



# Vieux Carré Commission Meeting

Wednesday, April 21, 2021



# Review of Minutes





# Chairman's Report



# Director's Report

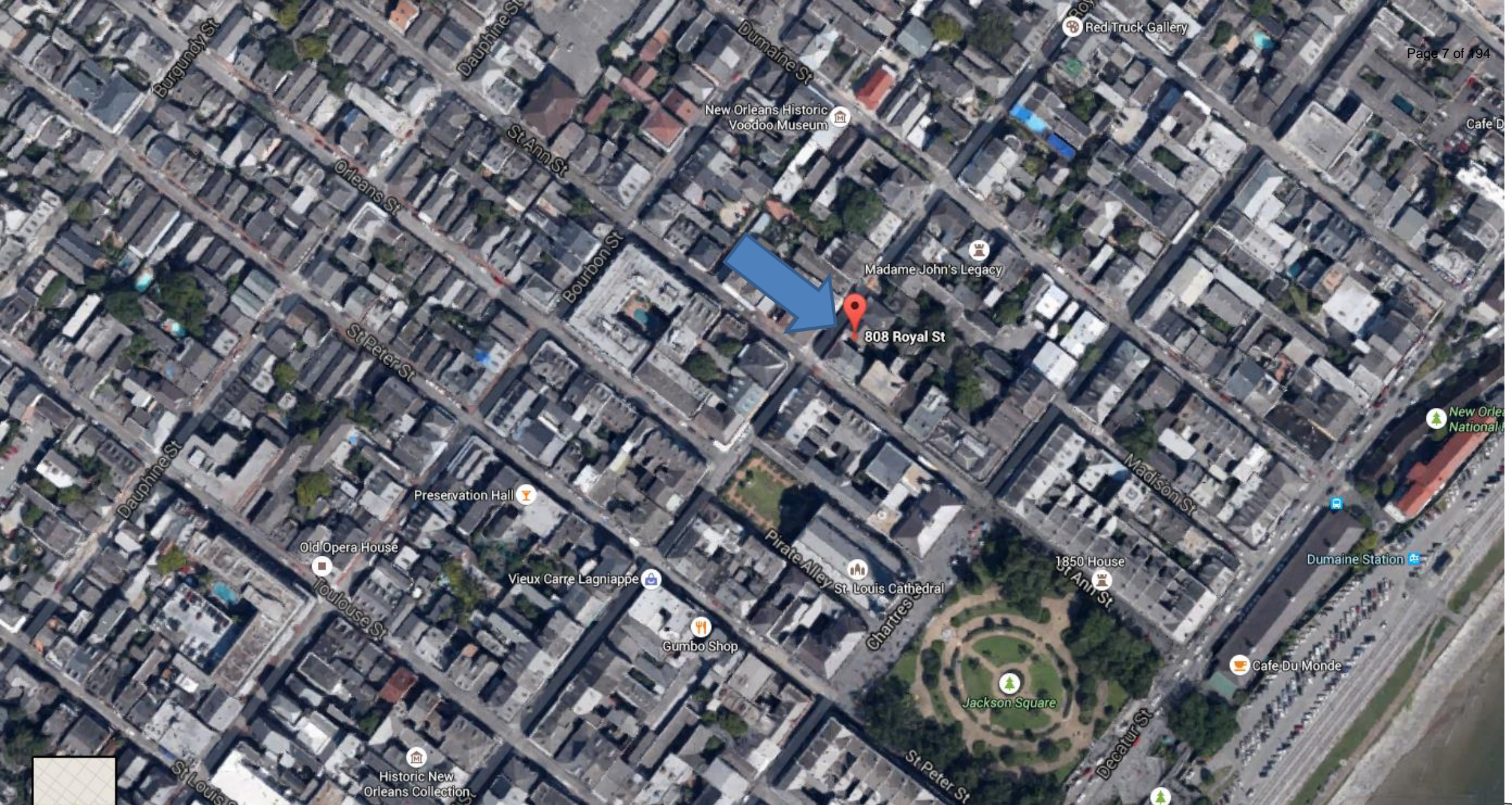


# Old Business



808 Royal





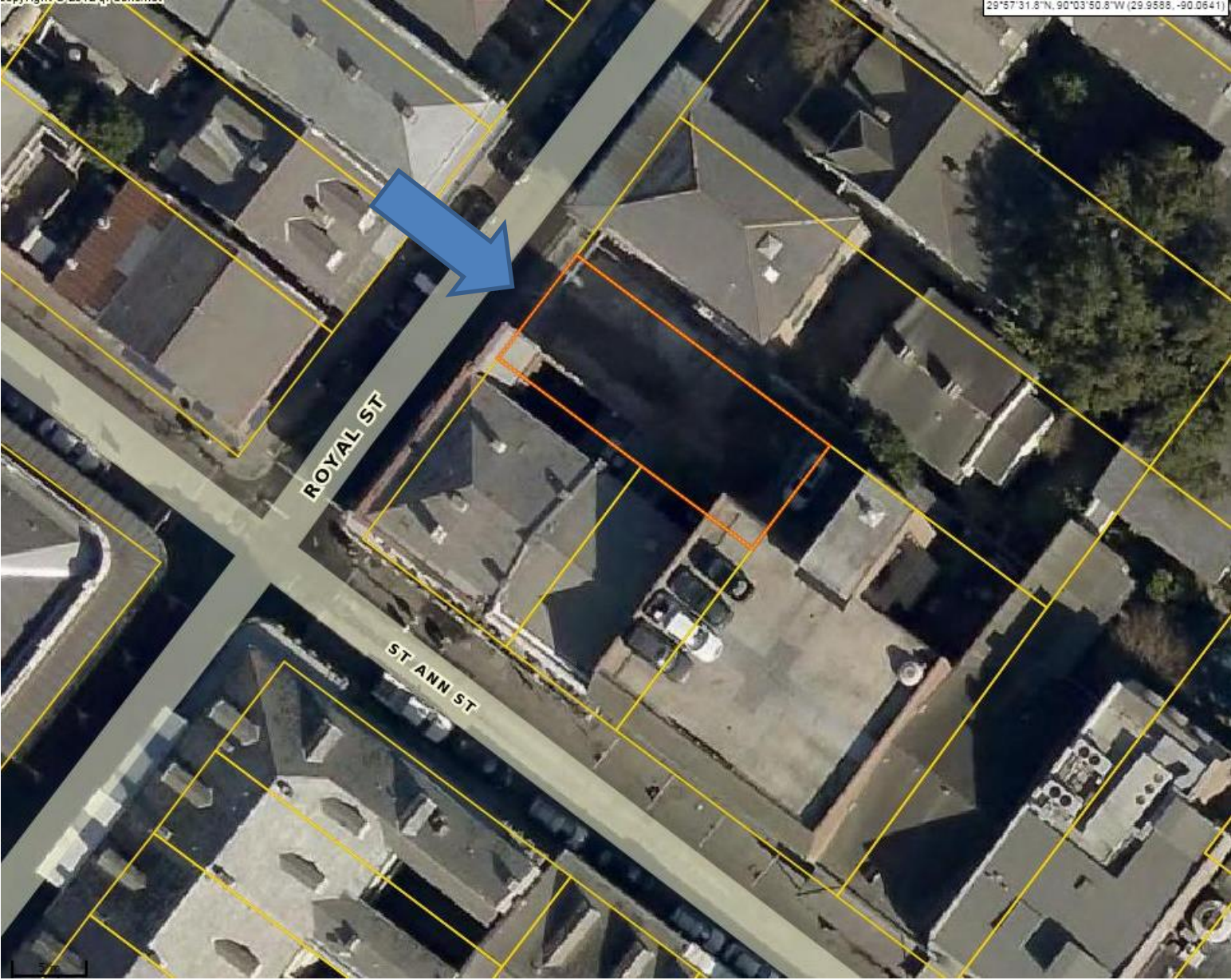
808 Royal

Vieux Carré Commission

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808 Royal

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April 21, 2021





808 Royal, 1963

Vieux Carré Commission

April 21, 2021







808 Royal, October 2014  
Vieux Carré Commission

April 21, 2021







808 Royal, October 2014,  
previously existing rear  
Vieux Carré Commission

April 21, 2021





808 Royal

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808 Royal – Existing Conditions

Vieux Carré Commission

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824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888 PHONE  
504.566.0887 FAX

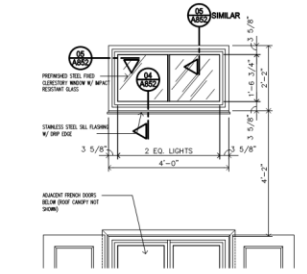
These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.  
I will be providing project construction administrative services on this project.

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John C. Williams Architects L.L.C.  
**808-810 ROYAL STREET**  
NEW ORLEANS, LOUISIANA

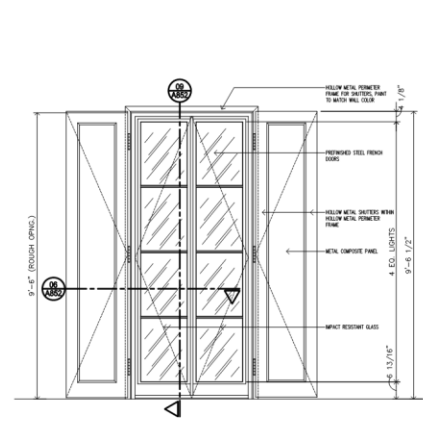
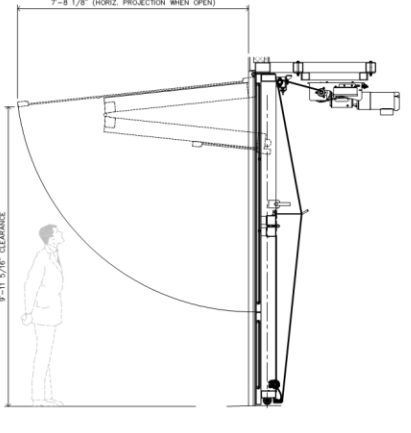
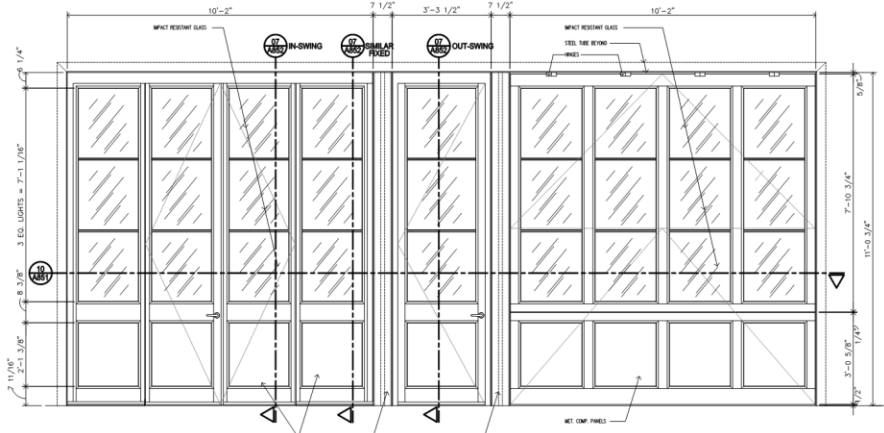
- REVISIONS -		
No.	Date	Scope

DRAWING TITLE:  
EXTERIOR DOOR DETAILS  
  
DRAWN BY: JCW  
PHASE: PERMIT  
JOB No.: 515014.00  
DATE: JUNE 10, 2019

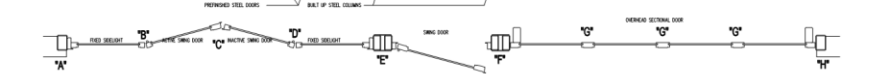
DRAWING No.:  
**A851**



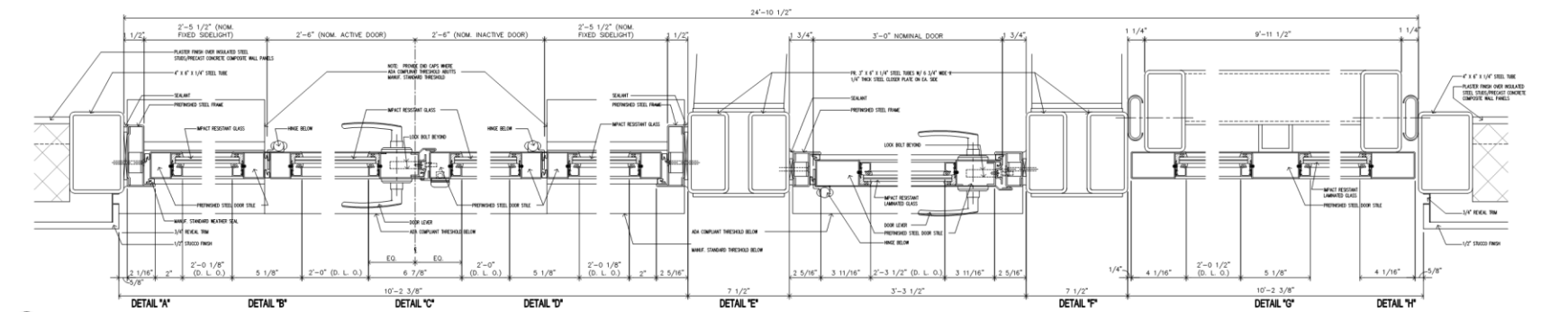
03 CLERESTORY WINDOWS  
1/2" = 1'-0"



02 SECOND & THIRD FLOOR FRENCH DOORS & SHUTTERS  
1/2" = 1'-0"



01 FIRST FLOOR STOREFRONT & GARAGE DOORS & OPERATION & DETAIL KEYPLAN  
1/2" = 1'-0"



10 PLAN DETAILS - 1ST FLR. STOREFRONT & OVERHEAD SECTIONAL GARAGE DOOR  
3" = 1'-0"



# NEW CONSTRUCTION AT 808-810 ROYAL STREET NEW ORLEANS, LOUISIANA 70116

**OWNER**  
HEMB CO  
725 ST. PETER STREET  
NEW ORLEANS, LA 70116  
504.258.7666

**ARCHITECT**  
WILLIAMS ARCHITECTS  
824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504.566.0888

**GENERAL CONTRACTOR**  
TBD  
NEW ORLEANS, LA 70XXX  
504.XXX.XXX

**STRUCTURAL ENGINEER**  
WALTER ZEHNER  
4702 TOULOUSE STREET  
NEW ORLEANS, LA 70119  
504.488.1441

**M.E.P ENGINEER**  
IMC CONSULTING ENGINEERS  
3120 20TH STREET  
METAIRIE, LA 70002  
504.831.9119



WILLIAMS ARCHITECTS  
824 BARONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM



808-810 ROYAL STREET  
NEW ORLEANS, LA 70116

TITLE &  
PROJECT INFORMATION

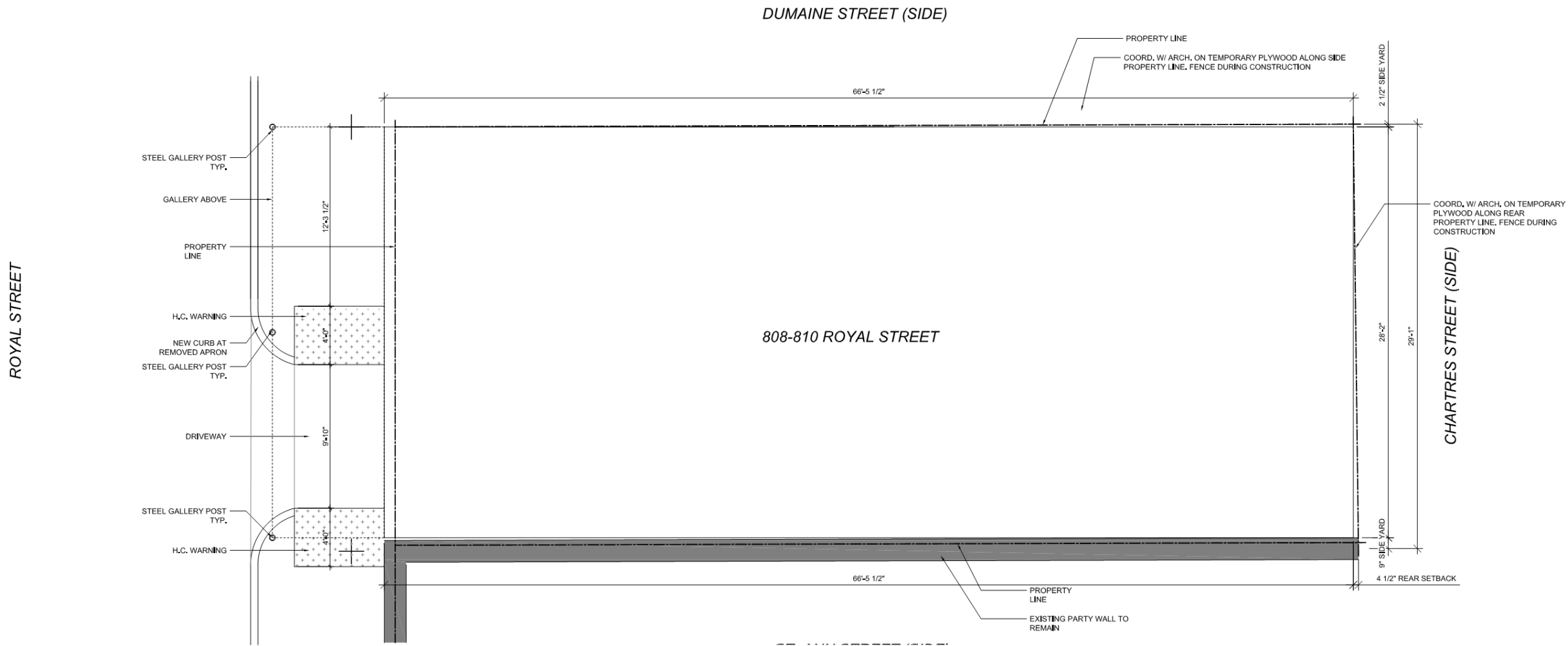
VCC REVIEW 04-13-2021 T000

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April 21, 2021

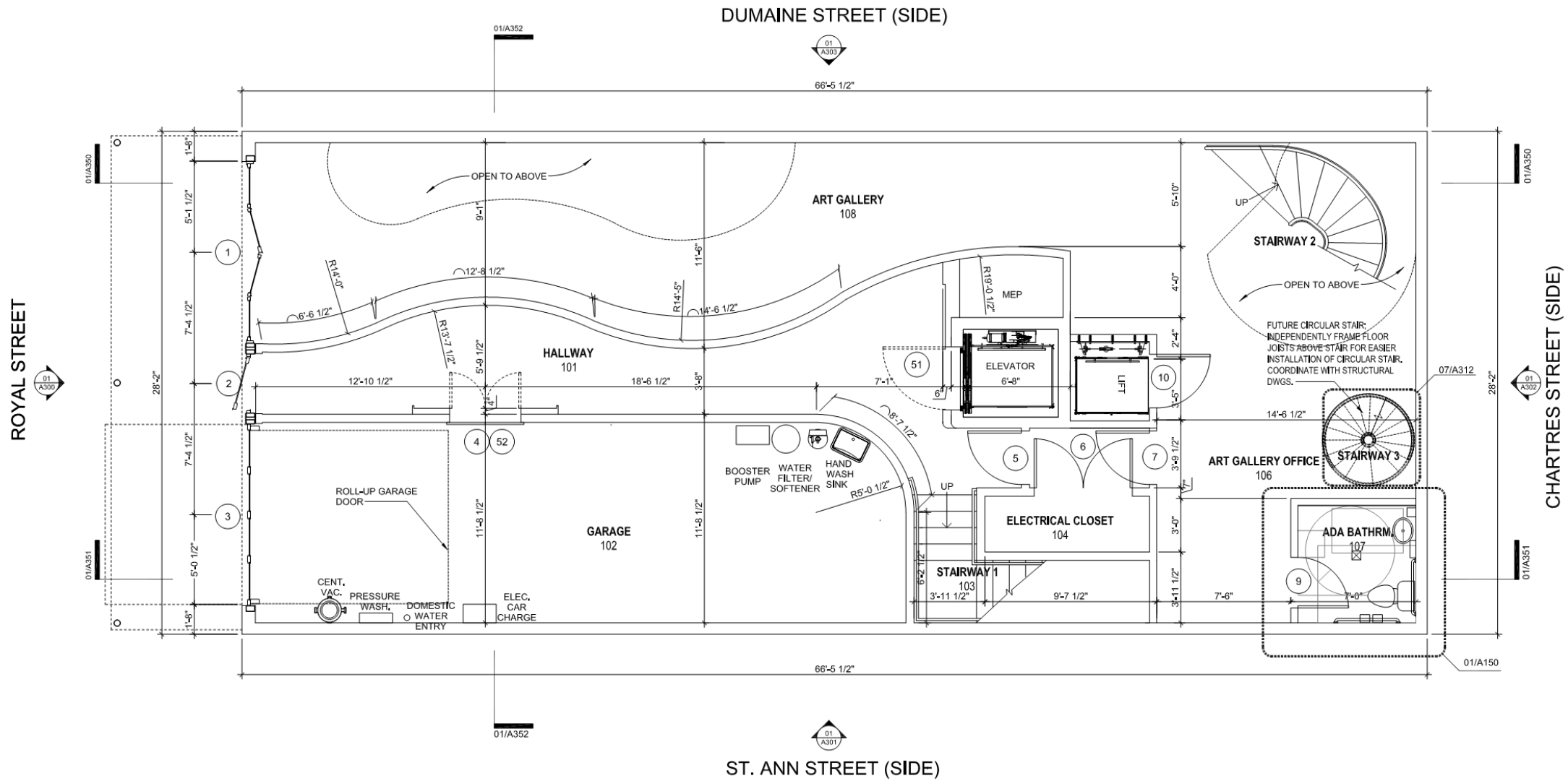




01 SITE PLAN  
 A100 1/4" = 1'-0"







01 FIRST FLOOR PLAN  
 A111 1/4" = 1'-0"

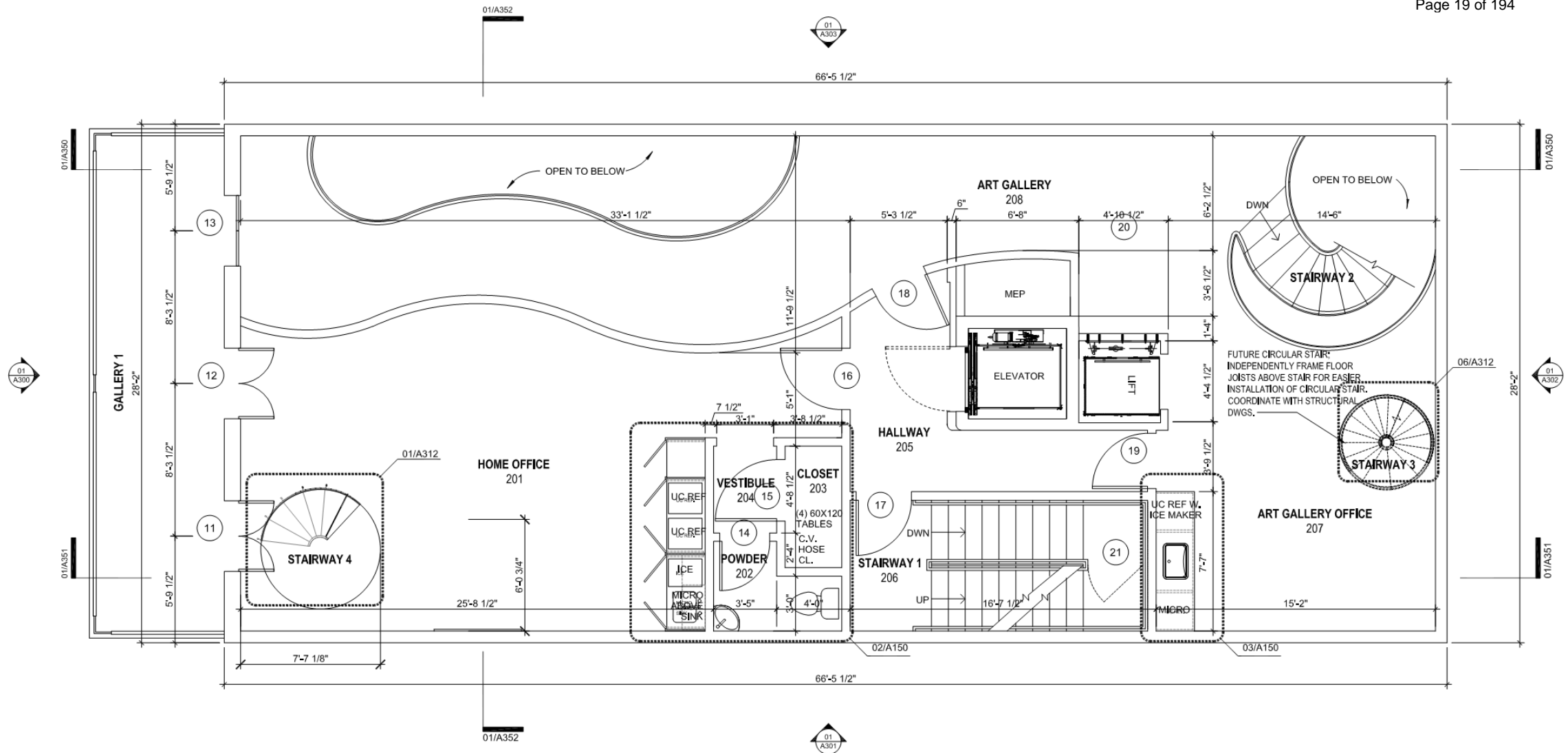
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April 21, 2021

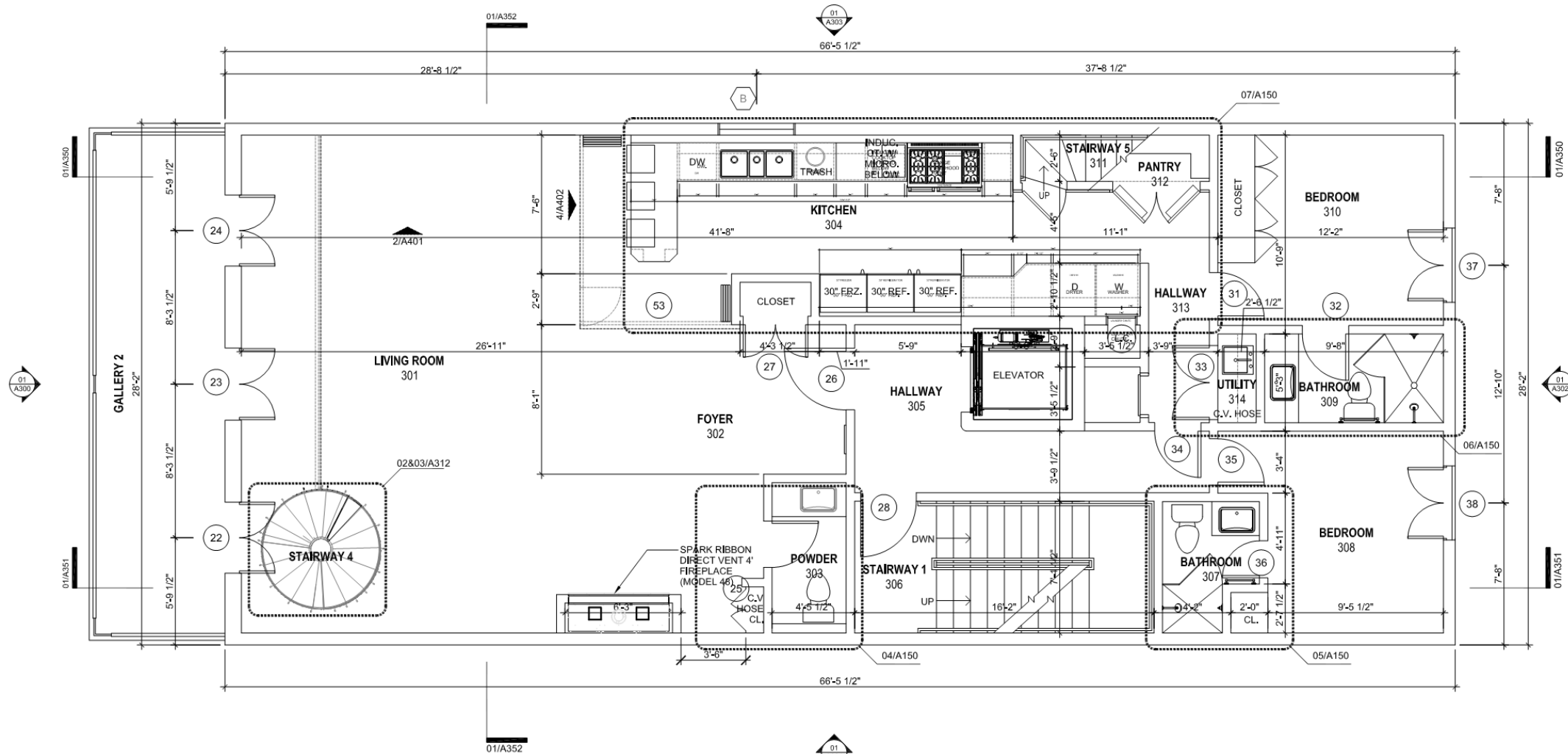






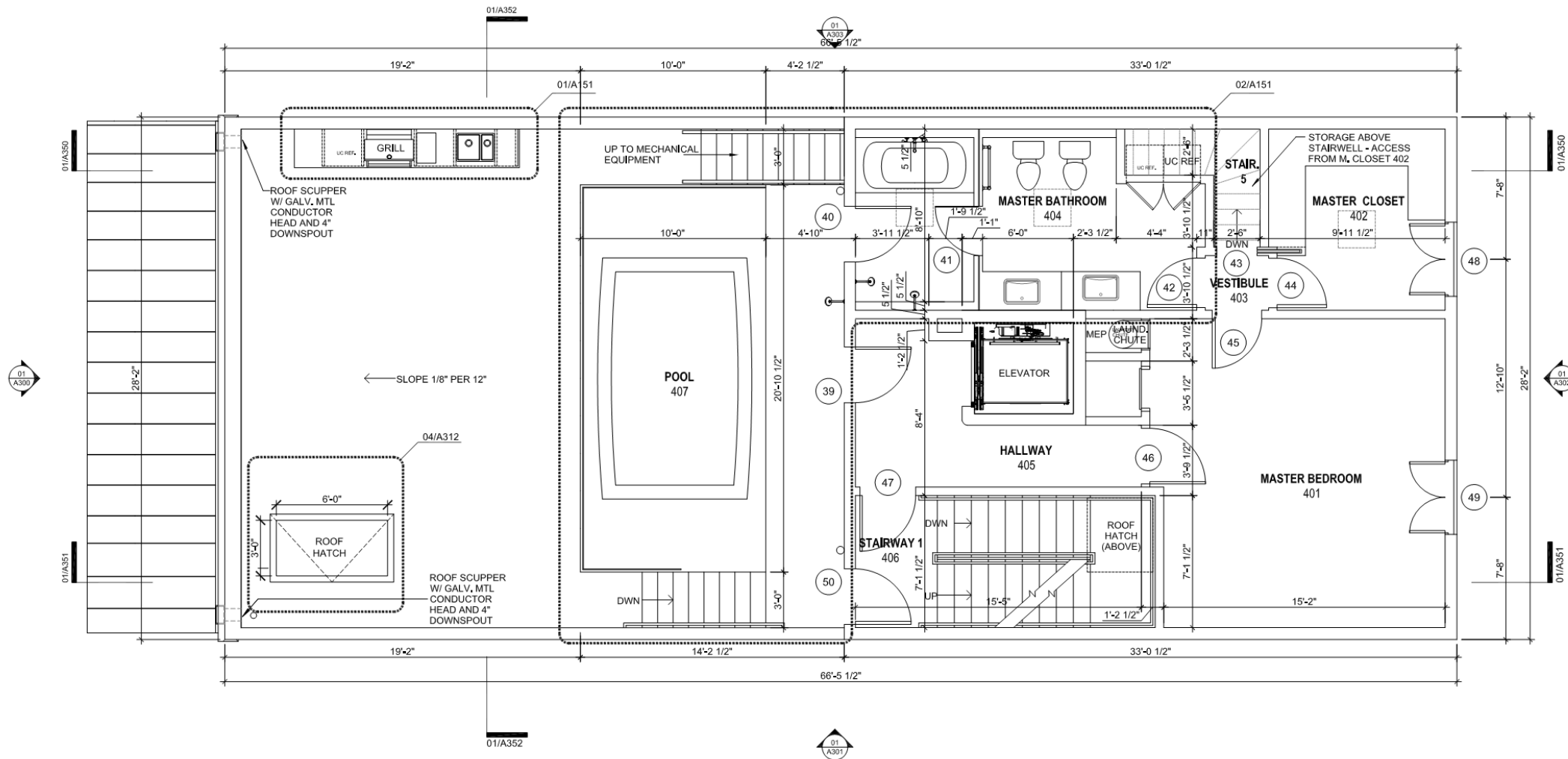
01 SECOND FLOOR PLAN  
 A112 1/4" = 1'-0"





01 THIRD FLOOR PLAN  
A113 1/4" = 1'-0"





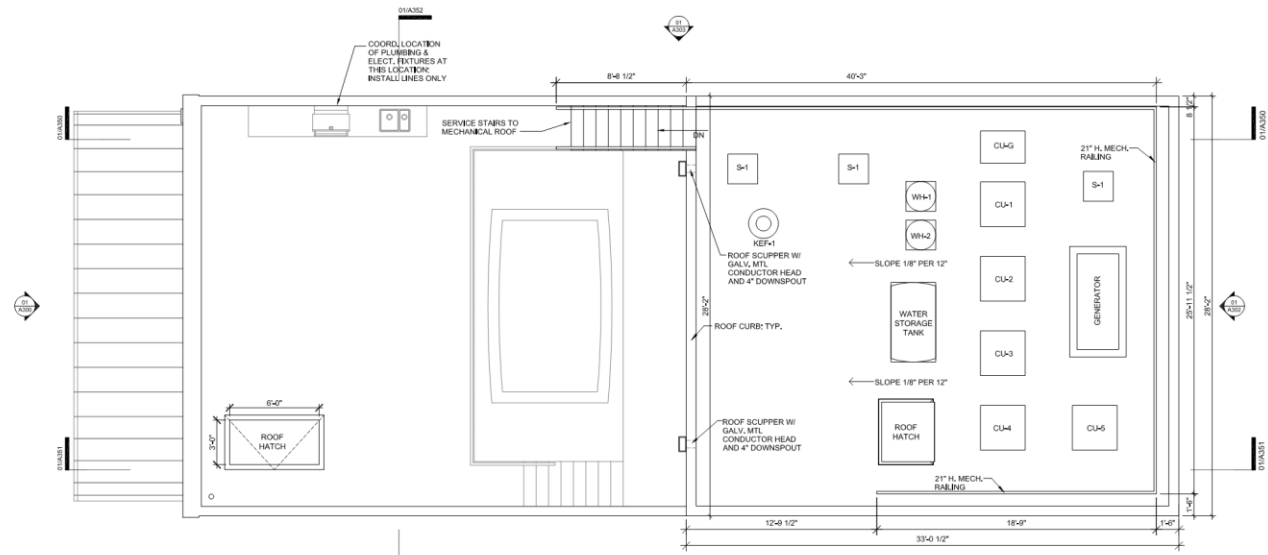
01 FOURTH FLOOR PLAN  
A114 1/4" = 1'-0"

808 Royal

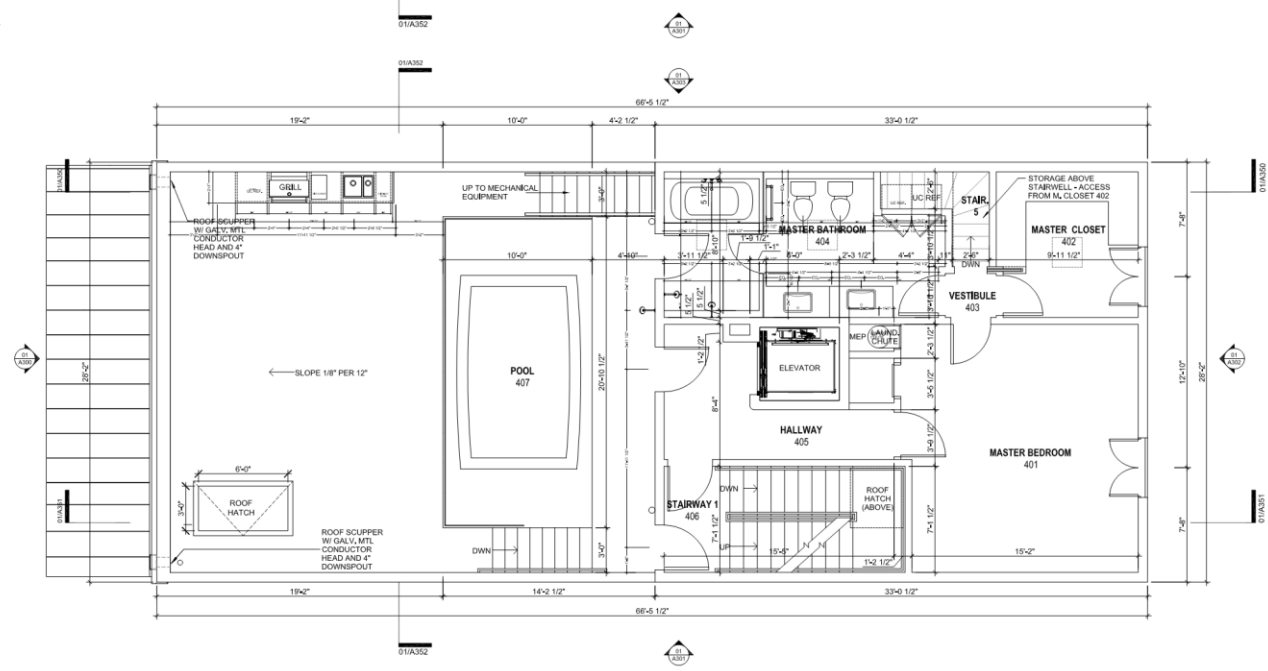
Vieux Carré Commission

April 21, 2021





02 ROOF PLAN  
A115 1/4" = 1'-0"

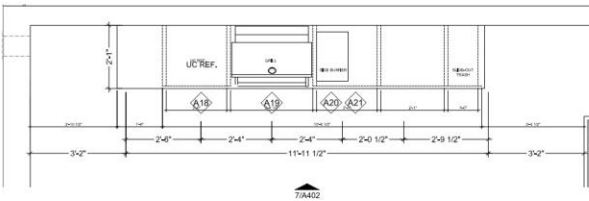


01 FOURTH FLOOR PLAN  
A115 1/4" = 1'-0"

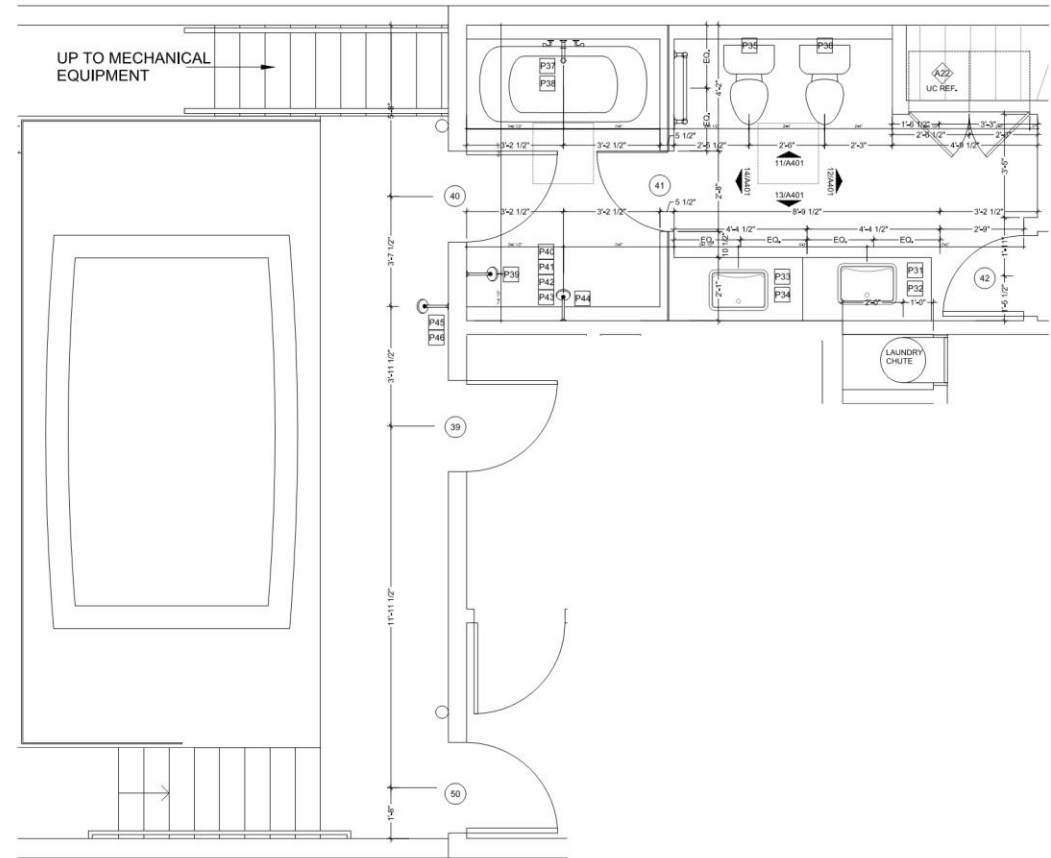


APPLIANCE SCHEDULE									
NO.	FIXTURE TYPE	MANUFACTURER	MODEL	COLOR	OPENING HEIGHT	OPENING WIDTH	OPENING DEPTH	ELECTRICAL SUPPLY	REMARKS
A1	U.C. REFRIGERATOR	GE	DVSHD6SS	N/A	74.5 1/8"	24"	14-10 1/8"	3-PRONG GROUNDING TYPE	
A2	U.C. REFRIGERATOR	GE	DVSHD6SS	N/A	74.5 1/8"	24"	14-10 1/8"	3-PRONG GROUNDING TYPE	
A3	ICE MAKER	TBD							
A4	MICROWAVE	GE	JMW195SPS	N/A	14.4 1/2"	24.5 3/8"	14.3 1/2"	3-PRONG GROUNDING TYPE	
A5	U.C. REFRIGERATOR	FRIEDRICH	FFFS4330M		74.5 1/8"	34"	14-11 3/8"	3-PRONG GROUNDING TYPE	MILLWORK PANEL FRONT
A6	NOT USED								
A7	DISHWASHER	THERMADOR	DWD05SLR	S.S.	24"	24-10 1/8"	24"	120 V-12 AMPS 60 HZ	MILLWORK PANEL FRONT
A8	CENTRAL VAC	TBD							
A9	INDUCTION COOKTOP	WOLF	CI1521S	N/A	14"	14"	6"	3-PRONG 240/208 VAC 60 HZ	
A10	MICROWAVE DRAWER	BOSCH	HMC80S1UC	S.S.	24.4 1/2"	17.7 1/8"	14-10"	208-240 V-20 AMPS 60 HZ. FIXED CONNECTION	FLUSH MOUNT INSTALLATION
A11	GAS RANGE	THERMADOR	PR04L05SU	N/A	34"	64"	24"	NO PLUS. 240/208 V-30 AMPS 60 HZ	
A12	VENT HOOD	THERMADOR	PH06S	N/A	34"	14"	24"	120 V-15-20 AMPS 3-PRONG	
A13	REFRIGERATOR COLUMN	THERMADOR	T30R000P	S.S.	24"	74"	24.0 3/8"	120 V-15 AMPS 3-PRONG	MILLWORK PANEL FRONT
A14	REFRIGERATOR COLUMN	THERMADOR	T30R000P	S.S.	24"	74"	24.0 3/8"	120 V-15 AMPS 3-PRONG	MILLWORK PANEL FRONT
A15	REFRIGERATOR COLUMN	THERMADOR	T30R000P	S.S.	24"	74"	24.0 3/8"	120 V-15 AMPS 3-PRONG	MILLWORK PANEL FRONT
A16	WASHER	LG	WM3579W_L	GRANITE (V)	24"	34.2 1/16"	24.0 3/8"	120V, 10 AMPS	
A17	DRYER	LG	DLEXS50L_DG557	GRANITE (V)	24"	34.2 1/16"	24.0 3/8"	GAS-3-PRONG GROUNDING TYPE	
A18	OUTDOOR U.C. REFRIGERATOR	TBD							
A19	GAS GRILL	TBD							
A20	OUTDOOR BURNER UNIT	TBD							
A21	MICROWAVE	TBD							
A22	U.C. REFRIGERATOR	FRIEDRICH	FFFS4330M		74.5 1/8"	34"	14-11 3/8"	3-PRONG GROUNDING TYPE	MILLWORK PANEL FRONT

PLUMBING FIXTURE SCHEDULE				
NO.	FIXTURE TYPE	MANUFACTURER	MODEL	REMARKS
P1	SINK	TBD	TBD	
P2	FAUCET	TBD	TBD	
P3	FLOOR DRAIN	TBD	TBD	
P4	TOILET	TBD	TBD	
P5	SINK	TBD	TBD	
P6	FAUCET	TBD	TBD	
P7	SINK	TBD	TBD	
P8	FAUCET	TBD	TBD	
P9	TOILET	TBD	TBD	
P10	SINK	TBD	TBD	
P11	FAUCET	TBD	TBD	
P12	SINK	TBD	TBD	
P13	FAUCET	TBD	TBD	
P14	TOILET	TBD	TBD	
P15	TOILET	TBD	TBD	
P16	SINK	TBD	TBD	
P17	FAUCET	TBD	TBD	
P18	SHOWER CONTROL VALVE	TBD	TBD	
P19	SHOWER HEAD	TBD	TBD	
P20	SHOWER DRAIN	TBD	TBD	
P21	SINK	TBD	TBD	
P22	FAUCET	TBD	TBD	
P23	SINK	TBD	TBD	
P24	FAUCET	TBD	TBD	
P25	TOILET	TBD	TBD	
P26	SHOWER CONTROL VALVE	TBD	TBD	
P27	SHOWER HEAD	TBD	TBD	
P28	SHOWER DRAIN	TBD	TBD	
P29	SINK	TBD	TBD	
P30	FAUCET	TBD	TBD	
P31	SINK	TBD	TBD	
P32	FAUCET	TBD	TBD	
P33	SINK	TBD	TBD	
P34	FAUCET	TBD	TBD	
P35	TOILET	TBD	TBD	
P36	TOILET	TBD	TBD	
P37	TUB FILLER/FAUCET	TBD	TBD	
P38	UNDERMOUNT BATH/TUB	TBD	TBD	
P39	SHOWER HEAD	TBD	TBD	
P40	SHOWER CONTROL VALVE	TBD	TBD	
P41	SHOWER HEAD	TBD	TBD	
P42	SHOWER CONTROL VALVE	TBD	TBD	
P43	BODY JETS	TBD	TBD	
P44	SHOWER DRAIN	TBD	TBD	
P45	SHOWER HEAD	TBD	TBD	
P46	SHOWER CONTROL VALVE	TBD	TBD	



01 ENLARGED PLAN  
A151 ROOF DECK 1/2" = 1'-0"



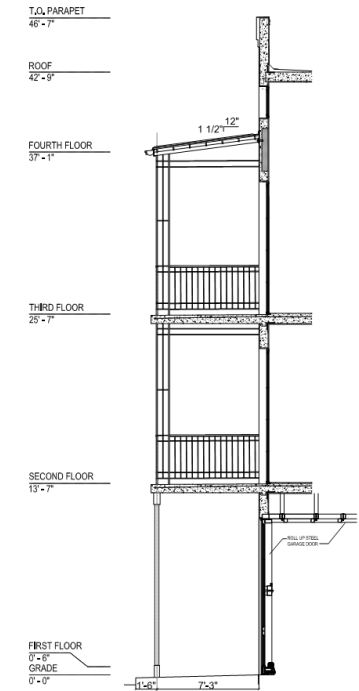
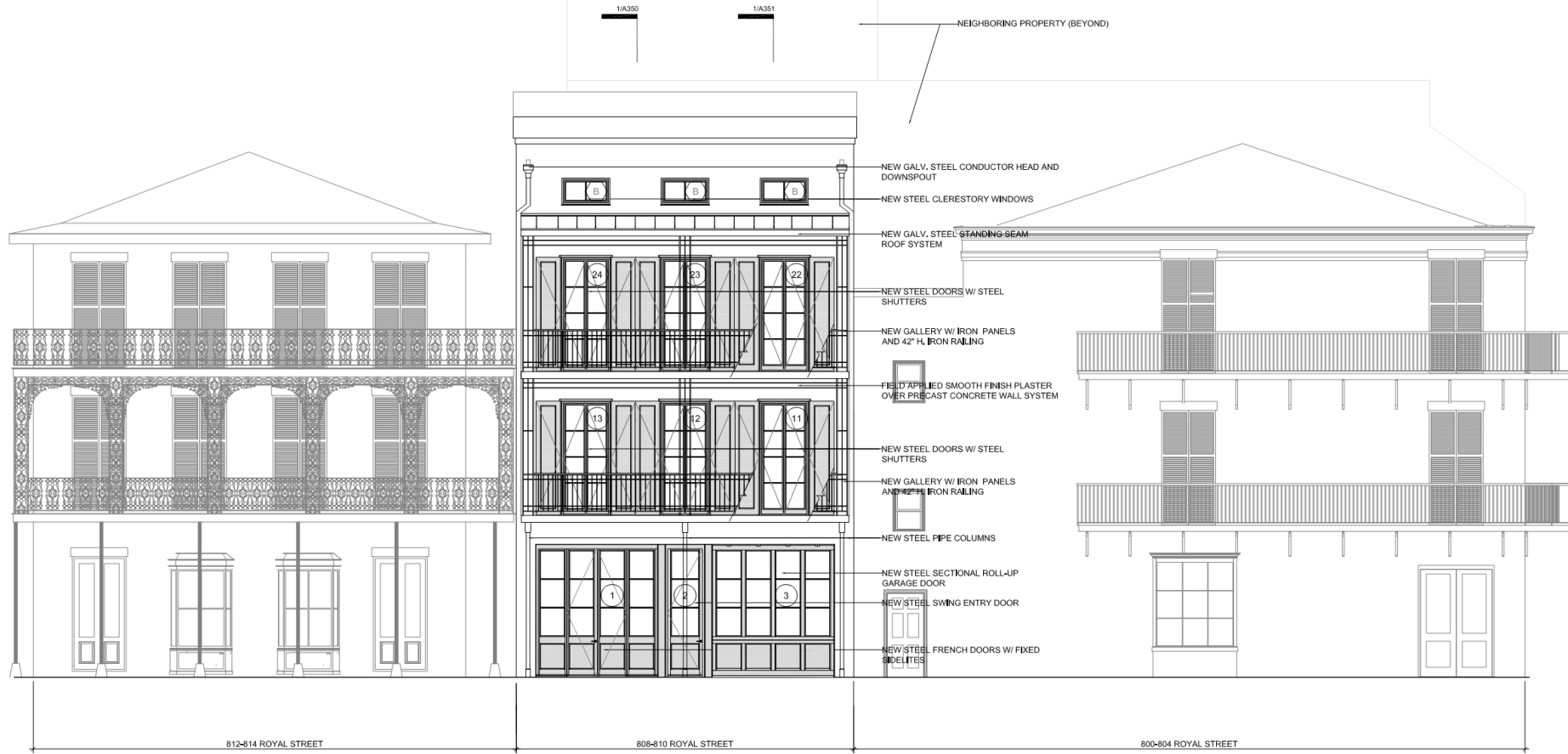
02 ENLARGED PLAN  
A151 MASTER BATH 404 / POOL 407 1/2" = 1'-0"



808-810 ROYAL STREET  
NEW ORLEANS, LA 70116

ENLARGED FLOOR PLANS





- NEIGHBORING PROPERTY (BEYOND)
- NEW GALV. STEEL CONDUCTOR HEAD AND DOWNSPOUT
- NEW STEEL CLERESTORY WINDOWS
- NEW GALV. STEEL STANDING SEAM ROOF SYSTEM
- NEW STEEL DOORS W/ STEEL SHUTTERS
- NEW GALLERY W/ IRON PANELS AND 42" H. IRON RAILING
- FIELD APPLIED SMOOTH FINISH PLASTER OVER PRECAST CONCRETE WALL SYSTEM
- NEW STEEL DOORS W/ STEEL SHUTTERS
- NEW GALLERY W/ IRON PANELS AND 42" H. IRON RAILING
- NEW STEEL PIPE COLUMNS
- NEW STEEL SECTIONAL ROLL-UP GARAGE DOOR
- NEW STEEL SWING ENTRY DOOR
- NEW STEEL FRENCH DOORS W/ FIXED SIDELITES

01 ROYAL STREET ELEVATION  
A300 Scale: 3/16"=1'-0"

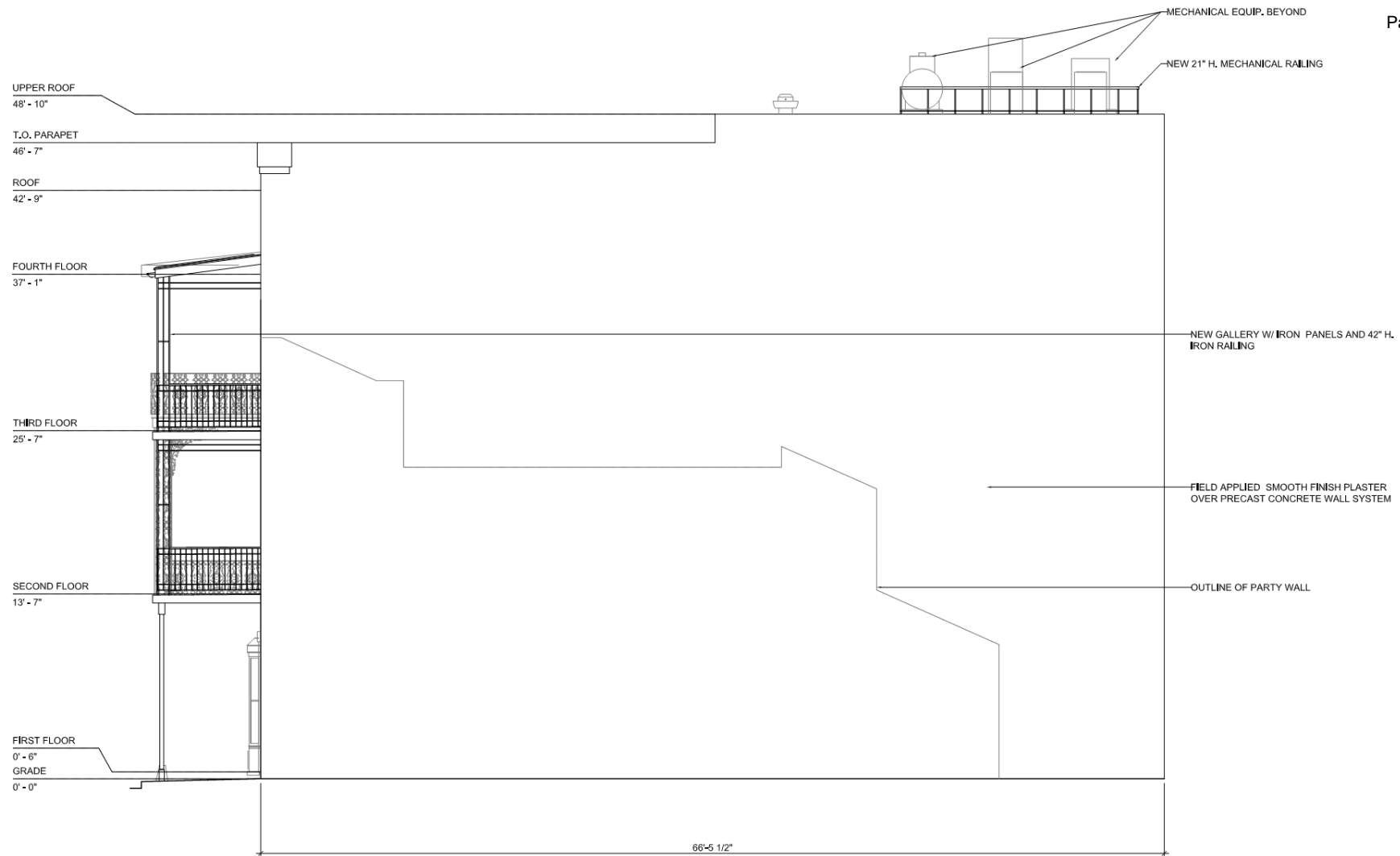
02 GALLERY SECTION  
A300 Scale: 3/16"=1'-0"

808-810 ROYAL STREET

EXTERIOR ELE

A3





808 Royal

01 ST. ANN STREET (SIDE) ELEVATION  
A301 Scale: 3/16"=1'-0"

Vieux Carré Commission

April 21, 2021





808-810 ROYAL STREET  
 NEW ORLEANS, LA 70116

EXTERIOR ELEVATIONS

A302

01 CHARTRES STREET (SIDE) ELEVATION  
 A302 Scaled 3/16"=1'-0"

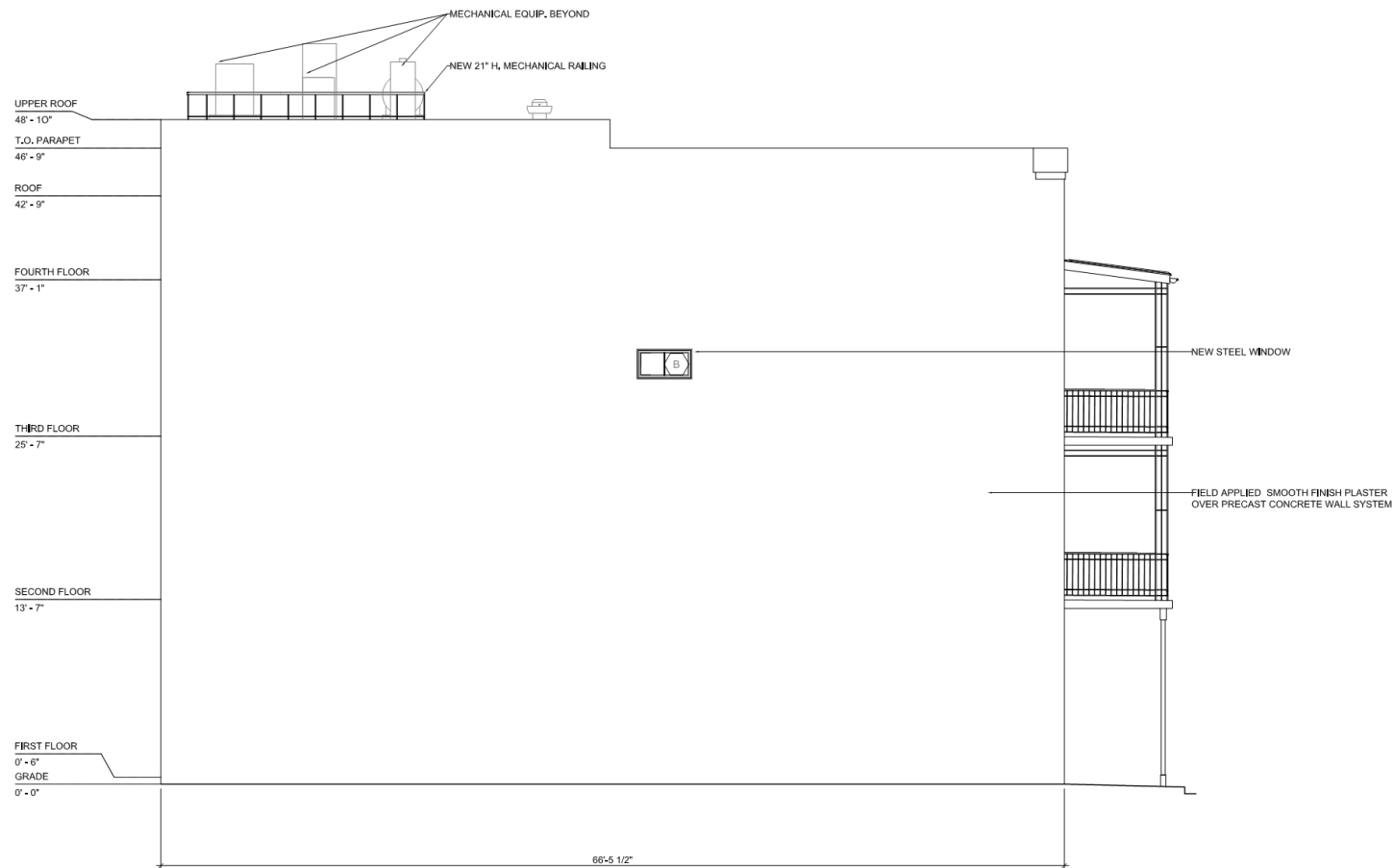
808 Royal

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April 21, 2021







808-810 ROYAL STREET  
 NEW ORLEANS, LA 70116

EXTERIOR ELEVATIONS

A303

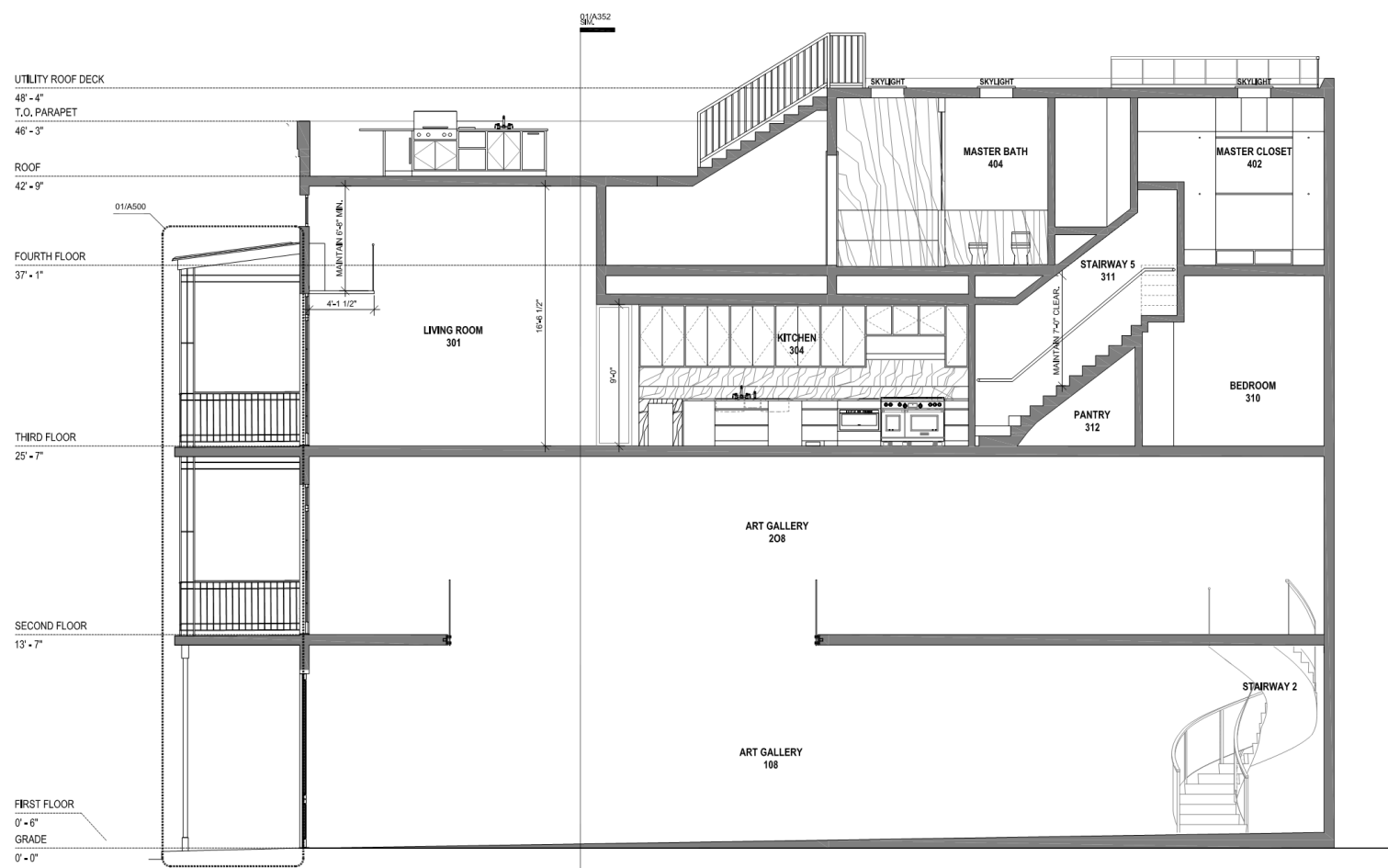
01 DUMAINE STREET (SIDE) ELEVATION  
 A303 Scale: 3/16" = 1'-0"

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April 21, 2021





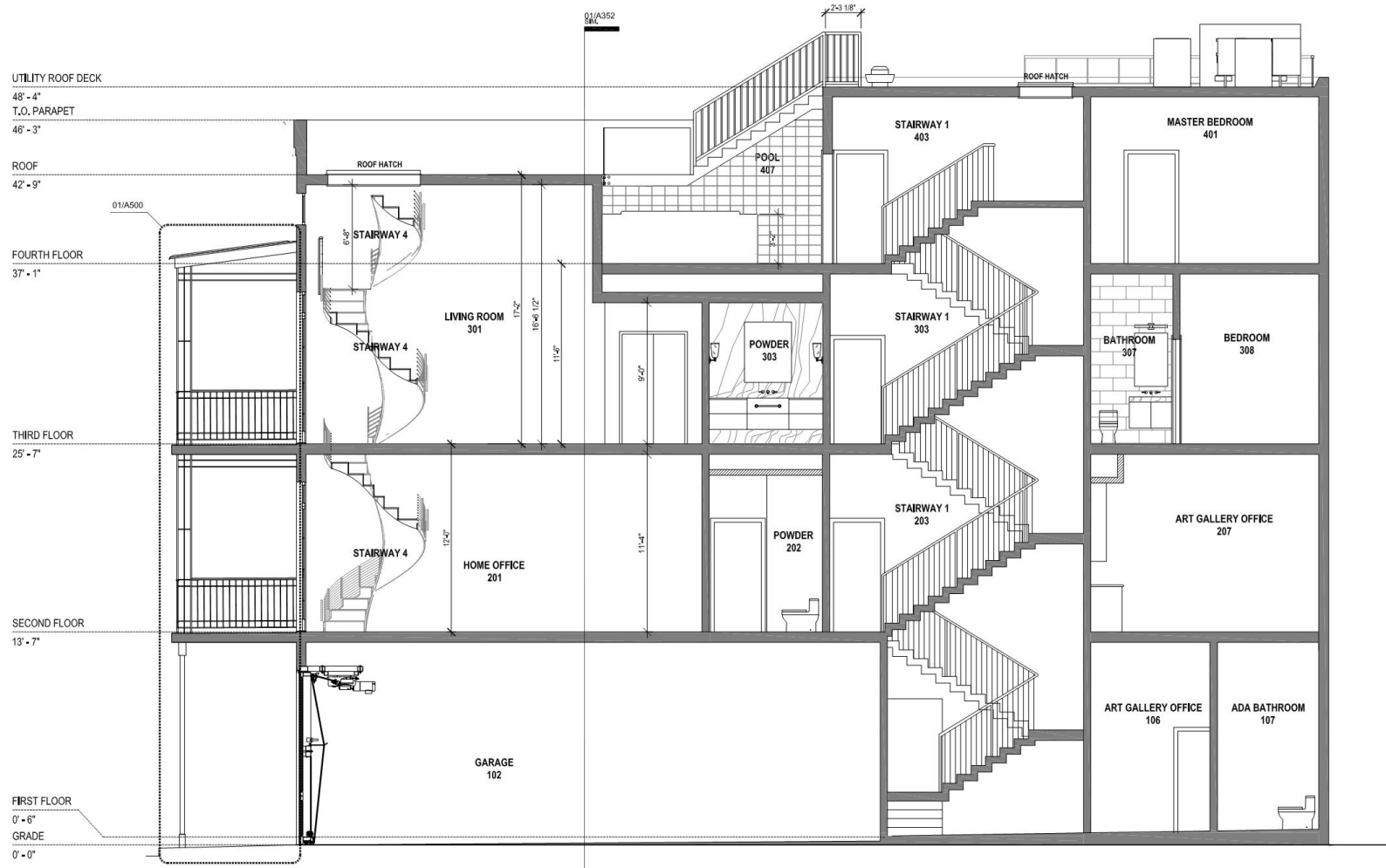
808-810 ROYAL STREET  
NEW ORLEANS, LA 70116

BUILDING SECTION

A350

01 BUILDING SECTION  
A350 1/4" = 1'-0"





808-810 ROYAL STREET  
NEW ORLEANS, LA 70116

BUILDING SECTION

A351

01 BUILDING SECTION  
A351 1/4" = 1'-0"



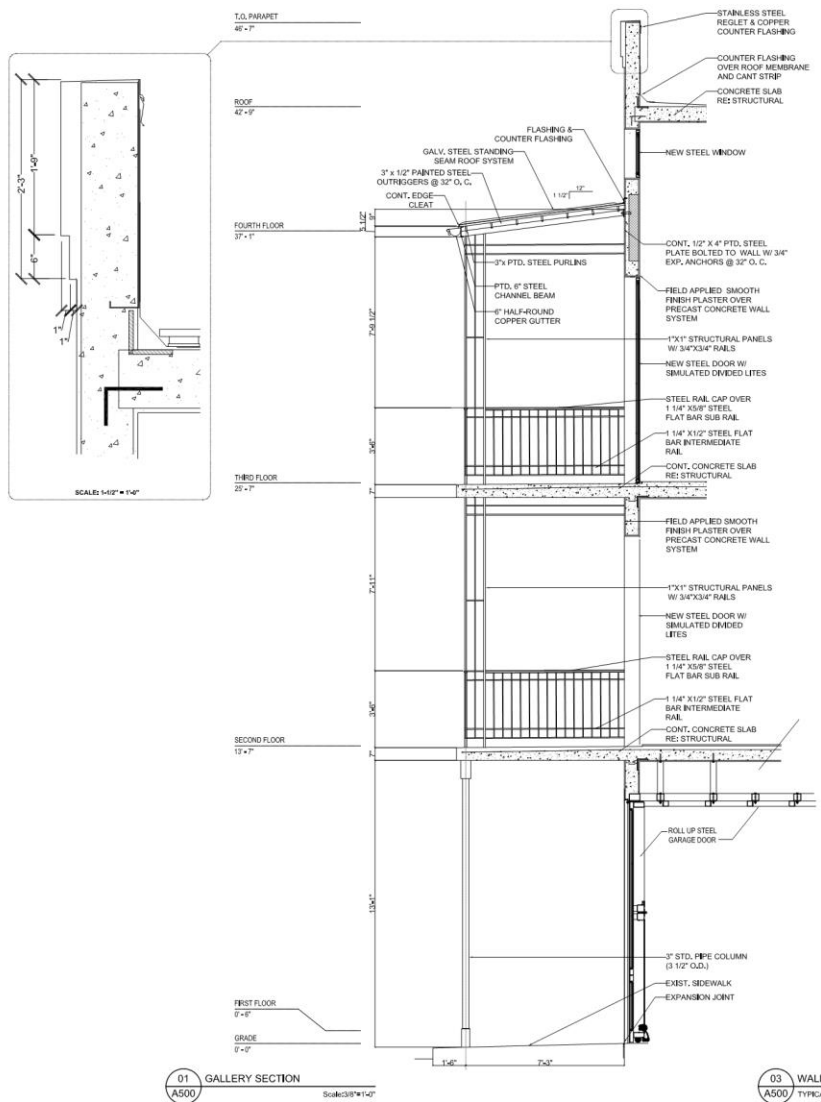
WILLIAMS ARCHITECTS  
525 SAIGONNE STREET  
NEW ORLEANS, LA 70113  
504-566-0888  
WILLIAMSARCHITECTS.COM



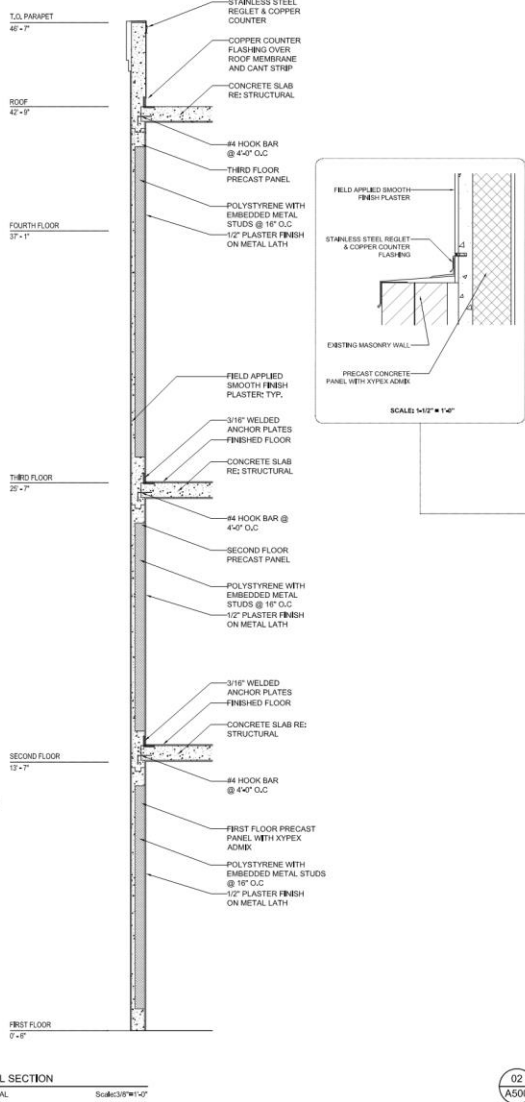
808-810 ROYAL STREET  
NEW ORLEANS, LA 70116

WALL SECTIONS

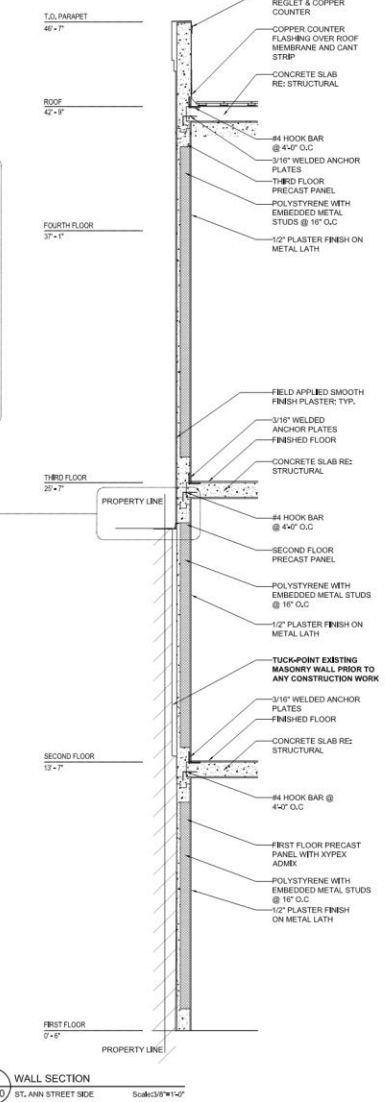
A500



01 GALLERY SECTION  
A500 Scale: 3/8" = 1'-0"



03 WALL SECTION  
A500 TYPICAL Scale: 3/8" = 1'-0"



02 WALL SECTION  
A500 ST. ANN STREET SIDE Scale: 3/8" = 1'-0"

808 Royal  
Vieux Carré Commission

April 21, 2021



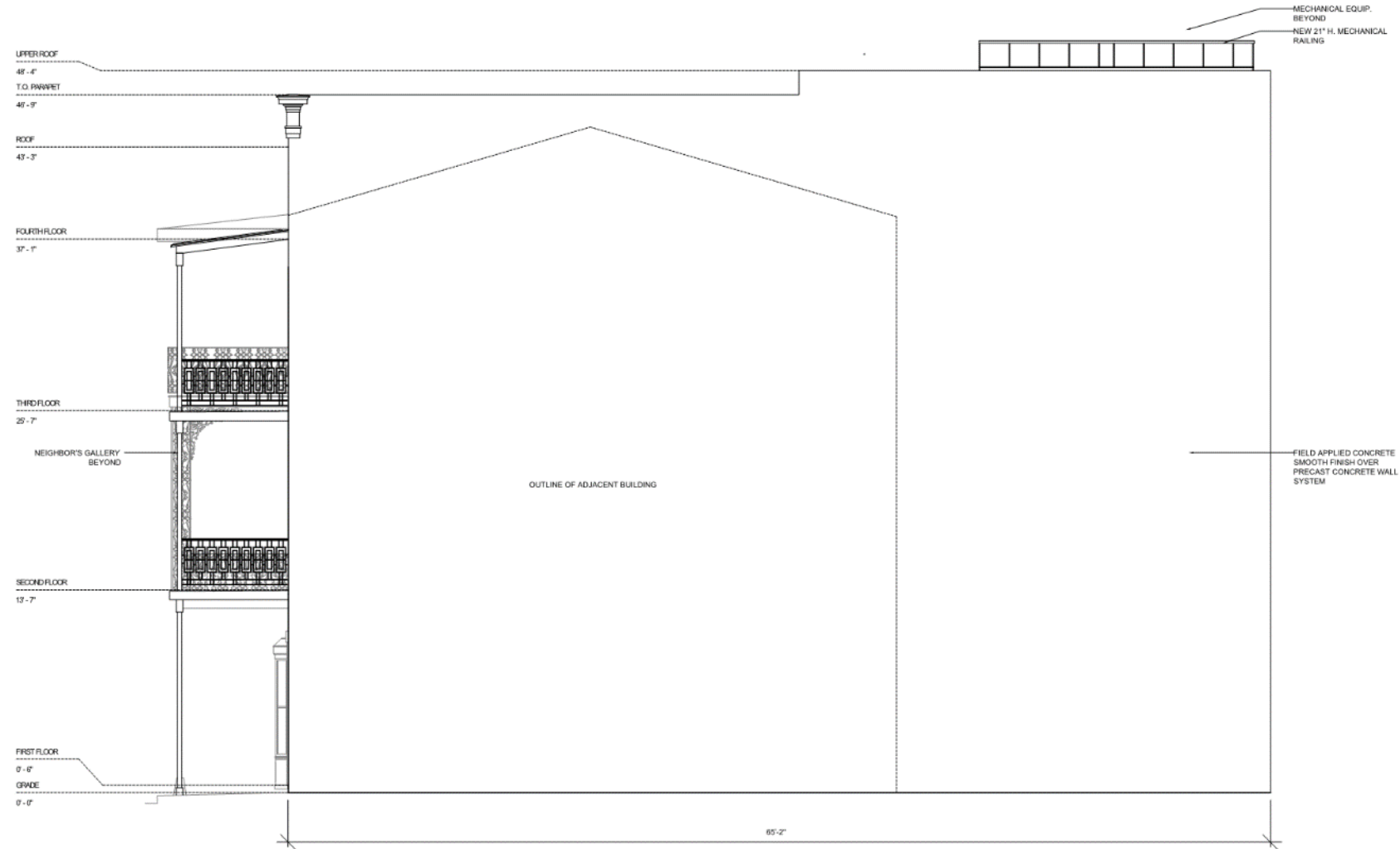
01 ROYAL STREET ELEVATION  
A300 Scale: 3/16"=1'-0"

# 808 Royal – 2016 Plans Reviewed by Commission

Vieux Carré Commission

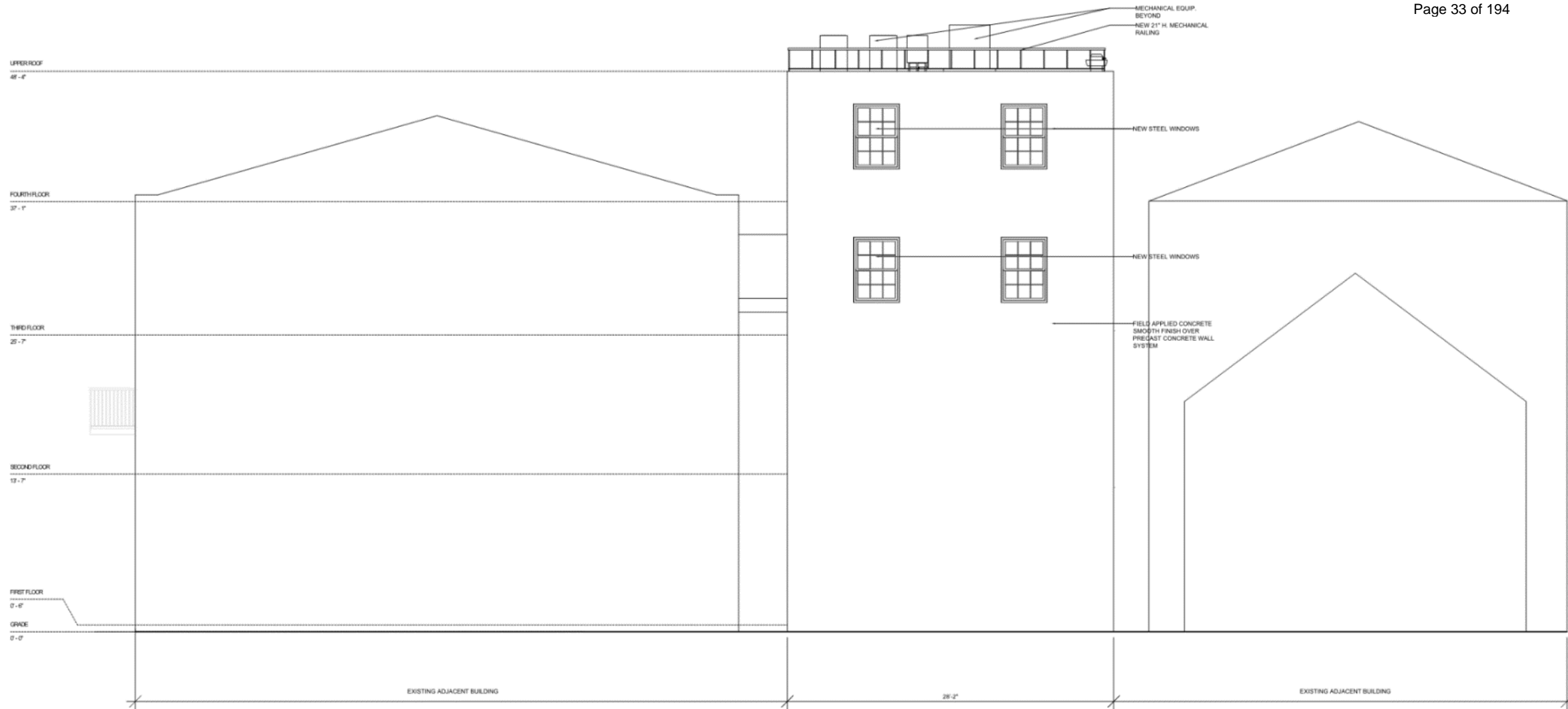
April 21, 2021





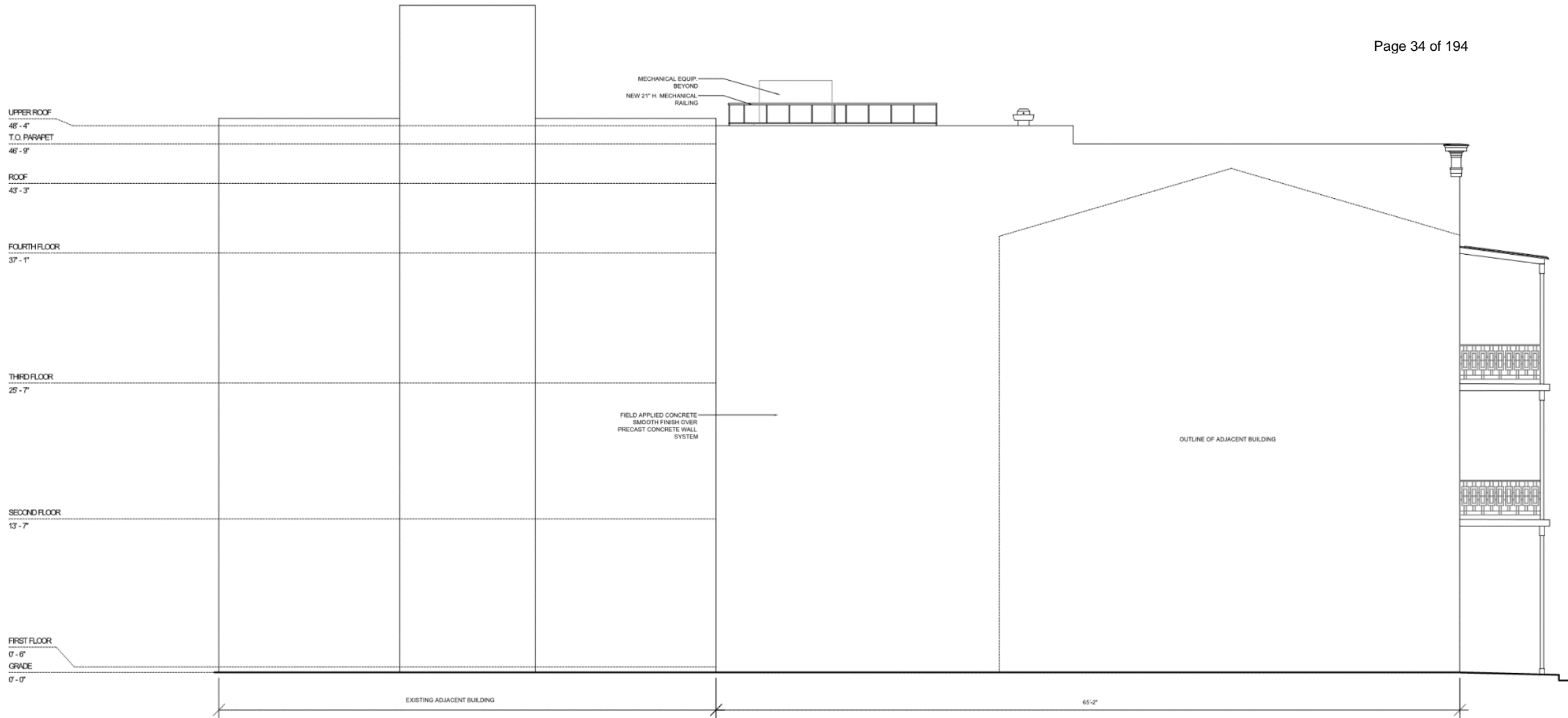
01 ST. ANN STREET (SIDE) ELEVATION  
A301 Scale: 3/16"=1'-0"





01 CHARTRES STREET (SIDE) ELEVATION  
A302 Scale: 3/16"=1'-0"

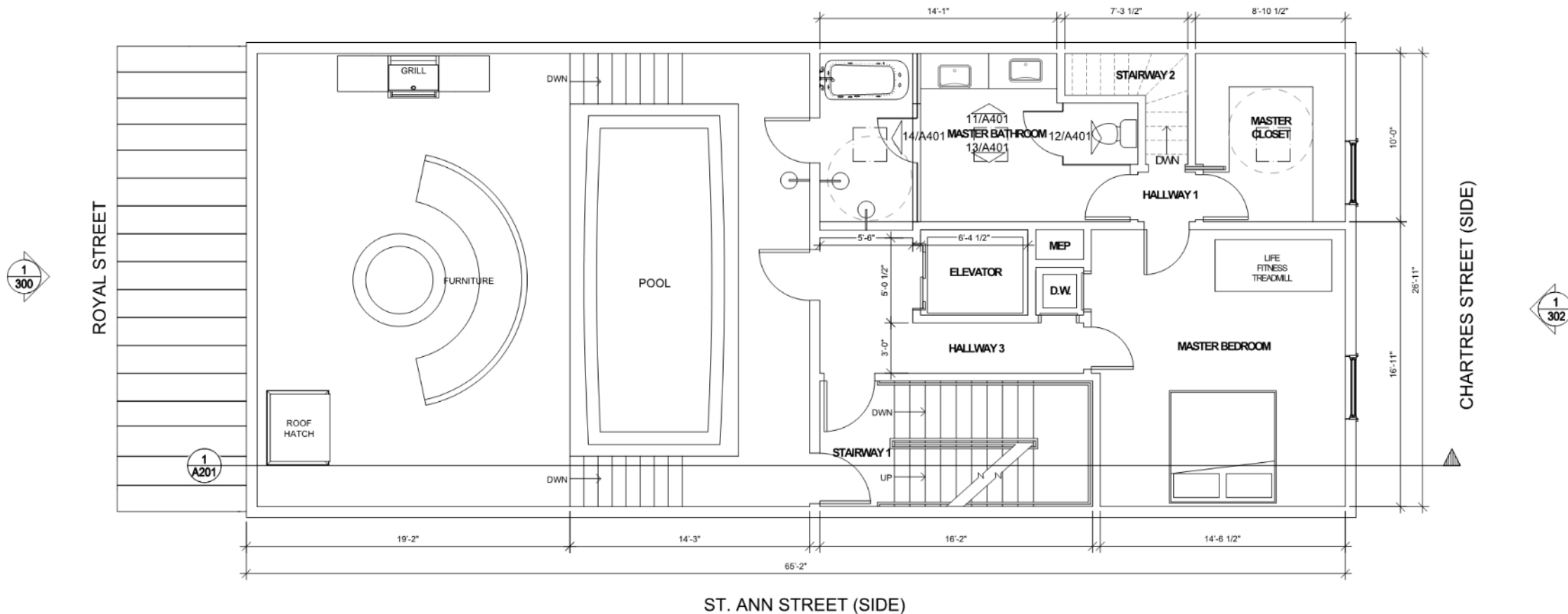




01 DUMAINE STREET (SIDE) ELEVATION  
A303 Scale: 3/16" = 1'-0"

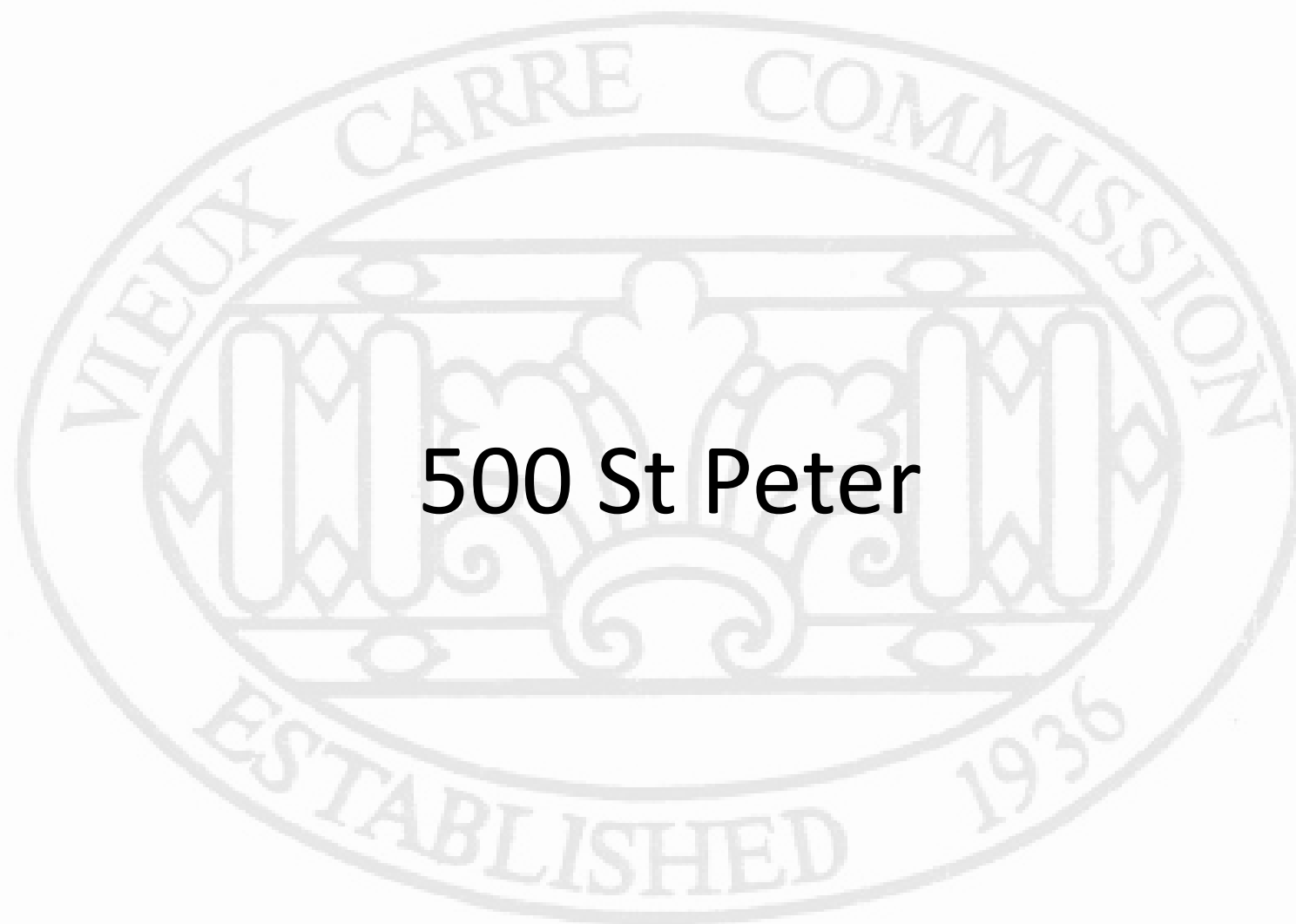






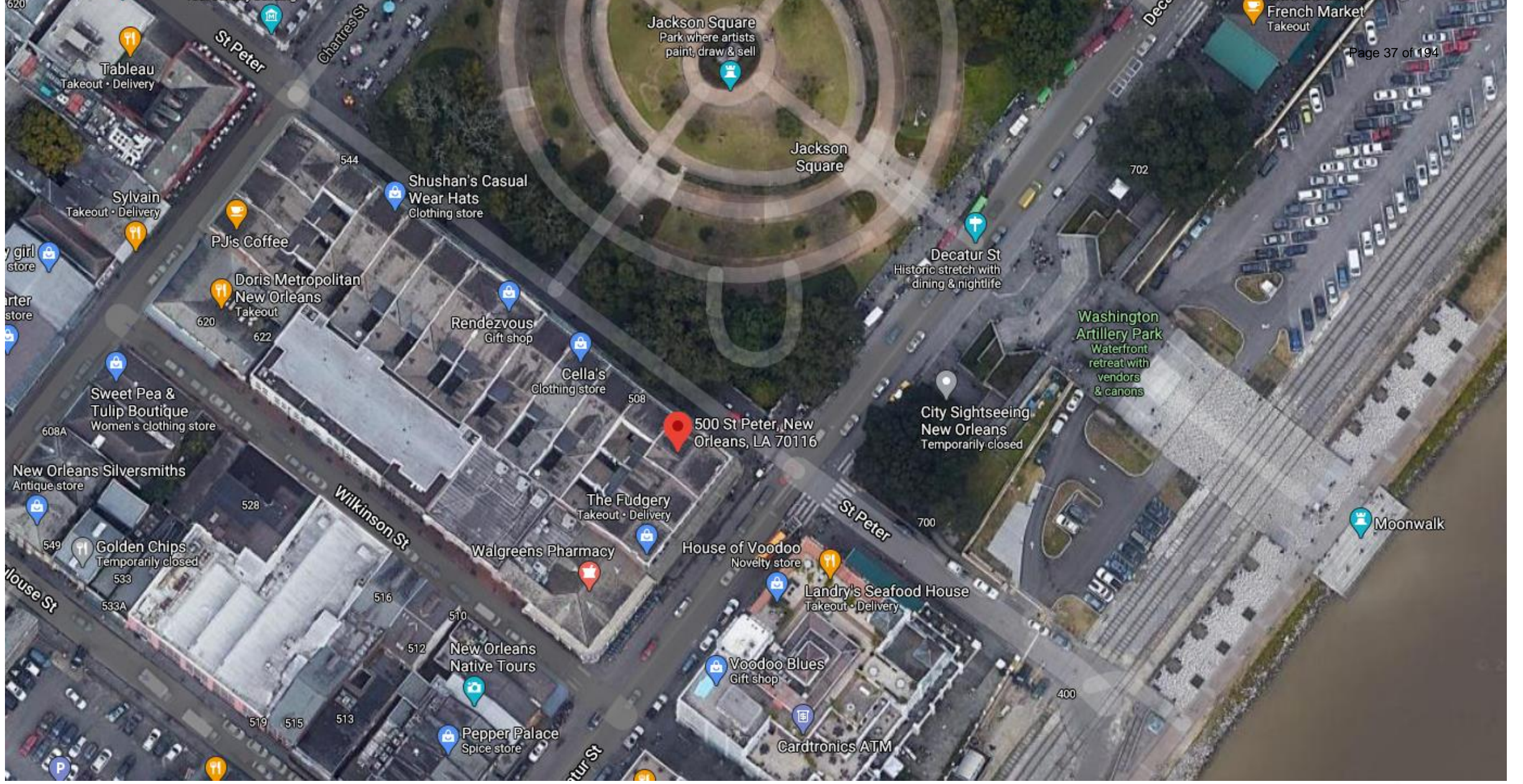
01 FOURTH FLOOR PLAN  
 A114 1/4" = 1'-0"





**500 St Peter**





500 St Peter

Vieux Carré Commission

April 21, 2021







500 St Peter

Vieux Carré Commission

April 21, 2021







500 St Peter

Vieux Carré Commission

April 21, 2021





FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION  
1009 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-436-6400

ARCHITECT: TRAPOLIN PEER  
850 TOUCHARD/COLAUS ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

CONTRACTOR: Company Name  
Street Address  
City, State  
Phone Number

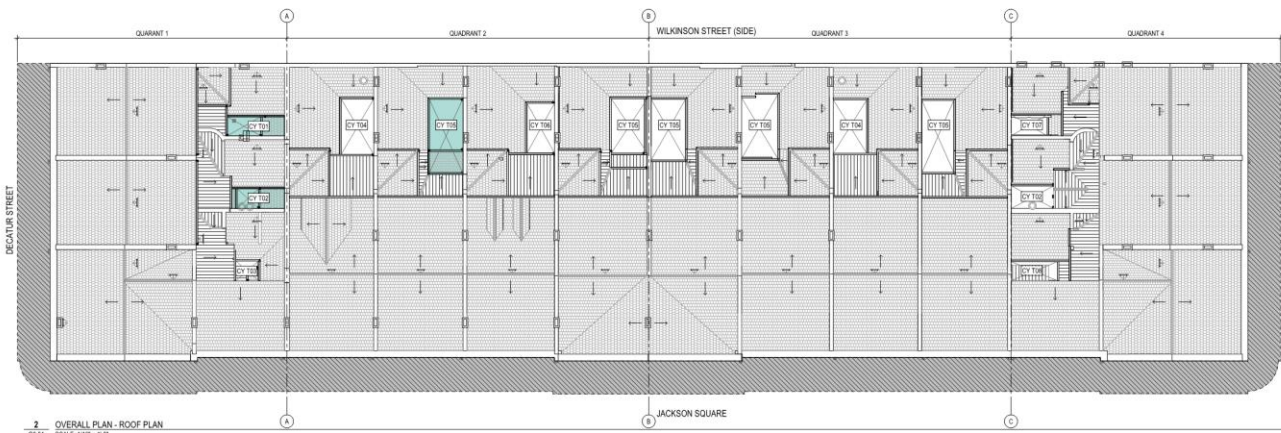
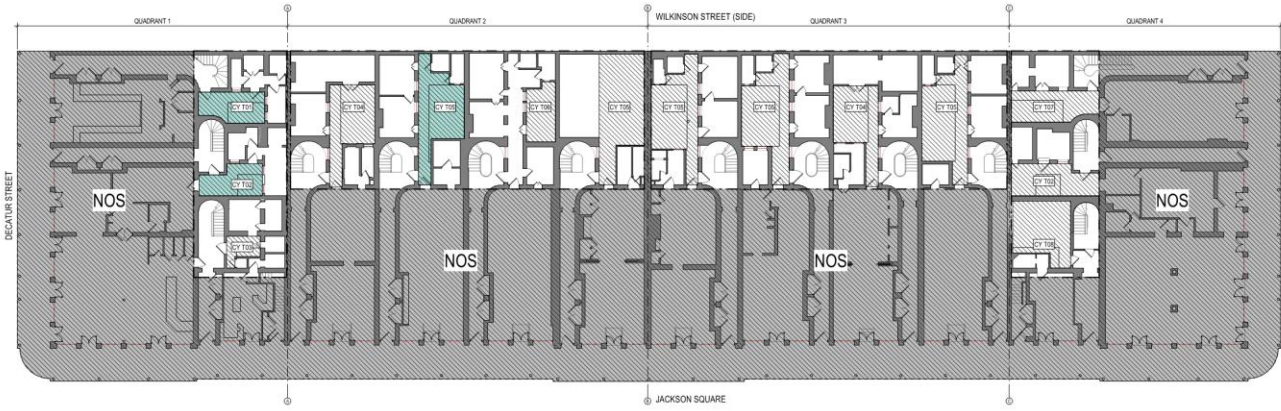
NOT FOR CONSTRUCTION

REVISION #1 DESCRIPTION DATE

500 ST. PETER ARCHITECTS, APC  
PROJECT NUMBER: CN20096  
ISSUE DATE: 03/30/21

SITE PLAN

G0.04



GENERAL CONSTRUCTION NOTES

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. PROTECTION GENERALLY INCLUDES THE LEAST DEGREE OF INTERFERENCE AND IS PREPARATORY TO OTHER WORK. PROTECTION INCLUDES THE MAINTENANCE OF MATERIALS AND FEATURES IN THE CONSTRUCTION SCOPE, AS WELL AS ENSURING THAT THE PROPERTY IS PROTECTED BEFORE AND DURING CONSTRUCTION AND OVER THE EVALUATION OF THE PHYSICAL CONDITION OF THE QUALIFYING HISTORIC FEATURES FROM THE CONSTRUCTION SCOPE SHOULD BEGIN PRIOR TO THE START OF WORK.
- CLEAN EXISTING MASONRY ONLY WHEN NECESSARY TO HALT DETRIMENT FROM OR OVER NEARBY SURFACES.
- CLEAN EXPOSED MASONRY SURFACES WITH THE GENTLEST METHOD POSSIBLE, SUCH AS USING PRESSURE WATER AND DEFLECTOR AND NATURAL BRISTLE OR OTHER SOFT BRISTLE BRUSHES.
- USE APPROPRIATE AND ENVIRONMENTALLY SAFE CLEANING OR PAINT REMOVAL PRODUCTS.
- USE PAINT REMOVAL METHODS THAT EMPLOY A POLYURETHANE WHICH ADHERES, WHEN POSSIBLE, TO NEATLY AND SAFELY REMOVE OLD LEAD PAINT.
- WHERE INDICATED ON DRAWINGS USE COATINGS THAT ENCAPSULATE LEAD PAINT, WHEN POSSIBLE, WHERE PAINT IS NOT REQUIRED TO BE REMOVED TO MEET ENVIRONMENTAL REGULATIONS.
- TECK MORTAR IS REQUIRED AT EXPOSED MASONRY PARTY WALLS THAT EXTEND TO ROOF AND CHIMNEYS.
- REPAIR MASONRY WALLS AND OTHER MASONRY FEATURES BY REPOINTING THE MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETEIORATION, SUCH AS DISINTEGRATING MORTAR, CRACKS IN MORTAR JOINTS, LOOSE BRICKS, OR DAMAGED PLASTER.
- REMOVE DETEIORATED LIME MORTAR CAREFULLY BY HAND, MAKING THE JOINTS TO AVOID DAMAGING THE SOUND JOINTS MASONRY.
- USE POWER TOOLS ONLY ON HORIZONTAL JOINTS OF BRICK MASONRY IN CONTACT WITH HARD CHISELS TO REMOVE HARD MORTAR THAT IS DETEIORATED OR THAT IS NON-HISTORIC MATERIAL, WHICH IS CAUSING DAMAGE TO THE EXISTING MASONRY UNITS. MECHANICAL TOOLS SHOULD BE USED ONLY BY SKILLED MASONRY IN LIMITED CIRCUMSTANCES AND GENERALLY NOT ON BRICKWORK. VERTICAL JOINTS IN BRICK MASONRY DUPLICATE THE MORTAR JOINTS IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE WHEN REPOINTING IS NECESSARY. IN SOME CASES, A LIME-BASED MORTAR MAY ALSO BE CONSIDERED WHEN REPOINTING PORTLAND CEMENT MORTAR JOINTS BECAUSE IT IS MORE FLEXIBLE.
- REPAIR STUCCO BY REMOVING THE DAMAGED MATERIAL AND PATCHING WITH NEW MATERIAL THAT DUPLICATES THE HISTORIC STUCCO IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE.
- EXISTING BOLTER BEAMS SHOWING SIGNS OF CRACKS ARE TO BE REPAIRED THROUGHOUT THE BUILDING AS A GENERAL REQUIREMENT.

PLAN LEGEND

- NOS - NOT IN SCOPE
- EXTERIOR COURTYARD - OPEN TO AIR ABOVE

GENERAL ROOF NOTES

- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. IDENTIFY, RETAIN, AND PRESERVE ROOFS IN THE CONSTRUCTION SCOPE AND THEIR FUNCTIONAL AND DECORATIVE FEATURES.
- PROTECT AND MAINTAIN ROOFS IN THE CONSTRUCTION SCOPE BY CLEANING GUTTERS AND DOWNPOUTS AND REPLACING DETEIORATED FLASHING.
- ROOF WEATHERING SHOULD ALSO BE CHECKED FOR INDICATIONS OF MOISTURE DUE TO LEAKS OR CONDENSATION.
- PROTECT ADJACENT ROOFS AND HISTORIC FEATURES WHEN WORKING ON OTHER ROOF FEATURES NOT IN SCOPE.
- EVALUATE THE OVERALL CONDITION OF THE ENTIRE ROOF TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE, SUCH AS REPAIRS TO ROOF FEATURES, WILL BE NECESSARY.
- REMOVE AND REPLACE COPPER ROOFS IN THEIR ENTIRETY. TYP IN ALL COURTYARDS. REPAIRS INCLUDE REPLACING THE COPPER ROOF IN KIND; MATCHING THE EXISTING MATERIALS TYPE, THICKNESS, TEXTURE AND FINISH.
- REPAIR DAMAGED PORTIONS OF SLATE ROOFS WITH MATERIALS THAT MATCH THE EXISTING SLATES TYPE, TEXTURE, THICKNESS AND FINISH.
- REMOVE EXISTING GUTTERS AND DOWNPOUTS. THE NEW GUTTERS AND DOWNPOUTS ARE TO BE RESIZED TO ACCOMMODATE STORM WATER DRAIN. ALL MATERIALS AND FINISHES ARE TO MATCH THE EXISTING GUTTERS AND DOWNPOUT TYPES, TEXTURES AND FINISHES.
- PAINTED CASE ROOFS ARE REQUIRED IN ALL TENANT SPACES OCCUPIED BY COMMERCIAL TENANTS.
- REMOVE ALL SUB-SURFACE STORM DRAINAGE FROM COURTYARD TO PUBLIC WAY. TYPICAL IN ALL COURTYARDS. PROVIDE VIDEO INSPECTION FROM OWNER AND ARCHITECT'S REVIEW.
- SMALL CLOGGED SUB-SURFACE DRAINAGE AS DETERMINED BY OWNER AND ARCHITECT.

ROOF MATERIAL LEGEND

- COPPER ROOF
- SLATE ROOF
- EXTERIOR COURTYARD - OPEN TO AIR ABOVE



03/30/21



03/30/21



TRAPOLINPEER  
ARCHITECTS

VCC SUBMITTAL

FMC UPB ROOF AND  
BUILDING REPAIRS  
RENOVATION AND RESTORATION  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER  
FRENCH MARKET CORPORATION  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-436-6400

ARCHITECT  
TRAPOLIN PEER  
850 TOUCHETVILLE ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

CONTRACTOR  
Company Name  
Street Address  
City, State  
Phone Number

NOT FOR  
CONSTRUCTION

REVISION # DESCRIPTION DATE

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PROJECT NUMBER  
CN20096  
ISSUE DATE  
03/30/21

HISTORIC  
PHOTOS

G0.12

500 St Peter

Vieux Carré Commission

April 21, 2021





FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-636-6400

ARCHITECT: TRAPOLIN PEER  
850 TCHOUPILOULAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-3772  
www.trapolinpeer.com

CONTRACTOR: **Company Name**  
Street Address  
City, State  
Phone Number

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REVISION #	DESCRIPTION	DATE
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PROJECT NUMBER:  
CM20096  
ISSUE DATE:  
03/30/21

COURTYARD 1 - EXISTING CONDITIONS

A1.00



IMAGE 1

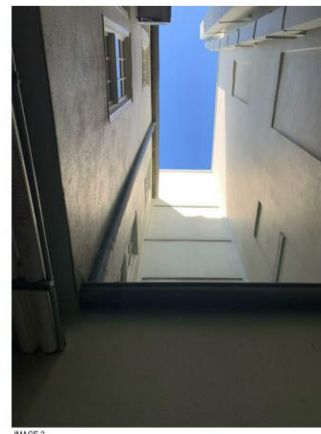


IMAGE 2

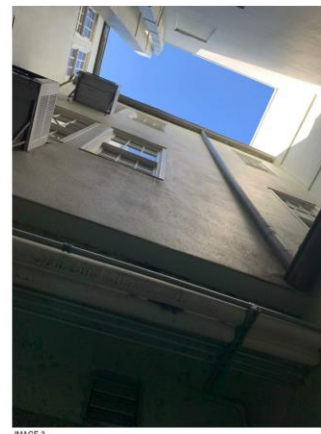


IMAGE 3



IMAGE 4



IMAGE 5

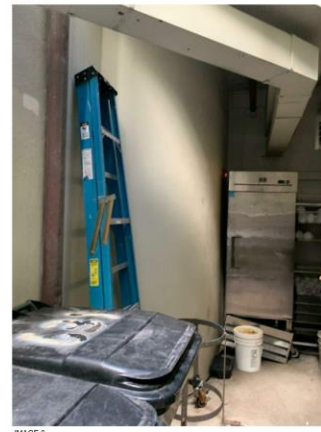
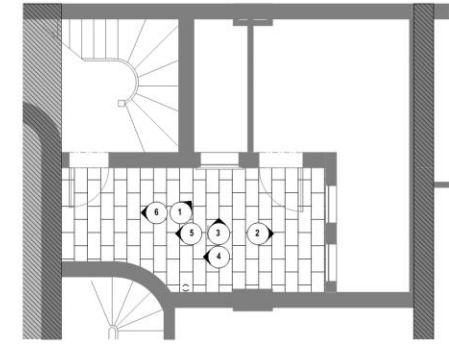


IMAGE 6





**FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION  
1000 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-636-6400

ARCHITECT: TRAPOLIN PEER  
850 TCHOUPOULAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
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CONTRACTOR: **Company Name**  
Street Address  
City, State  
Phone Number

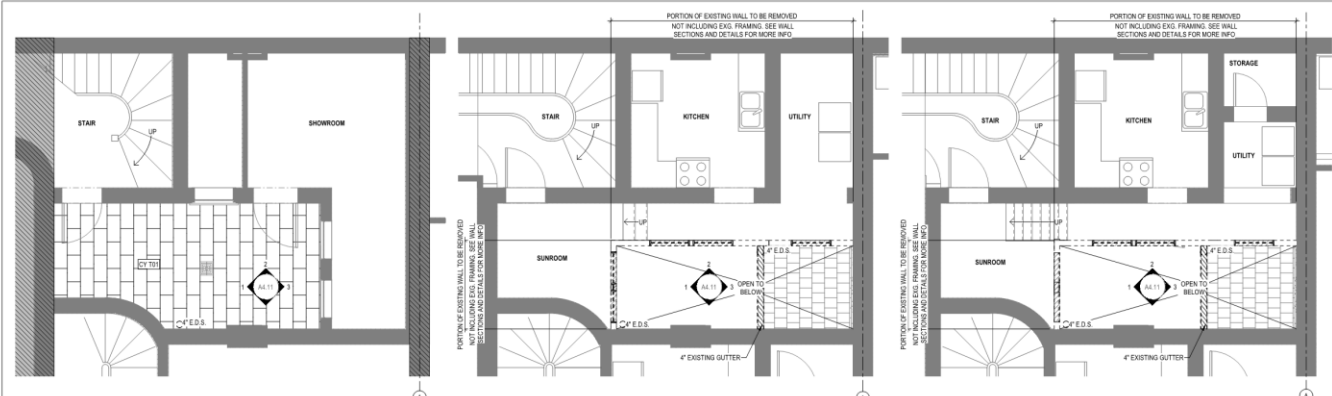
**NOT FOR CONSTRUCTION**

REVISION # DESCRIPTION DATE

BY TRAPOLIN PEER ARCHITECTS, APC  
PROJECT NUMBER: CH200086  
ISSUE DATE: 03/30/21

**COURTYARD 1 - EXISTING ELEVATIONS AND PLANS**

A1.01



**4 COURTYARD 1 EXISTING - FIRST FLOOR**  
A1.01 SCALE: 1/4" = 1'-0"

**5 COURTYARD 1 EXISTING - SECOND FLOOR**  
A1.01 SCALE: 1/4" = 1'-0"

**6 COURTYARD 1 EXISTING - THIRD FLOOR**  
A1.01 SCALE: 1/4" = 1'-0"



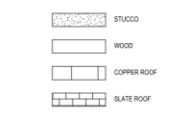
**1 COURTYARD 1 - WEST - EXISTING**  
A1.01 SCALE: 1/4" = 1'-0"

**2 COURTYARD 1 - NORTH - EXISTING**  
A1.01 SCALE: 1/4" = 1'-0"

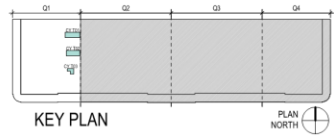
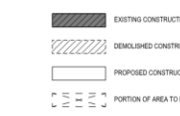
**3 COURTYARD 1 - EAST - EXISTING**  
A1.01 SCALE: 1/4" = 1'-0"

REPAIR/DEM NOTE: C1 ELEVATIONS	
TYPE MARK	REMARKS
Q1	REMOVE EXISTING NON-HISTORICAL WINDOW
R1	REMOVE EXISTING COPPER GUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND GUTTER PER PLAN DESIGNATION SIZE. STRIPPED AT 2" O.C. MAX.
R3	REMOVE EXISTING COPPER DOWNSPUT AND REPLACE WITH LARGER COPPER DOWNSPUT PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRIPS PER 10' LENGTH AND AT ALL BEAMS
R17	REMOVE AND SALVAGE EXISTING "V" ROOF TILES. REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR
R19	REPLACE ALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR TYPICAL AT ALL EXISTING CONDITIONS
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING BEAMS MUST BE FOLDED OVER AND DRAWN
R25	INSTALL NEW CAST IRON DOWNSPOUT BOOT AS INDICATED IN DRAWINGS
S3	EXISTING COATED PLASTER SURFACE ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SOUNDED AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNBONDED MASONRY COATING REMOVED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK UNTIL FIRMLY BONDED ADHESION IS REACHED. SOAK AND BONDED PLASTER WILL BE REFINISHED TO EXISTING MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE TUCKERPOINTED TO STABILIZE THE WALL AREA. CRACK TUCKERPOINTING AND MOVEMENT CRACK REPAIRS HAVE CURED, THESE AREAS WILL BE REFINISHED WITH MATCH TO REMOVE COSE FRES AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMPENED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MATURE TO PROMOTE BOND ADHESION WITH FINISH PLASTER. FINISH PLASTER WILL BE THE COMPOSITION OUTLINED BY THE VCC CARE FOR MASONRY MAINTENANCE OF HISTORIC STRUCTURES. DEPENDING ON THE BIRTH AND AGE OF THE REPAIR, IT CAN TAKE MULTIPLE LIFTS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING

**MATERIAL LEGEND**



**PHASE LEGEND**



**FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION**  
1015 PETERS STREET  
NEW ORLEANS, LA 70116

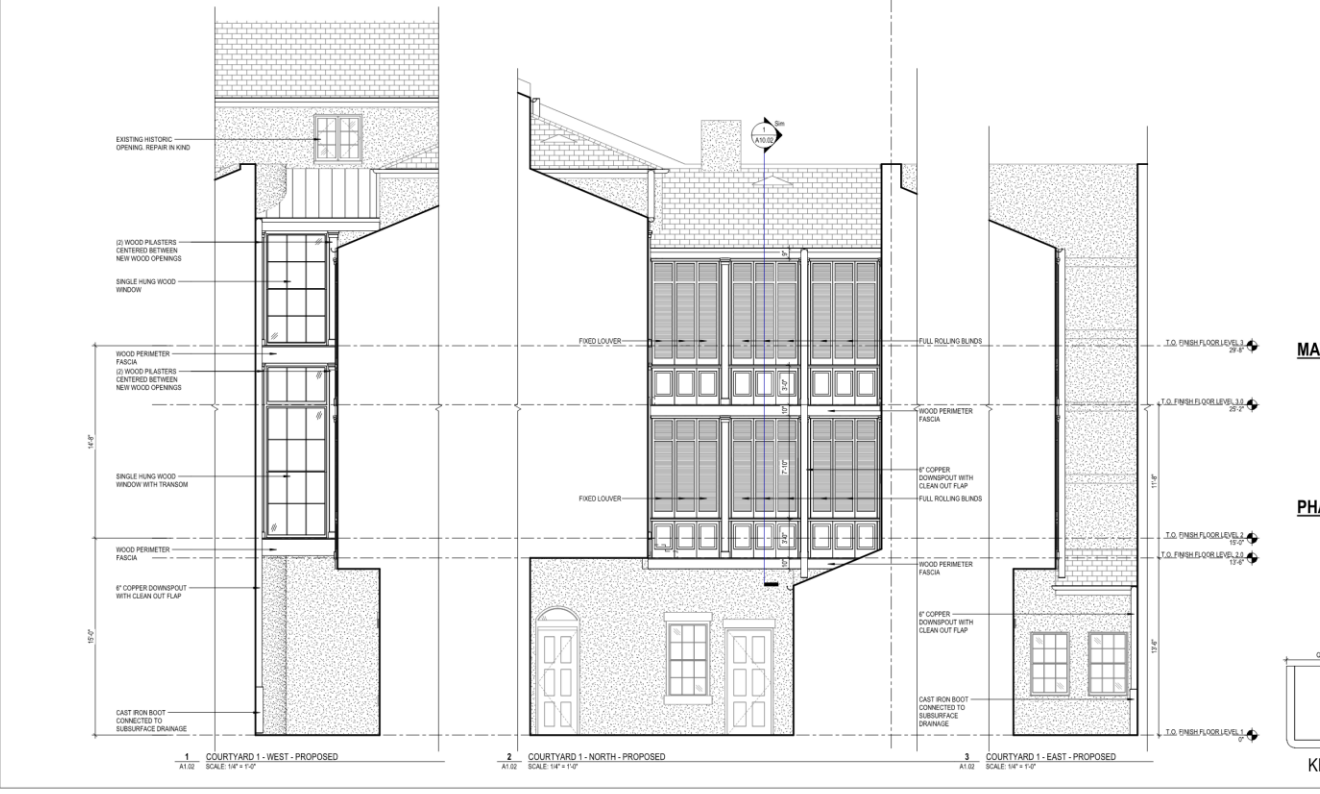
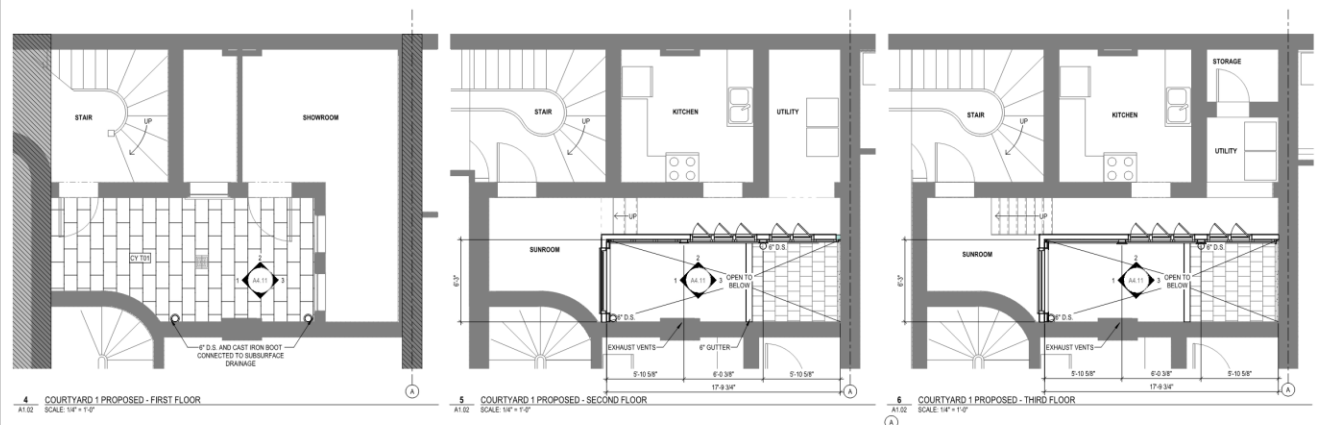
OWNER: FRENCH MARKET CORPORATION  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-436-6400

ARCHITECT: TRAPOLIN PEER  
850 TCHOUPTOULAS ST.  
NEW ORLEANS, LA 70130  
(504) 532-2772  
www.trapolinpeer.com

CONTRACTOR: **Company Name**  
Street Address  
City, State  
Phone Number

**NOT FOR CONSTRUCTION**

REVISION#	DESCRIPTION	DATE

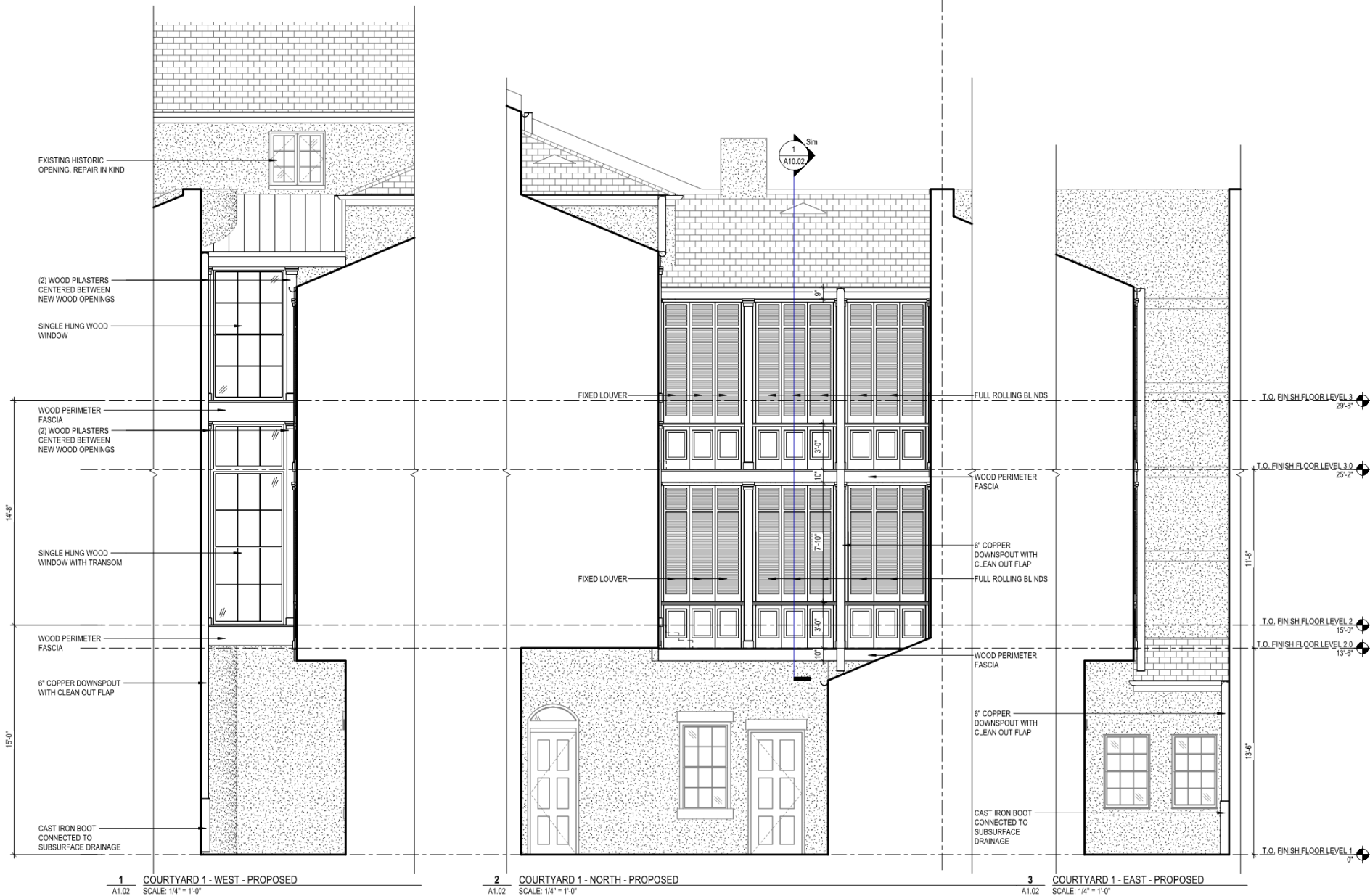


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PROJECT NUMBER: CN20096  
ISSUE DATE: 03/20/21

**COURTYARD 1 - PROPOSED ELEVATIONS AND PLANS**

A1.02





FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION 500 ST. PETER STREET NEW ORLEANS, LA 70116

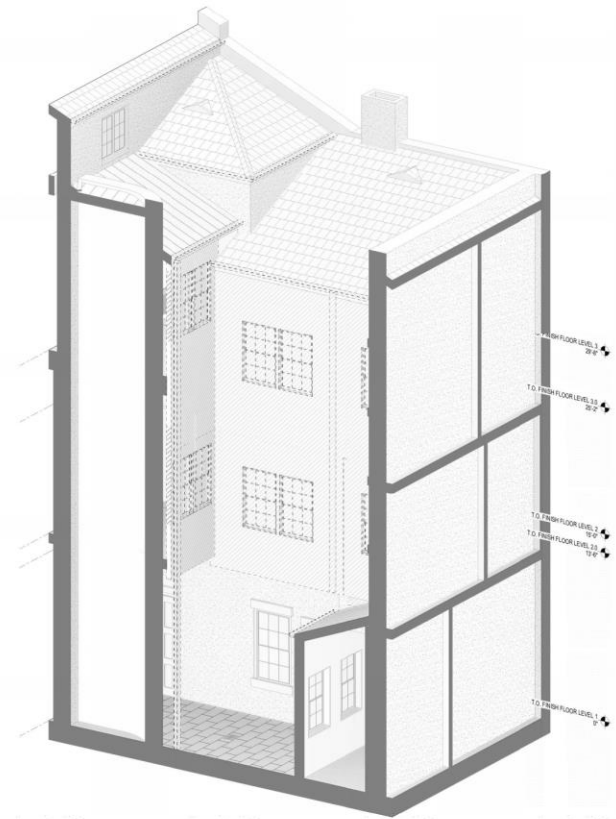
OWNER: FRENCH MARKET CORPORATION 1008 N. PETERS ST. #3 NEW ORLEANS, LA 70116 504-528-6400

ARCHITECT: TRAPOLIN PEER 800 TCHOUPTOULAS ST. NEW ORLEANS, LA 70130 (504) 523-2772 www.trapolinpeer.com

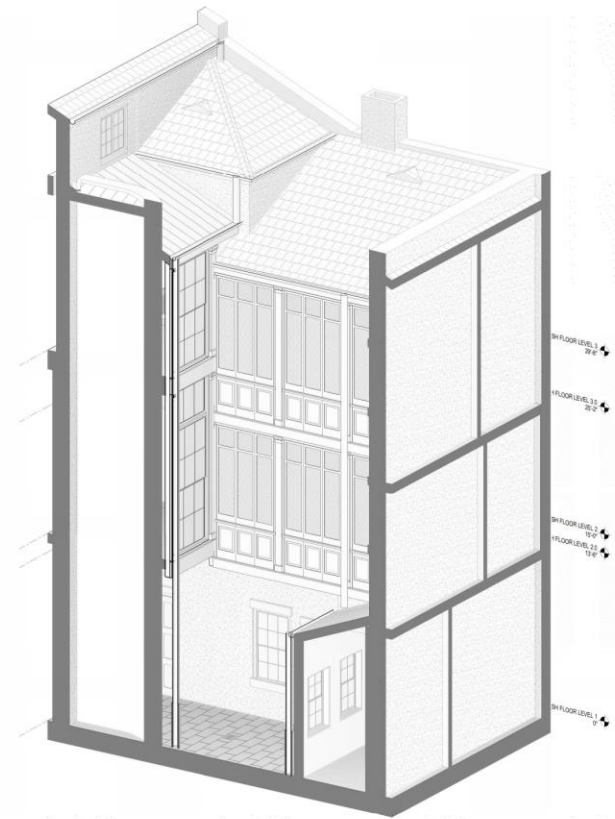
CONTRACTOR: Company Name Street Address City, State Phone Number

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1 COURTYARD TYPE 1 - EXISTING AXON, NE A1.03 SCALE



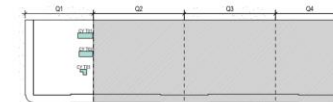
2 COURTYARD TYPE 1 - PROPOSED AXON, NE A1.03 SCALE

MATERIAL LEGEND

- STUCCO
WOOD
COPPER ROOF
SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
DEMOLISHED CONSTRUCTION
PROPOSED CONSTRUCTION
PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH

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PROJECT NUMBER

CN20096

ISSUE DATE

03/30/21

COURTYARD 1 - AXONS

A1.03





**FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

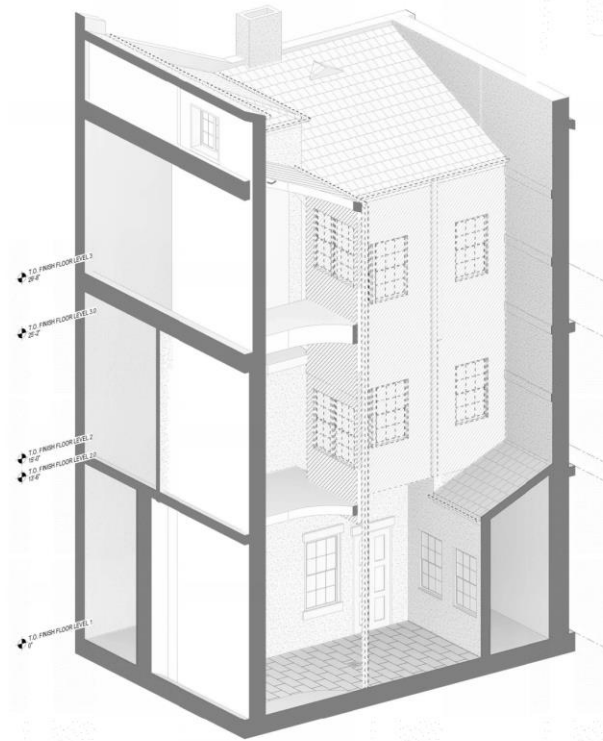
OWNER  
**FRENCH MARKET CORPORATION**  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-636-6600

ARCHITECT  
**TRAPOLIN PEER**  
850 TCHOURVILLE ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

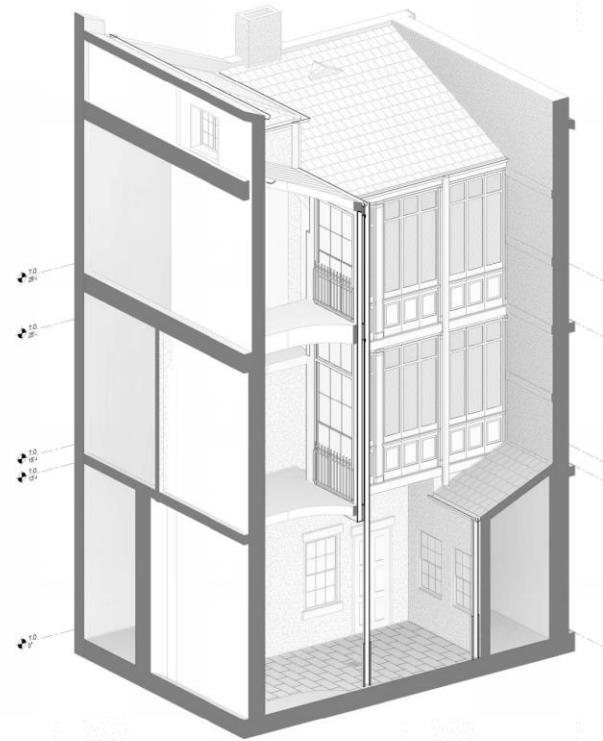
CONTRACTOR  
Company Name  
Street Address  
City, State  
Phone Number

**NOT FOR CONSTRUCTION**

REVISION #	DESCRIPTION	DATE



**1** COURTYARD TYPE 1 - EXISTING AXON, NW  
AT 04 SCALE



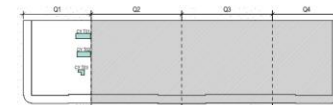
**2** COURTYARD TYPE 1 - PROPOSED AXON, NW  
AT 04 SCALE

**MATERIAL LEGEND**

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH

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PROJECT NUMBER  
COURTYARD  
ISSUE DATE:  
03/30/21

COURTYARD 1 - AXONS

A1.04



**FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-498-6400

ARCHITECT: TRAPOLIN PEER  
850 TCHOUFFOULAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

COMPANION: Company Name  
Street Address  
City, State  
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REVISION # | DESCRIPTION | DATE



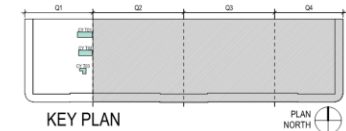
REPAIR/DEMOLITION NOTES (2) ELEVATIONS	
TYPE MARK	REMARKS
R01	REMOVE EXISTING NON-HISTORICAL WINDOW
R02	REMOVE EXISTING COPPER GUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND GUTTER PER PLAN DESIGNATION SIZE, STRAPPED AT 24" O.C. MAX
R03	REMOVE EXISTING COPPER DOWNSPOUT AND REPLACE WITH LARGER COPPER DOWNSPOUT PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRAPS PER 10' LENGTH AND AT ALL BENDS
R07	REMOVE AND SALVAGE EXISTING 1" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND RESTORE IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR
R09	REPLACE/INSTALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR TYPICAL AT ALL EXISTING CONDITIONS
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING BEAMS MUST BE FOLDED OVER AND CHIMED
S3	EXISTING COATED PLASTER SURFACE ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SOURED. AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNCOLORED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK UNTIL FULLY BONDED ADHESION IS REACHED. SOUND AND BONDED PLASTER WILL BE INSPECTED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE TUCKERPOINTED TO STRIKE THE WALL AREA. ONCE TUCKERPOINTING AND MOVEMENT CRACK REPAIRS HAVE CURED, THESE AREAS WILL BE INUNTIATED WITH WATER TO VERIFY COARSE FINES ARE SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMPENED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND ADHESION WITH FRESH PLASTER. FRESH PLASTER WILL BE THE COMPOSITION OUTLINED BY THE Vieux Carré FOR MASONRY MAINTENANCE OF HISTORIC STRUCTURES. DEPENDING ON THE DEPTH AND SIZE OF THE REPAIR, IT CAN TAKE MULTIPLE WEEKS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING

**MATERIAL LEGEND**

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



A2.01

COURTYARD 2 - EXISTING ELEVATIONS AND PLANS



**FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

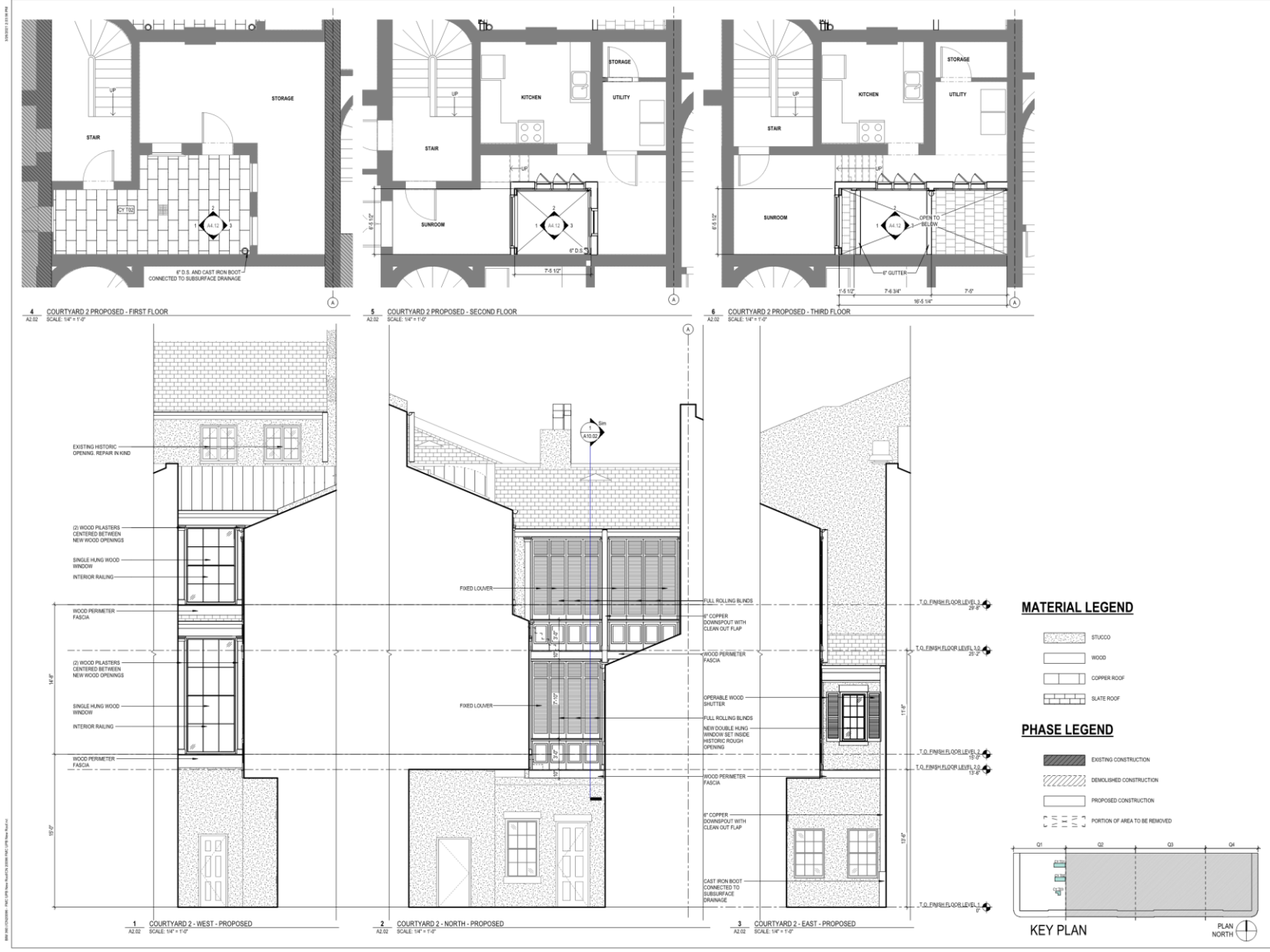
OWNER  
**FRENCH MARKET CORPORATION**  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-588-6400

ARCHITECT  
**TRAPOLIN PEER**  
850 CHOUQUETOU LAKE ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
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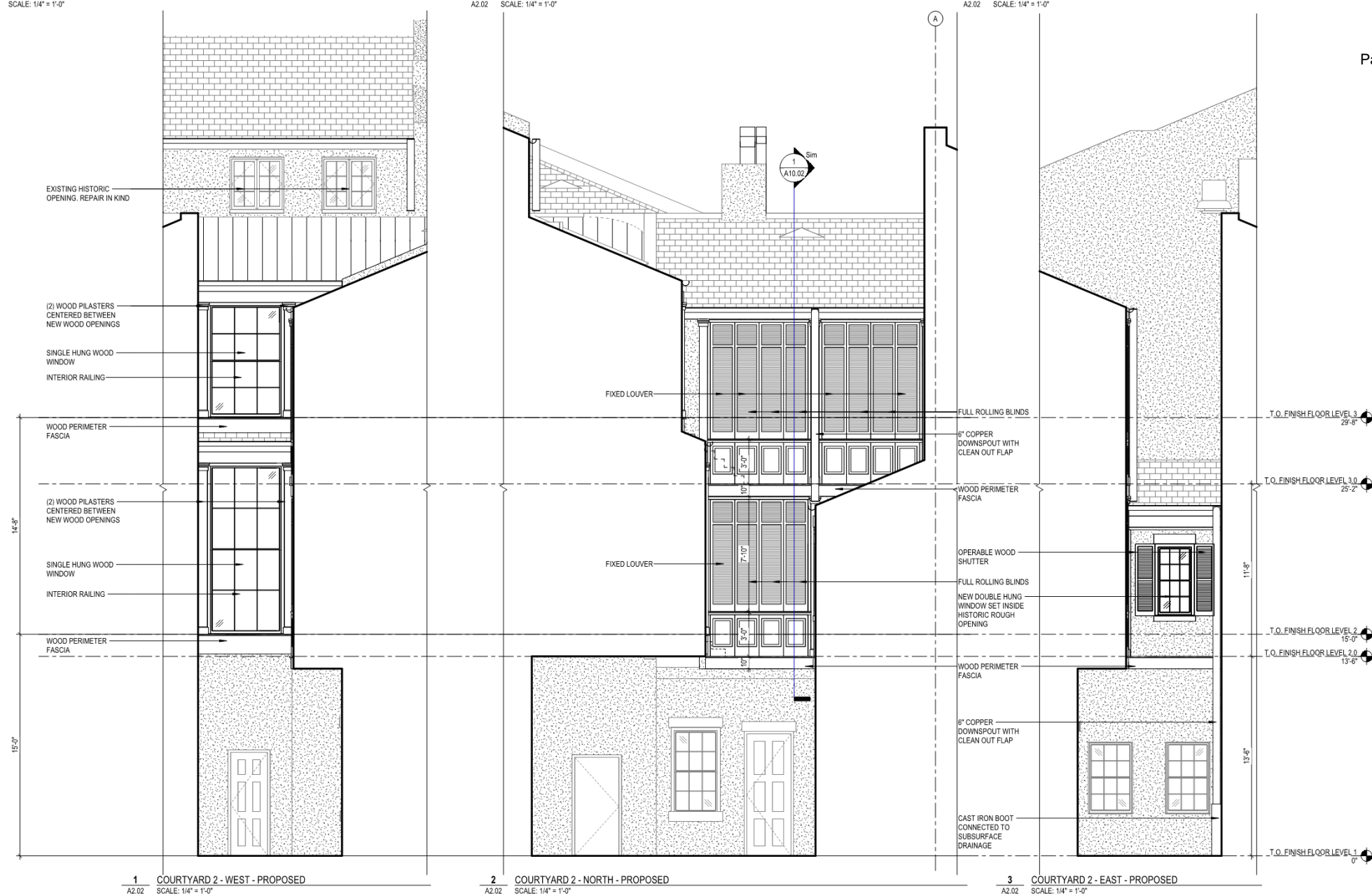
REVISION #	DESCRIPTION	DATE



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PROJECT NUMBER  
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ISSUE DATE  
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**COURTYARD 2 - PROPOSED ELEVATIONS AND PLANS**

A2.02





500 St Peter

Vieux Carré Commission

April 21, 2021





**FMC UPB ROOF AND  
BUILDING REPAIRS  
RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

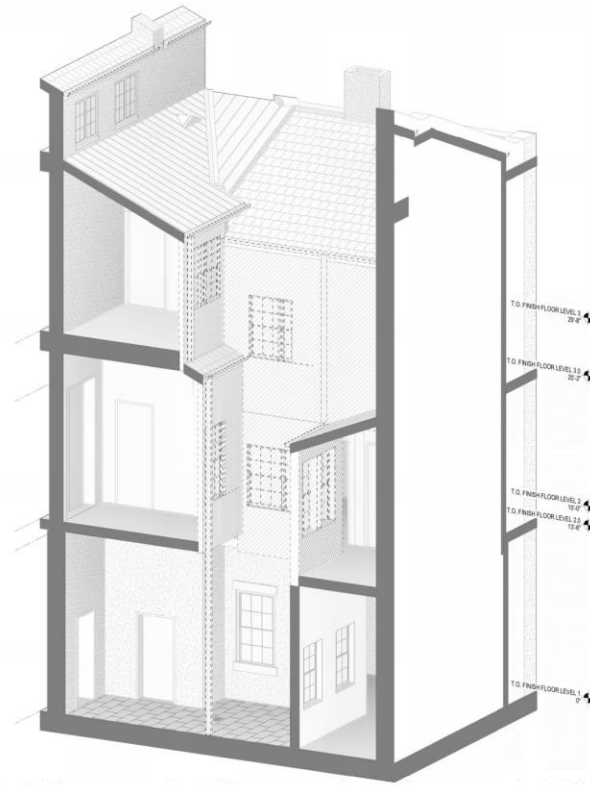
OWNER: FRENCH MARKET CORPORATION  
1001 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-459-6400

ARCHITECT: TRAPOLIN PEER  
850 CHURCHILLVILLE ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
www.trapolinpeer.com

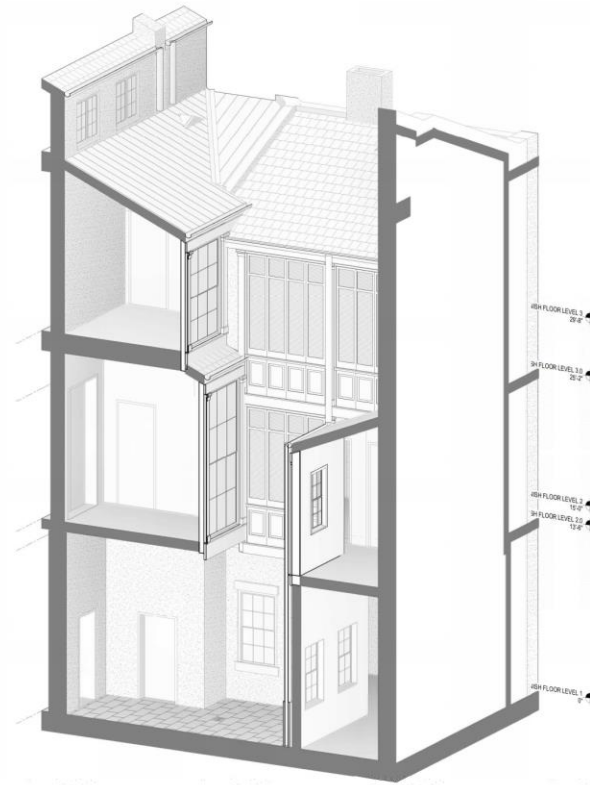
CONTRACTOR: Company Name  
Street Address  
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CONSTRUCTION**

REVISION #	DESCRIPTION	DATE





**1** COURTYARD TYPE 2 - EXISTING AXON, NE  
A2.03 SCALE







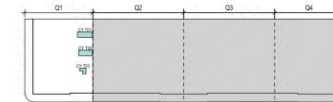
**2** COURTYARD TYPE 2 - PROPOSED AXON, NE  
A2.03 SCALE

**MATERIAL LEGEND**

-  STUCCO
-  WOOD
-  COPPER ROOF
-  SLATE ROOF

**PHASE LEGEND**

-  EXISTING CONSTRUCTION
-  DEMOLISHED CONSTRUCTION
-  PROPOSED CONSTRUCTION
-  PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH

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PROJECT NUMBER  
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ISSUE DATE  
04/20/21

COURTYARD 2 -  
AXONS

A2.03



**FMC UPB ROOF AND  
BUILDING REPAIRS  
RENOVATION AND RESTORATION**  
600 ST. PETER STREET  
NEW ORLEANS, LA 70116

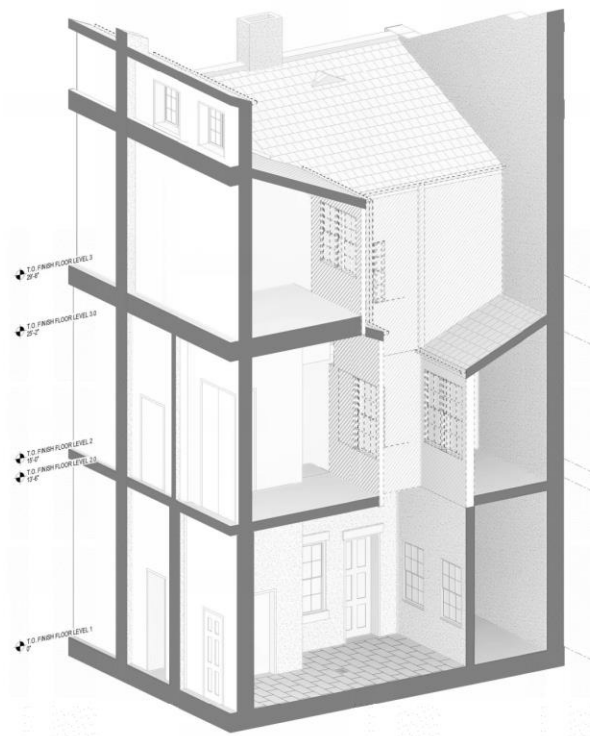
OWNER:  
FRENCH MARKET CORPORATION  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-636-6400

ARCHITECT:  
TRAPOLIN PEER  
850 TCHOUPICOLAAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-3772  
www.trapolinpeer.com

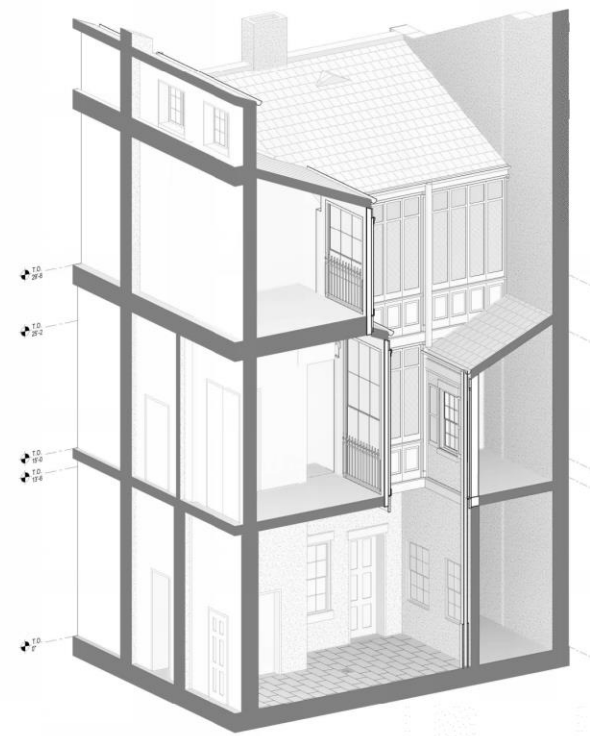
CONTRACTOR:  
Company Name  
Street Address  
City, State  
Phone Number

**NOT FOR  
CONSTRUCTION**

REVISION #	DESCRIPTION	DATE




**1** COURTYARD TYPE 2 - EXISTING AXON, NW  
A2.04 SCALE


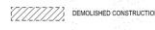




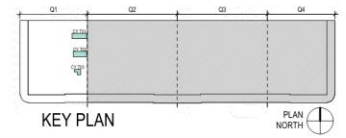
**2** COURTYARD TYPE 2 - PROPOSED AXON, NW  
A2.04 SCALE

**MATERIAL LEGEND**

-  STUCCO
-  WOOD
-  COPPER ROOF
-  SLATE ROOF

**PHASE LEGEND**

-  EXISTING CONSTRUCTION
-  DEMOLISHED CONSTRUCTION
-  PROPOSED CONSTRUCTION
-  PORTION OF AREA TO BE REMOVED



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**COURTYARD 2 -  
AXONS**

A2.04



**FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER:  
**FRENCH MARKET CORPORATION**  
1006 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-526-6400

ARCHITECT:  
**TRAPOLIN-PEER**  
800 TCHOUPTOULAS ST.  
NEW ORLEANS, LA 70130  
(504) 523-2772  
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Street Address  
City, State  
Phone Number

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REVISION #	DESCRIPTION	DATE

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PROJECT NUMBER:  
CN20096  
ISSUE DATE:  
03/30/21

**COURTYARD 5 - EXISTING CONDITIONS**

A5.00

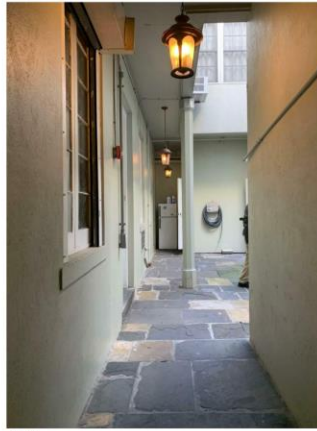


IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4



IMAGE 5



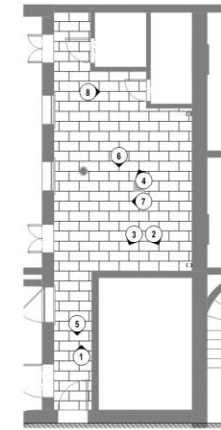
IMAGE 6



IMAGE 7



IMAGE 8



**FMC UPB ROOF AND  
BUILDING REPAIRS  
RENOVATION AND RESTORATION**  
500 ST. PETER STREET  
NEW ORLEANS, LA 70116

OWNER:  
**FRENCH MARKET CORPORATION**  
1008 N. PETERS ST. #3  
NEW ORLEANS, LA 70116  
504-636-6400

ARCHITECT:  
**TRAPOLIN PEER**  
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NEW ORLEANS, LA 70130  
(504) 523-2722  
www.trapolinpeer.com

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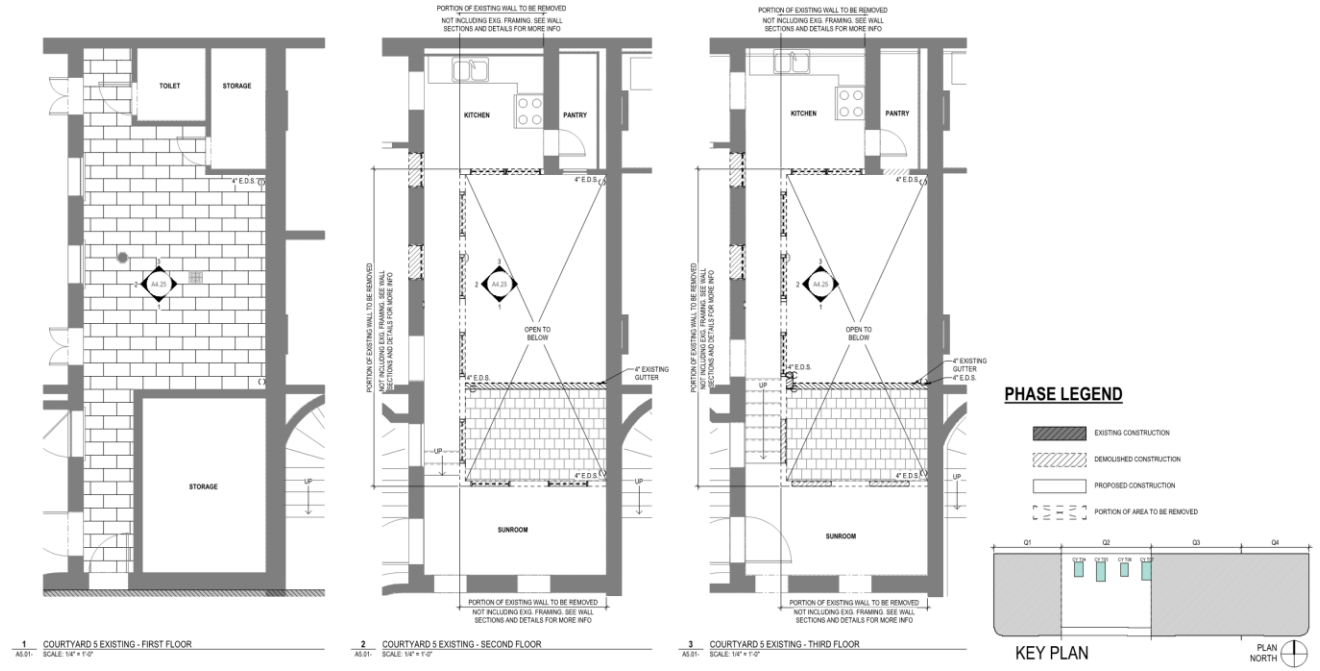
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**COURTYARD 5  
-EXISTING PLANS**

**A5.01-**

16000 1/8" = 1'-0" (1/8" = 1'-0")  
 16000 1/8" = 1'-0" (1/8" = 1'-0")  
 16000 1/8" = 1'-0" (1/8" = 1'-0")





**FMC UPB ROOF AND  
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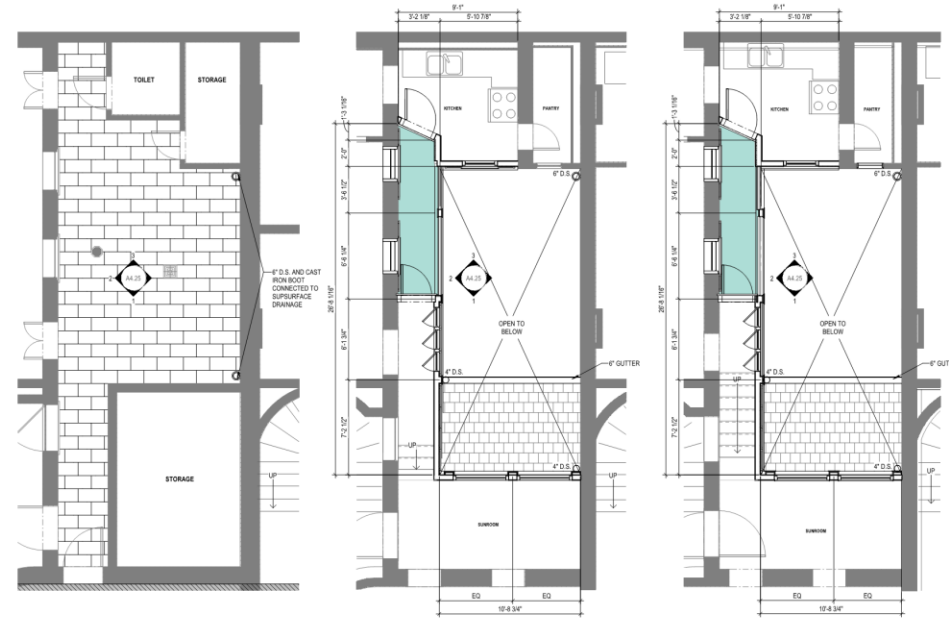
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**COURTYARD 5  
-PROPOSED  
PLANS**

**A5.02-**



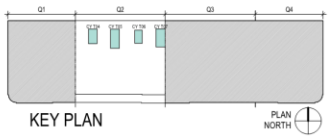
**1** COURTYARD 5 PROPOSED - FIRST FLOOR  
A5.02 SCALE: 1/4" = 1'-0"

**2** COURTYARD 5 PROPOSED - SECOND FLOOR  
A5.02 SCALE: 1/4" = 1'-0"

**3** COURTYARD 5 PROPOSED - THIRD FLOOR  
A5.02 SCALE: 1/4" = 1'-0"

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



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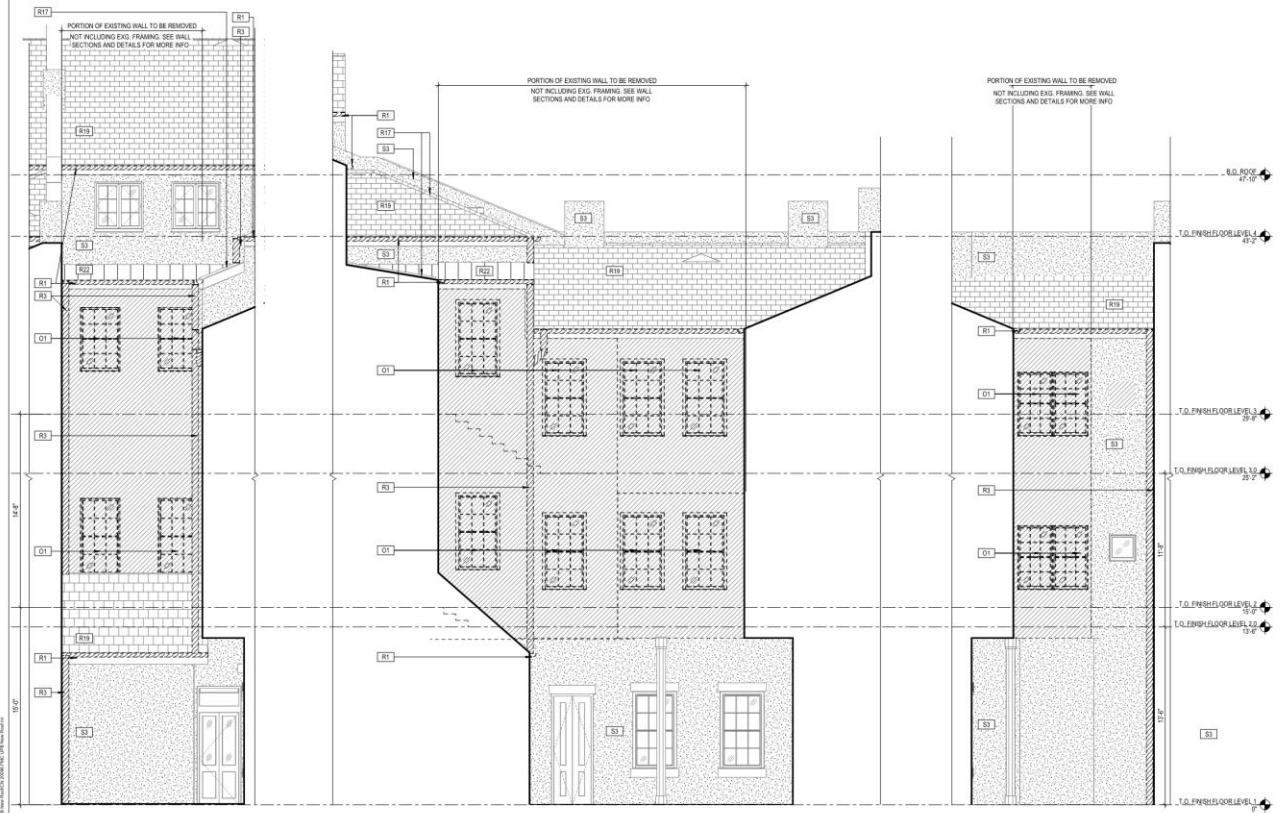
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REPAIRS/NOTES: 03 ELEVATIONS	
TYPE MARK	REMARKS
01	REMOVE EXISTING NON-HISTORICAL WINDOW
R1	REMOVE EXISTING COPPER CUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND CUTTER PER PLAN DESIGNATION SIZE, STRAPPED AT 2" P.C. MAX
R3	REMOVE EXISTING COPPER DOWNSPOUT AND REPLACE WITH LARGER COPPER DOWNSPOUT PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRAPS PER 10' LENGTH AND AT ALL EAVES
R17	REMOVE AND SALVAGE EXISTING "Y" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND MORTAR IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR
R18	REPLACE ALL ORIGINAL BROKEN/CRACKING SLATE WITH NEW SLATE. SPINDLES OF LIKE SIZE AND COLOR TYPICAL AT ALL EXISTING CONDITIONS
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CRIMPED
S3	EXISTING COATED PLASTER SURFACE ON EXTERIOR WALLS COVERED UNDER THIS SCOPE AREA WILL BE SOUNDED. AREAS THAT ARE FOUND TO BE SPALLING, HOLLOW, AND DELAMINATING FROM SUBSTRATE WILL BE REMOVED. UNFINISHED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK UNTIL FIRMLY BONDED ADHESION IS REACHED. SOUND AND BONDED PLASTER WILL BE REFINISHED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE TOUCHUP-PATCHED TO STABILIZE THE WALL AREA. TOUCHUP-PATCHING AND MOVEMENT CRACK REPAIRS HAVE CLASSED. THESE AREAS WILL BE REPAIRED TO PROMOTE BOND ADHESION WITH FINISH PLASTER. FINISHED PLASTER WILL BE THE COMPOSITION OUTLINED BY THE Vieux Carré for Masonry Maintenance of Historic Structures. Depending on the depth and size of the repair, it can take multiple lifts and finish work to blend the repaired area into the existing.

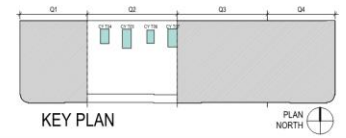


**MATERIAL LEGEND**

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



**2** COURTYARD 5 - SOUTH - EXISTING  
A5.03 SCALE: 1/4" = 1'-0"

**3** COURTYARD 5 - WEST - EXISTING  
A5.03 SCALE: 1/4" = 1'-0"

**4** COURTYARD 5 - NORTH - EXISTING  
A5.03 SCALE: 1/4" = 1'-0"

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**COURTYARD 5 - EXISTING ELEVATIONS**

**A5.03**



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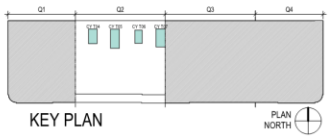
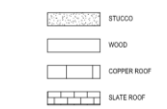


1 COURTYARD 5 - SOUTH - PROPOSED  
AS 04 SCALE: 1/4" = 1'-0"

2 COURTYARD 5 - WEST - PROPOSED  
AS 04 SCALE: 1/4" = 1'-0"

3 COURTYARD 5 - NORTH - PROPOSED  
AS 04 SCALE: 1/4" = 1'-0"

**MATERIAL LEGEND**



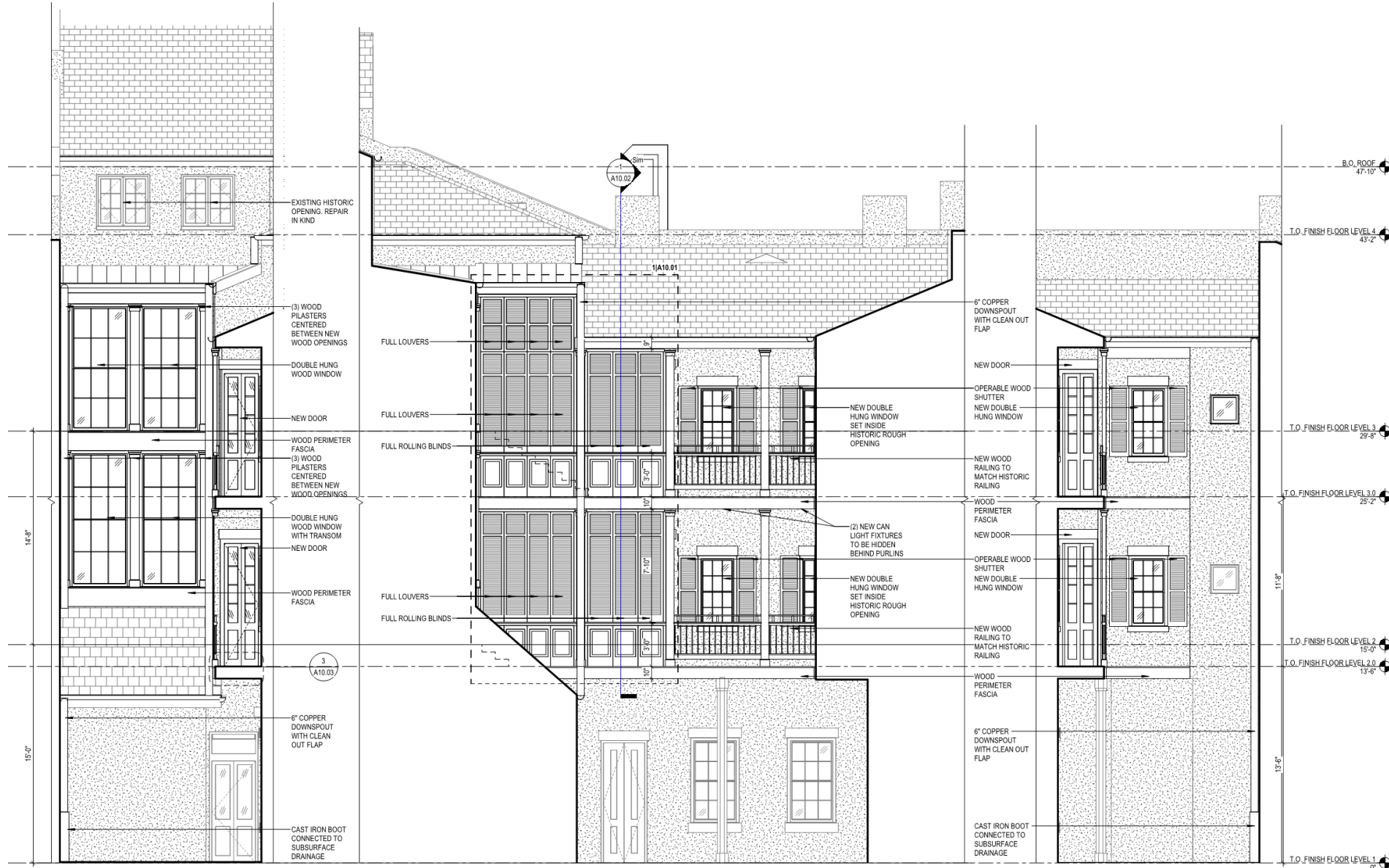
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**COURTYARD 5 -  
PROPOSED  
ELEVATIONS**

A5.04







1 COURTYARD 5 - SOUTH - PROPOSED  
A5.04 SCALE: 1/4" = 1'-0"

2 COURTYARD 5 - WEST - PROPOSED  
A5.04 SCALE: 1/4" = 1'-0"

3 COURTYARD 5 - NORTH - PROPOSED  
A5.04 SCALE: 1/4" = 1'-0"

500 St Peter

Vieux Carré Commission

April 21, 2021

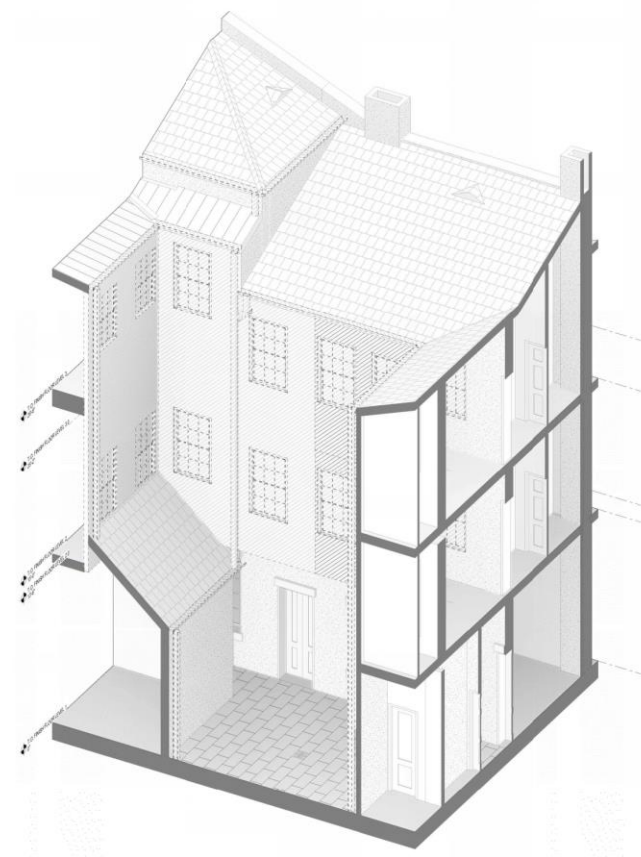


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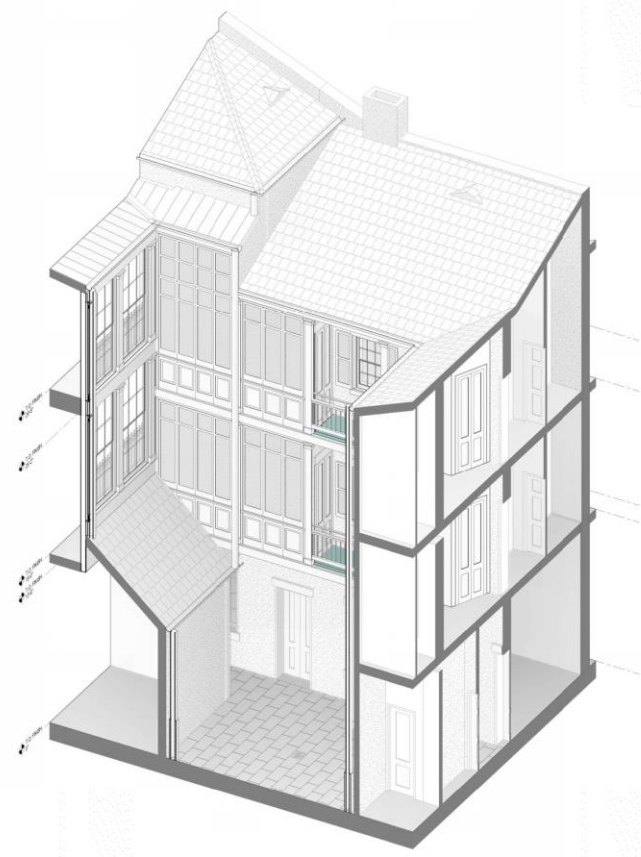
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1 COURTYARD 5 - EXISTING AXON, SE SCALE



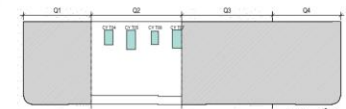
2 COURTYARD 5 - PROPOSED AXON, SE SCALE

MATERIAL LEGEND

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

PHASE LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



KEY PLAN

PLAN NORTH

COURTYARD 5 - AXONS

A5.05



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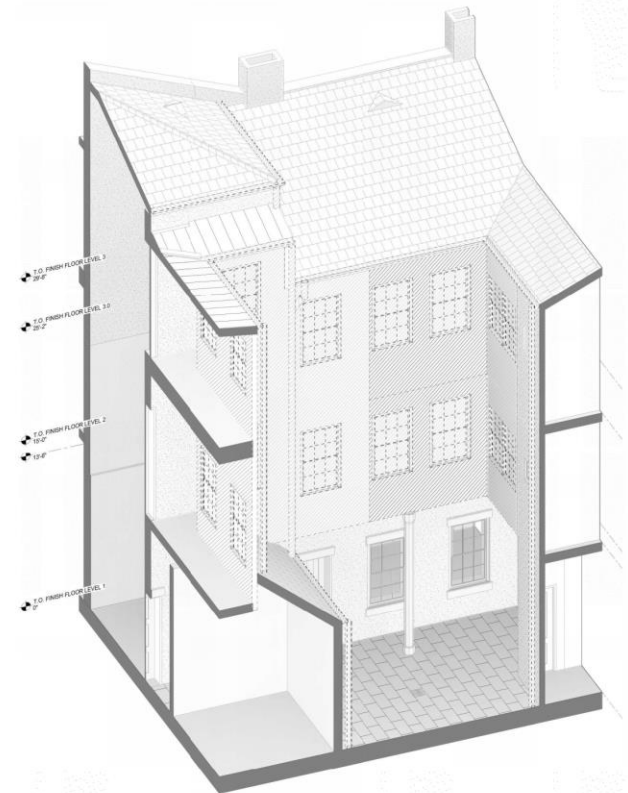
OWNER  
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504-636-6400

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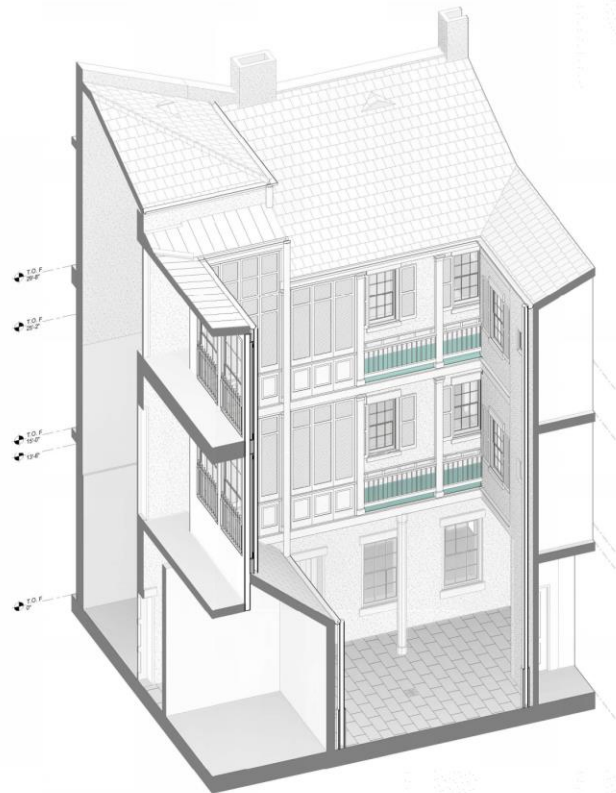
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**1** COURTYARD 5 - EXISTING AXON\_SW  
A5.01 SCALE



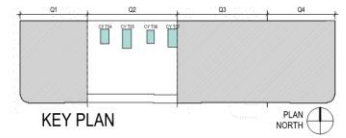
**2** COURTYARD 5 - PROPOSED AXON\_SW  
A5.02 SCALE

**MATERIAL LEGEND**

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



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**COURTYARD 5 -  
AXONS**

**A5.06**



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NEW ORLEANS, LA 70116

OWNER  
**FRENCH MARKET CORPORATION**  
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NEW ORLEANS, LA 70116  
504-638-6400

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NEW ORLEANS, LA 70130  
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Phone Number

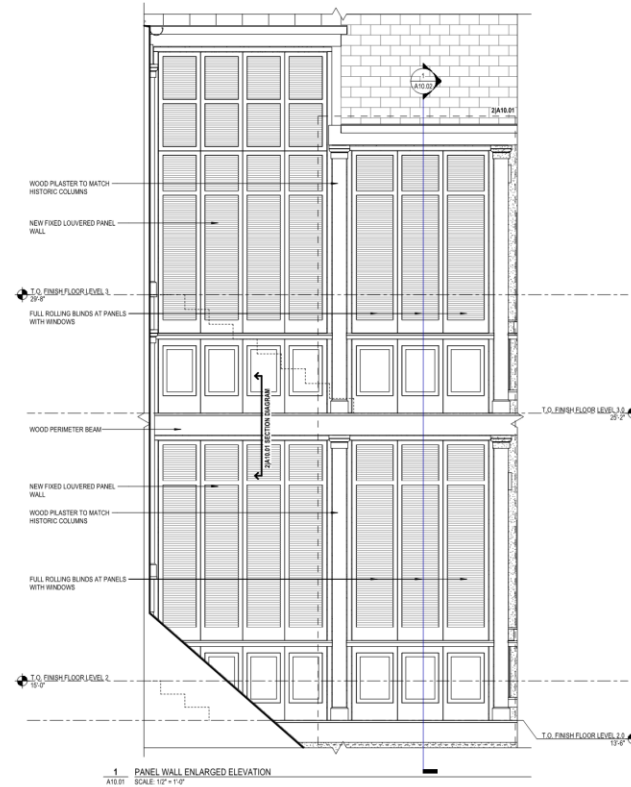
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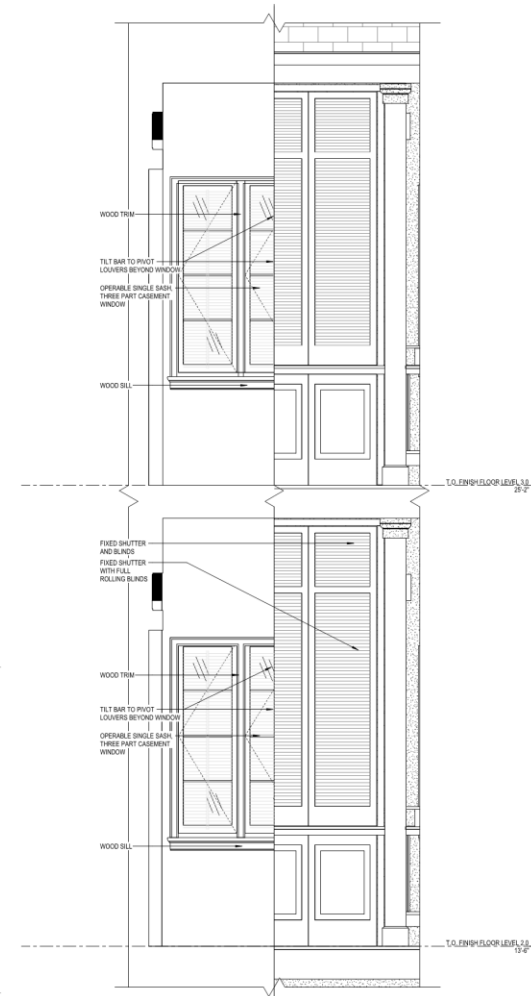
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PANEL WALL AND  
WINDOW

A10.01



**1** PANEL WALL ENLARGED ELEVATION  
A10.01 SCALE: 1/2" = 1'-0"



**3** PANEL WINDOW INTERIOR AND EXTERIOR ELEVATION  
A10.01 SCALE: 3/4" = 1'-0"





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NEW ORLEANS, LA 70116

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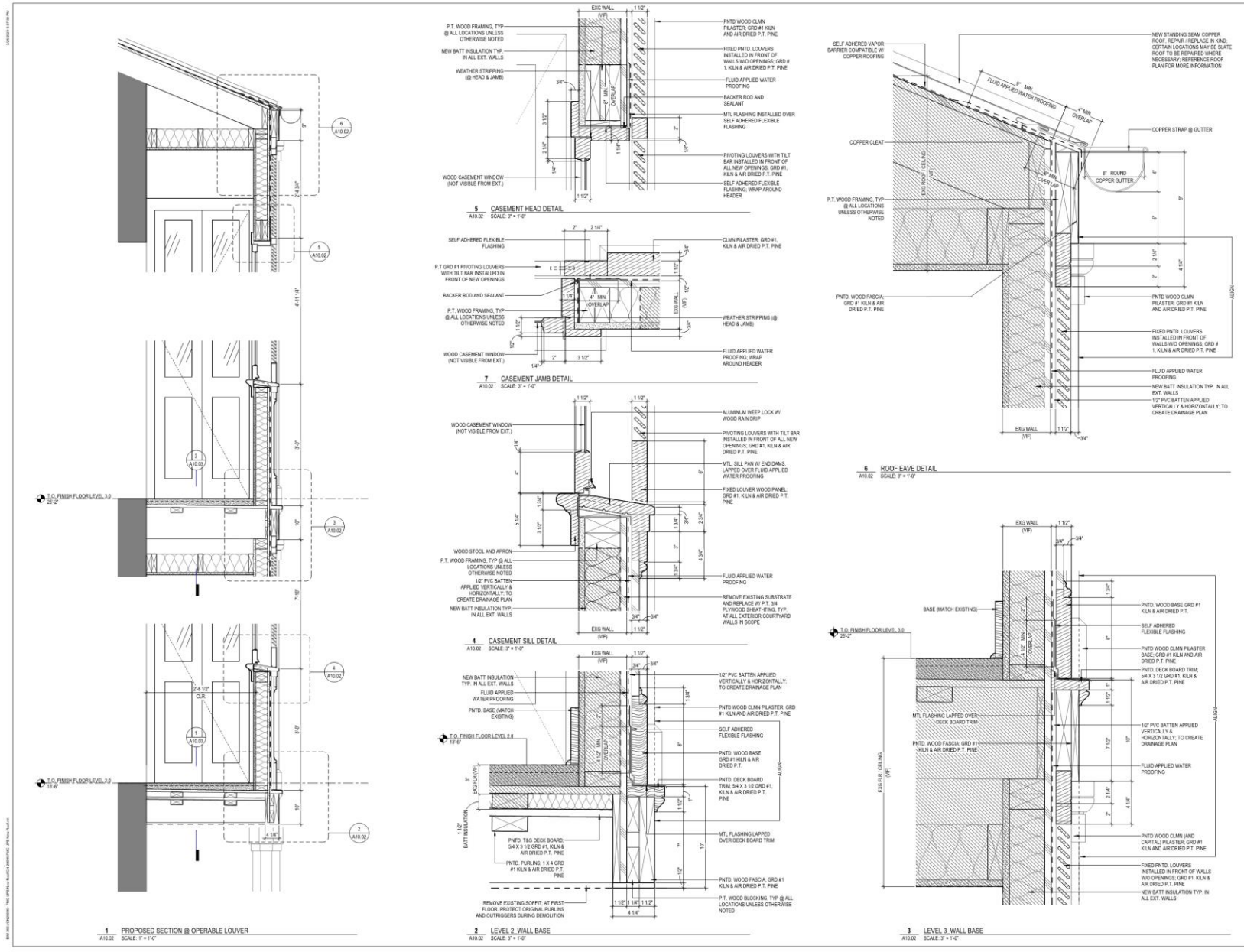
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03/30/21

TYP. WALL SECTION AND DETAILS

A10.02





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NEW ORLEANS, LA 70116

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NEW ORLEANS, LA 70116  
504-636-6400

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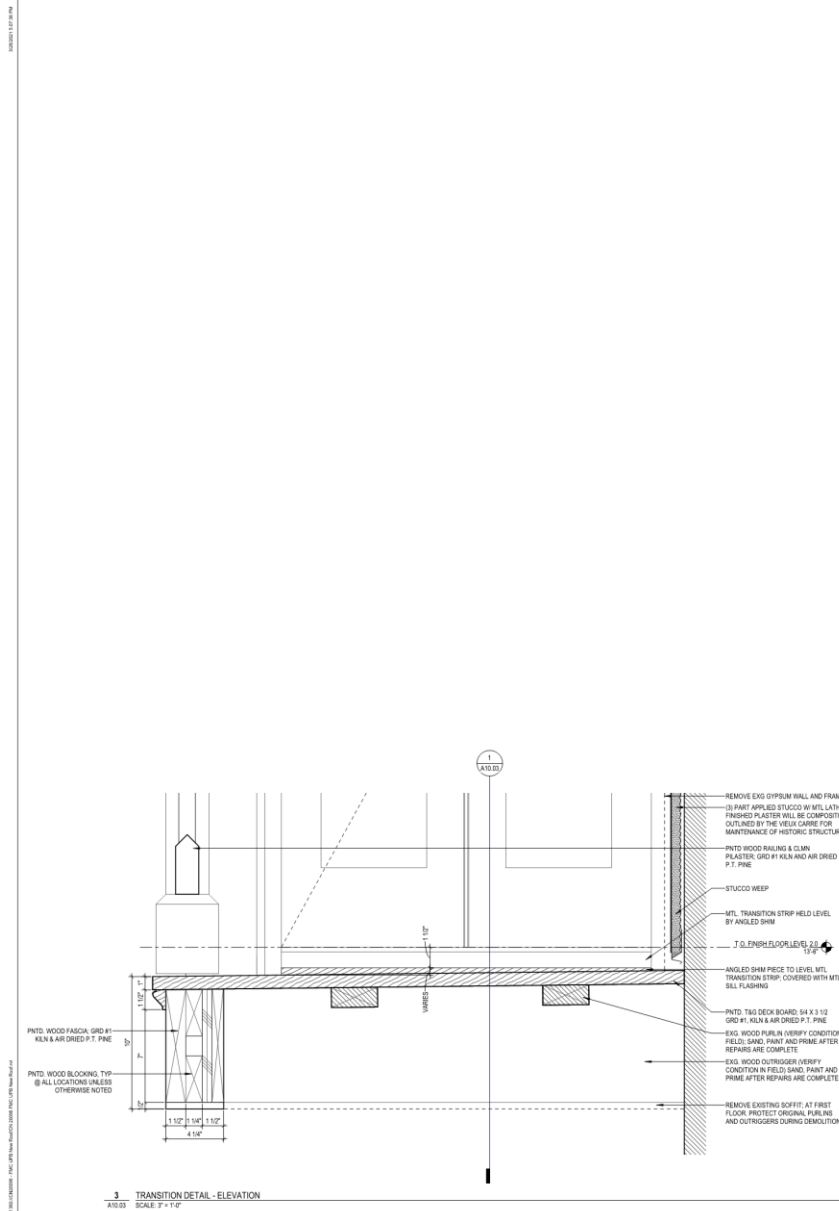
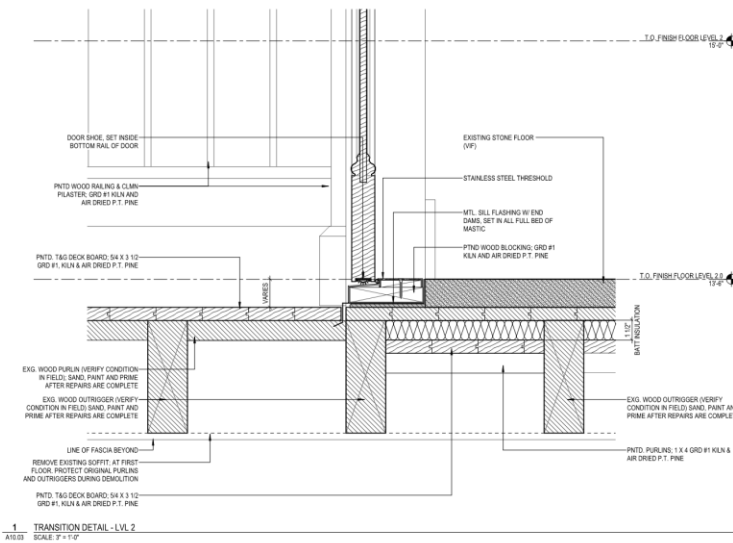
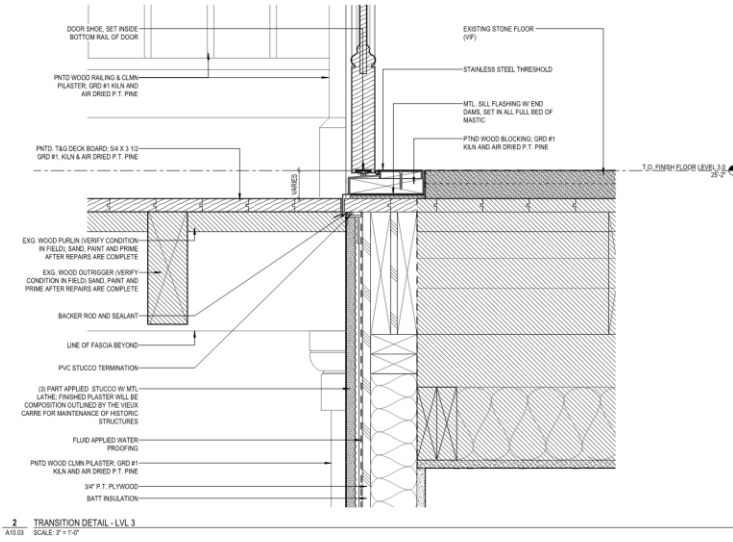
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TYP. SECTIONS  
AT BALCONY

A10.03



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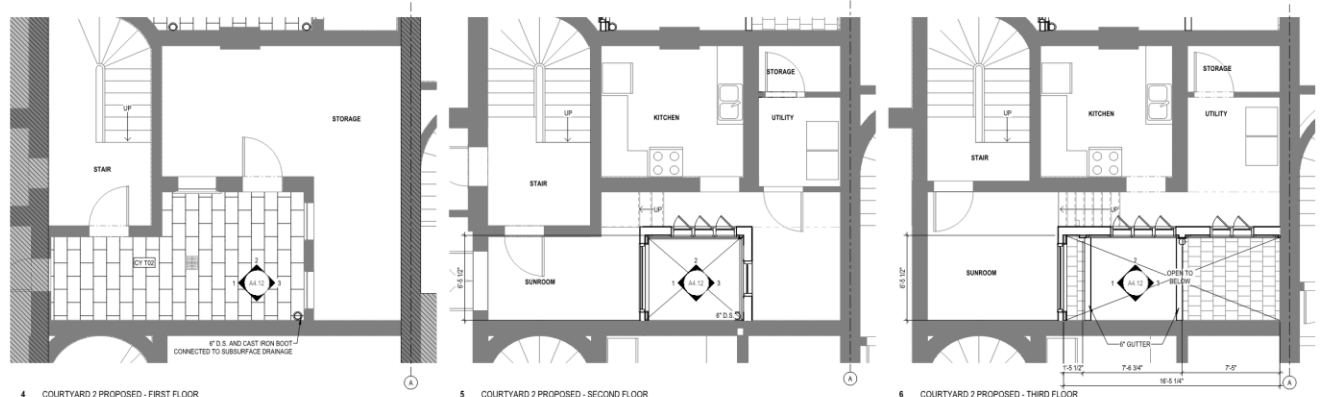
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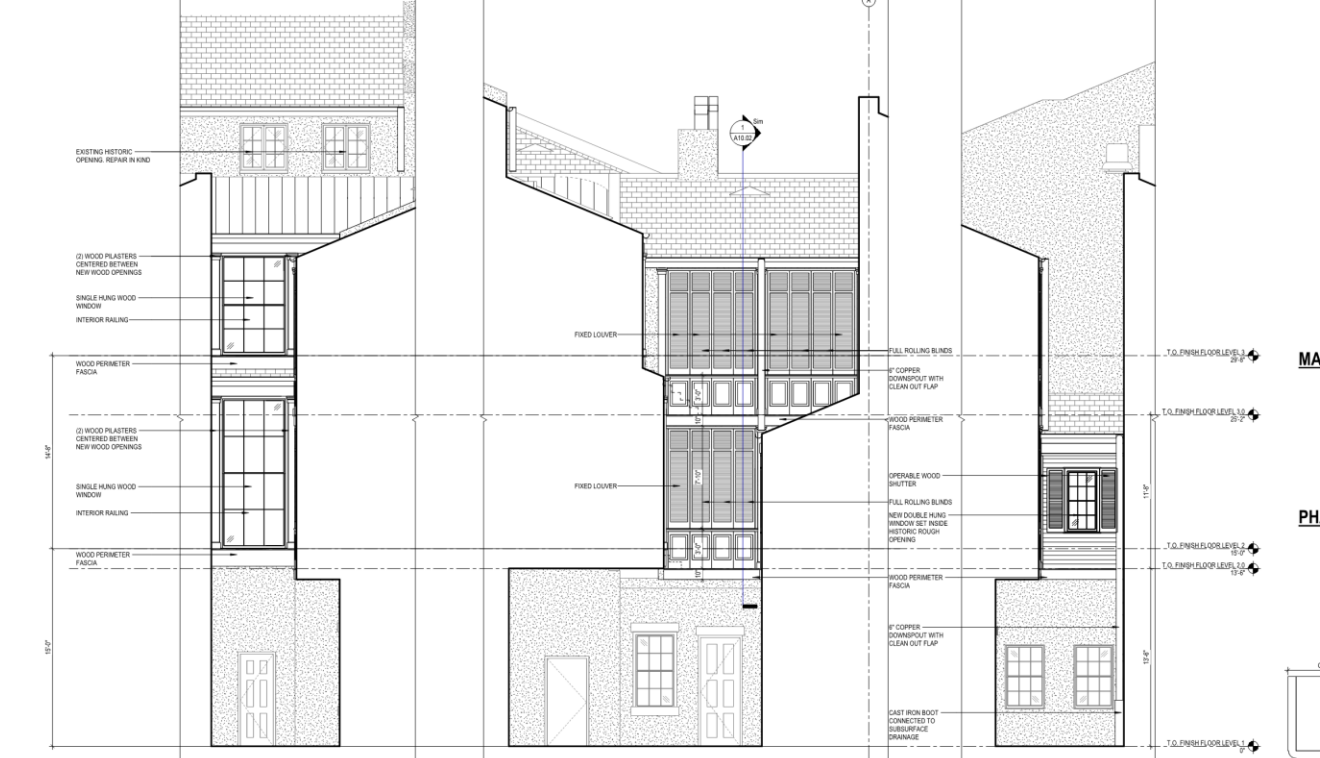
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4 COURTYARD 2 PROPOSED - FIRST FLOOR  
A2.02 SCALE: 1/4" = 1'-0"

5 COURTYARD 2 PROPOSED - SECOND FLOOR  
A2.02 SCALE: 1/4" = 1'-0"

6 COURTYARD 2 PROPOSED - THIRD FLOOR  
A2.02 SCALE: 1/4" = 1'-0"



1 COURTYARD 2 - WEST - PROPOSED  
A2.02 SCALE: 1/4" = 1'-0"

2 COURTYARD 2 - NORTH - PROPOSED  
A2.02 SCALE: 1/4" = 1'-0"

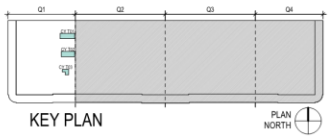
3 COURTYARD 2 - EAST - PROPOSED  
A2.02 SCALE: 1/4" = 1'-0"

**MATERIAL LEGEND**

- STUCCO
- WOOD
- COPPER ROOF
- SLATE ROOF

**PHASE LEGEND**

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED



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**COURTYARD 2 -  
PROPOSED  
ELEVATIONS AND  
PLANS**

A2.02



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NEW ORLEANS, LA 70116

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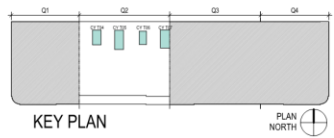
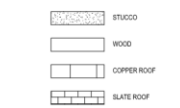
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**MATERIAL LEGEND**



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COURT05W  
ISSUE DATE: 03/30/21

**COURTYARD 5 - PROPOSED ELEVATIONS**

**A5.04**





**615 Toulouse**





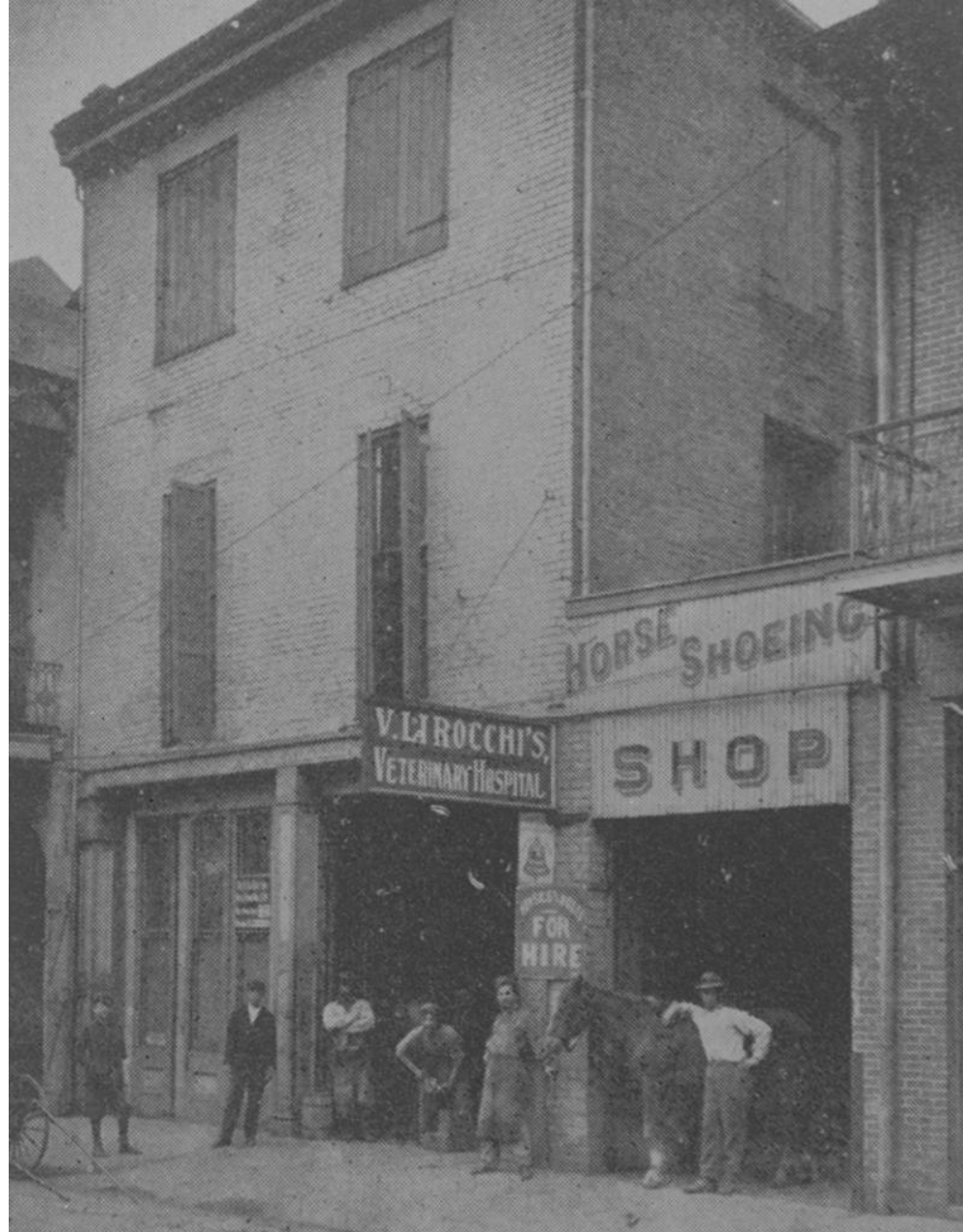
615 Toulouse

Vieux Carré Commission

April 21, 2021







615 Toulouse

Vieux Carré Commission

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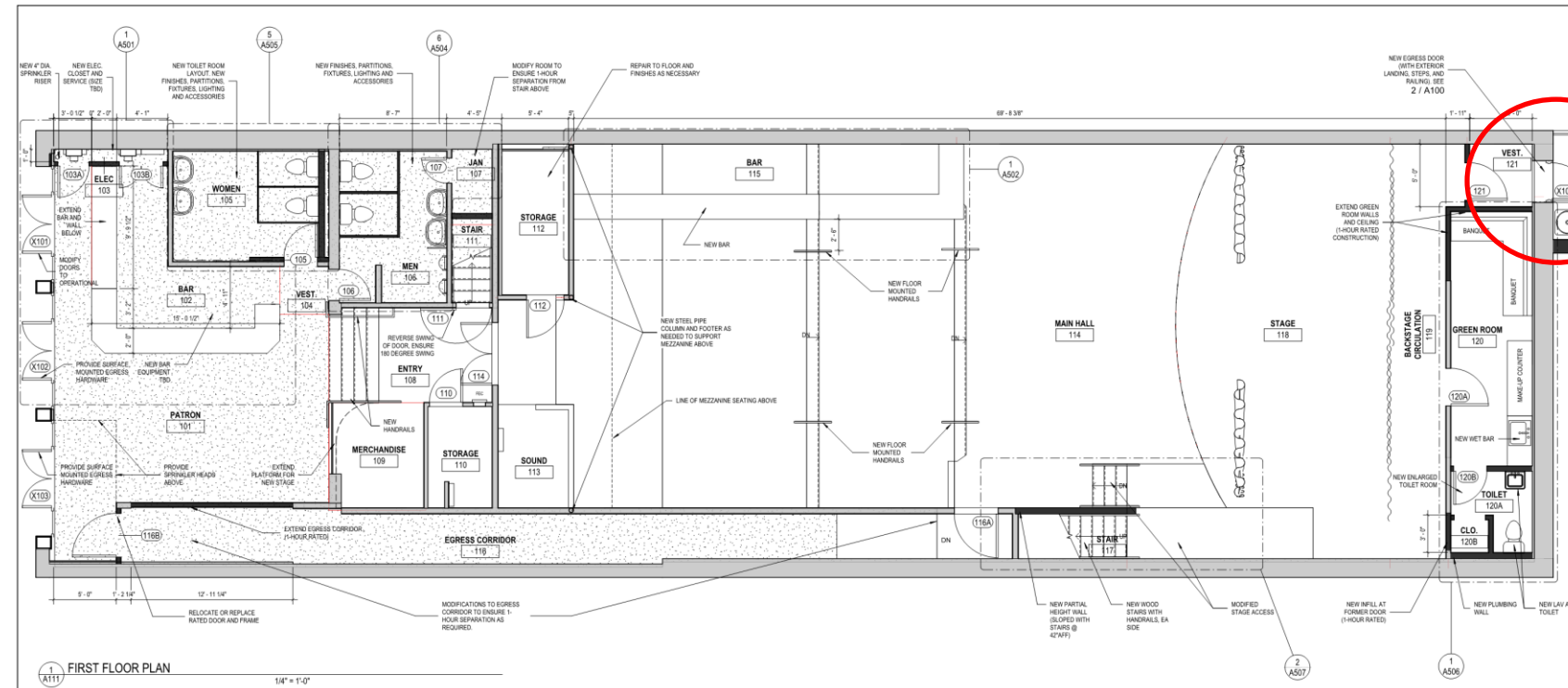
**WILLIAMS ARCHITECTS**  
 824 MARIONNE STREET  
 NEW ORLEANS, LA 70113  
 504-566-0888  
 WILLIAMSARCHITECTS.COM

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 I will be responsible for providing project construction supervision.  
*John C. Williams*



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 John C. Williams Architects LLC

**REPAIRS & MINOR ALTERATIONS TO  
 615 TOULOUSE STREET**



**FIRST FLOOR PLAN**  
 1/4" = 1'-0"

DOOR SCHEDULE - FIRST FLOOR					
MARK	WIDTH	HEIGHT	FIRE RATING	DESCRIPTION	NOTES
103A	2'-6"	6'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	ELECTRICAL CLOSET ACCESS DOOR
103B	3'-6"	7'-8"		DOUBLE FLUSH SOLID OAK WOOD DOORS, PTD.	ELECTRICAL CLOSET ACCESS DOOR
106	2'-6"	7'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	MEN'S RESTROOM ENTRY DOOR
107	2'-0"	6'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	JANITOR CLOSET DOOR
110	2'-8"	6'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	STAIR ACCESS DOOR
111	2'-8"	6'-8"	1 HR	HOLLOW METAL DOOR	STAIR ACCESS DOOR
112	3'-0"	6'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	STAIR ACCESS DOOR
114	5'-0"	7'-8"		DOUBLE FLUSH SOLID OAK WOOD DOORS, PTD.	DOUBLE DOOR GLAZED PANEL
116A	3'-6"	7'-8"	1 HR	HOLLOW METAL DOOR	FIRE RATED EGRESS DOOR
116B	3'-6"	7'-8"	1 HR	HOLLOW METAL DOOR	FIRE RATED EGRESS DOOR
118	2'-6"	6'-8"		CASED OPENING	GREEN ROOM ENTRY DOOR
120A	3'-0"	7'-8"		EXTERIOR OUTSWING WITH FULL LITE GLAZING	GREEN ROOM ENTRY DOOR
120B	2'-8"	7'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	BACKSTAGE TOILET ROOM DOOR
121	3'-0"	6'-8"		SINGLE FLUSH WOOD SOLID CORE DOOR, PTD.	REAR VESTIBULE INTERIOR DOOR

DOOR SCHEDULE - EXTERIOR					
MARK	WIDTH	HEIGHT	FIRE RATING	DESCRIPTION	NOTES
X101	4'-8"	10'-10"		DOUBLE FRENCH DOORS W/ GLAZED PANES	STOREFRONT ENTRANCE DOUBLE DOOR
X102	4'-8"	10'-10"		DOUBLE FRENCH DOORS W/ GLAZED PANES	STOREFRONT ENTRANCE DOUBLE DOOR
X103	4'-8"	10'-10"		DOUBLE FRENCH DOORS W/ GLAZED PANES	STOREFRONT ENTRANCE DOUBLE DOOR
X104	3'-0"	7'-8"		DOUBLE FRENCH DOORS W/ GLAZED PANES	REAR VESTIBULE EXTERIOR DOOR

FINISH SCHEDULE - FIRST FLOOR								
Number	Name	Area	Floor Finish	Base Finish	Wall Finish	Ceiling Height	Ceiling Finish	Comments
101	PATRON	345 SF						
102	BAR	130 SF						
103	ELEC	9 SF				8'-0"		
104	VEST.	15 SF				8'-0"		
105	WOMEN	100 SF				8'-0"		
106	MEN	102 SF				8'-0"		
107	JAN	16 SF				8'-0"		
108	ENTRY	98 SF				8'-0"		
109	MERCHANDISE	61 SF				8'-0"		
110	STORAGE	41 SF				8'-0"		
111	STAIR	20 SF				11'-4"		
112	STORAGE	65 SF				8'-0"		
113	SOUND	50 SF				11'-4"		
114	MAIN HALL	1288 SF						
115	BAR	162 SF				8'-0"		
116	EGRESS CORRIDOR	279 SF				8'-0"		
117	STAIR	31 SF						
118	STAGE	581 SF						
119	BACKSTAGE CIRCULATION	169 SF						
120	GREEN ROOM	137 SF				10'-0"		
120A	TOILET	33 SF				10'-0"		
120B	CLO.	8 SF				10'-0"		
121	VEST.	22 SF				10'-0"		

**FOR VCC REVIEW**  
 THIS SET FOR VCC REVIEW ONLY. INTERIOR WORK SHOWN FOR REFERENCE ONLY AND WILL BE RE-SUBMITTED AT A LATER DATE.

-REVISIONS-		
No.	Date	Scope

DRAWING: FIRST FLOOR PLAN  
 DRAWING BY: Author  
 SCALE: 1/4" = 1'-0"  
 JOB No.: 520036.00  
 DATE: 3.9.2021  
 Sheet No.

**A111**



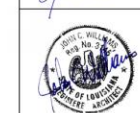




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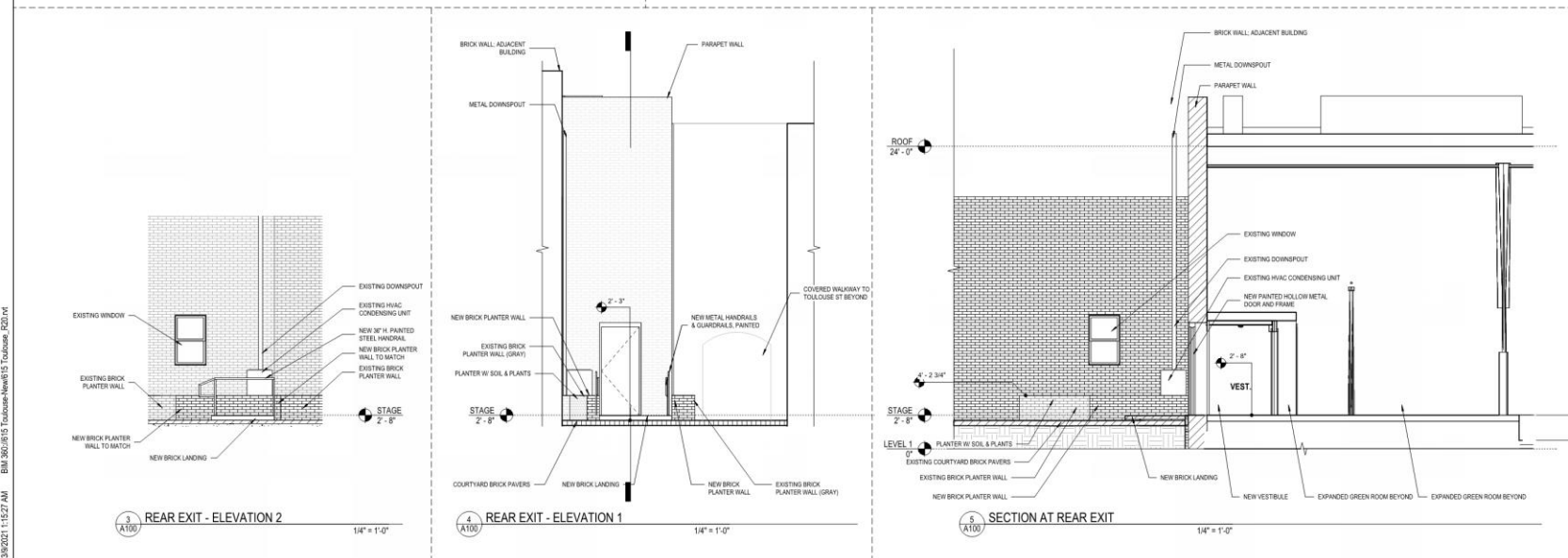
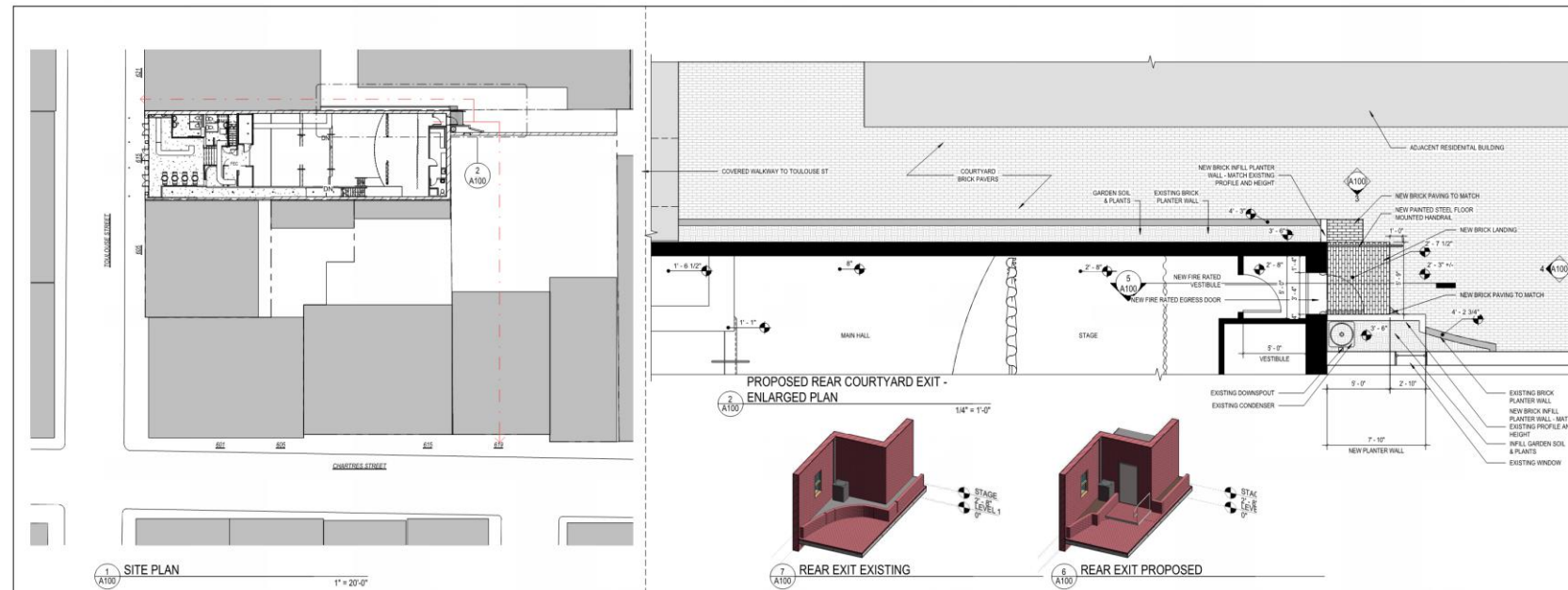
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**REPAIRS & MINOR ALTERATIONS TO  
 615 TOULOUSE STREET**



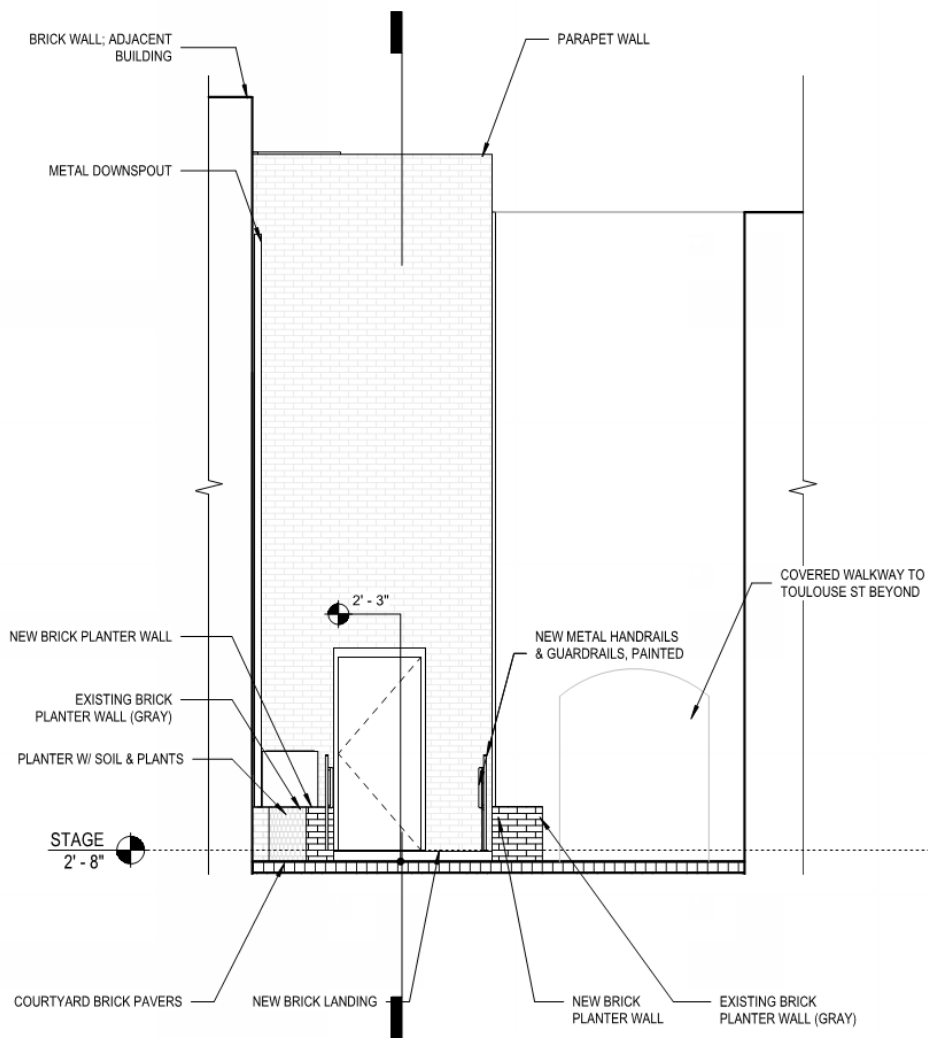
-REVISIONS-

No.	Date	Scope

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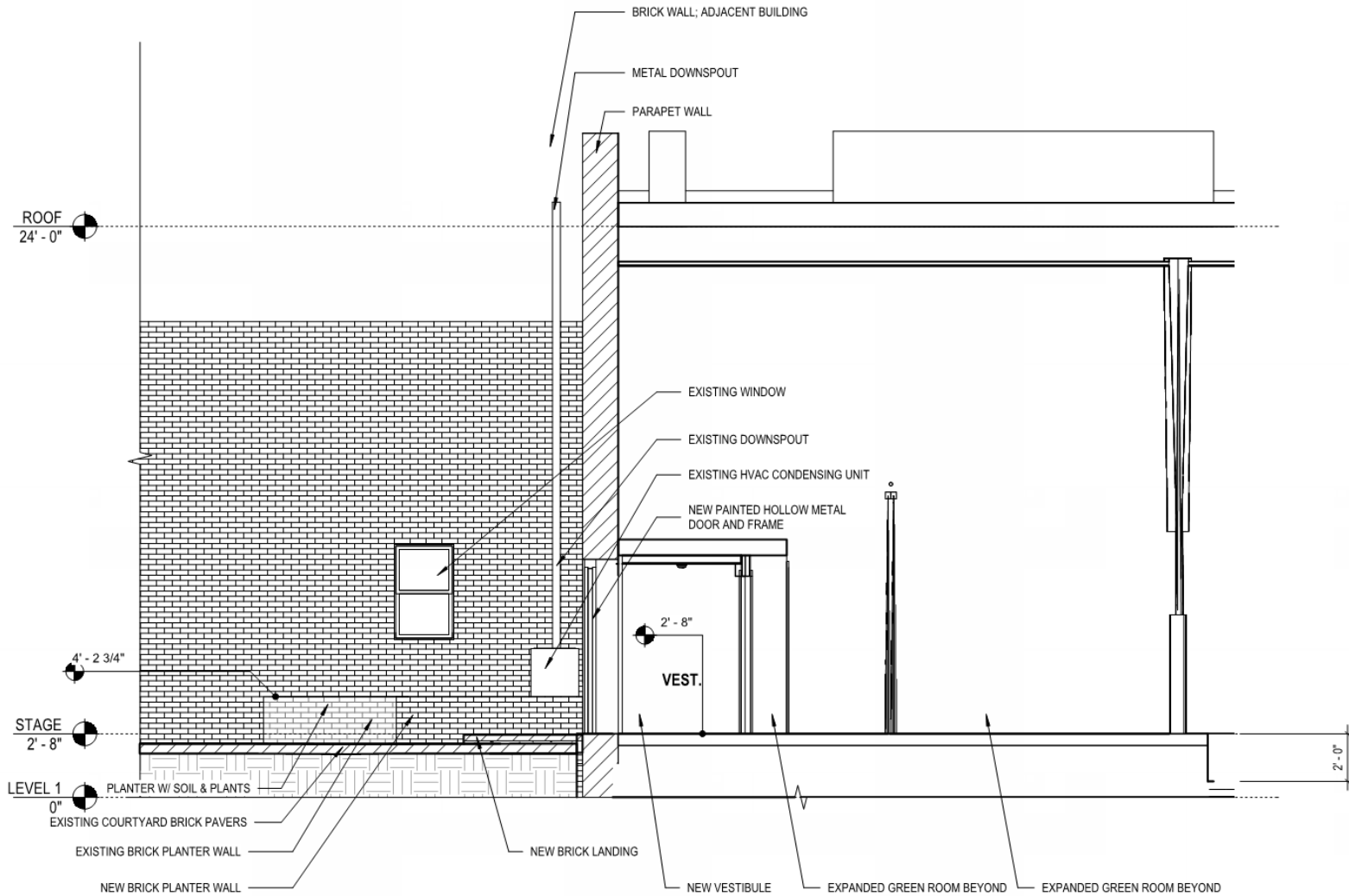
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4 REAR EXIT - ELEVATION 1

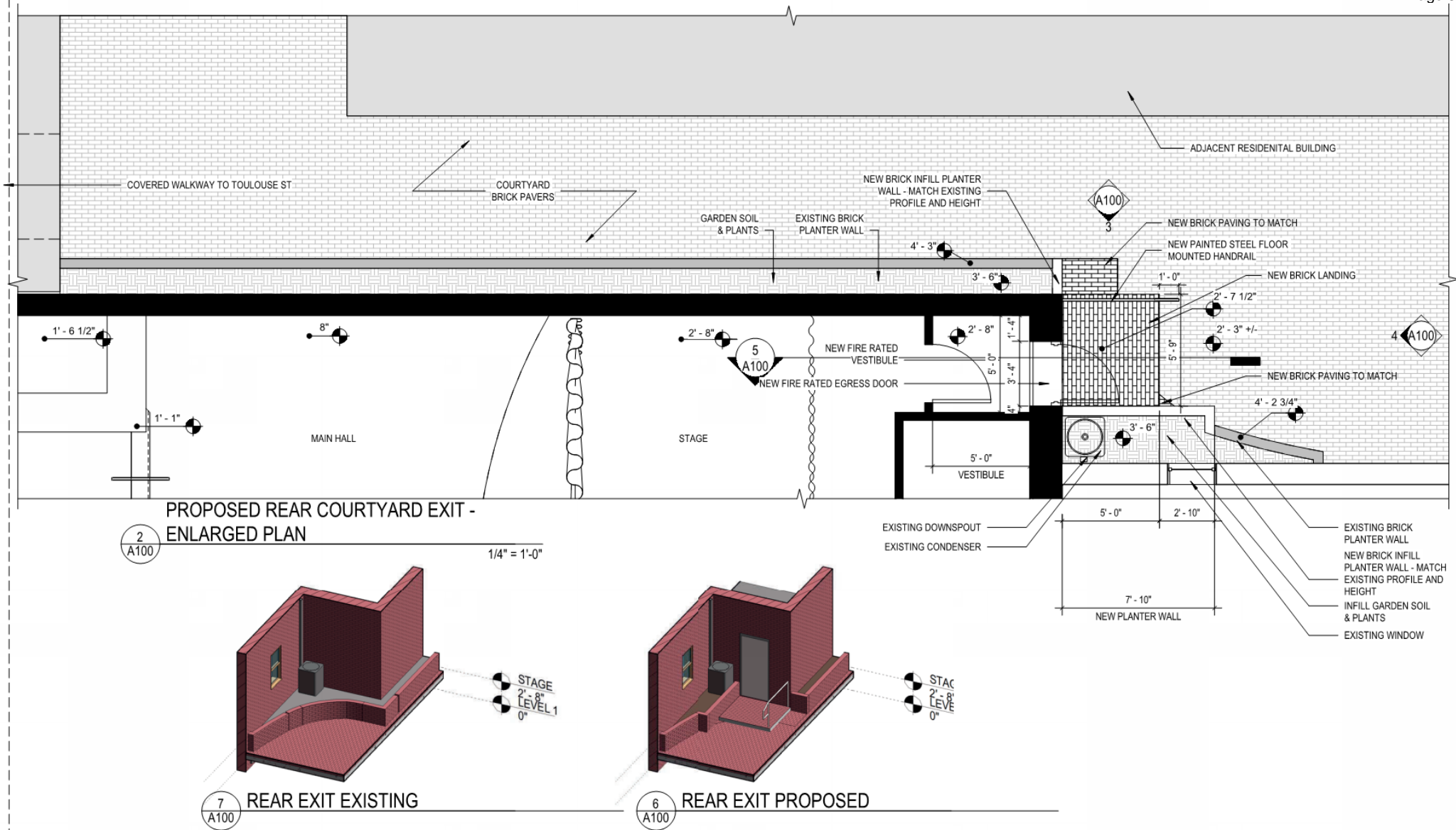
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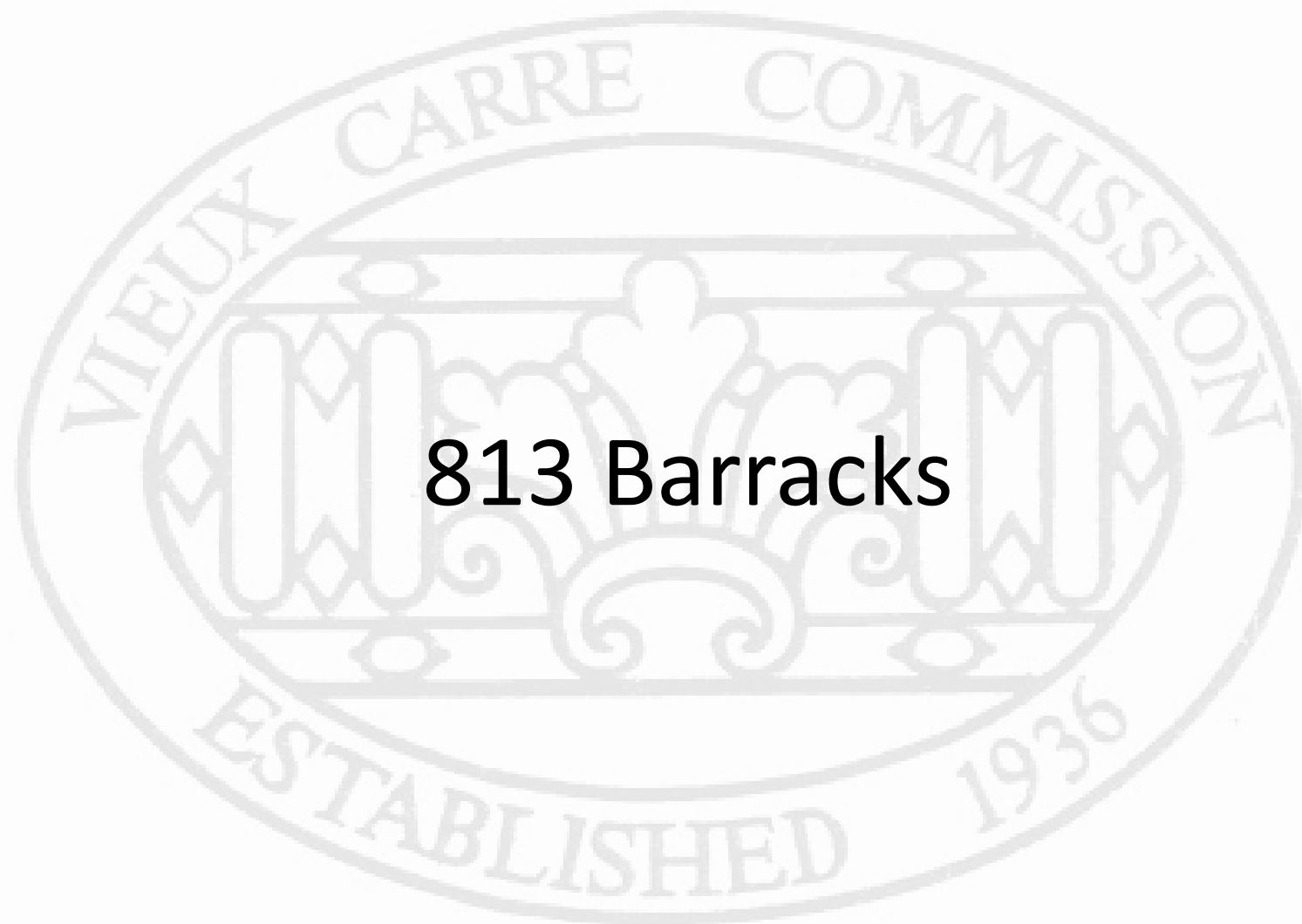
5 SECTION AT REAR EXIT

1/4" = 1'-0"



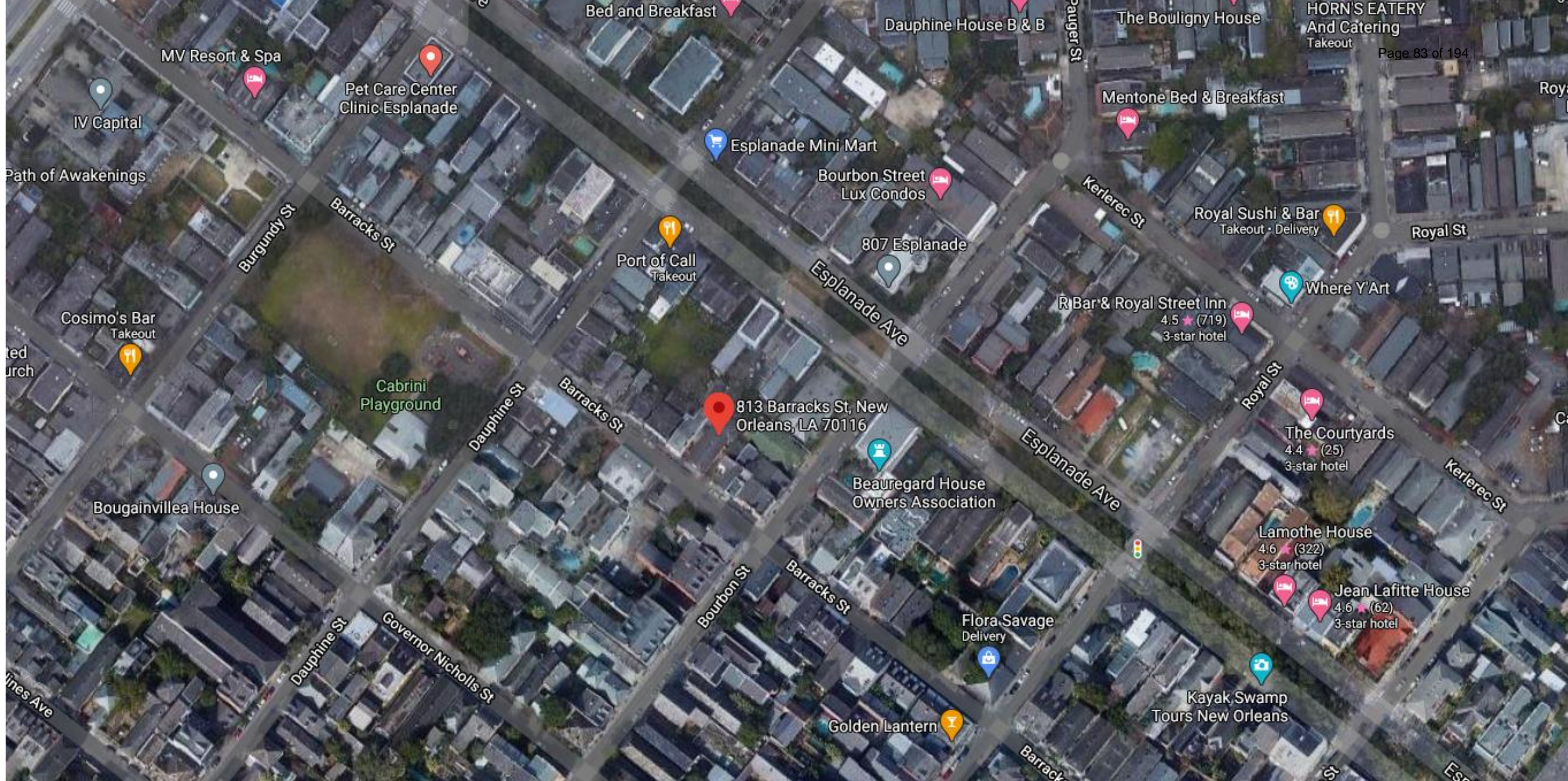






# 813 Barracks





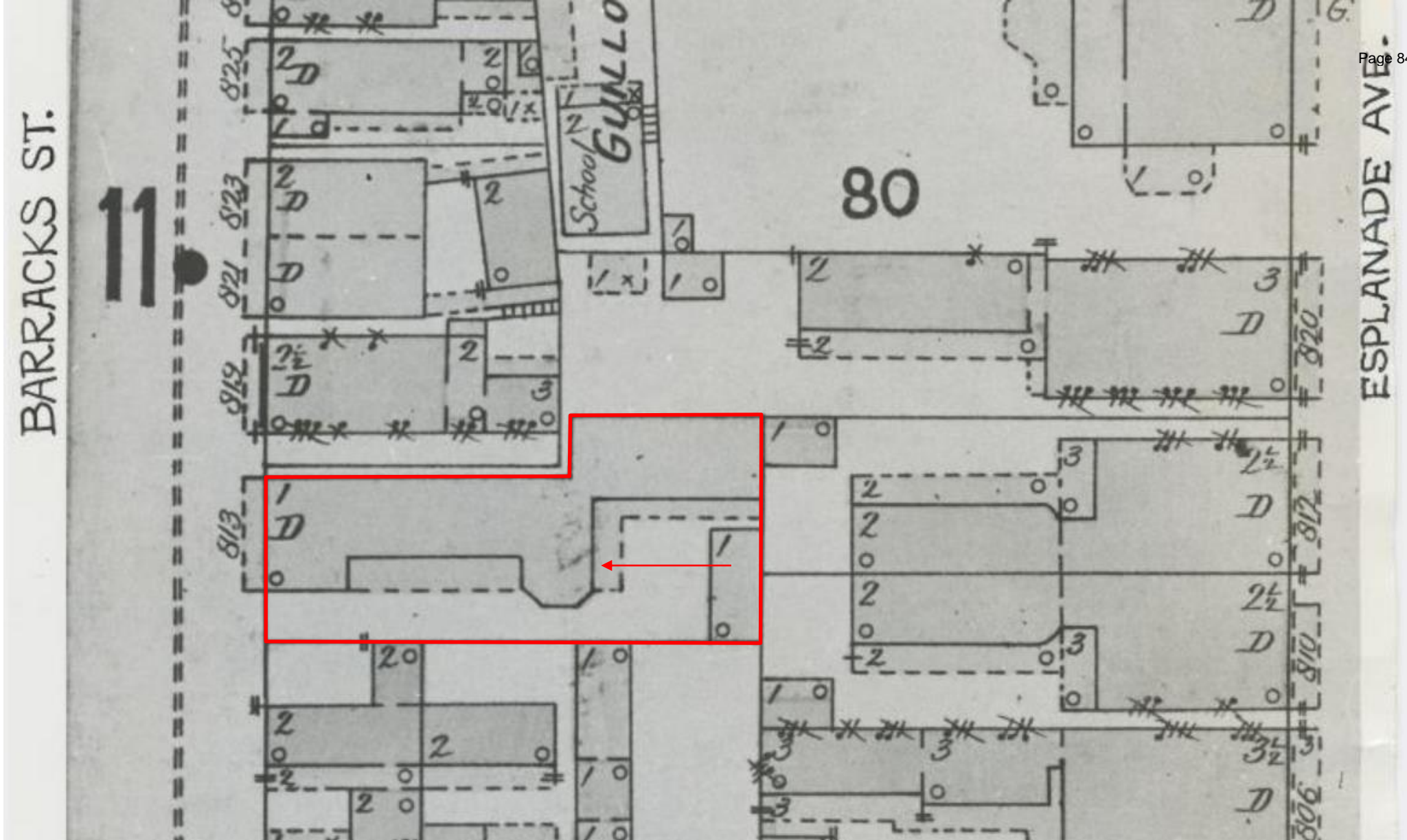
## 813 Barracks

Vieux Carré Commission

April 21, 2021







813 Barracks – 1896 Sanborn map







813 Barracks

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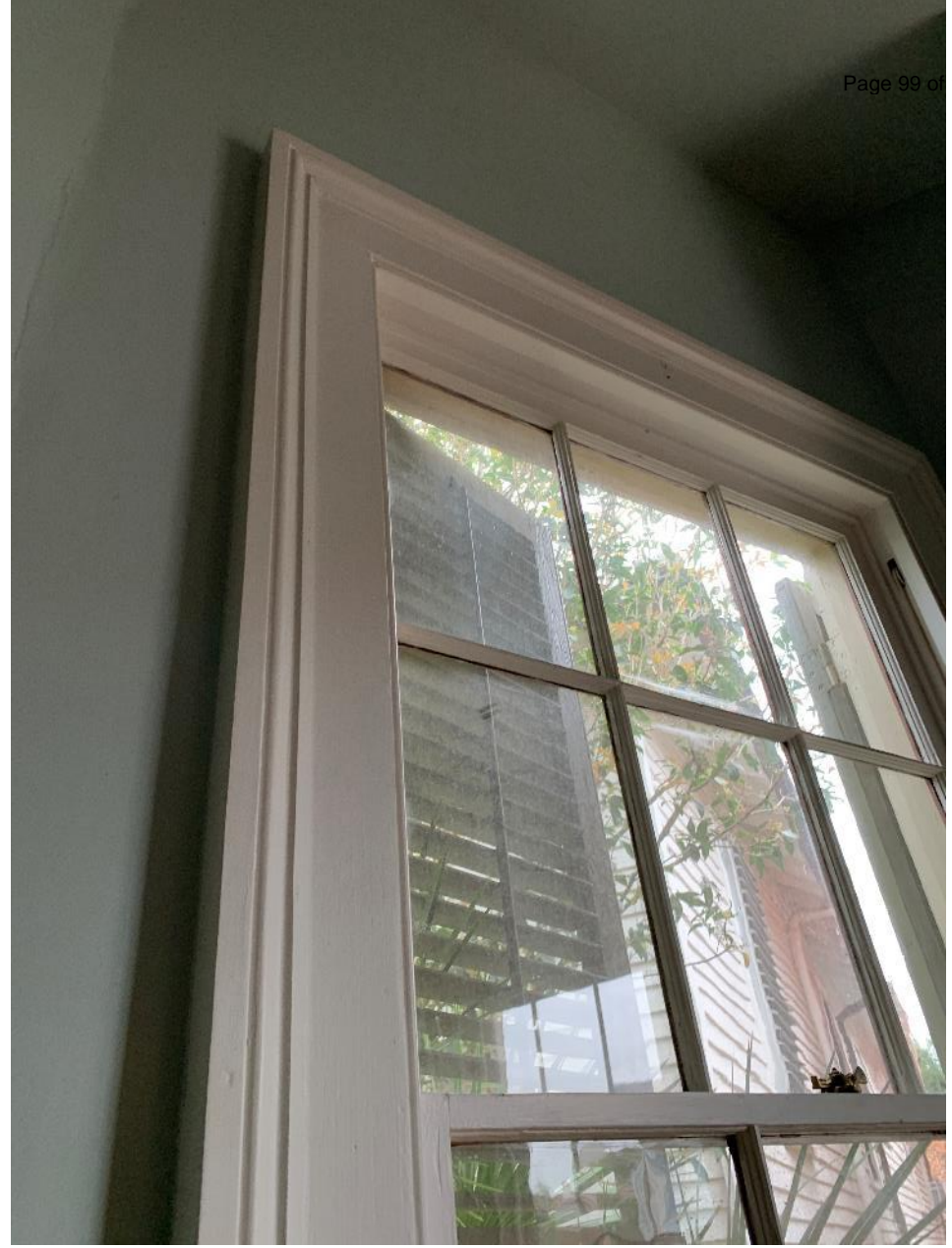
813 Barracks

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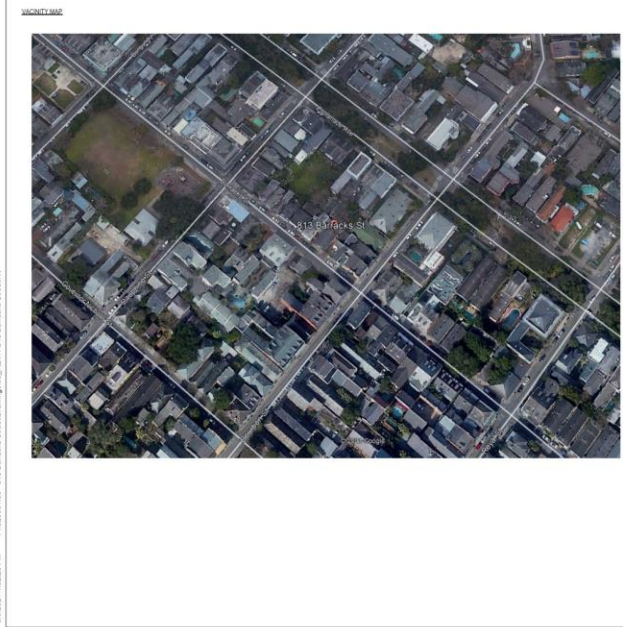
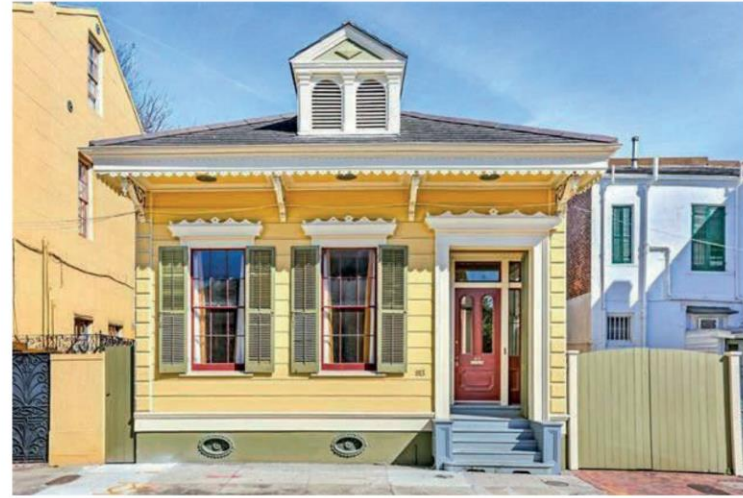
April 21, 2021





# ALTERATIONS TO 813 BARRACKS STREET

<b>PROJECT DIRECTORY</b>	<b>PROJECT INFORMATION</b>	<b>GENERAL</b>
<b>BUILDING OWNERS</b> JOHN C. WILLIAMS ARCHITECTS, LLC 624 BARONNE ST NEW ORLEANS, LA 70113 TEL: (504) 566-0888 FAX: (504) 566-0887 CONTACT: CALLA BARDWELL, cbarwell@williamsarchitects.com	<b>PROJECT ADDRESS</b> 813 BARRACKS STREET NEW ORLEANS 70116 <b>PROJECT DESCRIPTION</b> ADD A WINDOW TO AN EXISTING SINGLE FAMILY BUILDING <b>BUILDING SQUARE FOOTAGE:</b> LOT 3672 SQ. FT. EXISTING 1920 SQ. FT. PROPOSED 1920 SQ. FT.	<b>GG01</b> TITLE PAGE
<b>ARCHITECT</b>	<b>PLANS</b>	
JOHN C. WILLIAMS ARCHITECTS, LLC 624 BARONNE ST NEW ORLEANS, LA 70113 TEL: (504) 566-0888 FAX: (504) 566-0887 CONTACT: CALLA BARDWELL, cbarwell@williamsarchitects.com	A001 SITE A100 FLOOR PLANS - DEMO & NEW A200 ELEVATIONS - DEMO & NEW A800 WINDOW SCHEDULE & DETAILS	
<b>GENERAL CONTRACTOR</b>	<b>INTERNATIONAL BUILDING CODE, 2015 ED.</b>	
TM	CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE	
	<b>PROPERTY INFORMATION</b>	
	SCHEME 35 LOT 23 MUNICIPAL DISTRICT 2 BOUNDING STREETS: BARRACKS, BOURBON, ESPERANCE AND DAUPHINE PRIMARY ZONING: VOR-1, VIEUX CARRÉ RESIDENTIAL DISTRICT OVERLAY ZONING: VIEUX CARRÉ LEGIST INTERIM ZONING DISTRICT	



## GENERAL NOTES

- SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT.
  - WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.
  - THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, INCLUDING STRUCTURAL, AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
  - THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBER AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.
  - THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.
  - THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.
    - THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.
    - THE CONTRACTOR SHALL VERIFY & COORDINATE WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH THE WORK.
    - THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CASEWORK, MILLWORK AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
  - INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
  - LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. TYPENUMBERS INDICATED ON ARE FOR REFERENCE AND COORDINATION.
  - VARIATIONS FROM THE WORK DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, EQUIPMENT SPECS, ETC. SHALL BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT.
  - ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.
  - IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENT OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.
  - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES AND PHOTODRAWINGS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECT THE NEW CONSTRUCTION.
  - APPLY FOR AND SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS. OBTAIN CONTROL, UTILITY DISCOVERY, HANDS AND SURFICIAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.
  - EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.
  - PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/OWNER.
    - DO NOT BLOCK DRIVEWAYS, FIRE EXITS AND FIRE EXIT ROUTES.
    - LIMIT TRAFFIC TO NORMAL CONSTRUCTION OPERATIONS.
  - TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES. EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.
  - THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.
  - KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNITS, TURNED OVER TO THE OWNER.
  - PROVIDE A MINIMUM 4' HIGH FENCING AND METAL POSTS FOR PROTECTION OF AREAS DURING OPERATIONS AND FOR SECURITY CONTROL. PROVIDE OTHER FENCE/TERRAIN AND PUBLIC PROTECTION REQUIRED BY THE REGULATORY AGENCIES.
  - PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.
  - PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HISHER OWN EQUIPMENT AND TOOLS.
  - CONTRACTOR SHALL HAVE USE OF THE ADJACENT PARKING LOT.
  - THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.
  - PROVIDE TEMPORARY LIGHTING AS REQUIRED; CONNECT TO TEMPORARY ELECTRIC SERVICE.
  - PROVIDE TEMPORARY VENTILATION AS REQUIRED TO PROTECT WORKERS.
  - PROVIDE AND PAY FOR TELEPHONE AND TELEPHONE FACSIMILE SERVICE TO FIELD OFFICE.
  - CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH CLIENT/OWNER.
  - PROVIDE TEMPORARY SANITARY FACILITIES.
  - CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.



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*John Williams*



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No.	Date	Scope

DRAWING TITLE PAGE

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JOB No. 520081.00  
DATE 03/08/21  
Sheet No.

G001



APPROXIMATE PROPERTY LINE

1 A001

1 Site  
1/4" = 1'-0"

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No.	Date	Scope

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SITE

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JOB No. 2020081.00  
DATE 03/09/21  
Sheet No.

**A001**

813 Barracks

Vieux Carré Commission

April 21, 2021



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 STATE OF LOUISIANA  
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No.	Date	Scope

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 FLOOR PLANS - DEMO & NEW

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 Sheet No.:

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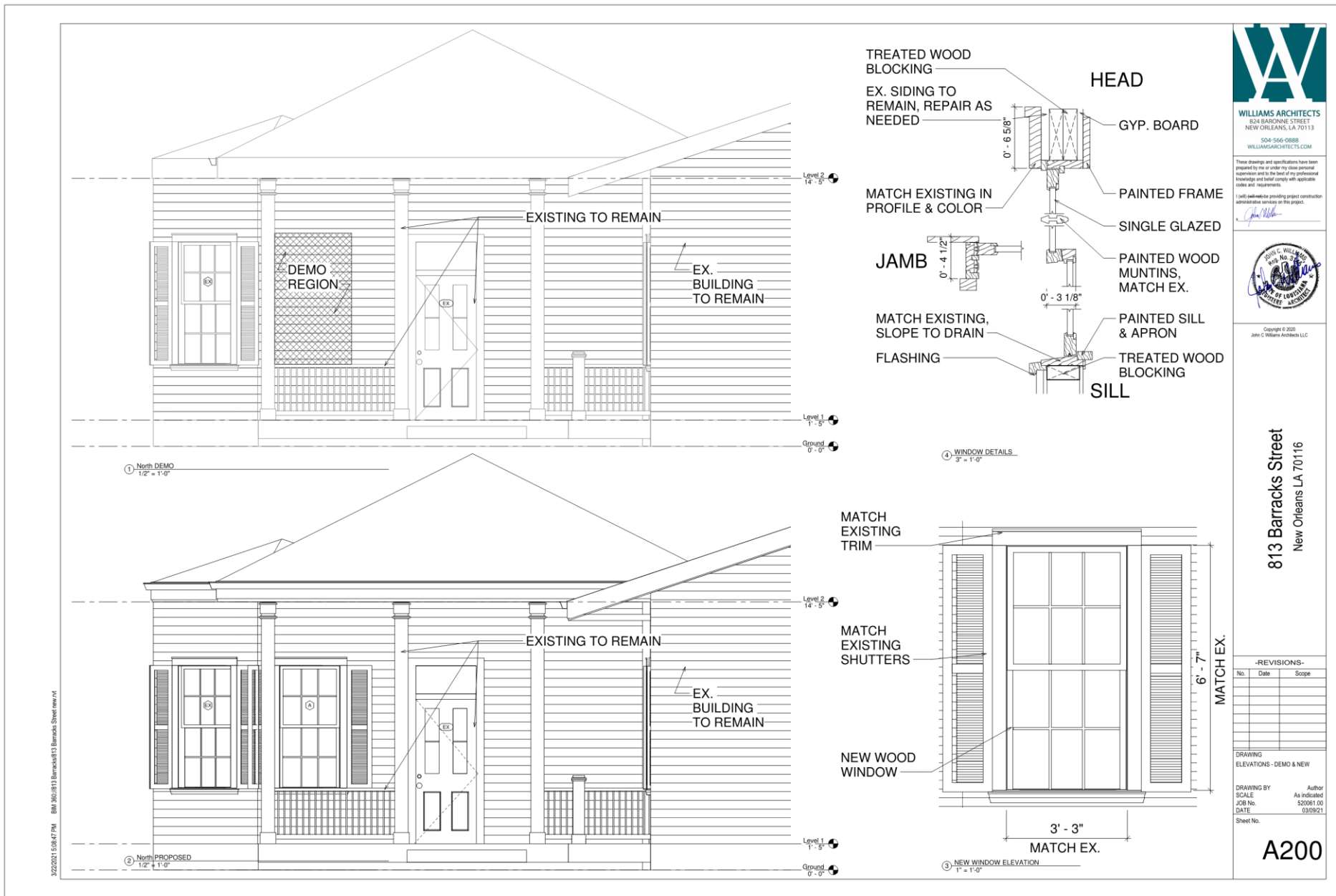
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Level 1 DEMO  
 1/2" = 1'-0"

Level 1 PROPOSED  
 1/2" = 1'-0"







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No.	Date	Scope

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ELEVATIONS - DEMO & NEW

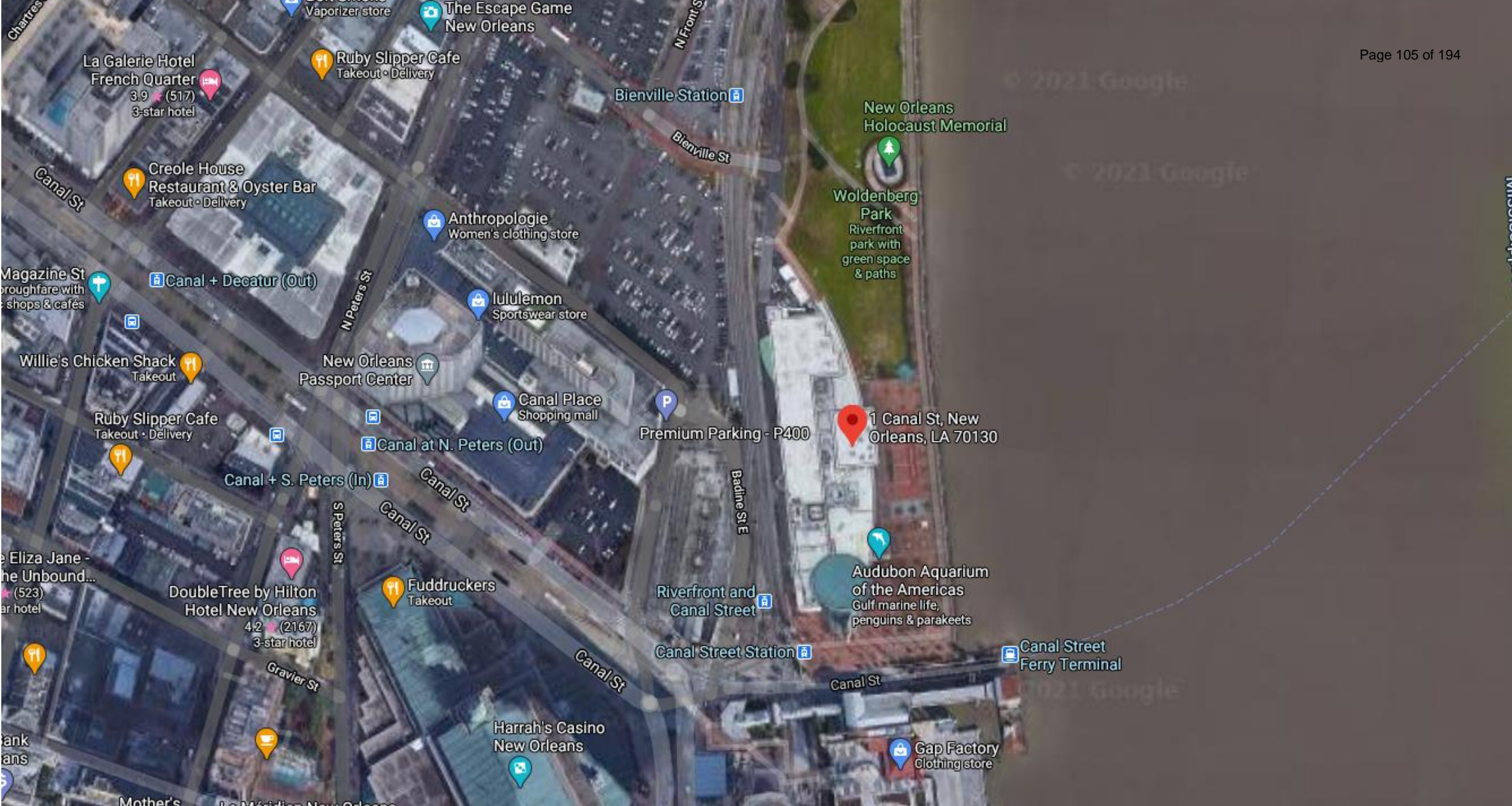
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**1 Canal Street**



# 1 Canal Street

Veux Carré Commission

April 21, 2021







# AUDUBON AQUARIUM OF THE AMERICAS RENOVATION PROJECT

VCC REVIEW

APRIL 2021





AERIAL PHOTOGRAPH - VCC / VCP

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple+

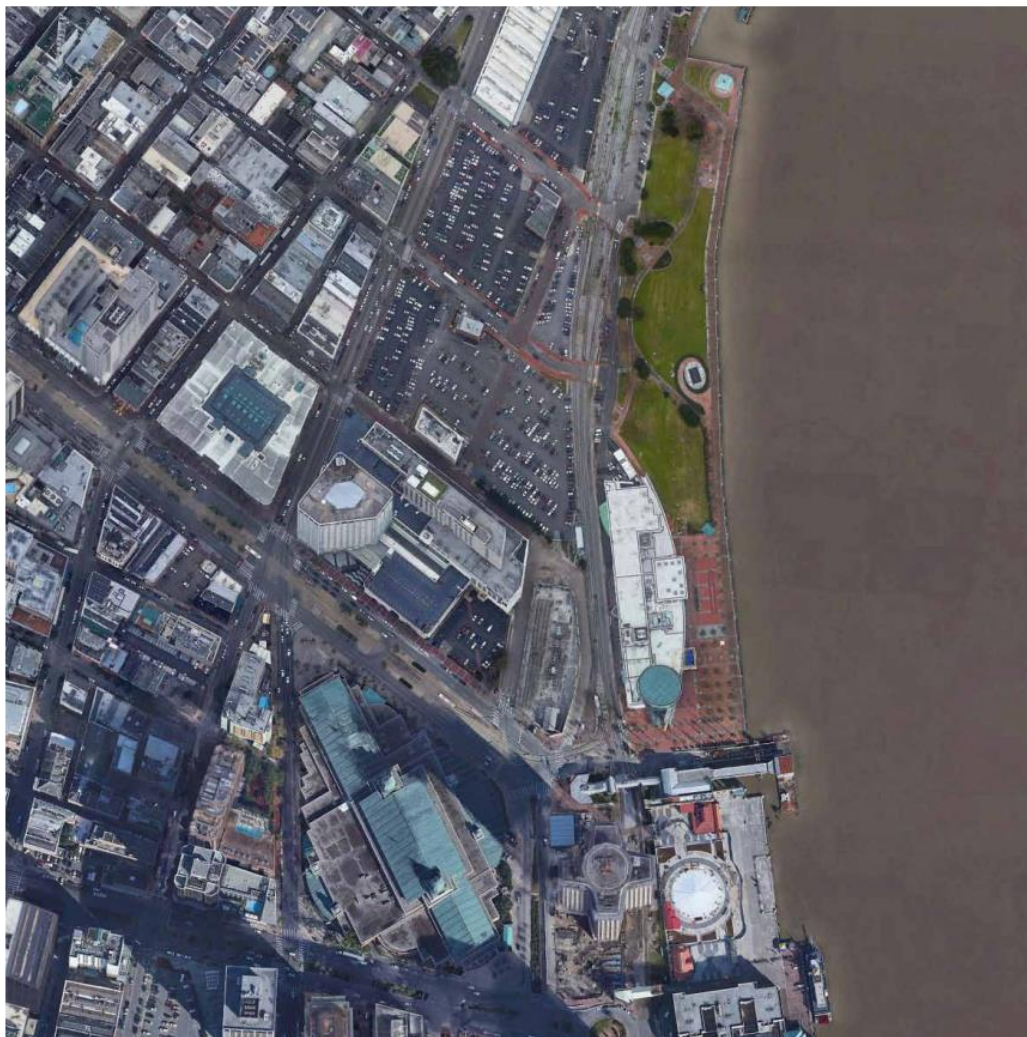
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## Vieux Carré Commission

April 21, 2021







**PROJECT ADDRESS**  
 1 CANAL ST  
 NEW ORLEANS, LA 70130

**BOUNDING STREETS**  
 CANAL ST & BADINE ST

**ZONING**  
 VCP  
 VIEUX CARRÉ PARK DISTRICT

THE VCP VIEUX CARRÉ PARK DISTRICT IS INTENDED TO PROVIDE FOR PARKS, PUBLIC FACILITIES, AND ASSOCIATED USES IN THE VIEUX CARRÉ AND ALONG THE VIEUX CARRÉ RIVERFRONT. PARKS AND OPEN SPACE ARE ENCOURAGED AND ARE PERMITTED USES. CONDITIONAL USE REVIEW IS REQUIRED FOR ALL OTHER USES TO ENSURE COMPATIBILITY OF THE CHARACTER OF THE VIEUX CARRÉ WITH THE MARITIME USE AND SCALE OF THE WATERFRONT.

**FUTURE LAND USE**  
 P  
 (PARKLAND AND OPEN SPACE)

**HISTORIC DISTRICTS**  
 VIEUX CARRÉ  
 (UNDER FULL VCC CONTROL)

**NATIONAL REGISTER OF HISTORIC PLACES**  
 VIEUX CARRÉ

**NEIGHBORHOOD CONSERVATION DISTRICT**  
 N/A

**SITE AREA**  
 ~496,584 SF (OR 11.4 ACRES)

**HEIGHT LIMIT**  
 50'  
 EXISTING DRUM IS ~89'-2"

**OPEN SPACE REQUIREMENT**  
 SEVENTY-FIVE PERCENT (75%) OF THE LAND AREA SHALL BE MAINTAINED AS OPEN SPACE IN THE AREA OF THE VCP DISTRICT BOUNDED BY THE FLOODWALL, CANAL STREET, THE MISSISSIPPI RIVER, AND ST. PETER STREET (EXTENDED). THE OPEN SPACE AREA MAY NOT BE ENCUMBERED BY ENCLOSED STRUCTURES OR OFF-STREET PARKING AREAS, EXCEPT BUILDING SERVICE AREAS, INCLUDING LOADING DOCKS AND STAGING AREAS, ETC.

**STEBACKS**  
 NONE

**LOADING**  
 > 100,000 SF = 3 LOADING SPACE

**VEHICLE PARKING**  
 NONE REQUIRED

**BICYCLE PARKING**  
 1 PER 2,500SF GFA

ZONING ANALYSIS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†







EXISTING CONDITIONS

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EXISTING CONDITIONS

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EXISTING CONDITIONS

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PHOTOGRAPHS - EXISTING CONDITIONS

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PHOTOGRAPHS - EXISTING CONDITIONS

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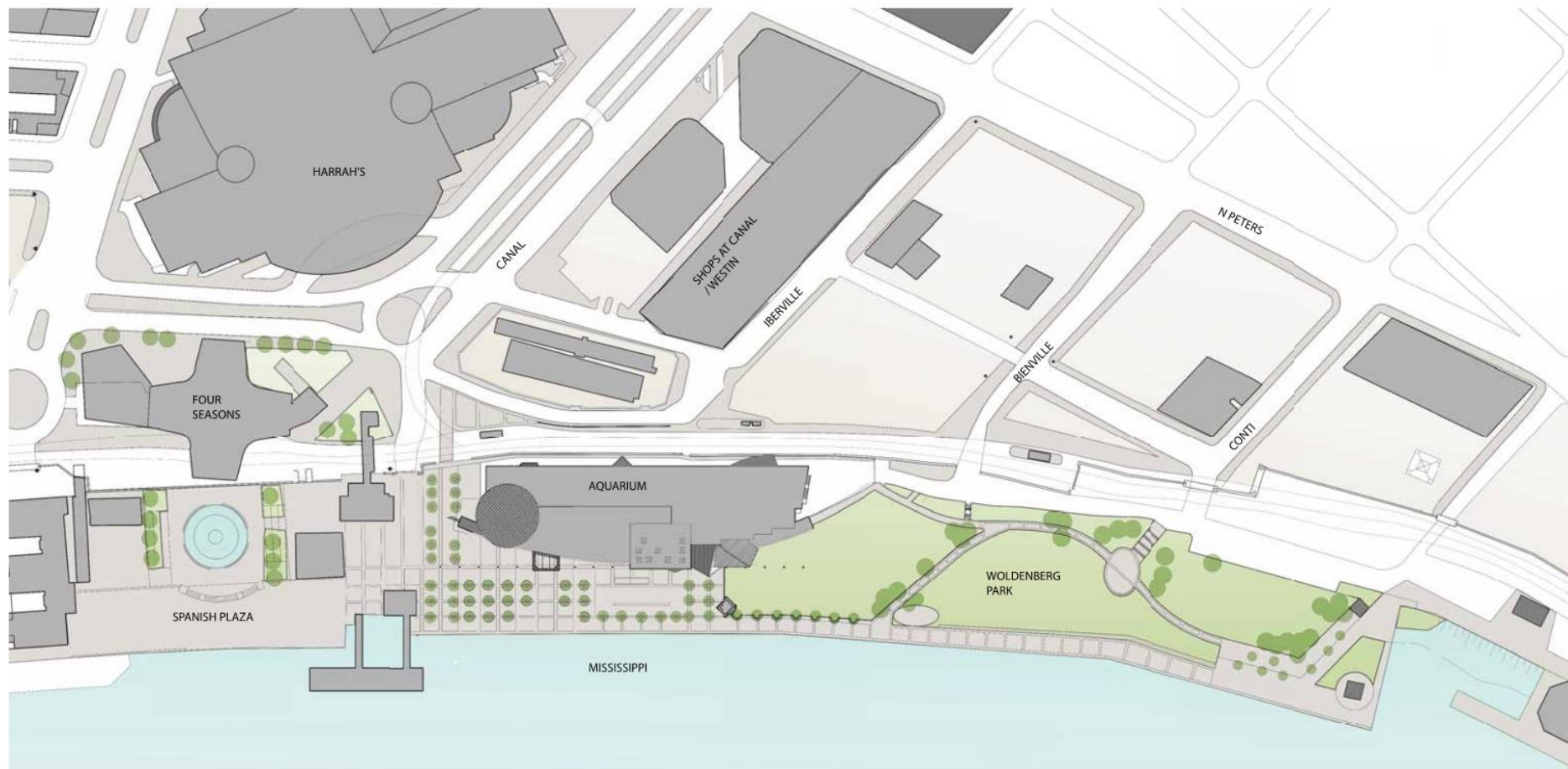
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**RIVERFRONT PLAN**

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EXISTING CONDITIONS

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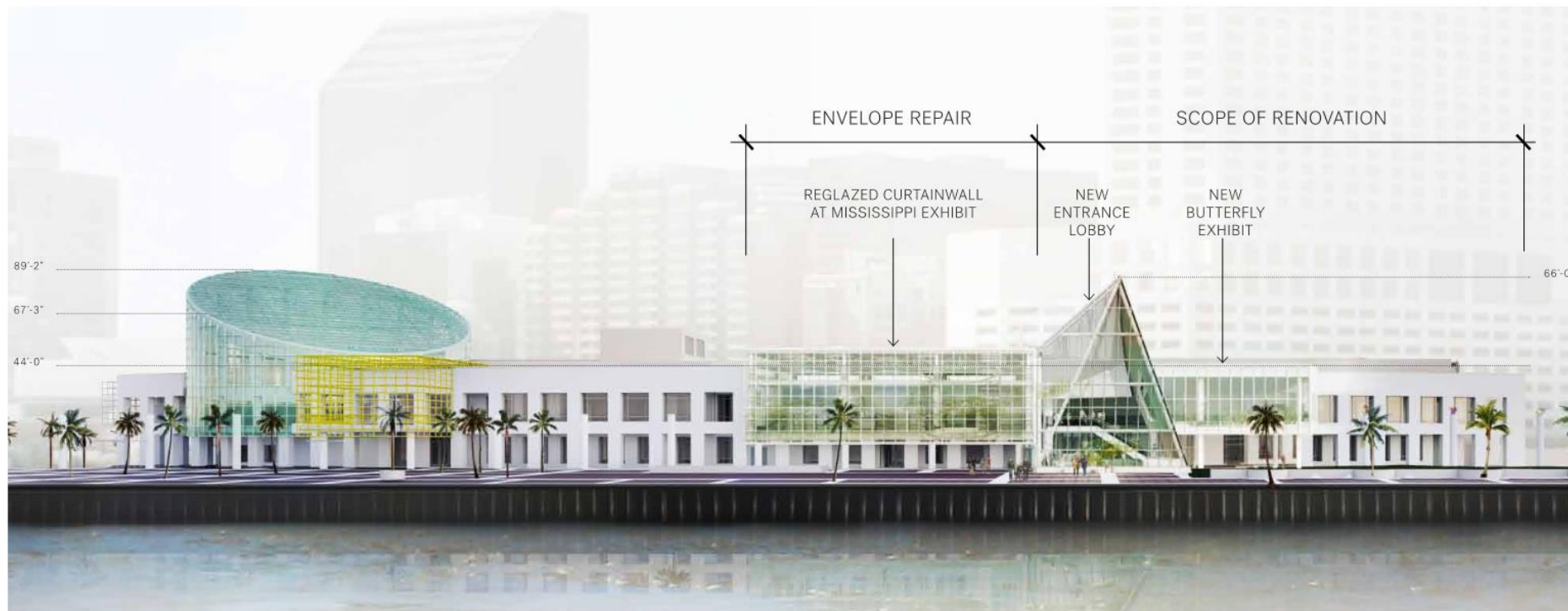


**PROPOSED FLOOR PLAN AND FLOW**

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†





RENDER - EAST ELEVATION

AUDUBON AQUARIUM OF THE AMERICAS | SCHEMATIC DESIGN AND PROGRAMMING 28 SEPTEMBER 2020

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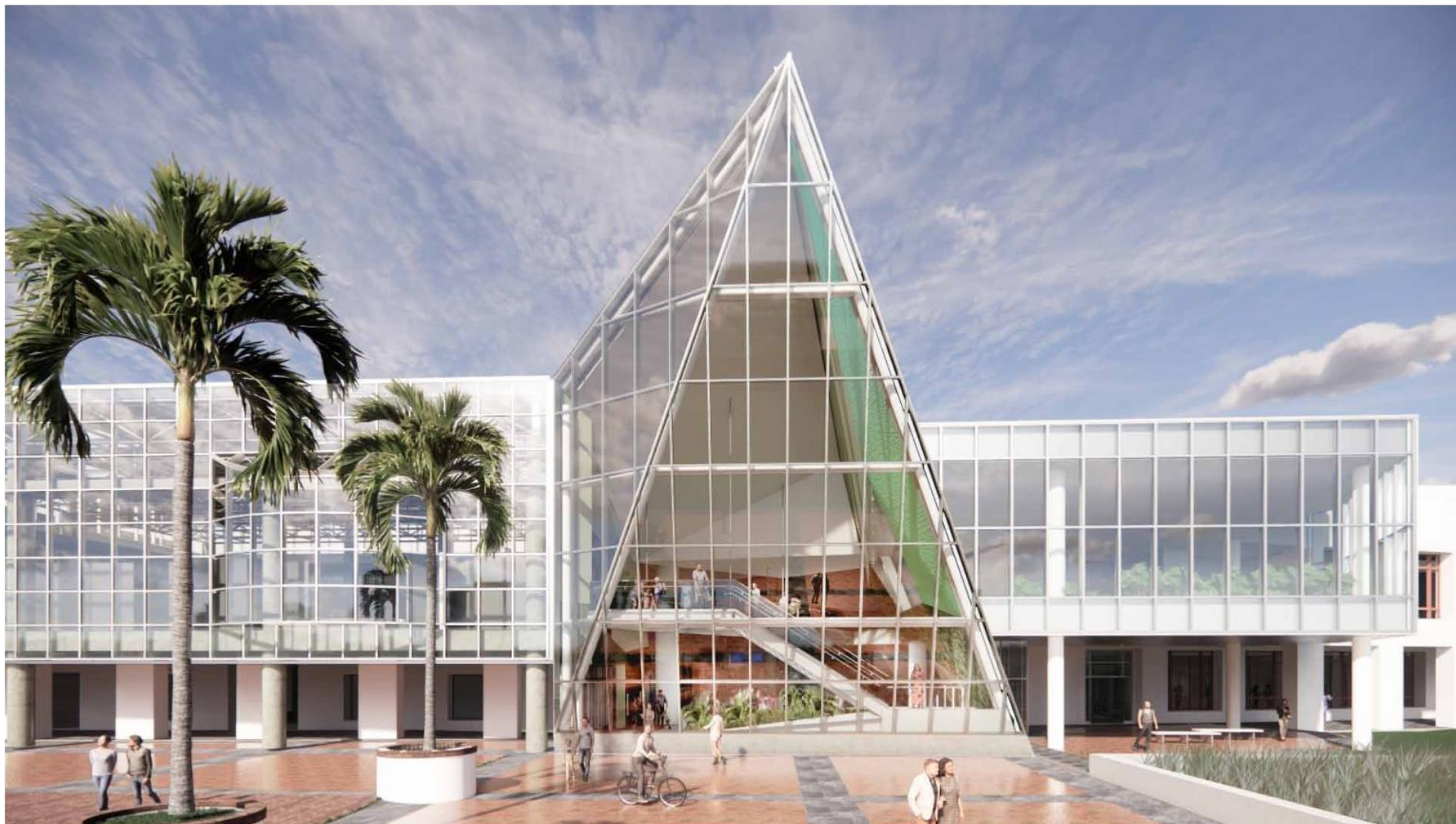
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**NEW ENTRANCE LOBBY**

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

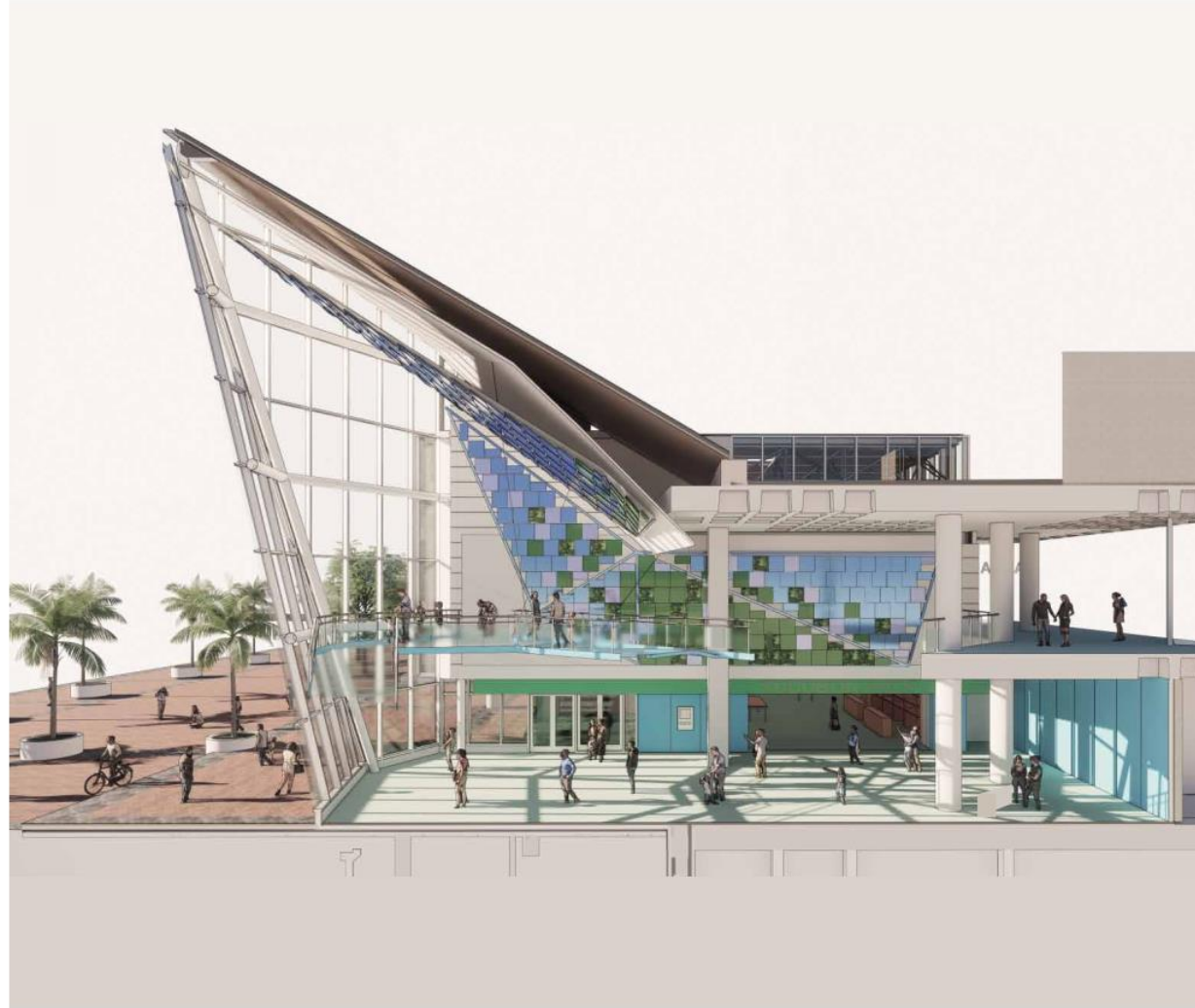
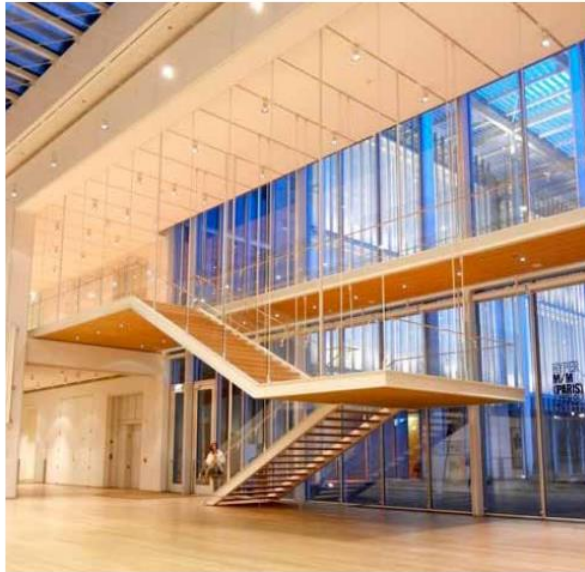
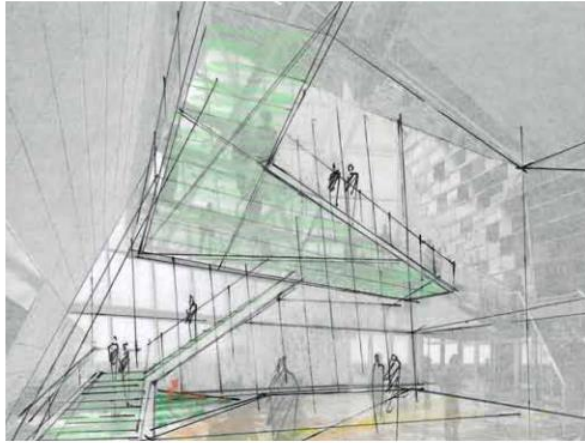
Eskew Dumez Ripple+

1 Canal Street

Vieux Carré Commission

April 21, 2021





**BUILDING SECTION**

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†



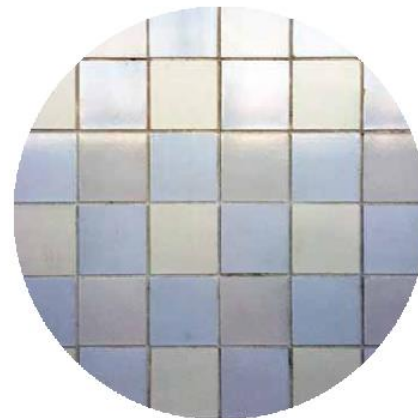




EXISTING PAINTED STEEL



EXISTING FRIT GLASS



EXISTING GLAZED TILE



EXISTING PLASTER



FRIT GLASS



STAINLESS STEEL

## MATERIALS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple†





VIEW FROM WOLDENBERG PARK

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

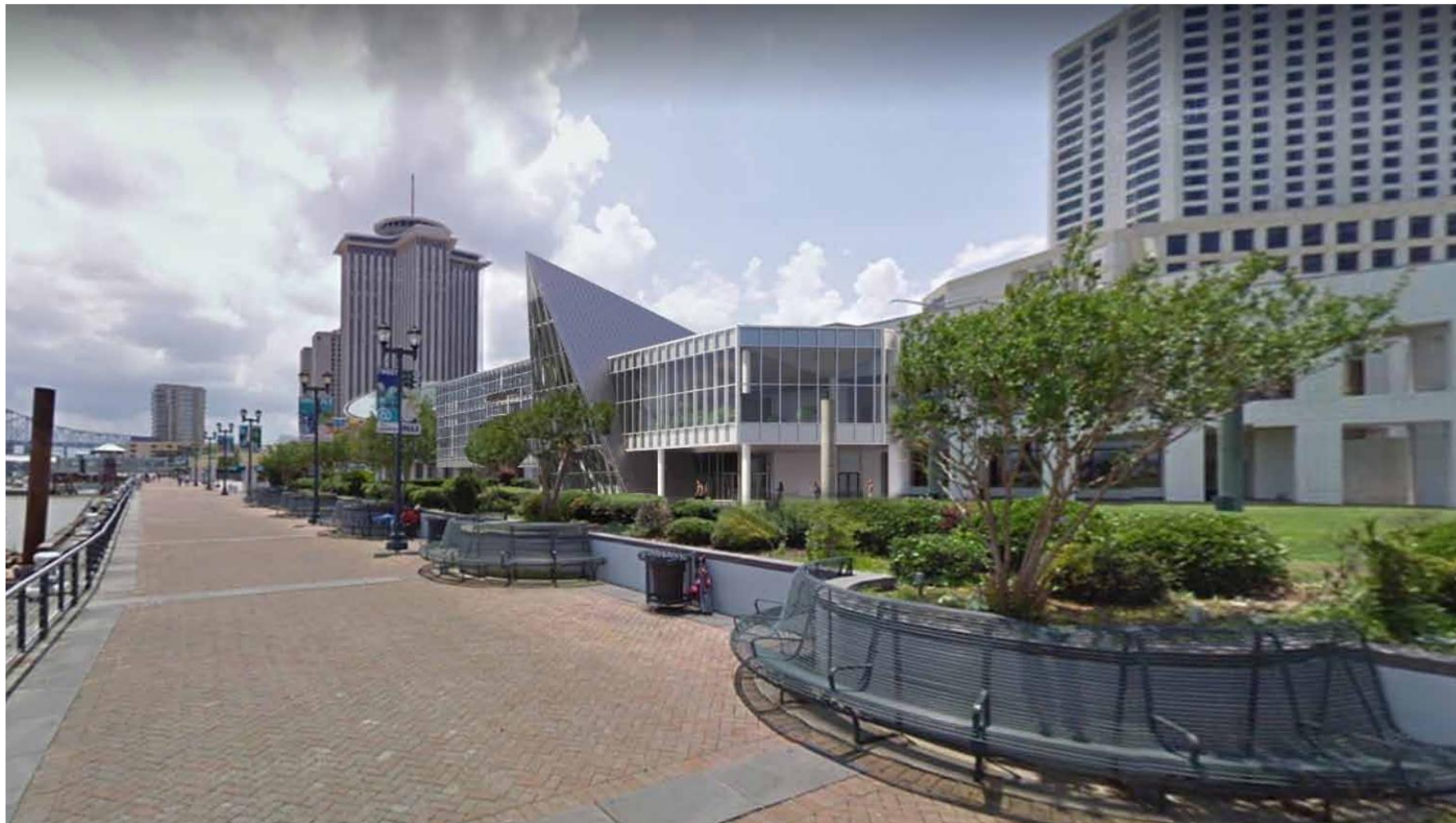
Eskew Dumez Ripple<sup>+</sup>

1 Canal Street

Vieux Carré Commission

April 21, 2021





VIEW FROM WOLDENBERG PARK

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple<sup>+</sup>

1 Canal Street

Vieux Carré Commission

April 21, 2021





NORTH  
PETERS

NOPB

LEVEE  
WALL

NEW  
ENTRY



VIEW FROM N PETERS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple+



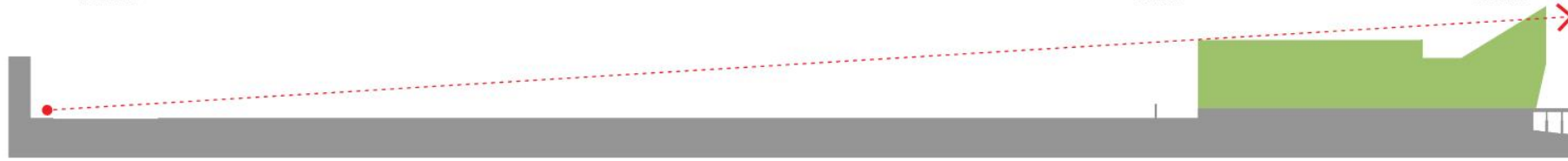


NORTH  
PETERS

NOPB

LEVEE  
WALL

NEW  
ENTRY



VIEW FROM N PETERS

AUDUBON AQUARIUM OF THE AMERICAS | VCC REVIEW

Eskew Dumez Ripple+

1 Canal Street

Vieux Carré Commission

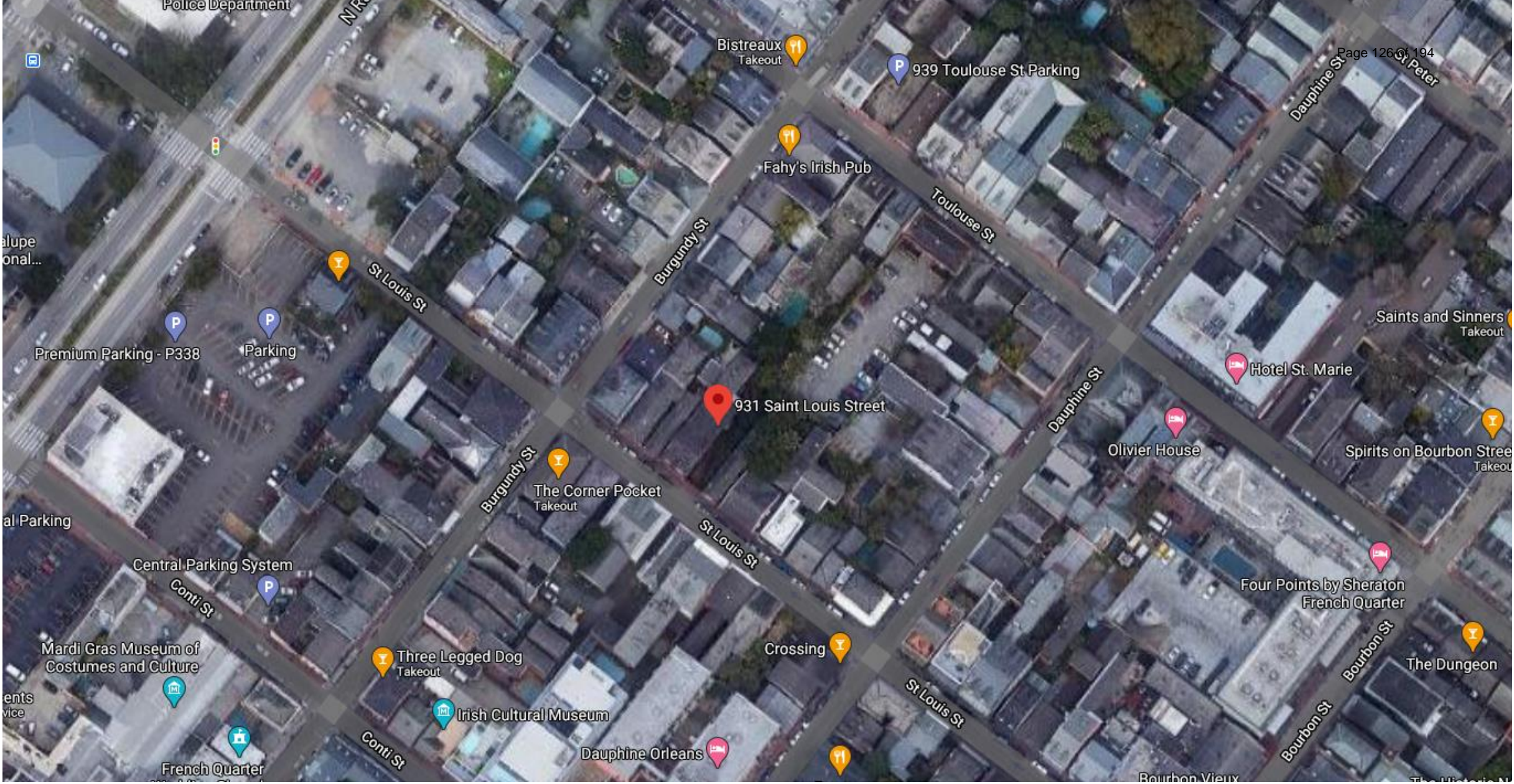
April 21, 2021





**931 St Louis**





931 St Louis

Vieux Carré Commission

April 21, 2021







931 St Louis

Vieux Carré Commission

April 21, 2021





931 St Louis

Vieux Carré Commission

April 21, 2021





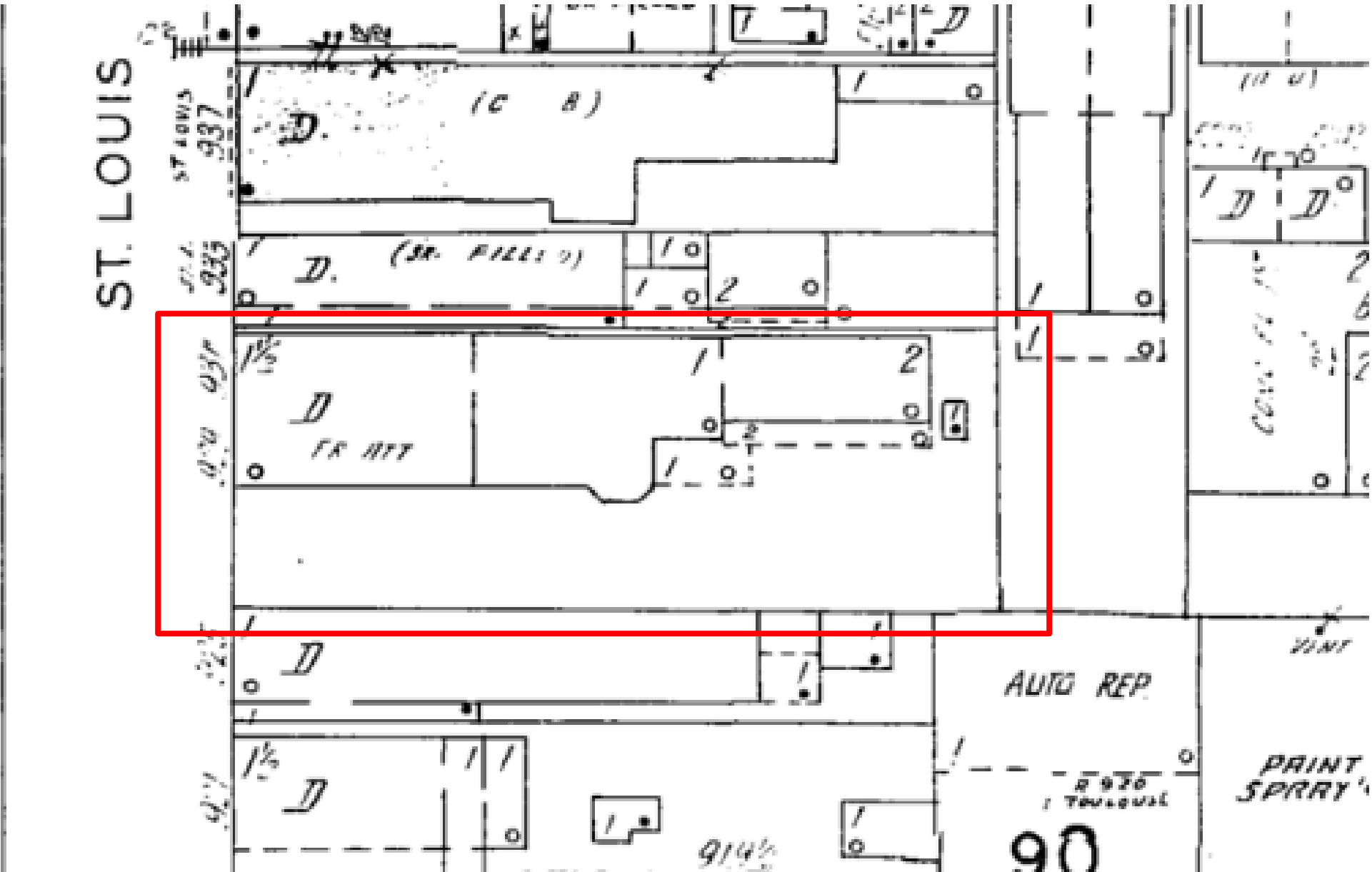


931 St Louis - 1985

Vieux Carré Commission

April 21, 2021





931 St Louis – 1940 Sanborn







931 St Louis

Vieux Carré Commission

April 21, 2021







931 St Louis

Vieux Carré Commission

April 21, 2021







931 St Louis

Vieux Carré Commission

April 21, 2021







931 St Louis

Vieux Carré Commission

April 21, 2021



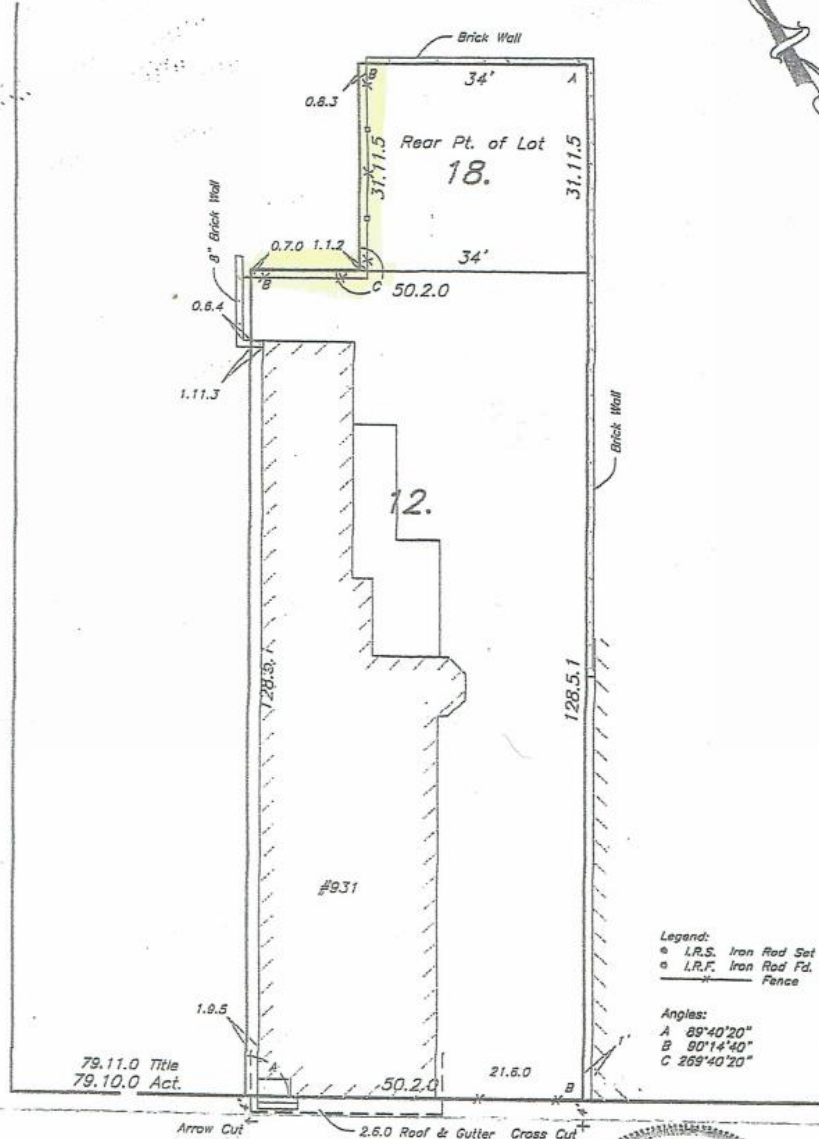


SQ. NO. 90  
SECOND DISTRICT ORLEANS PARISH  
NEW ORLEANS, LA

TOULOUSE ST. SIDE

BURGUNDY ST.

DAUPHINE ST. SIDE



Legend:  
 • I.R.S. Iron Rod Set  
 ○ I.R.F. Iron Rod Fd. (Found)  
 — Fence

Angles:  
 A 89°40'20"  
 B 90°14'40"  
 C 269°40'20"

Note:  
 Improvements may not be to scale for clarity.  
 The dimensions shown prevail over scale.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE

ST. LOUIS



931 St Louis

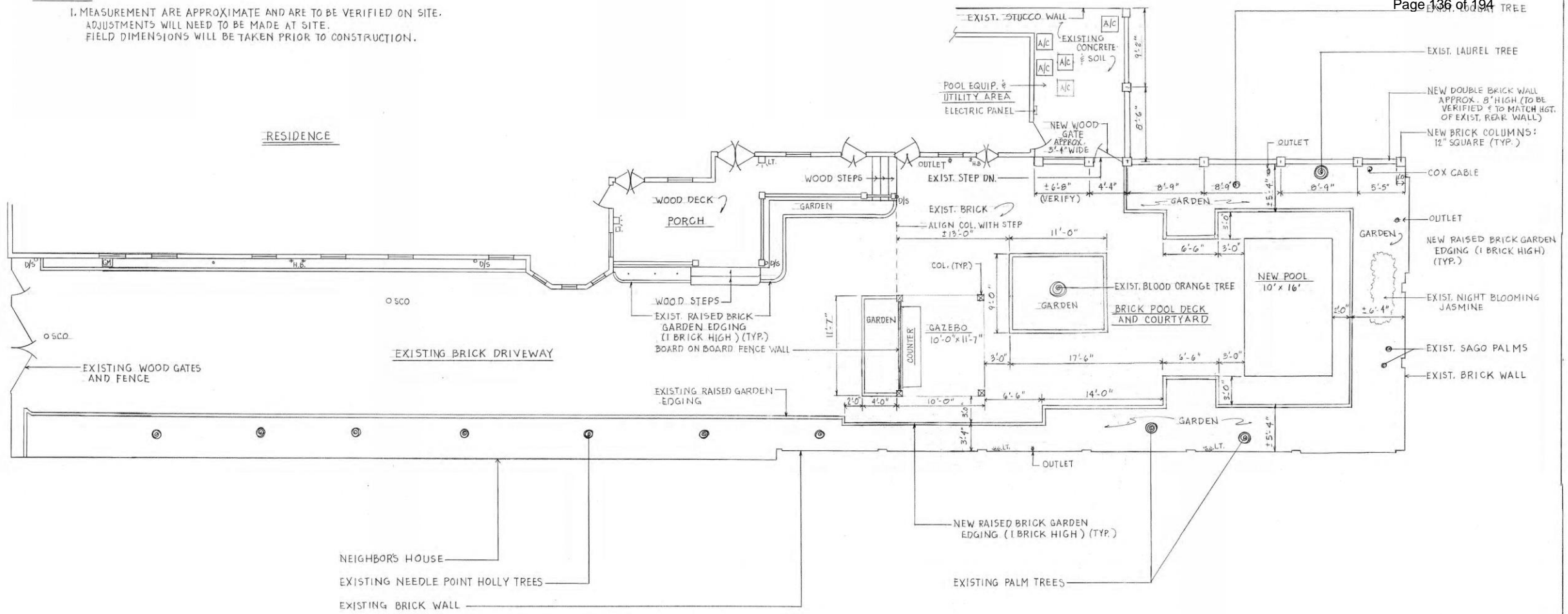
Vieux Carré Commission

April 21, 2021



**NOTES:**

1. MEASUREMENT ARE APPROXIMATE AND ARE TO BE VERIFIED ON SITE.  
 ADJUSTMENTS WILL NEED TO BE MADE AT SITE.  
 FIELD DIMENSIONS WILL BE TAKEN PRIOR TO CONSTRUCTION.

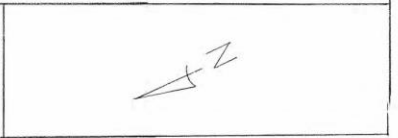


MUDD RESIDENCE  
 931 ST. LOUIS STREET  
 NEW ORLEANS, LA 70112

CONSTRUCTION LAYOUT PLAN

EXTERIOR DESIGNS, INC.  
 BEVERLY KATZ  
 P.O. BOX 13662  
 NEW ORLEANS, LA 70195  
 (504) 860-0276

DATE: 3/23/21  
 SHEET:  
 SCALE: 1/4" = 1'-0"



931 St Louis

Vieux Carré Commission

April 21, 2021







April 5, 2021

VCC Staff & VCC Committee  
Vieux Carre Commission  
1300 Perdido St., 7<sup>th</sup> Floor  
New Orleans, LA. 70112

Good Afternoon,

The property at 931 St. Louis Street is currently a single-family residence and is rated Green by the VCC. The design of the main home is a 1 1/2 story dormered brick cottage in the Queen Anne Style with a two-story service building located to the rear in the style of the local vernacular. Sheet A050 contains photographs of the existing residence with keynote tags to the location of where each photograph was taken. Below is a link to the Matterport scan for your reference.

Matterport 3d Walkthrough Link:

<https://my.matterport.com/show/?m=qM3FDYLY8Q3>

The proposed new open-air Pool Gazebo will be placed 6'-4" from the West Property Line and directly across from the service building of 931, as shown on the landscape site plan as well as Sheet A050 of this submission. The design of the Pool Gazebo originated from the simplistic style of the service building. The Gazebo features a new slate roof to match the existing main home and service wing, painted wood columns with the same capital and base wood profiles of the columns on the rear porch, and the flooring is a brick patio in a herringbone pattern which matches and is integrated into the paving of the existing courtyard. The floor plans, elevations, and 3d views of the Pool Gazebo are located on Sheet A101 for your review and comment.

If you have any questions, feel free to reach out to us on our office line at 504-603-6881.

Sincerely,

Michael Reid, RA, NCARB  
Owner/Principal Architect  
Classical Roots Architecture LLC

&

Gretchen Gottfried, RA, NCARB  
Owner/Principal Architect  
Classical Roots Architecture LLC

---

931 St Louis

Vieux Carré Commission

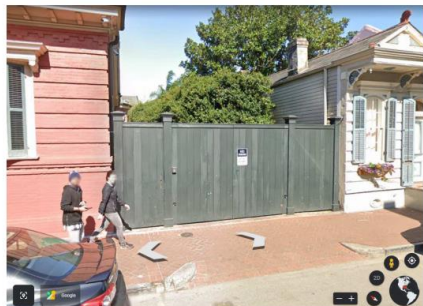
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April 21, 2021





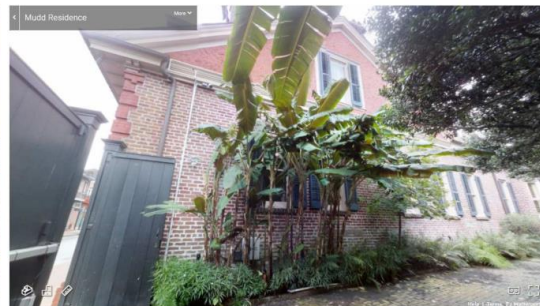




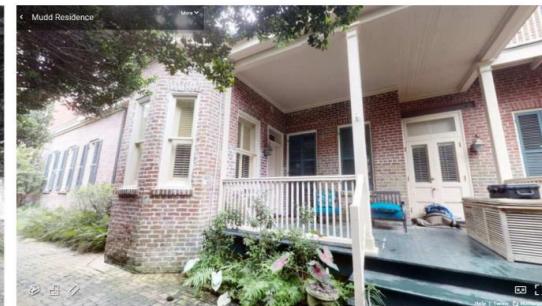
1 FRONT GATE  
N.T.S.



2 ST. LOUIS STREET FACADE  
N.T.S.



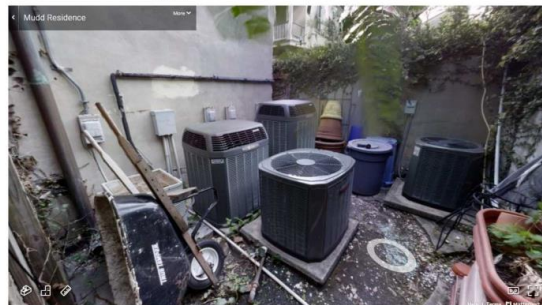
3 MAIN HOUSE FROM DRIVEWAY  
N.T.S.



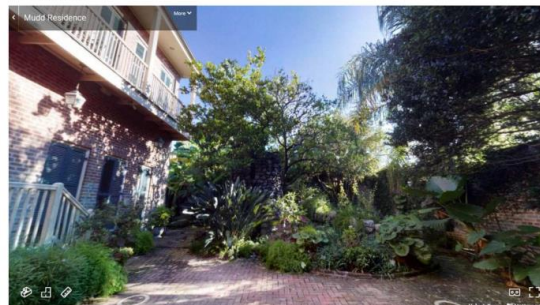
4 MAIN HOUSE EXTERIOR ENTRY 1  
N.T.S.



5 MAIN HOUSE EXTERIOR ENTRY 2  
N.T.S.



6 POOL EQUIP. AND MECH.  
N.T.S.



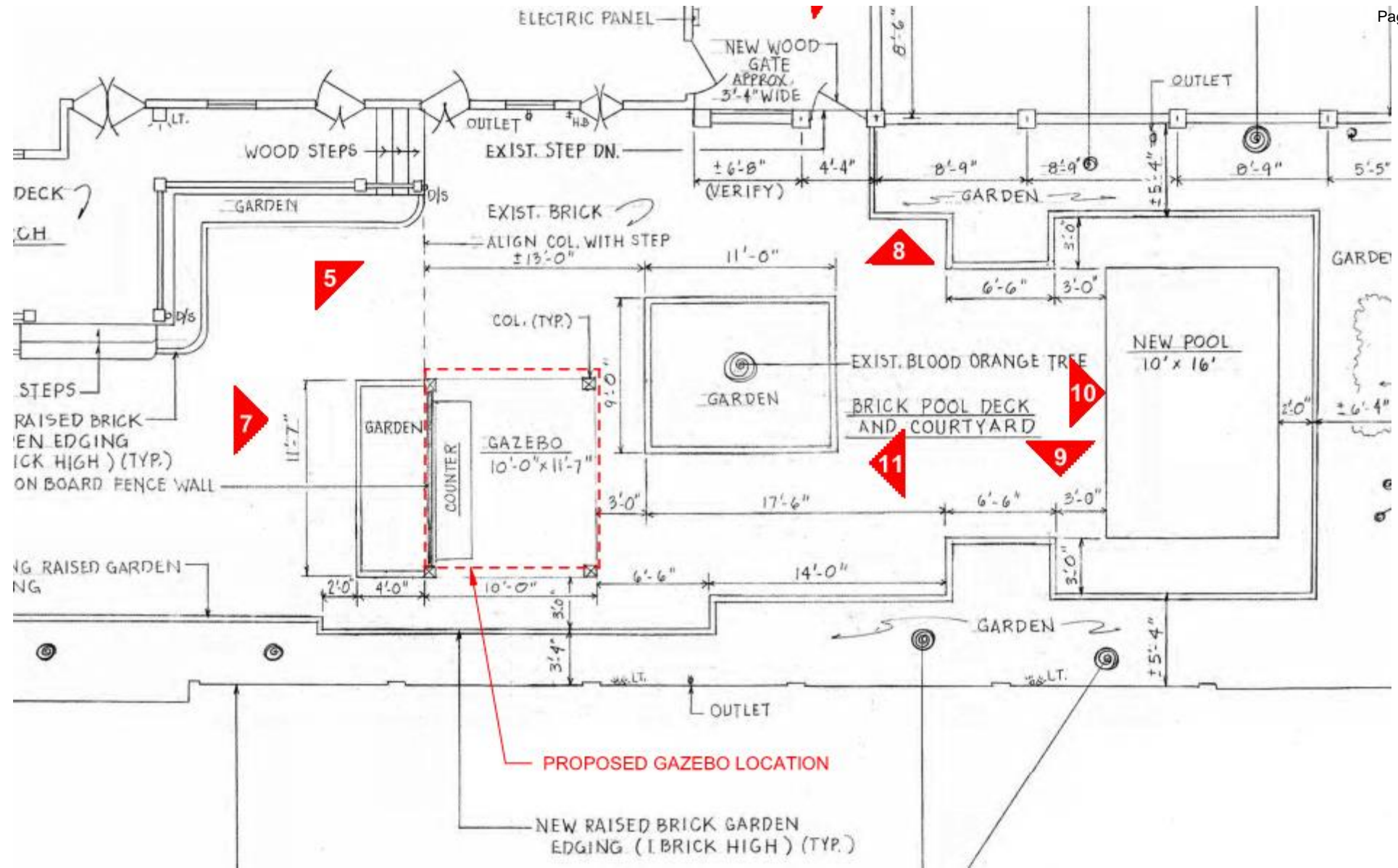
7 GARDEN 1  
N.T.S.



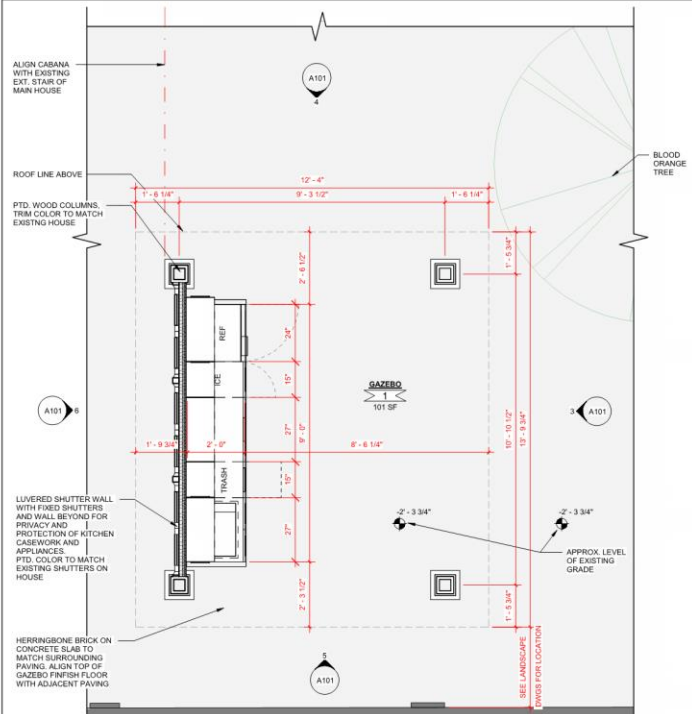
8 GARDEN 2  
N.T.S.



9 GARDEN AND BRICK FENCE  
N.T.S.





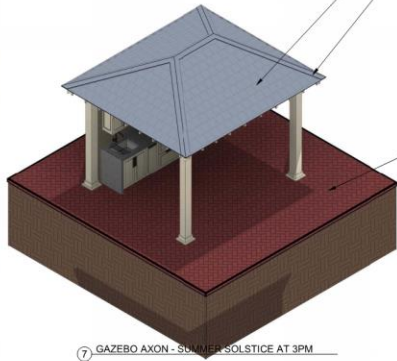


2 GAZEBO FLOOR  
1/2" = 1'-0"

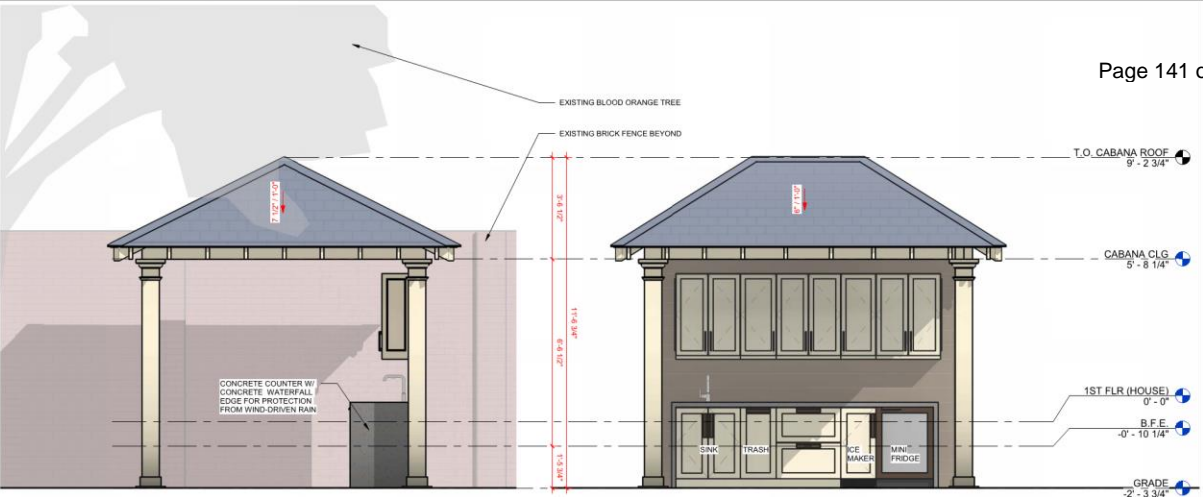
ROOM SCHEDULE		
Number	Name	Area
1	GAZEBO	101 SF
TOTAL AREA		101 SF



1 GAZEBO INTERIOR PERSPECTIVE

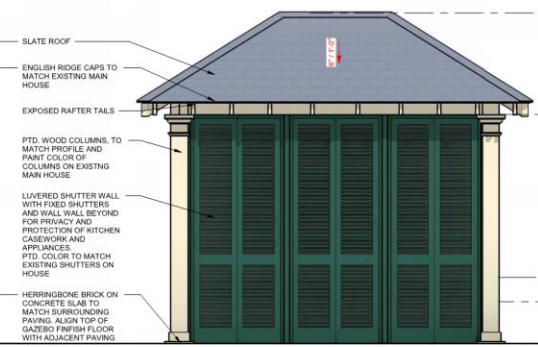


7 GAZEBO AXON - SUMMER SOLSTICE AT 3PM

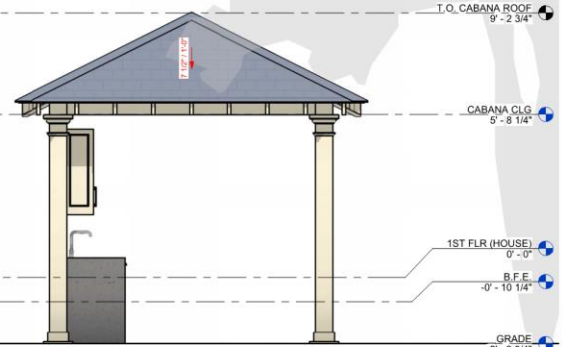


4 GAZEBO EXTERIOR ELEVATION - NORTH  
1/2" = 1'-0"

3 GAZEBO EXTERIOR ELEVATION - EAST  
1/2" = 1'-0"



6 GAZEBO EXTERIOR ELEVATION - WEST  
1/2" = 1'-0"



5 GAZEBO EXTERIOR ELEVATION - SOUTH  
1/2" = 1'-0"

MUDD RESIDENCE GAZEBO  
MR. WILLIAM MUDD  
931 ST. LOUIS STREET  
NEW ORLEANS, LA 70112

SCHEMATIC DESIGN (NFC)

GAZEBO VCC REVIEW

Project number: 2020-024  
Date: 04/05/2021

A101

Scale: As indicated



931 St Louis

Vieux Carré Commission

April 21, 2021





① PROPOSED GAZEBO RENDERING  
N.T.S.

MUDD RESIDENCE GAZEBO  
931 ST. LOUIS STREET  
NEW ORLEANS, LA 70112  
MR. WILLIAM MUDD  
SCHEMATIC DESIGN (NFC)

PROPOSED GAZEBO  
RENDERING

Project number	2020-024
Date	04/06/2021

4/6/2021 7:05:28 PM

X101

April 21, 2021

931 St Louis

Vieux Carré Commission







SHARE YOUR STYLE | Upload a photo



### Havoc with LED Light 54 Inch

★★★★★ 4.6 (19) Write a Review Ask a Question

**\$399.99**



Matte Black - Matte Black | Item 59471

3 Matte Black blades included



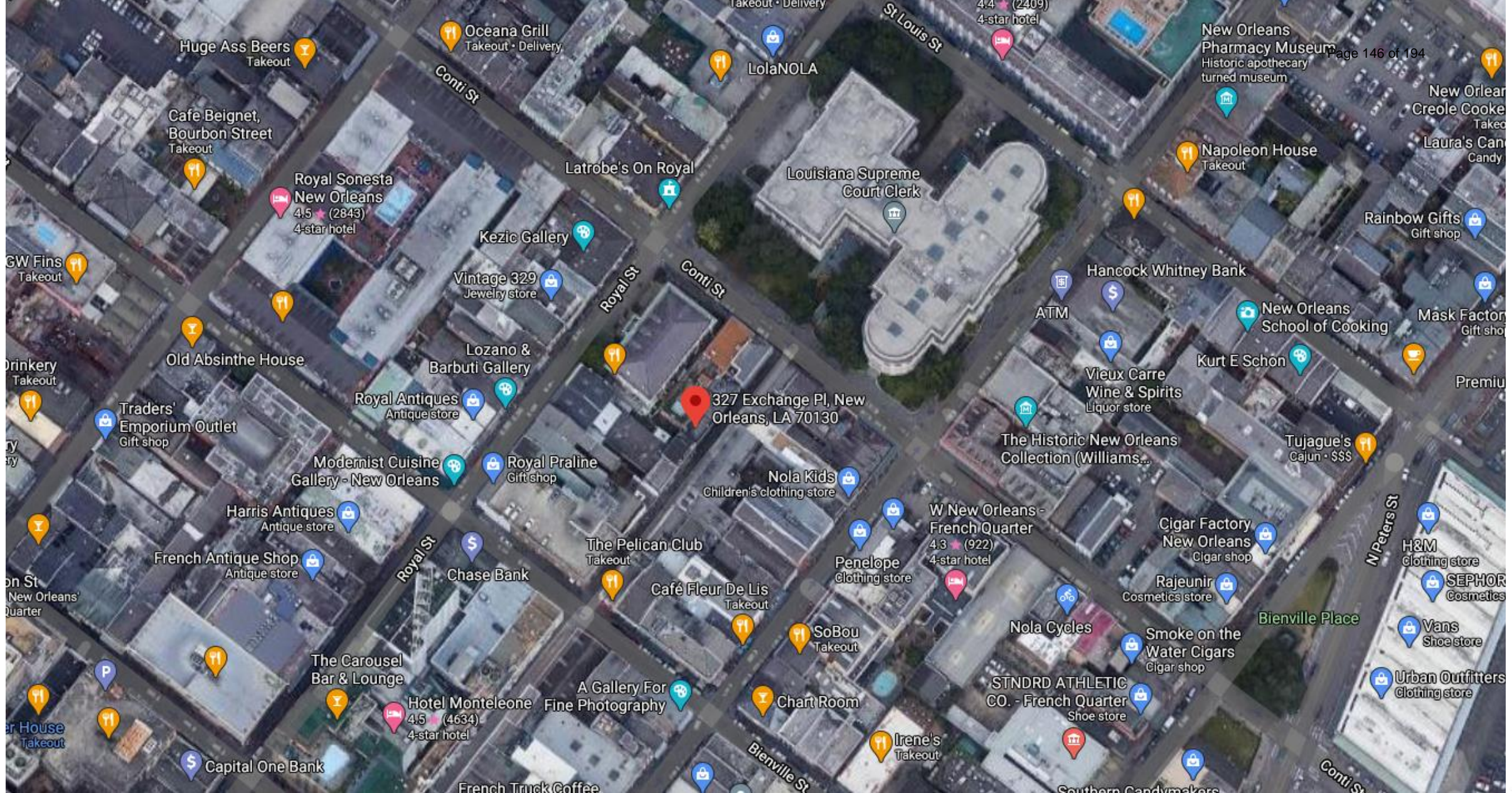
# Change of Use





**327 Exchange Place**





327 Exchange Place

Vieux Carré Commission

April 21, 2021







327 Exchange Place

Vieux Carré Commission

April 21, 2021





327 Exchange Place  
Vieux Carré Commission

April 21, 2021







327 Exchange Place

Vieux Carré Commission

April 21, 2021







327 Exchange Place  
Vieux Carré Commission

April 21, 2021







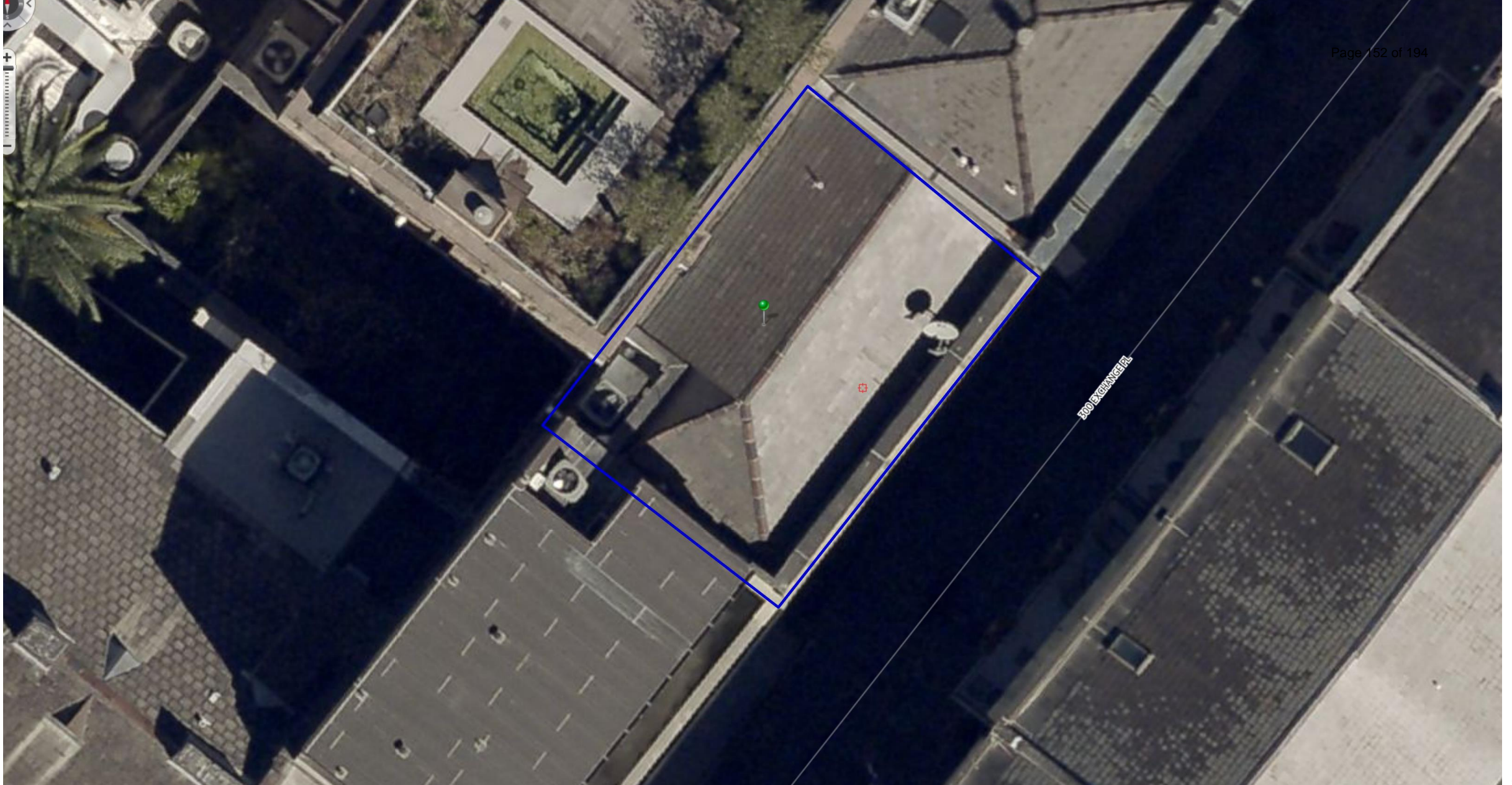
327 Exchange Place

Vieux Carré Commission

April 21, 2021







327 Exchange Place

Vieux Carré Commission

April 21, 2021

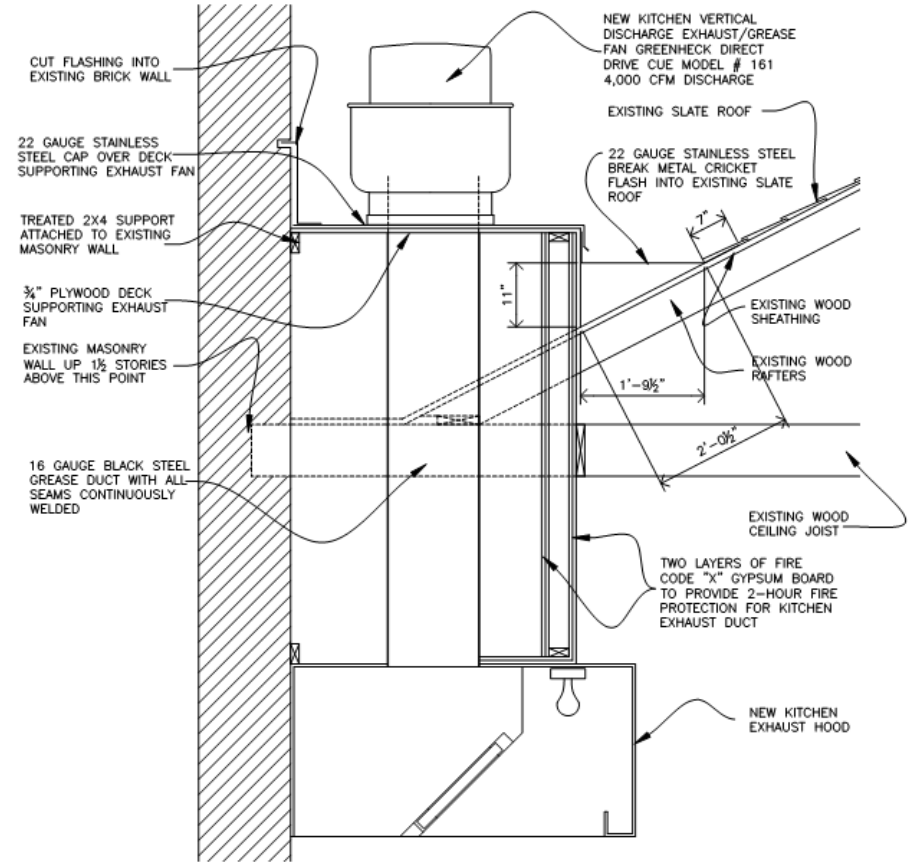
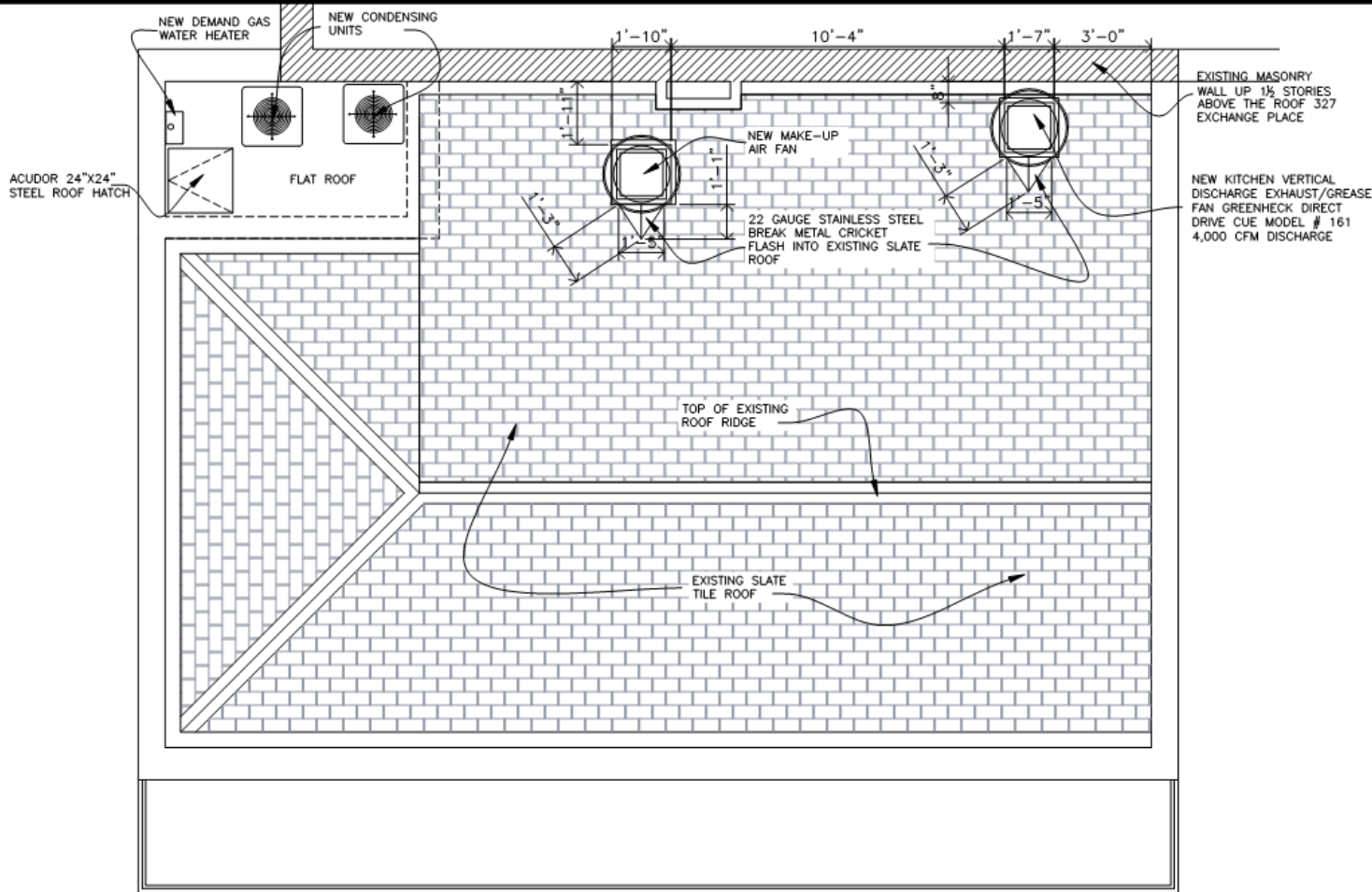












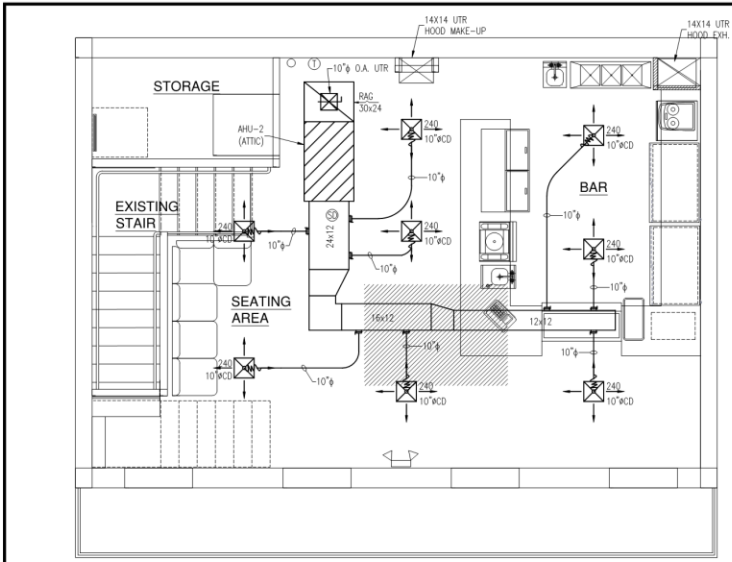
**3** ROOF PLAN  
 SCALE: 1/4"=1'-0"



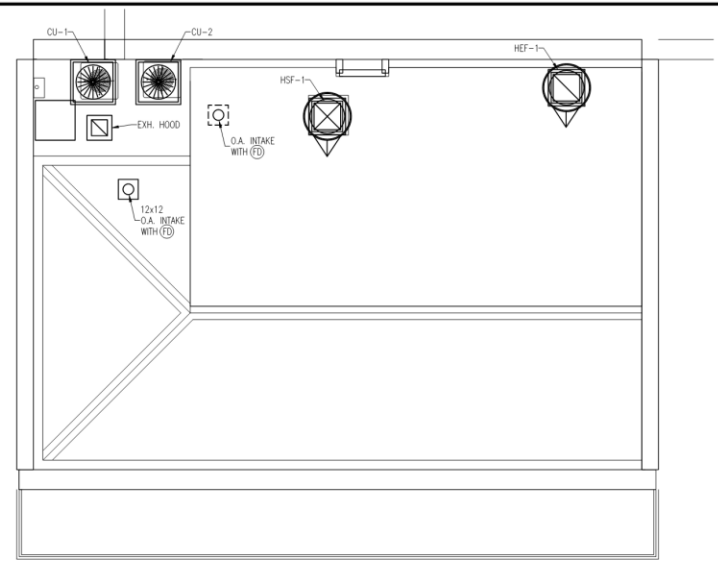
**4** EXHAUST/MAKE-UP KITCHEN HOOD FANS  
 SCALE: 1/2"=1'-0"



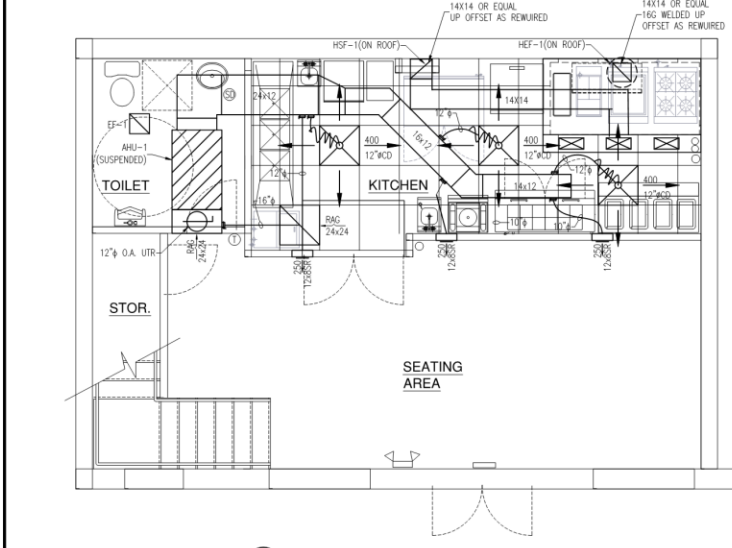
MODIFICATIONS TO  
**327 EXCHANGE PLACE**  
 NEW ORLEANS • LOUISIANA



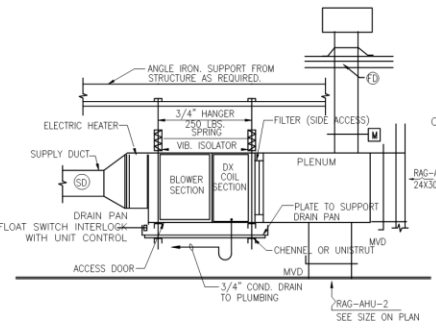
2 SECOND FLOOR PLAN - HVAC  
 M-1 SCALE: 3/8" = 1'-0"



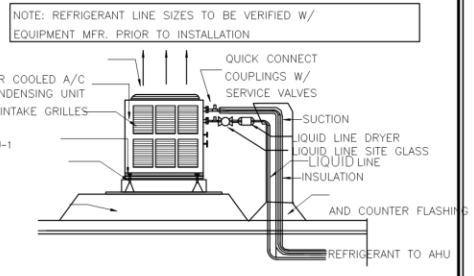
3 ROOF PLAN - HVAC  
 M-1 SCALE: 3/8" = 1'-0"



1 FIRST FLOOR PLAN - HVAC  
 M-1 SCALE: 3/8" = 1'-0"



4 TYPICAL HORIZONTAL AHU DETAIL  
 M-1 SCALE: N.T.S.



5 TYPICAL CONDENSING UNIT DETAIL  
 M-1 SCALE: N.T.S.

NOTE: REFRIGERANT LINE SIZES TO BE VERIFIED W/  
 EQUIPMENT MFR. PRIOR TO INSTALLATION

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.  
 CERTIFIED CORRECT

THIS DRAWING IS CONFIDENTIAL AND NOT BE LOANED, REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF MAPLE RIDGE ARCHITECTS A PROFESSIONAL L.L.C. ALL RIGHTS ARE RESERVED AND WILL REMAIN THE SOLE PROPERTY OF MAPLE RIDGE ARCHITECTS A PROFESSIONAL L.L.C.

REVISION HISTORY	
NO.	DESCRIPTION

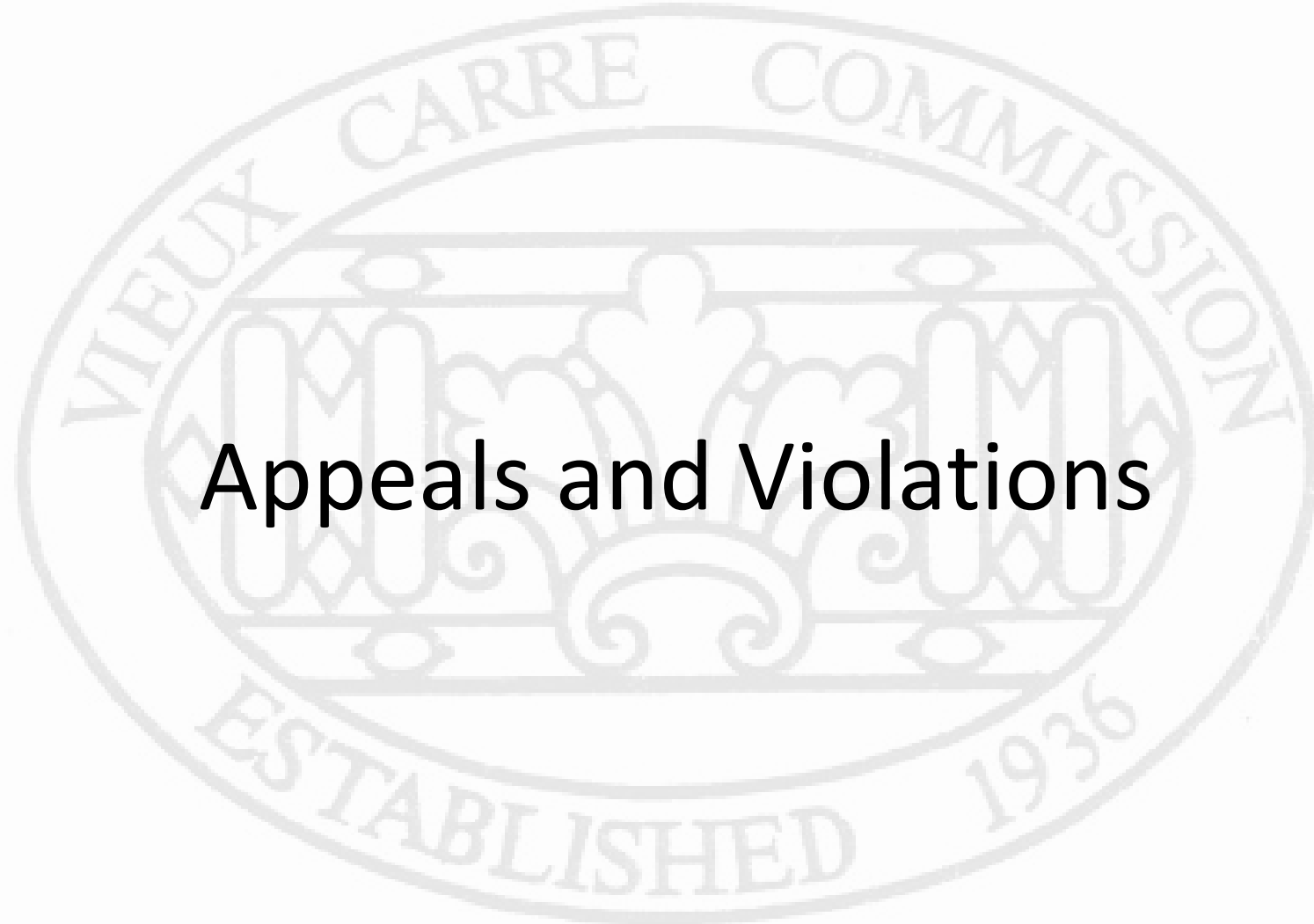


**M-K ENGINEERING, INC.**  
 CONSULTING ENGINEERS  
 HVAC-PLUMBING-FIRE PROTECTION-ELECTRICAL  
 4323 Division Street, Suite 211  
 Metairie, LA 70002  
 Tel: (504) 887-2376 Fax: (504) 887-2302  
 Email: mkansagra@m-k-e.com  
 M-K Project No.: 21-020

PROJECT#: 20200  
 PHASE: CD  
 DRAWER: DD, MK  
 CHECKER: MK  
 SCALE: AS SHOWN  
 ISSUED: 09/29/2020  
 SHEET:  
**M-1**  
 M-1 OF M-3





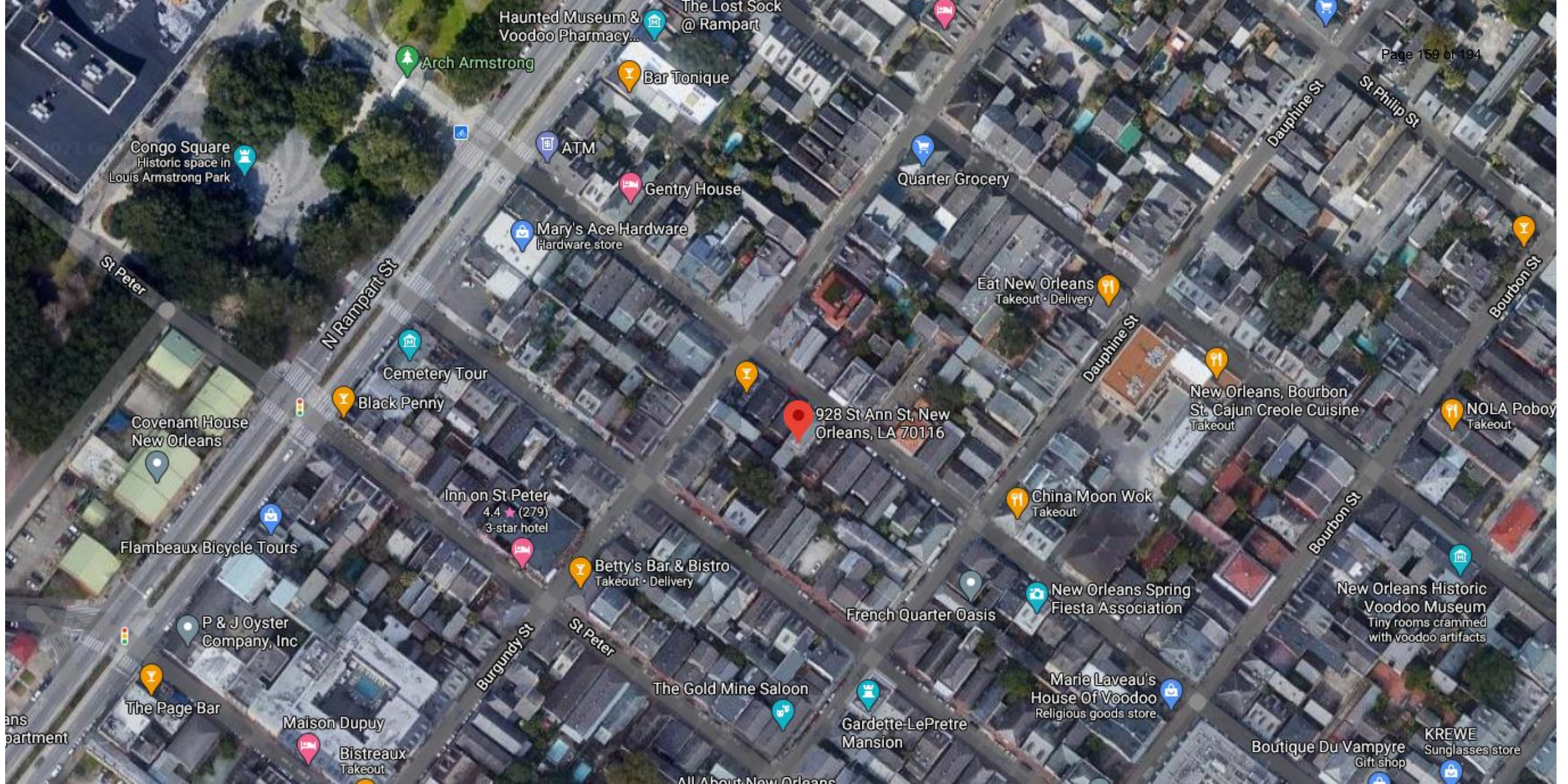


# Appeals and Violations



928 St Ann





928 St Ann

Vieux Carré Commission

April 21, 2021







928 St Ann

Vieux Carré Commission

April 21, 2021







928 St Ann

Vieux Carré Commission

April 21, 2021





928 St Ann

Vieux Carré Commission

April 21, 2021







928 St Ann

Vieux Carré Commission

April 21, 2021





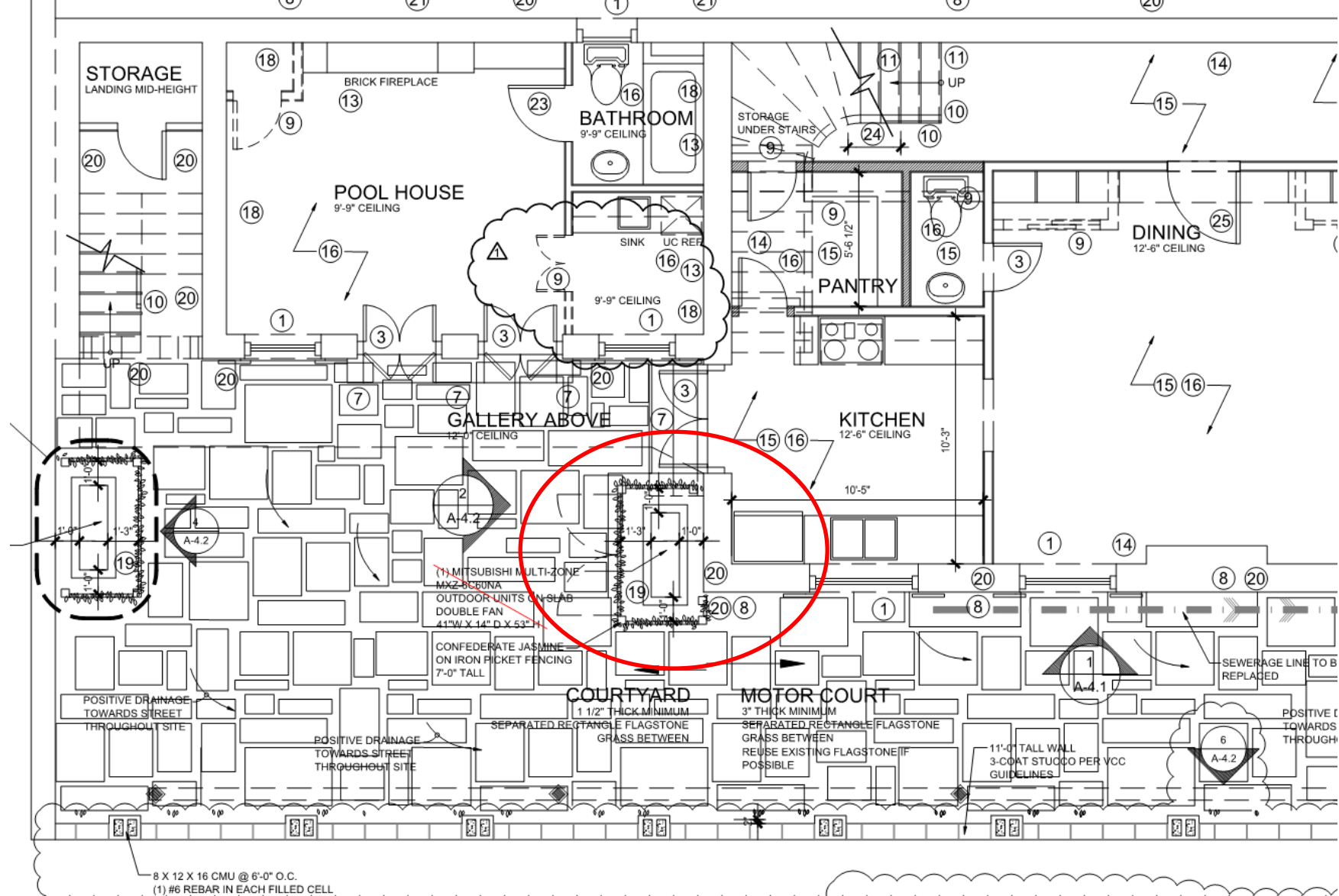
928 St Ann

Vieux Carré Commission

April 21, 2021



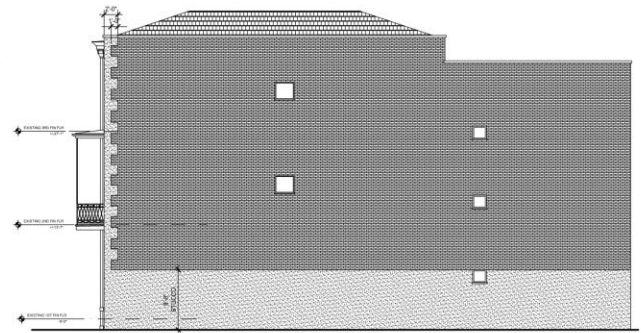




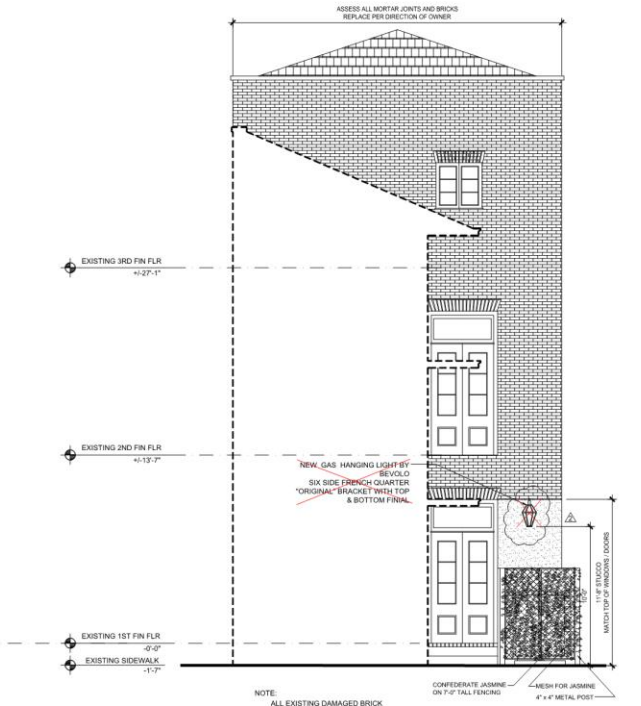
1  
A-2 **SITE / NEW FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**DOORS AND TRANSOMS:**  
IF REPLACEMENT OF A DOOR OR TRANSOM IS NECESSARY WITH DOOR OR TRANSOM EXACTLY IN-KIND. DOOR/TRANS



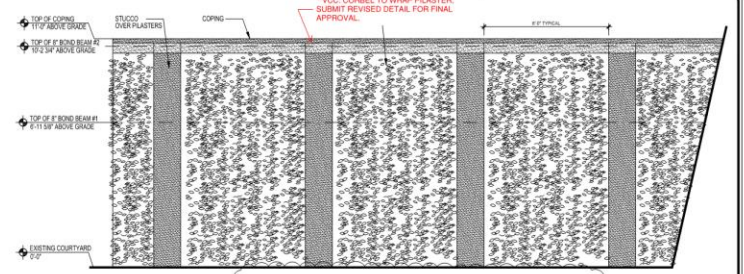


**1 ALLEY WAY ELEVATION - BURGUNDY STREET SIDE**  
SCALE: 1/8" = 1'-0"

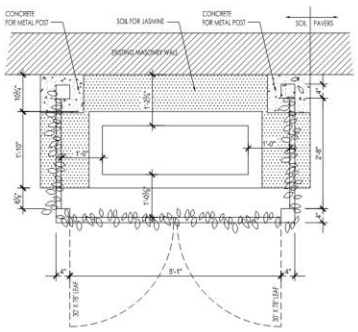


**2 COURTYARD PARTIAL SECTION ELEVATION**  
SCALE: 1/4" = 1'-0"

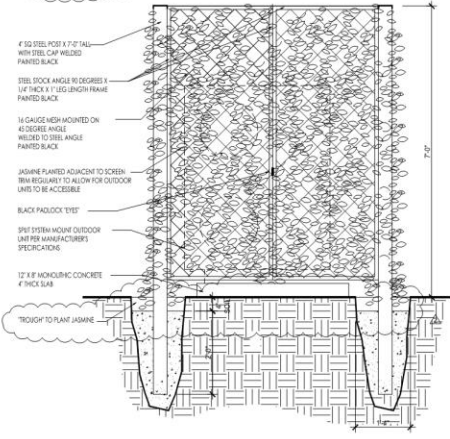
NOTE:  
ALL EXISTING DAMAGED BRICK TO BE REPLACED WITH BRICK OF SAME C/FX FOR MATCH SCFP



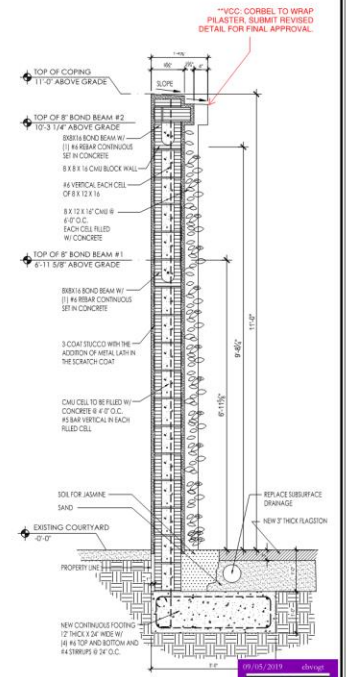
**6 LANDSCAPE WALL ELEVATION**  
SCALE: 3/4" = 1'-0"



**3 MECHANICAL FENCING ENLARGED PLAN**  
SCALE: 3/4" = 1'-0"



**4 MECHANICAL FENCING ELEVATION**  
SCALE: 3/4" = 1'-0"



**5 SECTION - LANDSCAPE WALL**  
SCALE: 3/4" = 1'-0"

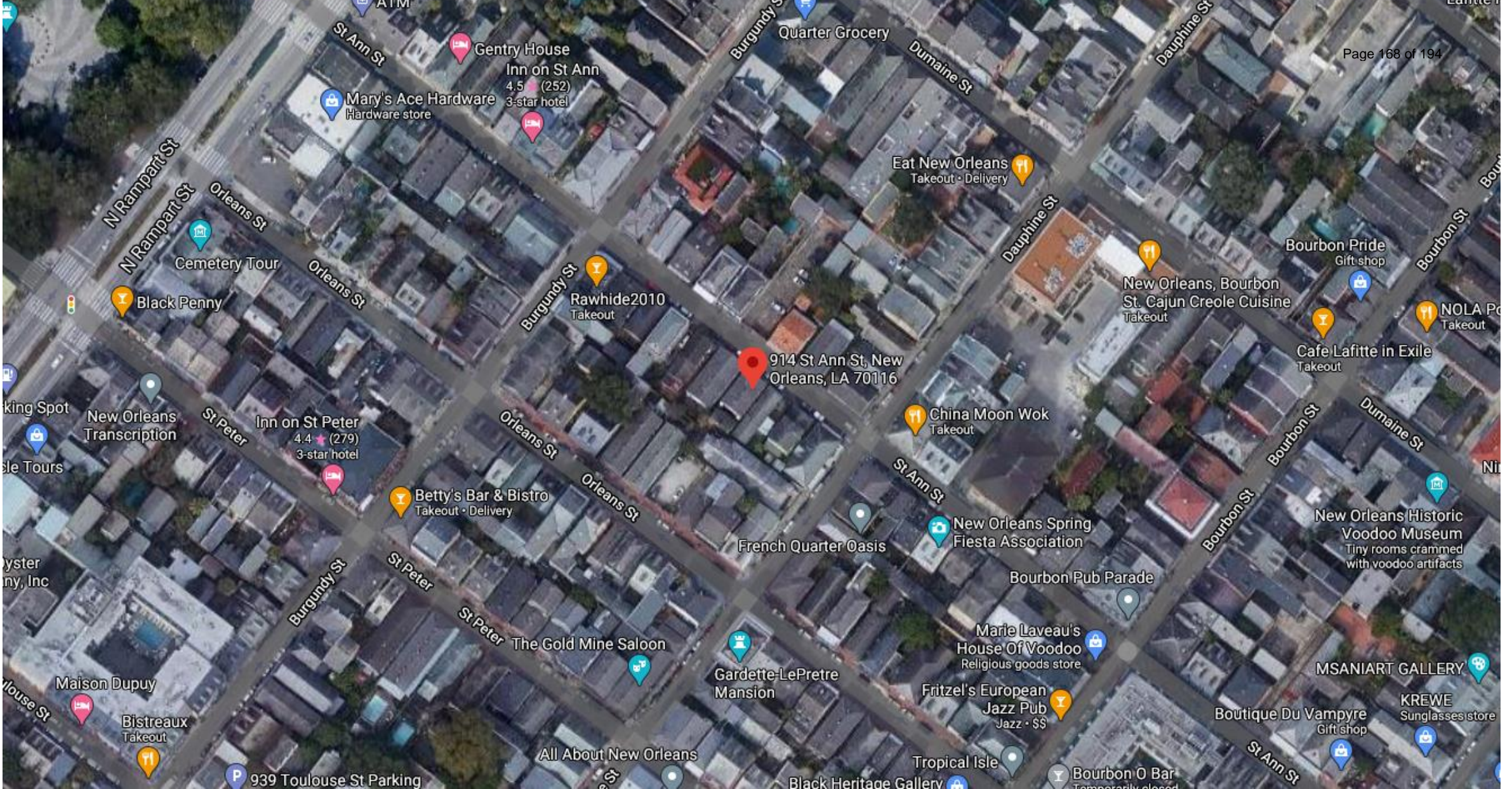






**914 St Ann**





914 St Ann

Vieux Carré Commission

April 21, 2021







914 St Ann

Vieux Carré Commission

April 21, 2021





914 St Ann

Vieux Carré Commission

April 21, 2021







914 St Ann

Vieux Carré Commission

April 21, 2021







914 St Ann

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April 21, 2021







914 St Ann

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April 21, 2021







914 St Ann

Vieux Carré Commission

April 21, 2021







# Sustainable Roofing



## Majestic Slate



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

## Majestic Slate

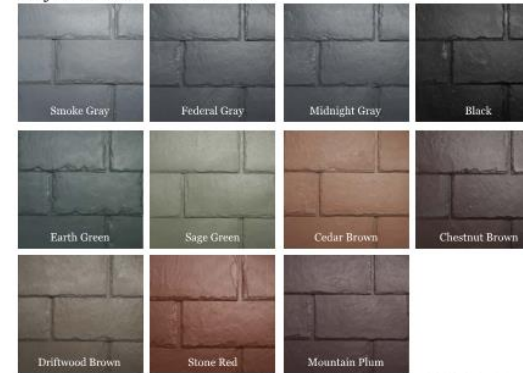


Historically, natural slate is one of the most appealing roofing choices, combining unmatched durability with aesthetic appeal. The cost of natural slate, as well as its weight and difficulty in finding a qualified slate installer, often makes its use prohibitive. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, combines classic appeal with modern technology to offer the lightweight and affordable alternative – Majestic Slate™.

Created with recycled rubber and plastics, Majestic Slate offers a sustainable, lighter and easy-to-install roofing product that provides the appearance of natural slate with lower application costs. Available in two widths and designer accents, this slate alternative offers endless possibilities for residential and commercial projects. The architectural detail of a project, whether historic or new construction, is further enhanced by a wide range of available color combinations using the palette of 11 standard color choices and array of custom options.

Curb appeal is everything when it comes to the look of your home, but protection from the elements must be a priority. Majestic Slate offers both.

### Majestic Slate Color Palette



Note: Sample pieces, photographs or color swatches may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, test tiles or shingles should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions. \*Significant property insurance discounts may be available when upgrading or building a roof to protect against hail, wind or fire damage in regions where severe weather is common. EcoStar tiles meet or exceed industry standards for Impact Resistance and Fire Resistance. Contact your insurance provider for details. © 2019 by EcoStar LLC. EcoStar and Majestic Slate are trademarks of EcoStar LLC. See www.ecostarllc.com for available warranties. P/N-002089 MAJESTIC SLATE CUT SHEET

### Advantages

- Weighs 1/3 to 1/2 as much as natural slate
- Easy application keeps installation costs down
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail!

### Architectural Flexibility

- Designer Series tiles can be blended together to add personal style to your home
- Staggered and offset installations accentuate roof texture and depth
- Available in 11 standard colors
- Enhance the historical look in both residential and commercial buildings

### Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and driving rain
- Significant life cycle savings

### Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 90 mph (145 kph) Wind Warranty (standard)

### Environmental Sustainability



- Manufactured with post-industrial recycled rubber and plastics

### Technical Information

- UL listed Class C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- Wind resistance to 110 mph (ASTM D3161)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Report to ICC AC07 (R18920-02)
- Texas Dept. of Insurance Evaluation (RC-135)
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



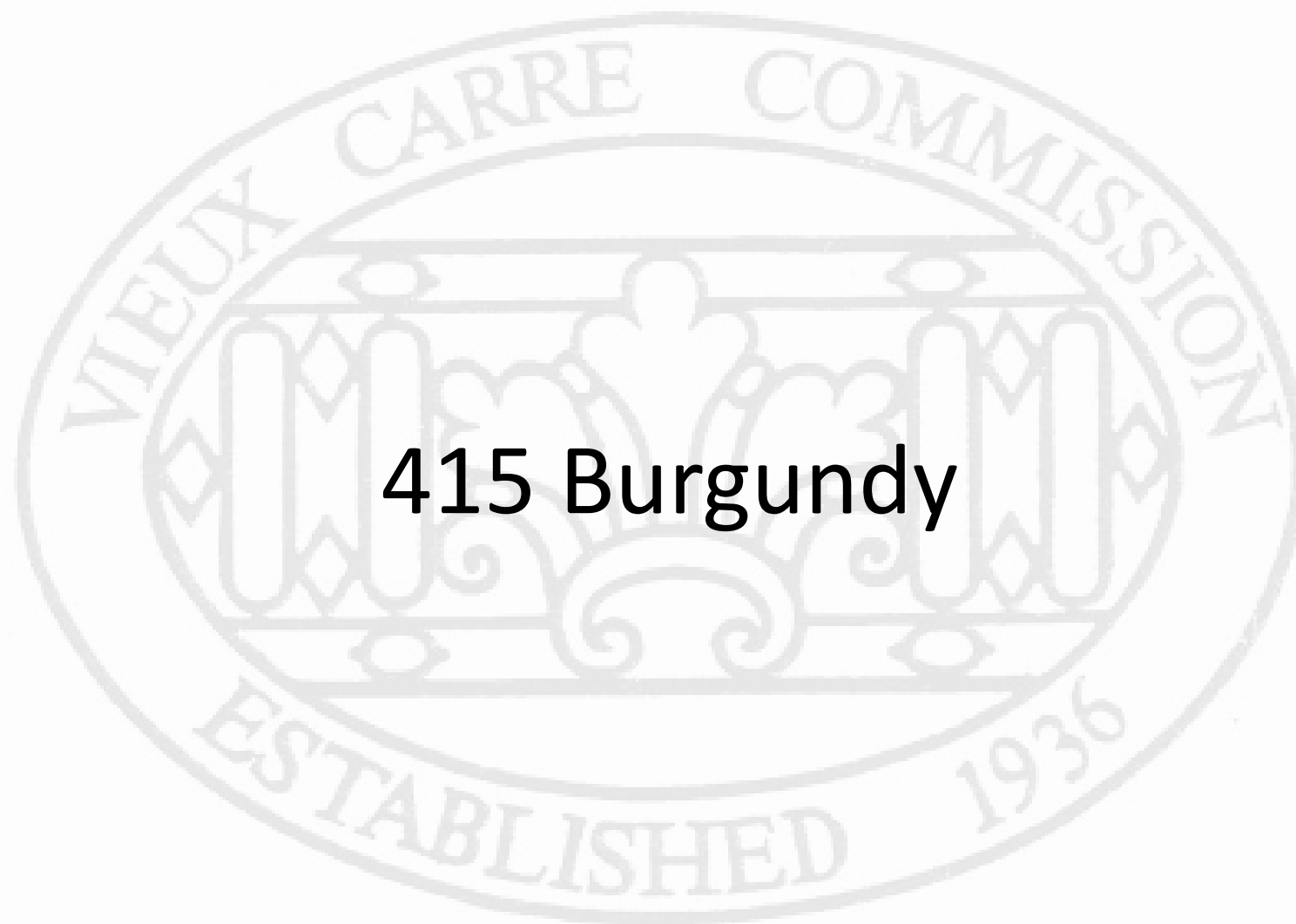
42 Edgewood Drive | Holland, NY 14080  
800.211.7170 | www.ecostarllc.com

914 St Ann

Vieux Carré Commission

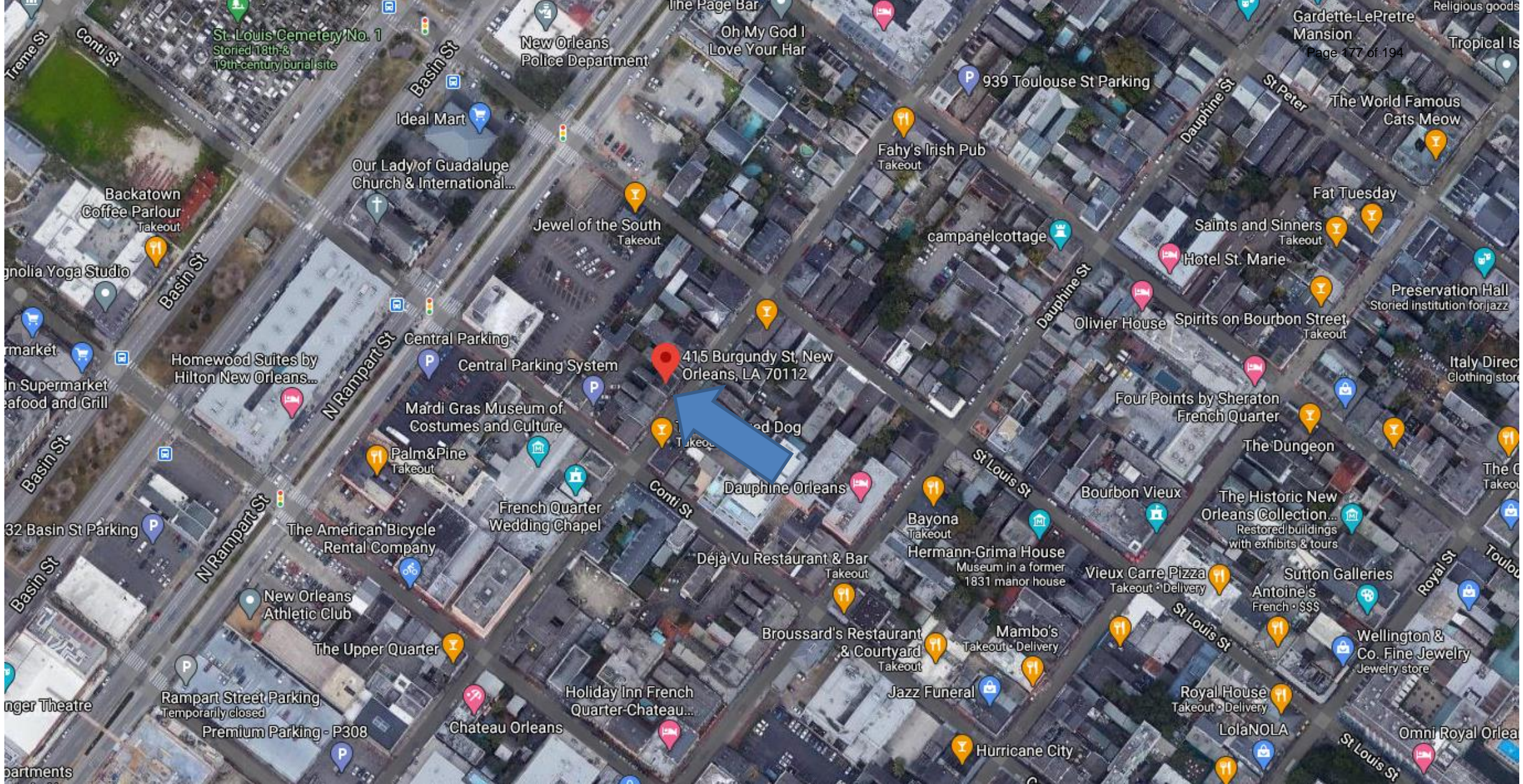
April 21, 2021





**415 Burgundy**





415 Burgundy

Veux Carré Commission

April 21, 2021











415 Burgundy

Vieux Carré Commission

April 21, 2021





415 Burgundy

Vieux Carré Commission

April 21, 2021







415 Burgundy – Wall Location

Vieux Carré Commission

April 21, 2021







415 Burgundy

Vieux Carré Commission

April 21, 2021







415 Burgundy

Vieux Carré Commission

09 09 2020

April 21, 2021







415 Burgundy

Vieux Carré Commission

09 09 2020

April 21, 2021







415 Burgundy

Vieux Carré Commission

09 09 2020

April 21, 2021







415 Burgundy

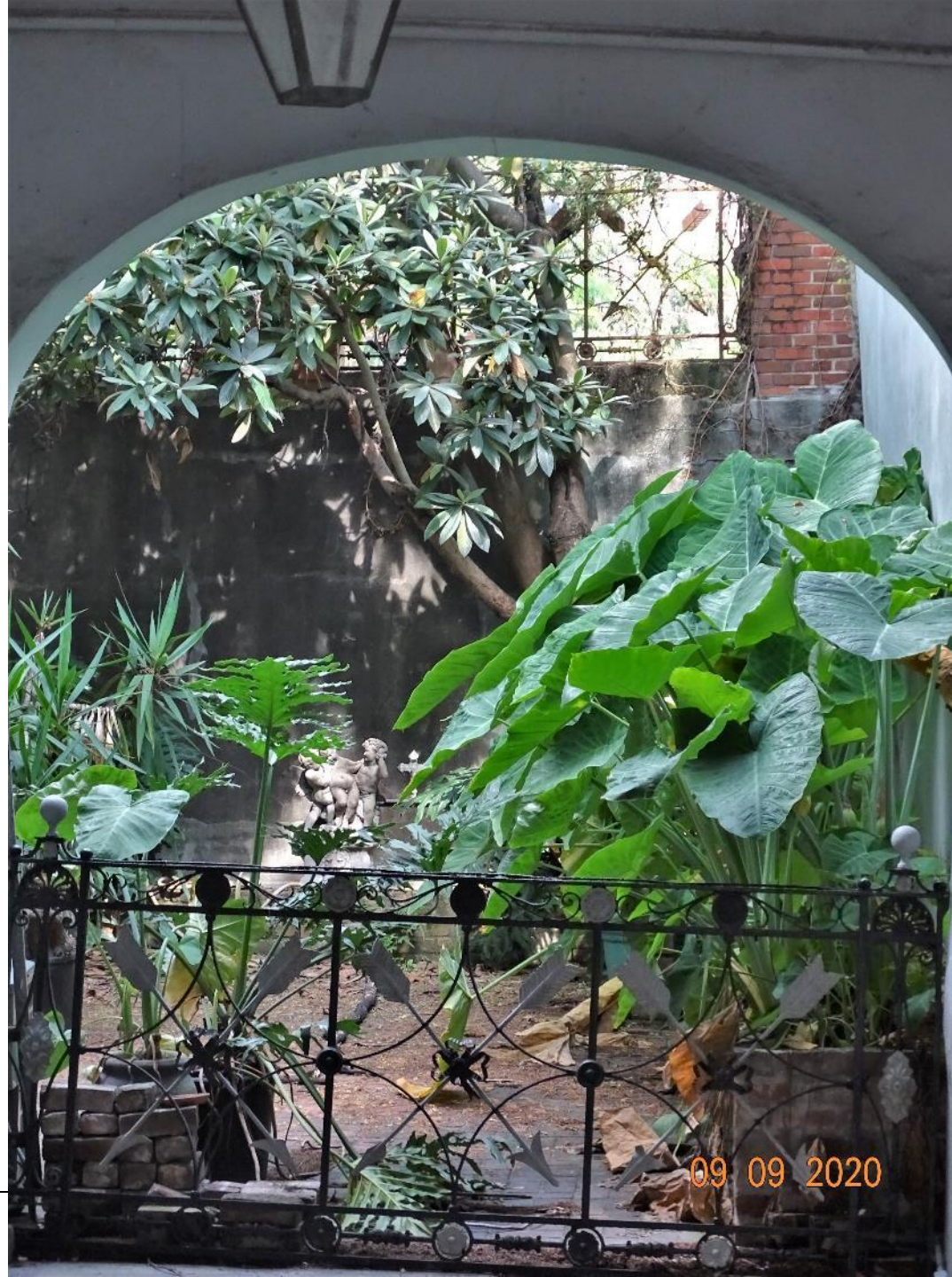
Vieux Carré Commission

09 09 2020

April 21, 2021







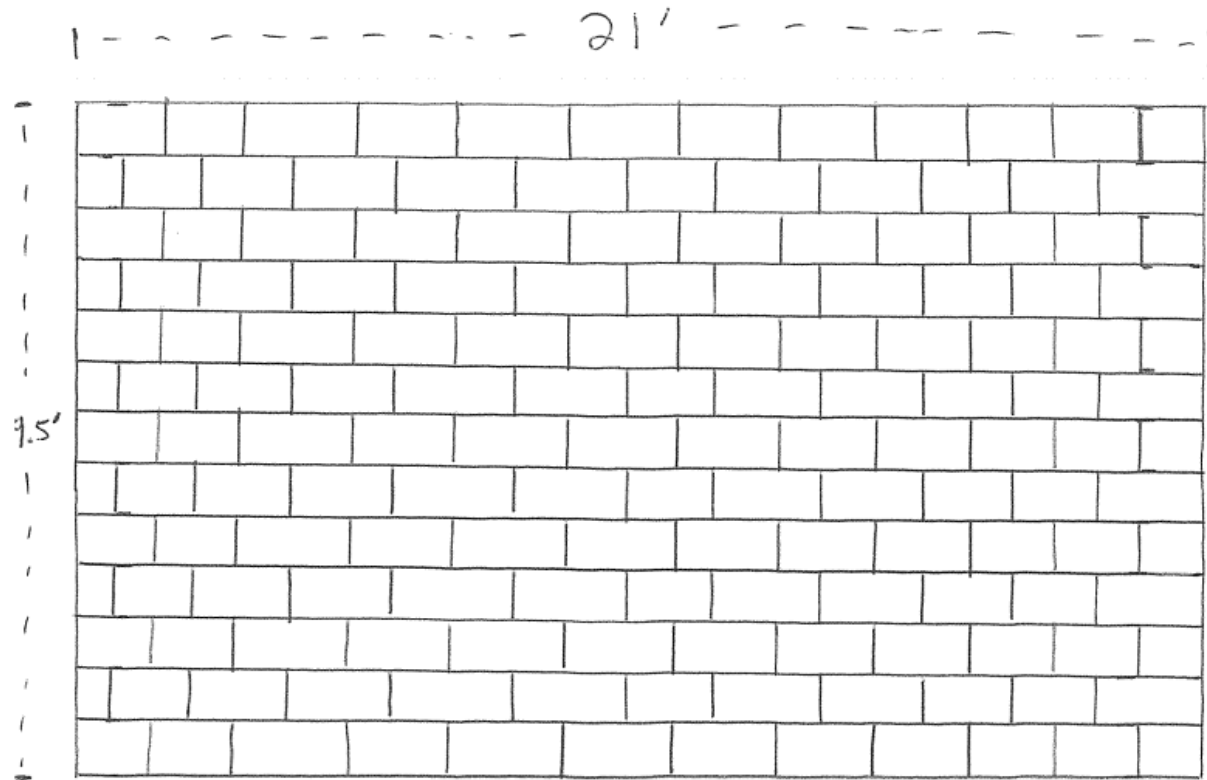
415 Burgundy

Vieux Carré Commission

April 21, 2021



# 415 Burgundy - Rear Wall







415 Burgundy

Vieux Carré Commission

April 21, 2021





415 Burgundy – 1963 Photograph

Vieux Carré Commission

April 21, 2021







415 Burgundy – 1963 Photograph (Detail)

Vieux Carré Commission

April 21, 2021





415 Burgundy – 1963 Photograph (Detail)

Vieux Carré Commission

April 21, 2021







415 Burgundy – 1987 Photograph

Vieux Carré Commission

April 21, 2021





415 Burgundy – 1987 Photograph (Details)

Vieux Carré Commission

April 21, 2021

