



Vieux Carré Commission Meeting

Wednesday,
February 7, 2018



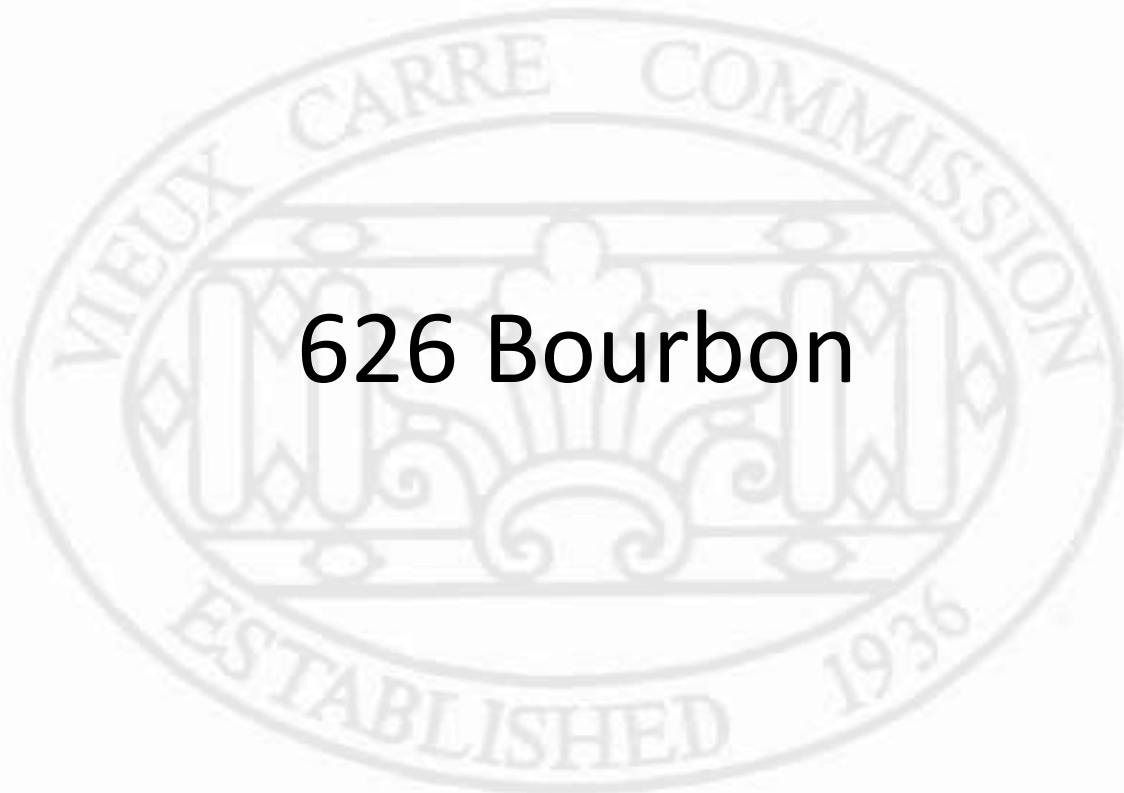
Chairman's Report



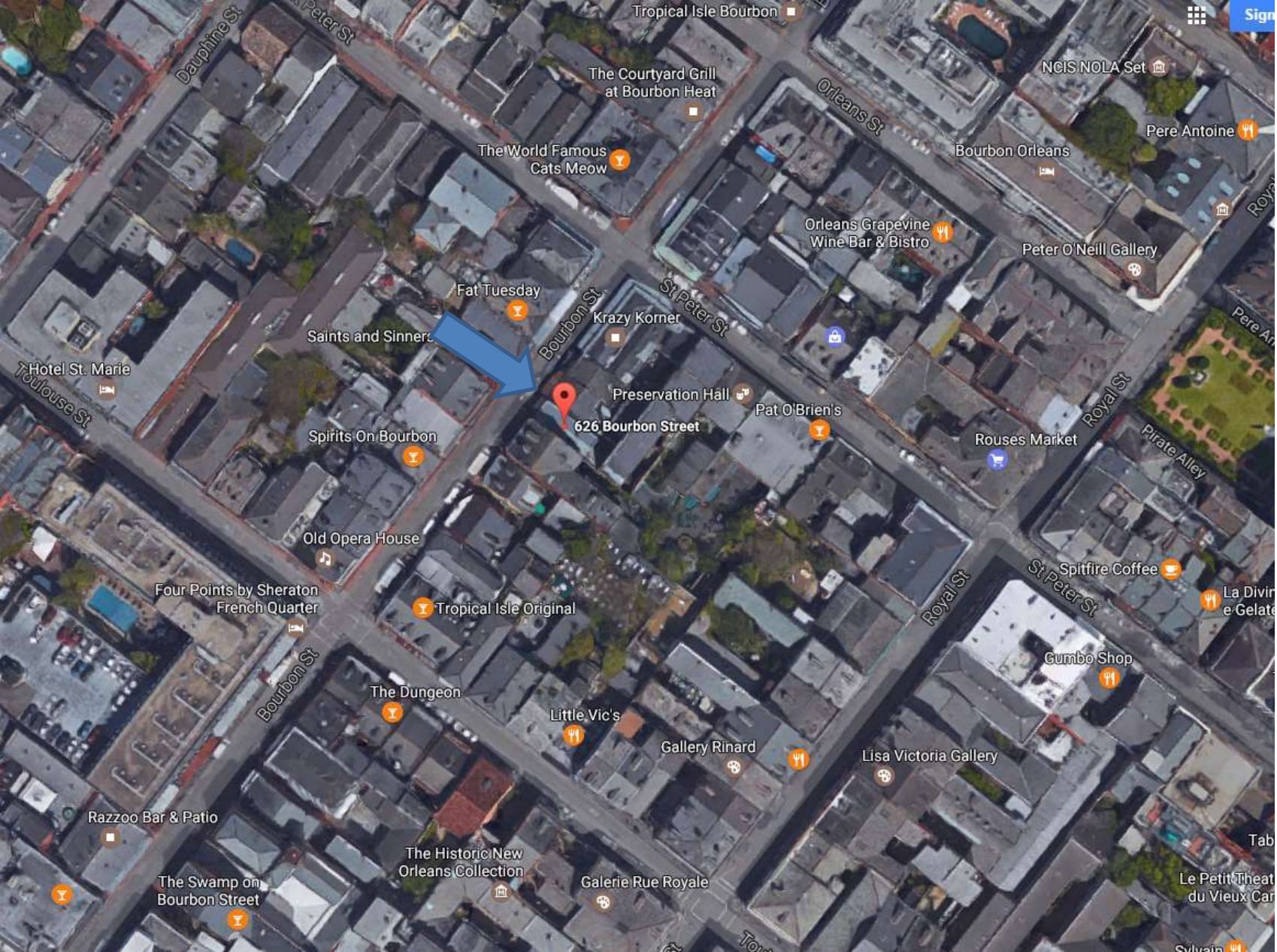
Director's Report



Old Business



626 Bourbon

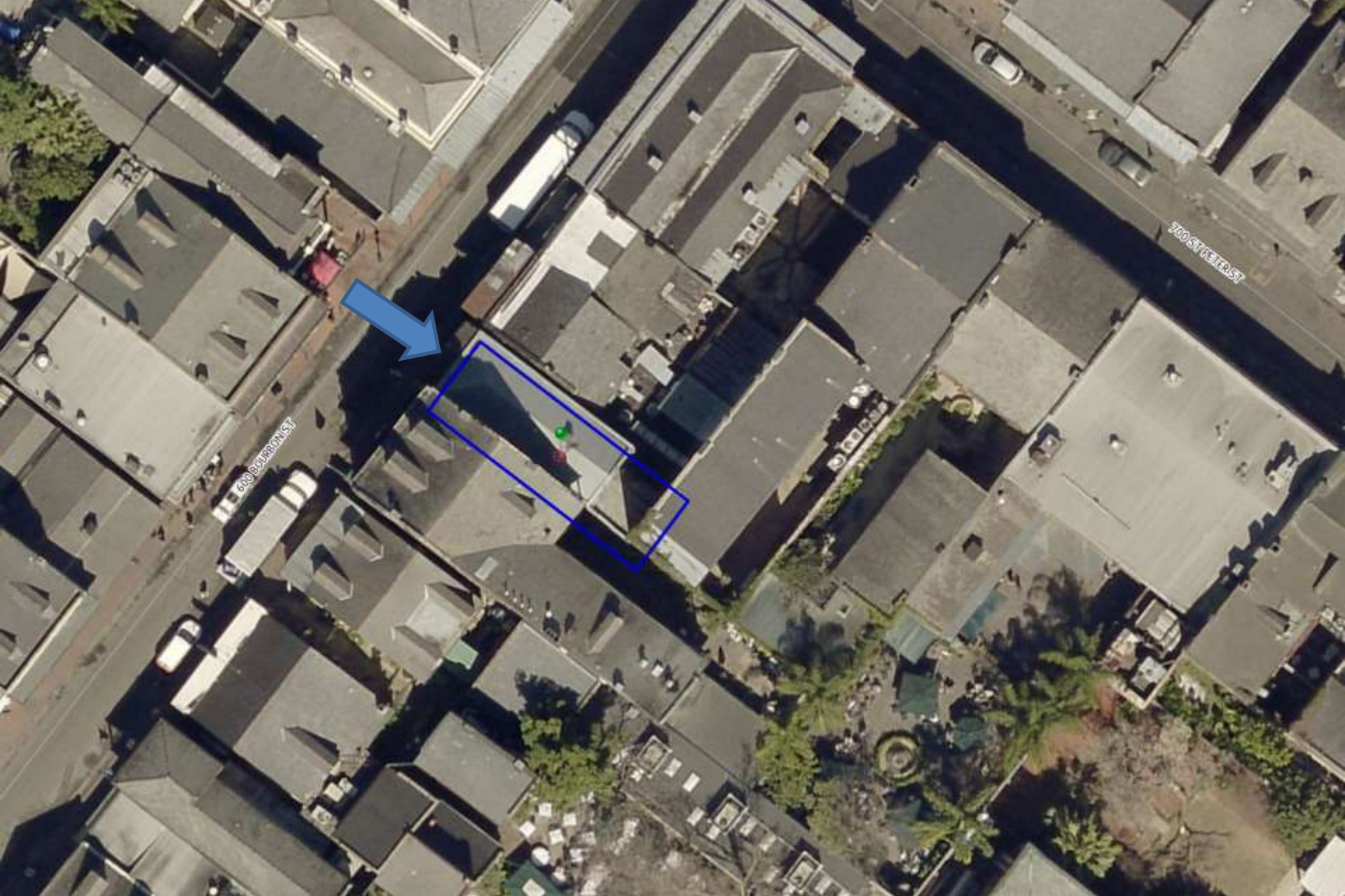


626 Bourbon

Vieux Carre Commission

February 7, 2018



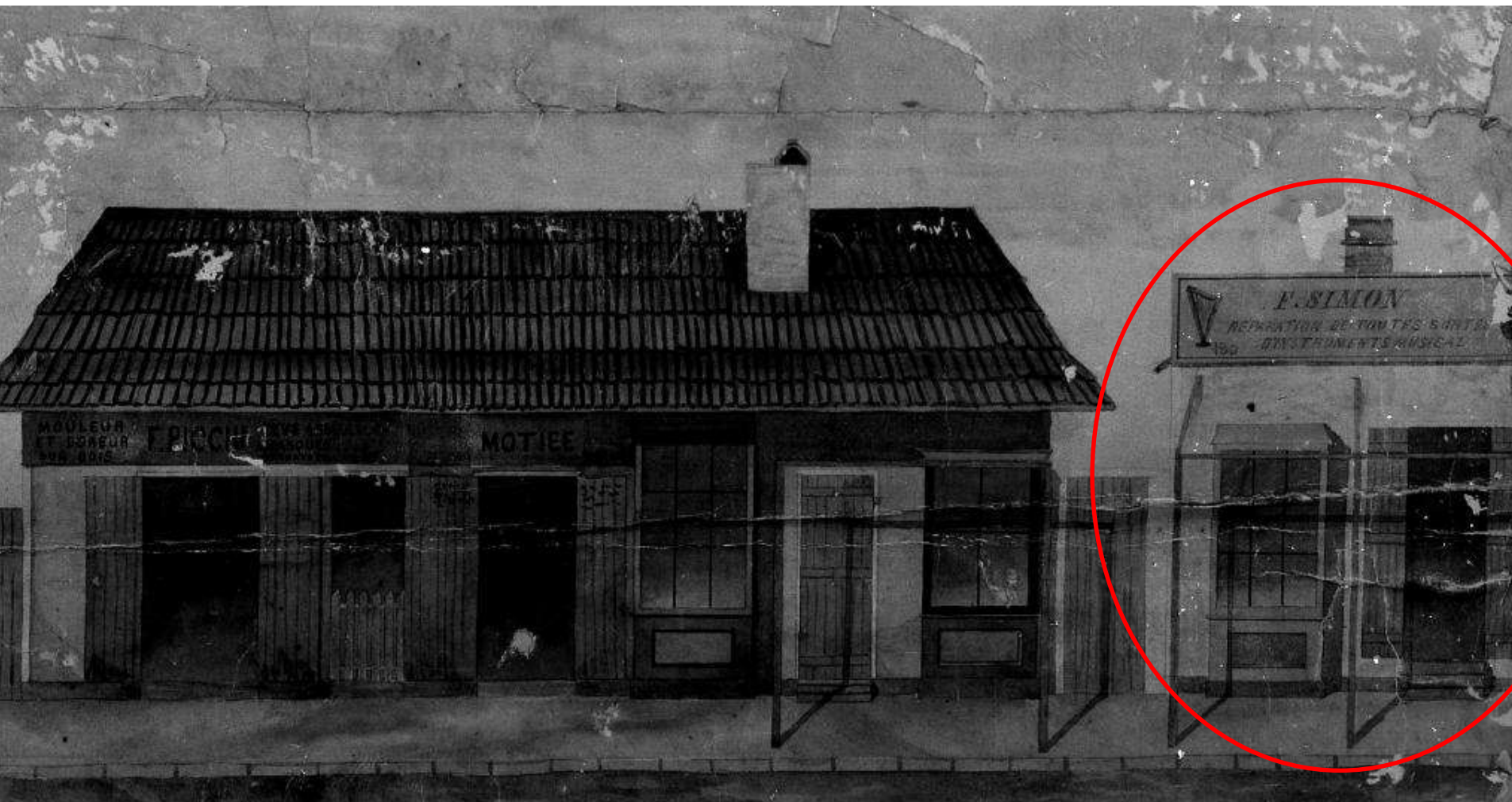


626 Bourbon

Vieux Carre Commission

February 7, 2018





626 Bourbon – 1855

Vieux Carre Commission

February 7, 2018





626 Bourbon – c. 1950

Vieux Carre Commission

February 7, 2018





626 Bourbon - 1964

Vieux Carre Commission

February 7, 2018





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February 7, 2018





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February 7, 2018





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Vieux Carre Commission

February 7, 2018





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February 7, 2018





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February 7, 2018



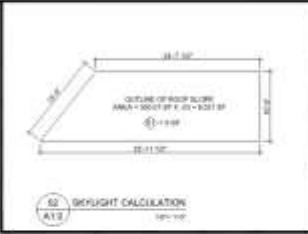
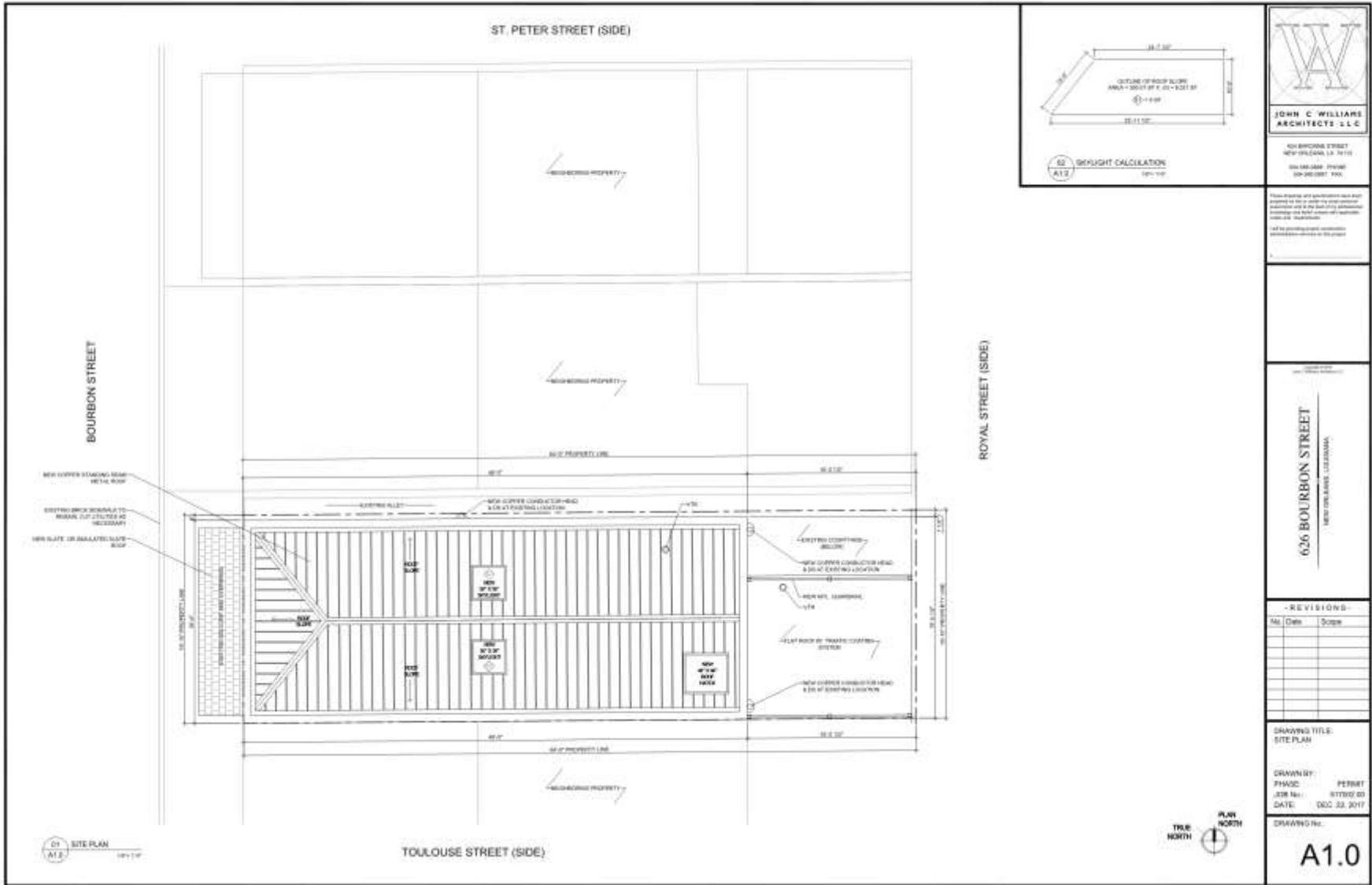












JOHN C WILLIAMS ARCHITECTS L.L.C

404 BROAD STREET
NEW ORLEANS, LA 70119
504.586.4544 FAX: 504.263.0887 P.O. BOX 1107

This drawing and specifications have been prepared by us or under our professional supervision and shall constitute our contract with the contractor.

All the professional seal and registration shall be in the project.

DATE: 12/22/2017
DRAWN BY: PERBIT
JOB No.: 626B02-00
DATE: DEC 22, 2017

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

- REVISIONS -

No.	Date	Output

DRAWING TITLE:
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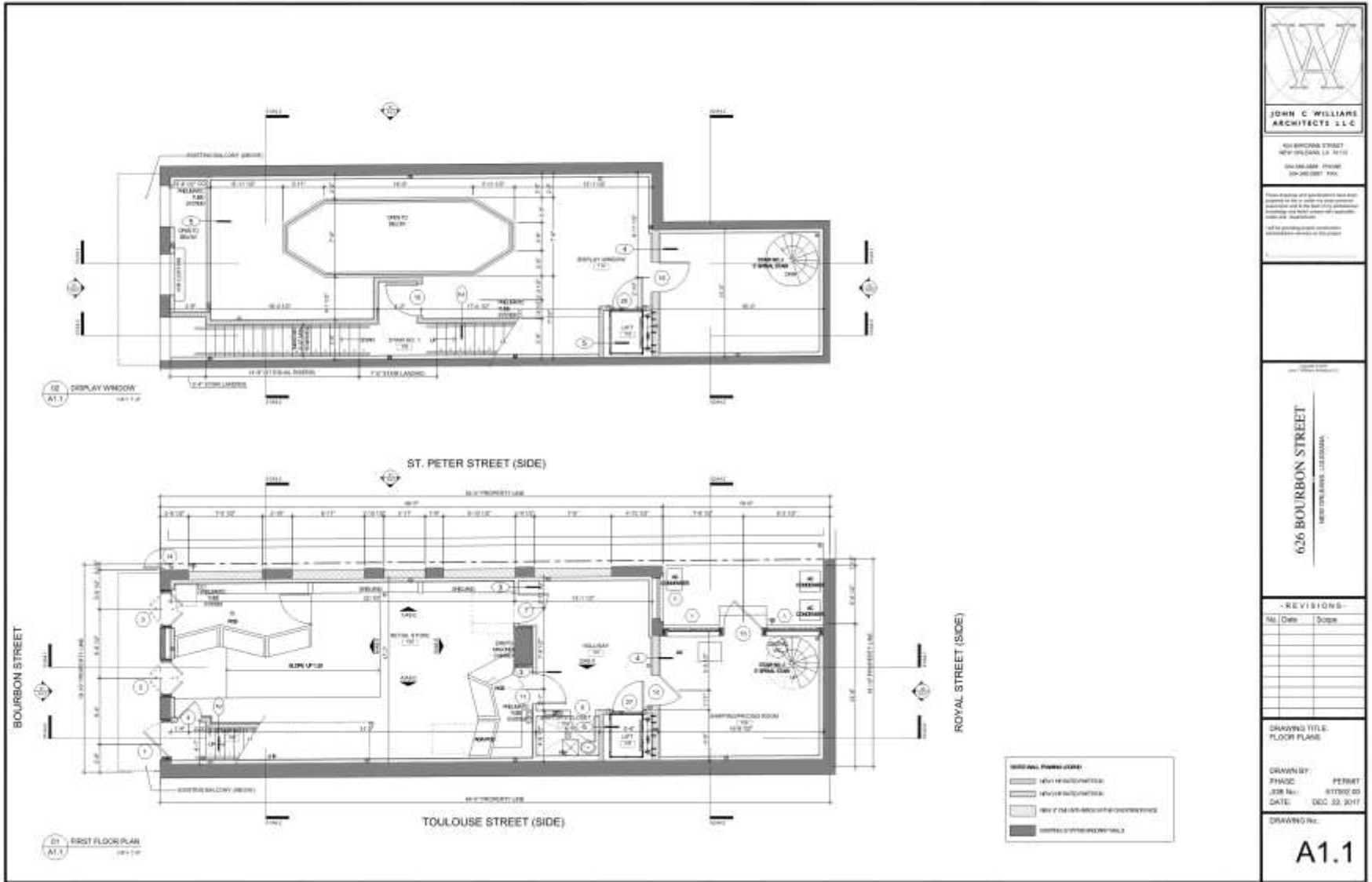
DRAWN BY: PERBIT
PHASE: PERMIT
JOB No.: 626B02-00
DATE: DEC 22, 2017

DRAWING No.: **A1.0**

626 Bourbon
Vieux Carre Commission

February 7, 2018





JOHN C. WILLIAMS ARCHITECTS LLC

614 BIRCHDALE STREET
NEW ORLEANS, LA 70116
504.586.4848 FAX 504.586.8777

This drawing and specifications shall not be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS

No.	Date	Scope

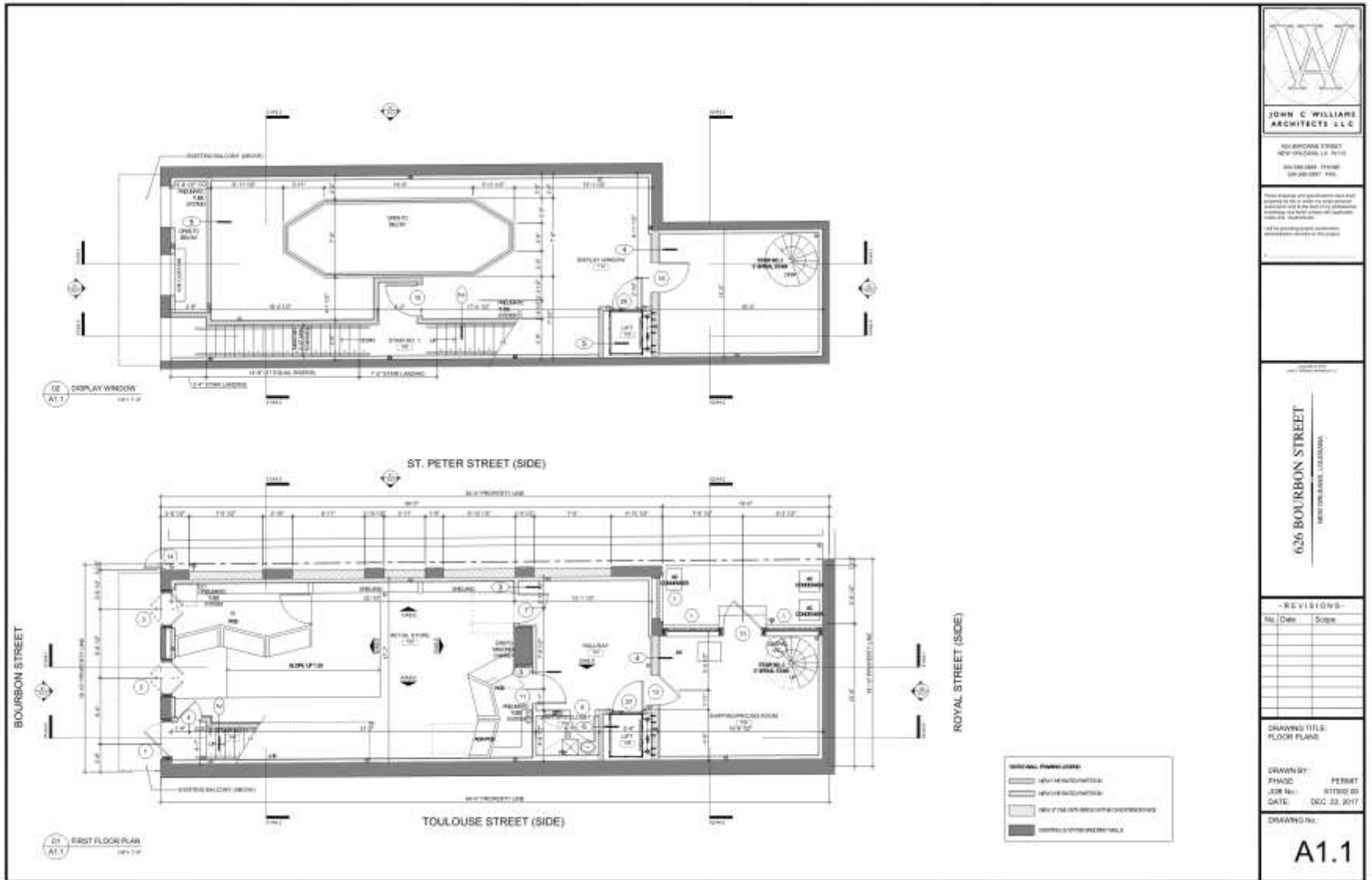
DRAWING TITLE:
FLOOR PLANS

DRAWN BY: _____ PERMIT
JOB No.: 617807-03
DATE: DEC. 22, 2017

DRAWING No.:

A1.1





626 Bourbon

Vieux Carre Commission

February 7, 2018



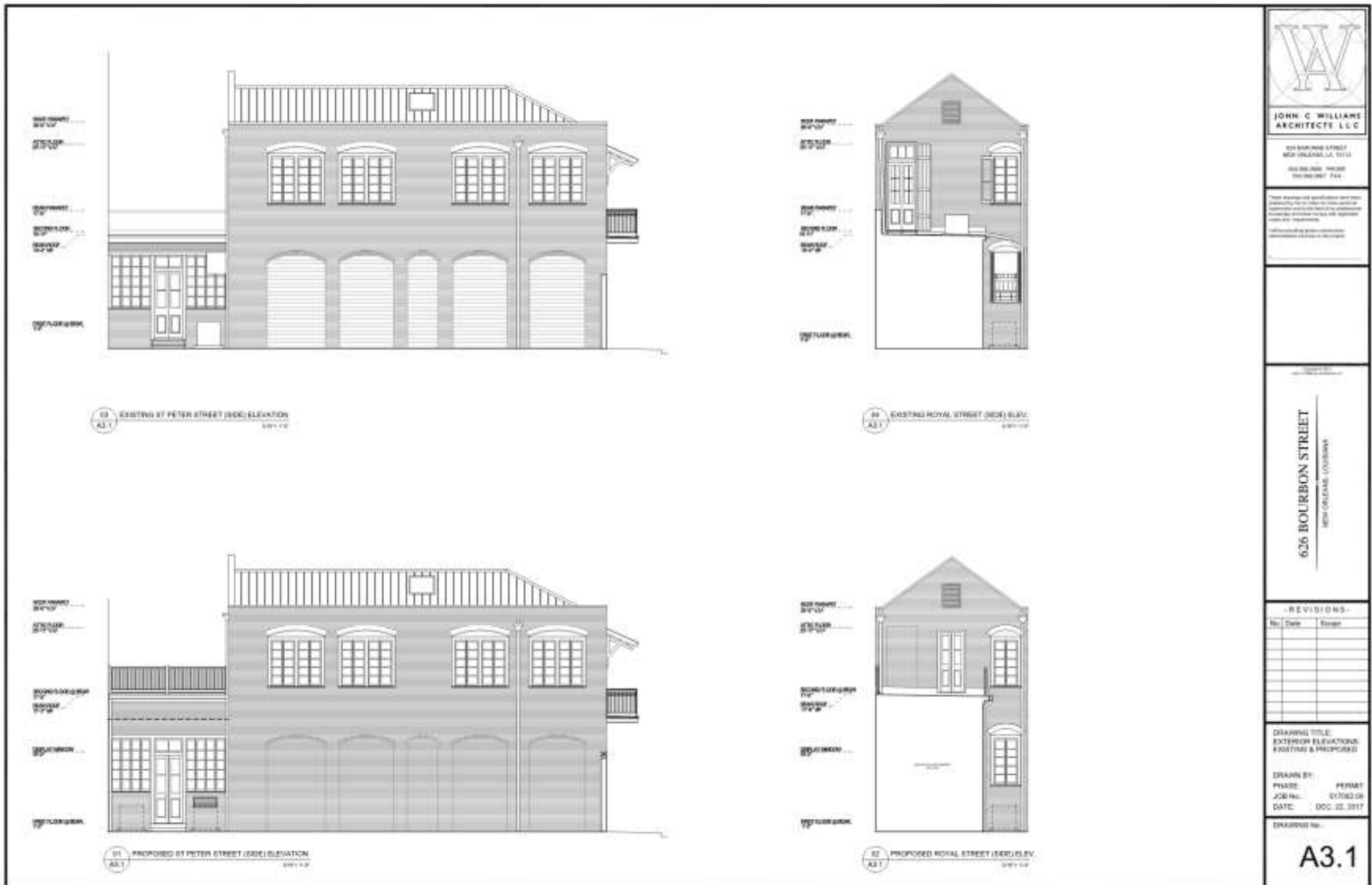


626 Bourbon

Vieux Carre Commission

February 7, 2018



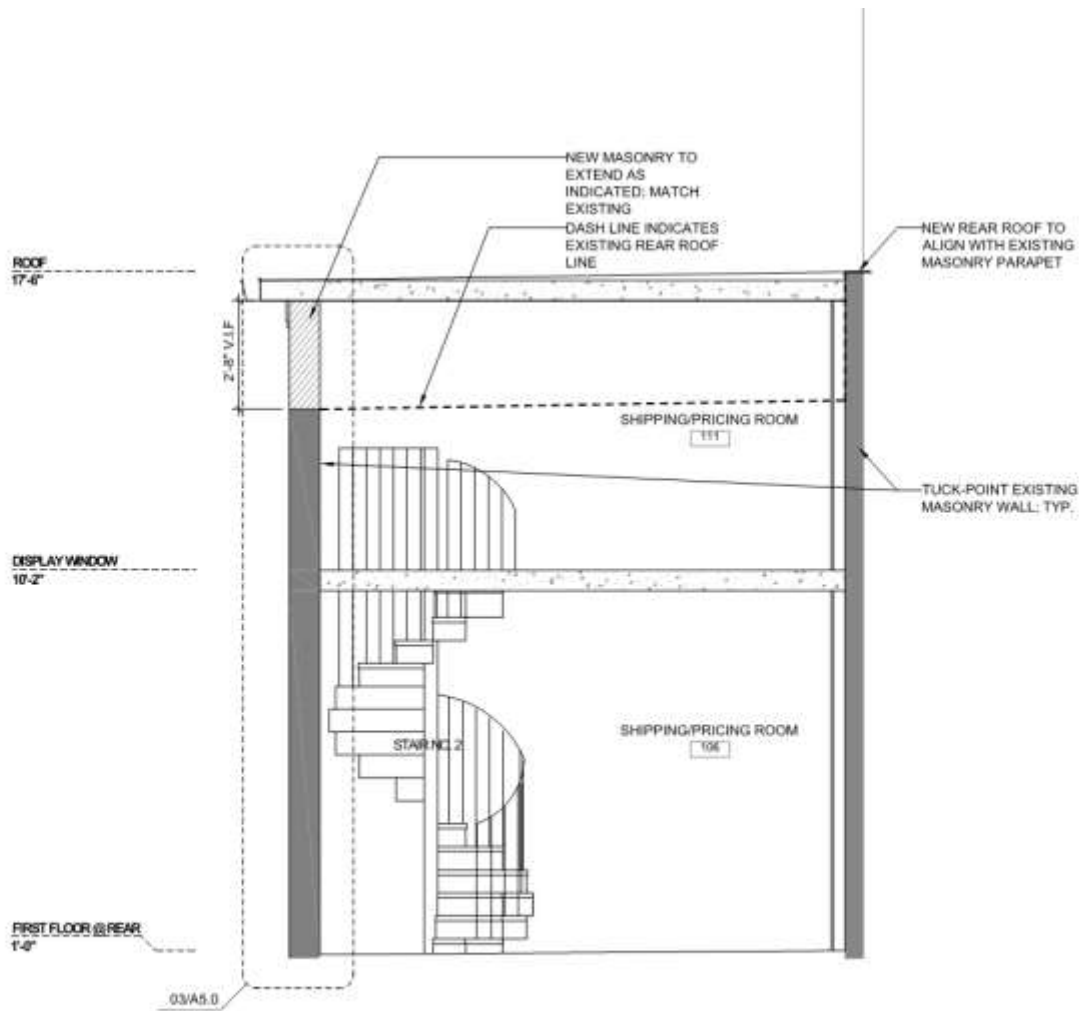


626 Bourbon

Vieux Carre Commission

February 7, 2018





02 BUILDING SECTION
A4.2 3/8" = 1'-0"





JOHN C WILLIAMS ARCHITECTS L L C

224 BAYANE STREET
NEW ORLEANS, LA 70112
504.586.8600 PHONE
504.586.8671 FAX

These drawings and specifications are based on information furnished by the owner. The architect assumes no responsibility for the accuracy of the information furnished. The architect shall not be held responsible for any errors or omissions in the drawings or specifications.

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

626 BOURBON STREET
NEW ORLEANS, LOUISIANA

REVISIONS

No.	Date	Revised

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: PERMAT
PROJECT: 317082.08
JOB No.:
DATE: DEC. 22, 2017

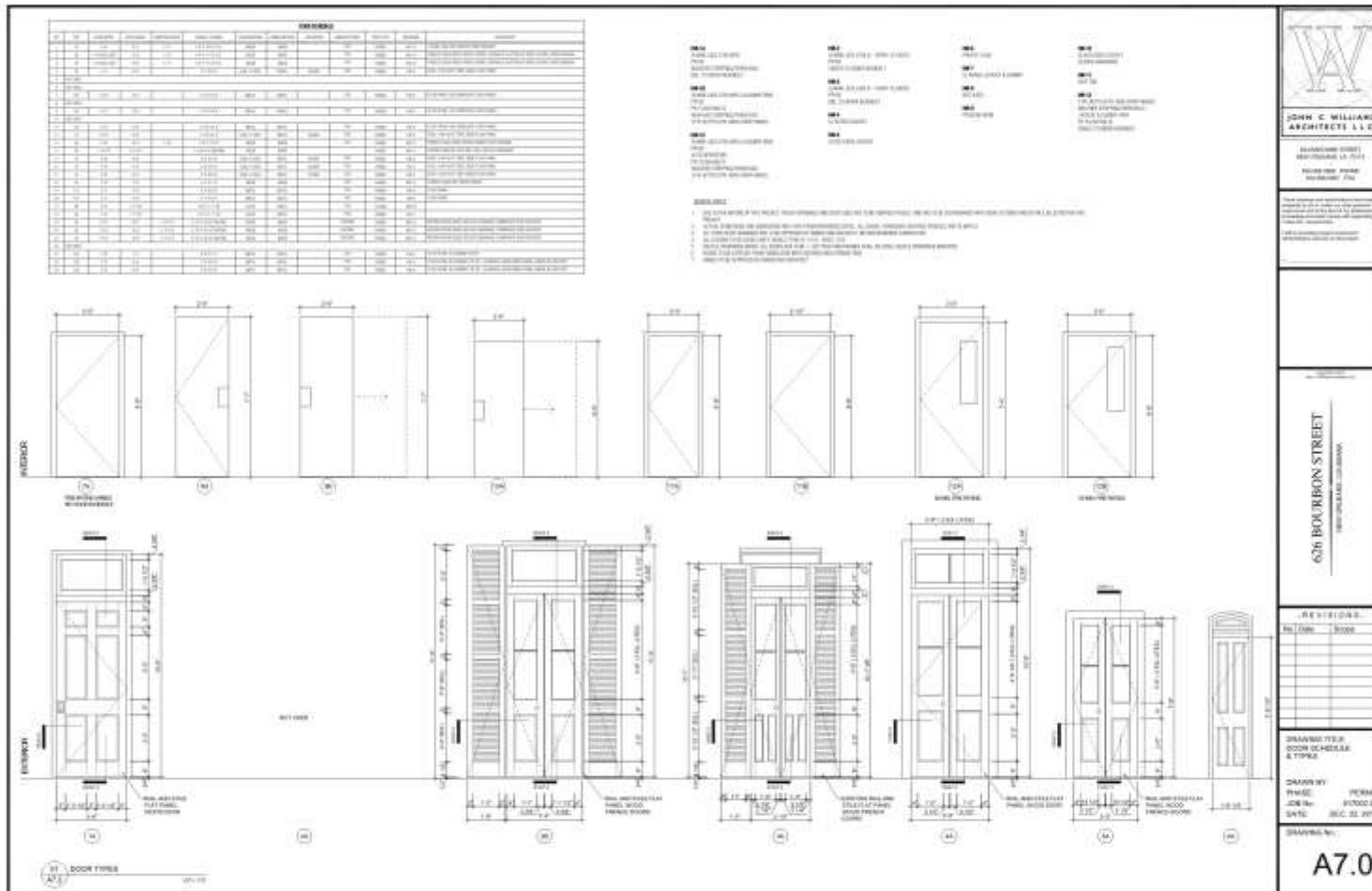
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A3.3

626 Bourbon

Vieux Carre Commission

February 7, 2018



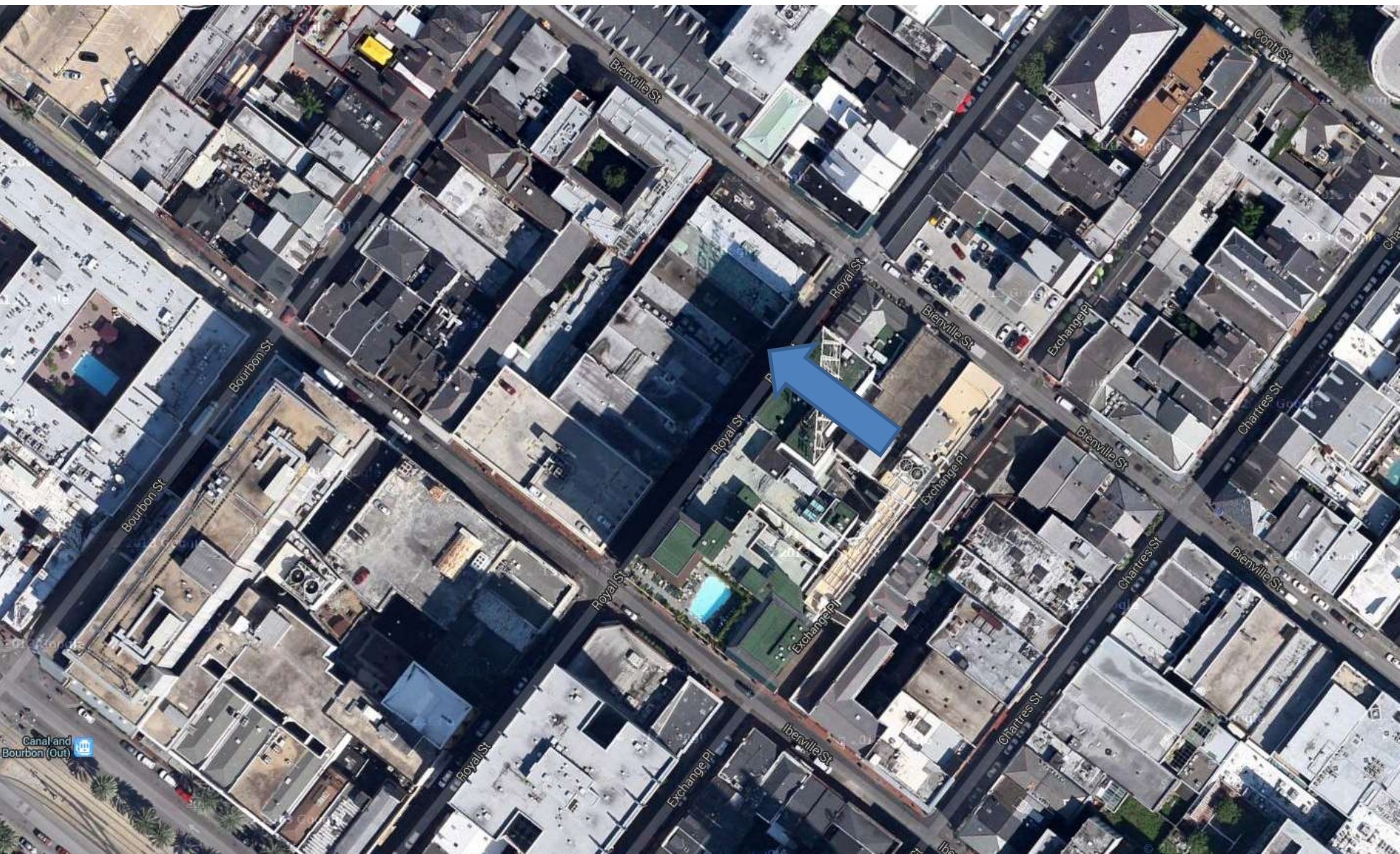




New Business



229 Royal



229 Royal

Vieux Carré Commission

February 7, 2018





1963

229 Royal

Vieux Carré Commission

February 7, 2018





229 Royal

Vieux Carré Commission

February 7, 2018





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February 7, 2018





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February 7, 2018





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February 7, 2018





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Vieux Carré Commission

February 7, 2018





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Vieux Carré Commission

February 7, 2018





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Vieux Carré Commission

February 7, 2018





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Vieux Carré Commission

February 7, 2018





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Vieux Carré Commission

February 7, 2018





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February 7, 2018





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February 7, 2018





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February 7, 2018





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February 7, 2018





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February 7, 2018





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Vieux Carré Commission

February 7, 2018





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Vieux Carré Commission

February 7, 2018



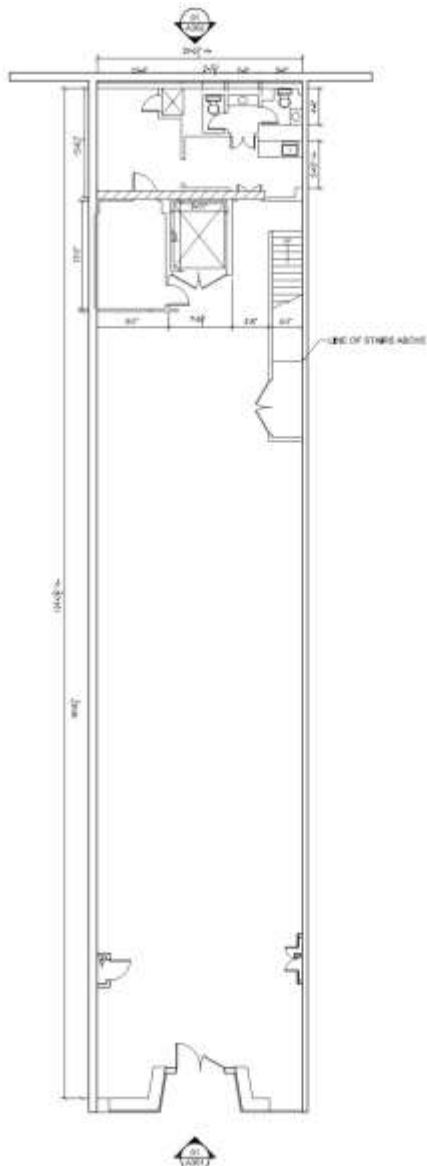


229 Royal

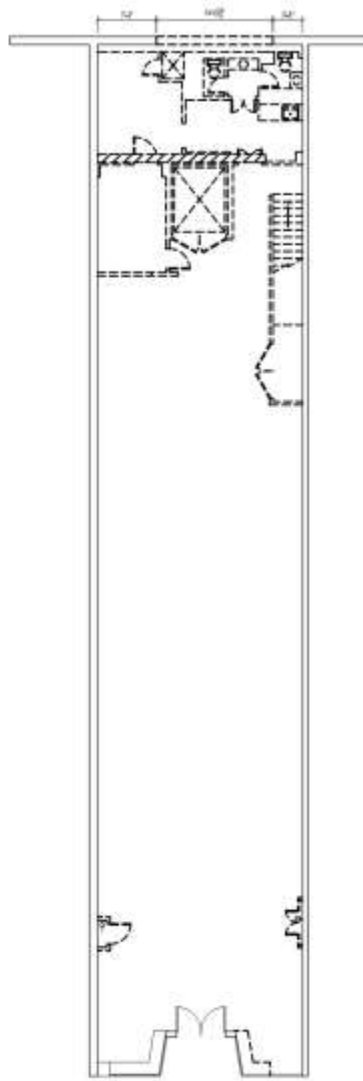
Vieux Carré Commission

February 7, 2018

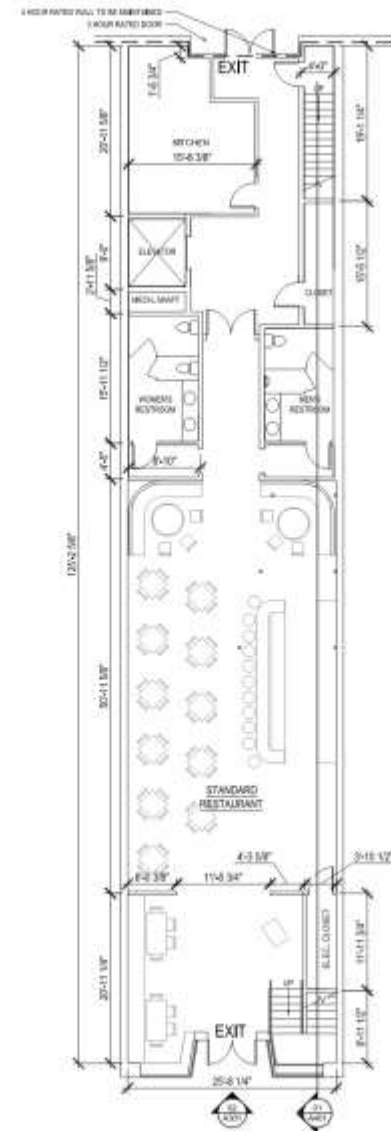




01 EXISTING FIRST FLOOR PLAN
A201 229 ROYAL ST. 1/8"=1'-0"

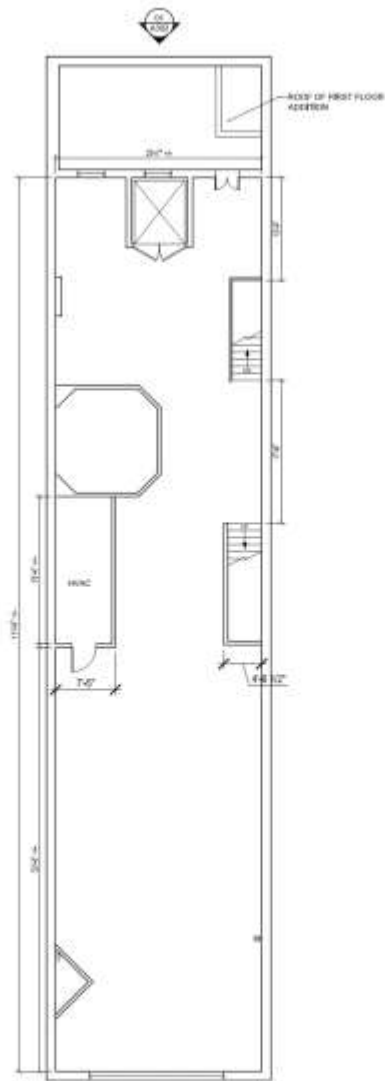


02 DEMO FIRST FLOOR PLAN
A201 229 ROYAL ST. 1/8"=1'-0"

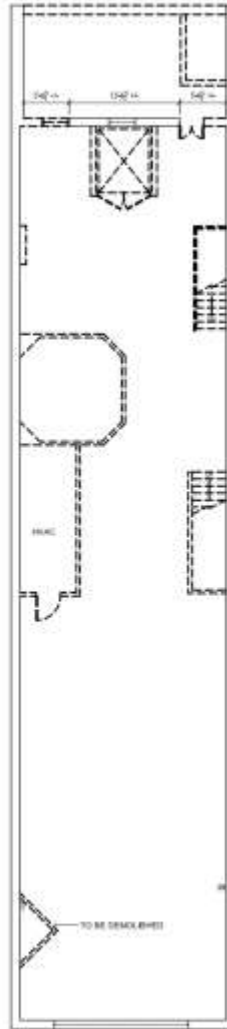


03 PROPOSED FIRST FLOOR PLAN
A201 229 ROYAL ST. 1/8"=1'-0"

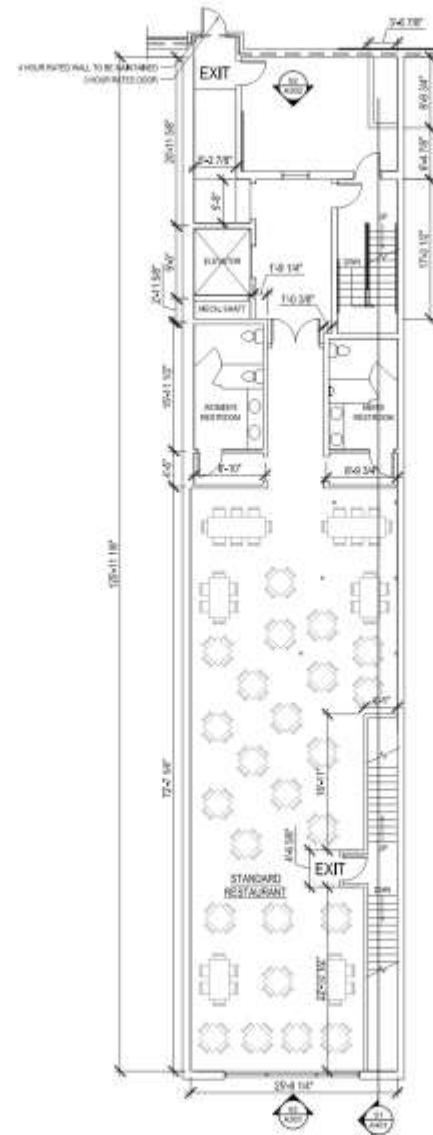




01 EXISTING SECOND FLOOR PLAN
A202 229 ROYAL ST 10'x4"

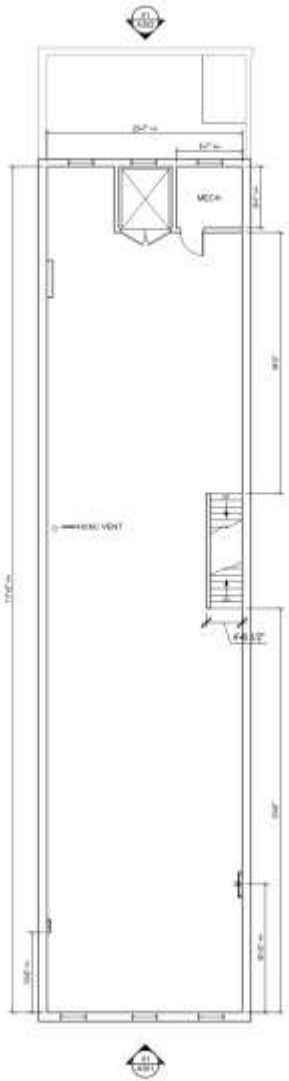


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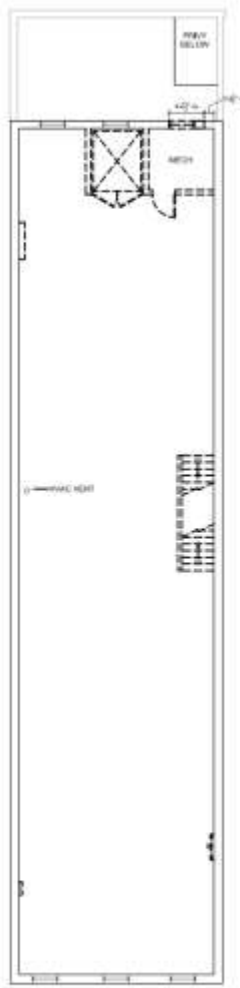


03 PROPOSED SECOND FLOOR PLAN
A202 229 ROYAL ST 10'x4"

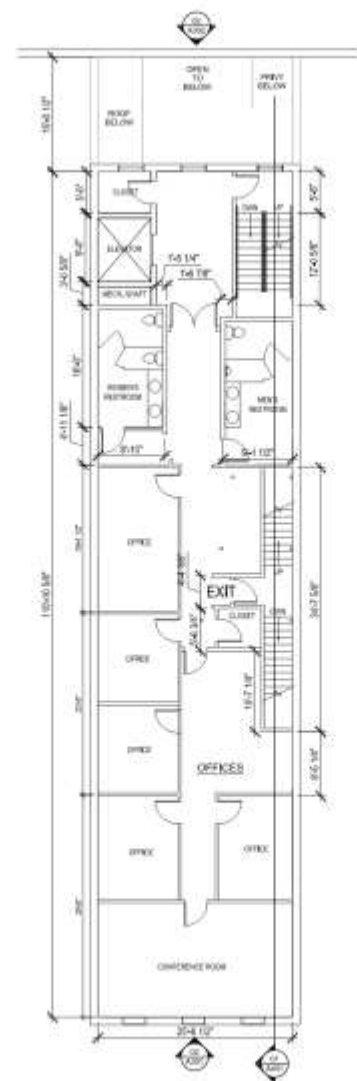




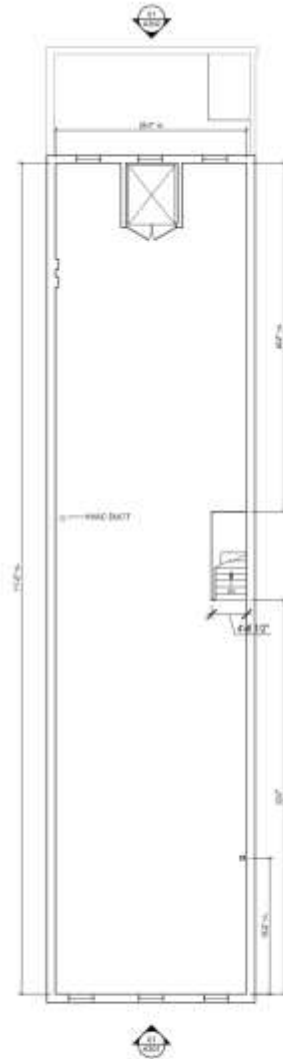
01 EXISTING THIRD FLOOR PLAN
A303 229 ROYAL ST 1/8\"/>



02 DEMO THIRD FLOOR PLAN
A203 229 ROYAL ST 1/8\"/>



03 PROPOSED THIRD FLOOR PLAN
A303 229 ROYAL ST 1/8\"/>



01 EXISTING FOURTH FLOOR PLAN
A204 229 ROYAL ST 1/8"=1'-0"



02 DEMO FOURTH FLOOR PLAN
A204 229 ROYAL ST 1/8"=1'-0"



03 PROPOSED FOURTH FLOOR PLAN
A204 229 ROYAL ST 1/8"=1'-0"

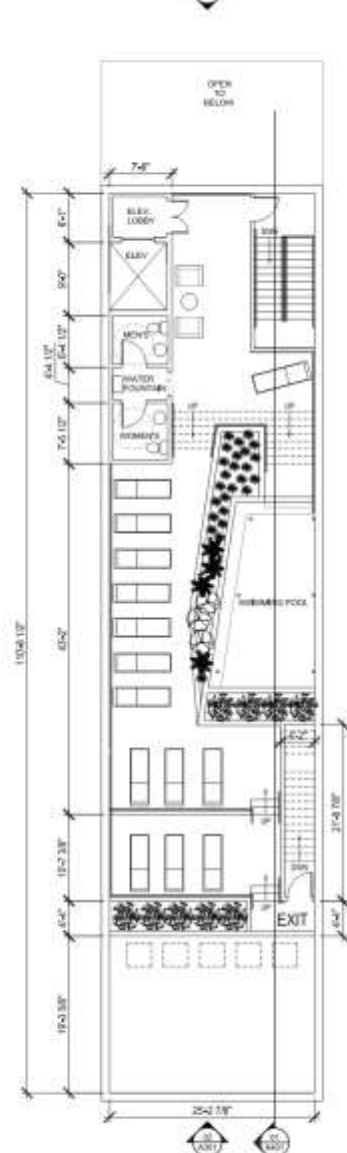




01 EXISTING ROOF PLAN
A205 230 ROYAL ST 10'x11'



02 DEMO ROOF PLAN
A205 230 ROYAL ST 10'x11'



03 PROPOSED ROOF PLAN
A205 230 ROYAL ST 10'x11'





01 EXISTING ROYAL ST ELEVATION
ASOT 228 ROYAL ST 1/4"=1'-0"



02 PROPOSED ROYAL ST ELEVATION
ASOT 228 ROYAL ST 1/4"=1'-0"

229 Royal

Vieux Carré Commission

February 7, 2018

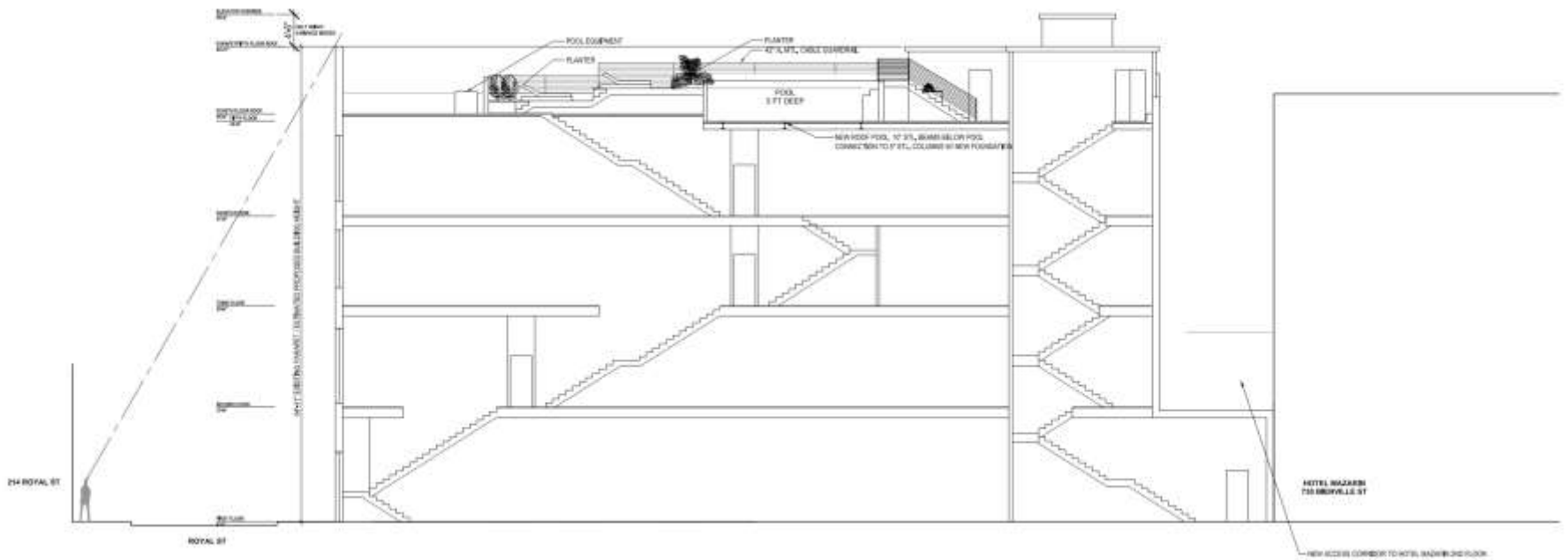




01 EXISTING BOURBON ST (SIDE) ELEVATION
A302 229 ROYAL ST 1/4" = 1'-0"



02 PROPOSED BOURBON ST (SIDE) ELEVATION
A302 229 ROYAL ST 1/4" = 1'-0"

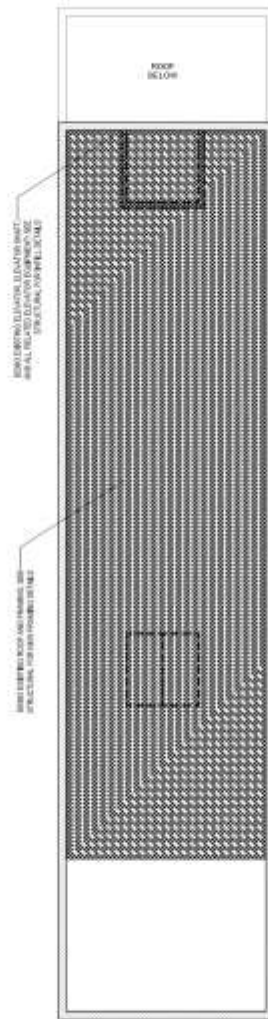


01 PROPOSED LONGITUDINAL BUILDING SECTION
 A401 229 ROYAL ST
 1/2\"/>





01 EXISTING ROOF PLAN
A205 220 ROYAL ST 1/8" = 1'-0"

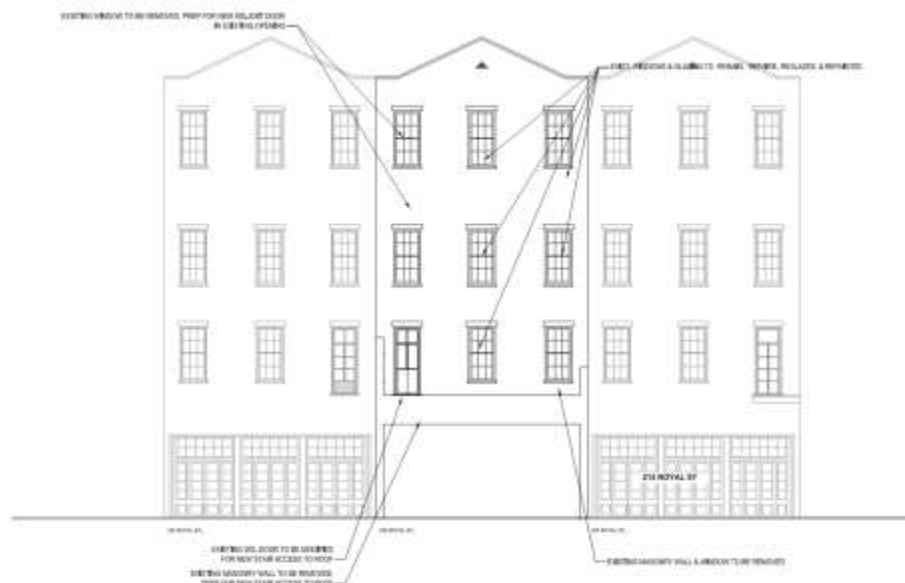


02 DEM'D ROOF PLAN
A205 220 ROYAL ST 1/8" = 1'-0"

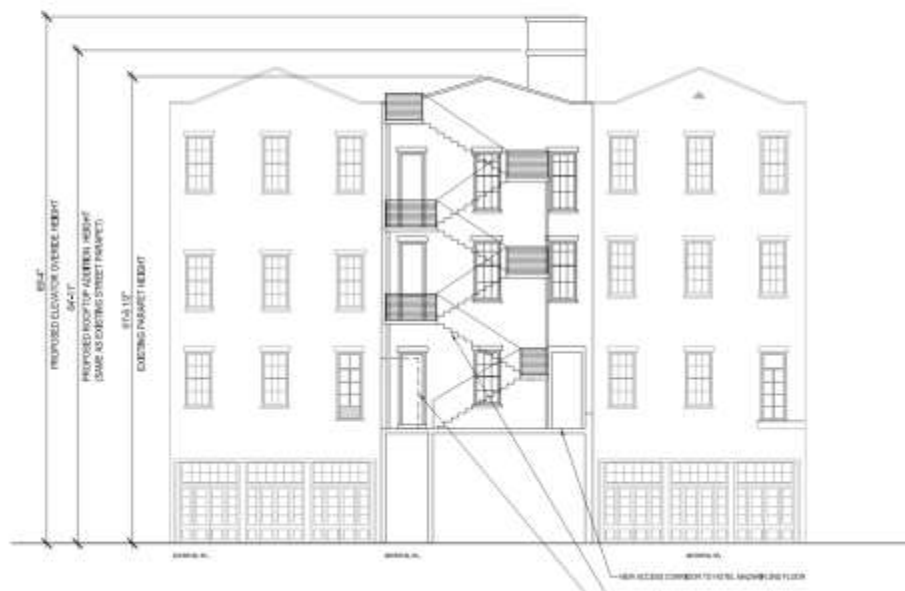


03 PROPOSED ROOF PLAN
A205 220 ROYAL ST 1/8" = 1'-0"





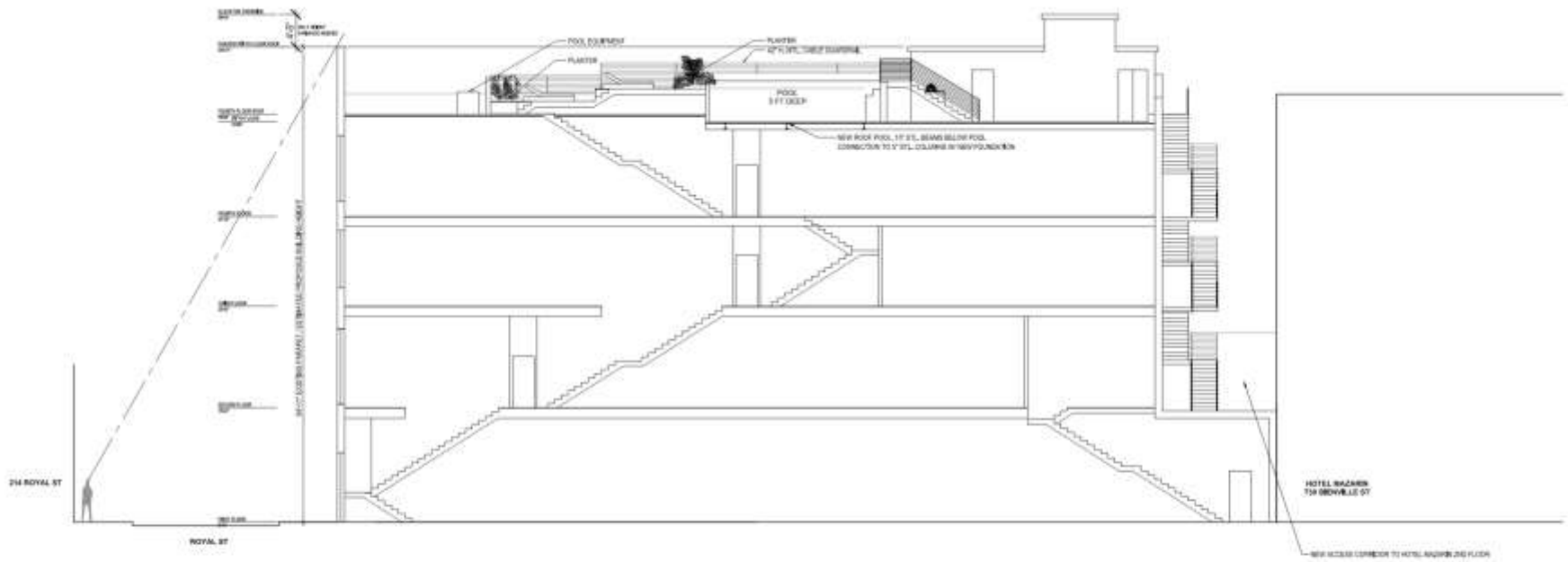
01 EXISTING BOURBON ST (SIDE) ELEVATION
 LA302 229 ROYAL ST 1/4" = 1'-0"



02 PROPOSED BOURBON ST (SIDE) ELEVATION
 LA302 229 ROYAL ST 1/4" = 1'-0"

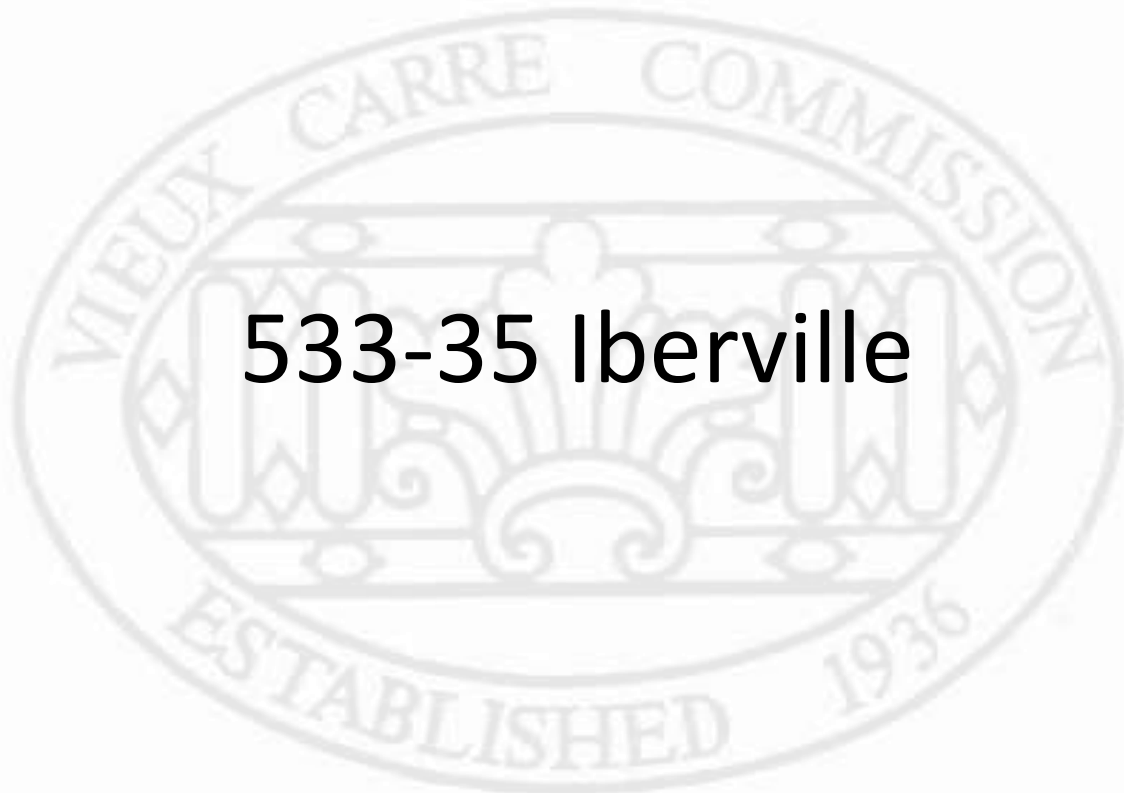
229 Royal – Previous Submittal



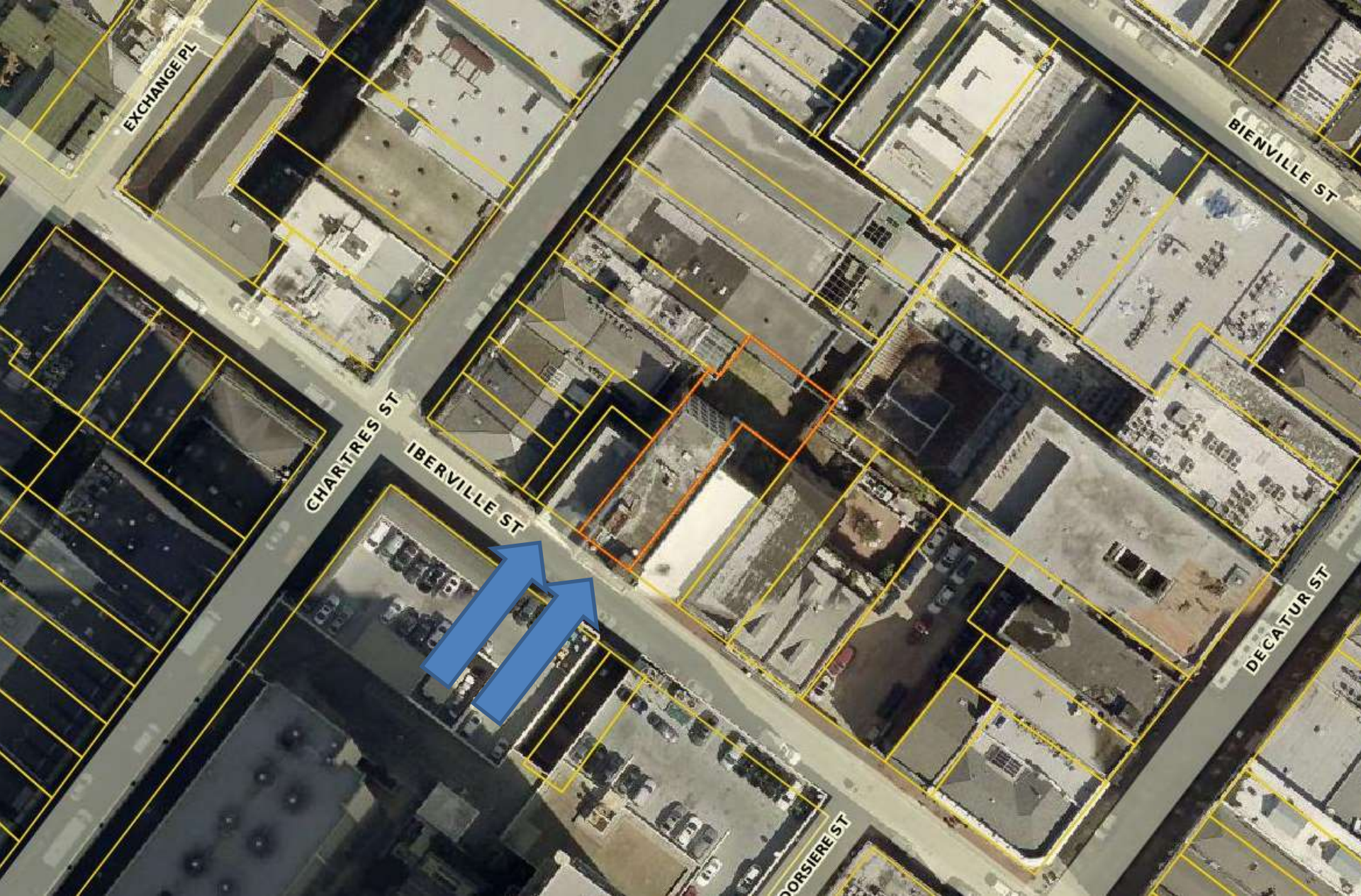


01 PROPOSED LONGITUDINAL BUILDING SECTION
A421 214 ROYAL ST 1/8" = 1'-0"





533-35 Iberville

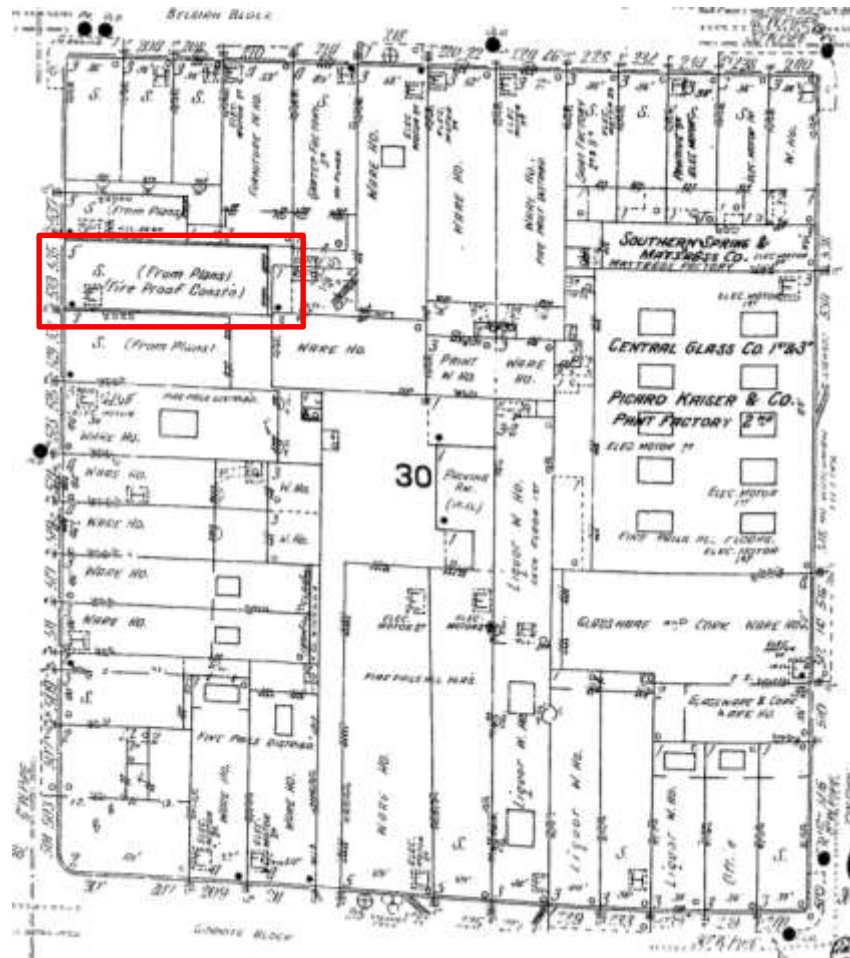


533 Iberville

Vieux Carre Commission

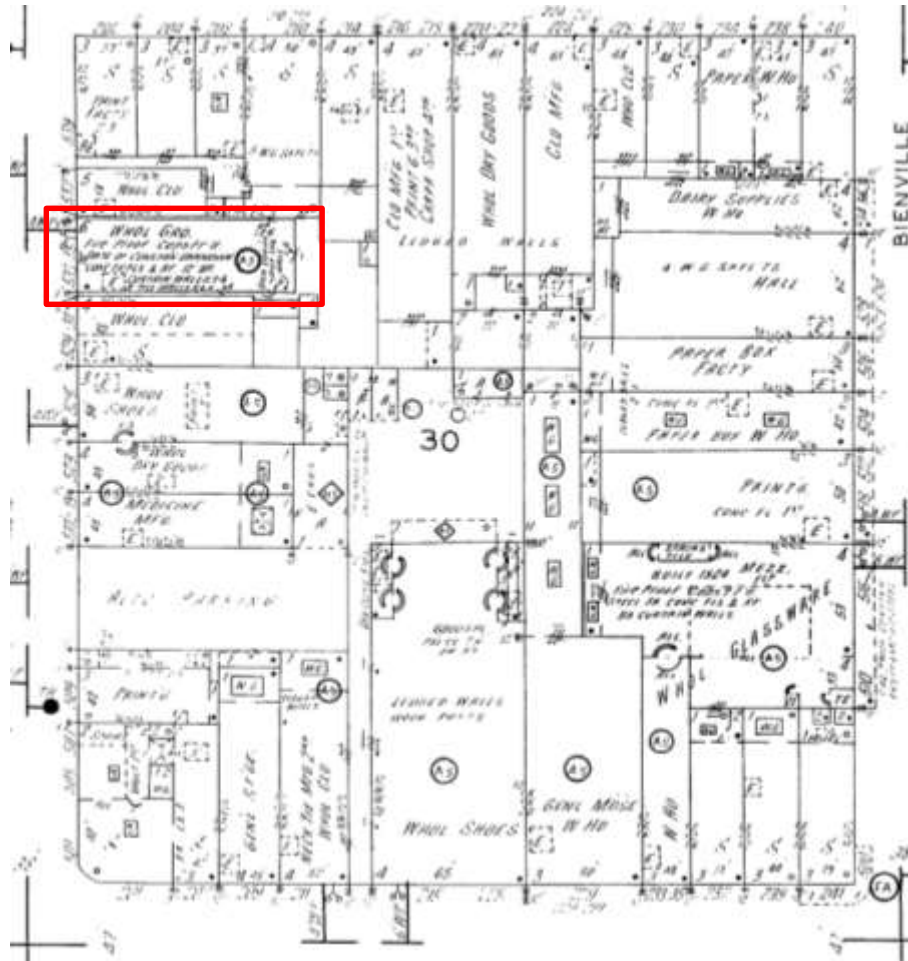
February 7, 2018





533 Iberville, 1908





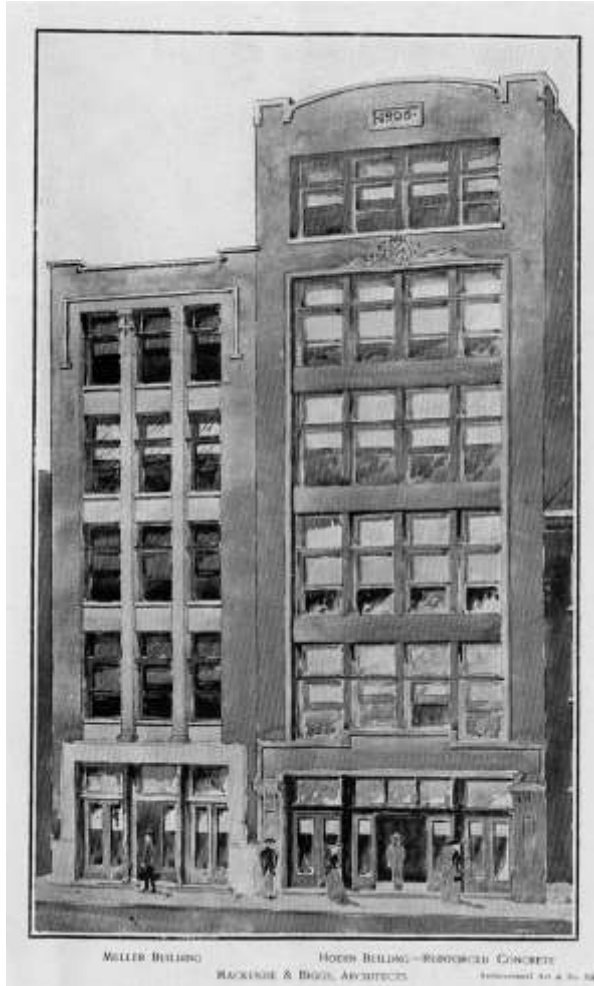
533 Iberville





533 Iberville, 1964 & 2011





533 Iberville





533 Iberville





533 Iberville





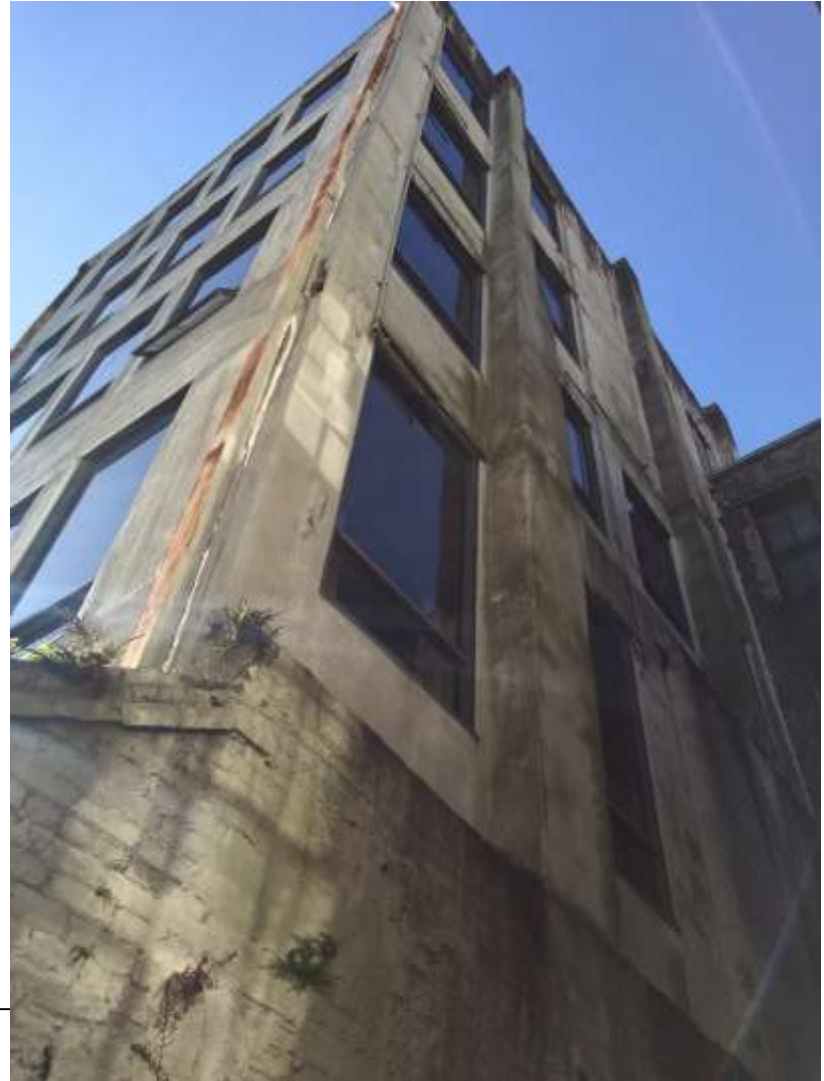


















533 Iberville

Vieux Carre Commission



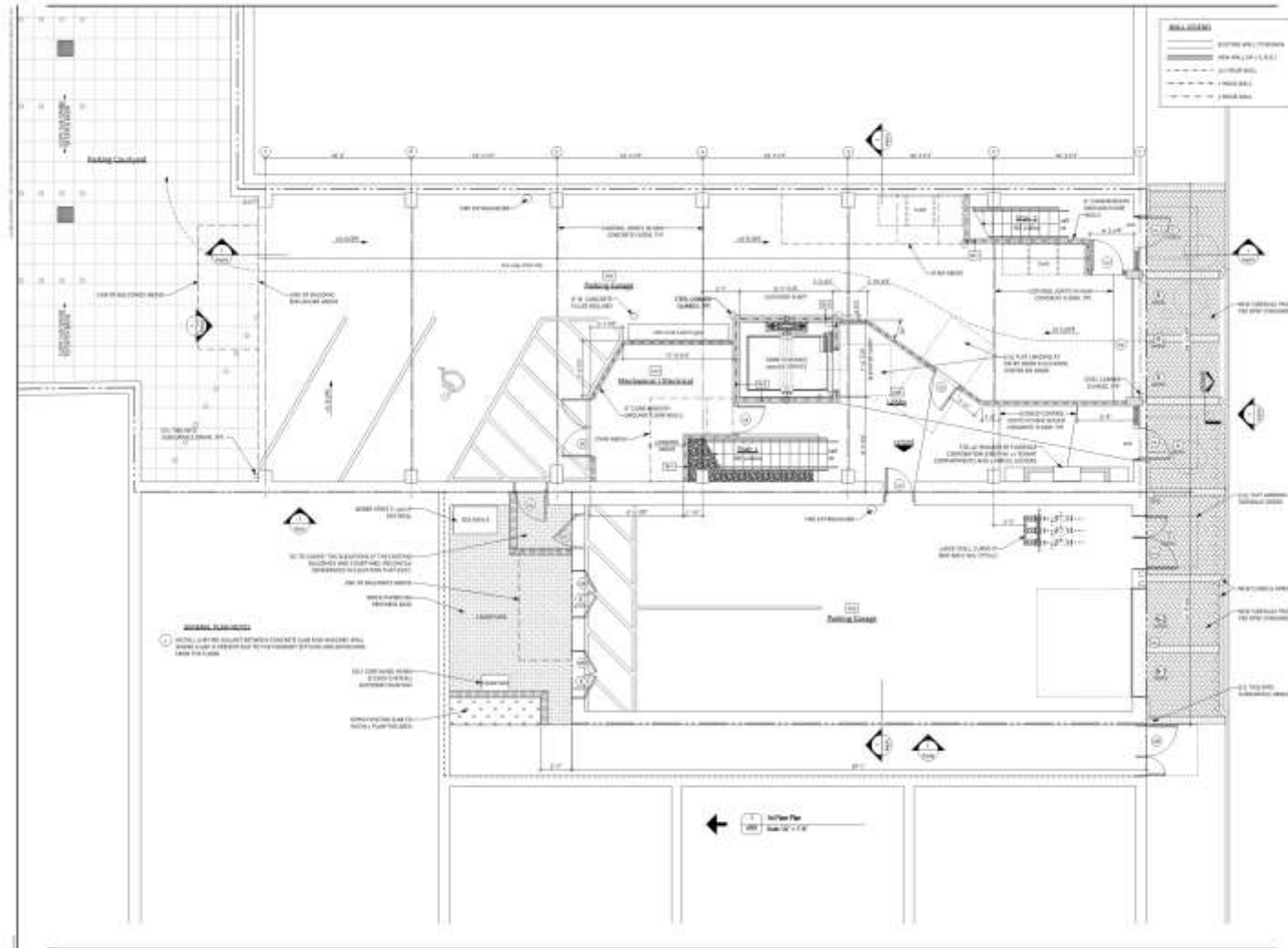
July 7, 2018











ARCHITECTS

330-537-1111
330-537-1112
330-537-1113

Iberville Apartments
535 Iberville LLC
330-537 Iberville Street, New Orleans, LA

ISSUE

NO.	DATE	DESCRIPTION
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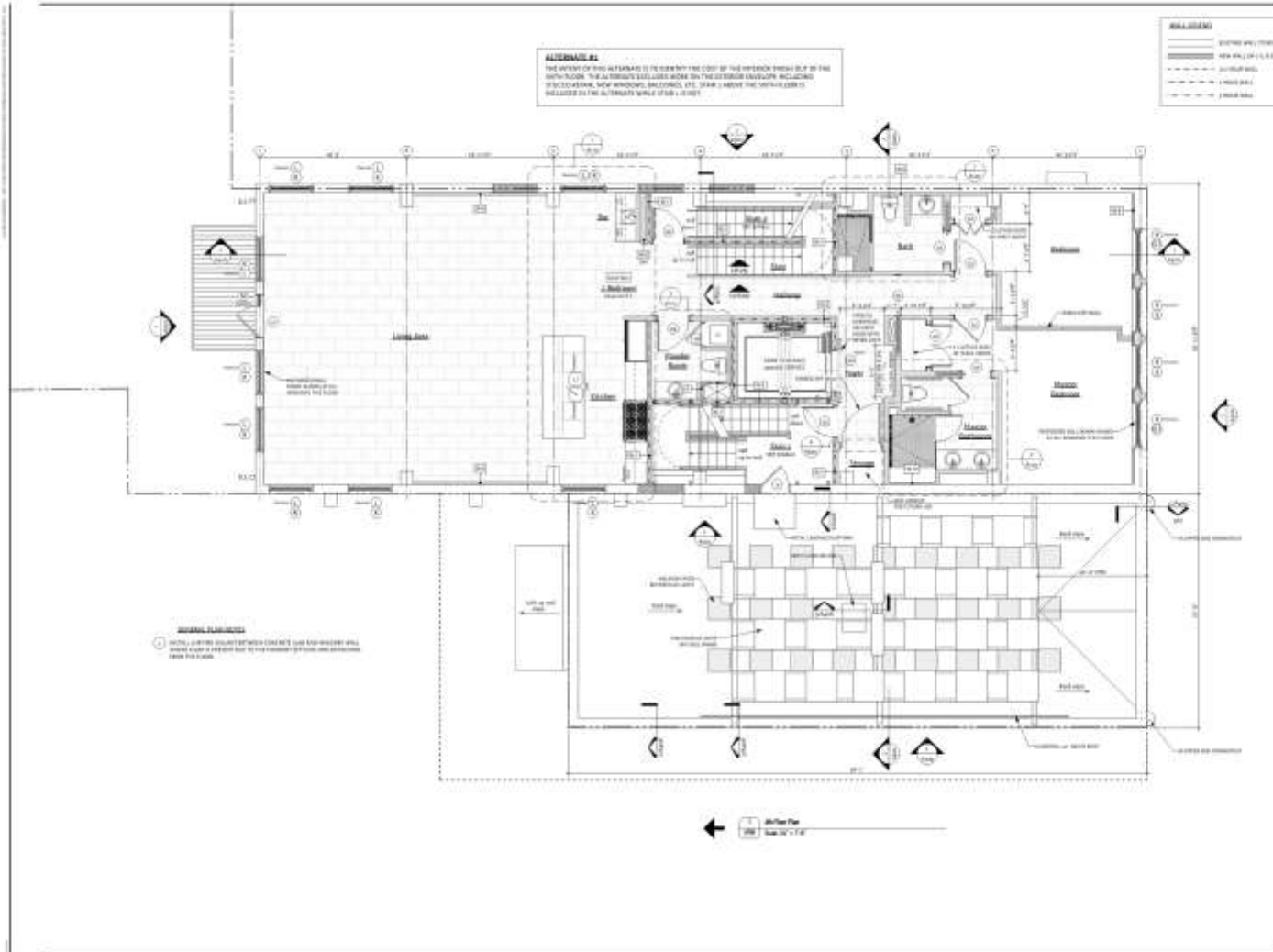
Project Release

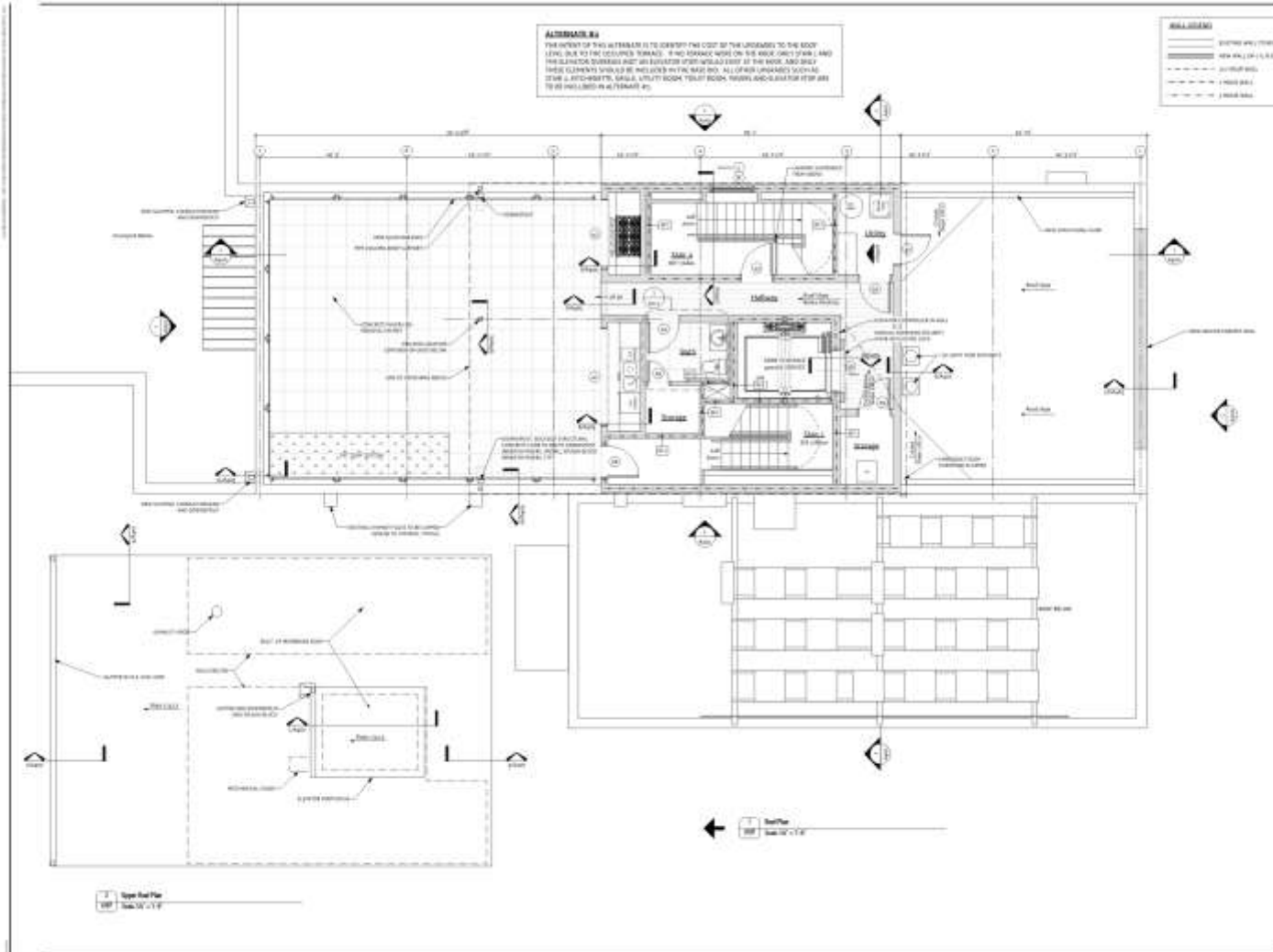


Project No. 1111 Date: 02/07/18

3rd Floor plan
A101







3000 Magazine Street, Suite 200
 New Orleans, Louisiana 70112
 Phone: (504) 581-1111
 Fax: (504) 581-1112

Iberville Apartments
 535 Iberville LLC
 330-537 Iberville Street, New Orleans, LA

REVISIONS

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1	02/07/18	ISSUED FOR PERMIT
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50	02/07/18	ISSUED FOR PERMIT

Project: Release:

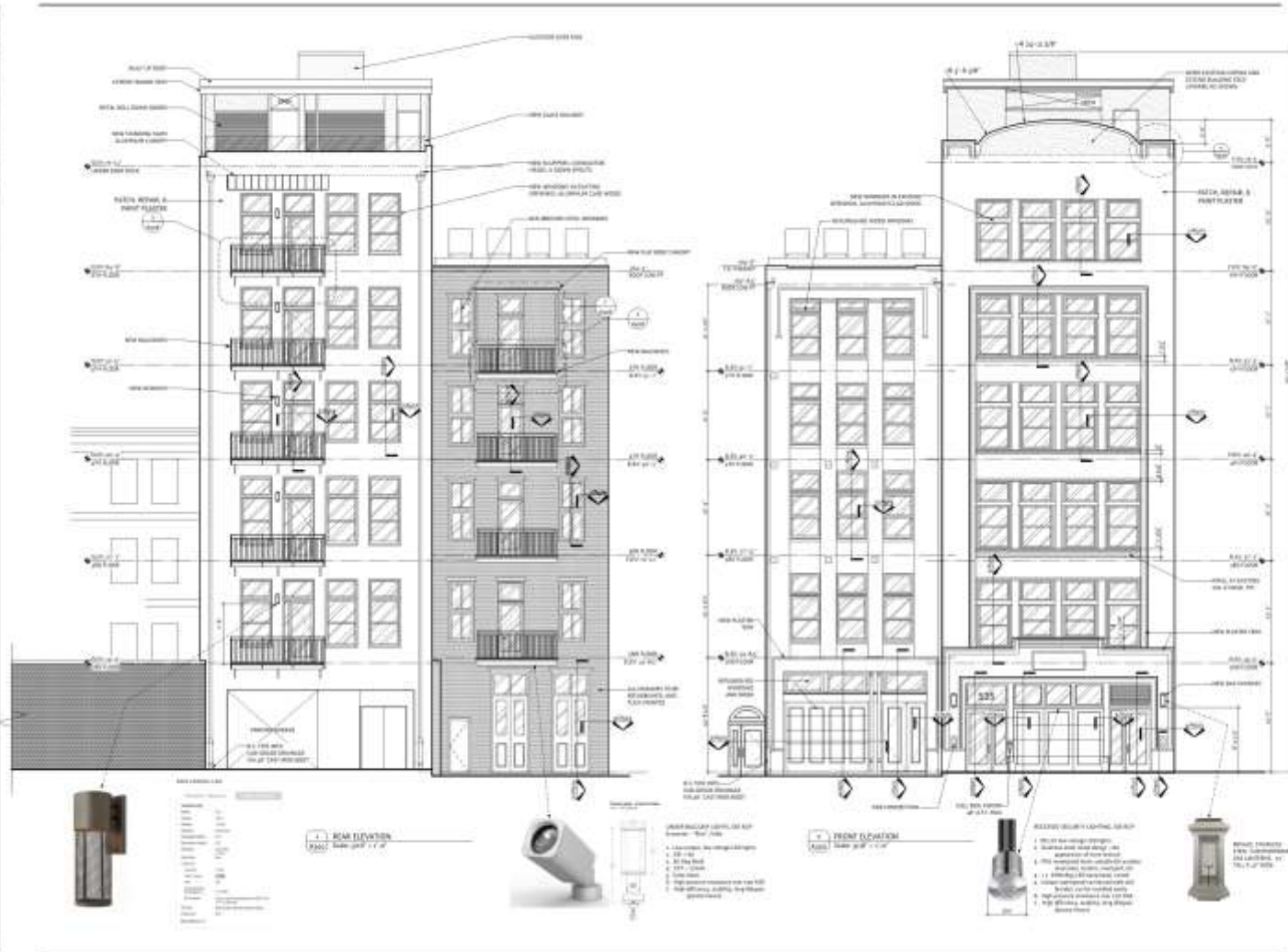


Project No. 1114 Sheet No. 1114

roof plan

A107





ARCHITECTS

Iberville Apartments
 535 Iberville LLC
 535-537 Iberville Street, New Orleans, LA

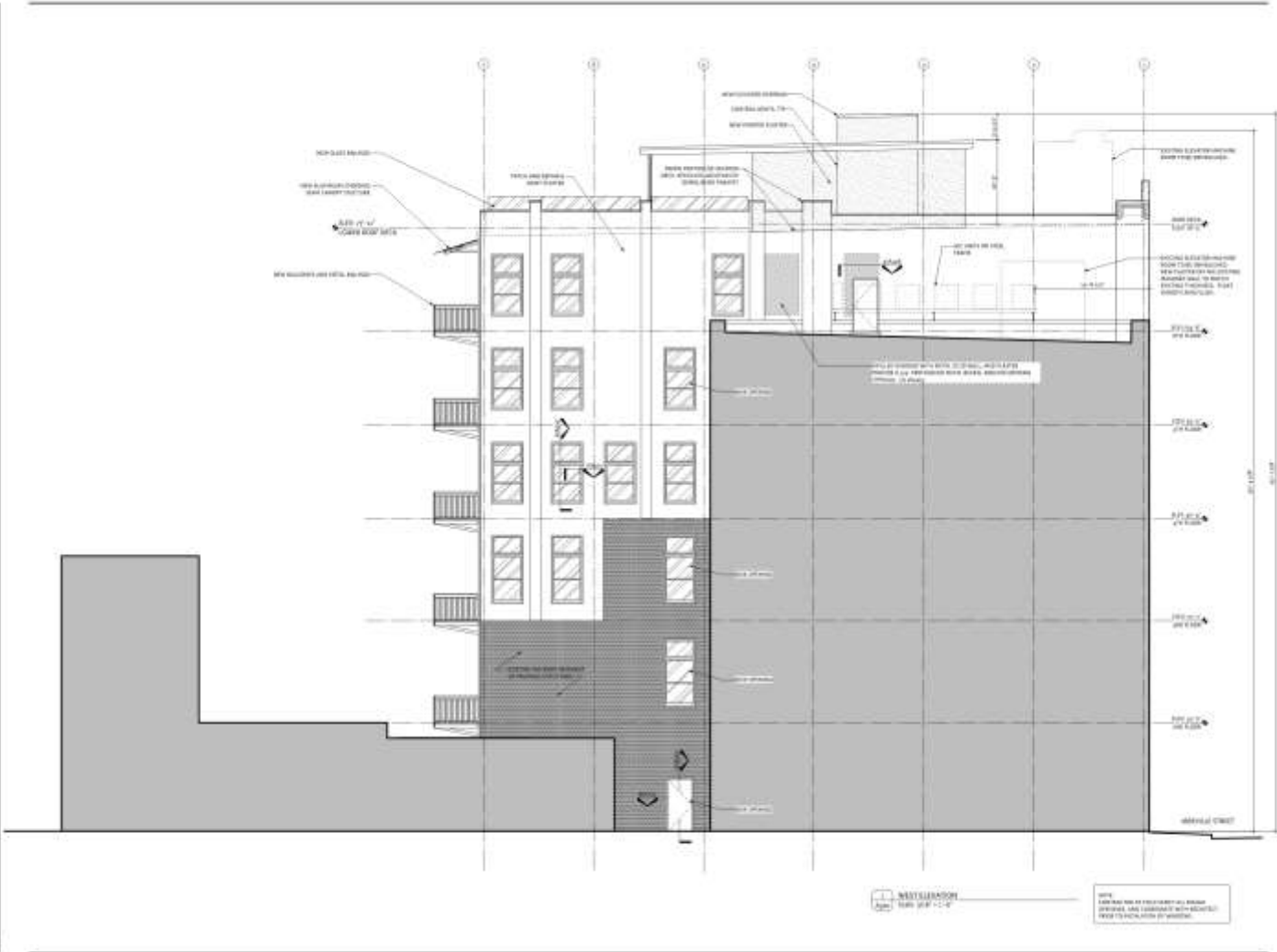
PROJECT

NO.	DATE	DESCRIPTION
1	10/15/17	CONCEPT DESIGN
2	11/15/17	SCHEMATIC DESIGN
3	12/15/17	PRELIMINARY DESIGN
4	01/15/18	FINAL DESIGN
5	02/15/18	CONSTRUCTION DOCUMENTS
6	03/15/18	PERMITS
7	04/15/18	CONSTRUCTION ADMINISTRATION
8	05/15/18	PROJECT CLOSEOUT



PROJECT NO. 1714 Iberville LLC





ARCHITECTS

1504 BARRILLE AVENUE
 NEW ORLEANS, LOUISIANA 70114
 PHONE: 504.581.4838

Iberville Apartments
 535 Iberville LLC
 515-537 Iberville Street, New Orleans, LA

ISSUED

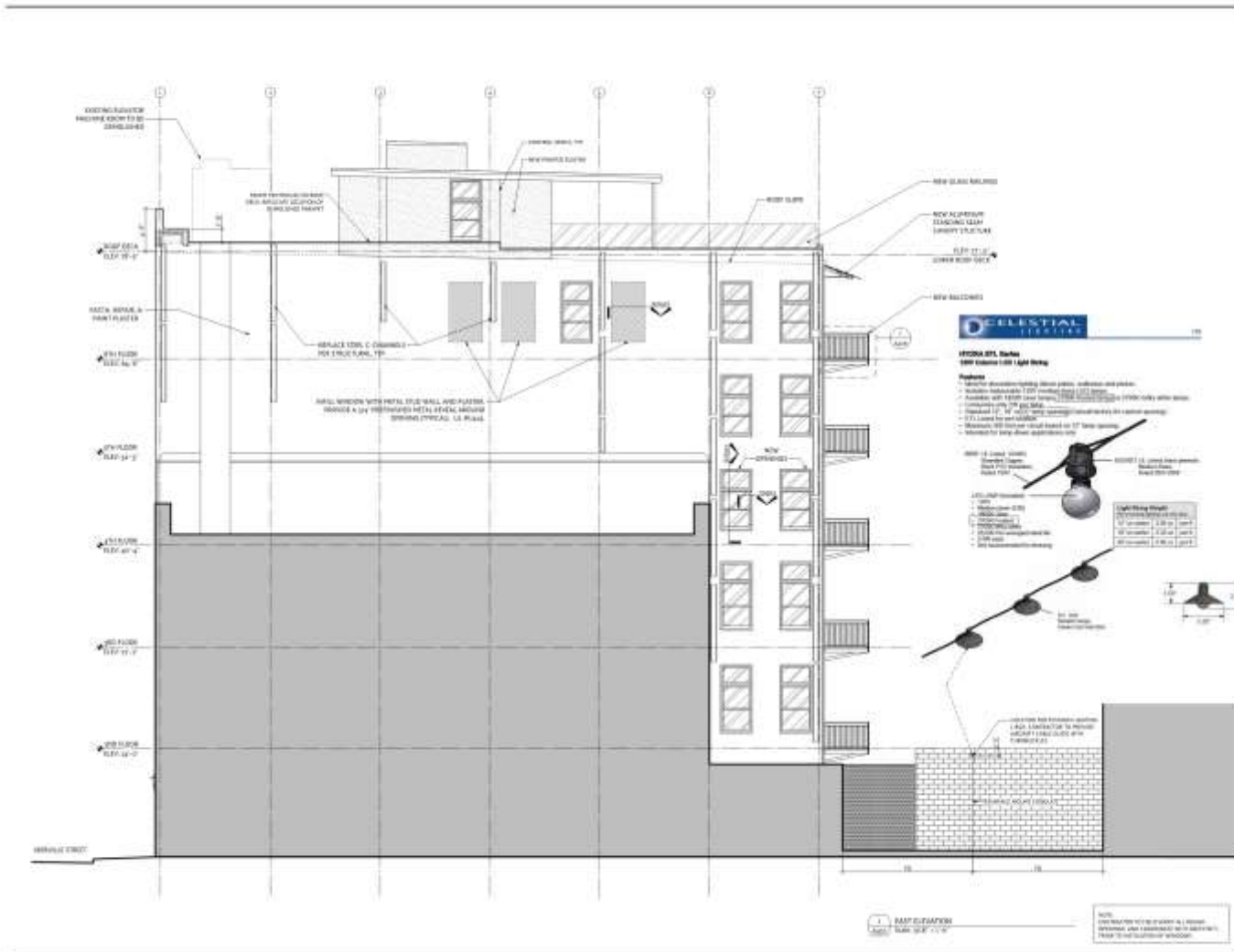
Date	By	For

Progress: Schematic
 DD
 CD
 PD
 AD
 BD
 SD

Project No. 1114
 Sheet No. 1 of 1

A301





1019 Poydras Street
New Orleans, Louisiana, 70112
Phone: 504.581.1212
www.nzcs.com

Iberville Apartments
555 Iberville LLC
535-537 Iberville Street, New Orleans, LA

NO.	DATE	BY	DESCRIPTION

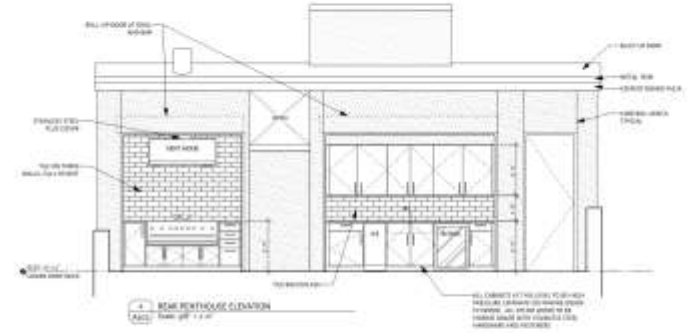
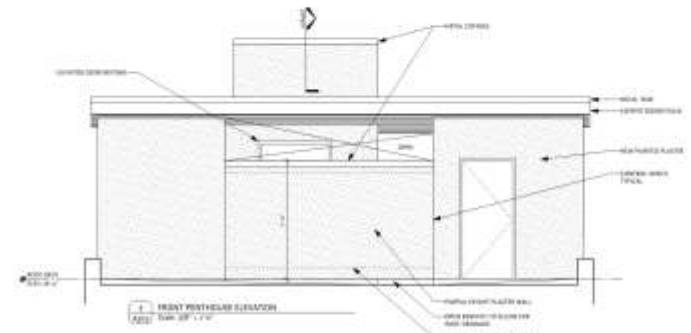
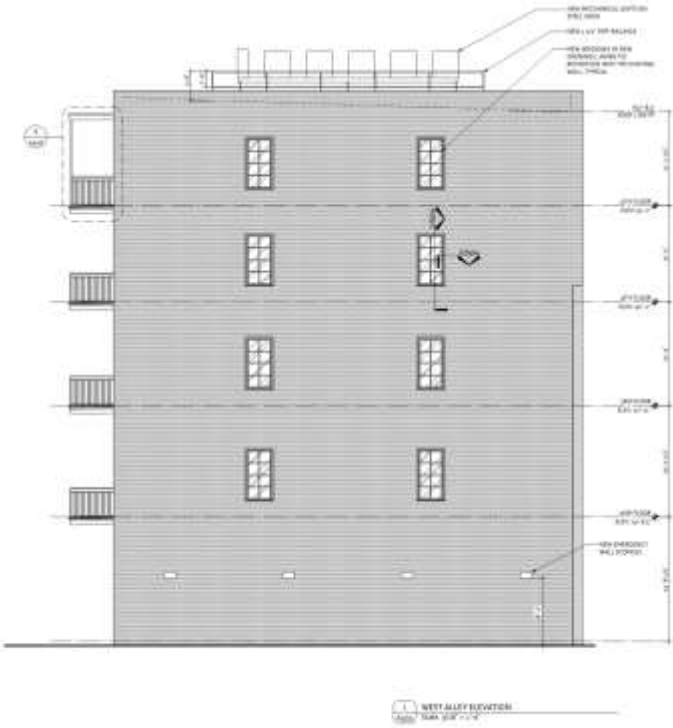
Project: _____
Release: _____



Project No. 1718 Drawing No. 1718-02

A302





NCS ARCHITECTS
4000 Magazine Street
New Orleans, Louisiana 70112
www.ncsarchitects.com

Iberville Apartments
535 Iberville LLC
535-537 Iberville Street, New Orleans, LA

ISSUED

Date	By	Description

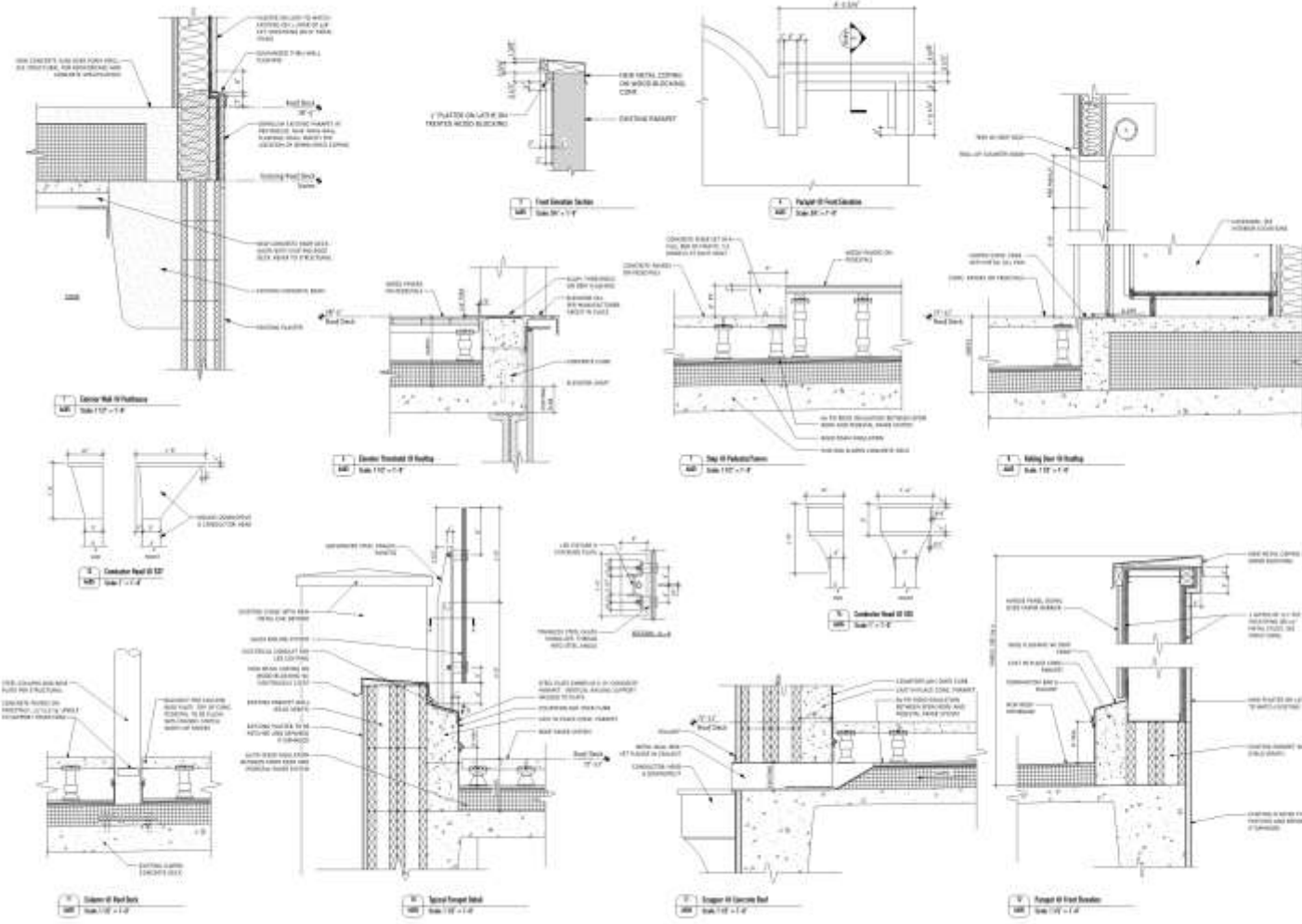
Progress
Release



Project No. 1113 Sheet No. 01

A303





Architects

1001 Magazine St. Suite 100
Baton Rouge, Louisiana 70801
Phone: (504) 387-7150

Iberville Apartments
5305 Iberville LLC
535-537 Iberville Street, New Orleans, LA

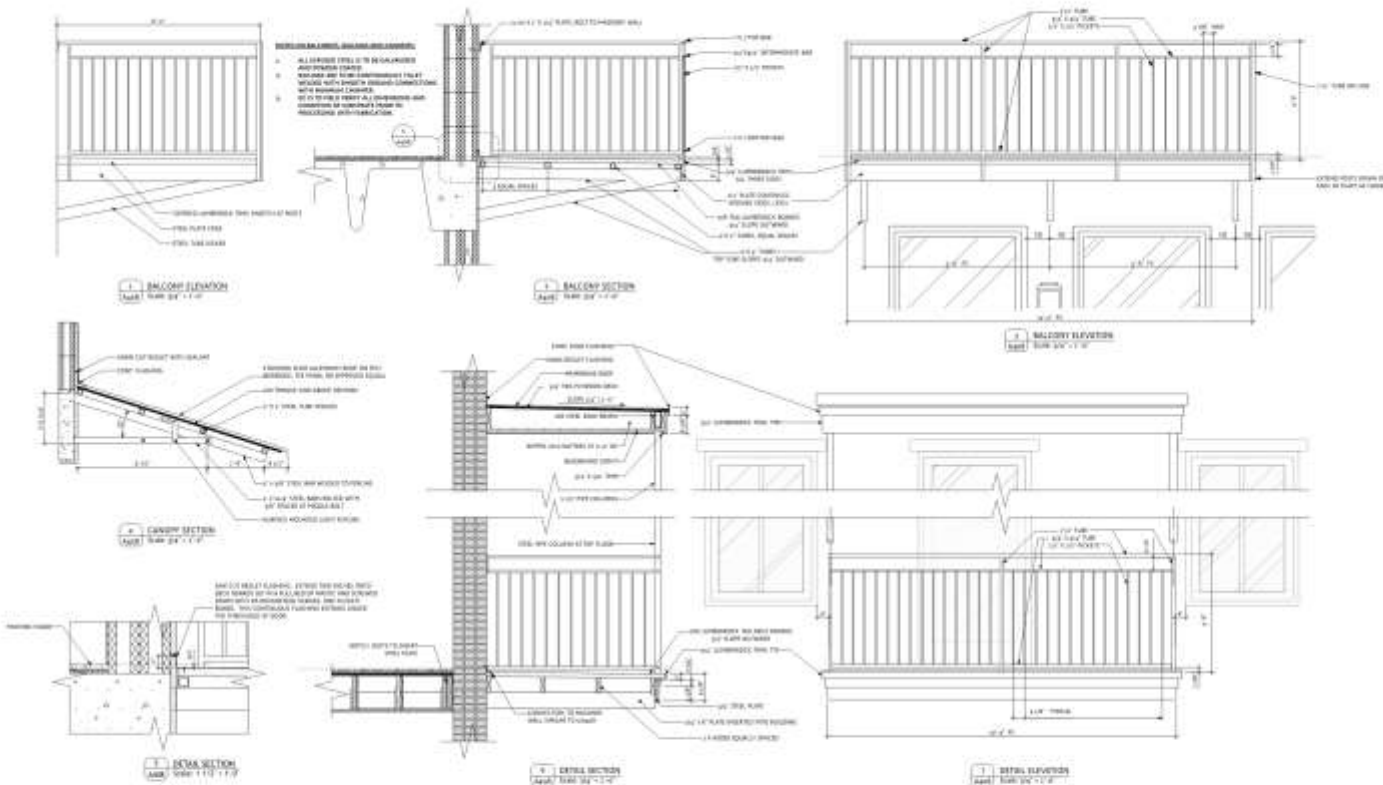
NO.:	DATE:	BY:	CHKD.:

Project:
 Release:

 Project No. 1113 Drawing No.

 A405





NOTE: BALCONY RAILINGS AND DETAILS

- A. ALL RAILING SYSTEMS TO BE CALIBRATED AND SPACED TO MATCH
- B. RAILINGS AND BALUSTRADES SHALL BE METAL NOT FINISH TO BE MATCHED TO THE BALCONY RAILING
- C. IT IS THE ARCHITECT'S RESPONSIBILITY TO PROVIDE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF MATERIALS TO BE USED IN THE RAILING SYSTEM.



NCS ARCHITECTS
 100 Magazine St Suite 200
 New Orleans, LA 70112
 Phone: 504.581.1111

Iberville Apartments
 535 Iberville LLC
 535-537 Iberville Street, New Orleans, LA

ISSUES

No.	Date	Description

Project: Release:



Project No. 1118 Drawing No. 11

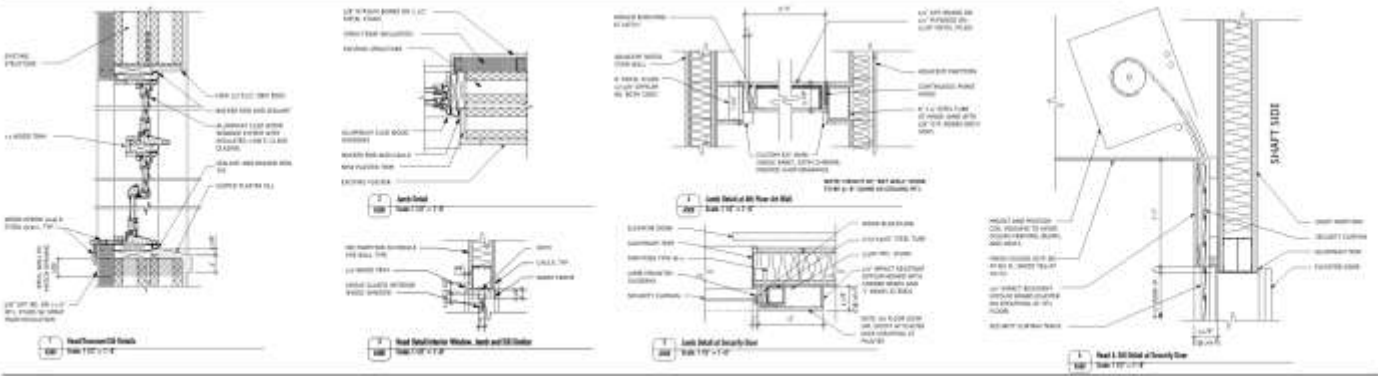
Balustrade Details
 A408



WINDOW SCHEDULE

NO.	SYMBOL	TYPE	FINISH	GLASS	OPERATION	REMARKS
1	101	101	101	101	101	101
2	102	102	102	102	102	102
3	103	103	103	103	103	103
4	104	104	104	104	104	104
5	105	105	105	105	105	105
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97	197	197	197	197	197	197
98	198	198	198	198	198	198
99	199	199	199	199	199	199
100	200	200	200	200	200	200

Notes:
 1. All window units shall be installed in accordance with manufacturer's instructions.
 2. All window units shall be installed in accordance with applicable building codes.
 3. All window units shall be installed in accordance with applicable fire codes.



1000 Highway 10 Suite 100
 Metairie, Louisiana 70002
 Phone: 504-885-1111

Iberville Apartments
 535 Iberville LLC
 535-537 Iberville Street, New Orleans, LA

Project: Release:

Project No. 1718 Date: 02/07/18

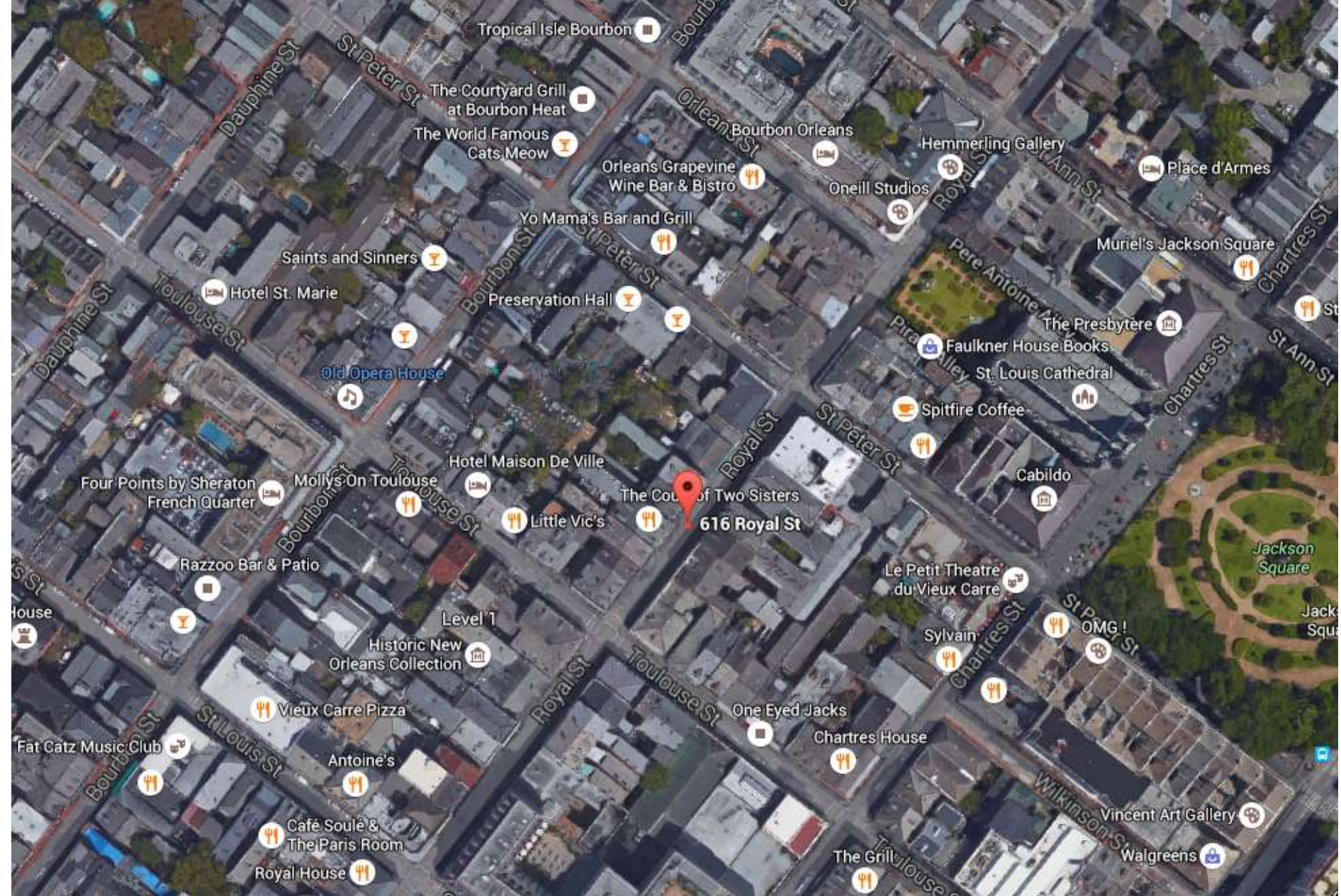
WINDOW SCHEDULE

A500





616 Royal

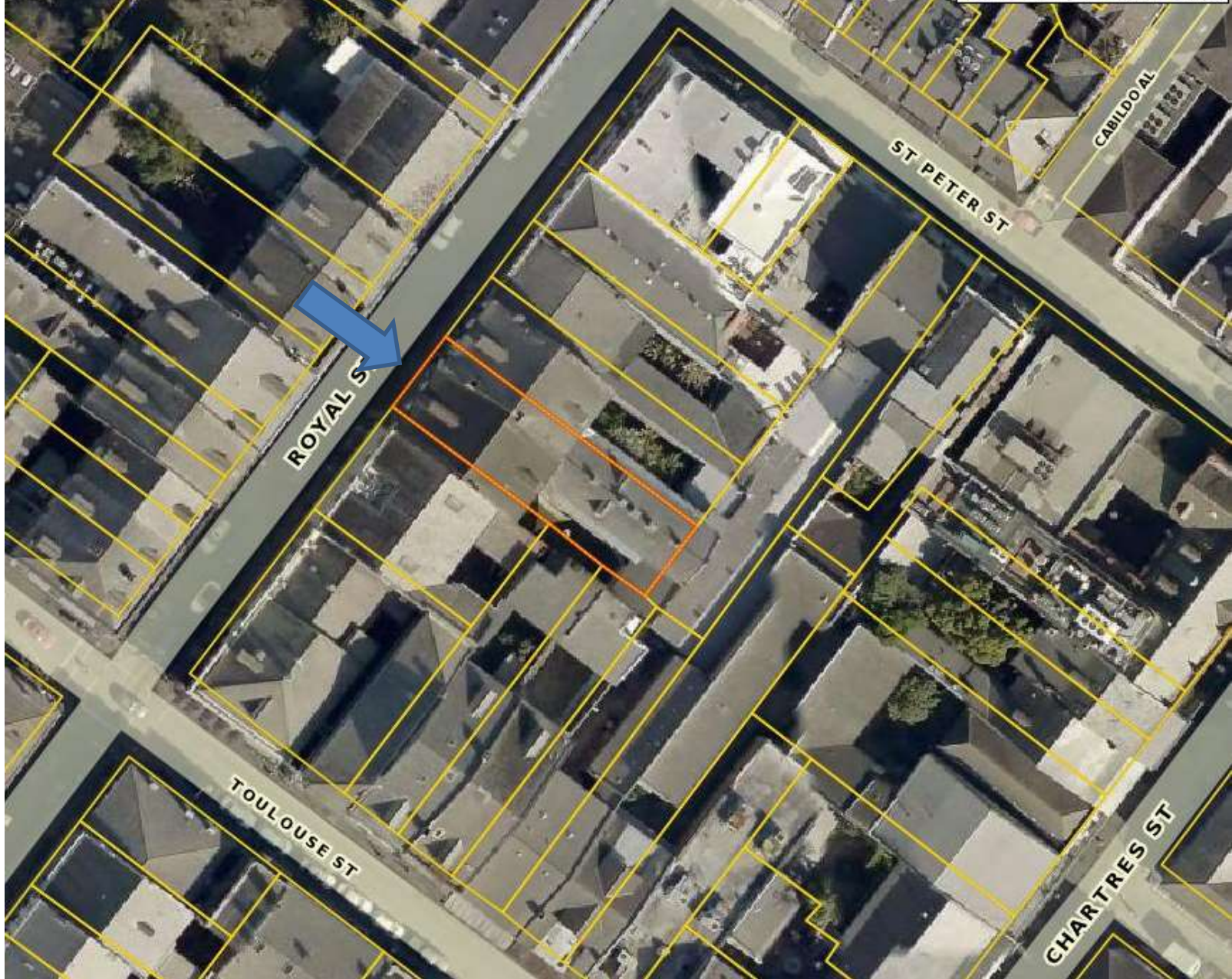


616-618 Royal

Vieux Carré Commission

February 7, 2018





616-618 Royal

Vieux Carré Commission

February 7, 2018







616-618 Royal

Vieux Carré Commission

February 7, 2018



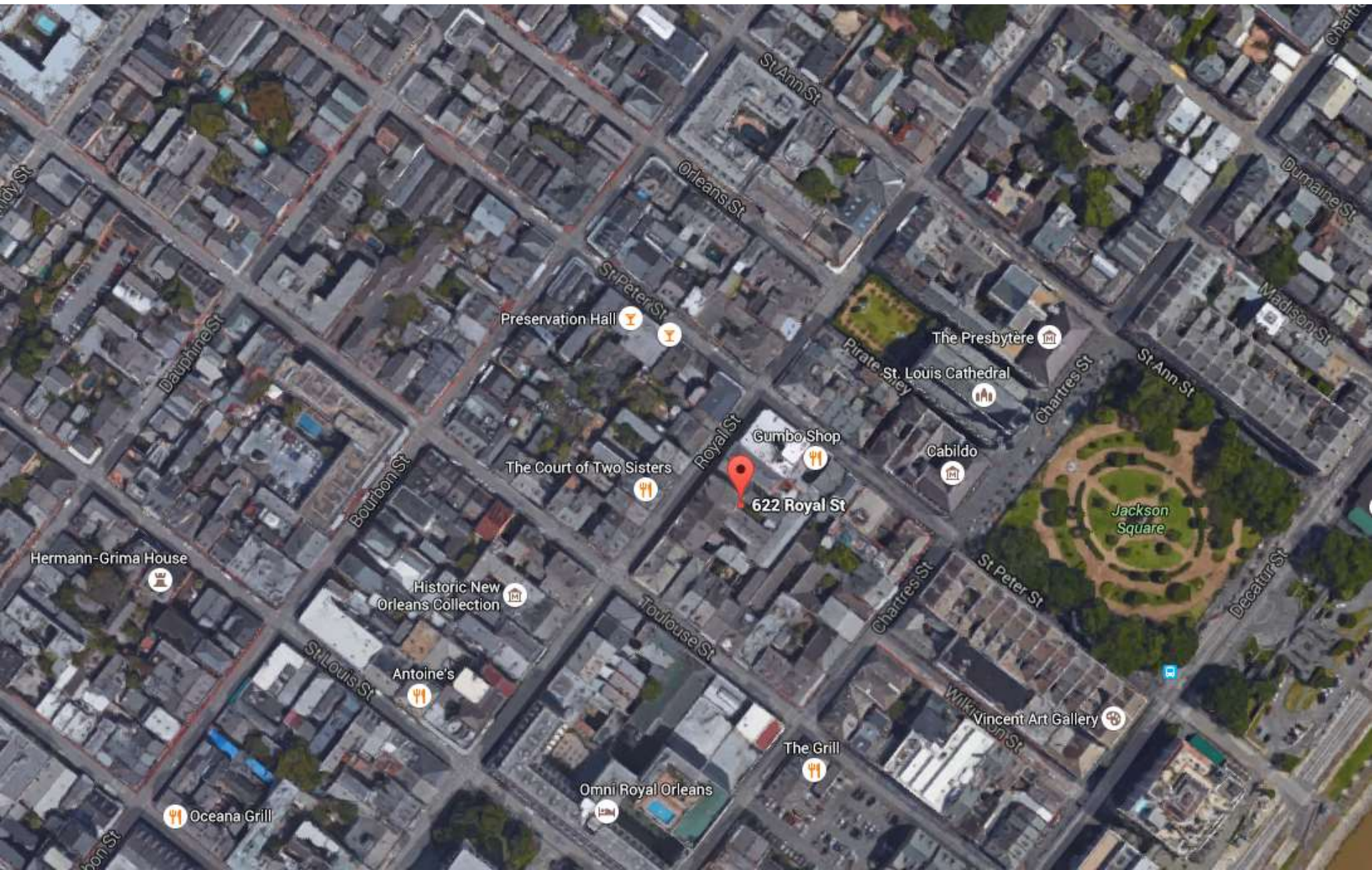


616-618 Royal

Vieux Carré Commission

February 7, 2018



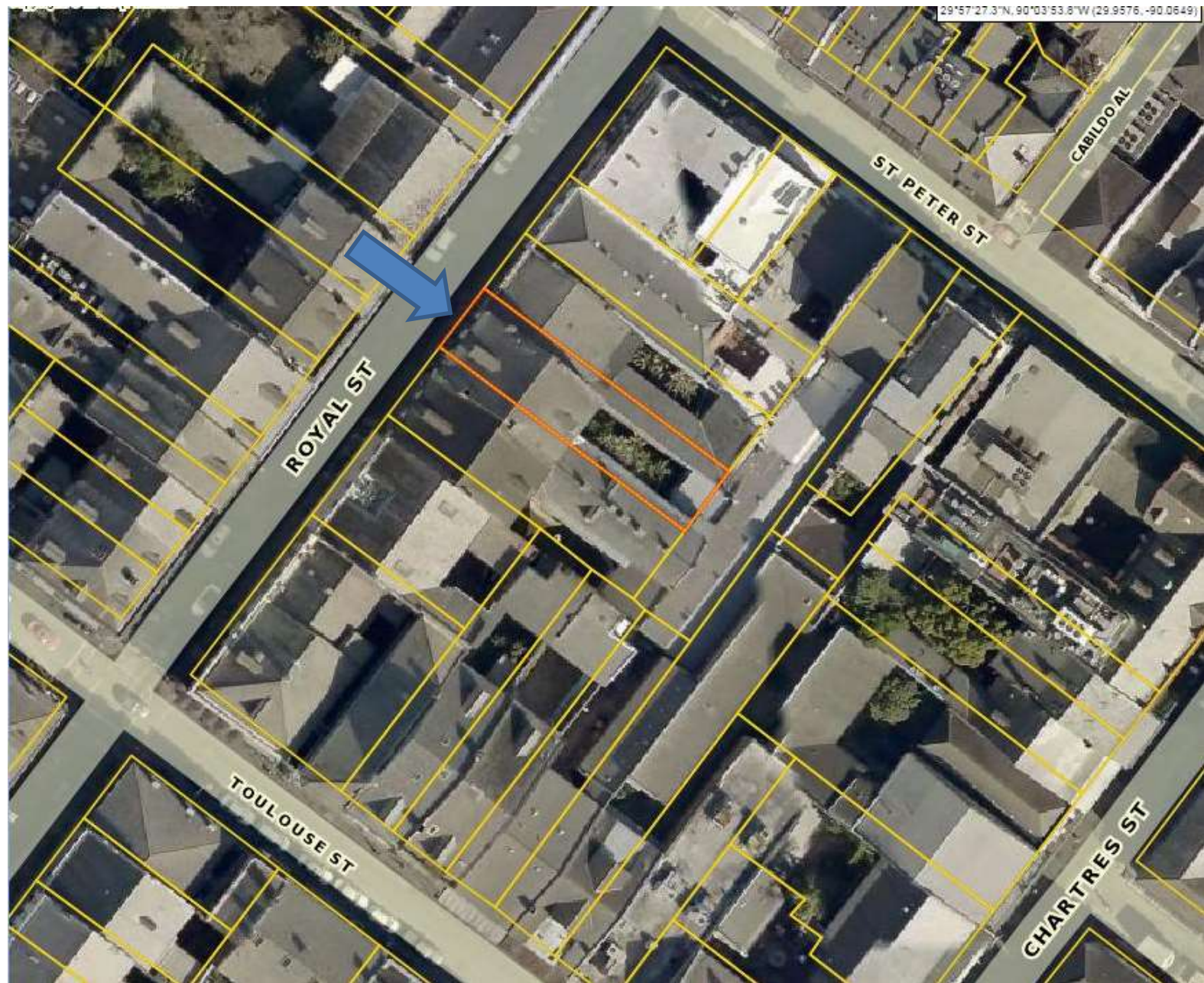


622-624 Royal

Vieux Carré Commission

February 7, 2018





622-624 Royal

Vieux Carré Commission

February 7, 2018







622-624 Royal

Vieux Carré Commission

February 7, 2018





622-624 Royal

Vieux Carré Commission

February 7, 2018



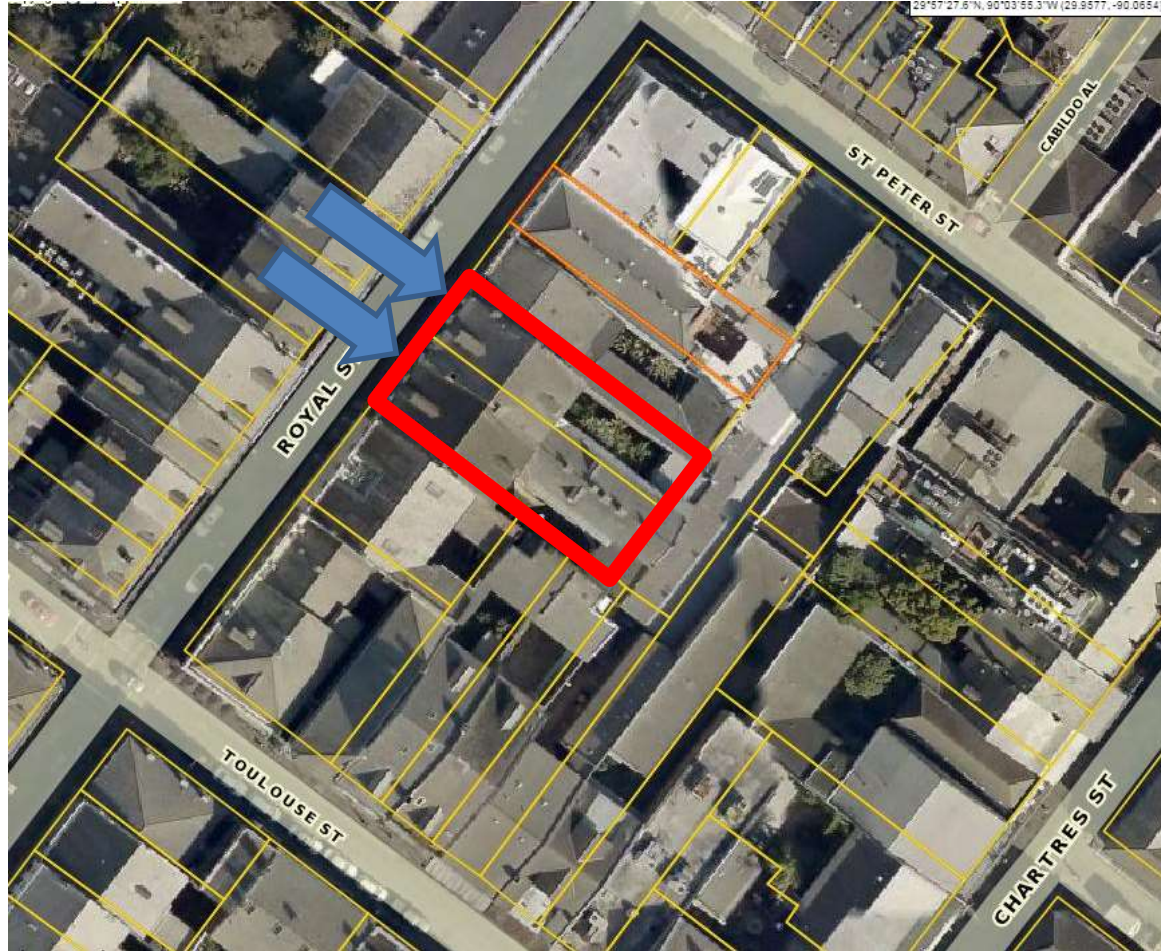


622-624 Royal, existing courtyard

Vieux Carré Commission

February 7, 2018





M S Rau proposed re-subdivision

Vieux Carré Commission

February 7, 2018





Addition
proposed for
demolition

Vieux Carré Commission

February 7, 2018





Addition
proposed for
demolition



Addition
proposed for
demolition

Vieux Carré Commission

February 7, 2018



CONSTRUCTION LEGEND

1. FORMER GRANITE CURB AND CONCRETE GUTTER TO BE DEMOLISHED
2. REPAIR EXISTING SLAB TO SLAB AND REPAIR EXISTING CURB/PAVEMENT DURING CONSTRUCTION MATCH-SECTION
3. 1" WIDE TRIMMER FOR CURB/FALL FINISH AND DEMONSTRATE CONNECTION PER DETAIL 1, THIS SHEET
4. REMOVE AND REINSTALL FINISH IN EXISTING AND REPLACE AFTER DEMOLITION PER DETAIL 1, THIS SHEET

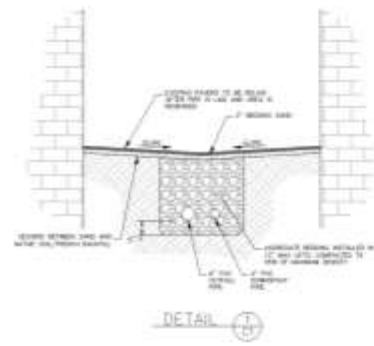
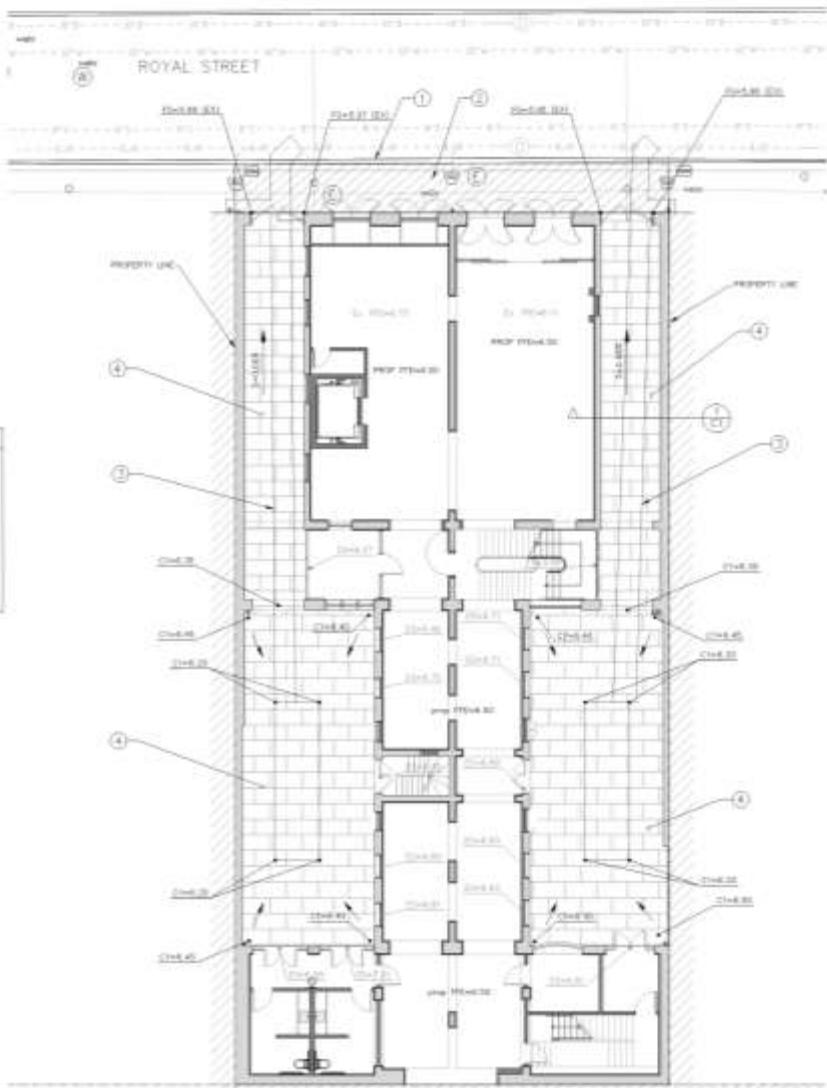
LEGEND

1	1" WIDE TRIMMER	1	1" WIDE TRIMMER
2	2" WIDE TRIMMER	2	2" WIDE TRIMMER
3	3" WIDE TRIMMER	3	3" WIDE TRIMMER
4	4" WIDE TRIMMER	4	4" WIDE TRIMMER
5	5" WIDE TRIMMER	5	5" WIDE TRIMMER
6	6" WIDE TRIMMER	6	6" WIDE TRIMMER
7	7" WIDE TRIMMER	7	7" WIDE TRIMMER
8	8" WIDE TRIMMER	8	8" WIDE TRIMMER
9	9" WIDE TRIMMER	9	9" WIDE TRIMMER
10	10" WIDE TRIMMER	10	10" WIDE TRIMMER
11	11" WIDE TRIMMER	11	11" WIDE TRIMMER
12	12" WIDE TRIMMER	12	12" WIDE TRIMMER
13	13" WIDE TRIMMER	13	13" WIDE TRIMMER
14	14" WIDE TRIMMER	14	14" WIDE TRIMMER
15	15" WIDE TRIMMER	15	15" WIDE TRIMMER
16	16" WIDE TRIMMER	16	16" WIDE TRIMMER
17	17" WIDE TRIMMER	17	17" WIDE TRIMMER
18	18" WIDE TRIMMER	18	18" WIDE TRIMMER
19	19" WIDE TRIMMER	19	19" WIDE TRIMMER
20	20" WIDE TRIMMER	20	20" WIDE TRIMMER

ABBREVIATIONS

BEF BACK OF CURB
 CGY FRESH GRADE TO COURTYARD
 DET DETAIL
 DFM DEPARTMENT OF PUBLIC WORKS
 EG EXISTING GRADE
 EX EXISTING SLAB
 EXIST EXISTING
 FFC FRESH FLOOR ELEVATION
 G GUTTER
 L LENGTH
 LF LINEAR FEET
 P PAVEMENT
 STD STANDARD
 TW TOWER
 TC TOP OF CURB
 TL TOP OF SLAB
 FIP FINISH

SCALE: 1" = 4'



0JT

DATE OF SUBMISSION: 02/07/2018
 DRAWING NO.: 02-01-01
 SHEET NO.: 02-01-01-01

MS RAU ANTIQUES

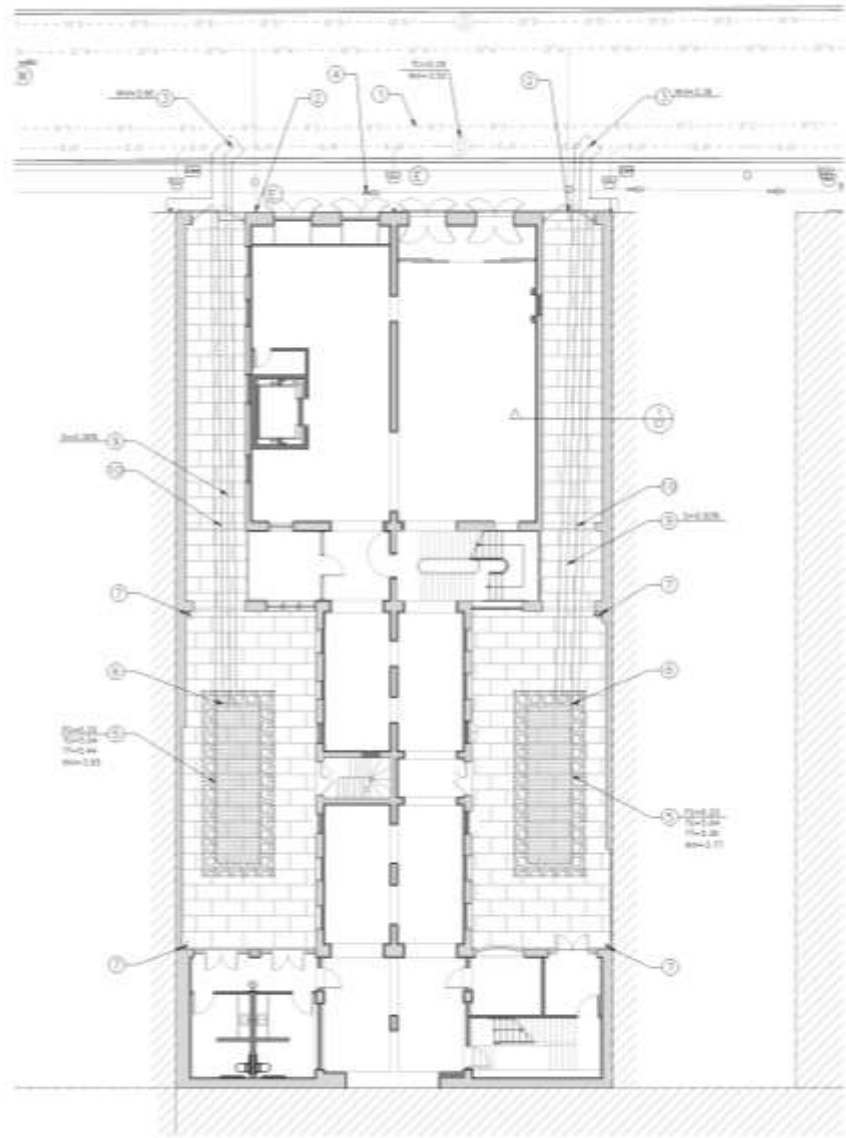
1000 RIVERVIEW AVENUE
 SUITE 100
 MONTREAL, QUEBEC H3C 1G7
 TEL: 514 392-1111
 WWW.MSRAU.COM



CONSTRUCTION BY:
 MS RAU ANTIQUES

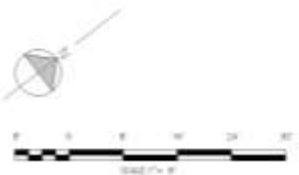
C1





- CONSTRUCTION LETTERS**
- ① EXISTING BRICK SERVICE TO MAINLINE NOT PLUMBING PLAN FOR BUILDING FROM BUILDING
 - ② EXISTING BRICK SERVICE TO MAINLINE NOT PLUMBING PLAN FOR BUILDING FROM BUILDING
 - ③ CONNECT MAIN OF PUC DRAINAGE WITH EXISTING TO SINK/TOILET IN REAR STREET WITH USE CONNECTION
 - ④ EXISTING GAS CONNECTION TO SINK
 - ⑤ METAL WHEELBAR STORAGE TANK IN GARAGE. PERMANENT FOR DETAIL ON SHEET C2
 - ⑥ CONNECT DOWNPOUTS TO TANK SYSTEM FOR CONSTRUCTION ON SHEET C2. EXHIBIT/ST W/STING SECTION FOR CONCEPT PURPOSES ONLY. SEE PLUMBING PLAN FOR DOWNPOUT LOCATIONS
 - ⑦ DOWNPOUT TO OUTFALL LINE. CONSTRUCTION AND INSTALL. TANK TAKE OVER FOR HOUSEHOLD PAGES
 - ⑧ SEE DETAIL ON SHEET C2 FOR CONNECTION OF PIPE INTO TANK
 - ⑨ INSTALL AT PUC DRAINAGE DETAIL ON SHEET C2
 - ⑩ AT PUC DOWNPOUT CONNECTION PER DETAIL 1 SHEET C2

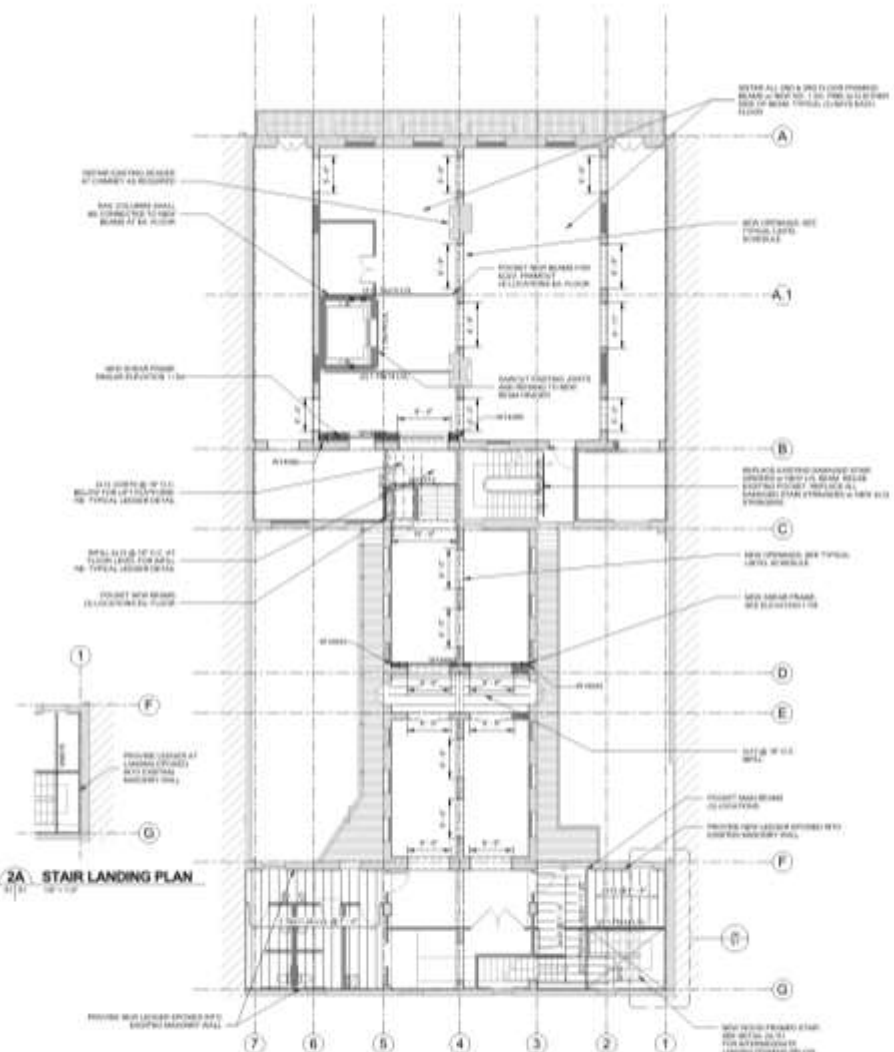
- ABBREVIATIONS**
- 1001 BATH
 - 1002 BATH
 - 1003 BATH
 - 1004 DEPARTMENT OF PUBLIC WORKS
 - 1005 EXISTING GARAGE
 - 1006 EXISTING SLAB
 - 1007 FINISH FLOOR ELEVATION
 - 1008 GUTTER
 - 1009 LINEN CLOSET
 - 1010 PAVING
 - 1011 STAIRWAY
 - 1012 TOP OF CURB
 - 1013 TYPICAL



OJT
OFFICE OF THE CITY ENGINEER
100 SOUTH BROADWAY
NEW ORLEANS, LA 70119

MS RAU ANTIQUES
100 SOUTH BROADWAY
NEW ORLEANS, LA 70119

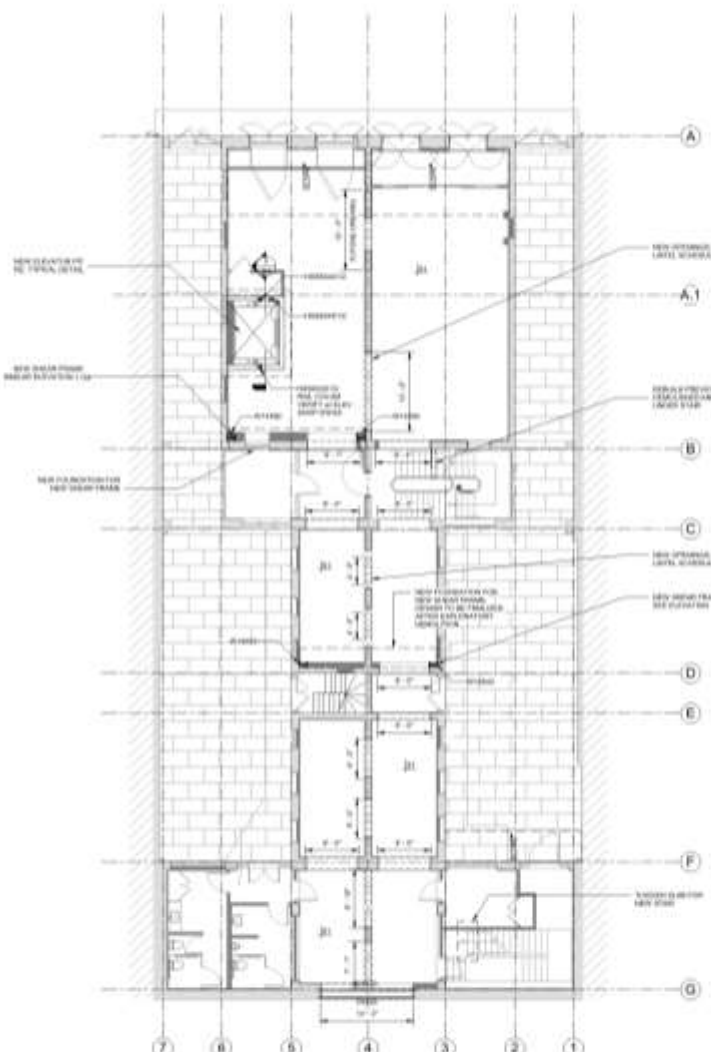




2A STAIR LANDING PLAN

2 2ND FLOOR FRAMING PLAN

- GENERAL NOTES:**
1. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
 2. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
 3. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
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 5. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
 6. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.



1 1ST FLOOR & FOUNDATION PLAN

- GENERAL NOTES:**
1. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
 2. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
 3. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
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 5. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.
 6. ALL NEW WORK SHALL BE PROVIDED WITH SUFFICIENT REINFORCEMENT TO MEET ALL APPLICABLE CODES AND STANDARDS.

OJT

OFFICE OF THE ARCHITECT
 1000 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 588-6000
 www.oa-la.gov

MS RAU ANTIQUES

1000 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 588-6000

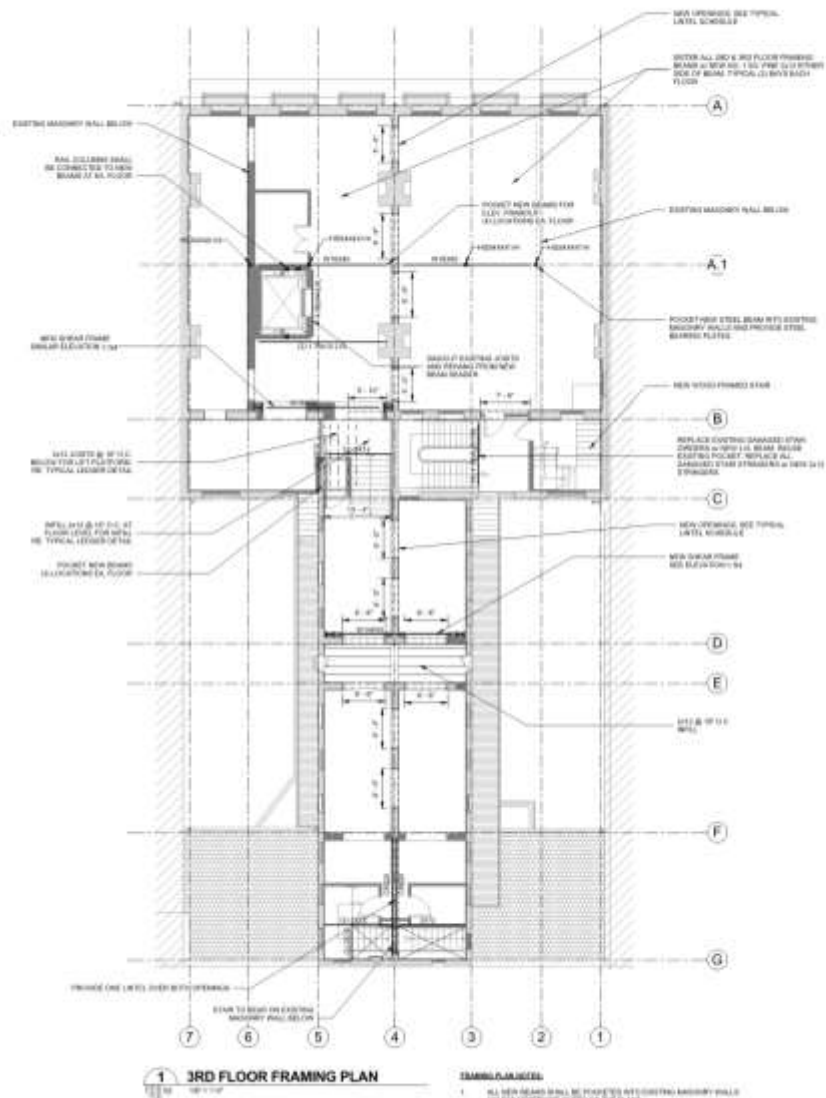
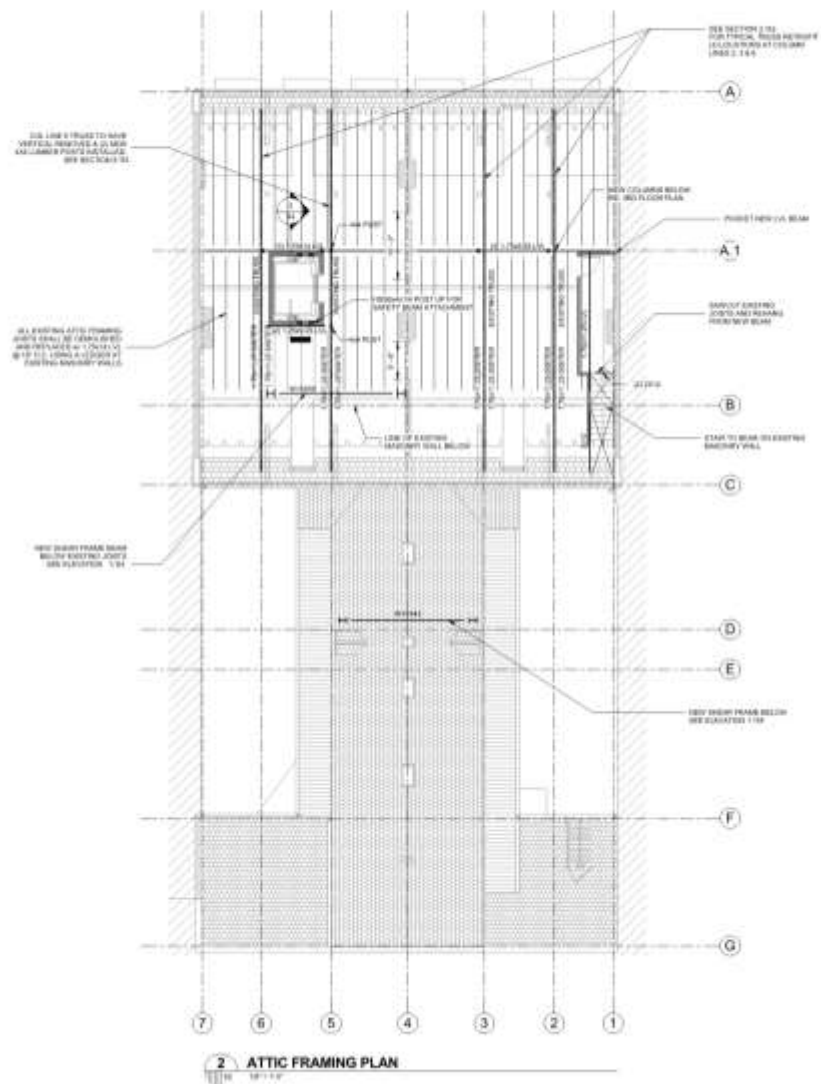


1000 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 588-6000

1000 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 588-6000

S1





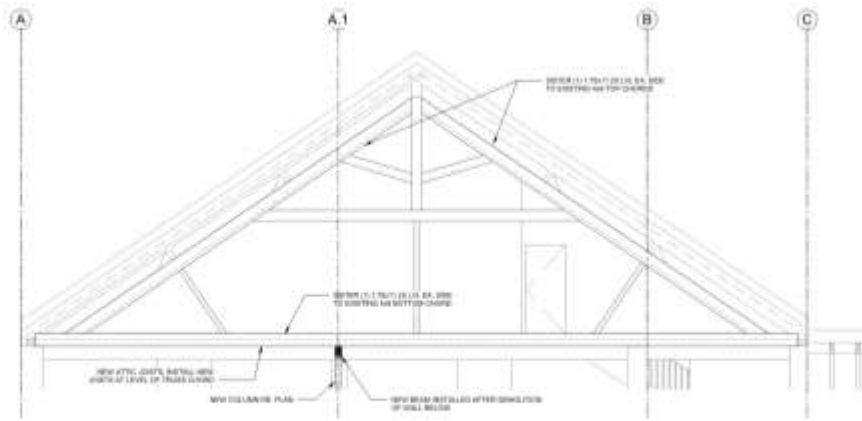
OJT
OFFICE OF JOINT TESTING
100 N. 10TH ST., SUITE 100
MINNEAPOLIS, MN 55401
612.338.4400
www.ojt.org

MS RAU ANTIQUES
100 N. 10TH ST., SUITE 100
MINNEAPOLIS, MN 55401
612.338.4400
www.msrau.com

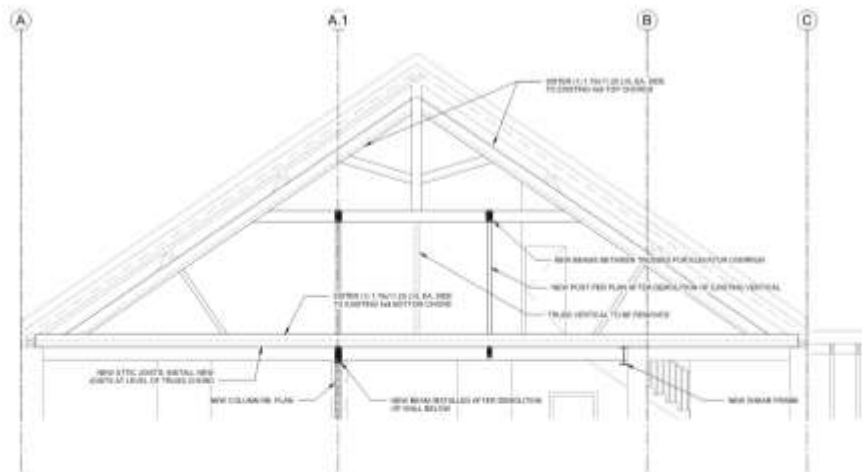
OFFICE OF LANDMARKS
100 N. 10TH ST., SUITE 100
MINNEAPOLIS, MN 55401
612.338.4400
www.ol.org

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100 N. 10TH ST., SUITE 100
MINNEAPOLIS, MN 55401
612.338.4400
www.vcc.org

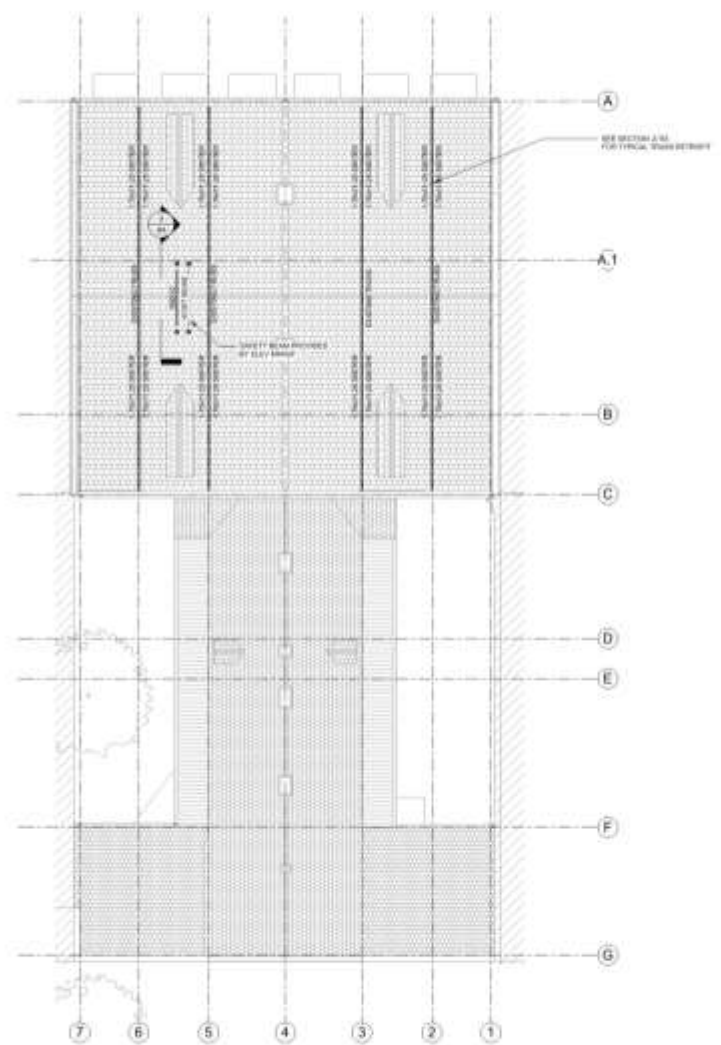




2 TRUSS RETROFIT - COLUMN LINES 2, 3 & 6
1/4" = 1'-0"



3 TRUSS RETROFIT - COLUMN LINE 5
1/4" = 1'-0"



1 ROOF FRAMING PLAN
1/4" = 1'-0"

OJT
 OFFICE OF JUDICIAL TRIAL
 1000 UNIVERSITY BLVD
 SUITE 1000
 ANN ARBOR, MI 48106
 734-763-1000
 www.ojt.state.mi.us

MS RAU ANTIQUES
 1000 UNIVERSITY BLVD
 SUITE 1000
 ANN ARBOR, MI 48106
 734-763-1000
 www.msrau.com

STATE OF MICHIGAN
 GREAT LAKES REGIONAL
 COMMISSION
 1000 UNIVERSITY BLVD
 SUITE 1000
 ANN ARBOR, MI 48106
 734-763-1000
 www.glrcc.com



STEEL LINTEL SCHEDULE

ALL OPENINGS AND JOISTS IN EXISTING MASONRY WALLS SHALL BE OPENED IN ACCORDANCE WITH THE FOLLOWING TABLE UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT.

LOCATION	FLOOR	NO. OF JOISTS	JOIST SIZE	SPAN
MAIN BUILDING	2ND	6-0"	12" X 16"	CLASSED OR CLASS
	1ST	12-0"	12" X 16"	CLASSED OR CLASS
	2ND	6-0"	12" X 16"	CLASSED OR CLASS
	1ST	6-0"	12" X 16"	CLASSED OR CLASS
	2ND	6-0"	12" X 16"	CLASSED OR CLASS
	1ST	6-0"	12" X 16"	CLASSED OR CLASS
SERVANTS QUARTERS	2ND	6-0"	12" X 16"	CLASSED OR CLASS
	1ST	6-0"	12" X 16"	CLASSED OR CLASS
	2ND	6-0"	12" X 16"	CLASSED OR CLASS
	1ST	6-0"	12" X 16"	CLASSED OR CLASS

NOTES:
 1. JOISTS SHALL BE CLASSIFIED AS PER THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.
 2. JOISTS SHALL BE CLASSIFIED AS PER THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.
 3. JOISTS SHALL BE CLASSIFIED AS PER THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.
 4. JOISTS SHALL BE CLASSIFIED AS PER THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.

JOIST REPLACEMENT SCHEDULE

LOCATION	FLOOR	JOIST REPLACEMENT JOIST
MAIN BUILDING	2ND & 1ST FLOORS	12" X 16" S4S OR 12" X 16" S4S
	2ND & 1ST FLOORS	12" X 16" S4S OR 12" X 16" S4S
SERVANTS QUARTERS	2ND & 1ST FLOORS	12" X 16" S4S OR 12" X 16" S4S
	2ND & 1ST FLOORS	12" X 16" S4S OR 12" X 16" S4S

NOTES:
 1. JOIST REPLACEMENT TO BE MADE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.
 2. JOIST REPLACEMENT TO BE MADE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.
 3. JOIST REPLACEMENT TO BE MADE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.
 4. JOIST REPLACEMENT TO BE MADE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL.

2 TYPICAL DETAIL
NEW OPENINGS IN EXISTING MASONRY

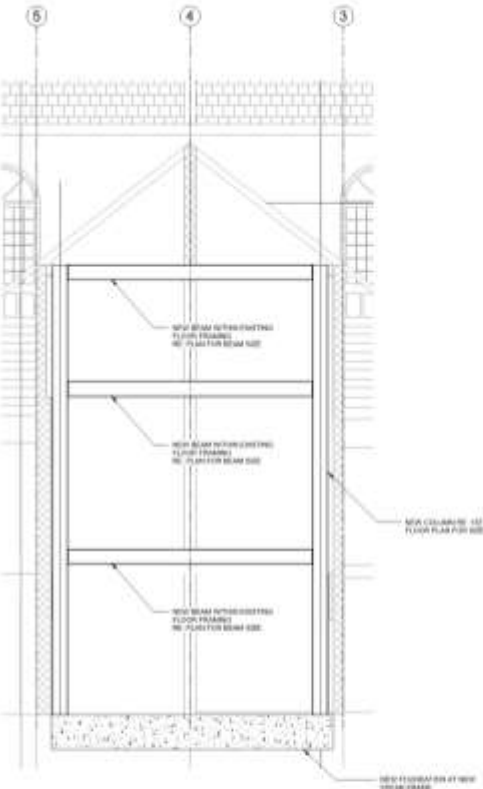
4 TYPICAL DETAIL
SINGLE JOIST REPLACEMENT SCHEDULE

2 TYPICAL DETAIL
NEW OPENINGS IN EXISTING MASONRY

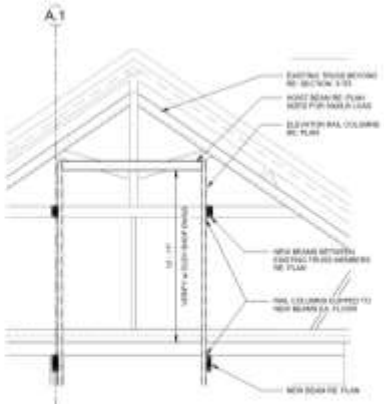
2 TYPICAL DETAIL
NEW OPENINGS IN EXISTING MASONRY

2 TYPICAL DETAIL
NEW OPENINGS IN EXISTING MASONRY

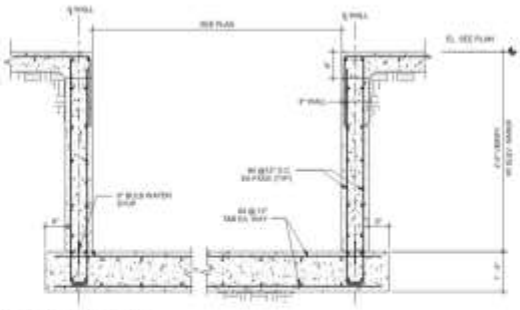
6 TYPICAL DETAIL
Elevator Sump Pit



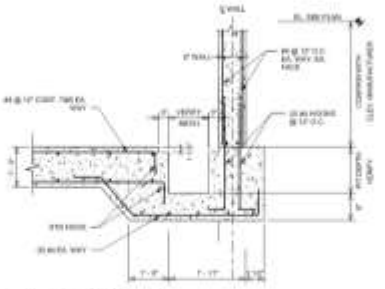
1 ELEVATION AT NEW SHEAR FRAME - SERVANTS QUARTERS



3 SECTION



6 TYPICAL DETAIL
ELEVATOR PIT DETAIL



6 TYPICAL DETAIL
Elevator Sump Pit

OJT

OPEN JOIST TABLE
 12" X 16" S4S
 12" X 16" S4S
 12" X 16" S4S

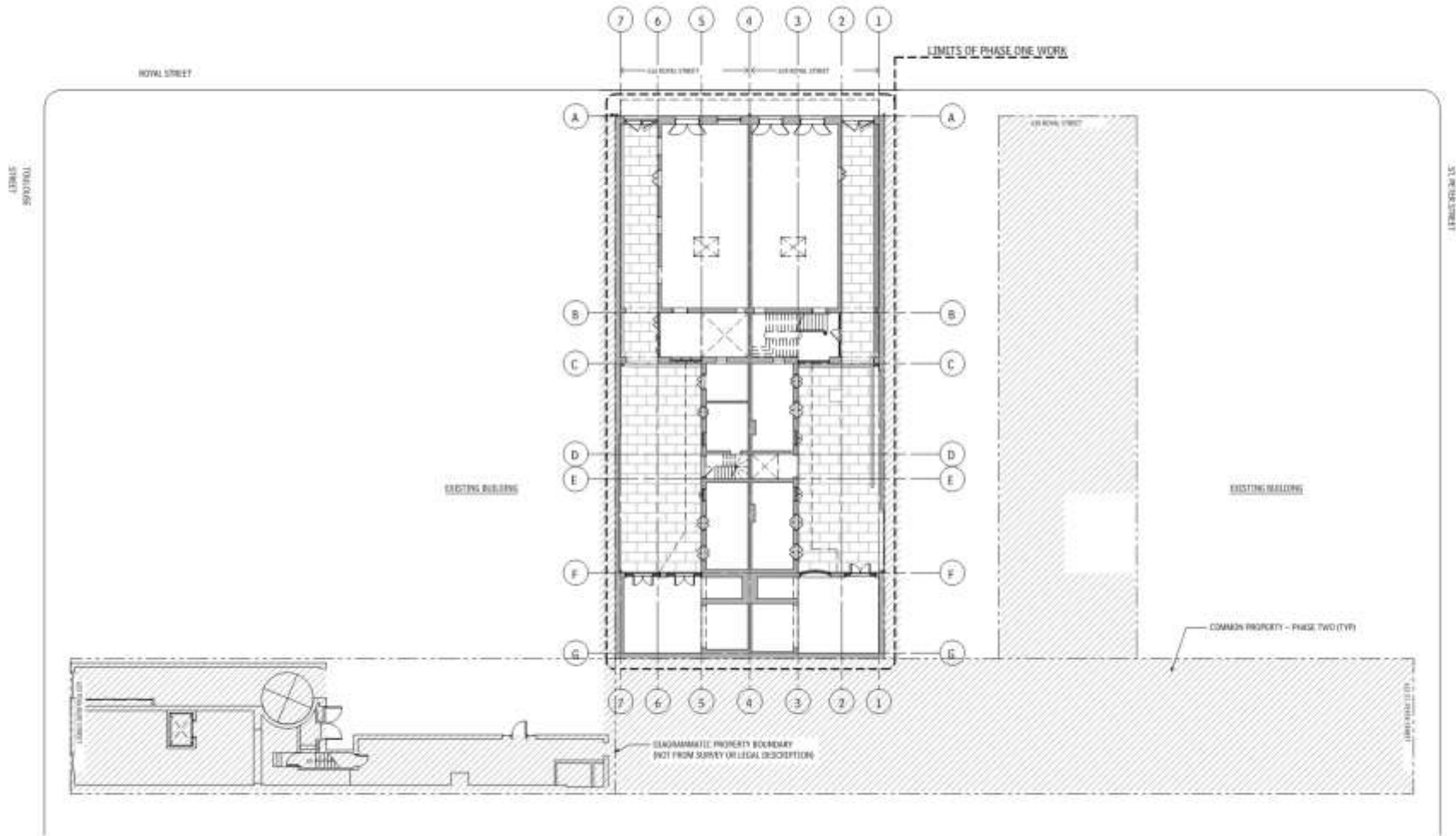
MS RAU

MS RAU
 12" X 16" S4S
 12" X 16" S4S



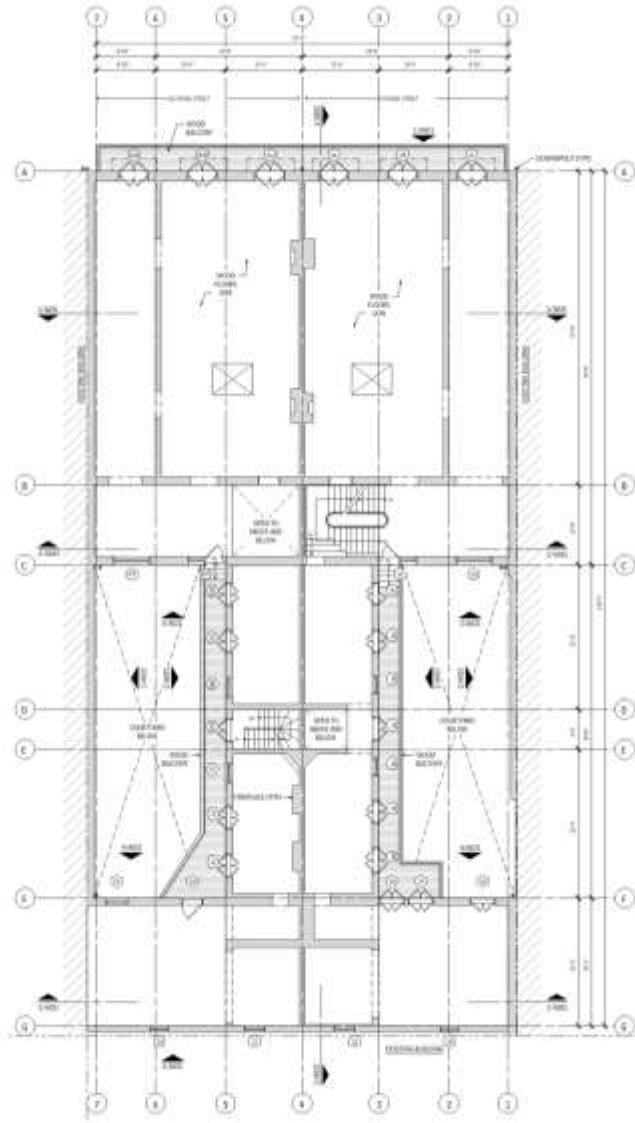
12/31/2018
 12/31/2018
 12/31/2018



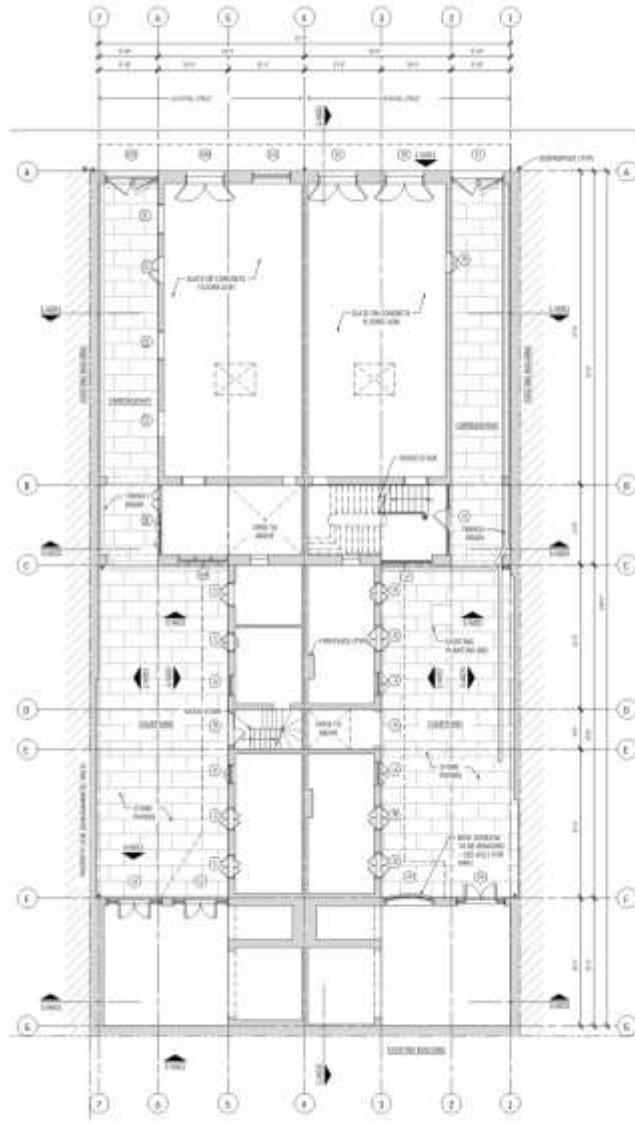


1 SITE PLAN - EXISTING
 SCALE 1/8" = 1'-0"
 NORTH





2 SECOND FLOOR - EXISTING
DATE: 1/17/17



1 FIRST FLOOR - EXISTING
DATE: 1/17/17

GENERAL NOTES
 1. ALL EXISTING MATERIALS SHALL BE PRESERVED AND REFINISHED TO MATCH AS MUCH AS POSSIBLE.
 2. ALL NEW WORK SHALL BE SHOWN IN SHADING AS INDICATED.
 3. ALL DIMENSIONS SHALL BE SHOWN UNLESS OTHERWISE NOTED.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK.

THIS SET OF METAL DETECTING SURVEILLANCE DRAWINGS IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND SERVICES TO BE MAINTAINED OR CHANGED BY THE OWNER.

OJT

OWNER: OJT
 PROJECT: OJT
 ADDRESS: OJT

DATE: OJT
 DRAWN BY: OJT
 CHECKED BY: OJT

PROJECT: OJT
 ADDRESS: OJT
 DATE: OJT

PROJECT: OJT
 ADDRESS: OJT
 DATE: OJT

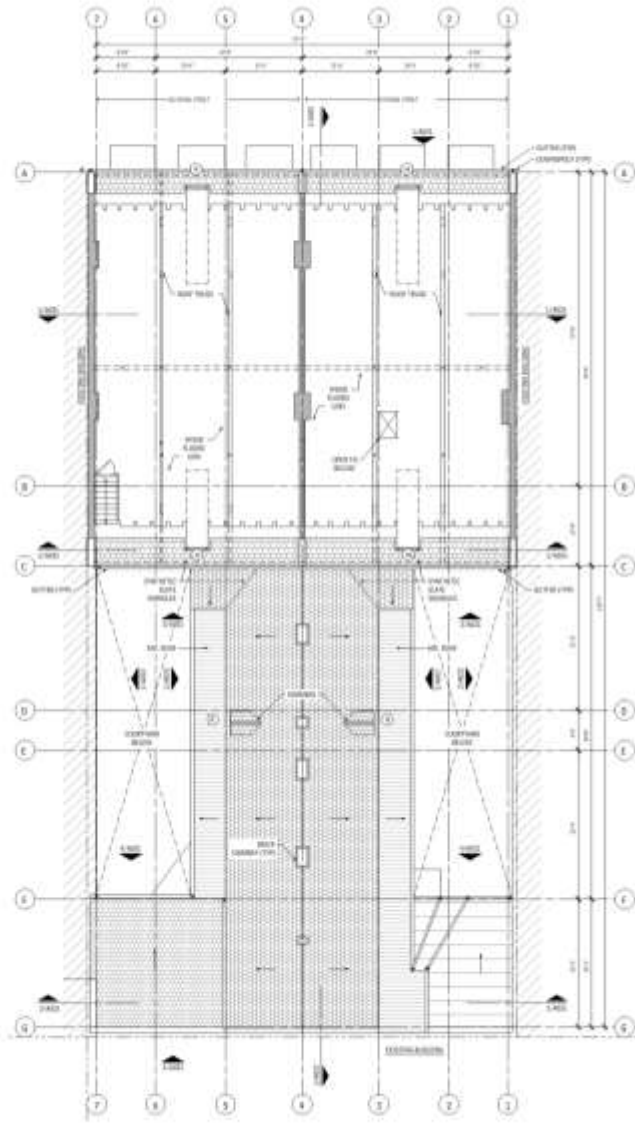
MS RAU ANTIQUES
 ADDRESS: OJT
 DATE: OJT



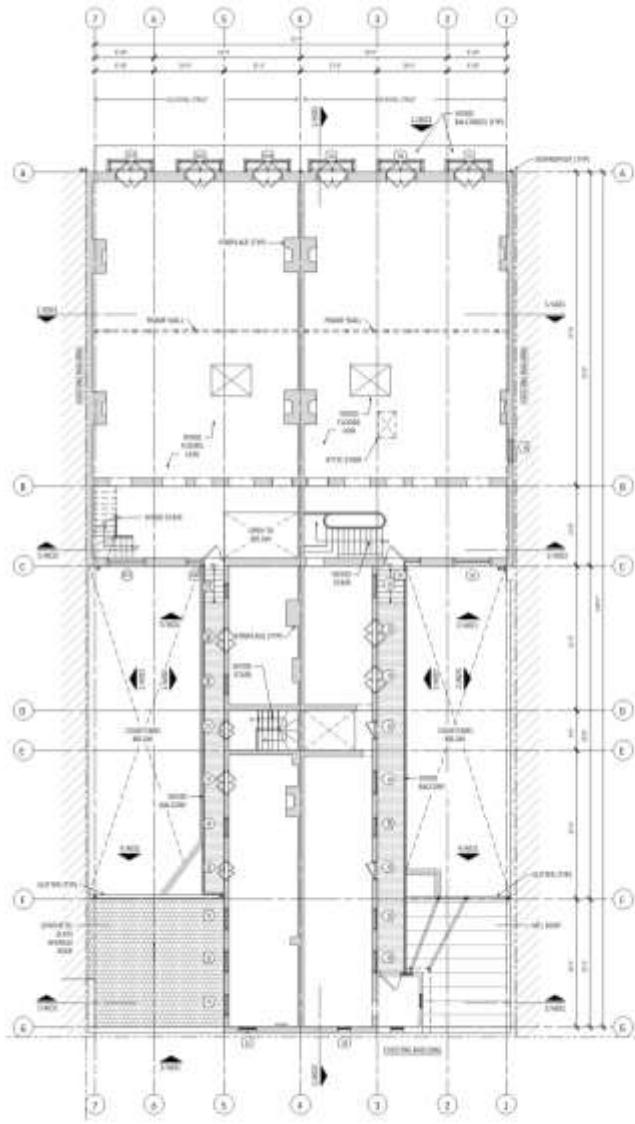
DATE: OJT
 DRAWN BY: OJT
 CHECKED BY: OJT

A011





2 FOURTH FLOOR - EXISTING
 SCALE: 1/8" = 1'-0"
 [Logo]



1 THIRD FLOOR - EXISTING
 SCALE: 1/8" = 1'-0"
 [Logo]

GENERAL NOTES

- ALL EXISTING WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS BUILDING CODE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS BUILDING CODE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS BUILDING CODE.

REVISIONS

1. 02/07/2018

THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

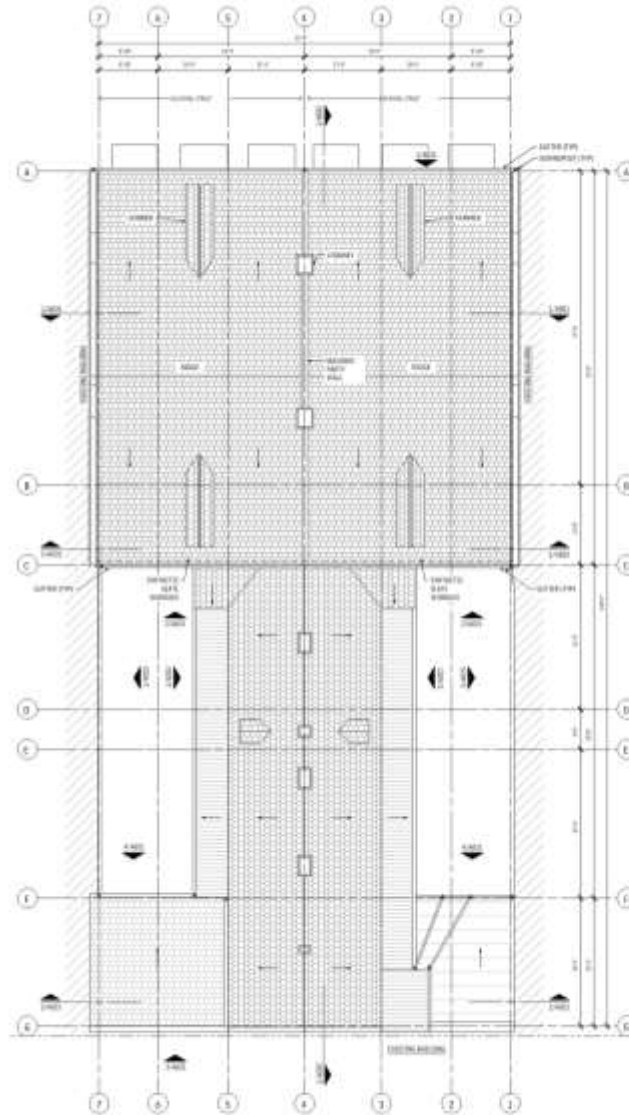
OJT
 OFFICE OF JUDICIAL TRAINING
 100 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 525-1234
 www.ojt.nola.gov

MS RAU ANTIQUES
 100 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 525-1234
 www.msrau.com



A012





GENERAL NOTES

1. ALL EXISTING WORK SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
2. ALL NEW WORK SHALL BE SHOWN IN SHADING.
3. ALL DIMENSIONS SHALL BE SHOWN IN DIMENSION LINES UNLESS OTHERWISE NOTED.

REVISIONS

1. 02/07/2018

THIS IS A PRELIMINARY DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

1 FLOOR - EXISTING
SCALE: 1/8" = 1'-0"

OJT

OWNER: [unreadable]
ARCHITECT: [unreadable]
DATE: [unreadable]

PROFESSIONAL ENGINEER
[unreadable]
[unreadable]
[unreadable]

MS RAU ANTIQUES

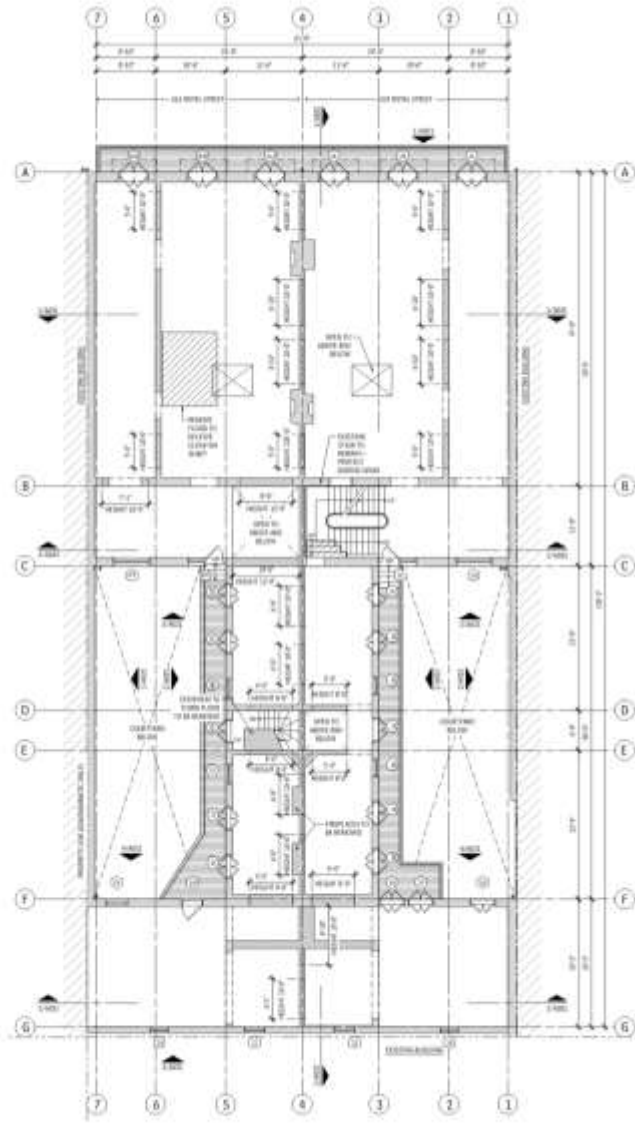
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[unreadable]



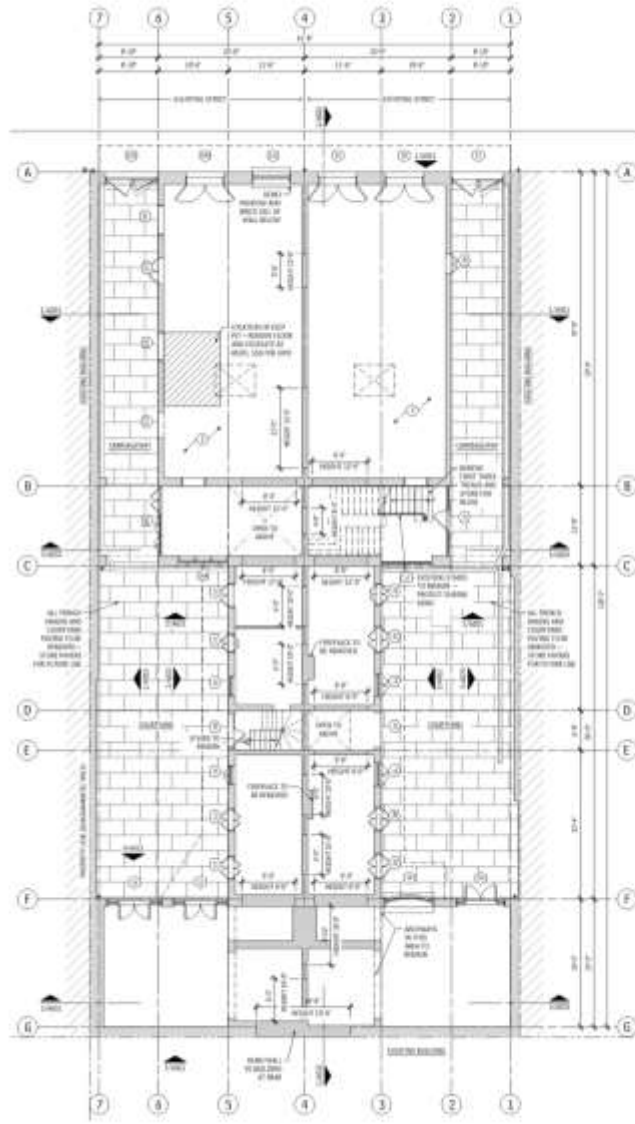
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BY: [unreadable]

A013





2 SECOND FLOOR - DEMO
DATE: 1/17/17



1 FIRST FLOOR - DEMO
DATE: 1/17/17

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

EXISTING PARTITION WALL
NEW PARTITION WALL
REMOVE EXISTING PARTITION WALL

OJT

OWNER: M5 RAU ANTIQUES
PROJECT: RESTORATION OF 1000 PINE STREET, PHOENIX, AZ
ARCHITECT: OJT ARCHITECTS
DATE: 1/17/17

M5 RAU ANTIQUES

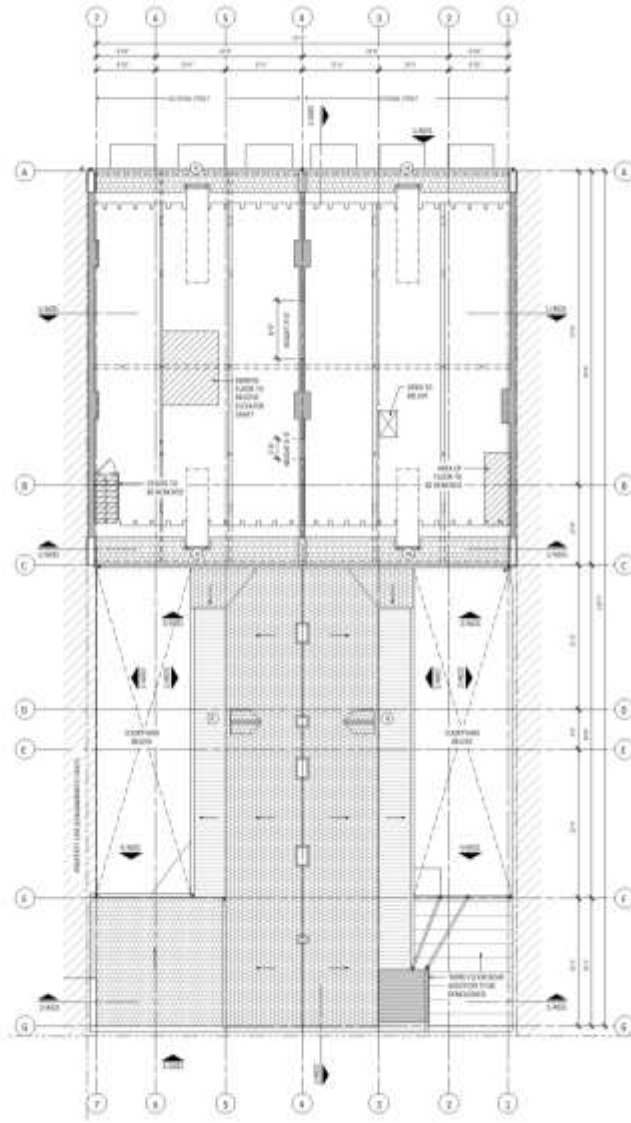
1000 PINE STREET
PHOENIX, AZ 85001
TEL: 602.441.1111
WWW.M5RAU.COM



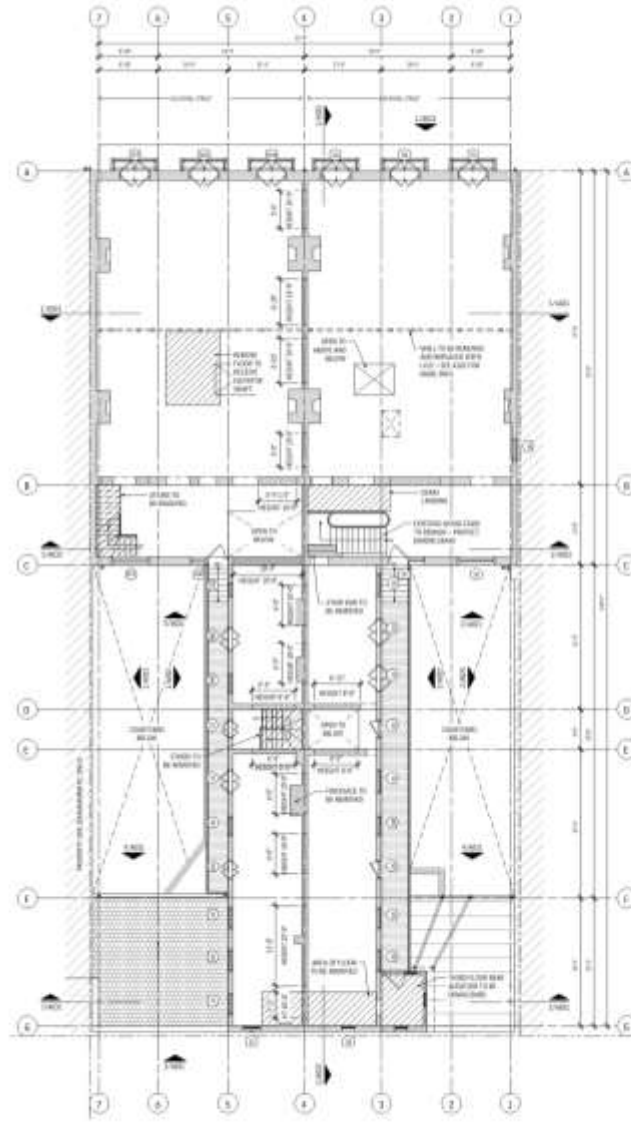
1/17/17
REVISED BY: [Signature]

A014





2 FOURTH FLOOR - DEMO
 Scale: 1/8" = 1'-0"
 [Logo]



1 THIRD FLOOR - DEMO
 Scale: 1/8" = 1'-0"
 [Logo]

- GENERAL NOTES**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- DETAILS**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

- [Hatched Pattern] EXISTING CONCRETE FLOOR
- [Dotted Pattern] FLOOR DEMOLITION
- [Cross-hatched Pattern] FLOOR DEMOLITION AT FLOOR

OJT

- OWNER: [Name]
 ARCHITECT: [Name]
 ENGINEER: [Name]
 CONTRACT NO. [Number]
 PROJECT NO. [Number]
 DATE: [Date]

MS RAU ANTIQUES

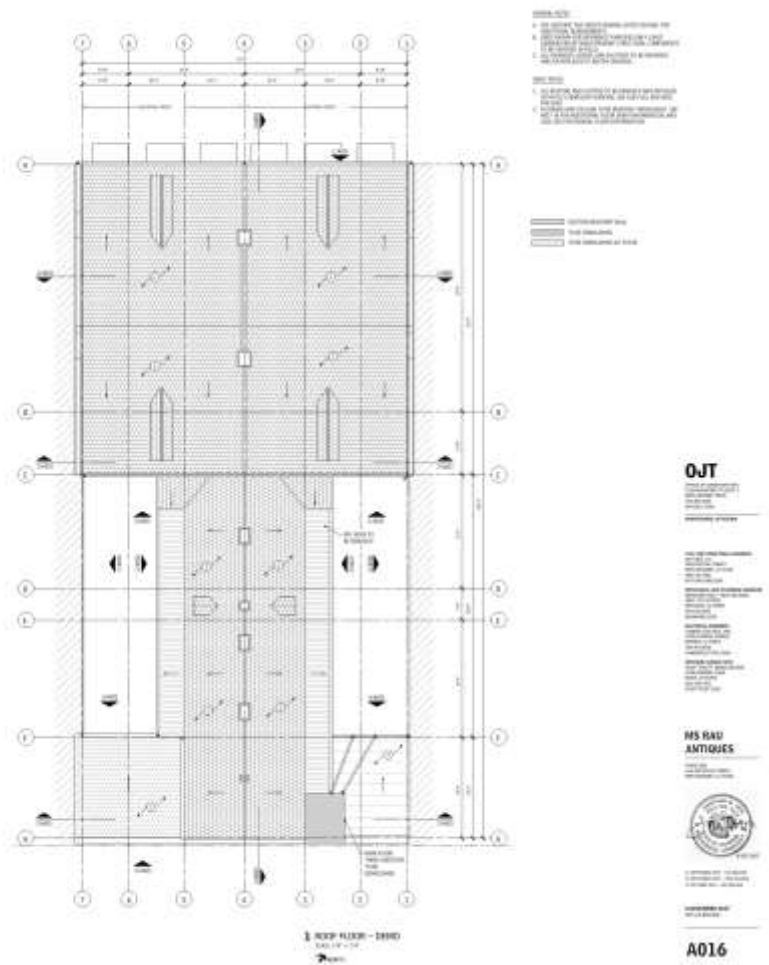
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 ARCHITECT: [Name]
 ENGINEER: [Name]
 CONTRACT NO. [Number]
 PROJECT NO. [Number]
 DATE: [Date]



REVISIONS

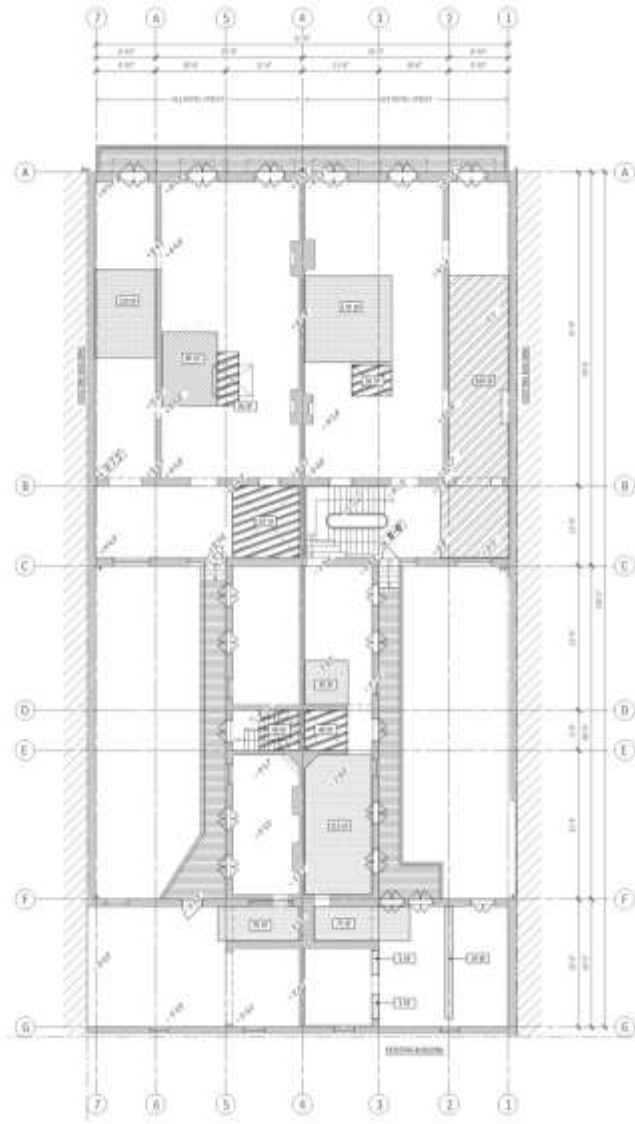
A015



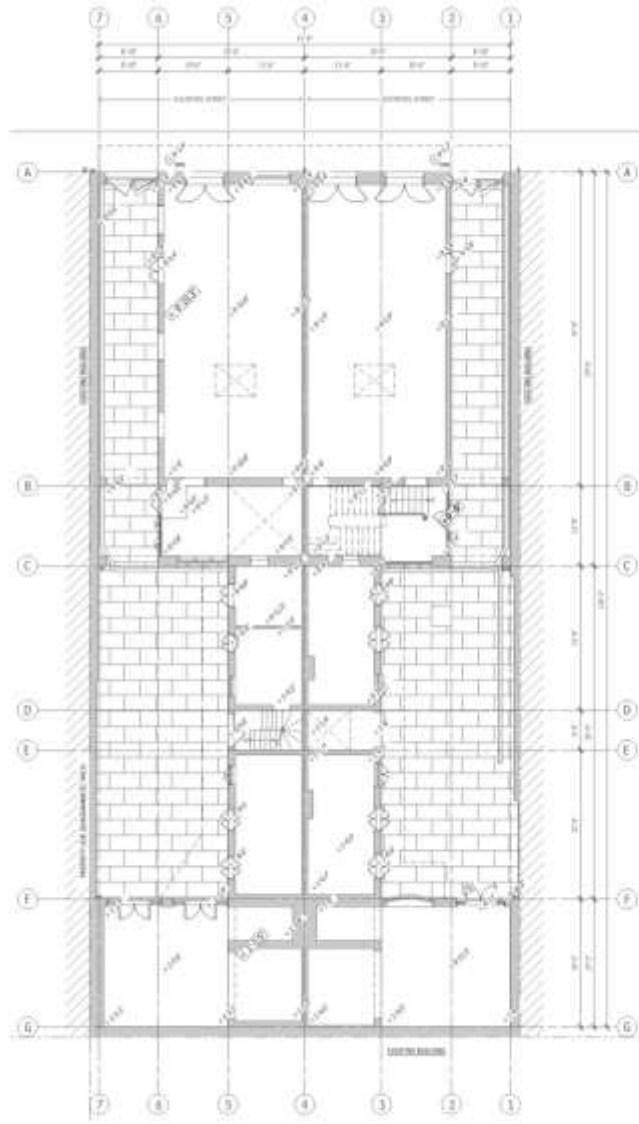


622-624 Royal





2 SECOND FLOOR - FLOOR CONDITION REVIEW
DATE: 1/17/17



1 FIRST FLOOR - FLOOR CONDITION REVIEW
DATE: 1/17/17



- GENERAL NOTES**
1. THIS DRAWING AND ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

- LEGEND**
1. HATCH FOR NEW CONSTRUCTION, EXCEPT WHERE SHOWN OTHERWISE.
 2. HATCH FOR EXISTING CONSTRUCTION, EXCEPT WHERE SHOWN OTHERWISE.
 3. HATCH FOR EXISTING CONSTRUCTION, EXCEPT WHERE SHOWN OTHERWISE.
 4. HATCH FOR EXISTING CONSTRUCTION, EXCEPT WHERE SHOWN OTHERWISE.

OJT

OWNER'S REPRESENTATIVE
1000 PINE STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.OJT.COM

DESIGN AND ARCHITECTURAL SERVICES
1000 PINE STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.ARA.COM

MECHANICAL AND ELECTRICAL ENGINEERING
1000 PINE STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.MEE.COM

STRUCTURAL ENGINEERING
1000 PINE STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.SEC.COM

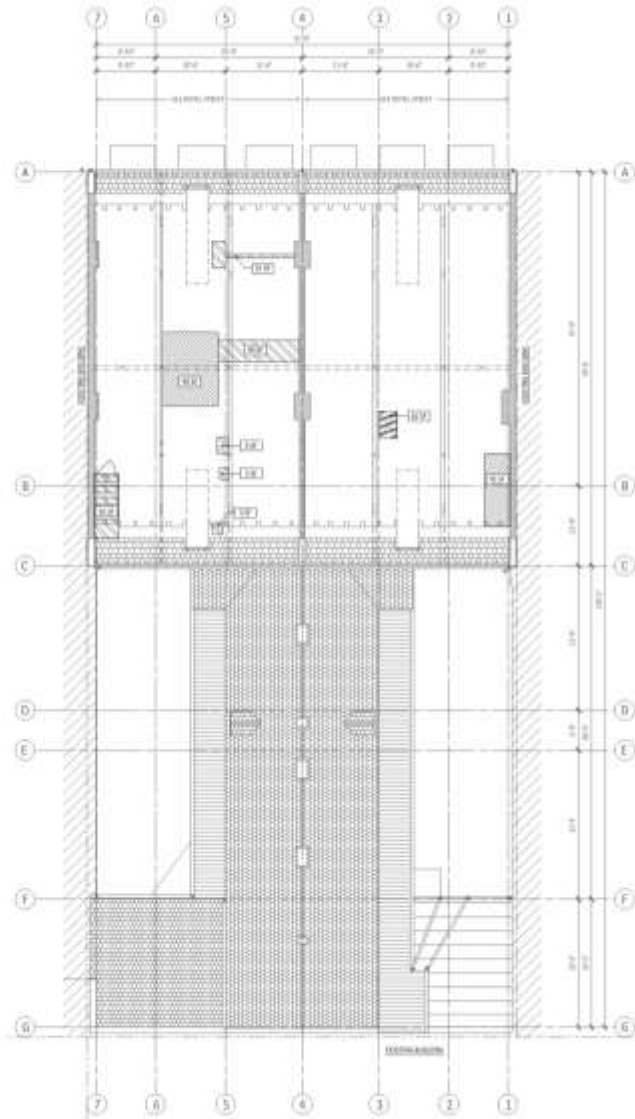
MS RAU
ANTIQUES
1000 PINE STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.MSRAU.COM



REVISIONS
NO. 1
DATE: 1/17/17
BY: [Signature]

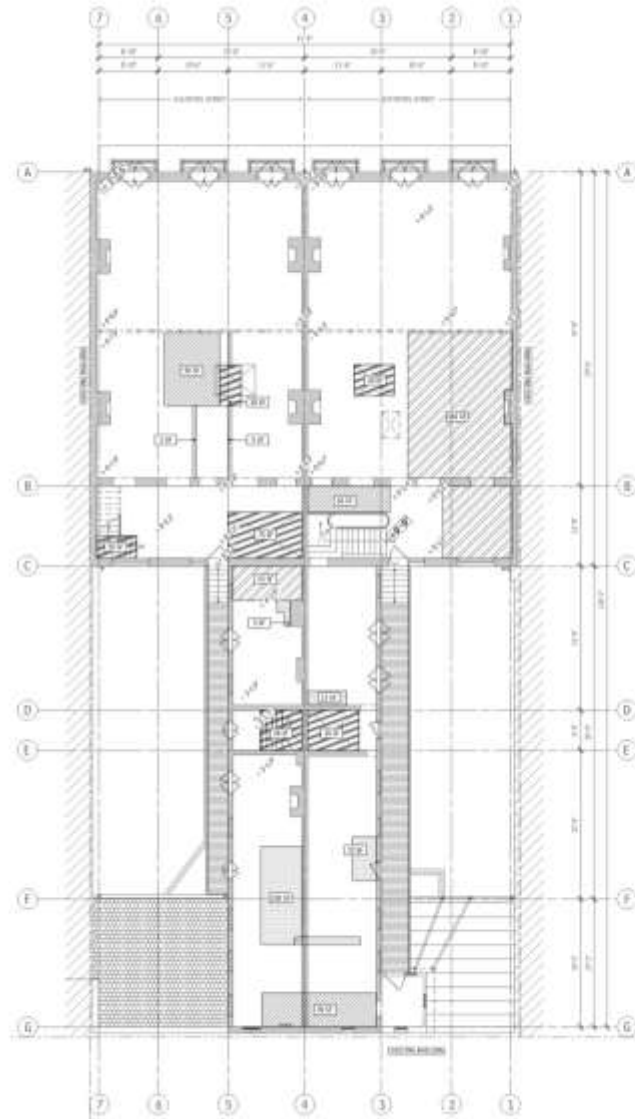
A017





2 FOURTH FLOOR - FLOOR CONDITION REVIEW

Scale: 1/8" = 1'-0"



1 THIRD FLOOR - FLOOR CONDITION REVIEW

Scale: 1/8" = 1'-0"

- GENERAL NOTE:**
1. THIS DRAWING AND ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- LEGEND:**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- NOTES:**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

OJT

Project: [illegible]
 Date: [illegible]
 Drawing: [illegible]

Project: [illegible]
 Date: [illegible]
 Drawing: [illegible]

Project: [illegible]
 Date: [illegible]
 Drawing: [illegible]

Project: [illegible]
 Date: [illegible]
 Drawing: [illegible]

Project: [illegible]
 Date: [illegible]
 Drawing: [illegible]

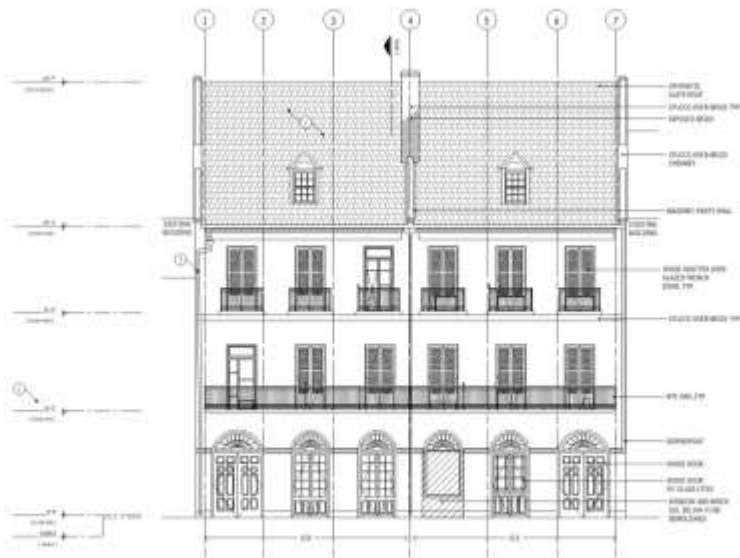
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Project: [illegible]
 Date: [illegible]
 Drawing: [illegible]

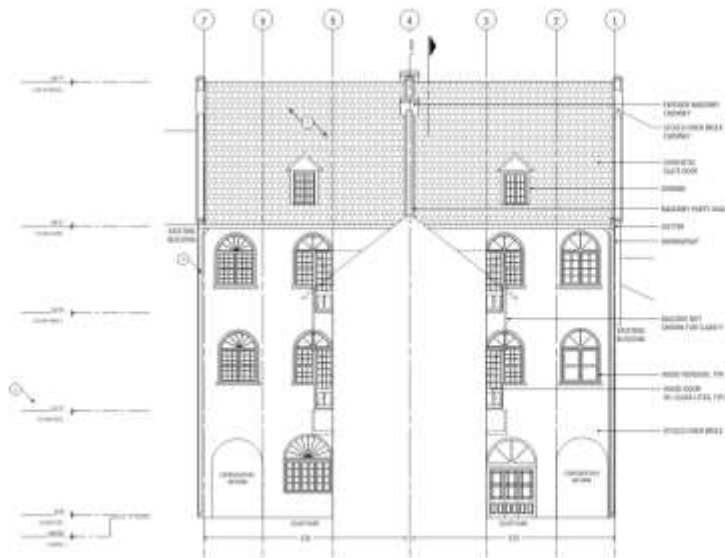
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A018

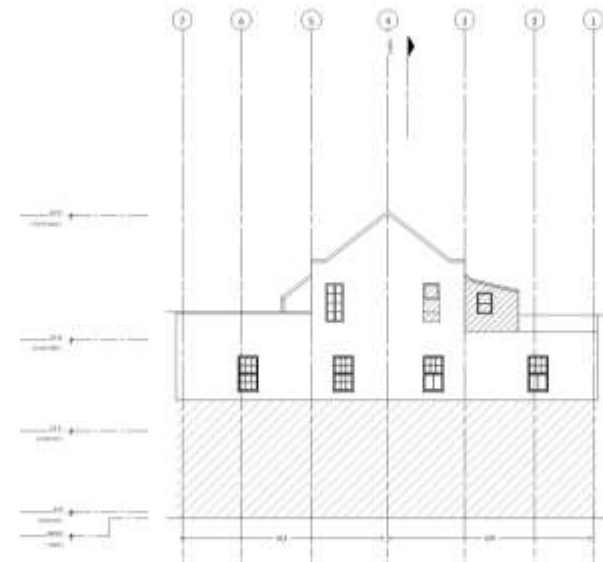




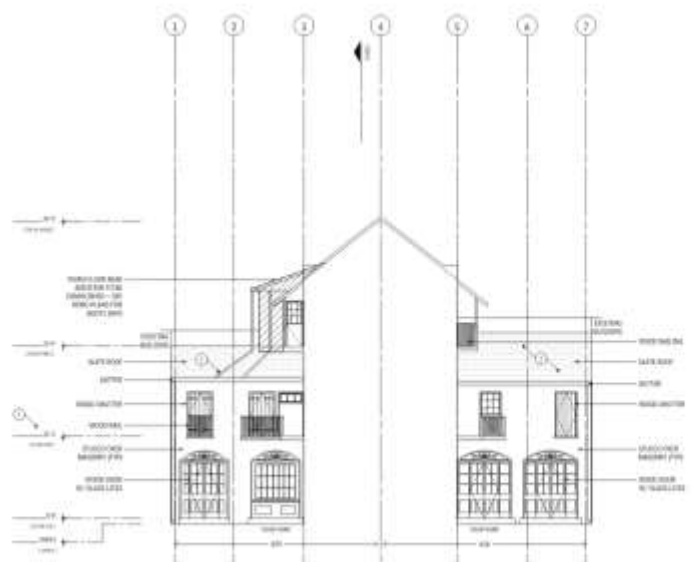
1 NORTH ELEVATION - EXISTING
SCALE 1/8" = 1'-0"



2 SOUTH COURTYARD ELEVATION - EXISTING
SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING
SCALE 1/8" = 1'-0"



4 NORTH COURTYARD ELEVATION - EXISTING
SCALE 1/8" = 1'-0"

- GENERAL NOTES**
- SEE GENERAL THE GREAT SMITHS ARCHITECTS FOR ALL ARCHITECTURAL REQUIREMENTS.
 - SEE GENERAL FOR ALL ELECTRICAL, MECHANICAL, PLUMBING, AND HVAC REQUIREMENTS.
 - SEE GENERAL FOR ALL STRUCTURAL REQUIREMENTS.
 - SEE GENERAL FOR ALL CONSTRUCTION REQUIREMENTS.
- DETAILED NOTES**
- WOOD BALCONY SHALL BE MAINTAINED AND REPAIRED.
 - WOOD DOOR SHALL BE MAINTAINED AND REPAIRED.
 - WOOD DOOR SHALL BE MAINTAINED AND REPAIRED.
 - WOOD DOOR SHALL BE MAINTAINED AND REPAIRED.

OJT

OFFICE OF THE ARCHITECT
 100 N. 10TH ST., SUITE 100
 MINNEAPOLIS, MN 55401
 TEL: 612.574.3100
 FAX: 612.574.3101
 WWW.OJT.MN.GOV

MS RAU ANTIQUES

100 N. 10TH ST., SUITE 100
 MINNEAPOLIS, MN 55401
 TEL: 612.574.3100
 FAX: 612.574.3101
 WWW.MSRAUANTIQUES.COM

A021





1 EAST ELEVATION - EXISTING
Scale: 1/8" = 1'-0"

- GENERAL NOTE**
1. ALL EXISTING MATERIALS SHALL BE REPAIRED OR REPLACED AS NECESSARY.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS OF THE CITY OF NEW ORLEANS.
- DETAILED NOTE**
1. FLOOR FINISHES TO BE DETERMINED BY ARCHITECT AND OWNER.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS OF THE CITY OF NEW ORLEANS.
 3. ALL EXISTING MATERIALS SHALL BE REPAIRED OR REPLACED AS NECESSARY.



2 WEST ELEVATION - EXISTING
Scale: 1/8" = 1'-0"

OJT

OWNER'S REPRESENTATIVE
1000 PINE STREET
NEW ORLEANS, LA 70112
504.525.1234

ARCHITECT OF RECORD

1000 PINE STREET
NEW ORLEANS, LA 70112
504.525.1234

ARCHITECTURAL AND ENGINEERING CONSULTANTS

1000 PINE STREET
NEW ORLEANS, LA 70112
504.525.1234

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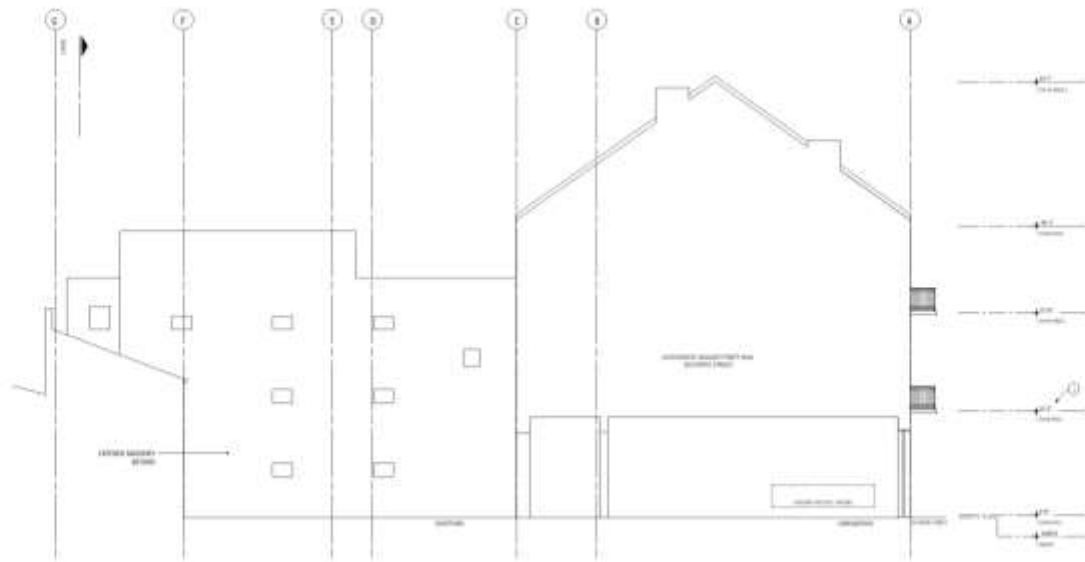
1000 PINE STREET
NEW ORLEANS, LA 70112
504.525.1234



1000 PINE STREET
NEW ORLEANS, LA 70112
504.525.1234

A022

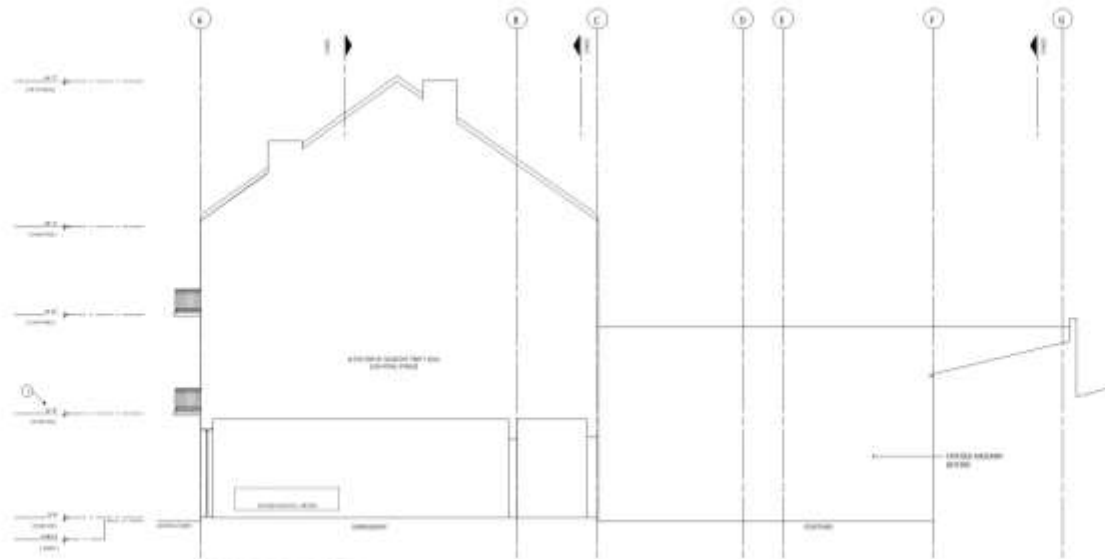




1 WEST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS BUILDING CODE.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ELECTRICAL CODE.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS MECHANICAL CODE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLUMBING CODE.
- EXISTING NOTES**
1. EXISTING CONDITIONS ARE SHOWN AS NOTED.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS BUILDING CODE.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS ELECTRICAL CODE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS MECHANICAL CODE.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS PLUMBING CODE.



2 EAST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

OJT

OFFICE OF JUDICIAL TRIAL
 100 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 525-1000
 www.ojt.la.gov

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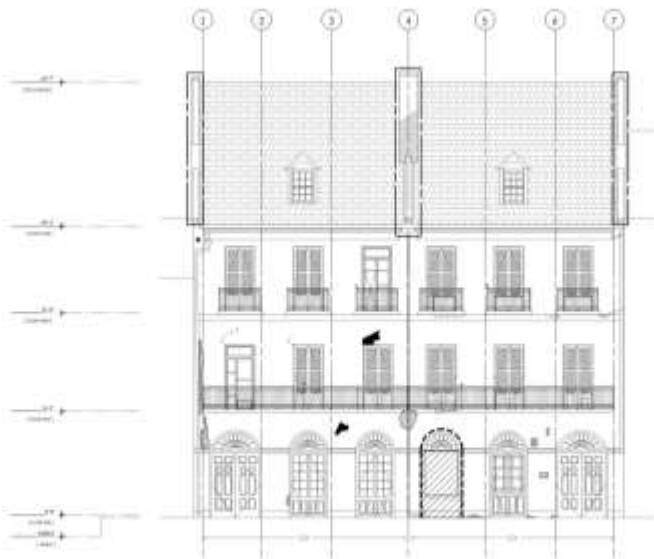
100 PINE STREET
 SUITE 1000
 NEW ORLEANS, LA 70112
 (504) 525-1000
 www.msrau.com



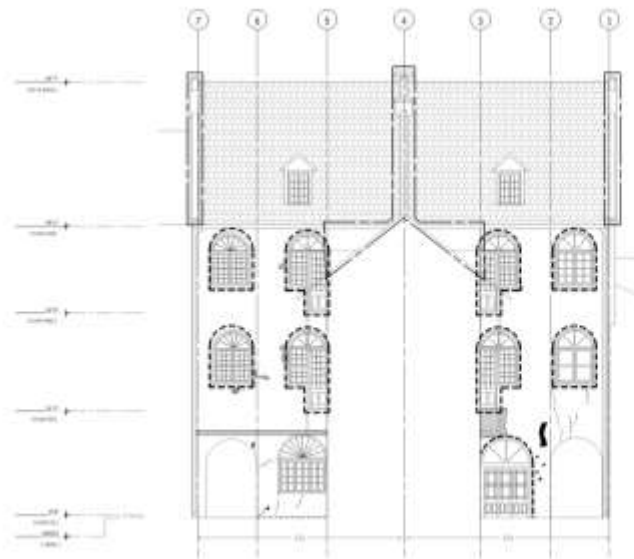
10 DECEMBER 2017

A023

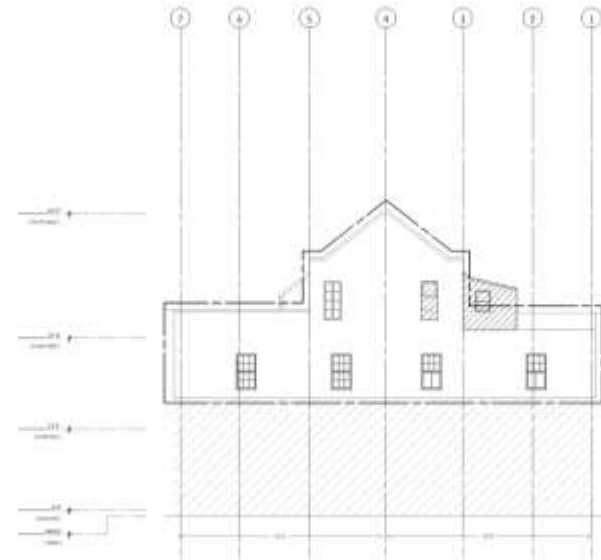




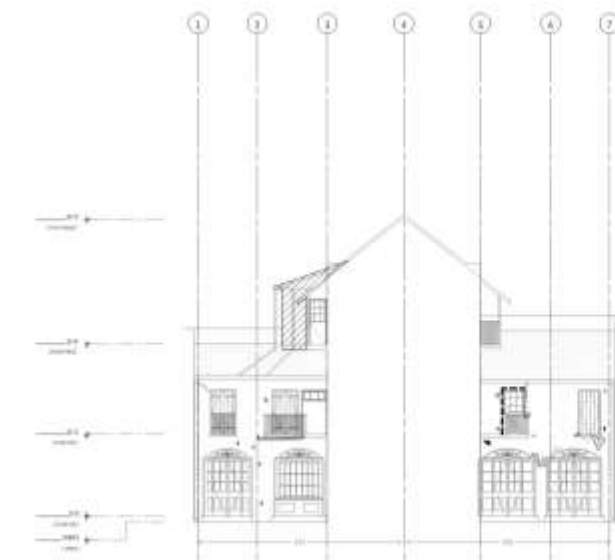
1 NORTH ELEVATION - EXTERIOR WALL CONDITION
SCALE: 1/8" = 1'-0"



2 SOUTH COURTYARD ELEVATION - EXTERIOR WALL CONDITION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - EXTERIOR WALL CONDITION
SCALE: 1/8" = 1'-0"



4 NORTH COURTYARD ELEVATION - EXTERIOR WALL CONDITION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE Vieux Carré Commission's Guidelines for the Restoration of Historic Buildings.

LEGEND

- 1. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION
- 2. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION
- 3. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION
- 4. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION
- 5. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION
- 6. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION
- 7. EXTERIOR WALL CONDITION - EXTERIOR WALL CONDITION

OJT

OFFICE OF JUDICIAL TRIALS
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.OJT.NJ.GOV

MS RAU ANTIQUES
1111 PUEBLO STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.MSRAUANTIQUES.COM

MS RAU ANTIQUES
1111 PUEBLO STREET
NEW ORLEANS, LA 70112
PH: 504.581.1234
WWW.MSRAUANTIQUES.COM

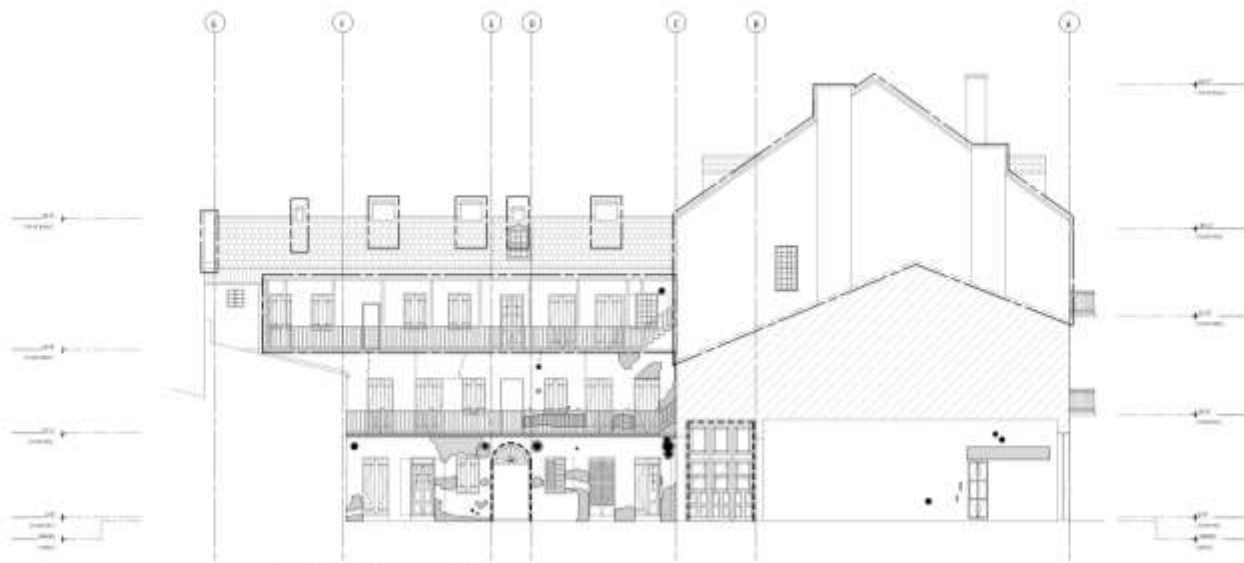




1 EAST ELEVATION - EXTERIOR WALL CONDITION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW ORLEANS.

- LEGEND**
- 1. EXISTING CONSTRUCTION
 - 2. NEW CONSTRUCTION
 - 3. REMOVED CONSTRUCTION
 - 4. TO BE DEMOLISHED
 - 5. TO BE RECONSTRUCTED
 - 6. TO BE REPAIRED
 - 7. TO BE REPLACED
 - 8. TO BE MAINTAINED
 - 9. TO BE PRESERVED
 - 10. TO BE RESTORED
 - 11. TO BE REFINISHED
 - 12. TO BE REFINISHED AND PAINTED
 - 13. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH
 - 14. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH
 - 15. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH
 - 16. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH
 - 17. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH
 - 18. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH
 - 19. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH
 - 20. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH
 - 21. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH
 - 22. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH
 - 23. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH
 - 24. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH
 - 25. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH AND A SPECIFIC INSULATION FINISH
 - 26. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH AND A SPECIFIC INSULATION FINISH AND A SPECIFIC SOUND FINISH
 - 27. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH AND A SPECIFIC INSULATION FINISH AND A SPECIFIC SOUND FINISH AND A SPECIFIC VIBRATION FINISH
 - 28. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH AND A SPECIFIC INSULATION FINISH AND A SPECIFIC SOUND FINISH AND A SPECIFIC VIBRATION FINISH AND A SPECIFIC AIR QUALITY FINISH
 - 29. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH AND A SPECIFIC INSULATION FINISH AND A SPECIFIC SOUND FINISH AND A SPECIFIC VIBRATION FINISH AND A SPECIFIC AIR QUALITY FINISH AND A SPECIFIC ENERGY FINISH
 - 30. TO BE REFINISHED AND PAINTED WITH A SPECIFIC WALL FINISH AND A SPECIFIC ROOF FINISH AND A SPECIFIC FLOOR FINISH AND A SPECIFIC CEILING FINISH AND A SPECIFIC DOOR FINISH AND A SPECIFIC WINDOW FINISH AND A SPECIFIC LIGHTING FINISH AND A SPECIFIC MECHANICAL FINISH AND A SPECIFIC ELECTRICAL FINISH AND A SPECIFIC PLUMBING FINISH AND A SPECIFIC HEATING FINISH AND A SPECIFIC COOLING FINISH AND A SPECIFIC INSULATION FINISH AND A SPECIFIC SOUND FINISH AND A SPECIFIC VIBRATION FINISH AND A SPECIFIC AIR QUALITY FINISH AND A SPECIFIC ENERGY FINISH AND A SPECIFIC SUSTAINABILITY FINISH



2 WEST ELEVATION - EXTERIOR WALL CONDITION
SCALE: 1/8" = 1'-0"

OJT

OSCAR J. THOMAS, JR.
ARCHITECT
1000 PINE STREET
NEW ORLEANS, LA 70112
504.581.1234
www.ojt.com

PROFESSIONAL ENGINEER
OSCAR J. THOMAS, JR.
1000 PINE STREET
NEW ORLEANS, LA 70112
504.581.1234
www.ojt.com

PROFESSIONAL ARCHITECT
OSCAR J. THOMAS, JR.
1000 PINE STREET
NEW ORLEANS, LA 70112
504.581.1234
www.ojt.com

MS RAU ANTIQUES

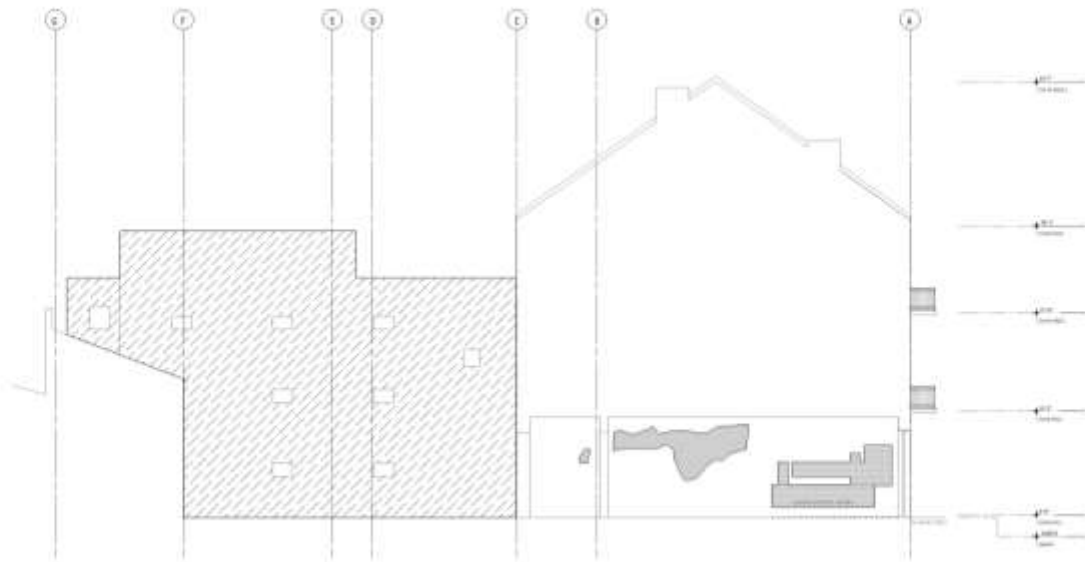
1000 PINE STREET
NEW ORLEANS, LA 70112
504.581.1234
www.msrau.com



1000 PINE STREET
NEW ORLEANS, LA 70112
504.581.1234
www.ojt.com

A025





1 WEST ELEVATION - EXTERIOR WALL CONDITION

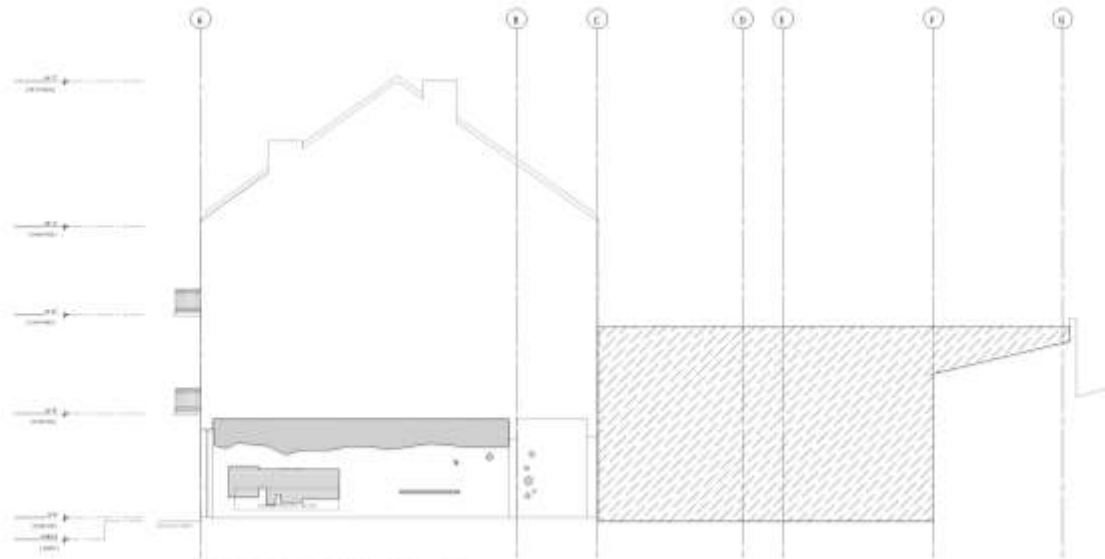
SCALE: 1/8" = 1'-0"

GENERAL NOTE

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
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5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE REGULATIONS AND ORDINANCES.

LEGEND

- 1. EXTERIOR WALL CONDITION - HATCHED AREA
- 2. EXTERIOR WALL CONDITION - HATCHED AREA
- 3. EXTERIOR WALL CONDITION - HATCHED AREA
- 4. EXTERIOR WALL CONDITION - HATCHED AREA
- 5. EXTERIOR WALL CONDITION - HATCHED AREA
- 6. EXTERIOR WALL CONDITION - HATCHED AREA
- 7. EXTERIOR WALL CONDITION - HATCHED AREA
- 8. EXTERIOR WALL CONDITION - HATCHED AREA
- 9. EXTERIOR WALL CONDITION - HATCHED AREA
- 10. EXTERIOR WALL CONDITION - HATCHED AREA



2 EAST ELEVATION - EXTERIOR WALL CONDITION

SCALE: 1/8" = 1'-0"

OJT

OWNER: [illegible]
 PROJECT: [illegible]
 DATE: [illegible]

DESIGNER OF RECORD

NAME: [illegible]
 ADDRESS: [illegible]
 PHONE: [illegible]
 FAX: [illegible]

REGISTERED PROFESSIONAL ENGINEER

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL ARCHITECT

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL INTERIOR DESIGNER

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL PLUMBER

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL ELECTRICIAN

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

MS RAU

ANTTIQUES

NAME: [illegible]
 ADDRESS: [illegible]
 PHONE: [illegible]
 FAX: [illegible]

REGISTERED PROFESSIONAL ARCHITECT

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL ARCHITECT

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL ARCHITECT

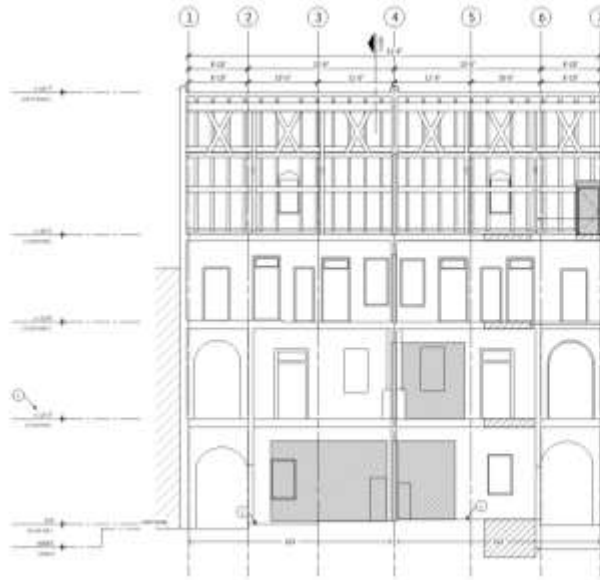
STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

REGISTERED PROFESSIONAL ARCHITECT

STATE OF [illegible]
 NO. [illegible]
 EXPIRES: [illegible]

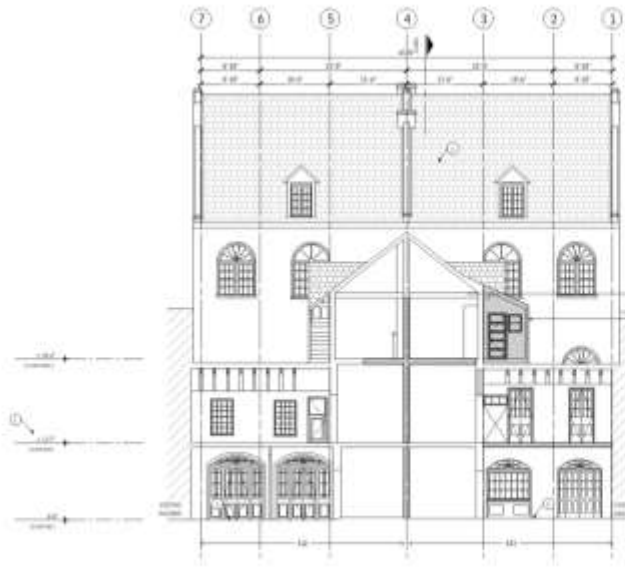
A026





1 SECTION - EXISTING
 3/8" = 1' - 0"

- GENERAL NOTE**
1. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
 2. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
 3. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
 4. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
 5. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
 6. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
 7. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN.
- REVISIONS**
1. FOUNDATION AND STRUCTURE APPROVED AND SEALS OF CONTRACTOR FOR STRUCTURE ONLY.
 2. SEE PLAN.
 3. SEE PLAN.
 4. SEE PLAN.
 5. SEE PLAN.
 6. SEE PLAN.
 7. SEE PLAN.



2 SECTION - EXISTING
 3/8" = 1' - 0"

OJT

OWNER'S REPRESENTATIVE
 NAME: OJT
 ADDRESS: 12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

DESIGNER'S REPRESENTATIVE
 NAME: MS RAU ANTIQUES
 ADDRESS: 12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

ARCHITECT'S REPRESENTATIVE
 NAME: MS RAU ANTIQUES
 ADDRESS: 12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

ENGINEER'S REPRESENTATIVE
 NAME: MS RAU ANTIQUES
 ADDRESS: 12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

CONTRACTOR'S REPRESENTATIVE
 NAME: MS RAU ANTIQUES
 ADDRESS: 12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

MS RAU ANTIQUES

12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

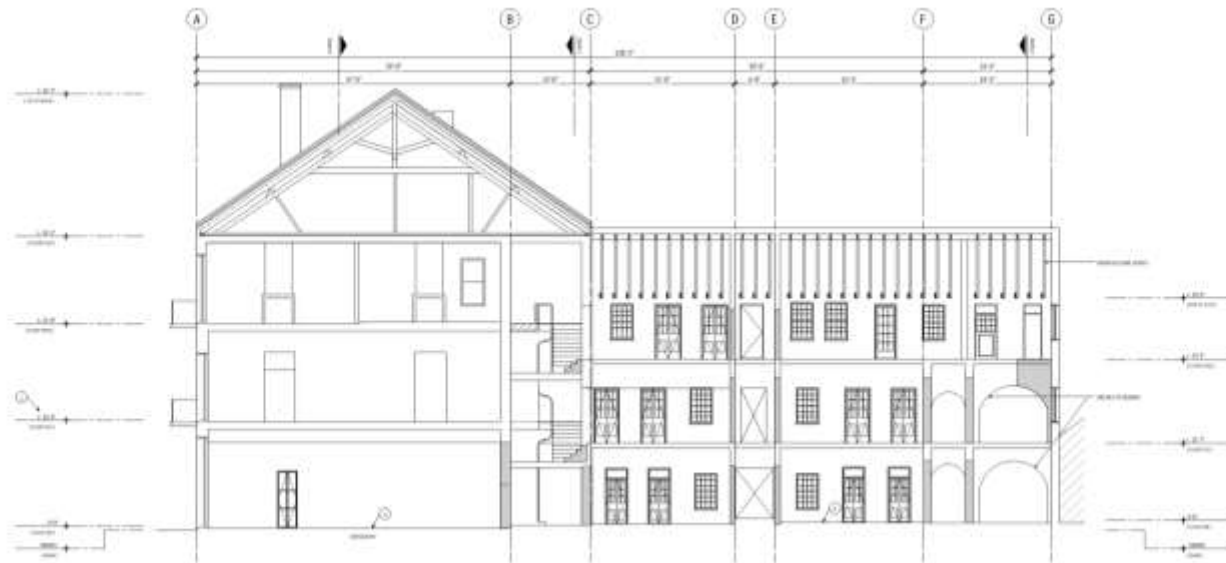


12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

12345
 CITY: NEW YORK
 STATE: NY
 ZIP: 10001

A031



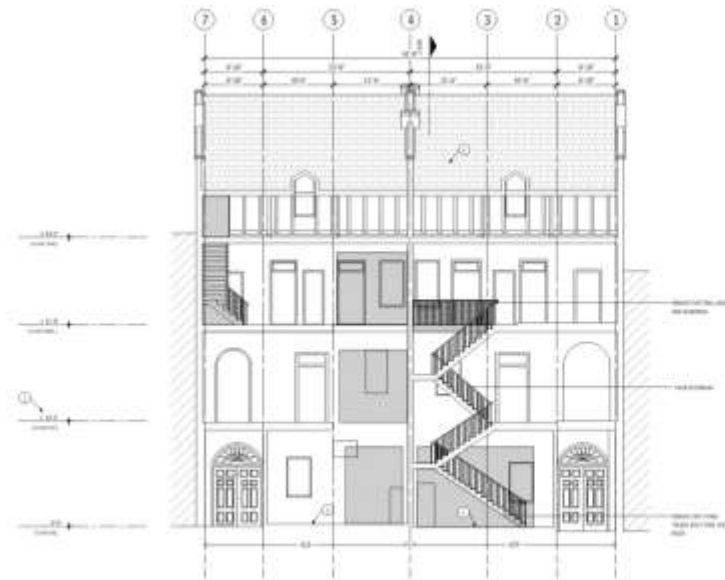


1 SECTION - EXISTING
SCALE 1/4" = 1'-0"

- GENERAL NOTE**
1. SEE GENERAL CONTRACT GENERAL NOTES ON THIS PLAN ARCHITECTURE IN SECTION 10.
 2. THIS CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY STRENGTHENING AND REPAIRS TO EXISTING STRUCTURE TO BE KEPT IN PLACE.

- REVISIONS**
1. FOUNDATION AND STRUCTURE APPROVED AND KEPT IN PLACE FOR EXISTING PROJECT.
 2. NEW WALLS
 3. EXISTING WALLS TO BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN EXISTING STRUCTURE AND TO BE KEPT IN PLACE.
 4. ALL NEW WORK TO BE COMPLETED AND INSPECTED BY THE ARCHITECT AND THE CITY OF NEW ORLEANS.
 5. ALL MATERIALS, METHODS AND DETAILS TO BE APPROVED BY THE ARCHITECT AND THE CITY OF NEW ORLEANS.

EXISTING STRUCTURE
NEW WORK
TO BE DEMOLISHED AT CLOSE



2 SECTION - EXISTING
SCALE 1/4" = 1'-0"

OJT

OWNER'S REPRESENTATIVE
1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234

ARCHITECT OF RECORD

THE NEW ARCHITECTURAL FIRM
1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234

STRUCTURAL AND MECHANICAL ENGINEER
1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234

MECHANICAL ENGINEER
1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234

ELECTRICAL ENGINEER
1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234

PLUMBING ENGINEER
1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234

MS RAIU ANTIQUES

1000 PINE STREET
NEW ORLEANS, LA 70112
PHONE: 504.581.1234



1. CONTRACT NO. - 12345
2. CONTRACT VALUE - \$1,000,000
3. CONTRACT DATE - 12/15/2017

3. REVISIONS SHEET
DATE: 02/07/2018

A032



NOTES:
 1. SEE LISTING FOR DETAILED NOTES REGARDING
 REGULATORY REQUIREMENTS.
 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE
 REGULATIONS AND ORDINANCES, INCLUDING BUT NOT LIMITED TO THE
 CITY OF NEW YORK.

REVISIONS:
 1. REVISED

----- EXISTING
 - - - - - PROPOSED
 ===== EXISTING
 ===== EXISTING
 ===== EXISTING

LEGEND:
 1. EXISTING
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 99. EXISTING
 100. EXISTING



1 SITE PLAN - PROPOSED
 DATE: 1/11/17
 SCALE: 1/8" = 1'-0"

- 01000 EXISTING CONCRETE
- 01010 EXISTING CONCRETE
- 01020 EXISTING CONCRETE
- 01030 EXISTING CONCRETE
- 01040 EXISTING CONCRETE
- 01050 EXISTING CONCRETE
- 01060 EXISTING CONCRETE
- 01070 EXISTING CONCRETE
- 01080 EXISTING CONCRETE
- 01090 EXISTING CONCRETE
- 01100 EXISTING CONCRETE
- 01110 EXISTING CONCRETE
- 01120 EXISTING CONCRETE
- 01130 EXISTING CONCRETE
- 01140 EXISTING CONCRETE
- 01150 EXISTING CONCRETE
- 01160 EXISTING CONCRETE
- 01170 EXISTING CONCRETE
- 01180 EXISTING CONCRETE
- 01190 EXISTING CONCRETE
- 01200 EXISTING CONCRETE
- 01210 EXISTING CONCRETE
- 01220 EXISTING CONCRETE
- 01230 EXISTING CONCRETE
- 01240 EXISTING CONCRETE
- 01250 EXISTING CONCRETE
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- 01280 EXISTING CONCRETE
- 01290 EXISTING CONCRETE
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- 01360 EXISTING CONCRETE
- 01370 EXISTING CONCRETE
- 01380 EXISTING CONCRETE
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- 01410 EXISTING CONCRETE
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- 01460 EXISTING CONCRETE
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- 01500 EXISTING CONCRETE
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- 01920 EXISTING CONCRETE
- 01930 EXISTING CONCRETE
- 01940 EXISTING CONCRETE
- 01950 EXISTING CONCRETE
- 01960 EXISTING CONCRETE
- 01970 EXISTING CONCRETE
- 01980 EXISTING CONCRETE
- 01990 EXISTING CONCRETE
- 02000 EXISTING CONCRETE

OJT

OFFICE OF THE CITY CLERK
 100 WALL STREET
 10TH FLOOR
 NEW YORK, NY 10038
 TEL: 212-312-1200
 FAX: 212-312-1201
 WWW.CITYCLERK.NY.GOV

MS RAU ANTIQUES

100 WALL STREET
 10TH FLOOR
 NEW YORK, NY 10038
 TEL: 212-312-1200
 FAX: 212-312-1201
 WWW.CITYCLERK.NY.GOV

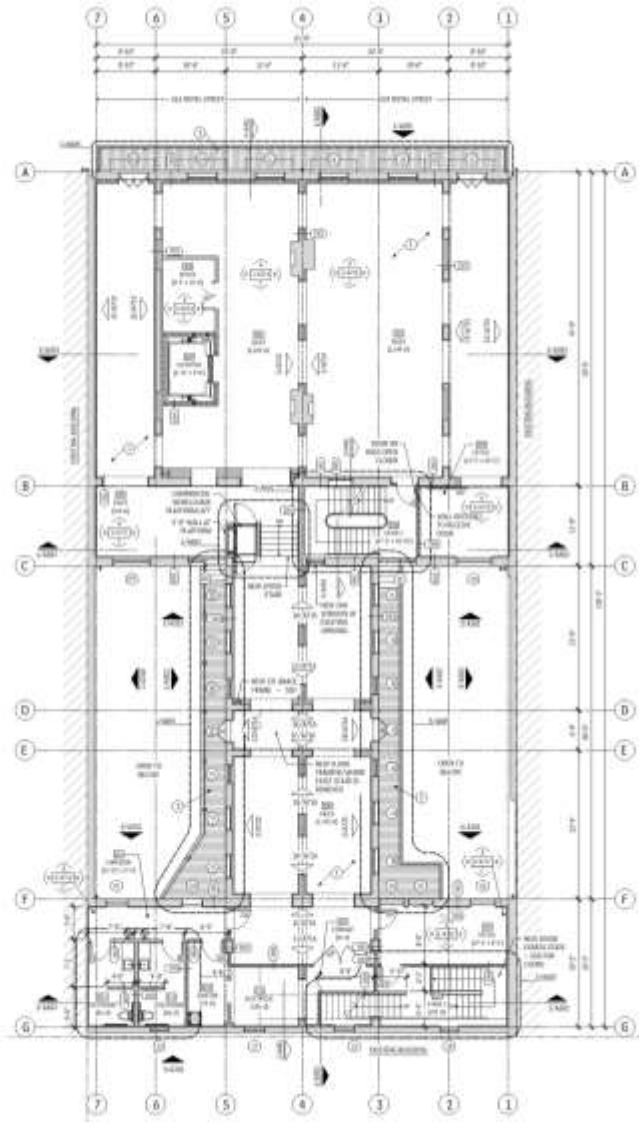


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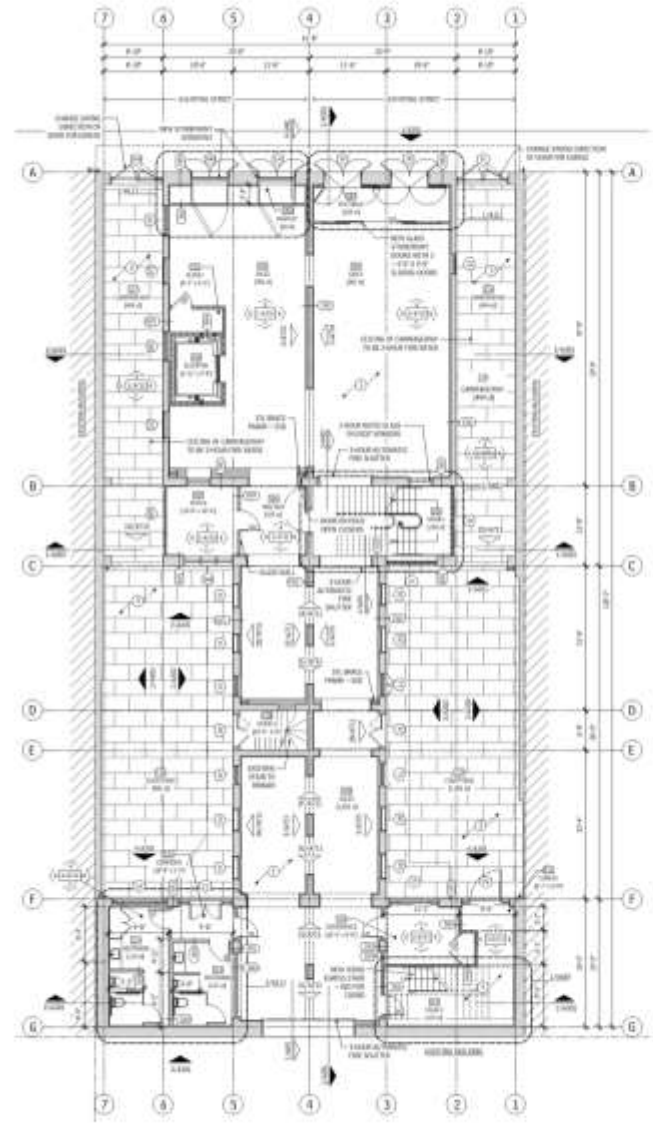
EXHIBIT 101
 100 WALL STREET
 10TH FLOOR
 NEW YORK, NY 10038
 TEL: 212-312-1200
 FAX: 212-312-1201
 WWW.CITYCLERK.NY.GOV

A100





2 SECOND FLOOR - PROPOSED
SCALE 1/8" = 1'-0"



1 FIRST FLOOR - PROPOSED
SCALE 1/8" = 1'-0"

- GENERAL NOTES**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 - SEE THE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND METHODS.
- DETAIL NOTES**
- SEE ARCHITECT FOR ALL DETAIL REQUIREMENTS.
 - SEE ARCHITECT FOR ALL DETAIL REQUIREMENTS.
 - SEE ARCHITECT FOR ALL DETAIL REQUIREMENTS.
 - SEE ARCHITECT FOR ALL DETAIL REQUIREMENTS.
 - SEE ARCHITECT FOR ALL DETAIL REQUIREMENTS.

- LEGEND**
- 1/2" WALL
 - 1/4" WALL
 - 1/2" WALL
 - 1/2" WALL
 - 1/2" WALL
 - 1/2" WALL

NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
3. SEE THE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND METHODS.

- LEGEND**
- 1/2" WALL
 - 1/4" WALL
 - 1/2" WALL
 - 1/2" WALL
 - 1/2" WALL
 - 1/2" WALL

OJT

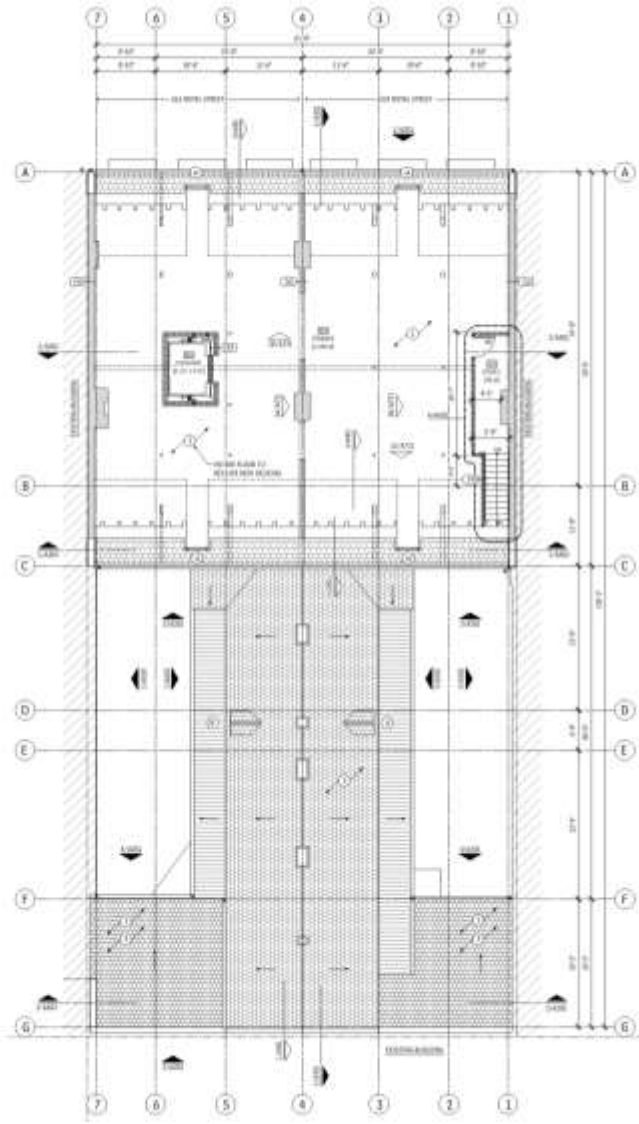
OFFICE OF JUDICIAL TRAINING
1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
504.581.1234
www.ojt.la.gov

MS RAU ANTIQUES

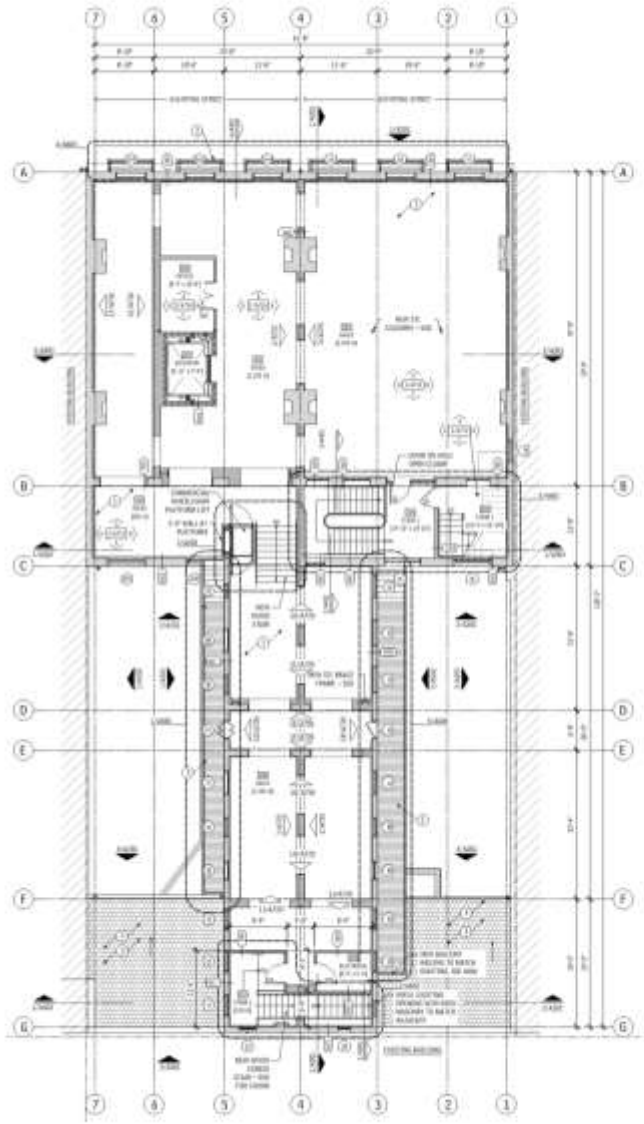
1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
504.581.1234
www.msrau.com

A101





2 FOURTH FLOOR - PROPOSED
Scale: 1/8" = 1'-0"



1 THIRD FLOOR - PROPOSED
Scale: 1/8" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC).
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).
3. SEE THE ARCHITECT'S GENERAL NOTES AND SPECIFICATIONS.

MECHANICAL NOTES

1. SEE MECHANICAL SCHEDULES FOR ALL MECHANICAL EQUIPMENT.
2. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).
3. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).
4. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL PLUMBING CODE (IMC).

LEGEND

- 1/2" REINFORCING BARS
- 3/4" REINFORCING BARS
- 1" REINFORCING BARS
- 1 1/2" REINFORCING BARS
- 2" REINFORCING BARS
- 3" REINFORCING BARS
- 4" REINFORCING BARS
- 6" REINFORCING BARS
- 8" REINFORCING BARS
- 10" REINFORCING BARS
- 12" REINFORCING BARS
- 14" REINFORCING BARS
- 16" REINFORCING BARS
- 18" REINFORCING BARS
- 20" REINFORCING BARS
- 22" REINFORCING BARS
- 24" REINFORCING BARS
- 26" REINFORCING BARS
- 28" REINFORCING BARS
- 30" REINFORCING BARS
- 32" REINFORCING BARS
- 34" REINFORCING BARS
- 36" REINFORCING BARS
- 38" REINFORCING BARS
- 40" REINFORCING BARS
- 42" REINFORCING BARS
- 44" REINFORCING BARS
- 46" REINFORCING BARS
- 48" REINFORCING BARS
- 50" REINFORCING BARS
- 52" REINFORCING BARS
- 54" REINFORCING BARS
- 56" REINFORCING BARS
- 58" REINFORCING BARS
- 60" REINFORCING BARS
- 62" REINFORCING BARS
- 64" REINFORCING BARS
- 66" REINFORCING BARS
- 68" REINFORCING BARS
- 70" REINFORCING BARS
- 72" REINFORCING BARS
- 74" REINFORCING BARS
- 76" REINFORCING BARS
- 78" REINFORCING BARS
- 80" REINFORCING BARS
- 82" REINFORCING BARS
- 84" REINFORCING BARS
- 86" REINFORCING BARS
- 88" REINFORCING BARS
- 90" REINFORCING BARS
- 92" REINFORCING BARS
- 94" REINFORCING BARS
- 96" REINFORCING BARS
- 98" REINFORCING BARS
- 100" REINFORCING BARS

MECHANICAL SCHEDULES

MECH-01: MECHANICAL SCHEDULE 01
MECH-02: MECHANICAL SCHEDULE 02
MECH-03: MECHANICAL SCHEDULE 03
MECH-04: MECHANICAL SCHEDULE 04
MECH-05: MECHANICAL SCHEDULE 05
MECH-06: MECHANICAL SCHEDULE 06
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MECH-99: MECHANICAL SCHEDULE 99
MECH-100: MECHANICAL SCHEDULE 100

OJT

OFFICE OF JUDICIAL TRAINING
1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
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www.ojt.la.gov

MS RAI ANTIQUES

1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
504.581.1234
www.msraiantiques.com

ARCHITECTURAL AND ENGINEERING

1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
504.581.1234
www.ae.com

MECHANICAL ENGINEERING

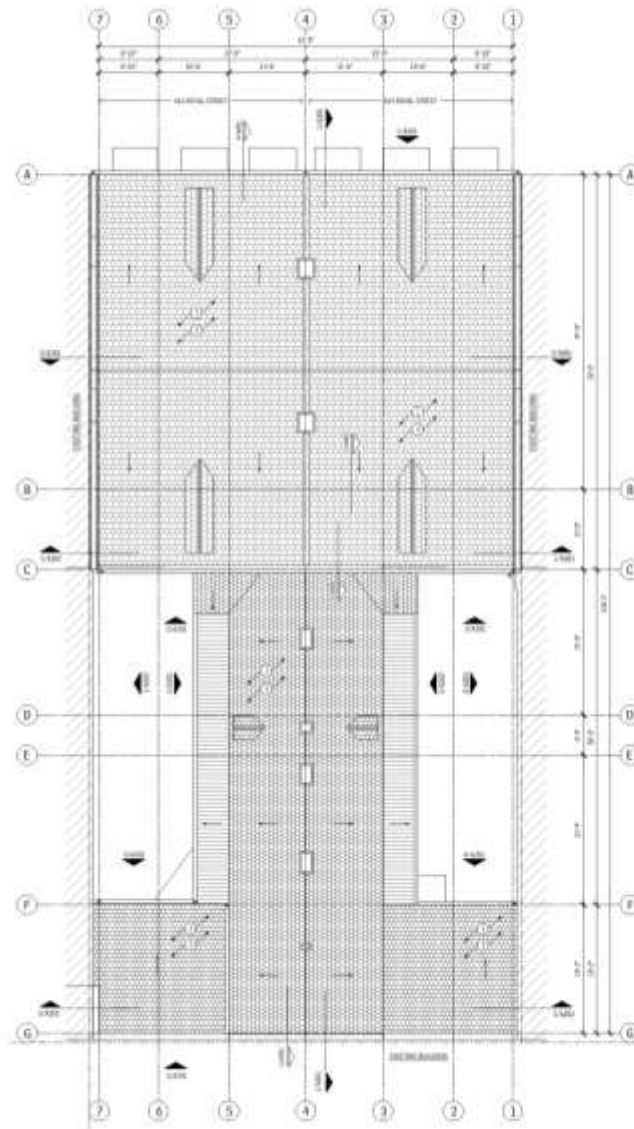
1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
504.581.1234
www.me.com

MECHANICAL ENGINEERING

1000 PINE STREET
SUITE 1000
NEW ORLEANS, LA 70112
504.581.1234
www.me.com

A102





I ROOF - PROPOSED
Scale: 1/8" = 1'-0"

- NOTES:**
- SEE GENERAL AND SPECIAL CONDITIONS SPECIFICATIONS FOR ALL WORK.
 - SEE GENERAL AND SPECIAL CONDITIONS SPECIFICATIONS FOR ALL WORK.
 - CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF MONTREAL'S ZONING BY-LAW.
 - SEE THE ARCHITECT'S GENERAL NOTES FOR ALL WORK.
- GENERAL NOTES:**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MONTREAL'S ZONING BY-LAW.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MONTREAL'S ZONING BY-LAW.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MONTREAL'S ZONING BY-LAW.

- CONCRETE
- STEEL
- WOOD
- GLASS
- INSULATION
- MECHANICAL
- ELECTRICAL
- PLUMBING
- MECHANICAL
- ELECTRICAL
- PLUMBING

- LEGEND:**
- 1.000 CONCRETE
 - 2.000 STEEL
 - 3.000 WOOD
 - 4.000 GLASS
 - 5.000 INSULATION
 - 6.000 MECHANICAL
 - 7.000 ELECTRICAL
 - 8.000 PLUMBING
 - 9.000 MECHANICAL
 - 10.000 ELECTRICAL
 - 11.000 PLUMBING

OJT

ON-JOB TRAINING

FOR THE CONSTRUCTION INDUSTRY

1000 AVENUE DU PARC

MONTRÉAL, QUÉBEC H3T 2M6

514-393-7777

www.ojt.ca

MS RAU ANTIQUES

1000 AVENUE DU PARC

MONTRÉAL, QUÉBEC H3T 2M6

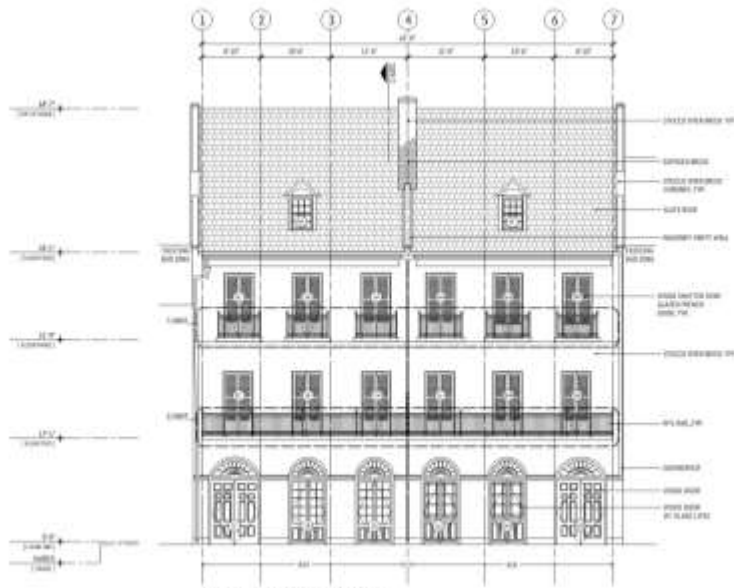
514-393-7777

www.msrau.com



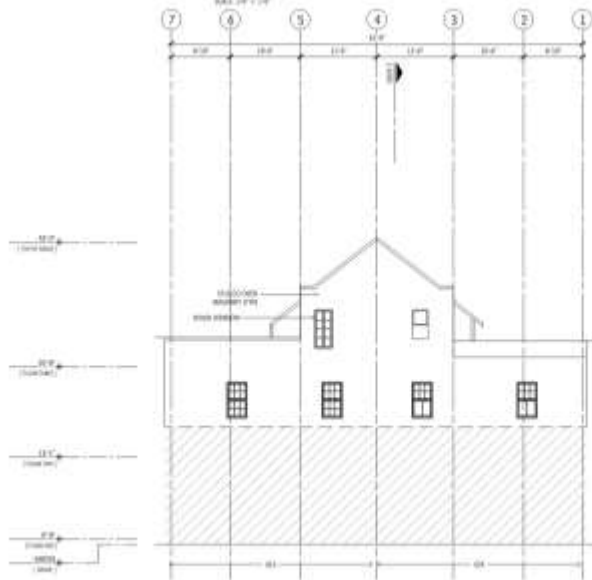
A103





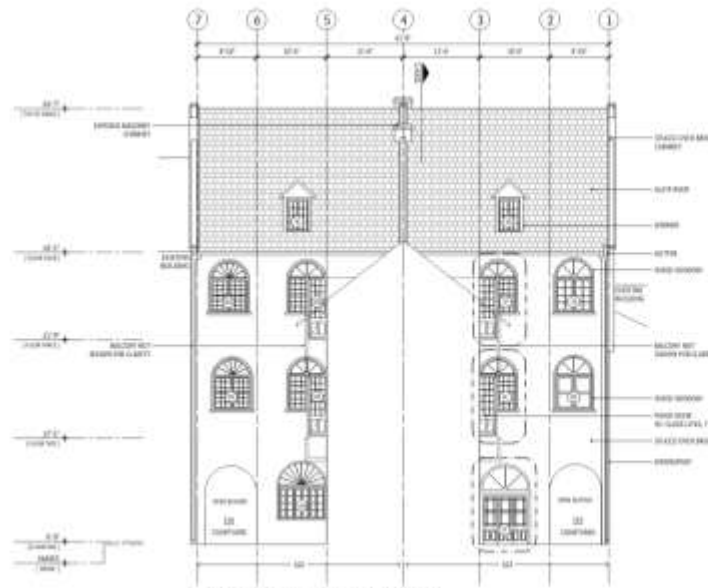
1 NORTH ELEVATION - PROPOSED

SCALE 1/8" = 1'-0"



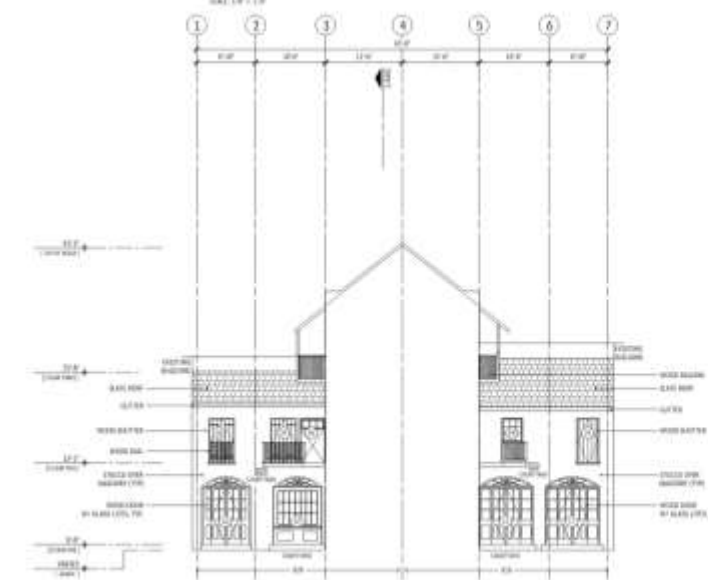
3 SOUTH ELEVATION - PROPOSED

SCALE 1/8" = 1'-0"



2 SOUTH COURTYARD ELEVATION - PROPOSED

SCALE 1/8" = 1'-0"



4 NORTH COURTYARD ELEVATION - PROPOSED

SCALE 1/8" = 1'-0"

- GENERAL NOTES**
1. ALL MATERIALS TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

- FINISHES**
1. SEE FINISH SCHEDULE.

- SYMBOLS**
- LINE WORK
 - LINE WORK
 - LINE WORK
 - LINE WORK
 - LINE WORK
 - LINE WORK

NOTATION

THE ARCHITECT HAS CONDUCTED VISUAL SURVEYS AND PHOTOGRAPHS OF THE EXISTING BUILDING AND SURROUNDINGS TO VERIFY THE LOCATION AND SCOPE OF THE WORK. THE ARCHITECT HAS CONDUCTED VISUAL SURVEYS AND PHOTOGRAPHS OF THE EXISTING BUILDING AND SURROUNDINGS TO VERIFY THE LOCATION AND SCOPE OF THE WORK.

- FINISH SCHEDULE**
- 01000 EXTERIOR WALLS
 - 02000 EXTERIOR DOORS
 - 03000 EXTERIOR WINDOWS
 - 04000 ROOFING
 - 05000 INTERIORS
 - 06000 MECHANICAL, ELECTRICAL, AND PLUMBING
 - 07000 PAINTS AND COATINGS
 - 08000 FINISHES
 - 09000 FURNITURE, FIXTURES, AND EQUIPMENT
 - 10000 SPECIALTIES

- FINISH SCHEDULE**
- 01000 EXTERIOR WALLS
 - 02000 EXTERIOR DOORS
 - 03000 EXTERIOR WINDOWS
 - 04000 ROOFING
 - 05000 INTERIORS
 - 06000 MECHANICAL, ELECTRICAL, AND PLUMBING
 - 07000 PAINTS AND COATINGS
 - 08000 FINISHES
 - 09000 FURNITURE, FIXTURES, AND EQUIPMENT
 - 10000 SPECIALTIES

OJT

OFFICE OF JUDICIAL TRAINING
1000 PINE STREET
NEW ORLEANS, LA 70119
504.581.1234

PROFESSIONAL ARCHITECT

THE ARCHITECT'S OFFICE

1000 PINE STREET

NEW ORLEANS, LA 70119

504.581.1234

PROFESSIONAL ARCHITECT

1000 PINE STREET

NEW ORLEANS, LA 70119

504.581.1234

PROFESSIONAL ARCHITECT

1000 PINE STREET

NEW ORLEANS, LA 70119

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PROFESSIONAL ARCHITECT

1000 PINE STREET

NEW ORLEANS, LA 70119

504.581.1234

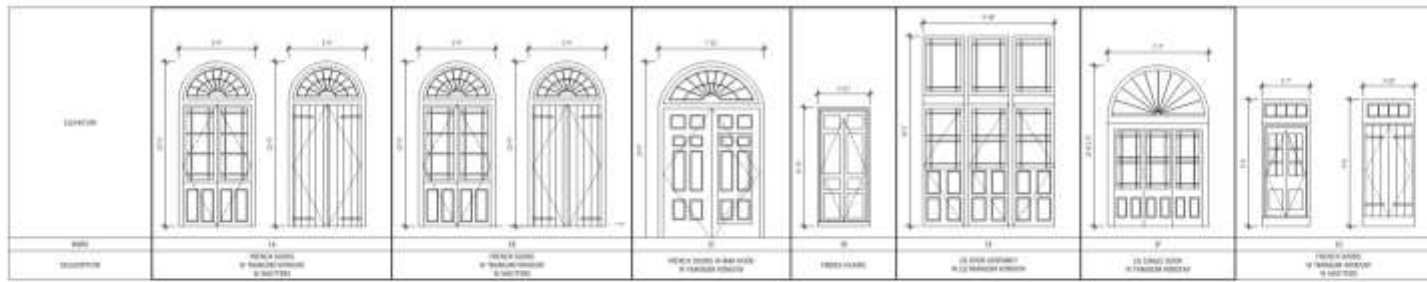
PROFESSIONAL ARCHITECT

1000 PINE STREET

NEW ORLEANS, LA 70119

504.581.1234

PROFESSIONAL ARCHITECT



GENERAL NOTES

- ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- ALL FINISHES SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- ALL FINISHES SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.



1 622-624 ROYAL STREET / FLOOR ONE
SANS LIT - 1/18

GENERAL INFORMATION		PROPERTY										DEED										DEED			REMARKS																																																																																																																																																																																				
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OJT

FOR ALL PRACTICAL PURPOSES
THIS DOCUMENT IS VALID
UNLESS OTHERWISE SPECIFIED
BY THE CONTRACT DOCUMENTS
AND ALL APPLICABLE LOCAL ORDINANCES.

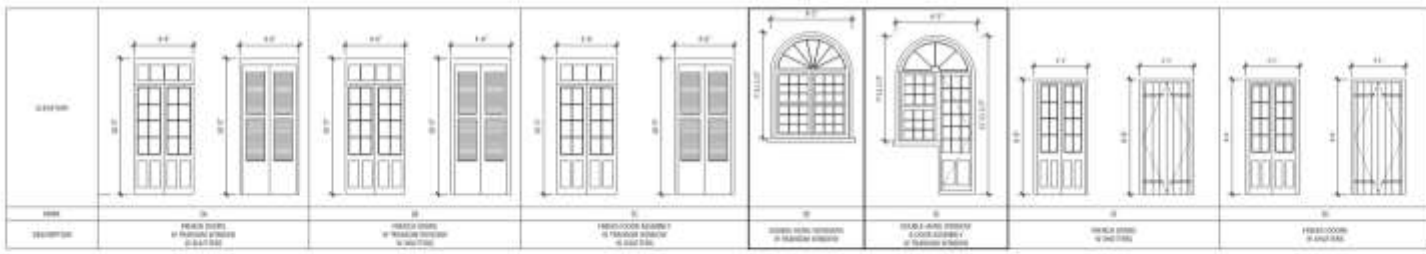
MS RAU ANTIQUES



ESTABLISHED 1938

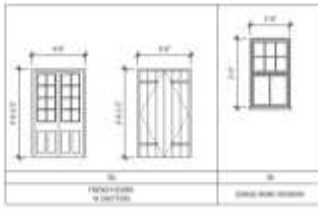
A511





GENERAL NOTES

- ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.



303-624 ROYAL STREET / FLOOR TWO

GENERAL INFORMATION				RENDER												PICK												GUTTER											
ITEM NO.	QUANTITY	UNIT	DESCRIPTION	1			2			3			4			5			6			7			8			9			10			11			12		

OJT

OWNER: [Name]

DESIGNER: [Name]

CONTRACT NO. [Number]

DATE: [Date]

MS RAU ANTIQUES

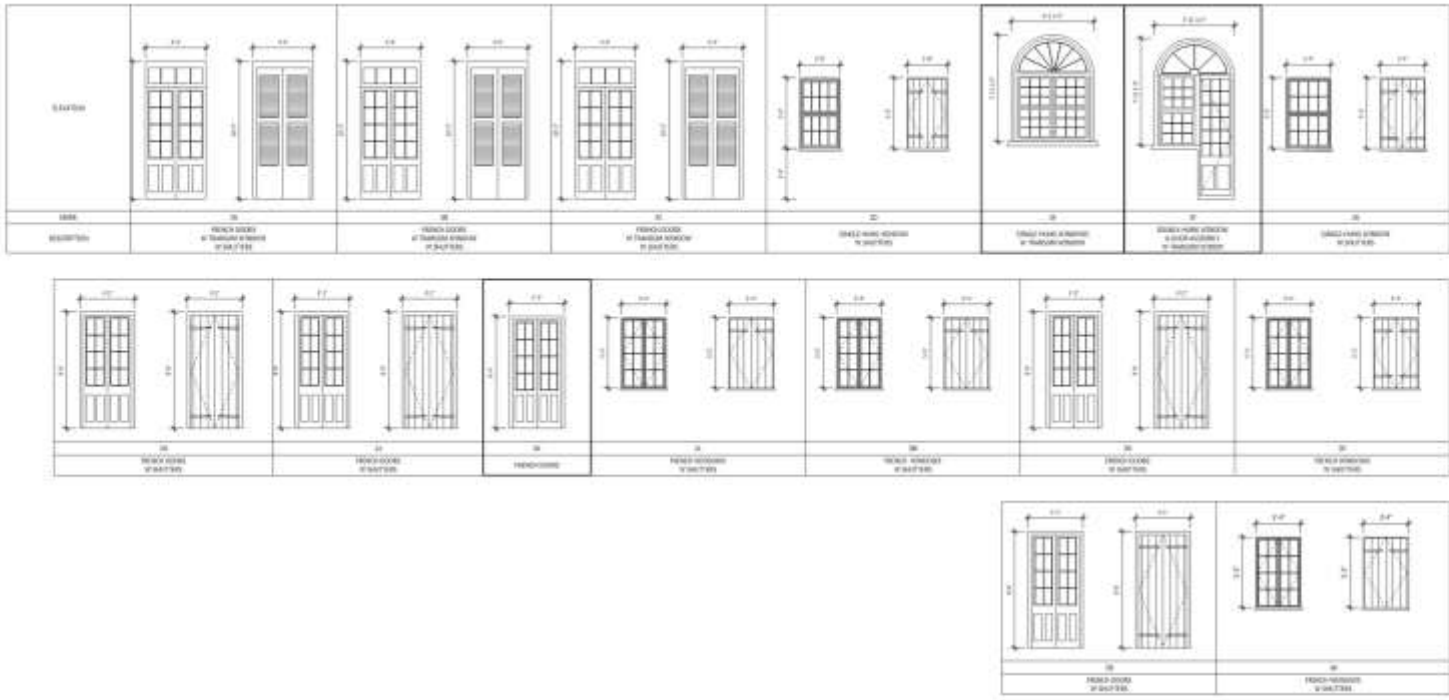
1000 [Address]

[City, State, Zip]



A513





GENERAL NOTES:

1. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
2. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
3. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
4. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
5. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
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17. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
18. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
19. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.
20. SEE GENERAL FOR EXACT DIMENSIONS AND FINISHES.

1 622-624 ROYAL STREET / FLOOR THREE
SUITE 317 - 117

OJT

OFFICE OF JUDICIAL TRAINING
1177 JUDICIAL CENTER
SUITE 317
1177 JUDICIAL CENTER

MS RAU ANTIQUES
1177 JUDICIAL CENTER
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MS RAU ANTIQUES



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SUITE 317
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SUITE 317
1177 JUDICIAL CENTER

A515

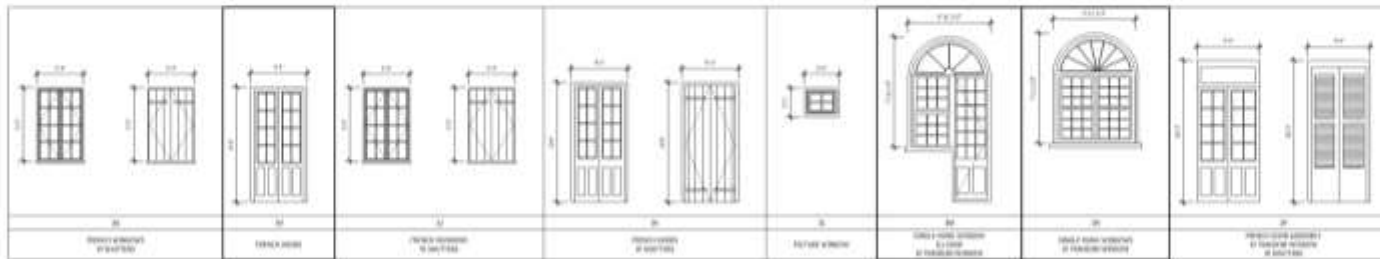
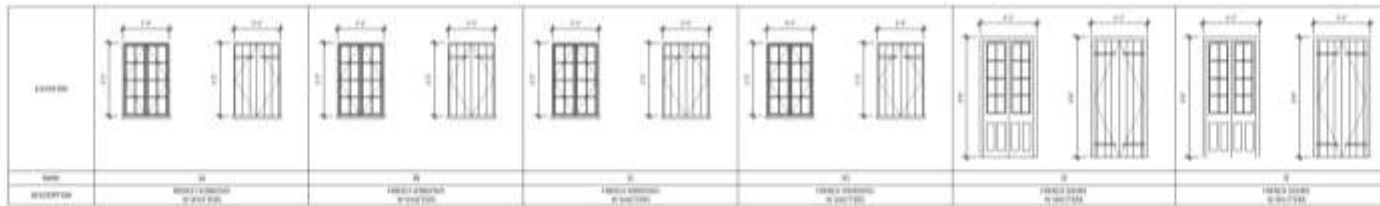
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1000	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1001	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1002	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1003	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1004	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1005	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1006	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1007	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1008	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1009	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1010	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1011	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1012	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1013	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1014	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1015	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"	1016	FRANCE DOOR W/ TRANSOM WINDOW W/ 24" x 24"		

1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317

1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317

1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317 - 1177 JUDICIAL CENTER SUITE 317





GENERAL NOTES

1. SEE DRAWING FOR GREAT CORNER ARCHITECTURE FOR ADDITIONAL REQUIREMENTS.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

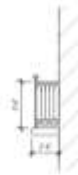
1 616-638 ROYAL STREET / FLOOR THREE
 DRAWN BY: J. J. J.

STAIRCASE	STAIRCASE	STAIRCASE	STAIRCASE	STAIRCASE	STAIRCASE	WINDOW												DOOR												SHUTTER																																																																					
						1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94
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OJT
 OFFICE OF JUDICIAL TRAINING
 1000 UNIVERSITY AVENUE
 SUITE 1000
 ANN ARBOR, MI 48106-1500
 TEL: 734.769.1234
 FAX: 734.769.1235
 WWW.OJT.MICHIGAN.GOV

MS RAU ANTIQUES
 1000 UNIVERSITY AVENUE
 SUITE 1000
 ANN ARBOR, MI 48106-1500
 TEL: 734.769.1234
 FAX: 734.769.1235
 WWW.MSRAUANTIQUES.COM

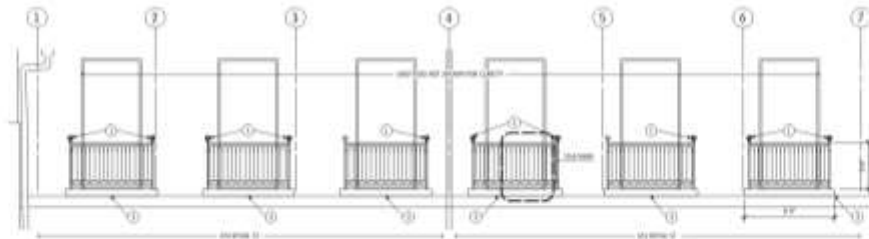




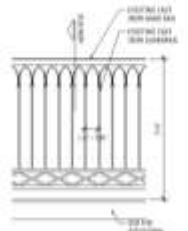
9 NORTH BALCONY - LEVEL 3 ELEV W
Scale: 1/4" = 1'-0"



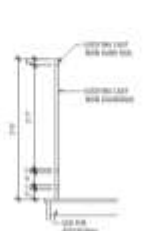
8 NORTH BALCONY - LEVEL 3 ELEV E
Scale: 1/4" = 1'-0"



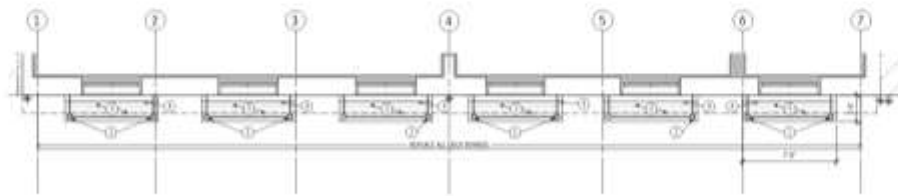
7 NORTH BALCONY - LEVEL 3 ELEVATION
Scale: 1/4" = 1'-0"



10.A NORTH BALCONY - DETAIL ELEV.
Scale: 1/4" = 1'-0"



10.B NORTH BALCONY - SECTION
Scale: 1/4" = 1'-0"



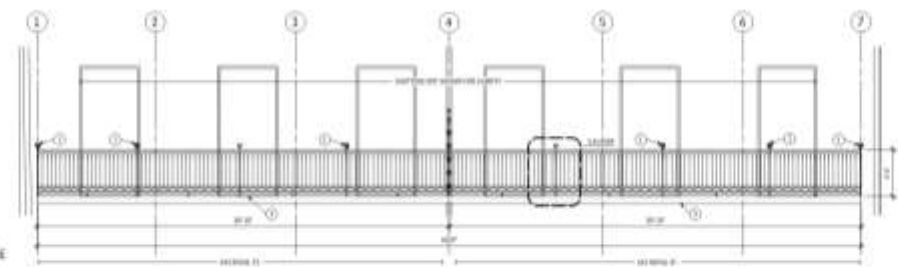
6 NORTH BALCONY - LEVEL 3 PLAN
Scale: 1/4" = 1'-0"



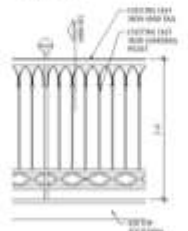
4 NORTH BALCONY - LEVEL 2 ELEV W
Scale: 1/4" = 1'-0"



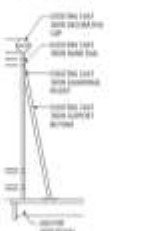
3 NORTH BALCONY - LEVEL 2 ELEV E
Scale: 1/4" = 1'-0"



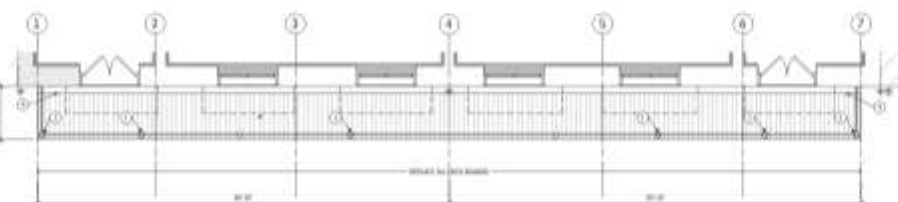
2 NORTH BALCONY - LEVEL 2 ELEVATION
Scale: 1/4" = 1'-0"



5.A NORTH BALCONY - DETAIL ELEV.
Scale: 1/4" = 1'-0"



5.B NORTH BALCONY - SECTION
Scale: 1/4" = 1'-0"



1 NORTH BALCONY - LEVEL 2 PLAN
Scale: 1/4" = 1'-0"

- GENERAL NOTES**
- SEE DRAWING FOR EXACT DIMENSIONS AND FOR ALL MATERIAL SPECIFICATIONS.
 - SEE DRAWING FOR EXACT FINISHES AND LIGHT FIXTURES AND ELECTRICAL SYMBOLS TO BE INSTALLED IN THE FIELD.
- DETAIL NOTES**
- SEE DRAWING FOR EXACT DIMENSIONS.
 - SEE DRAWING FOR EXACT FINISHES AND LIGHT FIXTURES AND ELECTRICAL SYMBOLS TO BE INSTALLED IN THE FIELD.
 - SEE DRAWING FOR EXACT DIMENSIONS AND FINISHES.

- BALCONY RAILING ASSEMBLY (ELEVATION)
- BALCONY RAILING (SECTION)

OJT

OFFICE OF JUDICIAL TRIAL
1000 PINE STREET
SUITE 1000
PHILADELPHIA, PA 19107
TEL: 215-567-8000
WWW.OJT.PA.GOV

MS RAU ANTIQUES

1000 PINE STREET
SUITE 1000
PHILADELPHIA, PA 19107
TEL: 215-567-8000



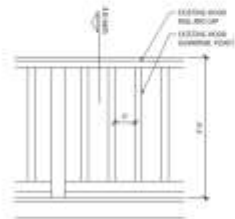
CONTRACT NO. 1000
DATE OF ISSUE: 02/07/2018

A604

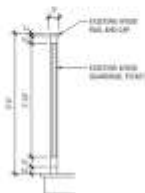




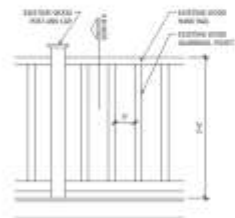
7 STAIR 3 – LEVEL 2 PLAN
SCALE 1/4" = 1'-0"



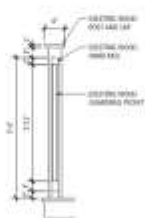
8.A EAST BALCONY – DETAIL ELEV.
SCALE 1/4" = 1'-0"



8.B EAST BALCONY – SECTION
SCALE 1/4" = 1'-0"



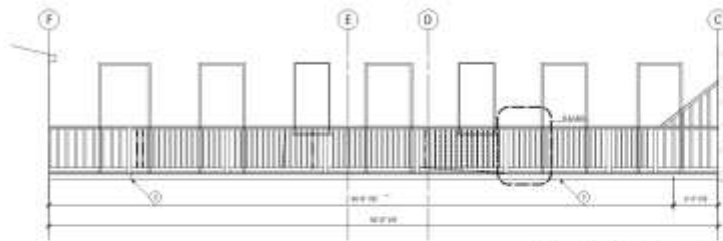
4.A WEST BALCONY – DETAIL ELEV.
SCALE 1/4" = 1'-0"



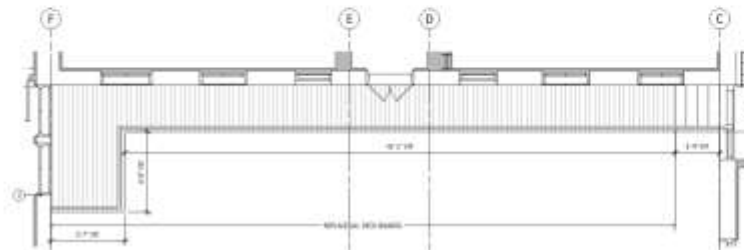
4.B WEST BALCONY – SECTION
SCALE 1/4" = 1'-0"



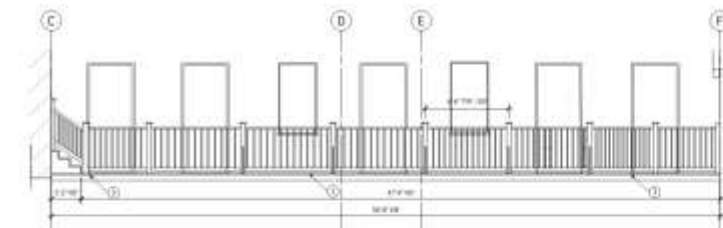
3 WEST BALCONY – LEVEL 2 ELEVATION
SCALE 1/4" = 1'-0"



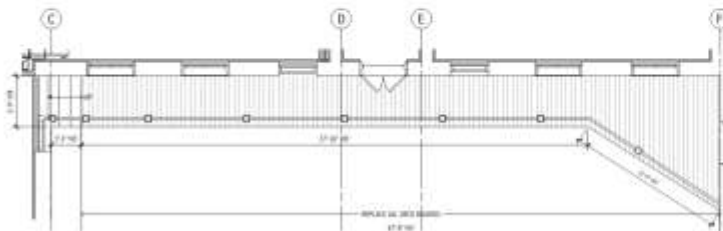
6 EAST BALCONY – LEVEL 2 ELEVATION
SCALE 1/4" = 1'-0"



5 EAST BALCONY – LEVEL 2 PLAN
SCALE 1/4" = 1'-0"



2 WEST BALCONY – LEVEL 2 ELEVATION
SCALE 1/4" = 1'-0"



1 WEST BALCONY – LEVEL 2 PLAN
SCALE 1/4" = 1'-0"

GENERAL NOTES

1. SEE ARCHITECT'S CONTRACT DOCUMENTS AND SPECIFICATIONS FOR ALL MATERIAL REQUIREMENTS.
2. USE APPROVED MATERIALS. MATERIALS SHALL BE SUBMITTED FOR APPROVAL TO THE ARCHITECT.

DETAIL NOTES

1. NEW RAILINGS SHALL BE INSTALLED PER ARCHITECT'S CONTRACT DOCUMENTS AND SPECIFICATIONS.
2. MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
3. MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
4. MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
5. MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

--- BALUSTRADE AFFIXATION POINTS
--- BALUSTRADE, IN PLACE OF FINISH

OJT

OPERATIONAL TESTING
CONSULTING ENGINEERS
1000 W. 10TH AVENUE
SUITE 200
DENVER, CO 80202
PH: 303.733.1111
WWW.OJT-TESTING.COM

FOR INFORMATION ONLY
NO CONTRACT DOCUMENTS
NO CONTRACT DOCUMENTS
NO CONTRACT DOCUMENTS
NO CONTRACT DOCUMENTS

ARCHITECTURAL RENDERING
CONSULTING ENGINEERS
1000 W. 10TH AVENUE
SUITE 200
DENVER, CO 80202
PH: 303.733.1111
WWW.OJT-TESTING.COM

ARCHITECTURAL RENDERING
CONSULTING ENGINEERS
1000 W. 10TH AVENUE
SUITE 200
DENVER, CO 80202
PH: 303.733.1111
WWW.OJT-TESTING.COM

MS RAU ANTIQUES

1000 W. 10TH AVENUE
SUITE 200
DENVER, CO 80202
PH: 303.733.1111
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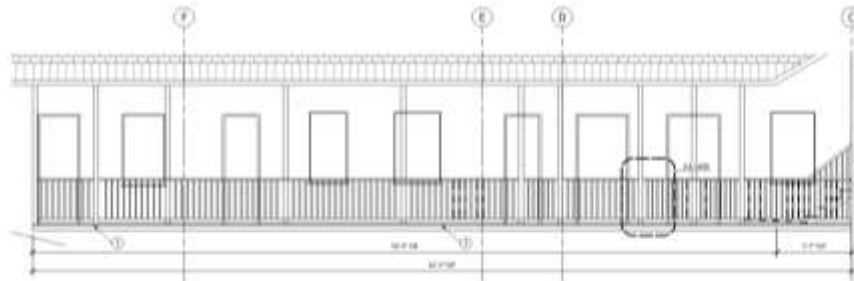
1000 W. 10TH AVENUE
SUITE 200
DENVER, CO 80202
PH: 303.733.1111
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A605





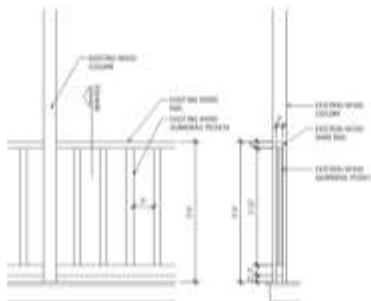
7 EAST BALCONY - LEVEL 3 ELEVATION
SCALE: 1/4" = 1'-0"



6 EAST BALCONY - LEVEL 3 ELEVATION
SCALE: 1/4" = 1'-0"

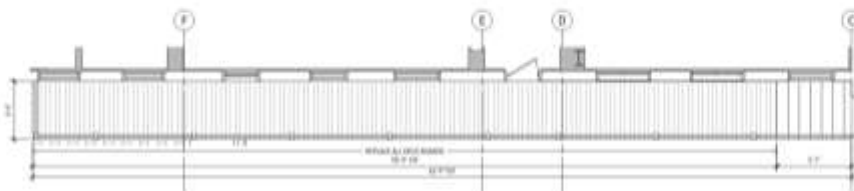
- GENERAL NOTES**
- SEE GENERAL CONTRACT GENERAL NOTES ON BALCONY RAILINGS AND RAILINGS.
 - SEE GENERAL CONTRACT GENERAL NOTES ON BALCONY RAILINGS AND RAILINGS.
 - SEE GENERAL CONTRACT GENERAL NOTES ON BALCONY RAILINGS AND RAILINGS.
- DETAILS**
- SEE GENERAL CONTRACT GENERAL NOTES ON BALCONY RAILINGS AND RAILINGS.
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- SEE GENERAL CONTRACT GENERAL NOTES ON BALCONY RAILINGS AND RAILINGS.
- SEE GENERAL CONTRACT GENERAL NOTES ON BALCONY RAILINGS AND RAILINGS.



8.A EAST BALCONY - DETAIL ELEV.
SCALE: 1/4" = 1'-0"

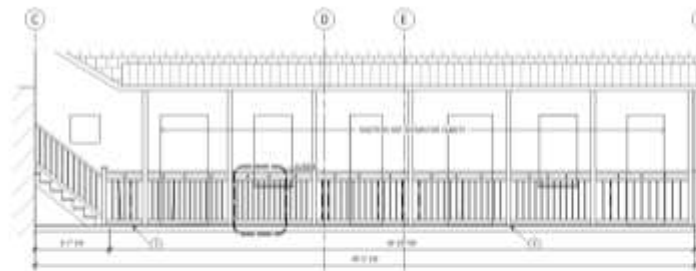
8.B EAST BALCONY - SECTION
SCALE: 1/4" = 1'-0"



5 EAST BALCONY - LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"



3 WEST BALCONY - LEVEL 3 ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST BALCONY - LEVEL 3 ELEVATION
SCALE: 1/4" = 1'-0"

OJT

OWNER: OJT
ARCHITECT: MS RAU ANTIQUES
DATE: 02/07/12

PROJECT: OJT

DATE: 02/07/12

PROJECT: OJT

DATE: 02/07/12

PROJECT: OJT

DATE: 02/07/12

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PROJECT: OJT

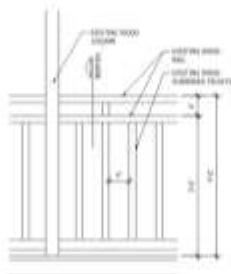
DATE: 02/07/12

PROJECT: OJT

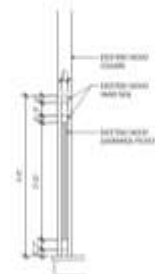
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PROJECT: OJT

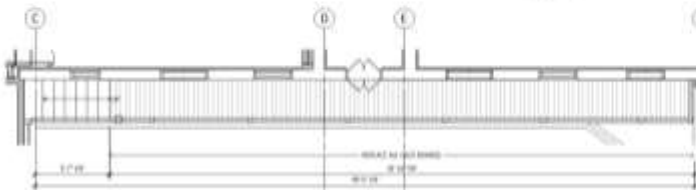
DATE: 02/07/12



4.A WEST BALCONY - DETAIL ELEV.
SCALE: 1/4" = 1'-0"



4.B WEST BALCONY - SECTION
SCALE: 1/4" = 1'-0"



1 WEST BALCONY - LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"

MS RAU ANTIQUES

ARCHITECT

DATE: 02/07/12

PROJECT: OJT

DATE: 02/07/12

PROJECT: OJT

DATE: 02/07/12

PROJECT: OJT

DATE: 02/07/12

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DATE: 02/07/12

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DATE: 02/07/12

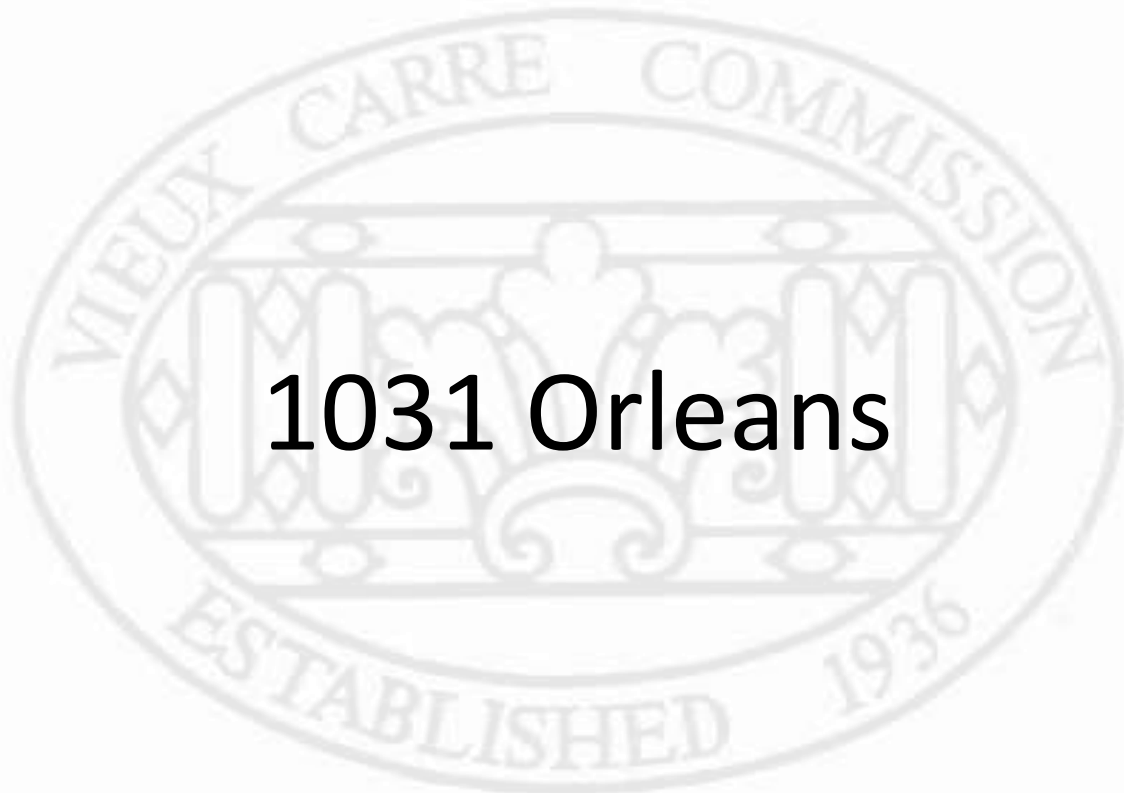
PROJECT: OJT

DATE: 02/07/12

PROJECT: OJT

A606





1031 Orleans



1031 Orleans

VCC Architectural Committee

October 8, 2013



1031 Orleans

VCC Architectural Committee



October 8, 2013



1031 Orleans

VCC Architectural Committee



October 8, 2013



1031 Orleans

VCC Architectural Committee

October 8, 2013



1031 Orleans

VCC Architectural Committee



October 8, 2013

1031 ORLEANS AVE. - BUILDING IMPROVEMENTS

1031 ORLEANS AVENUE
NEW ORLEANS, LOUISIANA

Owner
Cesar Burgos
3525 Canal Street
New Orleans, Louisiana 70119

Architect
John C. Williams Architects, LLC
842 Baronne St.
New Orleans, Louisiana 70113

Structural Engineer
PACE Group LLC
3813 Division St, Suite 200
Metairie, Louisiana 70002

Mechanical/Plumbing Engineer: N/A
Scope = \$15,000

Electrical Engineer: N/A
Scope = \$15,000

SHEET INDEX

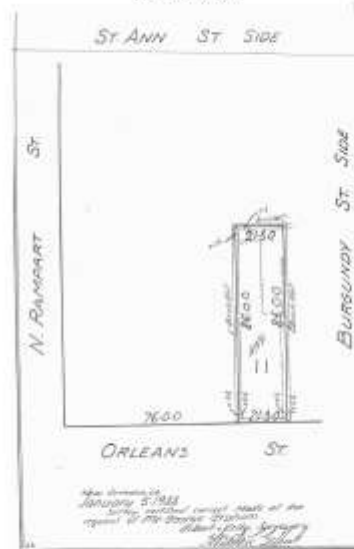
ARCHITECTURAL

T 000	TITLE SHEET,	A 201	EXTERIOR ELEVATIONS
D 101	SECOND & THIRD FLOOR DEMOLITION PLANS	A 202	EXTERIOR ELEVATIONS
D 102	THIRD FLOOR DEMOLITION PLAN	A 300	DOOR & WINDOW SCHEDULES
A 100	SITE / ROOF PLAN	A 401	REFLECTED CEILING PLANS
A 101	FIRST & SECOND FLOOR PLANS	A 402	REFLECTED CEILING PLAN
A 102	THIRD FLOOR PLAN		

VICINITY MAP



PROPERTY SURVEY



STATE OF LOUISIANA
Professional Engineer
John C. Williams
No. 12345
Exp. 12/31/2025

1031 ORLEANS ST.
BUILDING IMPROVEMENTS
1031 Orleans Street, New Orleans, LA 70116

REVISIONS

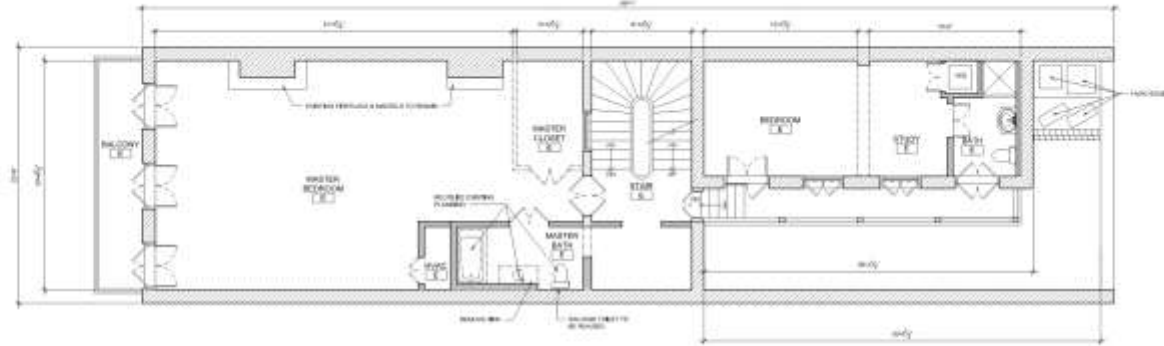
No.	Date	By

DATE: 1/15/2025
SCALE: AS SHOWN
BY: JAW
CHECKED: JAW
DATE: 1/15/2025

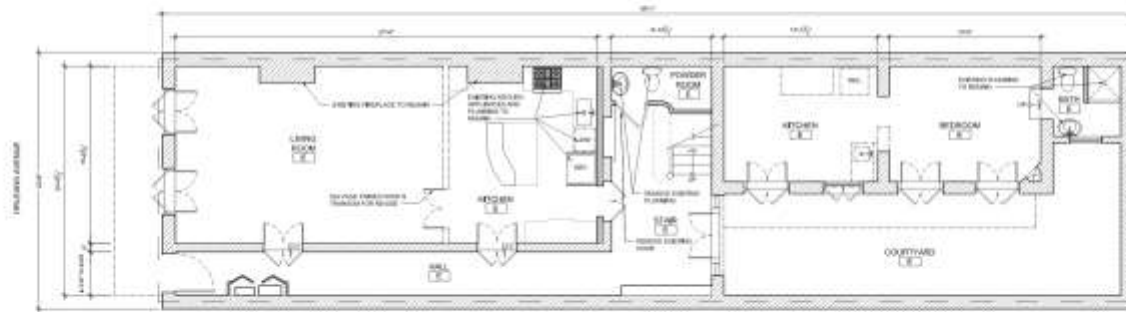
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PERMIT SET

1031 ORLEANS AVE.



2 SECOND FLOOR DEMO PLAN
DATE: 11/11/10



PALETTE

	EXISTING CONCRETE FLOOR
	EXISTING INTERIOR WALL
	EXISTING EXTERIOR WALL
	EXISTING EXTERIOR WALL

1 FIRST FLOOR DEMO PLAN
DATE: 11/11/10



WALTER
ARCHITECTURAL
ARCHITECTS

1031 ORLEANS STREET, NEW ORLEANS, LA 70116
504.581.1111
www.walterarchitects.com



1031 ORLEANS ST.
BUILDING IMPROVEMENTS
1031 Orleans Street, New Orleans, LA 70116

REVISIONS

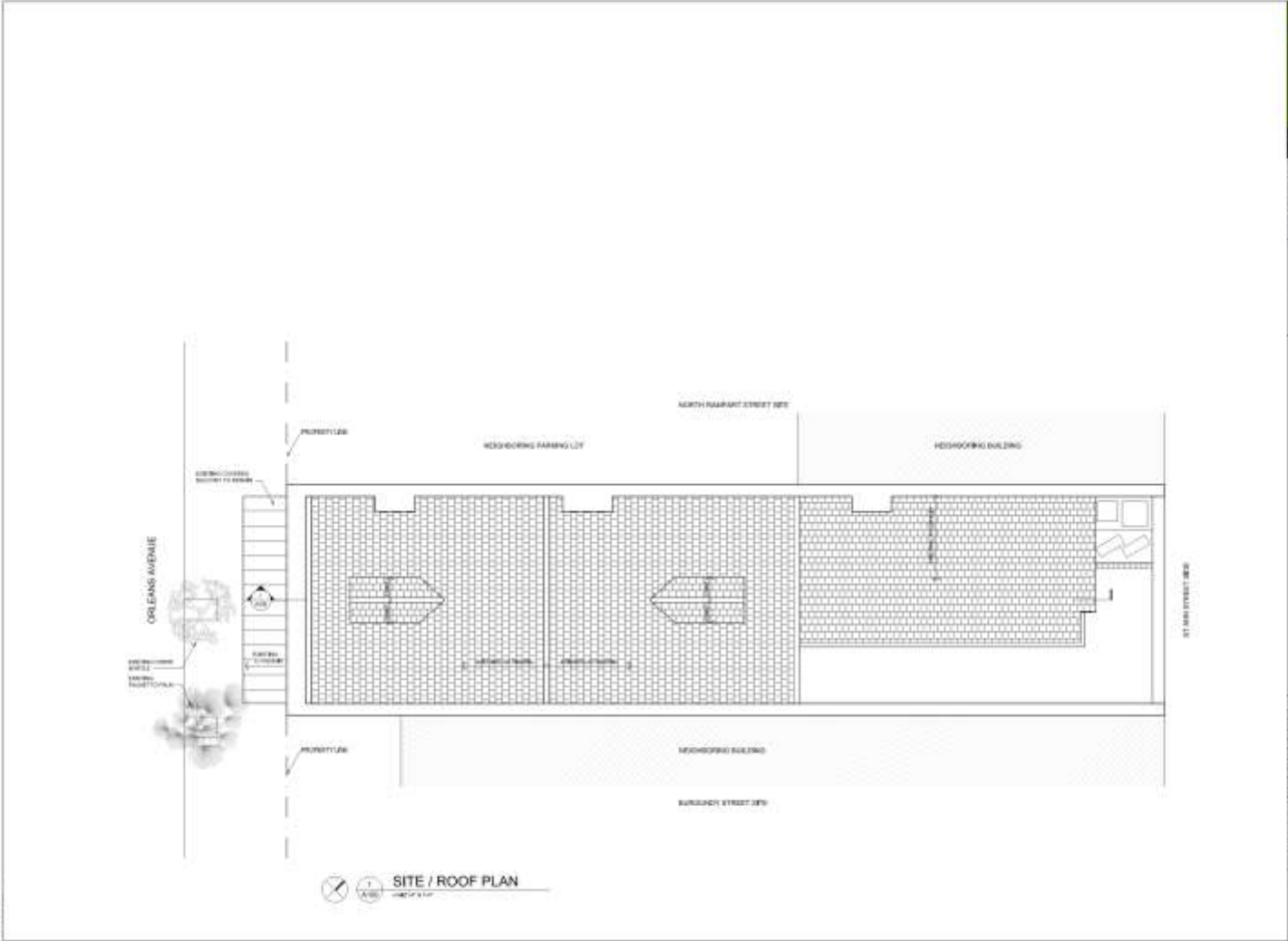
No.	Date	By

OWNER
WALTER ARCHITECTURAL

DRAWING NO.
1031-1001-PLAN

DATE: 11/11/10
JOB NO.: 1031-1001
JOB NO.: 1031-1001
JOB NO.: 1031-1001

D101





SITE / ROOF PLAN
DATE: 11/14/18



W. W. ARCHITECTS, INC.
 ARCHITECTS

1031 ORLEANS STREET, NEW ORLEANS, LA 70116
 TEL: (504) 582-1100
 WWW.WWARCHITECTS.COM

PROJECT NO. 18-0001
 SHEET NO. A100



PROJECT: 1031 ORLEANS ST.
 BUILDING IMPROVEMENTS

**1031 ORLEANS ST.
 BUILDING IMPROVEMENTS**
 1031 Orleans Street, New Orleans, LA 70116

REVISIONS

NO.	DATE	DESCRIPTION

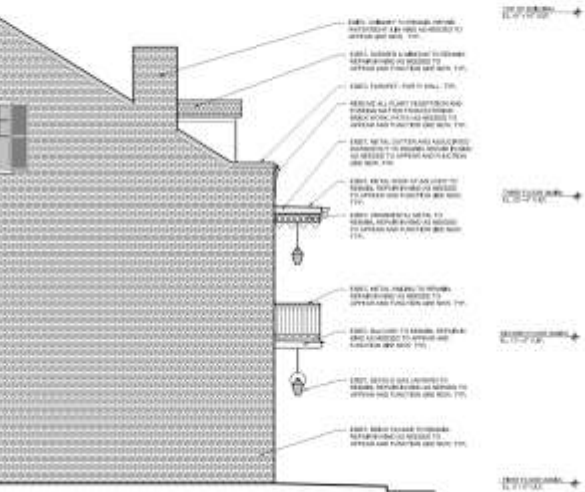
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 CHECKED BY: JMW
 DATE: 11/14/18
 SHEET NO.: A100

A100

10/20/16 10:00 AM

NORTH ELEVATION
SUBJECT: 1031

EAST ELEVATION
SUBJECT: 1031





W

ARCHITECTURAL FIRM



James W. White



1031 ORLEANS ST.
BUILDING IMPROVEMENTS
1031 Orleans Street, New Orleans, LA 70116

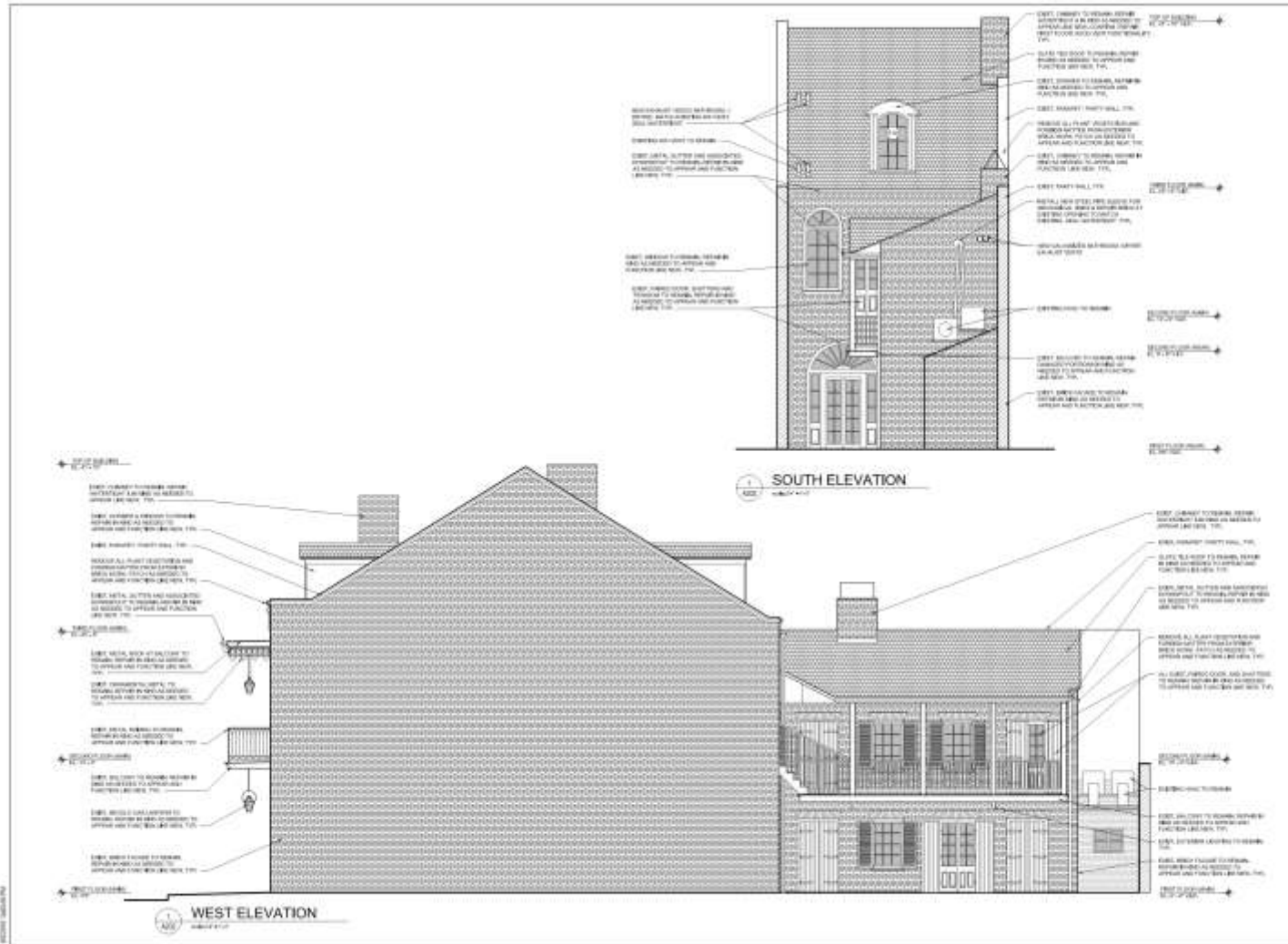
REVISIONS		
No.	Date	Issue

OWNER: **STORER SOLUTIONS**

DESIGNER: **W** DATE: **10/20/16** DRAWN: **MS/SL**

SCALE: **AS SHOWN**

A201





W
ARCHITECTURE, INC.



John M. Williams
Professional Engineer
State of Louisiana
No. 10812



STATE OF LOUISIANA
Professional Engineer Seal

1031 ORLEANS ST.
BUILDING IMPROVEMENTS
1031 Orleans Street, New Orleans, LA 70116

REVISIONS		
No.	Date	Issue

OWNER:
CYPHER GROUP

DESIGNED BY:
W ARCHITECTURE, INC.

DATE:
08/16/2011

SCALE:
AS SHOWN

DATE:
08/16/2011

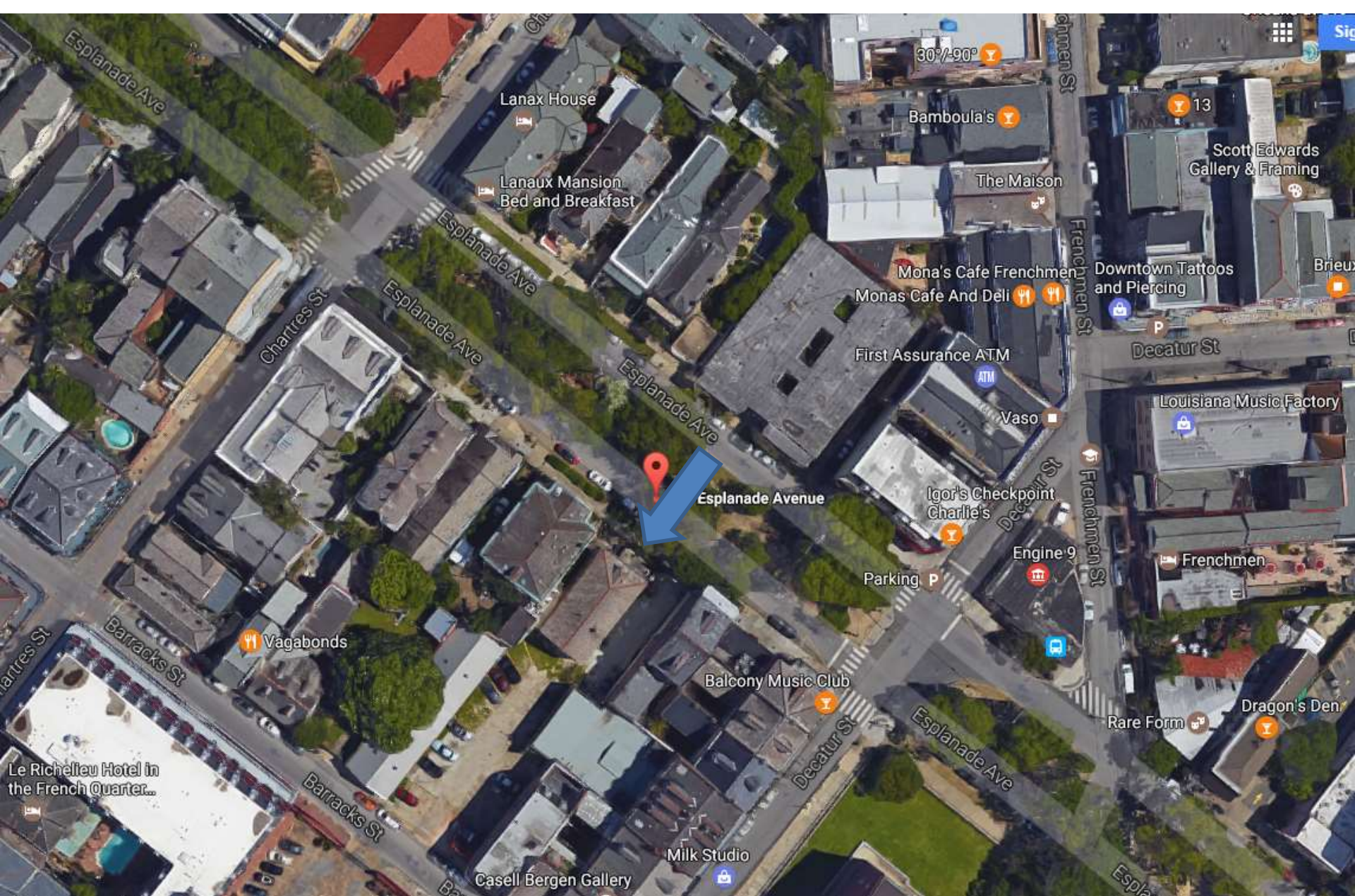
PROJECT NO.:
A202

The seal of the Vieux Carre Commission is an oval emblem. It features a central shield with a decorative design, including a central figure and ornate scrollwork. The text "VIEUX CARRE COMMISSION" is arched across the top, and "ESTABLISHED 1936" is arched across the bottom.

Appeals and Violations



520 Esplanade



520 Esplanade

Vieux Carré Commission

February 7, 2017



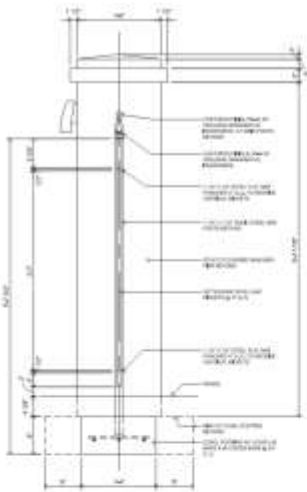


520 Esplanade

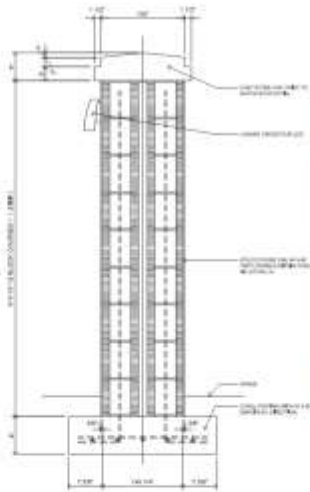
Vieux Carré Commission

February 7, 2017





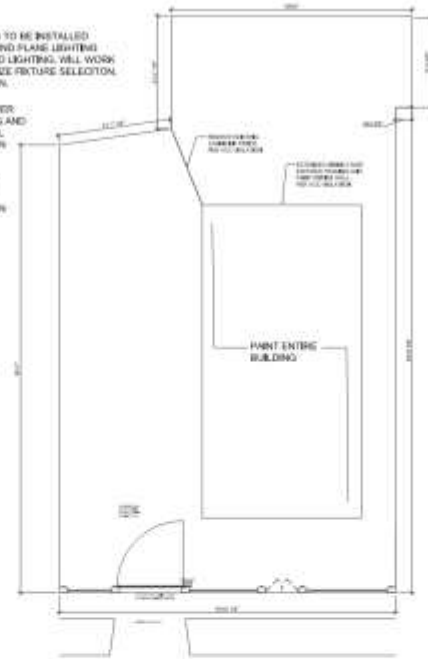
03 FENCE DETAILS
A101



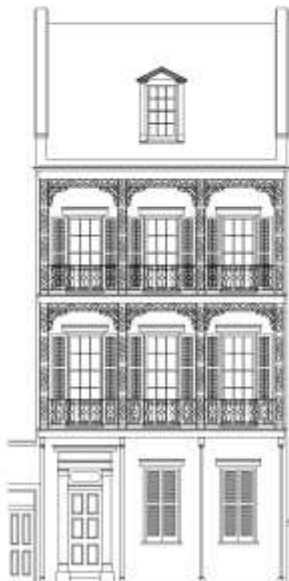
NEW LED LIGHTING TO BE INSTALLED TO PROVIDE GROUND PLANE LIGHTING AND NOT OUTWARD LIGHTING. WILL WORK WITH STAFF FINALE PICTURE SELECTION PER VCC VIOLATION.

EXTEND SIDING OVER EXPOSED FRAMING AND PAINT ENTIRE WALL PER VCC VIOLATION.

REMOVE EXISTING CHAIN LINK FENCE PER VCC VIOLATION.



01 SITE PLAN
A101



02 FENCE ELEVATION
A101



REVISIONS AND NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE VCC.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE STATE OF LOUISIANA.



JOHN C. WILLIAMS ARCHITECTS LLC

509 BIRMGHAM STREET
NEW ORLEANS, LA 70115

504.588.0000 PHONE
504.588.0001 FAX

These drawings are prepared by the Architect and are intended to be used in accordance with the provisions of the Louisiana State Professional Engineers Act and the Louisiana State Professional Architects Act. The Architect is not responsible for any errors or omissions in these drawings or for any consequences arising therefrom.



DATE: 02/07/2017

SCALE: AS SHOWN

520 ESPLANADE
New Orleans, Louisiana

- REVISIONS -

No.	Date	Scope

DRAWING TITLE:
ELEVATION & PLAN

DRAWN BY: MBR/CAF
SCALE: VARIOUS
JOB NO.: 00099336
DATE: MAY 8, 2017

DRAWING NO.:

A101





NEW LED LIGHTING TO BE INSTALLED TO PROVIDE GROUND PLANE LIGHTING AND NOT OUTWARD LIGHTING, WILL WORK WITH STAFF FINALIZE FIXTURE SELECTION, PER VCC VIOLATION.

EXTEND SIDING OVER EXPOSED FRAMING AND PAINT ENTIRE WALL PER VCC VIOLATION

REMOVE EXISTING CHAINLINK FENCE, PER VCC VIOLATION



520 Esplanade – Screened in porch 1975

Vieux Carré Commission

February 7, 2017





520 Esplanade – Screened in porch 1980

Vieux Carré Commission

February 7, 2017





520 Esplanade – ca. 1950

Vieux Carré Commission

February 7, 2017





520 Esplanade

Vieux Carré Commission

February 7, 2017





520 Esplanade

Vieux Carré Commission

05 10 2017

February 7, 2017





05 10 2017

520 Esplanade

Vieux Carré Commission

February 7, 2017





520 Esplanade
Vieux Carré Commission

February 7, 2017





520 Esplanade – fence in ca. 1950 photo



520 Esplanade

Vieux Carré Commission

February 7, 2017



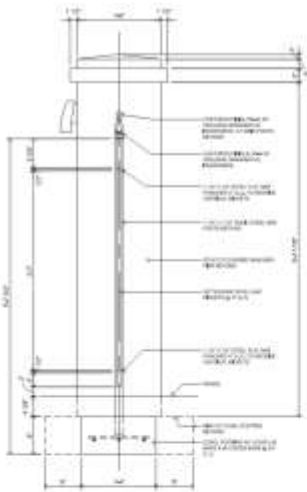


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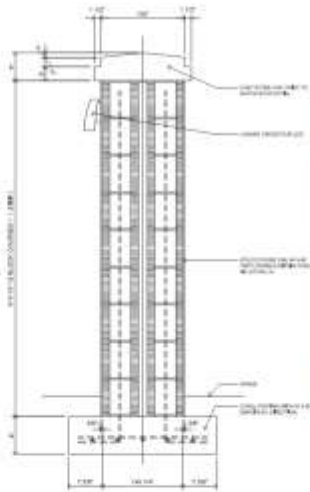
Vieux Carré Commission

February 7, 2017





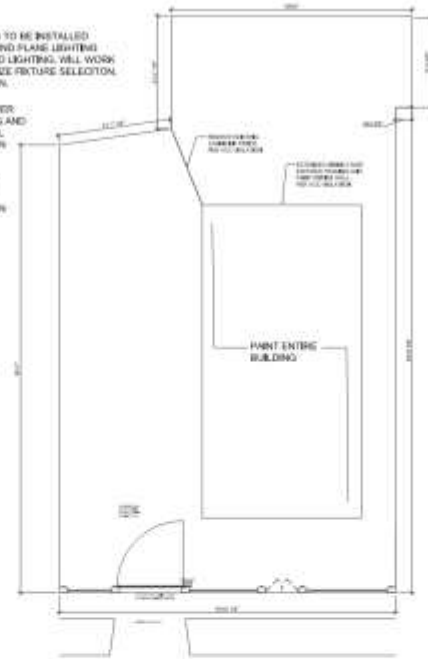
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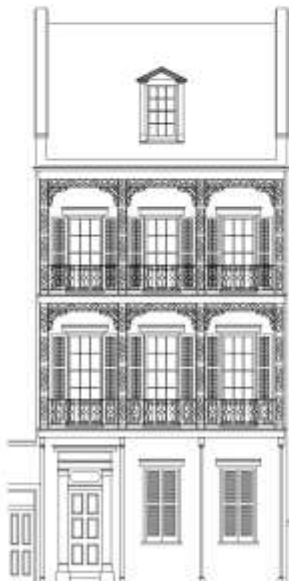
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01 SITE PLAN
A101



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5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS VCC.



JOHN C. WILLIAMS ARCHITECTS L.L.C.

529 BIRMGHAM STREET
NEW ORLEANS, LA 70115

504.588.0900
504.588.0901 FAX

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520 Esplanade
Vieux Carré Commission

February 7, 2017



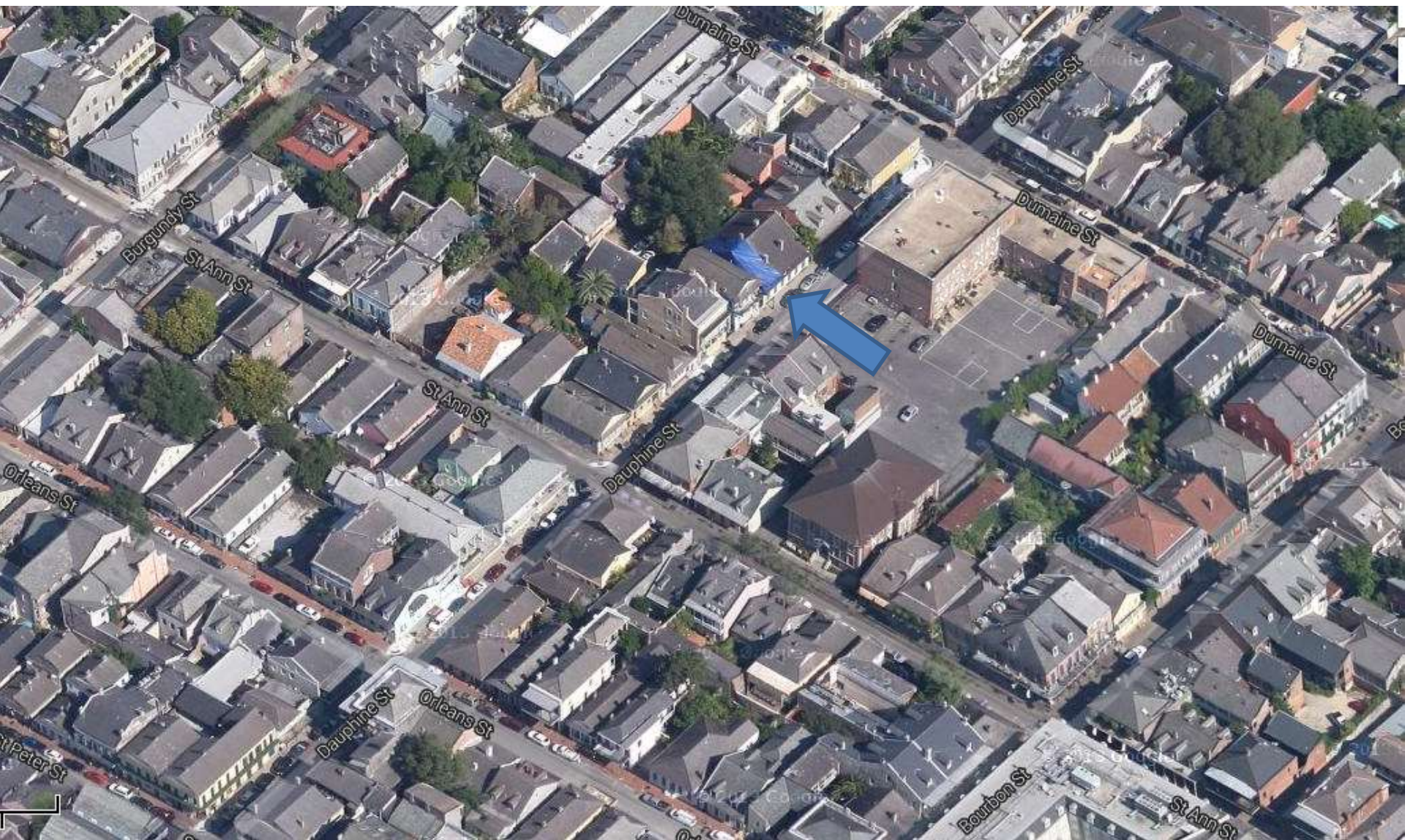
A101



PROPOSED IRON FENCE & GATE:
 MAIN VERTICAL POSTS: STUCCO COVERED MASONRY,
 PEDESTRIAN GATE POST: 1 1/2" SQ. SOLID STEEL BAR,
 TOP, BOTTOM & INTERMEDIATE RAILS: 1/2" X 1 1/2" SOLID STEEL BARS,
 W/ PUNCHED HOLES FOR PICKETS,
 PICKETS: 5/8" SQ. SOLID STEEL BARS SPACED 4" O. C.,
 GATE POST FINIAL: #9-XL BY ORLEANS ORNAMENTAL IRONWORKS,
 TYPICAL PICKET FINIAL: #9-H BY ORLEANS ORNAMENTAL IRONWORKS.



823-827 Dauphine

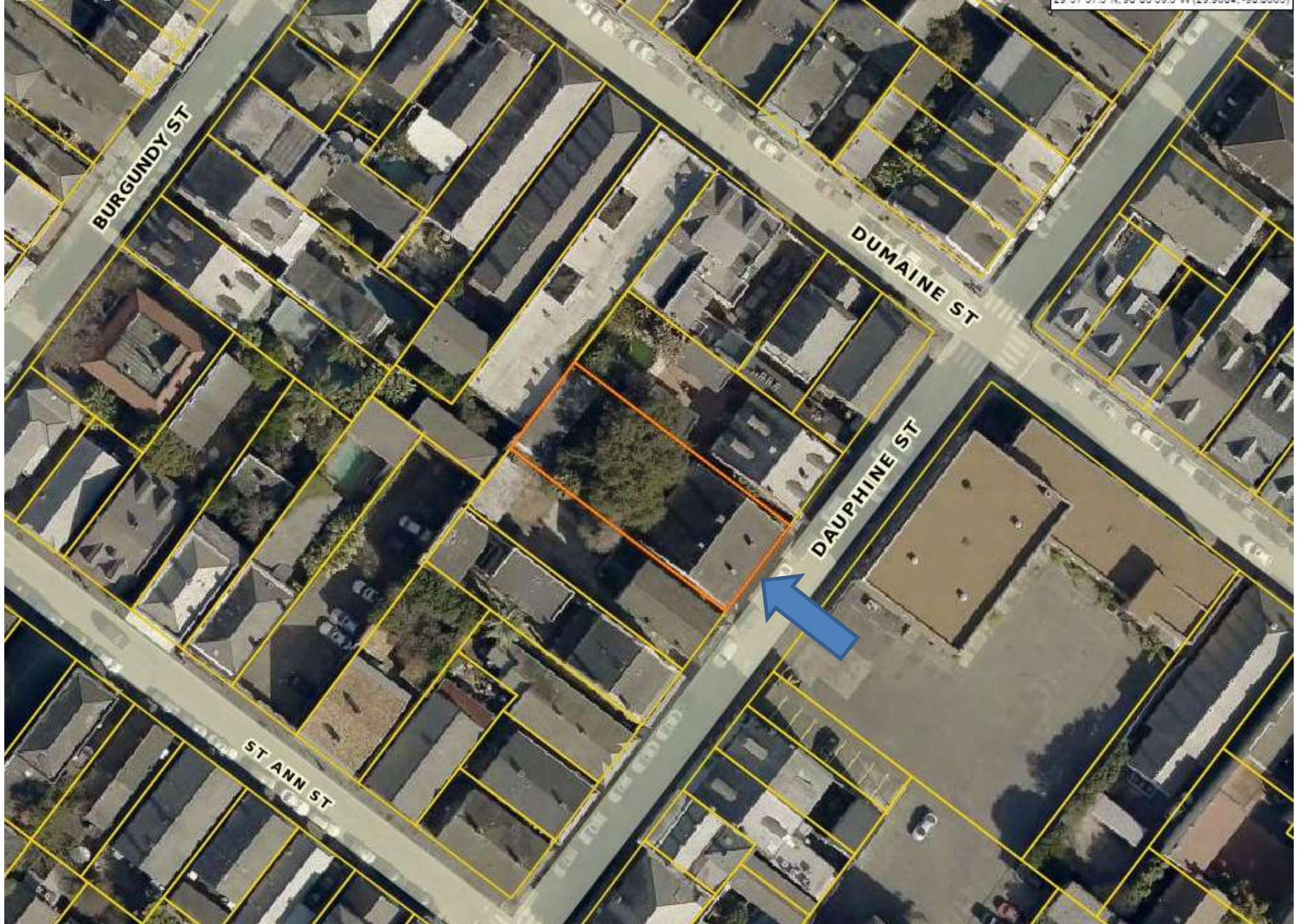


823 Dauphine

Vieux Carré Commission

February 7, 2018





823 Dauphine

Vieux Carré Commission

February 7, 2018





823 Dauphine, 1964

Vieux Carré Commission

February 7, 2018





823 Dauphine – before renovation





823 Dauphine - – before renovation

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February 7, 2018





823 Dauphine – before renovation

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February 7, 2018





823 Dauphine

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08 24 2017

823 Dauphine

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823 Dauphine

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February 7, 2018





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823 Dauphine

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February 7, 2018





823 Dauphine

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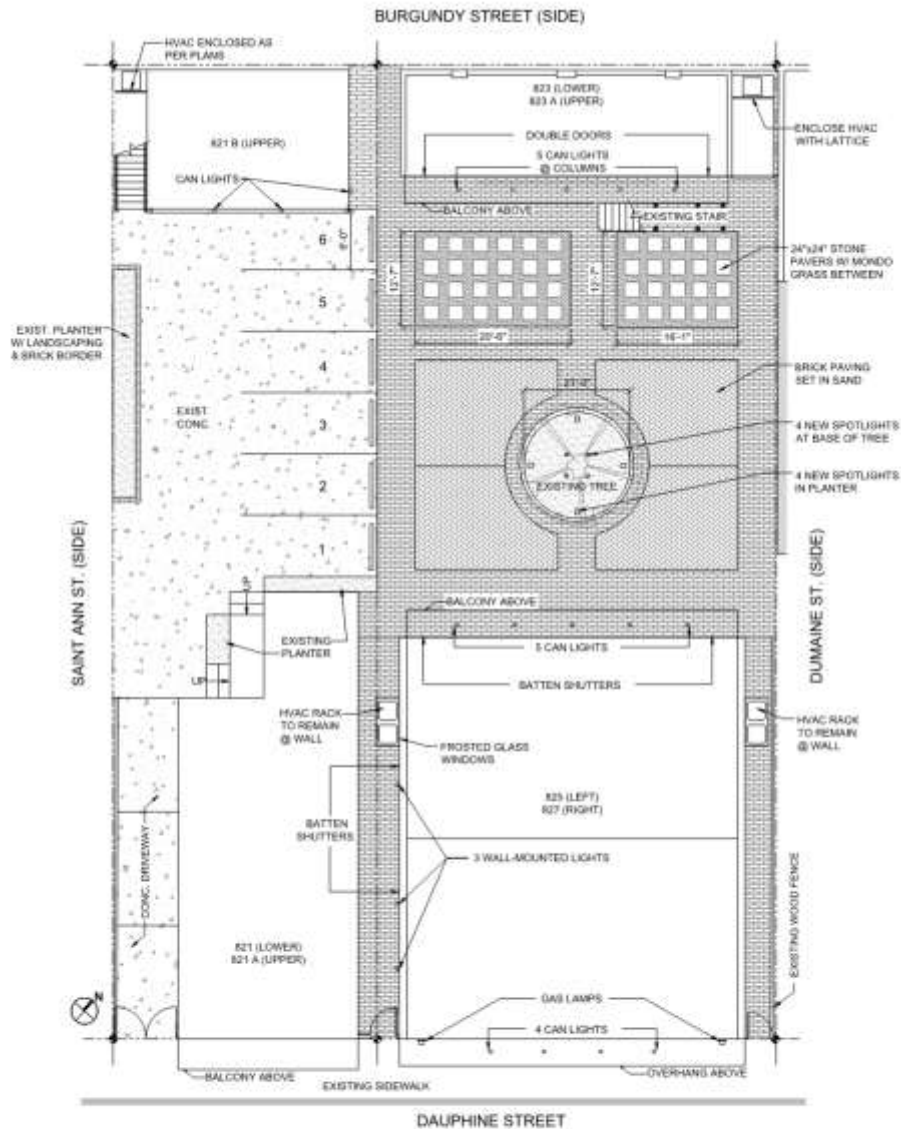


823 Dauphine

Vieux Carré Commission

February 7, 2018





1 SITE PLAN & ROOF PLAN
 Scale: 3/32" = 1'-0"
 1" 2' 4' 8' 16'

LOT AREA : approx. 11,246 SF
 PERMEABLE SPACE : approx. 706.4 SF (6.3%)

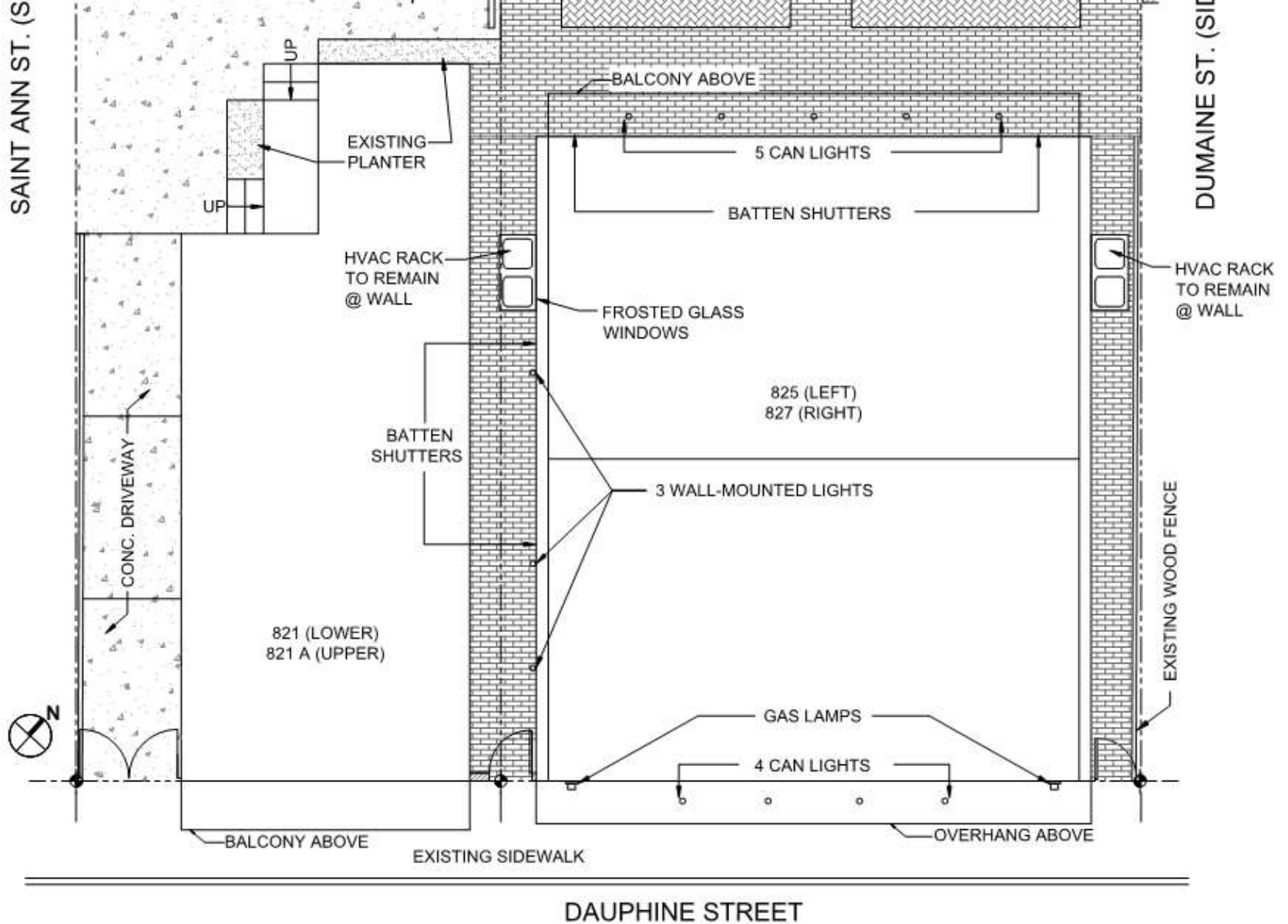
COURTYARD RENOVATIONS 821, 823-827 DAUPHINE STREET NEW ORLEANS, LA 70118	1 OF 1
DONALD MAGINNIS ARCHITECT, INC. 1014 87 SOUTH ST. NEW ORLEANS, LA 70118 AP 1000 12132000 04/15/2016/00000000	12.4.17
	OFF PLAN

823 Dauphine

Vieux Carré Commission

February 7, 2018





823 Dauphine





ICM U.S. INC., LLC
 131 Nursery Av.
 Metairie, La 70005
 Tel. 504 554-9043
 Cell. 504 554-9043
 icmuseng@aol.com

Pages: __ Urgent: __ Confidential: __ Routine: x

DONALD MAGINNIS ARCHITECT
 1111 SAINT MARY ST. UNIT A
 NEW ORLEANS, LA. 70130
 504-523-2901
dmagarcht@aol.com

Address: 825 Dauphine St.
 New Orleans, La 70130
 Nature of Work: Historic Building
 Structural Non-Intrusive Inspection
 CONDITIONAL SURVEY 12/04/2017

12/4/2017

Dear Mr. Maginnis:

This is to confirm that we evaluated the subject structure as shown on the drawings and photographs, and that the specific loads are not exceeding the allowable loads imposed on the frame and the anchors at the wall.

The shear of the brick wall can sustain the pulling forces as calculated. Assuming the shear at the wall of approximately 400 psf and the shear area per anchor of 192 sq.in. it would allow for 533 lbs. This would be less than the structure would exert on the wall. The structural frame composed of the L steel shapes 4x4x1/2 are sufficient to support the compressors. We did not include the wind loads in these short calculations but those would be sufficiently compensated with the difference of the actual loads and the extra capacity of the structural members and the bolts as installed.

Please let us know if you need additional information.

Sincerely,

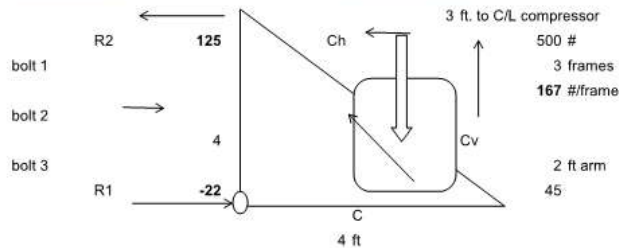


Warren Mandich, M.E., P.E.

Summary of Arch. Notes

Each platform has 2 units at 175# each
 the total load each including the steel L platform is less than 500 #
 Each platform is anchored to the wall with nine evenly spaced 3/8" bolts with 4"x4" x 1/2" steel plates on the interior
 no evidence of cracking in the interior or exterior stucco and masonry





bolt 1 R2 125 500 #
 bolt 2 Ch 4 3 frames
 bolt 3 R1 -22 167 #/frame
 Cv 2 ft arm
 45
 C 4 ft
 sum Fy= 167 #
 Cv = 167 #
 sin 45 [0.850903525](#)
 C= 196 #
 Ch = 103 #
 M1 = R2 * 4 500 0 = 0
 R2 = 125 #
 R1 = -22 #
 sum Fx= 0 #

Bolts and nuts specs. *3/8" size 33Ksi proof load, 60ksi tensile strength
 0.0775 sq.in. 4,250 # proof load
 O.K. < actual. 5,750 # tensile load
 L- shape members 4x4x1/2 3.75 sq.in. Sect. Iy=5.56in^4 Sy=1.97 in^3
 Table 4-07 Seelye: unbraced length 4 ft.
 57 kips allowable concentric load O.K. < actual



JOHN C. BOSE
Consulting Engineer
A Professional Limited Liability Company
2113 Octavia Street
New Orleans, Louisiana 70115
(504) 866-9941

December 5, 2017

Donald Maginnis Architect, Inc.
1111 St. Mary Street
Unit A
New Orleans, LA 70130

Attn: Donald Maginnis

Re: Review of A/C Platforms
825 Dauphine Street
New Orleans, Louisiana

Dear Donald:

I reviewed the structure of the HVAC unit platforms at the referenced property. The platforms are composed of steel angle and light mesh that are bolted to the masonry walls with 3/8" dia bolts. The bolts go through the walls and have 4" by 4" steel plate washers on the inside of the wall.

In my opinion, the platforms are structurally sound and adequately support the HVAC units.

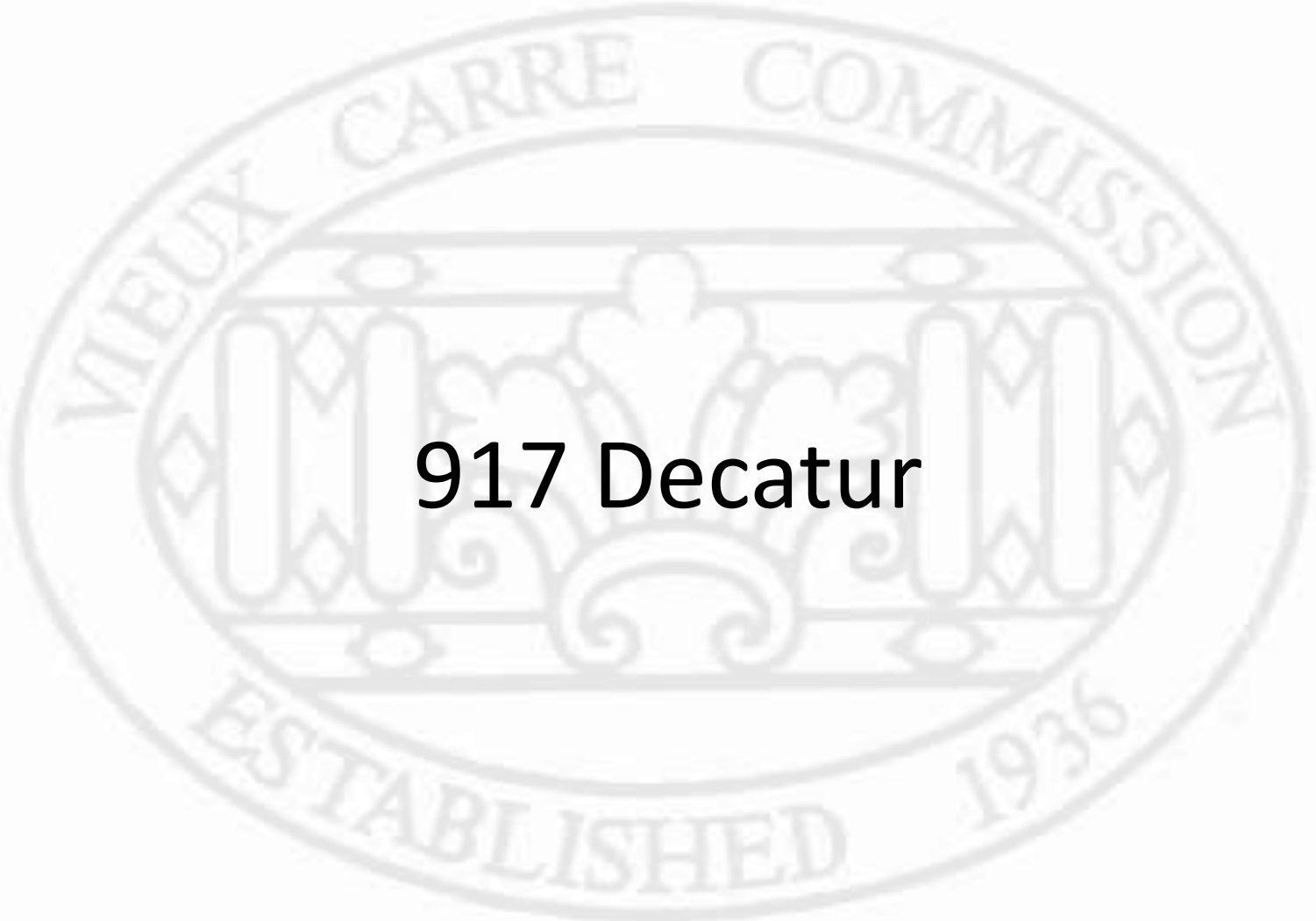
Sincerely,



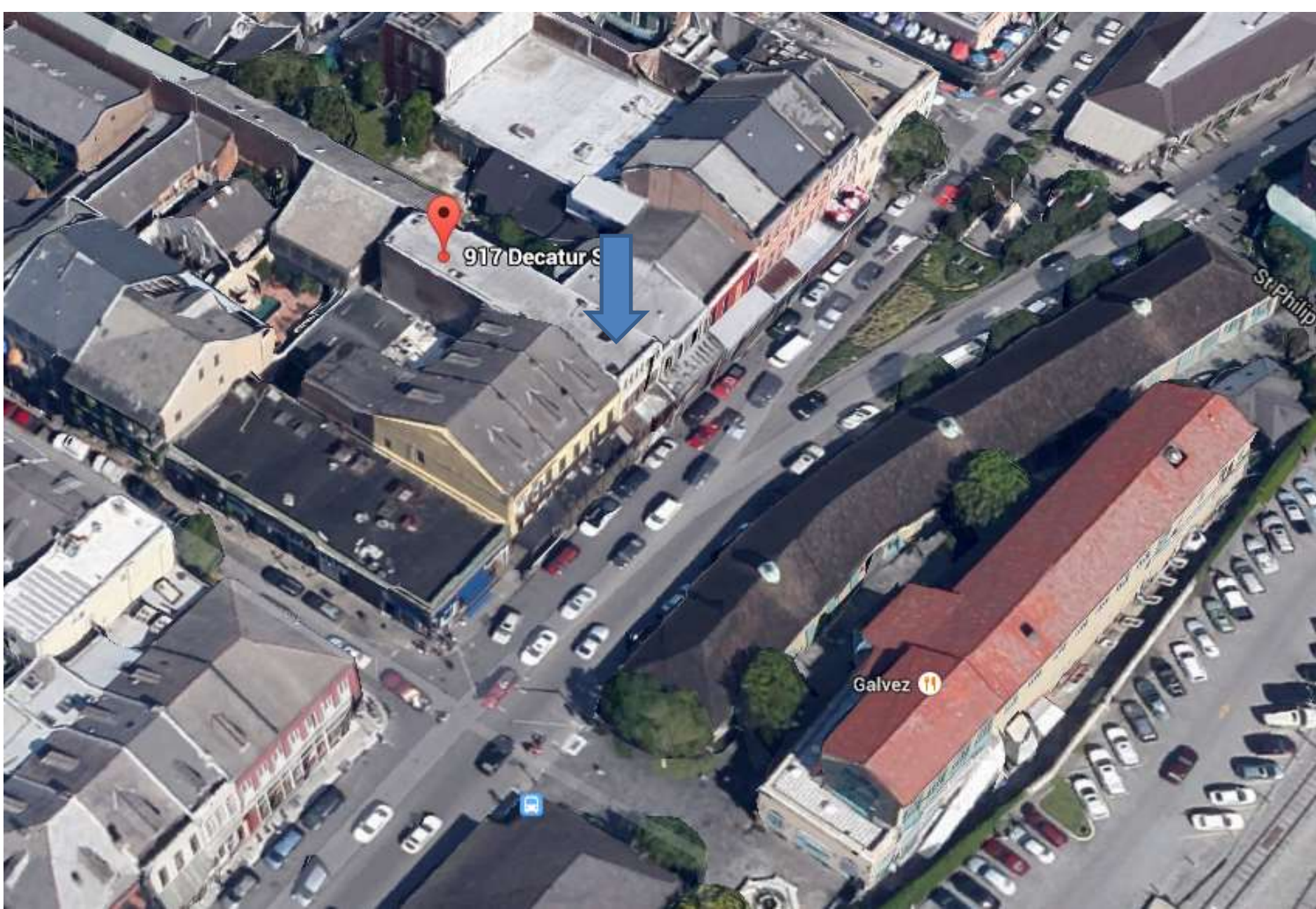
John C. Bose, P.E.

JCB/amm

DOCUMENTS



917 Decatur



917-919 Decatur

Vieux Carré Commission

February 7, 2018





917-919 Decatur

Vieux Carré Commission

February 7, 2018





917-919 Decatur, 1866

Vieux Carré Commission

February 7, 2018





917-919 Decatur - 1988

Vieux Carré Commission

February 7, 2018





917-919 Decatur

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February 7, 2018





917-919 Decatur

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917-919 Decatur

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February 7, 2018





917-919 Decatur

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