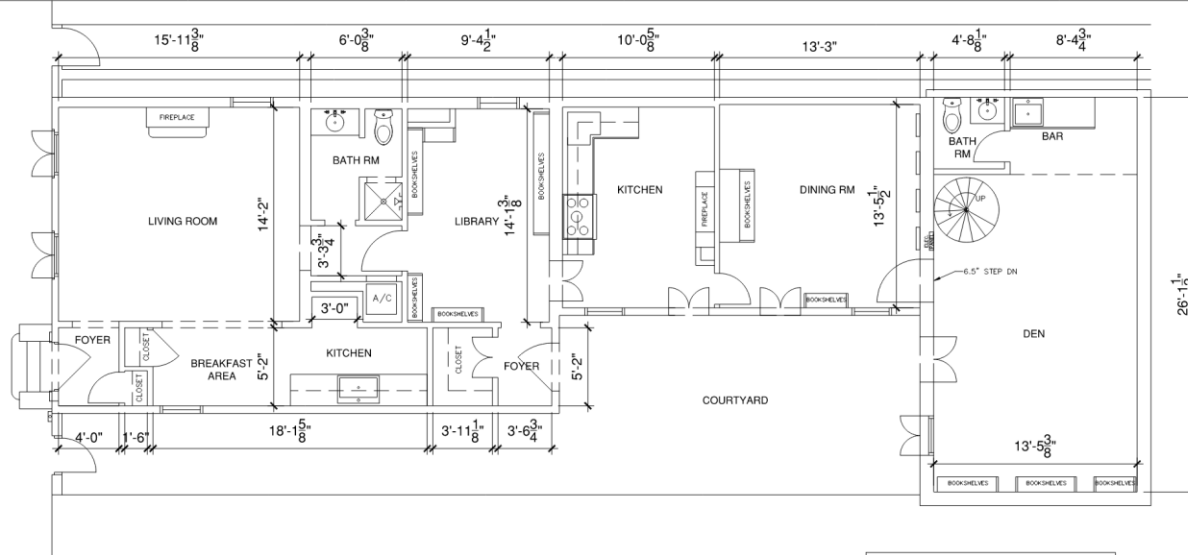
COVER SHEET

DESIGNED BY:	A.HAYES
DRAWN BY:	A.HAYES
CHECKED BY:	A.HAYES
PROJECT NO.:	1015SP
SCALE:	
DATE:	9/24/24
REVISED:	9/24/24

G-100
SHEET 1 OF 6

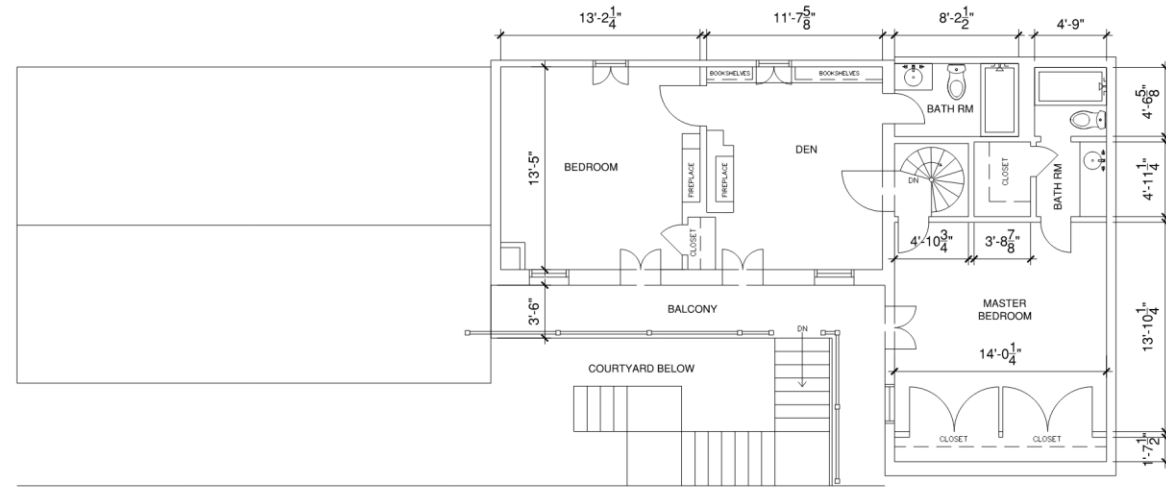


ST PETER ST.



1 EXISTING FIRST FLOOR PLAN
1/4"=1'-0"

UNIT 1:	FIRST FLOOR:	702 SF
UNIT 2:	FIRST FLOOR:	765 SF
	SECOND FLOOR:	811 SF
	TOTAL AREA:	1,576 SF



2 EXISTING SECOND FLOOR PLAN
1/4"=1'-0"

UNIT 1:	FIRST FLOOR:	702 SF
UNIT 2:	FIRST FLOOR:	765 SF
	SECOND FLOOR:	811 SF
	TOTAL AREA:	1,576 SF

1015 ST PETER ST.
NEW ORLEANS, LA 70116

Hayes Architects
A.P.A.C.



EXISTING 1ST & 2ND FLOOR PLANS

DESIGNED BY:	A.HAYES
DRAWN BY:	R.ROSE
CHECKED BY:	A.HAYES
PROJECT NO:	1015SP
REV:	

SCALE:	DATE:	REVISED BY/DATE:
	08/20	

A-100
SHEET 2 OF 6

1015 ST PETER ST. UNIT 1
NEW ORLEANS, LA 70116
E-MAIL: amhays@hayesarch.com
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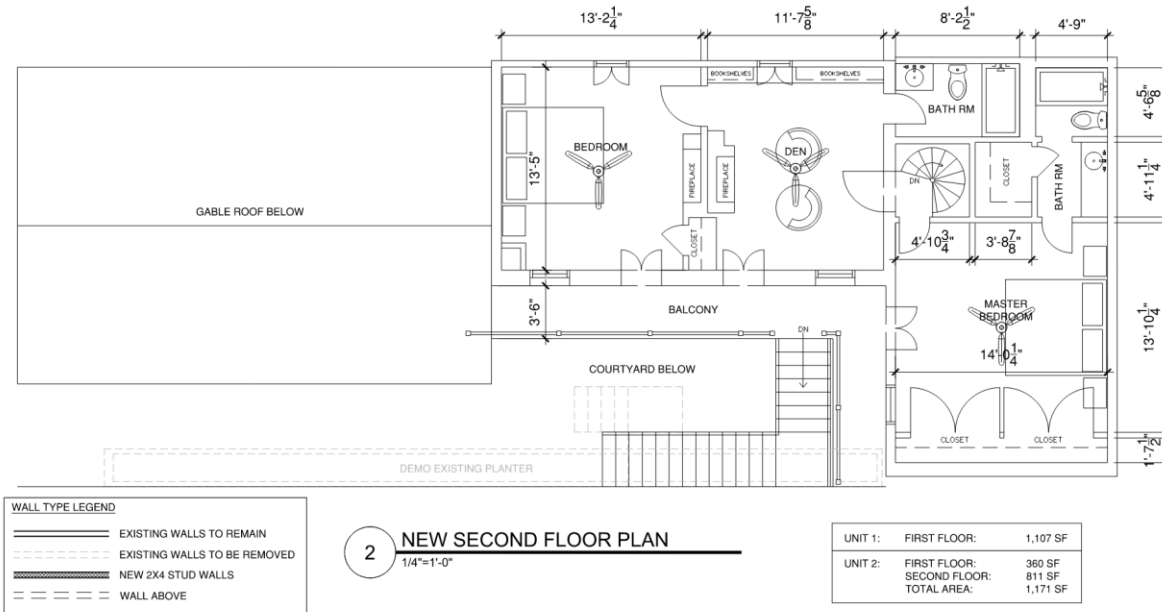
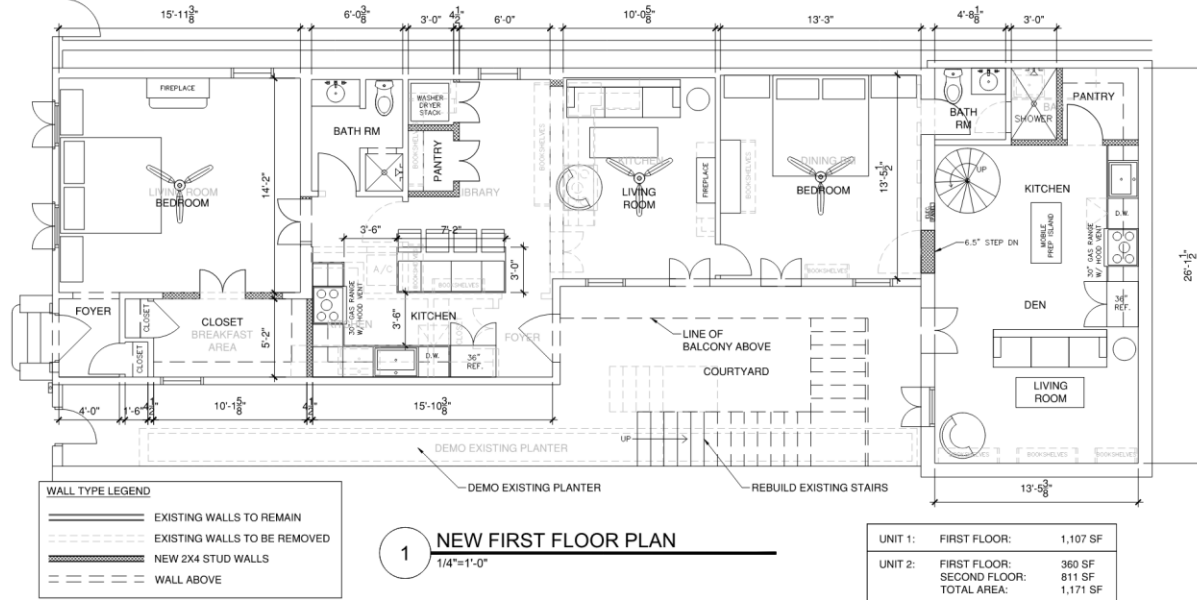
1015 St Peter

Vieux Carré Commission

October 8, 2024



ST PETER ST.



1015 St Peter

Vieux Carré Commission

1015 ST PETER ST.
NEW ORLEANS, LA 70116



Hayes Architects
A.P.A.C.



NEW 1ST & 2ND FLOOR PLANS

DESIGNED BY: A.HAYES
DRAWN BY: R.KEMP
CHECKED BY: A.HAYES
PROJECT NO.: 1015SP REV: 1

SCALE: DATE: 11/19/24 REVISED:

A-101
SHEET 3 OF 6

5212 HAMWOOD PARWAY
METAIRIE, LOUISIANA 70003
E-MAIL: amhayes33@gmail.com
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October 8, 2024





- REPAIR ANY LOOSE OR DAMAGED WOOD SIDING & REPAIR (TYP.)
- REPAIR ANY LOOSE OR DAMAGED WOOD TRIM & REPAIR (TYP.)
- REPAIR ANY LOOSE OR DAMAGED STUCCO & REPAIR (TYP.)
- REPAIR & REPAINT EXISTING WOOD SHUTTERS (TYP.)



- REPAIR ANY LOOSE OR DAMAGED STUCCO & REPAIR (TYP.)
- ADD LAMINATED OBSCURE GLASS PANE TO EXISTING FRONT DOOR & REPAIR (TYP.)
- CLEAN EXISTING STAIRS AND STUCCO BASE & REPAIR (TYP.)



- REPAIR ANY LOOSE OR DAMAGED WOOD SOFFIT & REPAIR (TYP.)



- REPAIR ANY LOOSE OR DAMAGED WOOD SIDING & REPAIR (TYP.)
- REMOVE EXISTING PLANTS (TYP.)
- REPAIR EXISTING EQUIPMENT RACK TO MATCH SIDING



1015 St Peter

Vieux Carré Commission

October 8, 2024

1015 ST. PETER PARVOSY
504.261.1812
E-MAIL: amb@hayesarchitects.com
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1015 ST. PETER ST.
NEW ORLEANS, LA 70116

Hayes Architects
A.P.A.C.



EXISTING PHOTOS

DESIGNED BY: AHAYES
DRAWN BY: R. KEMP
CHECKED BY: AHAYES
PROJECT NO.: 10155P

SCALE:
DATE: 9/20/24 REVISED:

A-102
PAGE 4 OF 6





REPAIR EXISTING DOORS & REPAINT (TYP.)

PROVIDE NEW CONDENSER UNIT AND RELOCATE TO EQUIPMENT RACK INCLUDING ALL DISCONNECT & CONDENSER PIPING

PRESSURE WASH EXISTING BRICK PAVERS (TYP.)



REPAIR ANY LOOSE OR DAMAGED WOOD SIDING & REPAINT (TYP.)

REPAIR ANY LOOSE OR DAMAGED WOOD SOFFIT & REPAINT (TYP.)

REPLACE EXISTING SPOTLIGHT WITH NEW CYLINDRICAL CAN FIXTURE (TYP.)

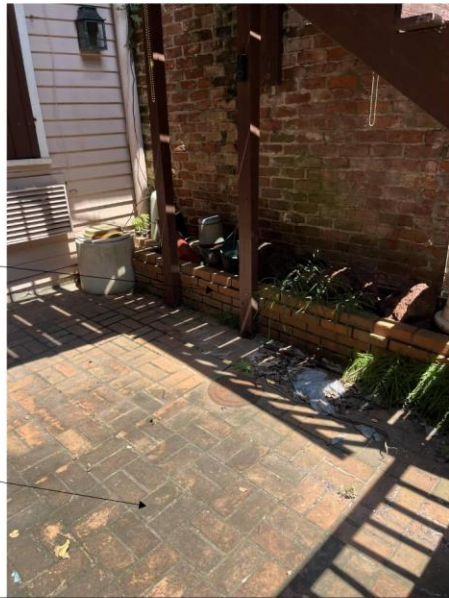


REPAIR & REPAINT EXISTING WOOD SHUTTERS (TYP.)

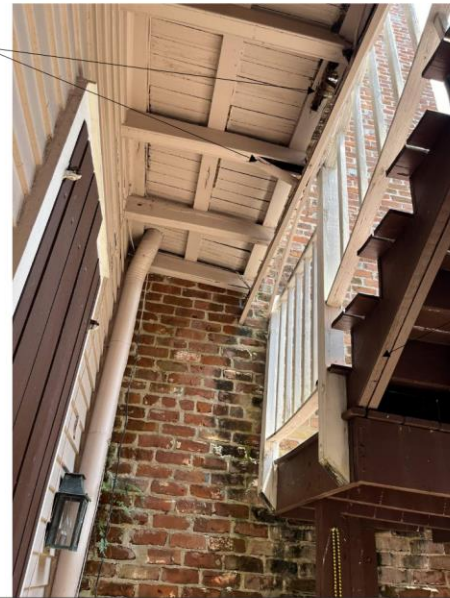


REMOVE EXISTING BRICK PLANTER (TYP.)

PRESSURE WASH EXISTING BRICK PAVERS (TYP.)



REMOVE ROTTEN WOOD BEAMS AND DECKING AND REPLACE WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15% (TYP.)



REMOVE EXISTING STAIR & REBUILD WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15% (TYP.)

1015 St Peter

Vieux Carré Commission

October 8, 2024

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 New Orleans, LA 70112
 E-MAIL: amhays@fhwc.com copyright 2024

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 NEW ORLEANS, LA 70116

Hayes Architects
 A.P.A.C.



EXISTING PHOTOS

DESIGNED BY: AHAYES
 DRAWN BY: KLEMP
 CHECKED BY: AHAYES

PROJECT NO: 1015SP REV: _____

SCALE: DATE: 8/15/24 REVISED: _____

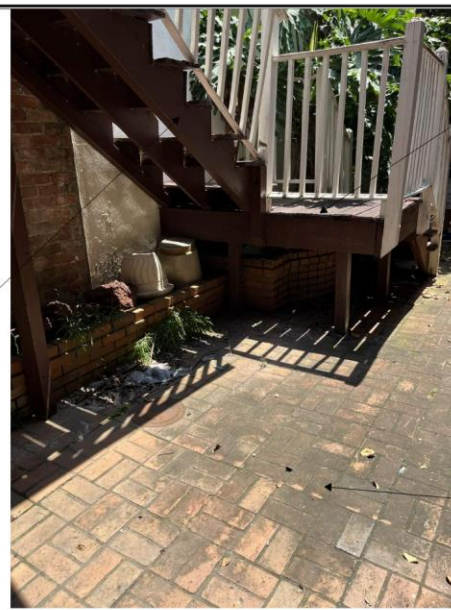
A-103
 SHEET 5 OF 6





REMOVE EXISTING HANDRAILS & REBUILD WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15% (TYP.)

REMOVE EXISTING STAIR & REBUILD WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15% (TYP.)



REMOVE EXISTING STAIR & LANDING & REBUILD IN A STRAIGHT LINE AFTER REMOVING EXISTING PLANTER

REMOVE ROTTEN WOOD BEAMS AND DECKING AND REPLACE WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15%

PRESSURE WASH EXISTING BRICK PAVERS (TYP.)



REMOVE ROTTEN WOOD BEAMS AND DECKING AND REPLACE WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15% (TYP.)



REMOVE EXISTING HANDRAILS & REBUILD WITH TREATED LUMBER, KILN DRIED AFTER TREATMENT TO 15% (TYP.)



1015 St Peter

Vieux Carré Commission

October 8, 2024

3212 LAMWOOD PARKWAY
METAIRIE, LA 70002-5192
E-MAIL: ambhaye@apac.com
813-937-6059

1015 ST PETER ST.
NEW ORLEANS, LA 70116
Hayes Architects
A.P.A.C.



EXISTING PHOTOS

DESIGNED BY: JAWAY
DRAWN BY: SKAMP
CHECKED BY: JAWAY
PROJECT NO. 1015SP REV.

SCALE: 8/324 REVISIONS

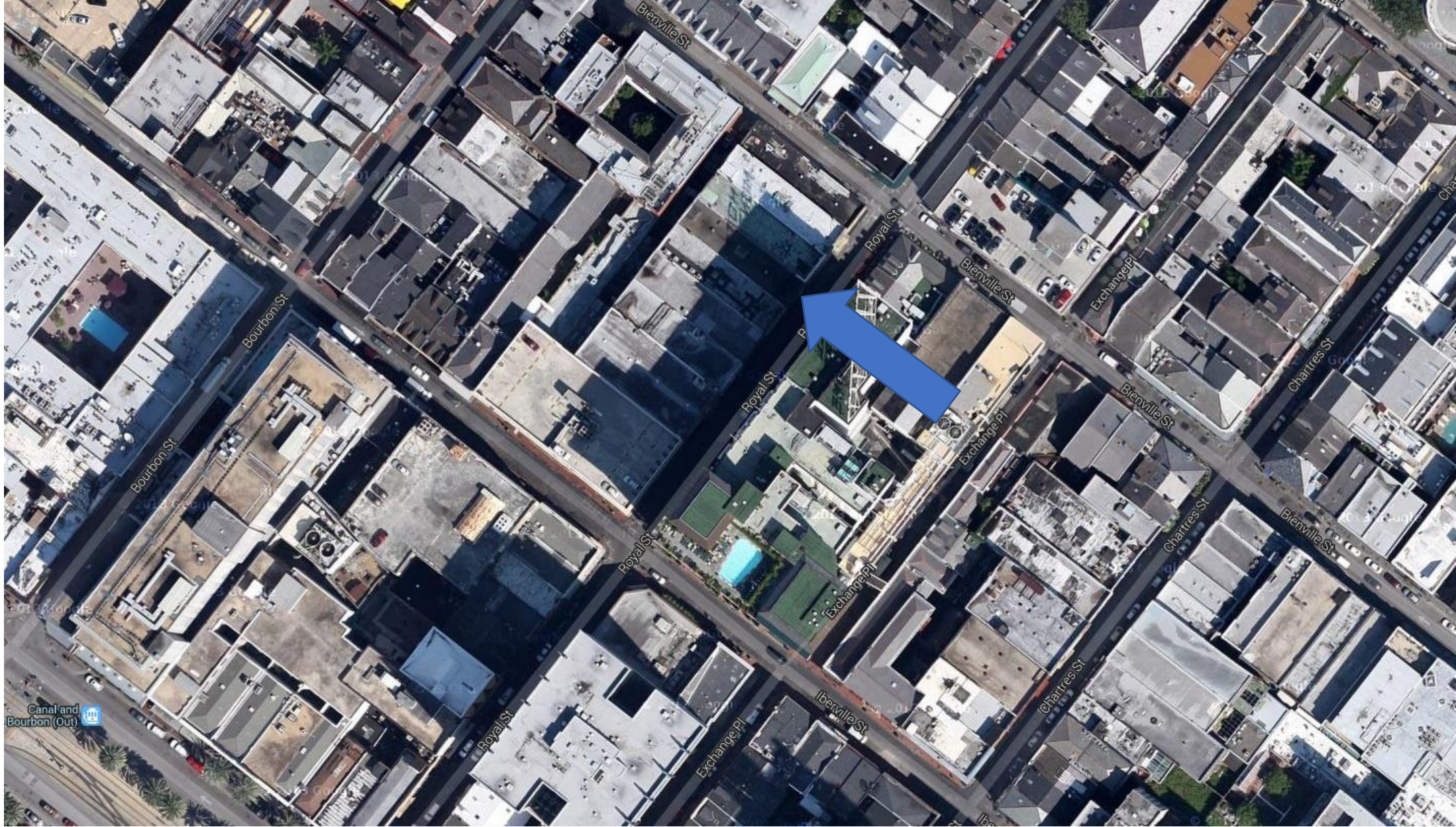
A-104

SHEET 6 OF 6





229 Royal

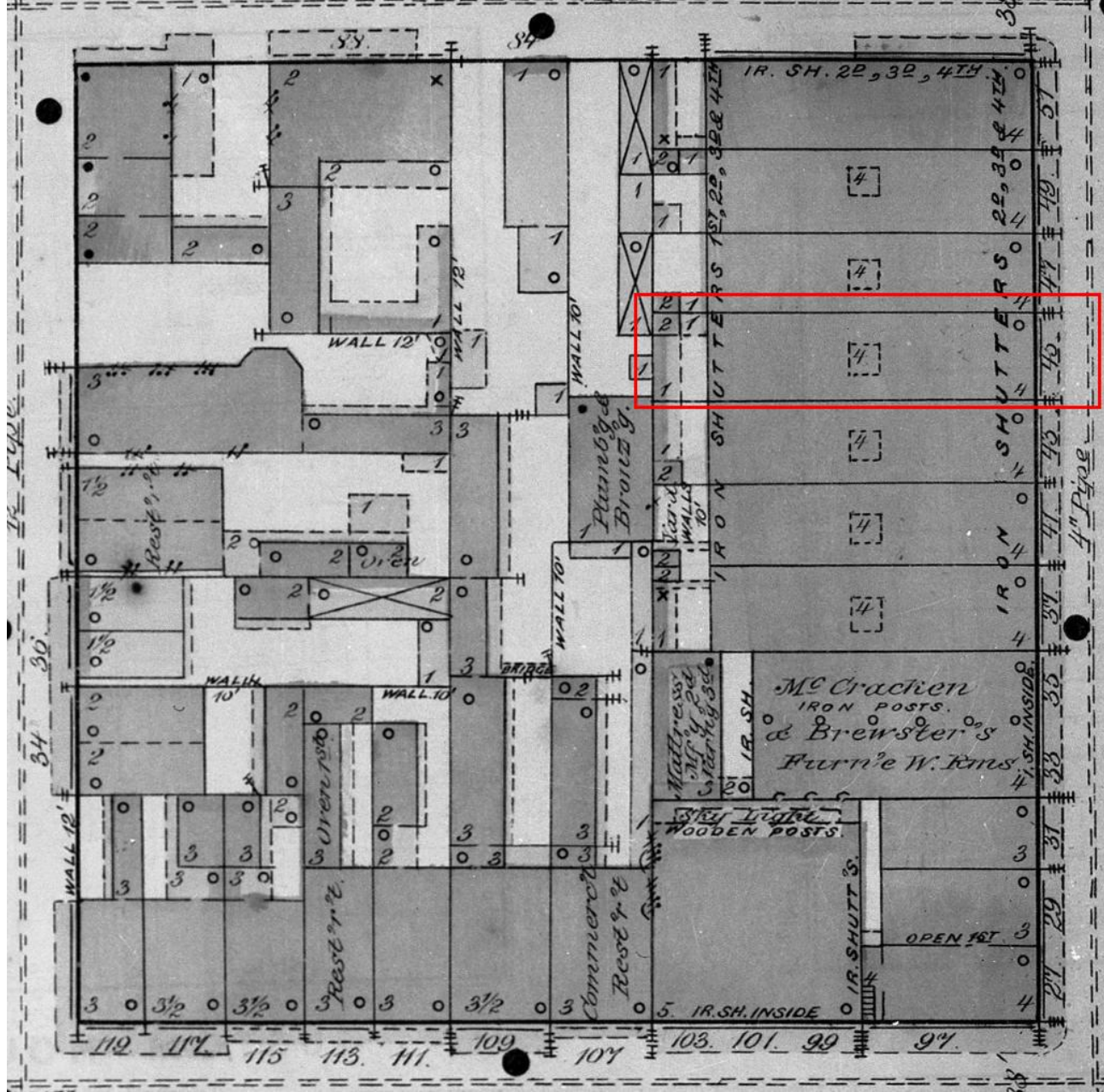


229 Royal

Vieux Carré Commission

October 8, 2024





229 Royal- 1876

Vieux Carré Commission

October 8, 2024





229 Royal 1963

Vieux Carré Commission

October 8, 2024





229 Royal, 1975

Vieux Carré Commission

October 8, 2024





229 Royal

Vieux Carré Commission

October 8, 2024





229 Royal

Vieux Carré Commission

October 8, 2024



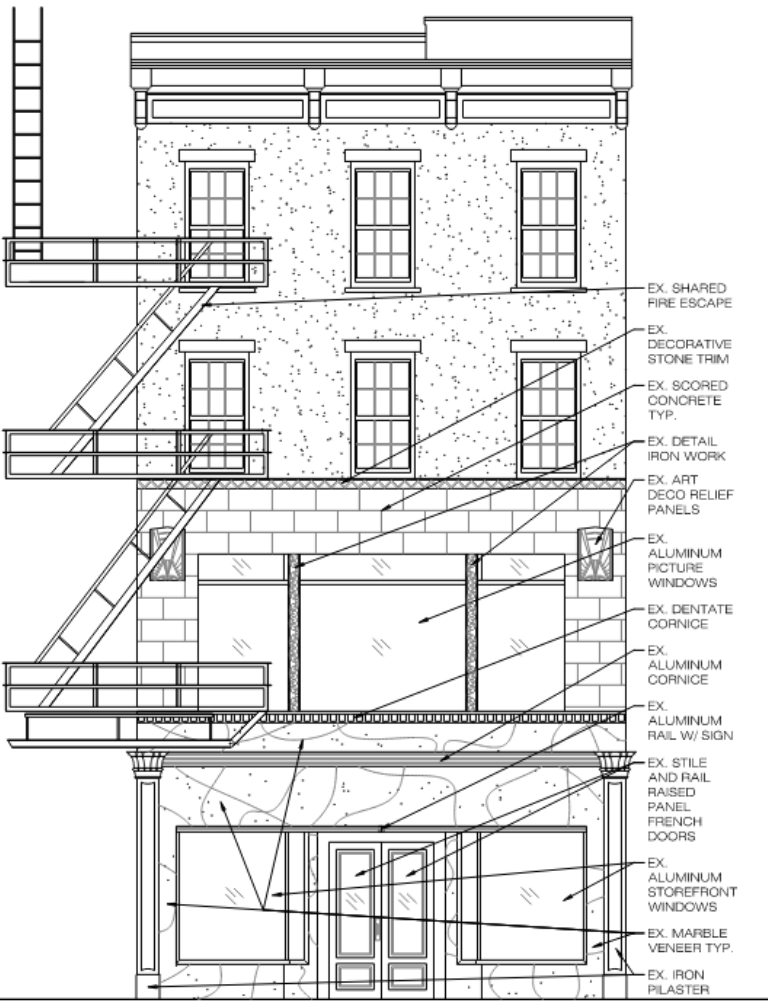


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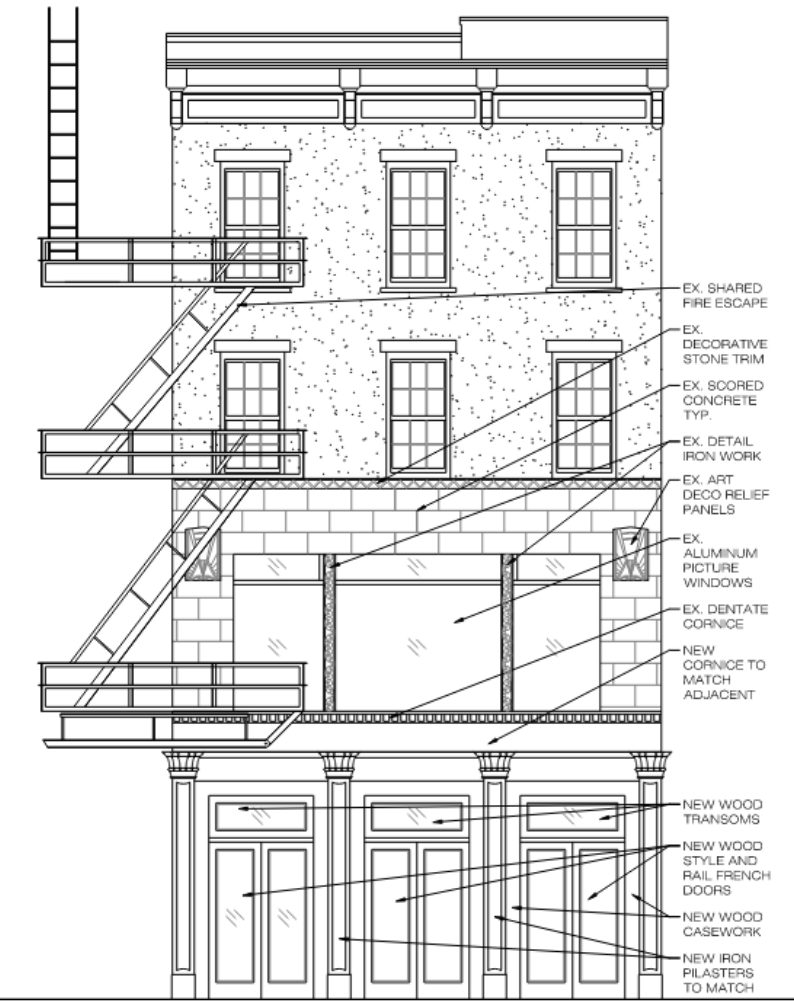
Vieux Carré Commission

October 8, 2024





- EX. SHARED FIRE ESCAPE
- EX. DECORATIVE STONE TRIM
- EX. SCORED CONCRETE TYP.
- EX. DETAIL IRON WORK
- EX. ART DECO RELIEF PANELS
- EX. ALUMINUM PICTURE WINDOWS
- EX. DENTATE CORNICE
- EX. ALUMINUM CORNICE
- EX. ALUMINUM RAIL W/ SIGN
- EX. STILE AND RAIL RAISED PANEL FRENCH DOORS
- EX. ALUMINUM STOREFRONT WINDOWS
- EX. MARBLE VENEER TYP.
- EX. IRON PILASTER



- EX. SHARED FIRE ESCAPE
- EX. DECORATIVE STONE TRIM
- EX. SCORED CONCRETE TYP.
- EX. DETAIL IRON WORK
- EX. ART DECO RELIEF PANELS
- EX. ALUMINUM PICTURE WINDOWS
- EX. DENTATE CORNICE
- NEW CORNICE TO MATCH ADJACENT
- NEW WOOD TRANSOMS
- NEW WOOD STYLE AND RAIL FRENCH DOORS
- NEW WOOD CASEWORK
- NEW IRON PILASTERS TO MATCH

1 Existing Elevation
SK-1 1/8" = 1'-0"

2 Proposed Elevation-Revised
SK-1 1/8" = 1'-0"

229 Royal

Vieux Carré Commission

terrell-fabacher architects, llc
1050 south Jefferson Davis Parkway, Suite 24
Baton Rouge, Louisiana 70802
504-987-1323

tfa

I, the undersigned, hereby certify that the drawings herein have been prepared by me or under my close supervision and that I am a duly licensed professional architect in the State of Louisiana. I am not providing any services to the project, (all/any etc.) in violation of the provisions of the Louisiana Professional Engineers and Architects Act.

STOREFRONT ALTERATION
OF
229 ROYAL STREET
New Orleans, Louisiana

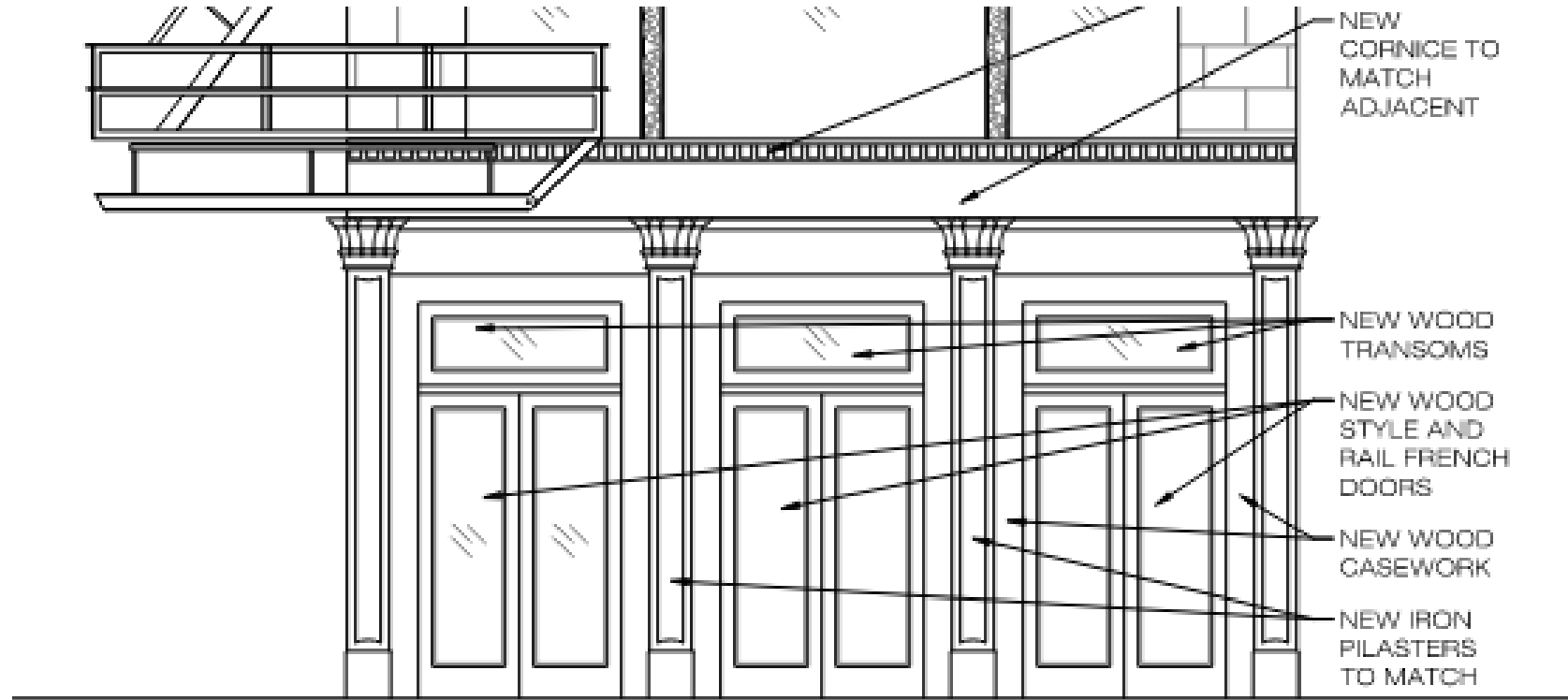
NO.	REVISIONS

CHECKED BY: _____
 DRAWN BY: _____
 DATE: 9-15-2024
 JOB NO: _____

SK-1
SHEET 1 OF 1



October 8, 2024



2 Proposed Elevation-Revised
SK-1 1/8" = 1'-0"



229 Royal – Neighboring Buildings





229 Royal – Neighboring Buildings





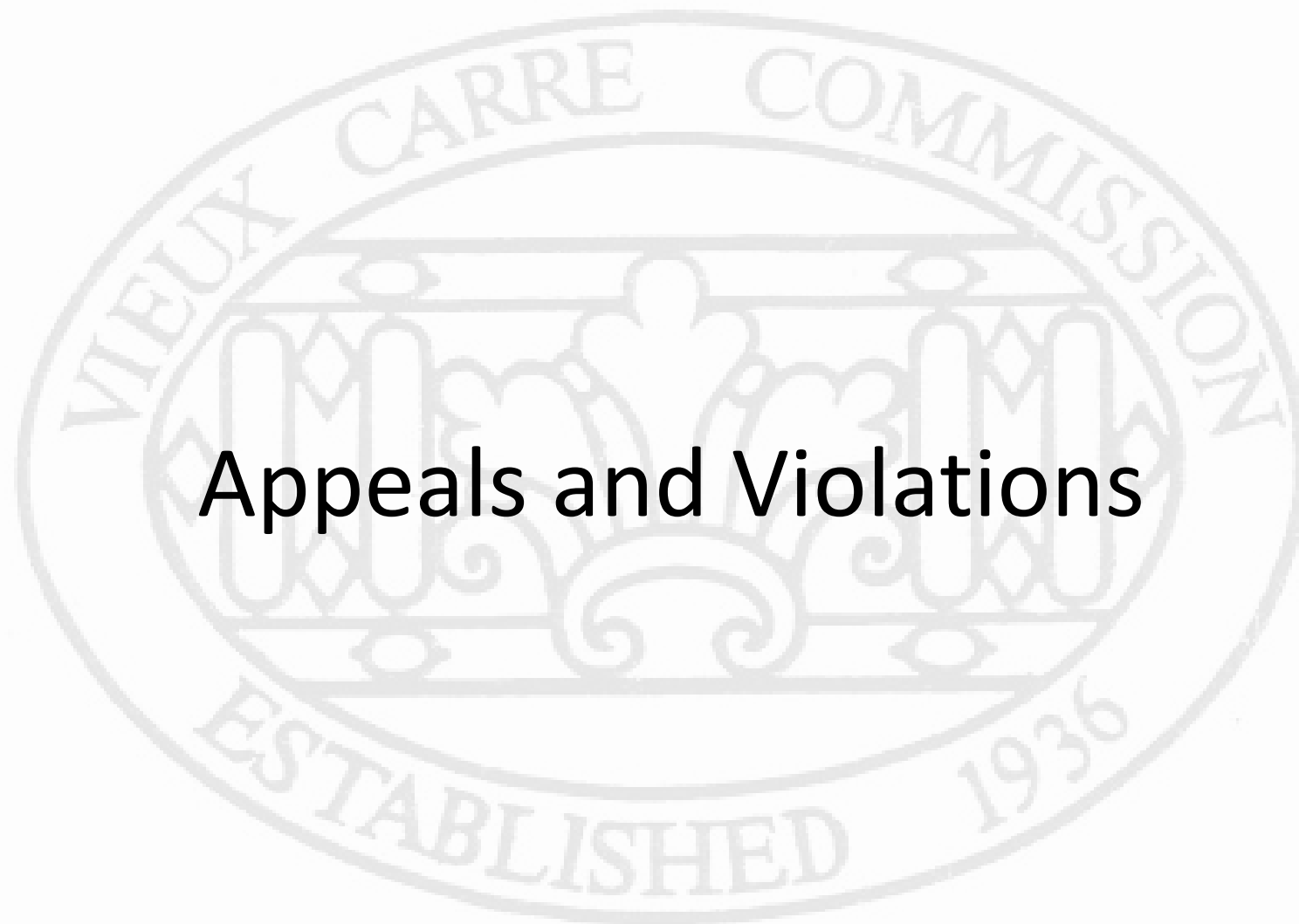
229 Royal – Neighboring Buildings



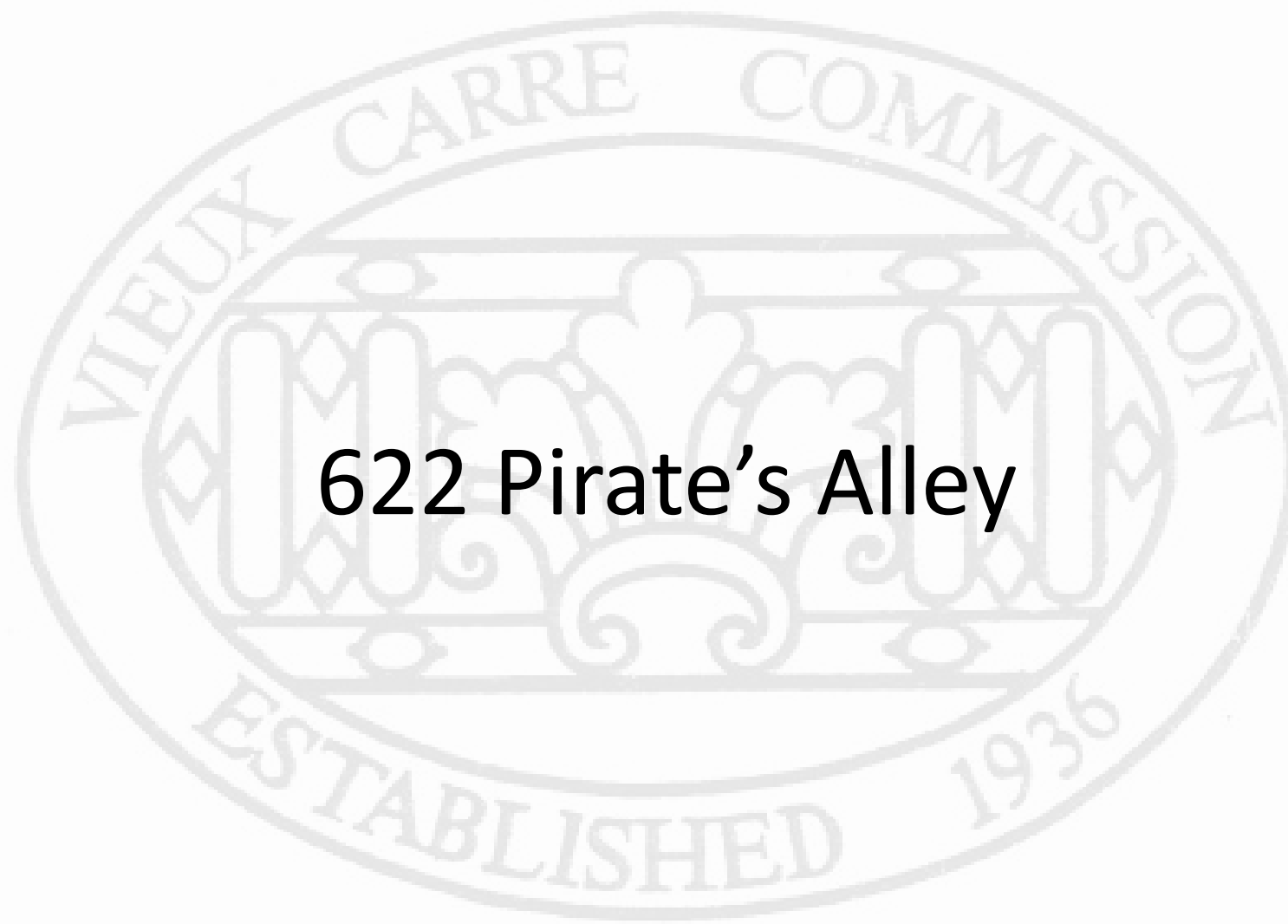


229 Royal – Neighboring Buildings





Appeals and Violations



622 Pirate's Alley

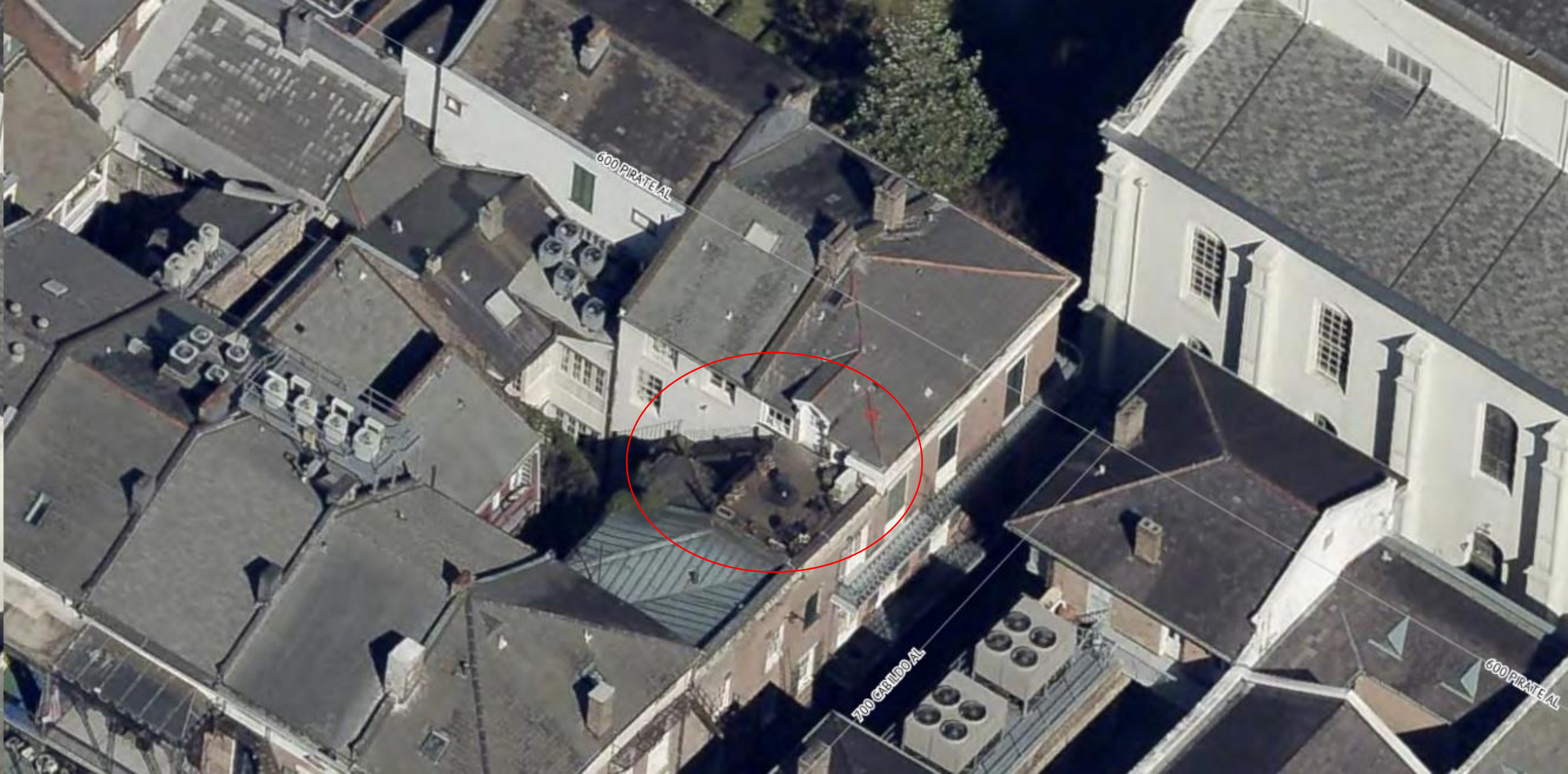


622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

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October 8, 2024





622 Pirates Alley – 2012





622 Pirates Alley – 2024

Vieux Carré Commission

October 8, 2024





622 Pirates Alley – 2024

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

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October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024





622 Pirates Alley

Vieux Carré Commission

October 8, 2024



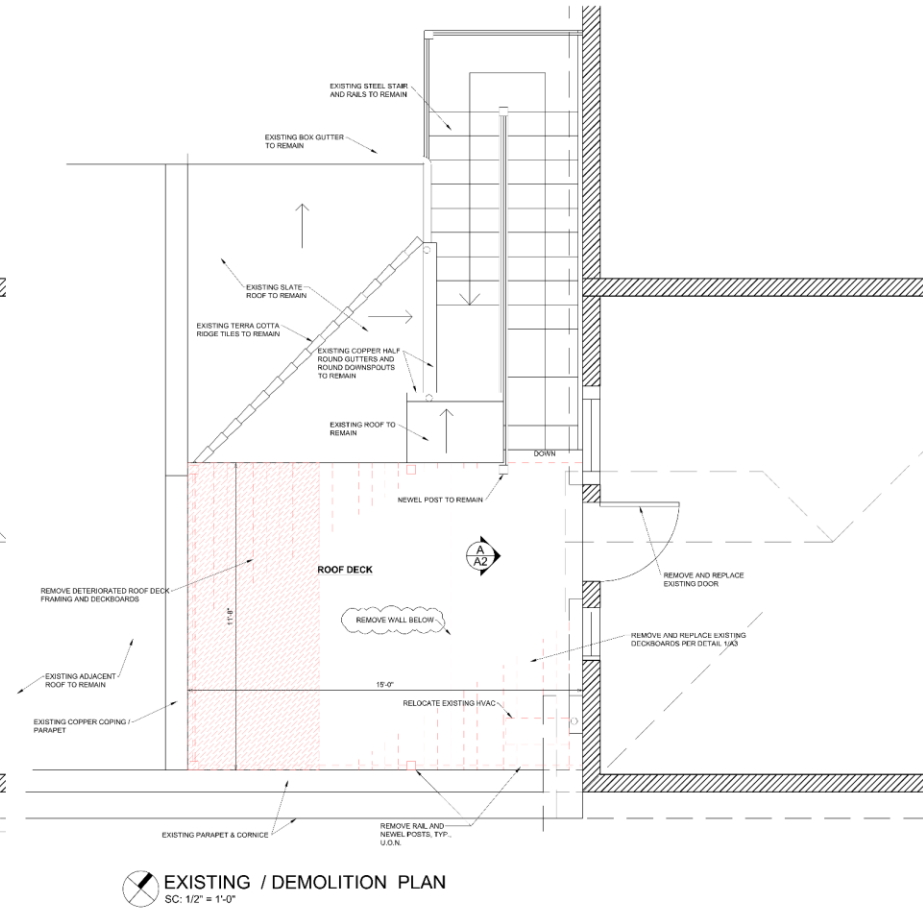
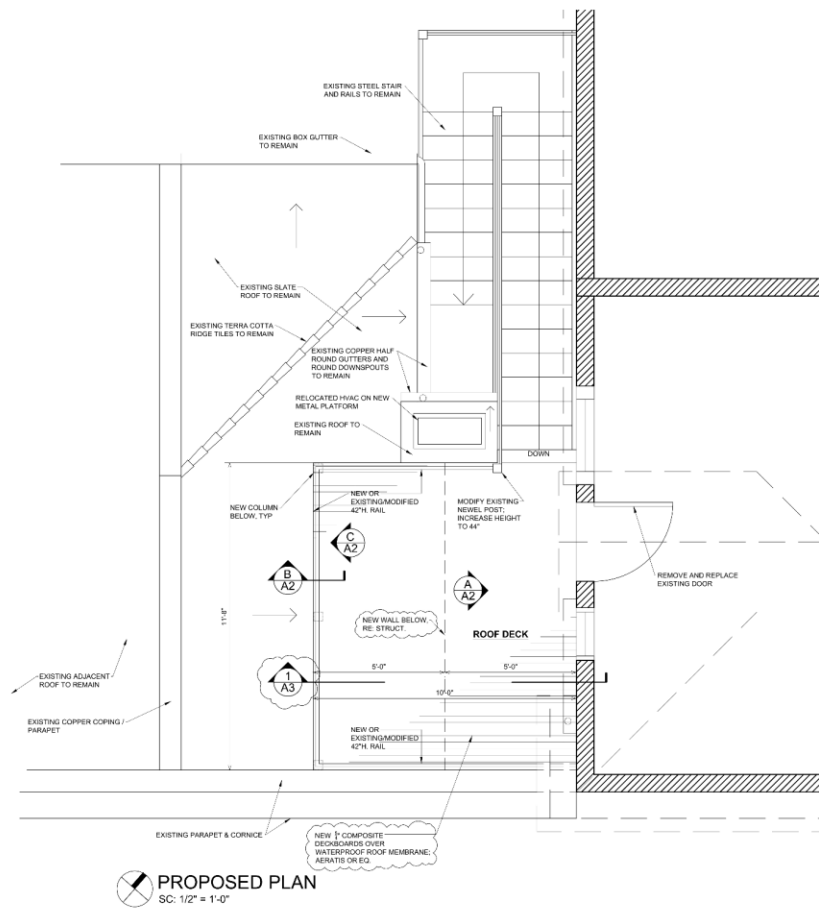


622 Pirates Alley

Vieux Carré Commission

October 8, 2024





NOTE: MISSING DIMENSIONS INDICATED ARE UNLESS OTHERWISE SPECIFIED ON DRAWING & REVISIONS

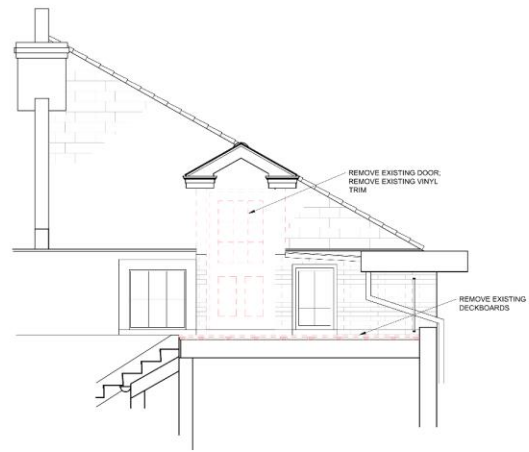
<p>ROOF DECK MODIFICATIONS 622 PIRATE'S ALLEY New Orleans, Louisiana 70116</p>	<p>LKHarmon Architects A Professional Architectural Corporation 8250 Argonne Boulevard New Orleans, Louisiana 70134 504.885.0278 harmon@lkharmon.com lkharmon.com</p>	<p>DATE: 10/08/2024 PROJECT: 622 PIRATE'S ALLEY DRAWING NO.: A1 SCALE: AS SHOWN LKH#5623</p>
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622 Pirates Alley

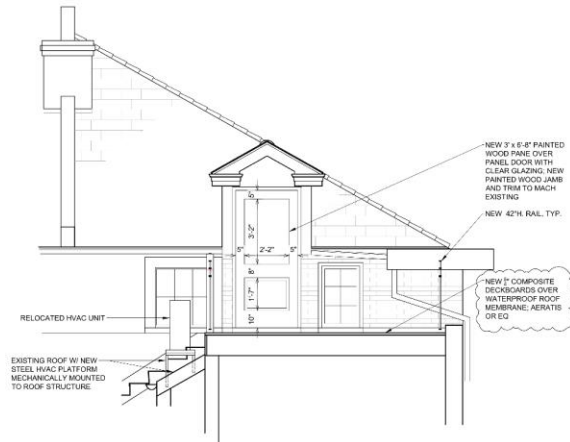
Vieux Carré Commission

October 8, 2024

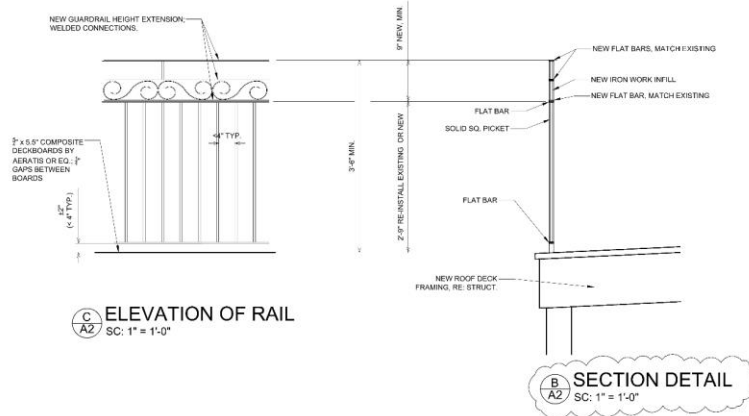




A
A2 EXISTING ELEVATION
SC: 3/8" = 1'-0"



A
A2 PROPOSED ELEVATION
SC: 3/8" = 1'-0"



C
A2 ELEVATION OF RAIL
SC: 1" = 1'-0"

B
A2 SECTION DETAIL
SC: 1" = 1'-0"



PHOTO of EXISTING RAIL



PHOTO of EXISTING DORMER

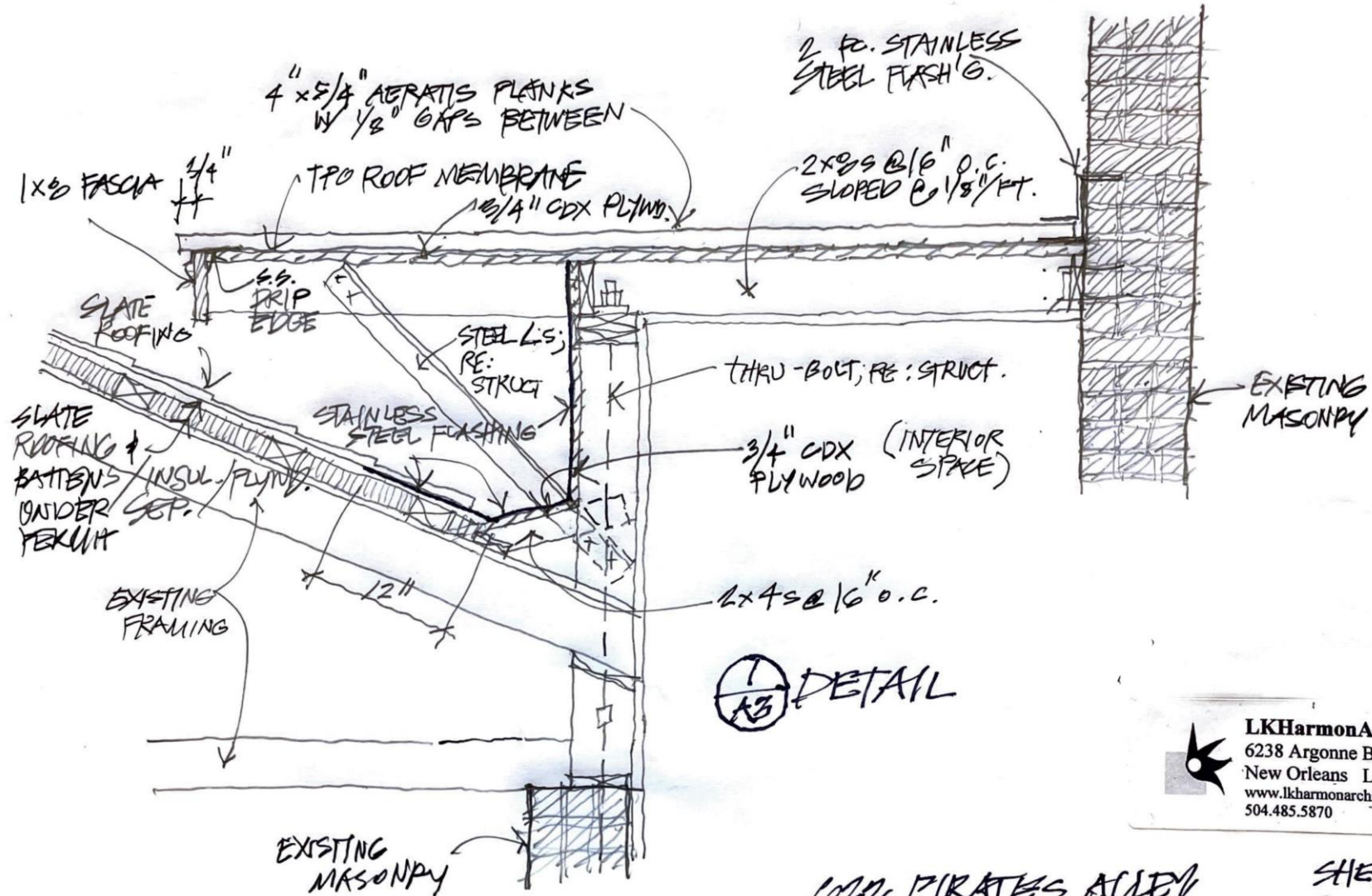
622 Pirates Alley

Vieux Carré Commission

<p>ROOF DECK MODIFICATIONS 622 PIRATE'S ALLEY New Orleans, Louisiana 70116</p>	<p>LKHarmon Architects A Professional Architectural Corporation 6039 Armand Boulevard New Orleans, Louisiana 70134 504.685.0819 harmon@lkharmonteam.com</p>	<p>DATE: 02/22/24 DRAWING NO: 24-001-001 SCALE: 1/8" = 1'-0"</p> <p>A2 LKH#5623</p>
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October 8, 2024



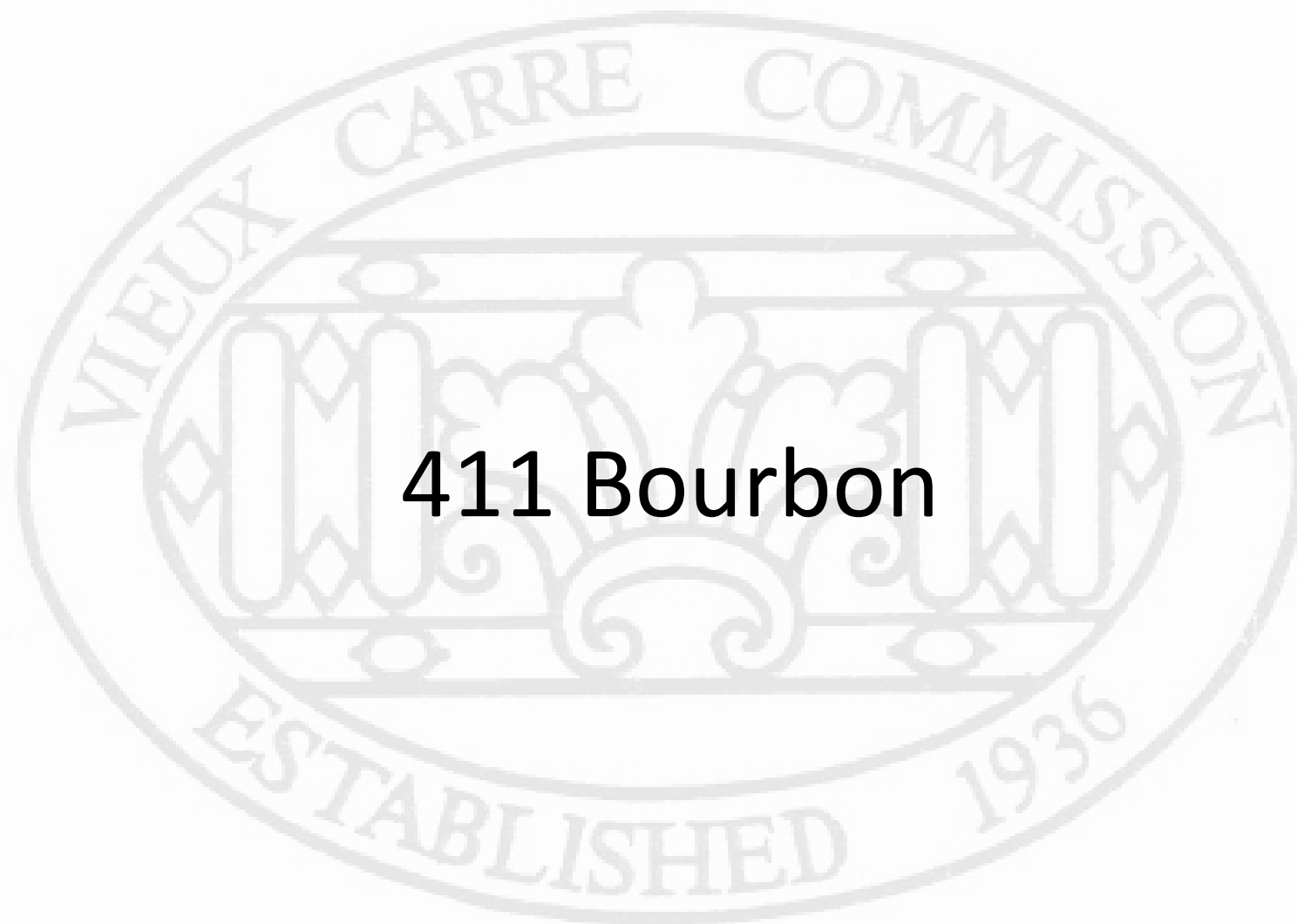


LKHarmonArchitects
 6238 Argonne Boulevard
 New Orleans LA 70124
 www.lkharmonarchitects.com
 504.485.5870

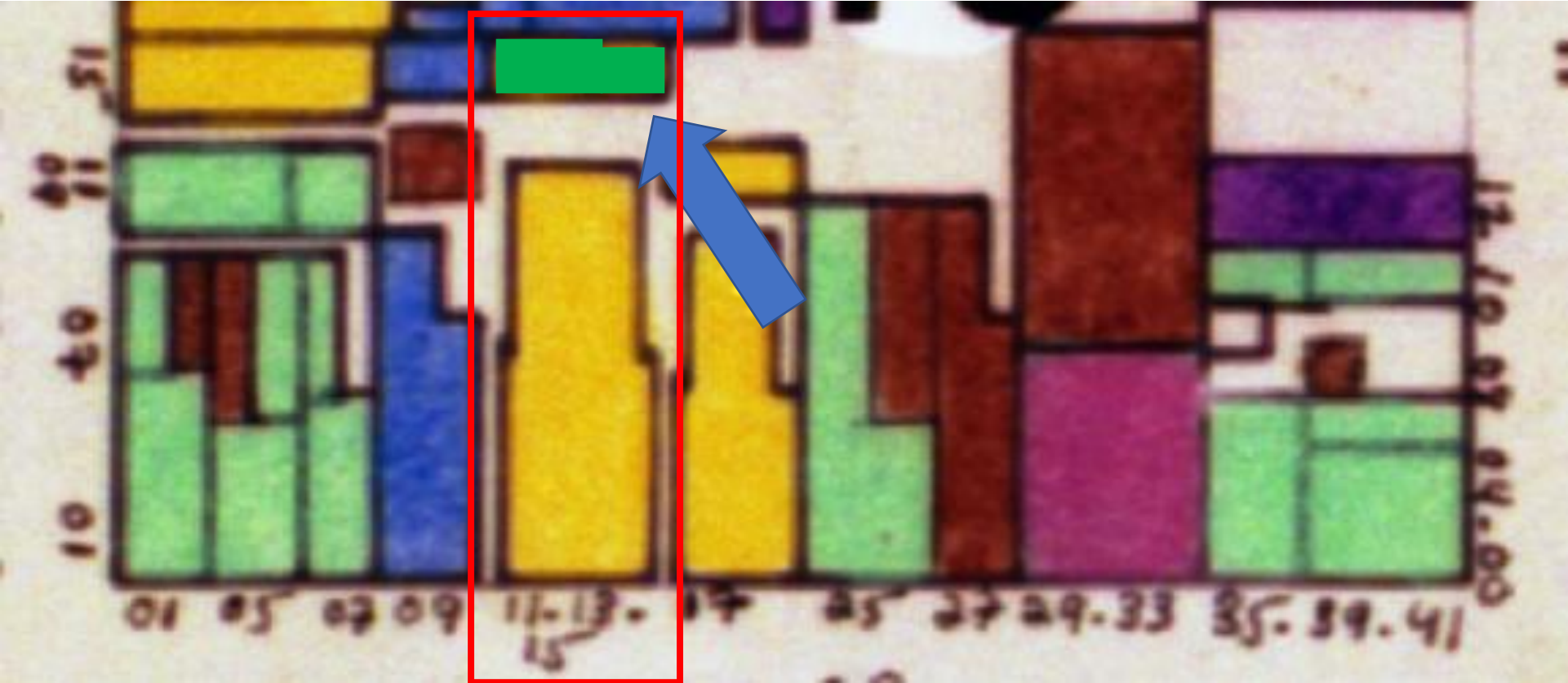
622 PIRATES ALLEY
 ROOF DECK - NOLA

SHEET #3
 9.24.24
 LKH #5023





411 Bourbon



411 Bourbon

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October 8, 2024





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October 8, 2024





411 Bourbon

Vieux Carré Commission

October 8, 2024





411 Bourbon

Vieux Carré Commission

03 22 2021

October 8, 2024





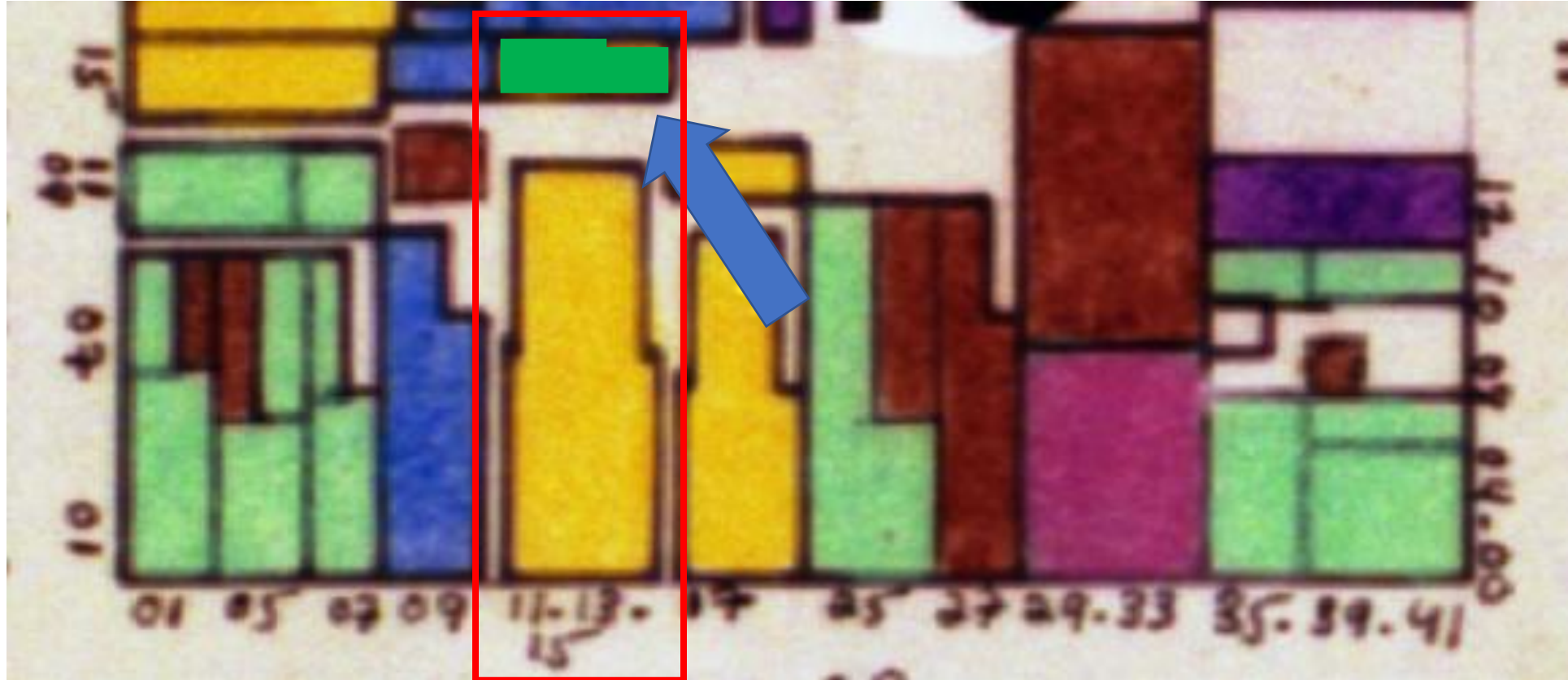
411 Bourbon

Vieux Carré Commission

03 22 2021

October 8, 2024





411 Bourbon

Vieux Carré Commission

October 8, 2024





411 Bourbon

Vieux Carré Commission

October 8, 2024





411 Bourbon

Vieux Carré Commission

October 8, 2024





411 Bourbon

Vieux Carré Commission

03 22 2021

October 8, 2024





411 Bourbon

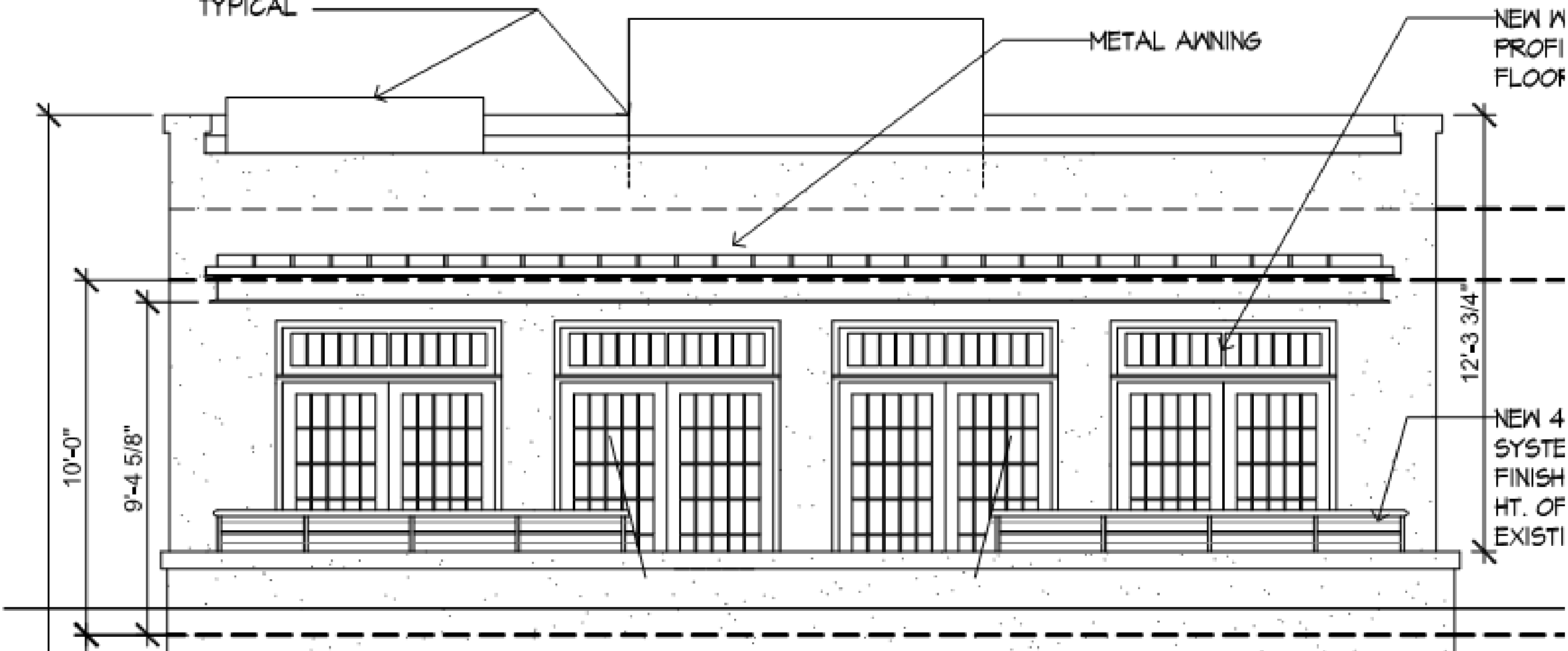
Vieux Carré Commission

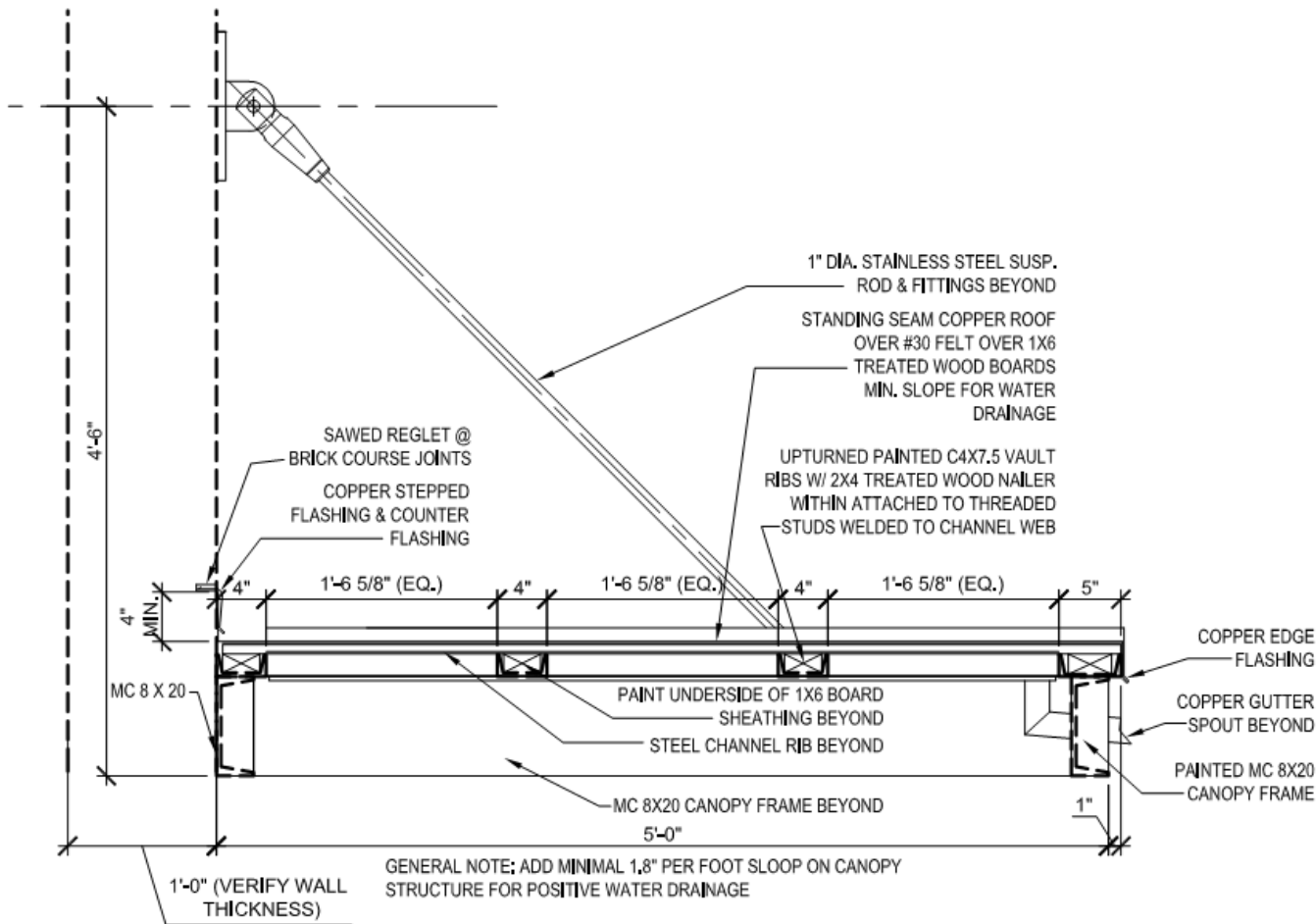
03 22 2021

October 8, 2024



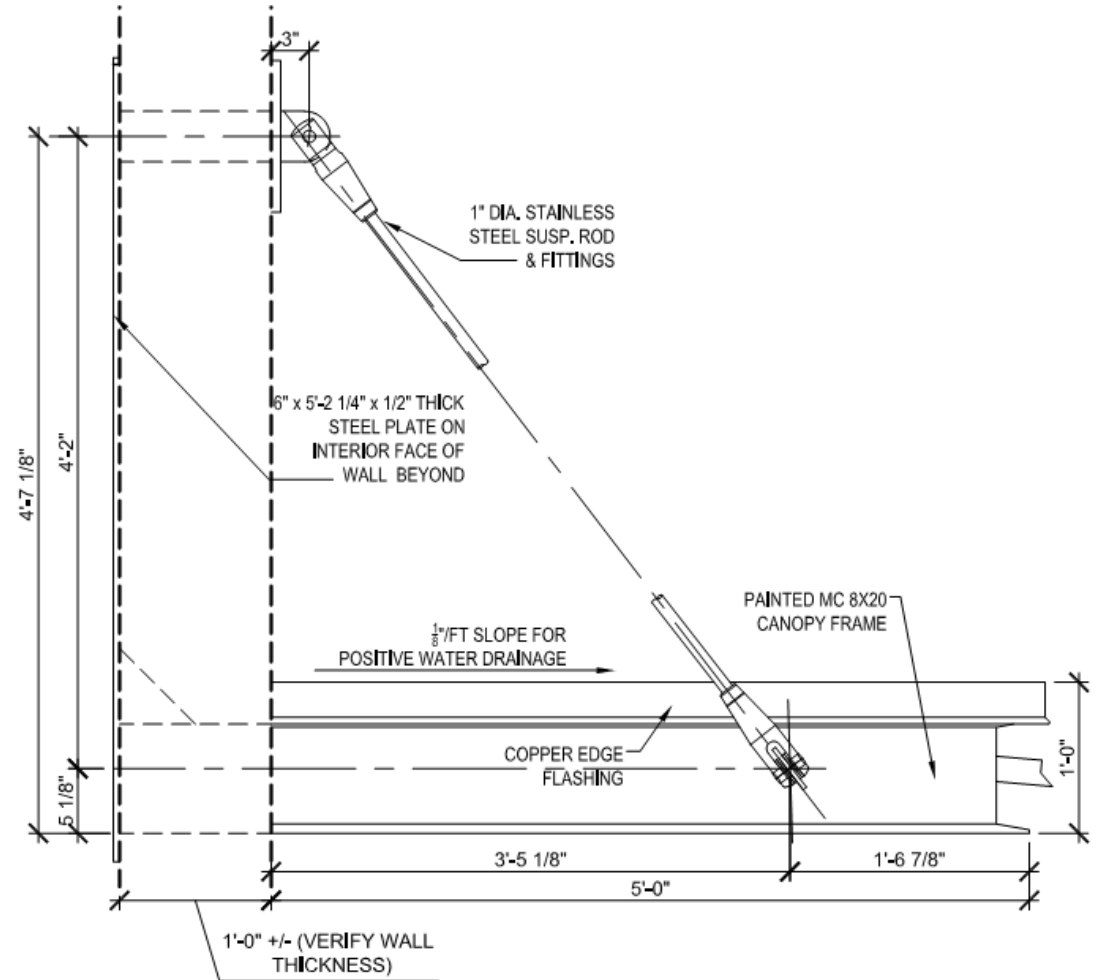
INSULATION UNDER AREA WHERE
MECHANICAL EQUIP. IS TO BE INSTALLED.
TYPICAL





02 PAINTED METAL CANOPY
A3.1

Scale 1"=1'-0"



03 PAINTED METAL CANOPY
A3.1

Scale 1"=1'-0"

411 Bourbon – Roof Deck Awning – Approved Plans





411 Bourbon – Roof Deck Awning – As Built

Vieux Carré Commission

October 8, 2024





411 Bourbon – Roof Deck Awning – As Built





411 Bourbon – Roof Deck Awning – As Built

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October 8, 2024





12 04 2020

411 Bourbon – Roof Deck Awning – As Built

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October 8, 2024





411 Bourbon – Roof Deck Awning – As Built



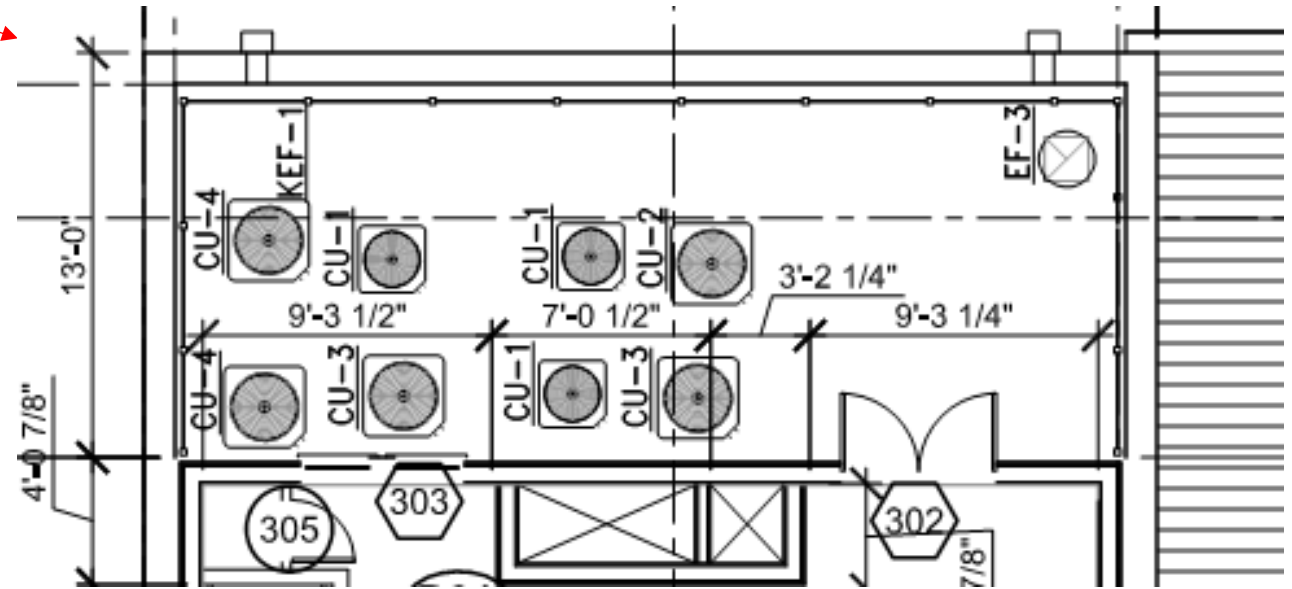
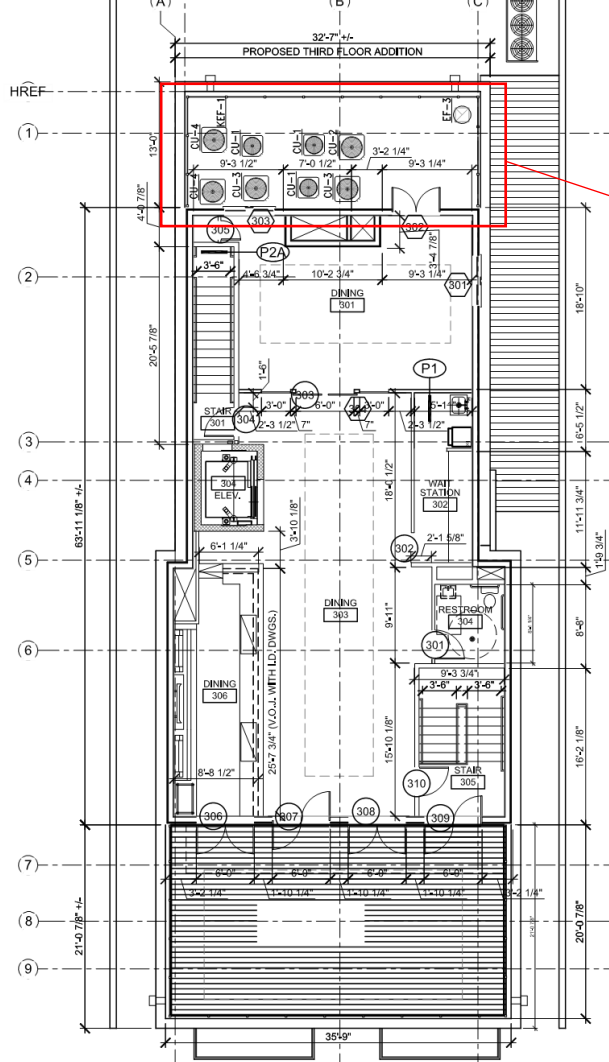
Removed

411 Bourbon - Security Cameras

Vieux Carré Commission

October 8, 2024





GENERAL NOTE:

1. DIMENSIONS RELATED TO DESIGN FEATURES INCLUDED WITH INTERIOR DESIGN DRAWINGS ARE FOR REFERENCE ONLY. CROSS REFERENCE ALL DIMENSIONS WITH INTERIOR DESIGN DRAWINGS, I.E. BAR, RESTROOMS, WINDOW WALLS, WALLS AT BOOTH SEATING, WAIT STATIONS, AND ANY OTHER FEATURE DESIGNED BY THE INTERIOR DESIGNER. IF DIMENSIONS VARY FROM I.D. DRAWINGS, I.D. DRAWINGS TAKE PRECEDENCE.
2. VERIFY ALL DIMENSIONS ON SITE
3. DIMENSIONS ARE TAKEN TO FINISH MATERIAL, TYPICAL.

01 THIRD FLOOR PLAN
A1.5

Scale: 1/8"=1'-0"

411 Bourbon – Mechanical Equipment – Main Building – Approved Plans – Third Floor Roof

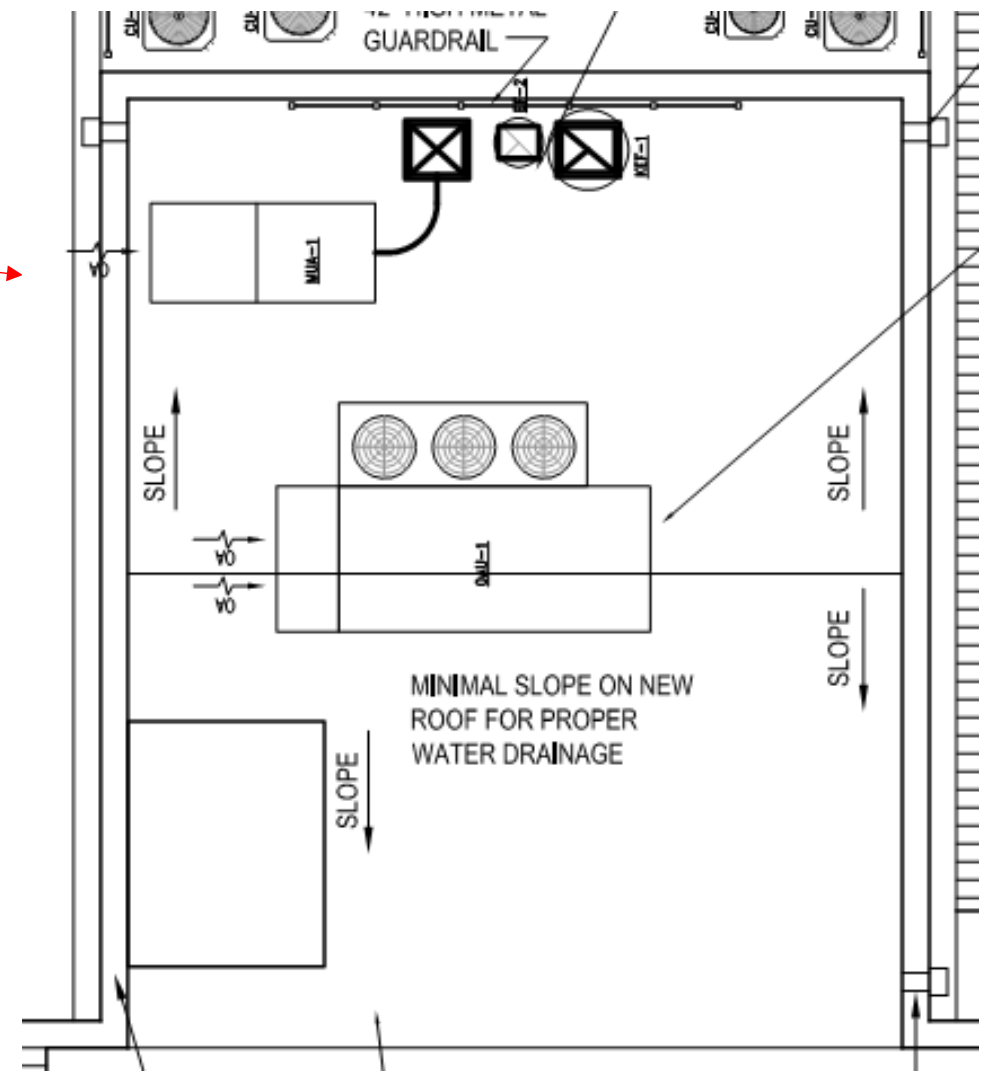
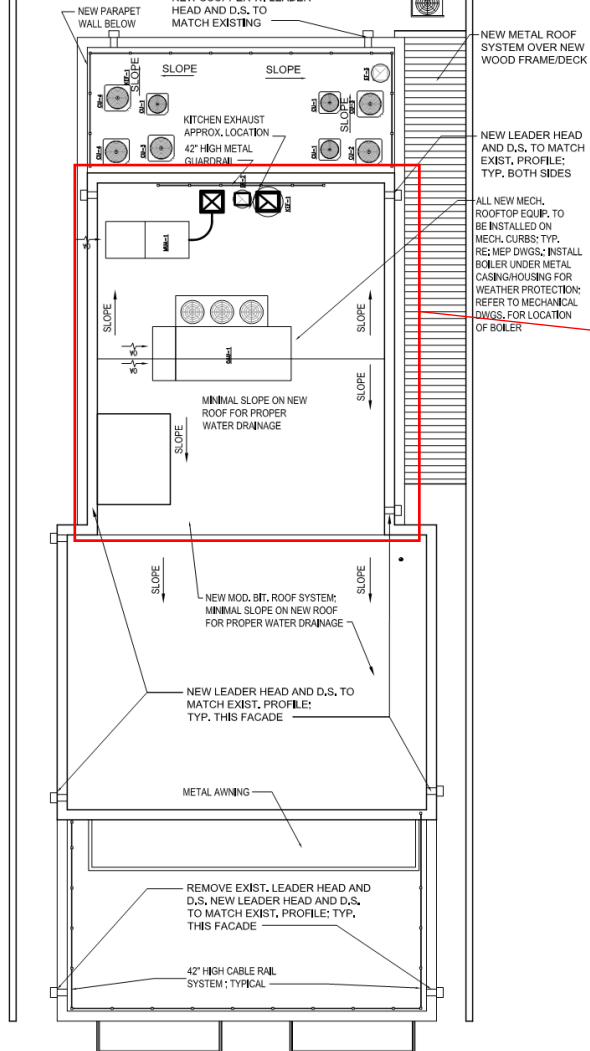




411 Bourbon – Mechanical Equipment – Main Building – As-Built – Third Floor Roof



411 Bourbon – Mechanical Equipment – Main Building – As-Built – Third Floor Roof



02 ROOF PLAN
A1.5 Scale: 1/8"=1'-0"

411 Bourbon – Mechanical Equipment – Main Building – Approved Plans – Fourth Floor Roof





411 Bourbon – Mechanical Equipment – Main Building – As Built – Fourth Floor Roof



411 Bourbon – Mechanical Equipment – Main Building – As Built – Fourth Floor Roof





411 Bourbon – Mechanical Equipment – Main Building – As Built – Fourth Floor Roof





411 Bourbon – Mechanical Equipment – Main Building – As Built – Visibility from Conti



411 Bourbon – Second Floor Balcony – As Built vs Previously Existing



411 Bourbon – Second Floor Balcony – As Built vs Previously Existing

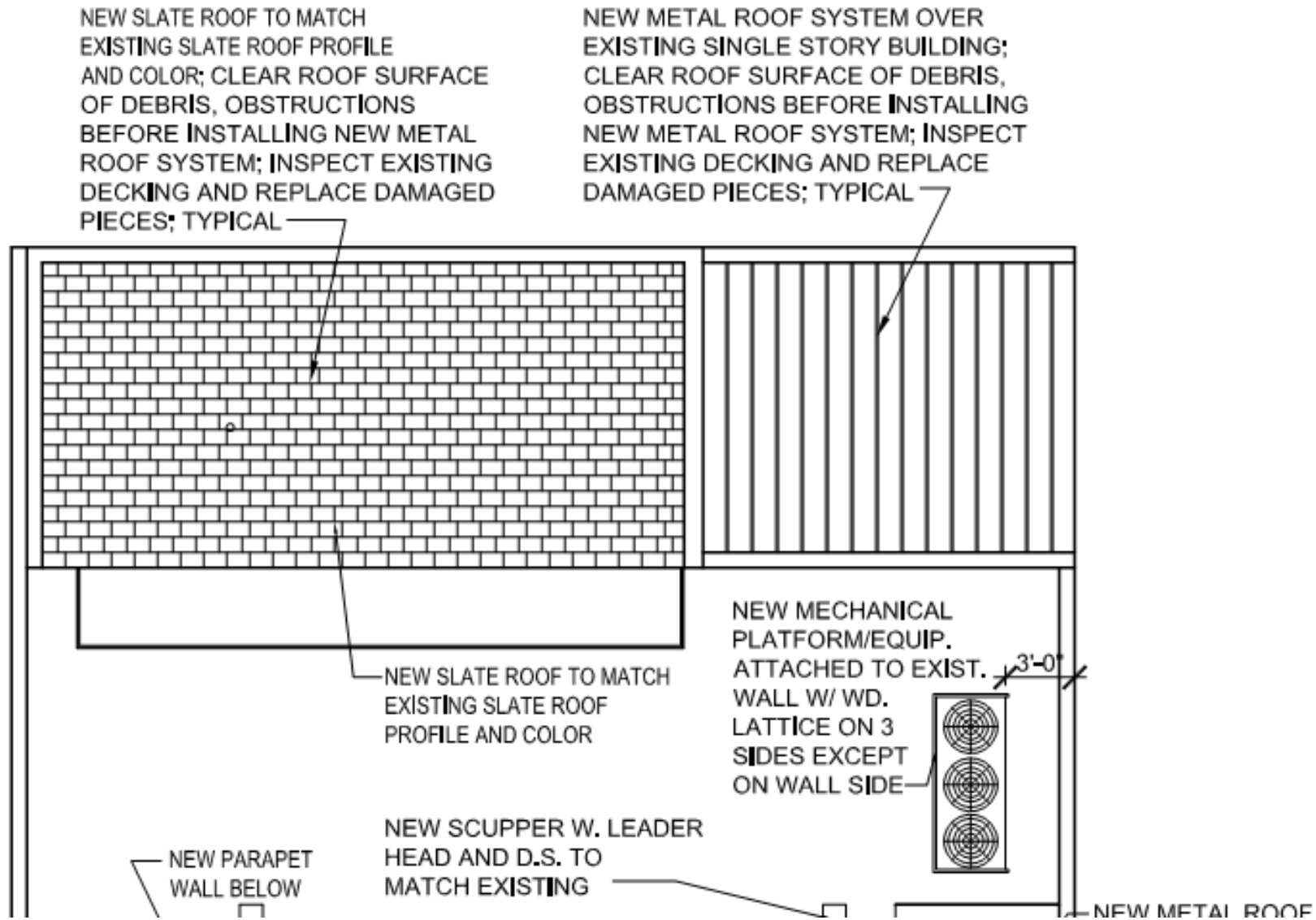


411 Bourbon

Vieux Carré Commission

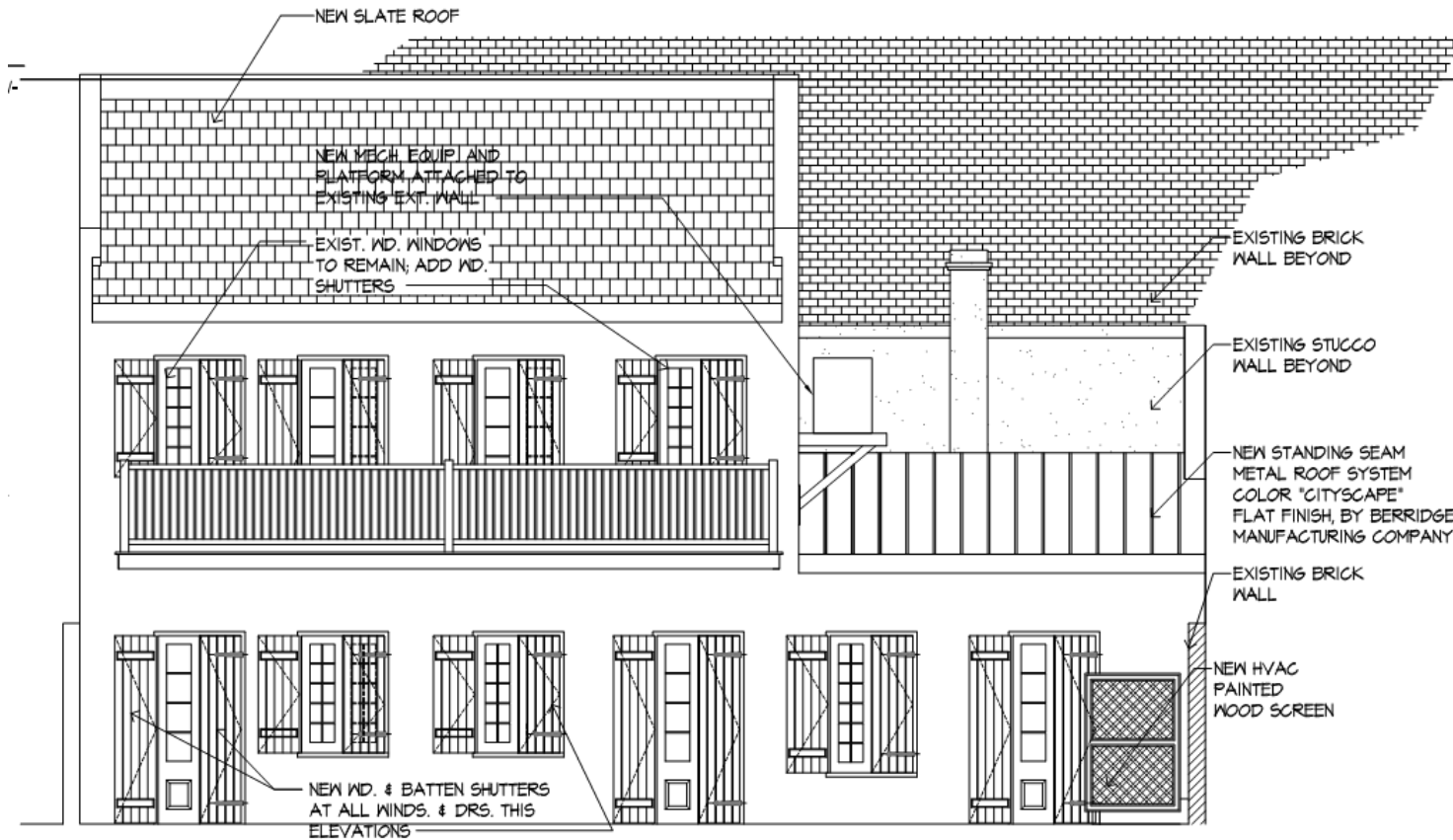
October 8, 2024





411 Bourbon – Mechanical Equipment – Rear Building – Approved Plans





GENERAL NOTE:
 1. OUTBACK BUILDING FACADE- EXISTING STUCCO, WOOD TRIM, DOORS, WOOD RAILS TO BE PAINTED. COLOR TO BE SELECTED BY INTERIOR DESIGNER/OWNER AND COORDINATED WITH VCC GUIDELINES FOR PAINTING. VCC APPROVAL REQUIRED
 2. STUCCO REPAIRS TO BE DONE BASED ON VCC GUIDELINES. MATCH EXISTING STUCCO MATERIAL, TEXTURE & SCORE PATTERN.

03 PROPOSED BACK BUILDING FRONT ELEVATION
 A2.2 411 BOURBON STREET Scale 3/16"=1'-0"

411 Bourbon – Mechanical Equipment – Rear Building – Approved Plans





411 Bourbon – Mechanical Equipment – Rear Building – As Built





411 Bourbon – Mechanical Equipment – Rear Building – As Built





411 Bourbon – Mechanical Equipment – Rear Building – As Built





411 Bourbon – Mechanical Equipment – Rear Building – As Built



411 Bourbon – Mechanical Equipment – Rear Building – As Built





411 Bourbon – Mechanical Equipment – Rear Building – As Built

Vieux Carré Commission

October 8, 2024





411 Bourbon – Rear Building – Previous Conditions

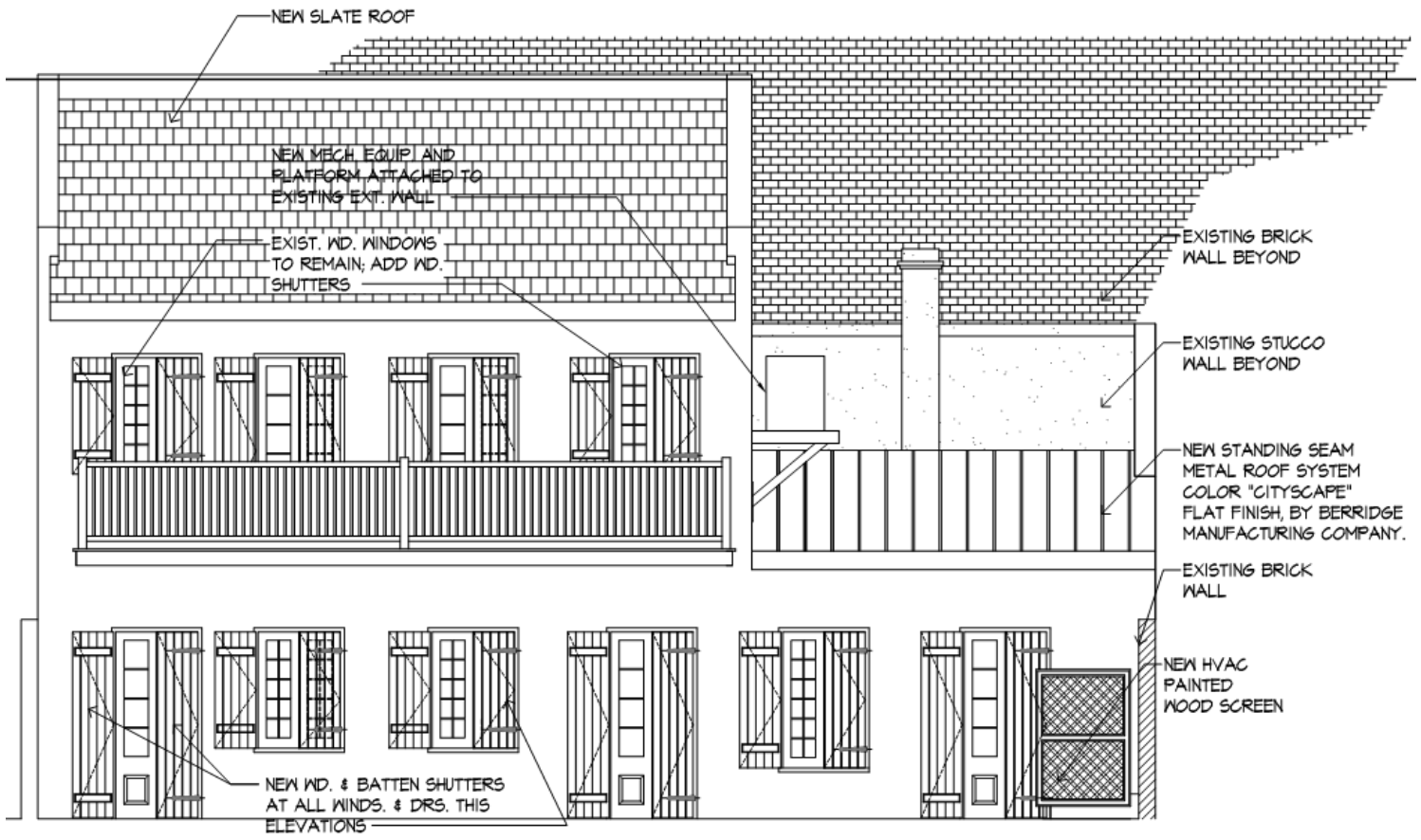
Vieux Carré Commission

October 8, 2024





411 Bourbon – Rear Building – Previous Conditions



GENERAL NOTE:
 1. OUTBACK BUILDING FACADE- EXISTING STUCCO, WOOD TRIM, DOORS, WOOD RAILS TO BE PAINTED. COLOR TO BE SELECTED BY INTERIOR DESIGNER/OWNER AND COORDINATED WITH VCC GUIDELINES FOR PAINTING. VCC APPROVAL REQUIRED
 2. STUCCO REPAIRS TO BE DONE BASED ON VCC GUIDELINES. MATCH EXISTING STUCCO MATERIAL, TEXTURE & SCORE PATTERN.

03 PROPOSED BACK BUILDING FRONT ELEVATION
 A2.2 411 BOURBON STREET Scale 3/16"=1'-0"

411 Bourbon – Exterior Conduit/Ducting – Rear Building – Approved Plans





411 Bourbon – Exterior Conduit/Ducting – Rear Building – As Built





411 Bourbon – Exterior Conduit/Ducting – Rear Building – As Built





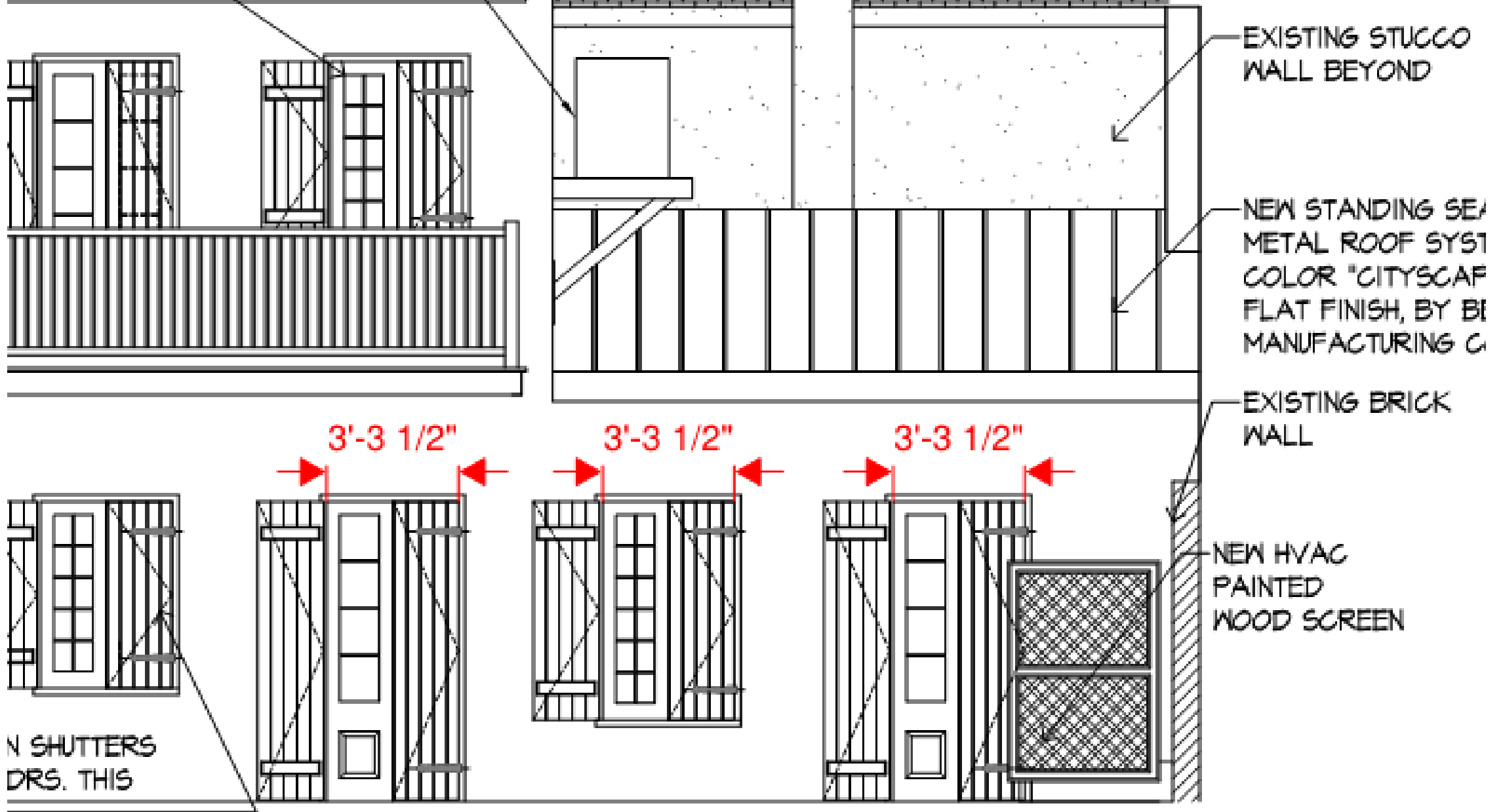
411 Bourbon – Walk-in Door – Rear Building – As Built





411 Bourbon – Walk-in Door – Rear Building – As Built





411 Bourbon – Walk-in Door – Rear Building
 Vieux Carré Commission

October 8, 2024





411 Bourbon – Rear Building – Previous Conditions

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October 8, 2024





411 Bourbon – Courtyard Fans – As Built

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03 11 2024

October 8, 2024





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03 11 2024

October 8, 2024





Note how the balconies previously had typical details and the current ones are boxy, and not as they appear in the VCC stamped approved plans of 2/6/18.

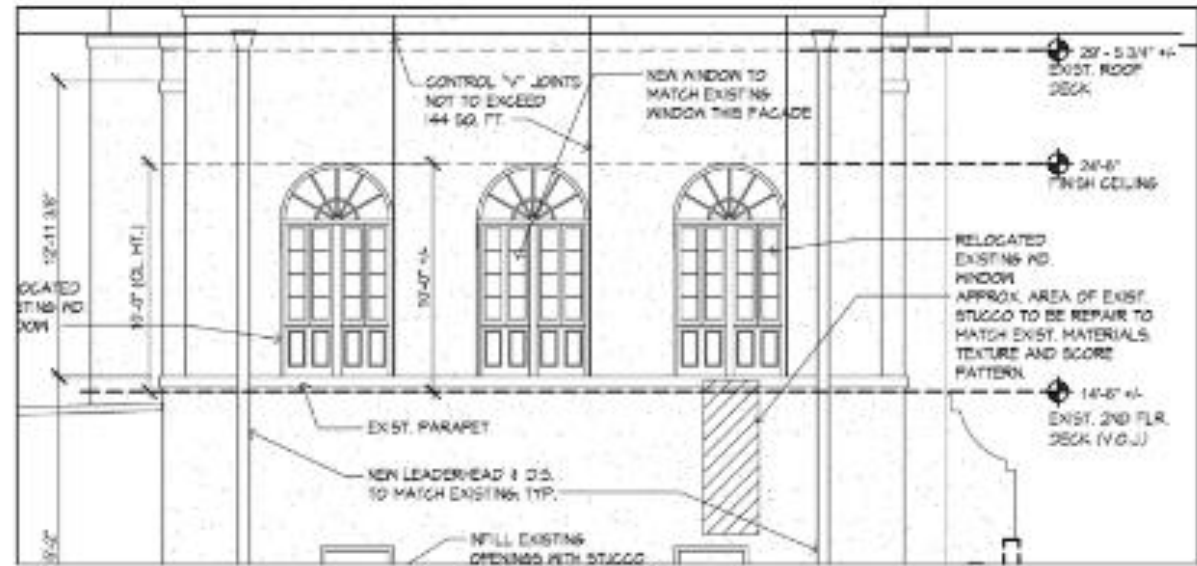


411 Bourbon

Vieux Carré Commission

October 8, 2024



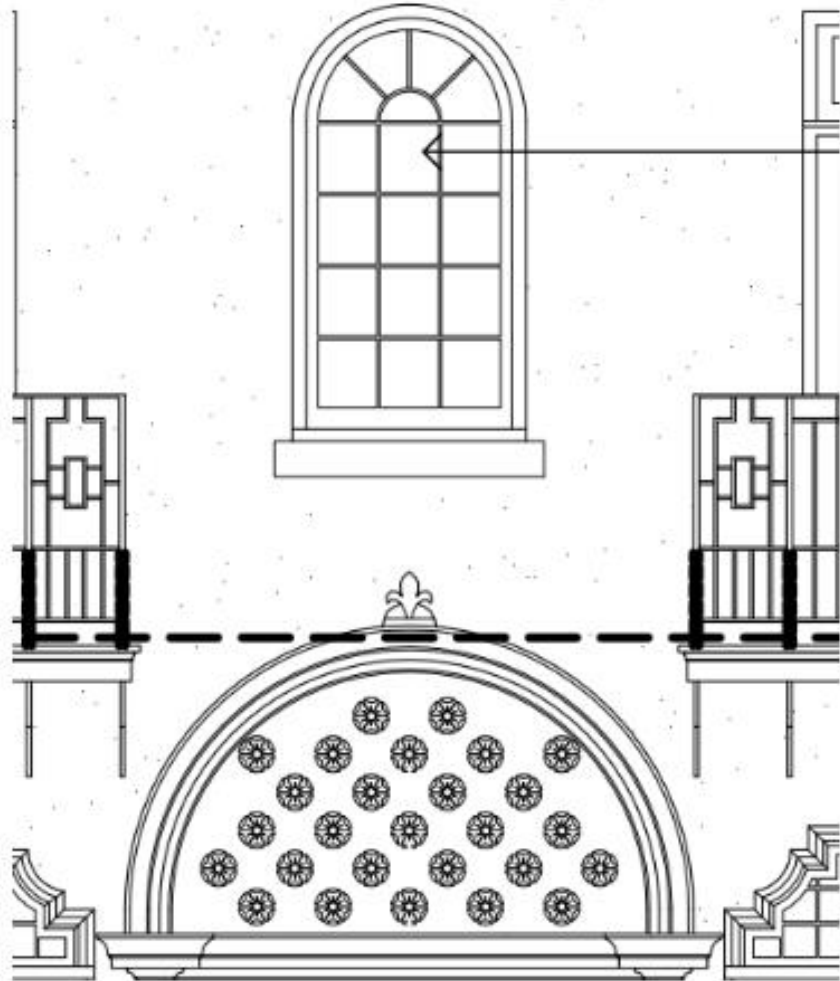


Renovation drawings submitted by Williams Architects and stamped approved by VCC 2/6/2018

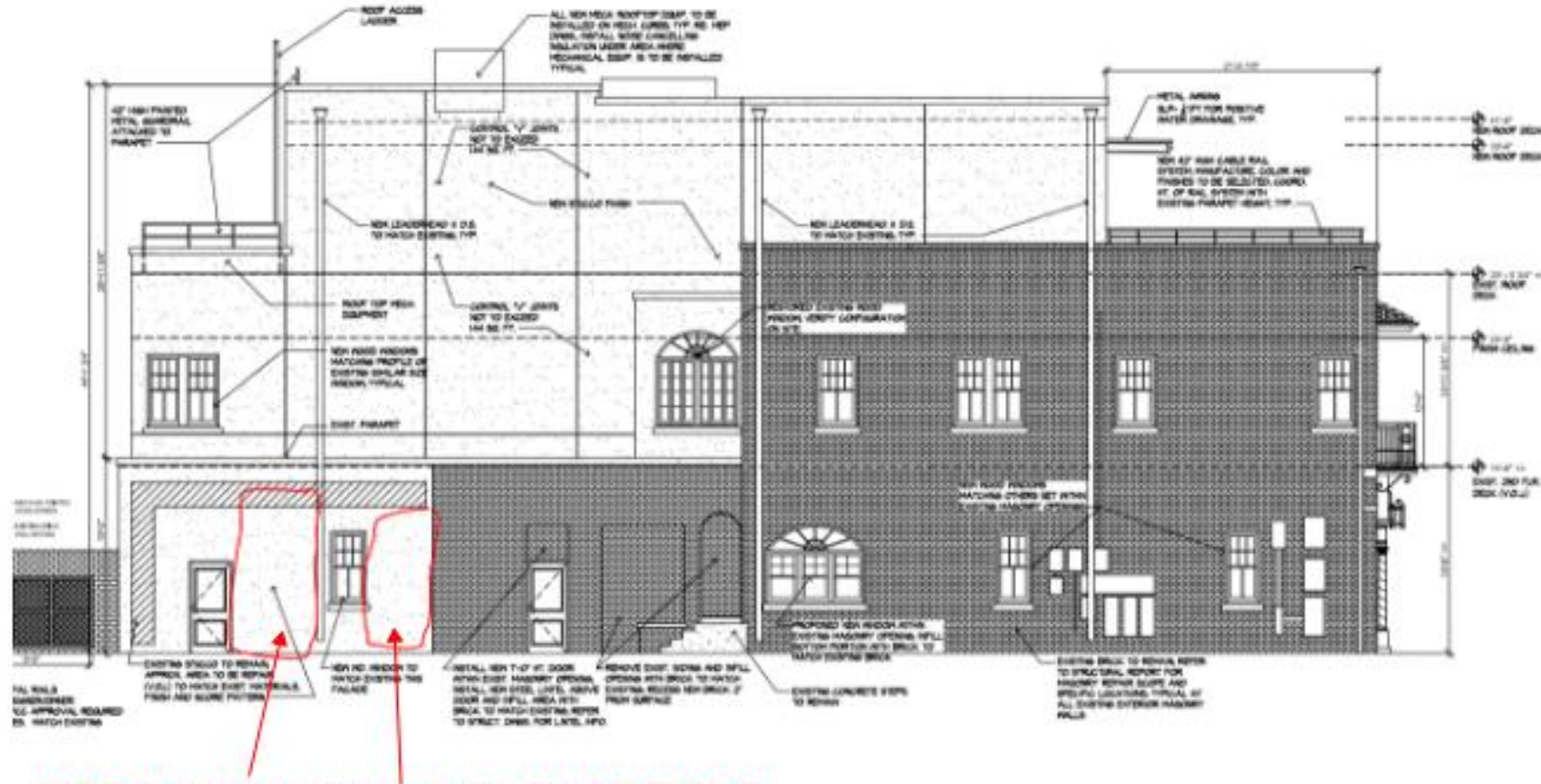
CCNO 166-35	Windows	Alteration/installation/construction of windows without benefit of VCC review or approval, or in deviation of permit. Windows not restored on main building per drawings VCC approved 2/5/2018
-------------	---------	--

On the rear elevation of the main building, existing windows over panels were to be re-located to a new position on the addition. These windows were relocated but the associated panels were not included.

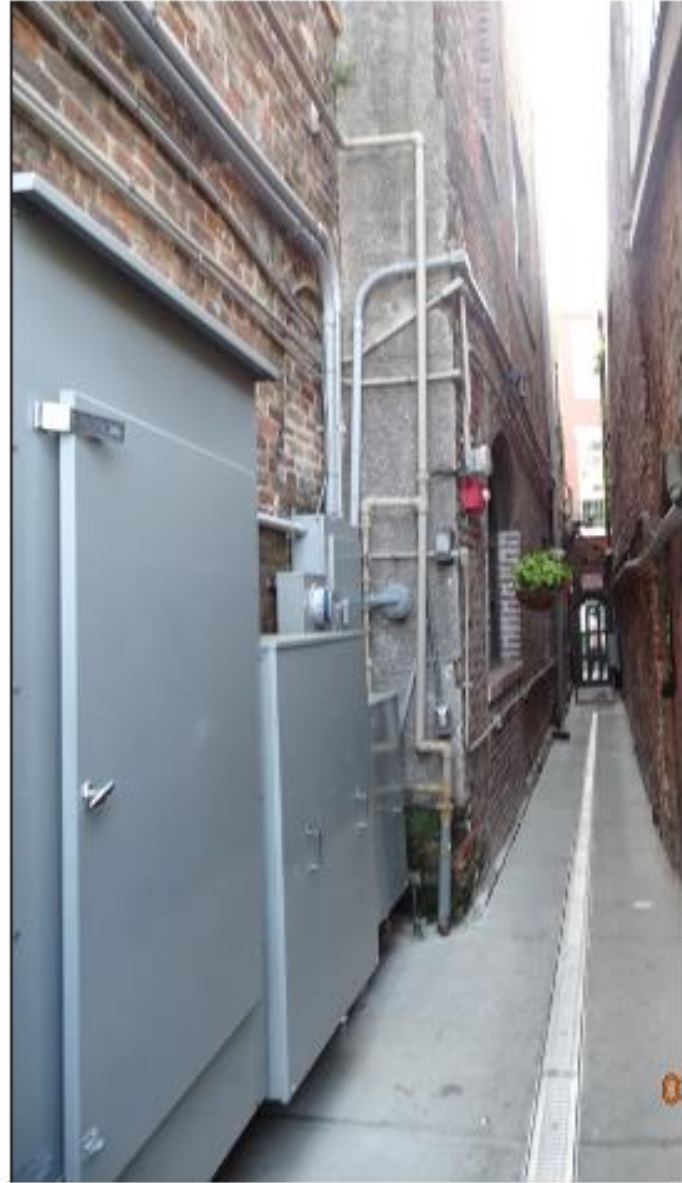
The approved plans 2/6/2018 called for the arched window on the Bourbon St. elevation to be reworked to remove the bottom panel below the window and install additional glazing. This work was not completed.



4



VCC stamped approved drawings 2/6/2018 show conduits and other electrical/water heater items being towards the front of the property; drawings do not show any of these in the locations where they are currently installed.



411 Bourbon

Vieux Carré Commission

October 8, 2024



Property: 411 Bourbon, New Orleans, LA 70130

Item	Violation	Permit Request
1	Gutter Down spouts	Remove existing "K" style gutter and rectangular down spouts and replace with half round gutter and round down spouts.
2	Awning Third Floor patio	Structural supports were revised during the shop drawing process, resulting in current as-built condition. Request that the existing as-built condition be retained and accepted.
3	Security Cameras	At my review meeting with Nicholas on 2.19.24 the large center multi directional camera was listed as the one that had to be removed. The camera has been removed. Remaining cameras are necessary for security. The use of fixed non directional wall mount cameras would require the addition of approximately ten additional cameras to provide the necessary security coverage. Request that the remaining camera condition be retained and accepted.
4	Balconies/ Galleries	The approved 3.17.17 drawings Sheet A3.5 identifies a blow-up detail 09/ A3.6. Drawing A3.9 detail 9 is a detail for the rear building. There is no detail that indicates anything different than what was built. Obviously there must have been an issue with the existing balconies that required the replacement of the balcony floor as contractors typically do not perform more work than is required. Request that the existing as-built condition be retained and accepted.
5	Trim	Furnish and install cast Fleur-de-lis, modify existing stucco to incorporate Fleur-de-lis into building façade with lime base plaster stucco.
6	Windows	Request that the existing as-built condition be retained and accepted
7	Doors	Previously approved Drawing ID 12 (attached) identifies the cooler/freezer swing door that is currently there now.

411 Bourbon

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		Fabricate and install shutters to match shutter at other rear building architectural openings to cover freezer door opening. Shutters will be kept in a closed position when the freezer is not being accessed.
8	HVAC Mechanical, etc.	Roof equipment matches actual equipment (drawing and Google Earth attached) Rear Building cooler/freezer equipment: Fabricate and install screening to mimic second floor railing.
9	Sprinkler insulated line on rear building	Letter from Michal Vesely PE former SFM Fire Protection reviewer has been submitted. Paint exposed sprinkler insulation jacket the same color as the building.
10	Wires/Conduits	Previously approved Drawing A2.1 indicates relocation of water heaters, gas meters, electrical service. Current services match in the magnitude of equipment the location is toward the back of the building and out of view as opposed to previous location close to Bourbon St. All conduit and piping to be painted the same color as the building.
11	Lighting	Rear courtyard lighting is necessary for the safety of patrons and employees. Request that the existing as-built condition be retained and accepted.

**FORSTER
CONSTRUCTION
SERVICES, LLC**
67570 Antioch Drive
Mandeville, LA 70471
www.forstercs.com
504.495.0051

Agreement

Client/Owner
Moe Badr CAJUN 411LLC 411 Bourbon St. New Orleans

Date: 3.23.24
Page 1 of 1

PROJECT
411 Bourbon St Replace K Gutter and downspouts.

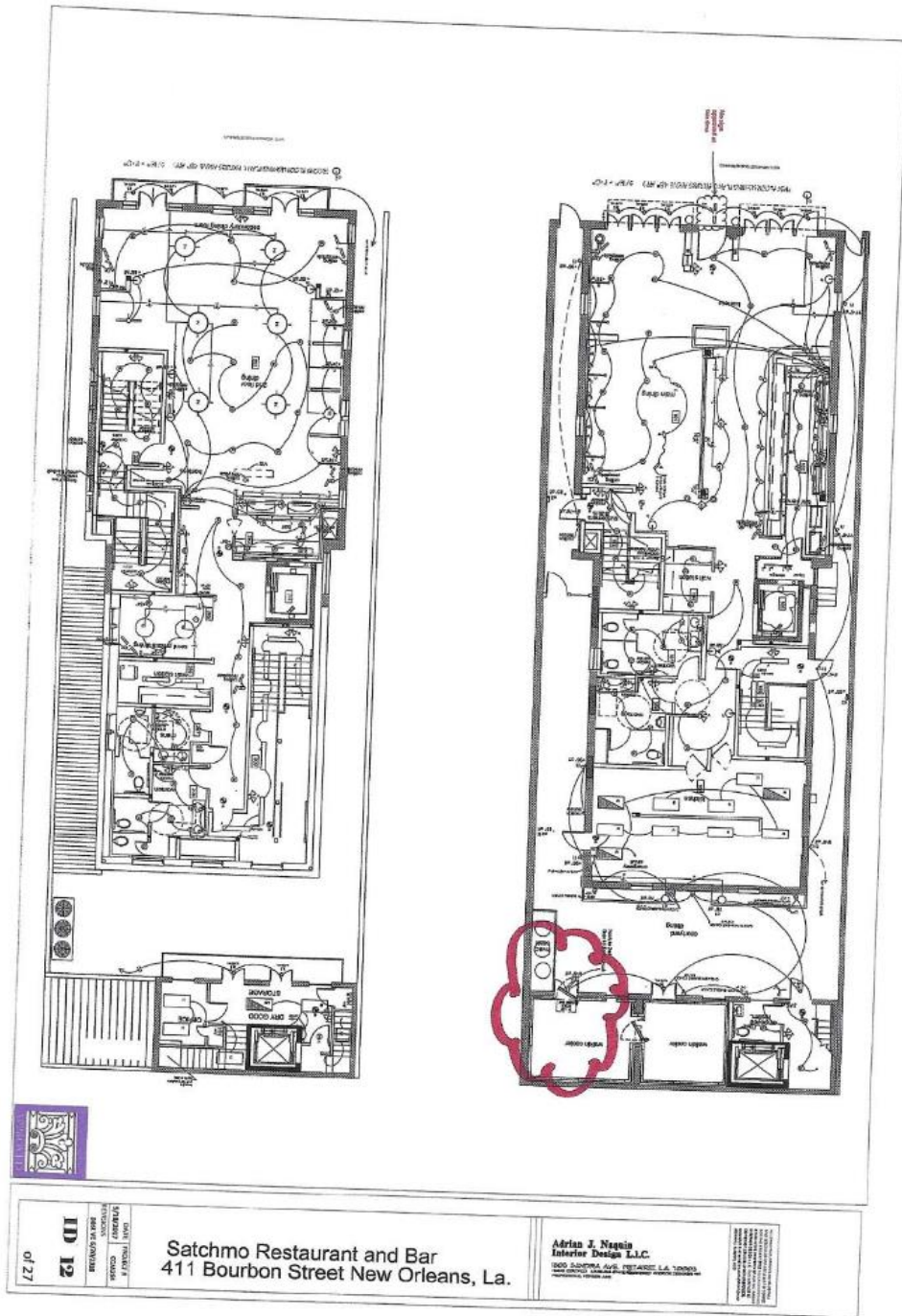
Item	Scope of Services Limited to Items listed Below	Value (\$)
1	Permit Fees and Application Process	\$950.00
2	Remove existing "K" Style gutter and 2 rectangular down spouts, replace with 50' +/- of half round gutter and 30' +/- round down spouts.	\$9,070.00
		\$10,020.00

TERMS
\$10,020.00 with execution of Agreement.

ACKNOWLEDGMENTS
The Client/Owner shall be responsible for any and all costs associated with the collection of past due Invoices submitted by Forster Construction Services, LLC, ("FCS") which are not paid in accordance with the Terms of this Agreement, including but not limited to attorney fees and collection agency costs. Any Invoice not paid when due shall be subject to a late payment fee of \$150.00 in addition to finance charges of 1.5% per month. FCS reserves the right to stop work without penalty at any time Invoices are not paid when due.

<p>Forster Construction Services, LLC</p> <p>Signature: <u></u></p> <p>Print Name: <u>Michael Forster</u></p> <p>Date: <u>March 23, 2024</u></p>	<p>Accepted by:</p> <p>Signature: <u></u></p> <p>Print Name: <u>Moe Badr</u></p> <p>Date: <u>3/23/24</u></p>
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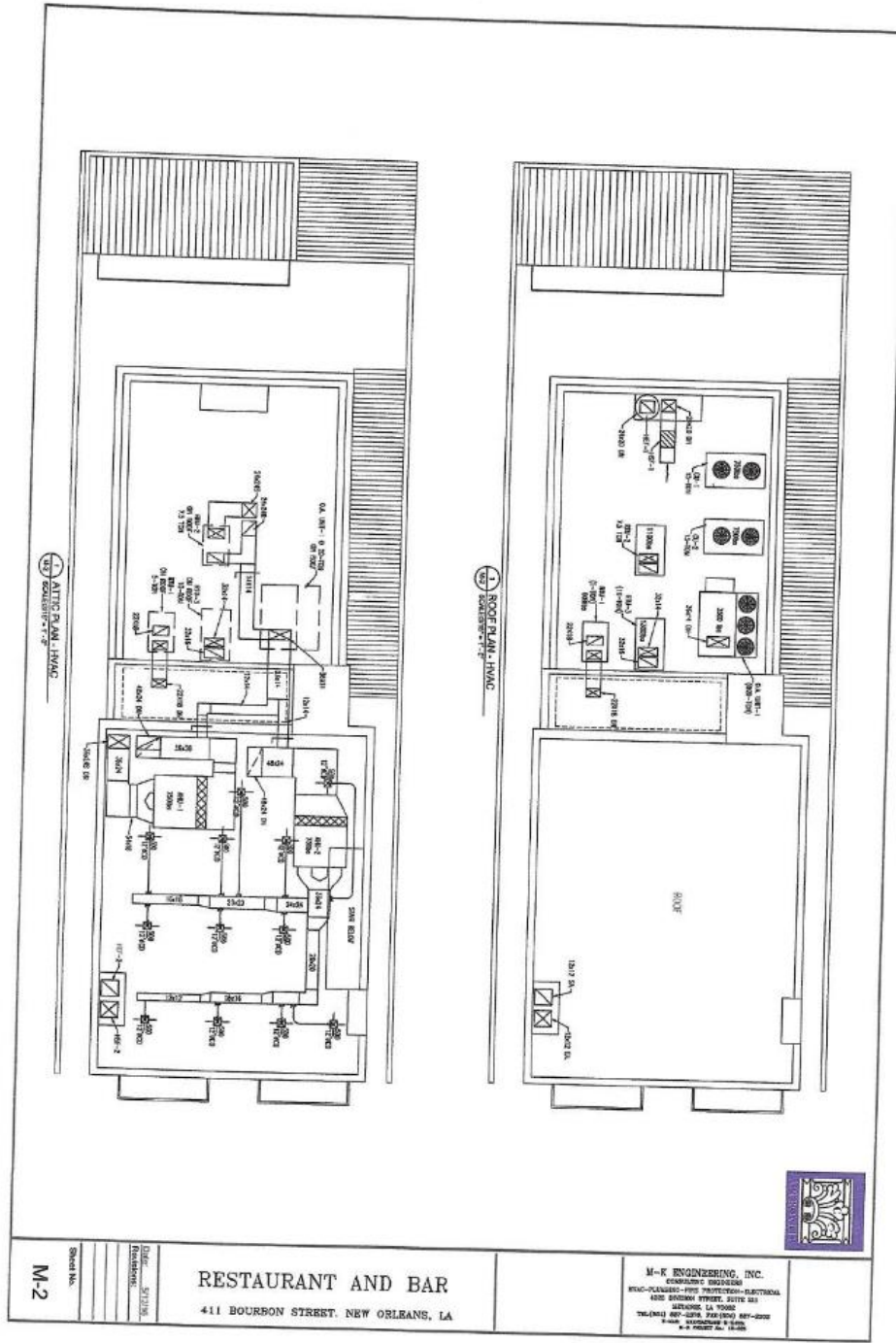


411 Bourbon

Vieux Carré Commission



October 8, 2024

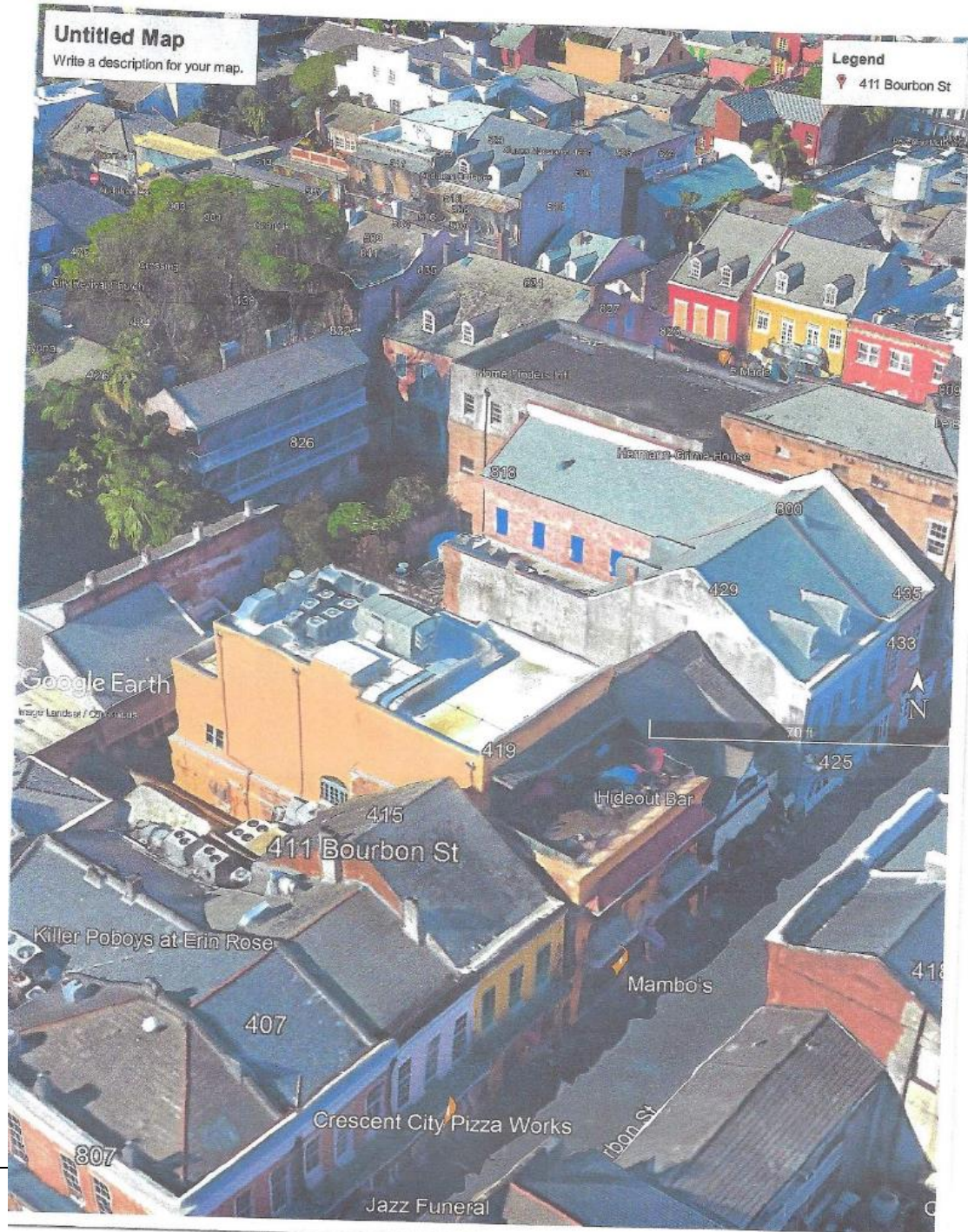


411 Bourbon

View Carré Commission

October 8, 2024



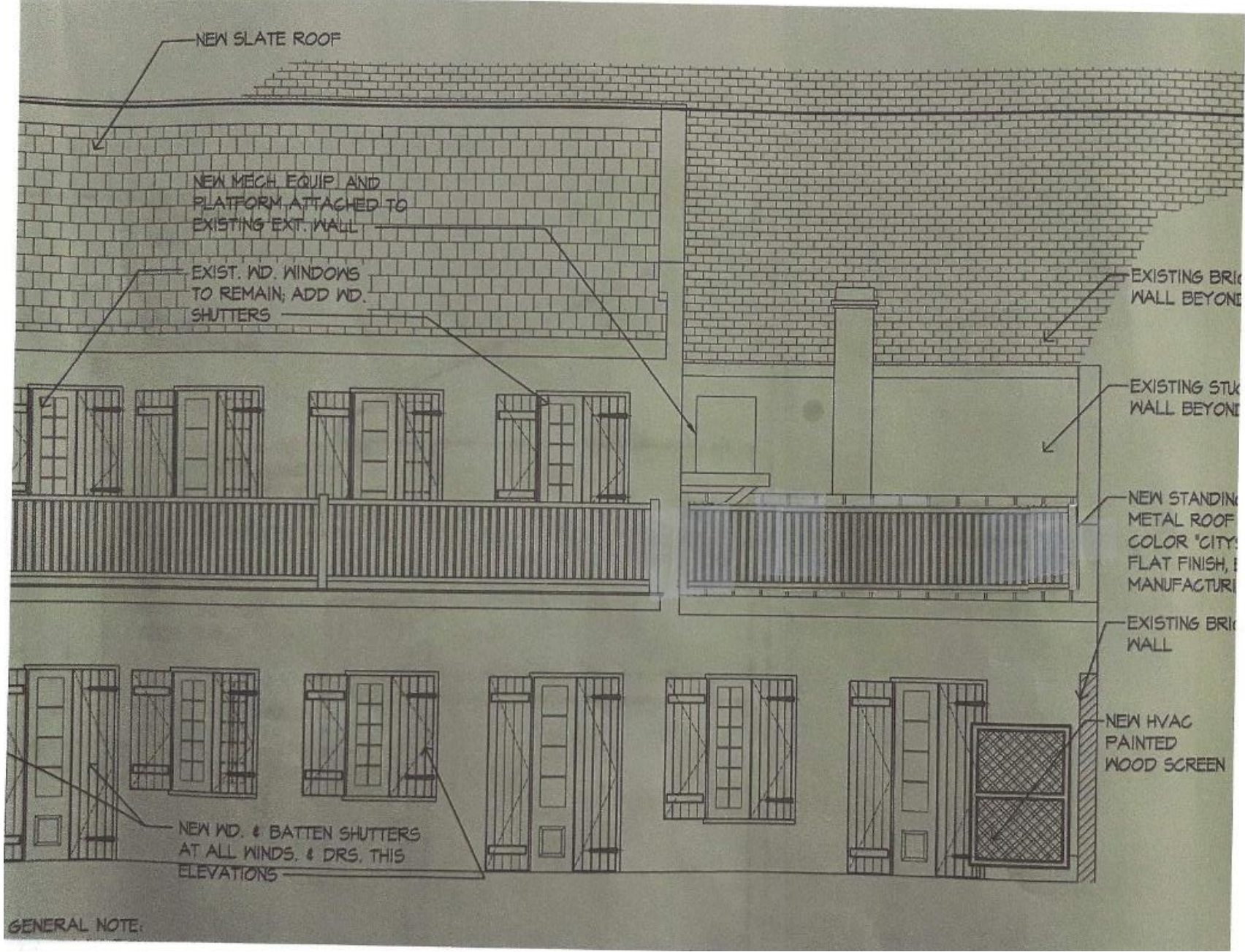


411 Bourbon

Vieux Carré Commission

October 8, 2024





411 Bourbon

Vieux Carré Commission

October 8, 2024



VESELY ENGINEERING INC.
Mechanical Engineering Design
1108 Elmeer Avenue
Metairie, La. 70005

Michael Forster

Subj: 411 Bourbon St., N.O., La.

Date 02/28/24

I have been Registered Professional Mechanical Engineer in the State of Louisiana since 1988. I have worked for the Louisiana State Fire Marshall for over 5 years as a sprinkler plans reviewer.

Fires have caused loss of life and property damage since New Orleans and the Vieux Carre were founded over 300 years ago.

In order to meet the Louisiana State Fire Code fire sprinkler systems are required for various institutions and businesses including restaurants.

The use of protective , insulated fire sprinkler systems is necessary for the public safety and welfare



Michael J. Vesely, P.E.
La. Lic. 24075

411 Bourbon

Vieux Carré Commission

October 8, 2024



ARCHITECT
JOHN C WILLIAMS ARCHITECTS LLC
 221 CAROLINE STREET
 NEW ORLEANS, LA 70112
 SALEMMA FROST
 SA 202007 200

PROJECT
 411 BOURBON STREET
 NEW ORLEANS, LOUISIANA

REVISIONS

No.	Date	Scale

DRAWING TITLE:
 EXISTING EXTERIOR ELEVATIONS

DRAWN BY:
 SCALE:
 JOB NO.: 613323C
 DATE: MAY 17, 2018

DRAWING NO.:
A2.1

68 EXISTING SIDE ELEVATION (PLAN WEST)
 411 BOURBON STREET
 Scale: 3/8"=1'-0"

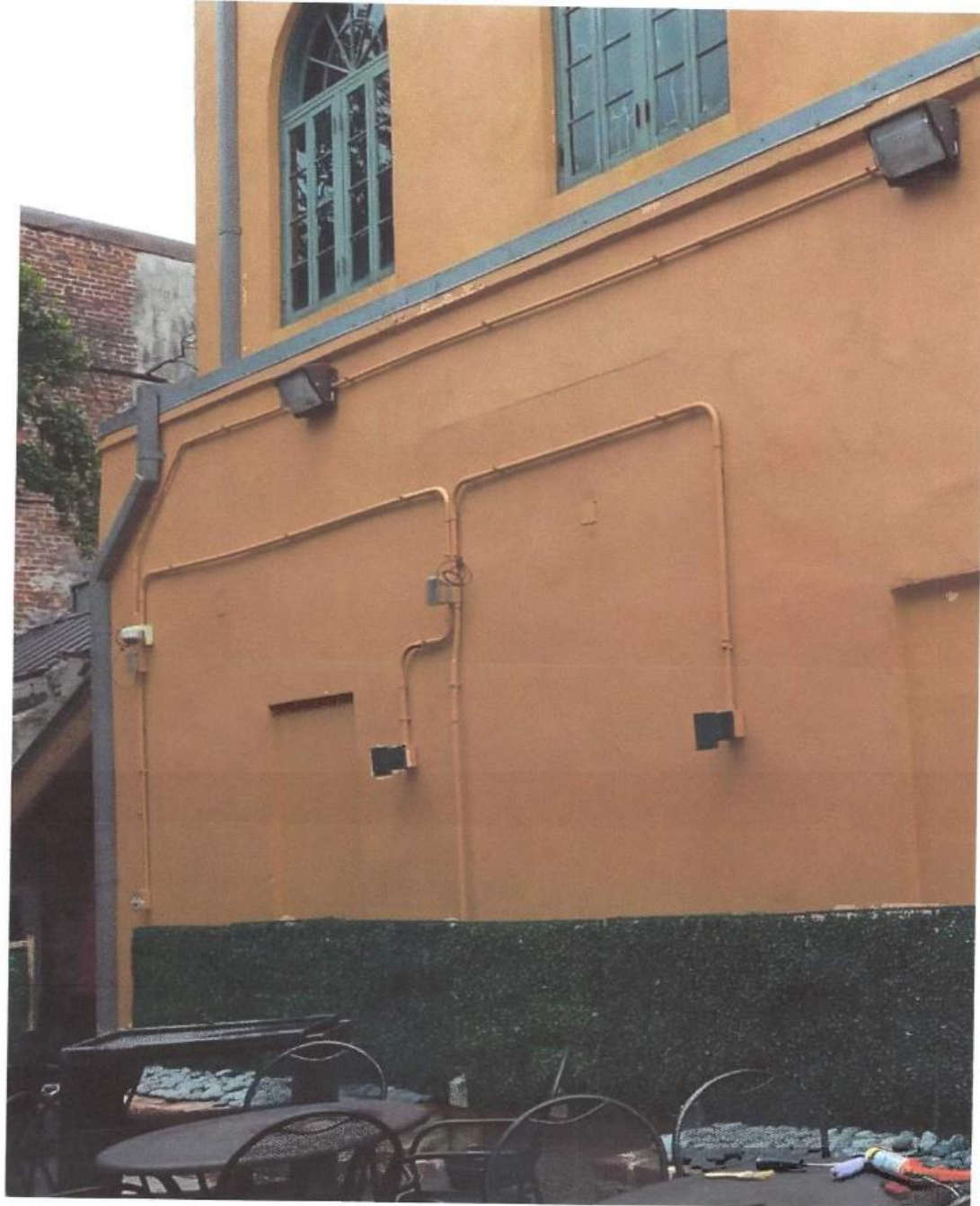
69 EXISTING SIDE ELEVATION (PLAN EAST)
 411 BOURBON STREET
 Scale: 3/8"=1'-0"

70 EXISTING FRONT ELEVATION
 411 BOURBON STREET
 Scale: 3/8"=1'-0"

71 EXISTING REAR ELEVATION
 411 BOURBON STREET
 Scale: 3/8"=1'-0"

72 EXISTING BACK/SIDE FRONT ELEVATION
 411 BOURBON STREET
 Scale: 3/8"=1'-0"



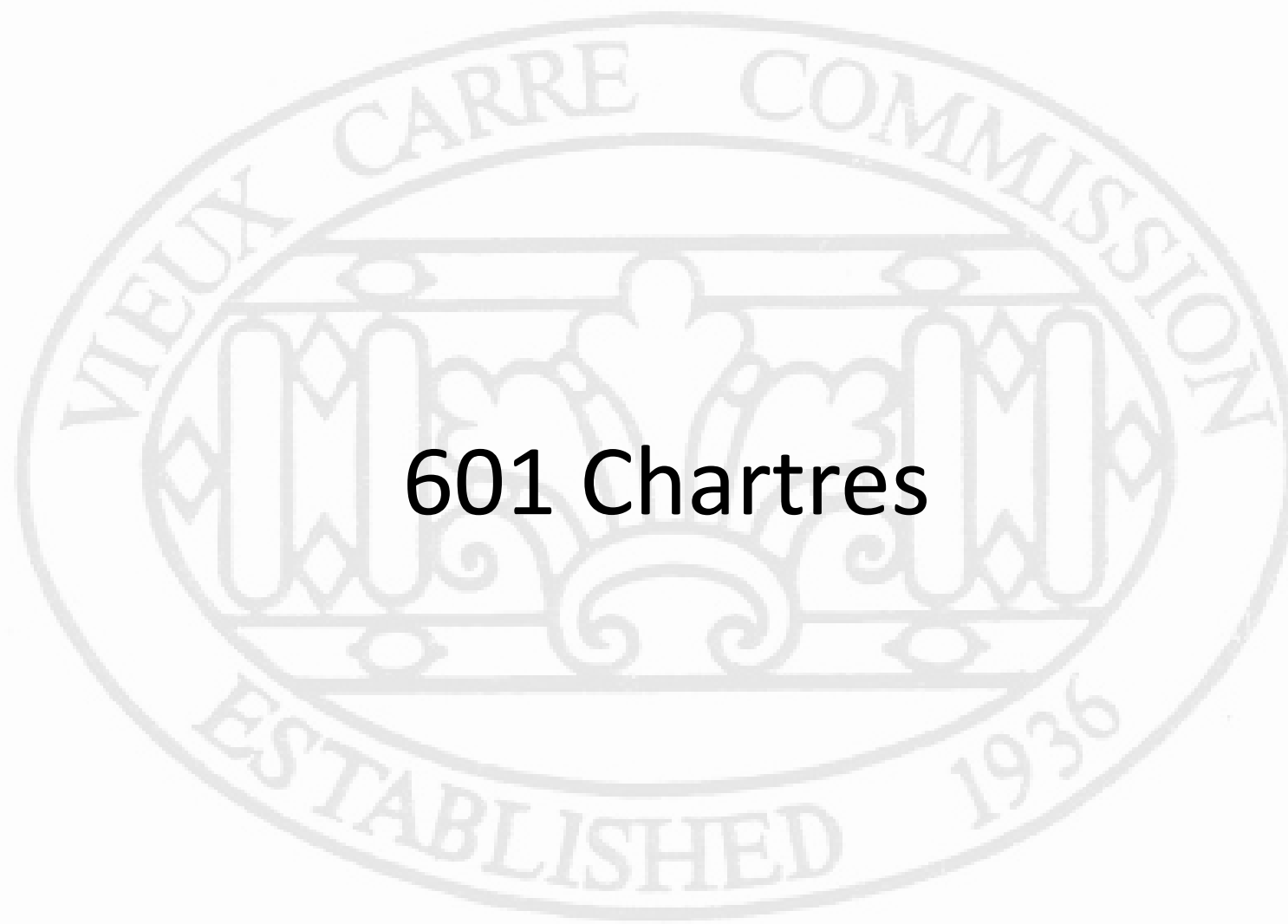


411 Bourbon

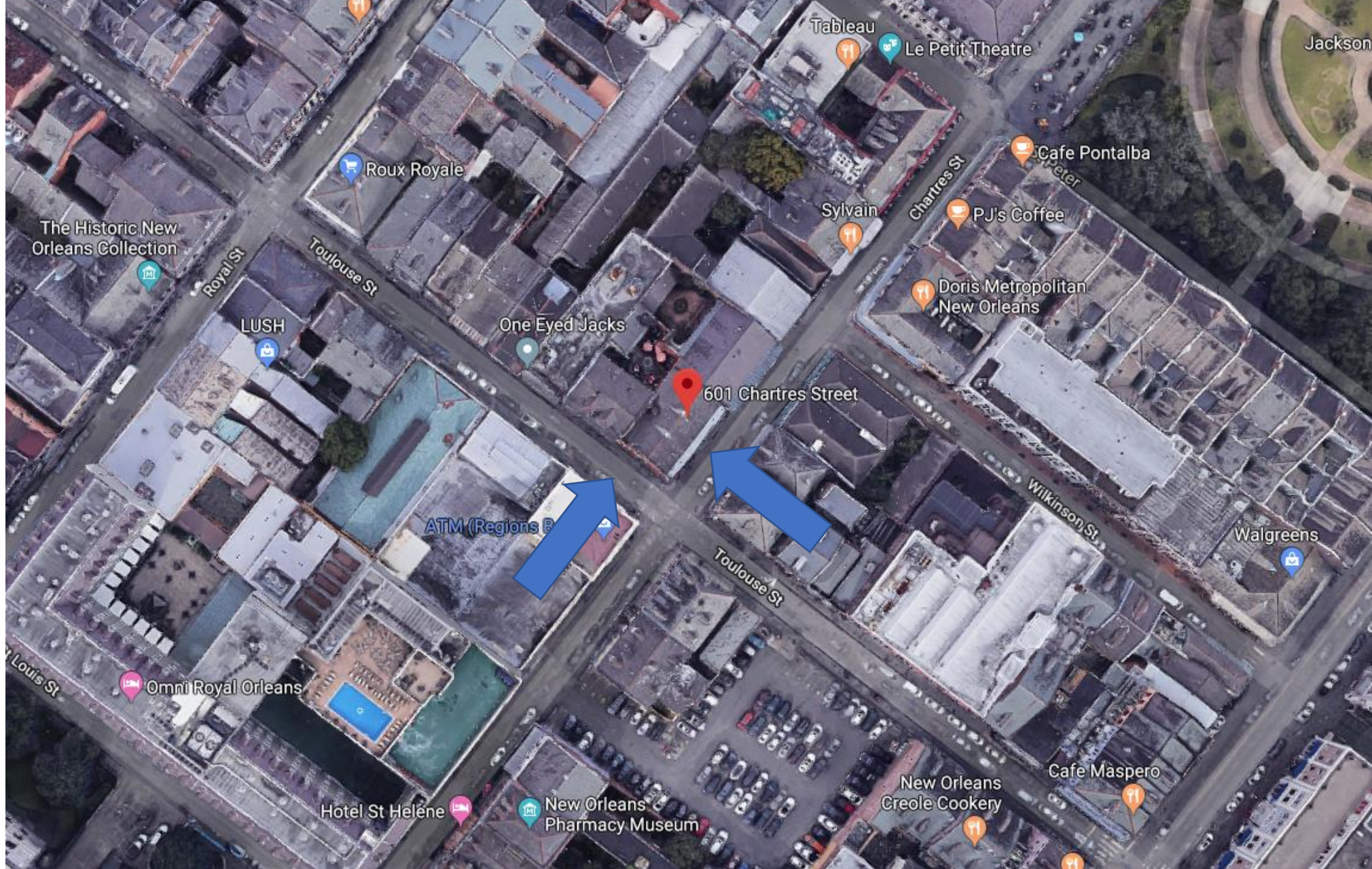
Vieux Carré Commission

October 8, 2024





601 Chartres



601 Chartres





601 Chartres

Vieux Carré Commission

October 8, 2024





601 Chartres

Vieux Carré Commission

October 8, 2024





601 Chartres

Vieux Carré Commission

October 8, 2024





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October 8, 2024





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October 8, 2024





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October 8, 2024





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October 8, 2024





601 Chartres

Vieux Carré Commission

October 8, 2024





601 Chartres

Vieux Carré Commission

October 8, 2024





601 Chartres

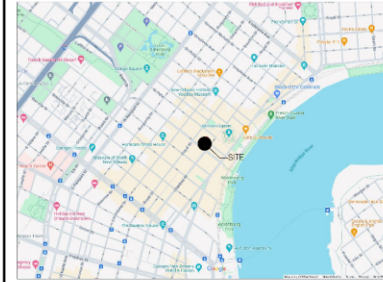
Vieux Carré Commission

October 8, 2024



601-607 Chartres Street Vieux Carré Commission Violation Remediation

601-607 CHARTRES STREET
NEW ORLEANS, LOUISIANA 70130



Vicinity Map

Scope Of Work

THE FOLLOWING NOTES ARE A RESULT OF A VISUAL SURVEY OF EXISTING FACADES AND CORRECTIVE WORK CITED IN VIOLATION OF VCC GUIDELINES. THE SPECIFIC NOTES SHOULD NOT BE CONSIDERED AS CONCLUSIVE. ADDITIONAL WORK TO FACADES MAY BE DETERMINED TO BE NECESSARY ONCE ADDITIONAL SURVEY WORK IS PERFORMED BY THE GENERAL CONTRACTOR REGARDLESS OF WHETHER INDICATED BY A SPECIFIC NOTE.

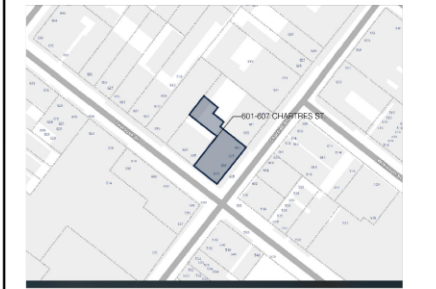
ANY ADDITIONAL EXTERIOR WORK CONTEMPLATED THAT IS NOT SPECIFICALLY IDENTIFIED ON THESE VCC APPROVED DRAWINGS MUST BE REVIEWED AND APPROVED BY THE VCC PRIOR TO PERFORMING THE WORK.

Code Data

INTERNATIONAL BUILDING CODE (2021) WITH CITY OF NEW ORLEANS AMENDMENTS
INTERNATIONAL EXISTING BUILDING CODE
NFA 101 (L) (REV. 1/1/2019)
NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE
AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, 2010 STANDARDS

Zoning Data

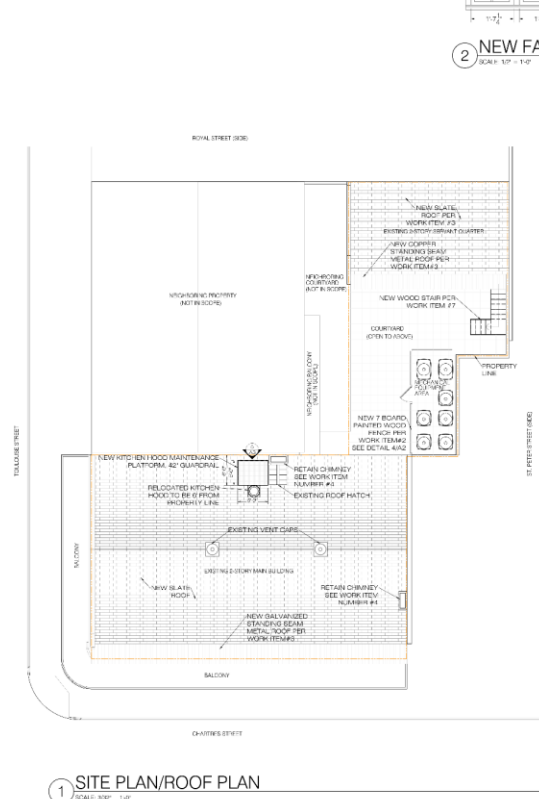
PROPERTY DESCRIPTION:
LOT R
BOUNDED BY CHARTRES STREET, TOULOUSE STREET, ROYAL STREET, AND ST. PETER STREET
PARCEL AREA= 4310 SQ. FT.
PARCEL DIMENSIONS= 63x445x50xVAR
CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE



Property Outline



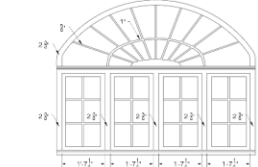
Historic Photo Circa 1939



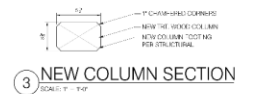
1 SITE PLAN/ROOF PLAN
SCALE: 3/32" = 1'-0"

Index of Drawings

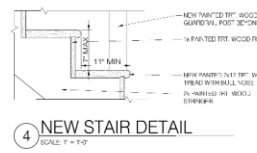
- ARCHITECTURAL
 - A1 Title Sheet/Scope of Work/ Code Data/ Zoning Data/Site Plan/Window Details/Column Detail/ Stair Details
 - A2 First Floor Demolition/ Second Floor Demolition/ Guardrail Detail/ Fence Details
 - A3 Demolition Elevations/ Proposed Building Elevations
 - A4 Photos of Violations
 - A5 Lighting Cut Sheets



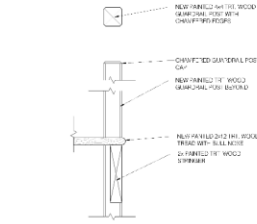
2 NEW FAN LITE WINDOW
SCALE: 1/8" = 1'-0"



3 NEW COLUMN SECTION
SCALE: 1/4" = 1'-0"



4 NEW STAIR DETAIL
SCALE: 1/4" = 1'-0"



5 NEW STAIR DETAIL
SCALE: 3/32" = 1'-0"

Project Directory

OWNER:
APASRA PROPERTIES LLC
442 CANAL ST STE 208
NEW ORLEANS, LA 70130

ARCHITECT:
TERRELL-FABACHER ARCHITECTS, L.L.C.
1706 JOSEPHINE STREET STE 201
NEW ORLEANS, LA 70119
PH: 504 566 1320

EXTERIOR SCOPE OF WORK

1. MAINTAIN EXISTING EXTERIOR WALLS AND FOUNDATION AS SHOWN IN THE EXISTING DRAWINGS TO MATCH EXISTING. EXISTING EXTERIOR WALLS SHALL BE REPAIRED AND REFINISHED TO MATCH EXISTING. EXISTING EXTERIOR WALLS SHALL BE REPAIRED AND REFINISHED TO MATCH EXISTING. EXISTING EXTERIOR WALLS SHALL BE REPAIRED AND REFINISHED TO MATCH EXISTING.
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terrell-fabacher
architects, llc.

1109 South Poydras Street, Suite 241
New Orleans, Louisiana 70130
(504) 566-1320

tf

These plans and specifications have been prepared by me or under my close supervision. I am a duly licensed professional engineer and I am a member in good standing of the Louisiana Board of Professional Engineers. I am a member in good standing of the Louisiana Board of Professional Engineers. I am a member in good standing of the Louisiana Board of Professional Engineers.

VIOLATION REMEDIATION
601-607 CHARTRES STREET
NEW ORLEANS, LOUISIANA

JOHN R. RUFFEL
REGISTERED ARCHITECT

NO.	REV.	DATE
1	9/20/2024	

CHECKED BY:
DRAWN BY:
DATE: 7/02/2024
JOB NO.

A1
SHEET OF





1 VIEW OF THE BUILDING FROM THE STREET INTERSECTION
SCALE: NOT TO SCALE



2 AERIAL VIEW OF 601-07 CHARTRES STREET
SCALE: NOT TO SCALE



3 TOULOUSE ST GALLERY
SCALE: NOT TO SCALE



4 VIEW OF THE ROYAL STREET ELEVATION
SCALE: NOT TO SCALE



5 VIEW OF THE CHARTRES STREET ELEVATION
SCALE: NOT TO SCALE



6 STUCCO ON TOULOUSE ST
SCALE: NOT TO SCALE



7 BOWING @ MASONRY WALL
SCALE: NOT TO SCALE



8 COURTYARD TOWARDS ST. PETERS STREET
SCALE: NOT TO SCALE



9 BRICK DAMAGE AT SERVANT QUARTER BLDG
SCALE: NOT TO SCALE



10 SERVANT QUARTER BLDG
SCALE: NOT TO SCALE



11 ROOF @ SERVANT QUARTER BLDG
SCALE: NOT TO SCALE

EXTERIOR SCOPE OF WORK

- MASONRY: REMOVE EXISTING MASONRY QUARTERS AND ROOF FROM SERVANT QUARTER BUILDING. EXISTING MASONRY TO BE RECONSTRUCTED TO MATCH EXISTING MASONRY. REMOVE EXISTING MASONRY AT ROOF LINE AND RECONSTRUCT TO MATCH EXISTING MASONRY. REMOVE EXISTING MASONRY AT ROOF LINE AND RECONSTRUCT TO MATCH EXISTING MASONRY. REMOVE EXISTING MASONRY AT ROOF LINE AND RECONSTRUCT TO MATCH EXISTING MASONRY.
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- GLASS: REMOVE EXISTING GLASS FROM SERVANT QUARTER BUILDING. REMOVE EXISTING GLASS FROM SERVANT QUARTER BUILDING. REMOVE EXISTING GLASS FROM SERVANT QUARTER BUILDING.
- PAINT: REMOVE EXISTING PAINT FROM SERVANT QUARTER BUILDING. REMOVE EXISTING PAINT FROM SERVANT QUARTER BUILDING. REMOVE EXISTING PAINT FROM SERVANT QUARTER BUILDING.
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- PAINT: REMOVE EXISTING PAINT FROM SERVANT QUARTER BUILDING. REMOVE EXISTING PAINT FROM SERVANT QUARTER BUILDING. REMOVE EXISTING PAINT FROM SERVANT QUARTER BUILDING.

terrellrabacher architects, llc. 1050 South Jefferson Avenue, Suite 211 New Orleans, Louisiana 70125 504.589.1500

These plans and specifications have been prepared by me or my firm. They comply with all applicable laws, codes, and regulations. I warrant that the information is true and correct to the best of my knowledge and belief. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations.

VIOLATION REMEDIATION 601-607 CHARTRES STREET NEW ORLEANS, LOUISIANA

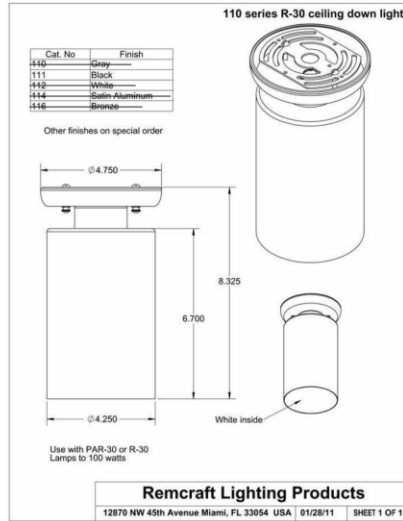


NO.	REVISIONS
1	9/20/2024

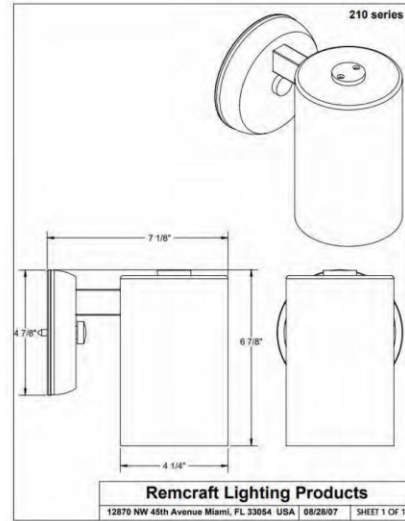
CHECKED BY: DATE: 7/02/2024
DRAWN BY: DATE: 7/02/2024
JOB NO:

A4 SHEET OF





① EXTERIOR SOFFIT LIGHT
SCALE: NOT TO SCALE



② EXTERIOR WALL MOUNTED LIGHT
SCALE: NOT TO SCALE



These plans and specifications have been prepared by me or under my direct supervision. I am a duly licensed professional engineer in the State of Louisiana. I hereby certify that the work shown on these plans conforms to the requirements to the best of my knowledge and belief. The seal and signature of the engineer shall be periodically reviewed for the progress.

VIOLATION REMEDIATION
601-607 CHARTRES STREET
NEW ORLEANS, LOUISIANA



NO.	REVISIONS
1	9/20/2024

CHECKED BY:
DRAWN BY:
DATE: 7/02/2024
JOB NO.:

A5
SHEET OF





403 Royal



403 Royal

Vieux Carré Commission

October 8, 2024



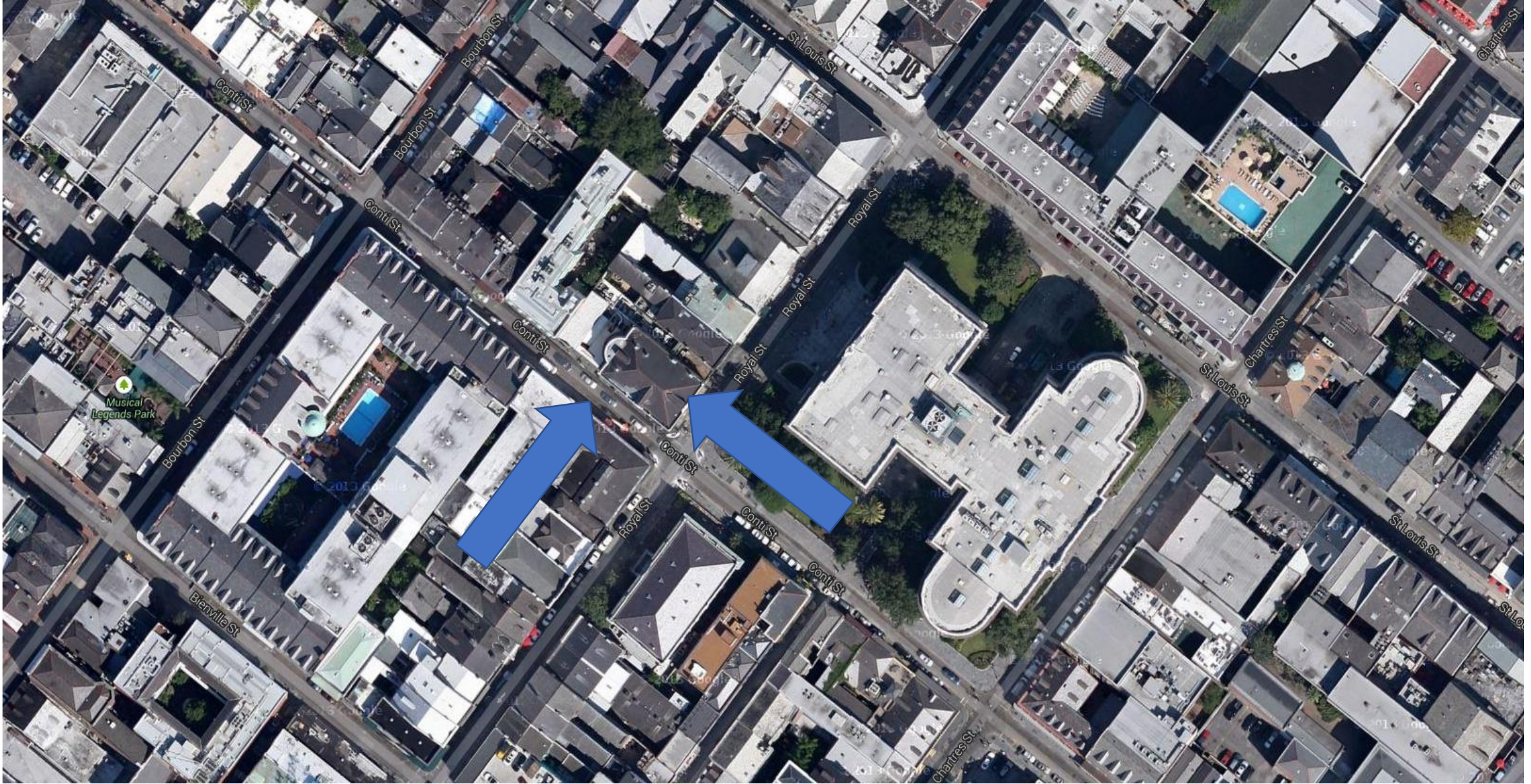


403 Royal

Vieux Carré Commission

October 8, 2024





403 Royal

Vieux Carré Commission

October 8, 2024





403 Royal



CHAS. C. TORREY, ENGRAVER
opposite

will execute
Historical &
Ornamental
Engraving,
Portraits, Views,
Maps

Professional &
Visiting Cards,
Diplomas, Labels,
Letters on Gold,
Silver, Steel,
Brass, &c,

The Louisiana State Bank
Royal Street, New Orleans.

403 Royal

Vieux Carré Commission

1822

October 8, 2024





403 Royal

1900

Vieux Carré Commission

October 8, 2024





LOUISIANA STATE BANK BUILDING

By **BENJAMIN HENRY LATROBE**, Architect

BENJAMIN FOX, Builder

From Material Collected by HISTORIC AMERICAN BUILDING SURVEY

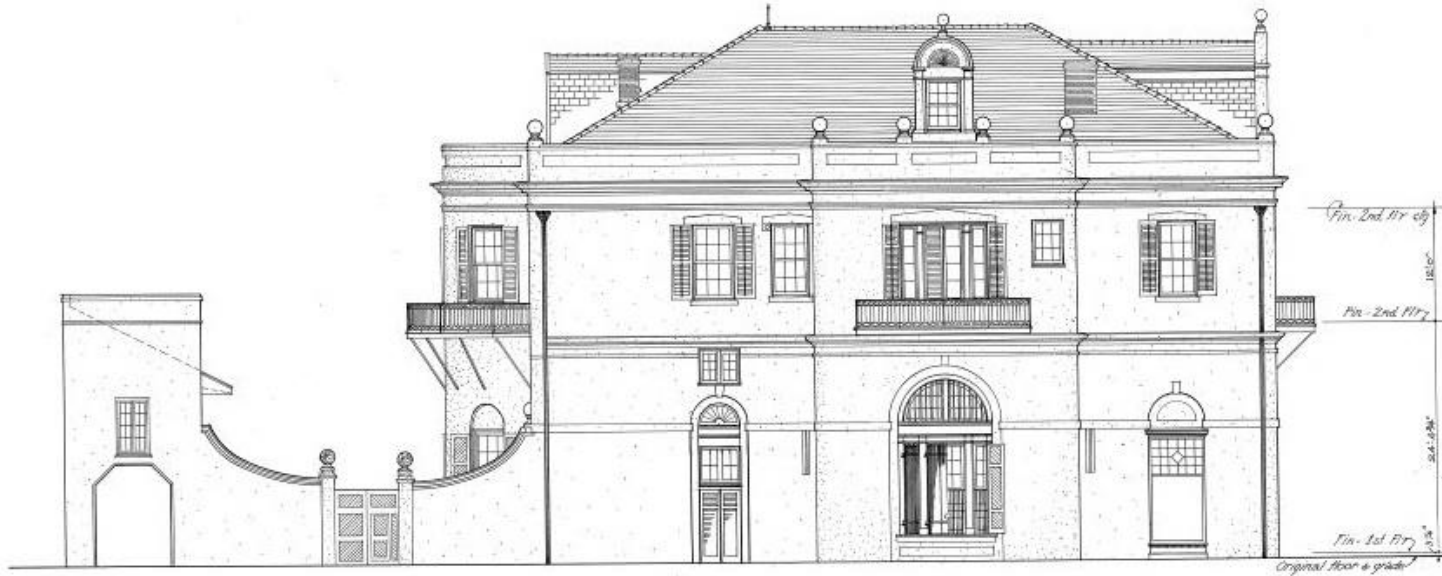
1934

403 Royal

Vieux Carré Commission

October 8, 2024





CONTI ST. ELEVATION

Scale: 1/8" = 1'-0"

S.W.

Notes

For exterior finish, roofing materials and ornamental work - see sheet #4.
 Exterior walls of outbuilding are cemented over brick the same as main building. Roof is laid with blue slates.
 The wood gates to courtyard from street are of cypress.
 The ornamental balls above the gateway are of white marble.
 The two openings in outbuilding on Conti Street elevation are new.
 The exterior walls of main building above band moulding at first floor level are marked off very faintly to represent stone coursing.

M. H. Dowling, del.

SCALE



U.S. DEPARTMENT OF THE INTERIOR
 OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS
 BRANCH OF PLANS AND DESIGN

LOUISIANA STATE BANK

NAME OF STRUCTURE

ROYAL & CONTI STS
 NEW ORLEANS, LA.



SURVEY NO.
 18-8
 June 12, 1934

HISTORIC AMERICAN
 BUILDINGS SURVEY
 SHEET 3 OF 13 SHEETS

INDEX NO.

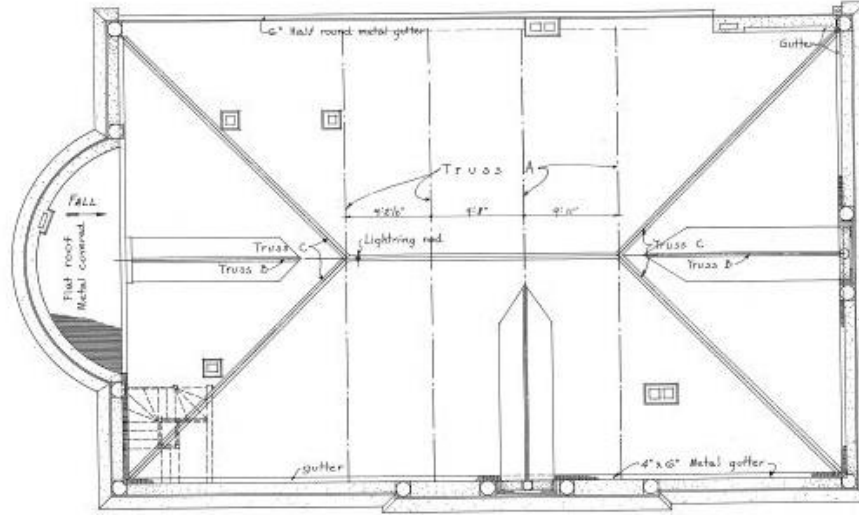
403 Royal

1934

Vieux Carré Commission

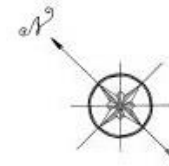
October 8, 2024





ROOF PLAN
Scale: 1/8" = 1'-0"

Notes.
 Roof is covered with 18 1/2" x 24" purple slates - varying in thickness from 3/16" to 3/8" and laid 9 3/4" to the weather.
 Roofs of dormers are as above - Sides of dormers are covered with green slates in 5/8" sizes approximately as above.
 The gullies continue through the dormers - All metal work is of galv. iron.
 All ridges are laid with tapered terra cotta tiles 21" x 18 1/2" tapering to 6 1/4".
 All chimneys are of common brick.
 Dotted lines indicate trusses - See detail on sheet no. 11.



H. H. DOWLING, DEL.

U.S. DEPARTMENT OF THE INTERIOR
 OFFICE OF NATIONAL PARKS, BUILDINGS, AND RESERVATIONS
 BRANCH OF PLANS AND DESIGN

NAME OF STRUCTURE

LOUISIANA STATE BANK

ROYAL & CONTI STS
 NEW ORLEANS, LA



SURVEY NO.
 16-8
 NOV-12, 1934

HISTORIC AMERICAN
 BUILDINGS SURVEY
 SHEET 3 OF 15 SHEETS

INDEX NO.

403 Royal

Vieux Carré Commission

1934



October 8, 2024





403 Royal

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October 8, 2024





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403 Royal

Vieux Carré Commission

October 8, 2024





403 Royal

Vieux Carré Commission

October 8, 2024





403 Royal

Vieux Carré Commission

October 8, 2024



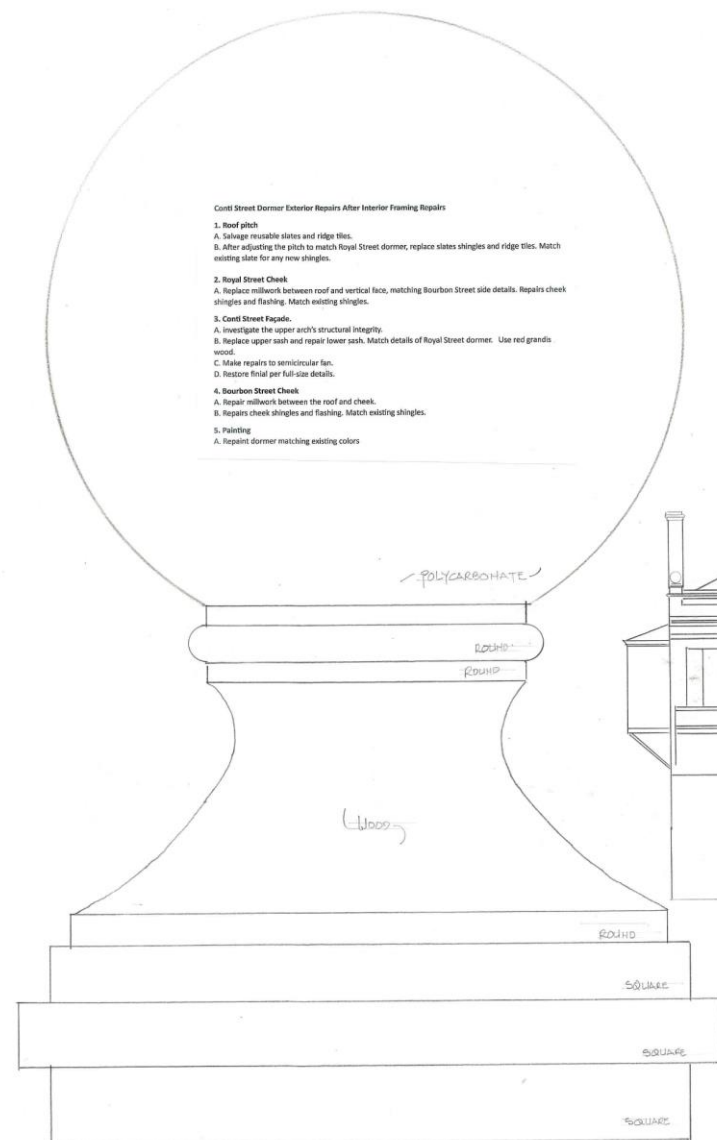


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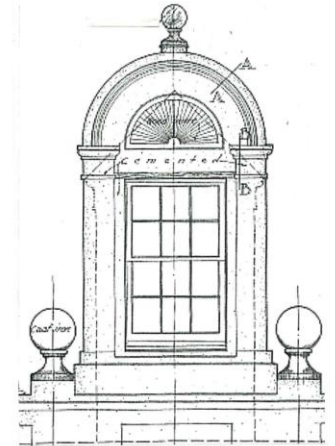
Vieux Carré Commission

October 8, 2024

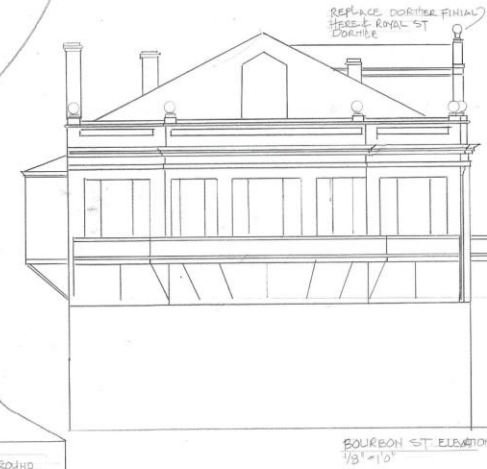




- Conti Street Dormer Exterior Repairs After Interior Framing Repairs**
- 1. Roof pitch**
 - A. Salvage reusable slates and ridge tiles.
 - B. After adjusting the pitch to match Royal Street dormer, replace slates shingles and ridge tiles. Match existing slate for any new shingles.
 - 2. Royal Street Cheek**
 - A. Replace millwork between roof and vertical face, matching Bourbon Street side details. Repairs cheek shingles and flashing. Match existing shingles.
 - 3. Conti Street Façade**
 - A. Investigate the upper arch's structural integrity.
 - B. Replace upper sash and repair lower sash. Match details of Royal Street dormer. Use red grands wood.
 - C. Make repairs to serriercular fan.
 - D. Restore finial per full-size details.
 - 4. Bourbon Street Cheek**
 - A. Repair millwork between the roof and cheek.
 - B. Repairs cheek shingles and flashing. Match existing shingles.
 - 5. Painting**
 - A. Repaint dormer matching existing colors.

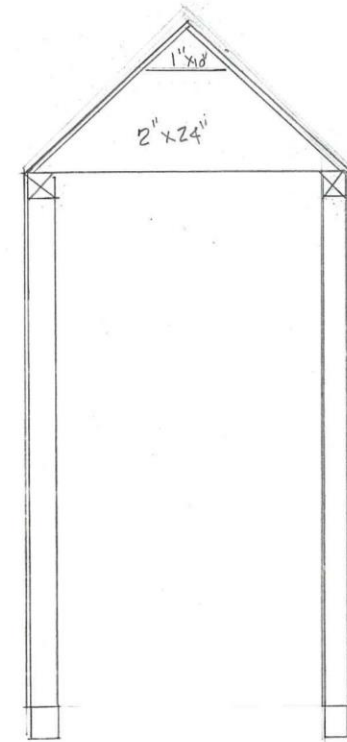
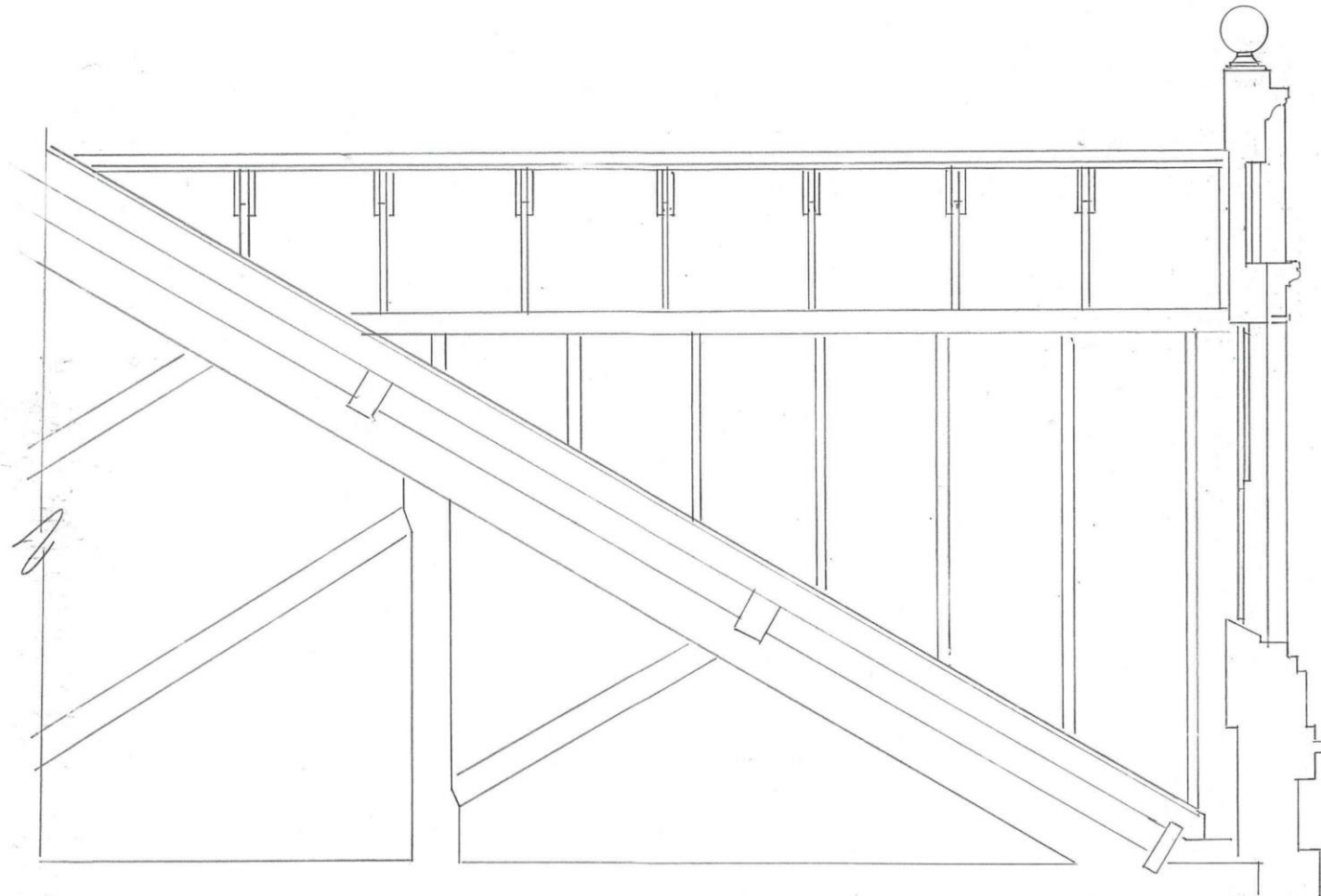


HABS DRAWING



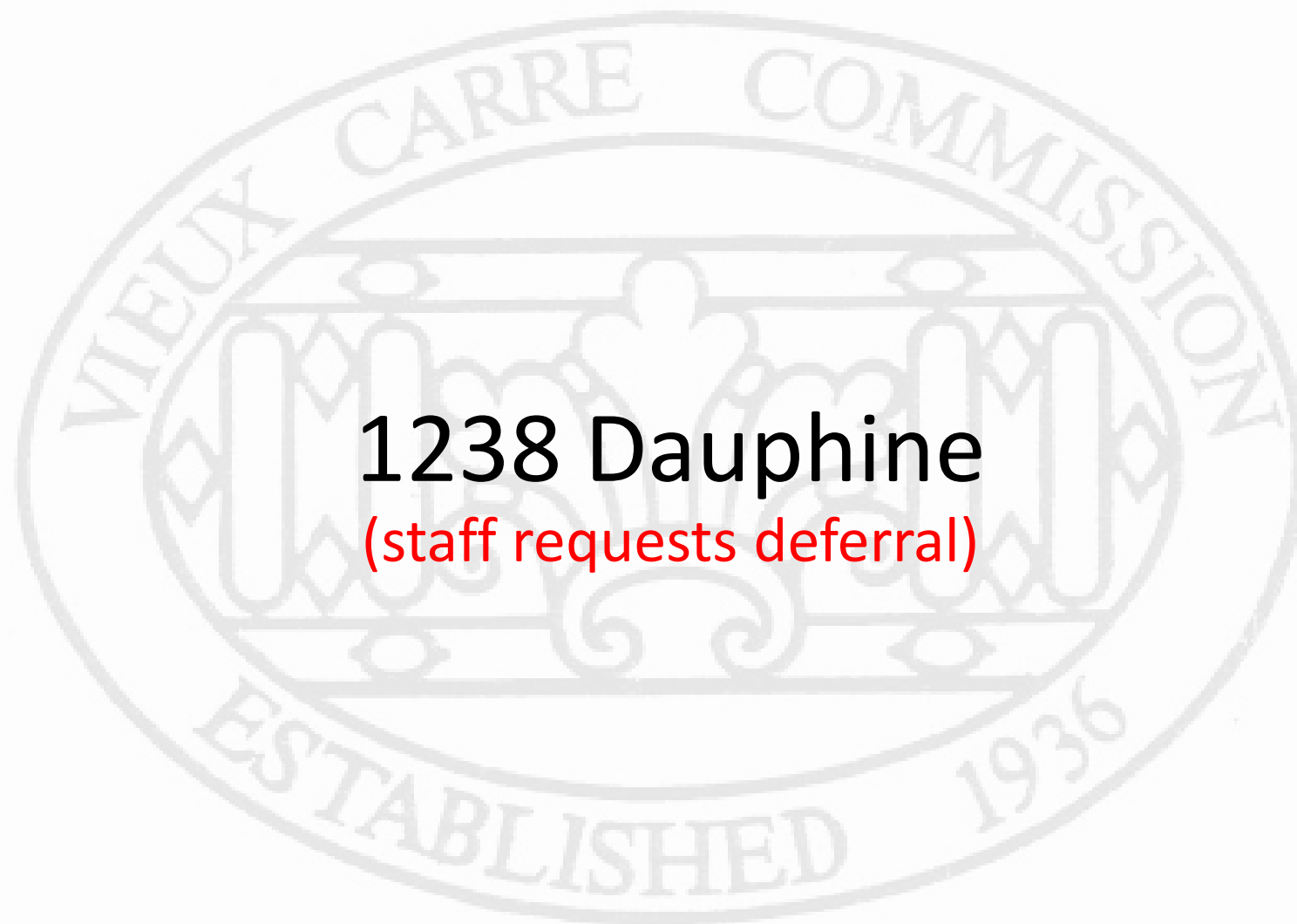
PORTRER FINIAL FULL SIZE

29 AUG 2024
403 ROYAL STREET
KOCH & WILSON ARCHITECTS



REMOVE & SALVAGE SLATE &
 RIDGE TILES
 REMOVE & SALVAGE DECKING &
 ADJUST 1"X10" & 2"X24"
 MEMBERS FOR PROPER RIDGE
 LINE & SLOPE OF ROOF
 REPLACE DECKING, SLATE &
 RIDGE TILE

18 SEPT 2024
 403 ROYAL ST.
 KOCH & WILSON ARCH'S

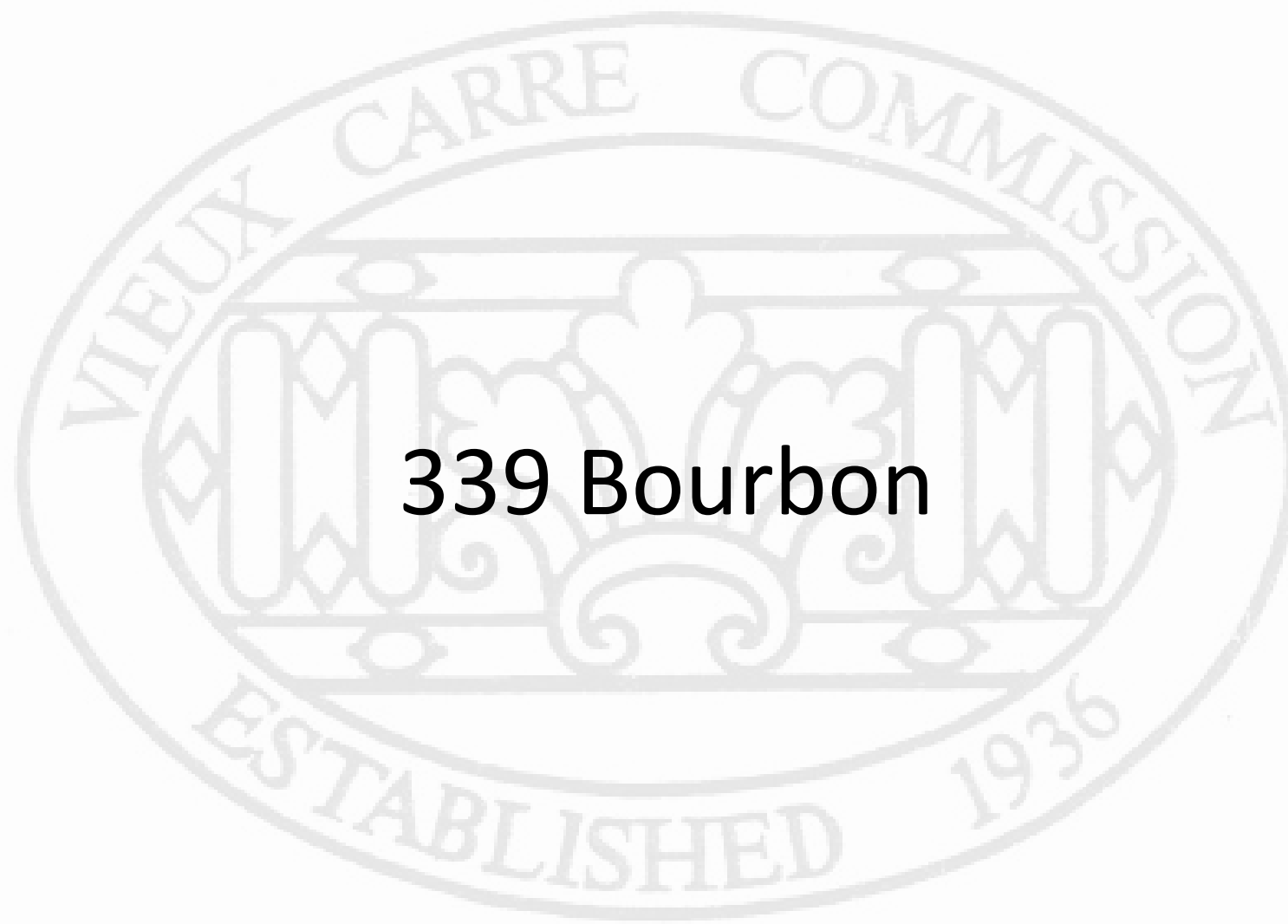


1238 Dauphine

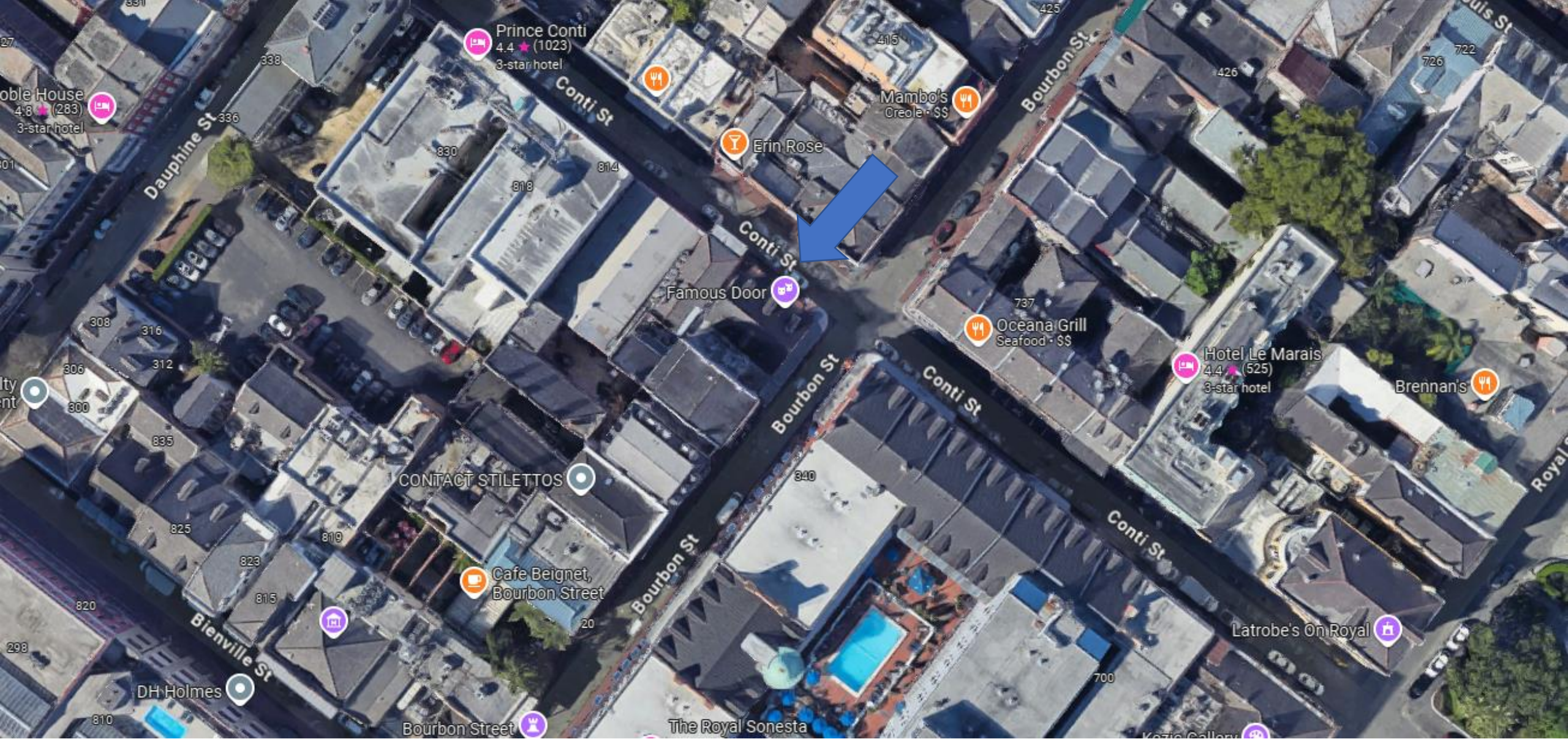
(staff requests deferral)



1240 Dauphine
(staff requests deferral)



339 Bourbon



339 Bourbon

VCC Architecture Committee

October 8, 2024





339 Bourbon

VCC Architecture Committee

October 8, 2024





339 Bourbon, ca. 1950

VCC Architecture Committee

October 8, 2024





339 Bourbon, 1963

VCC Architecture Committee

October 8, 2024





339 Bourbon

VCC Architecture Committee

10 07 2024

October 8, 2024





339 Bourbon

VCC Architecture Committee

10 07 2024

October 8, 2024





339 Bourbon

VCC Architecture Committee

October 8, 2024





339 Bourbon

VCC Architecture Committee

10 07 2024

October 8, 2024





339 Bourbon

VCC Architecture Committee

06 24 2024

October 8, 2024





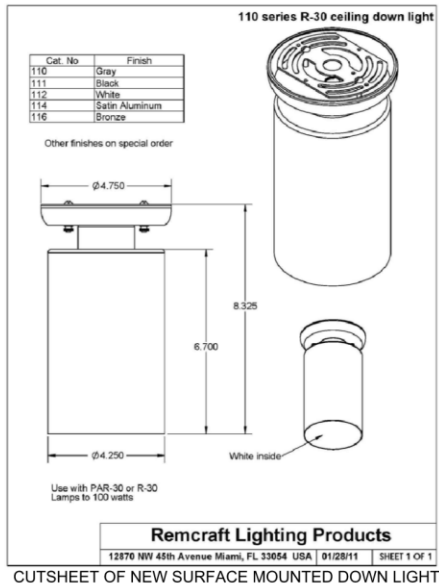
339 Bourbon

VCC Architecture Committee

06 24 2024

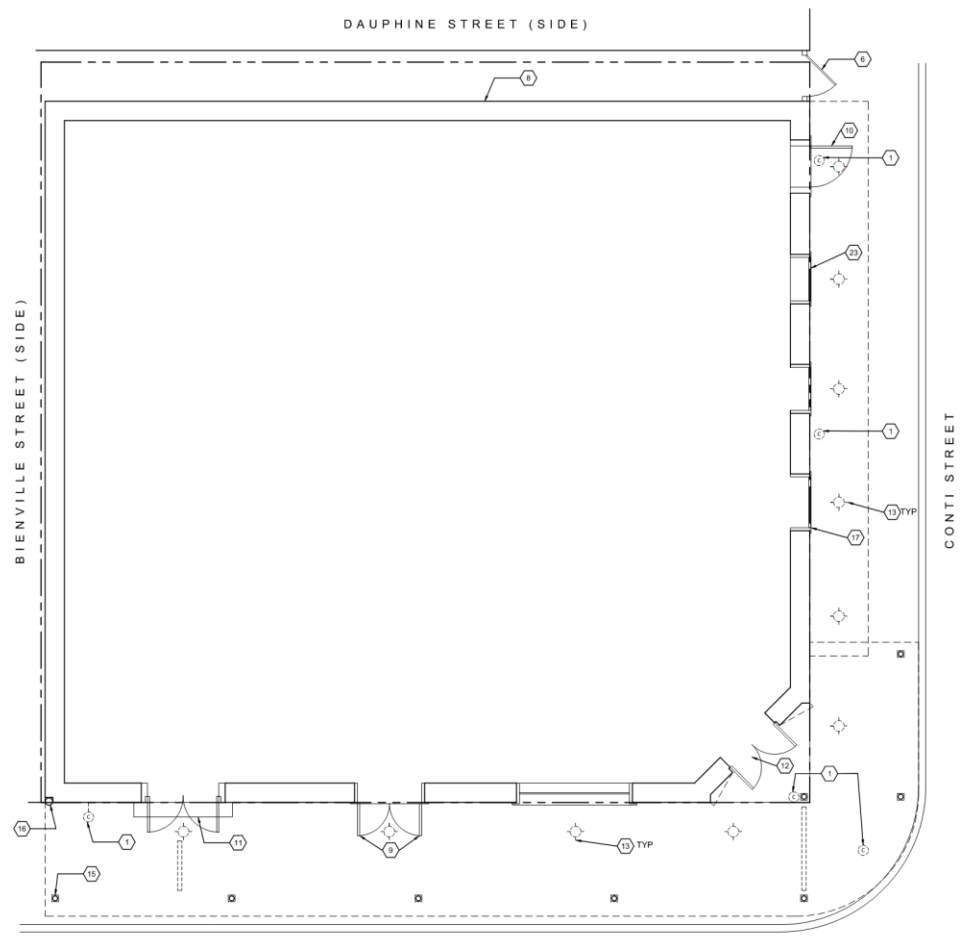
October 8, 2024



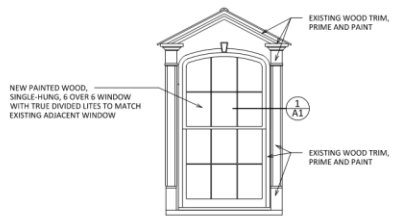


KEYNOTES:

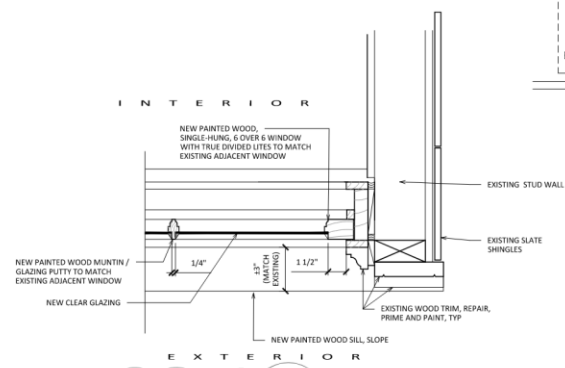
1. Retain security cameras. See attached specs.
2. Remove and replace sanding seam galvanized metal roof to match existing.
3. Remove sheet metal accessory vents from two (2) dormers.
4. Remove plywood from dormers and install single hung dormer wood windows, 6 over 6, to match existing, typ. @ two (2) dormers. Re: A/A1 and 1/A1
5. Paint walls, trim, doors, shutters, soffits, and fascias to match existing colors.
6. Remove solid steel sheeting from gate.
7. Remove unused wiring/conduits. Secure remaining wiring/conduits and paint to match building.
8. Remove and replace wood lap siding to match existing.
9. Repair door at bottom center corner and repair wood panels, or replace doors to match existing.
10. Repair door and panels at bottom, or replace door to match existing.
11. Repair or replace concrete steps. Remove pipe sleeves.
12. Remove LED strip lights at transom.
13. Remove unshielded and/or colored or string lights. Replace with Remcraft 110 Series downlight per cutsheet and Floor Plan, Sheet A1.
14. Replace loose or missing roof shingles to match existing.
15. Repair or replace wood column to match existing. Remove bracing.
16. Repair or replace downspout to match existing.
17. Repair or replace wood door frame, door, and hinge to match existing.
18. Repair or replace wood sleepers to match existing.
19. Repair or replace dormer trim, typ.
20. Repair or replace wood trim and soffit at side of canopy.
21. Remove misting system under canopy.
22. Remove projector on roof.
23. Remove and replace shutter hinge attachment method, i.e. remove exposed screws



EXISTING 1ST FLOOR BUILDING ENVELOPE PLAN / SITE PLAN
SC: 1/4" = 1'-0"



ENLARGED ELEVATION AT DORMER WINDOW
SC: 1/2" = 1'-0"



JAMB DETAIL (HEAD SIM.)
SC: 3" = 1'-0"

EXTERIOR MODIFICATIONS TO 339 BOURBON STREET
New Orleans, Louisiana 70130

LKHarmon Architects
A Professional Architectural Corporation
6238 Argonne Boulevard
New Orleans Louisiana 70124
504.485.6670 harmon@lkharchitects.com

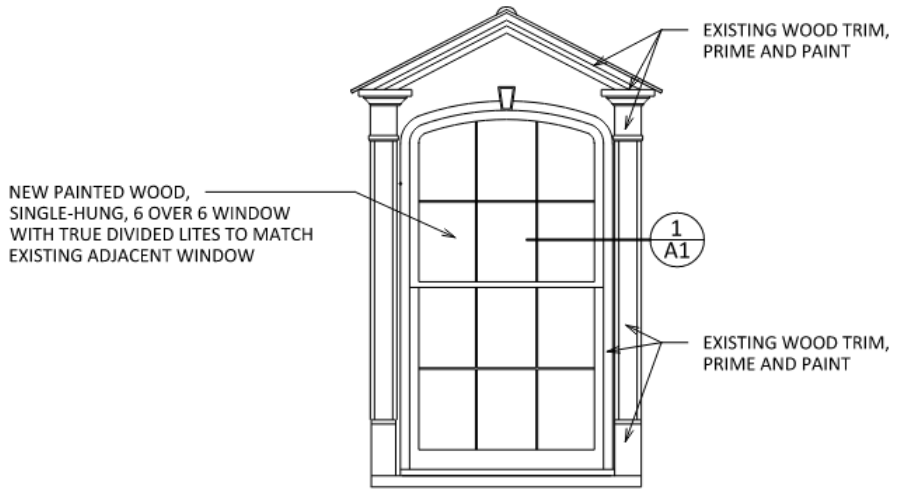
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10.3.2024 REV.	
LKH #4324	
24"x36" SHEET	



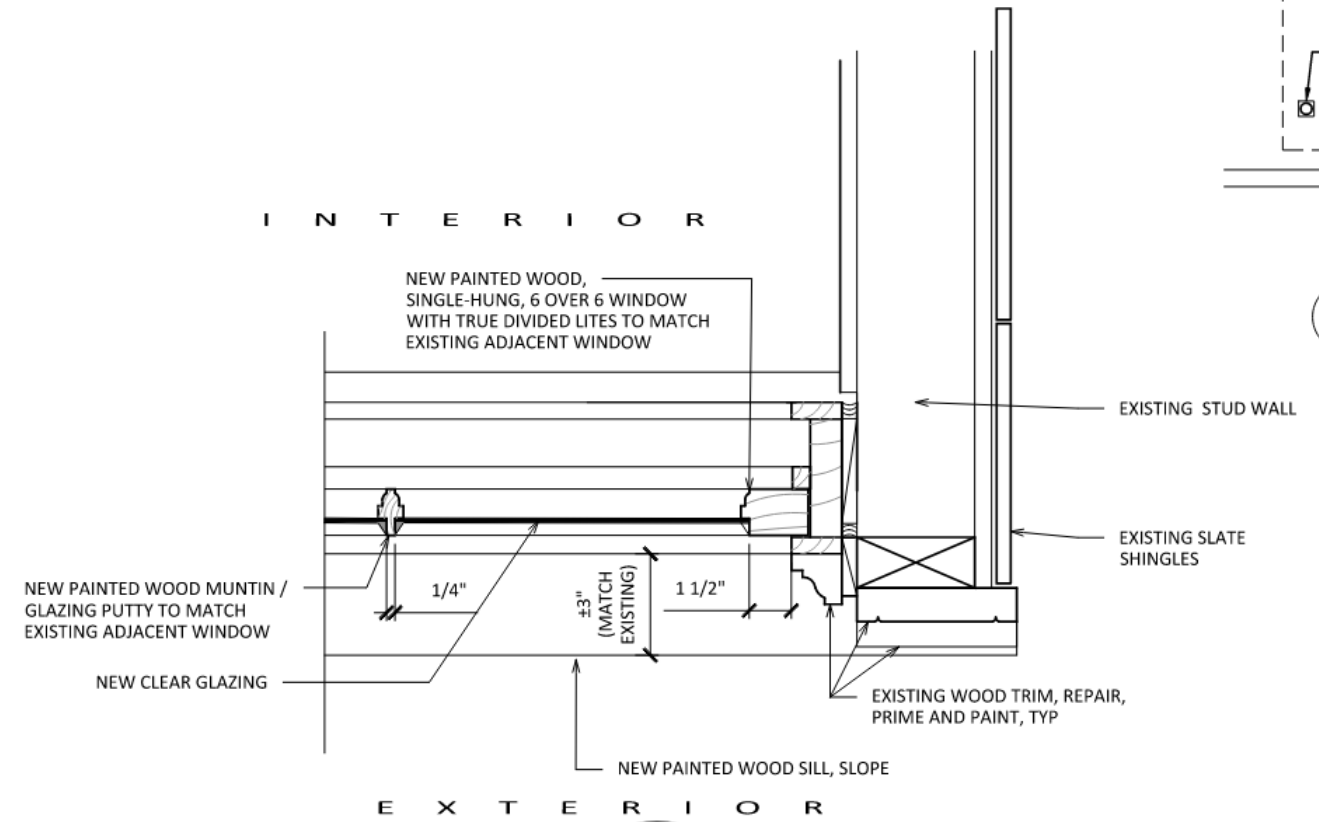
339 Bourbon

VCC Architecture Committee

October 8, 2024



ENLARGED ELEVATION AT DORMER WINDOW
 SC: 1/2" = 1'-0"

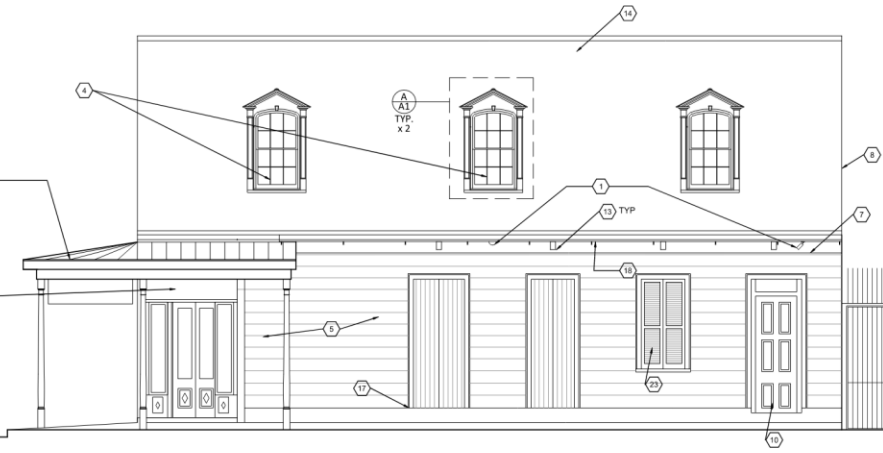


JAMB DETAIL (HEAD SIM.)
 SC: 3" = 1'-0"





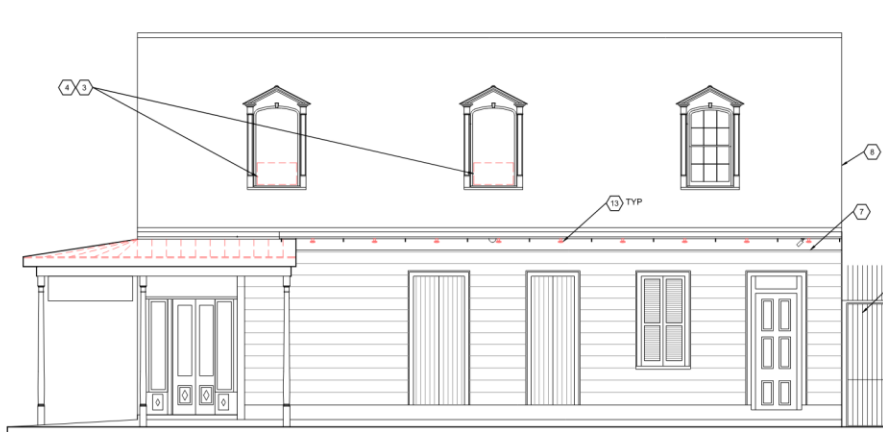
PROPOSED BOURBON STREET SIDE ELEVATION
 SC: 1/4" = 1'-0"



PROPOSED CONTI STREET SIDE ELEVATION
 SC: 1/4" = 1'-0"



EXISTING BOURBON STREET SIDE ELEVATION
 SC: 1/4" = 1'-0"



EXISTING CONTI STREET SIDE ELEVATION
 SC: 1/4" = 1'-0"

339 Bourbon

VCC Architecture Committee

EXTERIOR MODIFICATIONS TO
 339 BOURBON STREET
 New Orleans, Louisiana 70130



LKHarmen Architects
 A Professional Architectural Corporation
 6238 Argonne Boulevard
 New Orleans Louisiana 70124
 504.485.5870 lharmen@lkharmenarchitects.com

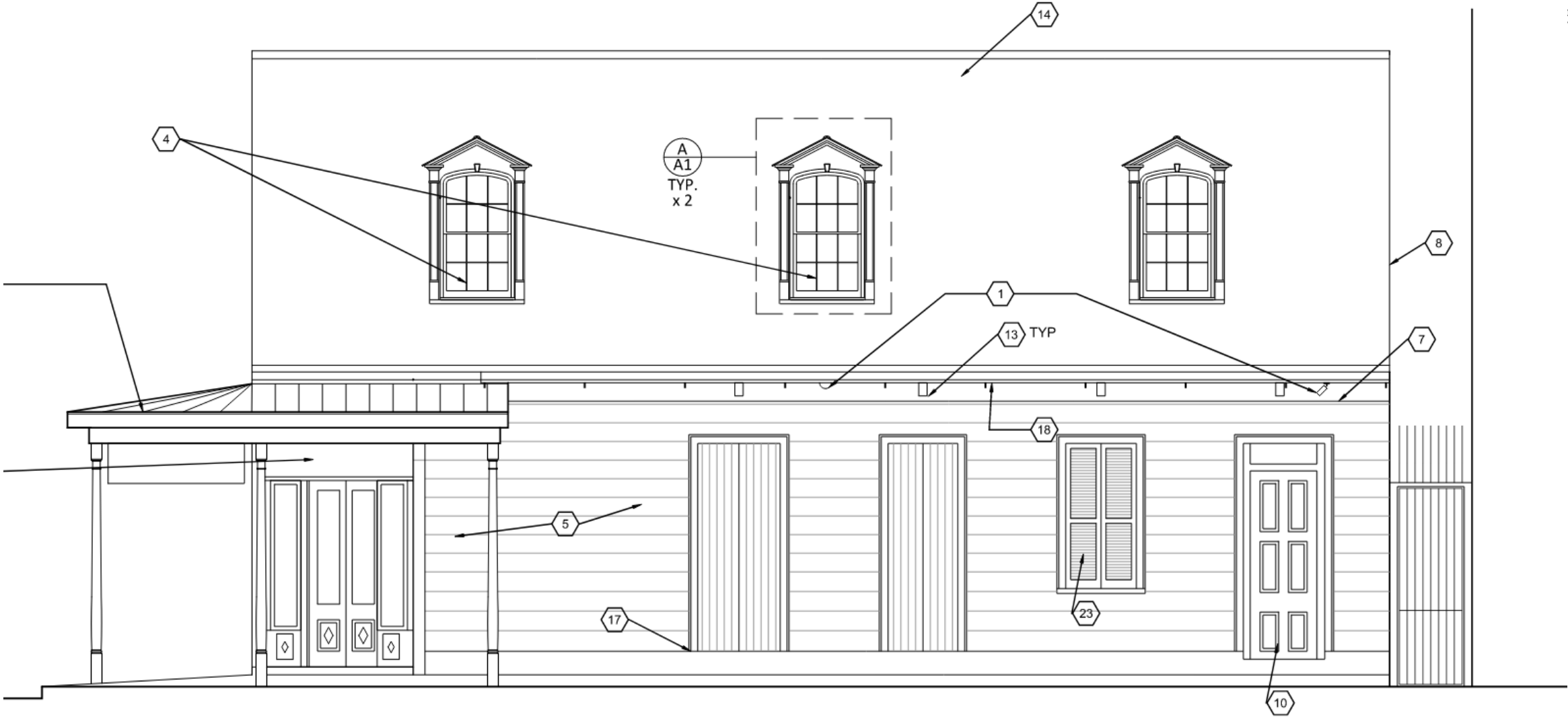
9.9.2024
 10.3.2024 REV.

A2

LKH #4324



October 8, 2024



PROPOSED CONTI STREET SIDE ELEVATION

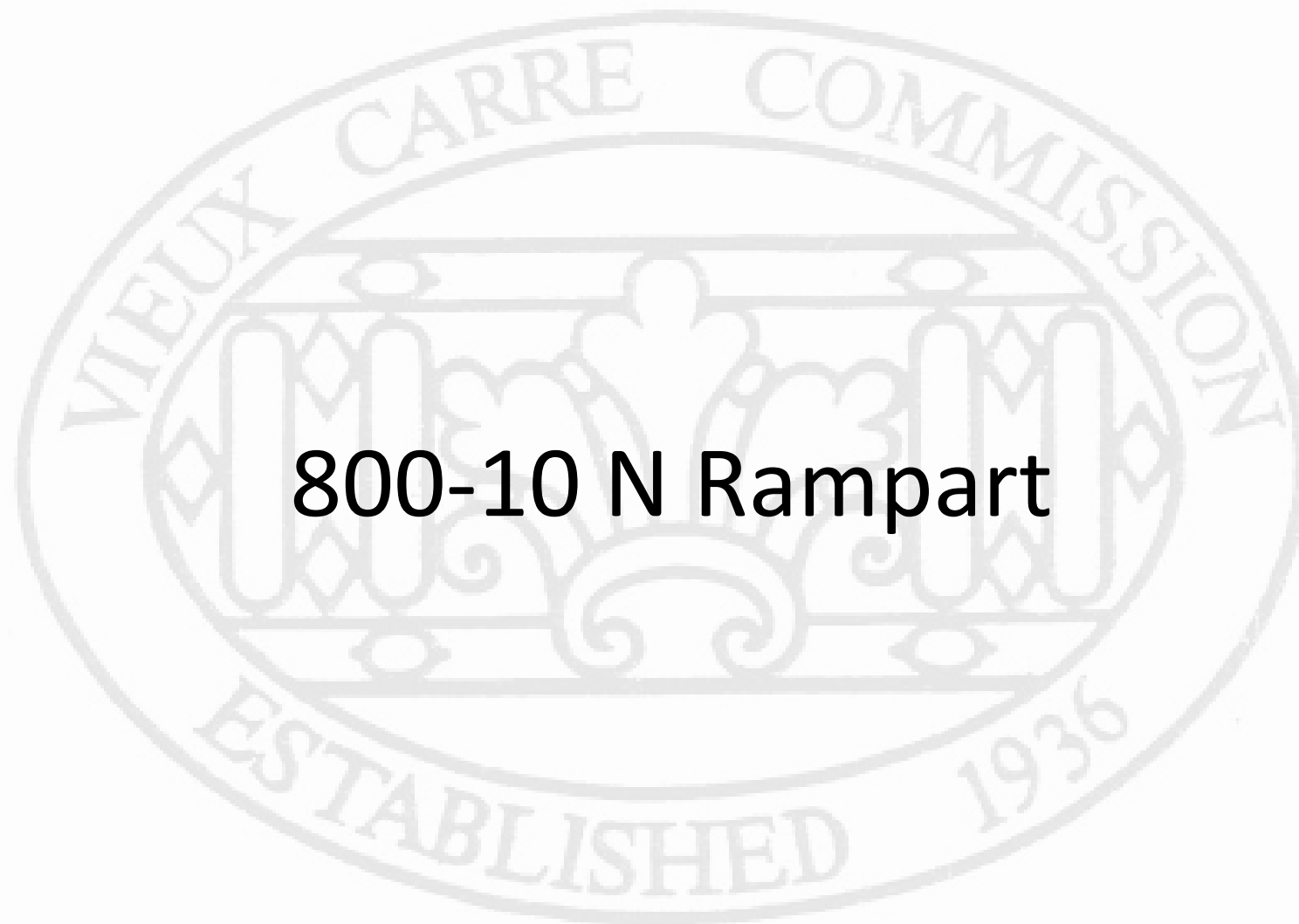
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339 Bourbon

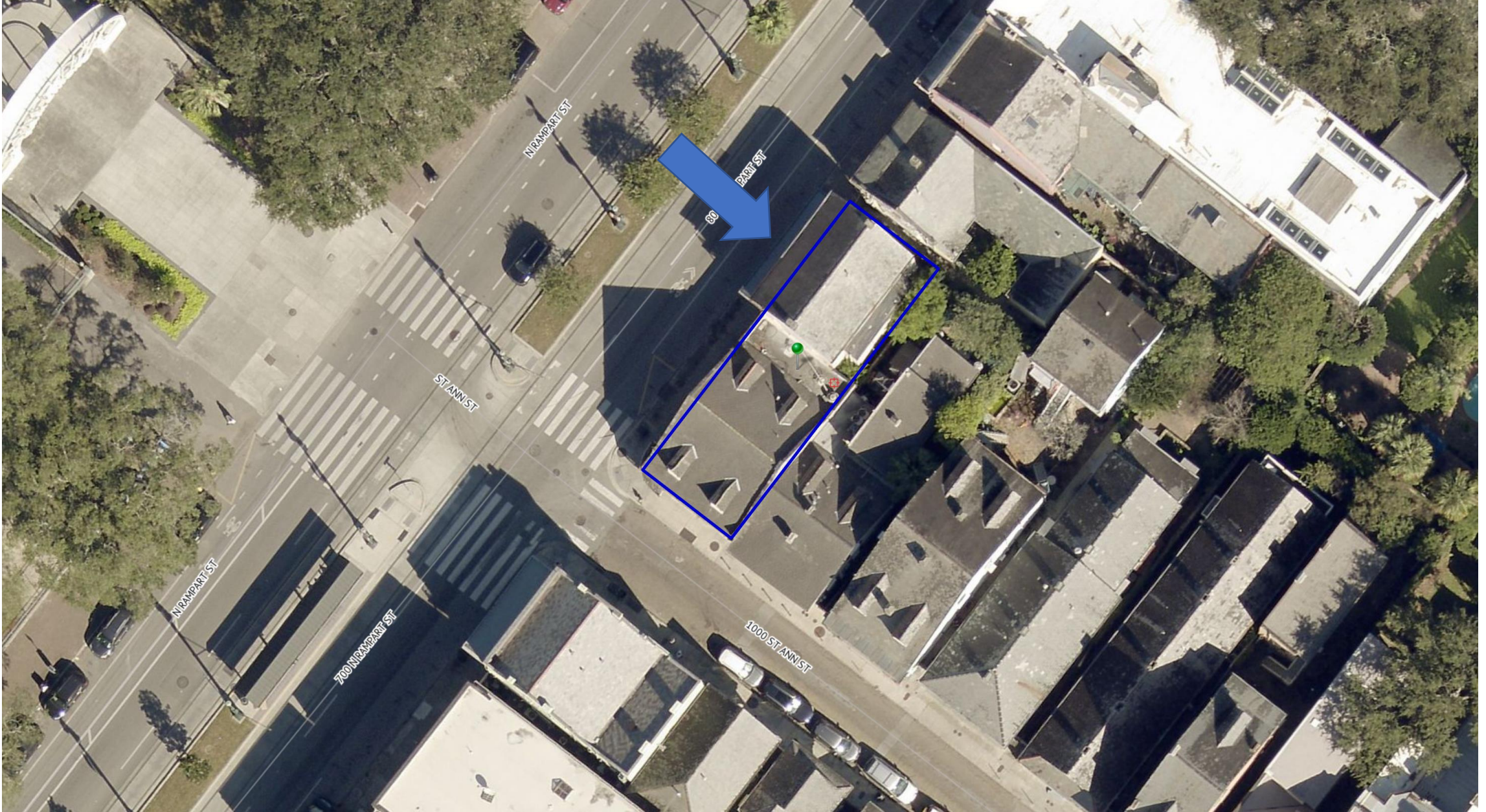
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October 8, 2024





800-10 N Rampart



810 N. Rampart

Vieux Carré Commission

October 8, 2024





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October 8, 2024





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 504-566-0888
 WILLIAMSARCHITECTS.COM

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-REVISIONS-

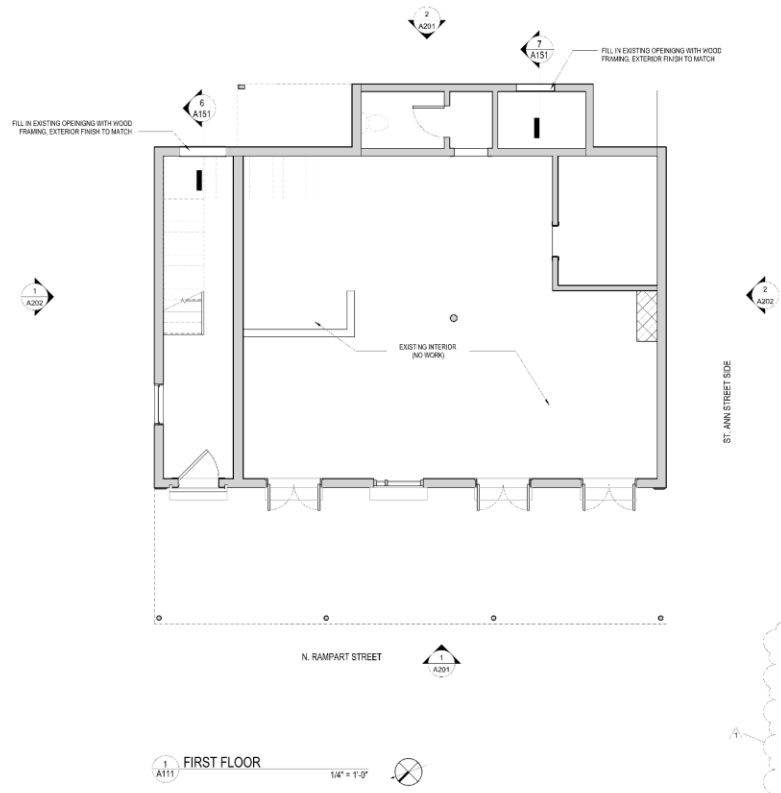
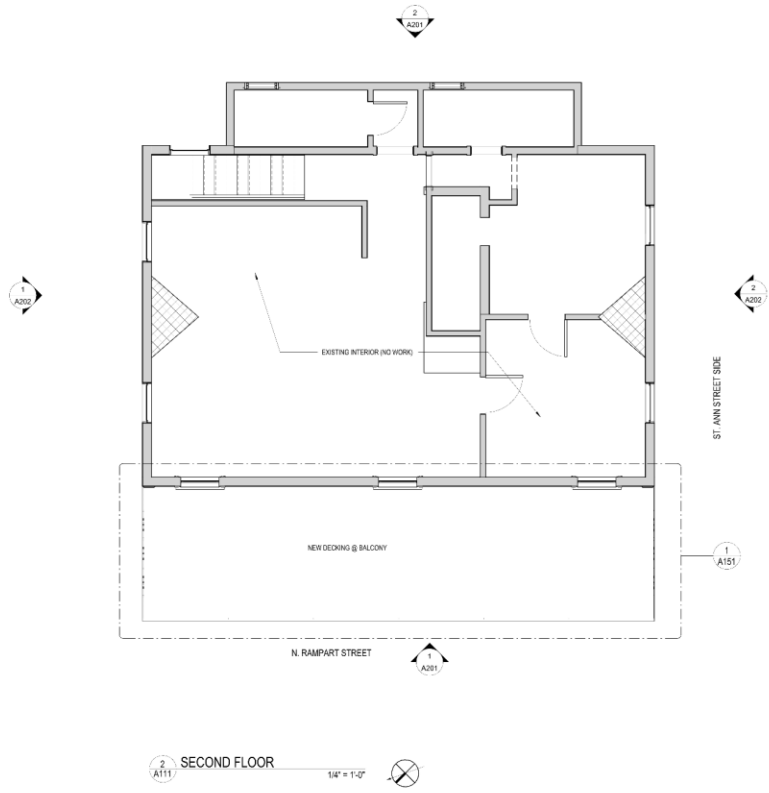
No.	Date	Scope
1	09/23/24	VCC REVS

DRAWING FLOOR PLANS

DRAWING BY: KL
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 JOB No.: 520086
 DATE: 08/23/2024
 Sheet No.

A111

9/24/2024 9:16:29 AM P:\520086.00 - 810 N Rampart\Drawings\04_REVISIONS\810 N Rampart.rvt



810 N. Rampart

Vieux Carré Commission

October 8, 2024





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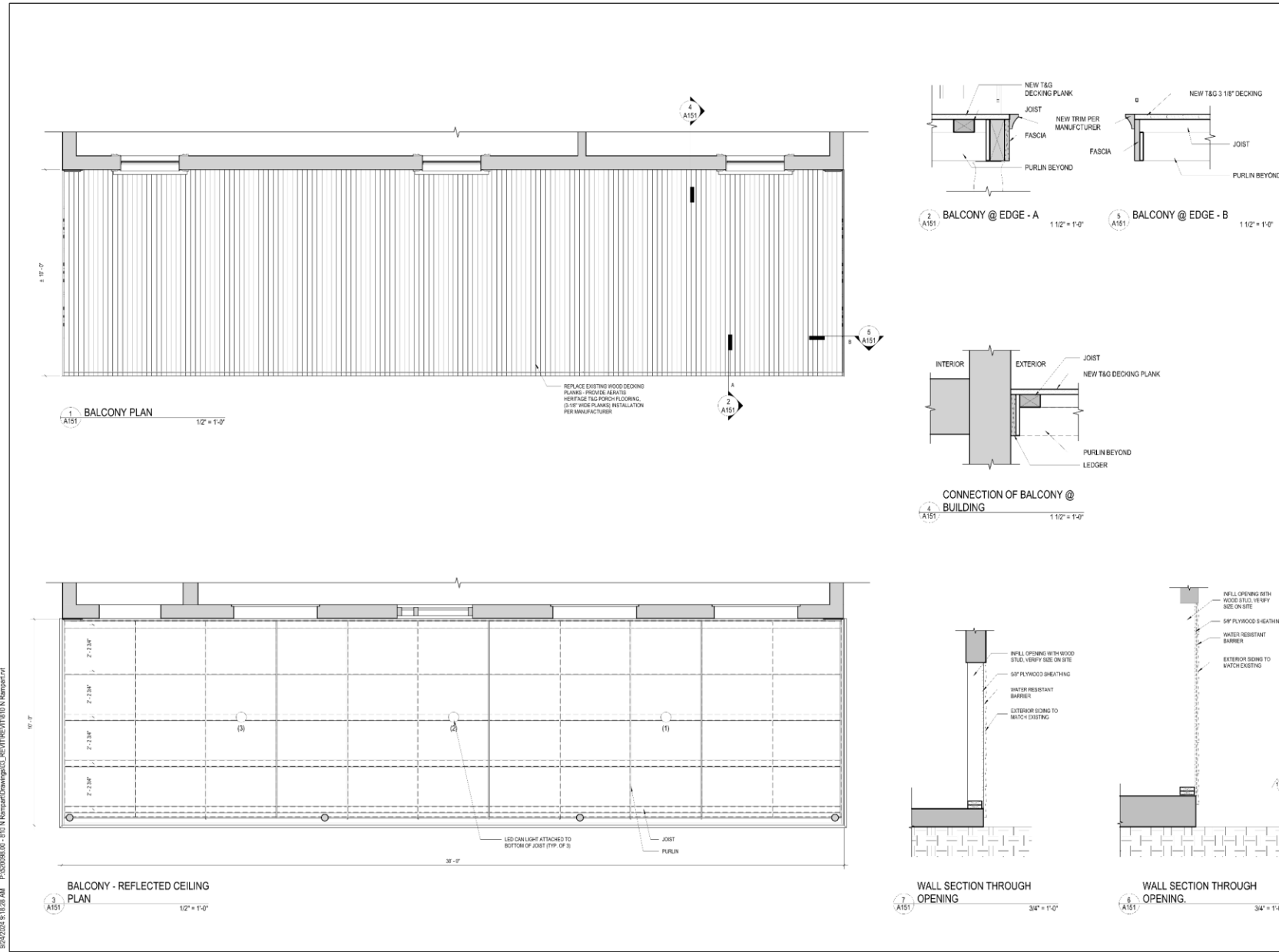
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No.	Date	Stops
1	09/23/24	VCC REVIS

DRAWING
 ENLARGED BALCONY PLAN
 AND DETAILS

DRAWING BY: **KL**
 SCALE: As Indicated
 JOB No: 200006
 DATE: 09/23/2024
 Sheet No.

A151



810 N. Rampart

Vieux Carré Commission

October 8, 2024



PROJECT INFORMATION AND SCOPE

ADDRESS
810 N RAMPART
NEW ORLEANS, LOUISIANA, 70116

OWNER
J & R Rental Properties L.L.C.
87 AP O Box 2005
New Orleans, LA 70152

LEGAL DESCRIPTION
50 103 LOT 1 N RAMPART AND ST ANN 50X32 808-10 N RAMPART STREET

ZONING CLASSIFICATION
VCC2 VUEUX CARRE COMMERCIAL DISTRICT

OCCUPANCY CLASSIFICATION
A-2 ASSEMBLY (RESTAURANT)

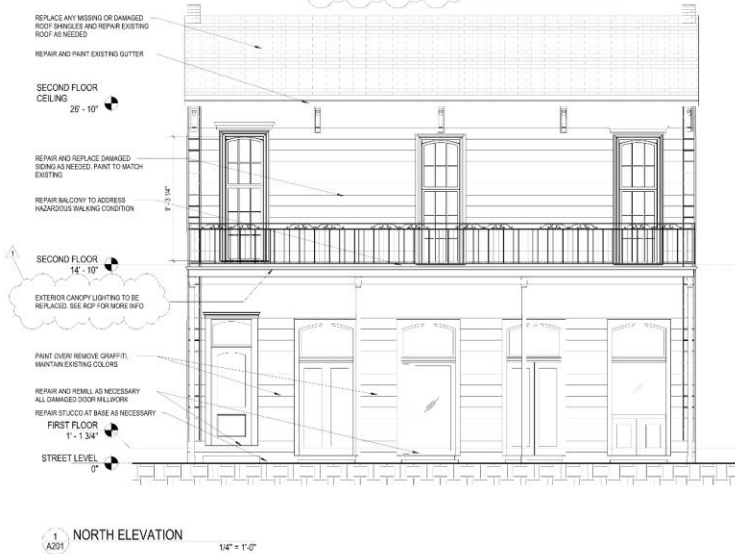
CONSTRUCTION TYPE
M

MAJOR APPLICABLE CODES & REGULATIONS
(NOT LIMITED TO ACCORDANCE WITH THE FOLLOWING)

- NFPA 101 LIFE SAFETY CODE, 2015 EDITION
- IBC 2015 EDITION
- IBC 2015 EDITION WITH CITY OF NEW ORLEANS AMENDMENTS
- LOUISIANA STATE PLUMBING CODE, 2015 EDITION
- AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES (2010 STANDARDS PUBLISHED JULY 24, 2004)
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL FIRE CODE
- 2016 NFPA 119 EMERGENCY & STANDBY POWER SYSTEMS
- 2017 NFPA 72 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 NATIONAL ELECTRIC CODE

VIOLATIONS TO BE ADDRESSED PER 22-51469.0(B)(V)(C):

- HAZARDOUS CONDITIONS BALCONY DAMAGE,
- DETERIORATION ROOF DAMAGE,
- DETERIORATION WINDOW DAMAGE,
- DETERIORATION DOOR DAMAGE,
- DETERIORATION PAINT
- DETERIORATION TRIM DAMAGE,
- DETERIORATION GUTTER,
- DOWNSCOUTS DAMAGE,
- DETERIORATION GRAFFITI,
- DOWNSCOUTS UNPAINTED
- WINDOW ALTERATIONS WITHOUT APPROVAL
- IMPERMISSIBLE LIGHT FIXTURES INSTALLED



1 NORTH ELEVATION 1/4" = 1'-0"

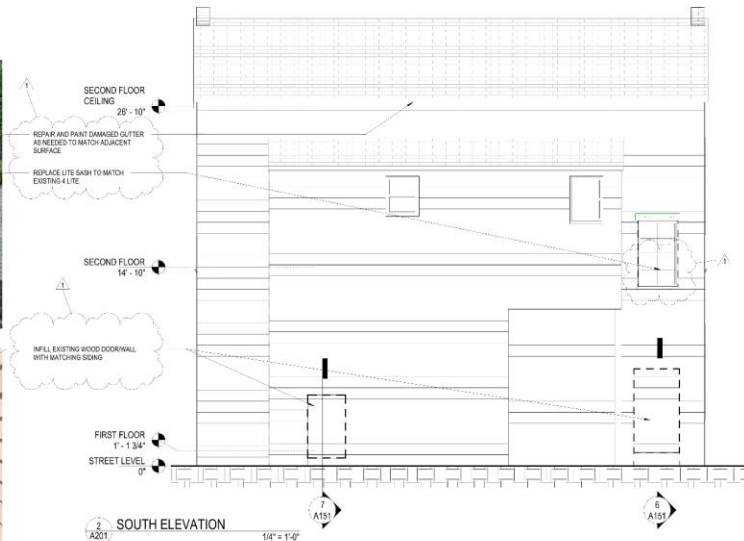
- REPAIR AND PAINT EXISTING GUTTER TO MATCH ADJACENT SURFACE
- ALL DOWNSCOUTS TO BE PAINTED TO MATCH ADJACENT SURFACES
- REMOVING EXISTING LIGHT FIXTURE
- PAINT OVER/REMOVE GRAFFITI/ MAINTAIN EXISTING COLORS



REPAIR BALCONY TO ADDRESS HAZARDOUS WALKING CONDITION



REPAIR AND REWELL AS NECESSARY ALL DAMAGED DOOR MILLWORK



2 SOUTH ELEVATION 1/4" = 1'-0"



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810 N RAMPART
NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope
1	09/23/24	VCC REVIS

DRAWING
EXTERIOR ELEVATIONS

DRAWING BY: KL
SCALE: 1/4" = 1'-0"
JOB No.: 520099
DATE: 09/23/2024
Sheet No.:

A201

810 N. Rampart

Vieux Carré Commission

October 8, 2024



PROJECT INFORMATION AND SCOPE

ADDRESS
810 N RAMPART
NEW ORLEANS LOUISIANA, 70116

OWNER:
J & R Rental Properties L.L.C
874 P.O. Box 2009
New Orleans, LA 70152

LEGAL DESCRIPTION
320 TO LOT 1 N RAMPART AND ST ANN 65X32 800-10 N. RAMPART STREET

ZONING CLASSIFICATION
VCC2 VIEUX CARRÉ COMMERCIAL DISTRICT

OCCUPANCY CLASSIFICATION
A-2 ASSEMBLY (RESTAURANT)

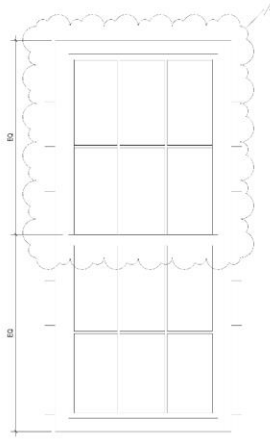
CONSTRUCTION TYPE
III-B

- MAJOR APPLICABLE CODES & REGULATIONS**
(NOT LISTED IN RECORDINGS WITH THE FOLLOWING)
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 - IBC 2018 EDITION WITH CITY OF NEW ORLEANS AMENDMENTS
 - IEBC 2018 EDITION
 - LOUISIANA STATE PLUMBING CODE, 2018 EDITION
 - AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES (2010 STANDARDS PUBLISHED JULY 24, 2004)
 - 2018 INTERNATIONAL PLUMBING CODE
 - 2018 INTERNATIONAL FIRE CODE
 - 2018 NFPA 118 EMERGENCY & STANDBY POWER SYSTEMS
 - 2017 NFPA 72 NATIONAL ELECTRICAL CODE
 - 2018 INTERNATIONAL MECHANICAL CODE
 - 2015 NATIONAL ELECTRIC CODE

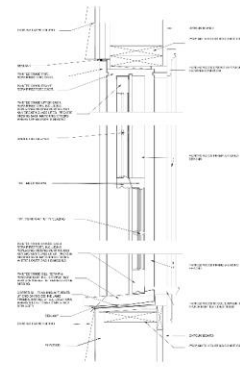
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- DETERIORATION ROOF DAMAGE
- DETERIORATION WINDOW DAMAGE
- DETERIORATION DOOR DAMAGE
- DETERIORATION PAINT
- DETERIORATION SHUTTERS DAMAGE
- DETERIORATION TRIM DAMAGE
- DETERIORATION GUTTERS
- DOWNSPOUT DAMAGE
- DETERIORATION GRAPPEL
- DOWNSPOUTS UNPAINTED
- WINDOW ALTERATIONS WITHOUT APPROVAL
- IMPERMISSIBLE LIGHT FIXTURES INSTALLED

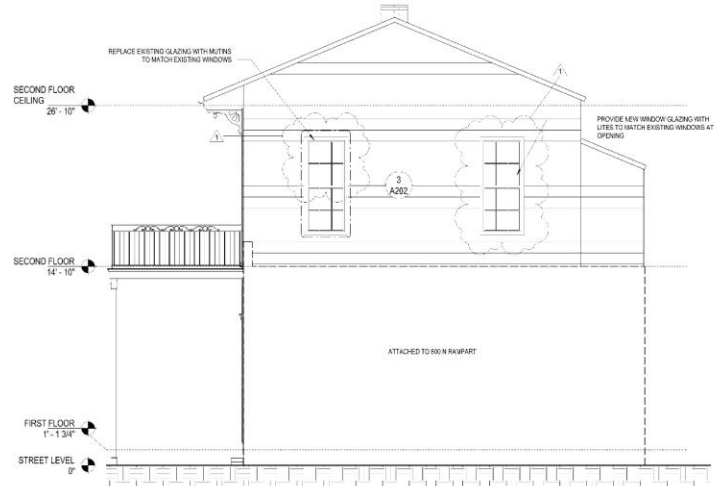
NO CHANGES TO INTERIOR BEYOND NECESSARY FOR ROOF STRUCTURE OR PENETRATION. NO CHANGES TO EXTERIOR DESIGN OR STYLE. DOOR OR WINDOW SIZE OR POSITION. NO ADDITIONAL SQUARE FOOTAGE ADDED. ALL EXISTING FEATURES INCLUDING MILLWORK AND HARDWARE TO REMAIN, BE REPAIRED OR MILLED TO MATCH EXISTING. DRAWINGS ARE REPRESENTATIVE OF EXISTING STRUCTURE AND DO NOT PROPOSE NEW FEATURES OR WORK OTHER THAN VIOLATION ABATEMENT.



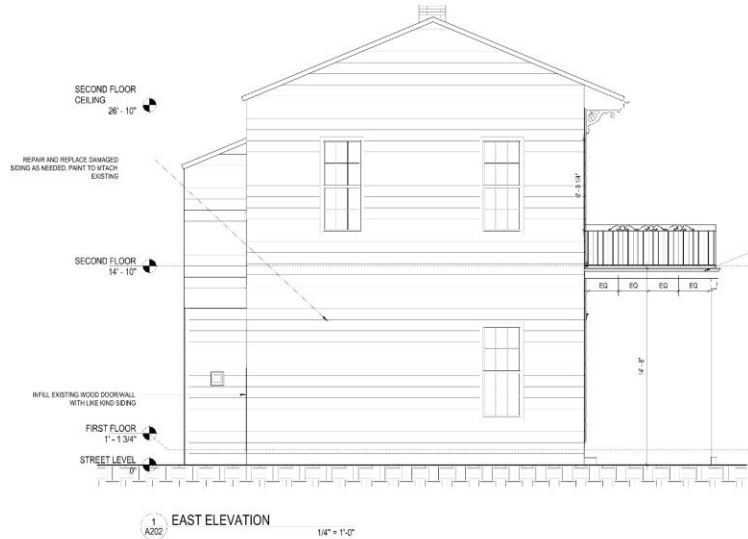
3 WEST ELEVATION - WINDOW
1/4" = 1'-0"



4 WOOD WINDOW DETAIL
1 1/2" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

SHUTTERS TO BE REPAIRED AND REPAINTED AS NECESSARY
REPAINT BALCONY FASCIA



8/24/2024 9:18:33 AM P:\2023\810 N Rampart\Drawings\A202.dwg (1/1) 810 N Rampart



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800 N RAMPART REMODEL
810 N RAMPART
NEW ORLEANS, LA 70116

-REVISIONS-

No.	Date	Scope
1	09/23/24	VCC REVIS

DRAWING
EXTERIOR ELEVATIONS

DRAWING BY: KCL
SCALE: As Indicated
JOB NO.: 200098
DATE: 09/23/2024
Sheet No.

A202

810 N. Rampart

Vieux Carré Commission

October 8, 2024

