

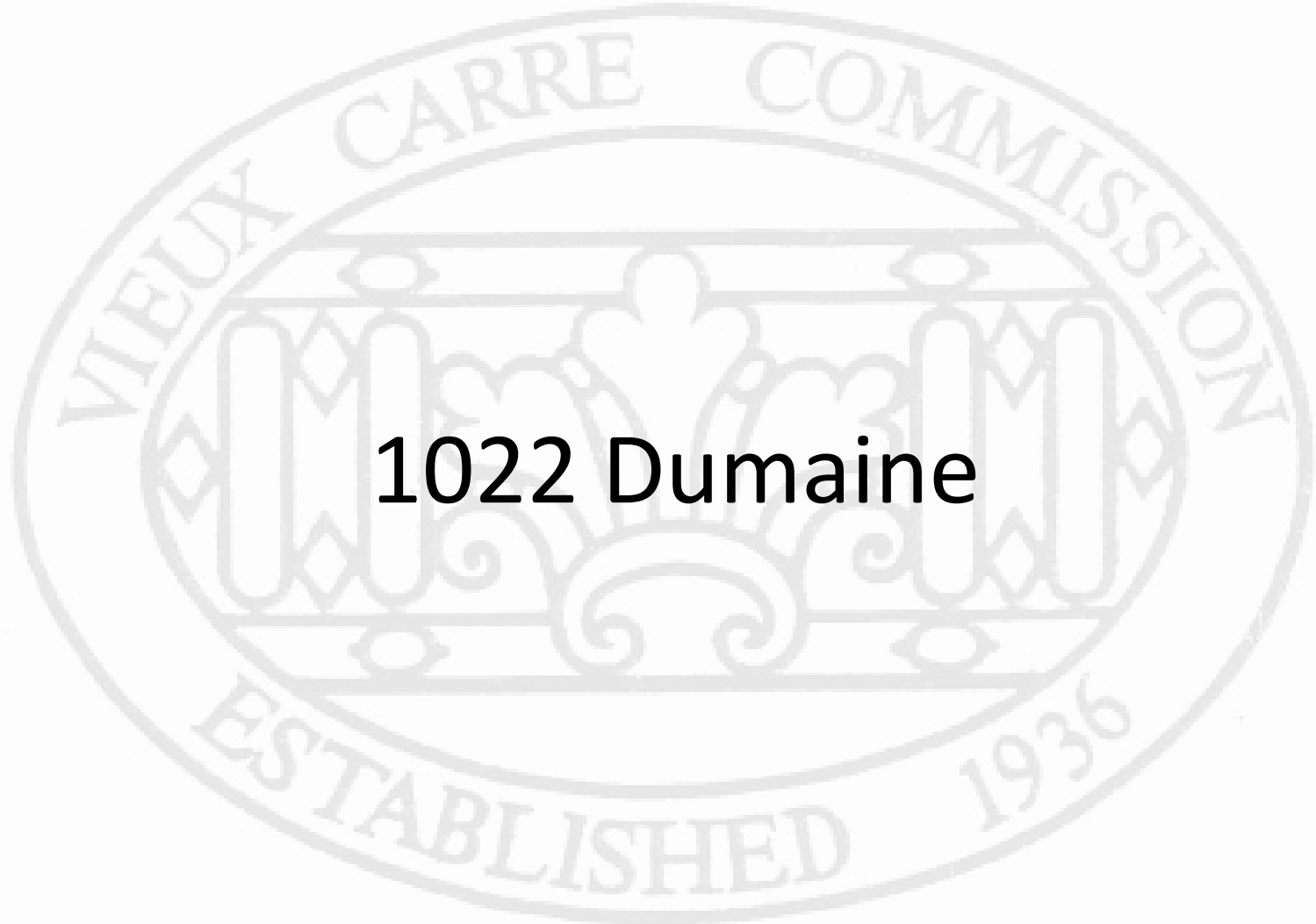


Vieux Carré Commission Architecture Committee Meeting

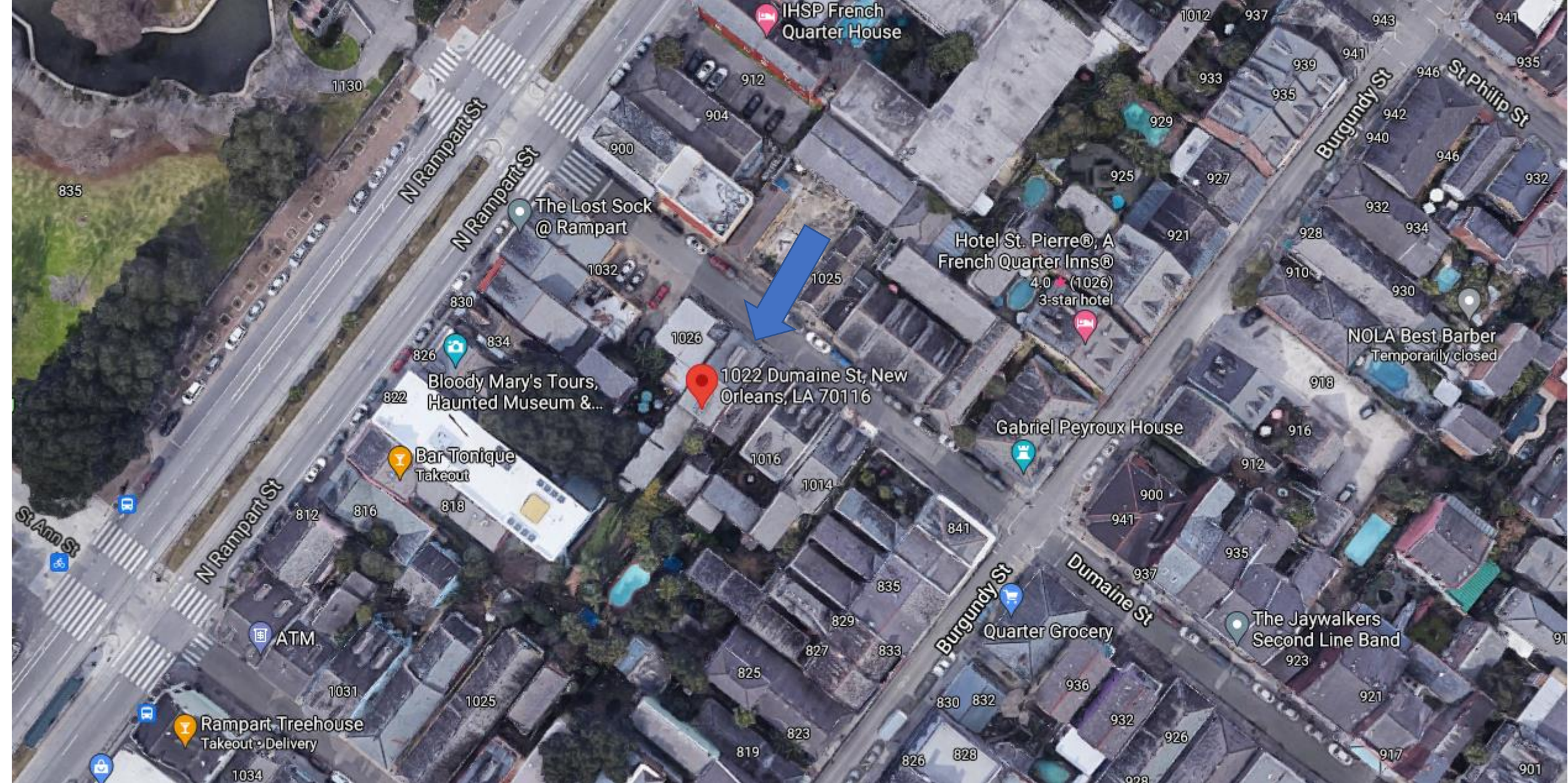
Tuesday, April 9, 2024



Old Business



1022 Dumaine



1022 Dumaine

VCC Architecture Committee

April 9, 2024





1022 Dumaine

VCC Architecture Committee

April 9, 2024





1022 Dumaine

VCC Architecture Committee

April 9, 2024





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April 9, 2024



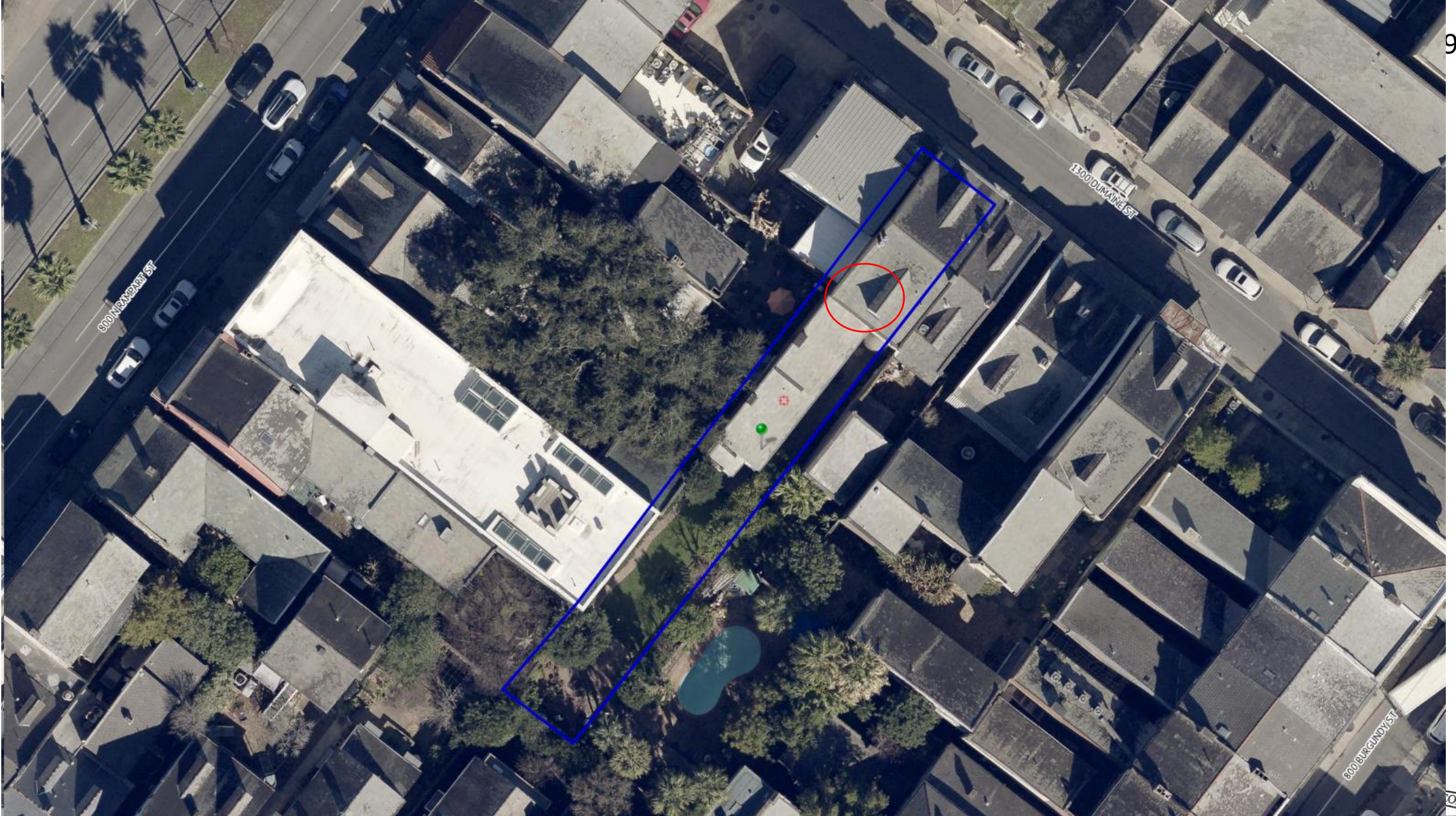


1022 Dumaine

VCC Architecture Committee

April 9, 2024





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GENERAL STRUCTURAL NOTES

I. GENERAL

- A. Contractor Responsibility - Construction documents represent the finished structure. Contractor is responsible for construction means, methods, sequences and safety precautions, including but not limited to shoring and temporary bracing.
- B. Omissions & Conflicts - Omissions or conflicts between various elements of the construction documents should be brought to the attention of the design team. If certain features are not fully delineated in the construction documents, their construction shall be of the same character as for similar conditions that are delineated.
- C. Existing Conditions - The Contractor shall verify the existing conditions and dimensions in the field. The Contractor shall report any discrepancies between the drawings and the actual existing conditions and dimensions to the Engineer.

II. DESIGN BASIS

- A. Applicable Codes and Standards
International Building Code 2021
ASCE 7-2016

B. Design Loads

Mechanical Platform	
Live Load	50 psf
Dead Load	10 psf

Roof	
Live Load	20 psf
Dead Load	16 psf

Attic	
Live Load	30 psf
Dead Load	5 psf

Wind Load

The criteria is based on ASCE 7-2016 Minimum Design Loads for Buildings and Other Structures.

Basic Wind Velocity	143 mph
Risk Category	II
Exposure	B

III. MATERIALS

A. STRUCTURAL STEEL

All detailing, fabrication and erection of structural steel shall conform to AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, the AWS D1.1 Structural Welding Code and meet the following requirements:

- Steel Channels, Angles, Rods and Plates - ASTM A 36, yield strength 36 ksi except where noted otherwise in sections.
- Pipe - ASTM A 53 Grade B.
- Welding Materials - E70XX.

All welding by certified welders and in accordance with AWS D1.1, structural welding code. All electrodes used for submerged arc and shielded metal arc welding shall be compatible with the structural steel as specified in AWS and AISC.

Mechanical Platform
All structural steel shall be hot dipped galvanized.
MINICHOLS GR-100 1" x 3/16" Grating - Hot Dipped Galvanized.

IV. MISCELLANEOUS

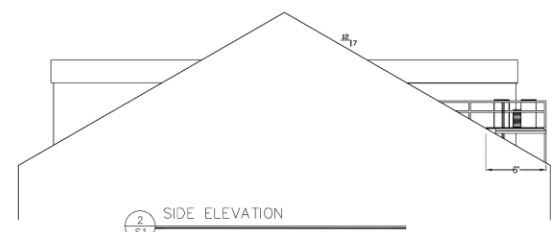
- No change in size or dimension of structural members shall be made without the written approval of the professional of record.
- The contractor is responsible for limiting the amount of construction load imposed upon structural framing. Construction loads shall not exceed the design capacity of the framing at the time the loads are imposed.
- The structure is designed to function as a unit upon completion. The contractor is responsible for furnishing all temporary bracing and/or support that may be required as the result of the contractor's construction methods and/or sequences.
- The contractor shall inform the professional of record in writing of any deviation from the contract documents. The contractor shall not be relieved of the responsibility of such deviation by the professional of record review of shop drawings, product data, etc., unless the contractor has specifically informed the professional of record of such deviation at the time of submission, and the professional of record has given written approval to the specific deviation.

V. QUALITY CONTROL

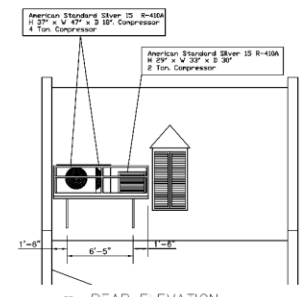
- A. The following work requires tests and/or inspections for specific requirements see specification.
 - Structural Steel Welding
- B. A partial listing of required structural submittals follows. Consult the specification for a complete listing of submittal requirements.
 - Structural Steel
- C. No work shall be done without testing laboratory/inspectors knowledge.



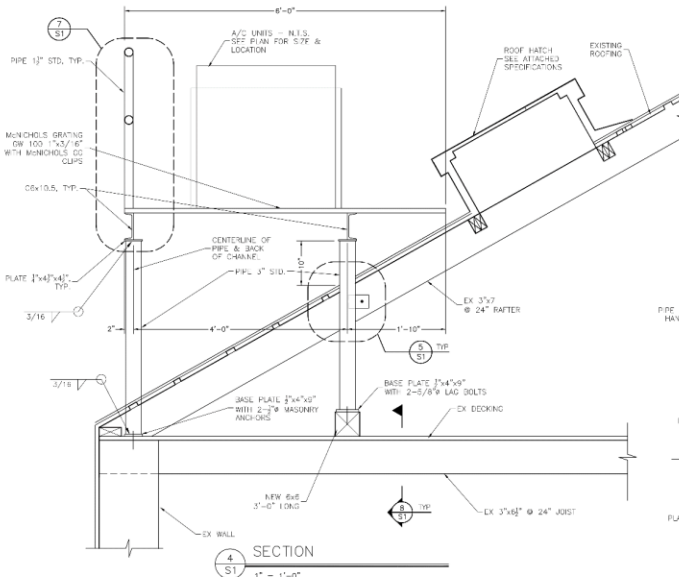
1 ROOF PLAN/MECHANICAL PLATFORM PLAN
3/16" = 1'-0"



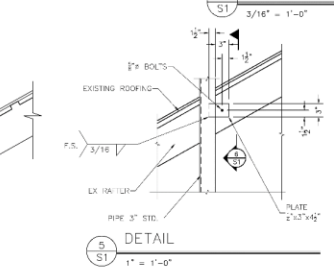
2 SIDE ELEVATION
3/16" = 1'-0"



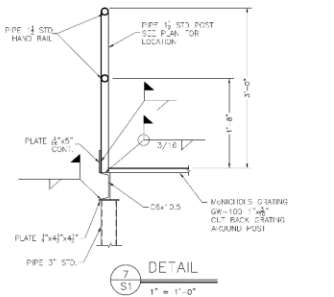
3 REAR ELEVATION
3/16" = 1'-0"



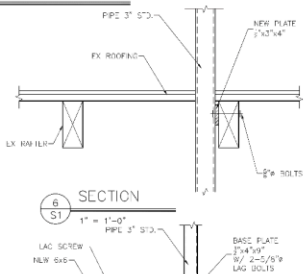
4 SECTION
1" = 1'-0"



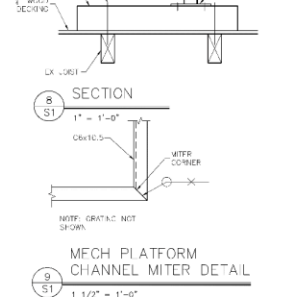
5 DETAIL
1" = 1'-0"



7 DETAIL
1" = 1'-0"



6 SECTION
1" = 1'-0"

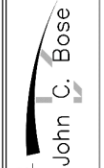


8 SECTION
1" = 1'-0"



9 MECH PLATFORM CHANNEL MITER DETAIL
1 1/2" = 1'-0"

REVISIONS:



John C. Bose
A PROFESSIONAL LIMITED LIABILITY COMPANY
2113 OCTAVIA STREET
NEW ORLEANS, LA 70115
(504) 866-8941

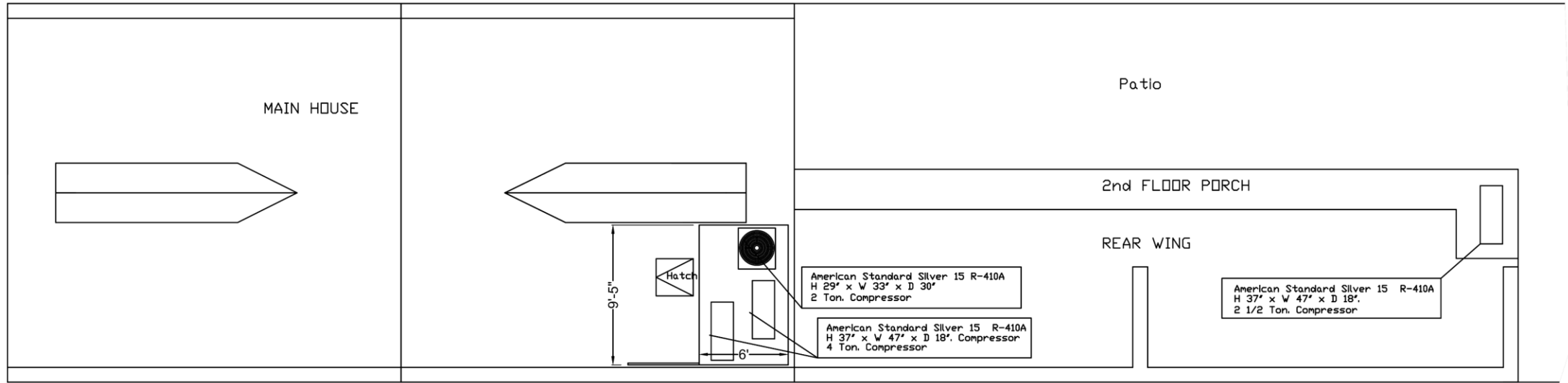
ROOFTOP MECH EQUIPMENT
1022 DUMAINE STREET
NEW ORLEANS, LA

Date	3/25/24
Scale	AS NOTED
Drafted	HAG
Job No.	S1

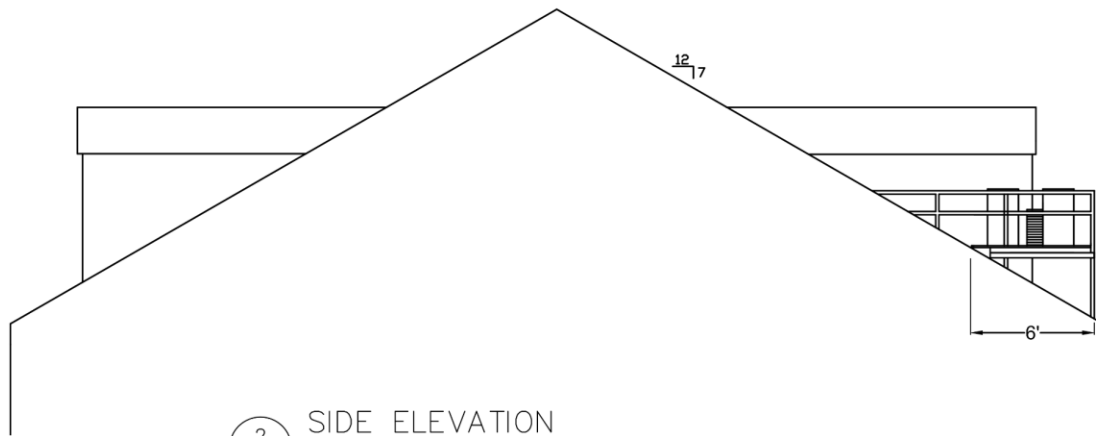
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1 of 1



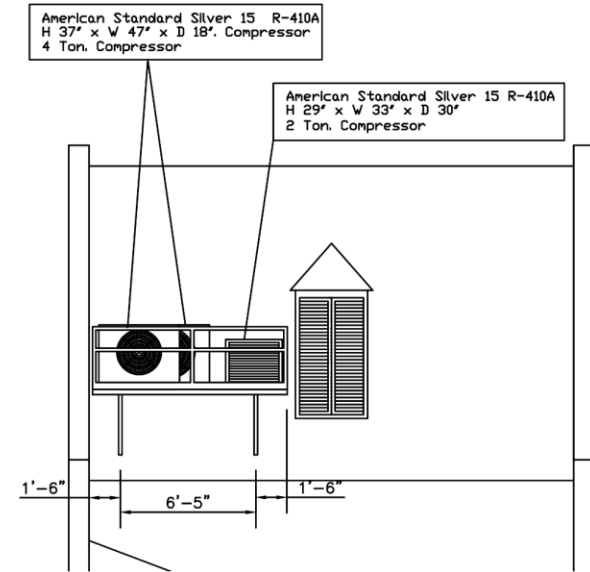
1022 DUMAINE STREET



1
S1 ROOF PLAN/MECHANICAL PLATFORM PLAN
3/16" = 1'-0"



2
S1 SIDE ELEVATION
3/16" = 1'-0"



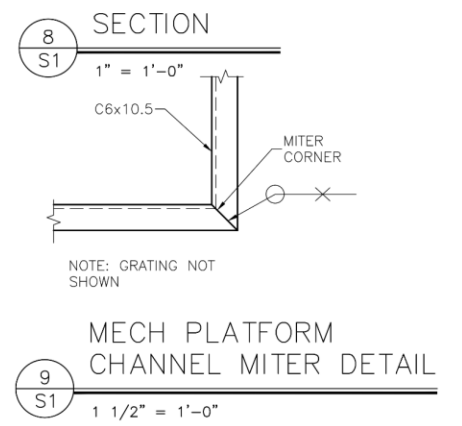
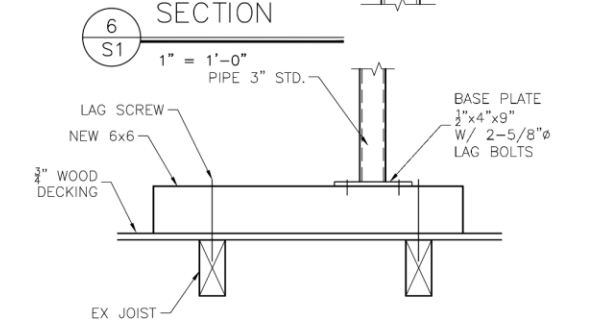
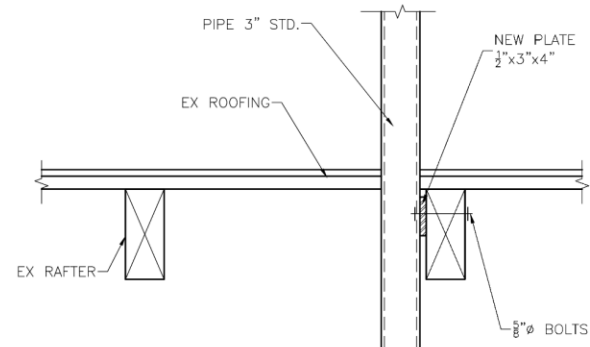
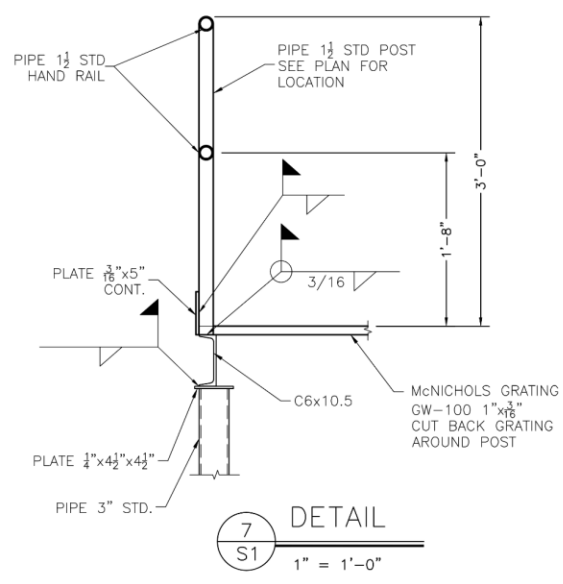
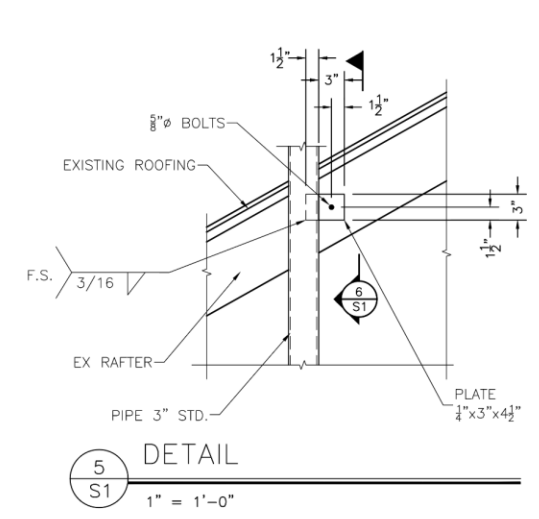
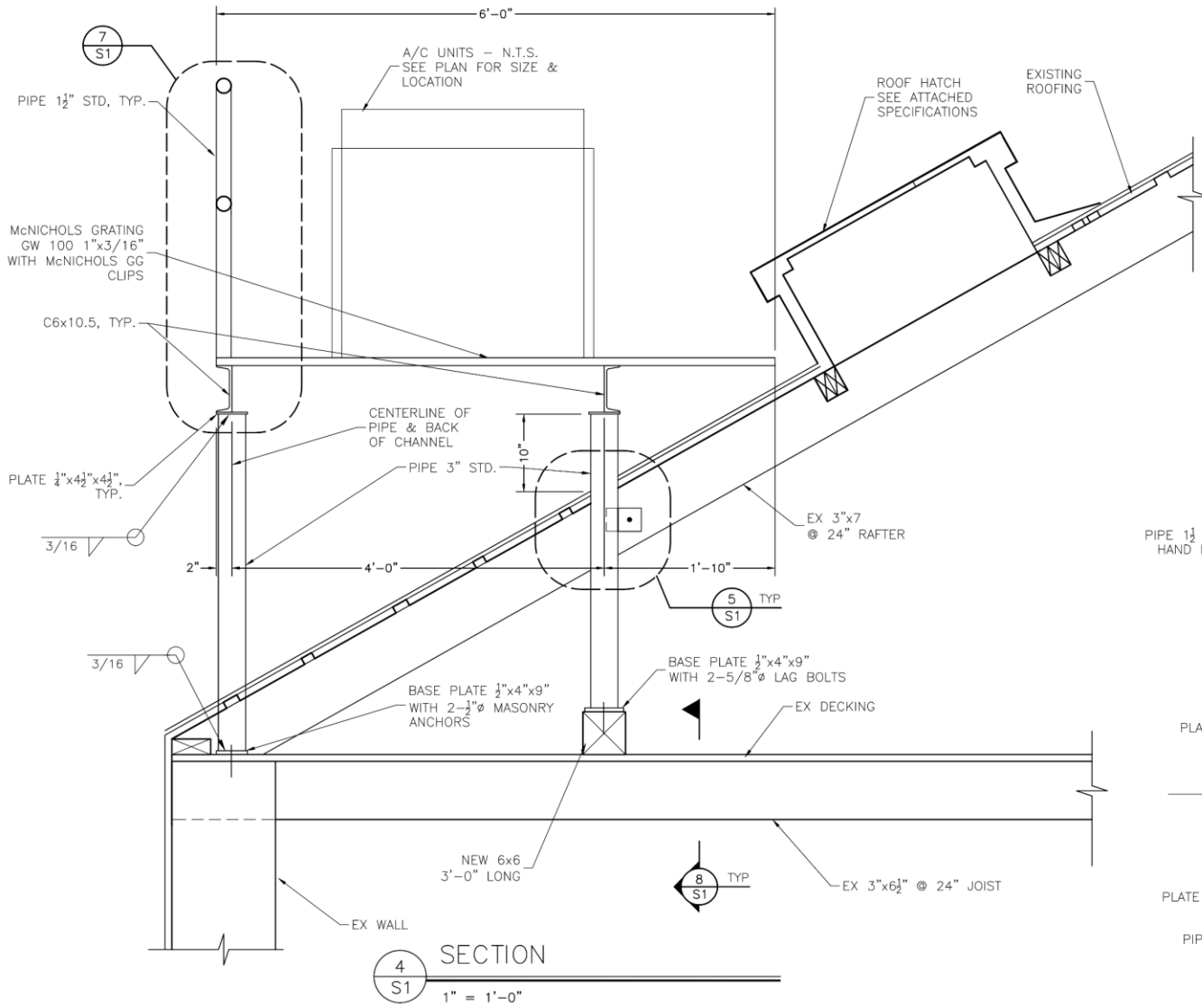
3
S1 REAR ELEVATION
3/16" = 1'-0"

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April 9, 2024



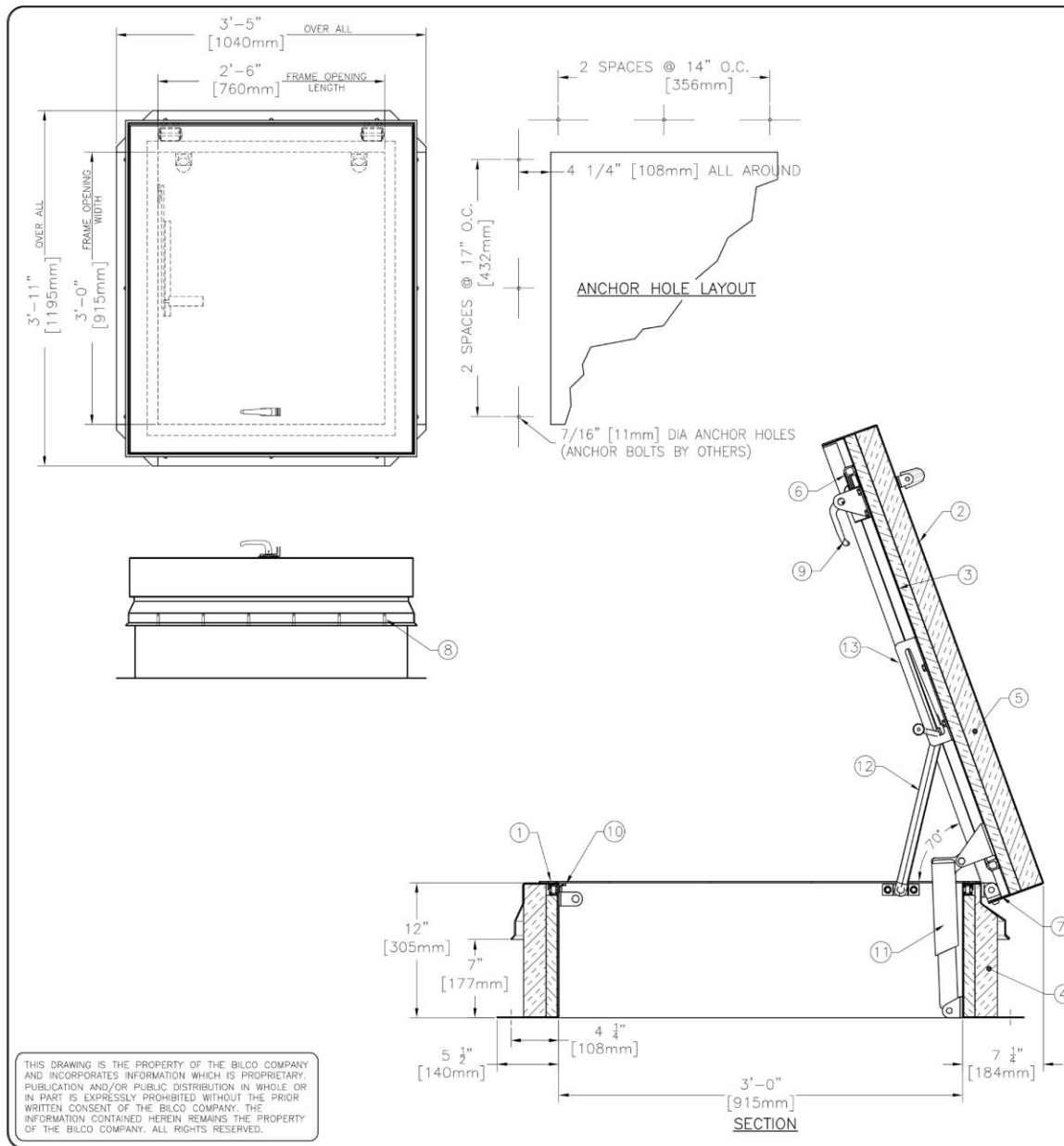


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April 9, 2024





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SPECIFICATIONS

1. THERMALLY BROKEN CURB W/INTEGRAL CAPFLASHING 11 GA. ALUMINIUM (CORNERS FULLY WELDED)
2. THERMALLY BROKEN COVER - 11 GA. ALUMINIUM
3. COVER LINER - 18 GA. ALUMINIUM
4. 3" [75mm] POLYISOCYANURATE CURB INSULATION
5. 3" [75mm] POLYISOCYANURATE COVER INSULATION
6. EPDM GASKET (ALL AROUND COVER)
7. PINTLE HINGE - STAINLESS STEEL TYPE 316
8. Bilcip® FLASHING SYSTEM
9. SLAM LATCH WITH INSIDE AND OUTSIDE HANDLES W/ PADLOCK HASPS
10. LOCK STRIKE AND PADLOCK HASP
11. LIFTING MECHANISM WITH REINFORCED COMPOSITE TUBES AND COMPRESSION SPRINGS
12. AUTOMATIC HOLD OPEN ARM W/ RED VINYL GRIP AND COVER RELEASE
13. ARM GUIDE BRACKET

SHOP FINISH

ALUMINIUM: MILL FINISH
 HARDWARE: CORROSION RESISTANT (UNLESS OTHERWISE SPECIFIED)

NOTES:

1. THIS PRODUCT MAY BE INSTALLED ON EITHER A FLAT OR SLOPING ROOF. WHEN INSTALLED ON A SLOPE, THE HINGE SIDE MUST RUN PARALLEL WITH THE SLOPE. IF SLOPE EXCEEDS 30°, ADVISE FACTORY FOR MODIFICATION.
2. FULL SPECIFICATIONS ARE AVAILABLE ON WEBSITE: www.bilco.com

CUSTOMER

P.O. NO.

JOB

SALES REP.

Bilco® Manufacturers of Doors for Special Services
 THE BILCO COMPANY
 New Haven, Connecticut 06505

**SINGLE LEAF ROOF ACCESS HATCH
 TYPE S-50TB**

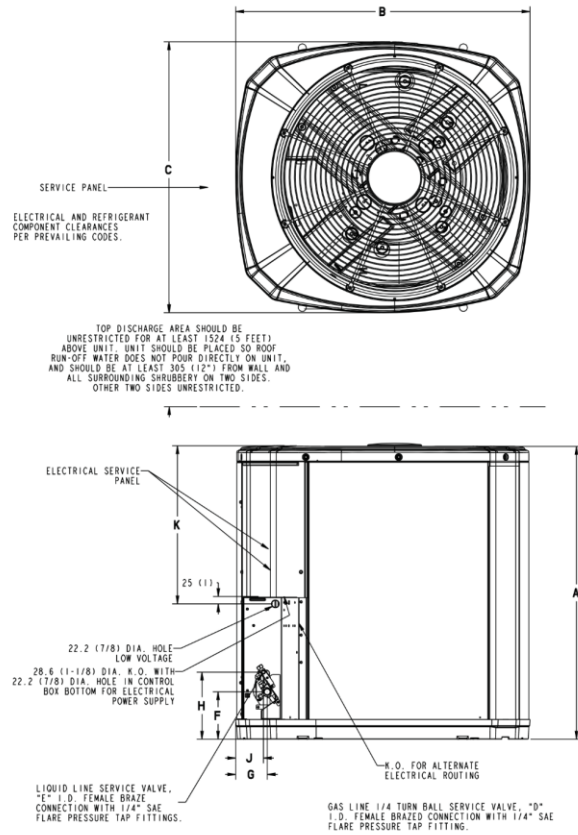
QTY	TYPE	SIZE WIDTH x LENGTH
□	S-50TB	3'-0" x 2'-6" 915mm x 760mm HINGE SIDE

WEB SITE: www.bilco.com

05-17-15 THE BILCO COMPANY



Outline Drawing



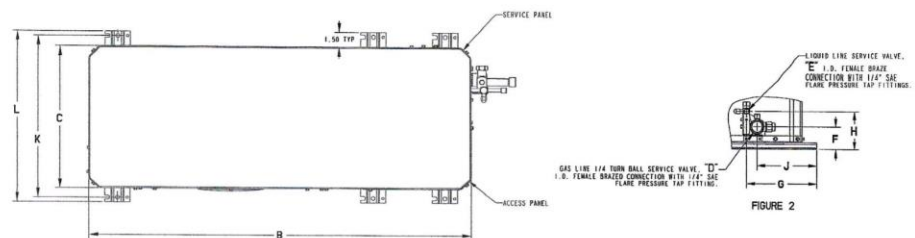
Model	Base	A	B	C	D	E	F	G	H	J	K
4A7A5024N	3	730 (28-3/4)	829 (32-5/8)	756 (29-3/4)	3/4	3/8	127 (5)	76 (3)	197 (7-3/4)	60 (2-3/8)	508 (20)

Sound Power Level										
Model	A-Weighted Sound Power Level [dB(A)]	Full Octave Sound Power(dB)								
		63 Hz*	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz	
4A7A5024N	73	79	69	67	70	70	64	59	53	

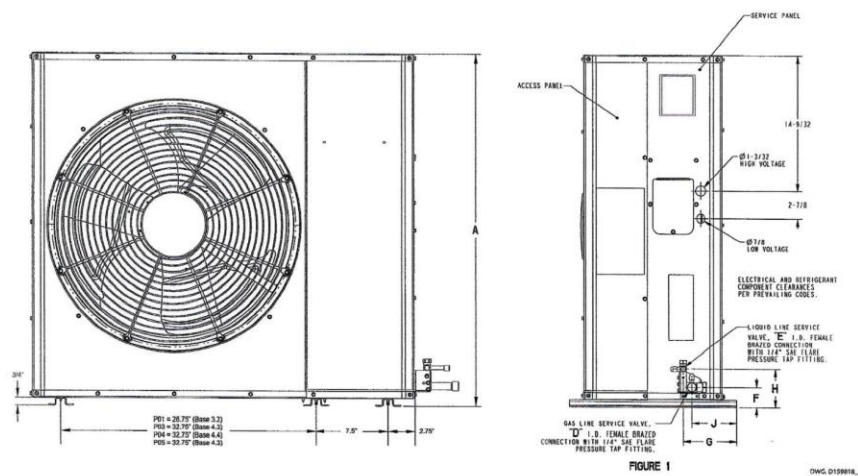
Note: Rated in accordance with AHRI Standard 270-2008 *For Reference Only



Outline Drawing



▲ SHOULD BE AT LEAST 132.4 (6 INCHES) FROM WALL AND 400.0 (12 FEET) FROM SURROUNDING STRUCTURE ON ALL SIDES.



Model	Base	A	B	C	D	E	F	G	H	J
4A7L5048N	4.4	1086 (42-3/4)	1194 (47)	445 (17-1/2)	22 (7/8)	10 (3/8)	60 (2-3/8)	187 (7-11/32)	101 (3-31/32)	159 (6-1/4)

SOUND POWER LEVEL									
Model	A-Weighted Sound Power Level [dB(A)]	Full Octave Sound Power [dB]							
		63 Hz*	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz	8000 Hz
4A7L5048N	74	75	80	77	70	68	62	54	48

Note: Rated in accordance with AHRI Standard 270-2008 *For reference only

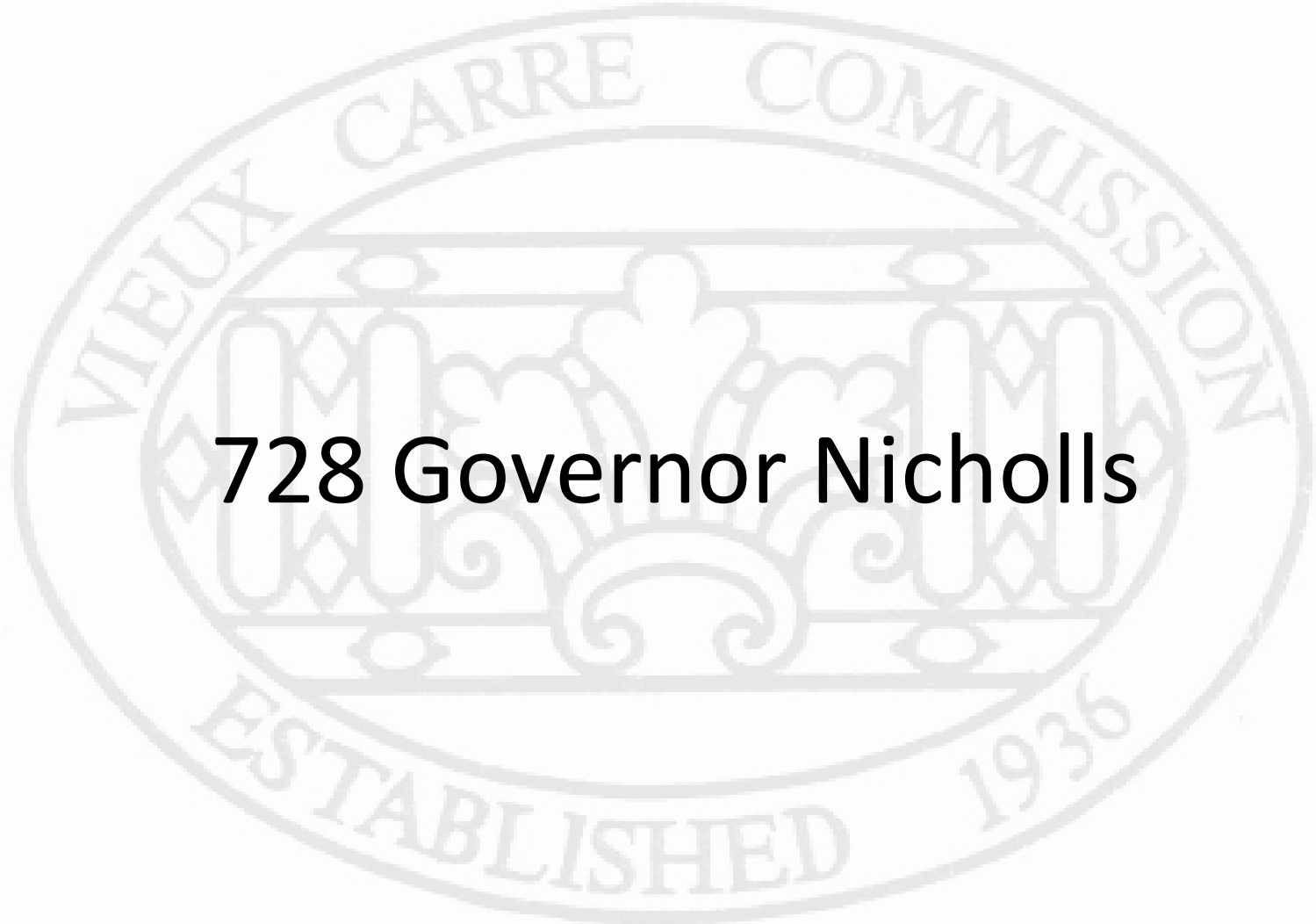
MODEL	Sound Pressure [dB(A)]			
	3 ft	5 ft	10 ft	15 ft
4A7L5048N	67	62	56	53

Note: Rated in accordance with AHRI Standard 275





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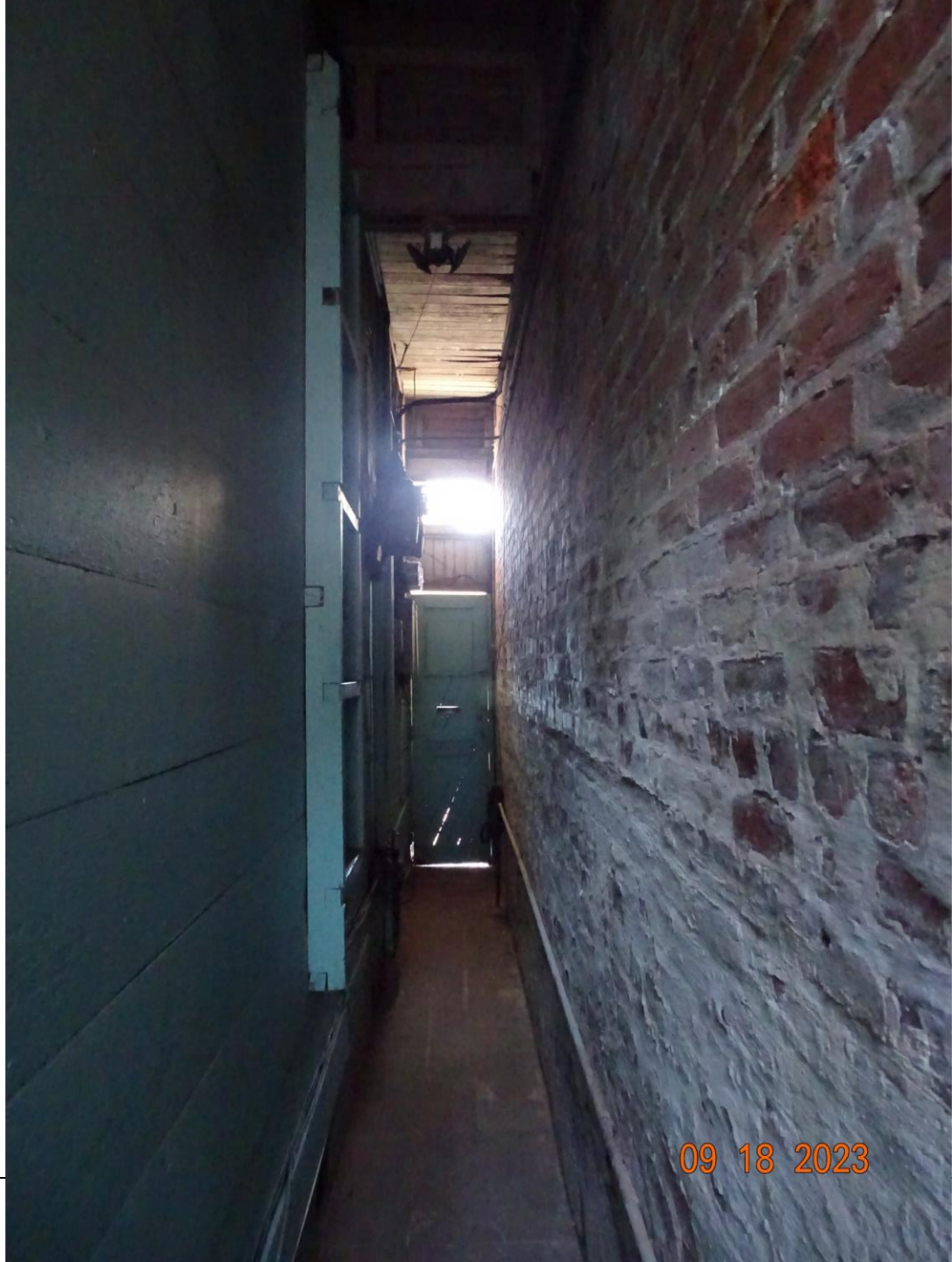


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GENERAL GRADING NOTES

ALL AREAS AFFECTED BY CONSTRUCTION SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE TOWARD STREET OR SUBSURFACE LINES.
 ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE SEEDED AND FERTILIZED, WATER AREA IMMEDIATELY.
 WORK SHALL BE IN A WORKMAN LIKE MANNER AND IN ACCORDANCE WITH A/E REQUIREMENTS. IF CONTRACTOR DETERMINES THAT ANY AREAS AFFECTED BY CONSTRUCTION CANNOT BE REGRADED TO GRADE, CONTRACTOR SHALL DOCUMENT (I.E., TAKE ELEVATIONS, PICTURES, ETC.) EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

PAVING

CONTRACTOR SHALL GIVE THOSE AFFECTED BY CONSTRUCTION 24 HOURS NOTICE PRIOR TO DESCRIPTION OF DRIVEWAYS, DRIVEWAYS AND STREETS SHALL NOT BE OPEN CLOSED VEHICULAR.
 CONTRACTOR SHALL AT ALL TIMES CONDUCT HIS OPERATIONS AS TO INCURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC AND ADJACENT PROPERTY OWNERS.
 CONTRACTOR SHALL PROVIDE ACCESS TO RESIDENTIAL PROPERTIES AT ALL TIMES. VEHICULAR ACCESS SHALL BE PROVIDED AS DIRECTED BY A/E. UPON APPROVAL BY A/E, VEHICULAR ACCESS MAY BE LIMITED DURING PAVING OF DRIVEWAYS. CONTRACTOR SHALL CONTACT AND ADVISE ALL AFFECTED PROPERTY OWNERS.

GENERAL SITE NOTES

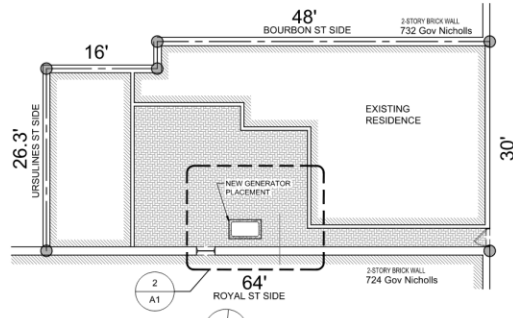
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTY AND IMPROVEMENTS FROM DAMAGE AND REPLACE ANY PORTIONS DAMAGED THROUGH HIS OPERATION AT HIS OWN COST. ALL REPAIR WORK SHALL BE SUBJECT TO THE APPROVAL OF THE A/E.
- CONTRACTOR SHALL NOT DAMAGE TREES. IF DAMAGED, CONTRACTOR SHALL REPLACE AT HIS OWN COST. CONTRACTOR SHALL USE A CHAIN SAW TO CUT ROOTS OF TREES EXPOSED DURING EXCAVATION. CONTRACTOR SHALL NOT BREAK ROOTS BY PULLING THEM WITH CHAINING MACHINES. ROOT AND BRANCH PROTECTION SHALL BE SPRAIDED OR PAINTED ON BRANCHES OR ROOTS WHICH HAVE BEEN CUT.
- PROTECT ALL EXISTING TREES, PLANTING AND LAWNS FROM DAMAGE. ALL STREET SIGNS, FENCES, TREES, ETC. RELOCATED DURING CONSTRUCTION SHALL BE RETURNED TO THEIR ORIGINAL LOCATION AND IN ORIGINAL CONDITIONS.
- PROPERTY LINE, RIGHT OF WAY AND/OR SERVICES SHOWN ARE THE LIMIT OF CONSTRUCTION, UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT EXISTING UTILITIES WHEN EXCAVATING IN AREAS OF CONSTRUCTION SO AS NOT TO DAMAGE OR DISRUPT UTILITIES. CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL VERIFY THE GROUND AND TOP SOIL ELEVATION AT EACH CORNER OF ALL LOTS OF ADJACENT HOLDINGS AND ADJACENT TO CONSTRUCTION. IF ANY QUESTIONS, PROVIDE ELEVATIONS TO A/E.
- PRIOR TO DISTURBING LANDSCAPING AND/OR CUTTING OR REMOVING TREES, CONTRACTOR SHALL CONTACT OWNER OF ADJECT.
- CONTRACTOR TO PROVIDE TEMPORARY TREE PROTECTION, TRASH REMOVAL, SECURITY, ELECTRICAL AND WATER SERVICES AND PORTABLE TOILET FACILITIES.

UTILITIES

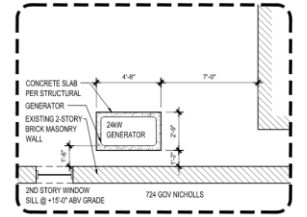
- CONTRACTOR SHALL COORDINATE AND PAY FOR THE DE-ENERGIZING AND RE-ENERGIZING OF POWER LINES FOR CONSTRUCTION PROPOSED AS REQUIRED BY LOCAL, STATE, AND FEDERAL AGENCIES.
- CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES OR CITY DEPARTMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THERE ARE ANY OTHER UTILITIES IN THE AREA AND TO CONTACT THE APPROPRIATE UTILITIES.
- CONTRACTOR SHALL NOTIFY THOSE AFFECTED BY CONSTRUCTION 24 HOURS PRIOR TO DESCRIPTION OF WATER, GASES OR OTHER UTILITY SERVICE. UTILITY SERVICES SHALL BE PROMPTLY REPAIRED AND NOT REMAIN OUT OF SERVICE OVERNIGHT.
- CONTRACTOR SHALL NOTIFY ENTRIES AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OR DEMOLITION.
- CONTRACTOR SHALL BRACE ALL UTILITY POLES ADJACENT TO EXCAVATION. BRACING SHALL REMAIN IN PLACE AFTER BACKFILLING UNTIL COMPRESSION STANDARDS HAVE BEEN MET. COMPLETE WORK PROMPTLY ONCE EXCAVATION HAS BEGUN ADJACENT TO POLES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DIRECTLY WITH THE APPROPRIATE UTILITY COMPANIES TO HAVE THE UTILITIES RELOCATED.

GENERAL EXCAVATION NOTES

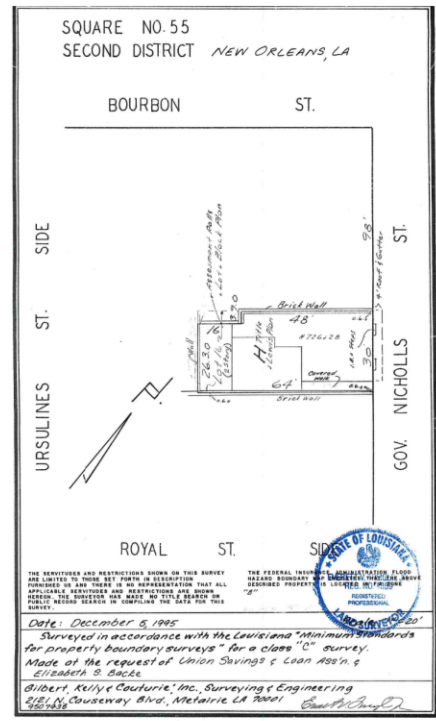
- CURTIES OR TRINCHES LEFT BY REMOVAL WORK SHALL BE BACKFILLED TO THE LEVEL OF SURROUNDING GROUND WITH GRANULAR MATERIAL.
- DRAIN STRUCTURES SHALL BE REMOVED AND REPLACED IF THEY INTERFERE WITH CONSTRUCTION. IF DAMAGED, CONTRACTOR SHALL REPLACE DRAIN STRUCTURES USING LIKE MATERIALS. DRAINAGE STRUCTURES SHALL BE RELOCATED TO PROVIDE POSITIVE DRAINAGE. CONTRACTOR TO OBTAIN ELEVATIONS AND DOCUMENT (I.E., PHOTOS, VIDEO, ETC.) PRIOR TO REMOVAL (NO DIRECT PAYMENT).
- FLOW LINES TO BE ADJUSTED BY CONTRACTOR UPON APPROVAL OF A/E IF PROPOSED FLOW LINES CONFLICT WITH EXISTING UTILITIES (AT NO EXTRA COST TO OWNER).
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN SERVICES, SUPPLYING MATERIALS, AND LABOR NECESSARY TO PROVIDE SHEETING, SHORING AND BRACING OR SUPPORTS AS REQUIRED TO PROVIDE A SAFE WORKING CONDITION FOR CONTRACTOR'S PERSONNEL AND TO PROVIDE FOR PROTECTION OF UTILITIES, BUILDING LEVELS, AND STRUCTURES. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THESE REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATE SYSTEM TO WITHSTAND LATERAL PRESSURE.



1 SITE PLAN
SCALE: 1/8" = 1'-0"



2 GENERATOR SLAB LOCATION
SCALE: 1/4" = 1'-0"



3 SURVEY
SCALE: 1/4" = 1'-0"

New Generator

728 Governor Nicholls
New Orleans, LA

ISSUED DATE: 03/08/24

PROJECT SUMMARY

- A. THE PROPOSED DRAWINGS ARE FOR THE LOCATION OF A GENERATOR ON RAISED PLATFORM.
- B. GENERATOR INFORMATION: GENERAC MODEL: RGS30 - 30 KW 60 HZ

CODE INFORMATION

THESE DRAWINGS HAVE BEEN DESIGNED TO MEET OR EXCEED THE GUIDELINE SET FORTH IN THE 2021 INTERNATIONAL BUILDING CODE & SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL STANDARD FOR HURRICANE RESISTANT RESIDENTIAL CONSTRUCTION (SBST 10) (ANTICIPATED DESIGN WIND LOAD OF 130 MPH MAX.)

PROJECT INFORMATION

FLOOR:	STAND:	13 SF
BLOCK NO:	55	
LOT NO:	11	
ZONING CLASSIFICATION:	VCR-1	
PROJECT LOCATION:	VIEUX CARRE RESIDENTIAL DISTRICT	
APPLICABLE CODE:	2021 INTERNATIONAL BUILDING CODE	

INDEX OF DRAWINGS

A-1 TITLE / SITE PLAN

ARCHITECTURAL LEGEND

NOTE: LEGEND IS TYPICAL. SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT.

ROOM NAME	NORTH ARROW
ELEVATION NO.	REVISION NUMBER
SHEET NO.	

CONSTRUCTION DOCUMENTS

Guns Modern
4519 S. Claiborne Avenue
New Orleans, LA 70125
504 810 2221

NEW GENERATOR
728 Gov Nicholls
New Orleans, LA

Marina Costopoulos
728 Gov Nicholls
New Orleans, LA

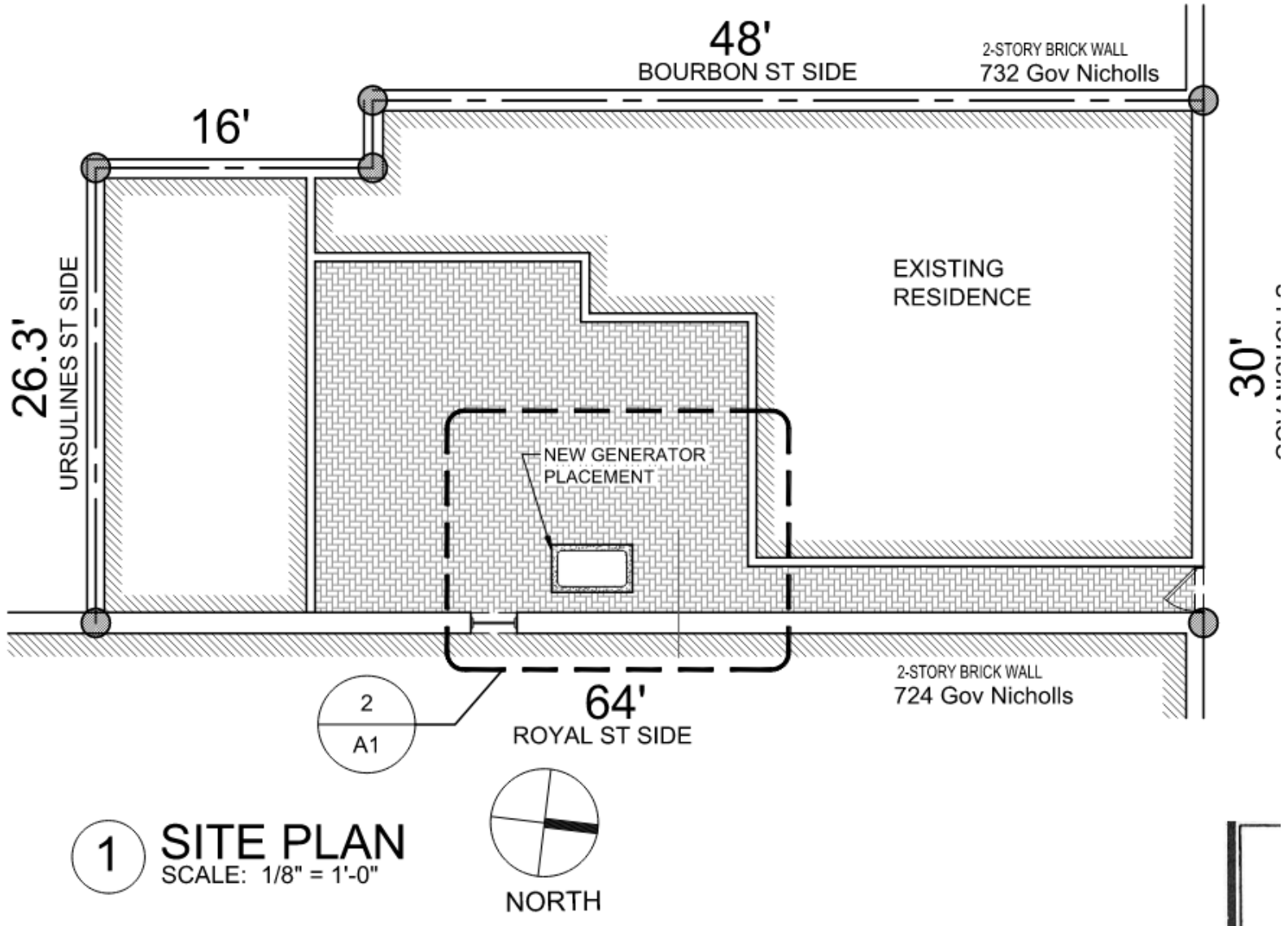
Ready Power
Jeremiah Johnson
504 310 4410



PROJECT NUMBER:	24-GEN
DRAWN BY:	GPO
ISSUE DATE:	03/18/2024

A-1



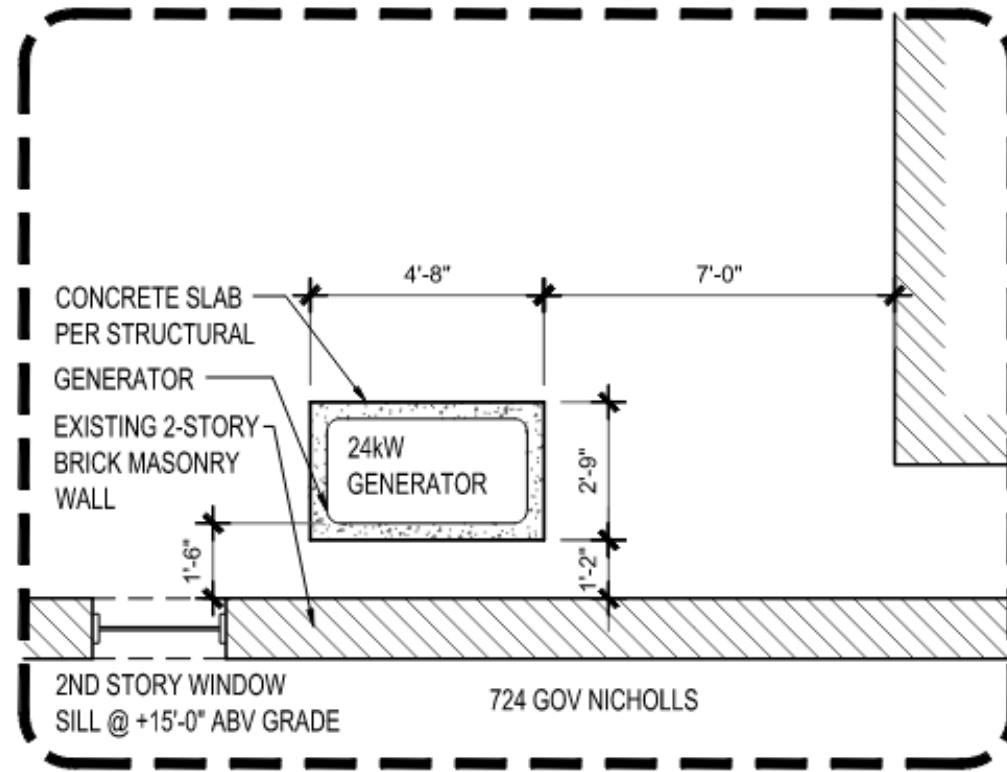


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2 GENERATOR SLAB LOCATION
SCALE: 1/4" = 1'-0"





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740 Royal



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740 Royal, 1964

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740 Royal

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10 30 2018

April 9, 2024





740 Royal – Photo from Applicant

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02 20 2024

April 9, 2024





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740 Royal

VCC Architecture Committee

02 20 2024

April 9, 2024





740 Royal, 1983

VCC Architecture Committee

April 9, 2024





740 Royal
VCC Architecture Committee

April 9, 2024



PERMIT CONSTRUCTION DOCUMENTS

738-40-42 ROYAL ST - EXTERIOR RENOVATION

740 ROYAL ST
NEW ORLEANS LA 70116

PROJECT DESCRIPTION
EXTERIOR RENOVATION OF AN EXISTING 3 STORY MIXED USE STRUCTURE. THIS IS A HISTORICAL TAX CREDIT PROJECT. EXTERIOR RENOVATION WORK IS UNDER A SEPARATE PERMIT. REPLACEMENT IN KIND OF WINDOWS/DOORS, REBUILDING OF INTERIOR GALLERIES, AND CODE UPGRADES TO STREET SIDE GUARDRAILS.

RELATED PERMITS:
INTERIOR DEMO #22-0384-DEM
RE-ROOF #22-2403-VCCOEN
INTERIOR RENO REF. CODE FBGGCA

OWNER:
HALF JAMES LLC, R&R RENTAL PROPERTIES, JAMES LENARD CAHN TRUST, RICHARD M CAHN TRUST, MICHELLE CAHN WOLFSON TRUST
740 ROYAL ST
NEW ORLEANS, LA 70116

ZONING DISTRICT: VCC-2 VEIUX CARRÉ COMMERCIAL DISTRICT
OVERLAY DISTRICT: VEIUX CARRÉ HEIGHT INTERIM ZONING DISTRICT
HCDC DISTRICT: VEIUX CARRÉ

NO. OF STORES: 3
PROJECT ON FLOOR: 3

1ST FLOOR: 2,385 SF
2ND FLOOR: 2,895 SF
3RD FLOOR: 2,886 SF
BUILDING SQUARE FOOTAGE (TOTAL): 7,757 SF, NO NEW SF.

CONSTRUCTION TYPE:
ICBIF: NFPA COMMON TERMINOLOGY
TYPE: II-B H (200) UNREINFORCED ORDINARY

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL

SPRINKLERED / FIRE ALARM:
NO / NO

- APPLICABLE CODES:**
- 2021 IRC WITH NEW ORLEANS CODE ADOPTIONS (BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF AS DESIGNED TO WITHSTAND A BASIC WIND LOAD WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IRC SECTION 1609)
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 LOUISIANA STATE PLUMBING CODE
 - NFPA 70, 2020 NATIONAL ELECTRIC CODE
 - 2021 INTERNATIONAL FUEL CODE
 - 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2015 ADA ADDA GUIDELINES
 - 2021 INTERNATIONAL EXISTING BUILDING CODE

ARCHITECT:
M3 DESIGN GROUP LLC
3328 BANKS ST
NEW ORLEANS, LA 70110
MYLES M MARTIN LICENSED
MYLES@M3DESIGNGROUP.COM
504-346-9550

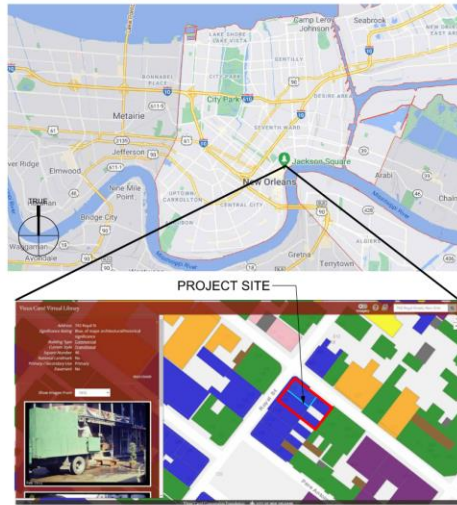
CIVIL/STRUCTURAL ENGINEER:
BATTURE LLC
JENNY SHAPIRO
5110 FERRET STREET
NEW ORLEANS, LA 70118
JSHAPIRO@BATTURE-ENG.COM

MEP ENGINEER:
SALAS O BREN
TOM WARD, PE
WWW.SALASOBREN.COM
TOM.WARD@SALASOBREN.COM
540-952-9921

PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDIOS OF EXTERIOR WALLS, CENTER OF STUDIOS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PROTECTIVE USE OF ACCIDENTS.
- AS INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION INCLUDING UTILITIES WHICH WILL INTERFERE WITH NEW WORK PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY. APPROVAL SHALL BE OBTAINED FROM THE OWNERS REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTORS EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNERS PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNERS REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.

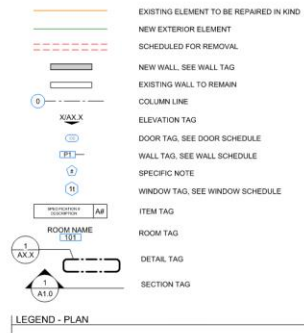
GENERAL NOTES



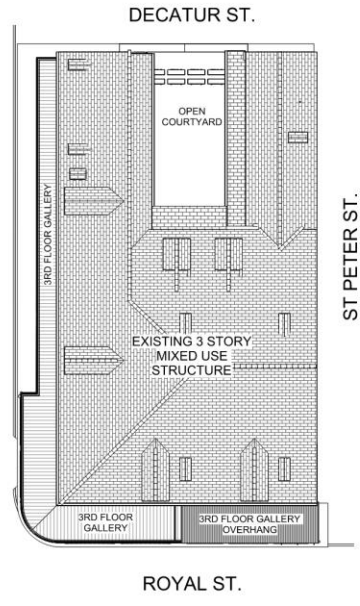
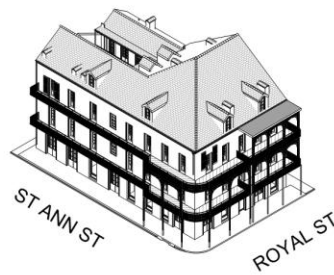
OVERALL SCOPE OF WORK SUMMARY:

EXTERIOR RENOVATION: REPAIR/REPLACE/PAIN IN LIKE AND KIND ALL DAMAGED WOOD IN A FAILING STATE. REBUILD GALLERY DECKING/RAILINGS. PROVIDE NEW WOOD SHUTTERS AT EXTERIOR STREET SIDE OPENINGS WHERE NOT PRESENT. REPAIR ALL DOORS/WINDOWS BACK TO THEIR ORIGINAL CONDITION.

INTERIOR RENOVATION: 1 COMMERCIAL SPACE AND 5 APARTMENTS TO BE FULLY RENOVATED. ADDRESS INTERIOR PLASTER FAILURES AT CEILINGS/WALLS. PROVIDE NEW HVAC/PLUMBING/ELECTRICAL SYSTEMS.



1 SITE PLAN - TITLE SHEET
1" = 10'-0"



Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET	04/03/24			
A1.1	NOTES	04/03/24			
A1.3	HISTORICAL TAX CREDIT APP	04/03/24			
A1.4	SFM APPROVAL LETTERS	04/03/24			
A2.0	EXISTING PHOTOS	04/03/24			
A2.1	EXISTING FLOOR PLAN	04/03/24			
A2.2	DEMO FLOOR PLANS	04/03/24			
A2.3	DEMO EXTERIOR ELEV	04/03/24			
A3.0	FLOOR PLANS - PROPOSED	04/03/24			
A4.0	REFLECTED CEILING PLANS	04/03/24			
A6.0	EXTERIOR ELEVATIONS	04/03/24			
A7.0	DETAILS - MECH RACK	04/03/24			
A7.1	DETAILS - BALCONY	04/03/24			
E2.0	ELECTRICAL LIGHTING PLAN	02/28/24			
M2.0	MECHANICAL FLOOR PLAN	02/28/24			
M4.0	MECHANICAL SCHEDULES	02/28/24			
S2	FIRST FLOOR PLAN	11/30/22			
S3	2ND FLOOR PLAN	11/30/22			
S4	3RD FLOOR PLAN	11/30/22			
S5	ATTIC FRAMING PLAN	11/30/22			
S6	DETAILS	11/30/22			
Grand total: 21					

2021 INTERNATIONAL ENERGY CONSERVATION CODE
SHP/HISTORICAL PROJECT EXEMPTION COMPLIANCE

(C501.6) HISTORIC BUILDINGS
REPAIR, ALTERATIONS, RESTORATION, AND CHANGE OF OCCUPANCY SHALL NOT BE MANDATORY FOR HISTORIC BUILDINGS PROVIDED THAT THE REPORT HAS BEEN SUBMITTED TO THE CODE OFFICIAL AND SIGNED BY THE OWNER, A DESIGN PROFESSIONAL, OR A REP OF THE SHPO OR HISTORIC DISTRICT HAVING AUTHORITY.

(C502.1) ADDITIONS TO AN EXISTING BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE CODE, AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING TO COMPLY WITH THIS CODE. ADDITIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD THE EXISTING BUILDING SYSTEMS.

(C503.1) ALTERATIONS
(C503.1.1)
THE FOLLOWING ALTERATIONS SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION, PROVIDED THAT THE ENERGY USAGE OF THE BUILDING IS NOT INCREASED.
1. STORM WINDOWS INSTALLED OVER EXISTING WINDOWS
2. EXISTING CLO. WARD CAVITIES EXPOSED DURING CONST., PROVIDED THEY ARE FLEED WITH INSULATION
3. CONSTRUCTION WHERE THE EXISTING ROOF, WALL, FLOOR CAVITY IS NOT EXPOSED
4. ROOF RECOVER
5. ROOFS WITHOUT INSULATION IN THE CAVITY AND WHERE SHEATHING OR INSULATION IS EXPOSED DURING RE-ROOFING SHALL BE INSULATED EITHER ABOVE OR BELOW SHEATHING

(C503.1.1.1) REPLACEMENT FENESTRATION
REPLACEMENT WINDOWS SHALL MEET THE U-FACTOR REQUIREMENTS AND SHGC REQUIREMENTS OF TABLE C4.1.3

REPAIRS (C504)
WORK ON NON-DAMAGE COMPONENTS NEEDED FOR THE REPAIR OF DAMAGE COMPONENTS SHALL BE CONSIDERED TO BE PART OF THE REPAIR AND ARE NOT SUBJECT TO THE REQUIREMENTS OF ALTERATIONS.

738-40-42 ROYAL ST - EXTERIOR RENOVATION
740 ROYAL ST
NEW ORLEANS LA 70116

DATE	TYPE (SEE CHANGE LOG)
22_124	



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VCC PERMIT SET
ISSUED: 04/03/24

A1.0
TITLE SHEET





1 ROYAL ST FACADE



2 ROYAL ST & ST ANN CORNER FACADE



3A ST ANN CORNER FACADE



3B ST ANN FACADE



5 COURTYARD LOOKING TOWARD ROYAL/ST ANN CORNER



4A ST ANN RAILING TYPE 1



4B ROYAL ST RAILING TYPE 2



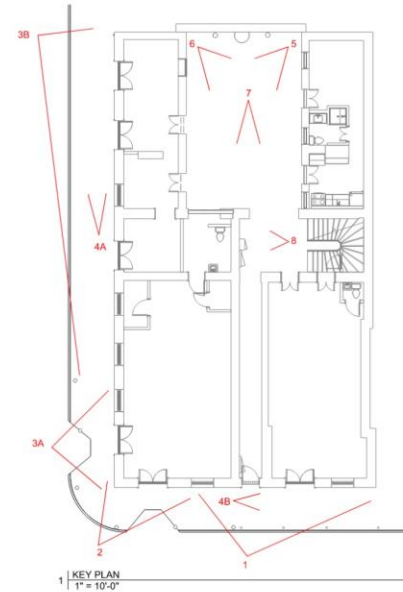
6 COURTYARD LOOKING TOWARD ROYAL/ST PETER CORNER



7 COURTYARD LOOKING TOWARD ROYAL



8 TYPICAL CEILING AT STAIRWELL



22.124

DATE

TYPE (SEE CHANGE LOG)



M3 DESIGN GROUP

3030 BROAD ST. #111, LA 70119 | (504) 588-8800

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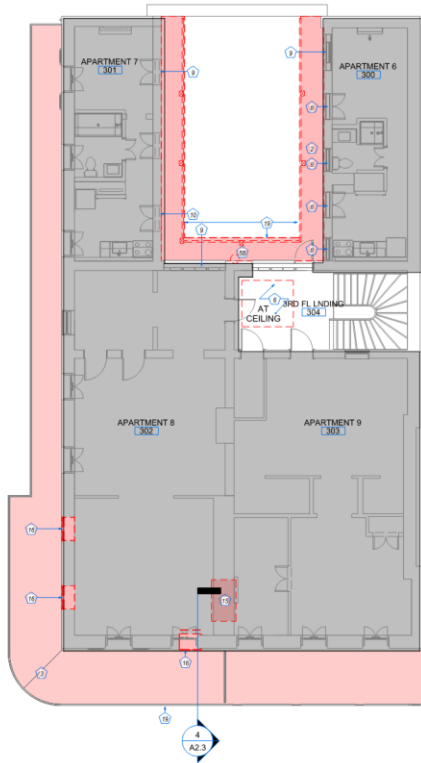
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A2.0 EXISTING PHOTOS

738-40-42 ROYAL ST - EXTERIOR RENOVATION

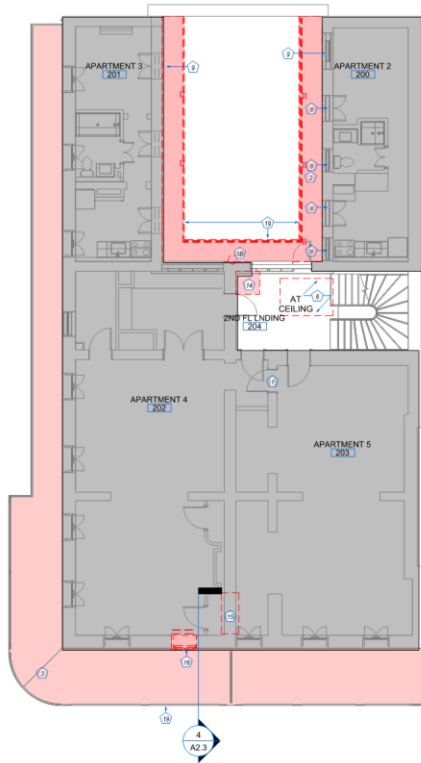
740 ROYAL ST
NEW ORLEANS LA 70116





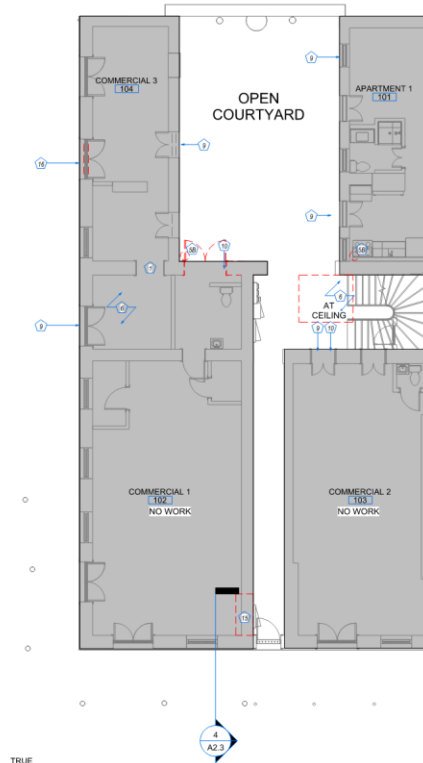
3RD FLOOR

3 | 3RD FLOOR PLAN_DEMO
1/8" = 1'-0"



2ND FLOOR

2 | 2ND FLOOR PLAN_DEMO
1/8" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN_DEMO
1/8" = 1'-0"

- ① - NOT USED -
- ② EXISTING GALLERY DECKING, FASCIA, AND COLUMN SUPPORT TO BE REMOVED.
- ③ EXISTING GALLERY DECKING AND FASCIA TO BE REMOVED.
- ④ EXISTING NON-HISTORICAL INFILL OF EXISTING WOOD FRAMED DOOR/WINDOW TO BE REMOVED. REBUILD TO MATCH ADJACENT UNITS.
- ⑤ EXISTING CAST IRON PLUMBING STACK AND ASSOCIATED PLUMBING TO BE REMOVED
- ⑥ CUT BACK CEILING PLASTER TO NON-FAILURE EXTENTENTS FOR REPAIR, TYP.
- ⑦ REMOVE EXISTING COAL AND WOOD SUBFLOOR SYSTEM DOWN TO EARTH GRADE BELOW IN PREPARATION FOR NEW CONCRETE SLAB. SEE STRUCTURAL PACKAGE FOR SLAB AND RELATED DETAILS.
- ⑧ REMOVE EXTERIOR SCREENS OVER UPPER TRANSOM WINDOWS
- ⑨ EXISTING WINDOW UNIT TO BE REMOVED
- ⑩ REMOVE COVERING PLYWOOD FROM FENESTRATION
- ⑪ REMOVE EXISTING HVAC EQUIPMENT, RESTORE WINDOW TO ORIGINAL OPERATION
- ⑫ REMOVE EXISTING EXTERIOR LIGHTING AT ALL COURTYARD SOFFITS. PREP FOR REPLACEMENT
- ⑬ REMOVE WINDOW HVAC UNIT AND PLYWOOD COVERING OPENING. REBUILD WINDOW INFILL TO MATCH ADJACENT
- ⑭ REMOVE CORNER BUILT-IN
- ⑮ EXISTING MASONRY CRACKS, REMOVE SURROUNDING PLASTER AND LATH FOR FULL EXPOSURE OF CRACK FOR MASONRY REPAIR
- ⑯ REMOVE WINDOW, CONVERT BACK TO DOOR OPENING
- ⑰ - NOT USED -
- ⑱ - NOT USED -
- ⑲ REMOVE ALL EXTERIOR SOFFIT LIGHTS, TYPICAL, TO BE REPLACED.

SPECIFIC NOTES - DEMO - FLOOR PLAN

- ① DEMOLITION TAG. RE. SPECIFIC DEMOLITION NOTES.
- - - EXISTING ELEMENT TO BE REMOVED
- █ EXISTING ELEMENT TO BE REMOVED

LEGEND - DEMO





8 | SOUTH ELEVATION - STREET - DEMO
1/8" = 1'-0"



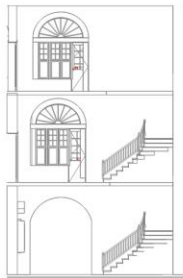
6 | WEST ELEVATION - STREET - DEMO
1/8" = 1'-0"



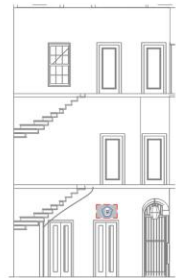
1 | COURTYARD ELEVATION - WEST - DEMO
1/8" = 1'-0"



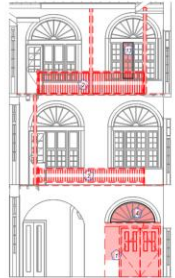
3 | COURTYARD ELEVATION - EAST - DEMO
1/8" = 1'-0"



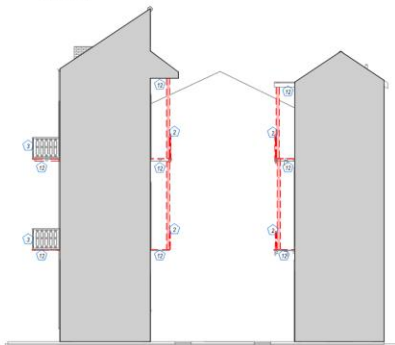
7 | VESTIBULE NORTH - DEMO
1/8" = 1'-0"



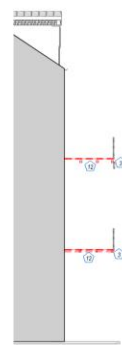
9 | VESTIBULE SOUTH - DEMO
1/8" = 1'-0"



5 | COURTYARD ELEVATION - SOUTH - DEMO
1/8" = 1'-0"



2 | SECTION THROUGH COURTYARD / ST ANN
1/8" = 1'-0"



4 | SECTION THROUGH COURTYARD ROYAL ST
1/8" = 1'-0"

- ① REMOVE EXISTING DOOR AND ADJACENT WALL SECTION TO RESTORE ORIGINAL OPENING. SQUARE OFF MASONRY ENDS FOR ACCEPTANCE OF A NEW WOOD DOOR ASSEMBLY.
- ② EXISTING GALLERY DECKING, FASCIA, AND COLUMN SUPPORTS TO BE REMOVED.
- ③ EXISTING GALLERY DECKING AND FASCIA TO BE REMOVED.
- ④ EXISTING NON-HISTORICAL INFILL OF EXISTING WOOD FRAMED DOOR/WINDOW TO BE REMOVED. REBUILT TO MATCH ADJACENT UNITS.
- ⑤ EXISTING CAST IRON PLUMBING STACK AND ASSOCIATED PLUMBING TO BE REMOVED.
- ⑥ REPLACE UPPER SASH OF WOOD WINDOW. MATCH DESIGN IN LIKE, KIND, & DIMENSIONS.
- ⑦ REMOVE EXISTING COAL AND WOOD SUBFLOOR SYSTEM DOWN TO EARTH GRADE BELOW IN PREPARATION FOR NEW CONCRETE SLAB. SEE STRUCTURAL PACKAGE FOR SLAB AND RELATED DETAILS.
- ⑧ REMOVE EXISTING SCREENS OVER UPPER TRANSOM WINDOWS.
- ⑨ EXISTING WINDOW UNIT TO BE REMOVED.
- ⑩ REMOVE COVERING PLYWOOD FROM FENESTRATION.
- ⑪ REMOVE EXISTING HVAC EQUIPMENT. RESTORE WINDOW TO ORIGINAL OPERATION.
- ⑫ REMOVE EXISTING EXTERIOR LIGHTING AT ALL COURTYARD SOFFITS. PREP FOR REPLACEMENT.
- ⑬ REMOVE WINDOW HVAC UNIT AND PLYWOOD COVERING OPENING. REBUILD WINDOW INFILL TO MATCH ADJACENT.
- ⑭ REMOVE CORNER BUILT-IN.
- ⑮ EXISTING MASONRY CRACK. REMOVE SURROUNDING PLASTER AND LATHE FOR FULL EXPOSURE OF CRACK FOR MASONRY REPAIR.
- ⑯ REMOVE NON-ORIGINAL SHUTTERS.
- ⑰ REMOVE EXISTING WIRES RUNNING THROUGH WOODWORK/FENESTRATION.
- ⑱ COORDINATE WITH OWNER FOR REMOVAL OF NON-USED TELECOM BOXES/WIRES.
- ⑲ REMOVE ALL EXTERIOR SOFFIT LIGHTS, TYPICAL, TO BE REPLACED.
- ⑳ REMOVE/REROUTE - ELECTRICAL AT EXTERIOR OF BUILDING FACADE.
- ㉑ REMOVE NON-ORIGINAL WINDOW SUBSILL PANELS. PREP FOR ACCEPTANCE OF NEW WOOD INFILL PANEL.
- ㉒ REMOVE NON-ORIGINAL WINDOW INFILL. PREP FOR ACCEPTANCE OF NEW WOOD INFILL PANEL.
- ㉓ EXISTING ELECTRICAL WIRE/PIPE/CONDUIT REROUTING TO BE REMOVED AND REBUILT.

SPECIFIC NOTES - ELEVATIONS

738-40-42 ROYAL ST - EXTERIOR RENOVATION
740 ROYAL ST
NEW ORLEANS LA 70116

22, 124

DATE

TYPE (SEE CHANGE LOG)



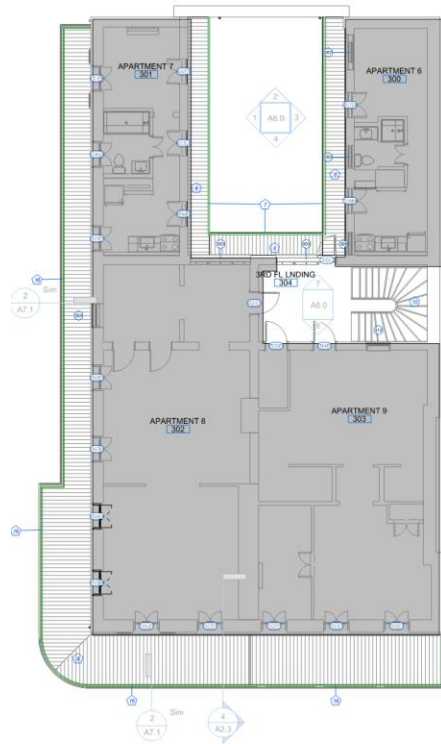
M3 DESIGN GROUP
3330 MARSH ST. #201, LA TERRELL TOWNHOME DISTRICT
WWW.M3DESIGNGROUP.COM

VCC PERMIT SET

ISSUED 04/03/24

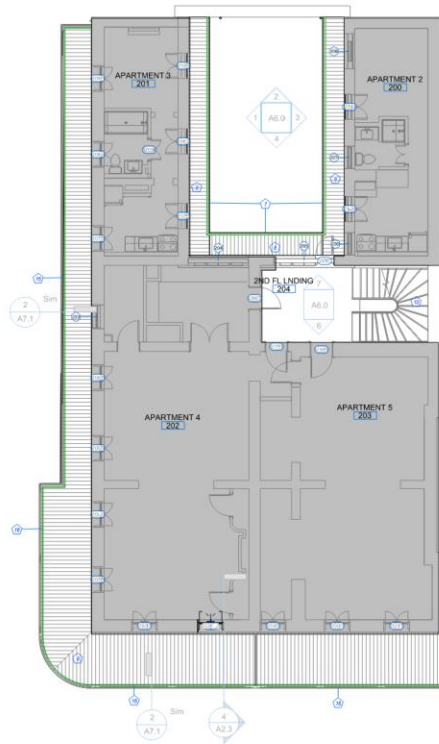
A2.3
DEMO EXTERIOR
ELEV





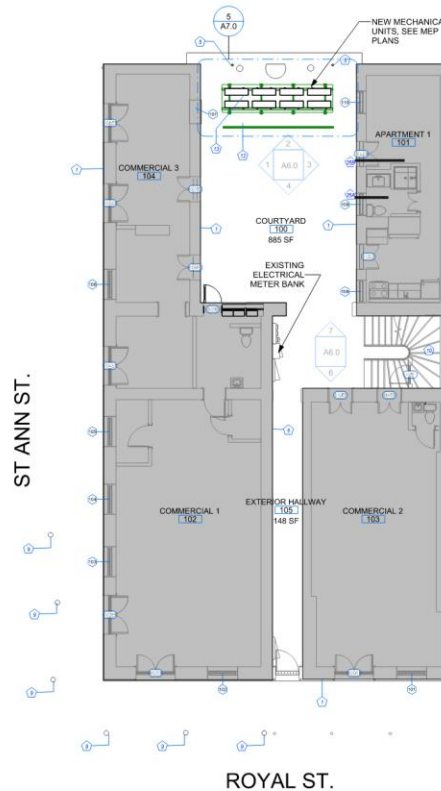
3RD FLOOR

3 | 3RD FLOOR PLAN
1/8" = 1'-0"



2ND FLOOR

2 | 2ND FLOOR PLAN
1/8" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN
1/8" = 1'-0"

- RENOVATION SCOPE ITEMS
- | ITEM | SCOPE |
|------|--|
| 1 | EXISTING EXTERIOR STUCCO WALL, SOFT BRUSH CLEAN & REPAIR, SOUND AND CHIP OUT/REPAIR WITH VCC STUCCO MIX (SEE NOTES) WHERE FAILURE HAS OCCURRED. |
| 5 | TIE ROOF LEADERS INTO UNDERGROUND STORM WATER DRAINAGE SYSTEM |
| 6 | NEW WALL MOUNTED HORIZONTAL SHROUD FOR ELECTRICAL WIRING HOMERUNS |
| 7 | NEW WOOD HANDRAIL, SEE DETAIL |
| 8 | NEW 5/4" TONGUE AND GROOVE DECKING LAID PERPENDICULAR TO THE BUILDING WALL, TYP MATCH ALL RELATED FASCIA BOARD AND TRIM DETAILS TO ORIGINAL CONDITION, EXISTING SURFACE SLOPE TO REMAIN. |
| 9 | SEE STRUCTURALSHOP DRAWINGS FOR EXTERIOR STREET COLUMN REPAIR ADJUSTMENTS, TYP |
| 10 | EXISTING STAIR, REPAIR IN PLACE WITH LIKE AND KIND, PAINT FINISH. |
| 12 | NEW MECHANICAL FENCE SCREE, SEE ENLARGED PLAN FOR DETAILS |
| 13 | NEW HVAC MECHANICAL RACK AND CONDENSORS |
| 14 | RE-ROUTE EXISTING ELECTRICAL WIRING THAT RUNS THROUGH THE TRANSOM OPENING TO THROUGH MASONRY WALL, CAP MASONRY WALL PENETRATION WITH ELECTRICAL CONDUIT BOX |
| 16 | PROVIDE NEW BACKSET 42" PIPE GUARDRAIL, SEE ASSOCIATED SECTION DETAIL |
| 19 | REPAIR, REPLACE, AND ADD SHUTTERS TO ALL EXTERIOR OPENINGS. ALL SHUTTERS TO MATCH EXISTING AS FOUND ONSITE. |
| 20 | REMOVE HVAC WINDOW UNIT |
| 21 | REMOVE NON-VCC APPROVED LIGHTS, REPLACE WITH BOD LIGHTS AS FOUND ON AT 2. |
| 22 | RESTORE TRANSOM WINDOW TO ORIGINAL CONDITION, WHERE EXISTING GLASS EXISTING, REMOVE ALL COATINGS TO PROVIDE CLEAR GLAZING |
| 23 | RE-ROUTE EXISTING ELECTRICAL THROUGH MASONRY WALL AND NOT THROUGH TRANSOM WINDOW |
| 24 | HVAC REFRIGERANT WALL ROUTING, PROVIDE SHROUD, PAINT TO MATCH BUILDING COLOR. |
| 25A | EXISTING STEEL ANGLED SUPPORT |
| 25B | NEW STEEL ANGLED SUPPORT, SEE 4/A7.1 |
| 25C | EXISTING EXTERIOR STUCCO WALL, SOFT BRUSH CLEAN & REPAIR, SOUND AND CHIP OUT/REPAIR WITH VCC STUCCO MIX (SEE NOTES) WHERE FAILURE HAS OCCURRED, 7 TOTAL, SEE 4/A7.1 |
| 26A | RESTROOM SIDEWALL EXHAUST, PAINT EXHAUST CAP TO MATCH EXTERIOR WALL |
| 26B | DRYER SIDEWALL EXHAUST, PAINT EXHAUST CAP TO MATCH EXTERIOR WALL |

738-40-42 ROYAL ST - EXTERIOR RENOVATION

748 ROYAL ST
NEW ORLEANS LA 70118

22, 24

DATE

TYPE (SEE CHANGE LOG)

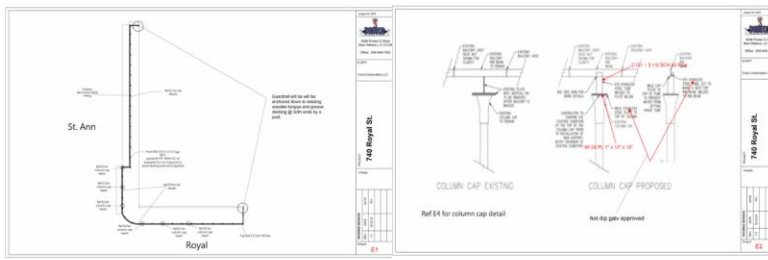
- EXISTING ELEMENT TO BE REPAIRED IN KIND
- NEW EXTERIOR ELEMENT
- SCHEDULED FOR REMOVAL
- NEW WALL, SEE WALL TAG
- EXISTING WALL TO REMAIN
- COLUMN LINE
- ELEVATION TAG
- DOOR TAG, SEE DOOR SCHEDULE
- WALL TAG, SEE WALL SCHEDULE
- SPECIFIC NOTE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ITEM TAG
- ROOM TAG
- DETAIL TAG
- SECTION TAG



M3 DESIGN GROUP
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VCC PERMIT SET
ISSUED 04/03/24

A3.0
FLOOR PLANS - PROPOSED



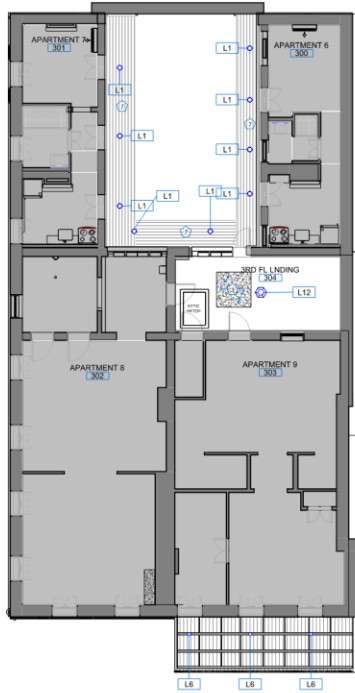
STREET-SIDE GALLERY COLUMN REPAIR

4 | GALLERY COLUMN REPAIR
1/2" = 1'-0"



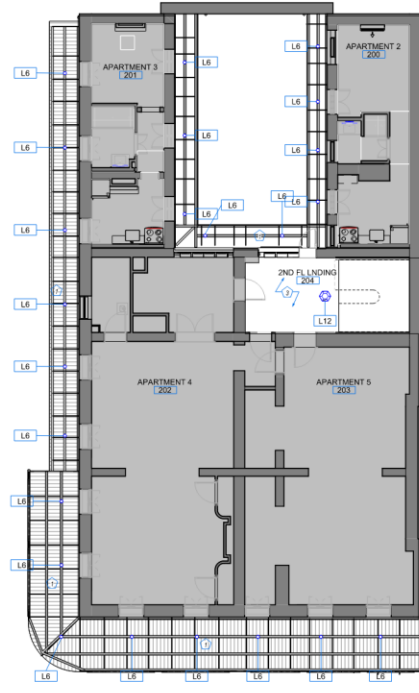
740 Royal
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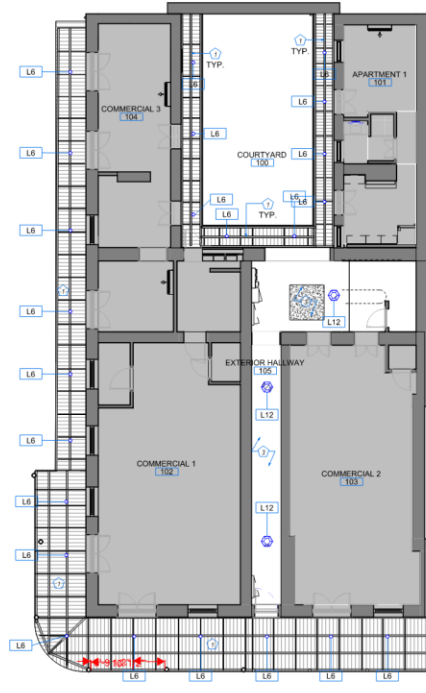
3RD FLOOR

3 | 3RD FLOOR RCP
1/8" = 1'-0"



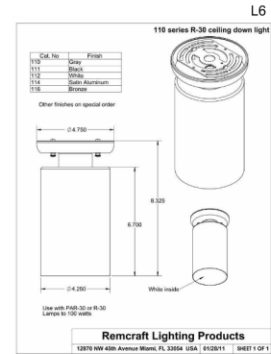
2ND FLOOR

2 | 2ND FLOOR PLAN RCP
1/8" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN RCP
1/8" = 1'-0"



EXTERIOR LIGHTING SELECTIONS

- EXTERIOR FIXTURE NOTES:
1. CUTSHEETS MUST BE SUBMITTED TO VCC/ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION
 2. LOCATIONS SHOULD BE CENTERED ON DOOR/WINDOWS
 3. ALL FIXTURES TO BE POWERED TO HOUSE METER

- ⓧ EXISTING WOOD DECKING TO BE REPLACED IN SAME TYPE & SIZE BEADED STRINGERS TO BE REPLACED AS NEEDED. REPLACE WITH SAME DIMENSION, SIZE, PROFILE, KIND, AND DETAIL. ALL WOOD TO BE PAINTED. METAL OUTRIGGERS TO BE STRIPE AND PAINTED.
- ⓧ EXISTING CEILING FINISH, NO CHANGE
- ⓧ EXISTING PLASTER/LATH CEILING. REPAIR/PATCH WHERE FAILURE HAS OCCURRED. SEE STUCCO NOTES.
- ⓧ UNDERSIDE OF EXPOSED DECKING AND FRAMING MEMBERS TO BE PAINTED. WHERE WOOD FAILURE HAS OCCURRED, REPLACE IN LIKE KIND/SIZE/SHAPE. SEE STRUCTURAL PLANS FOR ADDITIONAL INFO.
- ⓧ -NOT USED-
- ⓧ -NOT USED-
- ⓧ EXISTING SOFFIT TAG TO BE REPLACED IN LIKE KIND/TYP AS NEEDED. PAINT FINISH ALL.

SPECIFIC NOTES - RCP

- ⓧ SPECIFIC NOTE
- ⓧ 1'-0" CEILING HEIGHT ELEVATION

LEGEND - RCP

738-40-42 ROYAL ST - EXTERIOR RENOVATION
740 ROYAL ST
NEW ORLEANS LA 70116

#	TYPE (SEE CHANGE LOG)	DATE
22_124		



M3 DESIGN GROUP
1338 BIRNEY ST. | NO. LA. 70113 | (504) 481-8900
WWW.M3DESIGNGROUP.COM

VCC PERMIT SET
ISSUED 04/03/24

A4.0
REFLECTED
CEILING PLANS





8 | SOUTH ELEVATION - STREET
1/8" = 1'-0"



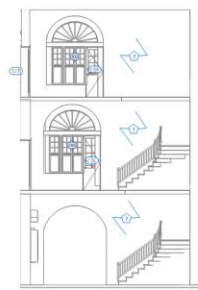
9 | WEST ELEVATION - STREET
1/8" = 1'-0"



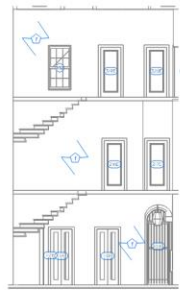
1 | COURTYARD ELEVATION - WEST
1/8" = 1'-0"



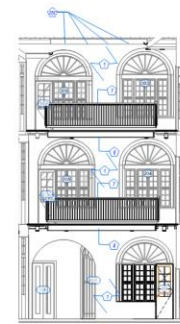
3 | COURTYARD ELEVATION - EAST
1/8" = 1'-0"



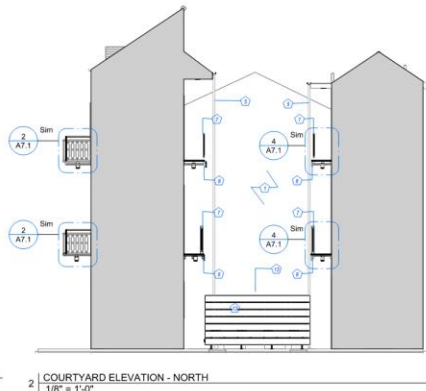
7 | VESTIBULE NORTH Copy 1
1/8" = 1'-0"



6 | VESTIBULE SOUTH Copy 1
1/8" = 1'-0"



4 | COURTYARD ELEVATION - SOUTH1
1/8" = 1'-0"



2 | COURTYARD ELEVATION - NORTH
1/8" = 1'-0"

- RENOVATION SCOPE ITEMS
- | ITEM | SCOPE |
|------|---|
| 1 | EXISTING EXTERIOR STUCCO WALL, SOFT BRUSH CLEAN & REPAIR, SOUND AND CHIP OUT/REPAIR WITH VCC STUCCO MIX (SEE NOTES) WHERE FAILURE HAS OCCURRED. |
| 5 | TIE ROOF LEADERS INTO UNDERGROUND STORM WATER DRAINAGE SYSTEM. |
| 6 | NEW WALL MOUNTED HORIZONTAL SHROUD FOR ELECTRICAL WIRING HOMERUN. |
| 7 | NEW WOOD HANDRAIL, SEE DETAIL. |
| 8 | NEW 5/4" TONGUE AND GROOVE DECKING LAID PERPENDICULAR TO THE BUILDING WALL, TYP. MATCH ALL RELATED FASCIA BOARD AND TRIM DETAILS TO ORIGINAL CONDITION. EXISTING SURFACE SLOPE TO REMAIN. |
| 9 | SEE STRUCTURAL/SHOP DRAWINGS FOR EXTERIOR STREET COLUMN REPAIR ADJUSTMENTS, TYP. |
| 10 | EXISTING STAIR, REPAIR IN PLACE WITH LIKE AND KIND, PAINT FINISH. |
| 12 | NEW MECHANICAL FENCE SCREE, SEE ENLARGED PLAN FOR DETAILS. |
| 13 | NEW HVAC MECHANICAL RACK AND CONDENSORS. |
| 14 | RE-ROUTE EXISTING ELECTRICAL WIRING THAT RUNS THROUGH THE TRANSOM OPENING TO THROUGH MASONRY WALL, CAP MASONRY WALL PENETRATION WITH ELECTRICAL CONDUIT BOX. |
| 16 | PROVIDE NEW BACKSET 42" PIPE GUARDRAIL, SEE ASSOCIATED SECTION DETAIL. |
| 19 | REPAIR, REPLACE, AND ADD SHUTTERS TO ALL EXTERIOR OPENINGS. ALL SHUTTERS TO MATCH EXISTING AS FOUND ONSITE. |
| 20 | REMOVE HVAC WINDOW UNIT. |
| 21 | REMOVE NON-VCC APPROVED LIGHTS, REPLACE WITH BOO LIGHTS AS FOUND ON A7.0. |
| 22 | RESTORE TRANSOM WINDOW TO ORIGINAL CONDITION, WHERE EXISTING GLASS EXISTING, REMOVE ALL COATINGS TO PROVIDE CLEAR GLAZING. |
| 23 | RE-ROUTE EXISTING ELECTRICAL THROUGH MASONRY WALL AND NOT THROUGH TRANSOM WINDOW. |
| 24 | HVAC REFRIGERANT WALL ROUTING, PROVIDE SHROUD, PAINT TO MATCH BUILDING COLOR. |
| 25A | EXISTING STEEL ANGLED SUPPORT. |
| 25B | NEW STEEL ANGLED SUPPORT, SEE A47.1. |
| 25C | EXISTING EXTERIOR STUCCO WALL, SOFT BRUSH CLEAN & REPAIR, SOUND AND CHIP OUT/REPAIR WITH VCC STUCCO MIX (SEE NOTES) WHERE FAILURE HAS OCCURRED, 7 TOTAL, SEE A47.1. |
| 26A | RESTROOM SIDEWALL EXHAUST, PAINT EXHAUST CAP TO MATCH EXTERIOR WALL. |
| 26B | DRYER SIDEWALL EXHAUST, PAINT EXHAUST CAP TO MATCH EXTERIOR WALL. |

22_124

DATE

TYPE (SEE CHANGE LOG)

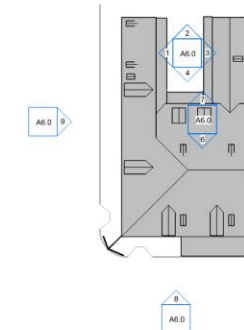
738-40-42 ROYAL ST - EXTERIOR RENOVATION

740 ROYAL ST
NEW ORLEANS, LA 70116



VCC PERMIT SET
ISSUED 04/03/24

A6.0
EXTERIOR ELEVATIONS



5 | KEYPLAN, ELEVATION
3/84" = 1'-0"

740 Royal

VCC Architecture Committee

April 9, 2024



DAIKIN
Submittal Data Sheet
 1.5 Ton, 2-Port Heat Pump, Outdoor COU - 30003999AAUS
 Project: 740 Royal St.
 Submitted by: John Moore of MOE SOUTH/EQUIP/SL, INC./L.L.C. on 3/28/2024
 Submitted to: VCC Architecture Committee
 Type: AOC-1.2.3-A.4.6

FEATURES

- High Energy Efficiency
- High Capacity
- Quiet Operation
- Quick Warning Function
- Automatic Defrosting
- Plasma Ion Deodorizing
- Comfortable mode lock
- Self Diagnosis
- 24-hour clock function
- 24-hour clock function

BENEFITS

- 10 Year replacement warranty
- R410A refrigerant
- Energy efficient operation
- Quiet outdoor unit operation
- Self protection self diagnosis and protection lamp/LED light



DAIKIN
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 Type: AOC-1.2.3-A.4.6

EFFICIENCY				PERFORMANCE			
SEER2	SEER1	HSPF2	COEF	COOLING	HEATING	SEER2	HSPF2
Not-Quoted	16.50	11.50	8.70	4.30	Not-Quoted	17.00	Not-Quoted
Not-Quoted	16.50	8.00	7.70	3.10	Not-Quoted	16.00	8.00
Not-Quoted	16.50	10.50	8.30	3.90	Not-Quoted	16.00	8.00

ELECTRICAL		FINISH	
Phase Voltage (V/Phases)	208/200/1-1-1	Wall, System/Finish Length	See Schedule
Phase Sequence	None	Wall, System/Finish	See Schedule
Minimum Amps (Amps/Phases)	55.0	Wall, System/Finish	See Schedule
Maximum Amps (Amps/Phases)	80.0	Wall, System/Finish	See Schedule
Compressor P.A. (P.A./Phases)	14.0	Wall, System/Finish	See Schedule
Outdoor Fan Motor S.A. (S.A./Phases)	0.4	Wall, System/Finish	See Schedule
Outdoor Fan Motor S.A. (S.A./Phases)	0.0	Wall, System/Finish	See Schedule

REGULATIONS

Compressor Type	Being	Compressor Stage	Inverter
Refrigerant Type	R410A/GA	PHASE	PHASE
Factory Charge (LBS)	3.00	Refrigerant Charge (LBS)	3.21

COOLING - Outdoor Unit (BTU)		HEATING - Outdoor Unit (BTU)	
High	2,100	High	2,100
Med	2,100	Med	2,100
Low	1,500	Low	1,500
Lowest Load (BTU)	10	Lowest Load (BTU)	10

DAIKIN
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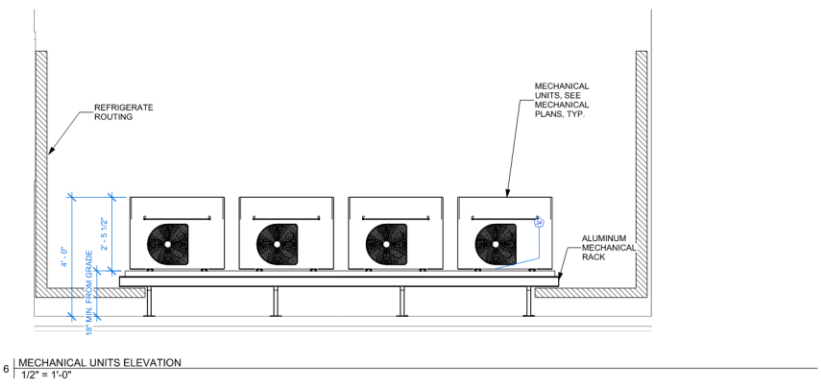
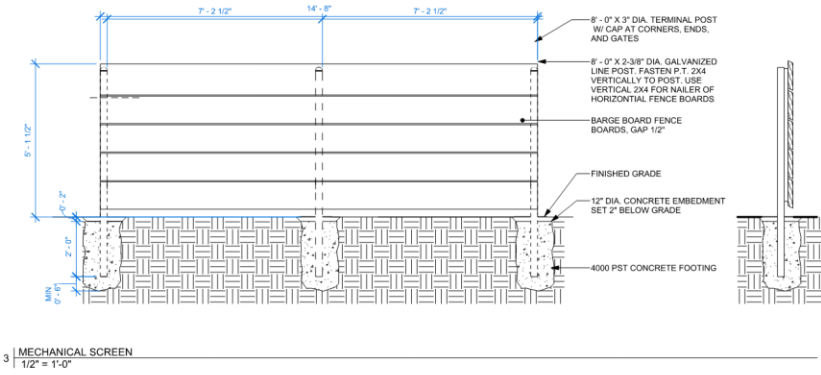
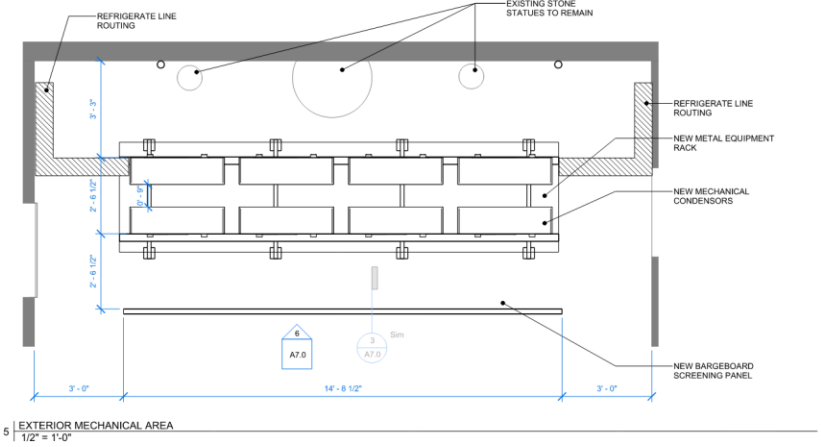
DIMENSIONAL DRAWING

DAIKIN
Submittal Data Sheet
 1.5 Ton, 2-Port Heat Pump, Outdoor COU - 30003999AAUS
 Project: 740 Royal St.
 Submitted by: John Moore of MOE SOUTH/EQUIP/SL, INC./L.L.C. on 3/28/2024
 Submitted to: VCC Architecture Committee
 Type: AOC-1.2.3-A.4.6

ACCESSORIES

PART NUMBER	DESCRIPTION	INCLUDED
MS000001	Front Panel (Not Shown) (See Schedule)	No
MS000002	Back (By Door) (Not Shown) (See Schedule)	No
MS000003	Back protection wire net	No
MS000004	Side protection wire net (18 & 24)	No
MS000005	Stone head (stone side) (18 & 24)	No
MS000006	Stone head (stone top) (18 & 24)	No
MS000007	Stone head (stone) (18 & 24)	No
MS000008	10' aluminum mechanical rack	No
MS000009	Heat Coil Guard (See Schedule)	No

OUTDOOR CONDENSER SELECTION





VERTICAL SUPPORT, ALIGN NEW GUARDRAIL VERTICAL SUPPORT IN-LINE, TYP.
RAILING AT ROYAL, CORNER, AND PART OF ST ANN ST.



VERTICAL SUPPORT, ALIGN NEW GUARDRAIL VERTICAL SUPPORT IN-LINE, TYP.
RAILING AT ST ANN ST.

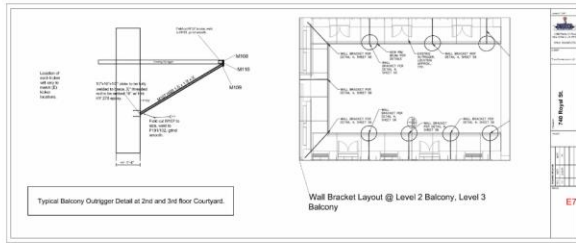
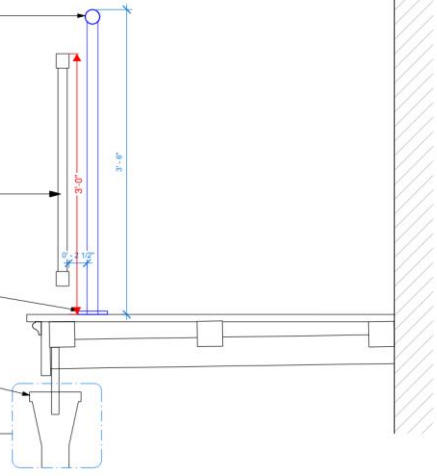
NEW 42" METAL 1 1/4" DIAMETER HIGH GUARDRAIL PROVIDE INTERMEDIATE SUPPORTS AT 4' O.C., PAINT WHITE.
PROVIDE SHOP DRAWINGS FOR COORDINATION OF BASE PLATE LOCATIONS ALIGN WITH EXISTING VERTICAL(S) PRIOR TO FABRICATION.

EXISTING DECORATIVE METAL RAILING, WIRE BRUSH CLEAN, PAINT BLACK.

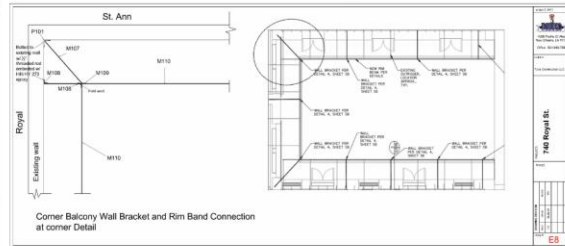
4"x4" METAL BASE PLATE MECHANICALLY FASTEN TO SURFACE OF DECK, PAINT WHITE.

EXISTING STEEL COLUMN WITH DECORATIVE CAP, SEE DETAIL FOR REPAIR.

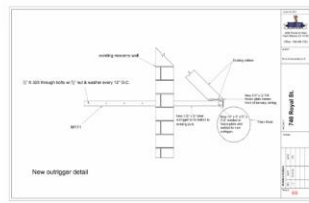
NEW GUARDRAIL INSTALL @ EXTERIOR STREET
2 1 1/2" = 1'-0"



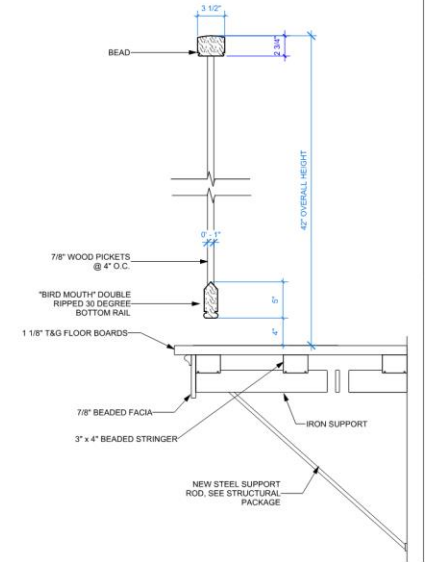
INTERIOR GALLERY SUPPORT



INTERIOR GALLERY SUPPORT



3RD FLOOR ROOF SUPPORT



SECTION @ INTERIOR BALCONYS
1 1/2" = 1'-0"

22_124

TYPE (SEE CHANGE LOG) DATE



A7.1
DETAILS - BALCONY

ISSUED 04/03/24

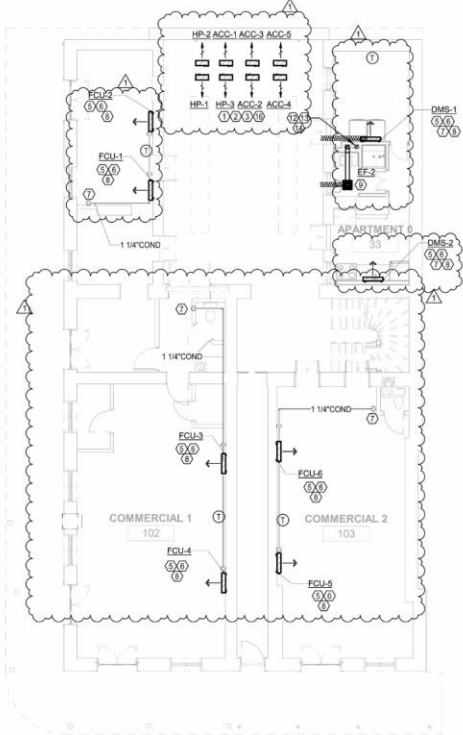
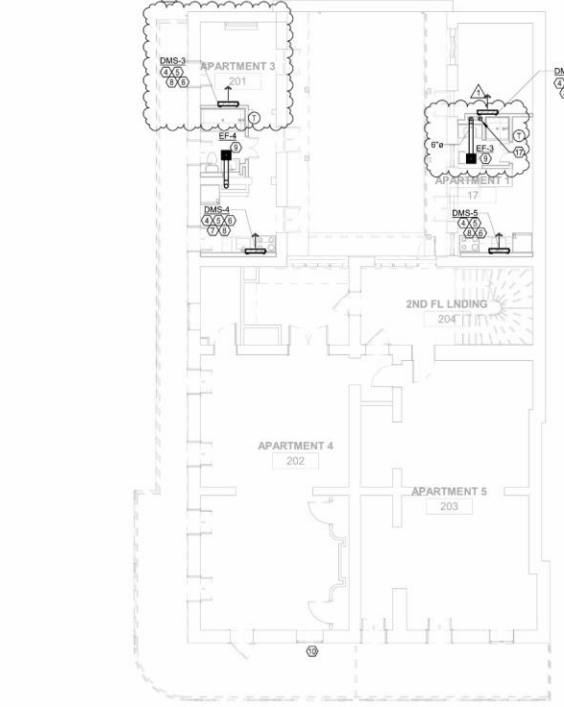
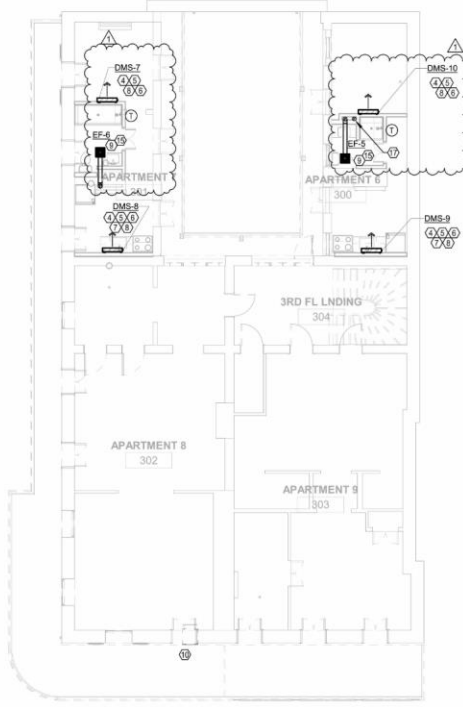
738-40-42 ROYAL ST - EXTERIOR RENOVATION

740 ROYAL ST
NEW ORLEANS LA 70116



MECHANICAL KEYPED NOTES:

1. PROVIDE 4" THICK REINFORCED CONCRETE HOUSEKEEPING PAD. SIZE PAD PER UNIT MANUFACTURERS RECOMMENDATIONS.
2. ROUTE REFRIGERANT LINES UP INSIDE EXTERIOR WALL. PENETRATE AT 12" ABOVE FINISHED FLOOR.
3. REFER TO DETAIL 1M3.00 FOR MOUNTING OF ACC-1-8.
4. ROUTE FULL SIZED INSULATED CONDENSATE DRAIN ABOVE CEILING TO WATER HEATER DRAIN PAN. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS FOR EXACT LOCATION.
5. UNIT TO BE WALL MOUNTED.
6. FIELD ROUTE REFRIGERANT LINES TO RESPECTIVE INDOOR UNIT. COORDINATE WITH ARCHITECT FOR EXACT ROUTING LOCATIONS PRIOR TO MOUNTING. PROVIDE LINE SET COVER FOR REFRIGERANT LINES. EXTERIOR LINE SET COVERS TO MATCH SURFACE COLOR. REFER TO DETAIL 4M3.00 FOR ROUTING DETAIL.
7. FIELD ROUTE 1-1/4" CONDENSATE PIPING TO HUB DRAIN. CONTRACTOR TO COORDINATE WITH PLUMBING PLANS FOR EXACT LOCATION.
8. CONTRACTOR TO PROVIDE LITTLE GIANT CONDENSATE PUMP.
9. REFER TO DETAIL 4M3.00 FOR EXHAUST FAN DETAIL.
10. CONTRACTOR SHALL DEMOLISH EXISTING WINDOW UNIT AND ALL RELATED APPURTANCES. CONTRACTOR TO REPLACE WINDOW UNIT WITH AN IN KIND WINDOW UNIT.
11. CONTRACTOR SHALL SIZE REFRIGERANT LINES BASED ON MANUFACTURERS STANDARDS.
12. CONNECT DRYER VENT IN WALL TO DRYER BOX MODEL #425 BY IN-O-VATE TECHNOLOGIES INC. COORDINATE WITH DRYER OUTLET PRIOR TO INSTALLATION. PROVIDE AN INSTALL EQUIVALENT LENGTH PLACARD ADJACENT TO DRYER WALL INLET PER IBC 2021 SECTION 504.4.1 AND FIGURE 504.4.1. THE DRYER BOX UNIT MUST BE INSTALLED IN ACCORDANCE WITH THE UL CABINET SYSTEM LISTING TO BE FIRE RATED.
13. ROUTE 6" DRYER EXHAUST DUCT UP FROM DRYER BOX TO AND THRU ROOF. CONTRACTOR TO CONNECT TO ROOF VENT DRYER JACK 477 OR APPROVED EQUAL. COORDINATE COLOR SELECTION WITH ARCHITECT AND OWNER.
14. PROVIDE EXHAUST DUCT POWER VENTILATOR PANASONIC VTX-DEDPV OR APPROVED EQUAL VENTILATOR TO COMPLY WITH UL 175 AND INSTALL PER MANUFACTURERS REQUIREMENTS. PROVIDE ACCESS PANEL FOR MAINTENANCE. REFER TO ARCHITECTURAL SET FOR FINAL LOCATION.
15. ROUTE 6" EXHAUST DUCT FROM EF-1 UP TO AND THRU ROOF. CONTRACTOR TO CONNECT TO ROOF VENT BROAN MODEL 634 OR APPROVED EQUAL. COORDINATE COLOR SELECTION WITH ARCHITECT AND OWNER.
16. CONDENSING UNITS TO BE ORIENTED AS SHOWN ON DRAWINGS.
17. ROUTE 6" DRYER EXHAUST DUCT UP FROM BELOW.



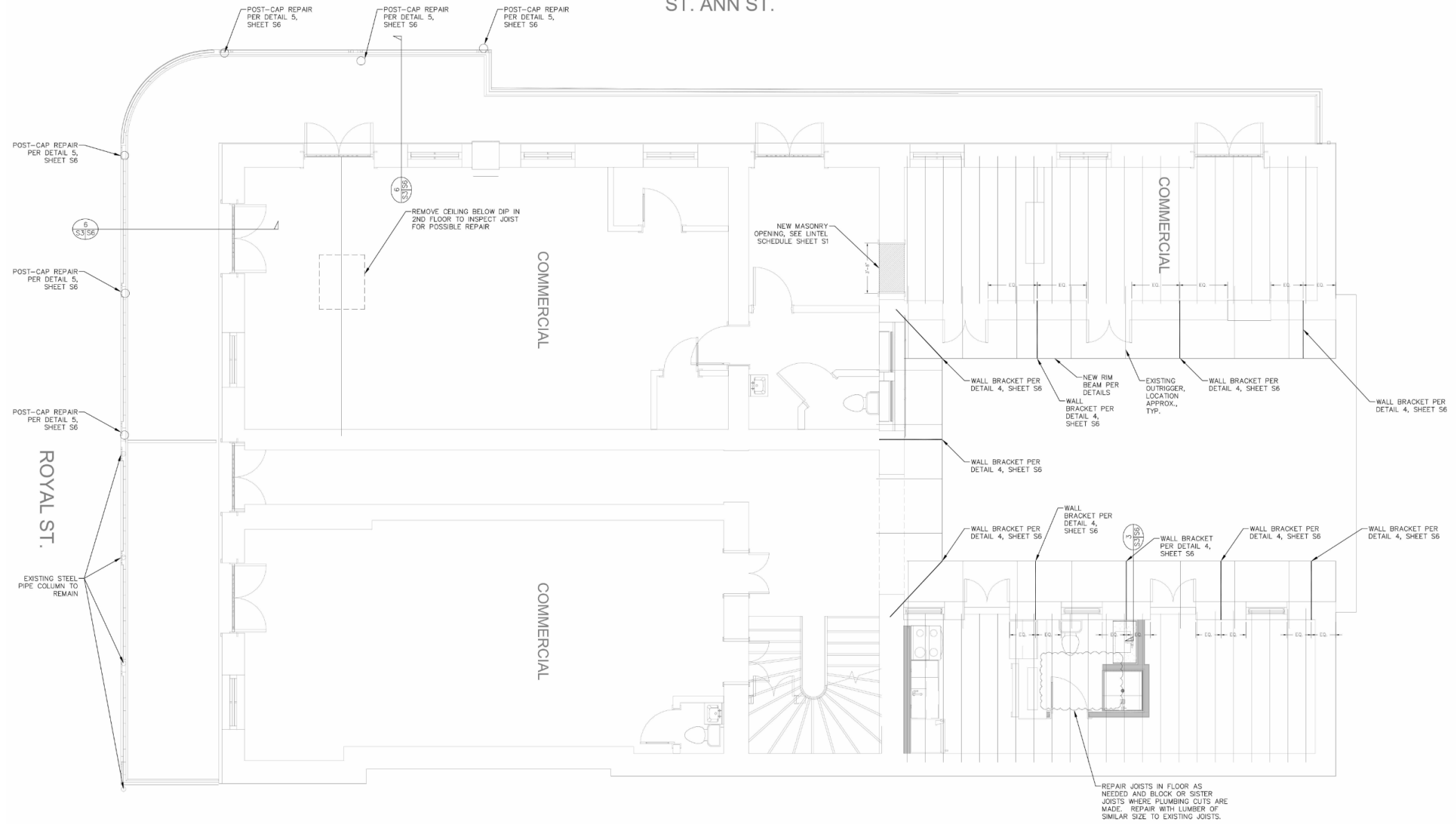
740 Royal 3 **3RD FLOOR MECHANICAL PLAN**
Scale: 1/8" = 1'-0"

2 **2ND FLOOR MECHANICAL PLAN**
Scale: 1/8" = 1'-0"

1 **1ST FLOOR MECHANICAL PLAN**
Scale: 1/8" = 1'-0"



ST. ANN ST.



740 Royal

VCC Architecture Committee

April 9, 2024





3rd FLOOR FRAMING PLAN
 (2ND FLOOR WALLS SHOWN BELOW)
 1/4" = 1'-0"

740 Royal WALLS IN THE BUILDING REQUIRE REPAIRS.
 CONTRACTOR SHOULD FOLLOW THE GUIDELINES BELOW.

VCC Architecture Committee

April 9, 2024

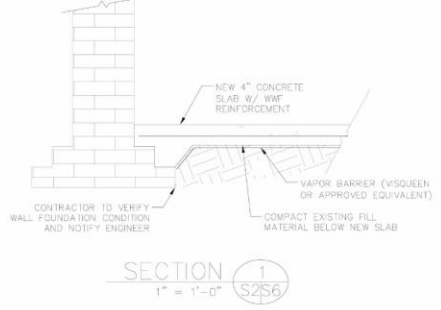




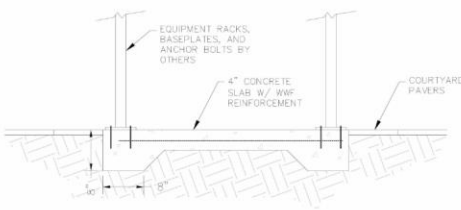
ATTIC FRAMING PLAN
 (3RD FLOOR WALLS SHOWN BELOW)
 1/4" = 1'-0"

740 Royal
 CK... WALLS IN THE BUILDING REQUIRE REPAIRS.
 RA... THE GUIDELINES BELOW.

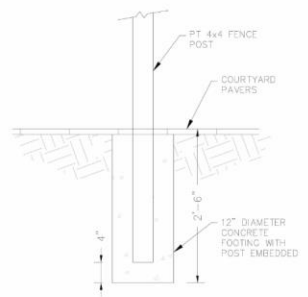




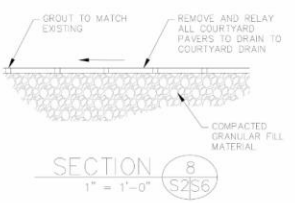
SECTION 1
1" = 1'-0" S2S6



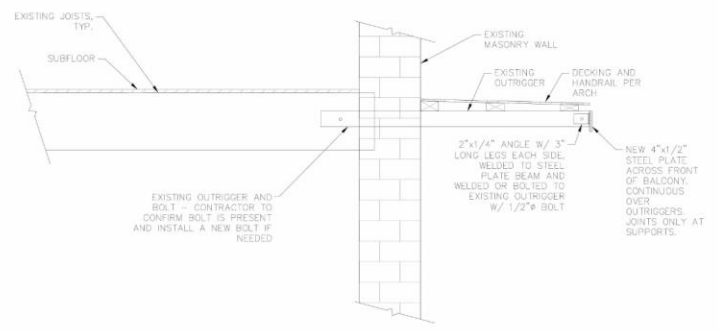
SECTION 2
1" = 1'-0" S2S6



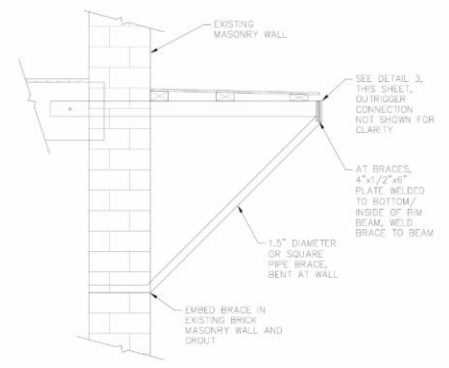
SECTION 7
1" = 1'-0" S2S6



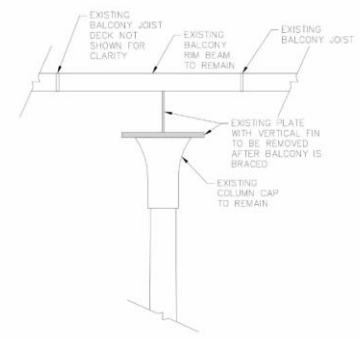
SECTION 8
1" = 1'-0" S2S6



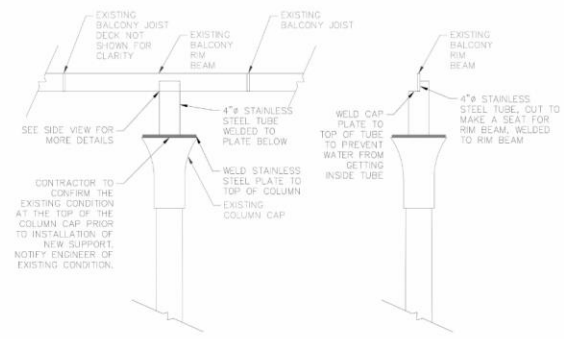
BALCONY DETAIL BETWEEN BRACES
SECTION 3
1" = 1'-0" S3S6



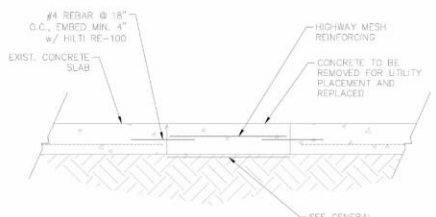
BALCONY DETAIL AT BRACES
SECTION 4
1" = 1'-0" S3S6



COLUMN CAP EXISTING

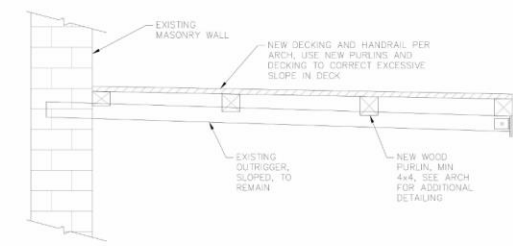


COLUMN CAP PROPOSED



TYPICAL DETAIL
SOIL-SUPPORTED SLAB CUT

SECTION 5
1" = 1'-0" S2S6



SECTION 6
1" = 1'-0" S3S6

REV. NO.	DATE	DESCRIPTION

740 ROYAL STREET
New Orleans, Louisiana

DRAWN BY: JMS
CHECKED BY: JMS
DATE: NOVEMBER 30, 2022
ISSUE:
PRICING

PRELIMINARY
THIS DOCUMENT IS NOT VALID FOR CONSTRUCTION BIDDING, NEGOTIATION OR CONTRACTING, UNLESS SO NOTED ON THE DRAWINGS OR AS PART OF A PERMIT

DETAILS

SHEET:
S6

April 9, 2024



Keynote Legend

- 1 - Clean Door, Frame, Glass
- 2 - Remove Existing Non-Historic Grilles
- 3 - Remove Existing Non-Historic Shutters
- 4 - Remove Existing Non-Historic Screen
- 5 - Remove Existing HVAC Window Units
- 6 - Remove Existing Electrical/Telecom Wiring
- 7 - Remove Existing Plumbing
- 8 - Remove Existing Flagpole Holder
- 9 - Repair in Place
- 10 - Repair Shutter
- 11 - Repair and Replace Glazing As Needed
- 12 - Prep and Paint
- 13 - Install New Door
- 14 - Install New Shutter
- 15 - Install New Transom
- 16 - Install New Wood Infill Panel
- 17 - Reinstall Window Sash


740 Royal

VCC Architecture Committee



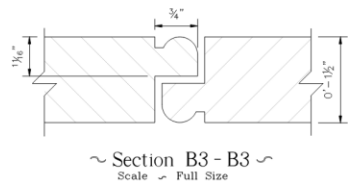
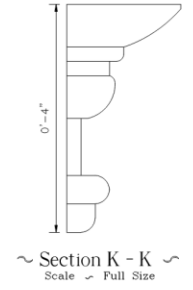
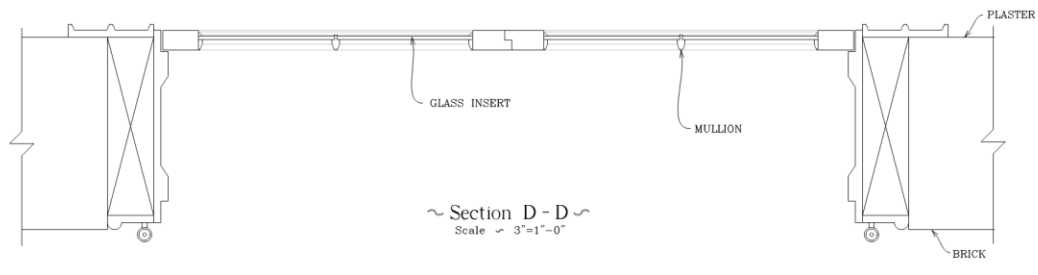
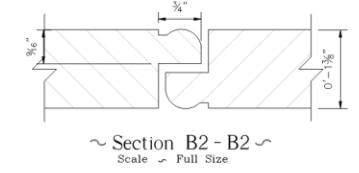
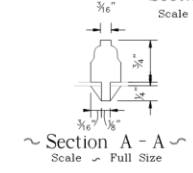
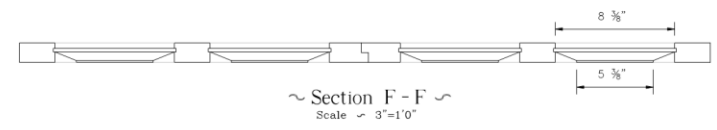
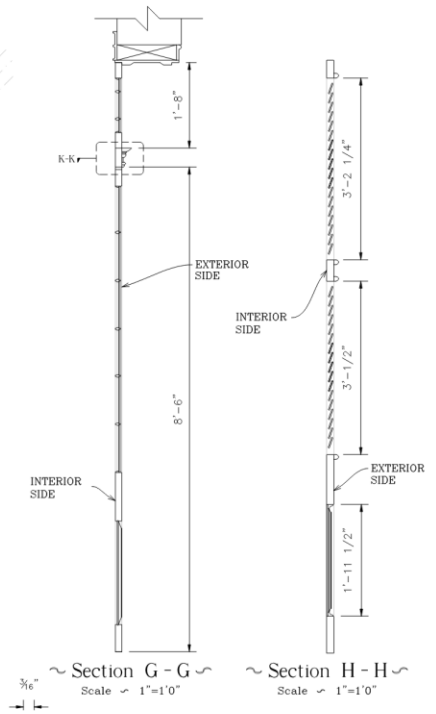
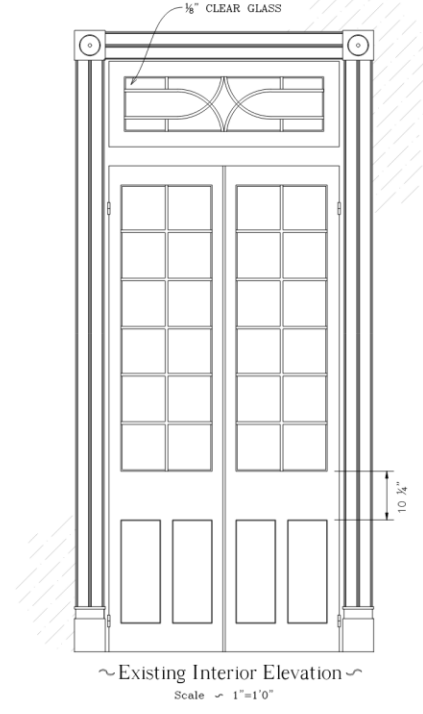
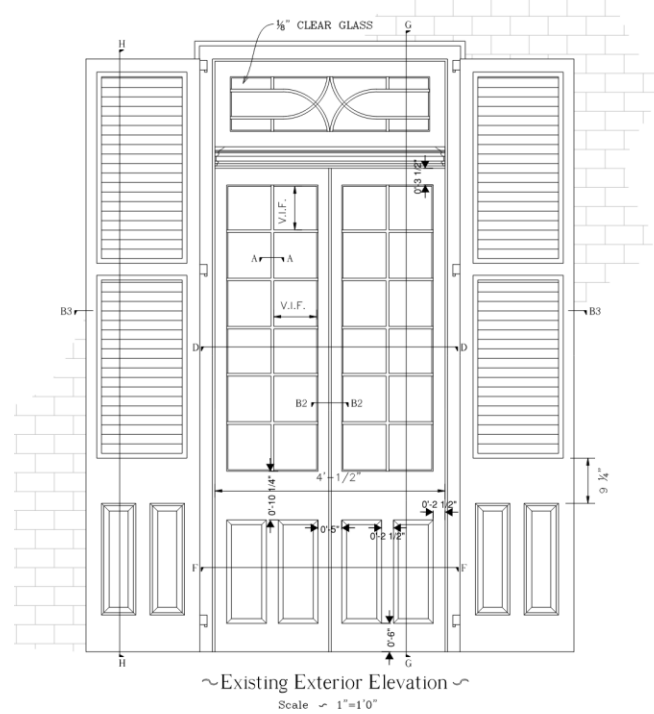
Door: 202_2 • Location (Rm/St): 202/Royal





LIONNET
DESIGN SERVICES LLC

SHOP DRAWINGS
RENOVATIONS TO EXISTING CONDITIONS
740 ROYAL ST.
NEW ORLEANS, LA 70116



General Notes:
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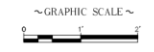
No.	Revision/Issue	Date

General Contractor:
Tina Construction
464 Lakeside Rd.
Westwego, LA 70094
Office: 504-509-2249
Fax: 504-509-2969

Project Developer:
-

Sheet Title:
Door 202 Type D02

Scale: As Noted	Project: TUNOOI
Record: ---	Rev. Date: 2/15/2024
Drawn By: JL	Sheet: A600
Checked By: JL	



DETAIL OF DOOR 202E_2 TYPE D02



Keynote Legend

- 1 - Clean Door, Frame, Glass
- 2 - Remove Existing Non-Historic Grilles
- 3 - Remove Existing Non-Historic Shutters
- 4 - Remove Existing Non-Historic Screen
- 5 - Remove Existing HVAC Window Units
- 6 - Remove Existing Electrical/Telecom Wiring
- 7 - Remove Existing Plumbing
- 8 - Remove Existing Flagpole Holder
- 9 - Repair in Place
- 10 - Repair Shutter
- 11 - Repair and Replace Glazing As Needed
- 12 - Prep and Paint
- 13 - Install New Door
- 14 - Install New Shutter
- 15 - Install New Transom
- 16 - Install New Wood Infill Panel
- 17 - Reinstall Window Sash

740 Royal

VCC Architecture Committee



Door: 303 • Location (Rm/St): 302/Royal

124





SHOP DRAWINGS
 RENOVATIONS TO EXISTING CONDITIONS
 740 ROYAL ST.
 NEW ORLEANS, LA 70116

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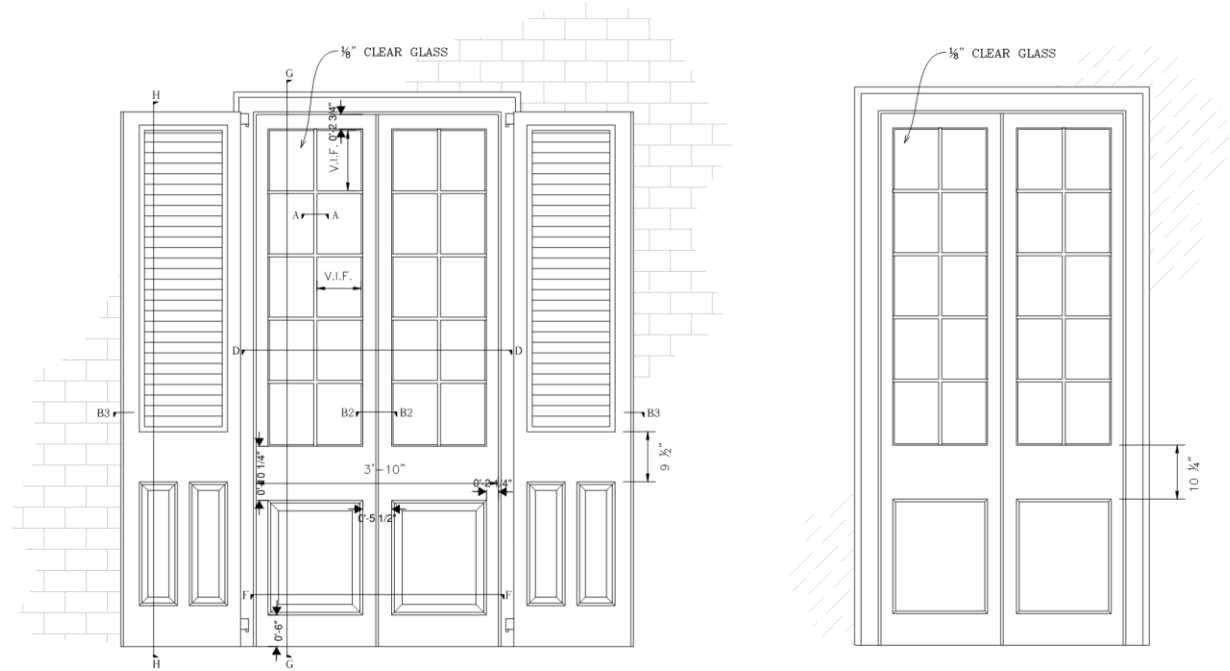
No.	Revision/Issue	Date

General Contractor:
 Tuna Construction
 464 Lodiqie Rd
 Westwego, LA 70094
 Office: 504-305-2249
 Fax: 504-305-2969

Project Designer:
 .
 .
 .

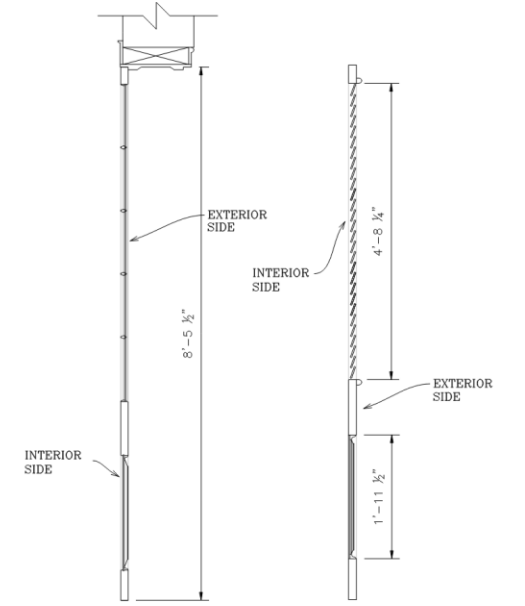
Sheet Title:
 Door 303E Type D03

Scale:	As Noted	Project#:	TUNOO1
Revised:	---	DRW Date:	2/15/2024
Drawn By:	JL	Sheet:	
Checked By:	JL		A700



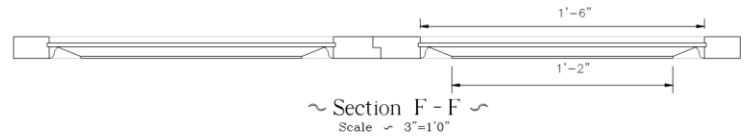
~Existing Exterior Elevation~
 Scale ~ 1"=1'0"

~Existing Interior Elevation~
 Scale ~ 1"=1'0"

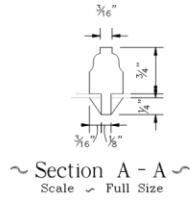


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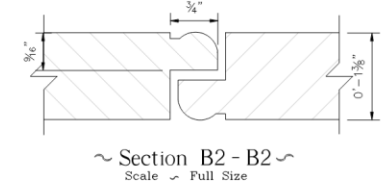
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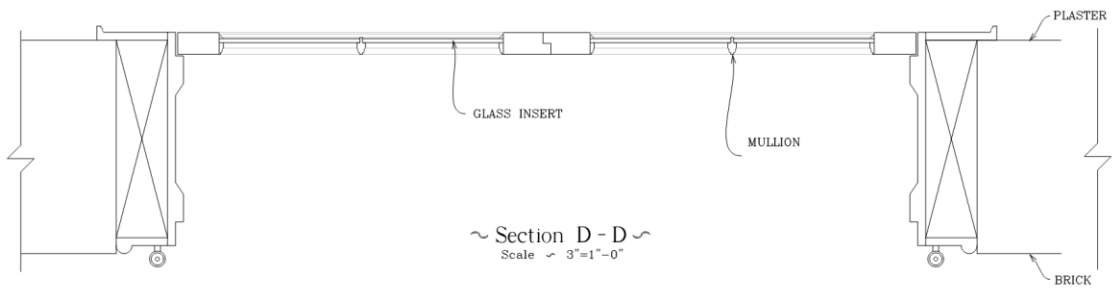
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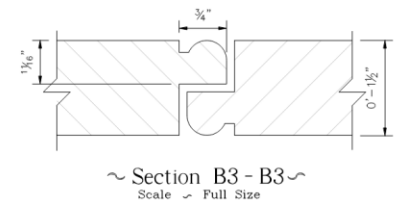
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 Scale ~ Full Size



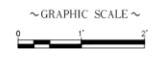
~Section B2 - B2~
 Scale ~ Full Size



~Section D - D~
 Scale ~ 3"=1'-0"



~Section B3 - B3~
 Scale ~ Full Size



740 R
 VCC Arc

DETAIL OF DOOR 303E TYPE D03



Keynote Legend

- 1 - Clean Door, Frame, Glass
- 2 - Remove Existing Non-Historic Grilles
- 3 - Remove Existing Non-Historic Shutters
- 4 - Remove Existing Non-Historic Screen
- 5 - Remove Existing HVAC Window Units
- 6 - Remove Existing Electrical/Telecom Wiring
- 7 - Remove Existing Plumbing
- 8 - Remove Existing Flagpole Holder
- 9 - Repair in Place
- 10 - Repair Shutter
- 11 - Repair and Replace Glazing As Needed
- 12 - Prep and Paint
- 13 - Install New Door
- 14 - Install New Shutter
- 15 - Install New Transom
- 16 - Install New Wood Infill Panel
- 17 - Reinstall Window Sash

740 Royal

VCC Architecture Committee



Door: 305 • Location (Rm/St): 302/Ann

024





SHOP DRAWINGS
 RENOVATIONS TO EXISTING CONDITIONS
 740 ROYAL ST.
 NEW ORLEANS, LA 70116

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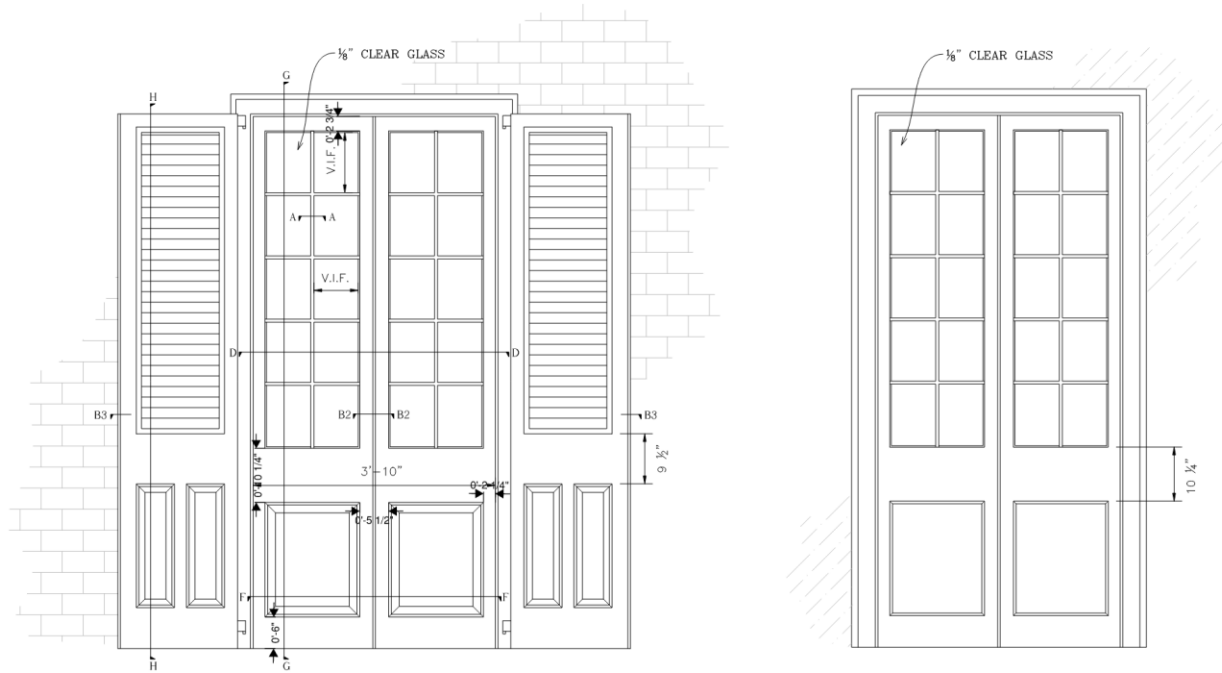
No.	Revision/Issue	Date

General Contractor:
 Tuna Construction
 464 Lodiqie Rd
 Westwego, LA 70094
 Office: 504-305-2249
 Fax: 504-305-2969

Project Designer:
 .
 .
 .

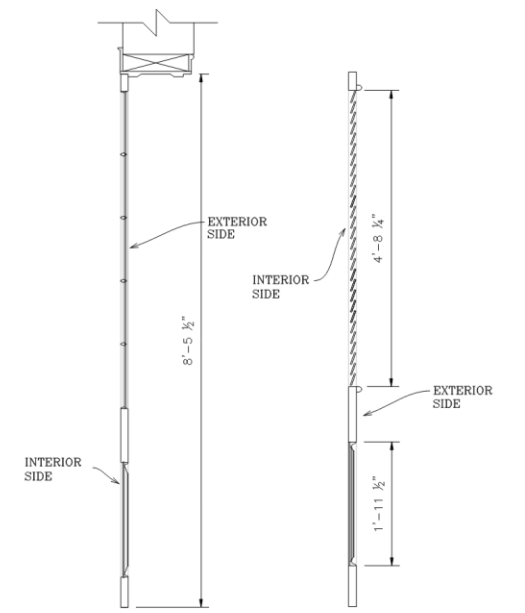
Sheet Title:
 Door 303E Type D03

Scale:	As Noted	Project#:	TUN001
Revised:	---	DRW Date:	2/15/2024
Drawn By:	JL	Sheet:	
Checked By:	JL		A700



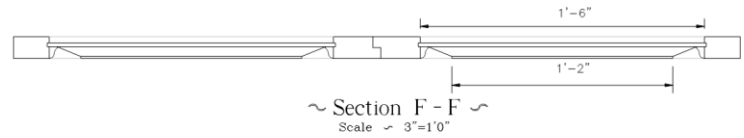
~Existing Exterior Elevation~
 Scale ~ 1"=1'0"

~Existing Interior Elevation~
 Scale ~ 1"=1'0"

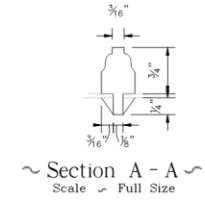


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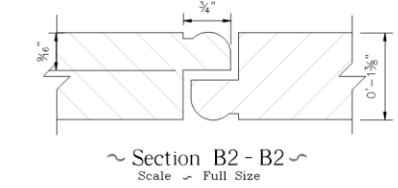
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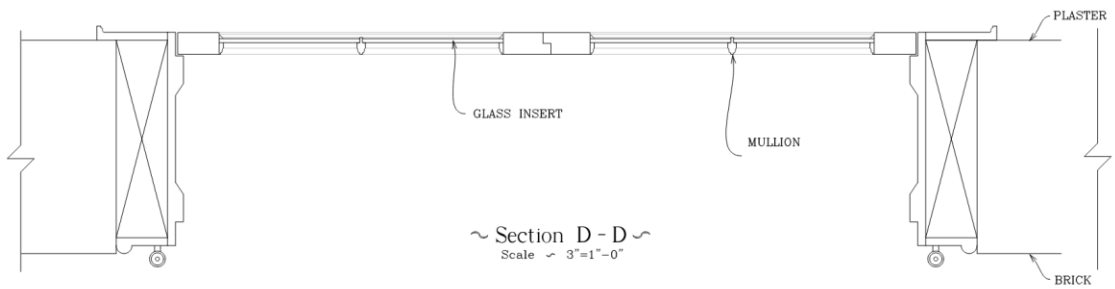
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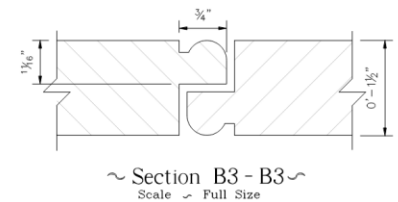
~Section A - A~
 Scale ~ Full Size



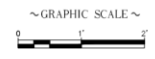
~Section B2 - B2~
 Scale ~ Full Size



~Section D - D~
 Scale ~ 3"=1'-0"



~Section B3 - B3~
 Scale ~ Full Size



740 R
 VCC Arc

DETAIL OF DOOR 303E TYPE D03



Keynote Legend

- 1 - Clean Door, Frame, Glass
- 2 - Remove Existing Non-Historic Grilles
- 3 - Remove Existing Non-Historic Shutters
- 4 - Remove Existing Non-Historic Screen
- 5 - Remove Existing HVAC Window Units
- 6 - Remove Existing Electrical/Telecom Wiring
- 7 - Remove Existing Plumbing
- 8 - Remove Existing Flagpole Holder
- 9 - Repair in Place
- 10 - Repair Shutter
- 11 - Repair and Replace Glazing As Needed
- 12 - Prep and Paint
- 13 - Install New Door
- 14 - Install New Shutter
- 15 - Install New Transom
- 16 - Install New Wood Infill Panel
- 17 - Reinstall Window Sash

740 Royal

VCC Architecture Committee



Door: 306 • Location (Rm/St): 302/Ann

3, 2024





SHOP DRAWINGS
 RENOVATIONS TO EXISTING CONDITIONS
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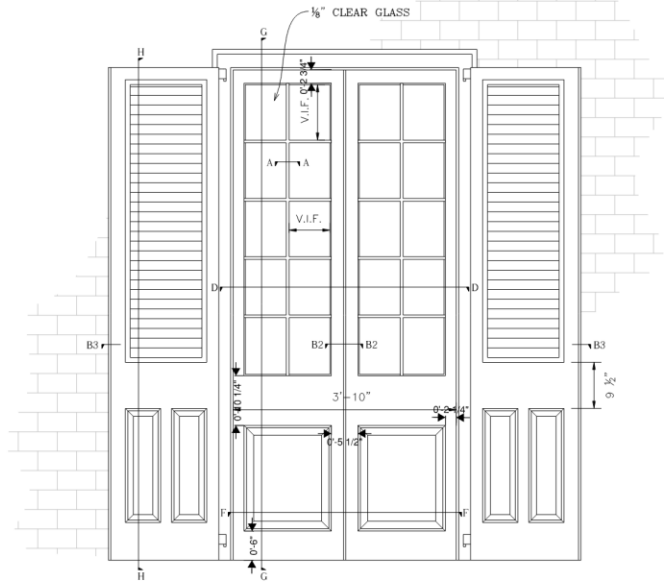
No.	Revision/Issue	Date

General Contractor: Tuna Construction
 464 Lake Rd.
 Westwego, LA 70094
 Office: 504-305-2249
 Fax: 504-305-2267

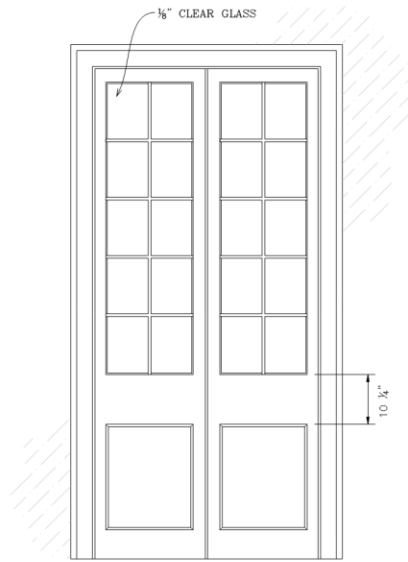
Project Developer: -

Sheet Title: Door 306E Type D03

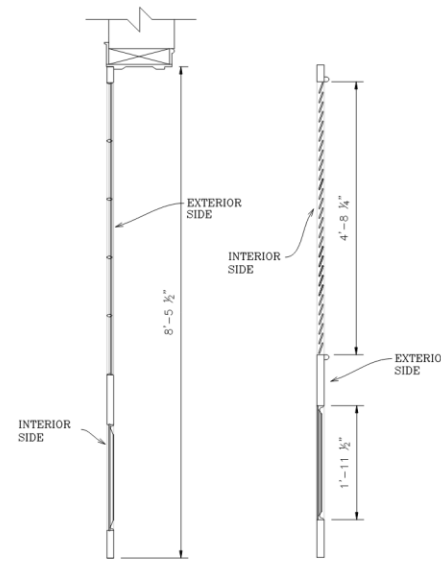
Scale: As Noted	Project: TUN001
Revised: -	DWG. Date: 2/15/2024
Drawn By: JL	Sheet: -
Checked By: JL	A700



~ Existing Exterior Elevation ~
 Scale ~ 1"=1'0"

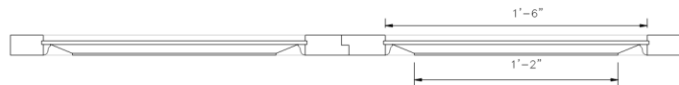


~ Existing Interior Elevation ~
 Scale ~ 1"=1'0"

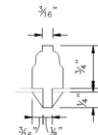


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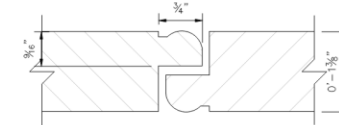
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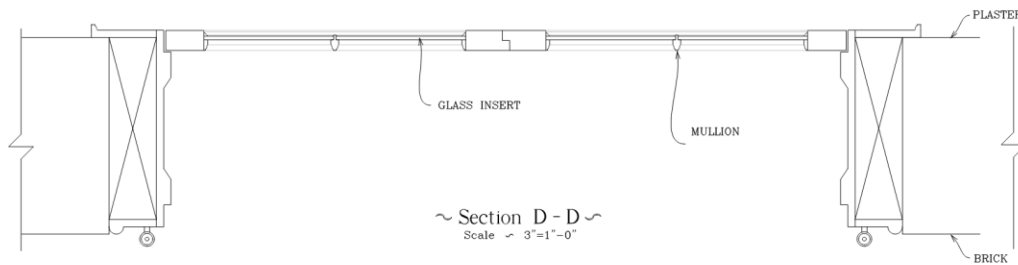
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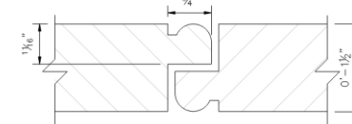
~ Section A - A ~
 Scale ~ Full Size



~ Section B2 - B2 ~
 Scale ~ Full Size



~ Section D - D ~
 Scale ~ 3"=1'-0"

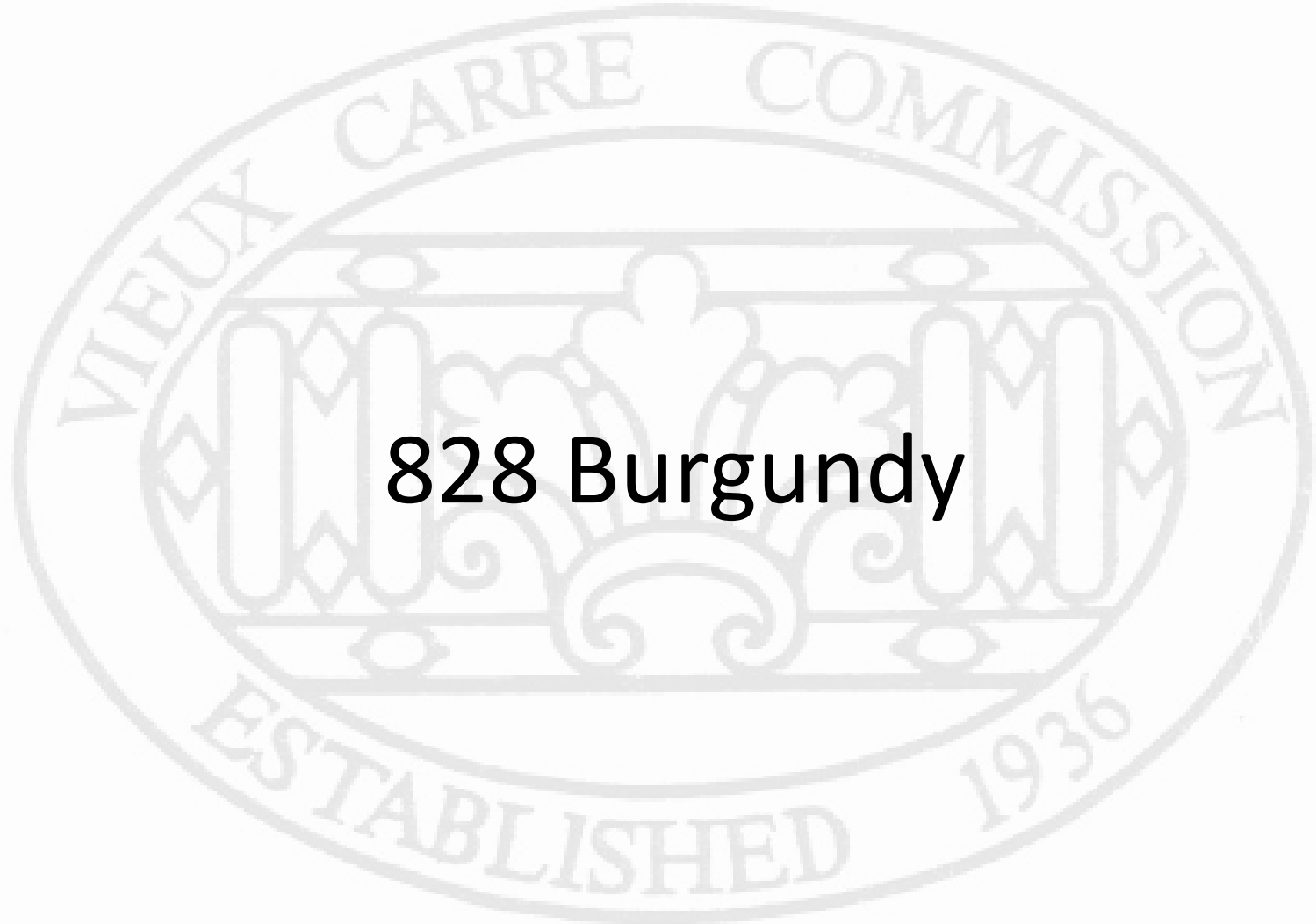


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 Scale ~ Full Size

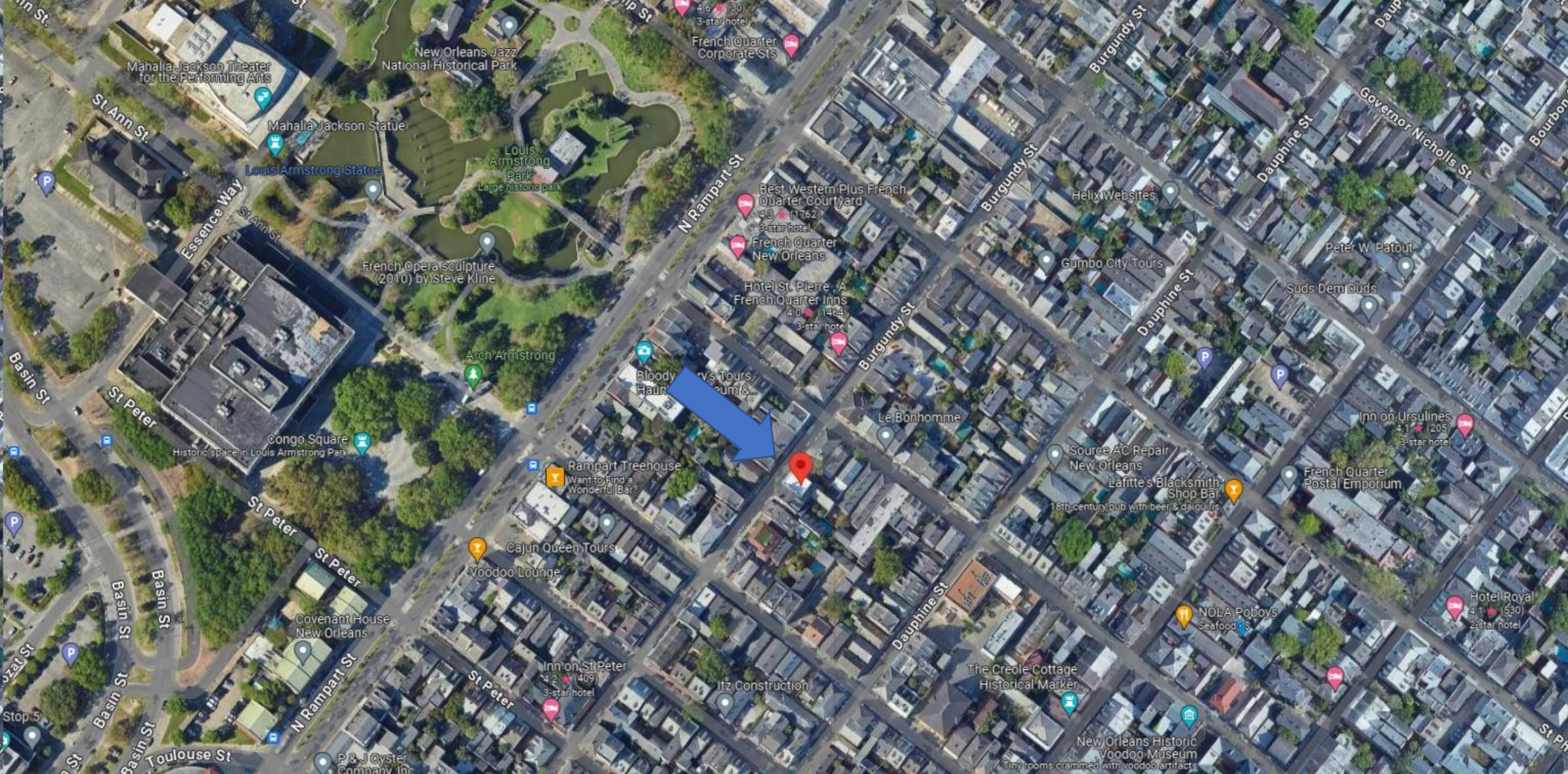


DETAIL OF DOOR 306E TYPE D03





828 Burgundy



826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024





826-828 Burgundy

VCC Architecture Committee

April 9, 2024

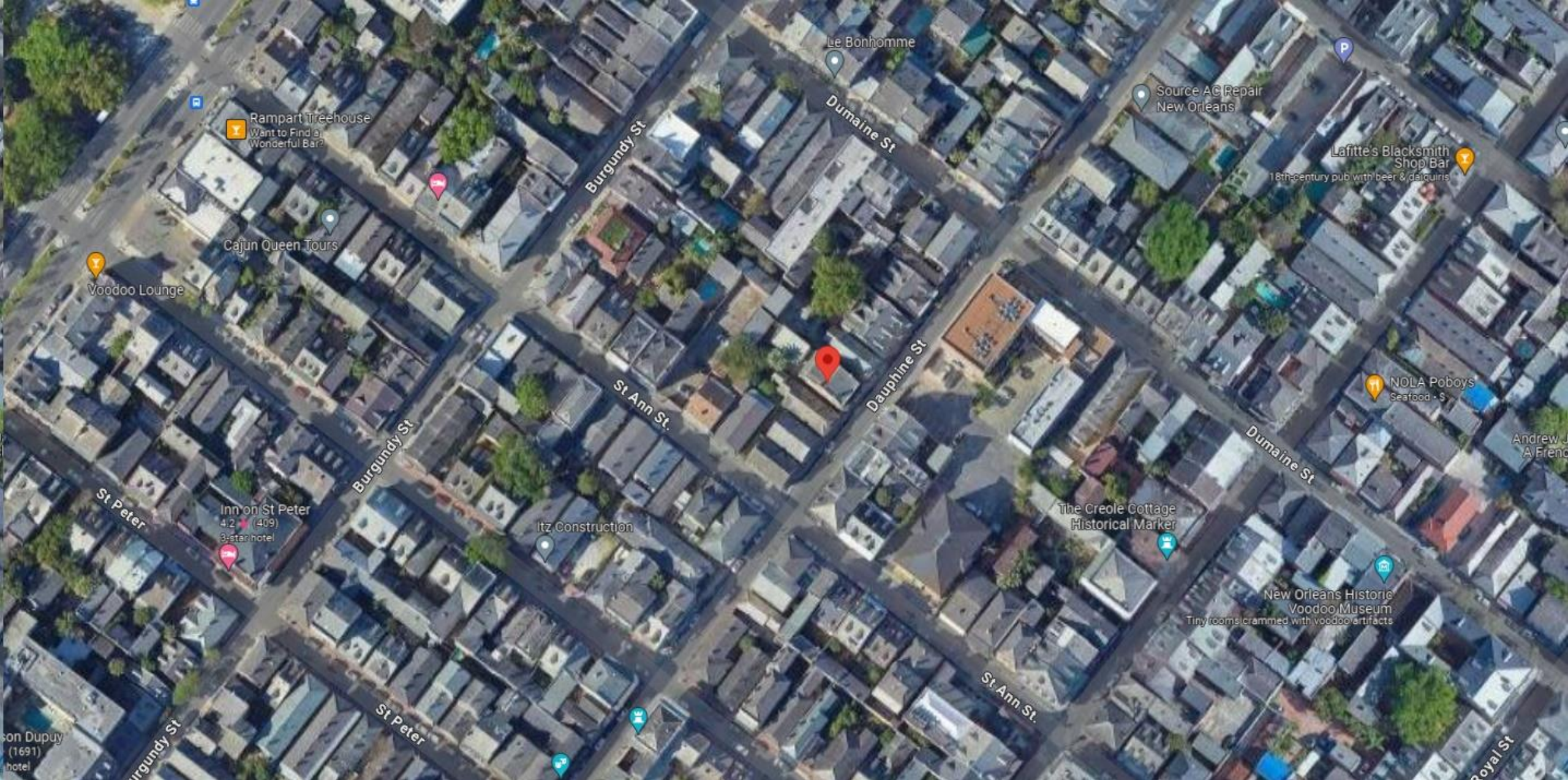




229 Royal
Removed from Agenda



815 Dauphine



815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024





815 Dauphine

VCC Architecture Committee

April 9, 2024



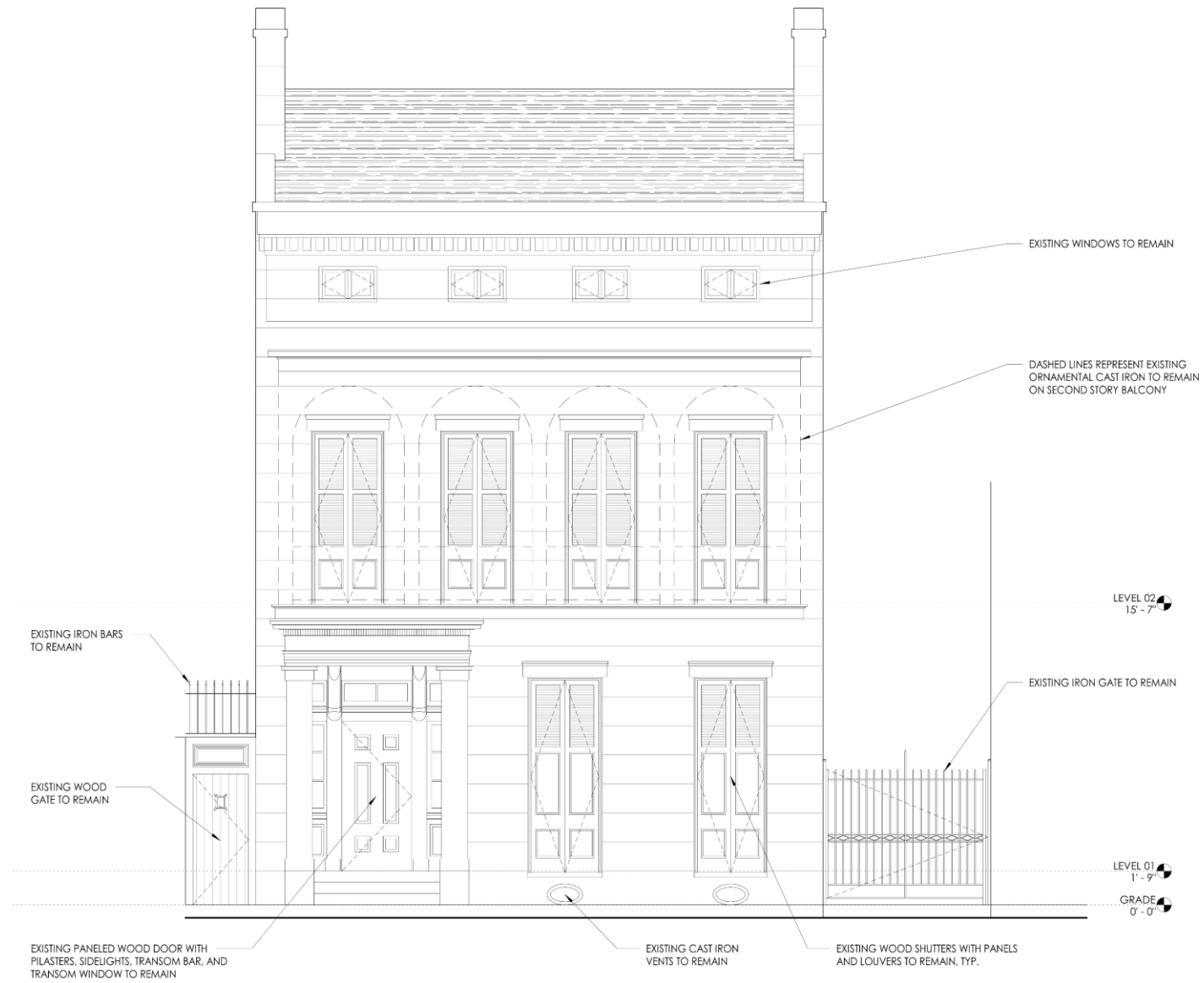


815 Dauphine

VCC Architecture Committee

April 9, 2024





② DAUPHINE STREET ELEVATION - EXISTING
 1/4" = 1'-0"

815 Dauphine

VCC Architecture Committee

April 9, 2024

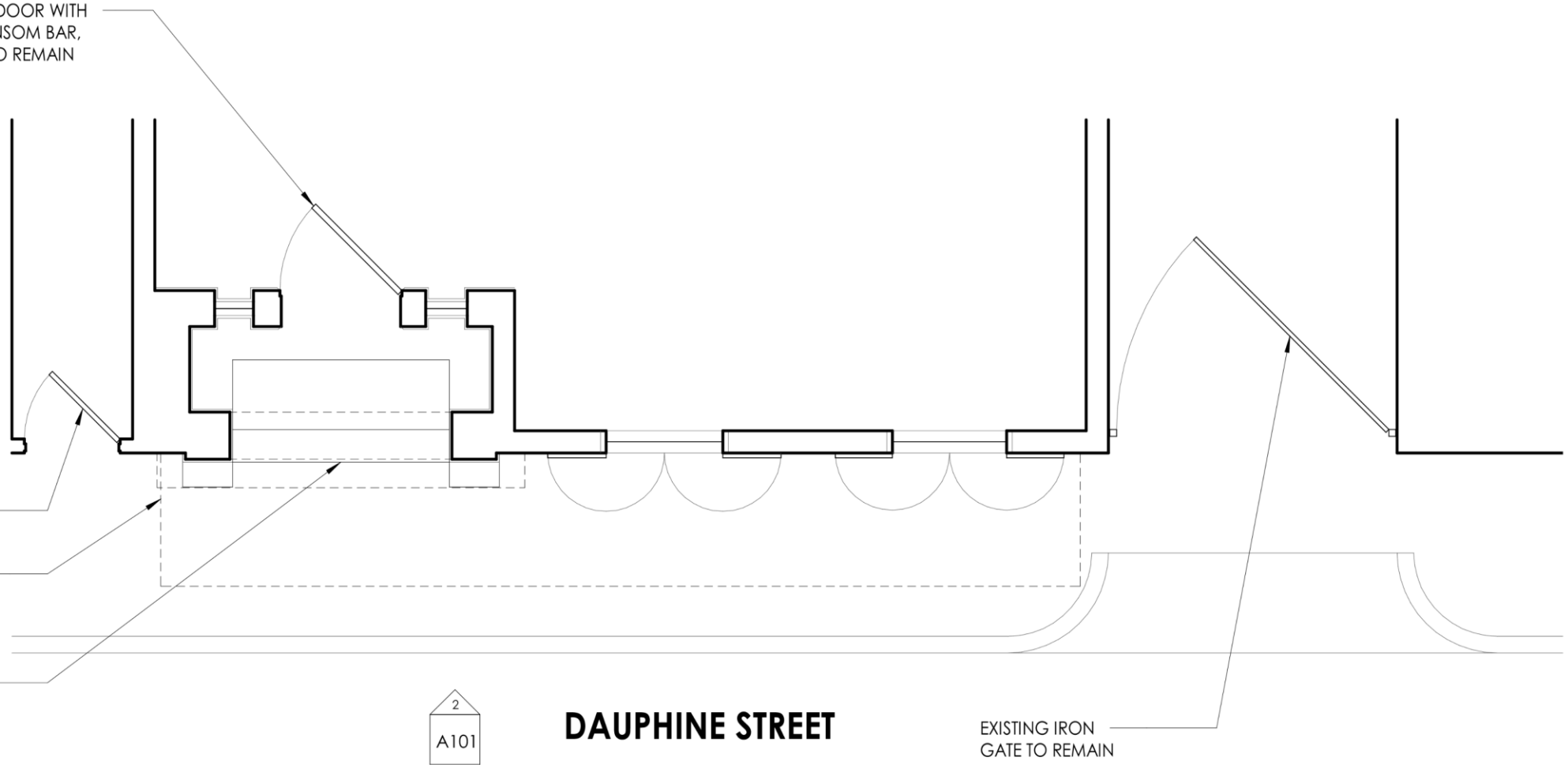


EXISTING paneled wood door with pilasters, sidelights, transom bar, and transom window to remain

EXISTING wood gate to remain

Dashed lines represent outlines of existing entablature and balcony above

EXISTING stone stoop and plinths to remain



1 PARTIAL FIRST FLOOR PLAN - EXISTING
1/4" = 1'-0"

815 Dauphine

VCC Architecture Committee

April 9, 2024





② DAUPHINE STREET ELEVATION
1/4" = 1'-0"

815 Dauphine

VCC Architecture Committee

April 9, 2024



EXISTING PANELED WOOD DOOR WITH
PILASTERS, SIDELIGHTS, TRANSOM BAR,
AND TRANSOM WINDOW TO REMAIN

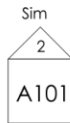
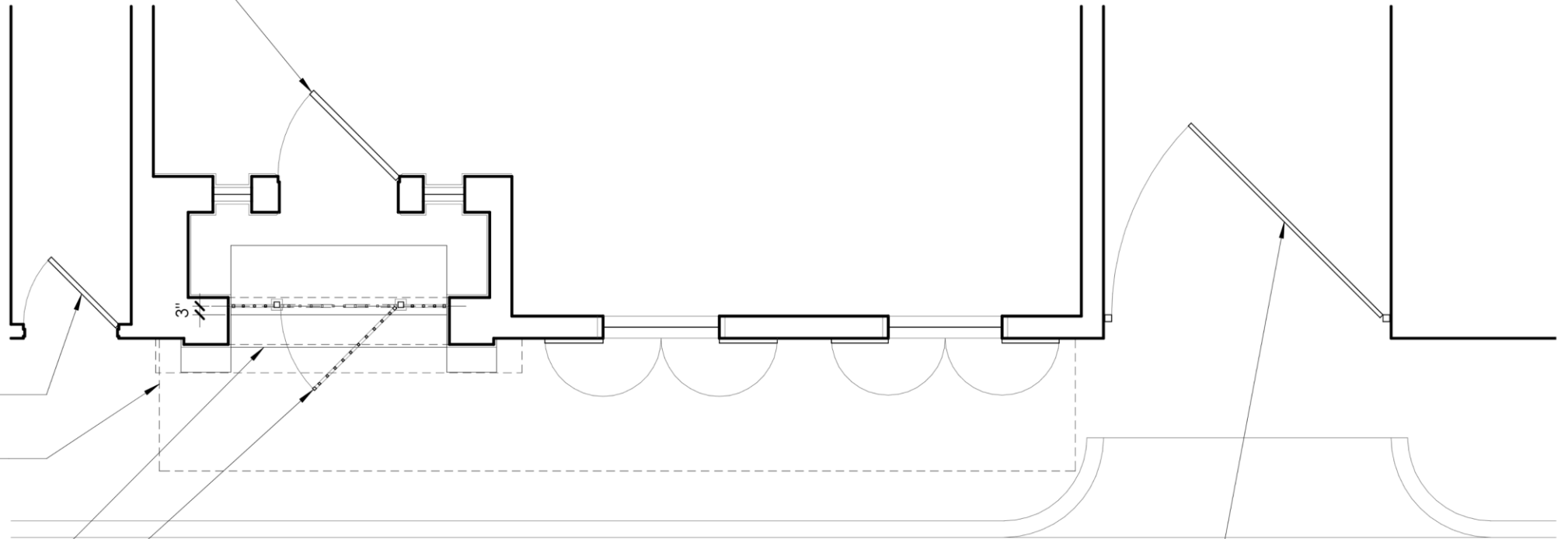
EXISTING WOOD GATE
TO REMAIN

DASHED LINES REPRESENT
OUTLINES OF EXISTING
ENTABLATURE AND
BALCONY ABOVE

EXISTING STONE STOOP
AND PLINTHS TO REMAIN

IRON GATE WITH FIXED
SIDE PANELS AND POSTS

EXISTING IRON
GATE TO REMAIN



DAUPHINE STREET

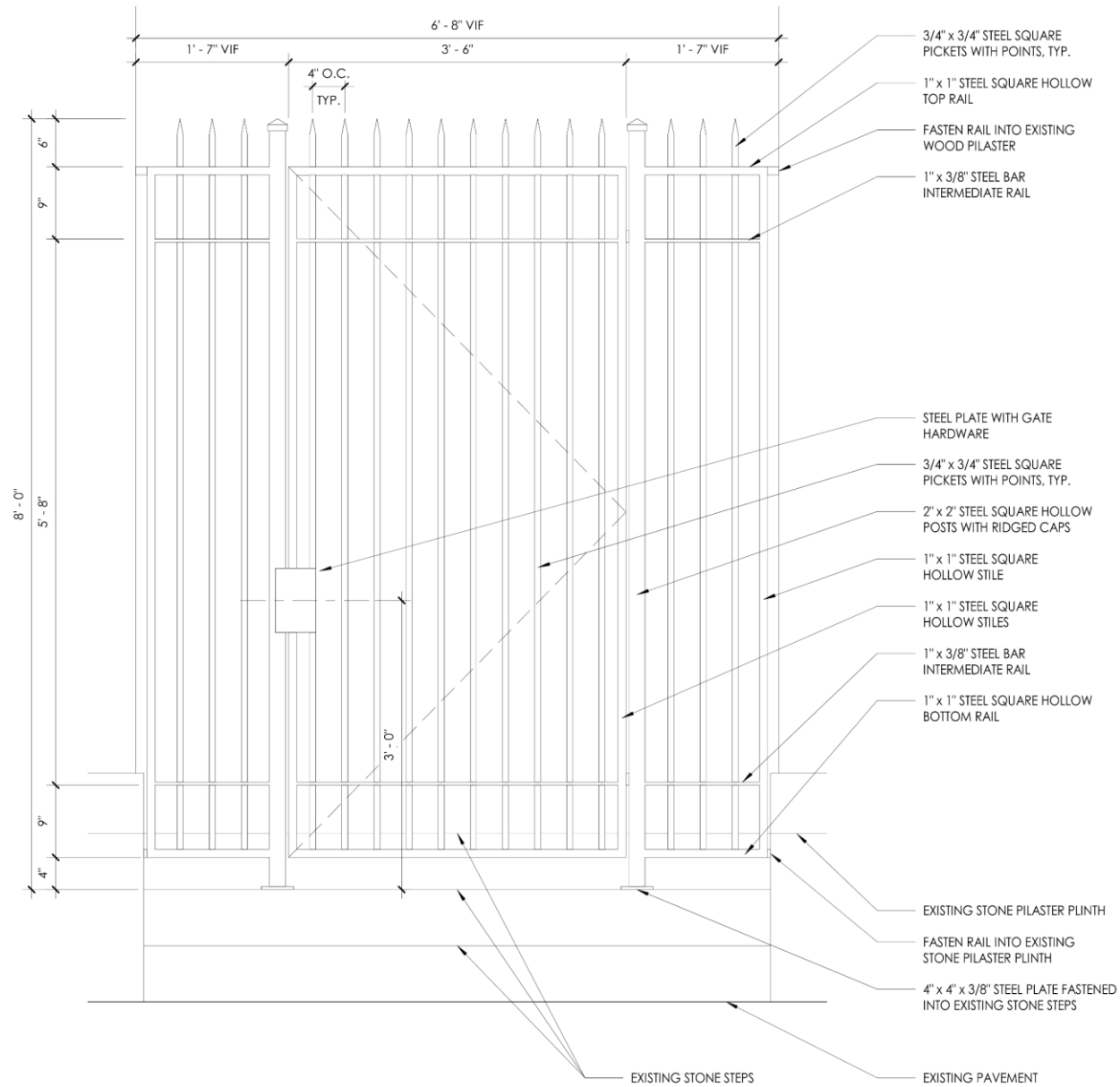
① PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"

815 Dauphine

VCC Architecture Committee

April 9, 2024





3 ENLARGED GATE ELEVATION
1" = 1'-0"





**97 French Market Place
430 Barracks
1240 Decatur**



97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

April 9, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

April 9, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

April 9, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

April 9, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

April 9, 2024



1/24/2024 2:02:00 PM

MILLWORK REPAIRS & ROOF REPLACEMENT
1236 DECATUR AVE
PERMIT DOCUMENTS
ISSUE DATE: MARCH 20, 2024



CONTACT INFO.

OWNER
James Cahn
Holdings LLC
901 Tchoupitoulas St,
New Orleans, LA 70130

ARCHITECT
studio'RISE
1541 Tulane Ave.
New Orleans, LA 70112

Mark Heck
504.439.0076
markh@studiorisedesign.com

Calvin Gallion, III
504.264.1605
calving@studiorisedesign.com

PROJECT INFO.

DESCRIPTION
Exterior millwork repairs to existing building.

ZONING DISTRICT
VCS

CONSTRUCTION TYPE
IBC - X
NFPA - X

OCCUPANCY TYPE
IBC: A-2 & R-2

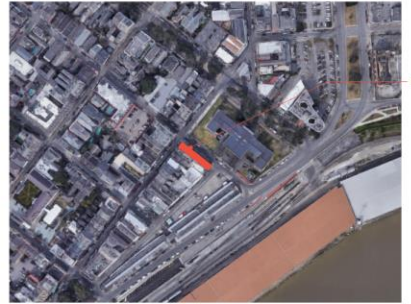
NO. OF STORIES
Existing to remain - 3

BUILDING HEIGHT
Existing to remain - 48'-9"

SCOPE FOOTPRINT
Existing Airconditioned Sq. Ft. ----- 11458 SF

SCOPE OF WORK

Repairs to existing exterior openings/millwork in the VCC. Replacement of existing slate roof with new slate roof and installation of maintenance walk path.



**MILLWORK REPAIRS &
ROOF REPLACEMENT**
1236 Decatur Ave
New Orleans, LA 70116

PROJECT NO. 21-009



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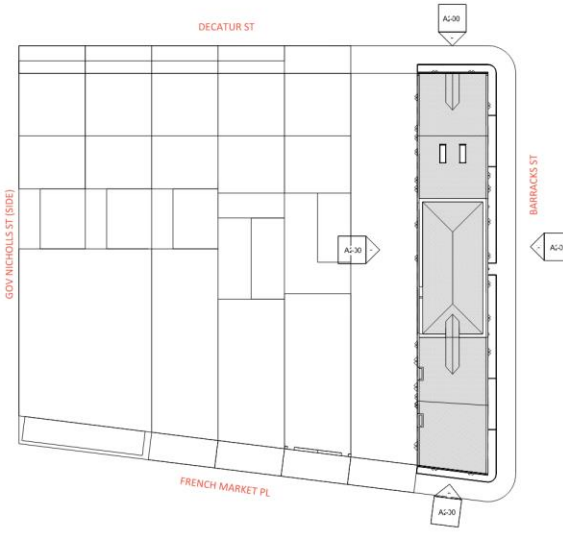
I will not be providing project construction administrative services on this project.

Mark Heck
REVISIONS

No.	Description	Date

DRAWING
TITLE SHEET
SCALE As indicated
ISSUED MARCH 20, 2024
SHEET NO.

G001



1 Site Plan
G001 1" = 20'-0"

97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

April 9, 2024



1/24/2024 2:01:38 PM

DOOR SCHEDULE						
Type Mark	Mark	Width	Head Height	Height	Frame Material	Comments
5	1	3'-0"	7'-0"	7'-0"		
2	2	5'-0"	6'-5"	6'-9"		
2	3	5'-0"	6'-5"	6'-9"		
1	4	5'-2 1/2"	7'-7"	7'-11"		
1	5	5'-2 1/2"	7'-7"	7'-11"		
1	6	5'-2 1/2"	7'-7"	7'-11"		
1	7	5'-2 1/2"	7'-7"	7'-11"		
1	8	5'-2 1/2"	7'-7"	7'-11"		
1	9	5'-2 1/2"	7'-7"	7'-11"		
1	10	5'-2 1/2"	7'-7"	7'-11"		
1	11	5'-2 1/2"	7'-7"	7'-11"		
1	12	5'-2 1/2"	7'-7"	7'-11"		
1	13	5'-2 1/2"	7'-7"	7'-11"		
1	14	5'-2 1/2"	7'-7"	7'-11"		
2	15	5'-0"	6'-5"	6'-9"		
2	16	5'-0"	6'-5"	6'-9"		
3	17	3'-8"	9'-1"	9'-1"		
3	18	3'-8"	9'-1"	9'-1"		
3	19	3'-8"	9'-1"	9'-1"		
3	20	3'-8"	9'-1"	9'-1"		
3	21	3'-8"	9'-1"	9'-1"		
3	22	3'-8"	9'-1"	9'-1"		
3	23	3'-8"	9'-1"	9'-1"		
3	24	3'-8"	9'-1"	9'-1"		
3	25	3'-8"	9'-1"	9'-1"		
3	26	3'-8"	9'-1"	9'-1"		
3	27	3'-8"	9'-1"	9'-1"		
3	28	3'-8"	9'-1"	9'-1"		
3	29	3'-8"	9'-1"	9'-1"		
3	30	3'-8"	9'-1"	9'-1"		
3	31	3'-8"	9'-1"	9'-1"		
3	32	3'-8"	9'-1"	9'-1"		
6	33	2'-9 1/2"	7'-10 1/2"	6'-7 1/2"		
4	34	3'-2"	6'-2 1/2"	6'-2 1/2"		
4	35	3'-2"	6'-2 1/2"	6'-2 1/2"		
4	36	3'-2"	6'-2 1/2"	6'-2 1/2"		
4	37	3'-2"	6'-2 1/2"	6'-2 1/2"		

DOOR COUNT			
Type Mark	Width	Height	Count
1	5'-2 1/2"	7'-11"	11
2	5'-0"	6'-9"	4
3	3'-8"	9'-1"	16
4	3'-2"	6'-2 1/2"	4
5	3'-0"	7'-0"	1
6	2'-9 1/2"	6'-7 1/2"	1



MILLWORK REPAIRS & ROOF REPLACEMENT
 1236 Decatur Ave
 New Orleans, LA 70116



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I will not be providing project construction administrative services on this project.

Mark H. Carré
 Professional Engineer

•REVISIONS•

No.	Description	Date

DRAWING
DOOR SCHEDULE

SCALE 1/2" = 1'-0"
ISSUED MARCH 20, 2024
SHEET NO.

A010

97 French Market Place/ 430 Barracks/ 1240 Decatur

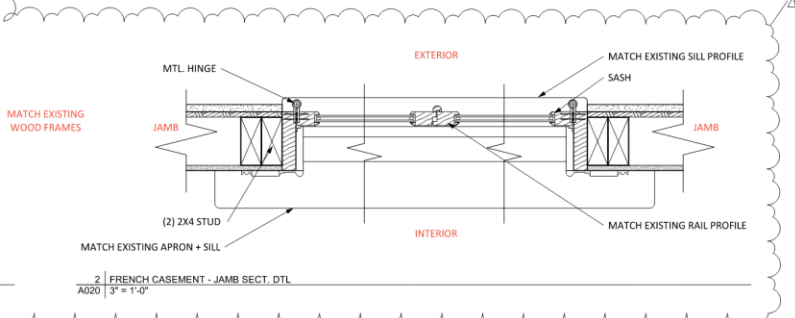
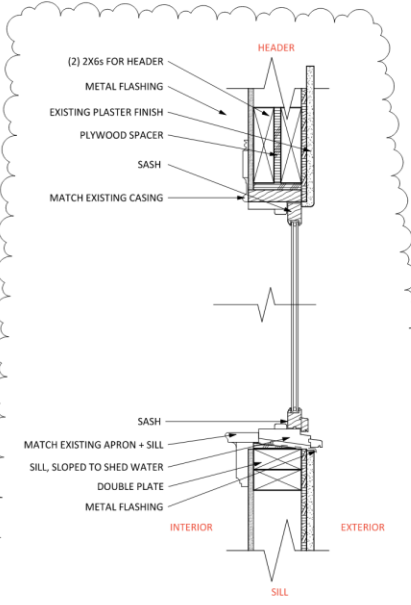
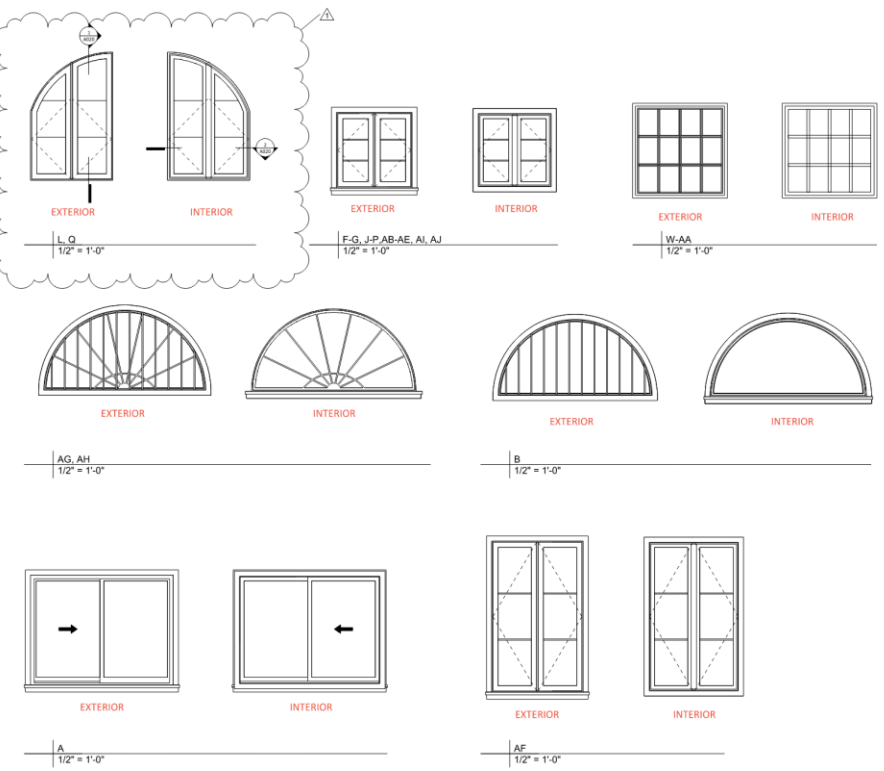
VCC Architecture Committee

April 9, 2024



1/24/2024 2:01:39 PM

Window Schedule						
Mark	Height	Width	Head Height	Sill Height	Comments	Description
A	4'-0"	5'-2 1/2"	7'-10"	3'-10"		Fixed Window
AA	3'-3"	3'-3"	3'-4"	0'-1"		Fixed Window
AB	2'-9"	2'-9"	5'-0"	2'-3"		
AC	2'-9"	2'-9"	6'-0"	3'-3"		
AD	2'-9"	2'-9"	6'-0"	3'-3"		
AE	2'-9"	2'-9"	6'-0"	3'-3"		
AF	5'-6"	3'-4"	7'-2"	1'-8"		
AG	3'-0"	6'-0"	8'-10"	5'-10"		
AH	3'-0"	6'-0"	8'-10"	5'-10"		
AI	2'-9"	2'-9"	9'-9"	7'-0"		
AJ	2'-9"	2'-9"	9'-9"	7'-0"		
AK	0'-5 1/2"	2'-1 1/2"				Large Flat Glass Unit Skylight
AL	0'-5 1/2"	2'-1 1/2"				Large Flat Glass Unit Skylight
AM	3'-0"	3'-0"	4'-4"	1'-4"		
B	2'-10 1/2"	5'-8 1/2"	11'-0"	8'-2"		
C	5'-0"	2'-9"	8'-3"	3'-3"		
D	5'-0"	2'-9"	8'-3"	3'-3"		
E	2'-9"	2'-9"	6'-0"	3'-3"		
F	2'-9"	2'-9"	6'-0"	3'-3"		
G	2'-9"	2'-9"	5'-3"	2'-6"		
H	4'-0"	3'-6"	4'-0"	0'-0"		
I	4'-0"	3'-6"	4'-0"	0'-0"		
J	2'-9"	2'-9"	6'-0"	3'-3"		
K	2'-9"	2'-9"	6'-0"	3'-3"		
L	3'-0"	3'-0"	4'-4"	1'-4"		
M	2'-9"	2'-9"	4'-1"	1'-4"		
N	2'-9"	2'-9"	4'-1"	1'-4"		
O	2'-9"	2'-9"	4'-1"	1'-4"		
P	2'-9"	2'-9"	4'-1"	1'-4"		
Q	3'-0"	3'-0"	4'-4"	1'-4"		
R	4'-0"	3'-6"	4'-0"	0'-0"		
S	4'-0"	3'-6"	4'-0"	0'-0"		
T	4'-0"	3'-6"	6'-9"	2'-9"		
U	4'-0"	3'-6"	6'-9"	2'-9"		
V	4'-0"	3'-6"	6'-9"	2'-9"		
W	3'-3"	3'-3"	3'-4"	0'-1"		Fixed Window
X	3'-3"	3'-3"	3'-4"	0'-1"		Fixed Window
Y	3'-3"	3'-3"	3'-4"	0'-1"		Fixed Window
Z	3'-3"	3'-3"	3'-4"	0'-1"		Fixed Window



1 FRENCH CASEMENT - HEADER & SILL
A020 3" = 1'-0"

2 FRENCH CASEMENT - JAMB SECT. DTL
A020 3" = 1'-0"

MILLWORK REPAIRS & ROOF REPLACEMENT
1236 Decatur Ave
New Orleans, LA 70116



"These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements."

I hereby warrant providing project construction administration services on this project.

Mark Heath
•REVISIONS•

No.	Description	Date
1	VCC UPDATES	2/24/23

DRAWING WINDOW SCHEDULE
SCALE As indicated
ISSUED MARCH 20, 2024
SHEET NO.

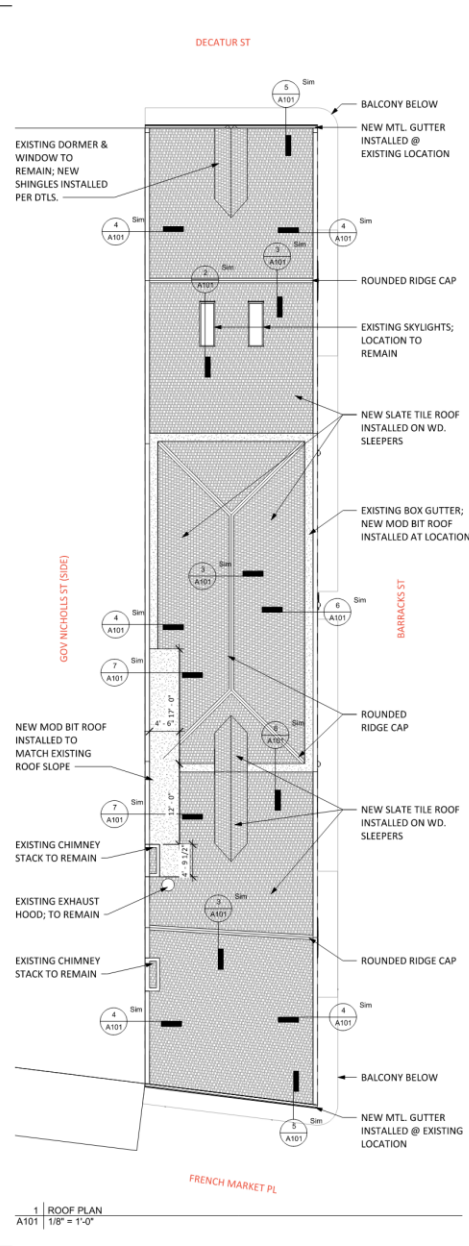
A020

97 French Market Place/ 430 Barracks/ 1240 Decatur

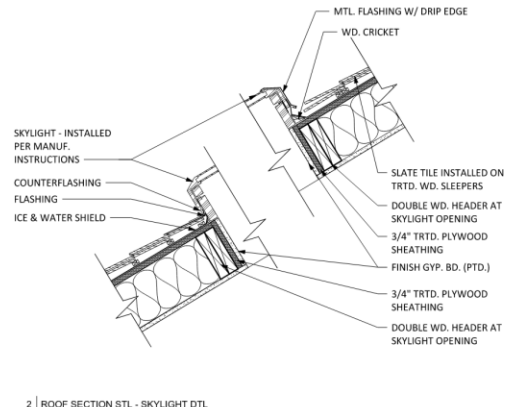
VCC Architecture Committee

April 9, 2024

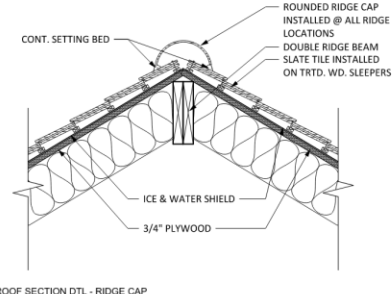




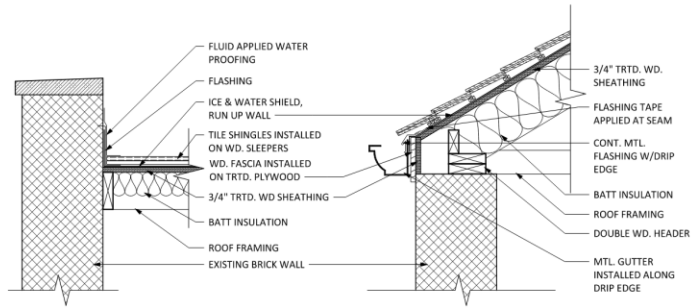
1 ROOF PLAN
A101 1/8" = 1'-0"



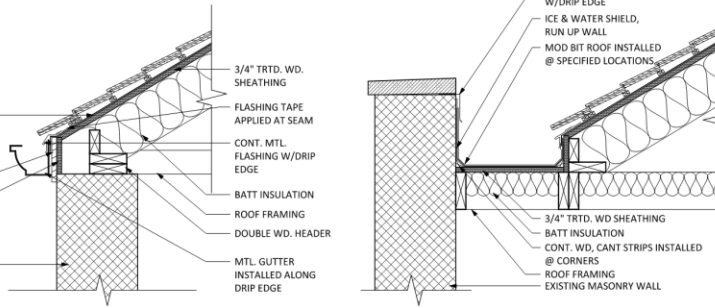
2 ROOF SECTION STL - SKYLIGHT DETL
A101 1 1/2" = 1'-0"



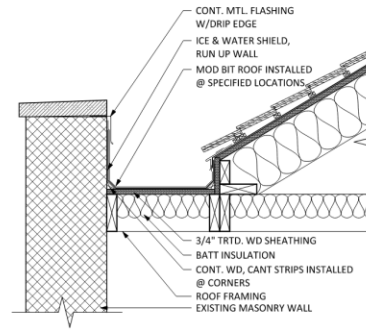
3 ROOF SECTION DTL - RIDGE CAP
A101 1 1/2" = 1'-0"



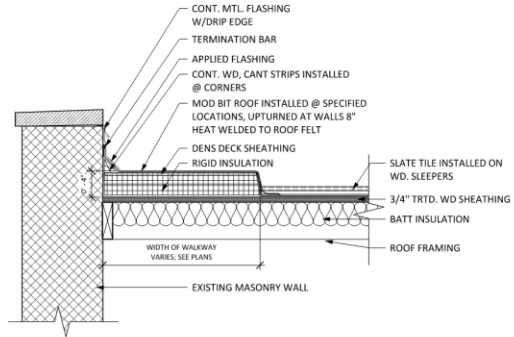
4 ROOF SECTION DTL - RAKE EDGE
A101 1 1/2" = 1'-0"



5 ROOF SECTION DTL - DRIP EDGE
A101 1 1/2" = 1'-0"



6 ROOF SECTION DTL - BOX GUTTER
A101 1 1/2" = 1'-0"



7 ROOF SECTION DTL - MOD BIT OVERALL
A101 1 1/2" = 1'-0"

**MILLWORK REPAIRS &
ROOF REPLACEMENT**
1236 Decatur Ave
New Orleans, LA 70116



These drawings and specifications have been prepared to the best of my professional knowledge and belief, in compliance with applicable codes and requirements.

I will maintain the grading project construction administrative services on this project.

• REVISIONS •

No.	Description	Date

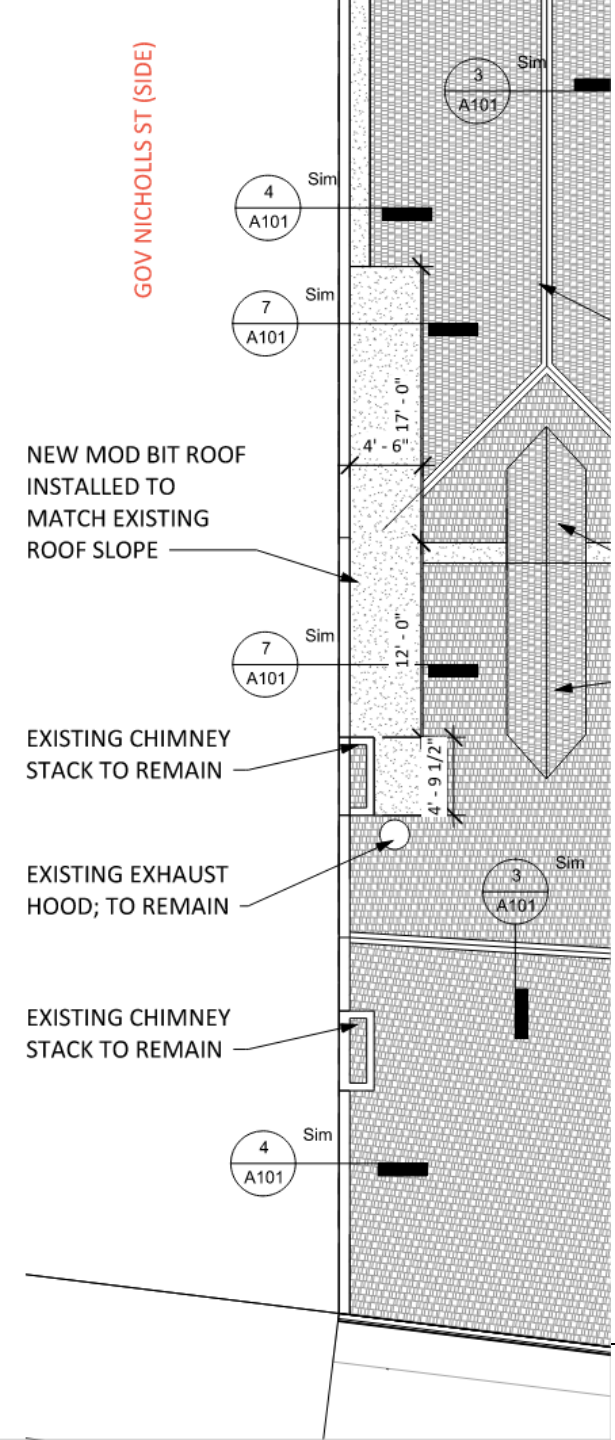
DRAWING PROPOSED ROOF PLAN

SCALE As indicated
ISSUED MARCH 20, 2024
SHEET NO.

A101



GOV NICHOLLS ST (SIDE)



97 French Market Place/ 430 Barracks/ 1240 Decatur

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April 9, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

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April 9, 2024



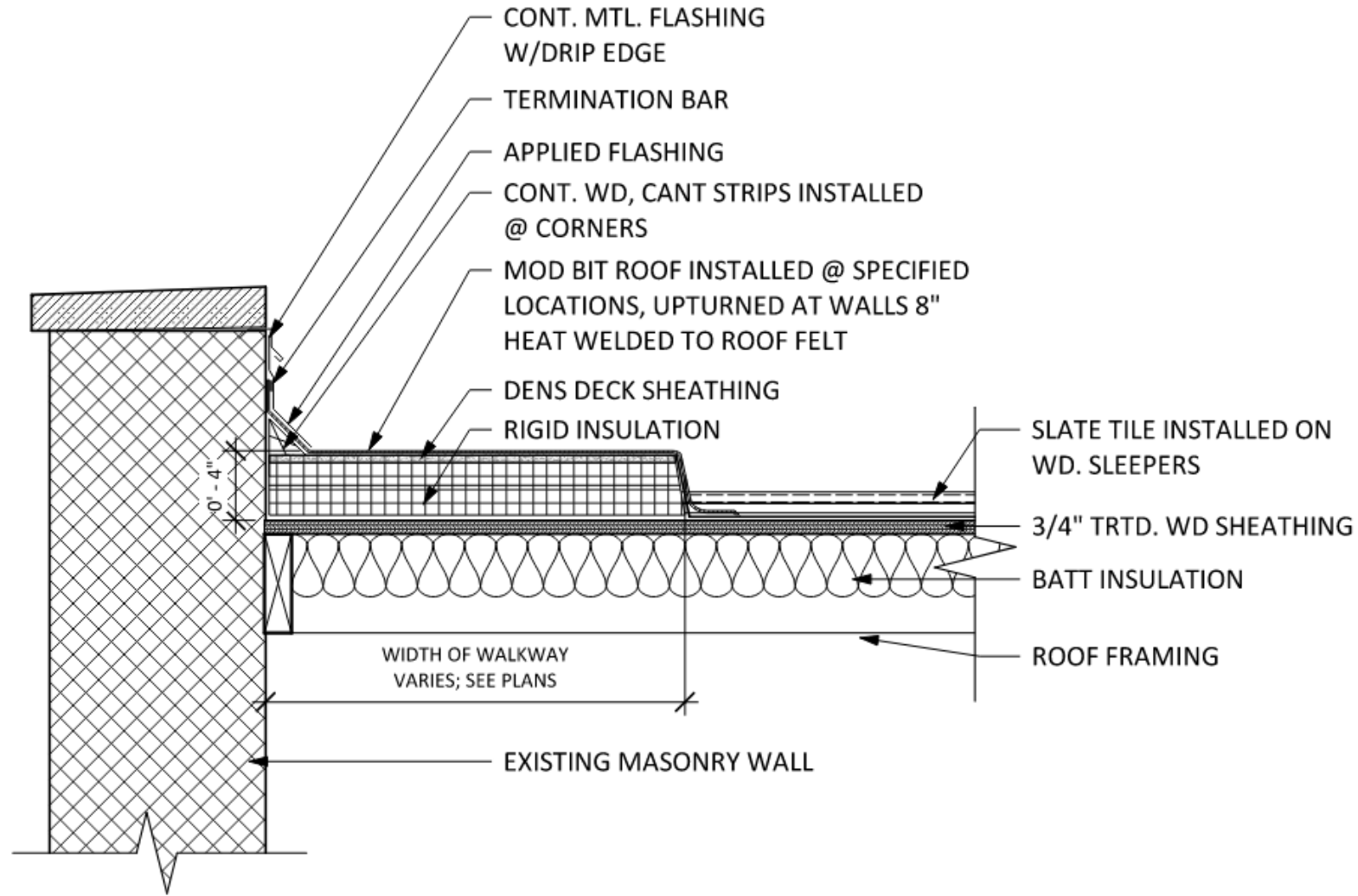


97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architecture Committee

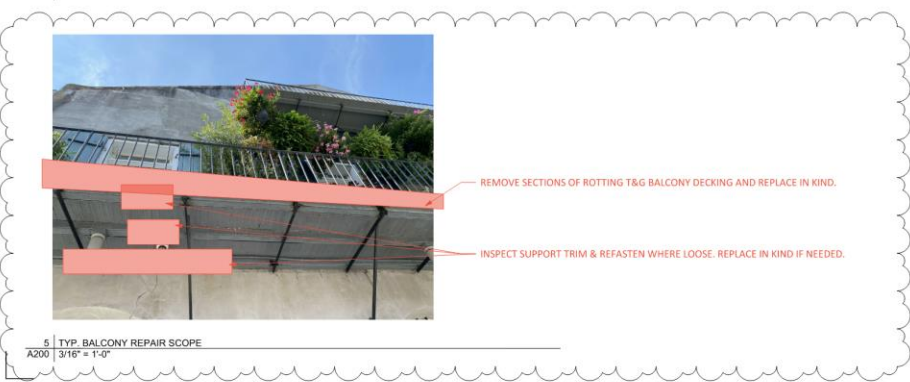
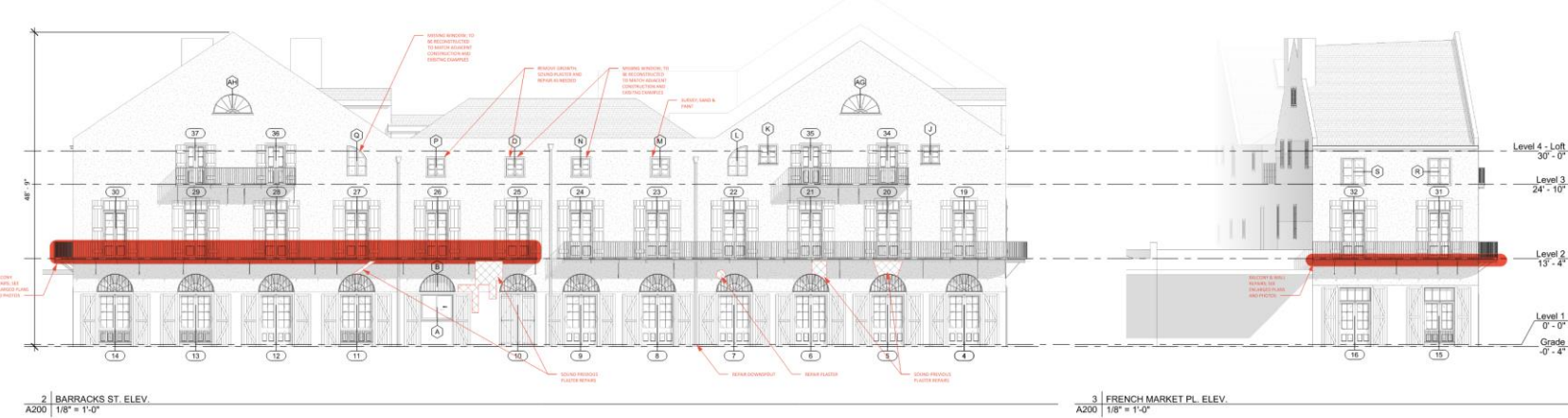
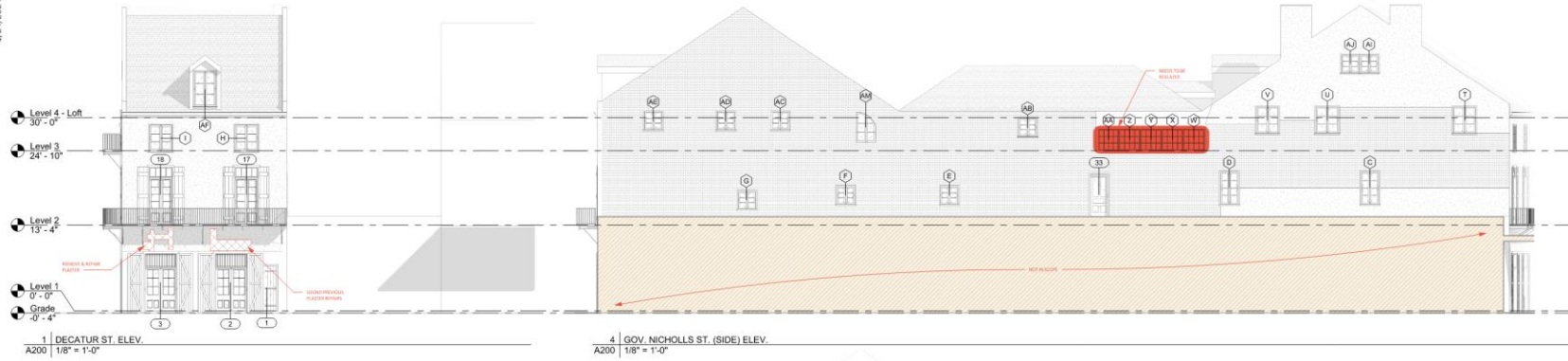
April 9, 2024





7 | ROOF SECTION DTL - MOD BIT OVERALL
 SLATE
 A101 | 1 1/2" = 1'-0"





5 | TYP. BALCONY REPAIR SCOPE
A200 | 3/16\"/>



MILLWORK REPAIRS & ROOF REPLACEMENT
 1236 Decatur Ave
 New Orleans, LA 70116

PROJECT NO. 21-009

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I will provide or provide project construction administration services on this project.

[Signature]

• REVISIONS •

No.	Description	Date
1	VCC UPDATES	2/24/23

DRAWING
 EXTERIOR BUILDING
 ELEVATIONS
 SCALE As indicated
 ISSUED MARCH 20, 2024
 SHEET NO.

A200





Appeals and Violations



730 St Louis

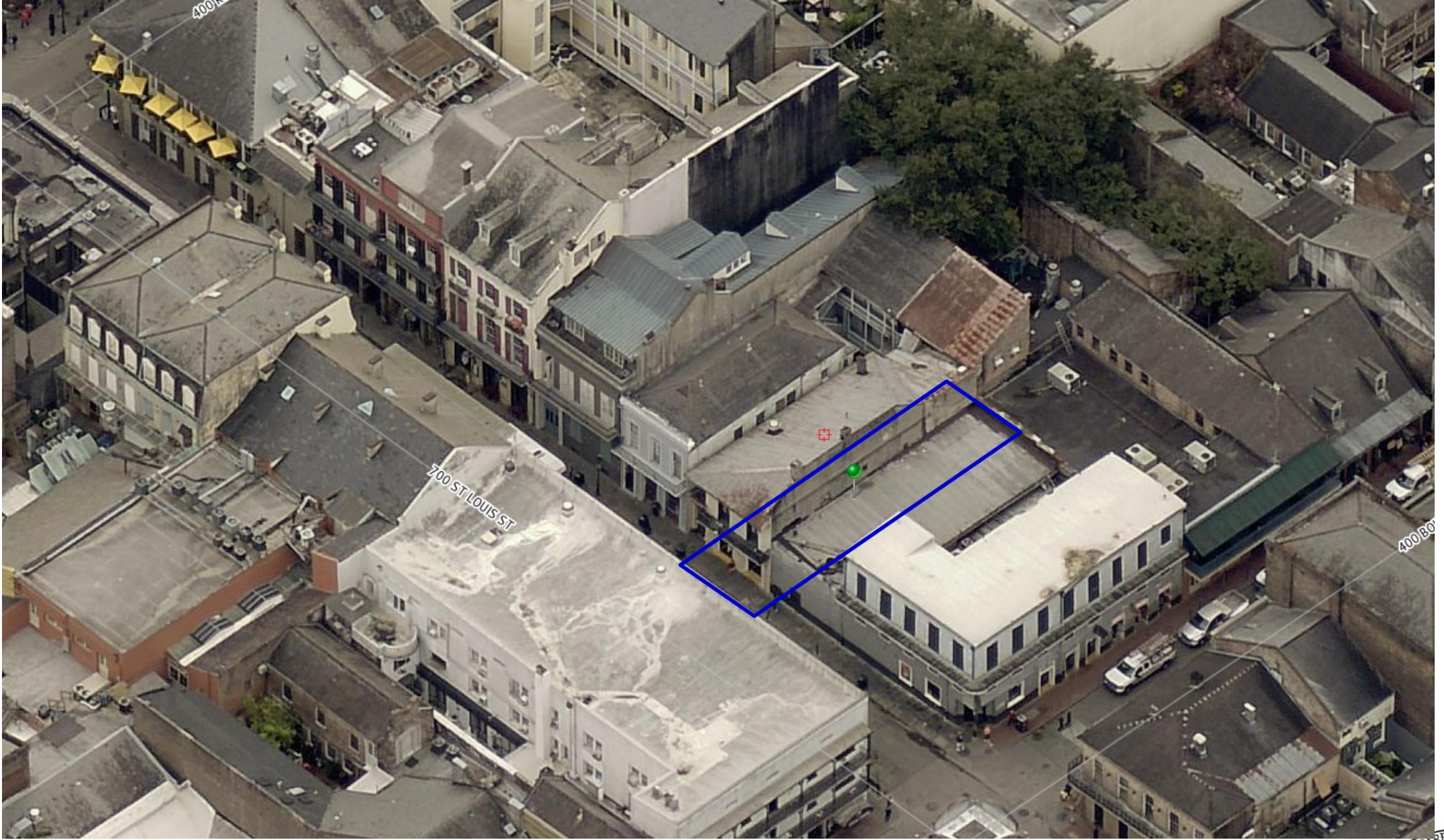


730 St. Louis

VCC Architecture Committee

April 9, 2024





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730 St. Louis – 1959

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April 9, 2024





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VCC Architecture Committee

April 9, 2024





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April 9, 2024





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April 9, 2024



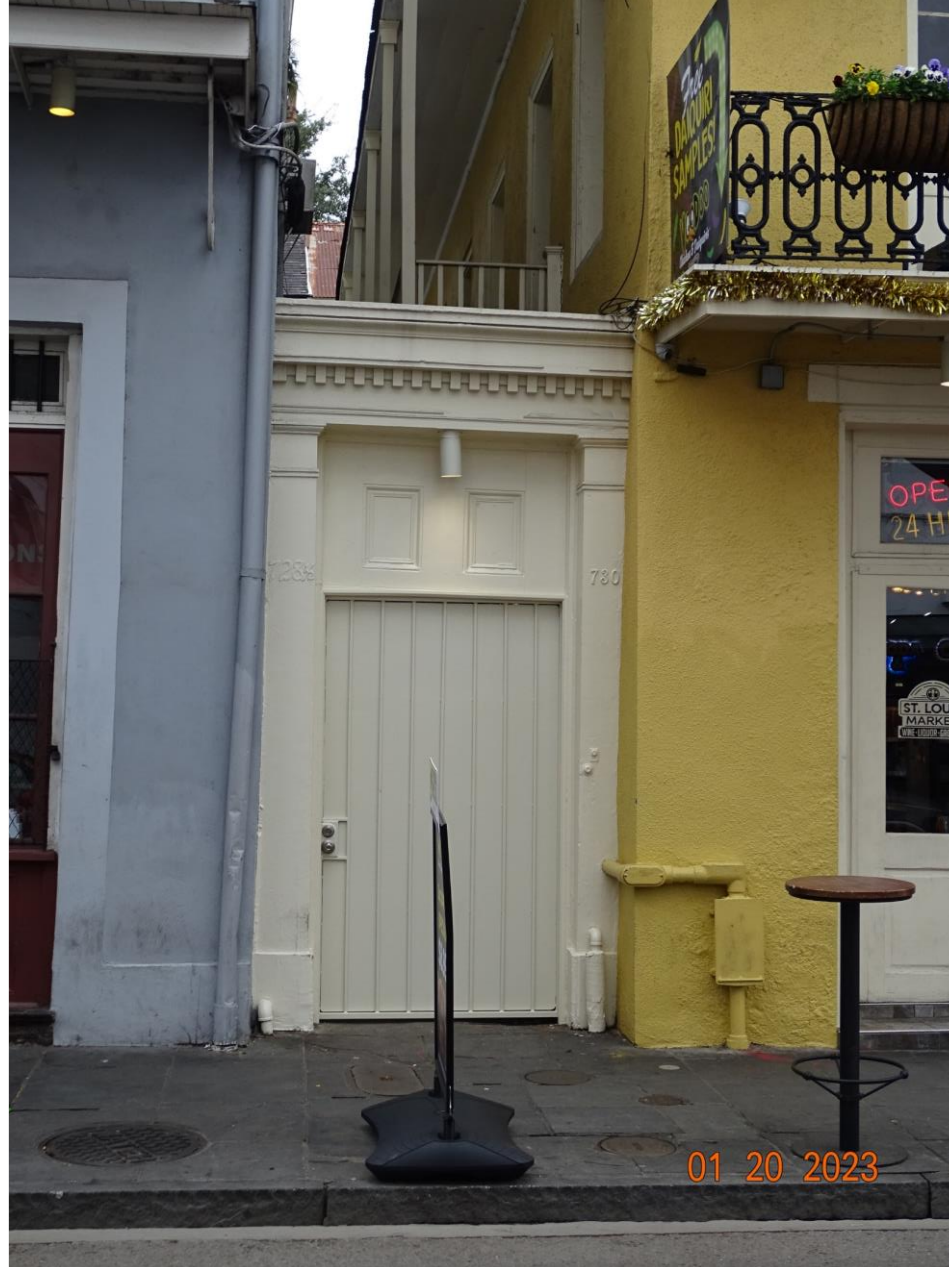


730 St. Louis

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April 9, 2024





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April 9, 2024





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April 9, 2024





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VCC Architecture Committee

April 9, 2024



Exterior Repairs to 730 St. Louis St.

In Response to VCC Violations
Case No. 23-00196-VCCNOP

INDEX OF DRAWINGS:

A-1 Title Sheet, Photos of Existing Conditions
A-2 First Floor, Second floor and Third Floor/Roof Plan
A-3 Exterior Elevations

A-4 Lighting Plan and Fixture Specs
A-5 Alley Paving Plan and Details, Fence Cap and Mech. Screen Details, New Wood Gate Detail



1 new metal gate



2 post removal



3 new vertical board fence



4 new hanging planters



5 planter sprinklers



6 new uplights



7 exterior lighting



8 security cameras



9 new electrical panels



9 new electrical conduits



10 roof repair and replacement



11 missing gutters



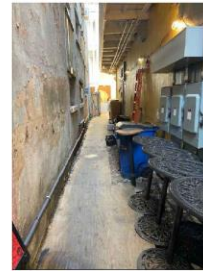
12 excessive signage



13 illuminated signage



14 signage attached to building



15 demolition of alley paving



16 mechanical equipment



17 new security bars



18 plaster repair



19 soffit repair



20 tile at stoop

terrell-fabacher architects, l.l.c.
1000 Lakeview Blvd., Suite 200
New Orleans, LA 70112
Phone: 504.586.1200
Fax: 504.586.1201
www.terrell-fabacher.com

tfa

COMPAC GROCERY
730 St. Louis St.
New Orleans, Louisiana

NEW ORLEANS
CITY OF NEW ORLEANS
PLANNING AND ZONING DEPARTMENT

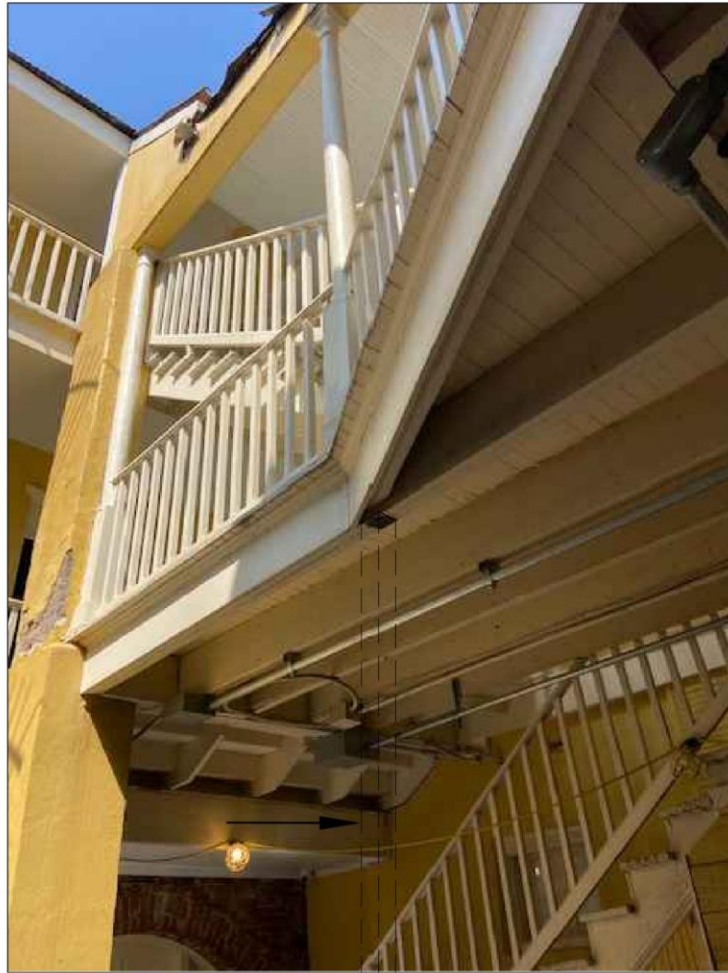
PROJECT NO. 0321/24
DESIGNED BY:
DATE: SEPT 11, 2023
JOB NO.:

VCC
A.1





1 new metal gate



2 post removal



3 new vertical board fence

730 St. Louis

VCC Architecture Committee

April 9, 2024





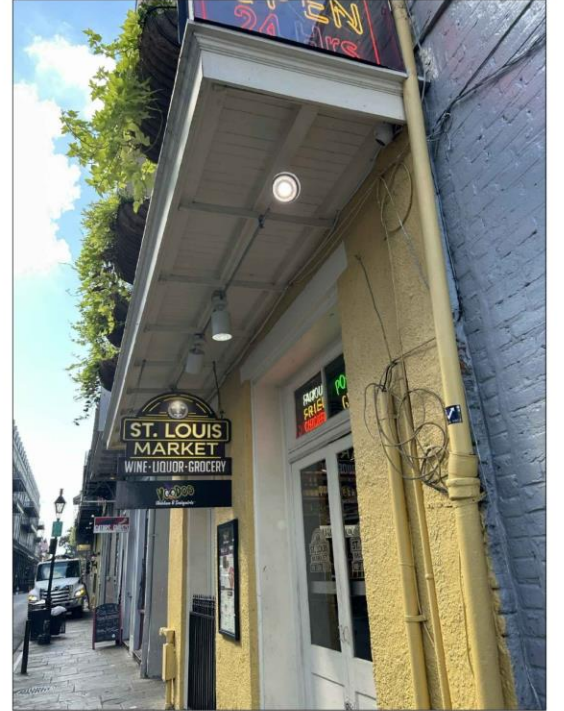
4 new hanging planters



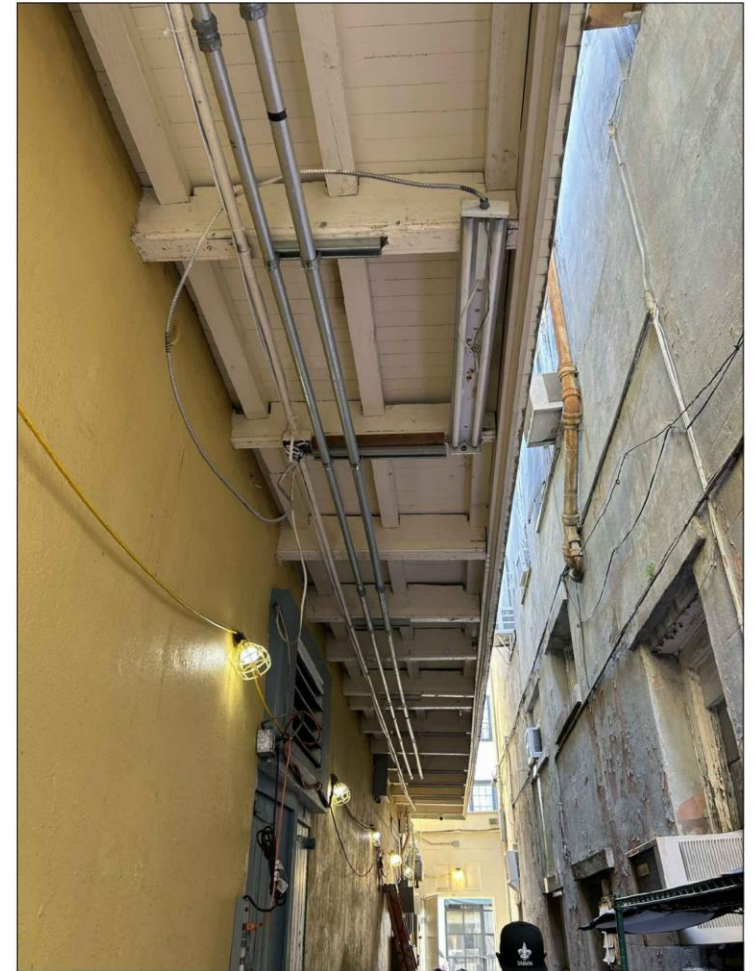
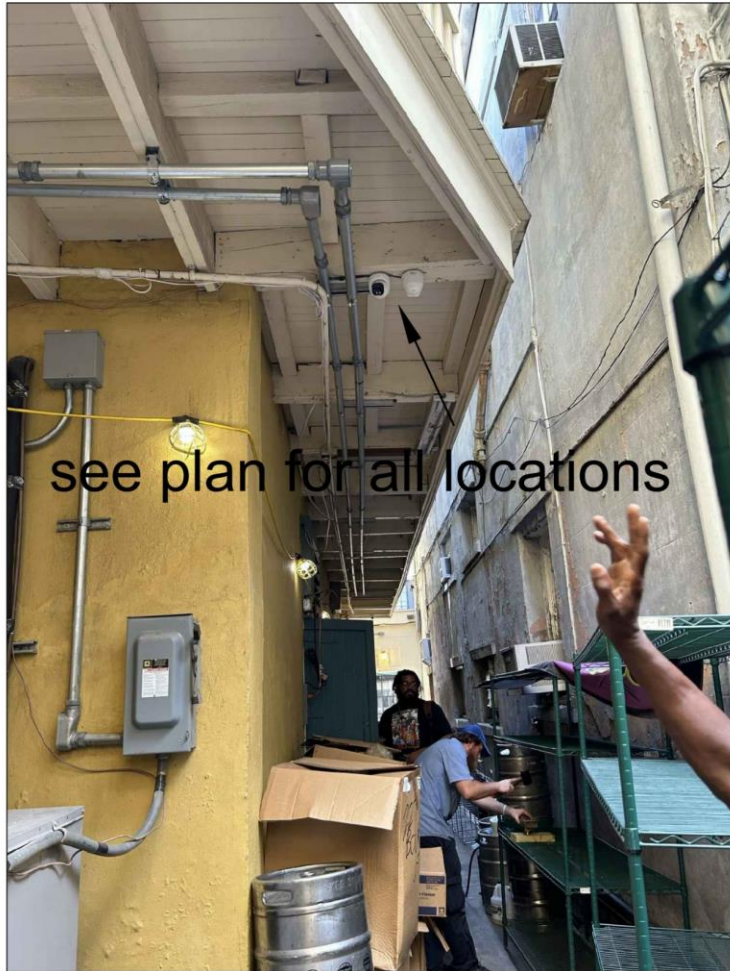
5 planter sprinklers



6 new uplights



7 exterior lighting



8 security cameras
EXS

9 new electrical panels

9 new electrical conduits

730 St. Louis

VCC Architecture Committee

April 9, 2024





10 roof repair and replacement



11 missing gutters



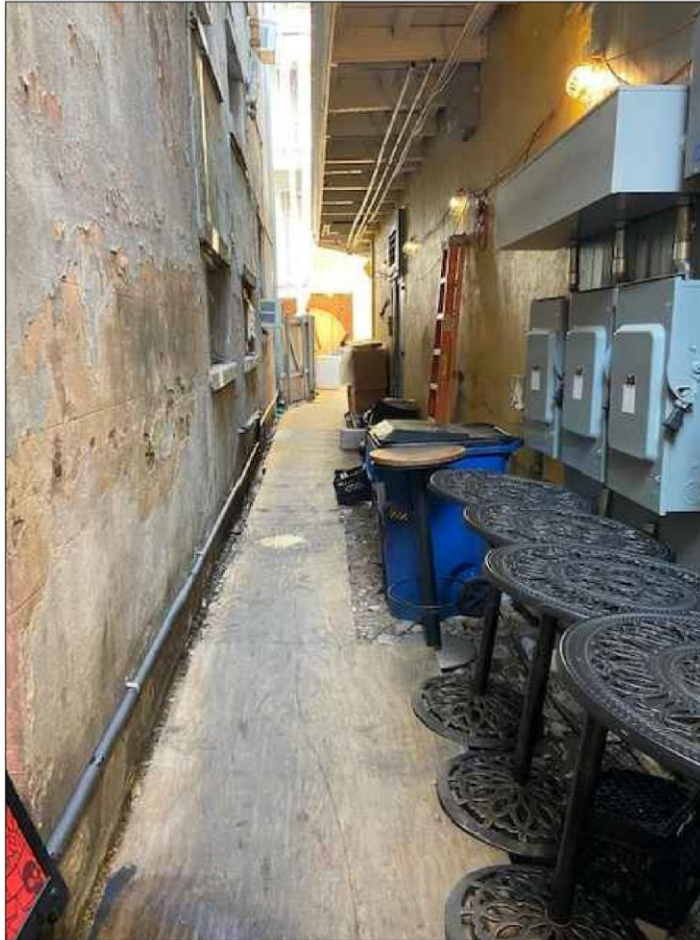
12 excessive signage



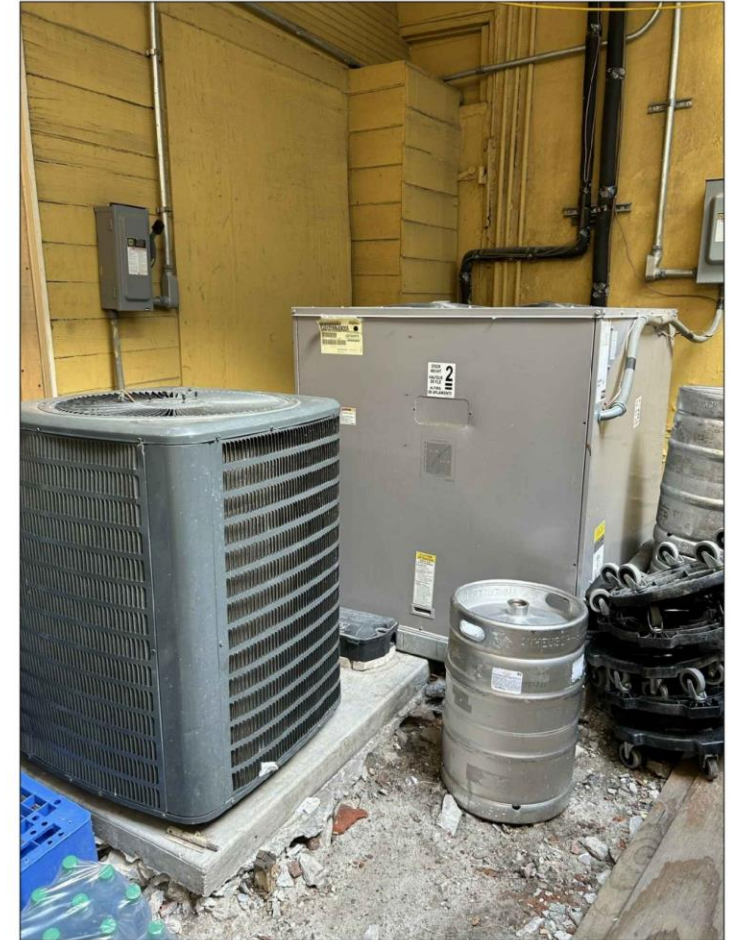
13 illuminated signage



14 signage attached to building



15 demolition of alley paving



16 mechanical equipment



17 new security bars



18 plaster repair

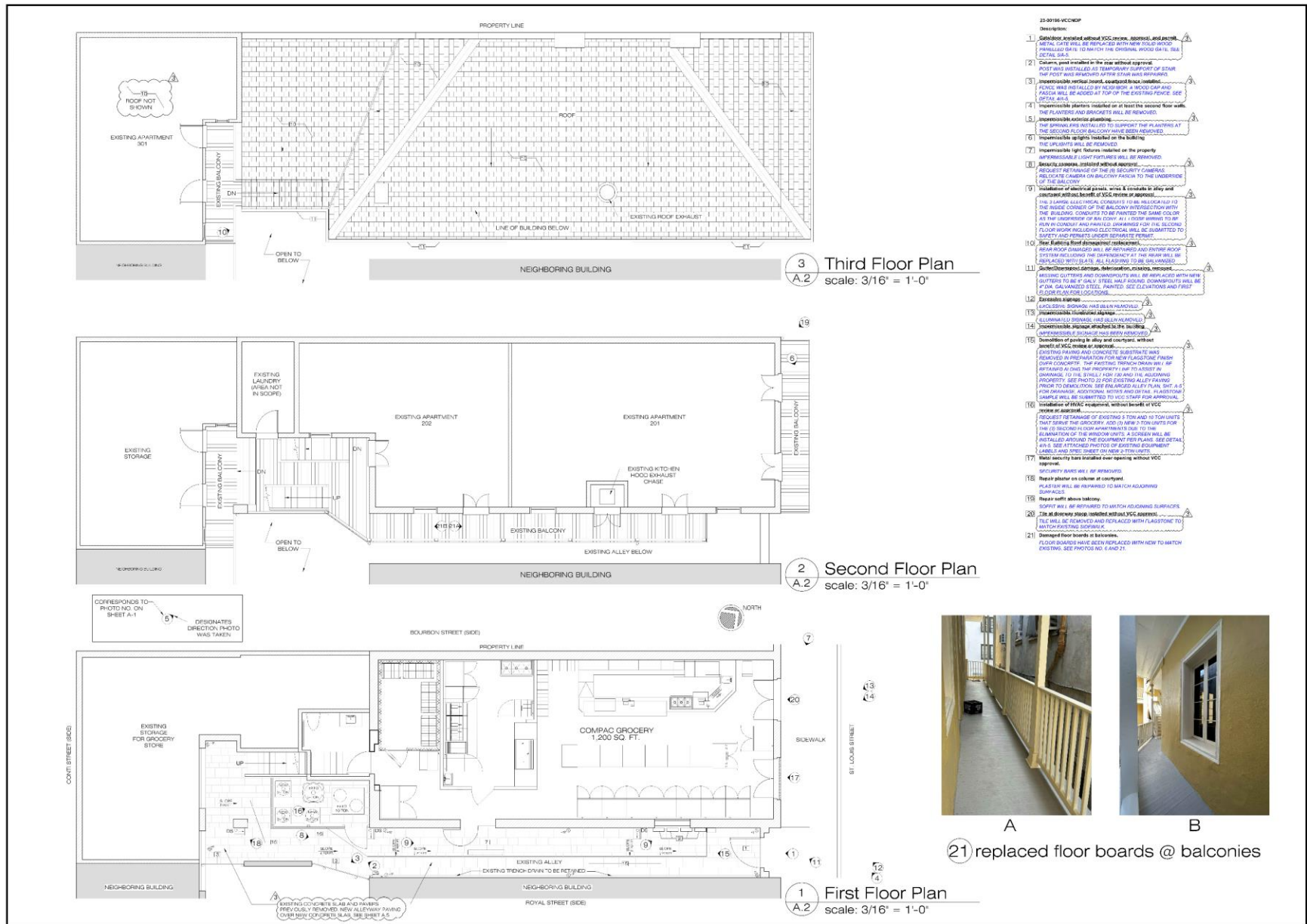


19 soffit repair



20 tile at stoop





torrell teabecker architects, l.l.c.
500 PINE ST. SUITE 1000
NEW ORLEANS, LA 70112
504.586.1200
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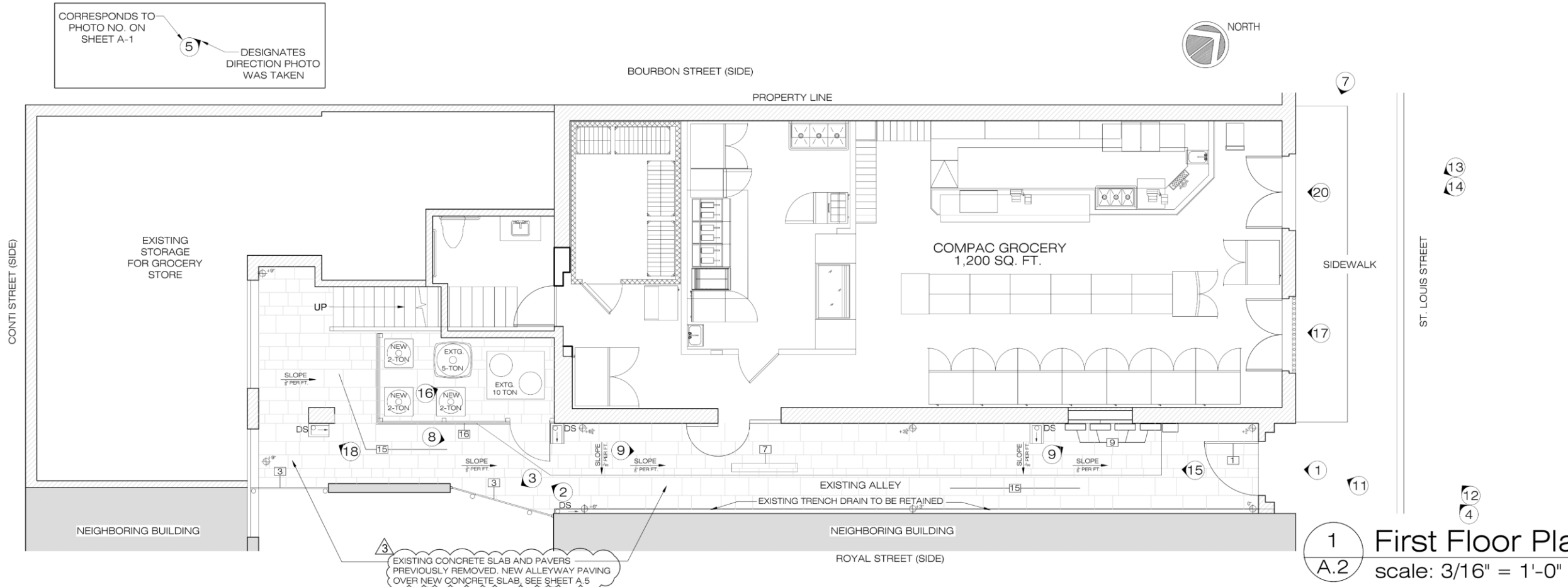
COMPAC GROCERY
730 St. Louis St.
New Orleans Louisiana



DATE: 03/21/24
PROJECT: 730 ST. LOUIS ST.
DRAWING NO.: 11.2023
1/22

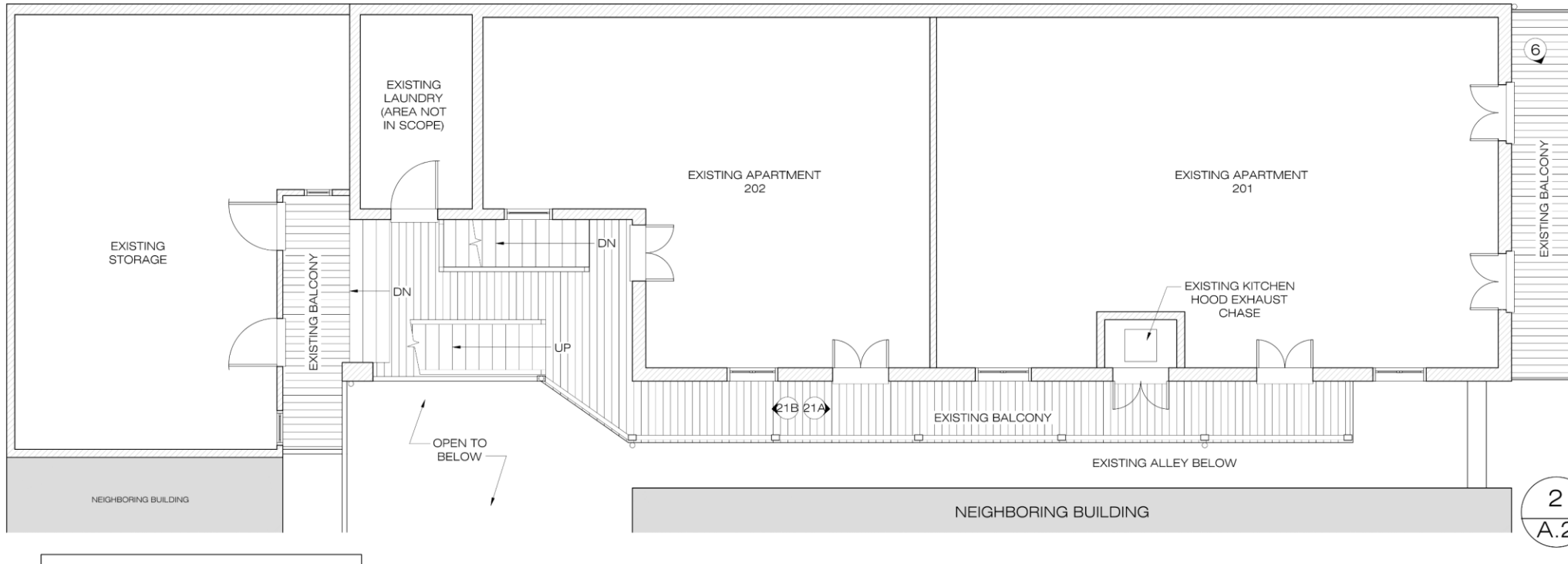
VCC A.2





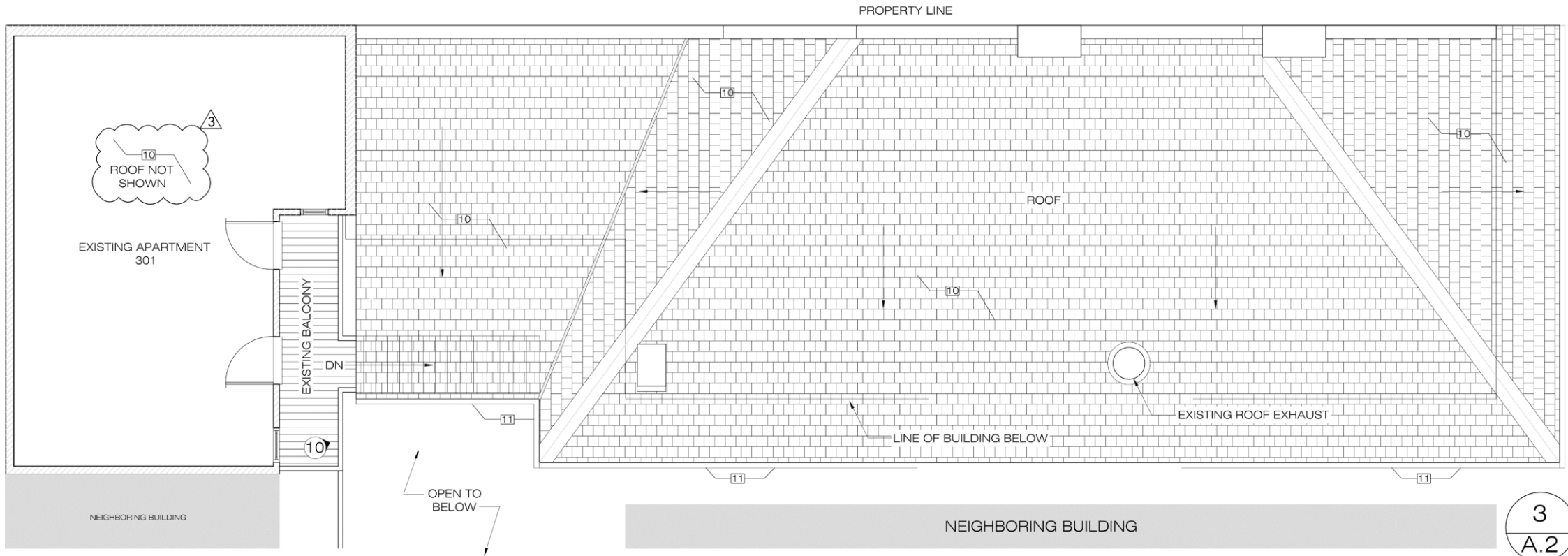
1 First Floor Plan
 A.2 scale: 3/16" = 1'-0"





2 A.2 Second Floor Plan
scale: 3/16" = 1'-0"

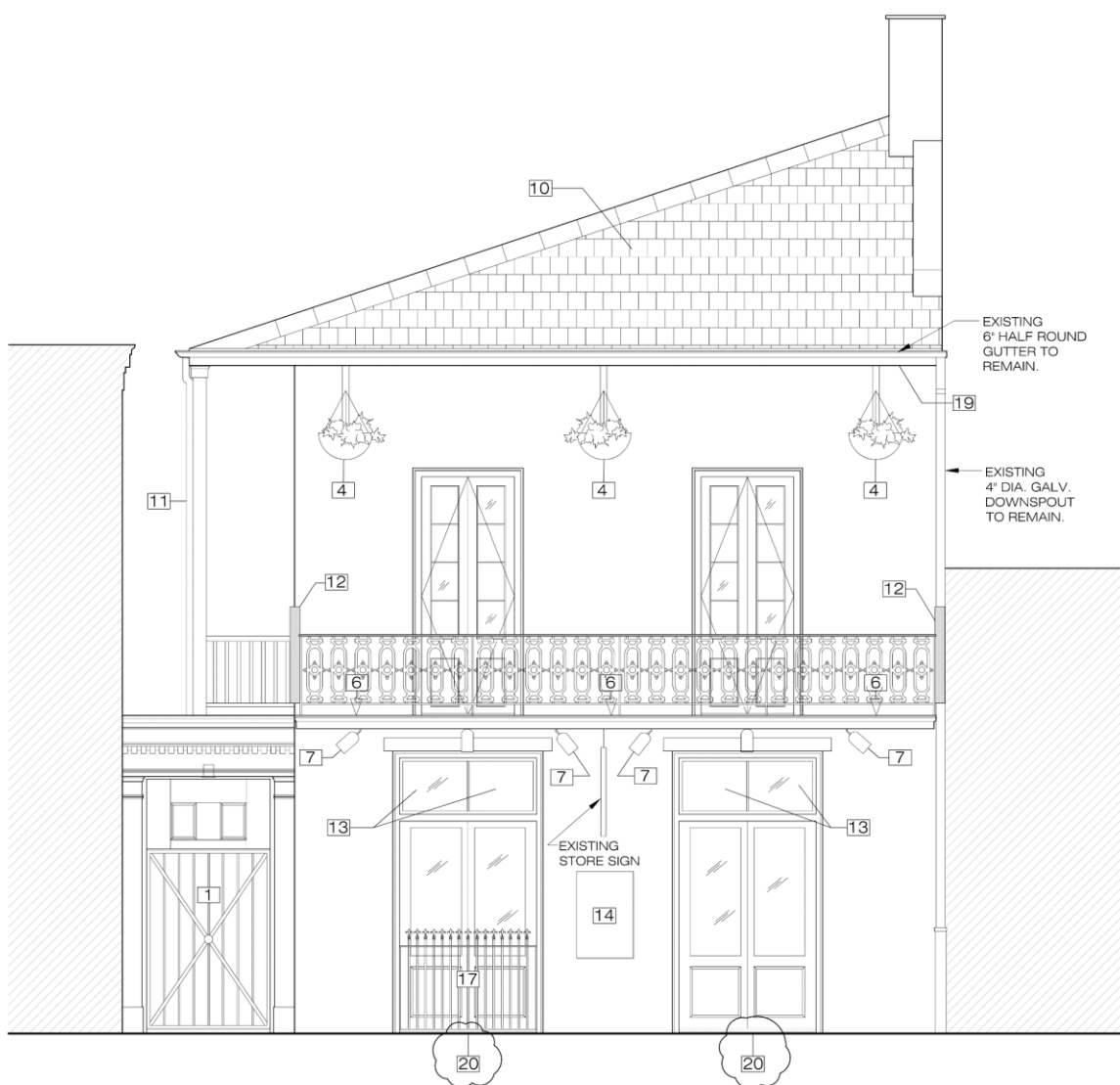




3
A.2

Third Floor
scale: 3/16"





- 23-00196-VCCNOP
Description:
- 1 Gate/door installed without VCC review, approval, and permit. METAL GATE WILL BE REPLACED WITH NEW SOLID WOOD PANNELLED GATE TO MATCH THE ORIGINAL WOOD GATE. SEE DETAIL 5/A-5.
 - 2 Column, post installed in the rear without approval. POST WAS INSTALLED AS TEMPORARY SUPPORT OF STAIR. THE POST WAS REMOVED AFTER STAIR WAS REPAIRED.
 - 3 Impermissible vertical board, courtyard fence installed. FENCE WAS INSTALLED BY NEIGHBOR. A WOOD CAP AND FASCIA WILL BE ADDED AT TOP OF THE EXISTING FENCE. SEE DETAIL 4/A-5.
 - 4 Impermissible planters installed on at least the second floor walls. THE PLANTERS AND BRACKETS WILL BE REMOVED.
 - 5 Impermissible exterior plumbing. THE SPRINKLERS INSTALLED TO SUPPORT THE PLANTERS AT THE SECOND FLOOR BALCONY HAVE BEEN REMOVED.
 - 6 Impermissible uplights installed on the building. THE UPLIGHTS WILL BE REMOVED.
 - 7 Impermissible light fixtures installed on the property. IMPERMISSIBLE LIGHT FIXTURES WILL BE REMOVED.
 - 8 Security cameras installed without approval. REQUEST RETAINAGE OF THE (8) SECURITY CAMERAS. RELOCATE CAMERA ON BALCONY FASCIA TO THE UNDERSIDE OF THE BALCONY.
 - 9 Installation of electrical panels, wires & conduits in alley and courtyard without benefit of VCC review or approval. THE 3 LARGE ELECTRICAL CONDUITS TO BE RELOCATED TO THE INSIDE CORNER OF THE BALCONY INTERSECTION WITH THE BUILDING. CONDUITS TO BE PAINTED THE SAME COLOR AS THE UNDERSIDE OF BALCONY. ALL LOOSE WIRING TO BE RUN IN CONDUIT AND PAINTED. DRAWINGS FOR THE SECOND FLOOR WORK INCLUDING ELECTRICAL WILL BE SUBMITTED TO SAFETY AND PERMITS UNDER SEPARATE PERMIT.
 - 10 Rear Building Roof damage/roof replacement. REAR ROOF DAMAGED WILL BE REPAIRED AND ENTIRE ROOF SYSTEM INCLUDING THE DEPENDENCY AT THE REAR WILL BE REPLACED WITH SLATE. ALL FLASHING TO BE GALVANIZED.
 - 11 Gutter/Downspout damage, deterioration, missing, removed. MISSING GUTTERS AND DOWNSPOUTS WILL BE REPLACED WITH NEW. GUTTERS TO BE 6" GALV. STEEL HALF ROUND. DOWNSPOUTS WILL BE 4" DIA. GALVANIZED STEEL, PAINTED. SEE ELEVATIONS AND FIRST FLOOR PLAN FOR LOCATIONS.
 - 12 Excessive signage. EXCESSIVE SIGNAGE HAS BEEN REMOVED.
 - 13 Impermissible illuminated signage. ILLUMINATED SIGNAGE HAS BEEN REMOVED.
 - 14 Impermissible signage attached to the building. IMPERMISSIBLE SIGNAGE HAS BEEN REMOVED.
 - 15 Demolition of paving in alley and courtyard, without benefit of VCC review or approval. EXISTING PAVING AND CONCRETE SUBSTRATE WAS REMOVED IN PREPARATION FOR NEW FLAGSTONE FINISH OVER CONCRETE. THE EXISTING TRENCH DRAIN WILL BE RETAINED ALONG THE PROPERTY LINE TO ASSIST IN DRAINAGE TO THE STREET FOR 730 AND THE ADJOINING PROPERTY. SEE PHOTO 22 FOR EXISTING ALLEY PAVING PRIOR TO DEMOLITION. SEE ENLARGED ALLEY PLAN, SHT. A-5 FOR DRAINAGE, ADDITIONAL NOTES AND DETAIL. FLAGSTONE SAMPLE WILL BE SUBMITTED TO VCC STAFF FOR APPROVAL.
 - 16 Installation of HVAC equipment, without benefit of VCC review or approval. REQUEST RETAINAGE OF EXISTING 5-TON AND 10 TON UNITS THAT SERVE THE GROCERY. ADD (3) NEW 2-TON UNITS FOR THE (3) SECOND FLOOR APARTMENTS DUE TO THE ELIMINATION OF THE WINDOW UNITS. A SCREEN WILL BE INSTALLED AROUND THE EQUIPMENT PER PLANS. SEE DETAIL 4/A-5. SEE ATTACHED PHOTOS OF EXISTING EQUIPMENT LABELS AND SPEC SHEET ON NEW 2-TON UNITS.
 - 17 Metal security bars installed over opening without VCC approval. SECURITY BARS WILL BE REMOVED.
 - 18 Repair plaster on column at courtyard. PLASTER WILL BE REPAIRED TO MATCH ADJOINING SURFACES.
 - 19 Repair soffit above balcony. SOFFIT WILL BE REPAIRED TO MATCH ADJOINING SURFACES.
 - 20 Tile at doorway stoop installed without VCC approval. TILE WILL BE REMOVED AND REPLACED WITH FLAGSTONE TO MATCH EXISTING SIDEWALK.
 - 21 Damaged floor boards at balconies. FLOOR BOARDS HAVE BEEN REPLACED WITH NEW TO MATCH EXISTING. SEE PHOTOS NO. 6 AND 21.

1 St. Louis Street Elevation
A.3 scale: 1/4" = 1'-0"

730 St. Louis

VCC Architecture Committee

April 9, 2024





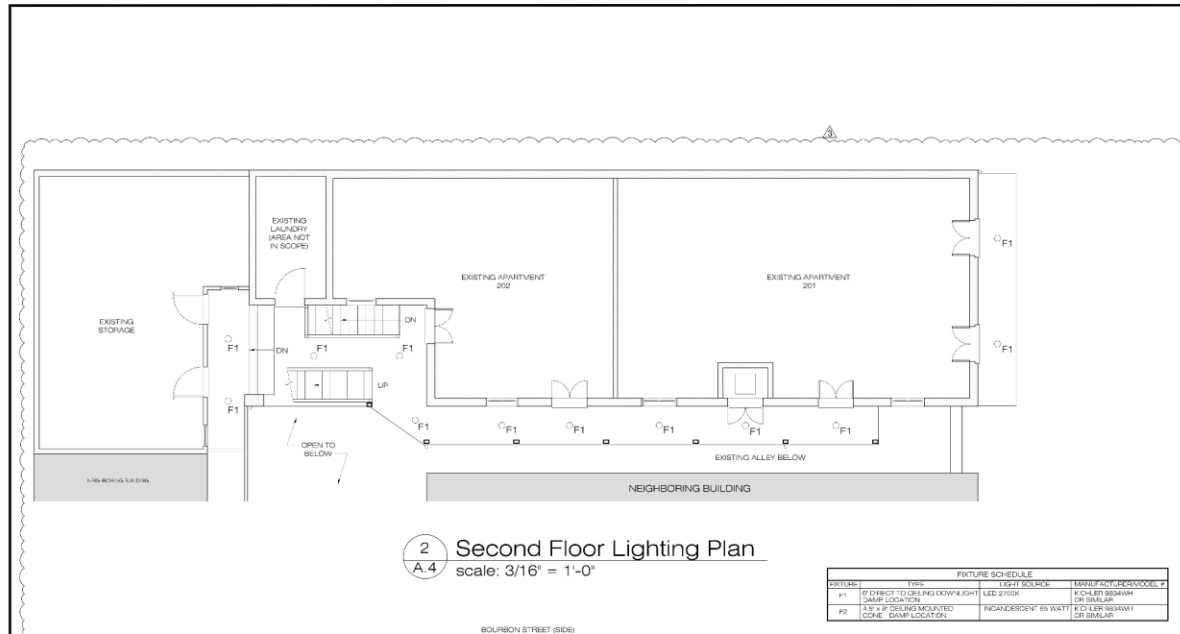
2 Alley Elevation
 A.3 scale: 1/4" = 1'-0"

730 St. Louis

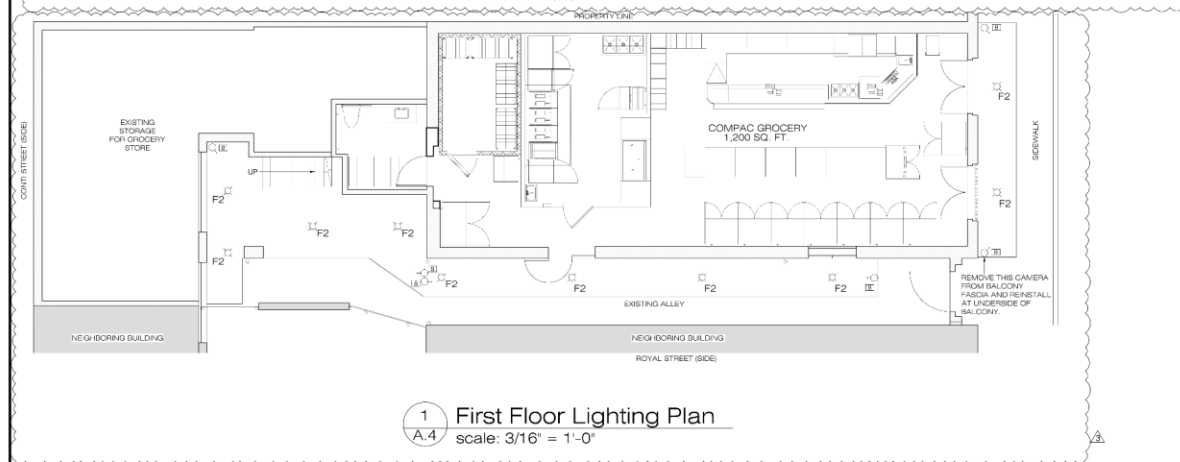
VCC Architecture Committee

April 9, 2024





DETAILS	TYPE	LIGHT SOURCE	MANUFACTURER/MODEL #
F1	DIRECT-TO-CEILING DOWNLIGHT LAMP LOCATION	LED 2750K	KICHLER B25AWH CR 010410
F2	4.5" x 4" DELUXE MOUNTED CONE - DAMP LOCATION	INCANDESCENT 65 WATT	KICHLER B25AWH CR 010410



Direct-to-Ceiling LED Downlight – Slim



OVERVIEW
The Direct-to-Ceiling (DTC) Slim LED Downlight allows edge lit lighting to deliver the same level of uniformity as recessed lighting. Edge glow with a beveled edge is a favorite for use in a junction box. DTC Slim Downlight provides installation options for providing uniform, localized, directed, or ambient lighting. Simple, elegant installation requires only one wire and no junction box. Available in two color temperatures (3000K & 3500K) to coordinate with the look of the rest of a room.

FEATURES

- Edge Lit technology provides the glow and a uniform illumination.
- Simple snap-in installation - fast and easy.
- Beveled edge allows for freedom of installation even under a joint.
- Dimmable, see room recommendations in catalog.com.
- Trimless.
- No junction box required, saving installation time and money.
- Available in two color temperatures (3000K & 3500K) to coordinate with the look of the rest of a room.

SPECIFICATIONS

ELECTRICAL

Input Voltage	120VAC
Input Voltage Range	100VAC - 130VAC
Input Frequency	60Hz
Phase	See Data Table
Power Factor	>0.9
Range	2.0W - 10W
Connector	Push-in quick connect AC, screwless DC terminal

MECHANICAL

Dimension	See Dimension Table
IP Rating	IP20

MOUNTING

Direct to ceiling via spring clips

PHOTOMETRICS

Light Source	LED Edge Lit
Color Temperature	3000K/3500K
Color Rendering Index (CRI)	>90, R90-95
Beamable	Yes
Lumen Package	See Data Table
Lumen Per Watt (LPW)	>85 LPW

RATINGS & CERTIFICATIONS

Safety Rating	UL
Installation Requirements	Use in Water Covered Ceiling, Damp Outdoor Covered Ceiling (Suit for limited environments)
Operating Ambient Temperature	34°C
Lumen Maintenance	L70 at 50,000 Hrs
Safety Certification	eUL
Energy Star	Yes
T3E	Yes
KiCad	Yes
FCC	CFR 47, FCC Part 15, Subpart 3.2017

1 Light Outdoor Flush Mount



SPECIFICATIONS

Certification/Qualifications
Dark Sky Compliant

Dimensions
Base Depth 4.50" DIA
Height 7.75" LBS
Width 6.00"
Depth 6.50"

Electrical
Socket Wire (Degrees) 90

Light Source
Lamp Included Not Included
Lamp Type BR30
Light Output Incandescent
Max or Nominal Watt 65.00
of Bulb/LED Modules
Socket Type Medium
Socket Wire 100"

Mounting/Installation
Installation Location Rating
Mounting Style Ceiling Mount

FIXTURE ATTRIBUTES

Housing	White
Diffuser Description	White
Primary Material	ALUMINUM
Shade Description	Metal Shade
Shade Included	Yes

Product/Ordering Information
SKU: B25AWH
Finish: BR30
LPC: 733627983468

Finish Options
 White

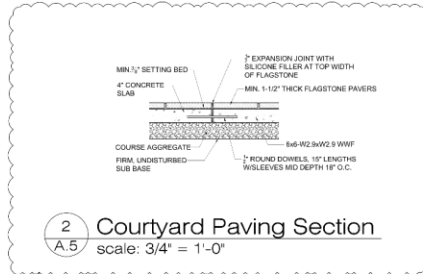
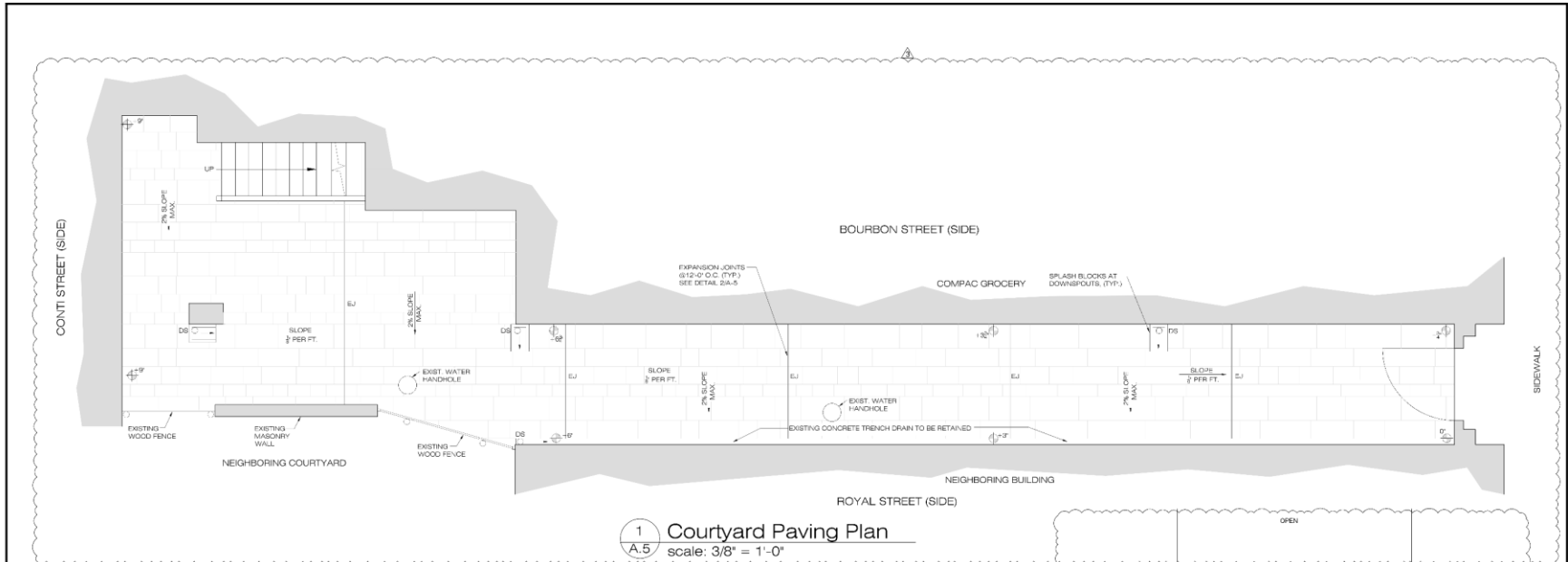
terrell-fabacher architects, i.l.c.
New Orleans, Louisiana 70125
1000 South Norman C. Francis Parkway, Suite 241

tfa

COMPAC GROCERY
730 St. Louis St.
New Orleans, Louisiana

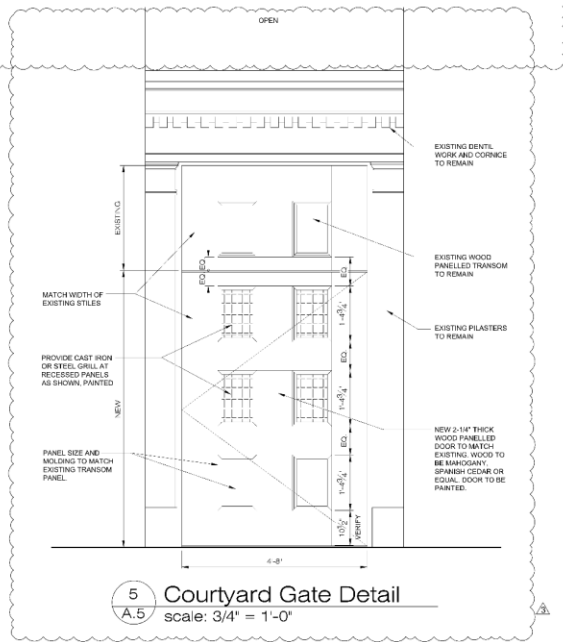
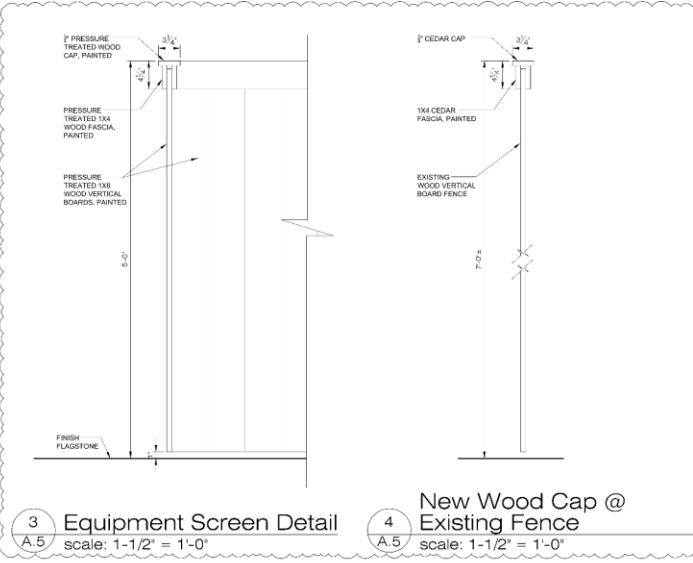
VCC
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COURTYARD PAVING NOTES:

1. FLAGSTONE SHALL BE 1/2" THICK BLUE-GREEN NATURAL CLEFT PAVERS OF RANDOM SIZES OVER 2" THICK CONCRETE SLAB REINFORCED WITH STEEL MESH.
2. FINISH ELEVATION OF FLAGSTONE TO FLUSH OUT WITH ADJOINING EXISTING PAVING TO EITHER SIDE OF PROPERTY.
3. FLAGSTONE TO BE LAD ON A NORTH BED WITH EXPANSION JOINTS. EXPANSION JOINTS IN FLAGSTONE PAVING TO BE FULL DEPTH OF CONCRETE SLAB AND SETTING BED. TOP THICKNESS OF FLAGSTONE EXPANSION JOINT TO BE CALLED WITH SILICONE FILLER TO MATCH COLOR OF FLAGSTONE.
4. ALLEYWAY TO DRAIN AWAY FROM BUILDING AND TOWARD S.E. CORNER ST. WITH SUFFICIENT SLOPE, TO CREATE POSITIVE DRAINAGE.



tterrell lebeche architects, i.l.c.
509 PEARL STREET SUITE 200
NEW ORLEANS, LOUISIANA 70112
504.588.1320
www.tlarchitects.com

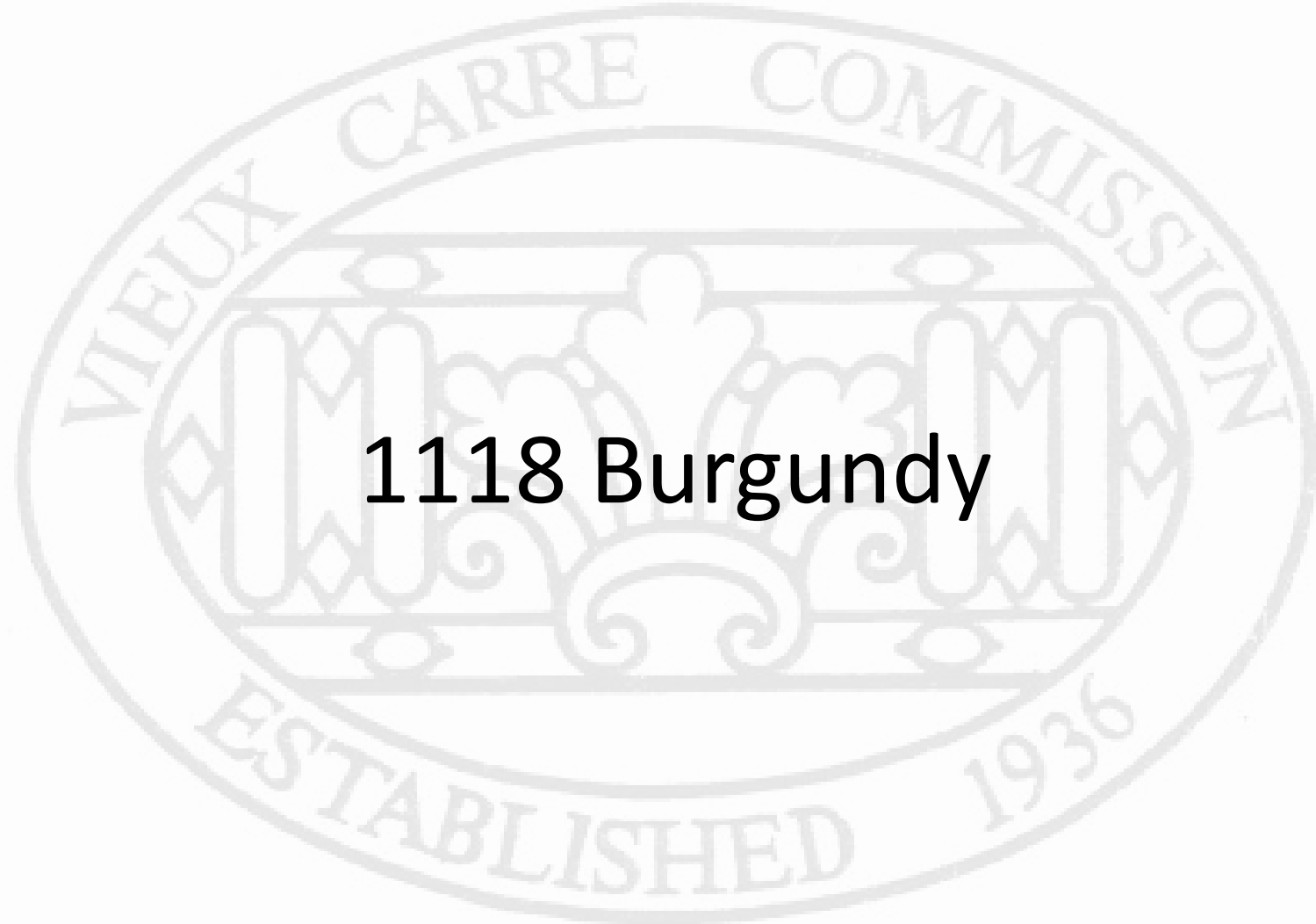
tfa

COMPAC GROCERY
730 St. Louis St.
New Orleans Louisiana

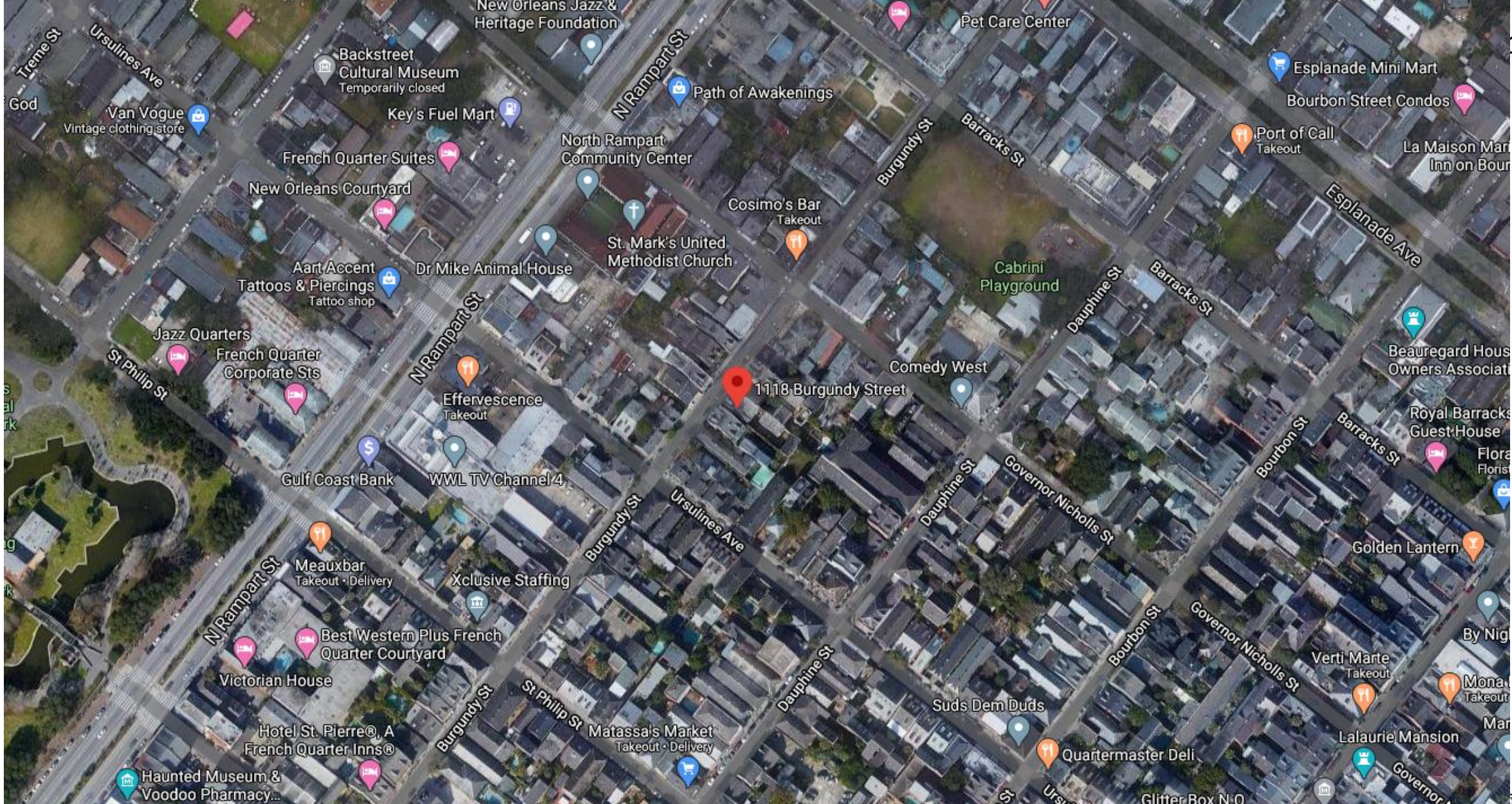
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1118 Burgundy



1118 Burgundy

VCC Architecture Committee

April 9, 2024





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April 9, 2024





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April 9, 2024





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April 9, 2024



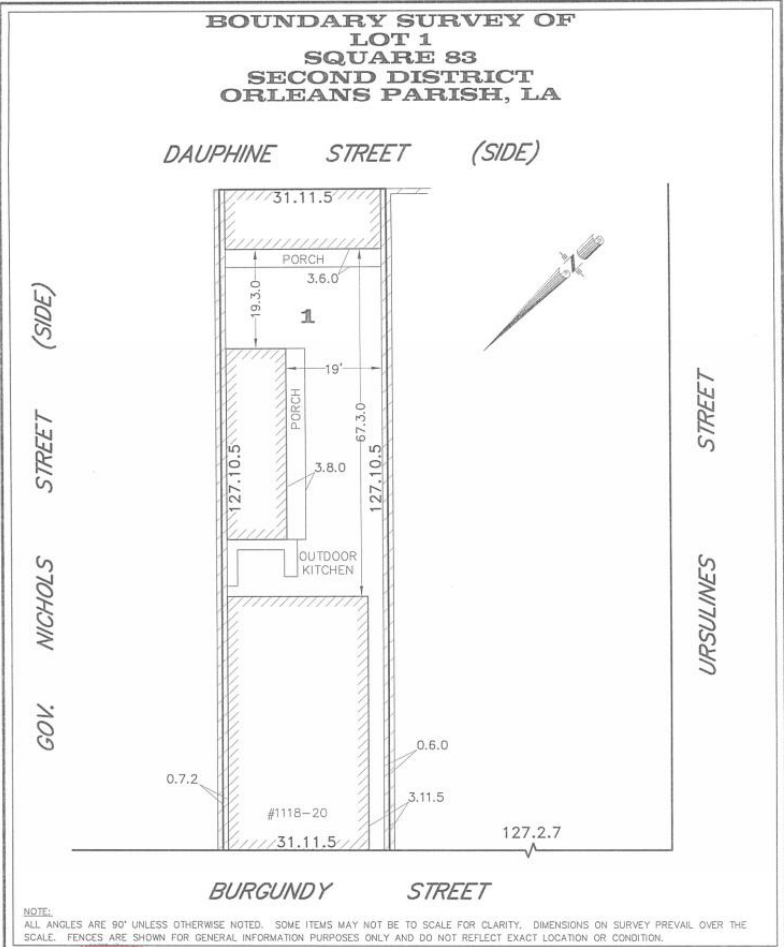


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April 9, 2024





NOTE:
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.



GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1
 REFERENCE PLAN #1: A PLAN OF SURVEY BY JJ KREBS AND SONS DATED MARCH 12, 1984

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON, THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPIING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

ELEVATION NOTES

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 9/30/16 FLOOD ZONE: X
 BASE FLOOD ELEVATION: N/A COMMUNITY PANEL: 225203 0229 F

THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:XX, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

R.W. KREBS
PROFESSIONAL LAND SURVEYING, LLC
RICHMOND W. KREBS, SR., PLS
 3445 N. CAUSEWAY BLVD, SUITE 201
 METAIRIE, LA. 70002
 PHONE: (504) 889-9016
 FAX: (504) 889-0916
 E-MAIL: infonola@rwkrebs.com
 WEB: www.rwkrebs.com

MADE AT THE REQUEST OF PENTEX HOMES

BY: *Richmond W. Krebs*
 RICHMOND W. KREBS, PLS, LIC. #4836

DATE: AUGUST 3, 2020 DRAWN BY: NDK
 SCALE: 1" = 20' CHECKED BY: RWK
 JOB #: 201561

1118 Burgundy

VCC Architecture Committee

April 9, 2024





1118 Burgundy – unpermitted exterior kitchen

VCC Architecture Committee

April 9, 2024





1118 Burgundy – unpermitted exterior kitchen

VCC Architecture Committee

April 9, 2024



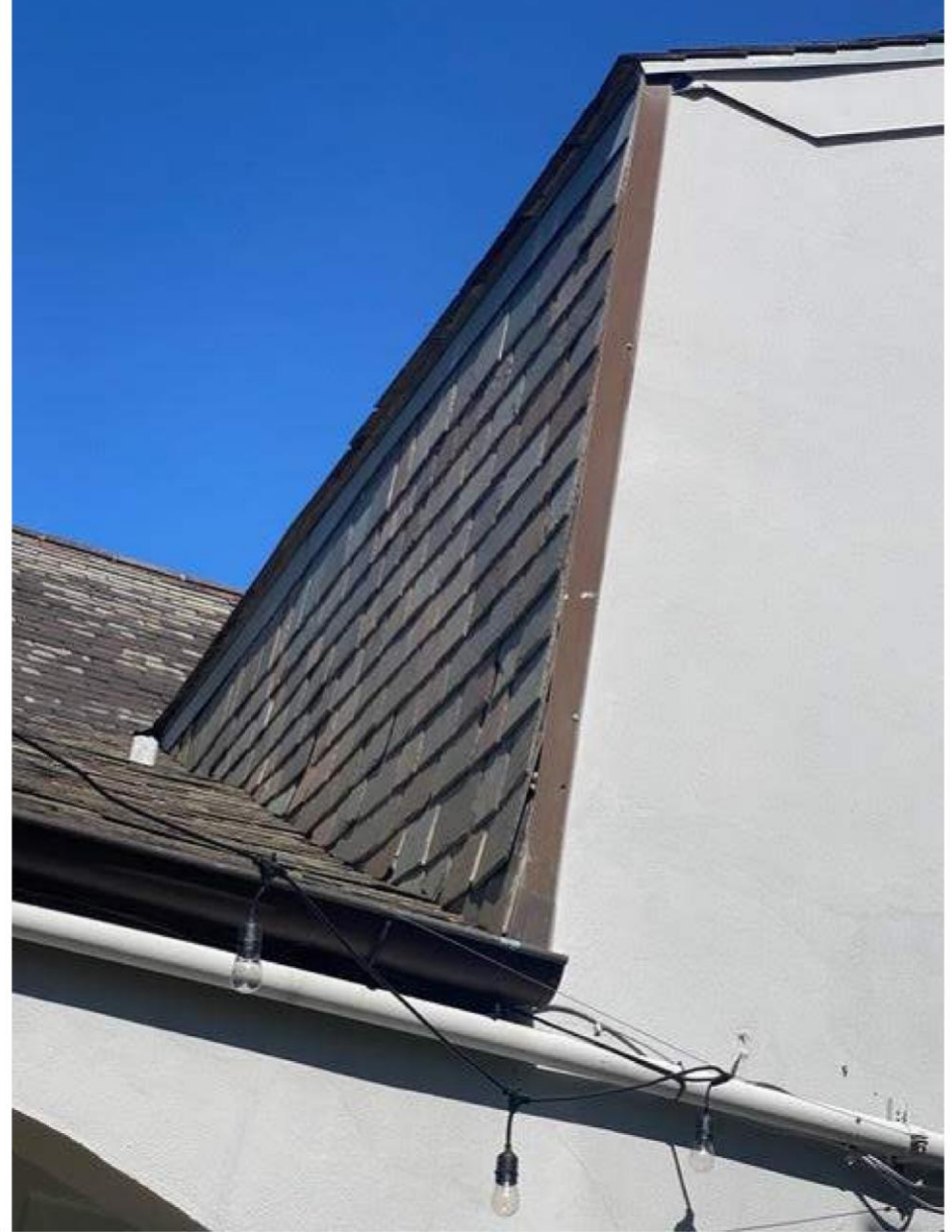


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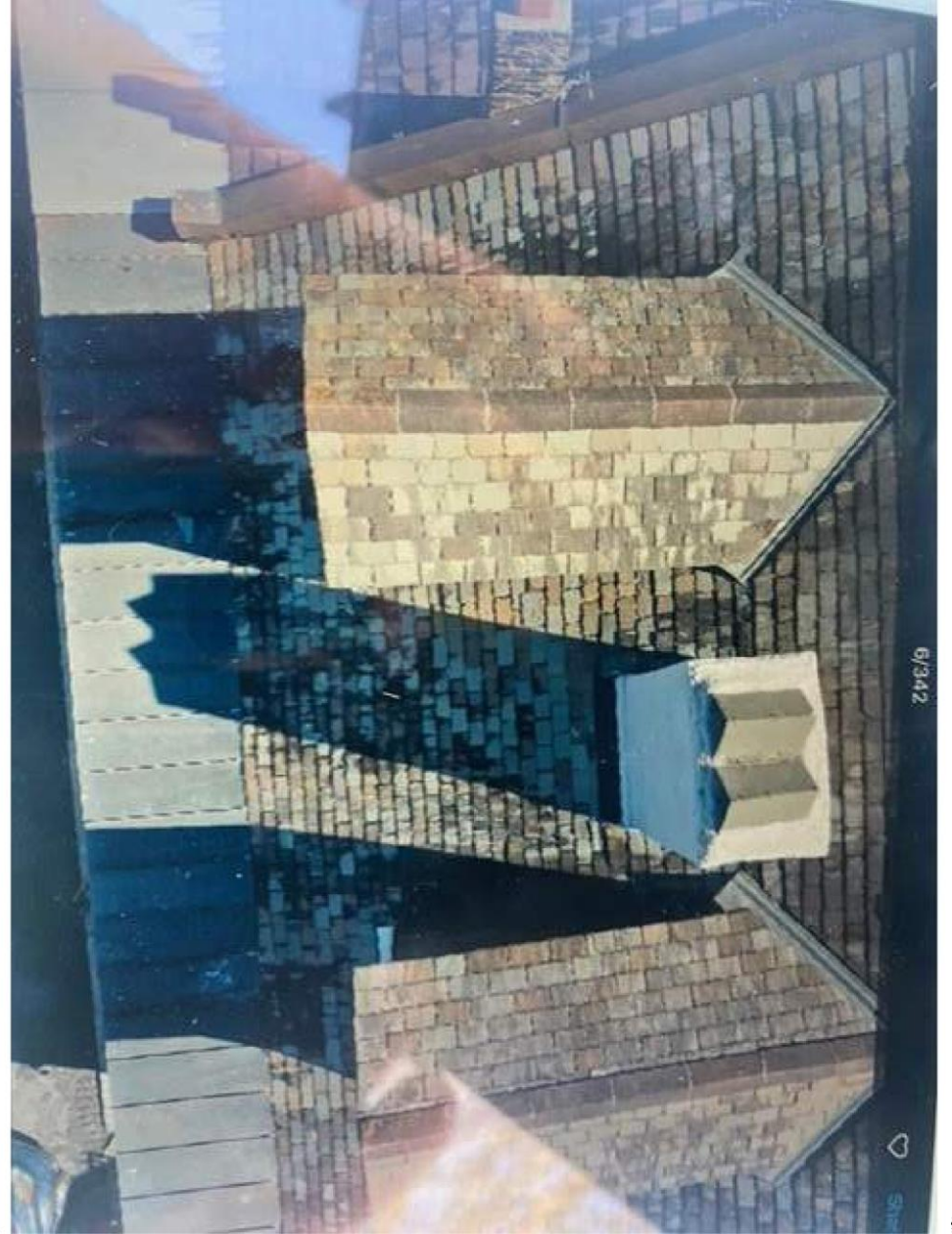


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April 9, 2024





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April 9, 2024





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April 9, 2024



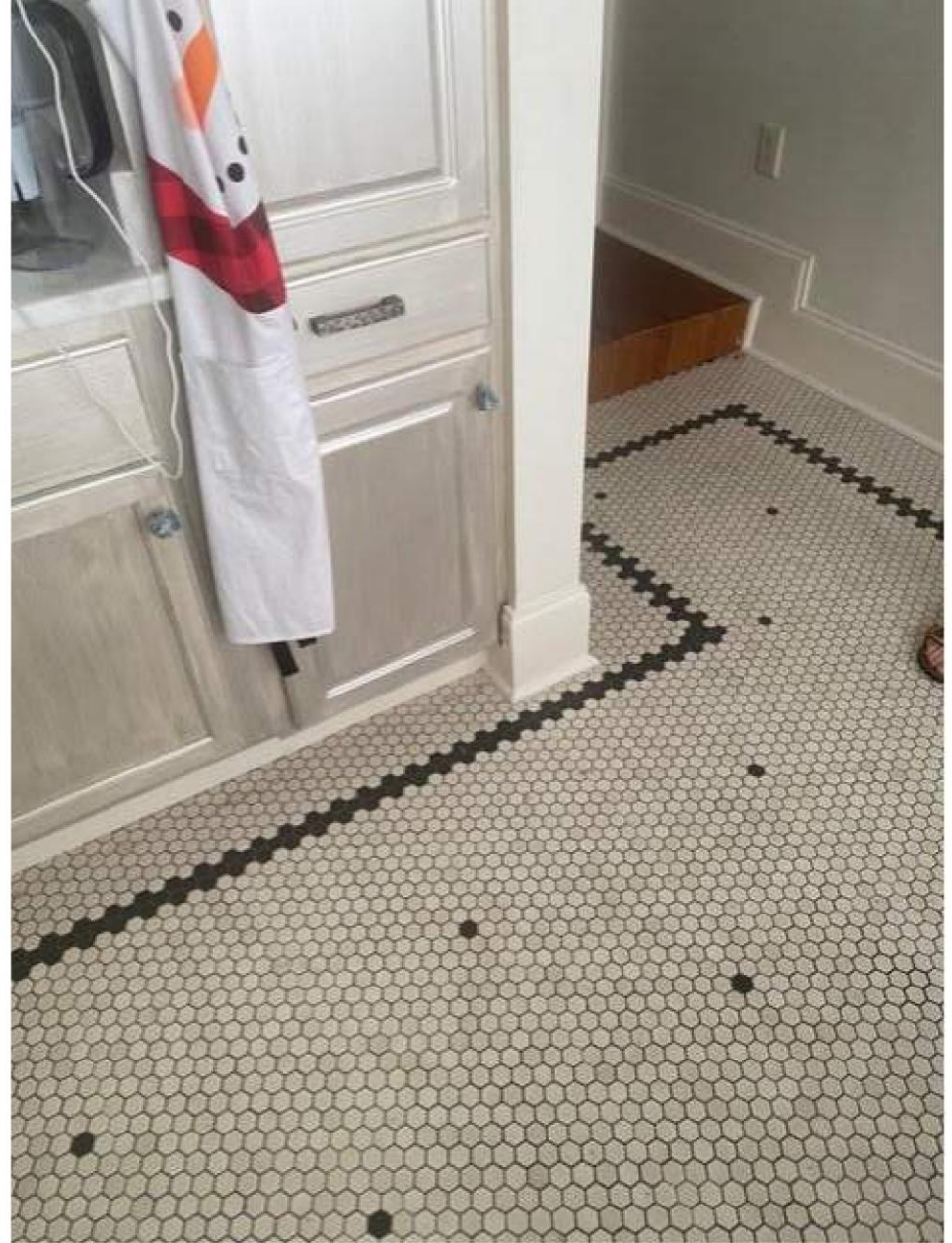


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April 9, 2024



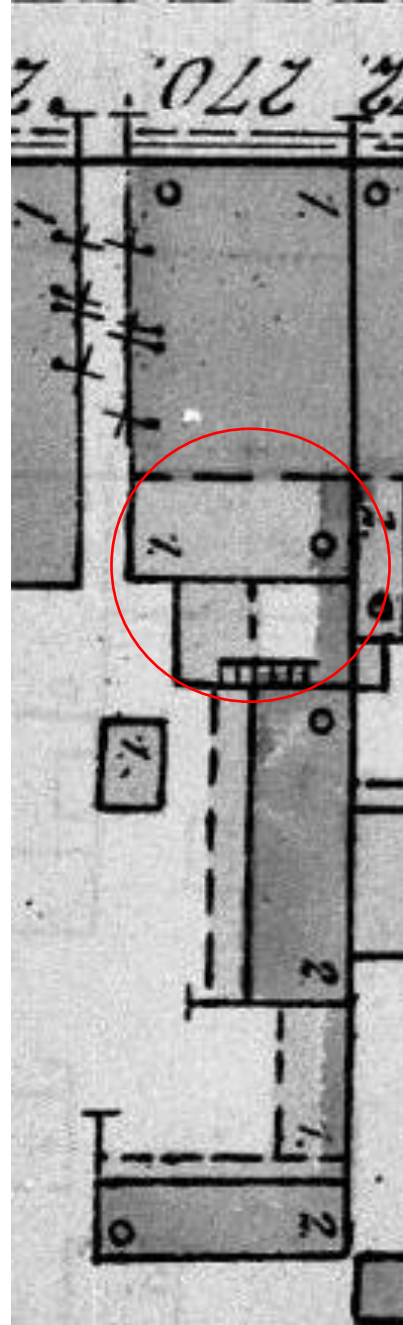
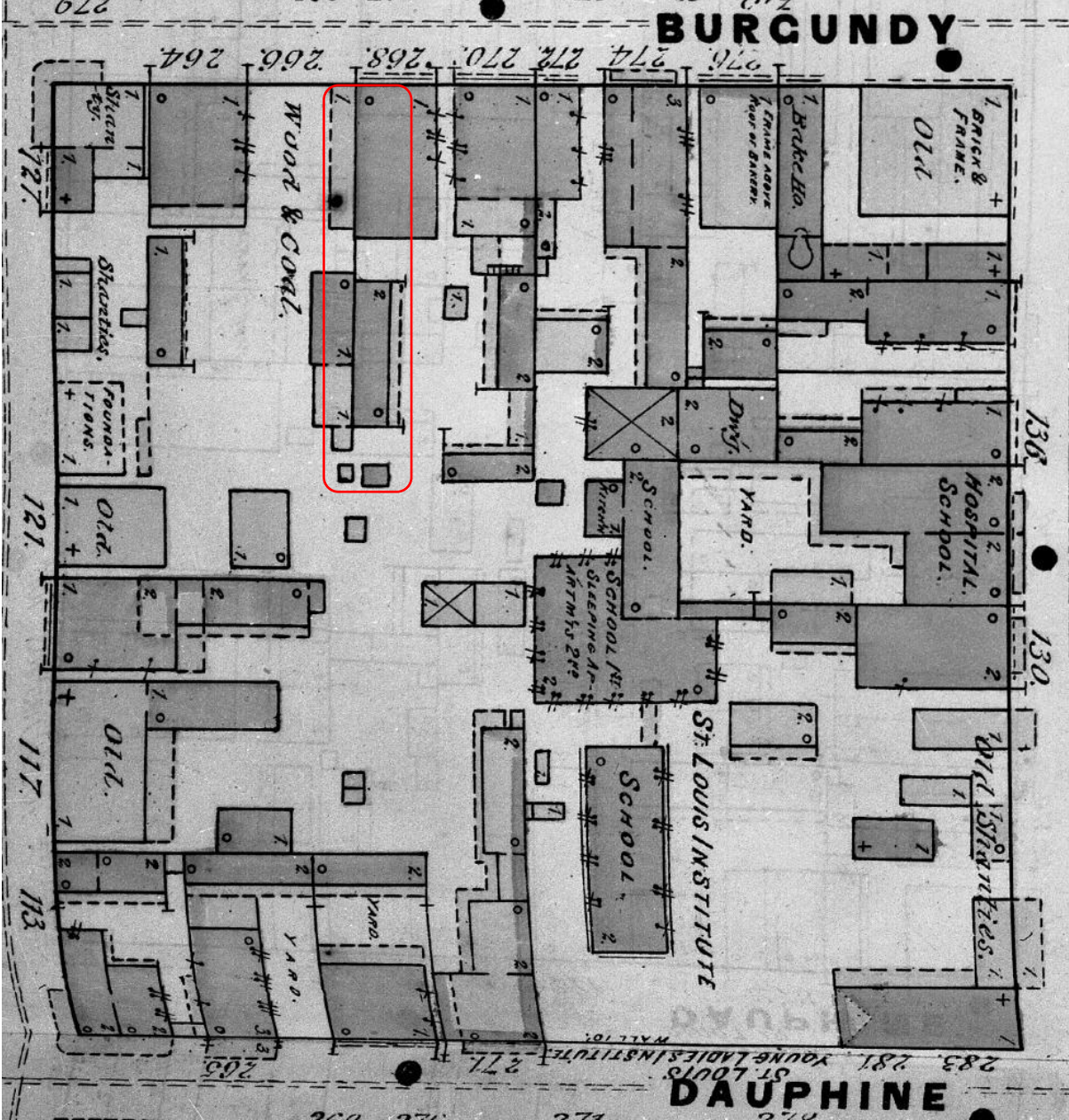


1118 Burgundy

VCC Architecture Committee

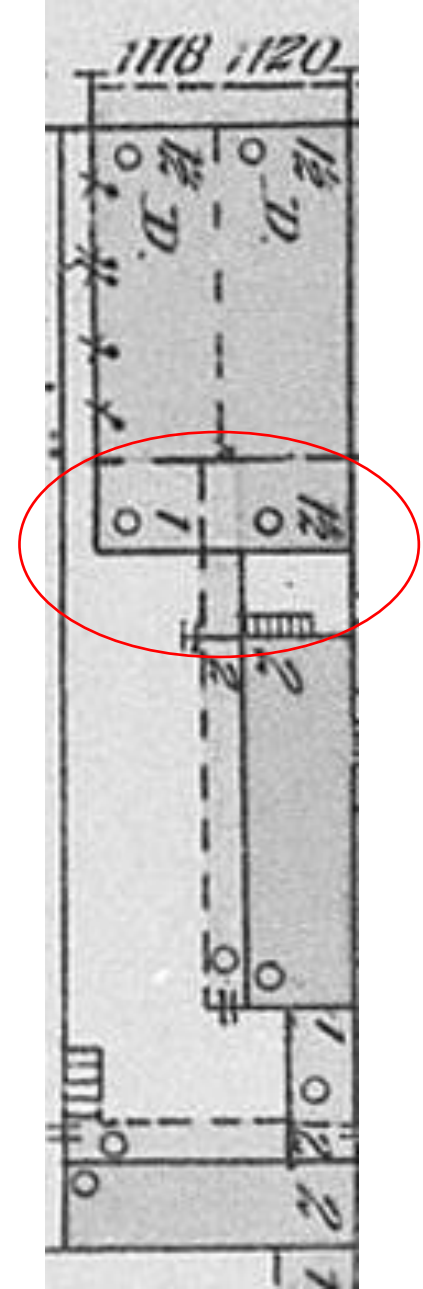
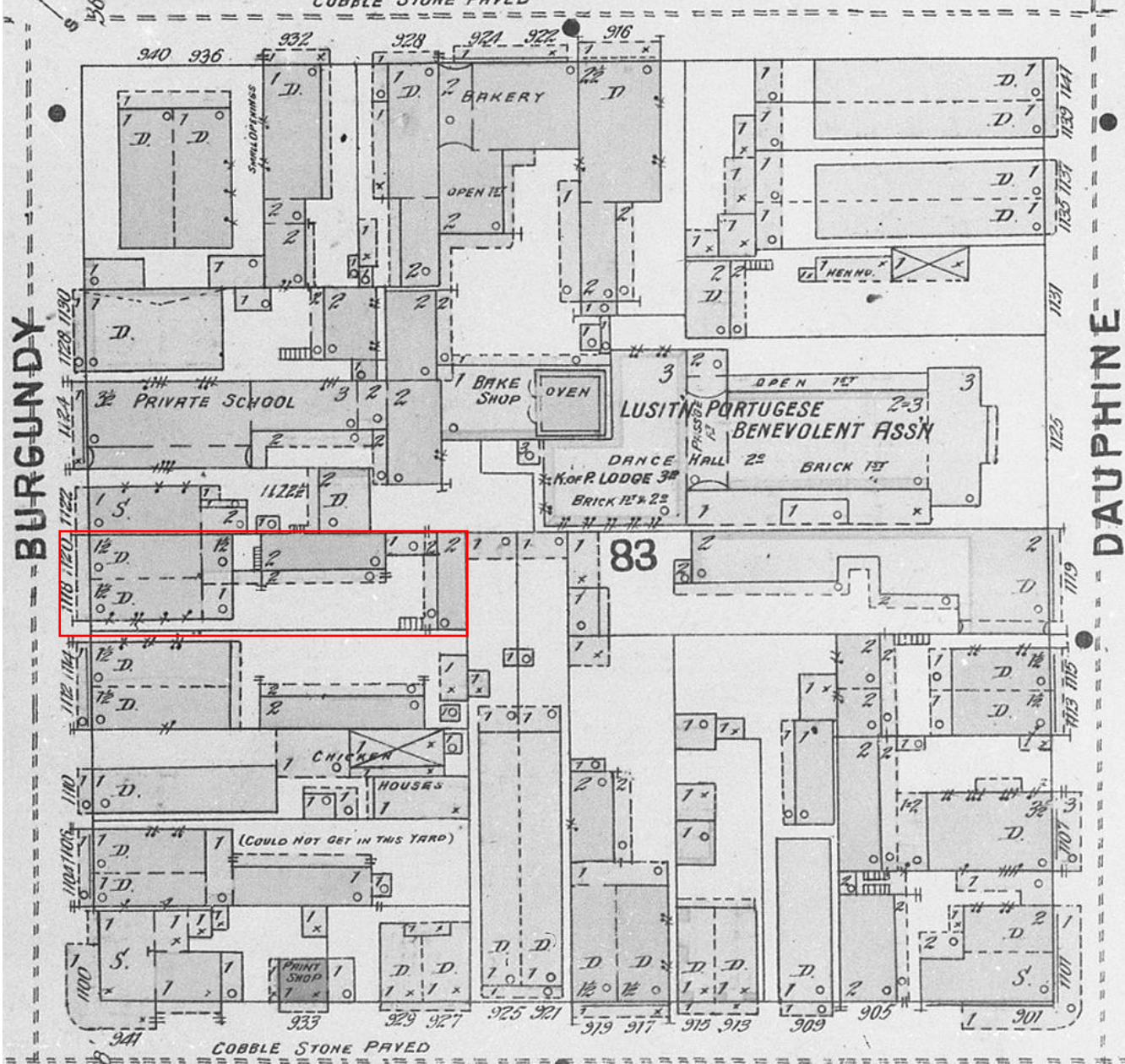
April 9, 2024





1118 Burgundy





1118 Burgundy

VCC Architecture Committee

April 9, 2024





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VCC Architecture Committee

April 9, 2024





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April 9, 2024



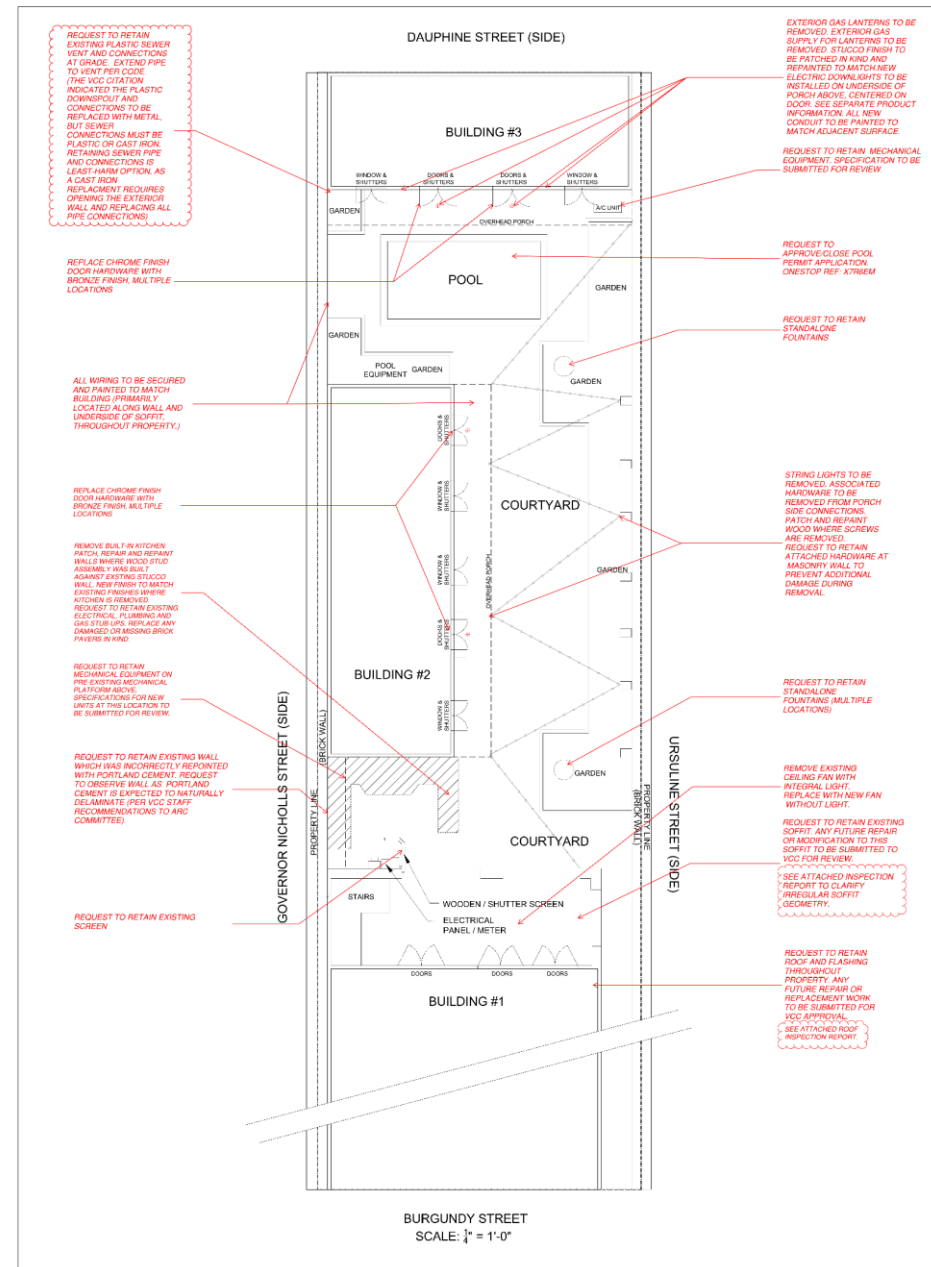


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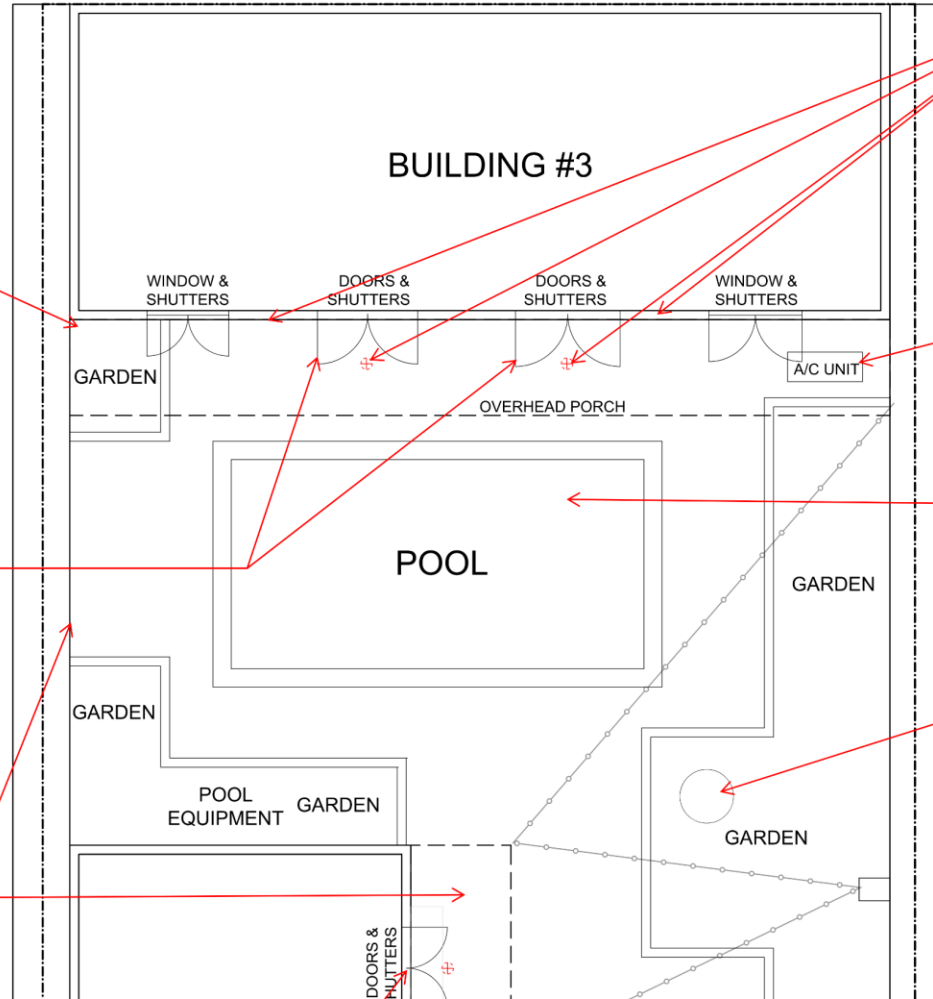


DAUPHINE STREET (SIDE)

REQUEST TO RETAIN EXISTING PLASTIC SEWER VENT AND CONNECTIONS AT GRADE. EXTEND PIPE TO VENT PER CODE. (THE VCC CITATION INDICATED THE PLASTIC DOWNSPOUT AND CONNECTIONS TO BE REPLACED WITH METAL, BUT SEWER CONNECTIONS MUST BE PLASTIC OR CAST IRON. RETAINING SEWER PIPE AND CONNECTIONS IS LEAST-HARM OPTION, AS A CAST IRON REPLACEMENT REQUIRES OPENING THE EXTERIOR WALL AND REPLACING ALL PIPE CONNECTIONS)

REPLACE CHROME FINISH DOOR HARDWARE WITH BRONZE FINISH, MULTIPLE LOCATIONS

ALL WIRING TO BE SECURED AND PAINTED TO MATCH BUILDING (PRIMARILY LOCATED ALONG WALL AND UNDERSIDE OF SOFFIT, THROUGHOUT PROPERTY.)



EXTERIOR GAS LANTERNS TO BE REMOVED. EXTERIOR GAS SUPPLY FOR LANTERNS TO BE REMOVED. STUCCO FINISH TO BE PATCHED IN KIND AND REPAINTED TO MATCH. NEW ELECTRIC DOWNLIGHTS TO BE INSTALLED ON UNDERSIDE OF PORCH ABOVE, CENTERED ON DOOR. SEE SEPARATE PRODUCT INFORMATION. ALL NEW CONDUIT TO BE PAINTED TO MATCH ADJACENT SURFACE.

REQUEST TO RETAIN MECHANICAL EQUIPMENT. SPECIFICATION TO BE SUBMITTED FOR REVIEW.

REQUEST TO APPROVE/CLOSE POOL PERMIT APPLICATION. ONESTOP REF: X7R6EM

REQUEST TO RETAIN STANDALONE FOUNTAINS





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VCC Architecture Committee

April 9, 2024





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April 9, 2024





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April 9, 2024





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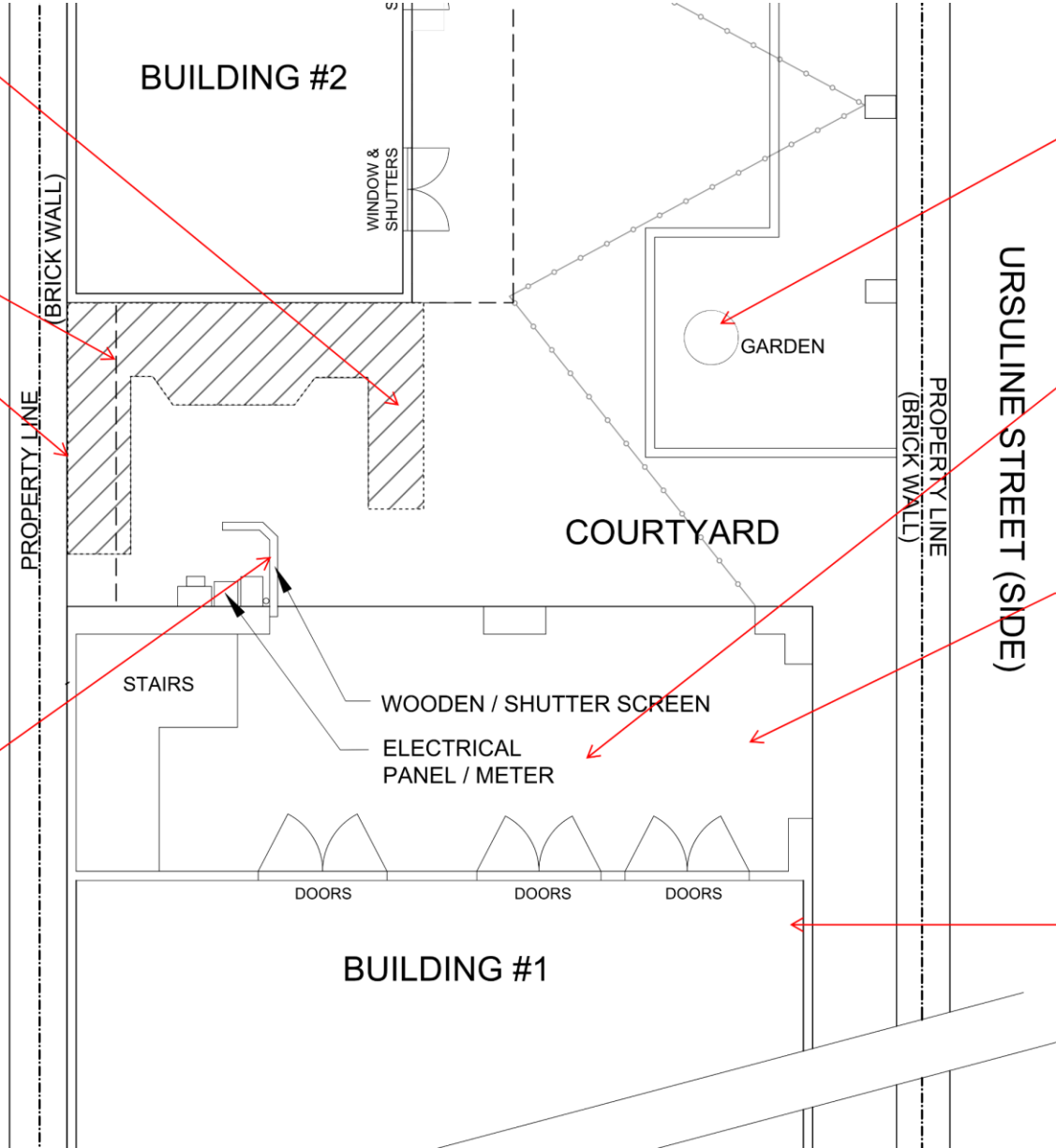


REQUEST TO RETAIN MECHANICAL EQUIPMENT ON PRE-EXISTING MECHANICAL PLATFORM ABOVE. SPECIFICATIONS FOR NEW UNITS AT THIS LOCATION TO BE SUBMITTED FOR REVIEW.

REQUEST TO RETAIN EXISTING WALL WHICH WAS INCORRECTLY REPOINTED WITH PORTLAND CEMENT. REQUEST TO OBSERVE WALL AS PORTLAND CEMENT IS EXPECTED TO NATURALLY DELAMINATE (PER VCC STAFF RECOMMENDATIONS TO ARC COMMITTEE).

REQUEST TO RETAIN EXISTING SCREEN

GOVERNOR NICHOLLS STREET (SIDE)



REQUEST TO RETAIN STANDALONE FOUNTAINS (MULTIPLE LOCATIONS)

REMOVE EXISTING CEILING FAN WITH INTEGRAL LIGHT. REPLACE WITH NEW FAN WITHOUT LIGHT.

REQUEST TO RETAIN EXISTING SOFFIT. ANY FUTURE REPAIR OR MODIFICATION TO THIS SOFFIT TO BE SUBMITTED TO VCC FOR REVIEW.

SEE ATTACHED INSPECTION REPORT TO CLARIFY IRREGULAR SOFFIT GEOMETRY.

REQUEST TO RETAIN ROOF AND FLASHING THROUGHOUT PROPERTY. ANY FUTURE REPAIR OR REPLACEMENT WORK TO BE SUBMITTED FOR VCC APPROVAL.

SEE ATTACHED ROOF INSPECTION REPORT.





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VCC Architecture Committee

April 9, 2024





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April 9, 2024





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April 9, 2024



PRODUCT INFORMATION - MECHANICAL AND HARDWARE

MECHANICAL EQUIPMENT PRODUCT INFORMATION



MECHANICAL EQUIPMENT PRODUCT INFORMATION



REPLACEMENT GATE LOCK HARDWARE (FACES STREET)

LUCKEY 3830 PASSAGE KNOB LOCK

FEATURES
 Mechanical, bevel deadlocking, spring latch
 One user code. (Requires 2 of 4 possible combinations)
 Auto-locking with passage function
 Reversible latching
 Adjustable bevel lock
 Covers standard 2 1/8" hole
 Available in four finishes

OPTIONS
 Single Combination, Double Combination

DIMENSIONS & SPECIFICATIONS
 Dimensions:
 Length 5 1/2"
 Height 2 1/2"
 Depth 2 1/2"
 Total Coverage With Iron Plate 1" x 7 1/2" W.
 Mounting Holes 1 1/2" x 1 1/2" (2) 2 1/4" (4) with 1/8" dia. bit
 Material: Zinc Plated Steel
 Color: Copper, Black, Silver, Bronze, Stainless Steel
 For exterior & interior use
 Weather Resistant

The 3830 is available in four finishes, see finishes and Material
 1. 1/2" x 1 1/2" x 1 1/2" (2) 2 1/4" (4) with 1/8" dia. bit
 2. 1/2" x 1 1/2" x 1 1/2" (2) 2 1/4" (4) with 1/8" dia. bit
 3. 1/2" x 1 1/2" x 1 1/2" (2) 2 1/4" (4) with 1/8" dia. bit
 4. 1/2" x 1 1/2" x 1 1/2" (2) 2 1/4" (4) with 1/8" dia. bit

ORDERING INFORMATION

Finish	Single Combination	Double Combination
Black	3830BSC	3830BSCD
Copper	3830CSC	3830CSCD
Stainless Steel	3830SSC	3830SSCD
Brushed Nickel	3830BNC	3830BNC

www.LuckeyUSA.com/product/3830C

1118 Burgundy

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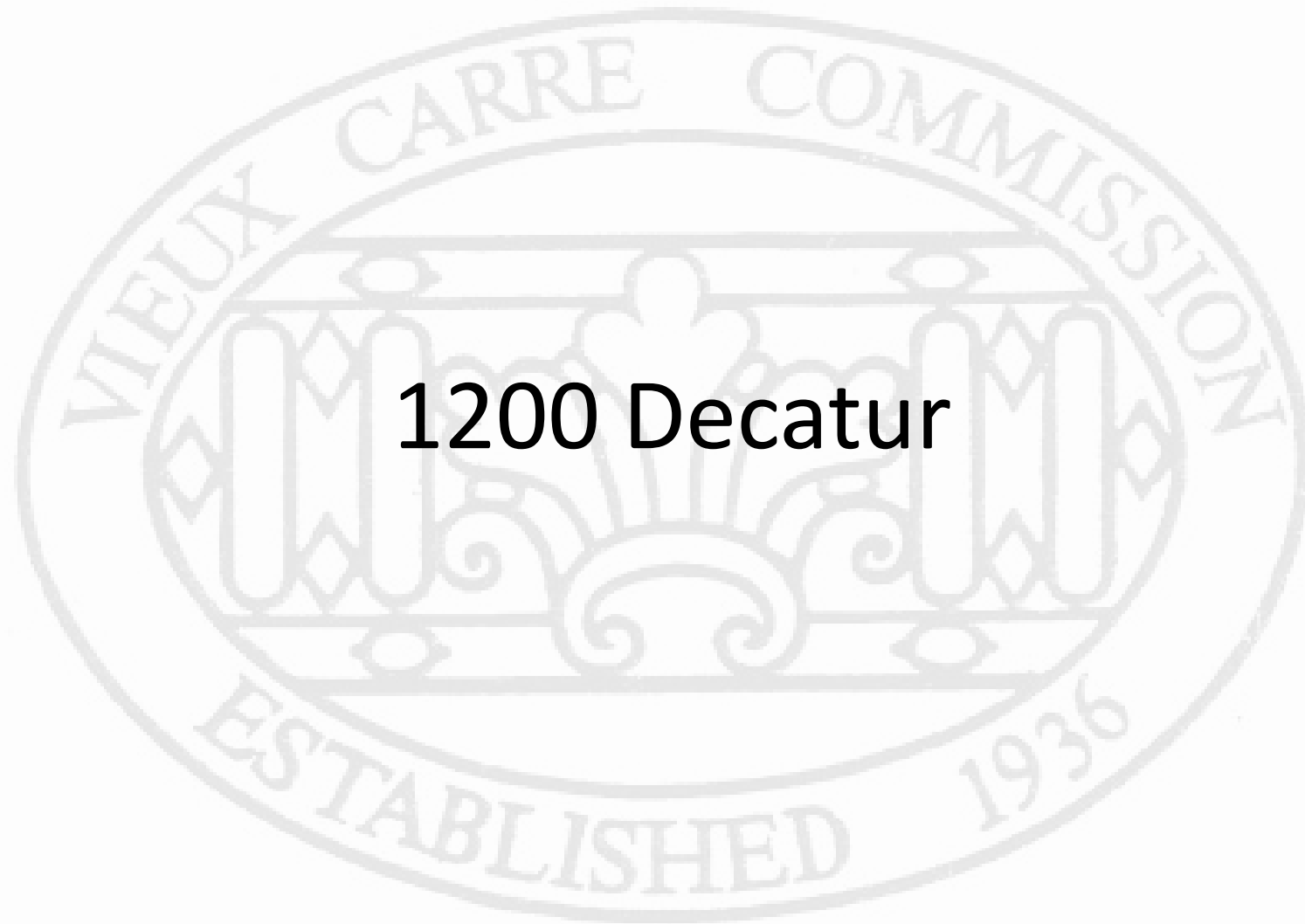
HARRELL
 ARCHITECTURE | DEVELOPMENT | CONSTRUCTION
 1517 Henry Clay Avenue
 New Orleans, LA 70118
 www.harrell-adc.com
 jharrell@harrell-adc.com
 504.268.1250

1118 BURGUNDY STREET
 VCC CITATION RESPONSE
 APPLICATION TO RETAIN / MODIFY TO COMPLY WITH VCC REQUIREMENTS

03/19/24

April 9, 2024





1200 Decatur



1200 Decatur

VCC Architectural Committee

April 9, 2024





1200 Decatur

VCC Architecture Committee

April 9, 2024





1200 Decatur

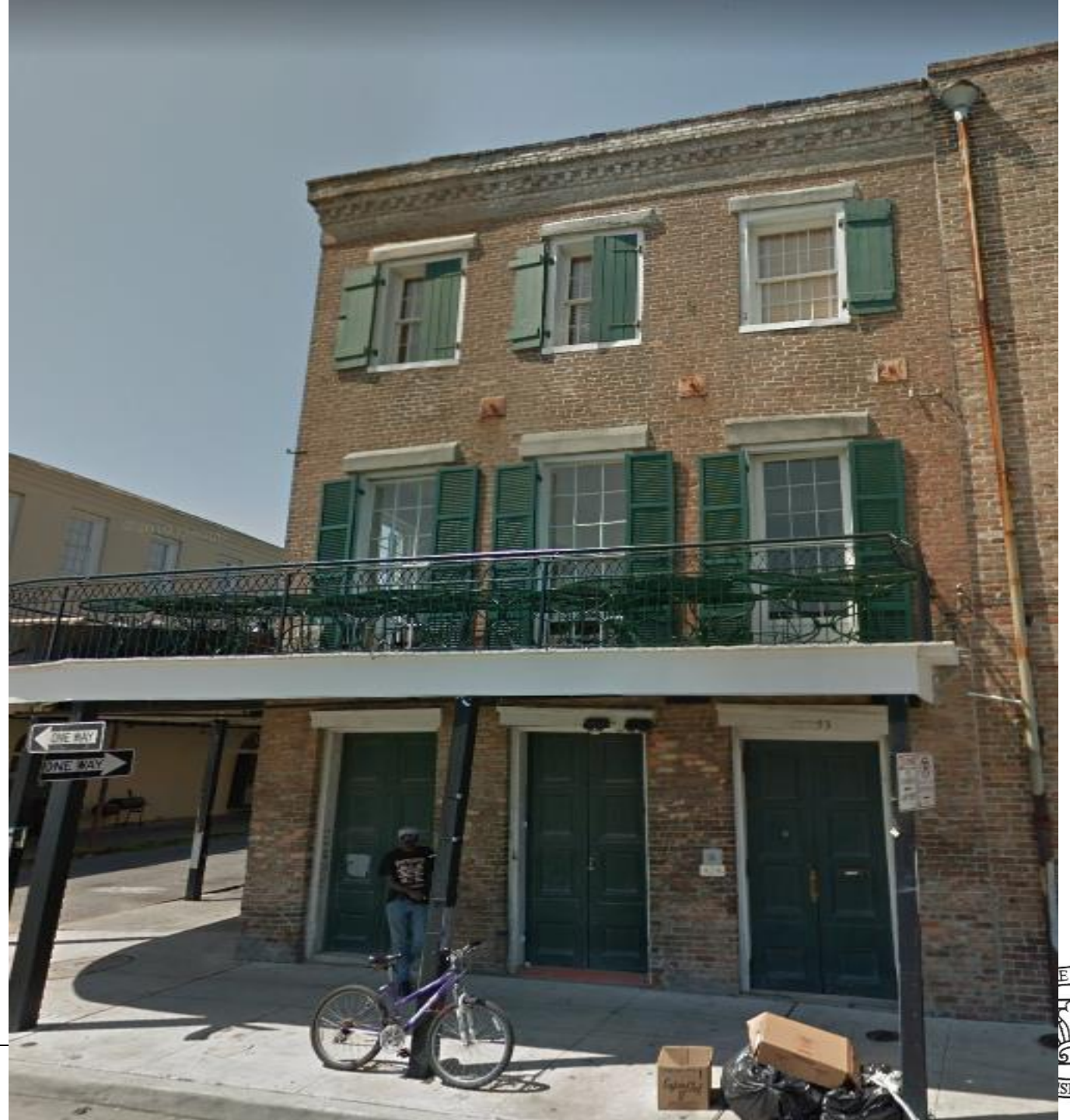
VCC Architecture Committee

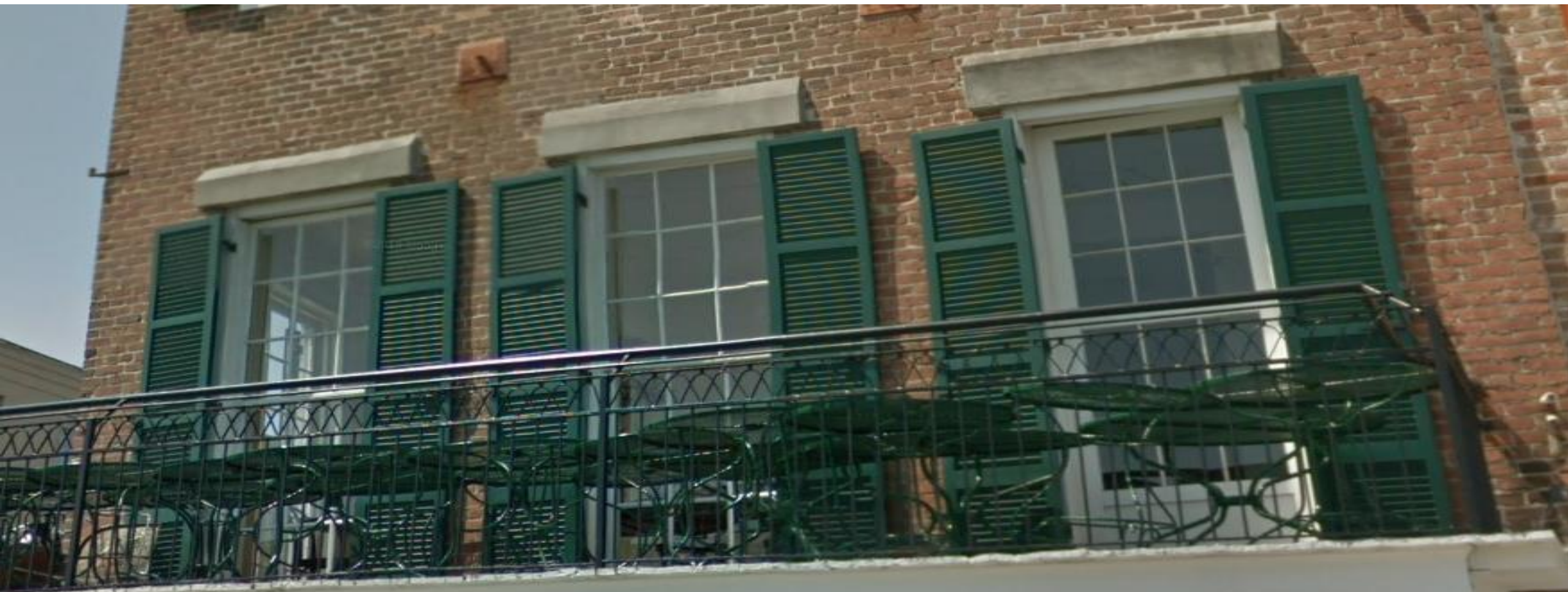
April 9, 2024



1200 Decatur - 2011

VCC Architecture Committee





1200 Decatur - 2011

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April 9, 2024





1200 Decatur - Current





1200 Decatur - Current

VCC Architecture Committee

2024





1200 Decatur - Current

VCC Architecture Committee

April 9, 2024





I've looked closer at the lintel detailing and I do think it is a stucco applied to the surface bricks. This 2003 picture shows it cracking and failing above the middle window.

My proposal would be to retain the lintels already in place and apply a stucco decorative lintel to match the dimensions and profile as it appears in the picture you sent.

That would be the least invasive option and it would definitely reflect the appearance of what was previously there. The engineer had no issues with the hidden current lintels.

1200 Decatur

VCC Architecture Committee

April 9, 2024





January 25, 2024

Via Email: dapoulis2002@gmail.com

1200 Decatur St LLC
 1000 Decatur St
 New Orleans, LA 70116
 504-284-8051
 Attn: Mr. Dimitri Poulis

RE: Repairs to:
 1200 Decatur St
 New Orleans, LA 70116
 DCE Proj. No. 24012

To Whom It May Concern:

On Thursday January 11, 2024 I met Mr. Poulis at the property to go over some repairs that had been completed. I looked over two things, a balcony post that was replace and some window lintels that were being replaced.

A 6x6 treated post was installed to replace a broken post. The post was the same size as all the others and was adequately connected to the balcony framing and embedded into the foundation.

The lintels over some of the windows on the east side of the building were being replaced with treated 6x12 timber lintels to match the existing lintels on the south side of the building. I went over the proper installation requirements with the mason.

Both of these items are structurally adequate and will maintain the structural integrity of the building.

In closing, if you have any questions or comments, please don't hesitate to contact me.

Sincerely,

Jeremy W. DeVille, P.E.

1200 Decatur

VCC Architecture Committee

985-773-3560

2156 3rd St. Suite C, Mandeville, LA 70471

www.dceengineersllc.com

April 9, 2024





EAST SIDE BUILDING – LINTELS TO BE REPLACED

1200 Decatur

VCC Architecture Committee

DCE

985-773-3560

www.dceengineersllc.com

April 9, 2024





439-41 Royal



439 Royal





439 Royal

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April 9, 2024





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April 9, 2024





439 Royal

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April 9, 2024





439 Royal

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April 9, 2024





439 Royal

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April 9, 2024





439 Royal

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April 9, 2024





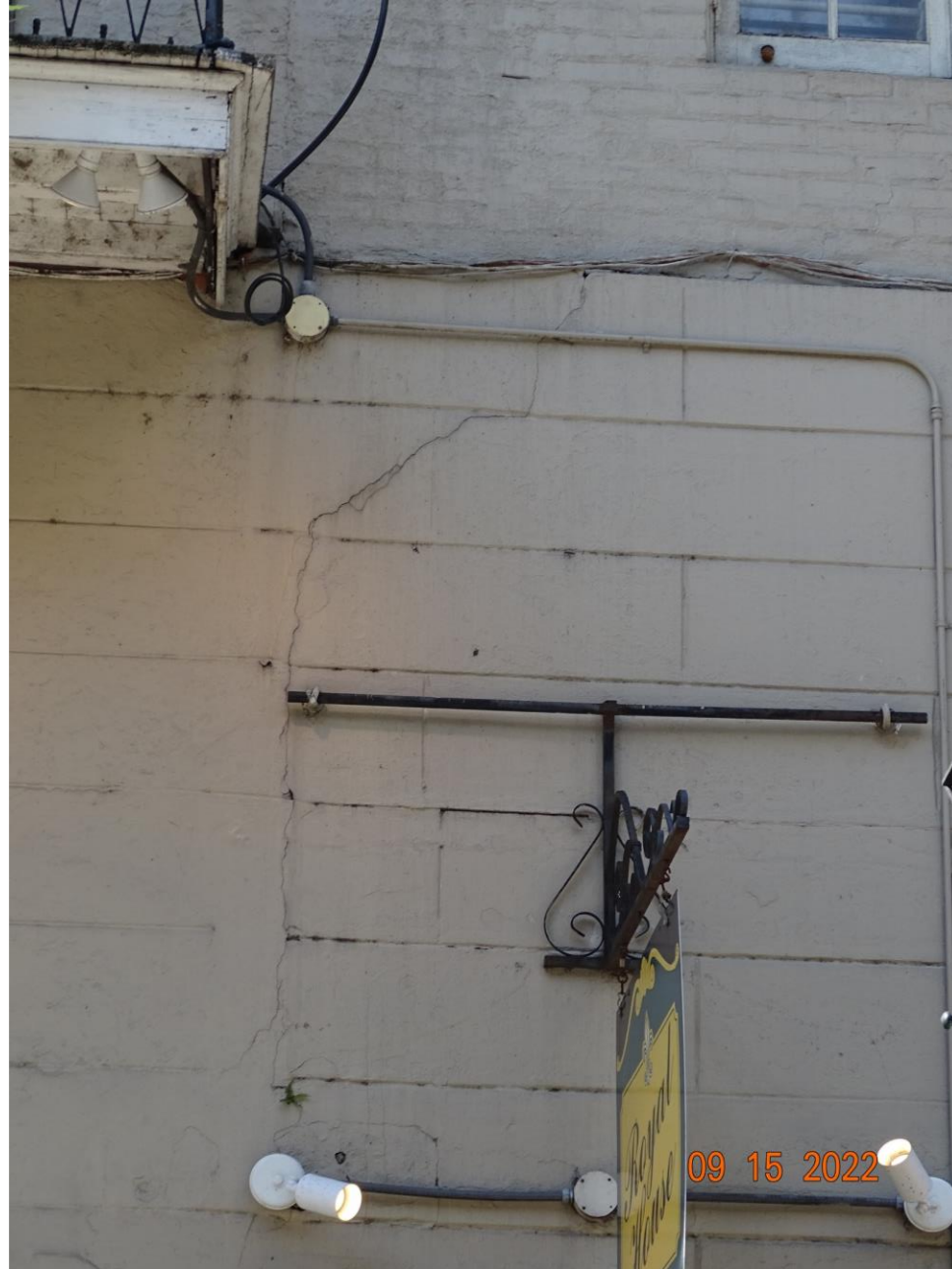
439 Royal

VCC Architecture Committee

April 9, 2024





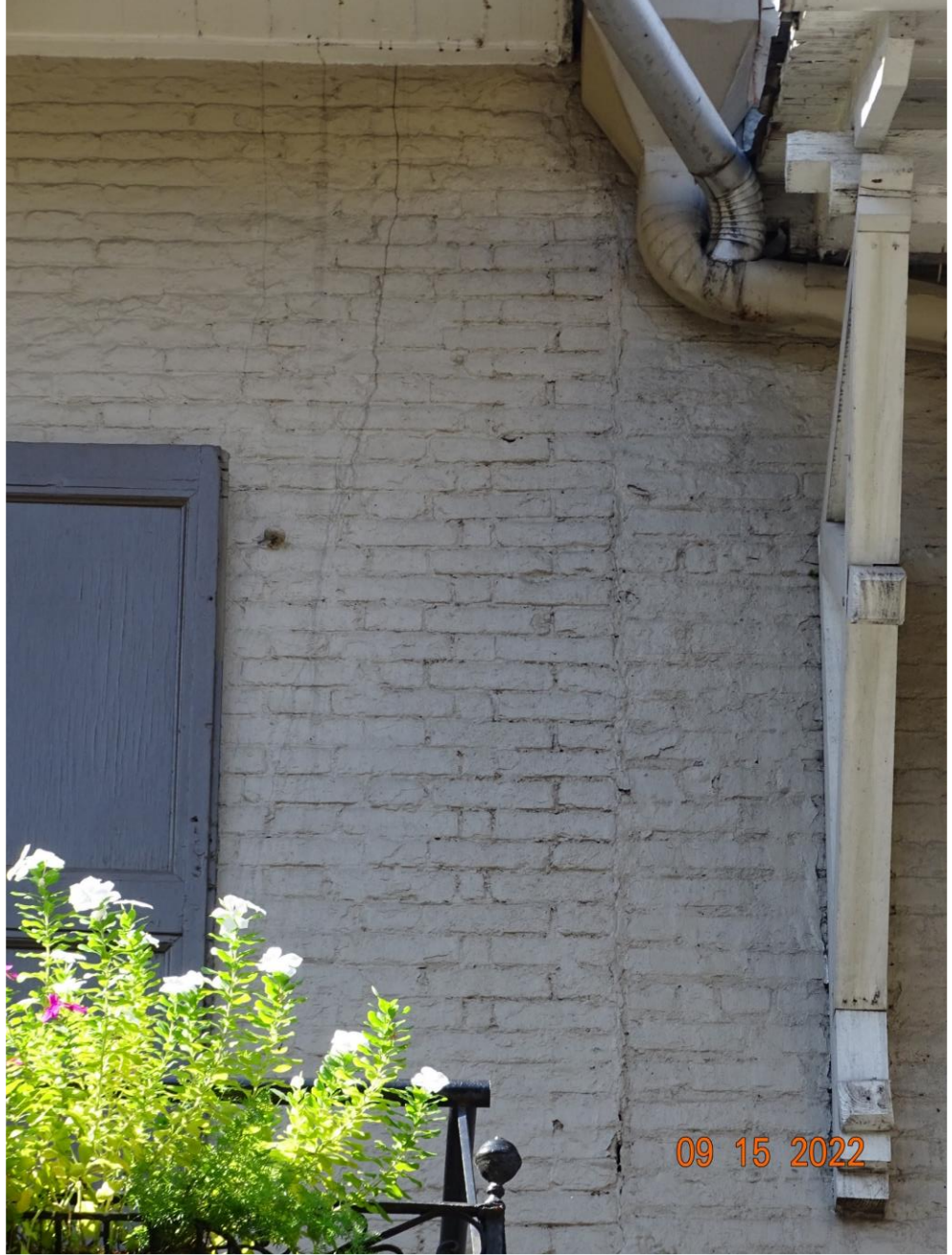


439 Royal

VCC Architecture Committee

April 9, 2024





439 Royal

VCC Architecture Committee

April 9, 2024





439 Royal

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April 9, 2024





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April 9, 2024





Sep 14, 2022 10:59:28 AM







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April 9, 2024





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April 9, 2024





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April 9, 2024







439 Royal

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April 9, 2024





www.thehd design.com
PO Box 6093
Metairie, LA 70009
504.715.0617

March 13, 2024

Mr. Jake Cowden-Garofalo
Constance Restoration
12 Garden Lane
New Orleans, LA 70124

**RE: Royal House
441 Royal Street
New Orleans, LA 70130
Observation and Report of Findings**

Dear Mr. Cowden-Garofalo:

In accordance with your request, we completed a visual observation and review of available documents in an effort to determine the buildings overall general condition. Our work was limited to visible and non destructive observations only. We completed our work and have the following observations and conclusions.

General Building Description

This building is a historic property most likely over 150 years old. The building is a two-story, masonry and wooden frame structure. Given the building's age and geographical location (close proximity to the Mississippi River) we opine, more probably than not, that it is supported on a concrete or masonry corbel foundation, resting on the shallow underlying soils. The perimeter and load bearing demising walls are constructed of brick masonry. The masonry walls are load bearing both for lateral and gravity loading. These are the primary supports for the entire structure. The interior floor and roof are framed of wood. The wooden floor and roof members are either mortised, pocketed, or mechanically fastened into the brick walls.

Observations and Conclusions

We viewed the interior of both the first and second floor of the property. From the exterior, we viewed the St. Louis and Royal street elevations. Due to the shared/party walls on the East and South side, these walls were not visible from the exterior.

On the first floor ground floor, we observed the same crack in the brick walls as we previously reported in our letter dated September 22nd 2022. On the second floor, on West wall (closest to Royal street) we observed vertical cracks in the brick demising wall. These cracks appeared aged and had rounded, blunt and dull edges with no contrast to the opposing side of the crack, all indications of long term separation and not active movement.

We maintain our previous assertion that the cracks on the entranceway at the corner of St. Louis and Royal be addressed as soon as possible. Based on comments received from the local review board, we are attaching a shoring and repair plan that we believe addresses the comments presented by this committee. In addition, we are providing a letter from Simpson Strong-Tie addressing the allowance of bending in their product.

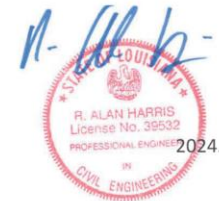
Overall, and notwithstanding the conditions noted herein the structure appears in serviceable condition. All work should be completed by a competent, licensed professional in the state of Louisiana according to applicable laws and building codes.

Thank you for the opportunity to provide this information to you. We reserve the right to amend and supplement this report as more information becomes available. Please do not hesitate to contact our office should you need further assistance.

Respectfully,

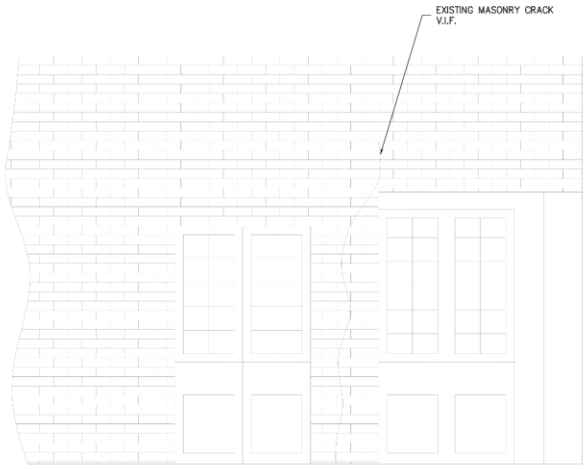
R. Alan Harris

R. Alan Harris, P.E.
HD Design | Harris Development & Design, LLC

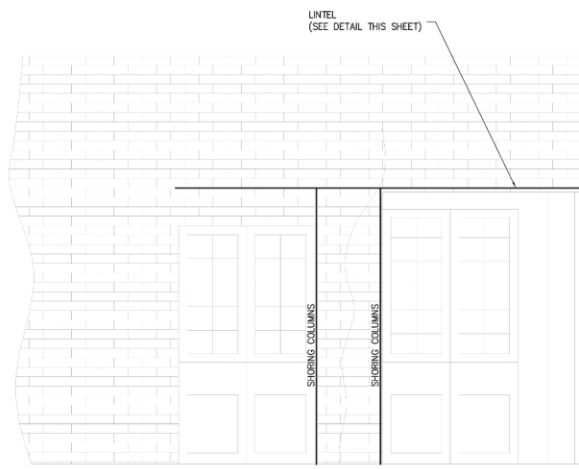


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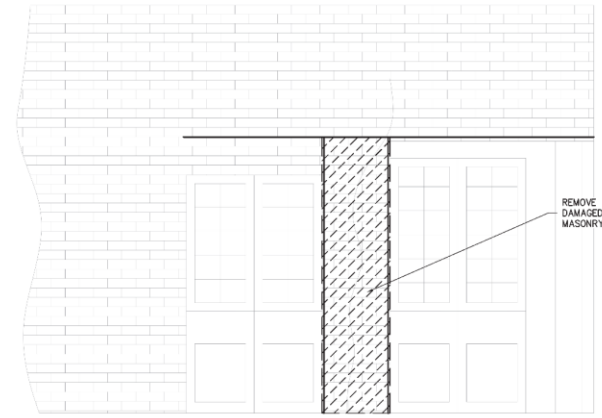




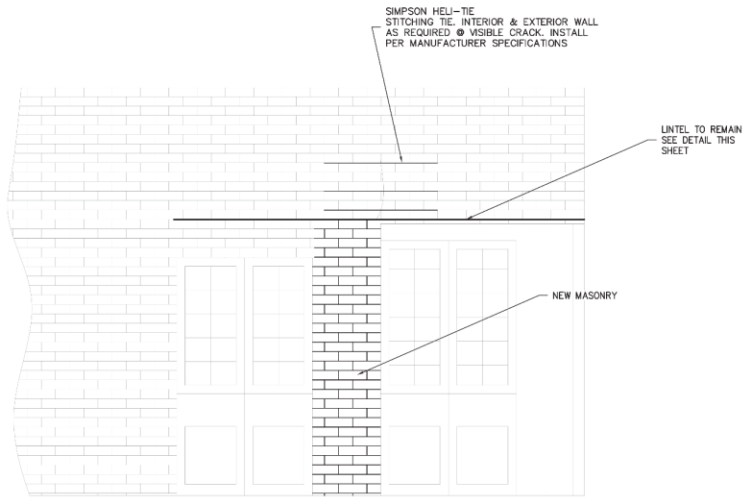
EXISTING ELEVATION – ROYAL STREET
SCALE: 1/2"=1'-0"



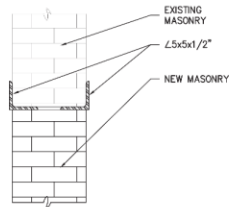
SHORING ELEVATION – ROYAL STREET
SCALE: 1/2"=1'-0"



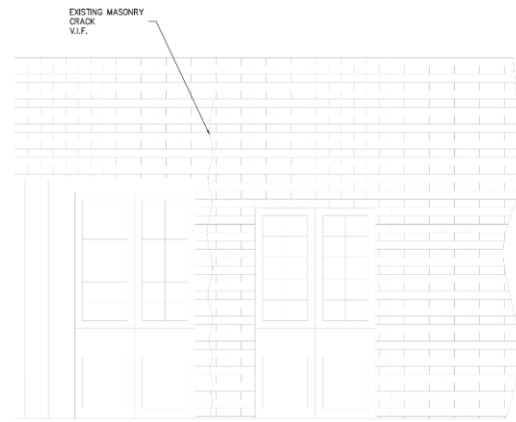
DEMOLITION ELEVATION – ROYAL STREET
SCALE: 1/2"=1'-0"



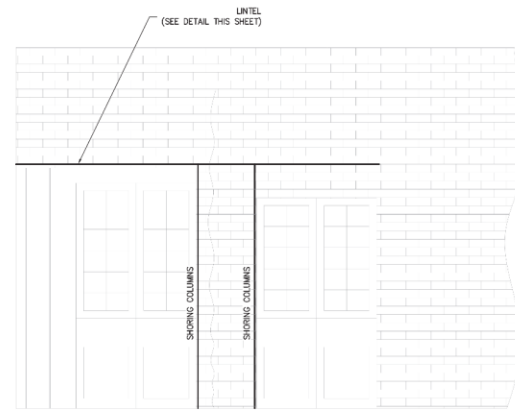
COMPLETED WORK ELEVATION – ROYAL STREET
SCALE: 1/2"=1'-0"



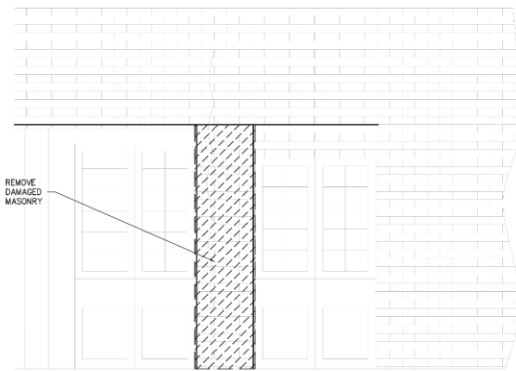
TYPICAL LINTEL DETAIL
SCALE: 1"=1'-0"



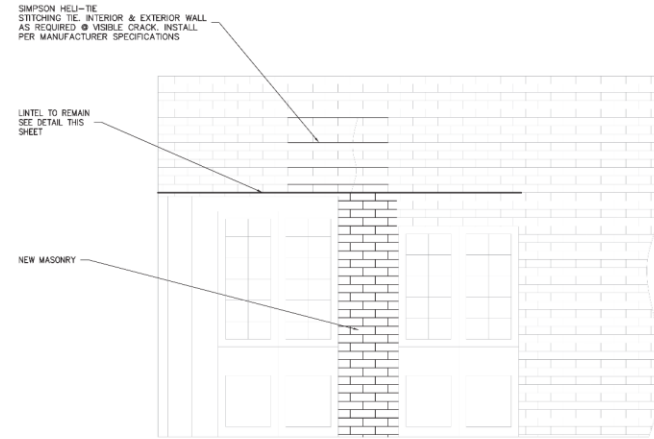
EXISTING ELEVATION — ST. LOUIS
SCALE: 1/2"=1'-0"



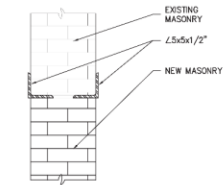
SHORING ELEVATION — ST. LOUIS
SCALE: 1/2"=1'-0"



DEMOLITION ELEVATION — ST. LOUIS
SCALE: 1/2"=1'-0"



COMPLETED WORK ELEVATION — ST. LOUIS
SCALE: 1/2"=1'-0"



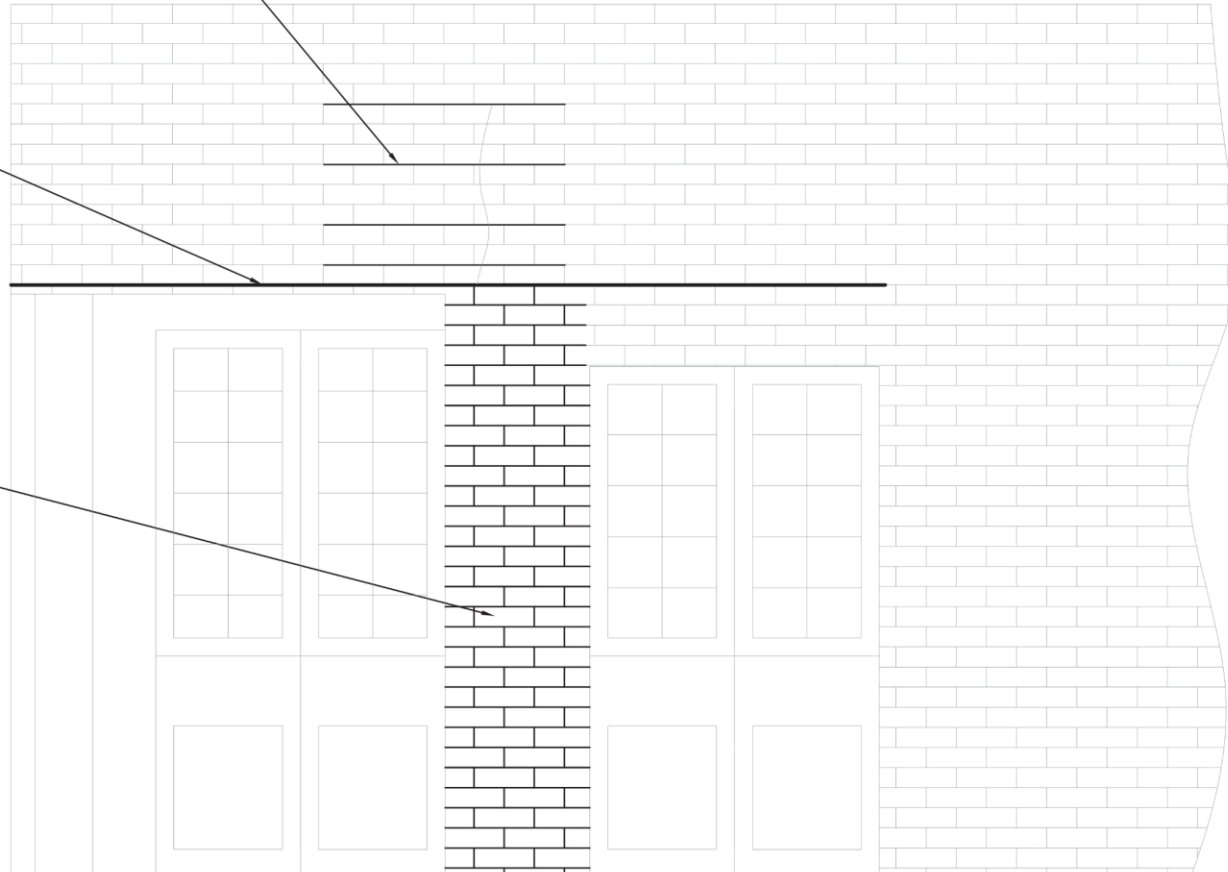
TYPICAL LINTEL DETAIL
SCALE: 1"=1'-0"



SIMPSON HELI-TIE
STITCHING TIE. INTERIOR & EXTERIOR WALL
AS REQUIRED @ VISIBLE CRACK. INSTALL
PER MANUFACTURER SPECIFICATIONS

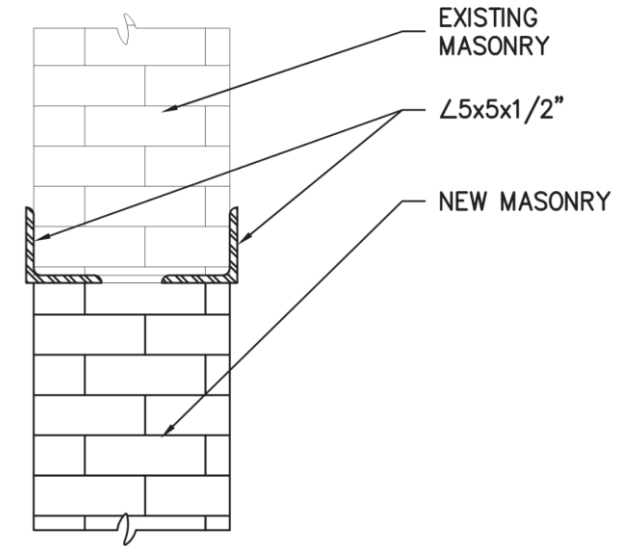
LINTEL TO REMAIN
SEE DETAIL THIS
SHEET

NEW MASONRY



COMPLETED WORK ELEVATION – ST. LOUIS

SCALE: 1/2"=1'-0"



TYPICAL LINTEL DETAIL

SCALE: 1"=1'-0"





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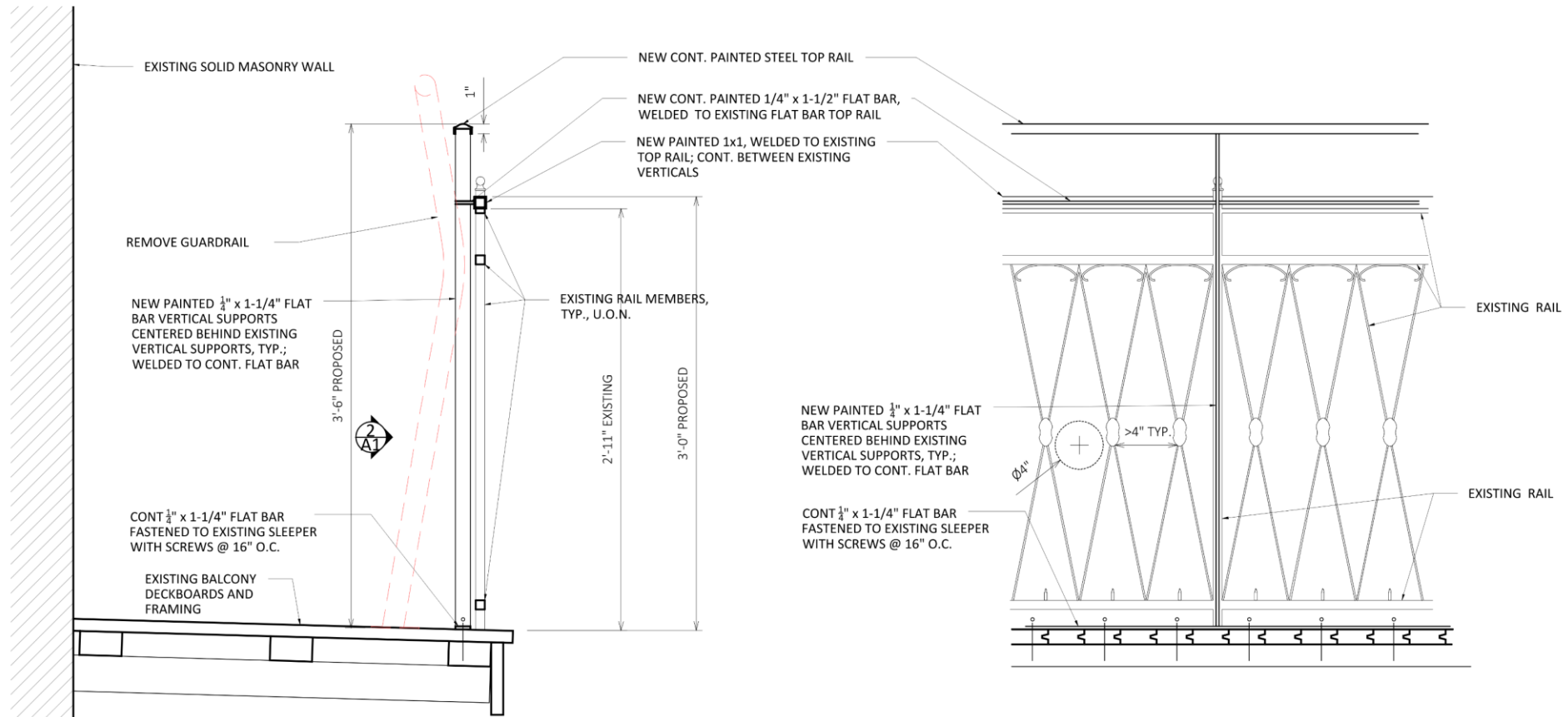


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April 9, 2024





1
A1 BALCONY RAIL SECTION
SC: 1-1/2" = 1'-0"

2
A1 ELEVATION OF MODIFIED BALCONY RAIL
SC: 1-1/2" = 1'-0"



RAILING MODIFICATIONS
 439-41 Royal Street
 New Orleans, Louisiana 70130



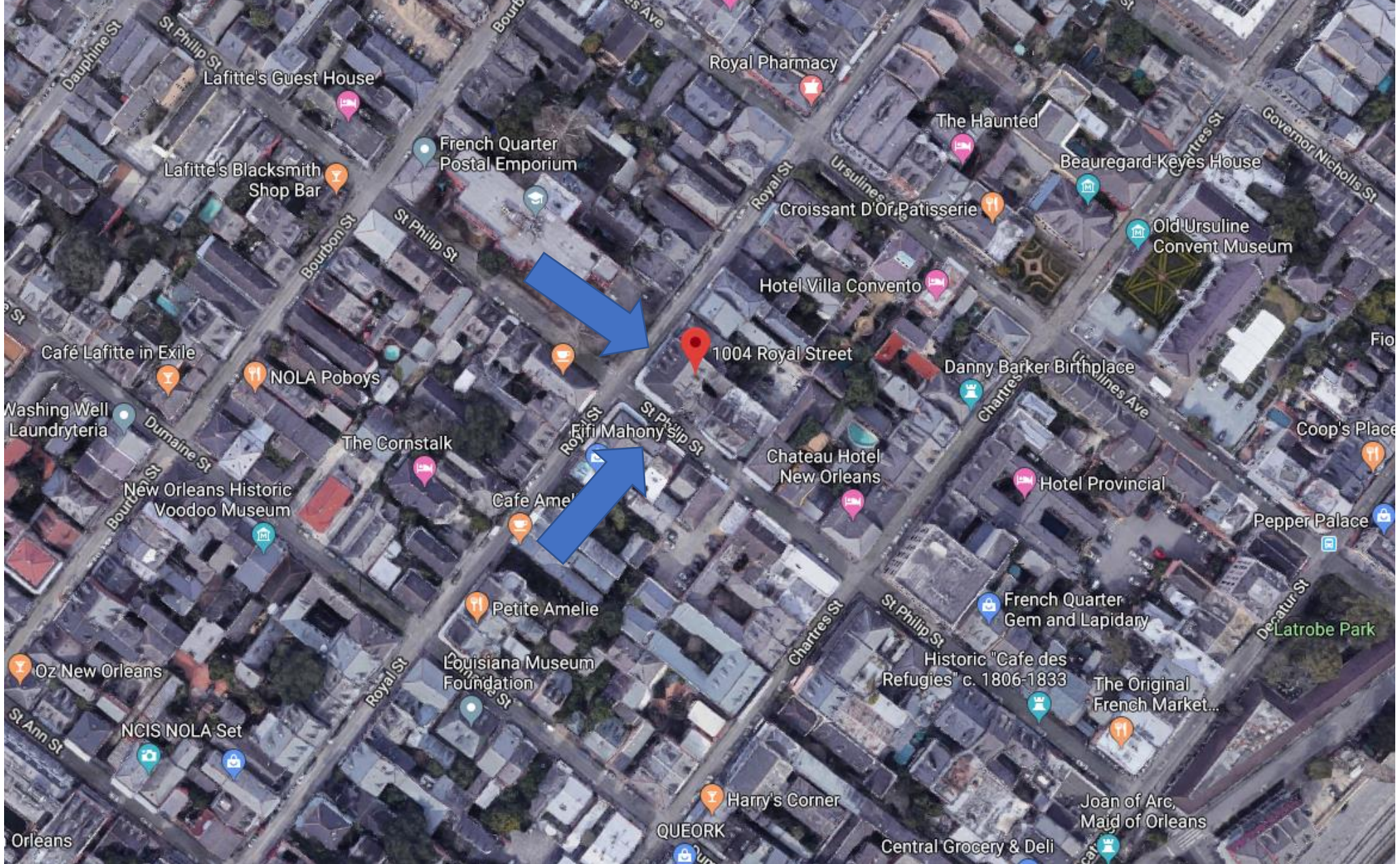
LKHarmon Architects
 A Professional Architectural Corporation
 6238 Argonne Boulevard
 New Orleans Louisiana 70124
 504.485.5870 harmon@lkharmonarchitects.com

3.20.2024	A1
	LKH #1322





1004 Royal



1004-006 Royal

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April 9, 2024





1004-006 Royal

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1004-006 Royal - 2019

VCC Architecture Committee

08 20 2019

April 9, 2024





1004-006 Royal-
2019

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08 20 2019

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1006 Royal

VCC Architecture Committee

12 09 2022

April 9, 2024





12 09 2022

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VCC Architecture Committee

April 9, 2024





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VCC Architecture Committee

April 9, 2024





1006 Royal

VCC Architecture Committee

12 09 2022

April 9, 2024



One-Light Outdoor

Ceiling mounted • Damp location listed **PROGRESS LED**

Description:

5" flush mount cylinder. The P5774 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits.

Specifications:

- Black (-31) (powder coat paint)
- Die cast and extruded aluminum Construction
- Ideal for a wide variety of interior and exterior applications.
- Die-cast aluminum construction with durable powder coated finish
- 757 lumens 46 lumens/watt
- 3000K color temperature, 90+ CRI
- Dimmable to 10% brightness (See Dimming Notes)
- Unit covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- Meets California Title 24 high efficacy requirements for outdoor use only

Performance:

Number of Modules	1
Input Power	17.1w
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Delivered)	481/28.1 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60,000 (L70/TM-21)
FCC	FCC Title 47, Part 15, Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	cCSAus Damp location listed Meets California Title 24 high efficacy requirements for outdoor use only

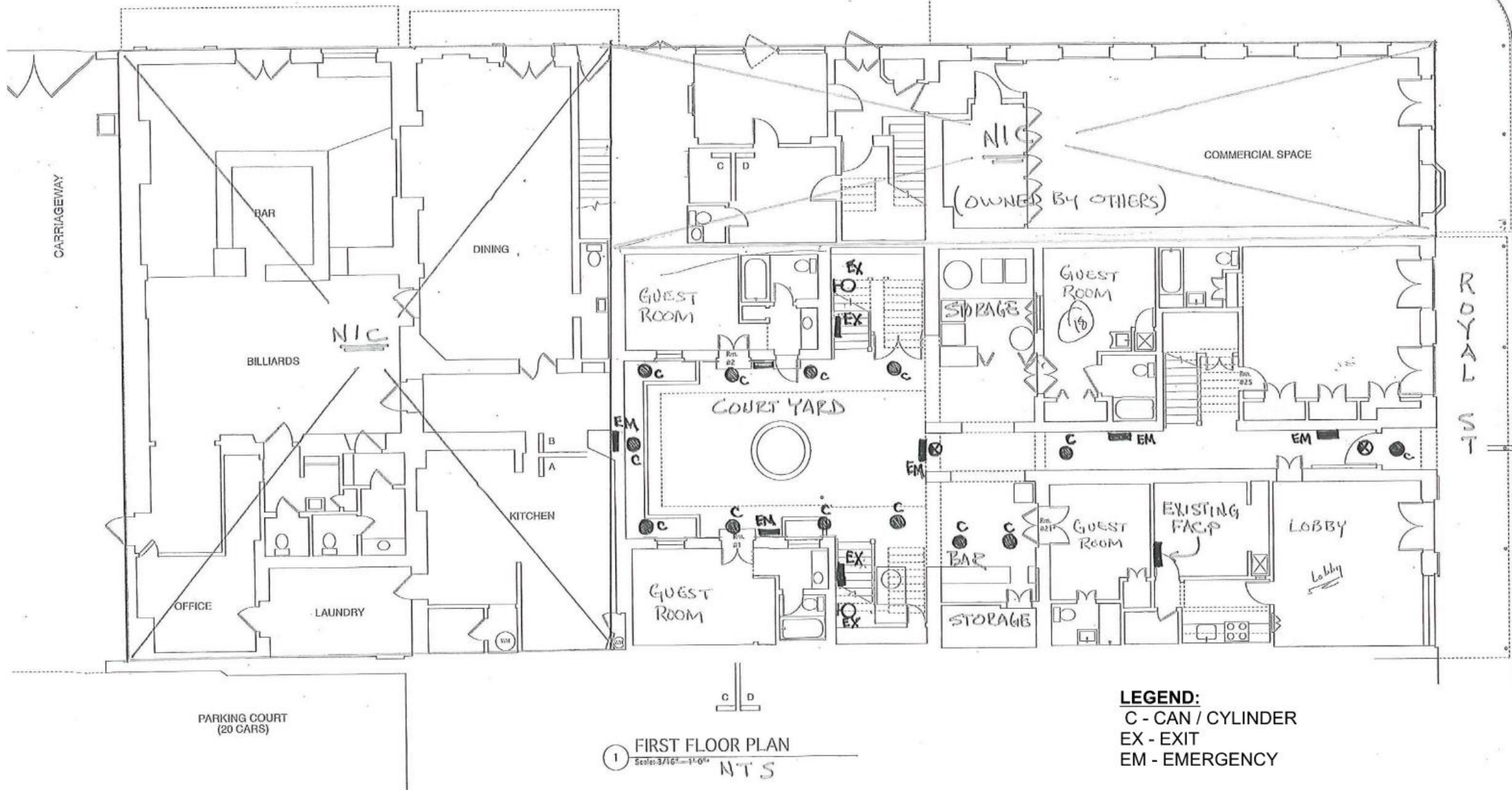
P5774-31/30K

Images:



Dimensions:

Diameter: 5"
 Height: 6-1/2"

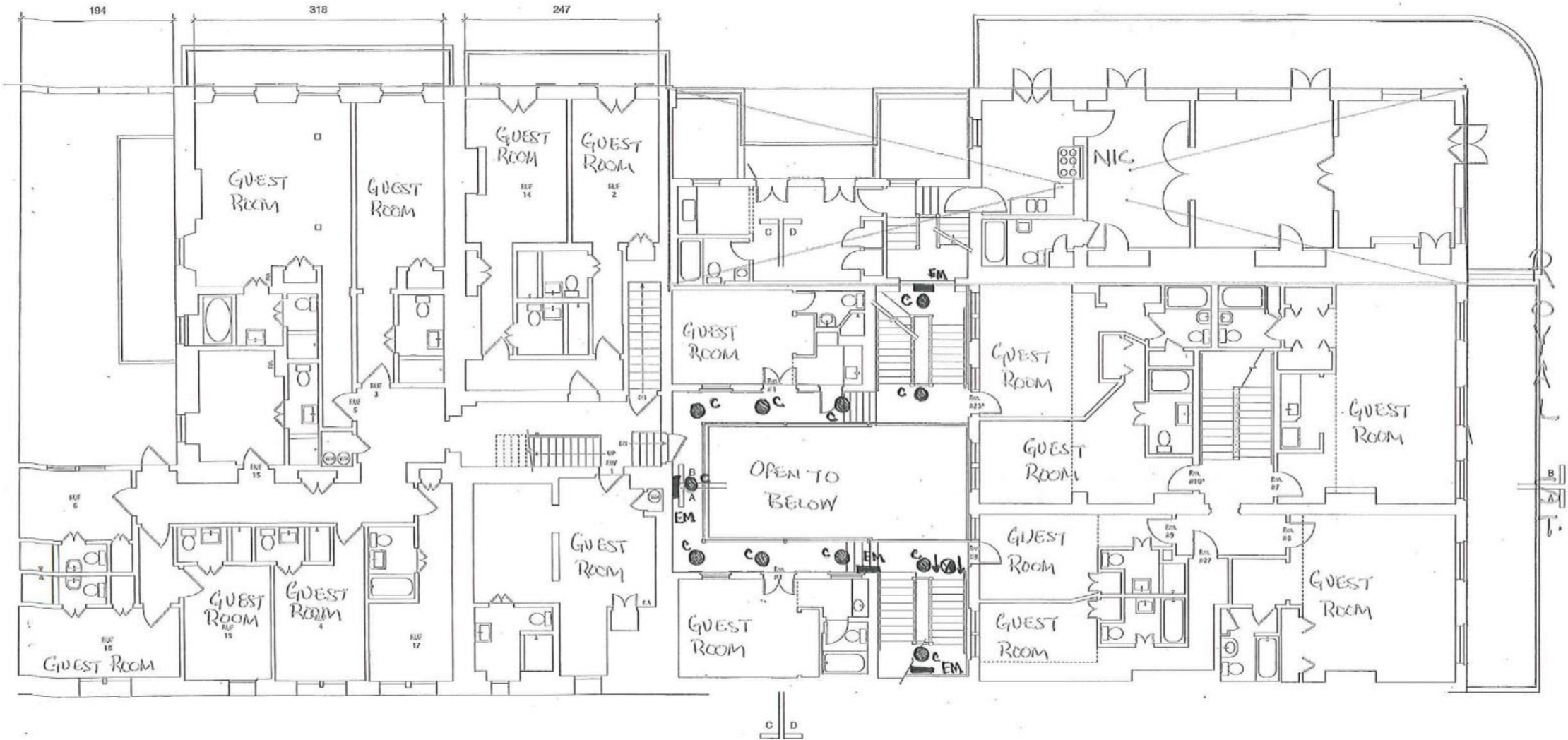


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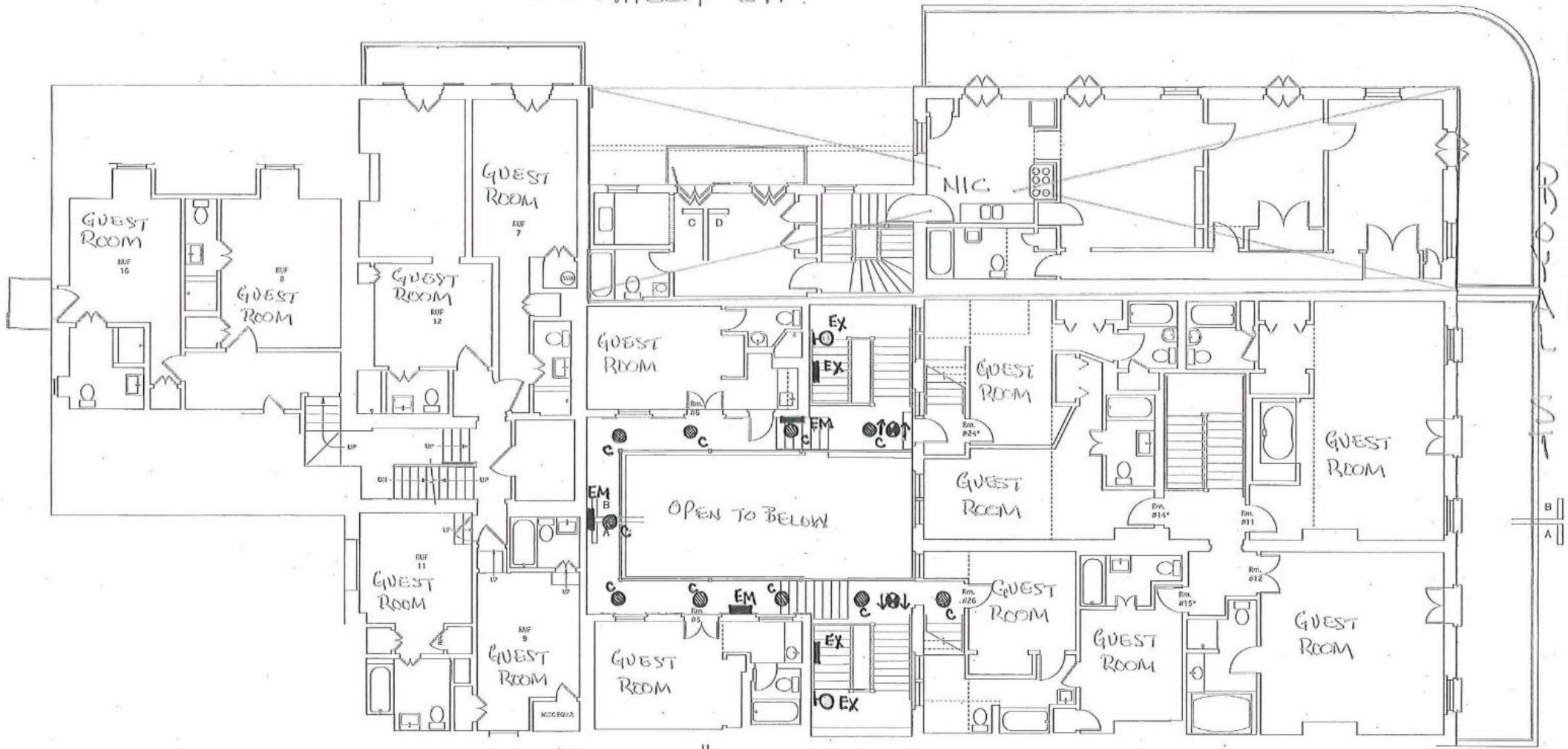




① SECOND FLOOR PLAN
 Scale: 3/16" = 1'-0"
 N.T.S.

LEGEND:
 C - CAN / CYLINDER
 EX - EXIT
 EM - EMERGENCY





① THIRD FLOOR PLAN
 Scale: 3/16" = 1'-0"
 N.T.S.

LEGEND:
 C - CAN / CYLINDER
 EX - EXIT
 EM - EMERGENCY





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08 20 2019

April 9, 2024





1004-006 Royal

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1004-006 Royal – 2019 Condition

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April 9, 2024





1004-006 Royal – 2019 Condit
VCC Architecture Committee

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VingCard Classic RFID Electronic Lock

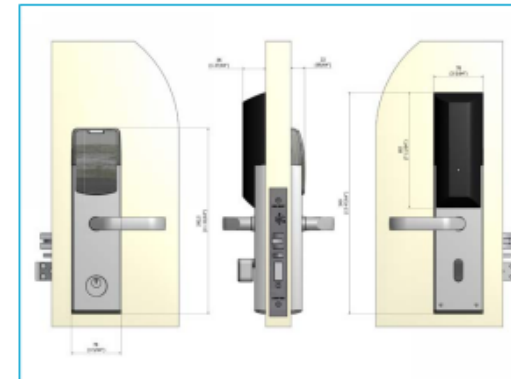
Classic RFID offers the latest Radio Frequency Identification (RFID) technology and the quickest path to go contactless if you currently have standard Classic VingCard electronic locks installed.



FEATURES

- : Standalone electronic lock with RFID technology.
- : Mobile Access (BLE*) functionality included in reader (optional).
- : Fire-listed for use on fire doors. (UL, EN, BS).
- : High security mortise lockcase available in ANSI, JPN, AUS and EURO versions.
- : CE, FCC/IC approved.
- : Solid steel handles with self-lubricating long life bearings.
- : 3-point steel latch construction with an anti-friction mechanism.
- : Case hardened full 1-inch (ANSI) throw deadbolt.
- : Panic release function – the deadbolt and latch are automatically retracted by inside handle for easy regress in emergency situations.
- : ADA compliant (persons with physical disabilities).
- : Powered by three (3) AA batteries that provide up to 2 years normal life.
- : Detailed audit trail: 3000 events in offline mode (Vostio and Visionline version 1.24 and above) and unlimited number of events in online mode
- : Optional high security mechanical override.
- : Upgrade kit from VingCard Classic (both 4.5V and 9V) magnetic stripe or combo technology reader to RFID technology.
- : Only need to add the RFID reader by replacing the top end plug. A few minutes operation and no need to replace the lockcase or handles.

DIMENSIONS



- : RFID Specifications:
 - 13,56MHz technology
 - Compatible with the following standards:
 - ISO 14443 A (MIFARE including Desfire)
 - ISO 14443 B
 - ISO 15693

1004-006 Royal –
2019 Applicant
proposed hardware

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HANDLE AND FINISH

Choose a handle:

STANDARD LINE

PREMIUM LINE

LUXURY LINE by Colombo

Choose a finish for the electronic lock:

▼ NEXT STEP ▼

TECHNOLOGY

Choose platform system:

ON-PREMISES ACCESS CONTROL



XS4 ANSI - Keypad

XS4 Ax60K | XS4 ORIGINAL WITH KEYPAD

The SALTO XS4 ANSI electronic lock with keypad, designed to be compatible with most ANSI mortise locks and tubular latches, increases security and control as it offers the choice of three forms of authentication to grant access.



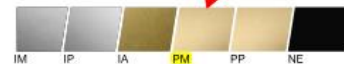
FEATURES:

- Simple installation is possible on any type of door, including those with narrow frames.
- Body and escutcheon made of steel.
- Three forms of authentication configurations available to grant access:
 - Credential only.
 - Credential plus PIN.
 - Door code.
- Available with mechanical cylinder cut outs for key override or access lock outs (override mortise cylinders).
- Mechanical or electronic privacy option.
- The lock can always be opened from the inside (single action panic feature works in conjunction with the SALTO LA1T15 series mortise lock).

READER COLOUR:



FINISHES:



TECHNICAL CHARACTERISTICS:

- Covers door thicknesses: From 32-47mm (1 1/4"-1 3/4") up to 105-120 mm (4 1/4"- 4 3/4").
- Dimensions: 290mm (11 3/8") x 67mm (2 5/8") x 20mm (3/8").
- Clutch mechanism escutcheon when unlocked handle moves freely.
- Handle rotation: 52°.
- Distance from the handle to the cylinder: 61mm (2 3/8"), 62mm (2 3/8") and 63mm (2 1/2").
- Compatible with ANSI standards mortise locks and tubular or latch mortise locks.
- Initial max. 4" pre-turn. SALTO recommends the use of a mortise lock with a maximum 4" pre-turn.
- Compatible with mortise cylinders for mechanical override.
- Square spindles available: 8mm (5/8"), 7mm diamond (7/8"), 8mm split (7/8"), 7mm diamond split (7/8") and 7,6mm (5/8").

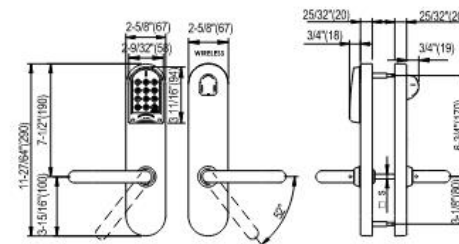
PLATFORMS:



ID TECHNOLOGIES :

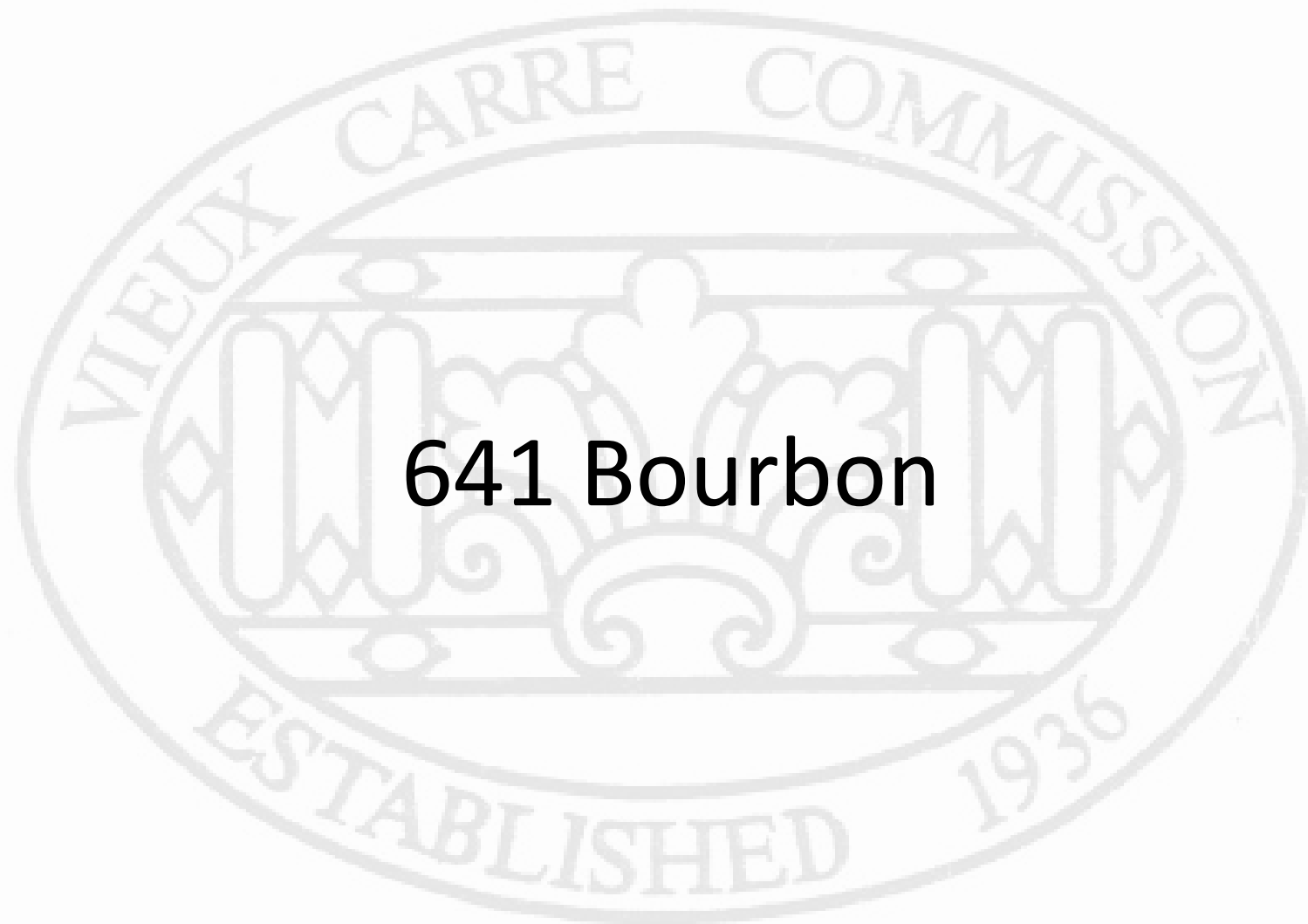
- MIFARE® (DESFire EV1, Plus, Ultralight C, Classic - ISO/IEC 14443).
- NFC.
- HID iClass® (not available in SALLIS technology).

TECHNICAL DRAWING:



CERTIFICATIONS





641 Bourbon



641 Bourbon

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April 9, 2024





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641 Bourbon, 1934

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Title: 639-641 Bourbon (side/rear elevation = 800-806 St. Peter)
Date: 07/02/1964

641 Bourbon

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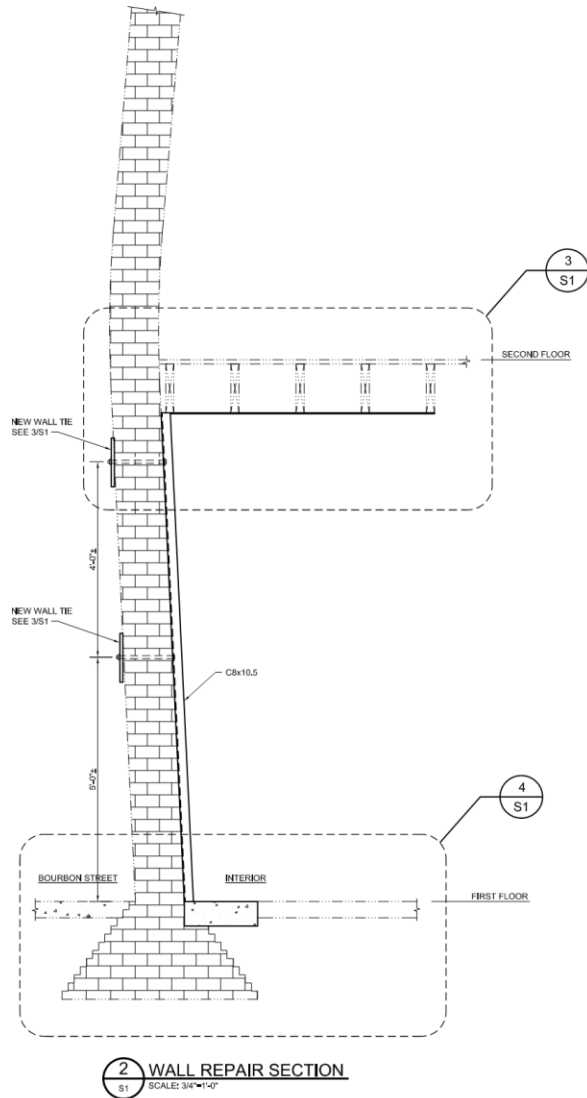
641 Bourbon

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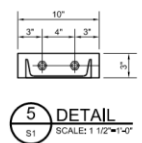
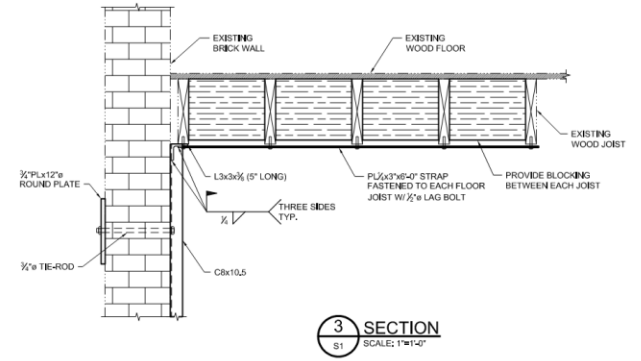
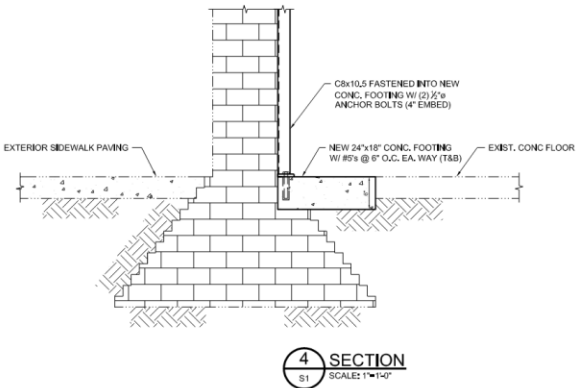
1 GENERAL NOTES

1. EXISTING CONDITIONS
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER.

2. SHALLOW FOOTINGS
PRIOR TO CASTING SPREAD FOOTINGS, CONTRACTOR SHALL CONFIRM THAT THE SOILS ARE PROPERLY COMPACTED TO 95% COMPACTION.

3. CONCRETE
ALL CONCRETE WORK SHALL CONFORM TO ACI 301 SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS AND MEET THE FOLLOWING REQUIREMENTS:

- CONCRETE: NORMAL WEIGHT, TYPE I, 4,000 PSI AT 28 DAYS.
- REINFORCING STEEL: ASTM A615 GRADE 60.
- WELDED WIRE FABRIC: ASTM A185



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NEW ORLEANS, LA 70119
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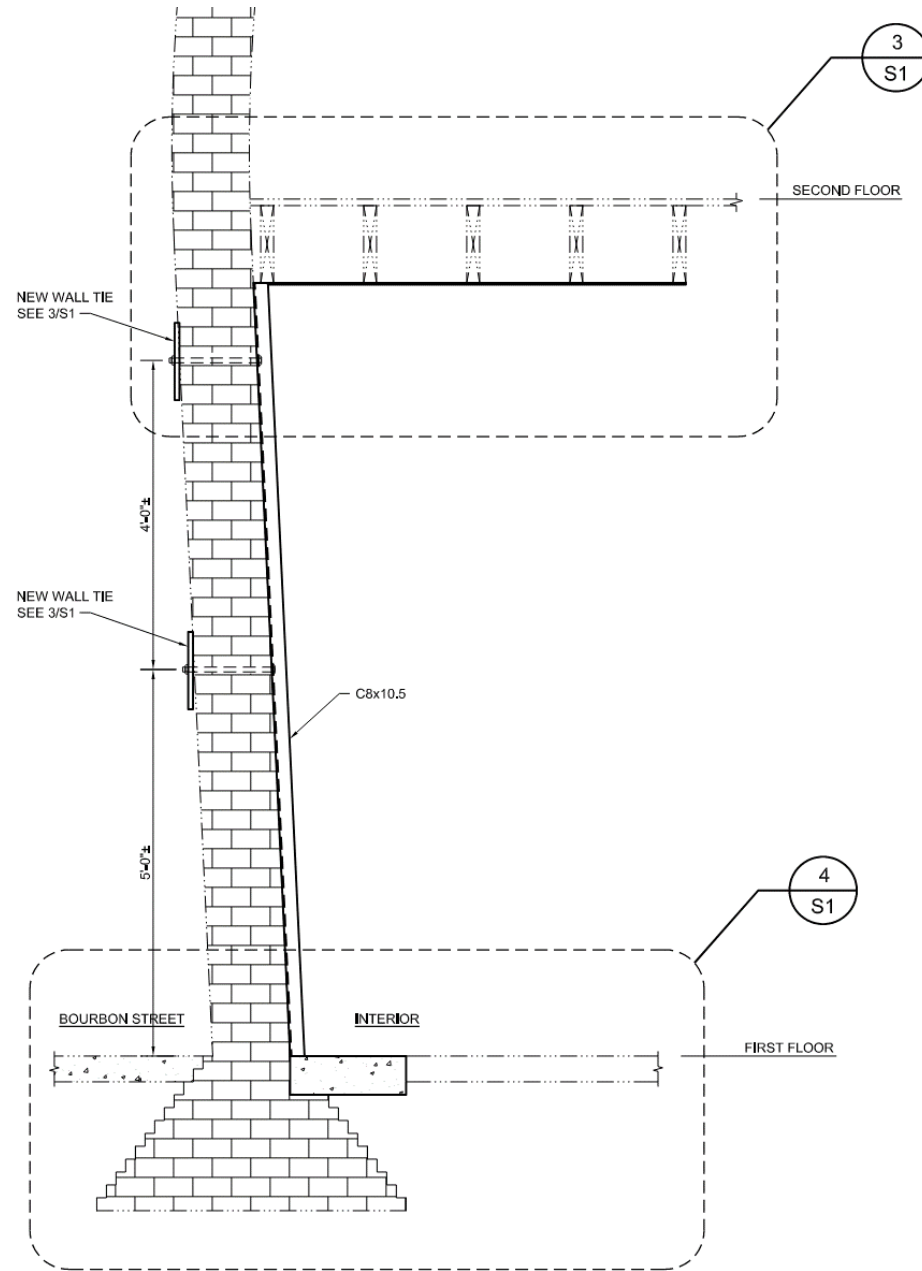
These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

STATE OF LOUISIANA
PATRICK H. ABRY
Lic. No. 4520
PROFESSIONAL ENGINEER
03/19/2024

MASONRY WALL REPAIR
641 BOURBON STREET
NEW ORLEANS, LA 70130

JOB NO. 24-0038
PHASE
DATE 03/19/2024
DRAWN BY PHA
SHEET TITLE
MASONRY WALL REPAIR PLAN
SHEET NO. S1





2 WALL REPAIR SECTION
SCALE: 3/4"=1'-0"



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PHONE 504-488-2671 • FAX 504-482-2862
3319 ORLEANS AVENUE • P.O. BOX 19737
NEW ORLEANS, LA 70179-0737
www.abrybrothers.com
LA CONTRACTORS LICENSE NO. 26319

October 13, 2023

Mr. David L. Shall
6 Paladin Place
Metairie, LA 70005

RE: 641 Bourbon Street
New Orleans, LA 70130

Dear Mr. Shall,

Per your request, on June 6, 2023, I made a visual observation of the structure located at 641 Bourbon Street in New Orleans, Louisiana. The structure observed is a two story, solid masonry structure with timber floor framing. While on site, I noted that the front wall along Bourbon Street has begun to buckle outward towards the street between the first and second floor framing (See Photos 1 and 2). In an effort to prevent any further movement of the wall, it is my recommendation this section of the wall be supported with a pair of steel channels anchored to the inside face of the wall. These channels would also be anchored into the ground and the second-floor framing above to prevent any lateral movement of the wall. It is also my recommendation that the brick wall be tuckpointed with an approved VCC mortar mix to strengthen the wall in this area (See Photo 3).

While on site, I also noted more areas in need of masonry repairs and tuckpointing (See Photos 4-7). It is my recommendation that these areas be tuckpointed with an approved VCC mortar mix.

If you have any questions or concerns, do not hesitate to contact me.

Sincerely,

Patrick H. Abry
Patrick H. Abry, P.E.



10/13/2023

641 Bourbon
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April 9, 2024





Photo 1

641 Bourbon
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April 9, 2024





641 Bourbon

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Photo 2

April 9, 2024





641 Bourbon
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Photo 3

April 9, 2024



641 Bourbon
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Photo 4

April 9, 2024



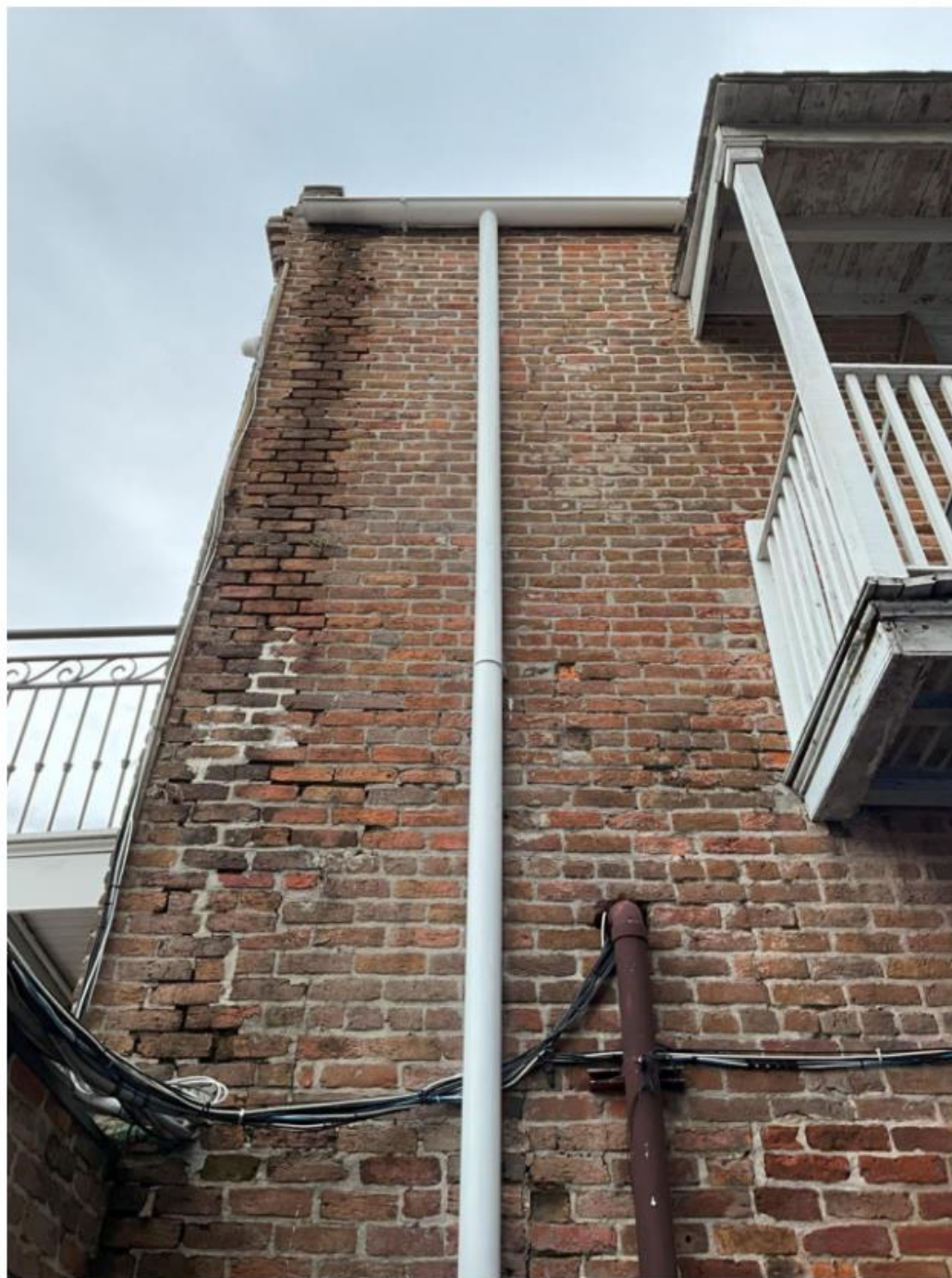


Photo 5

641 Bourbon
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April 9, 2024





641 Bourbon

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Photo 6

April 9, 2024





641 Bourbon
VCC Architecture Committee

Photo 7

April 9, 2024





601 Royal
603-05 Royal



601 Royal





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April 9, 2024





601 Royal





601 Royal



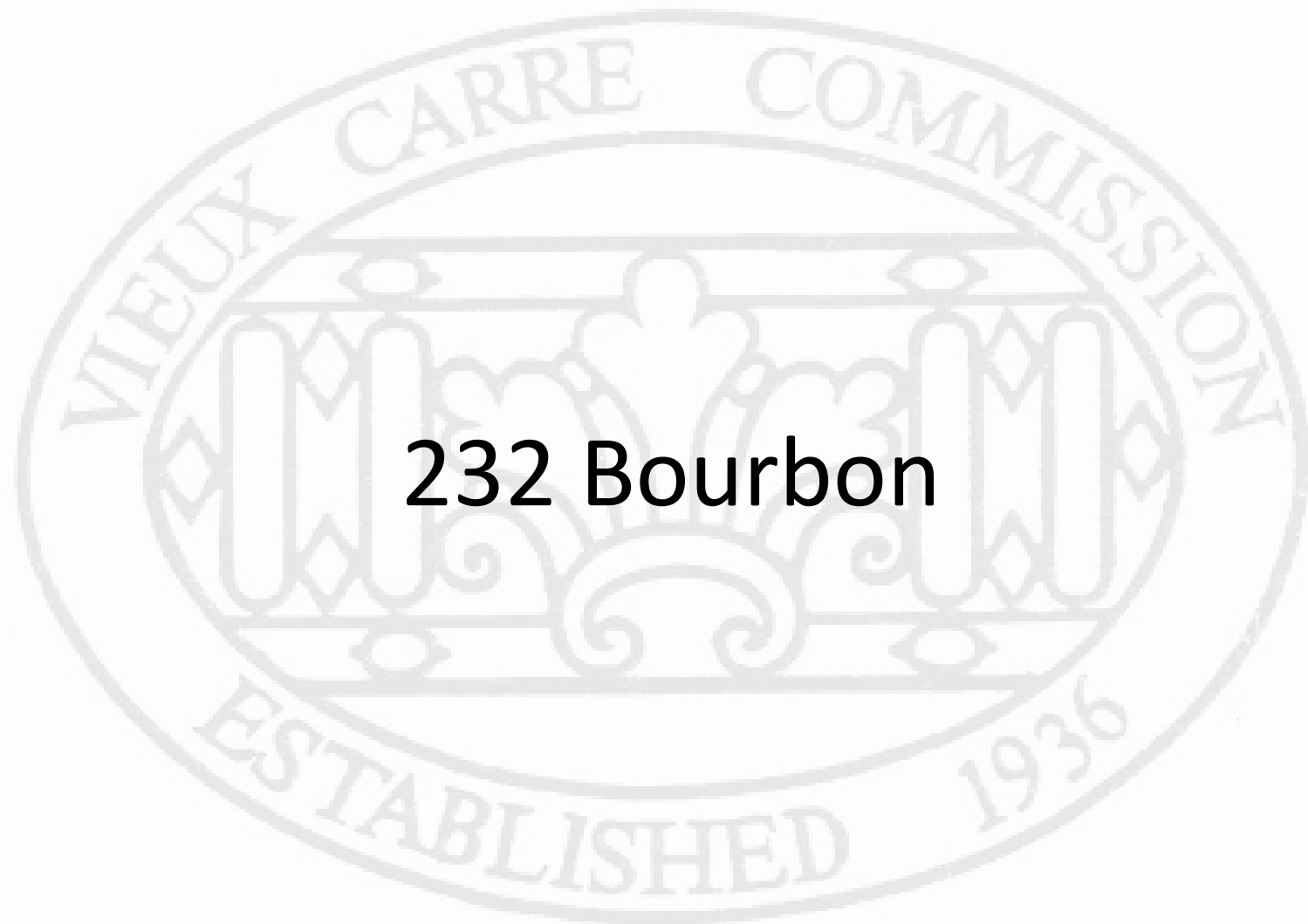


601 Royal

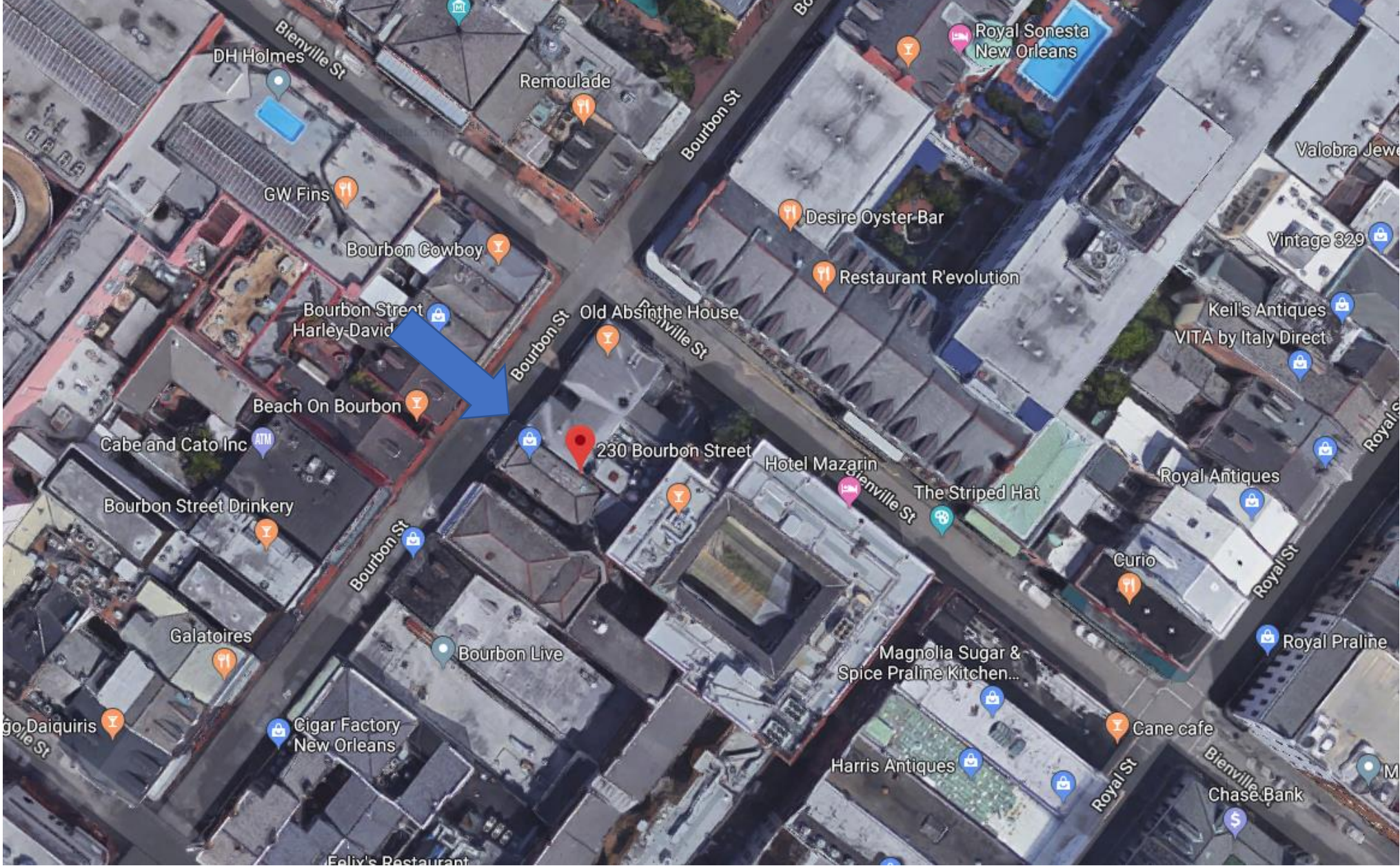
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232 Bourbon



230-32 Bourbon





230-32 Bourbon





230-32 Bourbon





230-32 Bourbon





230-32 Bourbon



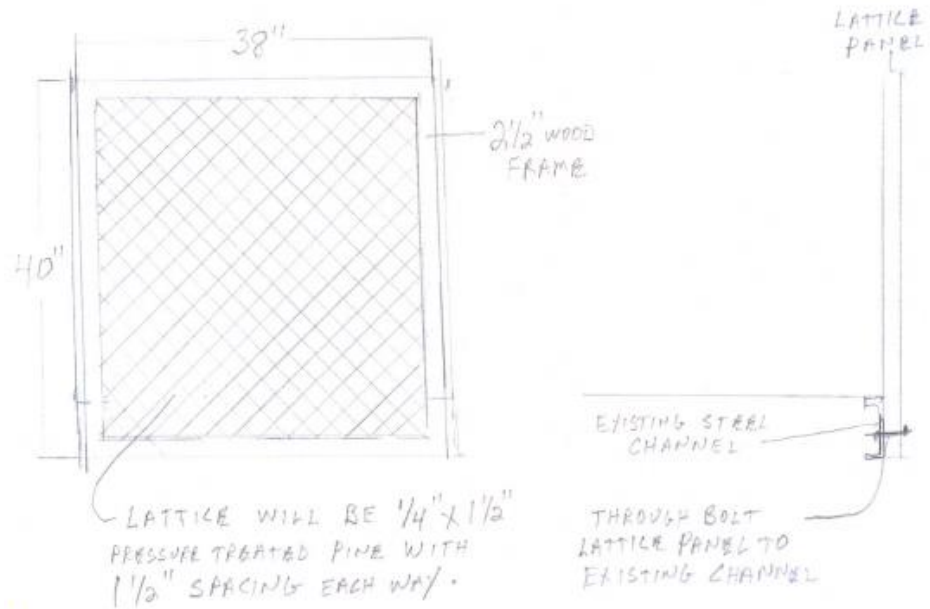
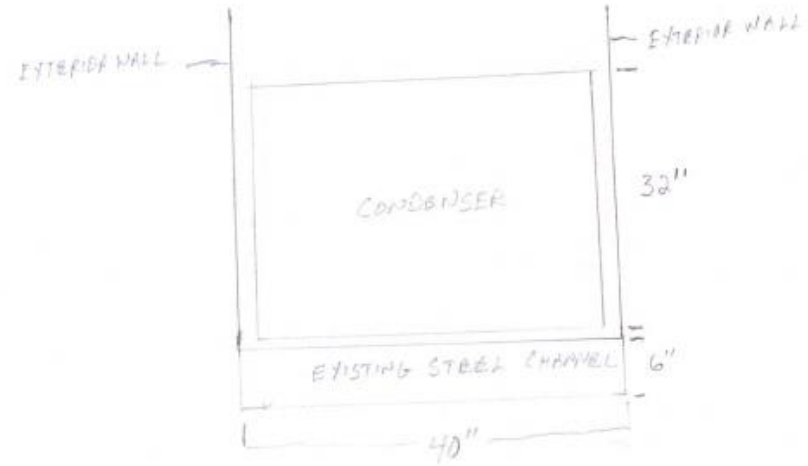
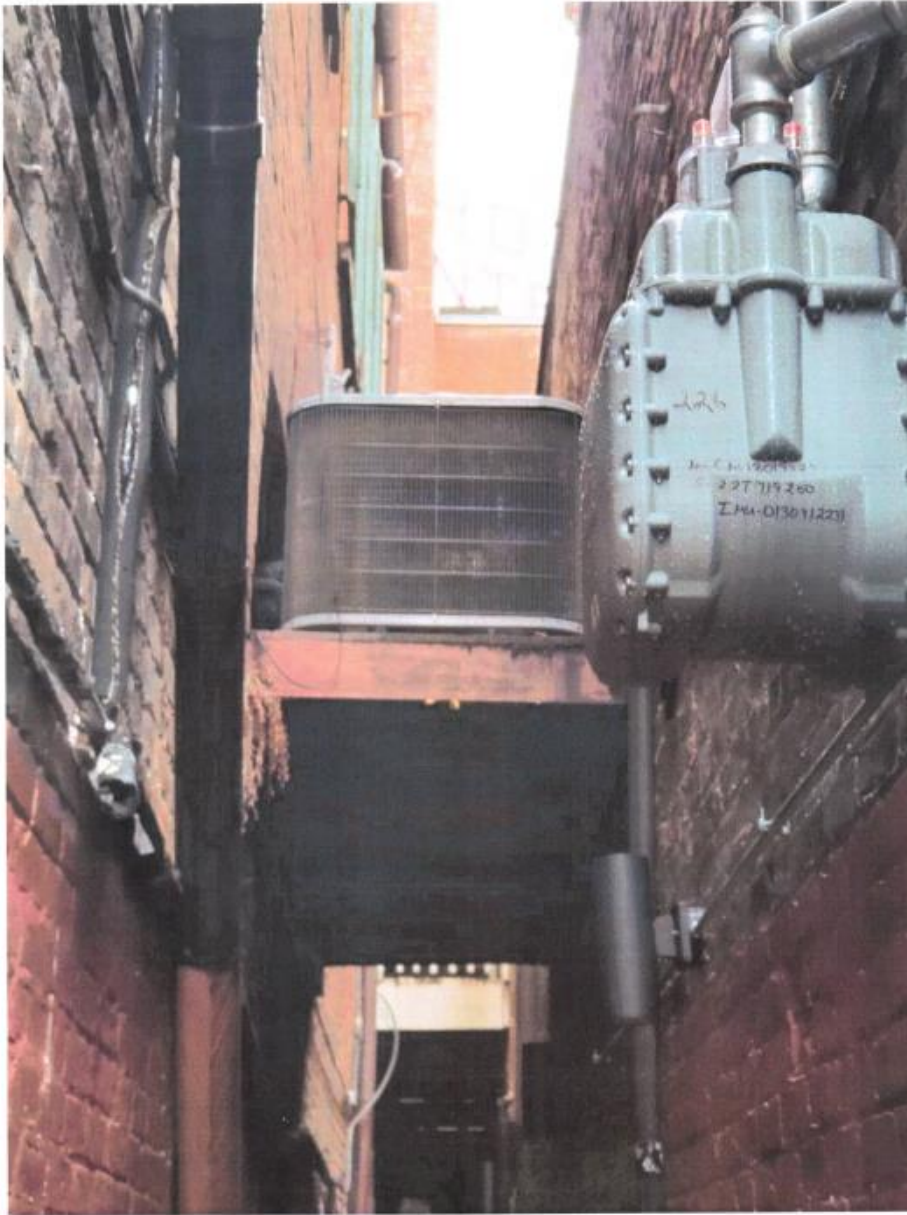


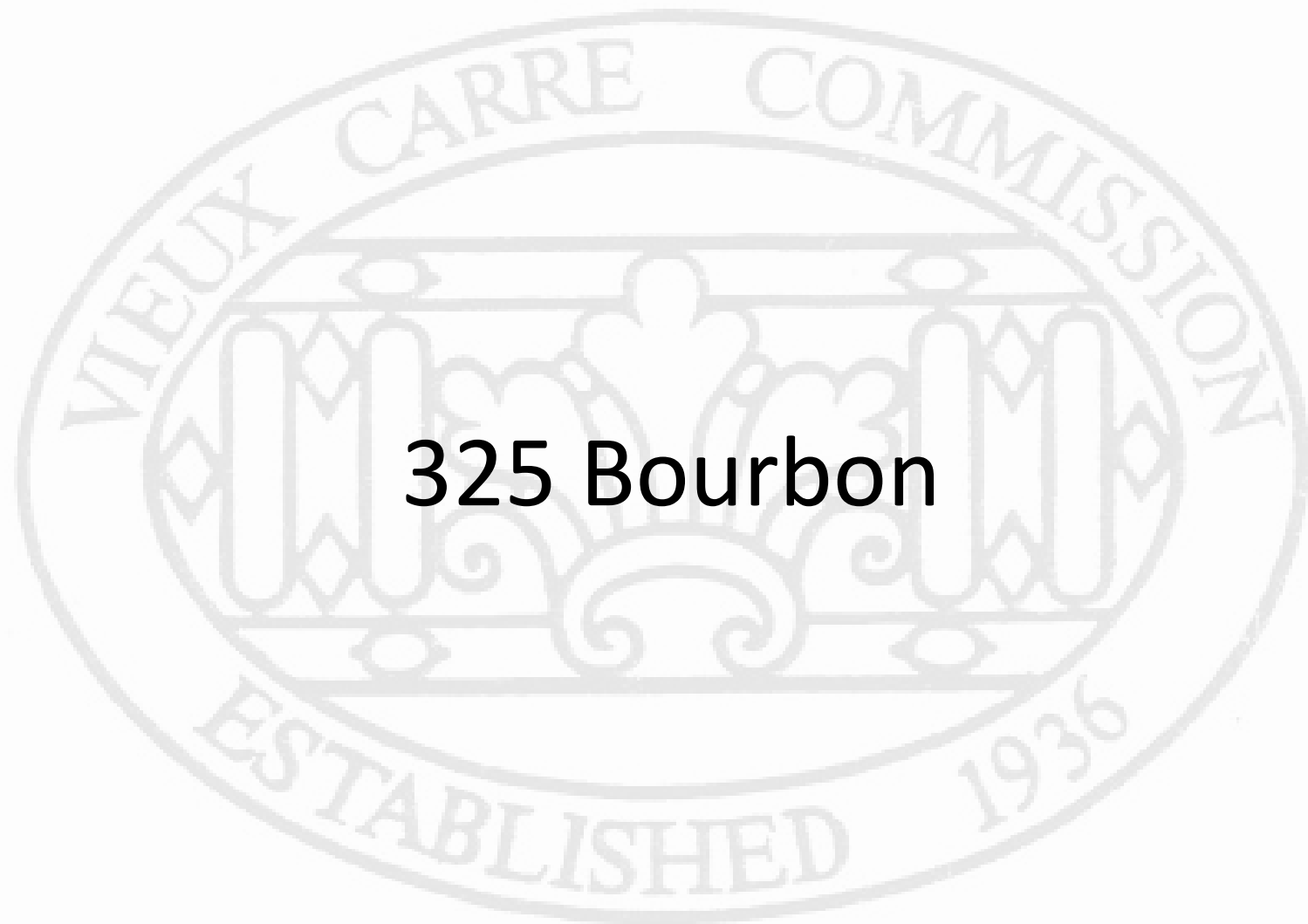
230-32 Bourbon

VCC Architecture Committee

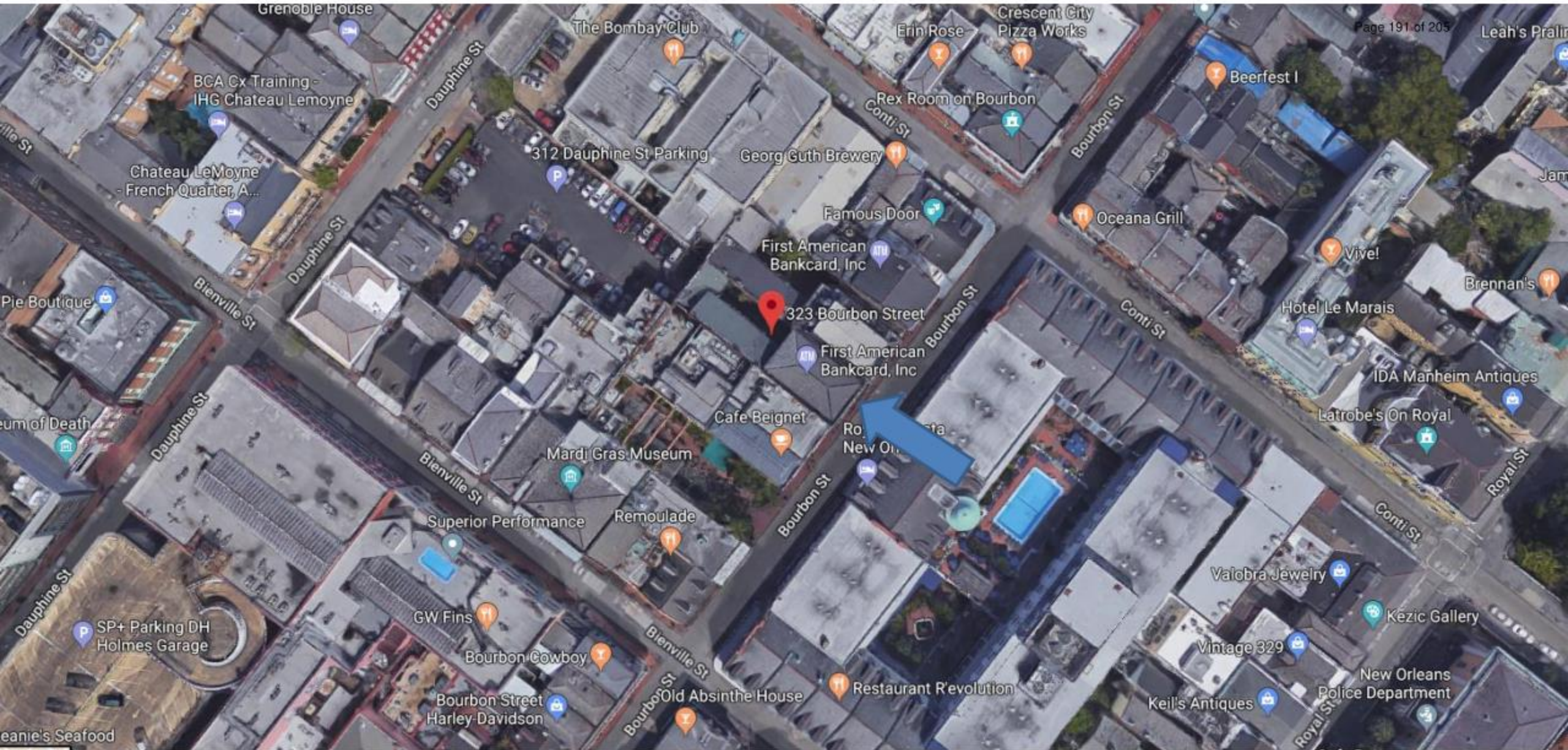
April 9, 2024







325 Bourbon



323 Bourbon

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April 9, 2024



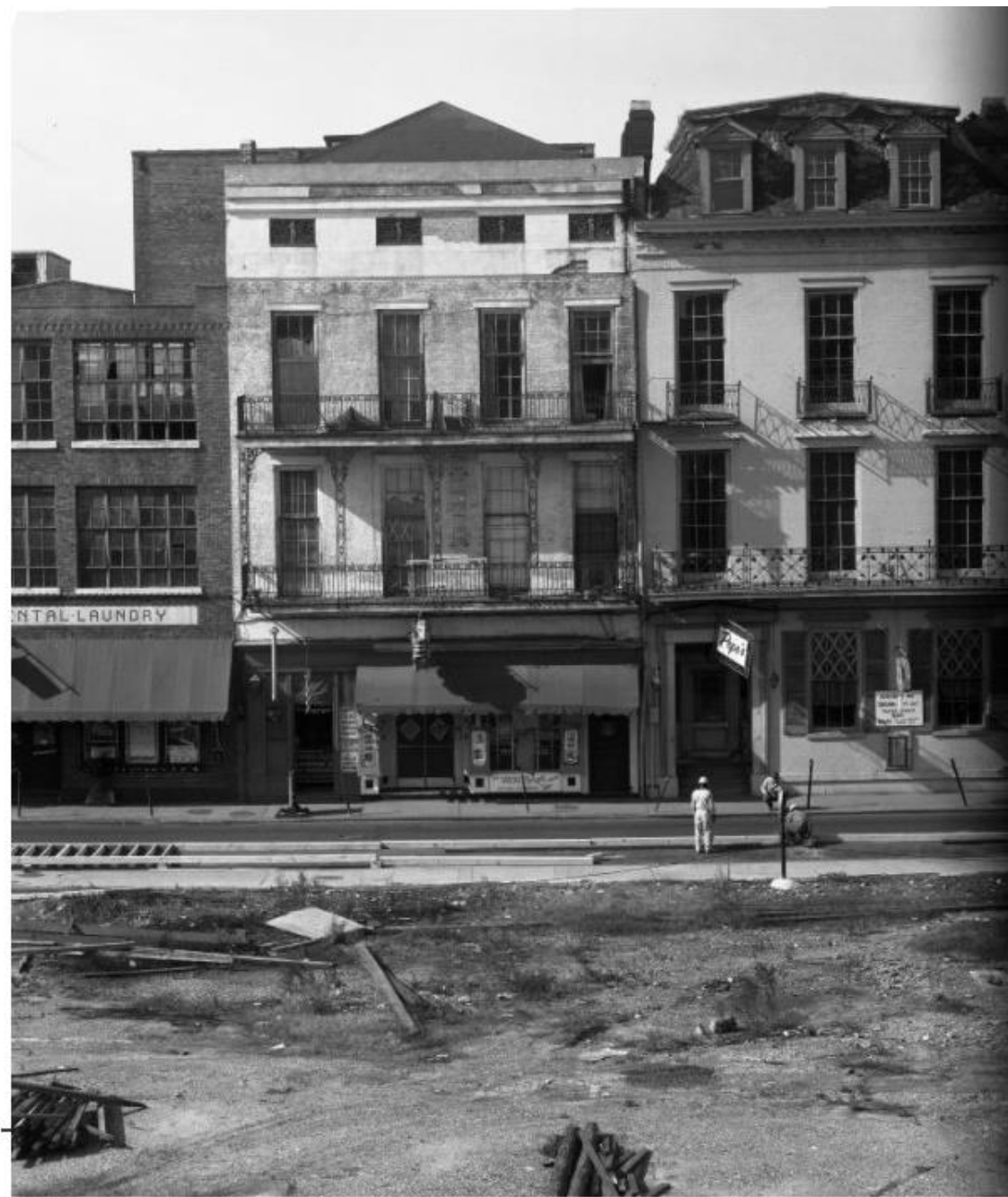


323 Bourbon

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April 9, 2024





323 Bourbon - 1965

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April 9, 2024





323 Bourbon -1946

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323 Bourbon

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323 Bourbon
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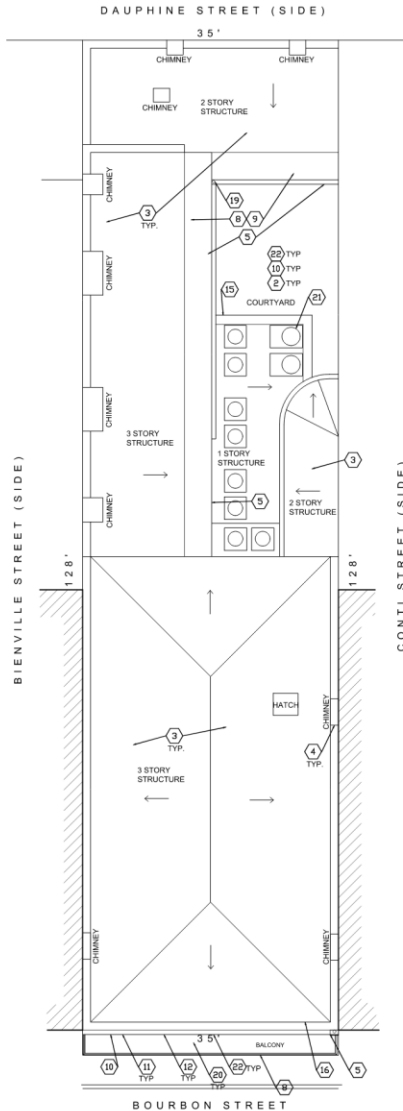


323 Bourbon

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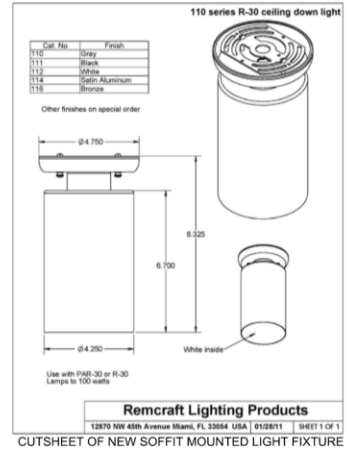
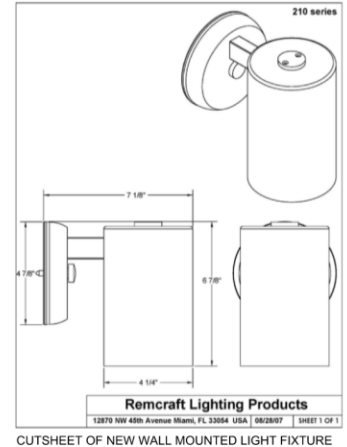




EXISTING SITE PLAN / ROOF PLAN
 SC: 1/8" = 1'-0"

KEYNOTES

- 1 Ceilings in alleyway, soffit and fascia deterioration present on building(s)/property. Members of exterior ceilings, roofs, ceilings, roof supports, balconies, galleries, porches, stairs (stairs, stairways) other exterior horizontal members demonstrate sag, split or buckle due to defective material or deterioration. REPAIR CEILING, SOFFIT AND FASCIA, TYP. THROUGHOUT. (NOT SHOWN ON PLAN)
- 2 Significant cracks in masonry wall(s), mortar deteriorated in multiple locations on the exterior of the building(s). REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
- 3 Roof damage/deterioration present on the building(s)/property. INSTALL NEW SLATE ROOF AND UNDERLAYMENT, NEW S.S. OR COPPER FLASHING. REPAIR OR REPLACE SHEATHING AS NECESSARY. VCC MORTAR MIX AT INSIDE OF PARAPETS
- 4 Chimney damage/deterioration/deformation present on the building(s)/property. REPAIR CHIMNEYS AS NECESSARY, TO MATCH EXISTING. TUCKPOINT USING VCC MORTAR MIX
- 5 Gutter/supper/downspout missing or damage/deterioration/deformation present on the building(s)/property. INSTALL NEW 1" PAINTED GALVANIZED HALF ROUND TO MATCH EXISTING, WHERE GUTTERS ARE MISSING; REPAIR EXISTING DAMAGED GUTTERS, DOWNSPOUTS, SCUPPERS AS NECESSARY THROUGHOUT.
- 6 Window/window trim missing or damage/deterioration/deformation present on the building(s)/property. INSTALL NEW PAINTED WOOD WINDOW TRIM. (NOT SHOWN ON PLAN)
- 7 Door/door trim missing or damage/deterioration/deformation present on the building(s)/property. INSTALL NEW PAINTED WOOD DOOR TRIM. (NOT SHOWN ON PLAN)
- 8 Trim/wooden trim damage/deterioration/deformation present on the building(s)/property. INSTALL NEW PAINTED WOOD TRIM AS NECESSARY THROUGHOUT WHERE TRIM IS DAMAGED; REPLACE ALL FASCIA AND DECKING AT BALCONIES, PER DETAIL.
- 9 Damaged/deteriorated/deformed/missing railings present on the building(s)/property. Missing spindles on several portions of railing. INSTALL NEW PAINTED WOOD RAILING COMPONENTS INCLUDING SPINDLES TO MATCH EXISTING AS NECESSARY THROUGHOUT.
- 10 Paint deterioration present on the building(s)/property. PRIME AND PAINT WHERE EXISTING PAINT IS DETERIORATED. PRIME AND PAINT FRONT FACADE.
- 11 Vegetation growing from/on building. Vegetation on building which can cause damage to the building and is likely a sign of moisture problems within the wall. REMOVE VEGETATION.
- 12 Graffiti present on the property. REMOVE GRAFFITI ON FRONT FACADE.
- 13 Stucco work done done inappropriately on the building(s)/fence/courtyard and/or without benefit of VCC review or approval. Stop Work Order Placed on 12/02/21. RETAIN STUCCO WORK INSTALLED WITHOUT VCC APPROVAL (NOT SHOWN ON PLAN)
- 14 Wall material installed/constructed without benefit of VCC review or approval, or in deviation of permit. Inappropriate opening in/ill on first floor and second floor of dependency building. Masonry walls repointed without VCC review, approval, and permits. Stop Work Order Placed on 12/02/21. RETAIN MASONRY REPAIR WORK PERFORMED WITHOUT VCC APPROVAL (NOT SHOWN ON PLAN)
- 15 Impermissible wooden structure in courtyard. Structure(s)/addition(s) installed/constructed without benefit of VCC review or approval. RETAIN EXISTING COURTYARD STRUCTURE.
- 16 Gate installed in alley without benefit of VCC review or approval. Removal/alteration/installation/construction of fence/gate without benefit of VCC review or approval. RETAIN GATE INSTALLED WITHOUT VCC APPROVAL. ADD SOLID PAINTED METAL SHEET WELDED TO BACKSIDE OF BARS.
- 17 Impermissible roof material installed/constructed and/or roof material installed/constructed without benefit of VCC review or approval. REFER TO KEYNOTE #3
- 18 Removal/alteration/installation/construction of windows without benefit of VCC review or approval. UNABLE TO IDENTIFY WINDOWS IN VIOLATION
- 19 Removal/alteration/installation/construction of the balcony/gallery without benefit of VCC review or approval, or in deviation of permit. Inappropriate metal post supporting courtyard balcony. METAL POST HAS BEEN REMOVED
- 20 Impermissible light fixtures installed, impermissible colored lights installed, and/or light fixtures installed without benefit of VCC review or approval. REMOVE IMPERMISSIBLE FIXTURES AND REPLACE WITH WALL MOUNTED OR SOFFIT MOUNTED WHERE APPLICABLE. DOWNLIGHT FIXTURES WITH CONCEALED HOUSING BY REMCRAFT, PER CUTSHEETS. REMOVE ALL COLORED BULBS AND REPLACE WITH WARM WHITE LED BULBS, 3000K.
- 21 Condenser units installed without VCC review or approval in courtyard. HVAC/mechanical equipment/trucks/vents/gas/electrical systems installed without benefit of VCC review or approval, or in violation of permit. RETAIN EXISTING (B) 2-TON AND (C) 7.5 TON ROOFTOP MOUNTED HVAC UNITS.
- 22 Unused wiring/conduits should be removed and remaining, loose wiring/conduits should be properly secured and painted to match the building. REMOVE UNUSED WIRING/CONDUIT. BUNDLE AND SECURE REMAINING WIRING, PAINT TO MATCH BUILDING, TYP. THROUGHOUT.
- 23 REPAIR WOOD PANELS TO MATCH EXISTING
- 24 REMOVE DOUBLE DOORS AND REPLACE WITH DOUBLE DOORS AND SIDELITES PER ELEVATION 1/AS
- 25 REMOVE AND REPLACE WOOD SOFFIT, CORNICE, AND TRIM TO MATCH EXISTING
- 26 REPAIR TRIFOLD 12-LITE / WOOD PANEL DOORS TO MATCH EXISTING.
- 27 FOR INFORMATION ONLY: AWNING HAS BEEN REMOVED.



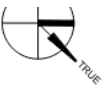
V.C.C. MODIFICATIONS to
 325 Bourbon Street
 New Orleans, Louisiana 70130

LKHarmon Architects
 A Professional Architectural Corporation
 6238 Argonne Boulevard
 New Orleans Louisiana 70124
 504.485.5870 harmon@lkhharmonarchitects.com

NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24"x36" SHEETS

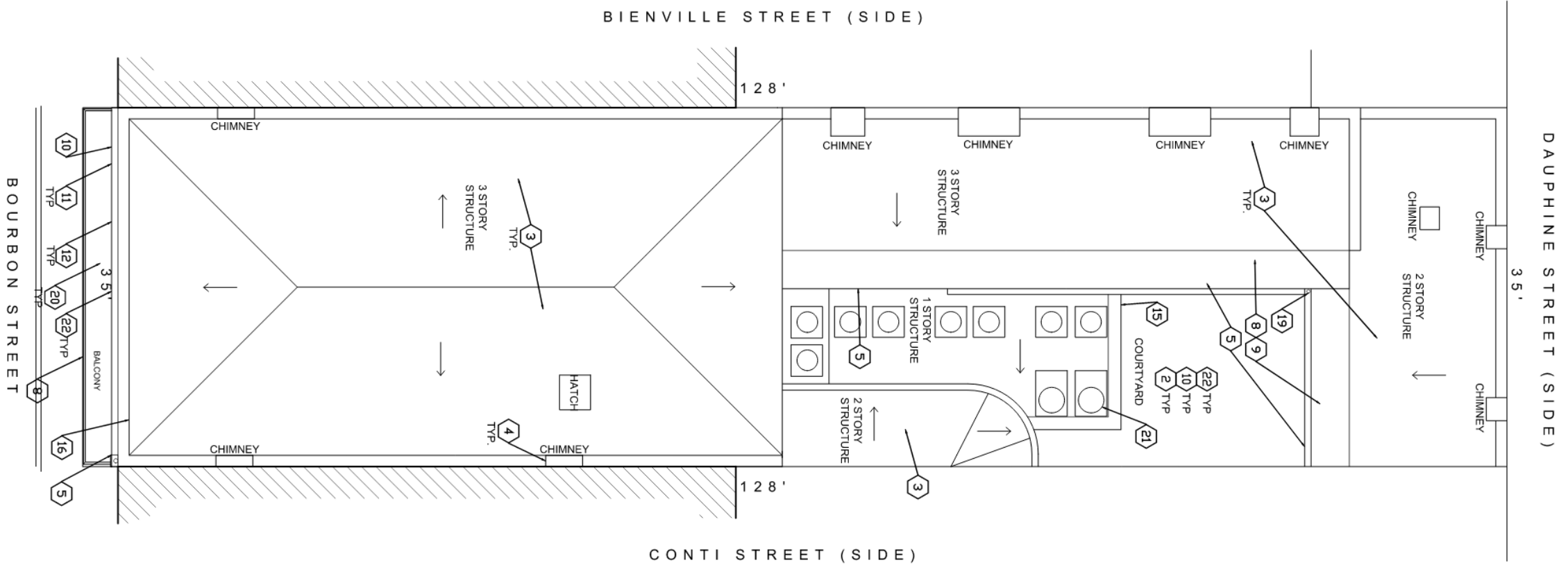
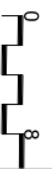
10.13.2023	A1
3.26.2024 REV.	
LKH #1523	





SC: 1/8" = 1'-0"

EXISTING SITE PLAN / ROOF PLAN

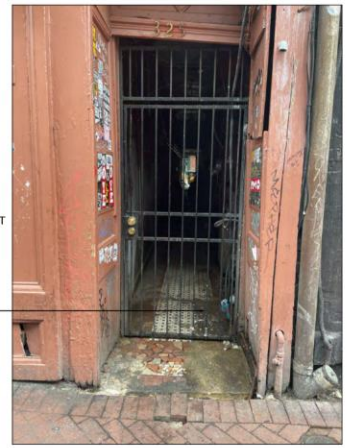
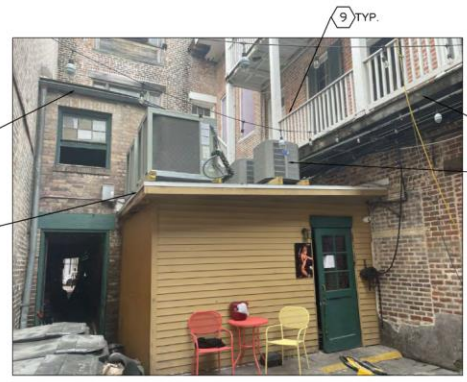


323 Bourbon

VCC Architecture Committee

April 9, 2024





323 Bourbon
VCC Architecture Committee

<p>V.C.C. MODIFICATIONS to 325 Bourbon Street New Orleans, Louisiana 70130</p>	 <p>LKHarmont Architects A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans Louisiana 70124 504.485.5870 lharmont@lkharmontarchitects.com</p>	<p>NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24"x36" SHEETS</p> <p>10.13.2023 3.26.2024 REV.</p>	<p>A2</p>
		<p>LKH #1523</p>	<p>April 9, 2024</p>



19

9 TYP.

8 TYP.

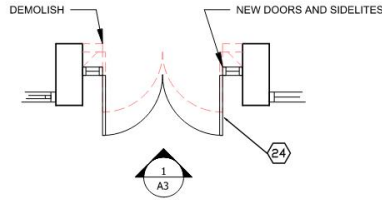
21

R OR
TCH
5
REPAIR
GUTTER,
TYP.

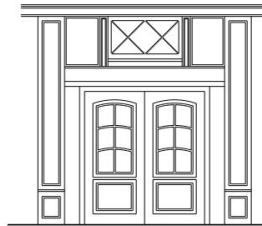
ETAIN WOOD
RAME
RUCTURE
15

YP.

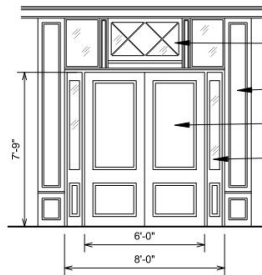




PARTIAL PLAN AT FRONT ENTRY
 SC: 1/4" = 1'-0"



PARTIAL EXISTING ELEVATION AT FRONT ENTRY
 SC: 1/4" = 1'-0"



PARTIAL PROPOSED ELEVATION AT FRONT ENTRY
 SC: 1/4" = 1'-0"

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3.26.2024

A3

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April 9, 2024



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