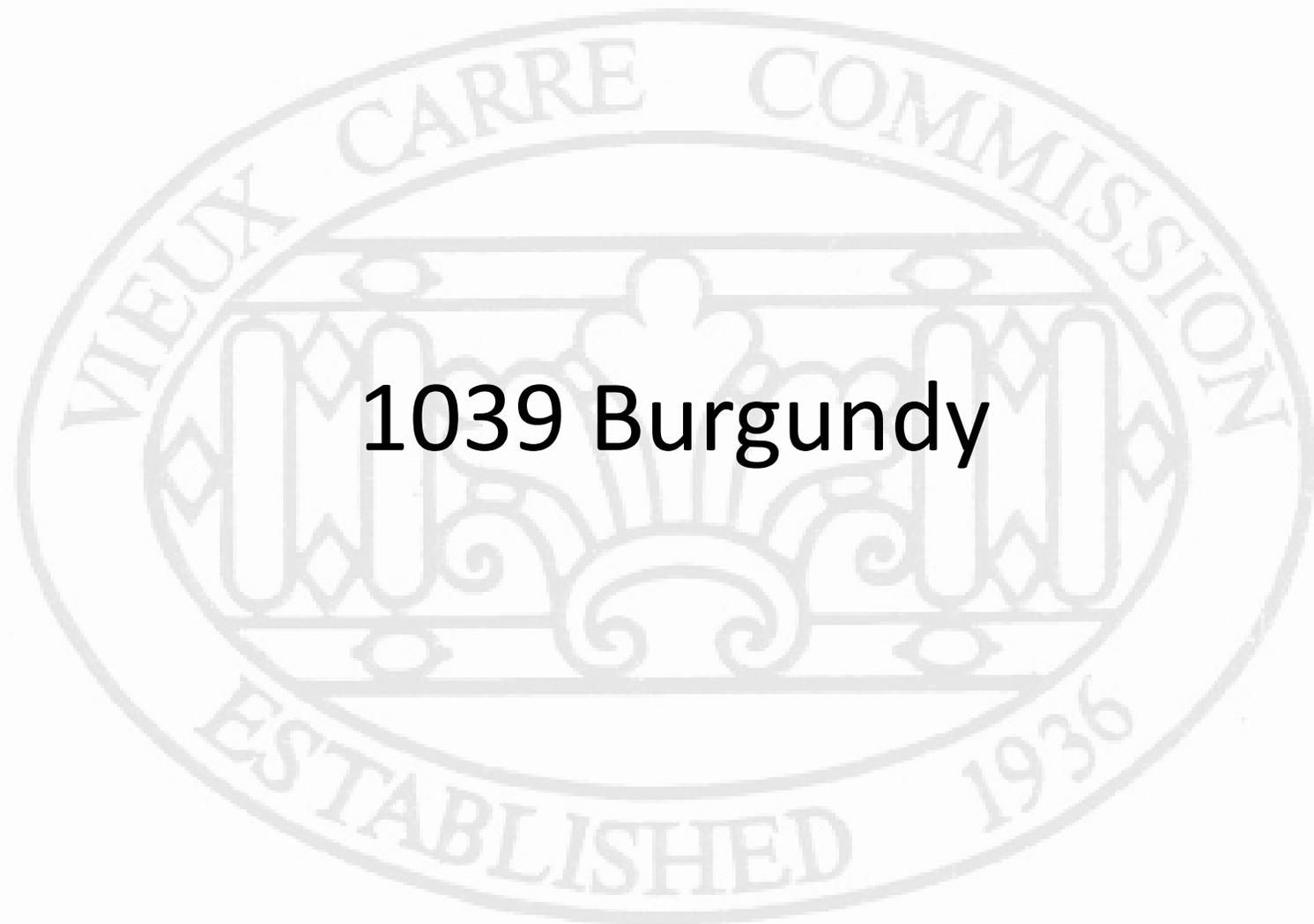


Vieux Carré Commission Architecture Committee Meeting

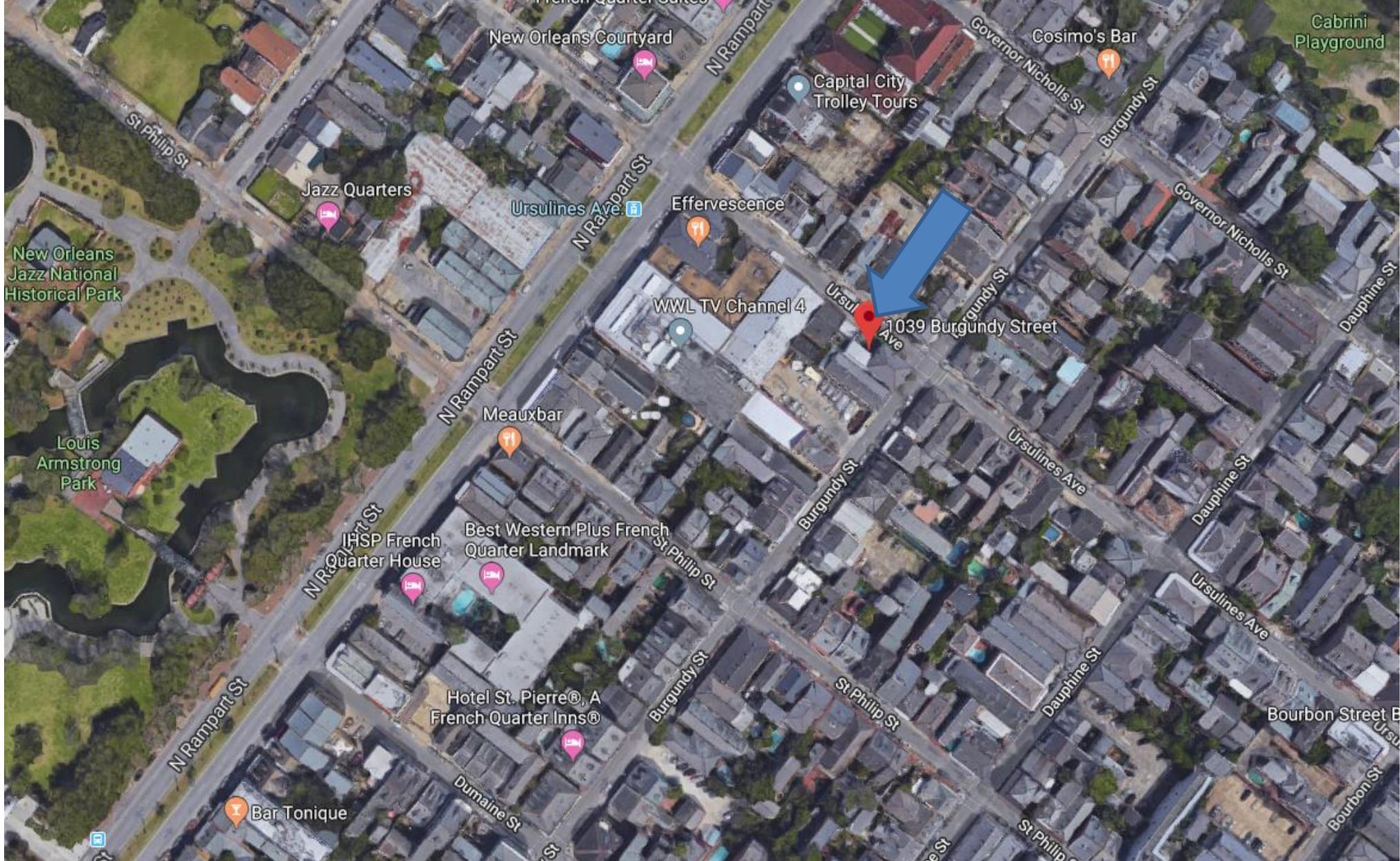
Tuesday, July 15, 2025



Old Business



1039 Burgundy



1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy – 1964

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021





1039 Burgundy

VCC Architectural Committee

December 7, 2021



Control4® DS2 Door Station



Touch Keypad

The LED backlight in the Touch Keypad can be adjusted to ensure the digits and symbols can be seen, in daytime and night. Use the keypad to start an intercom call, or to provide secure access using PIN codes. Codes can be created for daily use or for temporary access.



Control4 DS2 Door Station (C4-DS2FM, C4-DS2FMKP, C4-DS2SM, C4-DS2SMKP)

The Control4 DS2 Door Station delivers an amazing audio and HD video intercom experience, enabling customers to monitor and communicate with the front door or their security gate. Combined with Control4 touch screens, customers enjoy greater convenience and peace of mind throughout the home.

- Available in flush-mount and surface-mount options, in black, brushed nickel, and Venetian bronze finishes
- Optional integrated keypad is ideal for customers with gates or for those who want to add more security at their doors
- Fast connection speed
- Camera can be viewed outside of an intercom call
- Improved low-light performance
- Motion detection
- Camera snapshots can be emailed to a customer's mobile device
- Dealer-configurable doorbell sounds

Control4 DS2 Door Station

Model numbers	C4-DS2FM, C4-DS2FMKP, C4-DS2SM, C4-DS2SMKP
Finishes	BL (black), BN (brushed nickel), VB (Venetian bronze)
Video	
Camera resolution	1280 × 960 (snapshot), 640 × 480 (streaming video)
Camera view angle	120° × 90° × 145° (W×H×diagonal)
Camera IR night vision	Yes
Video stream codecs	H.263+, H.263, H.264, MJPEG, MPEG-4
Audio	
Microphone	Yes (integrated)
Speaker	2W
Acoustic pressure	78dB (1 kHz @ 1 meter distance)
Audio stream codecs	G.711, G.729
Interface	
Power	PoE 802.3af (Class 0 - 12.95W)
LAN	10/100Base-TX with Auto-MDIX, RJ-45
Relay outputs	NC/NO contacts, max 30V/1A AC/DC
Active output	8V-12VDC/400mA
Mechanical	
Surface mount dimensions	4.21 × 9.21 × 1.10 in. (107 × 234 × 28 mm) (W × H × D)
Flush mount dimensions	5.12 × 10.12 × 0.20 in. (130 × 257 × 5 mm) (W×H×thickness protruding from wall)
Operating temperature	-40°F - 140°F (-40°C - 60°C)
Storage temperature	-40°F - 158°F (-40°C - 70°C)
Relative humidity	10% - 95% (non-condensing)
Protection level	IP 54
Accessories	
C4-DS2PLATE-BL	Adapter plate for old Door Station wall box Dimensions: 10.24 × 5.12 in. (260 × 130 mm)
C4-DS2BB	Wall box for DS2 Door Station Dimensions: • Box: 4.41 × 9.53 × 1.85 in. (112 × 242 × 47 mm) • Wall cutout: 4.25 × 9.44 in. (108 × 240 mm)



Control4®

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D
200-00079-D
2019-03-28 MS

Control4®

Kwikset



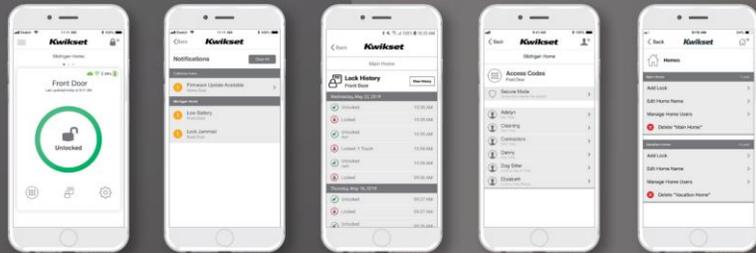
HALO™

WI-FI ENABLED SMART LOCKS

Halo smart locks connect directly to your existing Wi-Fi router and smartphone to create a simple and secure smart home, without a third-party hub, panel or subscription service.



Control your lock from your smartphone



- REMOTE ACCESS
- PUSH NOTIFICATIONS
- EVENT HISTORY
- MANAGE ACCESS CODES
- MANAGE MULTIPLE HOMES

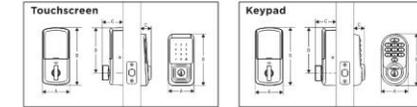
#1 SELLING U.S. LOCK BRAND*

*Source: TraQline US quarterly brand unit share report, Q4 2006 through Q1 2020.

Specifications

Function	Single cylinder deadbolt
Door Prep	2 1/8" diameter bore hole & 1" diameter latch hole
Backset	Adjustable 2 1/8" or 2 3/4"
Door Thickness	1 3/8" - 2" automatic adjustment
Faceplates	1" x 2 1/4" round corner standard
Strikes	Round corner, 4 hole strike, 2 3/4" x 1 1/8"
Latch	Round corner adjustable 2 3/8" x 2 3/4"
Bolt	1" throw, steel deadbolt
Door Handing	Reversible
Cylinder	SmartKey Security™

Dimensions



Touchscreen	A	B	C	D
Interior	2 1/4" (70 mm)	5 13/16" (147 mm)	2 1/4" (53 mm)	4 9/16" (116 mm)
Exterior	2 9/16" (73 mm)	5 1/4" (143 mm)	1 1/4" (30 mm)	---

Keypad	A	B	C	D
Interior	2 1/4" (70 mm)	5 13/16" (147 mm)	2 1/4" (53 mm)	4 9/16" (116 mm)
Exterior	2 9/16" (73 mm)	5 1/4" (137 mm)	1 1/4" (30 mm)	---

Innovative Security

- 250 customizable access codes with optional schedules
- BHMA Grade AAA certified
- 20 Minute fire rating - UL certified
- Full 128-bit encryption security
- Featuring SmartKey Security™ - protecting against advanced break-in techniques
- SecureScreen™ - patented security feature prevents on-screen fingerprint user code identification (Touchscreen only)

Easy Installation

- Installs in minutes with just a screwdriver
- No hard wiring needed
- Operates on 4 AA batteries (included)

Warranty

- Lifetime mechanical and finish warranty
- 1 year electronic warranty



This BHMA certified product has been tested for good fit, better fit, best fit going in each of these areas: security, durability and finish.
www.bhmanet.org

ONE YEAR ELECTRONIC WARRANTY

Finishes



How it Works



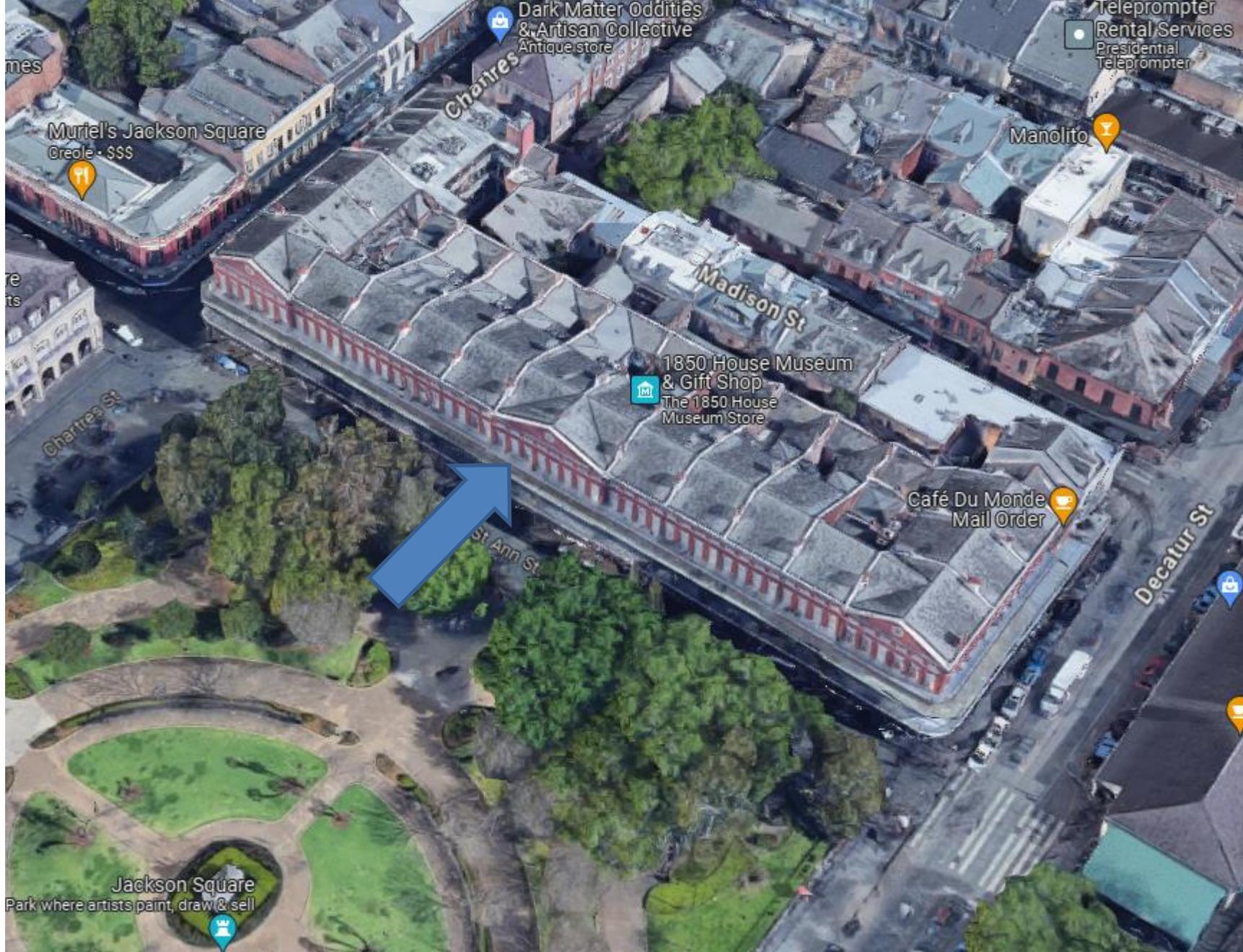
19701 DaVinci • Lake Forest, CA 92610 • www.kwikset.com • 1-800-327-LOCK
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Kwikset





525 St Ann



525 St. Ann

VCC Architectural Committee

July 15, 2025





525 St. Ann

VCC Architectural Committee

July 15, 2025





525 St. Ann





525 St. Ann

VCC Architectural Committee

July 15, 2025





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VCC Architectural Committee

July 15, 2025





525 St. Ann

VCC Architectural Committee

July 15, 2025





525 ST ANN | VIEW OF COURTYARD



525 ST ANN | VIEW OF PROPOSED KITCHEN ROOM 1



525 ST ANN | VIEW OF PROPOSED KITCHEN ENTRANCE ROOM 1



529 ST ANN | VIEW OF COURTYARD



529 ST ANN | VIEW OF COURTYARD



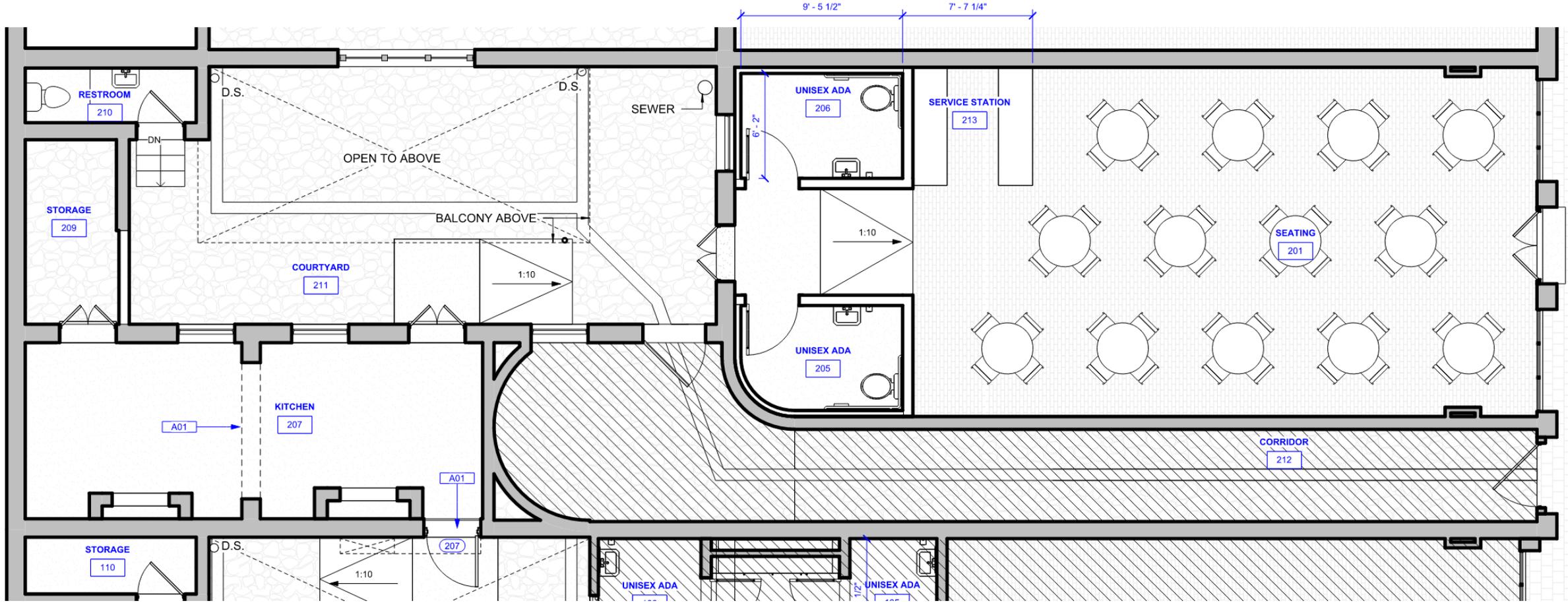
529 ST ANN | VIEW OF COURTYARD

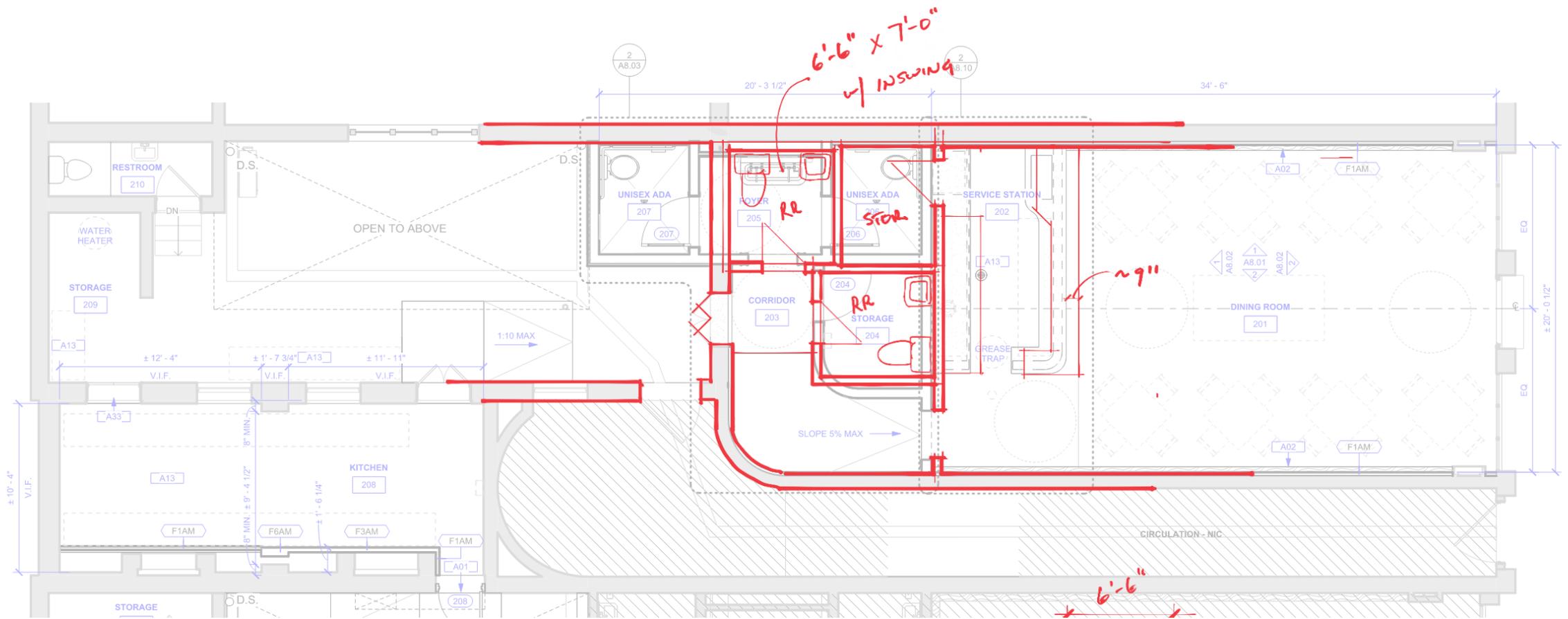


525 St. Ann

525 ST ANN | VIEW OF COURTYARD

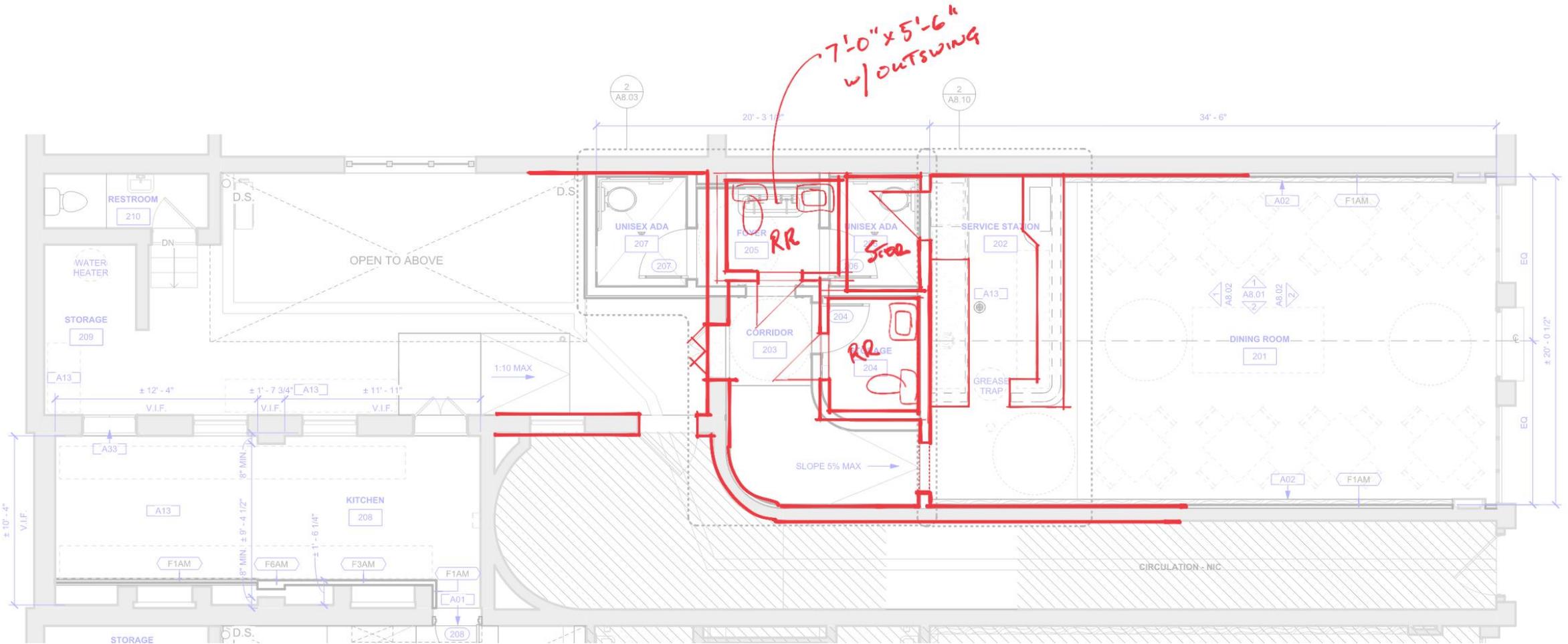






525 St. Ann – Studied alternative found to not be feasible.





525 St. Ann – Studied alternative found to not be feasible.



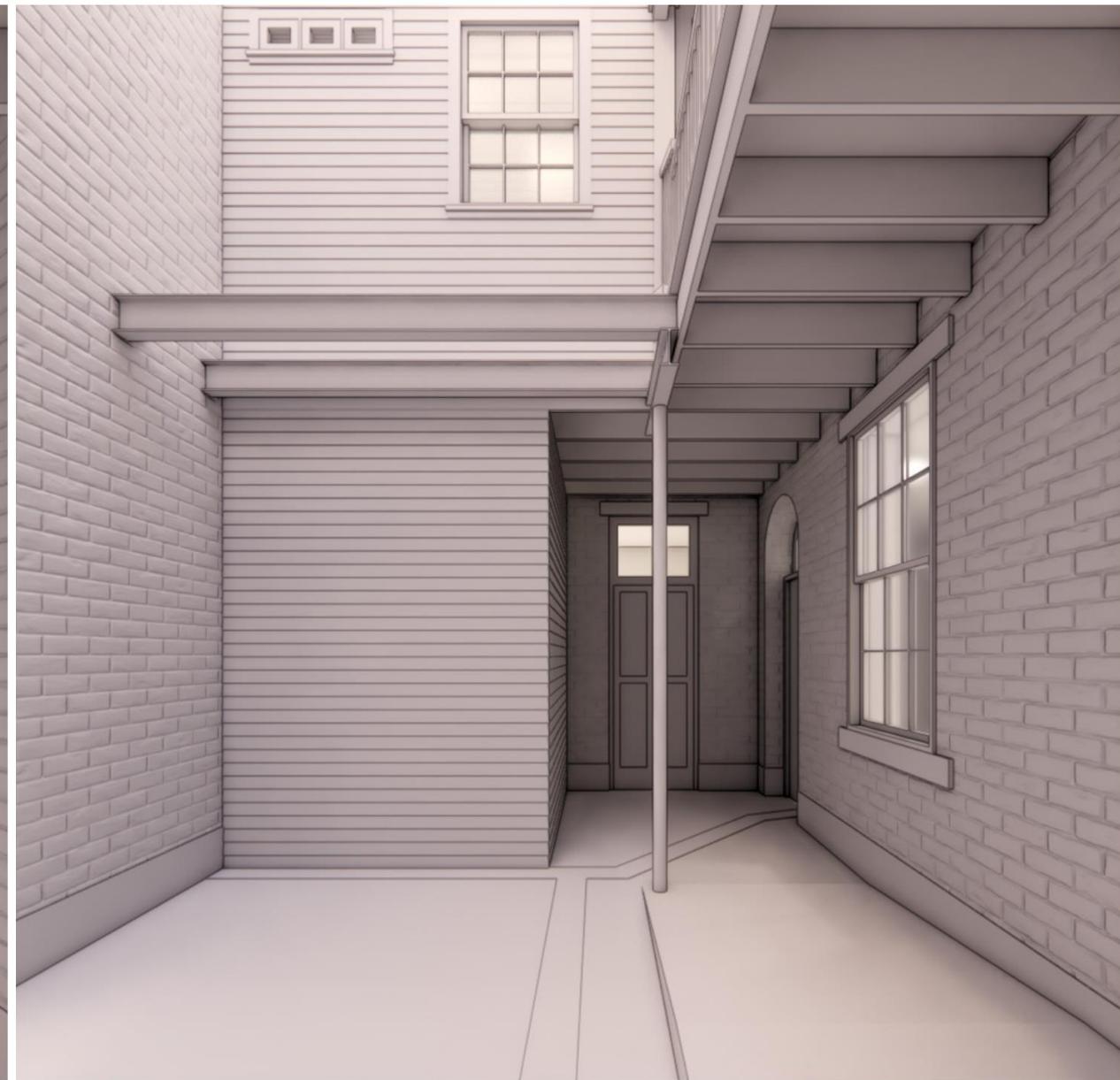


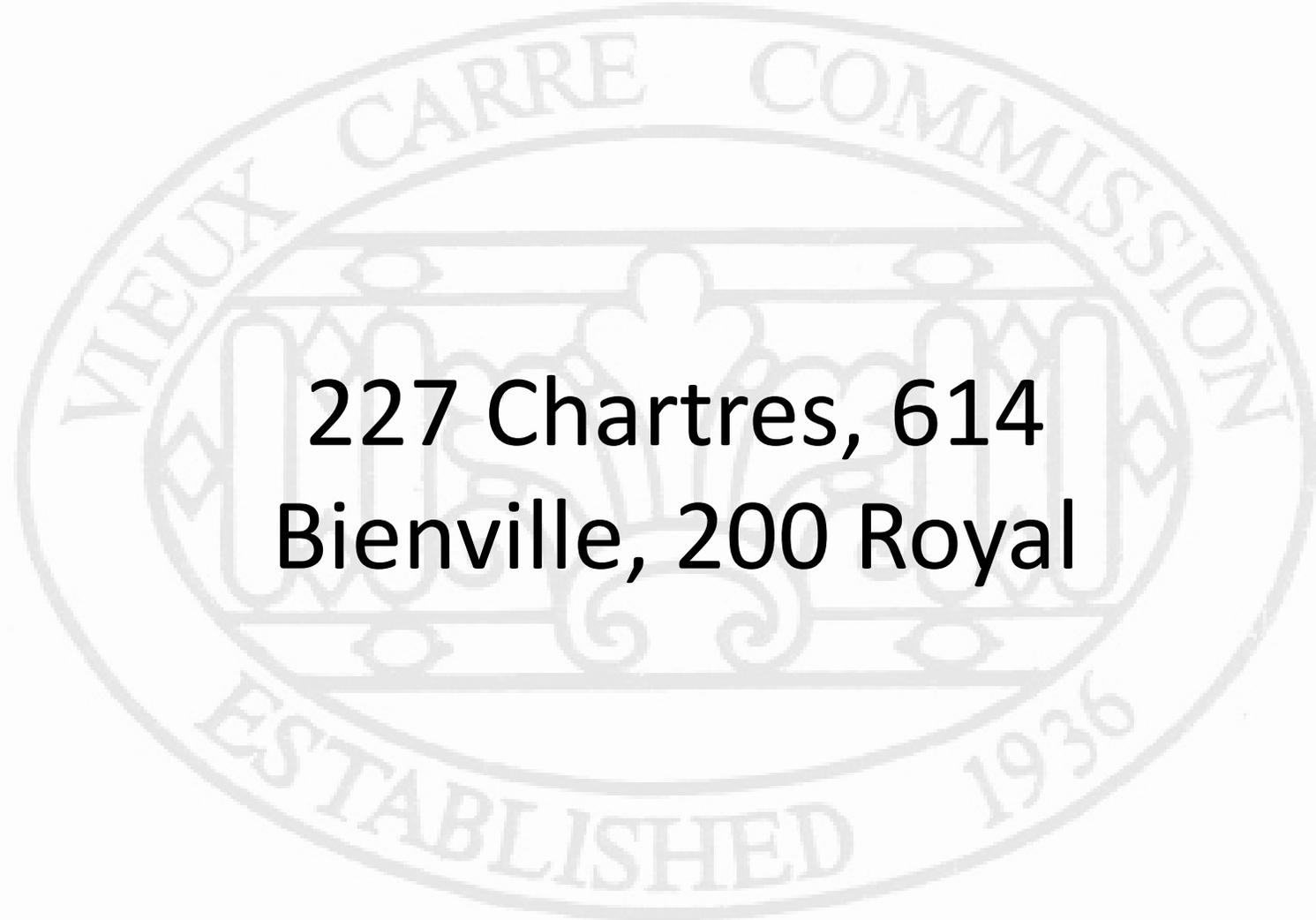
525 St. Ann

VCC Architectural Committee

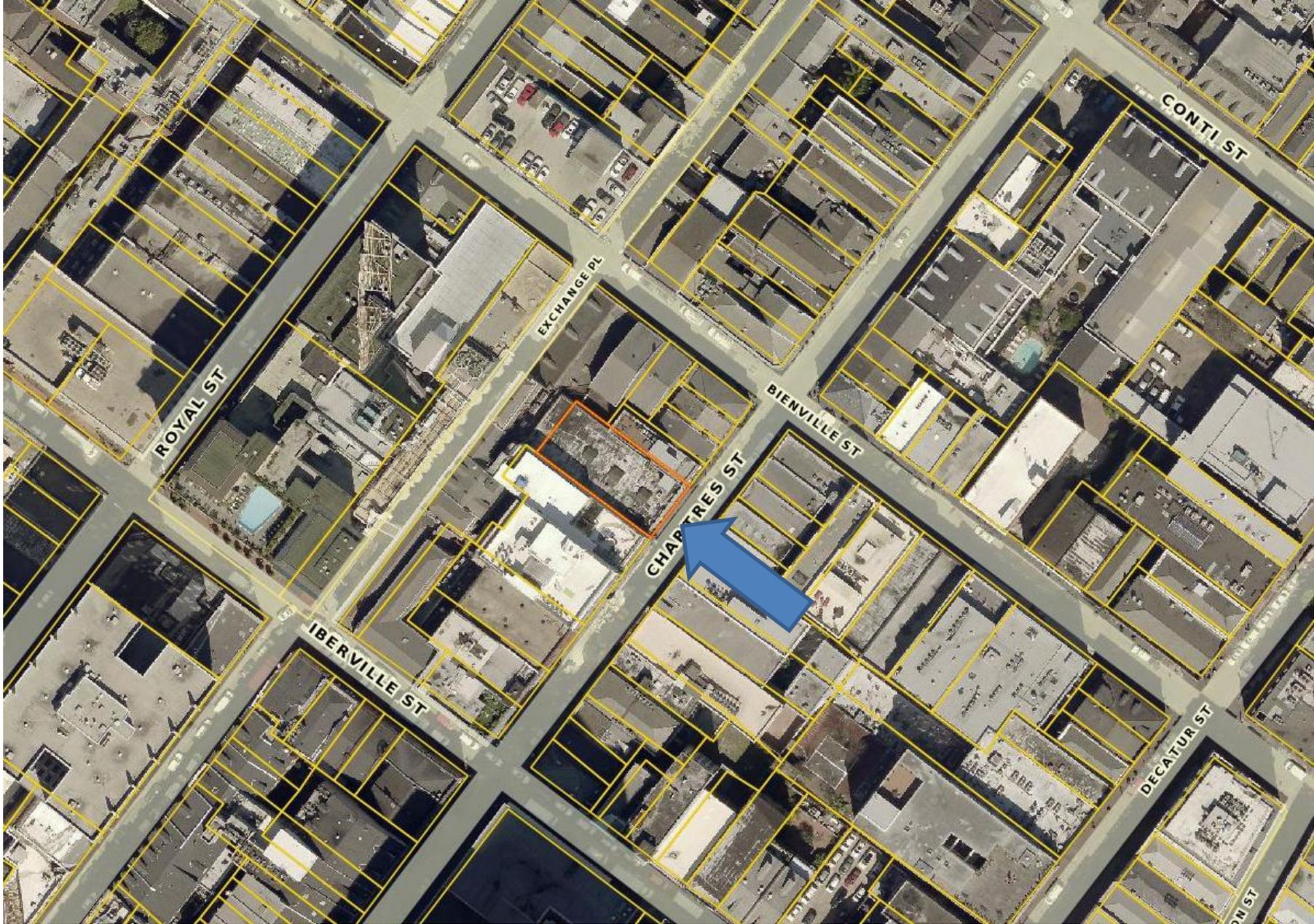
July 15, 2025



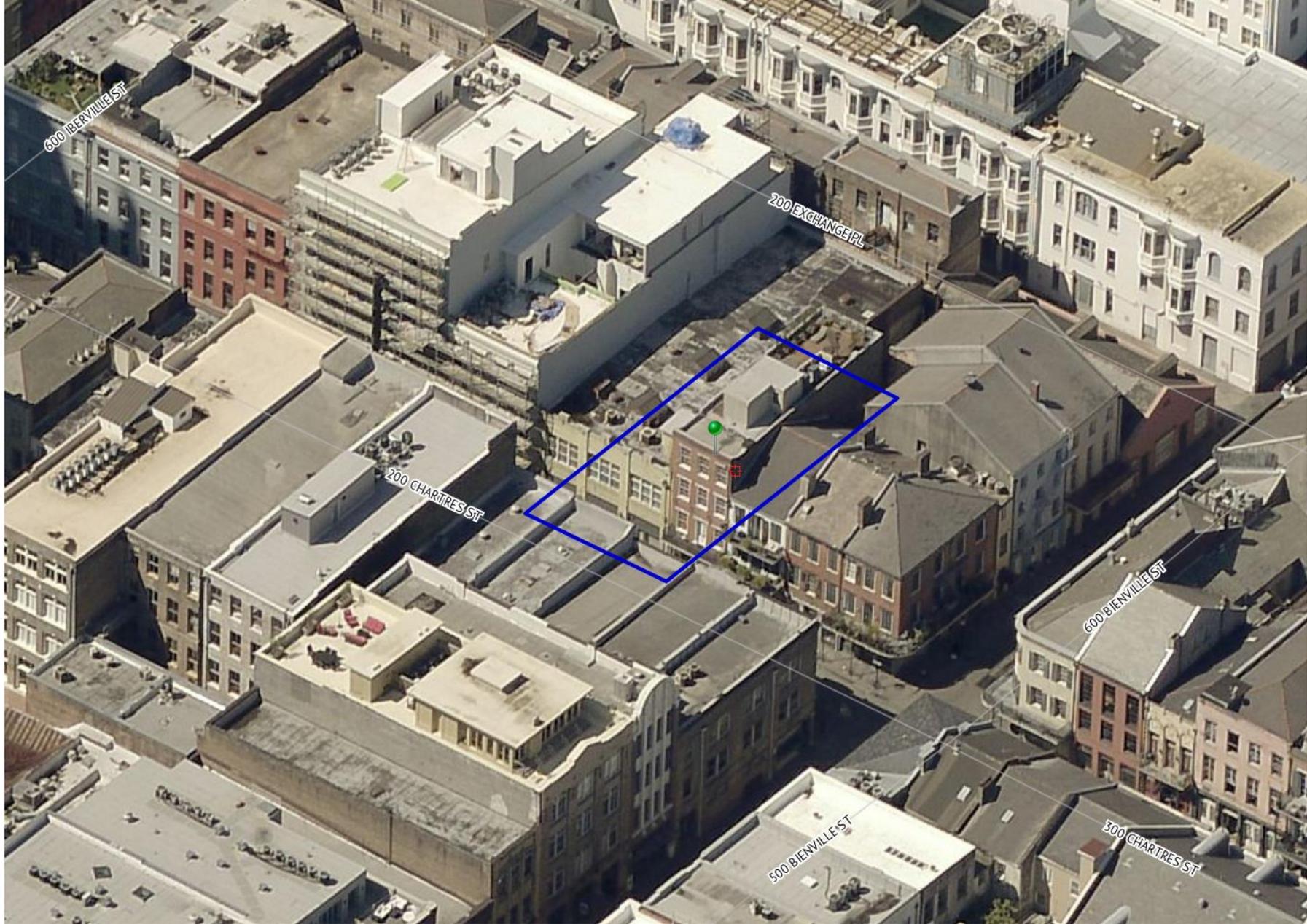




**227 Chartres, 614
Bienville, 200 Royal**

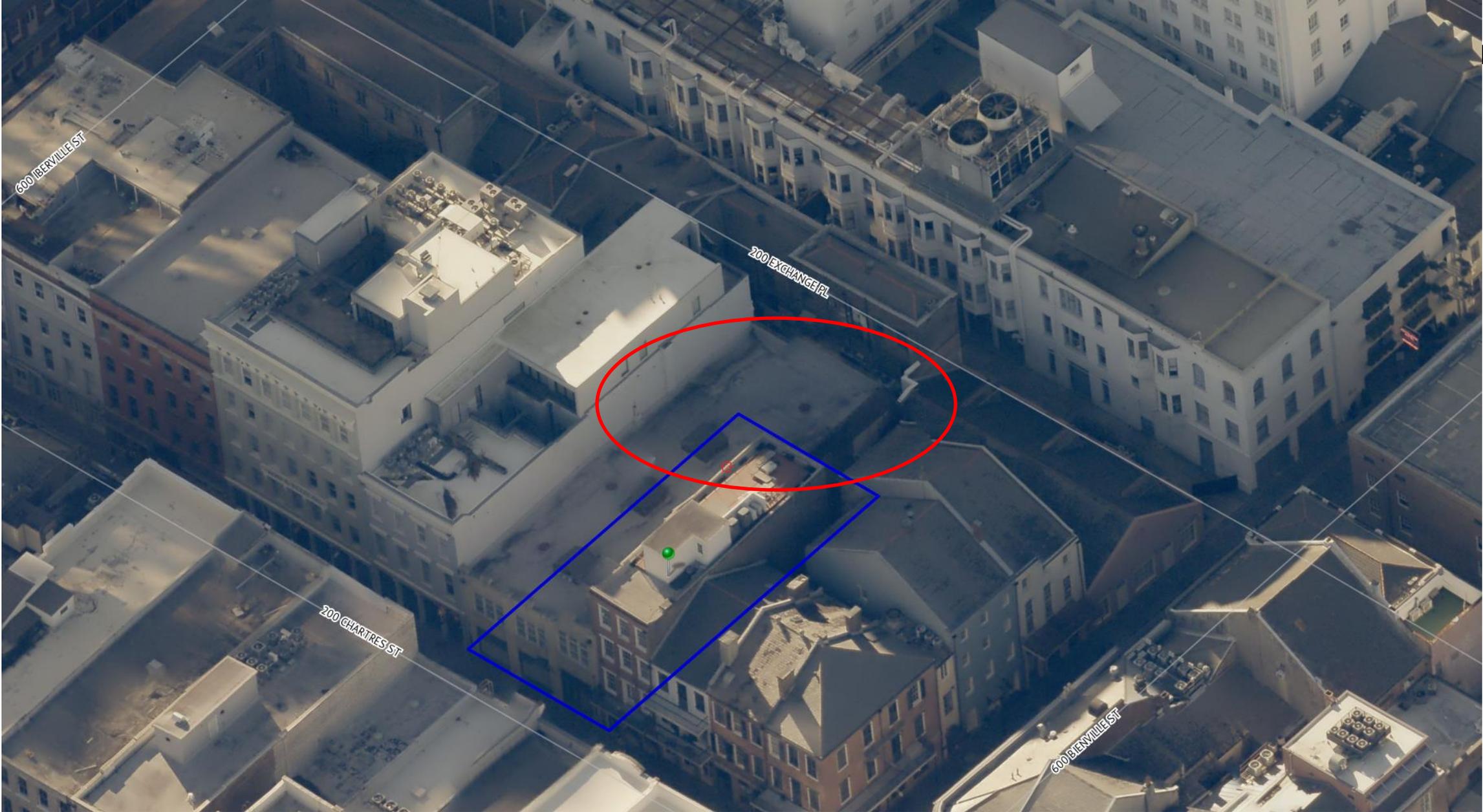


227 Chartres



227 Chartres





227 Chartres

VCC Architectural Committee

July 15, 2025





614 Bienville





614 Bienville

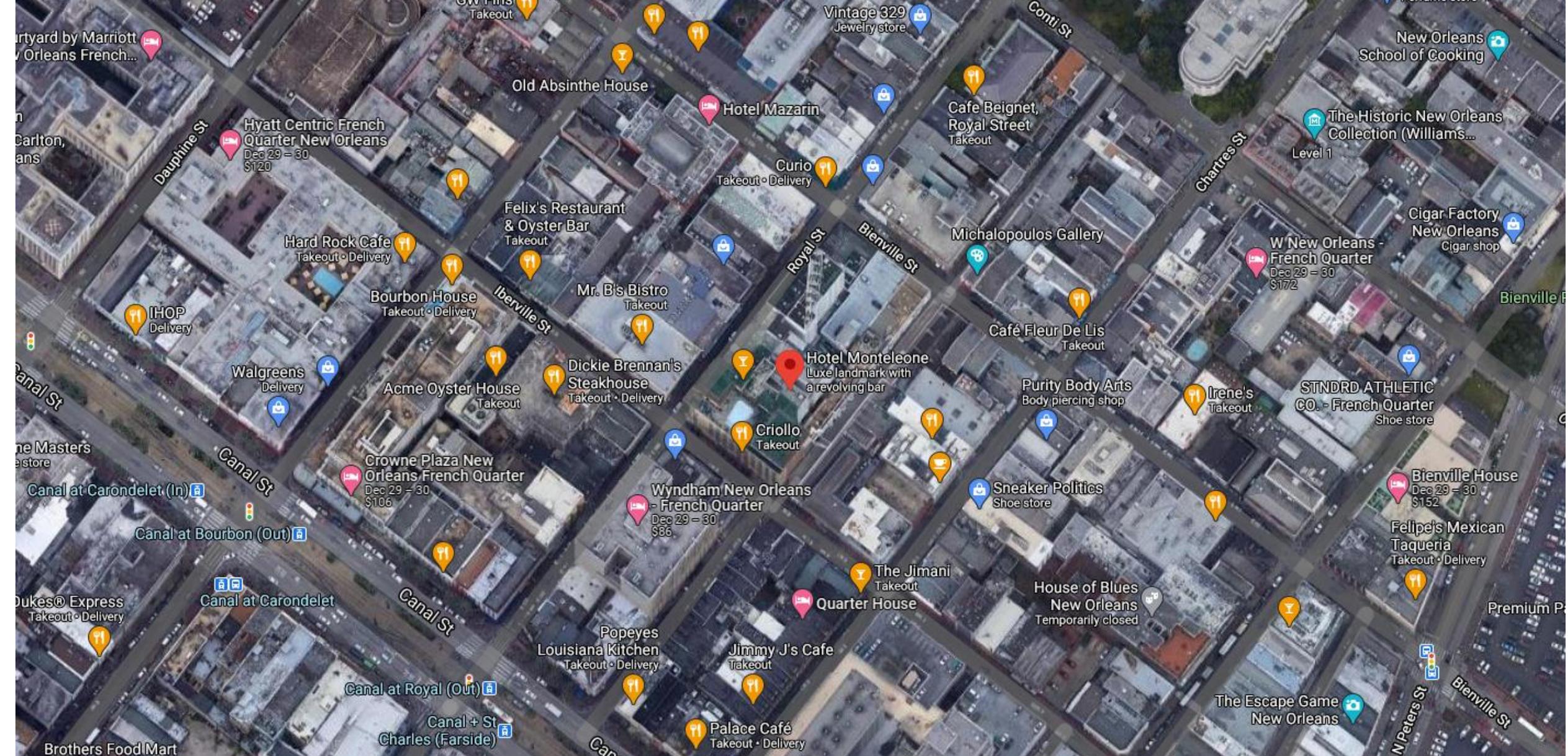


614 Bienville



614 Bienville



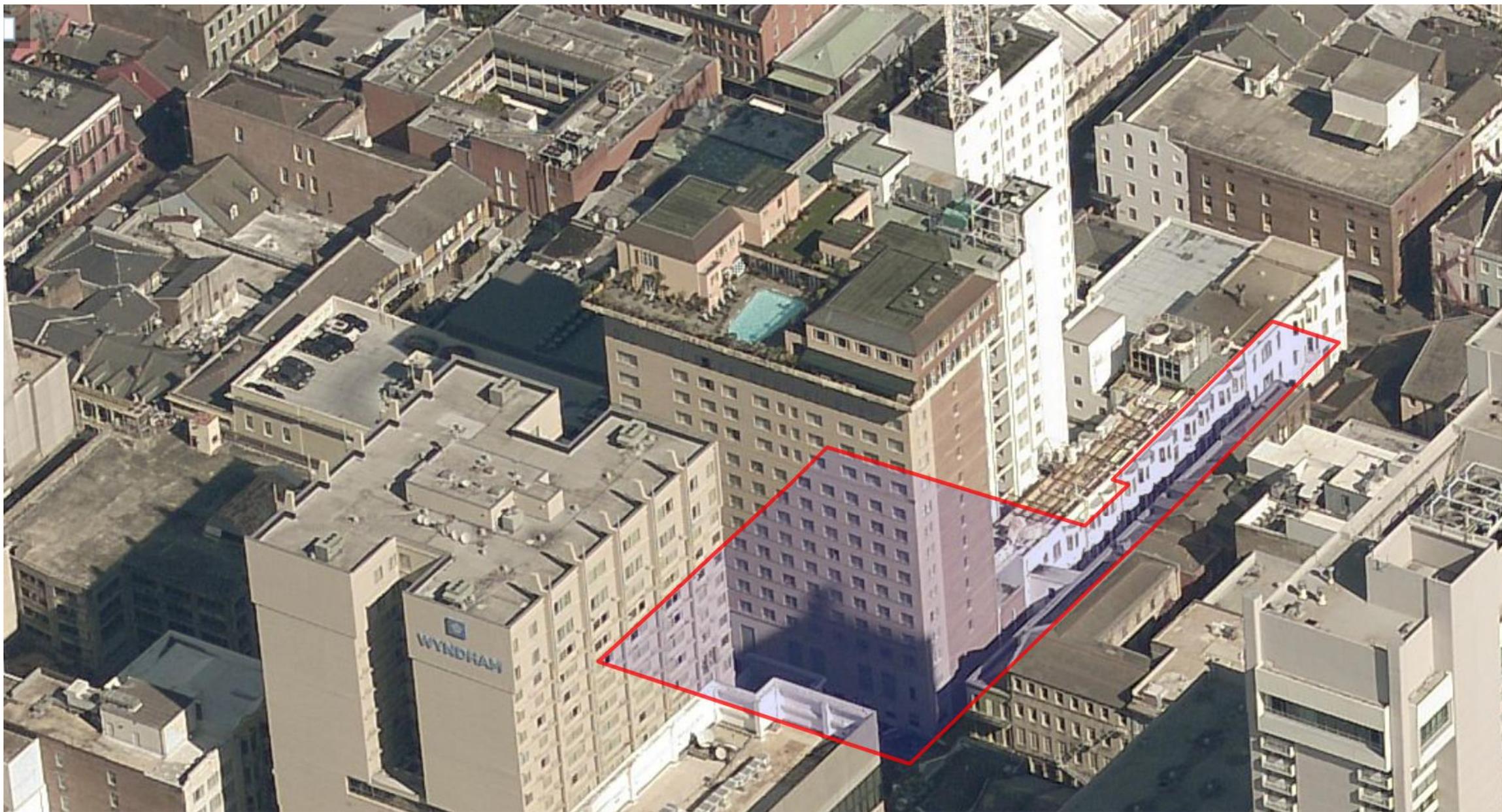


214 Royal

VCC Architectural Committee

July 15, 2025



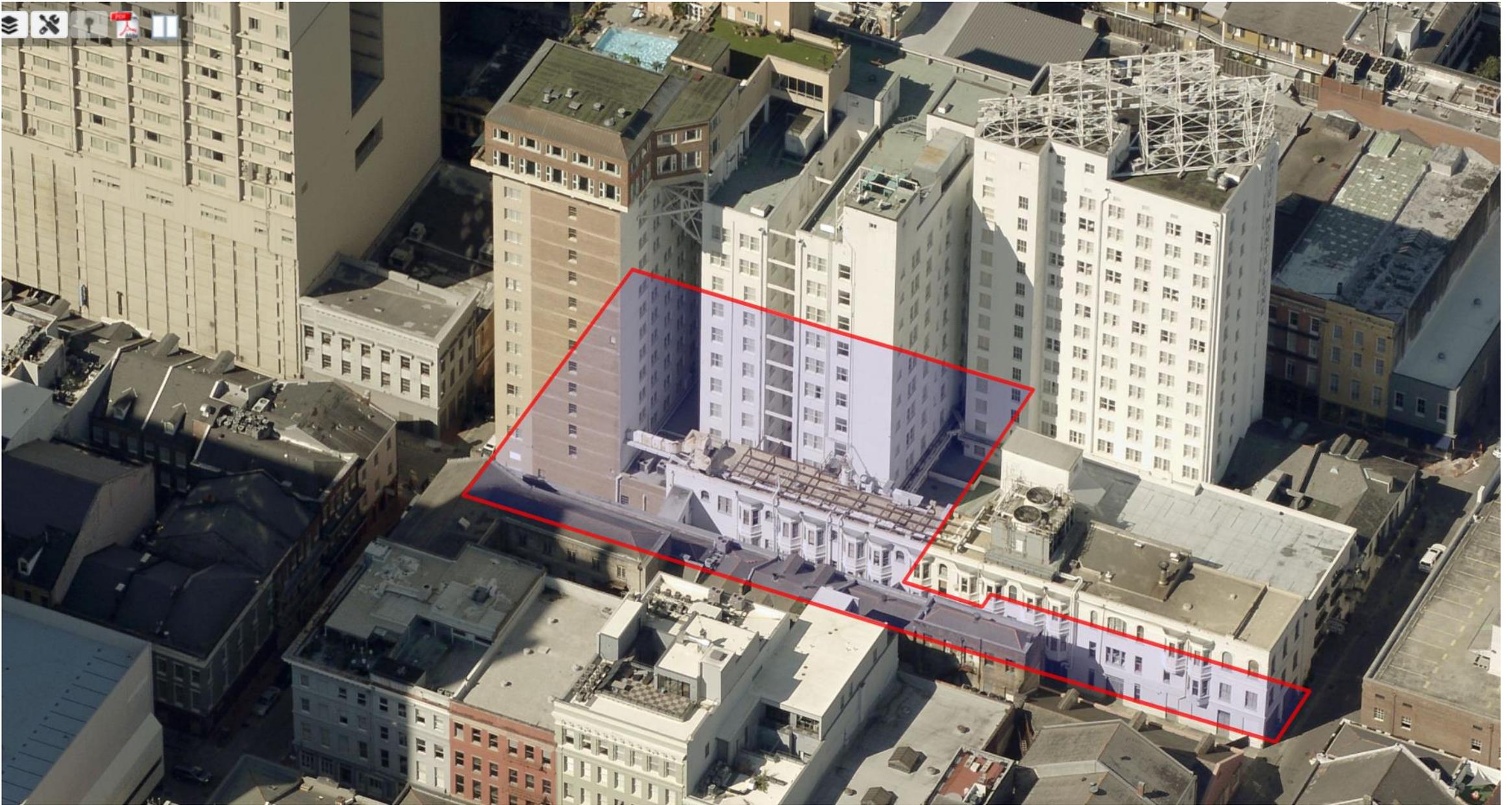


214 Royal

VCC Architectural Committee

July 15, 2025





214 Royal

VCC Architectural Committee

July 15, 2025





227 Chartres, 614 Bienville, 200 Royal

VCC Architectural Committee

July 15, 2025





227 Chartres, 614 Bienville, 200 Royal

VCC Architectural Committee

July 15, 2025





227 Chartres, 614 Bienville, 200 Royal

VCC Architectural Committee

July 15, 2025





227 Chartres, 614 Bienville, 200 Royal

VCC Architectural Committee

July 15, 2025





227 Chartres, 614 Bienville, 200 Royal

VCC Architectural Committee

July 15, 2025



Project Description

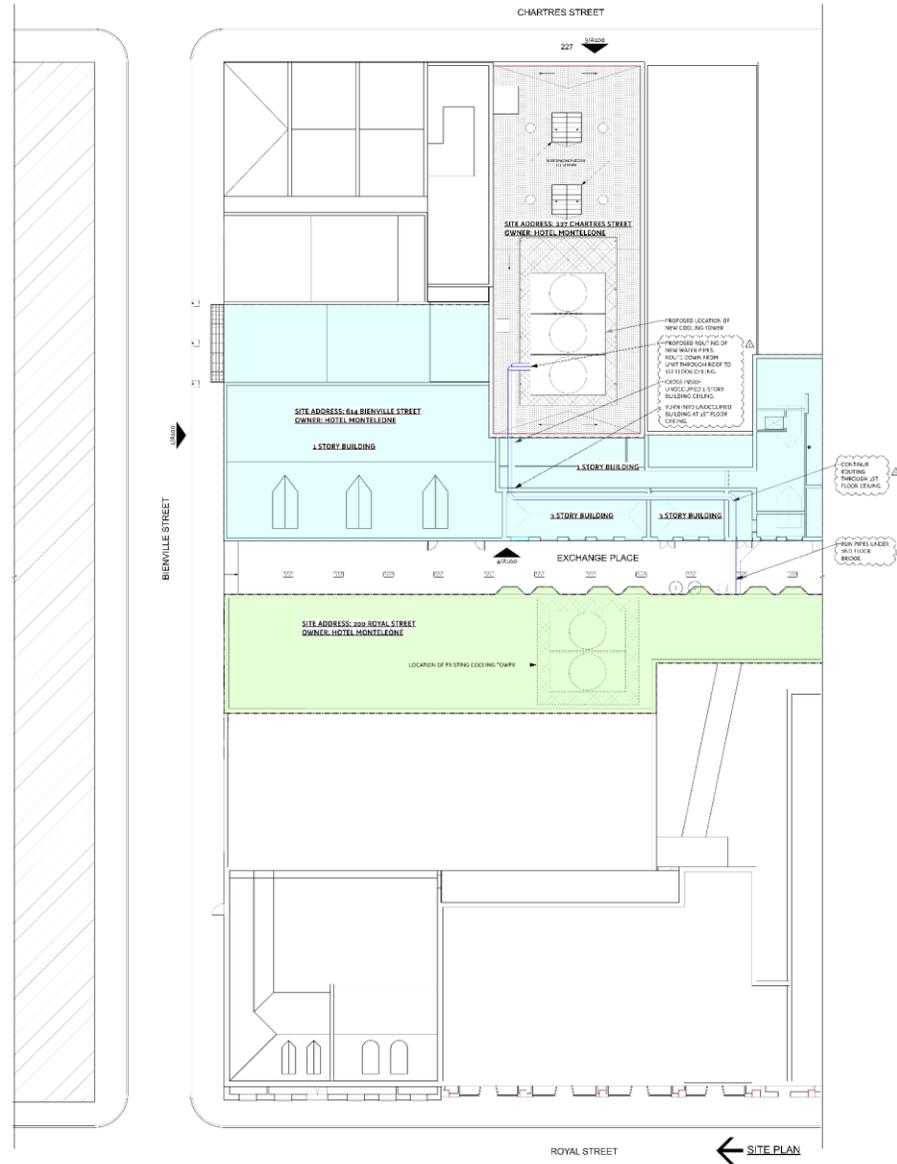
Installation of a new cooling tower to serve the Hotel Monteleone, on the roof of the 2-story 227 Chartres building that is part of the Monteleone property. The existing cooling towers are deteriorating and the existing location cannot hold the required size needed to serve the hotel 24/7, year round. The exposed piping serving the existing cooling tower can be removed and the face of the building repaired, and new concealed lines can be run for the new unit location.

Sheet Index:

ARCHITECTURAL

- A000 Cover Sheet & Site Plan
- A100 Elevations & Sections
- A200 3D Views

Project Location



ARCHITECTS

2114 Magazine St, Suite 200
New Orleans, Louisiana 70112
www.nksa.net | (504) 581-3722

Cooling Tower Relocation
Hotel Monteleone
227 Chartres Street, NOLA 70130

Issued

Date	To	Use / Restriction
03.21.25	VCC	Concept Review
04.24.25	City	BESA

Progress X

Release

Project No. 2405 Drawn By rac

Site Plan
Cover Sheet

A000

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ARCHITECTS

3154 Magazine St, Suite 200
New Orleans, Louisiana 70130
www.nzcs.net | (504) 501-3723

Cooling Tower Relocation
Hotel Monteleone
227 Chartres Street, NOLA 70130

Issued

Date	To	Use / Restriction
04.29.25	VCC	Concept Review
04.24.25	City	BEA

Progress
Release

Project No. 2405 Drawn By: rac

Elevations
Photos

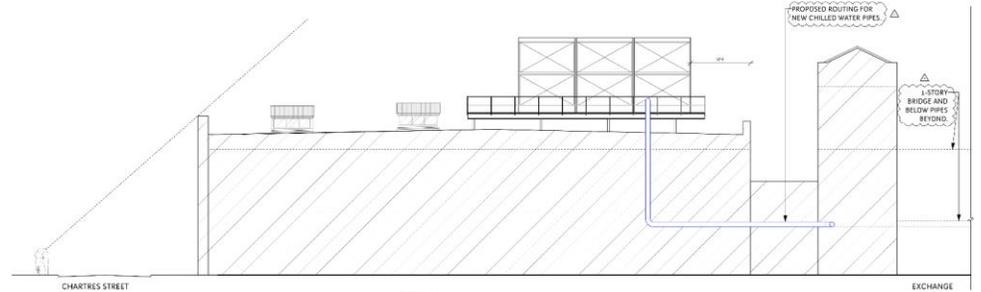
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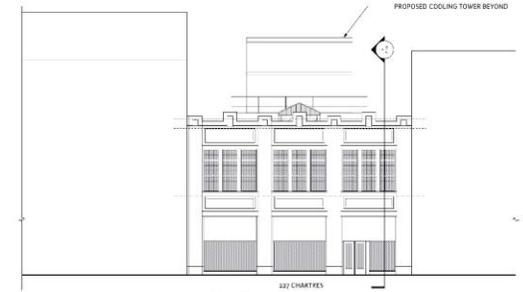
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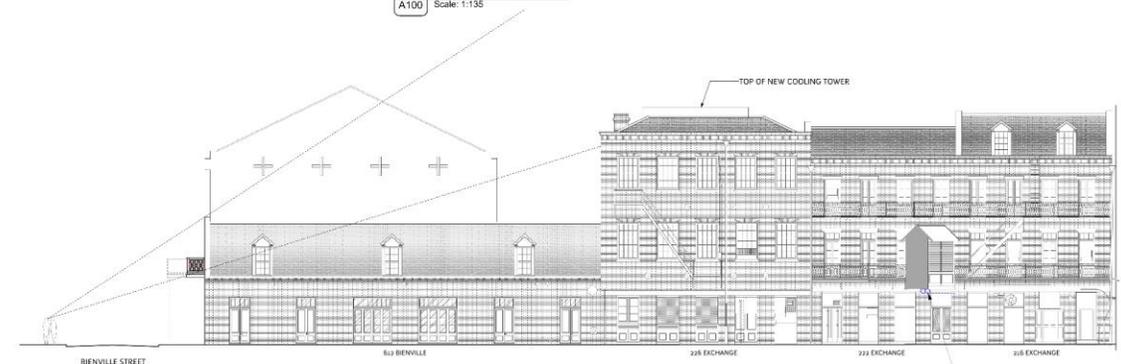
1 Bienville Street Elevation
Scale: 1:135



2 Section at 227 Chartres
Scale: 1:135



3 Chartres Street Elevation
Scale: 1:135



4 Exchange Place Elevation
Scale: 1:135



1 GENERAL NOTES

1. EXISTING CONDITIONS: ALL DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE PROXIMATE AND ARE NOT PURSUED TO BE CORRECTED...

2. EXISTING UTILITIES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OR FABRICATION...

3. SHORING: SHORE AND BRACE ALL EXISTING FRAMING AS REQUIRED IN ORDER TO ACCOMPLISH WORK SHOWN ON DRAWINGS.

4. DRILLING HOLES FOR ANCHORS AND CORING HOLES: THE CONTRACTOR SHALL LOCATE EXISTING REINFORCING STEEL POST-INSTALLATION...

5. DAMAGE TO EXISTING CONSTRUCTION: ALL WORK SHALL BE DONE IN A MANNER WHICH WILL NOT DAMAGE ADJACENT EXISTING CONSTRUCTION WHICH IS TO REMAIN.

6. VAPOR BARRIER: A. UNLESS OTHERWISE STATED IN SPECIFICATIONS, PROVIDE OPACQUE, 15 MIL POLYETHYLENE VAPOR BARRIER CONFORMING TO ASTM F1745 ON TOP OF FILL UNDER ALL INTERIOR SLABS AND BEAMS...

7. GROUTED HELICAL PILES: A. MANUFACTURER: MAGNUM GEO-SOLUTIONS, CHANCE HELICAL, CATERINK, LLC, OR APPROVED EQUAL.

8. CONCRETE: A. ACI 318-19 SPECIFICATIONS B. NORMAL WEIGHT CONCRETE: 150 PCF C. COMPRESSIVE STRENGTH AT 28 DAYS: 4,000 PSI

9. REINFORCING STEEL: A. REINFORCING BARS: ASTM A615, GRADE 60 OR 75 B. WELDABLE REINFORCING BARS: ASTM A706, GRADE 60

10. REINFORCING CLEARANCES REQUIRED FOR STRUCTURALLY SUPPORTED CONCRETE: ACI 318 STANDARDS UNLESS SPECIFICALLY NOTED OR SHOWN ON THE DRAWINGS, REINFORCING CLEARANCES SHALL BE AS FOLLOWS:

11. REINFORCING DETAILS FOR STRUCTURALLY SUPPORTED CONCRETE: ACI 318 STANDARDS UNLESS SPECIFICALLY NOTED OR SHOWN ON THE DRAWINGS, BARS LAPS AND CONNECTIONS SHALL BE AS FOLLOWS:

Table with 2 columns: LOCATION, BAR SIZE. Rows include SLAB, OTHER, TOP, OTHER with various bar sizes and lengths.

NOTE: REQUIRED TENSION LAP SPICE LENGTHS FOR f_c=4,000 PSI FOR HIGHER OR LOWER VALUES OF f_c, LAP LENGTHS MAY BE ADJUSTED ACCORDINGLY. SUBMIT PROPOSED LENGTHS FOR APPROVAL.

12. STRUCTURAL STEEL: A. I.B.C. SPECIFICATIONS, STEEL CONSTRUCTION MANUAL, 14TH EDITION. ALL WIDE FLANGE SHAPES ASTM A992 GRADE 50...

B. ALL BEAM CONNECTIONS SHALL BE A.I.S.C. STANDARD FRAMED CONNECTIONS. SHOP CONNECTIONS SHALL BE WELDED. FIELD CONNECTIONS SHALL BE BOLTED...

C. ALL STRUCTURAL STEEL ITEMS AND RESPECTIVE ANCHORS AND FASTENERS PERMANENTLY EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123...

13. FRAMING LUMBER: A. SOUTHERN YELLOW PINE MINIMUM #2 KILN DRIED. B. AT TIME OF FABRICATION, MC-10 (15% MOISTURE CONTENT).

C. ALL WOOD FRAMING, FABRICATION, CONNECTIONS AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST AND PAPER ASSOCIATION...

E. WOOD FRAMING ADJACENT TO STEEL CONSTRUCTION SHALL BE FASTENED TO STEEL FRAMING WITH POWDER-ACTUATED FASTENERS. F. UNLESS OTHERWISE NOTED, ALL LUMBER PERMANENTLY EXPOSED TO WEATHER SHALL BE PRESURE TREATED WITH COPPER AZOLE TYPE B (CA-B) IN ACCORDANCE WITH CURRENT AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARDS P5 AND SECTION U1...

14. SURF-DRAINAGE: A. MATERIAL: B. GRATING: FRESH COATING C. DEPTH OF BEARING BAR: 1/2" D. SPACING OF BEARING BAR: 1/2" E. THICKNESS OF BEARING BAR: 1/2" F. SECTION MODULUS: 1/2" IN G. MOMENT OF INERTIA: 1/2" IN H. MINIMUM YIELD STRENGTH: 1/2" KSI J. MINIMUM YIELD STRENGTH: 1/2" KSI K. CONNECTIONS: TYPE CONNECTORS SPACED AT 1/2" O.C.

15. MECHANICAL EQUIPMENT: A. PRIOR TO THE DETAILING OF ANY STRUCTURAL MATERIALS INVOLVED IN THE SUPPORT OF MECHANICAL EQUIPMENT, THE CONTRACTOR SHALL FURNISH TO THE ARCHITECT ALL INFORMATION RELATIVE TO LOADS, LOAD POINTS, DIMENSIONS, ETC. OF THE EQUIPMENT WHICH IS TO BE FURNISHED.

16. WELDING PRECAUTIONS: A. FIRE PREVENTION: ALL AT TIMES DURING WELDING AND TORCH CUTTING IN THE EXISTING BUILDING THE CONTRACTOR SHALL HAVE ADEQUATE FIRE FIGHTING EQUIPMENT READY FOR USE AT THE LOCATION OF THE WELDING, THE WELDING AND TORCH CUTTING PROCESS SHALL BE CONTROLLED AND MONITORED BY THE CONTRACTOR SO AS TO PREVENT THE IGNITION OF ANY COMBUSTIBLES IN THE CONSTRUCTION AREA. OBSERVATIONS SHALL CONTINUE FOR AT LEAST 4 HOURS AFTER WELDING IN A PARTICULAR AREA.

B. PROVIDE ADEQUATE VENTILATION AS TO TOTALLY EXHAUST WELDING FUMES OUT OF THE CONSTRUCTION AREA SO AS NOT TO CONTAMINATE ANY PORTION OF THE EXISTING BUILDING.

17. POST-INSTALLED ANCHORS TO HARDENED CONCRETE: A. IN THE INSTALLATION OF ANCHORS, CARE SHALL BE TAKEN SO AS NOT TO NICK OR CUT EXISTING REINFORCING, CONDUIT, ETC. SEE GENERAL NOTE #10 FOR PROCEDURE FOR DRILLING HOLES IN EXISTING CONCRETE.

B. UNLESS NOTED OTHERWISE, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY H.L.T. INC. OR APPROVED EQUAL: 1. ANCHORAGE TO CONCRETE: a. ADHESIVE ANCHORS: H.L.T. HIT-HY 200 SAFE SET SYSTEM WITH HAS-E THREADED ROD...

18. OTHER WORK: COORDINATE ALL OTHER WORK WITH STRUCTURAL, UNLESS DETAILED OR SPECIFIED. THE ARCHITECT IS TO APPROVE ALL OPENINGS, SLEEVES, EMBEDDED ITEMS ETC. INVOLVED IN STRUCTURAL WORK PRIOR TO THEIR BEING SET. DO NOT CUT OR DRILL HOLES IN STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT.

19. EXISTING EQUIPMENT: THE CONTRACTOR IS RESPONSIBLE TO TEMPORARILY RELOCATE OR ADJUST EXISTING DUCTS, CONDUIT, METAL STUD FRAMING, ETC. AS REQUIRED TO INSTALL REINFORCING OR MAKE REPAIRS. AFTER NEW WORK IS COMPLETE, EXISTING DUCTS AND CONDUIT ARE TO BE PLACED INTO THEIR ORIGINAL LOCATION METAL STUD FRAMING, GYPSUM ETC. ARE TO BE REPLACED IN KIND AND AREA TO BE LEFT AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE. ALL MATERIALS USED FOR PATCHING SHALL MATCH EXISTING MATERIALS IN APPEARANCE AND QUALITY.

20. CUTTING EXISTING CONVENTIONALLY REINFORCED CONCRETE FLOOR: A. SAW CUT PERIMETER OF SLAB TO BE REMOVED 3/4" DEEP. B. BREAKOUT FIELD OF SLAB WITH SMALL ELECTRIC OR PNEUMATIC CHISELS.

21. DESIGN LOADS AND OTHER PERTINENT DESIGN INFORMATION: A. BUILDING CODE: INTERNATIONAL BUILDING CODE 2021 / ASCE 7-16 B. FLOOR LIVE LOAD: 150 PSF C. ROOF SNOW LOAD: 1. GROUND SNOW LOAD (Pg) 0 PSF D. WIND LOAD: 1. WIND SPEEDS: V=1 = 144 MPH V=50 = 125 MPH 2. WIND CATEGORY: B 3. WIND EXPOSURE CATEGORY: B 4. INTERNAL PRESSURE COEFFICIENT: +/- 0.18

4/20/23 2:30 PM

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Table with 2 columns: REVISIONS, DATE. Multiple empty rows for revisions.

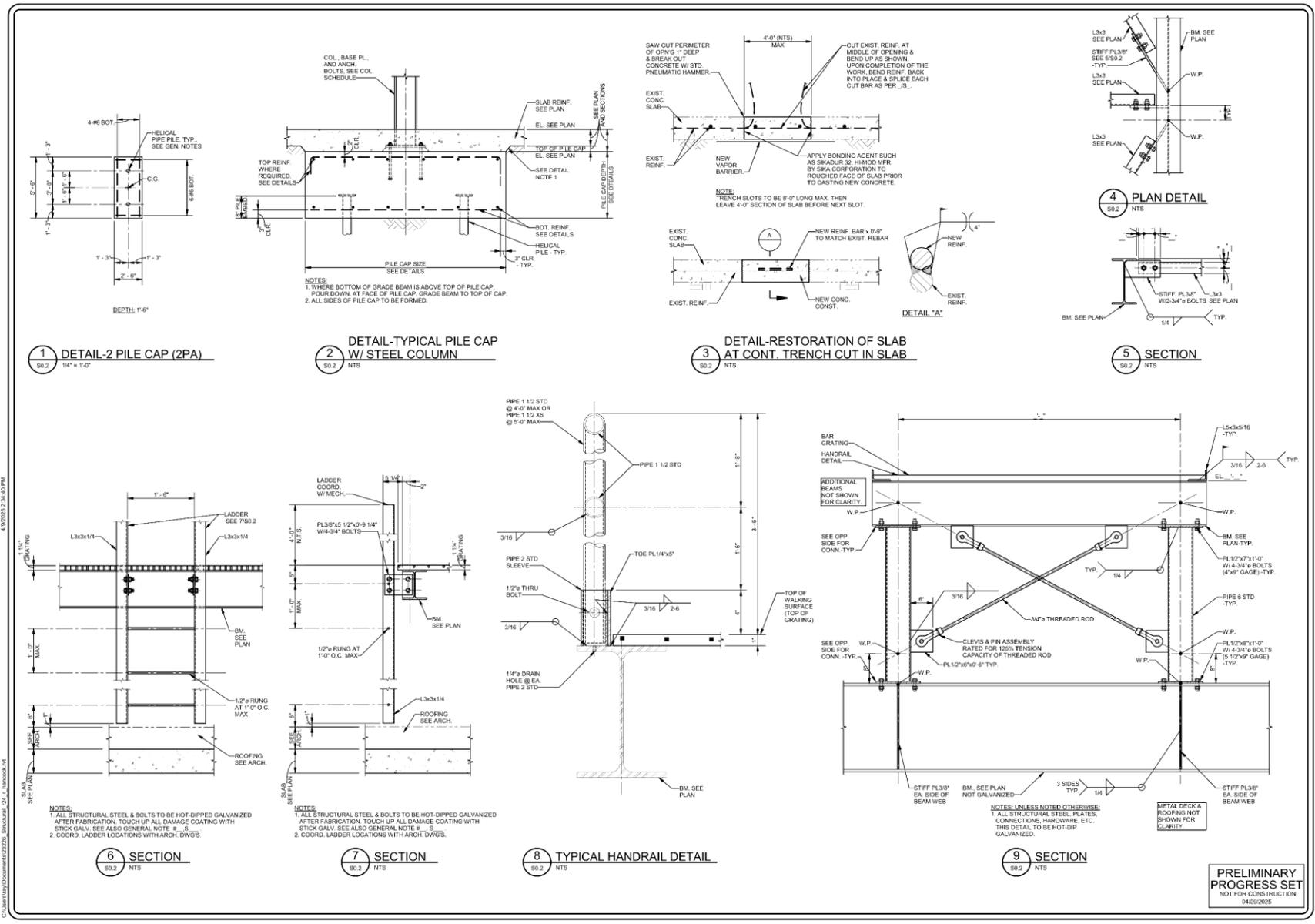
Consulting Engineers: 336 N. NORMAN, C. FRANCIS HWY., NEW ORLEANS, LOUISIANA 70119. PHONE: (504) 488-1317. FAX: (504) 488-5924. WWW: WWW.MAKOFSKY.COM

M O R P H Y MAKOFSKY INCORPORATED

HOTEL MONTELEONE NEW CHILLER PLATFORM 214 ROYAL STREET, NEW ORLEANS, LA 70130

Table with 2 columns: DRAWN, CHECKED, DATE, ISSUE, PRELIMINARY, SCALE, AS SHOWN, JOB NO, 2326, SHEET. Includes 'S0.1' and 'PRELIMINARY PROGRESS SET NOT FOR CONSTRUCTION 04/20/23/26'.





REVISIONS	DATE

Consulting Engineers
338 N. NORMAN C. FRANCIS PARKY.
NEW ORLEANS, LOUISIANA 70119
PHONE: (504) 486-1377
FAX: (504) 486-0254
Web: www.mme-eng.com

MORPHY
MAKOFSKY
INCORPORATED

**HOTEL MONTELEONE
NEW CHILLER PLATFORM**

214 ROYAL STREET, NEW ORLEANS, LA 70130

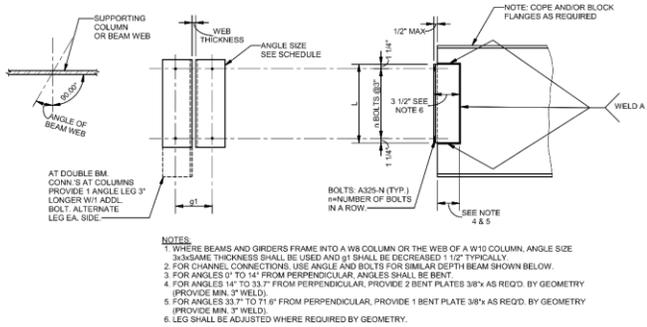
DRAWN: HSB
CHECKED: HSB
DATE: 04/09/25
SCALE: AS SHOWN
JOB NO: 23226
SHEET

S0.2



TYPICAL BEAM TO BEAM AND BEAM TO COLUMN CONNECTION SCHEDULE AND DETAIL

1
S0.3
NTS

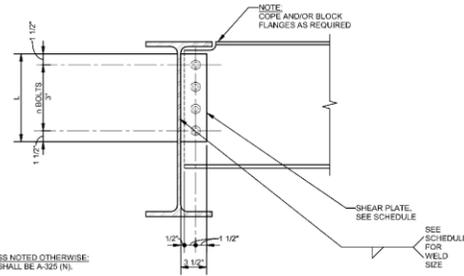


- NOTES:**
- WHERE BEAMS AND GIRDERS FRAME INTO A W8 COLUMN, OR THE WEB OF A W10 COLUMN, ANGLE SIZE 3/8xSAME THICKNESS SHALL BE USED AND 'g1' SHALL BE DECREASED 1/2" TYPICALLY.
 - FOR CHANNEL CONNECTIONS, USE ANGLE AND BOLTS FOR SIMILAR DEPTH BEAM SHOWN BELOW.
 - FOR ANGLES 0° TO 14° FROM PERPENDICULAR, ANGLES SHALL BE BENT.
 - FOR ANGLES 14° TO 33.7° FROM PERPENDICULAR, PROVIDE 2 BENT PLATES 3/8" AS REQ'D. BY GEOMETRY (PROVIDE MIN. 3" WELD).
 - FOR ANGLES 33.7° TO 71.6° FROM PERPENDICULAR, PROVIDE 1 BENT PLATE 3/8" AS REQ'D. BY GEOMETRY (PROVIDE MIN. 3" WELD).
 - LEG SHALL BE ADJUSTED WHERE REQUIRED BY GEOMETRY.

BEAM SIZE	ANGLE SIZE	ANGLES 0° TO 33.7°				WELD A	BOLT DIAMETER	ANGLES 33.7° TO 71.6°	
		L in.	n	g1	L in.			n	
C6's, C10's, W8's & W10's	L4x3 1/2x5/16	5 1/2	2	5 1/2	3/16	3/4"	5 1/2	2	
C12's & W12's	L4x3 1/2x5/16	5 1/2	2	5 1/2	3/16	3/4"	8 1/2	3	
W14's	L4x3 1/2x5/16	8 1/2	3	5 1/2	3/16	3/4"	11 1/2	4	
W16's	L4x3 1/2x5/16	8 1/2	3	5 1/2	3/16	3/4"	11 1/2	4	
W18's	L4x3 1/2x5/16	11 1/2	4	5 1/2	3/16	3/4"	14 1/2	5	
W21's	L4x3 1/2x5/16	11 1/2	4	5 1/2	3/16	3/4"	17 1/2	6	
W24's	L4x3 1/2x5/16	14 1/2	5	5 1/2	3/16	3/4"			
W27's	L4x3 1/2x5/16	17 1/2	6	5 1/2	1/4	3/4"			
W30's	L4x3 1/2x3/8	20 1/2	7	5 1/2	1/4	3/4"			
W33's	L4x3 1/2x3/8	23 1/2	8	5 1/2	1/4	3/4"			
W36's	L4x3 1/2x3/8	26 1/2	9	5 1/2	1/4	3/4"			
W40's	L4x3 1/2x3/8	29 1/2	10	5 1/2	1/4	3/4"			

ALTERNATE BEAM TO BEAM CONNECTION SCHEDULE AND DETAIL

2
S0.3
NTS



- NOTES: UNLESS NOTED OTHERWISE:**
- ALL BOLTS SHALL BE A-325 (F).

BEAM SIZE	PLATE SIZE	L in.	n	WELD (TYP) EA. SIDE	BOLT DIAMETER
W8's	5/16"x 3 1/2"	6	2	1/4	3/4"
W10's	5/16"x 3 1/2"	6	2	1/4	3/4"
W12's	5/16"x 3 1/2"	9	3	1/4	3/4"
W14's	5/16"x 3 1/2"	9	3	1/4	3/4"
W16's	5/16"x 3 1/2"	12	4	1/4	3/4"
W18's	5/16"x 3 1/2"	12	4	1/4	3/4"
W21's	3/8"x 3 1/2"	15	5	5/16	3/4"
W24's	3/8"x 3 1/2"	15	5	5/16	3/4"
W27's	3/8"x 3 1/2"	18	6	5/16	3/4"

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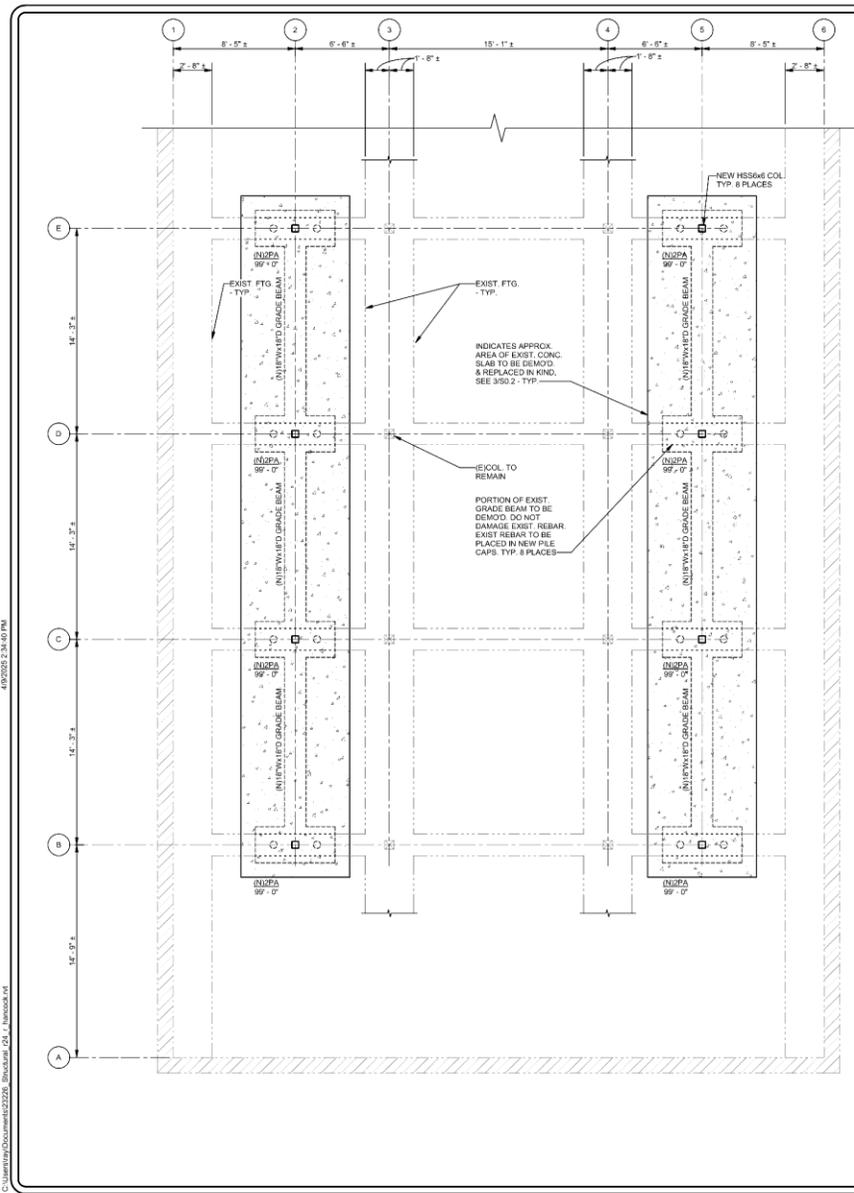
Consulting Engineers
MORPHY
 326 N. NORMAN C. FRANCIS PARK
 NEW ORLEANS, LOUISIANA 70119
 PHONE (504) 488-1317
 FAX (504) 488-0264
 Web: www.morpheng.com
MAKOFSKY
 INCORPORATED

HOTEL MONTELEONE
NEW CHILLER PLATFORM
 214 ROYAL STREET, NEW ORLEANS, LA 70130

DRAWN
 HSB
 CHECKED
 HSB
 DATE
 06/09/25
 ISSUE
 PRELIMINARY
 SCALE
 AS SHOWN
 JOB NO.
 23226
 SHEET
S0.3

PRELIMINARY
PROGRESS SET
NOT FOR CONSTRUCTION
04/09/2025





PLAN NOTES: UNLESS NOTED OTHERWISE:
 1. [Symbol] - INDICATES NEW 2 PILE CAP. TOP OF CAP AT EL. 99'-0". SEE DETAILS 3 FOR SIZE AND REINFORCING.
 2. (N) - INDICATES NEW CONSTRUCTION.
 3. (E) - INDICATES EXISTING CONSTRUCTION.

1
 S1.1 1/4" = 1'-0"

PRELIMINARY PROGRESS SET
 NOT FOR CONSTRUCTION
 04/09/2025

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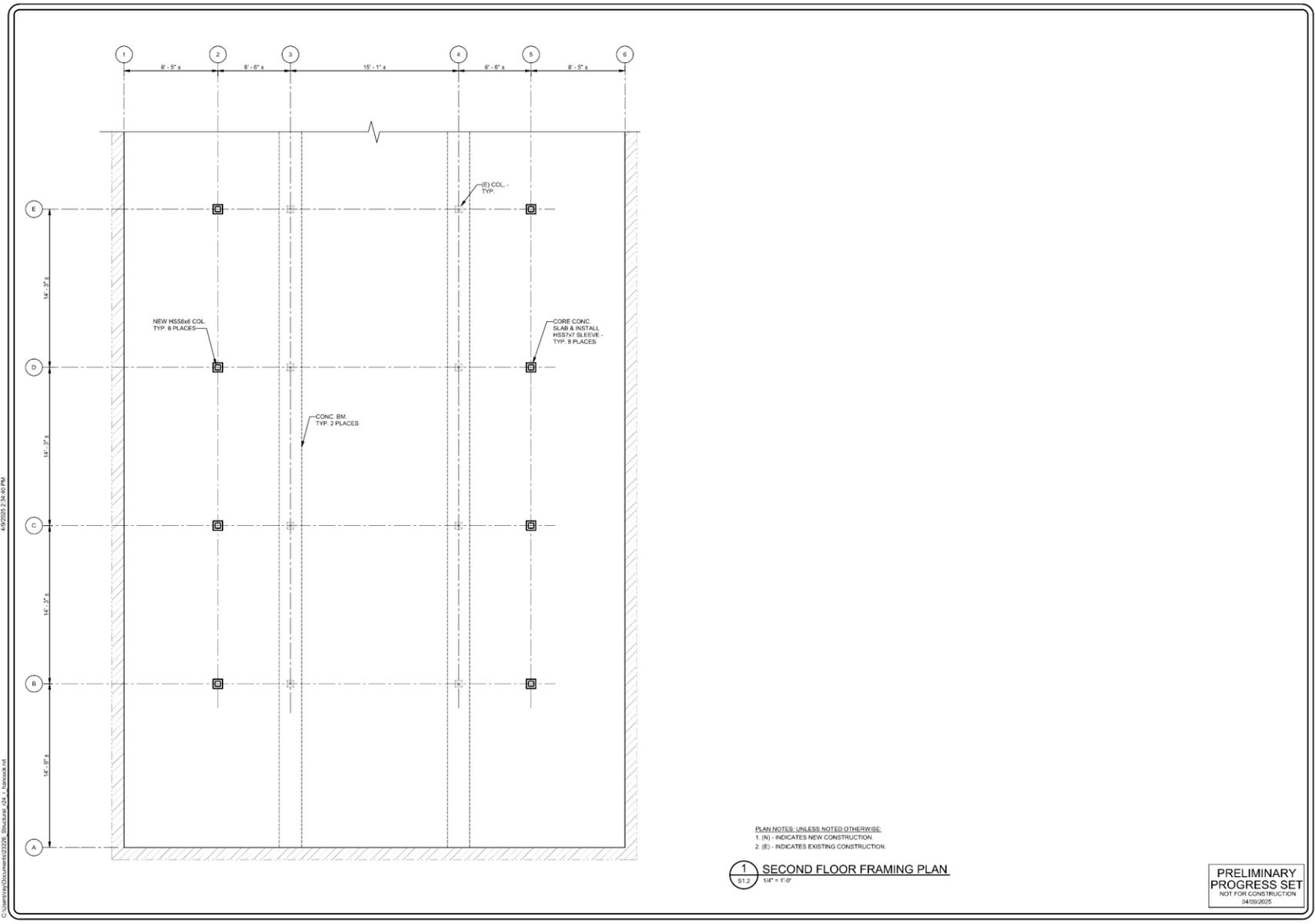
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338 N. NORMAN C. FRANCIS PARKY,
 NEW ORLEANS, LOUISIANA 70119
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NEW CHILLER PLATFORM
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SHEET	S1.1





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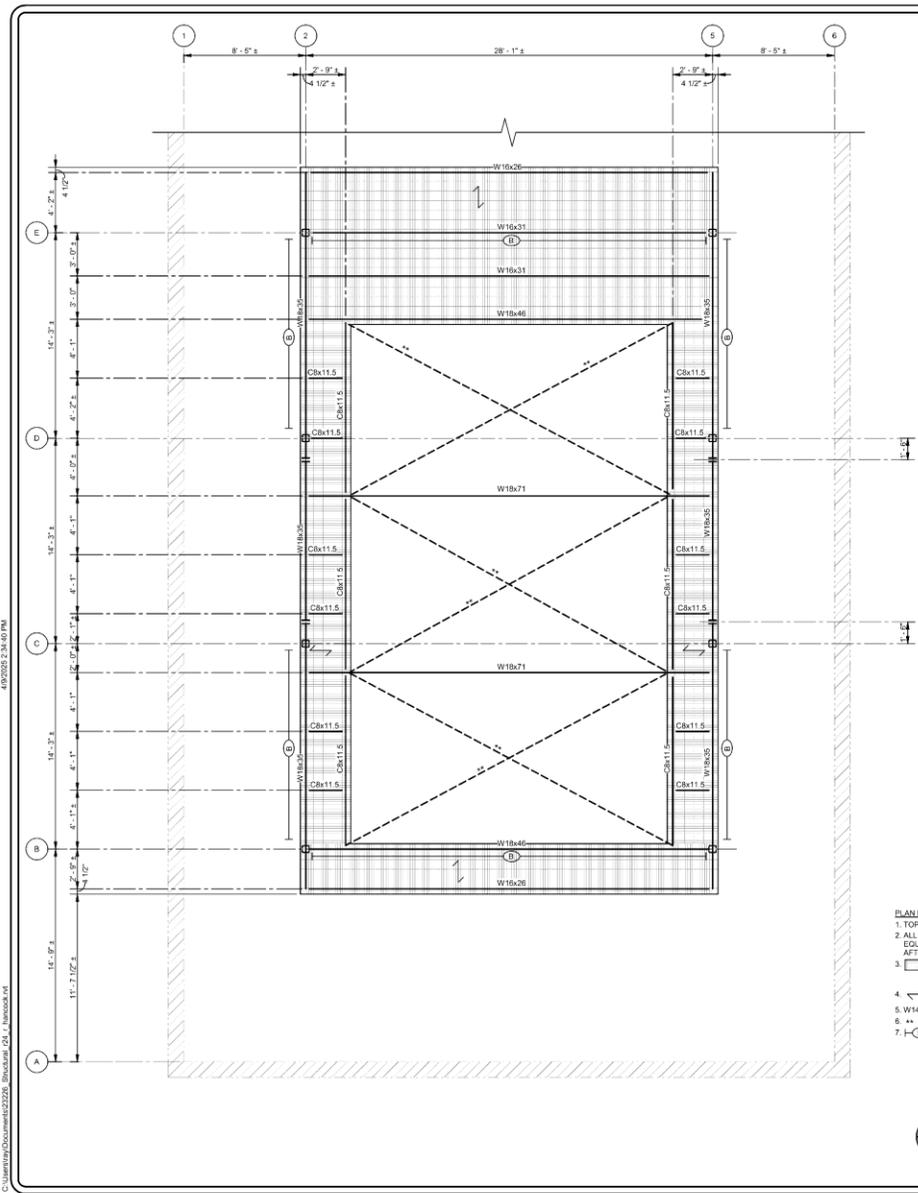
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SCALE	
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JOB NO.	
23226	
SHEET	
S1.2	

PRELIMINARY
PROGRESS SET
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 04/09/2025

PLAN NOTES, UNLESS NOTED OTHERWISE:
 1 (N) - INDICATES NEW CONSTRUCTION
 2 (E) - INDICATES EXISTING CONSTRUCTION

1 SECOND FLOOR FRAMING PLAN
 S1.2
 1/4" = 1'-0"





- PLAN NOTES: UNLESS NOTED OTHERWISE.
1. TOP OF STEEL EL.
 2. ALL STEEL BOLTS, PLATES, ETC. ASSOCIATED W/ MECH. & ELEC. EQUIPMENT PLATFORMS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
 3. INDICATES GALVANIZED STEEL GRATING 1 1/4"x1/4" BEARING BARS AT 18" O.C. & SELF DRILLING FASTENERS ON EACH SIDE OF PANEL AT EACH STEEL BEAM.
 4. INDICATES DIRECTION OF SPAN OF STEEL GRATING.
 5. W14-30(CONT.) - INDICATES NEW BEAM TO BE CONTINUOUS OVER COLUMN.
 6. INDICATES NEW GALV. L3x3x8 HORIZONTAL BRACING.
 7. INDICATES NEW GALV. BRACING FROM ABOVE EXIST. ROOF TO NEW PLATFORM.

1
NEW CHILLER PLATFORM
FRAMING PLAN
1/4" = 1'-0"

PRELIMINARY
PROGRESS SET
NOT FOR CONSTRUCTION
04/09/2025

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**HOTEL MONTELEONE
 NEW CHILLER PLATFORM**

214 ROYAL STREET, NEW ORLEANS, LA 70130

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CHECKED	HSB
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SCALE	AS SHOWN
JOB NO.	23226
SHEET	S1.4





New Business



1016 St Louis

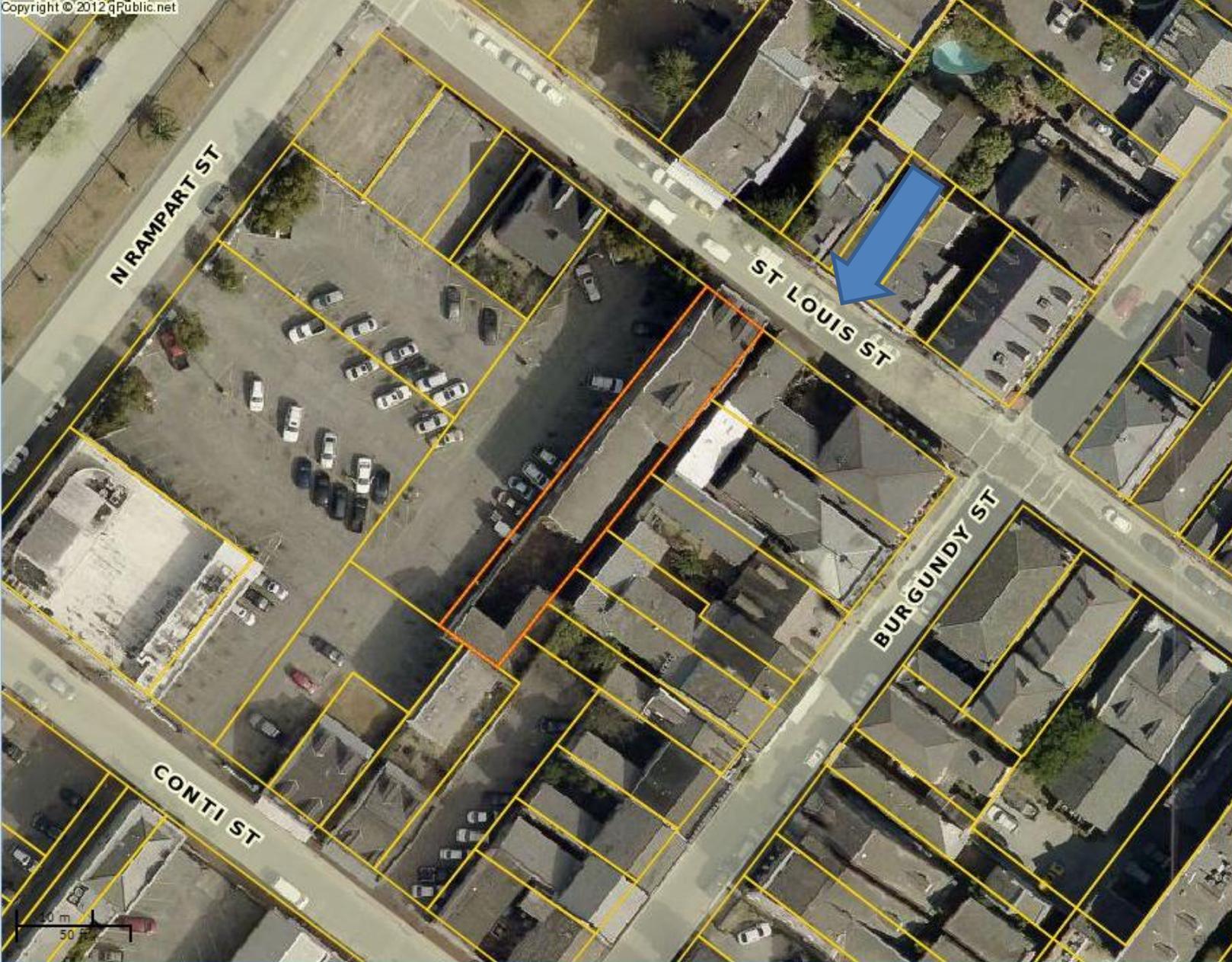


1016 St. Louis

VCC Architectural Committee

July 15, 2025





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July 15, 2025





1016 St. Louis, 1963

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July 15, 2025





1016 St. Louis, late 1940s-1950s

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1016 St. Louis, 1950s-1960s

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**SUPPLEMENTAL DOOR PLAN
FOR DOOR OPENINGS
#S 42, 54, 68 & 74**

REHABILITATION OF
1016 ST. LOUIS STREET
NEW ORLEANS, LOUISIANA

BENDERNAGEL ARCHITECTS, L.L.C.
5530 ATLANTA STREET, NEW ORLEANS, LA 70115 (504) 891-4700 ext.52
bendarch@bellsouth.net

**KEY PLAN FOR DOORS
CIRCLED IN RED ONLY**

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JOHN E. BENDERNAGEL, ARCHITECT

REHABILITATION OF
1016 ST. LOUIS STREET
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PROJECT # 2015 - 04

SUPP. DOORS

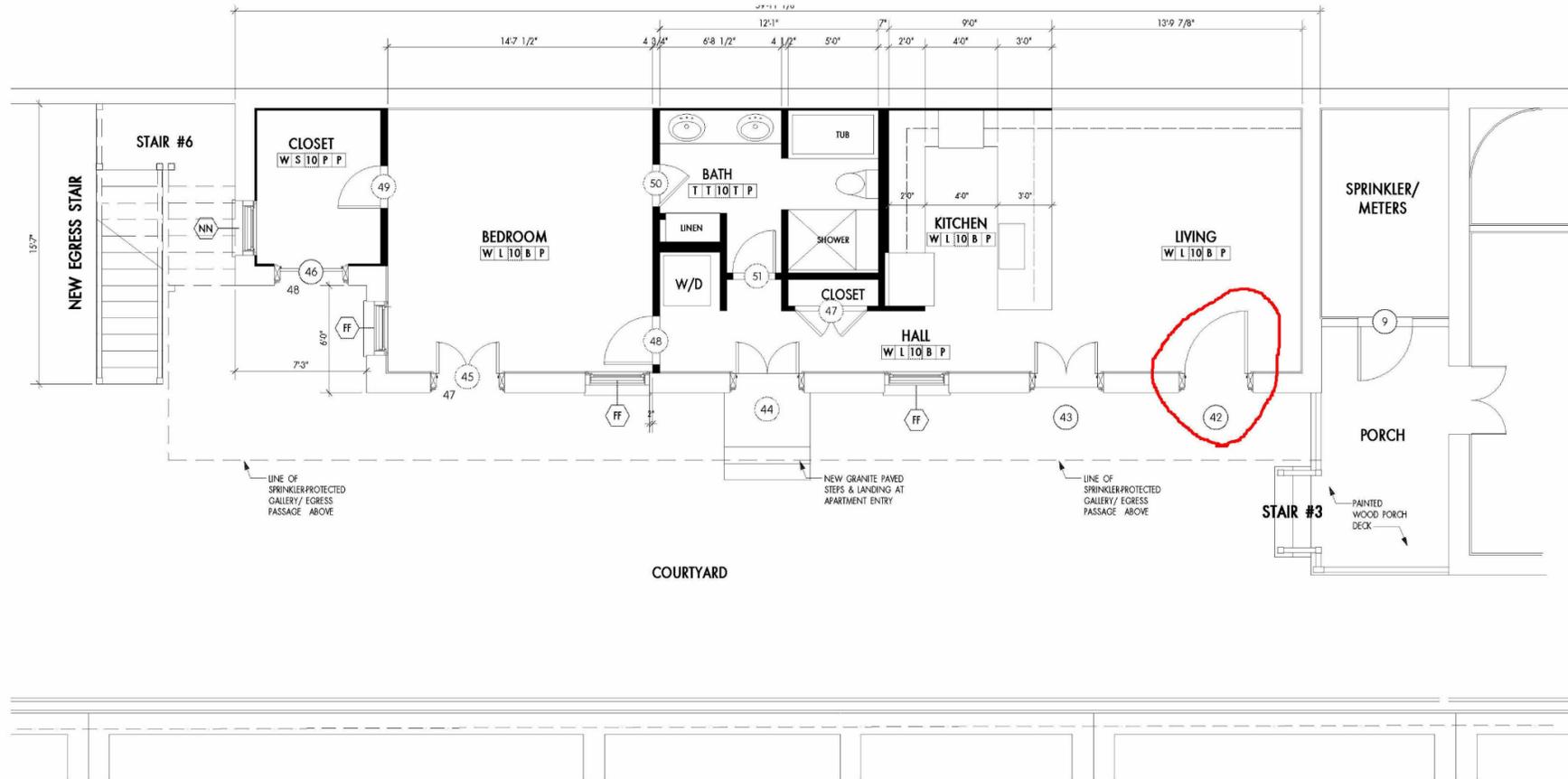
6/30/2025

S-00T

TITLE SHEET



July 15, 2025



1 FIRST FLOOR PLAN - BUILDING "B"
1/4" = 1'-0"

APARTMENT #4
964 SF - GROSS



**KEY PLAN FOR DOOR
CIRCLED IN RED ONLY**

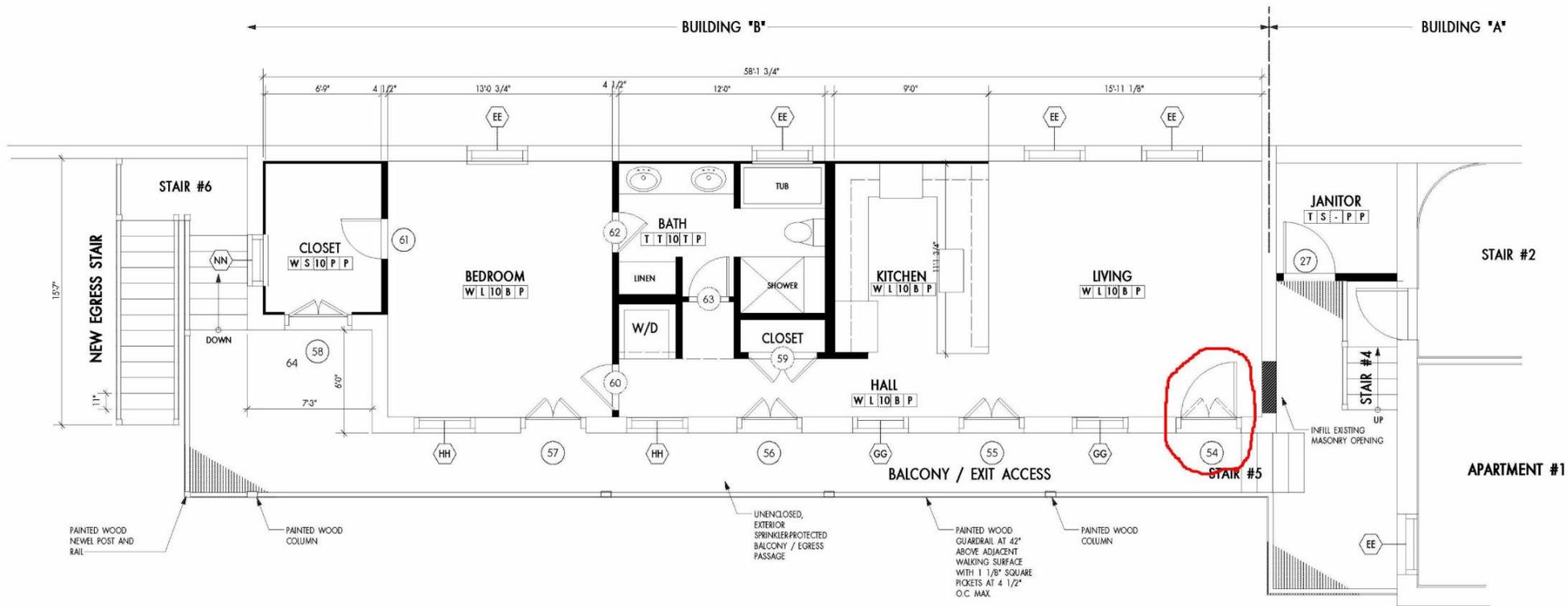
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1 SECOND FLOOR PLAN - BUILDING "B"
1/4" = 1'-0"

APARTMENT #5
964 SF - GROSS



**KEY PLAN FOR DOOR
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1 FIRST FLOOR PLAN - BUILDING "C"
1/4" = 1'-0"

APARTMENT #6



**KEY PLAN FOR DOOR
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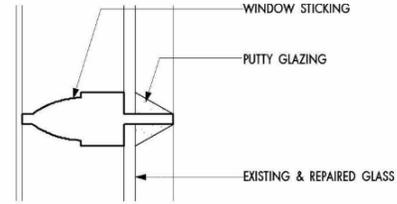
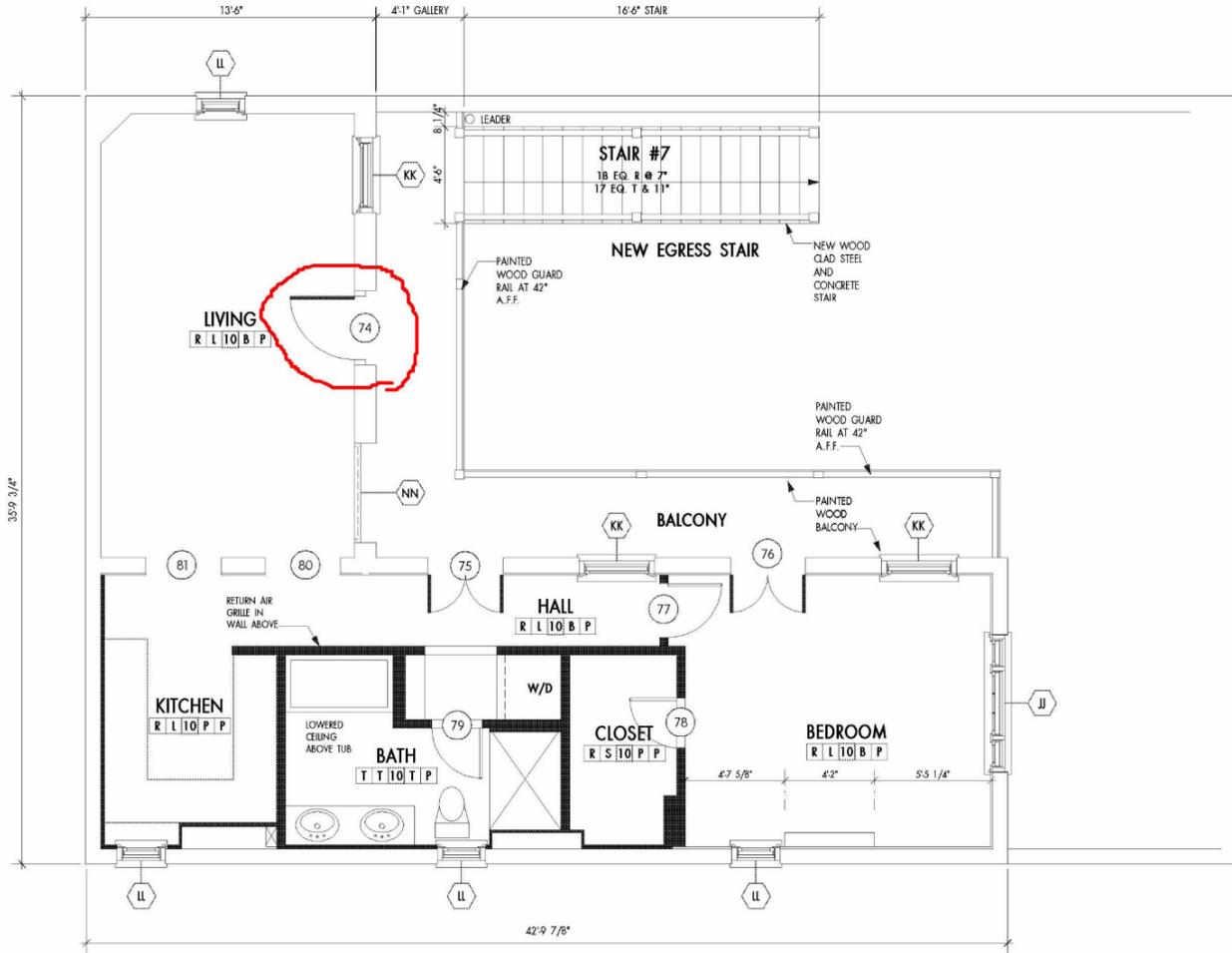
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July 15, 2025





10 EXISTING WINDOW STICKING
FULL SIZE

1 SECOND FLOOR PLAN - BUILDING "C"
1/4" = 1'-0"

APARTMENT #7



NORTH

MECHANICAL NOTES
1. REFER TO MECHANICAL PLANS BY OTHERS
2. MECHANICAL DUCTWORK FOR THIS UNIT IS LOCATED IN ATTIC SPACE

CEILING HEIGHT NOTES
1. EXISTING CEILING HEIGHT VARIES AT APPROXIMATELY 10'-0"

**KEY PLAN FOR DOOR
CIRCLED IN RED ONLY**

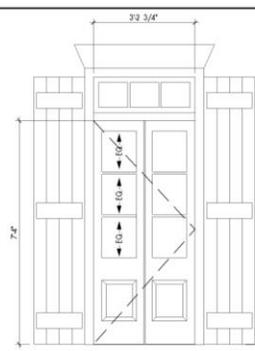
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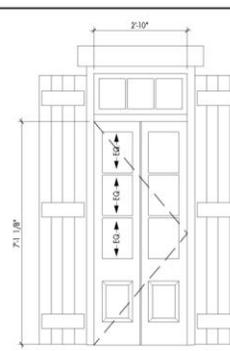
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54

NEW (REPLACE IN KIND STYLE) SINGLE ENTRANCE DOOR TO MIMIC PAIRS OF ADJACENT FRENCH DOORS #S 55, 56, 57 INTO 2ND FLOOR BUILDING B, APT#5

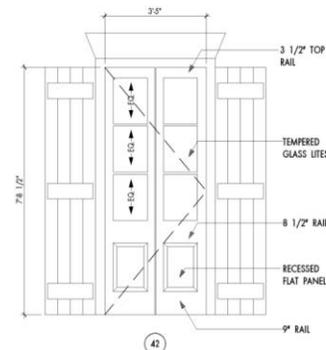


68 74

NEW (REPLACE IN KIND STYLE) SINGLE ENTRANCE DOOR TO MIMIC PAIR OF FRENCH DOORS INTO 1ST & 2ND FLOOR BUILDING C APTS #6 & #7

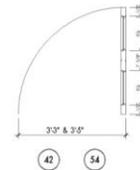
SINGLE-LEAF APARTMENT ENTRANCE DOOR NOTES

1. PROVIDE FOUR, PAINTED, SINGLE-LEAF WOOD & GLASS APARTMENT ENTRANCE DOORS IN EXISTING AND REPAIRED WOOD FRAMES TO MIMIC EXISTING AND REPAIRED ADJACENT EXTERIOR WOOD & GLASS FRENCH DOORS TO SATISFY ACCESS AND EGRESS REQUIREMENTS.
2. PROVIDE DETAILED SHOP DRAWINGS FOR ALL MILLWORK ASSEMBLIES.
3. NEW DOORS SHALL BE MILLED FROM SOLID SPANISH CEDAR MATERIAL.
4. PROVIDE TEMPERED GLASS LITES AS REQUIRED BY BUILDING CODE FOR OPERABLE DOOR LEAVES.
5. DOOR EDGE VERTICAL DOOR STILES SHALL BE 3 1/2" WIDE X 1 3/4" THICK, MINIMUM.
6. DOOR CENTER VERTICAL STILES SHALL BE 7 5/8" WIDE 1 3/4" THICK WITH MILLED 3/8" BEAD AND 1/8" X 1/8" REVEALS POSITIONED AT THE CENTER OF THE FACE OF THE MIDDLE STILE AS SHOWN.
7. DOOR BOTTOM RAILS SHALL BE 9"
8. DOOR MIDDLE RAILS SHALL BE 8 1/2"
9. DOOR TOP RAILS SHALL BE 3 1/2"
10. DOOR RECESSED FLAT PANELS SHALL BE 14" TALL AND SHALL HAVE MITERED PERIMETER MOLDING TO MATCH PROFILES AND DIMENSIONS OF EXISTING.



42

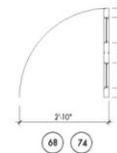
NEW (REPLACE IN KIND STYLE) SINGLE ENTRANCE DOOR TO MIMIC PAIRS OF ADJACENT FRENCH DOORS #S 43 & 42 INTO 1ST FLOOR, BUILDING B, APT#4



42

54

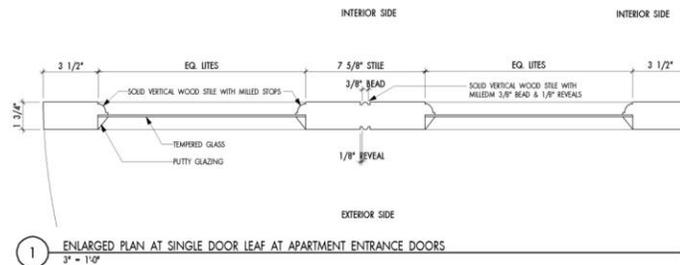
3 PLAN AT APARTMENT ENTRANCE DOORS 1/2" - 1'0"



68

74

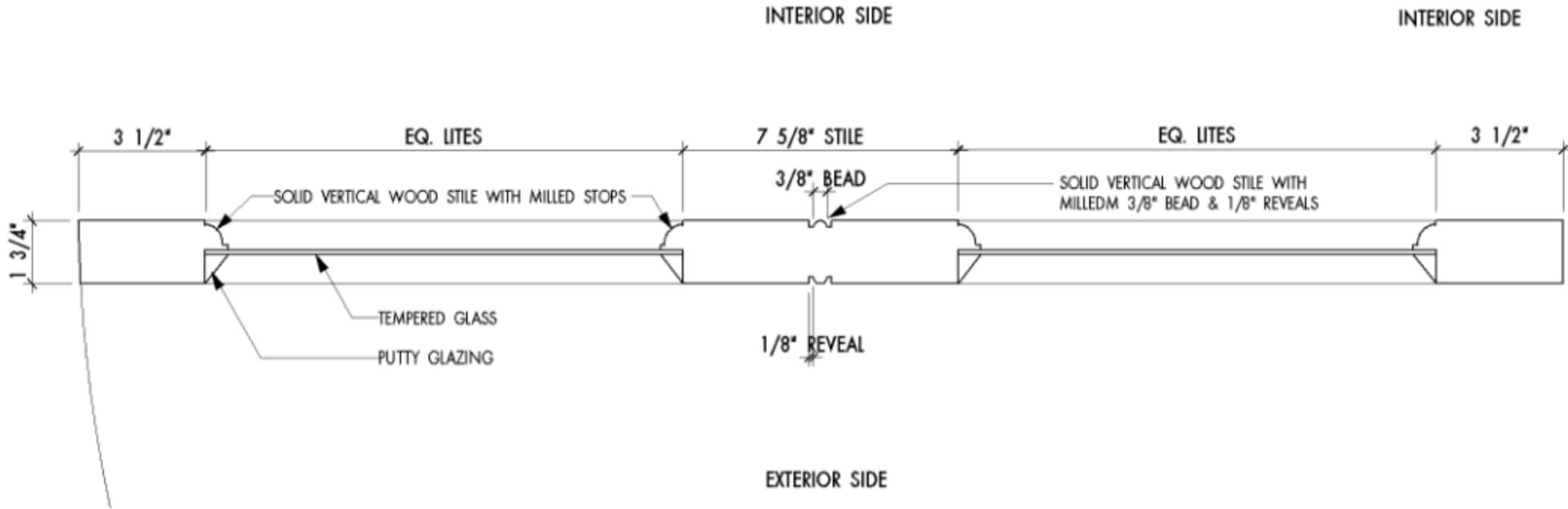
2 PLAN AT APARTMENT ENTRANCE DOORS 1/2" - 1'0"



1

ENLARGED PLAN AT SINGLE DOOR LEAF AT APARTMENT ENTRANCE DOORS 3" - 1'0"



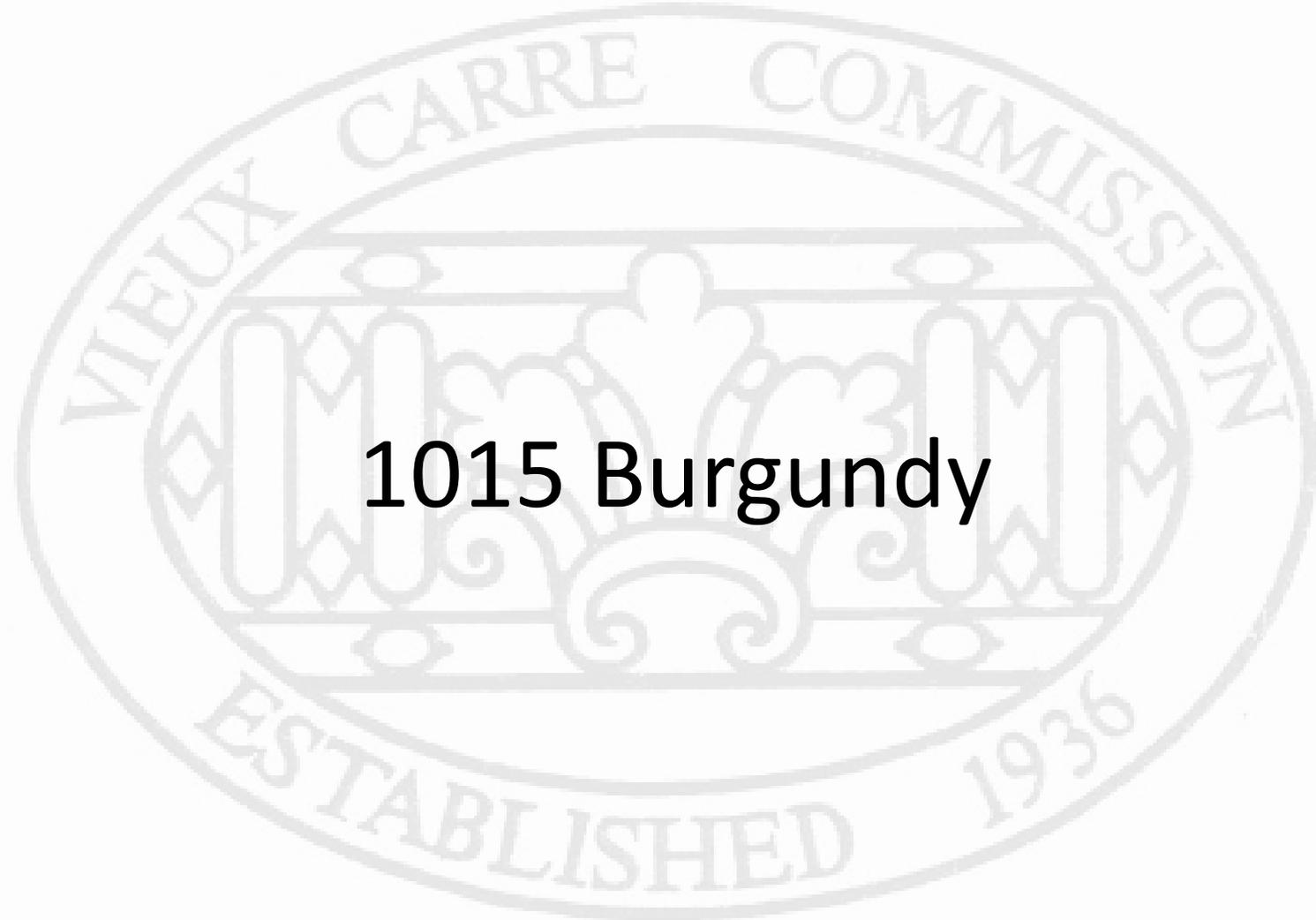


1

ENLARGED PLAN AT SINGLE DOOR LEAF AT APARTMENT ENTRANCE DOORS

3' - 1'0"





1015 Burgundy



1015 Burgundy

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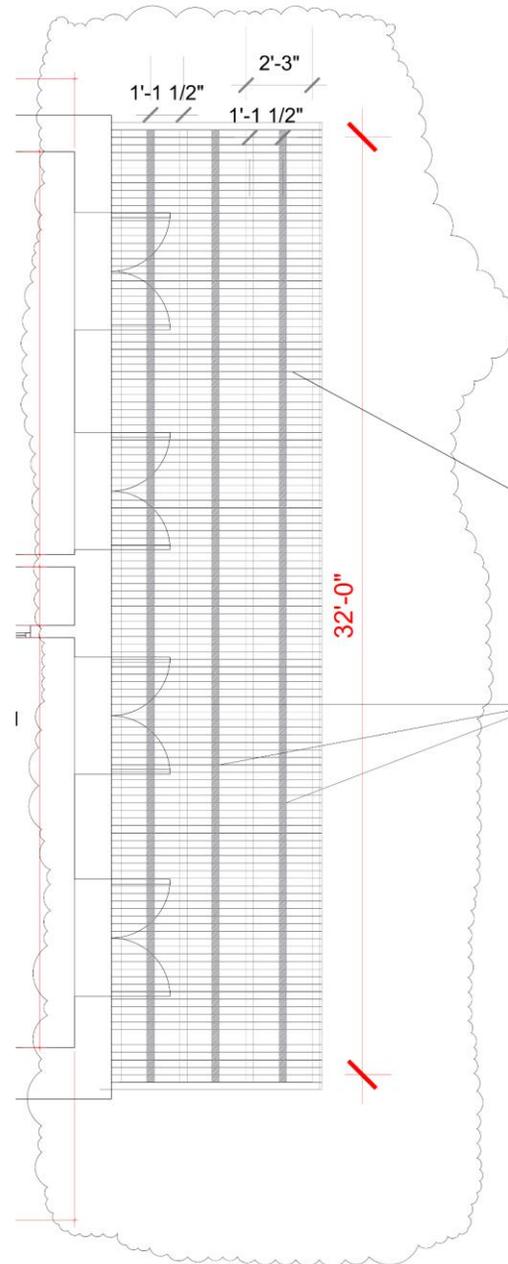


1015 Burgundy

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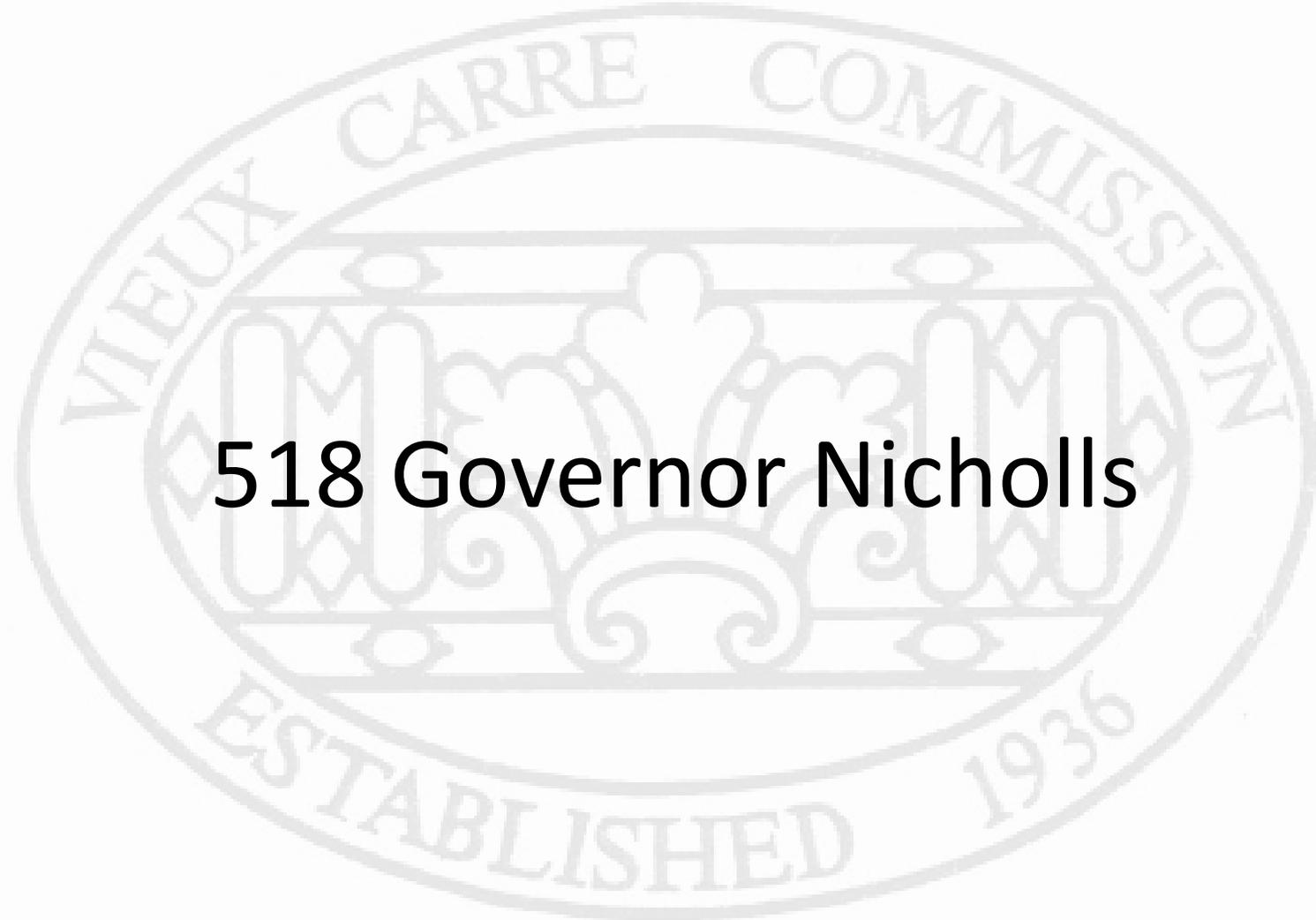
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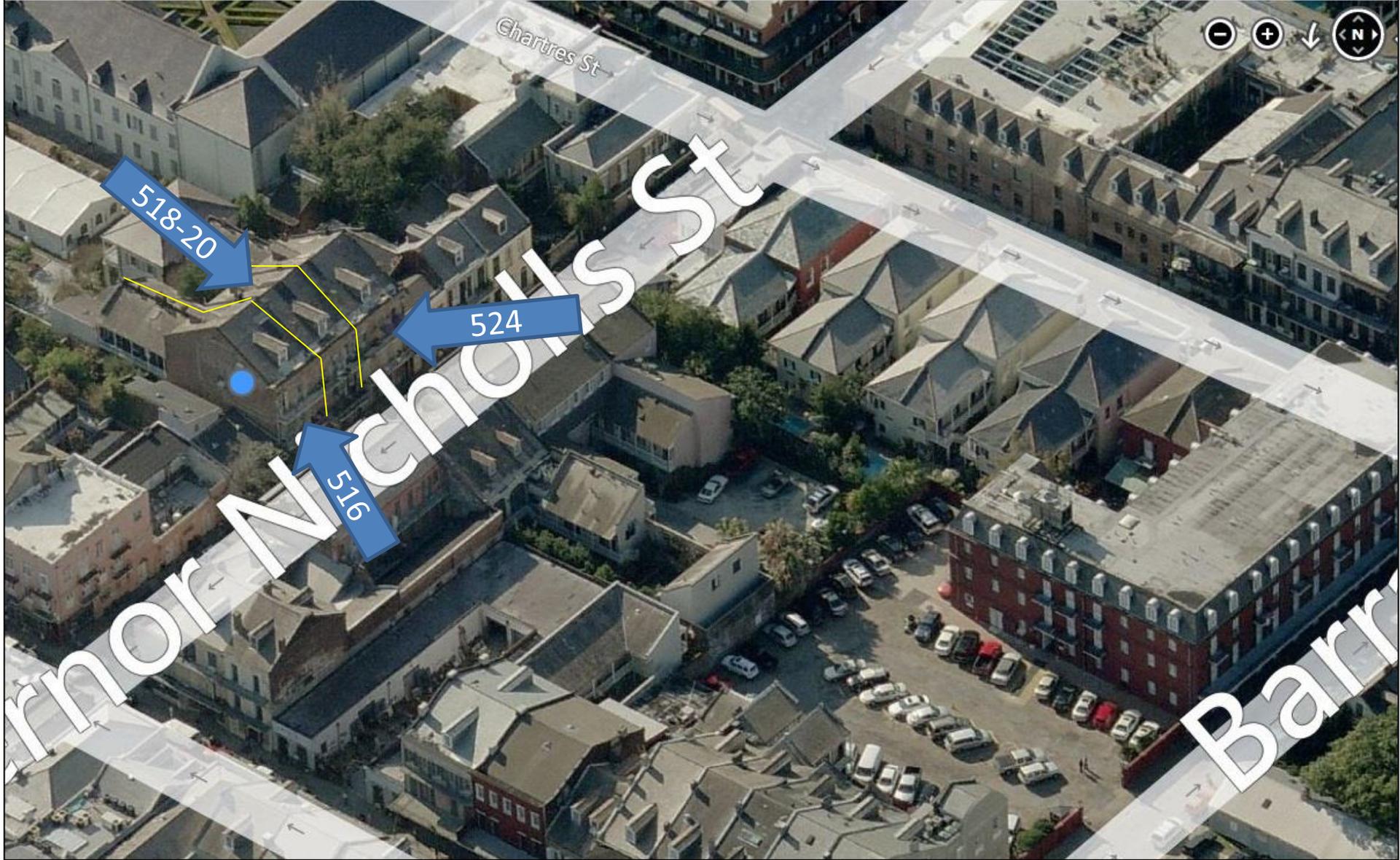


Balcony Area (Gallery) To remove existing non approved VCC flooring and replace with Aeratis Heritage tongue and groove porch plank. Paint to match existing white paint color below.
Repaint shutter to match existing matched green color.
Repaint existing windows with existing matched white color.

Add 3 new 3 x 4 beaded stringers to support Aeratis plank



518 Governor Nicholls



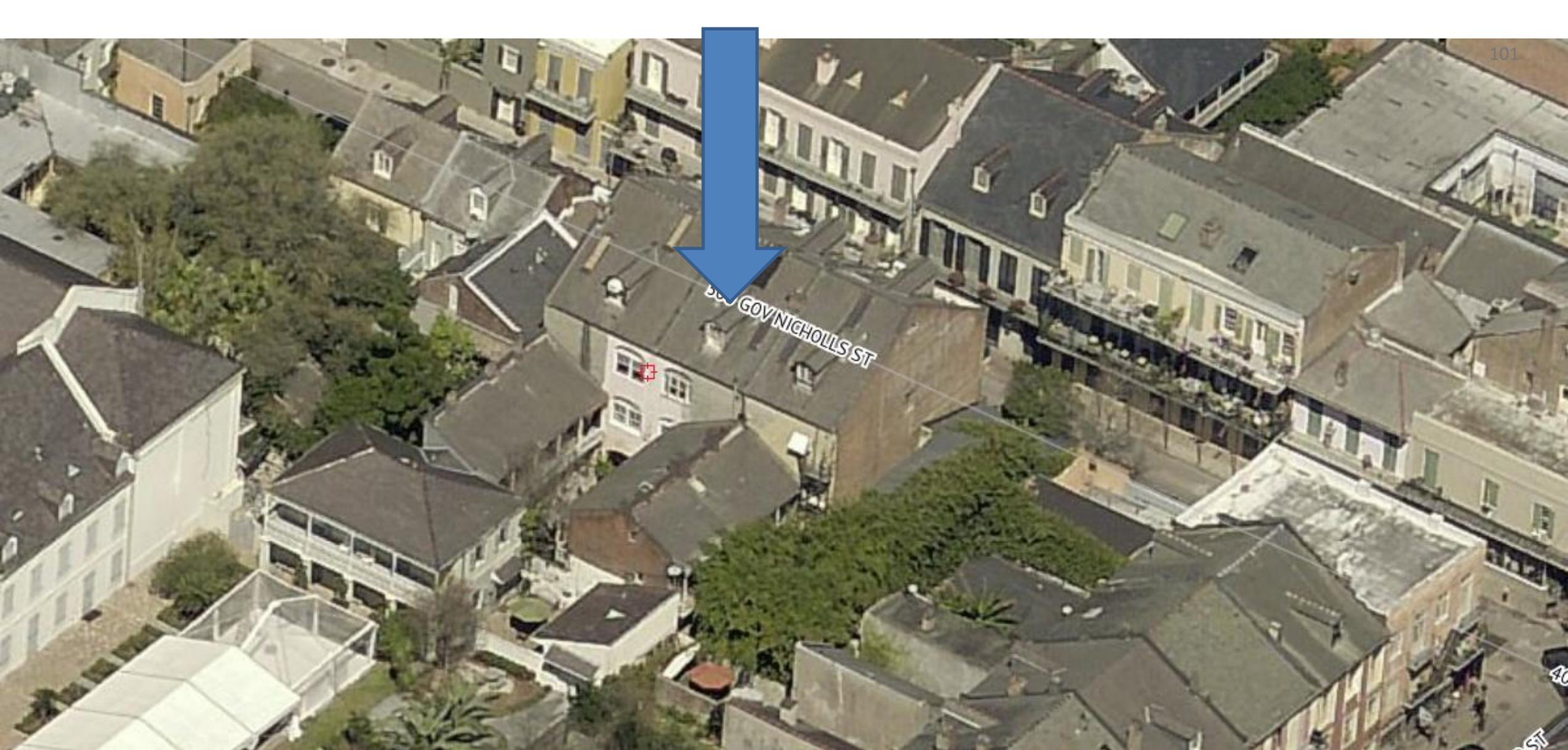
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516 & 518-20 & 524 Governor Nicholls

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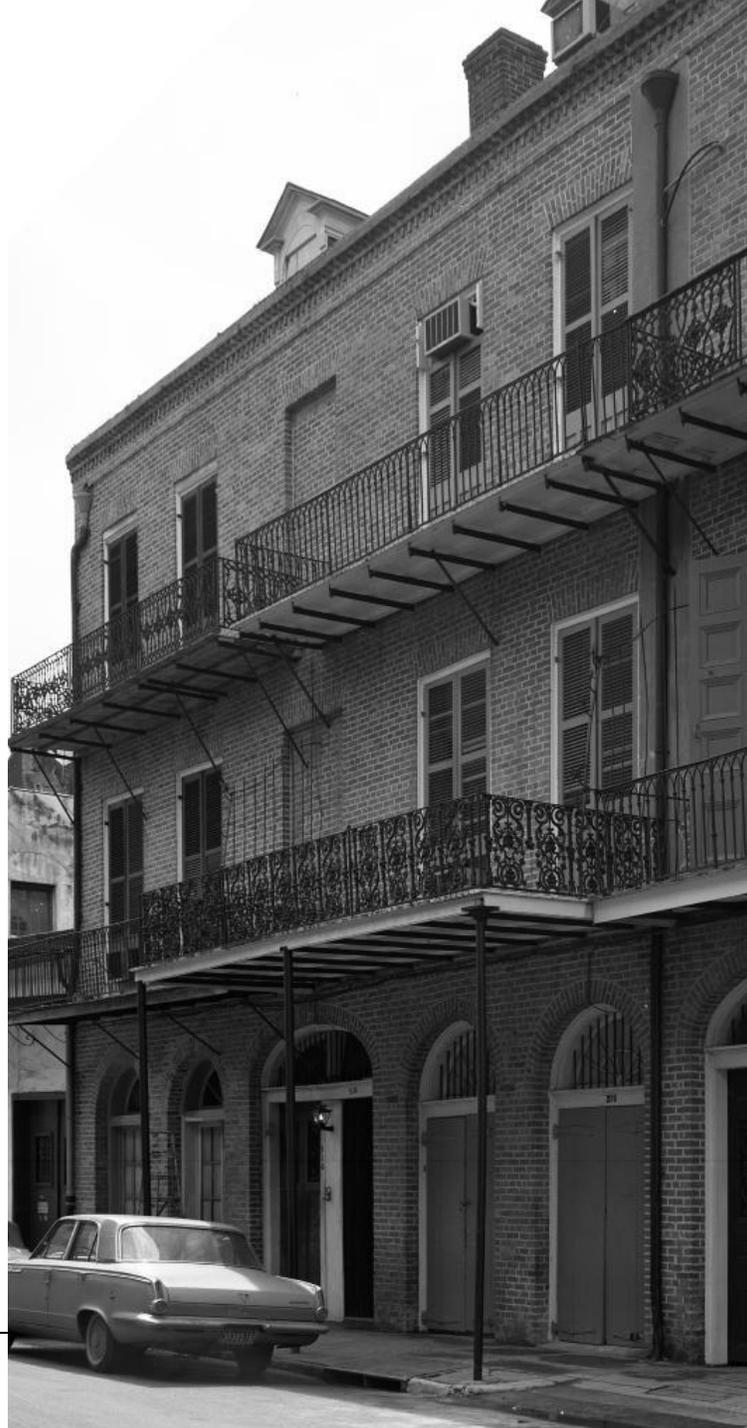


518 Governor Nicholls

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July 15, 2025





518 Governor Nicholls

VCC Architectural Committee

February 11, 2025





518-20 Governor Nicholls
VCC Architectural Committee

July 15, 2025





518 Governor Nicholls
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03 31 2023

February 11, 2025





518 Governor Nicholls

VCC Architectural Committee

February 11, 2025





518 Governor Nicholls

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03 31 2023

February 11, 2025





524 Gover
VCC Architect

03 31 2023





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03 31 2023

February 11, 2025





524 Governor Nicholls
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17

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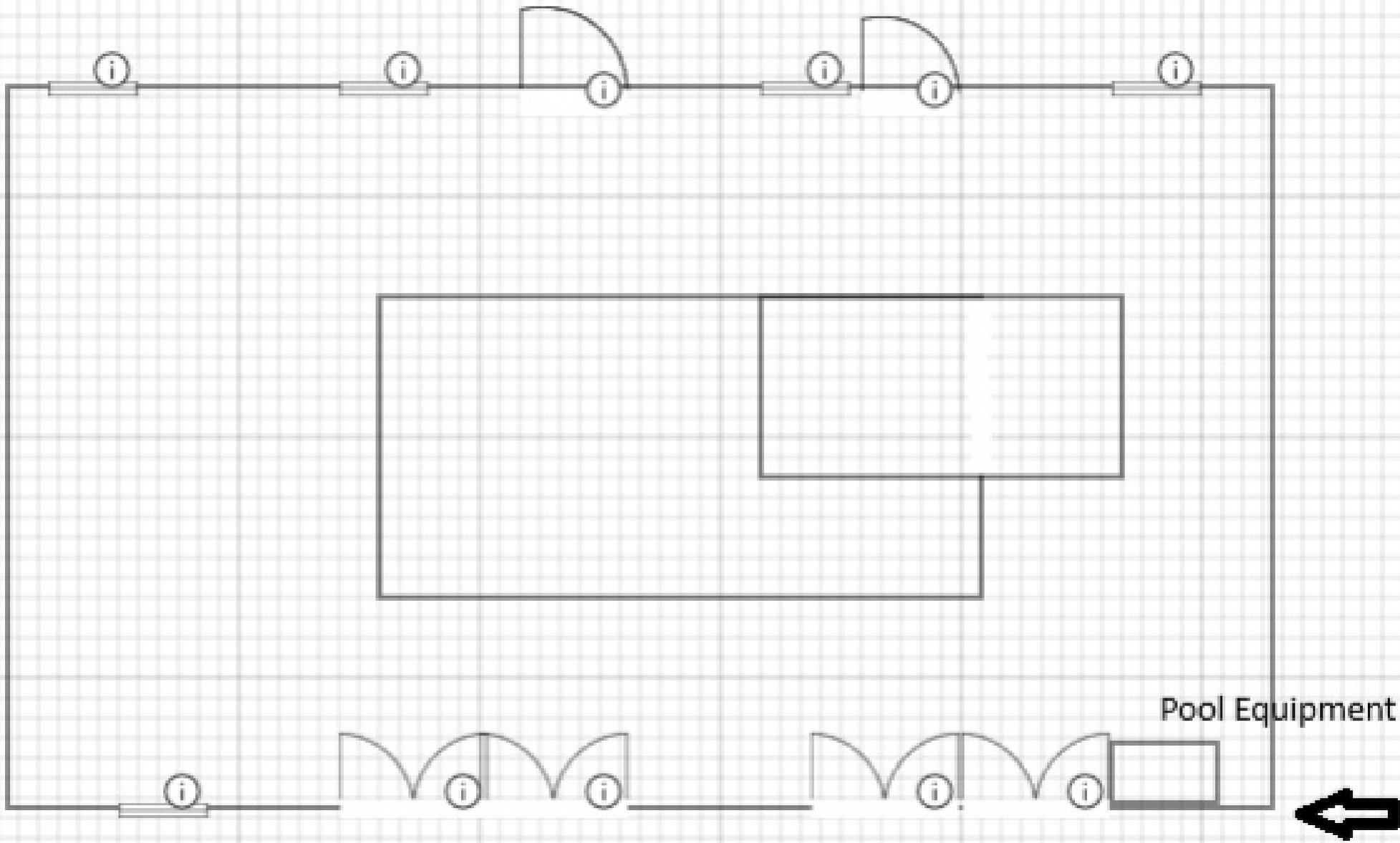


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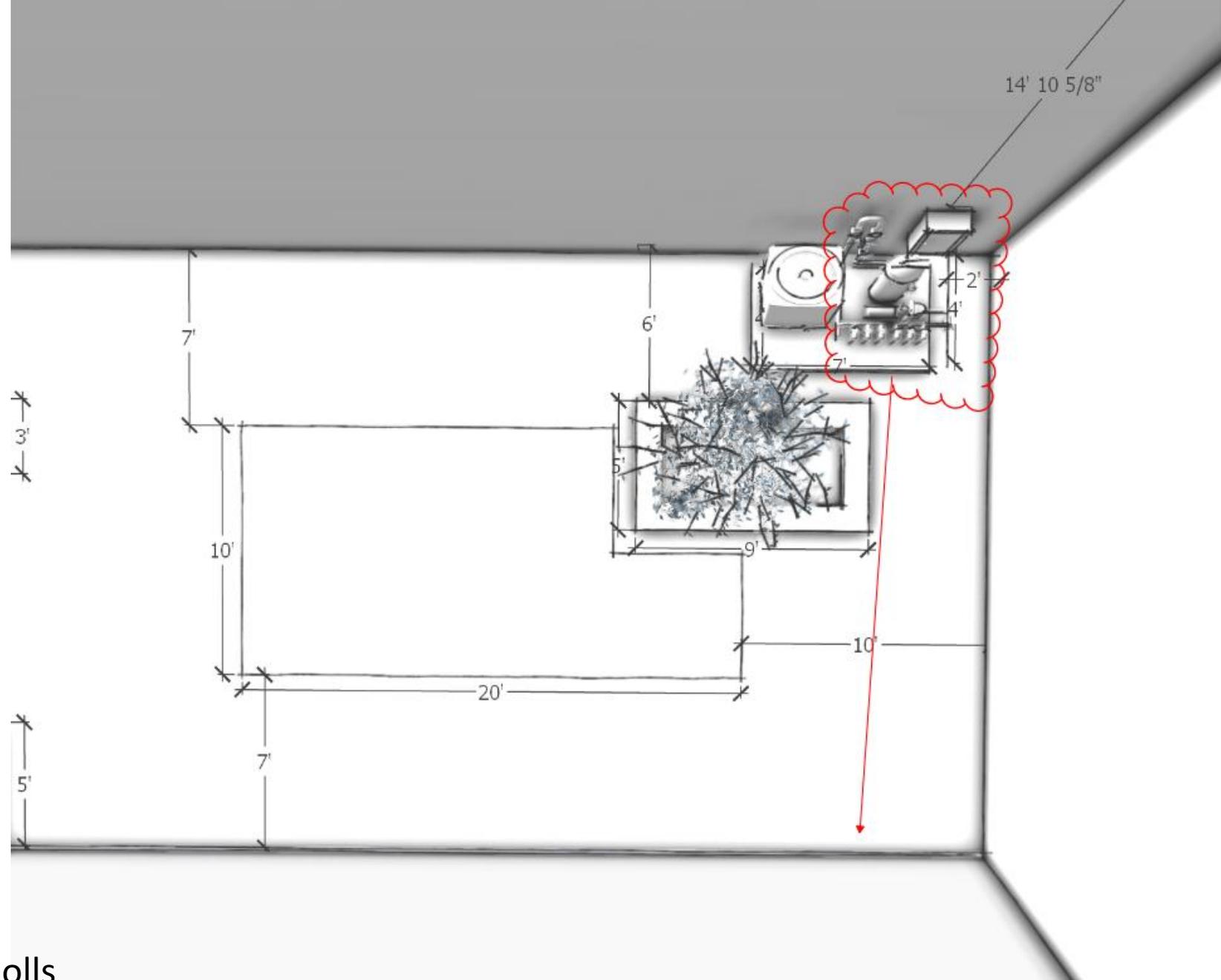


Pool Equipment



2' from wall







518 Governor Nicholls

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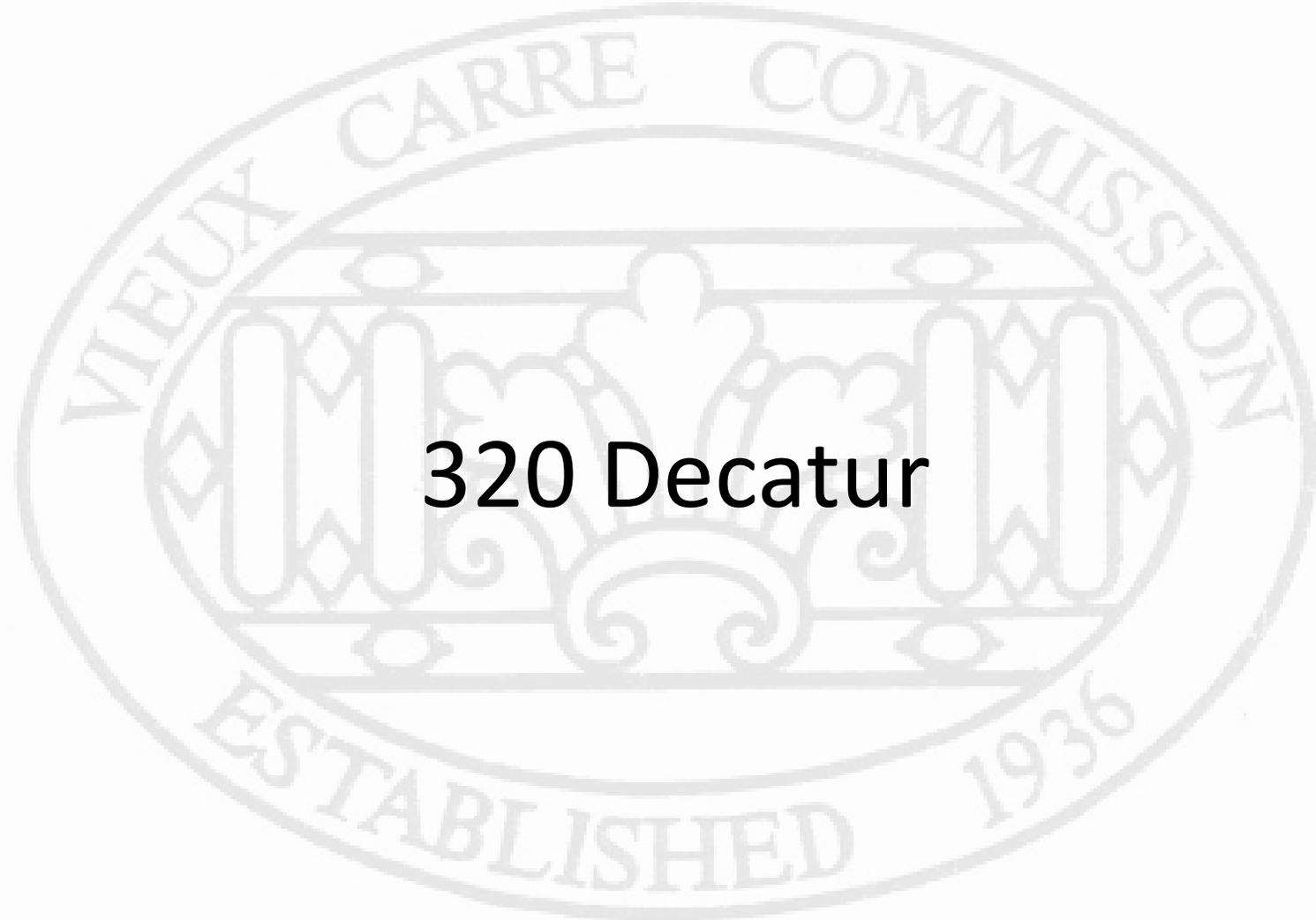
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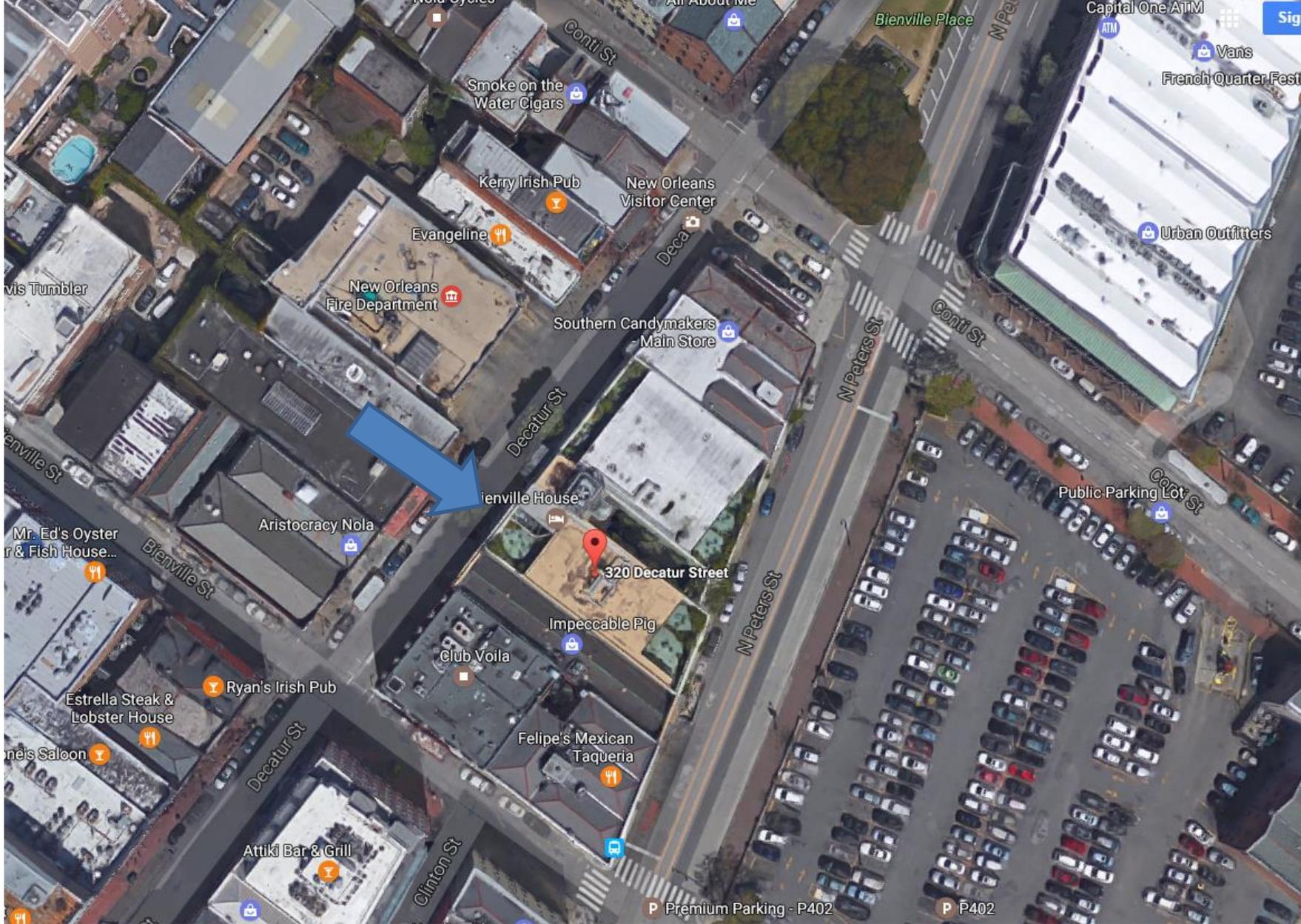


Description	Quantity
<p>1000 Small Pool</p> <p>Items included in 200 sq ft pool 3.5'-5' deep:</p> <p>Permit budget \$350</p> <p>General liability and worker comp</p> <p>Layout, excavation and forming.</p> <p>Steel reinforced gunite shell with #3 rebar tied 10" on center, and (4) #4 rebar tied into the bond beam.</p> <p>Required electrical bonding of pool and equipment.</p> <p>Electrical with time clock/breaker box</p> <p>12"x24" brick coping</p> <p>6"x 6" waterline tile budget \$6'</p> <p>2 LED pool Lights.</p> <p>1 Automatic surface skimmer.</p> <p>Filter run using schedule 40 PVC pipe from the main drain and the skimmers to the equipment pad.</p> <p>Hayward In-Line puck feeder Chlorination System.</p> <p>Hayward cartridge filter</p> <p>Hayward 1.85 hp variable speed pump</p> <p>Robotic pool cleaner</p> <p>(4) standard return lines .</p> <p>Dual Main drains</p> <p>White plaster</p> <p>Clean-up of pool construction debris.</p> <p>Start up instructions on operation of pool.</p>	



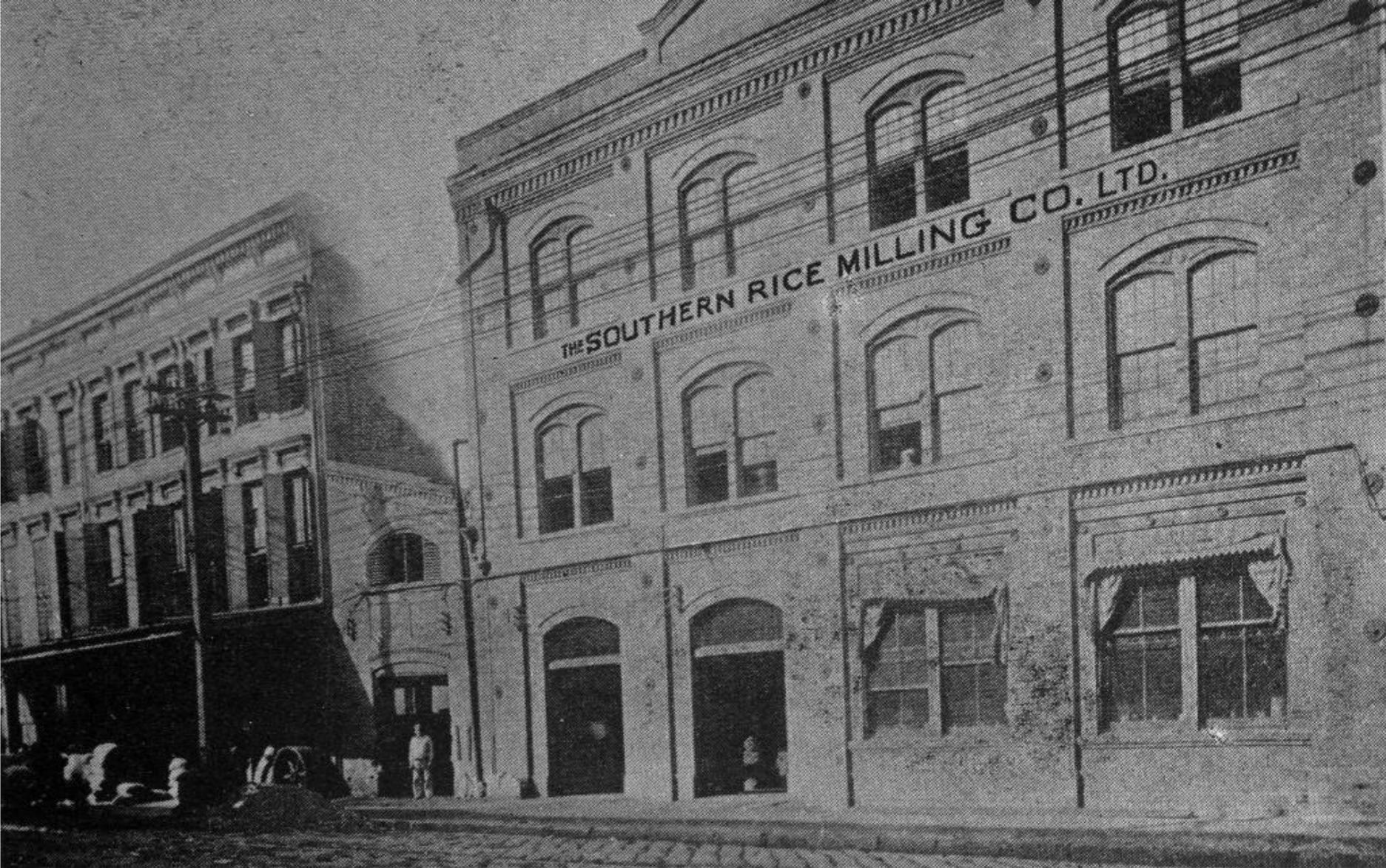


320 Decatur



320 Decatur





320 Decatur





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July 15, 2025





320 Decatur

VCC Architectural Committee

July 15, 2025





320 Decatur

VCC Architectural Committee

July 15, 2025





320 Decatur

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July 15, 2025





320 Decatur





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320 Decatur

VCC Architectural Committee

July 15, 2025





320 Decatur

VCC Architectural Committee

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July 15, 2025





320 Decatur

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July 15, 2025





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VCC Architectural Committee

July 15, 2025





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July 15, 2025



06/02/2025

DRAWING REVISION				PHASE Gallery Gallery Repairs at Main Entrance	PROJECT: 320 Decatur Bienville Hotel Gallery Repairs at Main Entrance	project #: 2519
REV	DATE	NOTE				
1.0	5/28/2025	IFA				

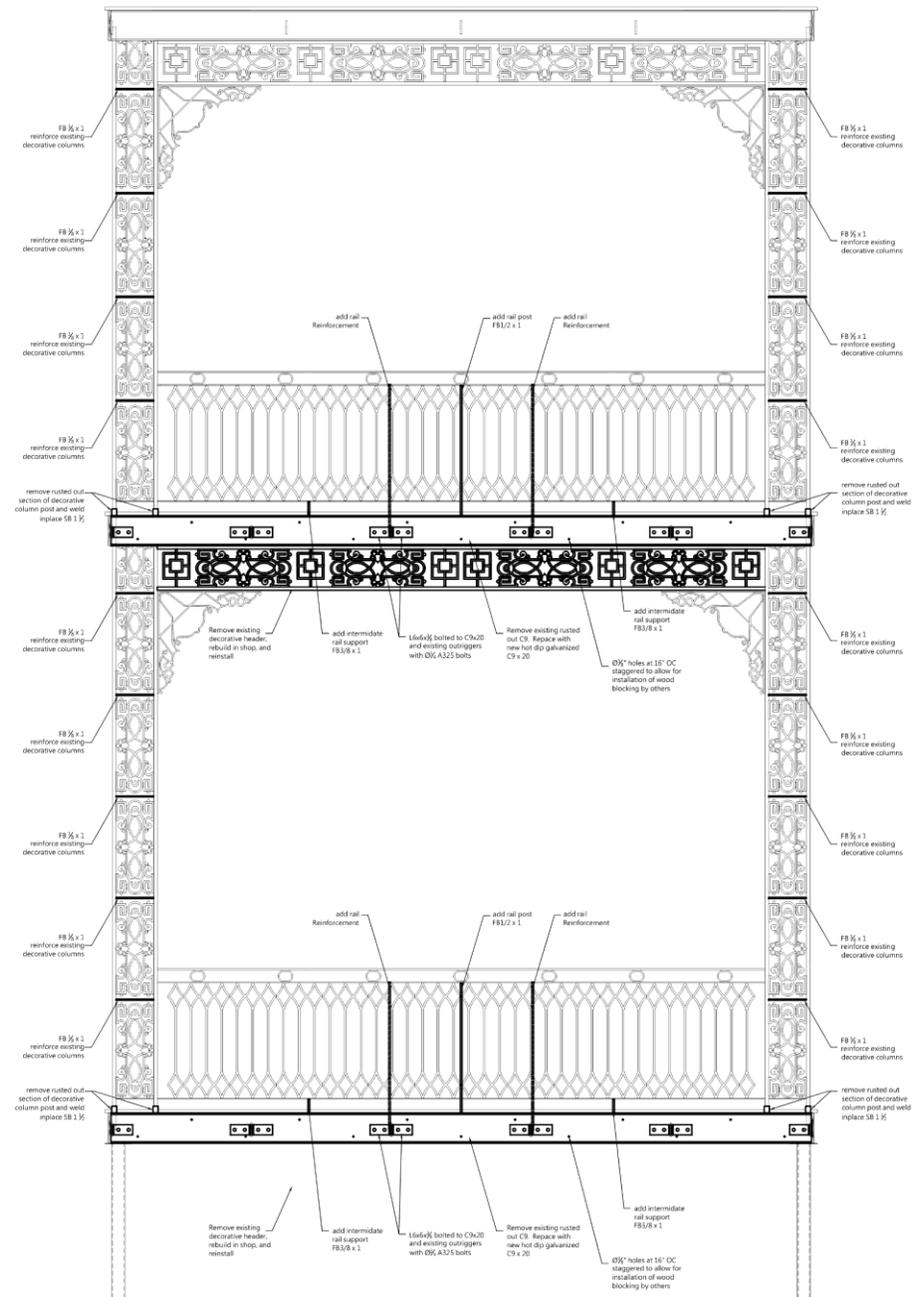
CLIENT: Leo A. Duvernay		4268 Poche Ct West New Orleans, LA 70129 Office: 504-949-7553

320 Decatur

VCC Architectural Committee

July 15, 2025





rail reinforcement out of 1/2" Square Bar

RAIL REINFORCEMENT DETAIL

L6x6x3/8 (NS & FS) bolted to C9x20 and existing outriggers with Ø3/4 A325 bolts

Remove existing rusted out C9. Replace with new hot dip galvanized C9 x 20

NEW CHANNEL DETAIL

06/02/2025

STATE OF LOUISIANA
PATRICK H. ARBY
Licenses No. 45765
PROFESSIONAL ENGINEER

#	DRAWING REVISION			PHASE:	PROJECT:	project #:	CLIENT:
	REV	DATE	NOTE				
E1	1.0	5/28/2025	IFA	Gallery Repairs at Main Entrance	320 Decatur Bienville Hotel Gallery Repairs at Main Entrance	2519	4268 Poche Ct West New Orleans, LA 70129

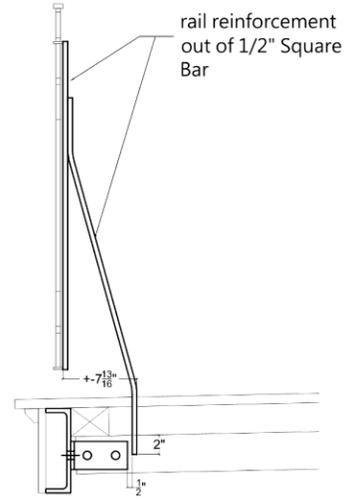
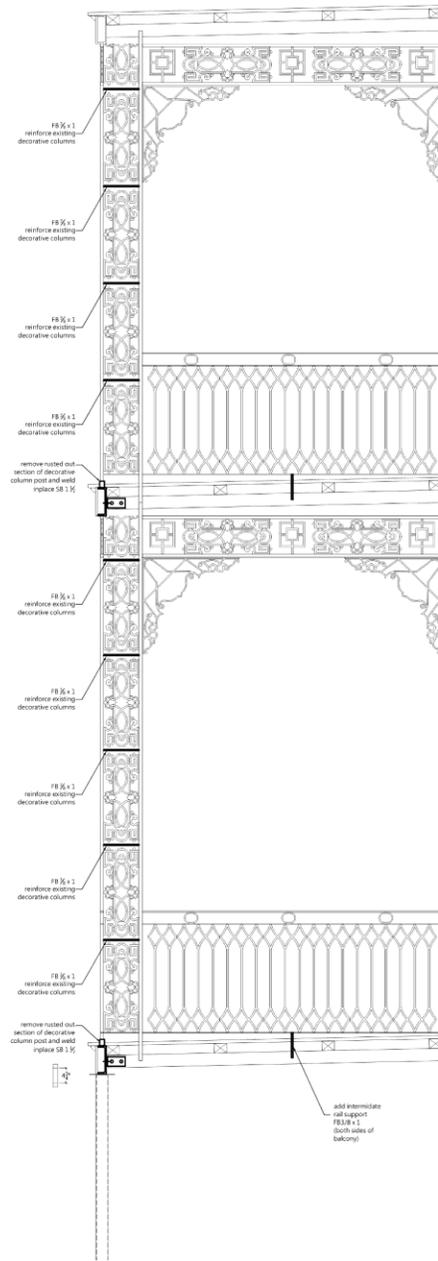
Office: 504-949-7553

320 Decatur

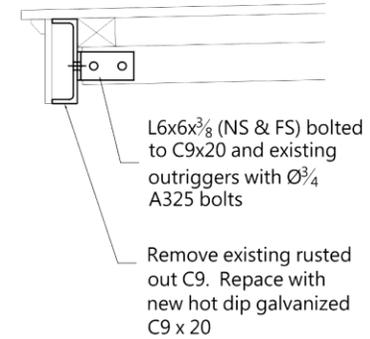
VCC Architectural Committee

July 15, 2025





RAIL REINFORCEMENT
DETAIL



NEW CHANNEL
DETAIL





1218 Burgundy
(applicant requests deferral)

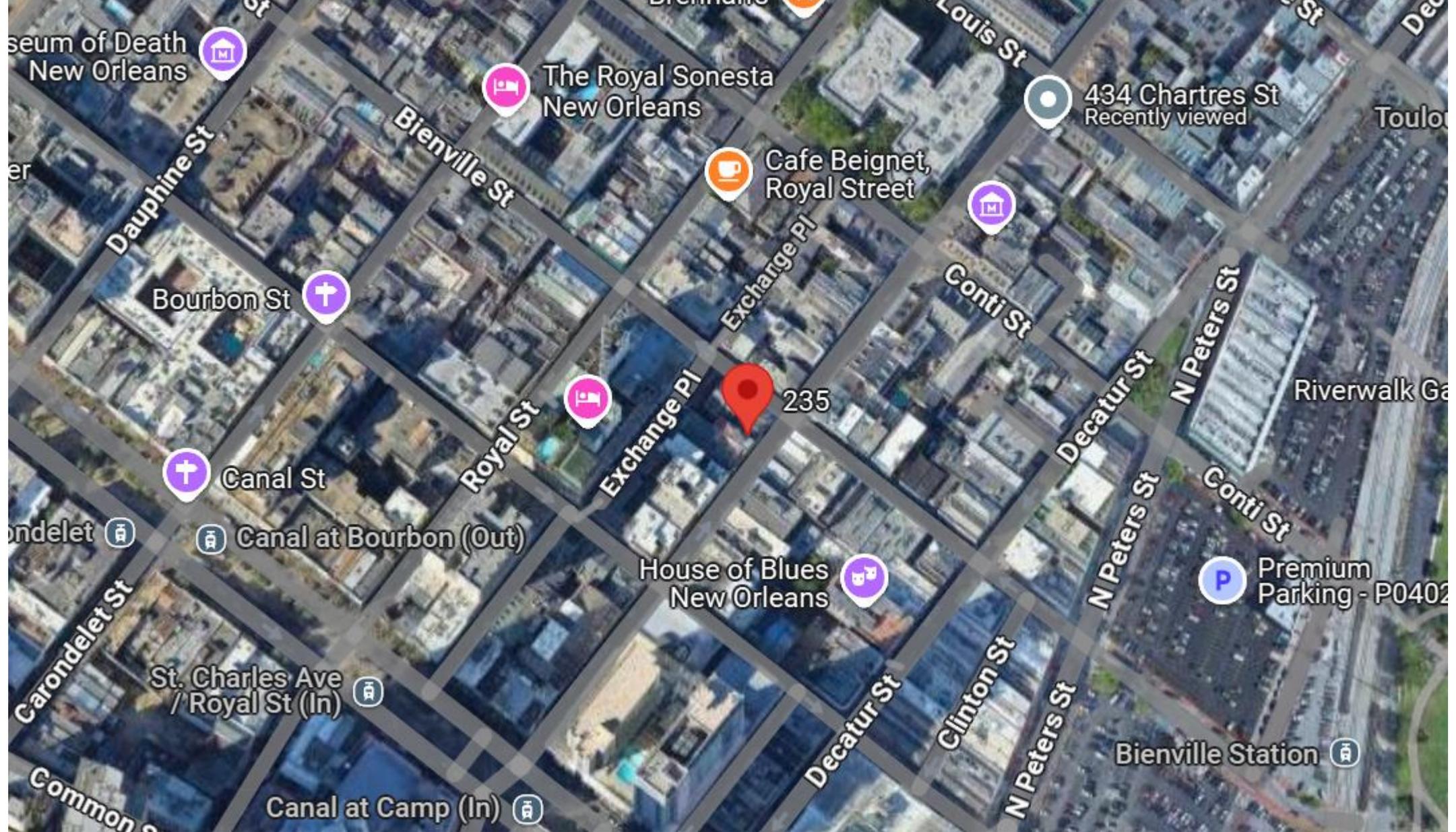


235 Chartres



235 Chartres





235 Chartres





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July 15, 2025





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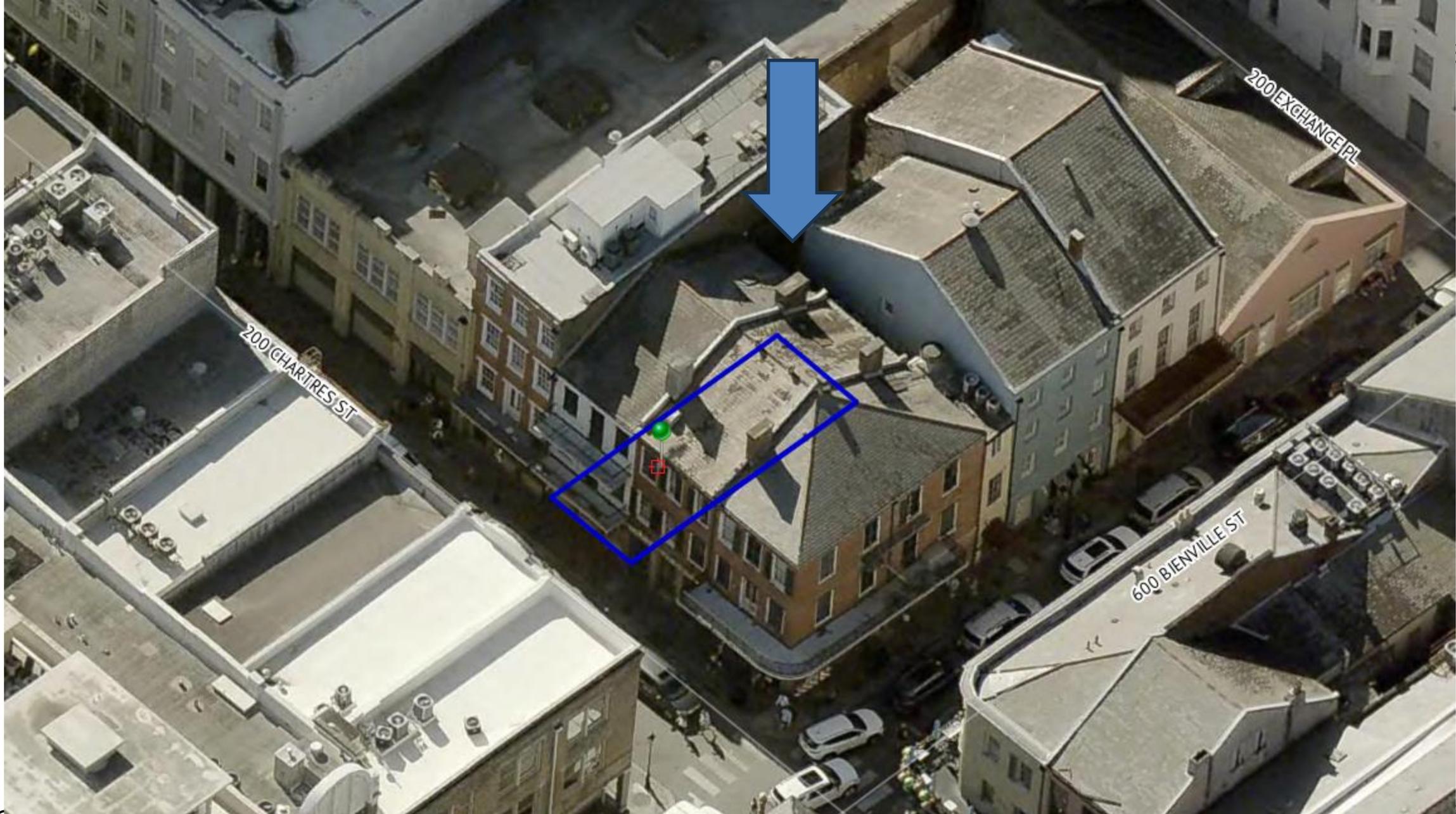


235 Chartres

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July 15, 2025





235 Chartres

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July 15, 2025



EQUIPMENT SCHEDULE

ITEM NO.	DESCRIPTION	QTY.	SIZE	MODEL NUMBER
1	30" SINK	1	30" X 18" X 16"	301816
2	12" SINK	1	12" X 18" X 16"	121816
3	12" SINK	1	12" X 18" X 16"	121816
4	12" SINK	1	12" X 18" X 16"	121816
5	12" SINK	1	12" X 18" X 16"	121816
6	12" SINK	1	12" X 18" X 16"	121816
7	12" SINK	1	12" X 18" X 16"	121816
8	12" SINK	1	12" X 18" X 16"	121816
9	12" SINK	1	12" X 18" X 16"	121816
10	12" SINK	1	12" X 18" X 16"	121816
11	12" SINK	1	12" X 18" X 16"	121816
12	12" SINK	1	12" X 18" X 16"	121816
13	12" SINK	1	12" X 18" X 16"	121816
14	12" SINK	1	12" X 18" X 16"	121816
15	12" SINK	1	12" X 18" X 16"	121816
16	12" SINK	1	12" X 18" X 16"	121816
17	12" SINK	1	12" X 18" X 16"	121816
18	12" SINK	1	12" X 18" X 16"	121816
19	12" SINK	1	12" X 18" X 16"	121816
20	12" SINK	1	12" X 18" X 16"	121816
21	12" SINK	1	12" X 18" X 16"	121816
22	12" SINK	1	12" X 18" X 16"	121816
23	12" SINK	1	12" X 18" X 16"	121816
24	12" SINK	1	12" X 18" X 16"	121816
25	12" SINK	1	12" X 18" X 16"	121816
26	12" SINK	1	12" X 18" X 16"	121816
27	12" SINK	1	12" X 18" X 16"	121816

EQUIPMENT NOTES

- COMMERCIAL EQUIPMENT SHALL BE INSTALLED PER IBC SECTION 504.11 AND NFPA 96.
- WALK-IN COOLERS SHALL BE INSTALLED PER IBC SECTION 2603.4.1.3.
- ALL COOKING EQUIPMENT SHALL HAVE CHASTERS.
- PROVIDE A 2" AIR GAP AT 3-COMPARTMENT SINK. SEE MACHINE AND PREP SINKS.

HOLDING BAR NOTES

HOLDING BAR REQUIREMENTS: PER THE NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE 38.3.2.C. FOOTNOTE 12: A HOLDING BAR CAN NOT EXCEED 15% OF THE FLOOR AREA OF THE PUBLIC SEATING AREA OF THE RESTAURANT.

FIRST FLOOR = 380 S.F. X 15% = 56.5 S.F. HOLDING BAR = 56 S.F.
 SECOND FLOOR = 464 S.F. X 15% = 69.6 S.F. HOLDING BAR = 53 S.F.

WALL INDEX

- EXISTING SOLID MASONRY WALL
- NON-RATED PARTITION (SEE PARTITION TAG)
- 2-HR FIRE RATED WALL

1 Proposed First Floor Plan
scale: 3/8" = 1'-0"

2 Proposed Second Floor Plan
scale: 3/8" = 1'-0"

3 Proposed Third Floor Plan
scale: 3/8" = 1'-0"

terrell-fabacher architects, l.l.c.

1700 Metairie Avenue
New Orleans, Louisiana 70113
504.586.1300

THESE PARTS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION. THEY COMPLY WITH ALL CITY ORDINANCES AND I AM AWARE OF ALL KNOWLEDGE AND LOCAL PRACTICES AND CODES. THE PROJECT WILL BE REVIEWED AND APPROVED BY THE CITY ENGINEER.

NEW RESTAURANT
235 CHARTRES STREET
NEW ORLEANS, LOUISIANA

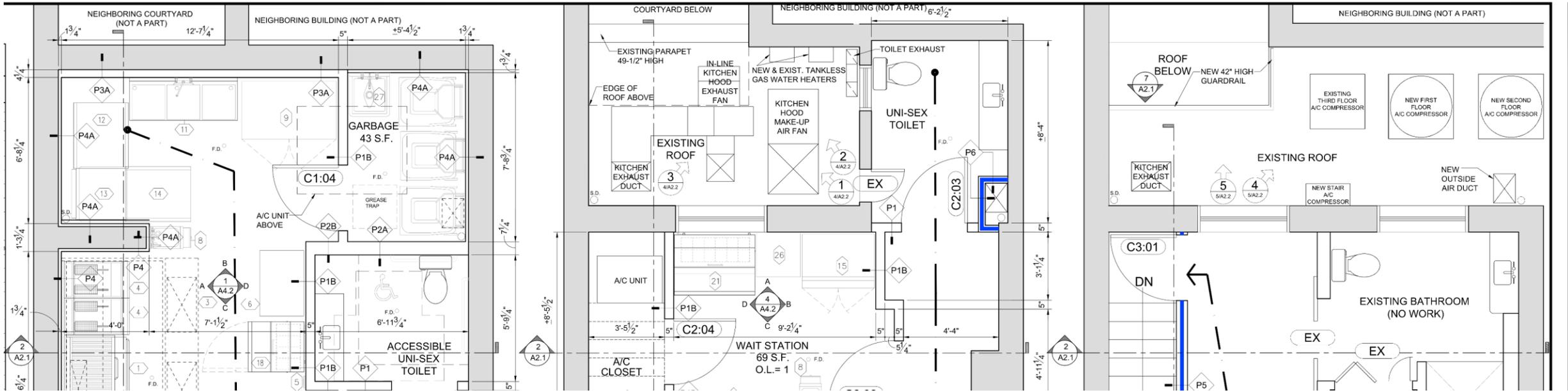
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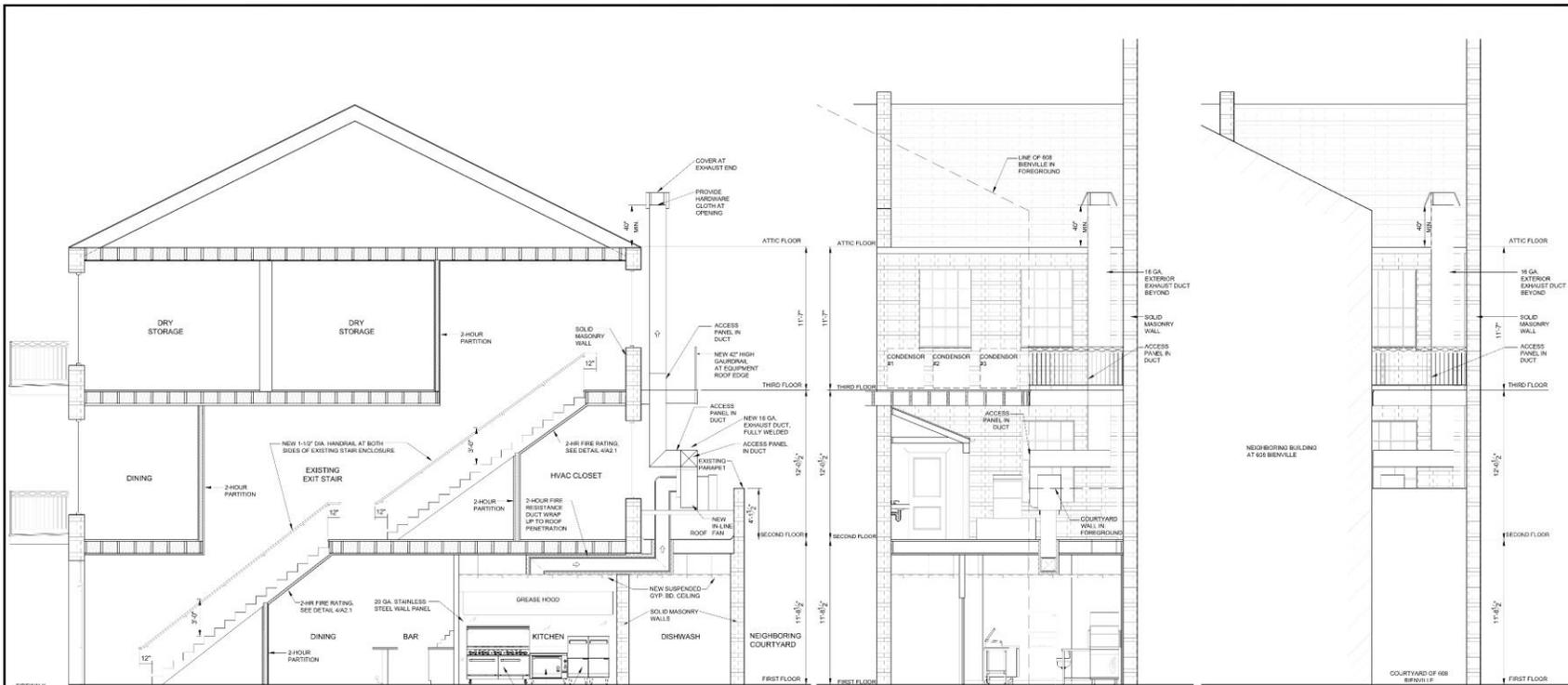
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 DRAWN BY: _____
 DATE: 06/30/2025
 JOB NO. _____

A1.1

SHEET OF







1 SECTION A
A2.2 scale: 1/4" = 1'-0"

2 EXCHANGE PLACE ELEVATION
A2.2 scale: 1/4" = 1'-0"

3 EXCHANGE PLACE ELEVATION
A2.2 scale: 1/4" = 1'-0"

KITCHEN HOOD/EXHAUST NOTES:

1. PROVIDE PROTECTION ON WALL FROM BOTTOM OF THE HOOD TO THE FLOOR, IN THE SAME MANNER AS REQUIRED FOR HOOD AND DUCT PROTECTION FOR ALL WALL MOUNTED EXHAUST HOODS.
2. PROVIDE CONTINUOUS DUCT ENCLOSURE IN ALL BUILDINGS WHERE VERTICAL FIRE BARRIERS, FIRE RATED FLOOR/CEILING ASSEMBLIES ARE PENETRATED BY EXHAUST DUCTS. THE DUCTS SHALL BE ENCLOSED IN A CONTINUOUS FIRE RESISTANT ENCLOSURE EXTENDING FROM THE FIRST PENETRATED FIRE BARRIER AND ANY SUBSEQUENT FIRE BARRIERS OR CONCEALED SPACES TO THE EXTERIOR, MAINTAINING THE RATING OF THE HIGHEST FIRE BARRIER.
3. PROVIDE WALL PROTECTION FOR EXHAUST DUCTS EXITING A BUILDING THROUGH COMBUSTIBLE OR LIMITED COMBUSTIBLE WALLS TO TERMINATE ABOVE THE ROOF LINE.
4. PROVIDE A DISCONNECTING MEANS FOR ALL ROOFTOP FAN MOTORS.
5. COURTYARD WALLS REQUIRING PROTECTION SHALL NOT BE MOVED, MODIFIED, OR REARRANGED WITHOUT THE PREVIOUS EVALUATION OF THE FIRE EXTINGUISHING SYSTEM BY THE SYSTEM INSTALLER OR SERVICE AGENT.
6. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ALL KITCHEN COOKING AREAS. MAY USE COMBUSTIBLE COOKING MEDIA (VEGETABLE OIL, ANIMAL OILS AND FATS) TO BE LISTED AND LABELED FOR "CLASS K" FIRES.
7. CLEANING SCHEDULES TO PREVENT THOROUGH CLEANING SHALL BE PROVIDED AT 12" INTERVALS FOR ALL HORIZONTAL GREASE EXHAUST DUCTS.
8. ADEQUATE ACCESS FOR CLEANING SHALL BE PROVIDED ON EACH FLOOR FOR ALL VERTICAL GREASE EXHAUST DUCTS. ACCESS PANELS TO MATCH THE FIRE RESISTANT RATING OF THE DUCT ENCLOSURE.



4 EXISTING SECOND FLOOR ROOF
A2.2 scale: 1/4" = 1'-0"



5 EXISTING THIRD FLOOR ROOF
A2.2 scale: 1/4" = 1'-0"



terrell-fabacher architects, l.l.c.
1700 Josephine Street
New Orleans, Louisiana 70113
504.566.1320

These plans and specifications have been prepared by our company under our close supervision. They comply with all city requirements to the best of my knowledge and belief. The project (with) (will not) be visited periodically to review.

NEW RESTAURANT
235 CHARTRES STREET
NEW ORLEANS, LOUISIANA

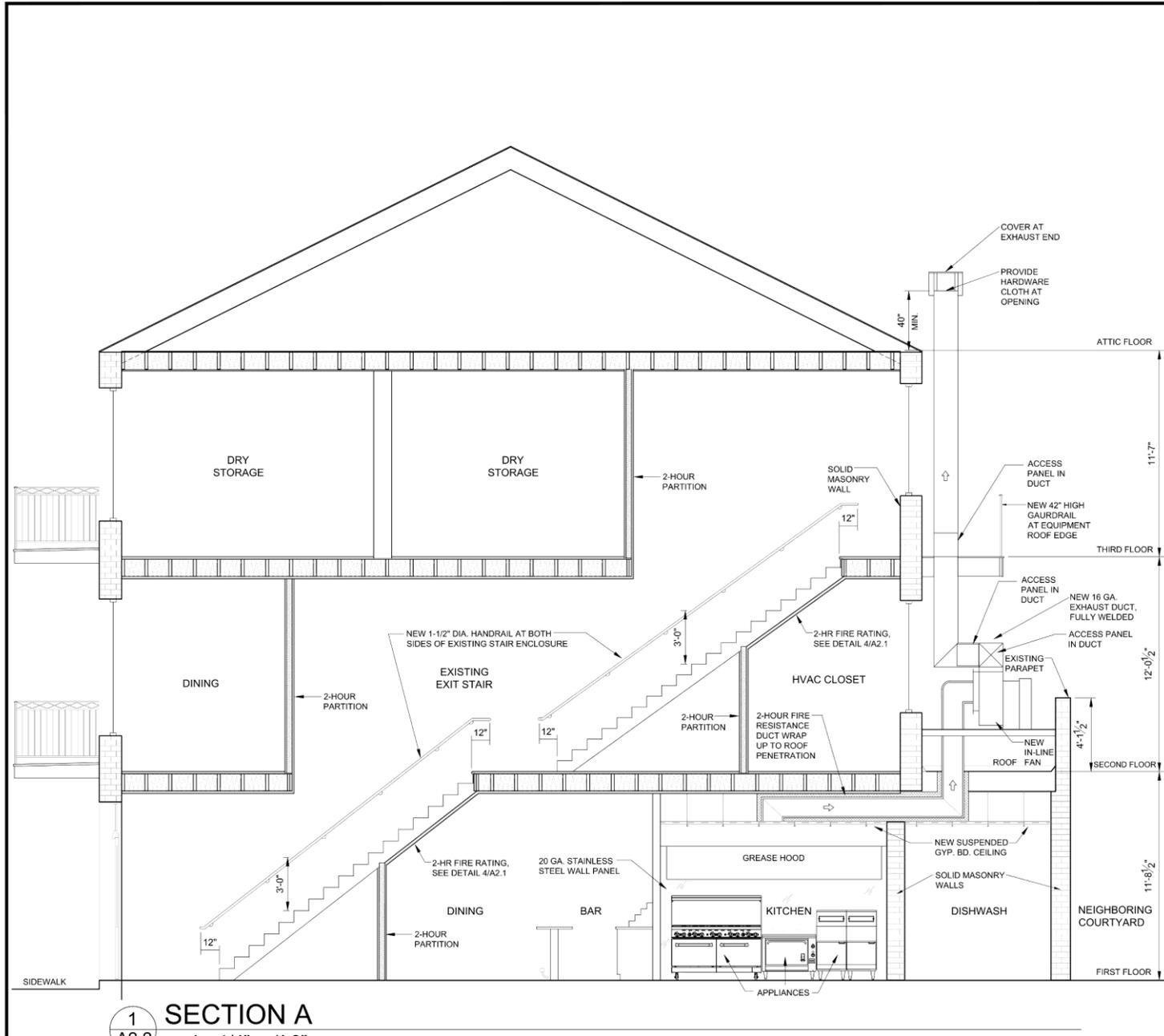


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JOB NO.: _____

A2.2
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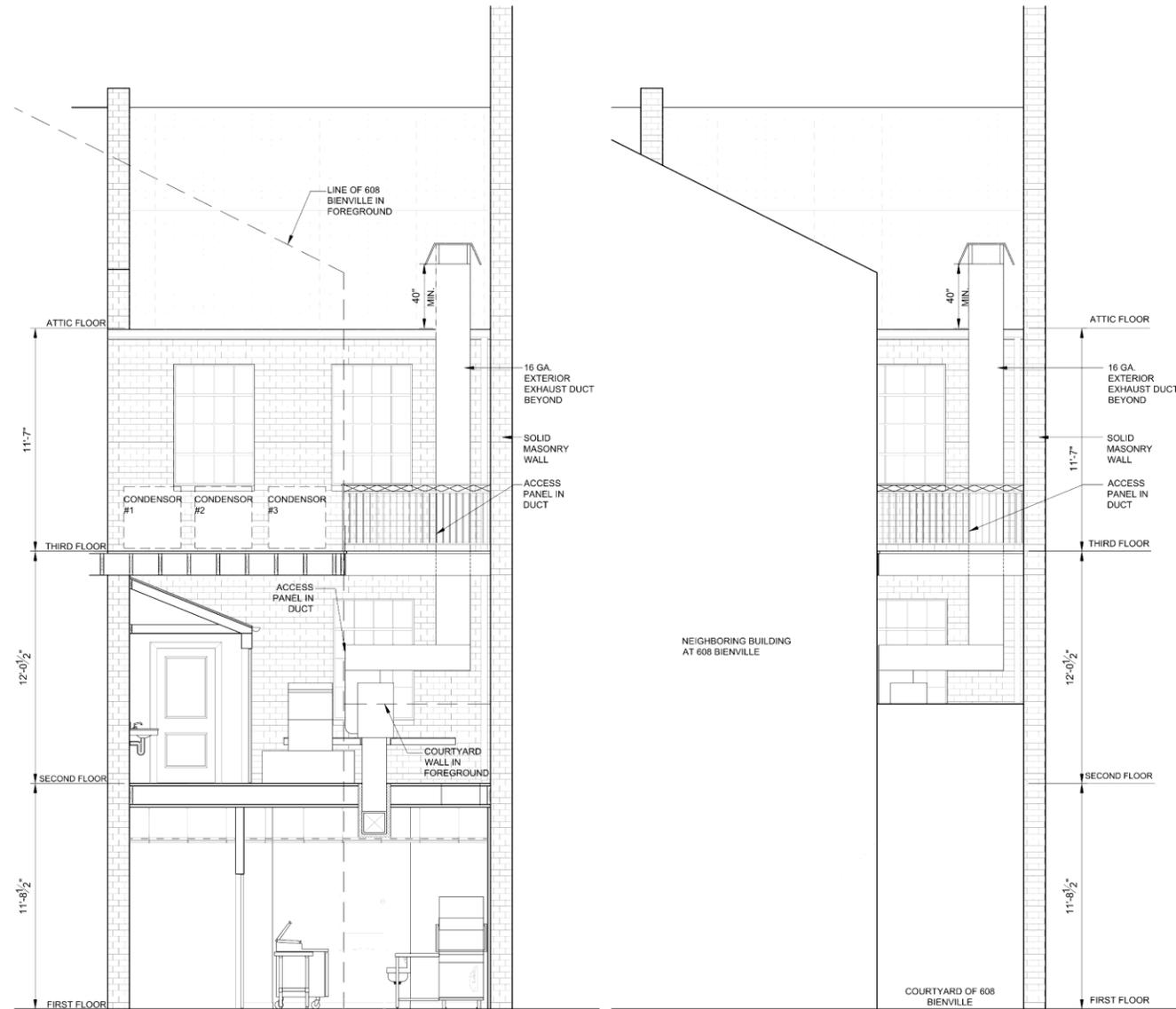
1 SECTION A

235 Chartres

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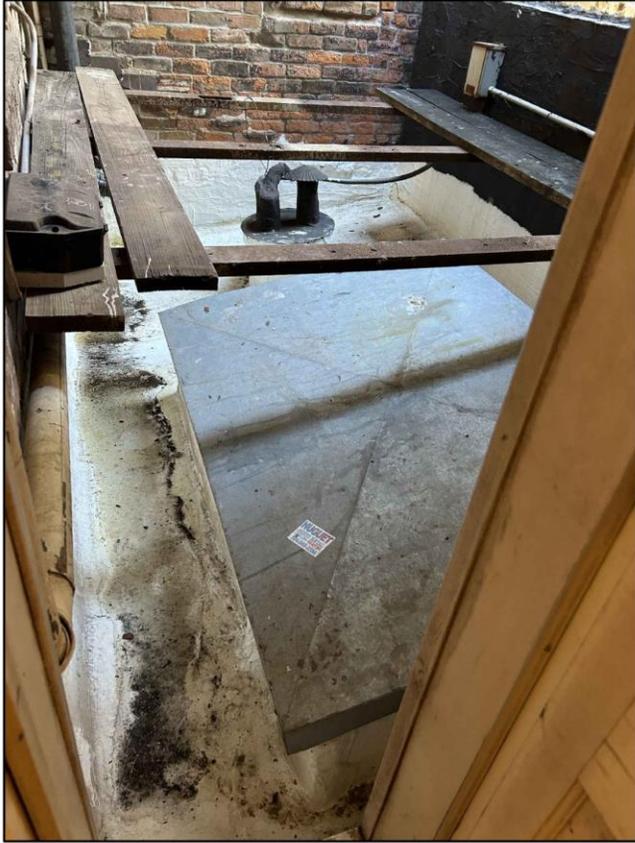




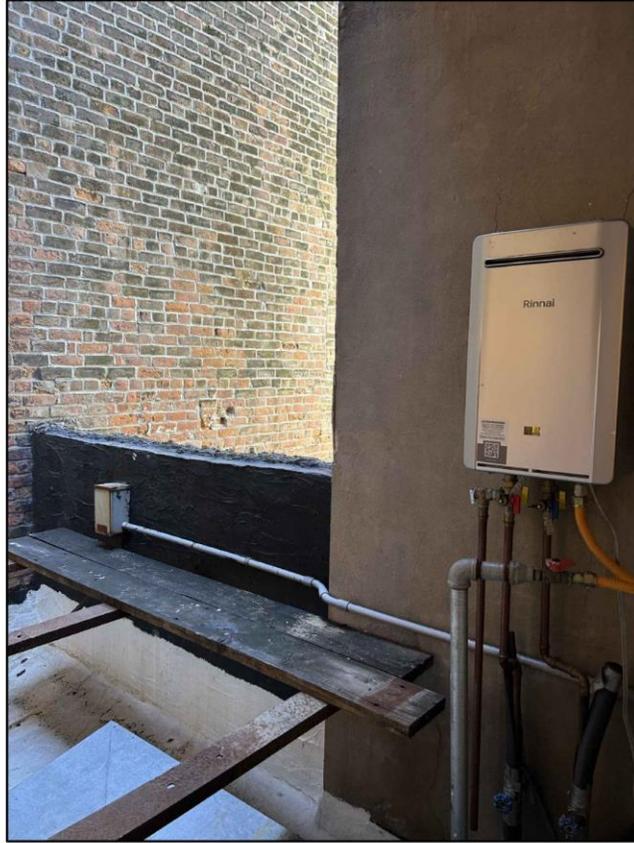
2 EXCHANGE PLACE ELEVATION
 A2.2 scale: 1/4" = 1'-0"

3 EXCHANGE PLACE ELEVATION
 A2.2 scale: 1/4" = 1'-0"

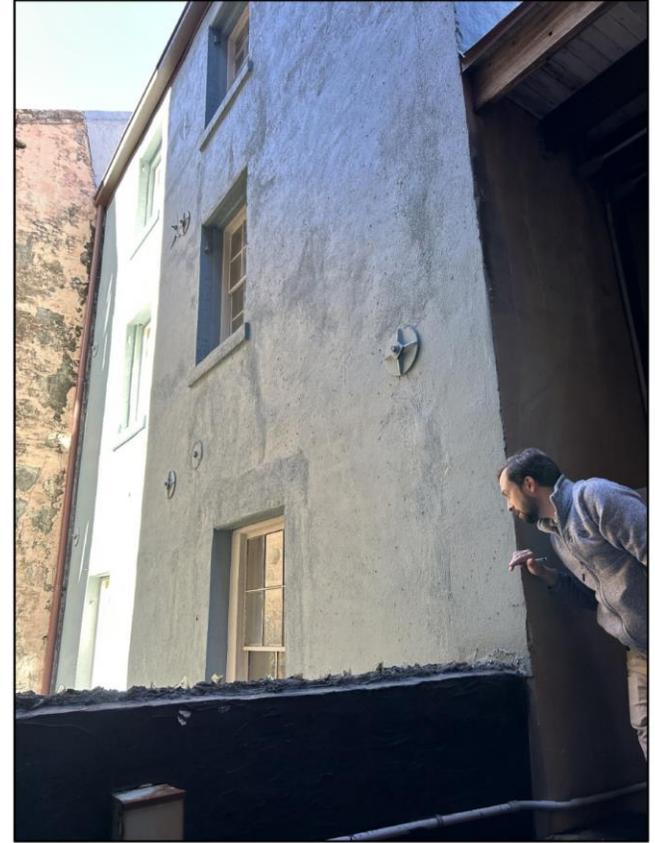




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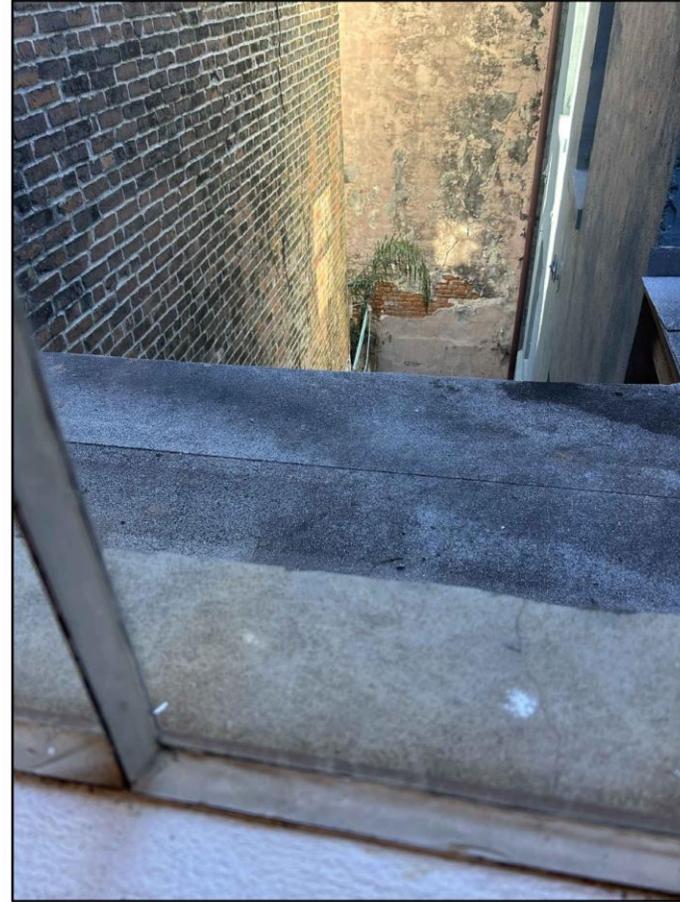


3

4 EXISTING SECOND FLOOR ROOF
A2.2 scale: 1/4" = 1'-0"



4



5

5
A2.2

EXISTING THIRD FLOOR ROOF

scale: 1/4" = 1'-0"



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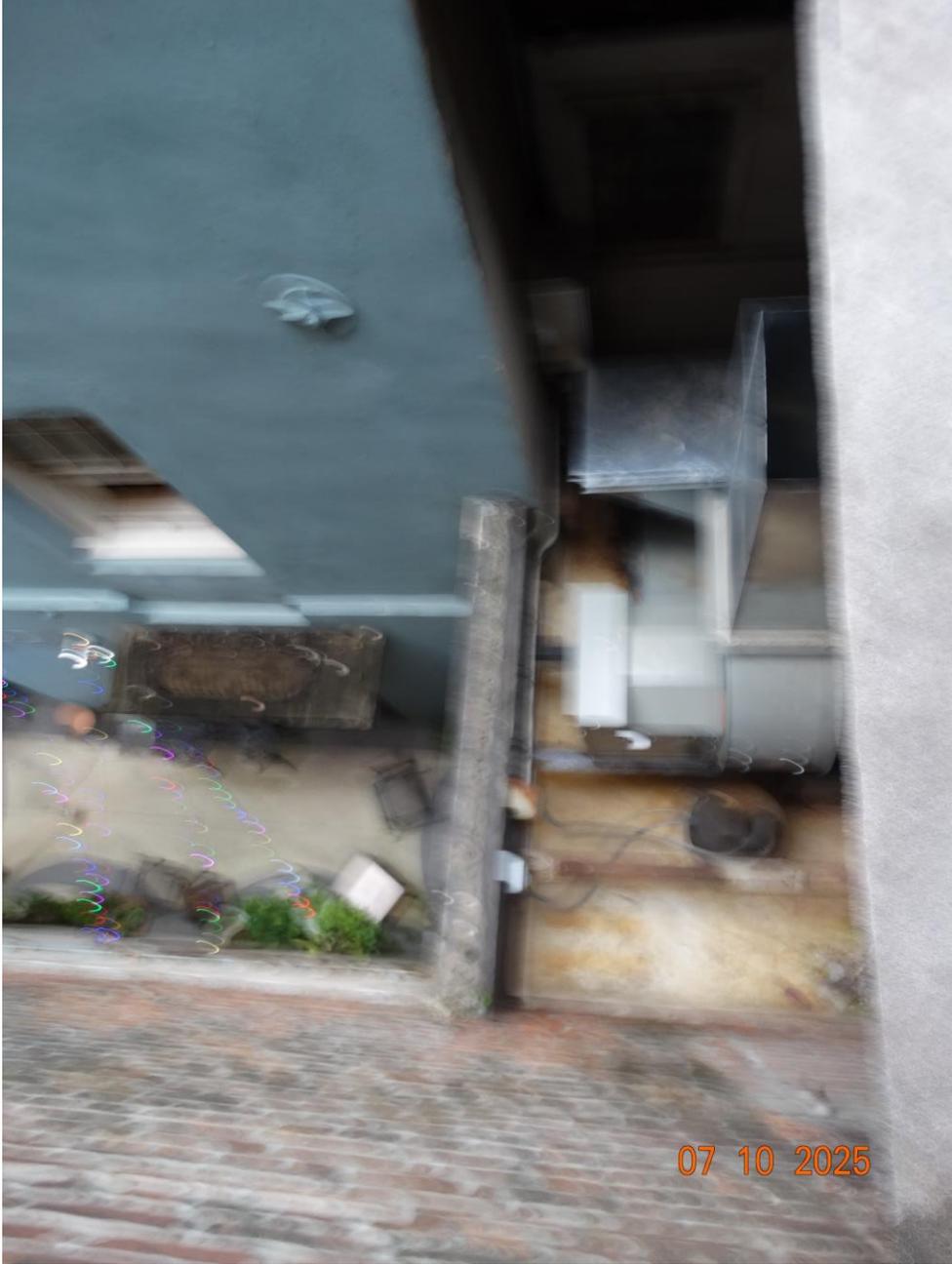


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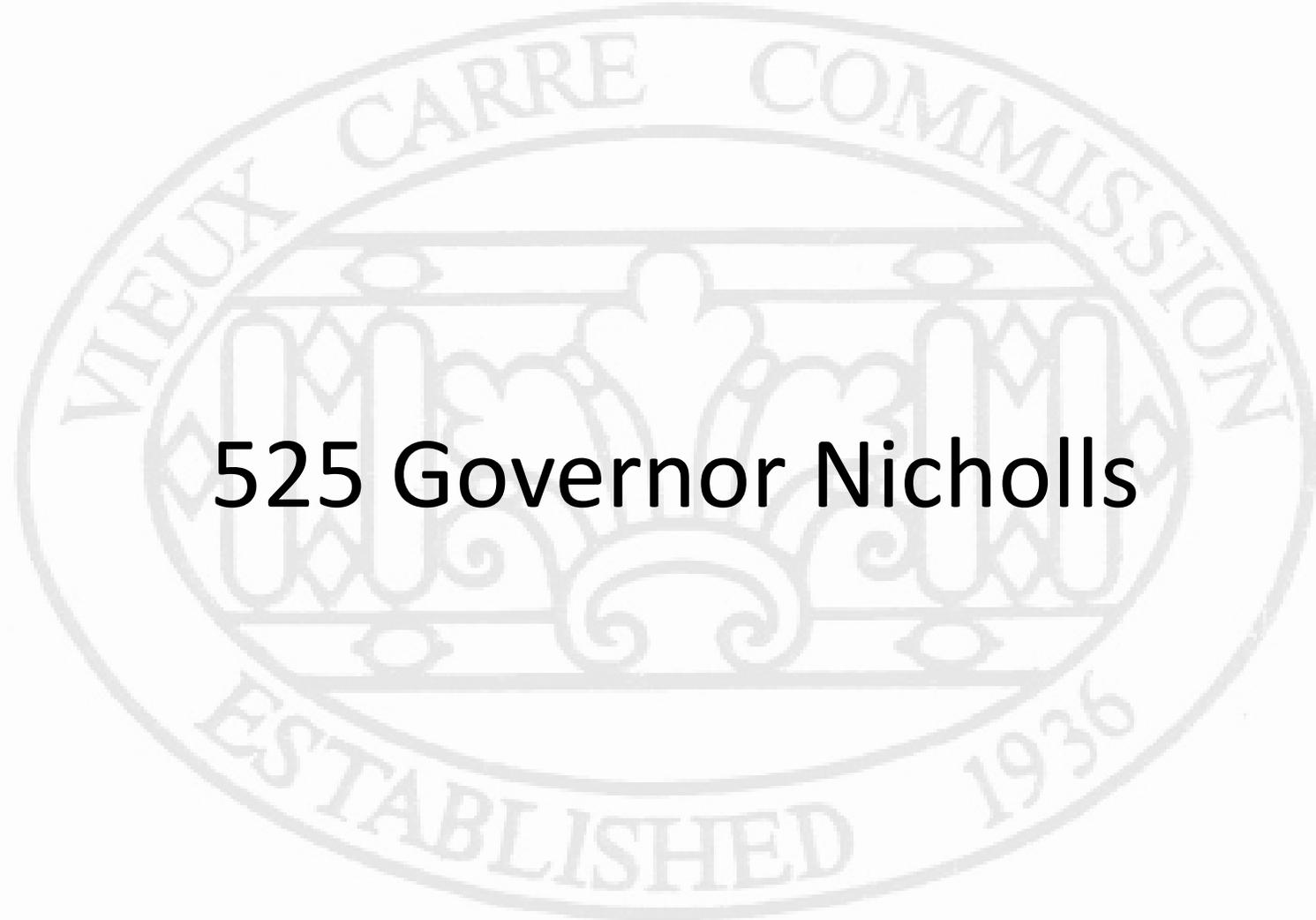


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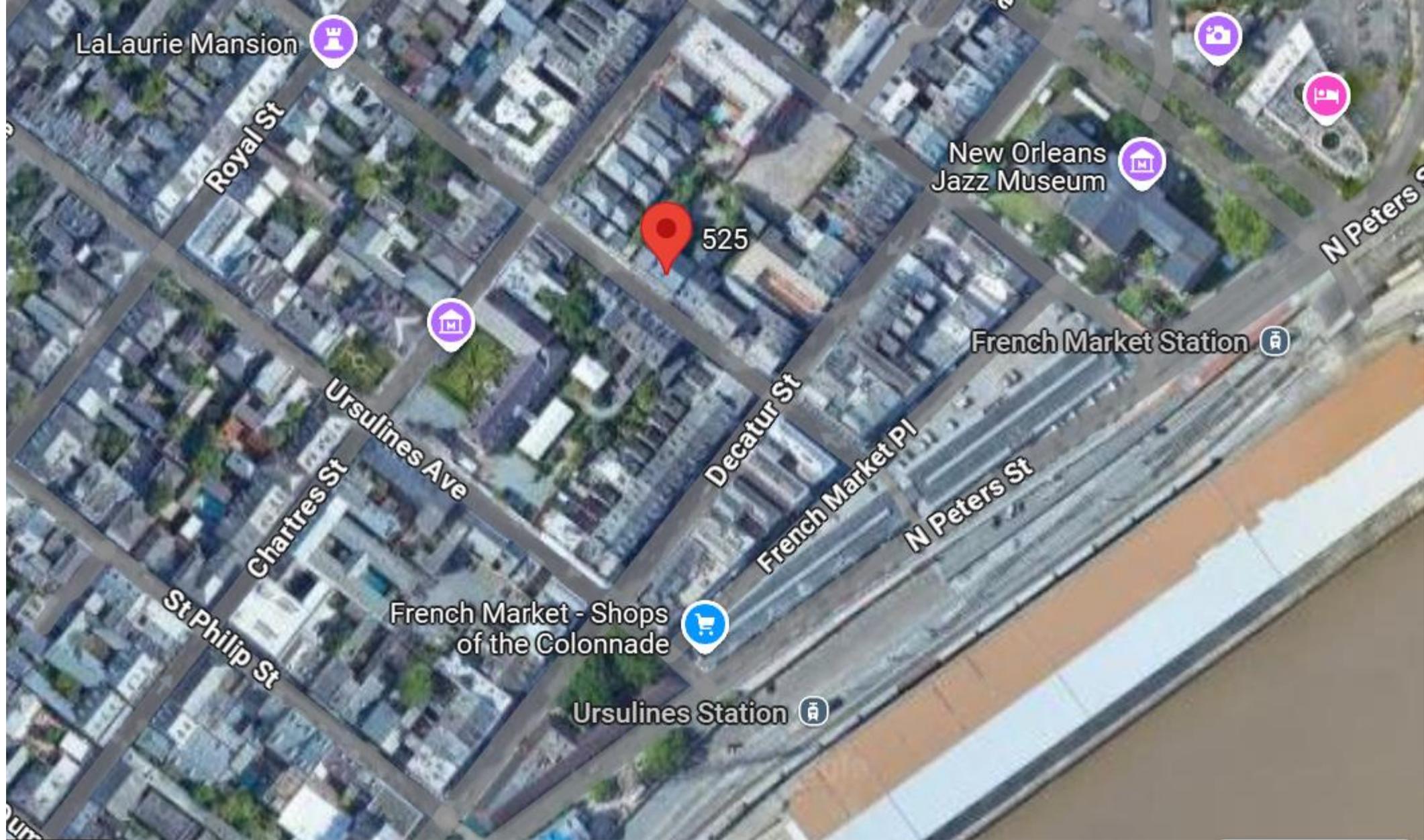
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525 Governor Nicholls



525 Governor Nicholls

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525 Governor Nicholls, 1963

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525 Governor Nicholls, 1964

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525 Governor Nicholls, 1972

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525 Governor Nicholls, 1974

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525 Governor Nicholls, 1983

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525 Governor Nicholls, 1984

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525 Governor Nicholls, 1986

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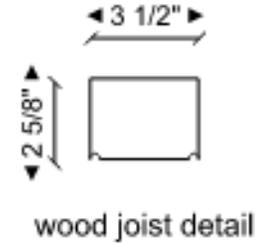
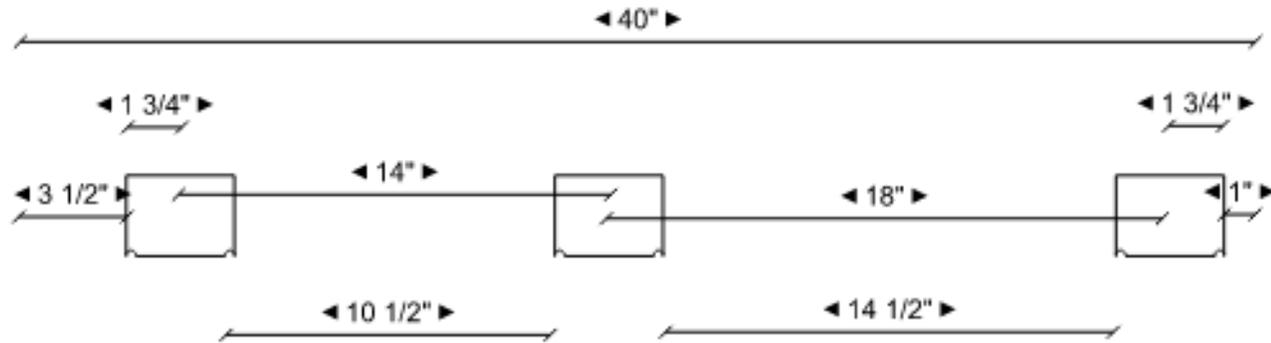


525 Governor Nicholls

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Original wood joist separation in 3rd. floor balcony.

The separation from joist center to joist center is 14" in the left and 18" on the right.

The separation from joist side face to joist side face is 10.5" in the left and 14.5" on the right.

Site:	525 Gov. Nicholls	Drawing:	801506	Project:	0000416	Client:	Name	Notes:	ATH CONTRACTORS INC ATHRESTORATION@GMAIL.COM 504 - 858-3946
Title:	3rd. floor balcony joists	Scale:		Date:	07-05-2025	Rev:	A		







525 Governor Nicholls
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July 15, 2025



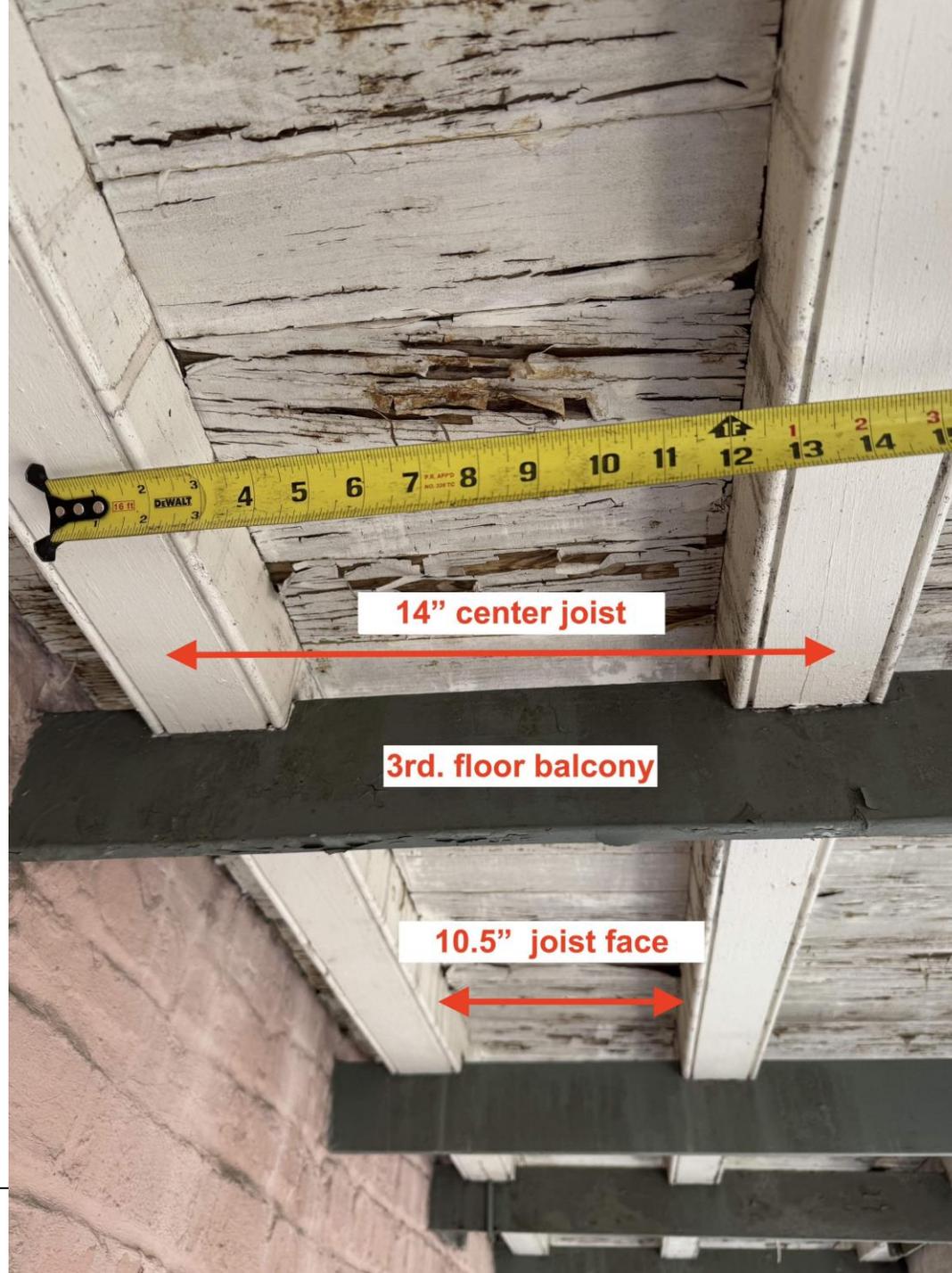


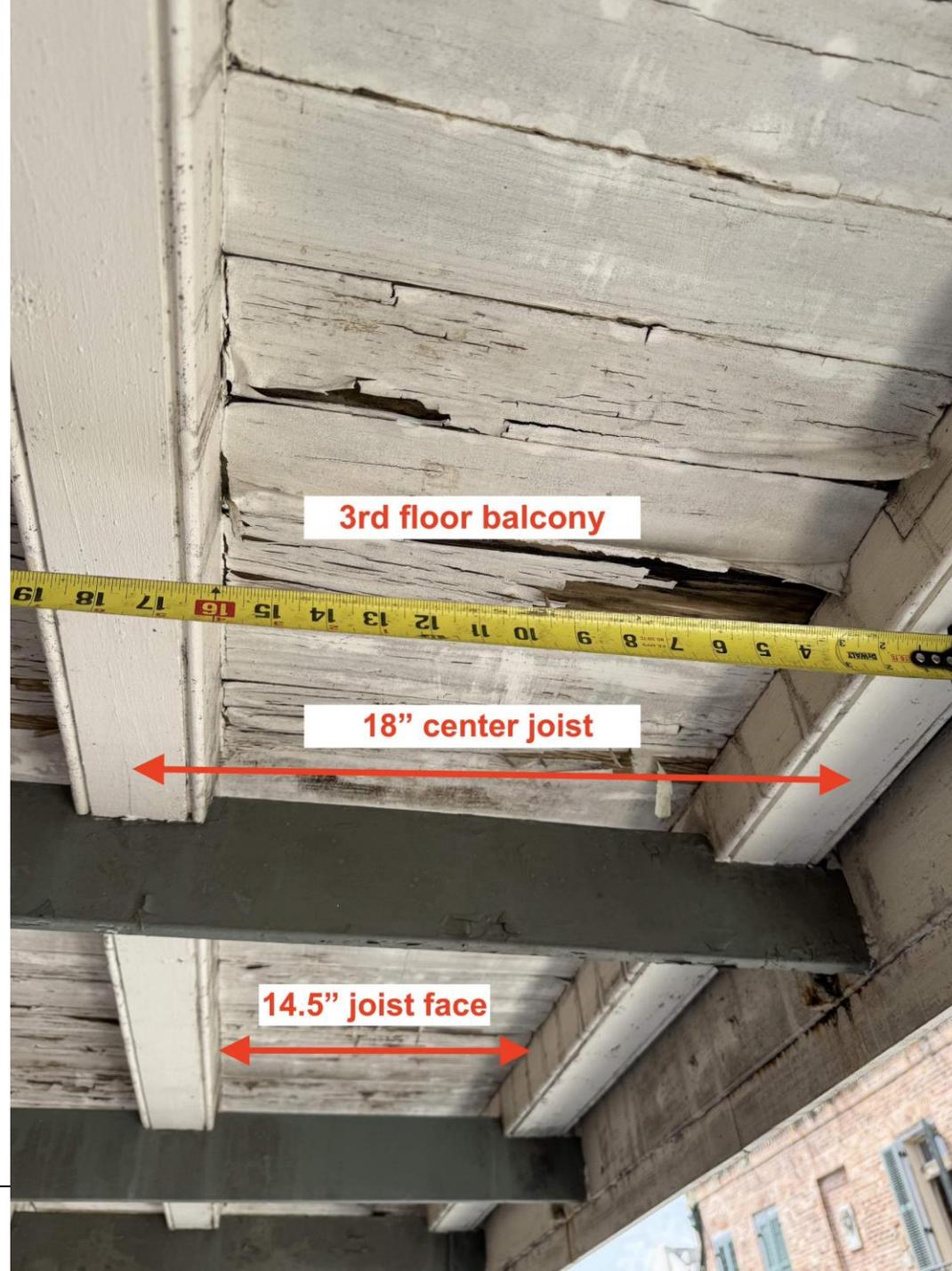
525 Governor Nicholls

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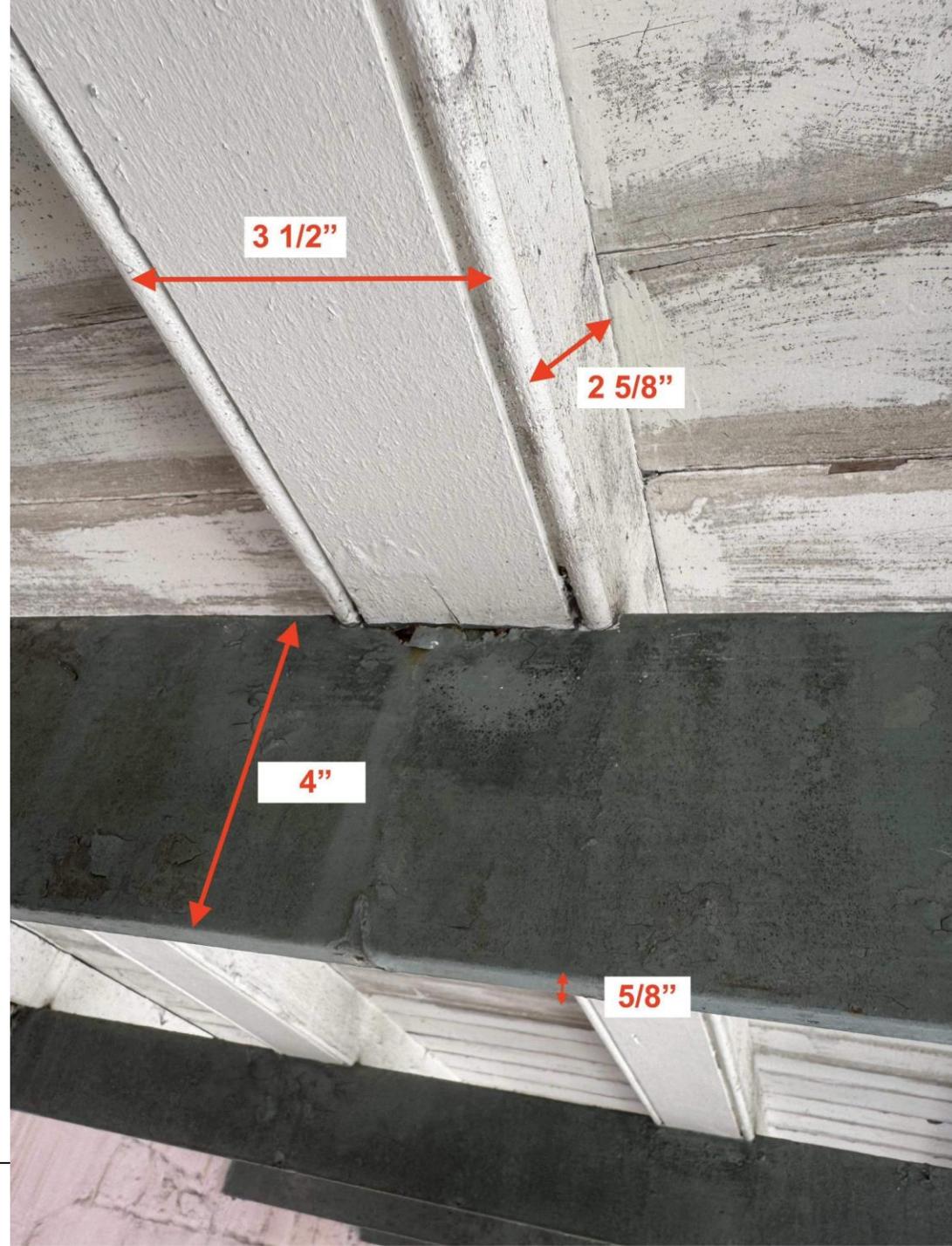




3rd floor balcony

18" center joist

14.5" joist face





1017 Orleans



1017 Orleans

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11 22 2023

July 15, 2025





1017 Orleans

VCC Architectural Committee

09 27 2024

July 15, 2025





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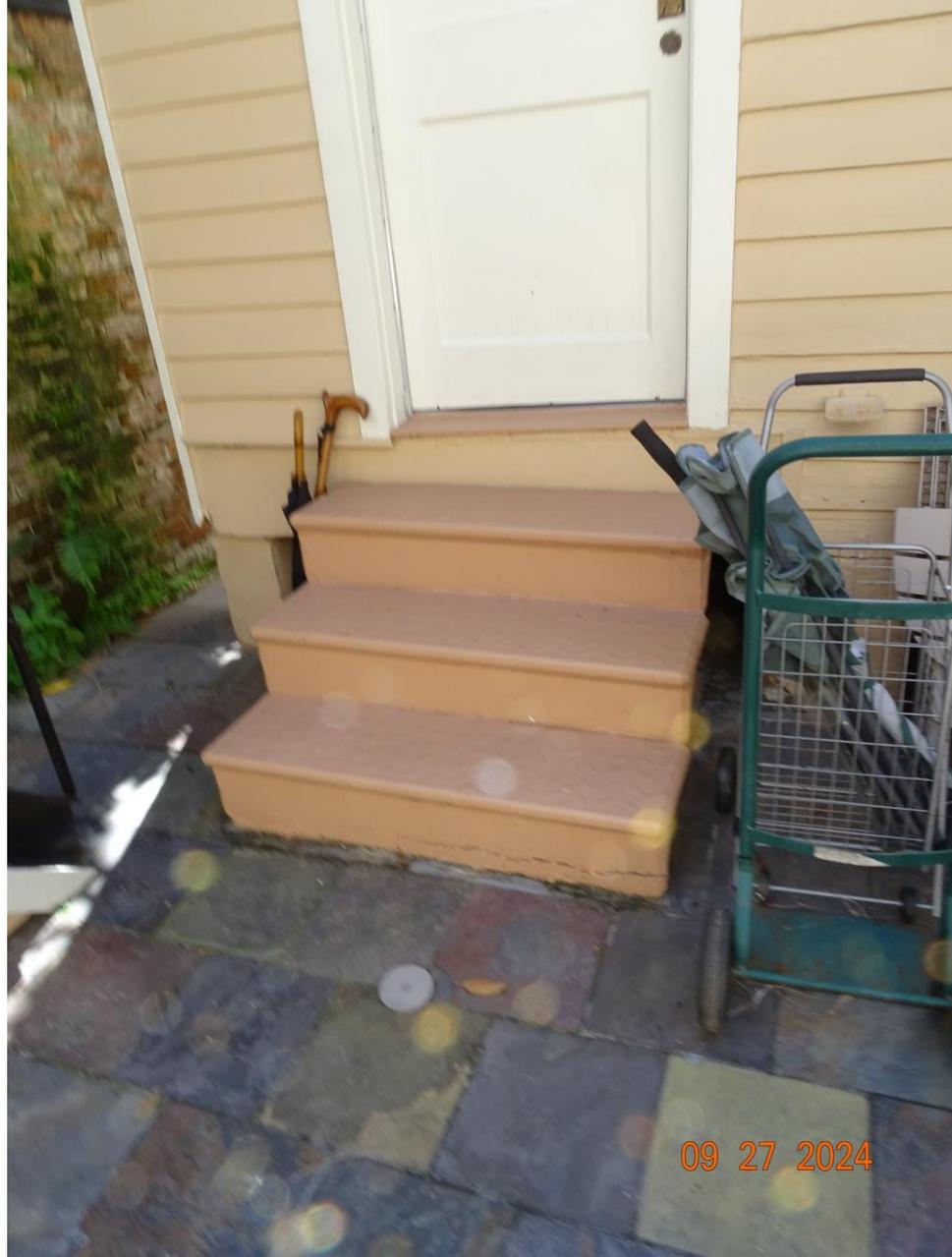


1017 Orleans

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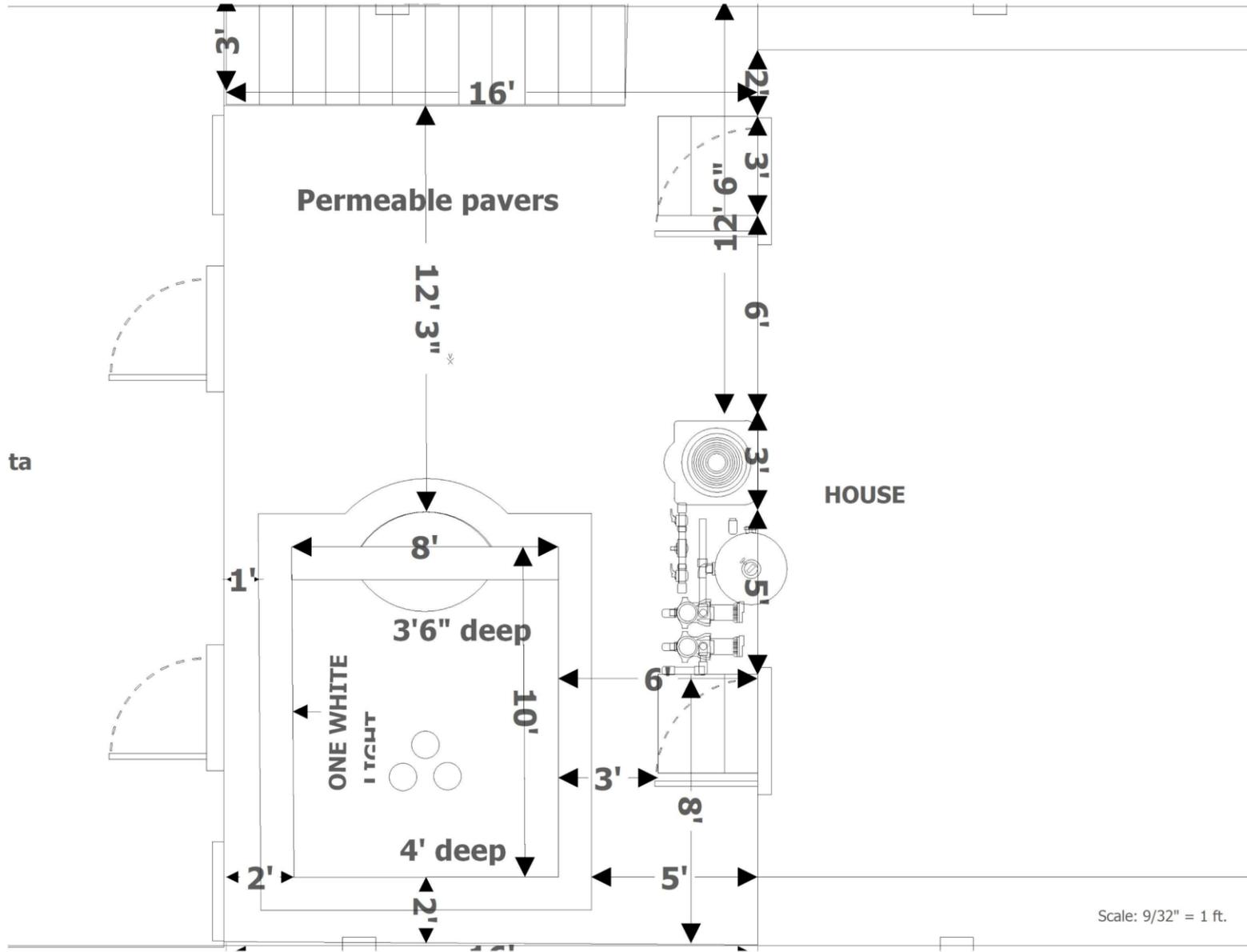


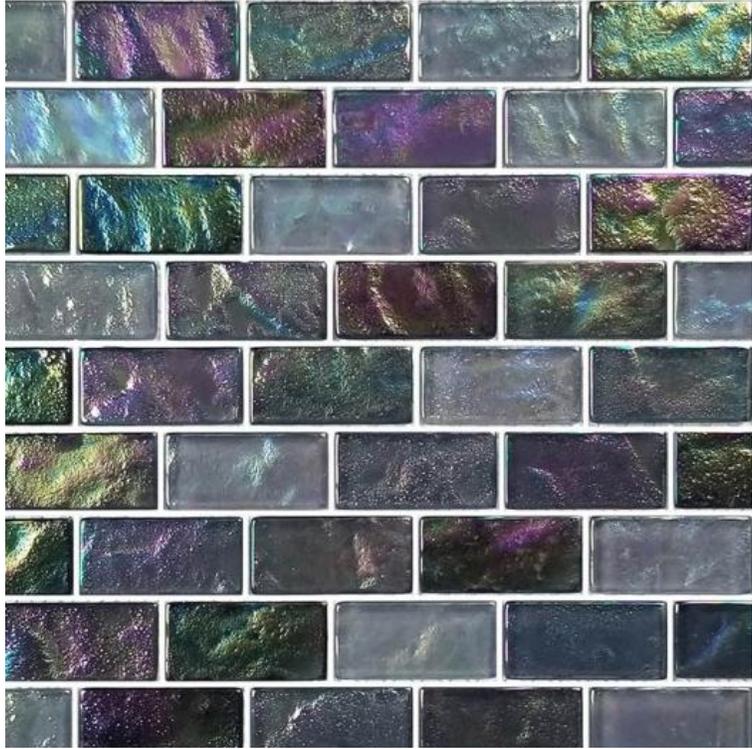
1017 Orleans

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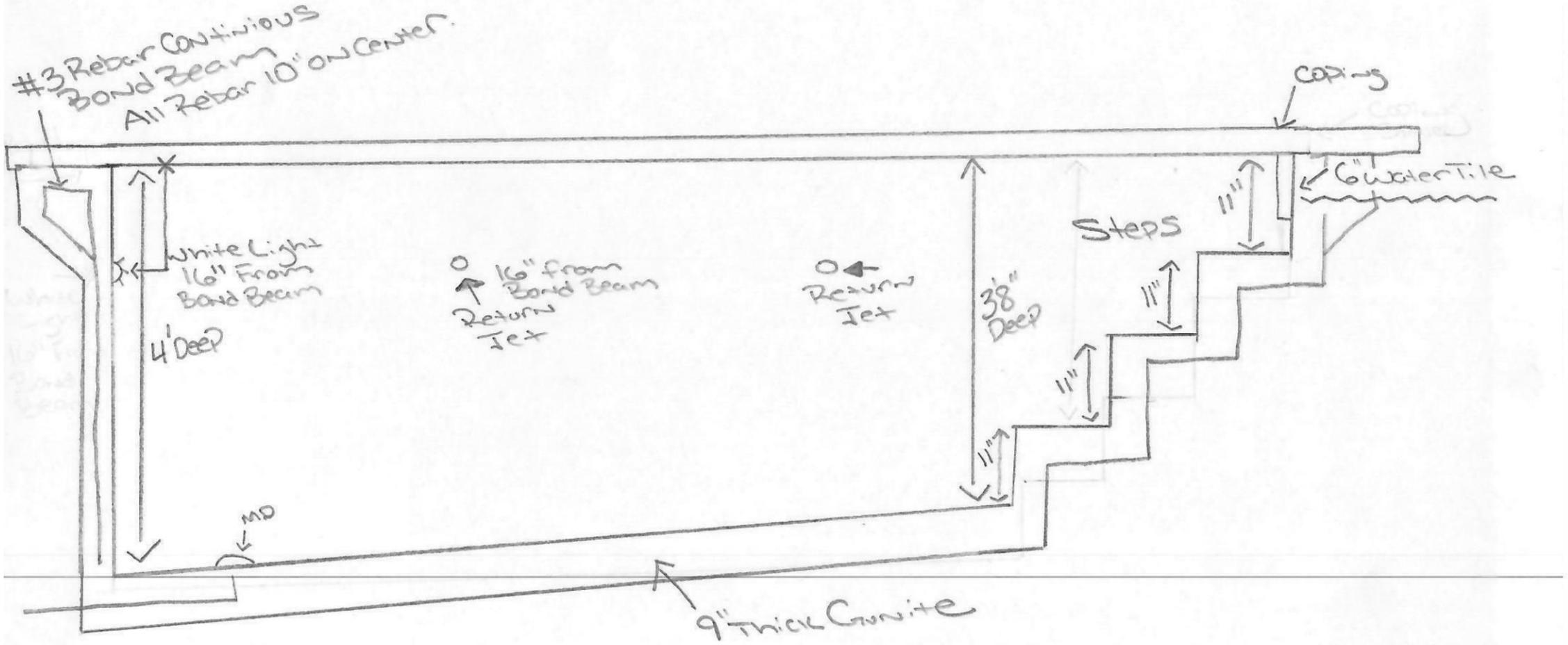
July 15, 2025



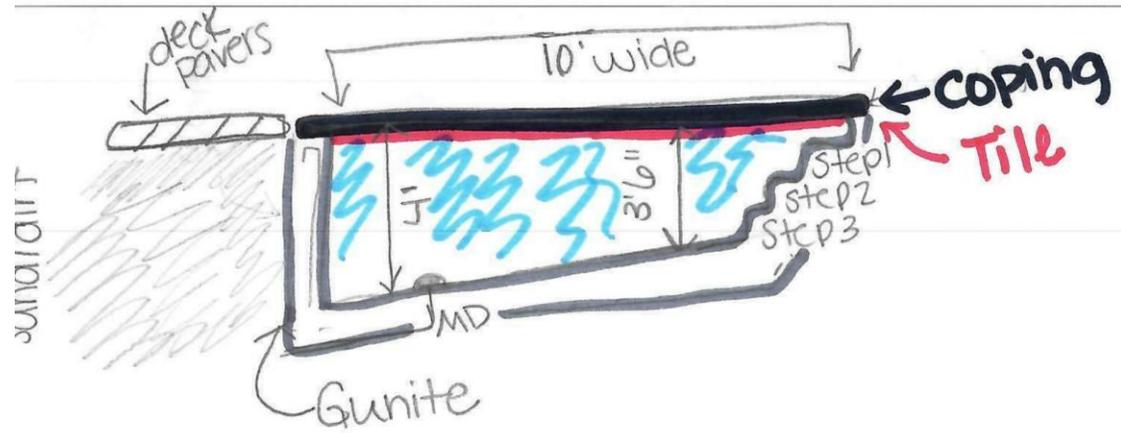
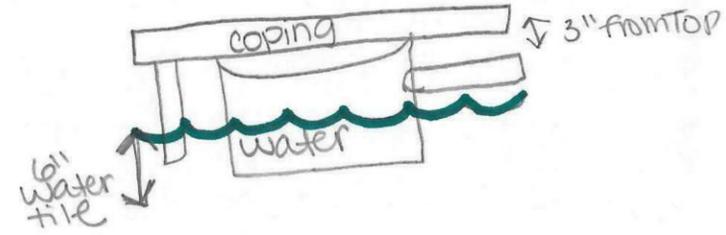
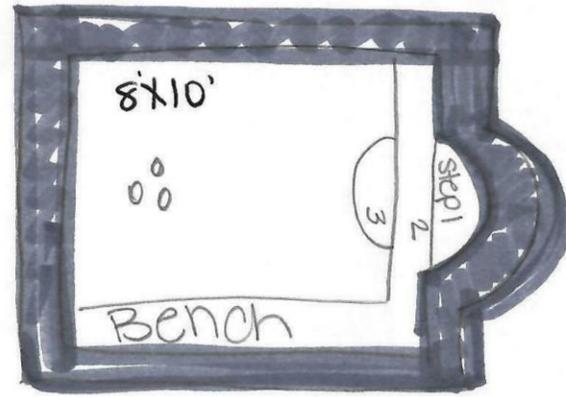


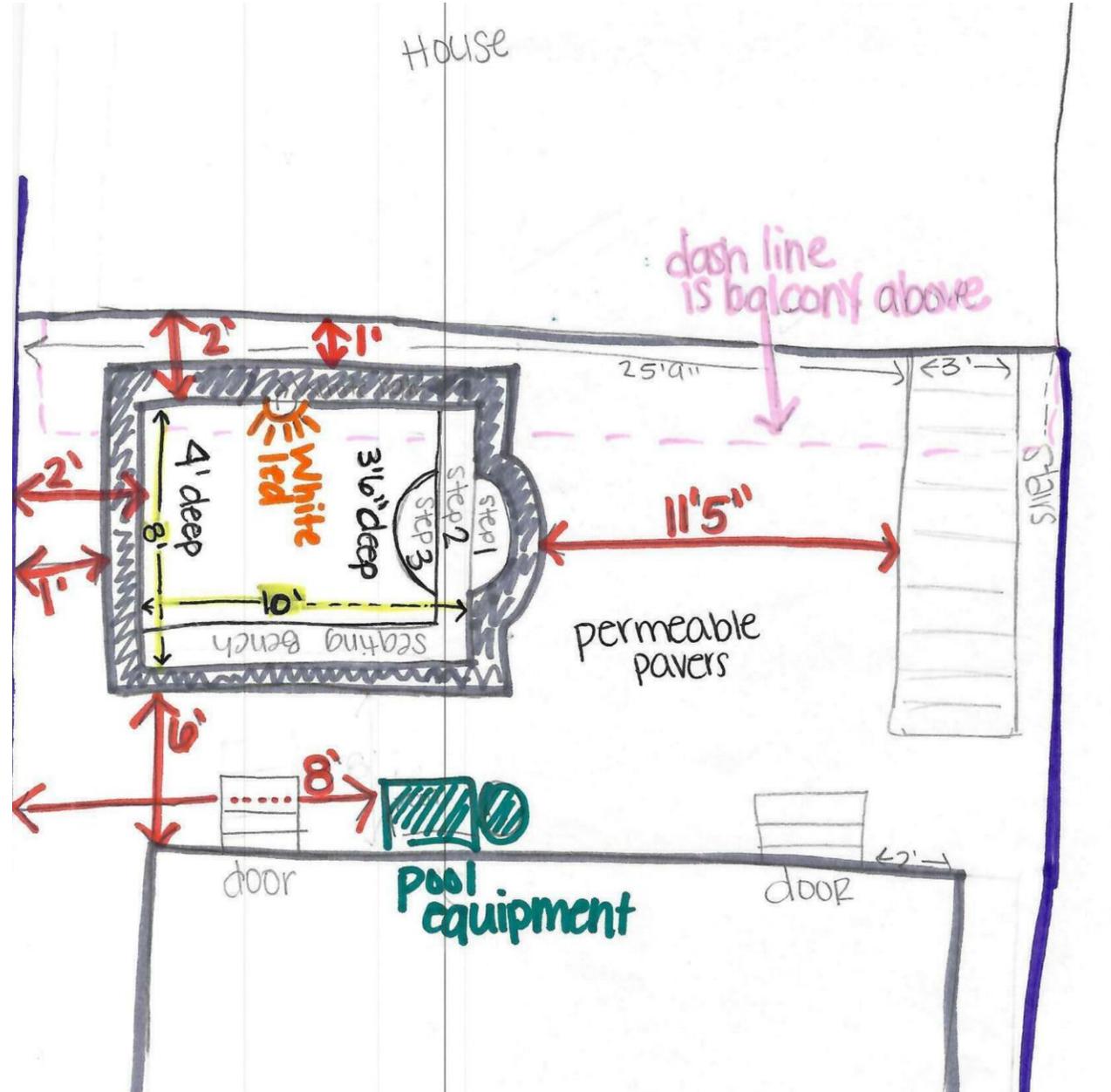


Cross section



Cross section





Suction Outlets

ROUND SUMPS, COVERS, FRAMES AND ACCESSORIES

OPEN LINE

For concrete, vinyl and fiberglass pools, Hayward round suction outlets are available in a wide range of plumbing configurations, plaster collar options and colors. Whether installing frames and covers or sump-type outlets for new construction or replacement covers on existing applications, Hayward suction outlets set the standard for quality and value.

All Hayward WG Series suction outlet fitting assemblies and replacement covers have been tested to ANSI/APSP/ICC-16 2017, are VGB compliant and meet CPSP requirements.

Applications

- Residential and commercial pools
- Concrete, vinyl and fiberglass surfaces
- New construction and replacement covers
- All Hayward drain covers can be used as a single replacement cover when installed on the same suction line as a TriStar VS SVRS (see page 8 for more information on a TriStar VS SVRS)

Features

- Sumps accommodate the use of SP1056 hydrostatic relief valve
- Replacement covers retrofit to existing Hayward frames
- 7 year life
- 1 year limited warranty

Port Size	Port Location and Sump Location	Approved Flow GPM
Round Covers		
2"	Side Port, Floor-Mounted	116
2"	Bottom Port, Floor-Mounted	123
2"	Side Port, Wall-Mounted	66
2"	Bottom Port, Wall-Mounted	59
1 1/2"	Side Port, Floor-Mounted	107
1 1/2"	Side Port, Wall-Mounted	72
1 1/2"	Bottom Port, Floor-Mounted	122
1 1/2"	Bottom Port, Wall-Mounted	64

Skim master
2" dark gray
SP1072S2DGR

For replacement parts see page 316.



WG1154S

WG1049AV

Suction Outlet Buying Guide

Model Number	Cover		Side Outlet Pipe Size	Bottom Outlet Pipe Size	Ctn. Qty.	Shipping Weight
	Size	Open Area Sq. Inch				
Concrete						
Cover and frame (2 pack)						
WG1030AVPAK2*	8" dia.	8.10	—	—	24	46 lbs.
Replacement cover for floor or wall						
WG1048E*	8" dia.	8.10	—	—	10	5 lbs.
Outlet-dual suction (2 pack)						
WG1051AVPAK2	8" dia.	8.10	1 1/2" FIP	1 1/2" FIP	6	35 lbs.
WG1052AVPAK2	8" dia.	8.10	2" FIP	1 1/2" FIP	6	35 lbs.
WG1053AVPAK2	8" dia.	8.10	1 1/2" FIP	2" FIP	6	35 lbs.
WG1054AVPAK2	8" dia.	8.10	2" FIP	2" FIP	6	35 lbs.
Outlet-dual suction with adjustable plaster collar (2 pack)						
WG1153AVPAK2	8" dia.	8.10	1 1/2" FIP	2" FIP	6	35 lbs.
WG1154AVPAK2	8" dia.	8.10	2" FIP	2" FIP	6	35 lbs.
WG1154SPAK2*	8" dia.	8.10	2" SKT	2" FIP	6	35 lbs.
(Vinyl/Fiberglass)						
WG1048AVPAK2**	8" dia.	8.10	1 1/2" FIP	1 1/2" FIP	6	37 lbs.
WG1049AVPAK2**	8" dia.	8.10	2" FIP	1 1/2" FIP	6	37 lbs.

Model Number	Description	Ctn. Qty.	Shipping Weight
Accessories			
WG1051X	Adjustable plaster collar (1") for concrete	10	4 lbs.
WG1153B*	Extension collar with inserts	10	5 lbs.
SP1055PAK2	2" or 1 1/2" MIP Slotted Collector Tube - Black (Set of 2)	10	7 lbs.
SP1056	2" or 1 1/2" MIP Hydrostatic Relief Valve	25	5 lbs.
SP1056T	Installation and removal tool for SP1056	20	36 lbs.

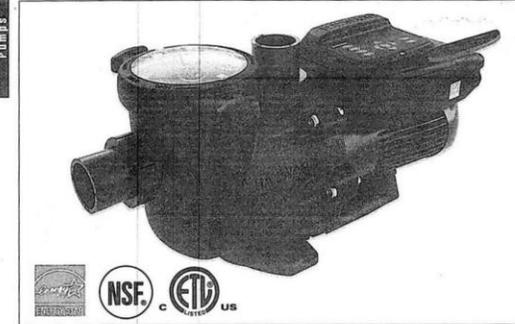
NOTE: *Available in Gray, Dark Gray and Black. Add letters GR for Gray, DGR for Dark Gray and BLK for Black after "AV", "E" or "S" in the model number.
**Also available in Dark Gray. Add letters DGR for Dark Gray after the AV in the model number.



TriStar® VS 900 & TriStar® VS 950

ULTRA-HIGH EFFICIENCY PUMPS

EXPERT LINE



TriStar VS 900 and TriStar VS 950 Ultra-High Efficiency Pumps

TriStar VS 900 and TriStar VS 950 Buying Guide

Model Number	Total H.P.	WEF	Speed Range RPM		Voltage at 60 Hz	Union Connections	Ctn. Qty.	Ctn. Weight
			600-3450	230/115				
TriStar VS 900								
SP3290VSP*	1.85	8.3/12.9	600-3450	230/115	2" x 2 1/2"	1	52 lbs.	
TriStar VS 950								
SP3295VSP*	2.70	7.3/10.1	600-3450	230/115	2" x 2 1/2"	1	65 lbs.	

NOTE: *Extended Warranty for SP3295VSP is 4 years and SP3290VSP is 3 years.

Performance Data - TriStar VS 900*

RPM	Percent Output	Pump Output (GPM) vs. Total Resistance to Flow (Feet of Head)						
		10 ft	20 ft	30 ft	40 ft	50 ft	60 ft	70 ft
1375	40%	29	—	—	—	—	—	—
1725	50%	55	—	—	—	—	—	—
2075	60%	76	52	—	—	—	—	—
2425	70%	94	77	54	—	—	—	—
2750	80%	111	97	80	58	—	—	—
3100	90%	128	116	103	87	67	34	—
3450	100%	145	134	123	110	96	78	54

Performance Data - TriStar VS 950*

RPM	Percent Output	Pump Output (GPM) vs. Total Resistance to Flow (Feet of Head)							
		10 ft	20 ft	30 ft	40 ft	50 ft	60 ft	70 ft	80 ft
1375	40%	51	—	—	—	—	—	—	—
1725	50%	80	42	—	—	—	—	—	—
2075	60%	100	82	41	—	—	—	—	—
2425	70%	117	110	90	56	—	—	—	—
2750	80%	133	133	118	100	73	—	—	—
3100	90%	149	149	144	130	117	91	36	—
3450	100%	194	184	172	160	146	130	110	84

NOTE: *For 230V
For complete pump performance curves see page 25.



Hayward TriStar® VS ultra-high efficiency pool pumps are the most efficient pumps in their class. The 900 and 950 models go even further, offering unique features such as a Viton® pump seal and extended warranties. Tests prove they can save pool owners up to 90% on energy costs compared to single-speed pumps.

Applications

- In-ground pools
- In-ground spas

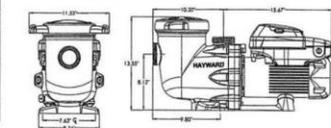
Features

- Extended-life Viton pump seal for improved resistance against chemical imbalances
- Best-in-class energy efficiency via industry leading hydraulic design plus super-efficient permanent magnet motor saves up to \$1,500* in energy costs year after year.
- Easily installed in all applications: in standalone mode, with Hayward automation systems or with competitors' systems via relay control
- Fully programmable and rotatable digital interface with up to 8 custom timer functions
- Second base included to align with Pentair® WhisperFlo® for simple retrofit upgrades
- A separate base is also available (SPX3200SR) to align with Sta-Rite®, Max-E-Pro®, Max-E-Glas® or Dura-Glas®.

*Savings compared to a single speed pump running 12 hours per day, on a 20,000 gallon pool, at an average electrical rate of \$0.15/kWh. Actual savings may vary based on comparison pump model, hours of operation, electrical rate and other hydraulic aspects such as plumbing size and length.

Overall Dimensions (inches)

TriStar VS 900 and 950

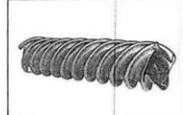


For replacement parts see page 147.



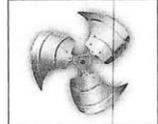
The Hayward Titanium HeatPro heat pump provides an energy efficient solution to your pool heating options. With its Titanium Heat Exchanger and Hayward Quiet Technology, HeatPro heat pumps heat pool water more efficiently for a fraction of the cost of gas while maintaining a quiet relaxed backyard environment. Depending on individual use and application of your pool, a heat pump may be right for you.

Titanium Heat Exchanger



Titanium heat exchanger for unrivaled, uncompromising and trouble-free performance—even under the harshest conditions.

Quiet Technology



Profiled fan blade design provides high-performance and quiet operation.



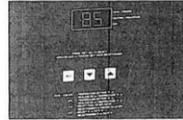
Acoustic compressor cover minimizes compressor sound for a quiet backyard.

High Performance Evaporator Coil and Union Connections



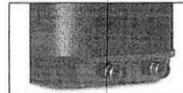
Ultra Gold corrosion resistant evaporator coil provides lasting performance and excellent durability, especially in coastal environments.

Digital LCD Control Panel



Easy to read digital temperature display with temperature lock-out capability.

Footprint



2" x 2 1/2" Union Connections for high efficiency plumbing and easy installation and maintenance.

Compact footprint allows for easy installations, is ideal for retrofit replacements, and has integrated hurricane tie-downs to meet local codes without the need for accessory kits.

For replacement parts see pages 234–235, 242–247.



HP31005T HeatPro



HP21404T HeatPro

Specifications & Dimensions

Model Number	BTU/C.O.P			Voltage/Platform	MIN Circuit Protection	Size Width x Depth x Height	Weight (lbs.) Unit
	80°F Air 80% RH	80°F Water 63% RH	50°F Air 80°F Water 63% RH				

Vertical Discharge Heat

HP21004T	90,000/5.7	85,000/5.5	59,000/4.0	Square	230/60/1	40A	30 1/4" x 34" x 37"	230	270
HP21004TC*	90,000/5.7	85,000/5.4	59,000/4.0	Square	230/60/1	40A	30 1/4" x 34" x 37"	230	270
HP21124T	110,000/5.7	107,000/5.4	75,000/4.0	Square	230/60/1	50A	30 1/4" x 34" x 44"	245	285
HP21254T	125,000/5.7	120,000/5.5	80,000/4.0	Square	230/60/1	50A	30 1/4" x 34" x 37"	245	285
HP21404T	140,000/5.7	130,000/5.5	85,000/4.0	Square	230/60/1	50A	30 1/4" x 34" x 44"	280	320
HP21404TC*	140,000/5.7	130,000/5.5	85,000/4.0	Square	230/60/1	50A	30 1/4" x 34" x 44"	280	320

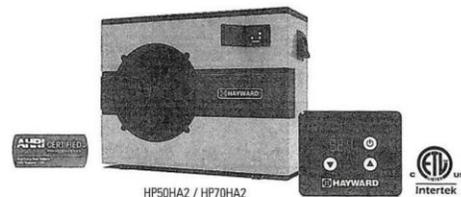
NOTE: *Low Ambient Operation – Continues to Heat to Temperatures as low as 40°F.

Vertical Discharge Heat and Cool with Low Ambient Operation

HP31005T	100,000/6.4	94,000/6.2	61,000/4.2	Round	208-230/60/1	50A	30 1/4" x 40"	245	285
HP31204T	120,000/5.7	110,000/5.4	78,000/4.0	Square	230/60/1	50A	30 1/4" x 34" x 37"	250	290

Horizontal Discharge Heat and Cool with Low Ambient Operation

HP50HA2	47,000/6.0	44,000/5.8	28,500/4.0	Side Air	230/60/1	25A	44 1/2" x 18" x 26"	152	160
HP70HA2	70,000/5.3	65,000/5.1	48,000/4.0	Side Air	230/60/1	30A	45 1/4" x 18 1/2" x 35"	230	270



HP50HA2 / HP70HA2

HAYWARD 49



OmniPL Smart Pool and Spa Control shown with app and optional wireless remote. Mobile phone, tablet and remote are not included.

OmniPL Buying Guide EXPERT LINE

Model Number	Description	Ctn. Qty.	Shipping Weight
HLPRO4W	OmniPL 4 Relay with App	1	37 lbs.
HLPPO4SW	OmniPL 4 Relay, Salt Ready with App	1	37 lbs.
HLPPLUS4W	OmniPL 4 Relay, Salt Cell with App	1	40 lbs.
HLPPO4NW	OmniPL 4 Relay, No Sub, with App	1	33 lbs.
HLPPO4NSW	OmniPL 4 Relay, No Sub, Salt Ready with App	1	33 lbs.

Accessories

TELLS340	TurboCell® S3 Salt Cell for pools up to 40,000 gallons	1	4.2 lbs.
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Accessories Buying Guide OPEN LINE

Model Number	Description	Ctn. Qty.	Shipping Weight
HLRELAY	OmniLogic 1-Relay Module	1	1 lb.
HLH485RELAY	Omni RS485 Smart Relay	1	4 lbs.
GVA-24	Actuator, 24 Volt	1	3 lbs.
HLWIRELESS	OmniLogic Wireless Waterproof Remote	1	5 lbs.
HLWALLMOUNT	OmniLogic Wall-Mount Remote	1	3 lbs.
HLPSPASIDE	OmniLogic Wired Spa Side Remote	1	3.5 lbs.
TELLS340	TurboCell® S3 Salt Cell for pools up to 40,000 gallons	1	4.2 lbs.
P-KIT	Hayward Salt Plumbing Kit	1	4.3 lbs.
HLAORPCB	Omni Daughter board for existing AquaRite installations	1	1 lb.
HLPMPCOMV	OmniLogic Competitive VSP Converter Board	1	1 lb.
HLCHEM	Sense & Dispense®	1	9 lbs.
HLPPOUPG	ProLogic® to OmniPL Upgrade Kit	1	10 lbs.

Google Home® is a trademark of Google, LLC. Amazon® and Alexa® are trademarks of Amazon Technologies, Inc. Neither of these companies are affiliated with Hayward Industries, Inc. nor endorses this product.

88 HAYWARD

Unmatched value in automation for new pools and spas. OmniPL leverages the OmniLogic® platform and easy-to-use app, where you can customize the level of smart control. Simplify pool ownership by integrating salt chlorination options with your automation.

Applications

- Residential, new or existing in-ground pools
- Single, shared or dual equipment

Features and Benefits

- Ease of Installation. External control display equipped with 15-foot cord.
- Pump Control. Full control of up to 8 Hayward Variable Speed Pumps without using any relays. Can also control competitive VS Pumps with HLPMPCONV. Visit Hayward.com for compatibility.
- Modular Expandability. Equipped with 4 relays with flexibility to upgrade. Increase to 6 relays with (2)-HLRELAY, increase to 8 relays with additional (2)-HLH485Relay.
- OmniDirect Mode™. Supports ColorLogic® LED lighting with 20 added color options, 7 exclusive shows and precise control of dimming, speed and more.
- Salt Compatibility. Select models are ready for salt once you add a Hayward salt cell (S models). Select models include a salt cell for pools up to 40,000 gallons (Plus models).
- Compatible with Omni® Remotes: HLWIRELESS, HLWALLMOUNT and HLPSPASIDE
- OmniLogic app allows you to monitor, set schedules and control your entire backyard at home or on the go (only available on W models).
- Effortless Voice Assisted Device Control. Works with popular voice control systems like Amazon® Alexa® and Google Home® (only available on W models)

Standard Features

- External relocatable touch screen display for easy configuration and programming
- Fully programmable, automatic control of every output
- 4 High-voltage relays upgradeable to 8
- 4 valve actuator relays
- Controls up to 8 pumps without using a relay
- 100A Subpanel with 8 Breaker Slots
- 50 Configurable Favorites Buttons
- 25 Unique Programmable Themes
- Salt Chlorination Ready (S models), select models include a salt cell (Plus models)
- Web-enabled for app and voice assistant control (W models)

FILTERS



C3030 SwimClear Filter



C5030 SwimClear Filter

SwimClear Cartridge Filter Buying Guide

Model Number	Effective Filtration Area	Union Connections	Dimensions Width	Dimensions Height	Clearance for Head Removal	Ctn. Qty.	Ctn. Weight
C2030	225 ft. ²	2" x 2 1/2"	24"	32 1/2"	15"	1	50 lbs.
C3030	325 ft. ²	2" x 2 1/2"	24"	34 1/2"	16"	1	60 lbs.
C4030	425 ft. ²	2" x 2 1/2"	24"	40 1/2"	18"	1	69 lbs.
C5030	525 ft. ²	2" x 2 1/2"	24"	46 1/2"	22"	1	79 lbs.
C7030	700 ft. ²	2" x 2 1/2"	24"	52 1/2"	28"	1	85 lbs.

Utilizing a cluster of reusable cartridge elements, SwimClear filters offer a choice of 225, 325, 425, 525 or 700 square feet of heavy-duty dirt-holding capacity for extra-long filter cycles, up to an entire season without cleaning. SwimClear filters will provide years of trouble-free operation and crystal clear, sparkling water.

Applications

- In-ground pools
- In-ground pool/spa combinations
- In-ground spas (residential or commercial)

Features

- High capacity, rapid release manual air relief valve bleeds air with a quick quarter turn of the lever.
- Filter tanks made from durable glass reinforced co-polymer to meet the demands of the toughest applications and environmental conditions, including in-floor cleaning systems.
- Self-aligned tank top and bottom make access to serving the Quad-Cluster™ cartridge elements fast and simple
- Heavy-duty, tamper-proof, one-piece clamp securely fastens tank top and bottom. Allows quick access to all internal components without disturbing piping or connections
- Top manifold configuration provides excellent filtration and hydraulic performance
- Non-corrosive top closure plate prevents elements from lifting and allowing unfiltered water to by-pass into pool or spa during operation
- Quad-Cluster of high-quality polyester cartridge elements provide 225, 325, 425, 525 or 700 square feet of filter area for extra dirt-holding capacity and long filter cycles
- 2" full-flow internal piping and plumbing for less resistance to flow and maximum performance.
- PVC union coupling connection accepts 2" or 2 1/2" piping for plumbing versatility and hydraulic efficiency.
- Full size 1 1/2" integral drain allows for fast, 100% clean-out and easier flushing of tank

Performance Data – Public and APSP-15

Model Number	Effective Filtration Area	Public Design Flow Rate	Turnover (In Gallons)	
			8 Hours	10 Hours
C2030	225 ft. ²	84 GPM	40,320	50,400
C3030	325 ft. ²	122 GPM	58,560	73,200
C4030	425 ft. ²	150 GPM	72,000	90,000
C5030	525 ft. ²	150 GPM	72,000	90,000
C7030	700 ft. ²	150 GPM	72,000	90,000

Public and APSP-15 Design Flow Rate based on .375 GPM/ft.²
 *Determined by pump size and piping system hydraulics.
 2" piping is recommended for flow rates above 90 GPM.
 Refer to "Friction Loss" in Hydraulics section, pages 21–24.

Replacement Elements – Page 34

For replacement parts see pages 174–175.

The Ultimate Theme Setter

Unlock your lighting with four (4) zones of control from one transformer. Change color between the pool, spa or water features without requiring additional HV relays or transformers.

Features

- Easily alternate the colors for up to four (4) zones of lighting from this one transformer
- Supports up to 75W per zone
- Controllable with Omni® automation systems*
- OmniDirect Mode™ compatible for additional lighting shows and colors, dimming control and more
- No high voltage relay is required
- UL Listed

Setup

- SmartPower will connect to the same 4-pin low speed communication bus as other Hayward Smart devices.
- MSP Firmware version: R4.4.0 or newer



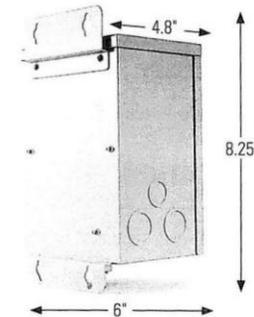
SmartPower

SmartPower Buying Guide

Model Number	Description	Ctn. Qty.	Ctn. Weight
LTSUY11300*	300W Wall Mount Transformer with 4 relays	1	12.5 lbs.

NOTE: *This SKU is for use with Hayward Omni Automation only

Overall Dimensions (inches)



LIGHTING



CrystaLogic® 320 & 160

12V LED WHITE POOL, SPA AND BACKYARD LIGHTING

EXPERT LINE®

CrystaLogic 320 & 160 1.5-inch white LED lights are ideal for uniform pool and spa illumination, or highlighting water features, baja shelves, steps, landscaping and more with the industry's most vibrant lighting. Available in two brightness levels and able to be installed in wet or dry settings, these versatile lights can meet the needs of any backyard application.

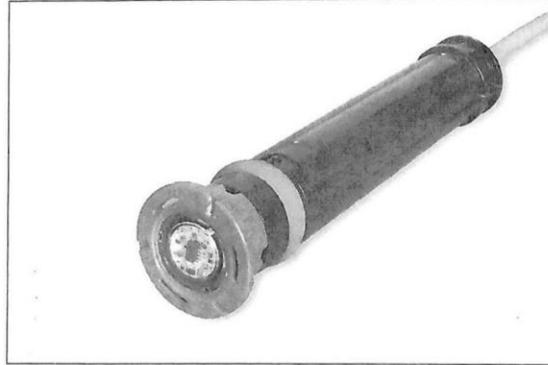
Applications

- Residential, in-ground, pool, spa or landscape

Features

- 1.5-inch light installs at just 4 inches below the waterline and as little as 9 inches of PVC conduit
- Ideal for lighting steps, water features, baja shelves, bubblers and more
- Last 10 times longer than incandescent bulbs
- Available in two brightness levels:
 - CrystaLogic 160 – Standard Output
 - CrystaLogic 320 – High Output
- UL Listed for safe wall or floor installation

NOTE: High output models can be configured to multiple output modes: 100%, 60%, or Variable [20%, 40%, 60%, 80%, 100%]



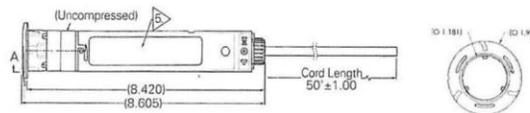
CrystaLogic 320 and 160 White LED Light

CrystaLogic 320 & 160 White LED Lights Buying Guide

Model Number	Wattage Equivalent/Lumens	Description	Cord Length	Ctn. Qty.	Shipping Weight
LAWUS11030	100/1100	CrystaLogic 320	30	1	4 lbs.
LAWUS11050	100/1100	CrystaLogic 320	50	1	5.2 lbs.
LAWUS11100	100/1100	CrystaLogic 320	100	1	8.2 lbs.
LAWUS11150	100/1100	CrystaLogic 320	150	1	11.2 lbs.
LYWUS11030	60/600	CrystaLogic 160	30	1	4 lbs.
LYWUS11050	60/600	CrystaLogic 160	50	1	5.2 lbs.
LYWUS11100	60/600	CrystaLogic 160	100	1	8.2 lbs.
LYWUS11150	60/600	CrystaLogic 160	150	1	11.2 lbs.

NOTE: See page 113 for accent light wall fittings

Overall Dimensions (inches)



**Prepared For**

Nazha Abdul-Hadi
 1017 Orleans ave
 New Orleans , LA 70116
 (985) 630-0404

Emergency Draining And Plumbing Service LLC

3301 GARDEN OAKS DRIVE
 New Orleans, Louisiana 70114
 Phone: (504) 541-1679
 Email: edapservice@gmail.com

Estimate # 21
 Date 05/21/2025
 Business / Tax # 99-3474522

Description

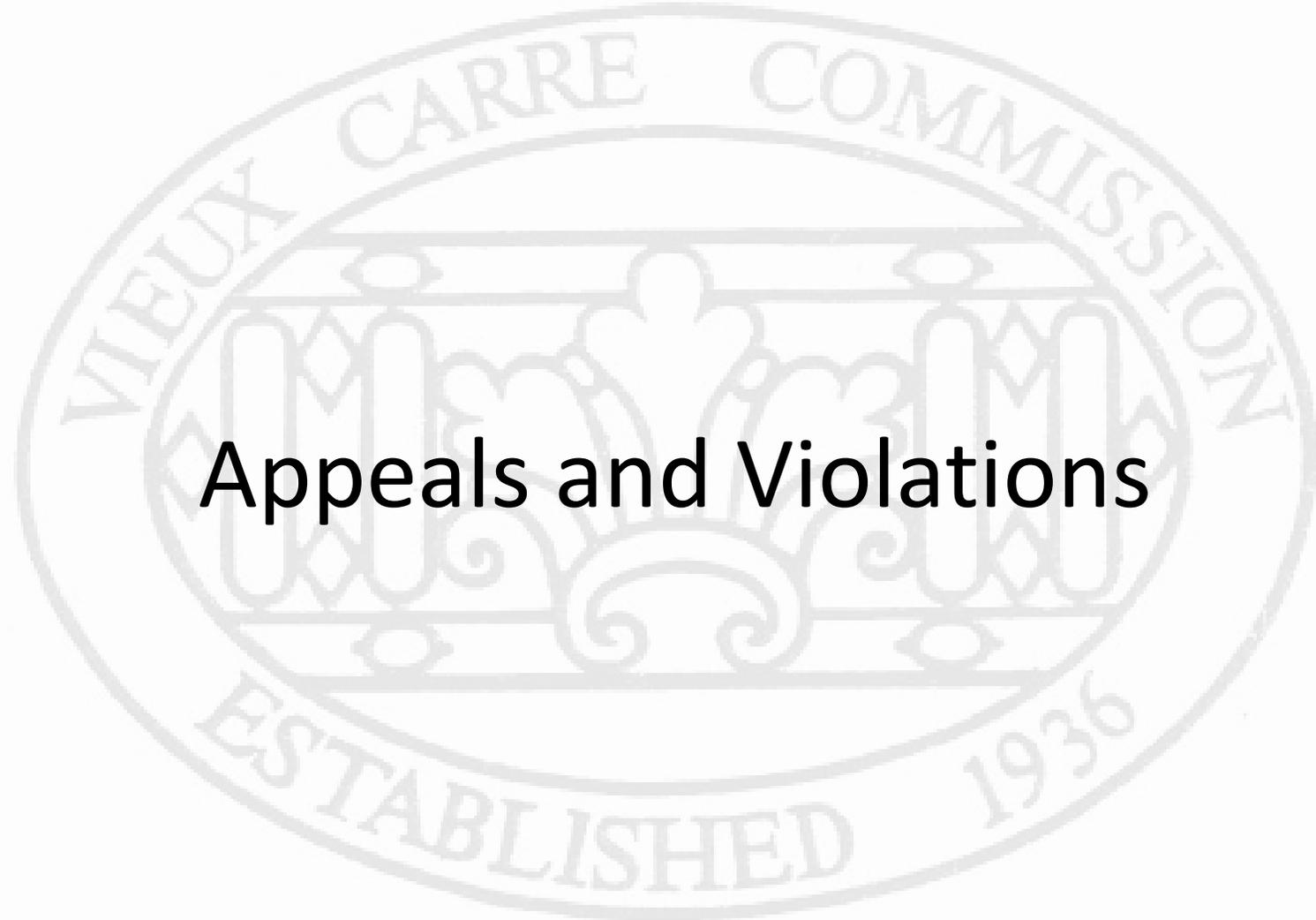
Plumbing

The plumber will be removing 4inch piping on the side of the house.
 We will install piping under house, into interior walls. We will replace piping with PVC pipes
 connecting the pipes to the cast iron pipes underneath the house.
 Material \$4,000
 12 hours of Labor \$10,000

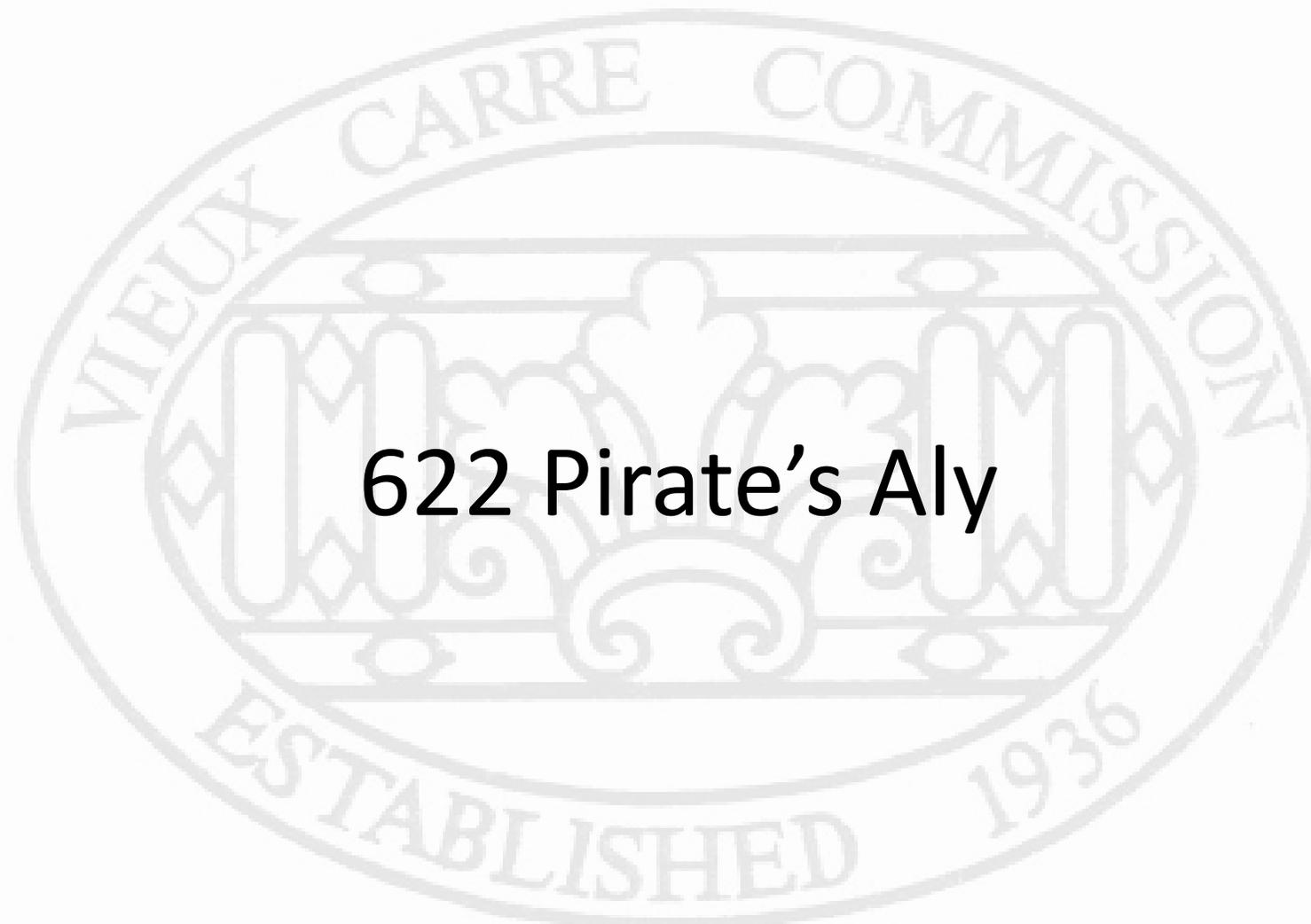
Subtotal	\$14,000.00
Total	\$14,000.00

Please wire payment to
 Chase Bank
 Acct# 639859209
 Route #065400137

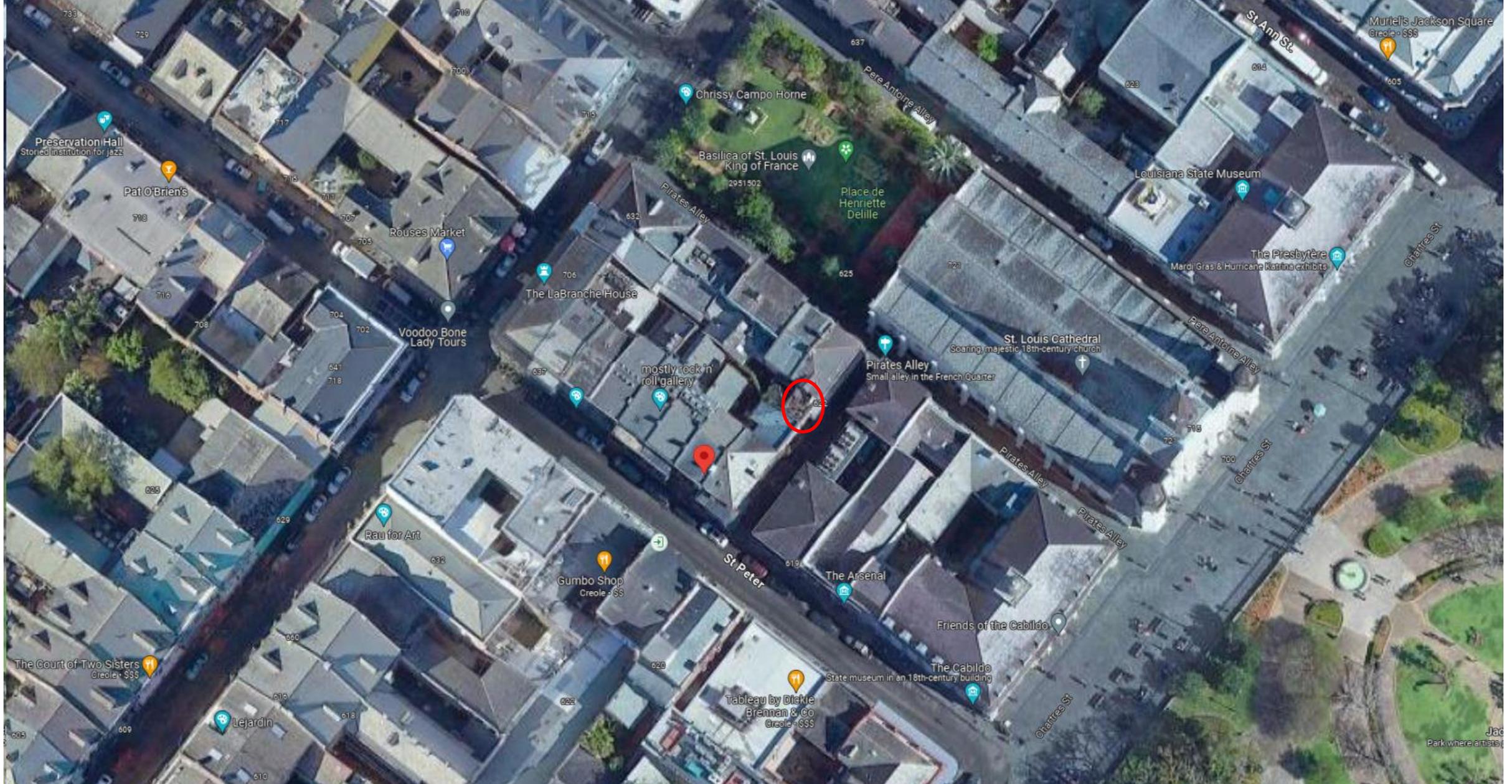




Appeals and Violations



622 Pirate's Aly



622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley





622 Pirates Alley





622 Pirates Alley





622 Pirates Alley





622 Pirates Alley – 2012

VCC Architectural Committee

July 15, 2025





622 Pirates Alley – 2024





622 Pirates Alley – 2024





622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley





622 Pirates Alley

VCC Architectural Committee

July 15, 2025





622 Pirates Alley – 2025





622 Pirates Alley – 2025





622 Pirates Alley – 2025

VCC Architectural Committee

July 15, 2025





622 Pirates Alley – 2025





622 Pirates Alley – 2025





622 Pirates Alley – 2025

VCC Architectural Committee

July 15, 2025





622 Pirates Alley – partial roof deck demo





622 Pirates Alley – partial roof deck demo





622 Pirates Alley – partial roof deck demo

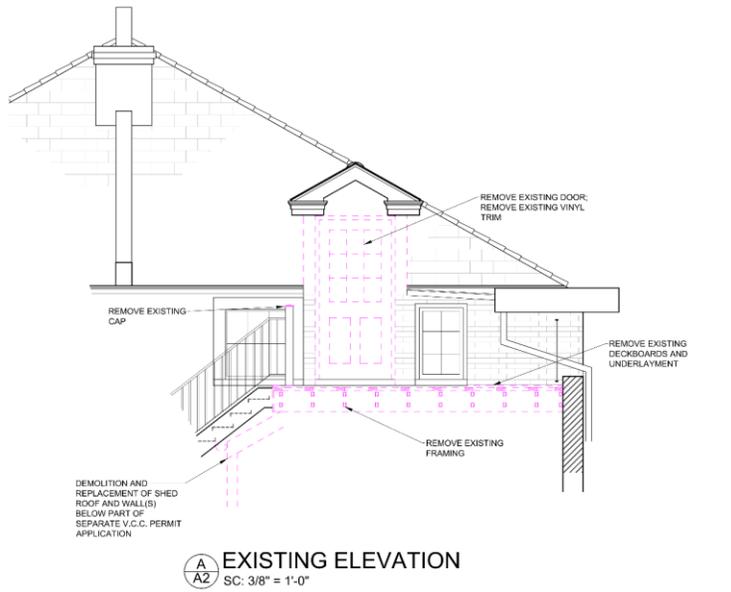




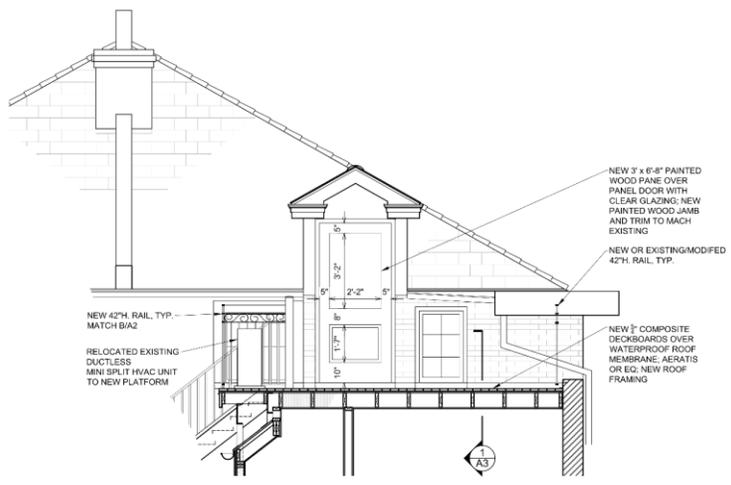
622 Pirates Alley – partial roof deck demo



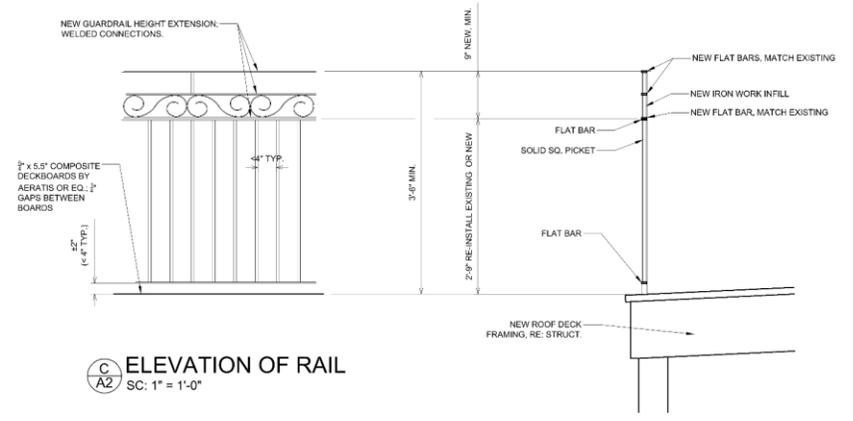
622 Pirates Alley – partial roof deck demo



A
A2 EXISTING ELEVATION
SC: 3/8" = 1'-0"



A
A2 PROPOSED ELEVATION
SC: 3/8" = 1'-0"



C
A2 ELEVATION OF RAIL
SC: 1" = 1'-0"

B
A2 SECTION DETAIL
SC: 1" = 1'-0"

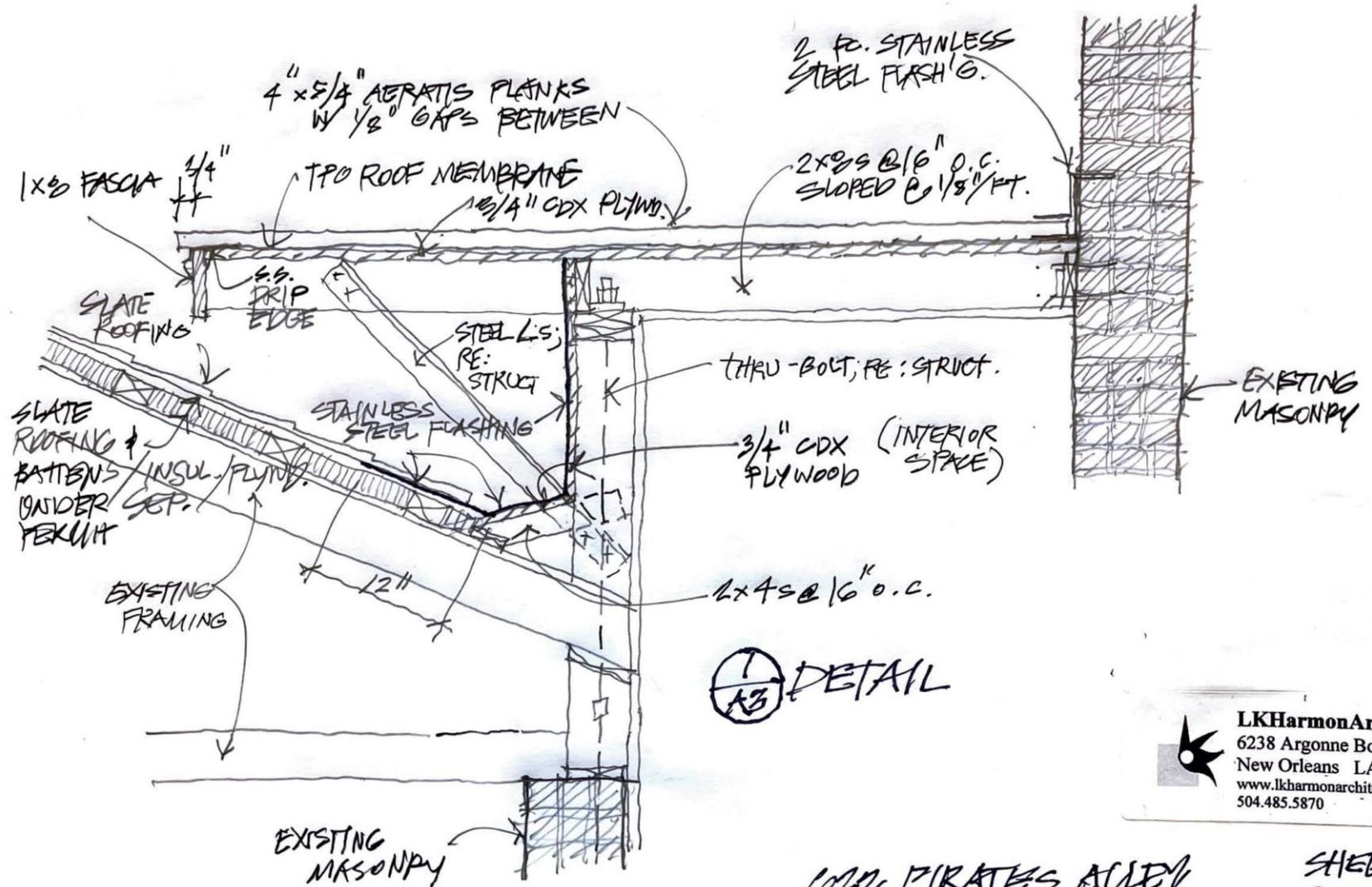


PHOTO of EXISTING RAIL



PHOTO of EXISTING DORMER





1/13 DETAIL

LKHarmonArchitects
 6238 Argonne Boulevard
 New Orleans LA 70124
 www.lkharmonarchitects.com
 504.485.5870

622 PIRATES ALLEY
 ROOF DECK - NOLA

SHEET #23
 9.24.24
 LKH #5023



LKHamonArchitects Notes 7.1.2025

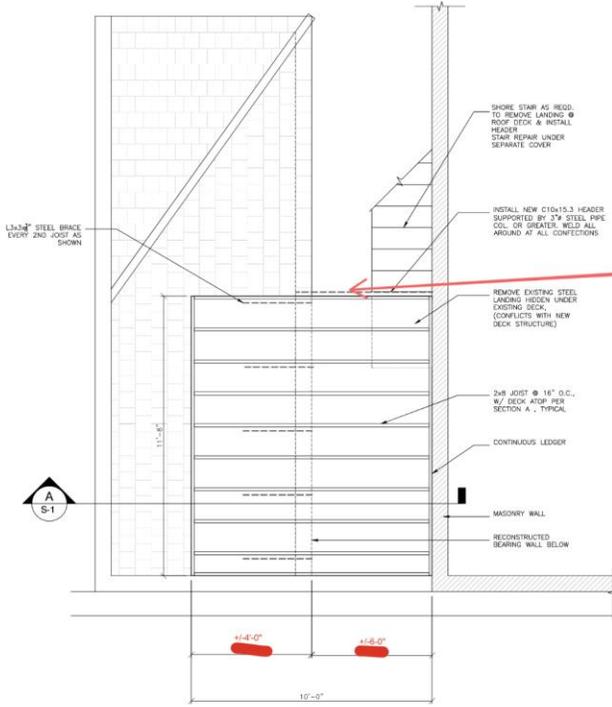
NOTE: THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION... RESEARCHED THE IRC 2021 CODE...

FRAMING GENERAL NOTES:

- 1. ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NDS... 2. ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S, NO.2 MAXIMUM MOISTURE CONTENT 19%... 3. PLYWOOD SUB DECK SHALL BE APA RATED 48/24, 3/4" THICK TONGUE AND GROOVE...

STRUCTURAL STEEL

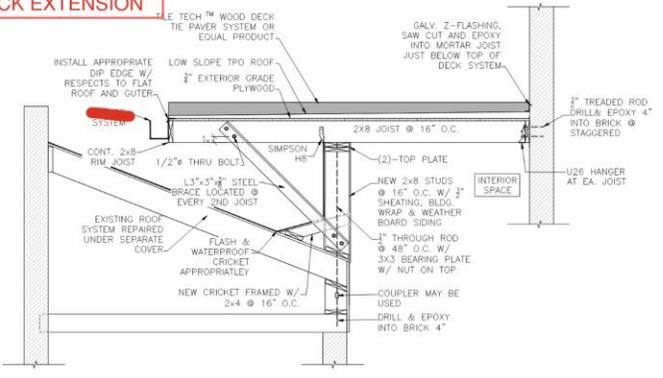
- S01. DESIGN, DETAIL AND ERECT STRUCTURAL STEEL ELEMENTS IN ACCORDANCE WITH THE FOLLOWING: A. AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS... S02. PROVIDE STRUCTURAL STEEL OF THE FOLLOWING ASTM DESIGNATIONS UNLESS NOTED OTHERWISE: A. STRUCTURAL STEEL WIDE FLANGE SHAPES: ASTM A 992...



DECK RENOVATION - STRUCTURAL PLAN SCALE: 1/4" = 1'-0"

PLAN FOR CONCEPTUAL APPROVAL ONLY. STRUCTURAL DETAILS WILL BE COORDINATED UPON VCC CONCEPTUAL APPROVAL.

REFER TO VCC APPROVED COMMON AREA DRAWINGS FOR STRUCTURAL FRAMING AT DECK EXTENSION

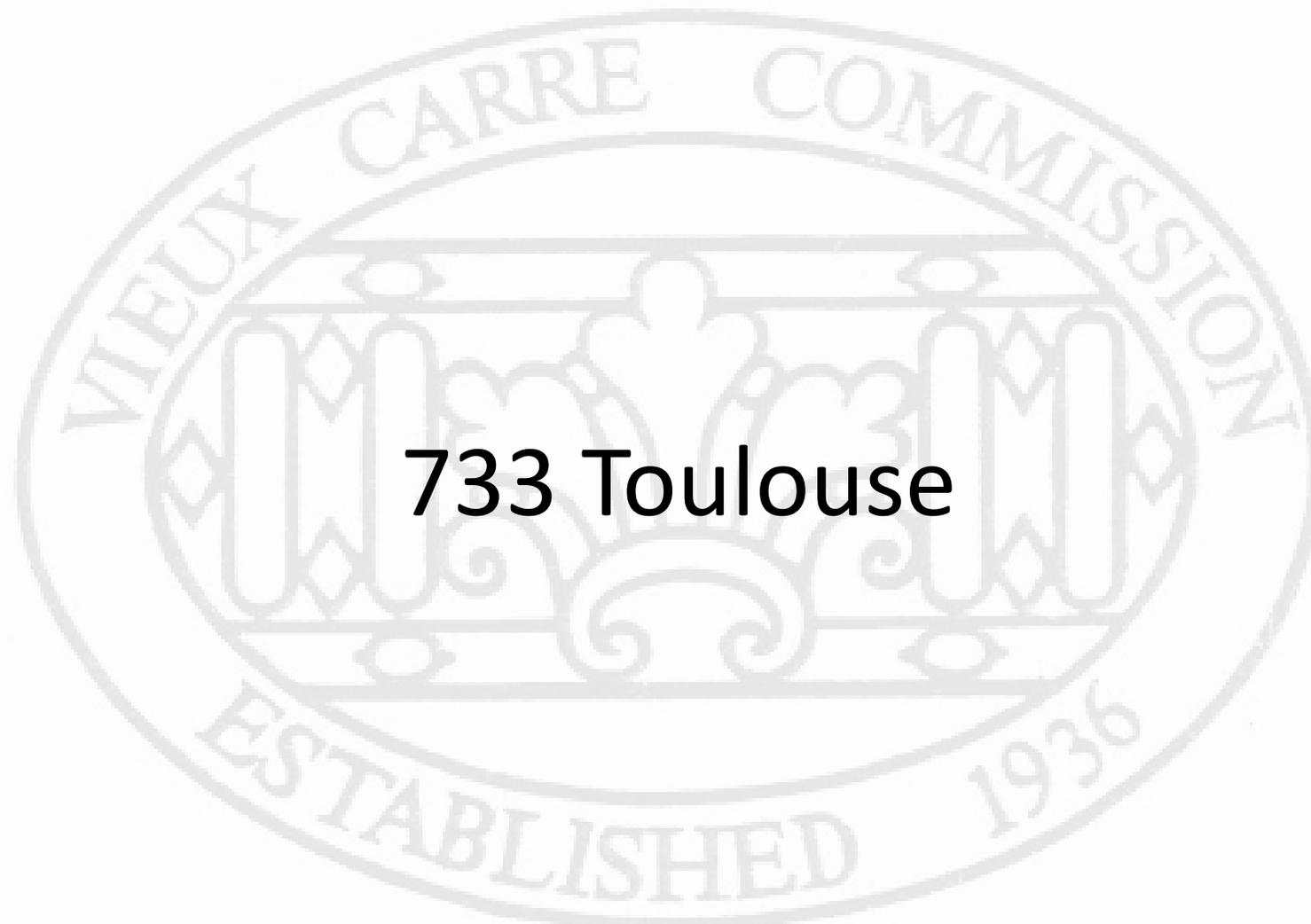


SECTION A - NEW ROOF TOP DECK FRAMING SCALE: 1" = 1'-0"

G.C. SHALL VERIFY ALL DIMENSIONS, FLOOR ELEVATIONS, SLOPES AND OTHER CONTROLLING CONDITIONS ON SITE AND WITH ARCHITECTURAL AND NOTIFY ARCHITECT AND E.O.R. OF ANY DISCREPANCIES THAT MAY EXIST.

Professional seal and title block for Anderson & Buuck Consulting Engineers, LLC, including project name and architect information.





733 Toulouse

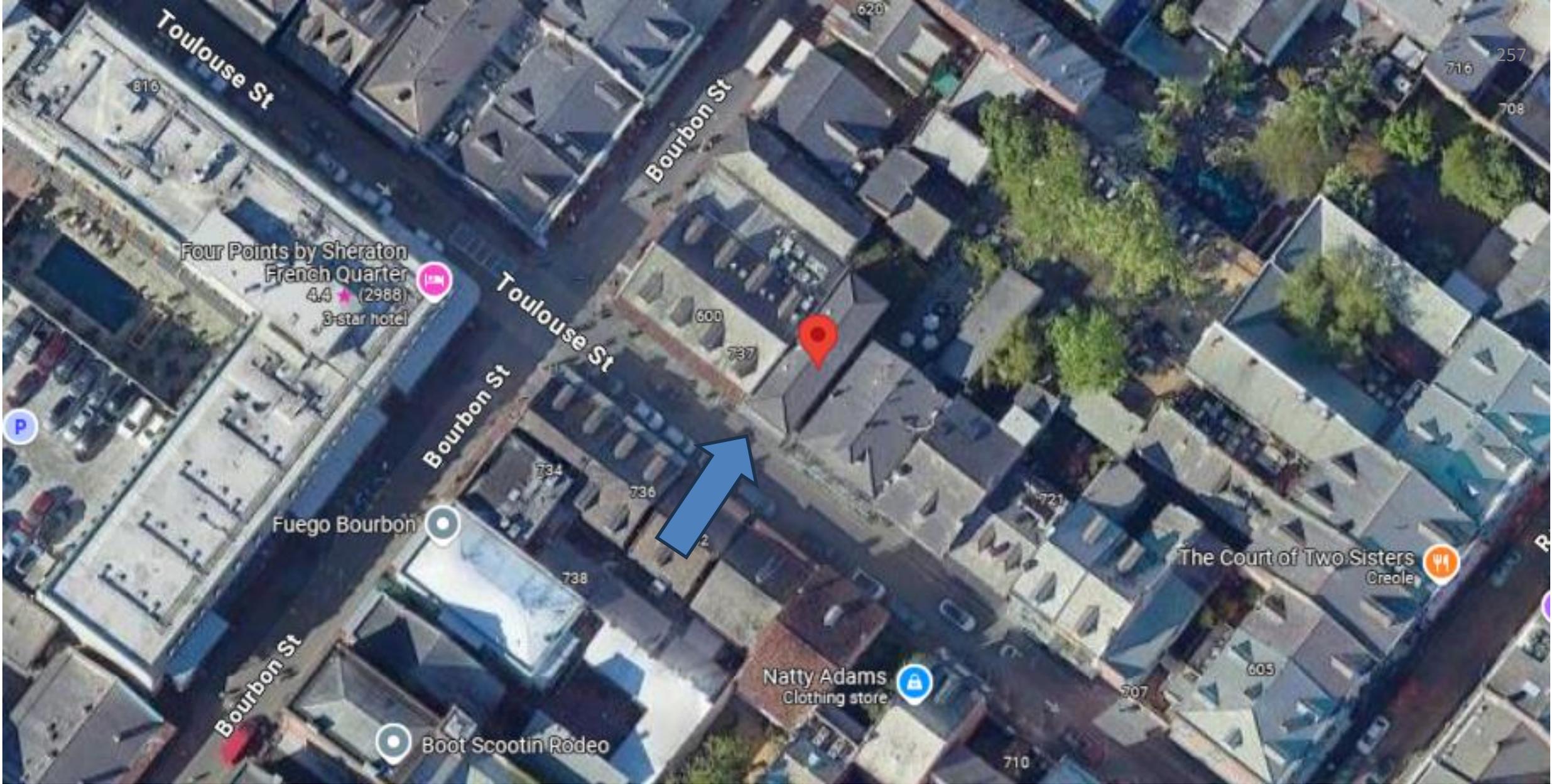


733 Toulouse

VCC Architectural Committee

July 15, 2025





733 Toulouse

VCC Architectural Committee

July 15, 2025





733 Toulouse

VCC Architectural Committee

July 15, 2025





733 Toulouse

VCC Architectural Committee

July 15, 2025





733 Toulouse

VCC Architectural Committee

July 15, 2025





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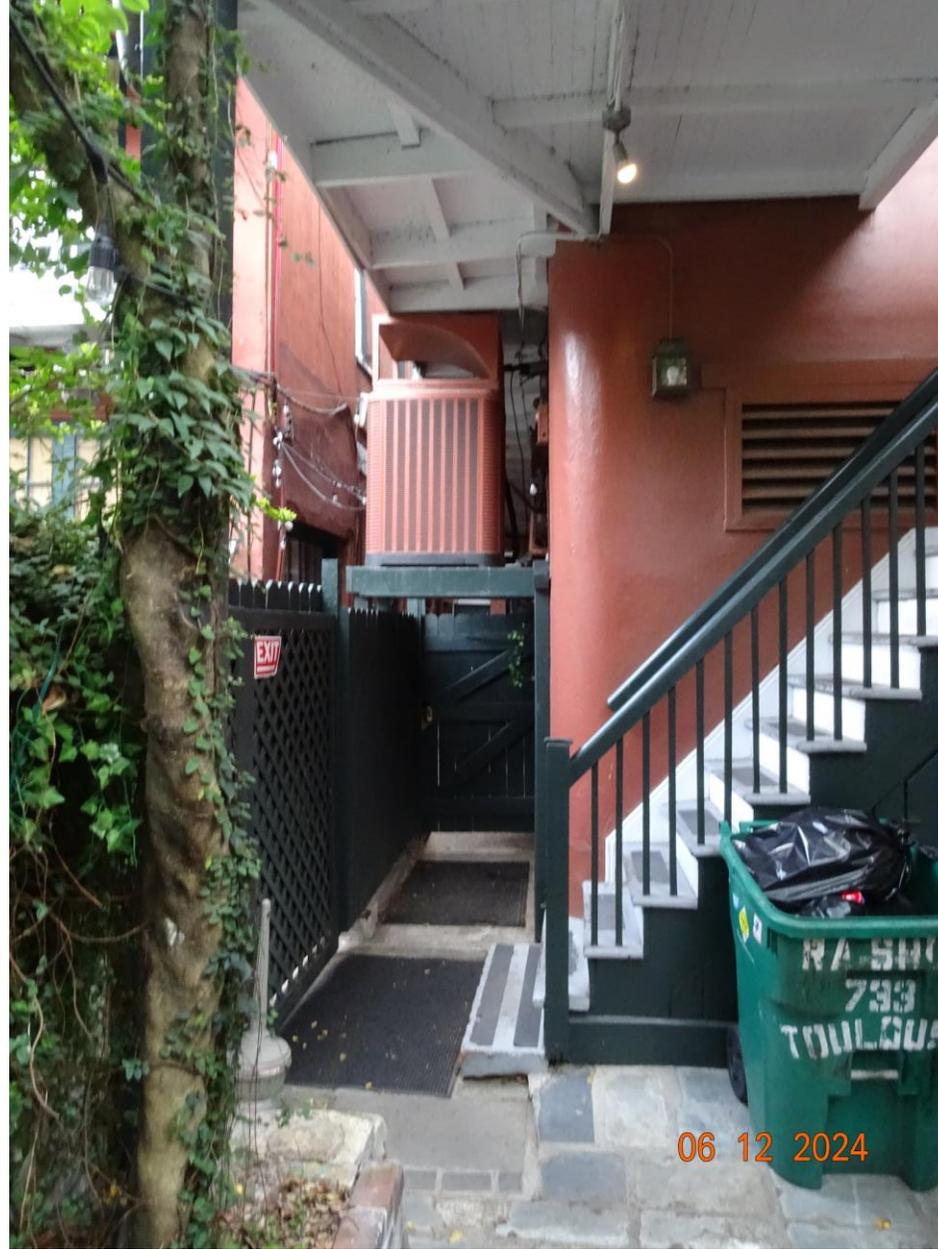


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733 Toulouse St.
Owner: Bourbon2Louse, LLC
Gary Bettencourt

As the property owner, I will be performing all needed work myself. My estimated cost for materials is \$3000.

Labor cost	\$0
Debris Removal	\$0
Light Fixtures	\$150
Key Pads	\$1200
Cameras	\$700
Paint	\$150
All wood materials	\$250
Hardware shutters/door	\$200
<u>Miscellaneous</u>	<u>\$350</u>
TOTAL	\$3000

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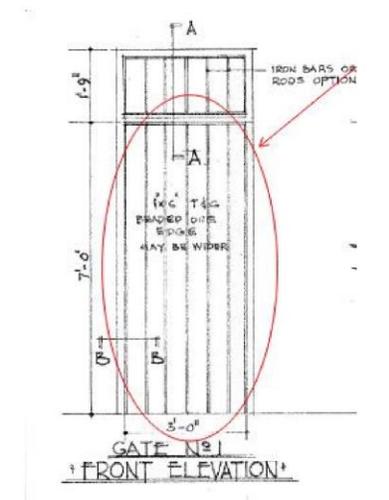
Requesting ARC reviews for the following

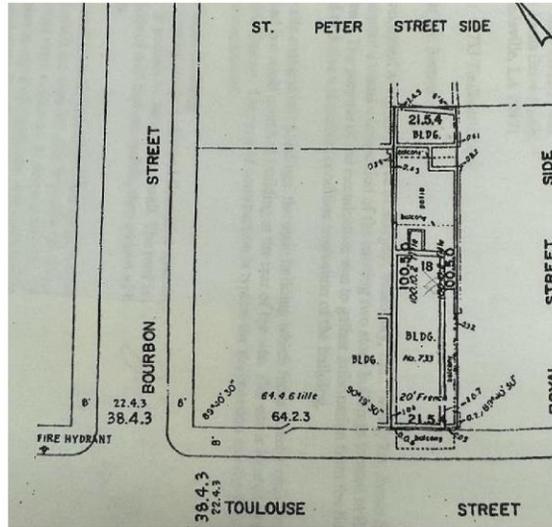
1. Fence/Gate
2. HVAC for main building
3. HVAC for rear cottage
4. Cap Flashing
5. Keypads
6. Cameras
7. Lights
8. Side ally door and transom
9. AC Plumbing
10. Ground floor rear door
11. Second floor rear door
12. Second floor rear window shutters
13. Rear cottage second floor shutters
14. Rear cottage door/shutters
15. Side ally bricked in doorway
16. Side ally bricked in doorway/electrical panel



For Applied Permit #2AKKSA, #C481DW

1. To remove/Retain the fence/gate in alley between 733/727 Toulouse. We would like to remove the 6' 5" H x 15' L wood fencing that I own between us and our neighbor and only retain the existing gate. We would remake a 78" x 40" tongue and groove gate. Attached to the wall and supported by an anchored 4x4 post. All painted Galapagos green. This gate will provide security for us to the alleyway for employees and service. Our neighbor will be applying for their own permit.





733 Toulouse



- 2. Mechanical equipment. Requesting an ARC review, to retain the HVAC equipment in our alley and HVAC equipment to the rear cottage. The rack structure is a 42" W x 200" L angle iron rack, painted to blend in. The rack is 9' high and out of the way of foot traffic and not visible from Toulouse St. The small split units on the metal rack are three - 1 ton cooper hunter units. The large main unit on the treated wood platform (52" W x 83" H) and post is a Rudd 5 ton. All units are painted to blend in.



SPLIT TYPE HEAT PUMP	
Model	GW11KF-A3DNASA/O
Cooling Capacity	11900Btu/h
Heating Capacity	13000Btu/h
Voltage/Phase	115V/1
Frequency	60Hz
Compressor	RLA 11.28A LRA
Fan Motor	Outdoor 8.17A
Design Pressure(High)	50PSIG
Design Pressure(Low)	24PSIG
Max Fuse Size/Fusible Max.	25A
Max Ckt. Bkr Size/Di joncteur Max. (Incr>Type Per Nec)	25A
Min. Circuit Ampacity	15A
Refrigerant(R410A)	35.2lb
Date of Manufacture	2016.04
Outdoor Use	UTILISATION A L'EXTERIEUR

Cooper Hunter 1 Ton Split Units

MODEL NO./ MODELE N°	RA1460J1NA	MFD./FAB	11/2020
SERIAL NO./ N° DE SERIE	MAS2028950	OUTDOOR USE/ UTILISATION EN EXTERIEUR	9572
COMPRESSOR CODE / CODES DE COMPRESSEUR	208/230	PHASE	1
VOLTS	208/230	HERTZ	60
COMPRESSOR/ COMPRESSEUR	R.L.A. 24.4/24.4	L.R.A.	144.2
OUTDOOR FAN MOTOR/ MOTEUR VENTIL. EXT.	F.L.A. 1	H.P.	1/5
MIN. SUPPLY CIRCUIT AMPACITY / COURANT ADMISSIBLE D'ALIM. MIN.	32/32	A	
MAX. FUSE OR CKT. BKR. SIZE*/ CAL. MAX. DE FUSIBLE/DISJ*"	50/50	A	
MIN. FUSE OR CKT. BKR. SIZE*/ CAL. MIN. DE FUSIBLE/DISJ*"	40/40	A	
DESIGN PRESSURE HIGH/ PRESSION NOMINALE HAUTE	450 PSIG/3102 kPa		
DESIGN PRESSURE LOW/ PRESSION NOMINALE BASSE	250 PSIG/1723 kPa		
OUTDOOR UNITS FACTORY CHARGE/ CHARGE USINE D'UNITES EXTERIEUR	199 oz/5642g	R410A	
TOTAL SYSTEM CHARGE/ CHARGE TOTALE DU SYSTEME		R410A	

Rudd 5 Ton



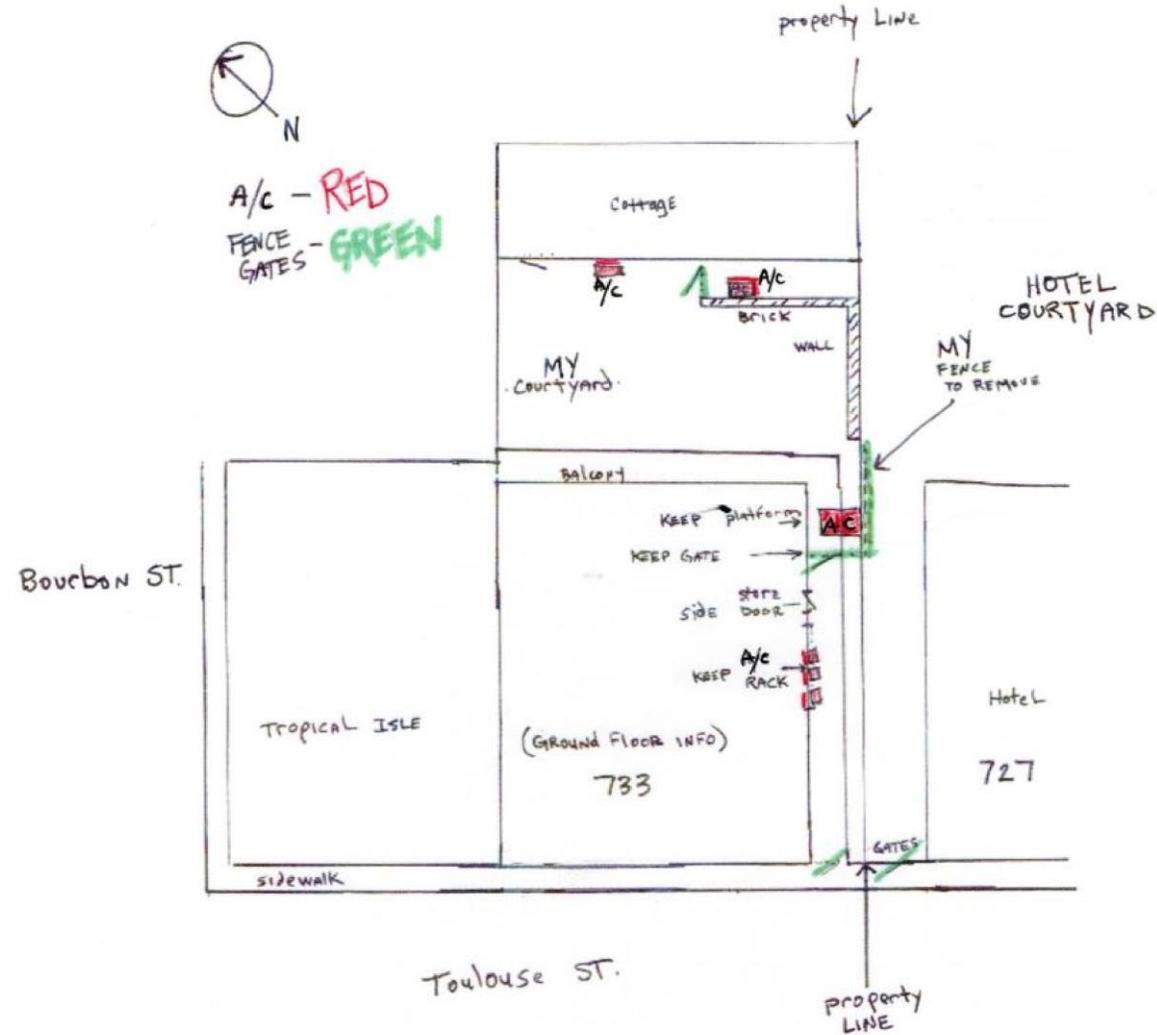
3. Requesting to retain existing HVAC on rear cottage. The HVAC servicing the rear cottage is a 1 ton cooper hunter and painted to blend in.



Also servicing the cottage is a 1.5 ton 14 seer.



733 Toulouse
HVAC/FENCE/GATE DIAGRAM



4. Cap flashing and parapets. Request an ARC review to retain cap flashing and parapet flashing on the main structure and the rear cottage, which was installed by the previous owner. The flashing is in great shape and protects the building. It was recently inspected and is secure and all seams are caulked.



733 Toulouse

- 5. Requesting to retain the installed keypads with the appropriate approved equipment.

Manufacturer's specs for new keypads

Specifications

Function	Single Cylinder Deadbolt
Door Prep	2 1/4" diameter face hole & 1" diameter latch hole
Backset	Adjustable 2 1/4" or 2 3/4"
Door Thickness	1 1/2" - 2 1/2" automatic adjustment
Cylinder	Smartkey® Re-key Technology
Faceplates	1" x 2 1/4" round corner standard
Strikes	Round corner strike 2 1/4" x 2 1/4"
Latch	Round corner adjustable 2 1/4" x 2 1/4"
Bolt	1" throw, steel deadbolt
Door Handing	Reversible
Wireless Protocol	Z-Wave 500; lock complies with Z-Wave standard of open air line of sight transmission of 160 feet or more. Compliant with FCC Part 15, Industry Canada. <small>*Range may vary depending on radio frequency environment. Works with your home control platform in distance range.</small>

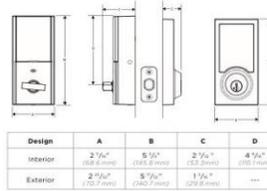
Easy Installation

- Replaces existing door hardware with just a screwdriver
- No hard wiring needed
- Operates on 4 AA batteries that will last for approximately 1 year

Finishes



Dimensions



Innovative Security

- BHMA Grade 2 certified
- 20 Minute fire rating - UL certified
- Full 128-bit encryption security
- Featuring Smartkey Security™
- Revolutionary tapered deadbolt design—enables misaligned doors to lock without pulling and pushing your door shut

Features

For use on exterior doors where keyed entry and security is needed

Featuring Smartkey Security™, which protects against advanced break-in techniques and allows you to re-key your lock yourself in seconds.

Smartkey Security™ re-key technology is compatible with Kwikset (KW1) keyway or (SC1) keyway options

Comes with 2 keys

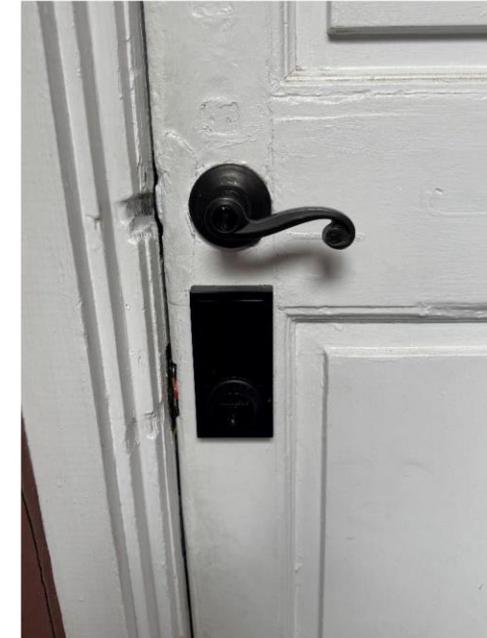
1 inch deadbolt throw

Locking mechanism functions with turn piece on the interior of the lock

Meets or exceeds Underwriter Laboratories (UL) testing requirements specified for each product grade or rating

Requires 4 AA batteries, included

Keypad stays lit for 30 seconds after inactivity



Screen goes black AFTER 30 SEC.

KwikSet Model 918

- 1 on Toulouse St. side alley entrance
- 1 on main building side entrance on lower level/side door
- 1 on main building rear entrance on lower level/back door

6. Requesting to retain the installed cameras with the appropriate approved equipment. All cameras painted to blend in. Included is a diagram of cameras.

Manufacturer's specs for cameras



TDOECS2302
2MP HDCVI IR Eyeball Camera

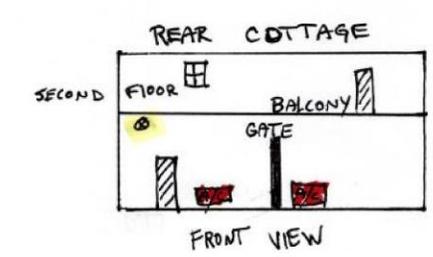
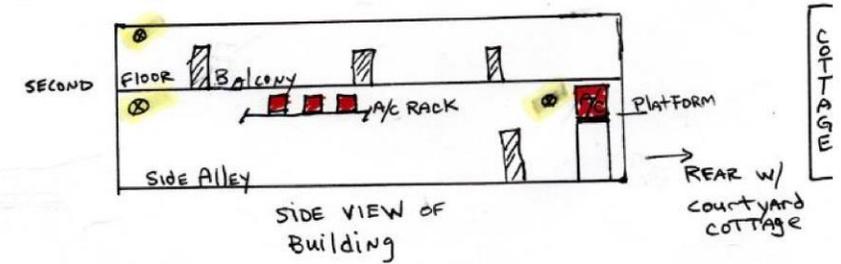
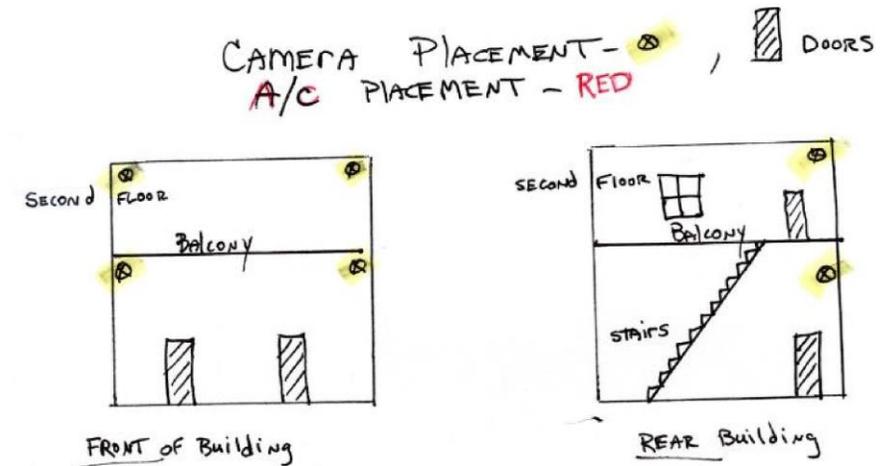


- Max 30fps@1080P
- Built-in mic (-A)
- CVI/CVBS/AHD/TVI switchable
- 2.8mm fixed lens
- Max. IR length 30m, Smart IR



TDOECS2302

Technical Specification		Certification	
Camera		Certifications	
Image Sensor	1/2.7 inch CMOS	Certifications	CE (EN55032, EN55024, EN50130-4) FCC (CFR 47 FCC Part 15 subpart B, ANSI C63.4-2014) UL (UL80950-1+CAN/CSA C22.2 No.60950-1)
Effective Pixels	1920 (H) x 1080 (V), 2MP	Port	
Electronic Shutter Speed	PAL: 1/250-1/1000000s NTSC: 1/300-1/1000000s	Video Port	Video output choices of CVI/TVI/AHD/CVBS by one BNC port
Minimum Illumination	0.02Lux/F1.85, 30IRE, 0Lux IR on	Audio Port	Built-in mic (-A)
IR Distance	30m (98.42ft)	Power	
IR On/Off Control	Auto, manual	Power Supply	12V±30% DC
IR LEDs Number	1	Power Consumption	Max 3.6W (12V DC, IR on)
Pan/Tilt/Rotation Range	Pan: 0°-360° Tilt: 0°-78° Rotation: 0°-360°	Environment	
Lens		Operating Temperature	-40°C to +60°C (-40°F to +140°F); <95% (non-condensation)
Lens Type	Fixed-focal	Storage Temperature	-40°C to +60°C (-40°F to +140°F); <95% (non-condensation)
Mount Type	M12	Protection Grade	IP67
Focal Length	2.8mm-3.6mm	Structure	
Max. Aperture	F1.85/F2.0	Casing	Inner core: metal+plastic; cover: plastic
Angle of View	2.8mm: 118°x103°x59° (diagonal/horizontal/vertical) 3.6mm: 103.8°x87.5°x47° (diagonal/horizontal/vertical)	Dimensions	Ø97.0mm×85.8mm (Ø3.82"×3.38")
Iris Type	Fixed iris	Net Weight	0.22kg (0.49lb)
Close Focus Distance	0.5m (1.64ft)/0.9m (2.95ft)	Gross Weight	0.28kg (0.62lb)
DORI Distance	2.8mm: D: 37m (121ft), O: 15m (49ft), R: 8m (26ft), I: 4m (13ft) 3.6mm: D: 53m (174ft), O: 21m (69ft), R: 11m (36ft), I: 5m (16ft)		





7. Requesting to retain the installed lights. All are painted to blend in.

Manufacturer's specs for light fixtures

SATCO | NUVO

Project Name: _____
 Location: _____ Prepared By: _____



NUVO SF76-412
 1 LT R20 STRAIGHT CYLINDER FIX

General	
Status	Active
Finish	White
Style	Traditional
Number of Lamps	1
Height (in.)	8.5
Width (in.)	3.5
Indoor or Outdoor Fixture	Indoor

Specifications	
Base	Medium
Bulb Type	Incandescent
Max Wattage	50W
Voltage	120V
Bulb Included	No
Weight (lb.)	0.98
Stoped Ceiling	Yes
Fixture Type	Flush Mount
Fixture Material	Glass / Steel

Compliance	
Safety Listing	cETLus - Listed
Location Rating	Damp
UL Application	Ceiling
Energy Star	No
DLC Approved	No
CA T20 / T24 Rationale	T20 Exempt - Fixtures Not Regulated
California Status	Lawful for sale in California
Title 20 / 24 Status	Lawful for sale
California Prop 65	Lead
RoHS Compliant	Yes

Additional Information	
Warranty	1 Year Limited - Fixtures

3 in the side alley attached to wall

1 above stairs attached to soffit

1 above backdoor attached to wall

All painted to blend in





8. Main building ground level - side ally door and transom. Requesting an ARC review, to retain the replaced lower sash in transom with (11.25" x 44") 4 panel glass window and the rerouted drip line to wall that is painted to blend in.



9. Request to retain the rerouted AC drip line to the right of the side ally door and is painted to blend in. (see picture above)

10. Ground floor – rear door on main building. Requesting an ARC review to retain the replaced glass in door with solid wood to make a 2-panel all wood door (36" x 84") for security. Request to remove shutters so to create more space for people to enter/exit. It is a small space already. Replaced new lock, light, and security camera.



11. Rear of main building second floor. Requesting an ARC review to retain no shutters for this doorway. Location is too close to stairs and shutters would obstruct stairway.



12. Rear of main building second floor, above the stairwell. Requesting an ARC review to retain working solid tongue and groove shutters (23.5" x 88.5") each. Painted Galapagos green to match our other shutters.



13. Front of cottage second floor. Requesting an ARC review to retain no shutters. The window is too far forward for shutters to work here.



14. Ground level front door to cottage from courtyard. Requesting an ARC review to retain door as is with NO working shutters because they would obstruct entry, too narrow due to the planter and air conditioner.

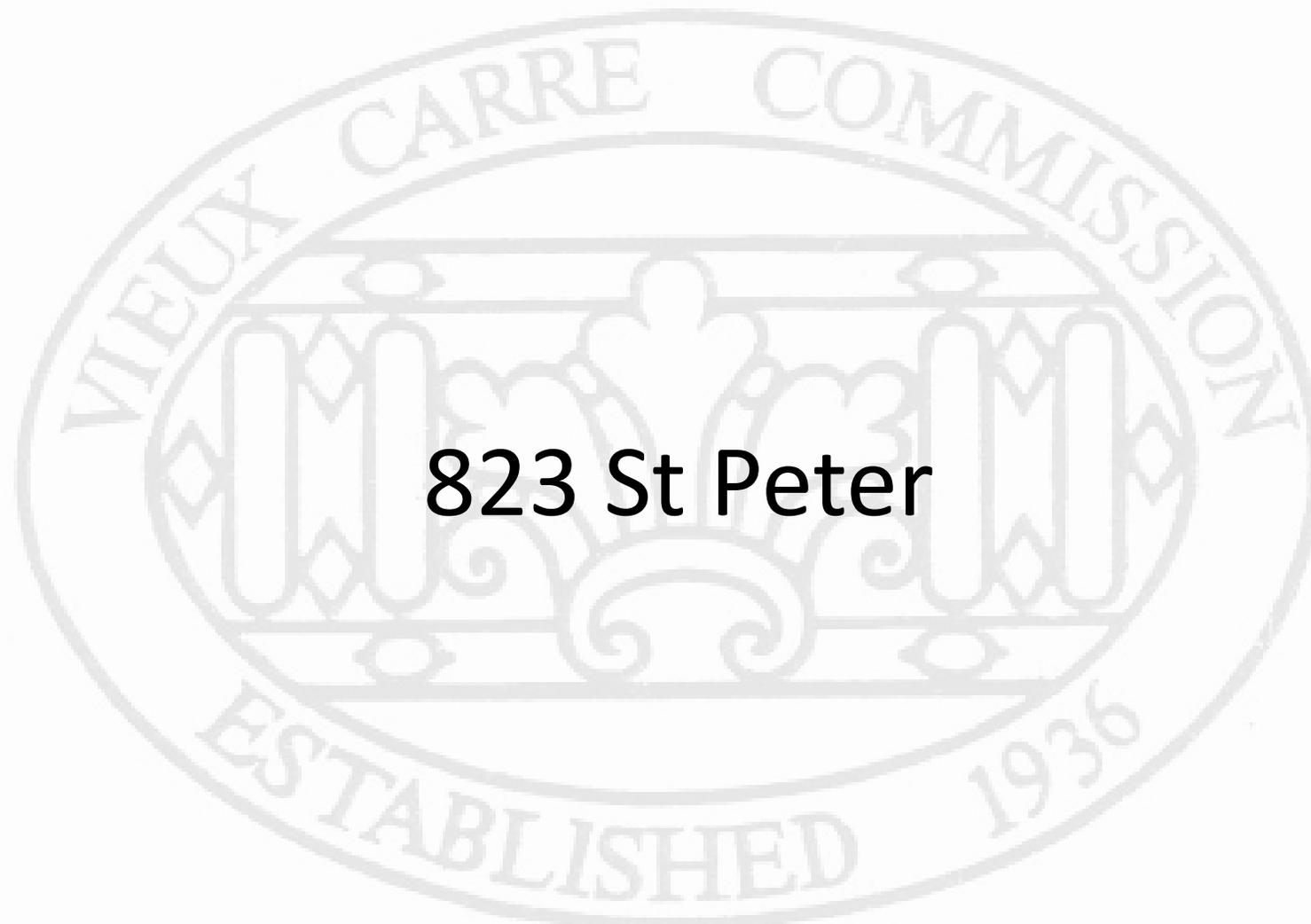


15. Requesting to retain bricked in doorway (92"H x 50"W) that was done by previous owners. There is a wall on the interior side covering the old doorway.

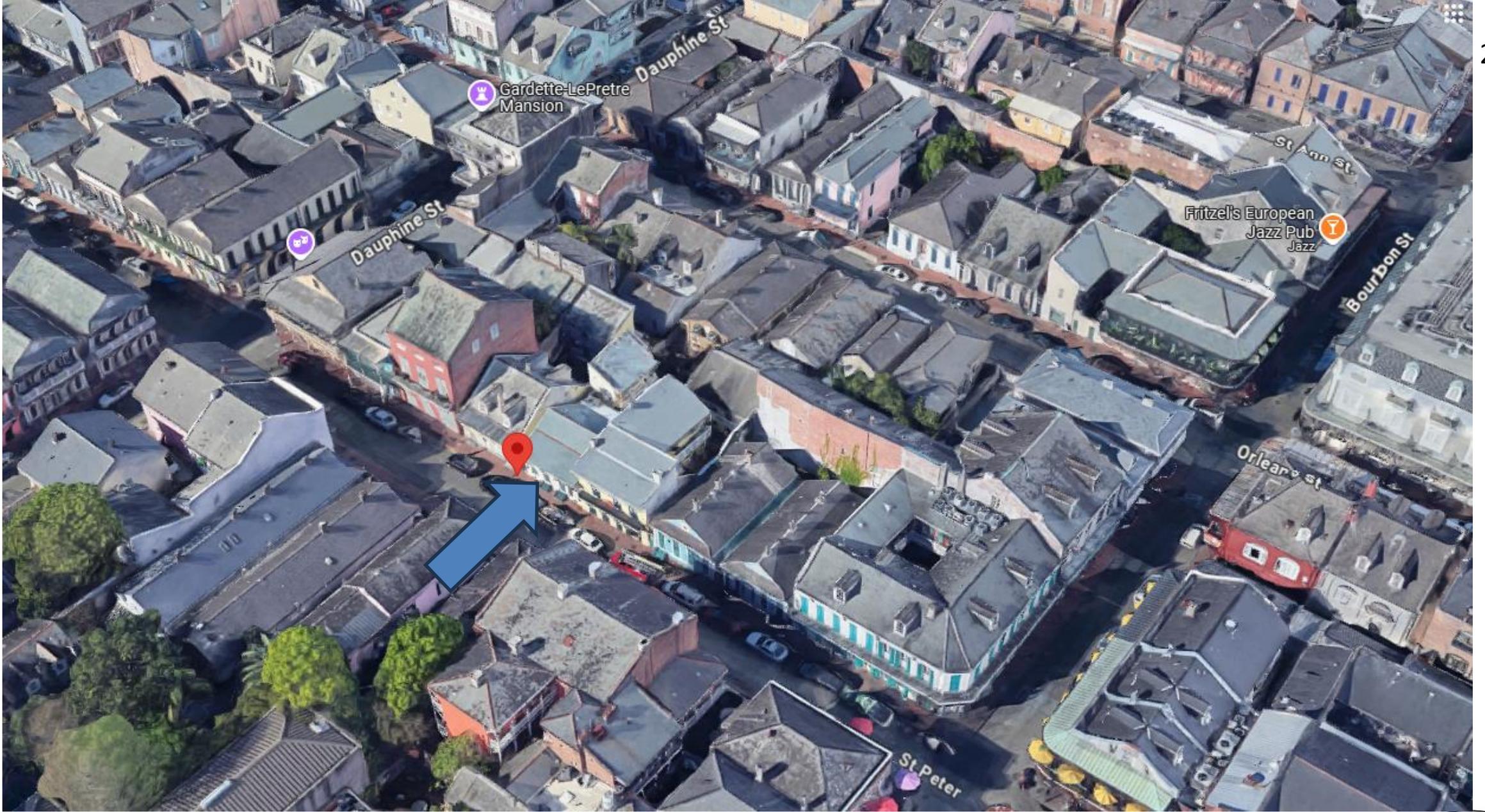


16. Requesting to retain the closed in doorway in the side alley that Entergy/or previous owner had covered with electrical equipment





823 St Peter



823 St Peter





823 St Peter, 1963

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823 St Peter





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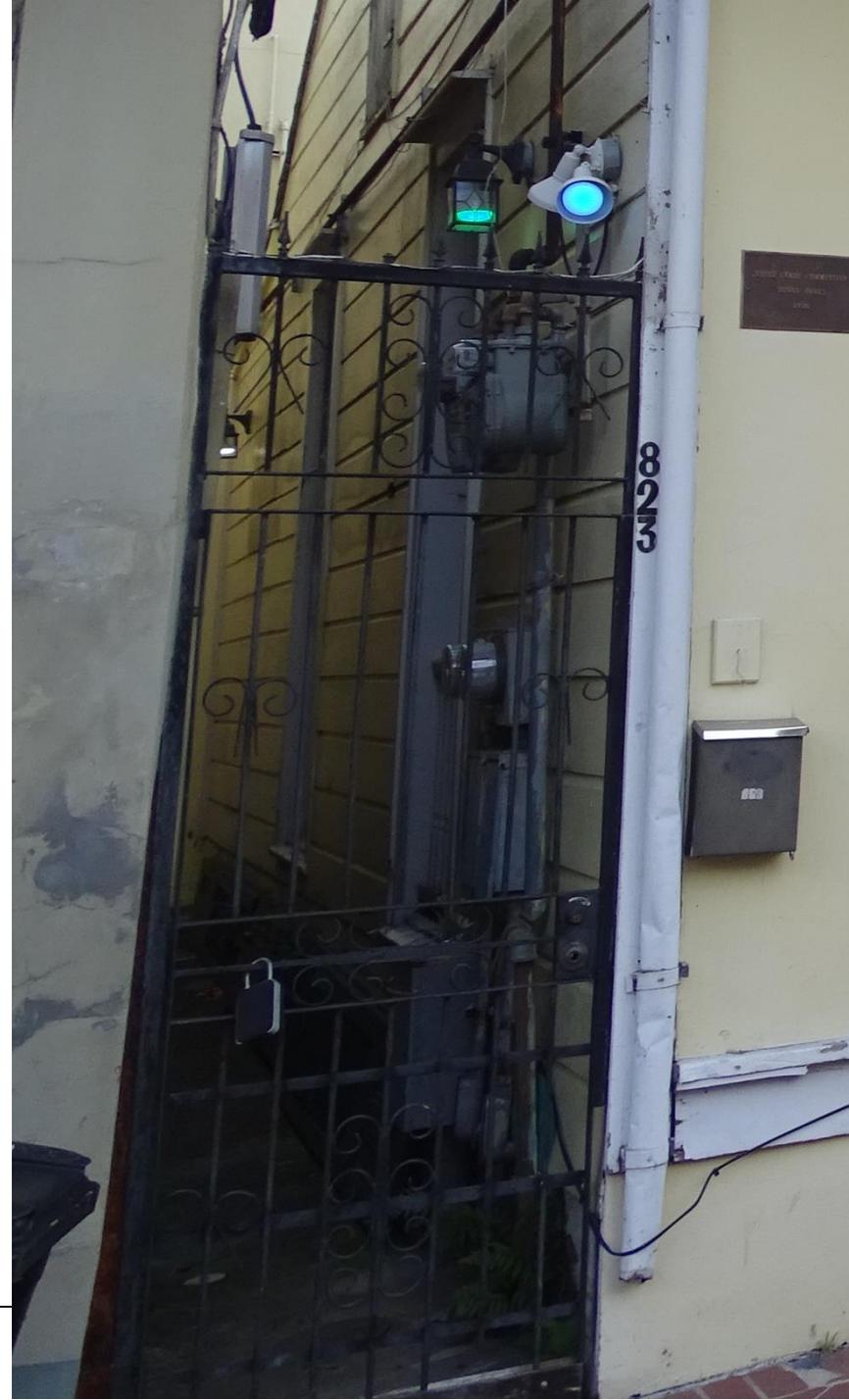
823 St Peter

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823 St Peter – Previously Existing Gate

VCC Architectural Committee

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823 St Peter – Previously Existing Gate





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➤ **Left and Front walls:**

- We will clean and scrape siding and woodwork. This will all be sanded to remove imperfections. There are only a few rotten areas which will be removed and replaced with treated and dried materials cut and moulded to resemble surrounding areas. All paint has been tested for lead and have come with negative results. We will still tarp off work area and ensure sanding and work area is contained and cleaned daily.
- The side is Ship lap siding which will not be replaced only refinished.
- The front façade is stucco/concrete smooth finish. This will be cleaned and repainted.
- The color will be repainted same color. (Goldtone)(OC-112)
- The existing gutters will be removed and replace with half round Copper gutters. This will drain in same location as it currently is. We would like to install a Fish downspout. We will provide a picture below for approval.
- The trim color will be (Decorator's White)(OC-149) to match existing.
- All other items will only be repainted the same existing color. The only color change that is desired is the Shutter which will be
 - **Total labor and materials = \$15,260.00**

➤ **Shutters:**

- The shutters on the alley as well as the front will not be replaced. These will be repaired as needed. They will be cleaned sanded and painted. We would like to change the color to (Jamestown Blue)(HC-148)
 - **Total labor and materials = \$ 1,900.00**

➤ **Exterior Lighting:**

- There are a few things on the case number 25-03673-VCCNOP which we would like to resolve. There are some light fixtures which will be removed completely which is the spot light that is above the fence as well as the other Bulb fixtures.
 - **Total labor and materials = \$ 75.00**

➤ **Misc rusted hvac drain line:**

- There is an HVAC drain line which was previously rusted and was leaking under the house. Will changing this outer section to a copper section meet requirements.
 - **Total Labor and Materials = \$150.00**

➤ **Decorative Plaque:**

- We would like to see if we can get the plaque on the front of the building approved. This is a deep personal meaning to the new owner. We are asked to see if we can ask for approval. If not we will have it removed
 - **Total labor and materials = \$0.00**

➤ **Gate and Entry hardware:**

- Per reference (10-7) the current lock set for the gate is not an alarm system hardware it is only an easier way for owner to access the side alley without a key. It is a thumbprint lock set only. Please let us know if we would just need to install a basic lock set instead of this. We will make sure it gets done, thank you.
- Per the design of the gate. We would like to get this gate approved for this property. If this style gate does not meet the requirements or can approved we will have a gate made to replace to meet the requirements
 - **Allowance = \$1,200.00**

Total Project = \$18,585.00





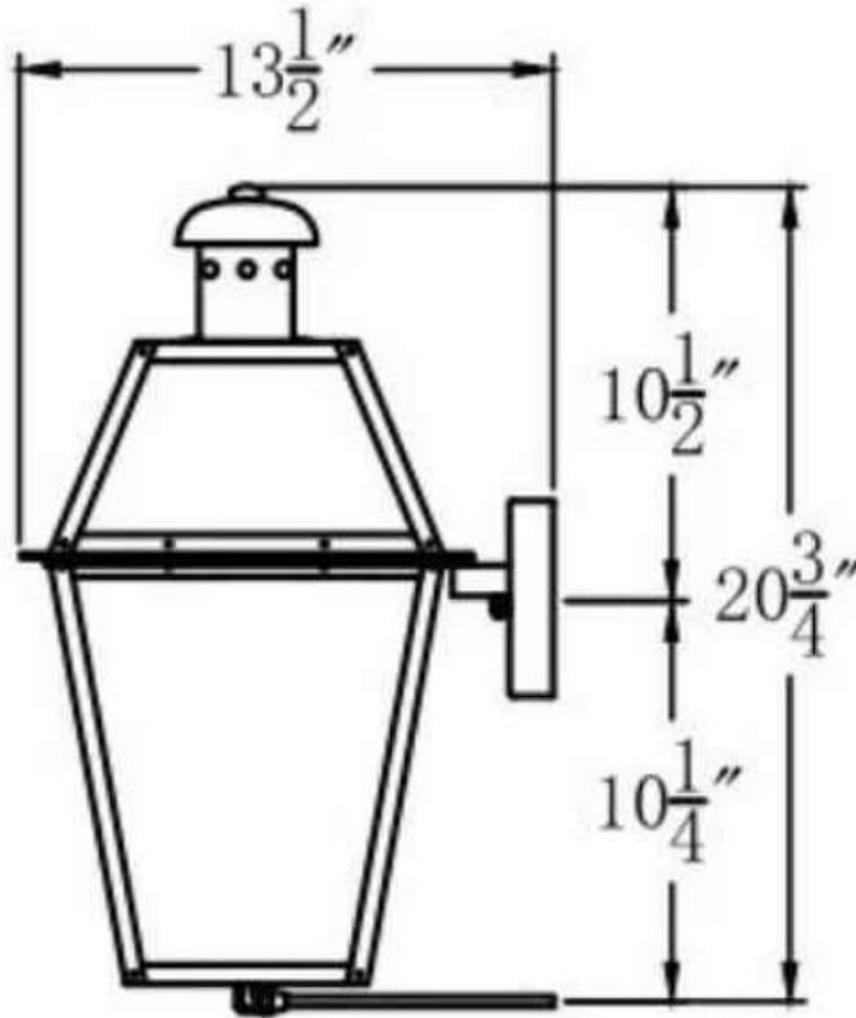
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The Georgetown 20 Lantern

- Series: Georgetown
- Model Number: GT20
- Electric: Dual Candelabra Bulbs
- Natural or Propane Gas: Single Open Flame Burner
- Finish: Antique Copper
- Solid 20 oz Copper Construction
- Riveted & Soldered Construction
- Solid Brass Hinges, Door Latches & Hardware
- Tempered Glass
- CSA Certified
- Recessed Door
- Standard Wall Bracket Included
- Standard Wall Bracket off the Wall: 13-1/2"
- Size: 20-1/2" high X 11-1/2" wide