



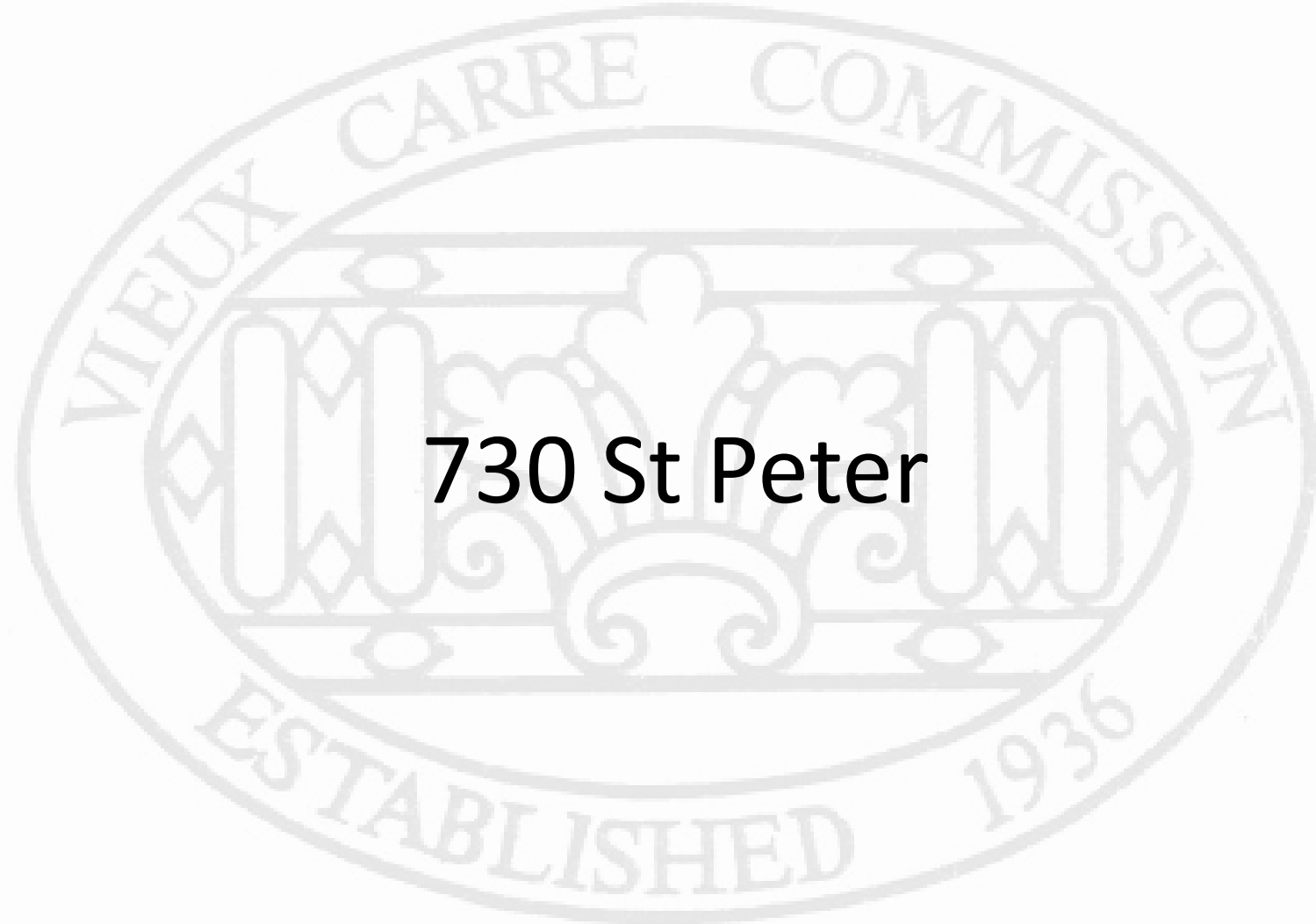
# Vieux Carré Commission Architecture Committee Meeting

Tuesday, June 11, 2024



**Old Business**





730 St Peter





730-732 St Peter

VCC Architecture Committee

June 11, 2024







730-732 St Peter

VCC Architecture Committee

June 11, 2024







730-732 St Peter – 1860 plan book

VCC Architecture Committee

June 11, 2024





730-732 St Peter – 1930s – 40s?

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730-732 St Peter – 1950s?

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730-732 St Peter – 1963

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1941



1975

730-732 St Peter

VCC Architecture Committee

June 11, 2024







1994



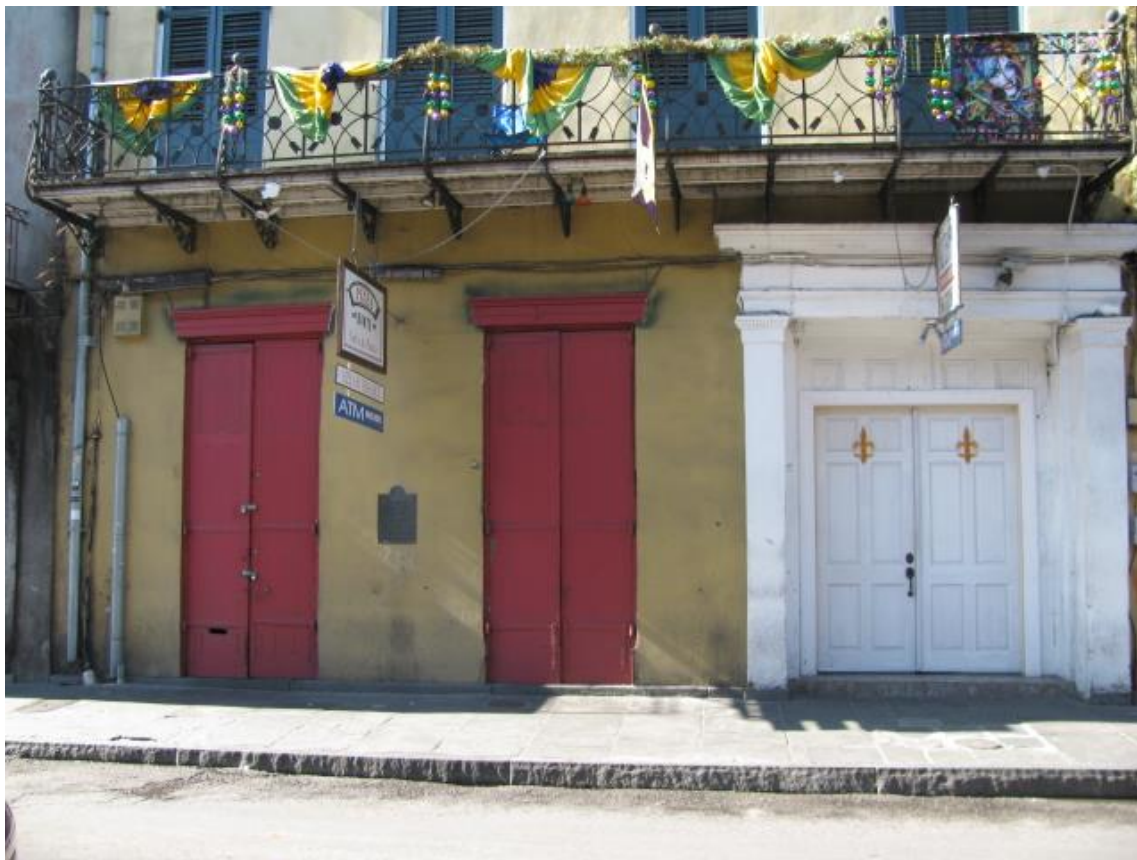
01.2009

730-732 St Peter

VCC Architecture Committee

June 11, 2024





Current



730-732 St Peter

VCC Architecture VCC Architectural Committee

April 13, 2010

June 2, 2024







730-732 St Peter

VCC Architecture Committee

June 11, 2024





730-732 St Peter

VCC Architecture Committee

June 11, 2024







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June 11, 2024







730-732 St Peter

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Feb 16, 2023 11:58:35 AM

June 11, 2024







730-732 St Peter

VCC Architecture Committee

Feb 16, 2023 12:14:14 PM

June 11, 2024







730-732 St Peter

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Feb 16, 2023 12:14:15 PM

June 11, 2024







730-732 St Peter

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June 11, 2024





**WILLIAMS ARCHITECTS**  
 824 BAKERIANE STREET  
 NEW ORLEANS, LA 70113  
 504-566-0888  
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct supervision and to the best of my professional knowledge and belief they conform with applicable codes and requirements.

*John Williams*



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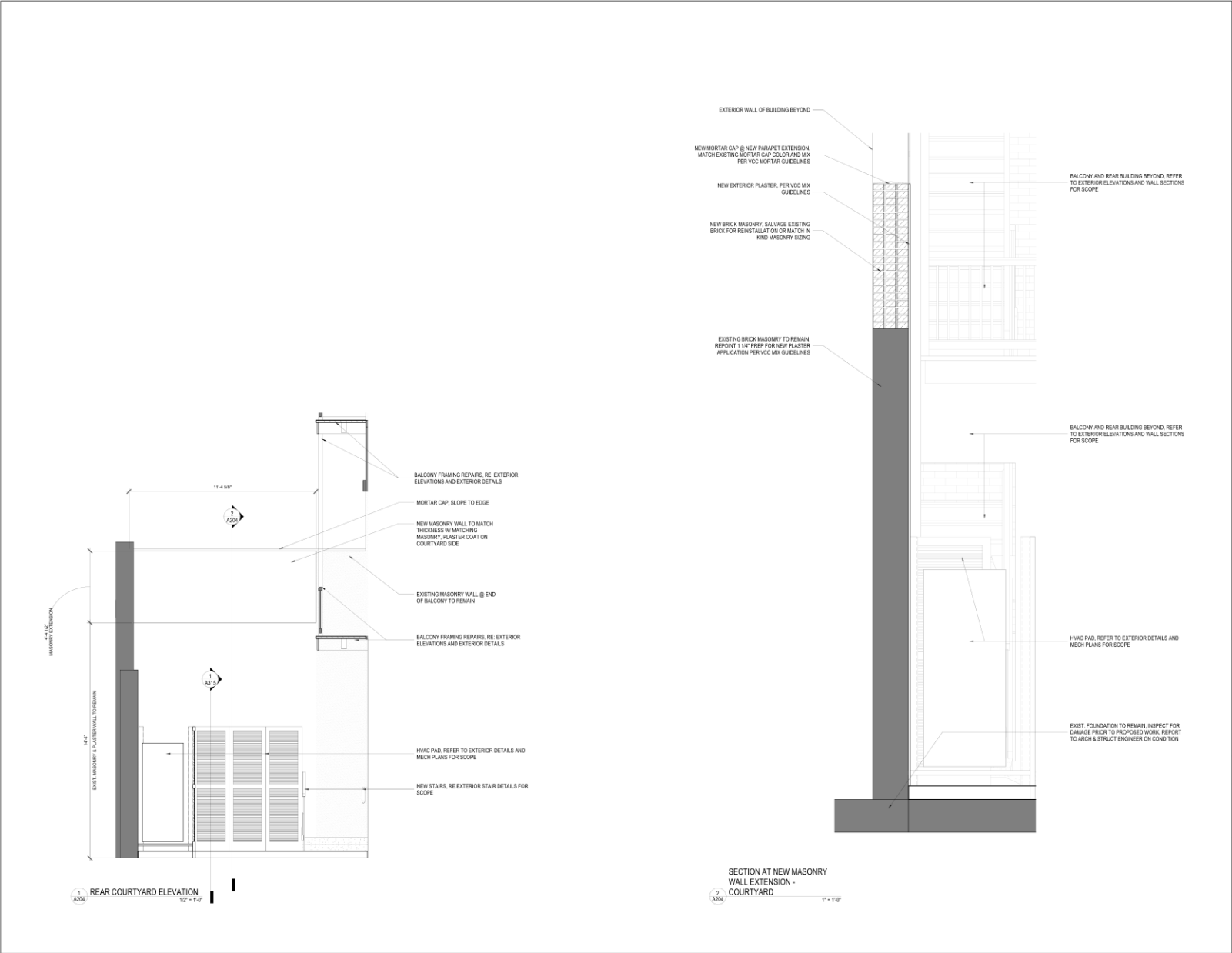
**RENOVATION - 730 ST. PETER ST**  
 730 St Peter St, New Orleans, LA 70116

No.	Date	Scope

COURTYARD WALL EXTENSION

Author  
 As indicated  
 5/19/27/22  
 02/20/2024

**A204**



5/22/2024 8:56:32 AM AutoCAD Document: 730 St Peter/730 St Peter - R27.rvt







WILLIAMS ARCHITECTS  
124 BARBANE STREET  
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504-566-0888  
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These drawings and specifications have been prepared by me or under my direct professional supervision and shall only be applicable to the work and materials specified.



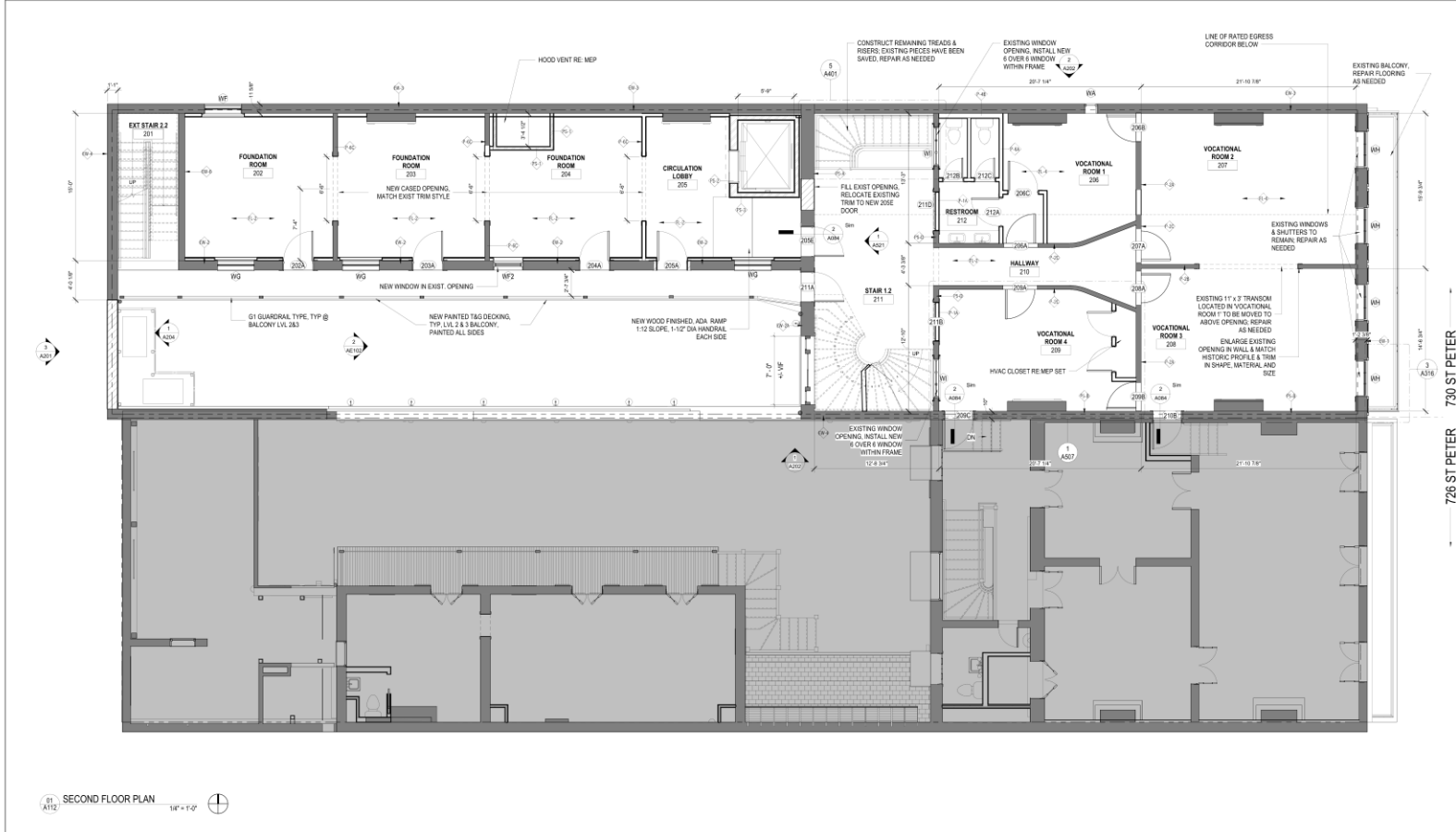
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RENOVATION - 730 ST. PETER ST  
730 St Peter St, New Orleans, LA 70116

No.	Date	Scope

SECOND FLOOR PLAN  
ADD  
14" = 1'-0"  
11/07/24  
02/20/2024

A112



01 SECOND FLOOR PLAN 1/4" = 1'-0"

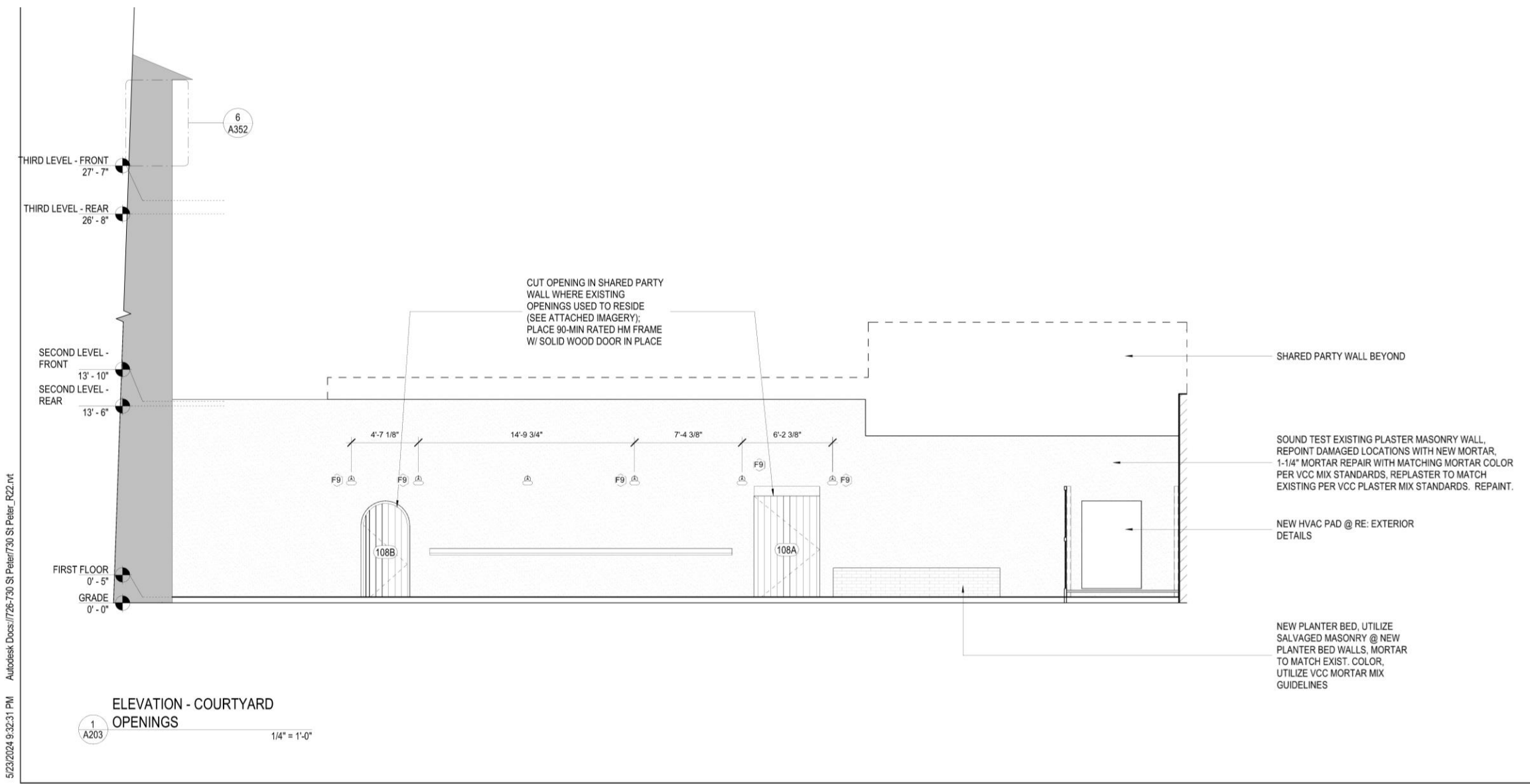
PLAN LEGEND

	WHITE BOX FINISH AREAS FOR FUTURE DEMO BRACKET
	EXISTING WALL
	NEW CONSTRUCTION WALL
	AREA NOT IN SCOPE PER CONTRACT

- GENERAL NOTES FLOOR PLAN
1. REFERENCE A000 SERIES FOR FINISH, DOOR AND WINDOW SCHEDULES AND DETAILS
  2. REFERENCE A0 SERIES FOR DEMO SCOPE OF WORK
  3. UNLESS NOTED, CHANGES AND DIMENSIONS ARE TO FINISHED FACE OF WALL
  4. COORDINATE UTILITY ENTRANCES WITH STRUCT & MEP. PAINT UTILITY METERS & CABINETS AND ASSOCIATED PIPES/COURT TO MATCH ADJACENT FINISH, TYPICAL
  5. COORDINATE ELEVATOR REQUIREMENTS INCLUDING FT SIZES, SLAB OPENINGS, SUMPS, ETC. WITH MANUFACTURER
  6. PROTECT ALL EXISTING HISTORIC MATERIALS, DOORS, WINDOWS, TRIM, CROWN, BASEBOARD, STAR COMPONENTS, HANDLES, AND OTHER HISTORIC SURFACES TO REMAIN
  7. REFERENCE LIFE SAFETY PLANS FOR REQUIRED FIRE RATINGS AND NFPA SPRINKLER PROTECTION LOCATIONS
  8. COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER FINAL BPE LOCATION OF REPLACEMENT FLOOR SLAB AT 4TH FLOOR ELEVATION
  9. SALVAGE AND STORE ANY HISTORIC MATERIALS REMOVED DURING DEMO FOR REUSE OR TO MATCH EXISTING WITH NEW REPLACEMENT.

02/20/2024 10:20:08 AM Autodesk Docs \| 730 St Peter \| 730 St Peter \| 02/20/24





5/23/2024 9:32:31 PM Autodesk Docs://726-730 St Peter/730 St Peter\_R22.rvt

ELEVATION - COURTYARD OPENINGS  
1 A203  
1/4" = 1'-0"

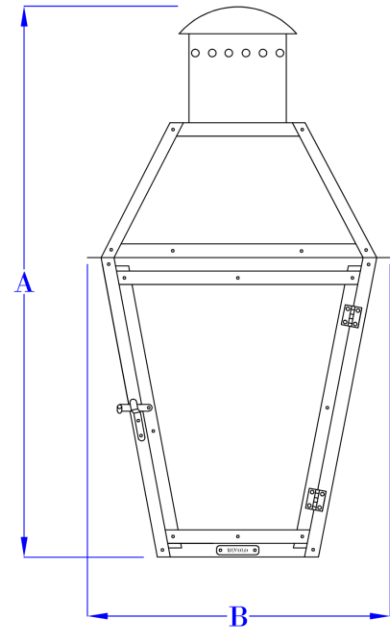
# 730-732 St Peter – A203

VCC Architecture Committee

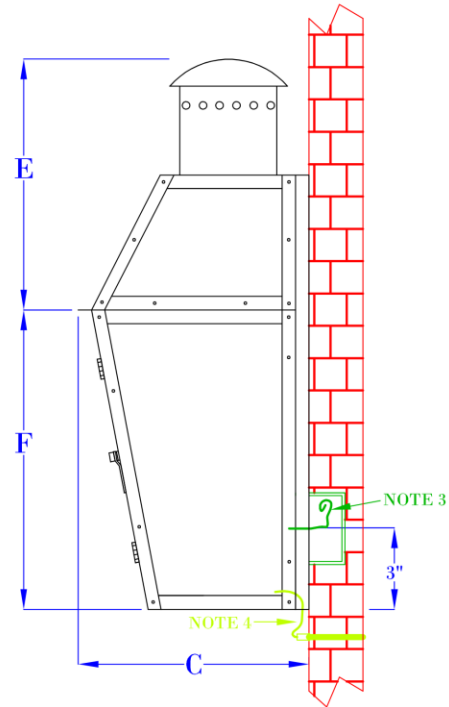
June 11, 2024







**FRONT VIEW**  
(NTS)



**SIDE VIEW**  
(NTS)

**FLUSH MOUNTED  
GAS FIXTURES  
CANNOT BE MOUNTED TO  
ANY COMBUSTIBLE  
MATERIALS INCLUDING  
WOOD, VINYL, PVC  
OR COMPOSITES**

**NOTES:**

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/4"
3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH 3/16" COPPER GAS LINE AND 3/16" x 1/4" GAS LINE ADAPTOR

SIZE:	18"	21"	24"
A:	17 3/4"	20 1/2"	25 1/4"
B:	10 1/2"	11 1/2"	13 1/4"
C:	8"	8 7/8"	10 1/4"
E:	7 5/8"	9 3/8"	12 3/8"
F:	10 1/8"	11 1/8"	12 7/8"

<b>BEVOLO GAS &amp; ELECTRIC LIGHTS</b>			DRW BY:	JJG	<small>COPYRIGHT 2019, BEVOLO GAS &amp; ELECTRIC LIGHTS. THIS DRAWING AND ANY DESIGN OR DATA CONTAINED THEREIN ARE CONSIDERED PROPERTY OF BEVOLO GAS AND ELECTRIC LIGHTS. NEITHER THE DRAWING NOR ITS CONTENT MAY BE COPIED, REPRODUCED, OR EDITED TO A LIKENESS WITHOUT THE WRITTEN CONSENT OF BEVOLO GAS AND ELECTRIC LIGHTS.</small>
LIGHT:	FRENCH QUARTER HALF LIGHT	DATE:	APP. BY:	JJG	
BRACKET:	FLUSH	9-10-19	REVISION:	3	





730-732 St Peter

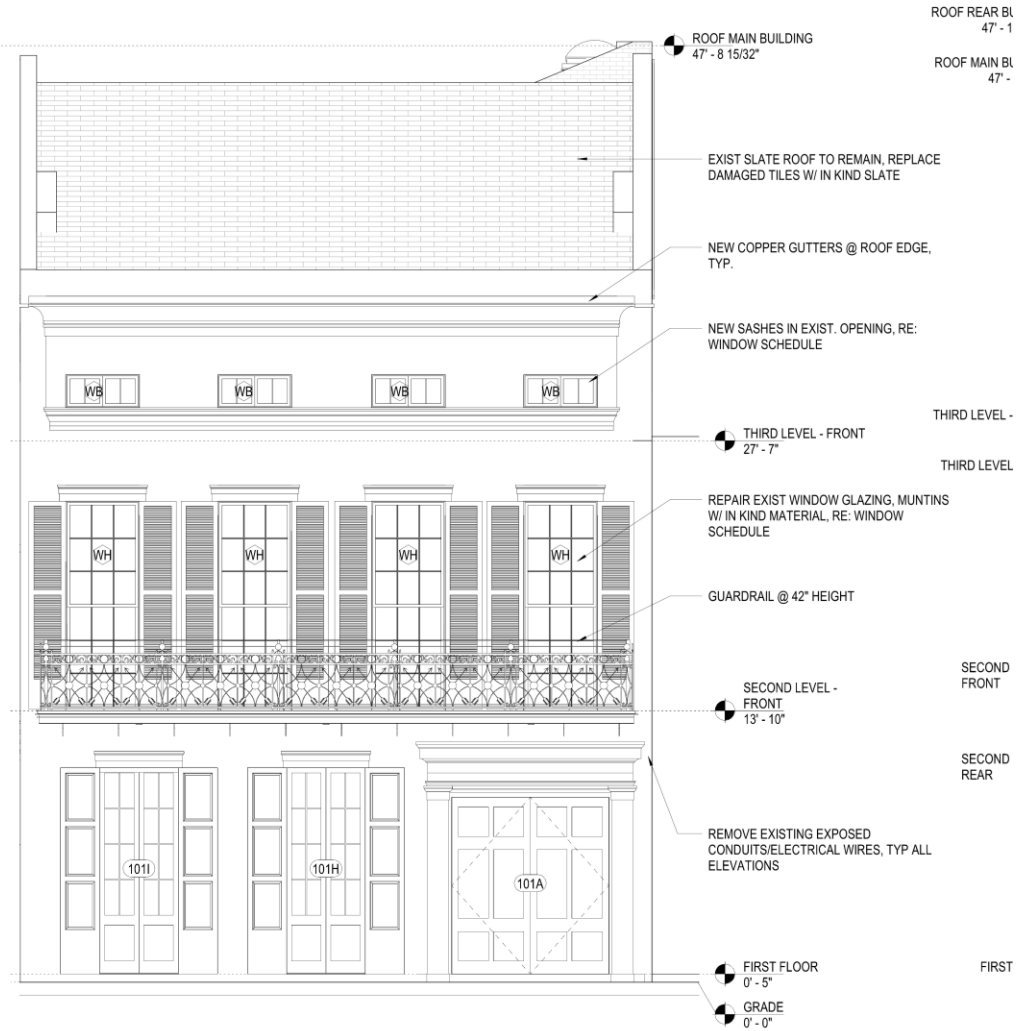
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June 11, 2024





01 SIDE 1/4" = 1'-0"



2 ELEVATION - ST. PETER SIDE 1/4" = 1'-0"

3 A201

5/23/2024 9:32:28 PM Autodesk Docs://726-730 St Peter/730 St Peter\_R22.rvt



**SECTION DETAIL - FRONT BALCONY**  
 1 A316 1/2" = 1'-0"

**HANDRAIL EXTENSION**  
 4 A316 1/2" = 1'-0"

**PLAN DETAIL - NEW RAIL EXTENSION**  
 3 A316 1" = 1'-0"

**3D VIEW - BALCONY HANDRAIL EXTENSION**  
 2 A316

**NEW STEEL GUARDRAIL EXTENSION @ 42" IN HEIGHT**

**NEW GUARDRAIL TO BE FLOOR MOUNTED & BRICED TO EXISTING BALCONY FURLING**

**EXISTING ORNATE IRON RAILING TO REMAIN REPAIR IN KIND**

**EXISTING BALCONY & RAILING TO REMAIN, REPAIR DAMAGED CAST IRON COMPONENTS WITH IN KIND MATERIALS, SAND REPAIR**

**EXISTING BALCONY T&G DECKING REPLACE ROTTEN BOARDS WITH IN KIND MATERIAL, PRIME & PAINT ALL SIDES**

**1/2" L-ANGLE ANCHOR PLATE TO BE SECURED TO EXISTING BALCONY FURLIN W/ FOUR (4) LAG SCREWS EACH PLATE**

**NEW STEEL GUARDRAIL EXTENSION @ 42" IN HEIGHT**

**NEW GUARDRAIL TO BE FLOOR MOUNTED & BRICED TO EXISTING BALCONY FURLING**

**EXISTING ORNATE IRON RAILING TO REMAIN REPAIR IN KIND**

**3/4"x1 1/2" ANCHOR PLATE TO BE SECURED TO EXISTING BALCONY STRUCTURE**

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 824 BARDONNE STREET  
 NEW ORLEANS, LA 70113  
 504-566-0888  
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Please Review and acknowledge these plans prior to construction. An error or omission is hereby acknowledged. It is the responsibility of the contractor to verify all dimensions and conditions on site prior to construction. Williams Architects is not responsible for any errors or omissions on the part of the contractor.

I will not act as an independent professional engineer or architect unless specifically authorized by the State of Louisiana.

*John Williams*

**STATE OF LOUISIANA**  
 PROFESSIONAL ARCHITECT  
 JOHN WILLIAMS  
 No. 10000

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 730 St Peter St, New Orleans, LA 70116

No.	Date	Scope

**EXTERIOR DETAILS - FRONT BALCONY**

Author:  
 As indicated  
 5/16/27/22  
 02/20/24

**A316**







ELEVATION - ROYAL STREET  
 SIDE  
 01 A201  
 1/4" = 1'-0"

ROOF REAR BUILDING

KITCHEN HOOD

NEW ROL DOV  
 6 A352

PRC WIN DOC  
 1" O

PRC FILL W/1









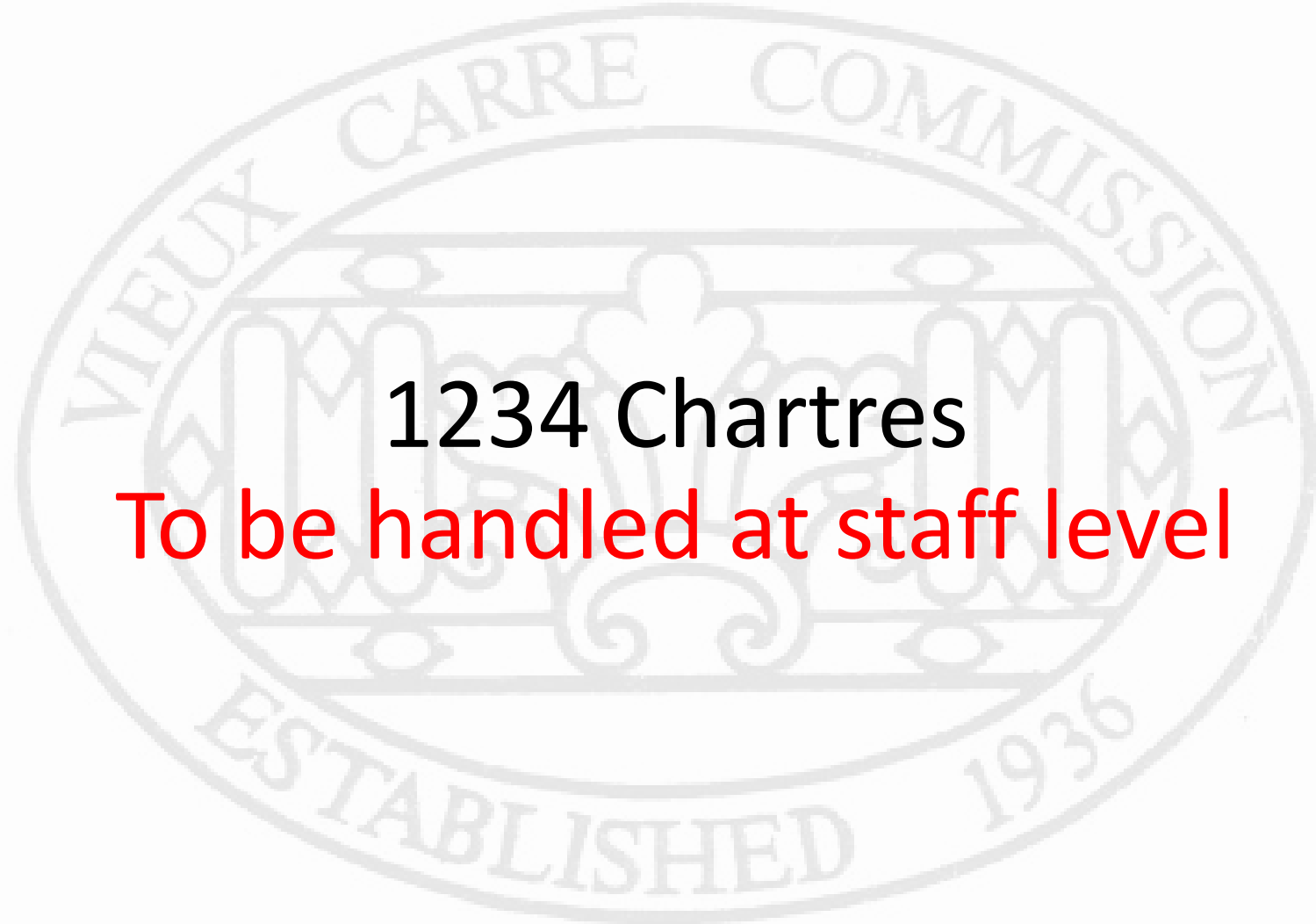
730-732 St Peter

VCC Architecture Committee

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June 11, 2024





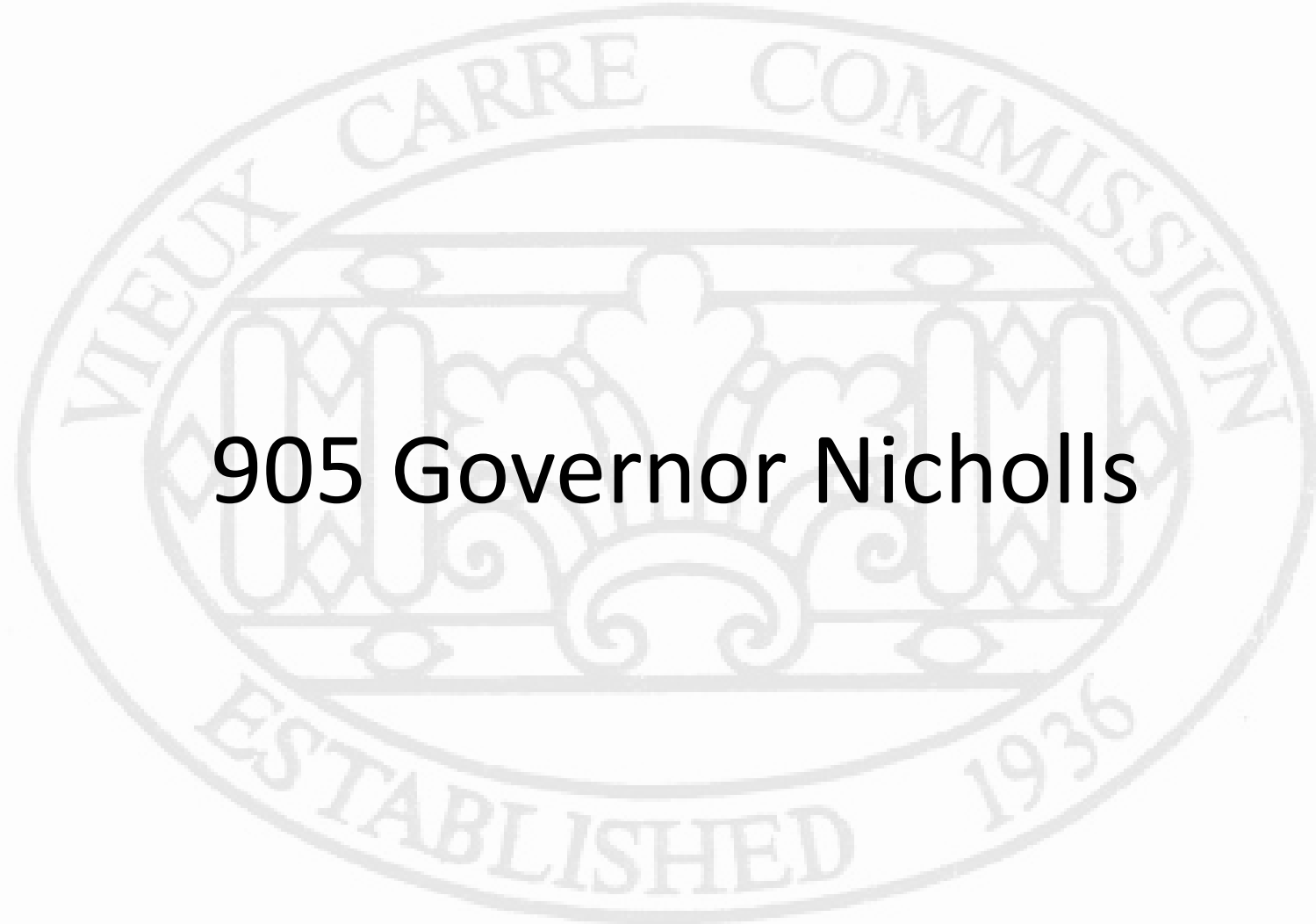
**1234 Chartres**

**To be handled at staff level**





# New Business



**905 Governor Nicholls**





905 Governor Nicholls

VCC Architecture Committee

June 11, 2024







905 Governor Nicholls

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June 11, 2024

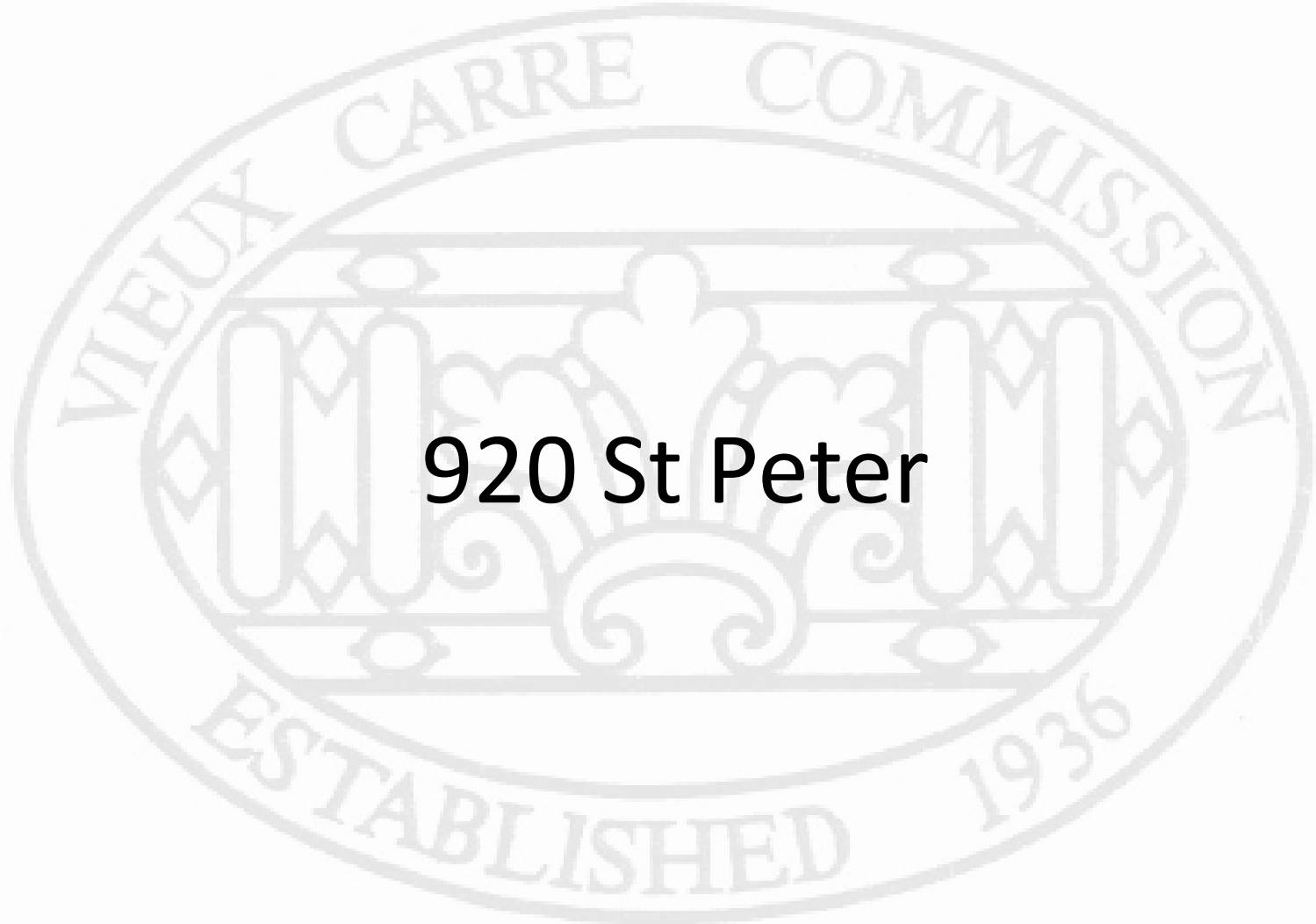




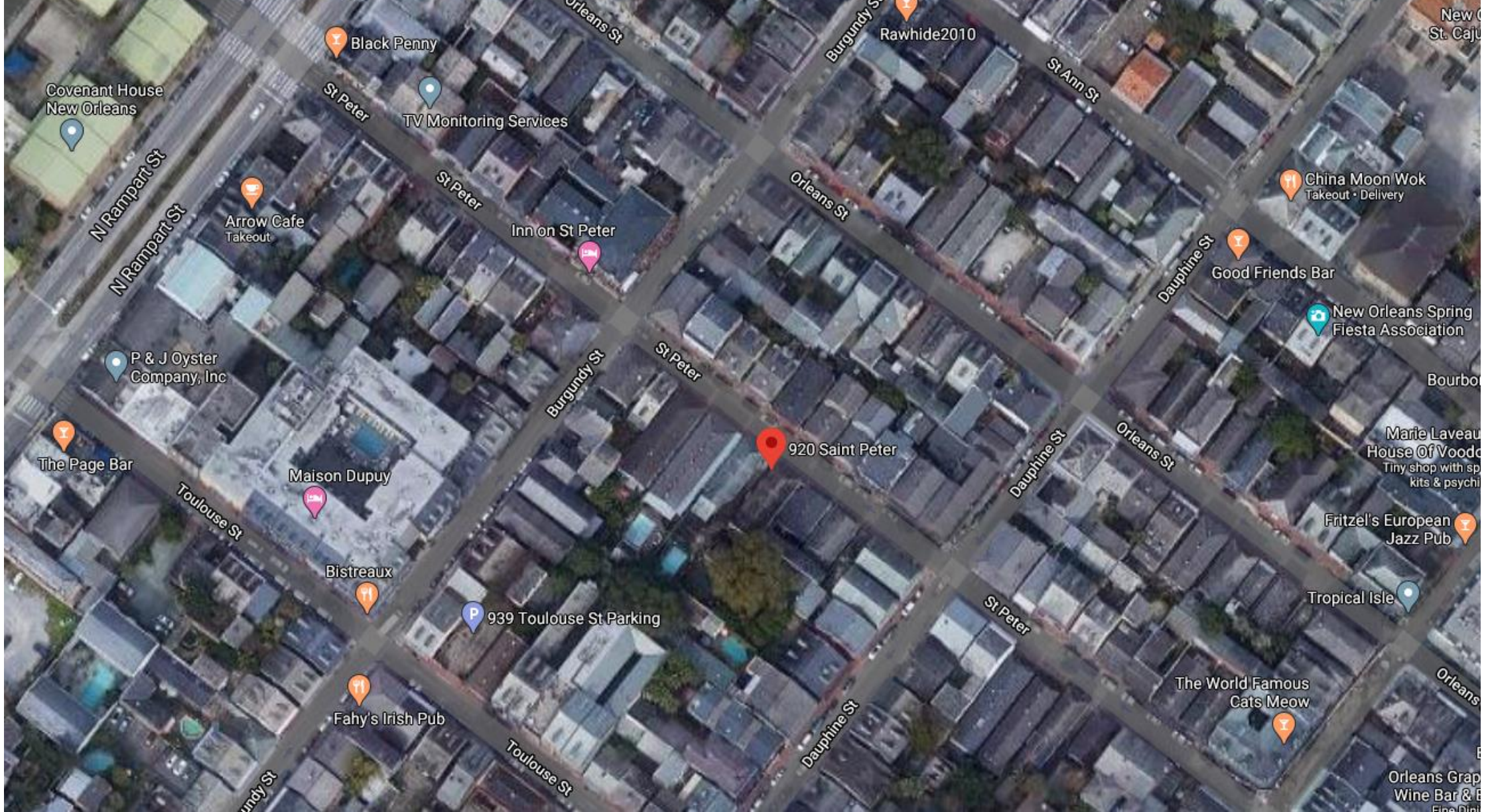
**This is a photo of the  
"Chinese Cap Vent" that  
is on his neighbors  
roof...we need to  
fabricate & install this  
vent on Mr. Raine Roof**







920 St Peter



# 920 St Peter

VCC Architecture Committee

June 11, 2024







920 St Peter

VCC Architecture Committee

June 11, 2024





920 St Peter

VCC Architecture Committee

June 11, 2024







920 St Peter

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920 St Peter

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June 11, 2024







920 St Peter

VCC Architecture Committee

June 11, 2024







920 St Peter

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June 11, 2024





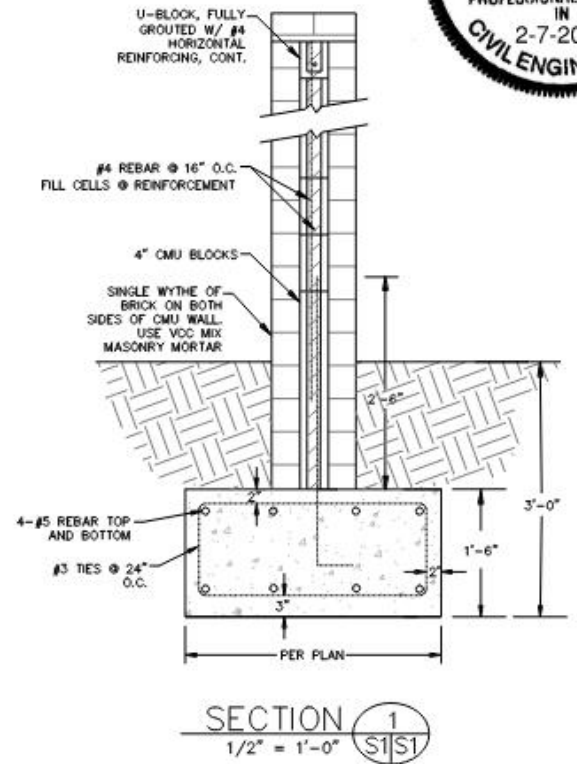
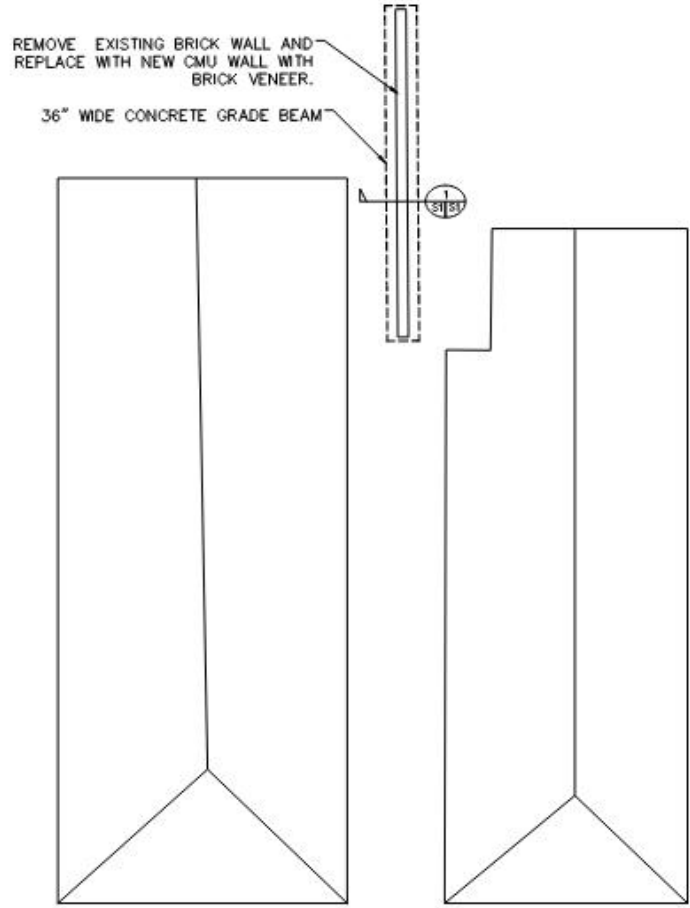


920 St Peter

VCC Architecture Committee

June 11, 2024





ST. PETER STREET

MASONRY WALL REPLACEMENT

1/16" = 1'-0"

**MARAIS**  
CONSULTANTS, LLC  
2018 IENA STREET  
NEW ORLEANS, LA 70115  
504.350.2644  
maraisconsultants.com

DRAWN BY: CAP  
CHECKED BY: JMS  
DATE: FEBRUARY 7, 2024

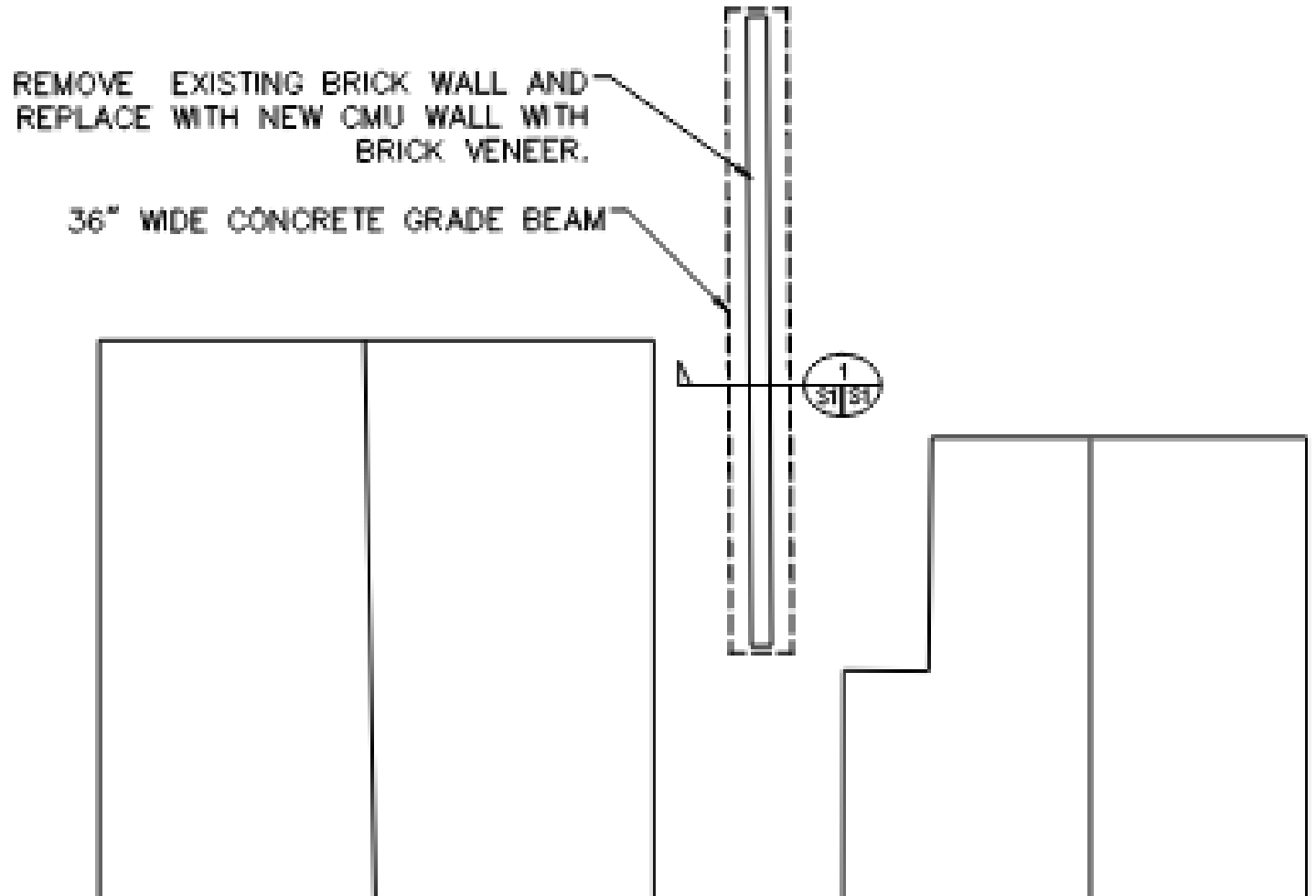
**BRICK WALL REPAIR  
OPTION 1**

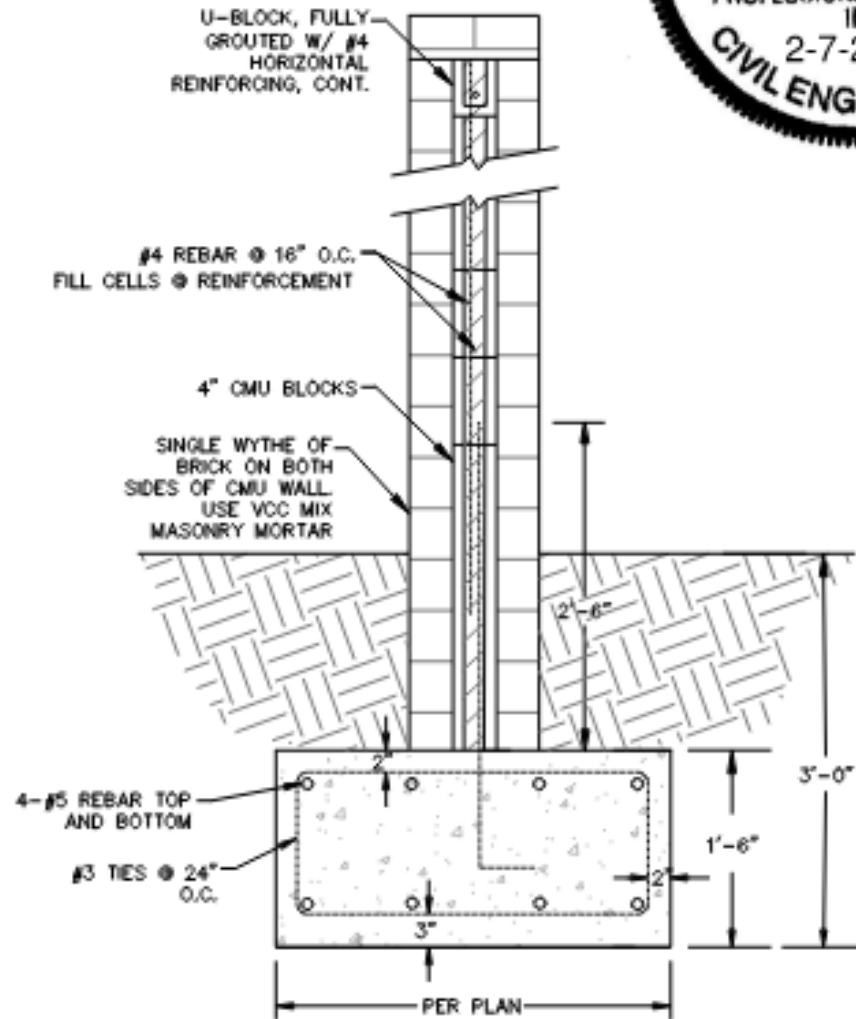
**920 St. Peter Street**  
New Orleans, Louisiana

920 St Peter









SECTION 1  
1/2" = 1'-0" S1/S1







ADDRESS
Antonio Carbone

ESTIMATE #	DATE
1993	05/23/2024

DATE		DESCRIPTION	QTY	RATE	AMOUNT
	Sales	920 ST Peter St BRICK WALL REPAIR SCOPE OF WORK -demolish existing brick wall -build new CMU wall with brick vener 32'10"long by 8'4'high salvage/clean bricks to re-use materials cost	1	4,250.00	4,250.00
	Sales	provide 320 blocks rebars #4,#5 concrete to fill cells vieux carre mortar delivery fee labor cost	1	6,884.00	6,884.00

please let me know if you have any questions  
 504-657-3170 or 504-295-4913

TOTAL

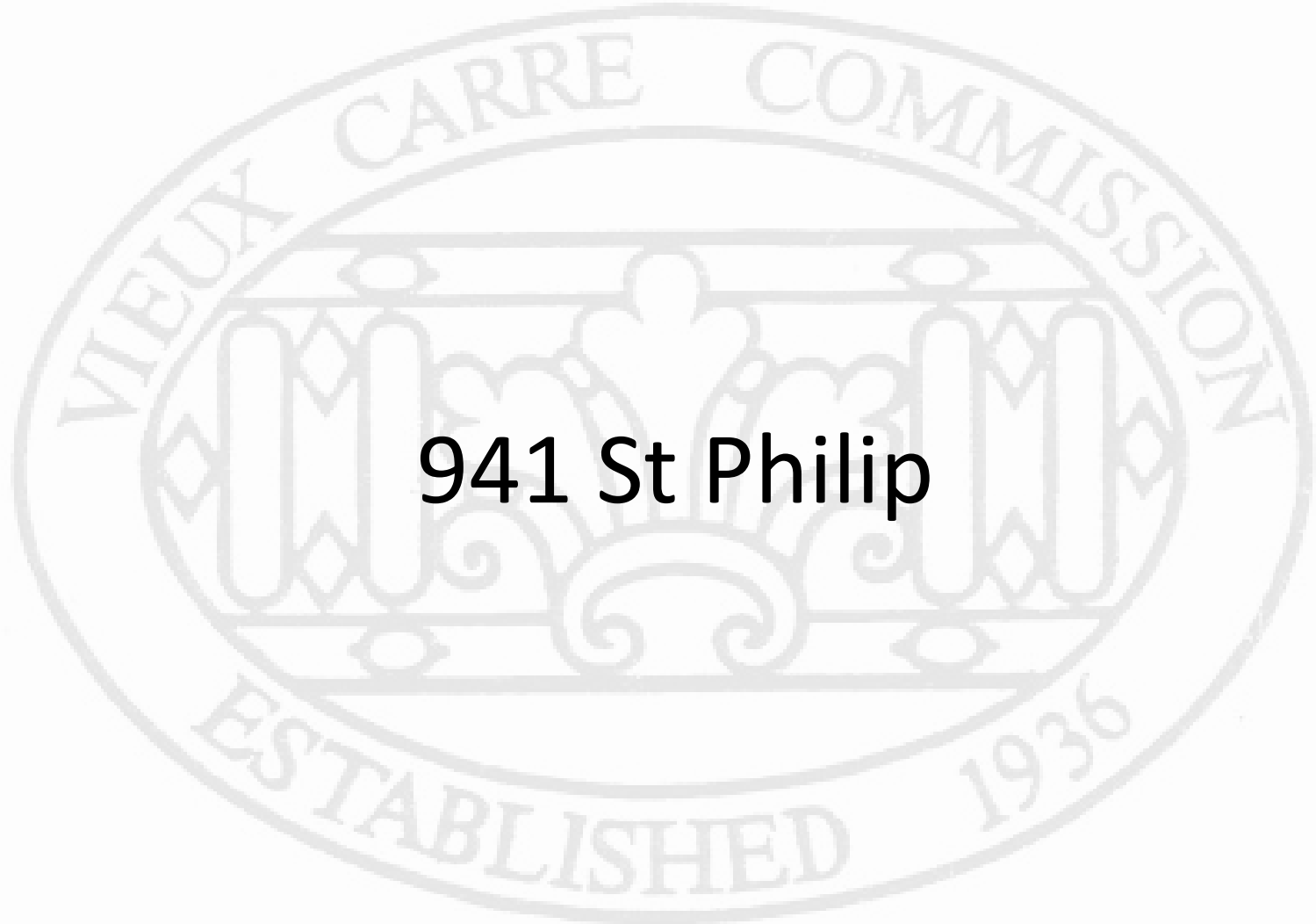
**\$11,134.00**

920 St Peter

VCC Architecture Committee

June 11, 2024





**941 St Philip**





939-41 St. Philip

VCC Architecture Committee

June 11, 2024







939-41 St. Philip

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939-41 St. Philip – 1939

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939-41 St. Philip – c. 1940s-50s

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939-41 St. Philip – 1964

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939-41 St. Philip – 1975

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939-41 St. Philip – 1975

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939-41 St. Philip – 1975

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939-41 St. Philip – 1975

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939-41 St. Philip

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939-41 St. Philip

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June 11, 2024





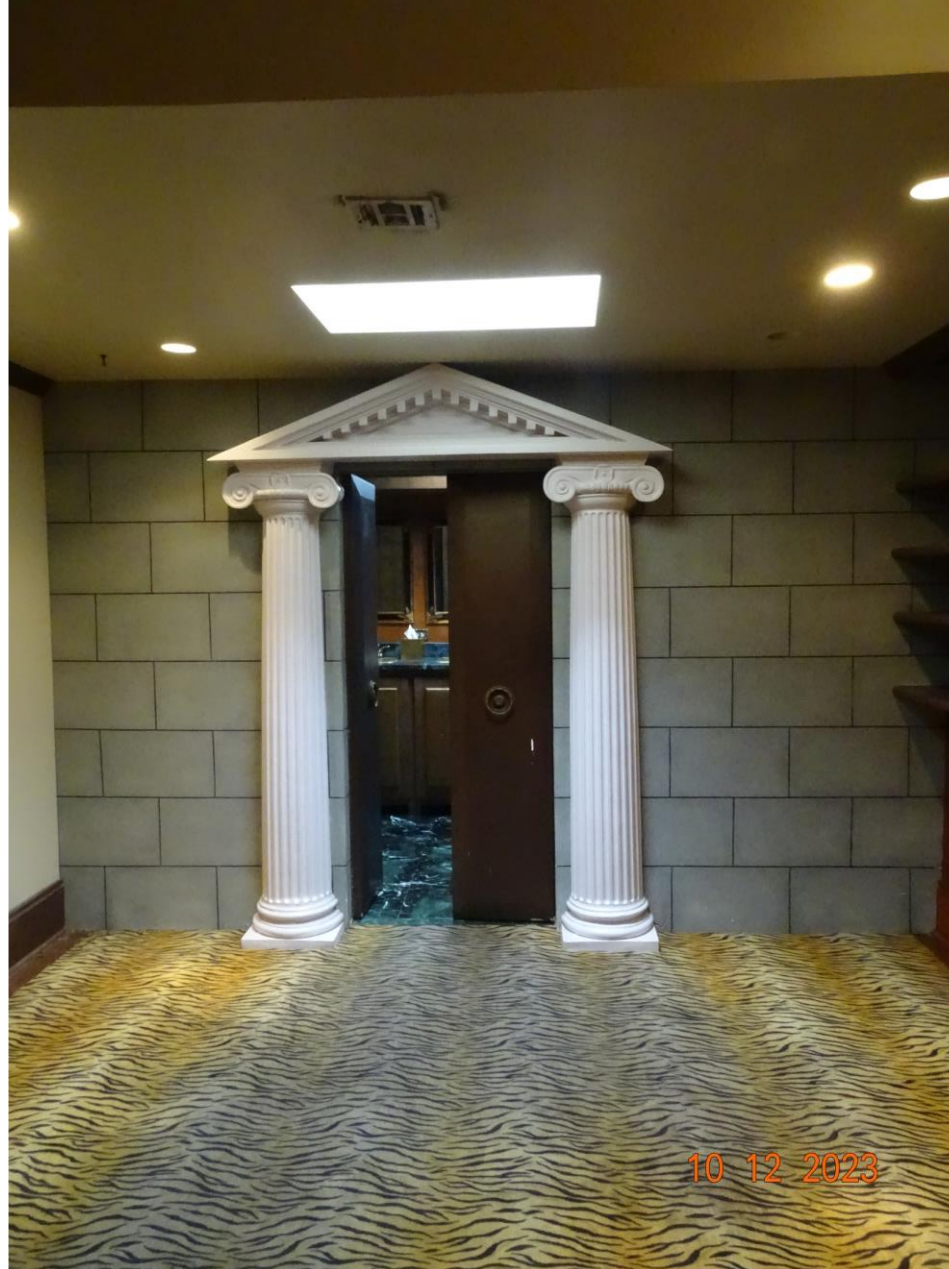


939-41 St. Philip

VCC Architecture Committee

June 11, 2024





939-41 St. Philip

VCC Architecture Committee

June 11, 2024





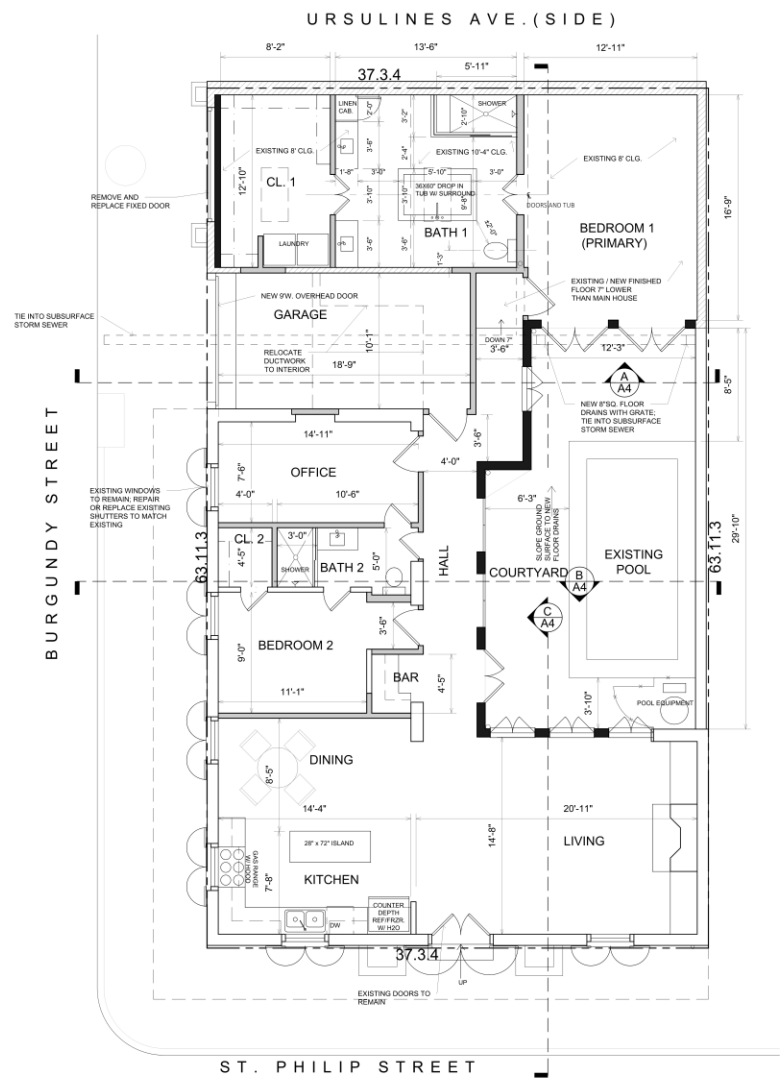


939-41 St. Philip

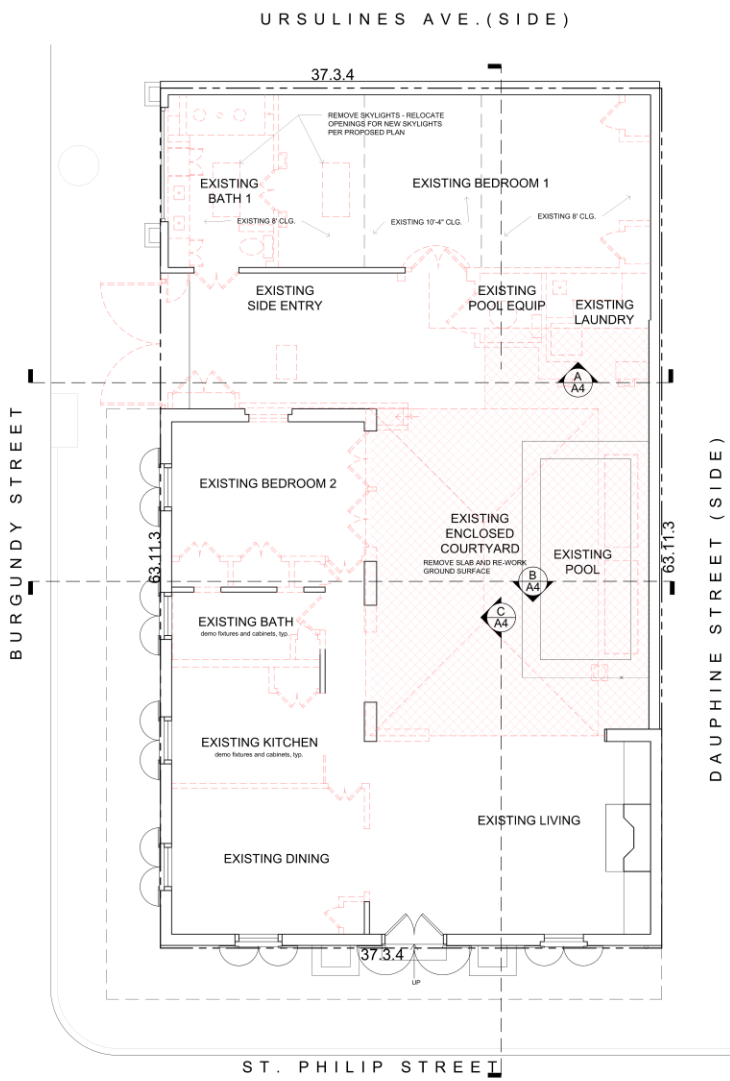
VCC Architecture Committee

June 11, 2024





**PROPOSED SITE PLAN / FLOOR PLAN** 1,915 G.S.F.  
 SC: 1/4" = 1'-0"



**EXISTING / DEMOLITION SITE PLAN / FLOOR PLAN** 2,374 G.S.F.  
 SC: 1/4" = 1'-0"

**ZONING DATA**

- CITY OF NEW ORLEANS  
 ZONING CLASSIFICATION: VCR-1
- BUILDING AREA  
 EXISTING 1ST FLOOR INCLUDING  
 COURTYARD INFILL = 2,374 G.S.F.  
 PROPOSED 1ST FLOOR = 1,915 G.S.F.  
 PROPOSED COURTYARD = 459 G.S.F.
- OPEN SPACE  
 PERMEABLE OPEN SPACE = 354 s.f.  
 GROUND FLOOR AREA = 1,915 G.S.F.  
 REQUIRED MINIMUM PERMEABLE  
 OPEN SPACE RATIO = 0.20  
 PROVIDED OPEN SPACE RATIO = 419 / 1,915 = 0.18

**LEGEND:**

- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING WALL
- DEMOLISH
- REINFORCE OR RE-CONSTRUCT EXISTING WALLS BASED ON STRUCTURAL ASSESSMENT

941 St. Philip Street  
 Renovation  
 New Orleans, Louisiana 70116

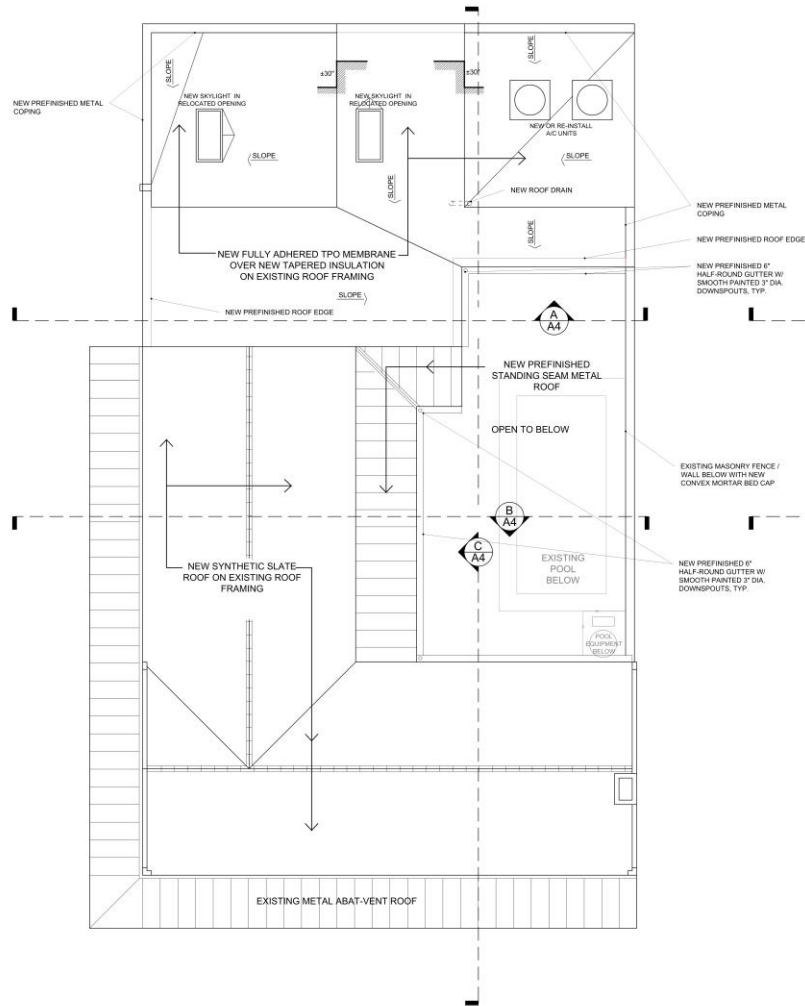


**LKHarmou Architects**  
 A Professional Architectural Corporation  
 6138 Arbonne Boulevard  
 New Orleans Louisiana 70124  
 504.485.5870 harmou@lkharmouarchitects.com

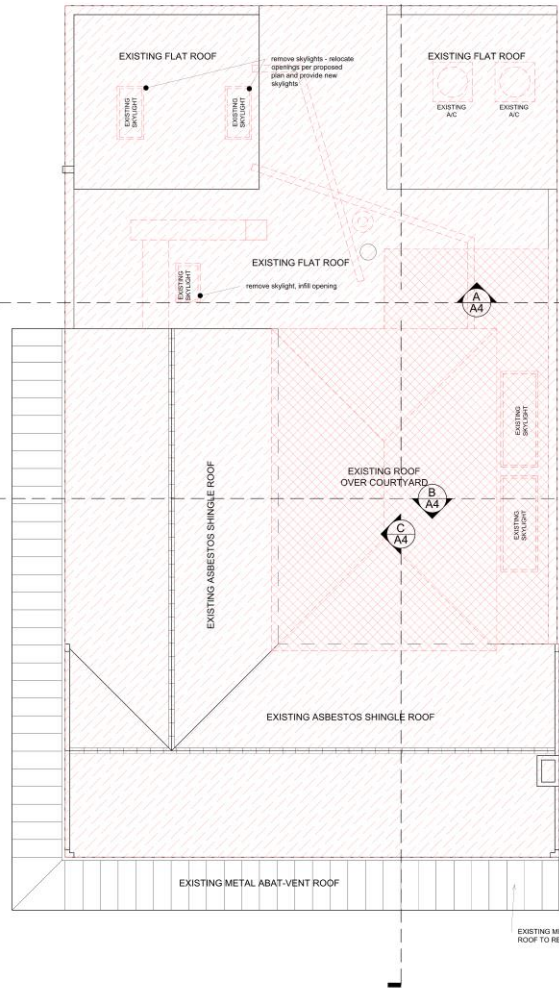
5.28.2024 - V.C.C. APP	A1
LKH #4823.1	







PROPOSED ROOF PLAN  
SC: 1/4" = 1'-0"



EXISTING / DEMOLITION ROOF PLAN  
SC: 1/4" = 1'-0"



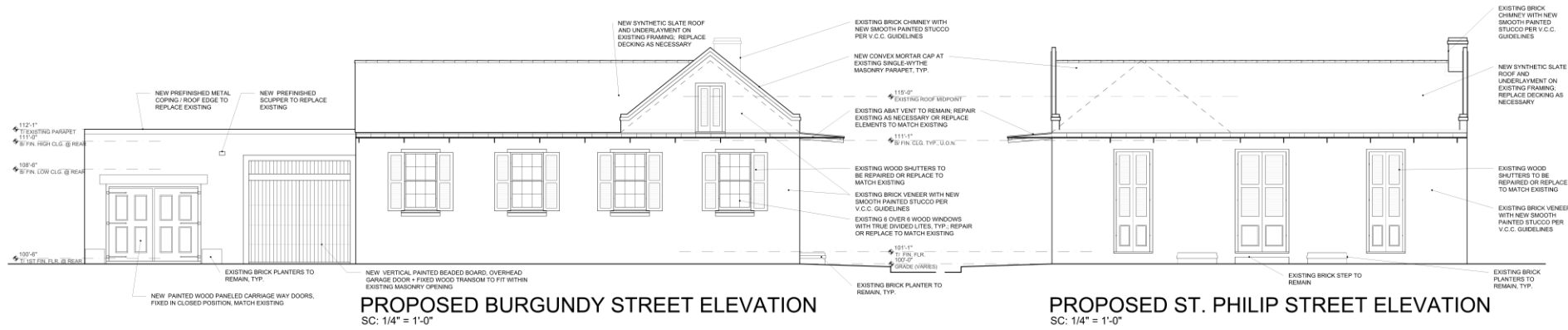
AERIAL VIEW OF EXISTING ROOF

HATCH LEGEND

- REMOVE ROOF STRUCTURE ENTIRELY
- REMOVE ROOF MEMBRANE AND UNDERLAYMENT; REMOVE AND REPLACE DECKING AS NECESSARY; NEW ROOF MEMBRANE PER DRAWINGS

941 St. Philip Street Renovation New Orleans, Louisiana 70116	<b>LKHarm Architects</b> A Professional Architectural Corporation 6238 Arbonne Boulevard New Orleans, Louisiana 70124 504.485.5870 harm@lkharmarchitects.com	5.28.2024 - V.C.C. APP	A2
		LKH #4823.1	





941 St. Philip Street Renovation New Orleans, Louisiana 70116	 <b>LKHarmou Architects</b> A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans, Louisiana 70124 504.485.9879 lharmou@lharmouarchitects.com	5.28.2024 - V.C.C. APP	A3 LKH #4823.1

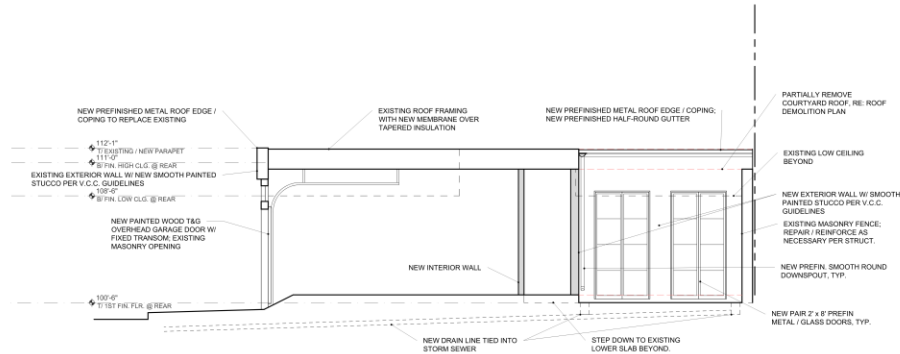
939-41 St. Philip

VCC Architecture Committee

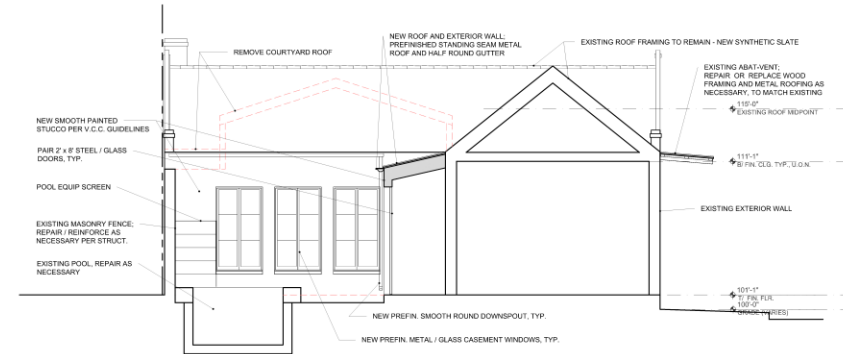
June 11, 2024



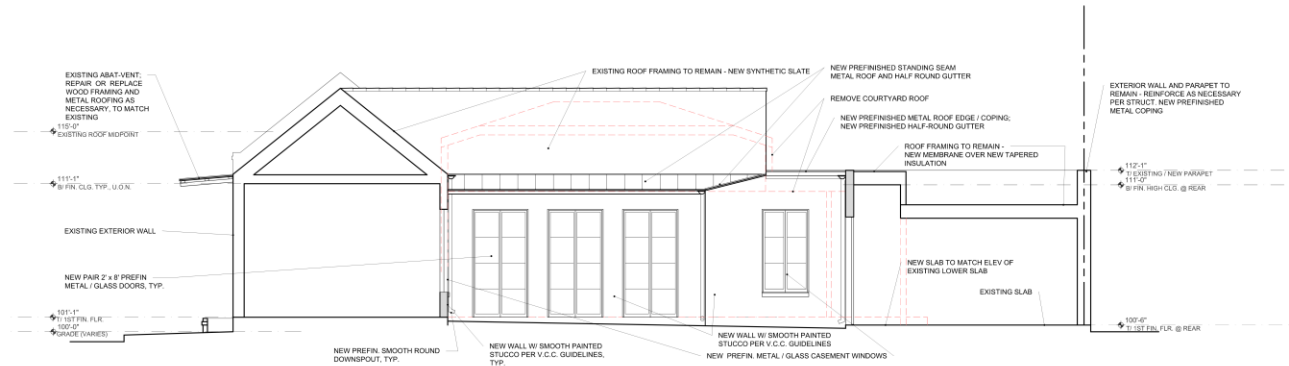




**A-A1** COURTYARD ELEVATION / SECTION  
SC: 1/4" = 1'-0"



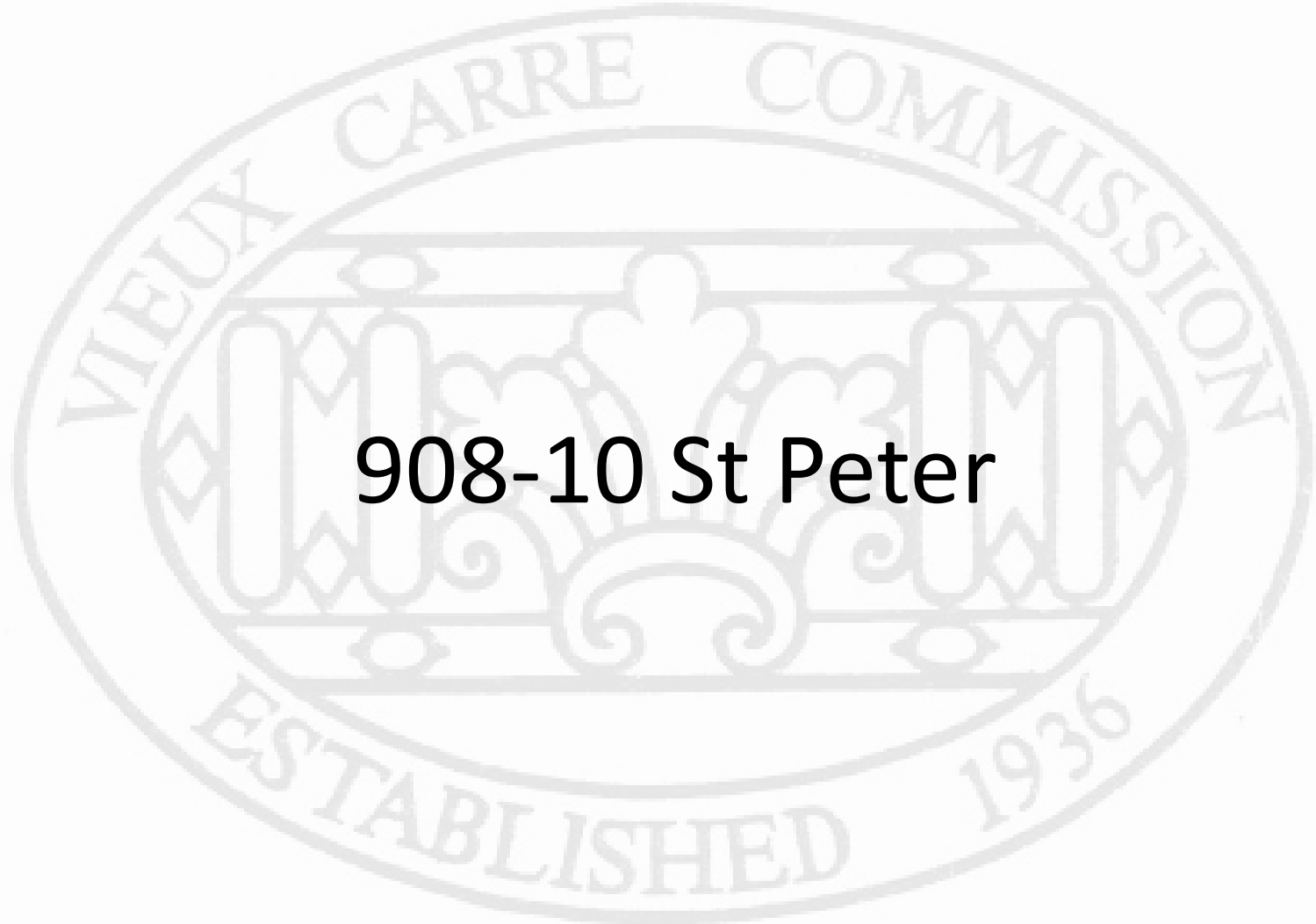
**B-A4** COURTYARD ELEVATION / SECTION  
SC: 1/4" = 1'-0"



**C-A4** COURTYARD ELEVATION / SECTION  
SC: 1/4" = 1'-0"

941 St. Philip Street Renovation New Orleans, Louisiana 70116	 <b>LKHarmou Architects</b> A Professional Architectural Corporation 6238 Argonne Boulevard New Orleans, Louisiana 70124 504.465.5870 harmou@lkharmouarchitects.com	5.28.2024 - V.C.C. APP	A4 LKH #4823.1
		(Empty space for stamp or signature)	





908-10 St Peter





908 St Peter

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908 St Peter

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908 St Peter

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908 St Peter

VCC Architecture Committee

03 24 2023

June 11, 2024





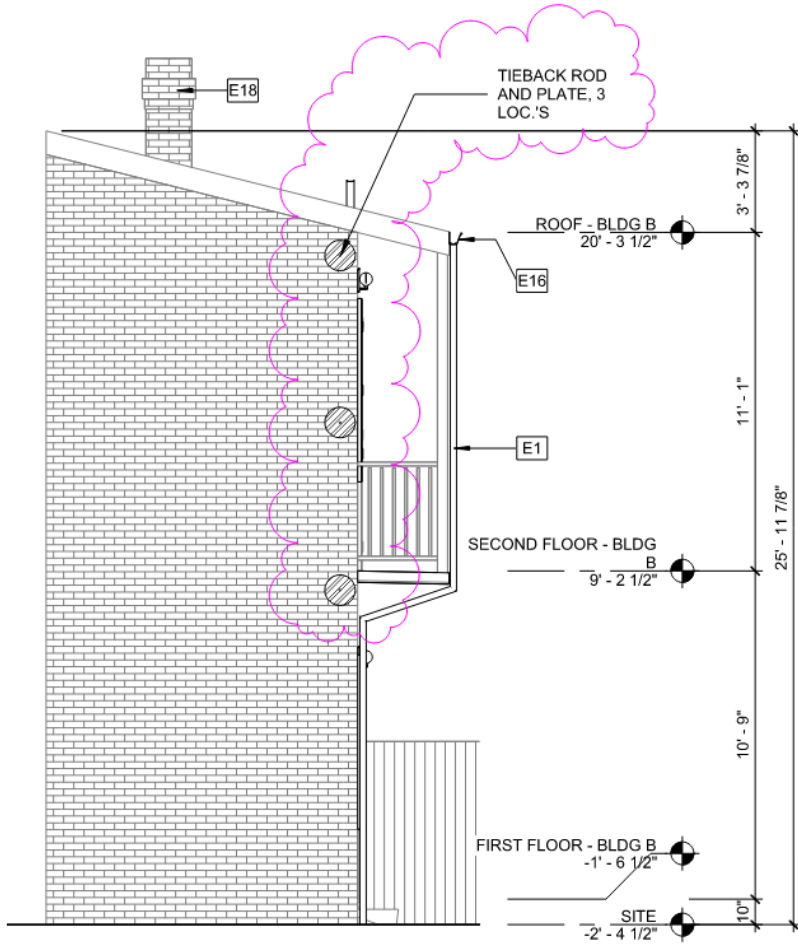


908 St Peter

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June 11, 2024





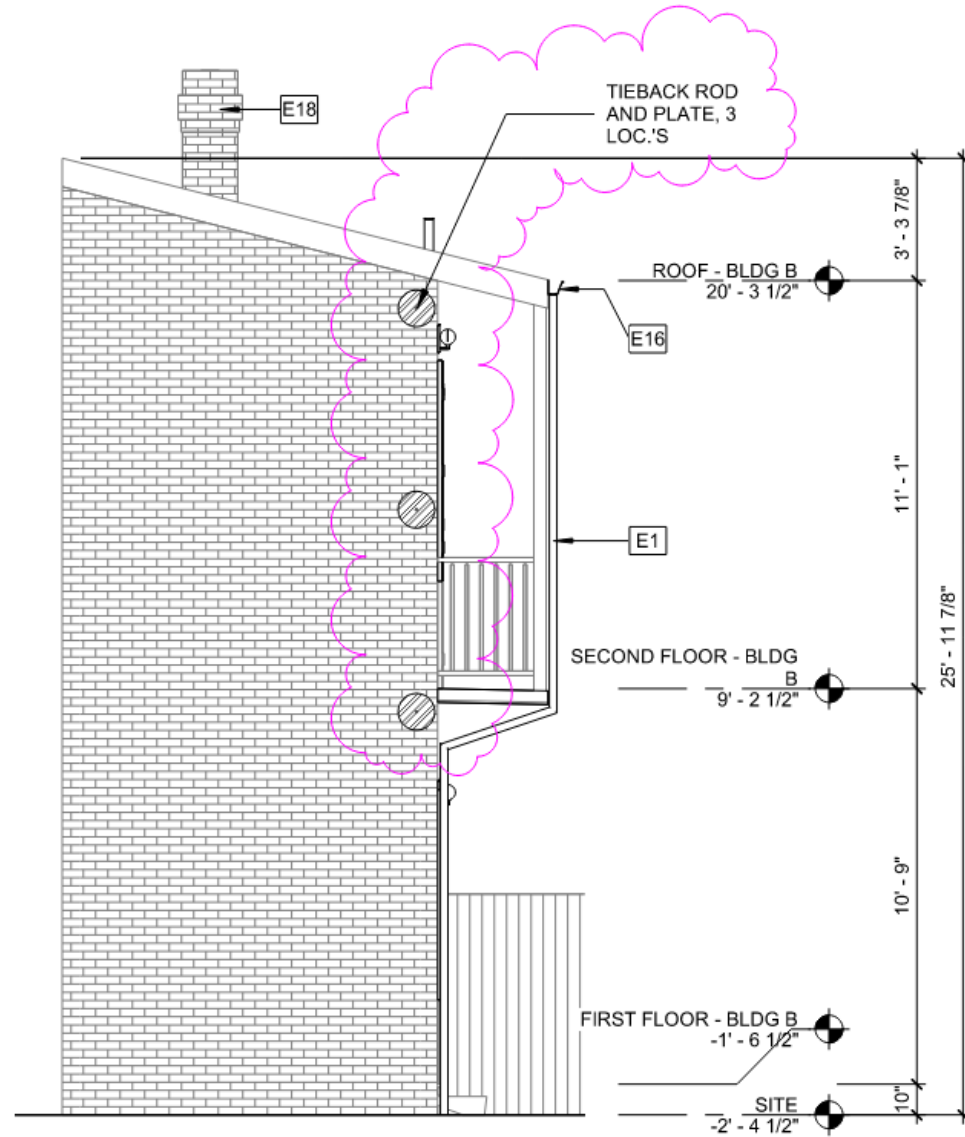
2 EAST EXTERIOR ELEVATION - BUILDING B  
 A201/A402 1/4" = 1'-0"



1 NORTH EXTERIOR ELEVATION - BUILDING B  
 A201/A402 1/4" = 1'-0"







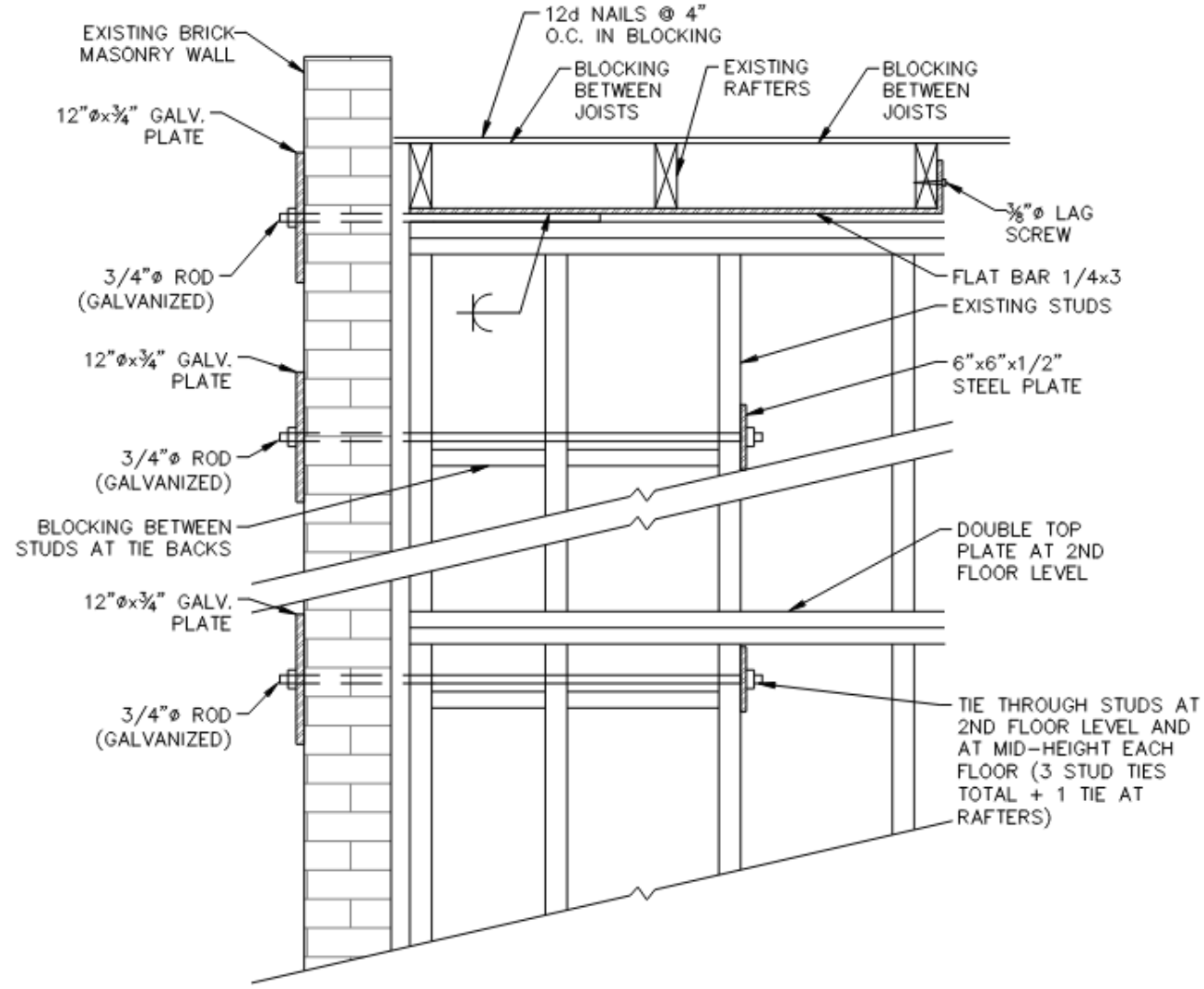
908 St Peter

VCC Architecture Committee

2 EAST EXTERIOR ELEVATION - BUILDING B  
 A201/A402 1/4" = 1'-0"

June 11, 2024





908 St Peter  
 VCC Architecture Committee

**MARAIS**  
 CONSULTANTS, LLC  
 2018 JENA STREET  
 NEW ORLEANS, LA 70115  
 504.350.2644  
 maraisconsultants.com

DRAWN BY: JMS  
 CHECKED BY: JMS  
 DATE: MAY 22, 2024

**CARRIAGE HOUSE  
 TIE-BACK DETAIL**

**908 ST. PETER ST.**  
 New Orleans, Louisiana

June 11, 2024







908 St Peter

VCC Architecture Committee

June 11, 2024





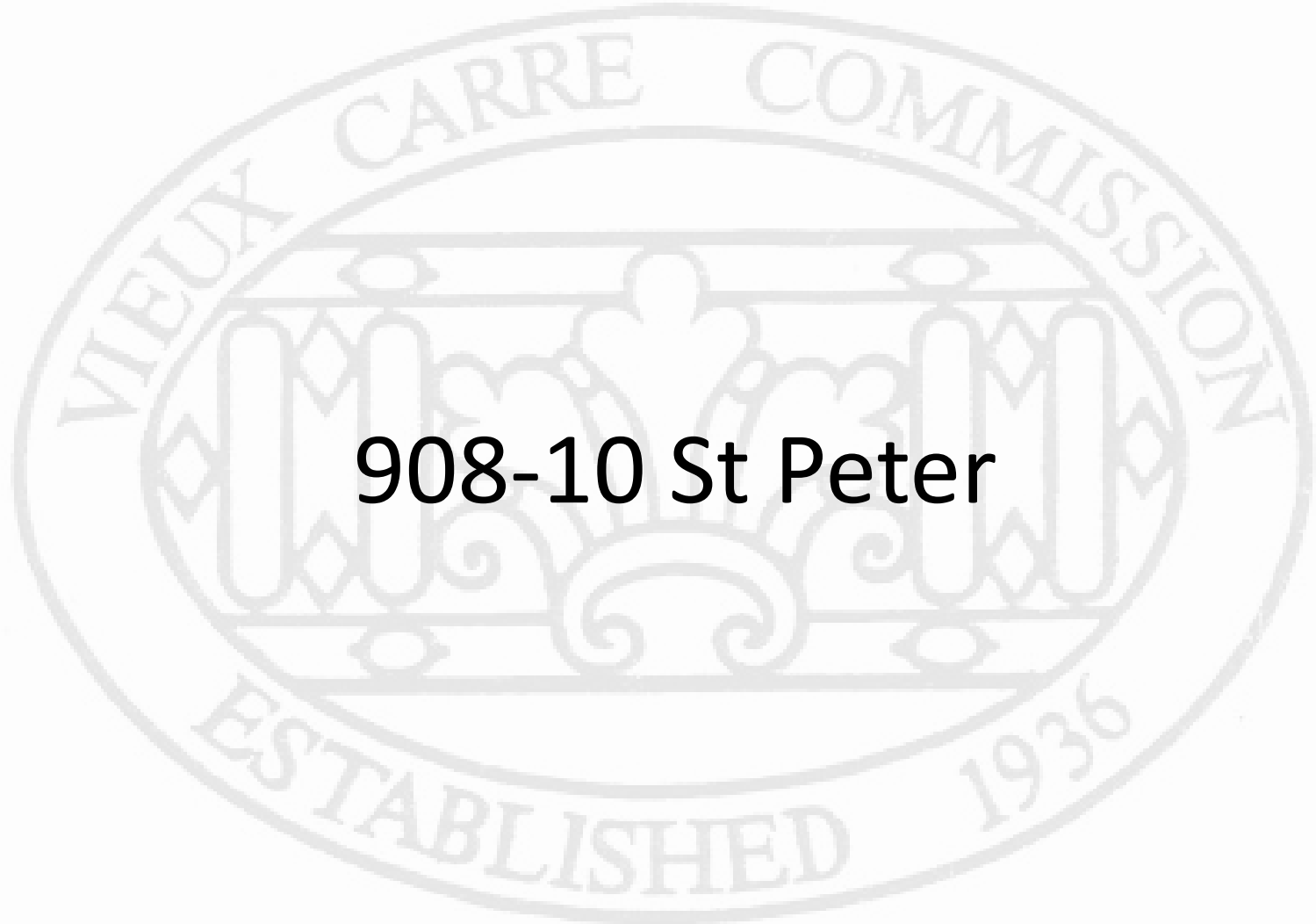
908 St Peter

VCC Architecture Committee

June 11, 2024







908-10 St Peter



908 St Peter

VCC Architecture Committee

June 11, 2024







908 St Peter

VCC Architecture Committee

June 11, 2024







908 St Peter






VCC Architecture Committee

June 11, 2024



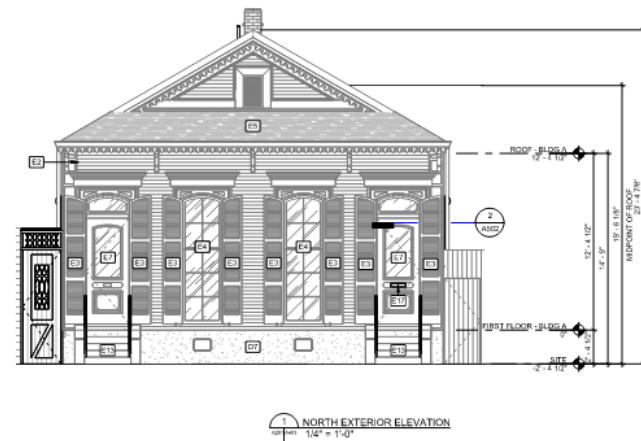
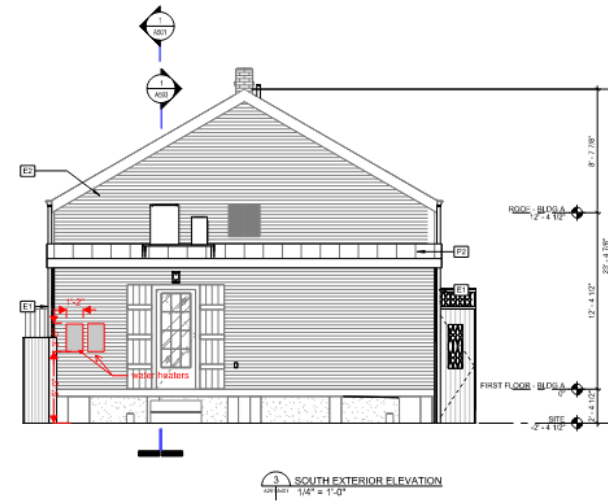
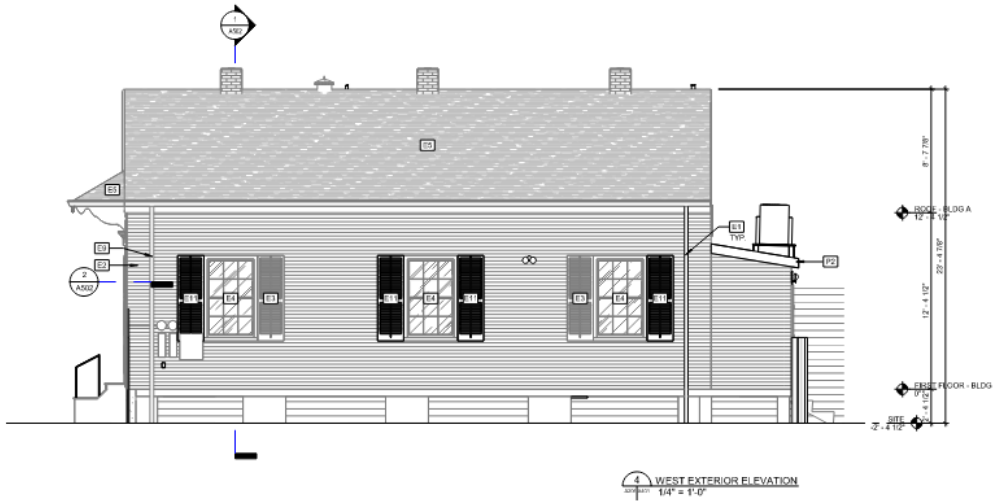


**GRAPHIC RENOVATION LEGEND**

-  EXISTING WALLS TO REMAIN
-  NEW WALLS
-  EXISTING ELEMENTS TO BE DEMOLISHED
-  PORTION OF AREA TO BE DEMOLISHED
-  NOT IN SCOPE, EXCEPT AS NOTED TO MODIFY BUILDING SYSTEMS

**CLARIFICATION OF REFERENCE DESIGNATIONS**

- D7 EXISTING TEXTURED STUCCO FINISH TO REMAIN
- E1 PAINTED 4" DIA. ALUMINUM DOWNSPOUT
- E2 EXISTING WOOD SIDING: CLEAN AND REPAINT
- E3 EXISTING WOOD SHUTTER, REMOVE, RESTORE, AND REPAINT, REINSTALL, TYP
- E4 EXISTING WOOD WINDOWS, REPAIR ROTTEN OR DAMAGED MUNTIN AND FRAME, REMOVE AND REPLACE EXISTING GLAZING PUTTY, REPAIR IN PLACE. REFER TO NPS TECHNICAL BREF 9, TYP
- E5 EXISTING SLATE ROOF TILES: SEE A202 FOR REPAIR SCOPE
- E7 EXISTING WOOD AND GLASS DOOR AND TRANSOM: CLEAN AND REPAINT, REPLACE
- E8 EXISTING DOWNSPOUT TO REMAIN, REMOVE DEBRIS, CLEAN AND REPAINT
- E11 PAINTED WOOD HORIZONTAL LOUVERED SHUTTERS MATCH EXISTING, PROVIDE NEW HISTORIC POWDER-BASED FINISH SHUTTER HARDWARE
- E13 EXISTING WOOD STAIRS, REPAIR ROTTEN AND DAMAGED STAIRS, CLEAN AND REPAINT
- E17 NEW MAIL SLOT IN EXISTING DOOR
- F2 STANDING SEAM PREFINISHED ALUMINUM ROOF PANELS, COLOR TO BE UNFED STEEL SUPPLY, ASH GRAY OR SIMILAR, PROVIDE SYNTHETIC UNDERLAYMENT BENEATH ROOF PANELS WITH PEEL AND STICK MEMBRANE AT WALL, EAVE, AND RAKE OF ROOF



**908 ST. PETER**

908 St. Peter St., New Orleans, LA 70116

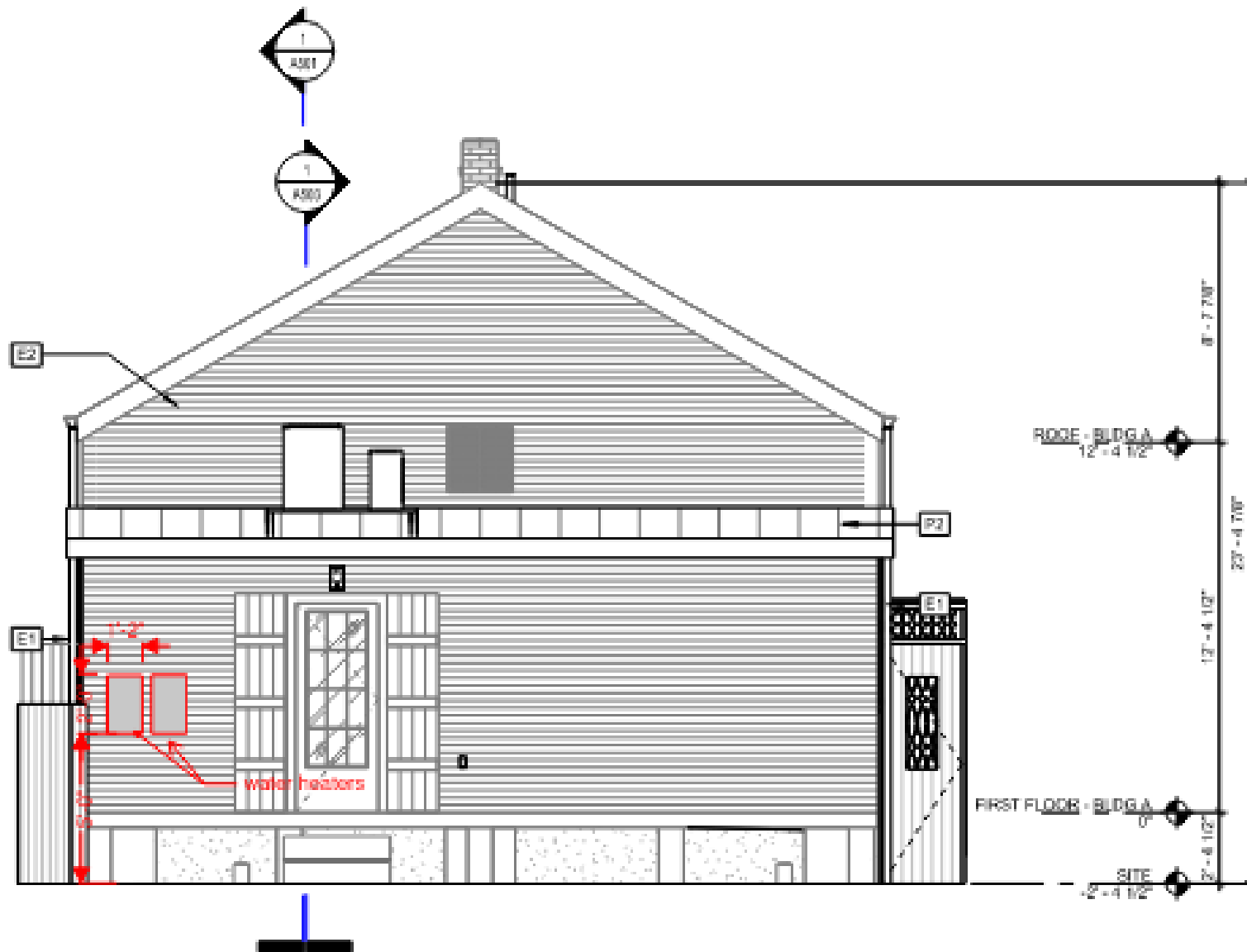
SWDA PROJECT NO. | 22050  
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ISSUE DATE | 17 SEPTEMBER 2023  
 CONSTRUCTION DOCUMENTS  
 REVISIONS

**EXTERIOR ELEVATIONS**





3 SOUTH EXTERIOR ELEVATION  
1/4" = 1'-0"

908 St Peter

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June 11, 2024







The new degree of comfort.®

### Rheem RTG is a series of ultra low NOx, Mid-Efficiency Tankless Gas Water Heaters designed for continuous hot water

#### Efficiency

- .81 - .82 UEF with all-copper heat exchanger

#### Easy Installation and Service

- 1/2" Gas line compatibility up to 24 ft.<sup>1</sup>
- **Exclusive! Maintenance Notice Setting** – Alerts homeowner, after 500 hours of use, to call for service (optional)
- Connects to Metal Fab, Inc., 3/5" concentric venting without an adapter
- High-altitude capability – up to 8,400 ft. elevation above sea level<sup>2</sup>
- Digital remote control shows temperature setting and service codes
- Requires 120V power supply

#### Performance

- **Industry Best! Low Flow Activation** – Minimum flow rate of .26 GPM and activation flow rate of .40 GPM ensures hot water in low demand situations
- **Exclusive! Hot Start Programming** – Minimizes cold water bursts by staying in ready-fire state for back-to-back hot water needs

#### Technology

- **EcoNet® Enabled** – all Tankless products from 2010 to present can connect to EcoNet mobile app via Tankless EcoNet Accessory Kit (REWRA630TWH)
- For higher demand applications, accessories available to link multiple units in a load-sharing system

#### Environmentally Friendly

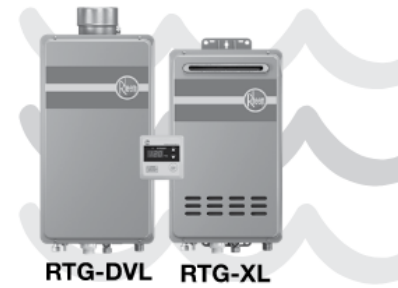
- **Low Emissions** – Ultra low NOx burner meets SCAQMD rule 1146.2 requirements
- **Exclusive! Water Savings Setting** – upon activation, this setting can save up to 1,100 gallons water/year<sup>3</sup> by reducing flow at the tap until set temperature is achieved (optional)

#### Safety

- **Exclusive! Guardian OFW™ overheat film wrap** – prevents dangerous temperatures and provides industry best side-to-side clearance of 1/2 inch
- **Industry Best!** Freeze protection to -30°F
- Maximum water temperature is 140°F. For higher temperature applications, upgrade kits are available

#### Warranty


- 12-Year heat exchanger – residential, 5-year heat exchanger – commercial, 5-year parts and 1-year labor
- See Warranty Certificate for complete information



**RTG-DVL** Indoor DV  
**RTG-XL** Outdoor  
11,000-199,900 BTU/h  
Natural and LP Gas



**EcoNet®** Rheem Tankless with EcoNet® WiFi Included  
*Same specifications as standard models, with added Wi-Fi capability.*



**RTG-95DVELN-1**  
Indoor DV with EcoNet®  
11,000-199,900 BTU/h Only  
(Outdoor model also available)

**Smart Home Features**

- Water leak detection alert and system shut off (indoor models only) – may qualify for insurance discounts
- Mobile alerts for notifications/maintenance reminders
- Mobile gas and water usage reports
- Integration with NEST & WINK smart home systems


**Product Includes**

- Factory-installed translator
- Leak detection cable (for indoor models)
- Wi-Fi Module, connection cable and power cord

App available free in App Store and Google Play for Android

ANDROID APP ON Google play | Available on the App Store

**Rheem Mid-Efficiency Tankless Water Heater with Built-In Recirculation**  
*Same specifications as standard Mid-Efficiency models with added water savings and faster hot water.*



**RTG-RC95DVLN-1**  
Indoor DV Only  
11,000-199,900 BTU/h  
Natural and LP Gas

**Built-In Recirculation**

- 199,900 BTU/h Indoor model Only (For other variants consider on-demand recirculation pump kit)
- Extended cabinet houses pre-plumbed recirculation pump for easy install and clean look
- Recirculation provides faster hot water at the tap saving homeowner time
- **Max. Pipe Lengths:**  
3/4" copper pipe – 400 ft. total  
1/2" copper pipe – 100 ft. total

**Recirculation Pump**

- 008-CT Taco Genie On Demand Pump
- Wired push button (included)
- Separate power cord (2 total for unit)

**Accessories**

- **Service Valves** – To isolate unit for easy flushing and maintenance (included)
- **Crossover Valve** – Uses cold water line for recirculation reducing install time (included)
- **Remote Transmitter & Motion Sensor Activation Accessories** for On-Demand Recirculation for pump (optional)

Recirculation saves up to 12,000 GALLONS water/year<sup>4</sup>

INTEGRATED HOME COMFORT





The new degree of comfort.

### Specifications

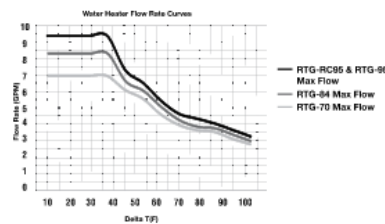
MODEL NUMBER	DESCRIPTION		FEATURES						ROUGHING IN DIMENSIONS (SHOWN IN INCHES)						ENERGY INFO.	
	GAS INPUT BTU/H	TYPE	NUMBER OF BATHROOMS*	TEMP. RANGE	MIN. FLOW/ACTIVATION GPM	GPM @ 67° RISE MAX.	GPM @ 45° RISE MAX.	MAX. GPM	CONNECTION WATER	CONNECTION GAS	HEIGHT	WIDTH	DEPTH	VENT DIAM.	SHIP WEIGHT (LBS.)	UNIFORM ENERGY FACTOR (UEF)
<b>Rheem RTG-95 Mid-Efficiency Series</b>																
RTG-RC95DVLN-1 (Recirculation Pump Included)	11,000-199,900	Indoor DV w/ Recirc Pump	3-4	85° to 140° F	0.26/0.40	5.0	7.4	9.5	3/4	3/4	36-3/4	13-7/8	9-7/8	3 by 5 CONCENTRIC	80	0.82
RTG-95DVLN-1	11,000-199,900	Indoor Direct Vent	3-4	85° to 140° F	0.26/0.40	5.0	7.4	9.5	3/4	3/4	25-5/8	13-7/8	9-7/8	3 by 5 CONCENTRIC	54	0.82
RTG-95DVELN-1 (EcoNet <sup>®</sup> Included)	11,000-199,900	Indoor Direct Vent	3-4	85° to 140° F	0.26/0.40	5.0	7.4	9.5	3/4	3/4	25-5/8	13-7/8	9-7/8	3 by 5 CONCENTRIC	54	0.82
RTG-95XLN-1	11,000-199,900	Outdoor	3-4	85° to 140° F	0.26/0.40	4.9	7.4	9.5	3/4	3/4	23-5/8	13-7/8	8-7/8	N/A	54	0.81
RTG-95XELN-1 (EcoNet <sup>®</sup> Included)	11,000-199,900	Outdoor	3-4	85° to 140° F	0.26/0.40	4.9	7.4	9.5	3/4	3/4	23-5/8	13-7/8	8-7/8	N/A	54	0.81
<b>Rheem RTG-84 Mid-Efficiency Series</b>																
RTG-84DVLN-1	11,000-180,000	Indoor Direct Vent	3	85° to 140° F	0.26/0.40	4.5	6.7	8.4	3/4	3/4	25-5/8	13-7/8	9-7/8	3 by 5 CONCENTRIC	54	0.82
<b>RTG-84XLN-1</b>	11,000-180,000	Outdoor	3	85° to 140° F	0.26/0.40	4.5	6.7	8.4	3/4	3/4	23-5/8	13-7/8	8-7/8	N/A	54	0.81
<b>Rheem RTG-70 Mid-Efficiency Series</b>																
RTG-70DVLN-1	11,000-160,000	Indoor Direct Vent	2-3	85° to 140° F	0.26/0.40	4.1	6.0	7.0	3/4	3/4	25-5/8	13-7/8	9-7/8	3 by 5 CONCENTRIC	54	0.82
RTG-70XLN-1	11,000-160,000	Outdoor	2-3	85° to 140° F	0.26/0.40	4.1	6.0	7.0	3/4	3/4	23-5/8	13-7/8	8-7/8	N/A	54	0.81

\*Based on simultaneous showers using 2.5 gallons per minute. Flow rates vary depending on temperature of cold water supply. Uniform Energy Factor and Energy Factor based on Department of Energy (D.O.E.) requirements. All models are available in Natural Gas and Propane (LP). For Propane replace the N with P when ordering. SCAQMD 1146.2 compliant. Factory set maximum temperature is 120° F. See Use and Care Manual for setting. Consult factory for information on sizing the application. Add a "C" to the model number when ordering Canadian models. Outdoor models are only for seasonal use in Canada. Please contact Rheem Canada Ltd. for details. Vent Termination Kits are required for Direct Vent models. Contact your distributor for details. Proper gas pressure must be ensured to supply tankless gas water heaters – up to 199,900 BTU/h for RTG-95 models, up to 180,000 BTU/h for RTG-84 models and up to 160,000 BTU/h for RTG-70 models. (Consult your gas supplier)

<sup>1</sup>Based on Rheem testing of 1/2" gas line with gas supply of 7" w.c. up to 21" modulation conditions vary. Consult the Rheem<sup>®</sup> Use and Care Manual, the Rheem<sup>®</sup> Gas Piping Facts brochure (TK-GP-F2), the National Fuel Gas Code (NFPA 54, ANSI Z223.1), and any other local gas codes when installing a Rheem Tankless Water Heater. <sup>2</sup>Contact customer service for exact altitude rating for each model. <sup>3</sup>Savings based on DOE test procedures. <sup>4</sup>Savings per News Bulletin released by the United States Department of Energy / Oak Ridge National Laboratory, November 2002 on study of water and energy savings in residential homes using Hot Water Recirculating System.

Model Number	Temperature Rise (° F)									
	35°	45°	50°	60°	67°	70°	80°	90°	100°	
RTG-RC95 Water Flow (GPM)	9.5	7.4	6.6	5.5	5.0	4.7	4.1	3.7	3.3	
RTG-95 Water Flow (GPM)	9.5	7.4	6.6	5.5	5.0	4.7	4.1	3.7	3.3	
RTG-84 Water Flow (GPM)	8.4	6.7	6.1	5.1	4.5	4.3	3.8	3.4	3.0	
RTG-70 Water Flow (GPM)	7.0	6.0	5.4	4.5	4.1	3.9	3.4	3.0	2.7	

Above estimates are for sizing purposes only.



#### Maximum Vent Length (intake/outlet):

Number of 90° Elbows	Maximum Length of Straight Pipe
1	39.0 ft. (12.0 m)
2	37.5 ft. (11.5 m)
3	36 ft. (11 m)
4	34.5 ft. (10.5 m)
5	33.0 ft. (10.0 m)
6	31.5 ft. (9.5 m)

(Manufacturer approved venting required)

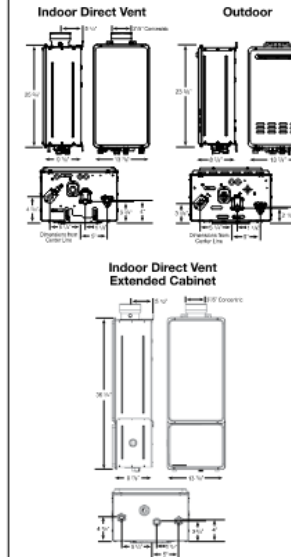
#### Parts and Accessories

Venting & terminations, recess boxes, pipe covers, extra remote controls, EZ-Link™ cable, manifolds and cables, service valve kits, service parts, flush kits, recirculation pump kits and AllClear™ water treatment system. Motion detector and remote control accessories available for built-in on-demand recirculation models. For more information on Tankless parts and accessories, see the Parts and Accessories Catalog or call 866-720-2076.

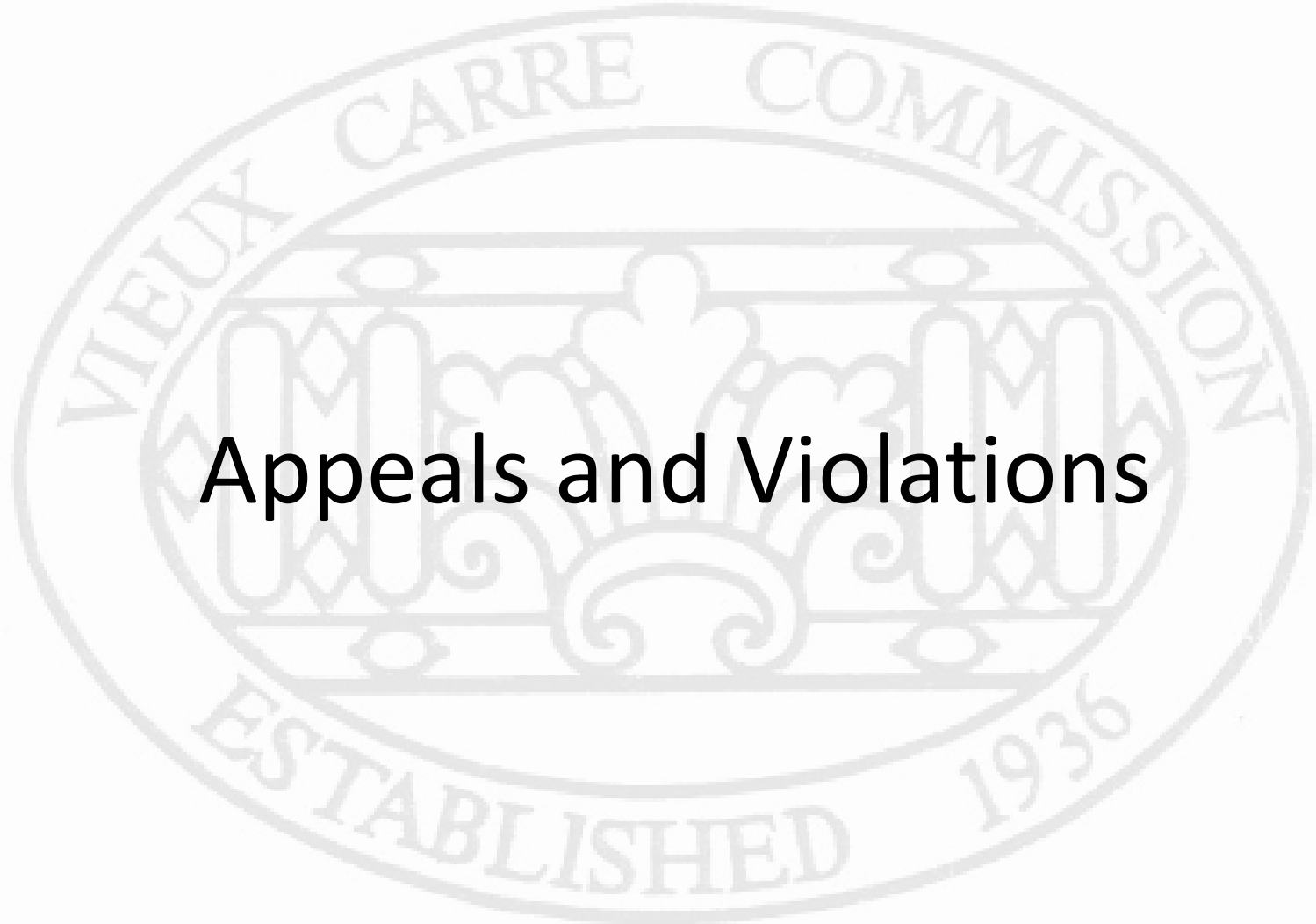
In keeping with its policy of continuous progress and product improvement, Rheem reserves the right to make changes without notice.

Rheem Water Heating • 1115 Northmeadow Parkway, Suite 100 Roswell, Georgia 30076 • www.rheem.com

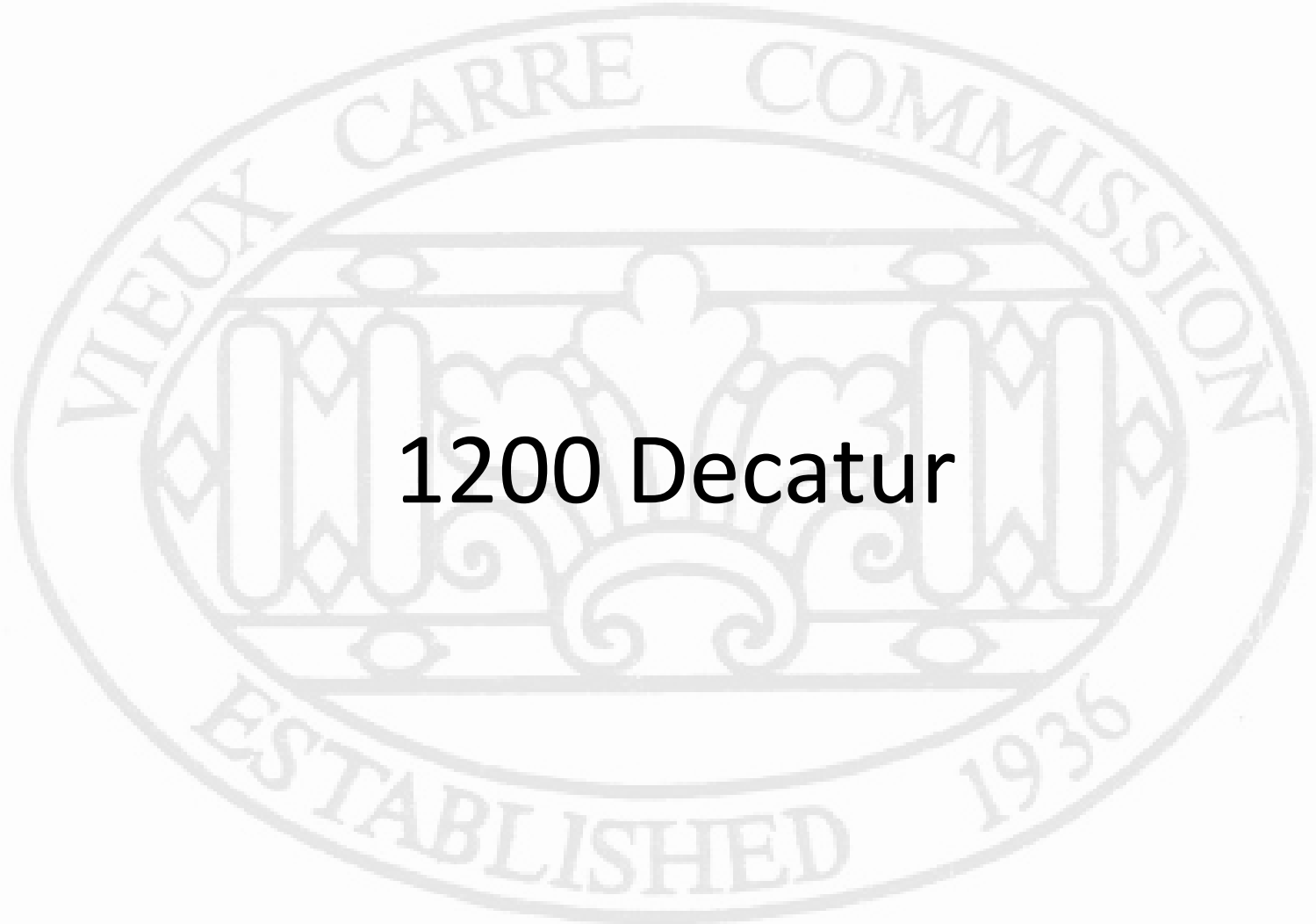
Rheem Canada Ltd./Ltée • 125 Edgeware Road, Unit 1 Brampton, Ontario L6Y 0P5 • www.rheem.com







# Appeals and Violations



**1200 Decatur**





# 1200 Decatur

VCC Architectural Committee

June 11, 2024







# 1200 Decatur

VCC Architecture Committee

June 11, 2024







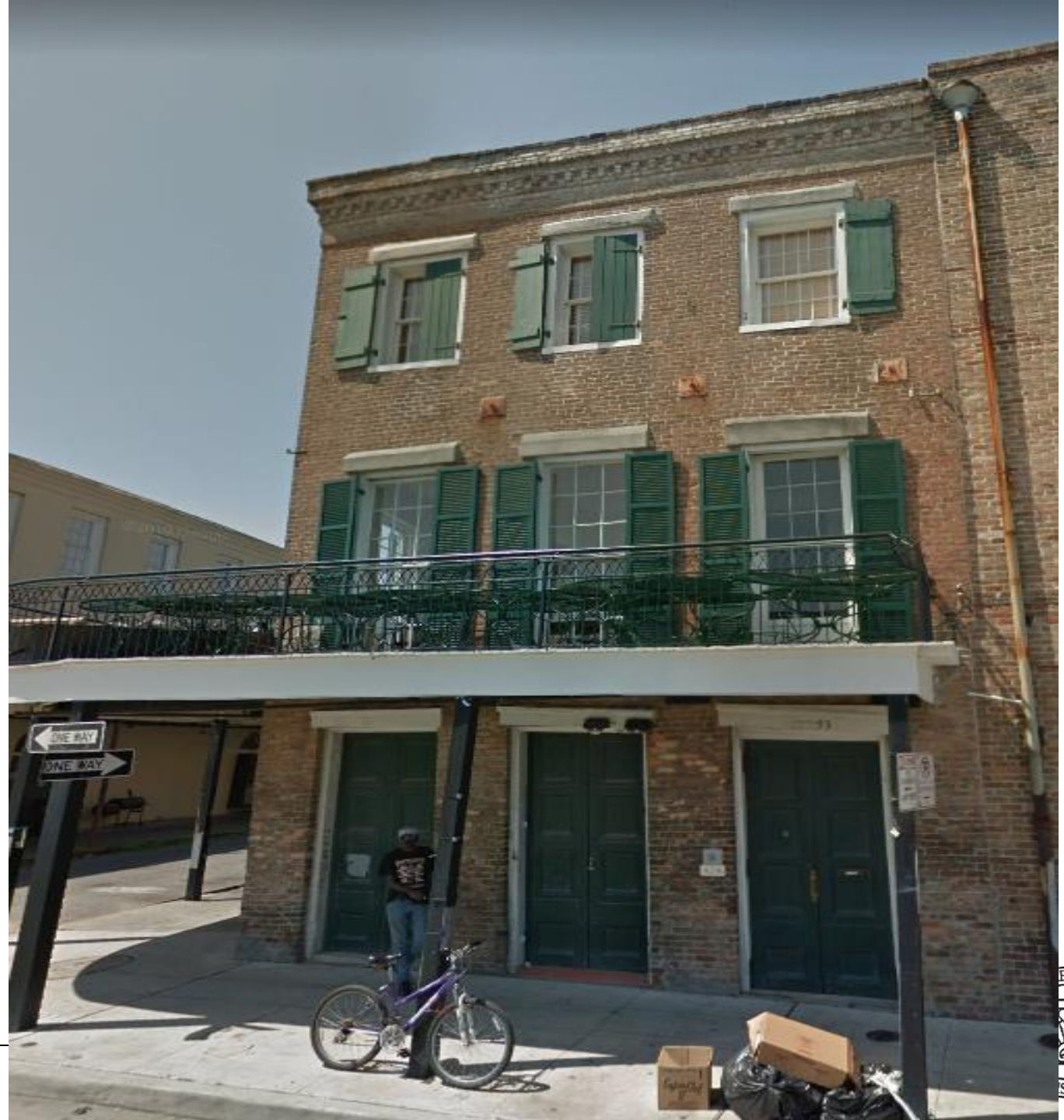
1200 Decatur

VCC Architecture Committee

June 11, 2024







1200 Decatur - 2011

VCC Architecture Committee







1200 Decatur - 2011

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1200 Decatur - Current







1200 Decatur - Current

VCC Architecture Committee

2024







## 1200 Decatur

VCC Architecture Committee

June 11, 2024







1200 Decatur

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June 11, 2024







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June 11, 2024







I've looked closer at the lintel detailing and I do think it is a stucco applied to the surface bricks. This 2003 picture shows it cracking and failing above the middle window.

My proposal would be to retain the lintels already in place and apply a stucco decorative lintel to match the dimensions and profile as it appears in the picture you sent.

That would be the least invasive option and it would definitely reflect the appearance of what was previously there. The engineer had no issues with the hidden current lintels.

---

## 1200 Decatur

VCC Architecture Committee

---

June 11, 2024





January 25, 2024

Via Email: [dapoulis2002@gmail.com](mailto:dapoulis2002@gmail.com)

1200 Decatur St LLC  
 1000 Decatur St  
 New Orleans, LA 70116  
 504-284-8051  
 Attn: Mr. Dimitri Poulis

RE: Repairs to:  
 1200 Decatur St  
 New Orleans, LA 70116  
 DCE Proj. No. 24012

To Whom It May Concern:

On Thursday January 11, 2024 I met Mr. Poulis at the property to go over some repairs that had been completed. I looked over two things, a balcony post that was replace and some window lintels that were being replaced.

A 6x6 treated post was installed to replace a broken post. The post was the same size as all the others and was adequately connected to the balcony framing and embedded into the foundation.

The lintels over some of the windows on the east side of the building were being replaced with treated 6x12 timber lintels to match the existing lintels on the south side of the building. I went over the proper installation requirements with the mason.

Both of these items are structurally adequate and will maintain the structural integrity of the building.

In closing, if you have any questions or comments, please don't hesitate to contact me.

Sincerely,

Jeremy W. DeVille, P.E.

**1200 Decatur**

VCC Architecture Committee

985-773-3560

2156 3rd St. Suite C, Mandeville, LA 70471

[www.dceengineersllc.com](http://www.dceengineersllc.com)

June 11, 2024







EAST SIDE BUILDING – LINTELS TO BE REPLACED

# 1200 Decatur

VCC Architecture Committee

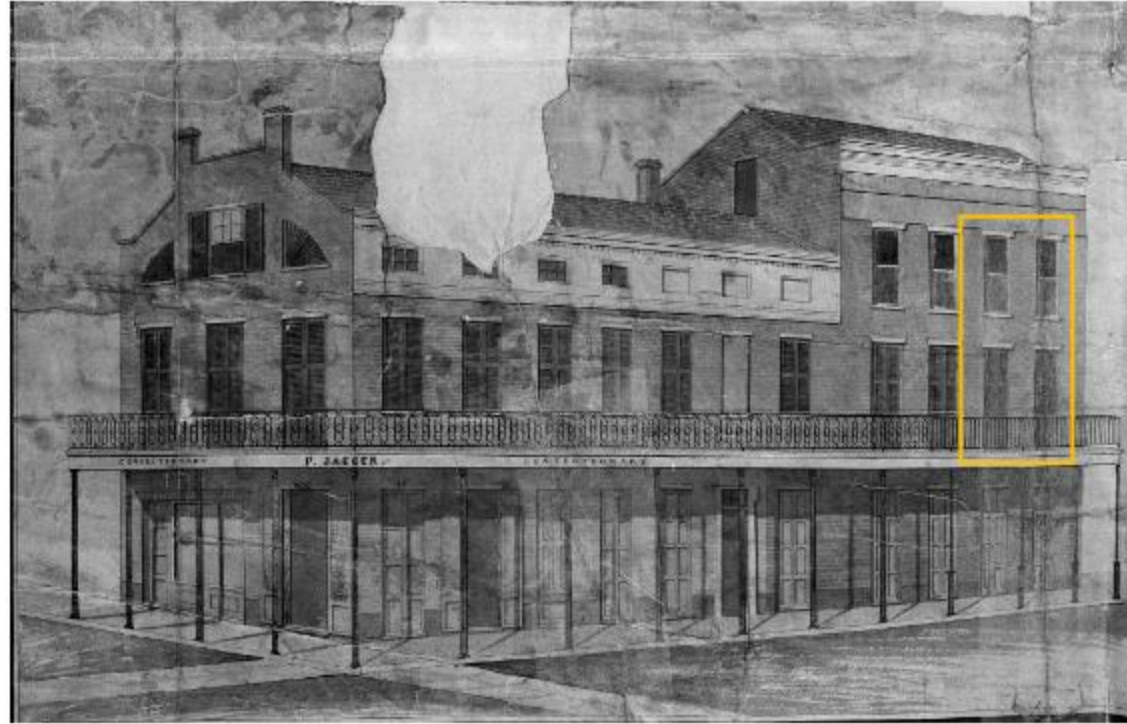
DCE

985-773-3560

[www.dceengineersllc.com](http://www.dceengineersllc.com)

June 11, 2024





HNOG 1866

Use of the stucco decorative lintel with the thick profile and beveled top has been in use on this building since at least 1939. Though exaggerated stucco lintel detailing is common throughout the French Quarter on stucco buildings it has not been found to be common on exposed brick buildings.

The 1866 plan drawing shows a stucco cornice and band detail throughout the building which is supported by physical evidence visible on the brick currently. This reinforces that the use of stucco accents to highlight the simple details of this brick structure was an intentional design element.

Currently the majority of the lintels on the Gov Nicholls façade are load bearing concrete lintels but there is a mix of lintel conditions on the last 2 bays closest to the French Market side.





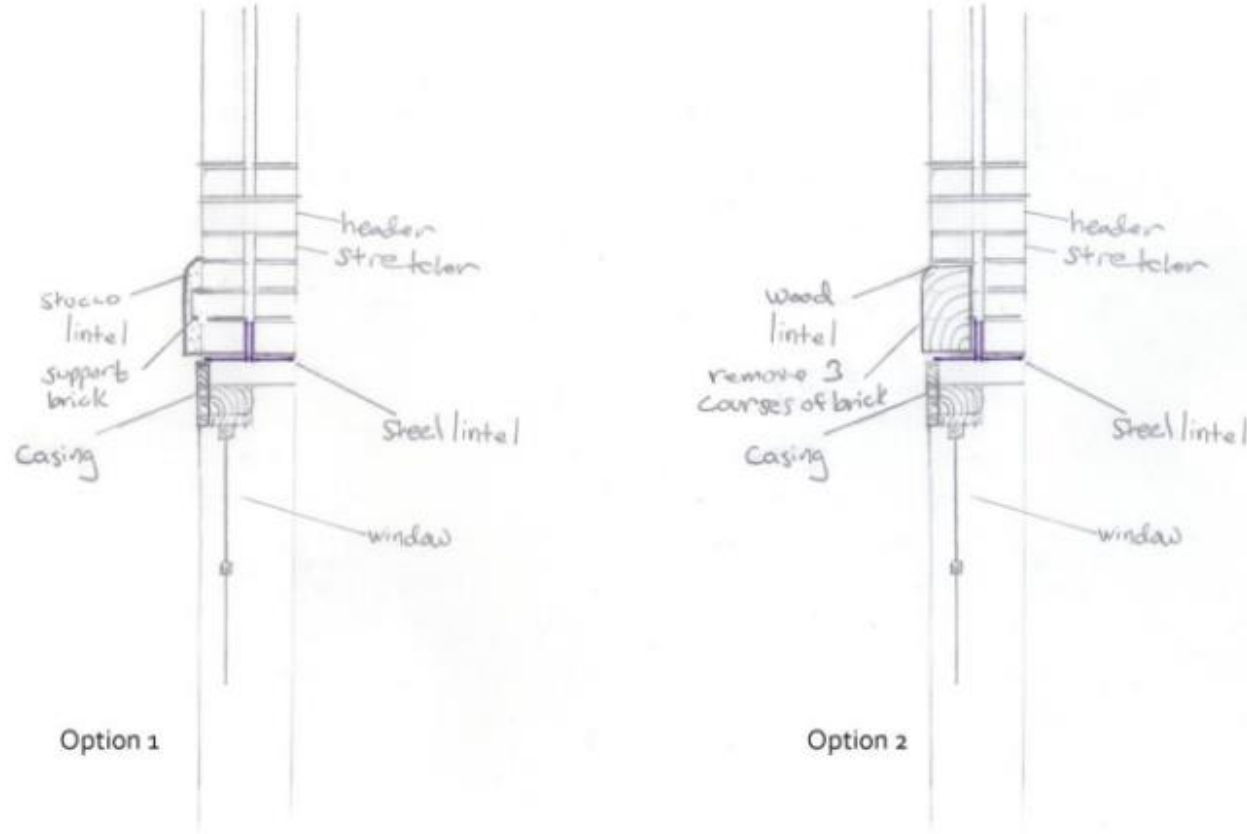
1) Only window on this façade currently without a lintel.

**Option 1:** Proposal is to retain the structural lintel already in place and apply a stucco decorative lintel to match the dimensions and profile of the adjacent stucco decorative lintel over window 2. (See section drawing on page 3 for detail)

**Option 2:** Proposal is to retain the structural lintels already in place and remove bricks from 3 courses over the window and replace with wood lintel painted white to match wood lintels in place over window 3 & 4. (See section drawing on page 3 for detail)

2) Stucco lintel. No change.

3-4) Use Lime Works Ecologic Colorwash Stain to tint individual bricks to match adjacent brick color (five courses over lintel). Tint mortar in area to blend with mortar on adjacent wall. Remove any remaining stucco from previous decorative stucco lintels.



1200 Decatur Wall Section

# 1200 Decatur

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Use of the stucco decorative lintel with the thick profile and beveled top has been in use on this building since at least 1939. Though exaggerated stucco lintel detailing is

June 11, 2024







HNOG 1939

This picture shows cracking and failing in the stucco lintel above the middle window.



VCC 2003

# 1200 Decatur

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1200 Decatur Lintel Proposal

June 11, 2024





1-3) Use Lime Works Ecologic Colorwash Stain to tint individual bricks to match adjacent brick color (three courses over header). Tint mortar in area to blend with mortar on adjacent wall. Remove any remaining stucco from previous decorative stucco lintels.

4) Remove white paint of 'faux lintel' with Prosoco Safstrip (four courses over header). Use Lime Works Ecologic Colorwash Stain to tint individual bricks to match adjacent brick color (seven courses over header). Tint mortar in area to blend with mortar on adjacent wall.

5) Replace all damaged bricks (four courses over header) with brick of matching style, size, color, and hardness to the adjacent wall bricks to match. Mortar to be VCC recipe tinted to match adjacent mortar color.

6) Use Lime Works Ecologic Colorwash Stain to tint individual bricks to match adjacent brick color (seven courses over header). Tint mortar in area to blend with mortar on adjacent wall.





# 1200 Decatur

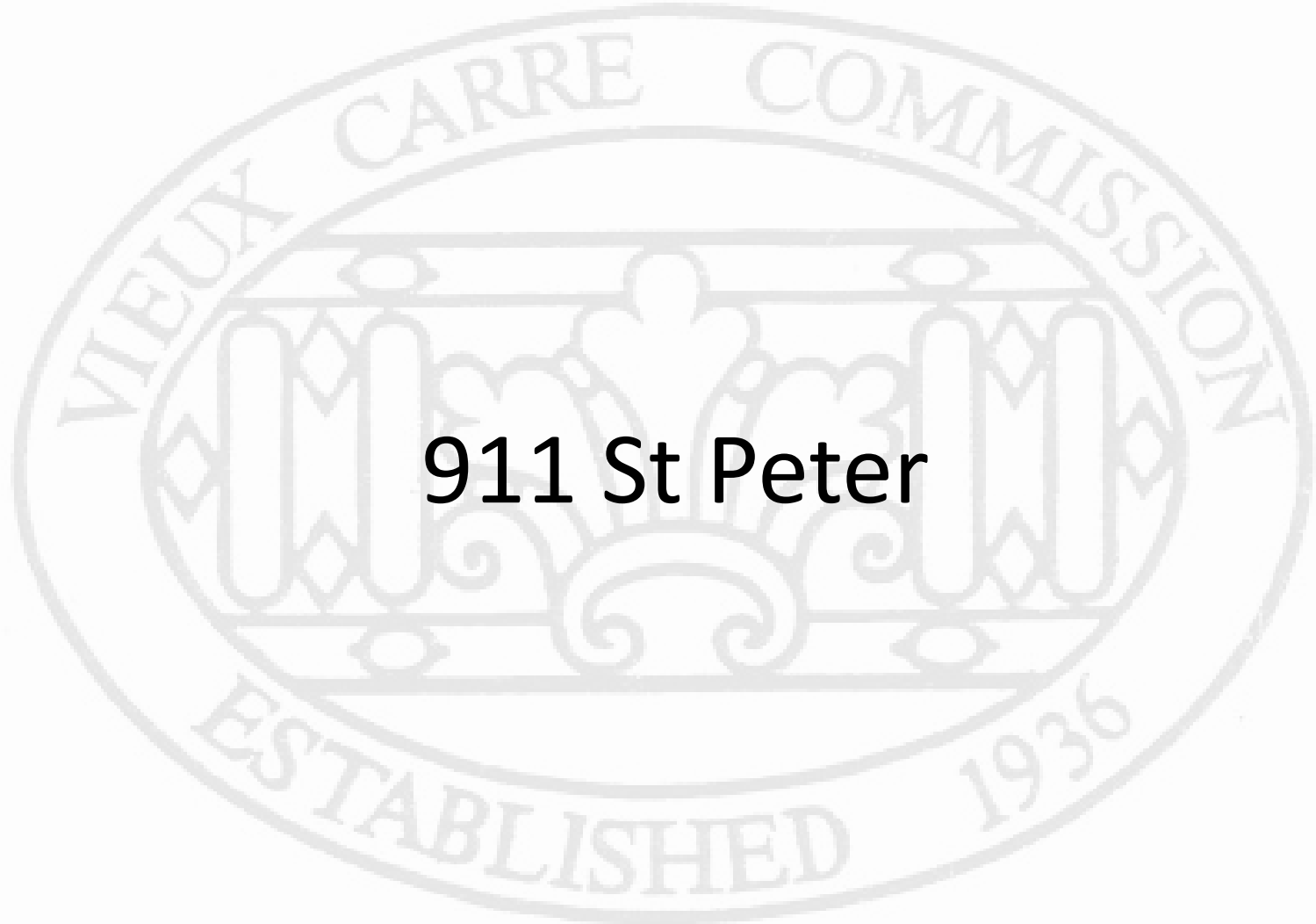
VCC Architecture Committee



1200 Decatur Lintel Proposal

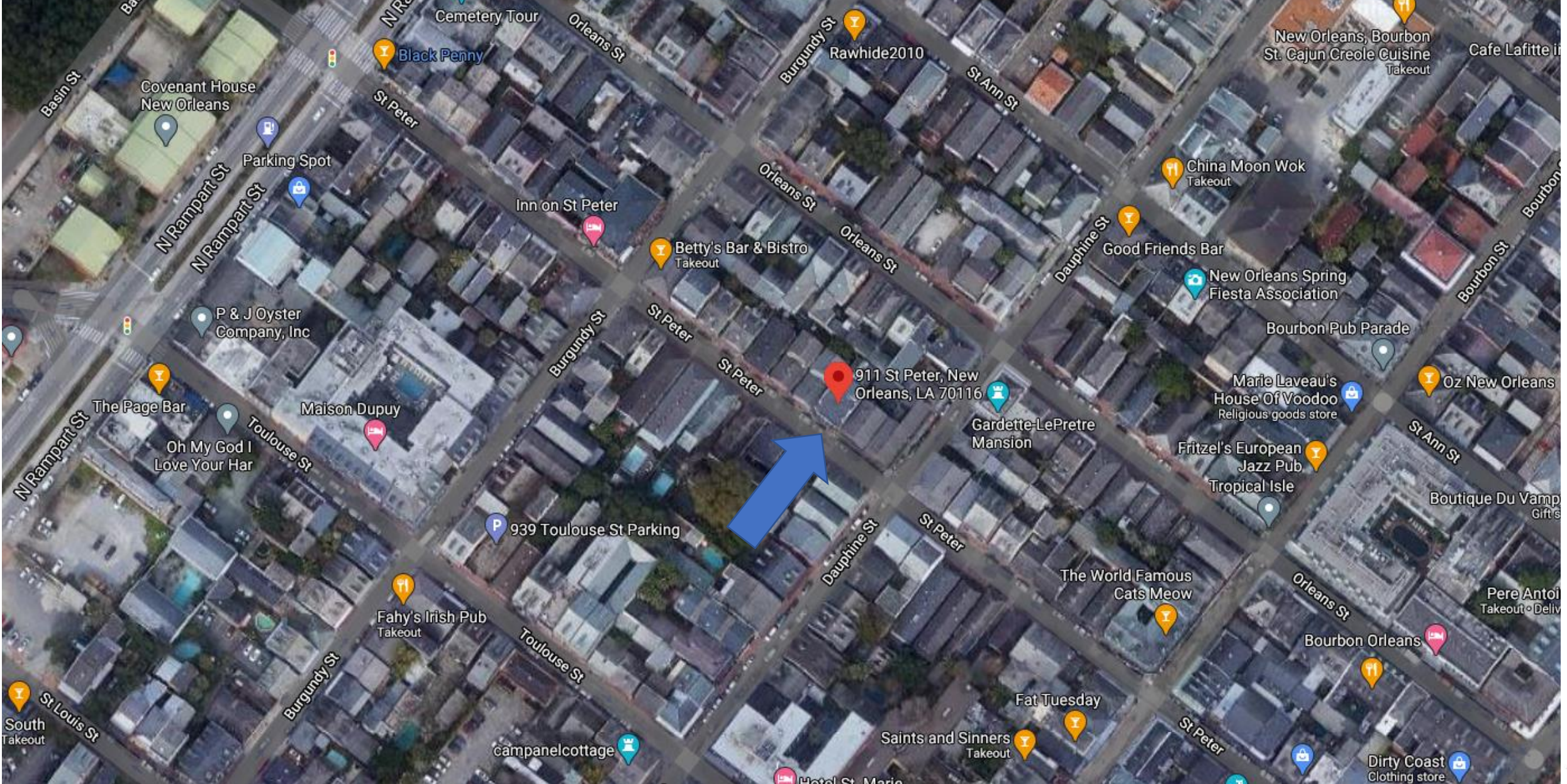
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**911 St Peter**





911 St Peter

VCC Architecture Committee

June 11, 2024







911 St Peter

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June 11, 2024







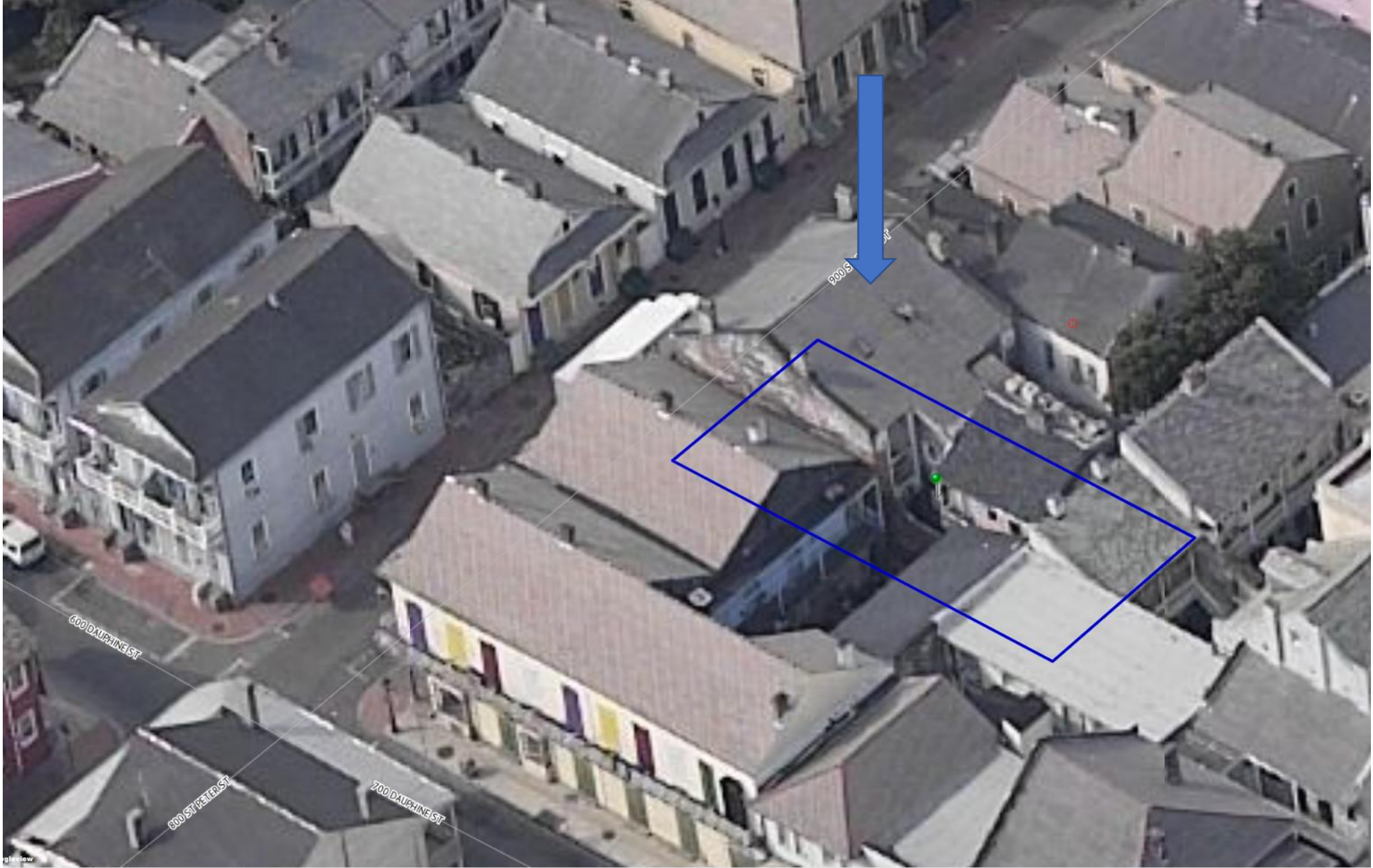
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Jan 2004 - Jan 2004 < image 1 of 9 > 01/13/2004

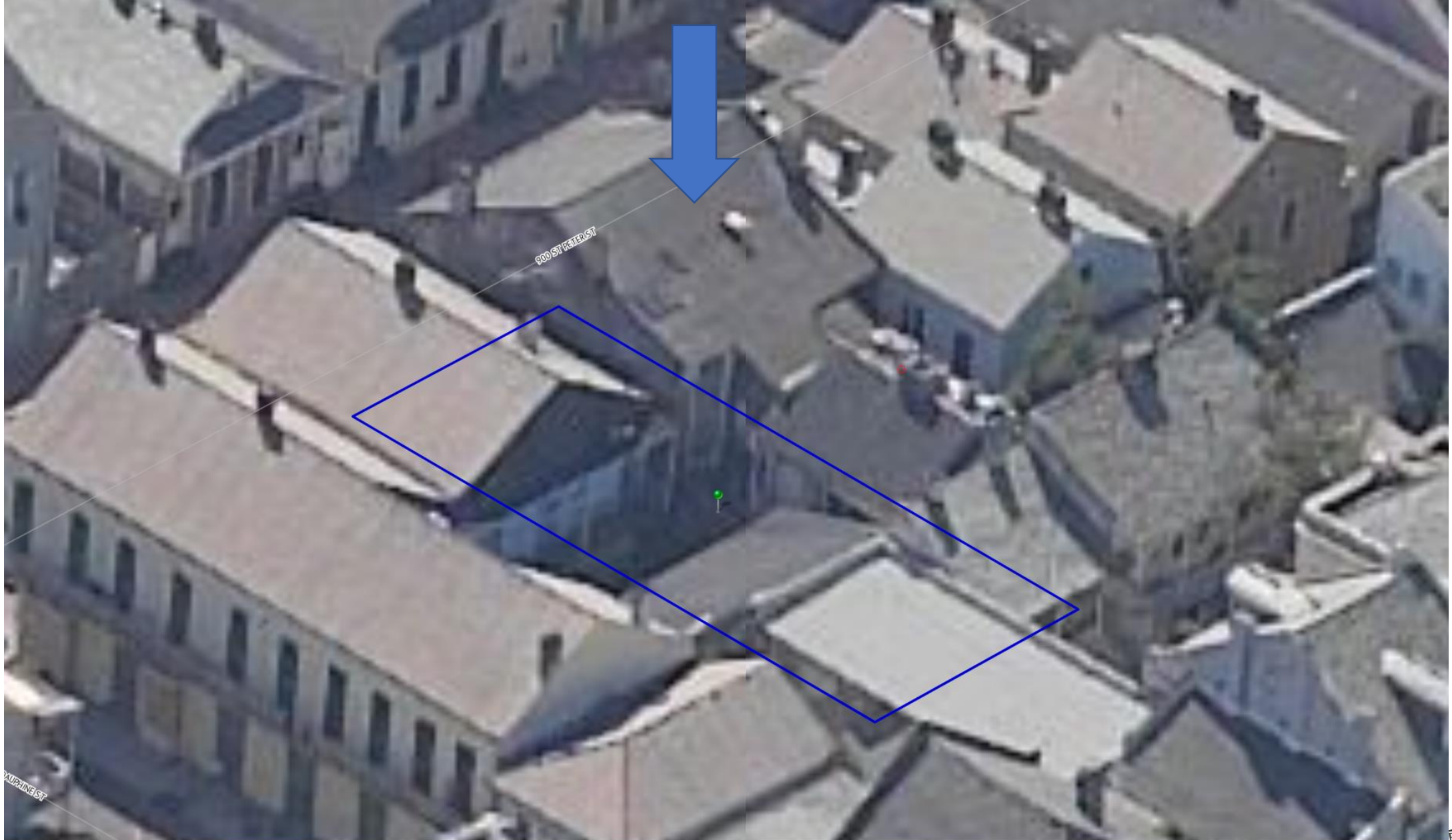
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Sep 2005 - Oct 2005 < image 1 of 2 > 09/07/2005

# 911 St Peter

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June 11, 2024





Dates: Latest < image 1 of 5 > 02/14/2024

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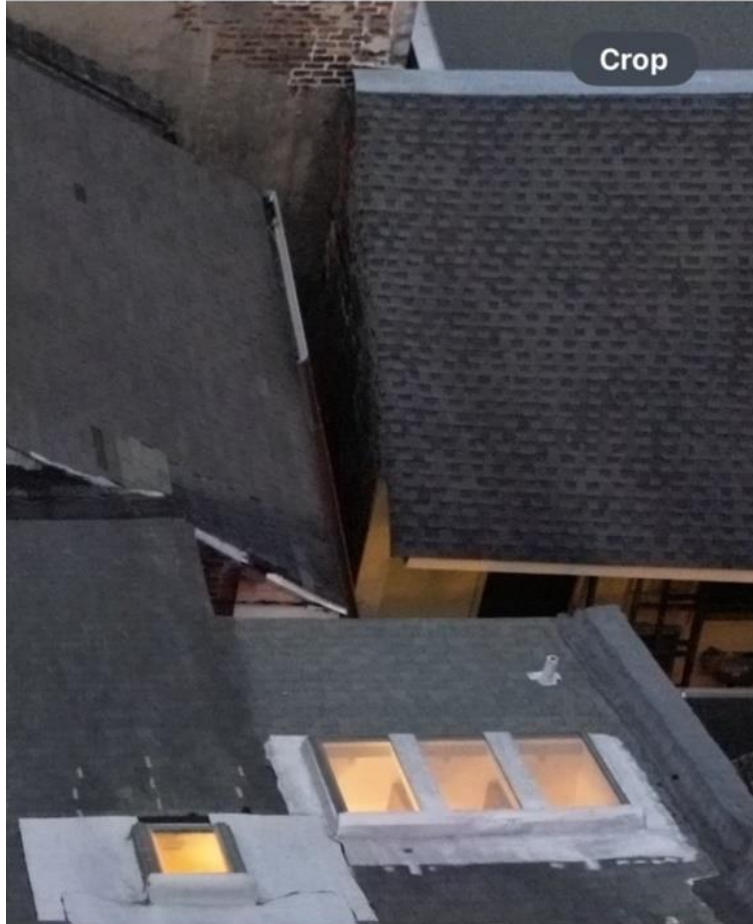
June 11, 2024



Hi Rene

There are a total of 5 skylights on the rear of the main house. All 5 skylights are 4' x 2' in size.

Please let me know next steps







833 Conti



# 833 Conti

VCC Architecture Committee

June 11, 2024







833 Conti

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June 11, 2024





833 Conti

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833 Conti

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05 21 2024

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833 Conti

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833 Conti

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No exhaust present

833 Conti – 2016 view from 411 Bourbon St

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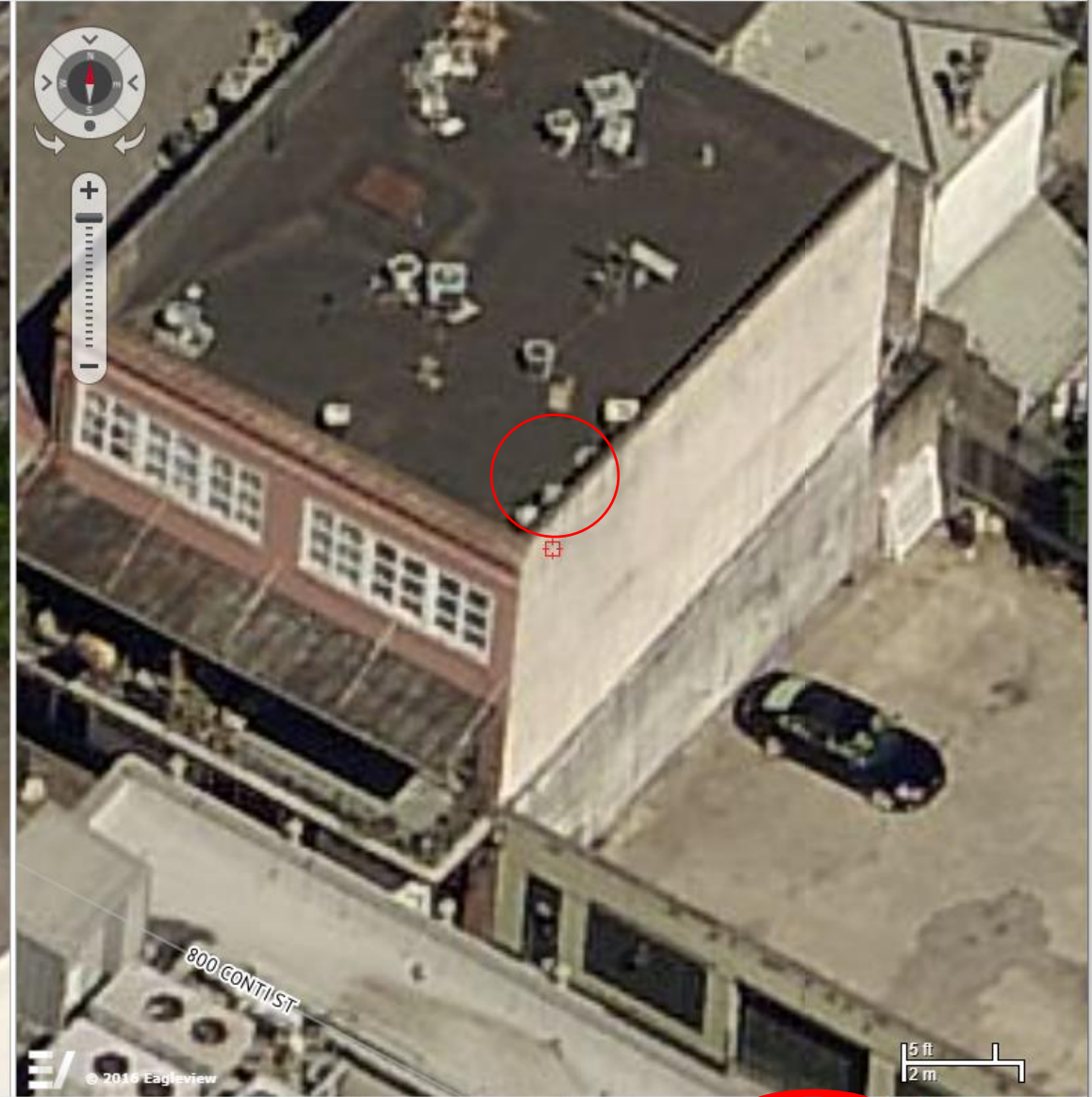
June 11, 2024







map: Auto (Oblique) ▾ Jan 2017 - Jan 2017 **01/28/2017**



map: Auto (Oblique) ▾ Feb 2016 - Apr 2016 ▾ < image 1 of 4 > **03/04/2016**

# 833 Conti

VCC Architecture Committee

June 11, 2024







DARLEEN M. JACOBS, J.D., LL.M. (IN ADMIRALTY)  
 CERTIFIED AS SPECIALIST  
 IN CIVIL TRIAL ADVOCACY  
 ALSO ADMITTED IN NEW YORK  
 AND DISTRICT OF COLUMBIA

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 OF COUNSEL  
 GEORGE ROUX, J.D.  
 OF COUNSEL  
 JOHN L. YOUNG  
 OF COUNSEL  
  
 OFFICES:  
 (504) 522-3287  
 (504) 522-0155

June 5, 2024

Nicholas Albrecht  
 Office of Business & External Services  
 Vieux Carre' Commission

RE: 833 Conti Street

Dear Mr. Albrecht:

Please include my proposal on 6/11 agenda to return the hood vent as-is. I am also enclosing a letter from Manuel Rodriguez of First Choice Restoration, L.L.C. on the hood.

Apparently you have ignored my letter. If I cannot get a fair hearing, please send this matter directly to the city council. There is no doubt that this vent has been in existence for more than fifteen years and I will prove it. There is also no doubt that you are promoting selective enforcement.

Respectfully,

  
 Darleen M. Jacobs

Enclosure

**833 Conti**

VCC Architecture Committee

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# First Choice Restoration, LLC

828 St. Louis Street, New Orleans, LA 70112

phone: 504.529.4371 • fax: 504.529.4267

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June 5, 2024

TO WHOM IT MAY CONCERN:

Regarding 833 Conti Street the existing vent cannot be moved because to do so would damage the roof and destroy the exhaust outlet for the restaurant. It would also be a very costly procedure.

Manuel Rodriguez

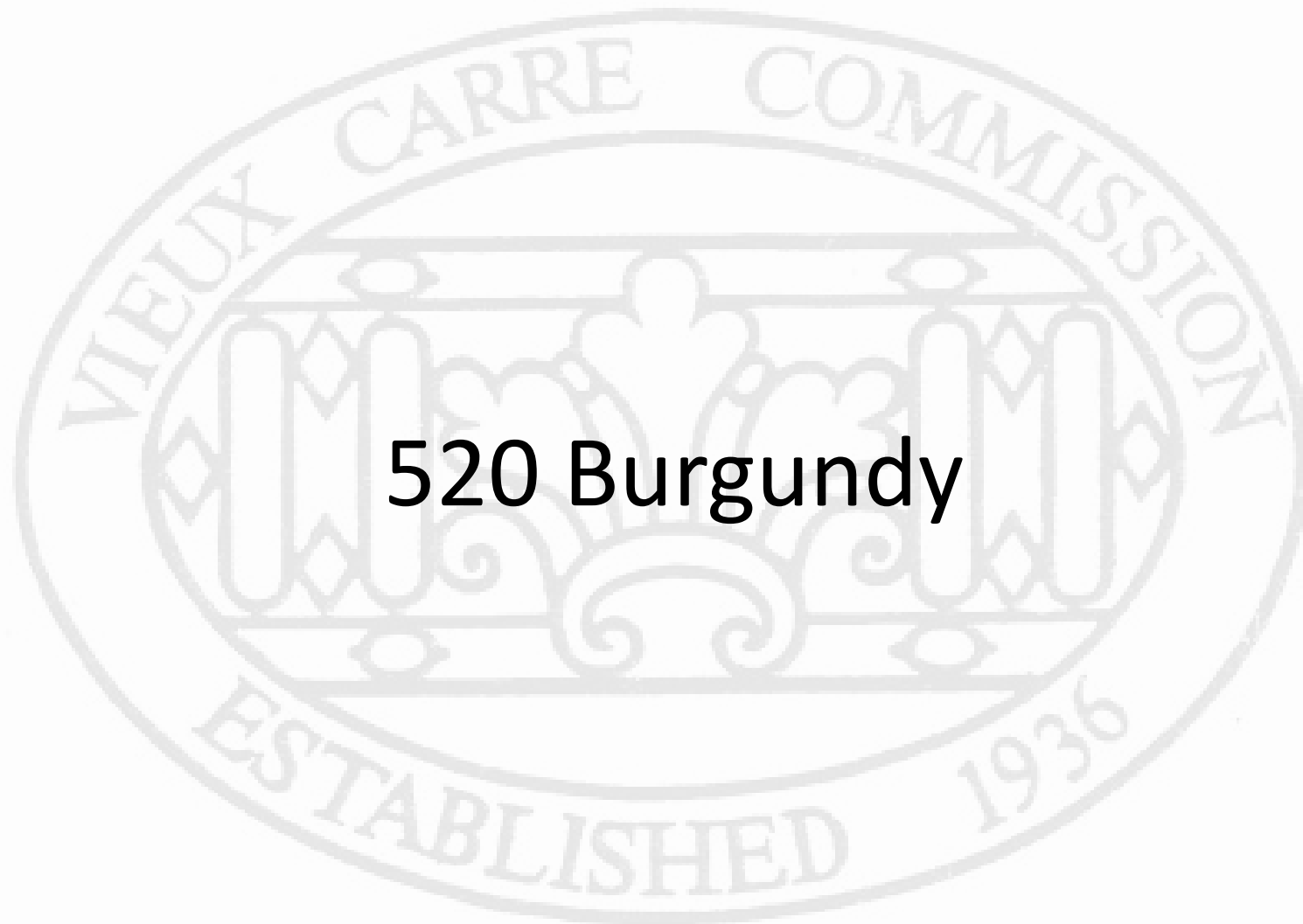
833 Conti

VCC Architecture Committee

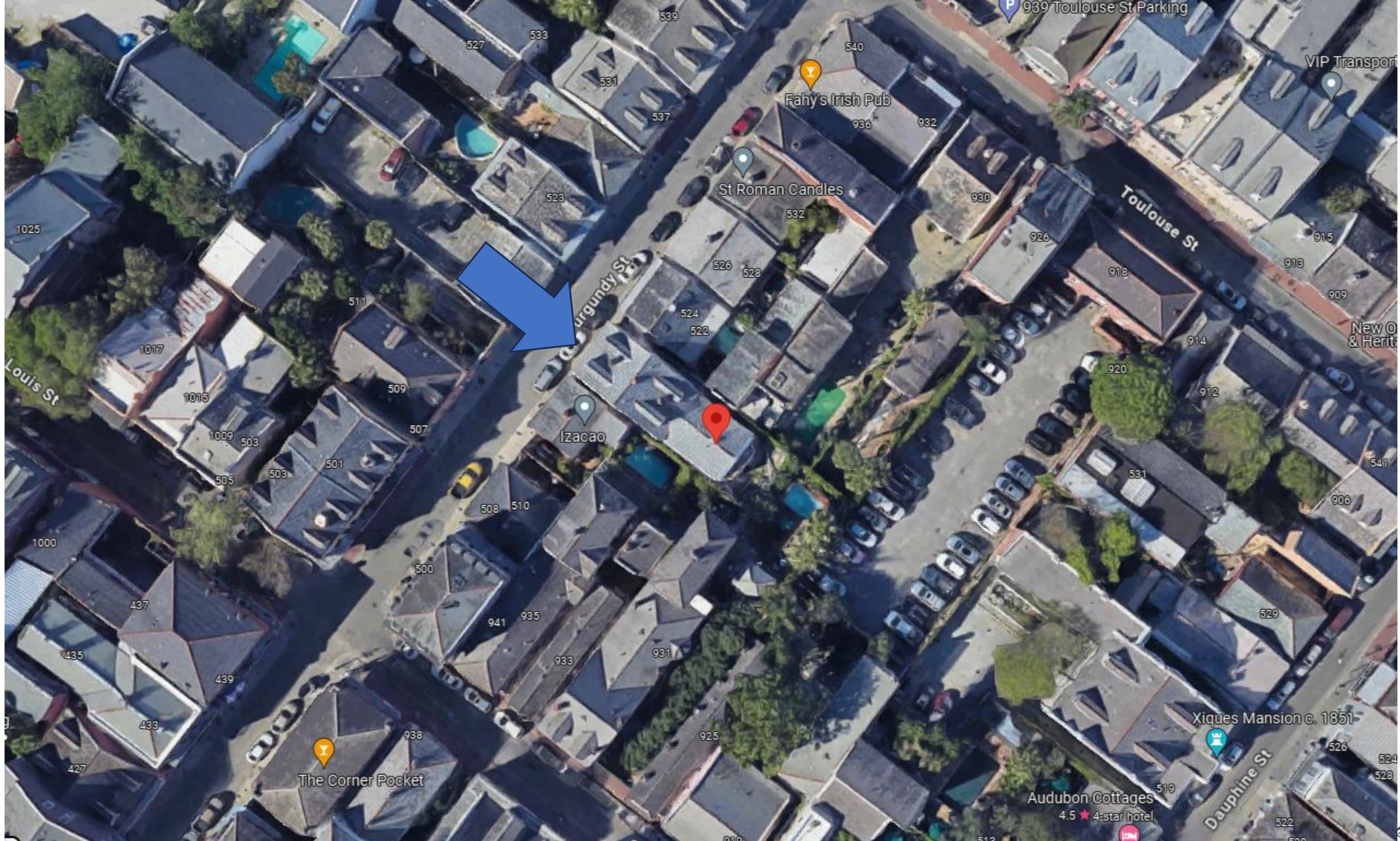
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# 520 Burgundy



520 Burgundy

VCC Architecture Committee

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# Vieux Carré Commission

1300 Perdido St, 7<sup>th</sup> Floor  
New Orleans, LA 70112  
(504) 658-1420



### Permit No. 21-35436-VCGEN

**The Vieux Carré Commission hereby grants permission for the approved work specified below.**

Issued in accordance with Chapter 166 of the 1995 Code of the City of New Orleans, this permit is only for the work which meets Commission guidelines, policies, and specifications. This permit must be posted on the site, along with any approved plans and specifications, so as to be visible from the street.

Address:	520 Burgundy St	Phone:	(504) 485-5870
Applicant:	Loretta Harmon		
Owner:	488 Holdings LLC		
Contractor:	Loretta Harmon		

#### Work approved:

To renovate building as per Architecture Committee approval of 01/11/2022 and materials stamped VCC approved 02/11/2022. Work includes:

- Remove existing roofing material from roof and dormer cheeks
- Repair and/or replace underlayment as necessary
- Install new 12" x 24" **natural slate** (grey), using copper nails
- Install/repair half round copper gutters and flashing
- Install/reinstall ceramic or concrete V-style or terra cotta ridge tiles. Replace broken tiles as needed, to match existing.
- **Metal cap-flashing on the parapets or chimneys is not allowed**
- Repair/replace trim/windows/doors/shutters to match existing
- Repoint chimneys and other masonry as per VCC standard details (attached)
- Removal of all existing exterior light fixtures and installation of new fixtures per plans
- Demolish and reconstruct wood stoops to match existing
- Construct new seven board fence to be no more than 7' tall

**Note:** Trash chutes are required for removal of debris from all roofs  
 All work must conform to standard VCC policies & guidelines  
 Permit does not allow for cap flashing on parapets, chimneys or surrounding walls  
 Torch-applied roofing is not permitted in the Vieux Carré.

**All work must conform to the VCC policies & guidelines. All repair/replacement work shall match existing in color, size, material, detail, profile and exposure. Failure to exactly match materials, details, profiles, exposures, and/or VCC mortar specified in the permit and associated attachments will result in a VCC Stop Work Order, VCC violation, and mandated repair of improper work.**

Estimated cost: \$100,000.00 ngalbrecht 2/2/2022

This permit expires six (6) months from date of issuance and may be renewed if work is proceeding satisfactorily.

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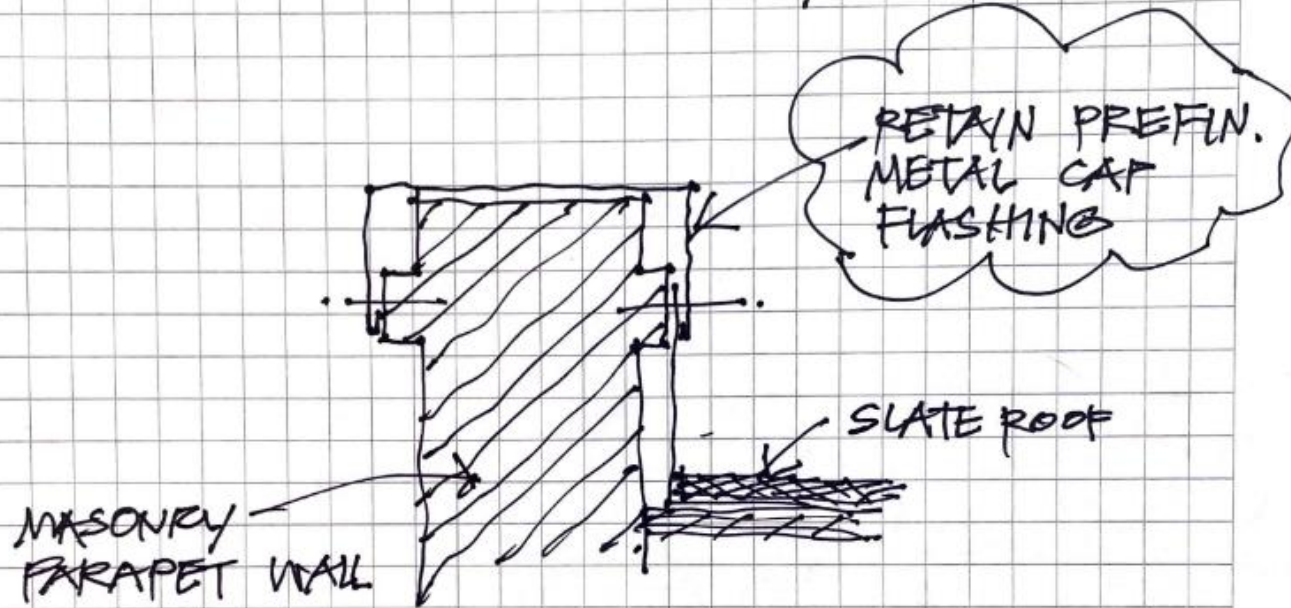




**LKH Architects**  
 6238 Argonne Boulevard  
 New Orleans, LA 70124

504.485.5870  
 harmon@lkharmonarchitects.com  
 www.lkharmonarchitects.com

520 BURGUNDY ST  
 LKH #2021 17 May 24



PARAPET DETAIL @ REAR  
 NO SCALE





# CONTRACT

DATE: 5/1/2024

PROJECT LOCATION: 520 BURGUNDY ST., N.O. LA 70116. Single Family Home.

SCOPE OF WORK: Fabricate and install a prefinished 24 gage metal cap flashing on masonry gabled wall at rear of house.

PRICE: \$1270.00. Due upon completion of work.


CONTRACTOR:

Alberto Palacios  


Date:

5/24/24

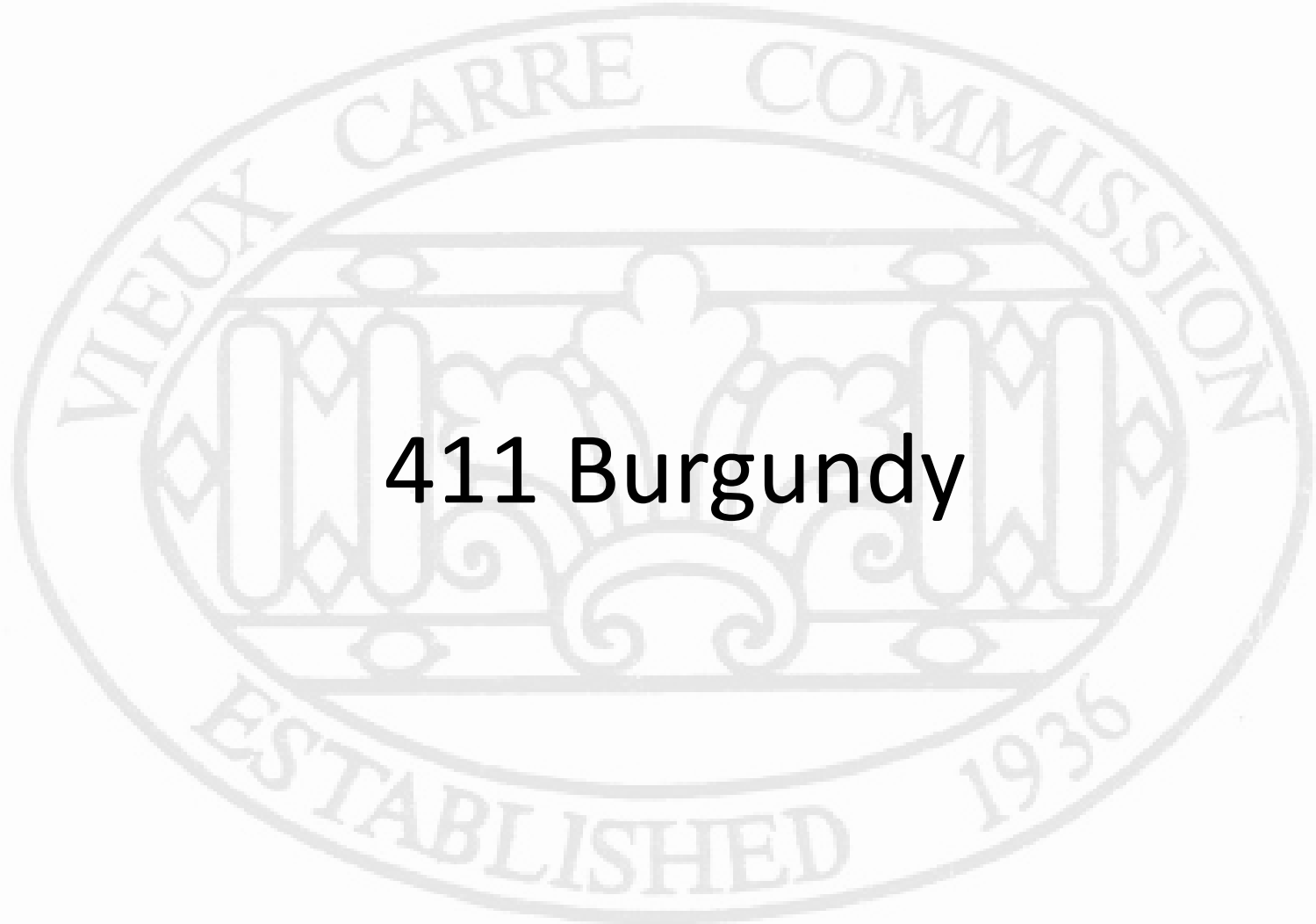
OWNER:

Max Perret, 488 Holdings LLC  


Date:

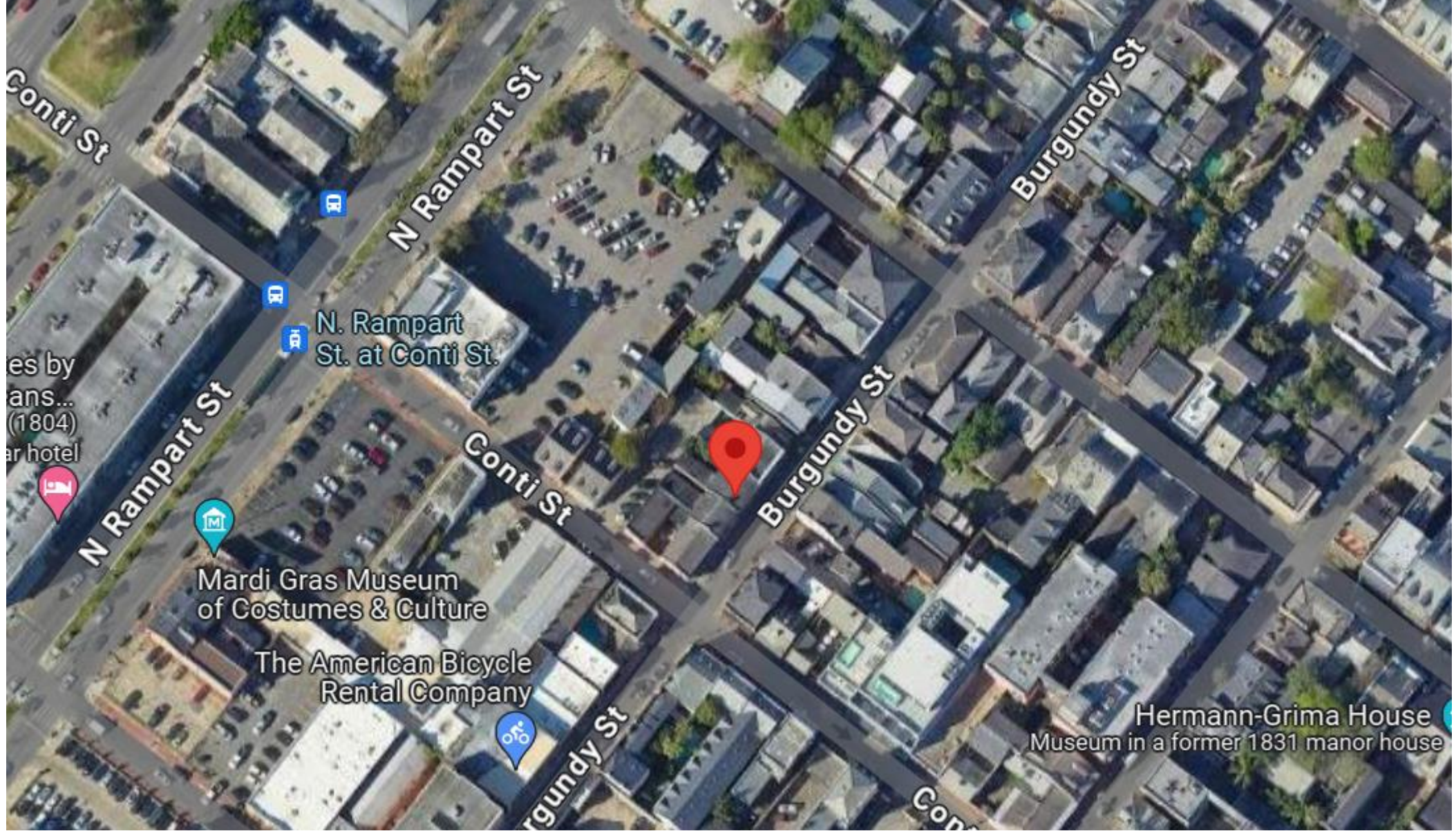
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# 411 Burgundy





# 411 Burgundy

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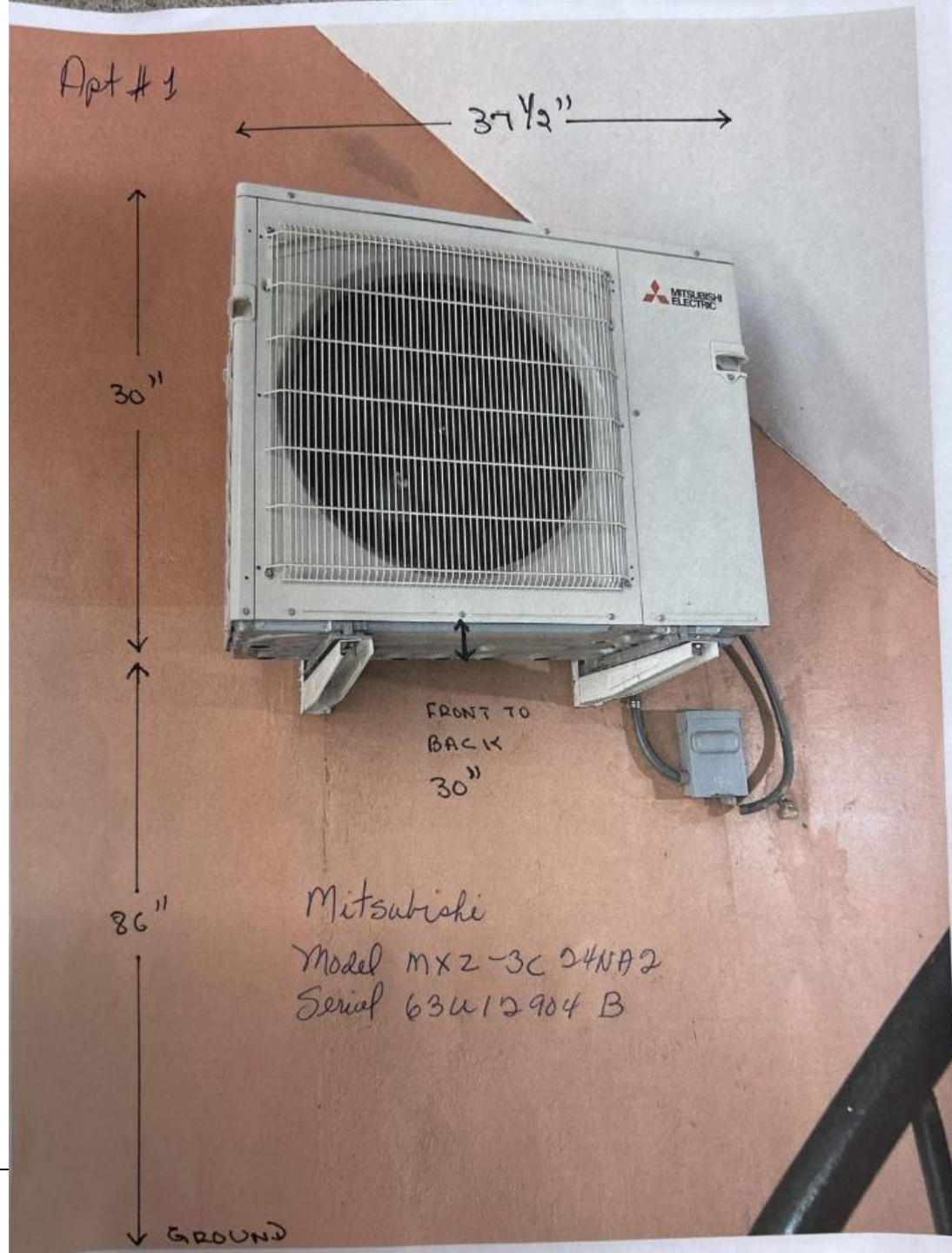


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**411 Burgundy**

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June 11, 2024







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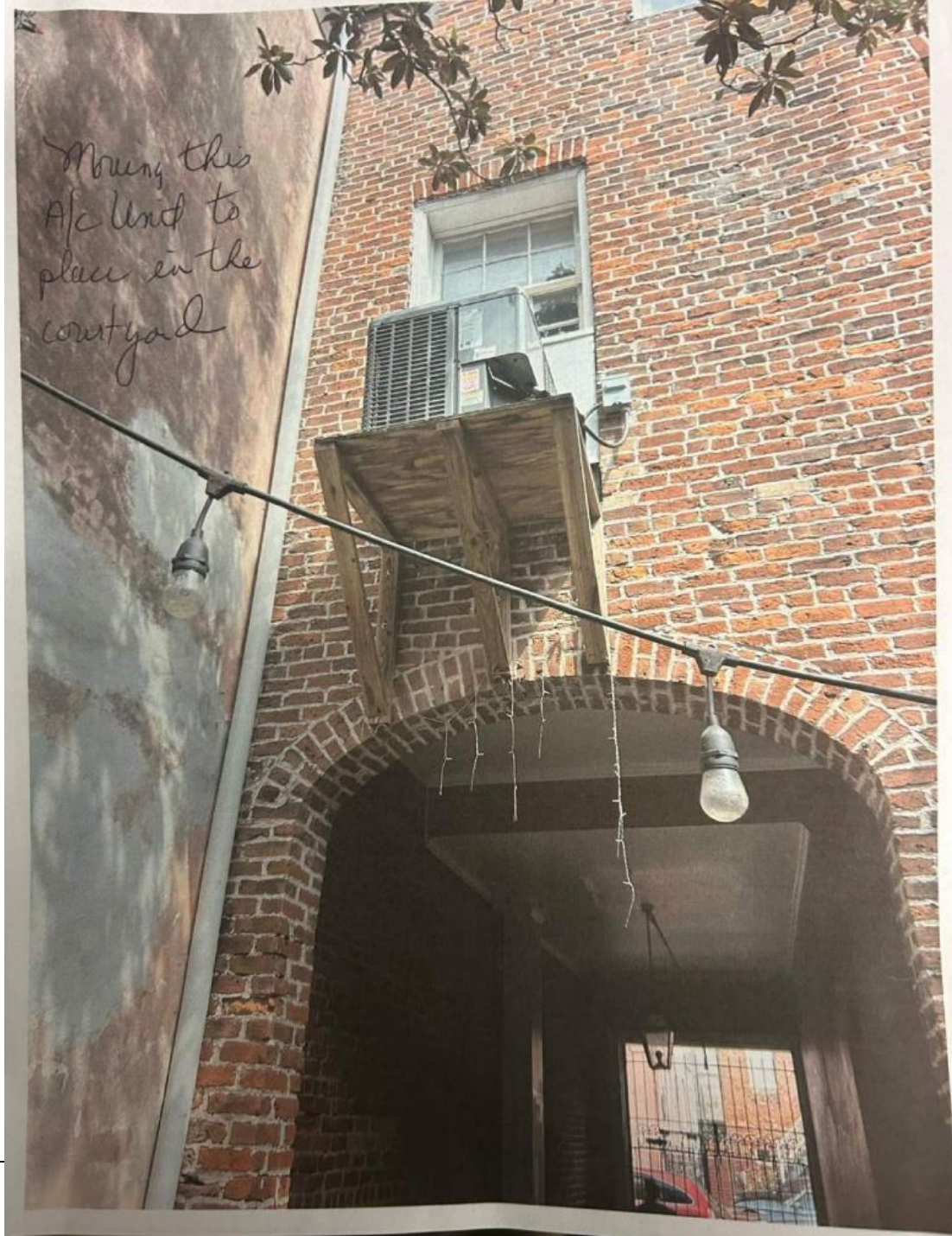
411 Burgundy

VCC Architecture Committee

June 11, 2024







**411 Burgundy**

VCC Architecture Committee

June 11, 2024







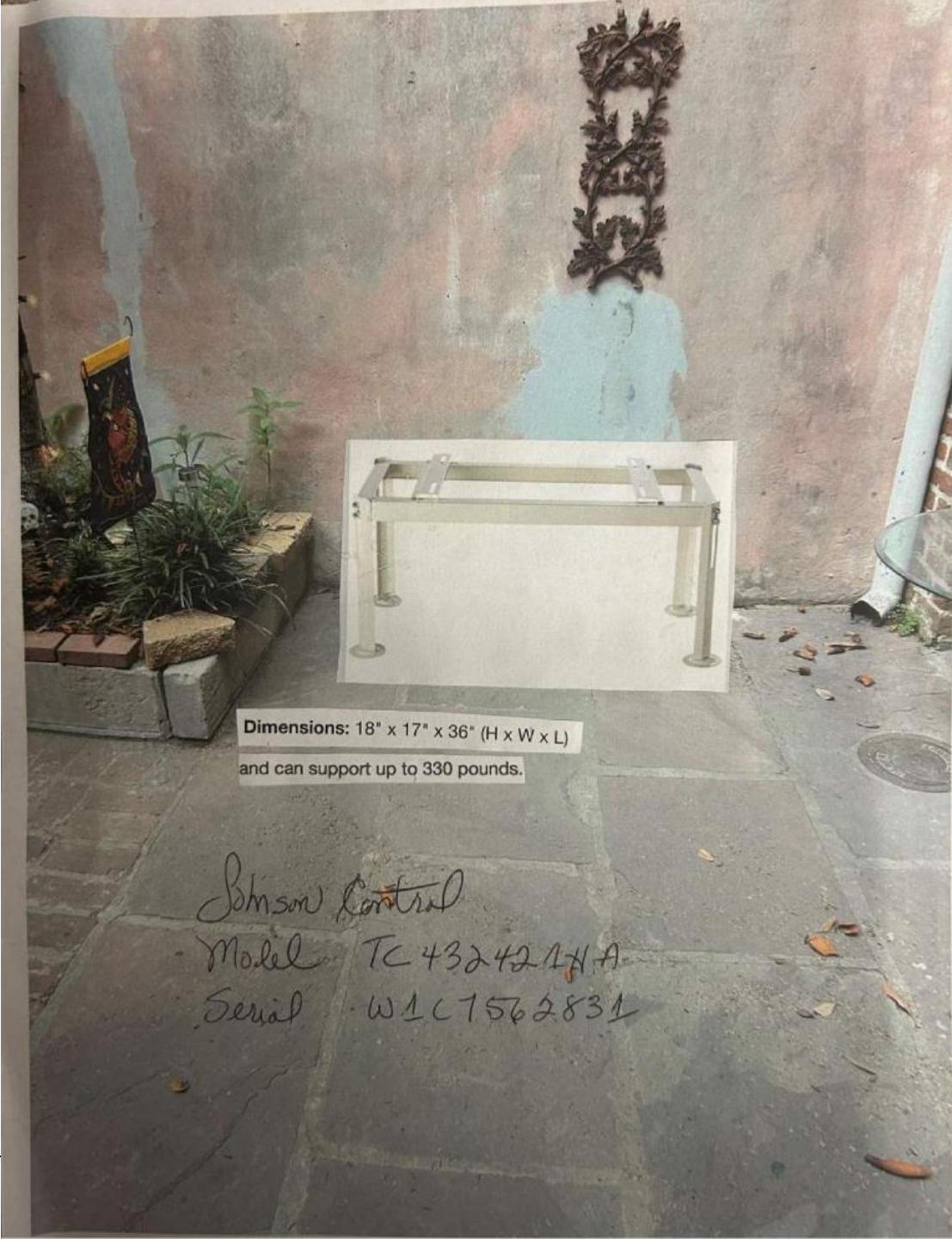
411 Burgundy

VCC Architecture Committee

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