



Vieux Carré Commission Architecture Committee Meeting

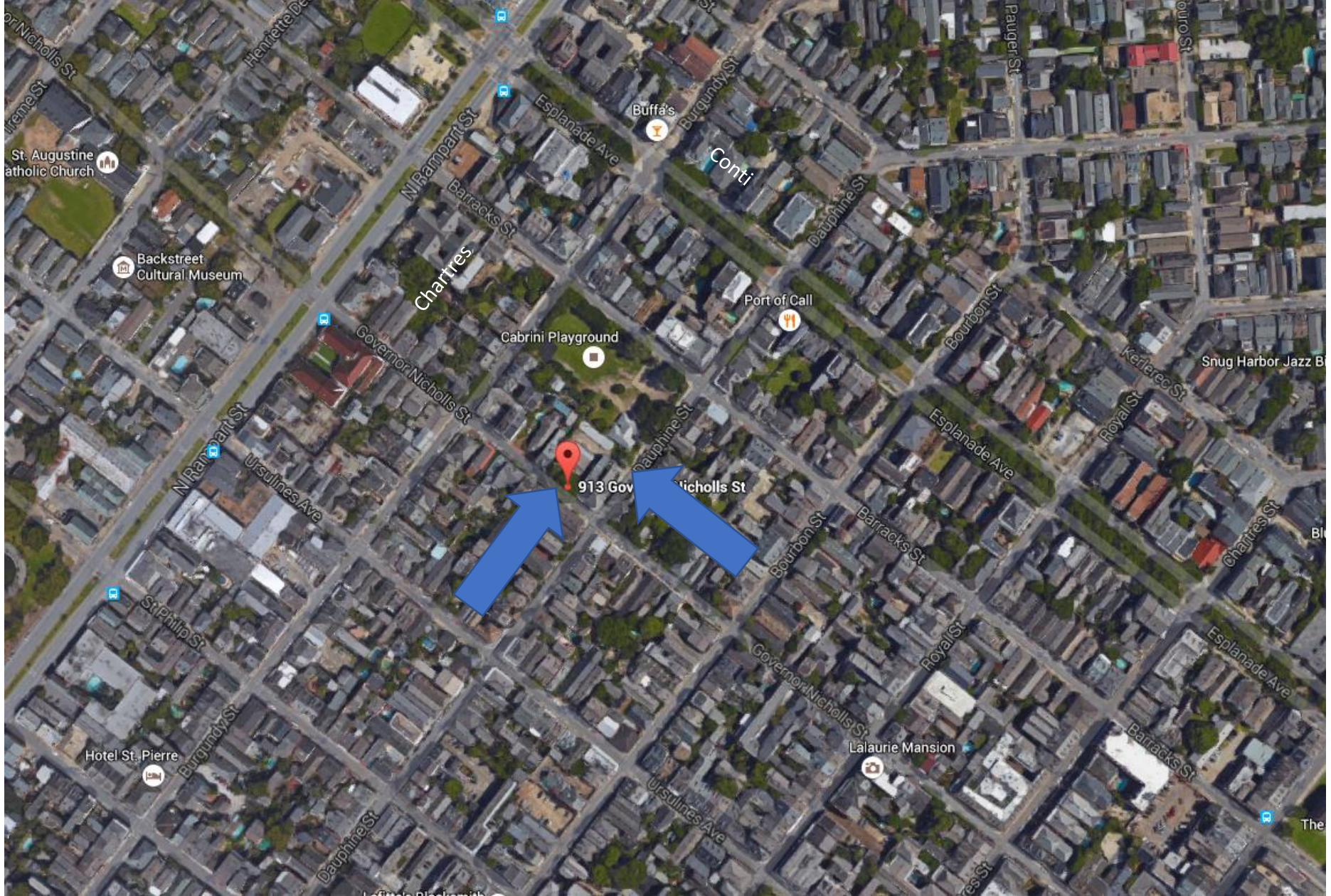
Tuesday, August 13, 2024



Old Business

The seal of the Vieux Carre Commission is a circular emblem. It features a central shield with a crown on top and a decorative base. The shield is divided into three horizontal sections. The top section contains a crown, the middle section contains a shield with a cross, and the bottom section contains a decorative scroll. The shield is surrounded by a circular border containing the text "VIEUX CARRE COMMISSION" at the top and "ESTABLISHED 1936" at the bottom.

913 Gov. Nicholls, 1215 Dauphine



907-17 Governor Nicholls





907-17 Governor Nicholls





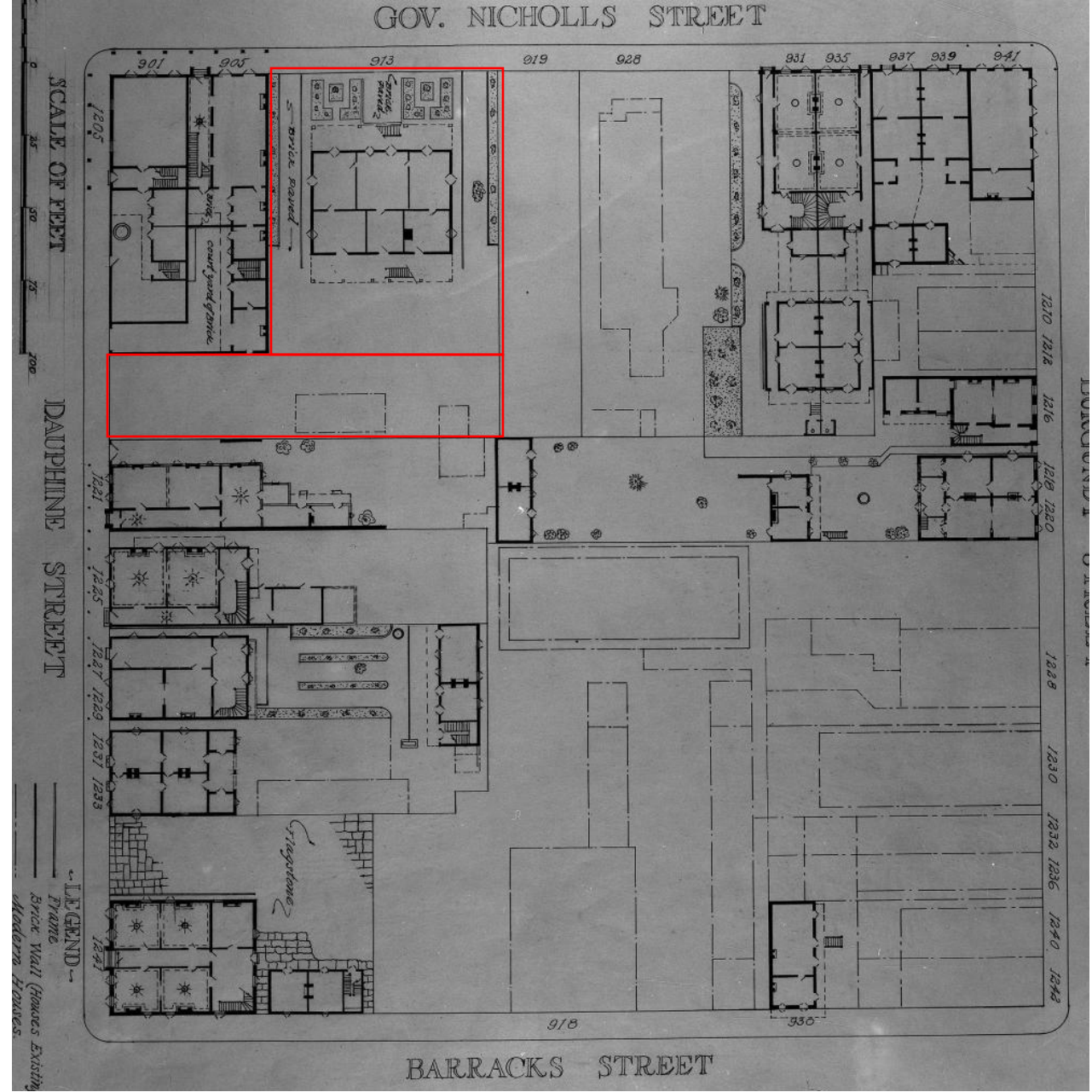
907-17 Governor Nicholls





907-17 Governor Nicholls





907-17 Governor Nicholls





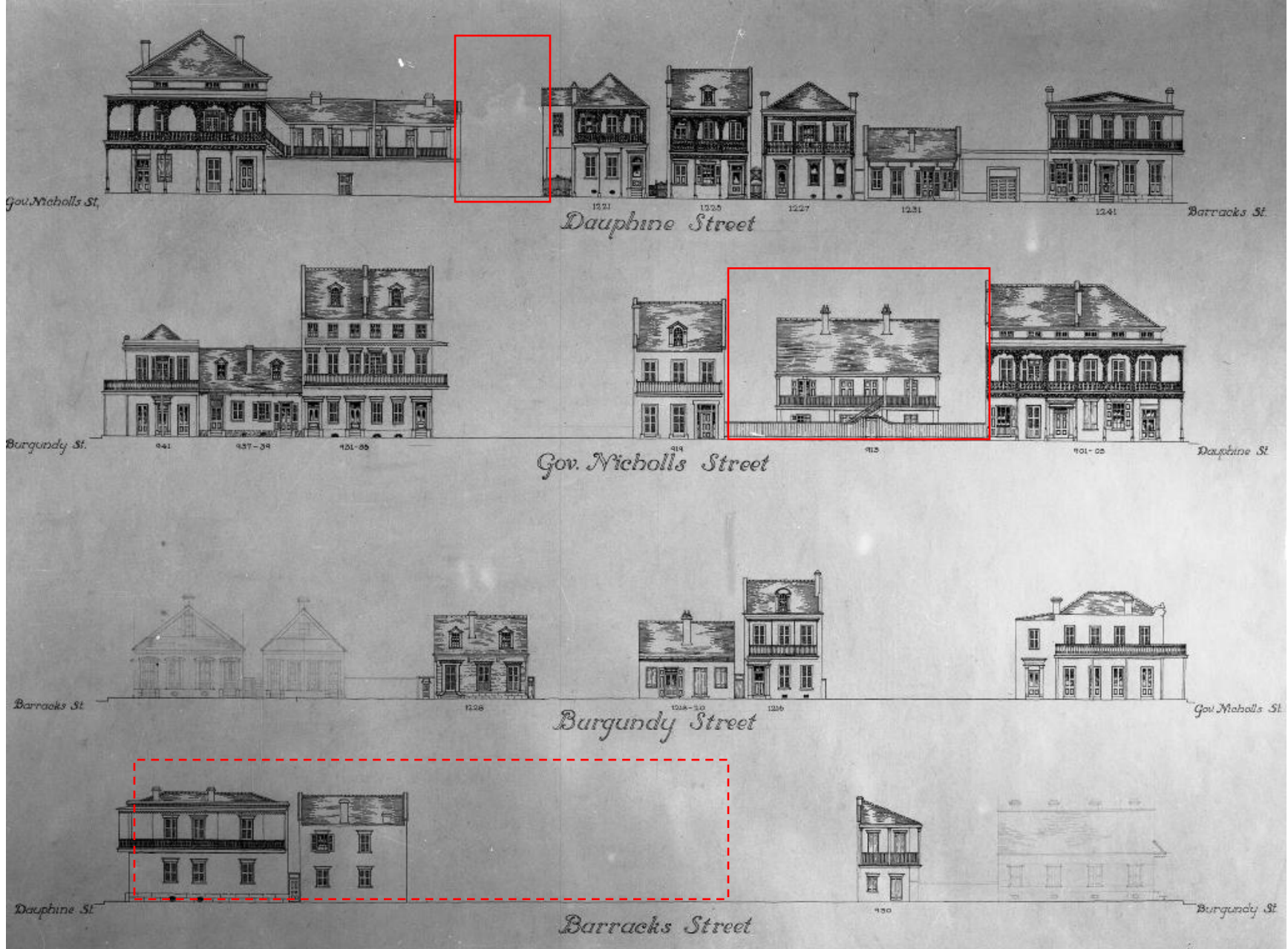
907-17 Governor Nicholls (rear elevation)





907-17 Governor Nicholls





907-17 Gov Nicholls, 1211-15 Dauphine





907-17 Governor Nicholls





907-17 Governor Nicholls





1211-15 Dauphine





1211-15 Dauphine





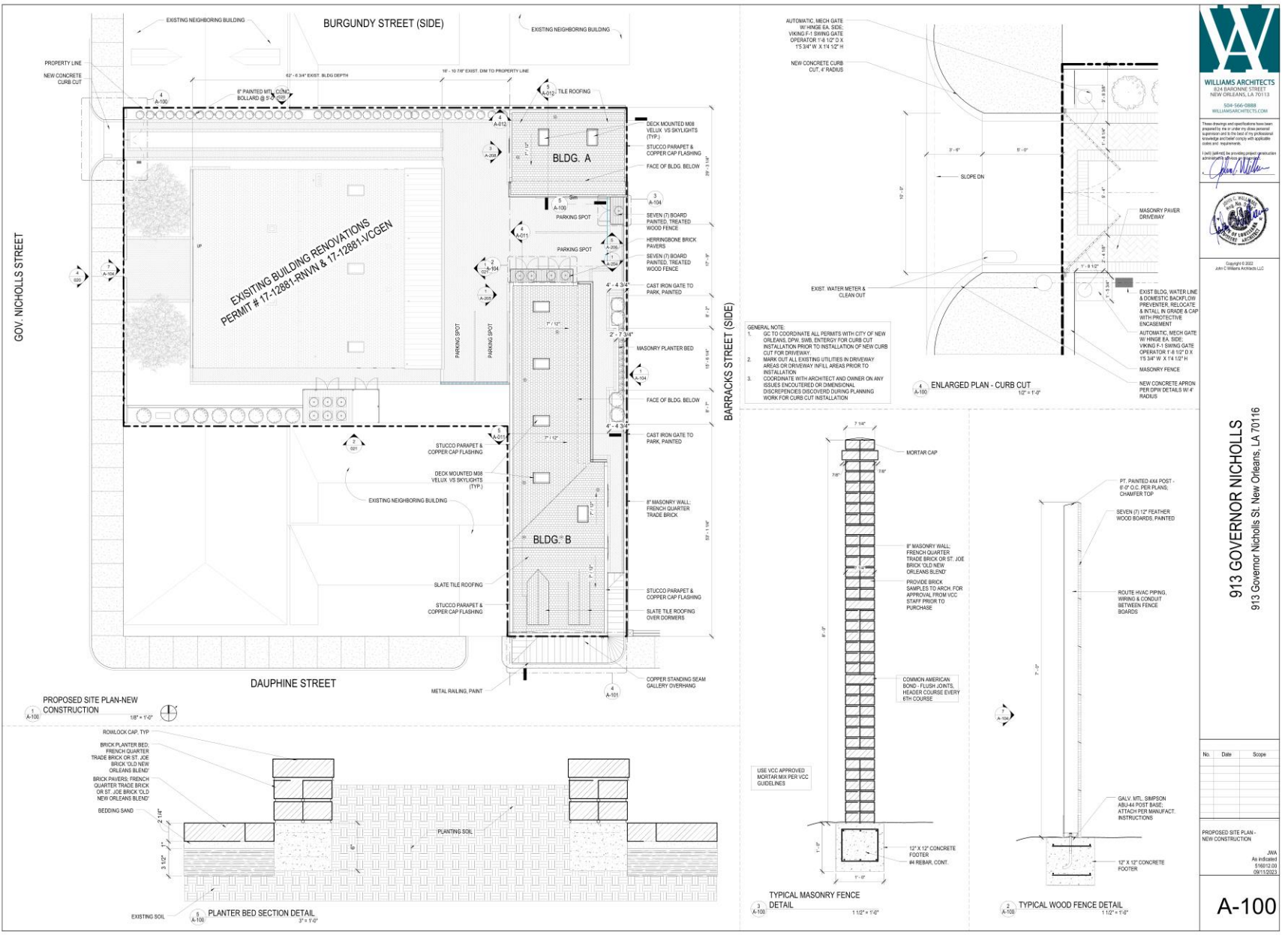
1211-15 Dauphine

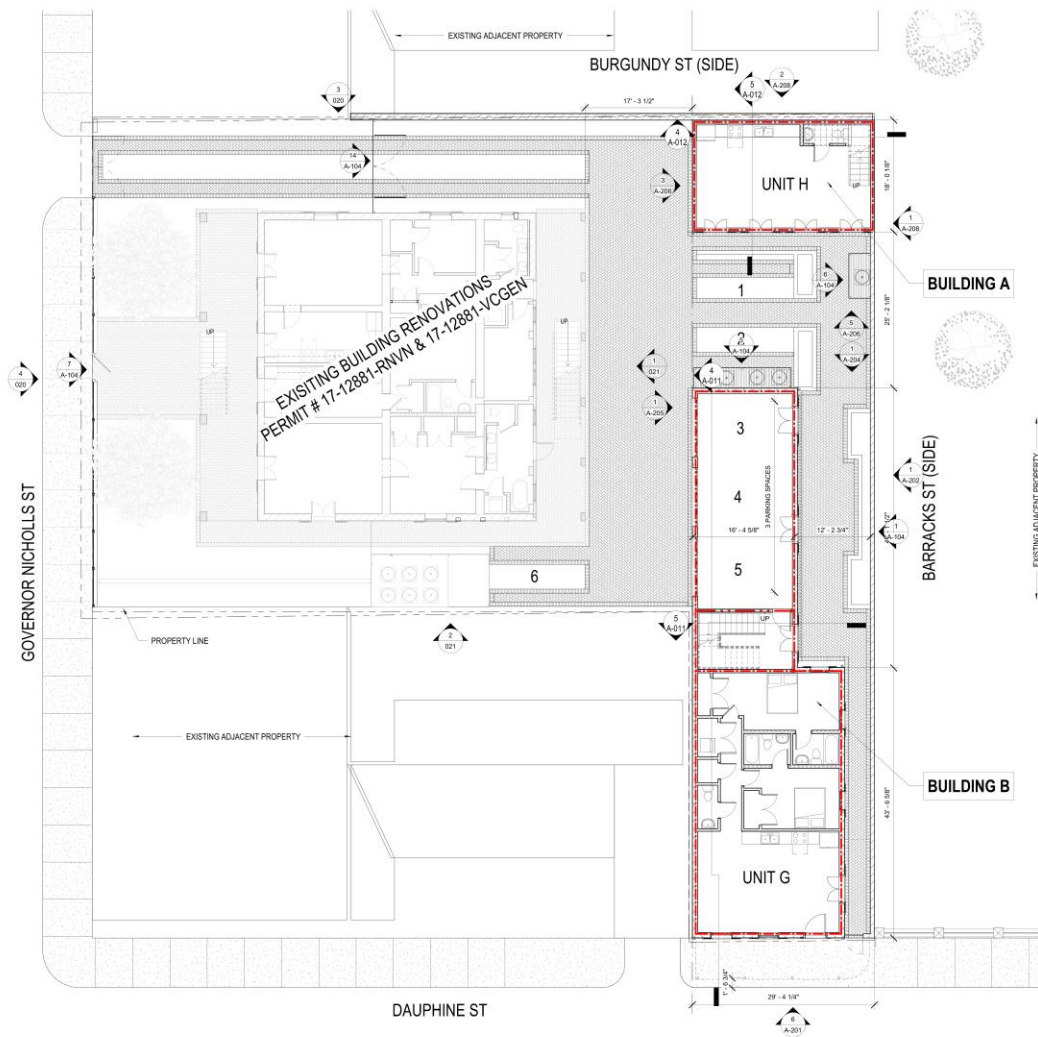




907-17 Governor Nicholls





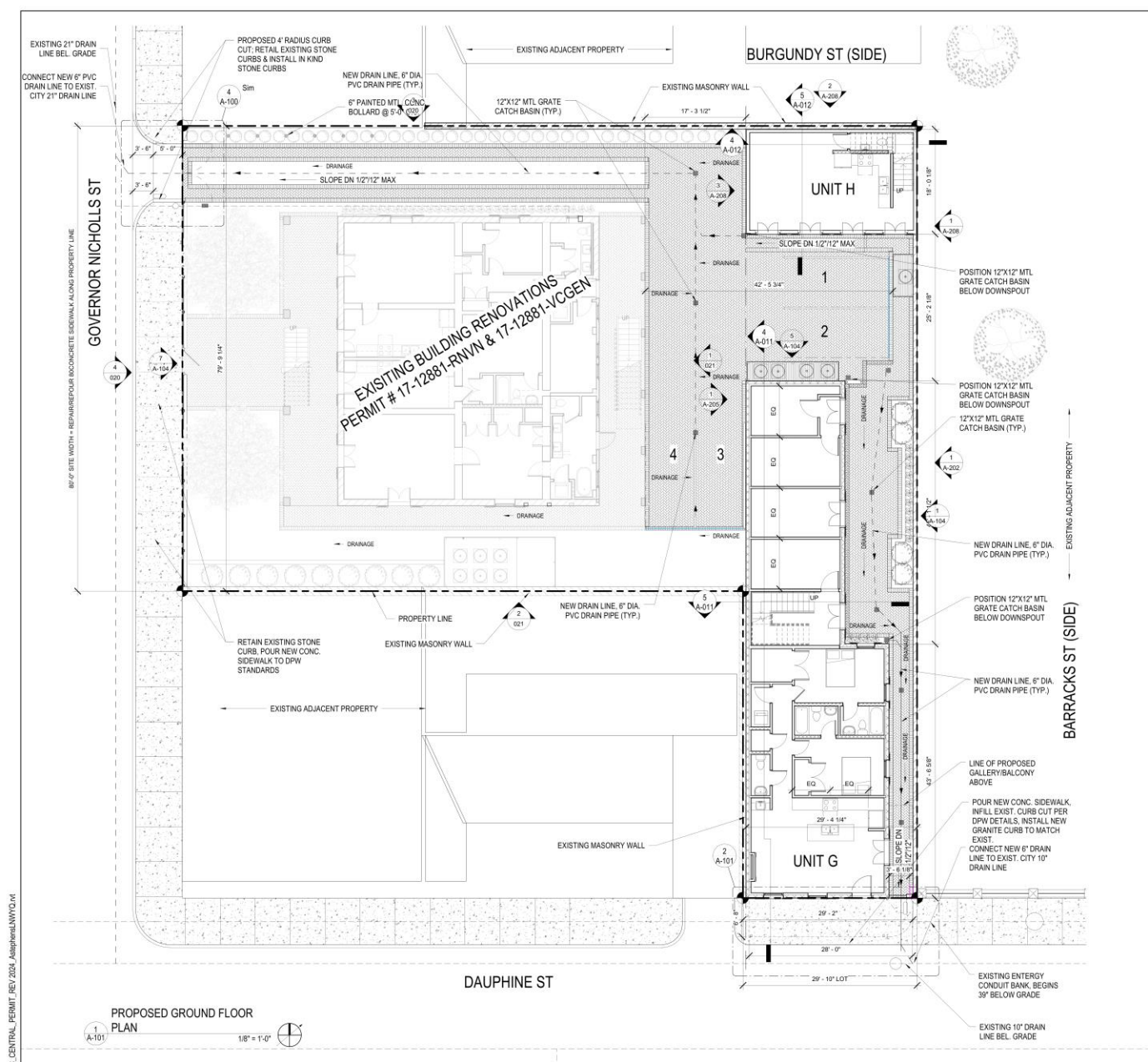


LIFE SAFETY PLAN - FIRST FLOOR 1/8" = 1'-0"

Con:\shop\2113\Dauphine\11.0201\NICHOLLS\1215\DAUPHINE\MERC_CENTRAL_RENOV_2022.rvt

913 Governor Nicholls – ~~previously approved site plan~~





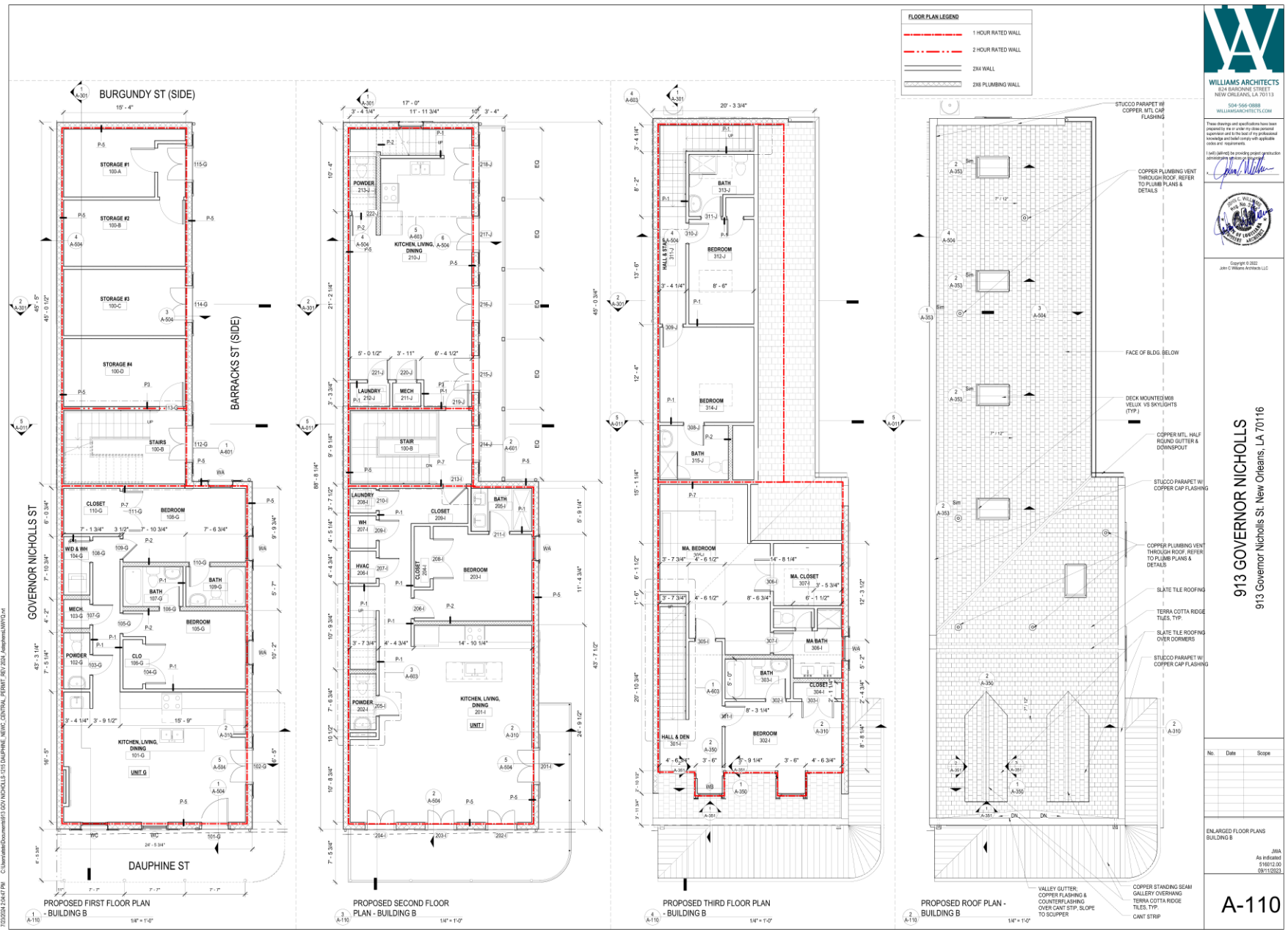
2: CENTRAL PERMIT REV 2024 - AspenhamLWYD.rvt

913 Governor Nicholls – proposed

VCC Architectural Committee

August 13, 2024





WILLIAMS ARCHITECTS
 824 BARCARNE STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct supervision and to the best of my professional knowledge and belief they comply with applicable laws and regulations.

I am licensed by the State of Louisiana as an Architect.

John Williams
 ARCHITECT

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 John Williams Architects, LLC

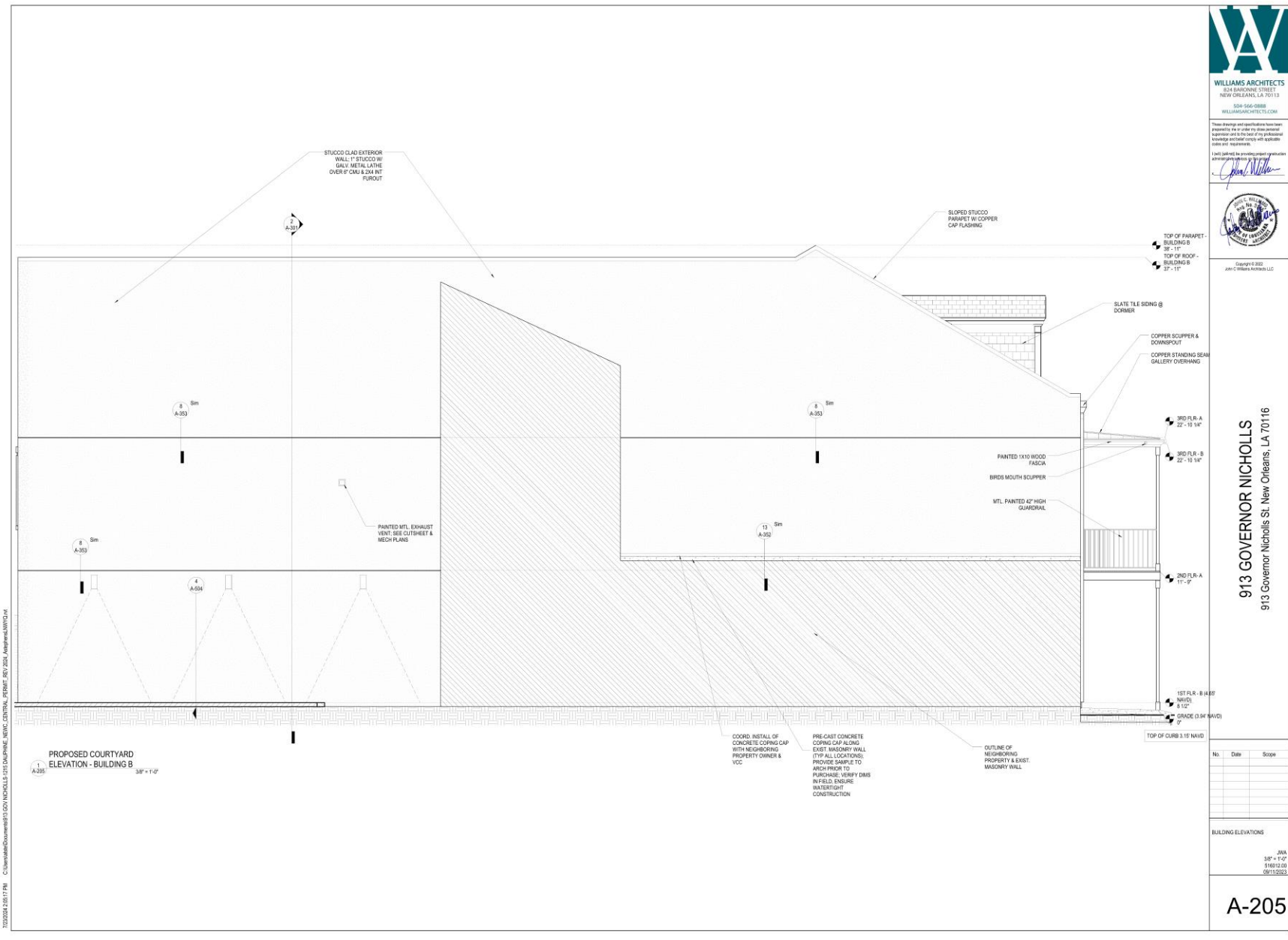
913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

A-110

No. Date Scope

JWA
 As Noted
 516112.00
 98112093





W

WILLIAMS ARCHITECTS
 814 BARDOU STREET
 NEW ORLEANS, LA 70113
 504-566-0888
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my direct supervision and I am a duly licensed professional architect and I am not providing any other services with respect to the project.

I will be held responsible for providing project information and for the accuracy of the information provided.

John C. Williams

Professional Seal: JOHN C. WILLIAMS, ARCHITECT, LICENSE NO. 10000

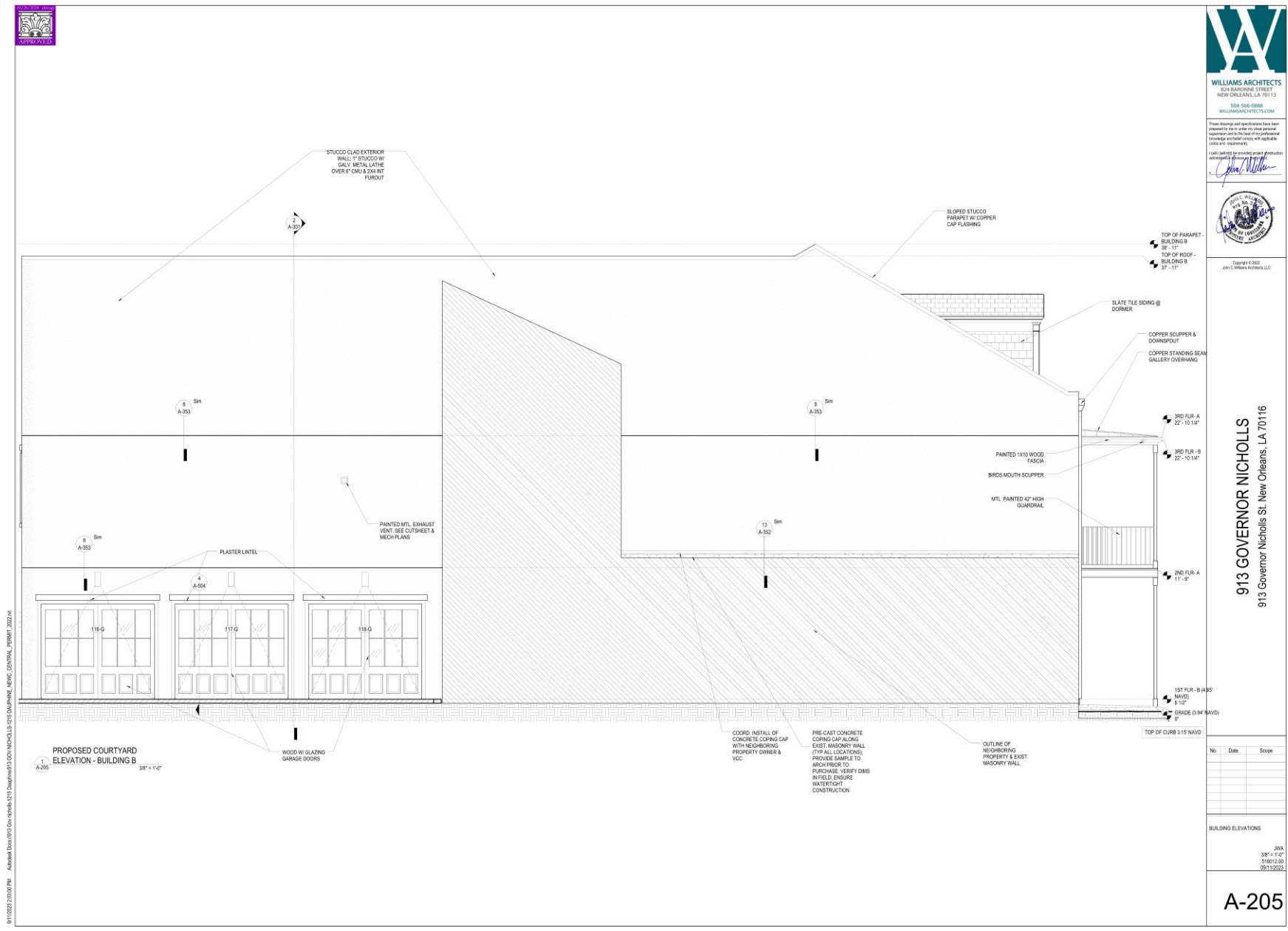
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 John C. Williams Architects LLC

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

913 Governor Nicholls – proposed
 VCC Architectural Committee

August 13, 2024





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These drawings and specifications have been prepared by the architect to the best of his professional knowledge and skill, and are not to be construed as a contract. The contractor shall be responsible for obtaining all necessary permits and for providing proper protection of adjacent property and structures.

John Williams



Owner: 9133
 JAW-C-0000-000000-0000

913 GOVERNOR NICHOLLS
 913 Governor Nicholls St. New Orleans, LA 70116

No.	Date	Scope

BUILDING ELEVATIONS

JWA
 3/8" = 1'-0"
 5/8/20
 09112023

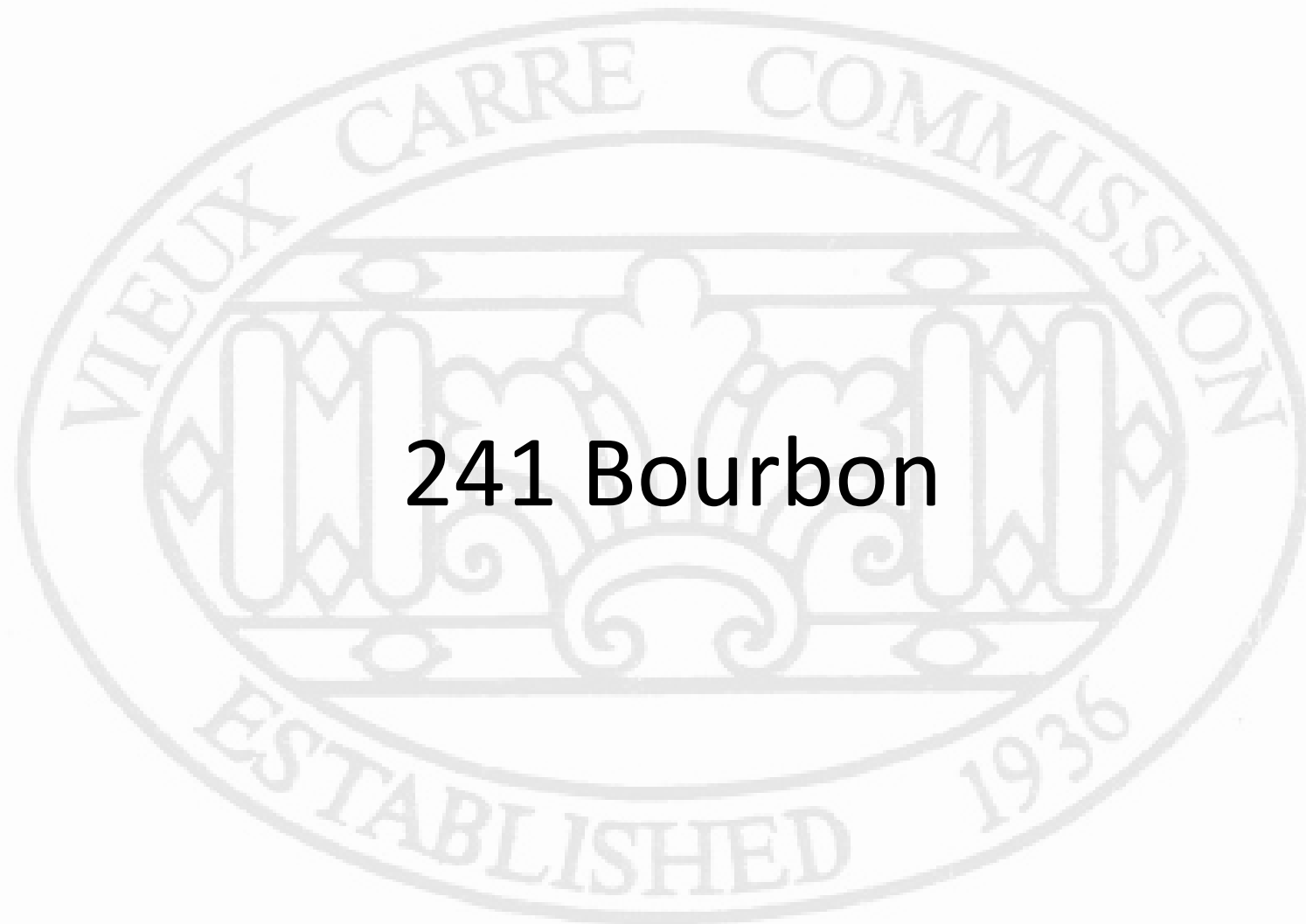
A-205

913 Governor Nicholls – previously approved Gov. Nicholls elevation

VCC Architectural Committee

August 13, 2024





241 Bourbon



235-41 Bourbon

VCC Architecture Committee

August 13, 2024





235-41 Bourbon - 1963
VCC Architecture Committee

August 13, 2024





235-41 Bourbon - 1965

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August 13, 2024





235-41 Bourbon - 1980

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August 13, 2024





235-41 Bourbon - 2008
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August 13, 2024





235-41 Bourbon

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August 13, 2024





235-41 Bourbon

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August 13, 2024





235-41 Bourbon

VCC Architecture Committee

August 13, 2024





235-41 Bourbon

VCC Architecture Committee

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August 13, 2024





235-41 Bourbon

VCC Architecture Committee

August 13, 2024





235-41 Bourbon

VCC Architecture Committee

01 29 2024

August 13, 2024





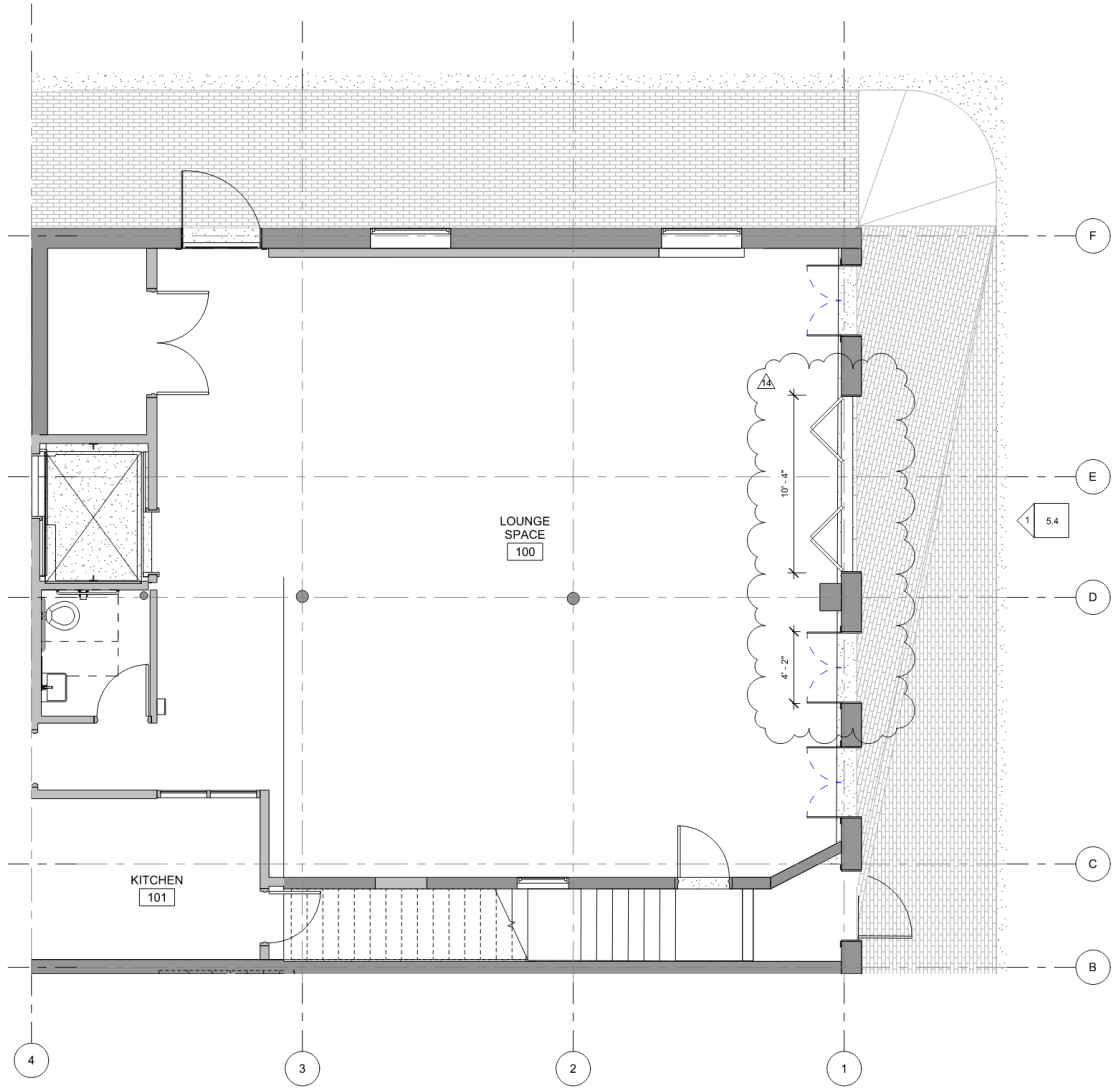
01 EAST ELEVATION - BOURBON ST.
1/4" = 1'-0"

235-41 Bourbon – Previously Approved Plans

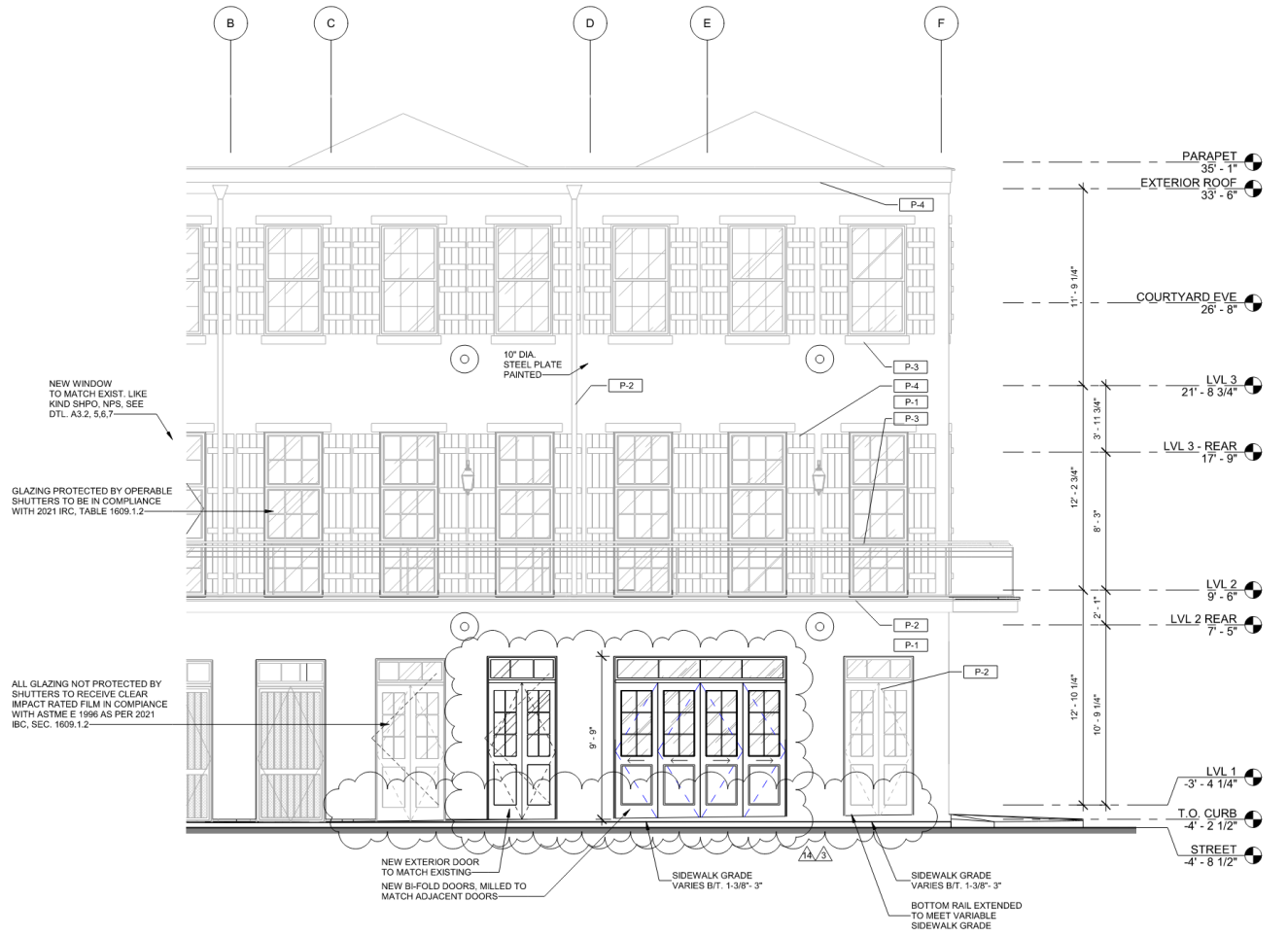
VCC Architecture Committee

August 13, 2024





② FIRST FLOOR PLAN
1/4" = 1'-0"



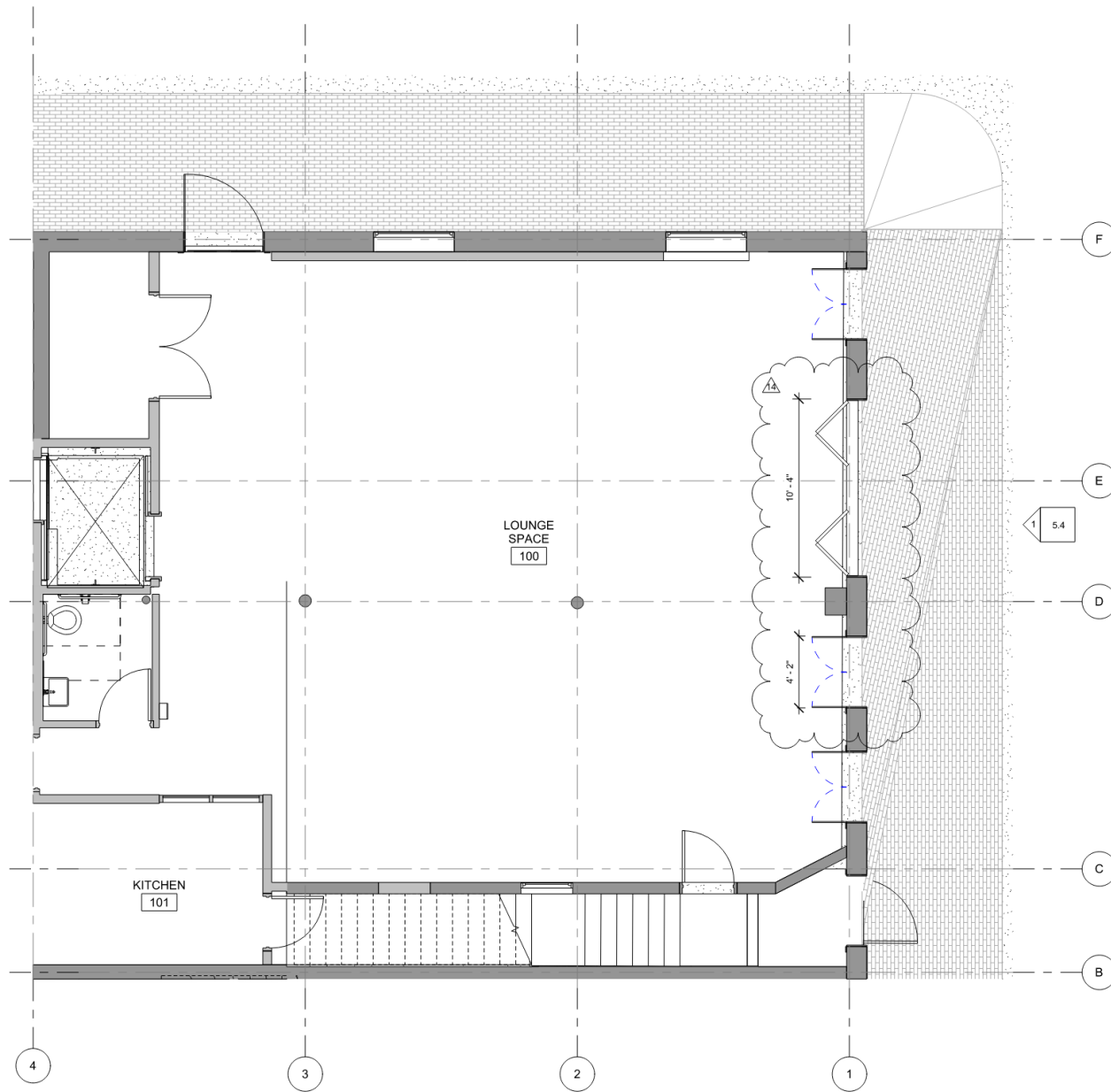
① VCC EAST ELEVATION - BOURBON ST.
1/4" = 1'-0"

235-41 Bourbon – Revised Proposal

VCC Architecture Committee

August 13, 2024





235-41 Bourbon – Revised Proposal

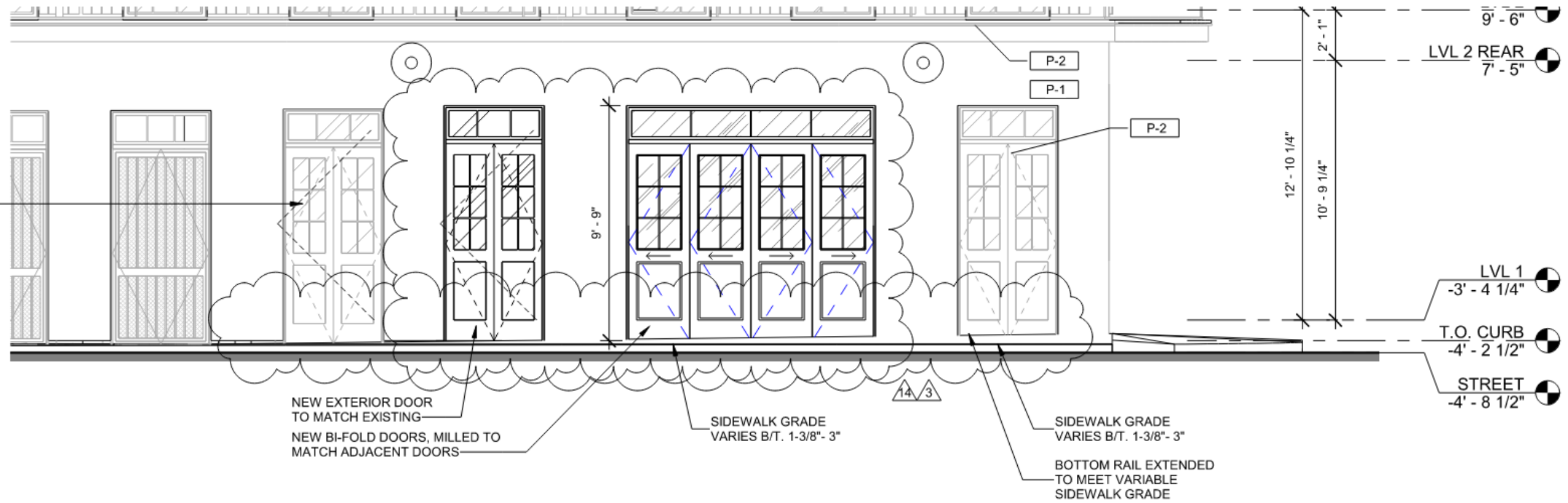
VCC Architecture Committee

② FIRST FLOOR PLAN
1/4" = 1'-0"

August 13, 2024

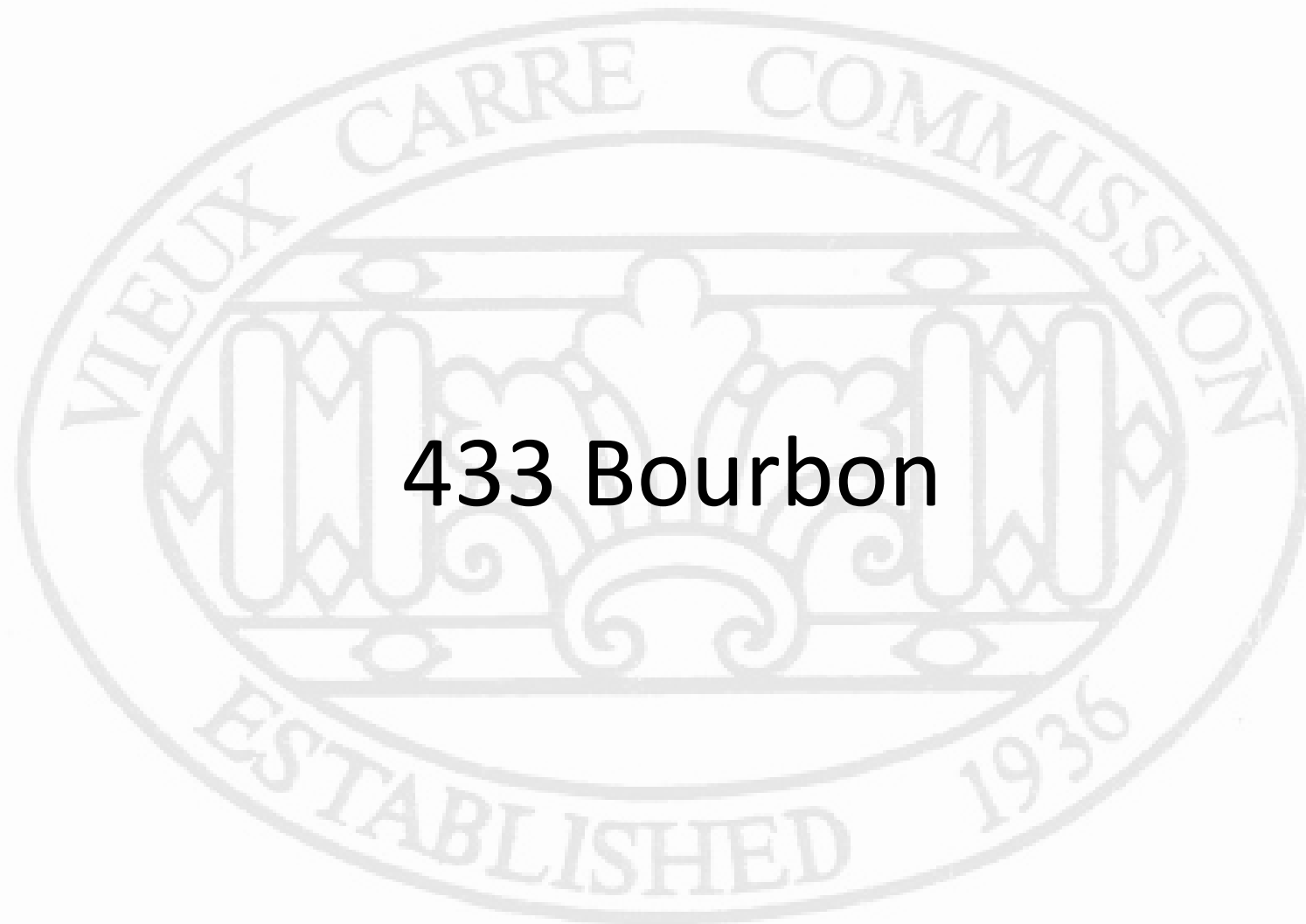


ALL GLAZING NOT PROTECTED BY SHUTTERS TO RECEIVE CLEAR IMPACT RATED FILM IN COMPLIANCE WITH ASTM E 1996 AS PER 2021 IBC, SEC. 1609.1.2



① VCC EAST ELEVATION - BOURBON ST.
1/4" = 1'-0"





433 Bourbon

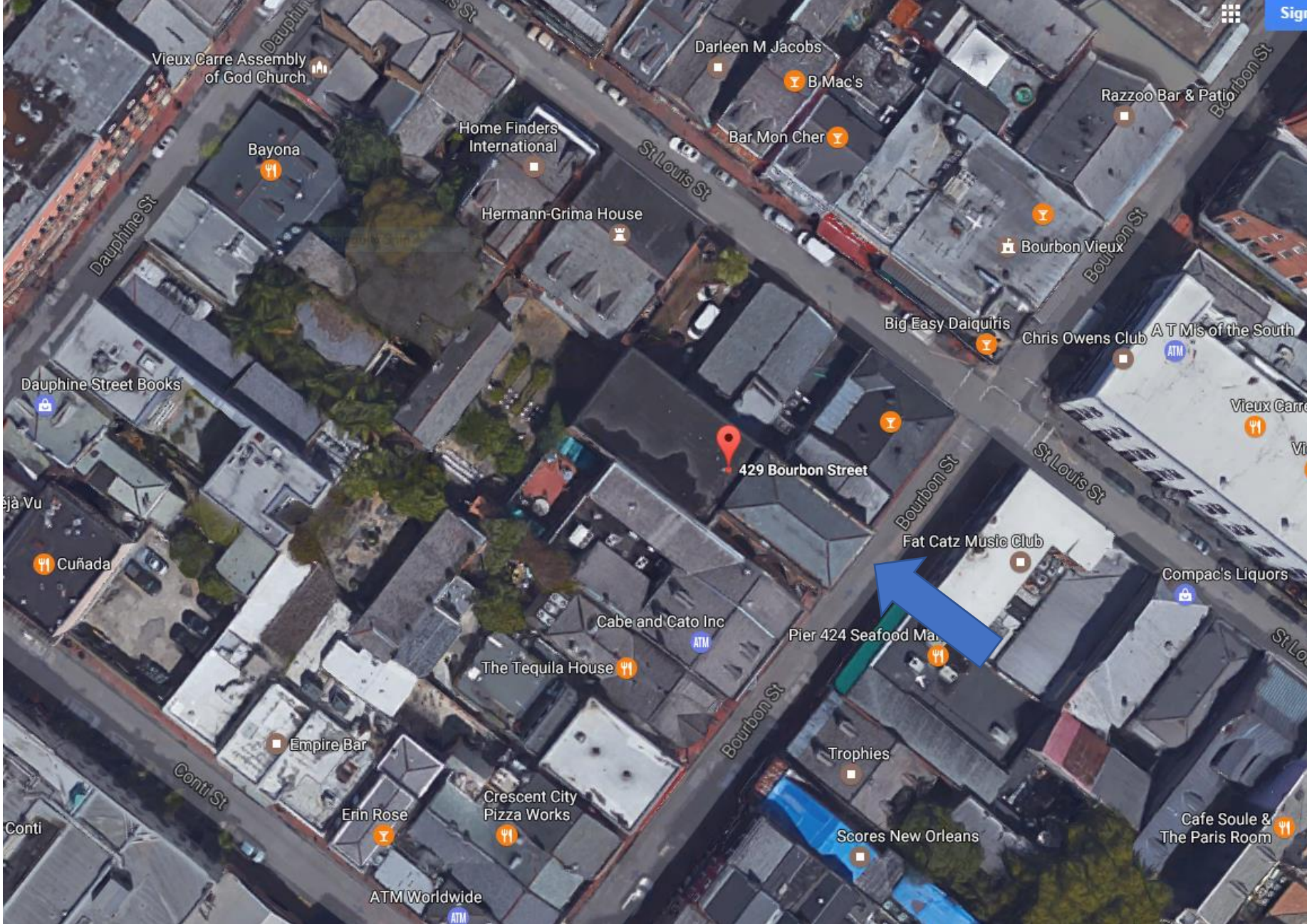
429-433 Bourbon

VCC Architectural Committee



August 13, 2024





429-433 Bourbon

VCC Architectural Committee

August 13, 2024



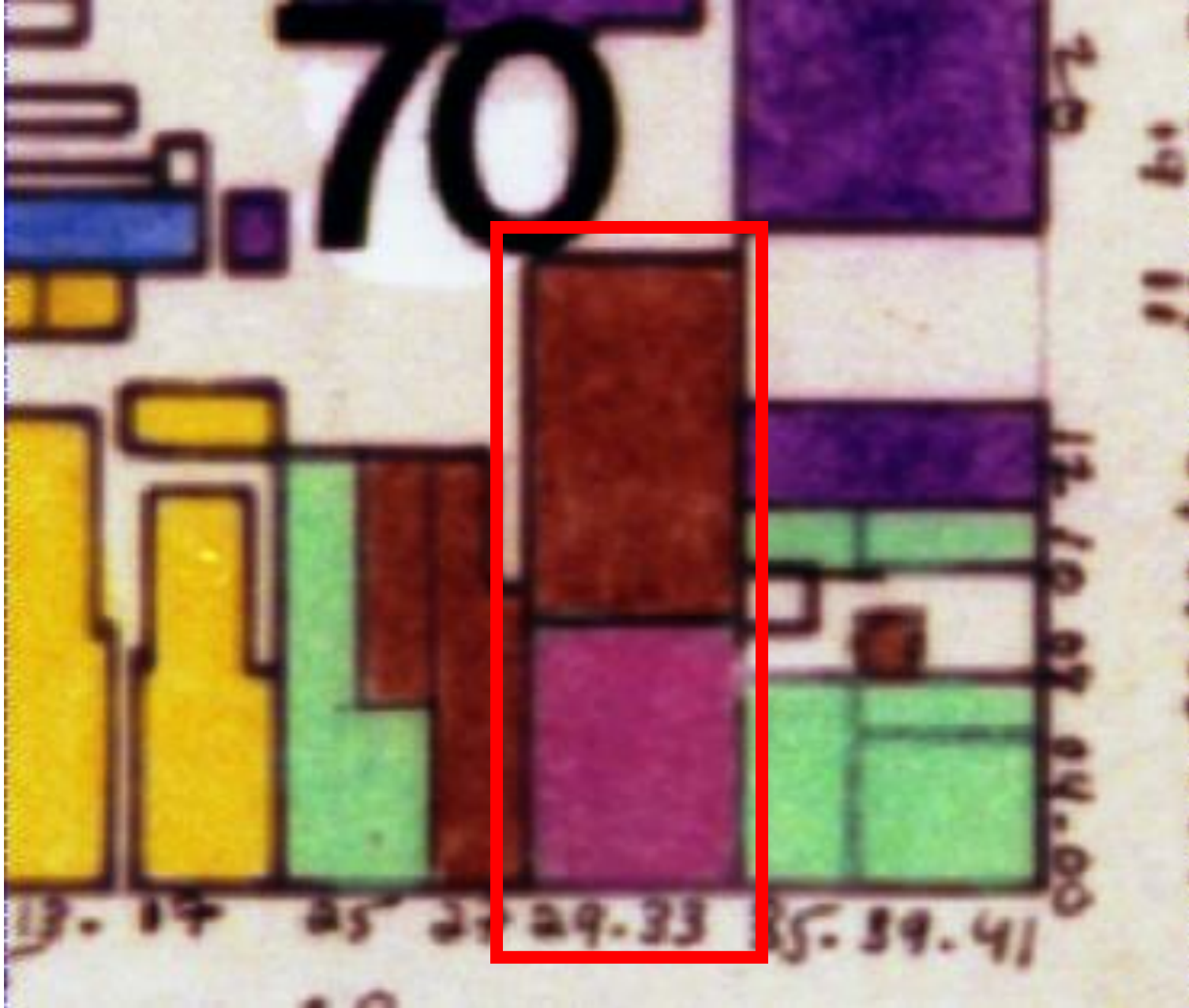


429-433 Bourbon

VCC Architectural Committee

August 13, 2024





429-433 Bourbon

VCC Architectural Committee

August 13, 2024





429-433 Bourbon

VCC Architectural Committee

August 13, 2024





429-433 Bourbon
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429-433 Bourbon
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429-433 Bourbon
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429-433 Bourbon

VCC Architectural Committee

03 11 2024

August 13, 2024





429-433 Bourbon
VCC Architectural Committee

August 13, 2024



GOOD DAY FARM

429-33 BOURBON STREET
NEW ORLEANS, LA 70130



TRICARICO ARCHITECTURE AND DESIGN PC
182 VALLEY ROAD, WAYNE, NJ 07470
973-692-0222 973-692-0223
TRICARICO.COM

DATE: AS SHOWN
PROJECT NO.: 24-NOLA
LOCATION: 429-33 BOURBON STREET, NEW ORLEANS, LA 70130
PLOT SCALE: 1/8"

ABBREVIATIONS		LOCATION MAP	
<p># AT ACROSTICAL TILE CLIP</p> <p>ADJ. ADJUSTABLE</p> <p>ALUM. ALUMINUM</p> <p>A.F.F. ABOVE FINISH FLOOR</p> <p>ARCHIT. ARCHITECT</p> <p>BR. BRICK</p> <p>BD. BOARD</p> <p>BLK. BUILDING</p> <p>BLK. BUCKLING</p> <p>BD. BOTTOM UP</p> <p>BD. BOTTOM</p> <p>C.G. CABINET</p> <p>CABINETS (CABINETS)</p> <p>C. CENTERLINE</p> <p>CL. CEILING</p> <p>CL. GLOSET</p> <p>CL. CLEAN</p> <p>CM. CONCRETE MASONRY UNIT</p> <p>COL. COLUMN</p> <p>CONC. CONCRETE</p> <p>CONTR. CONTRACTOR</p> <p>C.T. CEILING TILE</p> <p>C.H. CASH HEAP</p> <p>DET. DETAIL</p> <p>DI. DIAMETER</p> <p>DRP. DRYER</p> <p>DRP. DRESSING</p> <p>DR. DRESSING ROOM</p> <p>DR. DRAWER</p> <p>DRS. (DRAWERS)</p> <p>DN. DOWN</p> <p>DP. DRINKING FOUNTAIN</p> <p>D.O. DOOR OPENING</p> <p>DPT. DEPARTMENT</p> <p>D.S.P. DRY STAPLE</p> <p>ELEC. ELECTRICAL</p> <p>ELEV. ELEVATION</p> <p>EG. EGAL</p> <p>EGS. EXISTING</p> <p>EXT. EXTERIOR</p> <p>ENCL. ENCLOSURE</p> <p>F.A. FITTING AREA</p> <p>F.B. FINISHED BY OTHERS</p> <p>F.E.C. FIRE EXTINGUISHER CABINET</p> <p>FIN. FINISHED</p> <p>F.P. FLUSH PANEL</p> <p>F.R. FIRE RETARDANT</p> <p>FRM. FRAMED</p> <p>GA. GAUGE</p> <p>G.C. GENERAL CONTRACTOR (REFERS TO TENANT'S GENERAL CONTRACTOR UNLESS OTHERWISE NOTED)</p> <p>GYP. GYPSUM WALL BOARD</p> <p>H.W. HOLLOW METAL</p> <p>H. HOLLOW METAL</p> <p>H.H. HOLLOW METAL</p> <p>H.H.T. HOT WATER TANK</p> <p>H.R. HANG ROD</p> <p>I.D. INSIDE DIMENSION</p> <p>I.R. INSIDE RADIUS</p> <p>INT. INSTALLED BY O.C.J.</p> <p>J.B. JUNCTION BOX</p> <p>J.C. JAMBOUR'S GLOSET</p> <p>J.D. JAMBOUR'S</p> <p>K.D. KNOCK DOWN</p> <p>LEV. LEVEL</p> <p>LL. LABELLED</p> <p>LOCUS LOCATION</p> <p>MDP. MEDIUM DENSITY FIBER BOARD</p> <p>MET. METAL</p> <p>MFG. MANUFACTURER</p> <p>M.H. MIRROR</p> <p>MISC. MISCELLANEOUS</p> <p>M.R. MIRROR RESISTANT</p> <p>HT. HALL TILES</p> <p>M.K. MILLIKEN CONTRACTOR</p> <p>N/A. NOT APPLICABLE</p> <p>N.C. NOT IN CONTRACT</p> <p>NOT TO SCALE</p> <p>OP. OPPOSITE</p> <p>O.P. OVER ALL</p> <p>PAINT. PAINTWORK</p> <p>PL. PLASTIC LAMINATE</p> <p>PLV. PLV. LINING</p> <p>P.D. PAINTED</p> <p>P.O.P. POINT OF SALE</p> <p>RAD. RADIUS</p> <p>R.A. RETURN AREA</p> <p>R.B. REBER BAR</p> <p>REIN. REINFORCED / REINFORCING</p> <p>RELOC. RELOCATED</p> <p>REQ. REQUIRED</p> <p>REV. REVISED / REVISION</p> <p>RN. ROOF</p> <p>RO. ROOM OPENING</p> <p>RECESSED PANEL</p> <p>S.B.O. SUPPLIED BY OTHERS (INSTALL BY O.C.J.)</p> <p>SCHED. SCHEDULE</p> <p>SECT. SECTION</p> <p>SH. SHILAR</p> <p>S.F. SQUARE FOOT</p> <p>S.H. SHEET</p> <p>S.O.A. SAME OPPOSITE HAND</p> <p>S.P. SCORE PANEL</p> <p>S.S. STAINLESS STEEL</p> <p>SG. SQUARE</p> <p>STO. STORAGE</p> <p>STL. STEEL</p> <p>SNP. SNIPPED</p> <p>STD. STANDARD</p> <p>S.V. SHEET LEVEL</p> <p>SH. SHIPMENT</p> <p>T.B.D. TO BE DETERMINED</p> <p>TEL. TELEPHONE</p> <p>TR. TRUCK</p> <p>TENANT'S GENERAL CONTRACTOR</p> <p>T.C. TYPICAL</p> <p>T.H.F. TYPICAL</p> <p>UNCL. UNLESS OTHERWISE NOTED</p> <p>UNCL. UNLESS NOTED OTHERWISE</p> <p>V.C.T. VINYL COMPOSITION TILES</p> <p>V.F. VERIFY</p> <p>V.F.F. VERIFY IN FIELD</p> <p>VERT. VERTICAL</p> <p>V.C. VENTY CLOSET</p> <p>W.C. WOOD</p> <p>W.F. WOOD FLOOR CONTRACTOR</p> <p>W.D. WITHIN</p>			

PROJECT DIRECTORY	
<p>PROJECT: GOOD DAY FARM 429-33 BOURBON STREET NEW ORLEANS, LA 70130</p> <p>CLIENT/TENANT: LEH REHMAN TEL: 65-417-1193 EMAIL: lehman@gooddayfarm.com</p> <p>ARCHITECT: TRICARICO ARCHITECTURE AND DESIGN PC 102 VALLEY ROAD WAYNE, NJ 07470</p> <p>BILL MATERIALS: VICE PRESIDENT / ARCHITECTURE TEL: 973-692-0222 (M-F) EMAIL: btricarico@tricarico.com</p> <p>GENERAL CONTRACTOR: M.E.P. ENGINEERS 1600 BOB CORNWAY DRIVE SUITE 400 CORNWAY, NJ 07032</p> <p>MEP: PRINCIPAL ENGINEER TEL: 478-434-0922 EMAIL: mep@mepelectrical.com</p>	<p>PROJECT DESCRIPTION: RENOVATION OF AN EXISTING BUILDING INTO NEW PHARMACY SPACE.</p> <p>SCOPE OF WORK: RENOVATION OF AN EXISTING BUILDING INTO NEW PHARMACY SPACE. SCOPE OF WORK INVOLVES NEW INTERIOR BUILD-OUT INCLUDING PARTITION WALLS, CEILING FIXTURES, MILLWORK, NEW ADA RESTROOMS AND ALL ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING WORK, NEW ELEVATOR, AND NEW STAIRS.</p> <p>BUILDING DATA: TOTAL GROSS AREA: (1) 1ST FLOOR (2) 2ND FLOOR (3) 3RD FLOOR (4) 1/2ND FLOOR</p> <p>BUILDING HEIGHT: 4 STORES</p>
<p>BUILDING CODE DATA:</p> <p>CODES (INCLUDING LOCAL AMENDMENTS):</p> <ol style="list-style-type: none"> BUILDING 2022 INTERNATIONAL BUILDING CODE (NOT INCLUDING CHAPTER 11, AND 21) ELECTRIC 2020 NATIONAL ELECTRICAL CODE (NFPA 70) FIRE 2020 INTERNATIONAL FIRE CODE (NFPA 101) FIRE 2020 NATIONAL FIRE PREVENTION CODE (NFPA 1) MECHANICAL 2020 INTERNATIONAL MECHANICAL CODE PLUMBING 2020 INTERNATIONAL PLUMBING CODE ACCESSIBILITY 2010 ADA STANDARDS 	<p>ZONING DATA:</p> <p>ZONING: VCE</p> <p>MAXIMUM HEIGHT: 50'</p> <p>MAXIMUM FLOOR AREA: 20,000 SQ. FT.</p> <p>PERMITTED USES: RETAIL, BAR, LIVE ENTERTAINMENT, SHORT TERM RESIDENCE.</p> <p>LEGAL DESCRIPTION: AS TO LOT 6 OF "X" 1/2"</p>

PROJECT DESCRIPTION		DRAWING LIST																																																						
<p>NAME OF PROJECT: GOOD DAY FARM 429-33 BOURBON STREET NEW ORLEANS, LA 70130</p> <p>PROPOSED USE: RETAIL GROUP "Y" MERCANTILE</p> <p>DESCRIPTION (SCOPE OF WORK): RENOVATION OF AN EXISTING BUILDING INTO NEW PHARMACY SPACE.</p> <p>SCOPE OF WORK: RENOVATION OF AN EXISTING BUILDING INTO NEW PHARMACY SPACE. SCOPE OF WORK INVOLVES NEW INTERIOR BUILD-OUT INCLUDING PARTITION WALLS, CEILING FIXTURES, MILLWORK, NEW ADA RESTROOMS AND ALL ASSOCIATED MECHANICAL, ELECTRICAL, AND PLUMBING WORK, NEW ELEVATOR, AND NEW STAIRS.</p> <p>BUILDING DATA: TOTAL GROSS AREA: (1) 1ST FLOOR (2) 2ND FLOOR (3) 3RD FLOOR (4) 1/2ND FLOOR</p> <p>BUILDING HEIGHT: 4 STORES</p>	<p>ISSUES AND REVISIONS:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>07.03.24</td> <td>VCE REVIEW</td> </tr> <tr> <td>07.30.24</td> <td>VCE REVIEW</td> </tr> <tr> <td>08.09.24</td> <td>VCE REVIEW</td> </tr> </tbody> </table>	DATE	ISSUE	07.03.24	VCE REVIEW	07.30.24	VCE REVIEW	08.09.24	VCE REVIEW	<p>SHEET NUMBER: T1.1</p> <p>SHEET TITLE: TITLE SHEET</p> <p>ARCHITECTURAL:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>TITLE</th> <th>DATE</th> <th>BY</th> <th>CHKD.</th> </tr> </thead> <tbody> <tr> <td>T1</td> <td>TITLE SHEET</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A1</td> <td>FIRST FLOOR PLAN</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A2</td> <td>SECOND FLOOR PLAN</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A3</td> <td>THIRD FLOOR PLAN</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A2.1</td> <td>REFLECTED CEILING PLAN - FIRST FLOOR</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A2.2</td> <td>REFLECTED CEILING PLAN - SECOND FLOOR</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A2.3</td> <td>REFLECTED CEILING PLAN - THIRD FLOOR</td> <td></td> <td></td> <td></td> </tr> <tr> <td>A10</td> <td>EXTERIOR ELEVATIONS</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	TITLE	DATE	BY	CHKD.	T1	TITLE SHEET				A1	FIRST FLOOR PLAN				A2	SECOND FLOOR PLAN				A3	THIRD FLOOR PLAN				A2.1	REFLECTED CEILING PLAN - FIRST FLOOR				A2.2	REFLECTED CEILING PLAN - SECOND FLOOR				A2.3	REFLECTED CEILING PLAN - THIRD FLOOR				A10	EXTERIOR ELEVATIONS				<p>DATE: 07.03.24</p> <p>ISSUE: VCE REVIEW</p> <p>DATE: 07.30.24</p> <p>ISSUE: VCE REVIEW</p> <p>DATE: 08.09.24</p> <p>ISSUE: VCE REVIEW</p>
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DRAWING LIST	
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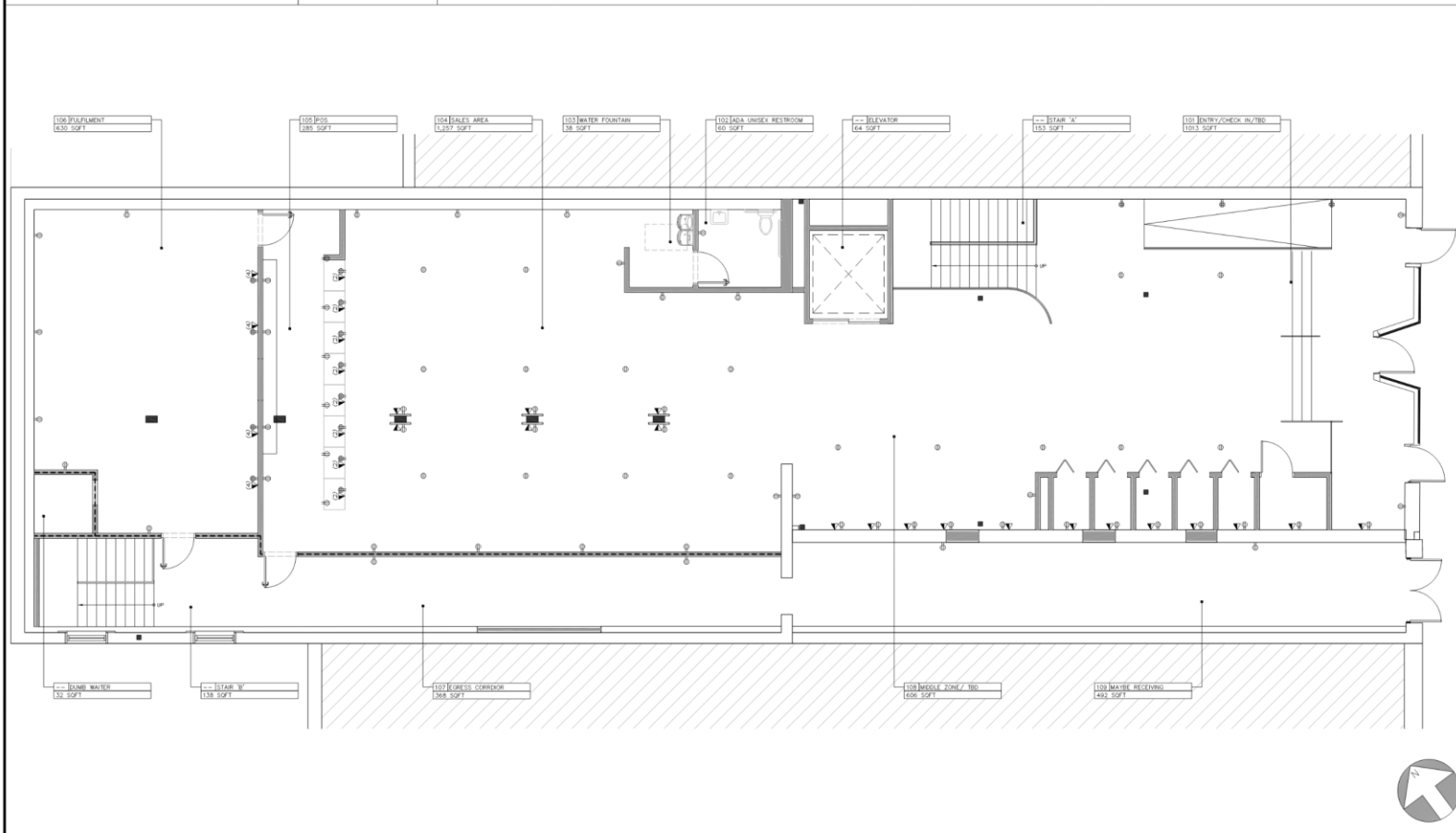


DATE: AS SHOWN
PROJECT NO.: 24-NOLA

- GENERAL NOTES**
1. LOCATION OF POWER AT MILLIKIN TO BE COORDINATED WITH APPROVED MILLIKIN SHOP DRAWINGS.
 2. OUTLETS AT CEILING FOR LIGHT FIXTURE, LIGHT COVES AND SPECIAL SYSTEM DEVICES TO BE COORDINATED WITH RCP.
 3. OUTLETS FOR EXTERIOR FACADE SIGNAGE TO BE VERIFIED WITH SIGNAGE VENDOR AND CLIENT.
 4. LCD VIDEO REQUIREMENTS (VIDEO STANDARD, DVD PLAYERS, IMAGE SPLITTING SYSTEMS ETC.) TO BE VERIFIED WITH CLIENT AND MANUFACTURER.
 5. TYPE AND COLOR OF SOCKETS AND SWITCHES LOCATED IN SALES AREA TO BE SUBMITTED TO ARCHITECT FOR APPROVAL.

POWER LEGEND

SYMBOL	DESCRIPTION
	DUPLEX
	QUADPLEX
	FLOOR DUPLEX RECEPTACLE
	TELEPHONE/DATA OUTLET



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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THE GENERAL CONTRACTOR PROVIDES ALL SUB-CONTRACTORS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DATE	ISSUE
07.03.24	VCE REVIEW
07.30.24	VCE REVIEW
08.09.24	VCE REVIEW

DATE: NO. REVISIONS / BY:

GOOD DAY FARM

LOCATION:
429-33 BOURBON STREET
NEW ORLEANS, LA 70130

PROJECT NO.: 24-NOLA DRAWN BY: RAL

SCALE: AS SHOWN CHECKED BY: GJC

DATE: 07.03.24 THESE DRAWINGS ARE THE PROPERTY OF N.J. TRICARICO ARCHITECT

NICHOLAS J. TRICARICO
ARCHITECT
TRICARICO ARCHITECTURE
AND DESIGN PC

FIRST FLOOR PLAN

DRAWING NO.: A1.1

PRINT REGISTRATION NO.: A00400

SEAL SEAL

LOCATION: 429-33 BOURBON STREET, NEW ORLEANS, LA 70130

PROJECT: GOOD DAY FARM

PLOT SCALE: 1/1

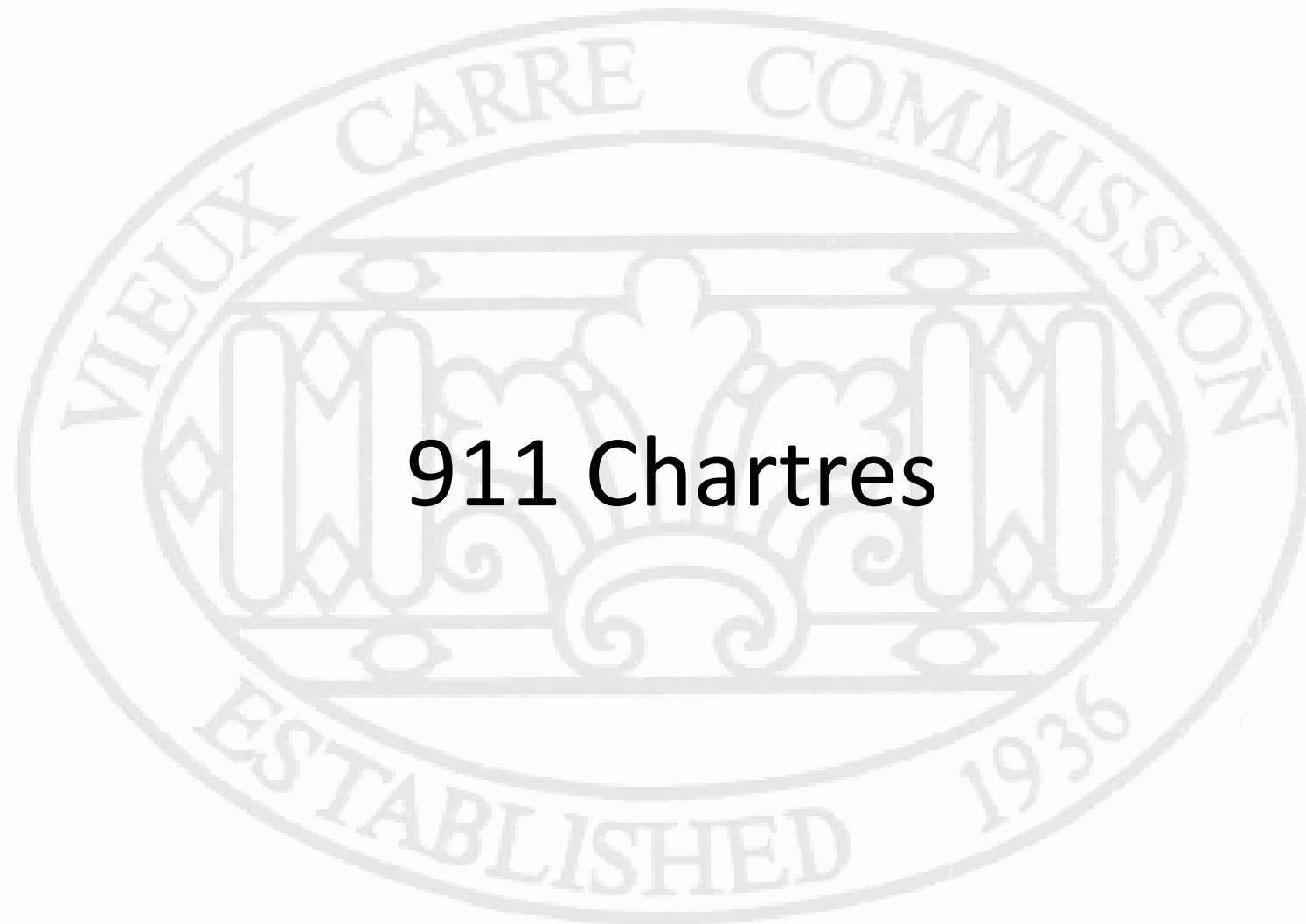


429-433 Bourbon
VCC Architectural Committee

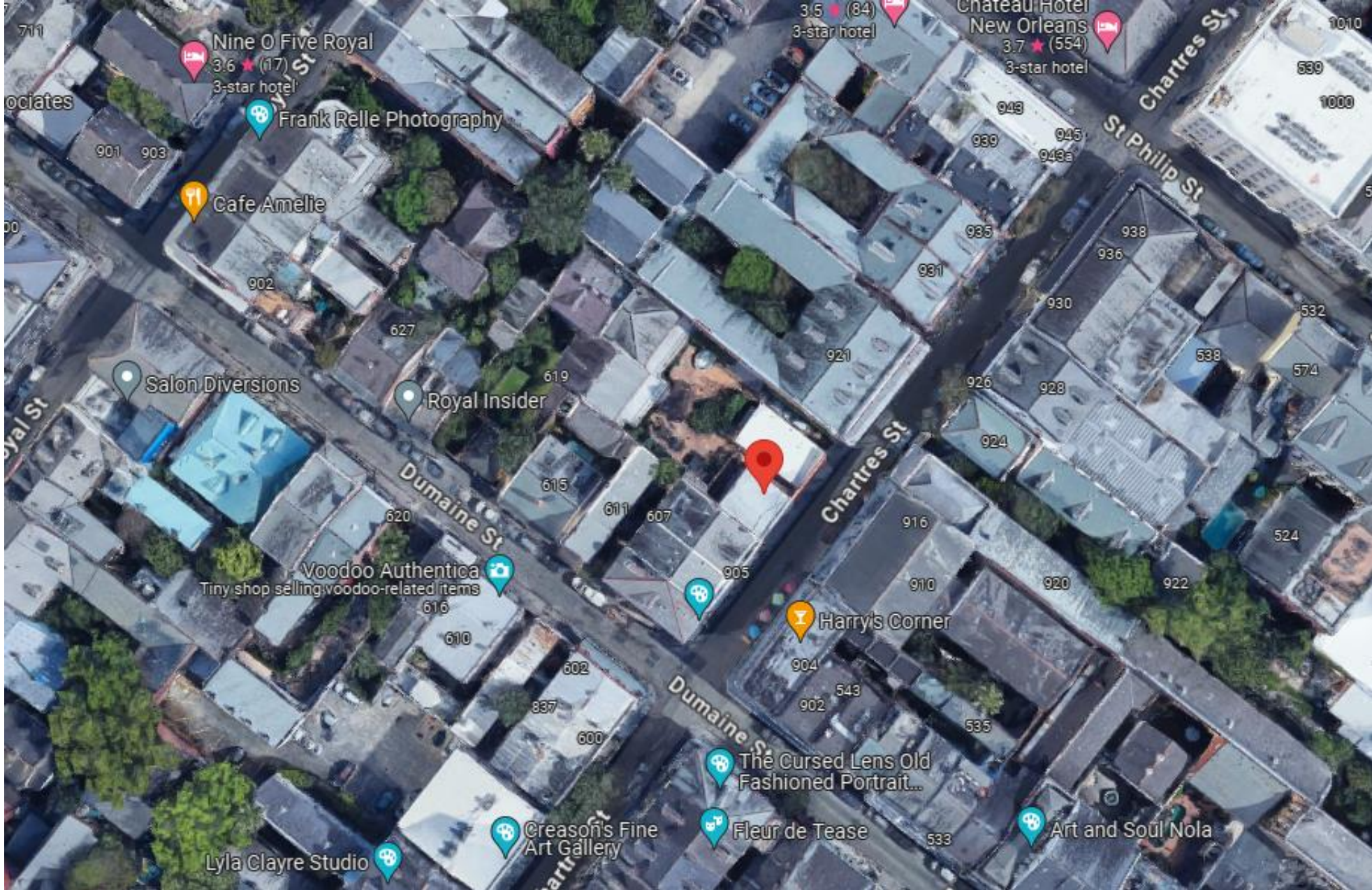
August 13, 2024



New Business



911 Chartres



911 Chartres

VCC Architecture Committee

August 13, 2024





911 Chartres

VCC Architecture Committ

at 13, 2024





911 Chartres

VCC Architecture Committee

August 13, 2024





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August 13, 2024





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VCC Architecture Committee

03/10/2014

August 13, 2024





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03/10/2014

August 13, 2024





03/10/2014

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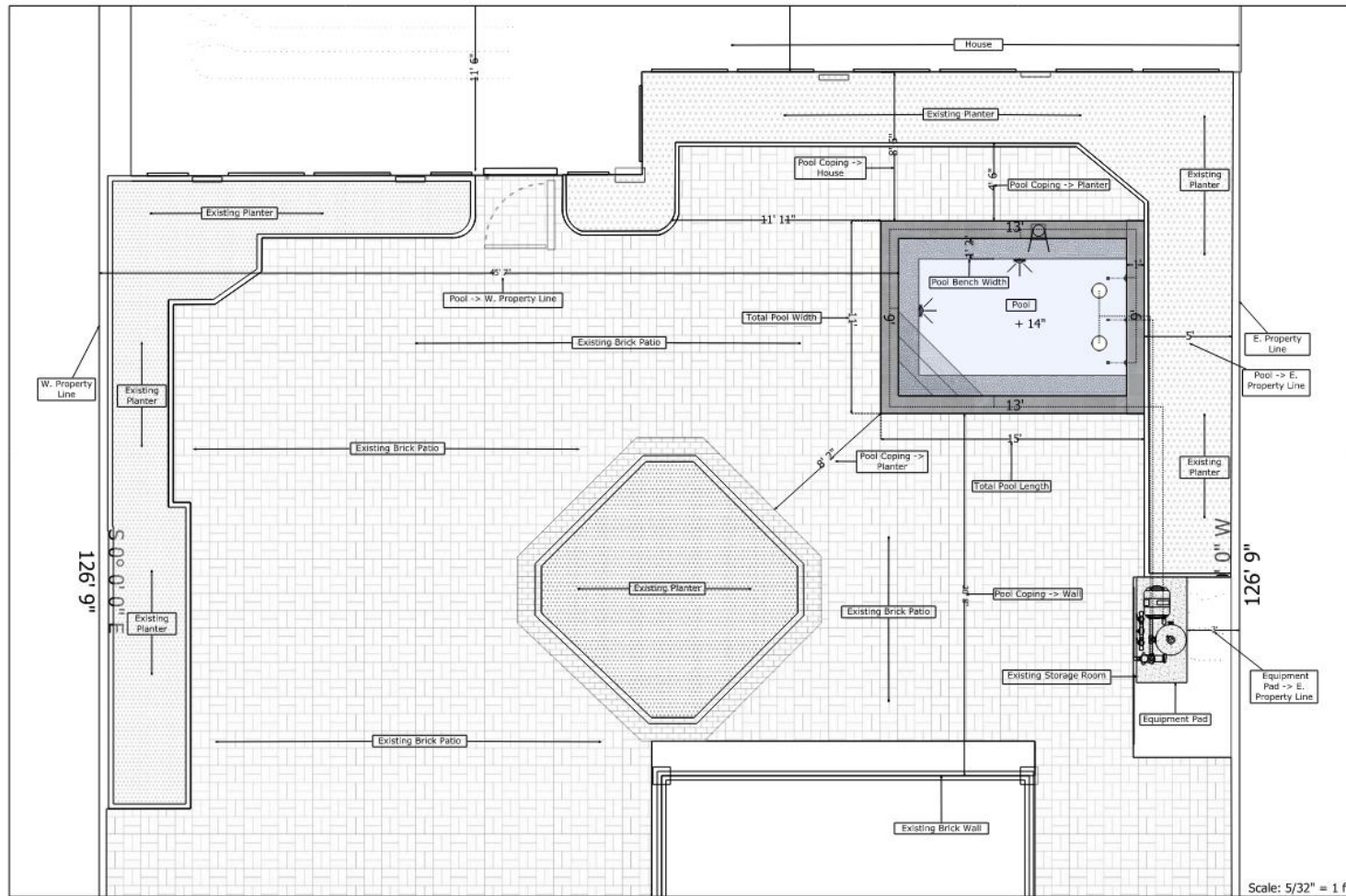
911 Chartres

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07 15 2024

August 13, 2024





Equipment	
Equipment	Description
	1-1/2" Jandy RGBW WaterColors LED Light 120V
	10" Anti Entrapment Drain
	2" Hayward FPT White Auto-Skim Inground Skimmer
	2" Schedule 40" PVC 2-Way Check Valves
	Gray
	Jandy 340 SqFt Cartridge Filter System
	Jandy JX1™ Natural Gas Low-NOx Heater 400K BTU
	Jandy VS FloPro™ VS Pump 1.85HP 115/230V

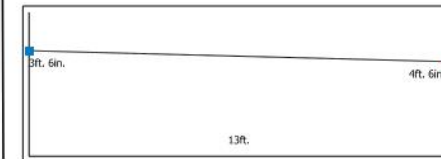


Contractor: Louisiana Land Art LLC
 Designer : Tony Giraud
 License #: 74826

Project Name: 913 Chartres St. Pool
 Owner: Steve Schmidt
 Address: 913 Chartres St.
 City: New Orleans
 State/Province: LA
 Zip/Postal Code: 70116
 Block: 48
 Subdivision: Vieux Carré Residential
 Lot #: 1

Perimeter: 15 x 11
 Water Line: 13 x 9
 Depth: 3' 6" - 4' 6"
 Drains: (2) 10"
 Interior Finish: DiamondBrite Quartzite [Cobalt]
 Coping: 3.5 CM 12" x 18" Pennsylvania Bluestone
 Lights: (2) 1 1/2" Jandy RGBW LEDs
 Pool Tile Material: 6" x 12" Slate Tile in Ash Gray

Depth Profile



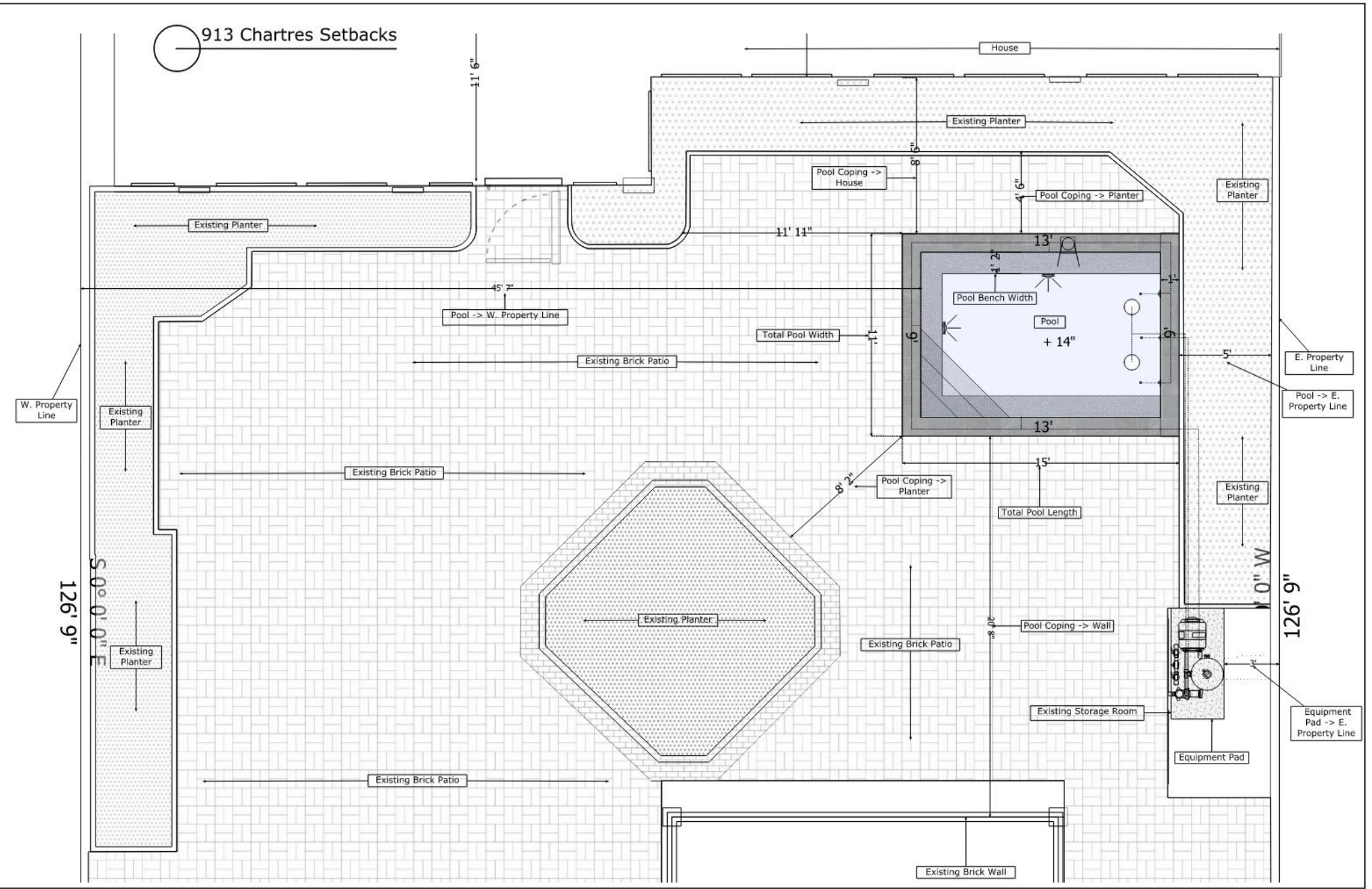
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913 Chartres Setbacks



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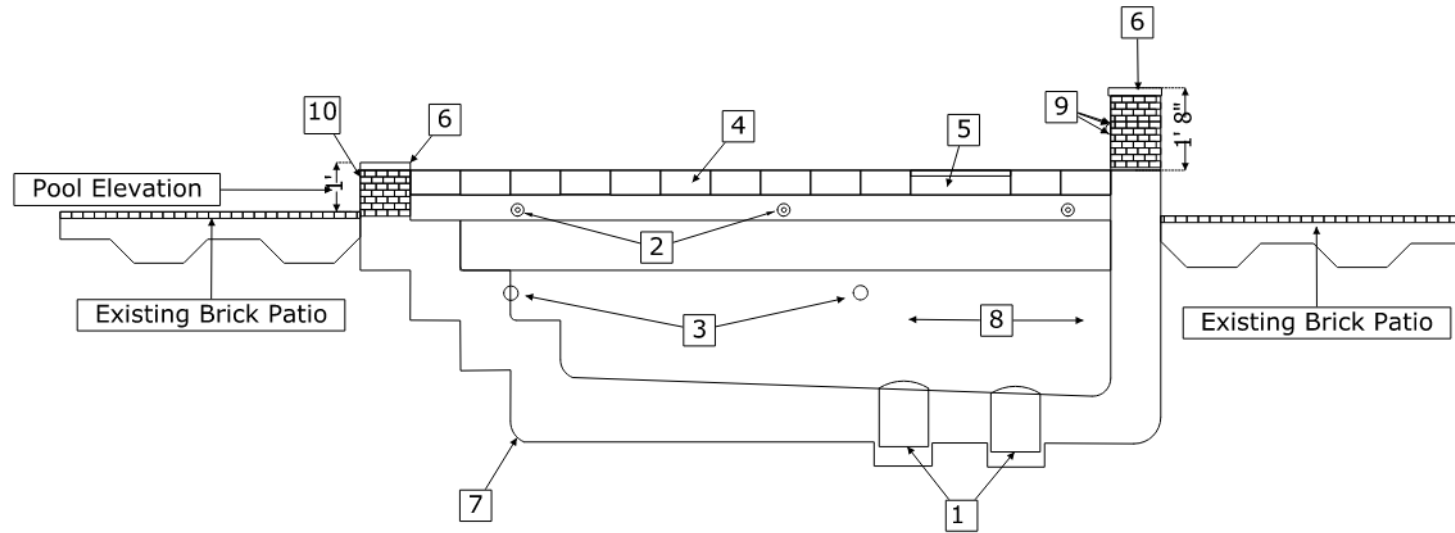
August 13, 2024



Pool Cross Section

Cross Section Detail

- 1 ANSI/APSP APPROVED ANTI-ENTRAPMENT MAIN DRAIN COVER WITH SUMP, GRAY COVER
- 2 3/4" ADJUSTABLE EYEBALL RETURN INLET FITTINGS.
- 3 JANDY 1 1/2" RGBW UNDERWATER LED NICHELESS POOL LIGHTS
- 4 6" x 12" SLATE WATERLINE TILE IN ASH GRAY COLOR (7 ON THE MUNSELL SCALE).
- 5 RECESSED AUTOMATIC SURFACE SKIMMER
- 6 3.5 CM 12" x 24" PENNSYLVANIA BLUESTONE COPING.
- 7 12" GUNNITE GUNITE SHELL REINFORCED WITH #4 REBAR ON 10" CENTERS
- 8 QUARTSCAPE PLASTER IN COBALT COLOR ON POOL WALL, BENCH, AND FLOOR
- 9 BRICK ACCENT WALL WITH CASCADING WATER FEATURE & SCONE, BRICK TO MATCH EXISTING COURTYARD.
- 10 BRICK LINED POOL RETAINING WALL > BRICK TO MATCH EXISTING COURTYARD



Owner: Steve Schmidt
 Address: 913 Chartres St
 City: New Orleans
 State: LA
 Zip: 70116

911 Chartres

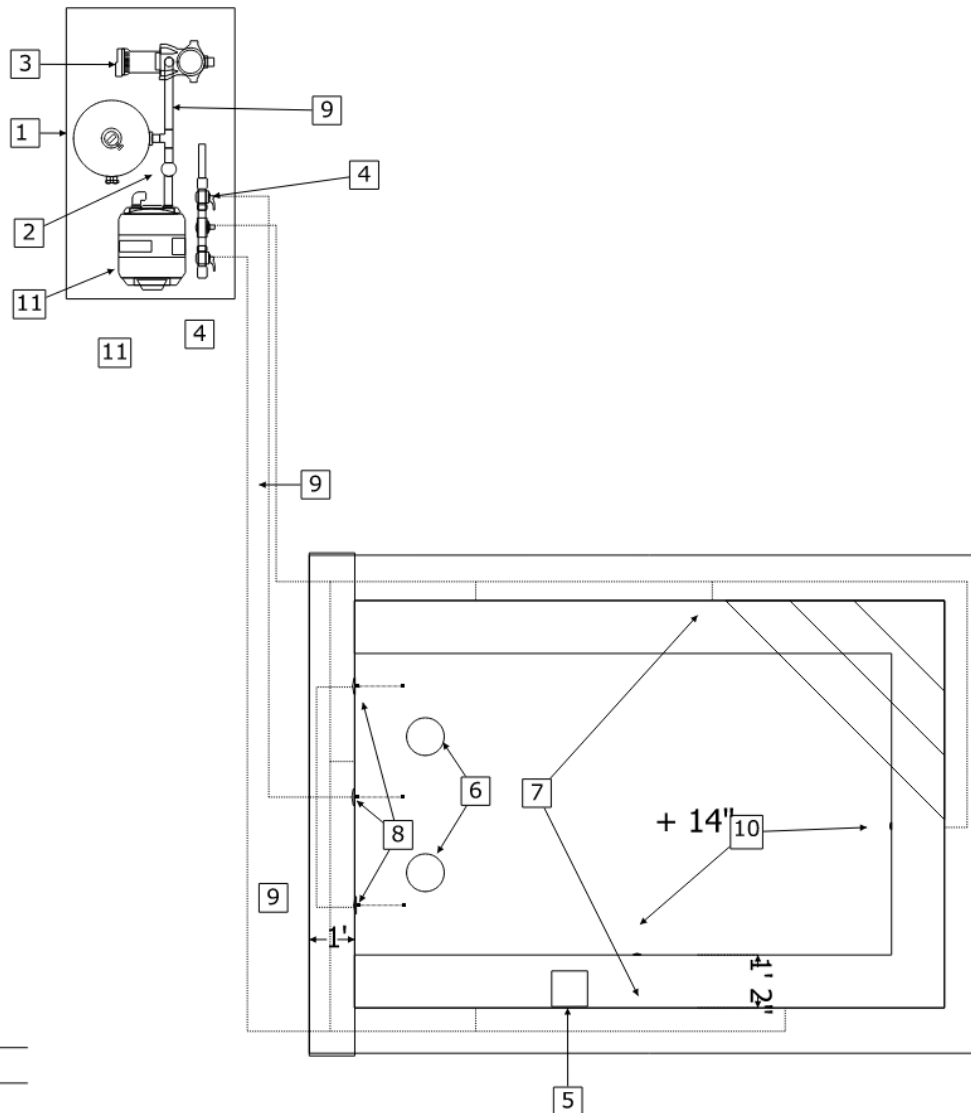
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Plumbing Schematic

- 1 JANDY CV 340 CARTRIDGE FILTER
- 2 JANDY 2" IN - LINE CHLORINATOR
- 3 JANDY 1.85 HP VARIABLE SPEED PUMP
- 4 2" CHECK VALVE
- 5 SKIMMER
- 6 MAIN POOL DRAIN
- 7 POOL RETURNS
- 8 WATER FEATURE
- 9 2" SCHEDULE 40 PVC
- 10 JANDY 1 1/2" RGBW UNDERWATER LED NICHELESS POOL LIGHTS
- 11 JANDY 400k BTU LOW NOX NATURAL GAS HEATER



Owner: Steve Schmidt
 Address: 913 Chartres St
 City: New Orleans
 State: LA
 Zip: 70116





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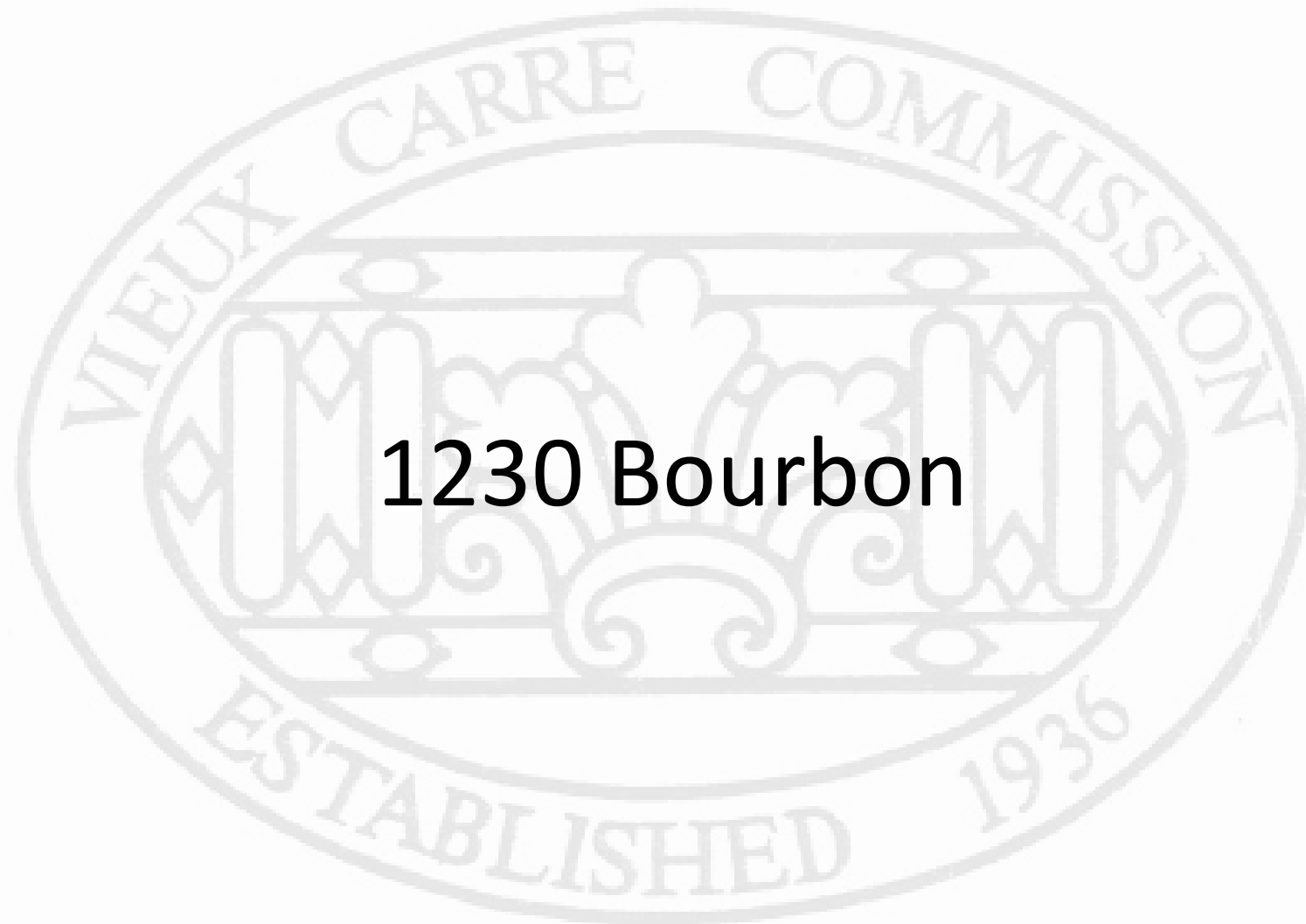


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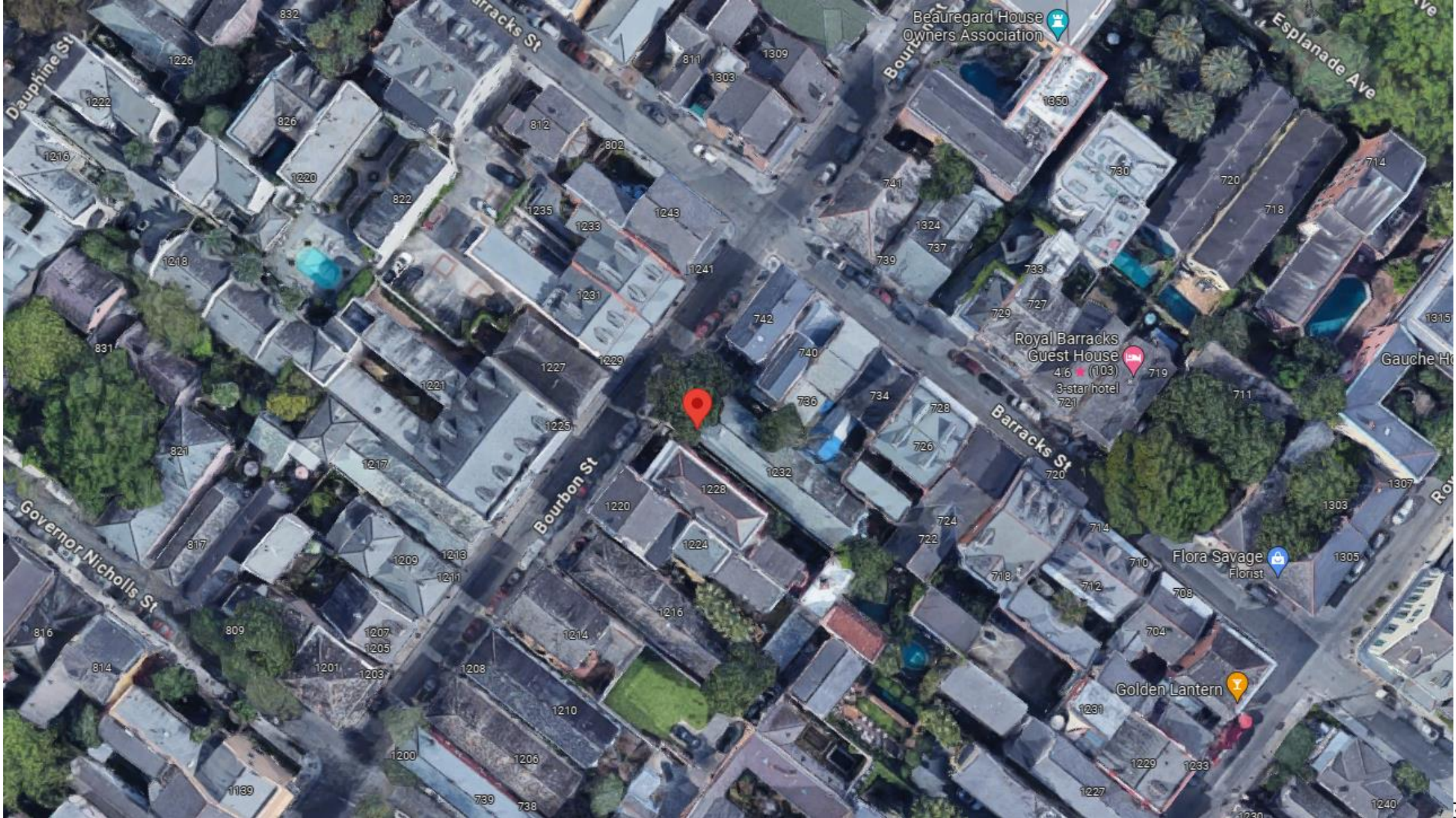
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1230 Bourbon



1230 Bourbon St.

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August 13, 2024





1230 Bourbon St.

VCC Architecture Committee

August 13, 2024





1230 Bourbon St.

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August 13, 2024





1230 Bourbon St.

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August 13, 2024





1230 Bourbon St.

VCC Architecture Committee

07 19 2021

August 13, 2024





1230 Bourbon St.

VCC Architecture Committee

07 19 2021

August 13, 2024





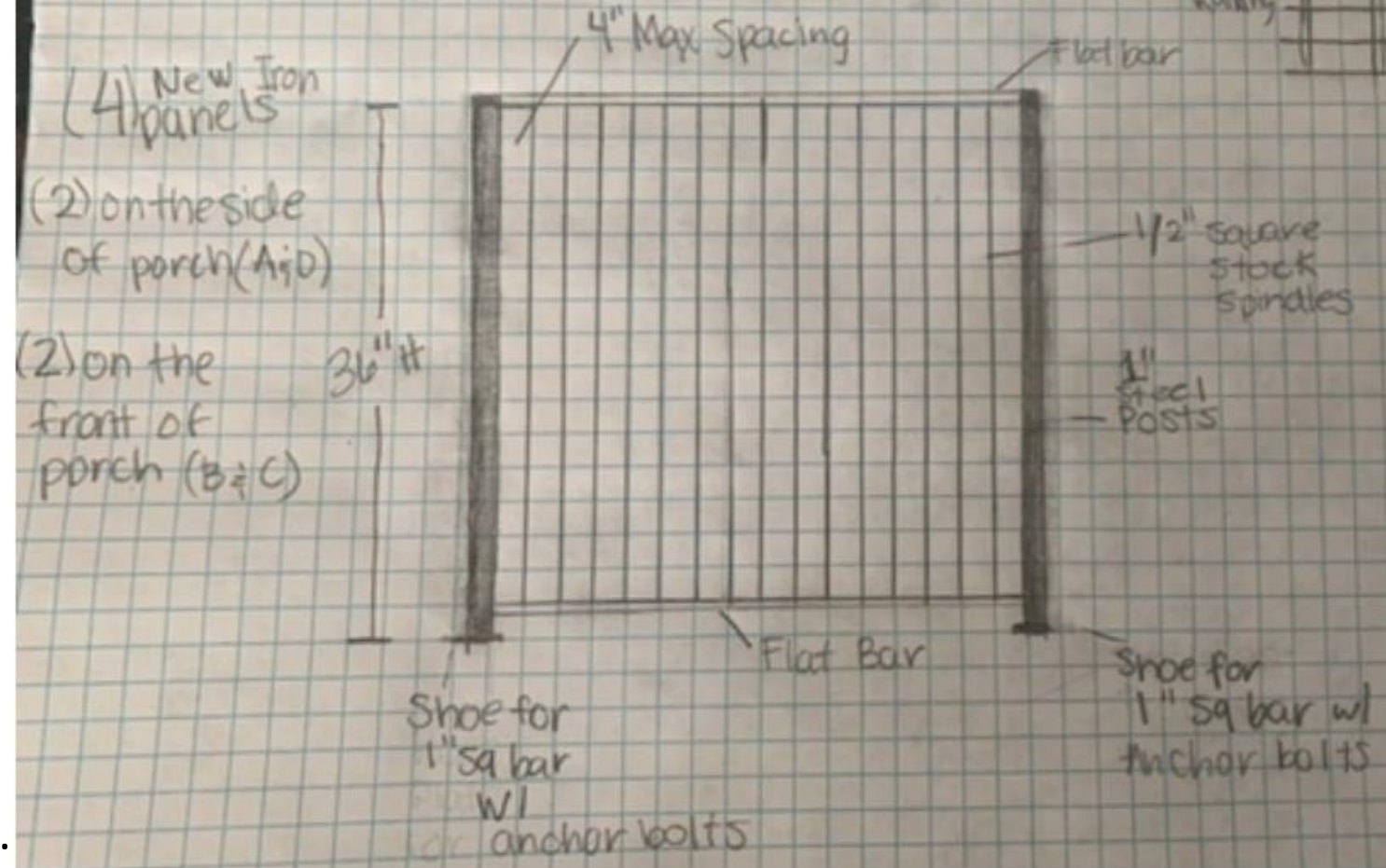
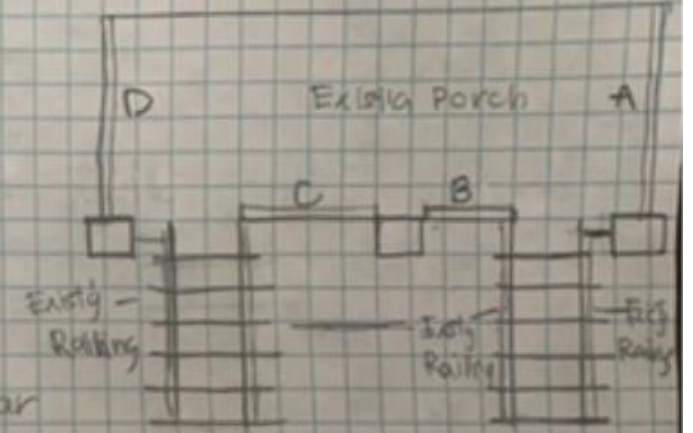
1230 Bourbon St.

VCC Architecture Committee

August 13, 2024



Condo Association
 1230 Bourbon New Orleans
 LA, 70116

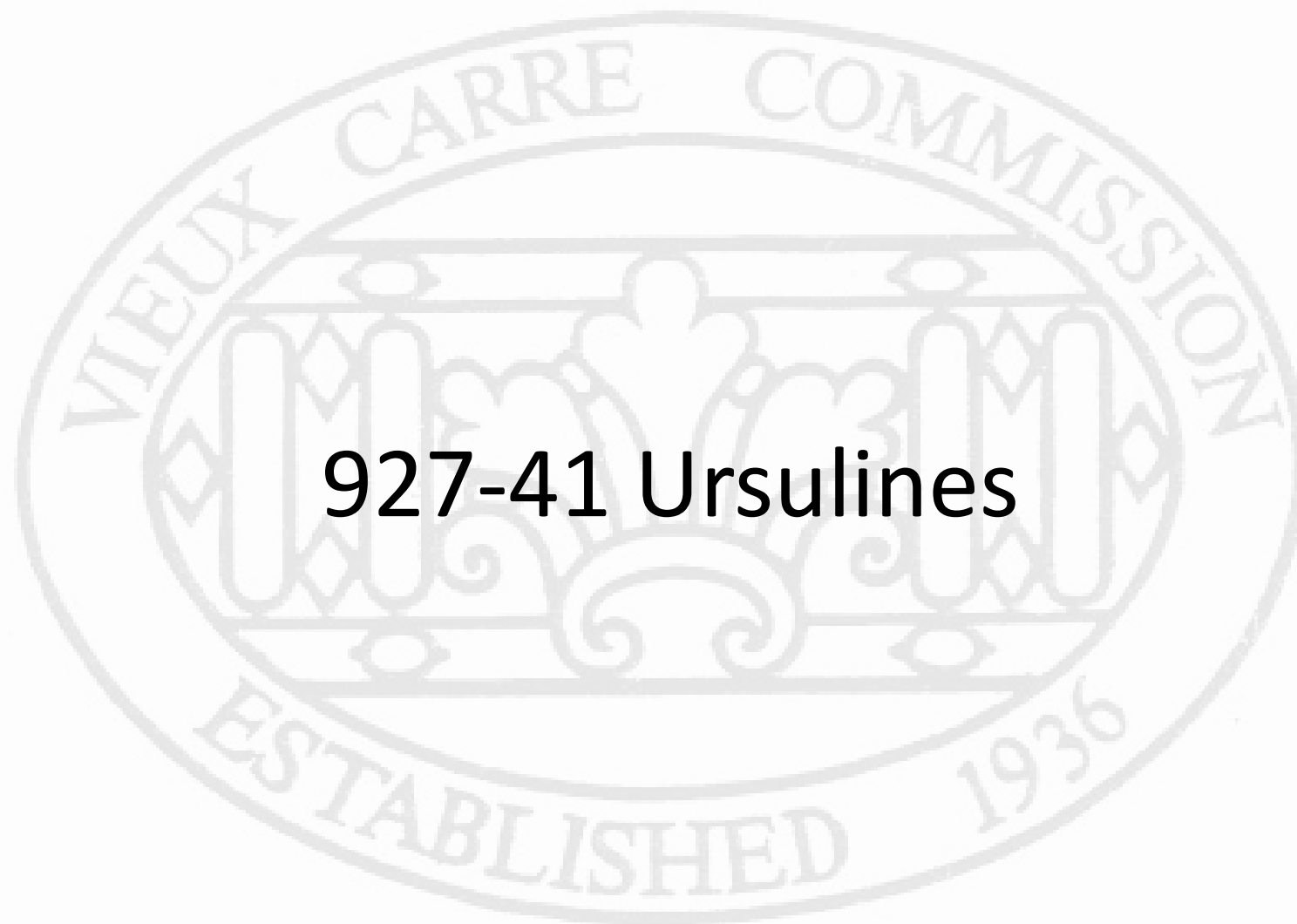


1230 Bourbon St.

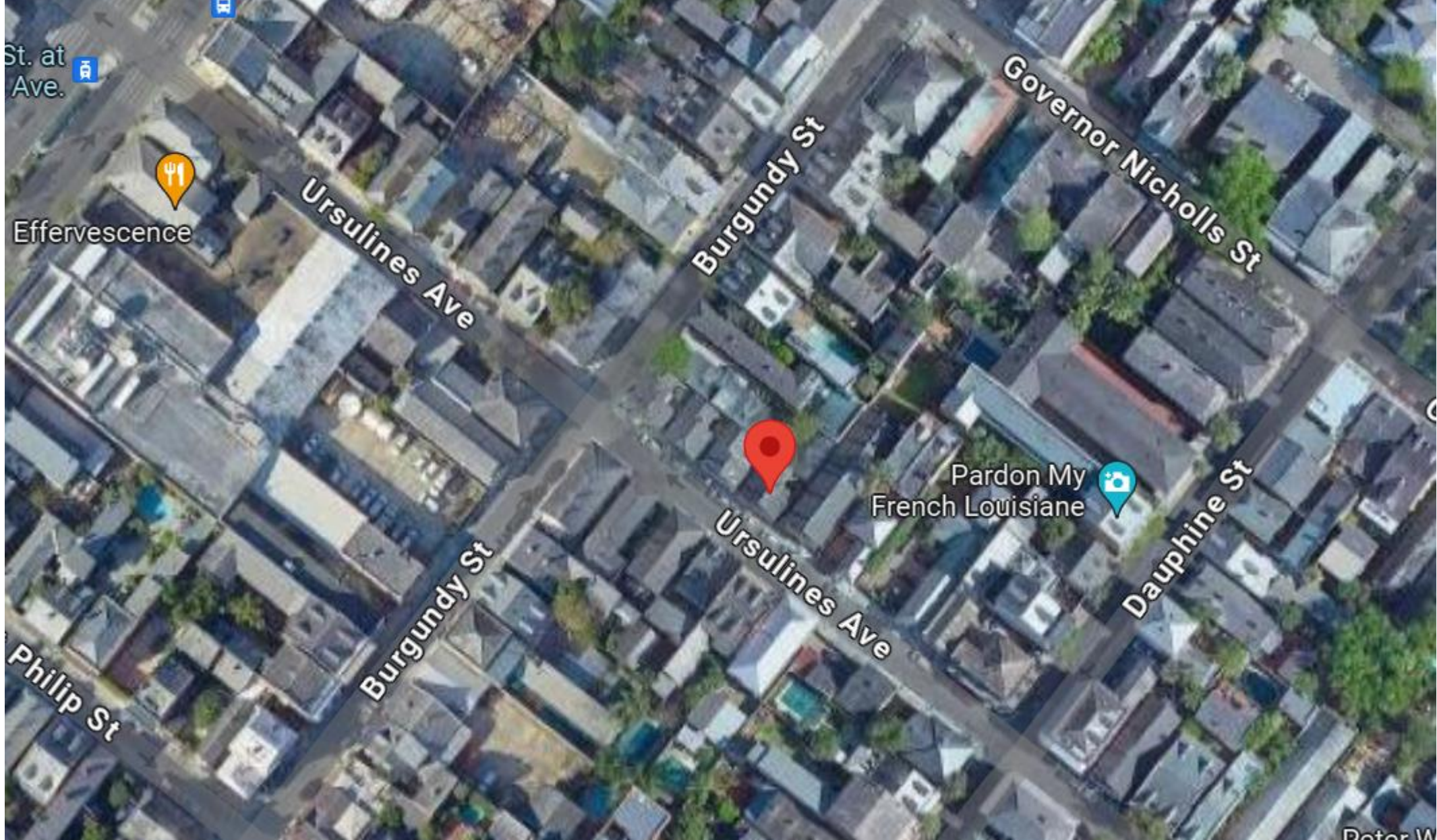
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927-41 Ursulines



927-41 Ursulines

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935 Ursulines – 1963

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927-41 Ursulines

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927-41 Ursulines

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927-41 Ursulines

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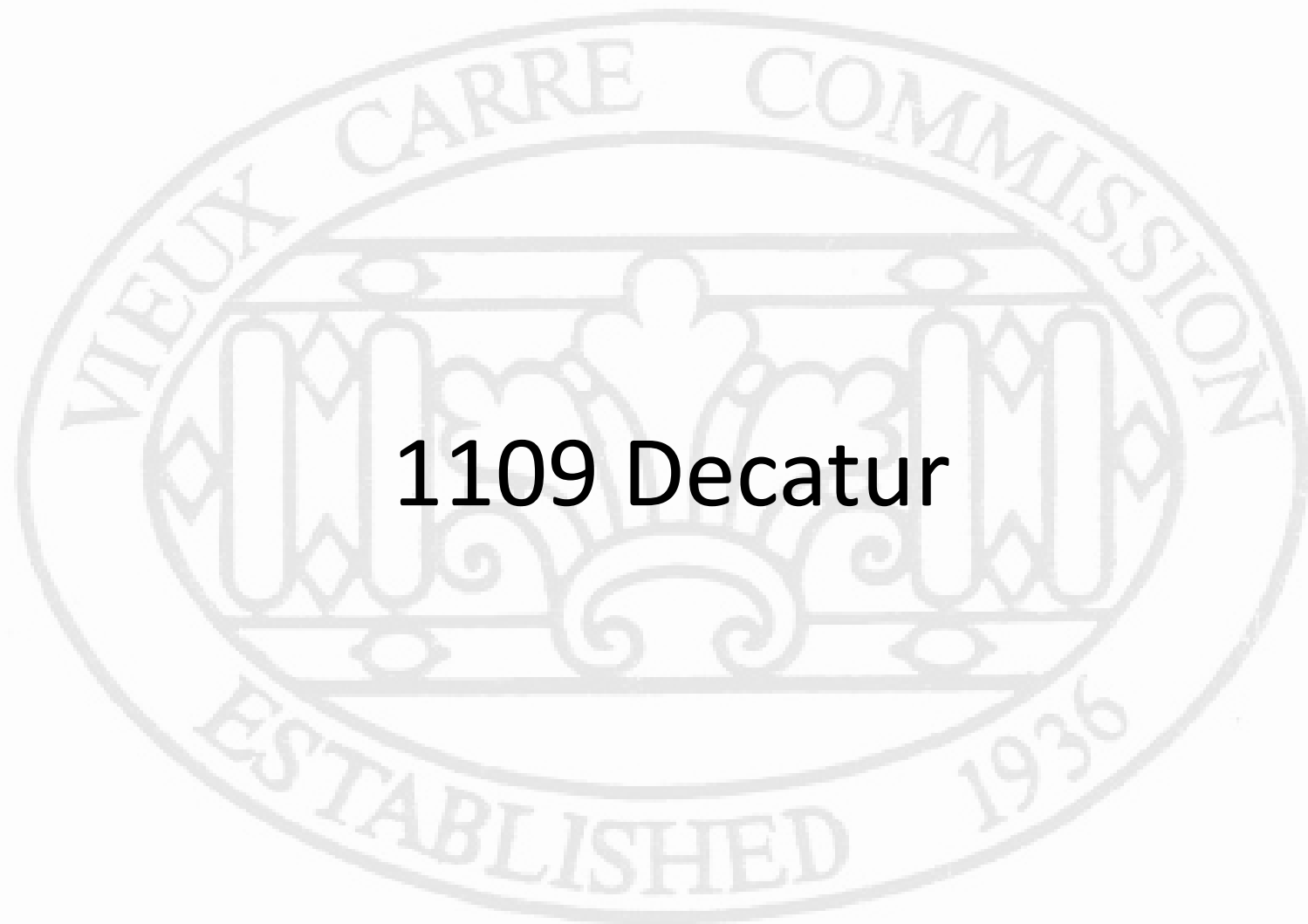
August 13, 2024



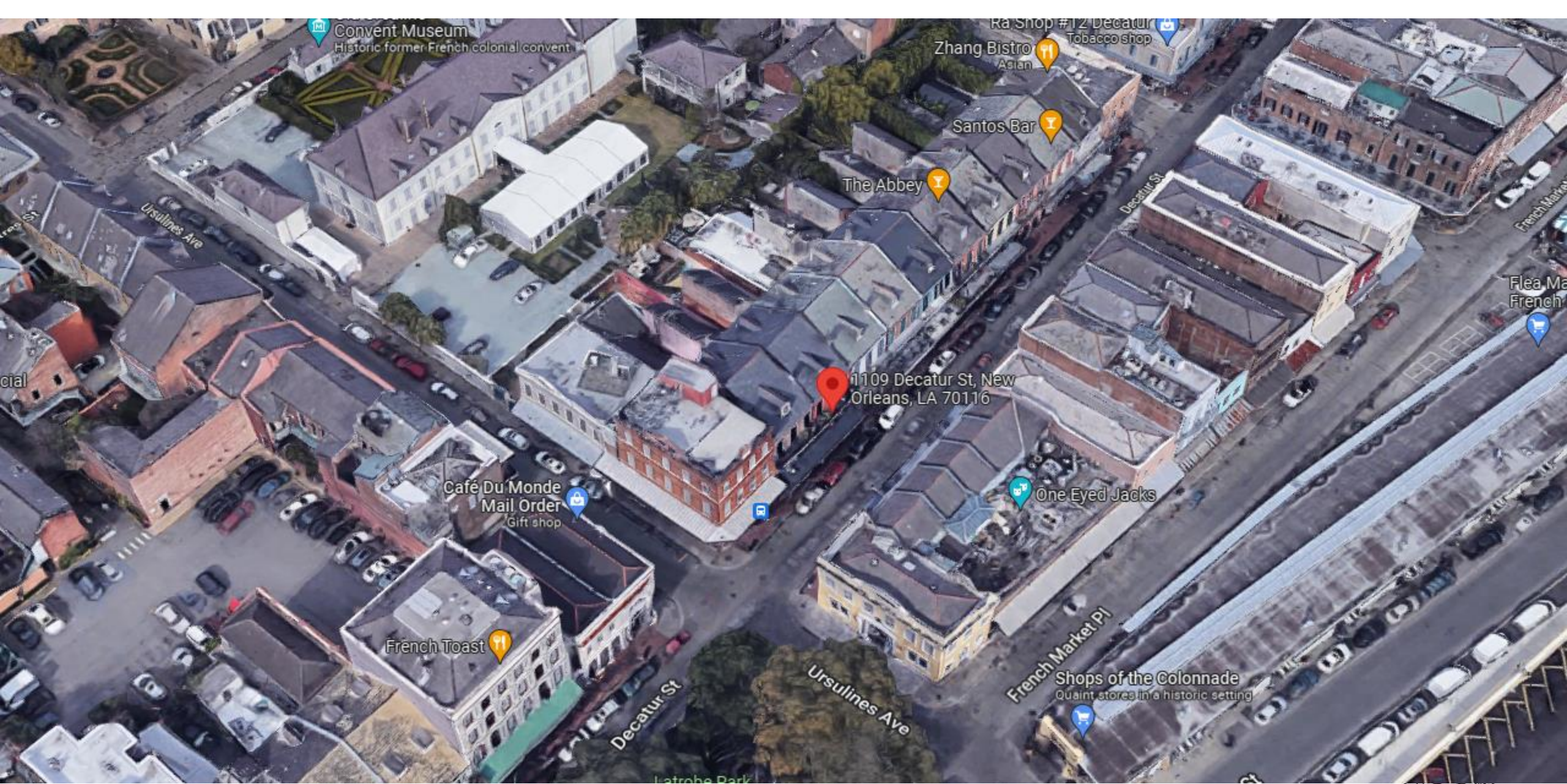
Work Description:

- Install custom made handrails on the home's entry stairway
 - The handrails will be installed in a manner to allow the door shutters to open and close





1109 Decatur



1109 Decatur

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August 13, 2024





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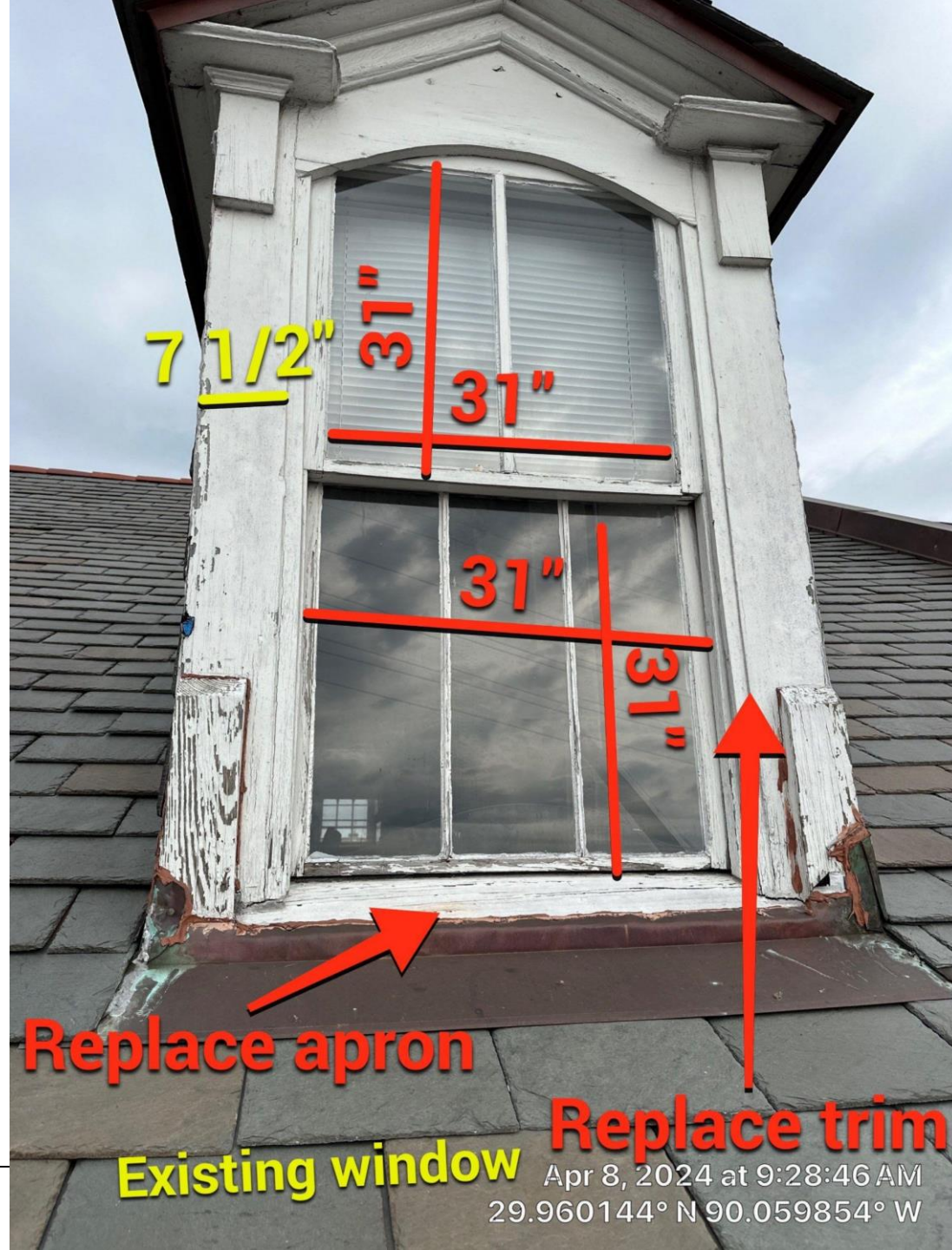
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08 02 2024

August 13, 2024





Replace apron

Replace trim

Existing window

Apr 8, 2024 at 9:28:46 AM

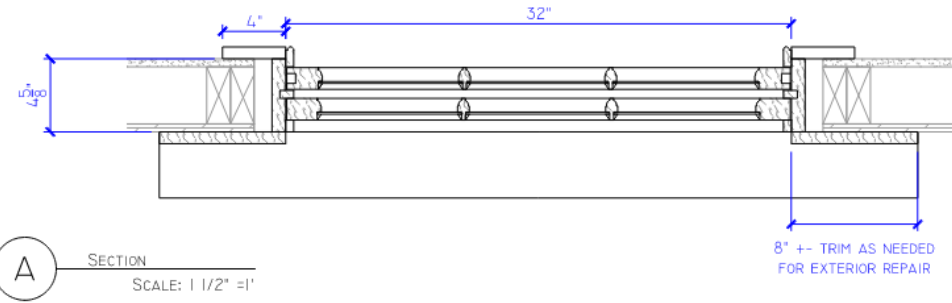
29.960144° N 90.059854° W

1109 Decatur

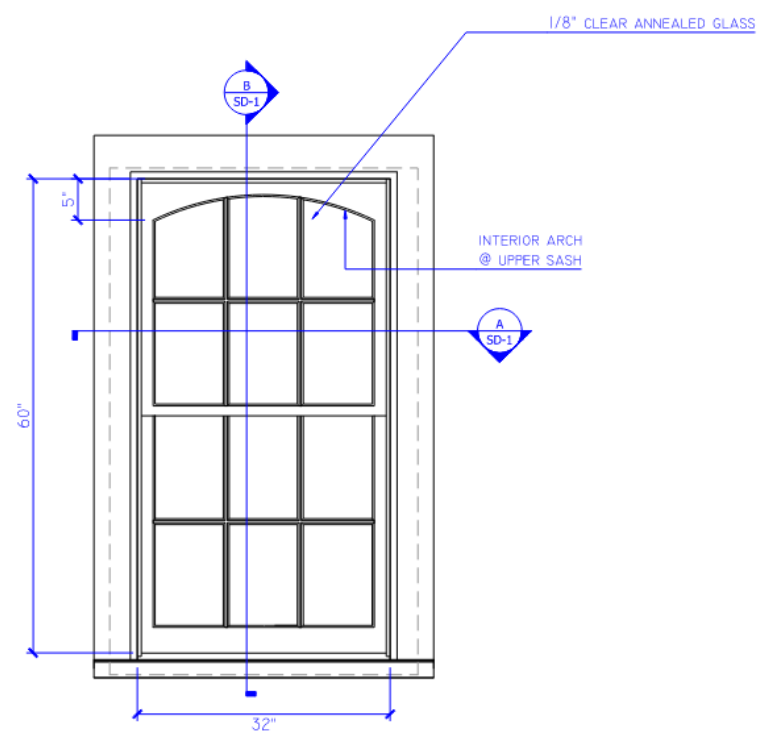
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August 13, 2024

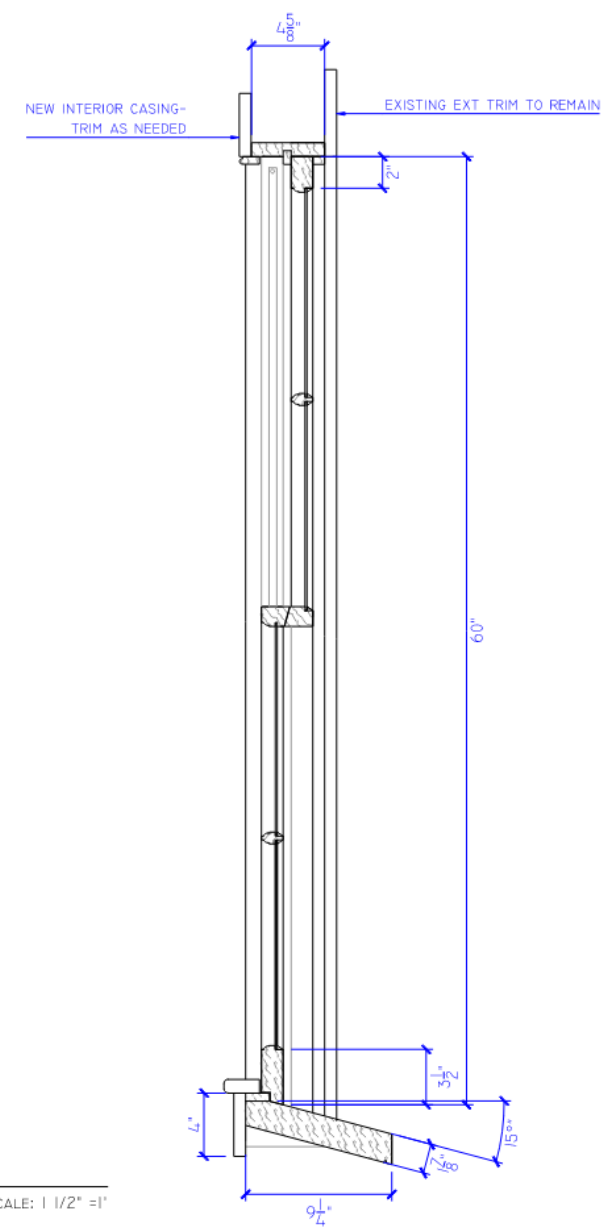




A SECTION
SCALE: 1 1/2" = 1'



I ELEVATION: DORMER WINDOW (QTY: 1)
SCALE: 3/4" = 1'



B SECTION
SCALE: 1 1/2" = 1'

SHOP DRAWINGS

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INHAB MILLWORKS
1222 ANHANGIATION ST.
NEW ORLEANS, LA 70130
504.232.1934

project name:

**1109 Decatur
New Orleans, LA**

drawing dates:

DATE	BY	REVISION
08.01.24	A.G.Ramos	

revisions:

NO.	DATE	BY	REVISION
1			
2			
3			

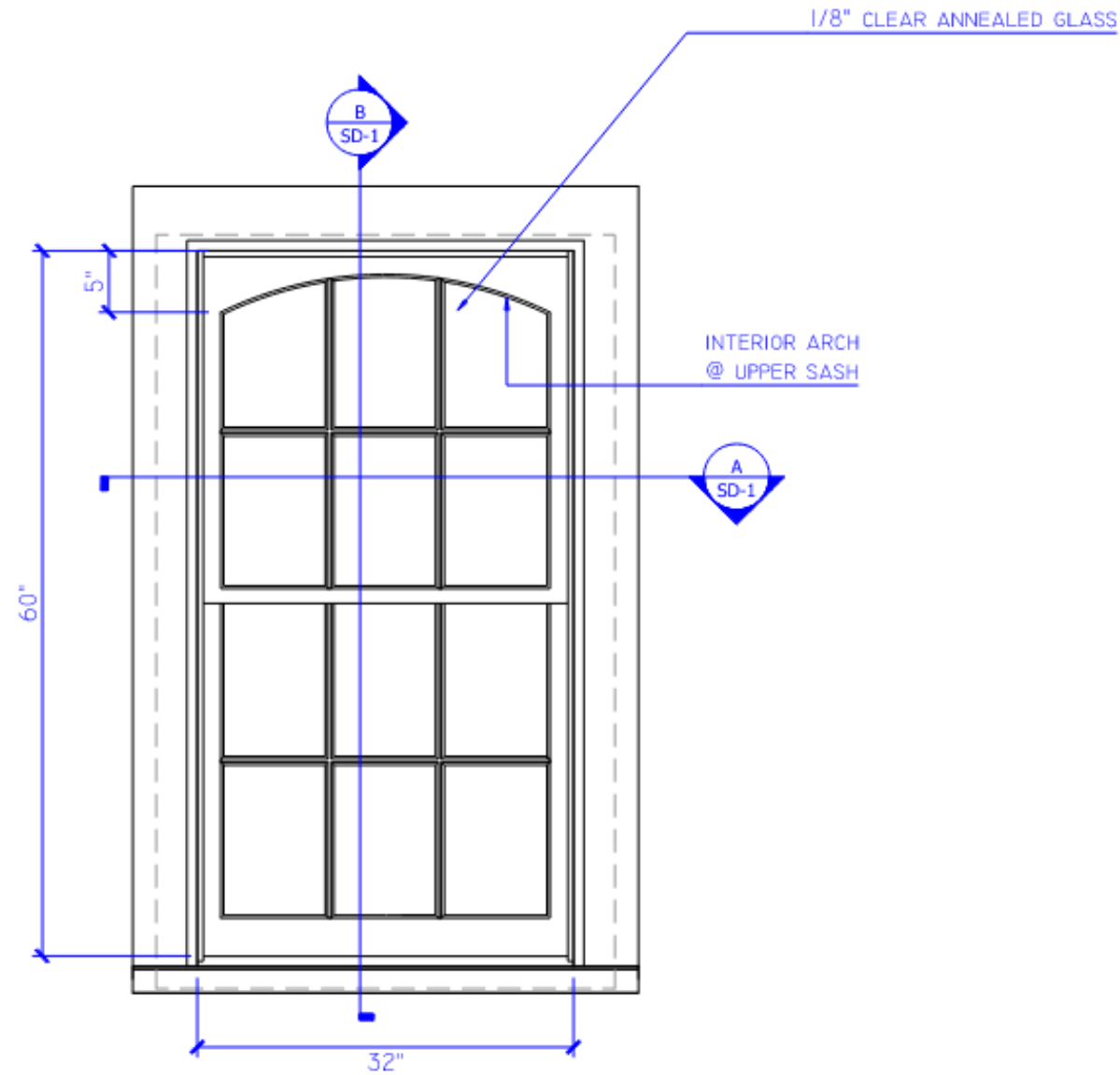
contents & description:

**Dormer window
Qty 1**

sheet no.

SD-1





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ELEVATION: DORMER WINDOW (QTY: 1)

SCALE: 3/4" = 1'

August 13, 2024





1109 Decatur – Dormer Window at Neighboring 1113 Decatur

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1109 Decatur – Dormer Window at Neighboring 1117 Decatur





1109 Decatur – Dormer Window at Neighboring 1127 Decatur

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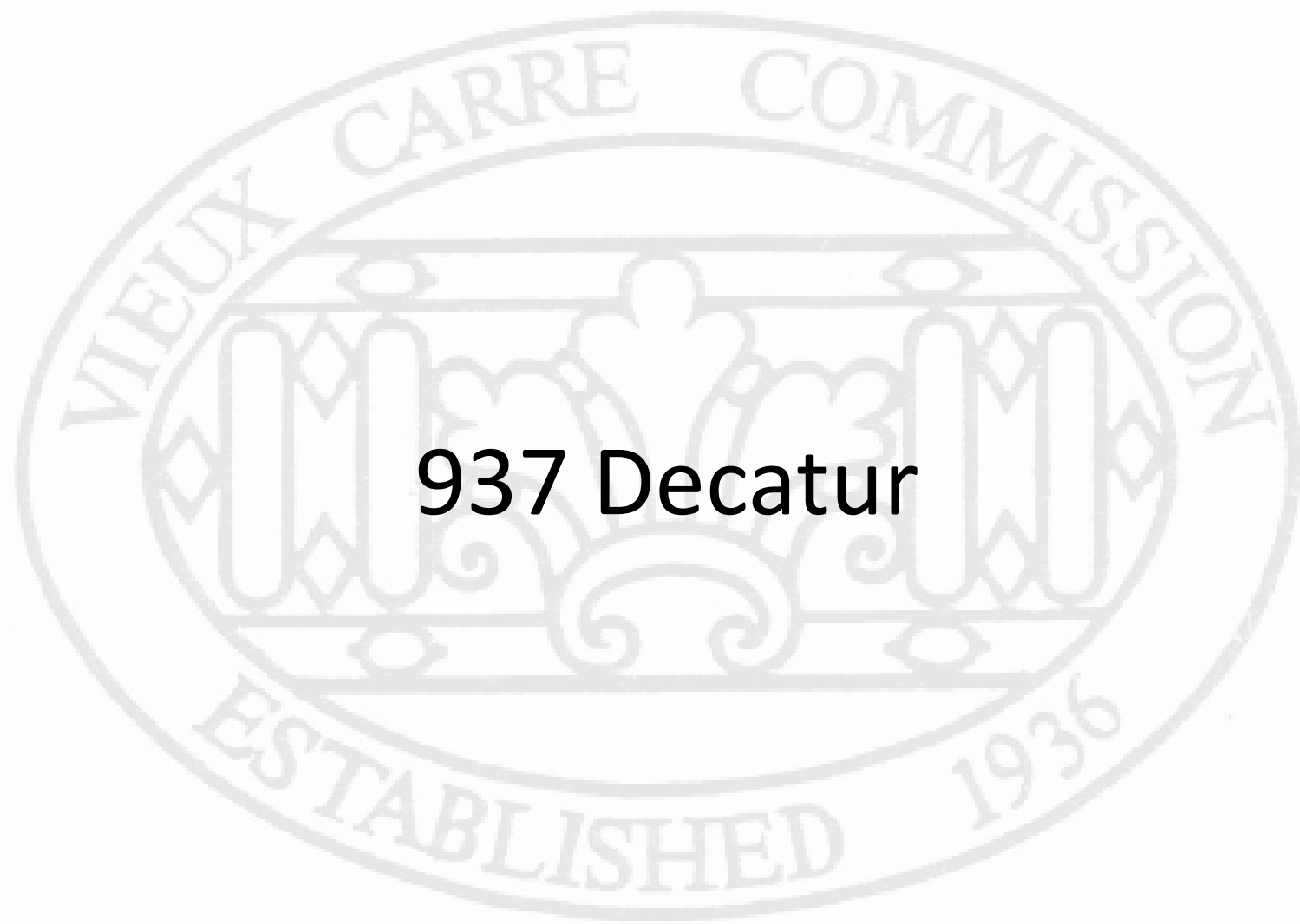


1109 Decatur – Curved Top Sash Examples

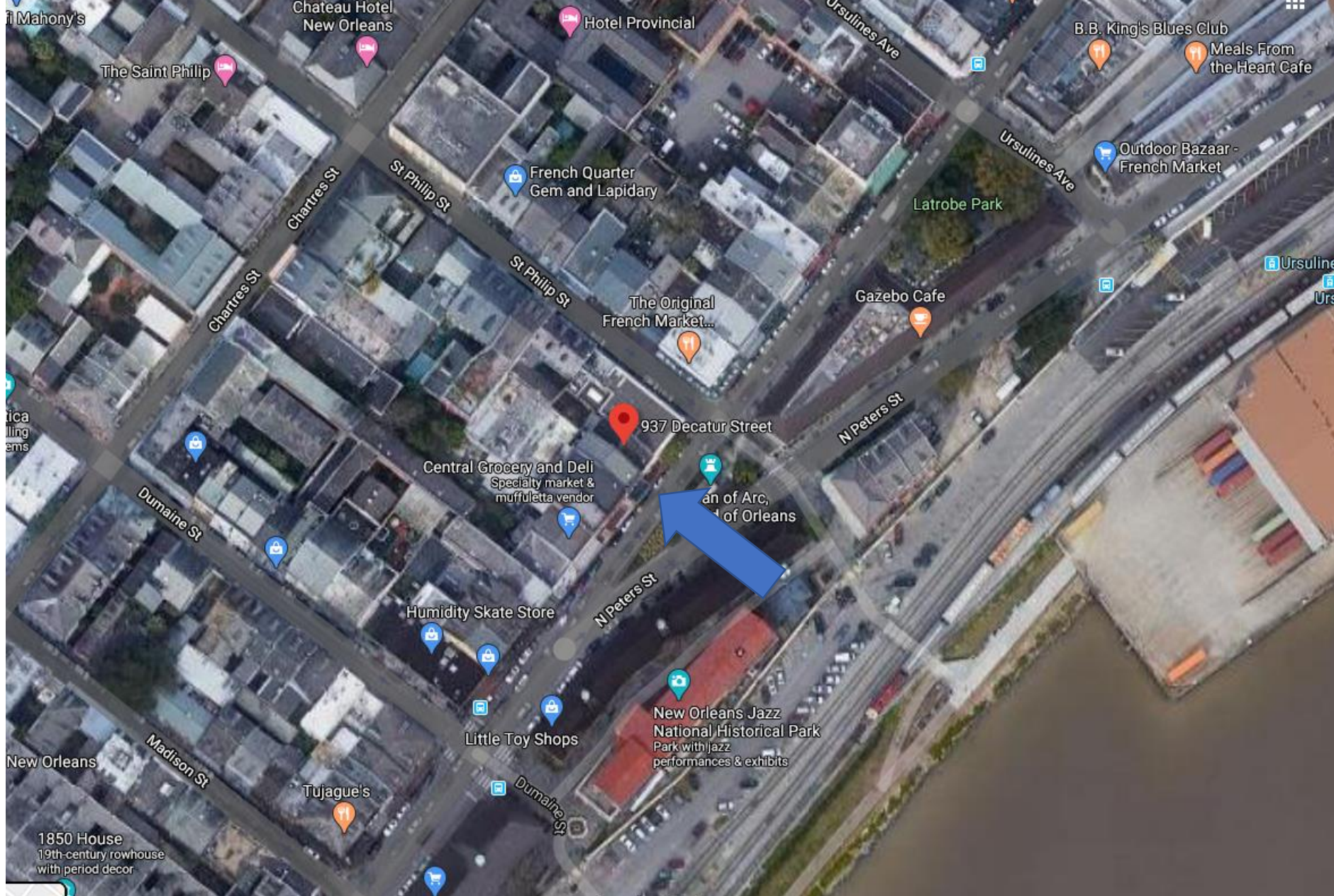
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937 Decatur



937 Decatur





937 Decatur, 1957





937 Decatur, 1964

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937 Decatur, 1979

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August 13, 2024





937 Decatur, 1989

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August 13, 2024





937 Decatur, 1997

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August 13, 2024





937 Decatur, 2001

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937 Decatur

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04 26 2017

August 13, 2024





937 Decatur

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07 16 2021

August 13, 2024





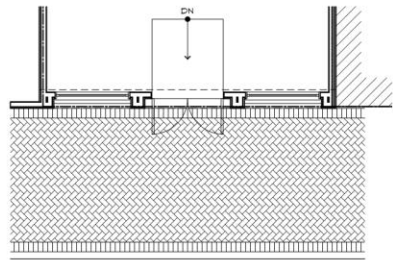
937 Decatur

VCC Architectural Committee

04 25 2024

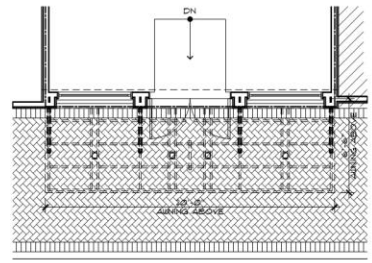
August 13, 2024





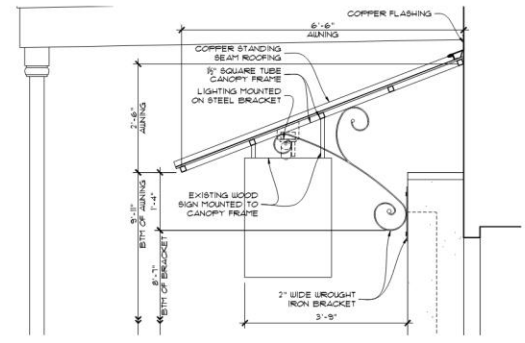
Existing Floor Plan

Scale: 1/4" = 1'-0"



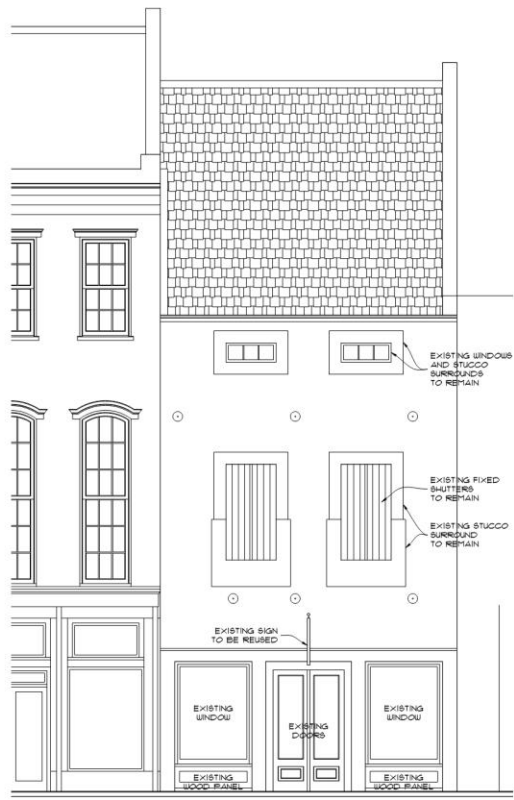
Proposed Floor Plan

Scale: 1/4" = 1'-0"



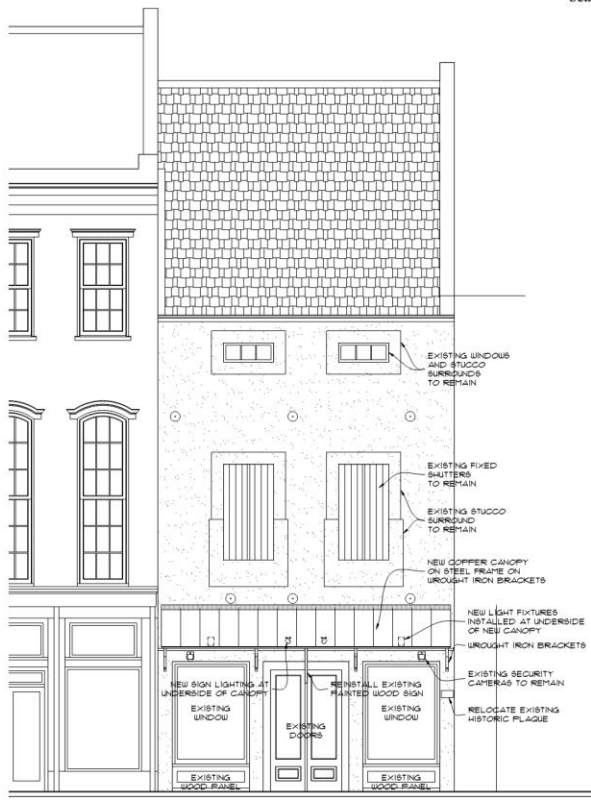
Proposed Canopy Detail

Scale: 3/4" = 1'-0"



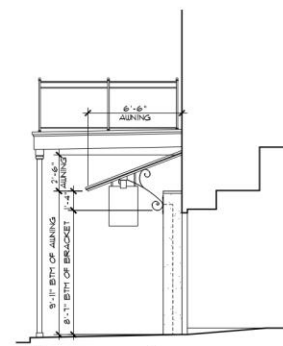
Existing Elevation

Scale: 1/4" = 1'-0"



Proposed Elevation

Scale: 1/4" = 1'-0"



Proposed Side Elevation

Scale: 1/4" = 1'-0"

Brian Gille ARCHITECT		DATE: 25 JULY 2024
DESIGNED BY: EMP	PROJECT NO: 1518	
CONCEPTS: BGC		
PROJECT NO: 1518		

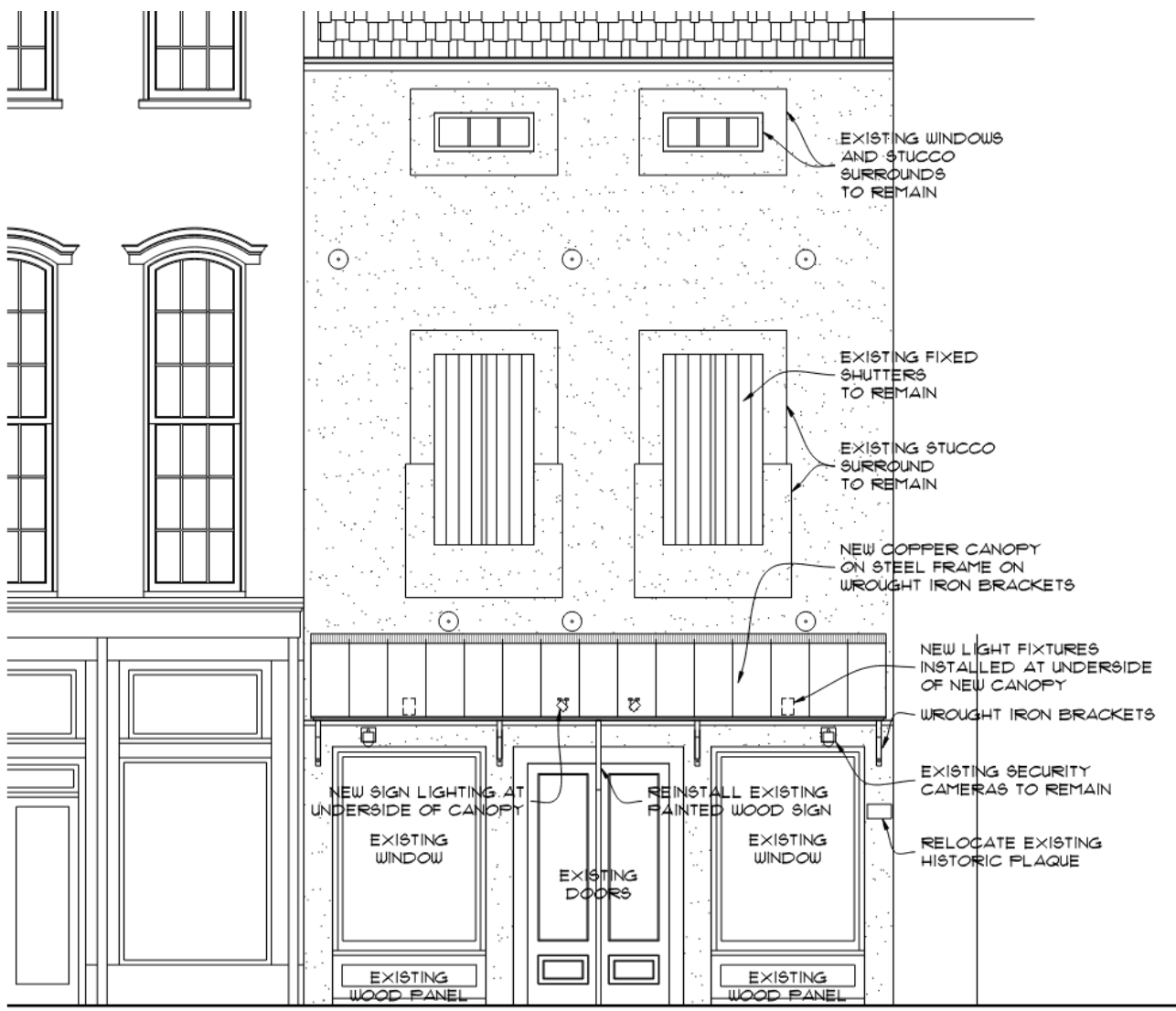
PROJECT NO: 1518	DATE: 25 JULY 2024
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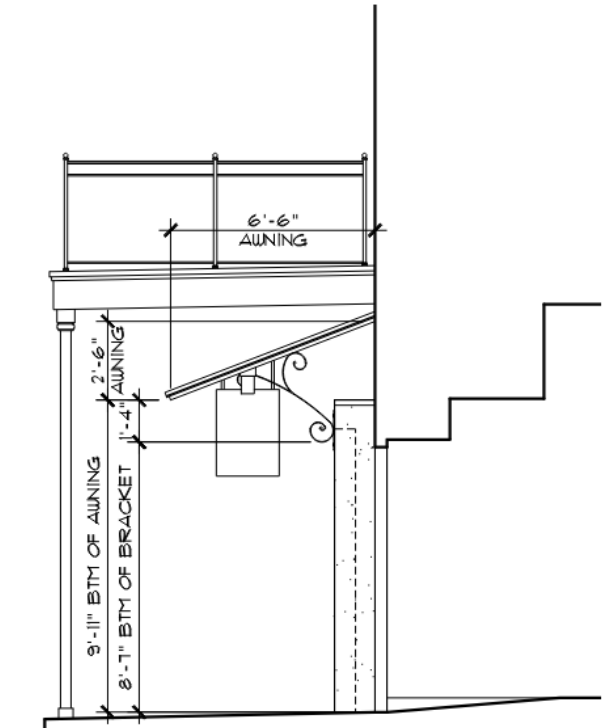
937 Decatur St

Proposed Elevation

Scale:



1/4" = 1'-0"



Proposed Side Elevation

Scale:

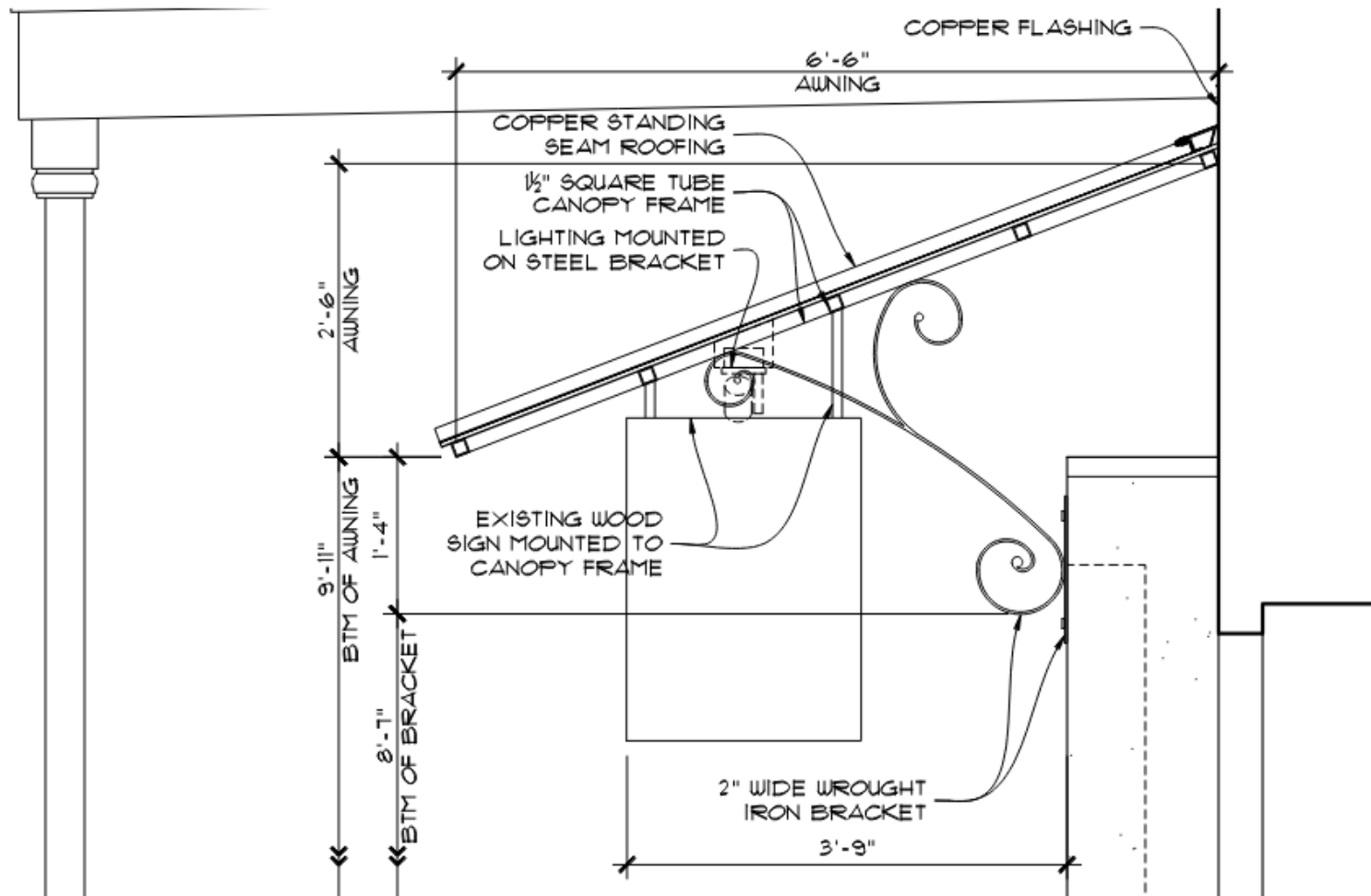
1/4" = 1'-0"

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Proposed Canopy Detail

Scale:

3/4" = 1'-0"



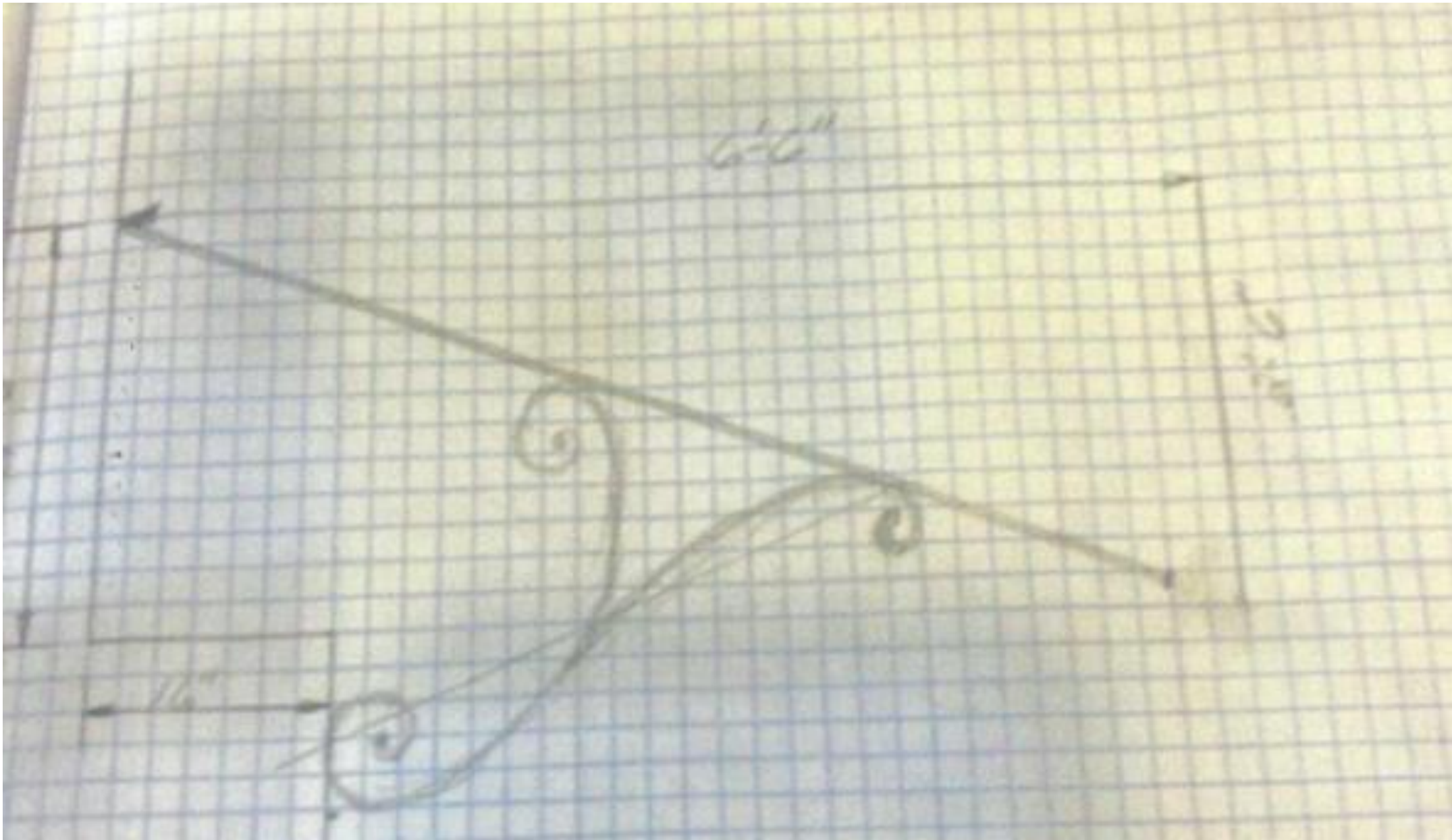


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DATE: TYPE:

NAME:

PROJECT:

Halogen/incandescent

P5774-31

Cylinder

5" flush mount cylinder. The P5774 Series are ideal for a wide variety of interior and exterior applications including residential and commercial.

- Black finish.
- Powdercoat finish.
- Ideal for a wide variety of interior and exterior applications.
- Heavy duty aluminum framing.

Category: Outdoor

Finish: Black (powder coat paint)

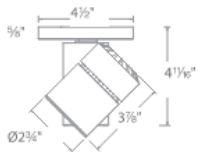
Construction: Aluminum Construction



Diameter: 5"
Height: 6-3/4"

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Ceiling mounted Mounting strap for outlet box included Unit covers a standard 4" octagonal recessed outlet box 5.1406" W., 6.75" ht., 5.1406" depth	Pre-wired 6" of wire supplied 120 V	Quantity: One 75w max. PAR-30 or BR-30 E26 base porcelain socket	UL-CUL Wet location listed 1 year warranty

EXTERMINATOR II
Monopoint Luminaire - 1023



Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

Exterminator offers superior light output in a small, unobtrusive design. Developed for upscale residential and commercial environments.

FEATURES

- Accommodates one lens accessory and one glare control accessory
- 365° horizontal rotation and 180° vertical aiming
- Ceiling and wall mountable
- 50,000 hour rated life
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum with removable front cap for easy change of lenses or accessories

Power Consumption: 1023S: 22W; 1023N/F: 24W

Input: 120V-277V AC 50/60HZ

Dimming: 100%-1% Electronic low voltage (ELV, 120V only), TRIAC (120V only) and 0-10V

Finish: Powder coated Black and White, Electroplated Brushed Nickel.

Standards: ETL&cETL Damp Location listed, Energy Star® 2.0 rated, Title 24 JA8 compliant

System	Beam	Color Temp	CRI	Lumens	CBCP	Finish
MO-1023	S 12°	827 2700K	85	1545	11625	BK Black BN Brushed Nickel WT White
		927 2700K	90	1275	9600	
		830 3000K	85	1640	12350	
		930 3000K	90	1335	10030	
		835 3500K	85	1680	12650	
		840 4000K	85	1690	12725	
	N 21°	827 2700K	85	2115	9810	
		927 2700K	90	1750	8100	
		830 3000K	85	2250	10425	
		930 3000K	90	1825	8465	
		835 3500K	85	2305	10675	
		840 4000K	85	2315	10730	
	F 39°	827 2700K	85	2045	4575	
		927 2700K	90	1690	3780	
		830 3000K	85	2175	4860	
		930 3000K	90	1765	3950	
		835 3500K	85	2225	4980	
		840 4000K	85	2235	5000	

LENS ACCESSORIES

LENS-16-AMB	Amber
LENS-16-BLU	Blue
LENS-16-GRN	Green
LENS-16-RED	Red
LENS-16-UVF	UV Filter
LENS-16-FR	Frosted
LENS-16-SPR	Spread
LENS-16-BEL	Beam Elongating

GLARE CONTROL - CROSS LOUVER

LENS-16P-CRL-BK	Black
LENS-16P-CRL-BN	Brushed Nickel
LENS-16P-CRL-WT	White

GLARE CONTROL - SNOOT

LENS-16-SNOOT-BK	Black
LENS-16-SNOOT-BN	Brushed Nickel
LENS-16-SNOOT-WT	White

- - -

Example: MO-1023F-830-BK

EXTENSIONS Custom order as a complete unit. Ceiling mount only.

Extension	Color Temp	CRI	Lumens	CBCP	Finish
X6 6"	827	85	1545	11625	MO1023 N F BK BN WT
X12 12"	830	90	1275	9600	
X18 18"	835	85	1640	12350	
X24 24"	840	90	1335	10030	
X36 36"	927	85	1680	12650	
X48 48"	930	90	1335	10030	

Example: X12-MO1023N930WT

wacighting.com Headquarters, East Manufacturing Facility South East Manufacturing Facility Central Manufacturing Facility West Manufacturing Facility
 Phone (800) 526.2588 44 Harbor Park Drive 1600 Distribution Ct 1700 South J Elmer Freeway, Ste 100 1750 S Archibald Ave
 Fax (800) 526.2585 Port Washington, NY 11050 Lithia Springs, GA 30122 Cedar Hill, TX 75104 Ontario, CA 91761

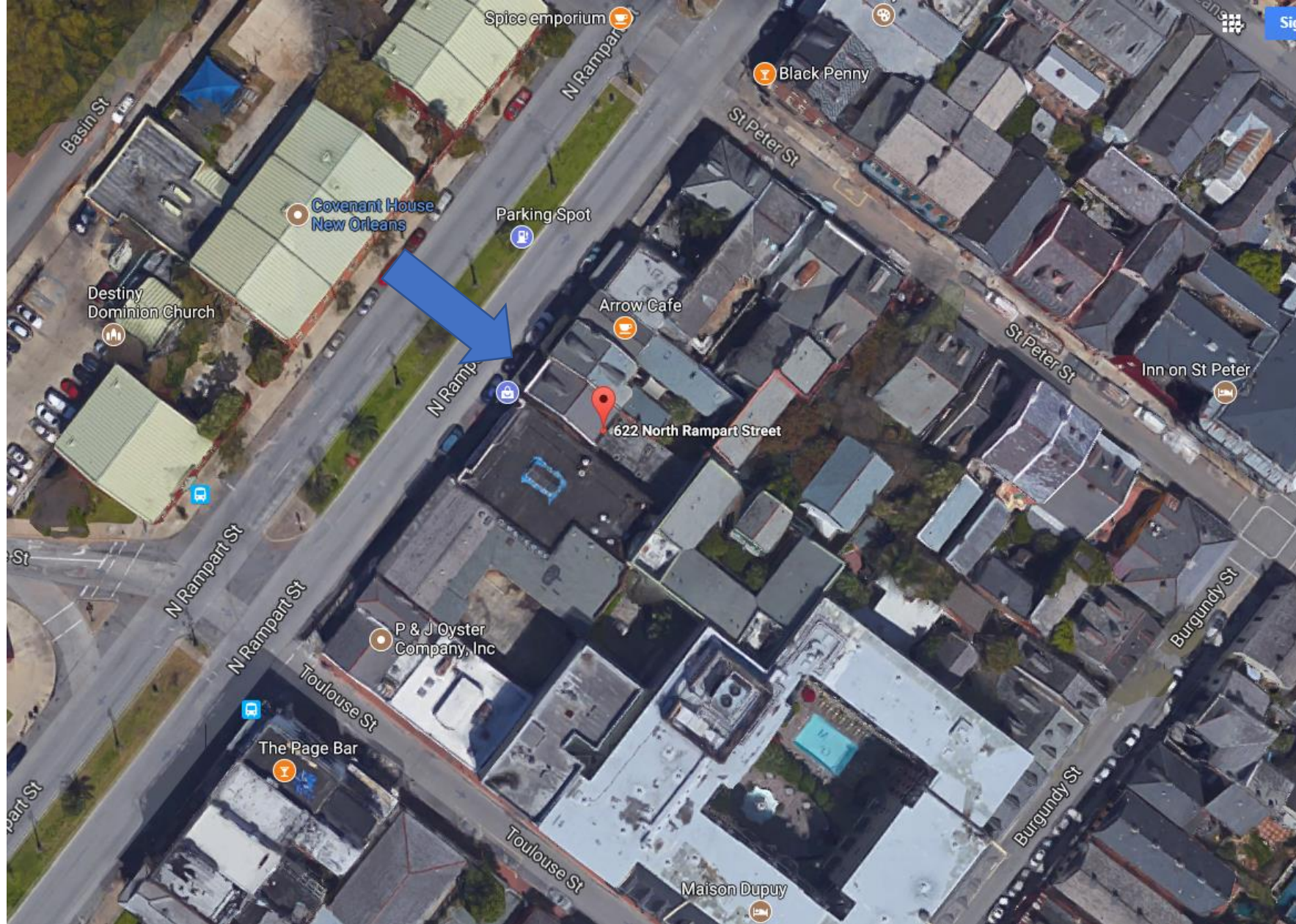
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622 N Rampart



622 N Rampart

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622 N Rampart

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622 N Rampart

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622 N Rampart

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06 01 2017

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622 N Rampart

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622 N Rampart – in brown-rated portion of building

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622 N Rampart – in brown-rated portion of building

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06 14 2017

622 N Rampart – in brown-rated portion of building

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622 N Rampart – in brown-rated portion of building

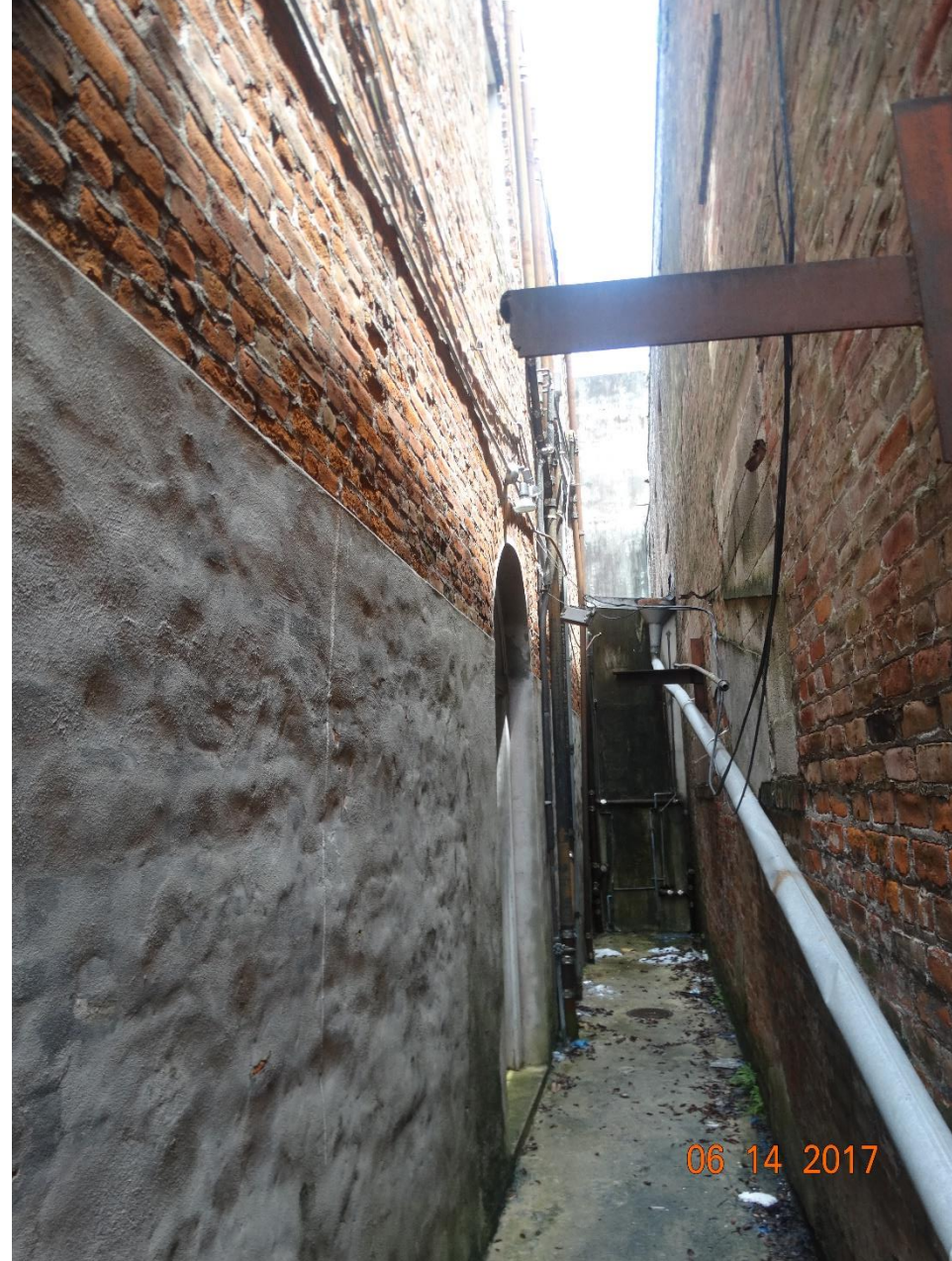
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622 N Rampart – existing archway at rear of main building



622 N Rampart – existing alleyway

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622 N Rampart – existing brown-rated roof

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622 N Rampart – existing brown-rated roof

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622 N Rampart

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06 25 2024

August 13, 2024





622 N Rampart

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06 25 2024

August 13, 2024





622 N Rampart

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06 25 2024

August 13, 2024



GENERAL REQUIREMENTS

CONTRACT DOCUMENTS ARE INTENDED TO COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

ARCHITECT HAS MADE REFERENCE TO EXISTING CONDITIONS AT SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS.

THE CONTRACTOR SHALL VERIFY THE PROFESSIONAL RECORD IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR SUCH DEVIATION BY THE PROFESSIONAL RECORD.

UNLESS OTHERWISE NOTED, ALL EXPOSED NEW AND EXISTING ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATIONS LINES, DUCTS, PIPES, UNITS AND DEVICES ARE TO BE PROTECTED AND PAINTED THE SAME COLOR AS THE WALL AND/OR CEILING SURFACE ON WHICH THEY REST, OR ARE TO BE LOCATED OR IN ORDER TO REVEAL IN KIND.

ALL WOOD EXPOSED TO THE ELEMENTS SHALL BE PRESURE-TREATED OR OTHERWISE APPROVED FOR EXTERIOR USE.

CONCRETE SLABS SHALL BE LEVEL, UNLESS OTHERWISE NOTED WITH A 1/8" TOLERANCE IN A 10'-0" SQUARE IN ANY GIVEN DIRECTION. SLOPE ALL EXTERIOR SLABS FOR POSITIVE DRAINAGE. REFER TO CONCRETE SPECIFICATION FOR MORE STRINGENT REQUIREMENTS.

ALL OCCUPIED SPACES SHALL RECEIVE AN INSULATION BARRIER THAT IS CONTINUOUS ON ALL EXTERIOR WALL, CEILING, AND FLOOR SURFACES.

ALL EXTERIOR DOOR AND WINDOW SHALL BE INSTALLED IN SUCH MANNER AS TO ASSURE WEATHER-TIGHT CONDITION. CONTRACTOR SHALL PROVIDE CALCULATING AND WEATHER BARRIER MATERIALS (REQUIRED) FOR WEATHER-TIGHT CONDITION.

SEAL ALL PIPE OR CONDUIT PENETRATIONS WITH APPROPRIATE SEALANT. PROVIDE FIRE SEALANT AT RATED PARTITIONS.

ALL JOINT SURFACES SHALL BE FREE OF ANY SUBSTANCE OR MATERIAL THAT WOULD PREVENT THE PROPER BONDING OF THE CALLING JOINT APPLICATION OR WOULD CAUSE FAILURE OF THE CONNECTION BETWEEN THE CALLING AND THE WALL JOINT. ALL CALLING LINES ARE TO BE EVEN, SMOOTH, AND STRAIGHT.

PROVIDE FIRE RESISTANT BARRIER REQUIRED ABOVE PARTITIONS FOR SECURING WALL-HUNG CABINETS, SHELVING, TRAIL MILKWORK, AND OTHER ELEMENTS ATTACHED TO PARTITIONS AS REQUIRED TO ENSURE FLUSH, STRAIGHT, WELL-SECURED CONDITIONS.

PERMITS AND INSPECTIONS
ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING, HVAC, AND ANY OTHERS) REQUIRED BY AUTHORITIES HAVING JURISDICTION ARE TO BE OBTAINED BY THE GENERAL CONTRACTOR WITH COPIES TO THE OWNER WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD AND DISTRIBUTION TO THE OWNER.

EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND ANY REQUIRED PERMITS.

COORDINATE CONSTRUCTION SCHEDULING LOCATION WITH THE OWNER AND OBTAIN ALL NECESSARY CITY APPROVALS.

LOCATE UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT CONFLICTS THAT SUBSTANTIALLY CHANGE OR PROHIBIT THE WORK. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND WORK BETWEEN PLUMBING, ELECTRICAL, OTHER SUBCONTRACTORS, AND AUTHORITIES HAVING JURISDICTION.

NOTIFY APPLICABLE SPECIAL INSPECTORS, AUTHORITIES HAVING JURISDICTION, AND UTILITIES PRIOR TO COVERING UP WORK REQUIRING INSPECTION.

HEADER SCHEDULE		
LEVEL	OPENING WIDTH	HEADER SIZE
1	2'-0" TO 7'-0"	(2) 2x10
1	> 7'-0"	SEE PLAN
2 OR 3	2'-0" TO 3'-0"	(3) 2x6
2 OR 3	3'-0" TO 10'-0"	(3) 2x8
2 OR 3	> 7'-0"	SEE PLAN

DRAWINGS, DIMENSIONS, & NOTES

THESE DRAWINGS ARE ONE COMPONENT OF THE CONTRACT DOCUMENTS. REFER TO DOCUMENTS, DRAWINGS, TRIM, FINISH, FACILITIES, AND ANY OTHER ITEMS NEEDED FOR A COMPLETE INSTALLATION AND INDICATED USE AND EFFECT.

DRAWINGS WITH NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY KEYS.

DIMENSIONS - USE WRITTEN DIMENSIONS ONLY. VERIFY ALL DIMENSIONS AT JOB SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES. WHERE NO DIMENSIONS ARE PROVIDED OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

WALL DIMENSIONS ARE FROM FACE OF STUDO TO FACE OF STUDO, UNLESS OTHERWISE NOTED.

DOOR/WINDOW OPENINGS, COLUMNS, AND STRUCTURAL GRIDS ARE FROM CENTERLINE TO CENTERLINE, UNLESS OTHERWISE NOTED.

KEYNOTES ARE DRAWING OR SHEET SPECIFIC.

ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, REGARDLESS OF WHETHER OR NOT THEY ARE KEYS ON EVERY SHEET TO A SPECIFIC DETAIL.

UNLESS OTHERWISE NOTED, ALL ITEMS ARE BASE BID. PROVIDE ALL WORK NOTED UNLESS SPECIFICALLY INDICATED AS "NOT IN CONTRACT," "BY OWNER," "FURNISHED BY OTHERS," OR "EXISTING."

SUBMITTALS
SUBMITTALS INCLUDING SHOP DRAWINGS, CLARIFICATIONS, PRODUCT SPECIFICATIONS, PHYSICAL SAMPLES, AND OTHER DOCUMENTS REQUIRED TO PERFORM WORK FOR ALL FINISHES, MILLWORK, FABRICATING AND THE LIKE SHALL BE SUPPLIED TO THE ARCHITECT AT LEAST FIFTEEN DAYS BEFORE REVISIONS ARE REQUIRED. CONTRACTOR SHALL REVIEW SUBMITTALS AND VERIFY THAT PRODUCTS AND SYSTEMS CAN BE INSTALLED WITHOUT CONFLICT WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS.

PRE-INSTALLATION CONFERENCES
CONDUCT A PRE-INSTALLATION CONFERENCE AT PROJECT SITE BEFORE EACH CONSTRUCTION ACTIVITY. ATTENDEES SHOULD INCLUDE INSTALLER AND REPRESENTATIVES OF MANUFACTURERS/FABRICATORS INVOLVED IN OR AFFECTED BY THE INSTALLATION AND ITS COORDINATION WITH OTHER MATERIALS. ADVISE ARCHITECT OF SCHEDULED MEETING DATES.

CHANGES, QUESTIONS, & SUBSTITUTIONS
ALL CHANGES TO THE WORK THAT MAY REQUIRE ADJUSTMENTS TO THE CONTRACT SUM OR CONTRACT PRICE SHALL BE AUTHORIZED ONLY THROUGH A CHANGE ORDER DISTRIBUTED TO THE ARCHITECT AND OWNER AND SIGNED BY THE OWNER. CHANGE ORDERS SHALL INCLUDE THE FOLLOWING:
- A DESCRIPTION OF THE CHANGE TO THE WORK.
- THE AMOUNT OF ADJUSTMENT, IF ANY, IN THE CONTRACT SUM, AND THE CONTENT OF THE ADJUSTMENT, IF ANY, IN THE CONTRACT TIME.

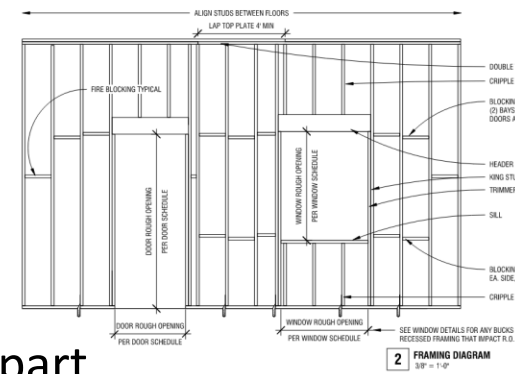
WORK EXECUTED BY THE CONTRACTOR WITHOUT AN OWNER APPROVAL BY CHANGE ORDER OR CHANGE ORDER SHALL NOT BE SUBJECT TO REINSTATEMENT. REQUESTS FOR AN INCREASE IN THE CONTRACT SUM, OR EXTENSIONS TO THE CONTRACT TIME.

FIELD INSTRUCTION: APPROVAL OF MINOR CHANGES OR CLARIFICATION TO PLANS MAY BE ACCOMPLISHED BY ISSUANCE OF REVISED PLANS, PARTIAL SKETCH, OR NOTES AND DATES OF CHANGE BY THE ARCHITECT ON THE EXISTING PLANS.

MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING TO OWNER/ARCHITECT FOR APPROVAL IN WRITING. NOTIFICATION MUST BE SUBMITTED IN A TIMELY FASHION TO AVOID PROJECT DELAY.

CONTRACTOR SHALL IDENTIFY ALL DEVIATIONS FROM REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS. CHANGES IN THE WORK SHALL NOT BE AUTHORIZED BY SUBMITTALS AND REVIEW ACTIONS. NO REVIEW ACTION, IMPLICIT OR EXPLICIT, SHALL BE INTERPRETED TO AUTHORIZE CHANGES IN THE WORK. CHANGES SHALL ONLY BE AUTHORIZED BY SEPARATE WRITTEN CHANGE ORDER OR FIELD INSTRUCTION.

ALL EXTRA PAINT AND FINISHES TO BE STORED PER OWNER'S SPECIFIED LOCATION.



MATERIAL PROTECTION

ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE G.C.'S RESPONSIBILITY AT NO COST TO THE OWNER.

ALL EXISTING DOORS, WINDOWS, HARDWOOD FLOORS, AND FINISHES SHALL BE PROTECTED DURING CONSTRUCTION.

PATCH AND REPAIR
DRAWINGS INDICATE SCOPE OF MAJOR ITEMS FOR PATCH AND REPAIR OF EXISTING STRUCTURE. FOR MINOR UNDOCUMENTED EXISTING CONDITIONS, GENERAL CONTRACTOR TO MAKE EDUCATIONS AS REQUIRED TO FULLY DESIGN INTENT AS PART OF BASE SCOPE OF WORK.

ALL PATCH AND REPAIR WORK TO EXISTING CONSTRUCTION SHALL BE INSTALLED TO ALIGN WITH ADJACENT EXISTING AND MATCH FINISH U.O.G.

PROJECT COMPLETION
UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL DELIVER TO THE OWNER ALL LISTS, INVENTORIES, GUARANTEES, AND EQUIPMENT OPERATION MANUALS. COPY OF THE CONTRACT OF OCCUPANCY AND SIMILAR RELEASES EMPOWERING OWNER'S FULL AND UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES.

UPON COMPLETION OF THE WORK, THE G.C. IS RESPONSIBLE FOR THE FINAL ADJUSTMENTS OF WINDOWS, DOORS, HARDWARE, DEVICES, AND THOSE ITEMS DESIRED BY THE ARCHITECT TO MAKE THE PROJECT HABITABLE.

HURRICANE, WIND, & ELEVATION COMPLIANCE
THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE BUILDING CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE, AND LOCAL BUILDING AND ACCESSIBILITY REQUIREMENTS AND REGULATIONS.

BUILDING IS DESIGNED TO WITHSTAND 140 MPH WINDS IN ACCORDANCE WITH THE MINIMUM DESIGN LOAD FOR BUILDINGS AND OTHER STRUCTURES.

BUILDING SHALL BE ANCHORED AGAINST OVERTURNING, UPLIFT AND SLIDING. STRUCTURAL MEMBERS, SYSTEMS, COMPONENTS, AND CLADDING IN BUILDING SHALL BE ANCHORED TO RESIST WIND-INDUCED OVERTURNING, UPLIFT OR SLIDING AND TO PROVIDE CONTINUOUS LOAD PATHS FOR THESE FOUNDATIONS TO THE FOUNDATIONS.

WINDOWS SHALL BE COMPLY WITH INTERNATIONAL BUILDING CODE AND SHALL BE TESTED FOR 140 MPH WIND SPEED OR SHALL BE PROTECTED FROM WIND BORNE DEBRIS PER SEC 2022 IBC 2.1.

CONTRACTOR IS RESPONSIBLE FOR LOCATING FIRST FLOOR HEIGHT ACCORDING TO THE FLOOD ZONE REQUIREMENTS.

MATERIAL BELOW DECK SHALL COMPLY WITH SEC R-2022.2 IRC 2021 FOR WATER RESISTANCE AND USE OF SPACE. SPACES BELOW THE DECK SHALL COMPLY WITH SECTION RAIN OF THE IRC 2021 FOR VENTILATION, OPENINGS, AND ACCESS.

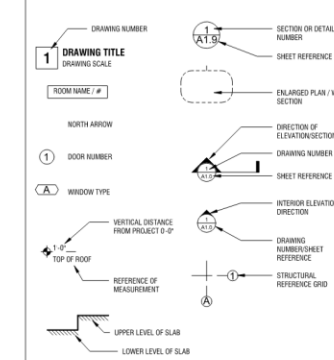
CHEMICAL THERMOCLAD TREATMENT SHALL BE PROVIDED. BATTING SYSTEM TO BE INSTALLED PRIOR TO OCCUPANCY AS REQUIRED BY SEC. R318 IRC 2021. INSULATIVE DENSIFIE SHALL BE A MINIMUM OF R-15 FOR FLOORS, R-13 IN WALLS, AND R-49 FOR CEILING ROOFS.

CLEAN UP
THE PROJECT SITE IS TO BE KEPT REASONABLY CLEAN AT ALL TIMES. LOOSE TRASH IS TO BE CONTAINED AND EMPTIED OFF THE SITE WHEN PAINT, PAINT SPOTS AND EXCESS CALLING ARE TO BE REMOVED.

PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL REMOVE ALL DUST, DEBRIS, OIL, STAINS, GULLIES, FINGERPRINTS, AND THE LIKE FROM ALL EXPOSED SURFACES. WINDOWS SHALL BE WASHED. HANG AIR FILTERS SHALL BE CHANGED PRIOR TO SUBSTANTIAL COMPLETION.

ALL EXTRA PAINT AND FINISHES TO BE STORED PER OWNER'S SPECIFIED LOCATION.

SYMBOLS



ABBREVIATIONS

ADU	Accessory Dwelling Unit	JT	Joint
AFB	Above Finish Floor	KD	Knockout
ALT	Alternate	L	Angle
APPROX	Approximate	LAV	Lavatory
ARCH	Architectural	LB	Load Bearing
ASTM	American Society for Testing & Materials	LW	Laundry
BD	Base	MAX	Maximum
BTBN	Between	MCH	Mechanical
BFF	Below Finish Floor	MFR	Manufacturer
BLOG	Building	MIM	Minimum
BLW	Below	MISC	Miscellaneous
BS	By Owner	N/A	Not Applicable
BOF	By Owner in Future	NA	Not in Contract
BP	Base Plate	NO	Number
BS	Both Sides	NOM	Nominal
CB	Cabinet	NTS	Not to Scale
CF	Curtain-Face	OC	On Center
CJT	Construction Joint	OD	Outside Diameter
CI	Construction Joint	OPP	Opposite
CL	Centerline	PT	Physical
CLG	Chasing	PS	Paint
CLR	Clear	PP	Pounds per Square Foot
CM	Construction Manager	PPS	Pounds per Square Inch
CM	Concrete Masonry Units	R	Radius
CMC	Concrete	RA	Raised Air
CONT	Continuous	REF	Reference
COVD	Coordinate	REL	Reference
COV	Concrete Ties	REIN	Reinforcement
CTR	Center	RM	Room
CY	Cubic Yards	RO	Rough Opening
DBL	Double	SECT	Section
DEAD	Demolition/Demolish	SMT	Sheet
DA	Diameter	SIM	Similar
DIAG	Diagram	SPEC	Specifications
DM	Dimension	SG	Square
DWG	Drawing	SG FT	Square Foot
E	Existing	SI	Square Inch
EA	Each	STL	Steel
EQ	Equal	SUSP	Suspended
EJC	Expansion Joint	SY	System
EA	Electrical	T	Top
EXT	Exterior	T&B	Top and Bottom
FIN	Foundation	T&G	Top and Groove
FR	Finish Floor	TOW	Top of Wall
FT	Feet	TY	Typical
FUT	Future	UND	Underground
GA	Gallon	UNL	Unless Noted Otherwise
GALV	Galvanized	VERT	Vertical
GC	General Contractor	VB	Vapor Barrier
GP	General Wallboard	VENT	Ventilation
HW	Hardware	VF	Very n Field
HVC	Heating, Ventilating, and Air Conditioning	VTH	Vent through Field
HW	Hot Water	W	Width
INT	Interior	W/O	Without
INS	Insulation	W/C	Water-Cast
IPS	Inch per Foot	W	Wood
JST	Just	WGT	Weight
		WWF	Welded Wire Fabric

ZONING INFORMATION

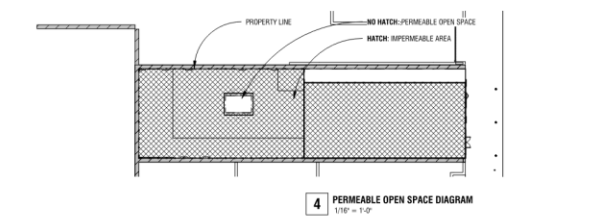
Boundaries:	N Rampart St, St Peter St, Burgundy St, Toulouse St
Zoning District:	VCC-2
Historic District:	None (City of New Orleans)
Overlays & CDDs:	Residential Short-Term Rental Interim Zoning District, Bar and Breakfast Interim Zoning District, Commercial Short-Term Rental Interim Zoning District
Parking Spaces Required:	0 (CDD 22.4.C)
Parking Spaces Provided:	0
Maximum Building Height:	50'
Lot Area:	2160 SF
Permeable Space Provided:	34 SF
Building Size:	2043
First Floor, Existing:	923
Second Floor, Existing:	923
First Floor, Proposed:	923
Second Floor, Proposed:	923
Second Floor, Existing:	923
Second Floor, Proposed:	923
Total Additional SF:	0
Total Proposed SF:	2760

PROJECT INFORMATION

Description: Renovation of an existing single family residence
Building Address: 622 N Rampart Street, New Orleans, LA 70112

PROJECT DIRECTORY

Owner: Empire Baroque LLC, 1130 Bourbon Street, New Orleans, LA 70116
Architect: Collectiv, LLC, 247 Poydras Street, New Orleans, LA 70115
Contractor: [Redacted]



COLLECTIV
147 Louisiana Avenue, New Orleans, LA 70115
504.232.6013
collectivnola.com

COMMISSION
ESTABLISHED 1938

622 N Rampart St, New Orleans, LA 70112

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Checked by: XX

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Project Info



Existing condenser on roof. Roof to be demolished, condenser to be relocated



Existing plumbing fixtures to be demolished



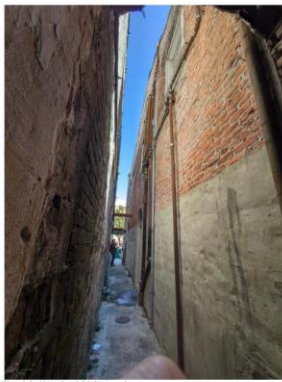
Courtyard roof to be demolished. Slab to be leveled and prepped for pavers.



Corner stud wall to be removed. Floor to be demised as needed to provide new footings along exterior.



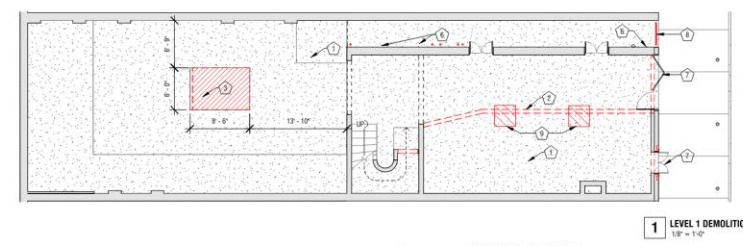
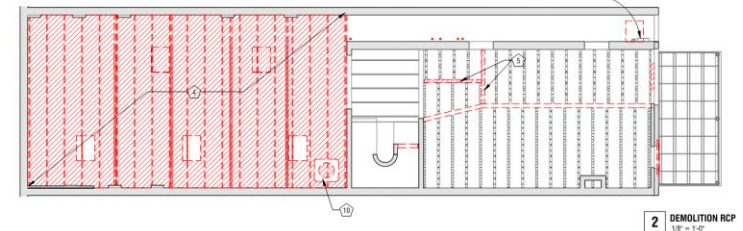
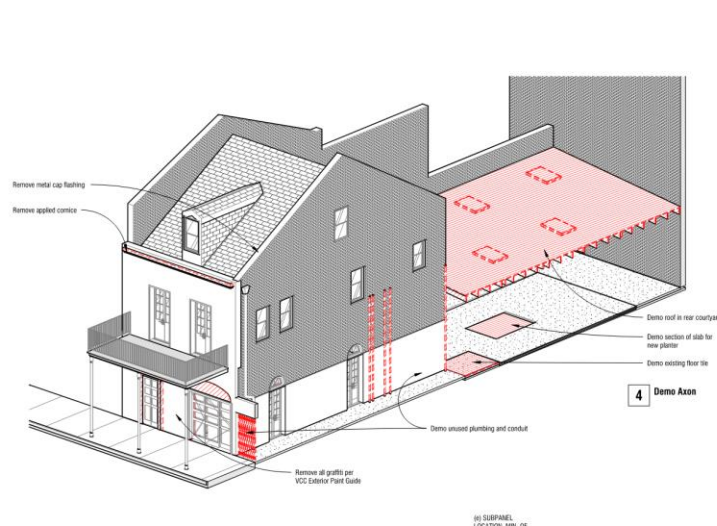
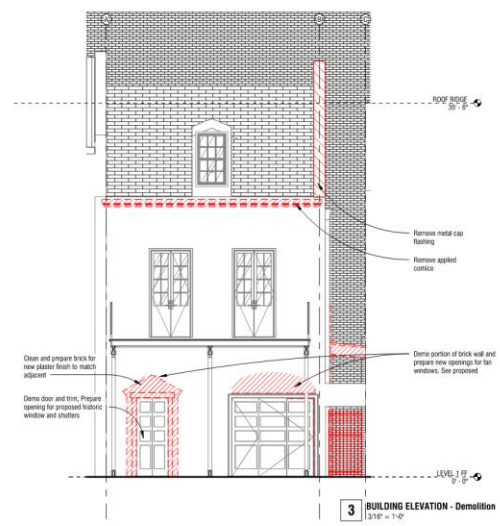
Cornice to be removed. Replace metal parapet cap flashing to be replaced with metal cap flashing per VCC standard details



Existing plumbing and conduit to be removed



Beams to be demolished per plans. GC to provide all necessary temporary bracing



DEMOLITION LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	TO BE DEMOLISHED

DEMOLITION NOTES

MARK	NOTE
1	Floor finish to be demolished
2	Roof framing to be demolished
3	Demolish portion of concrete slab for proposed planter
4	Demolish roof and roof framing
5	Demolish beams and replace with new. See proposed
6	Demolish unused plumbing and conduit
7	Demolish exterior door and trim. Prep for proposed windows and doors
8	Demolish metal caps
9	Demolish existing slab as needed to allow for new foundation work
10	Remove HVAC condenser to roof

GENERAL DEMOLITION NOTES

Contractor shall verify all dimensions and conditions shown on drawings at job site, and is to immediately notify Architect of any new findings, discrepancies, conditions, and/or conflicts prior to proceeding with Work.

Contractor shall be responsible for all temporary bracing and shoring during construction.

Demolition methods shall be solely the Contractor's responsibility.

Contractor to protect any adjoining structures from dirt & damage caused by demolition.

All work damage by the demolition shall be replaced by the Contractor at not cost to the Owner.

All salvaged material, unless noted otherwise, shall become the property of the Contractor and shall be evaluated in the Contractor's bid price.

All debris and salvagable materials shall be removed promptly from the construction site.

Carefully dismantle, store, and protect all material scheduled to remain or be reused. Locations for re-installation to be coordinated with the Owner.

Contractor is responsible for all demolition & removal of existing partitions, soffits, doors, frames, any mechanical, electrical, or plumbing equipment, wall treatments, floor coverings, etc. as necessary for the proper installation of new work.

Refer to Demolition Plan for other demolition notes.

Rampart St
 822 N Rampart St
 New Orleans, LA 70112

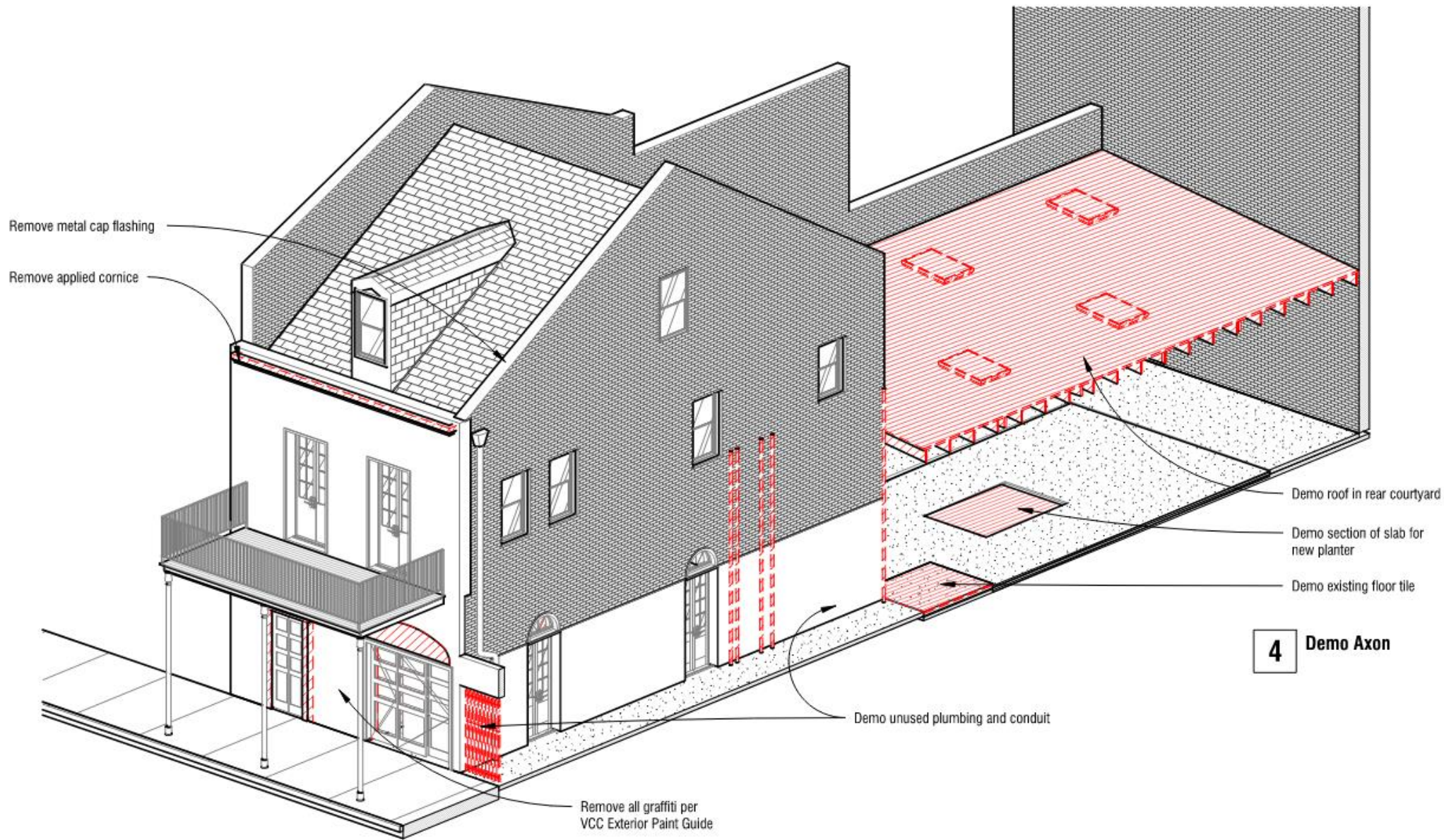
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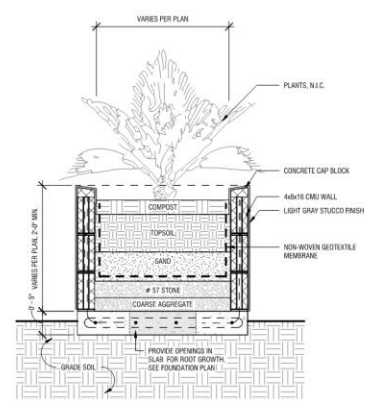
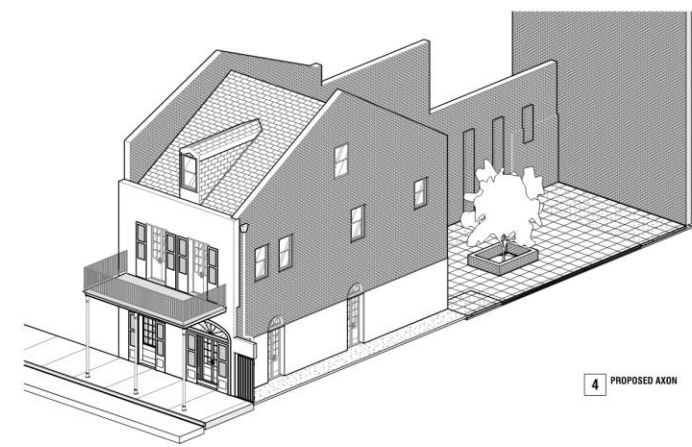
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 Demolition Plans

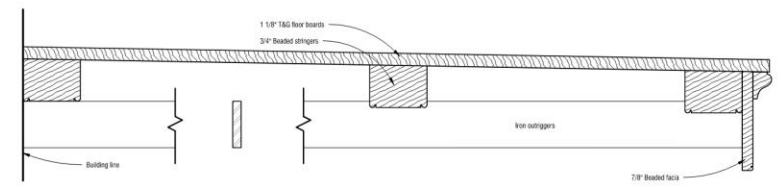


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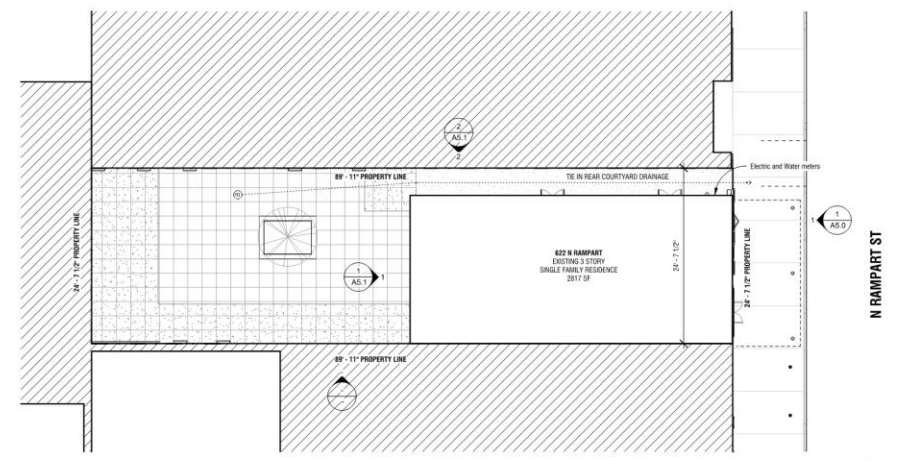




3 PLANTER DETAIL
 1" = 1'-0"



2 BALCONY DETAIL
 3/4" x 3/8" Dia and width stringers
 1" = 1'-0"



1 SITE PLAN
 1/8" = 1'-0"

SITE PLAN NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES, AND REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE STARTING CONSTRUCTION.

REFER TO THE BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAY OUT PROPERTY LINE.

CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY AGENCIES TO VERIFY THAT UTILITY SERVICES HAVE BEEN TERMINATED OR DISCONNECTED PRIOR TO REMOVAL OF STRUCTURES, WATER METERS, GAS METERS, ETC.

ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO REGULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO THE CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMANCE TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA.

THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY UTILITY DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION, GRADING, OR CONSTRUCTION ACTIVITY. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DAMAGES TO THE UTILITY ENTITIES.

CONTRACTOR SHALL FILL TRENCHES/VOIDS CREATED BY REMOVAL OF PIPES, DROP INLETS, TREES, STRUCTURES, ETC. WITH SELECT STRUCTURAL FILL.

CONTRACTOR SHALL CLEAR THE EXISTING GROUND SURFACE OF PAVEMENT, WALKWAYS, STAIRS, LOGS, TOPSOIL, STUMPS, LIMBS, LIMBS FULL, ORGANIC MATTER, DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS, STOPPING SHOULD BE TO A DEPTH NECESSARY TO REMOVE VEGETATION AND ROOTS AND REACH FIRM, UNDISTURBED SOIL.

Rampart St

622 N Rampart St
 New Orleans, LA 70112

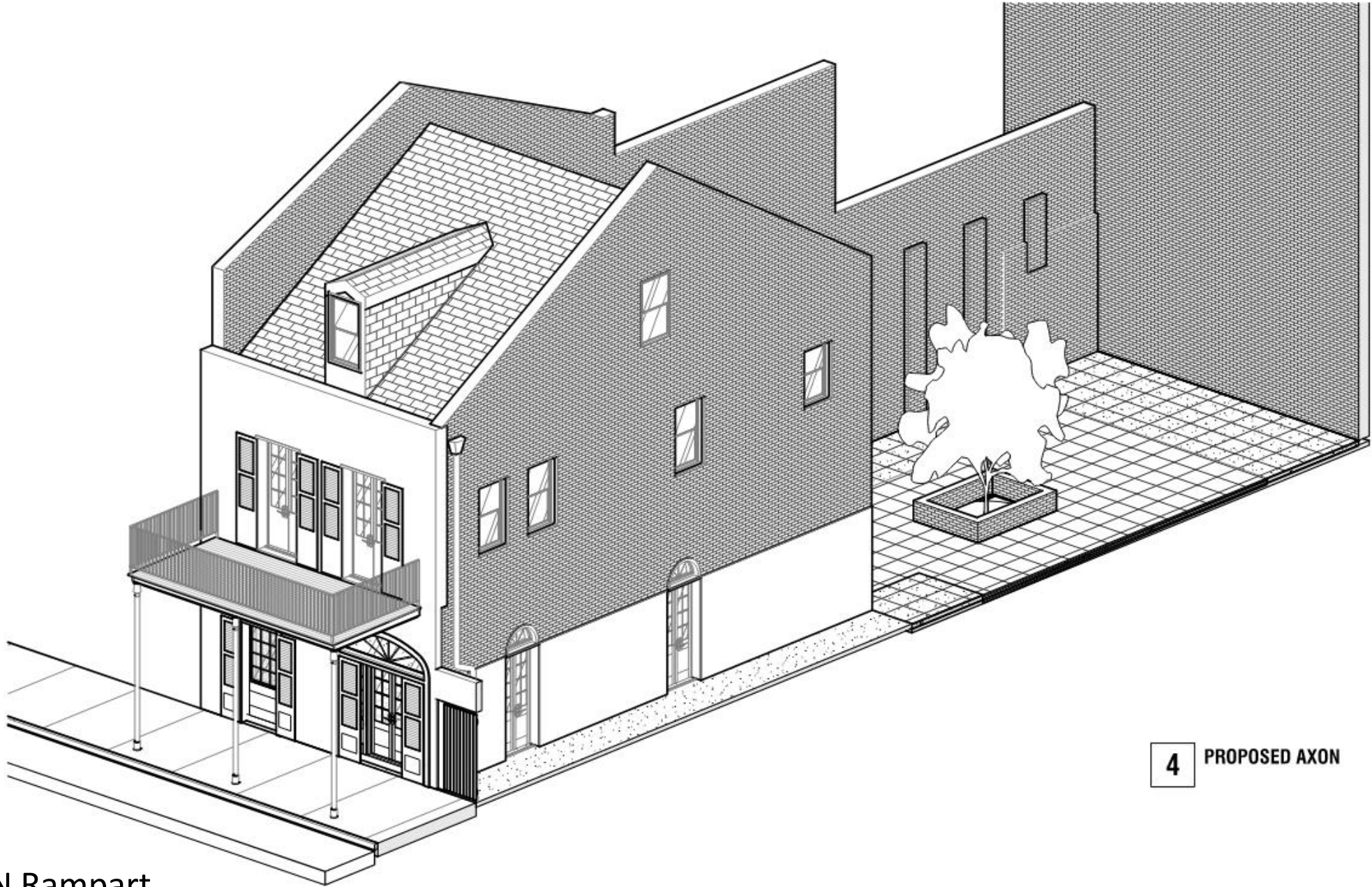


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ISSUE RELEASE SCHEDULE		
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 Proposed Site Plan



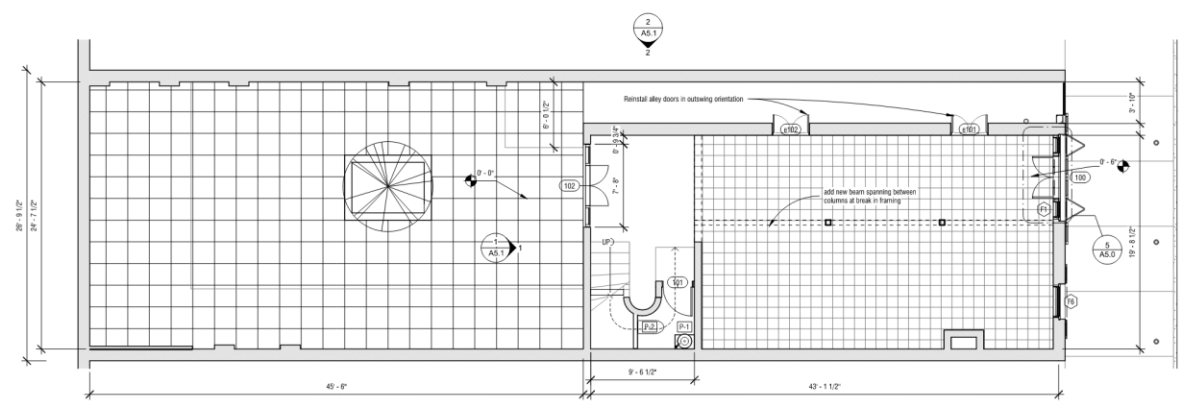
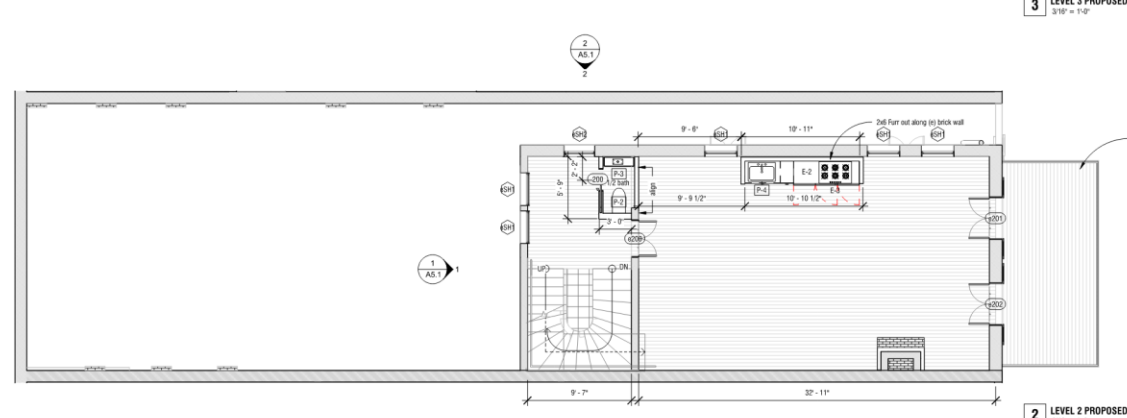
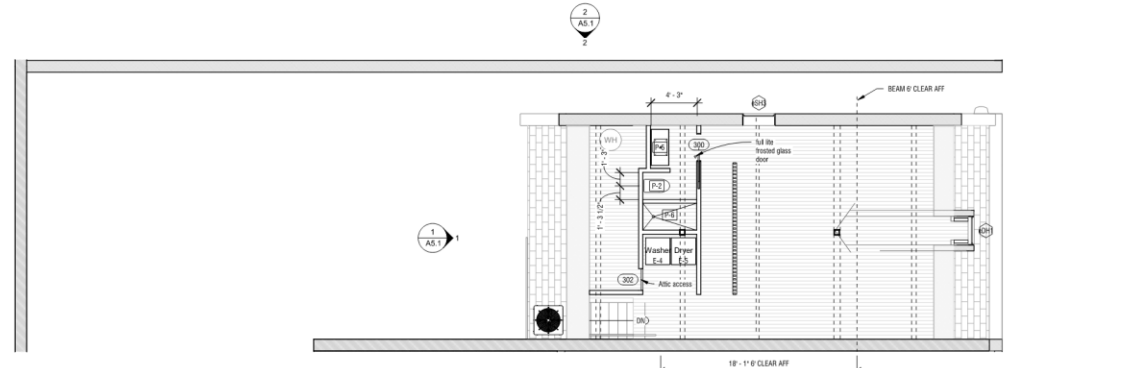


4 PROPOSED AXON



GENERAL NOTES

- NEW FRAMING DIMENSIONS TO FACE OF FRAMING U.N.O.
- WINDOW AND DOOR DIMENSIONS TO CENTERLINE.
- FINISH OF NEW WALLS TO ALIGN & MATCH EXIS. ADJACENT, U.N.O.
- NEW EXTERIOR WALLS: TYPE A U.N.O.
- NEW INTERIOR WALLS: TYPE U.N.O.
- NEW PLUMBING WALLS: TYPE C U.N.O.
- INTERIOR SHEAR WALLS TO HAVE 7/16" PLYWOOD ON EACH SIDE
- 1. IF ANY CONFLICT IN DRAWING IS DISCOVERED IMMEDIATELY ALERT ARCHITECT PRIOR TO CONSTRUCTION.
- 2. IF ANY DRAWING/DETAIL DOES NOT CONTAIN SUFFICIENT INFORMATION FOR GC/SUB TO EXECUTE THE DESIGN INTENT IMMEDIATELY NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECT WILL PROVIDE ADDITIONAL INFO IF NEEDED.
- 3. REVIEW EXISTING WALLS, CEILING, STUDS, PIER, ETC. FOR CRACKS, REPAIR AS REQUIRED TO APPEAR AS NEW.
- 4. SALVAGE EXISTING WOOD FLOORS FOR POTENTIAL RE-USE.
- 5. ALL INTERIOR TRIM, SKEWAL, FLOORING, ETC TO BE NEW.
- 6. PAINT ALL WALLS, CEILING, TRIM, WINDOWS, AND DOORS THROUGHOUT MAIN HOUSE. PROVIDE MOCK-UP ON WALLS IN EACH ROOM FOR REVIEW AND APPROVAL BY INTERIOR DESIGNER/ARCHITECT.
- 7. ARCHITECT MAY REQUEST SHOP DRAWINGS AND/OR MOCKUPS FOR CUSTOM DESIGNED AREAS, SUCH AS BUT NOT LIMITED TO: DOORS, WINDOWS, FRAMWORK, CURVED STEAR, CUSTOM CABINERY, ETC.
- 8. GC TO COORDINATE PRE-INSTALLATION MEETINGS WITH SUB-CONTRACTORS AND ARCHITECT FOR HIGHLY DESIGNED OR CUSTOM-BUILT COMPONENTS, INCLUDING BUT NOT LIMITED TO THOSE MENTIONED IN #7. ARCHITECT MAY REQUEST MOCKUPS OF ANY CUSTOM FABRICATED AREAS SHOWN IN DETAILS.
- 9. GC TO PROVIDE SUBMITTALS FOR ALL EXTERIOR AND INTERIOR MATERIALS. SUBMITTALS SHOULD INCLUDE PHYSICAL MATERIAL SAMPLES, SHOP DRAWINGS, MOCKUPS, ETC.
- 10. GC TO SOURCE ALL MATERIAL OPTIONS FOR ANY REQUESTED SUBMITTALS ABOVE (#8) UNLESS SPECIFICALLY PROVIDED BY OR CALLED OUT IN DRAWINGS TO BE SOURCED BY ARCHITECT OR OWNER.
- 11. THE ARCHITECT DOES NOT CARRY THE RESPONSIBILITY OF SOURCING SUB-CONTRACTORS OR MATERIALS, SUPPLIES, UNLESS ARCHITECT/OWNER PREVIOUSLY SPECIFIED RECOMMENDATIONS FOR PREFERRED SUB-CONTRACTORS OR SUPPLIERS.
- 12. INSTALL NEW BATH ACCESSORY WALLS/HARDWARE AT EVERY BATHROOM IN SCOPE. PROVIDE BLOCKING IN WALL FOR ACCESSORIES. SEE INTERIOR ELEVATIONS AND/OR COORDINATE WITH ARCHITECT & OWNER IN FIELD BEFORE CLOSING WALLS.
- 13. PROVIDE BLOCKING IN WALL FOR FUTURE ACCESSORIES, INCLUDING ACCESSORIES NOT SPECIFICALLY PROVIDED BY OR INSTALLED BY GC'S DECORATIVE MIRRORS, HEAVY ARTWORK, TV'S, ETC. BEFORE CLOSING ANY WALLS.
- 14. REPAIR OR REPLACE ALL EXISTING PLUMBING AS REQUIRED.
- 15. COORDINATE ANY EXTERIOR PLUMBING AND ELECTRICAL WITH FUTURE POOL AND LANDSCAPE DESIGN. PER LANDSCAPE ARCHITECT.
- 16. SALVAGE ANY HISTORIC ELEMENTS, TRIM, FIXTURES, ETC TO BE EITHER RE-USED OR DONATED.
- 17. ALL DIMENSIONS OF EXISTING BUILDING ELEMENTS ARE TO FACE OF FINISHED SURFACE, UNLESS OTHERWISE NOTED.
- 18. SEE FINISH SCHEDULE FOR ADDITIONAL SCOPE NOT IDENTIFIED ON PLAN.
- 19. SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE NOT IDENTIFIED ON PLAN.
- 20. SEE REFLECTED CEILING PLAN FOR LIGHTING AND CEILING DESIGN COMPONENTS, MATERIAL TYPE/DIRECTION, ETC.
- 21. ALL WINDOWS AND DOORS TO BE NEW ALUMINUM CLAD WOOD. PROVIDE SUBMITTAL FOR ARCHITECTS REVIEW.
- 22. ALL NEW PLUMBING FIXTURES TO BE PROVIDED AND INSTALLED BY GC.
- 23. PROTECT ALL BUILDING ELEMENTS THROUGHOUT THE CONSTRUCTION PROCESS FROM DAMAGE AND WEATHER.
- 24. NEW HARDWARE TO BE INSTALLED THROUGHOUT. COORDINATE SELECTIONS WITH ARCHITECT & OWNER.
- 25. PROVIDE A WHOLE HOUSE WATER SOFTENING SYSTEM.
- 26. LANDSCAPE AND EXTERIOR HARDSCAPE IS NOT IN SCOPE OF ARCHITECT AND WILL BE FILED FOR UNDER A SEPARATE PERMIT.
- 27. LANDSCAPE ARCHITECT TO PROVIDE DRAINAGE PLAN. TIE ALL DOWNSPOUTS INTO SUBSURFACE DRAINAGE AT REAR AND SIDES OF HOUSE.
- 28. ALL GUTTERS AND DOWNSPOUTS TO BE MADE OF REAL COPPER.
- 29. ALL EXTERIOR FLASHING TO BE REAL COPPER.
- 30. COORDINATE TILE AND STONE INSTALLATIONS CAREFULLY WITH ARCHITECT. ARCHITECT CAN PROVIDE ADDITIONAL ADVICE IF NECESSARY TO ACHIEVE DESIGN INTENT.
- 31. GC TO TAKE NOTE OF ANY SPECIALTY ITEMS/MATERIALS IDENTIFIED IN PLANS THAT MAY HAVE LONG LEAD TIMES PRIOR TO CONSTRUCTION TO AVOID DESIGN CHANGES AND/OR SUBSTITUTION REQUESTS DURING CONSTRUCTION.
- 32. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO CONSTRUCTION.
- 33. PROVIDE A GALVANIZED METAL PAN WITH DRAIN AT WATER HEATER AND A/C EVAPORATOR LOCATIONS AND A WASH PAN WITH DRAIN BEHIND WASHING MACHINES LOCATED ABOVE THE FIRST FLOOR. CONTRACTOR TO VERIFY LOCATION OF DRP PAN DRAIN PIPE WITH OWNER.
- 34. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING, FRAMING, AND FOUNDATION REFORMATION.
- 35. PROVIDE SOLID BLOCKING OVER AND UNDER ALL WALLS.
- 36. PROVIDE SOLID FIRE BLOCKING AT JUNCTIONS OF WALLS.
- 37. HVAC CONTRACTOR TO PRODUCE A LOAD CALCULATIONS FOR THE ENTIRE HOME TO DETERMINE THE HEATING/AC CONDENSING LOAD.



WALL LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- - - 1 HR FIRE-RATED WALL
- - - SHEAR WALL, SHEATH BOTH SIDES
- ▨ ACUSTIC INSULATION IN INTERIOR WALL CAVITY



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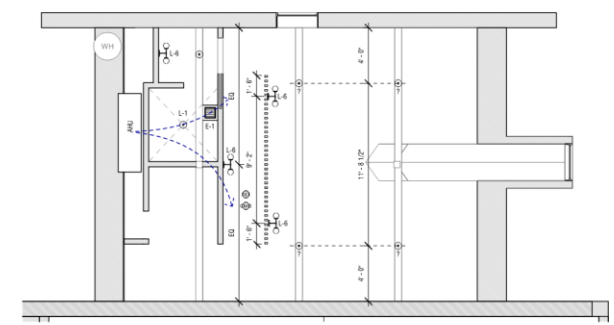
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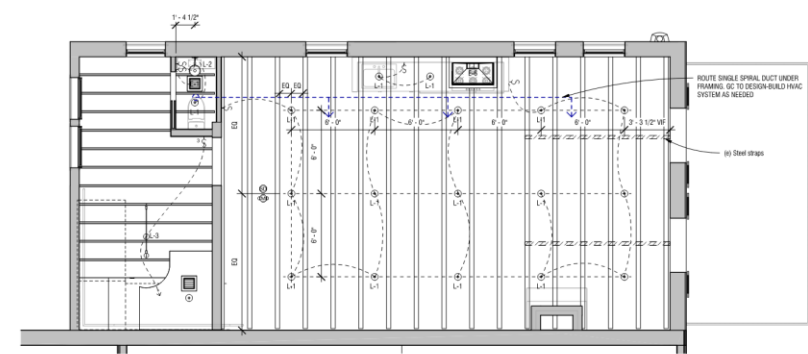
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Floor Plan - Option 1

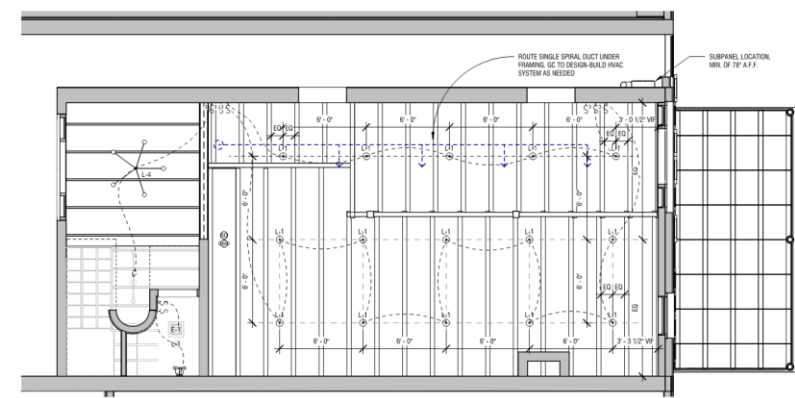




3 RCP & ELECTRICAL LEVEL 3
 1/4" = 1'-0"



2 RCP & ELECTRICAL LEVEL 2
 1/4" = 1'-0"



1 RCP & ELECTRICAL LEVEL 1
 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- AIR RETURN
- SMOKE DETECTOR
- CARBON MONOXIDE & SMOKE DETECTOR
- SWITCH
- DIMMER
- 3-WAY SWITCH
- MOTION DETECTOR
- PROGRAMMABLE THERMOSTAT
- MECHANICAL DUCT
- MECHANICAL - VERTICAL CHASE

MECHANICAL & PLUMBING EQUIPMENT SCHEDULE

MARK	COUNT	DESCRIPTION	COMMENTS
CD-1	1	CONDENSER	

CEILING/ELECTRICAL FIXTURE SCHEDULE

MARK	COUNT	DESCRIPTION	BASIS OF DESIGN	FINISH	COMMENTS
CD-2	2	CARBON MONOXIDE DETECTOR			
W-1	2	CONCEAL WIRING OR VENT			
L-1	24	SURFACE MOUNT DOWNLIGHT			
L-2	1	BATHROOM SCIENCE			
L-3	1	STAIR PENDANT			
L-4	1	SWITCH			
L-5	1	VANITY WALL SCIENCE - PRIMARY BATHROOM			
SD	2	SMOKE DETECTOR			
SP-1	1	SUBPANEL			

ELECTRICAL NOTES

GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD ELECTRICAL SERVICES FOR PROJECT. WORK TO COMPLY WITH ALL APPLICABLE CODES AND BE PERFORMED BY APPROPRIATELY LICENSED INDIVIDUALS.

ELECTRIC POWER INFORMATION SHOWN ON PLANS IS TO INDICATE BASIC INTENT AND SPECIFIC CONDITIONS ONLY. ELEC. SUBCONTRACTOR RESPONSIBLE FOR PROVIDING ALL CODE REQUIRED LIGHTING, EXT. SIGNAGE, OUTLETS AND POWER TO EQUIPMENT, FIXTURES, LIGHTING, ETC. FOR A COMPLETE SYSTEM.

SMOKE DETECTORS SHALL BE PROVIDED OUTSIDE SLEEPING AREAS AND INSIDE EACH BEDROOM AS REQUIRED BY SEC. 403.4 IRC 2021 ED. SMOKE DETECTORS SHALL BE 120V WIREWOUND, INTERCONNECTED WITH A BATTERY BACKUP AND SHALL NOT BE INSTALLED WITHIN 36 INCHES OF A RETURN GRILLE OR ANY PROXIE FAN BLADE.

CARBON MONOXIDE DETECTORS: APPROVED CARBON MONOXIDE DETECTORS SHALL BE PROVIDED OUTSIDE EACH SEPARATE SLEEPING AREA FOR ANY DWELLING WITH AN ATTACHED GARAGE OR FUEL-BURNING APPLIANCE.

LIGHTING LAYOUT SHOWN ON PLANS IS TO DESCRIBE DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO PROVIDE ALL RECEPTACLES AT STANDARD LOCATIONS & INTERIORS NOT SHOWN ON PLANS. CODE REQUIRED LIGHTING, EXT. SIGNAGE, ETC. FINAL LIGHTING FIXTURE SELECTIONS & LAYOUT TO BE COORDINATED WITH OWNER.

KITCHEN: ALL RECEPTACLES OVER COUNTERTOP SHALL BE GFI PROTECTED REGARDLESS OF DISTANCE FROM THE SINK. THE DISHWASHER SHALL BE CONNECTED BY MEANS OF AN APPLIANCE CORD TO A RECEPTACLE UNDER THE SINK. THE RECEPTACLE WILL NOT BE GFI PROTECTED.

BATHROOMS: ALL RECEPTACLES SHALL BE GFI PROTECTED. LIGHTS OVER BATHING SHALL HAVE COVERS THAT ARE LISTED FOR "DAMP LOCATIONS". LIGHTS OVER SHOWERS SHALL HAVE COVERS LISTED FOR "WET LOCATIONS" WHERE TOILET ROOMS AND BATHROOMS ARE MECHANICALLY VENTILATED. THE VENTILATION EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1507 OF THE IRC 2015 ED.

#10 PROTECTION SHALL BE PROVIDED FOR DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, HALLWAYS, CLOSETS ETC.

EXTERIOR RECEPTACLES SHALL BE GFI PROTECTED AND SHALL HAVE WEATHERPROOF COVERS.

VENTY LOCATION AND POWER REQUIREMENTS OF ANY LOW-VOLTAGE SYSTEMS.

PROVIDE DEDICATED CIRCUITS FOR ALL A.V. EQUIPMENT.

GC TO PROVIDE CAT5 AND DATA CONNECTION AT LOCATIONS INDICATED ON PLANS. DATA CABLING TO BE CAT5E OR BETTER.

RECEPTACLES, SWITCHES AND ALL OUTLET BOX COVERS TO BE WHITE UNK.

SWITCH & OUTLET STYLE AND COLOR TO BE SELECTED BY ARCHITECT AND OWNER.

ALL OUTLETS TO BE HORIZONTAL AND CENTERED ON FLAT PORTION OF BASEBOARD TRIM UNLESS OTHERWISE NOTED.

COORDINATE ALL RECESSED LIGHT HOUSING LOCATIONS WITH ARCHITECT IN FIELD PRIOR TO FINISHING SO ALIGNMENTS CAN BE COORDINATED.

OUTLETS: SHOWN ARE FOR OWNER USE - SEE INTERIOR ELEVATIONS FOR SPECIFIC LOCATION. ELECTRICIAN TO LOCATE ALL NEW OUTLETS PER CODE.

ELECTRICIAN SHALL VERIFY SWITCH AND OUTLET LOCATIONS W/ ARCHITECT PRIOR TO START OF INSTALLATION.

PROVIDE SUBMOUNTS OF ALL LIGHT FIXTURES, FANS, AND SWITCHES FOR ARCHITECT'S REVIEW PRIOR TO THE START OF CONSTRUCTION. COORDINATE SELECTIONS WITH OWNER, TYP.

ALL WALL-MOUNTED PICTURE LIGHTS, SCENES, AND DECORATIVE FIXTURES TO BE LOCATED IN THE FIELD WITH ARCHITECT.

ROUTE SINGLE SPIRAL DUCT UNDER FRAMING, GC TO DESIGN-BUILD HVAC SYSTEM AS NEEDED.

SUBPANEL LOCATION, MIN. OF 7'0" A.F.F.

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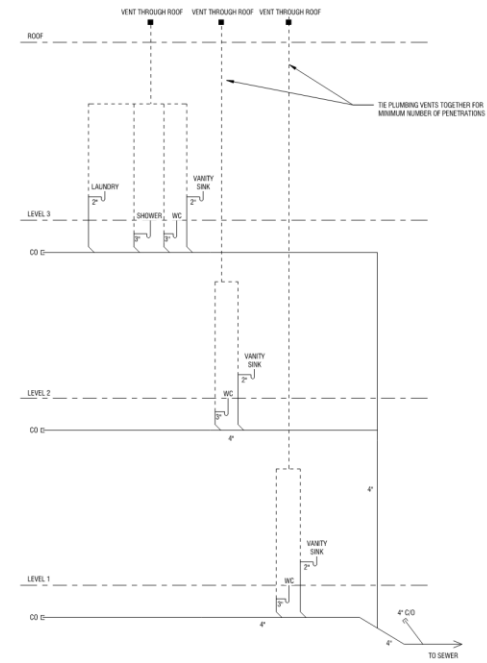
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 Reflected Ceiling Plans





- NOTES**
- PROVIDE WASTE & VENT LINES AS REQUIRED.
 - PPE & VENT SIZES ARE ENGRAVIMATIC. FINAL SIZING & COORDINATION TO BE PERFORMED DESIGN/BUILD IN FIELD.
 - HW & CW SUPPLY ROUTING & SIZE TO BE PERFORMED DESIGN/BUILD IN FIELD.

3 PLUMBING RISER DIAGRAM
 1" = 1'-0"

MECHANICAL NOTES

GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD MECHANICAL SERVICES FOR PROJECT. ORGANIZATION AND LAYOUT IN ARCHITECTURAL PLANS IS SUGGESTIVE ONLY. DETAILS AND SYSTEM TYPE TO BE COORDINATED WITH DESIGN BY HVAC SUBCONTRACTOR.

WORK TO COMPLY WITH ALL APPLICABLE CODES INCLUDING 2021 IECC AND BE PERFORMED BY APPROPRIATELY LICENSED INDIVIDUALS.

WORK TO BE SUBMITTED TO ARCHITECT TO REVIEW FOR CONFORMANCE WITH DESIGN REQUIREMENTS.

HVAC GRILLES SHOWN IN DESIRED LOCATIONS. COORDINATE WITH EXISTING FRAMING - VERIFY IN FIELD W/ ARCHITECT.

HVAC GRILLE SIZES TO BE DETERMINED BY HVAC SUBCONTRACTOR. STYLE OF GRILLES TO BE SUBMITTED TO ARCHITECT AND OWNER FOR REVIEW/APPROVAL.

IT IS INTENDED THAT ALL OCCUPIED SPACES ARE TO BE CONDITIONED.

IF REQUIRED, GC IS RESPONSIBLE FOR PROVIDING ALL NECESSARY BLOCKING, COPING AND/OR FIRE CALKING AS NEEDED TO PROVIDE RESISTANCE TO FIRE AND SMOKE RESISTANCE RATING AT ALL FLOOR, WALL AND ROOF ASSEMBLIES AND PENETRATIONS PER CODE REQUIREMENTS.

SUPPLY AND RETURN DUCTS IN ATTICS INSULATED @ 1/2" R-8 WHEN DUCT DIA < 3" AND 3/4" R-8 WHEN DIA < 3".

AUTOMATIC OR GRAVITY DAMPERS TO BE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS OR MECHANICAL VENTILATION SYSTEMS.

DUCT SEALING: DUCTS TO BE PRESSURE TESTED IN ACCORDANCE WITH AMERICAN TCC 300 OR ASTM E 284 TO DETERMINE AIR LEAKAGE AT EITHER ROUGH-IN OR POSTCONSTRUCTION. TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 1" W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR WINDUP ENCLOSURE IF INSTALLED AT TIME OF TEST.

DUCT TIGHTNESS TEST RESULT < 4 CFM/100 SF. ADDRESS THE SYSTEM OR < 3 CFM/100 SF WITHOUT AIR HANDLER @ 25 PA. DUCT TIGHTNESS < 8 CFM/100 SF FOR DUCTS WITHIN THERMAL ENVELOPE. FOR ROUGH-IN TESTS, VERIFICATION MAY NEED TO OCCUR DURING FRAMING PROTECTION.

BLOWER DOOR TEST @ 50 PA < 5.0 ACH.

PLUMBING NOTES

GENERAL CONTRACTOR RESPONSIBLE FOR PROVIDING DESIGN/BUILD PLUMBING SERVICES FOR PROJECT. ORGANIZATION AND LAYOUT IN ARCHITECTURAL PLANS IS SUGGESTIVE ONLY. DETAILS AND SYSTEM TYPE TO BE COORDINATED WITH DESIGN BY HVAC SUBCONTRACTOR.

SEE FLOOR PLAN FOR BASIC PLUMBING FIXTURES. NOT ALL EQUIPMENT AND FIXTURES ARE SHOWN OR NOTED.

PLUMBING CONTRACTOR TO PROVIDE ALL NECESSARY PARTS AND EQUIPMENT FOR COMPLETE INSTALLATION.

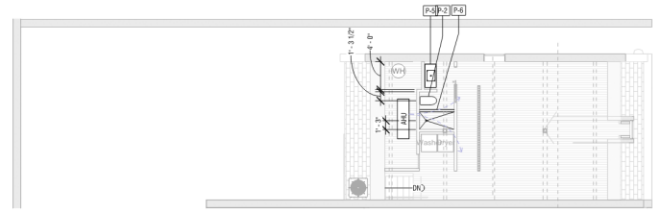
HOT WATER AND DRAIN PIPES SHALL BE INSULATED TO R-3 OR OTHERWISE CONFIGURED TO PRETECT AGAINST CONTACT.

THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

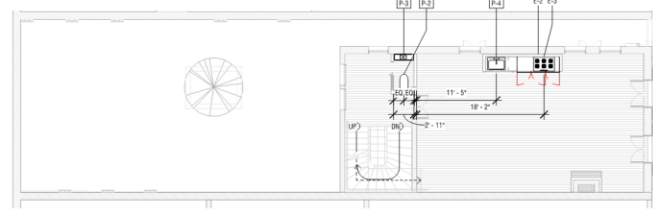
WASTE LINES AND VENTS P V C SCH 40. SUPPLY LINES TO BE PER. PRESSURE TEST SYSTEM PRIOR TO CONCEALMENT.

CONTRACTOR SHALL PROVIDE SUFFICIENT FRESH AIR AND COMBUSTION AIR FOR GAS FUELED EQUIPMENT.

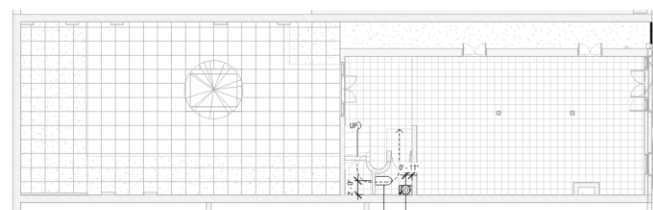
ALL EXTERIOR HISS BOSS TO BE FREEZE PROOF TYPE.



4 LEVEL 3 MECHANICAL AND PLUMBING
 1/8" = 1'-0"



2 LEVEL 2 MECHANICAL & PLUMBING
 1/8" = 1'-0"



1 LEVEL 1 MECHANICAL & PLUMBING
 1/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	COUNT	BASE OF DESIGN	FINISH	COMMENTS
P-1	Vanity Sink - LEVEL 1	1			
P-2	Toilet	4	Glacier Bay Model #N420		
P-3	Vanity Sink - LEVEL 2	1			
P-4	Kitchen Sink	1			
P-5	Vanity Sink - LEVEL 3	1			
P-6	Shower	1			

APPLIANCE SCHEDULE

MARK	COUNT	DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
E-1	1	UNDERCOUNTER REFRIGERATOR	Tubor Air	MBUR-72		
E-2	1	COOKTOP				
E-3	1	FRONT LOAD WASHER				
E-4	1	FRONT LOAD DRYER				
E-5	1	RANGE HOOD				

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 Mechanical & Plumbing Plans



STRUCTURAL NOTES

CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION METHODS, SEQUENCES AND SAFETY PRECAUTIONS, INCLUDING BUT NOT LIMITED TO SHOWING AND TEMPORARY BRACING.

OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM. IF CERTAIN FEATURES ARE NOT FULLY ELUCIDATED IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE ELUCIDATED.

THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOADS IMPOSED UPON THE STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.

THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.

DESIGN BASIS BASED UPON 2015 INTERNATIONAL BUILDING CODE (IBC), NEW ORLEANS AMENDMENTS, ICC-ES AT 17-1-1998. DESIGN LOADS IN ACCORDANCE WITH BS 2015.

DESIGN LIVE LOAD:
FLOORS: 40PSF
ROOF: 20PSF
ULT. DESIGN WIND SPEED: 140MPH
ASSUMED SOIL CAPACITY: 1,000 PSF

MATERIALS

EARTHWORK
PLACE FOOTINGS ON UNDISTURBED SOIL. NOTIFY THE ARCHITECT IF SOFT SPOTS, UNDERGROUND OBSTRUCTIONS OR ANY OTHER CONDITIONS ARE ENCOUNTERED DURING STRIPPING, EXCAVATION OR FILLING.

TERMINATE PROTECTION SHALL BE PROVIDED AS REQUIRED BY SEC. R310 IRC 2021 ED. (GENERAL TRENCH TREATMENT)

BENEATH SLABS, FOOTINGS, AND DRIVES, ALL FILL SHALL BE FREE OF TREES, ROOTS, MASONRY, AND ALL OTHER DELETERIOUS MATERIAL. FILL SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS AND SHALL BE COMPACTED TO THE BEST WORKMANLIKE DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.

SETTLEMENT OF SLABS ON FILL, SUCH AS DRIVES OR PARKING AREAS, SHOULD BE EXPECTED.

CONCRETE
ALL CONCRETE WORK SHALL CONFORM TO ACI 308 SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS AND MEET THE FOLLOWING REQUIREMENTS:
CONCRETE TYPE: TYPE I CEMENT ASTM C 150, NORMAL WEIGHT AGGREGATE ASTM C 33, 3000 PSI AT 28 DAYS, 3" FILLING
REINFORCING STEEL: ASTM A615 GRADE 60, WELDED WIRE FABRIC ASTM A185
REINFORCING STEEL LATH: EXCEPT AS NOTED OTHERWISE, WELDED CONTINUOUS REINFORCING IS SPECIFIED. HOOK BARS AT NON-CONTINUOUS ENDS.
LAP BAR SPACES AS INDICATED:
#1: 1'-0"
#2: 2'-0"
WELDED WIRE FABRIC - ONE SPACING PLUS 6"
PROVIDE 1" TOP COVER, 3" BOTTOM COVER FOR GRADE BEAM REINFORCING.

WOOD FRAMING
ALL PILES MIN 30' ANSI CLASS 5 TRIMMER, MIN 1 1/2" DIAMETER, MIN BUTT 8" DIAMETER, MIN 25' PENETRATION, IF NOT, CONTACT ARCHITECT.

CONCRETE MASONRY UNITS
ALL CONCRETE MASONRY WORK SHALL CONFORM TO ACI 530.3-1-20 BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES.
CONCRETE MASONRY UNITS: ASTM C90, GRADE N-1
MORTAR: ASTM C270, TYPE "M" OR "S"
GROUT: ASTM C476, 3000 PSI MINIMUM COMPRESSIVE STRENGTH, PEA GRAVEL, MIX, 5" MINIMUM SLAG
REINFORCING STEEL: ASTM A615 GRADE 60, WIRE STEEL SHALL BE ASTM A62.
LAP SPICE REINFORCING AS INDICATED BELOW:
#1: 2'-0"
#2: 2'-0"
WIRE JOINT REINFORCING: 1'-0"
THE MASONRY ASSEMBLY SHALL ACHIEVE A UNIT STRENGTH (FM) = 1500 PSI. SEE DRAWINGS FOR COURSEWORK TYPE.

WOOD FRAMING
ALL WOOD FRAMING FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NDS, THE PLWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS BELOW. UNLESS NOTED OTHERWISE ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE INTERNATIONAL BUILDING CODE.

ALL LUMBER AND PLWOOD SHALL BE IDENTIFIED BY OFFICIAL GRADE MARK AND SHALL BE THE FOLLOWING GRADE:
STUDS: #2 PIR OR DVP 2x6 PLATES, FLOORING, JOISTS: RAFTERS: #2 PIR OR DVP 2x6 PLATES IN CONTACT WITH CONCRETE; #2 DVP CELLULOSE
FRAMING LUMBER SHALL BE THE FOLLOWING MINIMAL NOMINAL SIZES:
EXTERIOR WALLS: 2x6 STUDS @ 16" O.C. PIR OR DVP
INTERIOR PARTITIONS: 2x4 @ 16" O.C. PIR OR DVP
BASE PLATES: 2x THICKNESS OF WALL, PIR OR DVP
JOISTS: SEE PLAN FOR SIZES.
BRIDGING SHALL BE SOLID AND THE SAME DEPTH AS THE JOIST. 8" MAX SPACING OF BRIDGING LINES.
PROVIDE HURRICANE CLIPS AT ALT. VERTICAL STUDS SECURED TO THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH 618.1 IRC 2021 ED.
TOP PLATES WILL BE SECURED TO EACH OTHER AT EVERY 18" O.C. PROVIDE HURRICANE CLIPS AT ALTERNATE RAFTER SECURING RAFTERS TO WALL FRAMING.
JOIST NOTCHES MAY OCCUR IN THE TOP OR BOTTOM, BUT MAY NOT BE LOCATED IN THE CENTER ONE THIRD OF THE SPAN. A NOTCH MAY NOT EXCEED ONE SIXTH THE ACTUAL DEPTH OF THE JOIST EXCEPT AT THE VERY ENDS, WHERE IT MAY BE ONE FOURTH THE WIDTH OF THE JOIST. JOIST NOTCHES SHALL NOT BE DEEPER THAN THE DEPTH OF THE JOIST AND MUST NOT BE WITHIN TWO INCHES OF BOTTOM EDGE.
IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CILING ASSEMBLY, DRIFT STUDS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. (IRC 2021 SECTION R307.1)

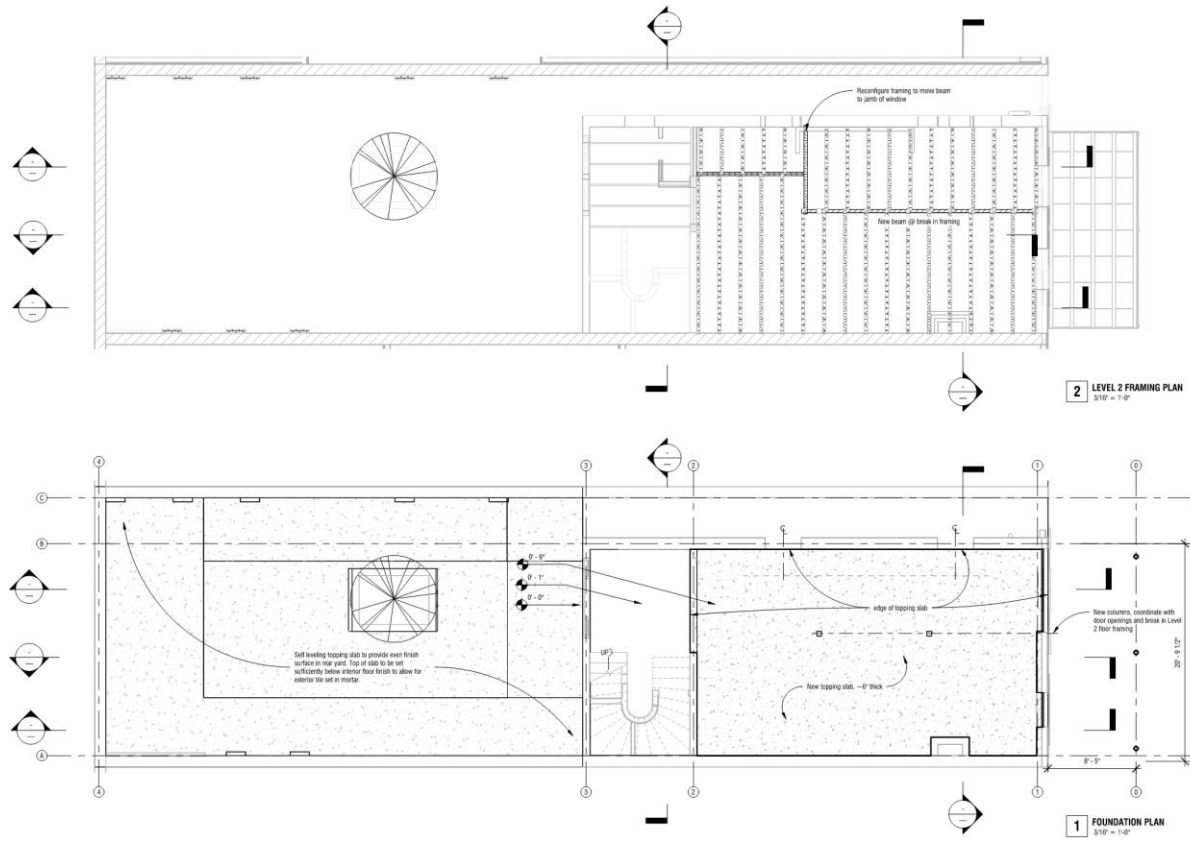
FLOOR DECKING
APA RATED 3/4" TALL PLWOOD OR 1/4" SOLID TYPED FLOOR DECKING, NAIL WITH 80 NAILS SPACED AS 6" O.C. AT PANEL ENDS AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCCING AT ALL PANEL EDGES.

ROOF DECKING
SHALL BE 5/8" W/ 2" OX PLWOOD WITH EXTERIOR GLUE APPLIED OVER ROOF WITH 7x4 CLS. NAIL WITH 100 NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCCING AT ALL PANEL EDGES.

WALL SHEATHING
PROVIDE 1/2" PLWOOD OR 1/4" WINDUARD SHEATHING ON ALL EXTERIOR WALLS. NAIL PLWOOD EDGES WITH 100 NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE BLOCCING AT ALL PANEL EDGES. THE INSTALLATION OF PLWOOD SHEATHING ON EXTERIOR WALLS SHALL BE INSTALLED IN ORDER TO PROVIDE SHEAR WALL ON EXTERIOR OF BUILDING.

GYPSUM WALL BOARD
SHALL BE 1/2" THICKNESS AT WALLS AND 5/8" THICKNESS AT CEILING, 48" WIDE AND OF GREATEST POSSIBLE LENGTHS.

page size: 24" x 36" Do not scale drawings.



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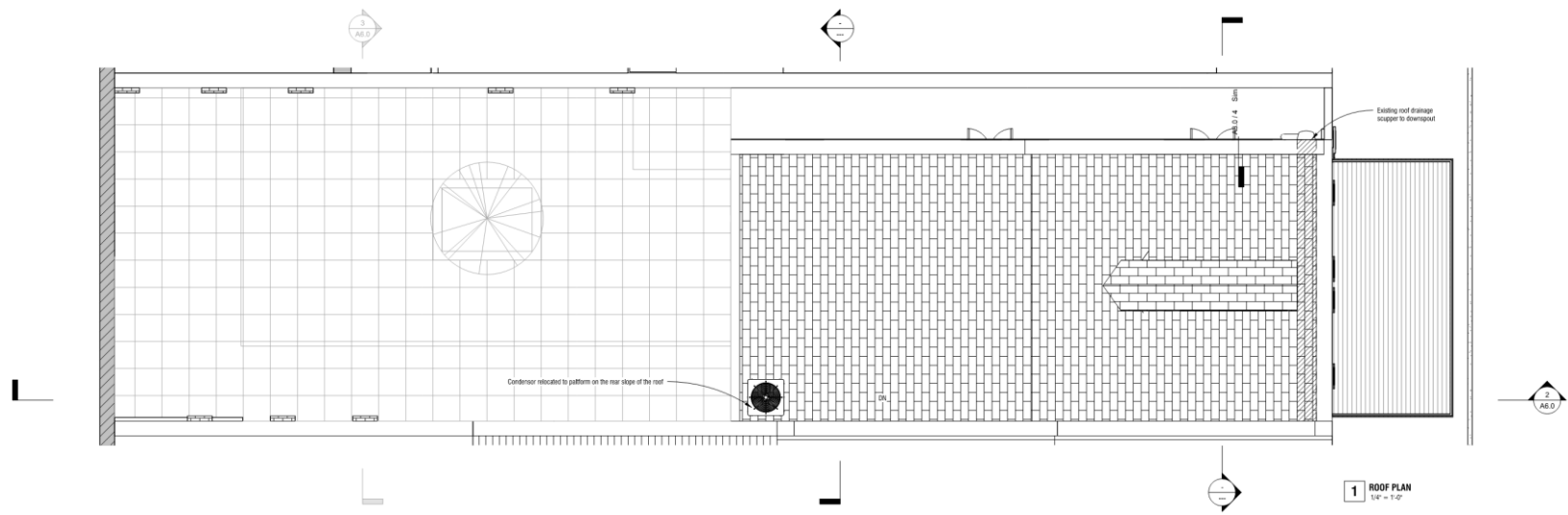


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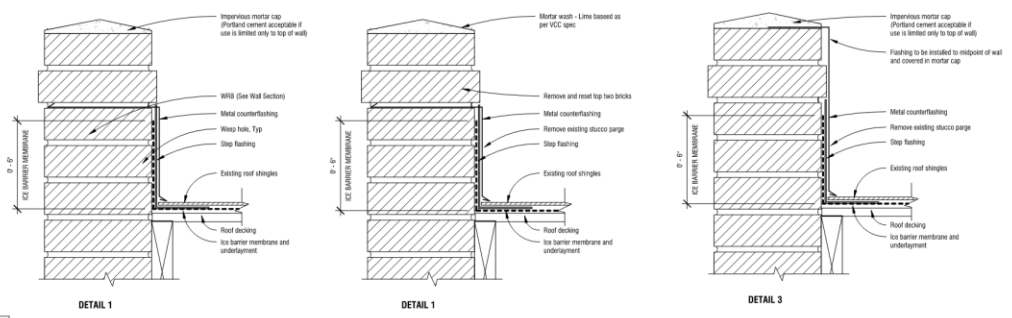
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Foundation & Framing Plans





1 ROOF PLAN
 1/4" = 1'-0"



4 MORTAR CAP FLASHING - VCC
 3/4" = 1'-0"

base size: 24" x 36". Do not scale drawings.

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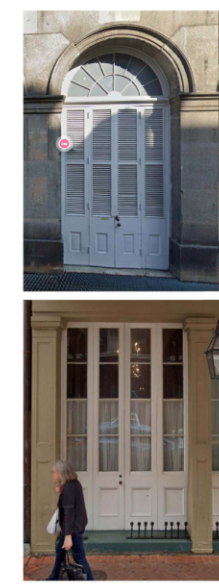
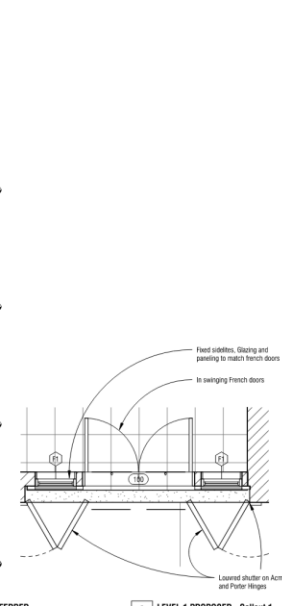
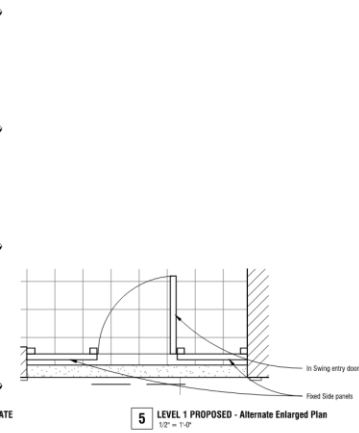
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 Roof Plan and Details



GENERAL ELEVATION NOTES

1. ALL EXTERIOR SURFACES TO BE FULLY PAINTED.
2. STUCCO TO BE INTERNALLY COLORED.
3. REPLACE AND SEAL EXISTING CHIMNEY SPACES VENTS AND GRATES UNDER THE HOUSE AND REPAIR FINISH THROUGHOUT AS REQUIRED TO SECURE PROPERTY AND MAKEUSE ON HOUSE FOR PETS.
4. ANY EXTERIOR MILLWORK AND TRIM SHOULD BE FULLY PRIMED ON ALL SIDES AND OUT EDGES PRIOR TO REINSTALLATION.
5. ALL PROFILES, SKILLS, AND EXTERIOR SURFACES SHOULD BE SLOPED FOR DRAINAGE.
6. ROUTE ALL DOWNSPOUTS TO SUBSURFACE DRAINAGE SYSTEM.
7. ALL LANDSCAPE AND HARDSCAPE DESIGN IS UNDER THE LANDSCAPE ARCHITECTS SCOPE DRAWINGS.
8. WHERE EXISTING SUBSURFACE DRAINAGE IS FOUND TO BE FUNCTIONAL, THE ALL DOWNSPOUTS INTO SUBSURFACE DRAINAGE AT REAR AND SIDES OF HOUSE.
9. GO TO PROVIDE OPTION FOR COLLECTION OF GUTTERS AND DOWNSPOUTS FINISH FROM MANUFACTURER'S STANDARD COLOR.
10. ALL EXTERIOR FLASHING TO BE PREPARED BLACK, U.N.O.



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NO.	DESCRIPTION	DATE

A5.0
Building Elevations &
Cladding Details





Refinished existing french doors
in front of new fixed window
New fan windows above each opening

Refinish existing carriage door. GC to fix in place
the right and left panels. Center panel to operate as
single swing entry door

2 BUILDING ELEVATION - ALTERNATE
3/16" = 1'-0"



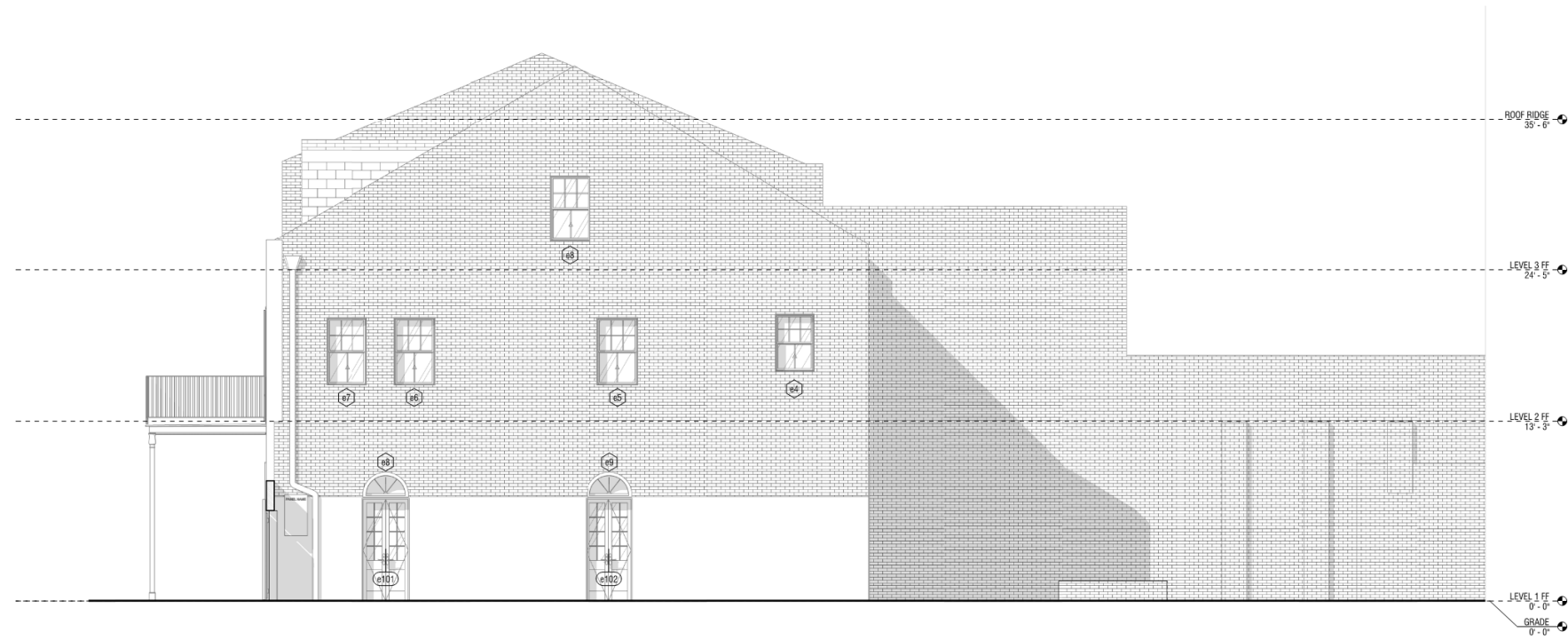


622 N Rampart
 VCC Architectural Committee

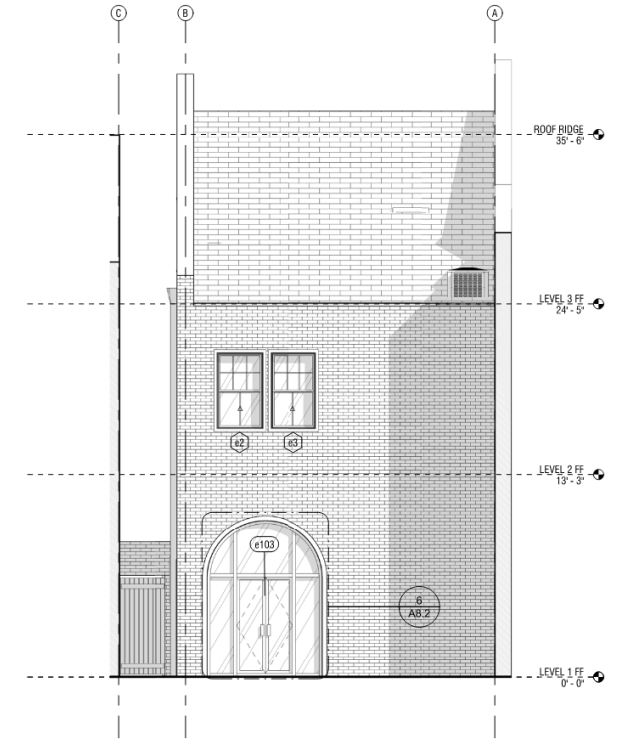
1 BUILDING ELEVATION - OPTION 1 PREFERRED
 3/16" = 1'-0"

August 13, 2024



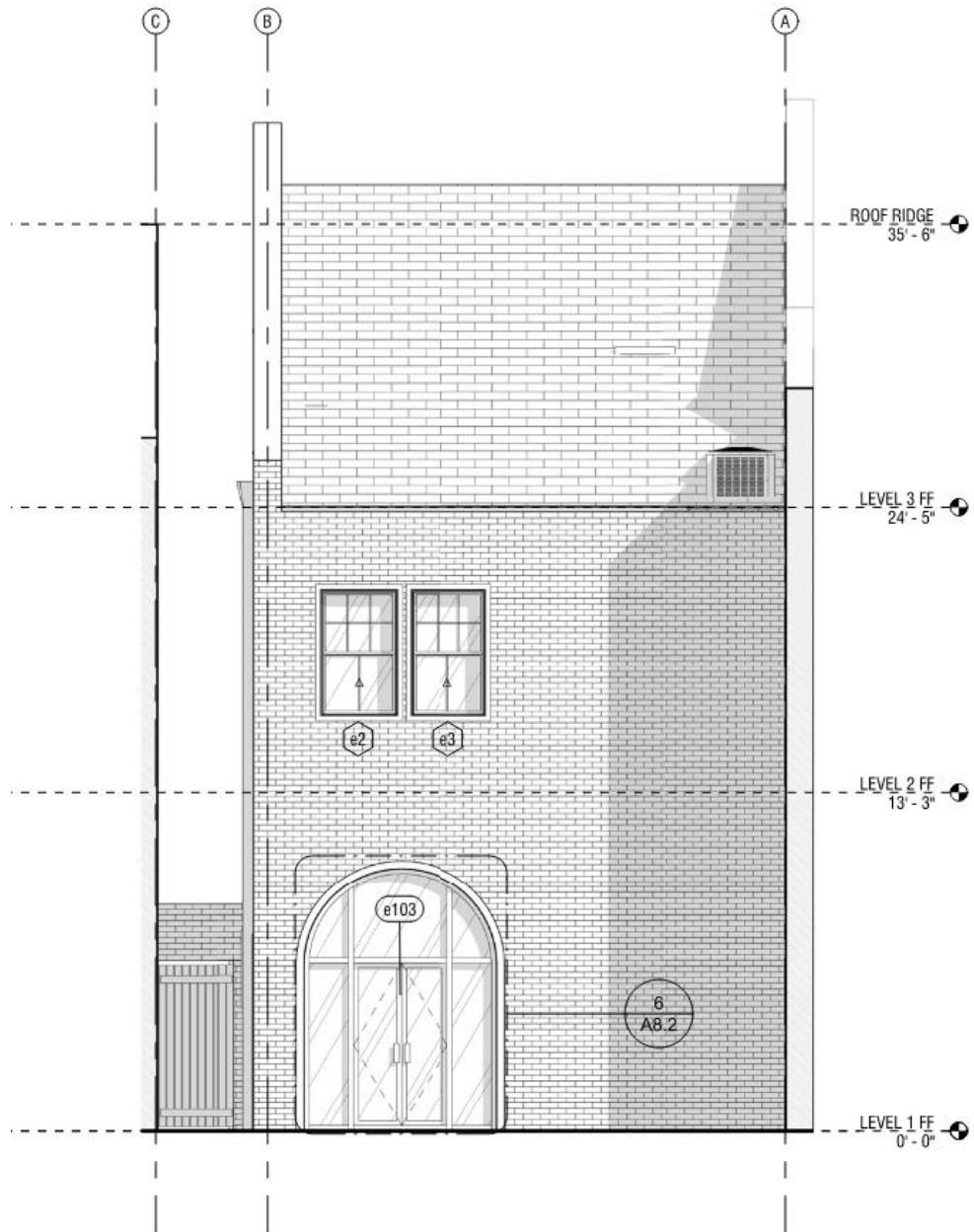


2 BUILDING ELEVATION - RIGHT
3/16" = 1'-0"



1 BUILDING ELEVATION - REAR
3/16" = 1'-0"





622 N Rampart

VCC Architectural Committee

1 BUILDING ELEVATION - REAR
3/16" = 1'-0"

August 13, 2024

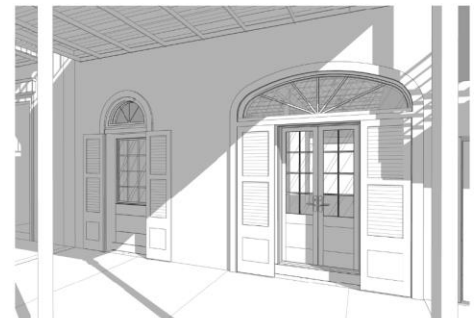




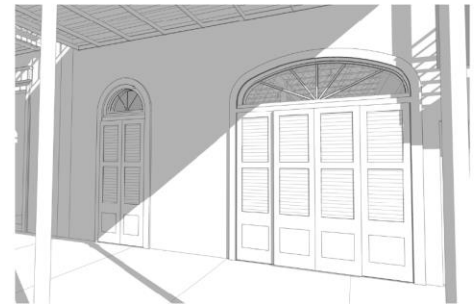
1 Exterior View 1



2 OPTION 1 - Shutters Open



3 OPTION 1 - Shutters 1/2 Open



4 OPTION 1 - Shutters Closed

Scale: 1/8" = 1'-0" (Do not scale drawings)

NOTE: 3D VIEWS FOR ILLUSTRATION ONLY. FINAL MATERIALS, FINISHING, AND LOCATIONS AND SIZES OF OPENINGS ARE SUBJECT TO CHANGE.

Rampart St

622 N Rampart St
New Orleans, LA 70112



2024.07.23
PERMIT RELEASE SET

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ISSUE RELEASE SCHEDULE

NO.	DESCRIPTION	DATE

A5.2

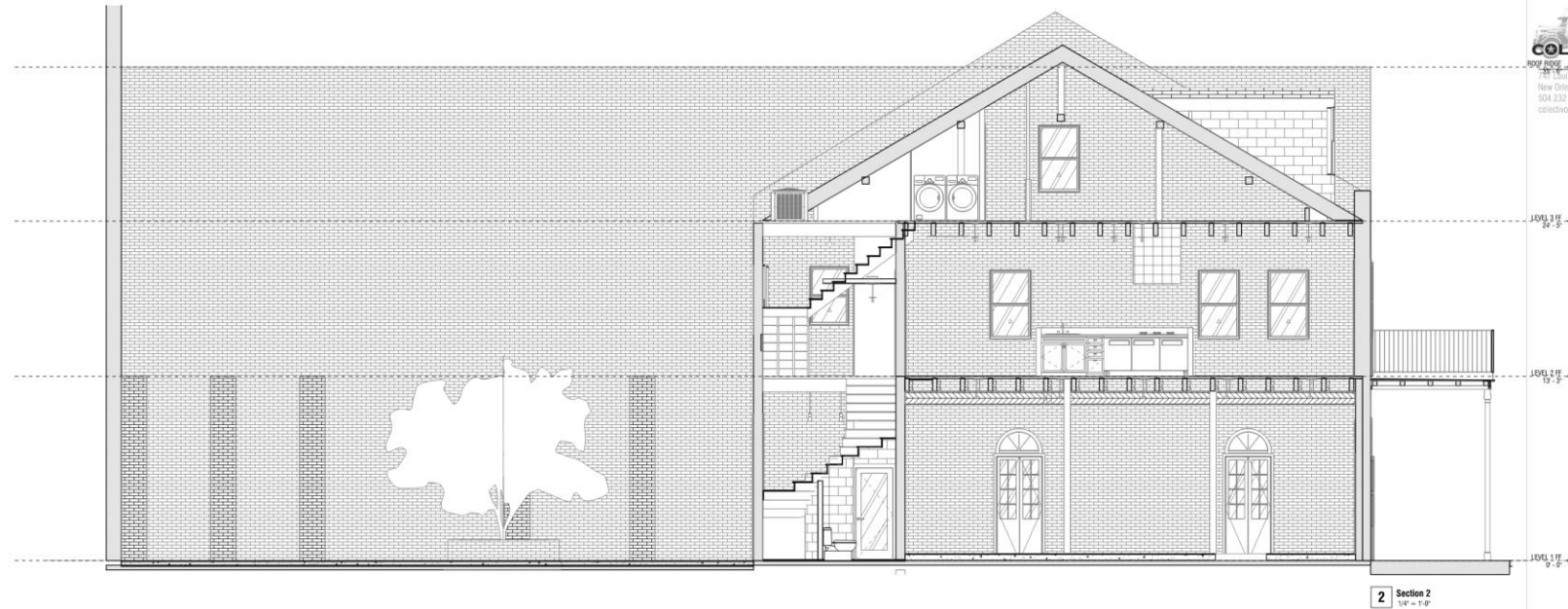
3D Views



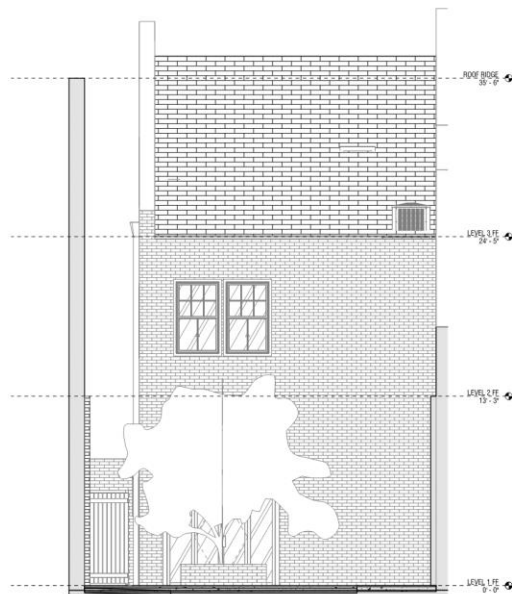
622 N Rampart

VCC Architectural Committee

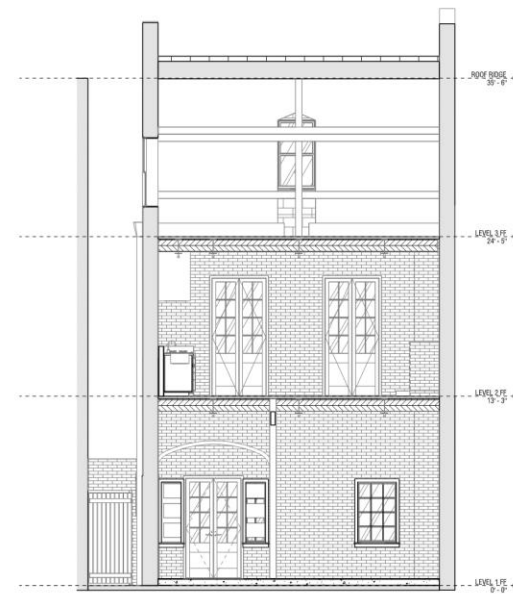
August 13, 2024



2 Section 2
1/4" = 1'-0"



3 Section 3
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

Rampart St

622 N Rampart St
New Orleans, LA 70112



2024 07 23
PERMIT RELEASE SET

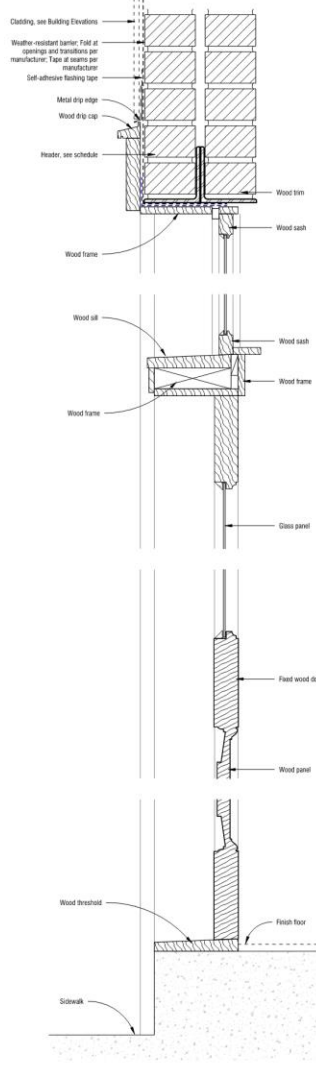
Drawn by: Author
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ISSUE RELEASE SCHEDULE

NO.	DESCRIPTION	DATE

A6.0
Building Sections





1 TYP HISTORIC DOOR DETAIL
3/8" = 1'-0"

DuPont Self-Adhered Flashing Products – Installation Guidelines for Up to 4" Recess Using Single and Double Stud Window Framing



- STEP 12
Install and integrate DuPont™ Tyvek® WRB
- Install the Tyvek® WRB according to the DuPont™ Tyvek® Air- and Water-Resistive Barrier Installation Guidelines. Do not install fasteners within 8" of the rough opening along jambs and head and within 12" along the sill.
 - Mark a perimeter box 6" away from the rough opening sill, jamb and head.
 - Cut the Tyvek® WRB along perimeter marking to expose window and Tyvek® WRB frame below. Do not cut Tyvek® WRB frame underneath.
 - Create 6" horizontal slits in the Tyvek® WRB at each lower corner of the perimeter cut.
 - Bring the bottom portion of the Tyvek® WRB frame through the slits so it laps over the top layer of Tyvek® WRB.
 - Tape seams at bottom, sides, and top of rough opening using DuPont™ Tyvek® Tape.

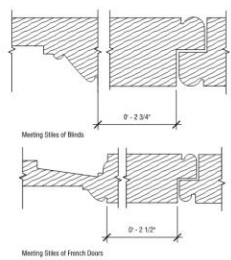
4 window - tyvek installation
1" = 1'-0"

WINDOW SCHEDULE											
MARK	Count	Rough Width	Rough Height	Operation	Manufacturer	Egress	Glazing Type	Exterior Finish	Interior Finish	Comments	
WH11	1	2'-8 1/2"	4'-10 1/2"	SINGLE HUNG	Custom Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed	
WH11	5	2'-8 1/2"	2'-8 1/2"	SINGLE HUNG	Historic Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed	
WH2	1	2'-10 1/2"	4'-3 1/2"	SINGLE HUNG	Historic Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed	
WH3	1	2'-8 1/2"	4'-10 1/2"	SINGLE HUNG	Historic Wood Window	Yes	IG Low E with Argon	Paint	Paint	Existing wood windows to be repaired in place as needed	
W1	2	1'-4"	4'-3 1/2"	FIXED	Custom Wood Window		IG Low E with Argon	Paint	Paint	PART OF ENTRY DOOR ASSEMBLY	
W2	3			FIXED - ARCH	Custom Wood Window					PART OF ENTRY DOOR ASSEMBLY	
W3	3			FIXED - ARCH	Custom Wood Window					SEE DOOR ELEVATIONS	
W4	1	2'-10"	4'-3 1/2"	FIXED	Custom Wood Window		IG Low E with Argon			SEE DOOR ELEVATIONS	

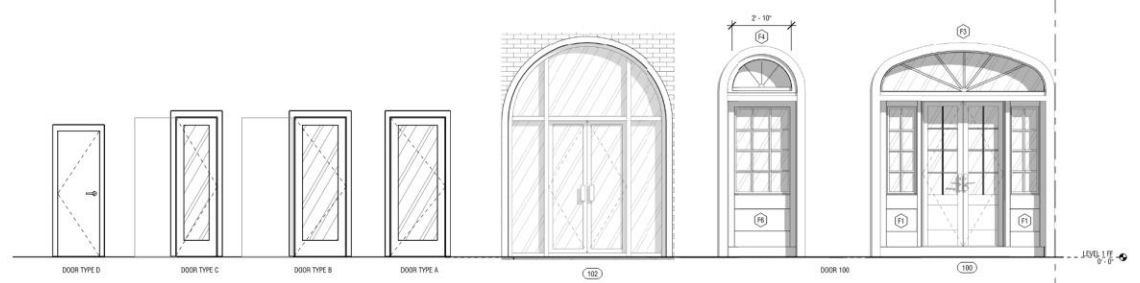
WINDOW NOTES
All window sizes represent best of design and represent the approximate finished sizes. Verify with window manufacturer for all available selections and sizing. Architect to review and approve window specifications prior to General Contractor placing order.
Contractor to verify all rough opening sizes in the Field prior to ordering.
Contractor to provide Impact Resistant Glazing (compliant with ASTM E-1886 and the F-1596/WINDA Hurricane Program). OR provide protection from wind-borne debris by way of shutters or precast 1/2" plywood panels (compliant with the requirements of IRC 2021 R301.2.1.2) shall be provided for all openings.
All glass in interior doors and windows to be double glazed insulated, with Low E insopoly film. All glazing to comply with IRC 2021 / 2021 IECC Thermal Requirements for Climate Zone 2b, 40 U-factor for windows, 65 U-factor for Sightsights, and 15 SHGC for all glazing.
Provide safety glazing under the following conditions per Section R308.4 of the IRC:
• All doors, skylights, and shower doors
• All windows which occur at thresholds or openings
• All sightsights and windows within 24" of a door
Minimum opening area of egress windows to be 5.7 square feet. Bottom of egress window not to exceed 44" from the finished floor. Egress window opening minimum dimensions are 20" clear height and 20" clear width.

DOOR SCHEDULE									
MARK	DOOR TYPE	SIZE			HARDWARE	DESCRIPTION	OPERATION	GLAZING	COMMENTS
		WIDTH	HEIGHT	DEPTH					
100		3'-10"	7'-0"	VCC-1	Custom Wood French Door	SWING	Partial	HISTORIC SHUTTER HINGE	
101	A	2'-0"	6'-0"	PR-1	SOLID CORE SINGLE LITE	SWING	Full	SCHLAGE LATITUDE	
102		3'-8 1/2"	6'-4 1/4"	E-1	SOLID CORE SINGLE LITE	POCKET	Full	SCHLAGE LATITUDE	
103	C	3'-0"	6'-0"	PR-1	SOLID CORE SINGLE LITE	POCKET	Full	SCHLAGE LATITUDE	
104	B	2'-0"	6'-0"	PR-1	SOLID CORE SINGLE LITE	POCKET	Full	SCHLAGE LATITUDE	
105	D	2'-0"	6'-0"	PR-1	HOLLOW CORE W/ ACOUSTIC INFILL	SWING	None	SCHLAGE LATITUDE	
1011		3'-3 1/2"	7'-6"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	REINSTALL DOOR TO OUTSWING	
1012		3'-3 1/2"	7'-6"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial	REINSTALL DOOR TO OUTSWING	
1020		3'-3 1/2"	7'-6"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial		
1021		3'-0"	8'-3"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial		
1032		3'-0"	8'-3"		HISTORIC WOOD DOOR TO BE RESTORED	SWING	Partial		

DOOR HARDWARE SCHEDULE					
HARDWARE SET	HARDWARE	FINISH	HARDWARE DESCRIPTION	DEADBOLT	HINGE
None			<None>		
E-1	E-1	MATTE BLACK	SCHLAGE LATITUDE	SCHLAGE BR0	
P-1	P-1	MATTE BLACK	SCHLAGE LATITUDE		
PR-1	PR-1	MATTE BLACK	SCHLAGE LATITUDE		
VCC-1	VCC-1	MATTE BLACK	HISTORIC SHUTTER HINGE		



2 VCC French Door & Shutter Profiles
0" = 1'-0"



Rampart St
622 N Rampart St
New Orleans, LA 70112

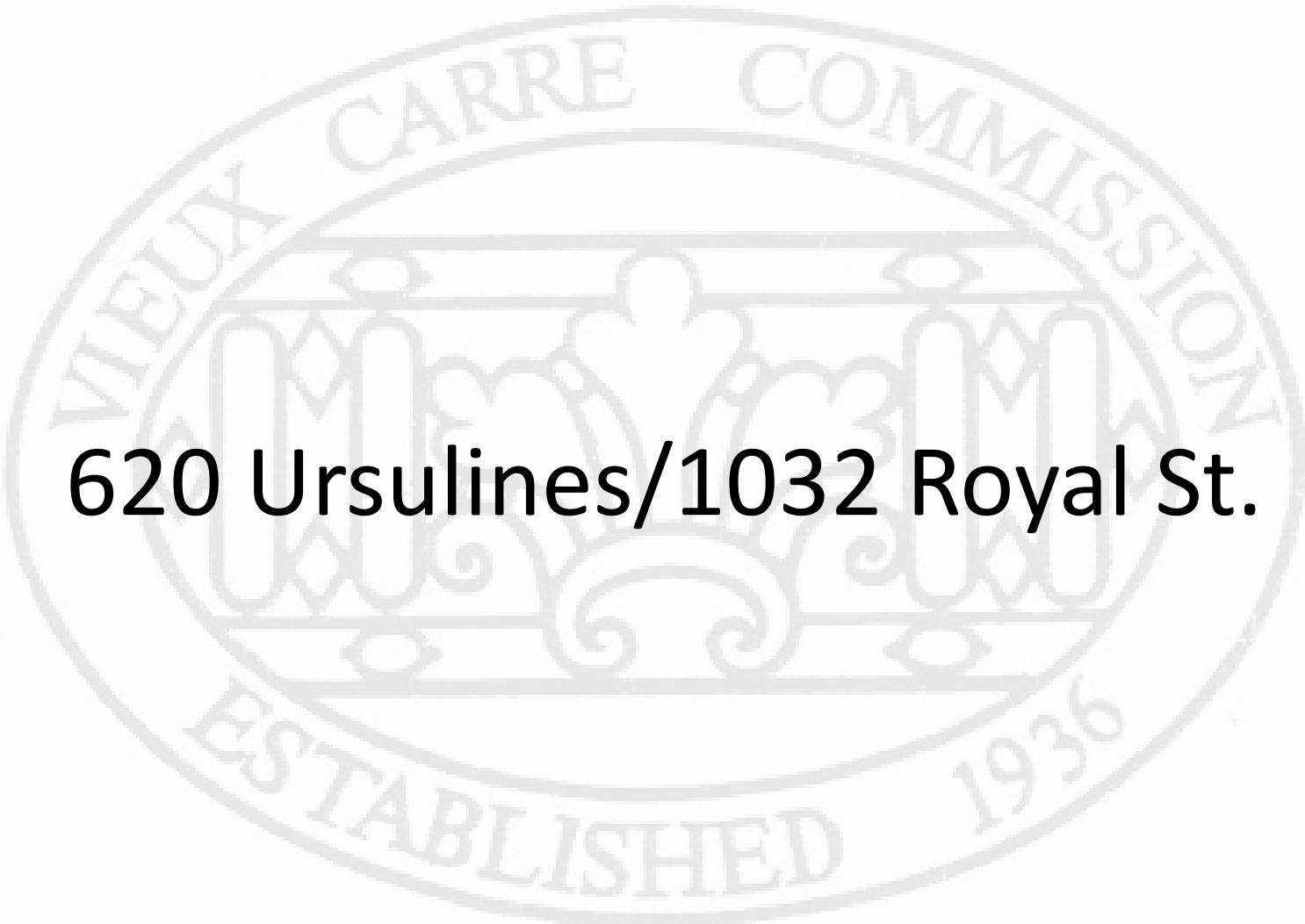
2024.07.23
PRINT RELEASE SET

Drawn by Author
checked by Checker

NO.	DESCRIPTION	DATE

A8.2
Window Schedules
and Details



The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a crown on top and a fleur-de-lis in the center. The shield is flanked by two vertical bars. The text "VIEUX CARRE COMMISSION" is written along the top arc of the oval, and "ESTABLISHED 1936" is written along the bottom arc.

620 Ursulines/1032 Royal St.

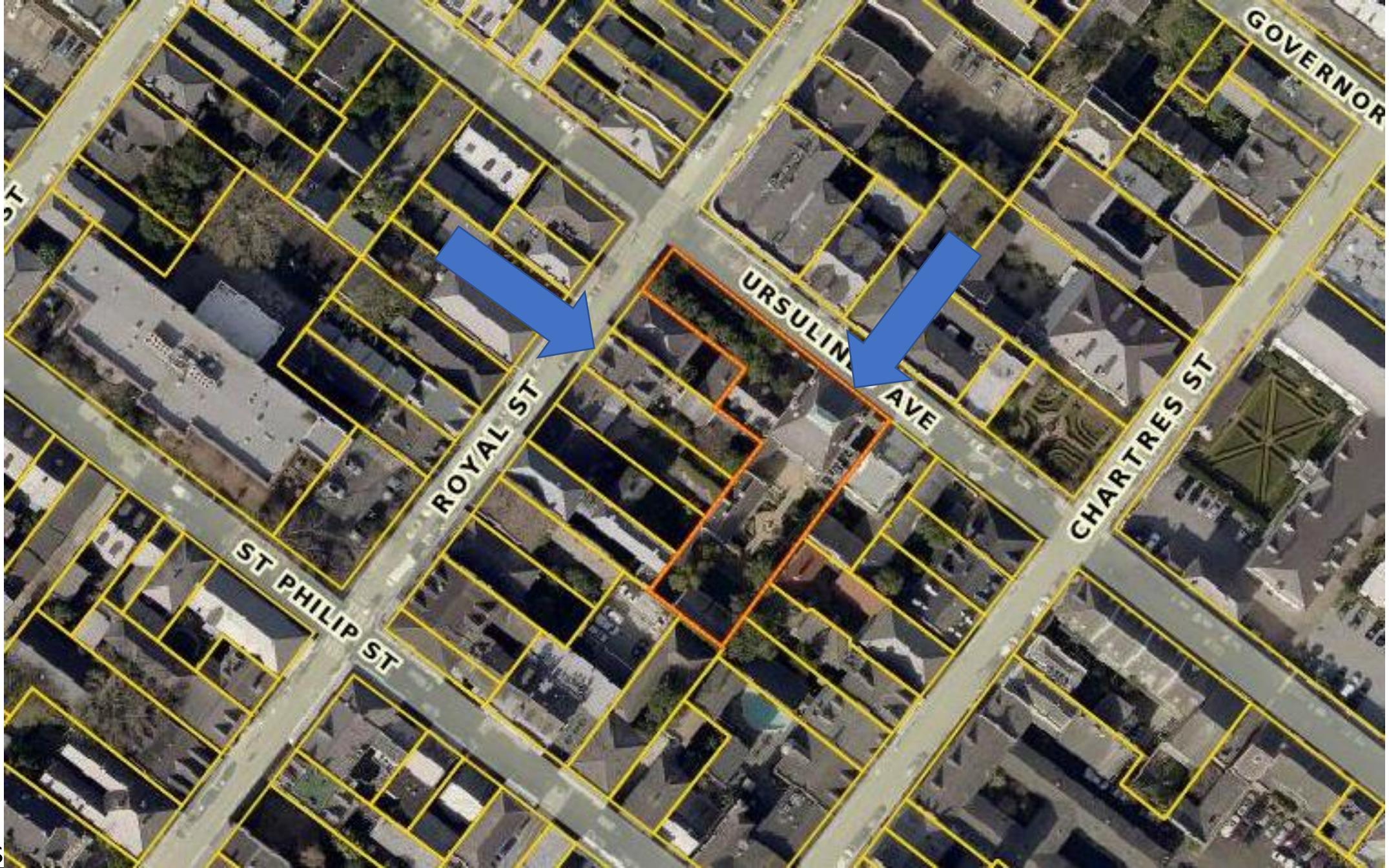


620 Ursulines

VCC Architectural Committee

August 13, 2024





620 Ursulines

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August 13, 2024





620 Ursulines (1930s)

VCC Architectural Committee

August 13, 2024





620 Ursulines (1930s - rear)

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August 13, 2024





620 Ursulines

VCC Architectural Committee

August 13, 2024





620 Ursulines

VCC Architectural Committee

11 20 2023

August 13, 2024





1032 Royal St

VCC Architectural Committee

12 09 2022

August 13, 2024





1032 Royal St. - Courtyard

VCC Architectural Committee

07 25 2024

August 13, 2024





1032 Royal St. - Courtyard

VCC Architectural Committee

August 13, 2024





1032 Royal St. - Courtyard
VCC Architectural Committee

07 25 2024

August 13, 2024





1032 Royal St. - Courtyard
VCC Architectural Committee

August 13, 2024



Orange-rated portion

Blue-rated portion



620 Ursulines

VCC Architectural Committee

07 25 2024

August 13, 2024





620 Ursulines

VCC Architectural Committee

07 25 2024

August 13, 2024

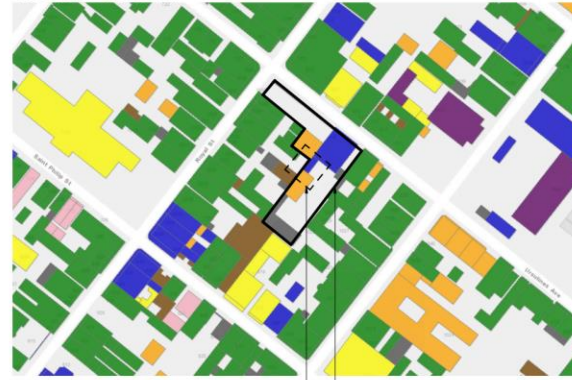


AERIAL VIEW



620 URSULINES AVENUE

VCC BUILDING RATING DIAGRAM



AREA OF PROJECT

620 URSULINES AVENUE

620 URSULINES PHOTOS - BLUE-RATED SERVICE WING



VIEW FROM RIVER-SIDE COURTYARD



VIEW INSIDE OF SERVICE WING



POTENTIAL NEW OPENING

620 URSULINES

620 URSULINES AVE.
NEW ORLEANS, LA 70116
STUDIO WEST PROJECT NO. | 24031
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620 URSULINES PHOTOS - ORANGE-RATED ACCESSORY BUILDING



INTERIOR PHOTO OF NEW OPENING LOCATION



INTERIOR PHOTO OF EXISTING DOOR

1032 ROYAL STREET PHOTOS - ACCESSORY BUILDING & 620 URSULINES SERVICE WING



VIEW FROM ROYAL STREET SIDE



SERVICE WING

ACCESSORY BUILDING

ISSUE DATE | 30 JULY 2024
CONCEPTUAL DESIGN
REVISIONS

EXISTING SITE CONDITIONS



620 URSULINES PHOTOS - BLUE-RATED SERVICE WING



VIEW FROM RIVER-SIDE COURTYARD



VIEW INSIDE OF SERVICE WING



POTENTIAL NEW OPENING

620 URSULINES PHOTOS - ORANGE-RATED ACCESSORY BUILDING



INTERIOR PHOTO OF NEW OPENING LOCATION

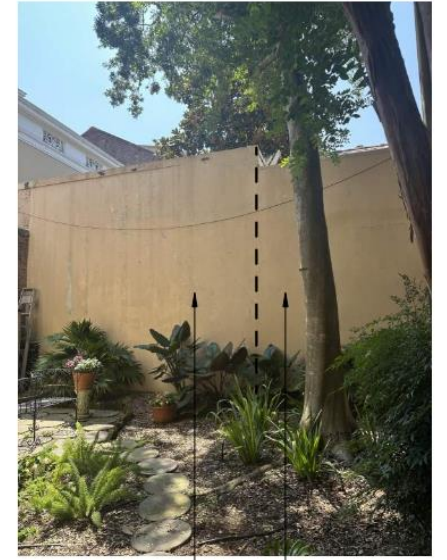


INTERIOR PHOTO OF EXISTING DOOR

1032 ROYAL STREET PHOTOS - ACCESSORY BUILDING & 620 URSULINES SERVICE WING

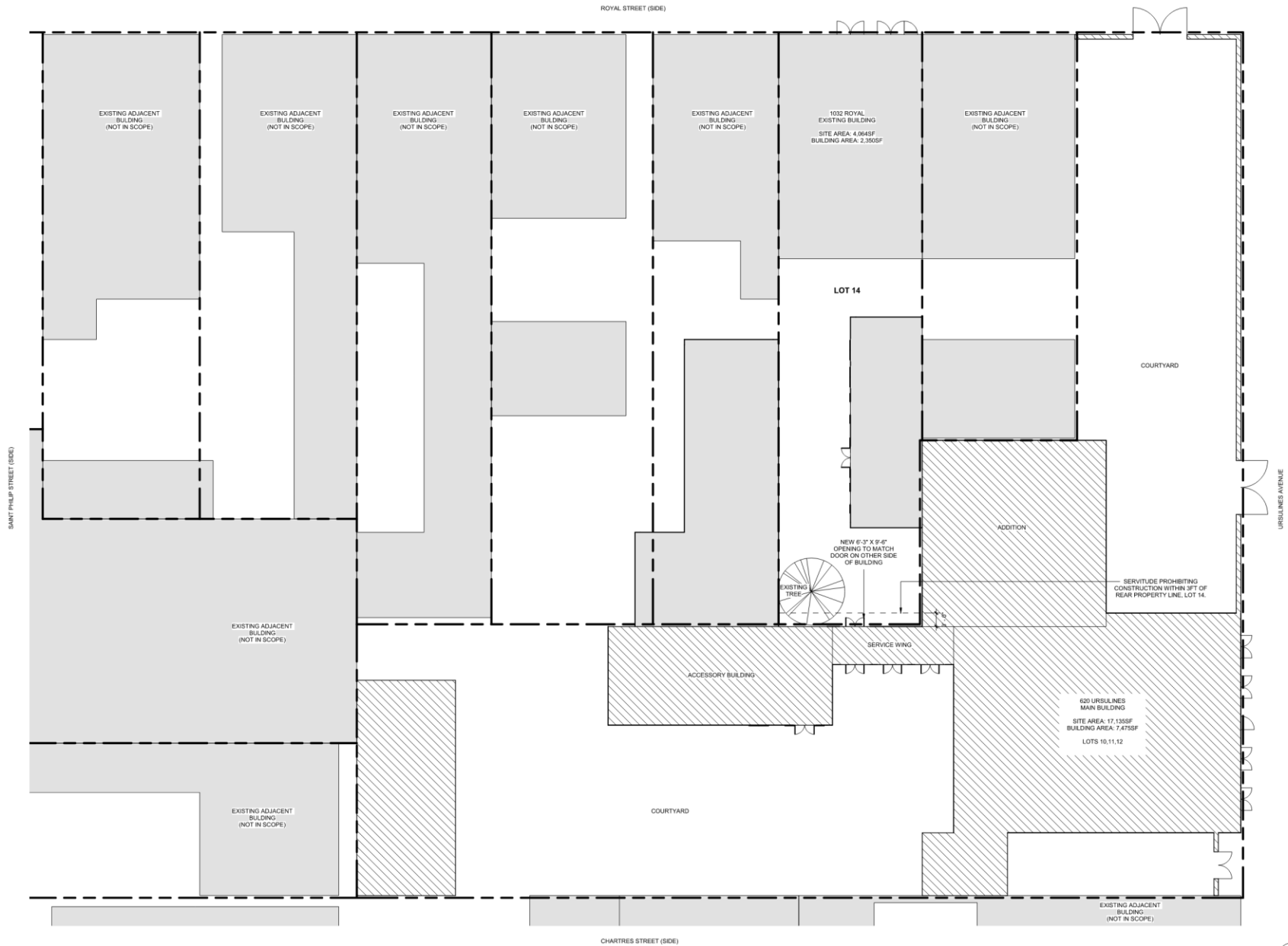


VIEW FROM ROYAL STREET SIDE



SERVICE WING

ACCESSORY BUILDING



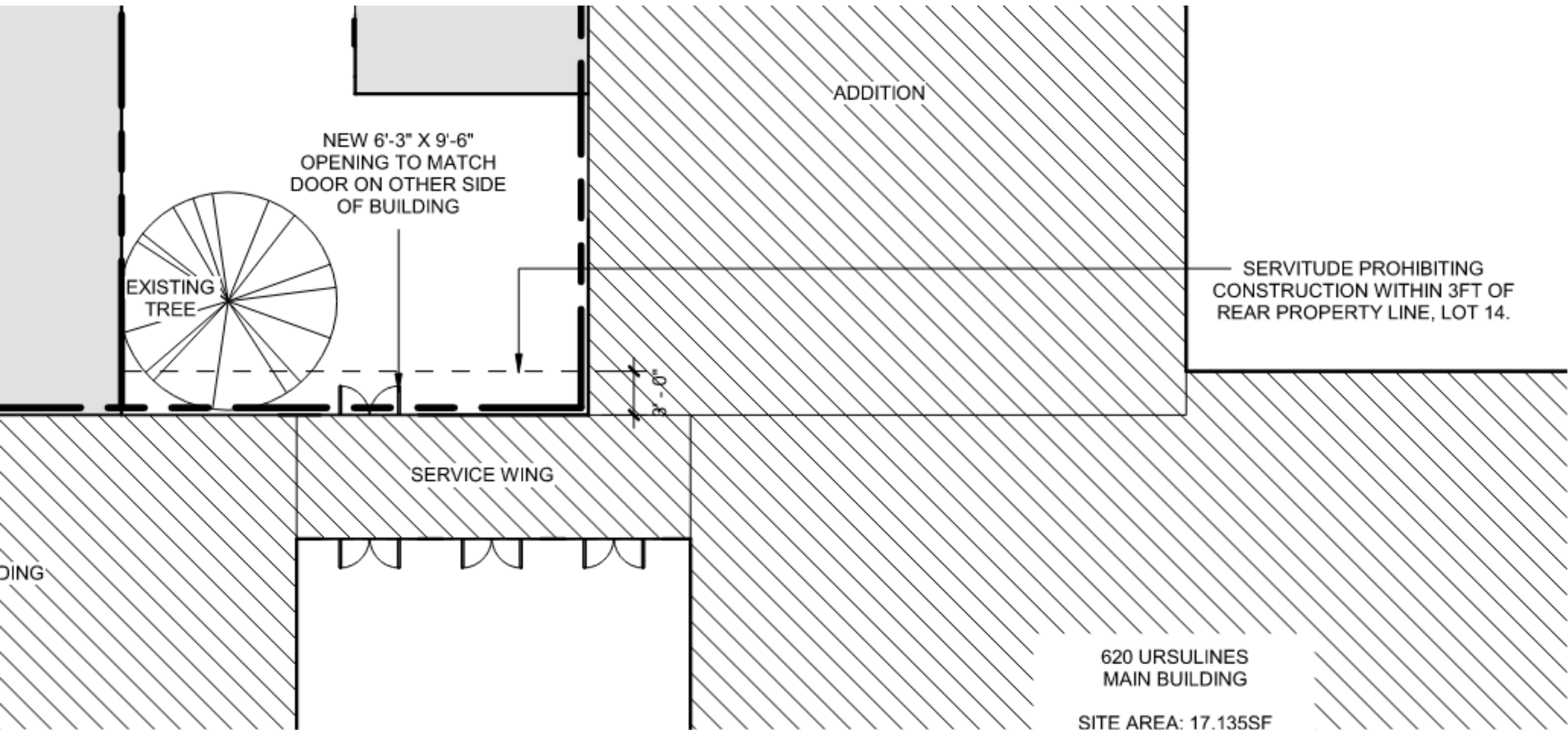
620 Ursulines

VCC Architectural Committee

1 SITE PLAN - OPTION 1
1" = 10'-0"

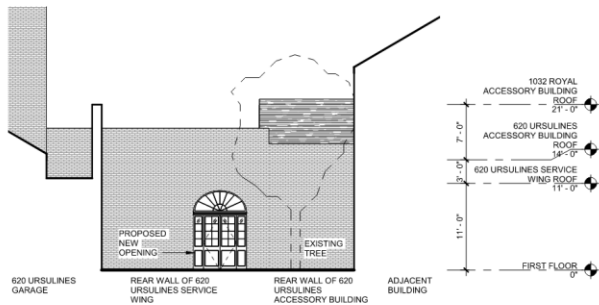
August 13, 2024



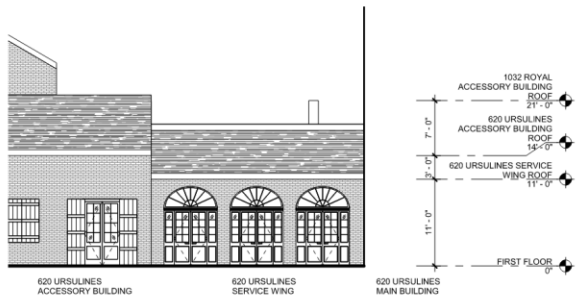




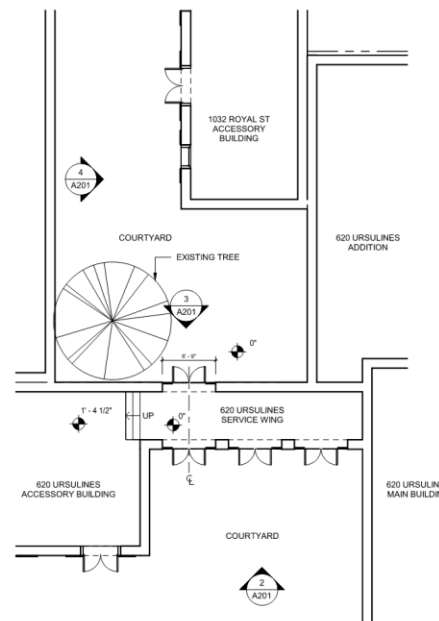
4 WEST EXTERIOR ELEVATION - OPTION 1
1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION - OPTION 1
1/8" = 1'-0"



2 SOUTH EXTERIOR ELEVATION - OPTION 1
1/8" = 1'-0"



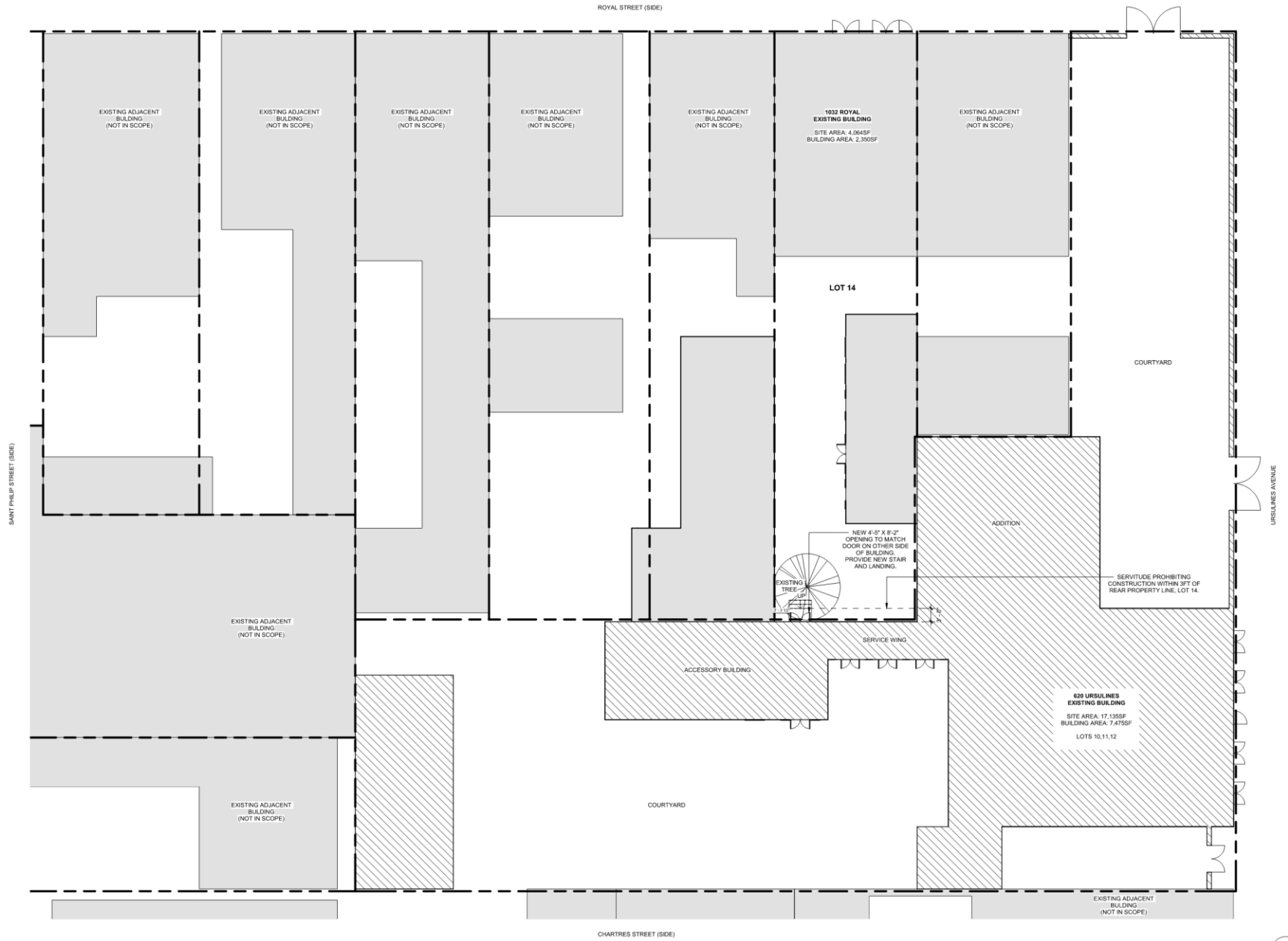
1 FIRST FLOOR PLAN - OPTION 1
1/8" = 1'-0"

620 Ursulines

VCC Architectural Committee

August 13, 2024





620 URSULINES

620 URSULINES AVE.
NEW ORLEANS, LA 70116
STUDIO WEST PROJECT NO. | 24031
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ISSUE DATE | 30 JULY 2024
CONCEPTUAL DESIGN
REVISIONS

SITE PLAN - OPTION 2

620 Ursulines

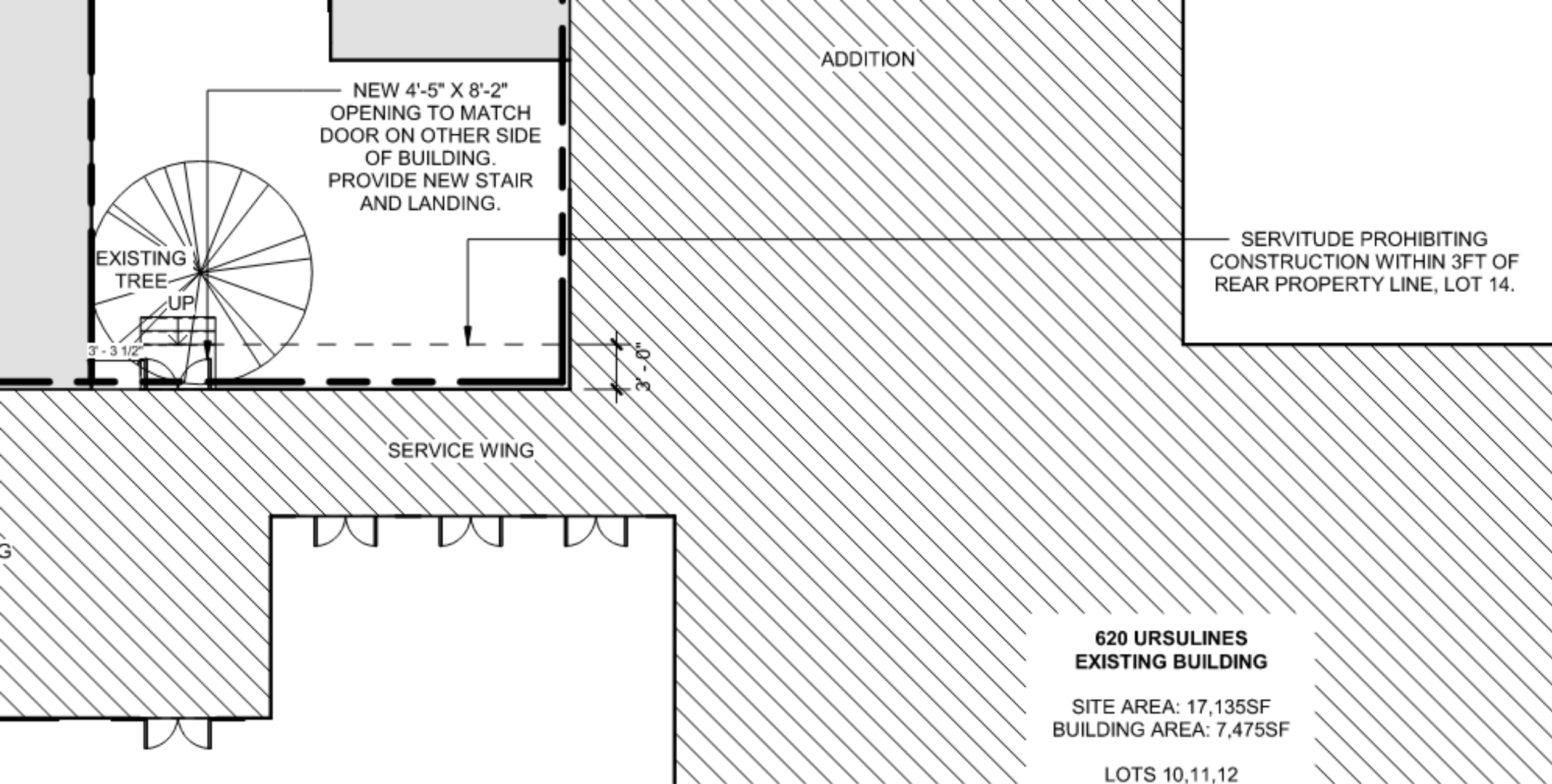
VCC Architectural Committee

1 SITE PLAN - OPTION 2
1" = 10'-0"

A003

August 13, 2024





ADDITION

NEW 4'-5" X 8'-2"
 OPENING TO MATCH
 DOOR ON OTHER SIDE
 OF BUILDING.
 PROVIDE NEW STAIR
 AND LANDING.

EXISTING
 TREE

UP

3' - 3 1/2"

3'-0"

SERVITUDE PROHIBITING
 CONSTRUCTION WITHIN 3FT OF
 REAR PROPERTY LINE, LOT 14.

SERVICE WING

**620 URSULINES
 EXISTING BUILDING**

SITE AREA: 17,135SF
 BUILDING AREA: 7,475SF

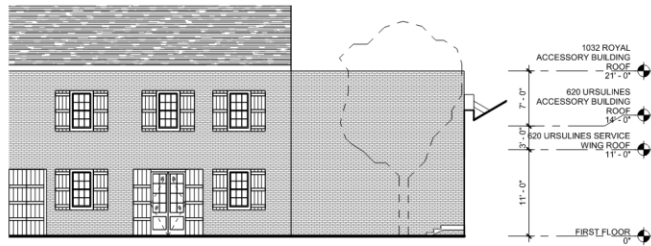
LOTS 10,11,12

620 Ursulines

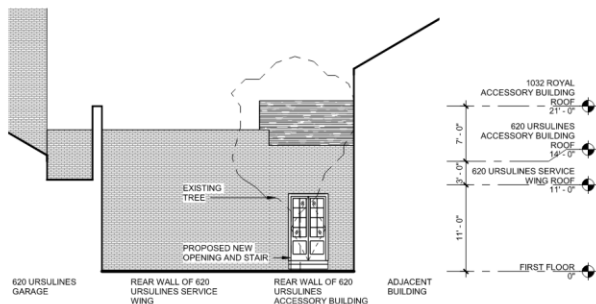
VCC Architectural Committee

August 13, 2024

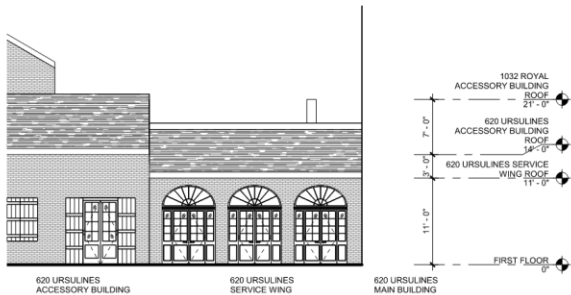




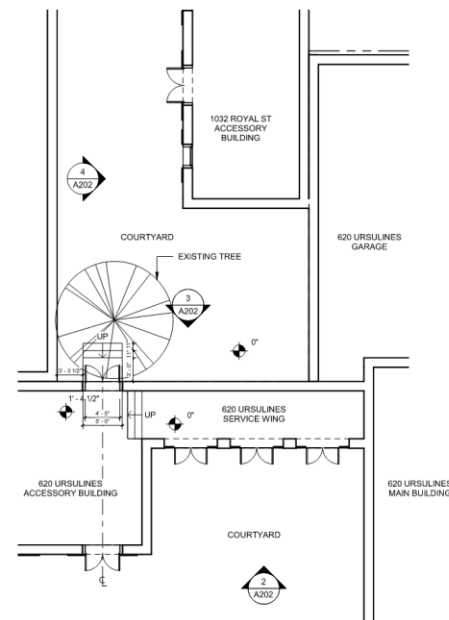
4 WEST EXTERIOR ELEVATION - OPTION 2
A20/A202 1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION - OPTION 2
A20/A202 1/8" = 1'-0"



2 SOUTH EXTERIOR ELEVATION - OPTION 2
A20/A202 1/8" = 1'-0"



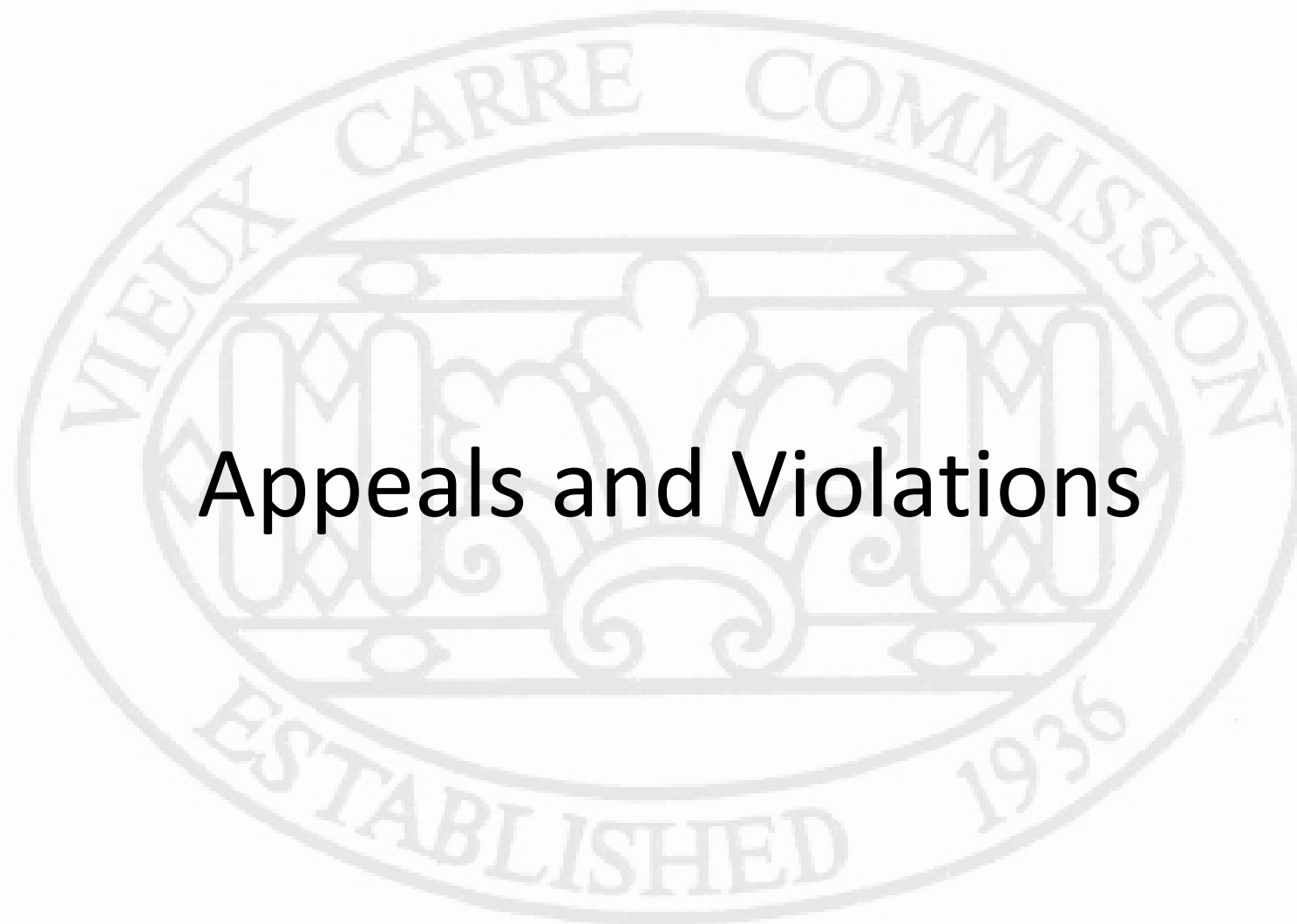
1 FIRST FLOOR PLAN - OPTION 2
A20/A202 1/8" = 1'-0"

620 Ursulines

VCC Architectural Committee

August 13, 2024

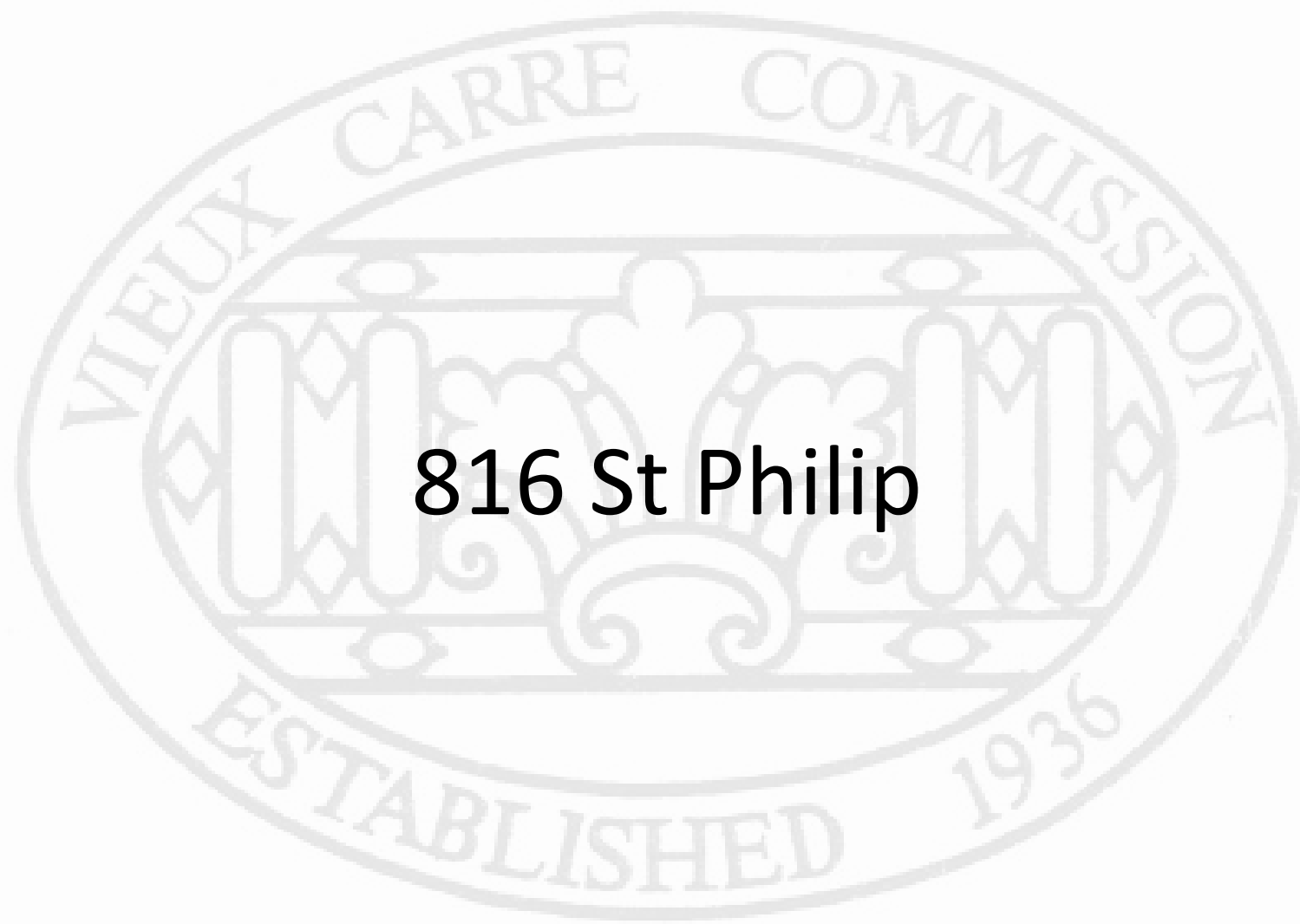




Appeals and Violations



209 Decatur
(staff requests deferral for resubmittal)



816 St Philip



816 St. Philip

VCC Architectural Committee

August 13, 2024





816 St. Philip

VCC Architectural Committee

August 13, 2024





816 St. Philip, 1975

VCC Architectural Committee

August 13, 2024



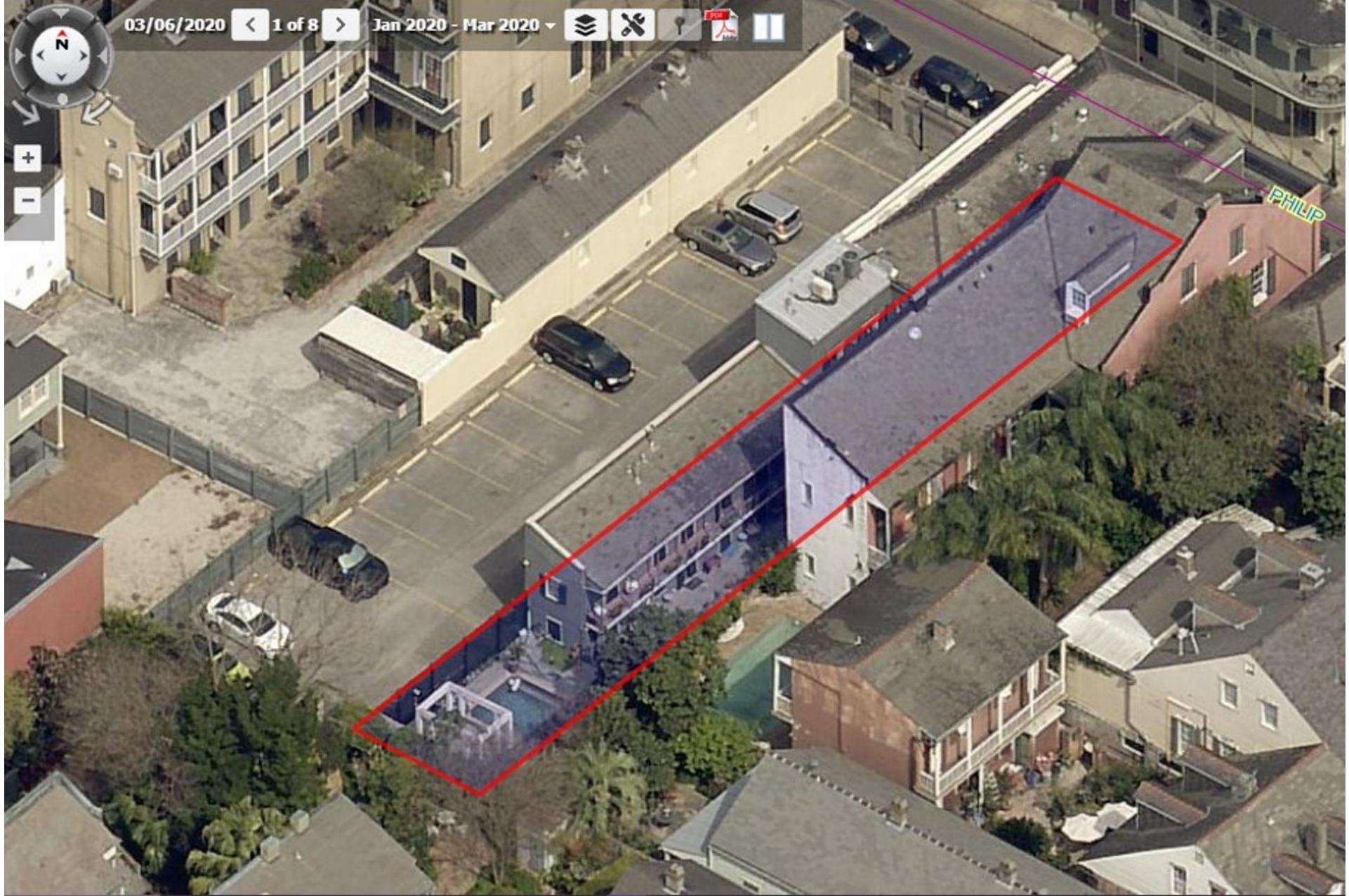


816 St. Philip

VCC Architectural Committee

August 13, 2024





816 St. Philip

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816 St. Philip

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August 13, 2024





Schlage **Encode**TM

SMART WIFI DEADBOLT

Quick Start Guide

816 St. Philip

VCC Architectural Committee

August 13, 2024





816 St. Philip

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August 13, 2024





816 St. Philip

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August 13, 2024





816 St. Philip

VCC Architectural Committee

August 13, 2024





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August 13, 2024





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August 13, 2024





August 31, 2022

Ben Mariner
3860 Broad St.
Lake Charles, LA 70615

RE: Structural Assessment of 816 St. Philip St., New Orleans, LA for VCC violations

Mr. Mariner:

This letter is to address structural issues observed by the undersigned professional engineer at 816 St. Philip Street, New Orleans, Louisiana on or about August 30, 2022. The purpose of the site visit was to make visual observations of the existing conditions as noted by the VCC that may require structural attention and remediation.

Background

The 2-story residence was renovated approximately in 2017-2018. The residence is in the historic area of the French Quarter in New Orleans and falls under the jurisdiction of the Vieux Carre Commission (VCC) and this letter is to address structural related violations (**Photograph 1**)

Structural Observations, Recommendations, and Conclusions

The following structural observations were made:

- 1) The west facing exterior façade is a multiwythe masonry wall and is painted over a stucco coating. There was on vertical crack on the exterior wall that we found no evidence to suggest was a structural issue or concern as a result of no reflective (interior) cracking that coincides with the exterior crack location. We recommend that the crack be patched appropriately with VCC stucco mix formula as the crack is only applicable to the stucco painted exterior and is not structural in nature. (**Photographs 2 and 3**)
- 2) The west facing exterior façade has a protruding chimney masonry structure which does not extend into the living space of the 2nd or 1st floors. We did observe horizontal cracks in the painted stucco exterior. These are cracks that should be patched and repaired appropriately to help prevent building envelope water intrusion issues. Based on our visual observations of the cracks, these are not structural cracks that need to be addressed at this time. We do recommend that patched areas be revisited for movement in 12 months. There is no evidence to suggest that the chimney masonry protrusion is

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Phone: (504) 206-3834
hello@pacegroupllc.com



- requiring structural repairs as the cracks are tension cracks that can be aesthetically repaired by patching and painting. (**Photographs 4 and 5**).
- 3) We observed at the front façade of the residence the balcony structure needs to be repaired as a result of evidence of wood rot in noted areas. The stringers and the beams are not cantilevered but rather simply supported, thus no back span into the interior is required. We recommend that Select Structural grade, Southern Yellow Pine (SYP) species of the equivalent size be “sistered” on to each beam with the associated notch as depicted. We recommend that Select Structural grade, SYP wood members replace the secondary members between the top deck boards and the beams as noted (**Photograph 6**). An acceptable structural alternative is to fully replace the damaged outrigger beams with Select Structural grade SYP species.
 - 4) No other evidence of structural issues that would otherwise require maintenance or immediate repair was observed.

PACE Group LLC has the right to amend this preliminary report as new or updated information is known. This report is an instrument of professional service and may be used for as a basis for more detailed repairs and estimates. The photographs included in this report are provided to represent the visual condition as observed on the day of our site visit.

If additional information is needed, please do not hesitate to contact us.

Sincerely,

Johann L. Palacios, PE, SECB, LEED AP



08/31/2022

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hello@pacegroupllc.com





No evidence of interior cracking
(no reflective cracking)

Photograph 3: Interior face of west façade. No evidence of reflecting cracking.



Existing stucco
cracks which can be
repaired. No
structural repairs
required.

Photograph 4: West side Chimney protrusion

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Photograph 5: West side, facing north, brick chimney protrusion.



Sister EACH beam
per recommended
select structural
grade, SYP
equivalent size.

Replace Secondary
Support Beam where
rotted visually.

Photograph 6: Substructure of Gallery at 816 St. Philip St.

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816 St. Philip

VCC Architectural Committee

August 13, 2024





906 Esplanade



906 Esplanade

VCC Architectural Committee

August 13, 2024





906 Esplanade

VCC Architectural Committee

August 13, 2024





906 Esplanade

VCC Architectural Committee

August 13, 2024



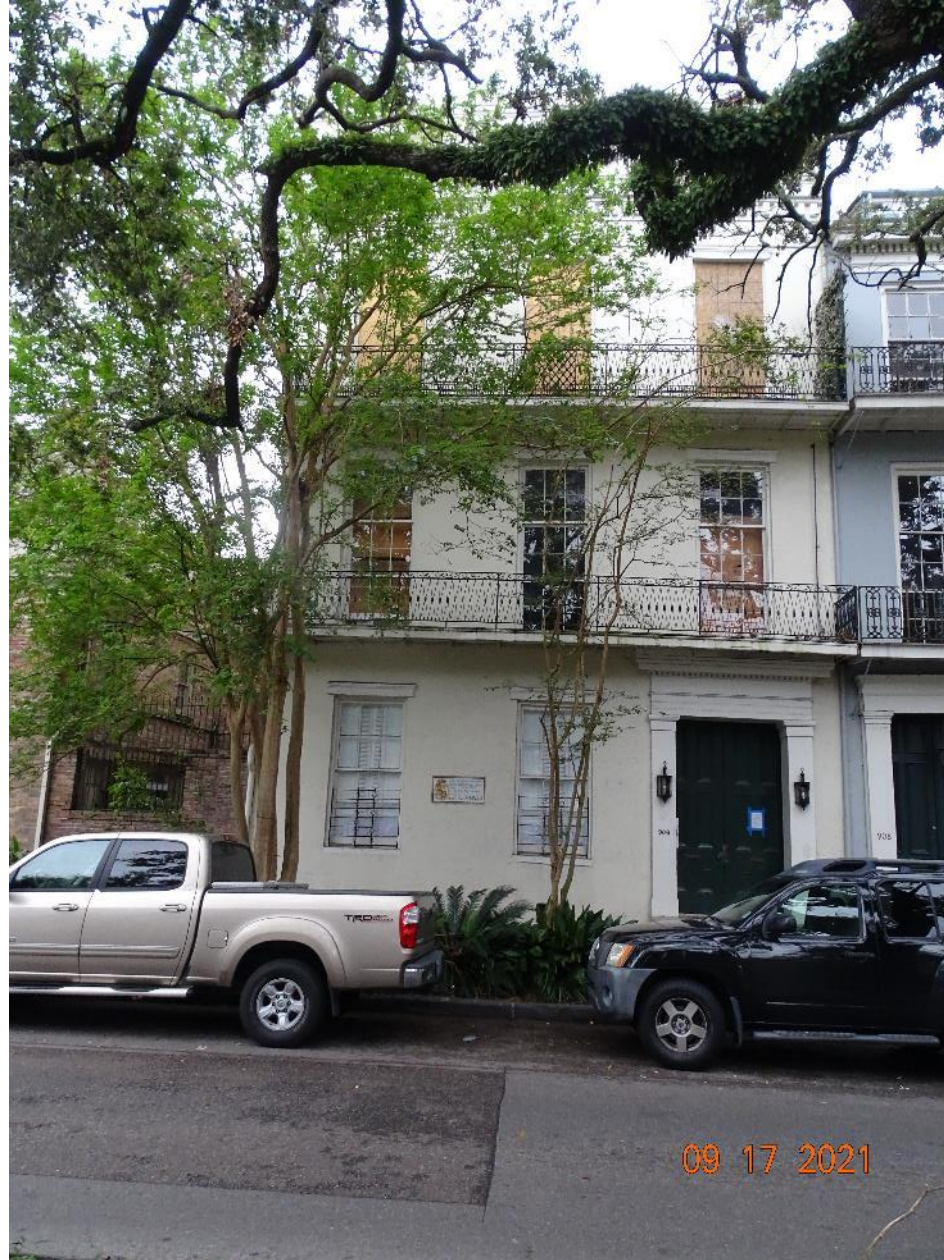


906 Esplanade

VCC Architectural Committee

August 13, 2024





906 Esplanade

VCC Architectural Committee

August 13, 2024





906 Esplanade

VCC Architectural Committee

August 13, 2024





906 Esplanade

VCC Architectural Committee

August 13, 2024



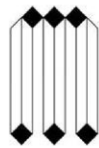


906 Esplanade

VCC Architectural Committee

August 13, 2024





MORPHY, MAKOFSKY, INC.
CONSULTING ENGINEERS
336 N. Norman C. Francis Parkway
New Orleans, LA 70119
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Jamie L. Saxon
Jonathan A. Sofranko
H. Stephan Bernick

June 25, 2024

Ms. Elyse Couvillion
906 Esplanade Avenue
New Orleans, LA 70116

RE: Rear Galleries 906 Esplanade
New Orleans, Louisiana.

Dear Ms. Couvillion;

As requested, we have conducted a follow up visual survey of the existing framing of the rear balconies at the condominium complex on June 17, 2024. The existing building is four stories tall. The rear balconies appear to be supported by the iron lattice work and a pipe column from the second to the fourth levels.

Our previous review of the framing exposed portions of the balcony framing. The original framing has been supplemented with a steel channel and pipe columns. This channel is supported by a pipe column.

The decorative latticework columns extend to the steel channels and are part of the decorative lattice work. We previously noted that the ends of these steel bars are heavily rusted and will need new supplemental plates welded to them for reinforce the support of the decorative latticework.

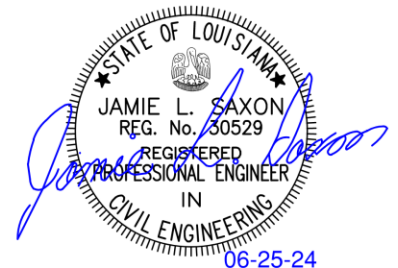
The deflections and conditions of the balcony and lattice work appear to be in similar condition to that observed during our 2021 survey. There is no evidence of continued movement.

Based on our visual observations, the balcony appears to be stable and adequate for its intended use. We recommend that a contractor be engaged to weld steel plates to the decorative columns to restore the section of the lattice work columns that have rusted.

Yours truly,

Morphy Makofsky Inc.


Jamie L. Saxon, P.E.



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Photo 1: Over all view



Photo 3: View thru the wood joist, steel support bar can be seen.



Photo 2: View at underside of 3rd floor



Photo 4: Side of balcony, rust lattice columns.



Photo 5: Steel channel along front of balcony

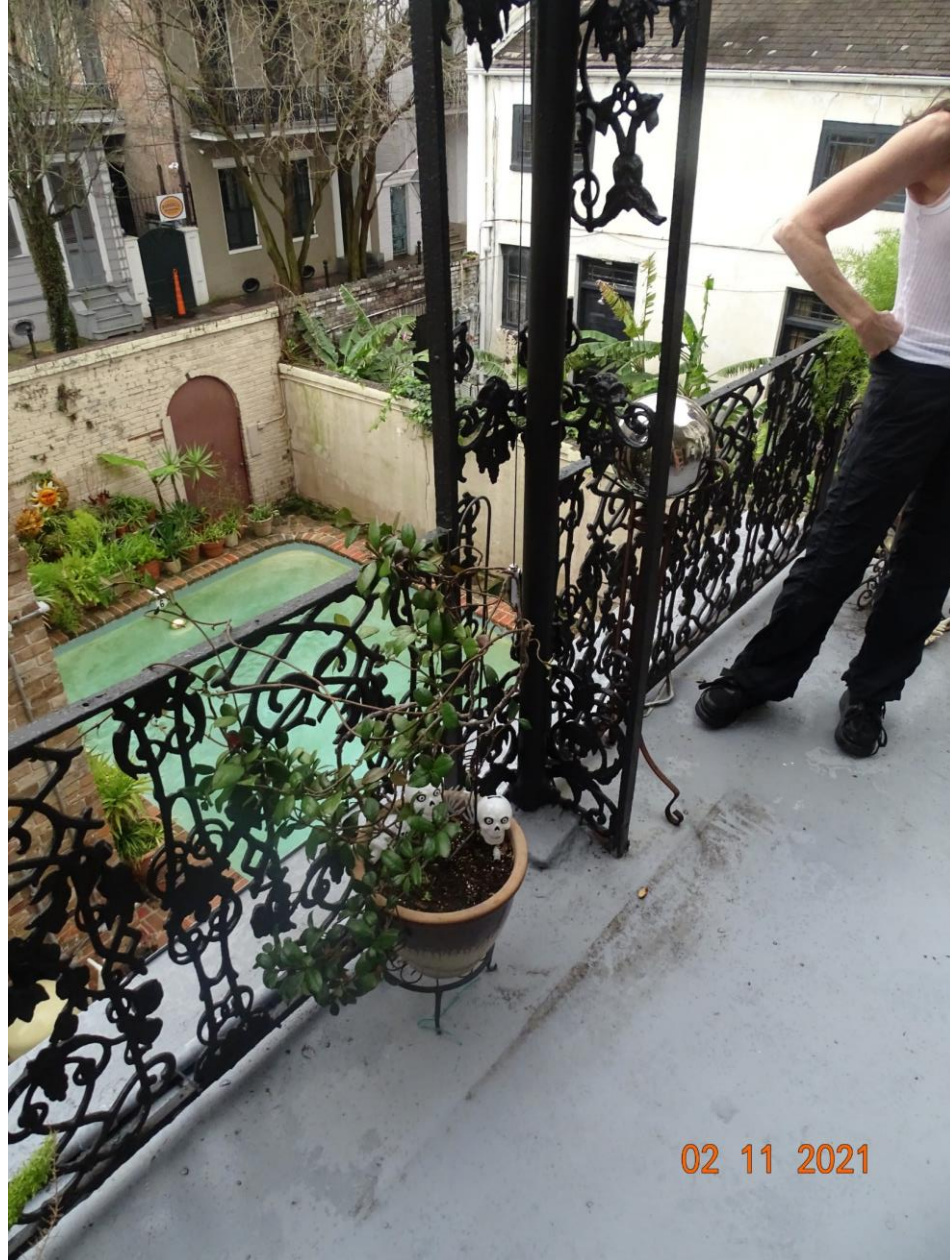
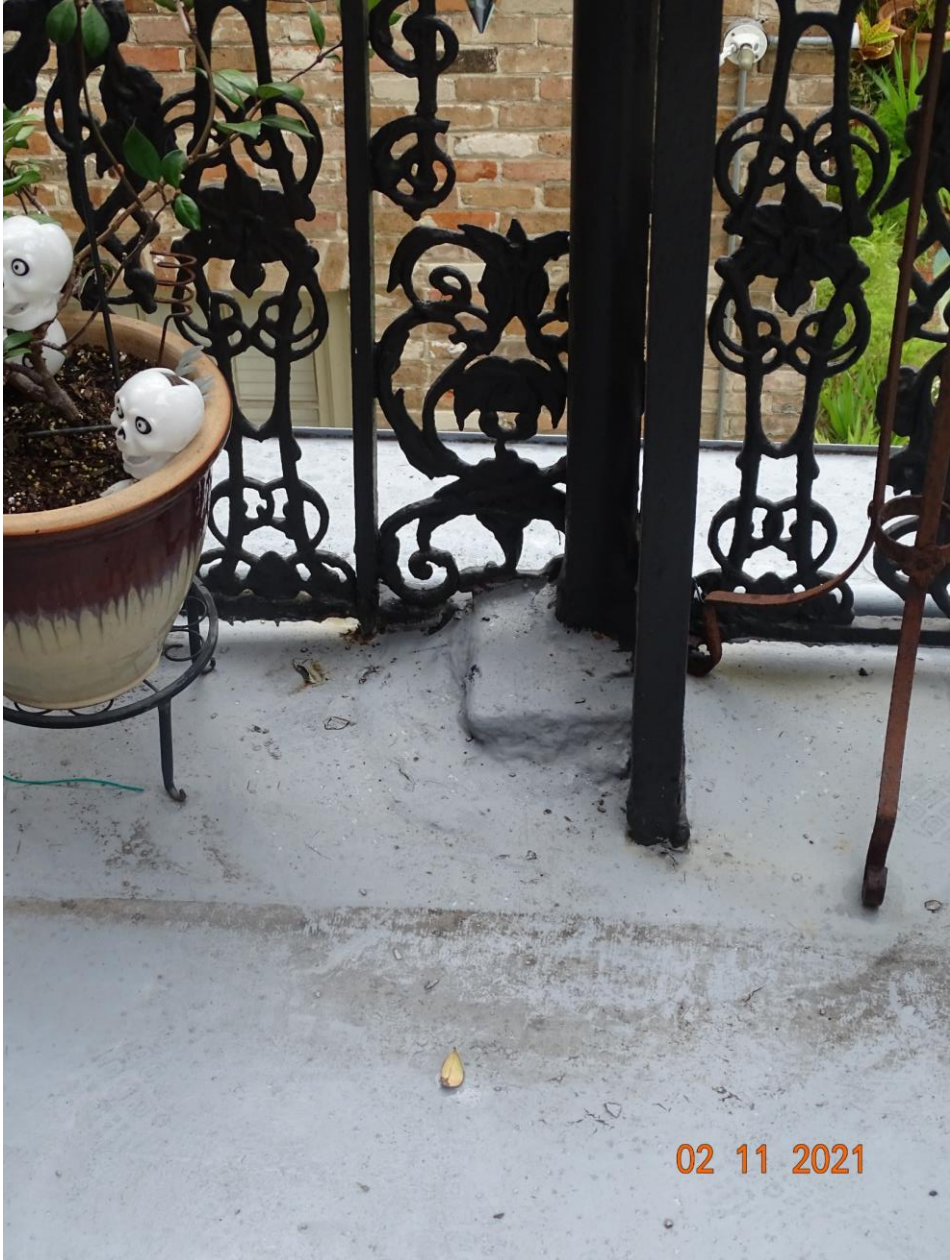


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