



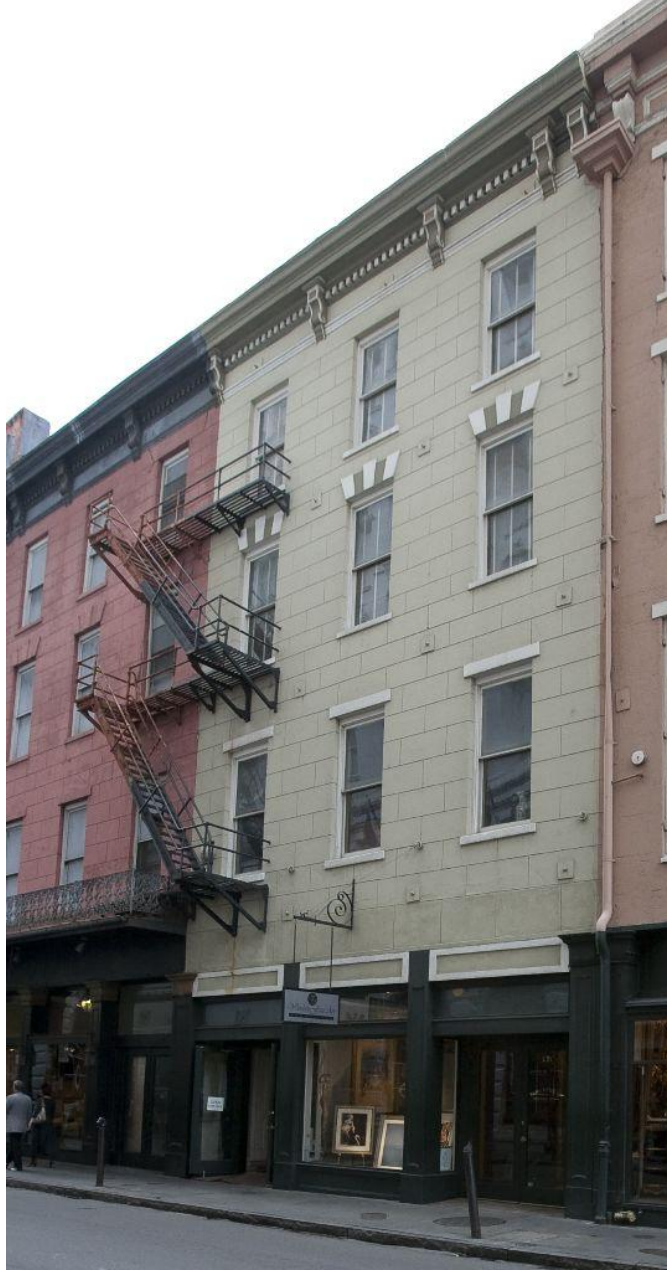
# Vieux Carré Commission Architecture Committee Meeting

Tuesday, February 24, 2026



# Old Business





## 221 Royal

Vieux Carré Commission

February 24, 2026



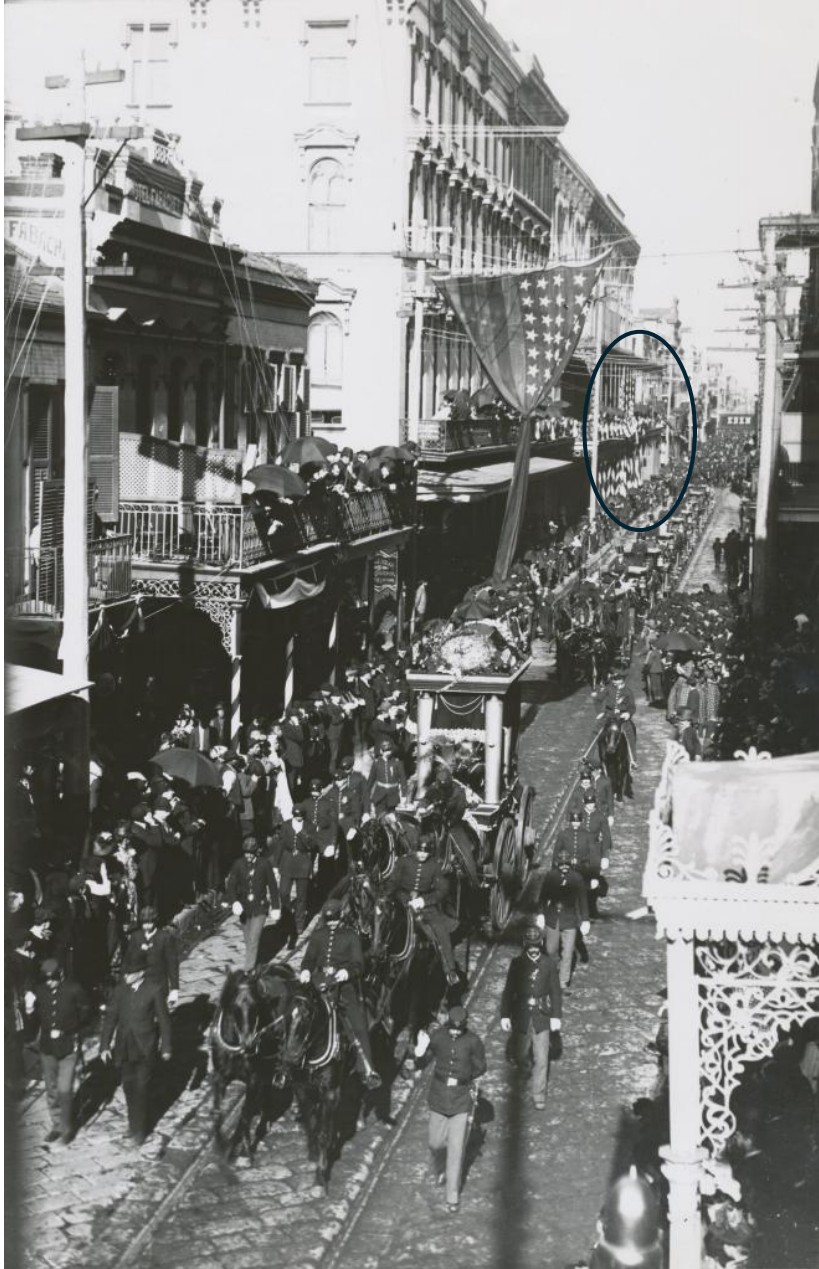


# 221 Royal

Vieux Carré Commission

February 24, 2026





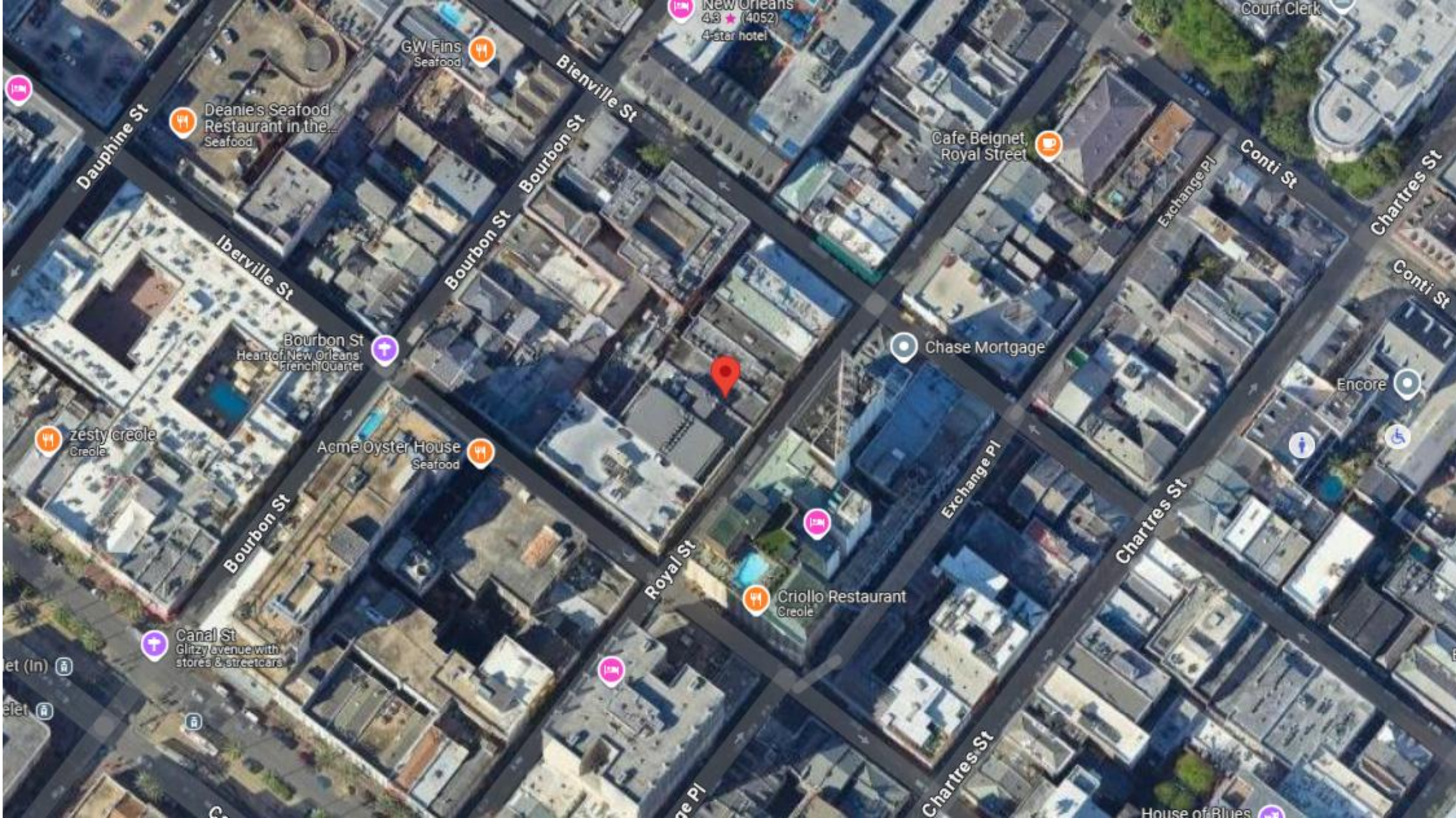
221 Royal

Vieux Carré Commission

February 24, 2026





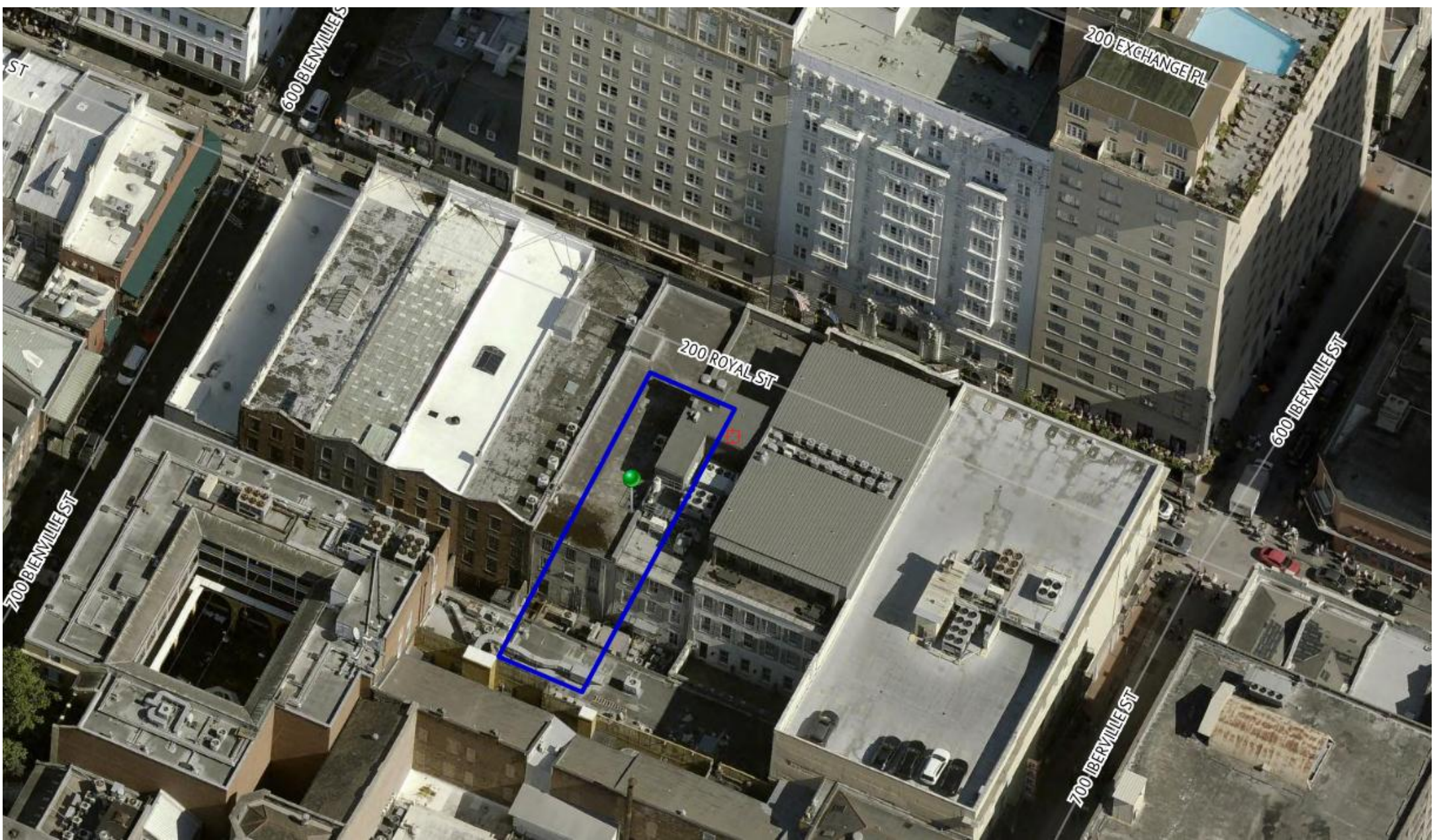


# 221 Royal

Vieux Carré Commission

February 24, 2026



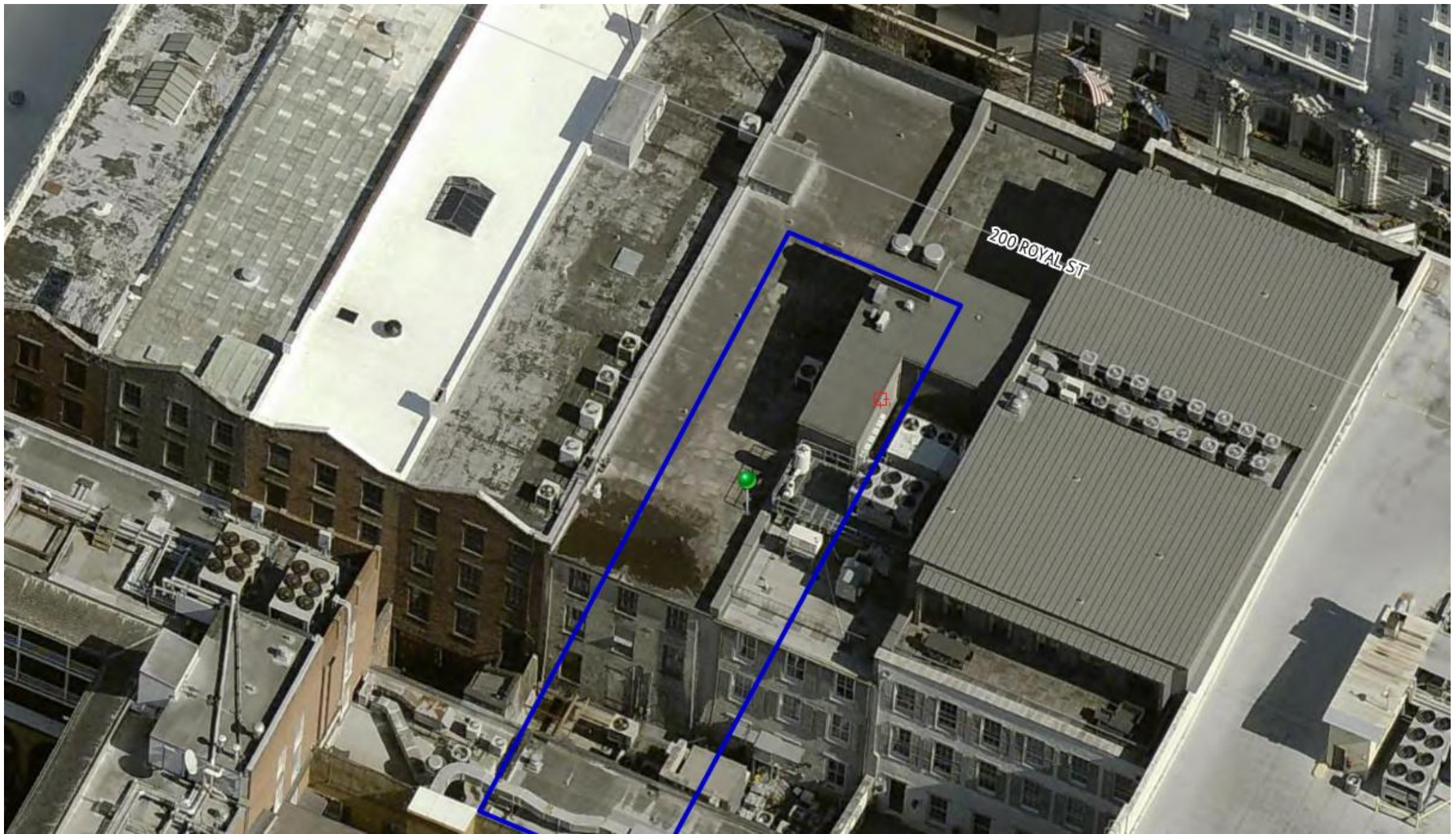


221 Royal

Vieux Carré Commission

February 24, 2026





221 Royal

Vieux Carré Commission

February 24, 2026





## 221 Royal – six sister buildings

Vieux Carré Commission

February 24, 2026





221 Royal – six sister buildings



221 Royal

Vieux Carré Commission

February 24, 2026





221 Royal

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February 24, 2026





221 Royal

Vieux Carré Commission

February 24, 2026





221 Royal

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February 24, 2026





221 Royal

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February 24, 2026





221 Royal

Vieux Carré Commission

February 24, 2026





221 Royal

Vieux Carré Commission

February 24, 2026





221 Royal

Vieux Carré Commission

February 24, 2026





221 Royal – restoration of sister building

Vieux Carré Commission

February 24, 2026



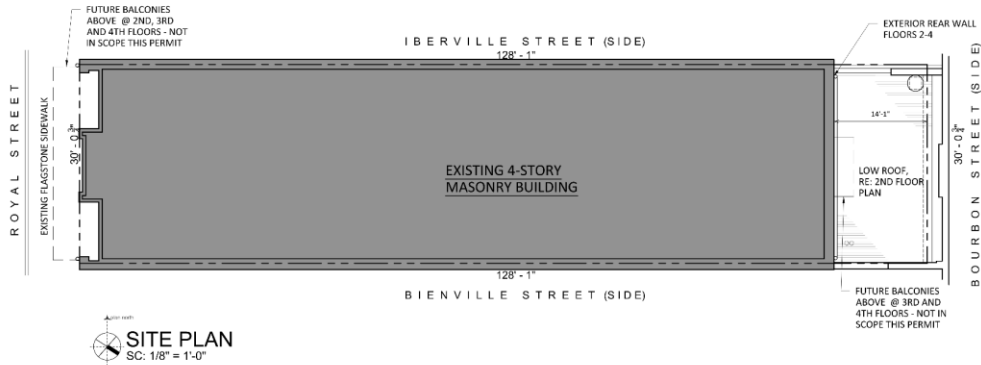


221 Royal

Vieux Carré Commission

February 24, 2026





**PHASE 2 SCOPE OF WORK INCLUDES:**

- G.C. SHALL PROVIDE AND INSTALL NEW MACHINE-ROOM-LESS TRACTION ELEVATOR, 3500# CAPACITY "EOL" BY TK ELEVATOR. FIRST FLOOR FIRE RATED HOISTWAY ENCLOSURE AND 5' DEEP CONCRETE PIT ARE EXISTING. WORK INCLUDES FIRE RATED HOISTWAY ENCLOSURE, VERTICAL TUBE STEEL, STRUCTURAL FRAMING MODIFICATIONS FOR NEW FLOOR AND ROOF OPENINGS, NEW ROOF PENHOUSE, AND ELECTRICAL AND MECHANICAL WORK ASSOCIATED WITH NEW ELEVATOR. RE: SHEET A4.3 FOR ARCHITECTURAL DETAILS.
- G.C. SHALL COMPLETE THE FOLLOWING STRUCTURAL FRAMING MODIFICATIONS:  
NEW ELEVATOR SHaft FLOOR/ROOF OPENINGS AND PENHOUSE FOR ELEVATOR AS OUTLINED ABOVE;  
REPLACEMENT OF DAMAGED ROOF JOISTS;  
FRAMING OF NEW ROOF HATCH;  
FRAMING REINFORCEMENT OF ROOF TOP MECHANICAL EQUIPMENT;  
FRAMING REINFORCEMENT AT DEMOLISHED ORIGINAL ELEVATOR PENHOUSE;  
FRAMING MODIFICATIONS / INFILL AT OPENINGS CREATED BY DEMOLISHED INTERIOR REAR STAIR, INFILL OPENINGS PER ARCHITECTURAL FLOOR/CULCING DETAILS ON SHEET A4.1, FRAMING AT LOW ROOF (ROOF DECK 202) ATOP EXISTING LOW ROOF. RE: PROPOSED REAR ELEVATION, SHEET A3. 2, BUILDING SECTION 1/4A-1, AND ROOFING DETAILS SHEET A4.2
- G.C. SHALL COMPLETE STRUCTURAL REPAIR AT EXTERIOR REAR MASONRY WALL INCLUDING INSTALLATION OF THE RODS AND REPAIR OF MASONRY CRACKING, PER STRUCTURAL DRAWINGS.
- G.C. SHALL PROVIDE AND INSTALL ROOF AT BOTH UPPER AND LOWER ROOFS INCLUDING, REMOVAL OF EXISTING MECHANICAL EQUIPMENT AND PLATFORMS, REMOVAL OF EXISTING MEMBRANES, INSULATION, AND FLASHING, DECOR AS NECESSARY, PROVIDE AND INSTALL NEW ROOFING ASSEMBLIES, FLASHING, COPING, ACCESS HATCH, CURBS, MECHANICAL PLATFORM, ROOF DRAINS, AND VENT / INTAKE PENETRATIONS PER ROOF PLAN ON SHEET A2.3
- G.C. SHALL COMPLETE WORK ASSOCIATED WITH STORM DRAINAGE AT THE UPPER AND LOWER ROOFS, INCLUDING GUTTER, DOWNSPOUTS, ROOF DRAINS, INTERNAL RAIN LEADERS/PIPES, CONDUCTOR HEADS, AND THE IN TO SUBSURFACE STORM SEWER. REFER TO ARCHITECTURAL ROOF PLANS AND DETAILS, EXTERIOR ELEVATIONS, AND PLUMBING PLANS.
- G.C. SHALL PROVIDE AND INSTALL NEW HVAC SYSTEM AT FIRST FLOOR GALLERY SPACE, INCLUDING INSIDE UNIT, OUTSIDE ROOFTOP MOUNTED UNIT, DUCTWORK, LOUVERS, OUTSIDE AIR INTAKE, ASSOCIATED ELECTRICAL WORK, AIR CURTAIN AT FRONT DOOR.
- G.C. SHALL MODIFY EXISTING HVAC ROOM / STORAGE ROOM AT 1ST FLOOR GALLERY. CONSTRUCT NEW WALLS & MODIFY EXISTING WALLS PER PLANS, CONSTRUCT NEW HVAC PLATFORM W/ ACCESS HATCH PER PLANS, INSTALL NEW LIGHTING, AND MODIFY EXISTING GALLERY TRACT LIGHTING PER PLANS.
- G.C. SHALL PROVIDE AND INSTALL THE ELECTRICAL SERVICE. PER ELECTRICAL PLANS INCLUDING WIRING AND CONDUIT TO EACH UNIT; TIE IN TO APARTMENT ELECTRICAL PANELS IN WILL BE PART OF PHASE 3.

**INDEX OF DRAWINGS:**

- ARCHITECTURAL:**  
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A2.1: 1st FLOOR PLAN, EXISTING/DEMOLITION AND PROPOSED  
A2.2: 2nd FLOOR PLAN, EXISTING/DEMOLITION AND PROPOSED  
A2.3: 3rd FLOOR PLAN, EXISTING/DEMOLITION AND PROPOSED  
A2.4: 4th FLOOR PLAN, EXISTING/DEMOLITION AND PROPOSED  
A2.5: ROOF PLAN, EXISTING/DEMOLITION AND PROPOSED  
A3.1: FRONT ELEVATION, EXISTING/DEMOLITION AND PROPOSED  
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A4.1: BUILDING SECTION, FLOOR / CEILING ASSEMBLY DETAILS  
A4.2: ROOF DETAILS  
A4.3: ENLARGED ELEVATOR PLANS, ELEVATOR SECTION  
A4.4: ELEVATOR WALL SECTION AND PLAN DETAILS, TYPICAL PARTITION DETAILS  
A5: NOT USED  
A6: ROOF DETAILS  
A6.7: ROOF DETAILS
- STRUCTURAL:**  
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S1.0B: NOTES AND DESIGN INFORMATION  
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S2.6: ELEVATOR SHED FRAMING PLAN  
S2.7: MISC. STRUCTURAL DETAILS  
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S2.13: STAIR FRAMING DETAILS
- MECHANICAL:**  
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M2: MECHANICAL SCHEDULES  
M3: MECHANICAL SPECIFICATIONS  
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M5: NOT USED  
M6: ROOF HYAC PLAN  
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- PLUMBING:**  
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P4: NOT USED  
P5: NOT USED  
P6: ROOF SEWER AND DRAIN PLAN; ROOF PLUMBING PLAN
- ELECTRICAL:**  
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E1.1: ELECTRICAL ABBREVIATIONS AND MOUNTING HEIGHT CHART  
E1.2: LUMINAIRE SCHEDULE  
E1.3: ELECTRICAL GENERAL NOTES  
E1.4: ELECTRICAL GENERAL NOTES  
E2.0: FIRST FLOOR PLAN - POWER AND LIGHTING  
E2.1: SECOND FLOOR PLAN - POWER AND LIGHTING  
E2.2: THIRD FLOOR PLAN - POWER AND LIGHTING  
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E2.4: ROOF PLAN - POWER  
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E3.1: ENLARGED ELEVATION AT ELECTRICAL SERVICE  
E3.2: PANEL SCHEDULES  
E4.0: ELECTRICAL POWER AND LIGHTING INFORMATION FOR ELEVATOR  
E4.1: ELECTRICAL POWER AND LIGHTING INFORMATION FOR ELEVATOR

**FLOOR PLAN LEGEND** NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS

- DEMOLISH
- EXISTING SOLID MASONRY WALL TO REMAIN, 2-HOUR RATED MIN.
- NEW NON-RATED, LOAD-BEARING STUD WALL, TYPE 4; RE: PARTITION TYPES 1/A1
- NEW (2.1) NON LOAD-BEARING OR EXISTING (2) LOAD-BEARING 2-HOUR ELEVATOR HOISTWAY STUD WALL PER U.L. U301, RE: 2/A4.4
- NEW (NON-RATED, NON-LOAD-BEARING) 2x6 WALL FURRING
- EXISTING FIRE RATED WALLS TO REMAIN, RE: PLANS FOR HOURLY RATINGS
- EXISTING PORTABLE FIRE EXTINGUISHER - MINIMUM RATING OF 1-A-10-B-C
- EXISTING EMERGENCY LIGHT FIXTURE WITH BATTERY BACKUP
- EXISTING COMBINATION UNIT - EMERGENCY LIGHT WITH BATTERY BACKUP AND ILLUMINATED EXIT SIGN
- EXTERIOR KEYNOTES, RE: THIS SHEET

**GENERAL NOTES**

- FLOOR PLANS ARE DIMENSIONED TO FACE OF FINISH TYP., UNLESS NOTED OTHERWISE.
- ALL ITEMS ARE NEW UNLESS NOTES AS "EXISTING".
- THE BUILDING IS FULLY EQUIPPED WITH A SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13, EXCEPT FOR THE REMOVAL OF THE EXISTING LINE AT THE NEW ELEVATOR SHaft. SPRINKLER WORK IS NOT IN SCOPE THIS PERMIT APPLICATION BUT WILL BE PART OF PHASE 3 WHICH INCLUDES BUILDOUT OF APARTMENTS ON FLOORS 2, 3, AND 4.
- THE BUILDING IS EQUIPPED WITH A FIRE ALARM SYSTEM. MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM TO CONFORM TO THE NEW FLOOR PLAN, PART OF PHASE 3, AT WHICH TIME, THE FIRE ALARM MODIFICATIONS SHALL BE DESIGNED BY THE FIRE ALARM SUBCONTRACTOR WHO SHALL BE DIRECTLY CONTRACTED BY THE OWNER. RE: GEN NOTE # 5 FOR APPEAL REQUIREMENTS RELATIVE TO FIRE ALARM. CONTACT SECURITY VENDOR CONTACT INFORMATION: CHARLIE DOUBROUX, SECURITY BY APS, 504.715.4778.
- AN APPEAL HAS BEEN GRANTED BY THE LA OSFM TO PERMIT A SINGLE EGRESS STAIR, PER AP#AP-25-007277 WITH THE FOLLOWING STIPULATIONS:  
PROVIDE COMPLETE AUTOMATIC SMOKE DETECTION SYSTEM COVERAGE THROUGHOUT THE REFERENCED FACILITY IN ACCORDANCE WITH NFPA 101.9.6.2.9 AND IBC 907.2.11.2. ACTIVATION OF A SMOKE DETECTOR OUTSIDE OF THE DWELLING UNITS SHALL ACTIVATE THE ALARM WITHIN THE DWELLING UNITS.  
IN ORDER TO AVOID FALSE ALARMS, LOW TEMPERATURE AUTOMATIC HEAT DETECTORS CONNECTED TO THE BUILDING'S FIRE ALARM SYSTEM IN AREAS OF AUTOMATIC SMOKE DETECTORS SHALL BE ACCEPTABLE IN SPACES HAVING ENVIRONMENTS UNSUITABLE FOR PROPER SMOKE DETECTOR OPERATION.  
THE SMOKE HEAT DETECTION SYSTEM REFERENCED IN THIS DOCUMENT SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF NFPA 72 AND SHALL BE MAINTAINED OPERATIONAL AS A REQUIRED PORTION OF THE BUILDING'S FIRE ALARM SYSTEM.  
INITIATION OF ANY SMOKE DETECTION DEVICE SHALL ACTIVATE THE FIRE ALARM. NOTIFICATION SHALL BE BY AUDIBLE AND VISIBLE ALARM.  
SUBMIT FIRE ALARM SYSTEM SHOP DRAWINGS (OR MODIFICATIONS TO PREVIOUSLY SUBMITTED FIRE ALARM SHOP DRAWINGS) FOR REVIEW WITH A COMPLETED APPLICATION AND THE APPROPRIATE REVIEW FEE PRIOR TO INSTALLATION OF ANY FIRE ALARM SYSTEM MODIFICATIONS NECESSARY TO COMPLY WITH THE DETERMINATION OF EQUIVALENCY.
- THE ABOVE INFORMATION IN GENERAL NOTES #3, #4 AND #5 IS INCLUDED FOR REFERENCE ONLY. FIRE ALARM WORK IS NOT IN SCOPE THIS PERMIT APPLICATION BUT WILL BE PART OF PHASE 3 WHICH INCLUDES BUILDOUT OF APARTMENTS ON FLOORS 2, 3, AND 4. SPRINKLER WORK WILL ONLY INCLUDE PARTIAL DEMOLITION AS INDICATED.
- THE DESIGN OF THE NEW CONSTRUCTION COMPONENTS ARE COMPLIANT WITH IBC2021 ENERGY CODE AND THE STATE AMENDMENTS TO THE GREATEST EXTENT FEASIBLE.
- RE ELEVATOR, CONTACT LEE CANNIZARO, SENIOR SALES EXECUTIVE, TK ELEVATOR CORPORATION 504-385-9203 lee.cannizaro@tklevator.com PROVIDE COMPLETE ELEVATOR SHOP DRAWINGS FOR ARCHITECT'S REVIEW, COORDINATION, AND APPROVAL PRIOR TO INSTALLATION.

**PROJECT DATA**

- AREA:  
1st FLOOR .....3,578 G.S.F.  
2nd FLOOR.....3,172 G.S.F.  
3rd FLOOR .....3,230 G.S.F.  
4th FLOOR .....3,230 G.S.F.  
TOTAL BUILDING AREA .....13,210 G.S.F.
- CITY OF NEW ORLEANS ZONING CLASSIFICATION .....VCC-2
- LIFE SAFETY CODE NFPA 101 2015 CLASSIFICATION:  
CH. 30, EXISTING BUSINESS OCCUPANCY, @ 1ST FLOOR  
CH. 30, NEW APARTMENTS, @ UPPER FLOORS (2-4)
- IBC 2021 CLASSIFICATION:  
GROUP B, BUSINESS OCCUPANCY @ 1st FLOOR  
GROUP R2, APARTMENTS @ UPPER FLOORS
- BUILDING CONSTRUCTION TYPE III-B

**PROJECT TEAM:**

- OWNER:**  
221 Royal, LLC
- ARCHITECT:**  
LKHArmonArchitects, apac  
Contact: L.Katherine Harmon, Principal / Owner  
504.485.5870 (o)  
504.717.1247 (m)  
kharmon@lkharmonararchitects.com  
OR  
liz.guillett@projectarchitect.com  
504.669.4130 (m)  
lharmon@lkharmonararchitects.com
- STRUCTURAL ENGINEER:**  
A&S Engineering  
Contact: James Heaslip, P.E.  
504.380.0800 (o)  
james@asensgr.com
- MECHANICAL / PLUMBING ENGINEER:**  
Herzog Engineering, LLC  
Contact: Michel Herzog, P.E.  
504-481-8739 (o)  
michael@herzog-eng.com
- ELECTRICAL ENGINEER:**  
Egs Engineering Design, LLC  
Contact: Larry McFarland  
504.889.0274 (o)  
504.400.1892 (m)  
larrym@egs-ia.com

**EXTERIOR KEYNOTES**

- REPAIR MASONRY CRACK PER STRUCTURAL. INSTALL TIE RODS PER STRUCTURAL ON REAR FACADE
- NOTE IN SCOPE THIS PHASE: INCLUDED IN PHASE 3 SCOPE: PAINT EXISTING FRONT AND REAR FACADES, INCLUDING STUCCO, WOOD WINDOWWS, PLASTER, WOOD DOORS, AND TRIM. SEAL WINDOW OPENINGS.
- EXISTING CORNICE WITH LOW PROFILE STANDING SEAM COPPER ROOF. REMOVE AND REPLACE DAMAGED METAL AS NECESSARY TO MATCH EXISTING; PATCH / REPAIR STUCCO AS NECESSARY TO MATCH EXISTING

These drawings and specifications have been prepared under my direct supervision. They conform to all City requirements to the best of my knowledge and belief. I am not generally administering the work.  
Loretta Katherine Harmon, Louisiana State Lic. No. 4378  
Elizabeth Harmon Guillett, Louisiana State Lic. No. 1109  
LKHArmonArchitects  
A Professional Architectural Corporation  
LA State Lic. No. AC0520



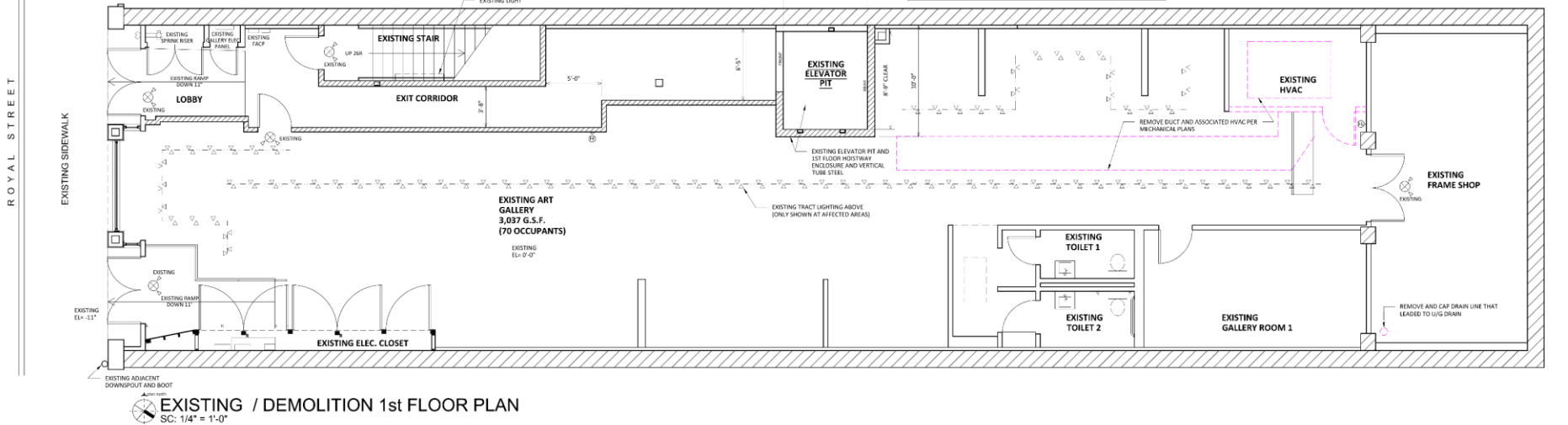
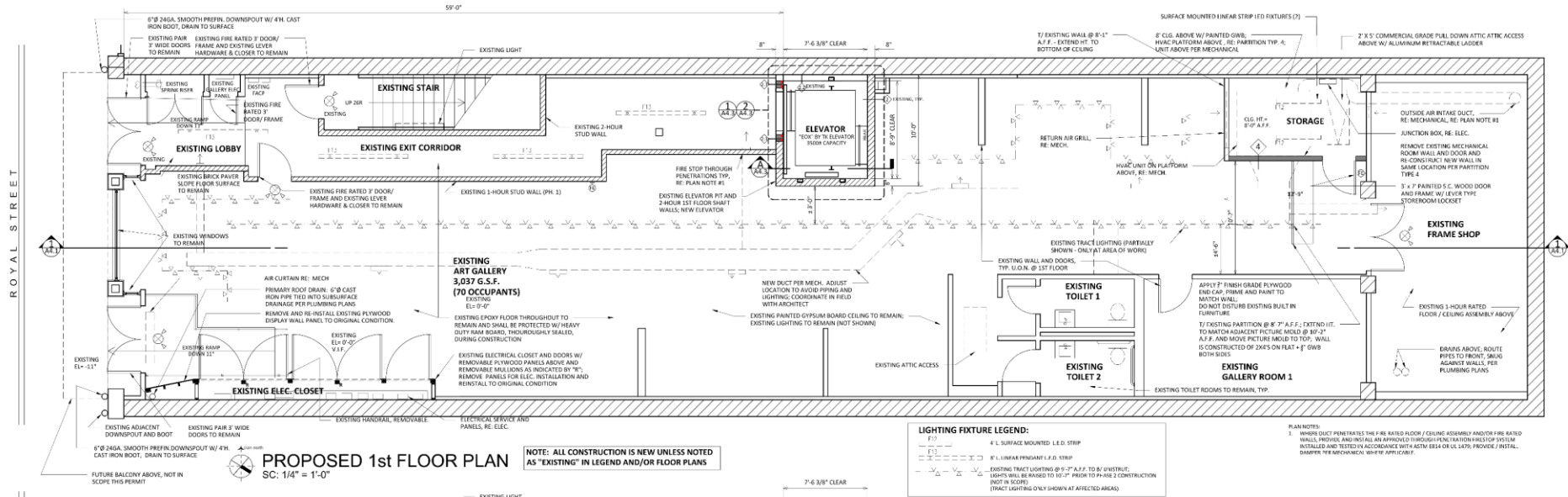
221-23 ROYAL STREET  
RENOVATION: PHASE 2  
New Orleans, LA 70130



17.19.2025	1.20.2026 BID SET
<b>A1.1</b>	
LKH1225	

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**LIGHTING FIXTURE LEGEND:**

- F1: 4" L SURFACE MOUNTED, L.E.D. STRIP
- F2: 8" L SURFACE MOUNTED, L.E.D. STRIP
- F3: 1" L LINEAR PENDANT, L.E.D. STRIP
- F4: EXISTING TRACT LIGHTING @ 9'-0" A.F.F. TO B/L UNITS; LIGHTS WILL BE RAISED TO 9'-0" PRIOR TO PHASE 2 CONSTRUCTION (NOT IN SCOPE)
- F5: EXISTING TRACT LIGHTING ONLY SHOWN AT AFFECTED AREAS

**PLAN NOTES:**

- WHERE DUCT PENETRATES THE F.R. RATED FLOOR / CEILING ASSEMBLY AND/OR F.R. RATED WALL, PROVIDE AND INSTALL AN APPROVED THROUGH PENETRATION HULL OR SYSTEM INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E84 OR UL 1479; PROVIDE / INSTALL DIMENSIONS PER MECHANICAL, WHERE APPLICABLE.



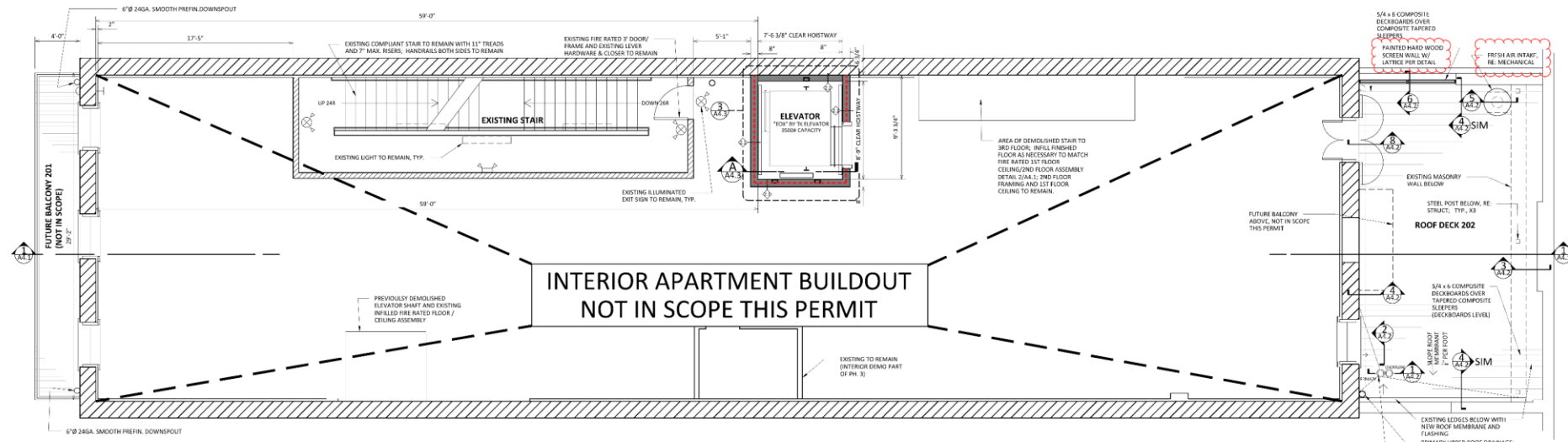
221-23 ROYAL STREET  
RENOVATION: PHASE 2  
New Orleans, LA 70130

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12.19.2025 1.20.2026.BID SET	<b>A2.1</b>
LKH#1225	

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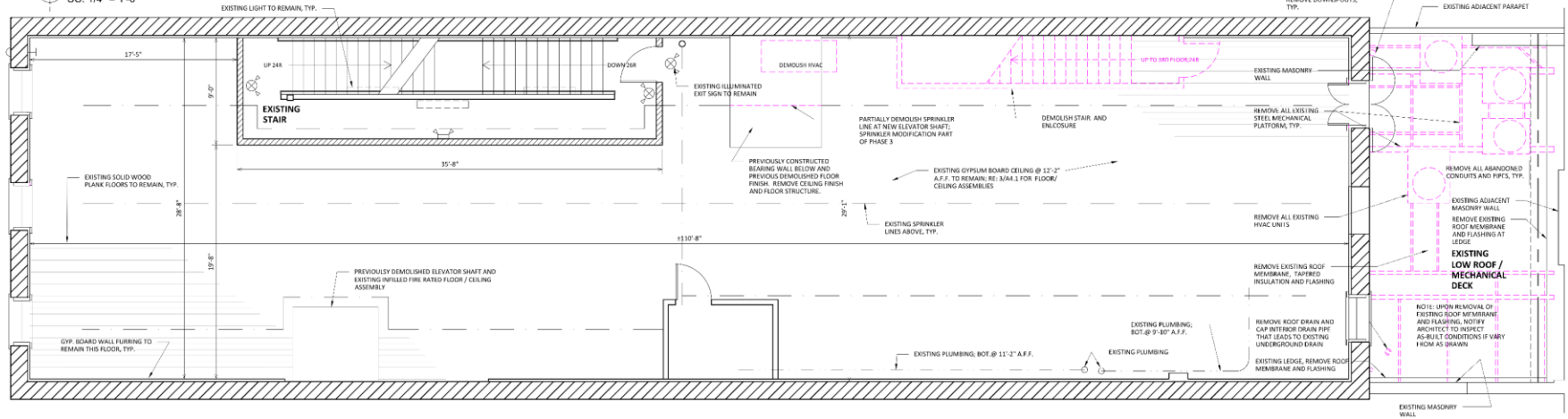




**PROPOSED 2nd FLOOR PLAN** 3,172 G.S.F.  
 SC: 1/4" = 1'-0"

NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS

NOTE: DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE



**EXISTING / DEMOLITION 2nd FLOOR PLAN**  
 SC: 1/4" = 1'-0"



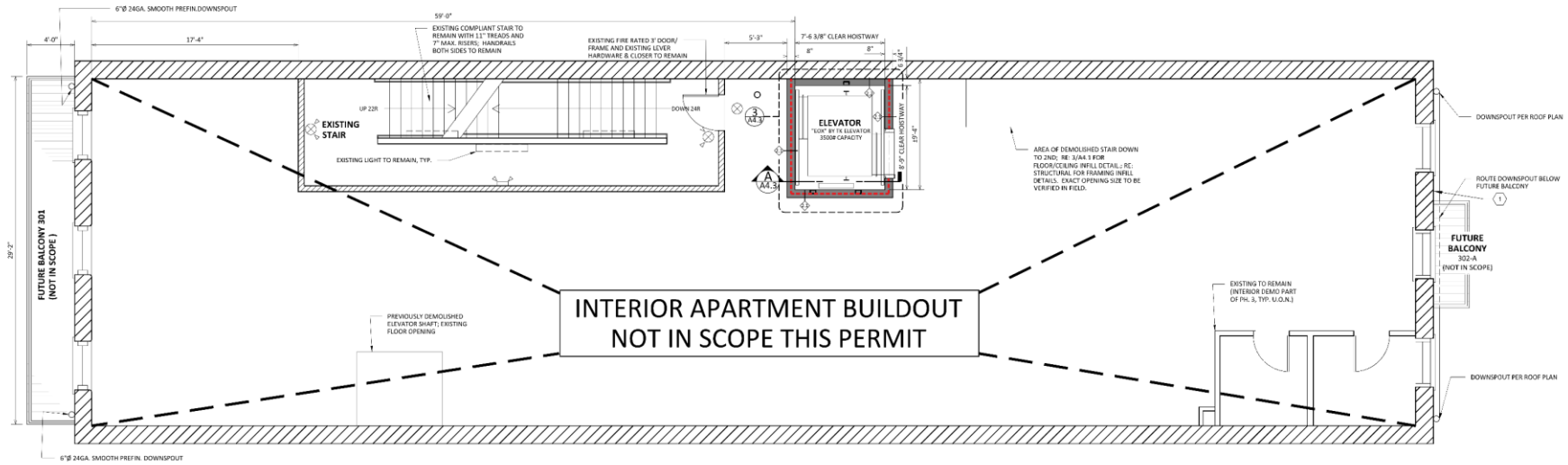
221-23 ROYAL STREET  
 RENOVATION: PHASE 2  
 New Orleans, LA 70130

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12-10-2015  
 120,209-BSD-547  
**A2.2**  
 LKH#1225

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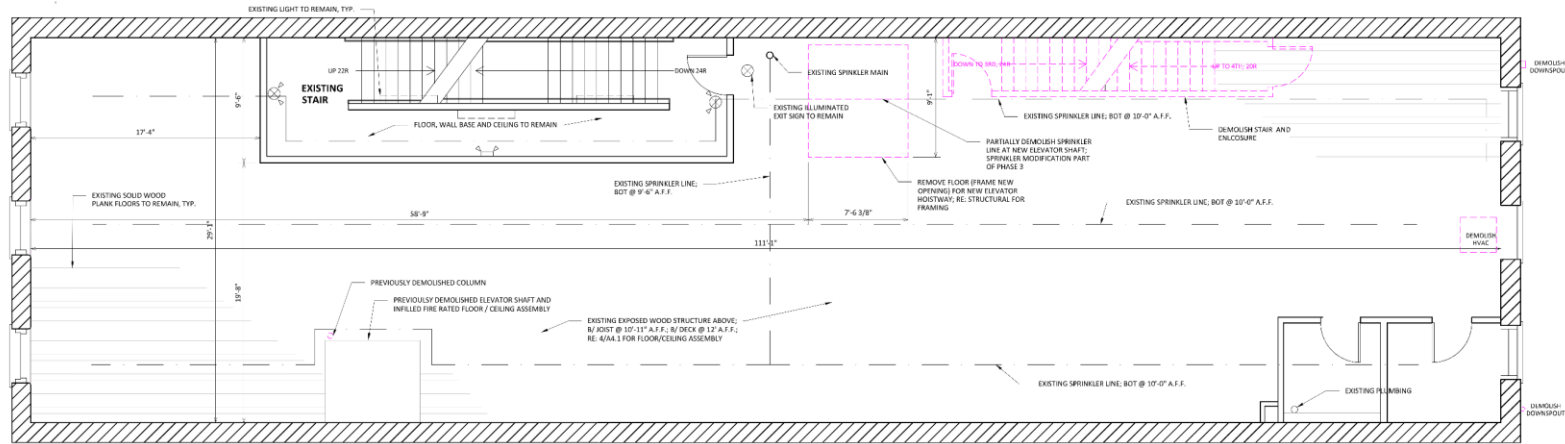




**PROPOSED 3rd FLOOR PLAN**  
SC: 1/4" = 1'-0"

**3,230 G.S.F.**

NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS  
NOTE: DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE



**EXISTING / DEMOLITION 3rd FLOOR PLAN**  
SC: 1/4" = 1'-0"



221-23 ROYAL STREET  
RENOVATION: PHASE 2  
New Orleans, LA 70130

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12.19.2025	A2.3
1.25.2024 BID SET	
LKH#1225	

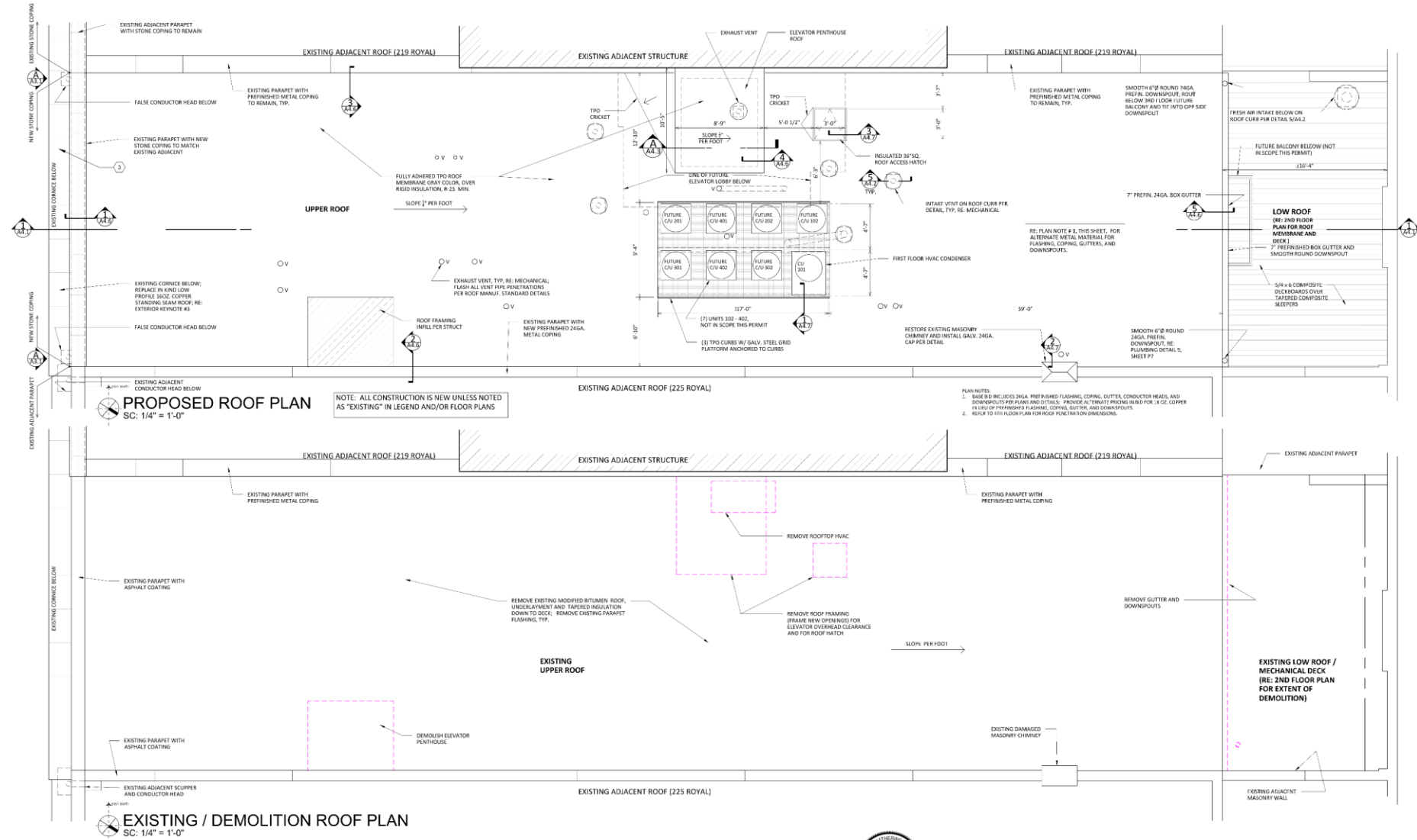
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Vieux Carré Commission

February 24, 2026





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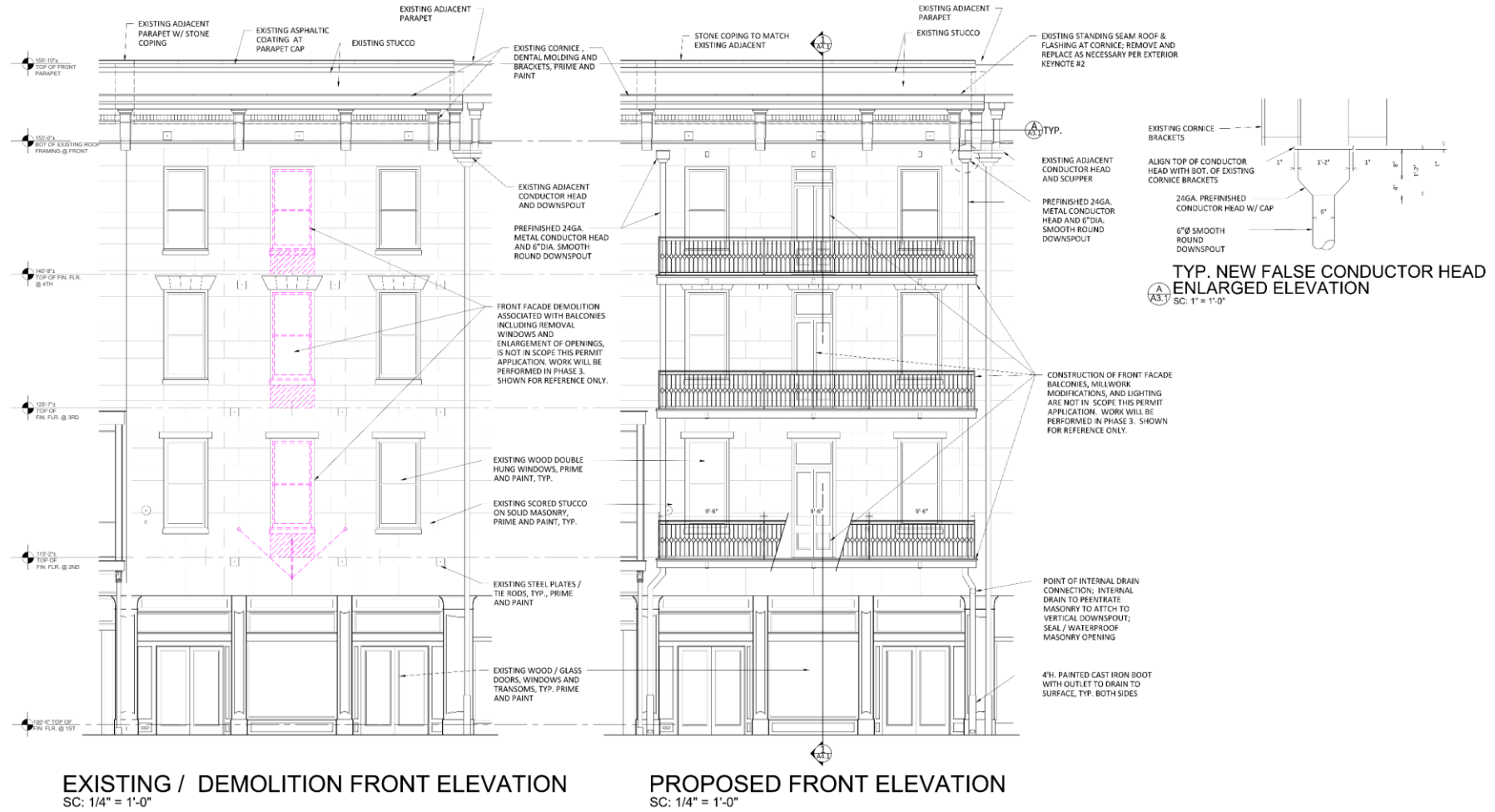
221-23 ROYAL STREET RENOVATION: PHASE 2  
New Orleans, LA 70130

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2024-04-10 10:00 AM 221 ROYAL ST PHASE 2 REV 1



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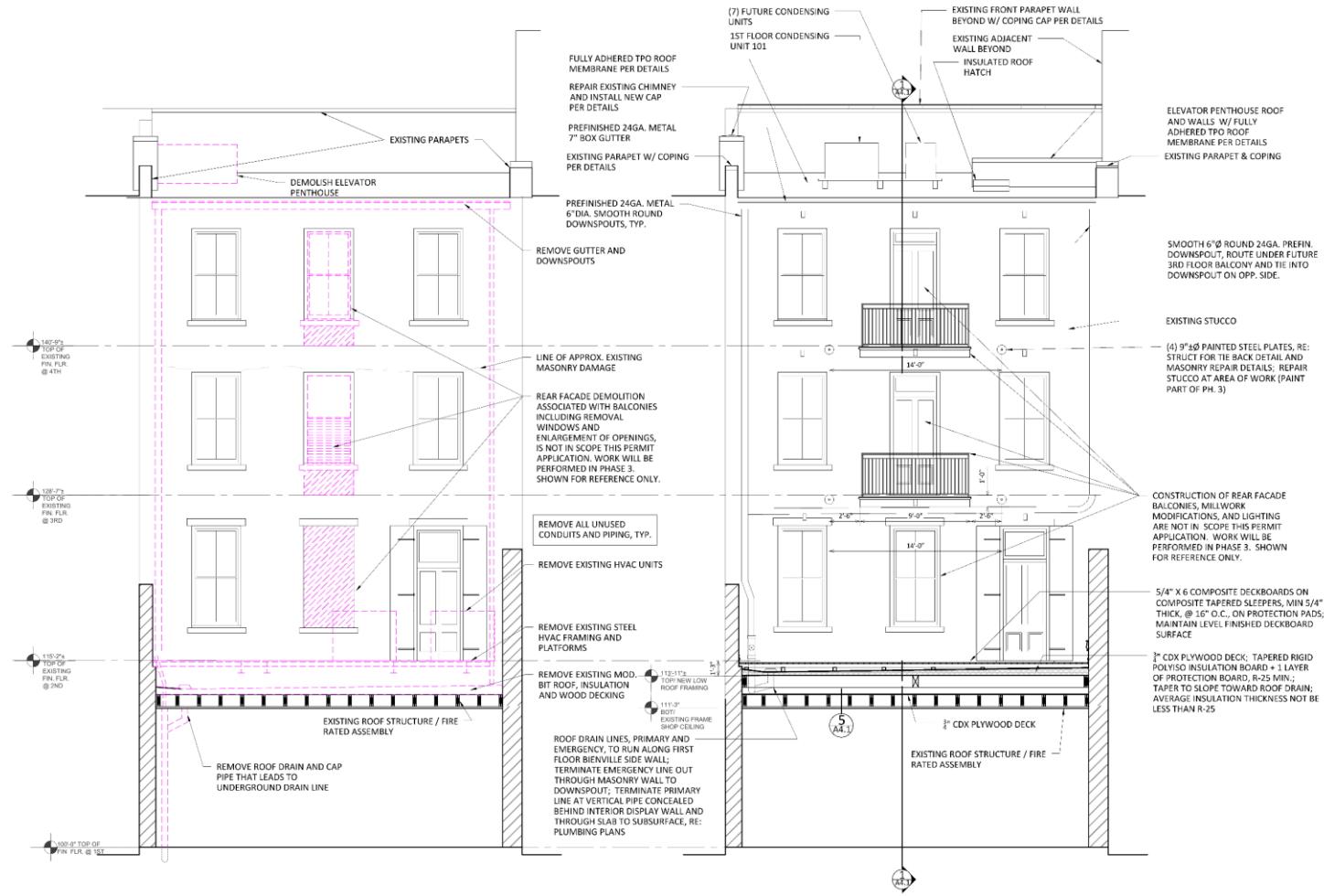
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A3.1

LKH#1225

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EXISTING / DEMOLITION REAR ELEVATION  
SC: 1/4" = 1'-0"

PROPOSED REAR ELEVATION  
SC: 1/4" = 1'-0"

221 ROYAL STREET, NEW ORLEANS, LA 70130

221 Royal

Vieux Carré Commission



221-23 ROYAL STREET  
RENOVATION: PHASE 2  
New Orleans, LA 70130

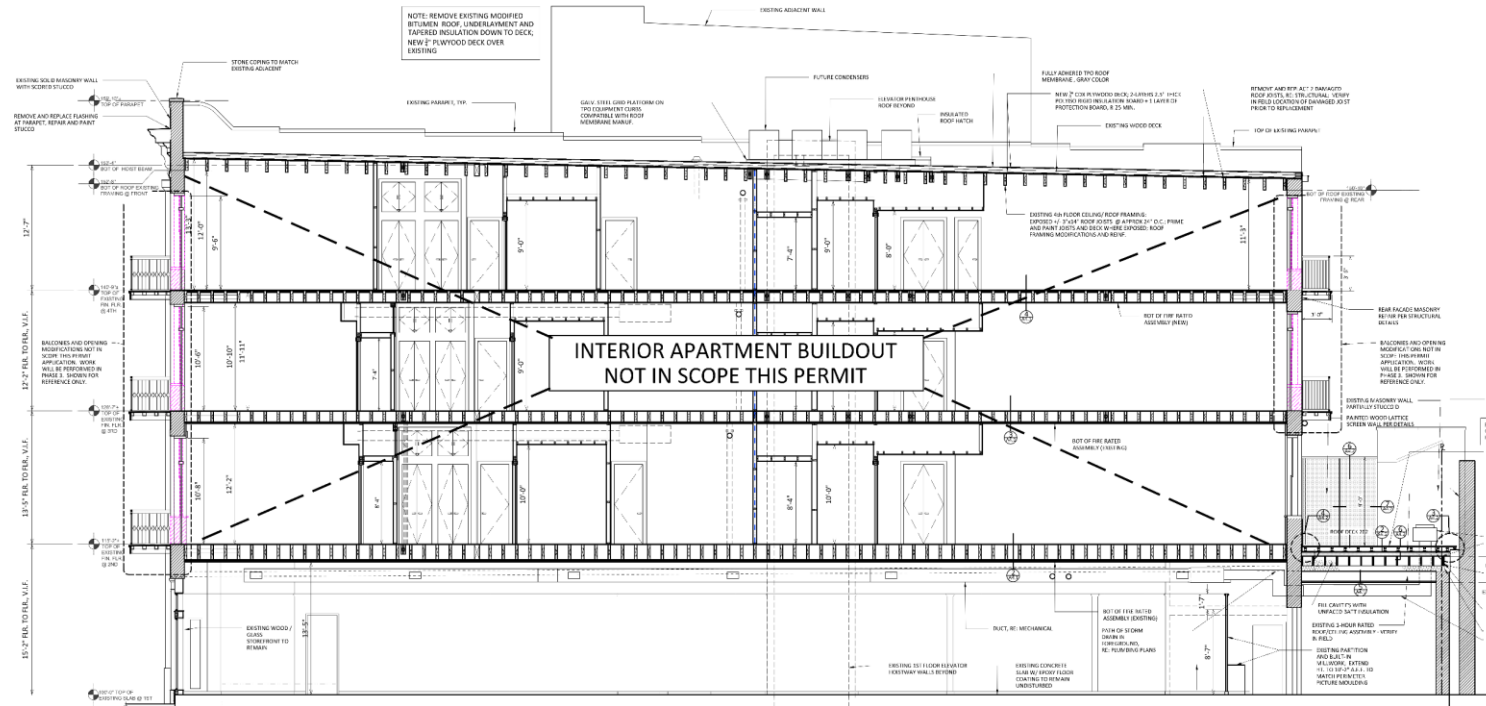
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		LKH#1225

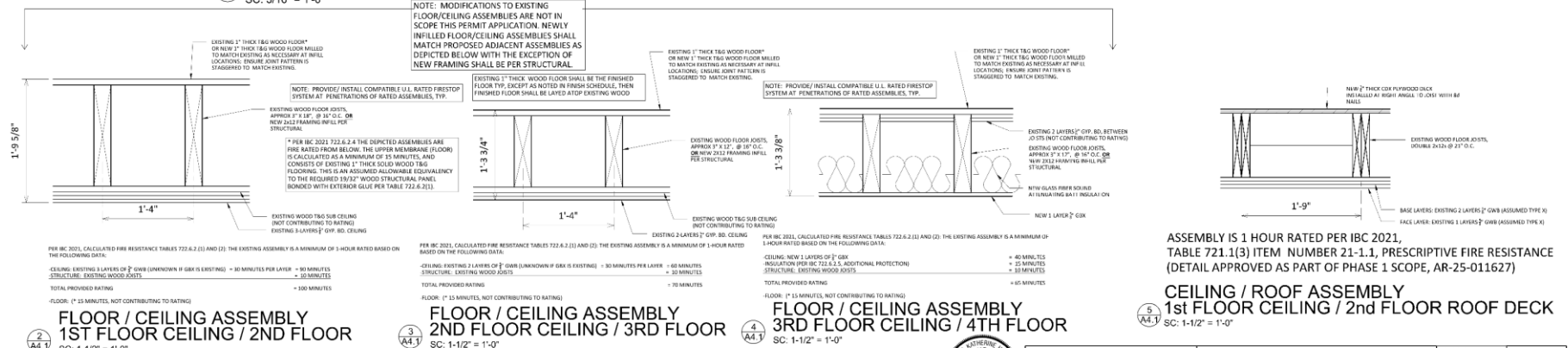
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February 24, 2026





**BUILDING SECTION**  
SC: 3/16" = 1'-0"



ASSEMBLY IS 1 HOUR RATED PER IBC 2021, TABLE 721.1(3) ITEM NUMBER 21-1.1, PRESCRIPTIVE FIRE RESISTANCE (DETAIL APPROVED AS PART OF PHASE 1 SCOPE, AR-25-011627)

**CEILING / ROOF ASSEMBLY**  
1st FLOOR CEILING / 2nd FLOOR ROOF DECK  
SC: 1-1/2" = 1'-0"

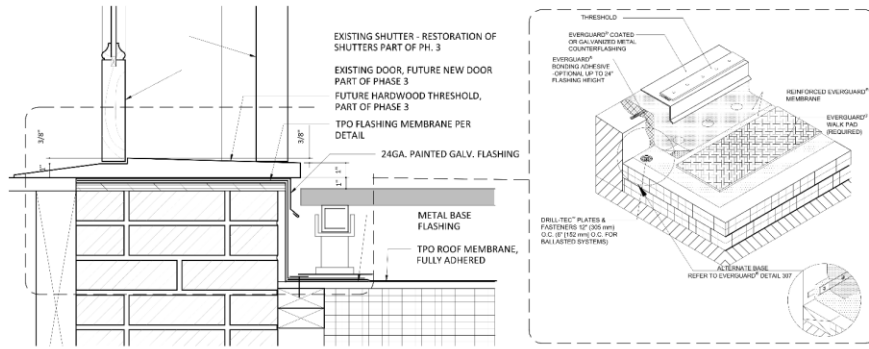


221-23 ROYAL STREET  
RENOVATION: PHASE 2  
New Orleans, LA 70130

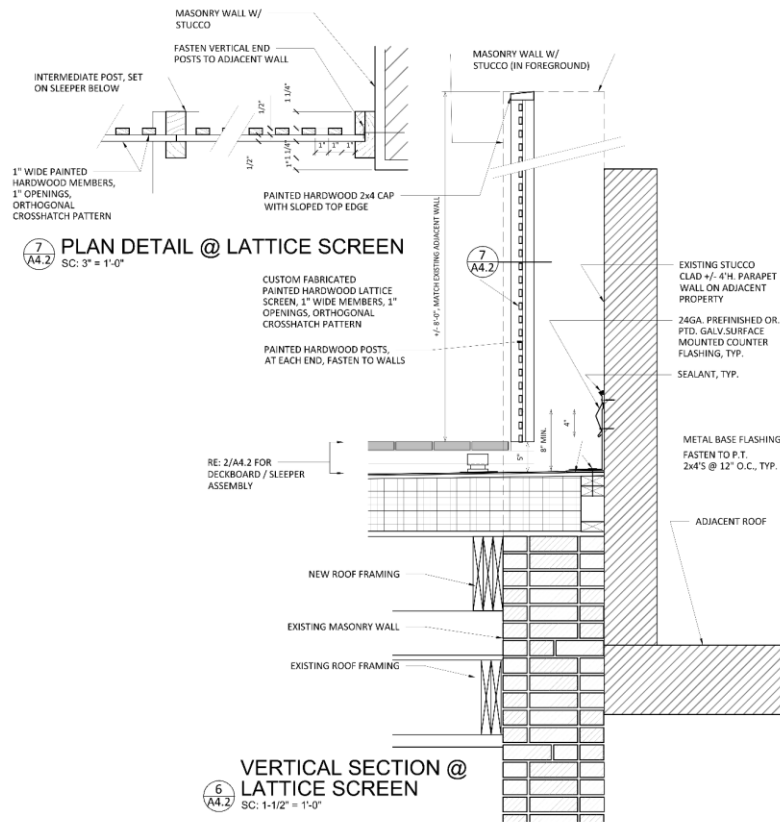
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12.19.2025	1.20.2026 BID SET
<b>A4.1</b>	
LKH01225	

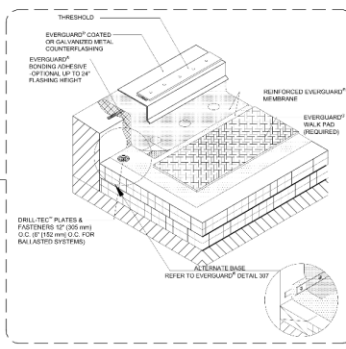




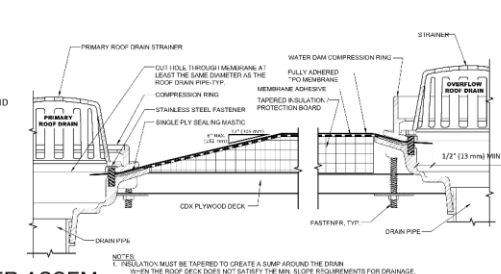
**DETAIL OF TYP. ROOF TO SILL FLASHING CONDITION**  
 8  
 A4.2  
 SC: 3" = 1'-0"



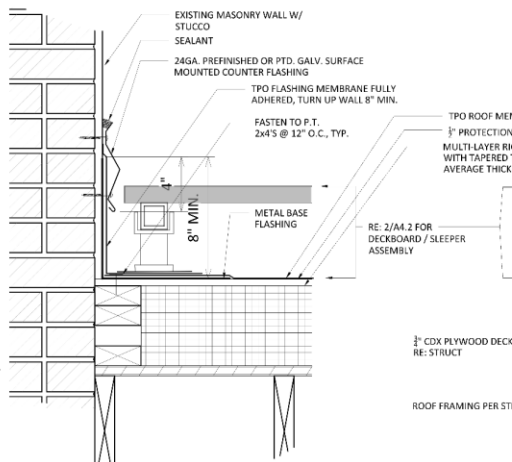
**VERTICAL SECTION @ LATTICE SCREEN**  
 6  
 A4.2  
 SC: 1-1/2" = 1'-0"



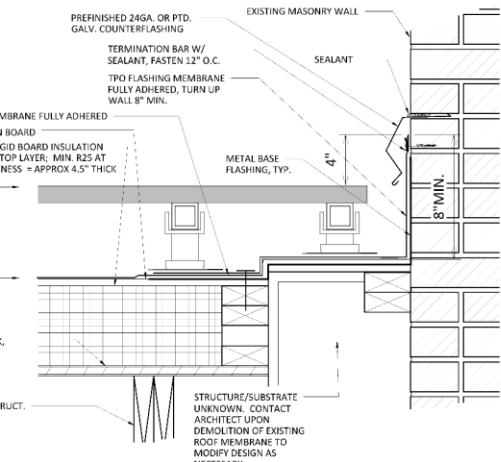
**DETAIL OF DECK BOARD / SLEEPER ASSEMBLY**  
 2  
 A4.2  
 SC: 1-1/2" = 1'-0"



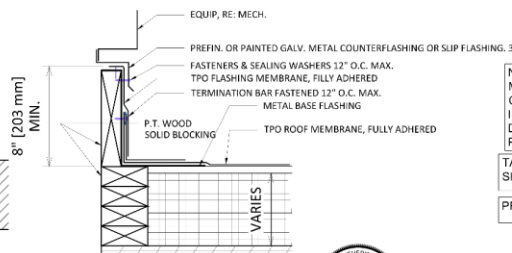
**ROOF DRAIN DETAIL**  
 1  
 A4.2  
 SC: 6" = 1'-0"



**DETAIL OF TYP. ROOF TO STUCCO WALL FLASHING CONDITION**  
 4  
 A4.2  
 SC: 3" = 1'-0"



**DETAIL OF TYP. ROOF TO MASONRY WALL FLASHING CONDITION**  
 3  
 A4.2  
 SC: 3" = 1'-0"



**DETAIL OF ROOF CURB AT TYP. AIR INTAKE VENT**  
 5  
 A4.2  
 SC: 3" = 1'-0"

NOTE: ROOF DESIGN DETAILS ARE BASED ON "GAF EVERGUARD, FLEECE BACKED MEMBRANE"; G.C. MAY SUBMIT EQUIVALENT / ALTERNATE MANUFACTURER'S FOR CONSIDERATION. REFER TO REQUIREMENTS AND RECOMMENDATIONS OUTLINED IN THE APPLICABLE MANUFACTURER'S LITERATURE IN ADDITION TO THESE DETAILS, AND ENSURE COMPLIANCE WITH GAF MANUAL AND GUIDELINES. PROVIDE OWNER WITH PROOF OF 20 YEAR WARRANTY.

TAPERED ROOF INSULATION SHALL HAVE A MINIMUM R-VALUE OF 5.7 PER INCH AND SHALL HAVE A MINIMUM OVERALL R-VALUE OF 25 AT THE AVERAGE THICKNESS

PROVIDE WALKWAY PROTECTION PAD AS NECESSARY FOR ROOF WARRANTY



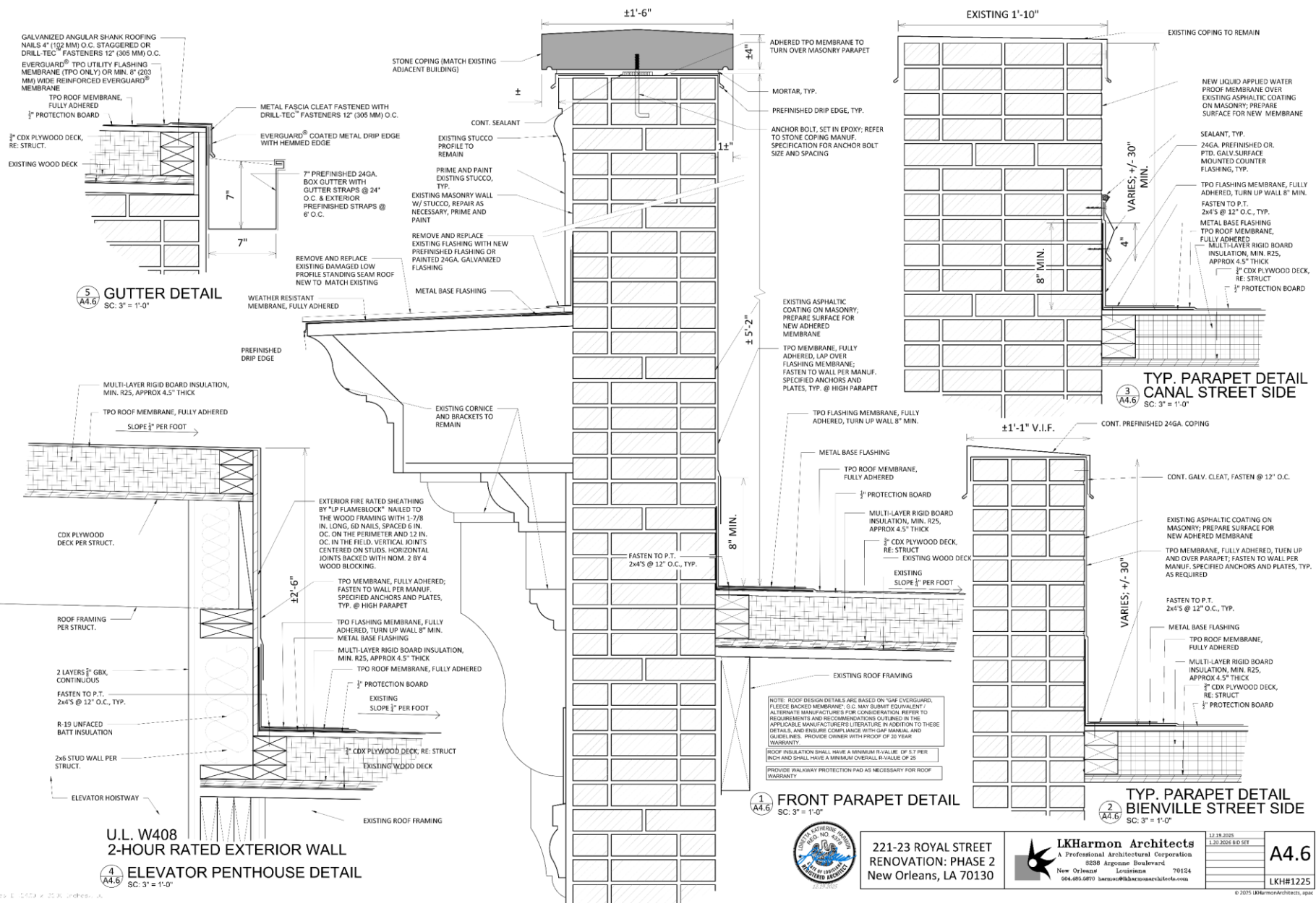
221-23 ROYAL STREET  
 RENOVATION: PHASE 2  
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<b>A4.2</b>	
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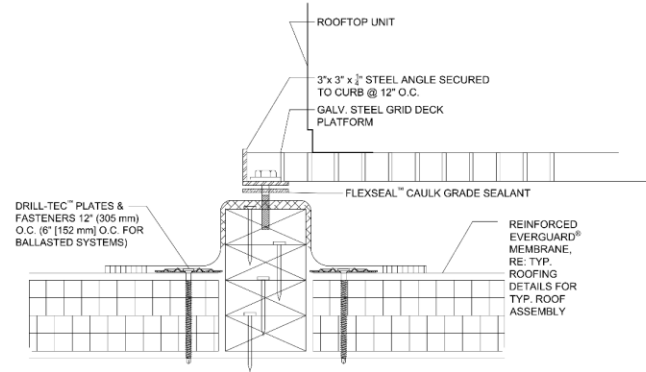
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<b>A4.6</b>	
	LKH#1225

# 221 Royal

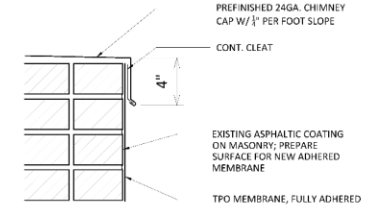
Vieux Carré Commission

February 24, 2026

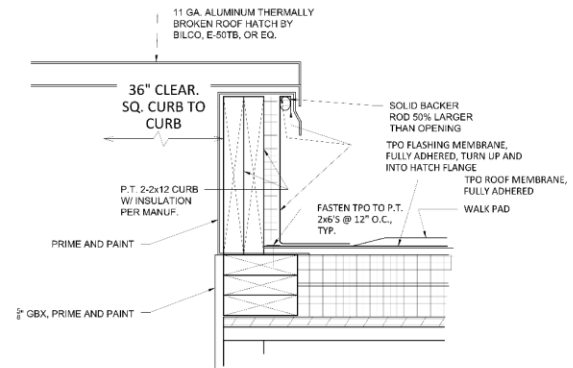




1 TYP. EQUIPMENT CURB DETAIL  
NOT TO SCALE



2 CHIMNEY CAP DETAIL  
SC: 3" = 1'-0"



3 ROOF HATCH DETAIL  
SC: 3" = 1'-0"

Inside curb to curb measurement of 36" x 36"  
 Material: Cover and frame are 11 gauge (2.3 mm) aluminum.  
 Cover: Stake-formed, hollow-metal design with 3" (75 mm) concealed polyisocyanurate insulation (R Value of 20+), 5" (100 mm) beaded, overlapping flange, fully welded at corners, and internally reinforced for 40 psf (195kg/m2) live load. (See note below for Type GS-50-TB models)  
 Curb: 12" (305 mm) in height with integral cap flashing, 3" (75 mm) polyisocyanurate Insulation (R Value of 20+), fully welded at corners, and 5-1/2" (114 mm) mounting flange with 7/16" holes (11 mm) provided for securing frame to the roof deck.  
 Gasket: Extruded EPDM rubber gasket permanently adhered to cover.  
 Hinges: Heavy-duty pinne hinges with 3/8" (9 mm) Type 316 stainless steel hinge pins.  
 Latch: Slam latch with interior and exterior turn handles and padlock hasps.  
 LIFT Assistance: Compression spring operators enclosed in telescopic tubes. Automatic hold-open arm with grip handle release.  
 Finish: Mill finish aluminum  
 Hardware: Engineered composite compression spring tubes and steel compression springs packed in grease. Type 316 stainless steel hinges. All other hardware is zinc plated/chromate sealed.

2025 REVISED LK#1225 12.19.2025

221 Royal

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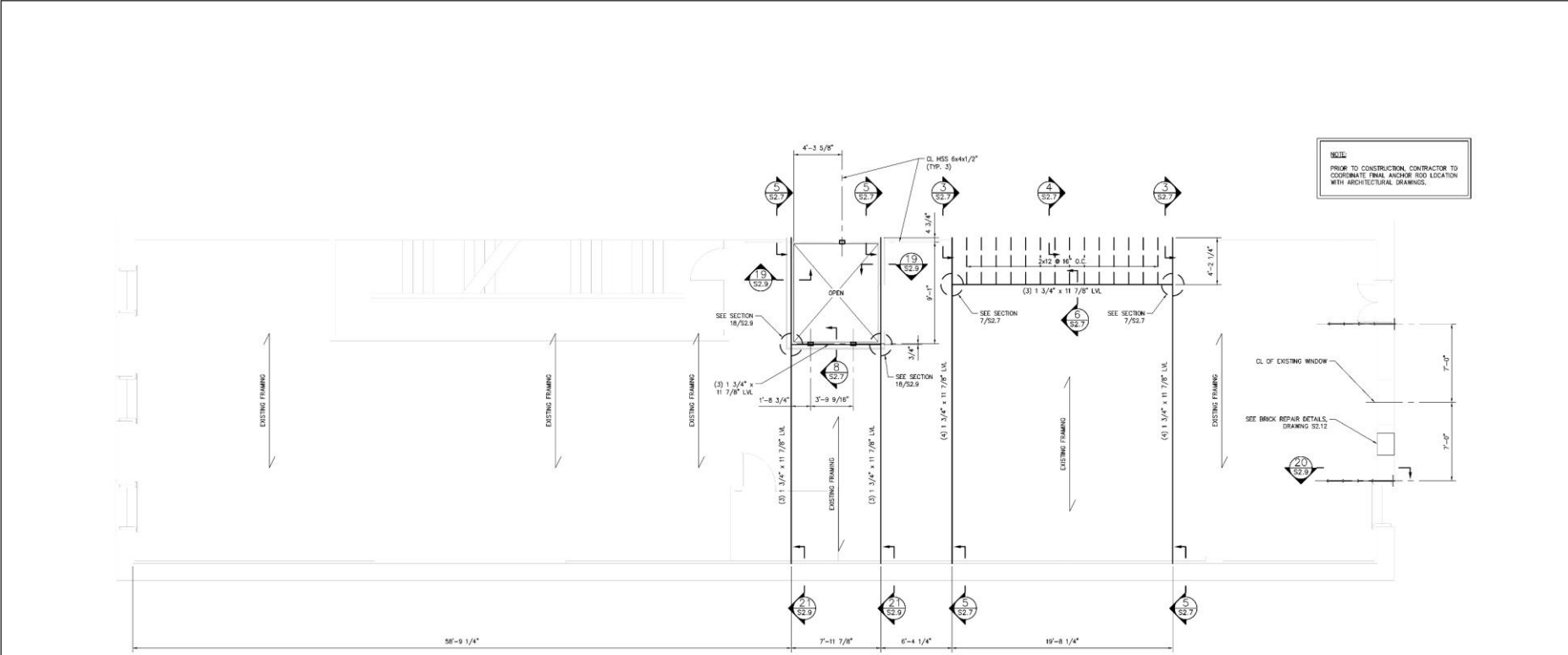
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1.30.2026 BID SET	
	LKH#1225

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February 24, 2026



NOTE:  
PRIOR TO CONSTRUCTION CONTRACTOR TO  
COORDINATE FINAL ANCHOR ROD LOCATION  
WITH ARCHITECTURAL DRAWINGS.

THIRD FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. FOR ALL NOTES, SEE DRAWING S1.0A - S1.0B.
2. FOR ALL OTHER PLAN NOTES, SEE DRAWING S2.0.



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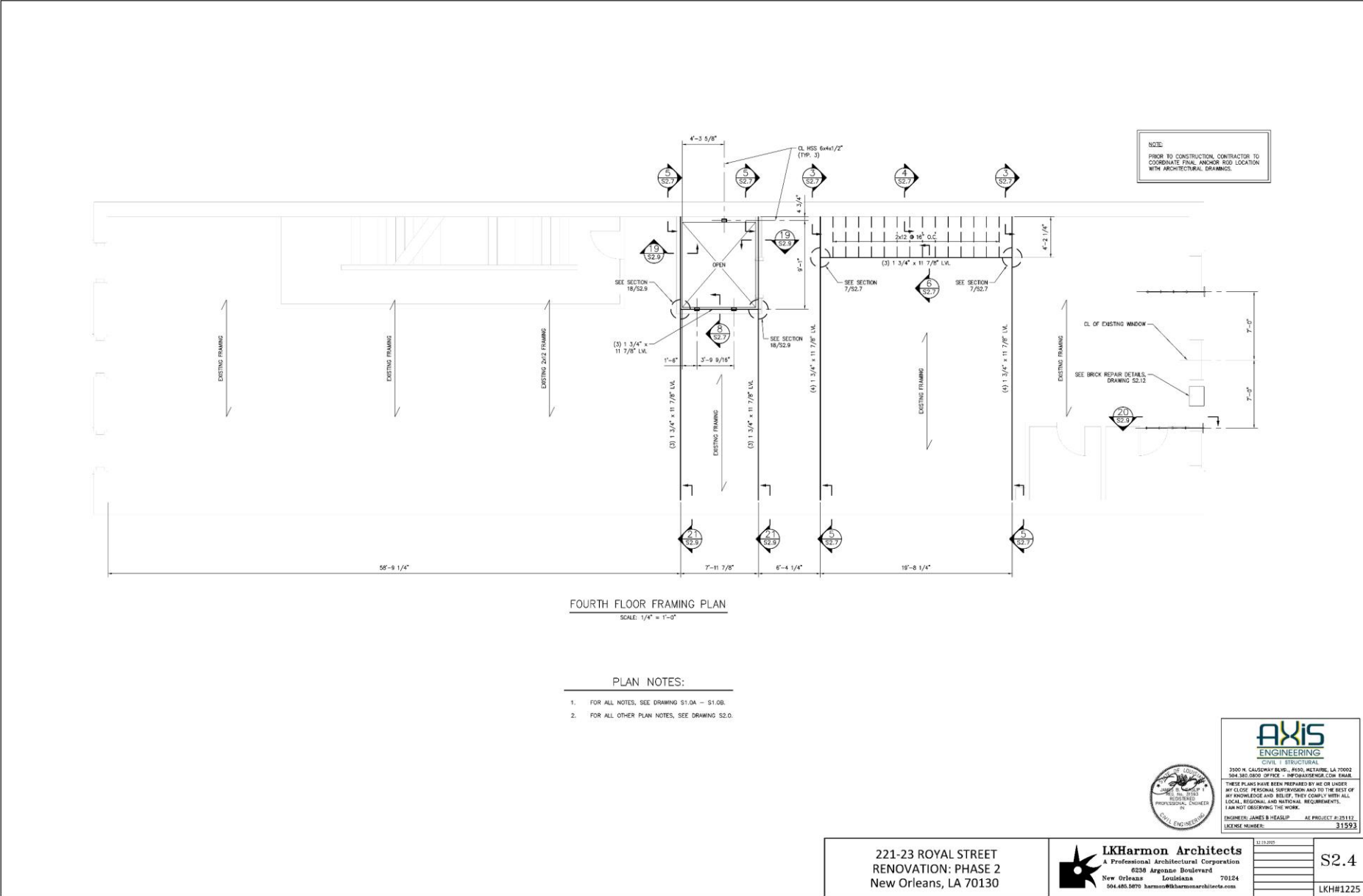
ENGINEER: JAMES B. DEAS AS PROJECT # 20110  
LICENSE NUMBER: 31593

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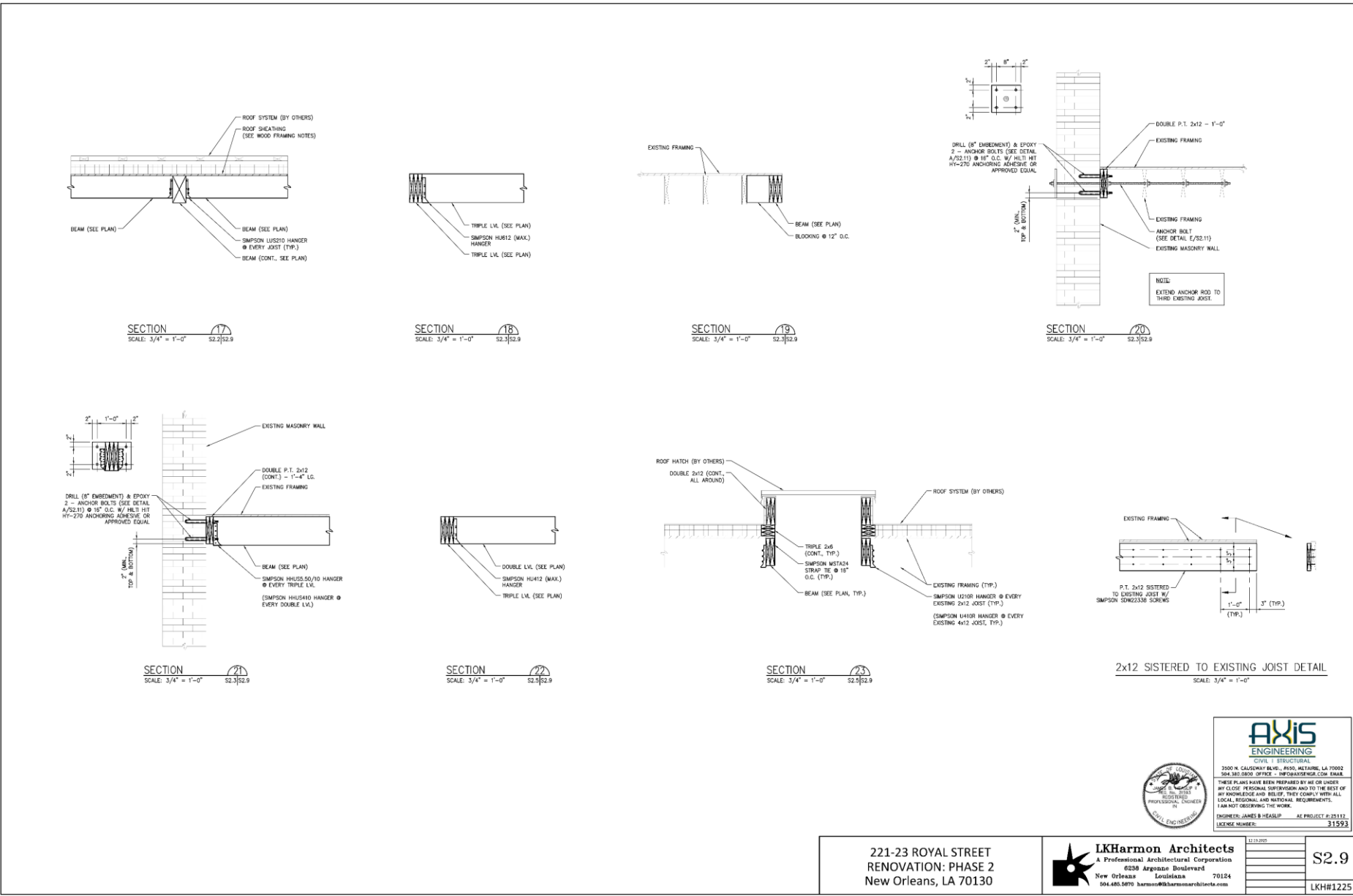


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12/13/2023	
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	LKH#1225



**SECTION 28**  
SCALE: 3/4" = 1'-0" S2.9 [S2.11]

**SECTION 29**  
SCALE: 3/4" = 1'-0" S2.9 [S2.11]

**W12x19 BEAM TO HSS 6x4x1/2" COLUMN CONNECTION DETAIL**  
SCALE: 3/4" = 1'-0"

BEAM AND HEADER MEMBER SIZE	NUMBER OF ROWS	SIMPSON SCREW
(2) 2x8	2	SDW23300
(2) 2x10	2	SDW23300
(2) 2x12	3	SDW23300
(3) 2x8	2	SDW2438
(3) 2x10	2	SDW2438
(3) 2x12	3	SDW2438
(2) 1 3/4" x 11 7/8" LVL	3	SDW23300
(3) 1 3/4" x 11 7/8" LVL	4	SDW23500
(4) 1 3/4" x 11 7/8" LVL (BOTH SIDES)	4	SDW23500

**BEAM AND HEADER FASTENING PATTERN DETAIL**  
SCALE: N.T.S.

**WOOD BEAM TO WOOD BEAM CONNECTION DETAIL**  
SCALE: N.T.S.

BEAM "A"	BEAM "B"	SIMPSON HANGER
2x12	(2) 2x12	LUS210
(2) 2x12	(2) 2x12	HU212-2 (MAX.)

**DETAIL A**  
SCALE: 1 1/2" = 1'-0" S2.7 [S2.11]

**DETAIL B**  
SCALE: 1 1/2" = 1'-0" S2.7 [S2.11]

**DETAIL C**  
SCALE: 1 1/2" = 1'-0" S2.8 [S2.11]

**DETAIL D**  
SCALE: 1 1/2" = 1'-0" S2.8 [S2.11]

**DETAIL E**  
SCALE: 1 1/2" = 1'-0" S2.9 [S2.11]

**NOTE:**  
ALL BEAM AND HEADER MEMBERS TO BE PROPERLY SHORED BY CONTRACTOR PRIOR TO NAILING MEMBERS TOGETHER.

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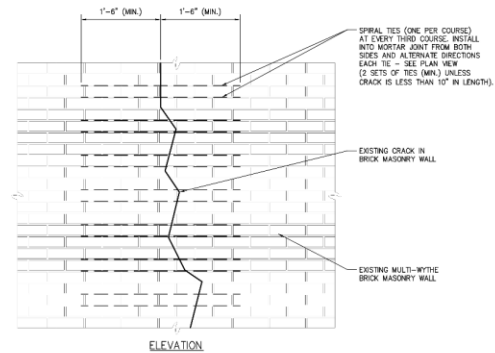
ENGINEER: JAMES B. DEARSHIP AS PROJECT # 18113  
LICENSE NUMBER: 31593

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RENOVATION: PHASE 2  
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S2.11  
LK#1225





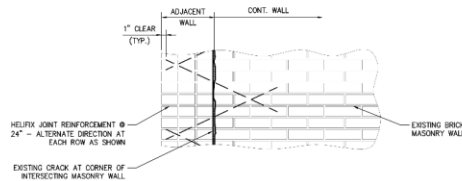
**NOTE (UNLESS NOTED OTHERWISE):**

1. IN EXTERIOR WALLS WHERE CRACKING OCCURS IN STUCCO FINISH, DETERMINE JOINT LOCATIONS USING HAND TOOLS. USE CAUTION NOT TO DAMAGE ADJACENT FINISHES.
2. WHERE REQUIRED, PATCH FINISH IN LIKE KIND AND WORKMANSHIP AS ORIGINAL, ADJACENT FINISHES.
3. AFTER INSTALLATION OF TIES AND PRIOR TO INSTALLATION OF STUCCO FINISH (WHERE REQUIRED), GROUT INJECT CL.F. INTO CRACK TO FILL CRACK AND VOIDS COMPLETELY.

**MULTI-WYTHE BRICK WALL REPAIR DETAIL**  
SCALE: 1" = 1'-0"

**DETAIL NOTES:**

1. HELIFIX REPAIR AT INTERSECTING WALL:
  - 1.1 PRE-DRILL HOLES AT APPROXIMATELY 30° ANGLE AT LOCATION OF HELIFIX REINFORCING. LOCATE ALL HOLES IN NEAREST HORIZONTAL MORTAR JOINT.
  - 1.2 PREPARE HOLES BY FLUSHING WITH WATER. INJECT HOLES WITH HELIFIX REINFORCING GROUT.
  - 1.3 PLACE HELIFIX HELIFIX JOINT REINFORCING, SPACED AT 24" O.C. (MAX.) VERTICALLY, 4" O.C. (MAX.) HORIZONTALLY, 2 VERTICAL ROWS, CENTERED ON CONTINUOUS WALL.
  - 1.4 EACH VERTICAL ROW OF REINFORCING BARS TO ALTERNATE DIRECTION AS SHOWN.
2. REINFORCING TO EXTEND 16" (MIN.) CLEAR PAST CRACK EACH SIDE WHERE POSSIBLE.
3. FILL CRACK AND HOLES SOLID WITH COMPATIBLE MORTAR.



**CRACK REPAIR AT CORNER DETAIL**  
SCALE: 1" = 1'-0"

EXISTING DETERIORATED MASONRY WALL



**REPOINTING NOTES (HISTORIC MASONRY):**

REMOVE THE EXISTING MORTAR WITH A HAND TOOL TO MINIMIZE DAMAGE TO ADJACENT MASONRY. JOINTS: THE APPROPRIATE MORTAR MIX AND HARDNESS. APPLY THE MORTAR AND TOOL IT TO MATCH THE HISTORIC JOINT STYLE AND APPEARANCE. AS A RESULT, IT IS GENERALLY RECOMMENDED THAT A REPOINTING PROJECT BE LIMITED TO THE AREA OF DETERIORATION RATHER THAN AN ENTIRE WALL OR BUILDING, UNLESS DETERIORATION IS PREVALENT.

TO ACHIEVE THE BEST RESULTS, REPOINTING WORK IS BEST COMPLETED WHEN THE TEMPERATURE RANGES BETWEEN 40°F AND 90°F FOR AT LEAST TWO DAYS AFTER THE INSTALLATION OF THE MORTAR TO HELP IT BOND TO THE MASONRY. MORTAR SHOULD BE PLACED IN JOINTS IN LAYERS OF NO MORE THAN 3/8-INCH THICK AND ALLOWED TO HARDEN. THE FINAL LAYER SHOULD BE TOOLED TO MATCH THE HISTORIC JOINT PROFILE. REFER TO JOINT PROFILES IN THE VEUX CARRÉ COMMISSION - GUIDELINES FOR MASONRY & STUCCO, PAGE 06-4-3.

**VCC APPROVED MORTAR MIX:**

- THE APPROVED VCC MORTAR MIX FOR 18TH AND 19TH CENTURY HISTORIC MASONRY:
- 1 PART DAMAGED PORTLAND CEMENT
  - 3 PARTS LIME
  - 8 PARTS SAND
- ENOUGH POTABLE WATER TO FORM A WORKABLE MIX

**REPOINTING OF BRICK WALLS DETAIL**  
SCALE: N.T.S.



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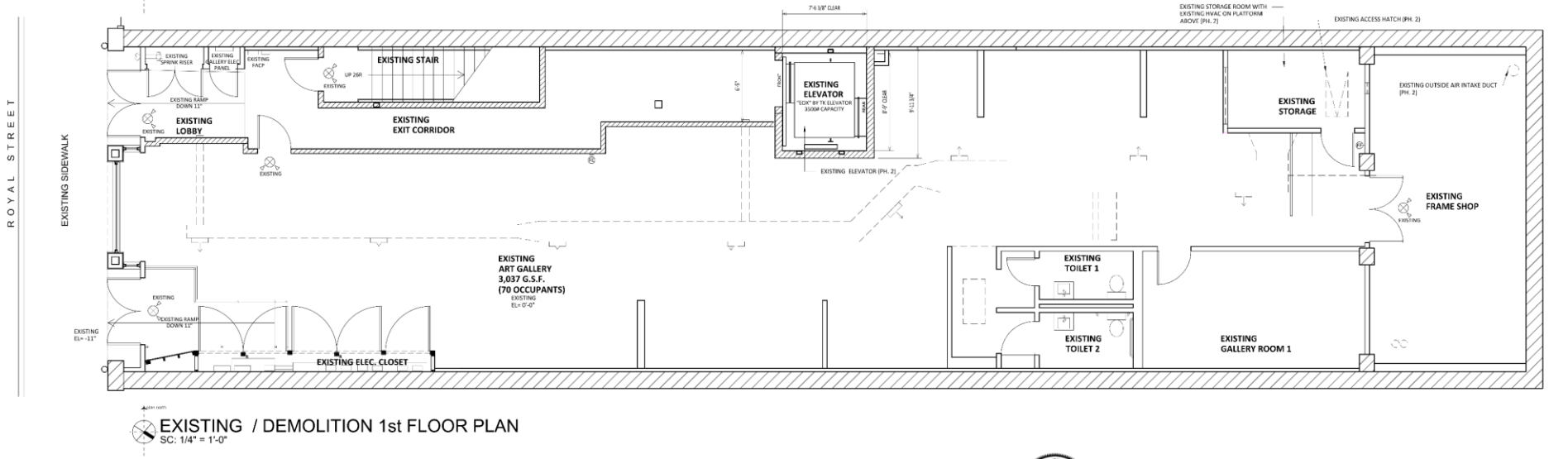
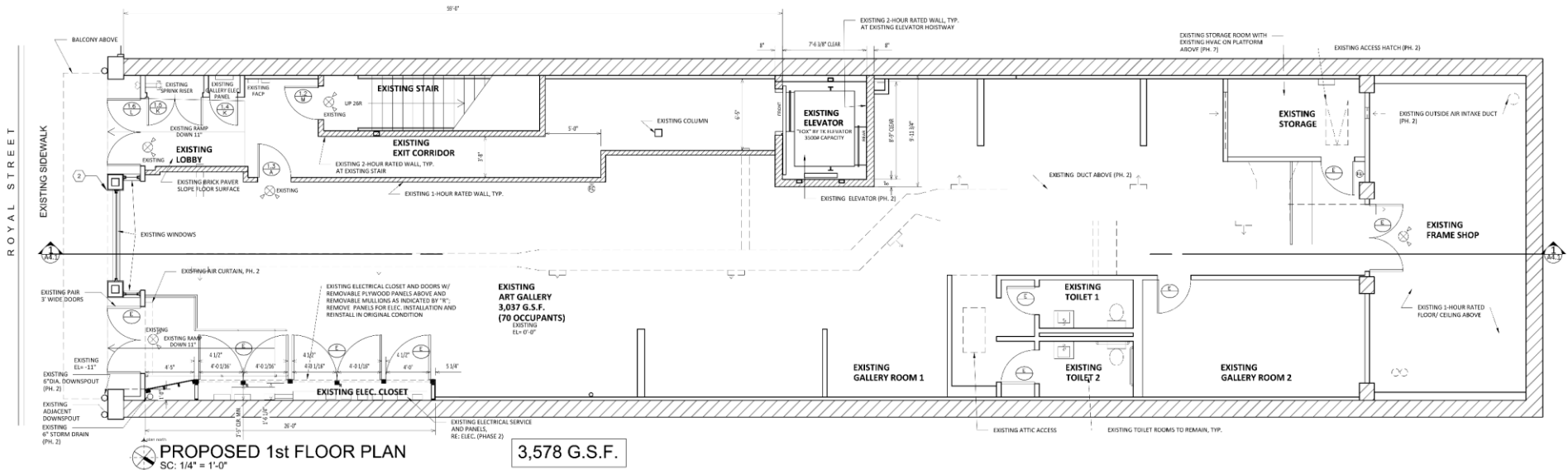
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12/18/2023	
	S2.12
	LKH#1225







221 - 223 ROYAL STREET  
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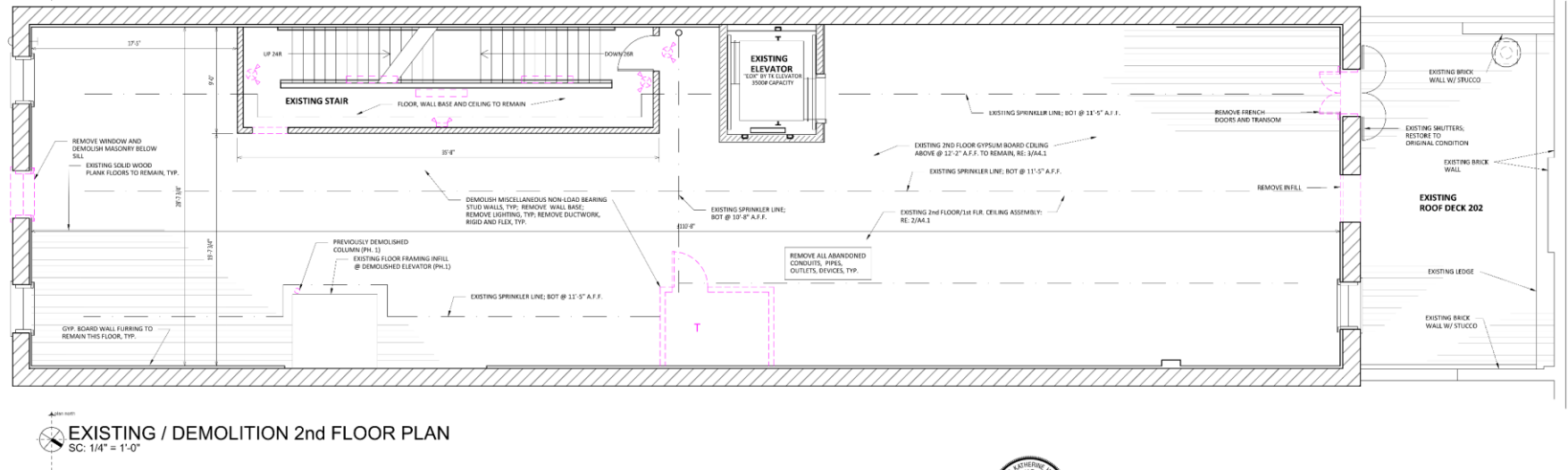
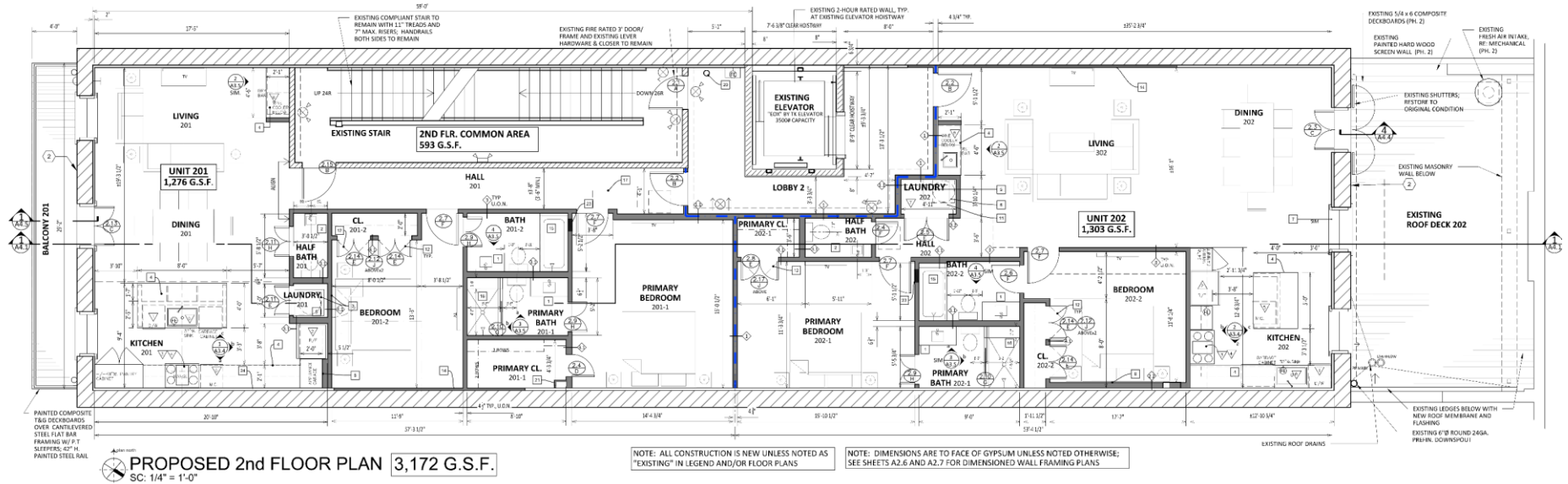
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12.19.2025 1.24.2026 (01)		LK-191225

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February 24, 2026



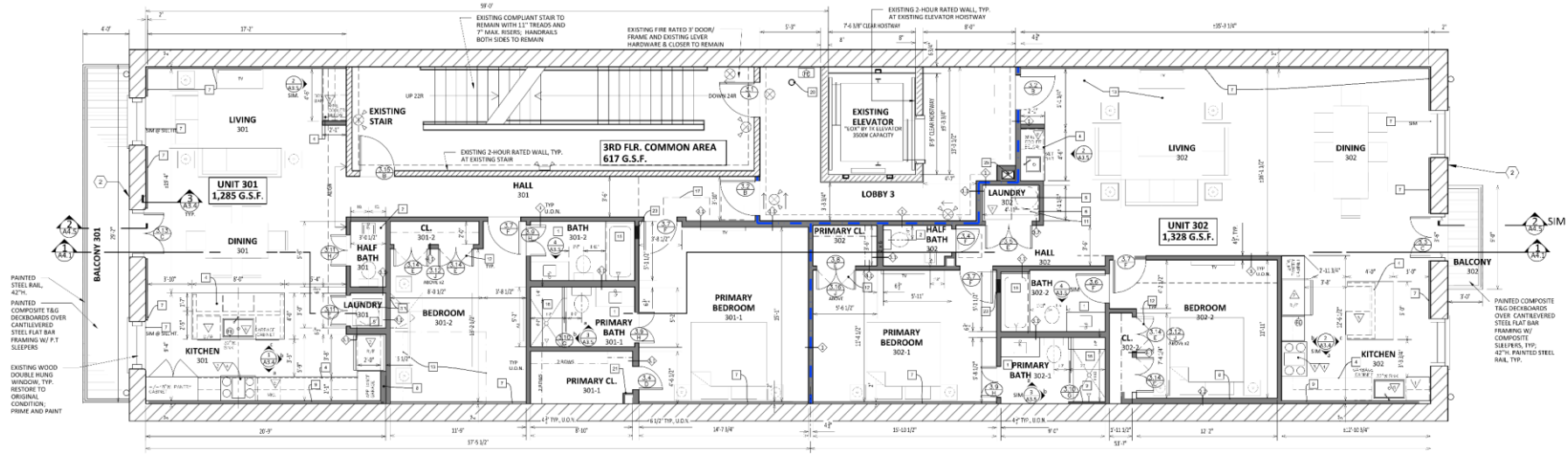


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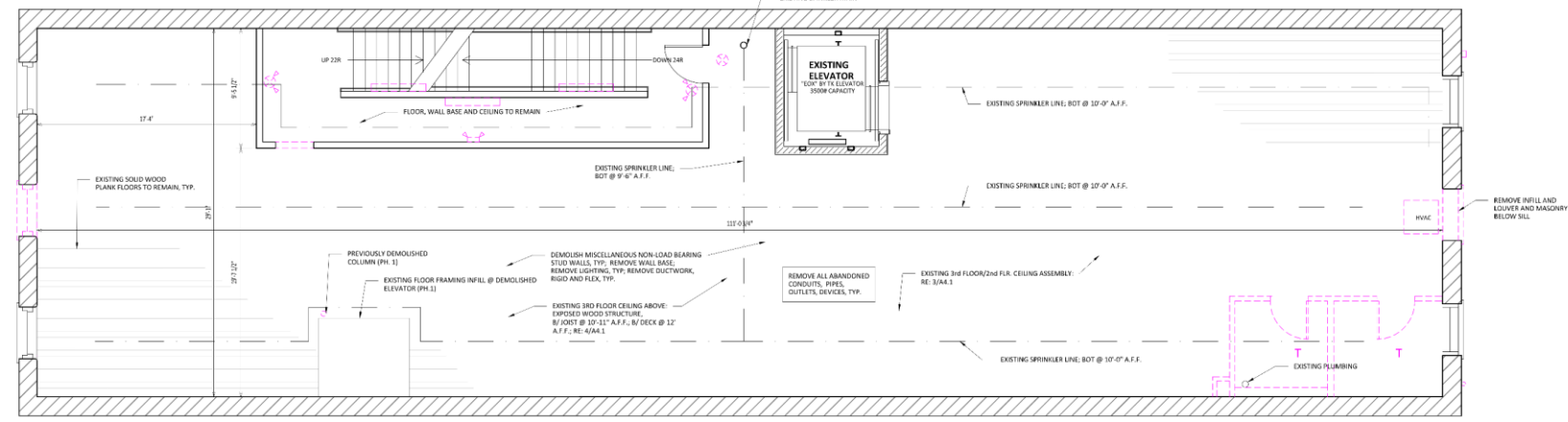
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DATE	DESCRIPTION
11.28.2020	2-DRAWING REVIEW
12.15.2020	REVISED
A2.2	
LK181225	





**PROPOSED 3rd FLOOR PLAN** 3,230 G.S.F.  
 SC: 1/4" = 1'-0"  
 NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS  
 NOTE: DIMENSIONS ARE TO FACE OF GYPSUM UNLESS NOTED OTHERWISE; SEE SHEETS A2.6 AND A2.7 FOR DIMENSIONED WALL FRAMING PLANS



**EXISTING / DEMOLITION 3rd FLOOR PLAN**  
 SC: 1/4" = 1'-0"



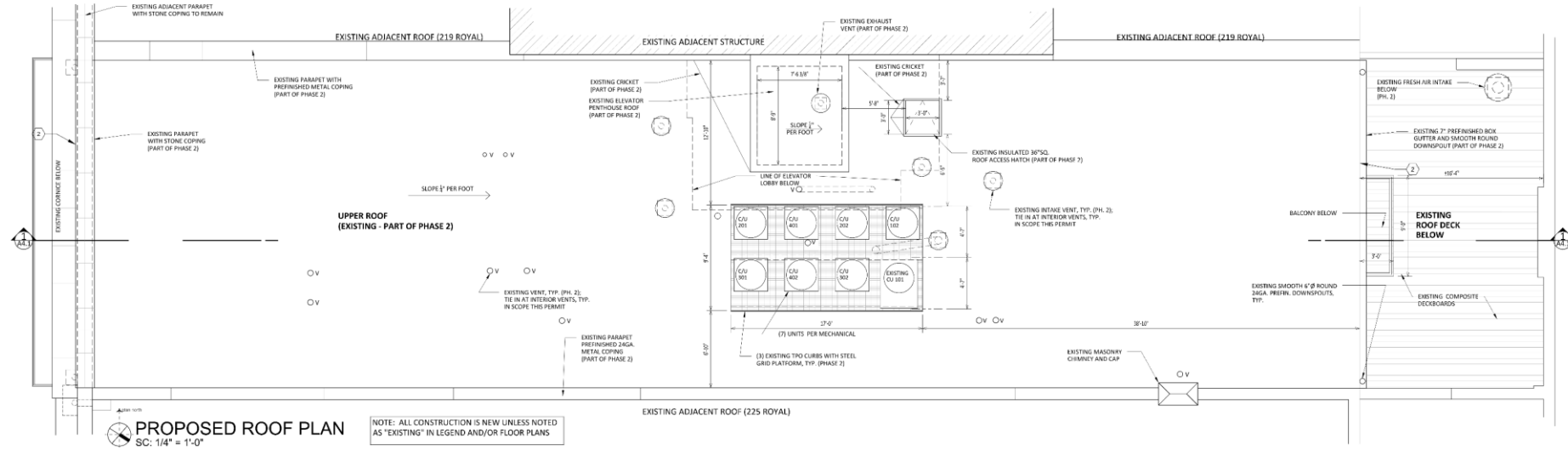
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3.23.2020	A2.3
2.26.2020 REVISION	
LKH1225	







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12-23-2020	
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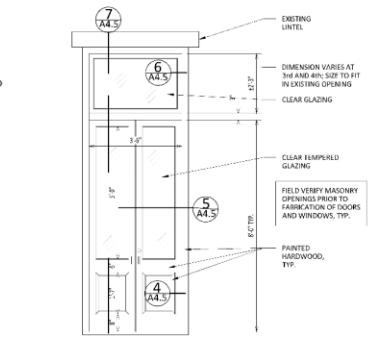
February 24, 2026





**EXISTING / DEMOLITION FRONT ELEVATION**  
SC: 1/4" = 1'-0"

**PROPOSED FRONT ELEVATION**  
SC: 1/4" = 1'-0"



**TYP. NEW FRENCH DOOR ENLARGED ELEVATION**  
SC: 1/2" = 1'-0"

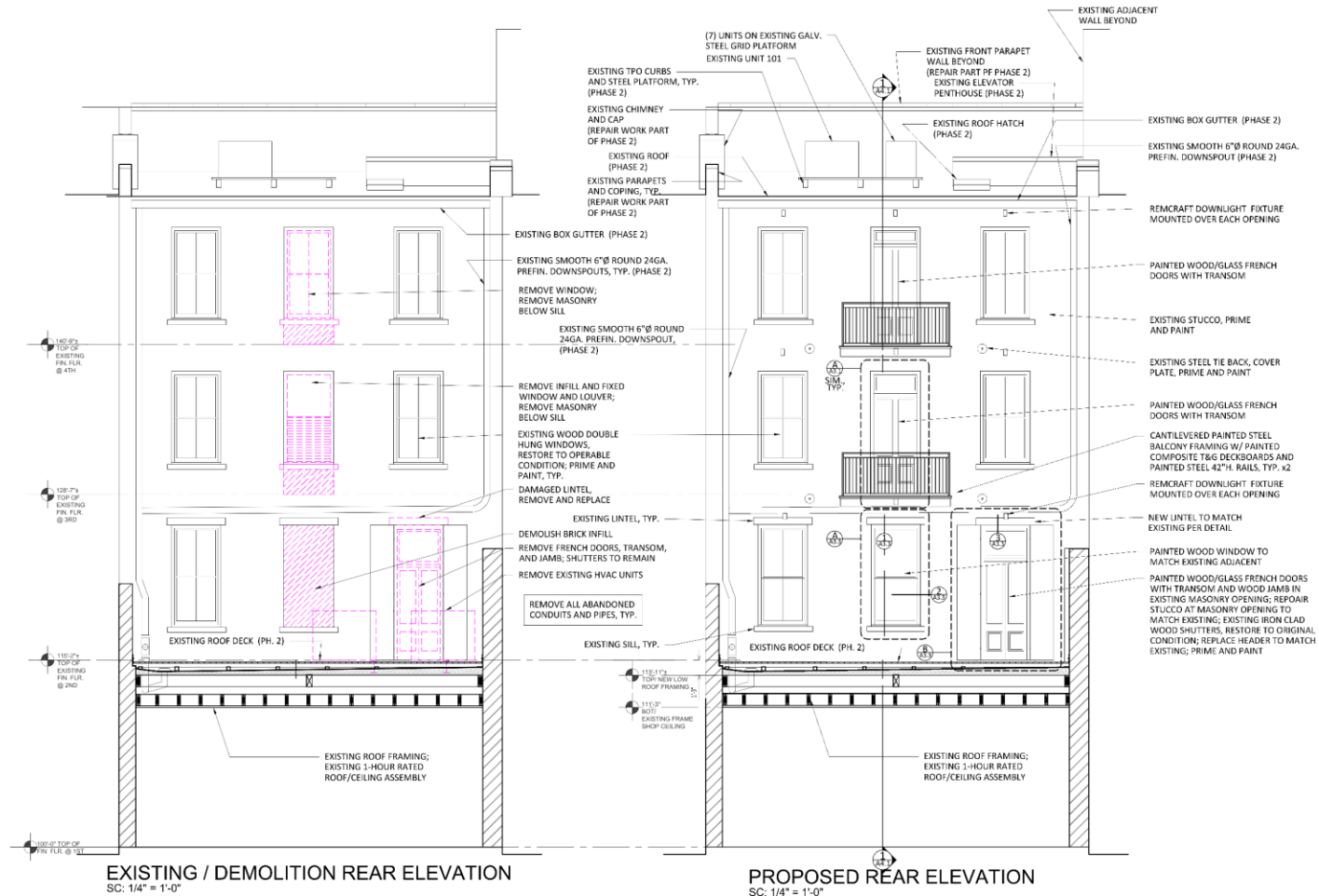


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12-28-2025	A3.1
12-28-2025	
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SCALE: 1/4" = 1'-0"



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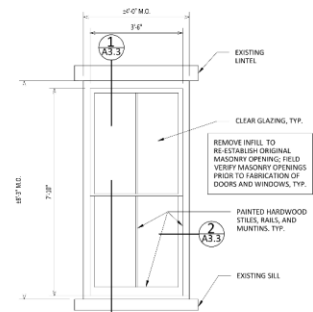
03.24.2025  
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**A3.2**  
LK101225  
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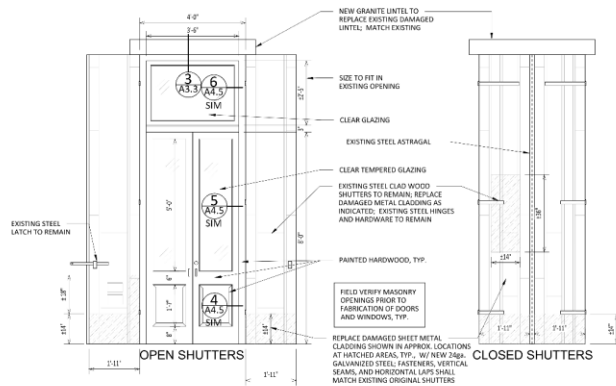
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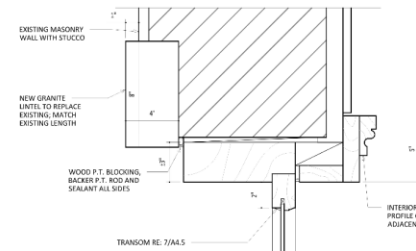




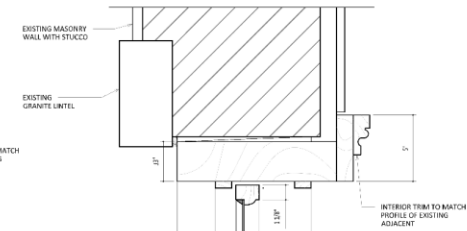
**NEW WINDOW ENLARGED ELEVATION**  
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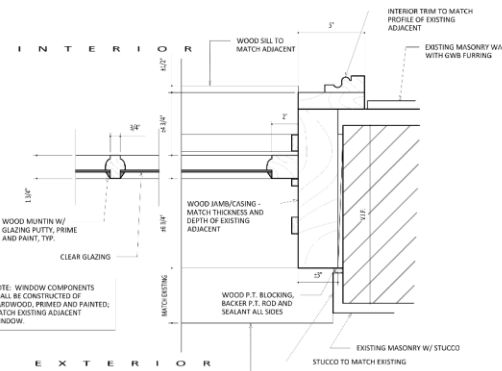
**NEW FRENCH DOOR ENLARGED ELEVATION**  
SC: 1/2" = 1'-0"



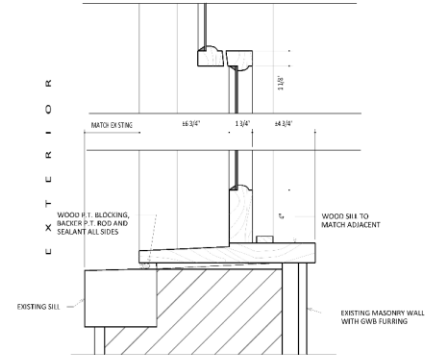
**NEW LINTEL DETAIL**  
SC: 3" = 1'-0"



**WINDOW VERTICAL SECTION**  
SC: 3" = 1'-0"



**WINDOW AND MUNTIN JAMB DETAIL**  
SC: 3" = 1'-0"



**WINDOW VERTICAL SECTION**  
SC: 3" = 1'-0"

2024-2025 Vieux Carré Commission



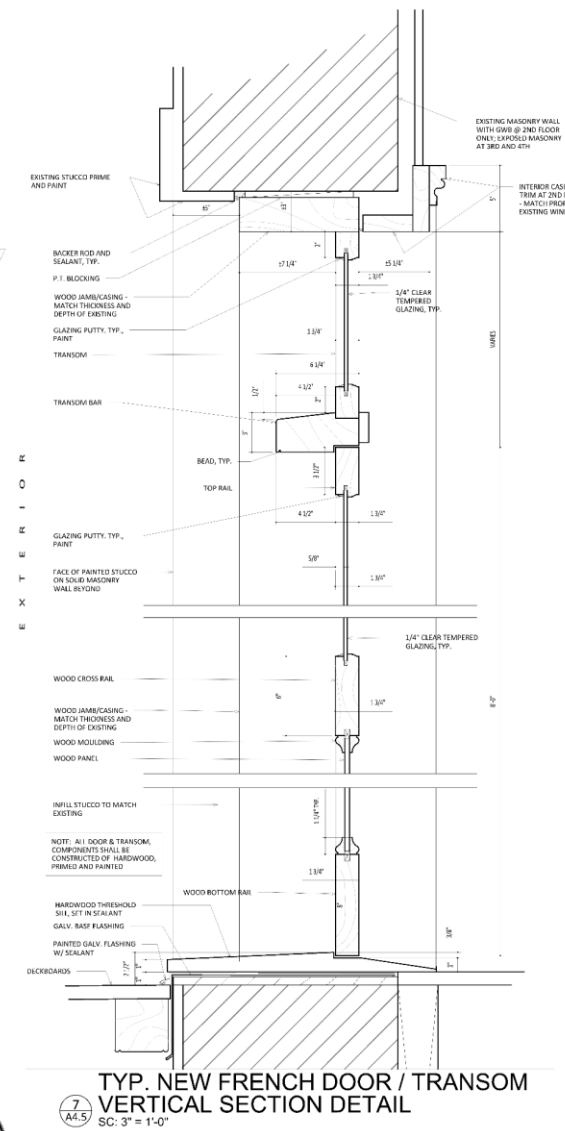
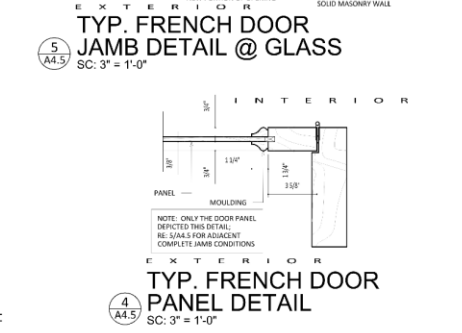
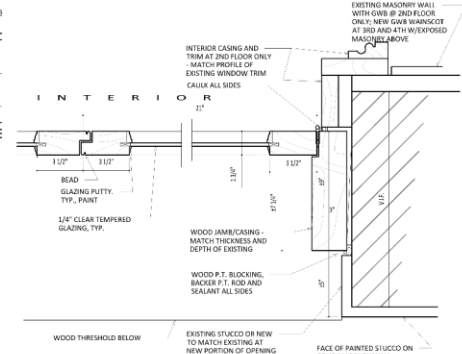
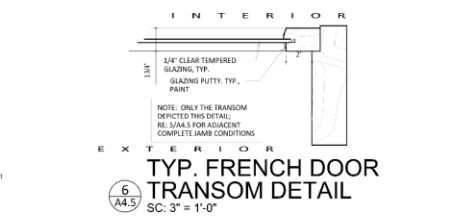
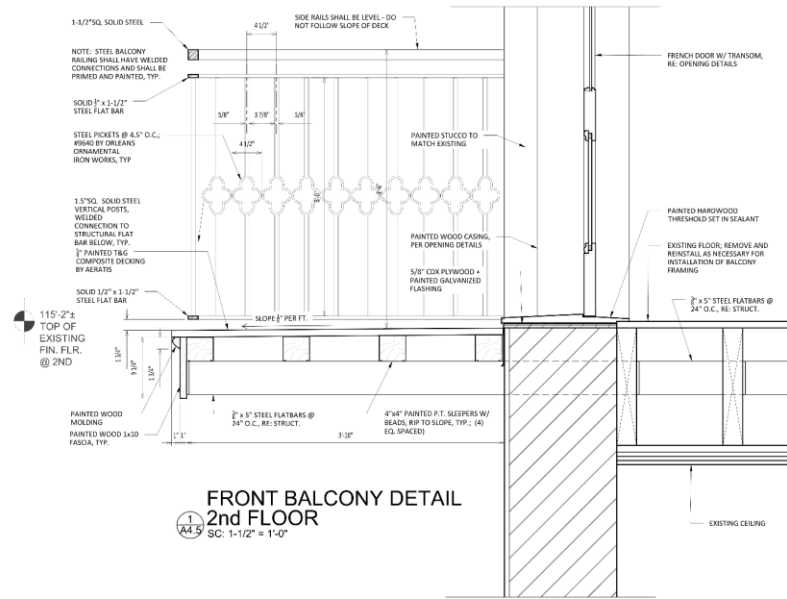
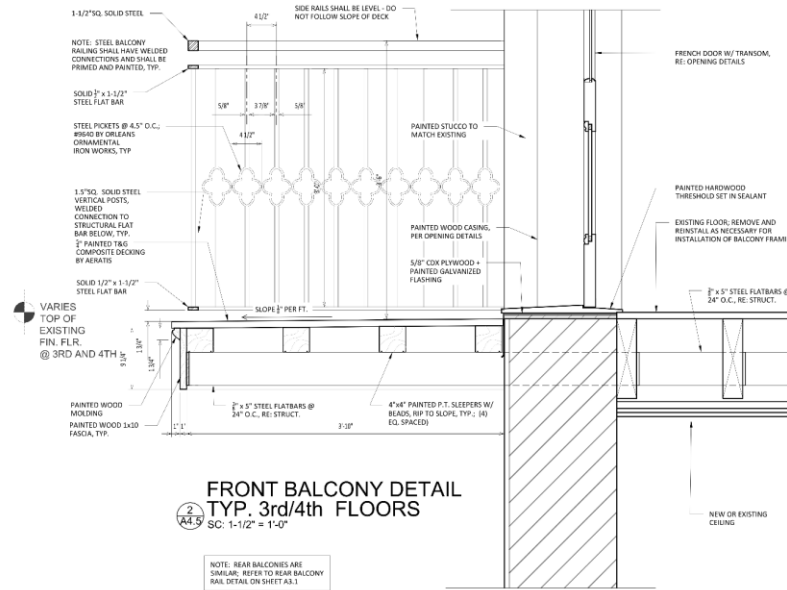
221 - 223 ROYAL STREET  
RENOVATION - PHASE 3  
New Orleans, LA 70130

**LKHarmon Architects**  
A Professional Architecture Corporation  
6239 Arques Boulevard  
New Orleans, Louisiana 70114  
504.485.8870 harmon@lkharm.com

11.23.2025	A3.3
1.20.2025	
	LKH1225







221 - 223 ROYAL STREET  
RENOVATION - PHASE 3  
New Orleans, LA 70130

**LKHarmon Architects**  
A Professional Architecture Corporation  
6239 Arapicosa Boulevard  
New Orleans, Louisiana 70124  
504.686.8870 harmon@lkharmonty.com

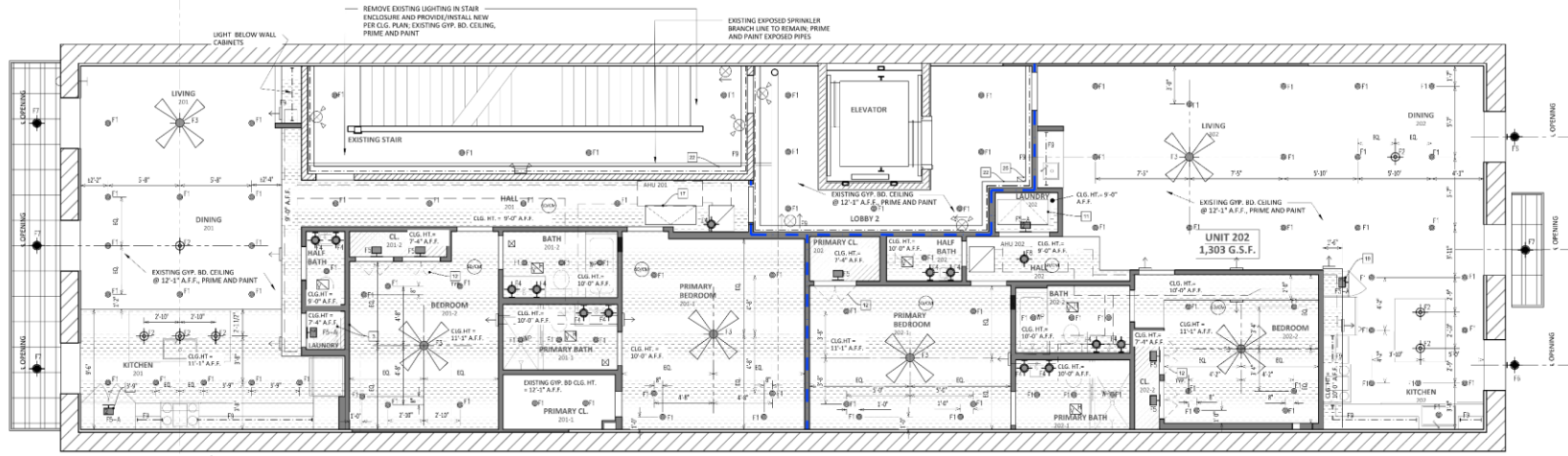
3.13.2021  
3.20.2023 06:57

A4.5

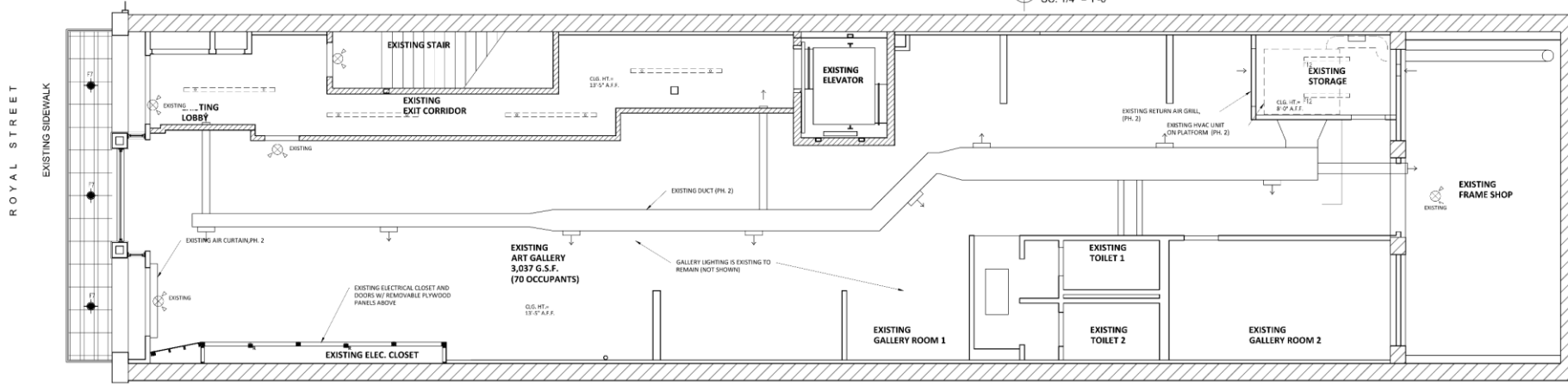
LKH#1225

© 2020 LKHarmonArchitects, sptd





PROPOSED 2nd FLOOR CEILING PLAN  
SC: 1/4" = 1'-0"



PROPOSED 1st FLOOR CEILING PLAN  
SC: 1/4" = 1'-0"

**CEILING PLAN LEGEND:**

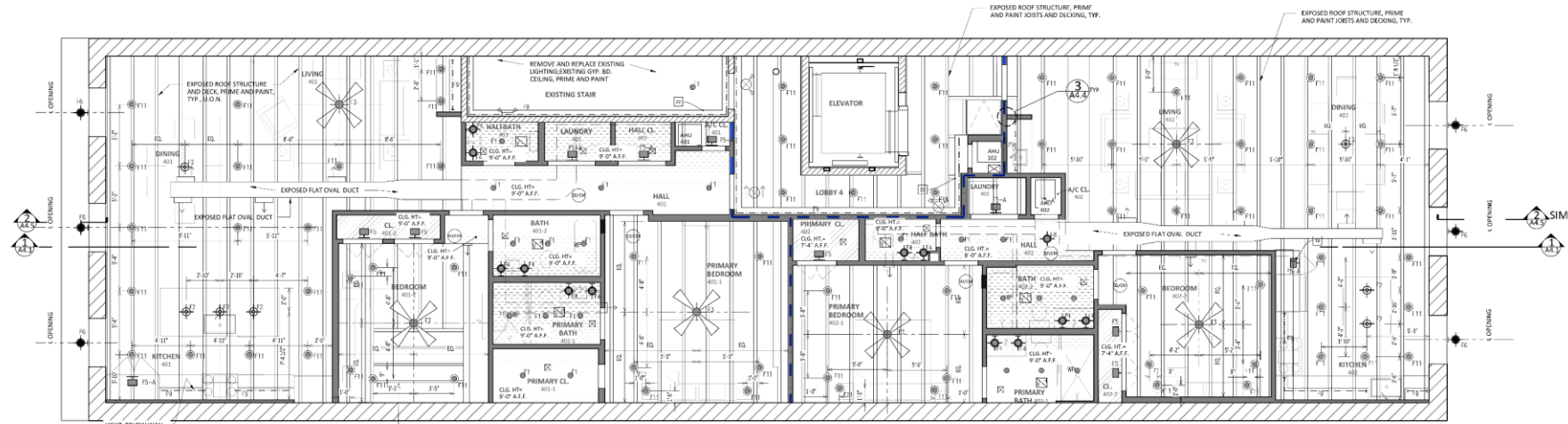
<p>75 WALL MOUNTED L.E.D. CLOSET FIXTURE</p> <p>76 WALL MOUNTED DOOR LATCH ACTIVATED L.E.D. CLOSET FIXTURE</p> <p>11 L.E.D. SURFACE MOUNTED CAN FIXTURE</p> <p>77 L.E.D. SURFACE MOUNTED FIXTURE WITH EXPOSED HOUSING MOUNTED TO STRUCTURE</p> <p>78 L.E.D. STRIP UNDER CABINET OR CEILING COVER</p>	<p>74 SURFACE (WALL MOUNTED) L.E.D. FIXTURE SELECTED BY OWNER</p> <p>72 PENDANT L.E.D. FIXTURE SELECTED BY OWNER</p> <p>73 SURFACE (CEILING MOUNTED) L.E.D. FIXTURE SELECTED BY OWNER</p> <p>70 EXTERIOR GRADE REMOCAST SERIES 200 WALL MOUNTED DOWNLIGHT FIXTURE</p> <p>71 EXTERIOR GRADE REMOCAST SERIES 100 CEILING / LIGHT MOUNTED DOWNLIGHT FIXTURE</p>	<p>ILLUMINATED EXIT SIGN (SEE EMERGENCY LIGHT PLAN FOR DIRECTIONAL ARROWS) NEW TYP., UNLESS EXISTING TO REMAIN PER EXISTING DEMOLITION PLANS</p> <p>ILLUMINATED EXIT SIGN (SEE PLAN FOR DIRECTIONAL ARROWS) NEW TYP., UNLESS EXISTING TO REMAIN PER EXISTING DEMOLITION FLOOR PLANS</p> <p>WALL RECESSED EMERGENCY LIGHT WITH BACKUP BATTERY, NEW TYP., UNLESS EXISTING TO REMAIN PER EXISTING DEMOLITION FLOOR PLANS</p> <p>SIDEWALL DIFFUSER, RE. MECH.</p>	<p>CEILING DIFFUSOR, RE. MECH.</p> <p>RETURN AIR GRILL, RE. MECH.</p> <p>COMBINATION HEATER &amp; MECHANICAL EXHAUST VENT DUCTED TO EXTERIOR</p> <p>SMOKE AND CARBON MONOXIDE DETECTOR HANDWIRED TO BUILDING ELECTRIC</p>	<p>RE FLOOR PLAN / CEILING PLAN KEYNOTES, SHEET A-1.1</p> <p>FIXTURE WITH WATER RESISTANT COVER SUITABLE FOR WET LOCATIONS</p> <p>FAN WITH LIGHT</p> <p>EXISTING 6" L. SURFACE MOUNTED L.E.D. STRIP</p> <p>EXISTING 1/2" LINEAR PENDANT L.E.D. STRIP</p>	<p>NEW OR EXISTING GYPSUM BOARD CEILING AT HEIGHT INDICATED. REFER TO EXISTING CEILING ASSEMBLY FIRE RATING DETAILS, PRIME AND PAINT. USE MOISTURE AND MOLD RESISTANT GYP. BOARD AT BATHROOMS)</p> <p>NEW GYPSUM BOARD CEILING FOUR DOWN, "102" OVERALL SUSPENSION SYSTEM OR 60" GYPSUM BOARD CEILING AT HEIGHT INDICATES PRIME AND PAINT. (SEE OPTION TO USE THE FRAMING TO DROP CEILING WITH SPANS LESS THAN 4')</p> <p>NEW 1" GYPSUM BOARD CEILING ATTACHED DIRECTLY TO REST OF NEW GYM ATIC PLATFORM FLOOR FRAMING, PRIME AND PAINT, FINISHED ATIC STORAGE ABOVE</p>
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221 - 223 ROYAL STREET  
RENOVATION - PHASE 3  
New Orleans, LA 70130

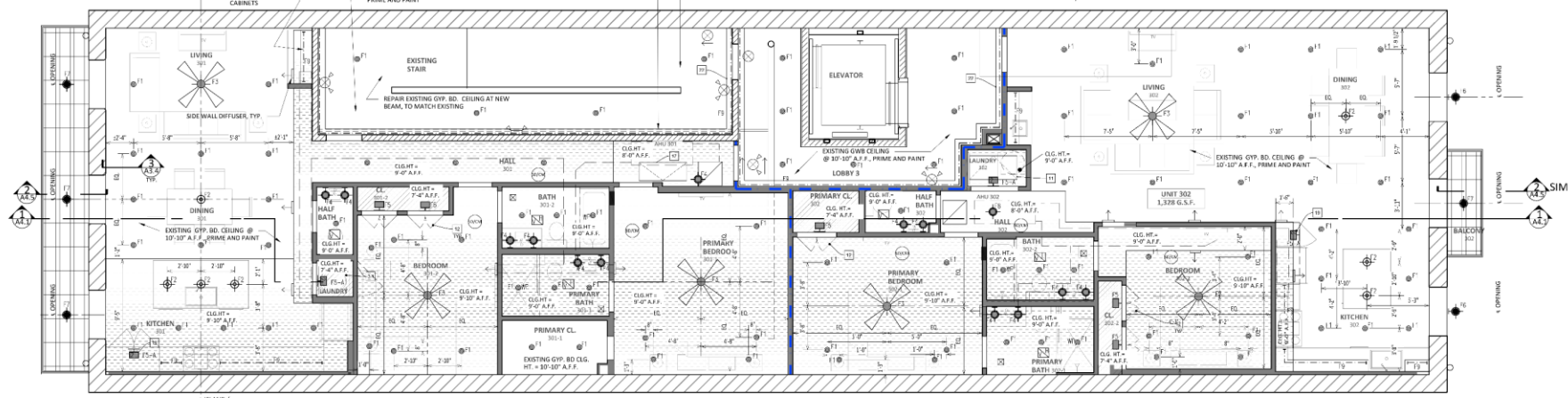
**LKHarmon Architects**  
A Professional Architectural Corporation  
6239 Armande Boulevard  
New Orleans, Louisiana 70114  
504.485.5870 [harmon@lkharmont.com](mailto:harmon@lkharmont.com)

DATE: 2/23/2025  
DRAWN BY: JAC  
SCALE: A5.1  
PROJECT: 221-223 ROYAL STREET  
LKH1225





PROPOSED 4th FLOOR CEILING PLAN  
 SC: 1/4" = 1'-0"



PROPOSED 3rd FLOOR CEILING PLAN  
 SC: 1/4" = 1'-0"

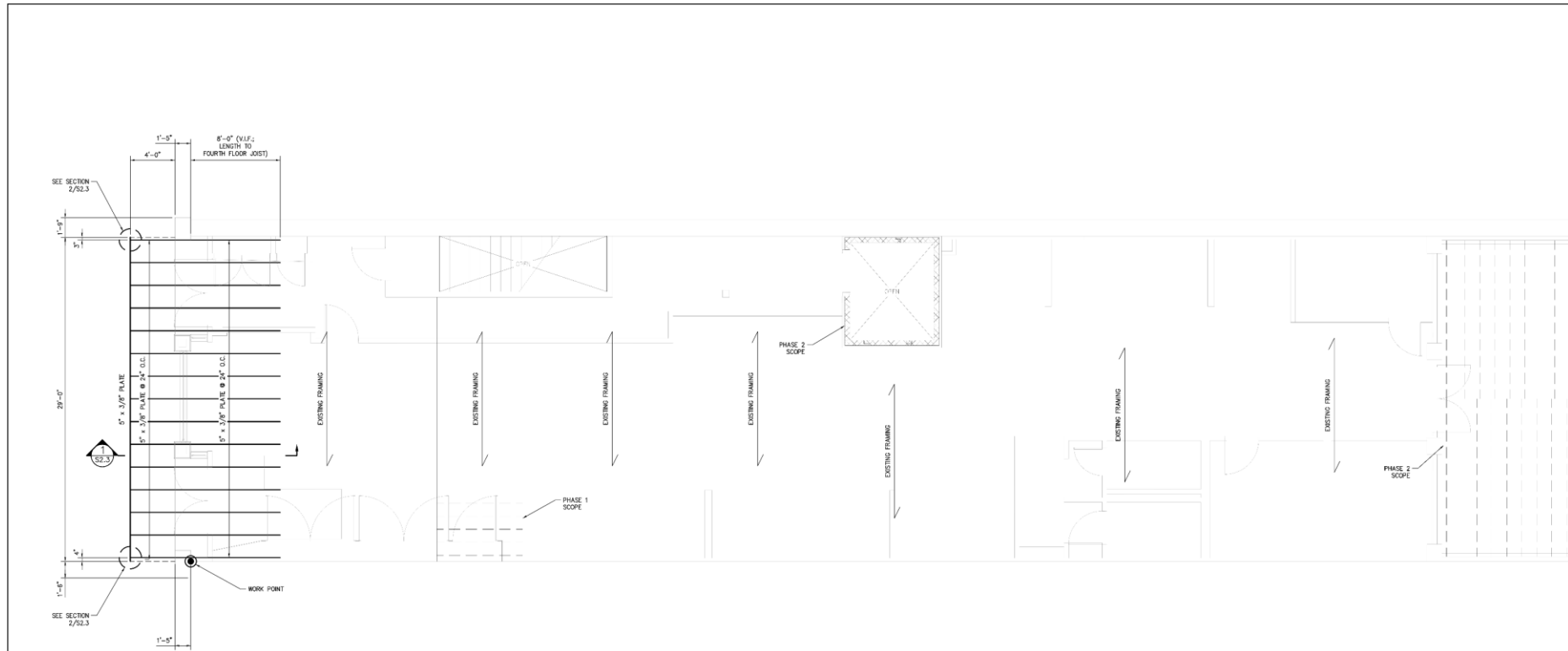


221 - 223 ROYAL STREET  
 RENOVATION - PHASE 3  
 New Orleans, LA 70130

**LKH**harmon Architects  
 A Professional Architectural Corporation  
 6238 Argonne Boulevard  
 New Orleans, Louisiana 70134  
 504.430.0910 [info@lkhharmon.com](mailto:info@lkhharmon.com)

12.28.2025  
 12.28.2025  
**A5.2**  
 LKH#1225





SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. FOR ALL NOTES, SEE DRAWINGS S1.0A - S1.0B.
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
3. MEASUREMENTS ARE TO EDGE OF FRAMING. SEE ARCHITECTURAL DRAWINGS FOR FINISHED DIMENSIONS.
4. UNLESS SHOWN ON PLANS, SEE WOOD FRAMING NOTES FOR HEADER SIZING.



**AXIS ENGINEERING**  
 CIVIL & STRUCTURAL  
 2000 N. CAUSCHY BLVD., 3RD. FLOOR, METairie, LA 70002  
 504.383.0800 OFFICE • INFO@AXISENGR.COM • ENR

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL, AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK.

ENGINEER: JAMES B. HEADUP AS PROJECT # 19113  
 LICENSE NUMBER: 31593

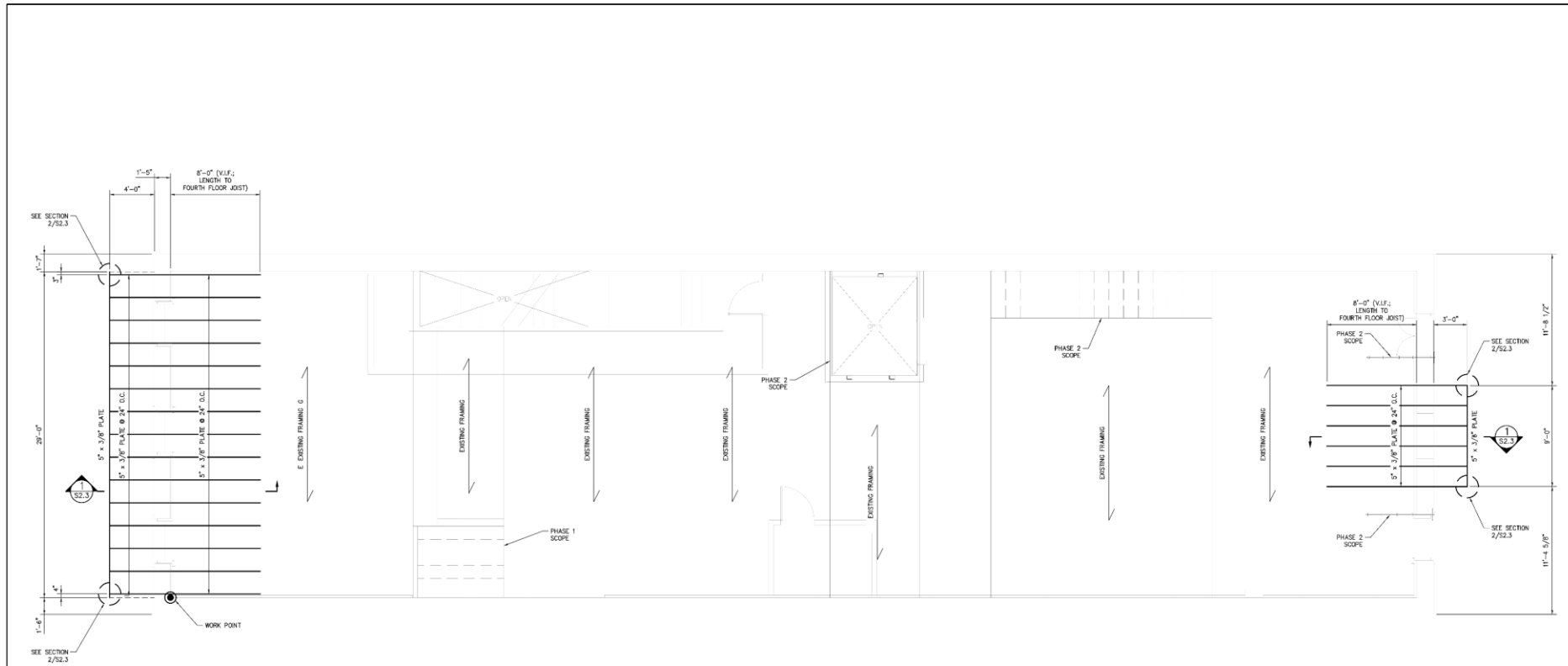
221-23 ROYAL STREET  
 RENOVATION: PHASE 3  
 New Orleans, LA 70130



**LKHarmont Architects**  
 A Professional Architectural Corporation  
 6230 Argoonne Boulevard  
 New Orleans Louisiana 70124  
 504.485.5870 harmont@lkharmontarchitects.com

12/13/2023	
	S2.0
	LKH#1225





THIRD FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. FOR ALL NOTES, SEE DRAWING S1.0.
2. FOR ALL OTHER PLAN NOTES, SEE DRAWING S2.0.



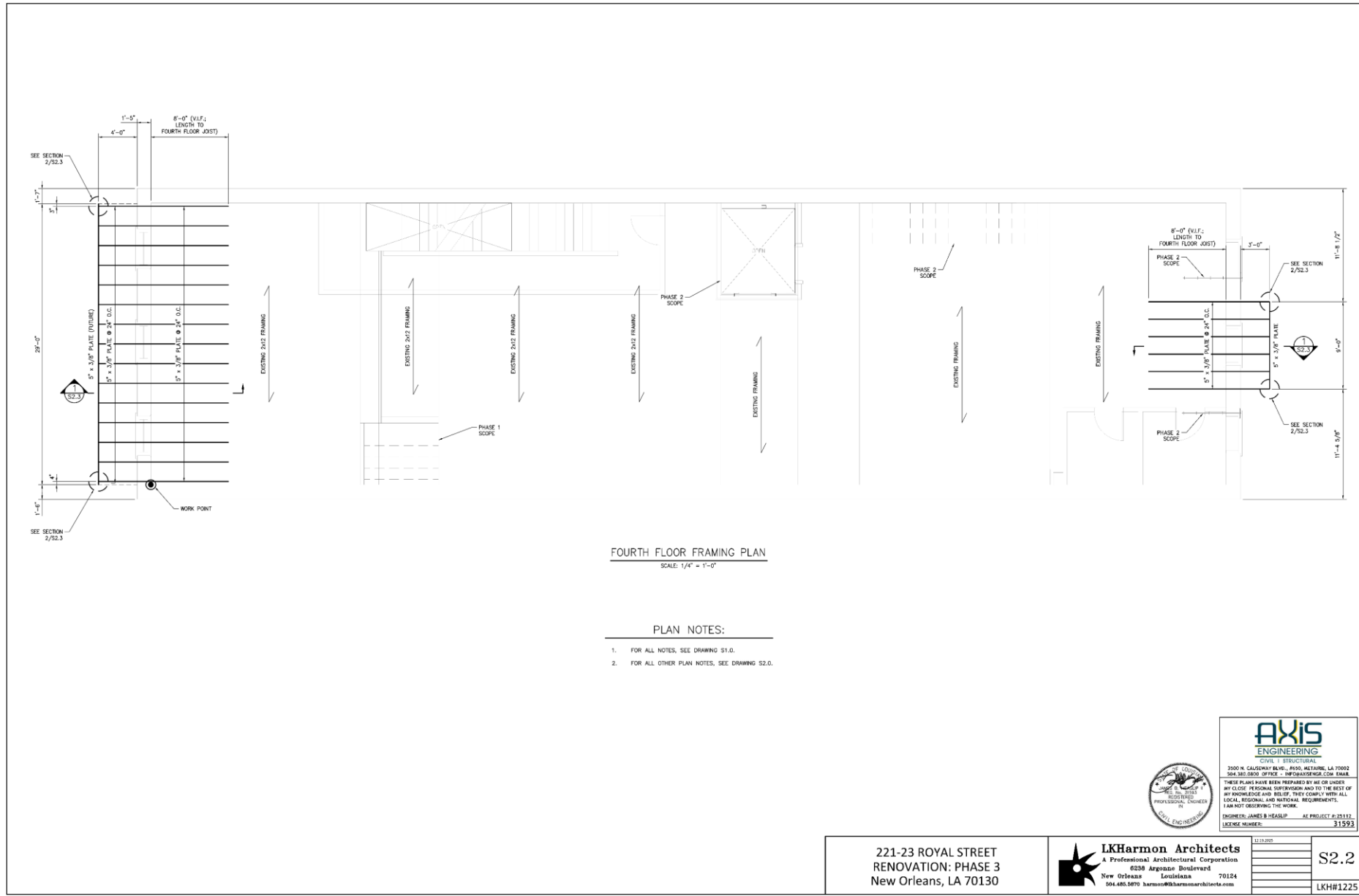
**AXIS ENGINEERING**  
 CIVIL & STRUCTURAL  
 3300 N. CAUSEWAY BLVD., #650, METAIRIE, LA 70002  
 504.883.0800 OFFICE • 504.883.0808 FAX  
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 ENGINEER: JAMES B. MEASLIP    AE PROJECT # 215117  
 LICENSE NUMBER: 31593

221-23 ROYAL STREET  
 RENOVATION: PHASE 3  
 New Orleans, LA 70130

**LKHarmon Architects**  
 A Professional Architectural Corporation  
 8238 Armande Boulevard  
 New Orleans, Louisiana 70124  
 504.485.8870 harmon@lkharmearchitects.com

12.28.2025	
	S2.1
	LKH#1225





**FOURTH FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**PLAN NOTES:**

1. FOR ALL NOTES, SEE DRAWING S1.0.
2. FOR ALL OTHER PLAN NOTES, SEE DRAWING S2.0.



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 2000 N. CAUSCHY BLVD., 3RD. FLOOR, METairie, LA 70002  
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THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL LOCAL, REGIONAL, AND NATIONAL REQUIREMENTS. I AM NOT OBSERVING THE WORK.

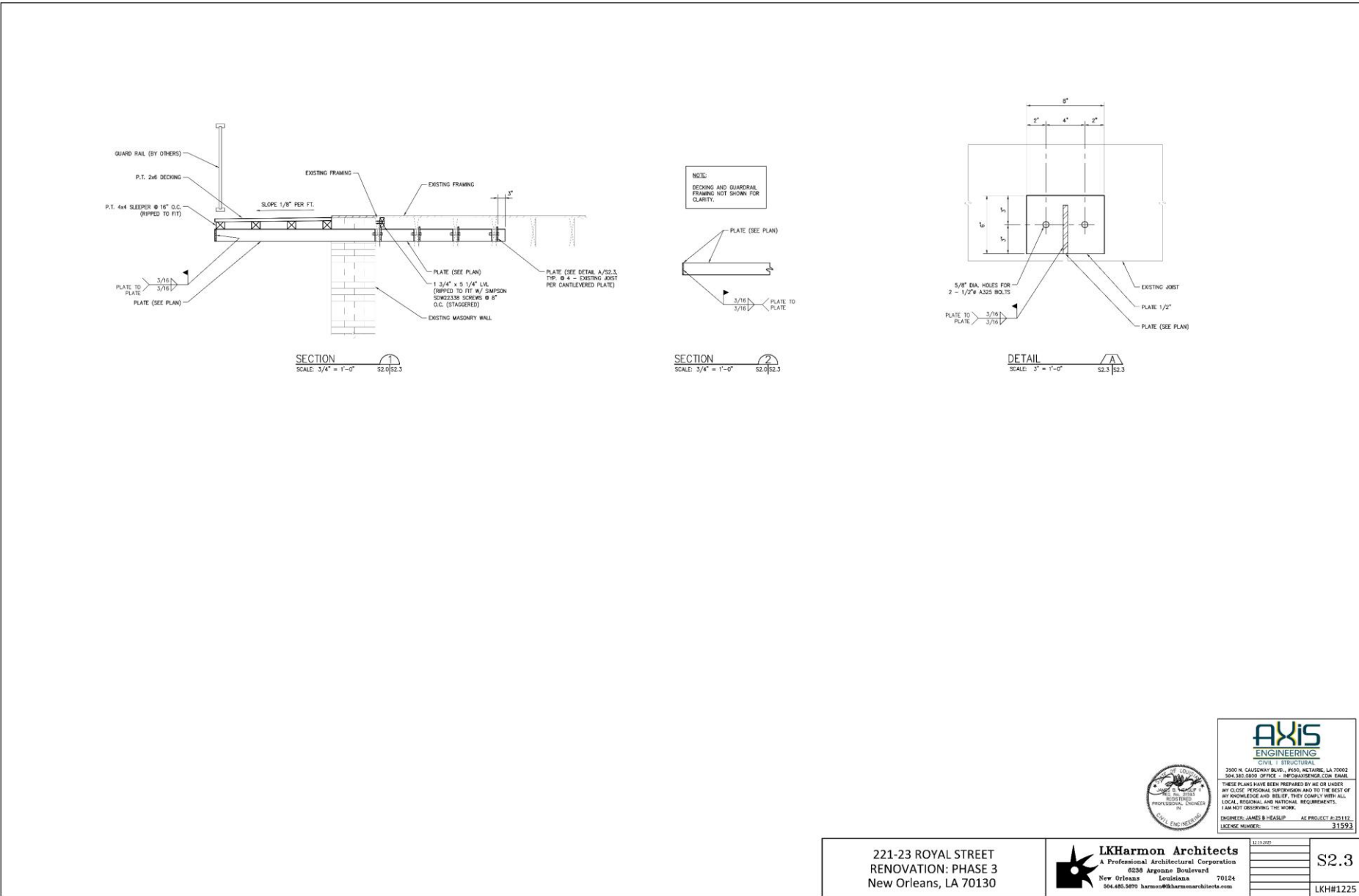
ENGINEER: JAMES B. HEARN, PE AS PROJECT # 19113  
 LICENSE NUMBER: 31593

221-23 ROYAL STREET  
 RENOVATION: PHASE 3  
 New Orleans, LA 70130



12/13/2023	<b>S2.2</b>
LKH#1225	



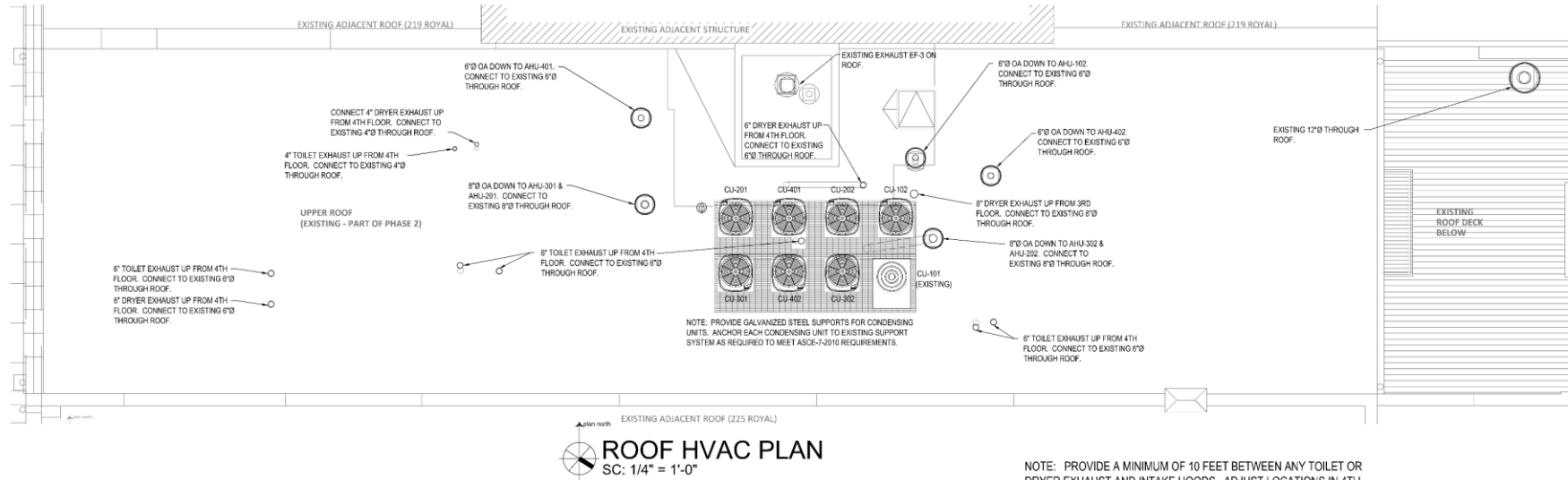


221 Royal – phase 3

Vieux Carré Commission

February 24, 2026





221-23 ROYAL STREET  
RENOVATION: PHASE 3  
New Orleans, LA 70130



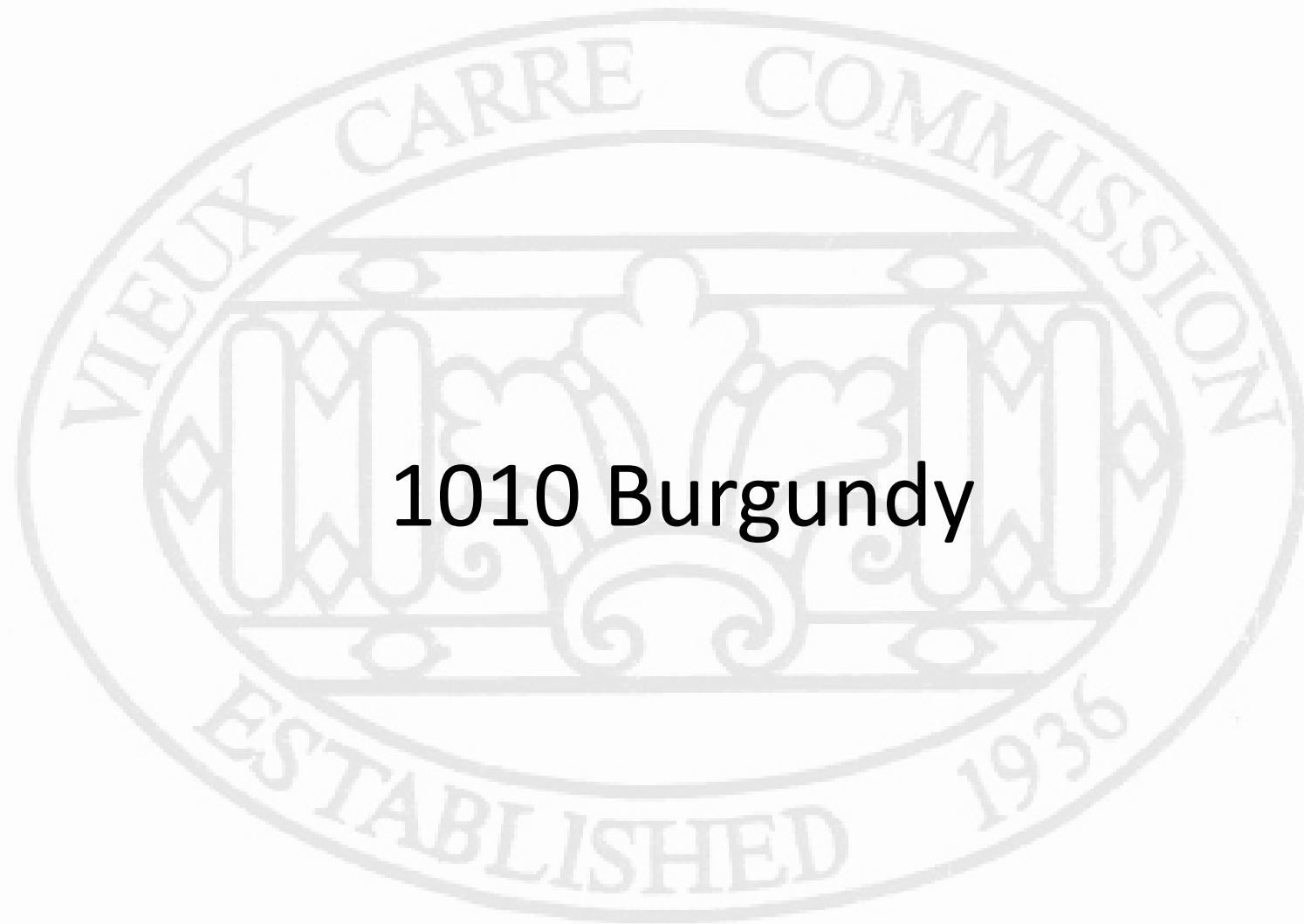
**LKHARMON ARCHITECTS**  
A Professional Architectural Corporation  
6539 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.486.8870    hermon@lkharmonarhitects.com

NOTE: DRAWING SCALES INDICATED ARE VALID ONLY IF PRINTED ON 24"x36" SHEETS.

03.26.2025	<b>M6</b>
LKH#1225	

© 2025 LKHARMON ARCHITECTS, APC





**1010 Burgundy**

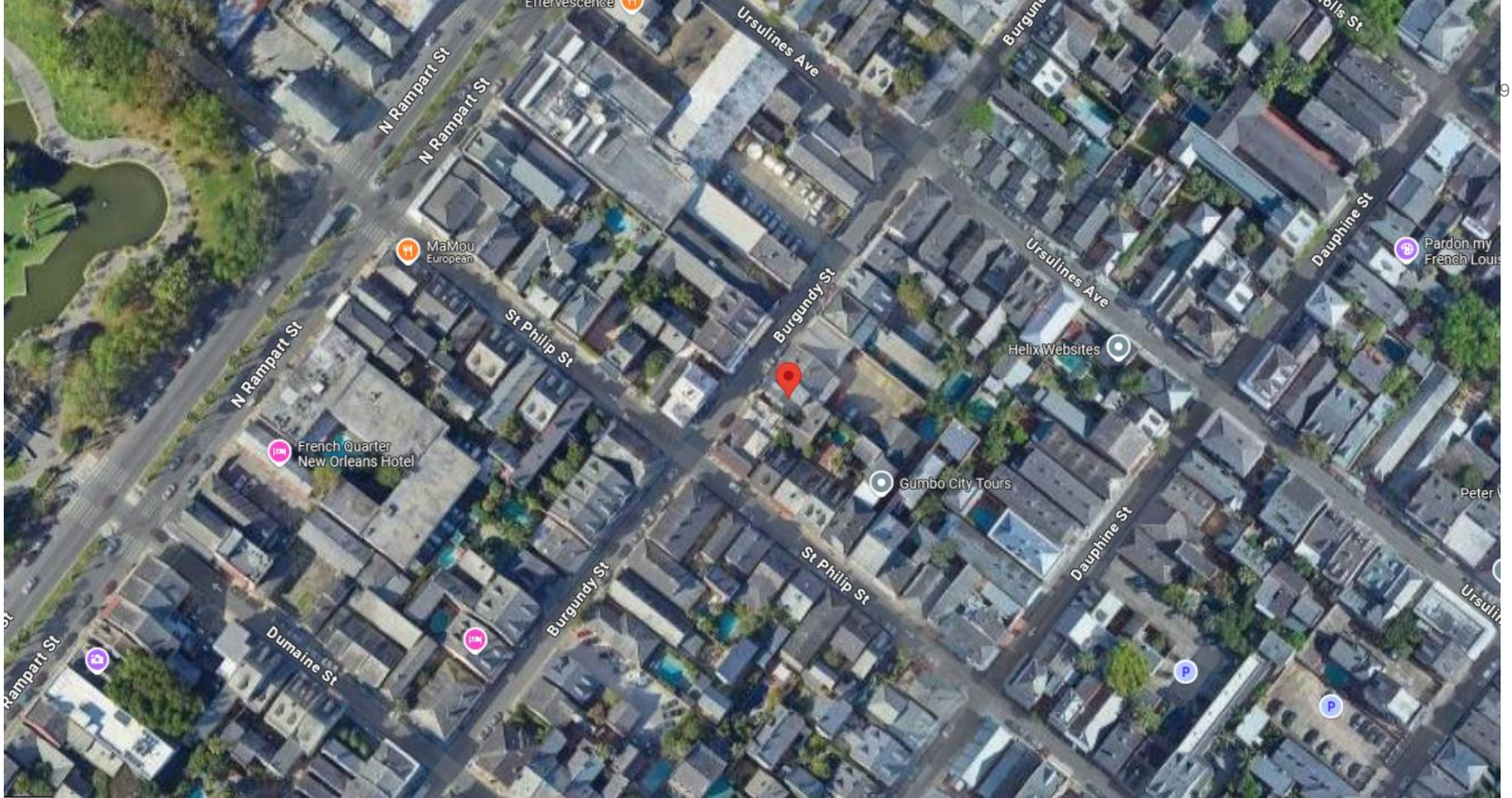


1010 Burgundy

Vieux Carré Commission

February 24, 2026





1010 Burgundy

Vieux Carré Commission

February 24, 2026





1010 Burgundy

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February 24, 2026





1010 Burgundy – ca. 1940s – 50s

Vieux Carré Commission

February 24, 2026





1010 Burgundy – 1963

Vieux Carré Commission

February 24, 2026





1010 Burgundy

Vieux Carré Commission

February 24, 2026





1010 Burgundy – 2016

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February 24, 2026





1010 Burgundy

Vieux Carré Commission

February 24, 2026





1010 Burgundy

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February 24, 2026





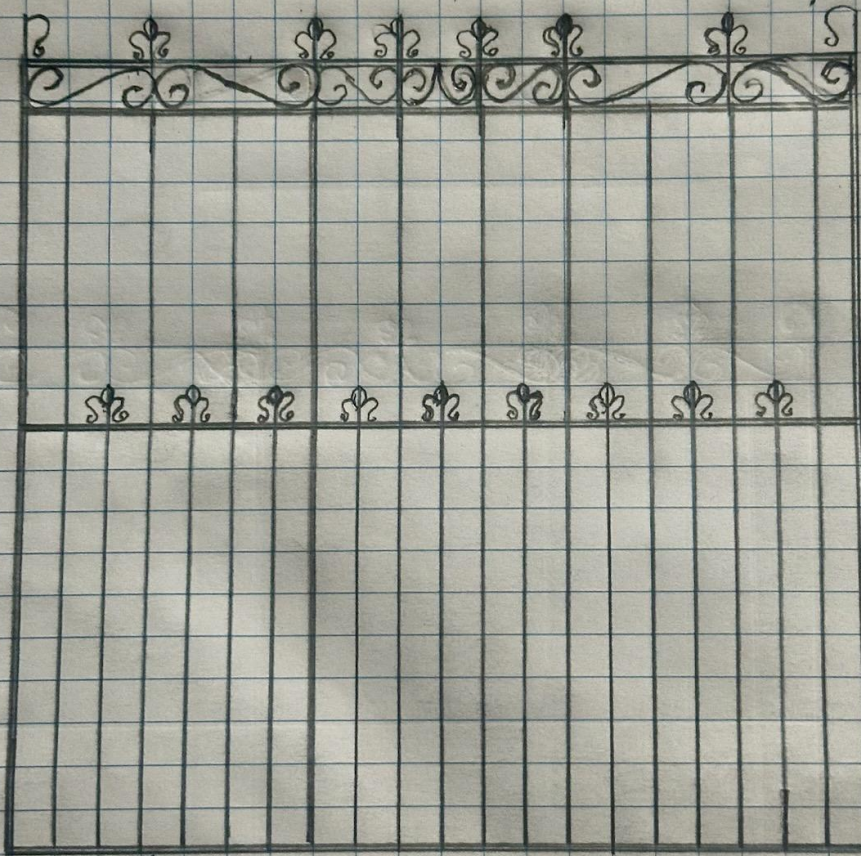
1010 Burgundy

Vieux Carré Commission

February 24, 2026



Job 1010 Burgundy St



↑  
 (with built-in walkway Gate) 10' driveway gate

Andrew's Welding & Blacksmith Shop  
 Darryl A Reeves  
 1-29-2026



Brand: Lockey USA

3.8 ★★★★★ (415)

Lockey USA 2835JB Mechanical, Keyless Lever Lock, Jet Black



Color: Jet Black



Jet Black



Antique Br...



Bright Brass



**915 Dauphine**  
**(staff requests deferral)**



# New Business



**1140 Royal**



1140 Royal

VCC Architectural Committee

February 24, 2026





1140 Royal

VCC Architectural Committee

February 24, 2026





1140 Royal

VCC Architectural Committee

February 24, 2026





1140 Royal – Before 1895  
VCC Architectural Committee

February 24, 2026





1140 Royal

VCC Architectural Committee

12 04 2024

February 24, 2026





1140 Royal

VCC Architectural Committee

12 04 2024

February 24, 2026





1140 Royal

VCC Architectural Committee

February 24, 2026





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VCC Architectural Committee

February 24, 2026





1140 Royal  
VCC Architectural Committee

February 24, 2026





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VCC Architectural Committee

February 24, 2026





1140 Royal – Example Image  
VCC Architectural Committee

February 24, 2026





**1140 Royal**



1140 Royal – Before 1895  
VCC Architectural Committee

February 24, 2026



Lance Zaal  
1140 Royal Street  
New Orleans, LA 70116

10 December 2025

Greetings, Esteemed Vieux Carré Commission:

Please find the enclosed long overdue proposal to restore the elaborate 19-th century architectural design elements that once adorned this historic property. The project consists of four elements to be completed by Jeff Poree' Plastering LLC :

**1. Gallery Headers**

The ten headers above the windows from Royal to Governor Nicholls streets were once decorative and elaborate works of art that existed before circa 1885 and were removed between 1917 and 1920, during French Quarter's tenement period when the home served as tenements (and various businesses on the first floor). An elaborate floral pattern adorned the open vertical area of the header, which has been recreated using enhanced historic photos.

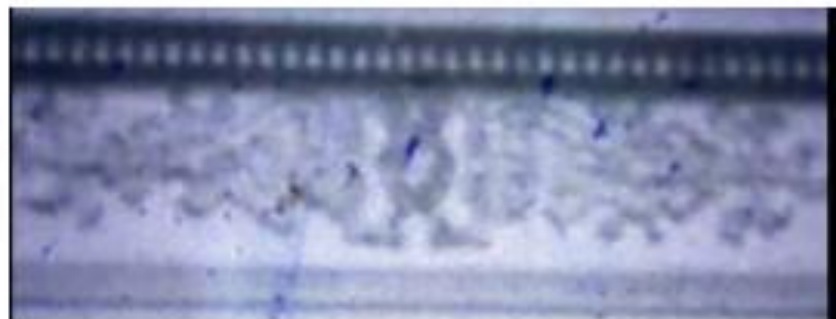


Recreated floral pattern





Recreated floral pattern



Governor Nicholls & Royal Street sides



Courtyard side on Governor Nicholls





1140 Royal

VCC Architectural Committee

February 24, 2026





View of  
House  
Detail



1140 Royal

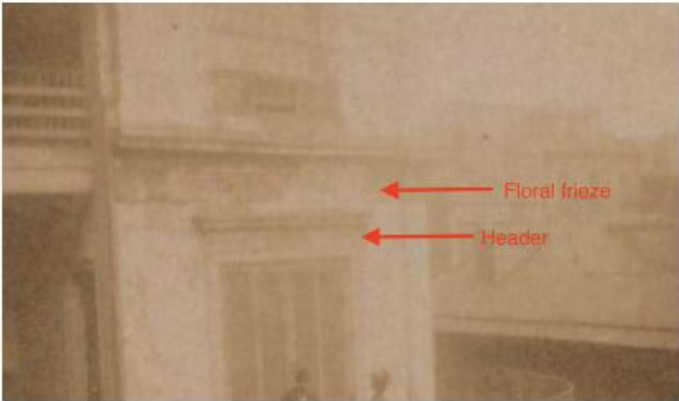
VCC Architectural Committee

February 24, 2026



**2. Courtyard Window Header**

In addition to the headers along the present day gallery windows on the second floor, a large header above the second floor window facing the courtyard was present, as was the continuation of the floral frieze pattern with rosette to complete the second floor design.



**3. Horizontal floral patterns**

Three historic floral patterns are missing and will be restored. The two on Governor Nicholls Street flanking the existing center piece were removed sometime between 1969 and 1974, as pre-1969 photos show the pattern. The third segment of the floral pattern extends to the courtyard and the frame where it existed remains – but the pattern is not.





1941



1965

In the 1965 photo, you can see the floral pattern partially destroyed:



#### 4. Rosettes

The three rosettes include two completely missing rosettes (one on Governor Nicholls and one facing the courtyard), and the restoration of one that is barely visible on the corner of Royal and Governor Nicholls

Thank You,

  
Lance Zaal

1140 Royal

VCC Architectural Committee

February 24, 2026





1140 Royal

VCC Architectural Committee

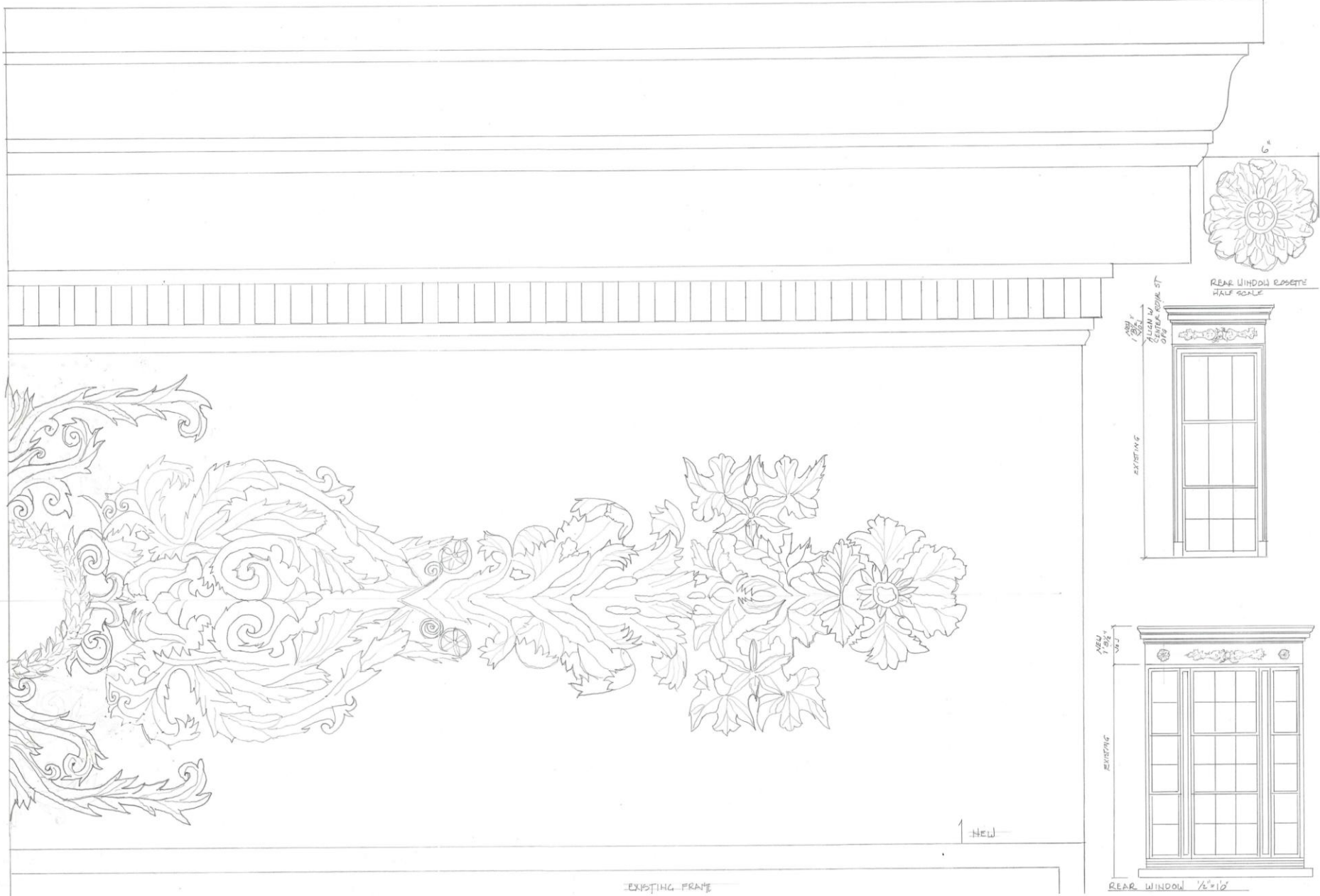
From 1838 lawsuit

February 24, 2026





**Koch and Wilson Architects**  
A Professional Corporation (504) 581-7023  
1100 Jackson Avenue, New Orleans, LA 70130  
architects@kochandwilson.com



**1140 Royal**  
VCC Architectural Committee

Project: 1140 ROYAL ST

Proj. No.:	1140
Rev.:	2/24/2025
Drawn:	2/25/2024
Checked:	2/25/2024
Approved:	

Sheet Title: Drawn:  
Sheet: 01 of 1

February 24, 2026



# Jeff Poree' plastering llc

4437 St. Louis Street New Orleans, La. 70119 ph 504-944-2855  
Cell 504-473-8413 Jporeeplastering@gmail.com

## Proposal

DATE: December 4, 2025  
TO: Mr. Lance Zaal  
1140 Royal St  
New Orleans, La.

JOB: Residence of Mr. Lance

Hi Lance,

We propose to furnish all labor, materials, and scaffolding necessary to:

-Restore the floral freeze pattern on the horizontal band above the two missing sections of the second floor on Governor Nicholls Street and extending around the corner of the building to the courtyard side, by copying existing pattern and reapplying them. This includes the installation of three rosettes on Governor Nicholls: two decaying rosettes to be replaced and one previously removed in the past

-Create and install ten headers above the exterior gallery windows according to early 20<sup>th</sup> and 19<sup>th</sup> century designs, including recreation of floral pattern in each header

-Restore single larger header above kitchen window facing the courtyard to historic standards (and floral freeze pattern above it)

The Scope of work will include renting of a large lift machine to use to reach the existing floral patterned stucco repeating band located above the second floor.

We will make a mold on the wall to cast in our shop, and at a later date install those pieces which are approximately two-foot square, again using the lift.

Inside the home is a window header that will serve as the model for the new exterior headers that are a model of the original headers, along with all of the photos and historic photos provided by the homeowner.

We will obtain measurements and cross sections to fabricate in "man made stone" the components of the headers to be installed on site from the lift machine.

The floral freeze sections at a contract amount of Fourteen thousand dollars & 00/100..... \$ 14,000.00

Headers (10) with historic floral patterns at a contract amount of twenty-one thousand

1140 Royal

VCC Architectural Committee

February 24, 2026





1140 Royal

VCC Architectural Committee

February 24, 2026





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February 24, 2026





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VCC Architectural Committee

February 24, 2026





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VCC Architectural Committee

February 24, 2026





1140 Royal  
VCC Architectural Committee

February 24, 2026



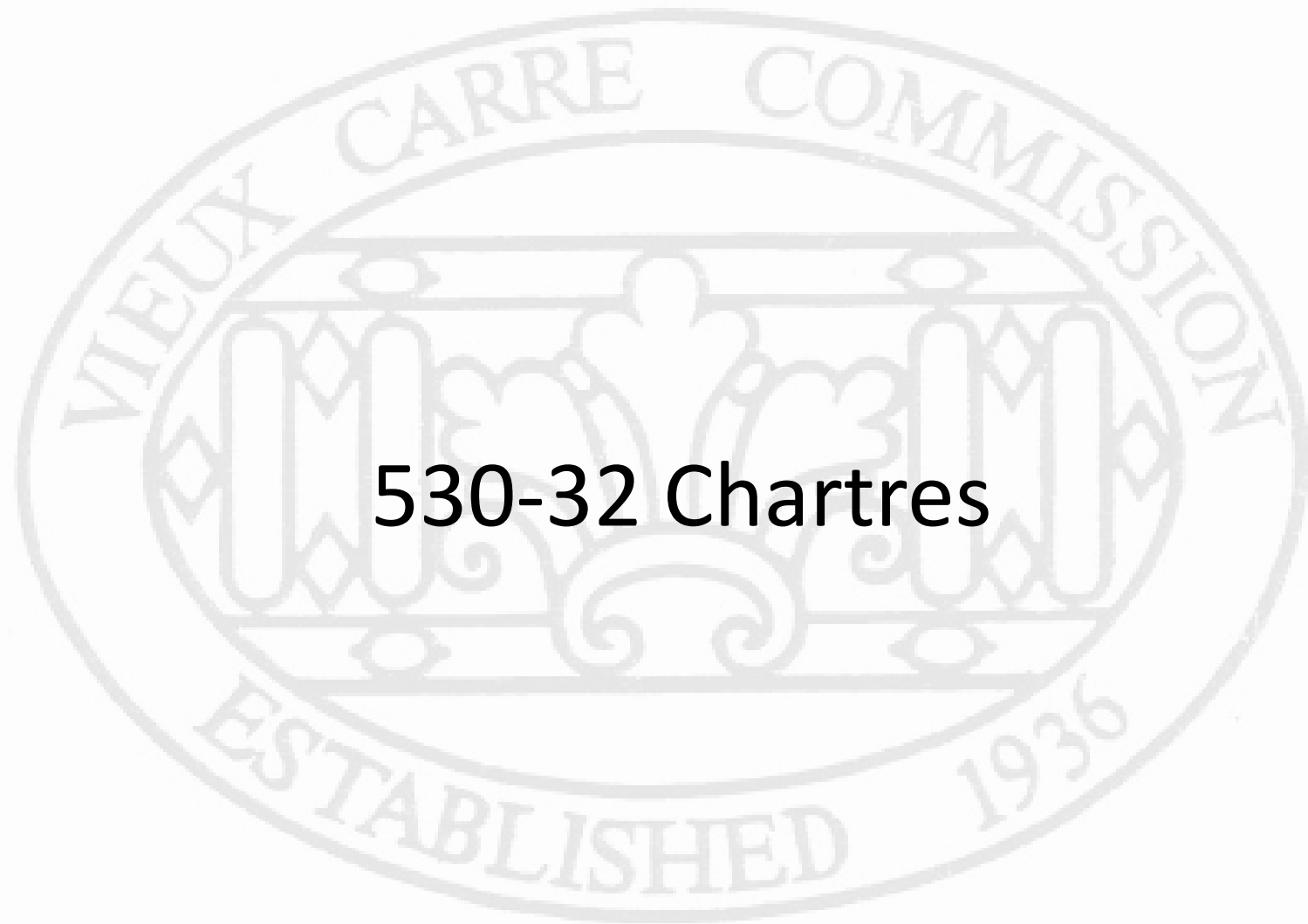


1140 Royal

VCC Architectural Committee

February 24, 2026





# 530-32 Chartres



530 Chartres

Vieux Carré Commission

February 24, 2026





530 Chartres

Vieux Carré Commission

February 24, 2026





530 Chartres

Vieux Carré Commission

February 24, 2026





530 Chartres

Vieux Carré Commission

February 24, 2026





530 Chartres

Vieux Carré Commission

February 24, 2026





530 Chartres

Vieux Carré Commission

February 24, 2026



Feb 23, 2026 at 11:34:04 AM

113



530 Chartres

Vieux Carré Commission

February 24, 2026



Feb 23, 2026 at 11:33:50 AM



530 Chartres

Vieux Carré Commission

February 24, 2026



# MARAIIS

CONSULTANTS

2018 JENA STREET | NEW ORLEANS, LA | 504.350.2644

115

February 9, 2026

**Subject: 530 Chartres Street – Masonry Repair on Rear Exterior Courtyard Wall**

I have visually inspected the rear wall, parallel to Chartres Street in the courtyard, at 530 Chartres Street on multiple occasions over the last two years. Within this small section of masonry wall there is a double door and arched window at each floor. A portion of the wall is covered by a side gallery that was enclosed at some time. It appears that the wall is a three-wythe masonry wall. The subject wall is highlighted below.



The masonry arches and window trim are failing in the exterior wythe above the 2<sup>nd</sup> and 3<sup>rd</sup> floor openings and there is a crack extending from the left side of the 1<sup>st</sup> floor opening. The area around the first floor opening is plastered and above this point the wall is painted brick. Investigation on the interior of the wall indicates that the disrepair is mainly on the exterior wythe. The center wythe condition is unknown.

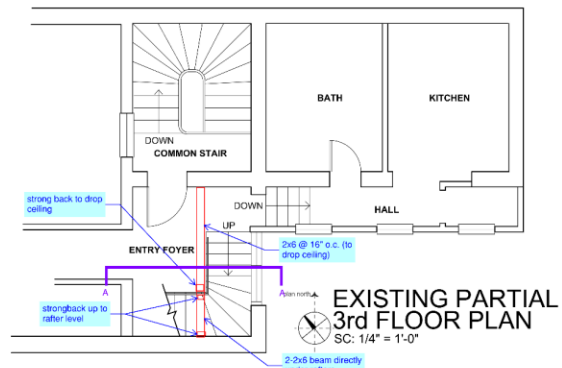
We recommend reconstructing the arches above the 2<sup>nd</sup> and 3<sup>rd</sup> floor openings and investigating around the cracking on the first floor. We also recommend tuckpointing on the sides of the openings as there has been some deterioration of the mortar in those areas. As work is progressing, we recommend an assessment of the condition of the center wythe and can determine any repair needed at that point. We have prepared a bracing plan to support the joists that are currently bearing on the wall during construction. If you have any questions, please contact me at (504) 350-2644 or at the email address below at your convenience.

Thank You,

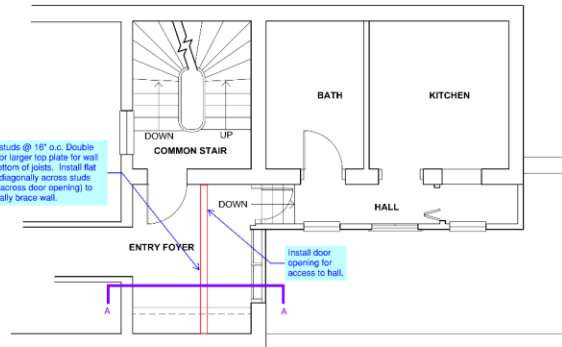
Jennifer Snape, PE  
Owner/Lead Designer  
[jenny@maraisconsultants.com](mailto:jenny@maraisconsultants.com)

[www.maraisconsultants.com](http://www.maraisconsultants.com)

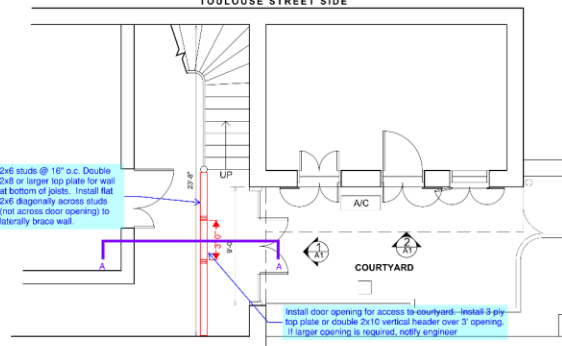
1/1



**EXISTING PARTIAL 3rd FLOOR PLAN**  
SC: 1/4" = 1'-0"

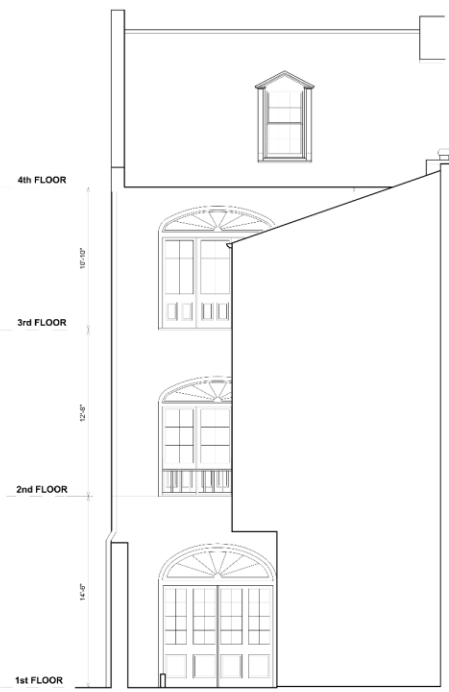


**EXISTING PARTIAL 2nd FLOOR PLAN**  
SC: 1/4" = 1'-0"

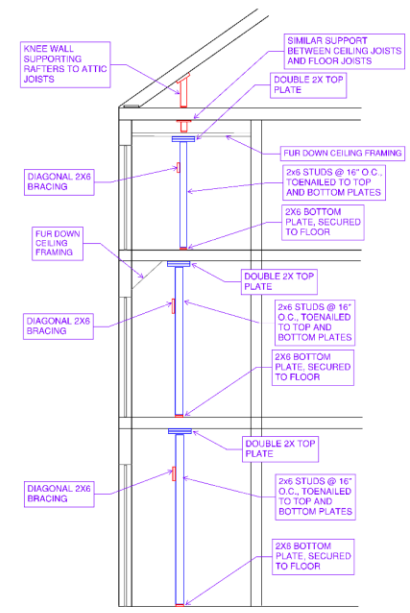


**EXISTING PARTIAL 1st FLOOR PLAN**  
SC: 1/4" = 1'-0"

ARCH expand D (24.00 x 36.00 Inches)



**REAR ELEVATION**  
SC: 1/4" = 1'-0"



**SECTION A**

**MARAIIS**  
CONSULTANTS, LLC  
2018 JFNA STREET  
NEW ORLEANS, LA 70115  
504.350.7644  
maraisconsultants.com



Floor plans by:  
**LKHarmon Architects**  
A Professional Architectural Corporation  
6238 Argonne Boulevard  
New Orleans, Louisiana 70124  
504.485.5870 harmon@lkharmosarchitects.com

Stamp applies to temporary bracing

11.25.2025  
**S1**  
LKH #5225



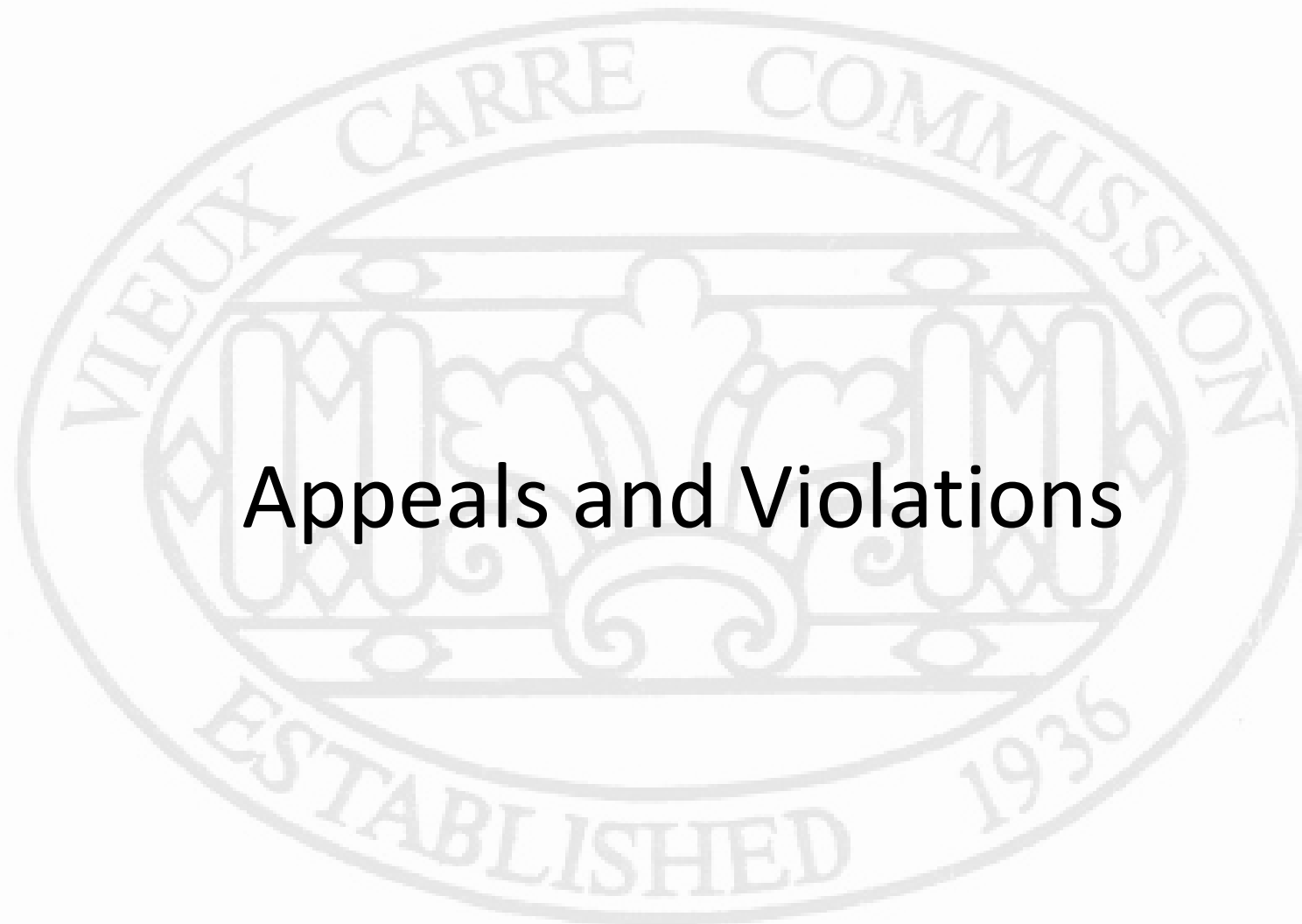


530 Chartres

Vieux Carré Commission

February 24, 2026





# Appeals and Violations



## 235 Chartres

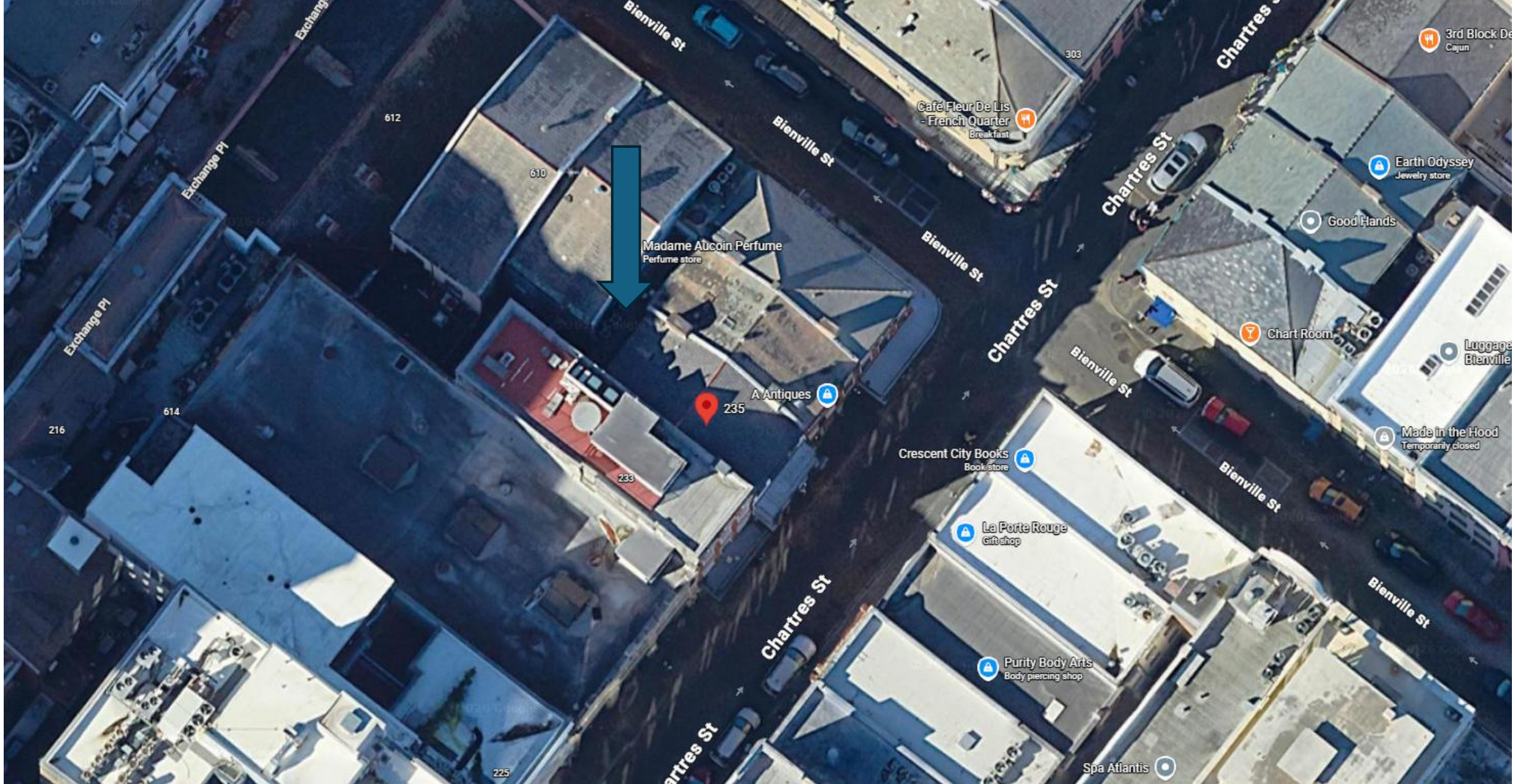


235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





## 235 Chartres

Vieux Carré Commission

February 24, 2026



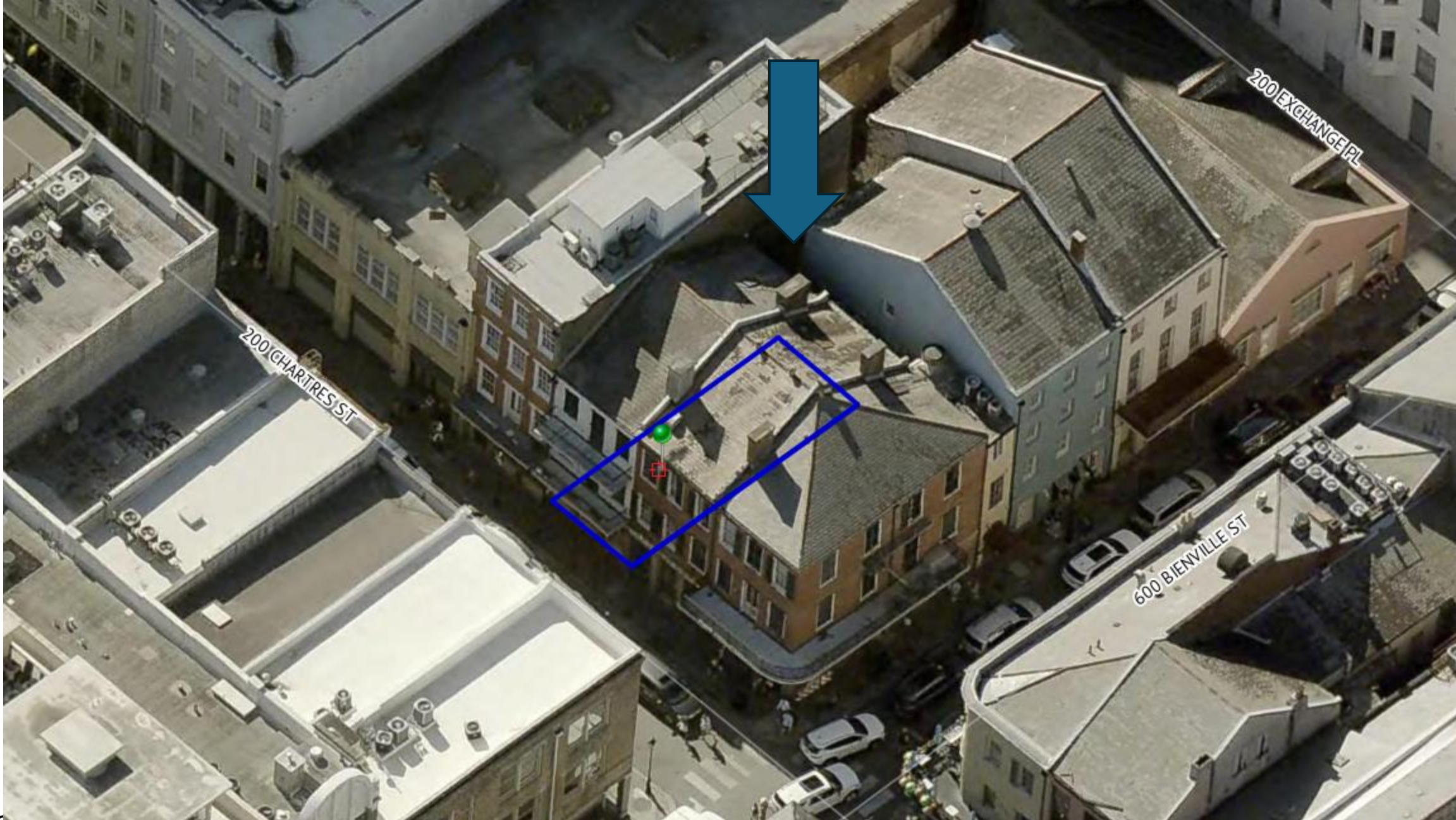


235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026



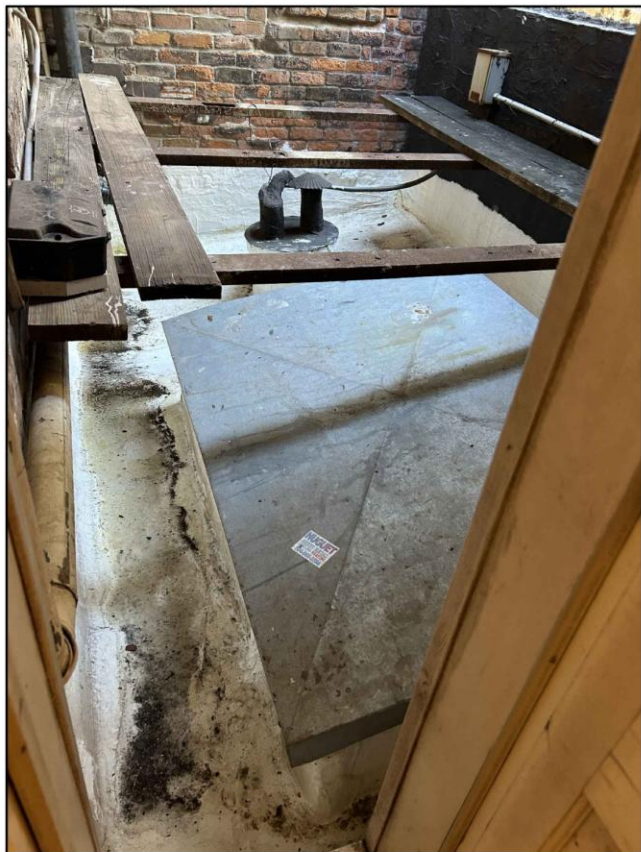


235 Chartres

Vieux Carré Commission

February 24, 2026





1



2



3

# 4 EXISTING SECOND FLOOR ROOF

A2.2 scale: 1/4" = 1'-0"

235 Chartres

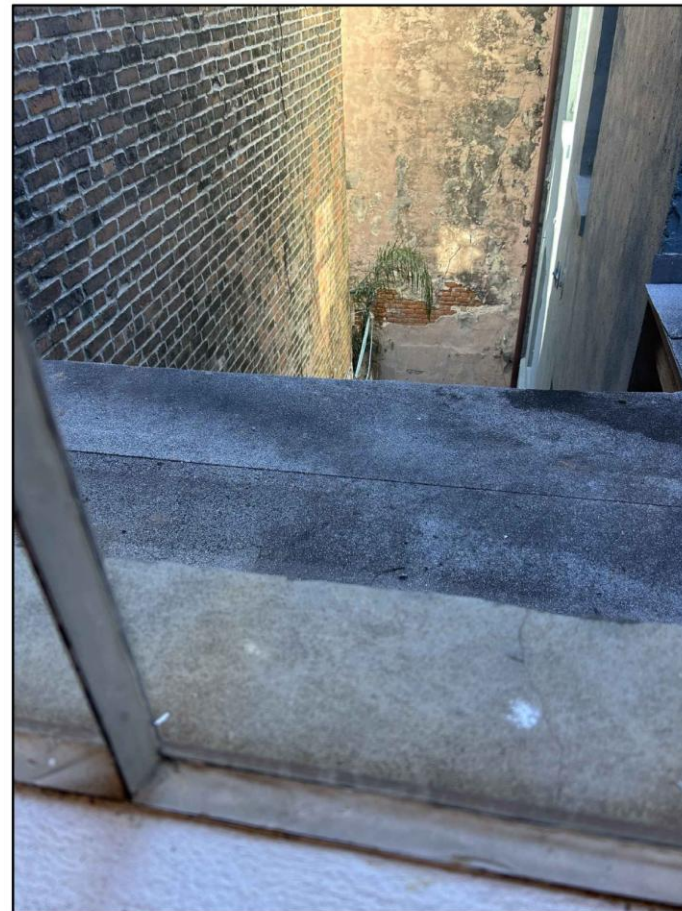
Vieux Carré Commission

February 24, 2026





4



5

5  
A2.2

## EXISTING THIRD FLOOR ROOF

scale: 1/4" = 1'-0"



235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





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February 24, 2026





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235 Chartres

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February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





235 Chartres

Vieux Carré Commission

February 24, 2026





September 29, 2025

Mr. Kirk Fabacher, NCARB  
Terrell-Fabacher Architects, LLC  
1700 Josephine Street, Suite 201  
New Orleans, LA, 70113

Re: 235 Chartres Street (No.25096)  
New Orleans, LA 70130  
Existing Rear Addition Structural Review

Dear Mr. Fabacher,

Pursuant to your request, a review was conducted at the above referenced address on September 25, 2025. The review was conducted by the creator of this report.

Overview

Review the existing rear addition structural elements to determine if they were sufficiently constructed and connected to be left in place and used for continued service. The existing addition has been in place for some time and has been renovated at one point with portion under renovation currently.

Structure

The structures of the addition are masonry and wood load bearing walls supporting wood floor joist and roof rafters both spaced approximately 16" on center. The floors are decked with plywood decking and wood floors with the roof also decked with roofing or water proofing material over the top as a weather barrier. Portions of the addition are being used as mechanical platforms with the highest roof area built more as a traditional wood mechanical platform. The joist and rafters bearing on the wall systems are connected via joist hanger connection clips.

All visible connections appeared to be in adequate condition and able to be placed in continued used. The visible structural members and the facades which covered the non-visible portions all appear to be in sufficient and adequate condition to also be placed into continued use. Area of the addition not under current renovations were reviewed for decencies and were used as the basis of the adequate condition for non-visible structural members.

Some areas of the 2<sup>nd</sup> floor roof were found to be holding water. It is recommended this ponding/pooling condition we correct to avoid future building envelope issues. Drains were noted to be present for water to be routed to.



Conclusion

Overall, we found the rear existing addition structural system to be in good condition and sound, based on our review. Structurally the section of building is ready to be closed in and placed into full-service use.

Thank you,

Joshua Juneau, PE



September 29, 2025

Disclaimer and Limitation of Liability

This report was prepared by AP Design Group, LLC for the exclusive use of the Client and the specific project identified. It reflects our professional opinion based on visual observations, accessible conditions, and information provided at the time of evaluation. No destructive testing or investigation of concealed elements was performed unless explicitly noted.

The scope of this report does not include a full code compliance review, safety certification, or assessment of components not directly observed. This report also does not guarantee the future performance of any structural element, including components not directly addressed herein.

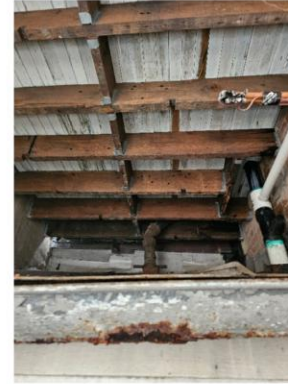
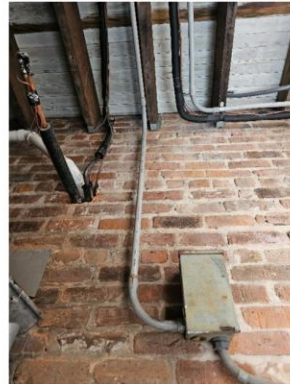
This document may not be used or relied upon by any party other than the Client without the written consent of AP Design Group, LLC. Unauthorized use is at the sole risk of the user.

**Limitation of Liability:** The Consultant's total liability to the Client for any and all claims arising out of or relating to the services provided under this agreement shall not exceed the total fee received by the Consultant for those services. Under no circumstances shall the Consultant be liable for indirect, incidental, special, or consequential damages, including loss of use, revenue, or profit





The images below are examples of conditions seen during the site review:



2

3





CITY OF NEW ORLEANS

BOARD OF ZONING ADJUSTMENTS

1300 PERDIDO STREET | ROOM 7W03 | NEW ORLEANS, LOUISIANA 70112

NOTICE: DISPOSITION OF ZONING CASE – BZA006-26

This Variance Request Has Been APPROVED

Property Location: 235-237 Chartres Street
Zoning District: VCC-2 Vieux Carré Commercial District
Historic District: Vieux Carré
Existing Use: Non-Residential
Proposed Use: Standard Restaurant
Applicant or Agent: Latas Family Investments LLC, Kirk Fabacher

Whereas, the above request was heard by the Board of Zoning Adjustments at its special public hearing of Monday, February 9, 2026; and

Whereas, the applicant appeared before the Board seeking relief from the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, to permit roof-mounted mechanical equipment with insufficient distance from any wall of the building, as indicated below:

- Requested Waiver(s):
Article 21, Section 21.6.T.7 – Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 9 1/2 in
Waiver: 5 ft, 2 1/2 in
Article 21, Section 21.6.T.7 – Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 2 ft, 8 in
Waiver: 3 ft, 4 in
Article 21, Section 21.6.T.7 – Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 1 ft, 8 in
Waiver: 4 ft, 4 in
Article 21, Section 21.6.T.7 – Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 1 ft, 2 1/2 in
Waiver: 4 ft, 9 1/2 in
Article 21, Section 21.6.T.7 – Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 1 ft, 1 in
Waiver: 4 ft, 11 in
Article 21, Section 21.6.T.7 – Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 3 ft, 6 in
Waiver: 2 ft, 6 in
Article 21, Section 21.6.T.7- Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 8 in
Waiver: 5 ft, 4 in
Article 21, Section 21.6.T.7 - Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 11 in
Waiver: 5 ft, 1 in
Article 21, Section 21.6.T.7 - Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 2 ft, 4 in
Waiver: 3 ft, 8 in
Article 21, Section 21.6.T.7 - Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 0 ft
Waiver: 6 ft
Article 21, Section 21.6.T.7 - Mechanical Equipment (Roof Mounted)
Permitted/Required: 6 ft
Proposed/Provided: 0 ft, 2 in
Waiver: 5 ft, 10 in

And Whereas, the Board carefully considered the facts and arguments for and against the application at the public hearing, and after considering the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, the Board is of the opinion that the weight of the evidence indicates that the approval standards for variances of Article 4, Section 4.6.F of the Comprehensive Zoning Ordinance have been met; therefore, a motion was made by Jason Richards and seconded by Todd James to APPROVE the requested variance(s), subject to the following proviso(s):

- 1. The applicant shall submit the following plan reflecting the approval of the Board of Zoning Adjustments, including compliance with all noted provisos (as applicable), to BZA staff for review and approval. This plan shall be the plan for which the building permit is issued.
Site plan
2. The applicant shall submit plans and/or other documentation approved by the Vieux Carré Commission to the Board of Zoning Adjustments staff for review and approval.

Note: Approval of this variance request does not guarantee approval of the proposal by the Vieux Carré Commission. Also note that any substantive changes to this proposal required by VCC may require a new variance application submittal.

Voting for the Resolution: Candice Forest, Todd James, José Alvarez, Alfonso Gonzalez, II, Jason Richards
Voting Against the Resolution: None
Abstaining from the Resolution: None
Absent: Tamara Agins, Jaime Ramiro Diaz

Approved by the Board of Zoning Adjustments,



App'd for Candice Forest
Candice Forest, Chair

Note for approved variance requests: If your resolution has no provisos, you may proceed with the permitting process with the Department of Safety and Permits. If your resolution has provisos, your approval is contingent on the condition that you meet the provisos listed in the resolution, as verified by Board of Zoning Adjustments staff. In accordance with Article 4, Section 4.6.C of the CZO, a variance expires one (1) year from the date of approval unless a building permit is obtained and substantial construction is started or the use is commenced within such period. In the event an extension is necessary, a request shall be submitted prior to the expiration of the variance (i.e., within one (1) year from the date of approval).





timothy d. terrell, architect  
timothydavidterrell@gmail.com

kirk p. fabacher, architect  
kirkfabacher@gmail.com

February 10, 2026

Erin Vogt, MArch  
Vieux Carré Commission  
Principal Historic Preservation Building Plans Examiner  
1300 Perdido St, 7th Floor  
New Orleans, LA 70112

**Re: 235 Chartres St.**

Erin,

We successfully received approval from the Board of Zoning Adjustment on February 9, 2026, docket no. 006-26, to allow the placement of mechanical equipment on the rear roof and deck as illustrated on the attached drawings. The appeal was required because the proposed equipment on the first floor roof did not allow for a 6'-0" setback from the surrounding walls. The condensing units on the third floor mechanical deck require a 2'-0" setback which we can accommodate. Safety and Permits is requiring us to provide a ladder below the sill of the window at the third floor to allow access through the window to reach the equipment. There are no other agency requirements. Moving forward, we ask that you place us on the next VCC ARC meeting agenda to discuss:

- Retention of the third floor mechanical deck
- Retention of the second floor "bathroom" addition
- Approval of the proposed mechanical equipment at the second and third floors.

Please let me know if you need any further information.

Sincerely,  
Terrell-Fabacher Architects, LLC

*Kirk Fabacher*

Kirk P. Fabacher, NCARB

235 Chartres

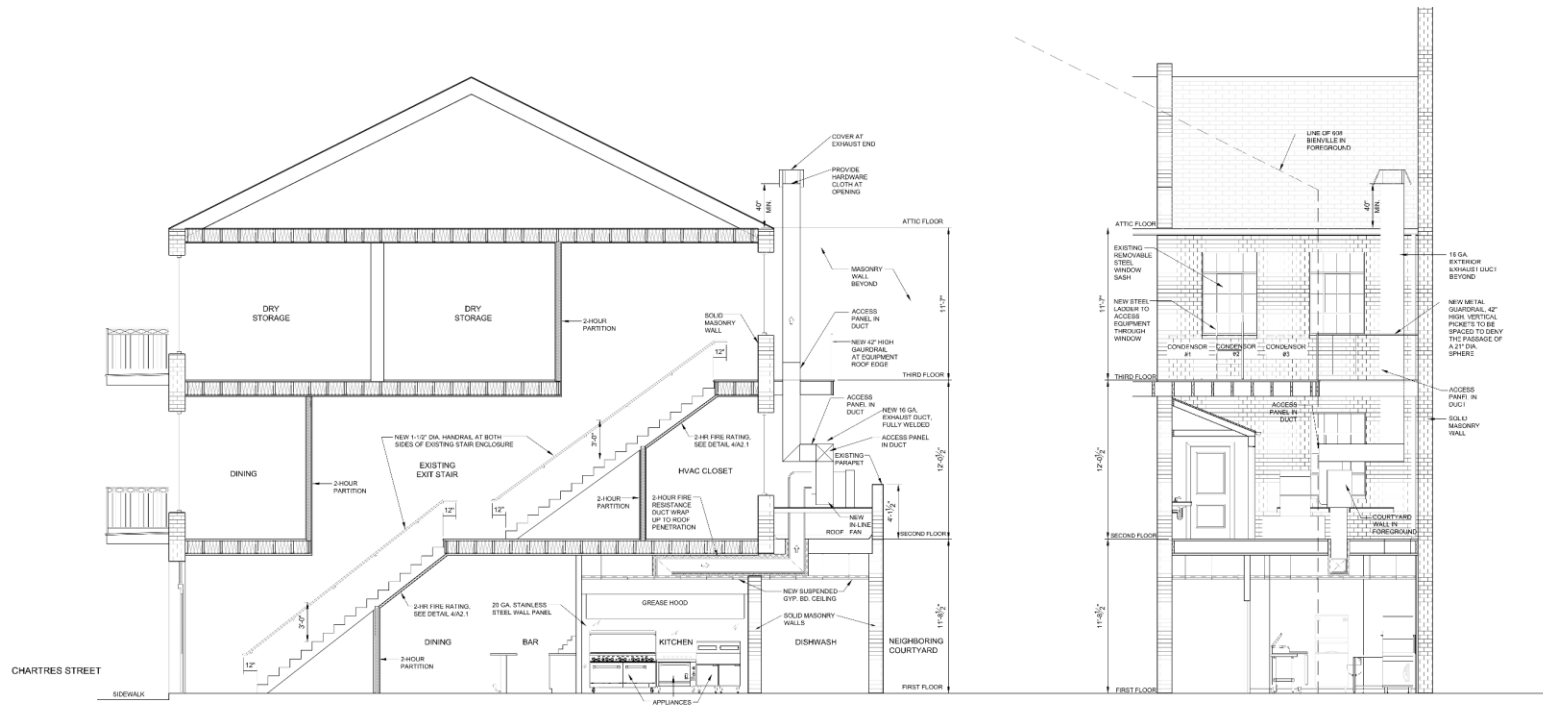
Vieux Carré Commission

February 24, 2026





# 235 Chartres Street



**1 Building Section**  
VCC-2 1/4" = 1'-0"

**2 Building Rear Elevation/Section**  
VCC-2 1/4" = 1'-0"



These plans and specifications have been prepared by me or under my direct supervision. They comply with all city, state and federal codes, laws, ordinances, rules and regulations, and I am a duly licensed professional engineer in the State of Louisiana. My knowledge and belief in the accuracy of these plans and specifications is based on the information furnished to me by others and on my own investigation and judgment. I warrant that these plans and specifications will be in accordance with the requirements of the project (will not) be subject to review by the City of New Orleans.

**AUSTIN'S RESTAURANT**  
**235 CHARTRES STREET**  
**NEW ORLEANS, LOUISIANA**

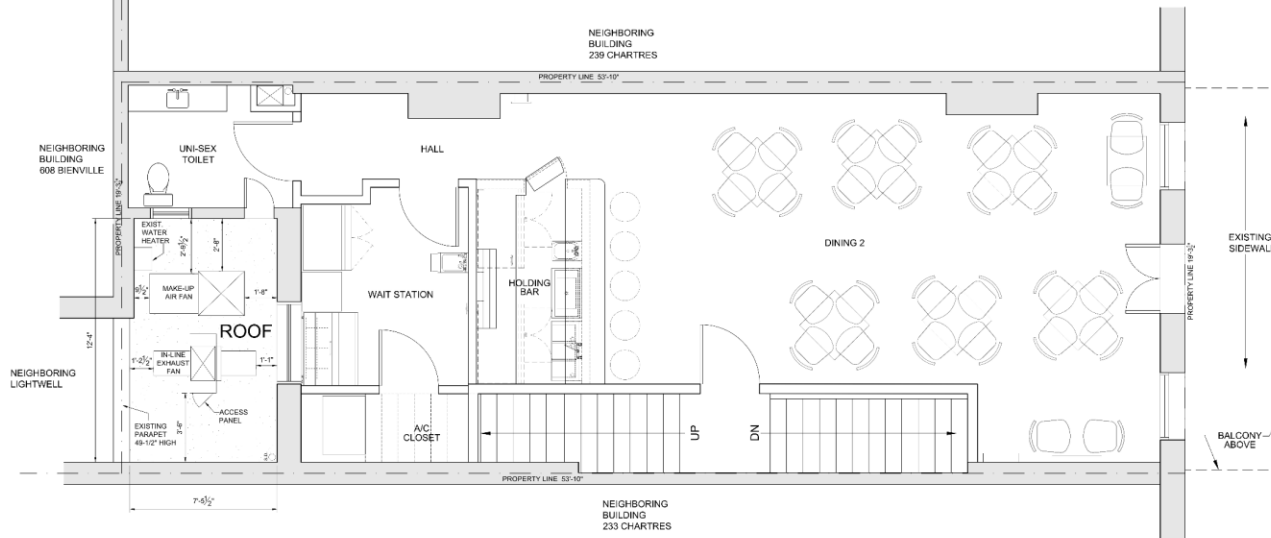
NO.	REVISIONS

CHECKED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
DATE: 02/09/2026  
JOB NO: \_\_\_\_\_

**VCC-2**  
SHEET OF



# 235 Chartres Street



1 Second Floor/Site Plan  
 VCC-3 3/8" = 1'-0"

terrell-fabacher architects, l.l.c.  
 1709 Levee, Suite 701  
 New Orleans, Louisiana 70113  
 504.588.1300



THESE PLANS AND specifications have been prepared by me or my close supervision. They comply with all city codes and regulations. My knowledge and belief. The project will not be completed without my personal supervision.

**AUSTIN'S RESTAURANT**  
 235 CHARTRES STREET  
 NEW ORLEANS, LOUISIANA

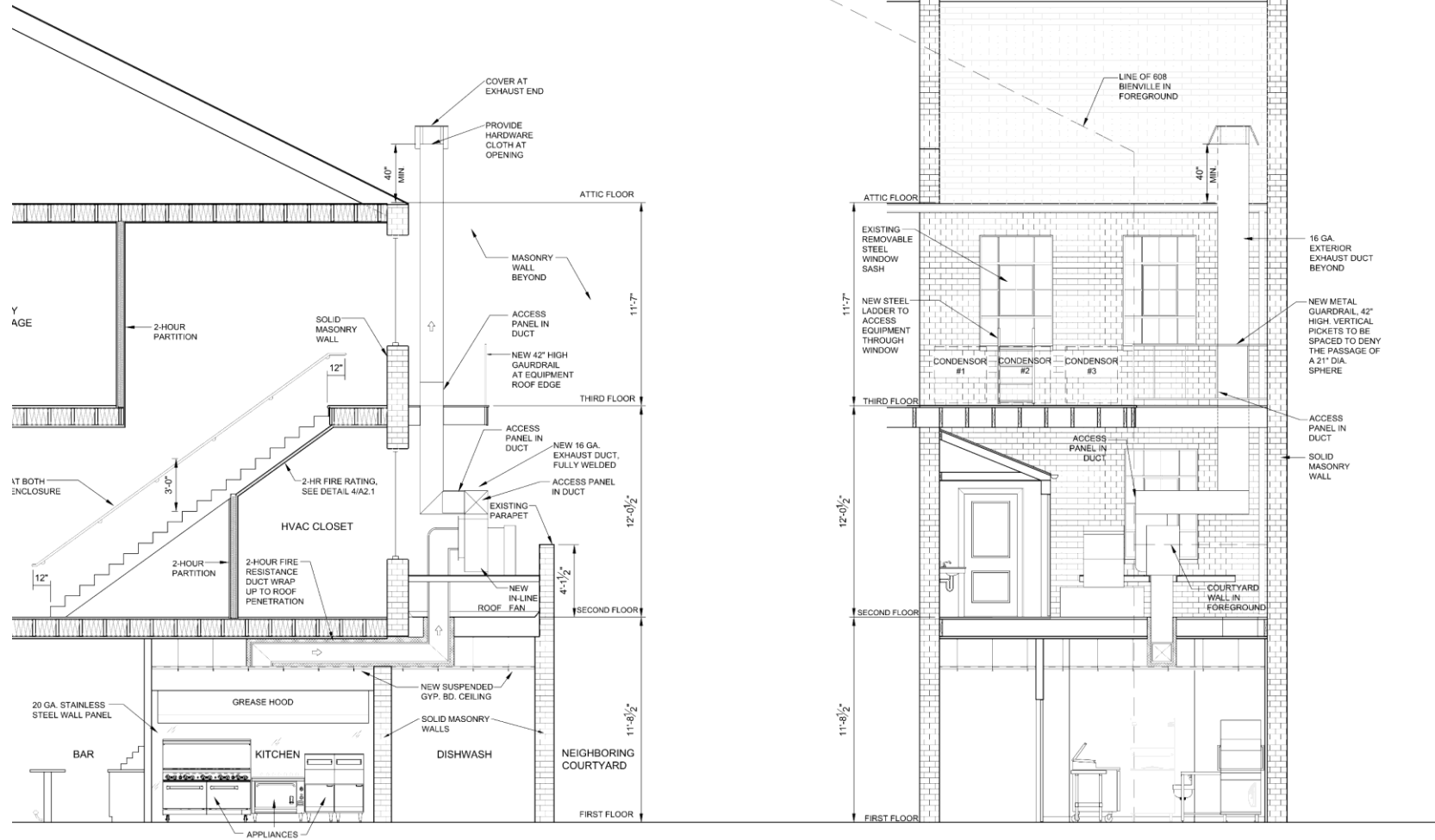
NO.	REVISIONS

CHECKED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 DATE: 02/09/2026  
 JOB NO: \_\_\_\_\_

VCC-3

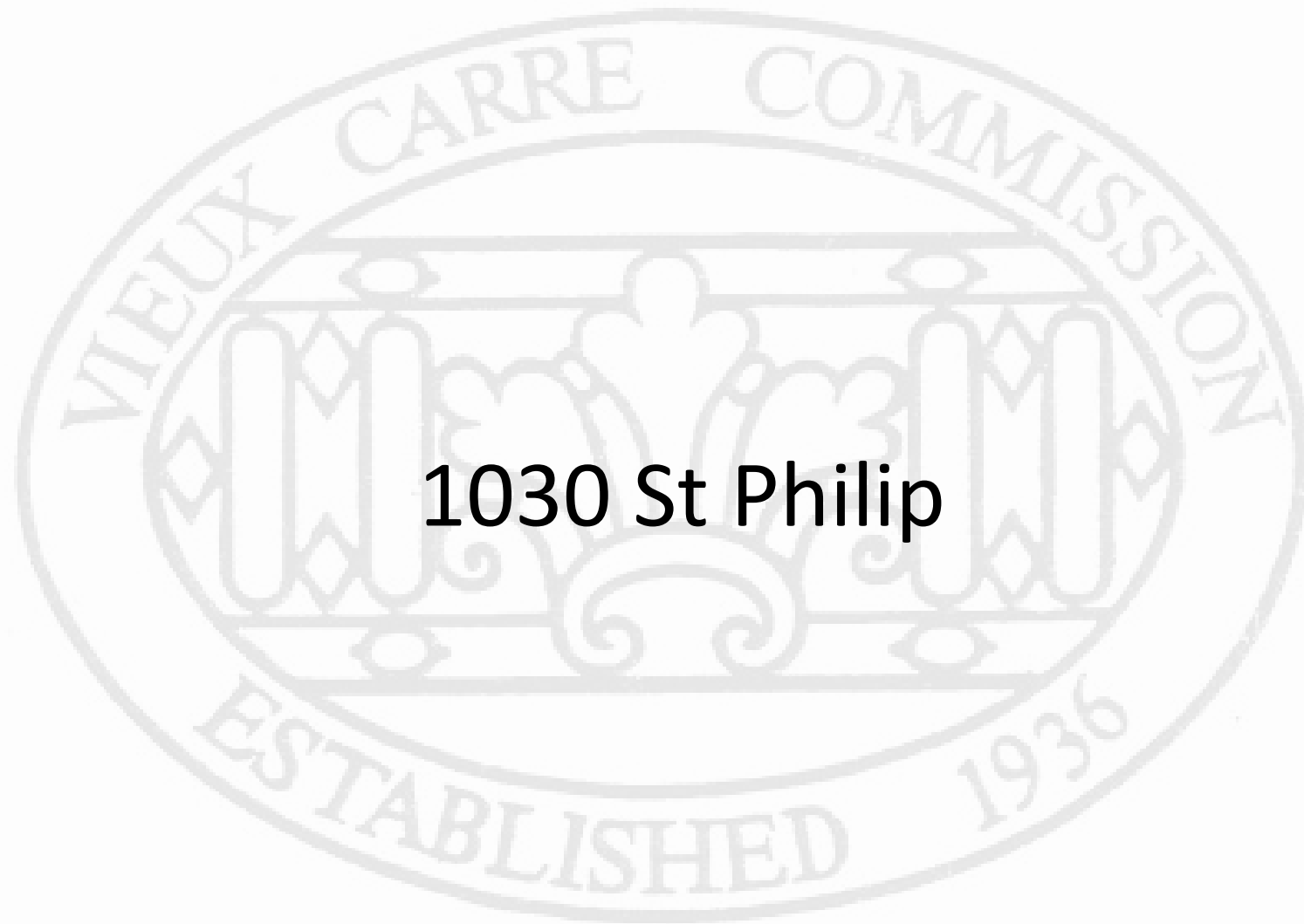
SHEET OF



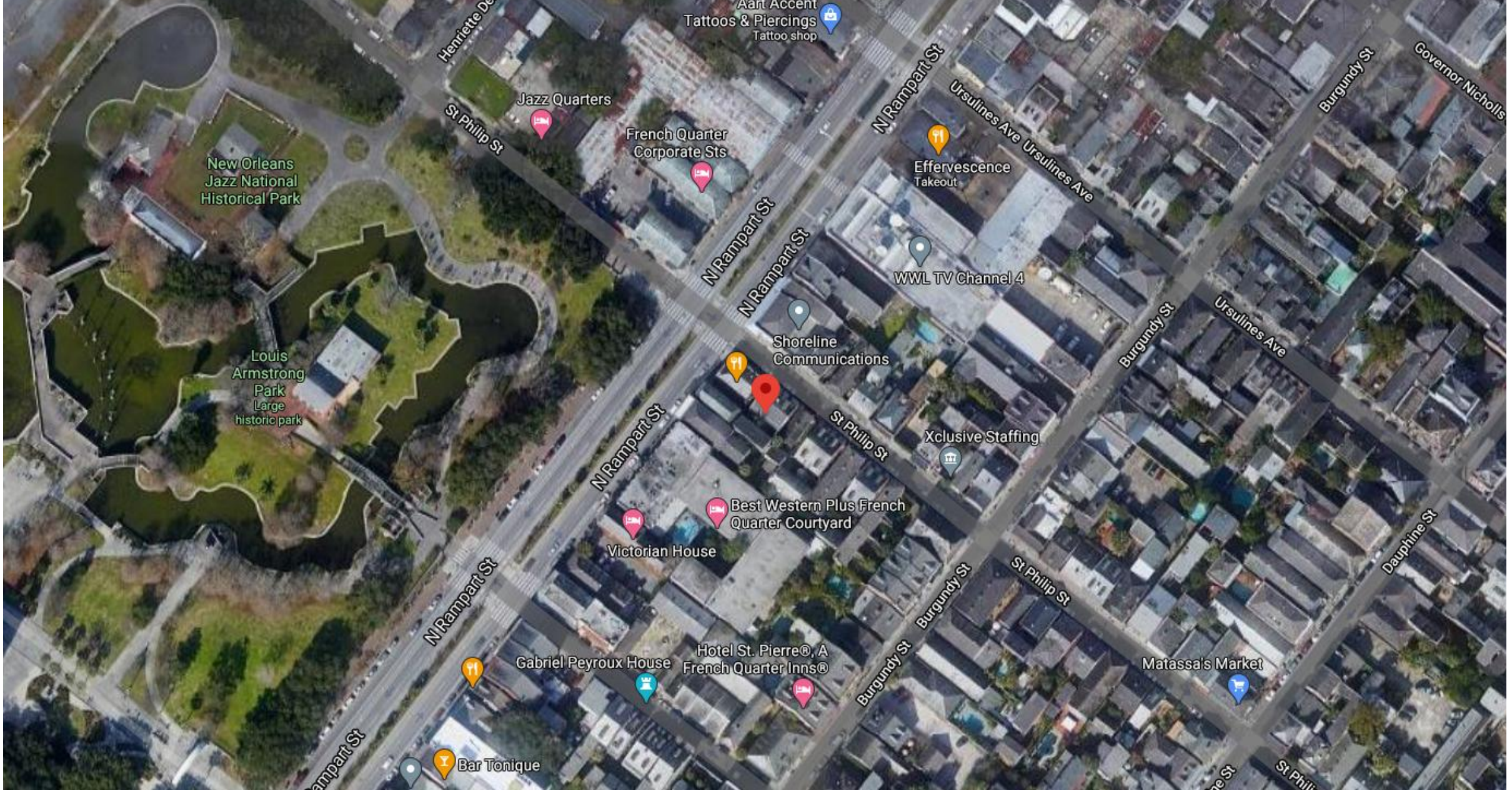


g Section

2 Building Rear Elevation/Section  
 VCC-2 1/4" = 1'-0"



**1030 St Philip**



1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





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Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026





1030 St Philip

Vieux Carré Commission

February 24, 2026



# PERFORMANCE®



The new degree of comfort.™

## 1030 ST PHILIP GAS WATER HEATER

### The PERFORMANCE® atmospheric gas water heaters feature a diagnostic gas valve and a six-year warranty

#### Efficiency

- .58 - .66 UEF

#### Performance

- FHR: 55 - 97 gallons
- Recovery: Up to 51 GPH at a 90° F rise, depending on model

#### Diagnostic Valve

- Self powered diagnostic gas control valve for improved monitoring and service



#### Low Emissions

- Eco-friendly burner, low NOx design
- Meets 40 ng/J NOx requirements

#### Maintenance Free Burner System

- Exclusive air/fuel shut-off device
- Maintenance free – no filter to clean
- Disables the heater in the presence of flammable vapor accumulation



Maintenance Free

#### Longer Life

- Premium grade anode rod provides long-lasting tank protection

#### Plus...

- Side water connections for space heating applications **available on select models**
- Easy to light – no matches required
- Temperature and pressure relief valve included
- Factory installed temperature and pressure relief valve on select models
- Low lead compliant
- Standard replacement parts

#### Warranty

- 6-Year limited warranty for tank and parts, 1-year full in-home labor warranty\*

\*See written warranty for complete details

Units meet or exceed ANSI requirements and have been tested according to D.O.E. procedures. Units meet or exceed the energy efficiency requirements of NAECA, ASHRAE standard 90, ICC Code and all state energy efficiency performance criteria.



NEW! Side Water Connections on Select Models

**PERFORMANCE Atmospheric**  
29, 30, 40, 50 and 55-Gallon Capacities  
Up to 50,000 BTU/h



See specifications chart on back.

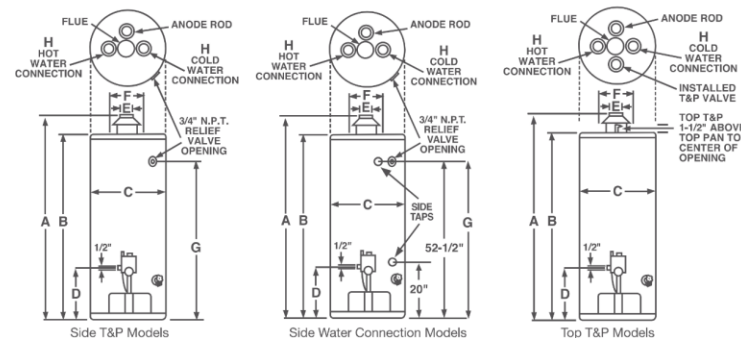


The new degree of comfort.™

## PERFORMANCE® Atmospheric Gas Specifications

Fuel Type	Description	Nominal Gallon Capacity	Rated Gallon Capacity	Model Number	Gas Input in Therms. Btu/h	Recovery in G.P.H. 90° F Rise	First Hour Rating (Gallons)	Ht. to Vent A	Tank Height B	Diam. C	Ht. to Gas Conn. D	Vent Size E	Water Conn. Center F	Ht. to Side T&P Valve G	Water Conn. Size H	Ship Weight (LBS)	Uniform Energy Factor (UEF)	
<b>Performance - Self Powered Diagnostic Control - High Demand</b>																		
Natural Gas	Tall	55	55	XG55T06ECS0L00*	50	51	97	59-1/8	55-7/8	23-3/4	14-1/4	4	8	49-3/4	3/4	175	0.62	
Liquid Propane	Tall	55	55	XP55T06ECS4500*	45	46	97	59-1/8	55-7/8	23-3/4	14-1/4	4	8	49-3/4	3/4	175	0.62	
<b>Performance - Self Powered Diagnostic Control - High Efficiency</b>																		
Natural Gas	Tall	50	48	XG50T06E4000*	40	40.4	77	62-3/4	59-1/4	21-1/2	14-1/2	3 or 4	8	52-1/2	3/4	165	0.64	
Natural Gas	Tall	50	48	XG50T06T14000*	40	40.4	75	62-3/4	59-1/4	21-1/2	14-1/2	3 or 4	8	52-1/2	3/4	165	0.64	
Natural Gas	Tall	40	38	XG40T06T14000*	40	40.4	84	63-1/4	60	19-1/2	14	3 or 4	8	53-1/2	3/4	135	0.66	
Natural Gas	Short	40	39	XG40S06E38J00*	38	38.4	69	53-3/4	50-1/4	21-1/2	14-1/2	3	8	44	3/4	125	0.59	
Liquid Propane	Tall	50	48	XP50T06E36J00*	36	36.4	77	62-3/4	59-1/4	21-1/2	14-1/2	3 or 4	8	52-1/2	3/4	165	0.64	
Liquid Propane	Tall	40	38	XP40T06E36J00*	36	36.3	84	63-1/4	60	19-1/2	14	3 or 4	8	53-1/2	3/4	135	0.66	
Liquid Propane	Short	40	39	XP40S06E36J00*	36	36.4	69	53-3/4	50-1/4	21-1/2	14-1/2	3	8	44	3/4	125	0.59	
<b>Performance - Self Powered Diagnostic Control</b>																		
Natural Gas	Tall	50	48	XG50T06ECS8U1	38	38.4	85	61-1/4	58-1/4	20-1/2	14-1/4	3 or 4	8	51-3/8	3/4	140	0.63	
Natural Gas	Tall	50	48	XG50T06TCS8U1*	38	38.4	85	61-1/4	58-1/4	20-1/2	14-1/4	3 or 4	8	51-3/8	3/4	140	0.63	
Natural Gas	Short	50	48	XG50S06ECS4U1	40	40.4	86	54-1/4	51	23-3/4	14-1/4	3 or 4	8	44	3/4	186	0.64	
Natural Gas	Tall	40	38	XG40T06ECS3U1	36	36.4	68	61-1/2	58-1/2	19	14-1/4	3 or 4	8	52-1/4	3/4	127	0.58	
Natural Gas	Tall	40	38	XG40T06TCS3U1*	36	36.4	68	61-1/2	58-1/2	19	14-1/4	3 or 4	8	52-1/4	3/4	127	0.58	
Natural Gas	Short	40	39	XG40S06ECS4U0	34	34.3	64	52-1/8	49-1/4	21	14-1/4	3 or 4	8	42-3/4	3/4	120	0.58	
Natural Gas	Short	30	29	XG30S06ECS0U1	30	30.3	55	48-7/8	46-1/4	19-3/4	14-1/4	3 or 4	8	40-3/8	3/4	112	0.60	
Natural Gas	Tall	29	28	XG29T06ECS2U1	32	32.3	62	59-3/4	56-1/2	16-1/2	14-1/4	3 or 4	8	50-3/4	3/4	110	0.60	
Liquid Propane	Tall	50	48	XP50T06ECS6U1	36	36.4	85	61-1/4	58-1/4	20-1/2	14-1/4	3 or 4	8	51-3/8	3/4	125	0.63	
Liquid Propane	Tall	40	38	XP40T06ECS2U1	32	32.3	69	61-1/2	58-1/2	18-1/2	14-1/4	3 or 4	8	52-1/4	3/4	125	0.61	
Liquid Propane	Tall	29	28	XP29T06ECS0U1	30	30.3	62	59-3/4	56-1/2	16-1/2	14-1/4	3 or 4	8	50-3/4	3/4	110	0.60	
<b>Performance - Side Water Connections</b>																		
Natural Gas	Tall	48	46	XG50T06ECS8U0 H	53	61	105	61-3/4	58-1/2	21-3/4	14-3/8	4	11	51-7/8	3/4	162	0.62	
Natural Gas	Tall	48	46	XG50T06ECS8U0	58	61	105	61-3/4	58-1/2	21-3/4	14-3/8	4	11	51-7/8	3/4	162	0.62	
Liquid Propane	Tall	48	46	XP50T06ECS4U0	54	55	105	61-3/4	58-1/2	21-3/4	14-3/8	4	11	51-7/8	3/4	162	0.62	

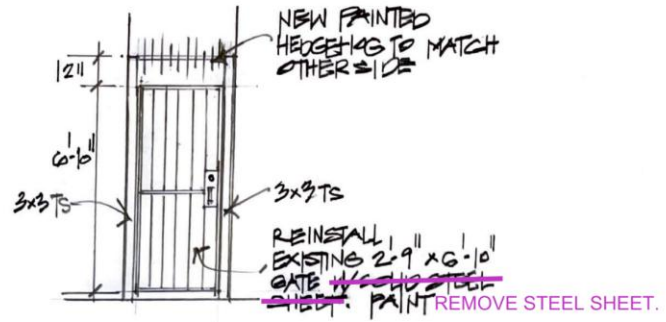
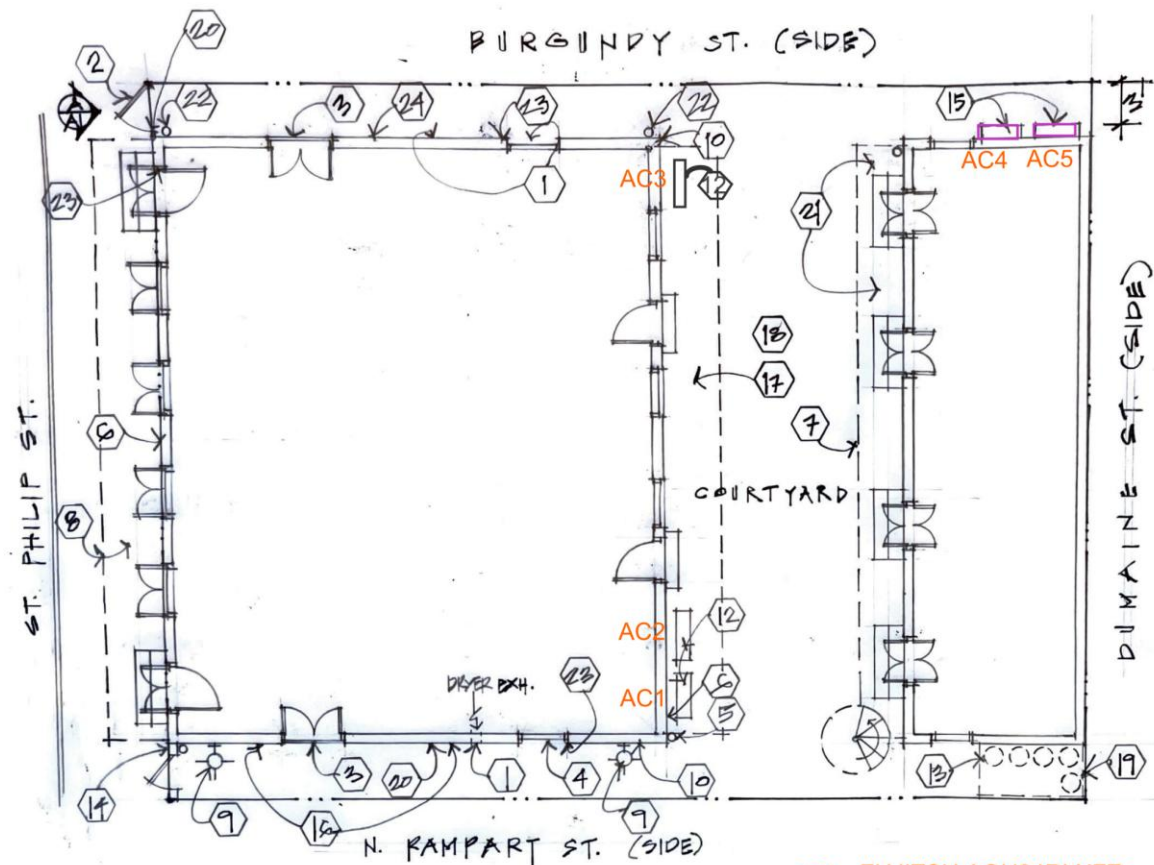
Uniform Energy Factor and rated gallon capacity based on Department of Energy (DOE) requirements.  
\*Models with installed top T&P.



In keeping with its policy of continuous progress and product improvement, Rheem reserves the right to make changes without notice.

Rheem Water Heating • 1115 Northmeadow Parkway, Suite 100  
Roswell, Georgia 30076 • www.rheem.com





**A1 GATE ELEVATION**  
SC: 1/4" = 1'-0"

KEYNOTES: 1030-1034 St. Philip VCC Violations; LKH#3925

1. Remove and replace dryer vent w/ 6.5" sq. "Dryer Wall Vent" model DWV4. Paint to match stucco color.
2. Remove and replace gate w/ existing iron gate w/ new posts and new hedgehog shown in drawing A/A1.
3. Remove horizontal iron bars from French door opening.
4. Remove vertical iron bars from French door opening.
5. Reattach round downspout to wall. Paint straps to match wall.
6. Touch up paint at stucco where chipped.
7. Remove K style gutter and replace w/ 6" half round, white.
8. Paint soffit, fascia, overhang ends, and gutter white.
9. Replace lantern style lighting w/ Remcraft 110 model sconces, white.
10. Paint pipes, conduits, conduit covers, and wires to match stucco color.
11. Paint front doors dark green to match shutter color.
12. Retain AC condensers in courtyard.
13. Retain 5 rack mounted water heaters and canopy in courtyard. Repair canopy **NEW METAL ROOF**
14. Remove Portland cement mortar patch over masonry and replace w/ VCC mortar mix into proper joints.
15. Retain 2 rack mounted AC condensers in courtyard. **& RELOCATE TO GRADE ON RACK.**
16. Remove inactive electrical devices and cables/wires.
17. Retain plywood soffit. Align / fasten properly. Repaint white.
18. Remove string lights from courtyard.
19. Remove razor wire and/or barbed wire.
20. Remove vegetation and patch and paint stucco if necessary.
21. Refasten soffit planks. Repaint soffit white.
22. Replace or extend round downspout and straps. Paint to match wall.
23. Retain cameras. Separate camera permit application forthcoming. Remove cameras.
24. Repair window muntin on second floor. Reglaze.

- AC1 FUJITSU AOU24RLXFZ
- AC2 DAIKIN 3MXS24RMJVJUA
- AC3 LG LMU180HV
- AC4 ROVSUN 1.5TON
- AC5 FUJITSU AOU24RLXFZ



2.5.26 REVISED  
11.11.25 revised  
11.7.25 revised  
11.6.25 revised  
10.15.25

**LKH**architects  
6238 Argonne Boulevard  
New Orleans LA 70124  
www.lkharmonarchitects.com  
504.485.5870

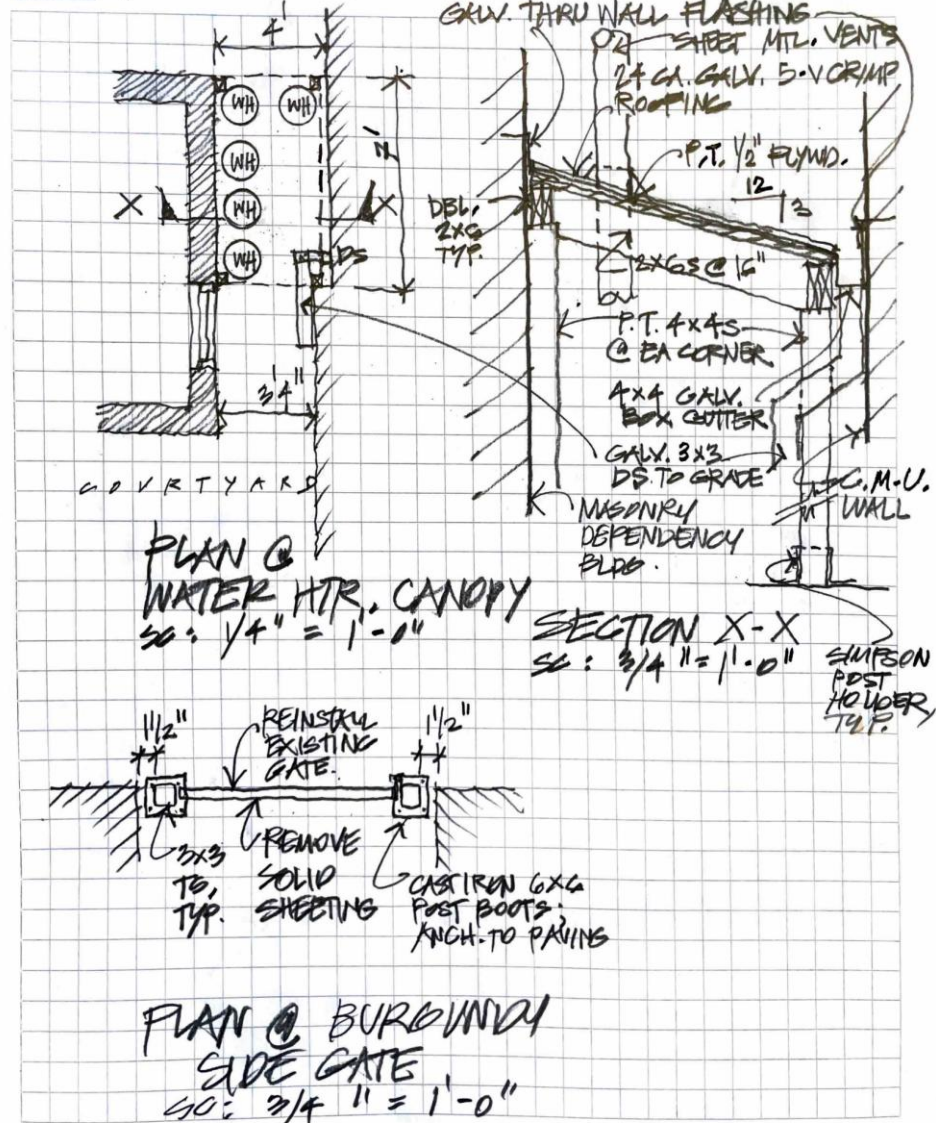


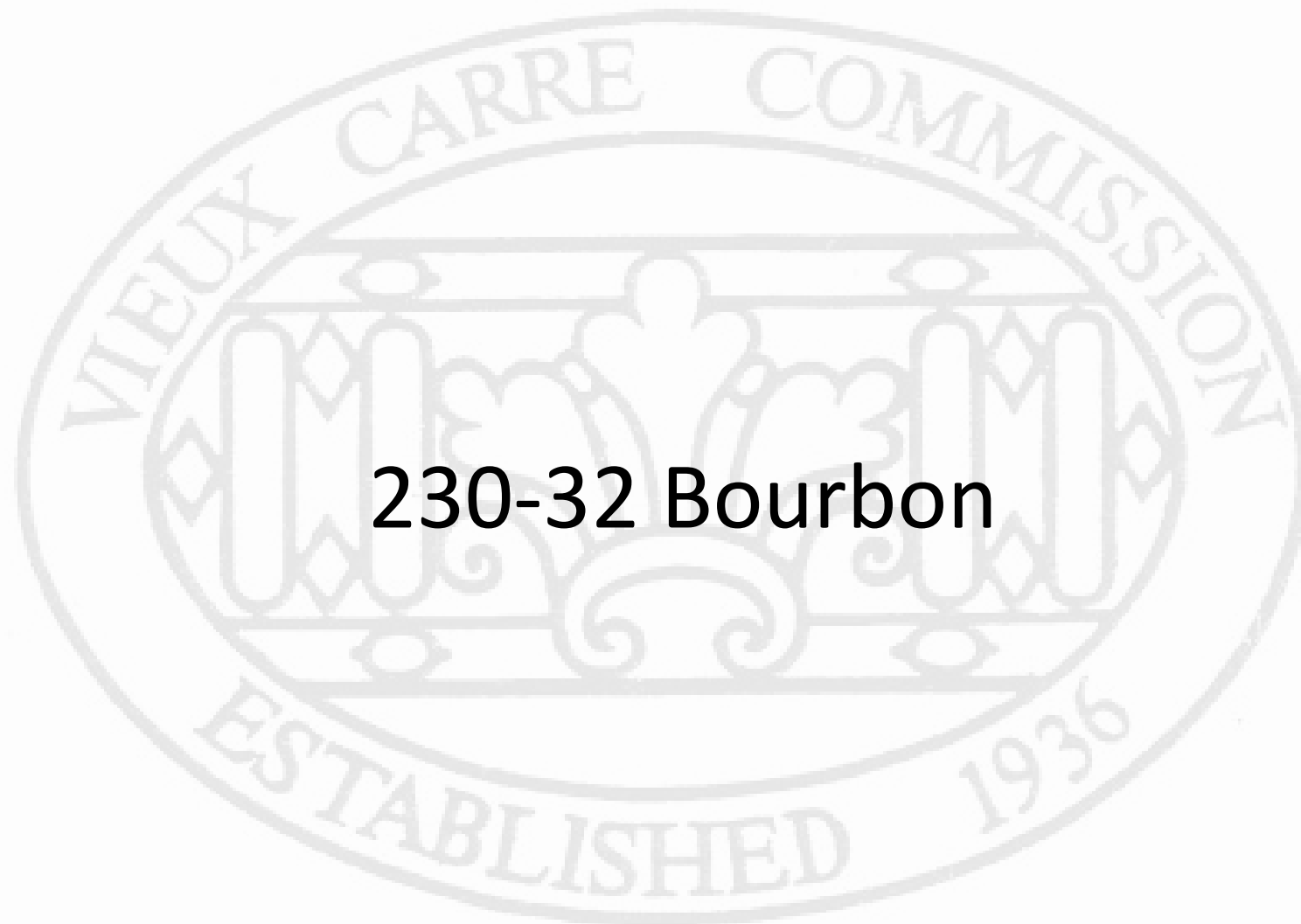


# 1031 ST. PHILIP V.C.C. APPLICATION

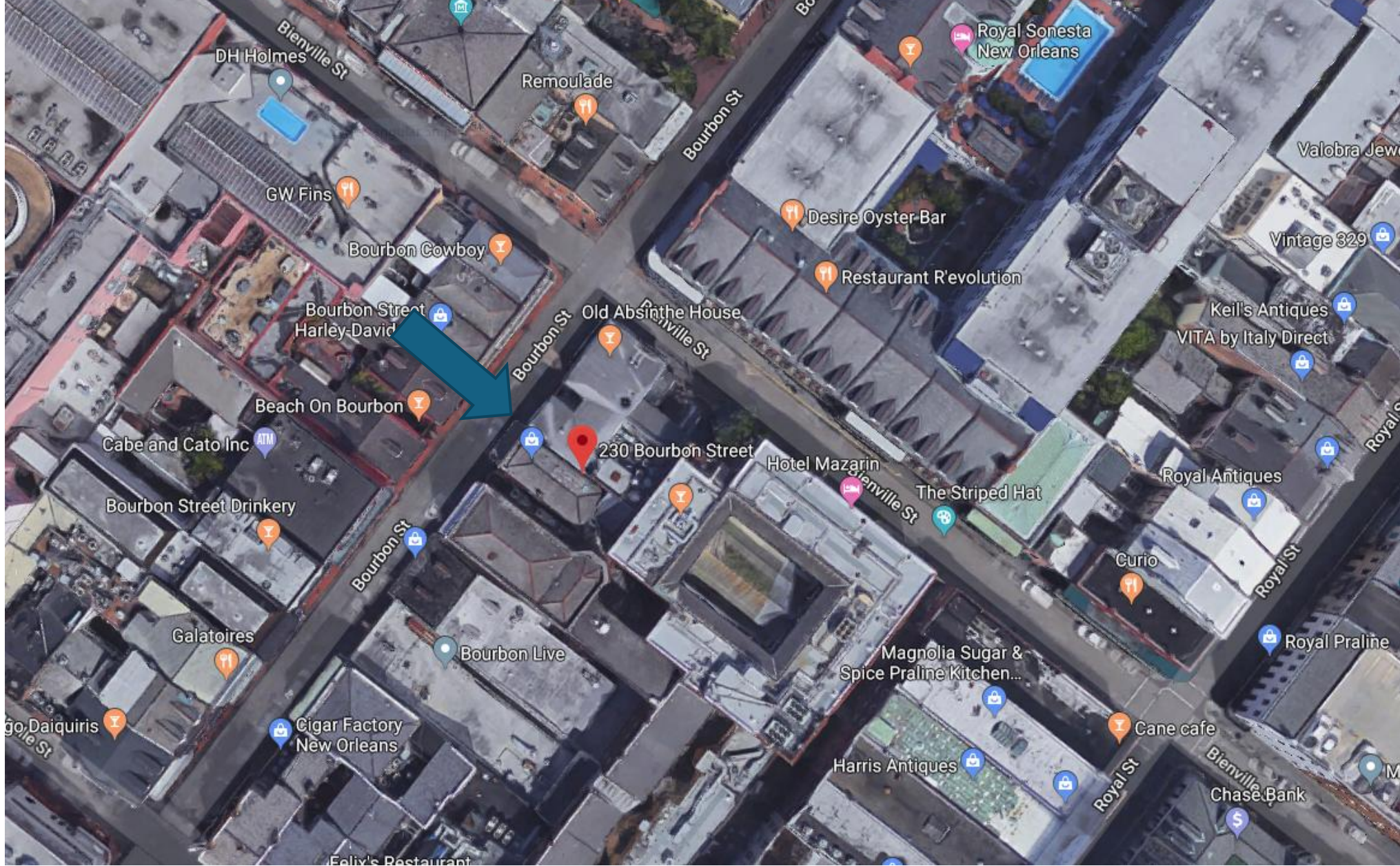
LKH Architects  
6238 Argonne Boulevard  
New Orleans, LA 70124

504.485.5870  
harmon@lkharchitects.com  
www.lkharchitects.com  
LKH 2925  
10 Feb '26





**230-32 Bourbon**



230-32 Bourbon





230-32 Bourbon





230-32 Bourbon

Vieux Carré Commission

February 24, 2026





230-32 Bourbon

Vieux Carré Commission

February 24, 2026





230-32 Bourbon





230-32 Bourbon





230-32 Bourbon





230-32 Bourbon

Vieux Carré Commission

February 24, 2026





230-32 Bourbon





230-32 Bourbon

Vieux Carré Commission

February 24, 2026





230-32 Bourbon

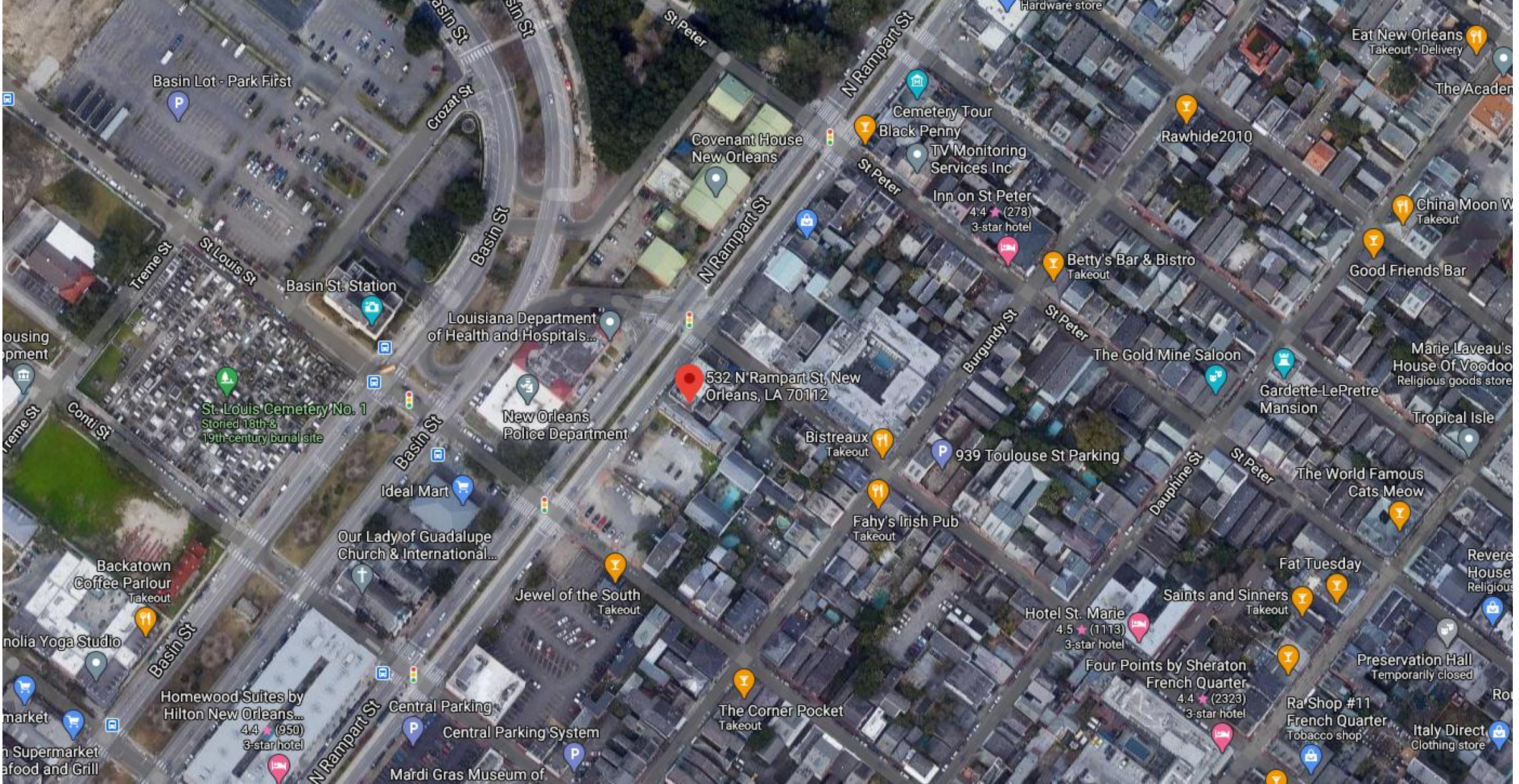
Vieux Carré Commission

February 24, 2026





**532 N Rampart**



532 N Rampart

VCC Architectural Committee

February 24, 2026





532 N Rampart

VCC Architectural Committee

February 24, 2026





532 N Rampart

VCC Architectural Committee

February 24, 2026





532 N Rampart

VCC Architectural Committee

05 01 2020

February 24, 2026





532 N Rampart

VCC Architectural Committee

05 01 2020

February 24, 2026





532 N Rampart

VCC Architectural Committee

05 01 2020

February 24, 2026





532 N Rampart

VCC Architectural Committee

05 01 2020

February 24, 2026





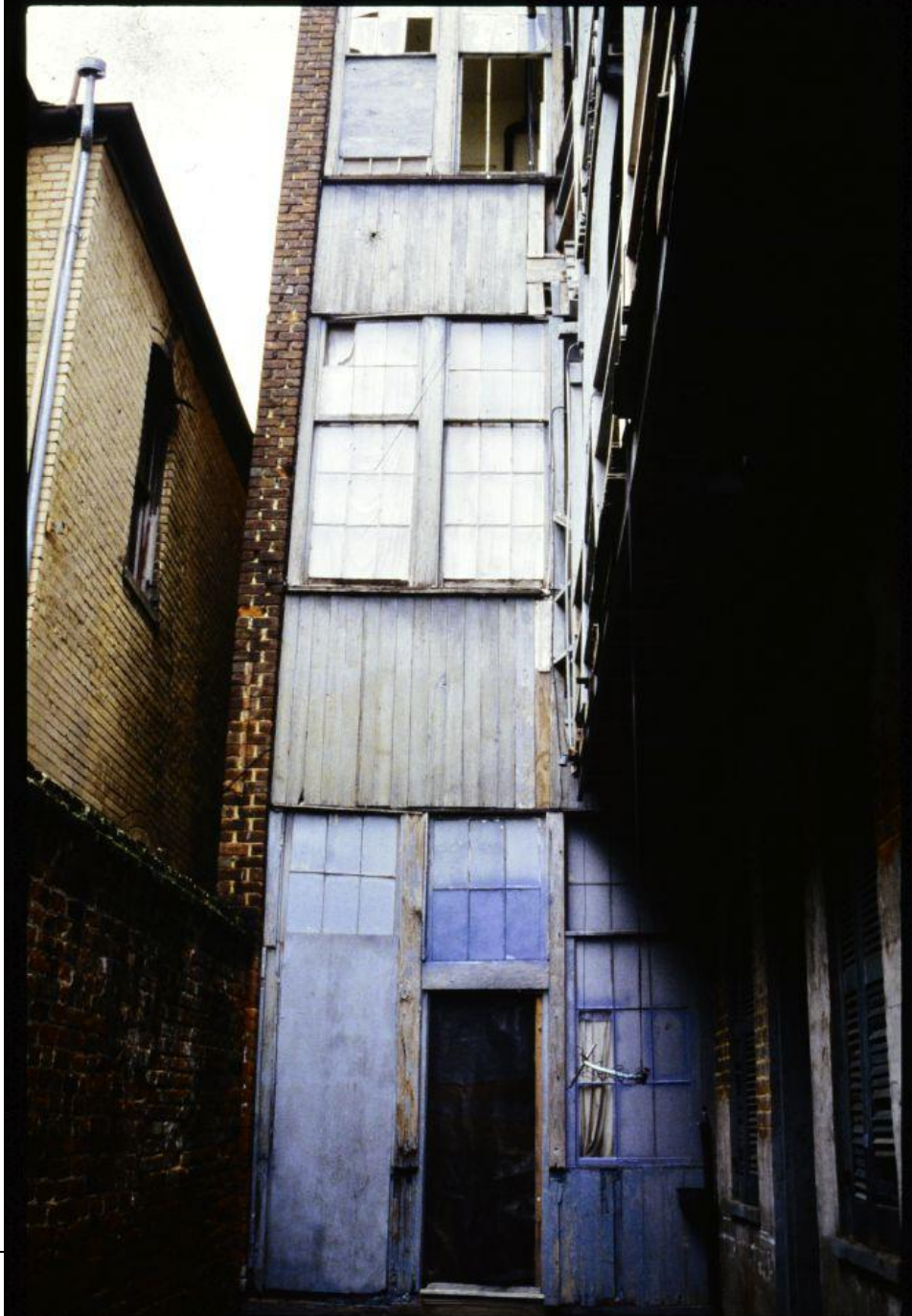
532 N Rampart

VCC Architectural Committee

05.01.2020

February 24, 2026





532 N Rampart - 1997

VCC Architectural Committee

February 24, 2026





532 N Rampart - 1997

VCC Architectural Committee

February 24, 2026





532 N Rampart - 1997

VCC Architectural Committee

February 24, 2026





532 N Rampart - 1997

VCC Architectural Committee

February 24, 2026



VIEUX CARRE COMMISSION  
CITY OF NEW ORLEANS

LATOYA CANTRELL  
MAYOR

BRYAN BLOCK  
DIRECTOR

204

**532-534 N Rampart: Case 21-00579-DBNVCC, Mercier Realty v. CNO (2024-03201)**

**Recommendation: Fine of \$10,325 (\$500 per violation, \$100 abatement fee each for 166-35 Security Cameras and 166-84 Signs as these two items have been abated, plus \$125 hearing costs)**

Permit must be applied for by January 31<sup>st</sup> to properly seal the building and stabilize bowing section of parapet in the rear (see blue arrow in Pictometry image and additional image on p.3-5). Permit must include a detailed scope of work for each elevation.

Properly sealing the building includes:

- Adding chimney caps per VCC Guidelines where there are none
- Boarding/sealing rear wooden portion of the main building with T1-11 siding/board, not just unpainted OSB board (see photo on p.2 for section of building to which this references)
  - There appears to be a segment of windows beneath the exposed OSB board. If so they should be exposed and properly maintained. If they are excessively damaged and cannot be readily repaired during this phase please document so we can provide additional recommendations for this section.
- Boarding of any broken/deteriorated doors, windows, holes, ventilation shafts, and any other openings where rain/weather can infiltrate the buildings. See Pictometry photo on p.3 for chimney/openings in roof to which this references.
- Boards should be painted to match adjacent surface to extend lifespan of boards against weather

The permit would allow for 90 days from the date of permit issuance for all work to be completed. This must be completed during that time frame.

532 N Rampart

VCC Architectural Committee

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VCC Architectural Committee

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Red arrows point to voids/openings that must be sealed on roof. Additional openings/voids that are not clearly visible on the roof level in this image will also need to be properly sealed. Blue arrow points to section of parapet wall that is leaning/bowing towards neighboring property:



532 N Rampart

VCC Architectural Committee

February 24, 2026



Additional images of bowing section of parapet wall:























532 N Rampart

VCC Architectural Committee

February 24, 2026



**LEGEND**

-  COLUMN LINE
-  FINISH KEY
-  WINDOW TAG
-  DOOR TAG
-  PARTITION
-  ROOF ASSEMBLY
-  ARCHITECTURAL WOODWORK KEYNOTE
-  PLUMBING & MECHANICAL KEYNOTE
-  EXISTING PARTITION TO BE DEMOLISHED
-  NEW PARTITION OR MODIFIED - REFER TO FRAMING NOTES AND PARTITION DETAILS
-  EXISTING DOOR & FRAME TO REMAIN
-  EXISTING DOOR & FRAME TO BE REMOVED
-  NEW OR RELOCATED DOOR & FRAME - REFER TO DOOR SCHEDULE
-  ELEVATION MARKER
-  DRAWING TAG
-  SECTION MARKER
-  EXTERIOR ELEVATION
-  INTERIOR ELEVATION
- H.P. HIGH POINT
- L.P. LOW POINT
- SUSP. SUSPENDED
- GYP. BD. GYPSUM BOARD
- CONC. CONCRETE
- H.M. HOLLOW METAL
- FIXT. FIXTURE
- LT. LIGHT
- GALV. GALVANIZED
- ALUM. ALUMINUM
- ADJ. ADJUSTABLE
- HWH. HOT WATER HEATER
- MECH. MECHANICAL
- STRUCT. STRUCTURAL
- ELEC. ELECTRICAL
- F.O. FACE OF
- T.O. TOP OF
- U.S. UNDERSIDE OF
- EXST. EXISTING
- WD. WOOD
- CLG. CEILING
- STL. STEEL
- MTL. METAL
- PTD. PAINTED
- PTN. PARTITION
- SPKLR. SPINKLER
- CMU. CONCRETE MASONRY UNIT

**NOTE:**  
THIS LEGEND CONTAINS SYMBOLS AND ABBREVIATIONS USED IN THE ARCHITECTURAL DRAWINGS. SOME SYMBOLS AND ABBREVIATIONS SHOWN ARE NOT USED IN THIS PROJECT. REFER ALSO TO LEGENDS PROVIDED IN EACH SHEET FOR SYMBOLS AND ABBREVIATIONS USED TO FURTHER DESCRIBE THE WORK.

**INDEX OF DRAWINGS**

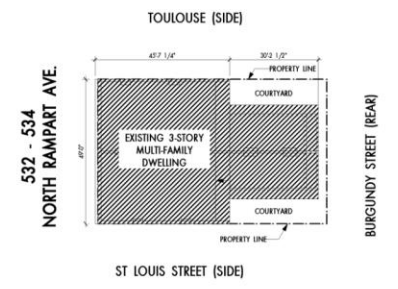
**ARCHITECTURAL**  
A005 SITE, SCOPE LEGEND  
A101 SPOC  
A201 EXTERIOR ELEVATIONS

**DIRECTORY**

**OWNER:**  
MERCIER REALTY & INVESTMENT CO.  
306 DAIRYHNE STREET  
NEW ORLEANS, LA 70112  
(504) 523-1191  
mercierreality@alcoah.net

**ARCHITECT:**  
BENDERNAGEL ARCHITECTS, L.L.C.  
5530 ATLANTA STREET  
NEW ORLEANS, LA 70115  
(504) 451-6209

JOHN E. BENDERNAGEL  
johnbendernagel@gmail.com



**SITE PLAN NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE DONE AS A RESULT OF HIS OPERATIONS, INCLUDING DAMAGE TO ADJACENT STRUCTURES, PAVING, VEHICLES, AND PERSONAL PROPERTY OF OTHERS IN THE IMMEDIATE VICINITY OF THE SITE.
2. FIELD VERIFY ALL DIMENSIONS.
3. NOTIFY THE ARCHITECT IN ADVANCE IF ANY SPECIFIED DIMENSIONS CANNOT BE ACHIEVED.

**NOTES**

**SUMMARY DESCRIPTION OF WORK**

THE PROJECT IS INTERIM EXTERIOR REPAIRS TO SEAL THE EXISTING MASONRY, AND WOOD STRUCTURE TO PREVENT WATER INFILTRATION AND TO STABILIZE A PORTION OF DEFORMED MASONRY PARAPET.

THE WORK SHALL INCLUDE WITHOUT LIMITATION:

1. PROTECTION OF EXISTING CONSTRUCTION AND ASSEMBLIES TO REMAIN.
2. CONTRACTOR IS RESPONSIBLE TO MEET ALL APPLICABLE CODES AND OBTAIN ALL PERMITS REQUIRED TO PERFORM THE WORK.
3. REFER TO PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.

**GENERAL CONSTRUCTION NOTES**

1. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH EXISTING CONDITIONS.
2. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE WITH THE OWNER.

WITH THIS OWNER'S REVIEW, THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH APPLICABLE BUILDING LAWS. I WILL CORRECT THE WORK.

JOHN E. BENDERNAGEL, ARCHITECT

INTERIM EXTERIOR REPAIRS TO  
**532 - 534 N. RAMPART STREET**  
 NEW ORLEANS, LOUISIANA  
 BENDERNAGEL ARCHITECTS, L.L.C.  
 5530 ATLANTA STREET NEW ORLEANS, LA 70115 (504) 451-6209

THESE ARCHITECTURAL DESIGNS AND DOCUMENTS ARE SUBJECT TO THE MECHANICAL WORKS CONTRACT, PROVISION ACT OF 1961 AND ALL OTHER CONTRACT PROVISIONS ATTACHED BY LAW. THE CONTRACTOR HAS AGREED TO BE BOUND BY THESE TERMS AND CONDITIONS AND HAS ACCEPTED THE CONTRACT SHALL NOT BE USED BY OR DECISION BY ANY FEDERAL, STATE, OR LOCAL AGENCY OR ANY PERSON BEING THAT PERSON'S AGENT WITHOUT THE WRITTEN PERMISSION OF BENDERNAGEL ARCHITECTS, L.L.C. THESE DOCUMENTS ARE THE PROPERTY OF BENDERNAGEL ARCHITECTS, L.L.C.

PROJECT # 2024-01

INTERIM ENCLOSURE

1/12/2026

A005

© BENDERNAGEL ARCHITECTS, L.L.C. 2026

SITE SCOPE LEGEND

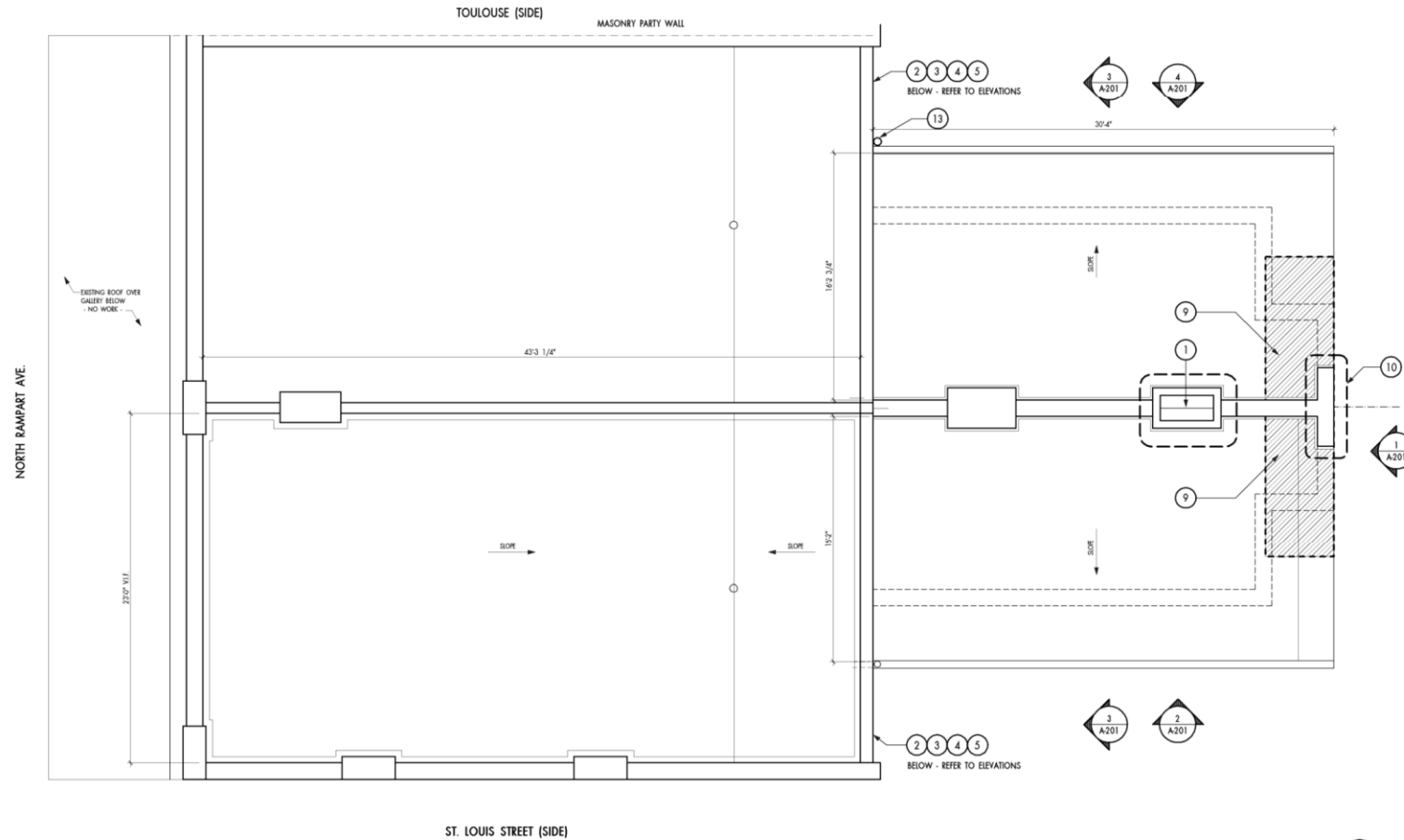


**ENCLOSURE INTERIM REPAIR  
ROOF PLAN NOTES**

THE PROJECT IS INTERIM EXTERIOR REPAIRS TO SEAL THE EXISTING MASONRY, AND WOOD STRUCTURE TO PREVENT WATER INFILTRATION AND TO STABILIZE A PORTION OF DEFORMED MASONRY PARAPET.

THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS TO PERFORM THE FOLLOWING:

1. PROVIDE SLATE CHIMNEY CAP PER VCC GUIDELINES.
2. REPAIR EXISTING WOOD ENCLOSURE WALL AT REAR FACADE OF MAIN STRUCTURE TO PROTECT FROM WATER INFILTRATION.
3. REMOVE OSB BOARD WHERE PRESENT
4. REPAIR GLAZE & PAINT STRUCTURALLY STABLE WINDOWS. REPLACED GLAZING IN LOCATIONS INDICATED WITH BLACK FILL
5. INFILL WINDOW OPENINGS WITH T-111 PLYWOOD WHERE SASH IS MISSING. PROVIDE SUPPLEMENTAL SUPPORT FRAMING.
6. WHERE WINDOWS CANNOT READILY BE REPAIRED, PROVIDE PHOTOGRAPHS AND PHOTO KEY DRAWING TO VCC TO INFORM RECOMMENDATIONS FOR HOW TO SEAL AND PROTECT.
7. WHERE WOOD EXTERIOR SIDING IS MISSING OR BADLY DETERIORATED, REPLACE OR PROTECT WITH PAINTED T-111 PLYWOOD
8. COVER, BROKEN OR DETERIORATED DOORS, WINDOWS, HOLES, VENTILATION SHAFTS, ROOF AND OTHER OPENINGS TO PREVENT WATER INFILTRATION.
9. REPAIR ROOF - INFILL WITH MATERIALS TO MATCH ADJACENT ROOF CONSTRUCTION
10. REPAIR & STABILIZE DETERIORATED, BOWED EXISTING MASONRY PARAPET WALL
11. PAINT ENCLOSURE BOARDS - COLORS TO MATCH ADJACENT SURFACES.
12. CLOSE & SECURE EXISTING DOORS
13. PROVIDE NEW TEMPORARY PVC DOWNSPOUT AT LOCATION OF MISSING LEADER.
14. REMOVE WINDOW HVAC UNIT & ASSOCIATED METAL MESH ENCLOSURE. CLOSE & SECURE EXISTING WINDOW & SHUTTERS WHERE PRESENT.



1 ROOF PLAN  
1/4" = 1'-0"

532 N Rampart

VCC Architectural Committee

February 24, 2026

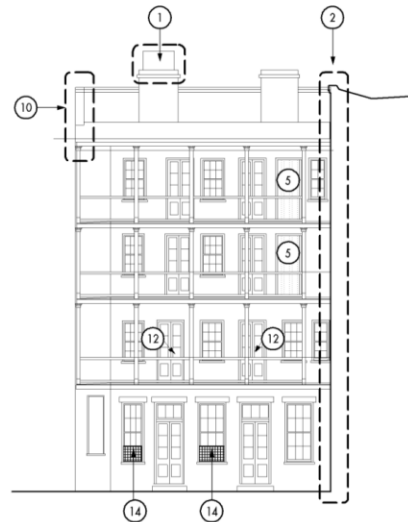


**ENCLOSURE INTERIM REPAIR  
ELEVATION NOTES**

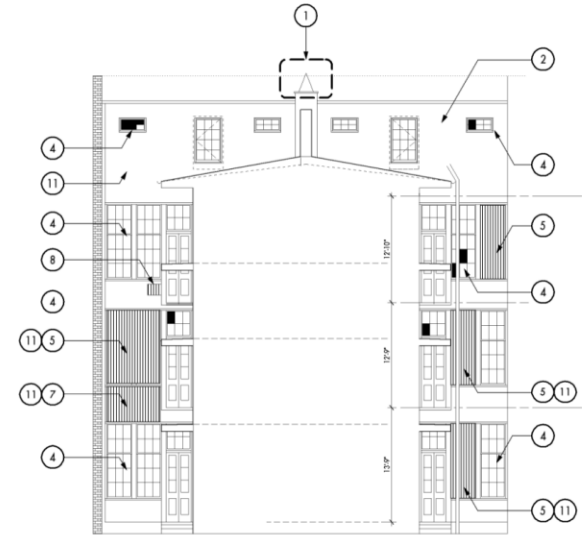
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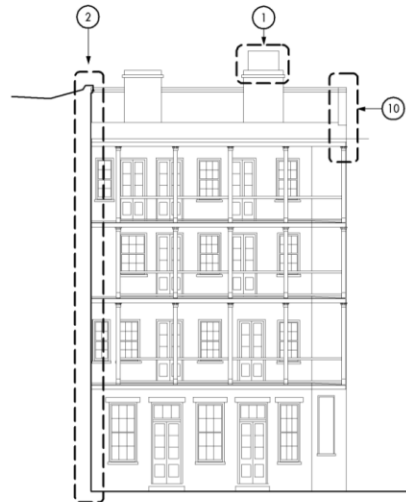
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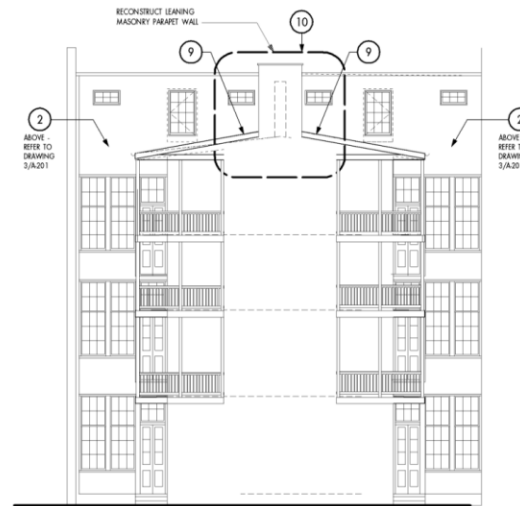
4 ELEVATION TO COURTYARD AT TOULOUSE STREET (SIDE)  
1/8" - 1'-0"



3 ELEVATION AT WOOD WALL TO COURTYARD  
1/8" - 1'-0"



2 ELEVATION TO COURTYARD AT ST. LOUIS STREET (SIDE)  
1/8" - 1'-0"



1 ELEVATION TO BURGUNDY STREET (REAR)  
1/8" - 1'-0"

