



Vieux Carré Commission Meeting

Wednesday,

November 1, 2017



Chairman's Report



Director's Report



Other Business



Rooftop Subcommittee



Rooftop Subcommittee Draft Resolution presentation – Examples of activated exterior rooftop additions



Rooftop Subcommittee Draft Resolution presentation – Examples of activated exterior rooftop additions



Rooftop Subcommittee Draft Resolution presentation – Examples of activated exterior rooftop additions



Rooftop Subcommittee Draft Resolution presentation – Examples of activated exterior rooftop additions



Rooftop Subcommittee Draft Resolution presentation – Examples of activated exterior rooftop additions



Synthetic Decking



Aeratis Heritage

Features:

- Double-sided—Offers a finished coving look from underneath
- 3 prefinished colors: Weathered Wood, Redwood, and Battlement Gray
- ADA slip compliant both wet and dry
- Class "B" fire rated

Best for:

- Traditional Joist Framing
- Waterproof Applications
- Direct to Concrete

[View Details](#)



Aeratis Traditions

Features:

- S-A joint adhesion: the strongest joint adhesion in the industry
- ADA slip compliant both wet and dry
- Class "B" fire rated

Best for:

- Traditional Joist Application
- Waterproof balconies and porches
- Direct to Concrete
- Historic Projects

[View Details](#)



Aeratis Classic

Features:

- 3 prefinished colors: Weathered Wood, Redwood, and Battlement Gray
- Widened Urban Interface approved
- ADA slip compliant both wet and dry
- Class "A" fire rated

Best for:

- Widened Urban Interface projects
- Rooftop Applications
- Multi-Family Balconies
- Historic properties that need flame protection
- Boardwalks

[View Details](#)



Universal Porch Plank

Features:

- One corner has a pre-finished bullnose edge
- 3 prefinished colors OR a paint ready product with S-A joint adhesion

Best for:

- Stair
- Picture Frame
- Stair Landing
- Balconies

[View Details](#)



Accessories

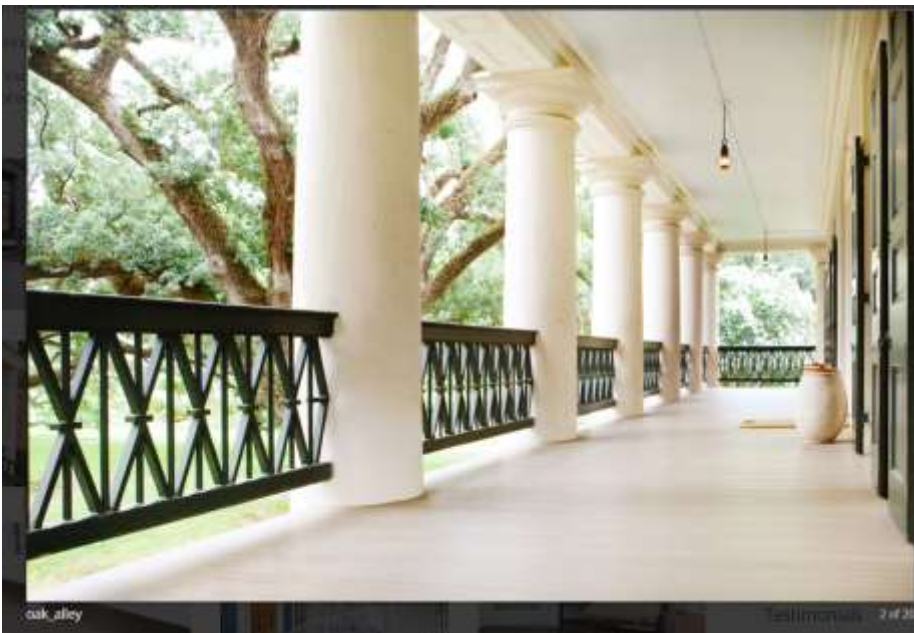
Trims and Accessories

To compliment the entire line of porch flooring products, there is a full line of trim in matching colors.

Trim Styles:

- Chairfin
- Half-round
- Quarter-round

[View Details](#)



oak_alley

Call for more info 2 of 28

Discussion of Previously Approved Synthetic Decking

Vieux Carré Commission

November 1, 2017





321 Exchange – Denied for retention 05/27/14

Vieux Carré Commission

November 1, 2017



05.21.2014 08:27

321 Exchange – Denied for retention 05/27/14

Vieux Carré Commission

November 1, 2017





1001 Toulouse – Denied for installation 02/24/15

Vieux Carré Commission

November 1, 2017





1001 Toulouse - Denied for installation 02/24/15

Vieux Carré Commission

November 1, 2017





936 Conti – Approved as test case - 05/12/15

Vieux Carré Commission

November 1, 2017





936 Conti – Approved as test case - 05/12/15

Vieux Carré Commission

November 1, 2017





02 18 2016

817 Decatur – Approved as test case - 10/10/15

Vieux Carré Commission

November 1, 2017





08 26 2016

817 Decatur – Approved as test case - 10/10/15

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November 1, 2017





301 Burgundy-Before Installation - Approved 07/11/17

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November 1, 2017





301 Burgundy Street – Approved 07/11/17

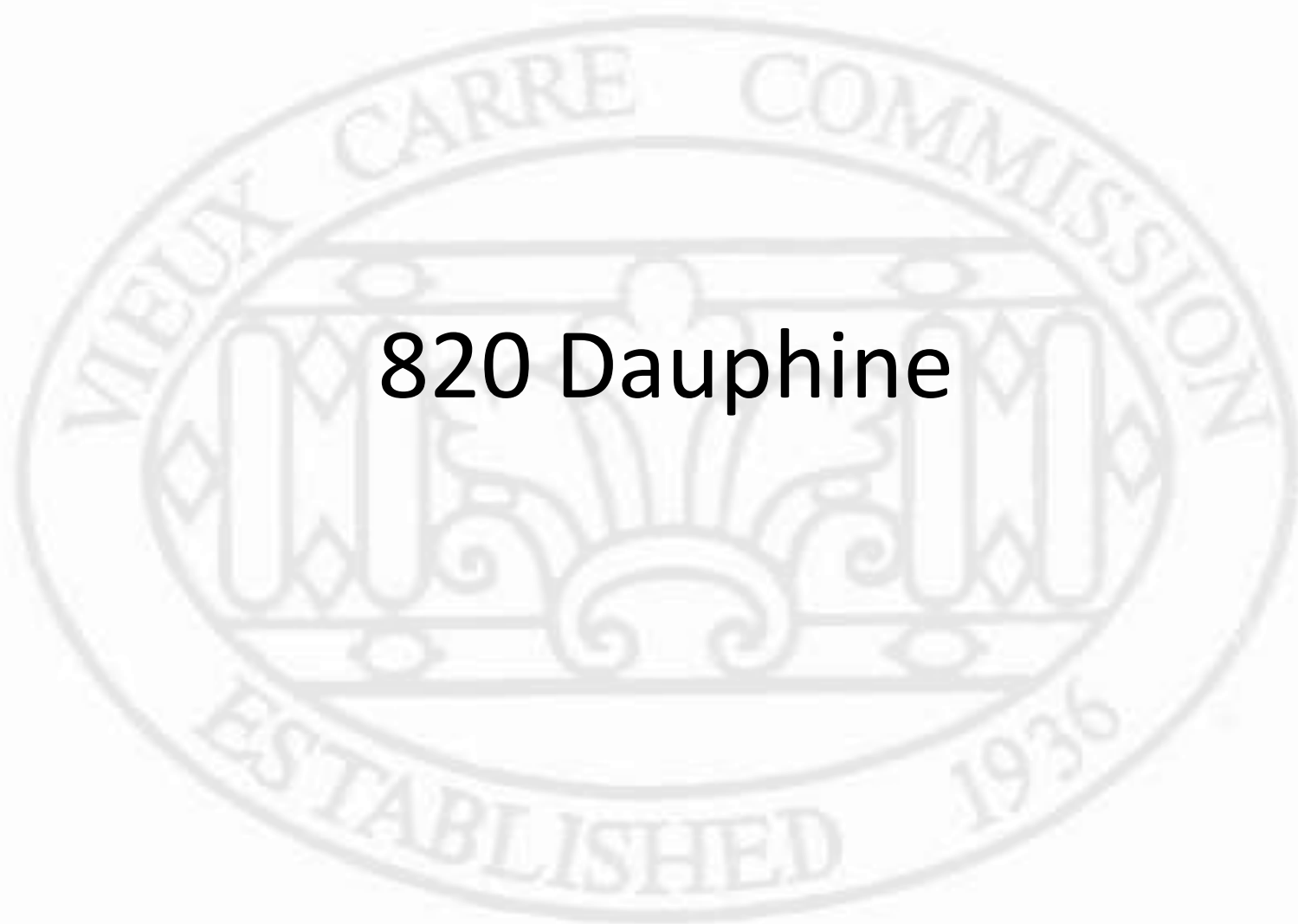
Vieux Carré Commission

November 1, 2017





New Business



820 Dauphine



820 Dauphine

Vieux Carre Commission

November 1, 2017



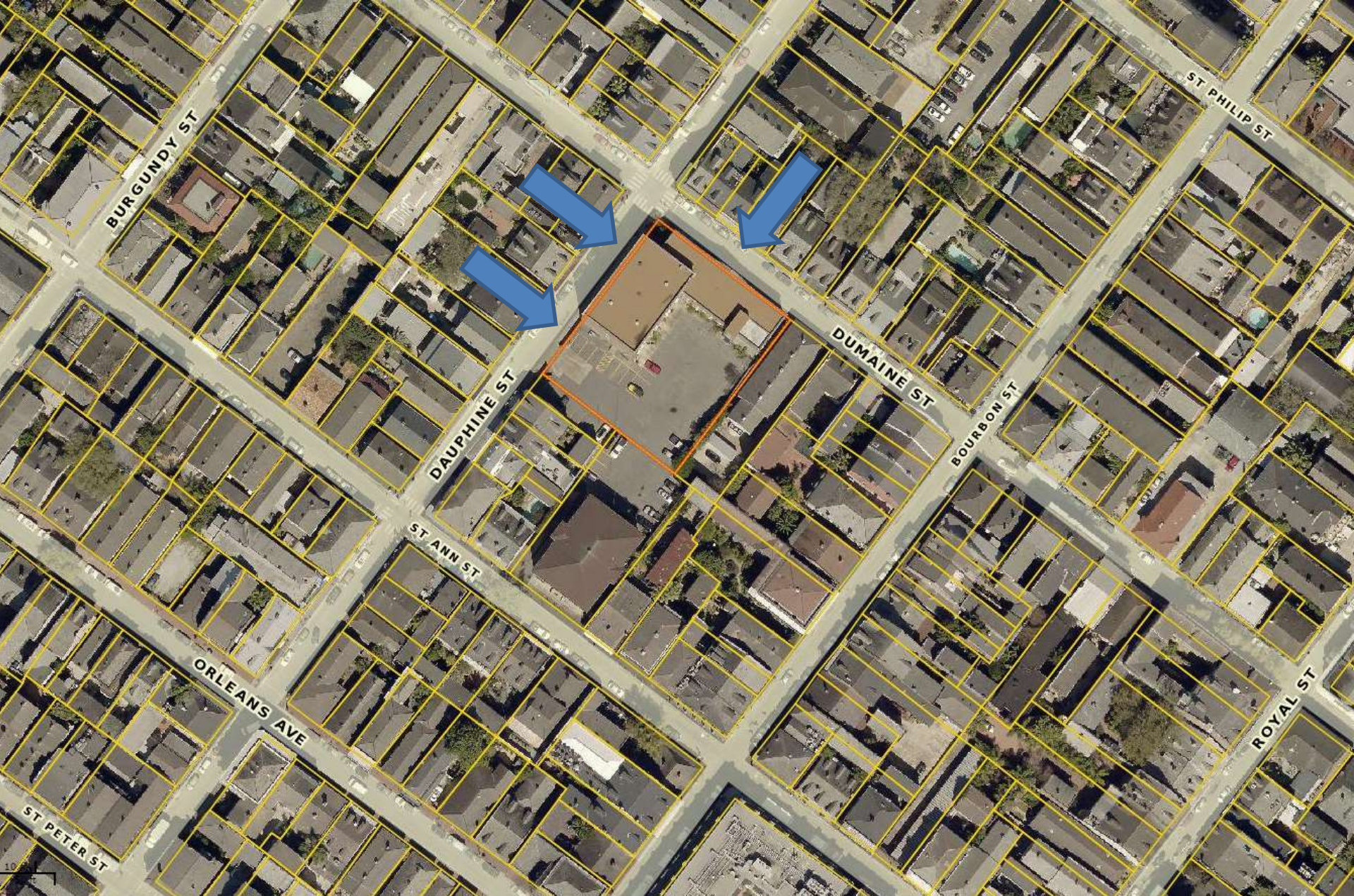


820 Dauphine

Vieux Carre Commission

November 1, 2017





820 Dauphine

Vieux Carre Commission

November 1, 2017





820 Dauphine – c. 1950

Vieux Carre Commission

November 1, 2017





820 Dauphine – c. 1950

Vieux Carre Commission

November 1, 2017





820 Dauphine

Vieux Carre Commission

November 1, 2017





820 Dauphine

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820 Dauphine

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November 1, 2017





820 Dauphine

Vieux Carre Commission

November 1, 2017



Drawing set for:

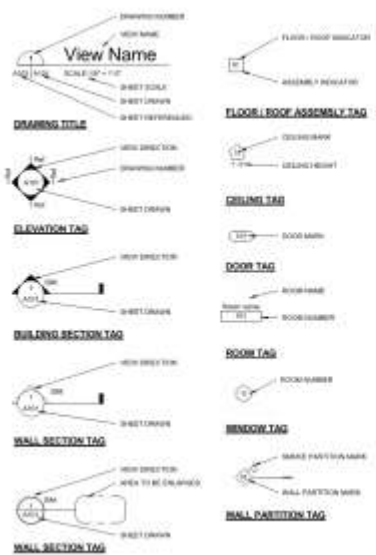
820 Dauphine - Phase 3

Adaptive Reuse/Addition
French Quarter New Orleans, Louisiana



INDEX OF DRAWINGS (PHASE 3)			
SHEET NUMBER	SHEET NAME	CURRENT REVISION	CURRENT REVISION DATE
A-0.00.1	TITLE & INDEX SHEET		
A-0.01.1	SITE SURVEY		
A-0.02.1	SITE PLAN		
A-2.00.1	FLOOR PLANS		
A-2.00.1.01	FLOOR PLANS		
A-3.01.1	ASSEMBLIES		
A-3.02.1	UL ASSEMBLIES		
A-3.33.1	SPEERING SCHEDULE		
A-4.01.1	INTERIOR ELEVATIONS		
A-4.02.1	EXTERIOR ELEVATIONS		
A-4.03.1	EXTERIOR ELEVATIONS - OUTBUILDING		
A-4.10.1	MULTIVIEW SECTIONS		
A-5.01.1	INTERIOR ENLARGED VIEWS		
A-6.01.1	ENLARGED UNIT PLANS & ELEVATIONS		
S-0.00.1	Unissued		
M-E-00.1	Unissued		
P-0.00.1	Unissued		
E-0.00.1	Unissued		

ARCHITECTURAL SYMBOLS



Project Directory

Owner:
de la Tour Holdings, LLC
1180 Poydras Street, 24th Floor
New Orleans, LA 70113
Contact: William "Bill" Lygin
Direct: (504) 599-8335
Email: B.Lygin@lgin.com

Architect:
Trigodon-Peier Architects
806 Tulaneouche Street
New Orleans, LA 70113
Contact: Steve Tachau
Direct: (504) 293-3864
Email: steve@trigodone.com

Structural Engineer:
Heald Engineering, LLC
3820 N Causeway Blvd, Suite 1100
Metairie, LA 70002
Contact: James Heald
Office: (504) 643-1143
Email: james@healdeng.com

Mechanical/Plumbing Engineer:
RMC Consulting Engineers, Inc.
3125 20th St.
Metairie, LA 70002
Contact: Eugene "Dug" Higgins
Office: (504) 837-9110
Email: ehiggins@rmce.com

Electrical Engineer:
Northstar Electric Inc.
2620 Maple Leaf Drive
Metairie, LA 70002
Contact: Larry Beaudette, Jr.
Office: 504-831-7730
Email: larry@northstarelectrical.com

Contractor:
Renovations of Mississippi, INC.
721 3rd Street South
Columbus, MS 39703
Contact: Clay Chase
Office: (662) 328-8888
Email: mchris@york.com

820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116
TRAPOLIN • PEIER ARCHITECTS

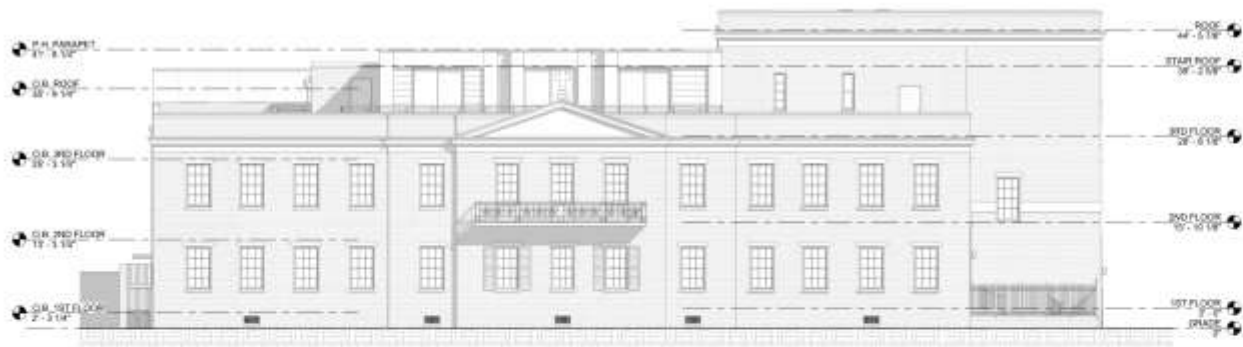
de la Tour Holdings, LLC
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New Orleans, LA 70113
(504) 599-8335

Renovations of Mississippi, INC.
721 3rd Street South
Columbus, MS 39703
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INDEX SHEET	
NO.	DATE
1	03/15/17
2	03/15/17
3	03/15/17
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100	03/15/17

A-0.00.3





SOUTH ELEVATION - ALL PHASES

SCALE: 1/8" = 1'-0"



EAST ELEVATION - ALL PHASES

SCALE: 1/8" = 1'-0"

820 Dauphine
 Adaptive Reuse/Addition
 820 Dauphine Street
 New Orleans, LA 70116
 TRAPOLIN + PEER ARCHITECTS

4th & Tenth Holdings, LLC
 1182 Poydras Street, 28th Floor
 New Orleans, LA 70112
 (504) 594-0380

Secretary of Mississippi, INC.
 721 3rd Street South
 Columbia, MS 39203
 (601) 338-8880

Revision	03/16/21
Author	03/16/21
Checker	03/16/21
Scale	1/8" = 1'-0"
Date	04-17

EXTERIOR ELEVATIONS

A-4.01.3

820 Dauphine

Vieux Carre Commission

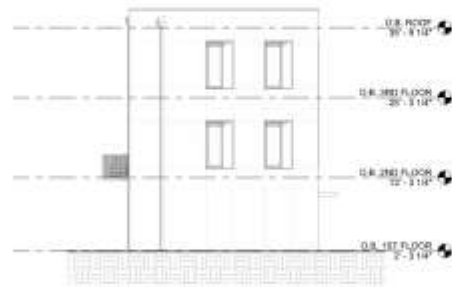
November 1, 2017





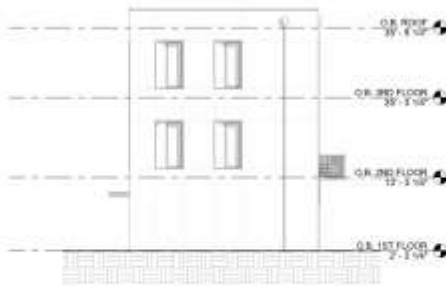
EAST ELEVATION - PHASE 3

AREA 1 1/4" = 1'-0"



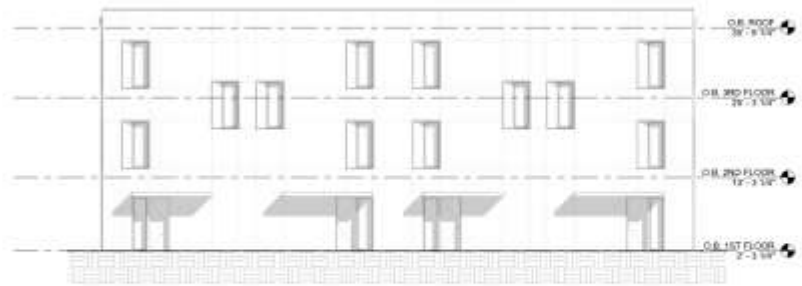
NORTH ELEVATION - PHASE 3

AREA 2 1/4" = 1'-0"



SOUTH ELEVATION - PHASE 3

AREA 3 1/4" = 1'-0"



WEST ELEVATION - PHASE 3

AREA 4 1/4" = 1'-0"

820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116
TRAPKILIN • PEIR ARCHITECTS

Client: **de la Tour Holdings, LLC**
1100 Poydras Street, 34th Floor
New Orleans, LA 70140
(504) 586-6220

Engineer: **Removals of Mississippi, INC.**
721 5th Street South
Columbia, MS 39201
(601) 228-6666

Revision table with columns for No., Description, and Date.

Project Number: 0816027
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Sheet No.: 14
Date: 4-4-17

EXTERIOR ELEVATIONS - OUTBUILDING

A-4.03.3

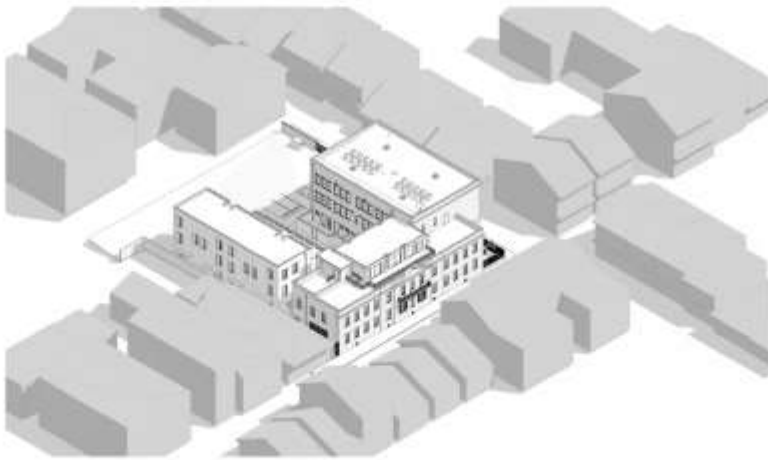




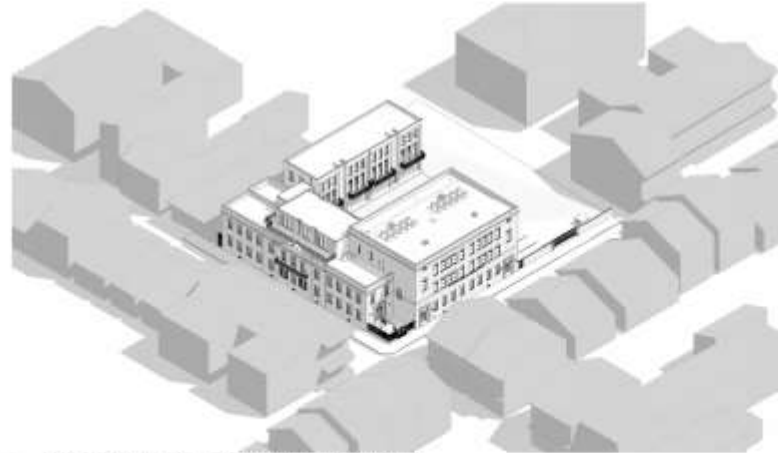
DUMAINE BLOCK ELEVATION - PHASE 3



DAUPHINE BLOCK ELEVATION - PHASE 3



MASSING AERIAL - SOUTHWEST - PHASE 3



MASSING AERIAL - SOUTHEAST - PHASE 3

820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116

TRAKOLIN + PEIER ARCHITECTS

de la Tour Holdings, LLC
1101 Poydras Street, 34th Floor
New Orleans, LA 70116
(504) 589-0220

Removalists of Mississippi, INC.
721 3rd Street South
Columbia, MS 39201
(601) 328-8888

Project Name	DPH017
Sheet No.	010
Scale	1/8"
Date	4-4-17
BLOCK ELEVATIONS & AERIALS	

P-9.01.3



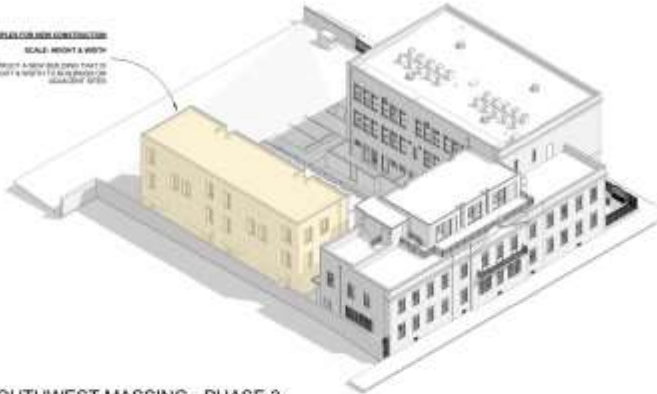
EXISTING (POST PHASE 2)

NEW OUTBUILDING

SEE PHASE 2 FOR NEW CONSTRUCTION

SCALE: HEIGHT & WIDTH

CONSTRUCTION & NEW BUILDING WITH SCALE HEIGHT & WIDTH TO MATCH EXISTING & NEW BUILDING TO MATCH EXISTING SCALE

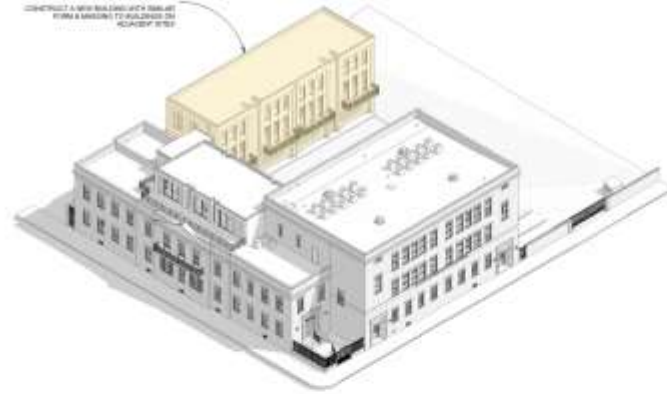


SOUTHWEST MASSING - PHASE 3

SEE PHASE 2 FOR NEW CONSTRUCTION

SCALE: HEIGHT & WIDTH

CONSTRUCTION & NEW BUILDING WITH SCALE HEIGHT & WIDTH TO MATCH EXISTING & NEW BUILDING TO MATCH EXISTING SCALE

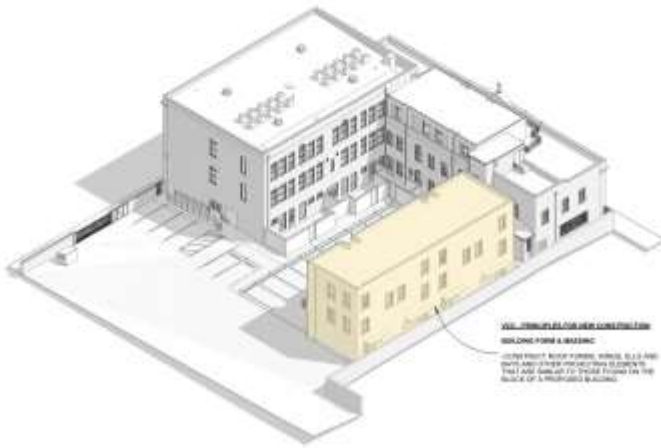


SOUTHEAST MASSING - PHASE 3

SEE PHASE 2 FOR NEW CONSTRUCTION

SCALE: HEIGHT & WIDTH

CONSTRUCTION & NEW BUILDING WITH SCALE HEIGHT & WIDTH TO MATCH EXISTING & NEW BUILDING TO MATCH EXISTING SCALE

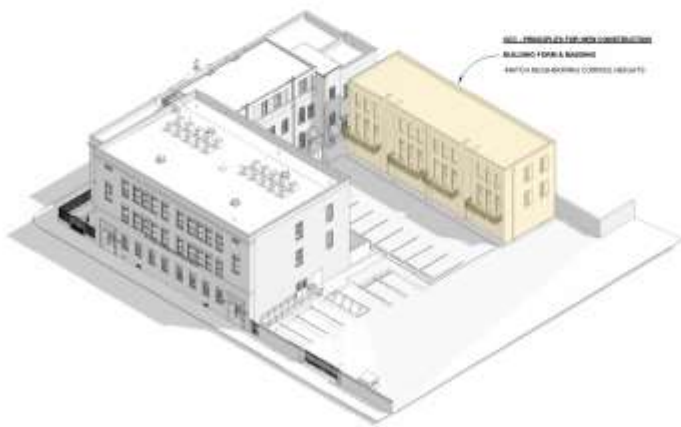


NORTHWEST MASSING - PHASE 3

SEE PHASE 2 FOR NEW CONSTRUCTION

SCALE: HEIGHT & WIDTH

CONSTRUCTION & NEW BUILDING WITH SCALE HEIGHT & WIDTH TO MATCH EXISTING & NEW BUILDING TO MATCH EXISTING SCALE



NORTHEAST MASSING - PHASE 3

820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116
TRAPOLIN + PEER ARCHITECTS

At la Place Holdings, LLC
1100 Poydras Street, 24th Floor
New Orleans, LA 70113
(504) 589-0220

Representatives of Mueselwitz, INC.
721 3rd Street South
Columbia, MS 39203
(601) 328-8888

Table with 2 columns: Description, Quantity. The table is mostly empty with some faint text.

Project Name: 820 DPH
Draw No: 010
Issued By: TP

DATE: 4-4-17
AERIAL DIAGRAM

P-9.03.3





820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116

TRAPOLIN • PEIER ARCHITECTS
315 Poydras Street, Suite 3000, New Orleans, Louisiana 70112 | 504.581.1777 | www.315peier.com

As of Total Holdings, LLC
1101 Poydras Street, 24th Floor
New Orleans, LA 70113
(504) 589-8220

Restoration of Mississippi, Inc.
721 1/2 Broad Street
Columbia, MS 39201
(601) 233-6695

Project Number: C2014707
Sheet No: 0102
Scale: 1/4"

Date: 4.4.17
PERSPECTIVES

P-9.04.3





820 Dauphine

Adaptive Reuse/Addition
 820 Dauphine Street
 New Orleans, LA 70116

TRKAPOLIN • PEIER ARCHITECTS

de la Tour Holdings, LLC
 1100 Poydras Street, 35th Floor
 New Orleans, LA 70112
 (504) 556-0330

Reconstructions of Mississippi, INC.
 121 1/2 Cedar Street
 Columbia, MS 39201
 (601) 328-6000

Project Number: 2343721
 Sheets: 18/25
 Date: 8-6-17

PERSPECTIVES

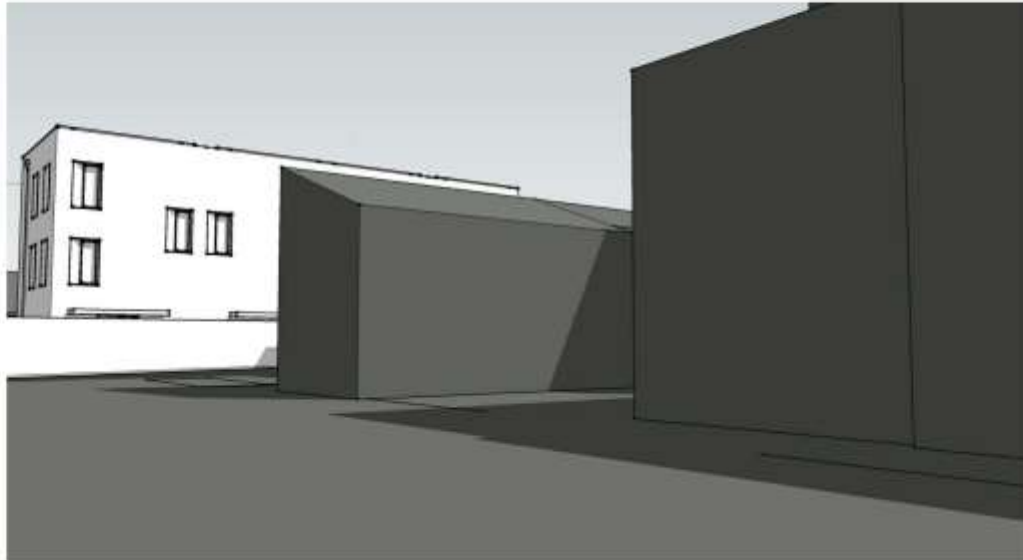
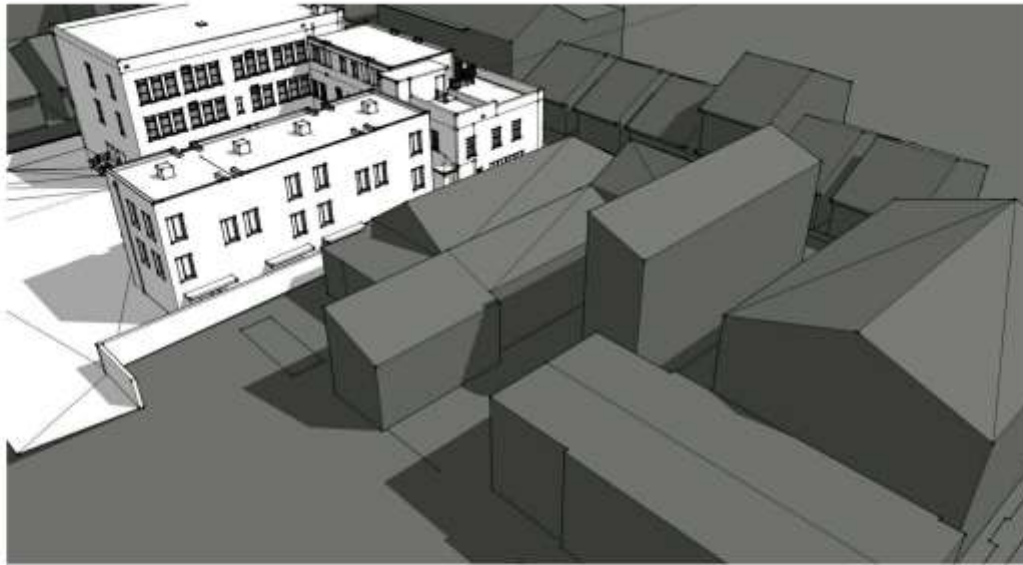
P-9.05.3

820 Dauphine

Vieux Carre Commission

November 1, 2017





820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116

TRAPOLIN • PEIER ARCHITECTS

de la Tour Holdings, LLC
1101 Poydras Street, 24th Floor
New Orleans, LA 70112
(504) 299-2220

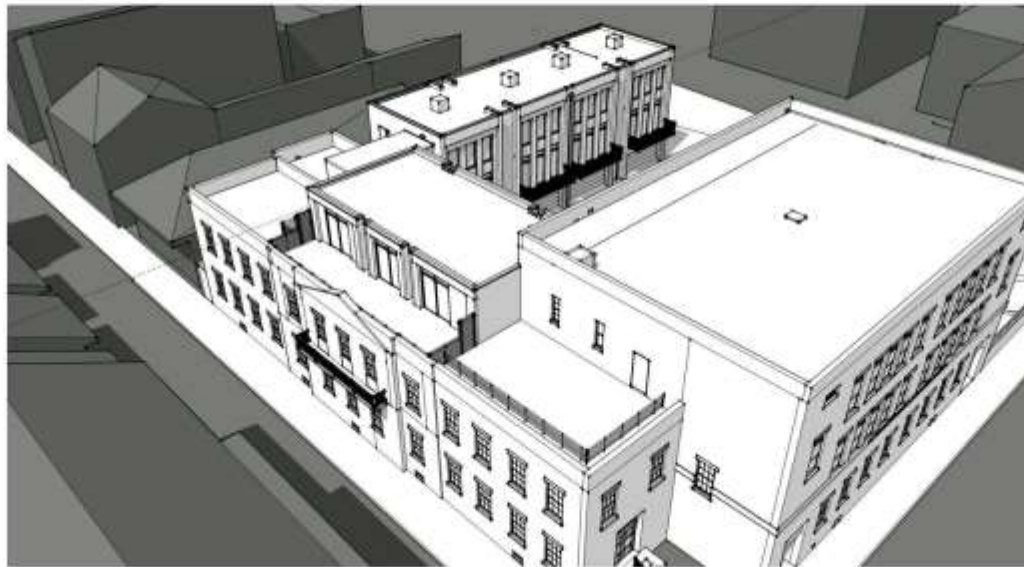
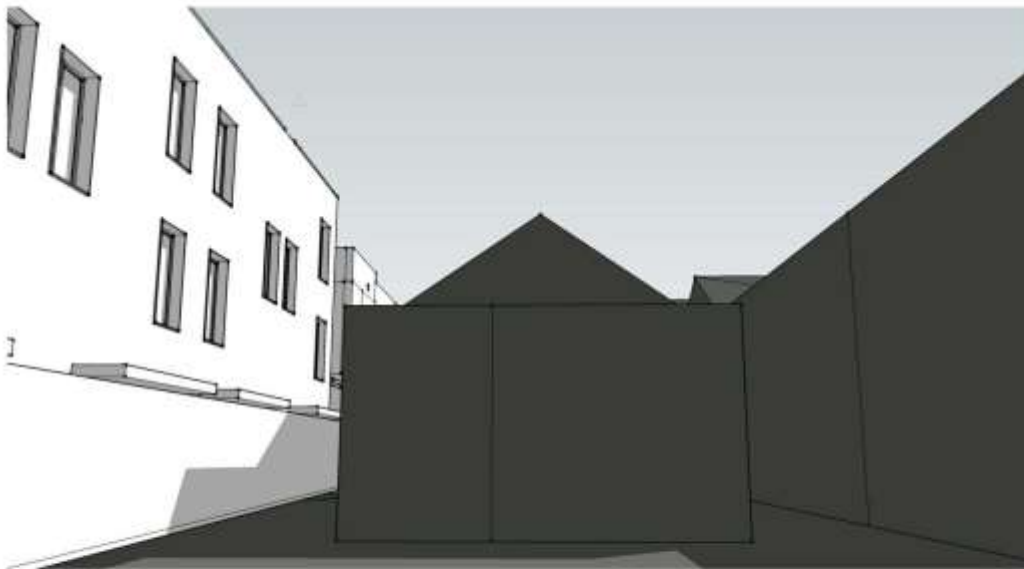
Removal of Mississippi, INC.
721 East Broad Street
Columbia, MS 39201
(601) 238-6888

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Created By: **ST**

Date: **4.4.17**
PERSPECTIVES

P-9.06.3





820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116

TRAPOLIN + PEER ARCHITECTS

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File to Trust Holdings, LLC
1180 Poydras Street, 24th Floor
New Orleans, LA 70116
(504) 588-4222

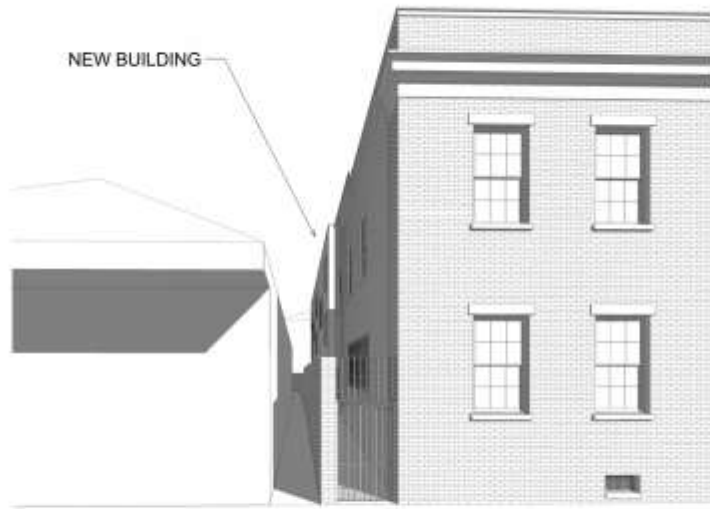
Remediation of Mississippi, INC.
121 3rd Street South
Columbia, MS 39201
(601) 328-8800

Project Number: 0210121
Date: 07/10
Drawing: 01

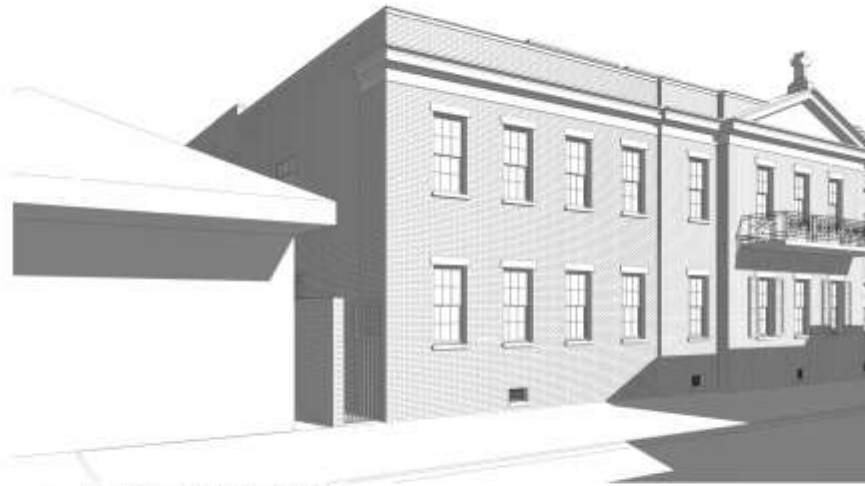
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PERSPECTIVES

P-9.07.3





VIEW DOWN ALLEY FROM DUMAÏNE
Project Note



PERSPECTIVE FROM DUMAÏNE
Project Note



820 Dauphine
Adaptive Reuse/Addition
820 Dauphine Street
New Orleans, LA 70116
TRAPOLIN + PEER ARCHITECTS
114 Magazine Street, Suite 1000, New Orleans, Louisiana, 70130 | 504.581.0350 | 800.542.0361 | www.trapolinpeer.com

de la Tour Holdings, LLC
1100 Poydras Street, 24th Floor
New Orleans, LA 70163
(504) 298-6222

Restorations of Mississippi, INC.
721 3rd Street South
Columbia, MS 39201
(601) 228-6666

NO.	DESCRIPTION

NO.	DATE	BY	DESCRIPTION

NO.	DATE	BY	DESCRIPTION

VICINITY PERSPECTIVES

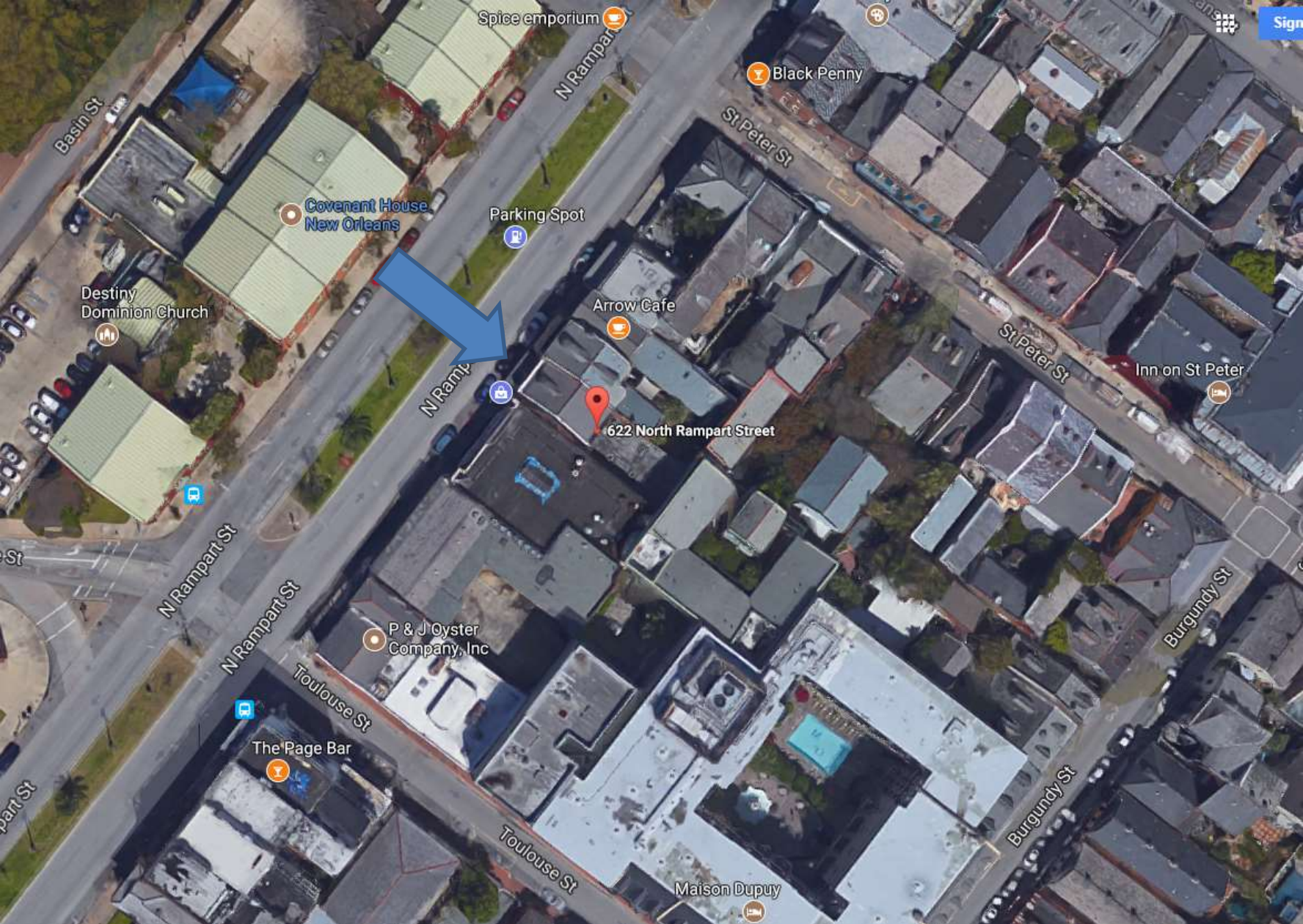
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P-9.08.3





622 N Rampart



622 N Rampart

VCC Architectural Committee

October 10, 2017





622 N Rampart

VCC Architectural Committee

October 10, 2017





622 N Rampart

VCC Architectural Committee

October 10, 2017





622 N Rampart

VCC Architectural Committee

October 10, 2017





622 N Rampart – in brown-rated portion of building

VCC Architectural Committee

October 10, 2017





622 N Rampart – in brown-rated portion of building

VCC Architectural Committee

October 10, 2017





622 N Rampart – in brown-rated portion of building

VCC Architectural Committee

October 10, 2017





622 N Rampart – in brown-rated portion of building

VCC Architectural Committee

October 10, 2017





622 N Rampart – existing archway at rear of main building

VCC Architectural Committee

October 10, 2017





622 N Rampart – existing alleyway

VCC Architectural Committee

October 10, 2017





622 N Rampart – existing brown-rated roof

VCC Architectural Committee

October 10, 2017



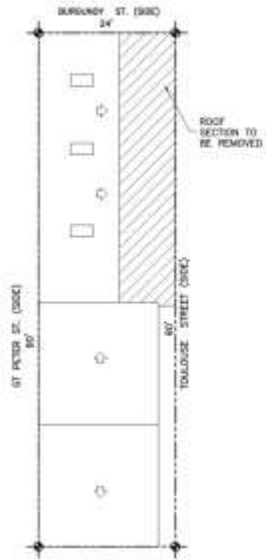


622 N Rampart – existing brown-rated roof

VCC Architectural Committee

October 10, 2017



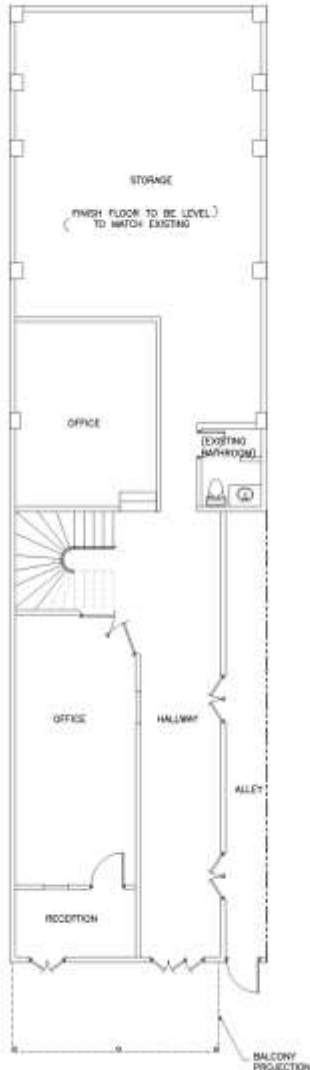


1 EXISTING PLOT PLAN
SCALE: 1" = 10'-0"

KEY NOTE:
NO EXTERIOR CHANGE
SHALL BE DONE
UNDER THIS PERMIT



2 EXISTING INTERIOR VIEW
HALLWAY
1st FLOOR



3 EXISTING FLOOR PLAN
1st FLOOR
SCALE: 3/16" = 1'-0"



4 EXISTING FLOOR PLAN
2nd FLOOR
SCALE: 3/16" = 1'-0"



5 EXISTING FRONT ELEVATION

SCOPE OF WORK :
INTERIOR RENOVATION. NO OUTSIDE WORK WILL BE PERFORMED.
WORK TO BE DONE:
1.- INTERIOR WALL PARTITIONS ON THE 1st FLOOR.
2.- DEMOLISH WALL PARTITION ON 2nd FLOOR.
3.- NEW KITCHEN LAYOUT
3.- NEW KNEE WALLS TO REINFORCE ROOF STRUCTURE AT DORMER ON THE 3rd FLOOR
4.- NEW PLUMBING, ELECTRICAL.



6 EXISTING FLOOR PLAN
3rd FLOOR
SCALE: 3/16" = 1'-0"



7 EXISTING INTERIOR VIEW
REAR STORAGE AREA



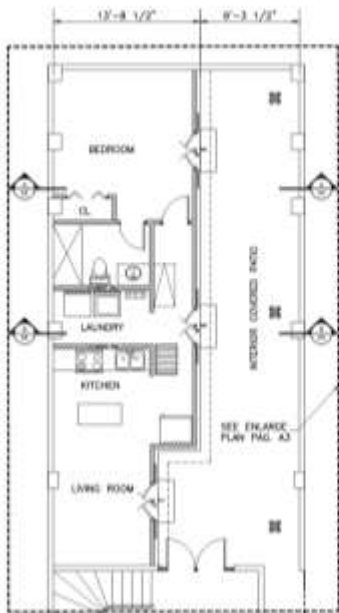
8 EXISTING BEDROOMS VIEW
2nd FLOOR



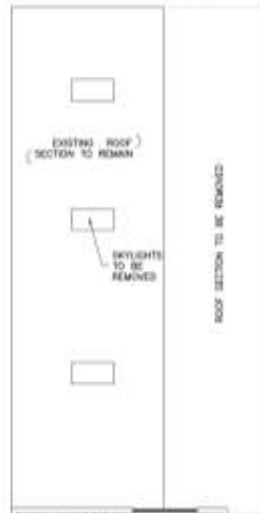
9 EXISTING INTERIOR VIEW
3rd FLOOR

Designed	
Drawn	MC
Checked	EP
Approved	TD
Scale	SHOWN
Date	09-28-17
Project No.	
Sheet No.	

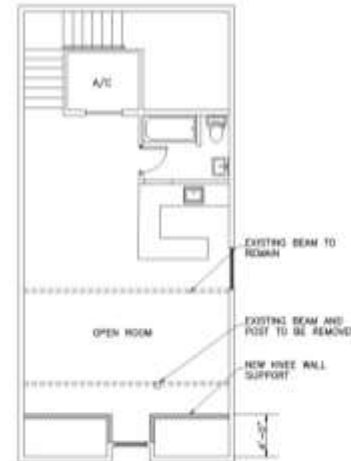




1 PROPOSED FLOOR PLAN
1st FLOOR
SCALE: 3/16" = 1'-0"



2 PROPOSED FLOOR PLAN
2nd FLOOR
SCALE: 3/16" = 1'-0"



3 PROPOSED FLOOR PLAN
3rd FLOOR
SCALE: 3/16" = 1'-0"

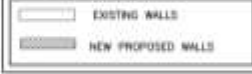


4 EXISTING REAR ROOF

IRC 2012 NOTES :

1. ALL WORK SHALL MEET APPLICABLE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE 2012 EDITION.
2. LAMINAR WOODROSE DETECTORS SHALL BE PROVIDED EXCEPT ENTRY SLEEPING AREA.
3. SMOKE DETECTORS SHALL BE PROVIDED AT NOMINATED LOCATIONS AS PER SECTION 909.2.1 OF THE IRC 2012 EDITION.
4. WOODROSE MUST HAVE A U-FACTOR OF 0.15 OR LESS AS PER IRC TABLE 602.1.1.
5. R-13 INSULATION MINIMUM AT EXTERIOR WALLS, R-30 MINIMUM AT CEILING JOINTS.
6. ALL WINDOW AND DOOR SHALL HAVE 2" X 1/2" WEATHERS.
7. WINDS DETECTORS SHALL BE PROVIDED IN AND AROUND ALL SLEEPING AREAS.
8. ALL SLEEPING AREAS SHALL BE HAVE A MINIMUM CLEAR OPENING OF 0.7 SQ. FT. MINIMUM.

LEGEND :



SQUARE FOOTAGE :

1st FLOOR AREA:	2,033.36 SQ.FT.
2nd FLOOR AREA:	858.90 SQ.FT.
3rd FLOOR AREA:	846.72 SQ.FT.
TOTAL AREA:	3,741.70 SQ.FT.



REMARKS:
IN ALL EXISTING STRUCTURE SHALL BE REMOVED CONTRACTOR TO REMOVED EXISTING SKYLIGHT.
CONTRACTOR SHALL INSURE THAT ALL EXISTING STRUCTURE ARE REMOVED IN THE CORRECT MANNER AND REMOVED WITHOUT ANY RESIDUES.
THIS SHALL BE COMPLETED BY 08:00 AM AND ALL SHALL KEEP WORKING ON THE JOB.

EXISTING ROOF SECTION TO REMAIN. CONTRACTOR TO REMOVED EXISTING SKYLIGHT.

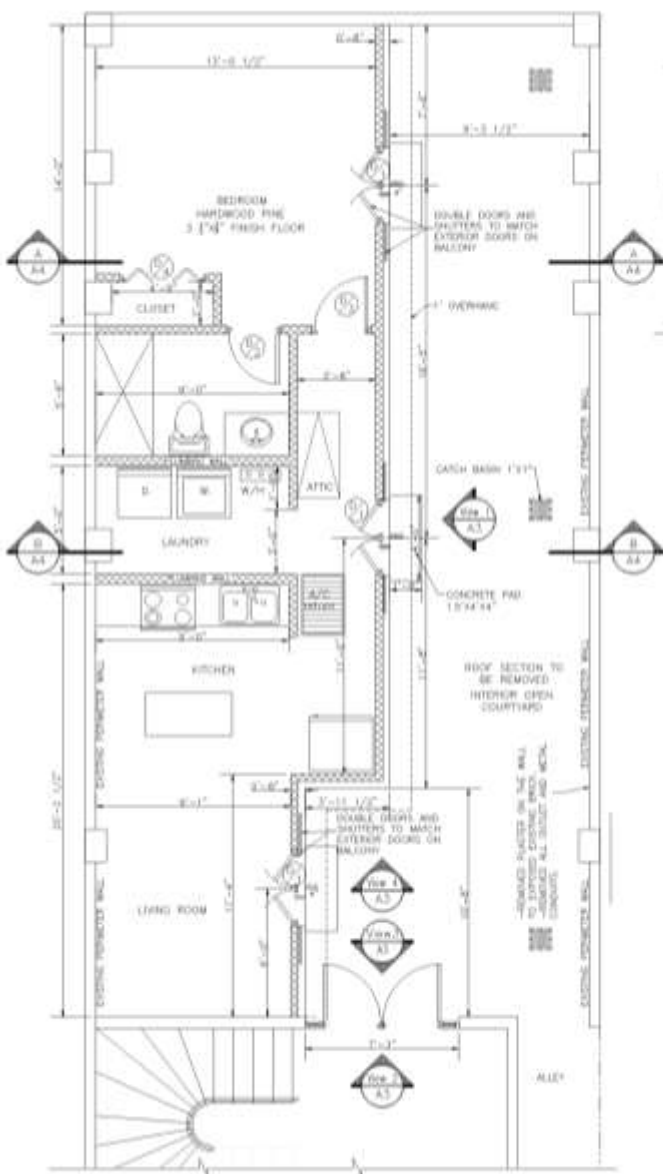
ENGINEER STATEMENT

I HAVE REVIEWED THE APPLICABLE CODE REQUIREMENTS AND THE CONTRACTOR'S WORK AND I AM Satisfied WITH THE QUALITY OF THE WORK AND I AM Satisfied WITH THE CONTRACTOR'S RESPONSIBILITY FOR THE COMPLETION OF THESE PLANS.

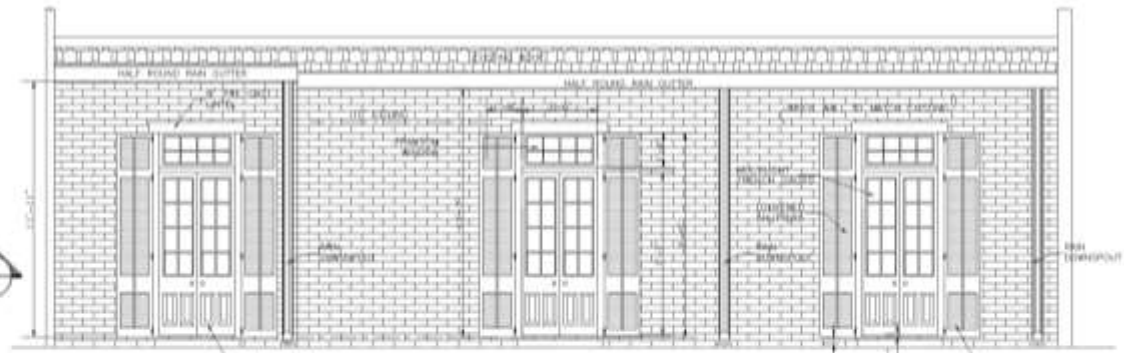
THOMAS EVER, P.E.

Designed:	
Drawn:	MC
Checked:	EP
Approved:	TD
Date:	SHOWN
Scale:	08-28-17
Project No.:	
Sheet No.:	

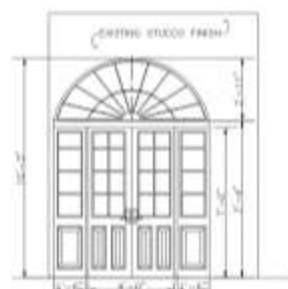




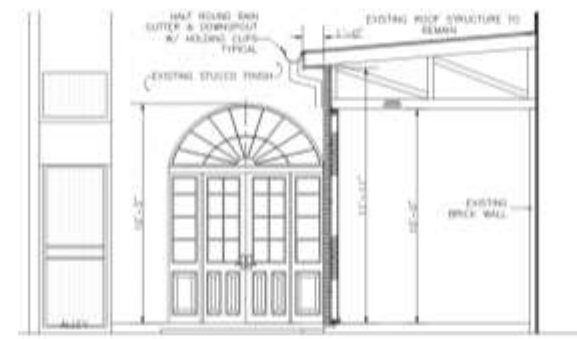
**PROPOSED FLOOR PLAN
1st FLOOR (ENLARGE)**



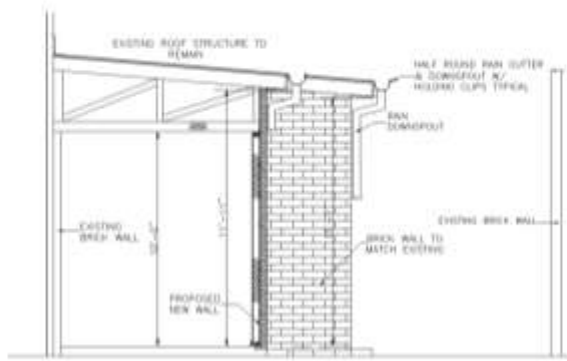
**2 EXTERIOR - VIEW 1
SCALE 3/8" = 1'-0"**



**3 INTERIOR - VIEW 2
SCALE 3/8" = 1'-0"**



**4 EXTERIOR - VIEW 3
SCALE 3/8" = 1'-0"**



EXTERIOR - VIEW 4

MARK	WIDTH	HEIGHT	UNITS	DESCRIPTION	LOCATION
1	3'-0"	8'-0"	3	DOUBLE DOOR CORNER TYPE WOOD PANEL	1st FLOOR
2	2'-4"	8'-0"	1	HYPERBOLIC DOOR, WOOD PANEL	3rd FLOOR
3	2'-0"	8'-0"	1	HYPERBOLIC DOOR, WOOD PANEL	3rd FLOOR
4	4'-0"	8'-0"	1	HYPERBOLIC DOOR, WOOD PANEL	3rd FLOOR

- REMOVED PLASTER ON THE WALL TO EXPOSE EXISTING BRICK
- REMOVED ALL OUTLET AND METAL CONDUITS
- SPROUT PATCH ALL HOLES
- APPLY WEATHER COATING

LEGEND :

EXISTING WALLS

NEW PROPOSED WALLS



PROFESSIONAL DESIGNERS GROUP INC.
BUILDING DESIGNER
402 WASHING ST., SUITE 200, N.C., LA 70130 (504)633-3033

INTERIOR RENOVATION
822 N. RAMPART N.O., LA 70112
PROPOSED FLOOR PLANS, ELEVATIONS AND NOTES

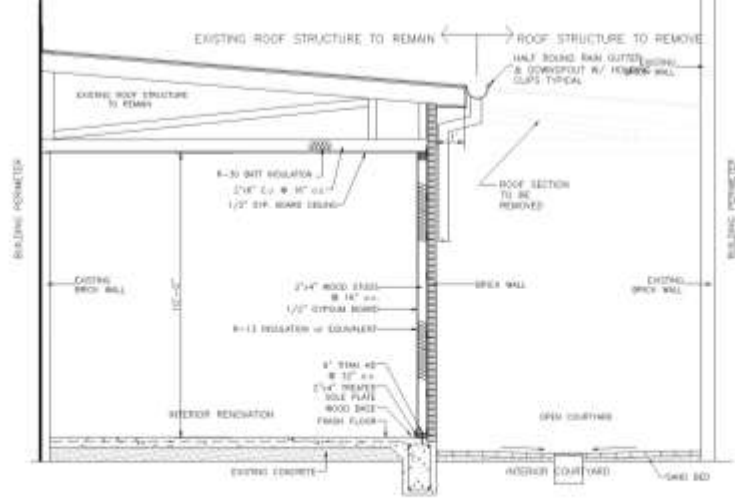
Program	
Drawn	MC
Checked	EP
Approved	TD
Date	SHOWN
Scale	10'-0" = 1'
Project No.	
Sheet No.	

622 N Rampart

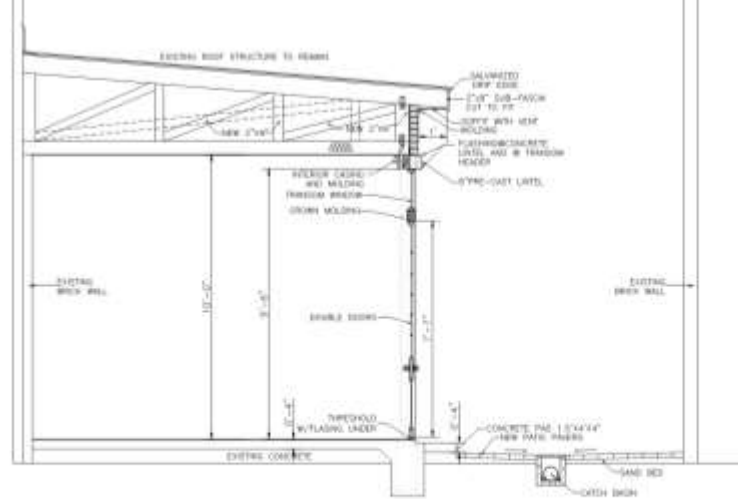
VCC Architectural Committee

October 10, 2017



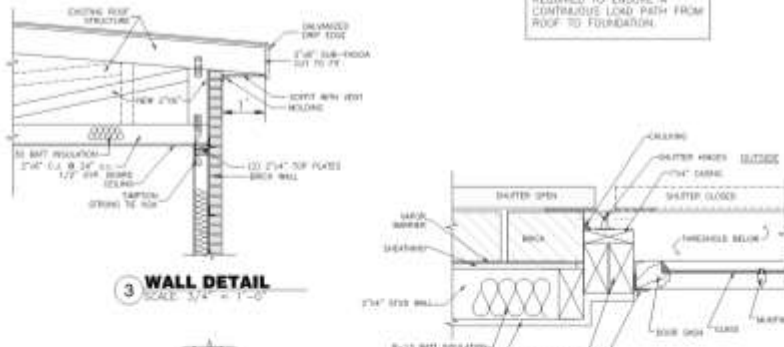


1 CROSS SECTION A-A
SCALE: 1/2" = 1'-0"

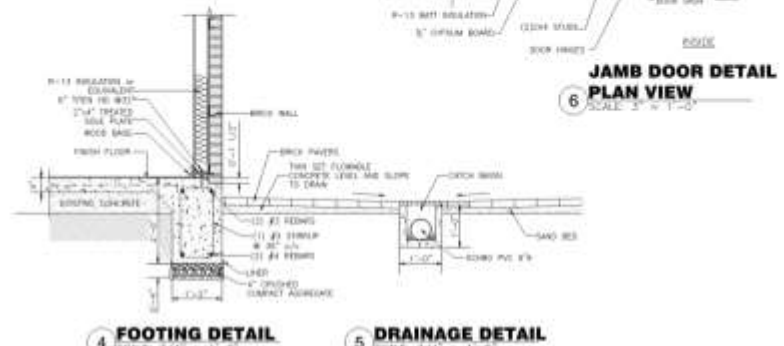


2 CROSS SECTION B-B
SCALE: 1/2" = 1'-0"

KEY NOTE:
FASTENERS AND CONNECTORS
REQUIRED TO ENSURE A
CONTINUOUS LOAD PATH FROM
ROOF TO FOUNDATION.



3 WALL DETAIL
SCALE: 3/4" = 1'-0"



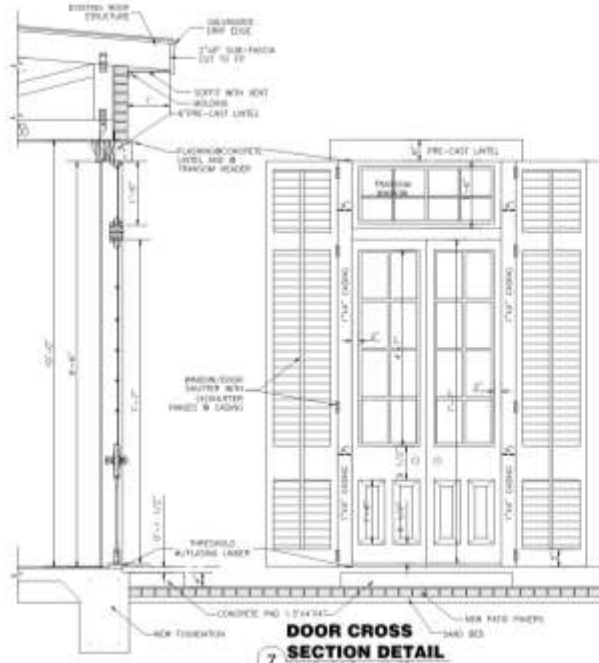
6 JAMB DOOR DETAIL
SCALE: 3/4" = 1'-0"



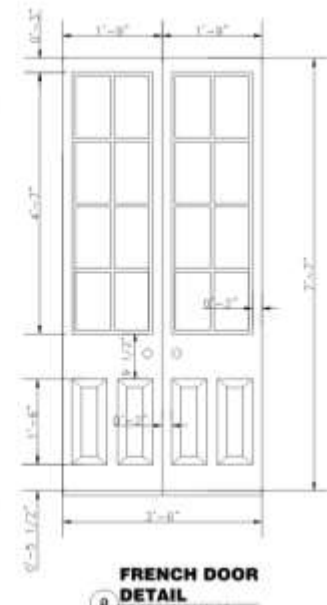
4 FOOTING DETAIL



5 DRAINAGE DETAIL



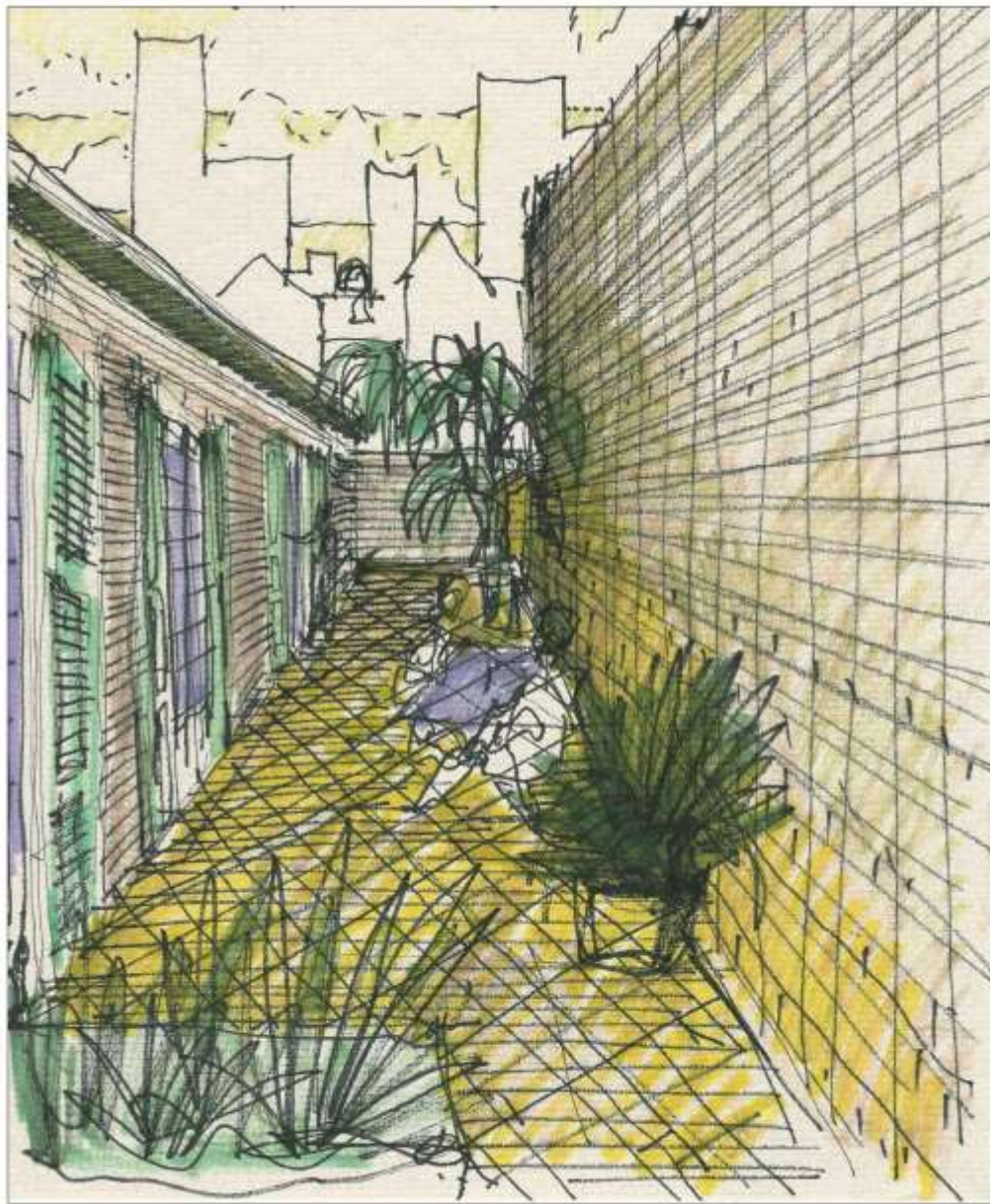
7 DOOR CROSS SECTION DETAIL



8 FRENCH DOOR DETAIL

Project No.	
Client	MC
Designer	EP
Approved	TD
Date	10-06-17
Project No.	
Sheet No.	





622 N Rampart

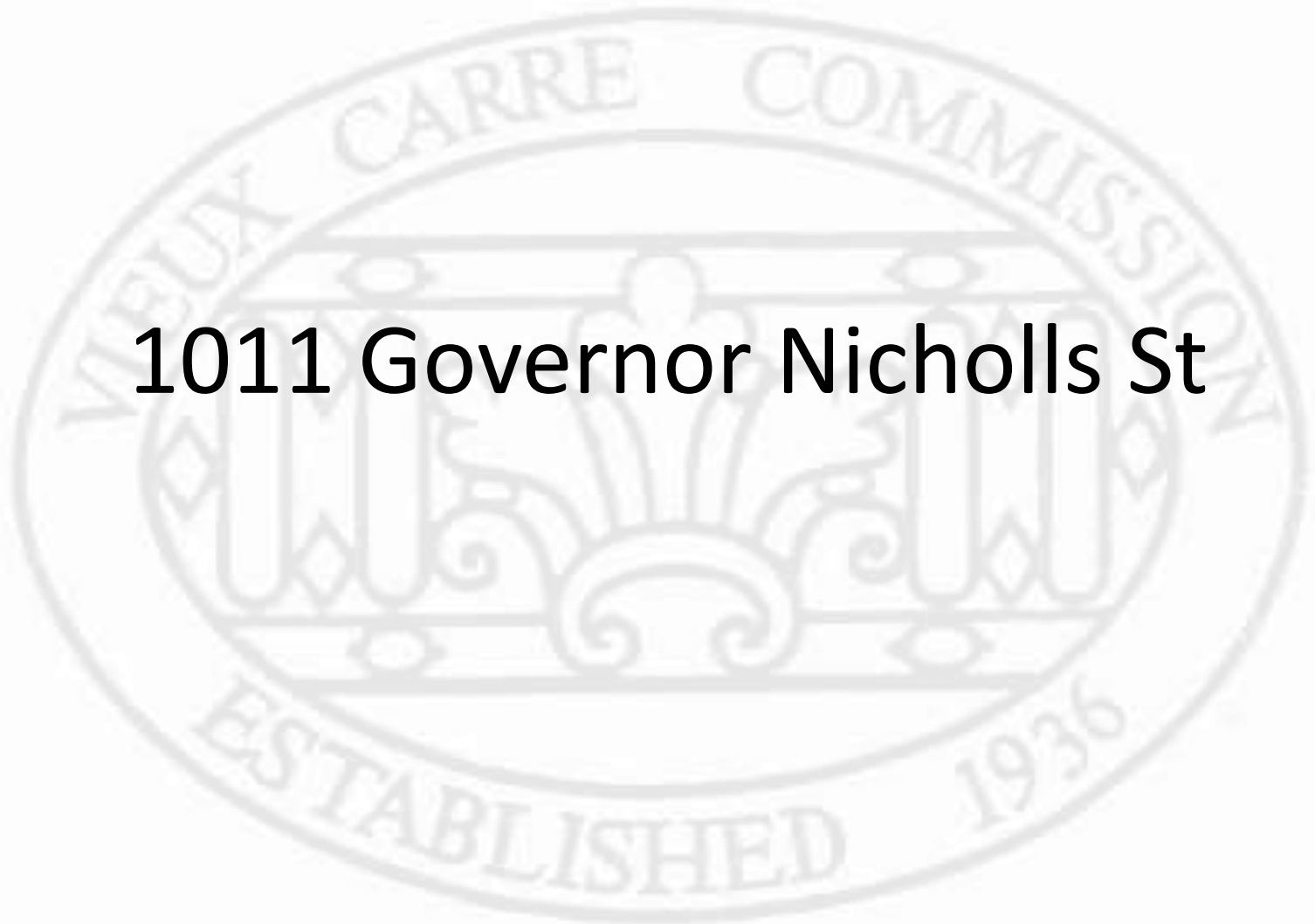
① **INTERIOR COURTYARD VIEW**

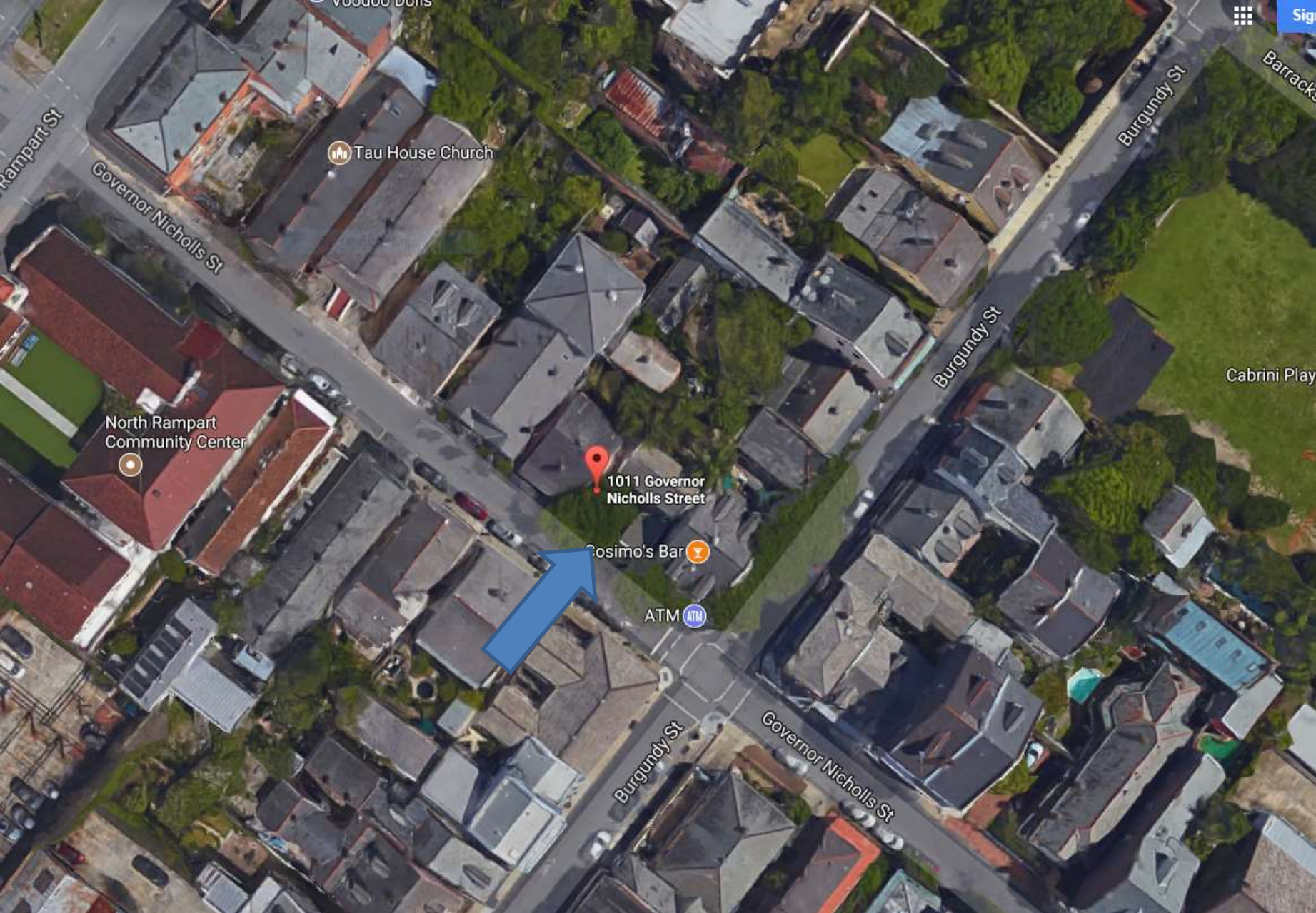
VCC Architectural Committee

October 10, 2017



1011 Governor Nicholls St





1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016





1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016



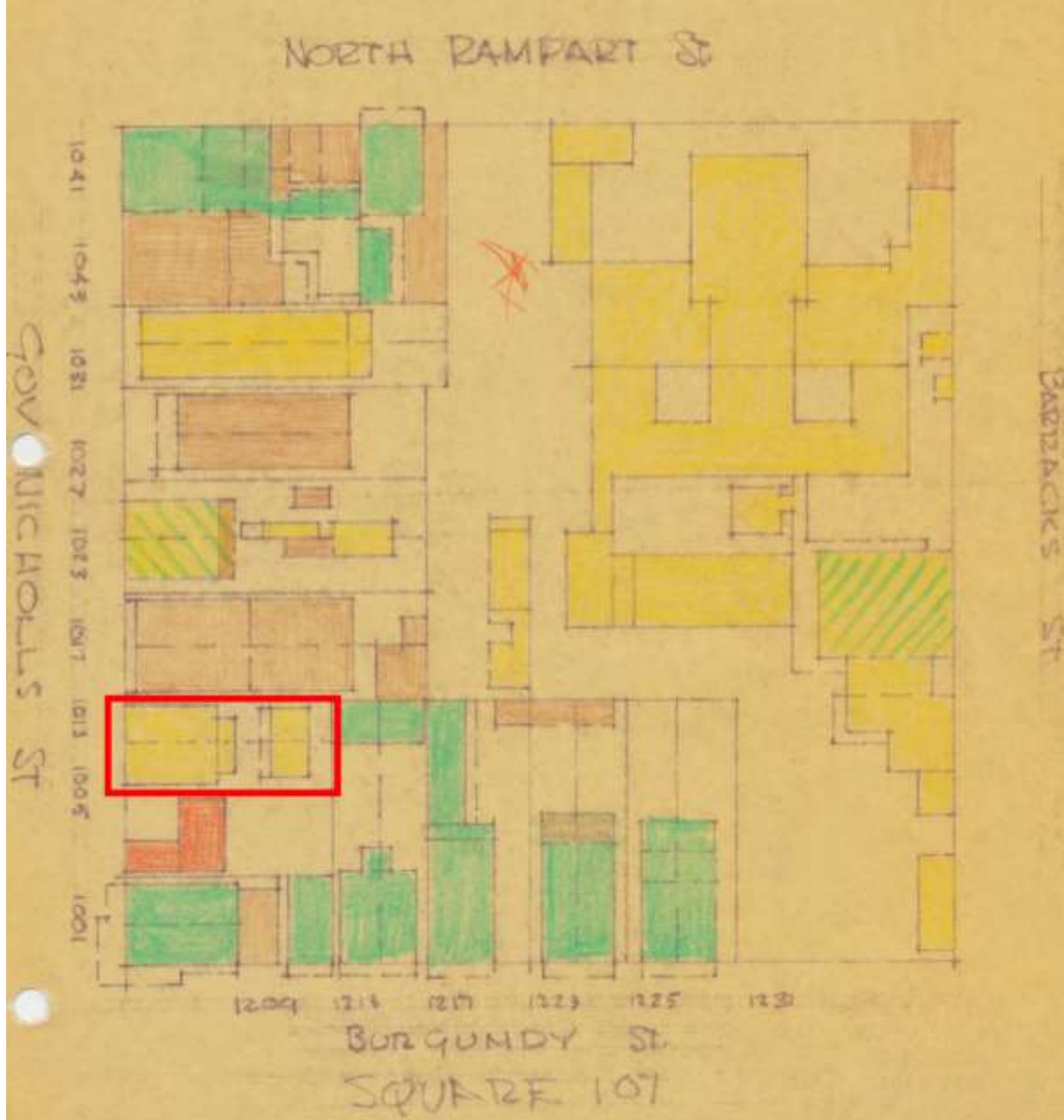


1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016





1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016





1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016





1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016



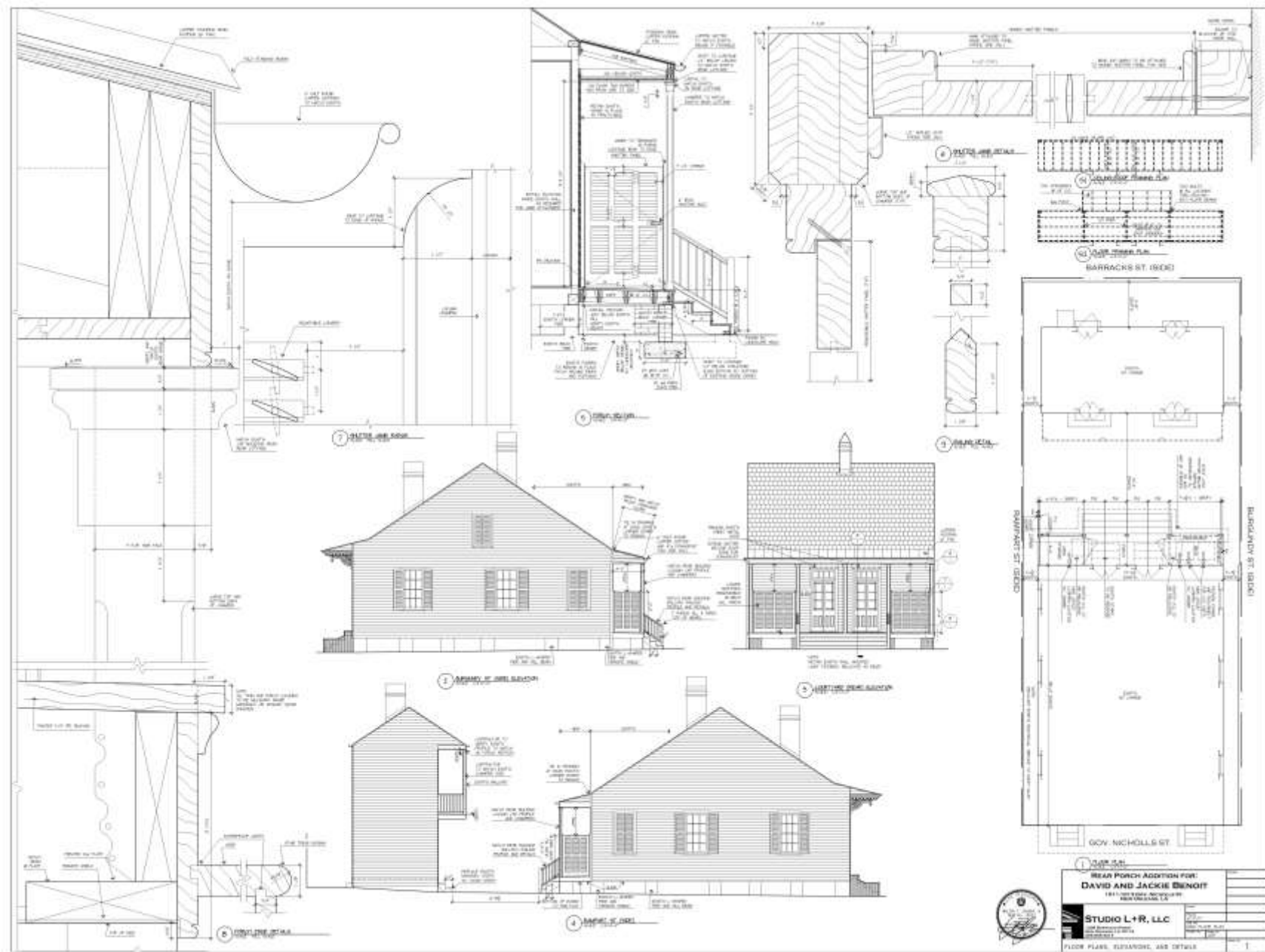


1011 Governor Nicholls

VCC Architectural Committee

August 8, 2016



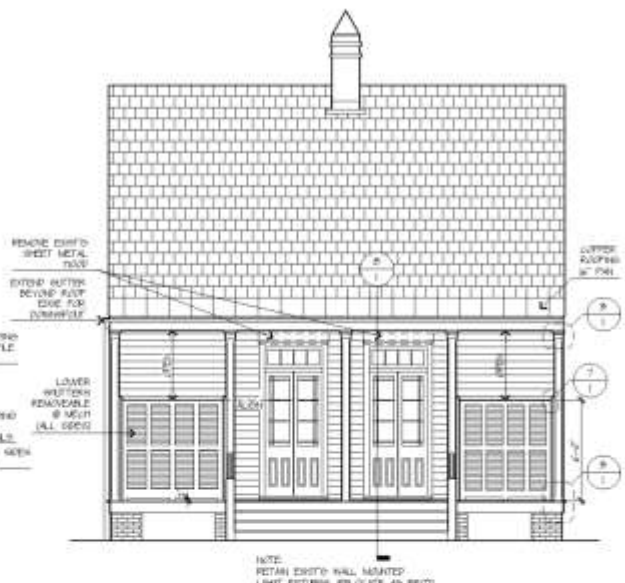
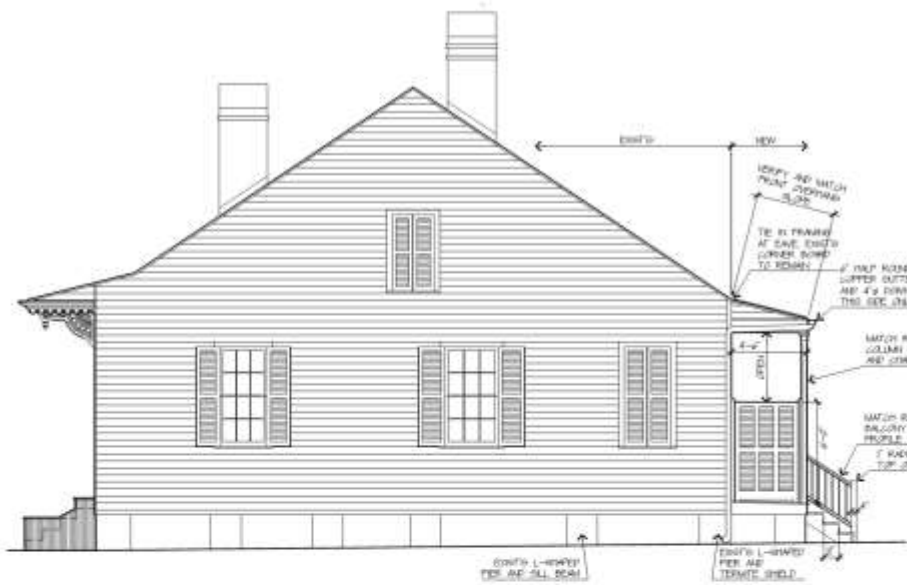


1011 Governor Nicholls
 VCC Architectural Committee

1011 GOV. NICHOLLS ST.
 REAR PORCH ADDITION FOR
 DAVID AND JACKIE BENOFF
 1811 GOV. NICHOLLS AVENUE
 HOUSTON, TEXAS 77056
 STUDIO L+R, LLC
 ARCHITECTS
 1811 GOV. NICHOLLS AVENUE
 HOUSTON, TEXAS 77056
 FLOOR PLANS, ELEVATIONS, AND DETAILS

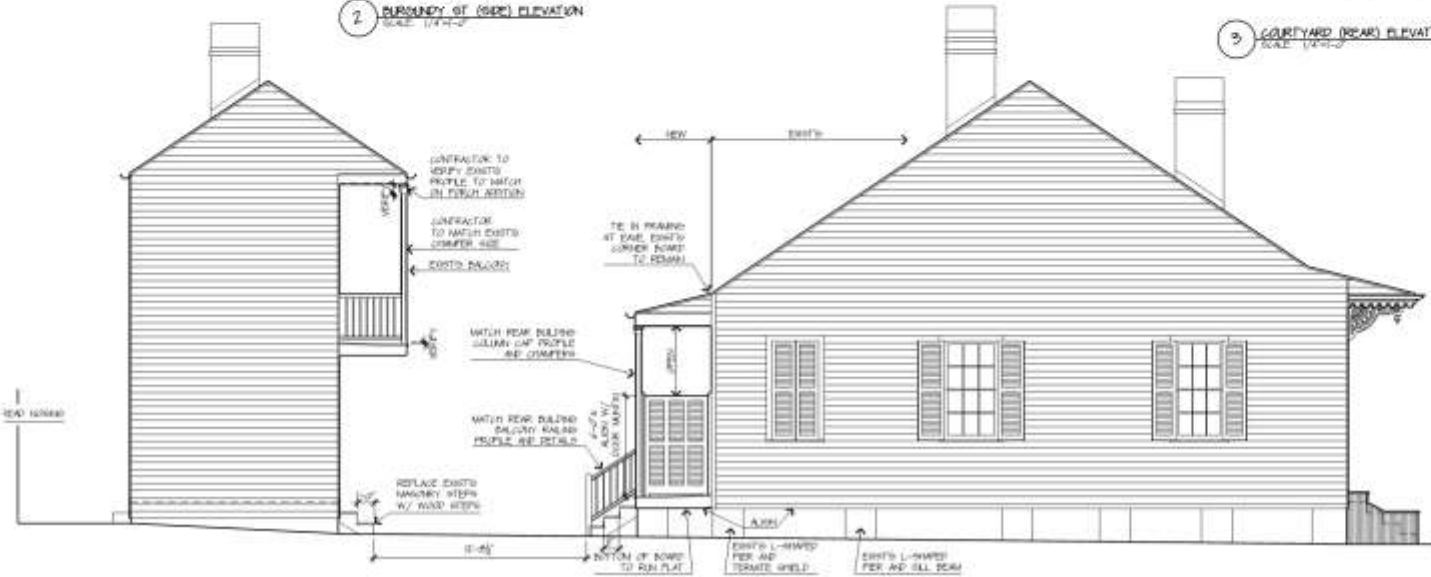


August 8, 2016



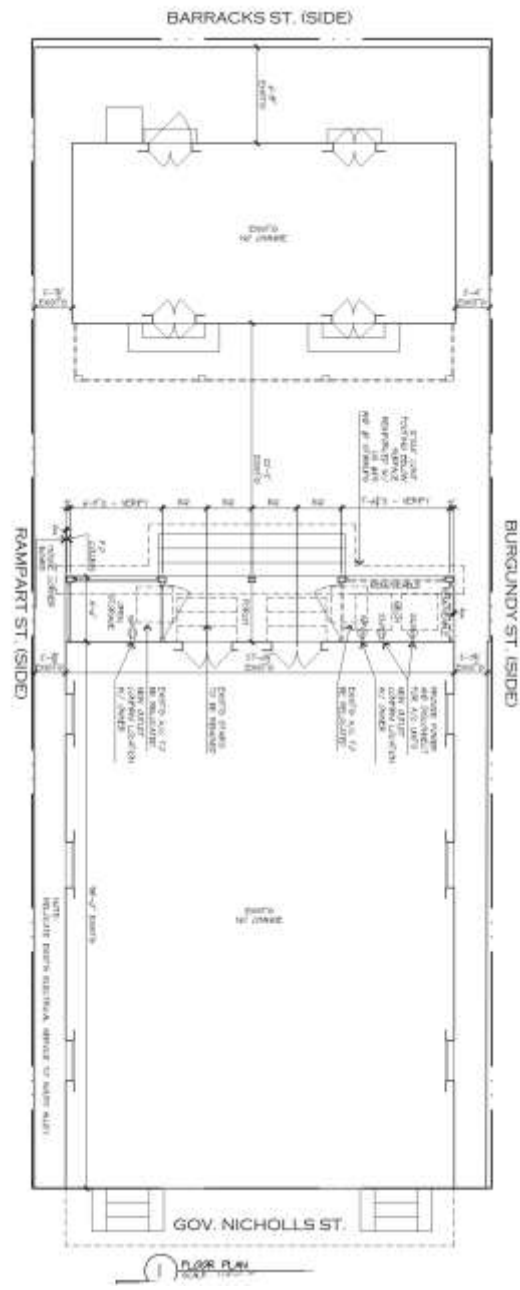
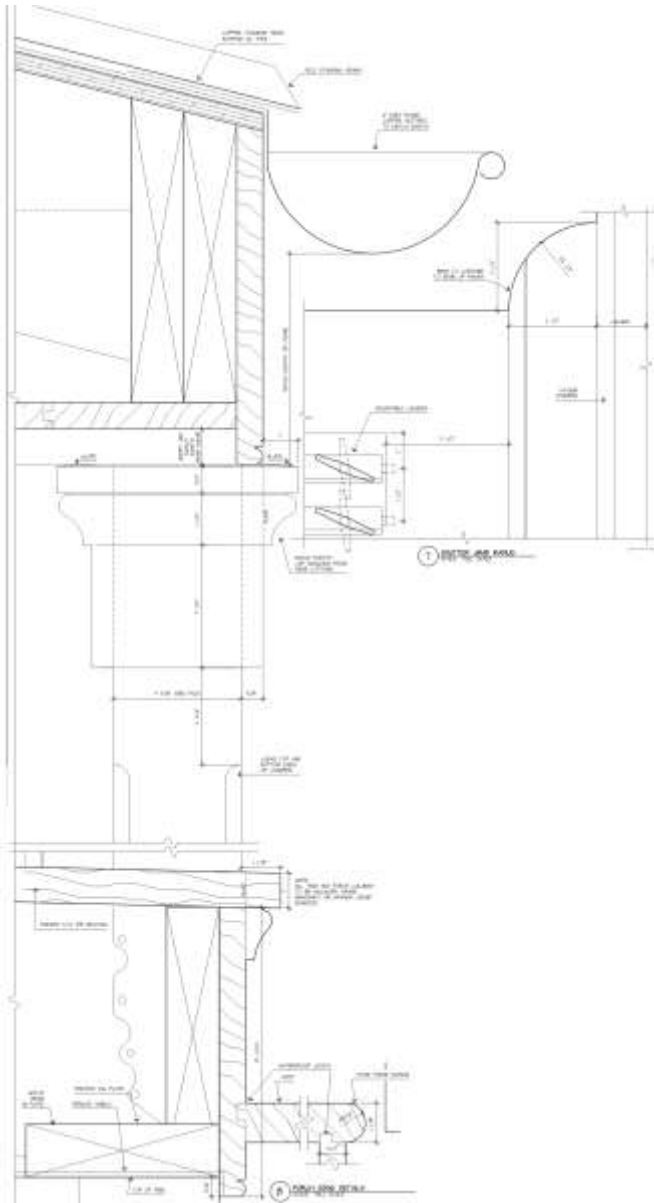
2 BURNING ST (SIDE) ELEVATION
SCALE: 1/4"=1'-0"

3 COURTYARD (REAR) ELEVATION
SCALE: 1/4"=1'-0"



4 RAMPART ST (SIDE) ELEVATION
SCALE: 1/4"=1'-0"





1011 Governor Nicholls
 VCC Architectural Committee

August 8, 2016



The seal of the Vieux Carre Commission is an oval emblem. It features a central crest with a crown on top, flanked by two columns and topped with a banner. The text "VIEUX CARRE COMMISSION" is written along the top inner edge of the oval, and "ESTABLISHED 1936" is written along the bottom inner edge.

Change of Use Hearing



512 & 516 Conti



516 Conti

VCC Architectural Committee

September 12, 2017





516 Conti

VCC Architectural Committee

July 11, 2017





516 Conti

VCC Architectural Committee

July 11, 2017





516 Conti

VCC Architectural Committee

July 11, 2017



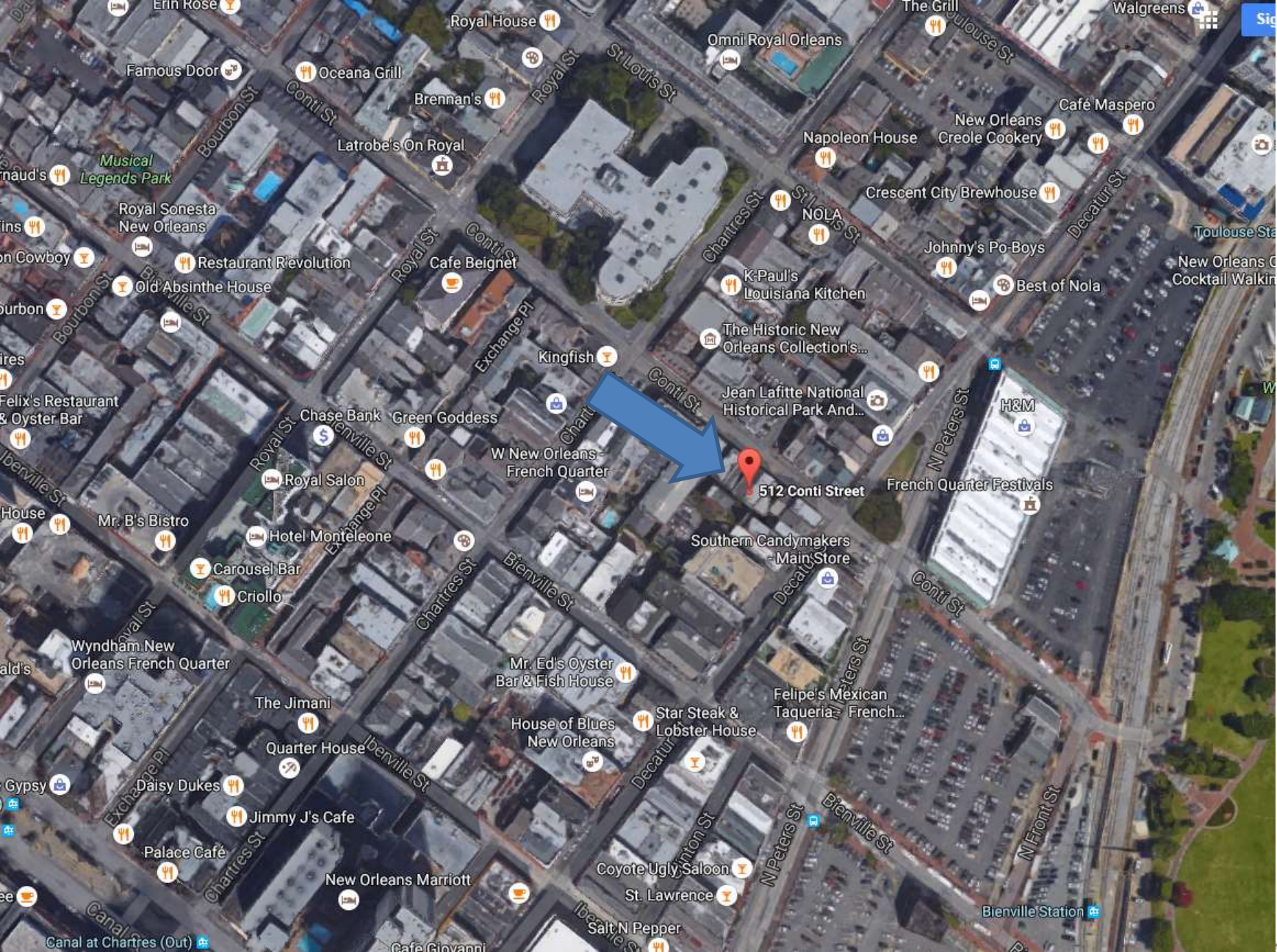


516 Conti

VCC Architectural Committee

July 11, 2017





512 Conti

VCC Architectural Committee

July 11, 2017



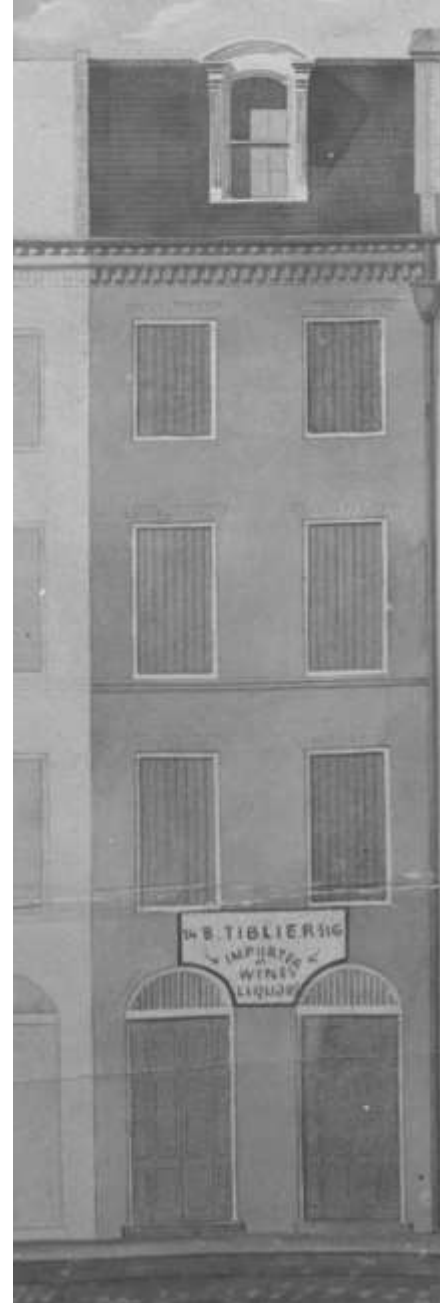
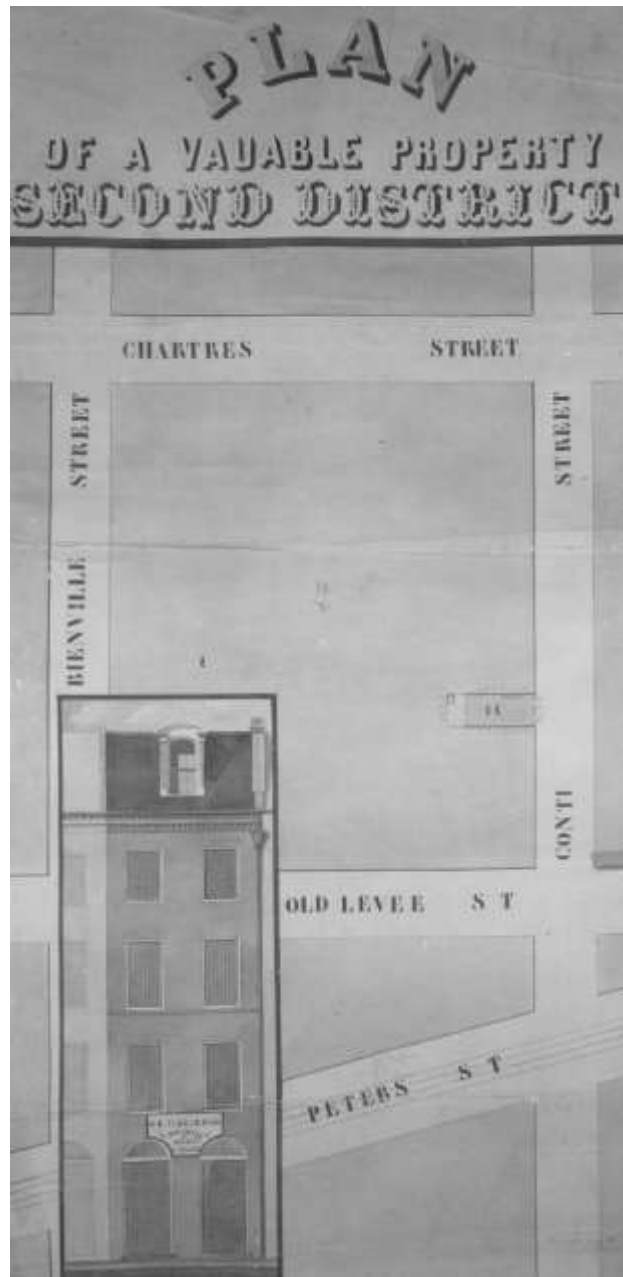


512 Conti

VCC Architectural Committee

July 11, 2017





512 Conti

VCC Architectural Committee

July 11, 2017

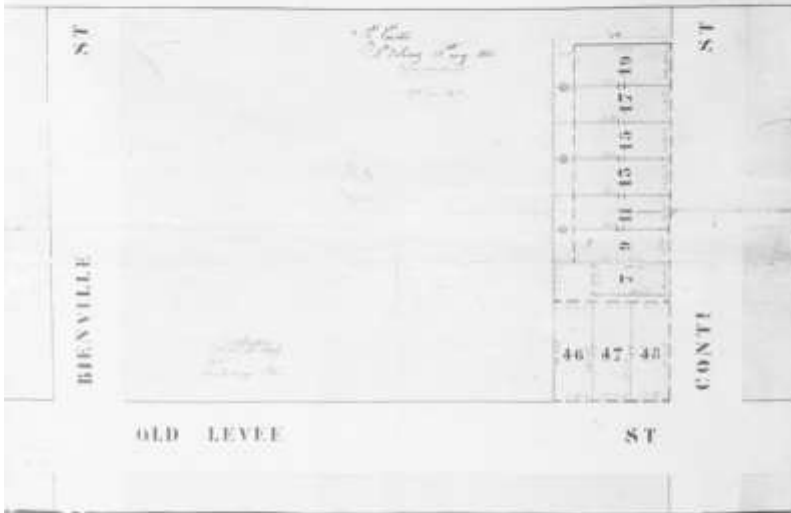


PLAN

OF

TEN VALUABLE BRICK STORES

2^D DISTRICT



512 Conti

VCC Architectural Committee

July 11, 2017





512 Conti

VCC Architectural Committee

July 11, 2017





512 Conti

VCC Architectural Committee

July 11, 2017





512 Conti

VCC Architectural Committee

July 11, 2017





516 & 512 Conti

VCC Architectural Committee

July 11, 2017





516 & 512 Conti

VCC Architectural Committee

July 11, 2017





516 & 512 Conti

VCC Architectural Committee

July 11, 2017





516 & 512 Conti

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July 11, 2017





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July 11, 2017





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July 11, 2017





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July 11, 2017





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July 11, 2017





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VCC Architectural Committee

July 11, 2017





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VCC Architectural Committee

July 11, 2017





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July 11, 2017





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July 11, 2017





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July 11, 2017





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July 11, 2017





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July 11, 2017





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VCC Architectural Committee

July 11, 2017





516 & 512 Conti

VCC Architectural Committee

July 11, 2017







512 & 516 CONTI CONDOMINIUM RENOVATIONS

3	NUMBER OF 1 BEDROOM UNITS	2,400 SQ.FT.
7	NUMBER OF 2 BEDROOM UNITS	5,982 SQ.FT.
9	TOTAL NUMBER OF RESIDENTIAL UNITS	8,382 SQ.FT.
1	NUMBER OF COMMERCIAL UNITS	2,357 SQ.FT.
10	TOTAL NUMBER OF UNITS COMMERCIAL AND RESIDENTIAL COMBINED	10,739 SQ.FT.

EXISTING GROUND FLOOR		AREA CALCULATIONS	
EXISTING CALCULATIONS			
BLDGNO 1	1,234.00 FT.	BLDGNO 1-0101	210 SQ. FT.
BLDGNO 2	1,020.00 FT.	BLDGNO 1-0102	170 SQ. FT.
BLDGNO 3	890.00 FT.	FIRST FLOOR	
BLDGNO 4	780.00 FT.	BLDGNO 1-0103	180 SQ. FT.
BLDGNO 5	750.00 FT.	BLDGNO 1-0104	190 SQ. FT.
BLDGNO 6	720.00 FT.	BLDGNO 1-0105	170 SQ. FT.
BLDGNO 7	690.00 FT.	BLDGNO 1-0106	160 SQ. FT.
TOTAL	5,982.00 FT.	BLDGNO 1-0107	180 SQ. FT.
TOTAL FIRST FLOOR			
1,800 SQ. FT.			
EXISTING BUILDING AREA			
EXISTING AREAS			
BLDGNO 1	1,234.00 FT.	BLDGNO 1-0201	200 SQ. FT.
BLDGNO 2	1,020.00 FT.	BLDGNO 1-0202	180 SQ. FT.
BLDGNO 3	890.00 FT.	BLDGNO 1-0203	190 SQ. FT.
BLDGNO 4	780.00 FT.	BLDGNO 1-0204	170 SQ. FT.
BLDGNO 5	750.00 FT.	BLDGNO 1-0205	180 SQ. FT.
BLDGNO 6	720.00 FT.	BLDGNO 1-0206	170 SQ. FT.
BLDGNO 7	690.00 FT.	BLDGNO 1-0207	160 SQ. FT.
TOTAL	5,982.00 FT.	BLDGNO 1-0208	170 SQ. FT.
TOTAL SECOND FLOOR			
1,700 SQ. FT.			
THIRD FLOOR			
BLDGNO 1-0301	180 SQ. FT.	BLDGNO 1-0302	170 SQ. FT.
BLDGNO 1-0303	160 SQ. FT.	BLDGNO 1-0304	150 SQ. FT.
BLDGNO 1-0305	140 SQ. FT.	BLDGNO 1-0306	130 SQ. FT.
BLDGNO 1-0307	120 SQ. FT.	BLDGNO 1-0308	110 SQ. FT.
TOTAL THIRD FLOOR	580 SQ. FT.	FOURTH FLOOR	
BLDGNO 1-0401			
BLDGNO 1-0402			
BLDGNO 1-0403			
BLDGNO 1-0404			
BLDGNO 1-0405			
BLDGNO 1-0406			
BLDGNO 1-0407			
BLDGNO 1-0408			
BLDGNO 1-0409			
BLDGNO 1-0410			
BLDGNO 1-0411			
BLDGNO 1-0412			
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BLDGNO 1-0492			
BLDGNO 1-0493			
BLDGNO 1-0494			
BLDGNO 1-0495			
BLDGNO 1-0496			
BLDGNO 1-0497			
BLDGNO 1-0498			
BLDGNO 1-0499			
BLDGNO 1-0500			
TOTAL			
10,739 SQ. FT.			
MEZZANINE FLOOR			
BLDGNO 1-0501	100 SQ. FT.		
BLDGNO 1-0502	100 SQ. FT.		
BLDGNO 1-0503	100 SQ. FT.		
TOTAL MEZZANINE FLOOR	300 SQ. FT.		
TOTAL		11,039 SQ. FT.	

PROJECT SUMMARY

PROJECT NAME: Condominium Renovations
 ADDRESS: 512 & 516 Conti
 PROPERTY OWNER: MURRAY ARCHITECTS
 ARCHITECT: MURRAY ARCHITECTS
 DATE: 07/11/2017

PROPOSED WORK
 RENOVATION OF 512 & 516 CONTI CONDOMINIUM RENOVATIONS
 512 & 516 CONTI CONDOMINIUM RENOVATIONS
 512 & 516 CONTI CONDOMINIUM RENOVATIONS

SUBMITTALS
 ARCHITECTURAL: 100%
 STRUCTURAL: 100%
 MECHANICAL/ELECTRICAL/PLUMBING: 100%
 FIRE: 100%
 ENERGY: 100%

TYPE OF CONSTRUCTION
 CONSTRUCTION: RENOVATION

CONSTRUCTION SYSTEMS
 CONSTRUCTION SYSTEMS: CONCRETE

FIRE PROTECTION SYSTEMS
 FIRE PROTECTION SYSTEMS: FIRE ALARM AND NOTIFICATION

THE CONTRACTING REQUIREMENTS
 CONTRACTING REQUIREMENTS: CONTRACTING REQUIREMENTS

IBC CODE ANALYSIS
 IBC CODE ANALYSIS: IBC CODE ANALYSIS

MURRAY ARCHITECTS

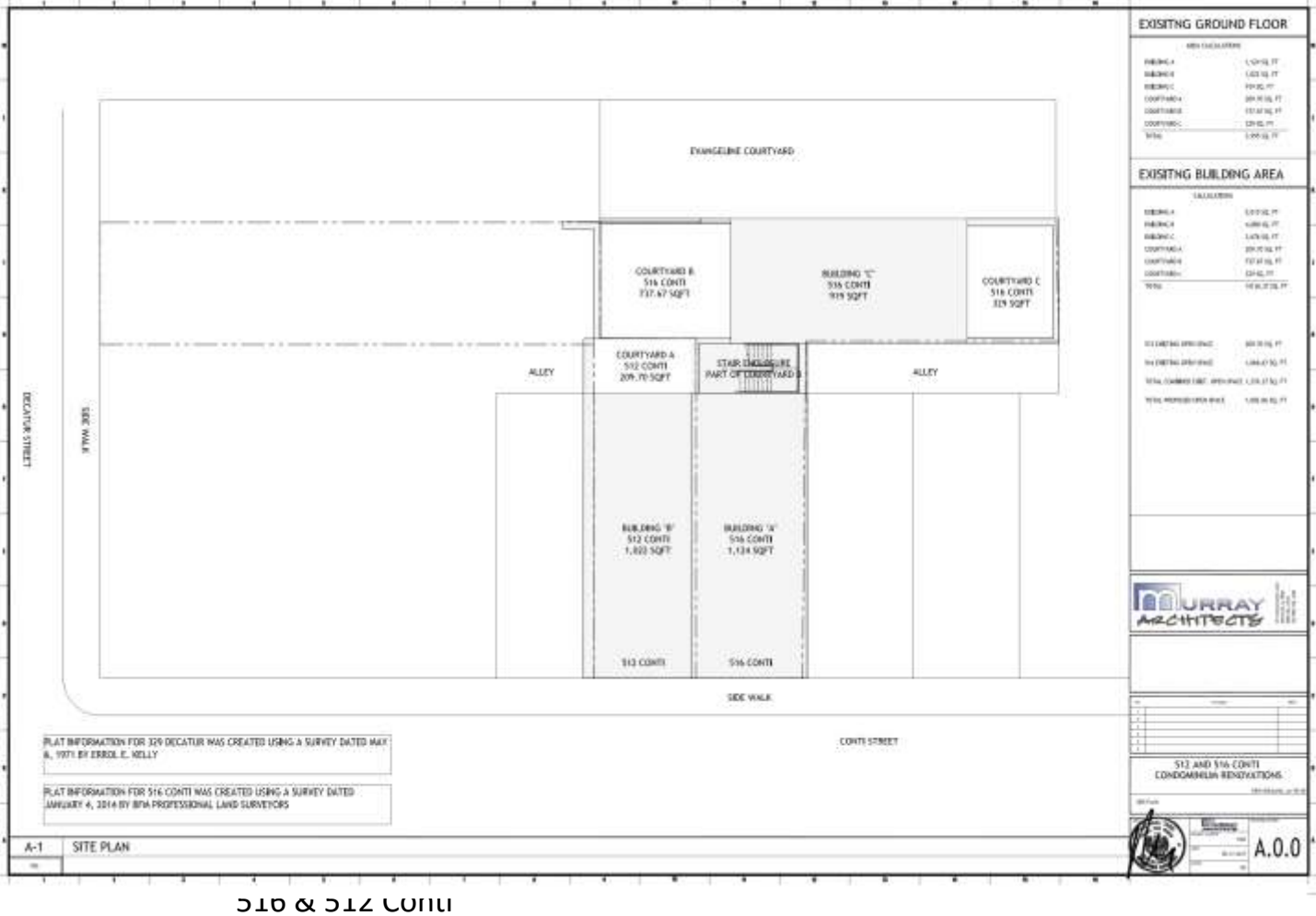
512 AND 516 CONTI
 CONDOMINIUM RENOVATIONS

G.0.0

ARCHITECT
MURRAY ARCHITECTS
 13760 RIVER ROAD
 DESTREHAN, LA 70047
 985-764-7273
 985-729-0182

516 & 512 Conti





EXISTING GROUND FLOOR

AREA CALCULATIONS

PARKING A	1,079 SQ. FT.
PARKING B	1,021 SQ. FT.
PARKING C	191 SQ. FT.
COURTYARD A	504 SQ. FT.
COURTYARD B	171 SQ. FT.
COURTYARD C	121 SQ. FT.
TOTAL	3,088 SQ. FT.

EXISTING BUILDING AREA

CALL OUTS

PARKING A	1,079 SQ. FT.
PARKING B	1,021 SQ. FT.
PARKING C	1,021 SQ. FT.
COURTYARD A	504 SQ. FT.
COURTYARD B	171 SQ. FT.
COURTYARD C	121 SQ. FT.
TOTAL	4,097 SQ. FT.

NET EXISTING BUILDING AREA	3,088 SQ. FT.
NET EXISTING PARKING AREA	3,088 SQ. FT.
TOTAL EXISTING BUILDING AND PARKING AREA	6,176 SQ. FT.
TOTAL DEVELOPABLE AREA	1,000,000 SQ. FT.

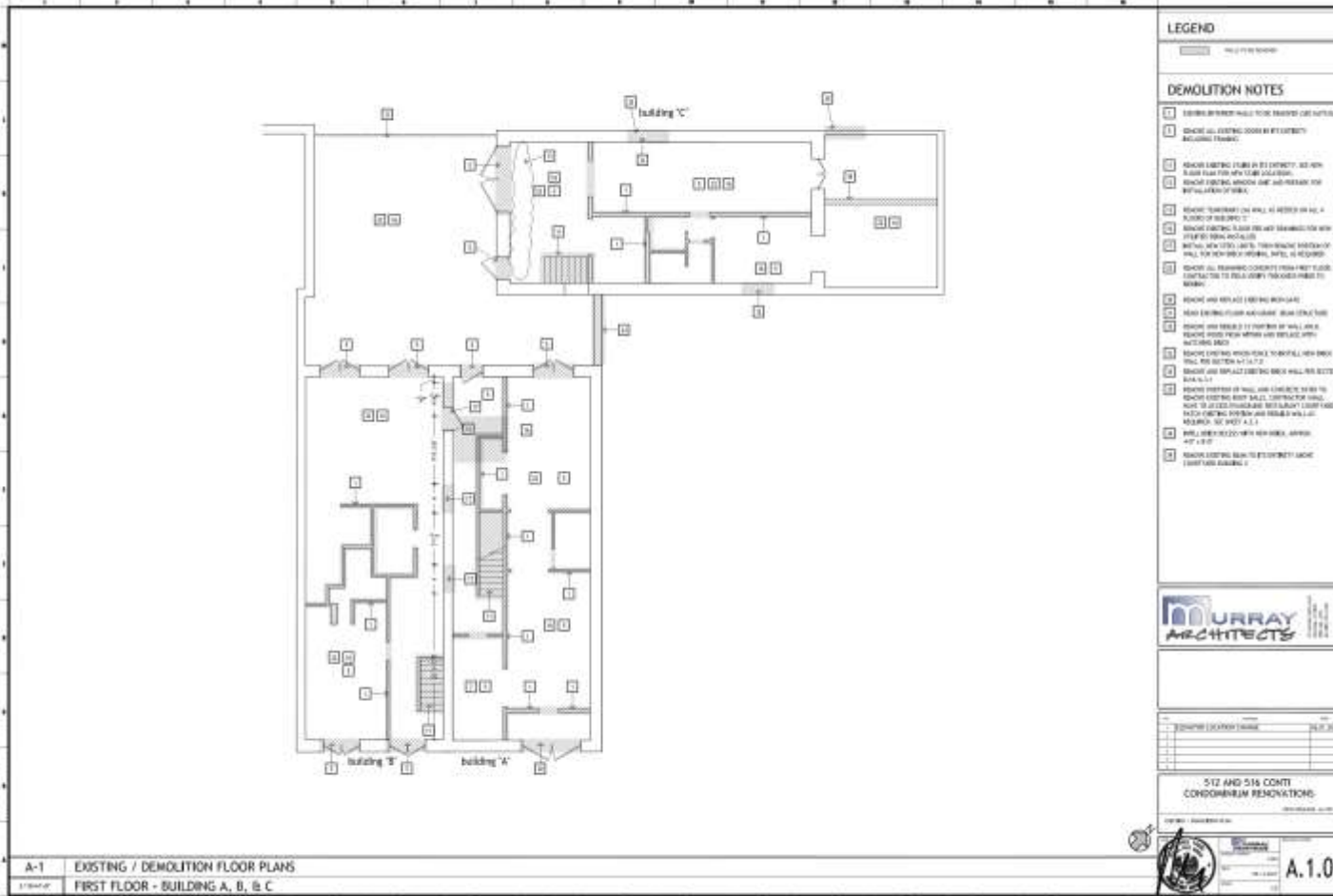


512 AND 514 CONTRI CONDOMINIUM RENOVATIONS

DATE: 11/11/2017

SCALE: A.0.0





516 & 512 Conti





J-1 EXISTING WINDOW CONDITIONS 516 CONTI
K73



E-1 EXISTING WINDOW CONDITIONS 516 CONTI
K73



A-1 EXISTING WINDOW CONDITIONS 512 CONTI
K73



A-7 EXISTING / DEMOLITION FLOOR PLANS
SECOND FLOOR - BUILDING A, B, & C

LEGEND

--- WALL TO BE REMOVED

DEMOLITION NOTES

1. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED.
2. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
3. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
4. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
5. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
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9. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
10. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
11. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
12. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
13. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
14. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
15. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
16. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
17. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
18. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
19. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.
20. EXISTING EXTERIOR WALLS TO BE DEMOLISHED AND REPAIRED WITH CONCRETE BLOCK.

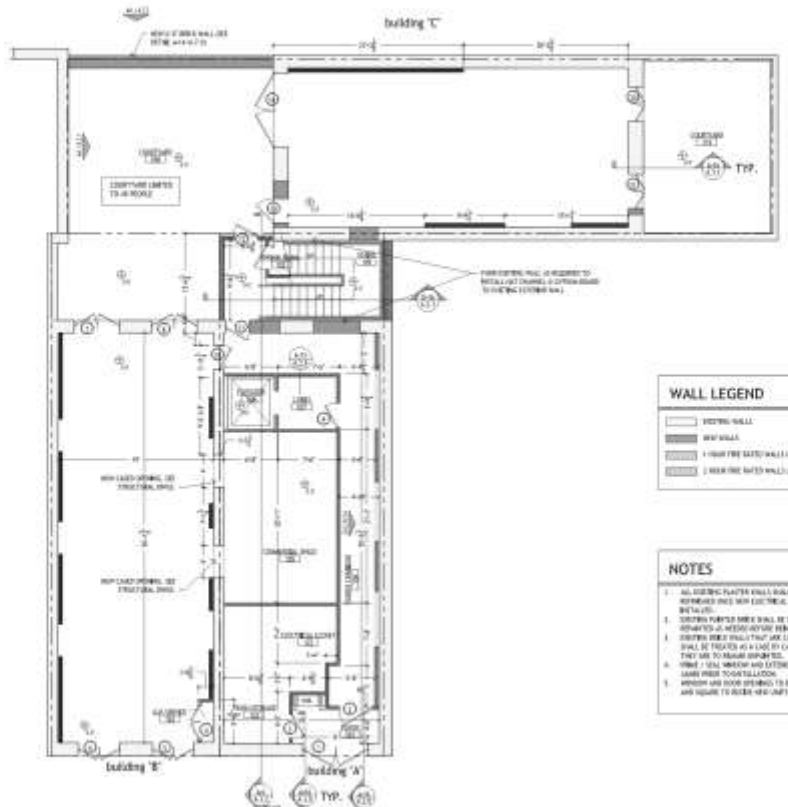
MURRAY ARCHITECTS

512 AND 516 CONTI
CONDOMINIUM RENOVATIONS

A.1.2

516 & 512 Conti





WALL LEGEND

[Symbol]	EXISTING WALL
[Symbol]	NEW WALL
[Symbol]	1 HOUR FIRE RATED WALL JOINT
[Symbol]	2 HOUR FIRE RATED WALL JOINT

- NOTES**
1. ALL EXISTING PLASTER WALLS SHALL BE REMOVED AND REFINISHED WITH EXISTING JOINTS AND DETAILS.
 2. EXISTING PLASTER SHALL BE STOPPED, THEN REFINISHED AT MEZZANINE LEVEL PARTS.
 3. EXISTING ROOF WALLS THAT ARE CORNER'S PARTS SHALL BE TIED AS A CASE SAID TO SEE IF THEY ARE TO REMAIN HISTORIC.
 4. ROOF / SEAL, WINDOW AND EXTERIOR DOOR LANDING AND LANDING ROOF INSTALLATION.
 5. WINDOW AND DOOR OPENINGS TO BE REFINISHED FLUSH AND SQUARE TO ROOF VENT CAPS.

AREA CALCULATIONS

CONCRETE TOWER	141 SQ. FT.
CONCRETE CORETOWER	191 SQ. FT.
FIRST FLOOR	
LOBBY / ELEVATOR CORRIDOR	894 SQ. FT.
BUILDING A-DRIVE	199 SQ. FT.
BUILDING B-DRIVE	825 SQ. FT.
BUILDING C-DRIVE	1,039 SQ. FT.
MEZZANINE CORRIDOR	829 SQ. FT.
TOTAL FIRST FLOOR	3,476 SQ. FT.
SECOND FLOOR	
LOBBY / ELEVATOR CORRIDOR	827 SQ. FT.
BUILDING A-DRIVE	1,124 SQ. FT.
BUILDING B-DRIVE	1,002 SQ. FT.
BUILDING C-DRIVE	899 SQ. FT.
TOTAL SECOND FLOOR	3,852 SQ. FT.
THIRD FLOOR	
LOBBY / ELEVATOR CORRIDOR	827 SQ. FT.
BUILDING A-DRIVE	1,124 SQ. FT.
BUILDING B-DRIVE	1,002 SQ. FT.
BUILDING C-DRIVE	899 SQ. FT.
TOTAL THIRD FLOOR	3,852 SQ. FT.
FOURTH FLOOR	
LOBBY / ELEVATOR CORRIDOR	827 SQ. FT.
BUILDING A-DRIVE	1,124 SQ. FT.
BUILDING B-DRIVE	1,002 SQ. FT.
BUILDING C-DRIVE	899 SQ. FT.
TOTAL FOURTH FLOOR	3,852 SQ. FT.
MEZZANINE FLOOR	
BUILDING A-DRIVE	199 SQ. FT.
BUILDING B-DRIVE	423 SQ. FT.
TOTAL MEZZANINE FLOOR	622 SQ. FT.
TOTAL	
FIRST - ALL FLOORS	15,346 SQ. FT.



DATE	30-01-2010
PROJECT	512 AND 516 CONVI CONDOMINIUM RENOVATIONS
SCALE	AS SHOWN

512 AND 516 CONVI CONDOMINIUM RENOVATIONS
 07/11/2017, 14:28:00

Scale: 1/8" = 1'-0"

A.1.9

A-1 RENOVATED FLOOR PLANS
 FIRST FLOOR - BUILDING A, B, & C



								NOTES 1. ALL DOOR AND WINDOW OPENINGS ARE TO BE FINISHED BY FIELD SLAVING OPERATOR. 2. SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED FOR VCC APPROVAL PRIOR TO FURNISHMENT OF ALL MATERIALS WHICH ARE TO BE LOCATED IN AN EXTERIOR WALL.
J-1	DOOR ELEVATION	J-5	DOOR ELEVATION	J-9	DOOR ELEVATION	J-13	DOOR ELEVATION	
E-1	DOOR ELEVATION	E-5	DOOR ELEVATION	E-9	DOOR ELEVATION			
								 512 AND 516 CONTI CONDOMINIUM RENOVATIONS SHEET NO. A.4.5
A-1	DOOR ELEVATION 5 & 6	A-5	WINDOW DORMER ELEVATION A	A-9	DOOR ELEVATION NO. 14	A-13	DOOR ELEVATION NO. 13, 20, & 21	





Appeals and Violations



939 Iberville

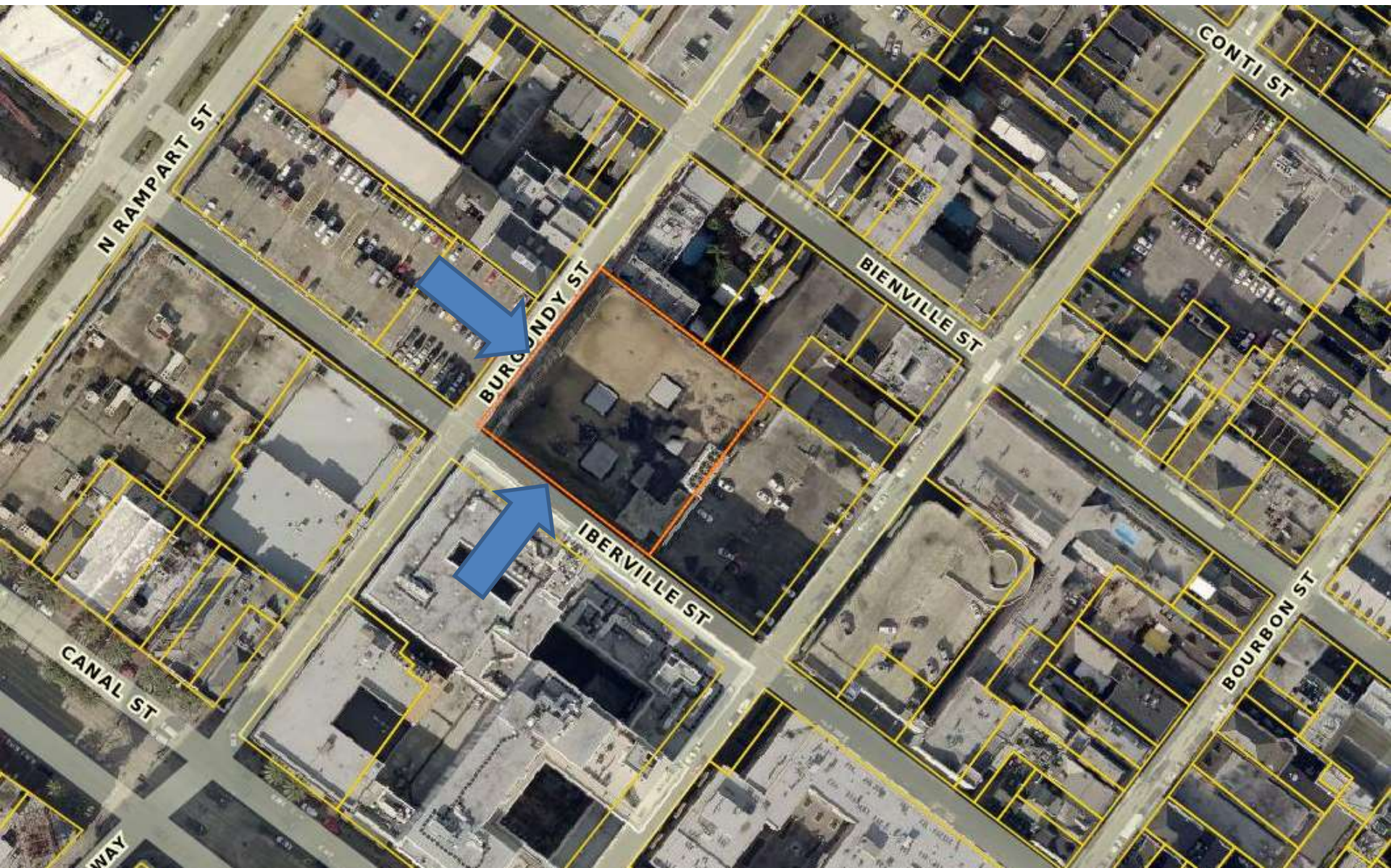


939 Iberville

Vieux Carré Commission

November 1, 2017





939 Iberville

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November 1, 2017





939 Iberville-1920s or 30s

Vieux Carré Commission

November 1, 2017





939 Iberville- ca. 1955

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939 Iberville-1964

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939 Iberville

Vieux Carré Commission

08 03 2017

November 1, 2017





939 Iberville

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November 1, 2017





939 Iberville – Approved Awning Locations – Burgundy Elevation





939 Iberville – Proposed Awning Locations – Burgundy Elevation

Vieux Carré Commission

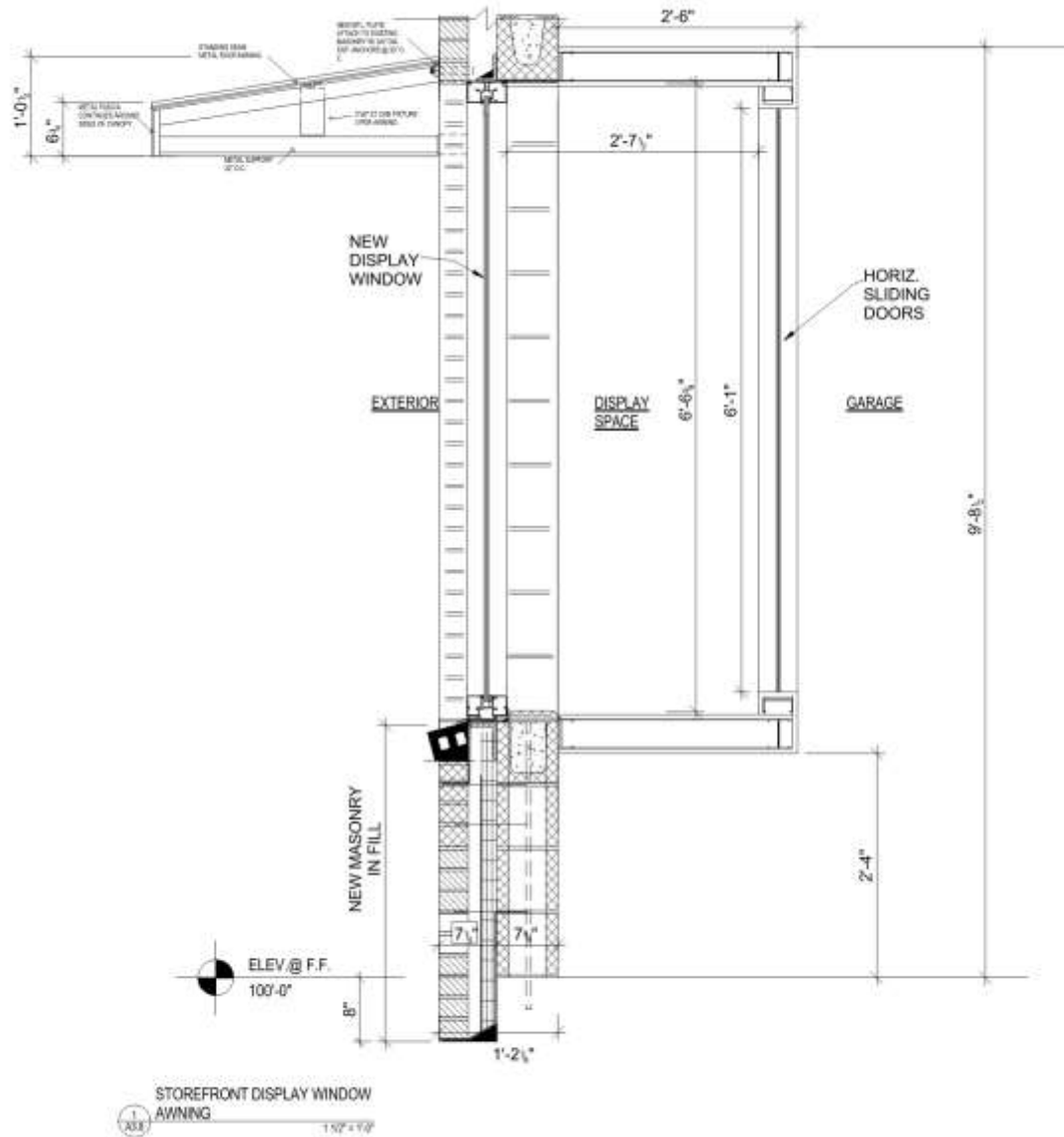
November 1, 2017





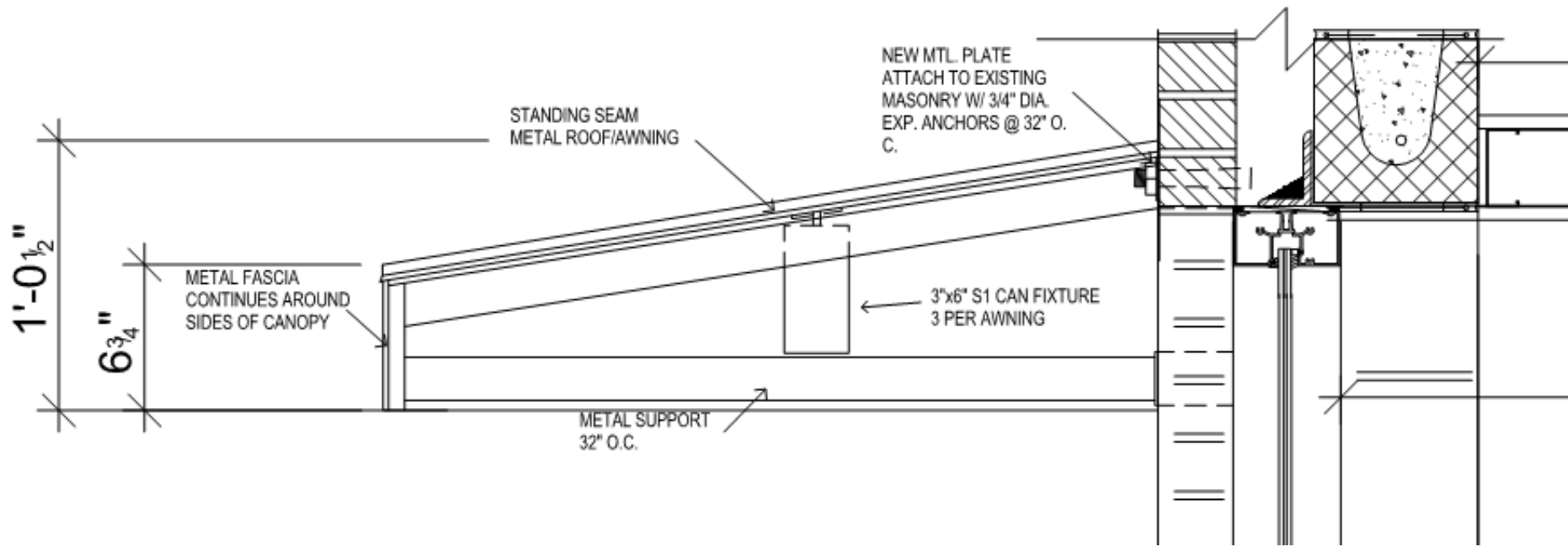
939 Iberville -Approved Awning Locations – Iberville Elevation (No Change)





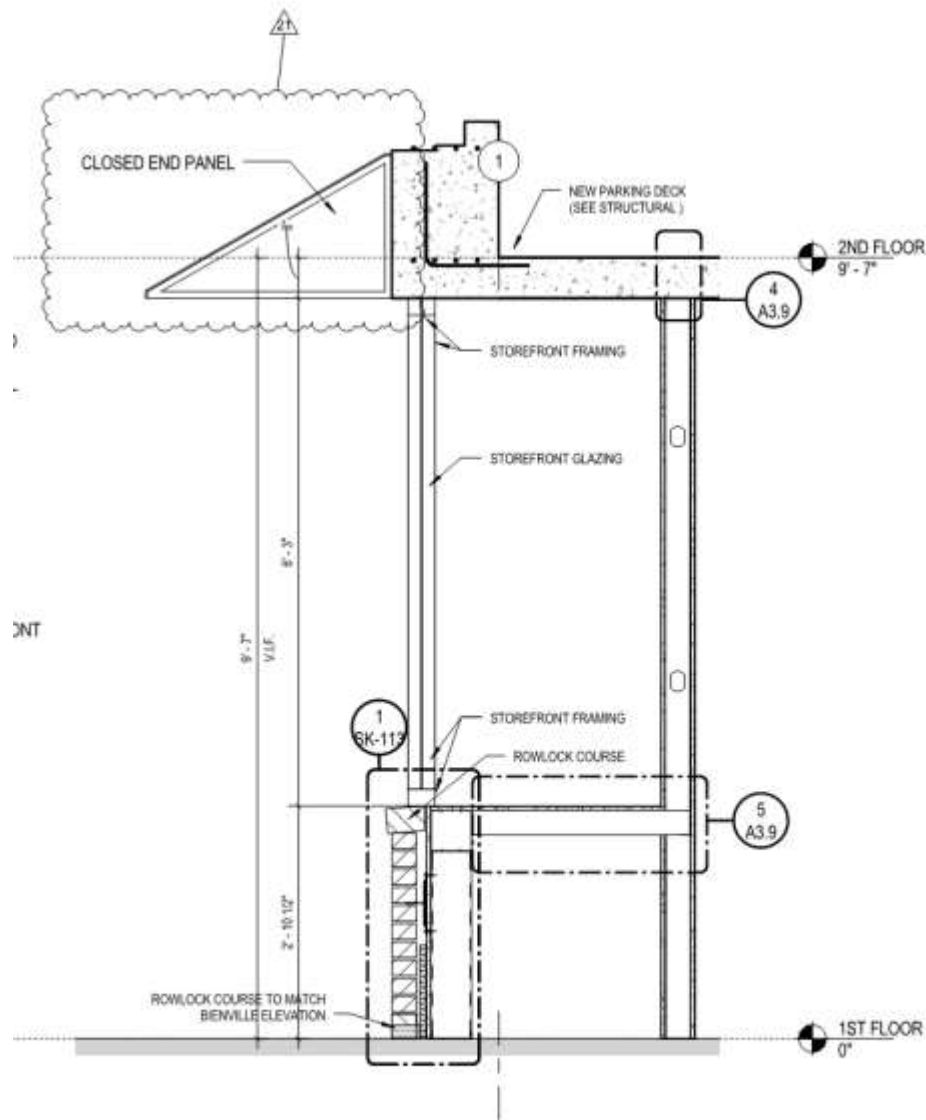
939 Iberville – Approved Awning Detail





939 Iberville – Approved Awning Detail

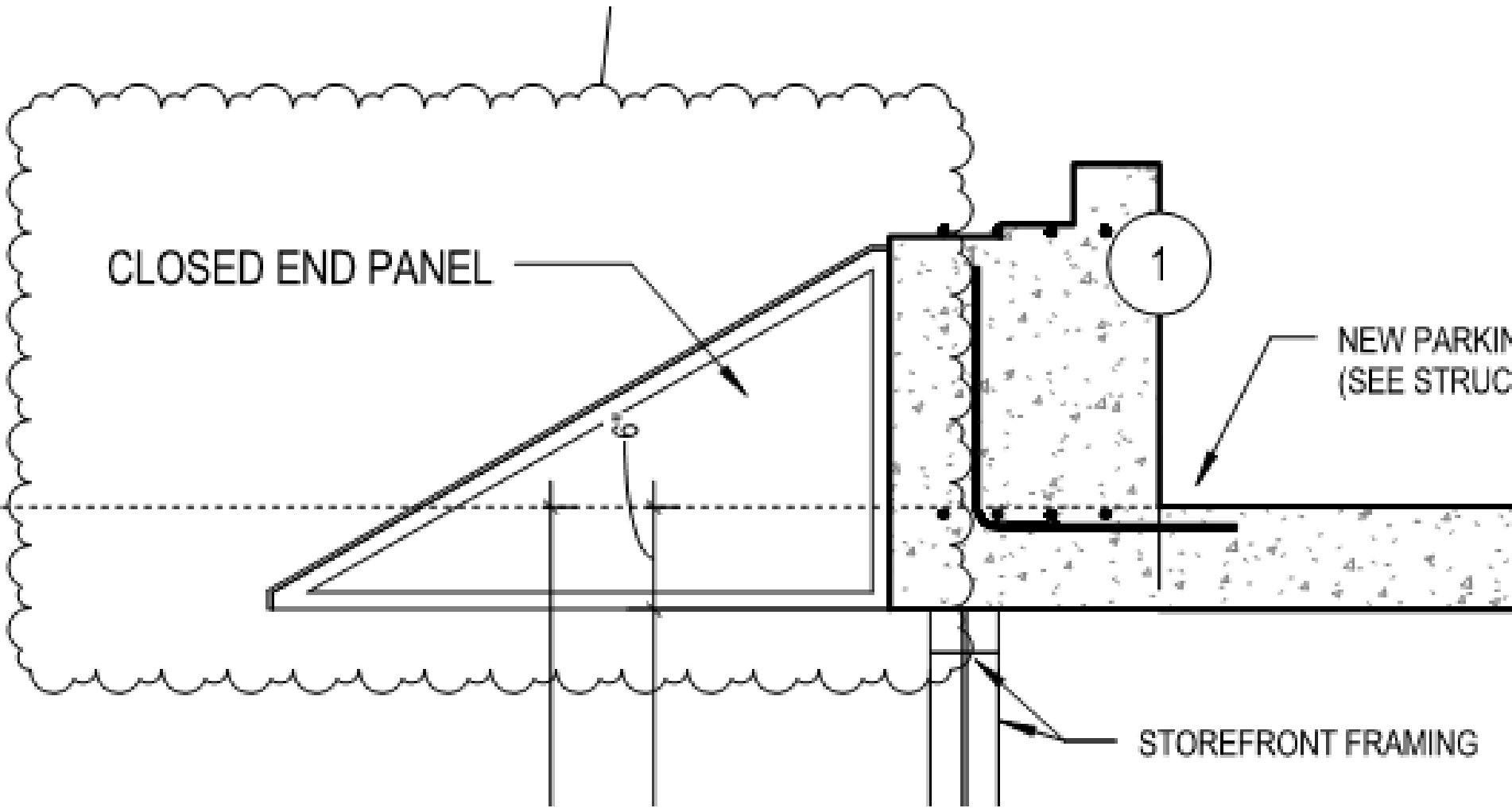




3 TYP. WINDOW GALLERY SECTION
 A3.9 3/4" = 1'-0"

939 Iberville – Proposed Revised Awning Detail







939 Iberville

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November 1, 2017



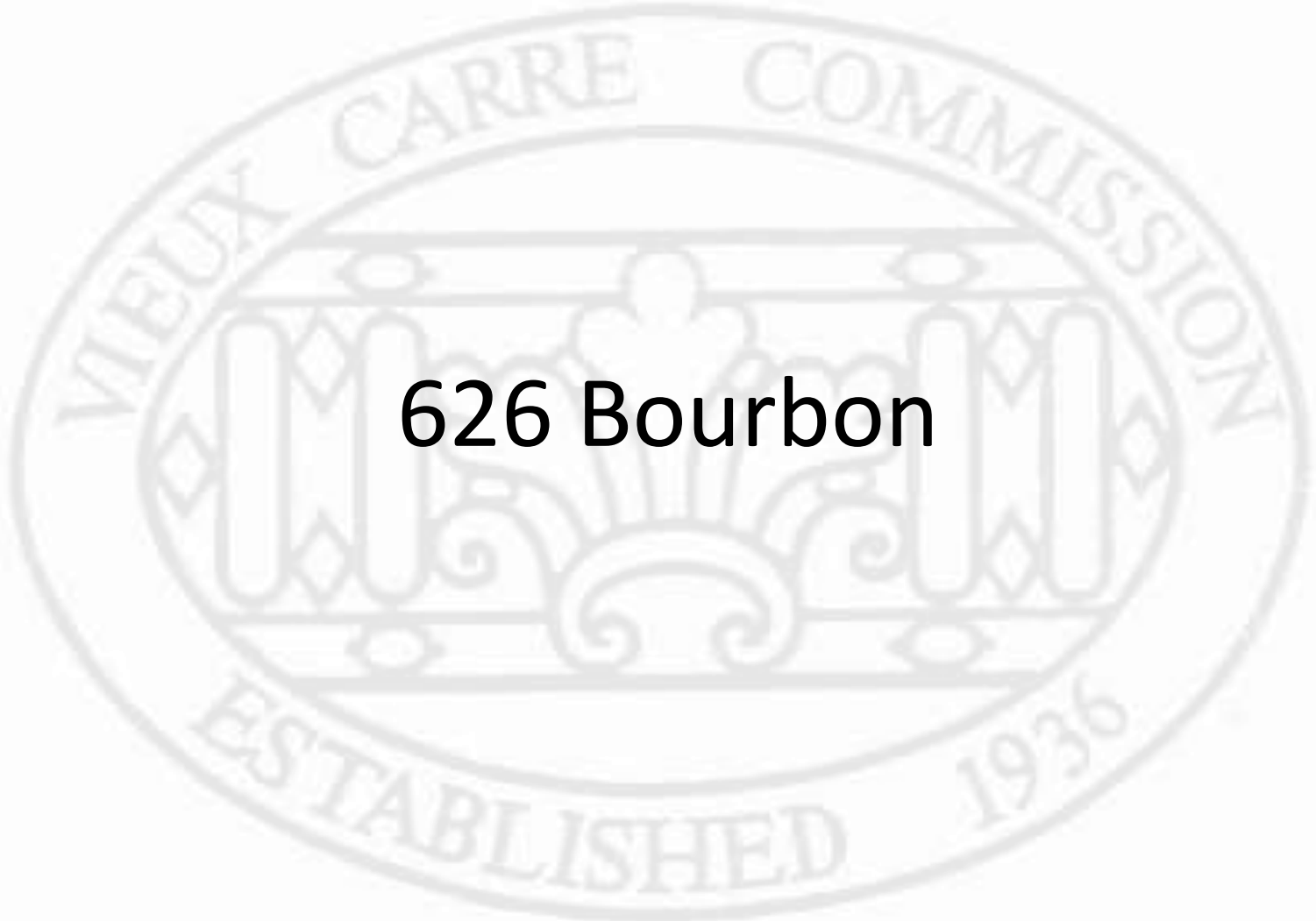


939 Iberville

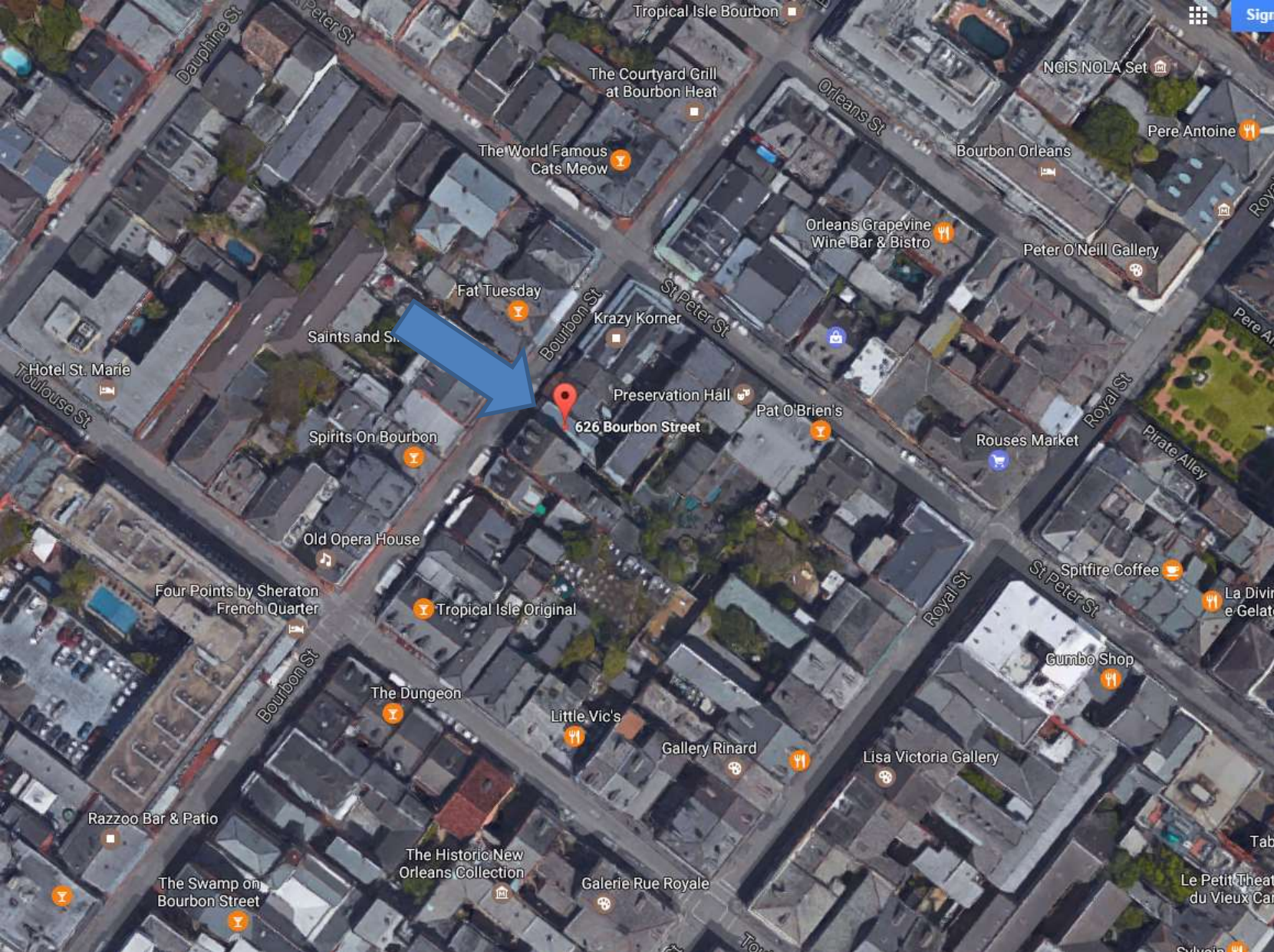
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November 1, 2017



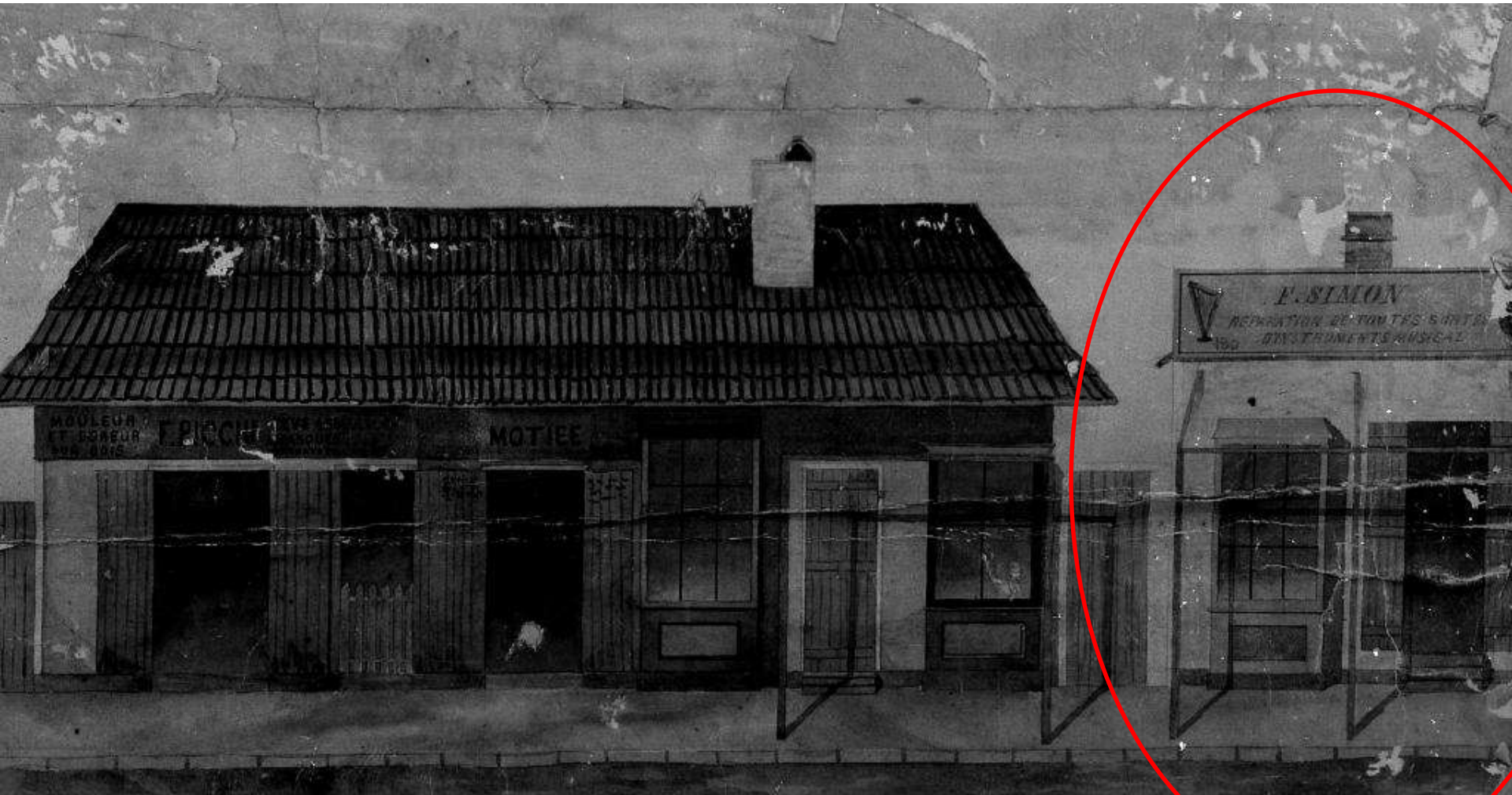


626 Bourbon



626 Bourbon





626 Bourbon – 1855





626 Bourbon – c. 1950



626 Bourbon - 1964





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November 1, 2017





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10 03 2017

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November 1, 2017





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November 1, 2017





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504.566.0887 FAX

These drawings and specifications constitute a contract only when read in conjunction with the contract documents and the performance standards and other documents which are incorporated by reference.

All drawings are subject to change without notice.



626 BOURBON STREET
NEW ORLEANS, LOUISIANA

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

- REVISIONS -

No.	Date	Scope

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWN BY:
PHASE: CONCEPT
JOB No.: 517663.06
DATE: APRIL 04, 2017

DRAWING No.:

A3.1a



01 EXISTING ROYAL STREET ELEVATION
A3.1a 1/2" = 1'-0"

02 PROPOSED ROYAL STREET ELEVATION
A3.1a 1/2" = 1'-0"

626 Bourbon – conceptually approved by Commission



ALTERATION & RENOVATION

626 BOURBON STREET
NEW ORLEANS, LOUISIANA 70130

OWNER
THE MARIE LAVEAU FOUNDATION
725 ST. PETER STREET
NEW ORLEANS, LA 70116
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ARCHITECT
WILLIAMS ARCHITECTS
824 BARONNE STREET
NEW ORLEANS, LA 70113
504.566.8888

GENERAL CONTRACTOR
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JAT CONSTRUCTION
NEW ORLEANS, LA 70124
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STRUCTURAL ENGINEER
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NEW ORLEANS, LA 70119
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M.E.P ENGINEER
DAMIEN SERAUSKAS
15 CYPRESS POINT LANE
NEW ORLEANS, LA 70131
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JOHN C WILLIAMS
ARCHITECTS LLC
814 MADAME STREET
NEW ORLEANS, LA 70111
504.582.8888 FAX: 504.582.8887

This drawing and specifications become contract documents only when they are accompanied by a permit and the contract. Any alterations or changes to the drawing must be made on a separate sheet and approved by the architect.



626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS:

No.	Date	Scope

DRAWING TITLE:
TITLE

DRAWN BY:
PHASE: PERMIT
JOB No: 177002.09
DATE: AUG 15, 2017

DRAWING No:
T1.0

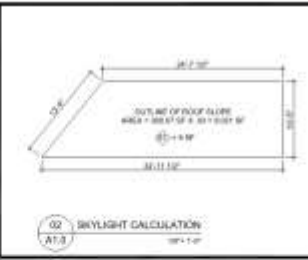
626 Bourbon

Vieux Carre Commission

November 1, 2017



ST. PETER STREET (SIDE)



JOHN C. WILLIAMS ARCHITECTS LLC
 400 SARNOFF STREET
 NEW ORLEANS, LA 70114
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 504.586.0287 FAX

These drawings and specifications are the property of the architect and shall remain confidential and not be used for any other project without the written consent of the architect. All rights reserved.

Call for pricing and availability information on the project.

626 BOURBON STREET
 NEW ORLEANS, LOUISIANA

- REVISIONS -

No.	Date	Scope

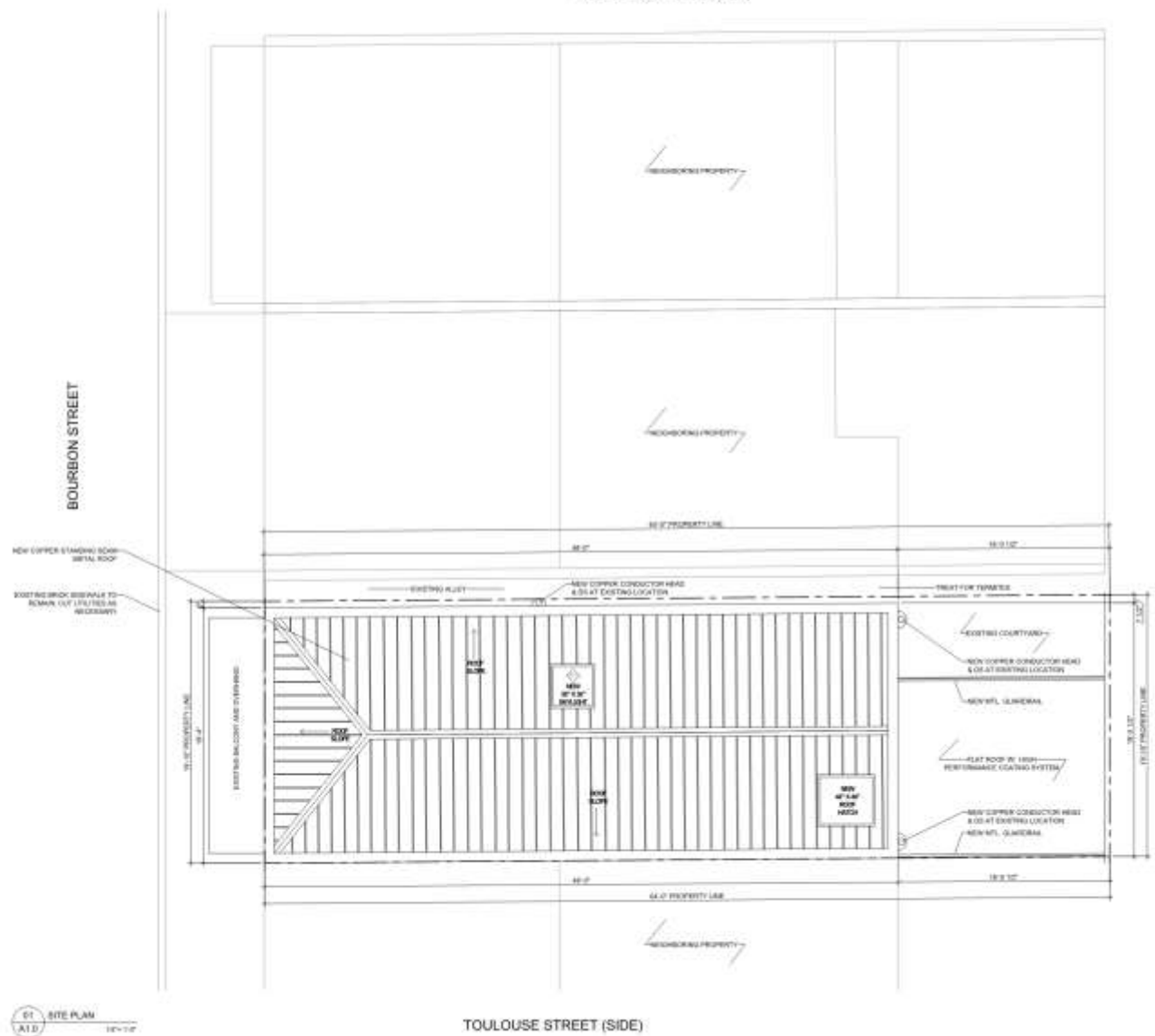
DRAWING TITLE:
 SITE PLAN

DRAWN BY:
 PHASE: PERMIT
 JOB No.: 317902-00
 DATE: AUG 15, 2017

DRAWING No.:
A1.0

BOURBON STREET

ROYAL STREET (SIDE)



01 SITE PLAN
 A1.0



626 Bourbon

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS
ARCHITECTS & L.L.C.

424 BARBOUR STREET
NEW ORLEANS, LA 70112
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504.586.1887 - FAX

These drawings and specifications have been prepared by us or under our direct personal supervision and to the best of our knowledge, intelligence and belief comply with applicable laws and requirements.

All for existing ground conditions unless otherwise indicated on the plans.



626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS

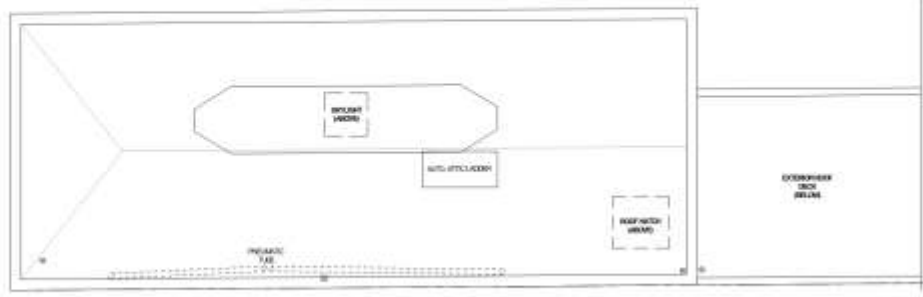
No.	Date	Scope

DRAWING TITLE
FLOOR PLANS

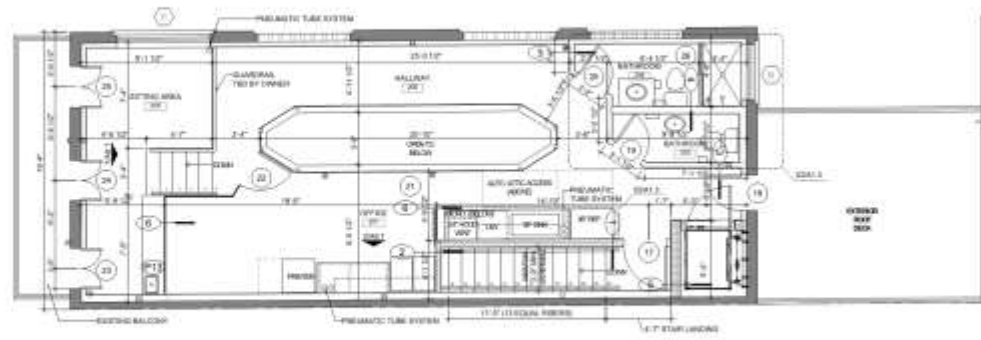
DRAWN BY: PERMIT
JOB No.: 317802.00
DATE: AUG 13, 2017

DRAWING No.

A1.2



02 ATTIC FLOOR PLAN
A1.2



01 SECOND FLOOR PLAN
A1.2

- WALL/FLOOR FINISH LEGEND
- NEW PLAN NOTES PARTITION
 - NEW PLAN NOTES WALL
 - NEW DRY WALL OVER EXISTING DRYWALL
 - NEW DRY WALL OVER BRICK OR BLOCK MASONRY
 - EXISTING MASONRY WALLS

626 Bourbon

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS ARCHITECTS LLC

100 BOURBON STREET
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504.581.0107

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02 EXISTING BOURBON STREET ELEVATION
A3.0 08/15/17

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS:

No.	Date	Scope

DRAWING TITLE:
EXTERIOR ELEVATIONS
EXISTING & PROPOSED

DRAWN BY: PERMIT
JOB No.: 517902/00
DATE: AUG 15, 2017

DRAWING No.:

A3.0

01 PROPOSED BOURBON STREET ELEVATION
A3.0 08/15/17



626 Bourbon

Vieux Carre Commission

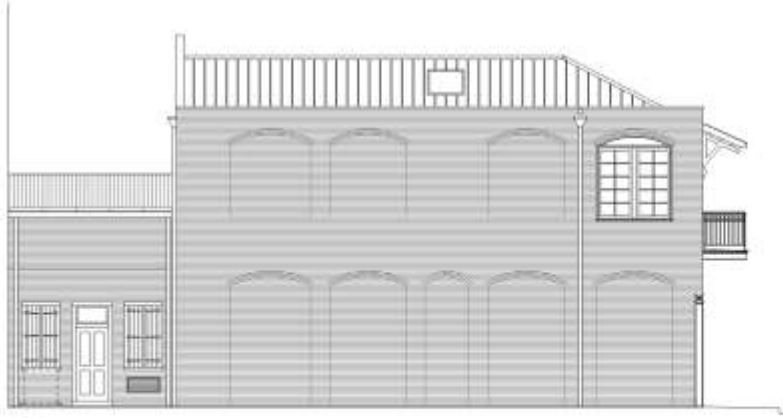
November 1, 2017





03 EXISTING ST PETER STREET (SIDE) ELEVATION
A3.1 3/8" = 1'-0"

04 EXISTING ROYAL STREET (SIDE) ELEV.
A3.1 3/8" = 1'-0"



01 PROPOSED ST PETER STREET (SIDE) ELEVATION
A3.1 3/8" = 1'-0"

02 PROPOSED ROYAL STREET (SIDE) ELEV.
A3.1 3/8" = 1'-0"



JOHN C WILLIAMS ARCHITECTS L.L.C.

839 BARRINGER STREET
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504 582 0828 PHONE
504 582 0807 FAX

These drawings and specifications have been prepared by the architect to show general character and to be used as a guide only. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.

All necessary permit applications and construction documents shall be prepared by the contractor.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS

No.	Date	Scope

DRAWING TITLE:
EXTERIOR ELEVATIONS:
EXISTING & PROPOSED

DRAWN BY:
PHASE: PERMIT
JOB No.: 017002.00
DATE: AUG 10, 2017

DRAWING No.:

A3.1

626 Bourbon

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS ARCHITECTS LLC

529 BARRONS STREET
NEW ORLEANS, LA 70112
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504 586-8877 FAX

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1. All drawings are subject to change without notice.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS

No.	Date	Scope

DRAWING TITLE
EXTERIOR ELEVATIONS

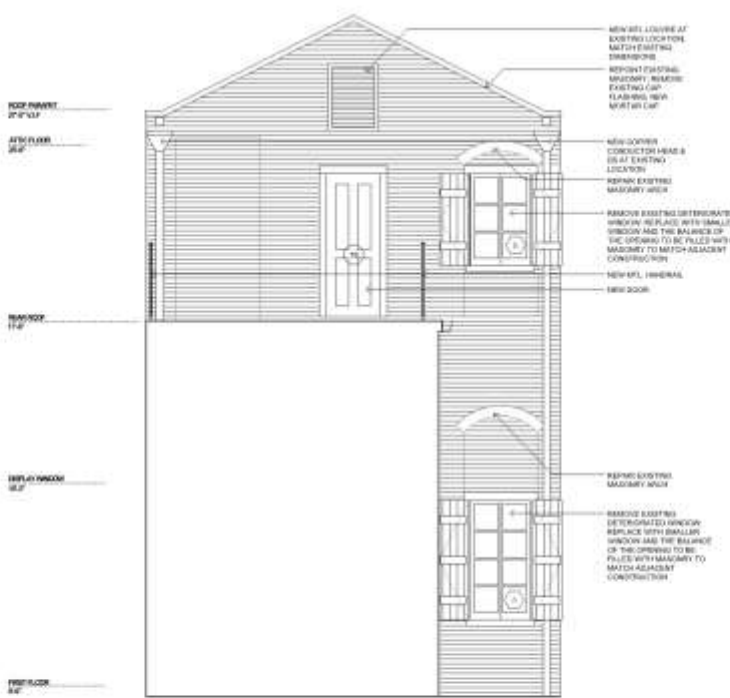
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JOB No.: 17102-00
DATE: AUG 18, 2017

DRAWING No:

A3.2



01 BOURBON STREET ELEVATION
A3.2 10/1/17



02 ROYAL STREET (SIDE) ELEVATION
A3.2 10/1/17

626 Bourbon

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS ARCHITECTS LLC

601 JARDINS STREET
NEW ORLEANS, LA 70112
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504.586.0877 FAX

These drawings and specifications were prepared by me or under my direct supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

I am an independent contract architect, independent of all other disciplines.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS

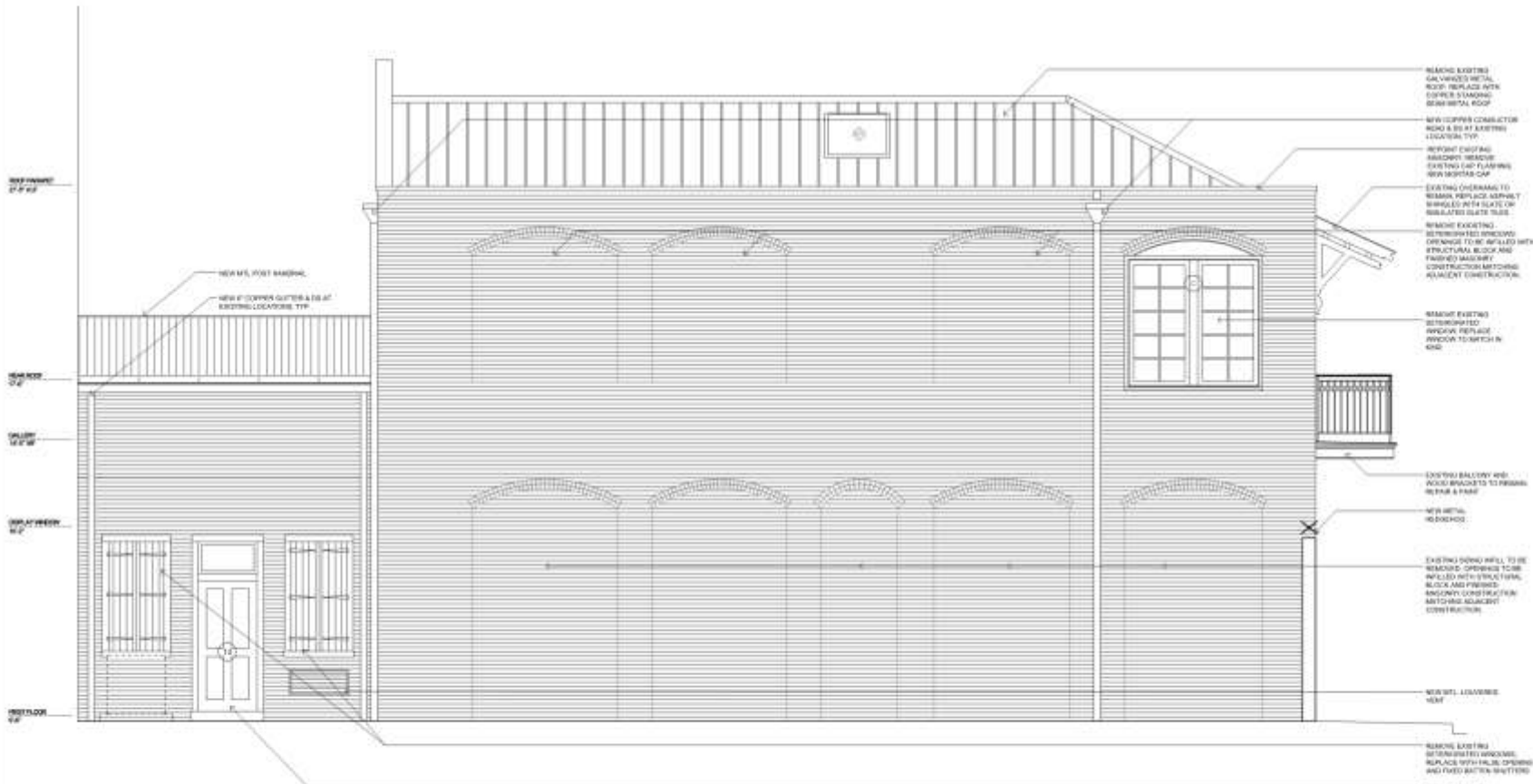
No.	Date	Scope

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWN BY:
PHASE: PERMIT
JOB No.: 17002.00
DATE: AUG 15, 2017

DRAWING No.:

A3.3



D1
A3.3
ST PETER STREET (SIDE) ELEVATION
REV 1.0

626 Bourbon

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS
ARCHITECTS L.L.C.

223 BARRONIE STREET
SUITE 1000
NEW ORLEANS, LA 70113
504.586.0000
504.586.0007 FAX

These drawings are a representation of the design prepared by the architect and are not intended to be used for construction without the architect's review and approval. The architect is not responsible for any errors or omissions in these drawings.

1. All work shall be in accordance with the applicable codes and regulations.

DATE: 08/15/2017
BY: JAW

PROJECT: 626 BOURBON STREET

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS:

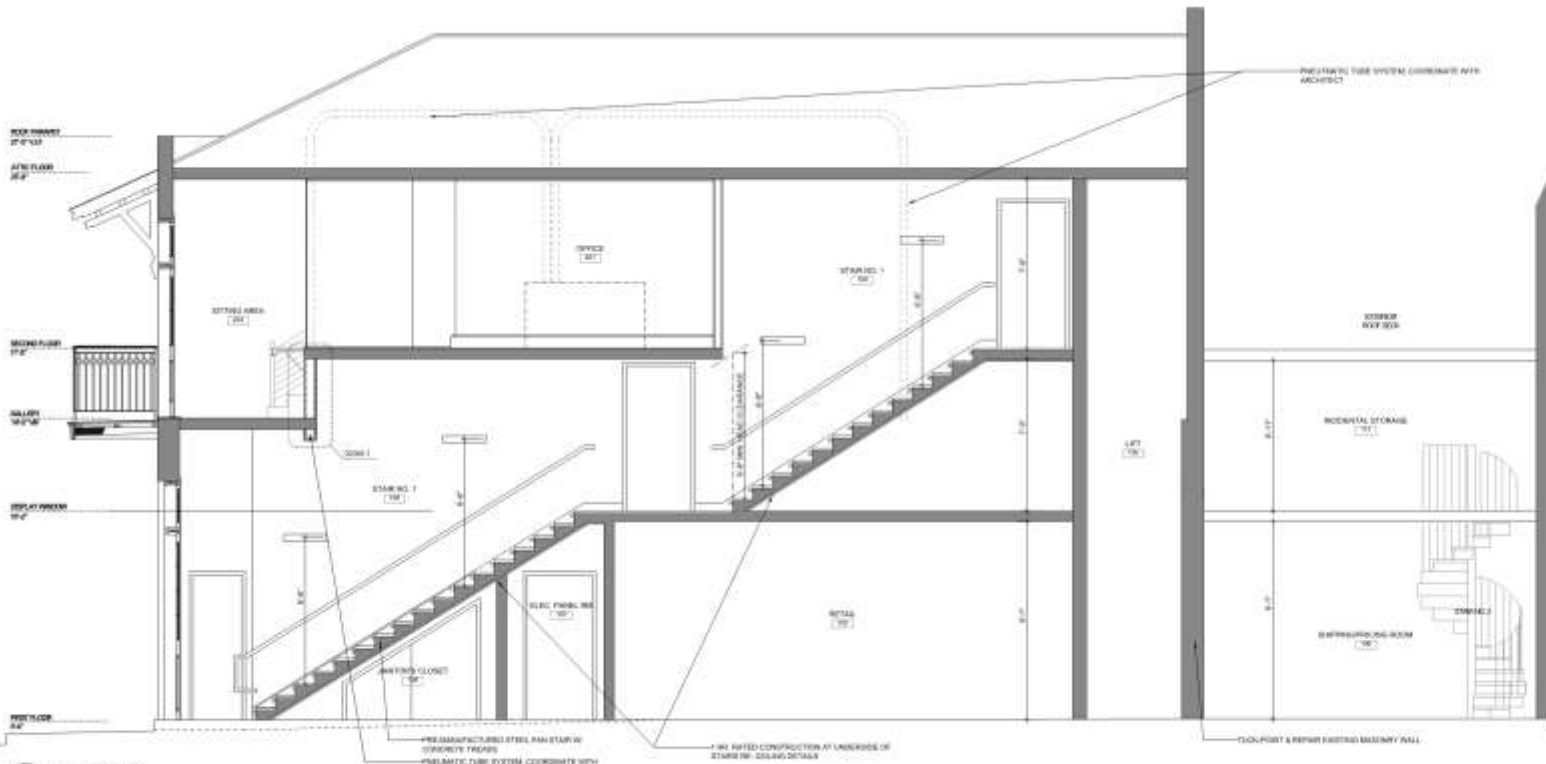
NO.	DATE	SCOPE

DRAWING TITLE:
BUILDING SECTION

DRAWN BY:
PHASE: PERMIT
JOB No.: 517902.00
DATE: AUG 15, 2017

DRAWING No.:

A4.0



B1. BUILDING SECTION
08/15/17

626 Bourbon

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS
ARCHITECTS LLC

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504.582.8738
504.582.8737 FAX

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D1 BUILDING SECTION
A4.1

- REVISIONS -

No.	Date	Scope

DRAWING TITLE:
BUILDING SECTION

DRAWN BY:
PHASE: PERMIT
JOB No.: 517002.00
DATE: AUG 15, 2017

DRAWING No.:

A4.1

626 Bourbon

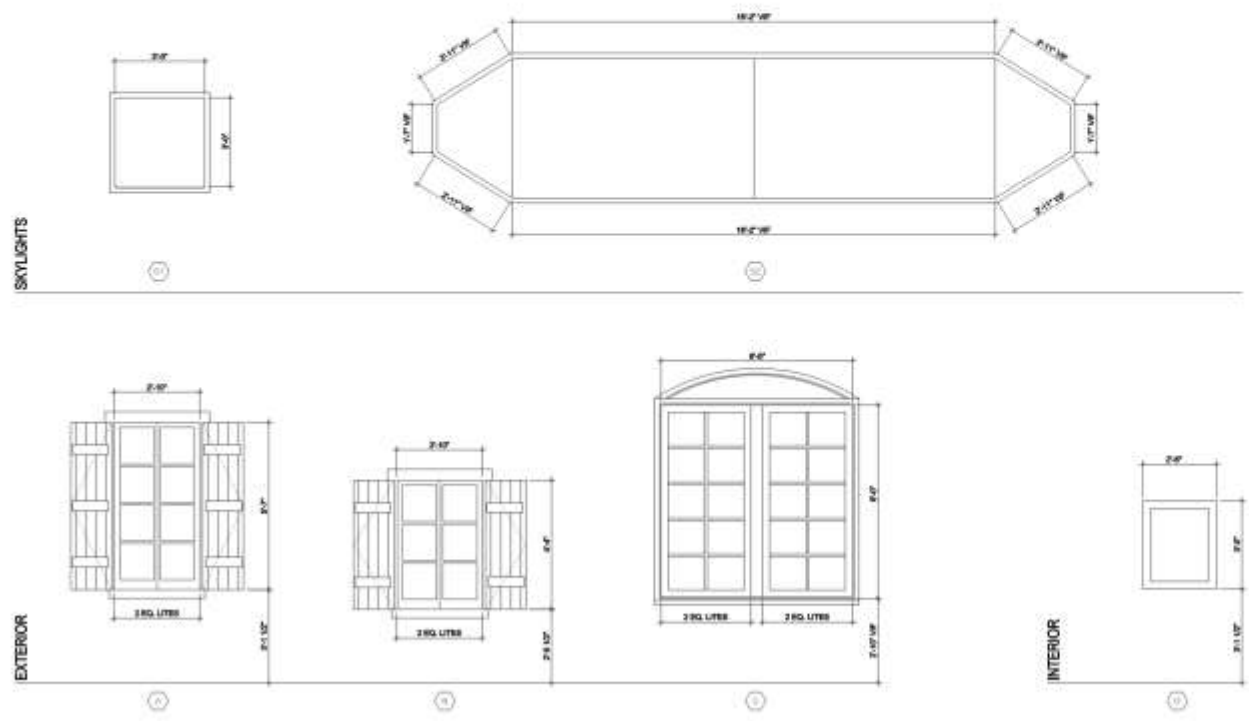
Vieux Carre Commission

November 1, 2017



WINDOW SCHEDULE										
NO.	QTY	WINDOW SIZE	WINDOW WEIGHT	FIXED OPTION	WINDOW MATERIAL	GLASS TYPE	WINDOW TYPE	DETAIL	FINISH	NOTE
1	1	2'-0"	2'-0"	0-0"	WOOD	NO	SHIELD GLASS	01 (A7.1)		COORDINATE TO DECK
2	1	2'-0"	2'-0"	0-0"	WOOD	NO	SHIELD GLASS	01 (A7.1)		COORDINATE TO DECK
3	1	2'-0"	2'-0"	0-0"	WOOD	NO	SHIELD GLASS	01 (A7.1)		COORDINATE TO DECK
4	1	2'-0"	2'-0"	0-0"	WOOD	NO	SHIELD GLASS	01 (A7.1)		COORDINATE TO DECK

- GENERAL NOTES**
1. DUE TO THE NATURE OF THIS PROJECT, WINDOW SPECIFICATIONS AND WINDOW SIZES ARE TO BE VERIFIED IN FIELD. SEE SPEC TO BE COORDINATED WITH WINDOW SYSTEMS AND DETAILS SELECTED FOR THIS PROJECT.
 2. ACTUAL CONDITIONS AND DIMENSIONS MAY VARY FROM REFERENCE DETAIL. ALL DOORS, WINDOWS, PARTS, MATERIALS, FINISHES ARE TO MATCH.
 3. ALL DOOR SET DRAWINGS ARE TO BE APPROVED BY OWNER AND ARCHITECT BEFORE BEGINNING FABRICATION.
 4. ALL DOORS TO BE CLEAR LOW-E GLASS TO MEET 30% VLT. (30% - 0.30).
 5. UNLESS OTHERWISE NOTED, ALL DOORS ARE TO BE 1-3/4" THICK AND FRAMES SHALL BE STEEL UNLESS OTHERWISE INDICATED.
 6. COORDS TO BE SUPPLIED FROM FABRICATOR WITH EDITION AND MATERIAL TRIM.
 7. HINGES TO BE APPROVED BY OWNER AND ARCHITECT.



01 WINDOW TYPES
A7.1



JOHN C WILL ARCHITECTS

514 BARRINGER STREET
NEW ORLEANS, LA 70112
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504.586.0001 FAX

These drawings are prepared and approved by the architect. The contractor shall be responsible for the accuracy of the data and for the coordination of the drawings with the other drawings. The contractor shall be responsible for the coordination of the drawings with the other drawings.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISION		
No.	Date	Scope

DRAWING TITLE:
WINDOW SCHEDULE & TYPES

DRAWN BY:
PHASE:
JOB No.: 517
DATE: AUG 1

DRAWING No.:

A7

626 BOURBON

Vieux Carre Commission

November 1, 2017





JOHN C. WILLIAMS ARCHITECTS L.L.C.

514 PICHAY STREET
NEW ORLEANS, LA 70119
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504.586.8877 FAX

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All work shall conform to applicable codes and standards.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

- REVISIONS -

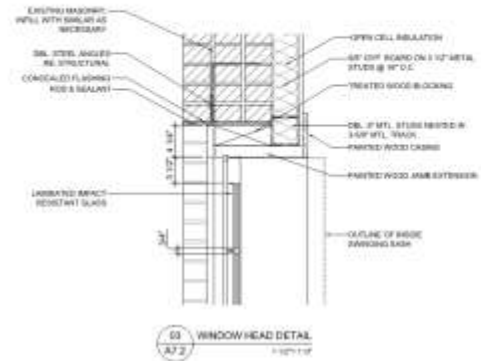
No.	Date	Scope

DRAWING TITLE:
DOOR & WINDOW
DETAILS

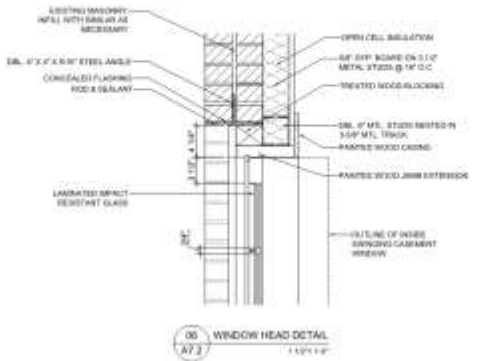
DRAWN BY: PETRUS
JOB No. 177022.0
DATE: AUG 15, 2017

DRAWING No.

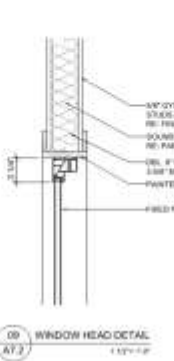
A7.2



03 WINDOW HEAD DETAIL
A7.2 1/16\"/>



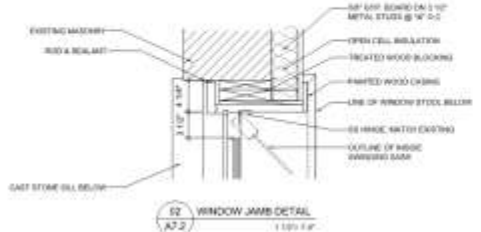
04 WINDOW HEAD DETAIL
A7.2 1/16\"/>



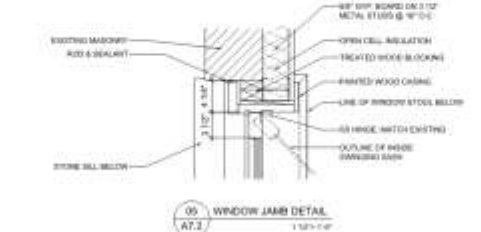
05 WINDOW HEAD DETAIL
A7.2 1/16\"/>



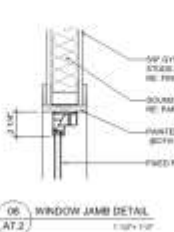
12 DOOR HEAD/TRANSOM BAR DETAIL
A7.2 1/16\"/>



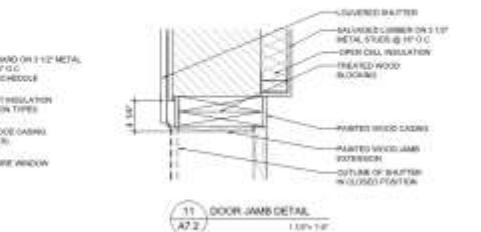
02 WINDOW JAMB DETAIL
A7.2 1/16\"/>



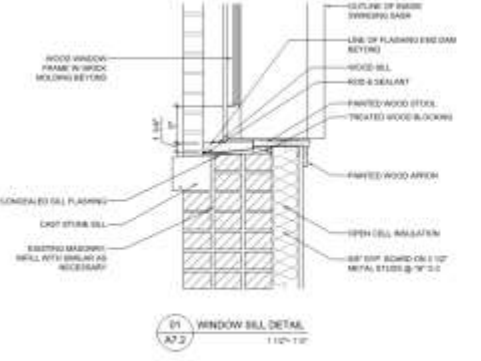
04 WINDOW JAMB DETAIL
A7.2 1/16\"/>



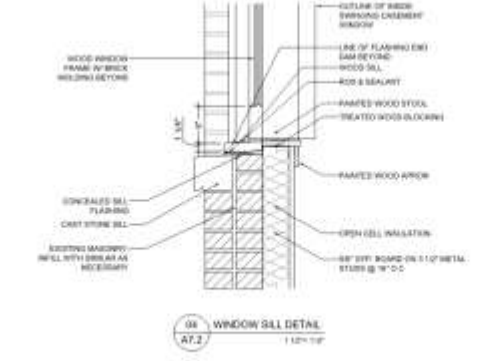
06 WINDOW JAMB DETAIL
A7.2 1/16\"/>



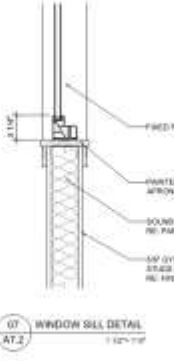
11 DOOR JAMB DETAIL
A7.2 1/16\"/>



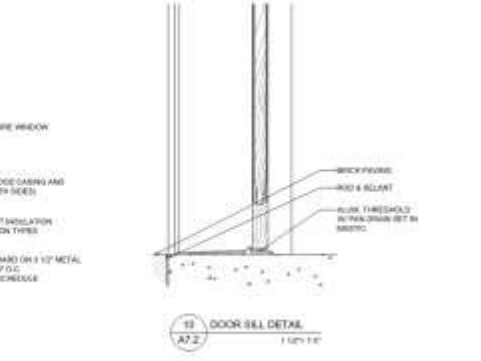
01 WINDOW SILL DETAIL
A7.2 1/16\"/>



04 WINDOW SILL DETAIL
A7.2 1/16\"/>



07 WINDOW SILL DETAIL
A7.2 1/16\"/>



10 DOOR SILL DETAIL
A7.2 1/16\"/>

626 Bourbon

Vieux Carre Commission

November 1, 2017

