

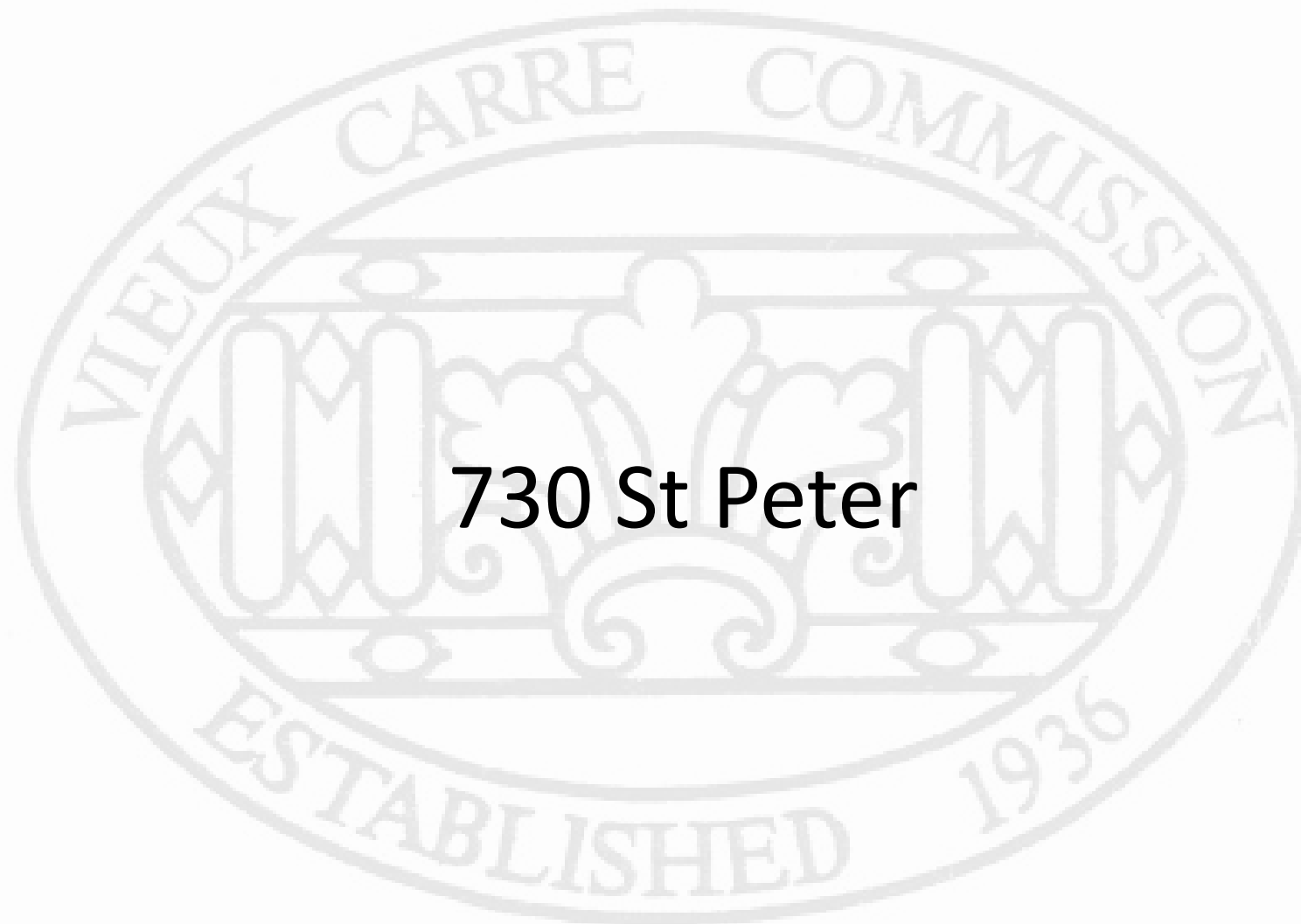


# Vieux Carré Commission Architecture Committee Meeting

Tuesday, December 16, 2025



# Old Business



730 St Peter



730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter – 1860 plan book

VCC Architectural Committee

December 16, 2025





730-732 St Peter – 1930s – 40s?

VCC Architectural Committee

December 16, 2025





730-732 St Peter – 1950s?

VCC Architectural Committee

December 16, 2025





730-732 St Peter – 1963

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





I am a descendent of a  
 Charlie Gabriel is a 4th genera-  
 with 3 generations under him. That  
 something to me. It's something I value. It's  
 something my parents valued. It's some-thing  
 Preservation Hall values and celebrates. And  
 just like the way I learned from the old-er  
 generations, that's what still happening  
 right here today.

Passing the torch of knowledge and tradition  
 to the next generation... That's what happens  
 here. Your continued support helps ensure  
 this thing we all love and cherish will live on  
 for others to enjoy and be inspired by.

-Ben Jaffe

Nov 19, 2025 3:17:27 PM

730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025



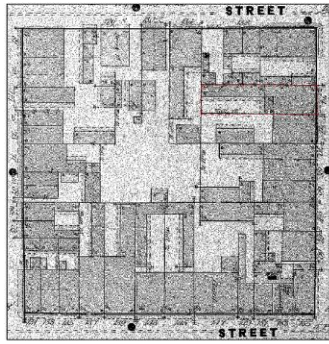


726 St Peter (conduit painted out)

VCC Architectural Committee

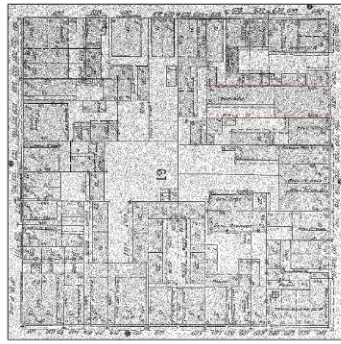
December 16, 2025





1876

SHOWS REAR BALCONY IN PROPOSED LOCATION @ 730



1896

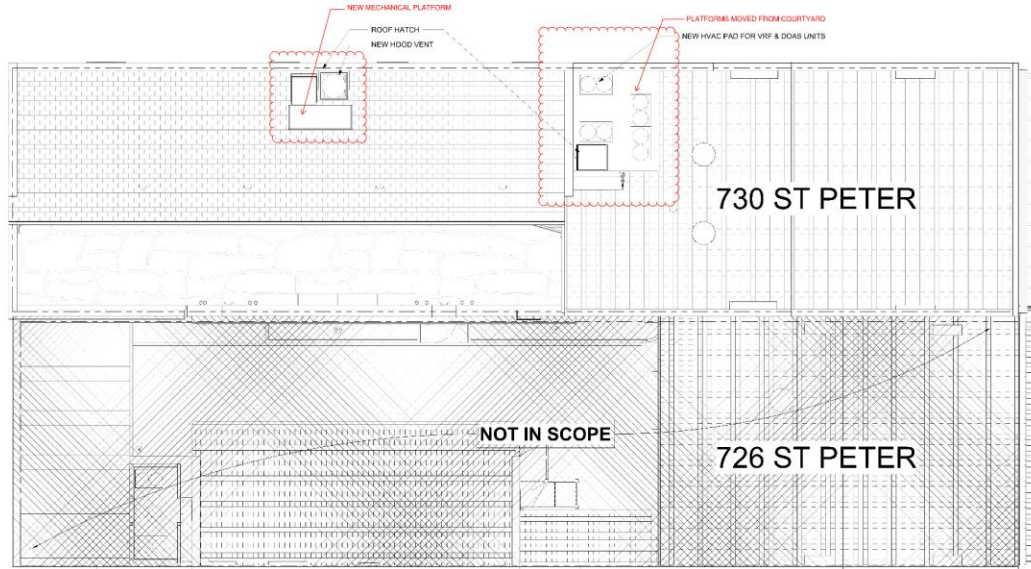
SHOWS BALCONY AND NEW BUILDING AT 726



1908

SHOWS REAR BALCONY IN OUR PROPOSED LOCATION AT 730

ALL SANDBORNE MAPS DATING FROM 1876 TO 1908 DO NOT INDICATE ANY BUILT STRUCTURES WITHIN THE COURTYARD OPEN AREA, SUCH AS CISTERNS OR FOUNTAINS, WHILE THE MAPS DO INDICATE PREVIOUS LOCATION OF BALCONY ON 2ND FLOOR OF 730



01  
A100 ARCHITECTURAL SITE PLAN  
3/16" = 1'-0"



**WILLIAMS ARCHITECTS**  
834 BARDONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0388  
WILLIAMSARCHITECTS.COM

We warrant our work shall be done in a professional and workmanlike manner and we shall use the skill and judgment of a duly-licensed professional architect in accordance with the applicable laws and regulations of the State of Louisiana.

This set of plans was prepared by the undersigned architect and is not to be construed as a contract unless accompanied by a written contract.

---

Location: 730 St. Peter Street, New Orleans, LA 70116

---

**RENOVATION - 730 ST. PETER ST**  
730 St. Peter St., New Orleans, LA 70116

---

LATEST REVISED SET FOR  
VCC PREVIEW - 10/17/25

No.	Date	Scope

---

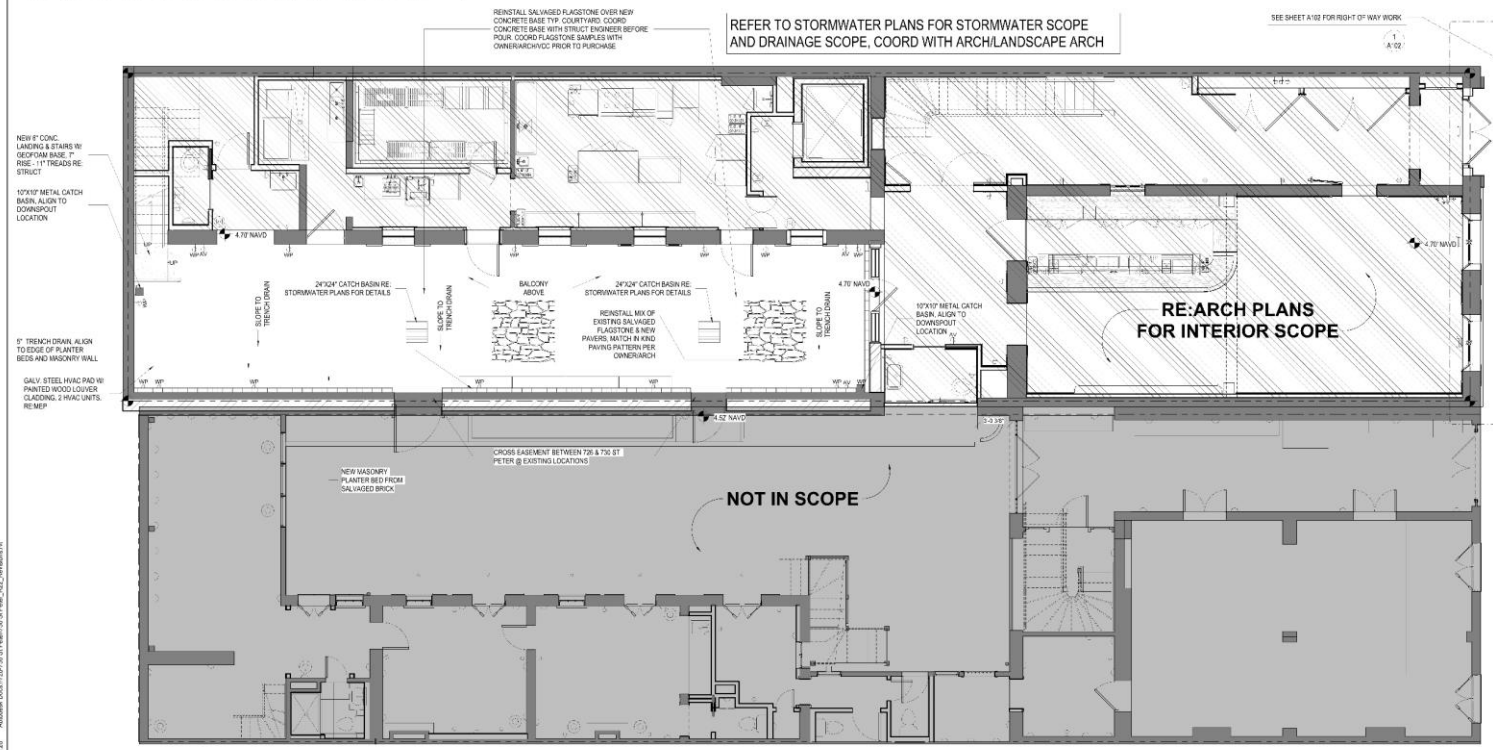
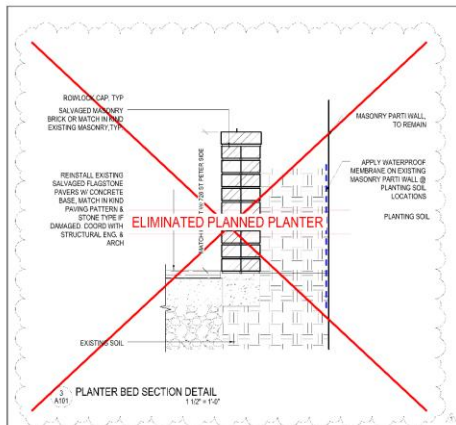
SITE PLAN

SVA  
3/16" = 1'-0"  
1/10/25  
04/08/25

---

**A100**





1 - PAVING PLAN - SITE PLAN  
1/4" = 1'-0"

**WILLIAMS ARCHITECTS**  
824 BARCONE STREET  
NEW ORLEANS, LA 70115  
504-566-0888  
WILLIAMSARCHITECTS.COM

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Architect: Williams Architects, LLC

**RENOVATION - 730 ST. PETER ST**  
730 St. Peter St, New Orleans, LA 70116

LATEST REVISED SET FOR  
VCC REVIEW - 151725

No.	Date	Scope
1	3/15/2025	CONFERMED REVISION

PAVING PLAN

WA	SA
As Issued	5/16/21 02
	09/08/2025

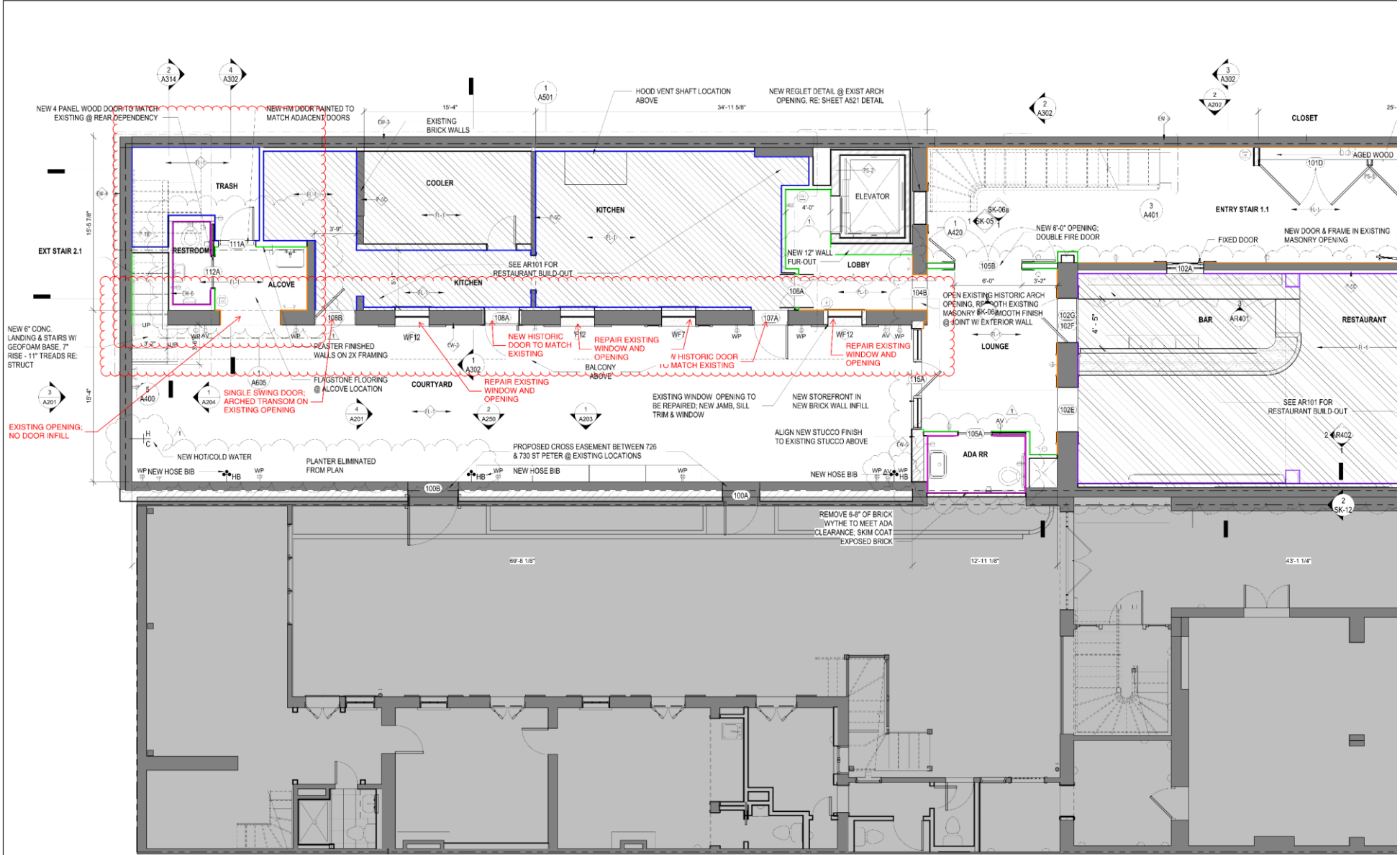
**A101**

730-732 St Peter

VCC Architectural Committee

December 16, 2025





01 FIRST FLOOR PLAN  
 1/8" = 1'-0"

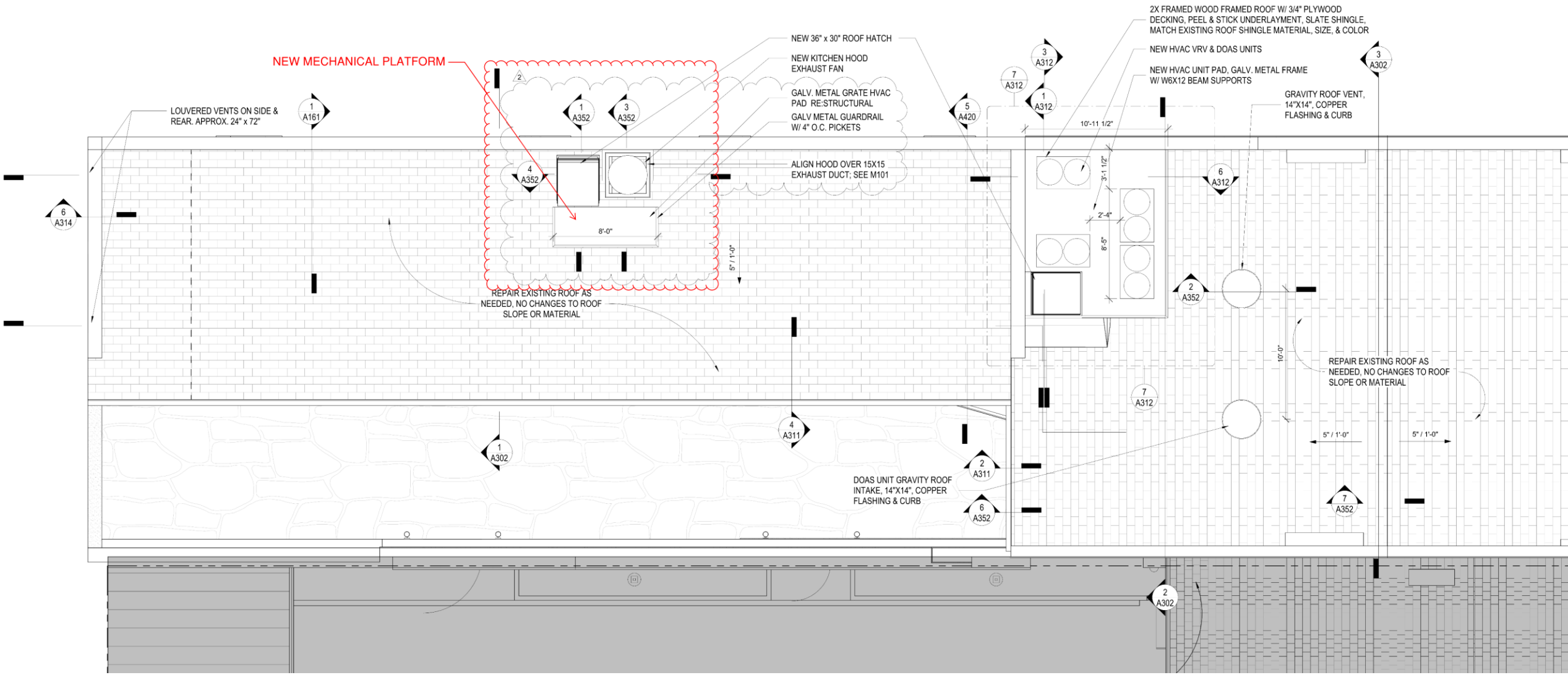
730-732 St Peter

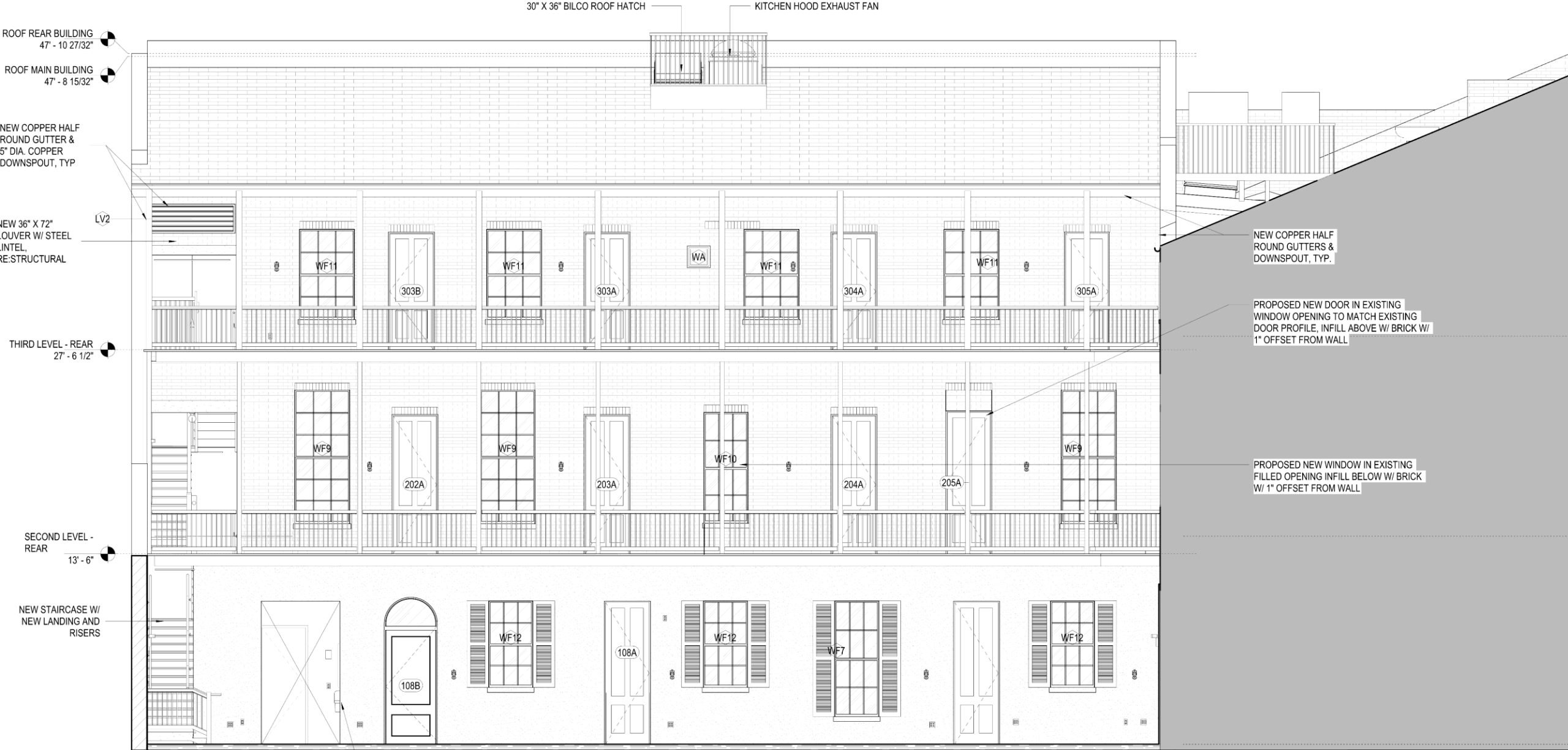
VCC Architectural Committee

December 16, 2025









730-732 St Peter

VCC Architectural Committee

December 16, 2025





730-732 St Peter

VCC Architectural Committee

December 16, 2025





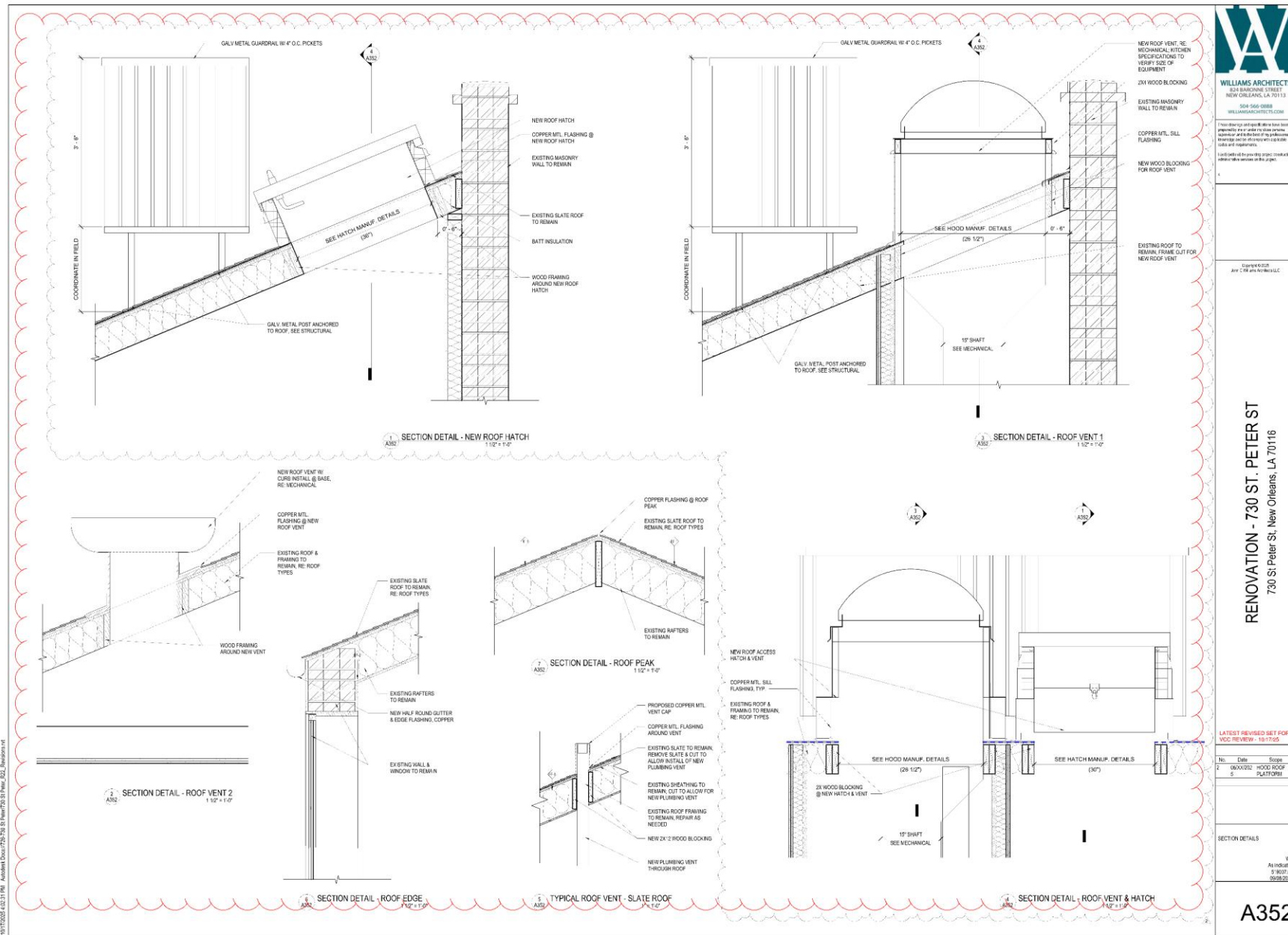
730-732 St Peter

VCC Architectural Committee

December 16, 2025







**WILLIAMS ARCHITECTS**  
824 BARRINGER STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM

I have the right and legal title to have been prepared and to be the author of the professional drawings and specifications herein and to the same and to the full and exclusive use of the same for the project.

OWNER: PETER ST. PETER ST. ARCHITECTS, LLC  
300 P. ST. NEW ORLEANS, LA 70116

**RENOVATION - 730 ST. PETER ST**  
730 St. Peter St., New Orleans, LA 70116

LATEST REVISED SET FOR VCC REVIEW - 10/17/25

No.	Date	Scope
2	10/17/25	WOOD ROOF PLATFORM

SECTION DETAILS  
VA As indicated 10/17/25 09:08:25Z

**A352**

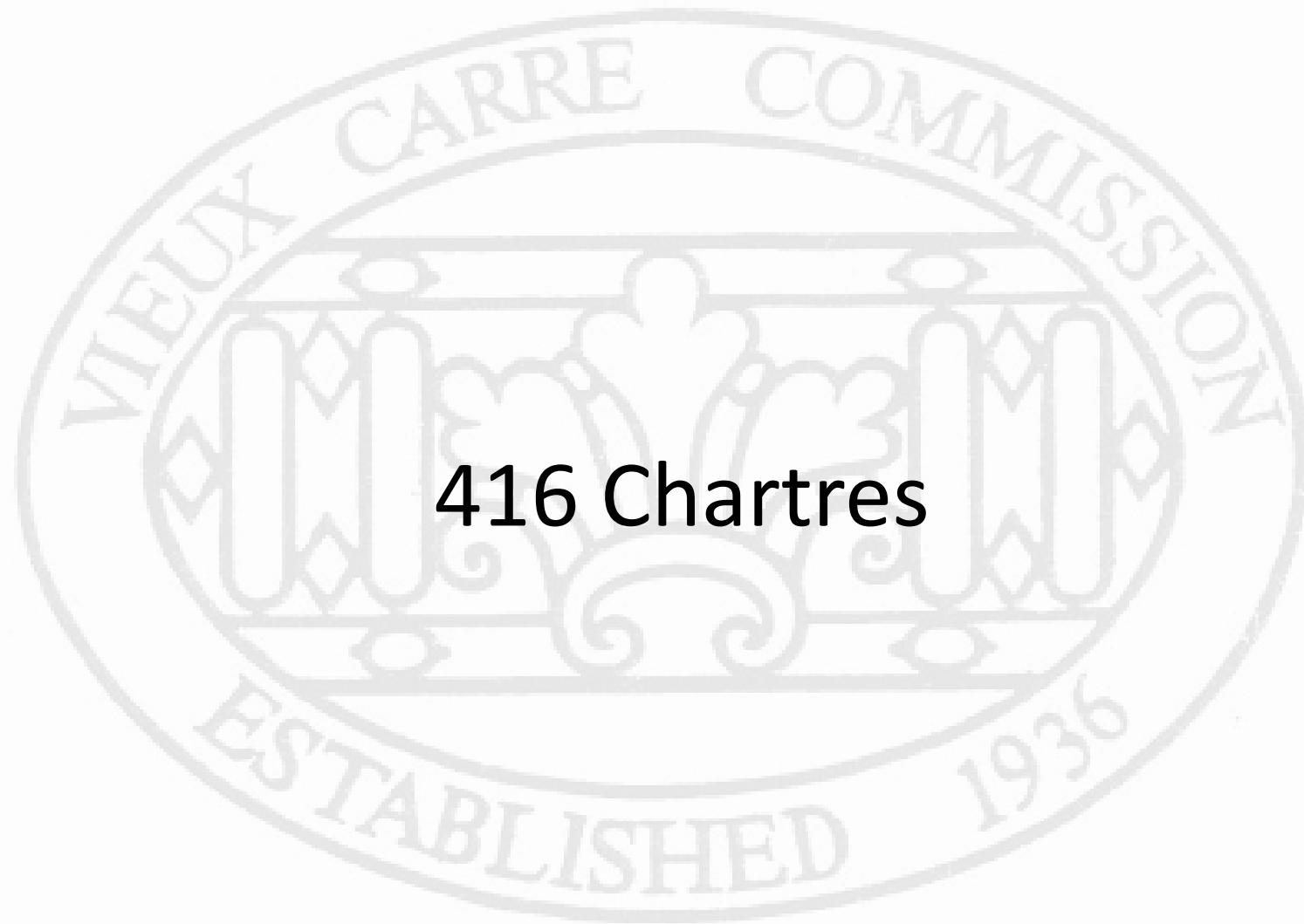
730-732 St Peter

VCC Architectural Committee

December 16, 2025







# 416 Chartres



416 Chartres





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

VCC Architectural Committee

December 16, 2025





416 Chartres

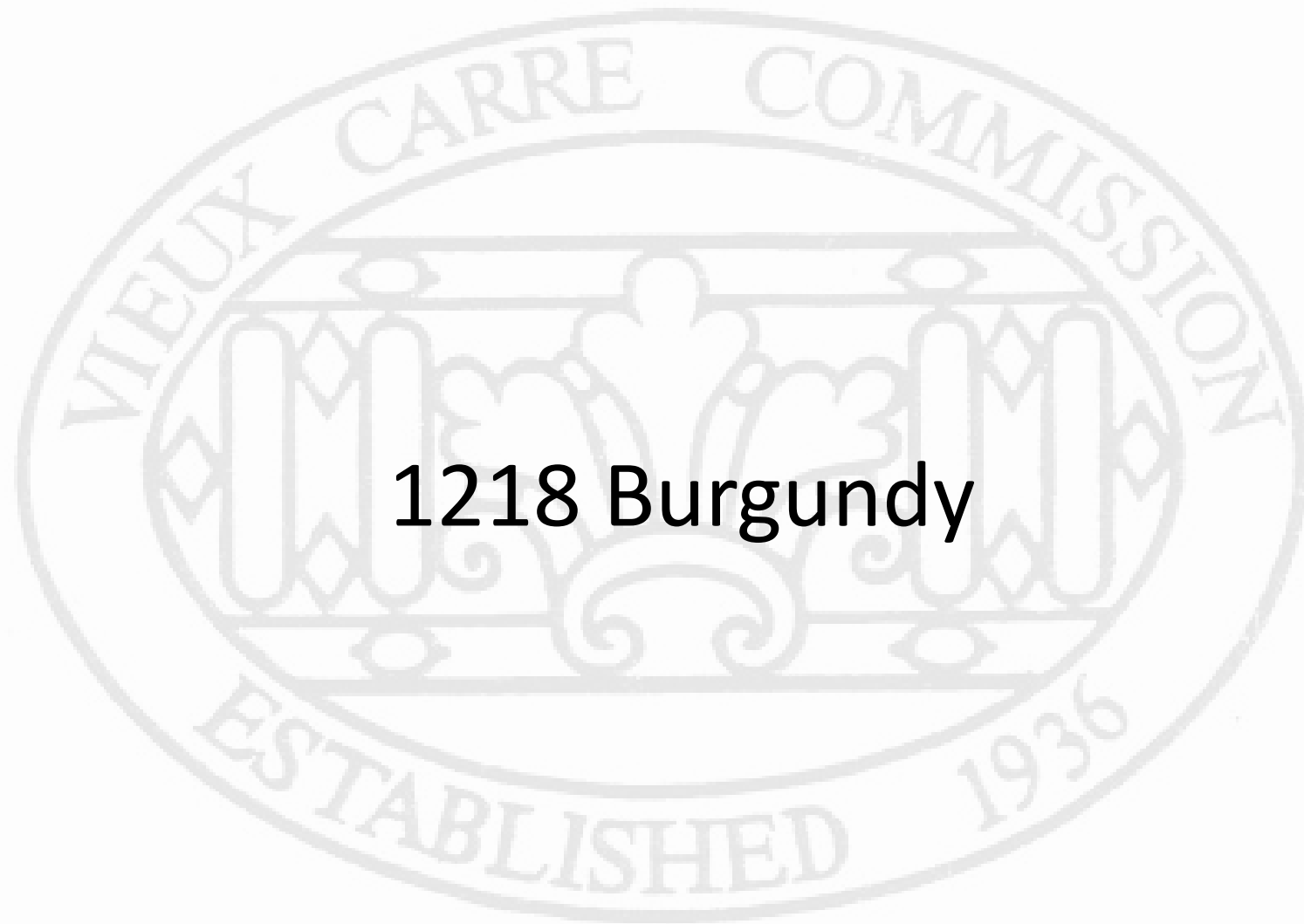
VCC Architectural Committee

December 16, 2025





# New Business



**1218 Burgundy**



1218 Burgundy

VCC Architectural Committee

December 16, 2025





1218 Burgundy

VCC Architectural Committee

December 16, 2025





1218 Burgundy

VCC Architectural Committee

December 16, 2025





1218 Burgundy

VCC Architectural Committee

December 16, 2025





1218 Burgundy

VCC Architectural Committee

December 16, 2025





1218 Burgundy

## Médard Nelson Home & School

In defiance of Jim Crow laws, Médard Nelson, an educator born a free person of color, established in his home the only integrated school in Louisiana after Reconstruction. 1887-1933

\*National Register of Historic Places, 2021\*

Known also as the LaRionda-Correjolles house for Antonio LaRionda who built this Creole cottage in 1810 and for the architect François Correjolles who lived here from 1829 to 1887.

In 1939, it became part of the Cabrini playground, a WPA project, and known as the Doll House for its doll collection.

After years of neglect, it was restored in 2007 by attorney John Reed and writer Jon Kemp.

Vieux Carré Commission Certificate of Honor,  
2012

12x18, east

1218 Burgundy

VCC Architectural Committee

December 16, 2025





**ED. SMITH'S STENCILWORKS**  
EST. 1867

SIGNS-STAMPS-STENCILS-SEALS  
METAL, PLASTIC & VINYL  
ETCHING & ENGRAVING  
DECALS, PLAQUES, AWARDS

4315 BIENVILLE ST. NEW ORLEANS, LA 70119  
504.525.2128 - 504.525.2157(FX)  
www.edsmiths.net



# ESTIMATE

<b>DATE</b>	<b>Estimate #</b>
4/25/2025	14499
5/20/2025	

**FOR CUSTOMER:**

John Reed  
jwreed@bellsouth.net

**Ship To**

John Reed  
jwreed@bellsouth.net

Account #	COD	RFQ #	Terms	Rep
		walk in 4/25	Pay When Invo...	CMC

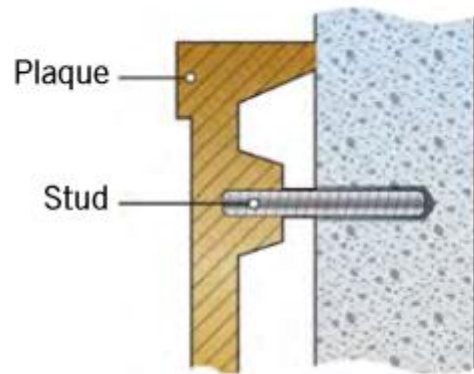
Qty	Description	Price	Total
1	ESSW-6288 10 x 16" Satin Cast Bronze Plaque, Leatherette Texture Background, Dark Oxide Stain Background Color, Diamond Shield Protective Coating, Single Line Border, Concealed Stud Mount.  see proof	1,189.00	1,189.00T
Installation not available			

1218 Burgundy

VCC Architectural Committee

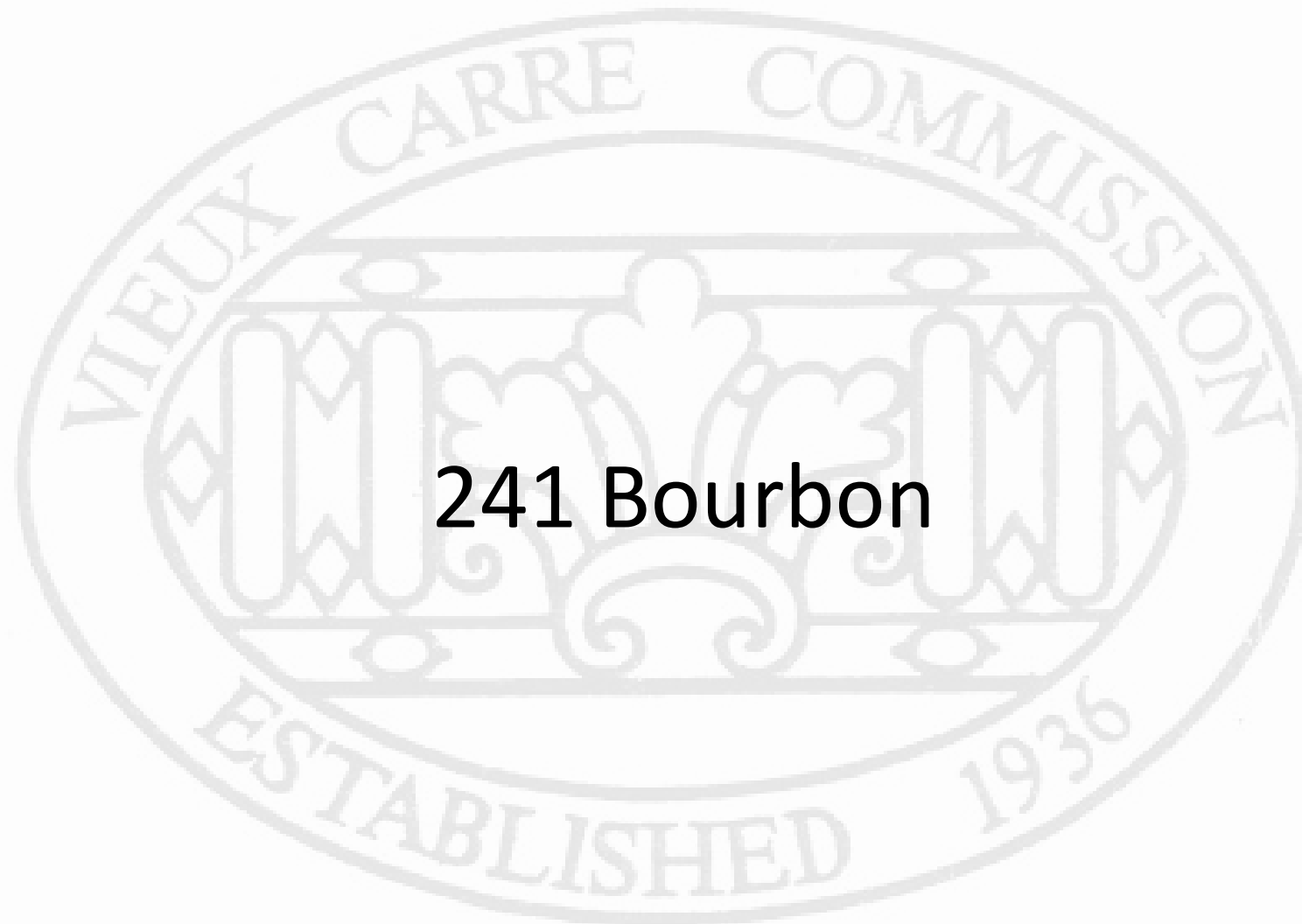
December 16, 2025



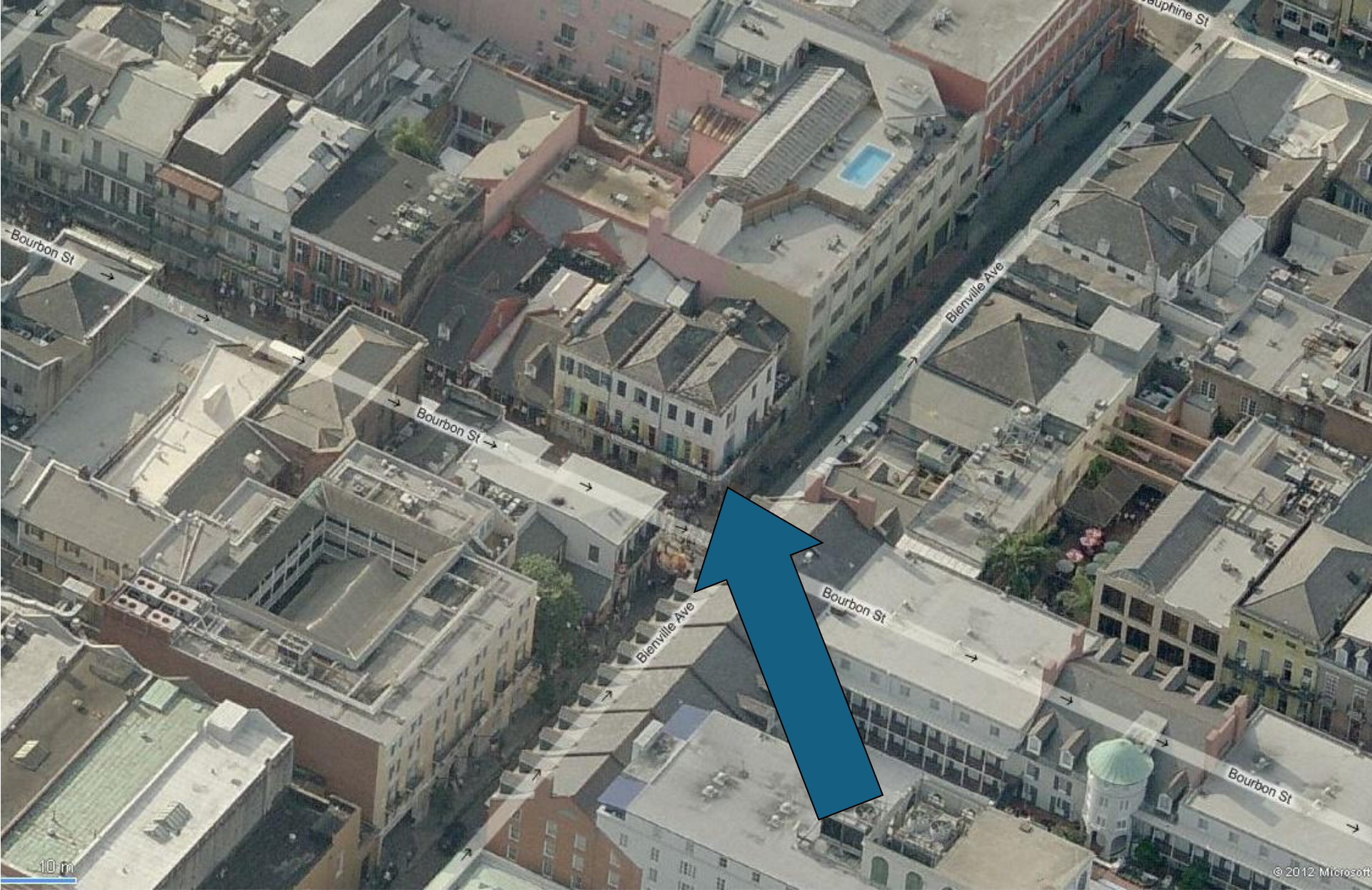


### Stud Mount ☆

Recommended for concealed mounting on brick or masonry walls.



**241 Bourbon**



235-41 Bourbon  
VCC Architectural Committee

December 16, 2025





235-41 Bourbon - 1963  
VCC Architectural Committee

December 16, 2025





235-41 Bourbon - 1965  
VCC Architectural Committee

December 16, 2025





235-41 Bourbon - 2008  
VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon - 2009  
VCC Architectural Committee

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235-41 Bourbon - 2010

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235-41 Bourbon – 2010 Repairs in Progress

VCC Architectural Committee

December 16, 2025





235-41 Bourbon – 2011

VCC Architectural Committee

December 16, 2025





235-41 Bourbon – 2013

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

10 08 2025

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

10 08 2025

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

10 08 2025

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

11 18 2025

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

11 18 2025

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

11 18 2025

December 16, 2025



235-41 Bourbon

VCC Architectural Committee



11 18 2025

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

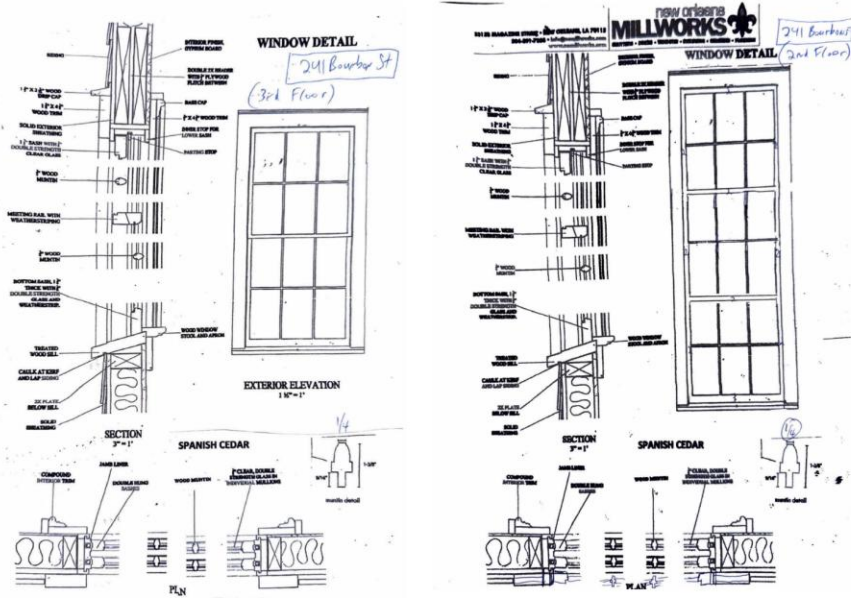
11 18 2025

December 16, 2025





REMOVE EXISTING FALSE WINDOW AND REPLACE WITH HISTORICALLY ACCURATE SINGLE WINDOW



GENERAL NOTE - EXTERIOR ELEVATIONS:  
 REPLACE ALL DAMAGED, EXISTING WINDOWS EXACTLY IN KIND.



VCC NORTH ELEVATION - BIENVILLE ST. (2)  
 1/8" = 1'-0"



VCC EAST ELEVATION - BOURBON ST. (2)  
 1/8" = 1'-0"



**WILLIAMS ARCHITECTS**  
 524 BROADWAY STREET  
 NEW ORLEANS, LA 70113  
 504-566-0888  
 WILLIAMSARCHITECTS.COM

These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.  
 I will not hold me or my firm responsible for providing project construction administration services on this project.

Copyright © 2024  
 JWP © Williams Architects LLC

CONSTRUCTION DOCUMENTS  
 235, 237, 239, 241 Bourbon St, New Orleans, LA  
 70112

-REVISIONS-

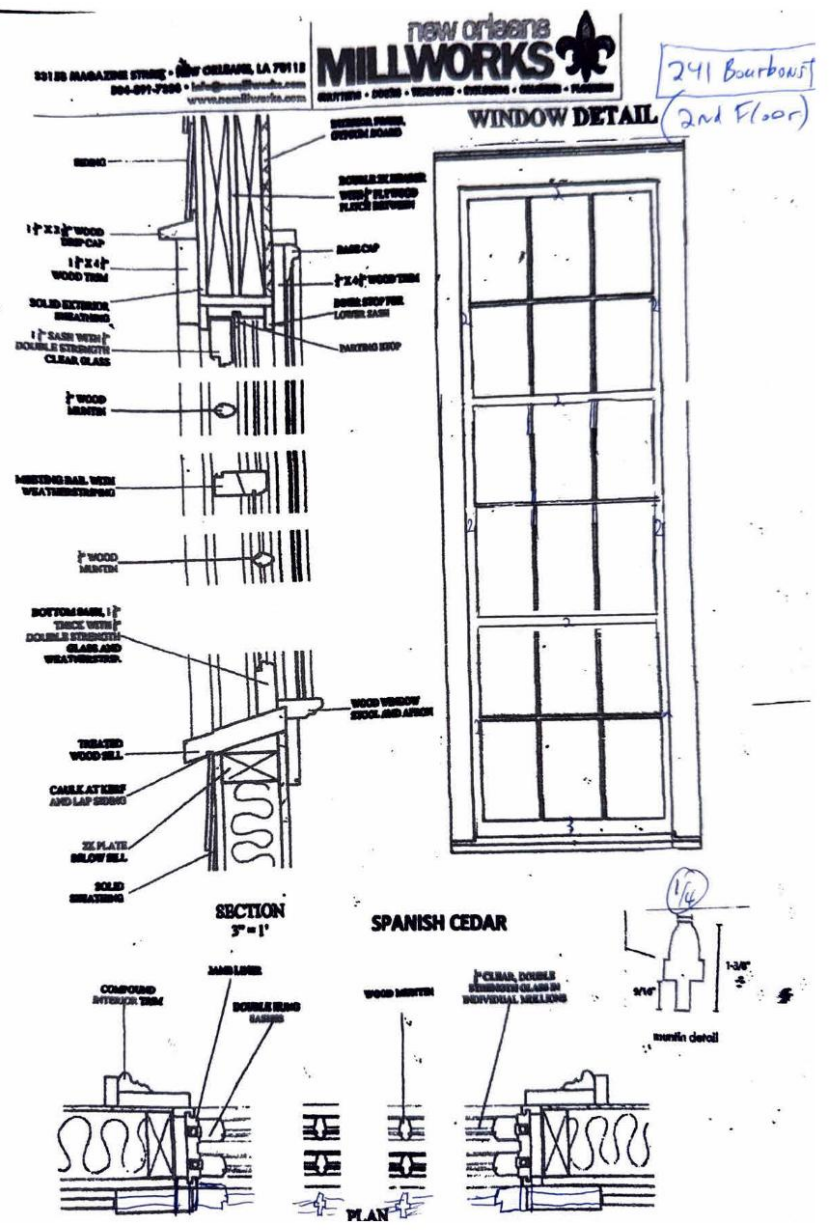
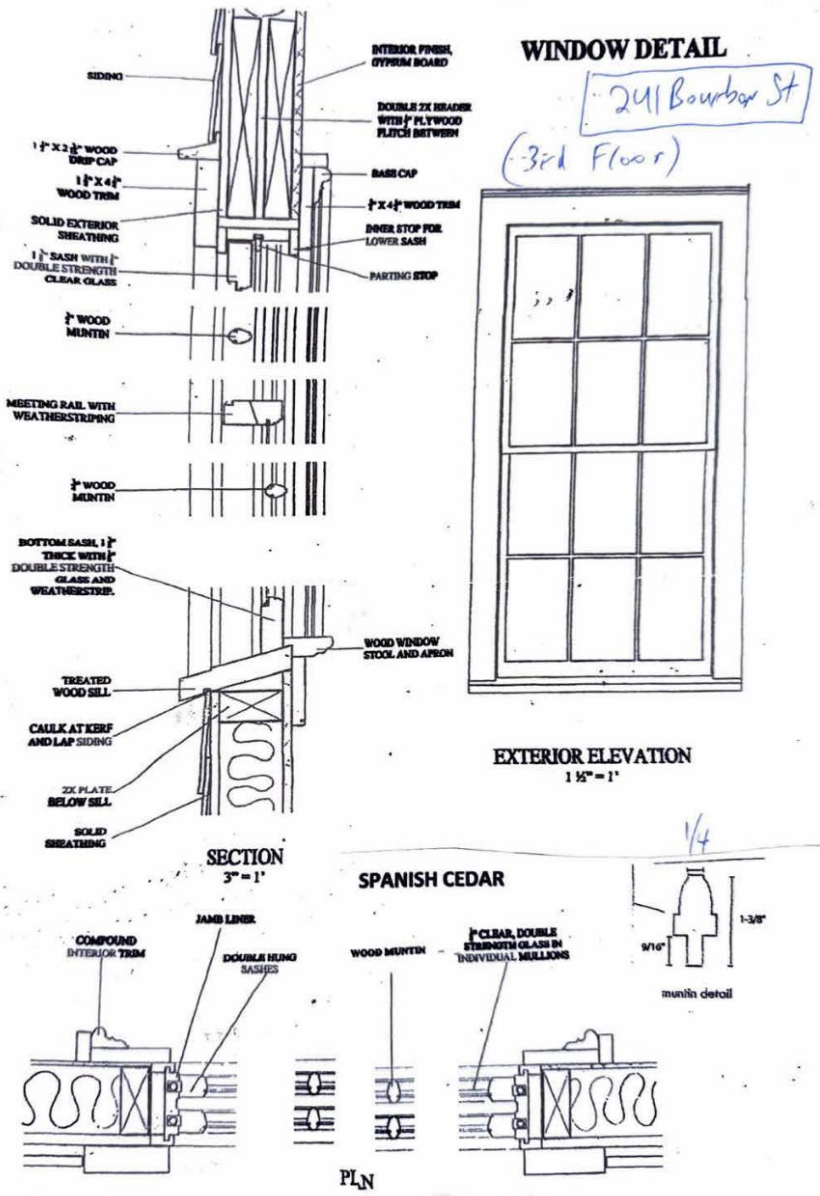
No.	Date	Scope
21	12/22/2025	VCC - NEW WINDOWS

DRAWING  
 BOURBON ST FACADE  
 REVISIONS

DRAWING BY: ML  
 SCALE: 1/8" = 1'-0"  
 JOB No.: 520716  
 DATE: 12/22/2025  
 Sheet No.:

11.6





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





To Whom it May Concern,

Upon evaluation of the (12) second story walk thru windows at 241 Bourbon; we found all jambs are cut 3 inches short and have rot at the terminal ends. Most stops between sashes are pieced in where 1 stop should run the entire height of the window. Many stops that exist are rotten or missing. The exterior casing / brick molding is full of bondo filler and malformed. Many sections are only bondo shaped poorly to look like the wood which preexisted.

The sashes are in poor condition. Many of them are racked and few are square so function is limited by the sashes. All sashes need new glazing, and many have broken glass. Some sashes have broken and rotten rails, especially at the bottom.

Finally, the alignment of the 3 sashes in each opening do not line up horizontally with the window to the left or right of it. Some sashes are not square in the jamb and therefore align only at an angle.

It is my professional opinion that these 12 units should be replaced with new matching units made with Spanish cedar, appropriate glass, and all glazed with appropriate glazing.

Thank you,

Scott Taranto

Owner New Orleans Millworks

(404) 441-4607

**New Orleans Millworks**  
**3315B Magazine Street**  
**New Orleans, LA 70115**  
**504.891.7338 (Office)**

[www.nomillworks.com](http://www.nomillworks.com)

[nolamillworks@gmail.com](mailto:nolamillworks@gmail.com)

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235-41 Bourbon

VCC Architectural Committee

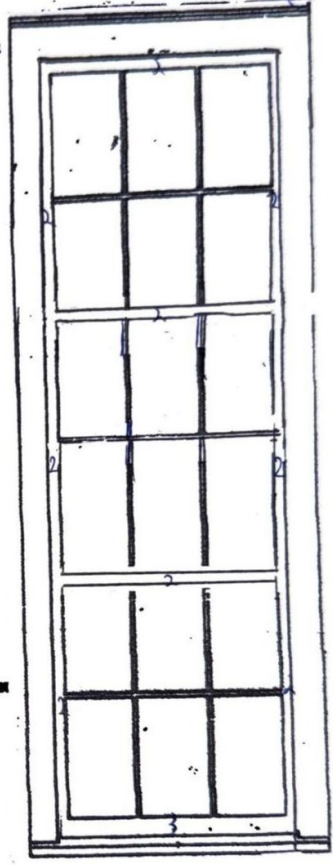
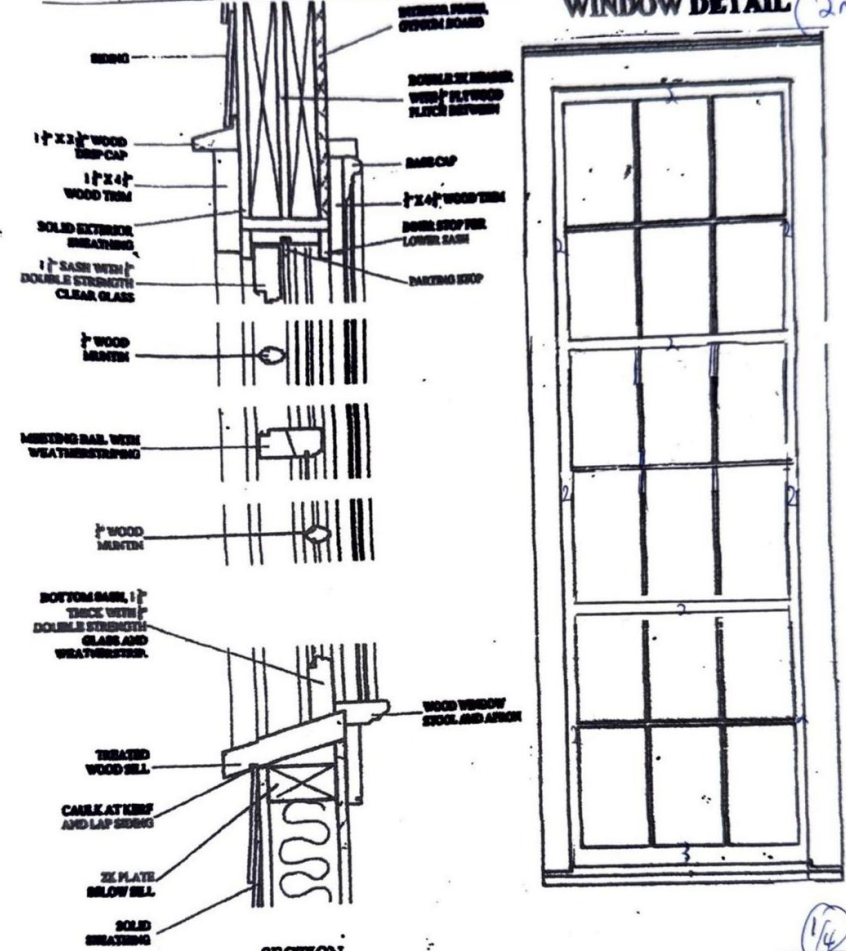
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December 16, 2025



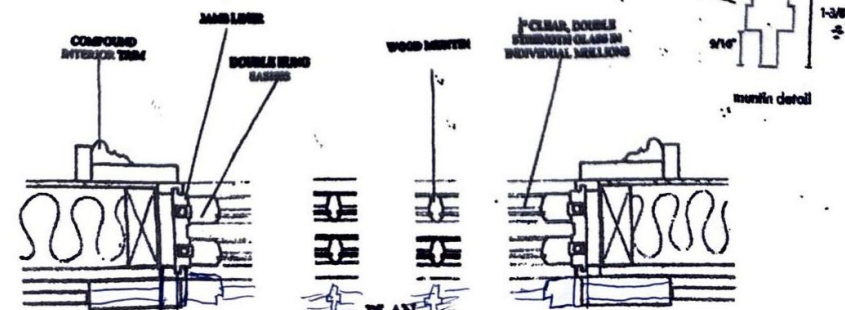
241 Bourbon  
 (2nd Floor)

WINDOW DETAIL



SECTION  
 3" = 1"

SPANISH CEDAR



PLAN





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

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December 16, 2025





235-41 Bourbon

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December 16, 2025





235-41 Bourbon

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December 16, 2025





235-41 Bourbon

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December 16, 2025





235-41 Bourbon

VCC Architectural Committee

December 16, 2025





235-41 Bourbon

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December 16, 2025





235-41 Bourbon

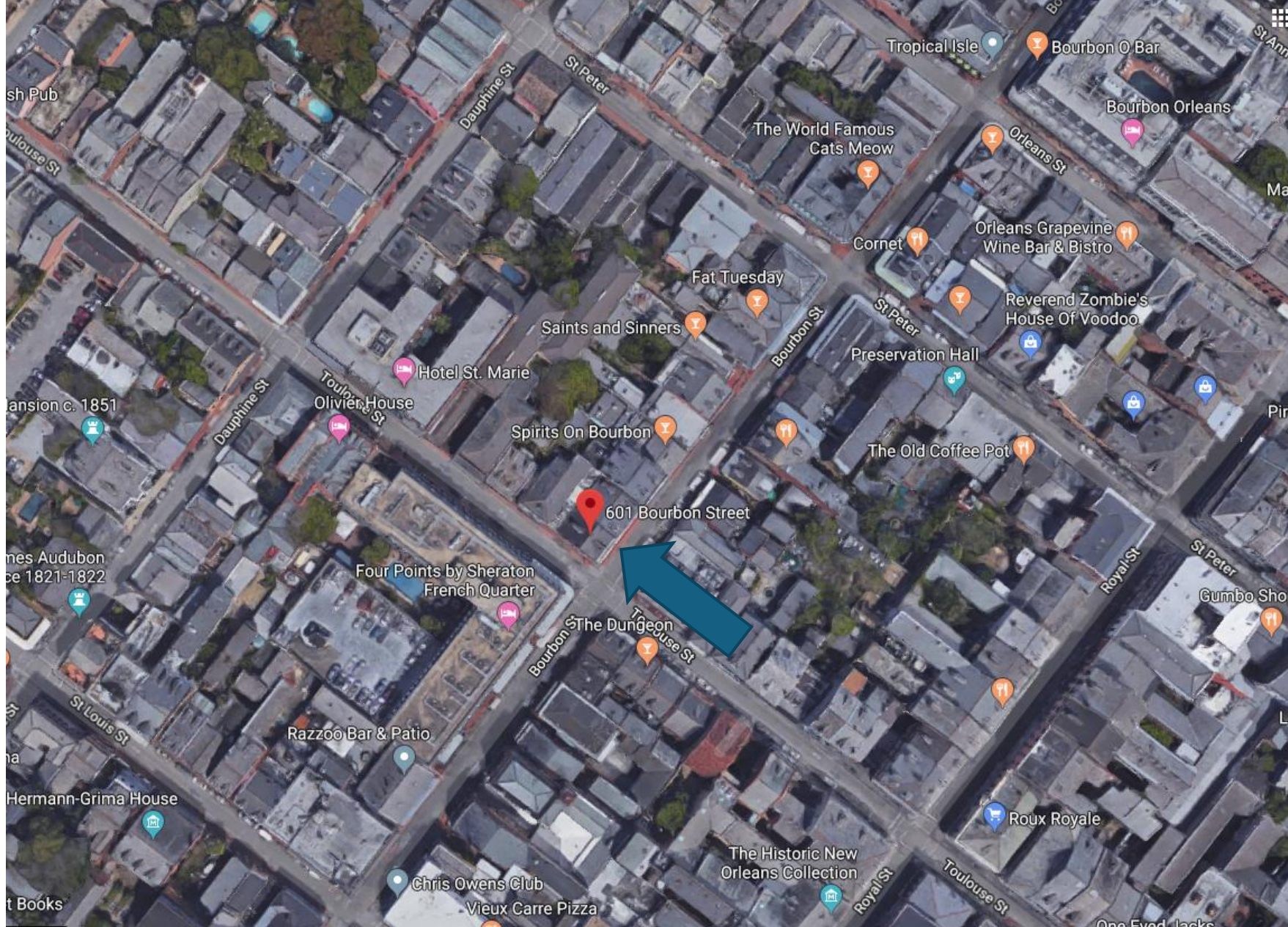
VCC Architectural Committee

December 16, 2025





**601 Bourbon**



## 601-03 Bourbon





601-03 Bourbon - 1939





601-03 Bourbon - 1962

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December 16, 2025





601-03 Bourbon - 1964

VCC Architectural Committee

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

03 31 2022

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

09 15 2025

December 16, 2025





601-03 Bourbon

VCC Architectural Committee

December 16, 2025





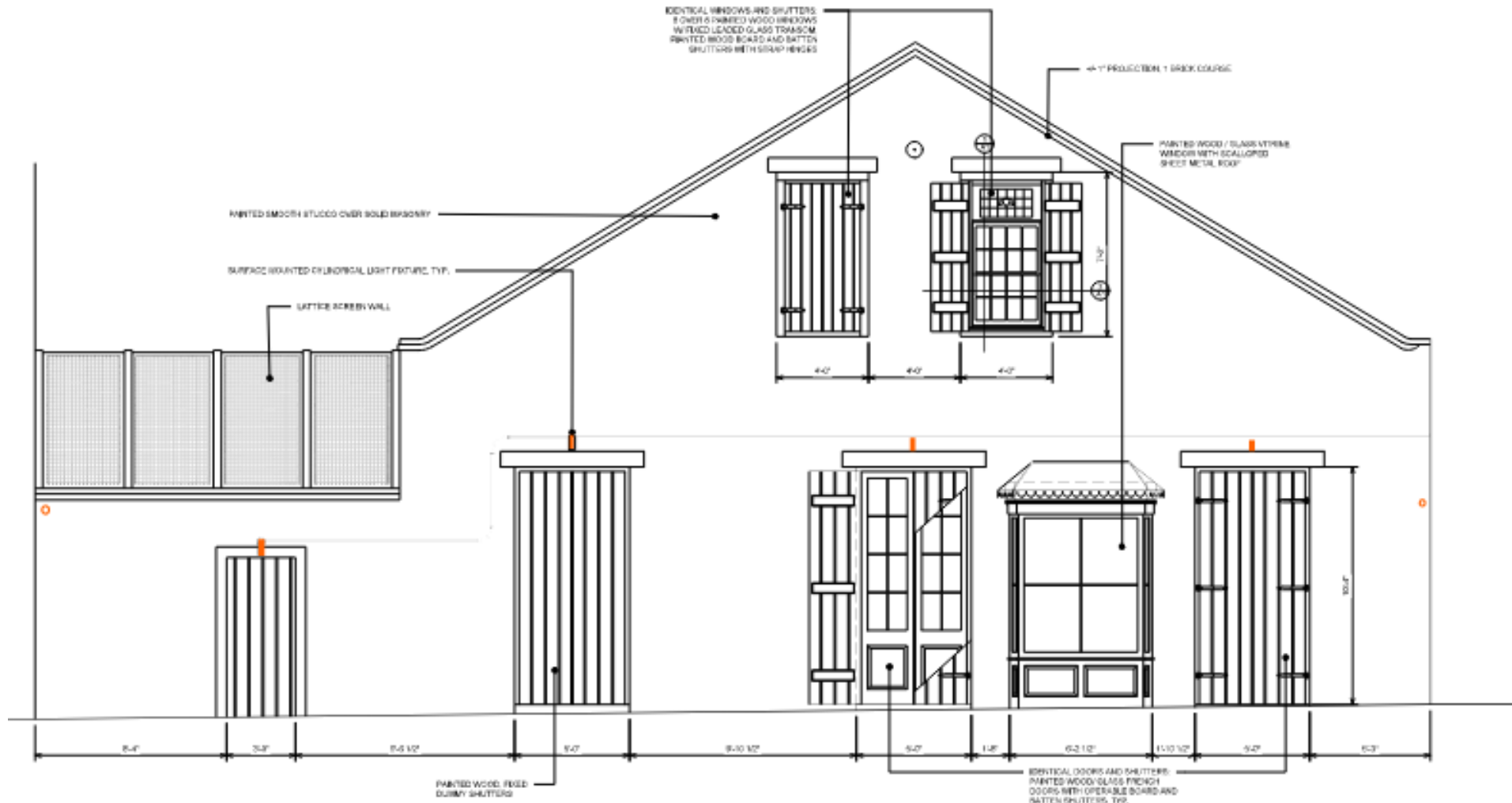
601-03 Bourbon

VCC Architectural Committee

10 01 2025

December 16, 2025



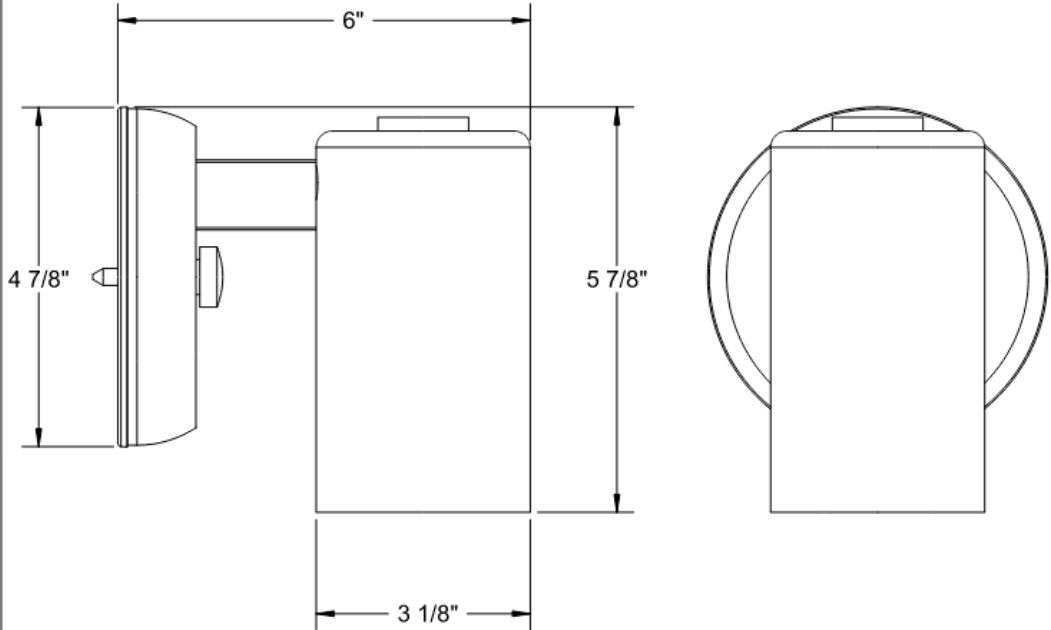
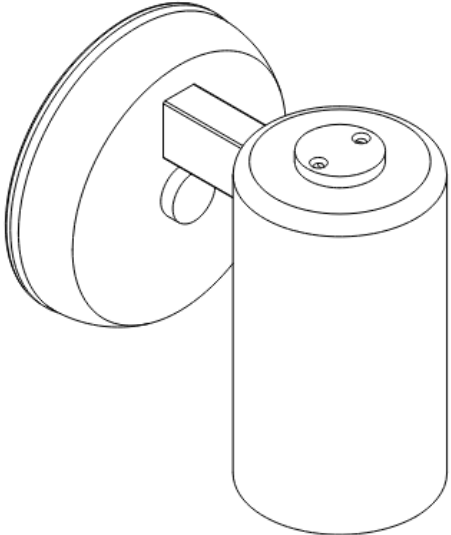


PROPOSED LIGHTING AND CAMERA LOCATIONS:  
 601 BOURBON ST. TOULOUSE ST. ELEVATION  
 LKH#1122.1 11.4.25

LEGEND:

- NEW CAMERA; SEE ATTACHED CUTSHEET
- NEW LIGHT FIXTURE; SEE ATTACHED CUTSHEET

200 series



601-03 Bourbon

VCC Architectural Committee

**Remcraft Lighting Products**

12870 NW 45th Avenue Miami, FL 33054 USA 08/28/07 SHEET 1 OF 1

December 16, 2025

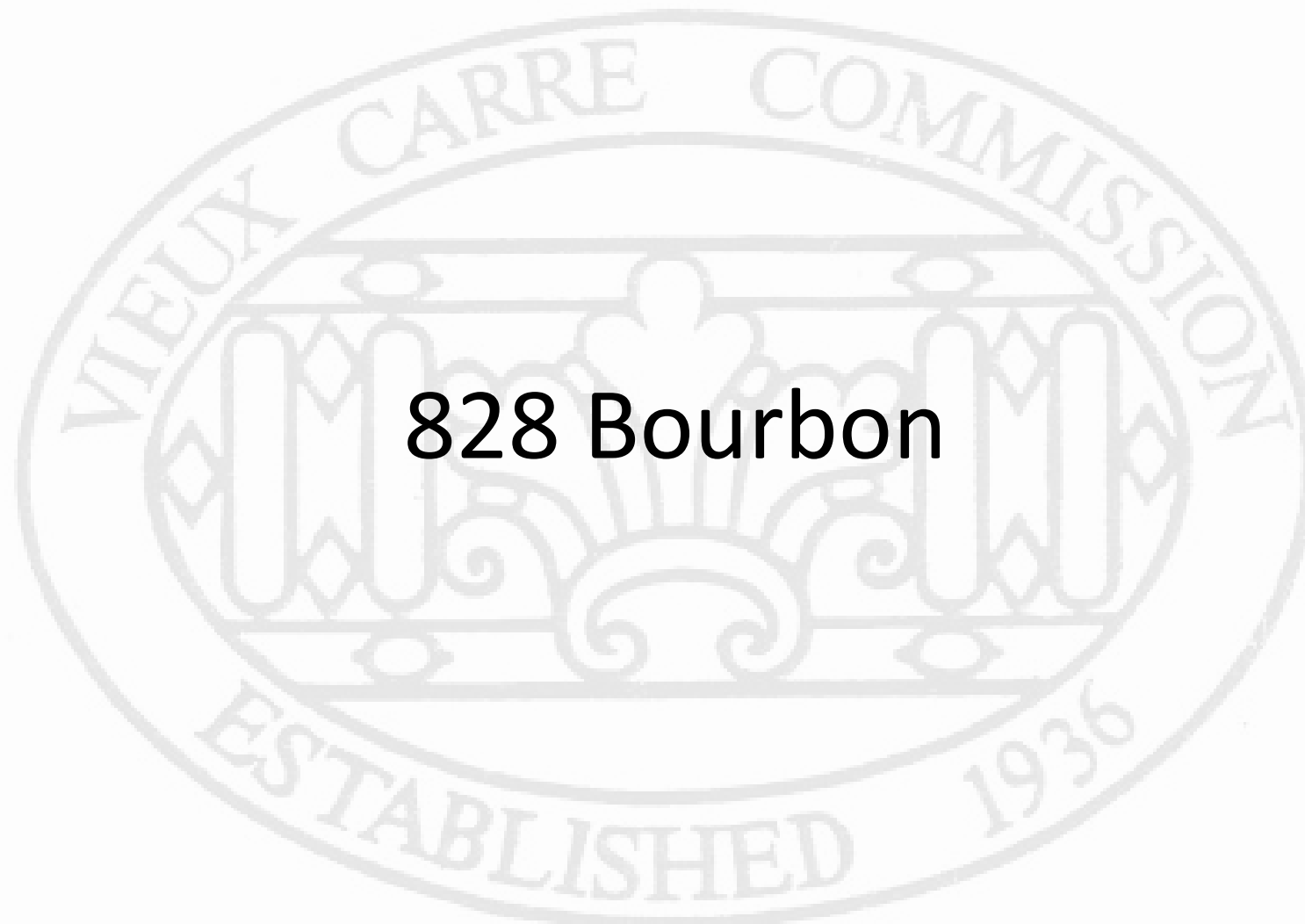


## PCI-T18F2S AcuSense 8 MP IR Fixed Turret Network Camera

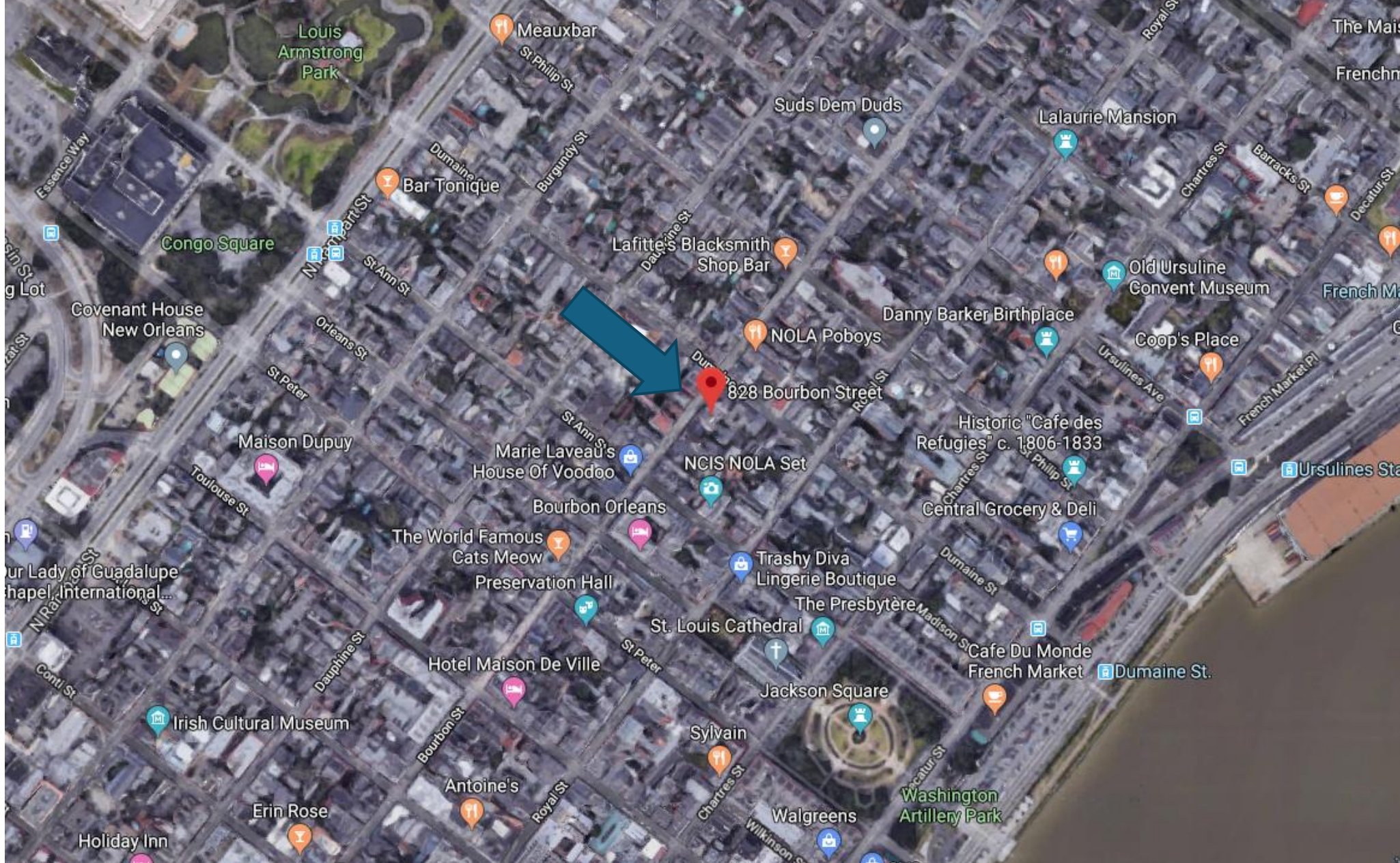


Empowered by deep learning algorithms, Hikvision AcuSense technology brings human or vehicle target classification alarms to front- and back-end devices. The system can greatly reduce false alarms generated by targets other than humans or vehicles, vastly improving alarm efficiency and effectiveness.

- High quality imaging with 8 MP resolution
- Excellent low-light performance with Powered-by-DarkFighter technology
- Efficient H.265+ compression technology
- Clear imaging against strong backlight with 120 dB true WDR technology
- False alarm reduction through human and vehicle target classification based on deep learning
- Advanced streaming technology that enables smooth live view and data self-correcting in poor network conditions
- Water and dust resistant (IP67)



**828 Bourbon**



828 Bourbon

VCC Architectural Committee

December 16, 2025









828 Bourbon

VCC Architectural Committee

December 16, 2025



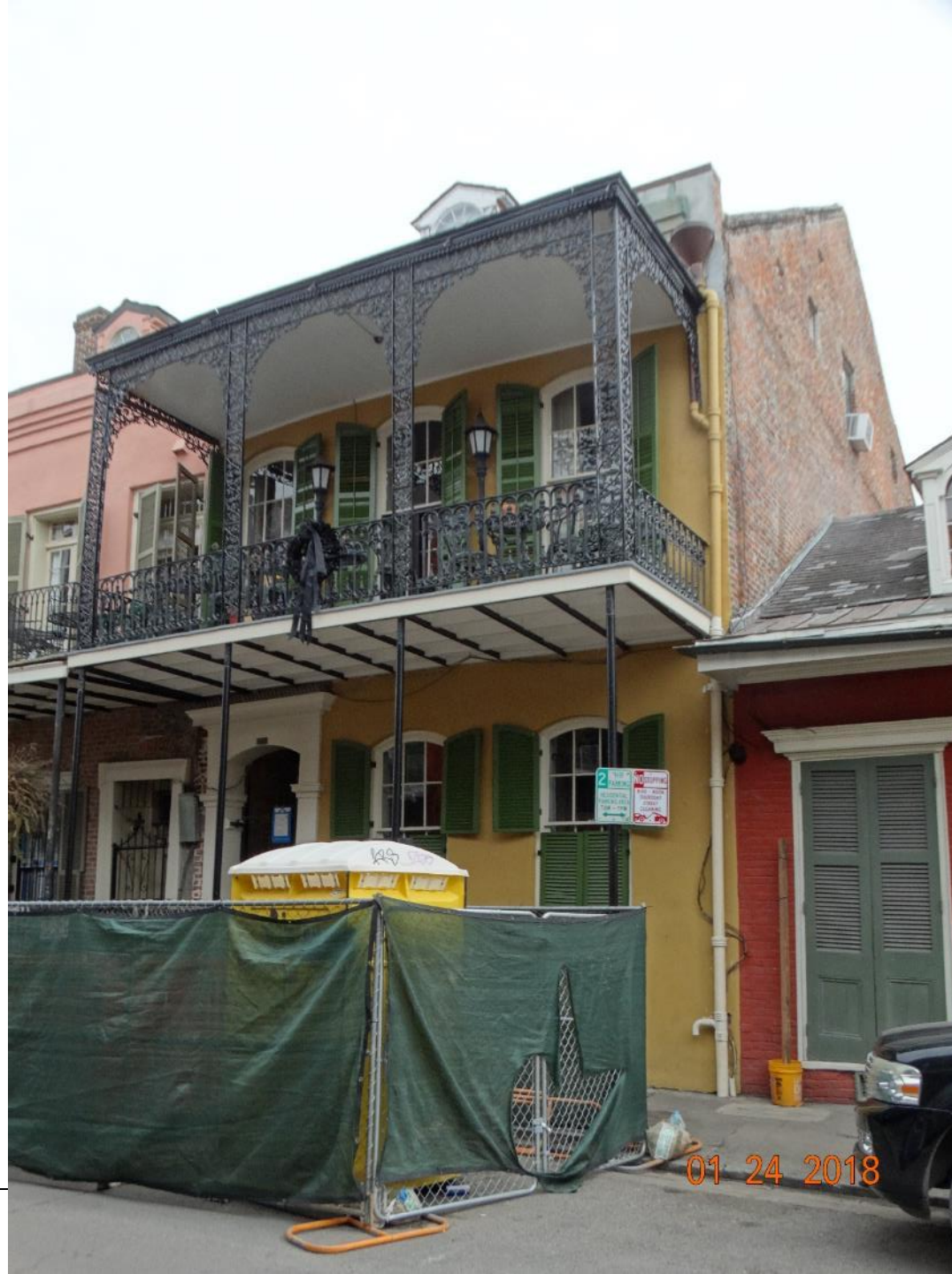


828 Bourbon

VCC Architectural Committee

December 16, 2025



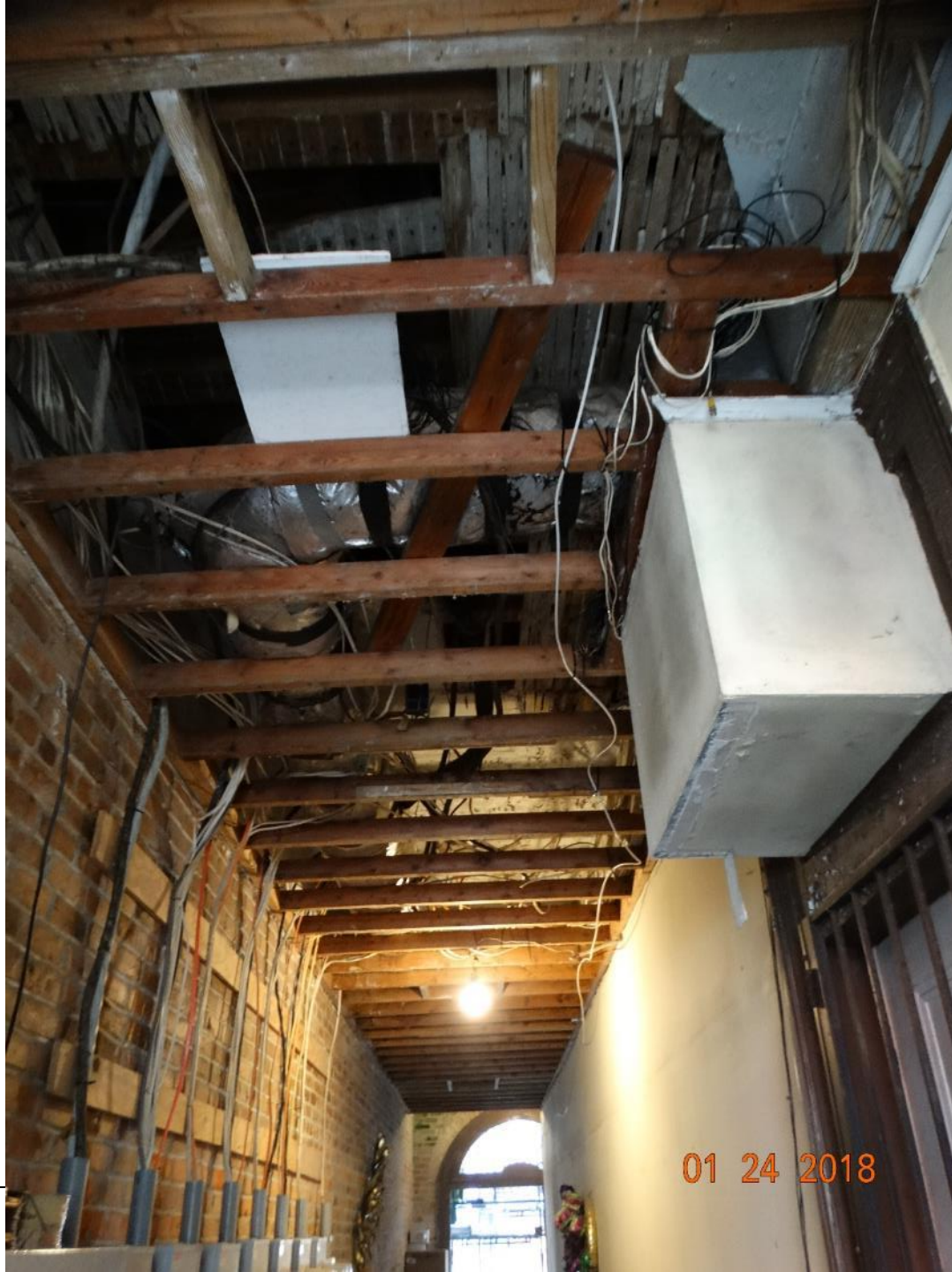


828 Bourbon

VCC Architectural Committee

December 16, 2025





828 Bourbon

VCC Architectural Committee

01 24 2018

December 16, 2025





828 Bourbon

VCC Architectural Committee

December 16, 2025





828 Bourbon

VCC Architectural Committee

01 24 2018

December 16, 2025





828 Bourbon

VCC Architectural Committee

01 24 2018

December 16, 2025





828 Bourbon

VCC Architectural Committee

01 24 2018

December 16, 2025





828 Bourbon – Underside of Rear Balcony



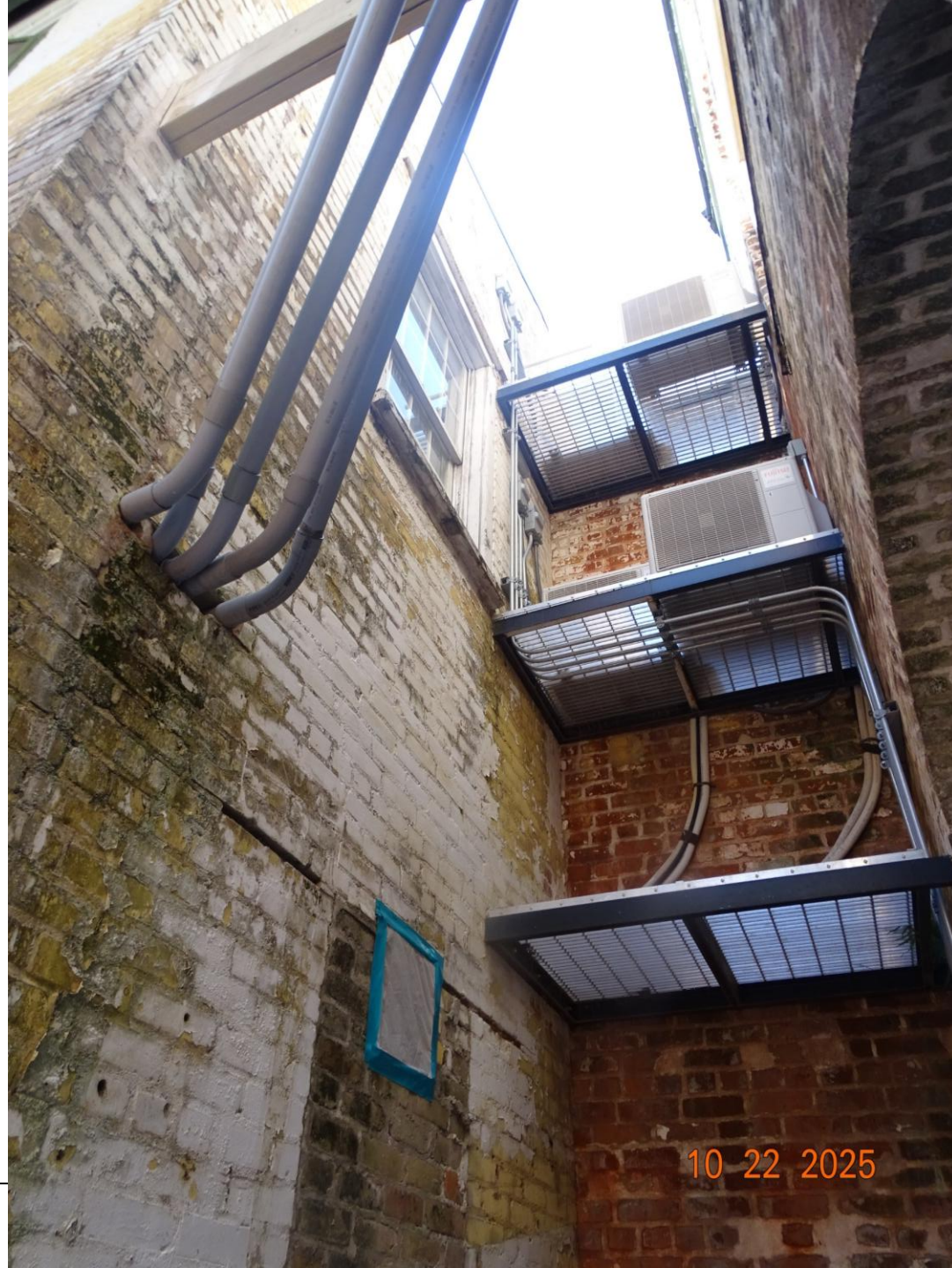


828 Bourbon

VCC Architectural Committee

December 16, 2025





828 Bourbon

VCC Architectural Committee

10 22 2025

December 16, 2025





828 Bourbon

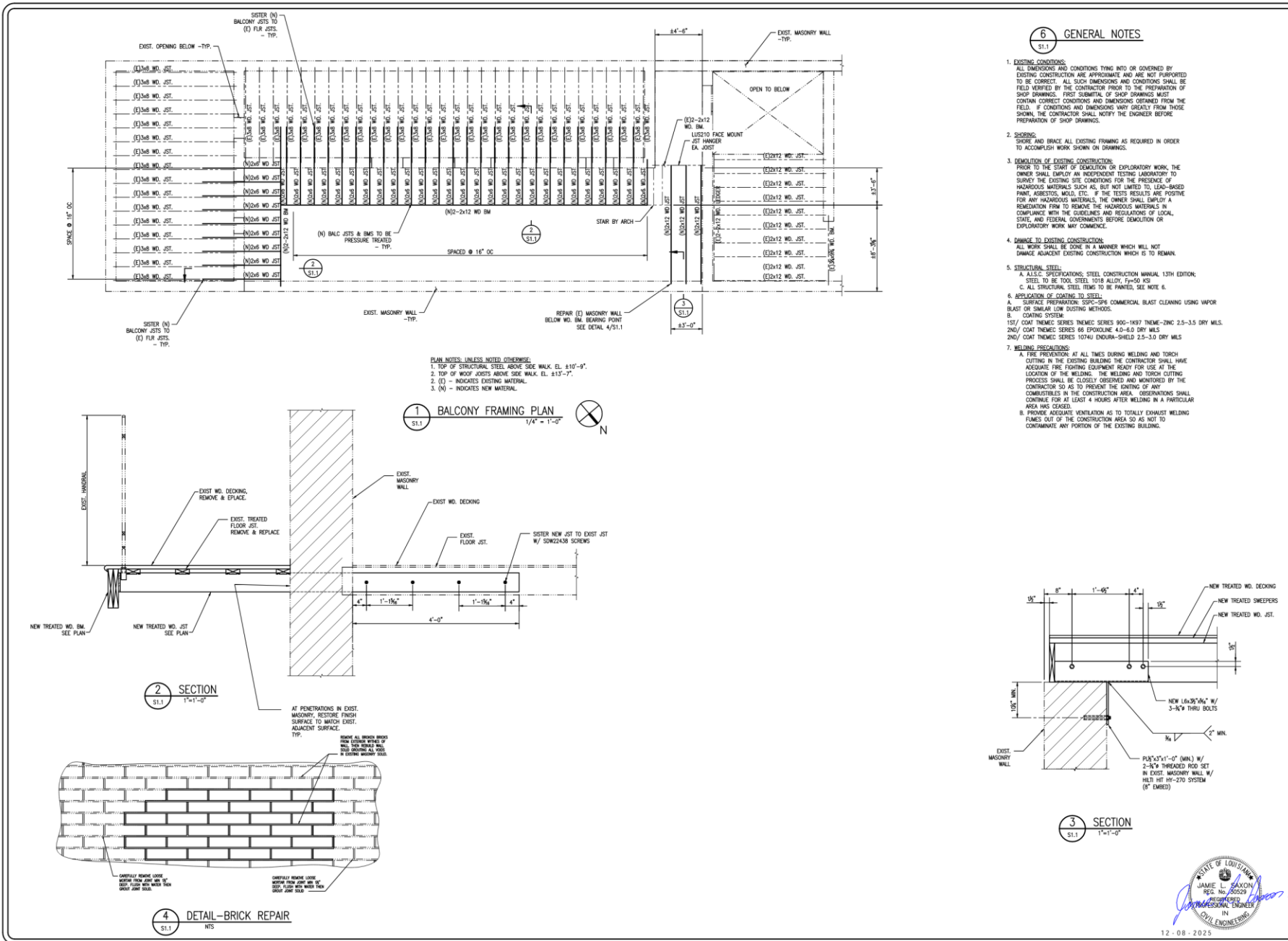
VCC Architectural Committee

December 16, 2025



828 Bourbon

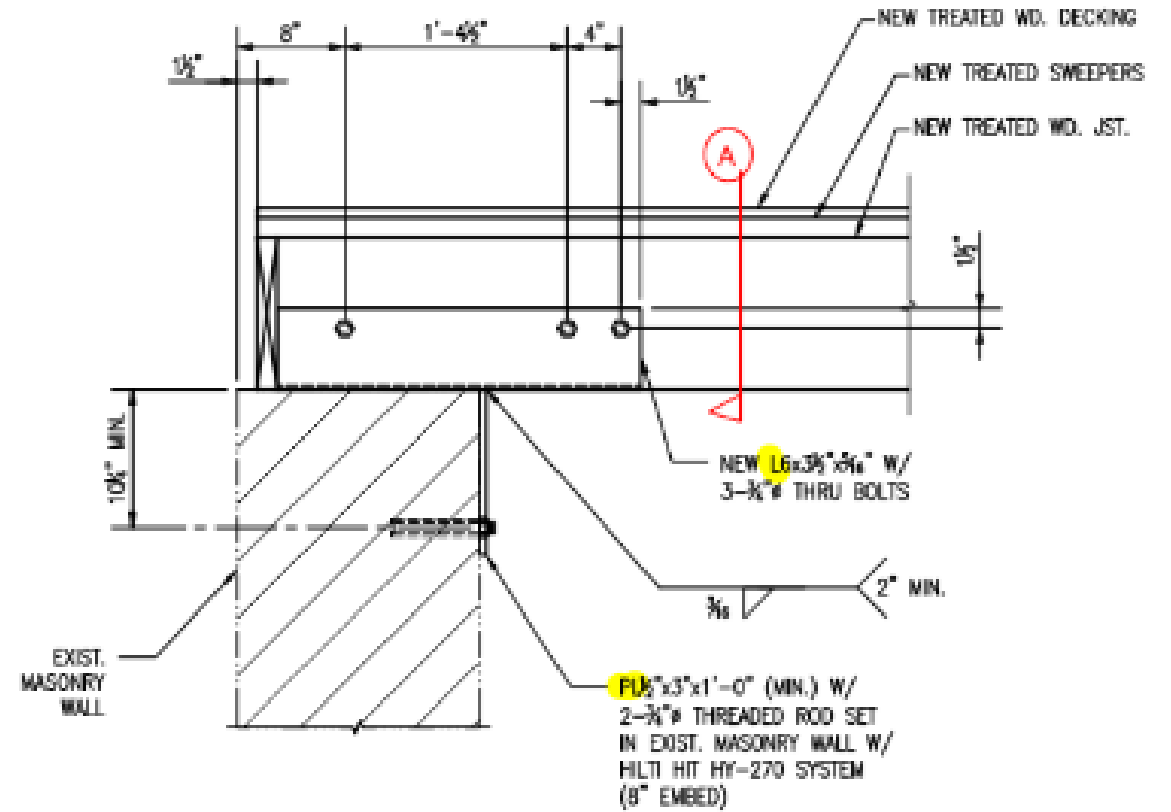
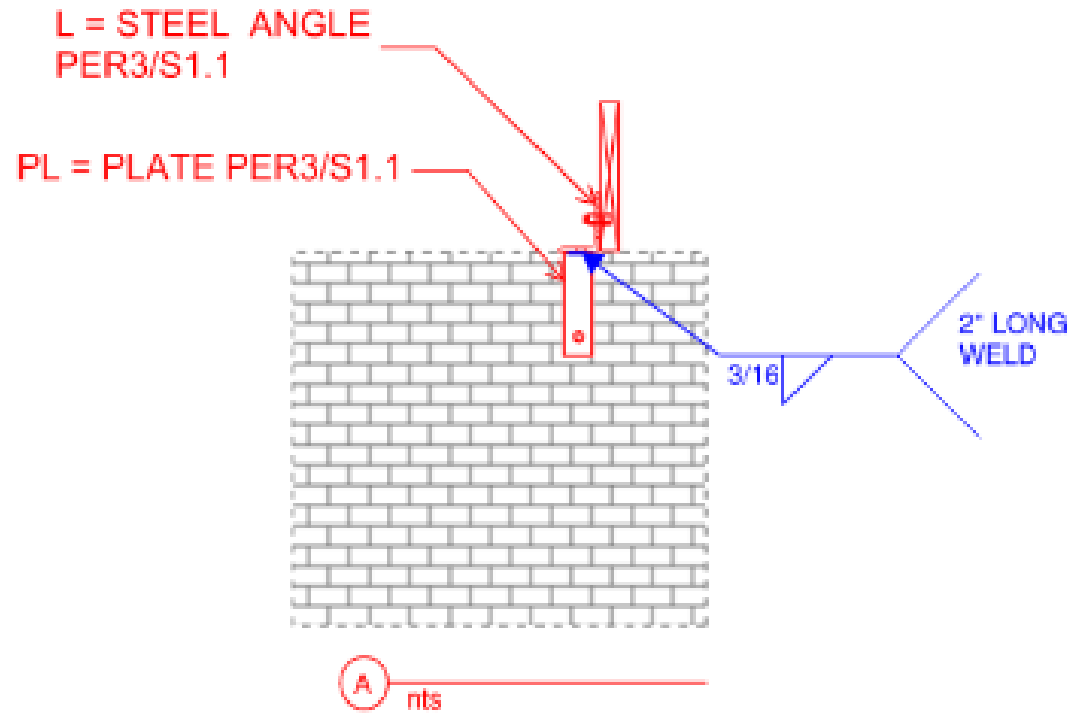
VCC Architectural Committee



December 16, 2025







REVISIONS	No.	Date	By	Checked
	1	12/23/25	REVISIONS PER OWNER	

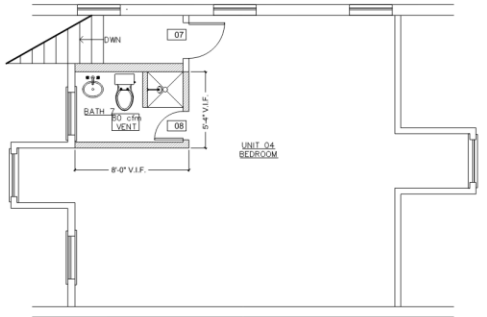
SAHUQUE REALTY COMPANY  
 828 BOURBON STREET  
 NEW ORLEANS, LOUISIANA 70116



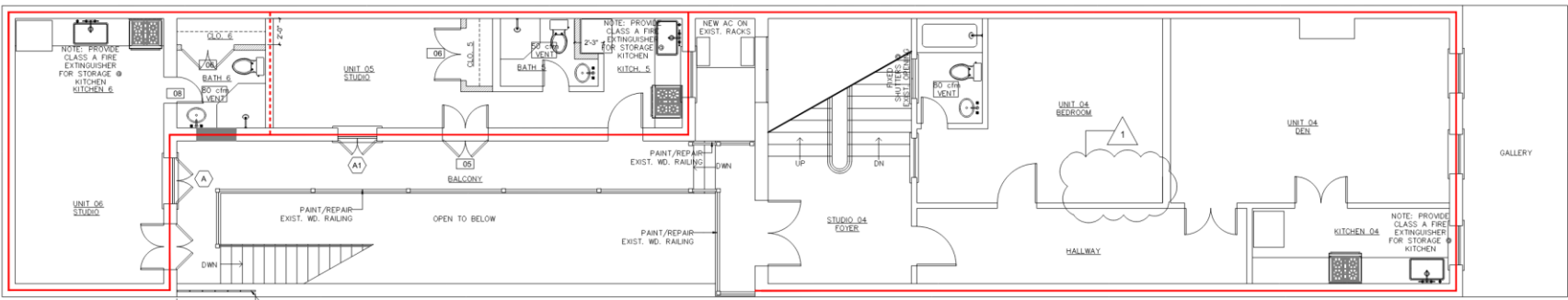
ISSUE DATE:  
 SEPTEMBER 02, 2025

DRAWING TITLE:  
 PROPOSED FLOOR PLANS

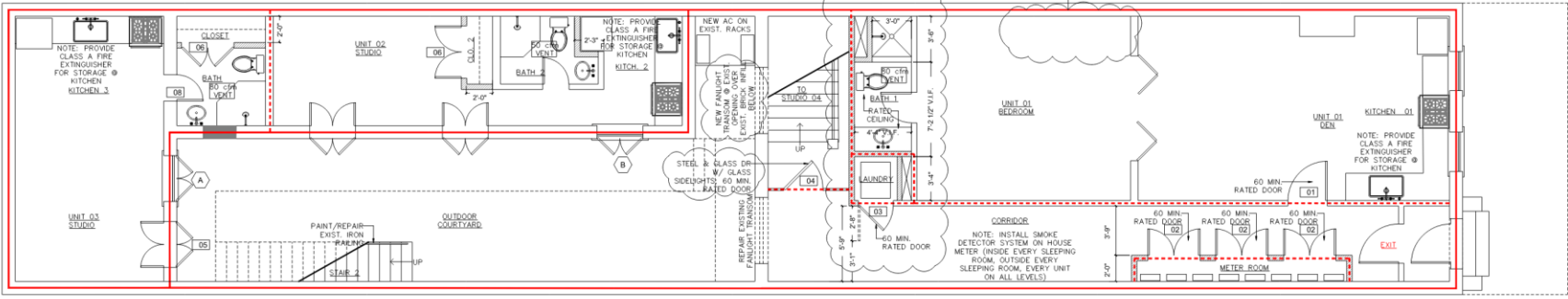
DRAWING NUMBER:  
 A1.1R



03 PROPOSED THIRD FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



02 PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

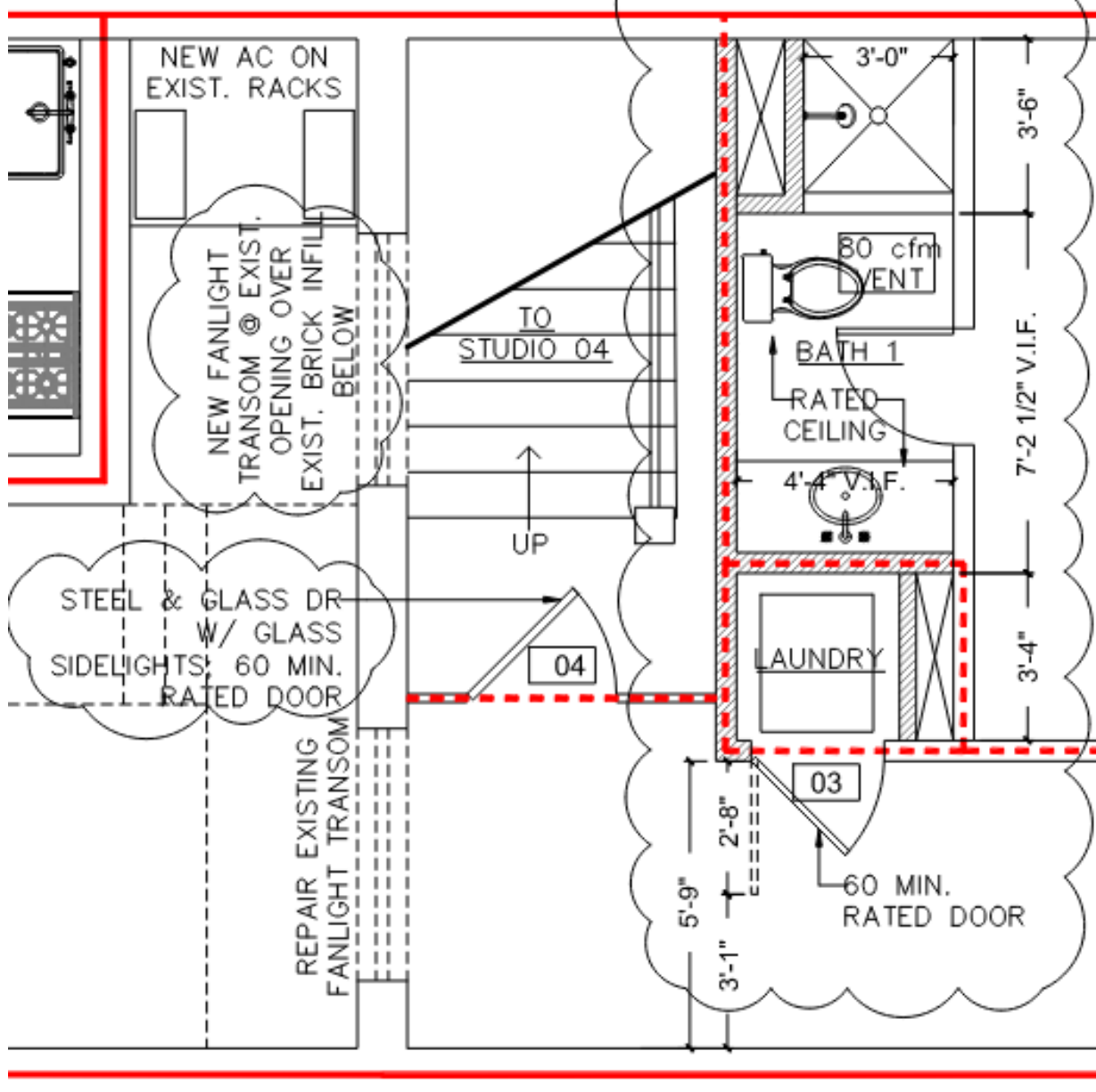


WALL LEGEND:

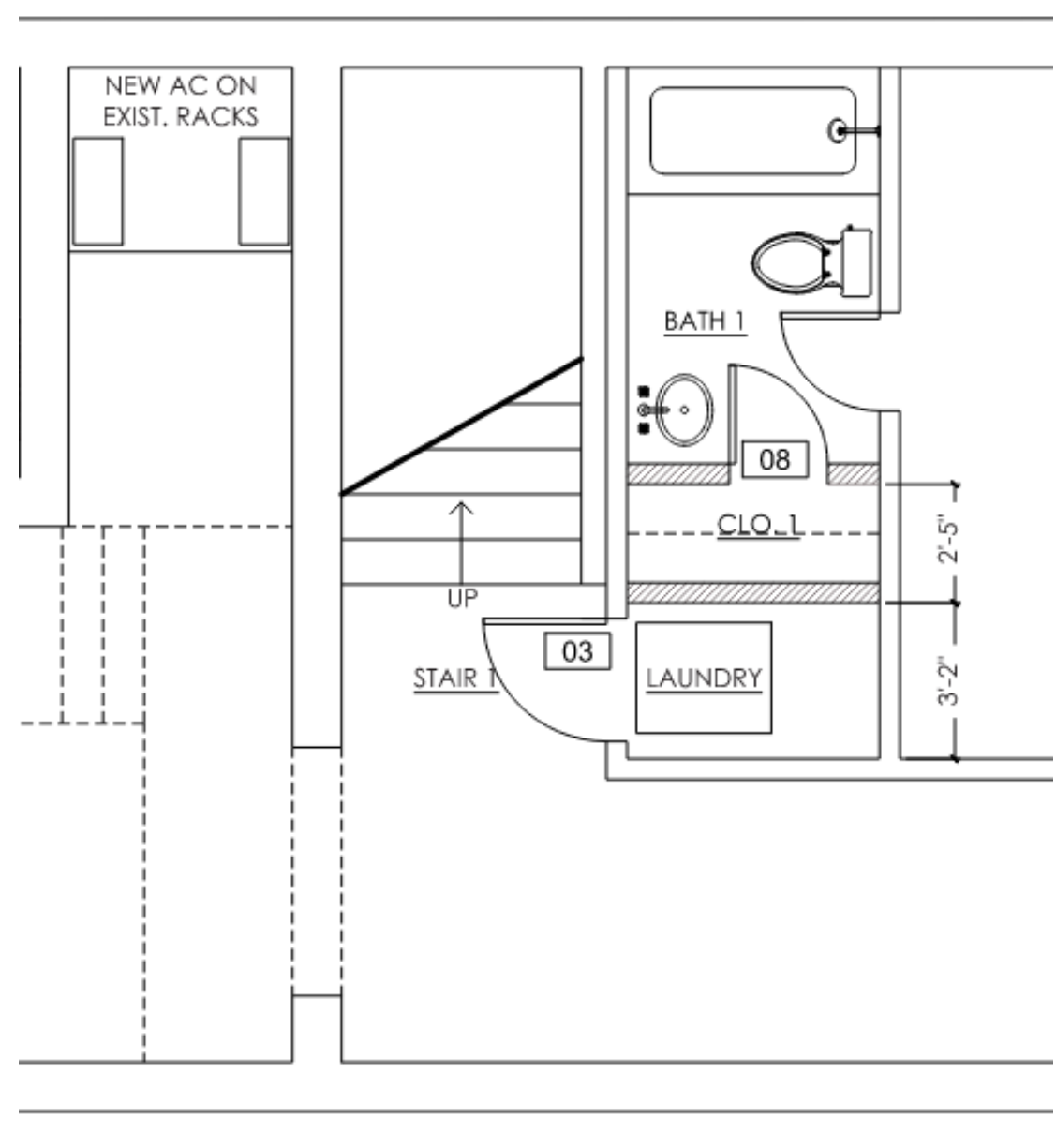
	EXISTING TO REMAIN
	INFILL: MATCH EXISTING CONSTRUCTION IN-KIND
	NEW 2X WD STUDS @ 16" O.C. W/ 5/8" GYPSUM BD.
	2 HR. RATED CONSTRUCTION: 2 WYTHE BRICK WALL APPROX. 9" THICK
	1-HOUR RATED CONSTRUCTION: UL-#3005

01 PROPOSED FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

828 Bourbon



828 Bourbon Proposed



Previously Approved



828 Bourbon

VCC Architectural Committee



03 PROPOSED MAIN REAR ELEVATION  
SCALE: 1/4" = 1'-0"

- REPAIR EXIST. DORMER TO MATCH IN-KIND
- INSTALL NEW 6" HALF-ROUND COPPER GUTTER AND DOWNSPOUT
- REPAIR/RESTORE EXIST. WINDOW & TRANSOM IN-KIND; TYP.
- REPAIR/RESTORE EXIST. DOOR & TRANSOM IN-KIND; TYP.
- REPAIR EXIST. RAILING
- REPAIR EXIST. BALCONY IN-KIND AS NEEDED; TYP.
- REPAIR EXIST. TRANSOM
- NEW FANLIGHT TO MATCH EXISTING IN-KIN



04 PROPOSED QUARTERS ELEVATION  
SCALE: 1/4" = 1'-0"

- NEW OUTDOOR WALL SCONCE
- REPAIR/RESTORE WINDOW; NEW BATTEN SHUTTERS
- REPAIR/RESTORE DOOR & BATTEN SHUTTERS
- INSTALL NEW IRON GARDE DE FRISE RE: 04/AS.0
- INSTALL NEW IRON CAP RAIL AND EXTENSION TO EXISTING; RE: 05/AS.0
- REPLACE EXIST FASCIA IN-KIND AS NEEDED; TYP.
- NEW OUTDOOR WALL SCONCE
- REPAIR/RESTORE WINDOW; NEW BATTEN SHUTTERS
- REPAIR/RESTORE DOOR & BATTEN SHUTTERS



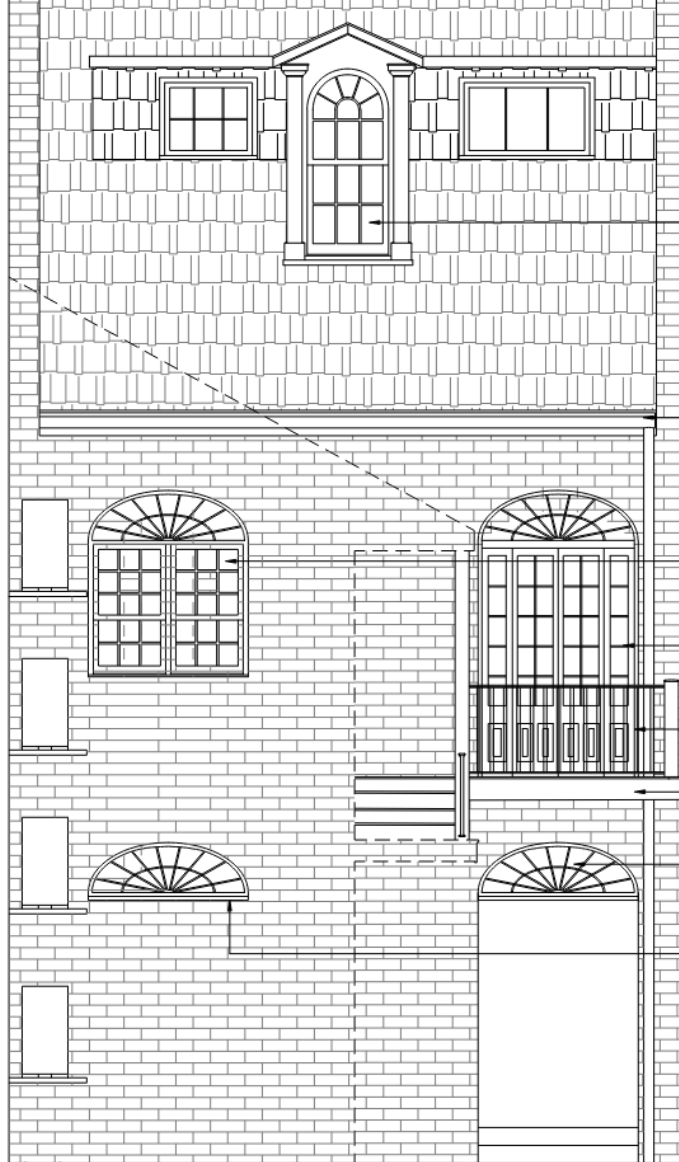
01 EXISTING MAIN REAR ELEVATION  
SCALE: 1/4" = 1'-0"



02 EXISTING QUARTERS ELEVATION  
SCALE: 1/4" = 1'-0"

December 16, 2025





REPAIR EXIST. DORMER  
TO MATCH IN-KIND

INSTALL NEW 6"  
HALF-ROUND COPPER  
GUTTER AND DOWNSPOUT

REPAIR/RESTORE EXIST.  
WINDOW & TRANSOM  
IN-KIND; TYP

REPAIR/RESTORE EXIST.  
DOOR & TRANSOM  
IN-KIND; TYP.

REPAIR EXIST. RAILING

REPAIR EXIST. BALCONY  
IN-KIND AS NEEDED; TYP.

REPAIR EXIST. TRANSOM

NEW FANLIGHT TO MATCH  
EXISTING IN-KIN

**03** PROPOSED MAIN REAR ELEVATION  
SCALE: 1/4" = 1'-0"



NEW OUTDOOR WALL  
SCONCE

REPAIR/RESTORE WINDOW;  
NEW BATTEN SHUTTERS

REPAIR/RESTORE DOOR &  
BATTEN SHUTTERS

INSTALL NEW IRON GARDE  
DE FRISE RE: 04/A5.0

INSTALL NEW IRON CAP  
RAIL AND EXTENSION TO  
EXISTING; RE: 05/A5.0

REPLACE EXIST FASCIA  
IN-KIND AS NEEDED; TYP.

NEW OUTDOOR WALL  
SCONCE

REPAIR/RESTORE WINDOW;  
NEW BATTEN SHUTTERS

REPAIR/RESTORE DOOR &  
BATTEN SHUTTERS

**04** PROPOSED QUARTERS ELEVATION  
SCALE: 1/4" = 1'-0"



02 PROPOSED QUARTERS ELEVATION  
SCALE: 1/4" = 1'-0"



01 EXISTING QUARTERS ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS	No.	Date	By	Scale
	1	02/25		As Shown Per Owner

SAHQUE REALTY COMPANY  
828 BOURBON STREET  
NEW ORLEANS, LOUISIANA 70116



ISSUE DATE:  
SEPTEMBER 02, 2025  
DRAWING TITLE:  
EXISTING & PROPOSED  
EXT. ELEVATIONS  
DRAWING NUMBER:

A3.1R

828 Bourbon

VCC Architectural Committee

December 16, 2025



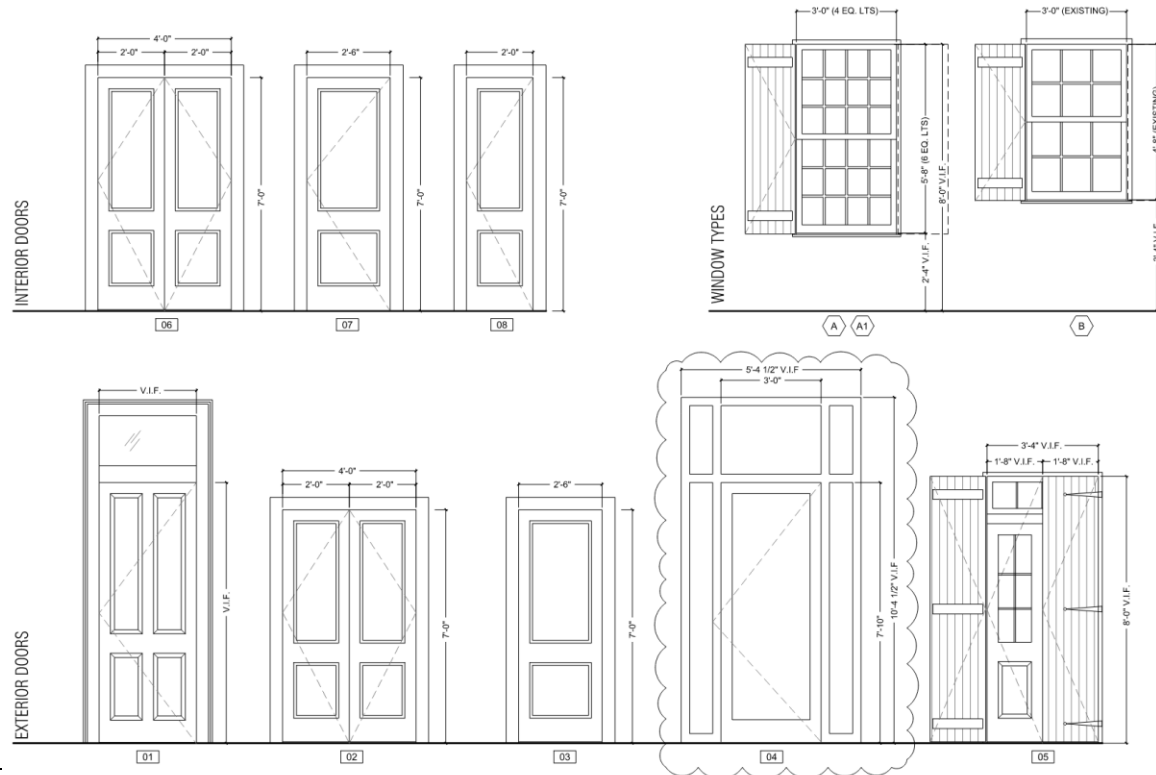


**02** PROPOSED QUARTERS ELEVATION  
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE								
NO.	QTY.	DOOR MATERIAL	FRAME MATERIAL	MANUFACTURER	DOOR TYPE	HARDWARE	DETAIL	DESCRIPTION
1	1	WOOD	WOOD	TBD	HINGED	RATED HARDWARE	60 MNL. RATING	FIRE RATED FOUR PANEL DOOR & FRAME
2	3	WOOD	WOOD	TBD	DBL. HINGED	RATED HARDWARE	60 MNL. RATING	FIRE RATED TWO PANEL DOUBLE DOOR & RATED FRAME
3	1	WOOD	WOOD	TBD	HINGED	RATED HARDWARE	60 MNL. RATING	FIRE RATED FLOOR
4	1	STEEL & RATED GLASS	STEEL	TBD	HINGED	RATED HARDWARE	60 MNL. RATING	NEW FIRE RATED PARTITION & DOOR
5	1	WOOD	WOOD	TBD	HINGED	MATCH EXISTING	MATCH EXISTING	NEW RAIL & STILE SIX-LITE OVER-PANEL DOUBLE DOOR WITH FOUR-LITE TRANSOM AND BOARD & BATTEN SHUTTERS AND - MATCH EXISTING IN-KIND, TYP.
6	1	WOOD	WOOD	TBD	DBL. HINGED	PASSAGE KNOB & DUMMY	1X4 PTD. TRIM	NEW RAIL & STILE TWO-PANEL DOUBLE DOOR, PAINT
7	1	WOOD	WOOD	TBD	HINGED	PRIVACY KNOB	1X4 PTD. TRIM	NEW RAIL & STILE TWO-PANEL DOOR, PAINT
8	1	WOOD	WOOD	TBD	HINGED	PRIVACY KNOB	1X4 PTD. TRIM	NEW RAIL & STILE TWO-PANEL DOOR, PAINT

WINDOW SCHEDULE											
MARK	QTY.	WINDOW WIDTH	WINDOW HEIGHT	OVERALL OPENING	MATERIAL	FRAME MATERIAL	MANUFACTURER	TYPE	GLAZING	DETAIL	DESCRIPTION
A	2	3'-0" V.I.F.	5'-8"	3'-0" X 5'-8" V.I.F.	EXIST. WOOD	EXIST. WOOD	EXISTING	EXISTING	EXISTING	EXISTING	REPAIR AS NEEDED; MATCH ALL HISTORIC PROFILES IN KIND; NEW BATTEN SHUTTERS
A1	1	3'-0" V.I.F.	5'-8"	3'-0" X 5'-8" V.I.F.	WOOD	WOOD	TBD	DBL. HUNG	MATCH EXIST.	MATCH EXIST.	NEW UNIT TO MATCH EXISTING TYPE 'A' WINDOW; MATCH ALL HISTORIC PROFILES IN KIND; TRUE DIVIDED LITES; NEW BATTEN SHUTTERS
B	1	3'-0" V.I.F.	4'-8"	3'-0" X 4'-8" V.I.F.	EXIST. WOOD	EXIST. WOOD	EXISTING	EXISTING	EXISTING	EXISTING	REPAIR AS NEEDED; MATCH ALL HISTORIC PROFILES IN KIND; NEW BATTEN SHUTTERS



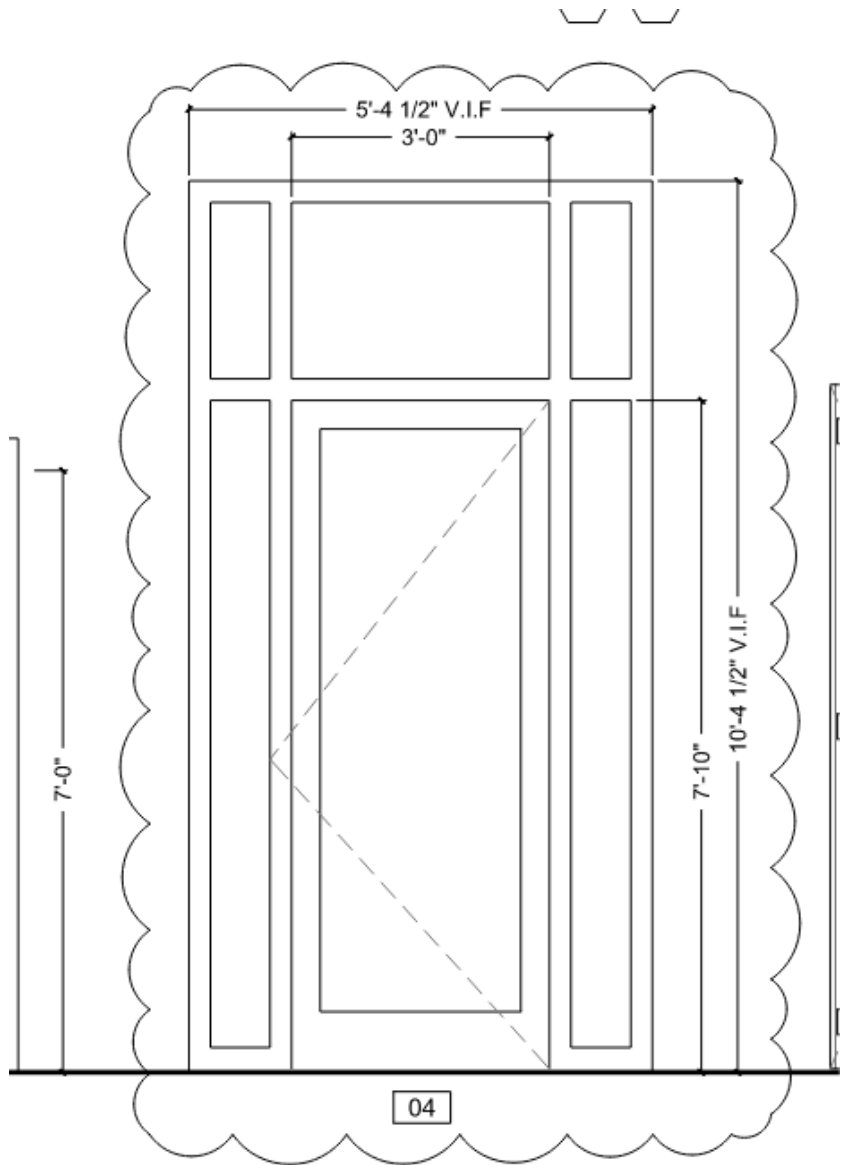
828 Bourbon

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01 DOOR & WINDOW TYPES  
SCALE: 1/2" = 1'-0"

December 16, 2025





828 Bourbon

VCC Architectural Committee

**Technical Glass Products  
Architectural Specification Manual**

December 16, 2025



System Exploded View

ITEM	DESCRIPTION	ITEM	DESCRIPTION	ITEM	DESCRIPTION
1	PROFILE, WALL JAMB "L"	6	FIRE-RATED GLASS	11	PROFILE, DOOR JAMB "T"
2	BEAD STUD	7	PROFILE, DOOR JAMB "L"	12	PIVOT ASSEMBLY
3	PROFILE, DOOR JAMB "Z"	8	8-32x1" FHMS BEAD LOCK SCREW	13	GLAZING TAPE
4	PROFILE, INTERMEDIATE "T"	9	GLAZING BEAD, STEEL GALVANIZED		
5	SETTING BLOCK	10	GASKET, NEOPRENE DOOR STOP		

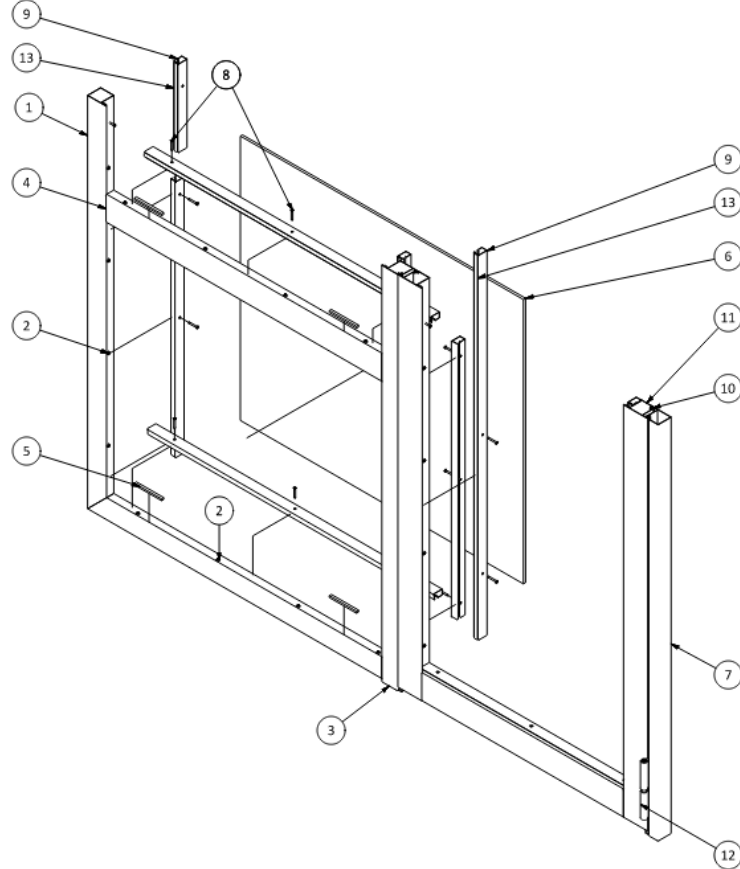
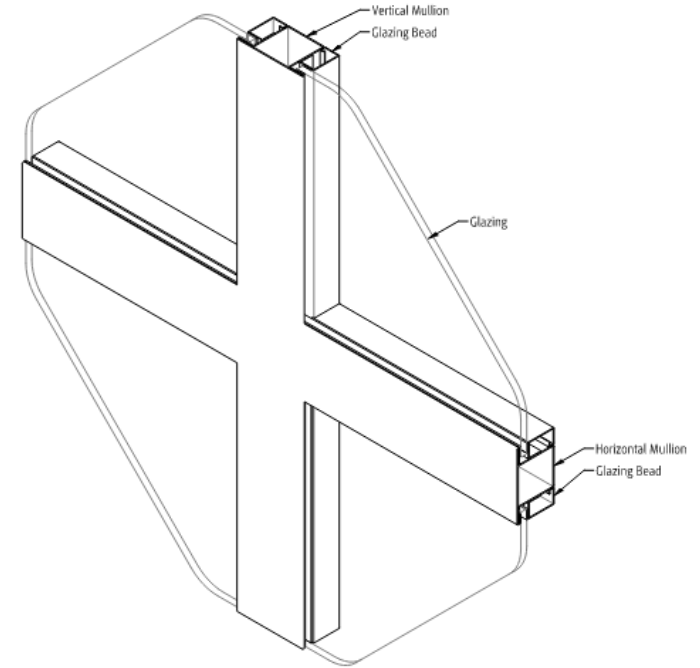


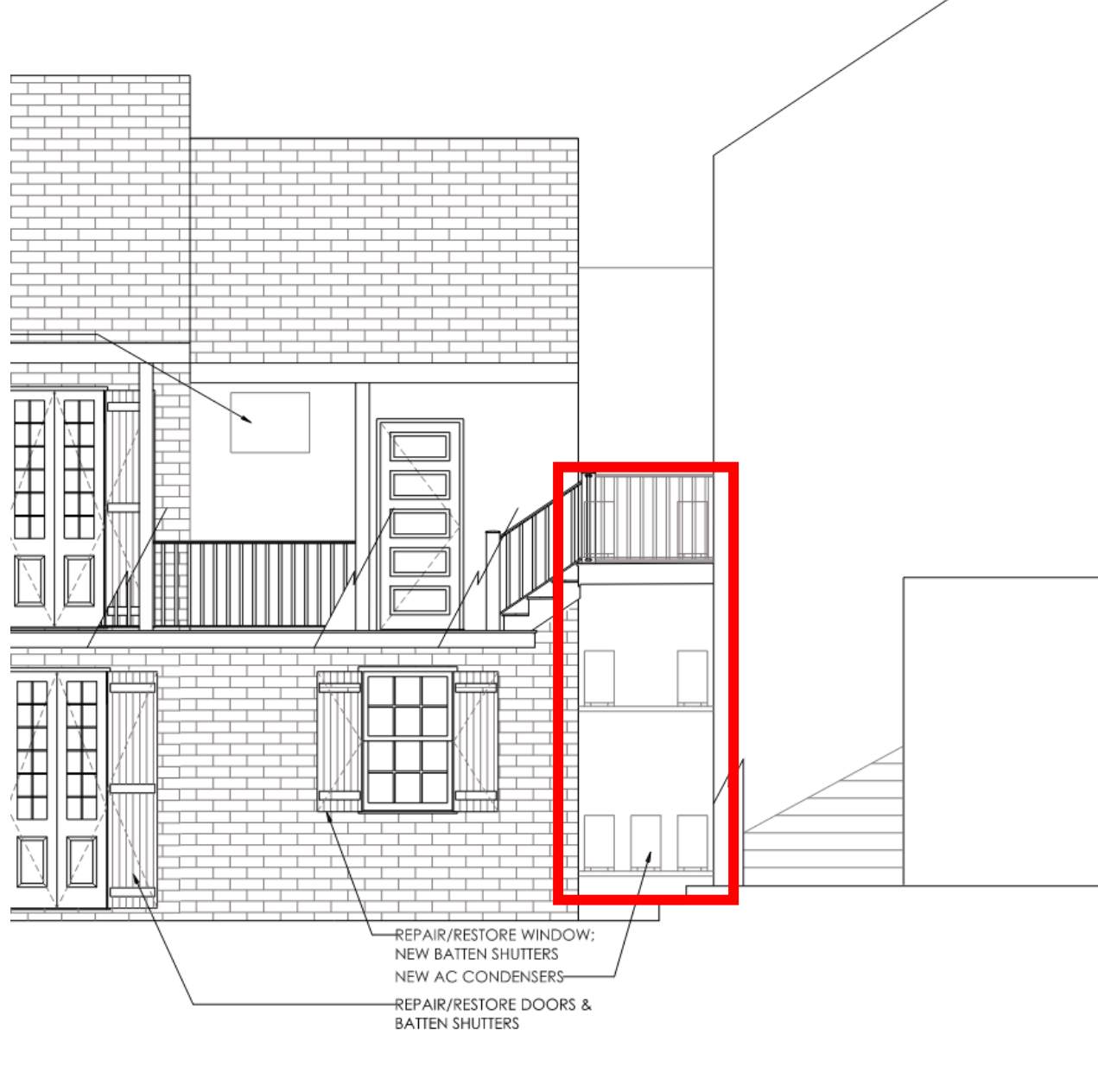
Figure 1 - System Exploded View

General Information

This document is meant as a general description of typical installations. As such, it is the responsibility of the installer to ensure the window and doors are installed per the conditions that exist on any given project in accordance with these instructions and project drawings. TGP project drawings may detail modifications to the surrounding conditions required for a given project, (if architectural details or sketches were provided to TGP) and should be used in conjunction with these instructions. In the event of any conflict between these instructions and TGP project drawings, the TGP project drawings shall govern. TGP does not accept any warranty and / or liability for installations not in compliance with this document or other non-conforming use of the TGP products and / or system. Contact TGP with questions concerning these details as they apply to the particulars of a given project.







828 Bourbon – Previously Approved Mechanical



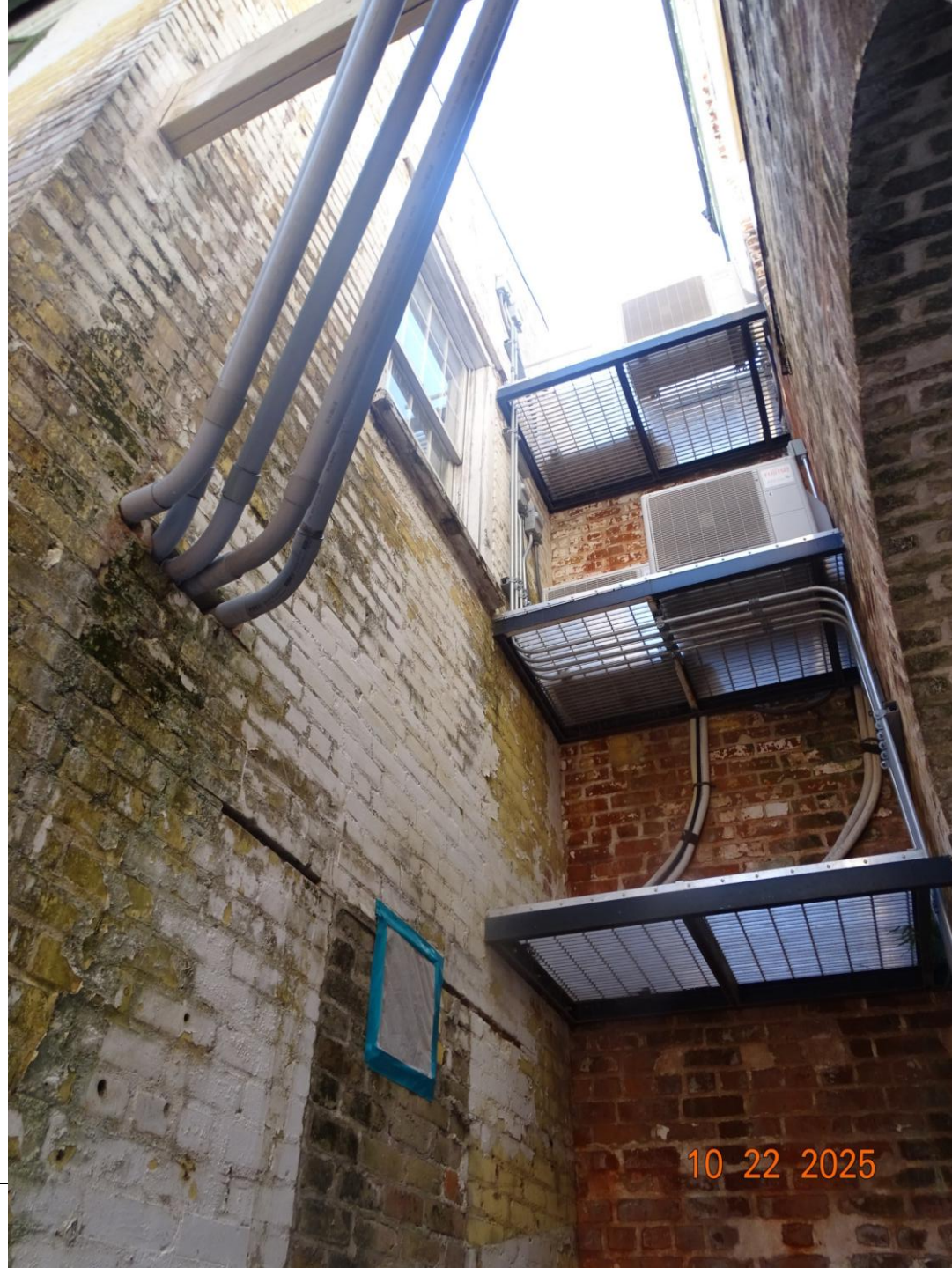


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December 16, 2025





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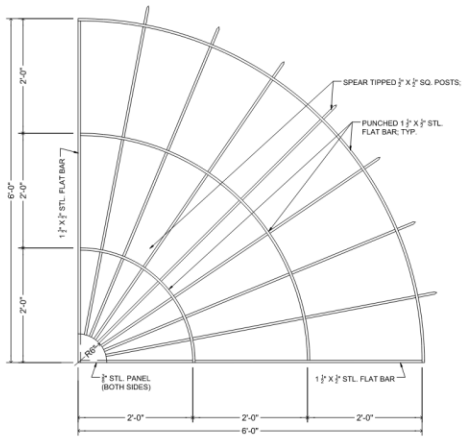
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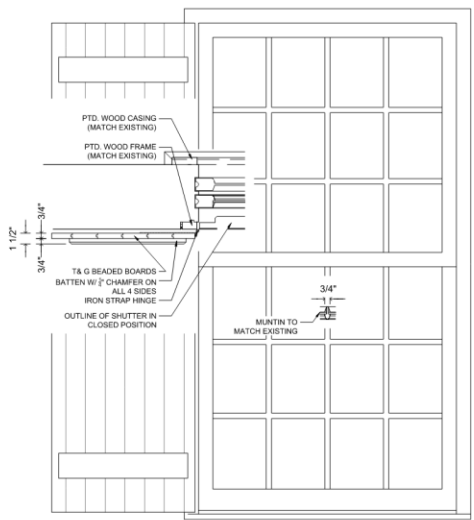
December 16, 2025



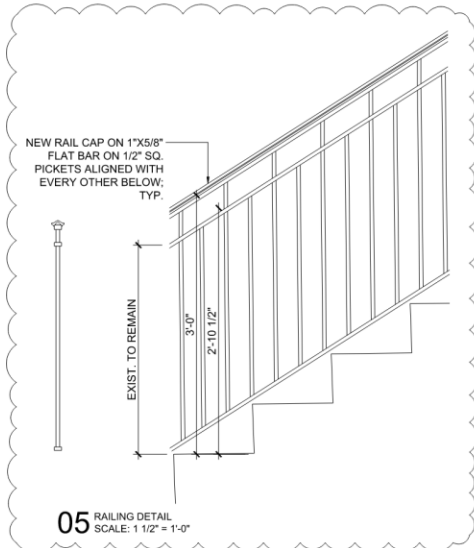
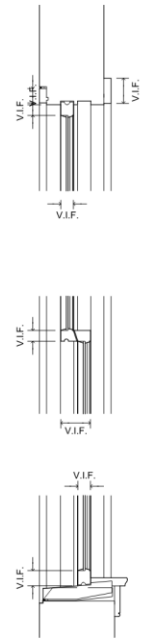
REVISIONS	
No.	Date
1	02/25
	Architectural Print Checker



**04** GARDE DE FRISE DETAIL  
SCALE: 1" = 1'-0"



**03** WINDOW DETAIL  
SCALE: 1 1/2" = 1'-0"



**05** RAILING DETAIL  
SCALE: 1 1/2" = 1'-0"

**SAHUQUE REALTY COMPANY**  
828 BOURBON STREET  
NEW ORLEANS, LOUISIANA 70116



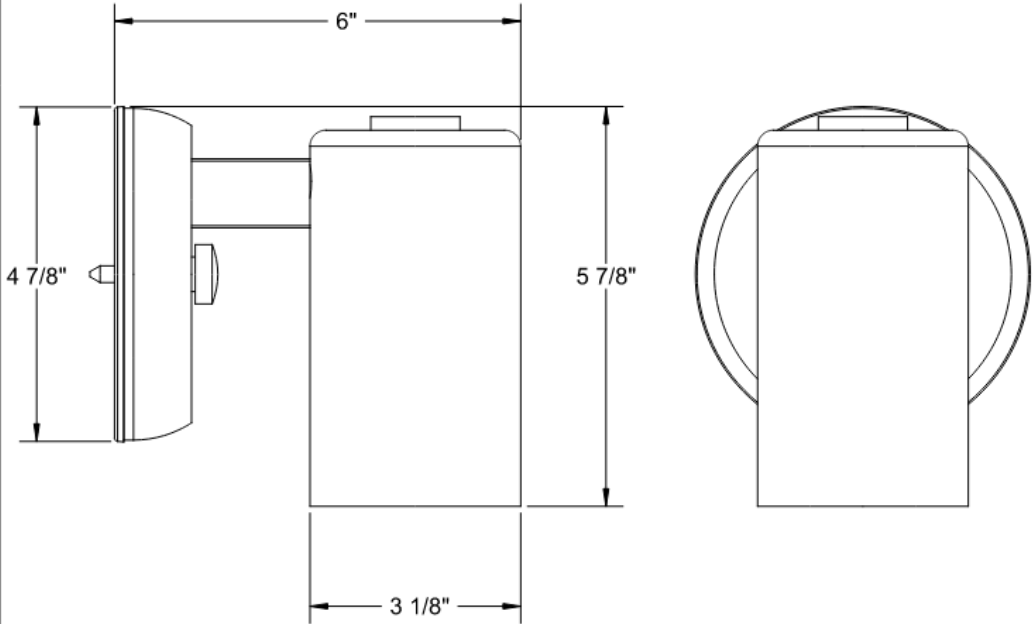
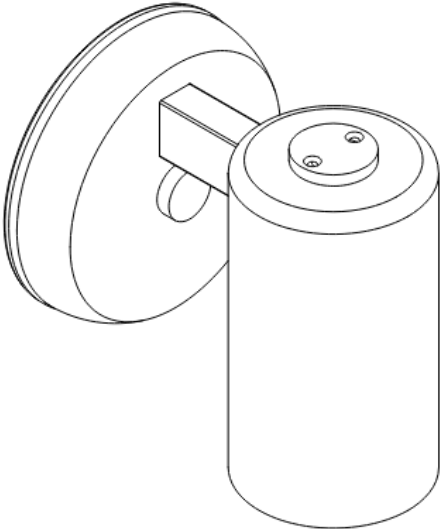
ISSUE DATE:  
SEPTEMBER 02, 2025

DRAWING TITLE:  
EXTERIOR DETAILS

DRAWING NUMBER:  
**A5.0R**



200 series



828 Bourbon

VCC Architectural Committee

**Remcraft Lighting Products**

12870 NW 45th Avenue Miami, FL 33054 USA 08/28/07 SHEET 1 OF 1

December 16, 2025





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Light fixture Rough In

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**UNDER EAVE VENT**



**UEVD4 WH/BR/BG**  
(With removable damper)

**UEV6 WH/BR/BG**  
(Without damper)

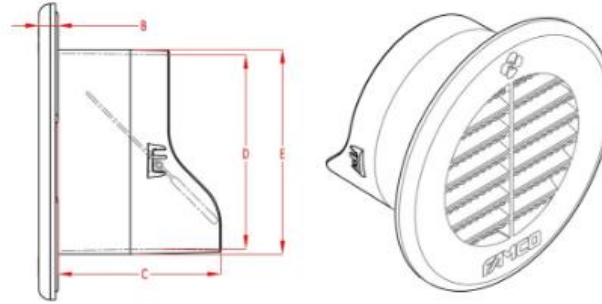
**(2) VENTS TO BE LOCATED UNDER EAVE AT SECOND STORY CEILING OF SERVICE ELL. VENT TO BE CENTERED BETWEEN POSTS & CENTERED FRONT TO BACK; TYP.**

- The body is made of polypropylene for superior weather performance and longevity of use. Provided with multiple mounting holes. Built with a “hose grabber” to hold the flex tube in place, and with the longest stem length available.
- The viewable fascia is made of paintable ABS with UV protection. The fascia is orientable after installation, and with an integrated screening for pest control.
- Available in three colors: white, brown, or beige.

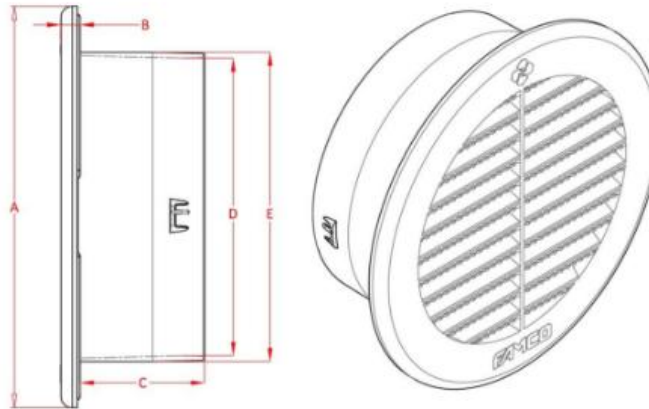
# SOFFIT & FOUNDATION VENTS



## UNDER EAVE VENT- UEV\_\_



PLASTIC UNDER EAVE VENTS							
ITEM#	SIZE (in)	A	B	C	D	E	FREE AREA (in <sup>2</sup> )
UEVD4	4	5 3/4	3/8	3 1/8	3 3/4	4	10.92

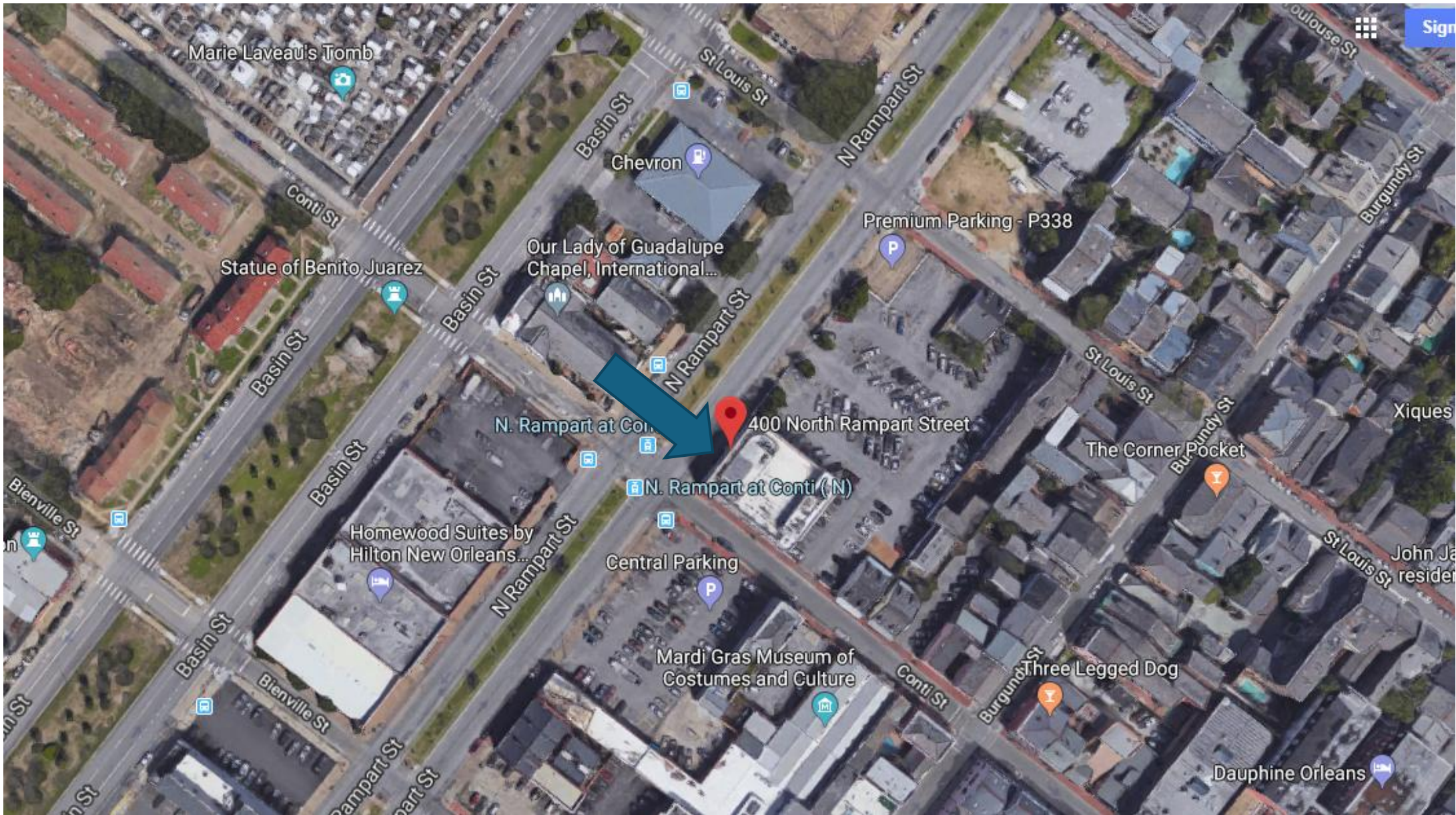


PLASTIC UNDER EAVE VENTS							
ITEM#	SIZE (in)	A	B	C	D	E	FREE AREA (in <sup>2</sup> )
UEV6	6	7 3/4	3/8	3 1/8	5 3/4	6	25.58





**400 N Rampart**



400 N. Rampart

VCC Architectural Committee

December 16, 2025





400 N. Rampart

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December 16, 2025



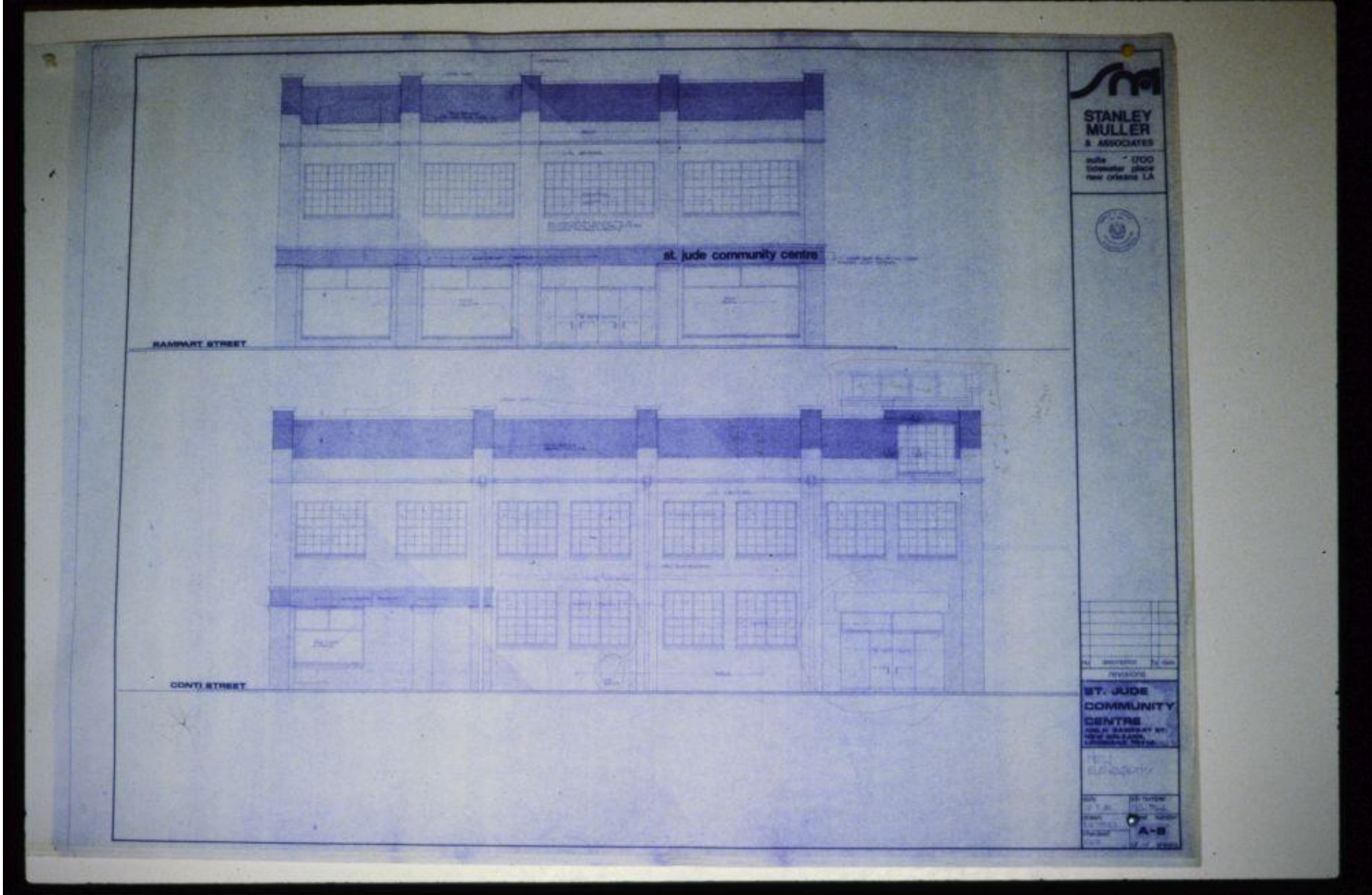


400 N. Rampart - 1982

VCC Architectural Committee

December 16, 2025



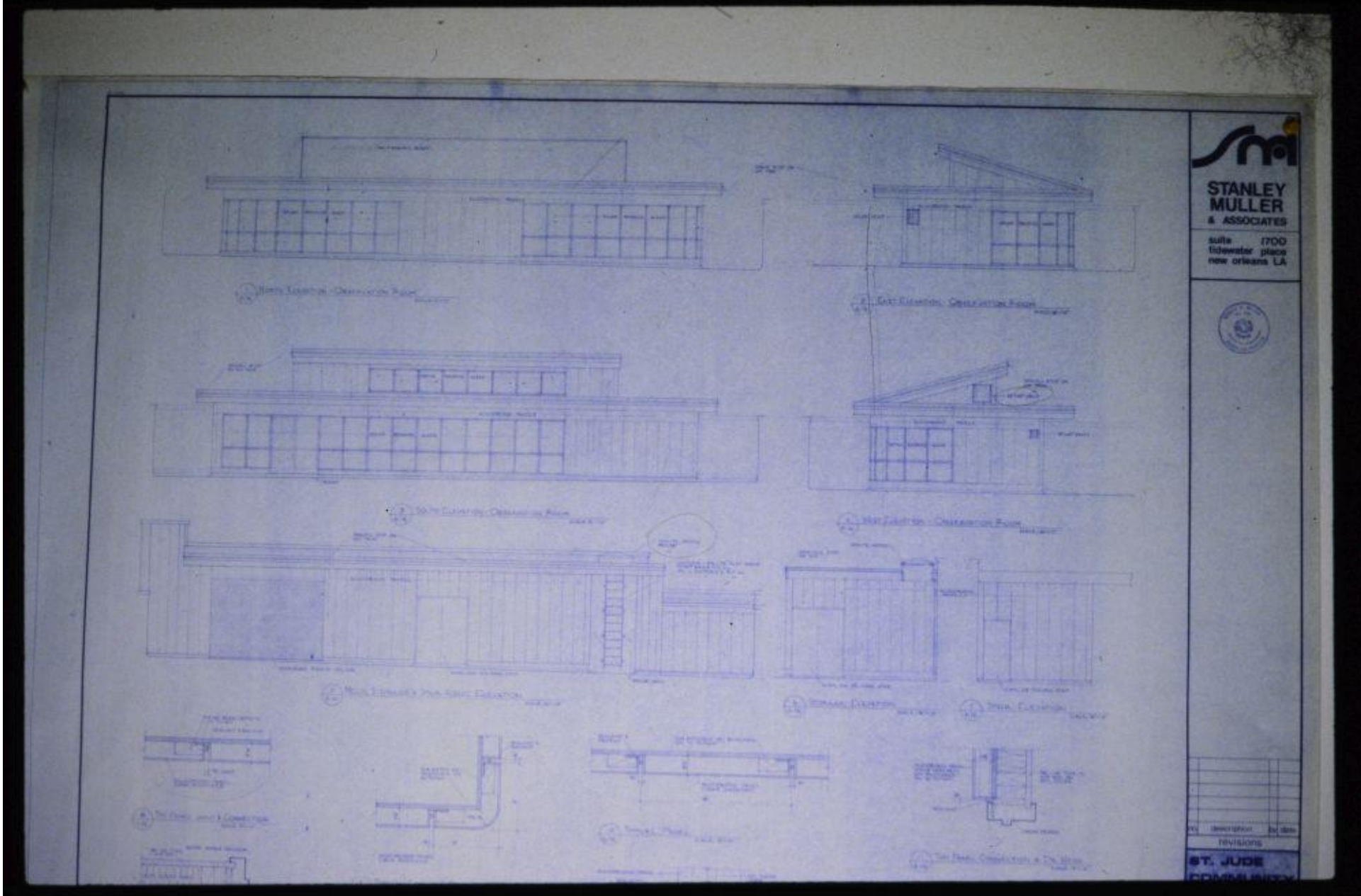


400 N. Rampart – 1982

Renovation Cultural Committee

December 16, 2025





400 N. Rampart – 1982 Renovation – Rooftop Addition





400 N. Rampart

VCC Architectural Committee

December 16, 2025





400 N. Rampart

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December 16, 2025





400 N. Rampart

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December 16, 2025





400 N. Rampart  
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December 16, 2025





400 N. Rampart

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04 30 2021

December 16, 2025



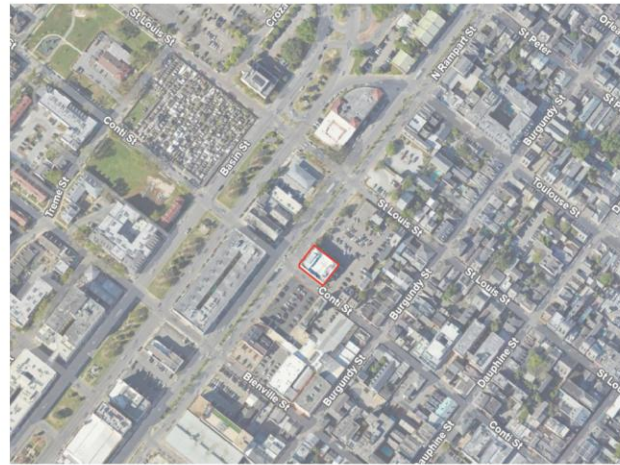


04 30 2021



**GENERAL NOTES**

1. THE CONTRACTOR SHALL CONFIRM AND VERIFY IN WRITING (EMPLOY SURVEYOR) THAT ALL PROPERTY LINES AND SETBACKS ARE MET PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM AUTHORITIES HAVING JURISDICTION. CONSTRUCTION WORK IS NOT TO BEGIN UNTIL ALL REQUIRED REGULATORY APPROVALS HAVE BEEN ISSUED.
3. ALL MATERIALS AND WORK SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, AND APPROVALS THAT ARE REQUIRED BY PUBLIC AUTHORITIES HAVING JURISDICTION OVER THE WORK. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
4. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO PROVIDE FOR COMPLETE AND FINISHED WORK. EACH TRADE (SUBCONTRACTOR) SHALL COMPLETELY REVIEW PLANS FOR THEIR RESPECTIVE WORK AND RELATED WORK BY OTHER TRADES (SUBCONTRACTORS). THE CONTRACTOR SHALL COORDINATE AND PROVIDE ALL MISCELLANEOUS COMPONENTS AND PARTS WHICH ARE NOT SHOWN ON THE CONTRACT DOCUMENTS BUT ARE REQUIRED TO COMPLETE THE WORK SHOWN. INCIDENTAL WORK AND COMPONENTS WHICH ARE REQUIRED AS AN ESSENTIAL, FUNCTIONAL OR OPERATIONAL ITEM OR SYSTEM, ARE REQUIRED TO COMPLETE ANY ASSEMBLY AND TO COMPLETE FULL SCOPE OF WORK.
5. THE CONTRACTOR SHALL SUBCONTRACT WITH SUPPLIERS, FABRICATORS, AND INSTALLATION COMPANIES WHICH CAN DEMONSTRATE THAT THEY POSSESS THE KNOWLEDGE, EXPERIENCE AND PROVEN CAPABILITIES TO FULLY PERFORM ALL ASPECTS OF WORK WITHOUT OMISSION.
6. ALL PRODUCTS SHALL BE INSTALLED IN COMPLIANCE WITH INDUSTRY STANDARDS AND AS REQUIRED BY THE PRODUCT MANUFACTURER'S LATEST PUBLISHED SPECIFICATIONS AND INSTALLATION REQUIREMENTS.
7. THE CONTRACTOR SHALL PROTECT ALL MATERIALS, CONSTRUCTION, UTILITIES AND FACILITIES FROM DAMAGE, INCLUDING WORKERS, THEFT AND WEATHER. DAMAGED COMPONENTS SHALL BE REPLACED AT NO COST TO OWNER.
8. ALL PIPE CHASE WALLS SHALL BE CONSTRUCTED TO COMPLETELY CONCEAL AND ENCLOSE PIPES WITH FULL THICKNESS OF GYPSUM BOARD ON EACH SIDE OF THE WALL.
9. THE CONTRACTOR SHALL INSTALL AND PROVIDE ALL SAFETY BARRIERS DURING CONSTRUCTION TO PROTECT THE PUBLIC FROM INJURY AND ACCESS TO THE BUILDING AND SITE.
10. FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH PUBLISHED UL CERTIFICATIONS DIRECTORY LISTINGS AND CLASSIFICATIONS AND SHALL BE IN ACCORDANCE WITH CONTINUITY DIAGRAMS. JOINTS OCCURRING IN FIRE RATED ASSEMBLIES (WALLS AND CEILINGS) SHALL BE STAGGERED BOTH HORIZONTALLY AND VERTICALLY.
11. SUBSTITUTIONS MUST BE PRE-APPROVED IN WRITING BY ARCHITECT PRIOR TO THE START OF CONSTRUCTION. ANY WORK OR MATERIAL REQUIREMENTS OF SUCH SUBSTITUTION SHALL BE COORDINATED (WITH ALL TRADES) AND PROVIDED BY THE CONTRACTOR. CONTRACTOR MUST VERIFY IN WRITING ALL SUBSTITUTIONS WILL NOT IMPACT PROJECT COST OR PROJECT SCHEDULE PRIOR TO REQUEST OF SUCH SUBSTITUTION. SUBSTITUTIONS SHALL BE APPROVED BY REGULATORY AGENCIES IN WRITING PRIOR TO THE START OF CONSTRUCTION.
12. THE CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW AND COORDINATE ALL ARCHITECTURAL, ELECTRICAL AND MECHANICAL WORK TO CONFIRM THAT ALL COMPONENTS WILL ACHIEVE THEIR INTENDED USE AND WILL MAINTAIN CEILING HEIGHTS SHOWN. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
13. ASBESTOS ABATEMENT, LEAD PAINT REMOVAL, AND OTHER HAZARDOUS MATERIAL REMOVAL IS NOT IN THE CONTRACT. SHOULD THE CONTRACTOR ENCOUNTER THE PRESENCE, OR POSSIBLE PRESENCE, OF POTENTIALLY HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR INSTRUCTIONS PRIOR TO CONTINUING WORK.
14. SAFETY MEASURES: AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY, AND FOR ALL NECESSARY INDEPENDENT REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S, ENGINEER'S, OR OWNER'S JOB SITE REVIEW IS NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
15. THE CONTRACTOR SHALL NOT SUBMIT FINAL PRICE OR EXECUTE CONTRACT WITH OWNER UNTIL ALL REQUIRED CHANGES REQUESTED BY THE REGULATORY AGENCIES HAVE BEEN INCLUDED IN THE CONTRACT PRICE.
16. BUILDINGS SHALL BE MAINTAINED IN WEATHERPROOF AND SECURE CONDITION AS EARLY AS POSSIBLE THROUGHOUT WORK.
17. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ACTUAL LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES ON THE PROJECT SITE. LOCATIONS OF EXISTING UTILITIES AND STRUCTURES INDICATED ON THE DRAWINGS ARE APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL THAT MAY EXIST ON THE PROJECT SITE. THE CONTRACTOR SHALL COORDINATE THE LOCATION (HORIZONTAL AND VERTICAL) OF THE EXISTING UTILITIES (POWER, TELEPHONE, GAS, WATER, SEWER, ETC) WITH THE APPROPRIATE UTILITY PROVIDER BEFORE CONSTRUCTION BEGINS AND AT NO ADDITIONAL COST TO THE OWNER.
19. ALL EXISTING SANITARY SEWER MANHOLE TOPS, WATER VALVE BOXES, METERS, STORM SEWERS, OR OTHER RELATED APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
20. WHEN PROJECT IS COMPLETE, CLEAN AND POLISH GLASS, HARDWARE, AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED DUST CLOTHES OR VACUUM CLEANERS. WASTE AND REFUSE CAUSED BY THE WORK SHALL BE REMOVED FROM PREMISES AND DISPOSED OF BY CONTRACTOR. CLEAN SITE AT END OF PROJECT. REMOVE DUST, DEBRIS, OILS, STAINS, FINGERPRINTS, AND LABELS FROM EXPOSED SURFACES, INCLUDING GLAZING.
21. FURNITURE IS FOR REFERENCE ONLY. FURNITURE IS NOT IN PROJECT SCOPE. FURNITURE, FIXTURES AND EQUIPMENT (FFE), IF REQUIRED, WILL BE SUBMITTED IN A SEPARATE DESIGN PACKAGE.
22. DO NOT SCALE DRAWINGS FOR FIELD LAYOUT. CONTACT ARCHITECT IF DIMENSIONS ARE NEEDED AND CANNOT BE FOUND IN DRAWING SET.
23. FLOOR PLAN DIMENSIONS TAKEN FROM FACE OF STUD OR CENTERLINE OF STUD / COLUMN UNLESS OTHERWISE NOTED. "CLEAR" REFERS TO DIMENSION BETWEEN FACES OF FINISH SURFACES. "EQ" OR "EQUAL" INDICATES DIMENSION TO MATCH ADJACENT. LETTERED DIMENSIONS (A,B,C,D,ETC) INDICATE DIMENSION TO MATCH OPPOSITE OR REMOTE (MATCHING LETTER) DIMENSION. "1/2" INDICATES APPROXIMATE DIMENSION BASED ON FIELD CONDITION OR FLEXIBLE DIMENSION THAT CAN BE ADJUSTED.
24. ALL DIMENSIONS ON REFLECTED CEILING / LIGHTING PLANS ARE CLEAR DIMENSIONS.
25. THESE DRAWINGS ARE ACCOMPANIED BY THE PROJECT MANUAL.



**ST. JUDE COMMUNITY CENTER**  
**400 N. RAMPART ST**  
**NEW ORLEANS, LA 70112**

**ARCHITECT:**

RICHARD ALBERT  
ALBERT ARCHITECTURE & URBAN DESIGN, AP LLC  
2739 CONTI ST  
NEW ORLEANS, LA 70119  
504.827.0056  
ALBERT@ALBERT-ARCHITECTURE.COM

**OWNER:**

CASEY GUIDRY  
PRESIDENT & CEO  
START CORPORATION  
106 SCHOOL ST  
HOUMA, LA 70360

**STRUCTURAL ENGINEER:**

EHC ENGINEERING  
6050 PONTCHARTRAIN BLVD  
SUITE 200  
NEW ORLEANS, LA 70124  
504.372.1047

**MEP ENGINEER:**

PIVOTAL, LLC  
1515 POYDRAS ST  
SUITE 1875  
NEW ORLEANS, LA 70112  
504.799.3653

**ALBERT ARCHITECTURE**

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New Orleans, LA 70119  
504.827.0056

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**Community Health**

400 N Rampart St  
New Orleans, LA 70112

AA2402



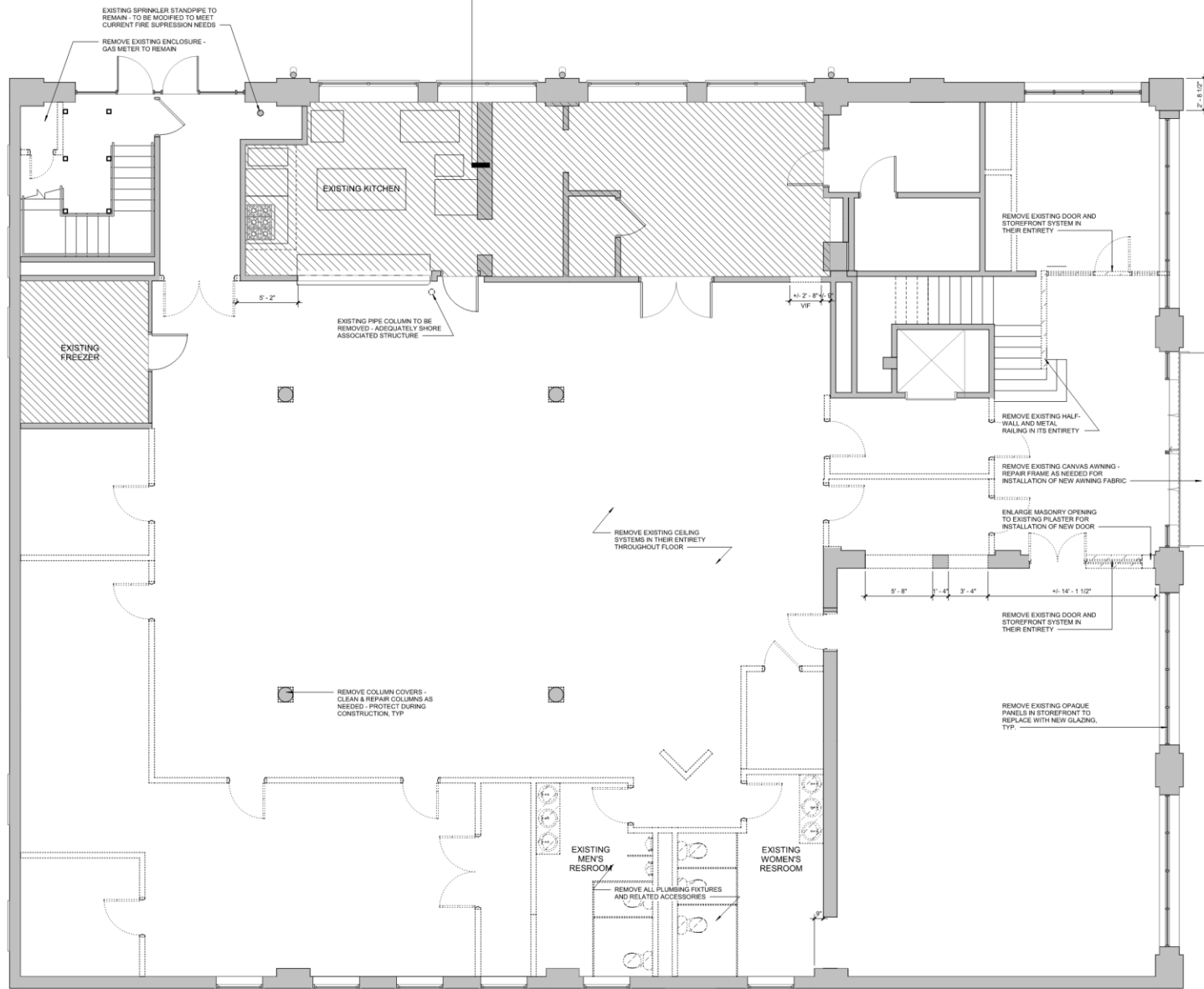
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**G-0.00**

COVER SHEET





**GRAPHIC LEGEND**

- EXISTING WALLS, FLOORS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN

**DEMOLITION NOTES**

1. REMOVE AND SALVAGE LIGHT FIXTURES FOR OWNER'S USE.
2. REMOVE AND SALVAGE EXISTING HVAC EQUIPMENT, FIXTURES, AND DISTRIBUTION FOR OWNER'S USE.
3. REMOVE AND SALVAGE EXISTING ELECTRICAL EQUIPMENT FOR OWNER'S USE.
4. REMOVE AND SALVAGE EXISTING PLUMBING FIXTURES FOR OWNER'S USE.
5. REMOVE AND SALVAGE EXISTING FIRE PROTECTION FIXTURES FOR OWNER'S USE.
6. EXISTING PLASTER AT EXISTING WALLS TO REMAIN. REMOVE LOOSE AND CRUMBING PLASTER FROM EXISTING WALLS, TYP.
7. REMOVE PLYWOOD AND GYPSUM BOARD AT EXISTING STEEL WINDOWS AND EXPOSE ORIGINAL WINDOW OPENING, TYP.
8. REMOVE ALL EXISTING CONSTRUCTION IN CONFLICT WITH NEW DESIGN. DEMO CONTRACTOR TO THOROUGHLY REVIEW EXISTING CONDITIONS & DISCUS PROPOSED SCOPE WITH ARCHITECT PRIOR TO THE START OF DEMOLITION WORK.
9. PROTECT EXISTING FROM WEATHER.



**D-1.01**

FIRST FLOOR  
 DEMOLITION

1 FIRST FLOOR PLAN - DEMOLITION  
 D-1.01 1/4" = 1'-0"

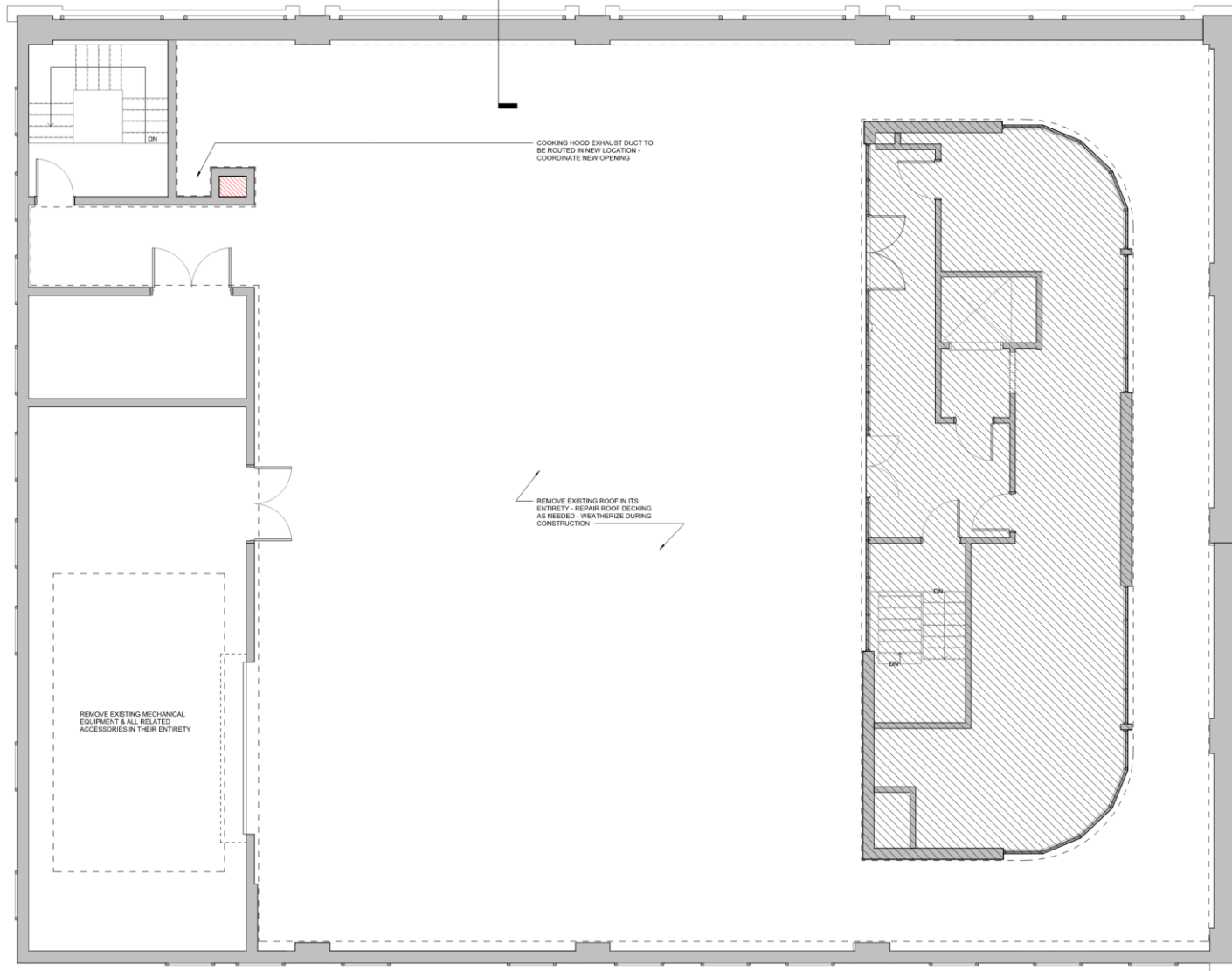


**GENERAL FLOOR PLAN NOTES**

1. OVERALL FLOOR PLANS INCLUDE OVERALL BUILDING DIMENSIONS, EXTERIOR ELEVATION TAGS, GENERAL NOTES, EXTERIOR DOOR AND WINDOW TAGS, UNIT LABELS.
2. ENLARGED FLOOR PLANS INCLUDE PARTITION DESIGNATIONS AND DIMENSIONS, DOOR TAGS, UNIT LABELS, WINDOW TAGS. FOR INTERIOR ELEVATION TAGS, SEE ENLARGED PLANS ON SHEETS A-4.00 THROUGH A-4.10. ENLARGED FLOOR PLAN AND SECTION DETAILS INCLUDE WALL ASSEMBLY, MATERIAL, DESIGNATION, WEATHER BARRIER AND ENVELOPE PROTECTION.
3. IN ALL UNITS, PROVIDE BLOCKING IN WALLS LOCATED AT 3" TO 36" AFF ADJACENT TO TOILETS AND SHOWERS FOR FUTURE INSTALLATION OF GRAB BARS.
4. PROVIDE BLOCKING IN WALLS AT ALL LOCATIONS DESIGNATED TO RECEIVE WALL MOUNT ELEMENTS SUCH AS TV, CABINETS, LIGHTS, FIXTURES, DEVICES, ACCESSORIES, ETC.
5. ALL WALLS AT BEDROOMS AND OFFICES TO RECEIVE SOUND BATT INSULATION.

**GRAPHIC LEGEND**

- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
- NEW WALL



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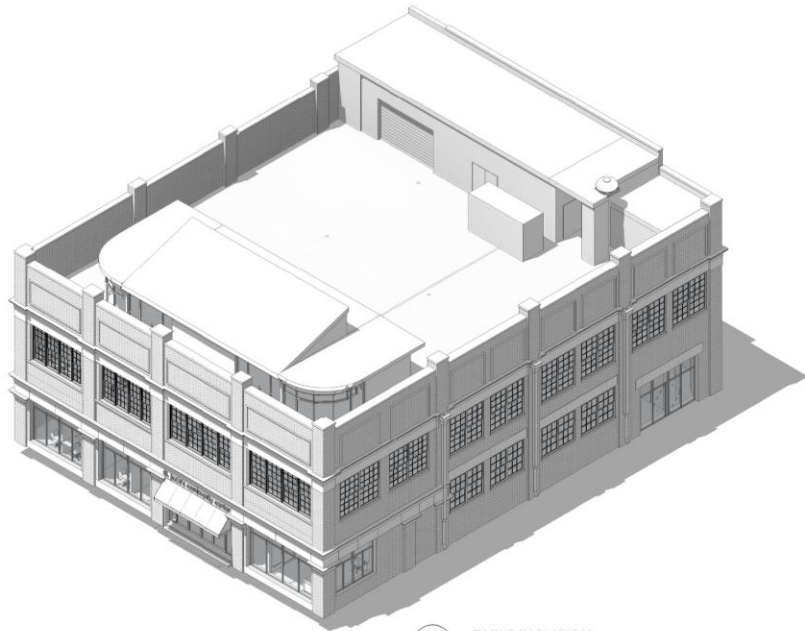
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**D-1.03**

THIRD FLOOR  
DEMOLITION

1 THIRD FLOOR PLAN - DEMOLITION  
D-1.03 1/4" = 1'-0"

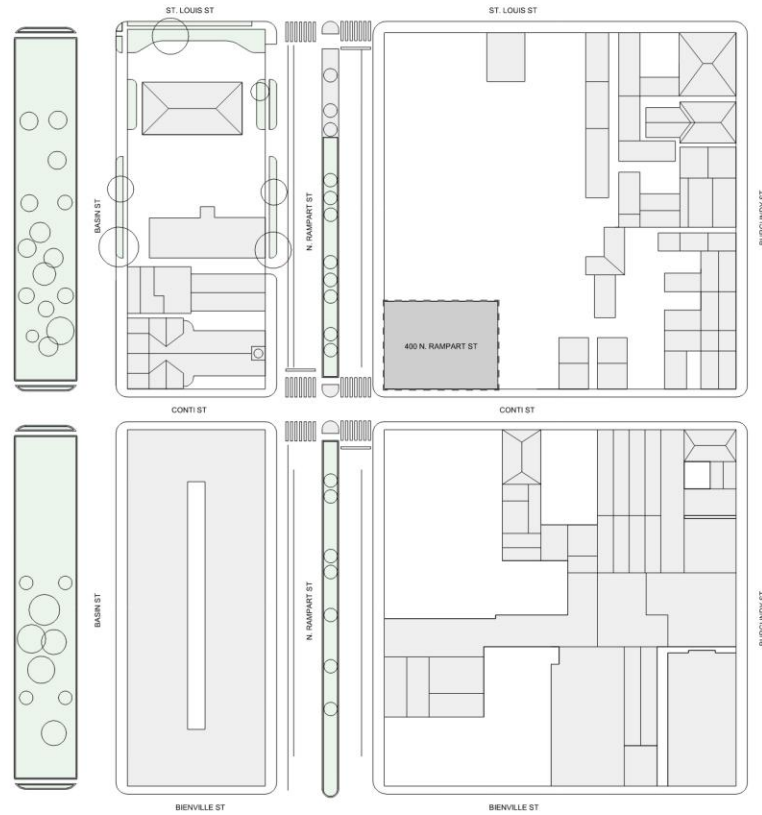




1 BUILDING AXON  
A-1.00



3 CORNER OF N. RAMPART ST + CONTI ST  
A-1.00



2 SITE PLAN  
A-1.00 1" = 50'-0"



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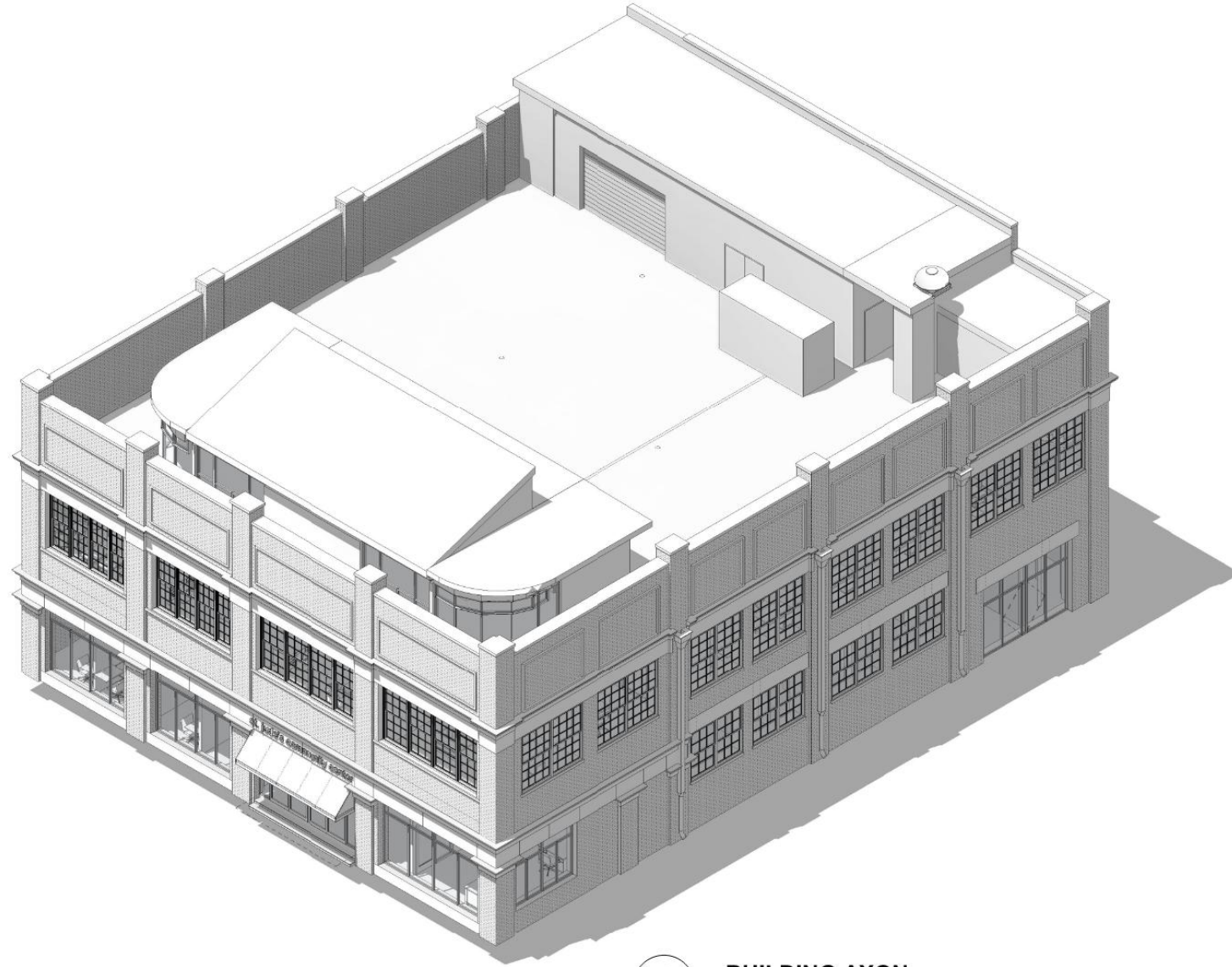
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**A-1.00**

SITE PLAN AND VIEWS

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1  
A-1.00

**BUILDING AXON**

400 N. Rampart

VCC Architectural Committee

December 16, 2025

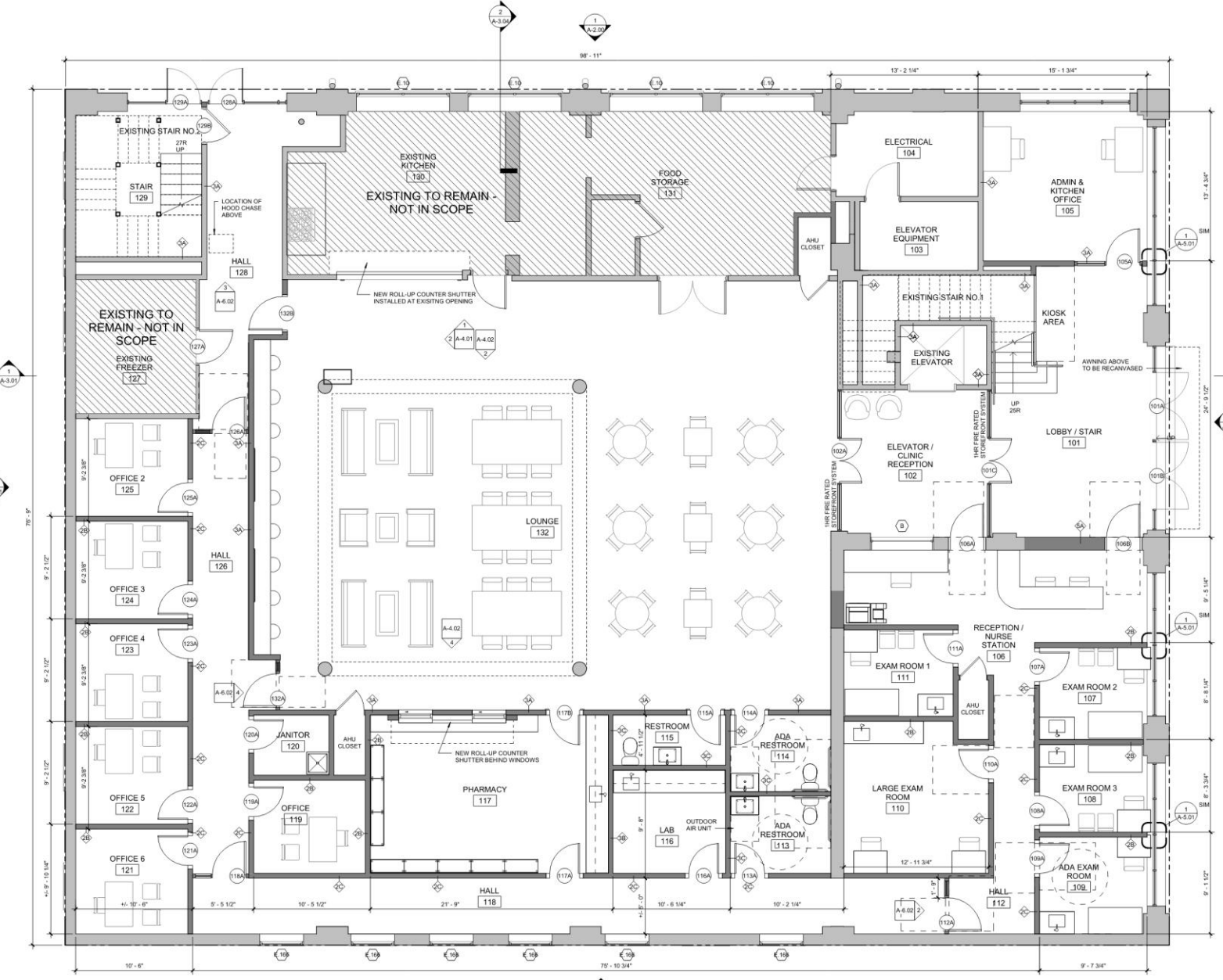


**GENERAL FLOOR PLAN NOTES**

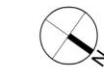
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- ALL WALLS AT BEDROOMS AND OFFICES TO RECEIVE SOUND BATT INSULATION.

**GRAPHIC LEGEND**

- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
- NEW WALL



**FIRST FLOOR PLAN - OVERALL**  
1/4" = 1'-0"



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**A-1.01**

FIRST FLOOR PLAN

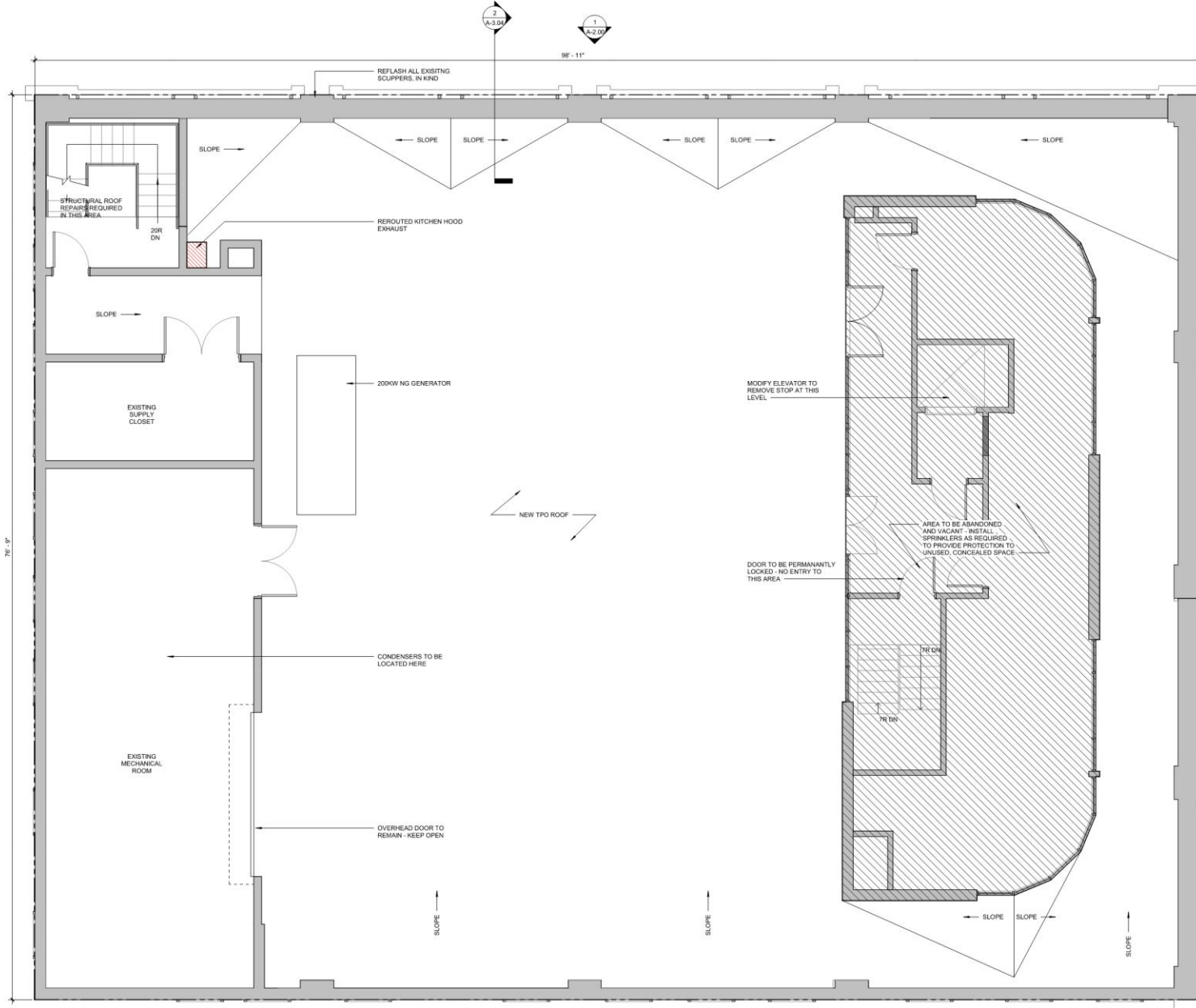


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- NEW WALL



1  
A-1.03  
THIRD FLOOR PLAN - OVERALL  
1/4" = 1'-0"

400 N. Rampart  
VCC Architectural Committee

Community Health  
400 N Rampart St  
New Orleans, LA 70112  
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A-1.03  
THIRD FLOOR PLAN



December 16, 2025



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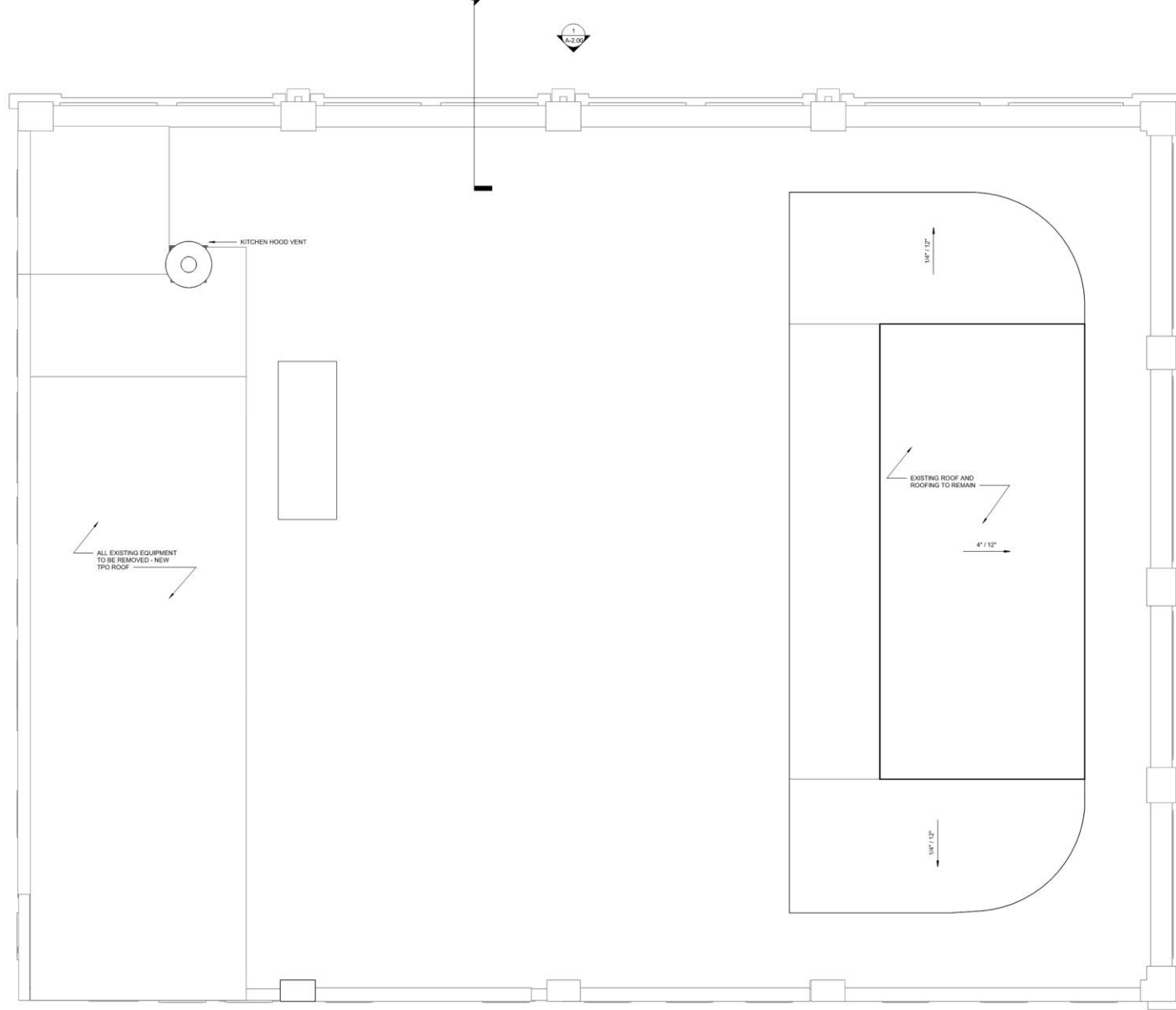


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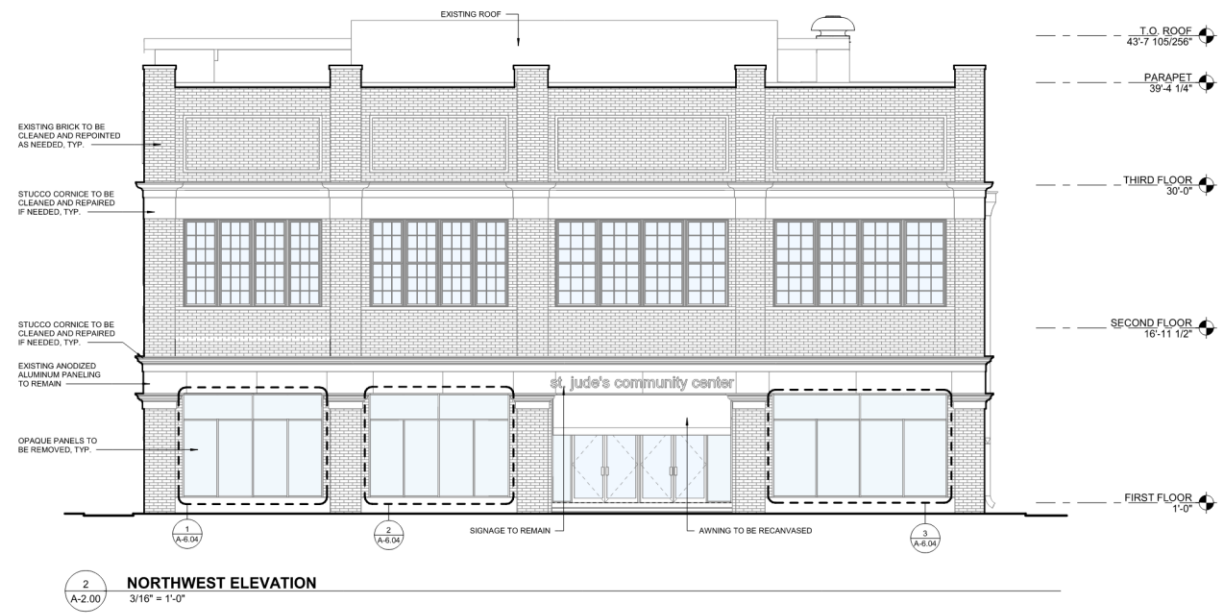
**A-1.04**

ROOF PLAN - HIGH ROOF

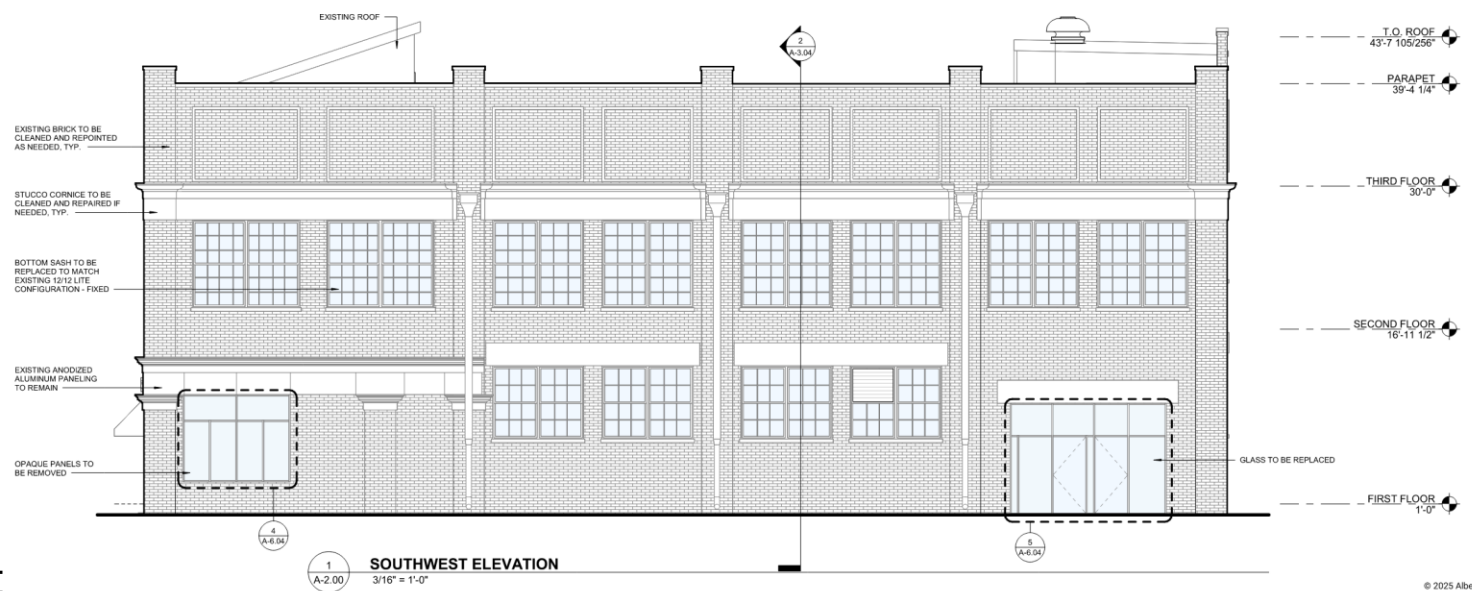


**1**  
**ROOF**  
 1/4" = 1'-0"





**2 NORTHWEST ELEVATION**  
3/16" = 1'-0"



**1 SOUTHWEST ELEVATION**  
3/16" = 1'-0"

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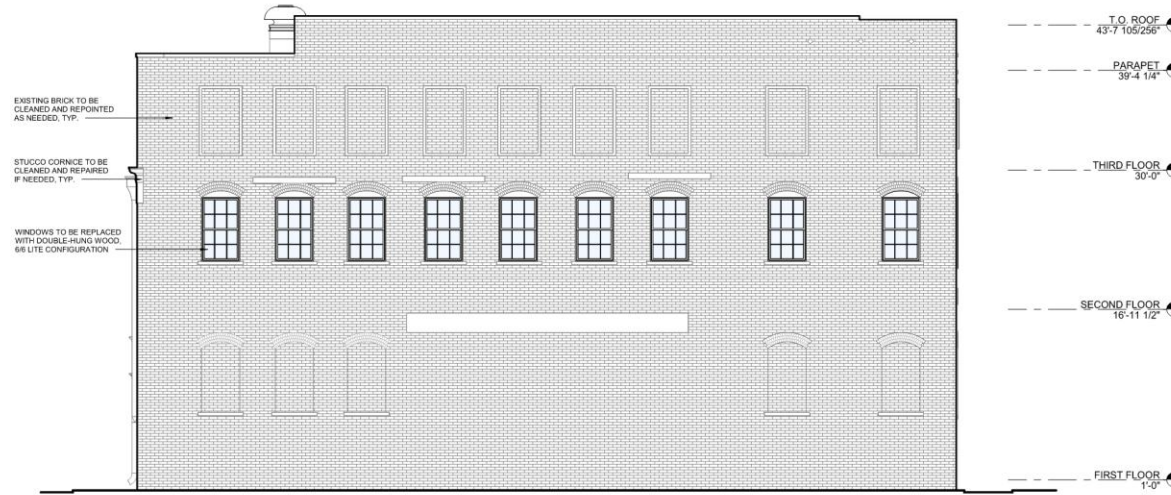
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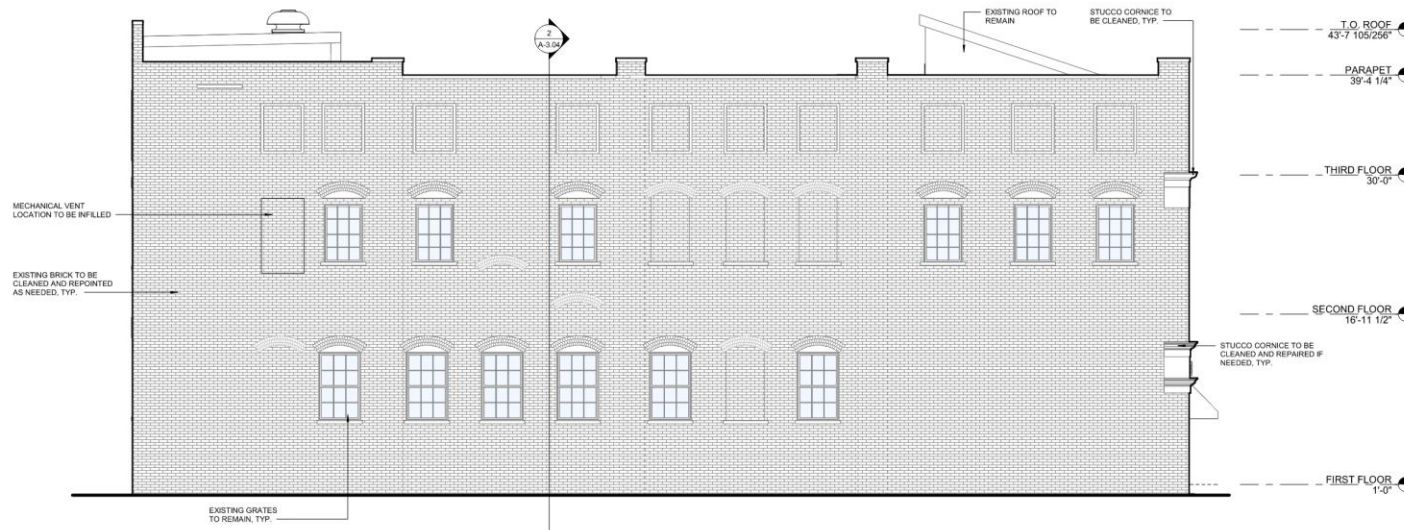
**A-2.00**

EXTERIOR ELEVATIONS





2  
A-2.01  
**SOUTHEAST ELEVATION**  
3/16" = 1'-0"



1  
A-2.01  
**NORTHEAST ELEVATION**  
3/16" = 1'-0"

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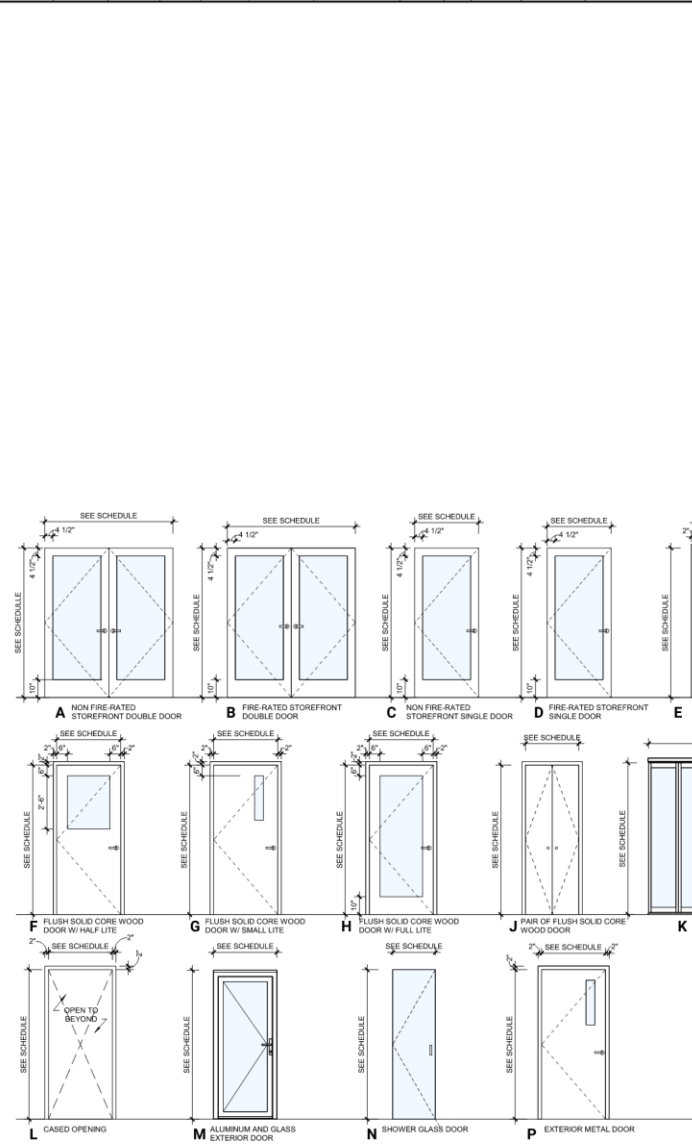
**A-2.01**

EXTERIOR ELEVATIONS



FRAME AND DOOR SCHEDULE									
DOOR NUMBER	FRAME OPENING			DOOR (OR OPENING) DESCRIPTION	FRAME	STC	DOOR FIRE RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	TYPE						
	5'-11 1/2"	6'-0"	B	ALUMINUM AND GLASS INTERIOR DOUBLE DOOR	-	-	-	-	-
	4'-10 1/2"	5'-3 1/4"	A	ALUMINUM AND GLASS EXTERIOR DOUBLE DOOR	-	-	-	-	-
	2'-10 1/2"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	-	-	-
101A	6'-0"	7'-0"	A	ALUMINUM AND GLASS EXTERIOR DOUBLE DOOR	-	-	-	-	-
101B	6'-0"	7'-0"	A	ALUMINUM AND GLASS EXTERIOR DOUBLE DOOR	-	-	-	-	-
101C	4'-0"	7'-0"	B	ALUMINUM AND GLASS INTERIOR DOUBLE DOOR	-	-	60	-	-
101D	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
101E	2'-6"	7'-0"	B	-	-	-	-	-	-
101L	2'-6"	7'-0"	B	-	-	-	-	-	-
101N	2'-10 1/2"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	-	-	-
101P	2'-6"	7'-0"	B	-	-	-	-	-	-
101Q	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
101R	2'-6"	7'-0"	B	-	-	-	-	-	-
101S	2'-6"	7'-0"	B	-	-	-	-	-	-
101T	11'-3 3/16"	4'-0"	-	-	-	-	-	-	-
101U	9'-7 1/2"	4'-0"	-	-	-	-	-	-	-
102A	4'-0"	7'-0"	B	ALUMINUM AND GLASS INTERIOR DOUBLE DOOR	-	-	60	-	-
105A	3'-0"	7'-0"	D	ALUMINUM AND GLASS INTERIOR DOOR	-	-	-	-	-
106A	3'-0"	7'-0"	F	FLUSH SOLID CORE WOOD (PTD)	-	-	49	60	-
106B	3'-0"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	49	60	-
107A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
108A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
109A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
110A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
111A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
112A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	-	-	-
113A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
114A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	45	-
115A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	45	-
116A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
117A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
117B	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	45	-
118A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	-	-	-
119A	2'-6"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
120A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
121A	2'-6"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
122A	2'-6"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
123A	2'-6"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
124A	2'-6"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
125A	2'-6"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
126A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	-	-	-
128A	3'-0"	7'-0"	C	ALUMINUM AND GLASS EXTERIOR DOOR	-	-	-	-	-
129A	3'-0"	7'-0"	C	ALUMINUM AND GLASS EXTERIOR DOOR	-	-	-	-	-
132A	3'-0"	7'-0"	D	ALUMINUM AND GLASS INTERIOR DOOR	-	-	49	45	-
132B	3'-0"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	49	45	-
204A	2'-6"	7'-0"	F	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
205A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
207A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
208A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
209A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
210A	2'-10"	7'-0"	H	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
211A	2'-6"	7'-0"	J	PAIR FLUSH SOLID CORE WOOD (PTD)	-	-	-	-	-
212A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
213A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
214A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
216A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	20	-
217A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	20	-
218A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	20	-
219A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	20	-
221A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
222A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
223A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	52	-	-
224A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
225A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
227A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	52	-	-
228A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	52	-	-
230A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	49	20	-
231A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	49	-	-
232A	2'-6"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	20	-
232GG	15'-11"	9'-0"	-	-	-	-	-	-	-
233H	6'-4"	7'-0"	-	-	-	-	-	-	-
233A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	49	20	-
234A	3'-0 1/4"	7'-0"	D	ALUMINUM AND GLASS INTERIOR DOOR	-	-	49	45	-
236A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
238A	2'-10"	7'-0"	F	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
238B	8'-0"	7'-0"	K	RETRACTABLE GLAZED PARTITION	-	-	52	-	-
239A	2'-10"	7'-0"	F	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
240A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
241A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
242A	2'-10"	7'-0"	G	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
243A	3'-0"	7'-0"	L	-	-	-	-	-	-
244A	3'-0"	7'-0"	L	-	-	-	-	-	-
245A	2'-10"	7'-0"	H	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
246A	4'-0"	7'-0"	-	-	-	-	-	-	-
247A	2'-10"	7'-0"	L	-	-	-	52	-	-
248A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
249A	2'-10"	7'-0"	E	FLUSH SOLID CORE WOOD (PTD)	-	-	52	-	-
252A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	52	-	-
253A	3'-0"	7'-0"	C	ALUMINUM AND GLASS INTERIOR DOOR	-	-	52	-	-
255A	3'-0"	7'-0"	F	FLUSH SOLID CORE WOOD (PTD)	-	-	45	-	-

DOOR NUMBER	FRAME OPENING			DOOR (OR OPENING) DESCRIPTION	FRAME	STC	DOOR FIRE RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	TYPE						



DOOR TYPES  
3/8" = 1'-0"

Albert Architecture & Urban Design apic  
2739 Canal Street  
New Orleans, LA 70119  
504.827.0056

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Community Health  
400 N Rampart St  
New Orleans, LA 70112  
AA2402



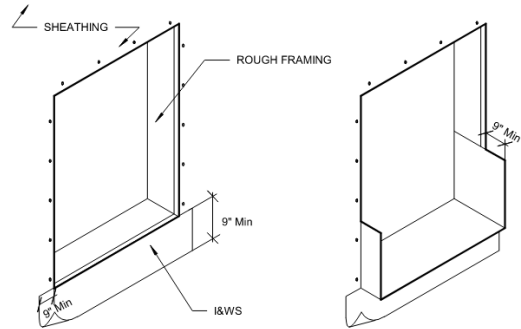
Drawn by: NSJ/M  
Checked by: JM/RA

VCC SUBMITTAL: 02/25/2025  
DO SUBMITTAL: 04/16/2025  
PERMIT SUBMITTAL: 12/01/2025

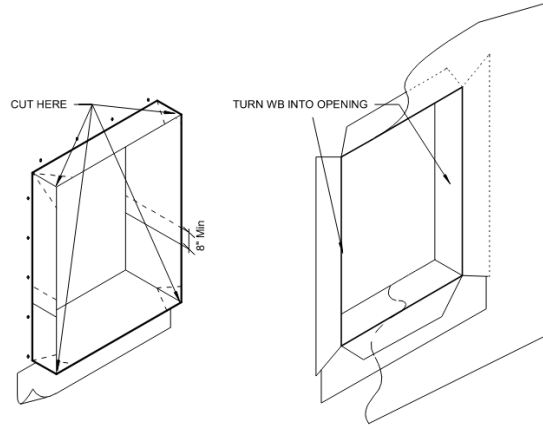
**A-6.11**

DOOR SCHEDULE AND  
DETAILS

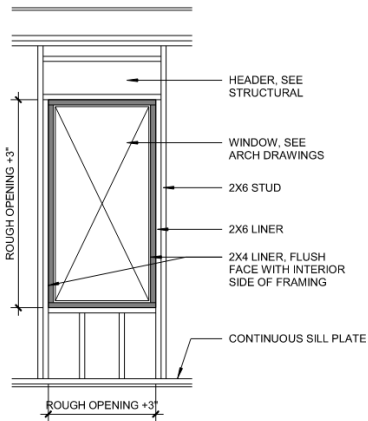




1. APPLY FLEXIBLE SELF ADHESIVE FLASHING MEMBRANE (GRACE ICE & WATER SHIELD, TYVEK FLEX WRAP, OR EQUAL) AT BOTTOM EDGE OF ROUGH OPENING. EXTEND 9" MIN PAST EACH SIDE. LEAVE BOTTOM EDGE UNATTACHED & LAP OVER WEATHER BARRIER.
2. APPLY CONTINUOUS FLEXIBLE SELF ADHESIVE FLASHING MEMBRANE (GRACE ICE & WATER SHIELD, TYVEK FLEX WRAP OR EQUAL) STRIP IN BOTTOM OF ROUGH OPENING OVER ANGLED SILL BLOCKING. EXTEND 1/2 WAY UP ROUGH OPENING EACH SIDE. PROJECT FLASHING 9" MIN FROM FACE OF SHEATHING.



3. APPLY CONTINUOUS FLEXIBLE SELF ADHESIVE FLASHING MEMBRANE (GRACE ICE & WATER SHIELD, TYVEK FLEX WRAP, OR EQUAL) STRIP IN TOP OF ROUGH OPENING. EXTEND 8" PAST BOTTOM MEMBRANE STRIP. PROJECT FLASHING 9" MIN FROM FACE OF SHEATHING. CUT MEMBRANES AT CORNERS AND FOLD BACK AGAINST SHEATHING.
4. FOLD FLASHING MEMBRANE AGAINST FACE OF SHEATHING. INSTALL FLUID APPLIED WEATHER BARRIER OVER FLASHING AT TOP AND SIDES, UNDER FLASHING AT SILL. TURN WEATHER BARRIER INTO ROUGH OPENING.



2  
A-6.14 **TYPICAL ROUGH OPENING FRAMING DETAIL**  
1/2" = 1'-0" AT NEW ROUGH OPENINGS

1  
A-6.14 **TYPICAL MOISTURE BARRIER WRAP DIAGRAM**  
1/2" = 1'-0" AT NEW ROUGH OPENINGS

WINDOW SCHEDULE				
MARK	DESCRIPTION	SIZE		Comments
		WIDTH	HEIGHT	
E.10		8'-4"	6'-8"	
E.20		3'-7"	6'-0"	
E.21		8'-4"	8'-0"	
E.22		9'-10"	8'-0"	
E.156		12'-8"	8'-0"	
E.157		15'-10"	8'-0"	
E.158		3'-7"	6'-0"	
E.166		3'-11"	6'-4 1/2"	
E.168		3'-7"	5'-6"	
E.169		3'-0"	3'-0"	



# Spark-Ignited Generator set

125, 150, 175, & 200 kW  
Standby  
EPA Emissions



## Description

Cummins Power Generation generator sets are fully integrated power generation systems providing optimum performance, reliability and versatility for stationary standby applications.

## Features

**Gas engine** - Rugged 6-cylinder Cummins QSJ8.9G spark-ignited engine delivers reliable power. The electronic air/fuel ratio control provides optimum engine performance and fast response to load changes.

**Alternator** - Several alternator sizes offer selectable motor starting capability with low reactance 2/3 pitch windings, low waveform distortion with non-linear loads and fault clearing short-circuit capability.

**Control system** - The PowerCommand<sup>®</sup> 2.3 electronic control is standard equipment and provides total generator set system integration including automatic remote starting/stopping, precise frequency and voltage regulation, alarm and status message display, output metering, auto-shutdown at fault detection and NFPA 110 Level 1 compliance.

**Cooling system** - Standard cooling package provides reliable running at up to 50 °C (122 °F) ambient temperature.

**Enclosures** - The aesthetically appealing enclosure incorporates special designs that deliver one of the quietest generators of its kind. Aluminum material plus durable powder coat paint provides the best anti-corrosion performance. The generator set enclosure has been evaluated to withstand 180 MPH wind loads in accordance with ASCE7-10. The design has hinged doors to provide easy access for service and maintenance.

**NFPA** - The generator set accepts full rated load in a single step in accordance with NFPA 110 for Level 1 systems.

**Warranty and service** - Backed by a comprehensive warranty and worldwide distributor and dealer network.

Model	Natural Gas		Data sheets
	Standby (60 Hz)		
	kW	kVA	60 Hz
C125N6	125	156	NAD-6303
C150N6	150	188	NAD-6304
C175N6B	175	218	NAD-6632
<b>C200N6B</b>	<b>200</b>	<b>250</b>	NAD-6633



## Generator Set Specifications

Governor regulation class	ISO 8528 Part 1 Class G3
Voltage regulation, no load to full load	± 1.0%
Random voltage variation	± 1.0%
Frequency regulation	Isochronous
Random frequency variation	± 0.25% @ 60 Hz
Radio frequency emissions compliance	FCC code title 47 part 15 class B

## Engine Specifications

Design	Turbocharged and Aftercooled
Bore	114.1 mm (4.49 in)
Stroke	144.5 mm (5.69 in)
Displacement	8.9 liters (543 in <sup>3</sup> )
Cylinder block	Cast iron, in-line 6 cylinder
Battery capacity	850 amps standard, dual battery optional
Battery charging alternator	100 amps
Starting voltage	12-volt, negative ground
Lube oil filter type(s)	Spin-on
Standard cooling system	125 kW - 50 °C (122 °F) ambient cooling system 150 kW - 45 °C (113 °F) ambient cooling system 175 kW - 50° C (122° F) ambient cooling system 200 kW - 45° C (113° F) ambient cooling system
Rated speed	1800 rpm

## Alternator Specifications

Design	Brushless, 4 pole, drip proof, revolving field
Stator	2/3 pitch
Rotor	Direct coupled, flexible disc
Insulation system	Class H per NEMA MG1-1.65
Standard temperature rise	120 °C (248 °F) standby
Exciter type	Torque match (shunt) with PMG as option
Alternator cooling	Direct drive centrifugal blower
AC waveform total harmonic distortion	< 5% no load to full linear load, < 3% for any single harmonic
Telephone influence factor (TIF)	< 50 per NEMA MG1-22.43
Telephone harmonic factor (THF)	< 3%

## Available Voltages

<b>1-phase</b>	<b>3-phase</b>				
• 120/240	• 120/208	• 120/240	• 277/480	• 347/600	• 127/220

## Generator Set Options

<b>Fuel system</b> <input type="checkbox"/> 125 and 150 kW: <ul style="list-style-type: none"> <li><input type="checkbox"/> Single fuel – natural gas or propane vapor, field selectable</li> <li><input type="checkbox"/> Dual fuel – natural gas or propane vapor, auto changeover</li> </ul> <input type="checkbox"/> 175 and 200 kW: <ul style="list-style-type: none"> <li><input type="checkbox"/> Single fuel – natural gas</li> <li><input type="checkbox"/> Low fuel gas pressure warning</li> </ul> <b>Engine</b> <input type="checkbox"/> Normal or Heavy-duty engine air cleaner <input type="checkbox"/> Shut down – low oil pressure <input type="checkbox"/> Extension – oil drain <input type="checkbox"/> Engine oil heater <b>Electrical</b> <input type="checkbox"/> One, two or three circuit breaker configurations <input type="checkbox"/> 80% rated circuit breakers <input type="checkbox"/> 100% rated LSI circuit breakers	<b>Control</b> <input type="checkbox"/> PC2,3 with AmpSentry <input type="checkbox"/> PC3,3 with Paralleling option <input type="checkbox"/> AC output analog meters <input type="checkbox"/> Stop switch – emergency <input type="checkbox"/> Auxiliary output relays (2) <input type="checkbox"/> Auxiliary configurable signal inputs (8) and relay outputs (8) <b>Alternator</b> <input type="checkbox"/> 120 °C temperature rise alternator <input type="checkbox"/> 105 °C temperature rise alternator <input type="checkbox"/> PMG <input type="checkbox"/> Alternator heater, 120V Reconnectable full 1 phase output alternator	<b>Enclosure</b> <input type="checkbox"/> Aluminum enclosures with muffler installed – green color <ul style="list-style-type: none"> <li><input type="checkbox"/> Weather</li> <li><input type="checkbox"/> Sound Level 1</li> <li><input type="checkbox"/> Sound Level 2</li> <li><input type="checkbox"/> Winter</li> </ul> <b>Cooling system</b> <input type="checkbox"/> Shutdown – low coolant level <input type="checkbox"/> Warning – low coolant level <input type="checkbox"/> Extension – coolant drain <input type="checkbox"/> Coolant heater options: <ul style="list-style-type: none"> <li><input type="checkbox"/> &lt; 4 °C (40 °F) • Cold weather</li> <li><input type="checkbox"/> &lt; -17 °C (0 °F) • Extreme cold</li> </ul>	<b>Exhaust system</b> <input type="checkbox"/> Exhaust connector NPT <input type="checkbox"/> Exhaust muffler mounted <b>Generator set application</b> <input type="checkbox"/> Base barrier – elevated genset <input type="checkbox"/> Battery rack, single or dual battery <input type="checkbox"/> Radiator outlet duct adapter <b>Warranty</b> <input type="checkbox"/> Base warranty – 2 year / 1000 hours, standby <input type="checkbox"/> 3-year standby warranty options <input type="checkbox"/> 5-year standby warranty options
--	--	--	--

## Generator Set Accessories

<input type="checkbox"/> Coolant heaters – 1500W / 2000W <input type="checkbox"/> Battery rack, single or dual battery <input type="checkbox"/> Battery heater kit <input type="checkbox"/> Engine oil heater <input type="checkbox"/> Remote control displays <input type="checkbox"/> Auxiliary output relays (2) <input type="checkbox"/> Auxiliary configurable signal inputs (8) and relay outputs (8) <input type="checkbox"/> Annunciator – RS485	<input type="checkbox"/> Remote monitoring device – PowerCommand 500/550 <input type="checkbox"/> Battery charger – stand-alone, 12V <input type="checkbox"/> Circuit breakers <input type="checkbox"/> Enclosure Sound Level 1 to Sound Level 2 upgrade kit <input type="checkbox"/> Base barrier – elevated generator set <input type="checkbox"/> Mufflers – industrial, residential, or critical <input type="checkbox"/> Alternator PMG <input type="checkbox"/> Alternator heater
---	--



## Ratings Definitions

### Emergency standby power (ESP):

Applicable for supplying power to varying electrical load for the duration of power interruption of a reliable utility source. Emergency Standby Power (ESP) is in accordance with ISO 8528. Fuel Stop power in accordance with ISO 3046, AS 2789, DIN 6271 and BS 5514.

### Limited-time running power (LTP):

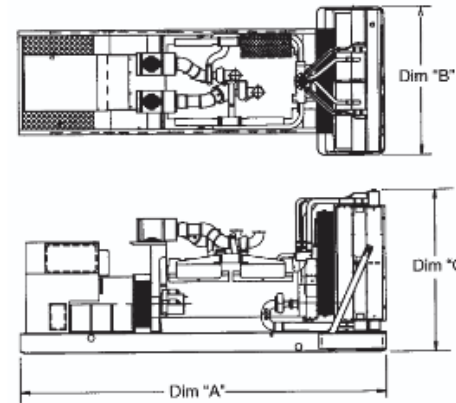
Applicable for supplying power to a constant electrical load for limited hours. Limited Time Running Power (LTP) is in accordance with ISO 8528.

### Prime power (PRP):

Applicable for supplying power to varying electrical load for unlimited hours. Prime Power (PRP) is in accordance with ISO 8528. Ten percent overload capability is available in accordance with ISO 3046, AS 2789, DIN 6271 and BS 5514.

### Base load (continuous) power (COP):

Applicable for supplying power continuously to a constant electrical load for unlimited hours. Continuous Power (COP) in accordance with ISO 8528, ISO 3046, AS 2789, DIN 6271 and BS 5514.

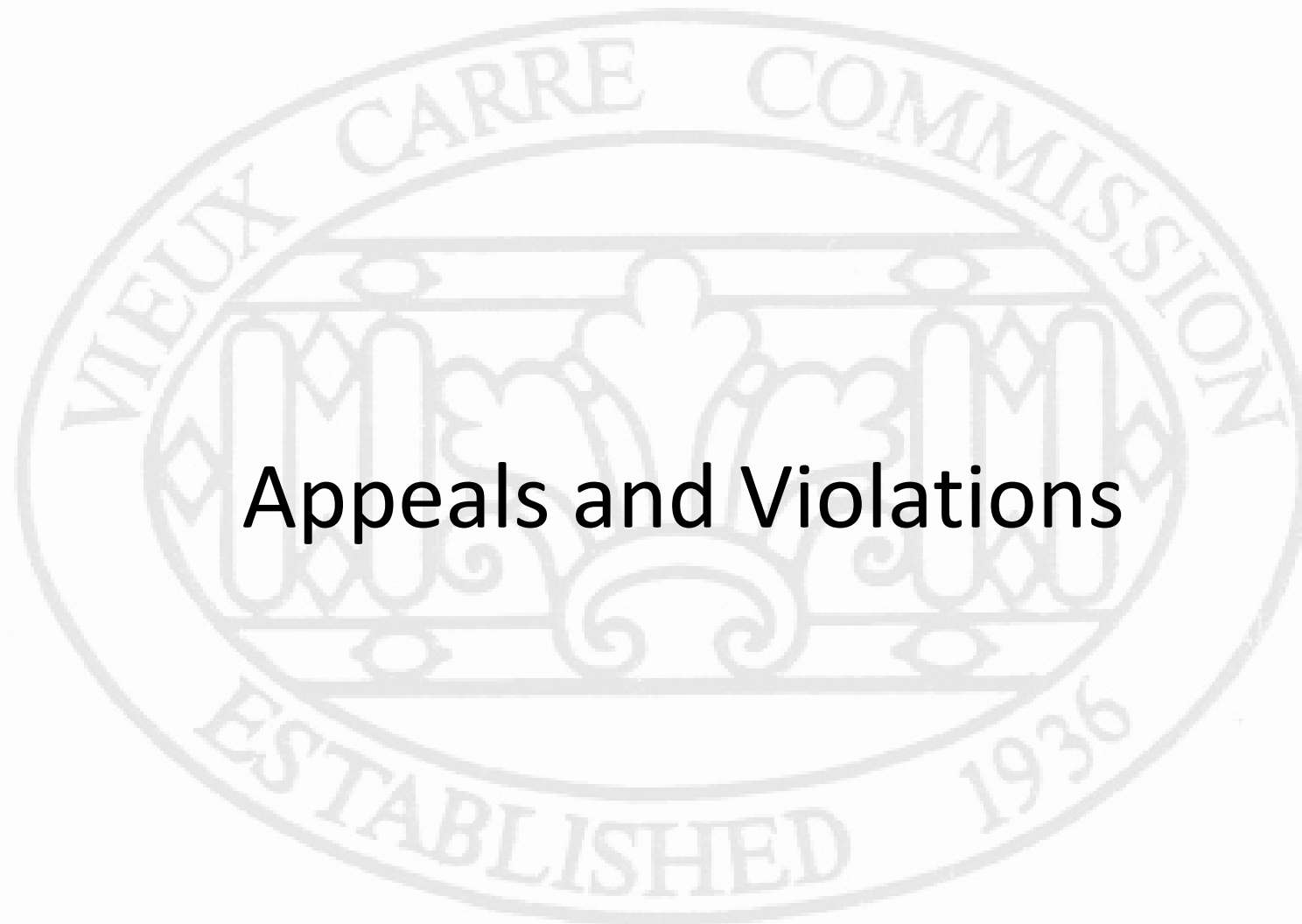


This outline drawing is for reference only. See respective model data sheet for specific model outline drawing number.

**Do not use for installation design**

Model	Dim "A" mm (in.)	Dim "B" mm (in.)	Dim "C" mm (in.)	Set Weight* wet kg (lbs.)
<b>Open Set</b>				
C125N6	2867 (113)	1016 (40)	1415 (56)	1580 (3483)
C150N6	2867 (113)	1016 (40)	1415 (56)	1580 (3483)
C175N6B	2867 (113)	1016 (40)	1478 (58)	1610 (3543)
C200N6B	2867 (113)	1016 (40)	1478 (58)	1698 (3735)
<b>Weather Protective Enclosure</b>				
C125N6	2867 (113)	1016 (40)	1836 (72)	1661 (3662)
C150N6	2867 (113)	1016 (40)	1836 (72)	1661 (3662)
C175N6B	2867 (113)	1016 (40)	1836 (72)	1691 (3728)
C200N6B	2867 (113)	1016 (40)	1836 (72)	1779 (3922)
<b>Sound Attenuated Enclosure Level 1</b>				
C125N6	3621 (143)	1016 (40)	1836 (72)	1776 (3915)
C150N6	3621 (143)	1016 (40)	1836 (72)	1776 (3915)
C175N6B	3621 (143)	1016 (40)	1836 (72)	1806 (3982)
C200N6B	3621 (143)	1016 (40)	1836 (72)	1894 (4176)
<b>Sound Attenuated Enclosure Level 2</b>				
C125N6	4061 (160)	1016 (40)	1836 (72)	1791 (3940)
C150N6	4061 (160)	1016 (40)	1836 (72)	1791 (3940)
C175N6B	4061 (160)	1016 (40)	1836 (72)	1821 (4015)
<b>C200N6B</b>	<b>4061 (160)</b>	<b>1016 (40)</b>	<b>1836 (72)</b>	<b>1909 (4209)</b>

\* Weights above are average. Actual weight varies with product configuration



# Appeals and Violations



**740 Royal**



740 Royal

VCC Architectural Committee

December 16, 2025





740 Royal, 1964

VCC Architectural Committee

December 16, 2025





740 Royal

VCC Architectural Committee

December 16, 2025





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VCC Architectural Committee

December 16, 2025





740 Royal

VCC Architectural Committee

02 20 2024

December 16, 2025





740 Royal

VCC Architectural Committee

10 22 2025

December 16, 2025





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VCC Architectural Committee

10 22 2025

December 16, 2025





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10 22 2025

December 16, 2025





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December 16, 2025





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VCC Architectural Committee

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VCC Architectural Committee

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December 16, 2025





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VCC Architectural Committee

10 22 2025

December 16, 2025





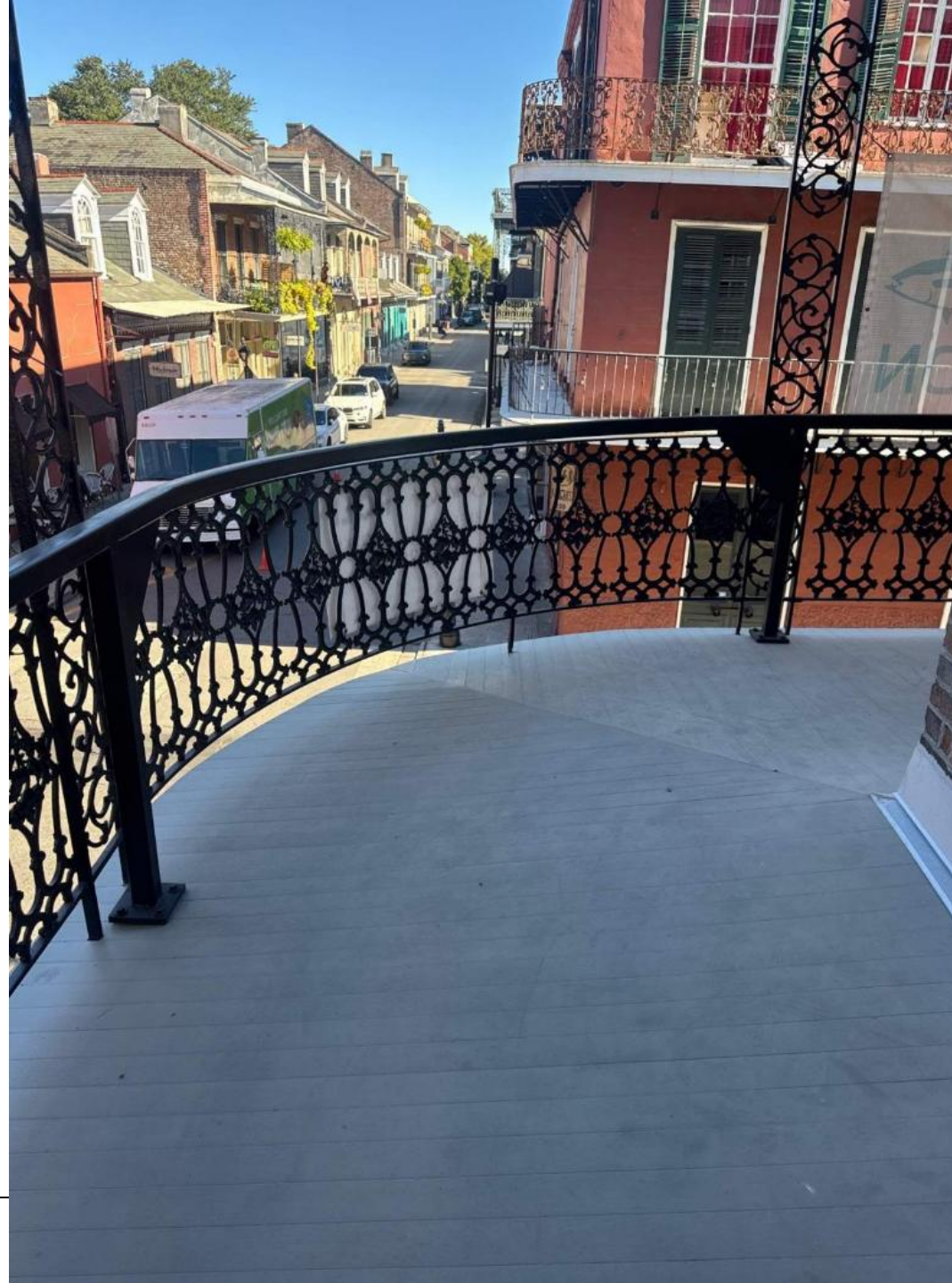
740 Royal

VCC Architectural Committee

10 22 2025

December 16, 2025



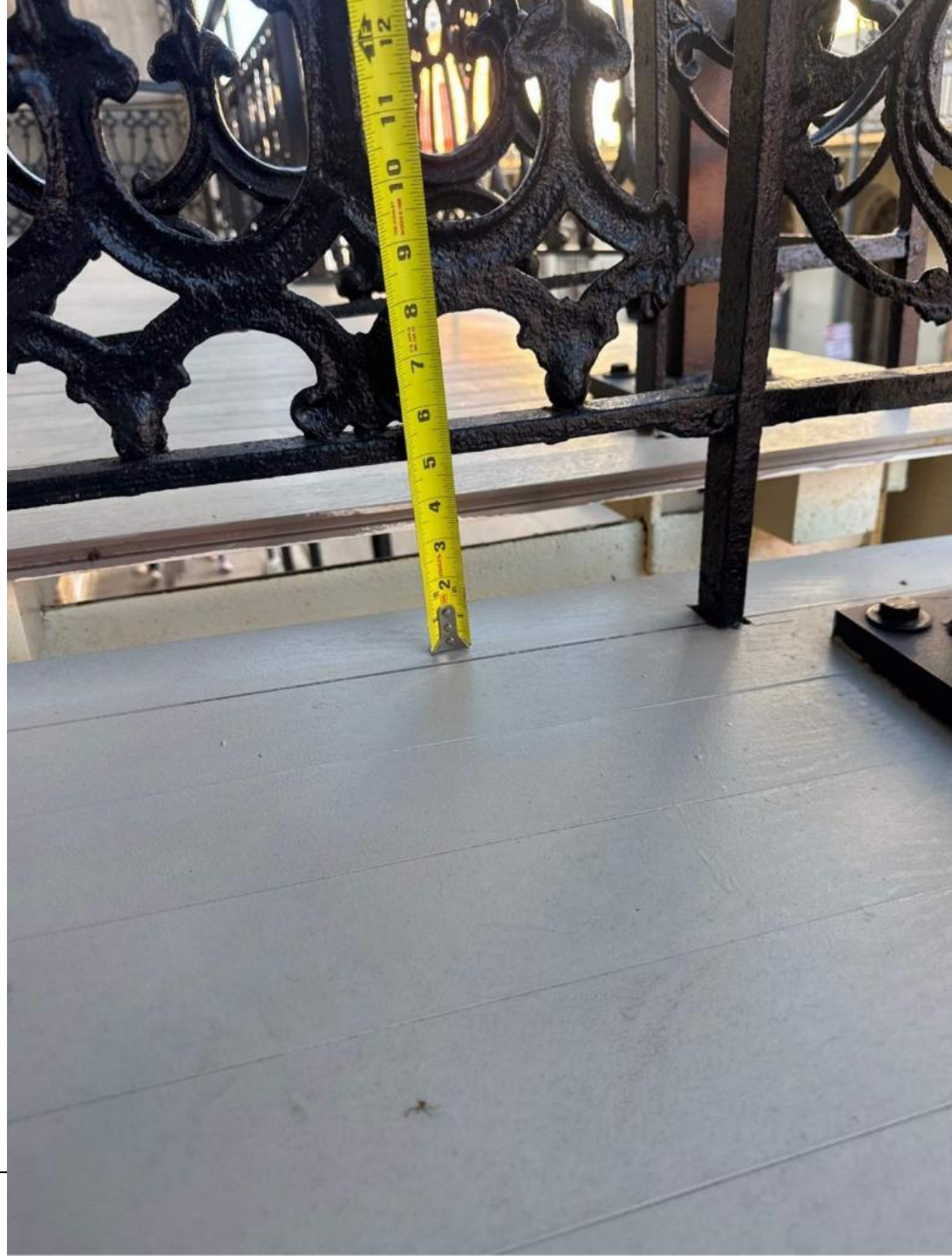


740 Royal

VCC Architectural Committee

December 16, 2025





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December 16, 2025





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December 16, 2025



10-5-25

Re: VCC exterior items under review

Project: 740 Royal St, New Orleans, LA 70116

In response to the 2 open flagged items with the VCC. Please see the summary below: .

- 1) Exterior flashing at balcony
  - a) Base and counter flashing installed around perimeter of 2nd and 3rd floor street side balconies
  - b) Existing flashing that was removed for new work was 1 masonry row course high from the deck, new flashing installed is 2 masonry row courses high (6 1/2" tall)
  - c) Two-piece counter flashing system installed to accommodate building movement and thermal expansion/contraction.
  - d) Project is using historical tax credits, no objections have been made
  - e) Proposing option to paint exposed flashing to masonry color
  - f) Documentation included:
    - i) Before and after photos of install
    - ii) Digital mockup showing painting to masonry color
- 2) Exterior balcony railing
  - a) VCC approved round 1 ¼" guardrail in original submission. Direction provided to align vertical supports with existing railing vertical supports. This increased horizontal spans between the supports which changed the shape of the supports to 2 ½" tube railing through engineering analysis.
  - b) New railing installed meets code requirements.
  - c) New railing completely independent of existing historical railing and self supporting.
  - d) Adjacent 736 Royal St is noted to have a closely matching top metal railing bar size/profile.
  - e) Project is using historical tax credits and no objections have been made.
  - f) Modifications proposed - installation was inspected and the 2 angled support plates on each corner of radius bend (at each floor), was determined to be installed in error and can be removed (see marked up shop drawing). Installation of 3 side returns sections can be removed (see marked up shop drawings) as not needed per code
  - g) Proposing option to paint railing white to better differentiate between old railing and new.
  - h) Documentation included:
    - i) Shop drawing marked up showing modifications that can be made
    - ii) Engineer provided letter to support required spans for code
    - iii) Digital mockup showing painting of railing white
    - iv) Context photo where railing abuts adjoining property railing

Thank for your attention on this matter.

Myles Martin  
Project Architect

740 Royal

VCC Architectural Committee

December 16, 2025





BEFORE



BEFORE

740 Royal

VCC Architectural Committee

December 16, 2025

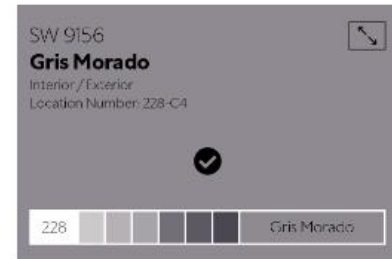




INSTALLED



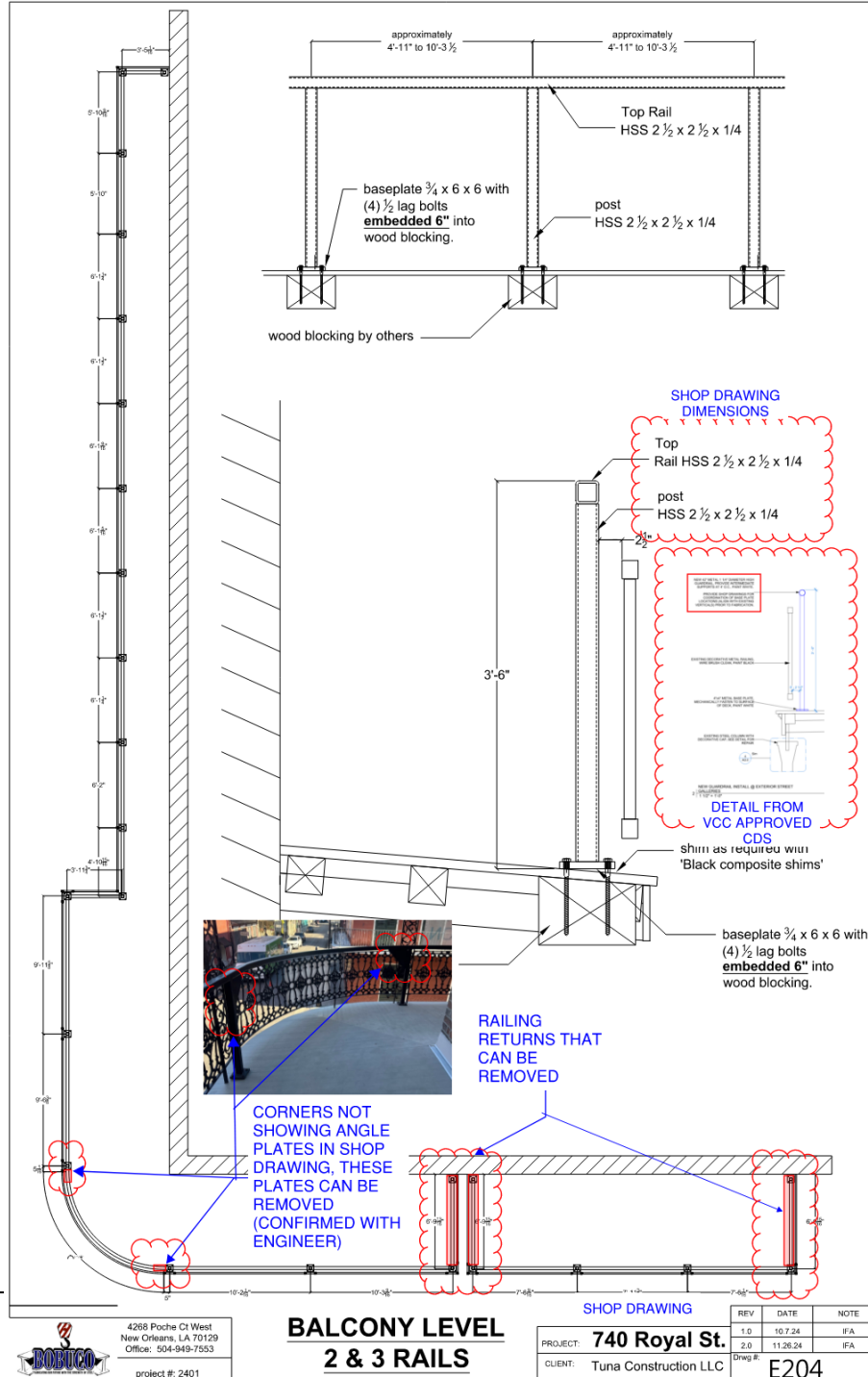
DIGITAL PAINT  
MOCKUP



INSTALLED

740 Royal

VCC Architectural Committee



**BOBICO**  
 4268 Poche Ct West  
 New Orleans, LA 70129  
 Office: 504-949-7553  
 project #: 2401

**BALCONY LEVEL  
 2 & 3 RAILS**

SHOP DRAWING

REV	DATE	NOTE
1.0	10.7.24	IFA
2.0	11.26.24	IFA

PROJECT: **740 Royal St.**  
 CLIENT: Tuna Construction LLC  
 Drawg #: **E204**

December 16, 2025



# MARAIS

CONSULTANTS

2018 JENA STREET | NEW ORLEANS, LA | 504.350.2644

November 3, 2025

**Subject: Balcony Handrail Connection**  
**740 Royal Street – New Orleans, LA**

To whom it may concern,

Based on the requirements for the handrail posts to align with the existing ones, the new handrail was designed to meet load requirements outlined by the International Building Code. IBC requires that handrails be designed to resist either a 50 pound per linear foot load or a 250-pound point load at the mid span, whichever is greater. The longer spans resulted in the larger steel members for the balcony handrail. Given the support spacing and the load requirements, an HSS hollow square tube section was the most efficient section to meet the requirements. A solid stock section would have been 2x heavier and almost the same size. The ends of the HSS tubes are capped so that the sections look solid.

If you have any questions, please contact me at (504) 350-2644 at your convenience.

Thank You,



Jennifer Snape, PE  
Owner/Lead Designer  
[jenny@maraisconsultants.com](mailto:jenny@maraisconsultants.com)

740 Royal

VCC Architectural Committee

December 16, 2025





CURRENT



DIGITAL PAINTED MOCKUP

740 Royal

VCC Architectural Committee

December 16, 2025





740 Royal

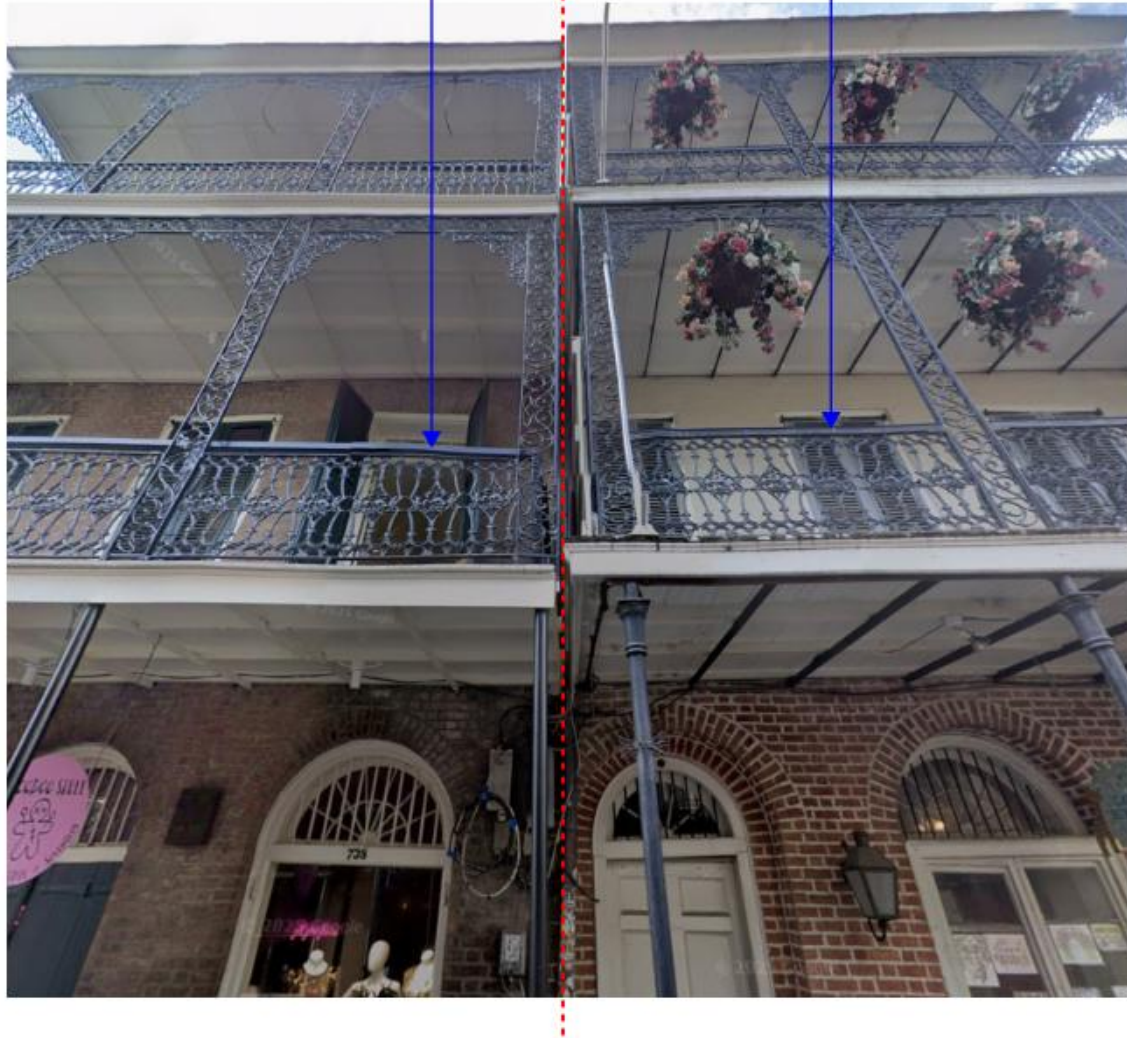
VCC Architectural Committee

December 16, 2025



NEW RAILING

ADJACENT RAILING



740 Royal

740 ROYAL ST

736 ROYAL ST

VCC Architectural Committee

December 16, 2025





**730 St Louis**

**726 St Louis**

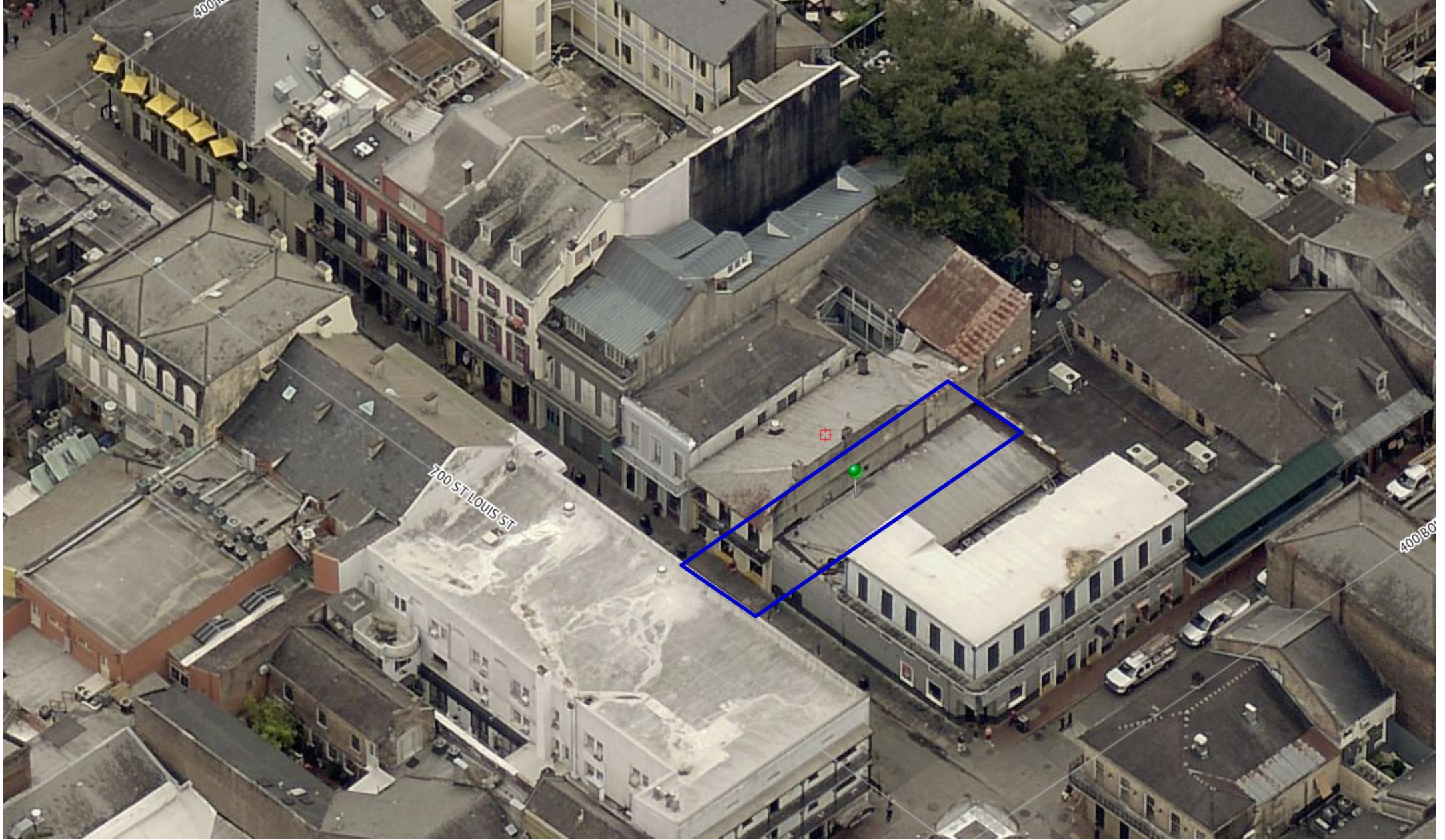


730 St. Louis

VCC Architectural Committee

December 16, 2025





730 St. Louis

VCC Architectural Committee

December 16, 2025





730 St. Louis

VCC Architectural Committee

December 16, 2025





730 St. Louis

VCC Architectural Committee

December 16, 2025





730 St. Louis – 1959

VCC Architectural Committee

December 16, 2025





730 St. Louis

VCC Architectural Committee

December 16, 2025





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December 16, 2025





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December 16, 2025





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December 16, 2025





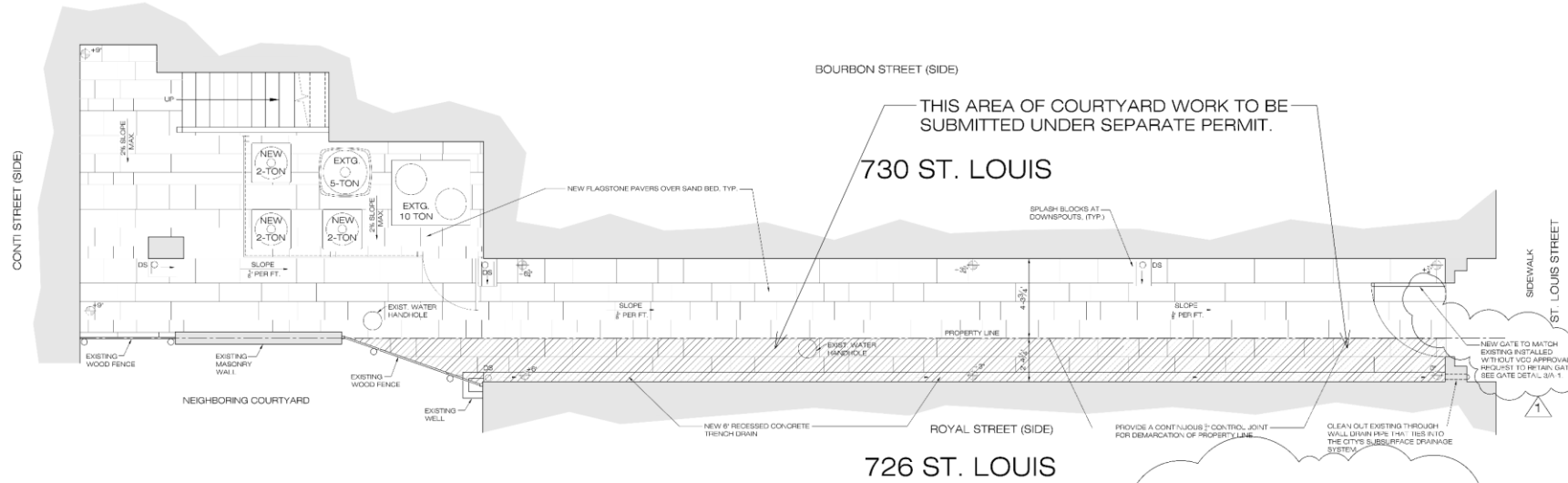
730 St. Louis

VCC Architectural Committee

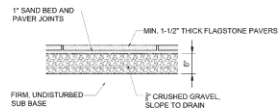
December 16, 2025



730 ST. LOUIS STREET  
COURTYARD PAVING

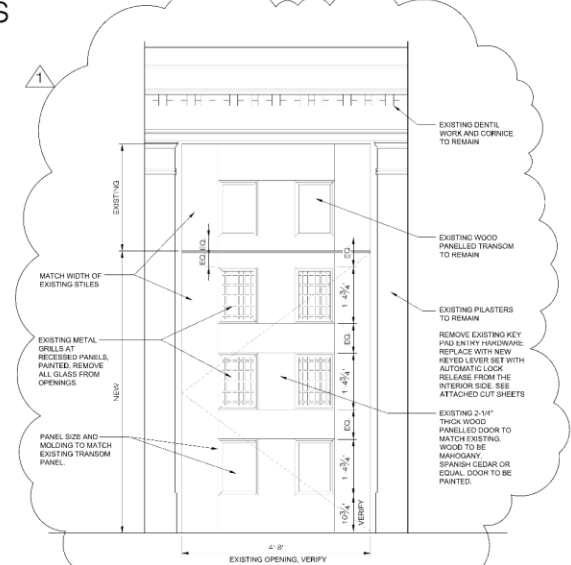


1  
A.1 Courtyard Paving Plan  
scale: 3/8" = 1'-0"



- COURTYARD PAVING NOTES:
1. FLAGSTONE SHALL BE MIN. 1 1/2" THICK NATURAL FIN. CLE" PAVERS AS APPROVED BY THE 726 ST. LOUIS OWNER. PAVERS TO BE CUT TO RANDOM RECTANGULAR SIZES OVER 1" THICK SAND BED OVER 2" CRUSHED GRAVEL, 6" THICK.
  2. FINISH ELEVATION OF FLAGSTONE TO FLUSH OUT WITH ADJOINING EXISTING PAVING TO EITHER SIDE OF PROPERTY.
  3. ALLEYWAY TO DRAIN AWAY FROM BUILDING AND TOWARD ST. LOUIS ST. WITH SUFFICIENT SLOPE TO CREATE POSITIVE DRAINAGE.

2  
A.1 Courtyard Paving Section  
scale: 3/4" = 1'-0"



3  
A.1 Existing Gate Detail  
scale: 3/4" = 1'-0"

terrell-fabacher architects, l.l.c.  
1000  
New Orleans, Louisiana 70113  
504-259-1320



11/16/2025  
10/17/2025

COURTYARD PAVING  
730 St. Louis St.  
New Orleans Louisiana

NO. REVISED  
11/16/2025  
CHECKED BY:  
DATE: 10/17/2025  
JOB NO.

A-1

