



Vieux Carré Commission Architecture Committee Meeting

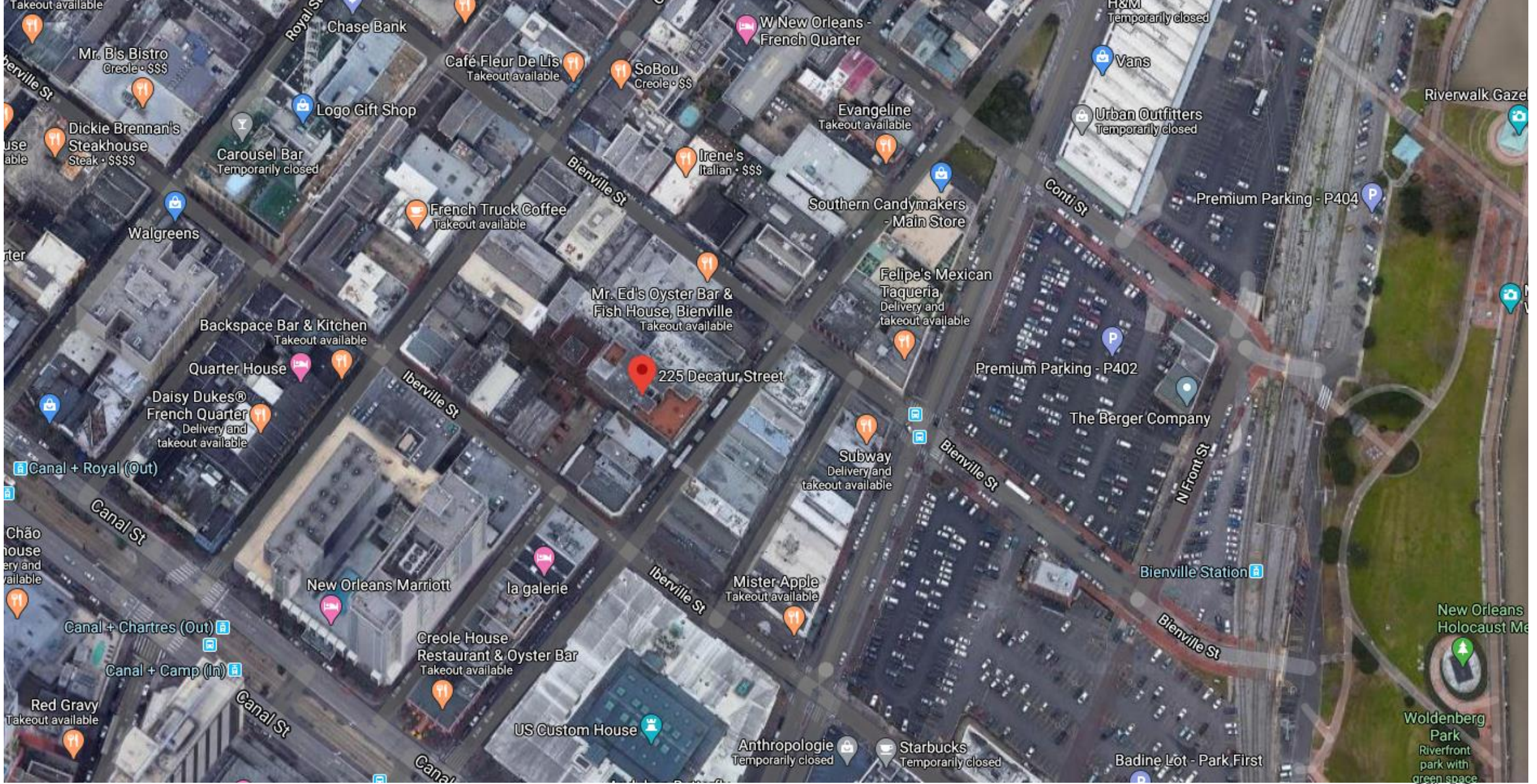
Tuesday, August 27, 2024



Old Business



215 Decatur
229 Decatur



225 Decatur

VCC Architectural Committee

August 27, 2024





225 Decatur

VCC Architectural Committee

August 27, 2024





225 Decatur

VCC Architectural Committee

August 27, 2024





225 Decatur

VCC Architectural Committee

August 27, 2024





225 Decatur

VCC Architectural Committee

August 27, 2024





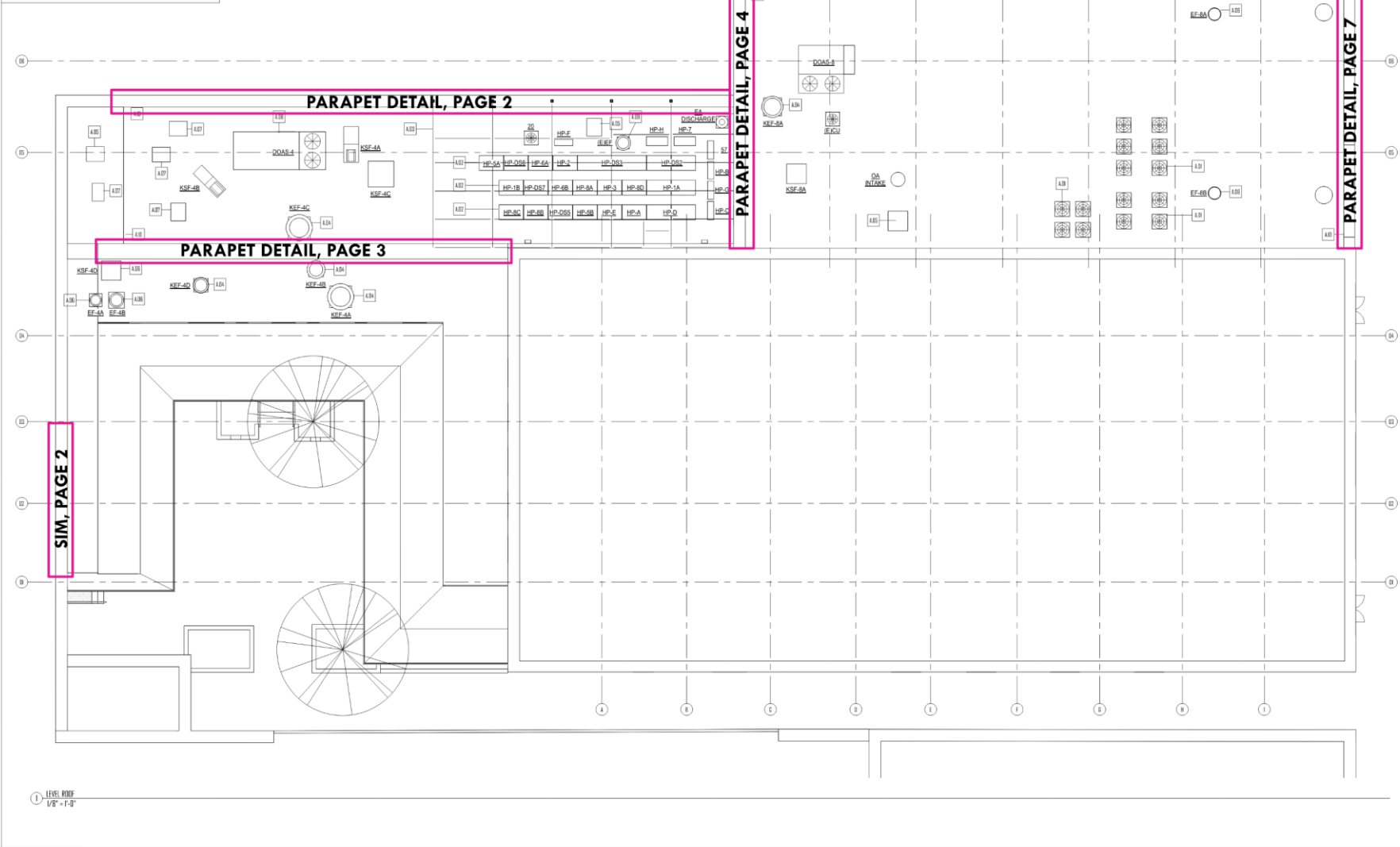
229 Decatur

VCC Architectural Committee

August 27, 2024



- KEYNOTES**
- A10: THESE NOTES ARE NOT IN THE SCOPE OF WORK. EXISTING DAMAGE DURING AND ROOF REPLACEMENT PROJECT.
 - A11: NEW RAFTERS/METALS ON STEEL PLATFORM COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A12: STEEL PLATFORM, SEE STRUCTURAL DRAWINGS, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A13: NEW EXISTING ROOF FOR REMAINING LOCATION, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A14: EXISTING ROOF PATCH TO REMAIN, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A15: EXISTING FAN TO REMAIN, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A16: REPAIR/REPLACE CONDENSATE PANS AS MUCH AS POSSIBLE. CONDENSATE PAN LOCATION, HEIGHT ON NEW ROOF CAROL, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A17: NEW DISCHARGES ON NEW ROOF CAROL, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A18: EXISTING/NEW FAN EXTERIORLY AND PLACE FAN AT LEVEL OF NEW STRUCTURAL PLATFORM, COORDINATE WITH ROOF REPLACEMENT PROJECT.
 - A19: ROOF JOISTS/LOCATION, COORDINATE WITH ROOF REPLACEMENT PROJECT.



GOATstudio LLC
 8000 Camp Street, Ste. 204
 New Orleans, LA 70030
 504.765.8973
 www.madeGOAT.com
 @madeGOAstudio



HOUSE OF BLUES - NEW ORLEANS
HVAC REPLACEMENT
 225 - 229 DECATUR STREET
 NEW ORLEANS, LA 70002

PROJECT NUMBER	22005
DATE	2023.03.23
SHEET FROM	CONSTRUCTION
SCALE	1/8" = 1'-0"



OVERALL ROOF PLAN

A114

3/22/2023 08:50 AM

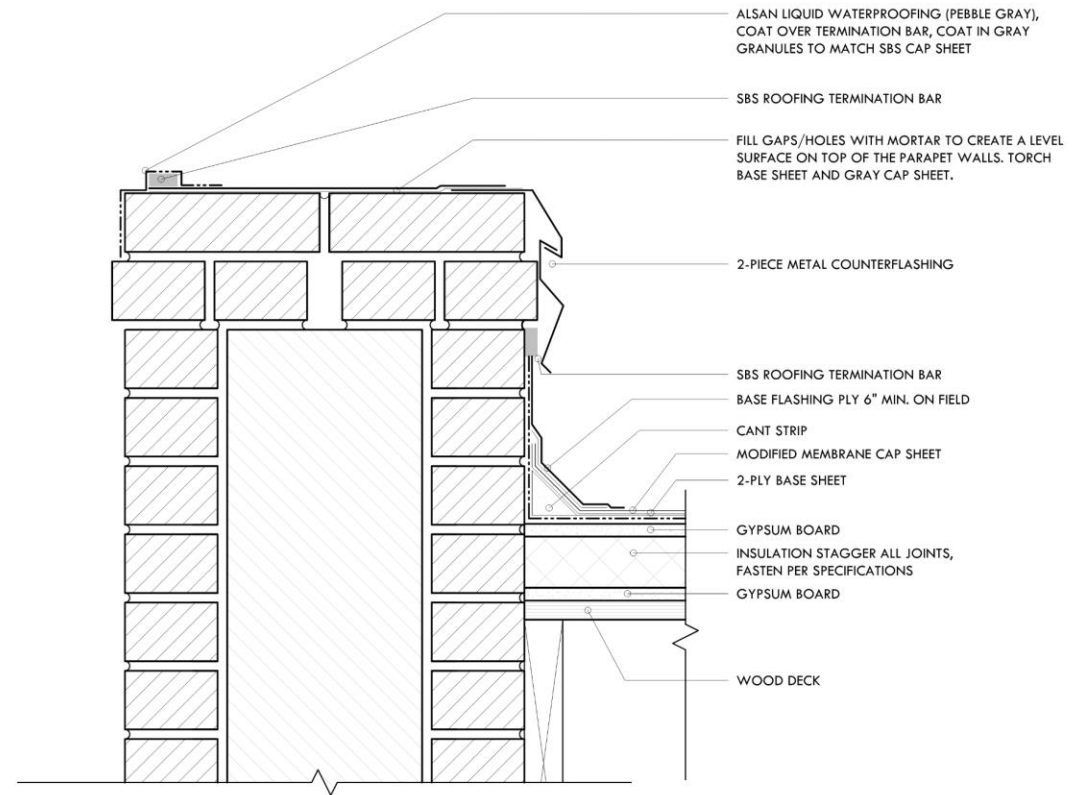


ROOF PAPAPET DETAIL, PAGE 2

Area 1



IN PROGRESS WORK



PROPOSED PARAPET DETAIL

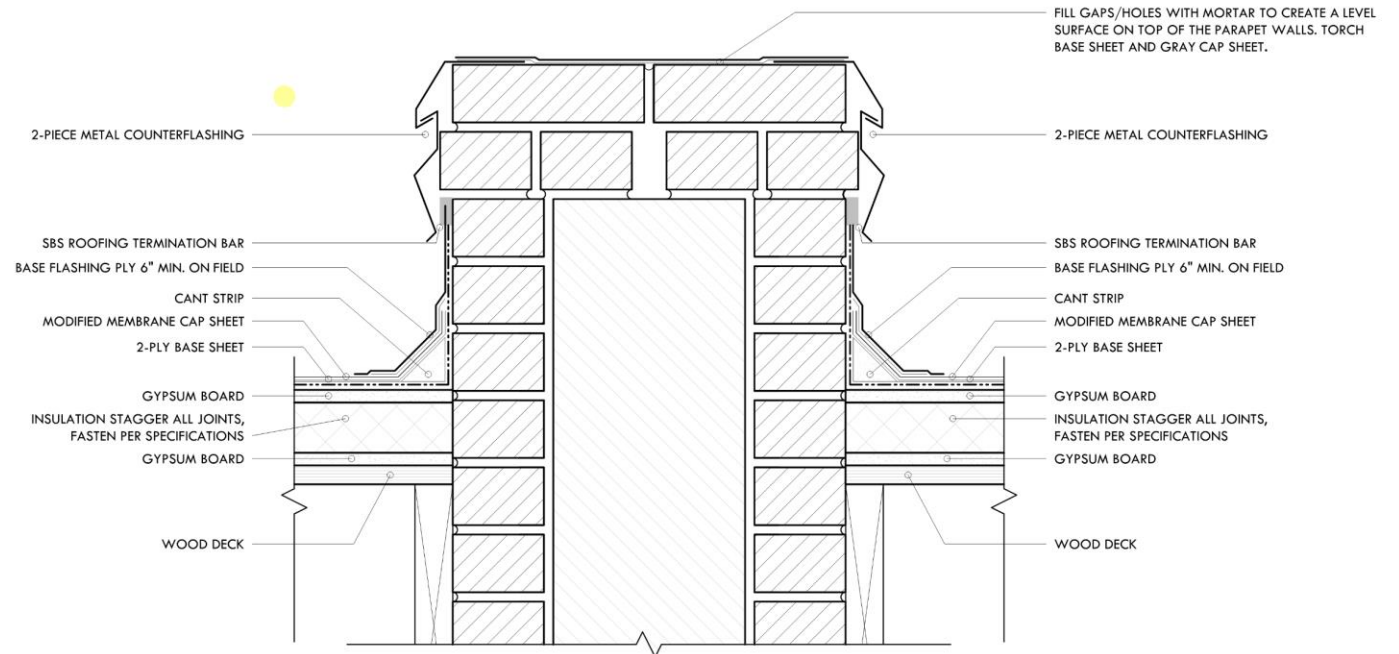


ROOF PAPAPET DETAIL, PAGE 3

Area 2



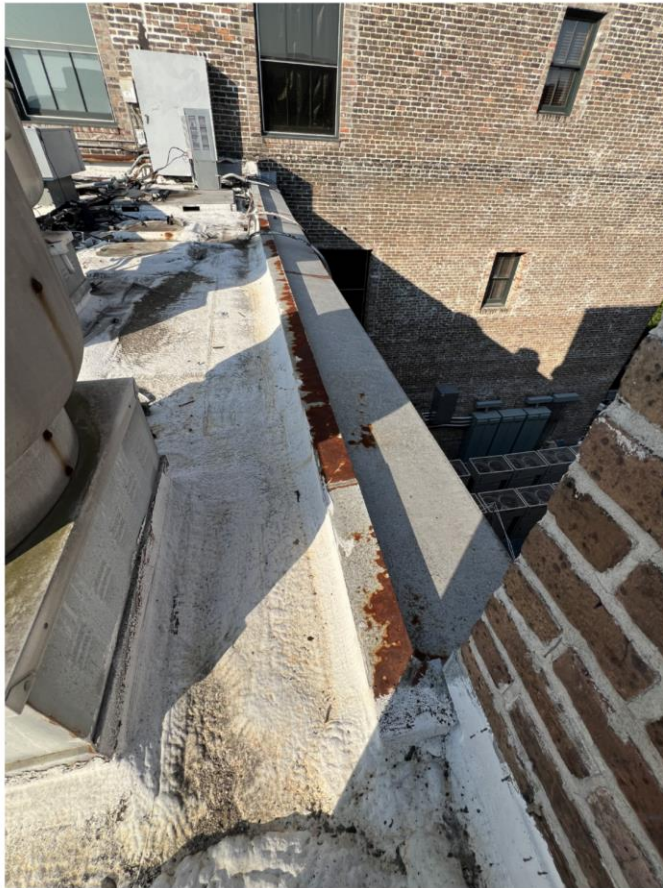
EXISTING CONDITION



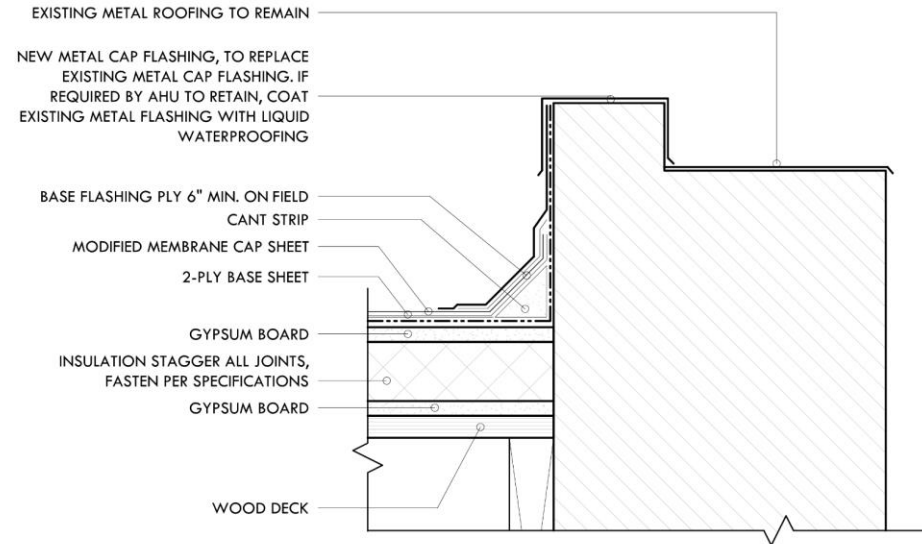
PROPOSED PARAPET DETAIL



Area 3



EXISTING CONDITION



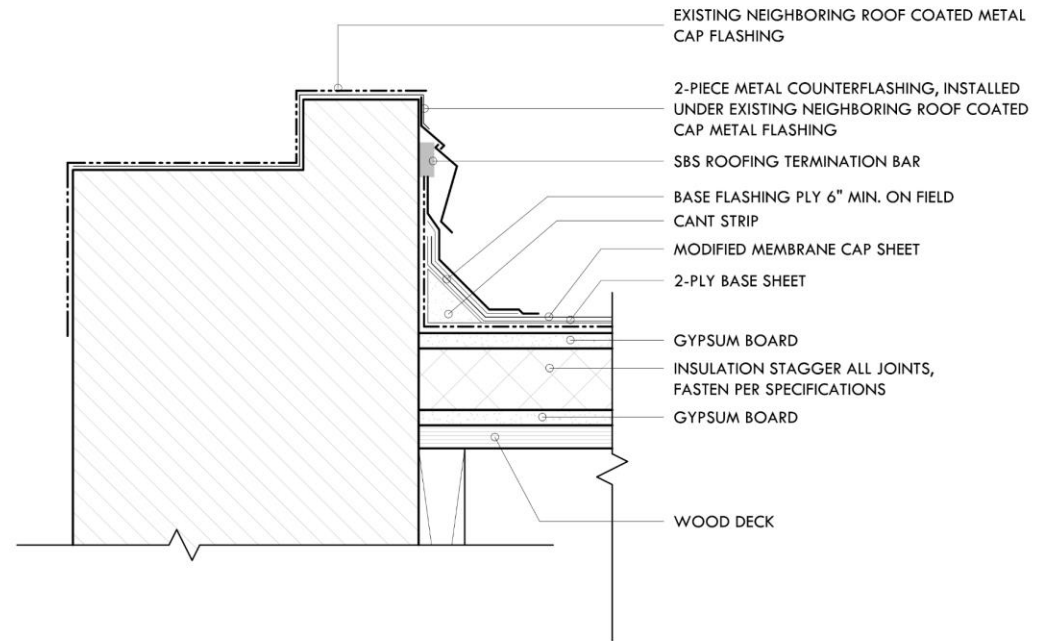
PROPOSED PARAPET DETAIL

ROOF PAPAPET DETAIL, PAGE 5

Area 4



EXISTING CONDITION

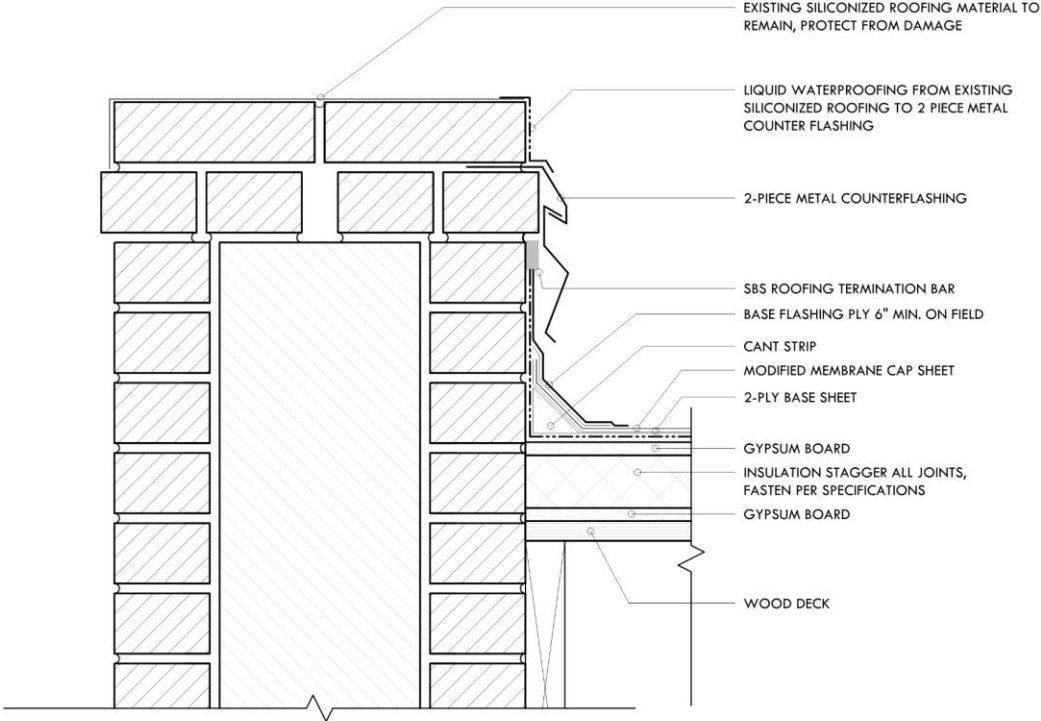


PROPOSED PARAPET DETAIL

Area 5



EXISTING CONDITION



PROPOSED PARAPET DETAIL

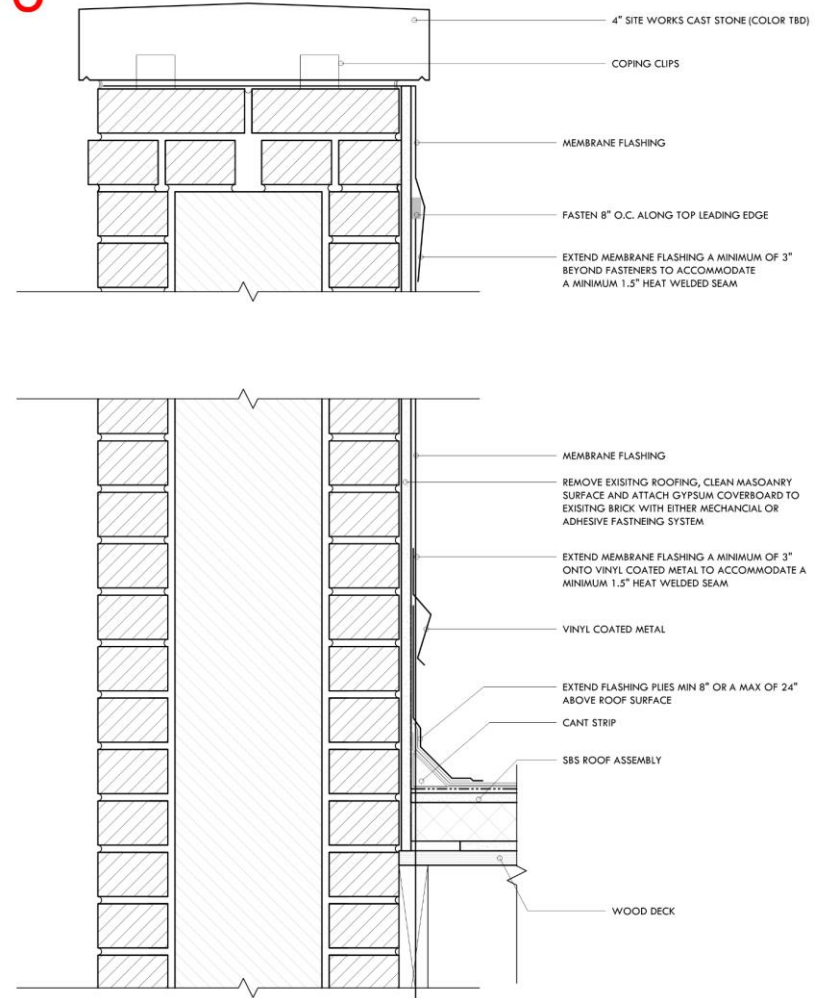


ROOF PAPAPET DETAIL, PAGE 7

Area 6



EXISTING CONDITION



PROPOSED PARAPET DETAIL





616 Conti



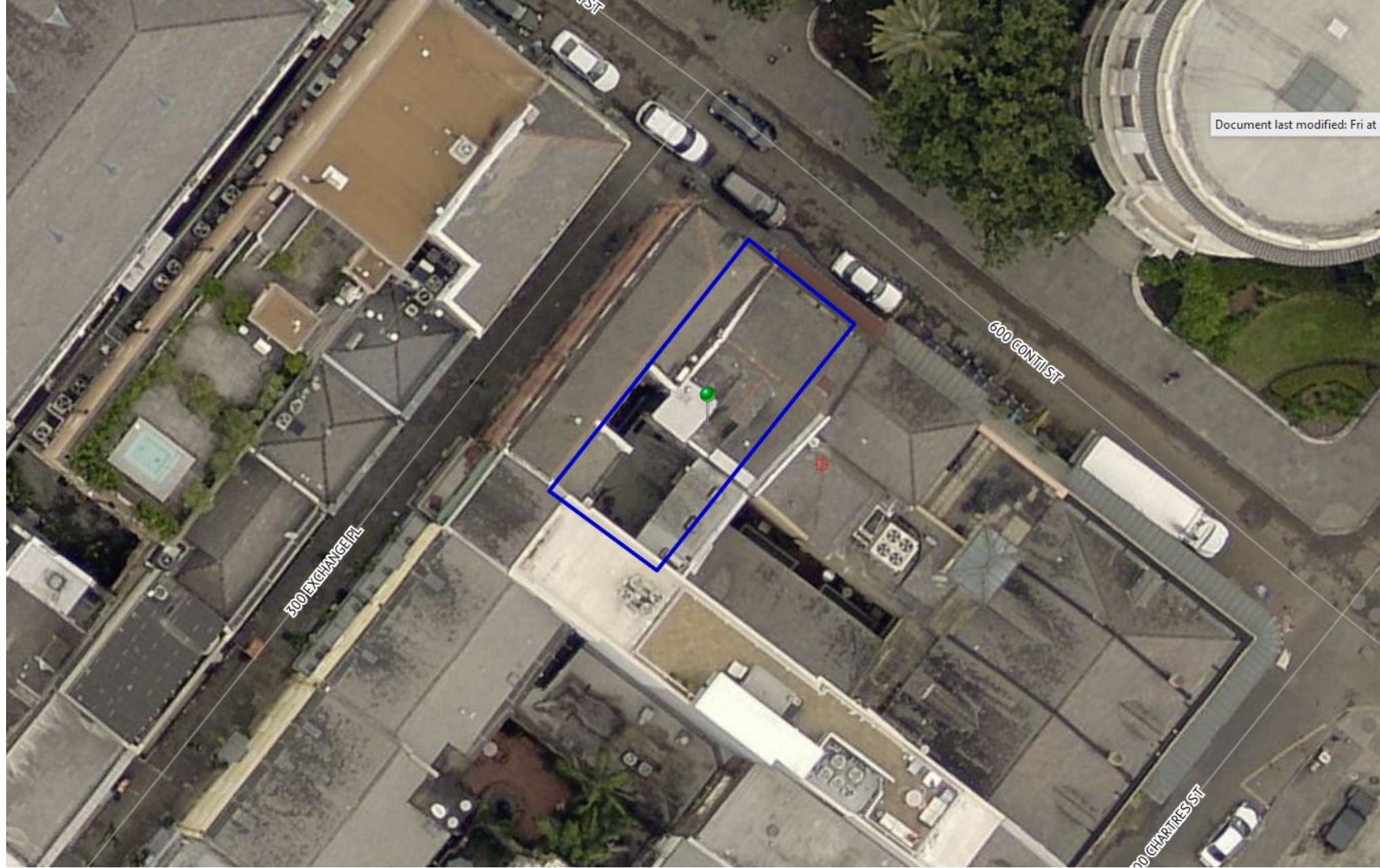
616 Conti

VCC Architectural Committee

August 27, 2024



Document last modified: Fri at 3



616 Conti – 2019

VCC Architectural Committee

August 27, 2024



Document last modified: Fri at 3:57 PM





616 Conti

VCC Architectural Committee

August 27, 2024





616 Conti

VCC Architectural Committee

August 27, 2024





616 Conti
VCC Architectural Committee

August 27, 2024





616 Conti

VCC Architectural Committee

06 26 2020

August 27, 2024





616 Conti

VCC Architectural Committee

August 27, 2024





616 Conti

VCC Architectural Committee

August 27, 2024





614-616 Conti

Vieux Carre Commission

October 2, 2013

August 27, 2024





614-616 Conti

VCCIA Arch. Com. Cal. Commission

October 2, 2013

August 27, 2024





614-616 Conti





616 Conti

VCC Architectural Committee

August 27, 2024





616 Conti

VCC Architectural Committee

August 27, 2024





616 Conti

VCC Architectural Committee

August 27, 2024





616 Conti

VCC Architectural Committee

August 27, 2024







616 Conti

VCC Architectural Committee

August 27, 2024







616 Conti

VCC Architectural Committee

August 27, 2024





03 15 2022



LEGEND - DEMOLITION

- CONCRETE MASONRY UNIT (CMU) WALL
- MASONRY WALL
- STUD WALL WITH CLAD FINISH
- CONSTRUCTION ELEMENT TO BE DEMOLISHED
- EXISTING CONSTRUCTION ELEMENT TO REMAIN
- LINE OF CONSTRUCTION ELEMENT OVERHEAD

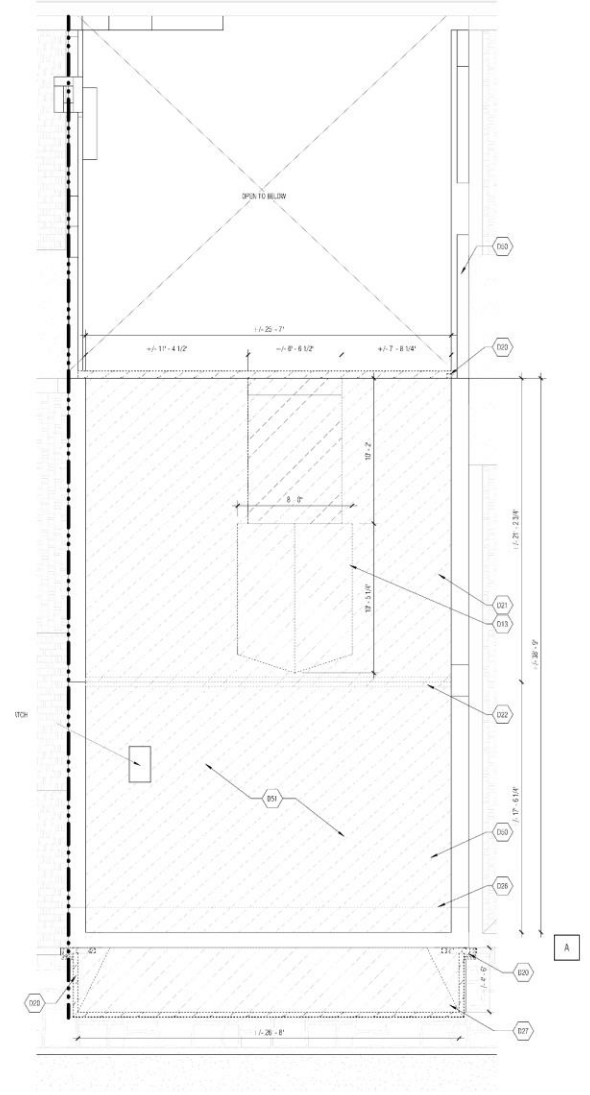


DEMOLITION GENERAL NOTES

1. DEMOLITION WORK SHOWN INDICATES MINIMUM AMOUNT OF WORK TO BE PERFORMED TO ACCOMMODATE SCHEDULED CONSTRUCTION. COORDINATE LIMITS OF DEMOLITION WORK WITH SCOPE OF SCHEDULED CONSTRUCTION.
2. DEMOLITION AND OTHER WORK WHICH REQUIRES SCHEDULING MUST BE SCHEDULED WITH SCHEDULING DIVISION AND PERMITTED DURING PERMITTED TIME. DEMOLITION, HANDLING, AND INSTALLATION OF MATERIALS, EQUIPMENT AND SUPPLIES MUST BE ARRANGED TO AVOID ANY INTERFERENCE AND ANNOYANCE TO THE NEIGHBORHOOD. PRIOR TO COMMENCEMENT OF WORK, YOU MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS AND NOTIFY INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
3. COORDINATE WITH OWNER FOR TEMPORARY STORAGE OF ITEMS INDICATED TO BE "REMOVED" OR "RELOCATED" OR OTHERWISE MOVED AND REINSTALLATION.
4. COORDINATE WITH OWNER FOR PERMANENT STORAGE OF ITEMS INDICATED TO BE "REMOVED" OR "RELOCATED" BY OTHERS. SAVE BY FIELD AREA.
5. COORDINATE WITH OWNER FOR OWNER'S REMOVAL OF UNDESIRABLE EQUIPMENT AND OTHER ITEMS NOT SPECIFICALLY NOTED HEREIN DEMOLITION NOTES.
6. COORDINATE WITH OWNER FOR THE REMOVAL OF ITEMS INDICATED TO BE REMOVED BY OTHERS. REMOVED BY OTHERS, OR OTHERWISE NOT REMOVED OR DEMOLISHED BY ORIGINAL CONTRACTOR.
7. PROTECT AND PRESERVE ALL EXISTING ITEMS AND ADJACENT AREAS AROUND AREAS OF DEMOLITION.
8. CONTRACTOR RESPONSIBLE FOR THE REMOVAL AND RELOCATION OF EXISTING FURNITURE TO STORAGE OR REUSE. COORDINATE WITH OWNER FOR RELOCATIONS.
9. NEW OPENING LOCATIONS SHALL BE COORDINATED WITH NEW WORK. REMOVE AND STORE ALL DOOR/SWITCHES/PLUGS IN ALL WORK FOR RE-USE.
10. CONTRACTOR TO USE THE SET TO BECOME FAMILIAR WITH ALL CONDITIONS AND SPACES FROM TO BE DEMOLISHED SHALL INCURE RESPONSIBILITY FOR DAMAGES IN ITS BID FOR OPERABLE CONDITIONS.
11. SEE STRUCTURAL ENGINEER'S PLAN FOR ALL NECESSARY STRUCTURAL REMOVAL AND SITE PREPARATION.
12. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO APPLICATION TO ARCHITECT FOR ALL CUSTOM FABRICATIONS.
13. ALL EXISTING DIMENSIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD AND COORDINATED WITH NEW WORK. NO ADDITIONAL COMPENSATION SHALL BE CONSIDERED FOR VARIATIONS OF ACTUAL DIMENSIONS.

DEMOLITION KEYNOTES

- D03 DEMO DOOR/FRAMING, SHINGLES, AND DOORS
- D02 REMOVE EXISTING CORRUGATED DOWNSPOUT. PREPARE TO TIE INTO NEW DRAINAGE SYSTEM.
- D01 REMOVE ALL EXISTING ROOF SHINGLES, UNDERLAYER AND FLASHING.
- D04 REMOVE EXISTING TERRA COTTA HEDGE CAPS.
- D06 REMOVE GULLY TRAP AND SCUPPER AT ROOF PARAPET.
- D07 REMOVE CORRUGATED METAL PANELS AND FRAMING PREPARE FOR REPLACEMENT STRUCTURAL ROOF.
- D08 REMOVE ALL VESTIBULE AND DEBRIS FROM ALL SURFACES, TYPICAL.
- D05 REMOVE AND CAP ALL VENT STACKS BELOW ROOF.



1 | A1.0b | DEMOLITION ROOF PLAN | 1/4" = 1'-0"

DEAD RABBIT NOLA - ROOF REPLACEMENT
616 CONTI STREET
NEW ORLEANS, LA 70130

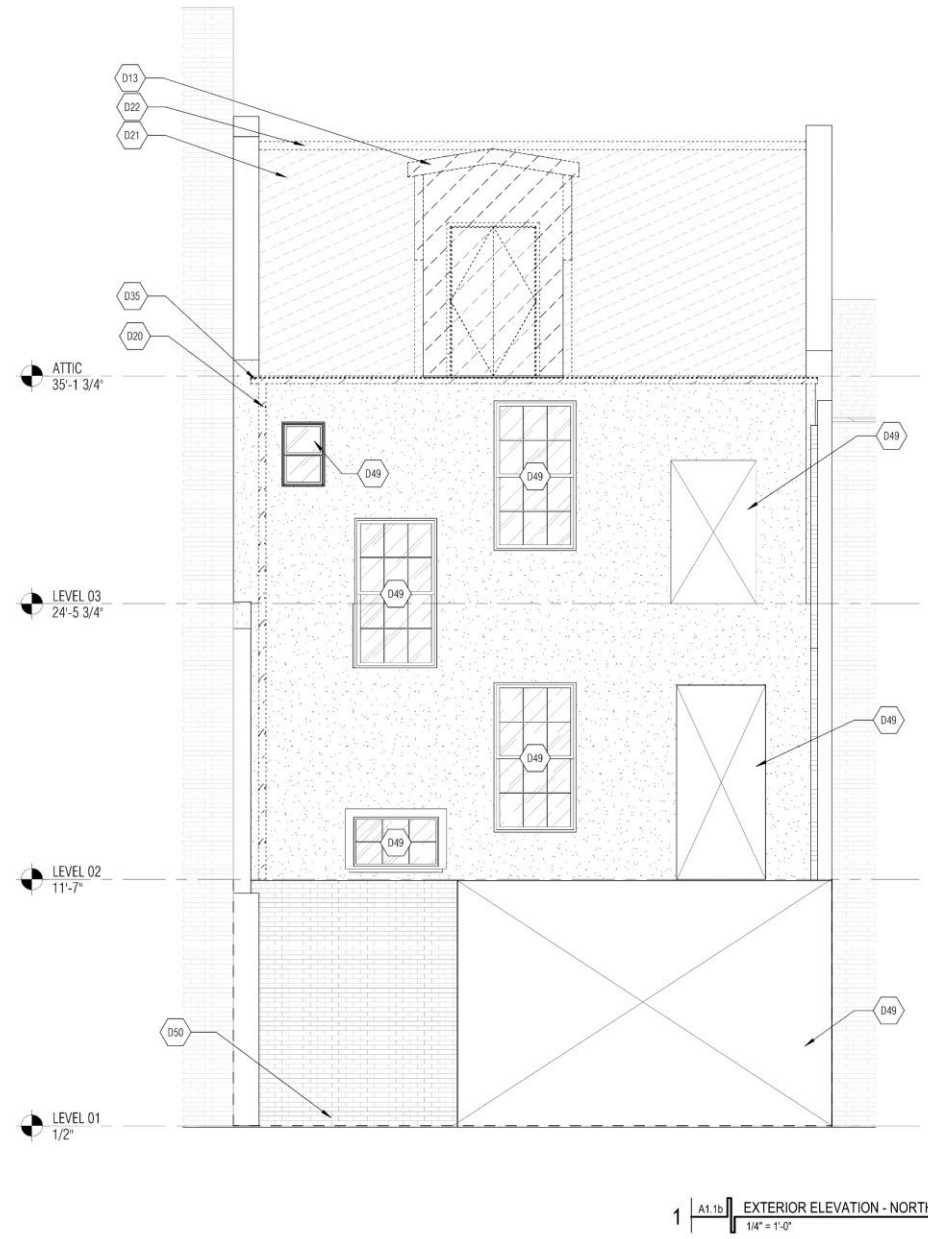
REVISIONS	DESCRIPTION	DATE



PHASE 1b
DATE 07/26/2024
PROJ. NO. A1907

A1.0b
DEMOLITION PLAN - ROOF





1 | A1.1b | EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



August 13, 2024

Department of Safety and Permits
 City of New Orleans
 1340 Poydras Street
 Suite 800

Re: 616 Conti Street, New Orleans, LA 70130
Parti Wall Structural Concerns

Dear Erin,

I am writing on behalf of the Owners of 616 Conti Street to address the Vieux Carre Commission violations associated with the property. This letter is meant to accompany the previously submitted document named, "240726_616 CONTI_Permit Phase 1b R1.pdf". One additional drawing sheet is being submitted, preliminarily, to address the structural concerns of a portion of the parti wall on Chartres Street side of the building (see highlighted images below).



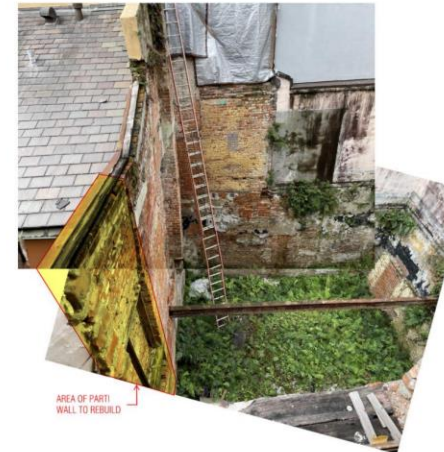
2401 BIENVILLE STREET
 NEW ORLEANS, LA
 70119 504.486.3272
 WWW.NANOLLCC.NET

616 Conti

VCC Architectural Committee



(Photo circa 2022)



(Photos circa 2022)

2401 BIENVILLE STREET
 NEW ORLEANS, LA
 70119 504.486.3272
 WWW.NANOLLCC.NET



August 27, 2024

1. The wall in question is adjacent to an open courtyard towards Chartres Street. Our team is currently working to contact the property owner(s) that this work will affect to obtain their agreement that the work proposed in our design documents should proceed.
2. When the original addition was in the process of demolition for restructuring in 2020, this wall was exposed and the many apparent modifications over time unveiled. While overall this is a two-wythe wall, sections that are supported by lumber framing are only a single layer of brick. The structural engineering team identified this section of wall with particular concern for its continued stability, now and during future development.
3. The attached drawings illustrate the proposed method for rebuilding this section of wall. We propose to fully remove the highlighted section of wall and replace it with wood stud and brick veneer wall tied into wood floor joists (Ref. wall section 2/S2.0). The wood studs and joists will be part of the reconstructed addition, replacing what was removed (due to safety concerns) in 2020. A zoning variance is required for a portion of this addition that fills in the 1st floor, this application is currently in process and the NPP is being scheduled for the first week of September 2024.
4. Temporary stabilization has been considered, this would require a substantial amount of custom sized steel and a large disruption to the occupied side of the wall. This would be economically burdensome for a temporary condition and the time for the design, procurement and installation is likely to take longer than the proposed solution (including the variance process).

Our request of the VCC Staff and Committee is to allow the demolition of this section of the parti wall as part of permit application #24-09814-RNVN due to safety concerns the unknown structural stability poses, particularly to the occupied side of the wall. We ask that the Staff and Committee also advise if the reconstruction of this wall should be included in the "Phase 1 Repairs" permit (24-09814-RNVN) or in the "Phase 2" construction package (24-24430-RNVS).

Should you have any questions or need to discuss further, please do not hesitate to contact me.

Sincerely,

Samantha Johnson
Project Manager





616 Conti

VCC Architectural Committee

August 27, 2024





New Business

The seal of the Vieux Carre Commission is a large, faint, oval-shaped emblem in the background. It features a central crest with a crown on top, flanked by two figures. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

**430 Barracks
97 French Market Place**



97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024





97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024



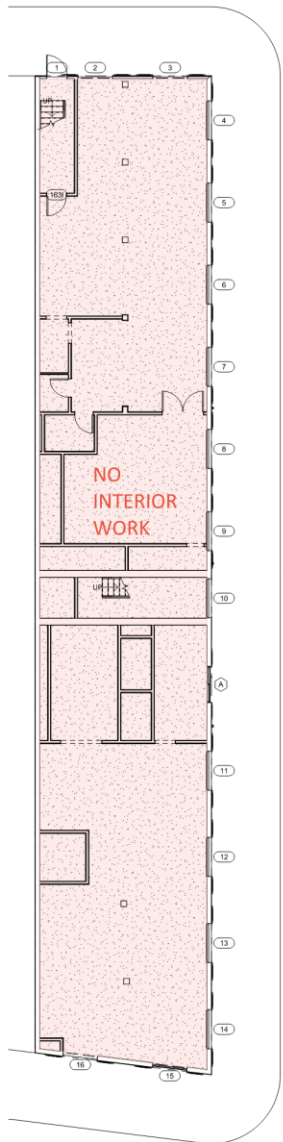


97 French Market Place/ 430 Barracks/ 1240 Decatur

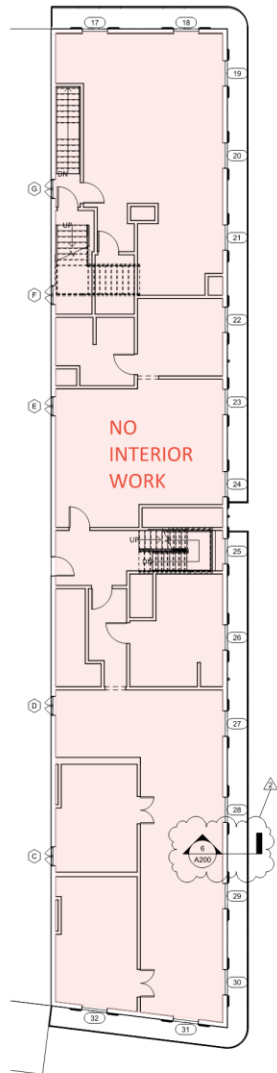
VCC Architectural Committee

August 27, 2024

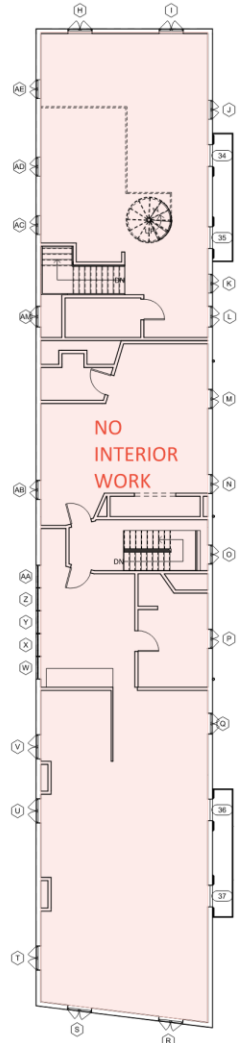




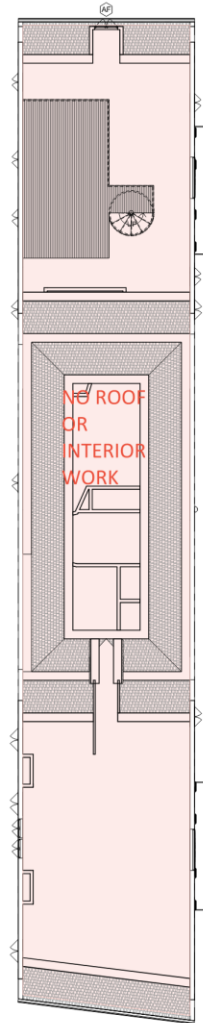
1 Level 1
A100 | 1/8" = 1'-0"



2 Level 2
A100 | 1/8" = 1'-0"



3 Level 3
A100 | 1/8" = 1'-0"



4 Level 4 - Loft
A100 | 1/8" = 1'-0"

GENERAL NOTES:
NO INTERIOR WORK OR CHANGES TO LAYOUTS. PLANS ARE SHOWN FOR REFERENCE OF OPENINGS.
ALL DOORS AND SHUTTERS TO REMAIN OPERATIONAL. SWINGS WERE LEFT OFF DRAWINGS FOR LEGIBILITY.
PAINT COLORS TO MATCH EXISTING PAINT.
WOOD SPECIES FOR ALL REPAIRS TO BE CYPRESS.

MILLWORK REPAIRS & ROOF REPLACEMENT

1236 Decatur Ave
New Orleans, LA 70116

PROJECT NO. 21-009



COPYRIGHT ©2022 studio'RISE



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I (Clark Hester) am providing project construction administrative services on this project.

Clark Hester

•REVISIONS•

No.	Description	Date
2	VCC DECK REPLACEMENT	8/9/2024

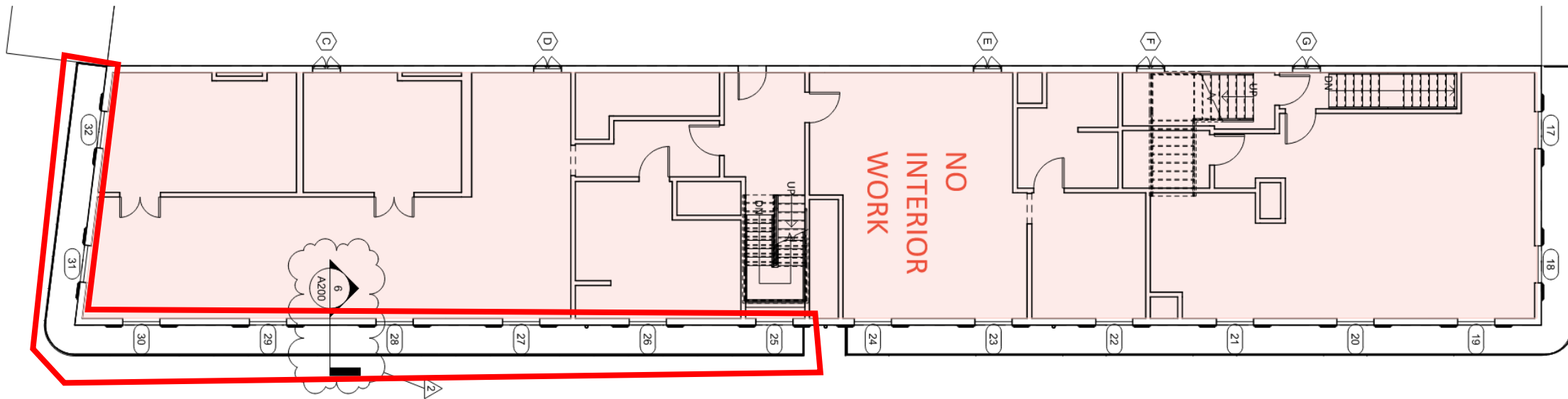
DRAWING PROPOSED PLANS

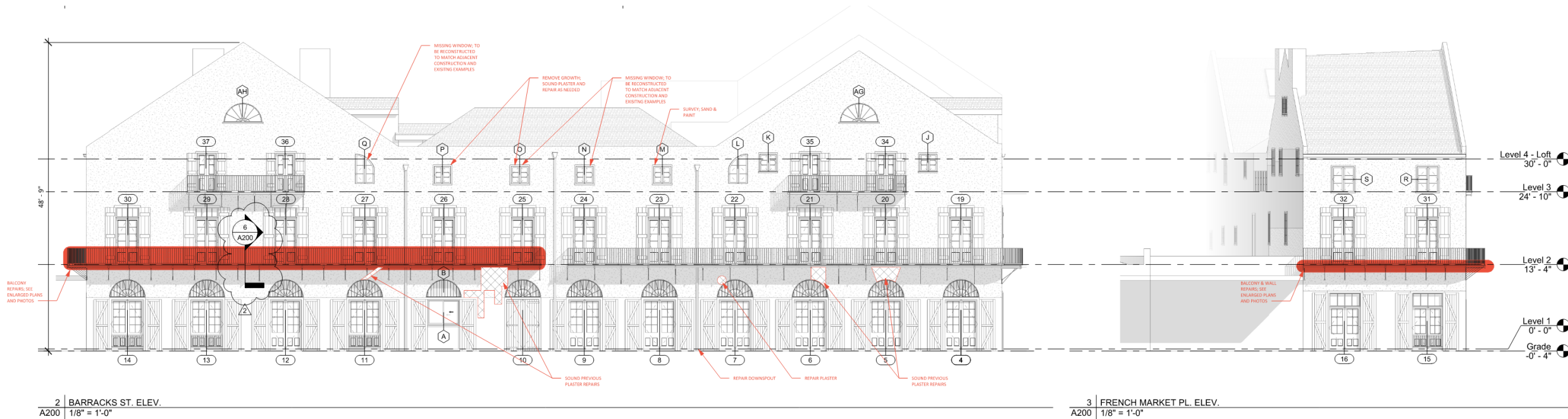
SCALE 1/8" = 1'-0"
ISSUED 11/10/22
SHEET NO.

A100



2 Level 2
A100 1/8" = 1'-0"



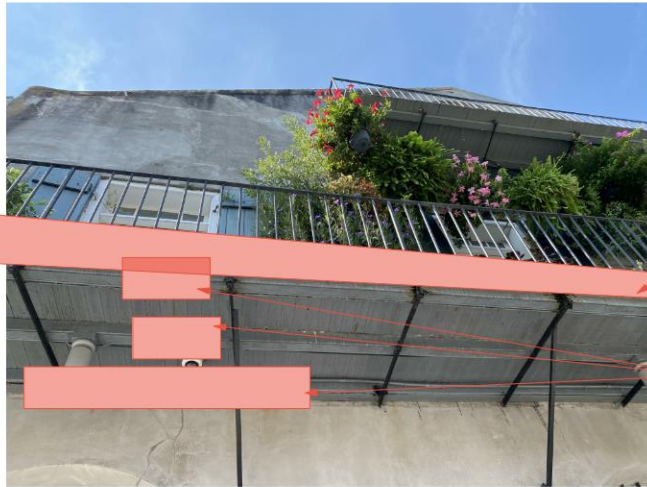


97 French Market Place/ 430 Barracks/ 1240 Decatur

VCC Architectural Committee

August 27, 2024

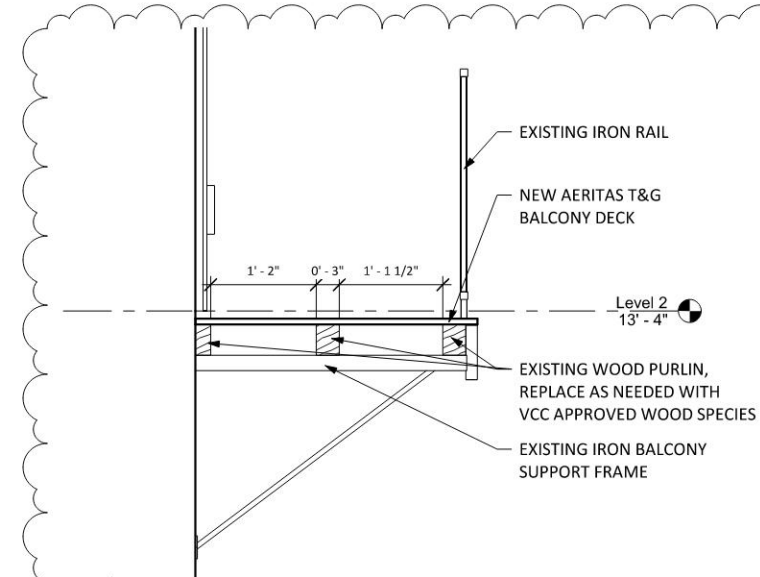




REMOVE SECTIONS OF ROTTING T&G BALCONY DECKING AND REPLACE IN KIND.

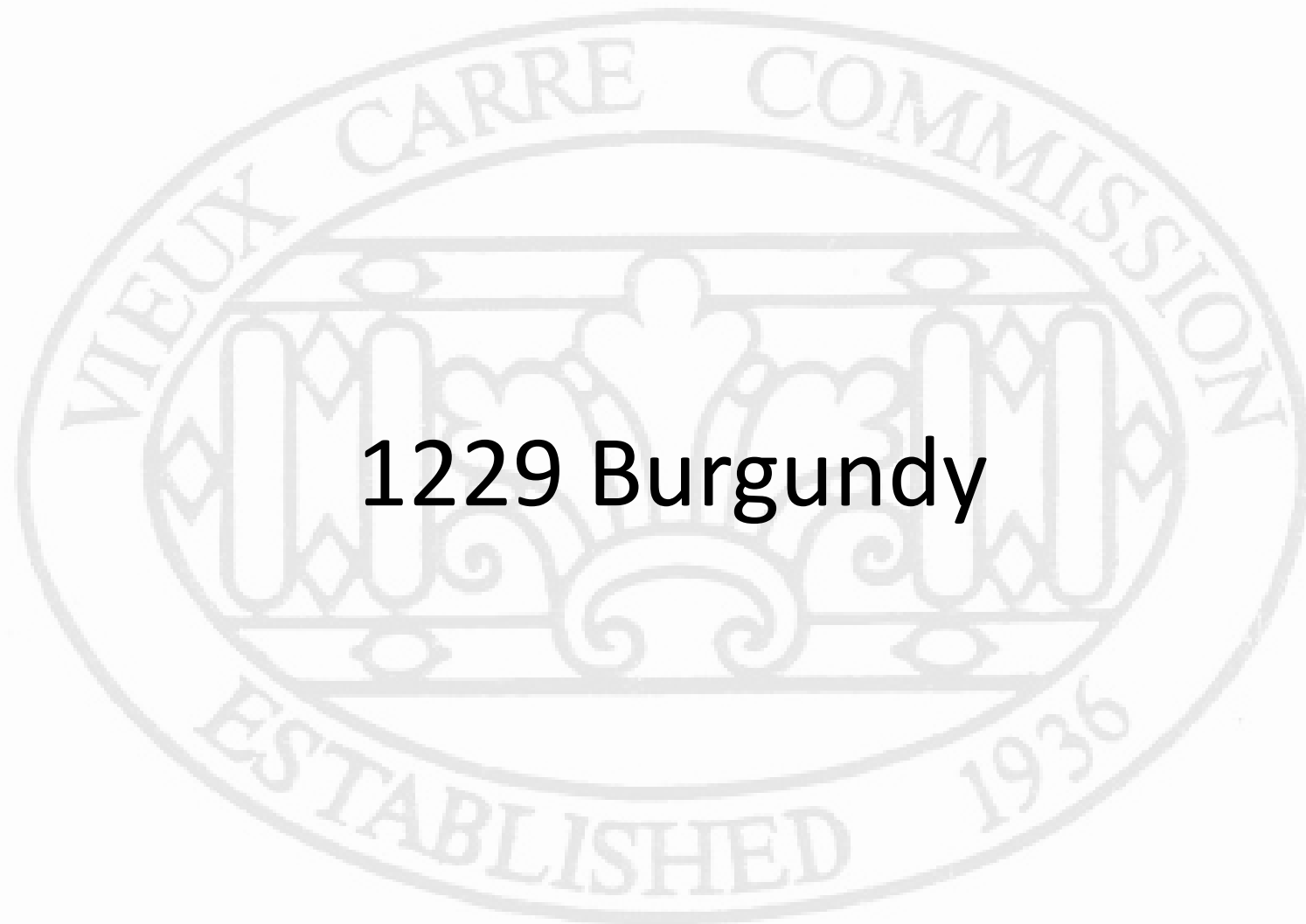
INSPECT SUPPORT TRIM & REFASTEN WHERE LOOSE. REPLACE IN KIND IF NEEDED.

5 | TYP. BALCONY REPAIR SCOPE
A200 | 3/16" = 1'-0"

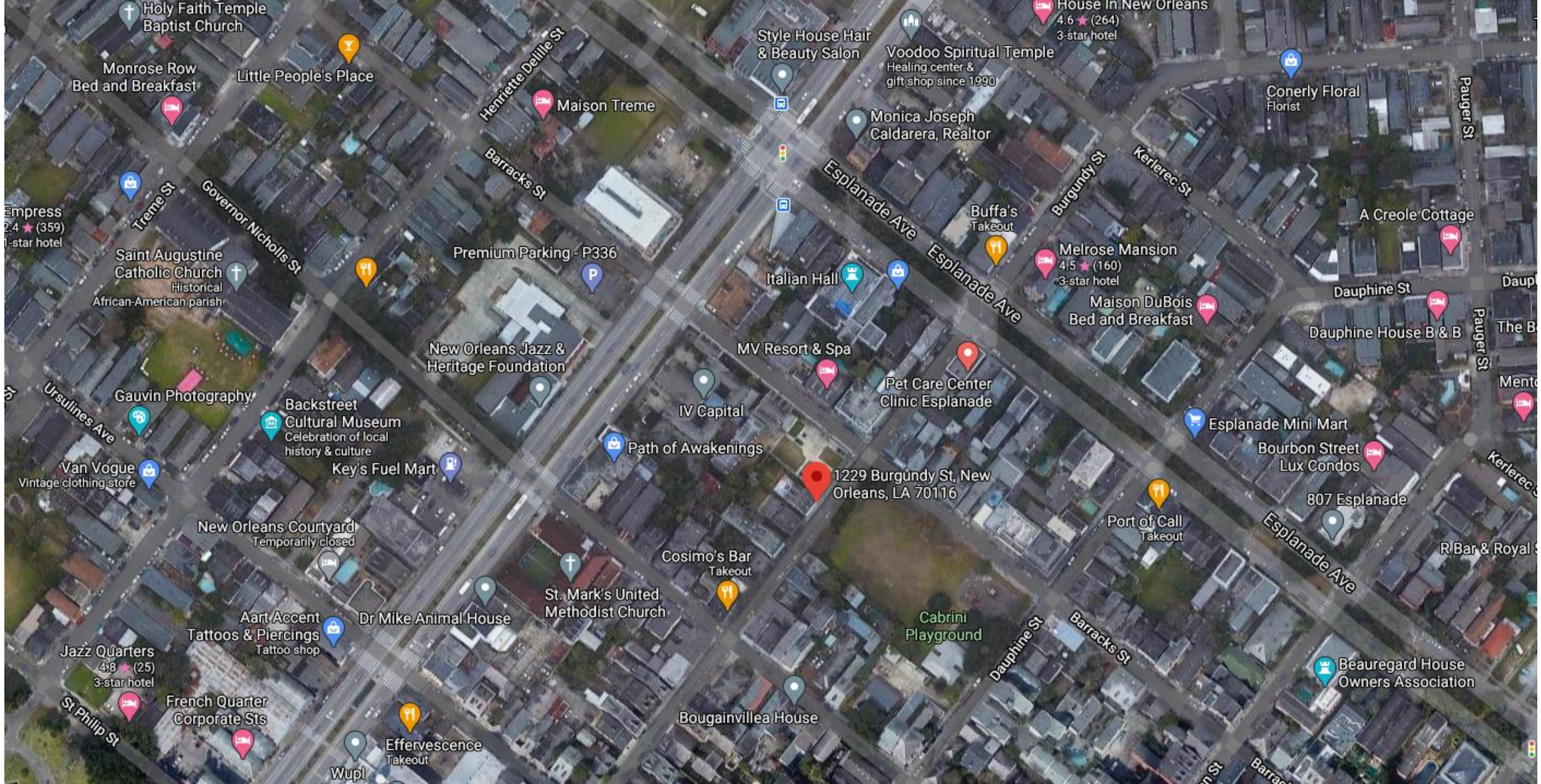


6 | BALCONY DECK REPLACEMENT
A200 | 1" = 1'-0"





1229 Burgundy



1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy - 1963

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024



1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024



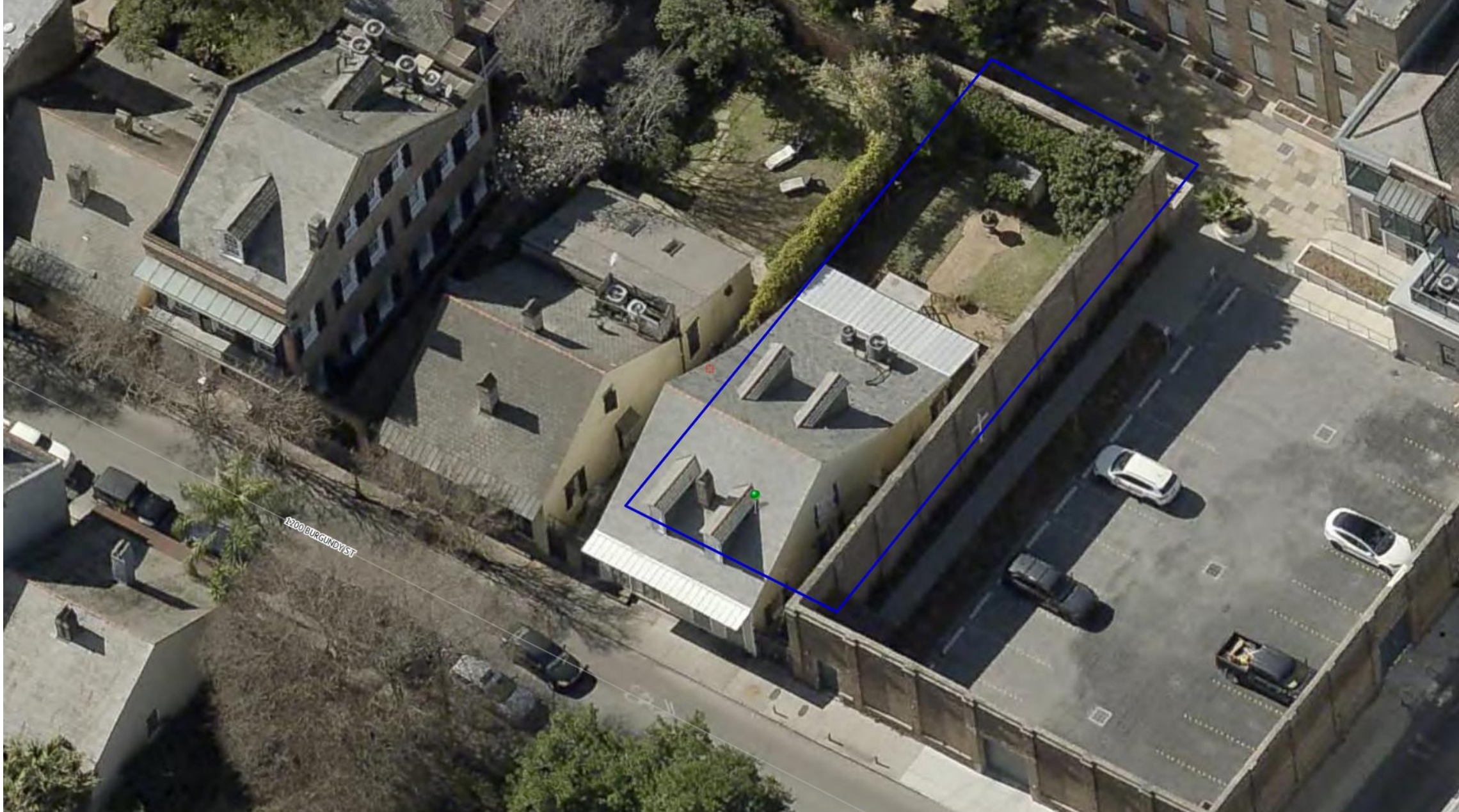


1229 Burgundy

VCC Architectural Committee

August 27, 2024





1229 Burgundy

VCC Architectural Committee

August 27, 2024



ANDERSON & BUUCK
CONSULTING ENGINEERS, LLC.

SUITE 306
432 N. ANTHONY STREET
NEW ORLEANS, LOUISIANA 70119

PHONE: (504) 488-7797

E-MAIL: abeng@andersonbuuck.com

August 7, 2024

Daniel Zangara
Zangara + Partners LLC
6107 Magazine Street
New Orleans, LA 70118
daniel@zangarapartners.com

**RE: 1229 Burgundy Street
New Orleans, LA**

Dear Daniel:

This is to advise you that at the above referenced address, the existing exterior end walls (left and right exterior walls) have bulged and appear to be unstable due to lack of lateral ties. This condition was present prior to our initial site visit on June 13, 2024.

We plan to stabilize the existing exterior end walls with a combination of sistered studs, new wood post and tie beams. To install the wood post for the tie beams in the left unit, the weatherboard and sheathing will have to be removed and replaced.

We trust that the above information will meet with your needs.

Respectfully submitted,

Dalton J. Buuck
Dalton J. Buuck, P.E.
LA Reg. #47368



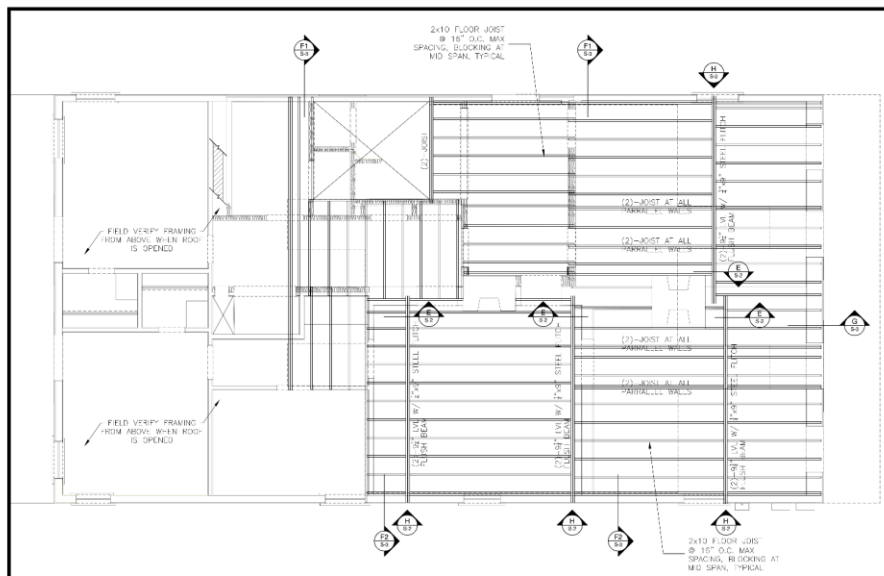
DJB:ss

1229 Burgundy

VCC Architectural Committee

August 27, 2024

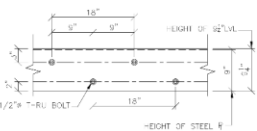




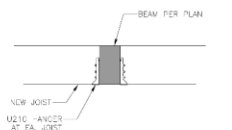
2ND FLOOR FRAMING - RENOVATION REPAIR
SCALE: 1/4" = 1'-0"

- GENERAL PLAN NOTES**
1. THE CONTRACTOR SHALL VERIFY ALL ON-SITE CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
 2. COORDINATE STRUCTURAL CHANGES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS.

NO. 11
THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION. I HAVE RESEARCHED THE RELEVANT CODES AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I HAVE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS. STRUCTURAL MODIFICATIONS ARE CAPABLE OF RESISTING A 140 MPH WIND SPEEDS PER ASCE 7-16 AND 7-17 REQUIREMENTS OF ASCE 7.



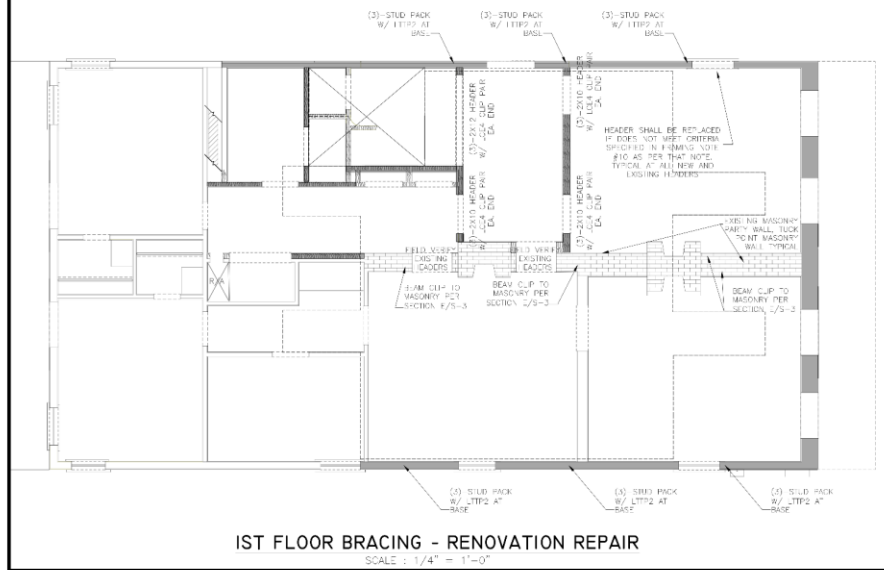
9 1/4" FLITCH BEAM DETAIL
SCALE: 1/2" = 1'-0"



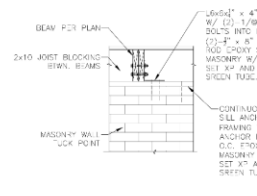
JOIST DETAIL HANGER AT FLUSH BEAMS
SCALE: 3/4" = 1'-0"

FRAMING GENERAL NOTES:

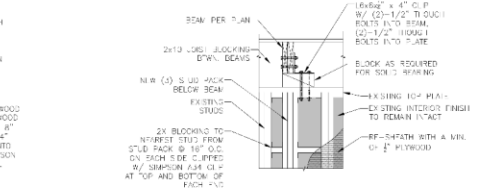
1. ALL WOOD FRAMING, FABRICATION, AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NDS, OR 2 WOOD DESIGN SPECIFICATION BY THE AIA, AND 10-1 THE ALLOWABLE STRESS DESIGN METHOD OF LUMBER AND WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE STANDARD BUILDING CODE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
2. ALL TRIMMING LUMBER SHALL BE SOUthern YELLOW PINE, S4S, NO. 2 MAXIMUM MOISTURE CONTENT 19%. STUD WALLS AND PARTITIONS SHALL BE SIZED AS FOLLOWS:
OUTER WALL = 2x STUDS AT 16" O.C. (UNLESS NOTED)
FIRST FLOOR PARTITIONS = 2x STUDS AT 16" O.C.
W-1 WALL = 2x STUDS AT 16" O.C.
3. FLOOR, ATTIC, AND ROOF FRAMING SHALL BE OF SIZES AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRIDGING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPACING IS 4 FT (1.219 M) FEET. LOCATE (3) 2x12 BEAMS BELOW BEARING WALLS OF FLOOR ABOVE AND/OR AS INDICATED ON FRAMING PLANS. BEAM SHALL BEAR ON ON R.F.B. OR BEARING WALL TOP PLATE. LOCATE (3) STUDS AT BEAM BEARING POINTS 2x12 DOUBLE TOP PLATE OR AS SHOWN ON PLAN (SEE FRAMING NOTE NO. 12). PROVIDE WOOD COLLAR BRACES AT EACH END OF EACH 2x12 BELOW CROWN OF ROOF.
4. HYBRID STEEL JOISTS SHALL BE A MINIMUM OF AIA A992, 36/50, 1/2" THICK (12.7MM) AND SHOWN (OPTIONAL) 2x12 (51.81) O.C. CLUED AND NAIL TO FLOOR JOISTS WITH 8D NAILS SPACED AT 6" O.C. AT PANEL JOISTS AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOTTING AT ALL PANEL JOISTS.
5. HYBRID ROOFING SHEATHING IS EXISTING 3/4".
6. RIB BRACING: PROVIDE A MINIMUM OF APA 2021/6, 4' x 8' x 1/2" THICK PLYWOOD SHEATHING (OPTIONAL) 2x12 (51.81) O.C. ON EXTERIOR WALLS FROM BOTTOM TO TOP OF ROOF RAFTERS. SHEATHING SHALL BE CLUED AND NAIL TO STUDS AND SHOT PLAYS. NAIL SHEATHING JOISTS WITH 8D NAILS AT 6" O.C. AT PANEL JOISTS AND 6" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOTTING AT ALL PANEL JOISTS.
7. COORDINATE FRAMING WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS.
8. FINISH HEIGHTS:
FIRST FLOOR = SEE ARCH. DWGS.
SECOND FLOOR = SEE ARCH. DWGS.
9. JOIST HANGERS SHALL BE 16 GAUGE TYPE "U" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC. INSTALL JOIST HANGERS IN SUCH A MANNER WITH MINIMUM CLEARANCE FROM JOIST ENDS. JOIST HANGERS TO BEARS AND JOISTS WITH END FRAME TO BEARS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE OF A SIZE APPROPRIATE FOR THE MEMBER SUPPORTED.
10. SPACING HEAD-4 SCH-40 L-114 MINIMUMS:
FIRST FLOOR = (2) 2x10'S (UNLESS NOTED OTHERWISE)
SECOND FLOOR = (2) 2x10'S AT 3'-0" TO 6'-0" SPACING
(2) 2" x 6" x 1/4" AT OPENING SPACES 14'-0" x 4'-0"
11. BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST AND SHALL NOT BE LARGER THAN 1/4" IN DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
12. STUDS AND BEAMS SHALL BE AWAY FROM PLUMBING BY 1/2" MIN. 2x12 (51.81) O.C. STUDS 16" (406.4) FROM BEAMS SHALL BE AWAY FROM PLUMBING BY 1/2" MIN.
13. PROVIDE STUD JOISTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAM AS SHOWN ON FRAMING PLAN. NAIL EACH STUD TO ADJACENT STUD IN THE POST WITH 15c NAILS AT 2" O.C. (ON STUD CENTERLINE) AND WITH 3" OF FACE END. CUT STUDS CAREFULLY TO INSURE FLUSH AND COMPLETE BEARING TOY AND ROOF.



1ST FLOOR BRACING - RENOVATION REPAIR
SCALE: 1/4" = 1'-0"



SECTION E - NEW BEAM ON EXISTING MASONRY WALL TYPICAL @ (5)-LOCATIONS
SCALE: 3/4" = 1'-0"



SECTION H - NEW BEAM ON EXISTING MASONRY WALL TYPICAL @ (5)-LOCATIONS
SCALE: 3/4" = 1'-0"

WALL SCHEDULE - STRUCTURE	
MARK	DESCRIPTION
[Symbol]	EXTERIOR ST. D. WALL W/ REPAIR - REPAIR AT END WALLS PER SECTION F AND CONNECT FLDER SYSTEM TO FRONT WALL PER SECTION G
[Symbol]	INTERIOR MASONRY WALL - SHALL BE TUCK POINTED
[Symbol]	EXISTING WALLS TO REMAIN IN CONDITION
[Symbol]	N.W. WALL INTERIOR - RAM. PER INTERIOR FINISH
[Symbol]	NEW INTERIOR LOAD BEARING WALL - 2x6 TR 2x4 STUDS @ 16" O.C. W/ CLIPPED HD SINGLE SILL PLATE W/ (3) SPANNE TO DOUBLE TOP PLATE WITH (2)-SP2 FASTEN TO FRAMING BELOW W/ 3x4 FRAMING SCREWS AT 4" O.C. AND CLIP TO FRAMING ABOVE W/ (2)-HD (UNLESS PLYWOOD SHEATHING PER FRAMING NOTE) BE WOULD BE AN ACCEPTABLE TO SP1 & SP2'S

THESE DRAWINGS HAVE BEEN CHECKED TO INSURE A REASONABLE AND NORMALLY ACCEPTABLE DEGREE OF ACCURACY. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DETAILS, AND CODE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS PRIOR TO THE START OF WORK.

SEAL IS LOT SPECIFIC AND FOR STRUCTURAL DESIGN ONLY. DRAWING AND DESIGN VALID FOR ONE (1) YEAR AFTER LATEST DATE IN TITLE BLOCK.

PROJECT: **FRAMING PLANS DETAILS AND NOTES**
RENOVATION REPAIRS
1229 BURGUNDY ST., NEW ORLEANS, LA
FOR: ZANGARA + PARTNERS

SHEET NO: **S-2**
 OF: **3**

ANDERSON & BUICK
 CONSULTING ENGINEERS, LLC.
 1520 ANTHONY STREET
 NEW ORLEANS, LA 70119
 email: abeng@andersonbuick.com
 phone: (504) 488-7737

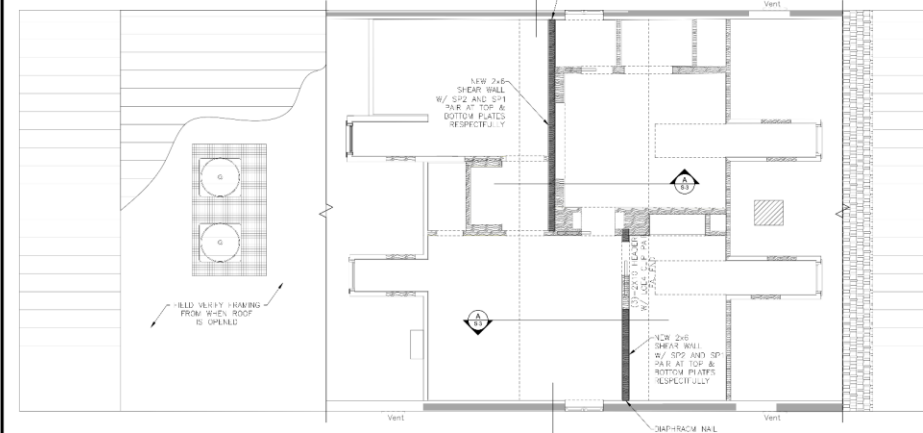


THIS PLAN HAS BEEN DEVELOPED WITH THE UNDERSTANDING THAT SOME REMOVAL OF THE EXISTING FRAMING WILL BE REQUIRED AS WELL AS THE REMOVAL AND REPLACEMENT OF SOME EXISTING TO INSTALL THE NEW STRUCTURAL COLUMN'S SHOWN IN THIS PLAN. THE MEANS AND METHODS OF THESE WORKS SHALL BE DETERMINED BY THE GENERAL CONTRACTOR.

NOTES:
THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION. I HAVE RESEARCHED THE RELEVANT CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS. STRUCTURAL WORKSHOPS ARE CAPABLE OF RESISTING A 140 MPH WIND SPEEDING TO MEET THE SECT 1 & THE REQUIREMENTS OF ASCE-7.

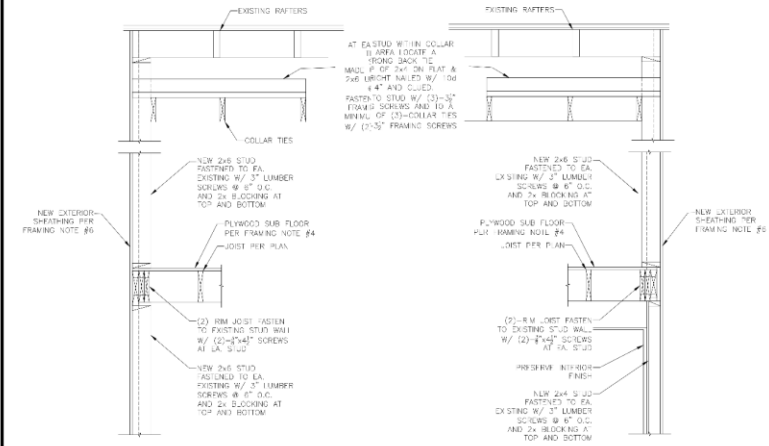
FRAMING GENERAL NOTES:

1. ALL WOOD FRAMING, JOISTING, AND JOISTING SHALL COMPLY WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AREA 2400. ALL WOOD SHALL BE UNLESS OTHERWISE SPECIFIED BY THE AREA 2400. ALL WOOD SHALL BE UNLESS OTHERWISE SPECIFIED BY THE AREA 2400. ALL WOOD SHALL BE UNLESS OTHERWISE SPECIFIED BY THE AREA 2400.
2. ALL FRAMING LUMBER SHALL BE UNLESS OTHERWISE SPECIFIED BY THE AREA 2400. ALL WOOD SHALL BE UNLESS OTHERWISE SPECIFIED BY THE AREA 2400.
3. FLOOR, CEILING, AND ROOF FRAMING SHALL BE OF THE SIZE AS INDICATED ON FRAMING PLANS. PROTECT WOOD CROSS MEMBERS FROM DAMAGE BY DRUMS OR WHEELS IF SPAN EXCEEDS F.O.T. (6) FEET. LOCATE (3) 2x12 BEAMS BELOW BEARING WALLS OF FLOOR ABOVE AND/OR AS INDICATED ON FRAMING PLANS. BEAM SHALL BE 1/2" OVER 1/2" BELOW WALL OR BEAM. LOCATE THREE (3) STUDS AT BEAM BRACING POINTS BELOW JOIST TOP PLATE OR AS SHOWN ON PLAN (SEE FRAMING NOTE NO. 12). PROVIDE WOOD COLLAR BRACES AT EACH ROOF RAFTER. 1" BELOW CROWN OF ROOF.
4. WOODS SUB FLOORING SHALL BE A MINIMUM OF APA RATED 48/24, 3/4" THICK 200 LB FT AND 2000 PSI (OPTIONAL 23/32" O.C.S). GLEES AND RAILED TO FLOOR JOISTS WITH BEAMS SPACED 4" O.C. AT WALL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. THIS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
5. WOODS ROOFING SHEATHING IS EXISTING THE
6. WOOD BRACING - PROVIDE A MINIMUM OF APA RATED 22/16, 4" x 3" x 1/2" 10K PLYWOOD SHEATHING (OPTIONAL 1/2" O.C.S) ON ALL EXTERIOR WALLS. 100% COUPLER OR TO BRACE END OF ROOF BRACERS. SHEATHING SHALL BE FASTENED TO STUDS AND STUD PLATE. NAIL SHEATHING EDGES WITH 8d NAILS AT 12" O.C. AT WALL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE CROSS BRACING AT ALL WALL EDGES.
7. COORDINATE FRAMING WITH HVAC, MECHANICAL, AND ELECTRICAL REQUIREMENTS.
8. CEILING LIGHTS:
1ST FLOOR - SEE ARCH. ENGS.
SECOND FLOOR - SEE ARCH. ENGS.
9. JOIST BRACING SHALL BE 1/2" GALV. PIPE 1/2" AS MANUFACTURED BY SIMPSON STRONG TIE COMPANY. THE BRACING SHALL BE FASTENED TO JOIST END PLATE WITH 1/2" DIA. BOLTS. USE JOIST BRACERS FOR BEAMS AND JOISTS IN (1) TRUSS TO BEAMS AT THE SAME ELEVATION. JOIST BRACERS SHALL BE OF A SIZE APPROPRIATE FOR THE JOIST SUPPORTED.
1ST FLOOR - (2) 2x10'S
SECOND FLOOR - (2) 2x10'S AT 3'-0" TO 6'-0" SPACING
(2) 2" x 4" x 8' AT OVERHUNG ROOF TRUSS 3'-0"
10. OPENING HEADER SCHEDULE MINIMUMS:
1ST FLOOR - (2) 2x10'S
SECOND FLOOR - (2) 2x10'S AT 3'-0" TO 6'-0" SPACING
(2) 2" x 4" x 8' AT OVERHUNG ROOF TRUSS 3'-0"
11. JOIST WALLS SHALL BE 2" CLEAR FROM JOIST END JOIST. JOIST END SHALL NOT BE LARGER THAN 1 1/2" IN DIAMETER AND SHALL NOT BE LOCATED IN THE MIDDLE OF A SPAN.
12. STAR ALL PLATES OUT FROM JOIST PLACING WITH 1 1/2" WIDE, 24 GAUGE GALVANIZED STRIPS 15" LONG, BOTH SIDES OF WALL SPREAD TO F.O.S.
13. PROVIDE STUD POSTS WITH 3/4" OR EQUIVALENT SIZE UNLESS OTHERWISE SPECIFIED BY THE AREA 2400. STUD POSTS SHALL BE 12" O.C. (10" STUD CENTER LINE) AND WITH 3" OF EACH END CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING TOP AND BOTTOM.



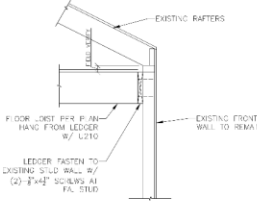
2ND FLOOR WALL AND CEILING FRAMING - RENOVATION REPAIR
SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
2. COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS, AND ANY OTHER RELATED ITEMS.

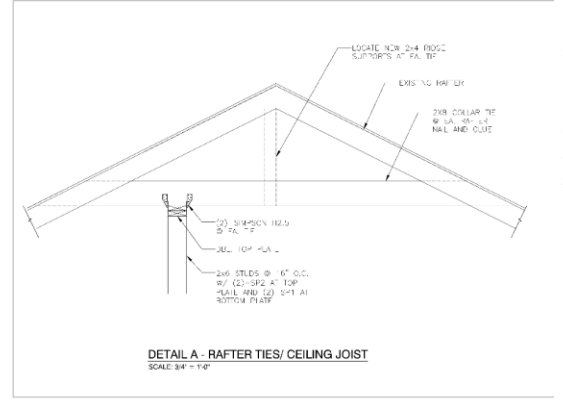


SECTION F1 - EXISTING EXTERIOR WALL TIE INTO NEW FLOOR SYSTEM
SCALE: 3/4" = 1'-0"

SECTION F2 - EXISTING EXTERIOR WALL TIE INTO NEW FLOOR SYSTEM
SCALE: 3/4" = 1'-0"



SECTION G - NEW JOIST INTO FRONT EXISTING EXTERIOR WALL
SCALE: 3/4" = 1'-0"



DETAIL A - RAFTER TIES/CEILING JOIST
SCALE: 3/4" = 1'-0"

SEAL & SIGN SPECIFIC AND FOR STRUCTURAL DESIGN ONLY. DRAWING AND DESIGN VALID FOR ONE (1) YEAR AFTER LATEST DATE IN TITLE BLOCK.

ANDERSON & BUICK CONSULTING ENGINEERS, LLC.
432 N. ANTHONY STREET
NEW ORLEANS, LA. 70119
PHONE: (504) 487-7797
EMAIL: abeng@andersonbuick.com

DATE:	6-14-24
SCALE:	AS SHOWN
PROJECT:	604
DRAWN BY:	D.J.B.
CHECKED BY:	D.J.B.
IN CHARGE:	604

PROJECT: 604-148-7797

FRAMING PLANS DETAILS AND NOTES
RENOVATION REPAIRS
1229 BURGUNDY ST., NEW ORLEANS, LA
FOR: ZANGARA + PARTNERS

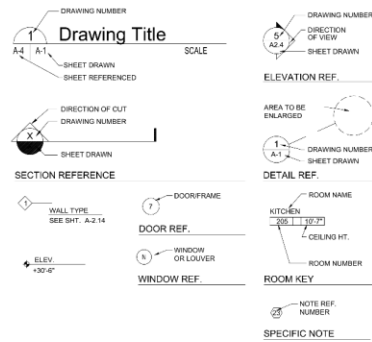
3



The Taylor Residence

Renovation
1229 Burgundy Street
New Orleans, LA 70116

Architectural Symbols



Index Of Drawings

NO.	DESCRIPTION	REV
A-0	- INFORMATION / TITLE SHEET	
A-0.1	- EXISTING SURVEY AND NEW SITE PLAN	
A-1	- DEMOLITION FIRST AND SECOND FLOOR PLANS	
A-1A	- DEMOLITION EXTERIOR ELEVATIONS	
A-2	- NEW FIRST AND SECOND FLOOR PLANS	
A-3	- OPENING SCHEDULE AND ELEVATIONS	
A-3A	- OPENING ELEVATIONS AND DETAILS	
A-4	- NEW EXTERIOR ELEVATIONS AND BUILDING SECTION	
A-6	- INTERIOR ELEVATIONS	
A-6A	- INTERIOR ELEVATIONS	
A-7	- FIRST AND SECOND FLOOR ELECTRICAL PLANS	
S-1	- FOUNDATION PLAN DETAILS AND NOTES	
S-2	- FRAMING PLANS DETAILS AND NOTES	
S-3	- FRAMING PLANS DETAILS AND NOTES	

Building Information

Project Address

1229 Burgundy Street
New Orleans, LA 70116

Zoning Classification

YCR-1

Gross Building Area

Existing First Floor (conditioned) - 1545 sq. ft.
 Existing Second Floor (conditioned) - 682 sq. ft.
 Existing Total (conditioned) - 2227 sq. ft.

New First Floor (conditioned) - 1545 sq. ft.
 New Second Floor (conditioned) - 682 sq. ft.
 New Total - 2227 sq. ft.

Occupancy Type

Single Family Residence

Building Codes

International Building Code (IBC), 2021
 International Residential Code for one and two family dwellings (IRC), 2021
 International Mechanical Code, 2021
 National Electric Code, 2021

Directory

Owner

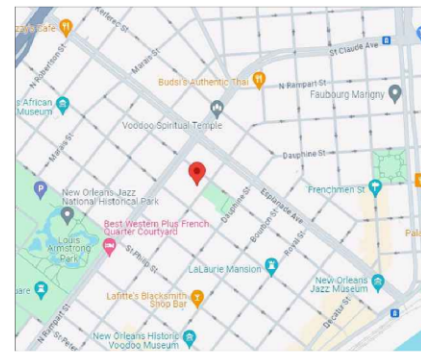
Mr. Matthew Taylor
1229 Burgundy Street
New Orleans, LA 70116
(214) 287-0119
Contact: Matthew Taylor matthewtaylor@me.com

Architect

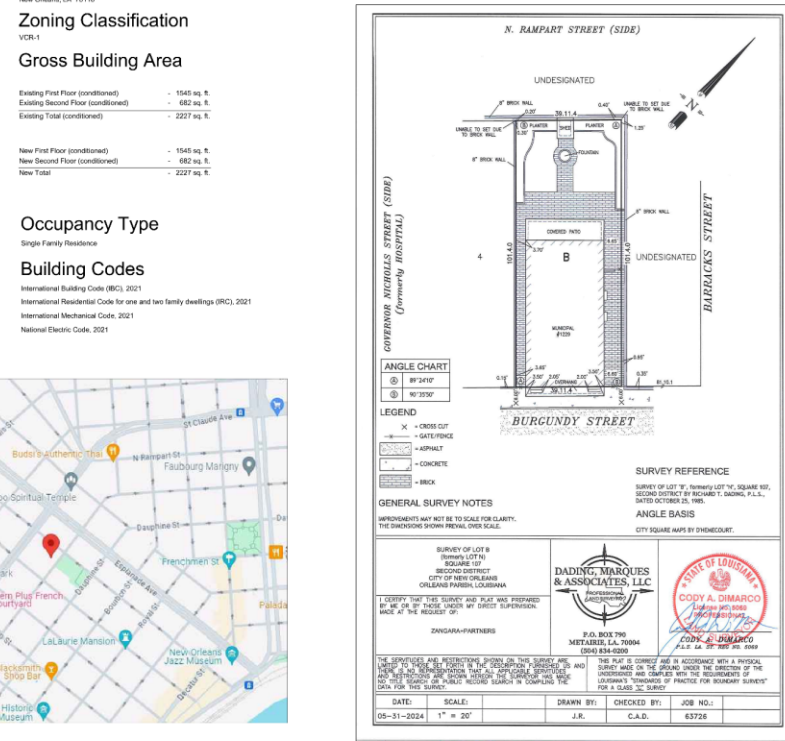
Zangara + Partners LLC
Daniel Zangara, AIA
6107 Magazine Street
New Orleans, Louisiana 70118
504-523-9163
Contact: Daniel Zangara daniel@zangarapartners.com

Structural Engineer

Anderson Consulting Engineers, LLC
432 N. Anthony Street
New Orleans, LA 70119
Contact: Dalton Bauack dalton@andersonengineers.com



1 Site Map
SCALE: N.T.S.



2 Existing Survey
SCALE: N.T.S.

The Taylor Residence
Renovation
1229 Burgundy Street
New Orleans, LA 70116

Mr. Matthew Taylor
1229 Burgundy Street
New Orleans, LA 70116
(214) 287-0119

ZANGARA + PARTNERS LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064



This document is a true and correct copy of the original as shown to the undersigned and is a true and correct copy of the original as shown to the undersigned.

Project Number:	CN 23018
Drawn By:	Van Dalton Jenkins
Checked By:	Daniel Zangara
Date:	06.14.24

Title/Index

A-0

1229 Burgundy

VCC Architectural Committee

August 27, 2024



GENERAL CONSTRUCTION NOTES

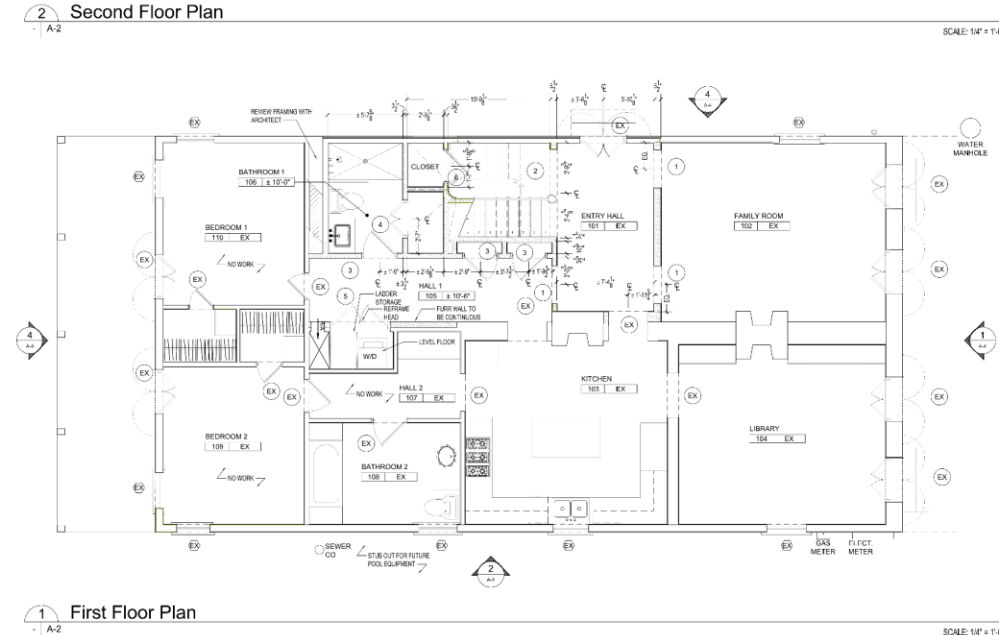
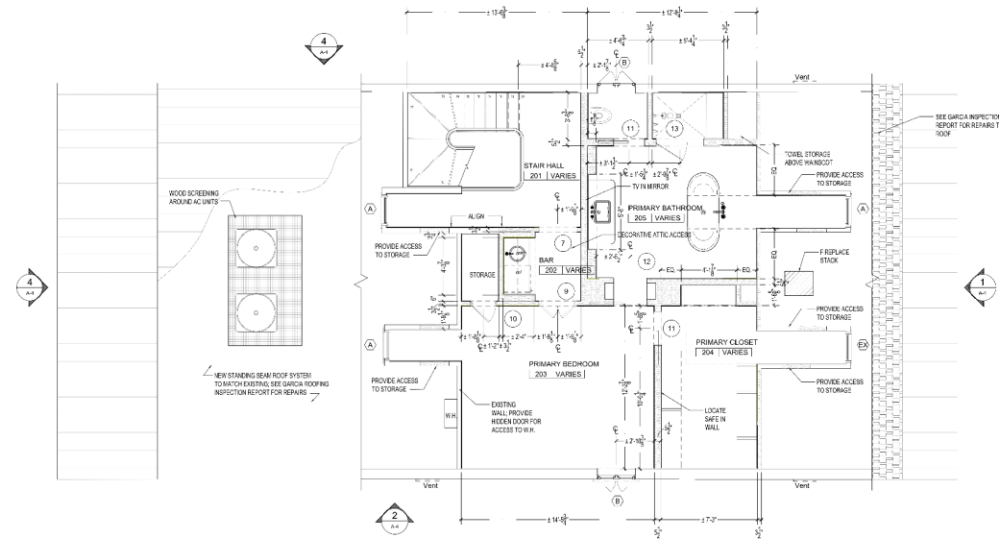
1. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNTIL A ICC PERMIT IS POSTED.
2. THE COST OF THE PERMIT SHALL BE PAID FOR BY THE CONTRACTOR AS A NON-REBURSABLE EXPENSE.
3. ALL NEW FURNISHING SHALL BE MINIMUM 75% BUY IN LINE AND PFD DRAWING AS PER CODE.
4. ALL NEW CABINETS SHALL BE CUSTOM UNITS. NO MILLWORK OR CASEWORK TO BE FABRICATED UNTIL 5-DP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT.
5. CONTRACTOR IS TO CONFIRM THAT FLOORS ARE LEVEL AND WALLS ARE PLUMB.
6. THE CONTRACTOR SHALL PROVIDE BLOCKING IN THE HALLS FOR ALL CABINETS, BATHROOM ACCESSORIES, AND ANY OTHER BAR.
7. ALL ELECTRICAL SHALL BE NEW AS INDICATED ON THE DRAWINGS. ALL NEW OUTLETS SHALL BE INSTALLED CENTERED IN THE BATHROOMS HORIZONTALLY. OWNER INTERIORS DESIGNER AND ARCHITECT TO VERIFY LOCATIONS OF ALL SWITCHES AND OUTLETS PRIOR TO HIRING. THERE SHALL BE A JOBSITE WALKTHROUGH TO CONFIRM LOCATIONS PRIOR TO ELECTRICAL RUNNING WIRES.
8. NEW LIGHT FIXTURES SHALL BE INSTALLED PER THE DRAWINGS AND SPECIFIC. NEW ACCESSORIES FIXTURES WITH NEW PFD OWNER SELECTIONS.
9. ALL FINISH FLOORS SHALL BE LEVEL AND FLUSH WITH EACH OTHER. THERE SHALL BE NO HEIGHT CHANGES OR RISES THREE INCHES BETWEEN ROOMS OR BETWEEN NEW CONSTRUCTION AND EXISTING. TYPICAL IN CASE OF MISALIGNMENT OCCURRED. INSTALL SLEEPERS AND PLYWOOD FLOOR TO TOP OF JOISTS FOR ALL BATHROOMS FOR FLUSH TRANSITIONS.
10. NEW AC CONDENSERS AND AIR HANDLERS. PROVIDE DEMONSTRATION FOR SECOND FLOOR UNIT. HANG SUB TO CALCULATE LOADS. REPLACE ALL REGISTERS AND RETURN AIR GRILLES THROUGHOUT WITH SLOT OUTLINES.
11. INITIAL NEW HANDRAILS TO MATCH EXISTING.
12. PAINT FINISHES ROOMS THAT ARE AFFECTED BY WORK SCOPE.
13. THERE SHALL BE A JOB SITE WALKTHROUGH TO VERIFY ALL OPENING ROUGH OPENINGS PRIOR TO FRAMING.
14. LEVELS & SHEETROCK FINISH THROUGHOUT.
15. NEW CARING AND BASE TO MATCH EXISTING. SHOP DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT FOR APPROVAL.
16. PROVIDE COVERED GLASS BANISTER FOR EXISTING PRELAPSED BY COVERED GLASS BANISTER. NEW HANDRAILS.
17. REPAIR/REPLACE ROOF PER ROOFING INSPECTION REPORT FROM GARGIA ROOFING.
18. INSTALL DRIVE SPRING BEHIND NEW STAIRCASE. RUN PIPING AS REQUIRED.
19. INSULATE ENVELOPE PER ENVELOPE CONSULT REPORT.
20. ENCAPSULATE CHIMNEY ON SECOND FLOOR TO PROTECT FROM MOISTURE INGRESS.
- 21.

LEGEND

EXISTING WALL	—————
NEW WALL	—————
DEMO WALL	—————
EXISTING MASONRY WALL	—————

Finish Schedule

ROOM #	ROOM NAME	FLOOR	BASE SIZE	WALLS	CEILING	CEILING HEIGHT	CROWN	CASING	REMARKS
FIRST FLOOR									
102	ENTRY HALL	WOOD	A	GYP WALLBOARD	GYP WALLBOARD	EXISTING	A	A	
102	FAMILY ROOM	WOOD	A	GYP WALLBOARD	GYP WALLBOARD	EXISTING	A	A	
103	KITCHEN	EXISTING	EXISTING	GYP WALLBOARD	EXISTING PTD.	EXISTING	EX.	EX.	
104	LIBRARY	EXISTING	EXISTING	EXISTING PTD.	GYP WALLBOARD	EXISTING	EX.	EX.	
105	HALL 1	WOOD	A	GYP WALLBOARD	GYP WALLBOARD	EXISTING	A	A	
106	BATHROOM 1	TILE	TILE	GYP WALLBOARD	GYP WALLBOARD	± 10'-0"	A	A	
107	HALL 2	EXISTING	EXISTING	EXISTING PTD.	EXISTING PTD.	± 10'-0"	EX.	EX.	
108	BATHROOM 2	EXISTING	EXISTING	EXISTING PTD.	EXISTING PTD.	EXISTING	EX.	EX.	
109	BEDROOM 2	EXISTING	EXISTING	EXISTING PTD.	EXISTING PTD.	EXISTING	EX.	EX.	
110	BEDROOM 1	EXISTING	EXISTING	EXISTING PTD.	EXISTING PTD.	EXISTING	EX.	EX.	
SECOND FLOOR									
201	STAIR HALL	WOOD	B	GYP WALLBOARD	GYP WALLBOARD	EXISTING	NA	A	
202	BAR	WOOD	B	GYP WALLBOARD	GYP WALLBOARD	EXISTING	NA	A	
203	PRIMARY BEDROOM	WOOD	B	GYP WALLBOARD	GYP WALLBOARD	EXISTING	NA	A	
204	PRIMARY CLOSET	WOOD	B	GYP WALLBOARD	GYP WALLBOARD	EXISTING	NA	A	
205	PRIMARY BATHROOM	TILE	B	GYP WALLBOARD	GYP WALLBOARD	EXISTING	NA	A	



The Taylor Residence
Resurrection
1229 Burgundy Street
New Orleans, LA 70116

Mr. Matthew Taylor
1229 Burgundy Street
New Orleans, LA 70116
(214) 287-0119

ZANGARA + PARTNERS LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064



This seal is the property of the State of Louisiana. It shall be used only for the purpose for which it was issued and shall not be used for any other purpose. It shall be the responsibility of the holder to maintain the seal in good condition and to return it to the State of Louisiana upon request.

Version:	
Issue Date:	06.14.24
Project Number:	CN 23018
Drawn By:	Van Dalton Jenkins
Checked By:	Daniel Zangara
Issue Date:	06.14.24

First and Second Floor Plans

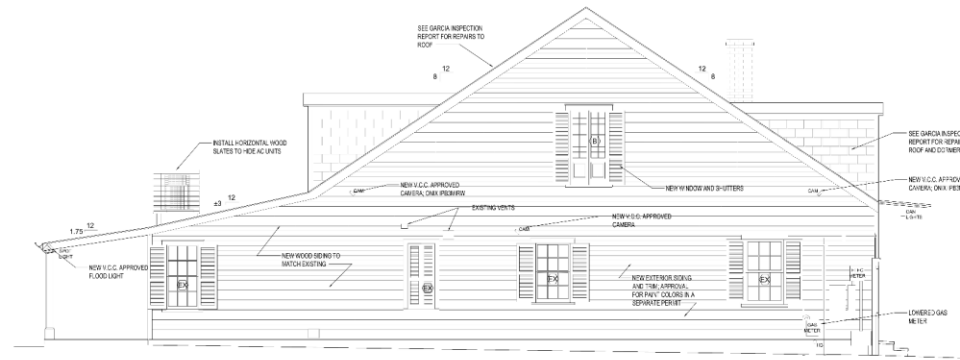
A-2





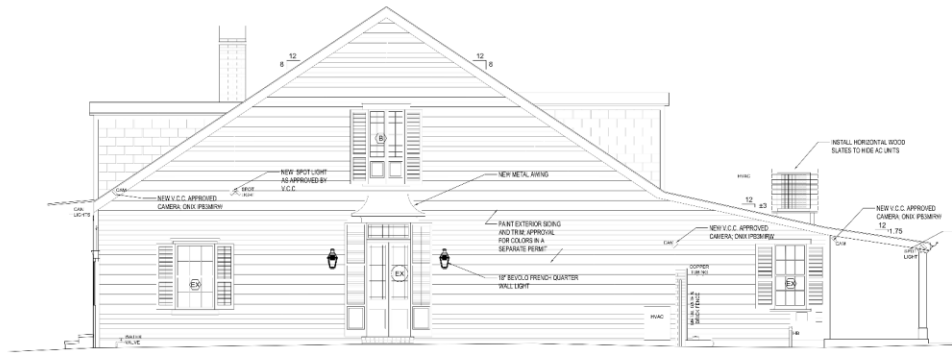
1 Front Elevation (Burgundy Street)

SCALE: 1/4" = 1'-0"



2 Side Elevation (Governor Nicholls Street Side)

SCALE: 1/4" = 1'-0"



3 Side Elevation (Barracks Street Side)

SCALE: 1/4" = 1'-0"



4 Rear Elevation (North Rampart Street Side)

SCALE: 1/4" = 1'-0"

The Taylor Residence
 Renovation
 1229 Burgundy Street
 New Orleans, LA 70116

Client: **Mr. Matthew Taylor**
 1229 Burgundy Street
 New Orleans, LA 70116
 (214) 287-0119

Architect: **ZANGARA + PARTNERS LLC**
 6107 Magazine Street
 New Orleans, LA 70118
 T (504) 473-0064



Notes:
 1. All materials and workmanship shall conform to the requirements of the 2018 International Building Code (IBC) as amended by the State of Louisiana, and the 2018 International Residential Code (IRC) as amended by the State of Louisiana, unless otherwise specified.
 2. All exterior finishes shall be approved by the V.C.C. for color and material.
 3. All work shall be done in accordance with the approved plans and specifications.
 4. All work shall be done in accordance with the approved plans and specifications.

Project Number:	CN 23018
Drawn By:	Vann Dalton Jenkins
Checked By:	Daniel Zangara
Date:	06.14.24

Exterior Elevations

A-4



Electrical Symbols

	POWER SUPPLY FOR APPLIANCE INDICATED. CONTRACTOR TO VERIFY ANY SPECIAL REQUIREMENTS AT APPLIANCES
	GAS SUPPLY FOR APPLIANCE INDICATED
	INTERNET CONNECTION
	CABLE JACK TV
	PHONE JACK
	ELECTRICAL PANEL
	U.L. APPROVED SMOKE DETECTOR WIRED TO U.A. HOUSE CURRENT
	WEATHERPROOF 120V FLUSH DUPLEX GROUNDING RECEPT
	WALL SWITCH
	FLOOD SWITCH
	1 x 4 LED UTILITY LIGHT
	UNDERCABINET PLUG STRIP
	THERMOSTAT
	GARBAGE DISPOSAL
	CAMERA

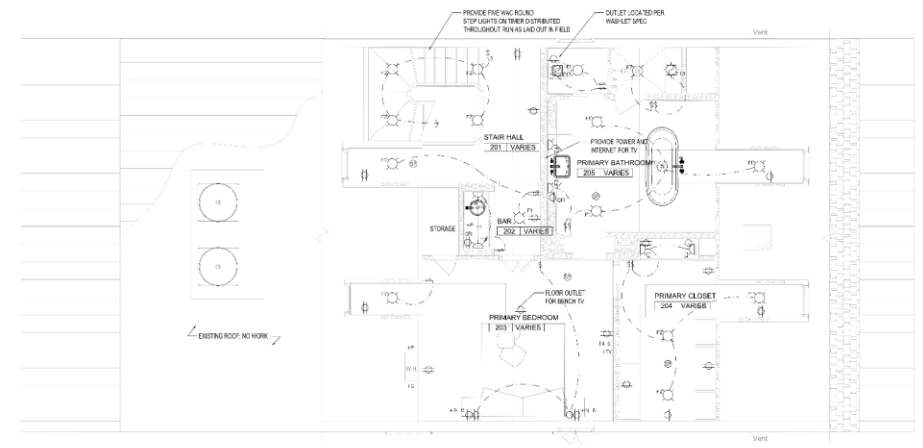
General Electrical Notes

- ALL ELECTRICAL EQUIPMENT AND INSTALLATION SHALL MEET ALL LOCAL PARISH AND MUNICIPAL CITY CODES, GUIDELINES, AND PRACTICES AS A MINIMUM.
- ALL NEW OUTLETS TO BE LOCATED CENTERED IN BASEBOARDS AS LOCATED ON THE FLOOR PLANS. TOGGLE SWITCHES WITH DIMMERS THROUGHOUT.
- ALL SECURITY SYSTEMS & HOME AUDIO EQUIPMENT & INSTALLATION BY OTHERS.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND INTERFACING WITH OWNER LANDSCAPE AND IRRIGATION SPECIALISTS ON THEIR REQUIREMENTS FOR PROVIDING POWER TO THEIR EQUIPMENT.
- #14 AWG SHALL BE THE MINIMUM WIRE CONDUCTOR SIZE TO BE UTILIZED FOR THE HOME.
- ALL OUTDOOR ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE RATED NEMA 3R.
- ALL RECEPTACLE (PLUGS), WALL SWITCHES AND DIMMERS SHALL MATCH EXISTING. ALL SHALL BE RATED AS A MINIMUM 20 AMPS AT 120V.
- THERE SHALL BE A JOBSITE WALKTHROUGH WITH THE OWNER AND ELECTRICIAN ONCE THE BOXES ARE NAILED TO THE STUDS PRIOR TO ELECTRICIAN RUNNING ANY WIRE. AT THIS TIME, THE OWNER WILL CONFIRM THAT THE BOXES ARE IN THE CORRECT LOCATION AND SIGN OFF. SO WIRE CAN BE RUN.
- ELECTRICIAN TO INSTALL ALL NEW SMOKE DETECTORS, CARBON MONOXIDE DETECTORS, ETC., PER CODE.
- ALL LIGHTING SHALL BE INSTALLED ON DIMMERS.
- ALL NEW LIGHTING TO BE CENTERED ON OPENINGS, VANITIES, ETC. AND SHALL BE COORDINATED WITH THE ARCHITECT.
- ALL NEW CEILING REGISTERS TO BE CENTERED ON OPENINGS. IN BATHS, ALIGNED WITH LIGHTING, ETC. VERIFY ALL LOCATIONS WITH ARCHITECT. INSTALL INV-AIR TRIMLESS SLOT DIFFUSERS. SIZE TO BE DETERMINED BY AC SUB.
- REPLACE FIRST FLOOR TO MATCH NEW.
- AUDIO/VIDEO ALARM BY OWNER. COORDINATE WITH CONTRACTOR. SPEAKERS TO BE INSTALLED IN ALL ROOMS INCLUDING AREAS THAT HAVE NO WORK.
- REPLACE EXISTING FIXTURES WITH NEW PER OWNER SELECTIONS.
- REINSTALL CEILING SPEAKERS WHERE SHEETROCK REMOVAL IS SCHEDULED.
- PROVIDE POWER FOR BLACKOUT SHADES AT ALL SECOND FLOOR WINDOWS.

Schedule of Electrical Fixtures

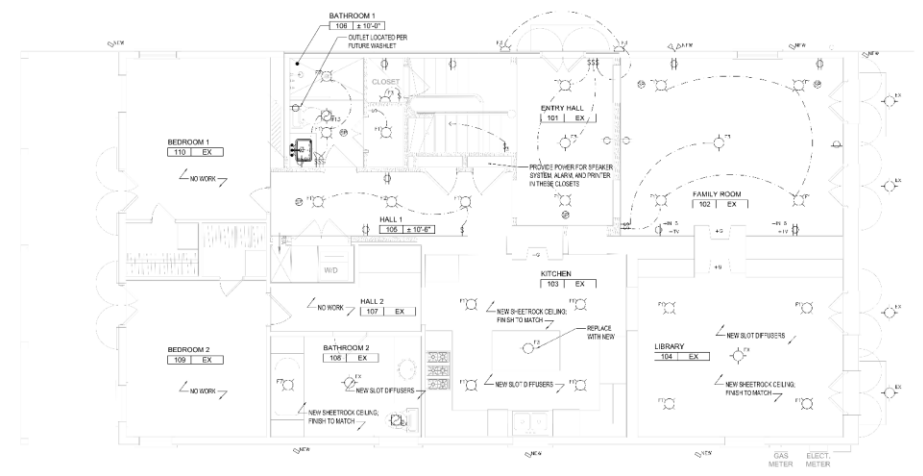
MARK	TYPE	LAMP	DESCRIPTION
F1	NOVA 2" TRIMLESS		
F2	NOVA 2" TRIMLESS		Art LED Recessed Can with Ringless trim
F3	Calligaris by Owner		
F4	Wall light by Owner		
F7	NOVA 2" TRIM TYPE		NOVA 2" TRIM TYPE NOT PAIRED FOR SHOWER
F13	Proxima Exhaust Fan		5V 60/100CFM Proxima Series DC Ventilation Fan
F16	VAC Fluoresce Tube Light	LED-474-300T	Under Counter Lighting - 4x6x1/2 Inch Long And 3/8-Inch Recept
F20	VAC EXTENSION FLOOR LIGHT	WP-LED-30-30-WT	LED Under Floor Light

- *ALL RECESSED CANS AND PENDANTS TO BE ON DIMMERS. BULB COLOR TO BE SELECTED BY OWNER.
- *ALL FANS WITHOUT LIGHT KITS.
- *ALL EXTERIOR FLOODS TO BE ON MOTION.
- *ALL OUTLETS AND INTERNET HORIZONTALLY CENTERED IN BASEBOARDS.



2 Second Floor Electrical Plan

SCALE: 1/4" = 1'-0"



1 First Floor Electrical Plan

SCALE: 1/4" = 1'-0"

The Taylor Residence
Renovation
1229 Burgundy Street
New Orleans, LA 70116

Mr. Matthew Taylor
1229 Burgundy Street
New Orleans, LA 70116
(214) 287-0119

ZANGARA + PARTNERS LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064



This drawing is not valid if not signed by the professional engineer, architect, or other licensed professional as indicated on the drawing. The professional seal of the engineer, architect, or other licensed professional is required for all drawings and specifications.

Project Number	CN 23016
Drawn By	Van Dalton Jenkins
Checked By	Daniel Zangara
Date	06.14.24

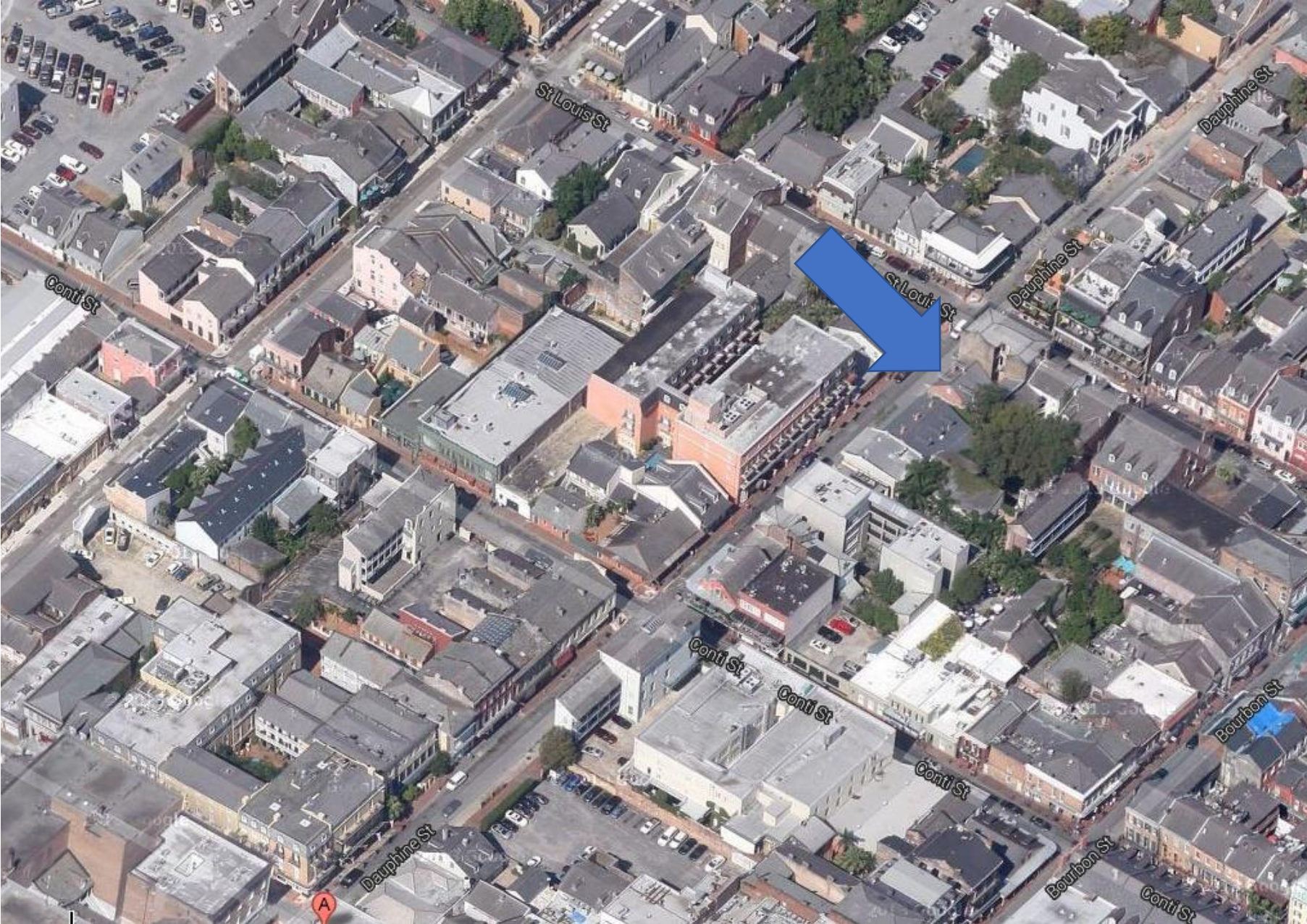
First and Second Electrical Plans

A-7





434 Dauphine



434-36 Dauphine

VCC Architectural Committee

August 27, 2024





434-36 Dauphine- 1934

VCC Architectural Committee

August 27, 2024





434-36 Dauphine, 1963

VCC Architectural Committee

August 27, 2024





434-36 Dauphine

VCC Architectural Committee

August 27, 2024





434-36 Dauphine

VCC Architectural Committee

02 06 2023

August 27, 2024





434-36 Dauphine

VCC Architectural Committee

August 27, 2024





434-36 Dauphine

VCC Architectural Committee

07 15 2024

August 27, 2024





434-36 Dauphine

VCC Architectural Committee

August 27, 2024



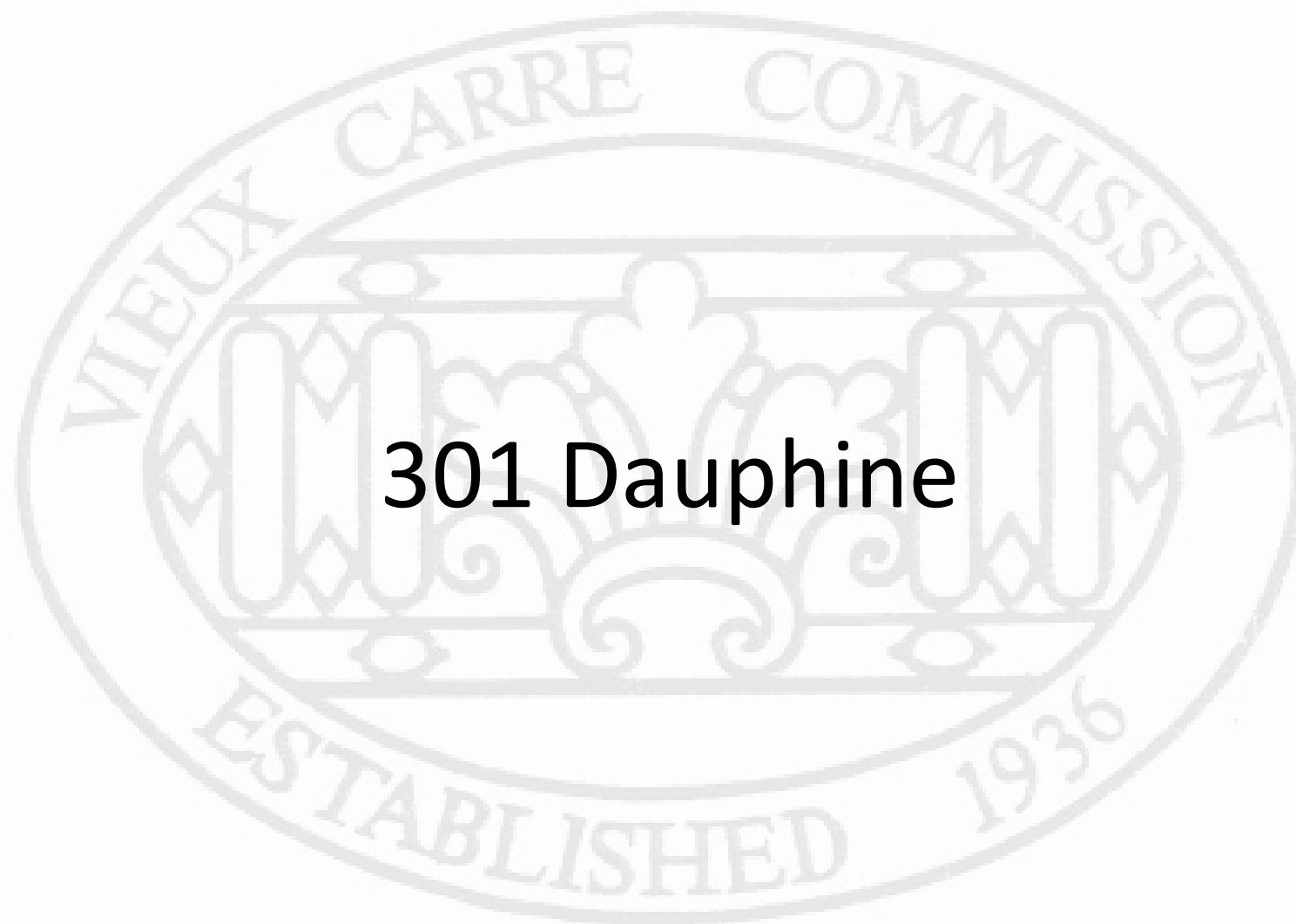


434-36 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

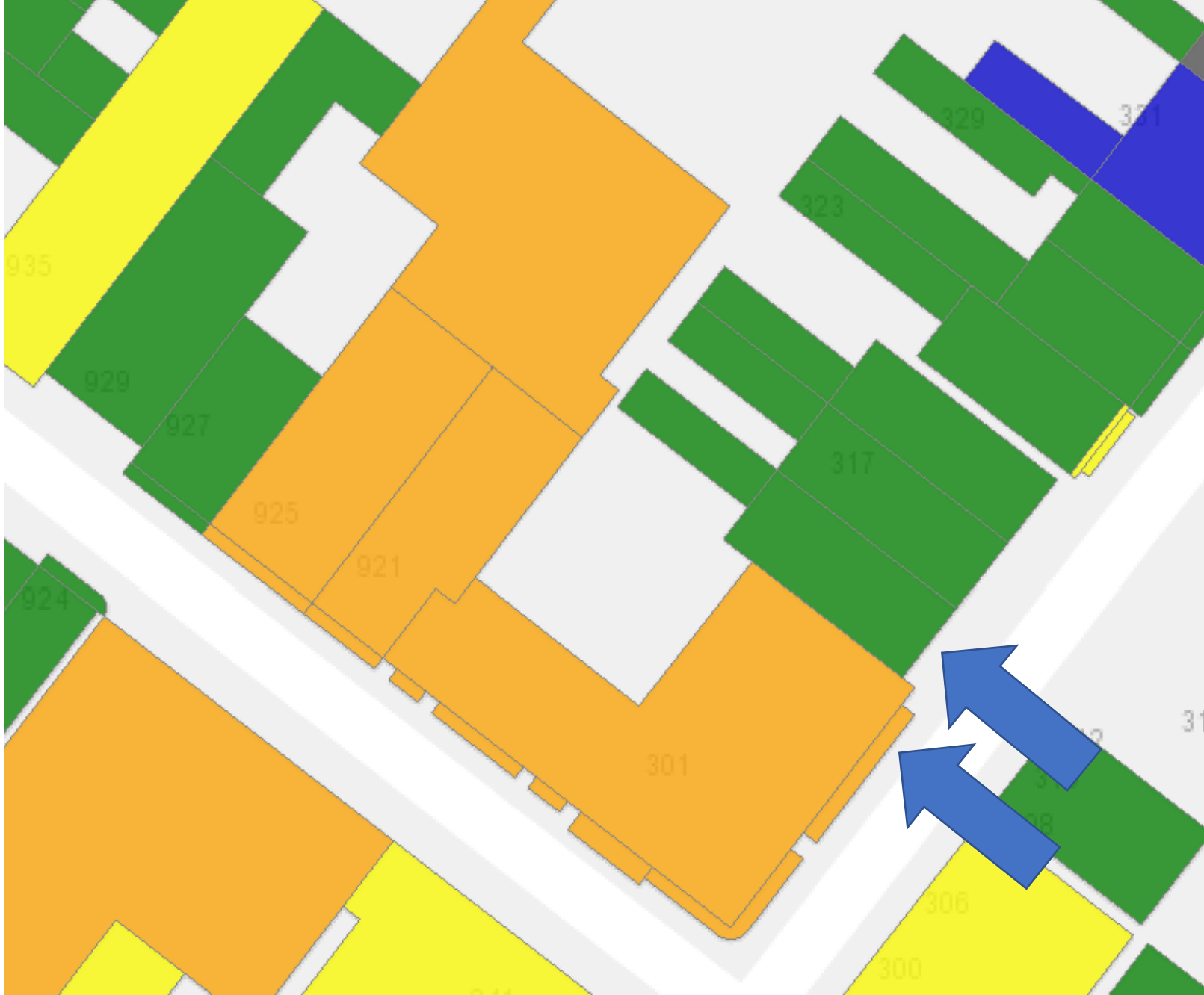


301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

05 12 2020

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024





DEDICATED OUTSIDE AIR SYSTEM (DOAS) INSTALLATION

CHATEAU LEMOINE HOTEL
301 DAUPHINE ST, NEW ORLEANS, LA 70112

THE IDEAS CONCEPTS REPRESENTED IN THIS DRAWING ARE THE PROPERTY OF WGD ARCHITECTS ENGINEERS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF WGD ARCHITECTS ENGINEERS.



Table with project information: PROJECT NO. 24-034, CONTRACTOR, and other details.

MECHANICAL LEGEND table header with columns for description, symbol, and revision.

M-0



MECHANICAL GENERAL NOTES table with 16 numbered notes regarding code compliance, equipment installation, and ductwork requirements.

MECHANICAL ABBREVIATIONS table listing various mechanical components and their abbreviations, such as ABS, ACU, ACH, etc.

MECHANICAL LEGEND table showing symbols and descriptions for various mechanical components like diffusers, dampers, and ductwork.

Table with columns for description, symbol, and revision, used for tracking changes to the drawing.

THE DESIGN INFORMATION REPRESENTED IN THIS DOCUMENT ARE SPECIFICALLY FOR THE PROJECT AND SHOULD NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF WDG ARCHITECTS ENGINEERS.

STATE OF LOUISIANA
KENT W. WALKER
REGISTERED PROFESSIONAL ENGINEER
6/21/2024

NEW PROJECT NUMBER
24-034

APPROVED BY: [Signature]
CHECKED BY: [Signature]
DATE: [Signature]

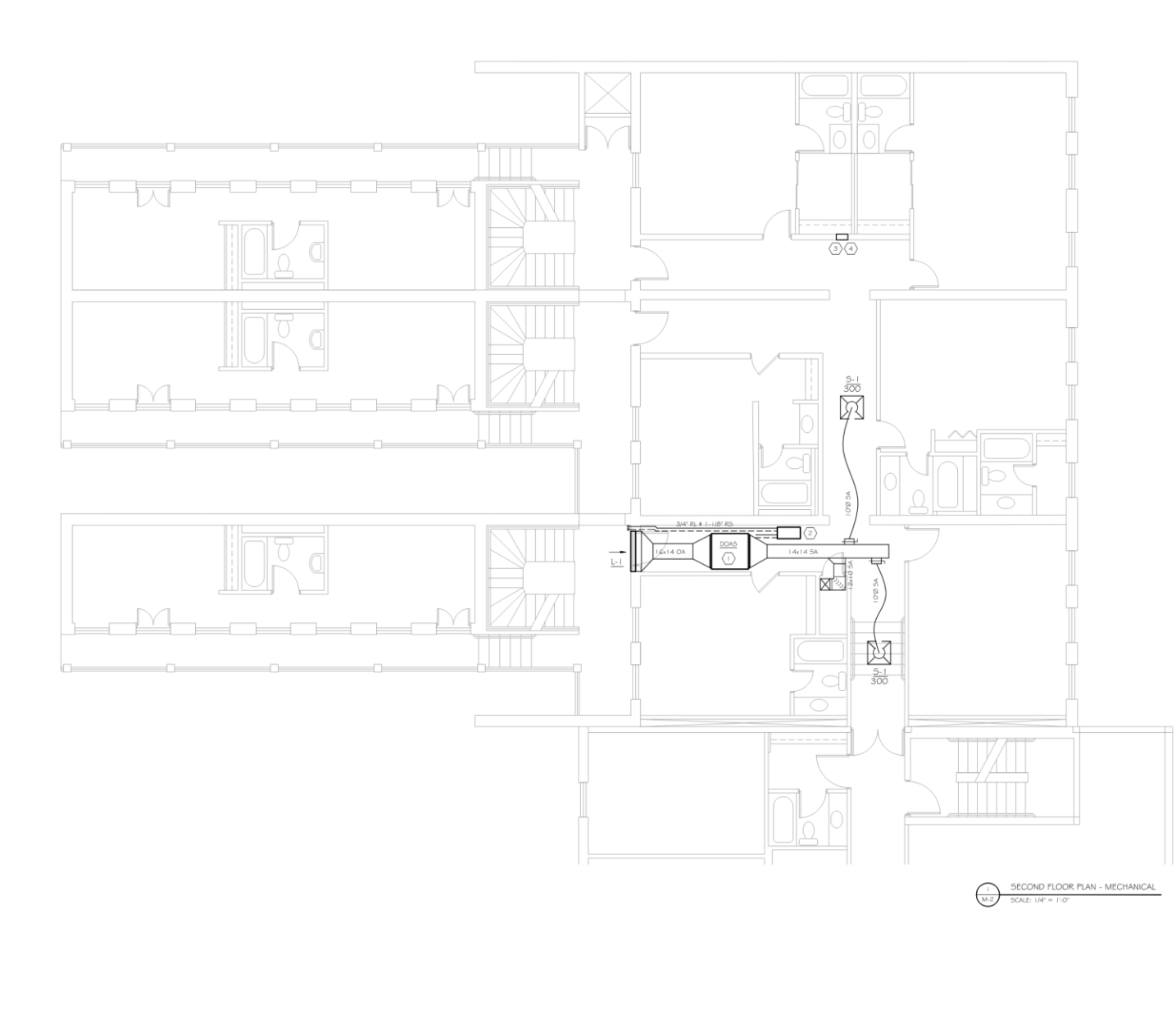
PROJECT NUMBER
M-2

GENERAL PLAN NOTES:

1. THESE PLANS ARE DIAGRAMMATIC IN NATURE. THE EXACT LOCATION OF DUCTWORK, PIPING, AND EQUIPMENT MAY DEVIATE FROM THE LOCATION INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE PREPARED TO MAKE ANY AND ALL ALTERATIONS TO NEW SERVICES TO FIT ACTUAL JOB CONDITIONS.
2. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THESE PLANS, OR IS NOT SURE OF THEIR MEANING, HE SHOULD OBTAIN THE ENGINEER'S WRITTEN EXPLANATION AND INTERPRETATION PRIOR TO SUBMITTING HIS BID. THE CONTRACTOR WILL BE HELD RESPONSIBLE TO THE INTERPRETATION OF THE ENGINEER.
3. ALL ELBOWS AND FITTINGS IN PIPING AND DUCTWORK ARE NOT NECESSARILY INDICATED TO CLEAR ALL OBSTRUCTIONS.
4. BECAUSE OF THE LIMITED SPACE AVAILABLE TO INSTALL ALL OF THE MECHANICAL WORK, COORDINATION BETWEEN THE VARIOUS TRADES IS OF THE UTMOST IMPORTANCE.
5. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING GRID ROOM LAYOUTS AND COORDINATE ALL GRILLES AND DIFFUSERS WITH CORRESPONDING REFLECTED CEILING PLANS.
6. THERMOSTATS SHALL BE MOUNTED AT 48" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.

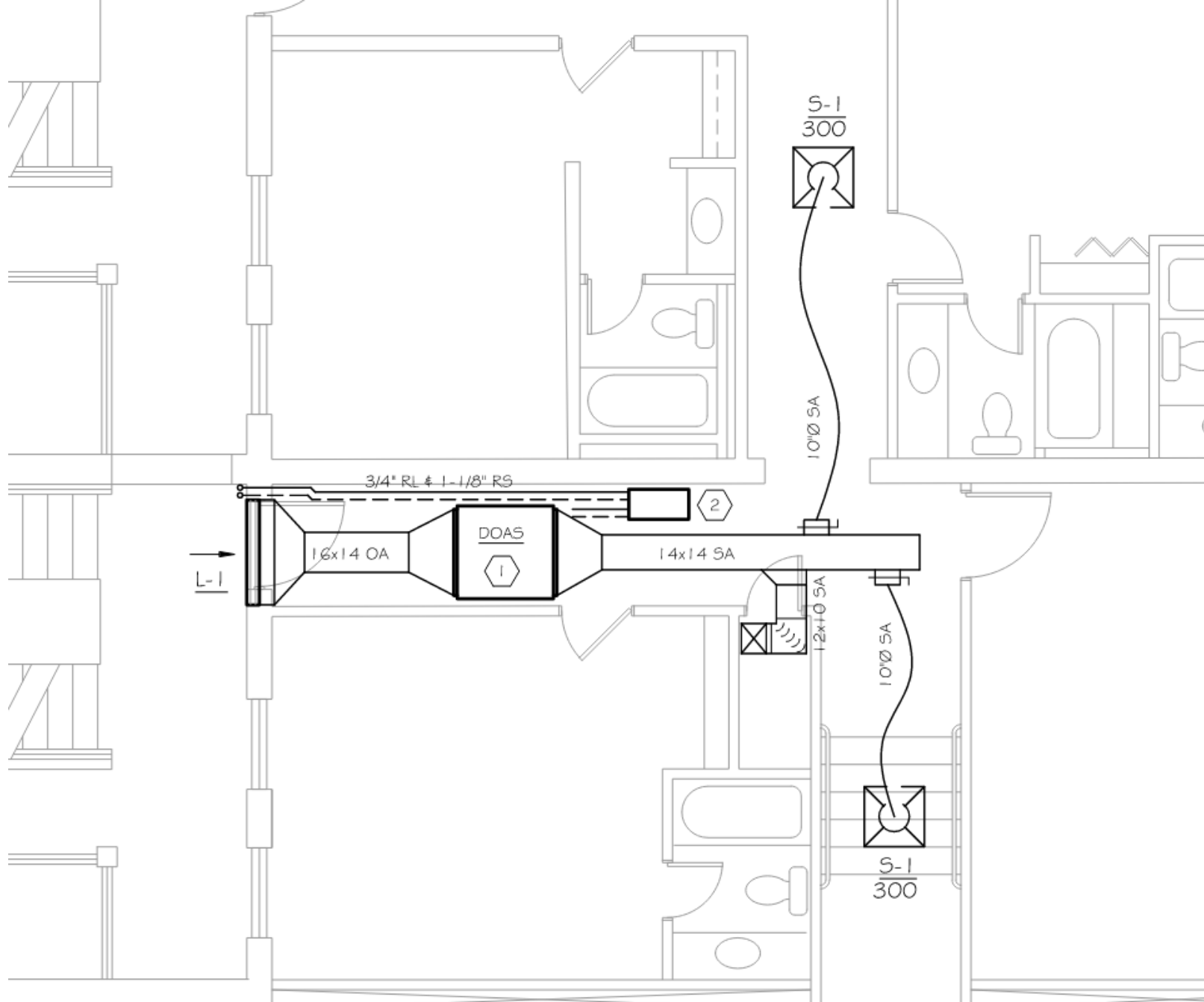
KEYED PLAN NOTES:

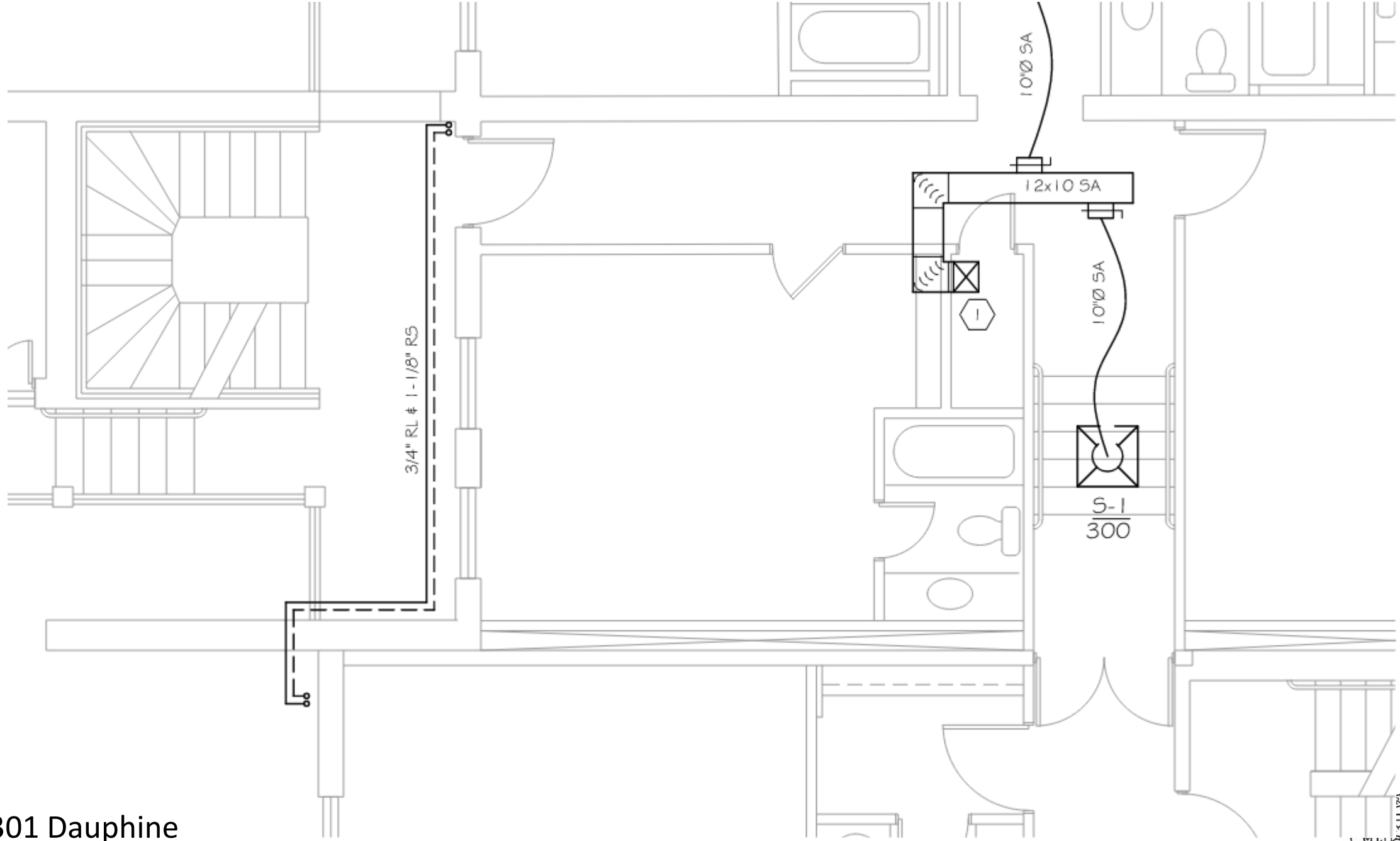
1. NEW DOAS UNIT TO BE INSTALLED ABOVE CEILING. REPAIR CEILING TO MATCH EXISTING. PROVIDE ACCESS PANELS AS REQUIRED FOR DOAS UNIT MAINTENANCE.
2. NEW 6-PORT BC CONTROLLER.
3. PROVIDE 230V/15A/1P BREAKER IN EXISTING ELECTRICAL PANEL FOR BC CONTROLLER. PROVIDE 2-#12-1#12G - 34"C FROM EXISTING ELECTRICAL PANEL TO BC CONTROLLER.
4. PROVIDE 230V/15A/1P BREAKER IN EXISTING ELECTRICAL PANEL FOR DOAS UNIT. PROVIDE 2-#12-1#12G - 34"C FROM EXISTING ELECTRICAL PANEL TO DOAS UNIT.

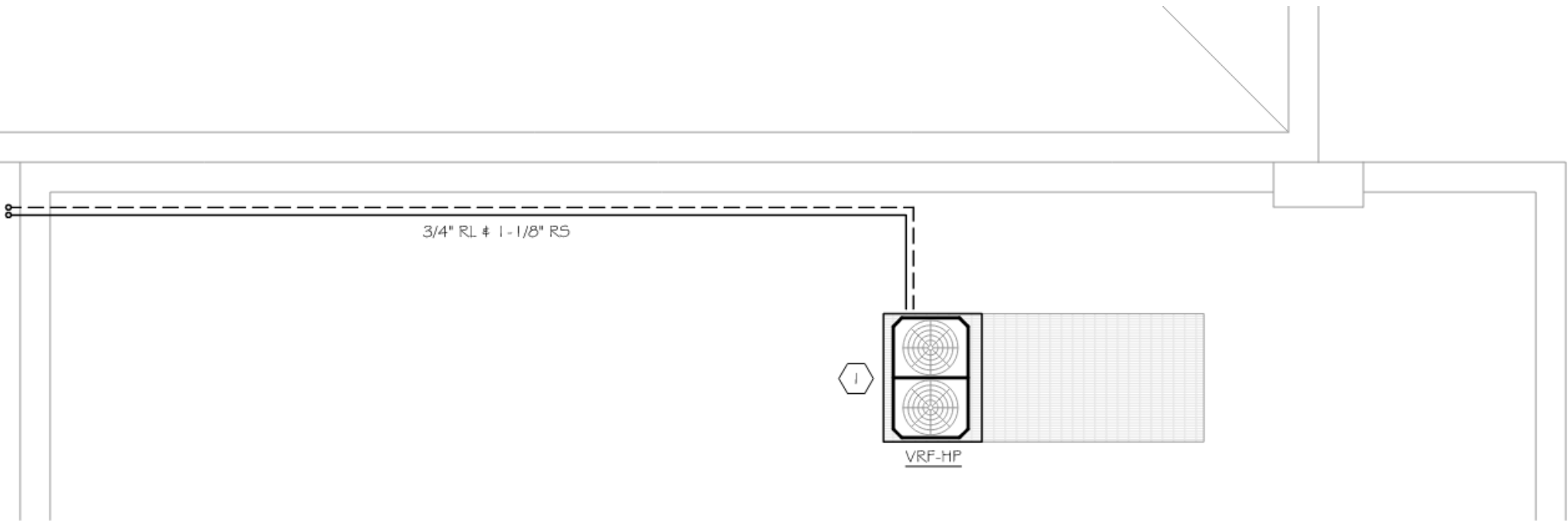


M-2 SECOND FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0"









1 ROOF PLAN - MECHANICAL
M-4 SCALE: 1/4" = 1'-0"





301 Dauphine

VCC Architectural Committee

August 27, 2024





301 Dauphine

VCC Architectural Committee

August 27, 2024



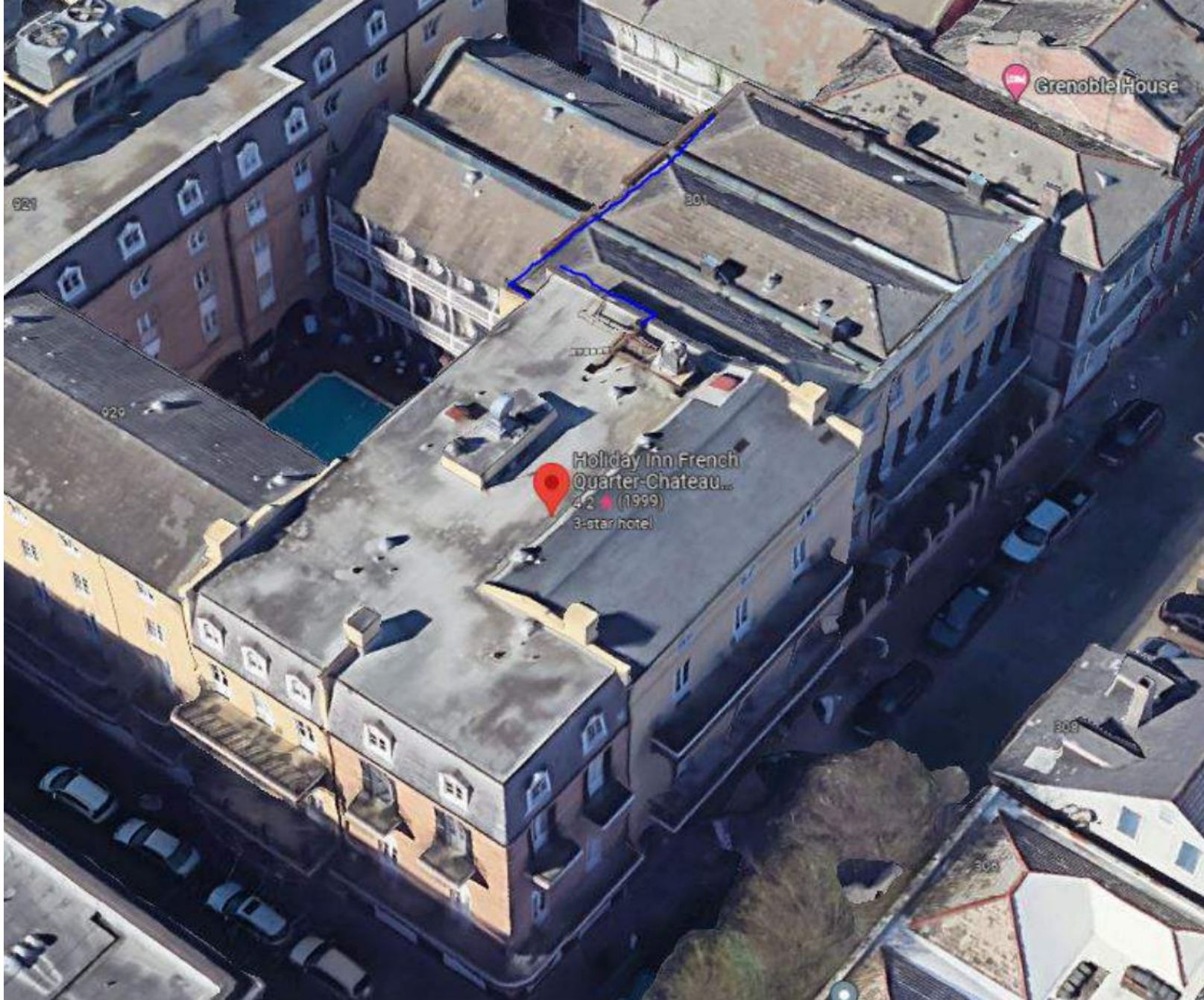


301 Dauphine

VCC Architectural Committee

August 27, 2024



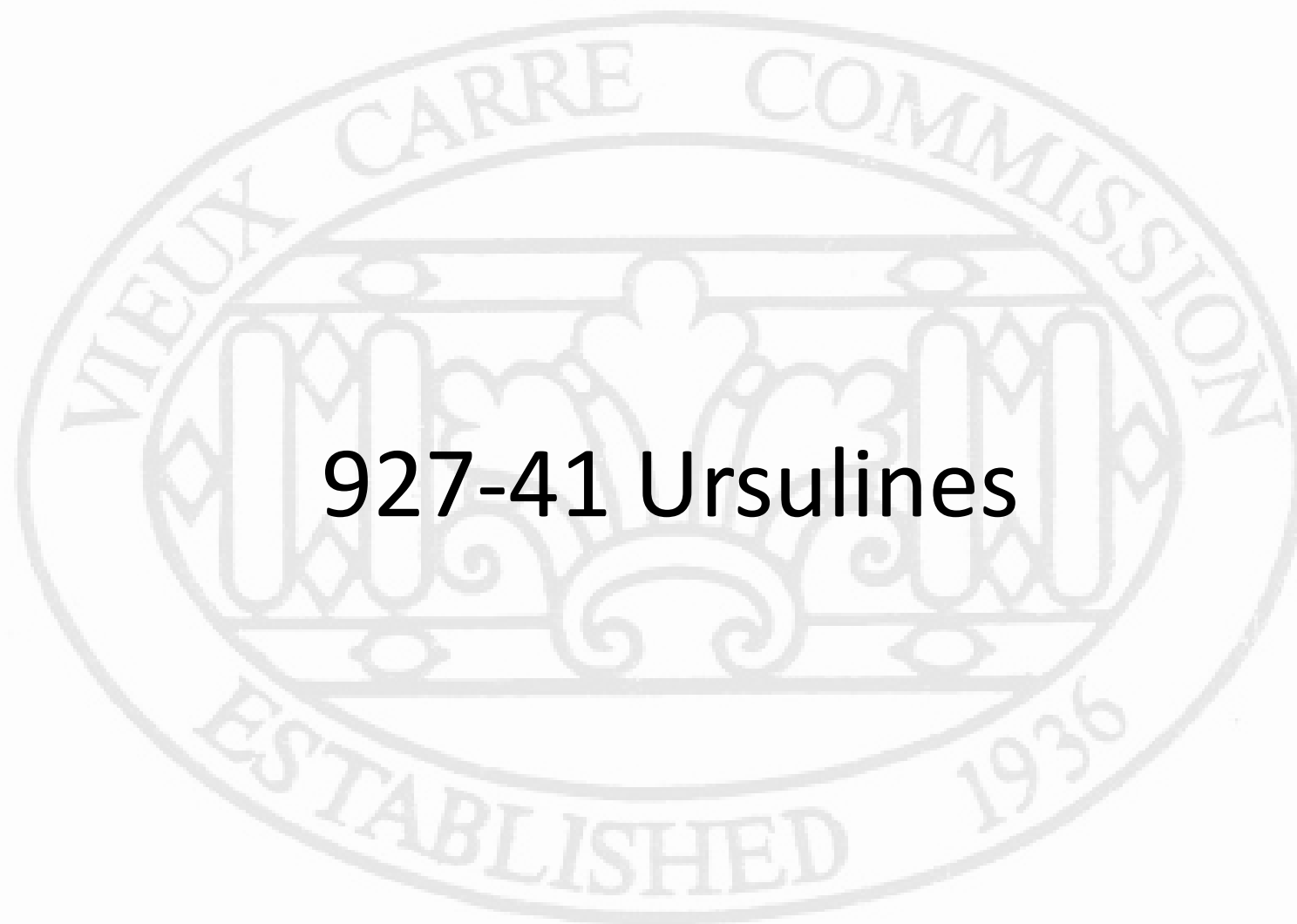


301 Dauphine

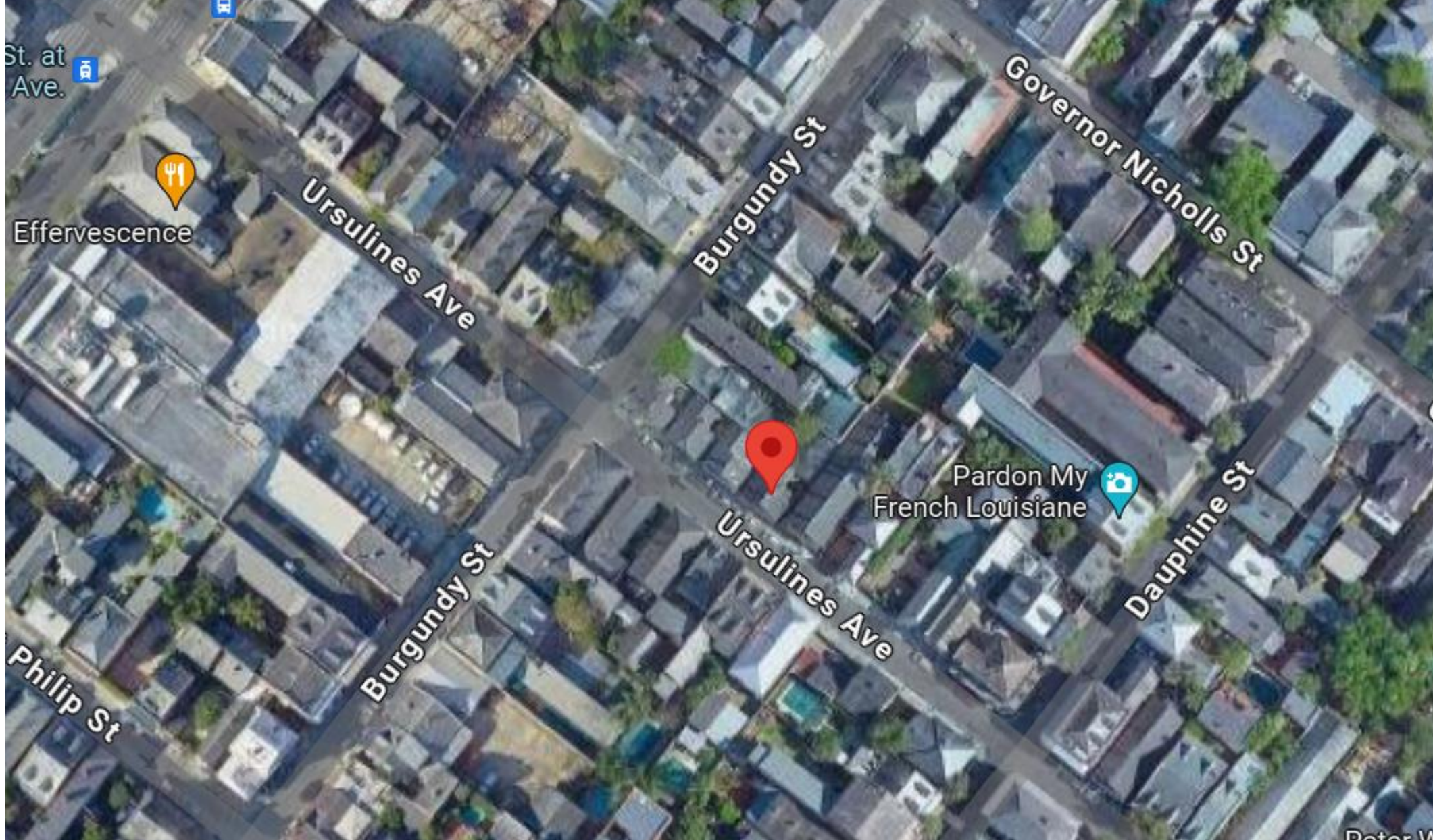
VCC Architectural Committee

August 27, 2024





927-41 Ursulines



927-41 Ursulines

VCC Architecture Committee

August 13, 2024





935 Ursulines – 1963

VCC Architecture Committee

August 13, 2024





927-41 Ursulines

VCC Architecture Committee

August 13, 2024





927-41 Ursulines

VCC Architecture Committee

August 13, 2024





927-41 Ursulines

VCC Architecture Committee

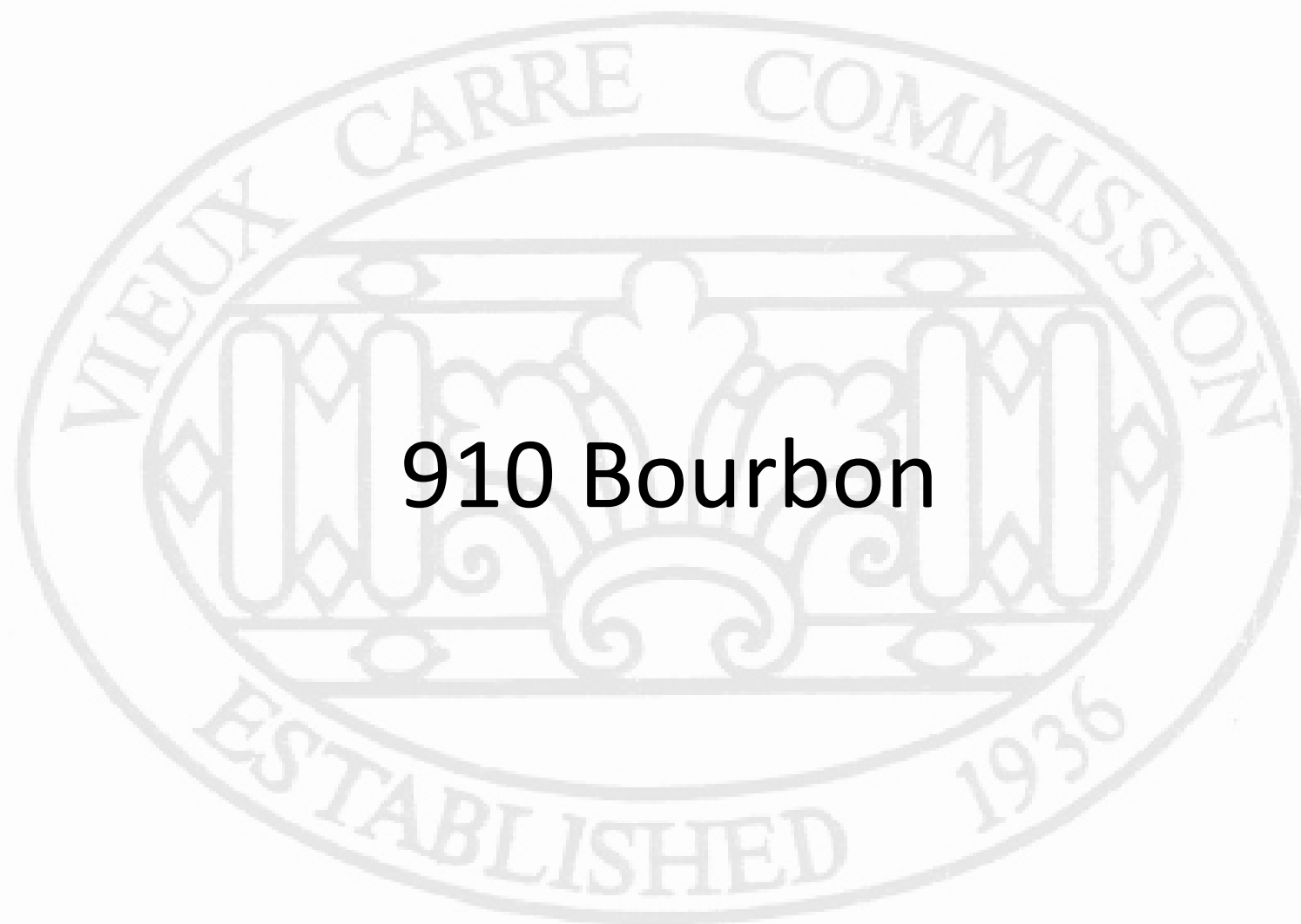
August 13, 2024



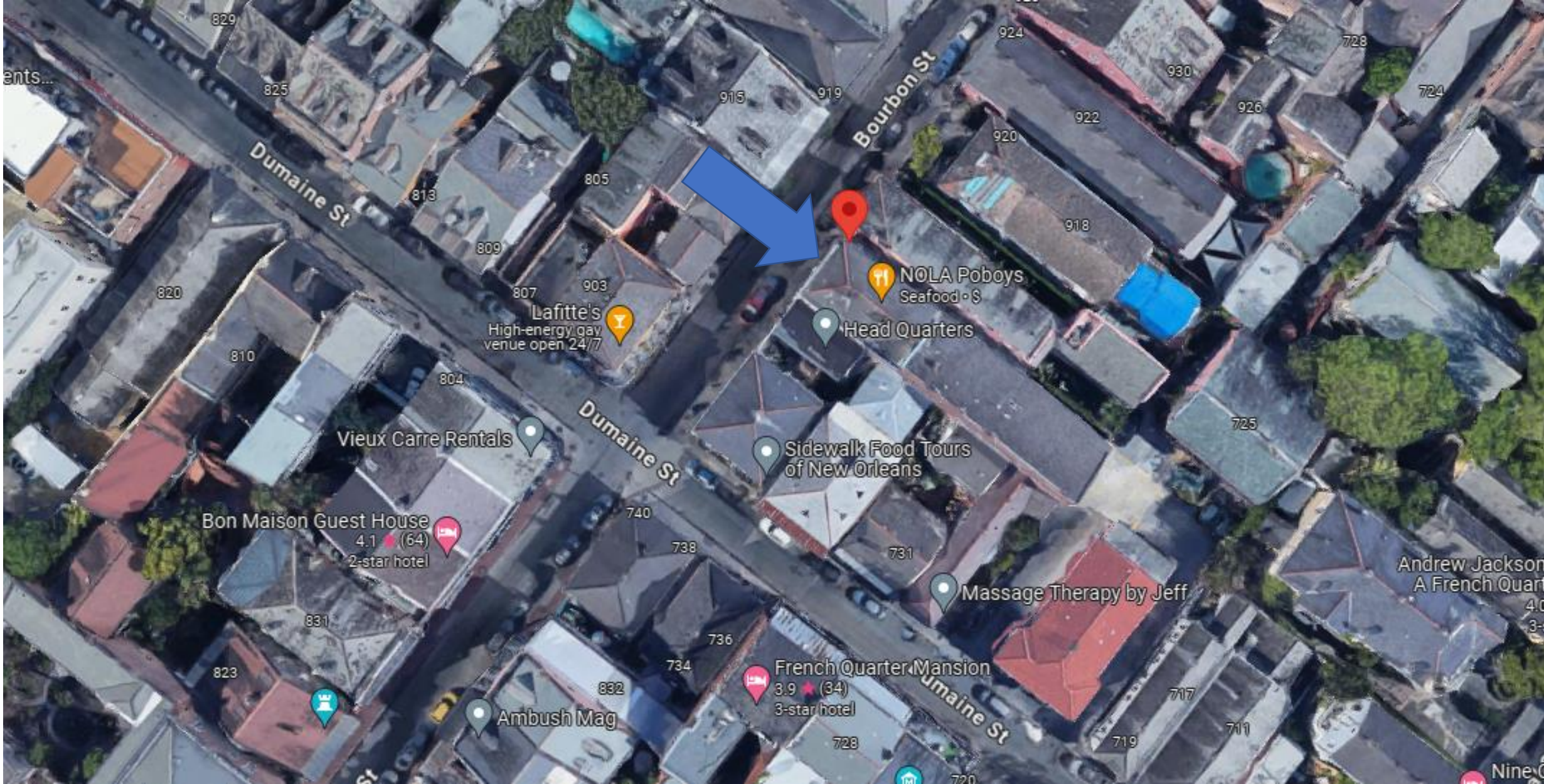
Work Description:

- Install custom made handrails on the home's entry stairway
 - The handrails will be installed in a manner to allow the door shutters to open and close





910 Bourbon



910 Bourbon

VCC Architecture Committee

August 13, 2024





910 Bourbon

VCC Architecture Committee

August 13, 2024





910 Bourbon

VCC Architecture Committee

August 13, 2024





910 Bourbon

VCC Architecture Committee

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

August 13, 2024





910 Bourbon

VCC Architecture Committee

08 23 2024

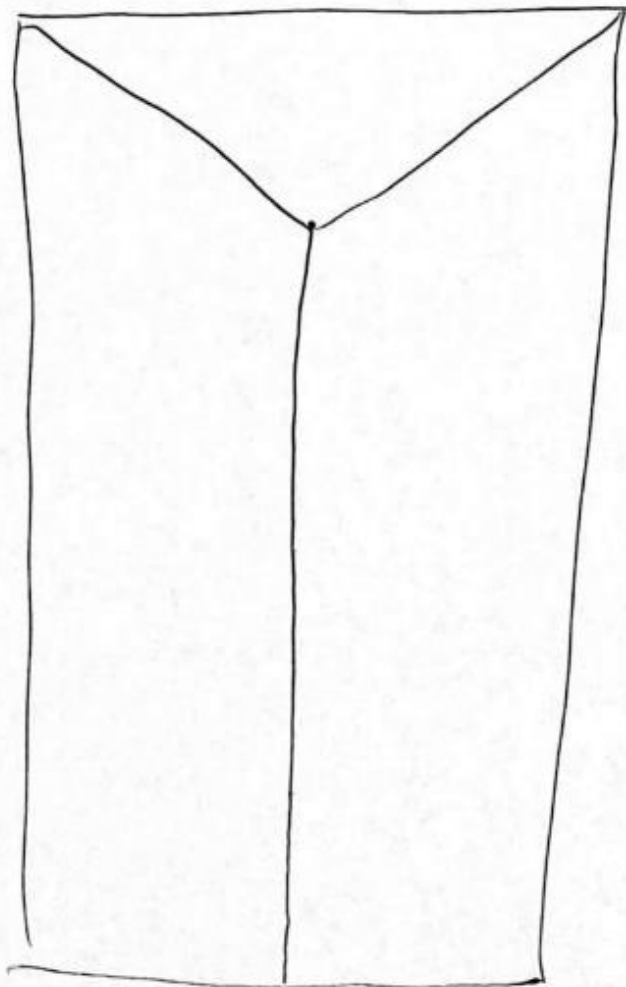
August 13, 2024



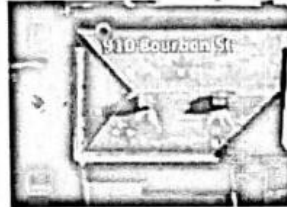
910 Bourbon St.

Bourbon Street

Roof →



ROOFING PROPOSAL:



910 Bourbon Street, New Orleans, LA 70116

Proposed:

- 1) Remove Existing Synthetic Slate Roof. Install 5/8" Plywood Decking. Install S1 Grade, CUPA Gray-Black, Natural Slate Roof with 3" Head-Lap and Copper Nails. Proposal Includes all-Copper Flashings at Chimneys, Valleys, etc. Remove, Clean, and Re-Install Historic Ridge Tile.
- 2) Install New Commercial-Grade "TPO" Gray-Colored Flat-Roof Membrane with "Dens-Deck" Rigid ISO Board in "Dead-Valleys" and at Parapet Walls. We will Taper for Slope Where Possible.

TOTAL PROJECT COST = \$45,000.00

GENERAL PROJECT SERVICES AND CONDITIONS:

- Debris Removal - Dump Trailers and Debris Chutes will be placed in front of the Property for Removal of all Roofing Debris.
- This Job will be covered with General Liability and Worker's Comp Insurance provided by ALL-WAYS ROOFING LLC.
- Any remaining Slate or Copper left over at the completion of the Job are Property of ALL-WAYS ROOFING LLC.

PAYMENT SCHEDULE:

- 1/3 Due as Down Payment at Contract Signing.
- 1/3 Upon Tear-Off and Disposal, and Delivery of Natural Slate.
- 1/3 At Completion and Clean-Up.

Steve Thompson, ALL-WAYS ROOFING LLC

Julie Cahn, Cahn Enterprises.

910 Bourbon

VCC Architecture Committee

August 13, 2024





910 Bourbon – Same material on a roof in the Marigny





910 Bourbon – Same material on a roof in the Marigny





910 Bourbon – Same material on a roof at 509 Olivier

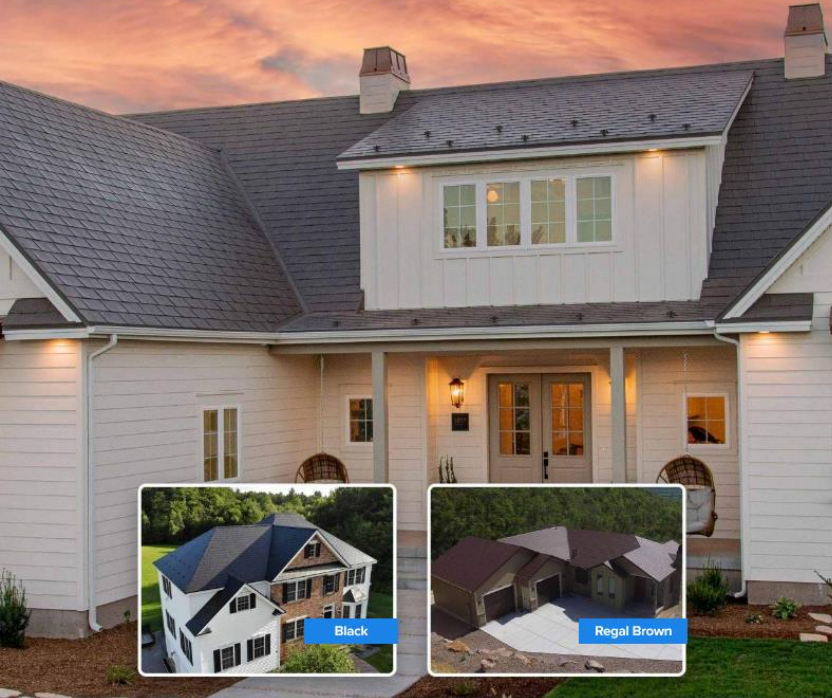




910 Bourbon – Same material on a roof at 509 Olivier



The greenest roof on the market.

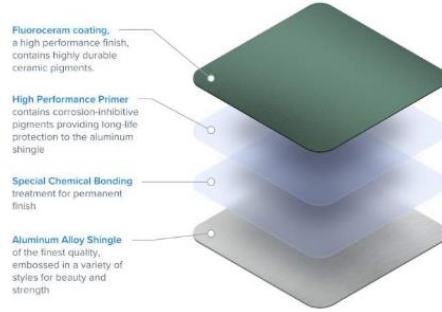


Green since 1948

- Made from 95% recycled content
- Lightest roof at 42 lbs per 100 sq feet
- Aluminum reflects heat, saving up to 30% on cooling costs
- "Cool Roof" will increase comfort by keeping building cooler
- Lowest carbon footprint to ship
- Can be installed over existing roof eliminating tearoff and landfill waste

High Performance Finish

Featuring Fluoroceram® coating system.



Color Options Custom colors are available upon request. Also available in zinc and copper.



Premium Option



Product Information

- 5000 Series aluminum, min .019 inch thickness +/- .001 inch.
- Finished shingles - 9 1/4 inches high and 18 inches wide with reverse lock bent on four sides and grain pattern stamped into shingles.
- Manufactured with 95% recycled material.
- Shipping Weight: 40 lb. per square.
- Each box contains 96 shingles or 100 square feet.



Call 877-319-7999 today for a free quote on your roofing project or visit us online at www.permalockroofing.com.



EXCEPTIONAL BEAUTY AND VALUE

Built to last a lifetime. Guaranteed.



910 Bourbon

VCC Architecture Committee

August 13, 2024



High Performance Finish

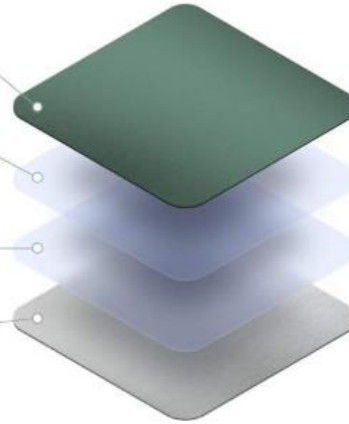
Featuring Fluoroceram[®] coating system.

Fluoroceram coating, a high performance finish, contains highly durable ceramic pigments.

High Performance Primer contains corrosion-inhibitive pigments providing long-life protection to the aluminum shingle.

Special Chemical Bonding treatment for permanent finish.

Aluminum Alloy Shingle of the finest quality, embossed in a variety of styles for beauty and strength.



EMBOSSSED



SMOOTH



EMBOSSSED SLATE



SLATE

Color Options

Custom colors are available upon request. Also available in zinc and copper.



DRIFTWOOD CEDAR



TUDOR BROWN



REGAL BROWN



TERRA COTTA RED



CLASSIC GREEN



DAWN GRAY



CHARCOAL GREY



BLACK



PLAIN MILL

Premium Option



K5 SERIES



ORE SERIES



BRAZEN SERIES



MIDNIGHT SERIES

Product Information

- 5000 Series aluminum, min .019 inch thickness +/- .001 inch.
- Finished shingles - 9 1/4 inches high and 18 inches wide with reverse lock bent on four sides and grain pattern stamped into shingles.
- Manufactured with 95% recycled material.
- Shipping Weight: 40 lb. per square.
- Each box contains 96 shingles or 100 square feet.



The Aluminum Shingle Company

Call 877-319-7999 today for a free quote on your roofing project or visit us online at www.permalockroofing.com.

910 Bourbon

VCC Architecture Committee

August 13, 2024





- 
Lifetime Warranty
 We offer a non-prorated, lifetime transferable warranty unsurpassed in the roofing industry.
- 
Mother Nature Approved
 Will not rust, rot, split or curl. Warranted to withstand 165 mph winds. Passed Class IV Hail Rating.
- 
Interlocking Support
 Shingles interlock on all four sides for added strength and weather resistance, allowing you to walk on it without damaging it.
- 
Lightweight & Economical
 Can be installed over most existing roofing, eliminating messy, costly tear-offs. No maintenance or reroofing expense.
- 
Superior Paint Finish
 Exceptional resistance to aging, chalking, peeling, cracking or fading.
- 
Fire Resistant
 Aluminum shingles will not burn or support combustion.
- 
Exceptional Beautiful
 Choose from embossed, wood grain, slate, or smooth finishes plus a variety of popular colors.



The best value in a shingle

Lifetime Protection. Exceptional Value. Distinctive Beauty.

Since 1948, PermaLock aluminum shingles have been withstanding the test of time, protecting and beautifying the most important investment of many Americans – their home. For over seventy years, owners of PermaLock aluminum shingles have avoided the expense of re-roofing and enjoyed the distinctive beauty of a roof system carefully designed and warranted to last a lifetime.

As you evaluate your roofing needs, we think you'll be impressed with the features and benefits of PermaLock aluminum shingles. No other roofing product can offer you more. By choosing to have our aluminum shingle roof system installed on your home, you can experience the security and peace of mind that comes from knowing you will never need to roof again.

Lifetime Protection

PermaLock aluminum shingles are backed with a unique lifetime, transferable, non-prorated warranty. Prorated, non-transferable warranties are common in the roofing industry because manufacturers know the value of their warranty and consequently their potential liability greatly decreases over time. We have designed and manufactured our shingles to last a lifetime and our warranty conveys to you the confidence we have in our product.

We challenge you to compare our warranty to the warranty of any roofing product you are considering for use on your home. Our warranty is clearly superior, because our shingles are superior. When you choose to have a PermaLock aluminum shingle roof installed on your home, you put an end – once and for all – to your roofing worries.

Exceptional Value

The true value of a roofing product must be measured by what it costs to protect your home over time. A PermaLock aluminum shingle roof is an investment that will save thousands of dollars in future repair and replacement costs. Most homeowners can expect to replace their roof three times or more during their lifetime. Your

PermaLock aluminum shingle roof will never need replacing, and will require little or no maintenance.

When you consider the money you will save in replacement and maintenance expenses, and how a beautiful lifetime roof will add to the value of your home, we think you will agree that our shingles are a "best buy."

Distinctive Beauty

Your roof can significantly impact the appearance of your home because it may comprise up to fifty percent of your home's exterior. The unique beauty of PermaLock aluminum shingles will make your home stand apart from those around it.

The enduring beauty, pleasing colors, and sharp, clean lines of a

PermaLock aluminum shingle roof will give your home an eye-catching appeal. Fashioned from rich, embossed cedar grain aluminum, PermaLock aluminum shingles are distinctively attractive.

Unlike other roofing products, PermaLock aluminum shingles retain their beauty over time. Asphalt and wood shingles will begin displaying unsightly signs of wear and age after years in the elements. Your PermaLock aluminum shingle roof will look like new for generations.

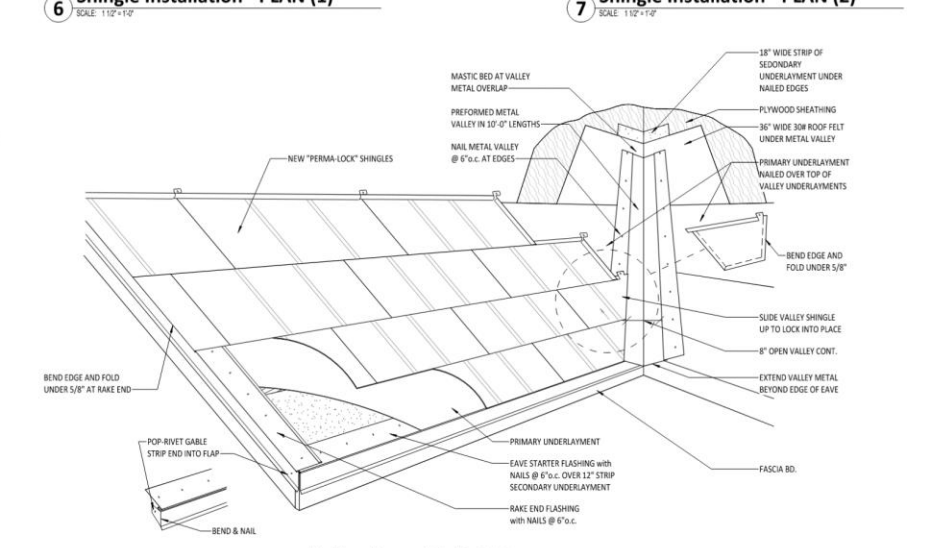
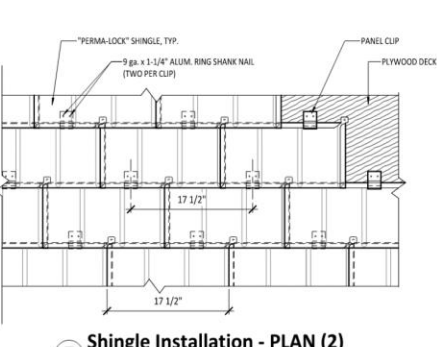
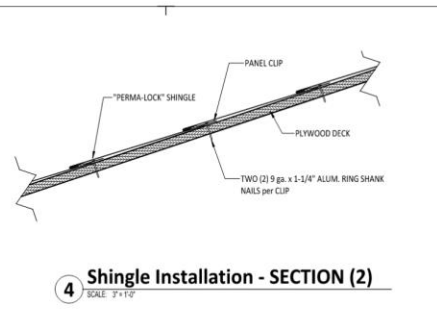
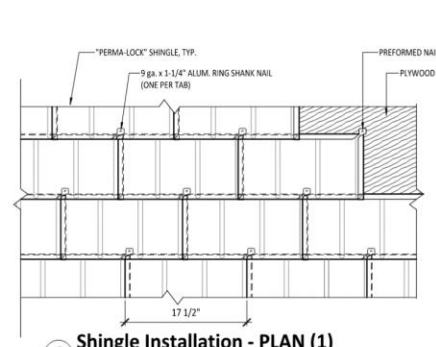
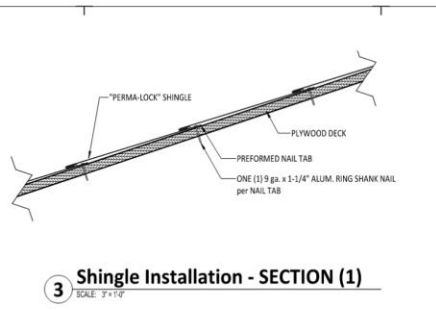
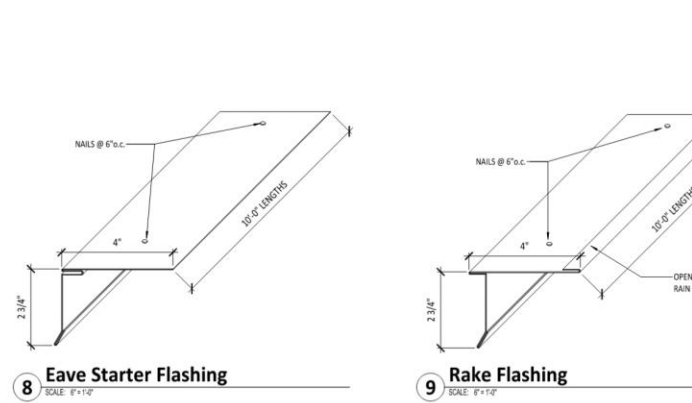
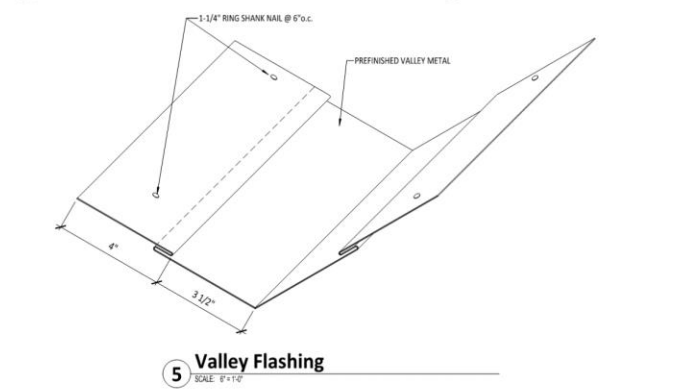
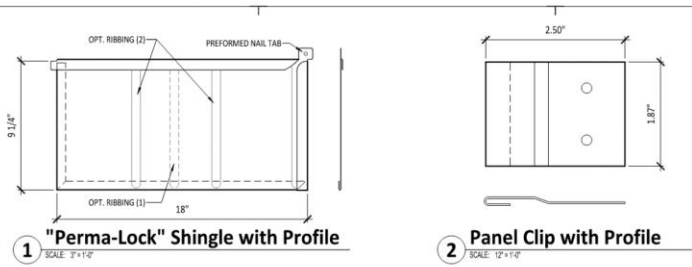
Why Aluminum?

Aluminum has long been recognized as a material both lightweight and exceptionally strong. For these reasons, aluminum is used extensively in the aviation and automotive industries. Aluminum is also unusually weather-resistant. Unlike steel, it can't rust. Unlike wood or asphalt products,

it will not rot or deteriorate and will never lose strength with age. The unique characteristics of aluminum make it the ideal material from which to fashion a high-quality, permanent roofing system.

Call 877-319-7999 today for a free quote on your roofing project or visit us online at www.permalockroofing.com.





MCNEIL ENGINEERING
 Economic and Sustainable Design, Professionals You Know and Trust
 8415 South Loop Parkway, Suite 200, Houston, Texas 77054-1333
 281.233.7788 • mcneilengineering.com
 Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS

PERMA-LOCK METAL SHINGLE SYSTEM

REVISIONS	DESCRIPTION	DATE

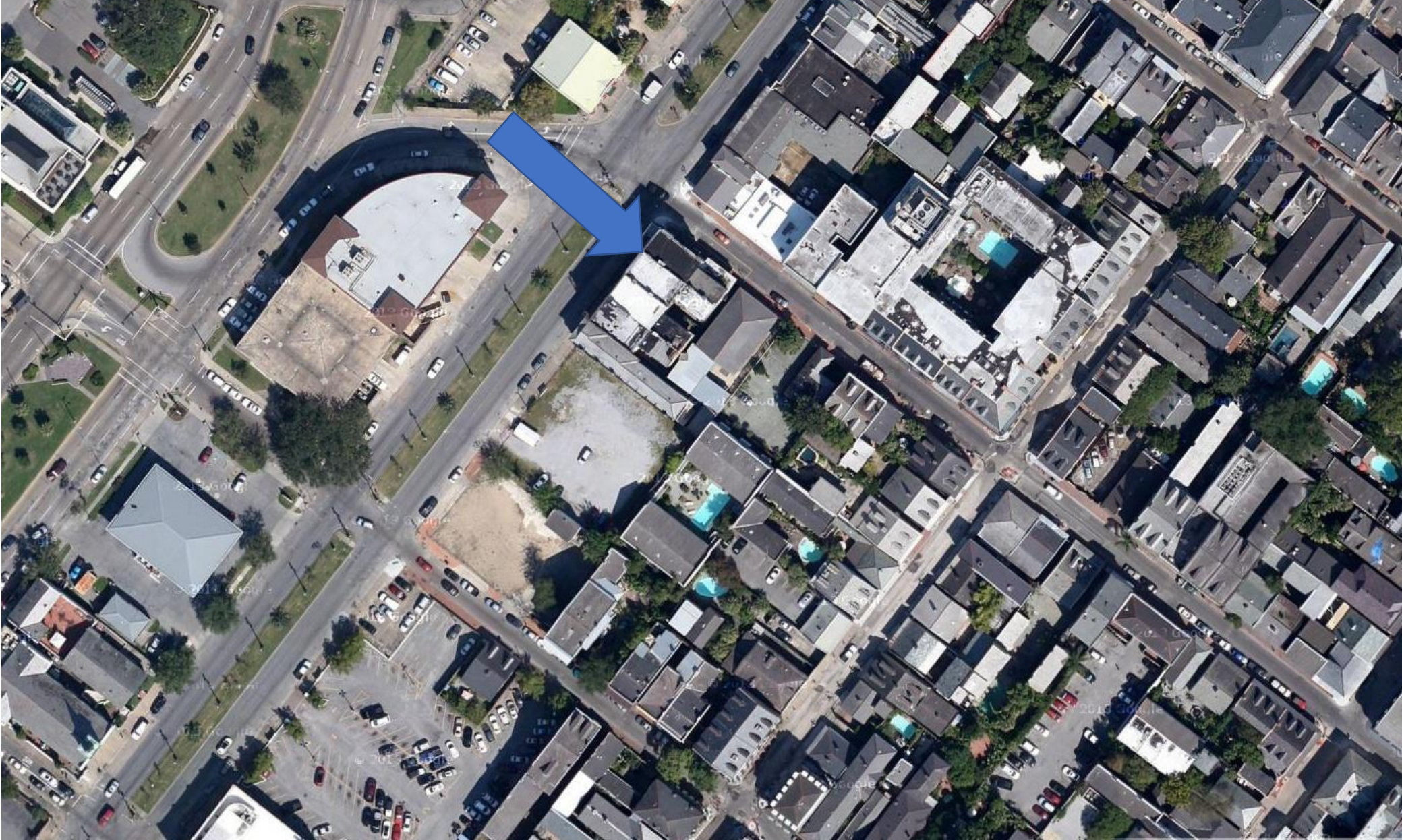
PROJECT NO. 19746
 DRAWN BY CEG
 CHECKED BY CEG
 DATE JANUARY 2019
 PROJ. NO. #

SHINGLE SYSTEM DETAILS A5.01





540 N Rampart



538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart
VCC Architectural Committee

August 27, 2024





1920s

538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

1964

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





Toulouse elevation

538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





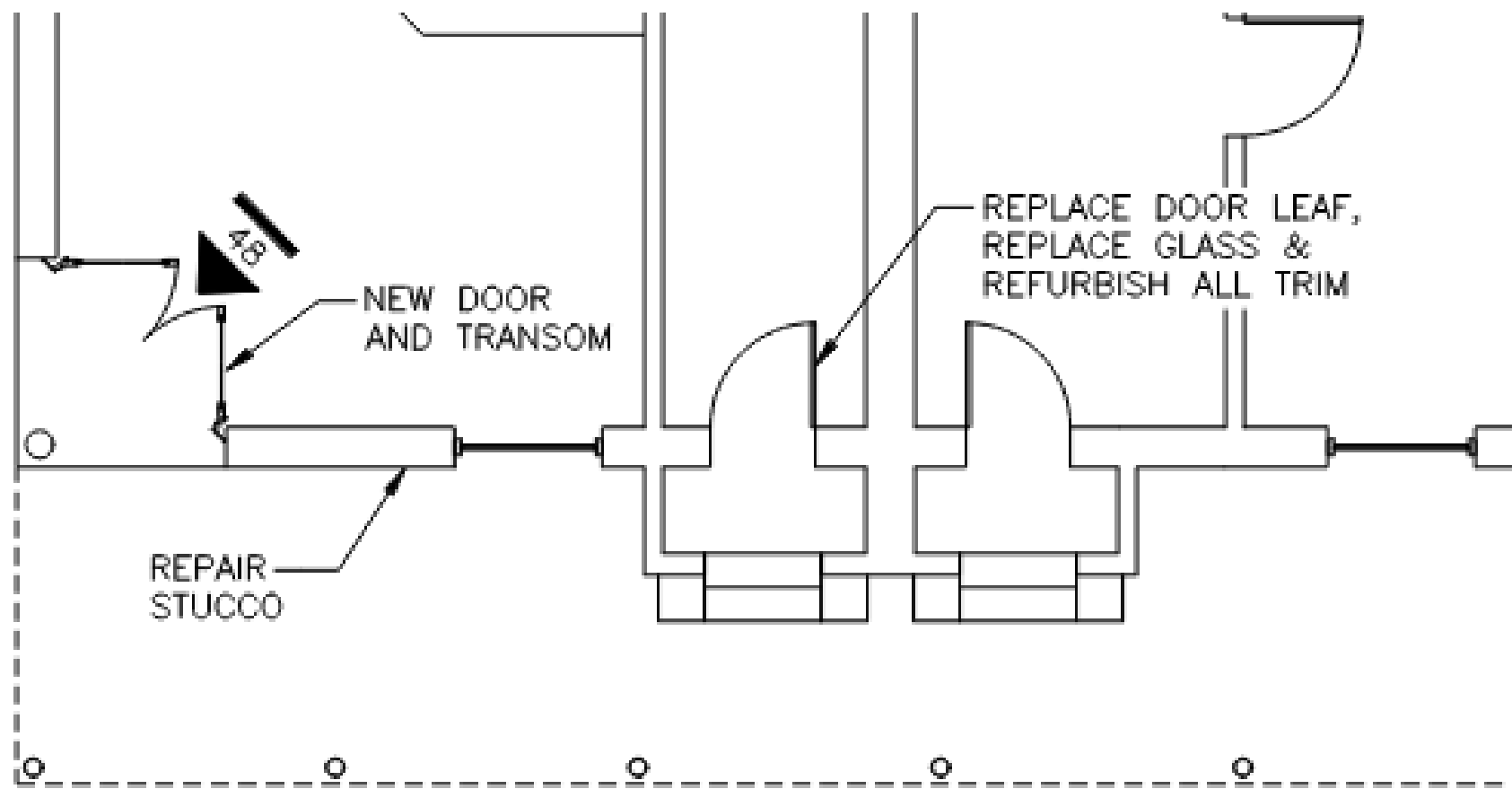
538 & 540 N. Rampart - 1964

VCC Architectural Committee

1964

August 27, 2024





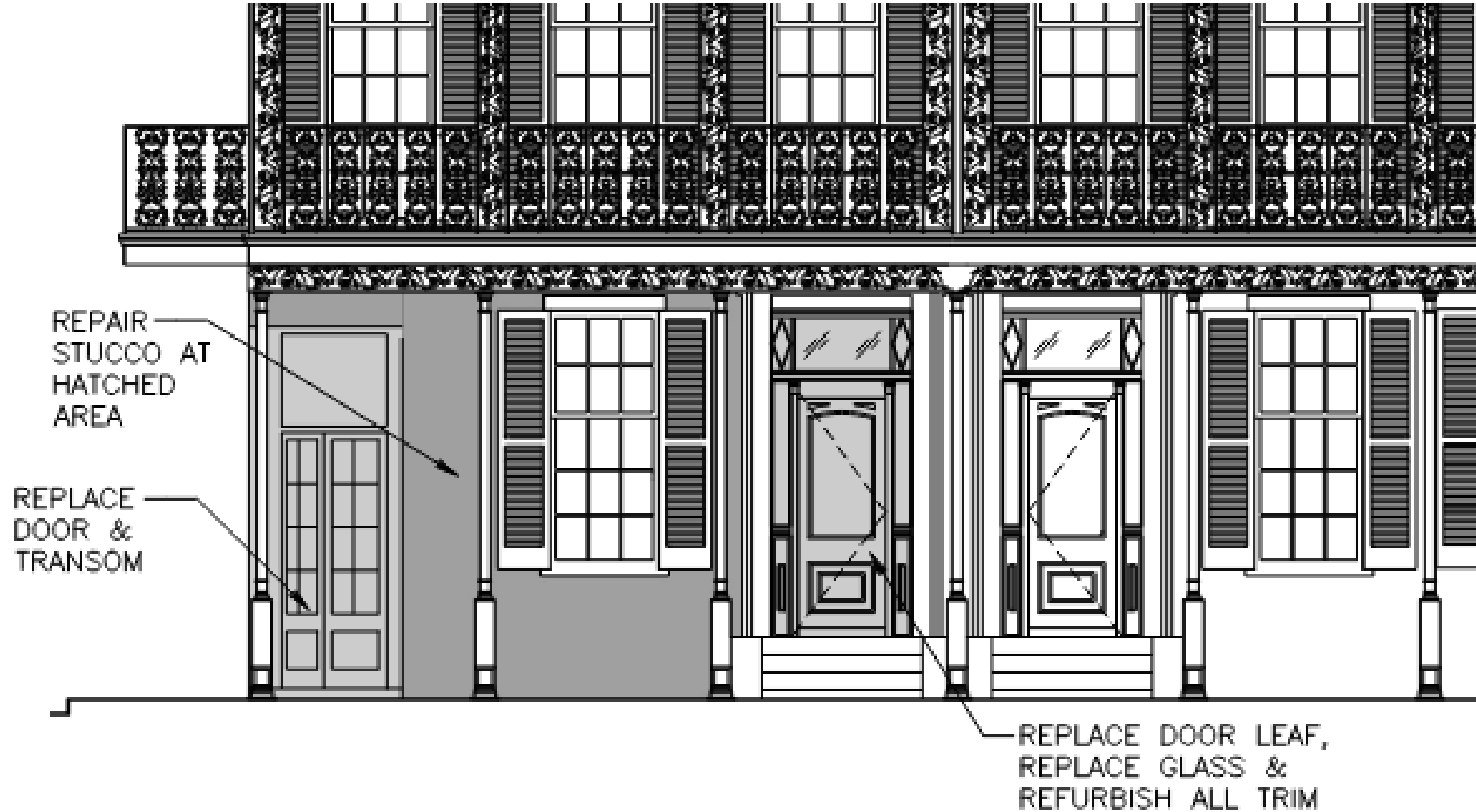
N. RAMPART STREET



1 FLOOR PLAN/LIFE-SAFETY PLAN - 1ST FLOOR

SCALE: 1/8" = 1'-0"





1 FRONT ELEVATION [RAMPART ST.]
SCALE: 1/8" = 1'-0"





538 & 540 N. Rampart

VCC Architectural Committee

04 22 2024

August 27, 2024





538 & 540 N. Rampart - 1980

VCC Architectural Committee

August 27, 2024



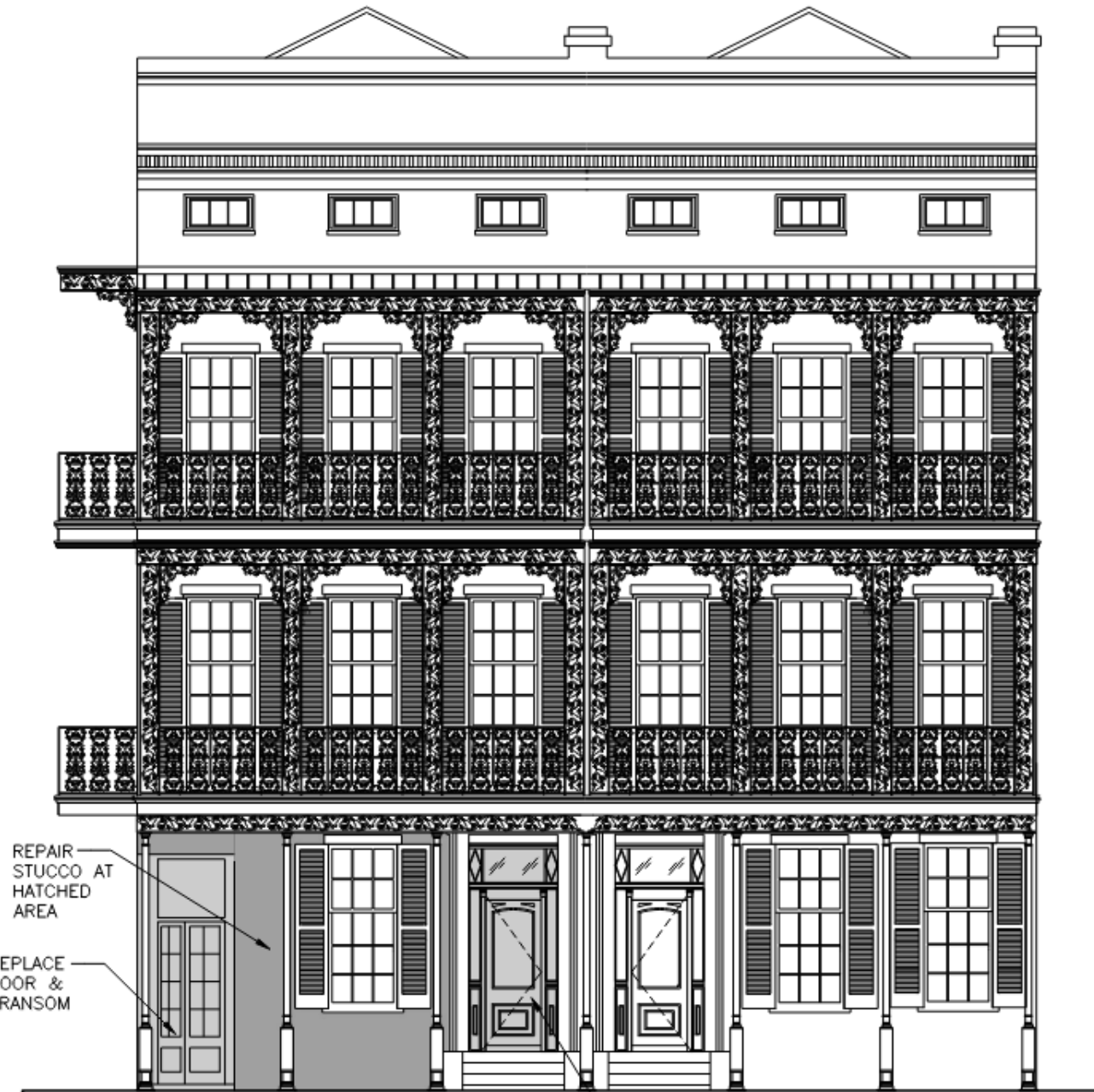


538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024



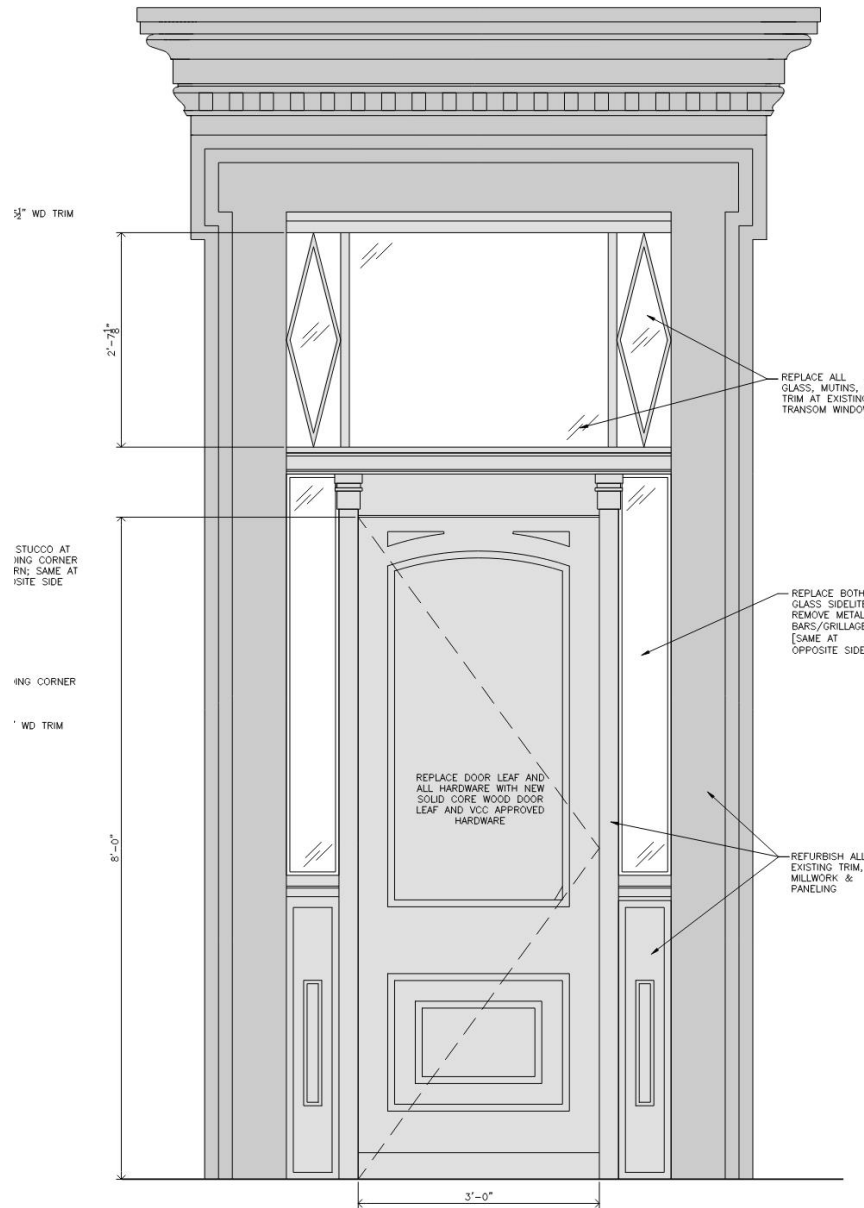


538 & 540 N. Rampart
VCC Architectural Committee

1 FRONT ELEVATION [RAMPART ST.]
SCALE: 1/8" = 1'-0"

August 27, 2024

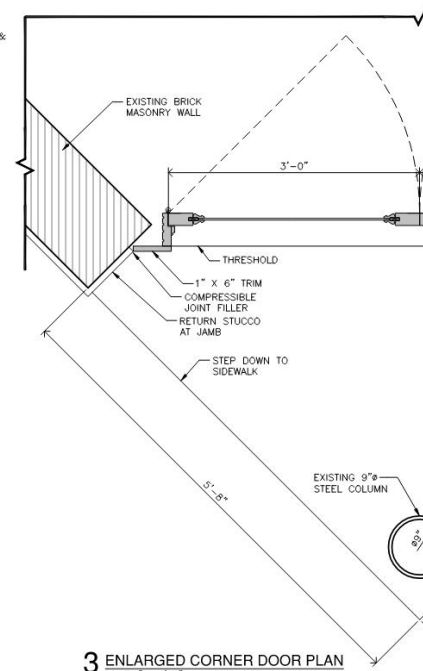




2 ENLARGED DOOR ELEVATION ALONG RAMPART STREET
SCALE: 1" = 1'-0"



PHOTO OF DOOR ALONG RAMPART STREET



3 ENLARGED CORNER DOOR PLAN
SCALE: 1" = 1'-0"

538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





538 & 540 N. Rampart

VCC Architectural Committee

August 27, 2024





3 LEFT ELEVATION [TOULOUSE ST.]
SCALE: 1/8" = 1'-0"



PHOTO ON TOULOUSE STREET

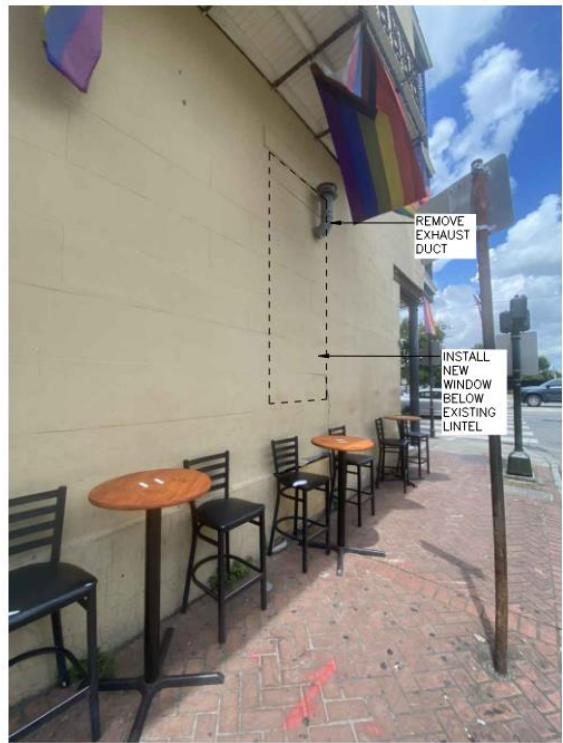
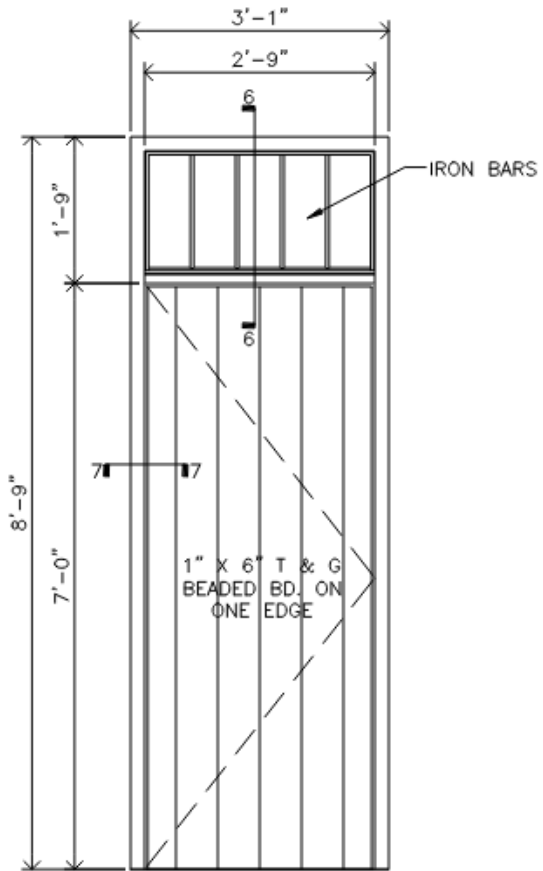


PHOTO ON TOULOUSE STREET

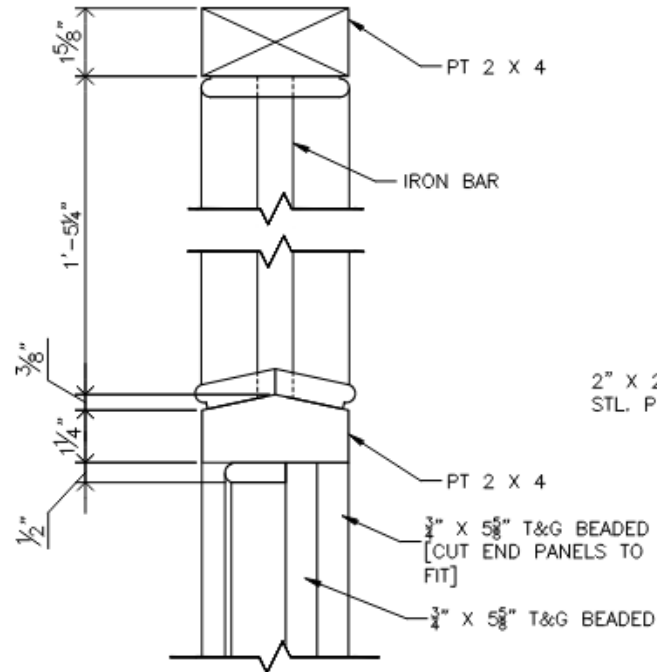


2 REAR ELEVATION [BURGUNDY ST. SIDE]
SCALE: 1/8" = 1'-0"

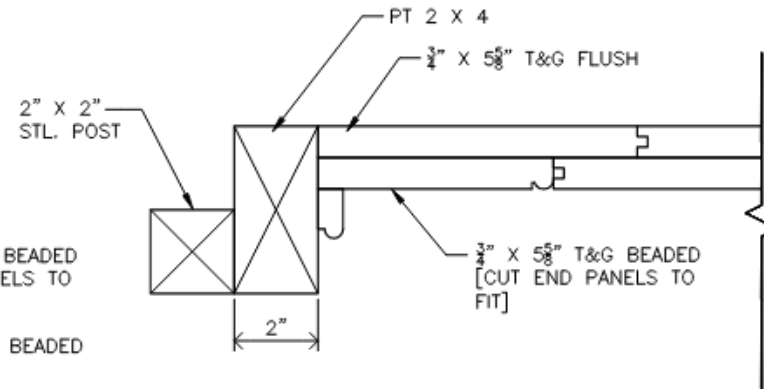


5 GATE ELEVATION
SCALE: 1/2" = 1'-0"

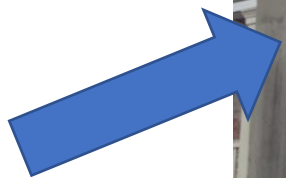
4 RIGHT ELEVATION [ST. LOUIS ST. SIDE]
SCALE: 1/8" = 1'-0"



6 GATE HEAD DETAIL
SCALE: 3" = 1'-0"



7 GATE JAMB DETAIL
SCALE: 3" = 1'-0"



538 & 540 N. Rampart

VCC Architectural Committee

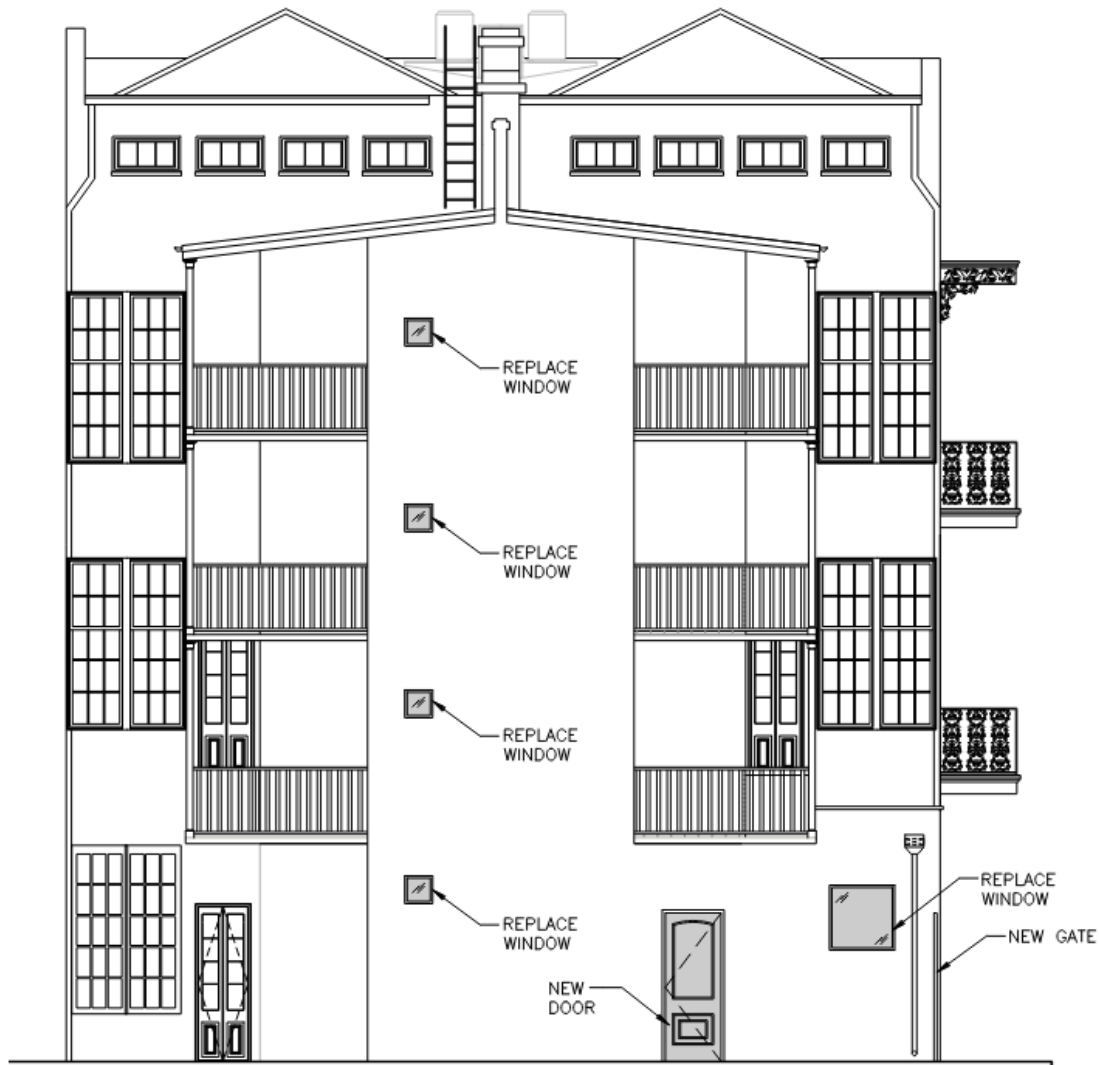
August 27, 2024





538 & 540 N. Rampart – 1975 Rear Window





2 REAR ELEVATION [BURGUNDY ST. SIDE]
SCALE: 1/8" = 1'-0"

538 & 540 N. Rampart

VCC Architectural Committee



PHOTO OF REAR WALL

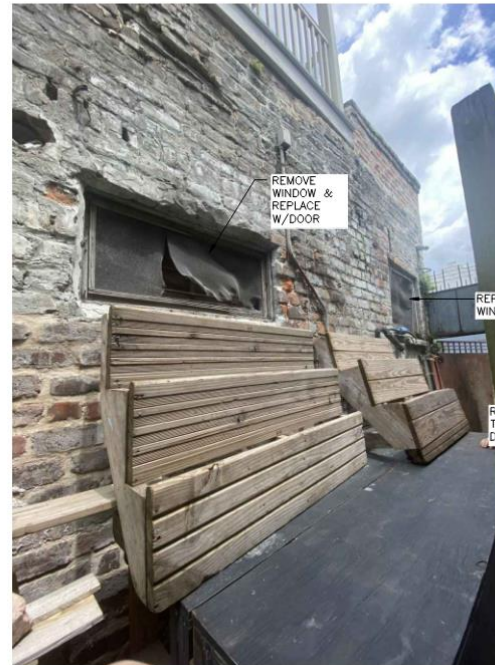


PHOTO OF REAR WALL

NE
SP
OVI
BE

August 27, 2024





Appeals and Violations



439-41 Royal

n-Grima House
1831 manor house



439 Royal





439 Royal

VCC Architectural Committee

August 27, 2024





439 Royal

VCC Architectural Committee

August 27, 2024





439 Royal

VCC Architectural Committee

August 27, 2024





439 Royal

VCC Architectural Committee

August 27, 2024





439 Royal

VCC Architectural Committee

August 27, 2024





439 Royal

VCC Architectural Committee

August 27, 2024





439 Royal

VCC Architectural Committee

August 27, 2024



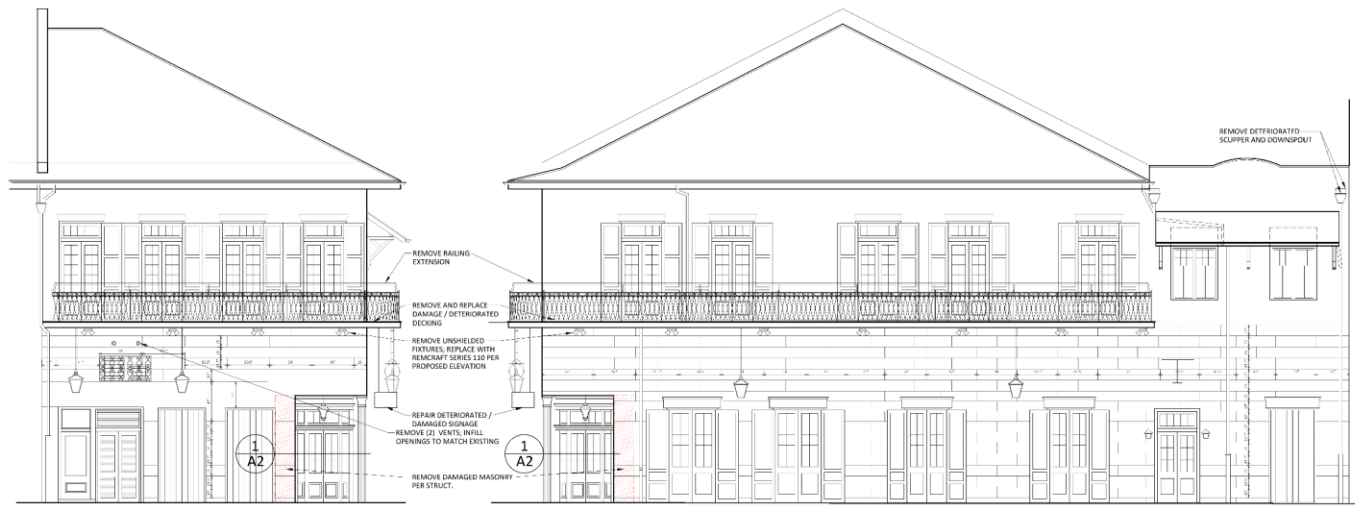


439 Royal

VCC Architectural Committee

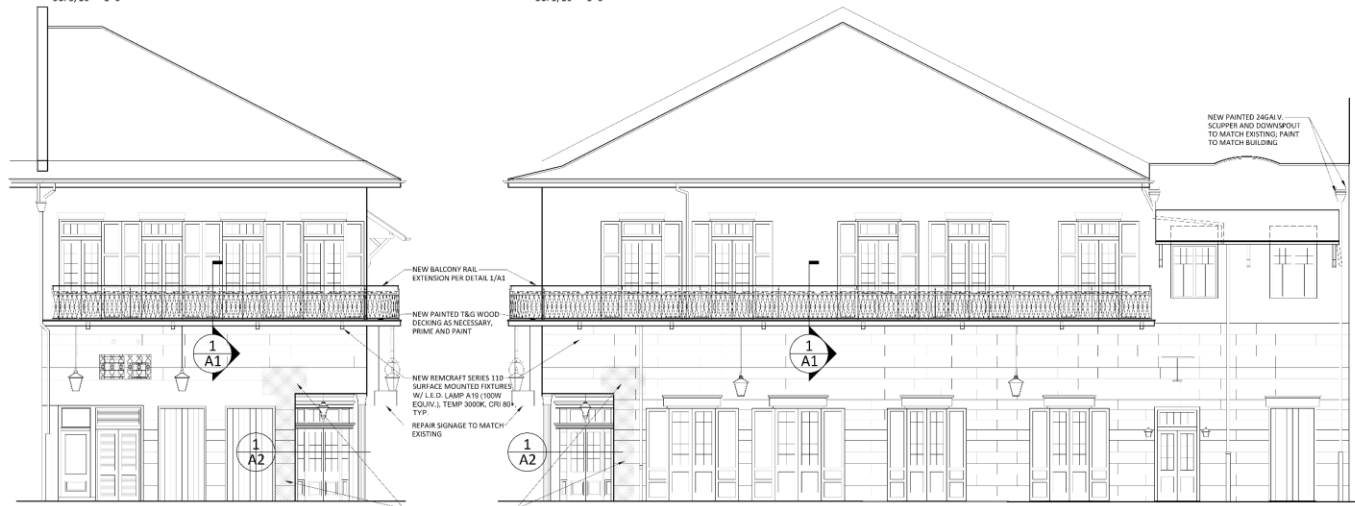
August 27, 2024





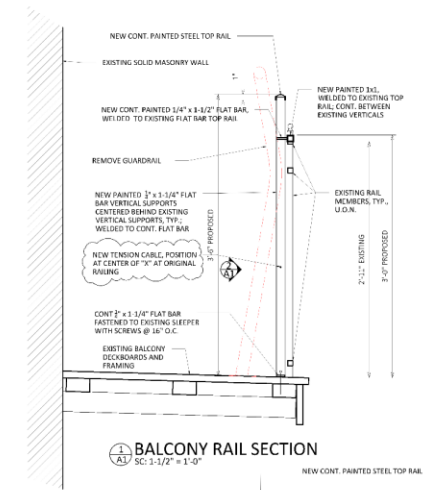
EXISTING FRONT ELEVATION - ROYAL STREET SIDE
SC: 3/16" = 1'-0"

EXISTING SIDE ELEVATION - ST. LOUIS STREET SIDE
SC: 3/16" = 1'-0"

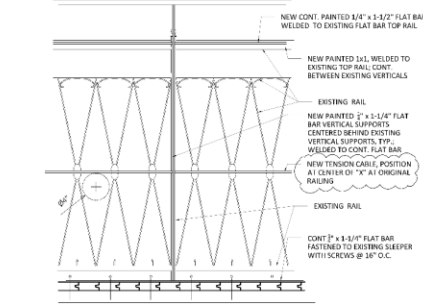


PROPOSED FRONT ELEVATION - ROYAL STREET SIDE
SC: 3/16" = 1'-0"

PROPOSED SIDE ELEVATION - ST. LOUIS STREET SIDE
SC: 3/16" = 1'-0"



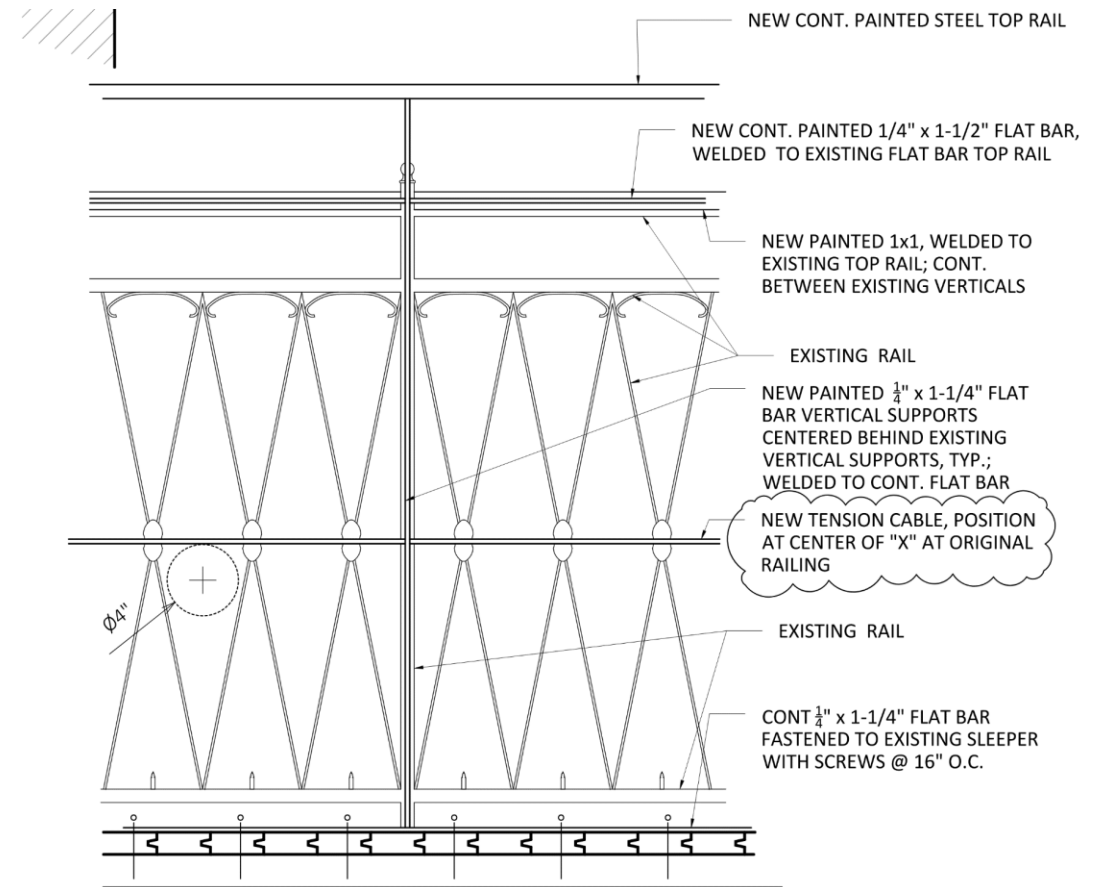
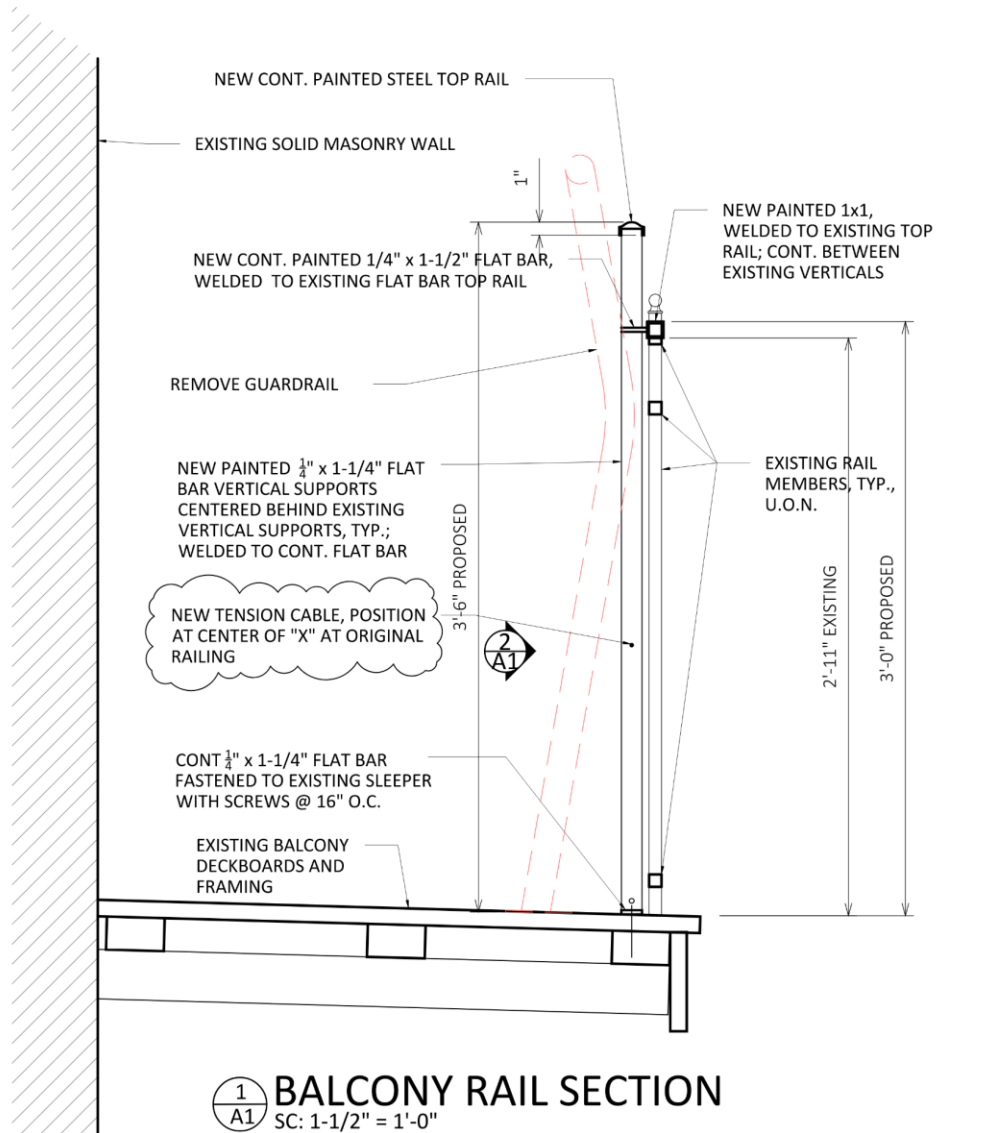
BALCONY RAIL SECTION
SC: 1/2" = 1'-0"

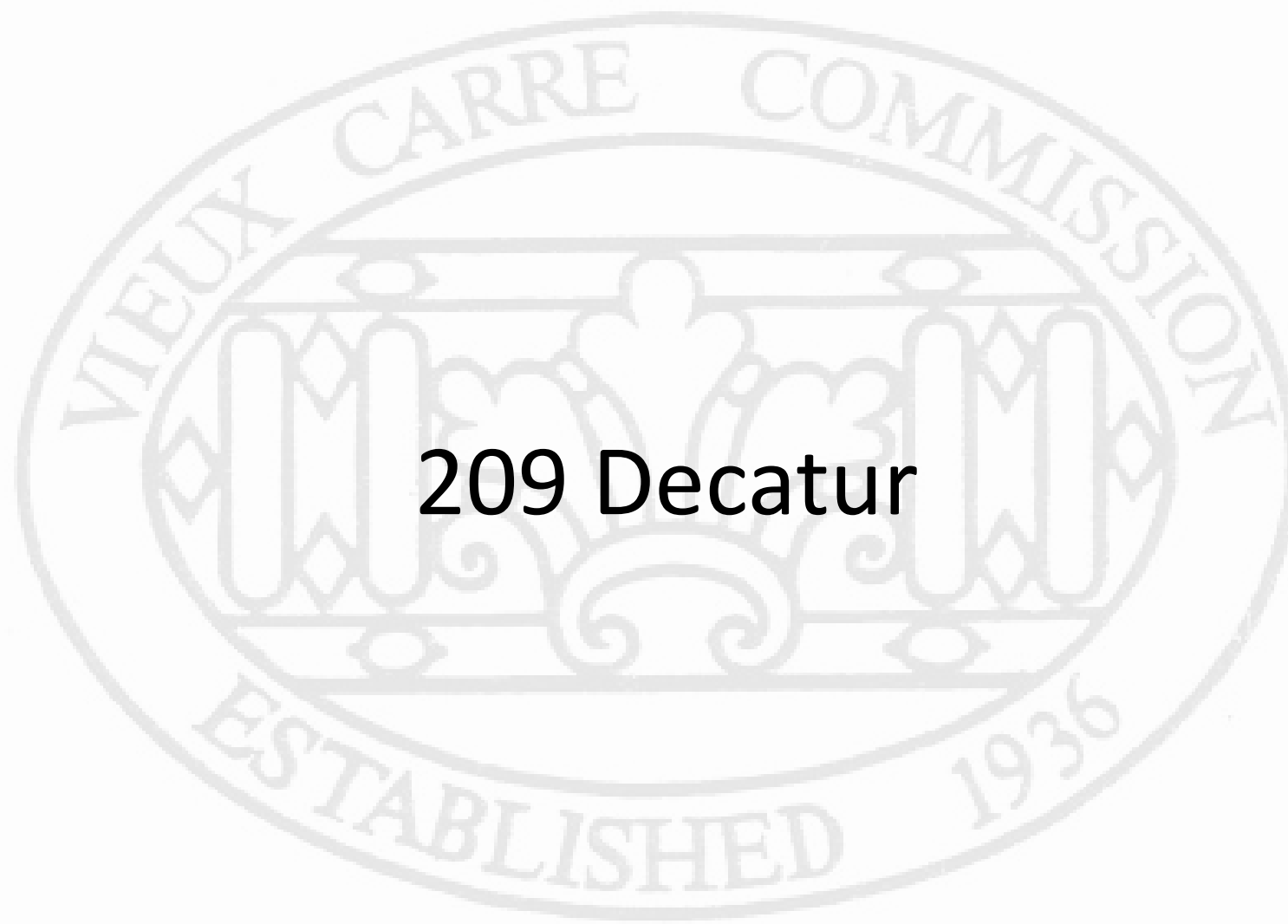


ELEVATION OF MODIFIED BALCONY RAIL
SC: 1/2" = 1'-0"

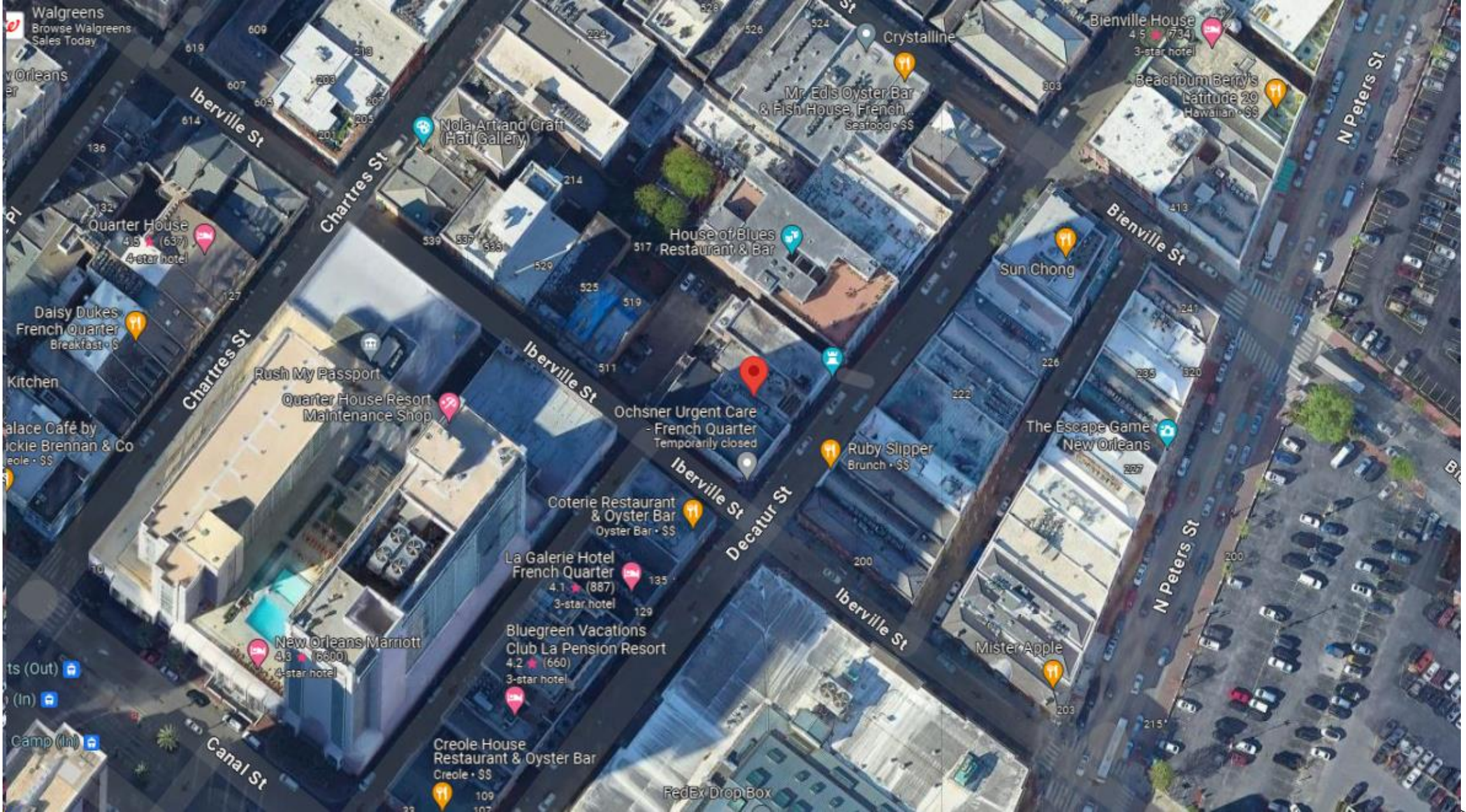
<p>439-41 ROYAL STREET EXTERIOR MODIFICATIONS New Orleans, Louisiana 70130</p>	 <p>LKHarmou Architects A Professional Architectural Corporation 8298 Argonne Boulevard New Orleans, Louisiana 70124 504.486.5876 bernon@lkharmouarchitects.com</p>	<p>5.3.2024 7.15.2024 8.6.2024</p>	<p>A1 LKH #1322</p>
		<p>REVISIONS</p>	







209 Decatur



209 Decatur

VCC Architectural Committee

August 27, 2024





209 Decatur

VCC Architectural Committee

August 27, 2024





209 Decatur

VCC Architectural Committee

August 27, 2024





209 Decatur

VCC Architectural Committee

August 27, 2024





209 Decatur

VCC Architectural Committee

August 27, 2024





209 Decatur – previous conditions

VCC Architectural Committee

August 27, 2024





209 Decatur

VCC Architectural Committee

August 27, 2024





209 Decatur – previous conditions



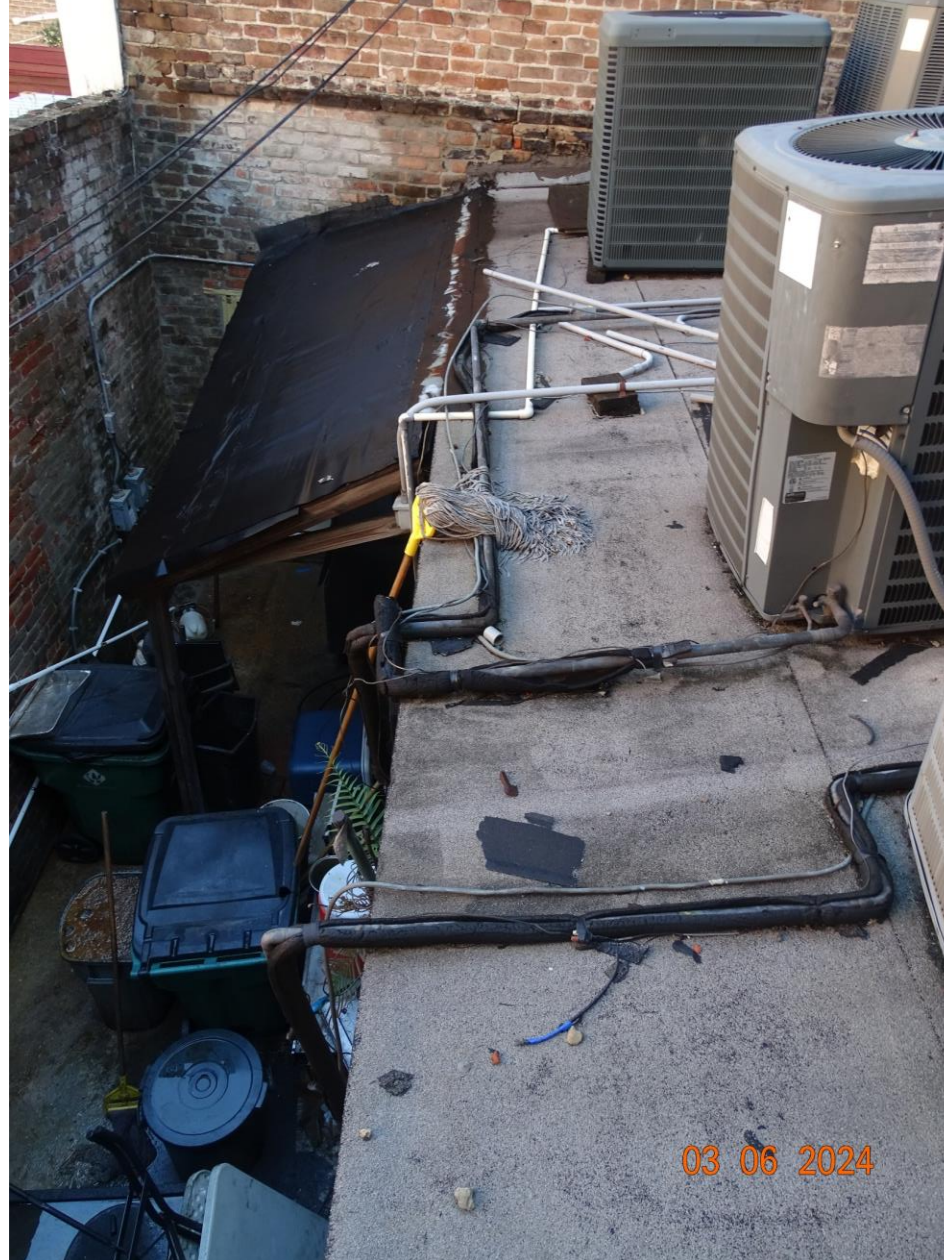


209 Decatur – previous conditions

VCC Architectural Committee

August 27, 2024





209 Decatur – previous conditions

VCC Architectural Committee

August 27, 2024





209 Decatur – previous conditions

VCC Architectural Committee

August 27, 2024





209 Decatur – previous conditions

VCC Architectural Committee

August 27, 2024





209 Decatur – WwoP

VCC Architectural Committee

August 27, 2024





209 Decatur – WwoP

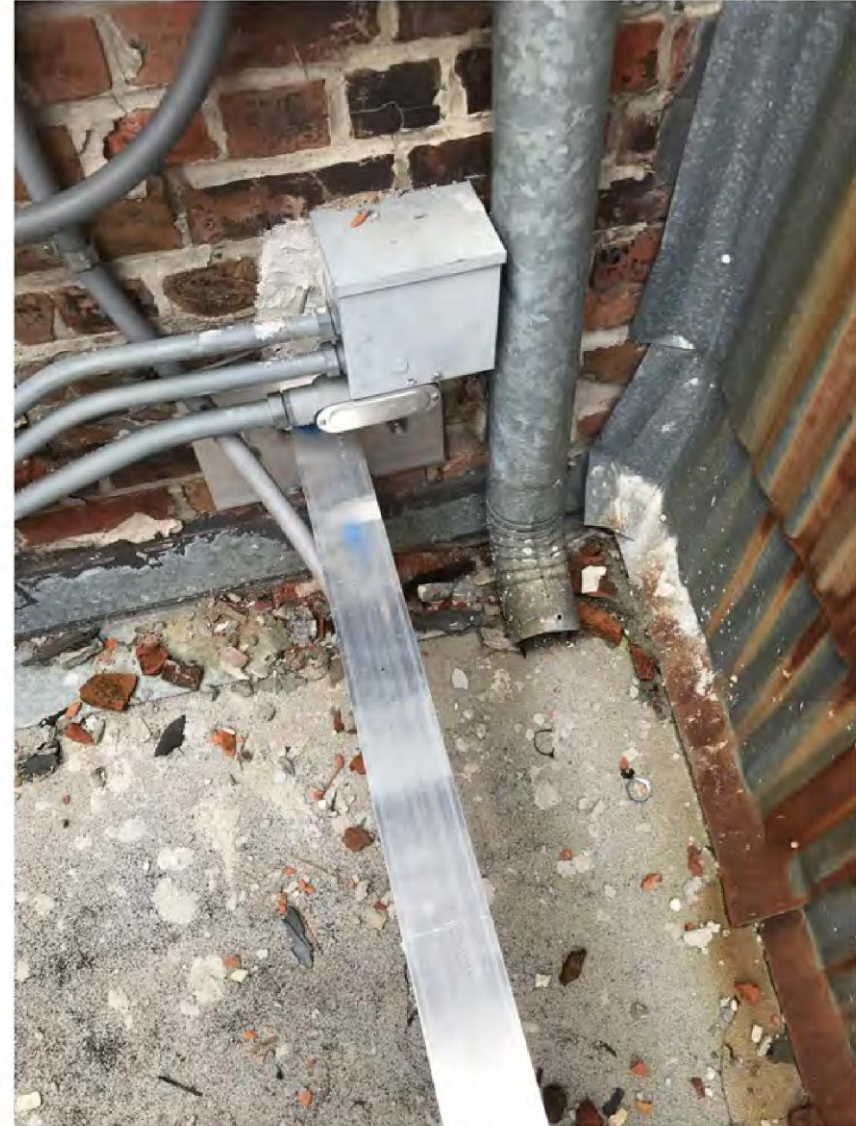
VCC Architectural Committee

August 27, 2024





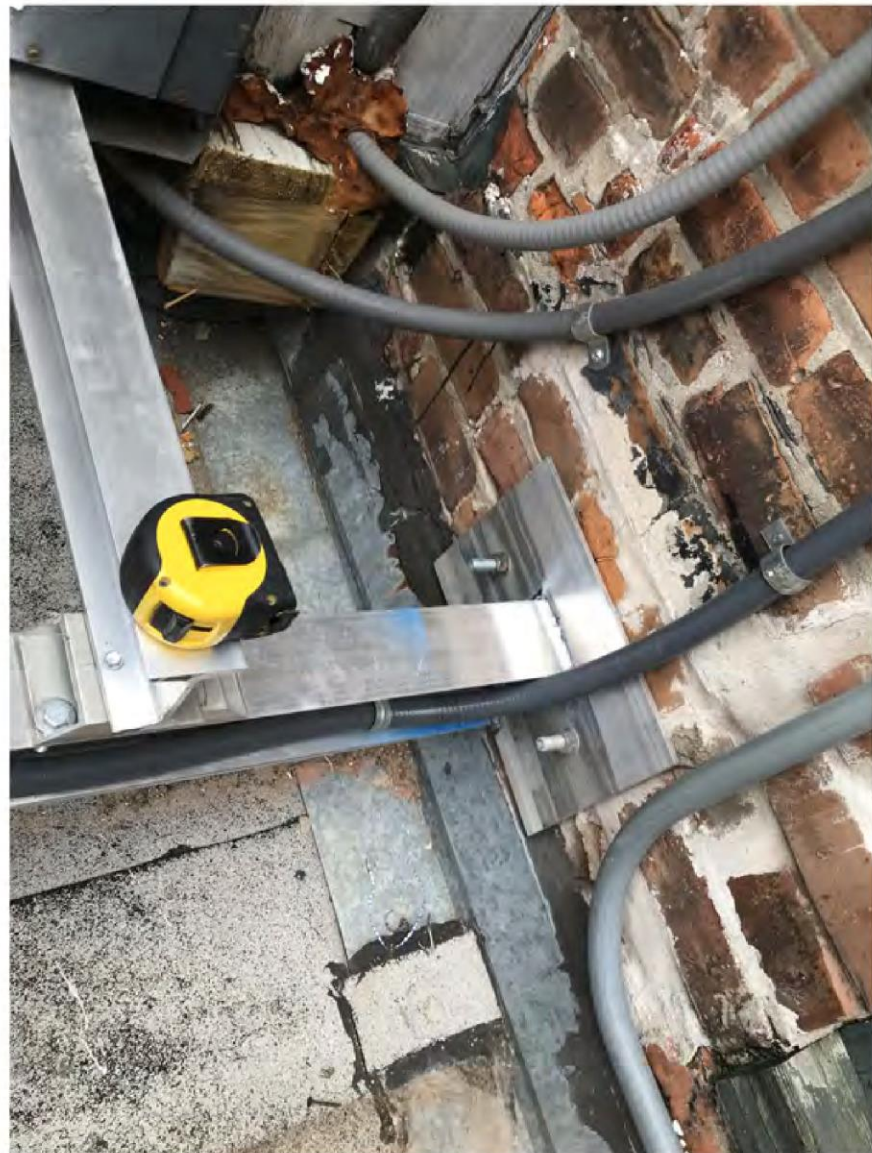
Column support at grade



Typical support beam connection at 2nd floor



typical support beam at wall of main building



typical support beam connection directly at masonry



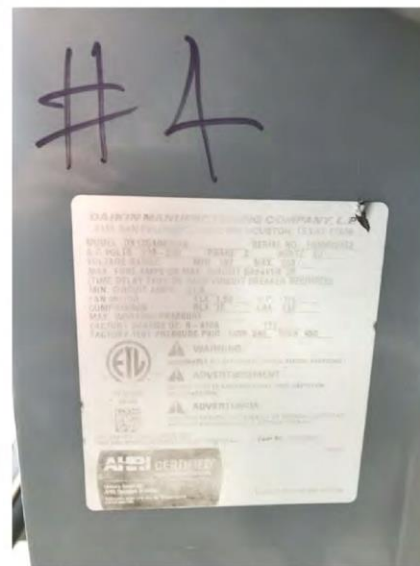
Condenser #1_No tag visible



Condenser #2



Condenser #3



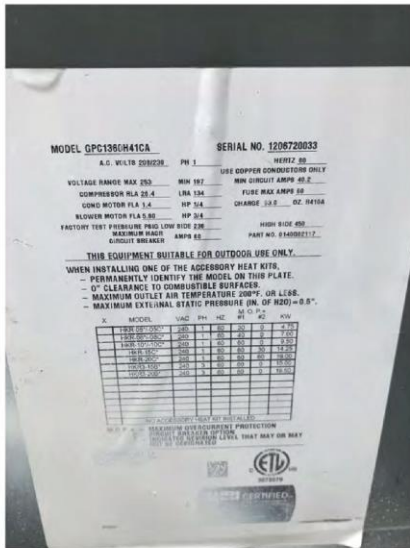
Condenser #4



Condenser #5



Condenser #6



Condenser #7



NEW MECHANICAL EQUIPMENT PLATFORM SCREENING 209 DECATUR STREET

Scope of Work

THE FOLLOWING NOTES ARE A RESULT OF A VISUAL SURVEY OF EXISTING FACADES AND CORRECTIVE WORK CITED IN VIOLATION OF VCC GUIDELINES. THE SPECIFIC NOTES SHOULD NOT BE CONSTRUED AS CONCLUSIVE. ADDITIONAL WORK MAY BE DETERMINED TO BE NECESSARY ONCE ADDITIONAL SURVEY WORK IS PERFORMED BY THE GENERAL CONTRACTOR REGARDLESS OF WHETHER INDICATED BY A SPECIFIC NOTE. ANY ADDITIONAL EXTERIOR WORK CONTEMPLATED THAT IS NOT SPECIFICALLY IDENTIFIED ON THESE VCC APPROVED DRAWINGS MUST BE REVIEWED AND APPROVED BY THE VCC PRIOR TO PERFORMING THE WORK. CONSTRUCT MECHANICAL SCREEN AT EXISTING MECHANICAL PLATFORM & RELOCATE NOTED CONDENSERS TO ALLOW MAINTENANCE ON UNITS.

Code Data

INTERNATIONAL BUILDING CODE (2021) WITH CITY OF NEW ORLEANS AMENDMENTS
INTERNATIONAL EXISTING BUILDING CODE
NFPA 101 LIFE SAFETY CODE (2015)
NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE
AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES, 2010 STANDARDS

Zoning Data

PROPERTY DESCRIPTION:
SQUARE 30
LOT 3
BOUNDED BY DECATUR STREET, IBERVILLE STREET, BIENVILLE STREET, AND CHARTRES STREET
PARCEL AREA= 2047 SQ. FT.
PARCEL DIMENSIONS= 23x99

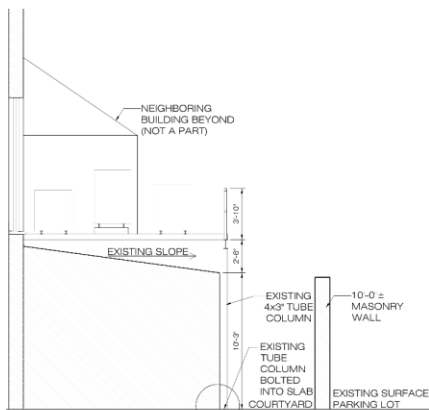
CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE



Vicinity Map
NO SCALE



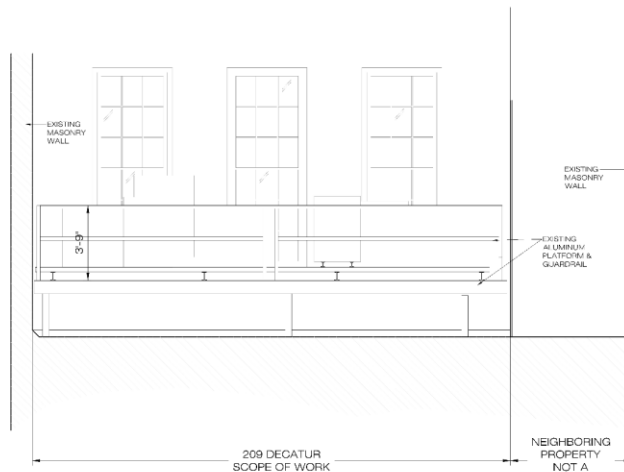
Existing Chartres Street Elevation



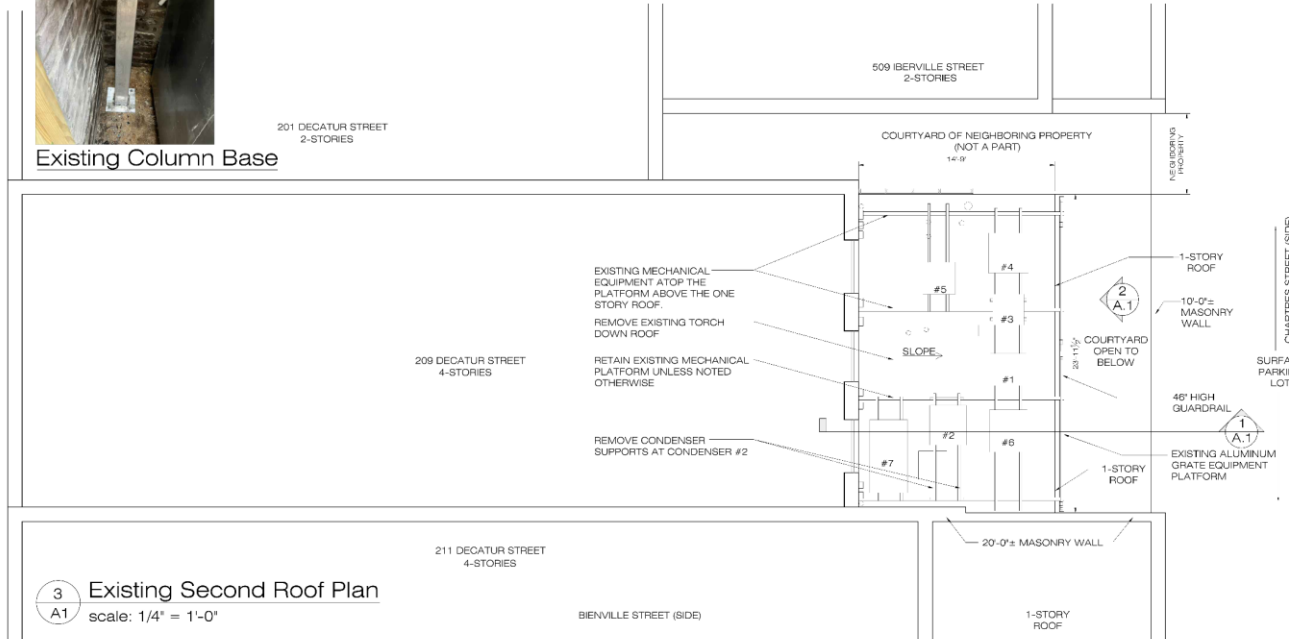
1 Existing Section of Platform
A1 scale: 3/8" = 1'-0"



Existing Column Base



2 Existing Platform Elevation
A1 scale: 3/8" = 1'-0"



3 Existing Second Roof Plan
A1 scale: 1/4" = 1'-0"

terrell-labacher
architects, l.l.c.



1009 south normal street, new orleans, louisiana 70125
504.586.8822

These plans and specifications have been prepared by me or under my direct supervision. They comply with all city requirements to the best of my knowledge and belief. I will be held responsible for any errors or omissions on these drawings.

NEW MECHANICAL
PLATFORM SCREENING
209 Decatur St.
NEW ORLEANS, LOUISIANA



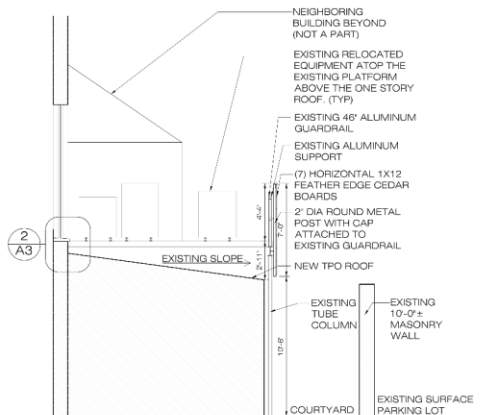
NO.	REVISIONS

CHECKED BY:
DRAWN BY:
DATE: 07/29/2024
JOB NO.:

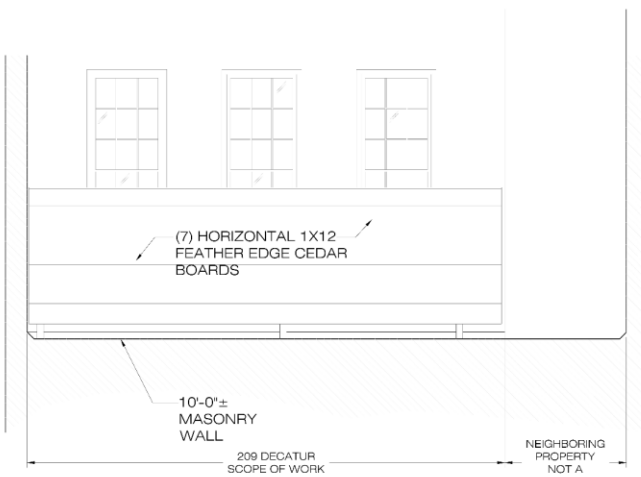
A-1
SHEET 1 OF 3



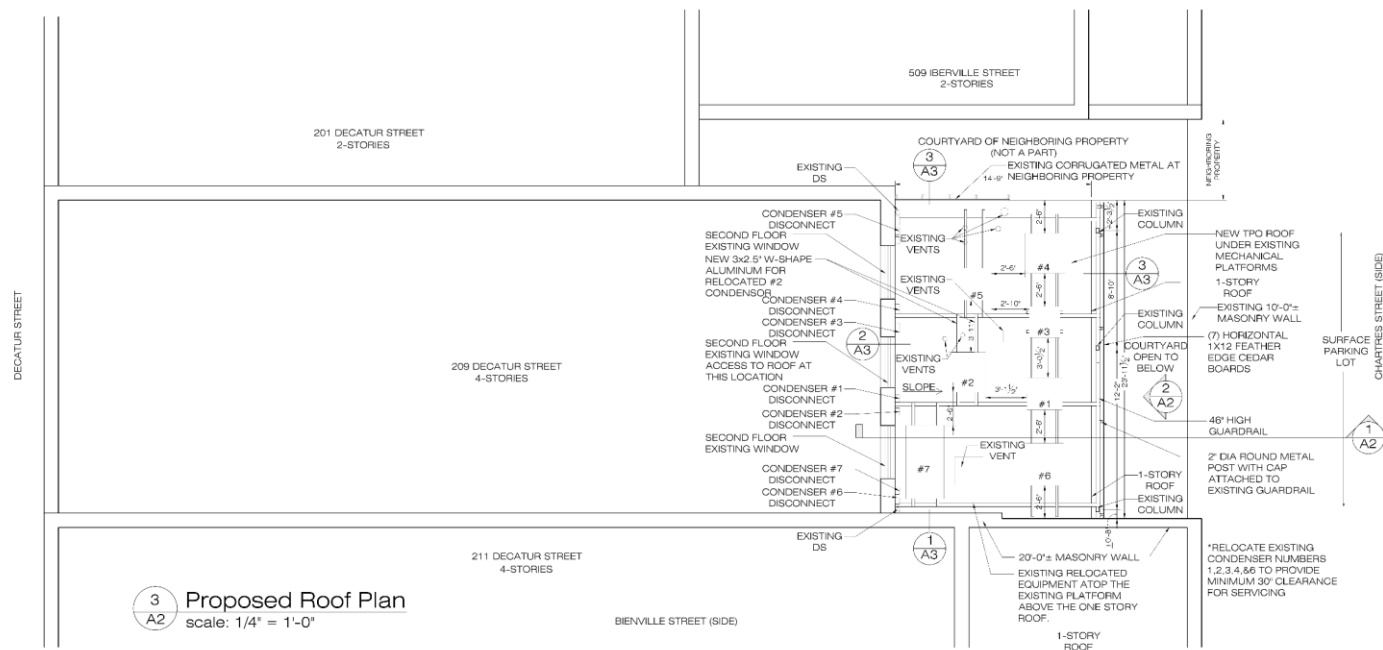
NEW MECHANICAL EQUIPMENT PLATFORM SCREENING
209 DECATUR STREET



1 Proposed Section of Platform
scale: 3/8" = 1'-0"



2 Proposed Platform Elevation
scale: 3/8" = 1'-0"



3 Proposed Roof Plan
scale: 1/4" = 1'-0"

terrell-labacher architects, l.l.c.
 1669 south roman e francis parkway, suite 241
 new orleans, louisiana 70125
 504.586.1828



These plans and specifications have been prepared by me or under my direct supervision. They comply with all city requirements to the best of my knowledge and belief. I will be held responsible in my professional capacity for review job programs.

NEW MECHANICAL PLATFORM SCREENING
 209 Decatur St.
 NEW ORLEANS, LOUISIANA



NO.	REVISIONS

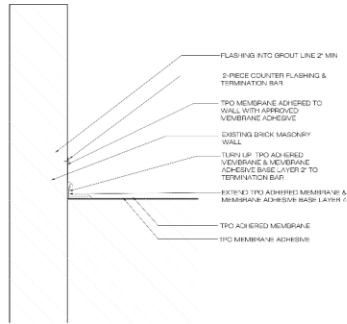
CHECKED BY: _____
 DRAWN BY: _____
 DATE: 07/29/2024
 JOB NO.: _____

A-2

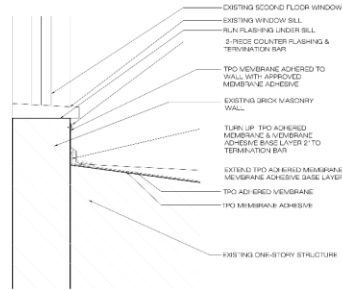
SHEET 2 OF 3



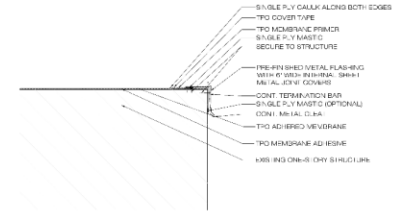
NEW MECHANICAL EQUIPMENT PLATFORM SCREENING
209 DECATUR STREET



1 TPO ROOF DETAIL AT MASONRY WALL
A3 scale: 1" = 1'-0"



2 TPO ROOF DETAIL AT WINDOW
A3 scale: 1" = 1'-0"



3 TPO ROOF DETAIL AT EDGE
A3 scale: 1" = 1'-0"



These plans and specifications have been prepared by me or my staff. They comply with all city requirements to the best of my knowledge and belief. I warrant that the project will conform to the stated program. I warrant to review the program.

NEW MECHANICAL PLATFORM SCREENING
209 Decatur St.
NEW ORLEANS, LOUISIANA



NO.	REVISIONS

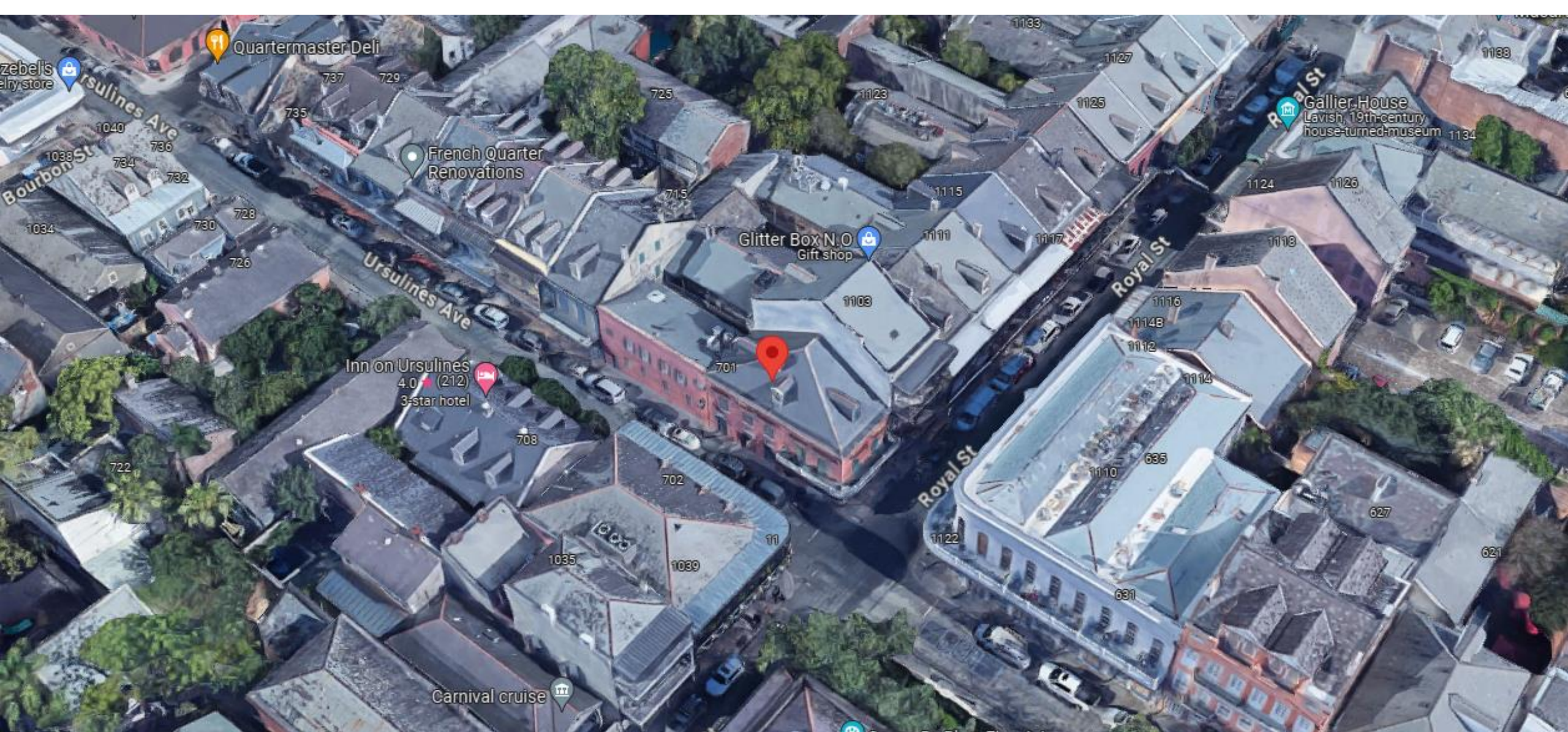
CHECKED BY:
DRAWN BY:
DATE: 07/29/2024
JOB NO.:

A-3
SHEET 3 OF 3





1101 Royal



1101 Royal

VCC Architectural Committee

August 27, 2024





1101 Royal, 1963

VCC Architectural Committee

August 27, 2024





1101 Royal, 1985

VCC Architectural Committee

August 27, 2024





1101 Royal, 1988

VCC Architectural Committee

August 27, 2024





1101 Royal, 2008

VCC Architectural Committee

August 27, 2024





1101 Royal, 2014

VCC Architectural Committee

August 27, 2024





1101 Royal

VCC Architectural Committee

August 27, 2024





1101 Royal

VCC Architectural Committee

03 16 2017

August 27, 2024





1101 Royal

VCC Architectural Committee

August 27, 2024





1101 Royal

VCC Architectural Committee

10 16 2023

August 27, 2024





1101 Royal

VCC Architectural Committee

10 23 2023

August 27, 2024





1101 Royal

VCC Architectural Committee

August 27, 2024





1101 Royal

VCC Architectural Committee

12 13 2023

August 27, 2024





PAINTING • REPAIRS
REMODELING • RENOVATION

August 6, 2024

Dear Nick Albrecht, Margurite Roberts and the VCC,

I am writing to inform you that as the contractor for the property address, I have successfully arranged for a structural engineer to inspect the stucco issue which has been a persistent concern for both the building, the VCC, and its owner, Mr. Kevin Tusa.

Following multiple corrective actions that we have undertaken to address various issues at the property, I am pleased to report that the structural engineer has completed a comprehensive inspection. I firmly believe that the findings from this inspection will provide a path toward resolving the stucco issue, thereby mitigating any impending violations that may be associated with it.

I must bring to your attention the delicate circumstances surrounding Mr. Tusa's health, which unfortunately is in a fragile state. Due to his health challenges and the property being currently listed for sale, it is imperative that we work swiftly and efficiently to address the outstanding concerns.

The cooperation extended by all parties involved thus far has been essential in reaching this stage of resolution, and I am optimistic that with the engineer's assessment, we can now move towards a satisfactory conclusion that benefits all involved. I kindly request your continued support and collaboration as we navigate the next steps to rectify the stucco issue and bring this matter to a close. Should you require any further information or assistance from my end, please do not hesitate to reach out. Thank you for your attention to this matter, and I look forward to a positive outcome that resolves the concerns at hand.

Warm Regards,

Rob Piper

504 250-4151

1101 Royal

VCC Architectural Committee

August 27, 2024





K CROCKETT DESIGNS, LLC
CIVIL/STRUCTURAL ENGINEERING
3430 Indiana St., New Orleans, LA 70114

PAINTING • REPAIRS
REMODELING • RENOVATION

August 2, 2024

1101 Royal St.
New Orleans, LA

RE: structural inspection

I have inspected the building located at the aforementioned address. The structure is a wood framed structure located in the Vieux Carre of New Orleans. The building is approximately 150 years old. The last major exterior renovation was completed approximately 11 years ago. The building is located at the intersection of Royal and Ursuline. The building has developed cracks in the stucco along the Ursuline St. side. This is due to settlement of the non-pile supported foundation over a long period of time. The cracking is not due to an inferior stucco or plaster job. The stucco is securely attached to the wall and shows no signs of delamination or breaking out. The stucco is not in danger of breaking off and falling to the ground below.

Please feel free to call me at 504 228 8571 if you have any further questions.

Sincerely,

Kennon Crockett



1101 Royal

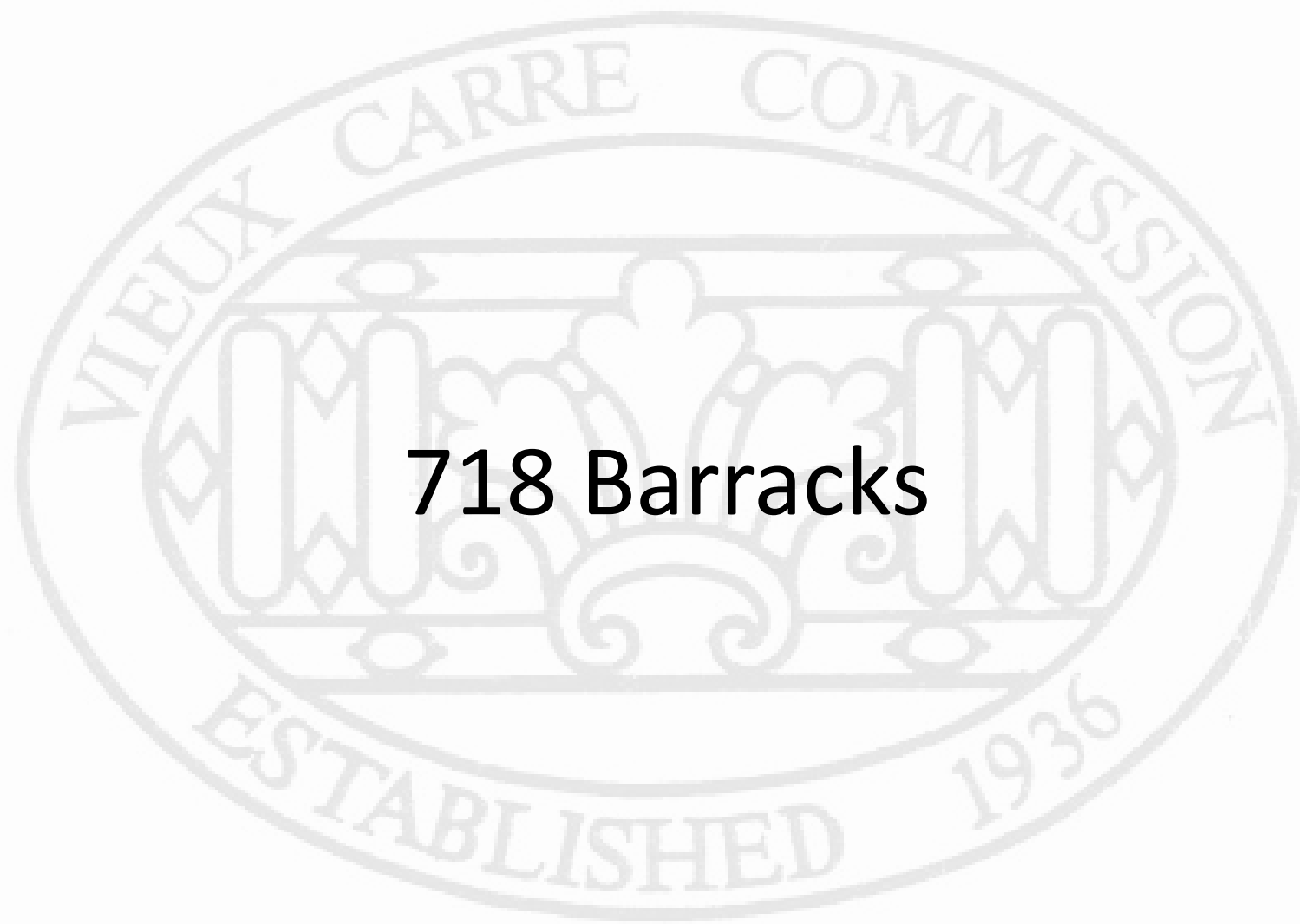
VCC Architectural Committee

August 27, 2024





906 Esplanade
(applicant requested deferral)



718 Barracks



718 Barracks

VCC Architectural Committee

August 27, 2024



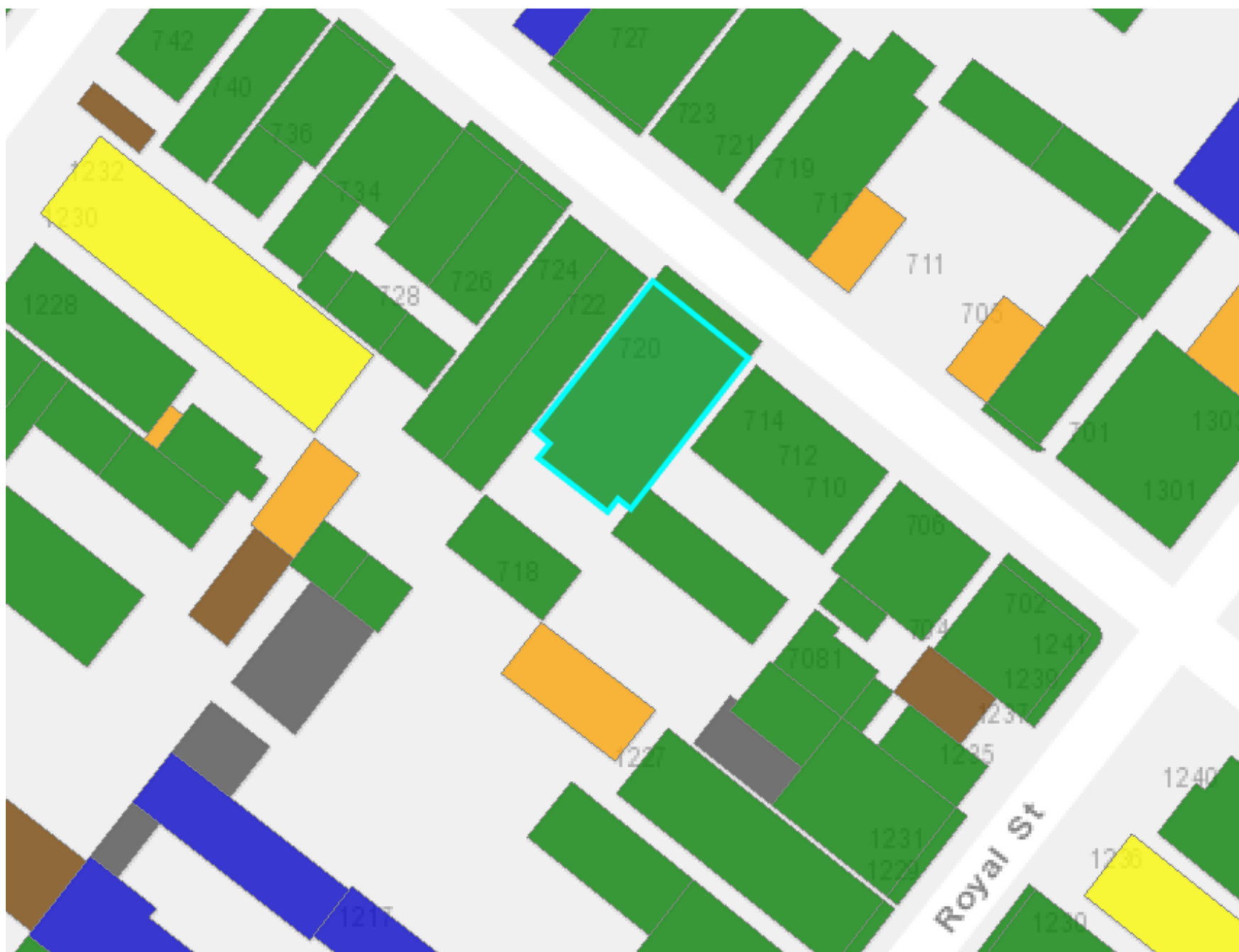


718 Barracks

VCC Architectural Committee

August 27, 2024





718 Barracks

VCC Architectural Committee

August 27, 2024





718 Barracks, 1964

VCC Architectural Committee

August 27, 2024





718 Barracks

VCC Architectural Committee

06 14 2021

August 27, 2024





718 Barracks

VCC Architectural Committee

August 27, 2024





718 Barracks

VCC Architectural Committee

04 11 2022

August 27, 2024





718 Barracks

Feb 2019 - Feb 2019 < image 1 of 2 > 02/08/2019

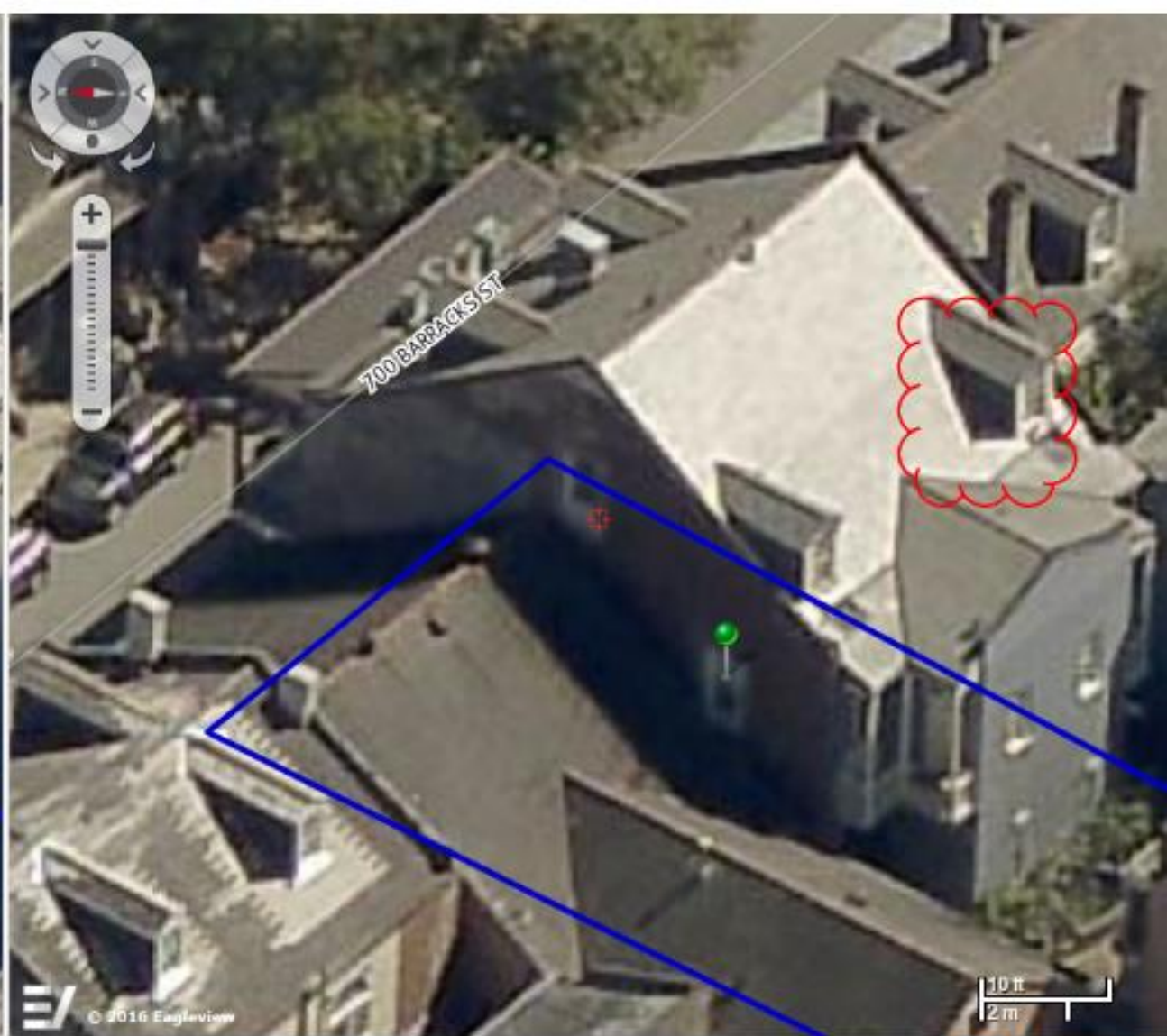
VCC Architectural Committee

August 27, 2024





map: Auto (Oblique) - Dates: Latest - < image 1 of 10 > 01/28/2023



map: Auto (Oblique) - Feb 2016 - Apr 2016 - < image 1 of 3 > 03/04/2016

718 Barracks

VCC Architectural Committee

August 27, 2024



GRAPHIC ROOF RENOVATION LEGEND

-  EXISTING ROOF AREA TO REMAIN
-  NEW ROOF AREA
-  PORTION OF ROOF AREA TO BE DEMOLISHED

CLARIFICATION OF REFERENCE DESIGNATIONS

- E15 NEW OUTDOOR AIR CONDITIONER UNIT.
- P12 EXISTING OUTDOOR AIR CONDITIONER UNITS.
- P13 REPLACE EXISTING HVAC PLATFORM IN-RIND.
- P14 NEW OUTDOOR AIR CONDITIONER UNIT.

GENERAL NOTES PERTAINING TO ROOF RENOVATION

1. REMOVE AND REPLACE ALL ROOF SHINGLES AND UNDERLAYMENT WITH NEW ASPHALT SHINGLES AND POLYPROPYLENE UNDERLAYMENT.
2. REPAIR DAMAGED ROOF SHEATHING LOCATIONS TO MATCH EXISTING.
3. AT 2:12 ROOF SLOPE PROVIDE MANUFACTURER'S RECOMMENDED SECONDARY WATERPROOFING / LEAK PROTECTION BENEATH SINGLES.

718 BARRACKS

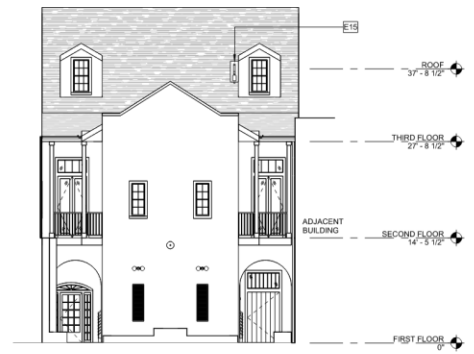
718 Barracks Street
New Orleans, LA 70116
SWDA PROJECT NO. | 23016
© Studio West Design & Architecture, LLC 2023

ISSUE DATE | 02 JULY 2024
OWNER REVIEW
REVISIONS

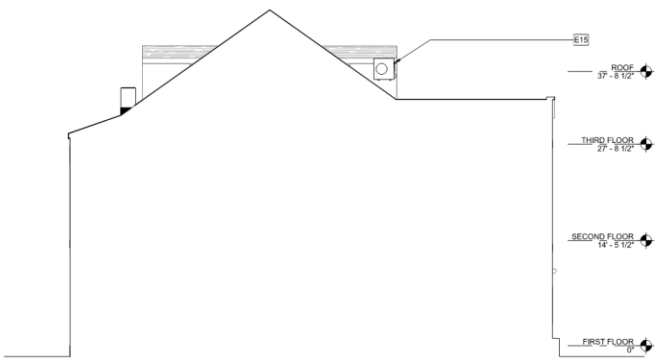
ROOF PLANS

A202

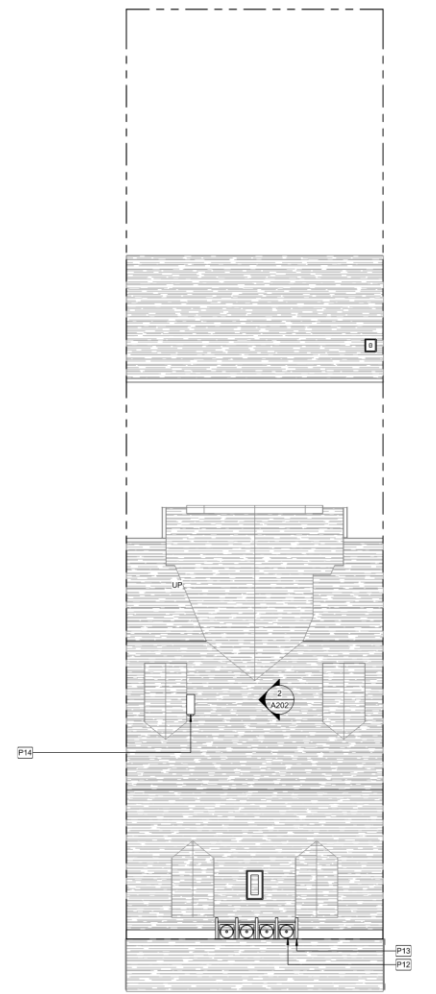
August 27, 2024



3 SOUTH EXTERIOR ELEVATION - MAIN HOUSE HVAC
1/8" = 1'-0"



2 WEST ELEVATION - HVAC
1/8" = 1'-0"

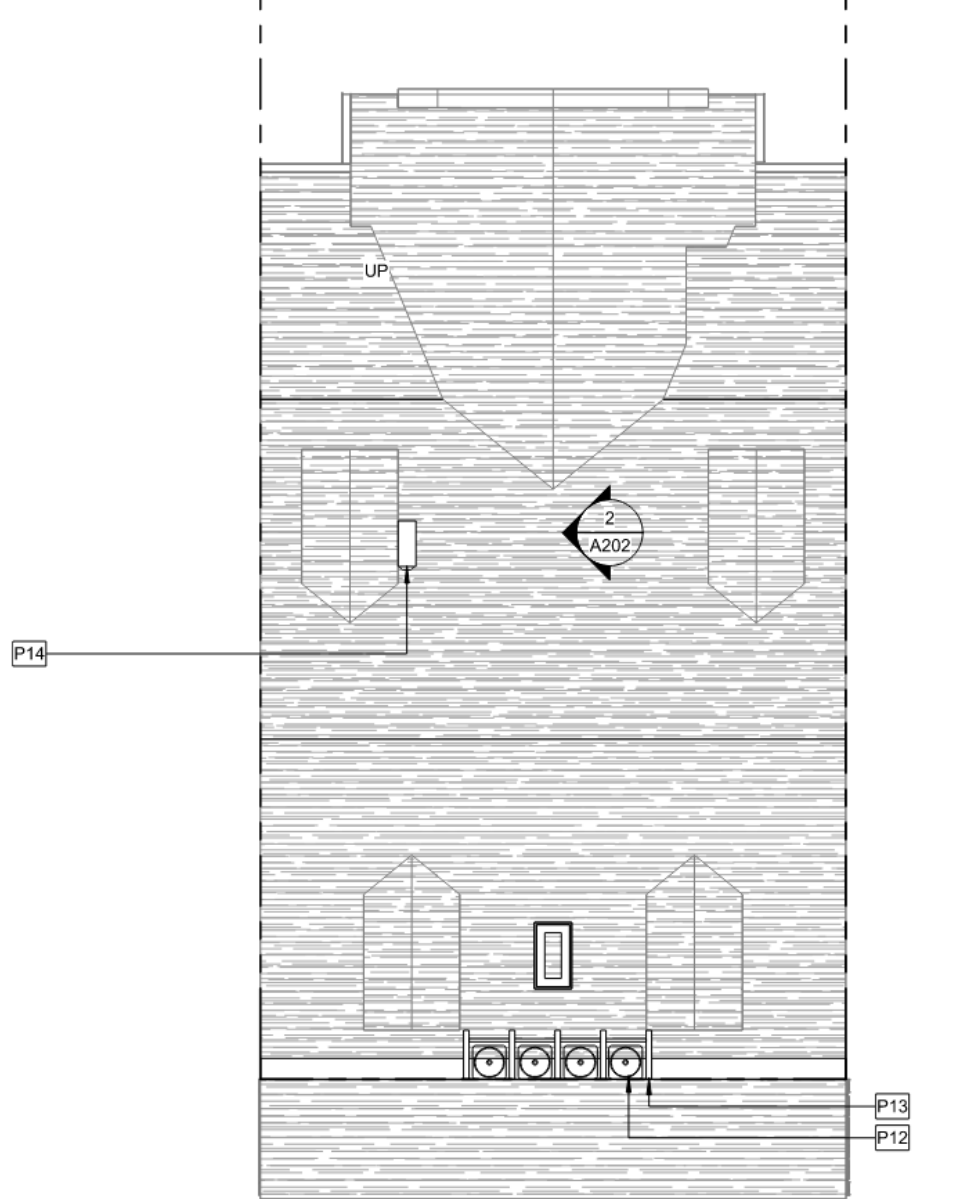


1 ROOF PLAN
1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION - MAIN HOUSE HVAC
A201/A202 1/8" = 1'-0"





1 ROOF PLAN
A202 1/8" = 1'-0"



NEW
MS(Y)Z-GE24NA
Wall-Mounted Indoor Unit

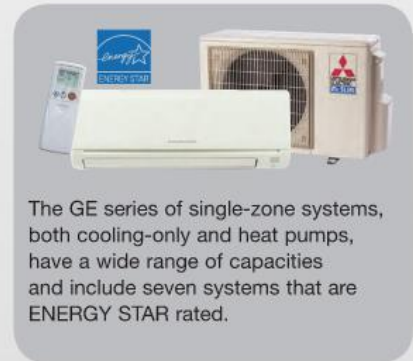


- INVERTER-driven compressor
- Pure-white glossy finish
- Quiet operation

The new MS(Y)Z-GE24NA improves on the previous model it replaces, the MS(Y)Z-GA24NA. With an increased SEER rating of 19.0 and improved HSPF of 10.0 for the MSZ heat pump these systems are eligible for the Federal tax credit and qualify for the ENERGY STAR® program.

In WIDE VANE mode the SWING setting on the MS(Y)Z-GE24NA can provide 150° of lateral airflow, and has options for seven horizontal airflow directions.

System includes Mitsubishi Electric's multi-part filter system featuring both a Nano Platinum filter and an Anti-allergy Enzyme filter to provide better indoor air quality. MSY/Z indoor units come standard with a wireless, handheld and remote controller. An optional wired wall-mounted controller is also available (requires MAC-397 adaptor).



The GE series of single-zone systems, both cooling-only and heat pumps, have a wide range of capacities and include seven systems that are ENERGY STAR rated.

