

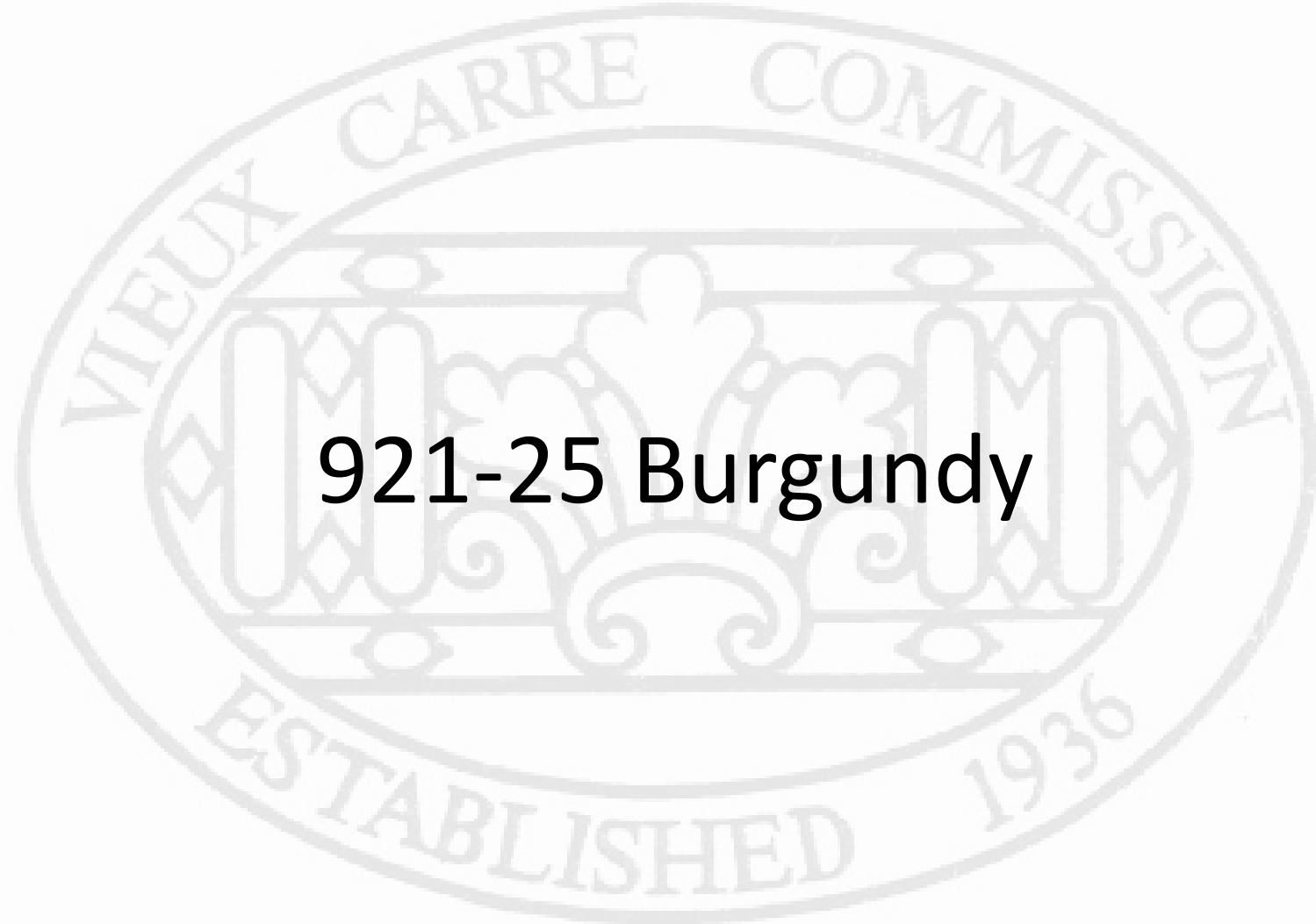


Vieux Carré Commission Architecture Committee Meeting

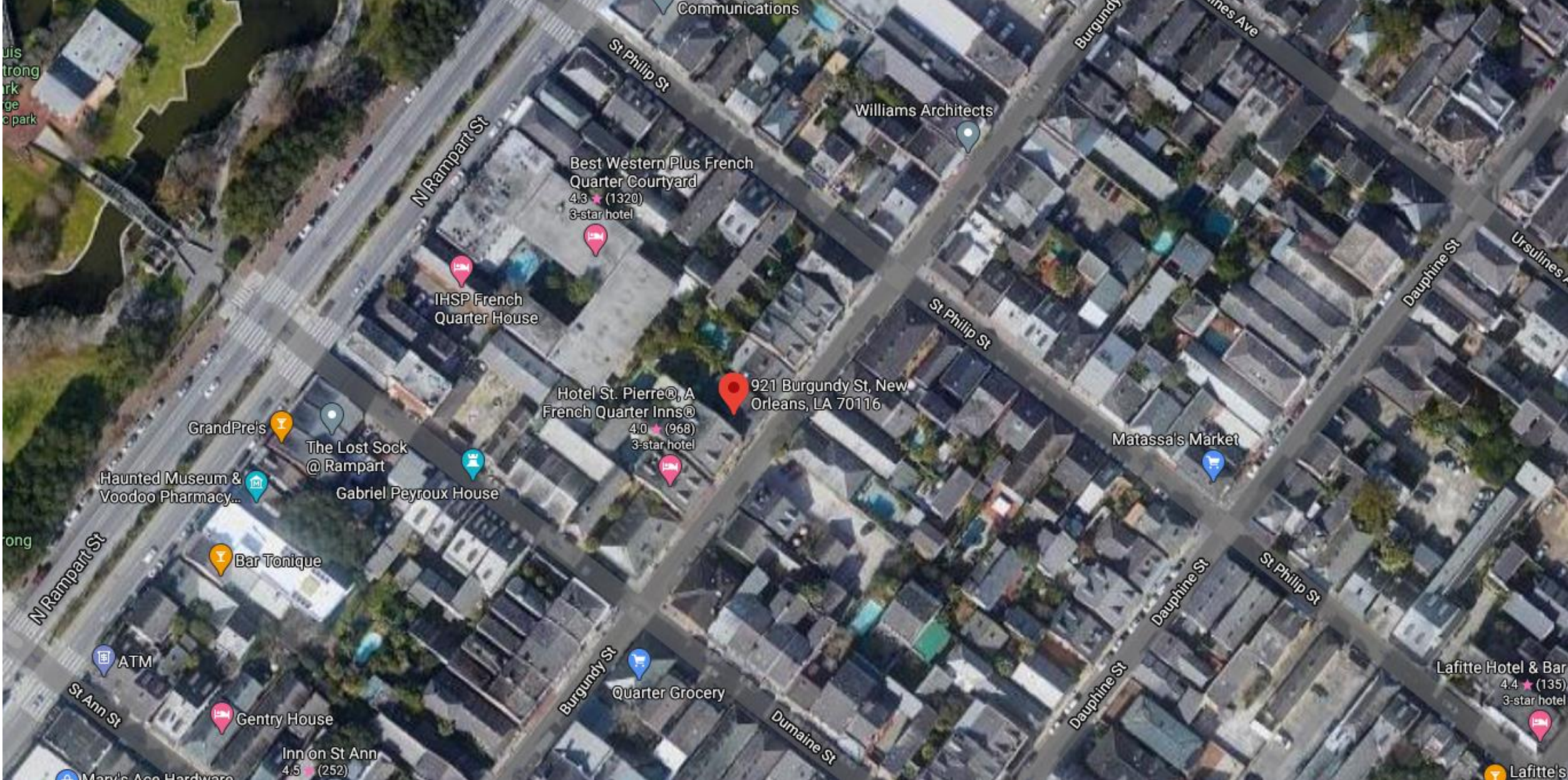
Tuesday, May 14, 2024



Old Business



921-25 Burgundy



921 Burgundy

Vieux Carré Commission

May 14, 2024





921 Burgundy

Vieux Carré Commission

May 14, 2024





921 Burgundy

Vieux Carré Commission

May 14, 2024





921 Burgundy

Vieux Carré Commission

May 14, 2024





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Vieux Carré Commission

May 14, 2024



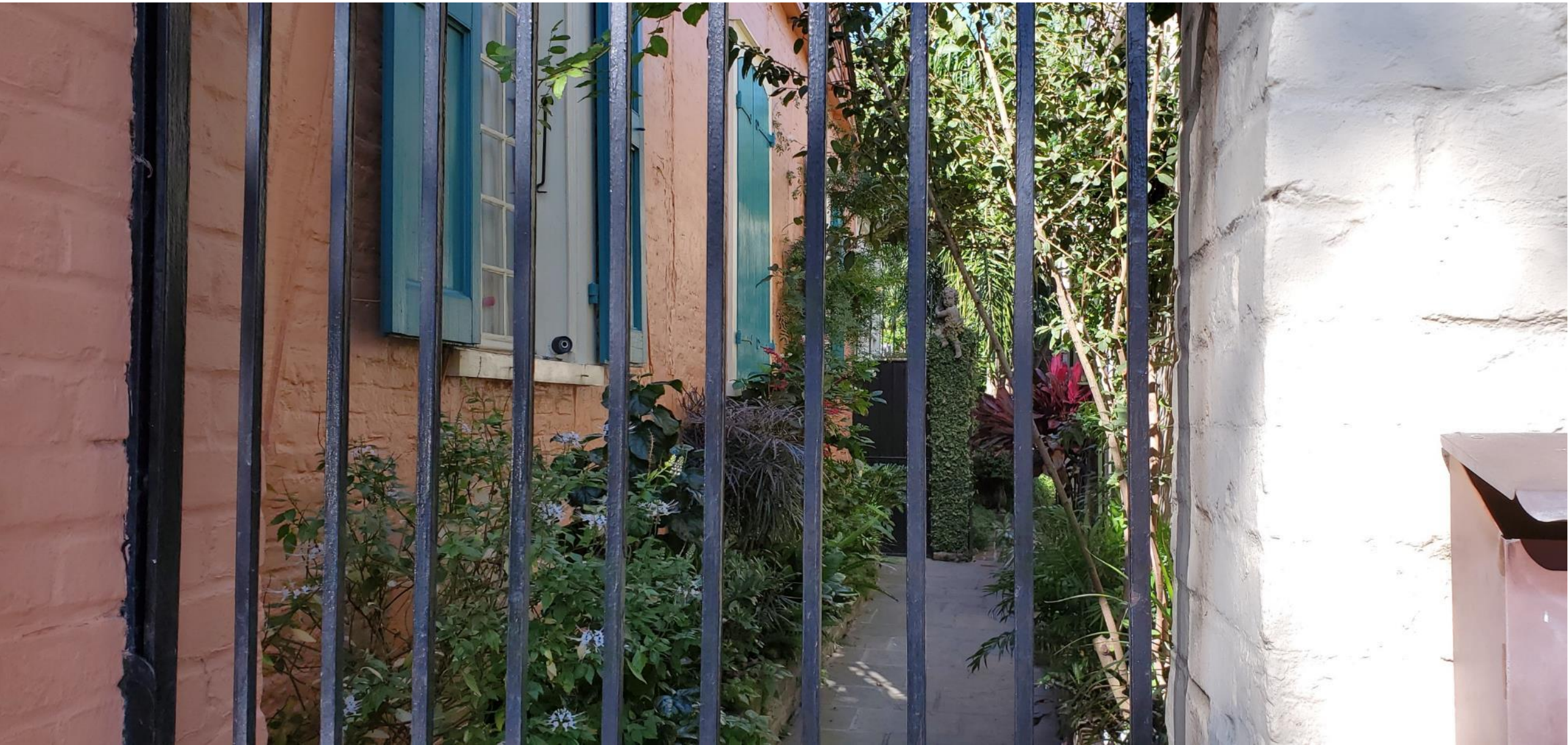


921 Burgundy

Vieux Carré Commission

May 14, 2024





921 Burgundy

Vieux Carré Commission

May 14, 2024



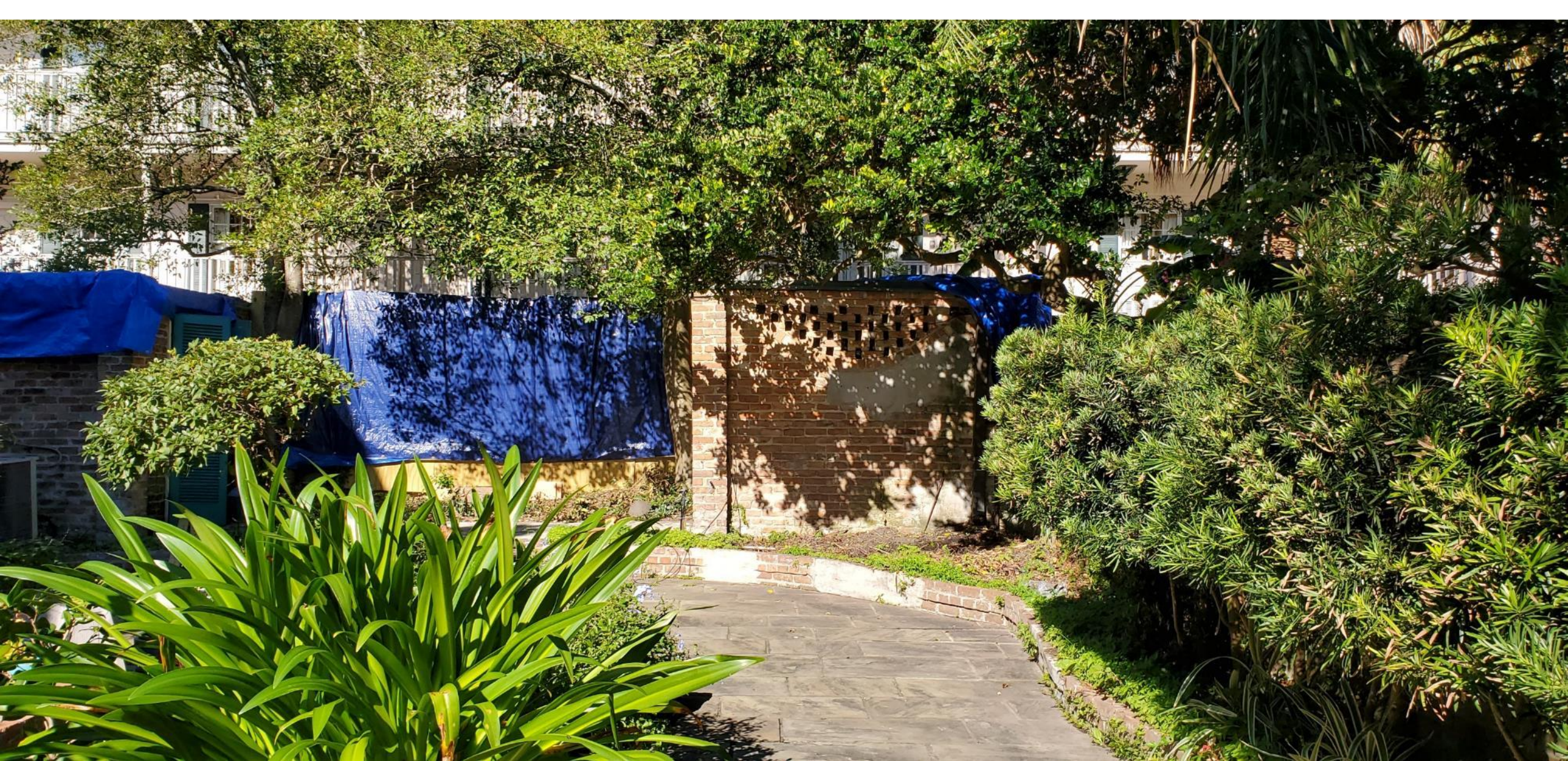


921 Burgundy

Vieux Carré Commission

May 14, 2024



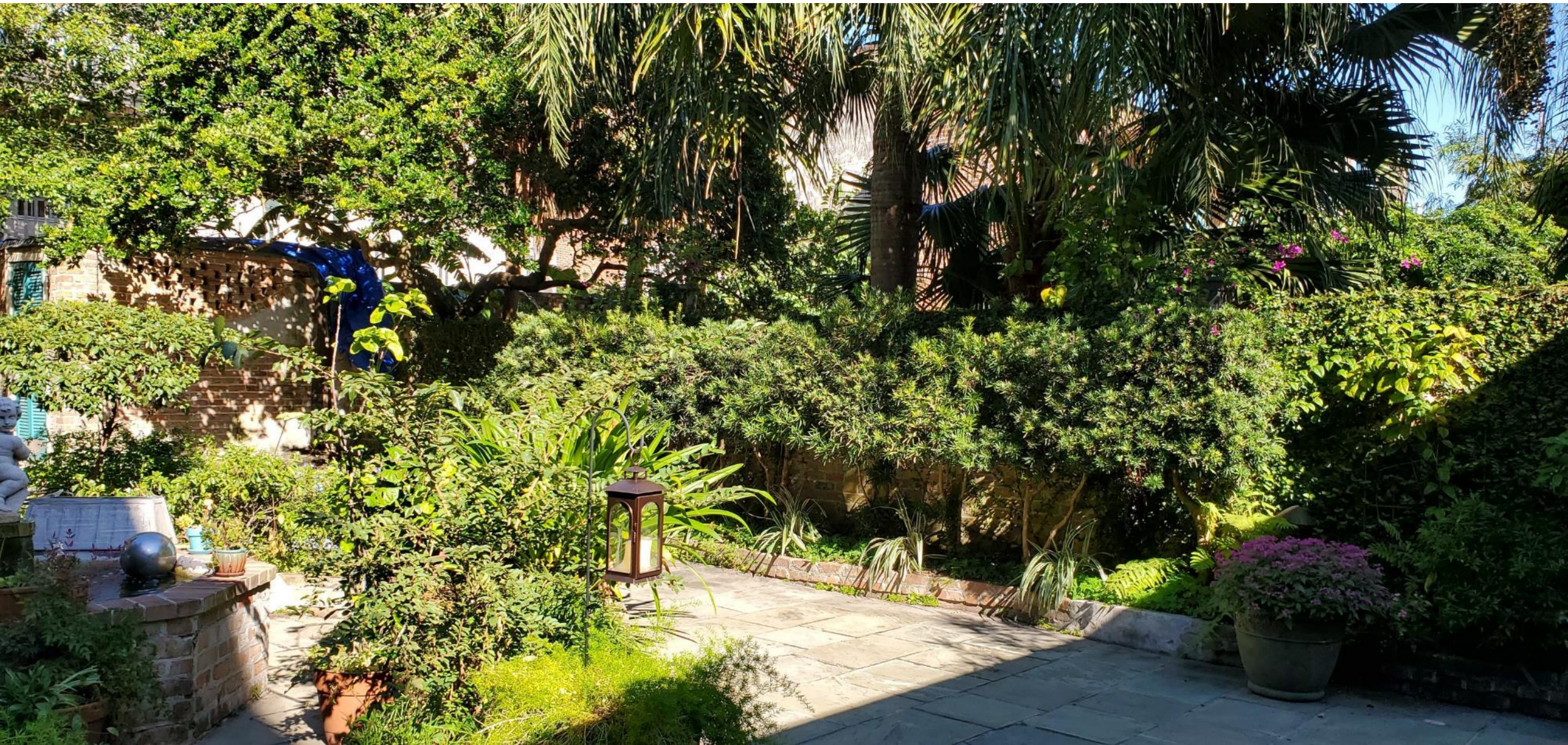


921 Burgundy

Vieux Carré Commission

May 14, 2024





921 Burgundy

Vieux Carré Commission

May 14, 2024





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Vieux Carré Commission

May 14, 2024



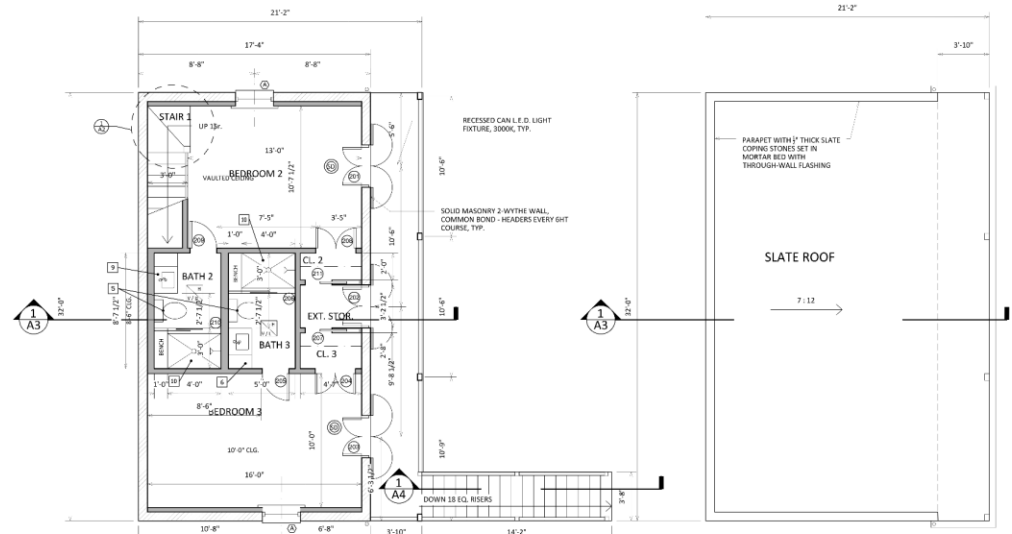


921 Burgundy

Vieux Carré Commission

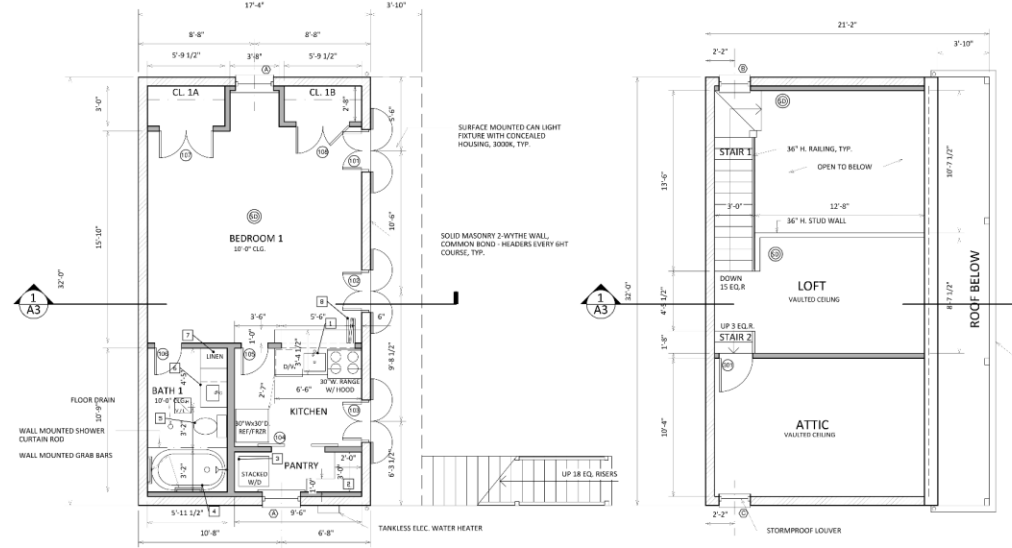
May 14, 2024





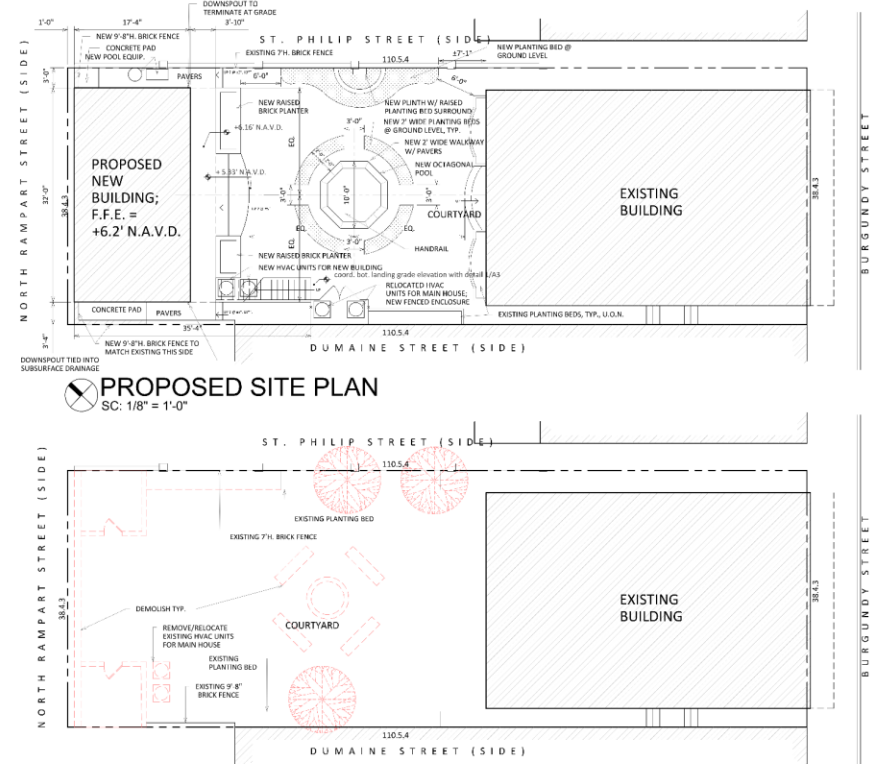
2nd FLOOR PLAN
SC: 1/4" = 1'-0"

ROOF PLAN
SC: 1/4" = 1'-0"



1st FLOOR PLAN
SC: 1/4" = 1'-0"

LOFT / ATTIC FLOOR PLAN
SC: 1/4" = 1'-0"



PROPOSED SITE PLAN
SC: 1/8" = 1'-0"

EXISTING / DEMOLITION SITE PLAN
SC: 1/8" = 1'-0"

FLOOR PLAN LEGEND:

- INTERIOR 2x4 STUD WALLS OR RUMBLE STRIPS BY 1/2" O.C. W/ PAINTED 1/2" GIBB. BATH BOARD TYP. ACCEPT AL. CURING, BLOCKING & MID-HORIZ. CONT. PLATES TOP AND BOT. NOTE: 2x4 STUD WALLS, BATH BOARD, AND GIBB BOARD TO MATCH EXISTING THIS SIDE
- EXTERIOR SOLID MASONRY WALL
- 2 ROWS OF VINYL COATED WIRE SHELF / ROD
- SMOKE / CARBON MONOXIDE DETECTOR (HARDWIRED TO HOUSE ELECTRICAL DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARMS SHALL ACTIVATE ALL ALARMS)
- DOOR MARK, RE: DOOR SCHEDULE, SHEET #6
- WINDOW MARK, RE: WINDOW SCHEDULE, SHEET #5
- FLOOR PLAN KEYNOTE, RE: SHEET #5

GENERAL NOTES

1. PLUMBING SYSTEM SHALL BE DESIGNED/BUILT BY THE PLUMBING SUBCONTRACTOR IN ACCORDANCE WITH CITY OF NEW ORLEANS STANDARDS AND WATER BODIES STANDARDS AND THE LOUISIANA STATE PLUMBING CODE. PLUMBER SHALL PROVIDE A SHEET LABELING WATER MAINS TO BE IN CONFORMANCE WITH THE SUPPLY THE WHOLE HOUSE. PLUMBER SHALL PROVIDE ISOMETRIC PLUMBING RISES (GAS/AM) SHOWING ALL NEW PLUMBING FIXTURES FOR CITY OF NEW ORLEANS SWR REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE.
2. HVAC SYSTEM MODIFICATIONS SHALL BE DESIGNED/BUILT BY THE MECHANICAL SUBCONTRACTOR IN ACCORDANCE WITH 2021 INTERNATIONAL MECHANICAL CODE GENERAL HVAC DESIGN INTENT IS TO CONDITION THE 1ST AND 2ND FLOOR WITH A SPLIT SYSTEM. EXISTING CHART LOCATIONS AND LINE SIZES SHALL BE OBTAINED BY THE HVAC SUBCONTRACTOR IN COORDINATION WITH THE OWNER AND I.E.C.
3. ELECTRICAL SERVICE SHALL BE DESIGNED/BUILT BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND 2021 INTERNATIONAL RESIDENTIAL CODE.
4. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. G.C. SHALL FIELD HEREAS AS WELL LOCATIONS PRIOR TO FINISHING NEW WALLS AND COORDINATE ANY VARIATIONS IN FLOOR PLAN WITH THE OWNER.

PROJECT DATA

1. SCOPE OF WORK: DEMOLITION OF EXISTING HURRICANE DAMAGED ACCESSORY STRUCTURE. NEW CONSTRUCTION OF A 2-STORY 2,000 S.F. ACCESSORY UNIT. NEW UNIT TO REMAIN CONTAINING 1 GARAGE SPACE, 1 GARAGE UNIT TO REMAIN.
 2. THIRD PARTY DRAWING, REC 2023: THE DRAWING WILL BE IN COMPLIANCE WITH REC 2023.
 3. CITY OF NEW ORLEANS (FORMER CLASSIFICATION): VET-1
 4. NEW BUILDING AREA: PROPOSED 1ST FLOOR = 515 G.S.F., PROPOSED 2ND FLOOR = 555 G.S.F., PROPOSED TOTAL = 1,070 G.S.F.
 5. OPEN SPACE: EXISTING LOT AREA = 4,367 S.F., EXISTING MAIN HOUSE CIRCULAR FLOOR AREA = 3,077 S.F., NEW ACCESSORY STRUCTURE GROUND FLOOR AREA = 555 S.F., OPEN SPACE = 1,290 S.F.
- REQUIRED MINIMUM OPEN SPACE RATIO = 0.30
PROVIDED OPEN SPACE RATIO = 1.840 / 7.252 = 0.26

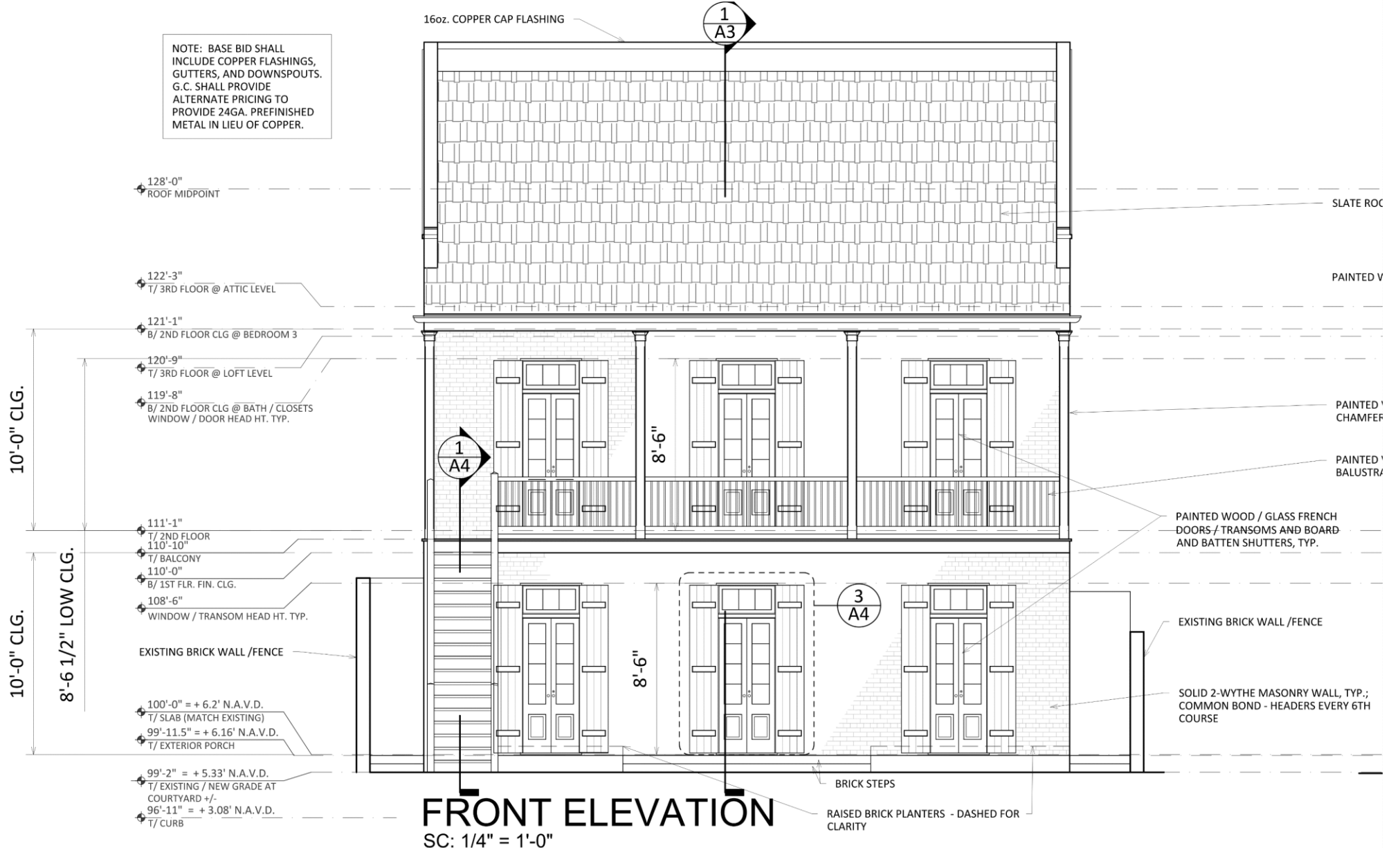
921 Burgundy Street
New Accessory Building
New Orleans, Louisiana 70116

LKHarmon Architects
A Professional Architectural Corporation
6238 Argonne Boulevard
New Orleans, Louisiana 70124
601.460.8979 | harmon@lkharmonarchitects.com

12.18.2023	2.25.2024 PROGRESS	A1
3.4.2024 PROGRESS	4.29.2024 PERMIT	
LKH #4623		



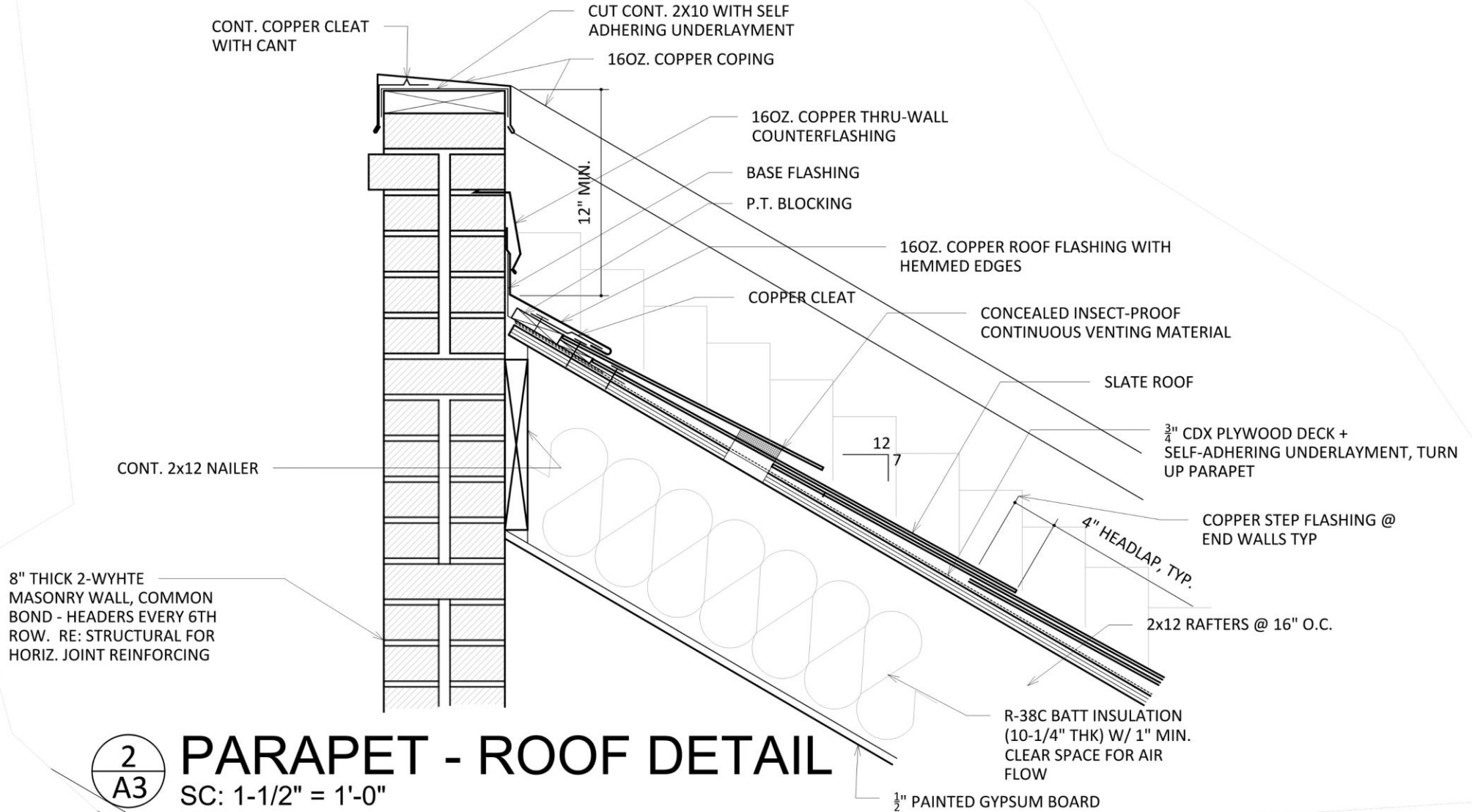
NOTE: BASE BID SHALL INCLUDE COPPER FLASHINGS, GUTTERS, AND DOWNSPOUTS. G.C. SHALL PROVIDE ALTERNATE PRICING TO PROVIDE 24GA. PREFINISHED METAL IN LIEU OF COPPER.



FRONT ELEVATION

SC: 1/4" = 1'-0"

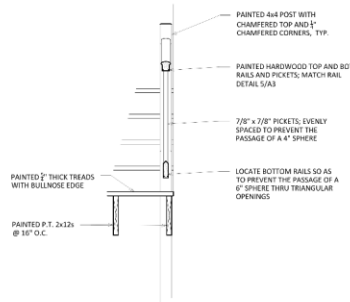




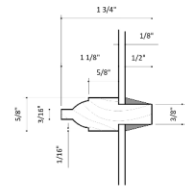
2
A3

PARAPET - ROOF DETAIL

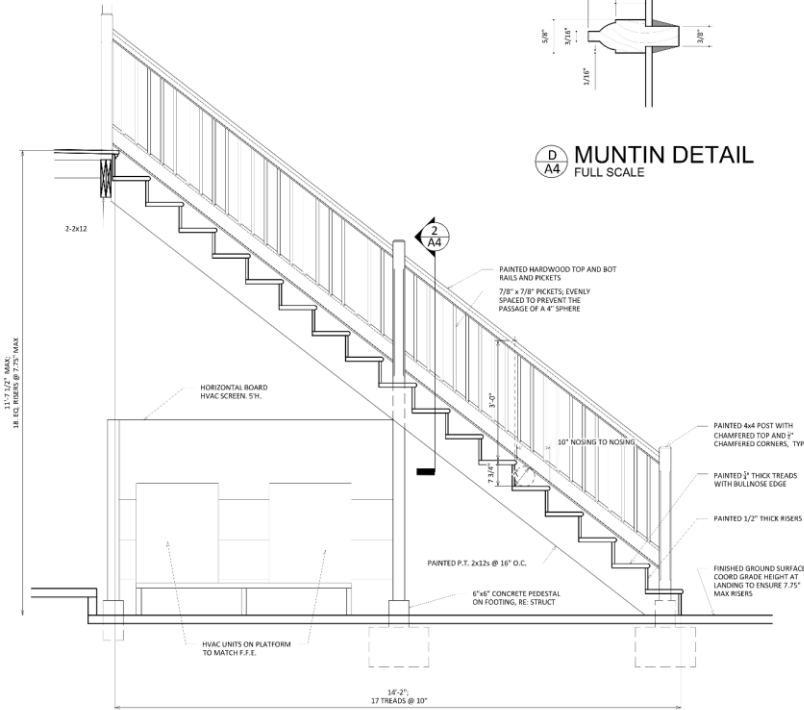
SC: 1-1/2" = 1'-0"



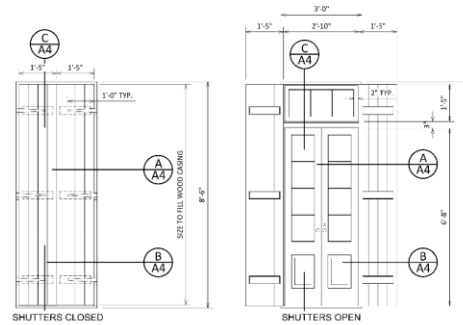
2
A4 STAIR RAIL DETAIL
SC: 3/4" = 1'-0"



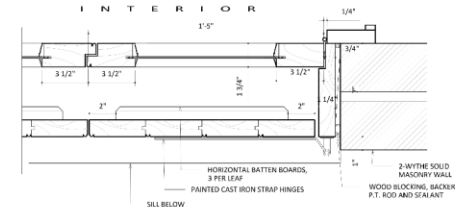
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A4 MUNTIN DETAIL
FULL SCALE



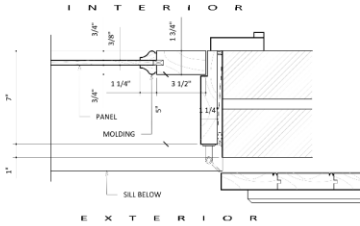
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A4 STAIR SECTION
SC: 3/4" = 1'-0"



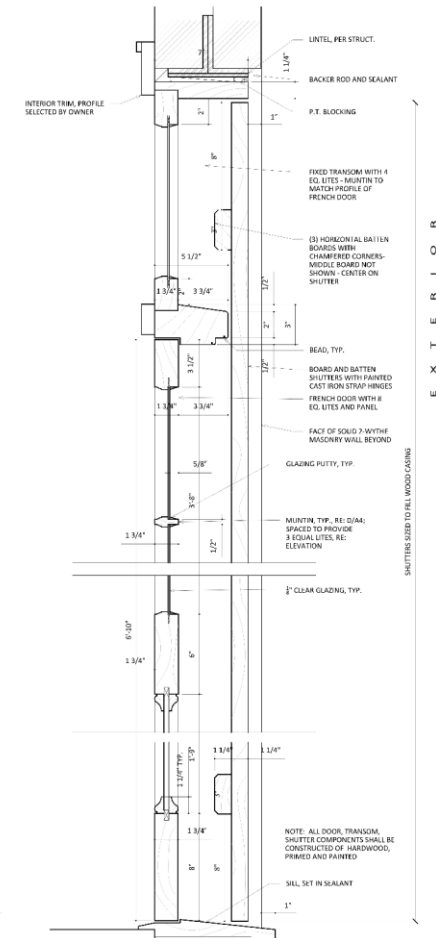
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A4 TYP. FRENCH DOOR ENLARGED ELEVATIONS
SC: 1/2" = 1'-0"



A
A4 TYP. FRENCH DOOR JAMB DETAIL
SC: 3" = 1'-0"



B
A4 TYP. FRENCH DOOR JAMB DETAIL
SC: 3" = 1'-0"



C
A4 TYP. FRENCH DOOR VERTICAL SECTION DETAIL
SC: 3" = 1'-0"



921 Burgundy Street
New Accessory Building
New Orleans, Louisiana 70116



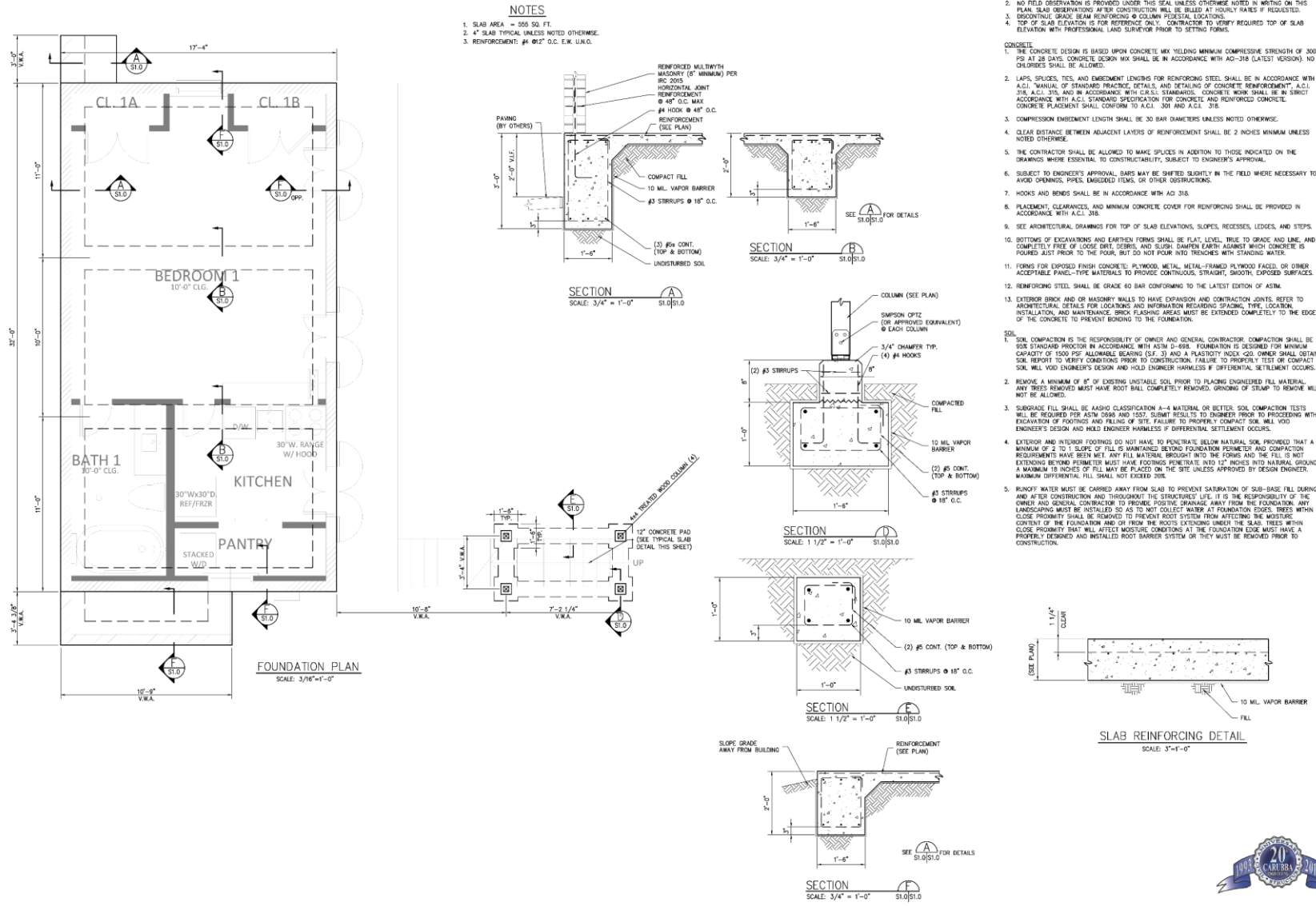
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6520B Argonne Boulevard
New Orleans, Louisiana 70124
504.455.5670 kharmon@lkharmonarchitects.com

2-20-2024 PROGRESS
4-29-2024 PERMIT

A4

LKH #4423





NOTES
 1. SLAB AREA = 555 SQ. FT.
 2. 4" SLAB TYPICAL UNLESS NOTED OTHERWISE.
 3. REINFORCEMENT: #4 @12" O.C. E.W. U.N.O.

- GENERAL**
- BEAM DIMENSIONS SHOWN ARE MINIMUM REQUIRED AND MAY NOT BE REDUCED, NOR ENLARGED WITHOUT APPROVAL OF THE ENGINEER.
 - NO FIELD OBSERVATION IS PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED IN WRITING ON THIS PLAN. SLAB OBSERVATION AFTER CONSTRUCTION WILL BE BLAILED AT HOURLY RATES IF REQUESTED.
 - DISCONTINUE GRADE BEAM REINFORCING @ COLUMN PEDISTAL LOCATIONS.
 - TOP OF SLAB ELEVATION IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY REQUIRED TOP OF SLAB ELEVATION WITH PROFESSIONAL LAND SURVEYOR PRIOR TO SETTING FORMS.
- CONCRETE**
- THE CONCRETE DESIGN IS BASED UPON CONCRETE MIX YIELDING MINIMUM COMPRESSIVE STRENGTH OF 3000 PS AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH ACI-318 (LATEST VERSION), NO CHLORIDES SHALL BE ALLOWED.
 - LAPS, SPLICES, TIES, AND EMBEDMENT LENGTHS FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH A.C.I. MANUAL OF STANDARD PRACTICE, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, A.C.I. 318, A.C.I. 308, AND IN ACCORDANCE WITH D.R.S.L. STANDARDS. CONCRETE WORK SHALL BE IN STRICT ACCORDANCE WITH A.C.I. STANDARD SPECIFICATION FOR CONCRETE AND REINFORCED CONCRETE. CONCRETE PLACEMENT SHALL CONFORM TO A.C.I. 301 AND A.C.I. 318.
 - COMPRESSION EMBEDMENT LENGTH SHALL BE 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.
 - CLEAR DISTANCE BETWEEN ADJACENT LAYERS OF REINFORCEMENT SHALL BE 2 INCHES MINIMUM UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL BE ALLOWED TO MAKE SPLICES IN ADDITION TO THOSE INDICATED ON THE DRAWINGS WHERE ESSENTIAL TO CONSTRUCTABILITY, SUBJECT TO ENGINEER'S APPROVAL.
 - SUBJECT TO ENGINEER'S APPROVAL, BARS MAY BE SHIFTED SLIGHTLY IN THE FIELD WHERE NECESSARY TO AVOID OPENINGS, PIPES, EMBEDDED ITEMS, OR OTHER OBSTRUCTIONS.
 - HOOKS AND BONDS SHALL BE IN ACCORDANCE WITH ACI 318.
 - PLACEMENT, CLEARANCES, AND MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE PROVIDED IN ACCORDANCE WITH A.C.I. 318.
 - SEE ARCHITECTURAL DRAWINGS FOR TOP OF SLAB ELEVATIONS, SLOPES, RECESSES, LEDGES, AND STEPS.
 - BOTTOMS OF EXCAVATIONS AND EARTHEN FORMS SHALL BE FLAT, LEVEL, TRUE TO GRADE AND LINE, AND COMPLETELY FREE OF LOOSE DIRT, DEBRIS, AND SLUSH. DAMPEN EARTH AGAINST WHICH CONCRETE IS POURED JUST PRIOR TO THE POUR BUT DO NOT POUR INTO TRENCHES WITH STANDING WATER.
 - FORMS FOR EXPOSED FINISH CONCRETE: PLYWOOD, METAL, METAL-FRAMED PLYWOOD FACED, OR OTHER ACCEPTABLE PANEL-TYPE MATERIALS TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH, EXPOSED SURFACES.
 - REINFORCING STEEL SHALL BE GRADE 60 BAR CONFORMING TO THE LATEST EDITION OF ASTM.
 - EXTERIOR BRICK AND OR MASONRY WALLS TO HAVE EXPANSION AND CONTRACTION JOINTS. REFER TO ARCHITECTURAL DETAILS FOR LOCATIONS AND INFORMATION REGARDING SPACING, TYPE, LOCATION, INSTALLATION, AND MAINTENANCE. BRICK FLASHING AREAS MUST BE EXTENDED COMPLETELY TO THE EDGE OF THE CONCRETE TO PREVENT BONDING TO THE FOUNDATION.
- SOIL**
- SOIL COMPACTION IS THE RESPONSIBILITY OF OWNER AND GENERAL CONTRACTOR. COMPACTION SHALL BE 95% STANDARD PROCTOR IN ACCORDANCE WITH ASTM D-1557. FOUNDATION IS DESIGNED FOR MINIMUM CAPACITY OF 1500 PSF ALLOWABLE BEARING (S.F. 3) AND A PLASTICITY INDEX <20. OWNER SHALL OBTAIN SOIL REPORT TO VERIFY CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO PROPERLY TEST OR COMPACT SOIL WILL VOID ENGINEER'S DESIGN AND HOLD ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
 - REMOVE A MINIMUM OF 4" OF EXISTING UNSTABLE SOIL PRIOR TO PLACING ENGINEERED FILL MATERIAL. ANY TREES REMOVED MUST HAVE ROOT BALL COMPLETELY REMOVED. GRINDING OF STUMP TO REMOVE WILL NOT BE ALLOWED.
 - SUBGRADE FILL SHALL BE AASHO CLASSIFICATION A-4 MATERIAL OR BETTER. SOIL COMPACTION TESTS WILL BE REQUIRED PER ASTM D698 AND 1557. SUBMIT RESULTS TO ENGINEER PRIOR TO PROCEEDING WITH EXCAVATION OF FOOTINGS AND FILLING OF SITE. FAILURE TO PROPERLY COMPACT SOIL WILL VOID ENGINEER'S DESIGN AND HOLD ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
 - EXTERIOR AND INTERIOR FOOTINGS DO NOT HAVE TO PENETRATE BELOW NATURAL SOIL, PROVIDED THAT A MINIMUM OF 2 TO 1 SLOPE OF FILL IS MAINTAINED BEYOND FOUNDATION PERIMETER, AND COMPACTION REQUIREMENTS HAVE BEEN MET. ANY FILL MATERIAL BROUGHT INTO THE FORMS AND THE FILL IS NOT EXTENDING BEYOND PERIMETER MUST HAVE FOOTINGS PENETRATE INTO 12" INCHES INTO NATURAL GROUND. A MAXIMUM 18 INCHES OF FILL MAY BE PLACED ON THE SITE UNLESS APPROVED BY DESIGN ENGINEER. MAXIMUM DIFFERENTIAL FILL SHALL NOT EXCEED 20%.
 RAINOFF WATER MUST BE CARRIED AWAY FROM SLAB TO PREVENT SATURATION OF SUB-BASE FILL DURING AND AFTER CONSTRUCTION AND THROUGHOUT THE STRUCTURE'S LIFE. IT IS THE RESPONSIBILITY OF THE OWNER AND GENERAL CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FOUNDATION. ANY LANDSCAPING MUST BE INSTALLED SO AS TO NOT COLLECT WATER AT FOUNDATION SIDES. TREES WITHIN CLOSE PROXIMITY SHALL BE REMOVED TO PREVENT ROOT SYSTEM FROM AFFECTING THE MOISTURE CONTENT OF THE FOUNDATION AND OR FROM THE ROOTS EXTENDING UNDER THE SLAB. TREES WITHIN CLOSE PROXIMITY THAT WILL AFFECT MOISTURE CONDITIONS AT THE FOUNDATION EDGE MUST HAVE A PROPERLY DESIGNED AND INSTALLED ROOT BARRIER SYSTEM OR THEY MUST BE REMOVED PRIOR TO CONSTRUCTION.

DATE	8/26/21	MTD	
DATE	3/29/21	RNC	
DATE		RNC	
DATE		BY	

DESCRIPTION	
MARK	

CIVIL STRUCTURAL
CARUBBA ENGINEERING
 5101 Iberville Avenue
 Metairie, LA 70002
 Phone: 504.888.1190
 www.carubbaengineering.com

LOUISIANA
LKHARMON ARCHITECTS APAC
 PROPOSED GUEST HOUSE
 921 BURGUNDY STREET
 FOUNDATION PLAN

NEW ORLEANS

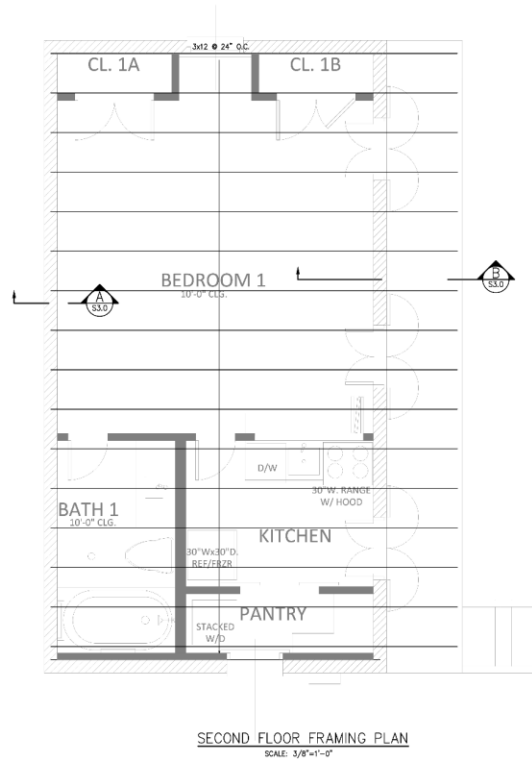
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DATE	02/24/2024
PROJECT NO.	031-2021-024
SHEET	S1.0

921 Burgundy

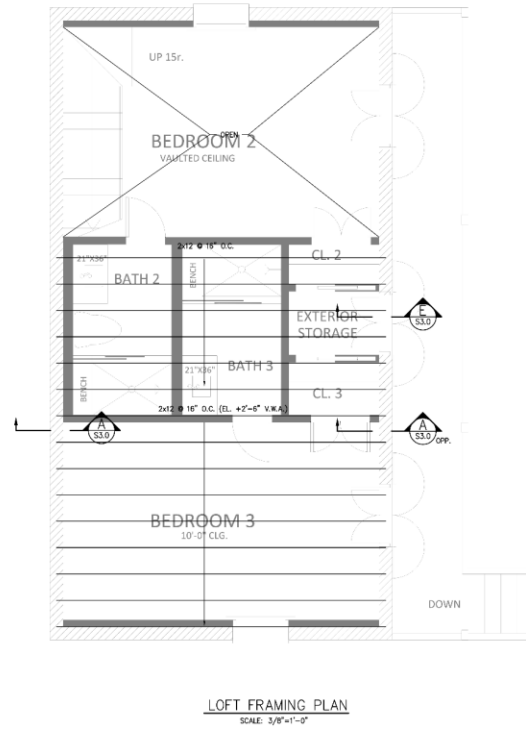
Vieux Carré Commission

May 14, 2024

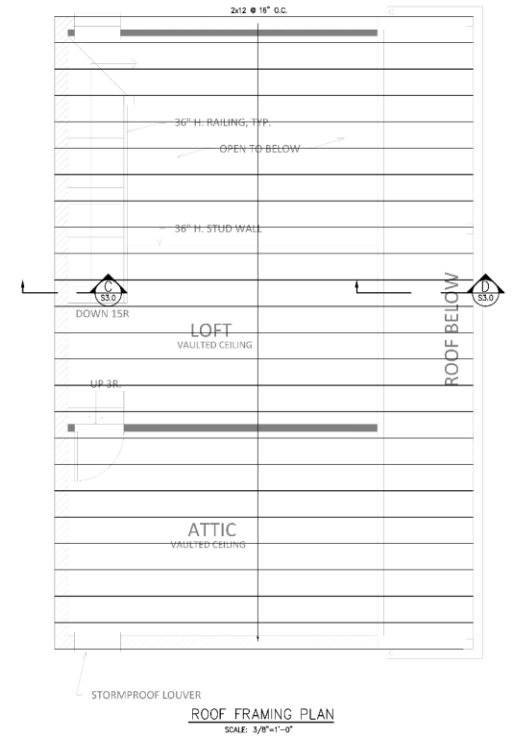




SECOND FLOOR FRAMING PLAN
SCALE: 3/8"=1'-0"



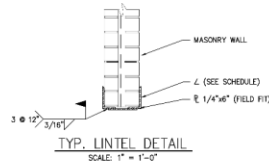
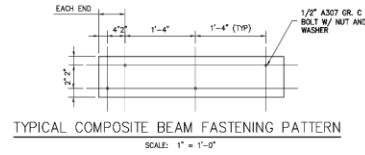
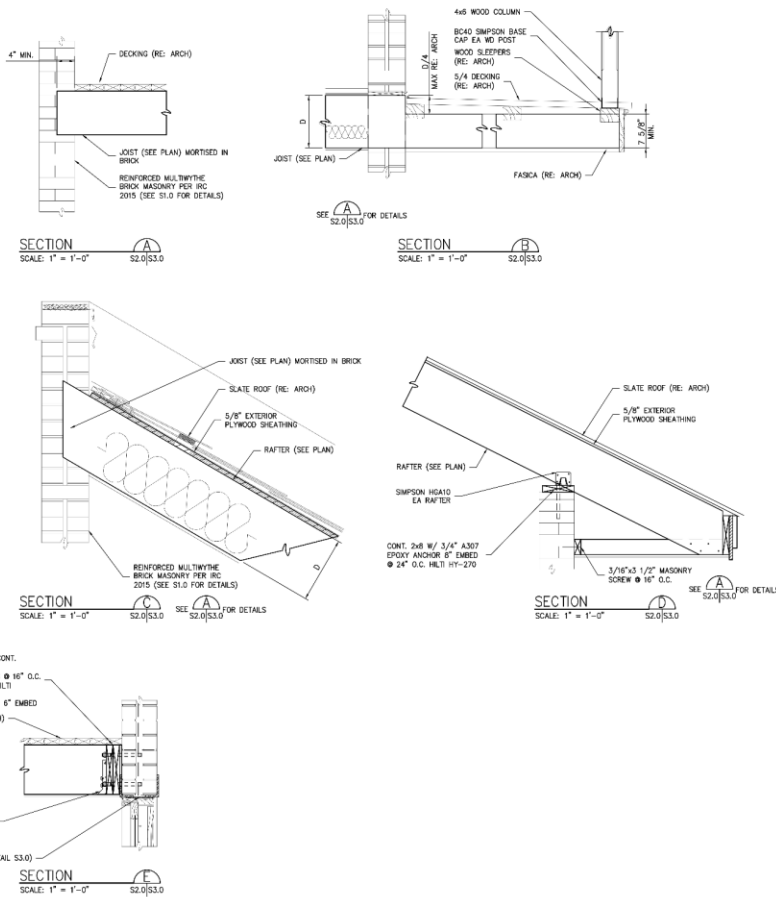
LOFT FRAMING PLAN
SCALE: 3/8"=1'-0"



ROOF FRAMING PLAN
SCALE: 3/8"=1'-0"

NEW ORLEANS	LOUISIANA	 <p>CIVIL STRUCTURAL CARUBBA ENGINEERING 3400 Rossmore Avenue Metairie, LA 70002 Phone: 504.885.2400 www.carubbaengineering.com</p>
LKHARMON ARCHITECTS APAC PROPOSED GUEST HOUSE 921 BURGUNDY STREET FRAMING PLANS		
DRAWN MTE	DATE	BY
CHECKED RMC	02/24/2024	6/7/21
DATE	2021-024	3/29/21
CED PROJECT NO.		DATE
		DESCRIPTION
		MARK
		NO.
		DATE
		BY





FRAMING AND TIMBER NOTES

1. LUMBER DATA:
 - A. FRAMING LUMBER SHALL BE KILN DRIED F_b = 1,200 PSI.
 - B. CEILING JOIST, ROOF RAFTERS AND ASSOCIATED FRAMING SHALL BE NO.2 SOUTHERN YELLOW PINE.
 - C. MODULUS OF ELASTICITY: 1.7 x 10⁶ PSI = 1.7
2. USE METAL JOIST HANGERS ON FLUSH FRAMED BEAMS.
3. EXTERIOR WALL SHEATHING WILL BE A MINIMUM 1/2" COX PLYWOOD OR OSB
4. HEADERS SHALL BE AS PER SCHEDULE.
5. WOOD BEAMS WITH PLYWOOD SHALL BE SIZED AND NAILED.
6. WOOD BEAMS WITH STEEL PLATE SHALL BE BOLTED WITH 1/2" DIA. A307 GR.C STEEL BOLTS.
7. WALL BRACING SHALL BE STRUCTURAL SHEATHING PER WFCM LATEST EDITION.
8. TOP PLATES SHALL BE FACE NAILLED TOGETHER AT INTERSECTIONS WITH (4)-16d COMMON NAILS
9. 2"x4" BRACING ON 2"x6" ROOF RAFTERS SHALL NOT EXCEED THE FOLLOWING:
 - 2"x6" RAFTER AT 16" O.C. - 11'-3"
 - 2"x6" RAFTER AT 24" O.C. - 9'-2"
10. WEE PLATE STEEL SHALL BE ASTM A992(50 KS), OTHERS SHALL BE ASTM A36(36KS) UNLESS NOTED OTHERWISE ON PLANS.
11. WOOD CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE IBC(2021), NDS, AND WFCM.
12. THE NUMBER AND SIZE OF NAILS AT WOOD CONNECTIONS SHALL BE PER THE LATEST EDITION OF THE WFCM OR ENGINEER'S SPECIFICATIONS.
13. ENGINEERED LUMBER SHALL HAVE A MINIMUM E=2,000,000 PSI AND F_b OF 3100 PSI.
14. CONNECTORS SPECIFIED AS "SIMPSON" TYPE ARE TO BE MANUFACTURED BY SIMPSON STRONG-TIE CO. OR APPROVED EQUAL, COMPLY WITH MANUFACTURER'S FASTENING PROCEDURES. IF MANUFACTURER PROVIDES AN OPTION FOR THE INSTALLATION PROCEDURE, PROVIDE THE STRONGEST CONNECTION. CONNECTORS SHALL BE GALVANIZED.
15. BASE PLATES WILL BE ANCHORED AT A MAXIMUM OF 24" ON CENTER WITH A MINIMUM A307 GR. C 5/8"x10" ANCHOR BOLTS USING 3"x3 1/4" PLATE WASHER.
16. WINDOWS/OPENINGS SHALL BE PROVIDED WITH ONE OF THE FOLLOWING: OPERABLE SHUTTERS, ANCHORABLE, PREFERRED MINIMUM 5/8" THICK PLYWOOD, INSTALLABLE CORRUGATED STEEL PANELS OR IMPACT RESISTANT WINDOWS.
17. R50S.2.B. ROOF SHINGLES WILL BE ATTACHED WITH THE HIGH WIND FASTENING METHOD TESTED IN ACCORDANCE WITH ASTM D3811 FOR 130 MPH WINDS. THE CONTRACTOR MUST SUBMIT A FASTENING PATTERN FROM THE SHINGLE MANUFACTURER THAT IT CERTIFIES AND CONFORMS TO ASTM D3811 FOR 130 MPH WINDS AND THE DESIGN LOADS FROM TABLE R501.2(2) R50S.2.2 UNDERLAMENT AND 180# WIND- UNDERLAMENT APPLIED IN AREAS SUBJECT TO HIGH WINDS (GREATER THAN 110 MPH) WILL BE APPLIED WITH CORROSION-RESISTANT FASTENERS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. FASTENERS ARE TO BE APPLIED ALONG THE OVERLAP NOT FARTHER APART THAN 36" O.C.
18. FIRE BLOCCING SHALL BE INSTALLED AS PER SECTION R602.8 OF IBC 2012.
19. JOIST SHALL ONLY BE NOTED IF NECESSARY IN STRICT ACCORDANCE WITH IRC 2012. NO EXCEPTIONS.
20. THE OWNER SHALL COMPLY WITH THE REQUIREMENT OF AN ENCLOSED BUILDING ENVELOPE WITH WINDOWS, PERSONNEL DOORS AND GARAGE DOORS. IN THE EVENT THE OWNER DOESN'T NOT COMPLY WITH THESE REQUIREMENTS, THE STRUCTURE SHALL BE REDESIGNED AS A PARTIALLY ENCLOSED STRUCTURE, AT THE OWNER'S EXPENSE.
21. NAILS SHALL BE COMMON NAILS UNLESS SPECIFIED OTHERWISE. NO EXCEPTIONS UNLESS SPECIFICALLY REQUESTED IN WRITING AND APPROVED BY THE ENGINEER OF RECORD.
22. PLATE AND NAIL APA RATED PANEL ON ROOF WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS, UNLESS STRENGTH AND OTHERWISE KNOWN, EACH PICE MUST BE CONTINUOUS OVER AT LEAST TWO SPANS. USE MINIMUM OF 24" WIDE PANELS.
23. USE "N" PANEL CLIPS TO PROVIDE 1/8" SPACE IN ROOF SHEATHING AT PANEL EDGES AND ENDS UNLESS NOTED OTHERWISE BY PANEL MANUFACTURER.
24. IF ROOF SHEATHING IS CUT TO PROVIDE SPACE FOR A CONTINUOUS RIDGE VENT, ADD ADDITIONAL BRACING TO MAINTAIN ROOF SHEATHING MAIL SCHEDULE.
25. CONTRACTOR SHALL INSTALL BRIDGING AS REQUIRED PER LATEST WFCM AND IBC
26. DESIGN LOADS:
 - FLOOR LOAD: RESIDENTIAL 40 P.S.F
 - ROOF LIVE LOAD 20 P.S.F
 - DESIGN WIND LOAD 144 MPH - EXPOSURE CATEGORY B
 - ENCLOSED STRUCTURE. I=1.0.
27. ALL LUMBER EXPOSED TO EXTERIOR ELEMENTS SHALL BE PRESSURE TREATED OR CERTIFIED BY THE MANUFACTURER FOR EXTERIOR AND EXPOSED APPLICATIONS.

MULTI-WYTHE BRICK MASONRY

1. MULTI-WYTHE BRICK MASONRY SHALL BE INSTALLED PER THE LATEST EDITION OF IRC AND TMS 402/403/530/ASCS.
2. REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2015 SECTION R606 AND R608.
3. REINFORCEMENT AT OPENINGS SHALL COMPLY WITH IRC SECTION R608.
4. VERIFY GROUT TYPE WITH ARCHITECT AND MUNICIPALITY PRIOR TO CONSTRUCTION.
5. VERIFY BRICK TYPE WITH ARCHITECT AND MUNICIPALITY PRIOR TO CONSTRUCTION.
6. RUNNING BOND OR STACK BOND INSTALLATION SHALL BE INSTALLED PER IRC 2015 (VERIFY STYLE WITH ARCHITECT).
7. MINIMUM WALL THICKNESS SHALL BE PER R606 BUT NOT LESS THAN 8".
8. INSTALL HORIZONTAL JOINT REINFORCEMENT AT A MINIMUM OF 48" O.C. OR AS SPECIFIED IN IRC, WHICHEVER IS MORE STRINGENT.
9. INSTALL CONTROL JOINTS PER IRC SECTION 606

LINTEL SCHEDULE	
CLEAR SPAN	LINTEL SECTION
< 6'-0"	(2) L6x3x7/8" LLV
6'-0" - 12'-0"	(2) # 5/8"x6x8" LLV

DATE	3/29/21	BY	
REVISION			
MARK			
CIVIL STRUCTURAL CARUBBA ENGINEERING 3431 Lakeside Avenue Metairie, LA 70002 Phone: 504.886.1400 www.carubbaengineering.com			
LOUISIANA LKHARMON ARCHITECTS APAC PROPOSED GUEST HOUSE 921 BURGUNDY STREET FRAMING DETAILS AND NOTES			
NEW ORLEANS			
DRAWN: HTD CHECKED: RMC DATE: 02/29/2024 CD PROJECT NO: 2021-024 SHEET S3.0			



PEAD-A24AA7 & SUZ-KA24NAHZ
MID STATIC HORIZONTAL-DUCTED INDOOR UNIT
24,000 BTU/H HYPER-HEATING UNIVERSAL OUTDOOR UNIT



Job Name: _____
 System Reference: _____ Date: _____



Indoor Unit PEAD-
 Outdoor Unit SUZ-KA:

INDOOR UNIT FEATURES

- Unobtrusive ceiling-concealed design for short-run ductwork
- Wide ranging external static pressure (0.14-0.60 in. WG)
- Built-in condensate lift mechanism (up to 27-9/16")
- Auto fan speed mode
- Optional FB Series filter boxes for easy access and service
- Ideal for residential homes, retail shopping centers, larger classrooms, office complexes, conference rooms, ballrooms, fitness centers, and more
- Multiple control options available:
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers

OUTDOOR UNIT FEATURES

- The outdoor unit powers the indoor unit, and should a power outage occur, the system is automatically restarted when power returns
- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- H2I® hyper heat performance offers 100% heating capacity at 5° F
- Hot-Start Technology: no cold air rush at equipment startup or when restarting after Defrost Cycle
- Quiet operation
- Built-in base pan heater
- Innovative Joint Lap DC Motor leads to high efficiency and reliability
- Pulse Amplitude Modulation technology

SPECIFICATIONS: PEAD-A24AA7 & SUZ-KA24NAHZ

Outdoor Unit	MCA	A	17.0
	MOCP	A	27
	Fan Motor Output	W	74
	Airflow Rate	CFM	800/800
	Refrigerant Control		LEV
	Defrost Method		Reverse Cycle
	Sound Pressure Level, Cooling ¹	dB(A)	52
	Sound Pressure Level, Heating ²	dB(A)	53
	Compressor Type		Scroll
	Compressor Model		DNB28FBAMT
	Compressor Rated Load Amps	A	9.0
	Compressor Locked Rotor Amps	A	18.0
	Compressor Oil Type // Charge	oz.	FVC68D // 1.34
	External Finish Color		Ivory Munsell 3Y 7.8/1.1
	Base Pan Heater		Built-in
	Unit Dimensions	W x D x H: In. [mm]	37-13/32 x 14-3/16 x 37-1/8 [950 x 360 x 943]
	Package Dimensions	W x D x H: In. [mm]	41 x 18 x 41 [1040 x 450 x 1033]
Unit Weight	Lbs. [kg]	190 [86]	
Package Weight	Lbs. [kg]	210 [95]	
Outdoor Unit Operating Temperature Range	Cooling Air Temp [Maximum / Minimum]*	°F	115 DB / 0 DB
	Heating Air Temp [Maximum / Minimum]	°F	75 DB, 65 WB / -13 DB, -14 WB
	Heating Thermal Lock-out / Re-start Temperatures**	°F	-22 / -13
Refrigerant	Type		R410A
	Charge	Lbs, oz	7, 11.0
	Chargeless Piping Length	Ft. [m]	100.0 [30.0]
	Additional Refrigerant Charge Per Additional Piping Length	oz./Ft. [g/m]	0.7 [65]
Piping	Gas Pipe Size O.D. [Flared]	In.[mm]	5/8 [15.88]
	Liquid Pipe Size O.D. [Flared]	In.[mm]	3/8 [9.52]
	Maximum Piping Length	Ft. [m]	100 [30]
	Maximum Height Difference	Ft. [m]	100 [30]
	Maximum Number of Bends		15

NOTES:

AHRI Rated Conditions
 (Rated data is determined at a fixed compressor speed)

¹ Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
² Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
³ Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB

Conditions

⁴ Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
⁵ Heating at -4°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -4 DB, -5 WB
⁶ Heating at -5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -5 DB, -6 WB
⁷ Heating at -13°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -13 DB, -14 WB

*Outdoor Unit Operating Temperature Range (Cooling Air Temp (Maximum / Minimum)):

- Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures):

- System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

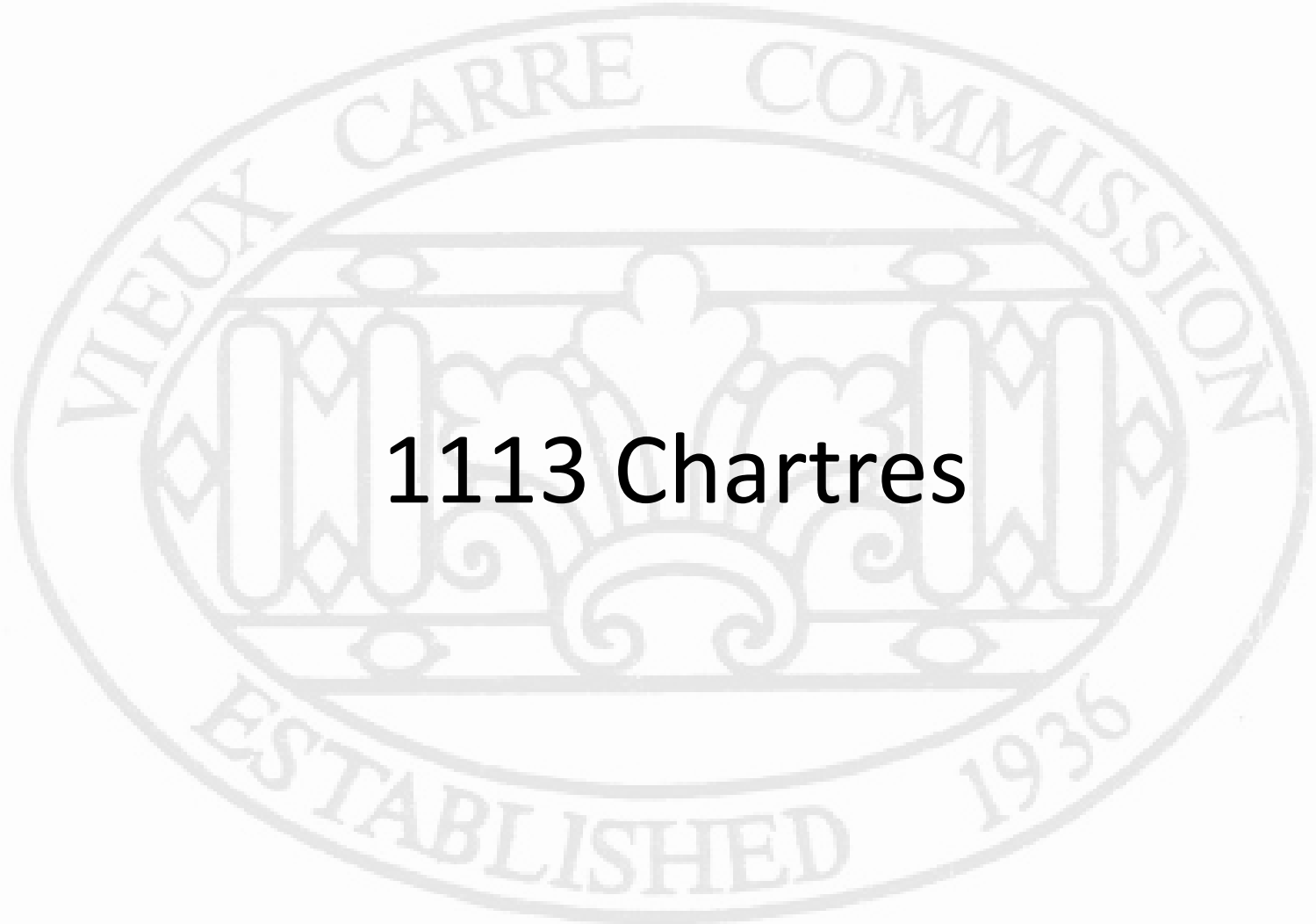




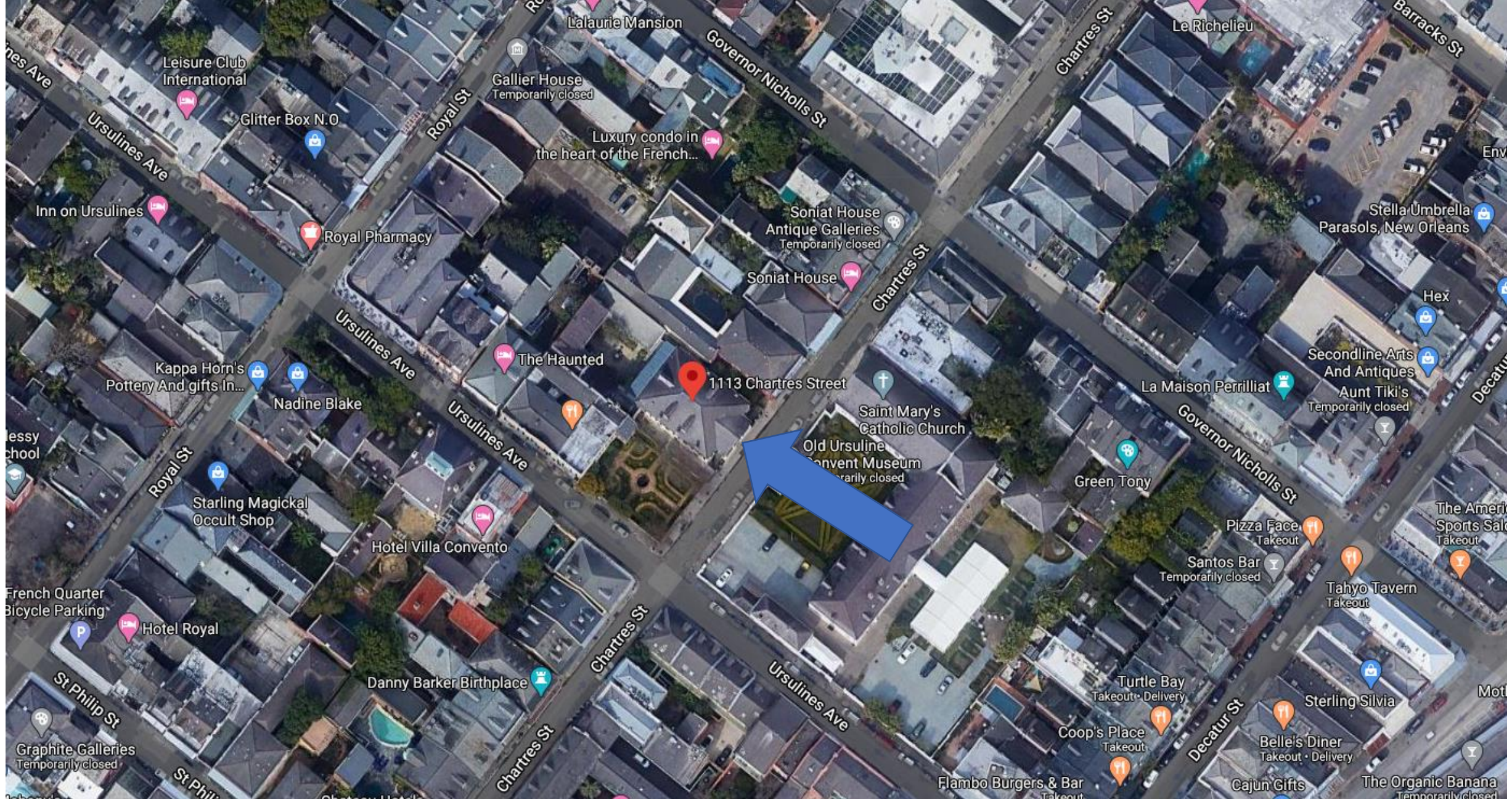
New Business



617 Dauphine
Deferred at Staff's Request



1113 Chartres

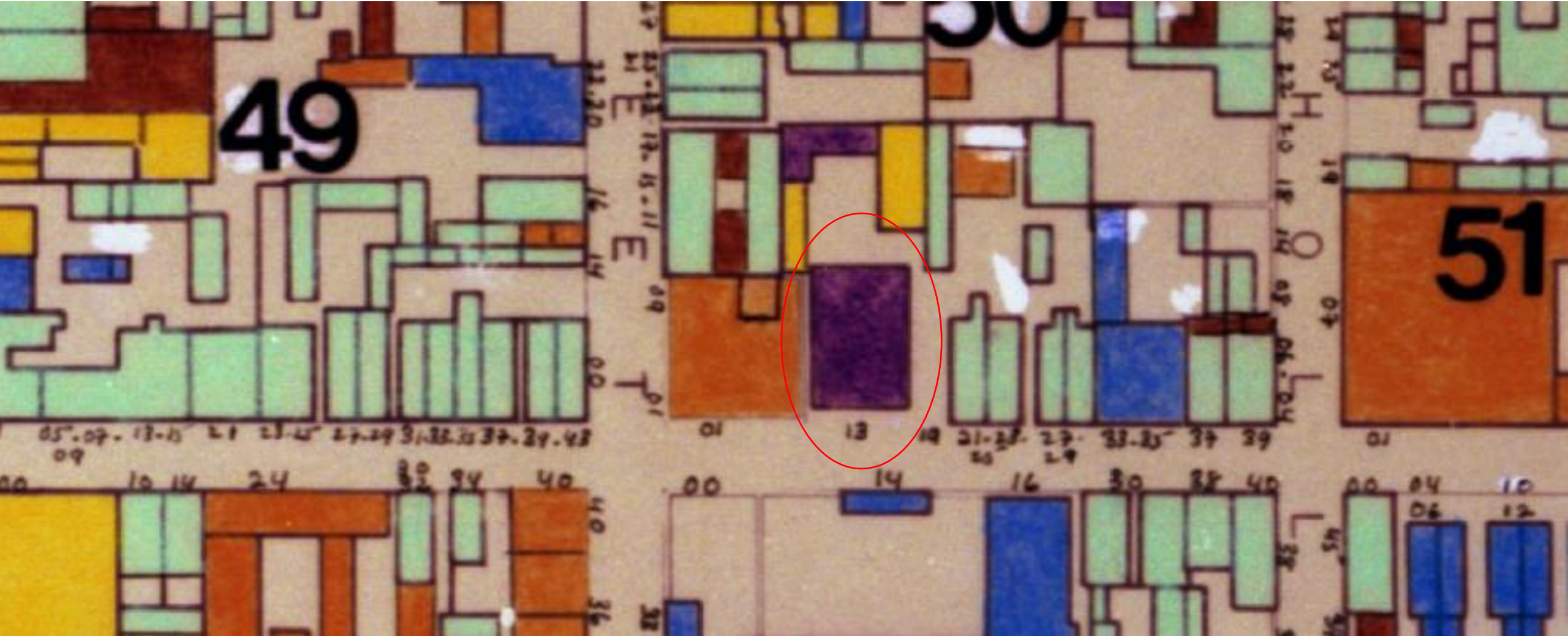


1113 Chartres

Vieux Carré Commission

May 14, 2024







1113 Chartres, 1900

Vieux Carré Commission

May 14, 2024





1113 Chartres, ca. 1920s

Vieux Carré Commission

May 14, 2024





1113 Chartres

Vieux Carré Commission

04 16 2020

May 14, 2024





1113 Chartres
Vieux Carré C

10 14 2021





1113 Chartres

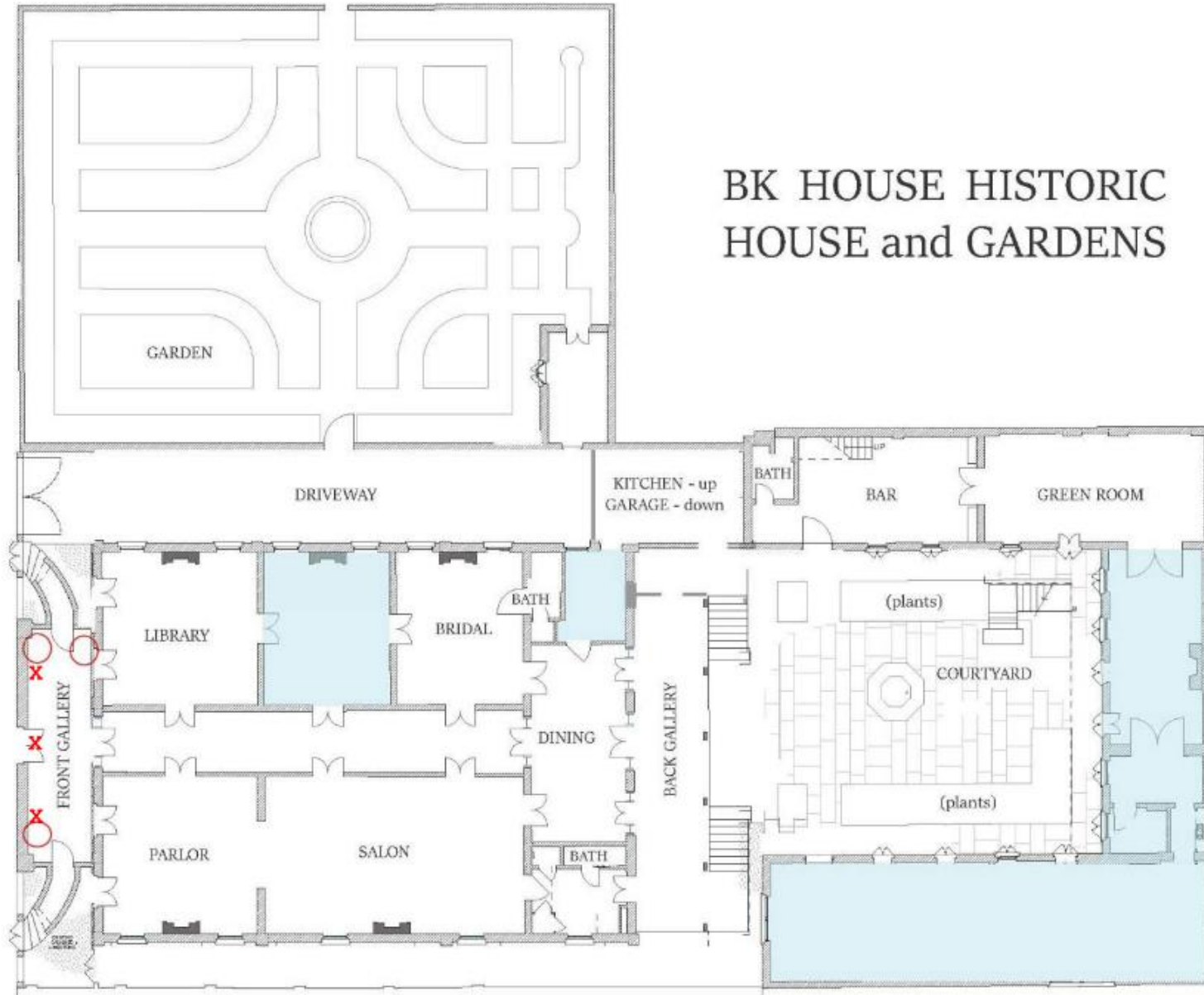
Vieux Carré Commission

May 14, 2024



CHARTRES STREET

BK HOUSE HISTORIC HOUSE and GARDENS





1113 Chartres

Vieux Carré Commission

May 14, 2024





1113 Chartres

Vieux Carré Commission

May 14, 2024





LETO 11 Mini MP - Surface Mount Spotlight. Leto 11 Mini MP offers an articulating, short-stem spotlight combined with a versatile and efficient LED. Excels in display based spaces like galleries, industrial and retail.

Ordering Code

Fixture	625								
	1	2	3	4	5	6	7		
Driver								--	--
	1	2	3	4	5	6	7	8	9

Product Specifications

SAMPLE: Fixture **625 - A90 - 717 - 27 - 07 - 08 - 01** | Driver **955 - 08 - 03 - 01 - 06 - STD - 120 - A90 - 07**

1 - Model	2 - LED	3 - Optic	4 - CCT	5 - Lumen	6 - Body Color
625 - Leto 11 Mini Monopoint	A90 - 93+ CRI Accuracy CT - Color Tuning ¹² (90 CRI) WD - Warm Dimming ¹⁰ (90 CRI)	717 - 17" 724 - 24" 760 - 60"	25 - 2500K 27 - 2700K 30 - 3000K 35 - 3500K 40 - 4000K 65 - 6500K 2765 - 2700K - 6500K ¹³	07 - 700 (6.1W) ^{10C} 10 - 1000 (9.1W) ^{10C/CT} 15 - 1500 (14W)	<i>Standard</i> 01 - White 02 - Black 08 - Silver <i>Premium</i> 52 - Mocha 53 - Charcoal 54 - Cerulean 55 - Firebrick 58 - Bronze WN - Warm Nickel AB - Aged Brass XX - RAL

7 - Baffle Color	1 - Canopy Style	2 - Canopy Color	3 - Suspension Type	4 - Stem Color
<i>Standard</i> 01 - White 02 - Black 08 - Silver <i>Premium</i> 52 - Mocha 53 - Charcoal 54 - Cerulean 55 - Firebrick BZ - Bronze WN - Warm Nickel AB - Aged Brass XX - RAL	955 - Round Slim 965 - Square Slim 955F - Round Flangeless 954 - Round Semi-Recessed	<i>Standard</i> 01 - White 02 - Black 08 - Silver <i>Premium</i> 52 - Mocha 53 - Charcoal 54 - Cerulean 55 - Firebrick BZ - Bronze WN - Warm Nickel AB - Aged Brass XX - RAL	03 - Solid Stem	<i>Standard</i> 01 - White 02 - Black 08 - Silver <i>Premium</i> 52 - Mocha 53 - Charcoal 54 - Cerulean 55 - Firebrick BZ - Bronze WN - Warm Nickel AB - Aged Brass XX - RAL

5 - Stem Height	6 - Driver	Dim Level	7 - Voltage	8 - LED	9 - Lumen
01 - 1" 06 - 6" 12 - 12" 24 - 24" XX - Custom (inches)	STD - Non Dimming ¹⁴ LCS - 0 - 10 Volt Protocol ¹⁴ DIM - Phase ^{11a} ELDOLC - EidoLED 0 - 10 Volt ^{10CT} DALI - Dali Protocol ^{10CT} LUTES - HiLume Ecodigital ¹² LUT2W - 2 Wire for phase ¹² CSMB - Casambi Wireless Control ^{10CT}	N/A 1% 1% 0.1% 0.1% 1% 1%	120 - 120V 277 - 277V 347 - 347V ^{10a}	Same as Fixture	Same as Fixture

¹¹ 120V only
¹² remote mount
¹³ not available with DALI or Lutron drivers
¹⁴ can be junction box mount



403-216-7043 | info@sensolighting.com

Light Engine: A90 Accuracy

Output: up to 1000lm
High Efficacy: up to 110 lumen/Watt
Color Options (CCT): 2500K, 2700K, 3000K, 3500K, 4000K,
Color Consistency: Range within a 3-MacAdam Ellipse
Color rendering (CRI): 93+ CRI & 50+ R9 Value

Driver

Dimming: 1% dimming standard with 0.1% option
Ripple: Industry leading Low ripple
Efficiency: Power Factor >0.9
Efficiency over 85%
Class 2 output for safety

Light Engine: Color Tuning

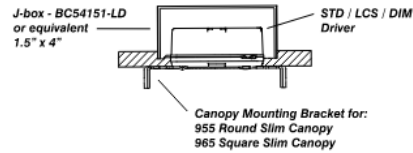
Output: up to 1000lm
High Efficacy: up to 95 lumen/Watt
Color Temperature (CCT): 2700K up to 6500K
Color Consistency: Range within a 3-MacAdam Ellipse
Color rendering (CRI): 90 CRI

Driver

Dimming: EldoDA, DALI, Casambi
Ripple: Industry leading Low ripple
Efficiency: Power Factor >0.9
Efficiency over 85%
Class 2 output for safety
Installation: Small Footprint allows retrofit installations

Driver Placement

- **Standard, LCS, and Phase dimming** drivers may be mounted in the junction box.
- Minimum volume required to mount drivers in junction box:
70mm x 40mm x 30mm



Light Engine: Warm Dimming

Output: 1000lm
High Efficacy: up to 98 lumen/Watt
Color Temperature (CCT): 3000K dimmed to 1800K
Color Consistency: Range within a 3-MacAdam Ellipse
Color rendering (CRI): 90 CRI

Driver

Dimming: 1% dimming standard with 0.1% option
Dimmer switch must be capable of dimming less than 5% (Lutron DIVA is recommended)
Ripple: Industry leading Low ripple
Efficiency: Power Factor >0.9
Efficiency over 85%
Class 2 output for safety
Installation: Small Footprint allows retrofit installations

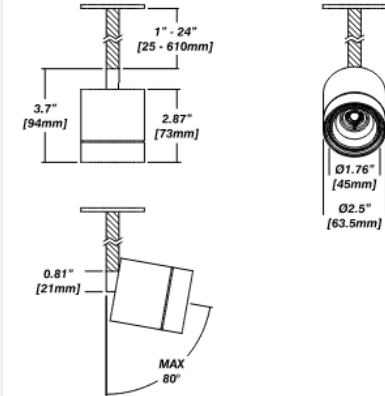
Installation

- 330° of rotation and 80° of tilt
- Preset stem height between 1" and 24" OR custom heights available

Construction

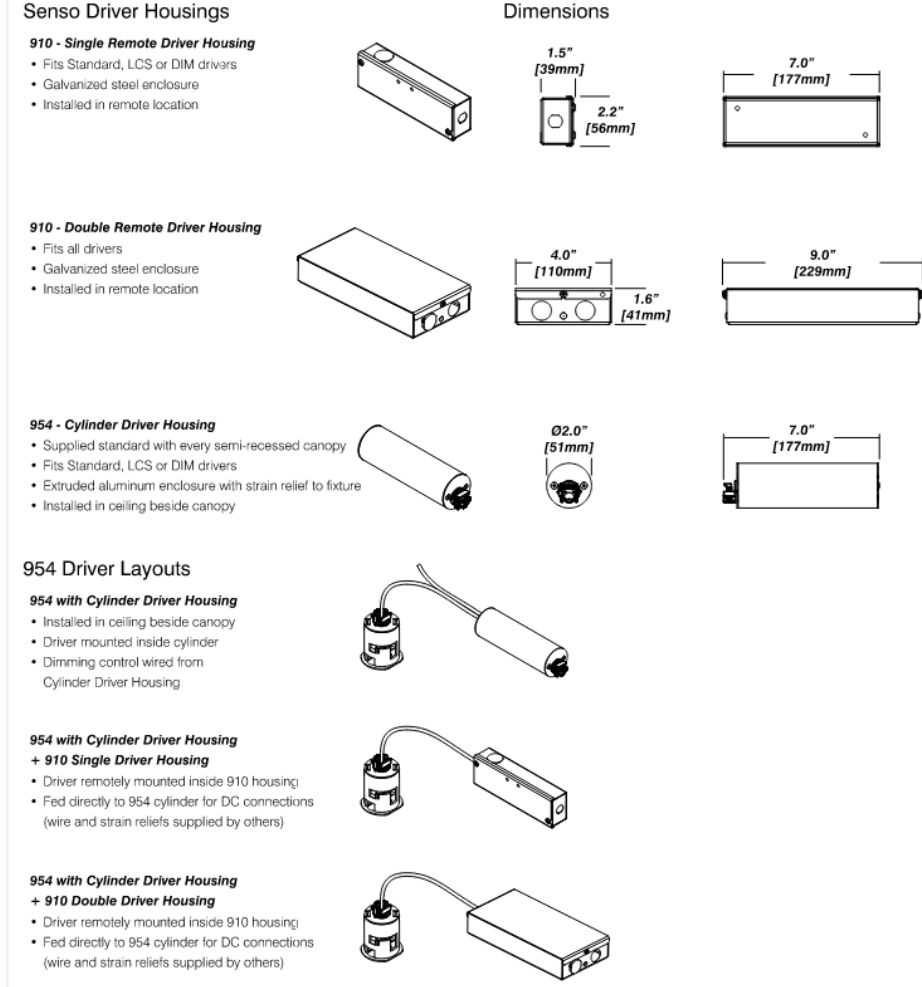
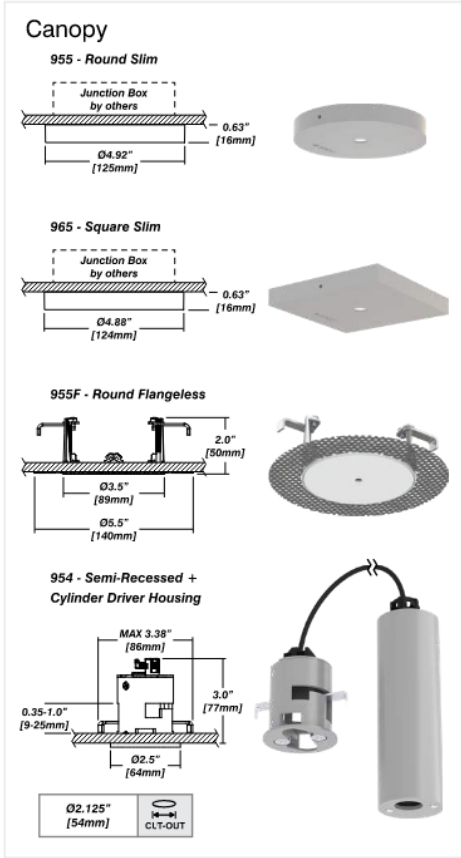
- Machined aluminum construction
- Scratch resistant, satin powder coat finish
- Made in Canada

Dimensions



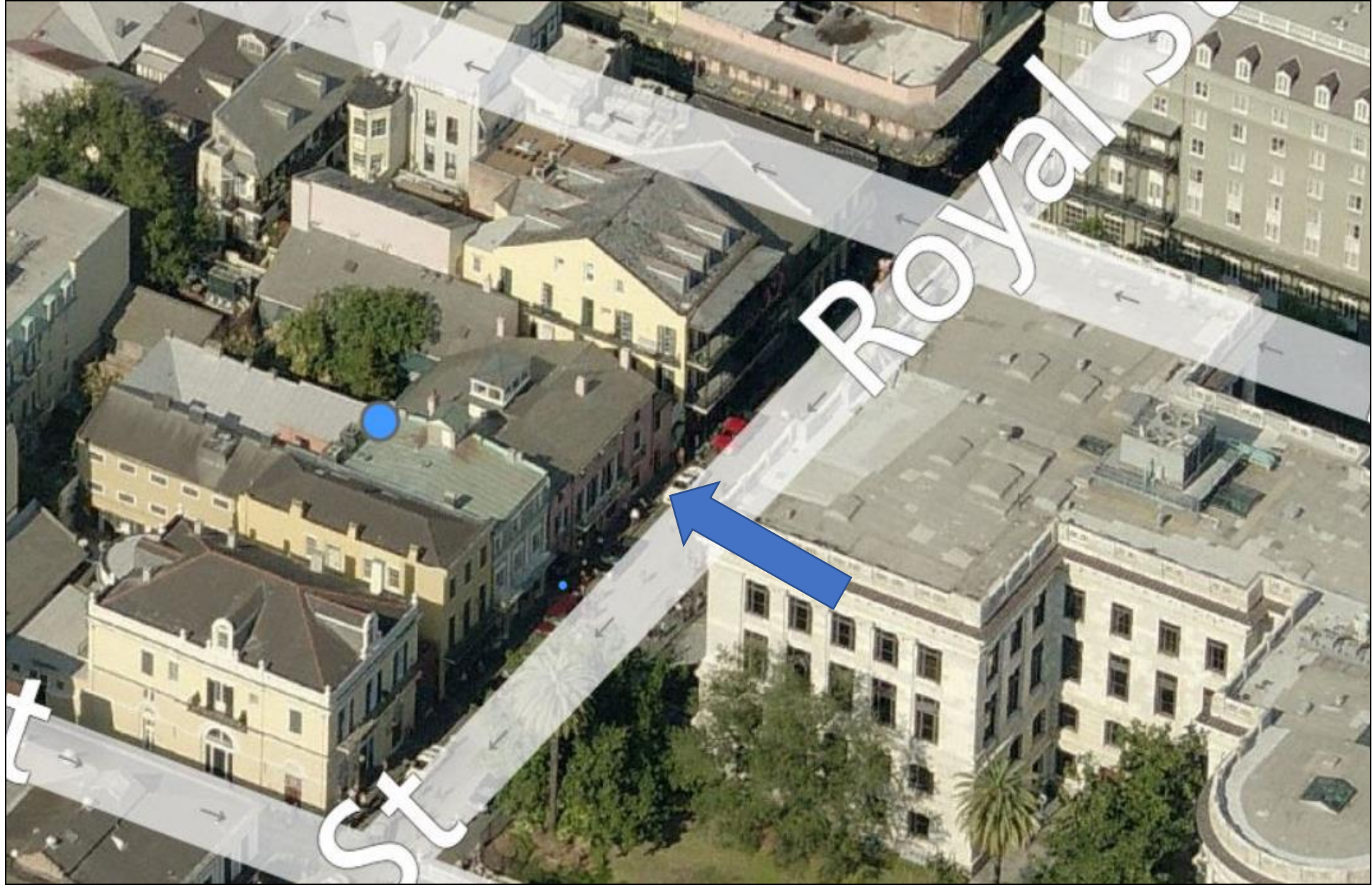
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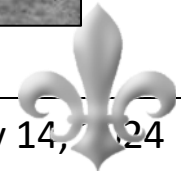
417 Royal



417 Royal



417 Royal, pre-1895





417 Royal, c. 1900



417 Royal, 1917



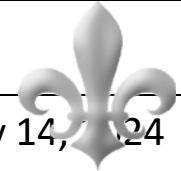
417 Royal, c. 1930s



417 Royal, c. 1954



417 Royal, c. 1959





417 Royal, c. 1965



417 Royal



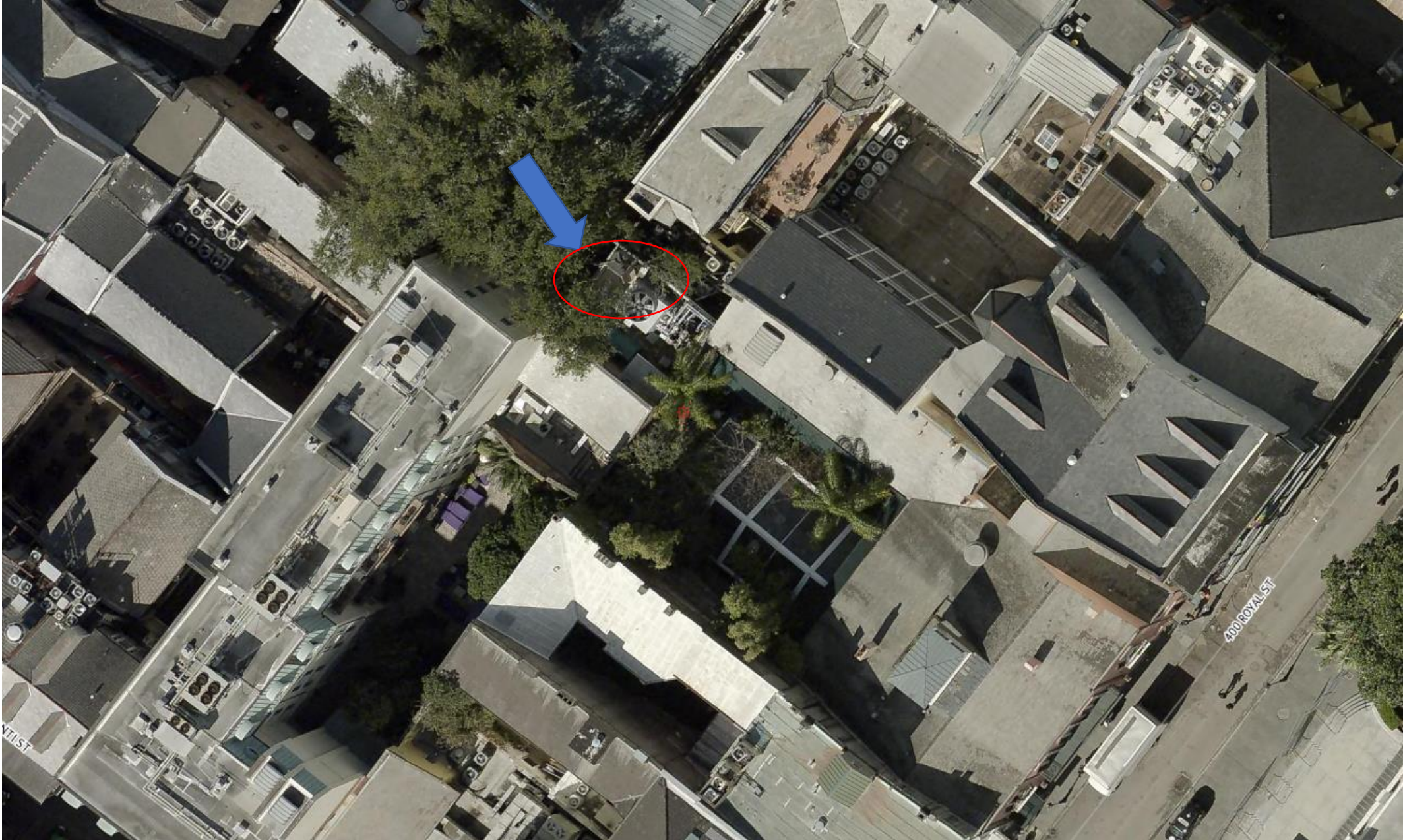
417 Royal





417 Royal - 2014





417 Royal

Vieux Carré Commission

May 14, 2024





417 Royal

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May 14, 2024





417 Royal

Vieux Carré Commission

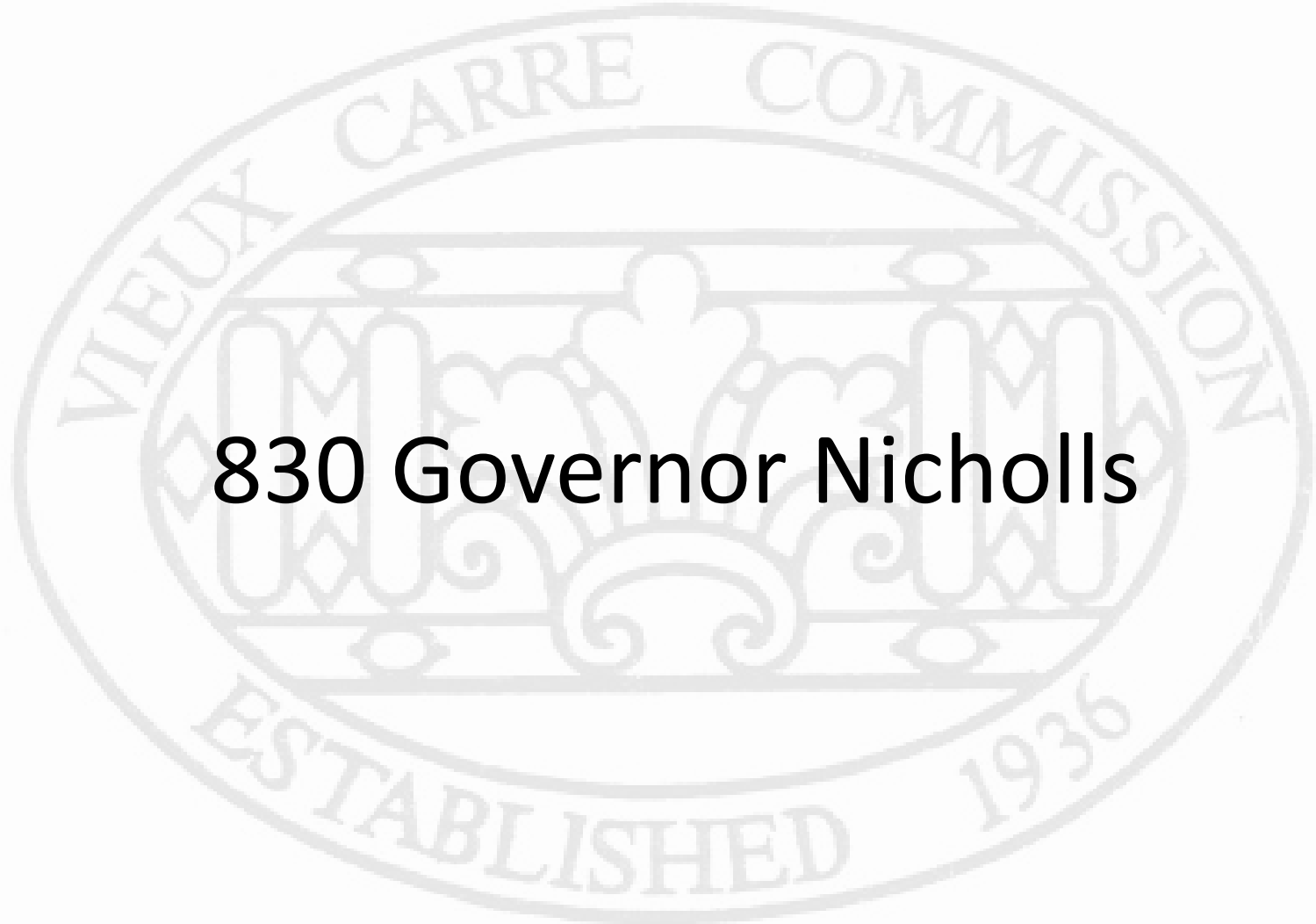
May 14, 2024





417 Royal – from 420 Bourbon





830 Governor Nicholls



830 Governor Nicholls
Vieux Carré Commission

May 14, 2024







830 Governor Nicholls
Vieux Carré Commission

May 14, 2024





830 Governor Nicholls
Vieux Carré Commission

May 14, 2024





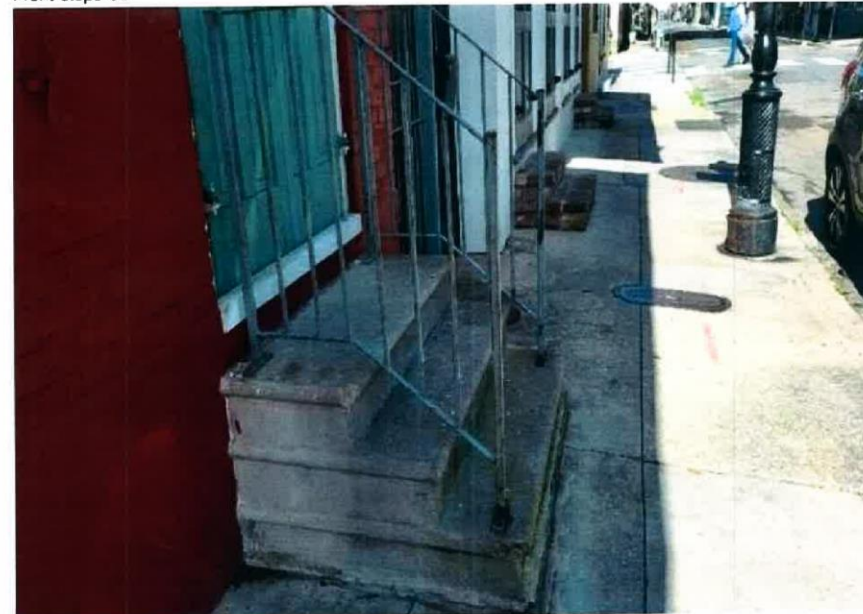
830 Governor Nicholls
Vieux Carré Commission

May 14, 2024





Front steps 36"



Walkway

IRON WORK SERVICE CO.

2729 N. DERBIGNY STREET
NEW ORLEANS, LA. 70117
949-8412

Date 4/26/2024

TO GARY R. WILLIAMS

ADDRESS 830 Governor Nicholls

CITY NEW ORLEANS, LA 70116

Upon acceptance, the undersigned agrees to furnish labor and materials in making the improvements described below in accordance with standard specifications and terms, at municipal No. 830 Governor Nicholls St. NOLA 70116

INSTALL MATCHING HANDRAILS ON STEPS AT 830 GOVERNOR NICHOLLS

- Handrails 1/4 x 1
- Posts 1 x 1 TUBIN
- Pickets 1/2 x 1/2 solid

All of the above work to be done for the sum of:
ONE THOUSAND, ONE HUNDRED + SEVENTY Dollars. (\$ 1,170.00)

Terms of Payment: _____

IRON WORK SERVICE CO.

per [Signature]

ALL WORK GUARANTEED AND INSURED

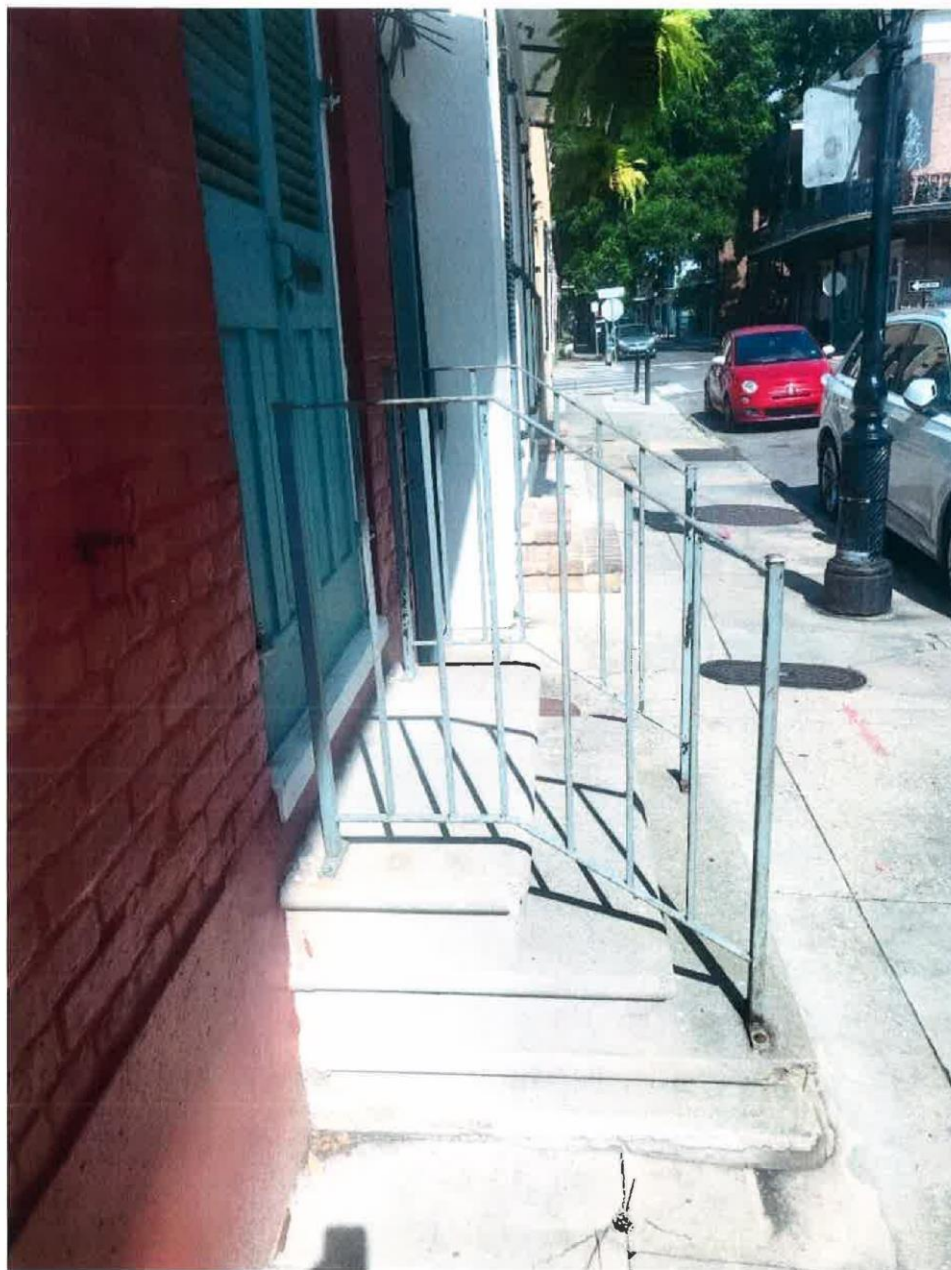
IRON WORK SERVICE CO.,

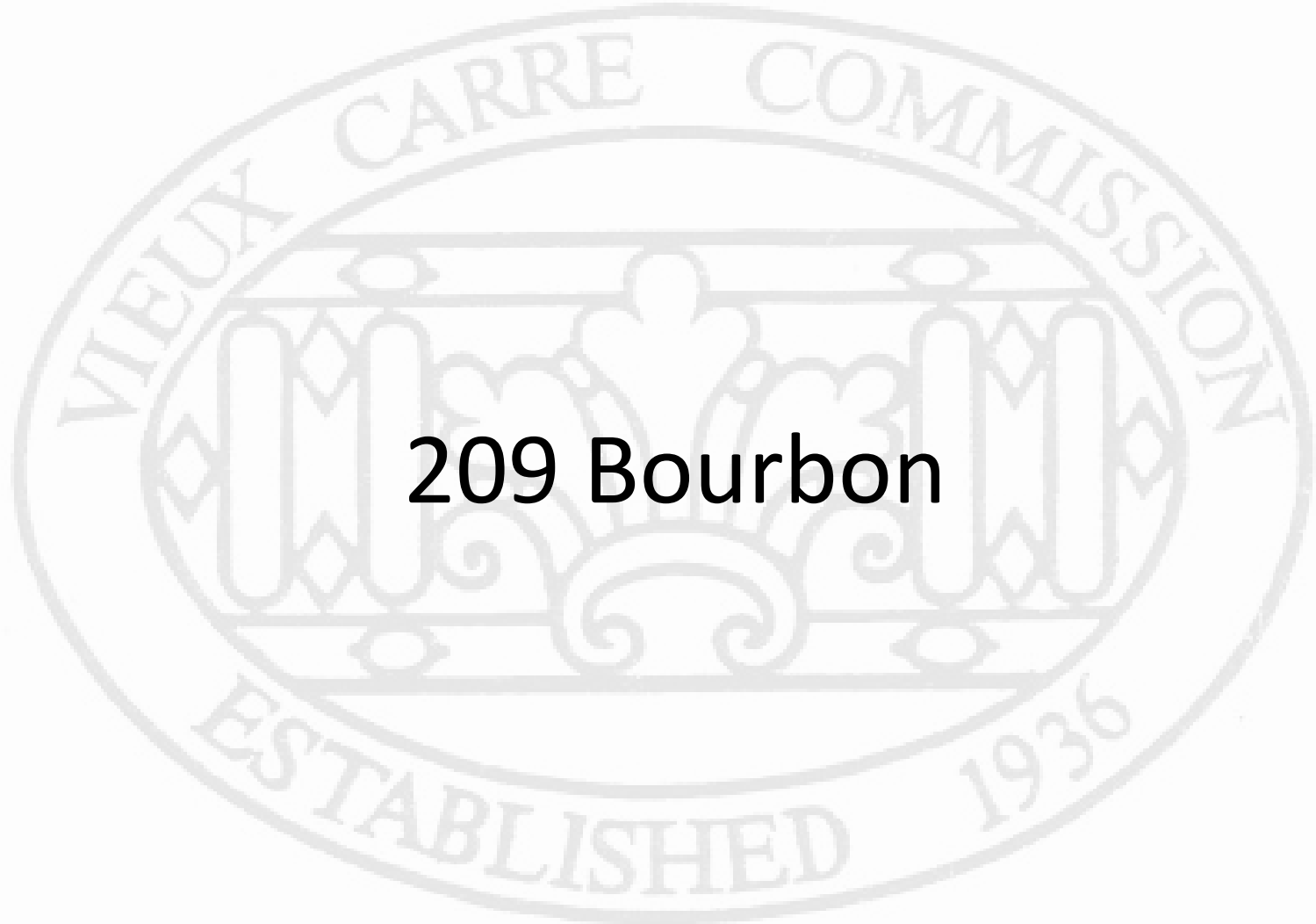
The undersigned hereby accepts and enters his order for the above labor, materials and improvements at the above described address subject to all prices and terms as listed above. It is understood that all work is to be done in a workman-like manner, according to approved standards but does not include corrections of unapproved existing conditions. It is also understood that this written contract embodies the entire agreement of the parties in relation hereto and no other understandings or agreements, verbal or otherwise, exist between the parties except as herein expressly set forth. It is further understood that all past due accounts are subject to 10% interest, per annum, and, further, should it be necessary for the IRON WORK SERVICE CO. to employ the services of an attorney to collect any monies due under this agreement the undersigned agrees to pay the fees of such attorney which are hereby fixed at 20% of the amount then due, the minimum such attorney's fees being fixed at \$100.00.

Date: 4/26/2024

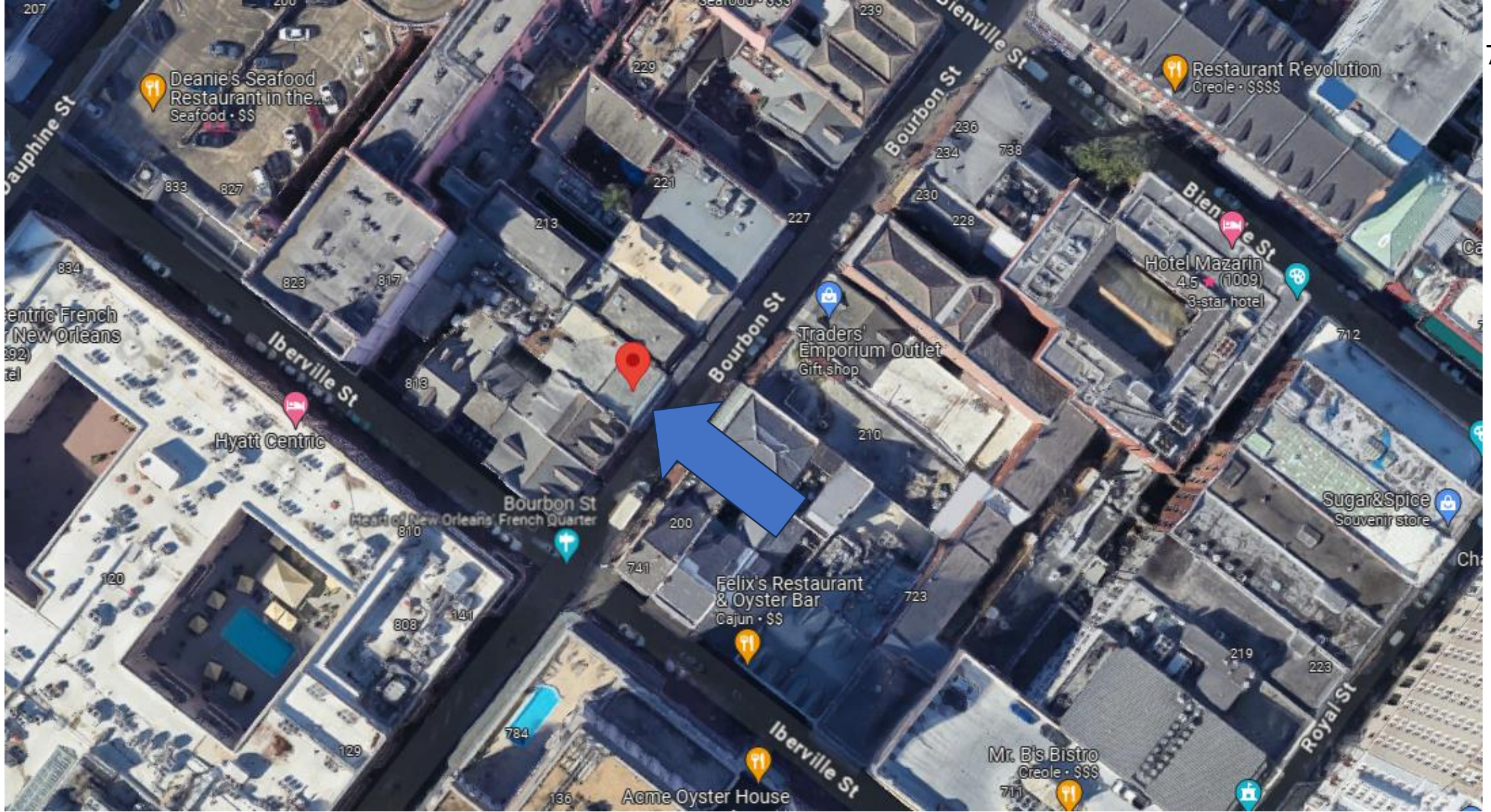
[Signature]
BY _____







209 Bourbon



209 Bourbon

Vieux Carré Commission

May 14, 2024





209 Bourbon

Vieux Carré Commission

May 14, 2024





209 Bourbon, 1909

Vieux Carré Commission

May 14, 2024





209 Bourbon, 1964

Vieux Carré Commission

May 14, 2024





209 Bourbon

Vieux Carré Commission

May 14, 2024





209 Bourbon

Vieux Carré Commission

May 14, 2024





209 Bourbon

Vieux Carré Commission

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209 Bourbon

Vieux Carré Commission

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209 Bourbon

Vieux Carré Commission

May 14, 2024



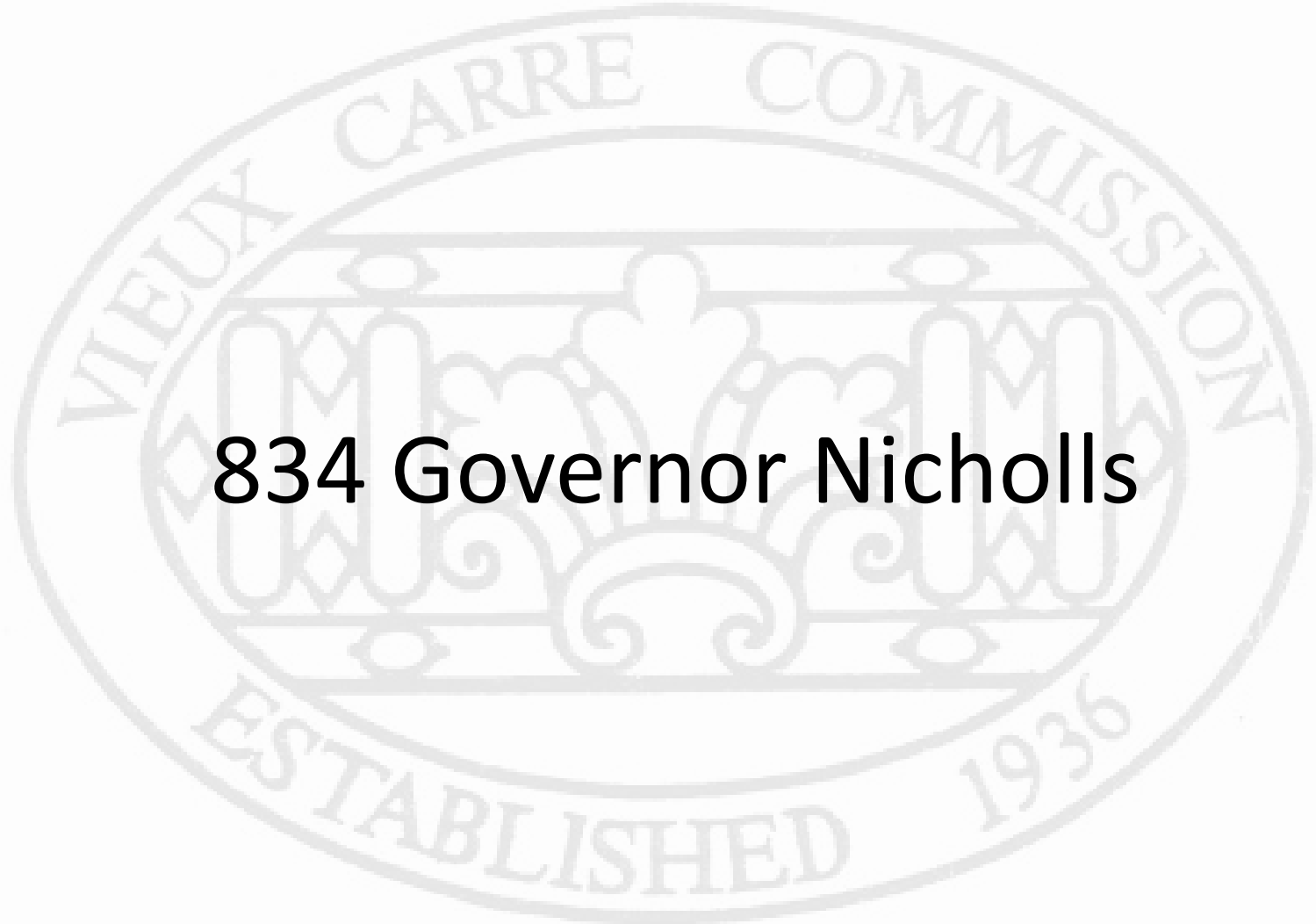


209 Bourbon

Vieux Carré Commission

May 14, 2024





834 Governor Nicholls



834 Governor Nicholls





834 Governor Nicholls

Vieux Carré Commission

May 14, 2024





834 Governor Nicholls

Vieux Carré Commission

May 14, 2024





834 Governor Nicholls – 2013



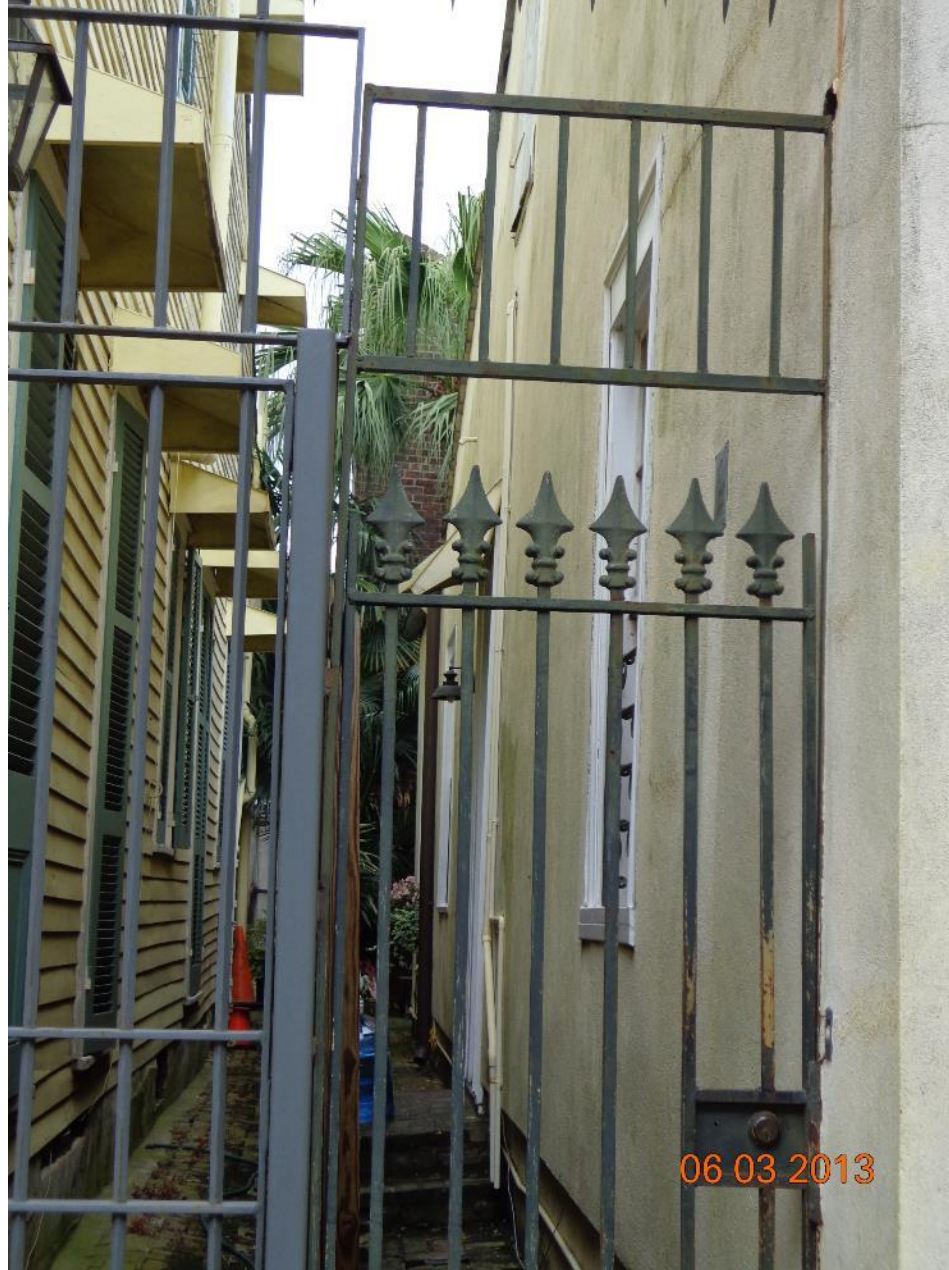


834 Governor Nicholls – 1964

Vieux Carré Commission

May 14, 2024





834 Governor Nicholls

Vieux Carré Commission

May 14, 2024





834 Governor Nicholls

Vieux Carré Commission

May 14, 2024



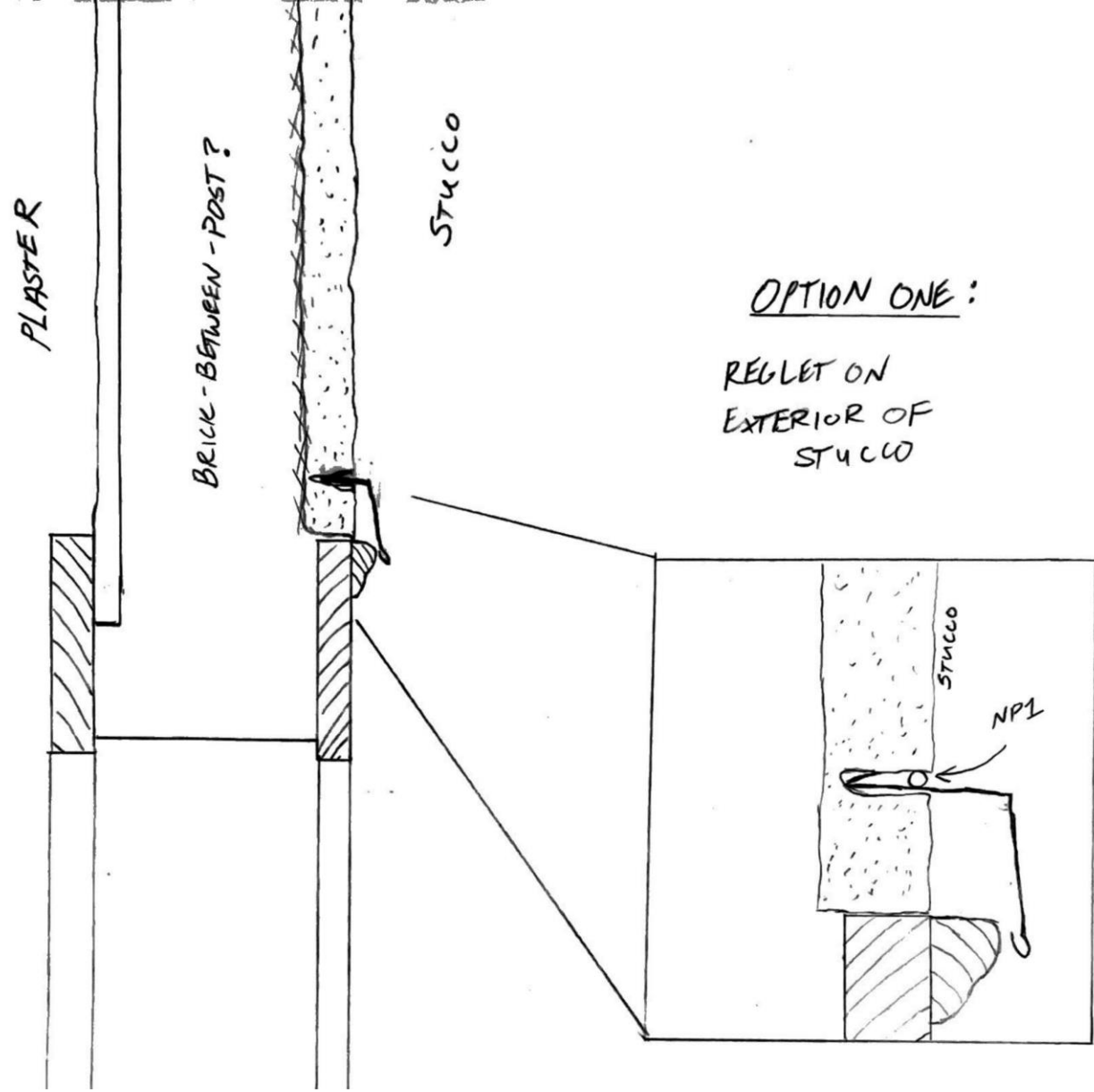


834 Governor Nicholls

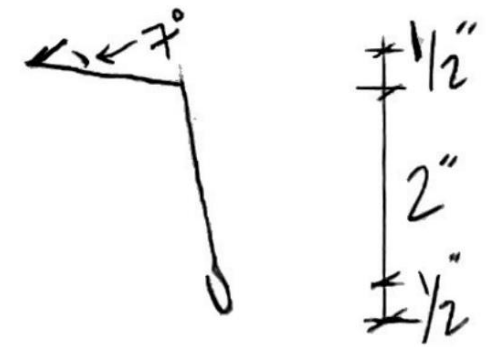
Vieux Carré Commission

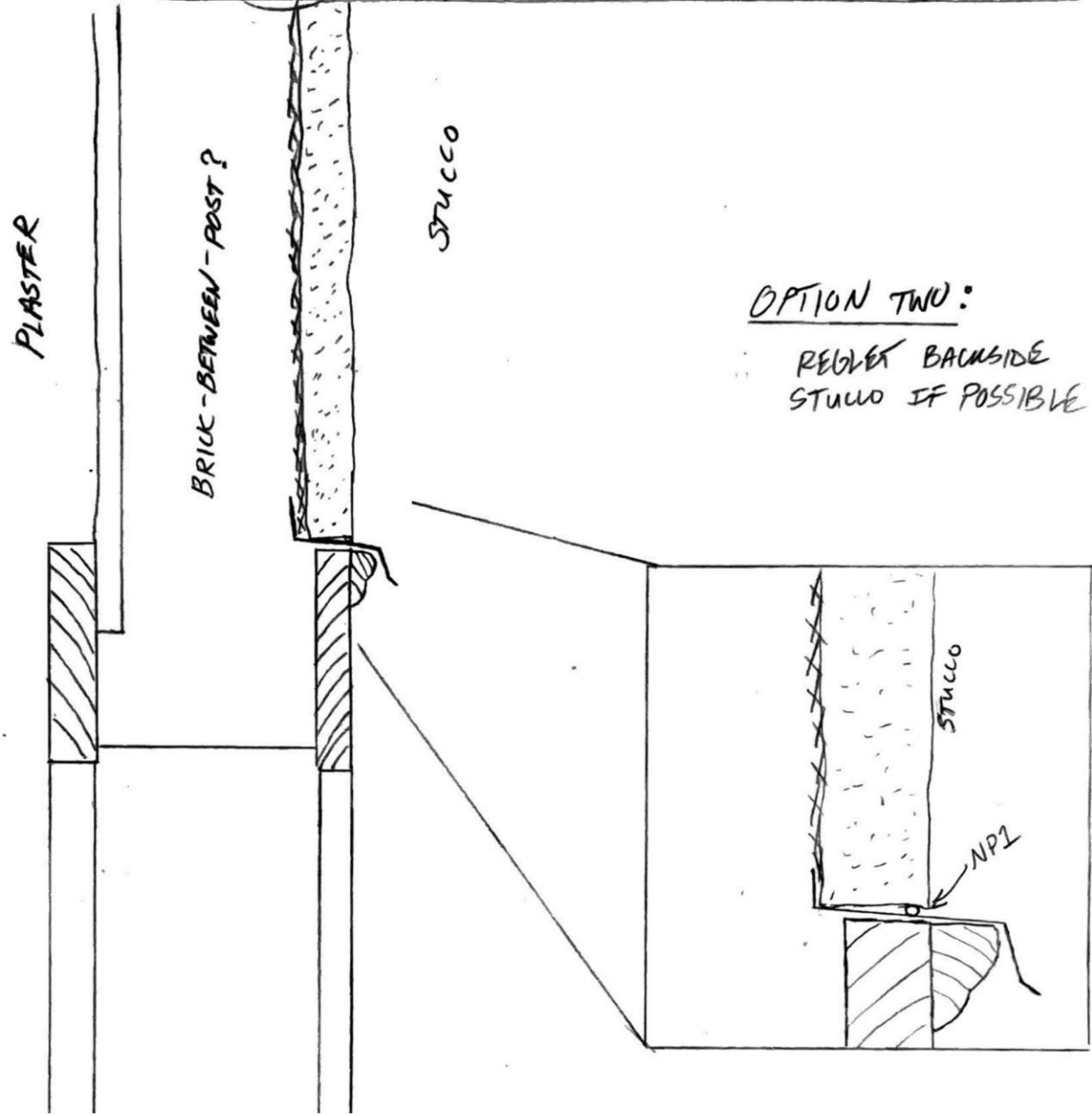
May 14, 2024





COPPER FLASHING

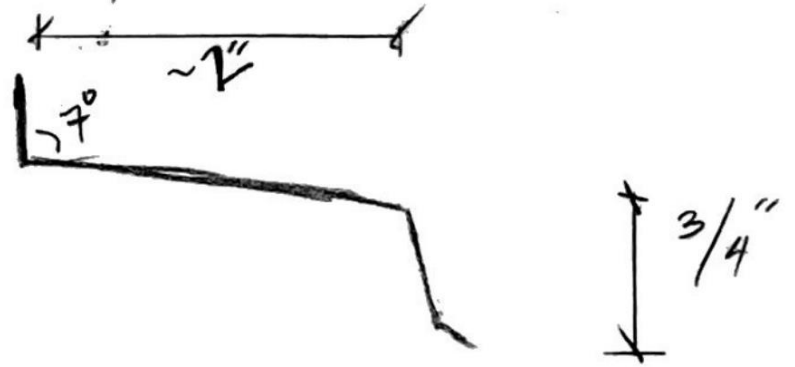




OPTION TWO:

REVERT BACKSIDE
STUCCO IF POSSIBLE.

COPPER
FLASHING

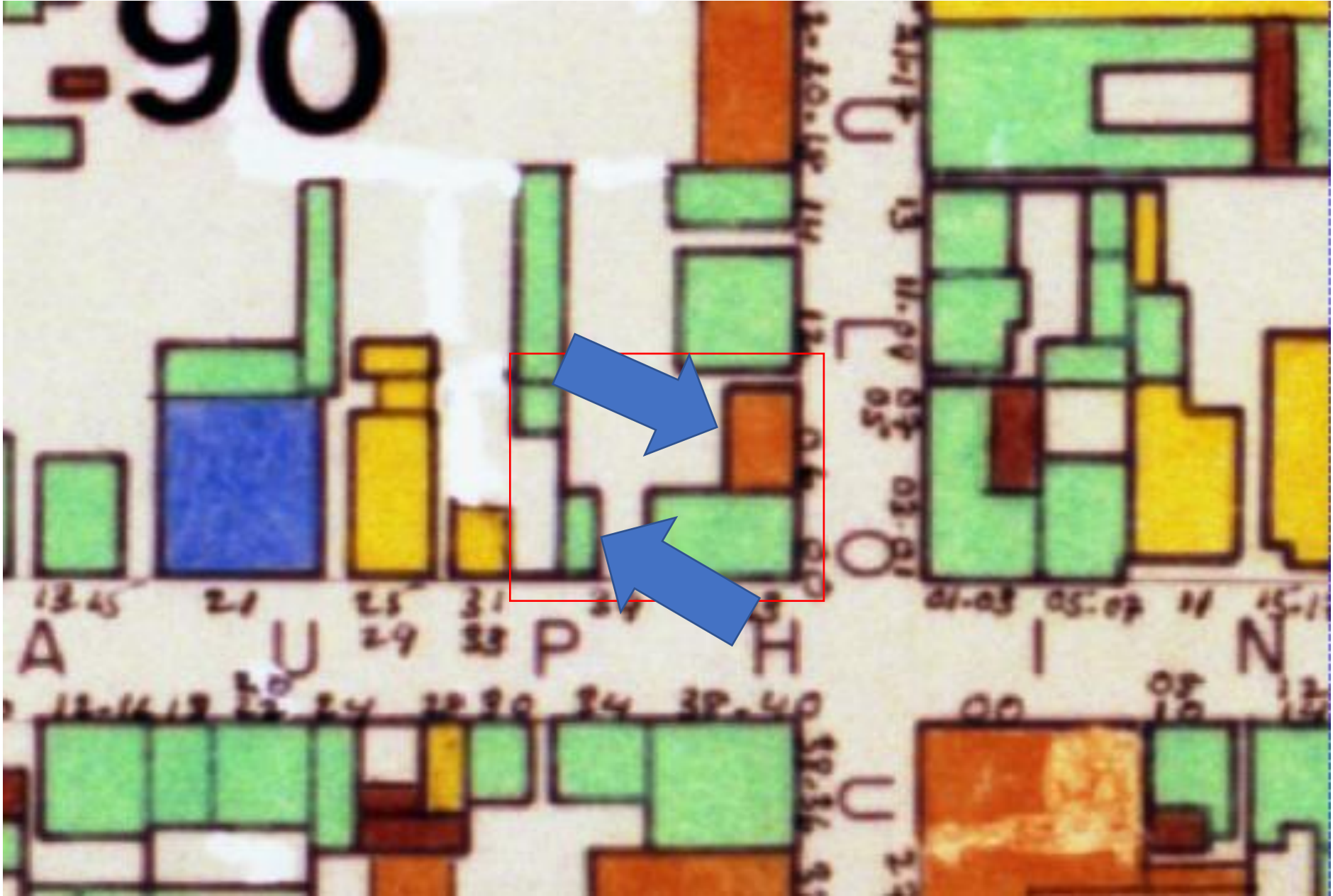




1218 Decatur
Deferred at Staff's Request



906 Toulouse



906 Toulouse

Vieux Carré Commission

May 14, 2024





906 Toulouse

Vieux Carré Commission

May 14, 2024





906 Toulouse

Vieux Carré Commission

May 14, 2024





906 Toulouse

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May 14, 2024





906 Toulouse

Vieux Carré Commission

May 14, 2024





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Vieux Carré Commission

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Vieux Carré Commission

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May 14, 2024





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906 Toulouse

Vieux Carré Commission

May 14, 2024





906 Toulouse

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May 14, 2024





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906 Toulouse

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May 14, 2024





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May 14, 2024





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May 14, 2024



906 Toulouse

Vieux Carré Commission



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May 14, 2024





906 Toulouse

Vieux Carré Commission

May 14, 2024





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Vieux Carré Commission

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May 14, 2024





906 Toulouse

Vieux Carré Commission

01 29 2024

May 14, 2024





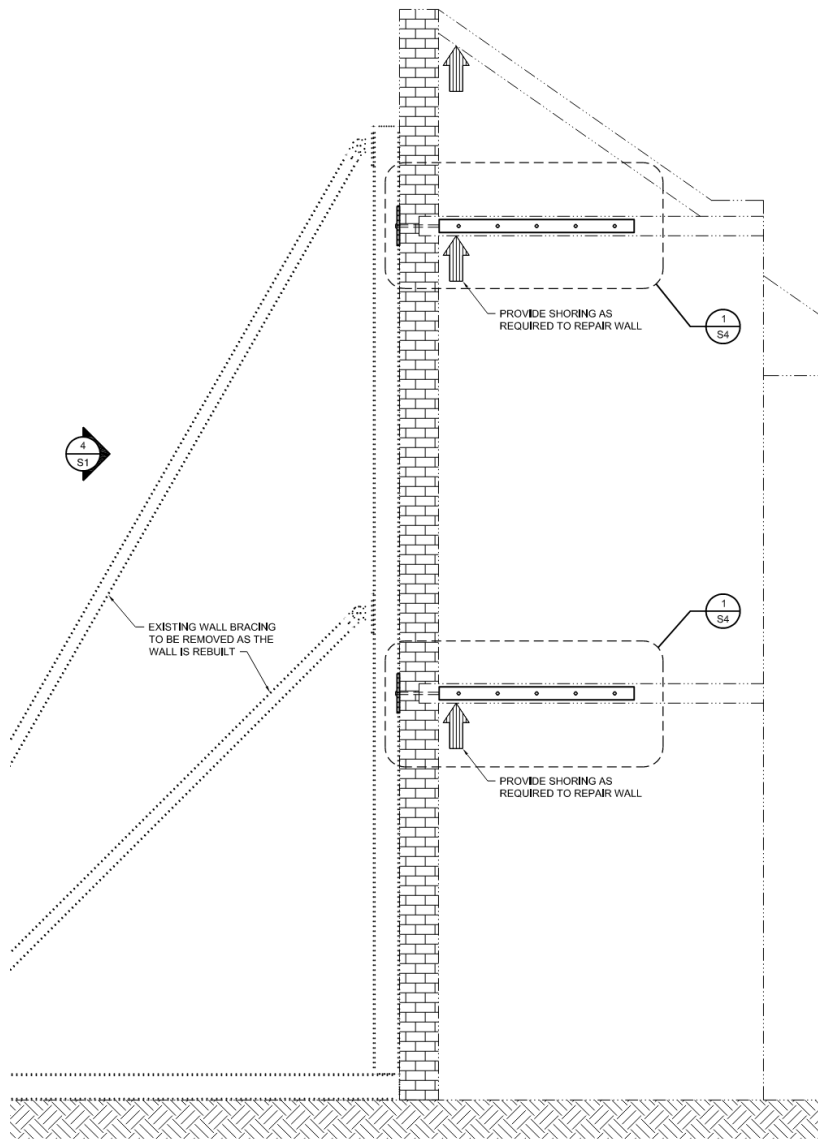
906 Toulouse

Vieux Carré Commission

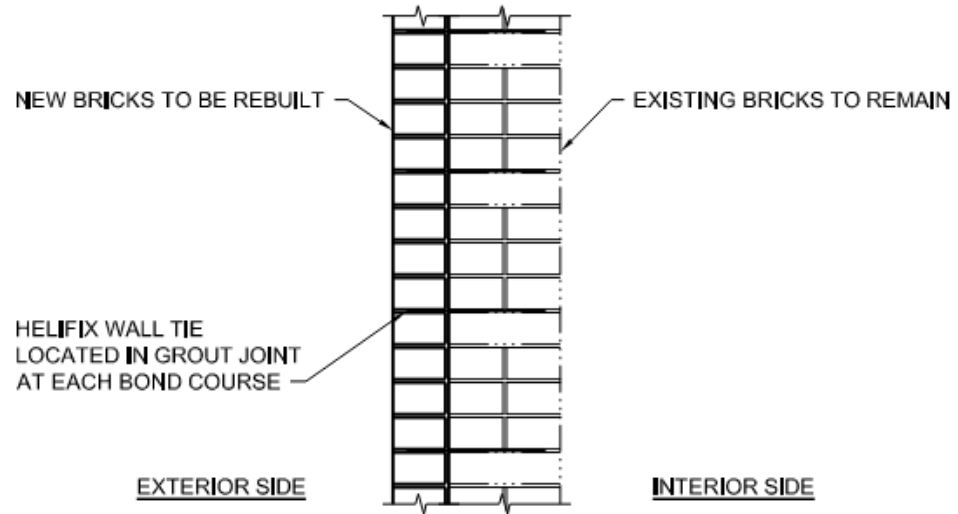
04 08 2024

May 14, 2024





3 SECTION
S1 SCALE: 1/2"=1'-0"



- DETAIL NOTES:**
1. ONCE ALL SHORING IS IN PLACE, THE EXTERIOR WYTHE OF THE DAMAGED BRICK WALL IS TO BE REMOVED.
 2. ALL BRICKS IN GOOD CONDITION SHOULD BE CLEANED AND STORED ON SITE.
 3. REUSING THE SAME BRICKS FROM THE ORIGINAL WALL, REBUILD THE EXTERIOR WYTHE OF THE BRICK WALL USING VCC APPROVED MORTAR (NEW BRICKS SHOULD MATCH EXISTING BRICKS IN SIZE AND COMPOSITION).
 4. BRACE THE NEW WYTHE OF THE BRICK WALL TO THE EXISTING WALL WITH HELIFIX ANCHORS LOCATED IN THE GROUT JOINT AT EACH BOND COURSE OF BRICK (SPACED AT 48" O.C.), INSTALL PER MANUFACTURERS DIRECTIONS AND SPECIFICATIONS.
 5. REINSTALL EXISTING WALL TIES TO MATCH THE EXISTING LOCATIONS (SEE 3/S4).
 6. APPLY STUCCO COAT TO NEW WALL TO MATCH THE EXISTING CONDITIONS PRIOR TO THE DAMAGE OCCURRING.

2 BRICK REPAIR DETAIL
S1 SCALE: 1"=1'-0"

We, the undersigned owners, authorize ABRY BROTHERS, INC., hereinafter called the contractor, to furnish all material, labor, and equipment to do the following work at:

ADDRESS:906 Toulouse Street New Orleans LA 70112

- Removing and rebuilding approximately 1,155 sqft of the exterior wythe of brick wall per the plans and specifications provided
- Applying a plaster finish and paint to match the rest of the structure
- Repairing the existing wall tie supports
- Repairing interior cracking and damage from the fire
- Repairing the damaged roof on the main structure

The owners shall be responsible for all landscaping, flowers, shrubs, and grass.

The contractor will apply for and pay for all building permits required by any city or parish ordinances.





Appeals and Violations



1133 Royal



1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

08 17 2020

May 14, 2024





1133 Royal – Photo from Previous Applicant





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

03 24 2022

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024





1133 Royal

Vieux Carré Commission

May 14, 2024



Name: **Byron Miller** Proposal#: **R611182021034544-1** Date: **11/18/2021**

Component In Base System Investment		
Qty	Model #	Description
1	NV16-HTPMP-17.2K	Trane/Mitsubishi NTXWEL18 Indoor Section, NTXSEL18 Outdoor Section and Remote Controller
1	TR-MIT-SYS-WAR-NV16/18	Trane/Mitsubishi Residential System Warranty Includes 10 Year Compressor, 10 Year Parts, & 5 Year Installation.
1	HTPMP-1WALL-1	Install Outdoor Heat Pump Section And Indoor High Wall Mounted Air Handler.
1	INSTALL-DISC-OUTDOOR	Install Disconnect Switch and Fuses at Outdoor Section.
1	ROMEX-10/2x25	Install 10-2 Electrical Romex Wiring To Outdoor/Indoor Section.
1	OUTDR- MTL-WALL_BRKT	Install Metal Wall Bracket For Outdoor Section.
1	COND-DRAIN-MINI-1	Install Insulated Condensate Gravity Drain For Wall Mount Air Handler.
1	LIN-COVER-10	Install Line-Hide Cover To Hide The Refrigerant Line Set On The Exterior Wall.
1	REF-LINST-6	Install New 1/4" & 3/8" Copper Insulated Refrigerant Line Set And Control Wiring.

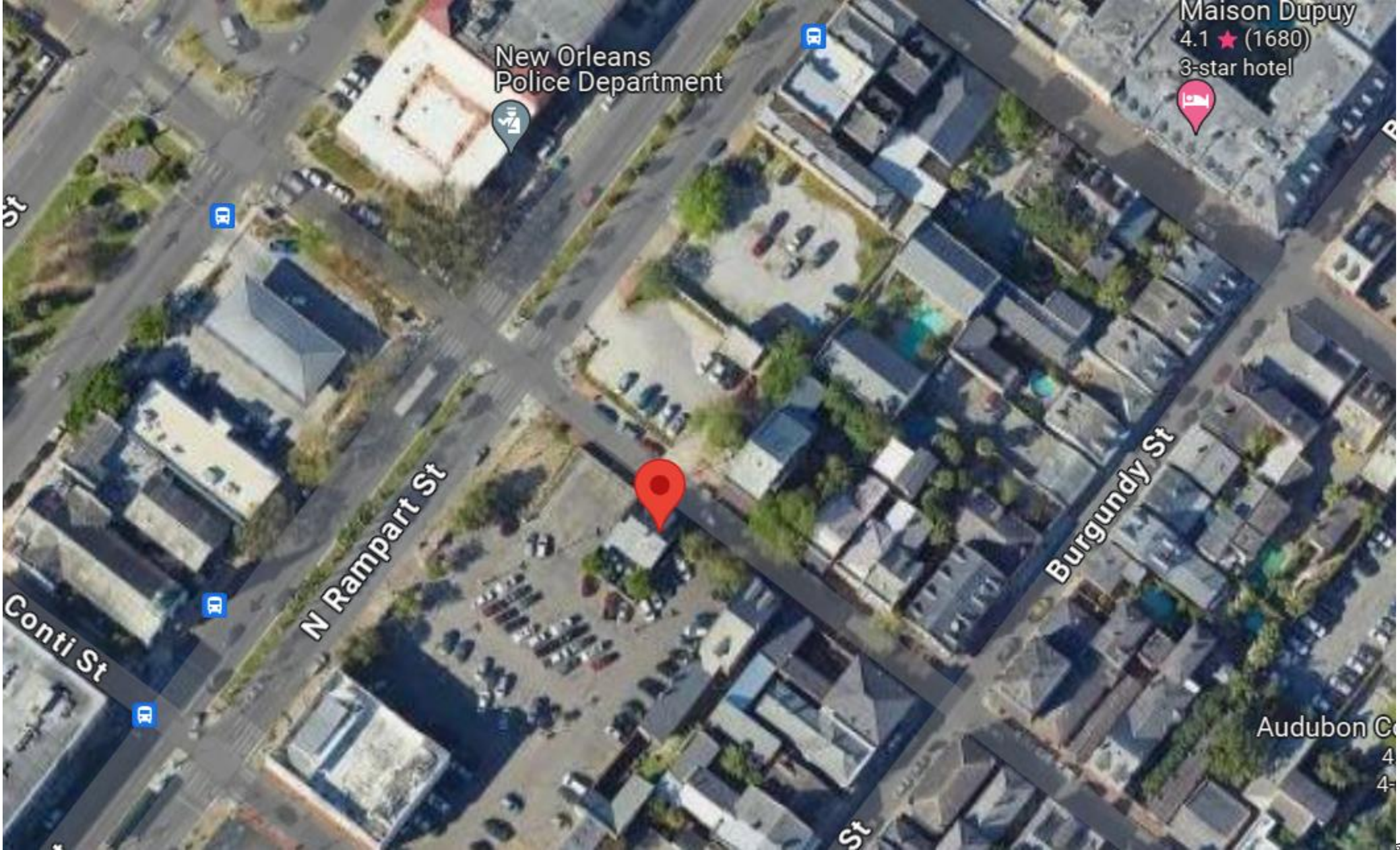
Inclusions
<ul style="list-style-type: none"> • Our Exclusive Installation Warranty • Complete System Start Up • Ensure Proper Refrigerant Levels • Remove And Dispose Of Old Equipment • Clean Up Work Areas Before Leaving Worksite • Our Quality Assurance Review • Our Exclusive Guarantees

Exclusions
<ul style="list-style-type: none"> • Electrical Work • Plumbing Work • Roofing Work • Carpentry Work • Attic Stair Removal • Closet Door Removal • Mold Remediation Not Included.





1026 St Louis



1026 St Louis

Vieux Carré Commission

May 14, 2024





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May 14, 2024





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Vieux Carré Commission

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May 14, 2024





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May 14, 2024





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Vieux Carré Commission

May 14, 2024





Existing Condition

1026 St Louis

Vieux Carré Commission

May 14, 2024



The Jewel - Phase 5
COURTYARD

OWNER
John Stubbs
631 Burgundy Street
New Orleans, LA 70113
(202) 276-5646

ARCHITECT
TRAPOLIN-PEER
850 TCHOUPITOULAS ST
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR

NOT FOR
CONSTRUCTION

REVISION #	DESCRIPTION	DATE

© TRAPOLIN-PEER ARCHITECTS, APC
PROJECT NUMBER
CN18876
ISSUE DATE
04/30/2024

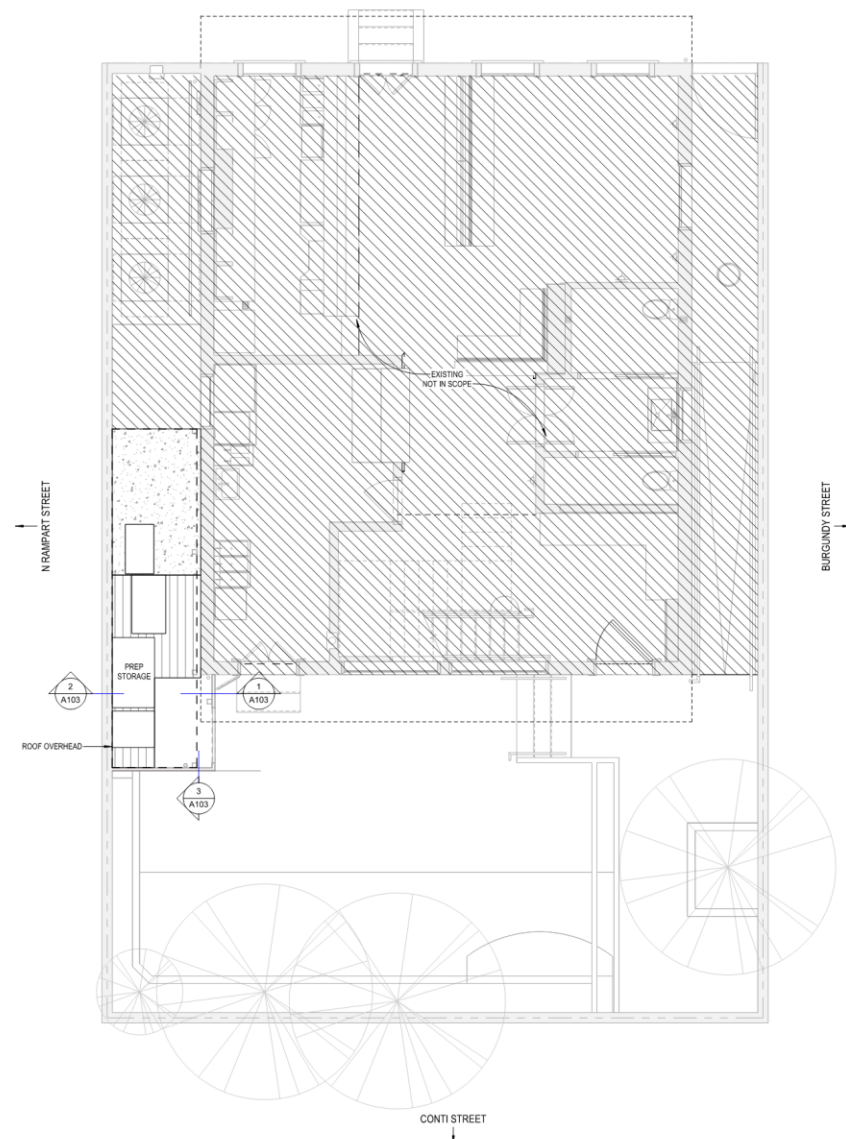
VCC REVIEW -
COURTYARD
SERVICE AREA

A102



ST. LOUIS STREET

ST. LOUIS STREET



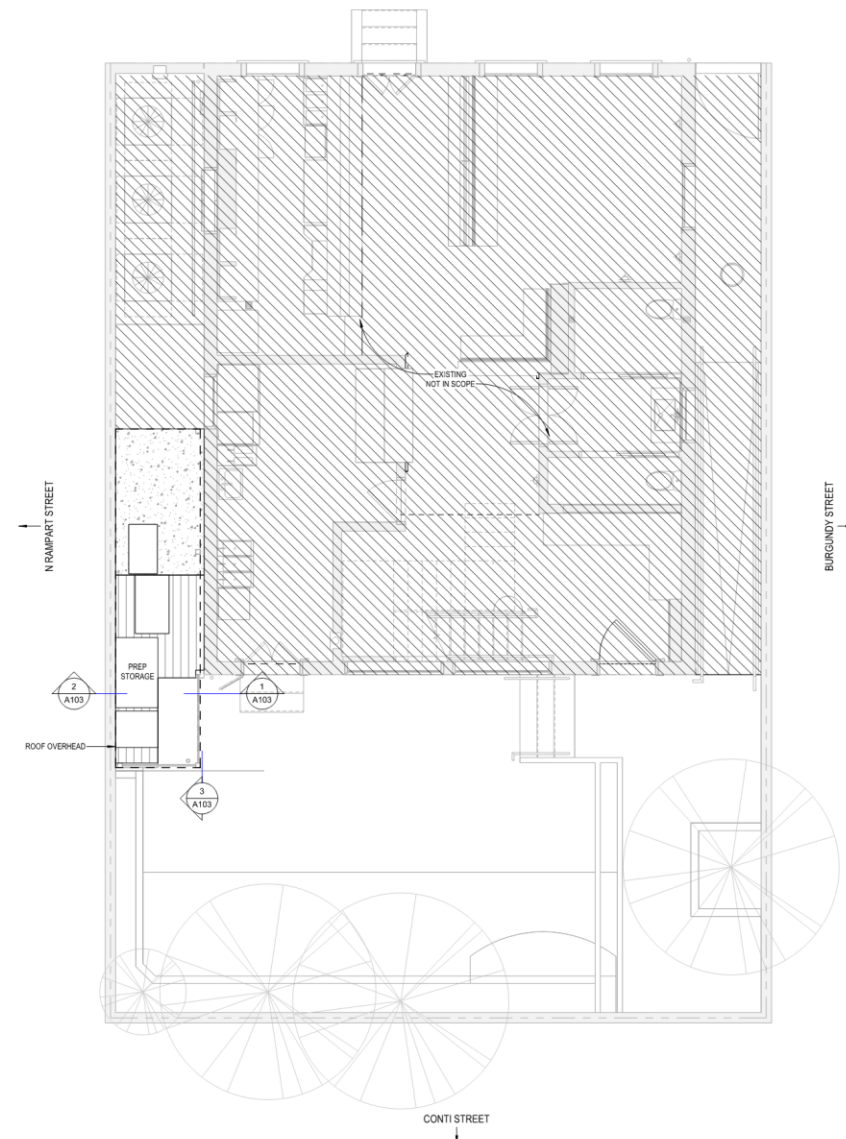
1 FIRST FLOOR PLAN - OPTION 01 - SERVICE AREA
A102 SCALE: 1/4" = 1'-0"

BURGUNDY STREET

N RAMPART STREET

CONTI STREET

ST. LOUIS STREET



5 FIRST FLOOR PLAN - OPTION 02 - SERVICE AREA
A102 SCALE: 1/4" = 1'-0"

BURGUNDY STREET

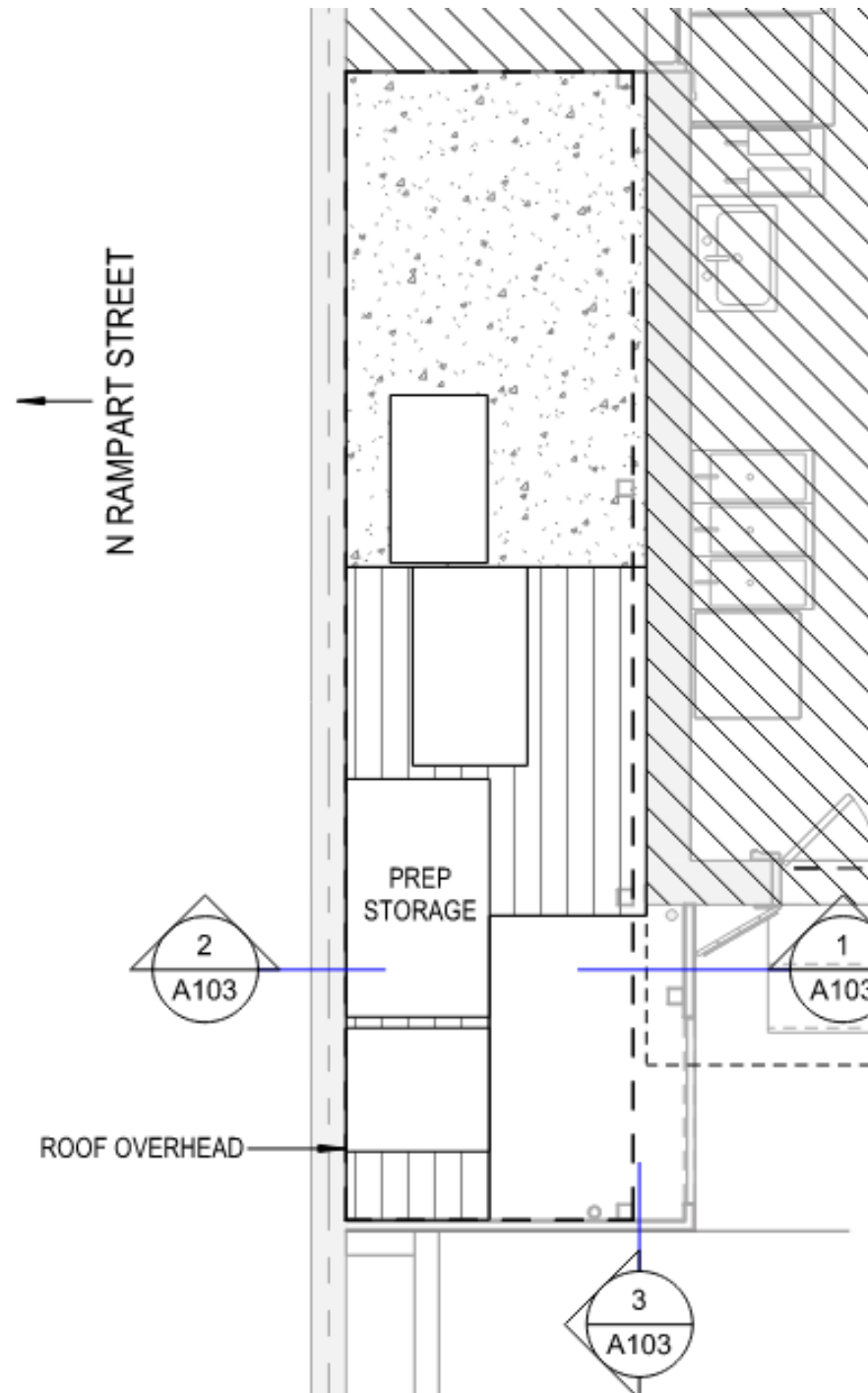
N RAMPART STREET

CONTI STREET

1026 St Louis

Vieux Carré Commission

May 14, 2024

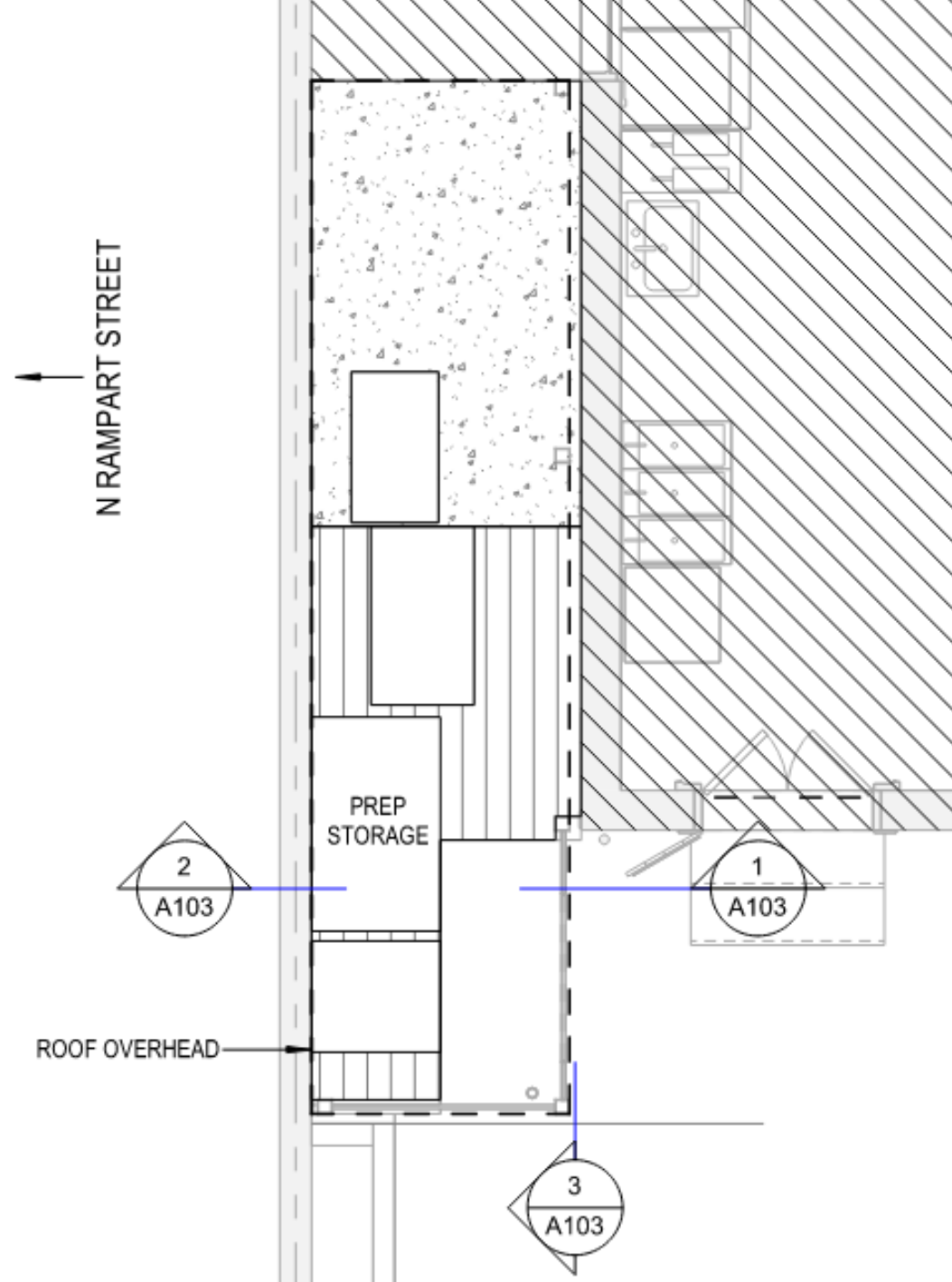


1026 St Louis – Option 1

Vieux Carré Commission

May 14, 2024





1026 St Louis – Option 2

Vieux Carré Commission

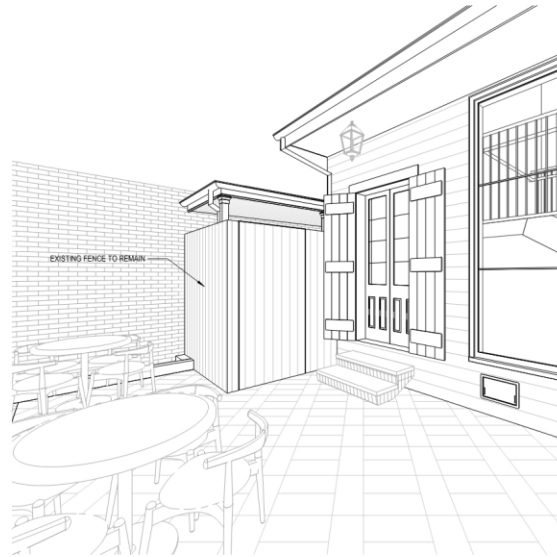
May 14, 2024



The Jewel - Phase 5
COURTYARD



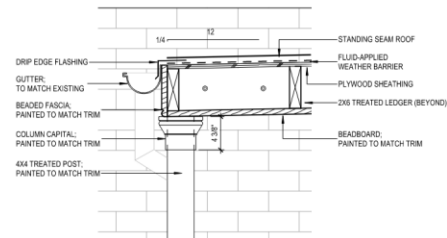
6 EXISTING CONDITIONS



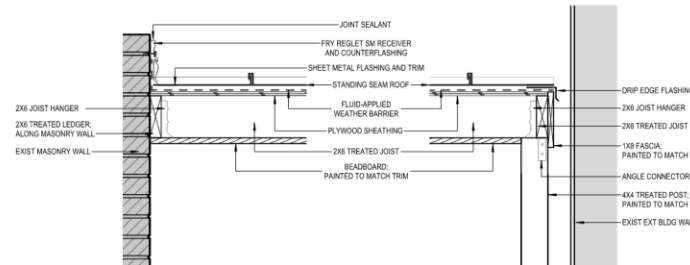
5 OPTION 01 - SERVICE AREA ROOF



4 OPTION 02 - SERVICE AREA ROOF
SCALE



3 DTL - ROOF EDGE AT GUTTER
SCALE: 1 1/2" = 1'-0"



2 DTL - ROOF ATTACHMENT TO MASONRY
SCALE: 1 1/2" = 1'-0"

1 DTL - ROOF ATTACHMENT TO POST
SCALE: 1 1/2" = 1'-0"

OWNER: John Stubbs
431 Burgundy Street
New Orleans, LA 70113
(504) 278-5646

ARCHITECT: TRAPOLIN PEER
850 TCHOUPITOUILLAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpeer.com

CONTRACTOR:

NOT FOR CONSTRUCTION

REVISION # | DESCRIPTION | DATE

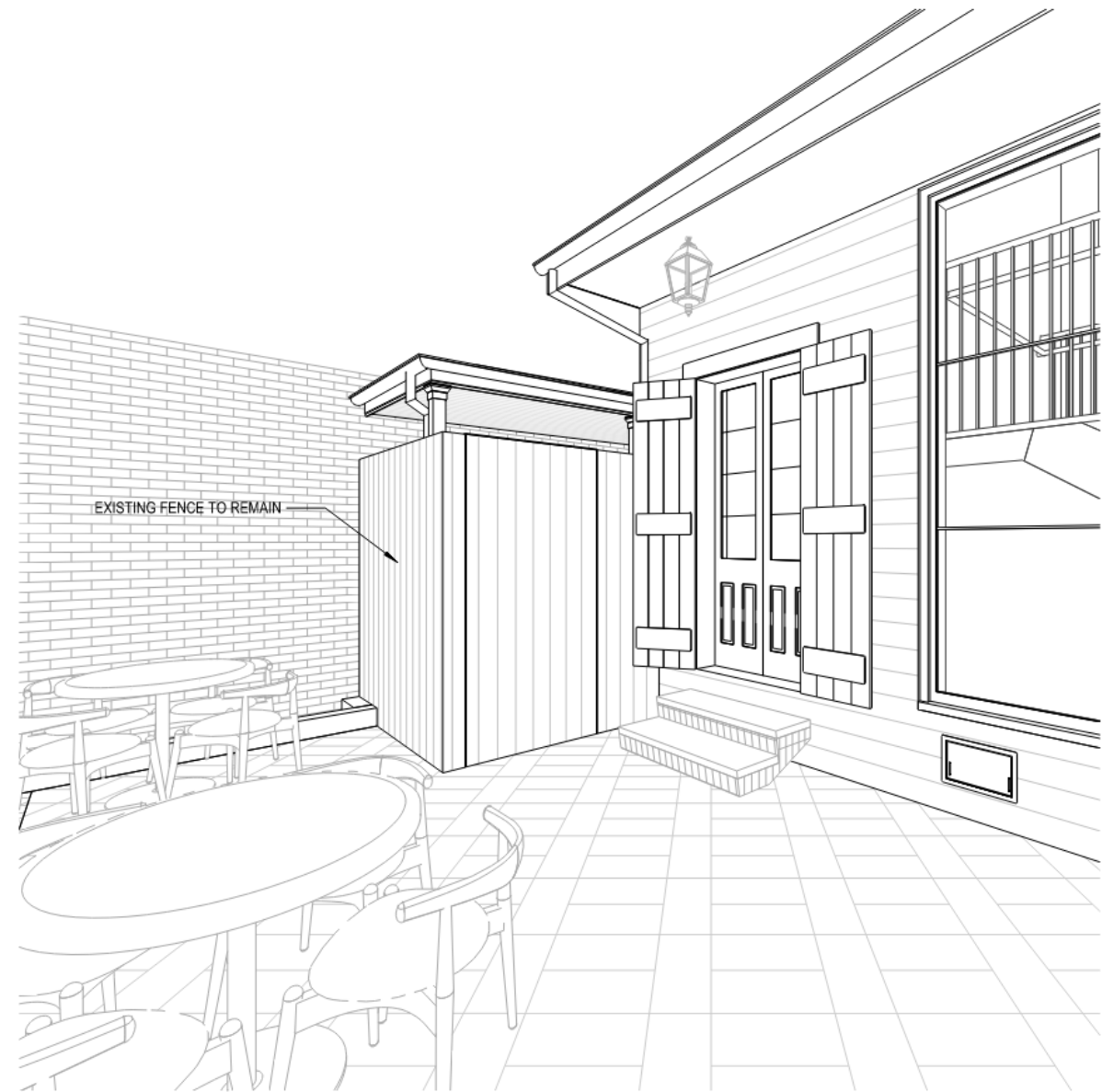
© TRAPOLIN PEER ARCHITECTS, APC
PROJECT NUMBER: CN18876
ISSUE DATE: 04/30/2024

VCC REVIEW - COURTYARD SERVICE AREA

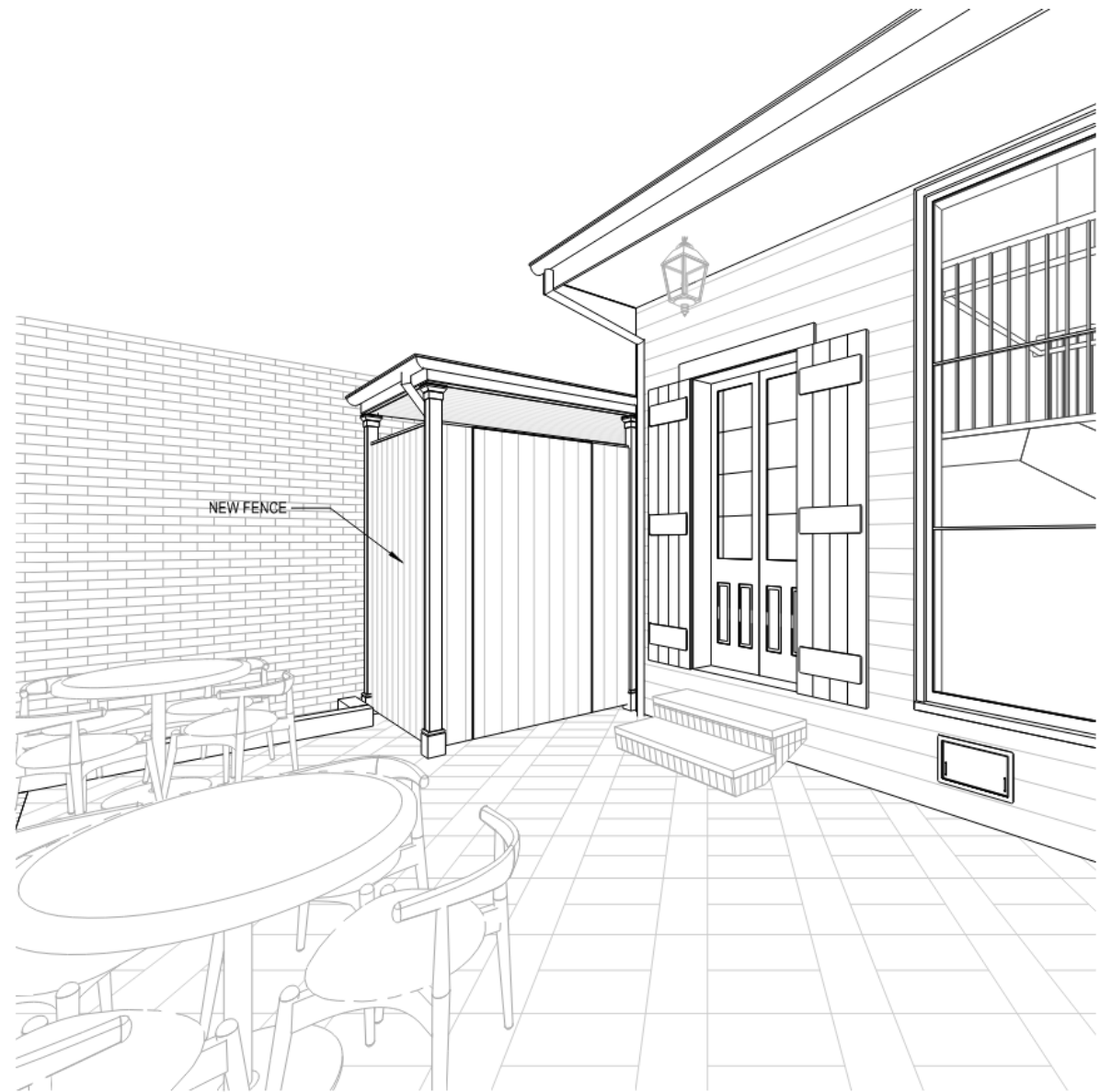
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May 14, 2024

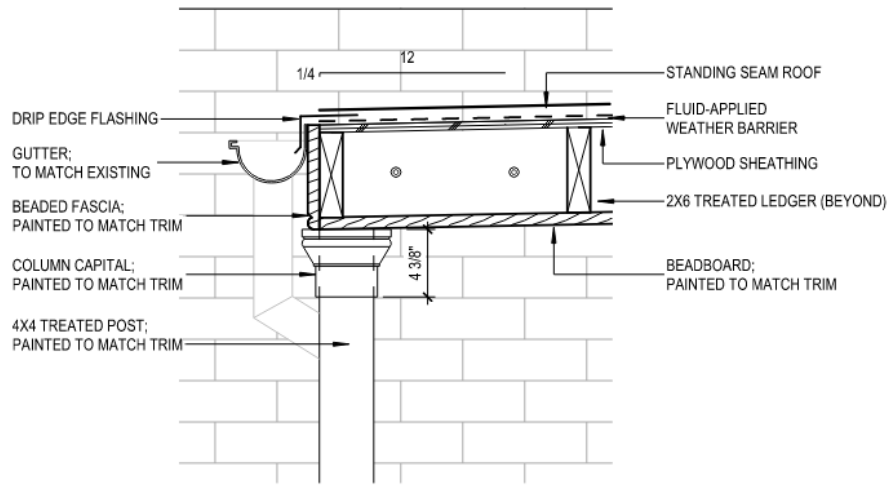




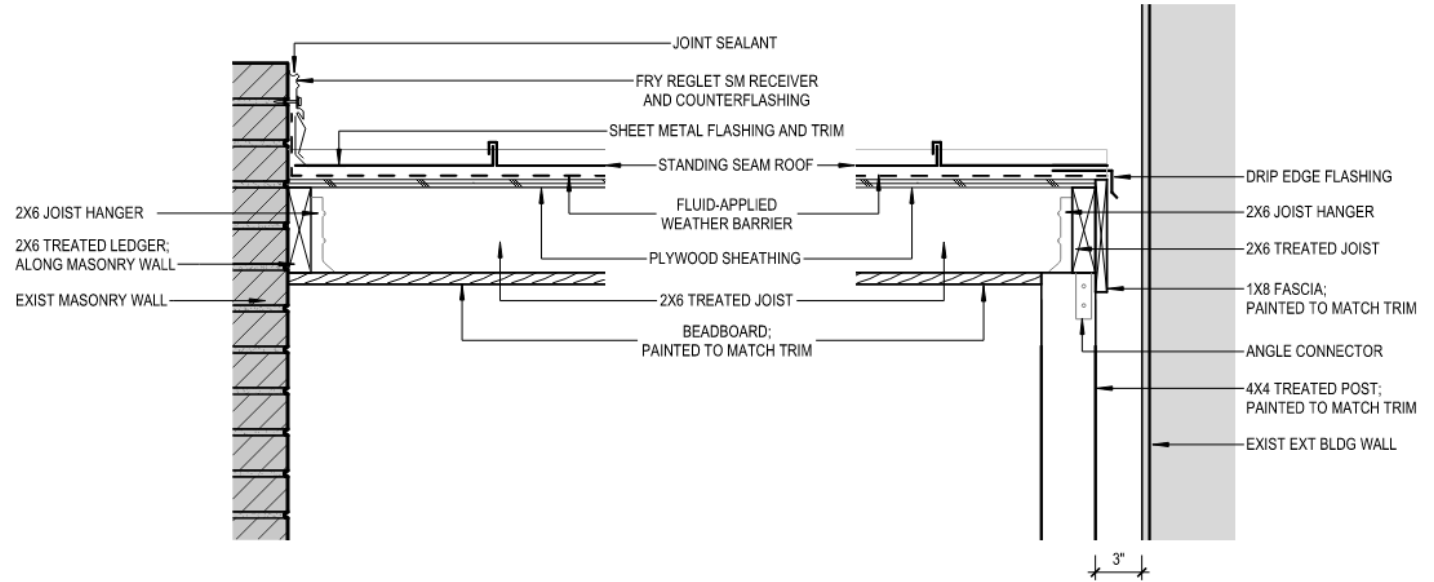
OPTION 01 - SERVICE AREA ROOF



4 OPTION 02 - SERVICE AREA ROOF
A103 SCALE:



3 DTL - ROOF EDGE AT GUTTER
A103 SCALE: 1 1/2" = 1'-0"



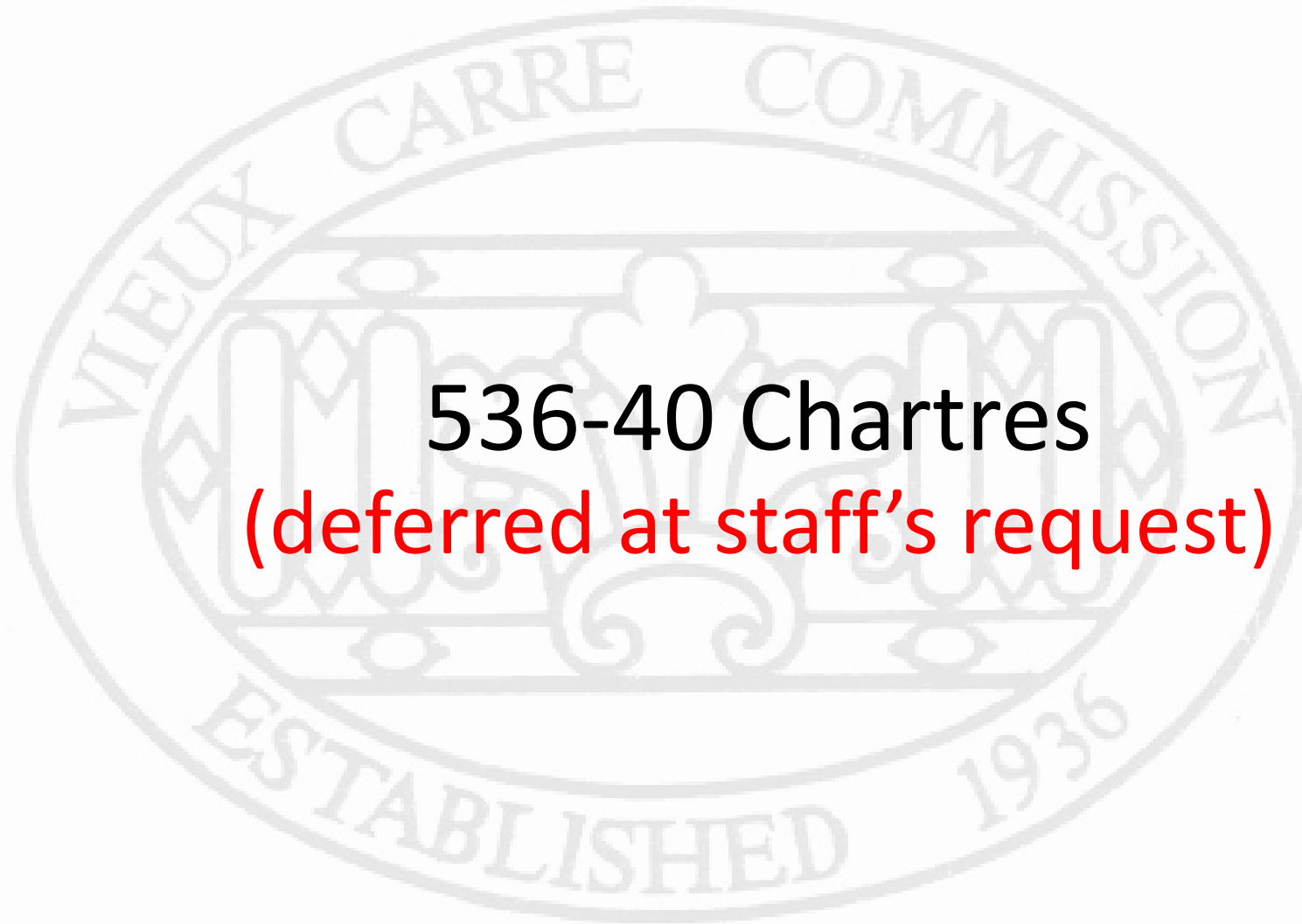
2 DTL - ROOF ATTACHMENT TO MASONRY
A103 SCALE: 1 1/2" = 1'-0"

1 DTL - ROOF ATTACHMENT TO POST
A103 SCALE: 1 1/2" = 1'-0"

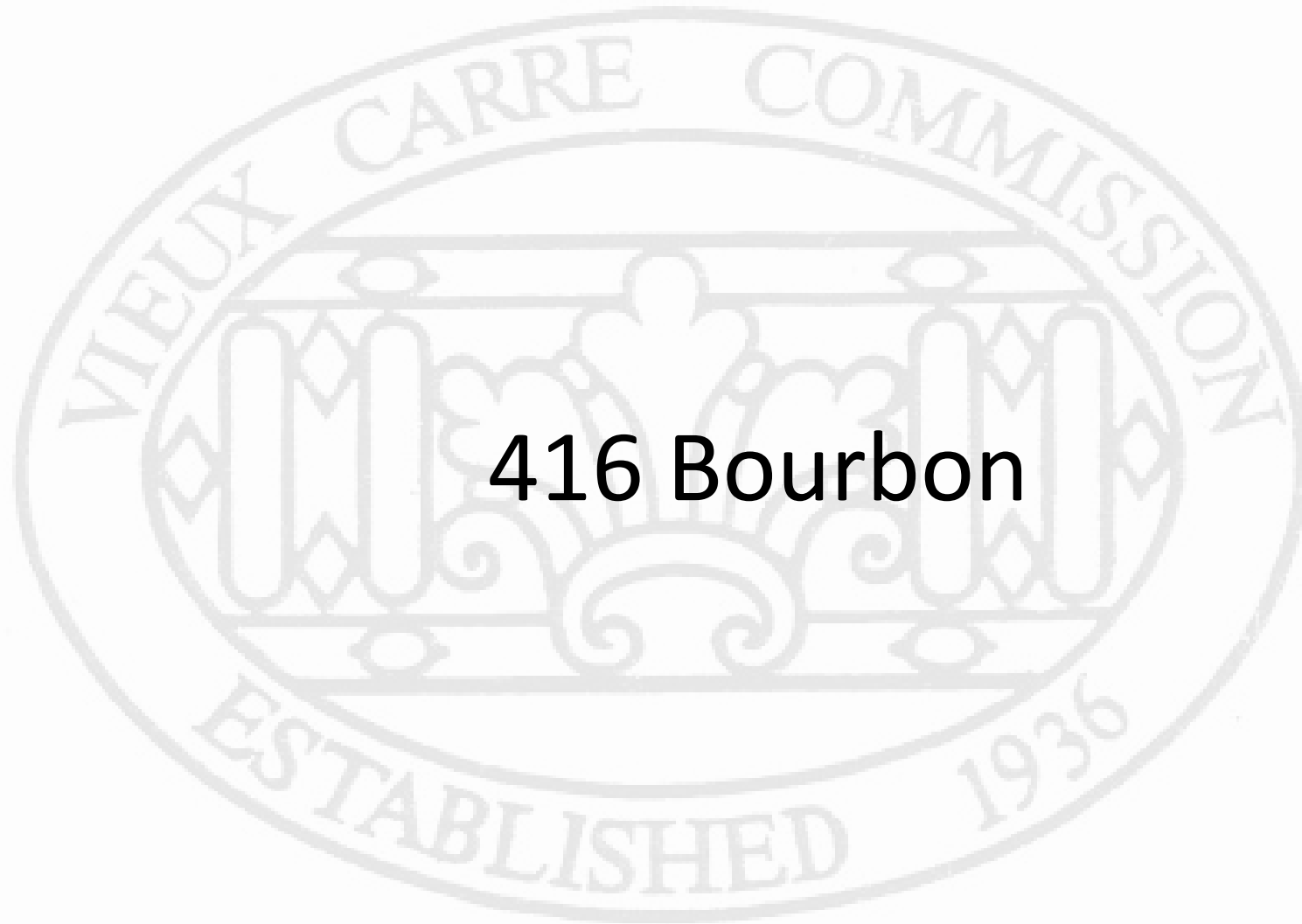


616 Conti

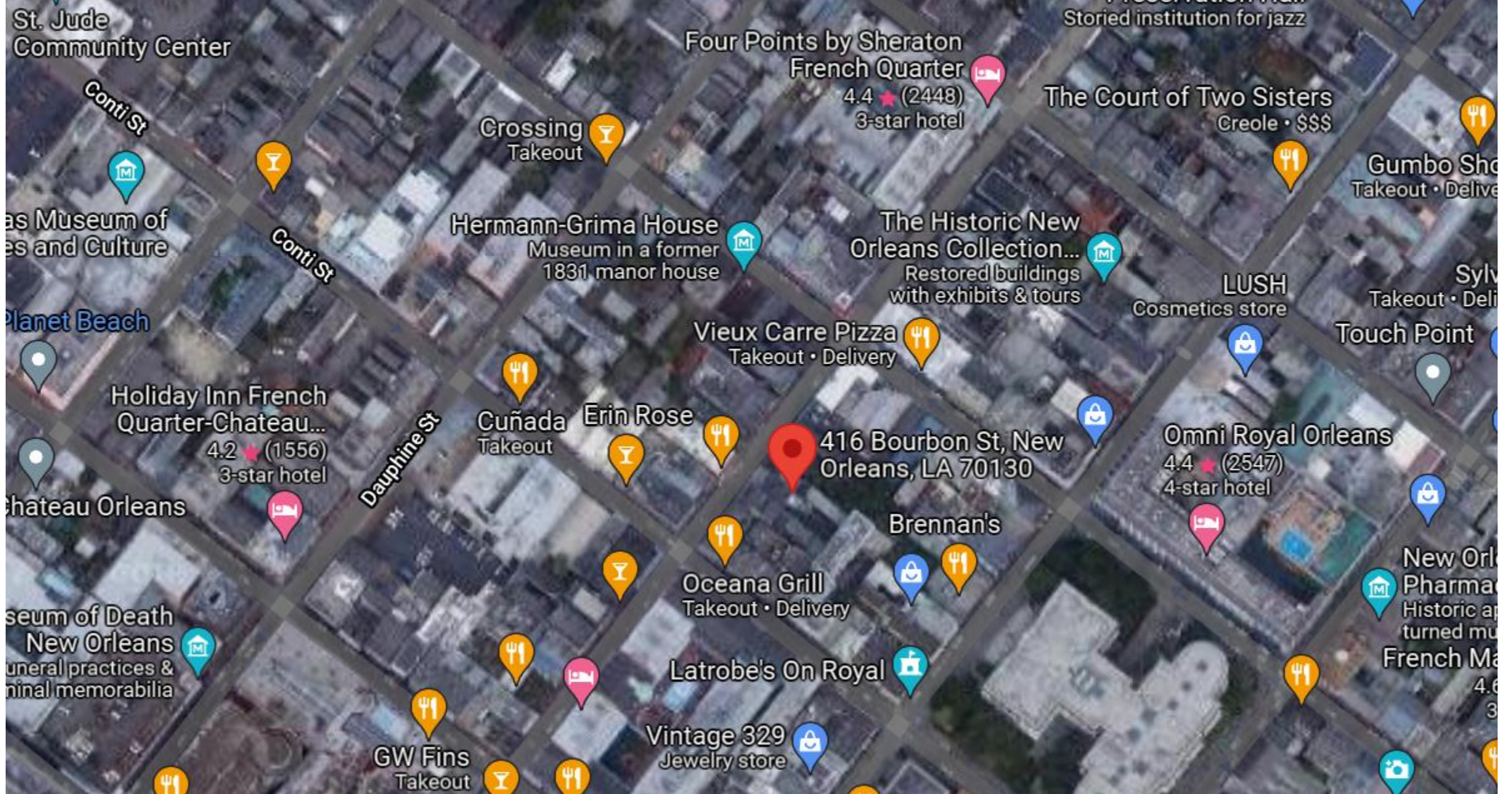
(deferred at applicant's request)



536-40 Chartres
(deferred at staff's request)



416 Bourbon

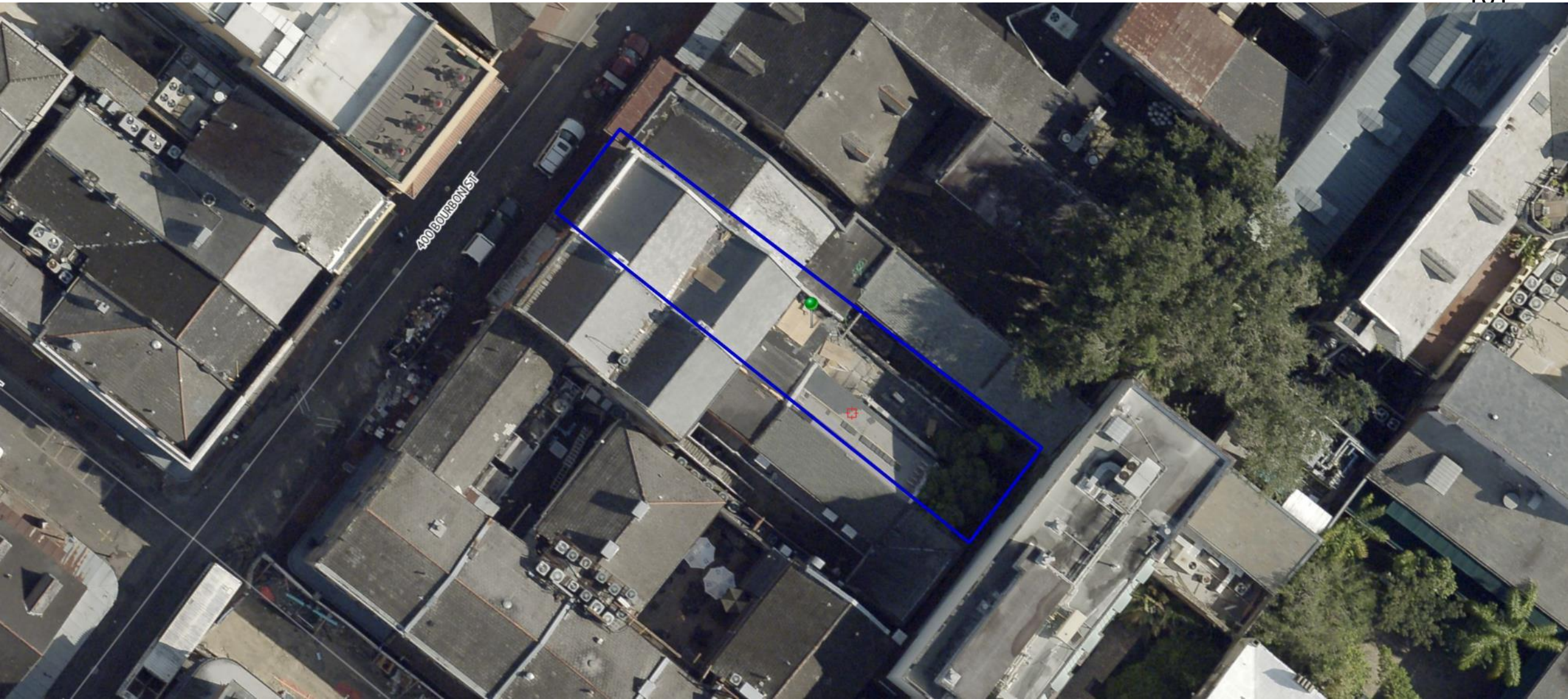


416 Bourbon

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May 14, 2024



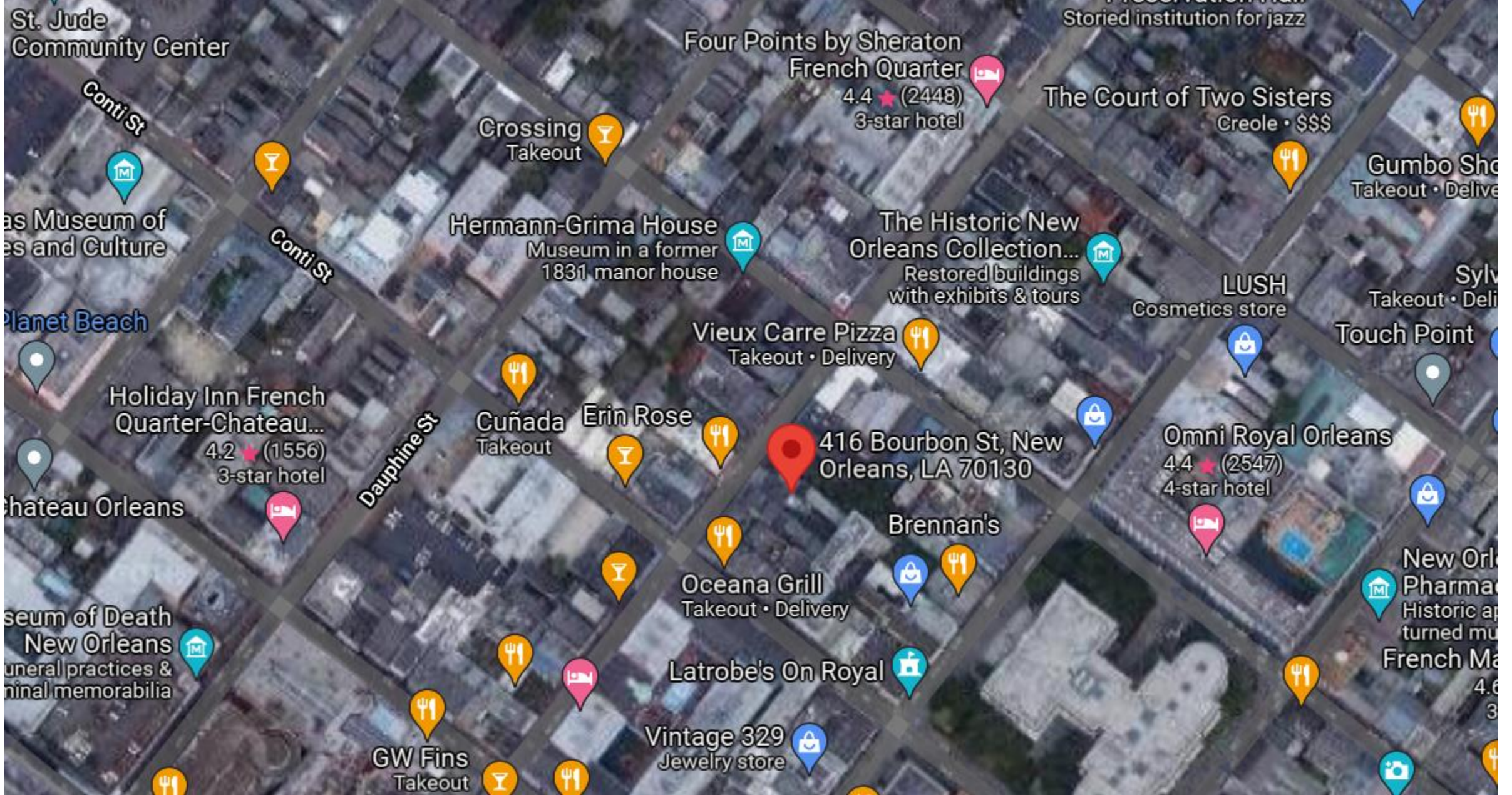


416 Bourbon

Vieux Carré Commission

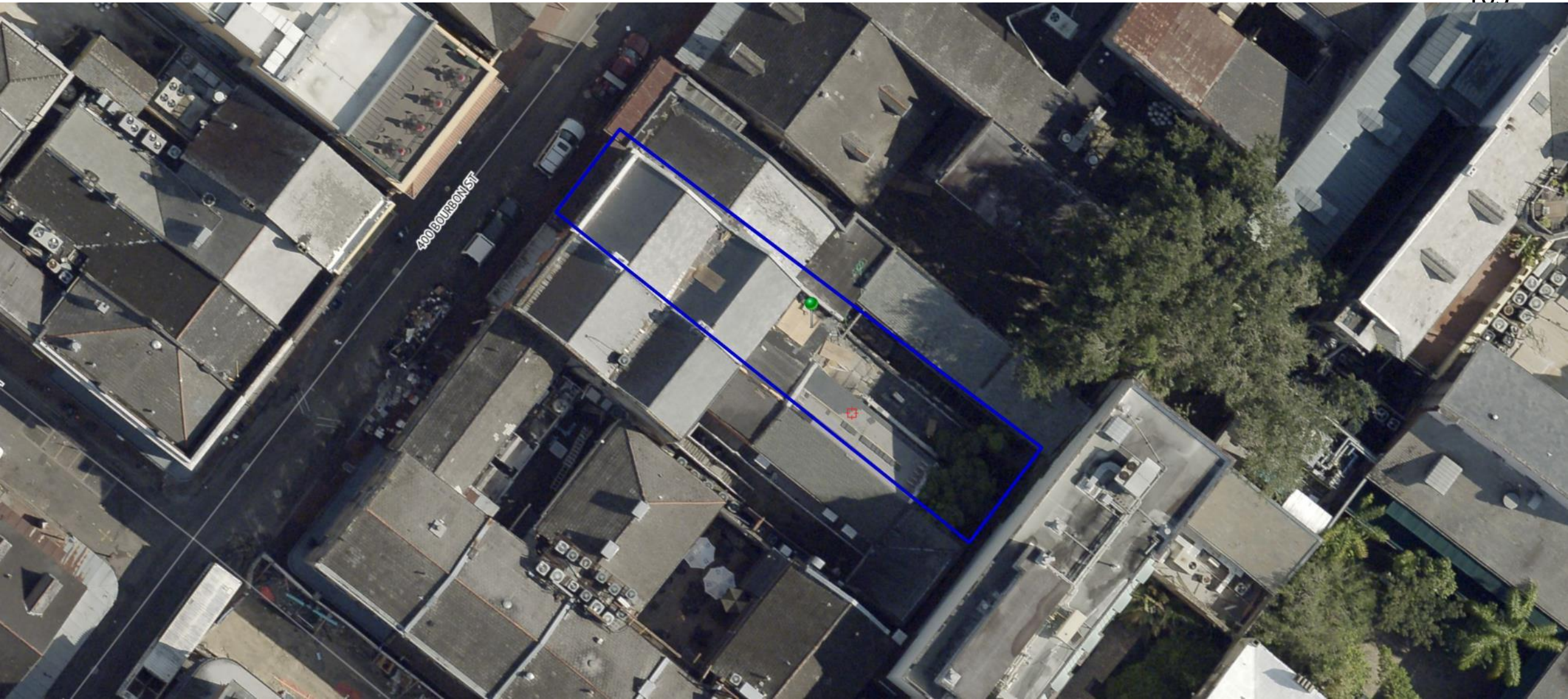
May 14, 2024





416 Bourbon





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416 Bourbon – 1981

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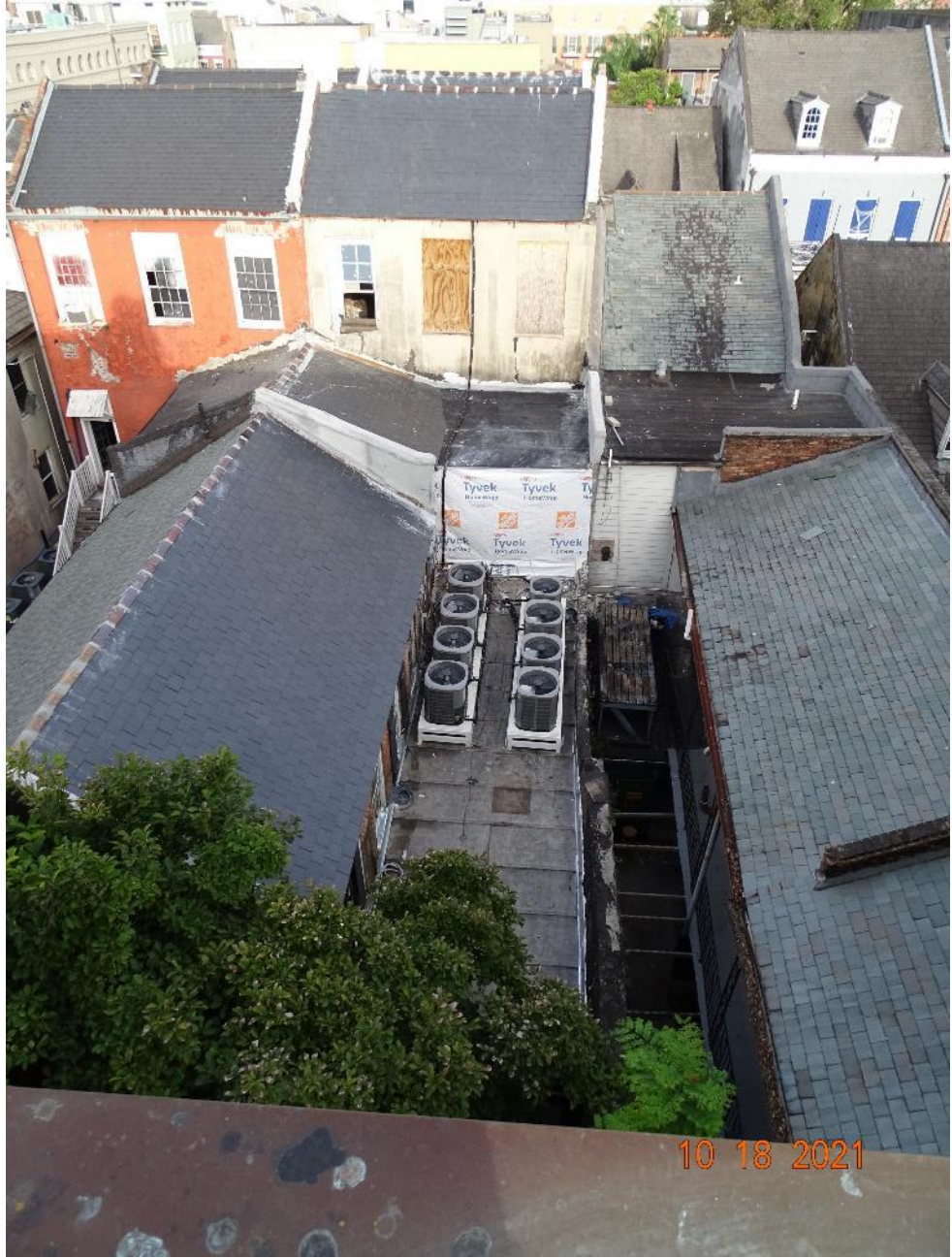


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May 14, 2024





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Vieux Carré Commission

May 14, 2024





416 Bourbon

Vieux Carré Commission

Sep 2, 2022 10:33:23 AM
411 Bourbon Street
New Orleans
Orleans Parish
Louisiana

May 14, 2024





Sep 2, 2022 10:33:40 AM
411 Bourbon Street
New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





Sep 2, 2022 10:33:52 AM
411 Bourbon Street
New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





Sep 2, 2022 10:34:11 AM
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New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





Sep 2, 2022 10:34:20 AM
411 Bourbon Street
New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





Sep 2, 2022 10:34:35 AM
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New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





416 Bourbon

Vieux Carré Commission

Sep 2, 2022 10:34:45 AM
416 Bourbon Street
New Orleans
Orleans Parish
Louisiana

May 14, 2024





Sep 2, 2022 10:34:52 AM
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New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





416 Bourbon

Vieux Carré Commission

May 14, 2024





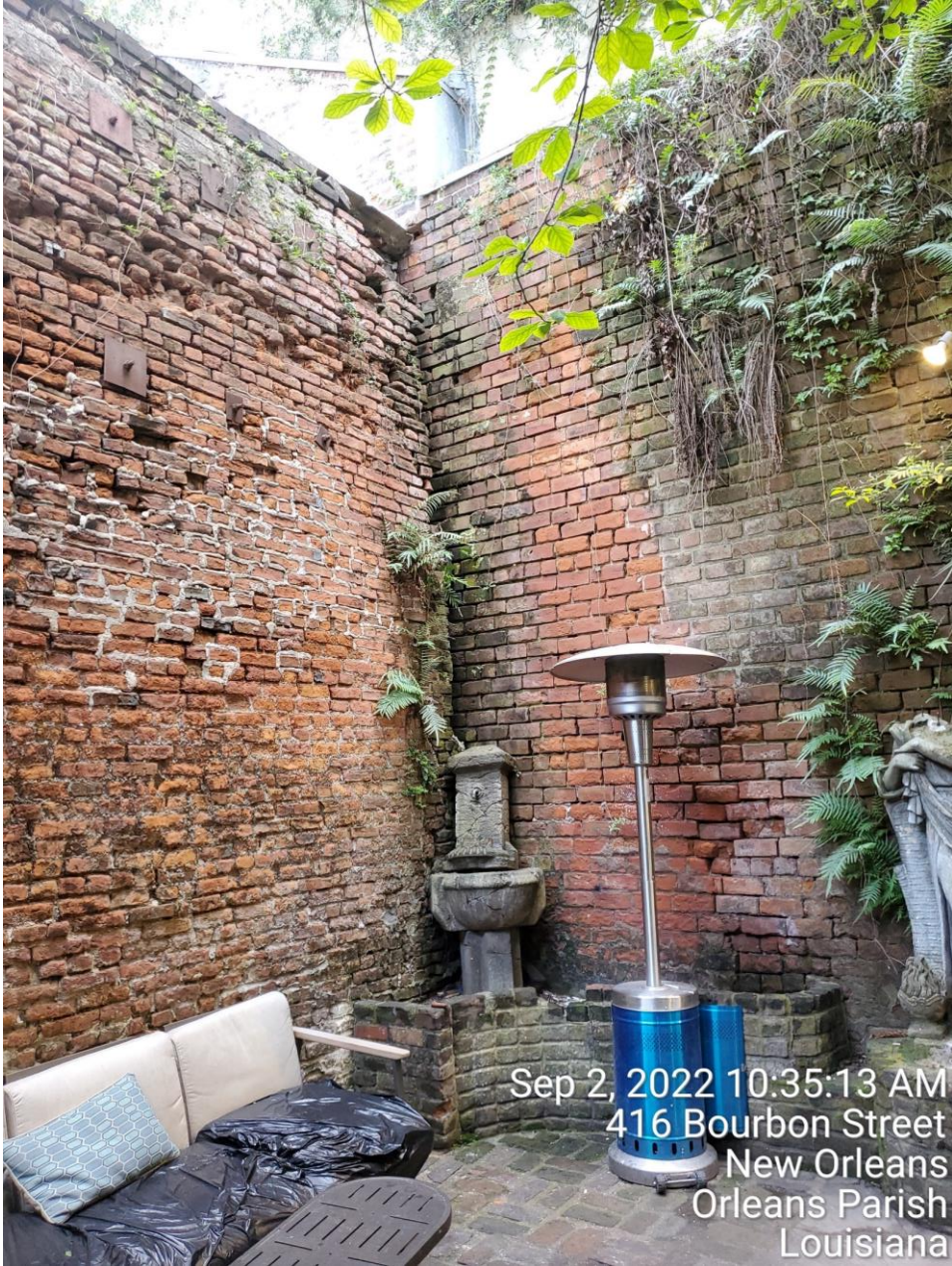
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416 Bourbon Street
New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





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 New Orleans
 Orleans Parish
 Louisiana



Sep 2, 2022 10:35:55 AM
 412 Bourbon Street
 New Orleans
 Orleans Parish
 Louisiana

416 Bourbon

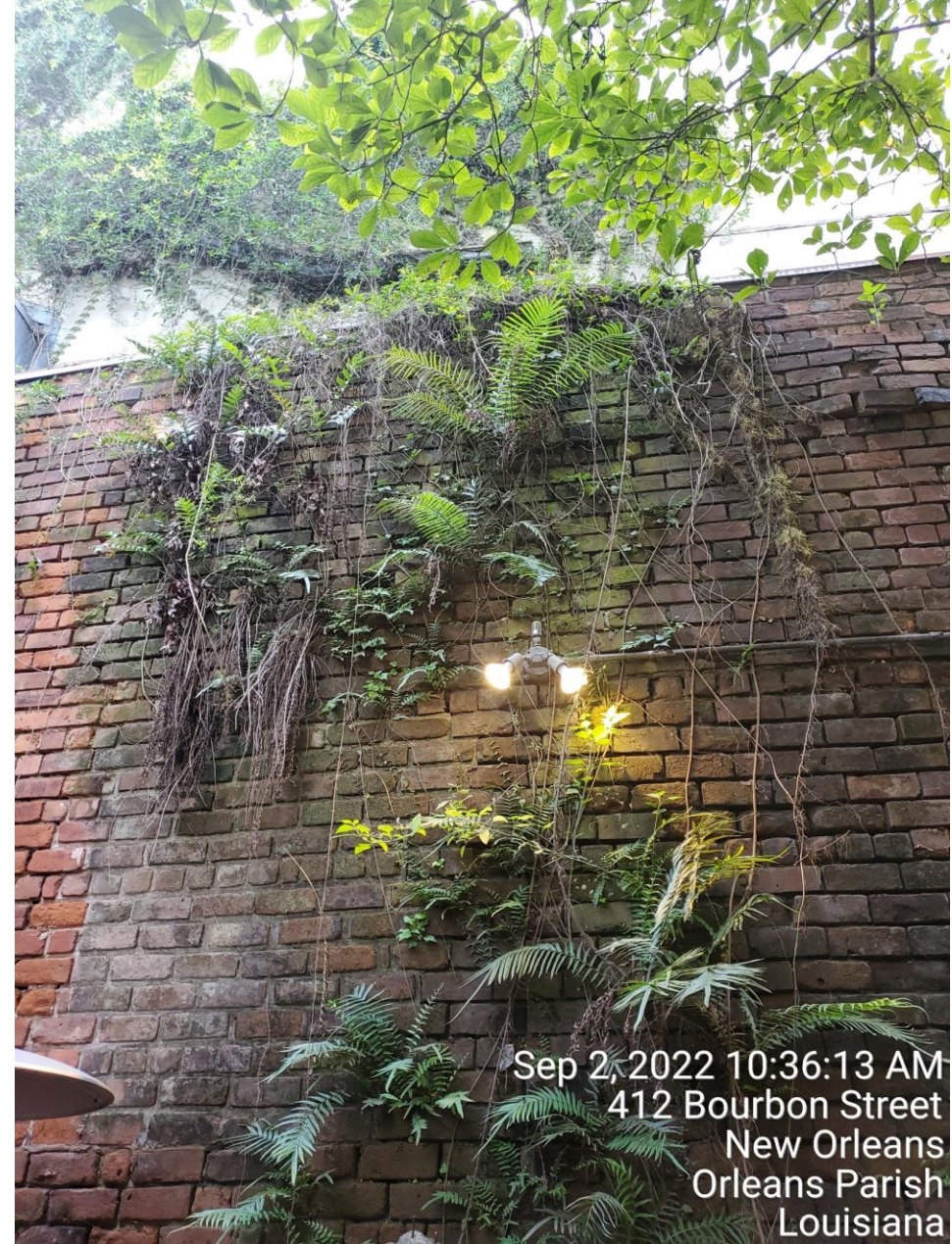
Vieux Carré Commission

May 14, 2024





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New Orleans
Orleans Parish
Louisiana



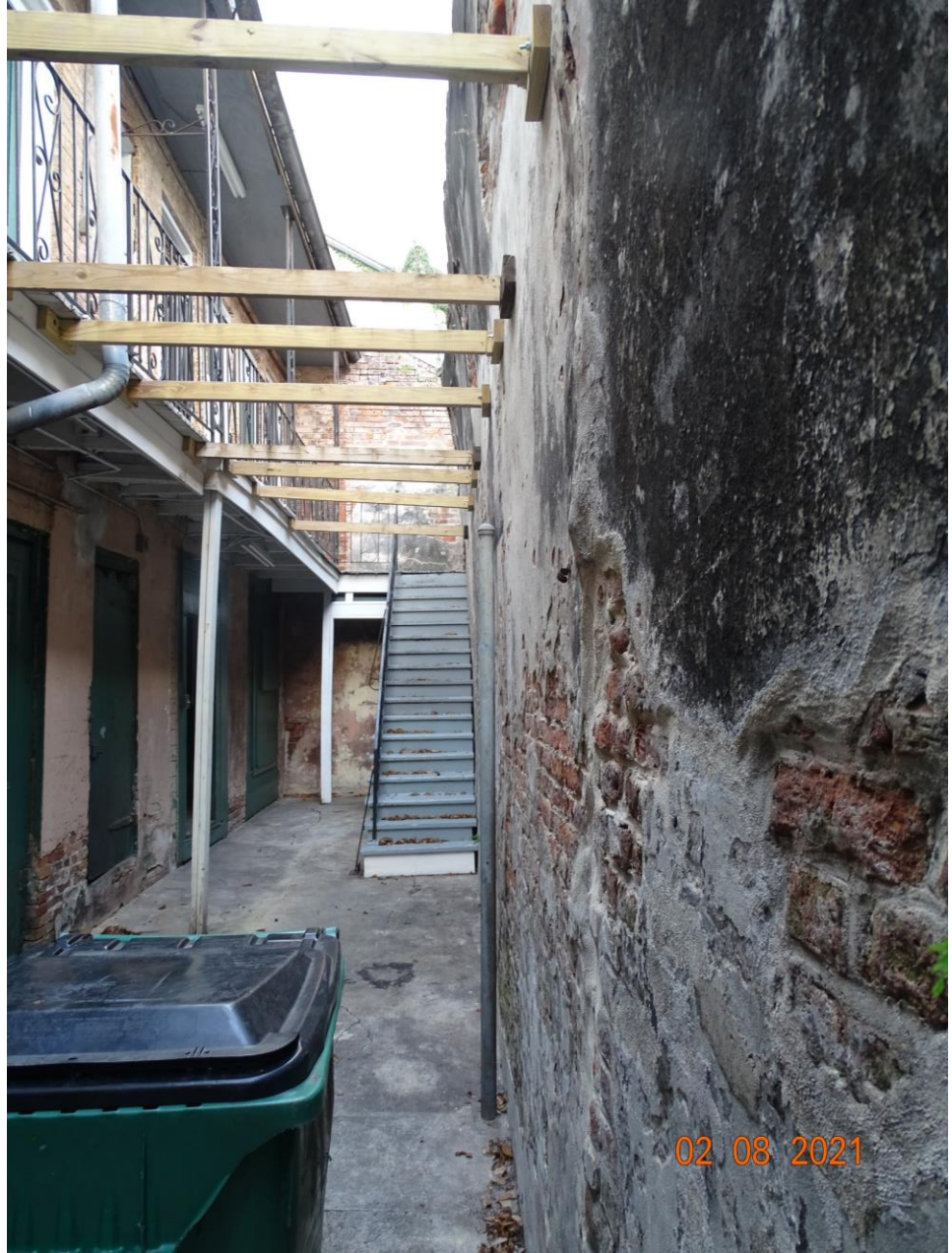
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412 Bourbon Street
New Orleans
Orleans Parish
Louisiana

416 Bourbon

Vieux Carré Commission

May 14, 2024





416 Bourbon – courtyard wall at 418 Bourbon





416 Bourbon – courtyard wall at 418 Bourbon





416 Bourbon – courtyard wall at 418 Bourbon





416 Bourbon – courtyard wall at 418 Bourbon



416 Bourbon – courtyard wall at 418 Bourbon

Vieux Carré Commission

May 14, 2024





416 Bourbon – courtyard wall at 418 Bourbon

Vieux Carré Commission

May 14, 2024





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Vieux Carré Commission

May 14, 2024





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May 14, 2024





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May 14, 2024



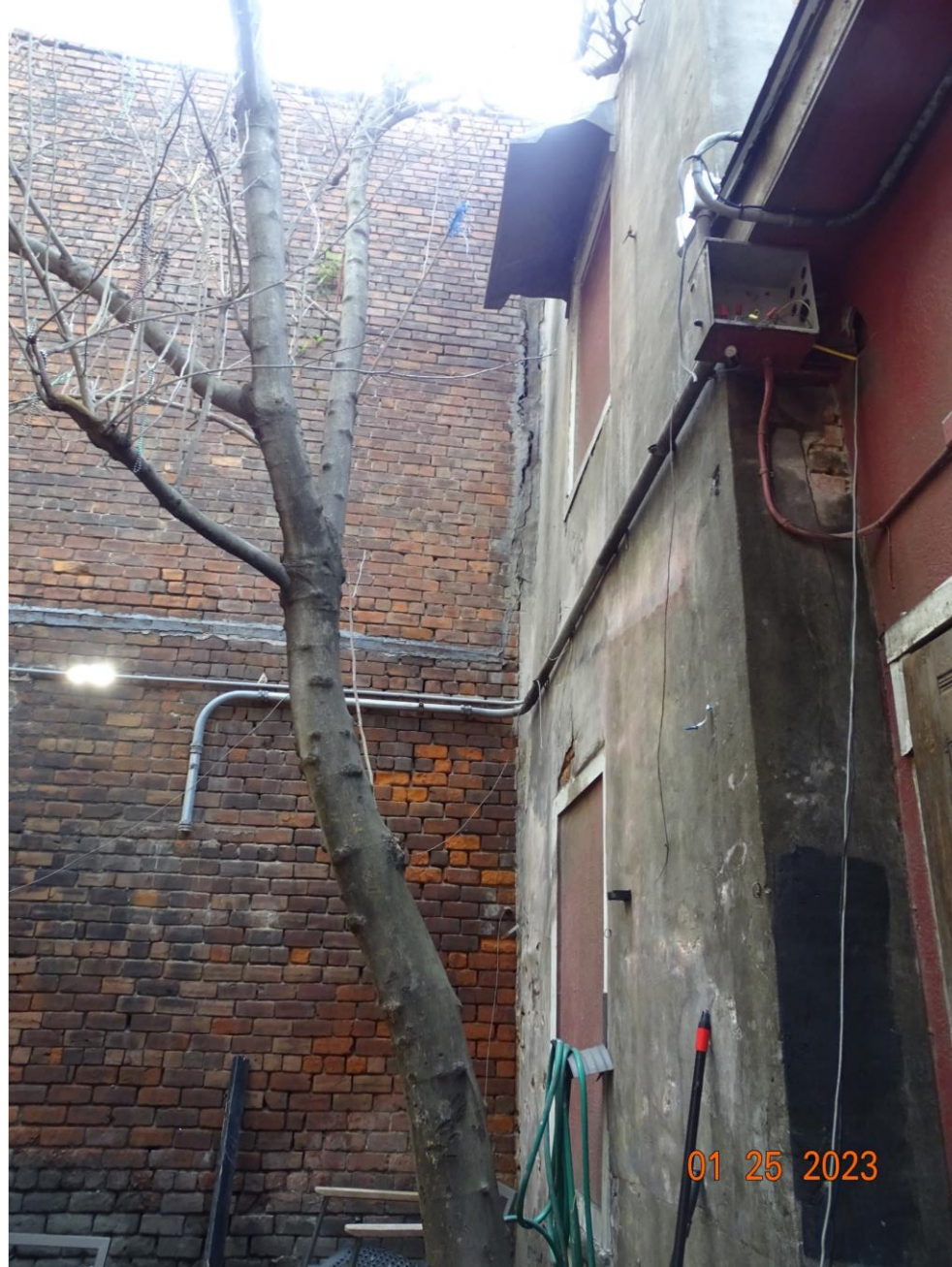


416 Bourbon

Vieux Carré Commission

May 14, 2024





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May 14, 2024



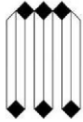


416 Bourbon

Vieux Carré Commission

May 14, 2024





MORPHY, MAKOFSKY, INC.
CONSULTING ENGINEERS
336 N. Norman C. Francis Parkway
New Orleans, LA 70119
P:504/488-1317 F:504/488-0924
www.mmi-eng.com

Jamie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick

April 29, 2024

L. Katherine Harmon, RA
Principal/Owner
LKHArmonArchitects apac
6238 Argonne Blvd.
New Orleans, LA 70124

Re: Structural Evaluation
416 Bourbon Street
New Orleans, Louisiana

Dear Ms. Harmon:

As requested, on Friday, April 26, 2024, we conducted a visual observation of the masonry walls and roof framing over the former courtyard area.

Our visual survey found that the roof framing of the courtyard consists of 2x6 roof joists and 2x4 ceiling joists. These are supported by 6x6 wood beams that span between wood posts adjacent to the existing masonry walls. This roof framing does not bear or impart load on the existing masonry wall adjacent to the 418 Bourbon Street property.

We also were able to verify that the openings in the masonry walls of the 416 Bourbon Street property are supported by steel beams.

Our review of the masonry wall from the interior of 416 Bourbon found the walls to be in good condition with no signs of settlement or distress. There is no cracking or displacement of the brick to indicate that there are any issues. The floors adjacent to the walls are level and in good condition.

In summary, based on our visual observations, the masonry walls at 416 Bourbon Street are sound and are not settling. The roof infill framing was previously completed at an unknown time and is independent of the masonry wall.

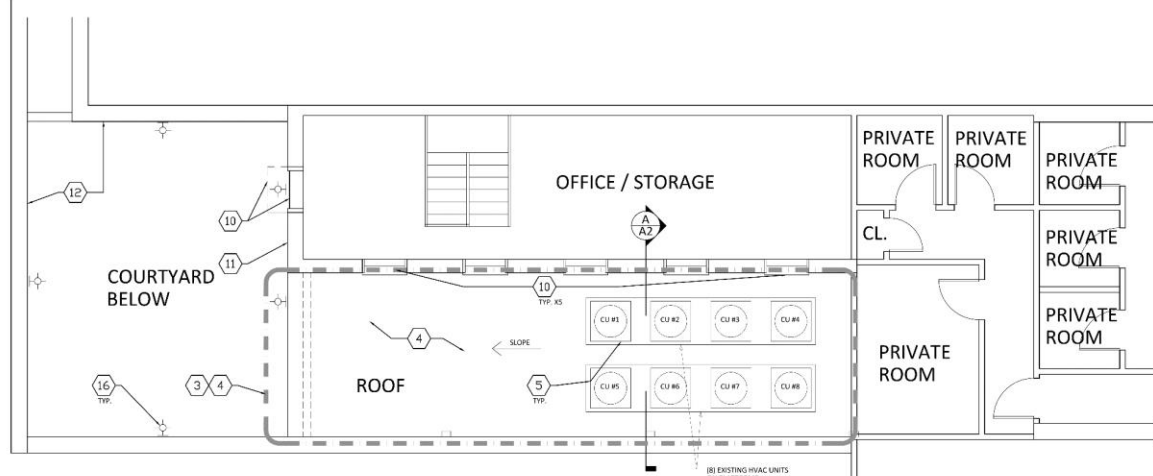
Please do not hesitate to contact our office should you have any questions regarding this report.

Yours truly,

MORPHY, MAKOFSKY, INC.

Jamie L. Saxon
Jamie Saxon, P.E.





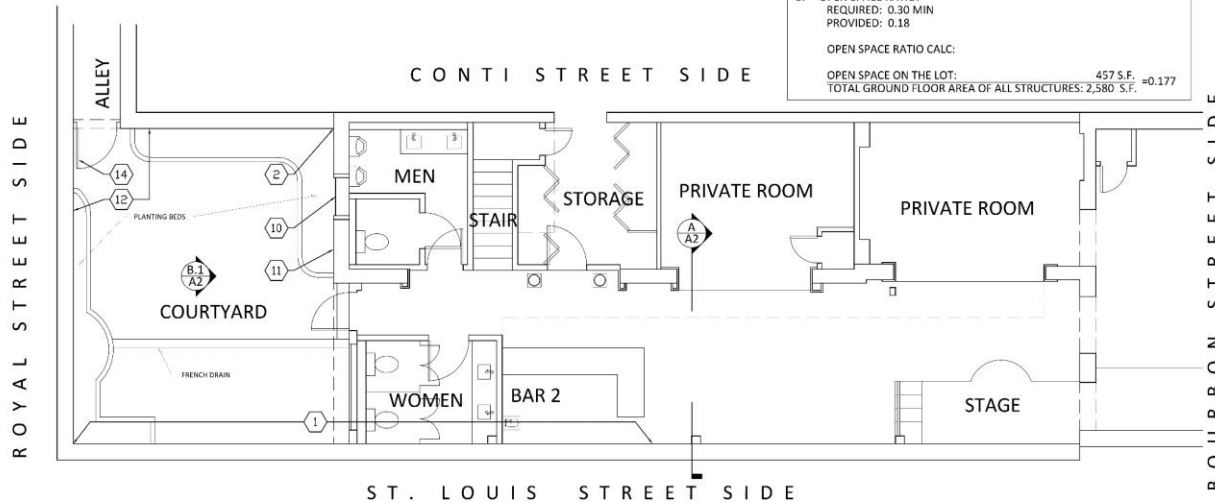
EXISTING PARTIAL SECOND FLOOR PLAN / COURTYARD LIGHTING PLAN
SC: 1/4" = 1'-0"

PROJECT DATA:

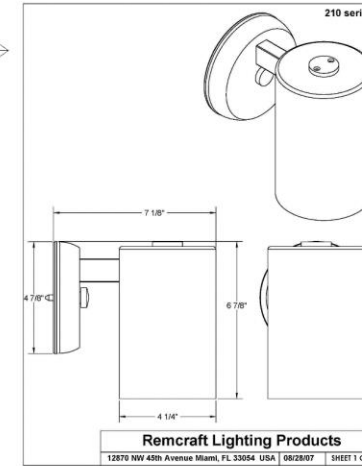
1. ALL CONSTRUCTION ELEMENTS ARE EXISTING UNLESS NOTED AS "NEW"
 2. CITY OF NEW ORLEANS ZONING CLASSIFICATION: VCE
 3. OPEN SPACE RATIO:
REQUIRED: 0.30 MIN
PROVIDED: 0.18
- OPEN SPACE RATIO CALC:
OPEN SPACE ON THE LOT: 457 S.F. = 0.177
TOTAL GROUND FLOOR AREA OF ALL STRUCTURES: 2,580 S.F.

KEYNOTES:

1. Repoint masonry courtyard wall and parapet per previously issued permit 21-13009-VCGEN. Install slate cap stones atop parapet.
2. Install Simpson Hell-Ties at 16" o.c. to connect courtyard wall w/ building service-ell. Install 3 layers of stucco per VCC Guidelines.
3. Retain courtyard infill. Structure of infill roof is supported by wood columns and joists and does not bear on existing previous courtyard masonry wall nor on service ell wall.
4. Install either a grey colored TPO roof or a cold applied grey modified bitumen roof on courtyard infill. Install roof curbs compliant w/ roof system manufacturer. Install parapet flashing compatible with roof system manuf.
5. Retain 8 AC units. Manufacturer make and model forthcoming.
6. Install new wood 2 panel door in new wood frame to replace existing door. Re: jamb detail 2/A1.
7. Remove window and frame. Infill new framing, 1/2" sheathing, and stucco per VCC Guidelines.
8. Remove improper chimney and parapet coating. Repoint chimney. Install slate cap stone atop parapet and chimney.
9. Remove and replace gutter and downspout w/ copper 5" half round gutter and copper 4" round downspout.
10. Remove plywood from windows. Notify Architect of condition of windows underneath so that this application may be amended to address windows.
11. Patch existing stucco and repoint exposed bricks per VCC Guidelines.
12. Repoint masonry walls per VCC Guidelines.
13. Repair/Replace wood windows with painted wood double hung 6 over 6 with true divided lites.
14. Remove improper door. Install iron gate w/ 1/8" solid steel sheet on alley side. Install panic exit hardware on this emergency exit alley gate.
15. Retain security camera. Specs forthcoming.
16. Remove unshielded lighting in courtyard. Install 5 cylindrical downlights per plans by Remcraft or equal. Paint conduit to match wall surfaces.



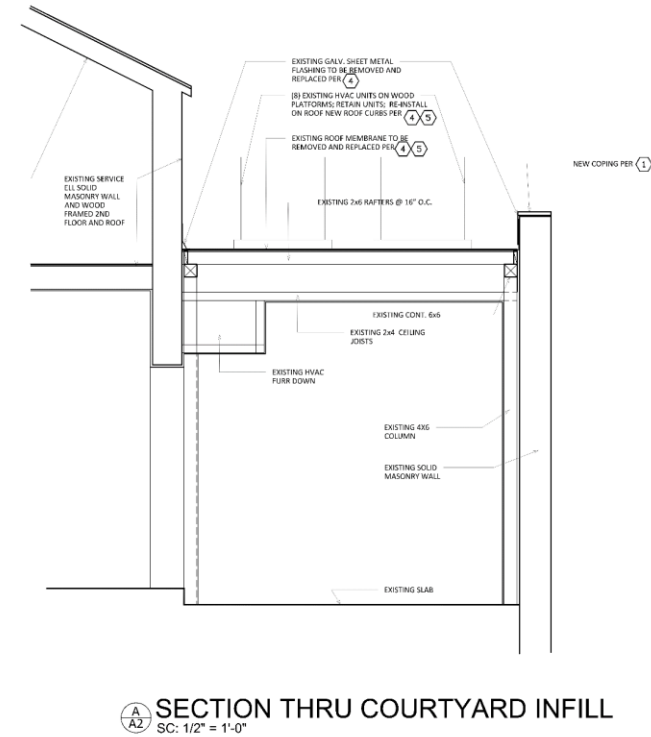
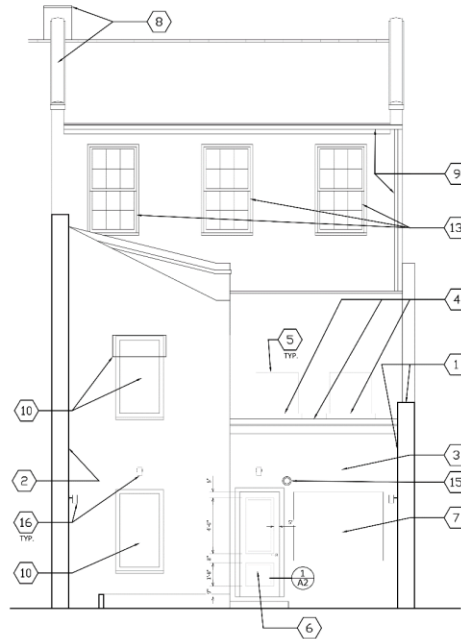
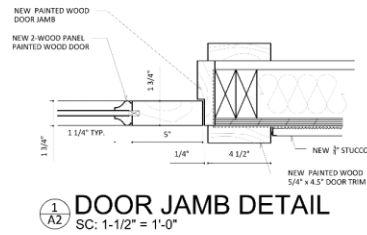
EXISTING PARTIAL FIRST FLOOR PLAN
SC: 1/4" = 1'-0"



REMCRRAFT CUTSHEET

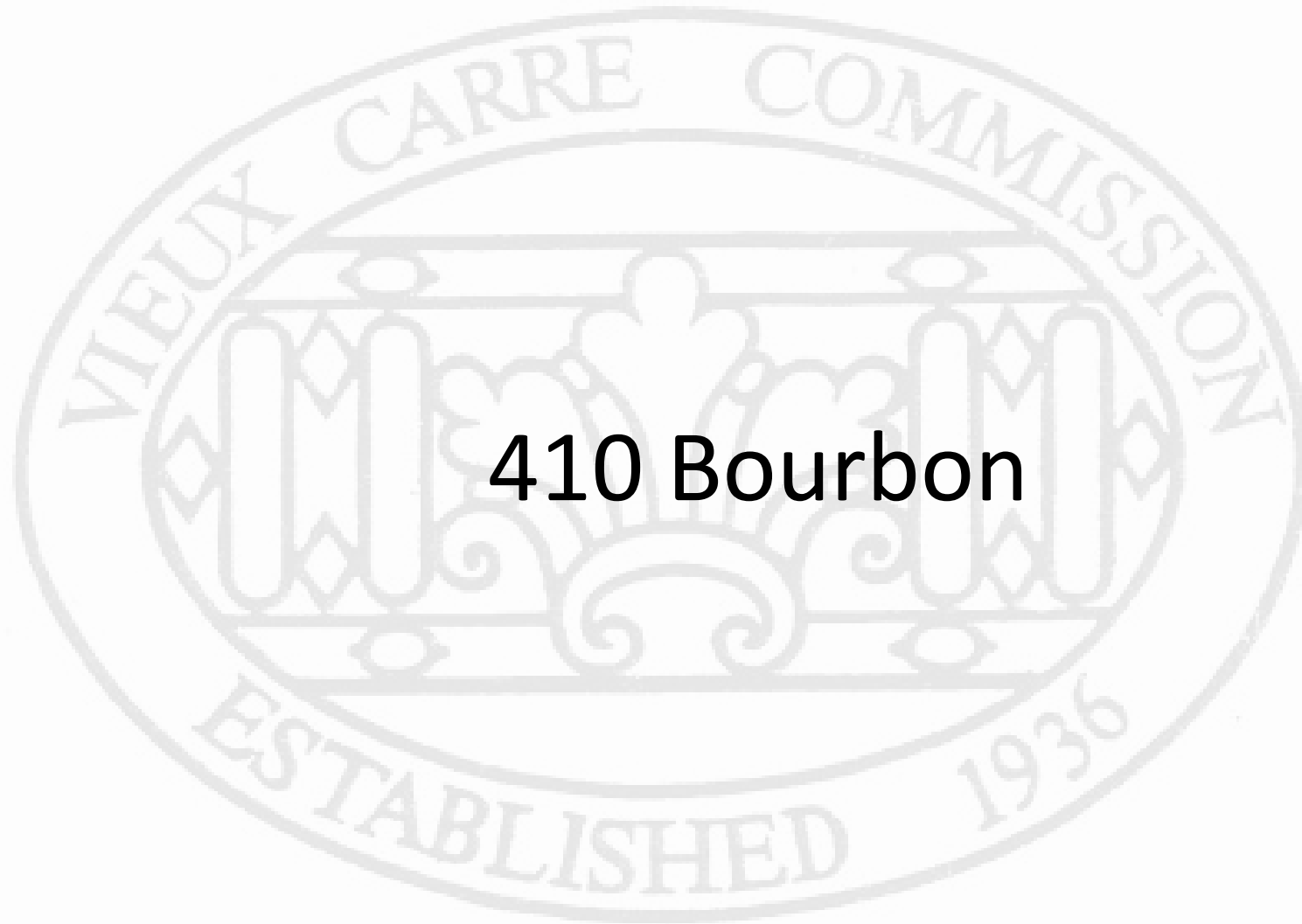
416 Bourbon Street Rear Infill & Courtyard Modifications New Orleans, Louisiana 70130	 LKHarmen Architects A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans, Louisiana 70124 504.465.5870 harmen@lkharmenarchitects.com	4.30.2024 V.C.C. APPL	A1
		LKH 01423	



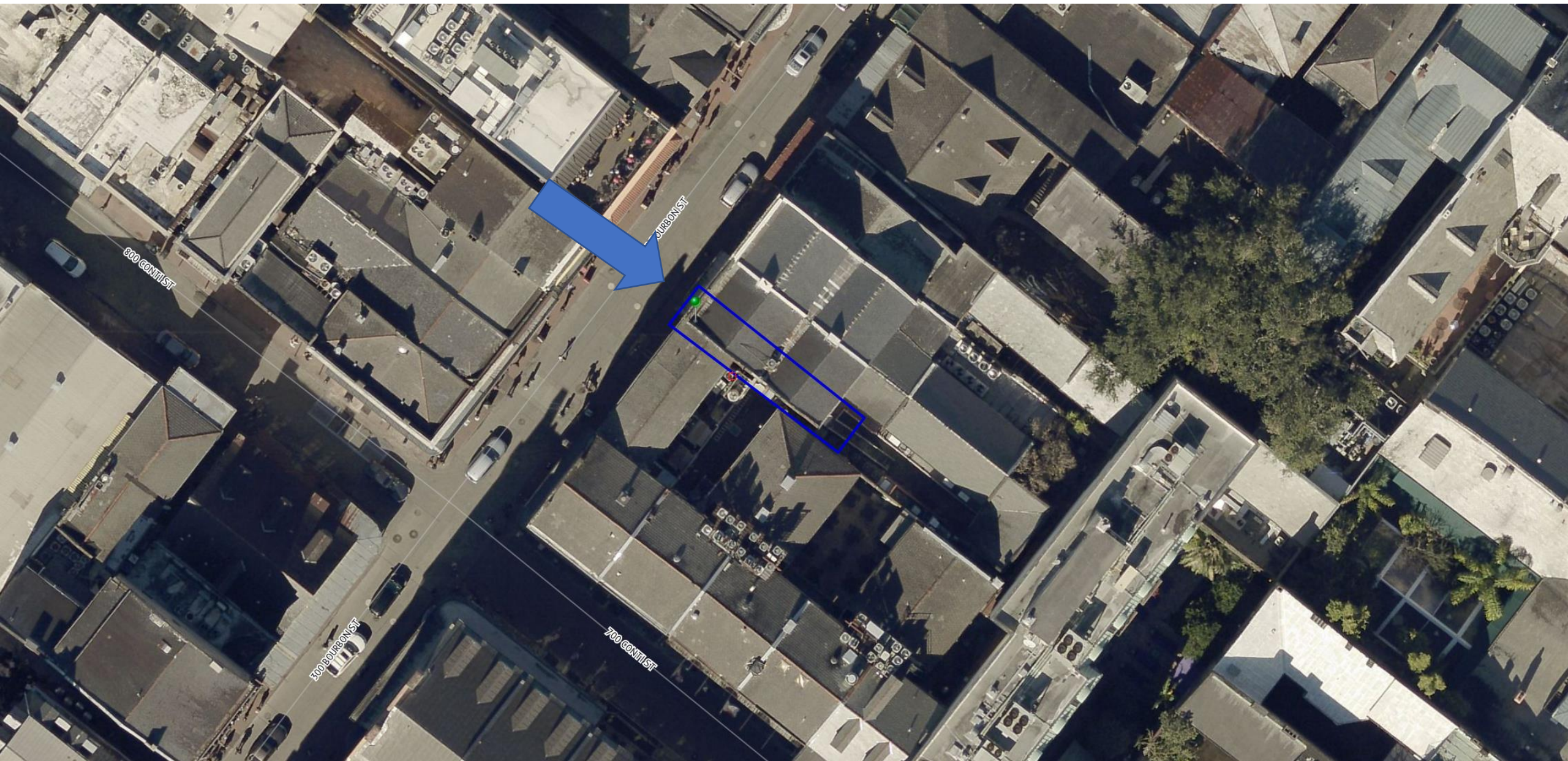


416 Bourbon Street Rear Infill & Courtyard Modifications New Orleans, Louisiana 70130	LKHarmou Architects A Professional Architectural Corporation 6228 Argozse Boulevard New Orleans, Louisiana 70124 504.485.0870 lharmou@lkharmouarchitects.com	4.30.2024 V.C.C. APPL	A2 LKH #1423





410 Bourbon



410 Bourbon

Vieux Carré Commission

May 14, 2024





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May 14, 2024





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May 14, 2024





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Vieux Carré Commission

May 14, 2024



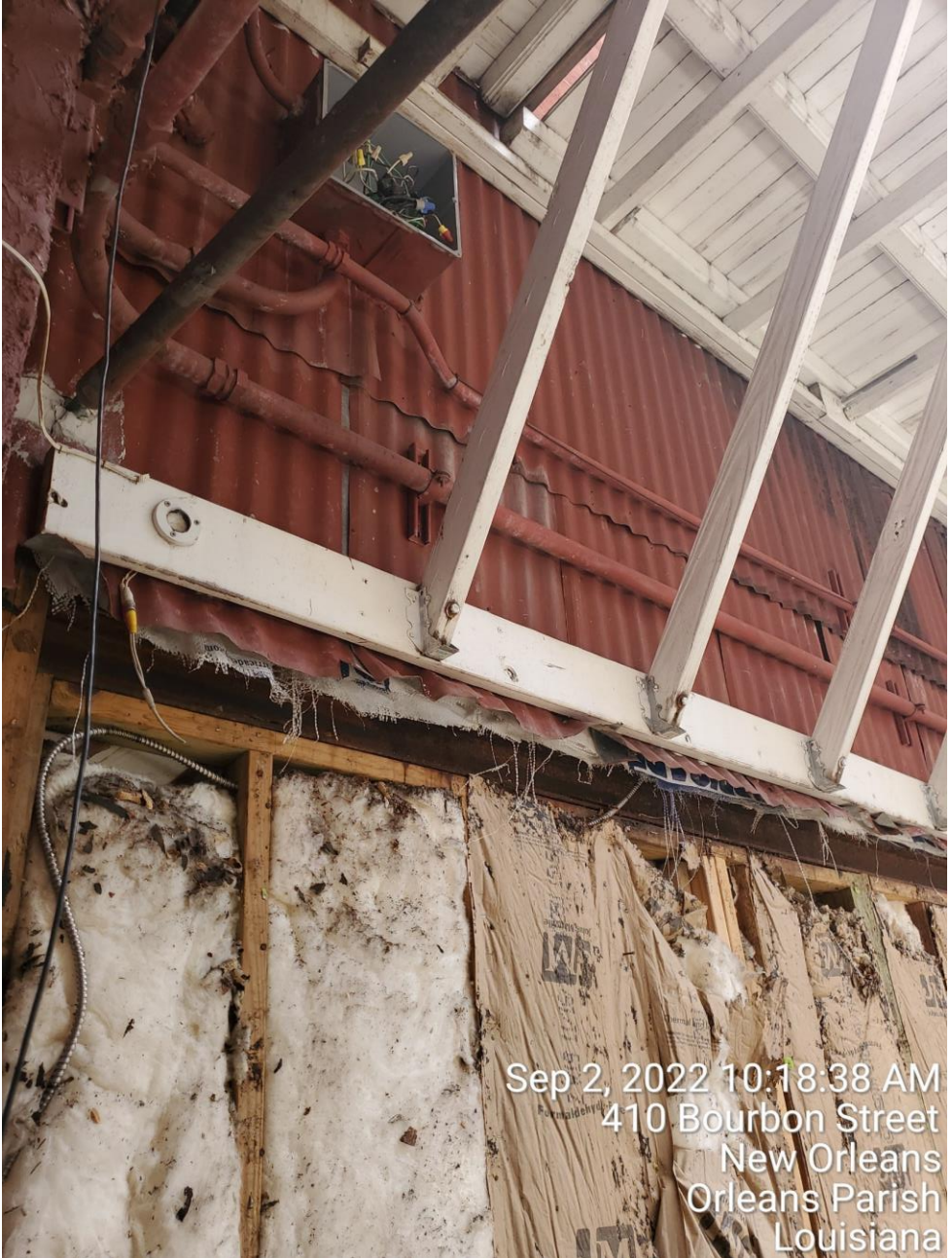


410 Bourbon

Vieux Carré Commission

May 14, 2024





Sep 2, 2022 10:18:38 AM
410 Bourbon Street
New Orleans
Orleans Parish
Louisiana



Sep 2, 2022 11:01:08 AM
411 Bourbon Street
New Orleans
Orleans Parish
Louisiana

410 Bourbon

Vieux Carré Commission

May 14, 2024





410 Bourbon

Vieux Carré Commission

May 14, 2024





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Vieux Carré Commission

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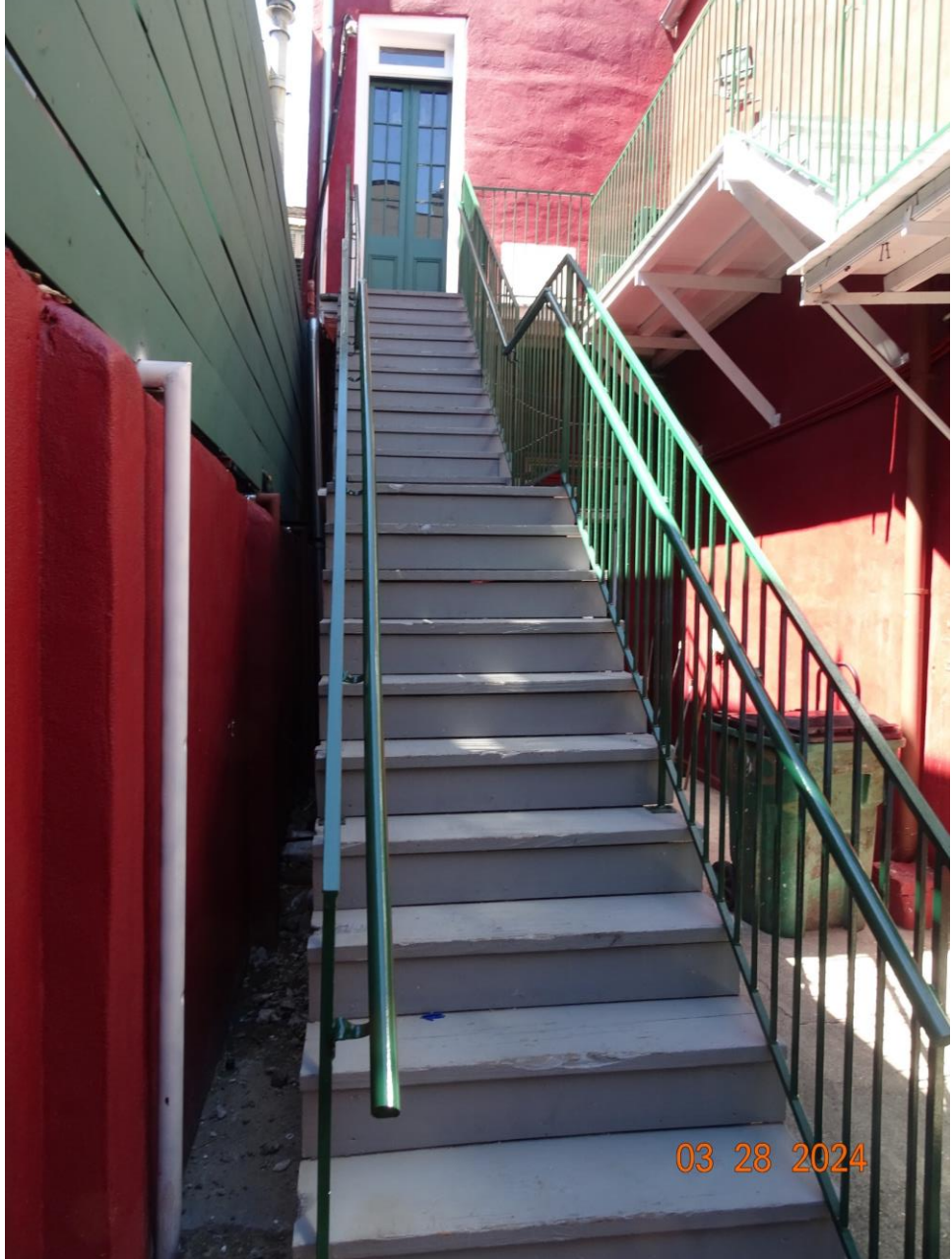


410 Bourbon

Vieux Carré Commission

May 14, 2024





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May 14, 2024



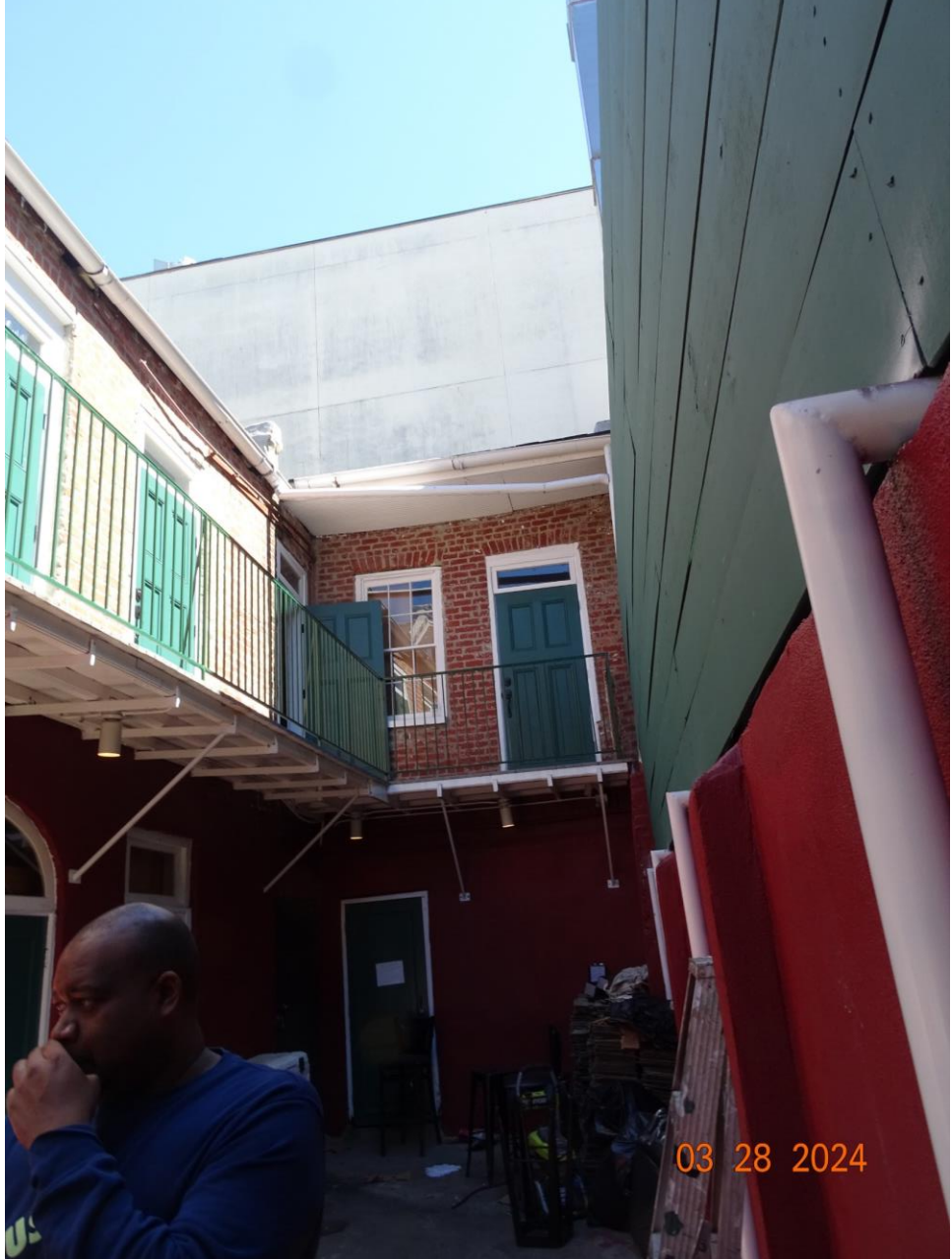


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May 14, 2024





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May 14, 2024





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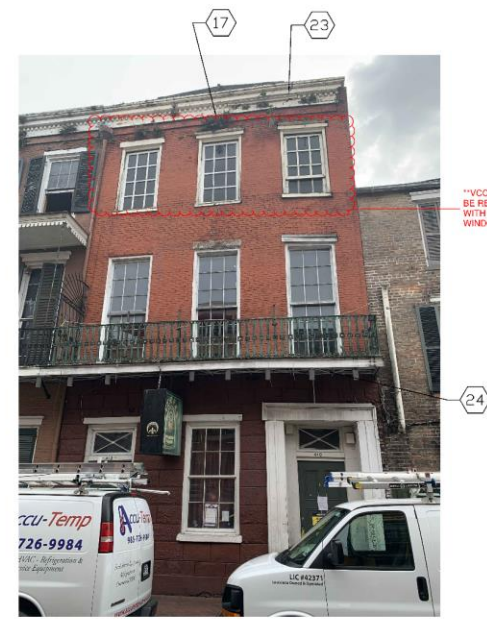
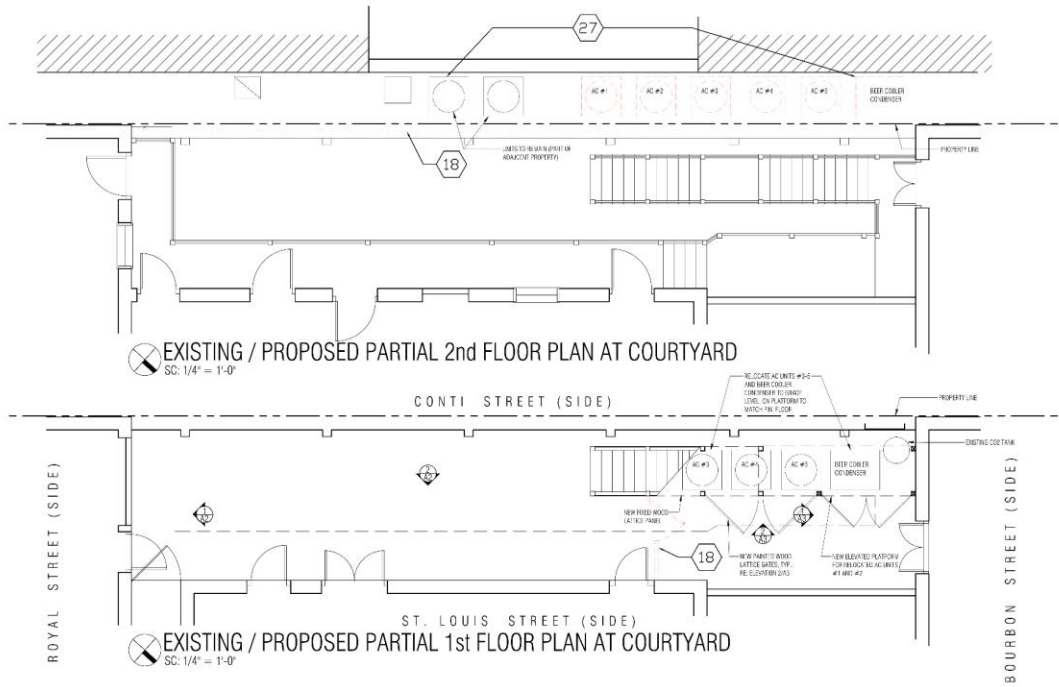


PHOTO OF FRONT FACADE

**VCC: WINDOWS MAY NOT BE RETAINED. REPLACE WITH SIX-COVER-SIX WINDOWS PER NOTE 9

KEYNOTES

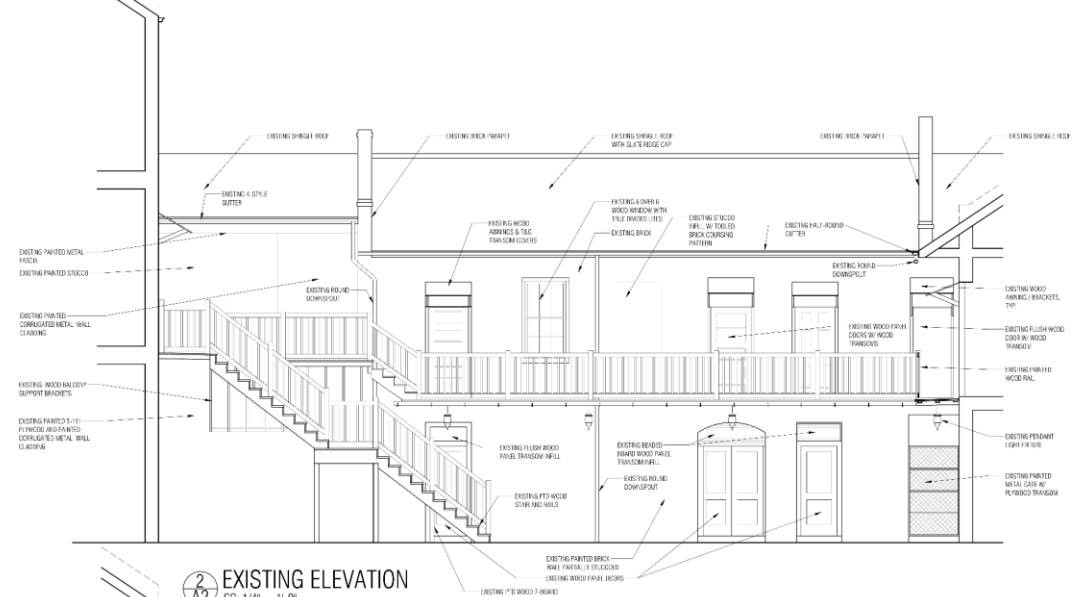
1. REPAIR BRICK AND/OR MORTAR DAMAGE, TYP. THROUGHOUT
2. PATCH CRACKS IN STUCCO; PAINT.
3. REMOVE SCORED STUCCO INFILL; NEW STUCCO; PAINT. ****VCC: NEW STUCCO TO BE VCC FORMULA, ATTACHED. PREPACKAGED MIXES ARE NOT ALLOWED.**
4. PERFORM EXPLORATORY DEMOLITION OF CORRUGATED METAL WALL CLADDING TO DETERMINE SUITABILITY OF EXISTING SUBSTRATE FOR NEW STUCCO. ****VCC: CONTACT VCC STAFF FOR INSPECTION OR PROVIDE PHOTOS AFTER EXPLORATORY AND BEFORE PROCEEDING WITH WORK.**
5. PERFORM EXPLORATORY DEMOLITION OF T-111 PLYWOOD WALL CLADDING TO DETERMINE SUITABILITY OF EXISTING SUBSTRATE FOR NEW STUCCO.
6. REMOVE ASPHALT SHINGLES. NEW SLATE ROOF.
7. REPAIR CHIMNEYS (2) ****VCC: TUCKPOINT USING VCC MORTAR MIX, ATTACHED.**
8. REPAIR WINDOWS; REPLACE TRIM AS NECESSARY; PAINT
9. REMOVE AND REPLACE WINDOWS WITH NEW 8 OVER 6 TRUE DIVIDED LITE WOOD DOUBLE HUNG WINDOWS TO FILL MASONRY OPENINGS
10. REMOVE AND REPLACE WOOD DOOR; NEW PAINTED WOOD 4 PANEL DOOR; NEW PAINTED WOOD JAMB/CASING
11. REMOVE T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
12. REMOVE PLYWOOD PANEL.
13. REMOVE SHEET METAL FASCIA.
14. REPAIR OR REPLACE WOOD FASCIA AND SOFFIT. PAINT.
15. REPAIR EXISTING WOOD AND/OR METAL BALCONY & STAIR FRAMING; PAINT. WOOD T&G DECKBOARDS TO REMAIN. REPAIR OR REPLACE WOOD TREADS AND RISERS. PAINT.
16. REMOVE AND REPLACE BALCONY RAILING INCLUDING TOP RAIL, PICKETS AND BOTTOM RAIL PER A/A2 (V.C.C. DETAIL SHEET NO.11, DETAIL NO. 1.) RAIL SHALL BE 42" H. VERTICAL 4x4 POSTS TO REMAIN. PAINT.
17. REMOVE VEGETATION.
18. REMOVE EXISTING PAINTED WOOD 7-BOARD FENCE AND GATE @ GROUND LEVEL COURTYARD AND 7-BOARD FENCE AT MECHANICAL PLATFORM.
19. RETAIN EXISTING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS. PAINT.
20. REMOVE AND REPLACE EXISTING K-STYLE GUTTERS WITH NEW HALF ROUND GUTTERS TO MATCH EXISTING ADJACENT. RETAIN ROUND DOWNSPOUTS. PAINT. ****VCC: 6" HALF-ROUND, ALL DRAINAGE MUST BE COPPER, INCLUDING DOWNSPOUTS.**
21. REMOVE PLYWOOD AWINGS AND T&G VERTICAL BOARD TRANSOM COVERS. REPAIR OR REPLACE GLASS / WOOD TRANSOMS.
22. REMOVE EXISTING PENDANT FIXTURES; REPLACE WITH 6 NEW REMCRAFT BALCONY MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
23. FILL CRACKS AT CORNICE WITH EPOXY; PAINT. ****VCC: FILL CRACKS WITH VCC MORTAR MIX, ATTACHED.**
24. REMOVE UNUSED WIRING. SECURE EXISTING WIRING. PAINT TO MATCH.
25. REMOVE LIGHTS AT EXISTING PLYWOOD AWINGS. REPLACE WITH NEW REMCRAFT WALL MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
26. REMOVE LIGHTS AT EXISTING PLYWOOD AWINGS. REPLACE WITH NEW REMCRAFT SOFFIT MOUNTED L.E.D. FIXTURES PER CUTSHEET ON SHEET A3.
27. RELOCATE 5 EXISTING HVAC CONDENSERS AND 1 EXISTING BEER COOLER CONDENSER TO GROUND LEVEL PER PLAN / ELEVATION; 2 REMAINING CONDENSERS ARE FOR ADJACENT PROPERTY.

WINDOW NOTES

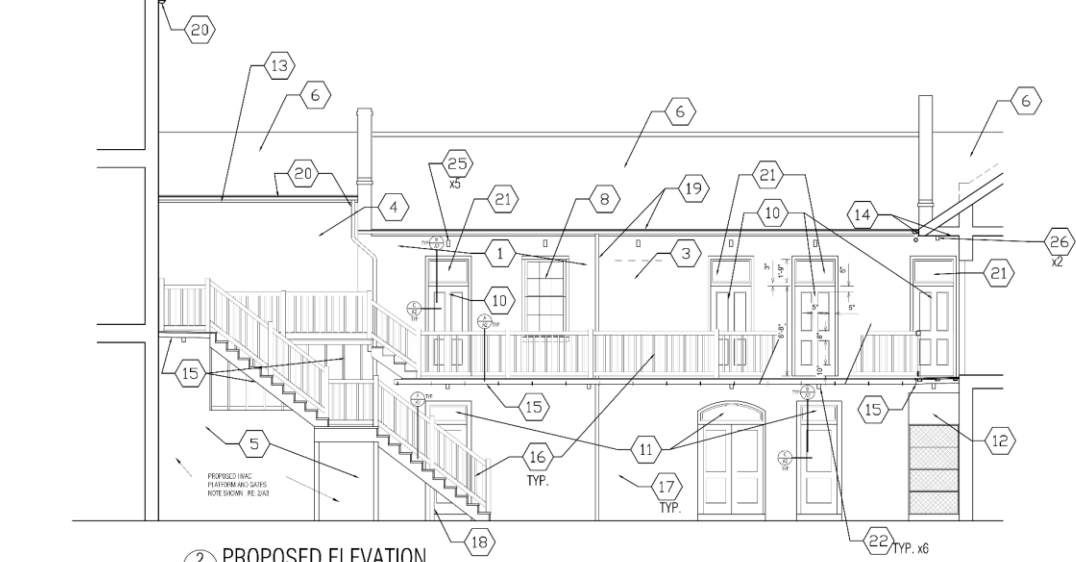
1. PER LSUC AMENDMENTS, IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS ON THE 1ST AND 2ND FLOORS PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER IBC2015 TABLE 1609.1.2. PANELS SHALL BE STORED ON SITE.
2. ALL GLAZING SHALL BE CLEAR.
3. SAFETY GLAZING REQUIRED IN THE FOLLOWING LOCATIONS:
 - ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS
 - GLAZING WITHIN 2FT OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - AN INDIVIDUAL PANE IS GREATER THAN 9SF AND THE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE WALKING SURFACE AND THE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR

<p>V.C.C. MODIFICATIONS to 410 Bourbon Street New Orleans, Louisiana 70130</p>	<p>LKHarmen Architects A Professional Architectural Corporation 6028 Argonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harmen@lkharmenarchitects.com</p>	<p>NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24x36 SHEETS</p>	<p>A1 LKH #6021</p>
		<p>11.0.2021</p>	
		<p>1.18.2022</p>	
		<p>2.4.2022</p>	

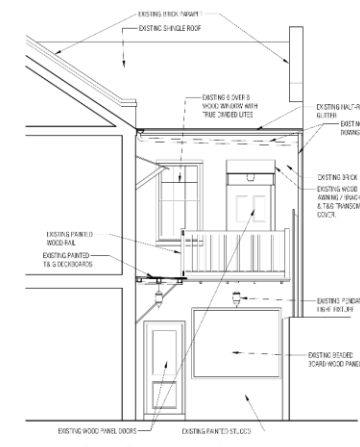




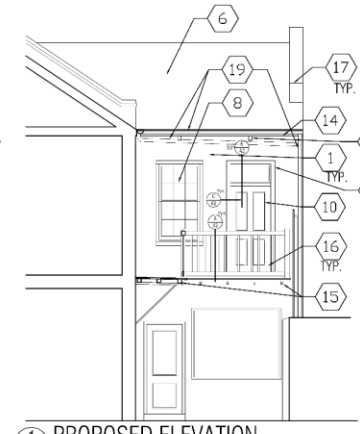
EXISTING ELEVATION
SC: 1/4" = 1'-0"



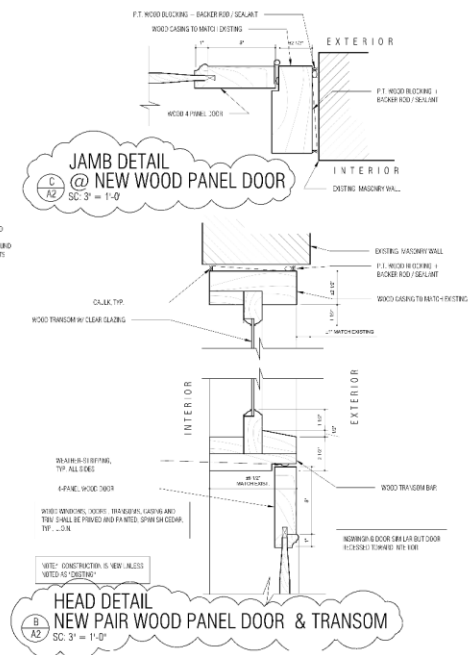
PROPOSED ELEVATION
SC: 1/4" = 1'-0"



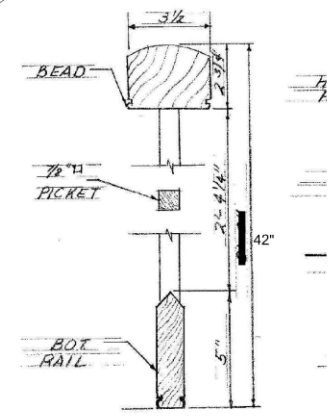
EXISTING ELEVATION
SC: 1/4" = 1'-0"



PROPOSED ELEVATION
SC: 1/4" = 1'-0"



HEAD DETAIL
NEW PAIR WOOD PANEL DOOR & TRANSOM
SC: 3" = 1'-0"



HAND RAIL #01
SCALE: 3/4" = 1'-0"
TYP. BALCONY RAILING DETAIL
N.T.S.



V.C.C. MODIFICATIONS to
410 Bourbon Street
New Orleans, Louisiana 70130



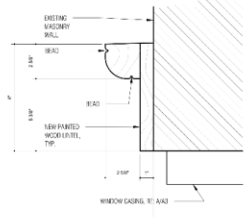
11.0.2021	A2
1.18.2022	
2.4.2022	
4.19.2022	
5.27.2022	
LKH #6021	

410 Bourbon – approved drawings

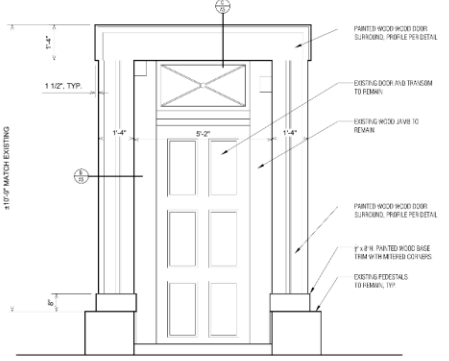
Vieux Carré Commission

May 14, 2024

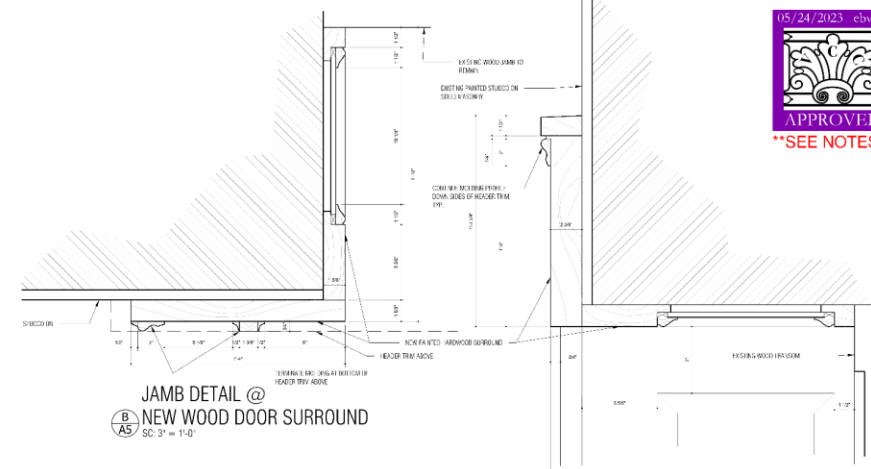




SECTION DETAIL @
NEW WOOD LINTEL
SC: 3\"/>



ENLARGED ELEVATION OF
RE-CONSTRUCTED DOOR SURROUND
SC: 1/2\"/>

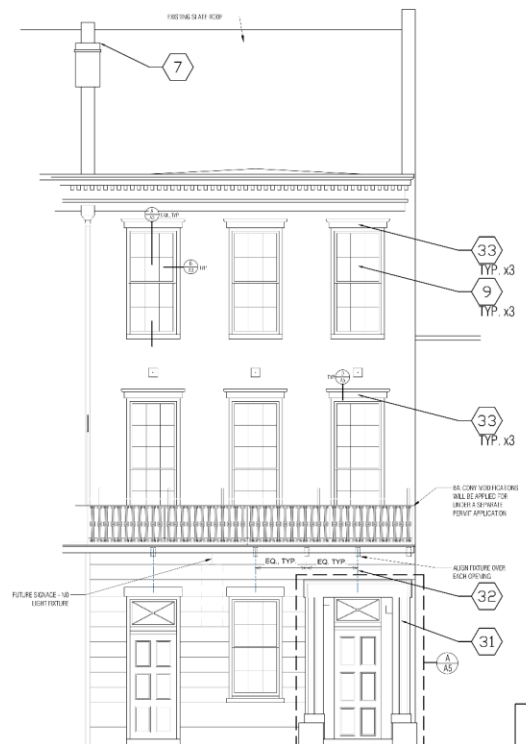


JAMB DETAIL @
NEW WOOD DOOR SURROUND
SC: 3\"/>

HEAD DETAIL @
NEW WOOD DOOR SURROUND
SC: 3\"/>



EXISTING FRONT ELEVATION
SC: 1/4\"/>



PROPOSED FRONT ELEVATION
SC: 1/4\"/>

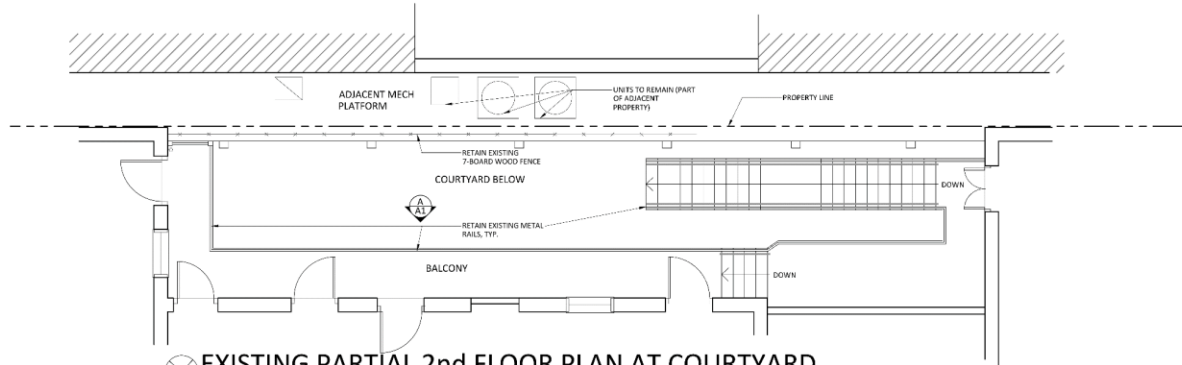
****VCC: DOOR SURROUND REPAIRS TO REUSE/REPAIR AS MUCH EXISTING FABRIC AS POSSIBLE. ANY REMOVED TRIM OR SURROUND MUST BE RETAINED FOR REFERENCE UNTIL AFTER VCC INSPECTION. ANY NEW WORK MUST MATCH EXISTING IN MATERIAL, SIZE, DIMENSION, REVEAL, COLOR, PROFILE, AND ATTACHMENT.**

V.C.C. MODIFICATIONS to 410 Bourbon Street New Orleans, Louisiana 70130	LKHARMON ARCHITECTS A Professional Architectural Corporation 6230 Argonne Boulevard New Orleans, Louisiana 70124 504.465.5870 harmou@lkharmoarchitects.com	3.14.2023 4.26.2023 6.1.2023	A5 LKH #6021
		<small>NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24x36" SHEETS</small>	





EXISTING FRONT ELEVATION
SC: 1/4" = 1'-0"



EXISTING PARTIAL 2nd FLOOR PLAN AT COURTYARD
SC: 1/4" = 1'-0"



EXISTING ELEVATION @ SERVICE ELL
SC: 1/4" = 1'-0"

V.C.C. APPLICATION for
410 Bourbon Street
New Orleans, Louisiana 70130



LKHarmon Architects
A Professional Architectural Corporation
6238 Argoane Boulevard
New Orleans Louisiana 70124
504.485.5870 harmon@lkharmonaarchitects.com

NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24" x 36" SHEETS.

4.30.2024

A1

LKH #6021.1

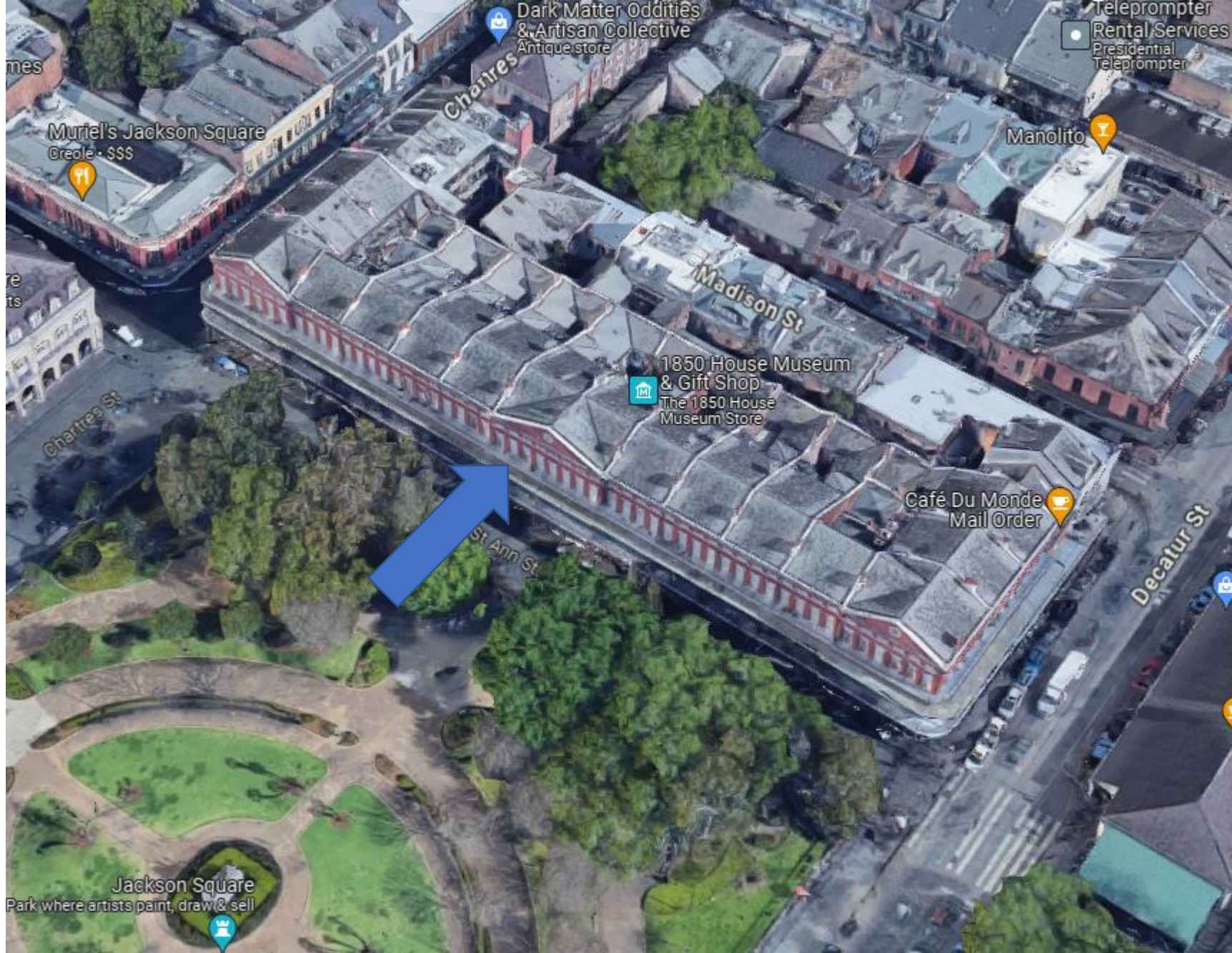




Other Business

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative, scrollwork design. The shield is flanked by two vertical elements that resemble stylized columns or pillars. The text "VIEUX CARRE COMMISSION" is arched across the top of the oval, and "ESTABLISHED 1936" is arched across the bottom. The entire seal is rendered in a light gray, semi-transparent style.

525 St. Ann – Pontalba Building



525 St. Ann

Vieux Carré Commission

May 14, 2024





525 St. Ann

Vieux Carré Commission

May 14, 2024





525 St. Ann





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May 14, 2024





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May 14, 2024





525 ST ANN | VIEW OF COURTYARD



525 ST ANN | VIEW OF PROPOSED KITCHEN ROOM 1



525 ST ANN | VIEW OF PROPOSED KITCHEN ENTRANCE ROOM 1



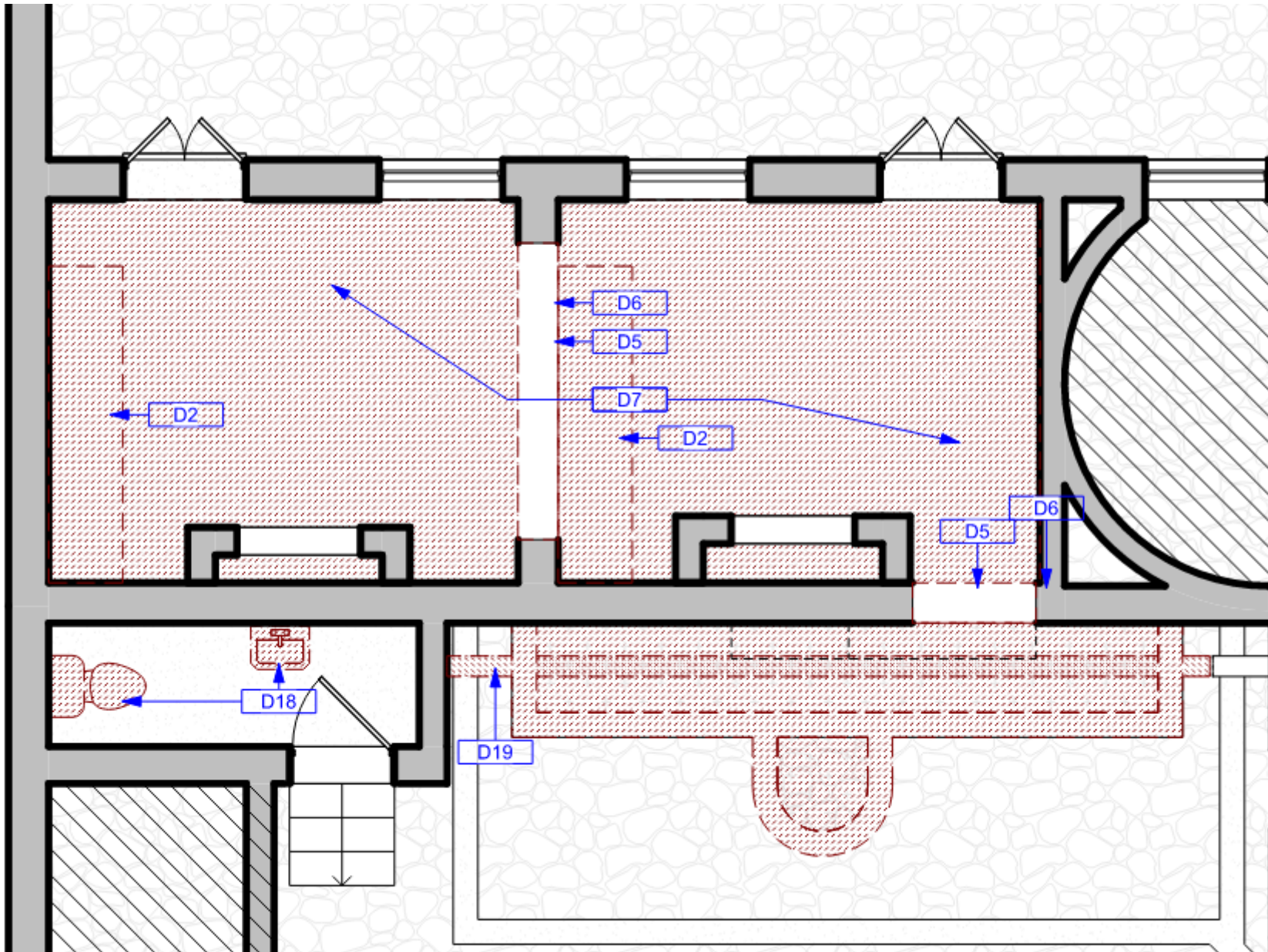
529 ST ANN | VIEW OF COURTYARD

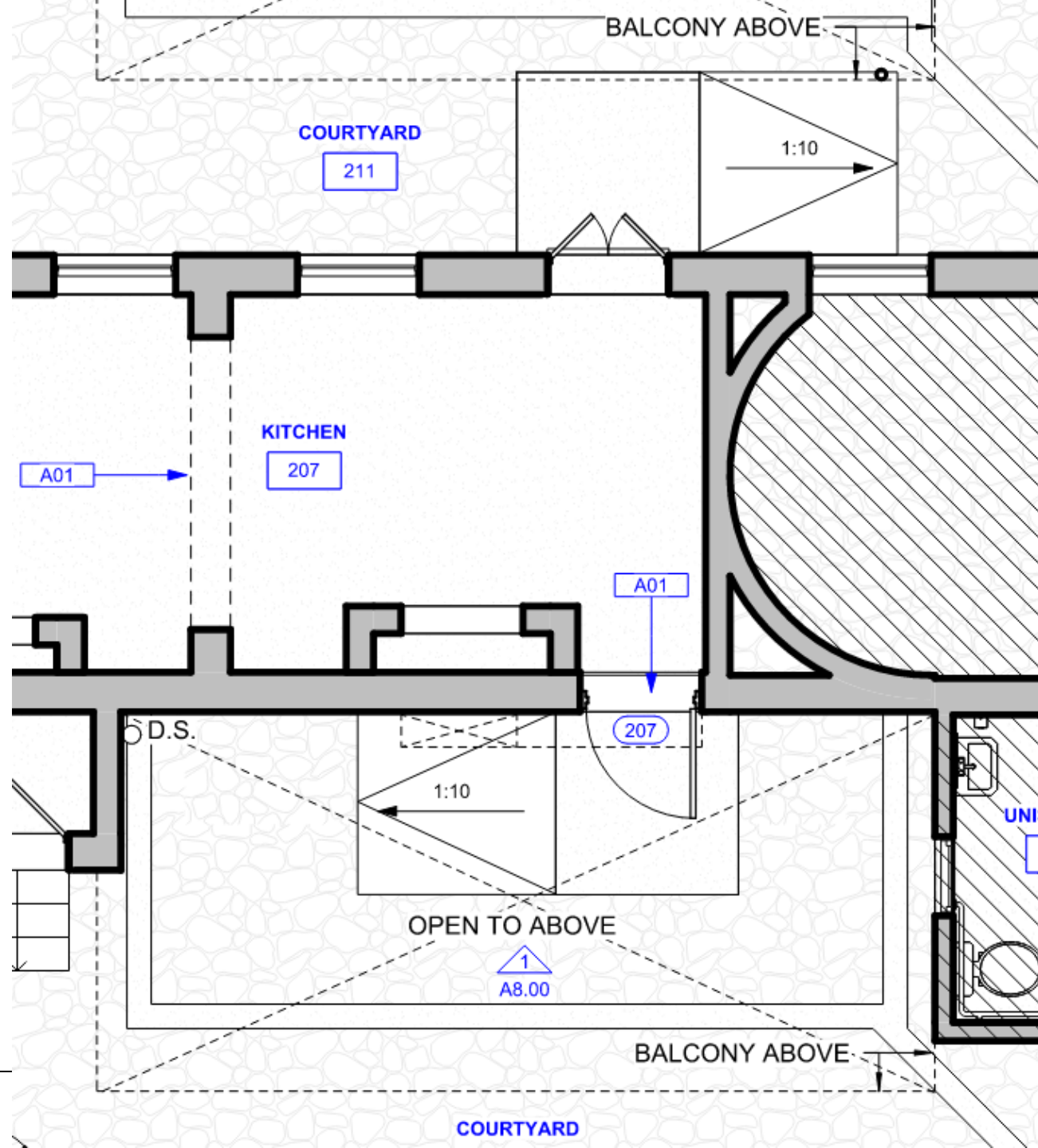


529 ST ANN | VIEW OF COURTYARD



529 ST ANN | VIEW OF COURTYARD



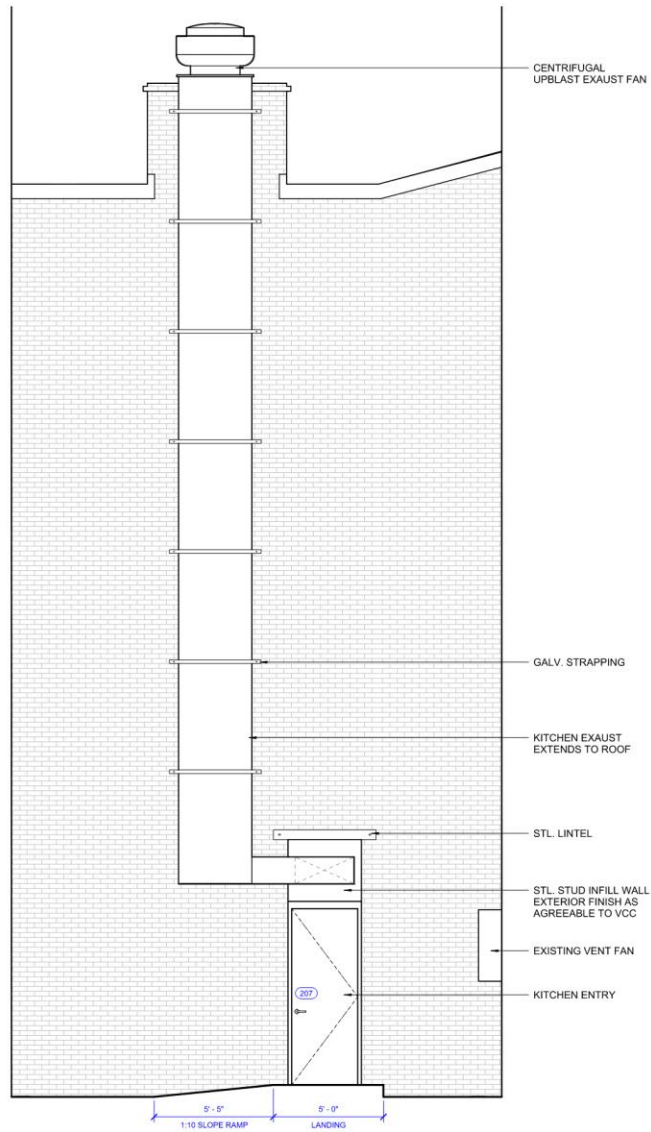


525 St. Ann

Vieux Carré Commission

May 14, 2024



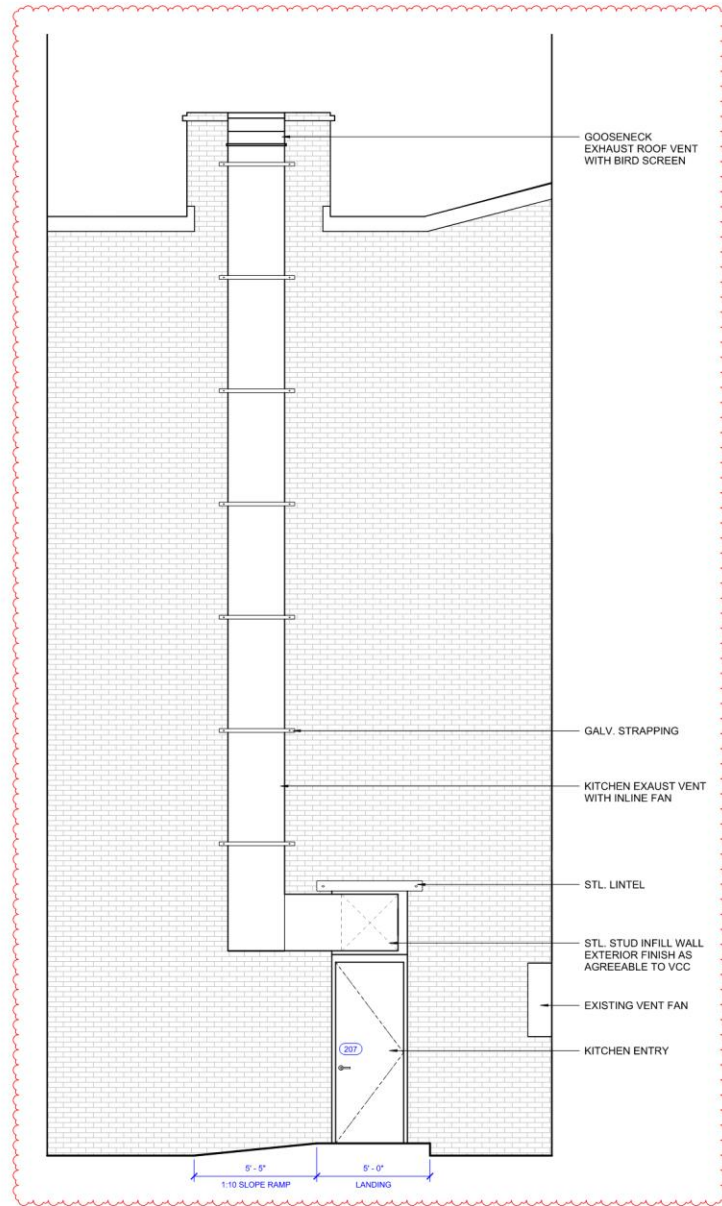


1 529 PROPOSED COURTYARD ELEVATION
A8.00 3/8" = 1'-0"



IMAGE IS FOR REFERENCE ONLY AND MAY BE DISTORTED

2 529 COURTYARD ELEVATION REFERENCE
A8.00 3/8" = 1'-0"



1 529 PROPOSED COURTYARD ELEVATION
AS.00 3/8" = 1'-0"

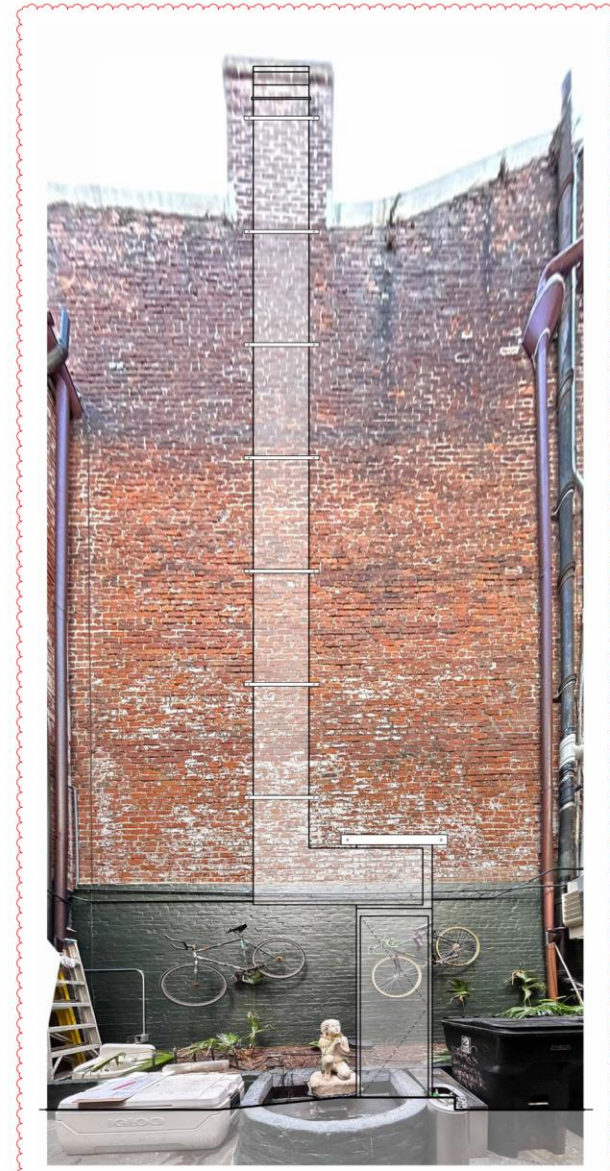


IMAGE IS FOR REFERENCE ONLY AND MAY BE DISTORTED

2 529 COURTYARD ELEVATION REFERENCE
AS.00 3/8" = 1'-0"

525 St. Ann

Vieux Carré Commission

May 14, 2024

