



Vieux Carré Commission Meeting

Wednesday, March 22, 2023



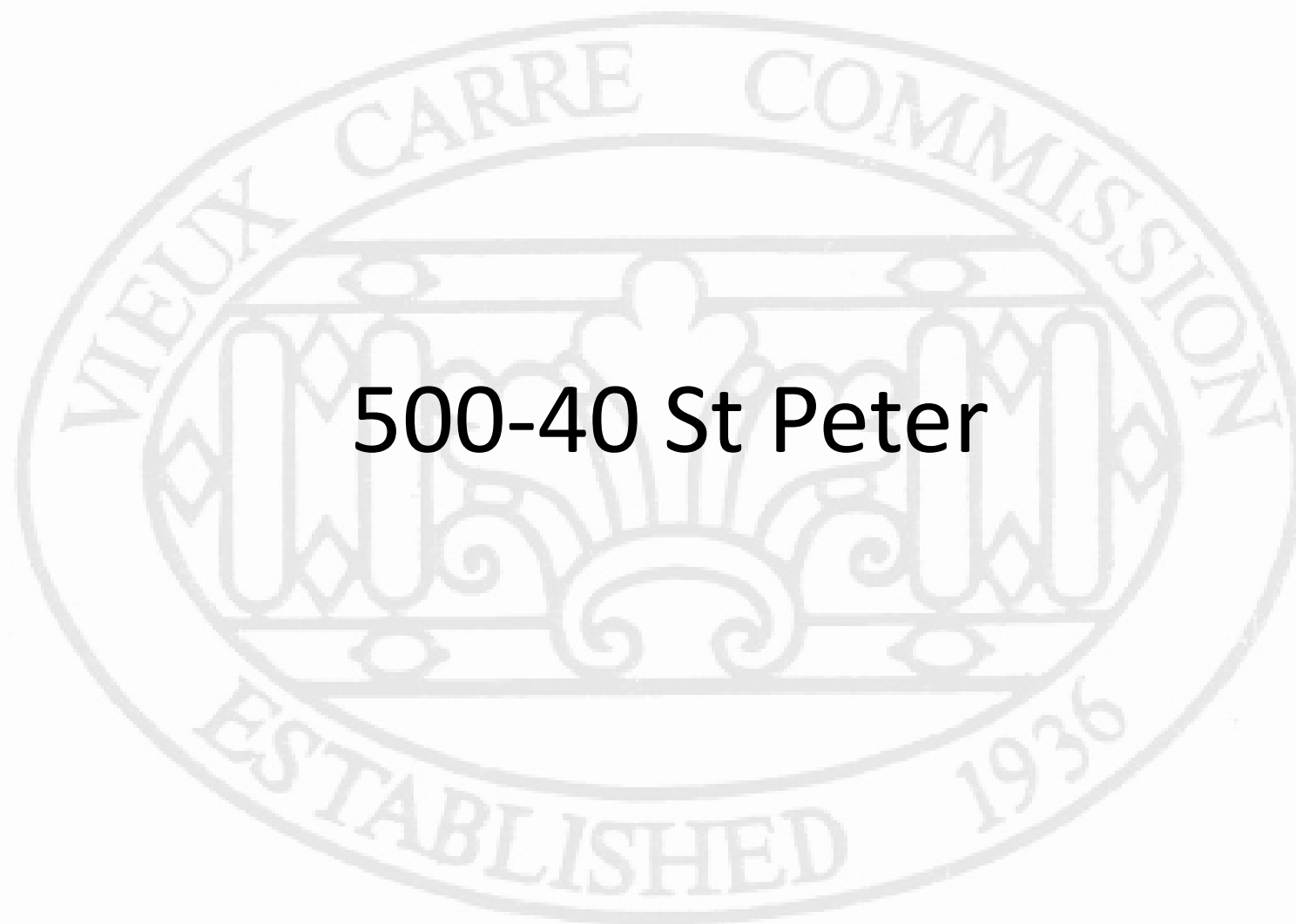
Chairperson's Report



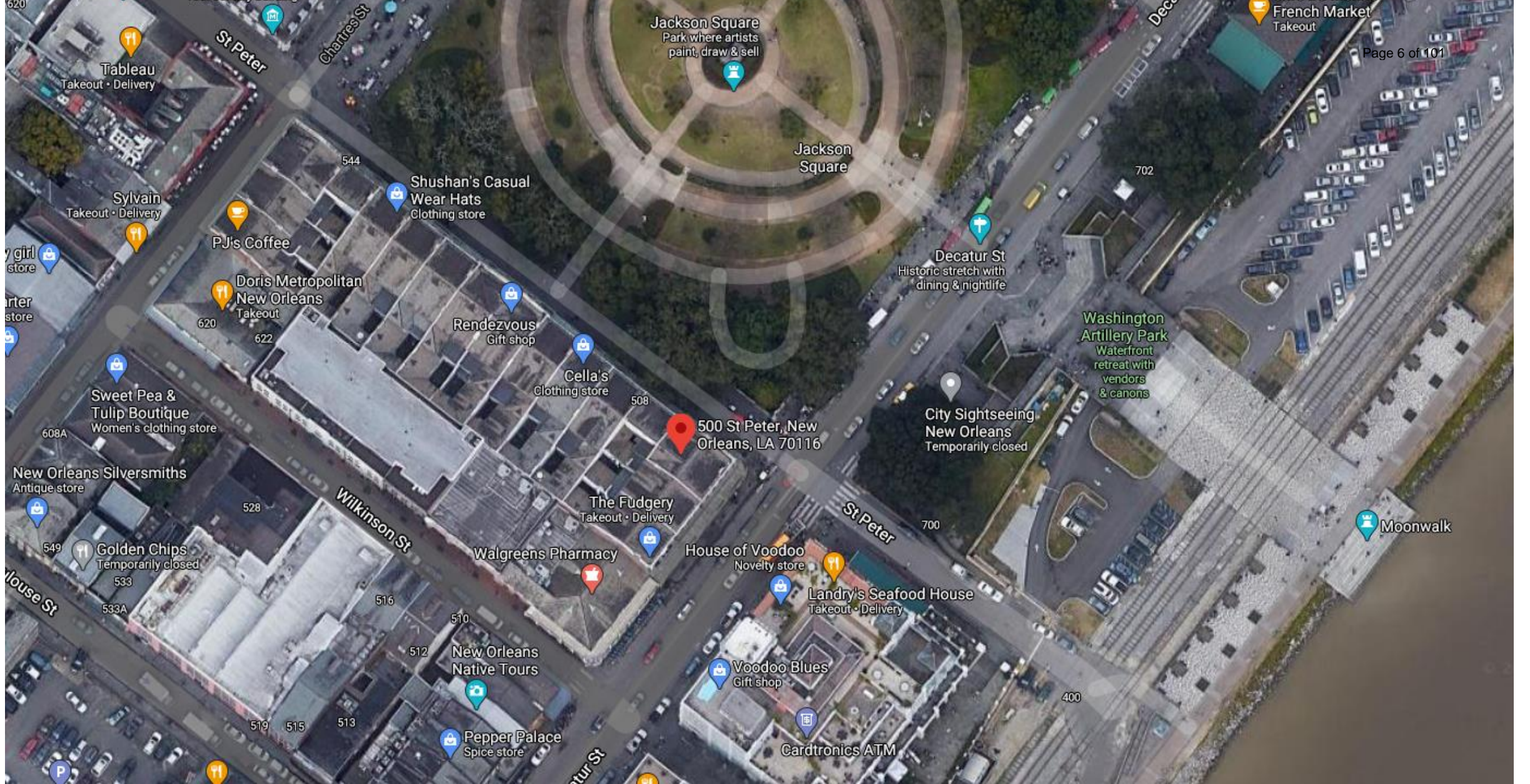
Director's Report



New Business



500-40 St Peter



500 St Peter

Vieux Carré Commission

March 22, 2023





500 St Peter

Vieux Carré Commission

March 22, 2023





500 St Peter

Vieux Carré Commission

March 22, 2023





500 St Peter

Vieux Carré Commission

March 22, 2023



MEMORANDUM

To:	Blake Kidder	Date:	1/24/2023
From:	Lorey Flick	Project Name:	FMC UPB
cc:		Project Number:	21026
Re:	UPB Stair Fan		

Current Condition:
Various portions of the stair halls show evidence of moisture damage. Previous attempts to remedy the situation appear to have made matters worse as the fans are intended to operate only based on temperature in the attic and not maintaining constant air movement in the stair.

Condition A:
The grille and fan are not connected. There is an opening in the ceiling allowing moisture through and condensation at the penetration. The fan was not operational at time of inspection and was set to run at a dry bulb temperature of 85 degrees in the attic, not humidity.



Figure 1: Fans located at grille but not connected

Condition B:

Another scenario involves the fan not near the grille and is simply exhausting the attic. The opening does not adequately exhaust the intended space, the stair. Attics, in general are dusty places. In this case, a significant amount of dust has settled on attic side of grille.

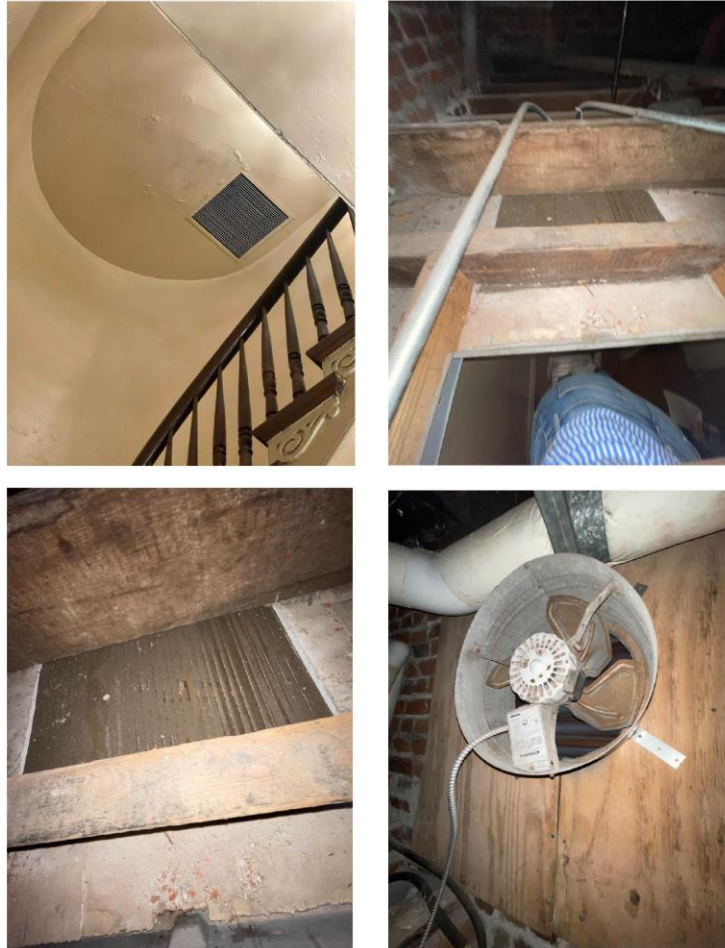


Figure 2: Fans located at attic vent not near grille

Proposed Solution:

It's imperative that the vented attic remain sealed and closed off from the spaces below. This can only be achieved if the exhaust grille is hard connected to the fan. Given the various existing impediments, we recommend the use of insulated plenums and flex duct to connect the two. This will have to be confirmed in each stair.

We recommend installing upblast or sidewall exhaust fans at each townhouse hard ducted to the grilles. Seal opening to avoid air leaks and re-insulate the space from the attic. The fans can run based on humidistat at the grille or in the stair.

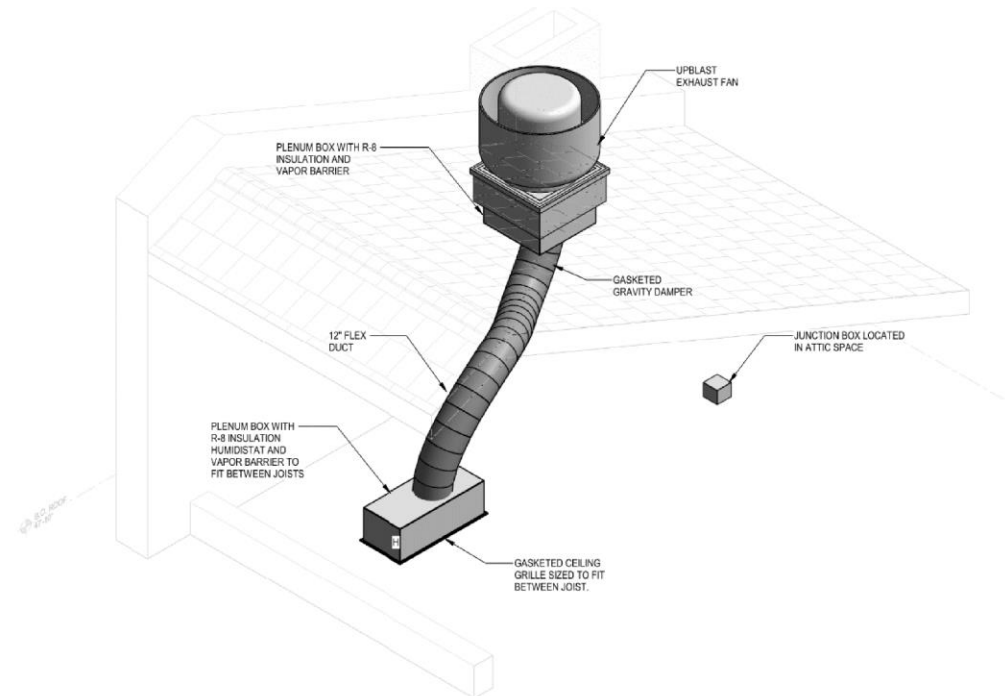


Figure 3: Upblast Exhaust Fan

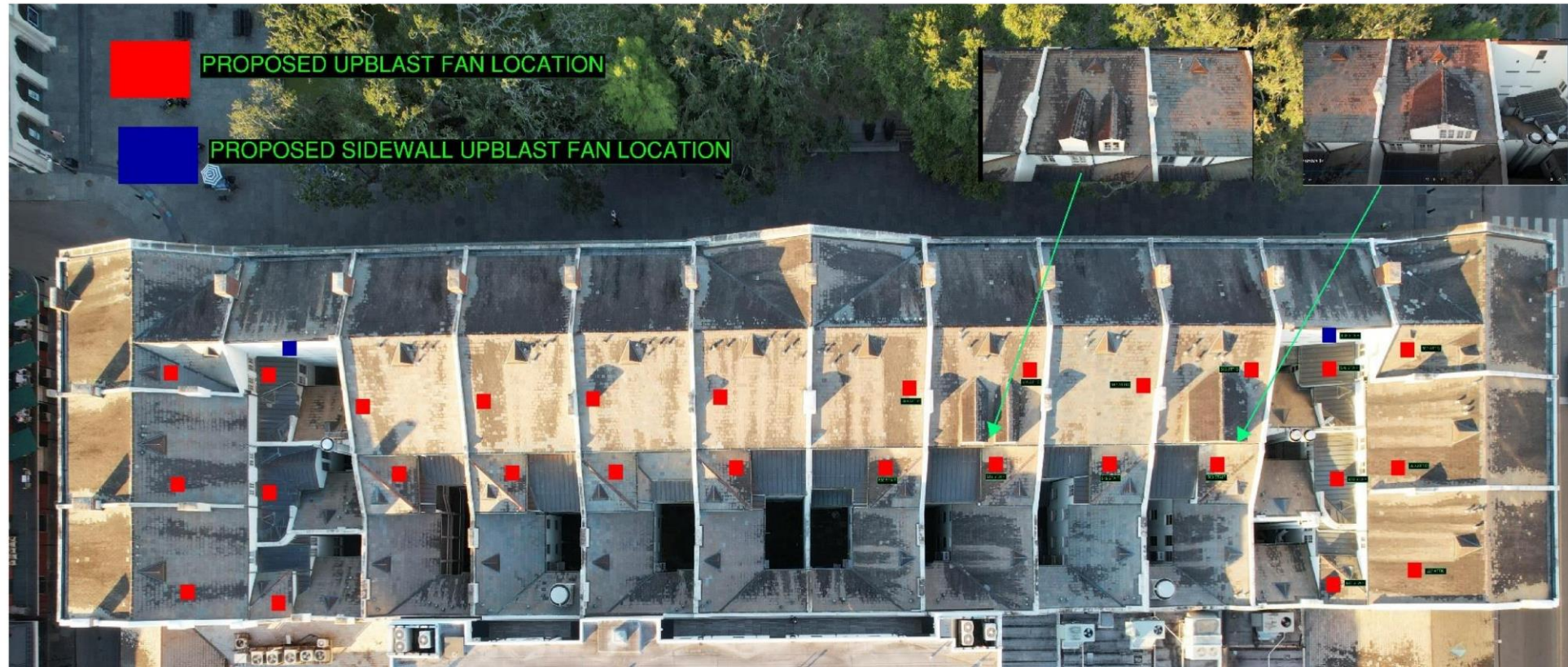
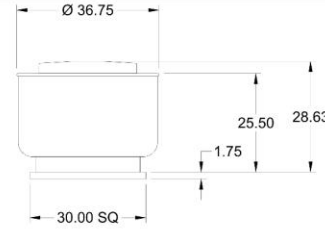


Figure 4: Proposed fan locations

Model: CUBE-200-VGD-5
Belt Drive Upblast Centrifugal Roof Exhaust Fan

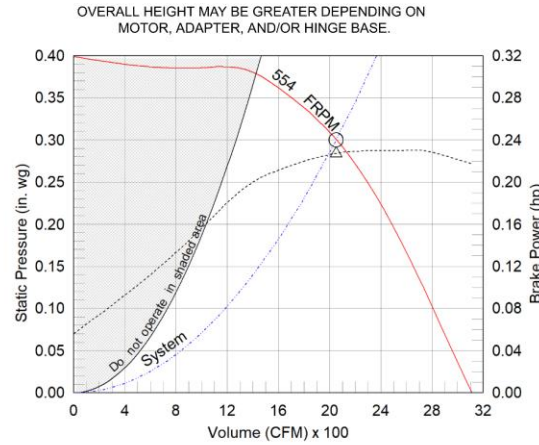
Dimensional	
Quantity	1
Weight w/o Acc's (lb)	101
Weight w/ Acc's (lb)	115
Max T Motor Frame Size	184
Standard Curb Cap Size (in.)	30 x 30
Roof Opening (in.)	26.5 x 26.5



Performance	
Requested Volume (CFM)	2,050
Actual Volume (CFM)	2,050
Total External SP (in. wg)	0.3
Fan RPM	554
Operating Power (hp)	0.23
Elevation (ft)	10
Airstream Temp.(F)	70
Air Density (lb/ft3)	0.075
Drive Loss (%)	13.1
Tip Speed (ft/min)	3,098
Static Eff. (%)	49
Misc Fan Data	
Fan Eff. Index (FEI)	-
Outlet Velocity (ft/min)	702

Motor	
Motor Mounted	Yes
Size (hp)	1/2
Voltage/Cycle/Phase	208/60/3
Enclosure	ODP
Motor RPM	1725
Efficiency Rating	NEMA Premium
Windings	1
NEC FLA* (Amps)	2.4
Min. Circuit Ampacity (MCA)	3.09
Max. Overcurrent Protection (MOP)	15
Short Circuit Current Rtg (SCCR)	50 KAIC

Sound Power by Octave Band											
Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	68	70	64	58	53	51	46	38	61	50	5.5



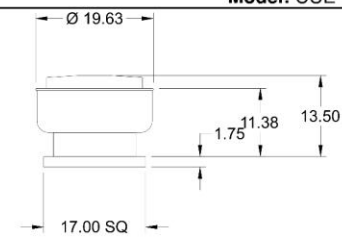
△ Operating Bhp point
○ Operating point at Total External SP
— Fan curve
- - - System curve
- - - Brake horsepower curve

Notes:
All dimensions shown are in units of in.
*NEC FLA, MCA and MOP are for reference only – based on tables 430.248 or 430.25 of National Electric Code 2020. Actual motor FLA may vary, for sizing thermal overload, consult factory.
MCA and MOP values shown only account for the motor, not accessories (damper actuator, field supplied VFD, etc).
LwA - A weighted sound power level, based on ANSI S1.4 dBA - A weighted sound pressure level, based on 11.5 dB attenuation per Octave band at 5 ft. - dBA levels are not licensed by AMCA International
Sones - calculated using ANSI/AMCA 301 at 5 ft.
Sound value does not include carrier frequencies associated with motor controller.
The motor provided on this fan is inverter ready and meets NEMA MG1 Part 31.4.4.2



Model: CUE-070-VG
Direct Drive Upblast Centrifugal Roof Exhaust Fan

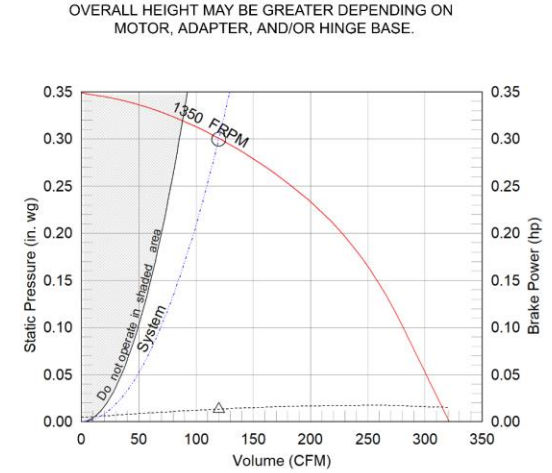
Dimensional	
Quantity	1
Weight w/o Acc's (lb)	22
Weight w/ Acc's (lb)	24
Standard Curb Cap Size (in.)	17 x 17
Roof Opening (in.)	13.5 x 13.5



Performance	
Requested Volume (CFM)	120
Actual Volume (CFM)	120
Total External SP (in. wg)	0.3
Fan RPM	1350
Operating Power (hp)	0.01
Elevation (ft)	10
Airstream Temp.(F)	70
Air Density (lb/ft3)	0.075
Tip Speed (ft/min)	2,872
Static Eff. (%)	42
Misc Fan Data	
Fan Eff. Index (FEI)	-
Outlet Velocity (ft/min)	308

Motor	
Motor Mounted	Yes
Size (hp)	1/15
Voltage/Cycle/Phase	230/60/1
Enclosure	TENV
Motor RPM	1725
Efficiency Rating	High
Windings	1
FLA (Amps)	0.65
Min. Circuit Ampacity (MCA)	1
Max. Overcurrent Protection (MOP)	15
Short Circuit Current Rtg (SCCR)	5 kA

Sound Power by Octave Band											
Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	63	63	57	42	34	32	31	28	52	40	2.5



△ Operating Bhp point
○ Operating point at Total External SP
— Fan curve
- - - System curve
- - - Brake horsepower curve




Notes:
All dimensions shown are in units of in.
*NEC FLA, MCA and MOP are for reference only – based on tables 430.248 or 430.25 of National Electric Code 2020. Actual motor FLA may vary, for sizing thermal overload, consult factory.
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Sones - calculated using ANSI/AMCA 301 at 5 ft





EXISTING MOISTURE DAMAGE WITHIN STAIR CORRIDORS

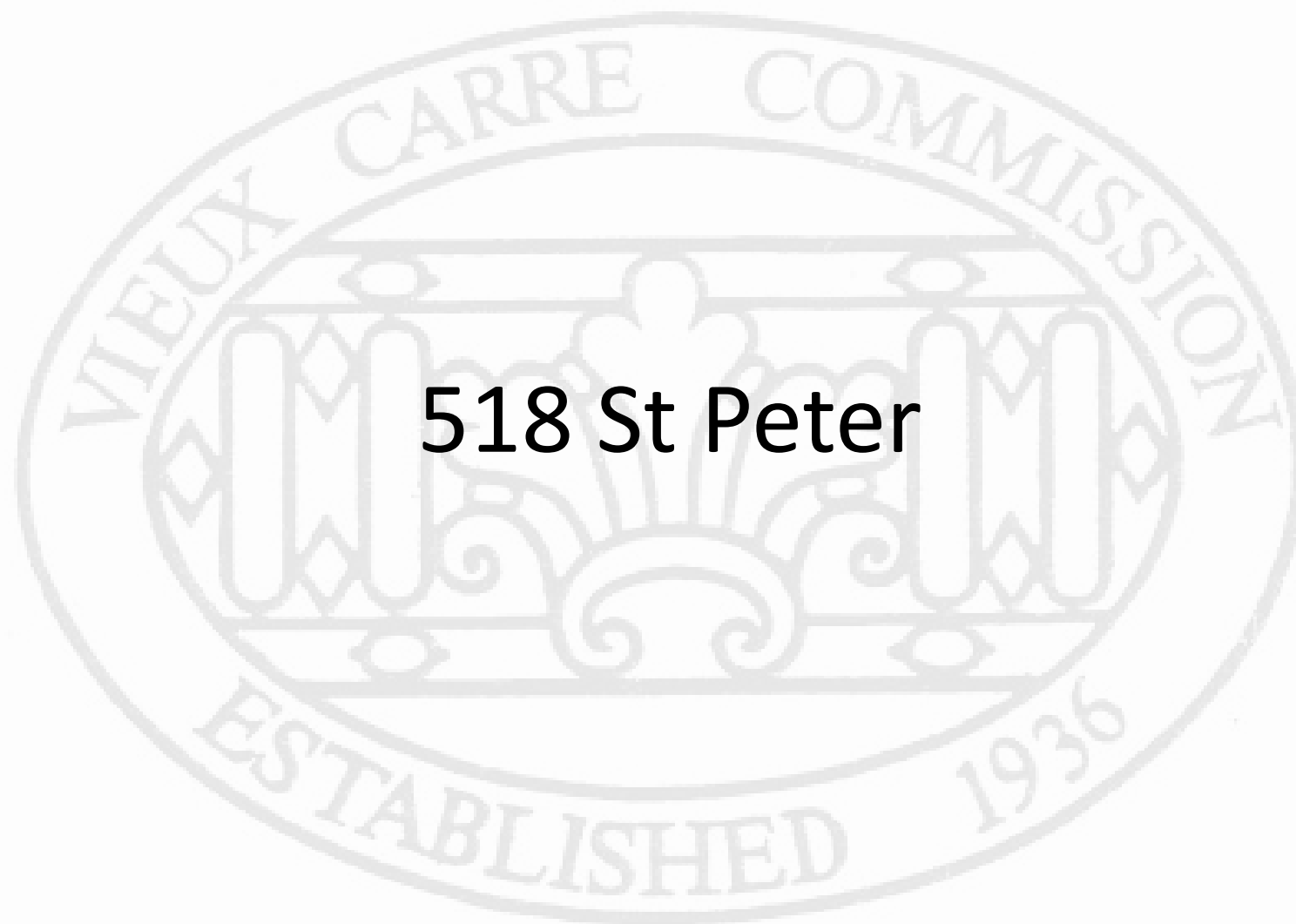
MECHANICAL LEGEND

-  LARGE EXHAUST FAN AT MAIN STAIRWAYS
-  SMALL EXHAUST FAN AT LEVEL 4 SPACES
-  SMALL EXHAUST FAN AT LEVEL 4 SPACES (WALL MOUNTED)



1 OVERALL ROOF PLAN - EXHAUST LOCATIONS
CC1.00 SCALE: 1/16" = 1'-0"





518 St Peter



518 St Peter

Vieux Carré Commission

March 22, 2023





518 St Peter

Vieux Carré Commission

March 22, 2023





500 St Peter

Vieux Carré Commission

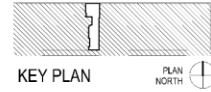
March 22, 2023



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PLAN LEGEND

-  NOT IN SCOPE
-  EXTERIOR COURTYARD - OPEN TO AIR ABOVE



GENERAL CONSTRUCTION NOTES

1. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN INTERESTS ADJACENT TO OPEN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. PROTECTION GENERALLY INCLUDES THE LEAST SOURCE OF INTERFERENCE AND IS PREPARATORY TO OTHER WORK. PROTECTION INCLUDES THE MAINTENANCE OF MATERIALS AND FEATURES IN THE CONSTRUCTION SCOPE, AS WELL AS ENSURING THAT THE PROPERTY IS PROTECTED BEFORE AND DURING CONSTRUCTION. AN OVERALL EVALUATION OF THE PHYSICAL CONDITION OF THE QUALIFYING HISTORIC FEATURES FROM THE CONSTRUCTION SCOPE SHOULD BE CONDUCTED TO THE START OF WORK.

TRAPOLINPEER ARCHITECTS

PERMIT

**FMC UPB TENANT 518
UPGRADES
RENOVATION**
518 ST. PETER STREET
NEW ORLEANS, LA 70116

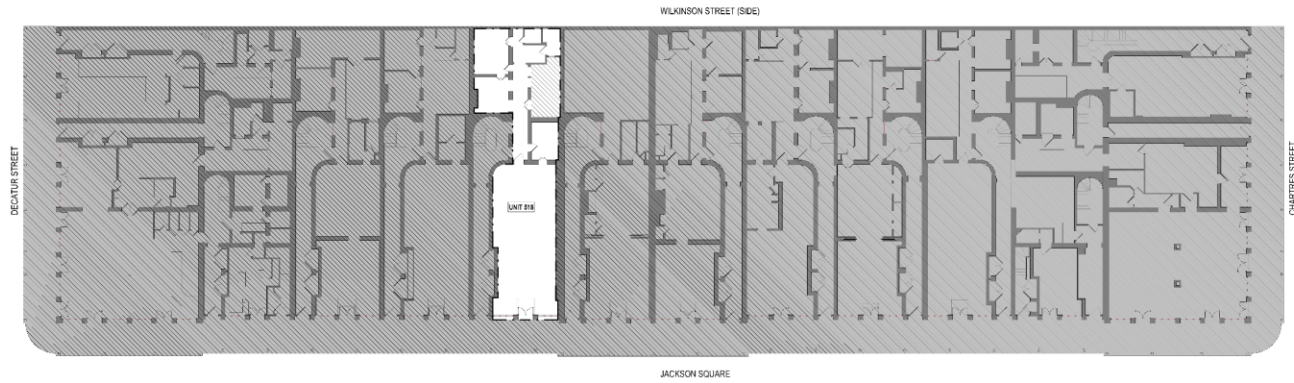
OWNER:
FRENCH MARKET CORPORATION
518 ST. PETERS STREET
NEW ORLEANS, LA 70116
(504) 636-6400

ARCHITECT:
TRAPOLIN PEER
850 TCHOUPTOUILLAS ST.
NEW ORLEANS, LA 70130
(504) 533-3722
www.trapolinpeer.com

CONTRACTOR:
Company Name
Street Address
City, State
Phone Number

NOT FOR CONSTRUCTION

REVISION # DESCRIPTION DATE



1 OVERALL PLAN - FIRST FLOOR 518
SCALE: 1/8" = 1'-0"

DESIGNED BY: TRAPOLIN PEER ARCHITECTS, P.A.C.
PROJECT No.: 000
CH22187-2
ISSUE DATE:
03/17/2023

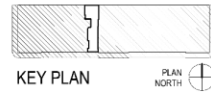
OVERALL PLAN

G0.18



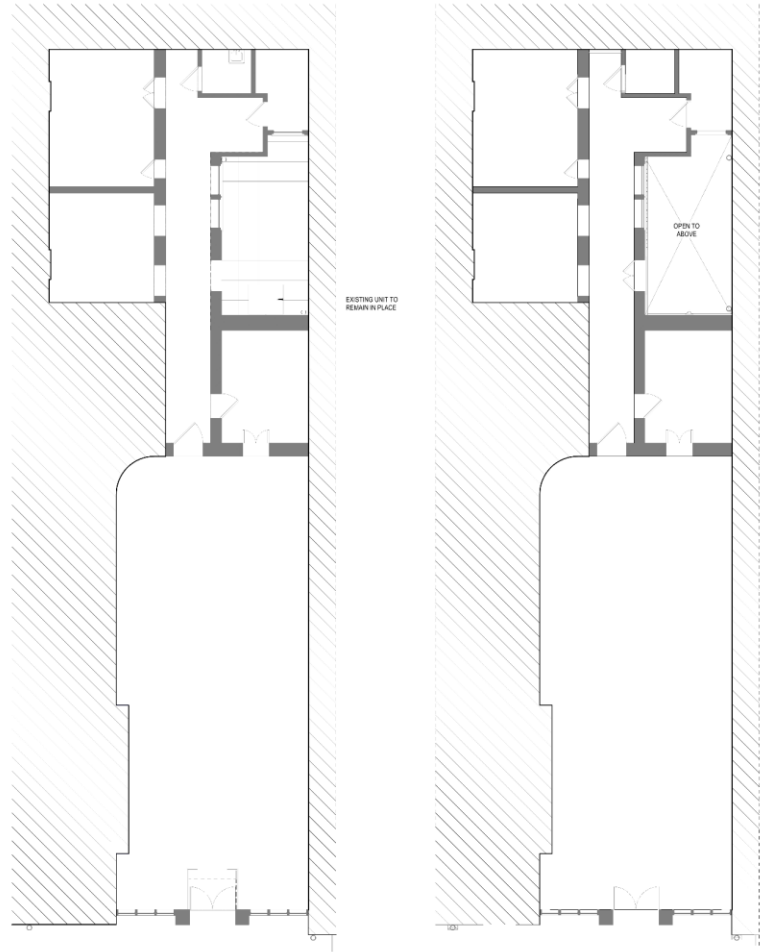
PHASE LEGEND

-  EXISTING CONSTRUCTION
-  DEMOLISHED CONSTRUCTION
-  AREA TO BE REMOVED



GENERAL NOTES - EXG / DEMO

1. CONTACT ARCHITECT AND MEP ENGINEER TO MEET ON SITE PRIOR TO STARTING DEMOLITION FOR AN ON SITE MEETING.
 2. REFER TO MEP PLANS FOR SPECIFIC MEP DEMOLITION INSTRUCTIONS.
 3. SEAL OFF ALL PENETRATIONS PRIOR TO START OF WORK INCLUDING BUT NOT LIMITED TO EXISTING MECH AND SUPPLY AIR VENTS.
 4. REMOVE ALL ELECTRICAL EQUIPMENT, LIGHTING AND ASSOCIATED CONDUIT.
 5. REMOVE ALL PLUMBING EQUIPMENT AND ASSOCIATED PIPING.
 6. CONTRACTOR SHALL PERFORM EXPLOSIVE DEMOLITION AT CEILING AND WALLS PER ARCHITECT AND MEP REQUIREMENTS TO DETERMINE CONCEALED CONDITIONS AND TO VERIFY SYSTEM ASSEMBLIES.
 7. DEMOLISH PORTIONS OF THE EXISTING SLAB AS REQUIRED TO INSTALL UNDER PLUMBING AND ELECTRICAL EQUIPMENT INCLUDING ALL ASSOCIATED CONDUIT.
- INTERIOR PARTITIONS**
1. THE PLAN INDICATES EXISTING GYPSUM BOARD INCLUDING ALL PARTITIONS, BASEBOARDS, MIRROR, GLASS, HALL COVERING, ETC. THAT MAY BE PART OF OR APPLIED TO EXISTING PARTITION FACE THAT ARE TO BE REMOVED UNLESS SPECIFICALLY IDENTIFIED TO REMAIN ON THE DRAWING. CONTRACTOR TO REMOVE PARTITIONS FULL HEIGHT.
 2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND SHALL BE INCLUDED IN THE PRICE. THE DEMOLITION OF ALL INTERIOR PARTITIONS AND FINISHES AS REQUIRED IN ORDER TO SUCCESSFULLY EXECUTE THE NETWORK.



1 EXG / DEMO FLOOR PLAN - UNIT 518
ADD 18 SCALE: 3/16" = 1'-0"

2 EXG / DEMO RCP - UNIT 518
ADD 18 SCALE: 3/16" = 1'-0"

**FMC UPB TENANT 518
UPGRADES
RENOVATION**
518 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER
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CONTRACTOR
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City, State
Phone Number

NOT FOR CONSTRUCTION

REVISION # DESCRIPTION DATE

© 2023 TRAPOLINPEER ARCHITECTS, APC
PROJECT NUMBER
CN21187-2
BUILD DATE
03/17/2023

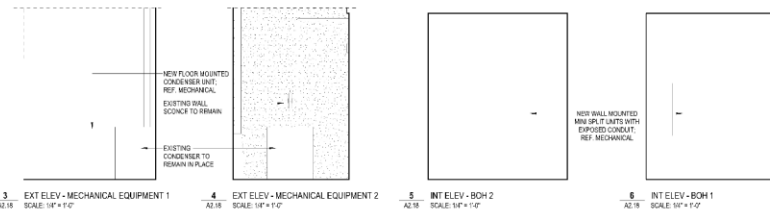
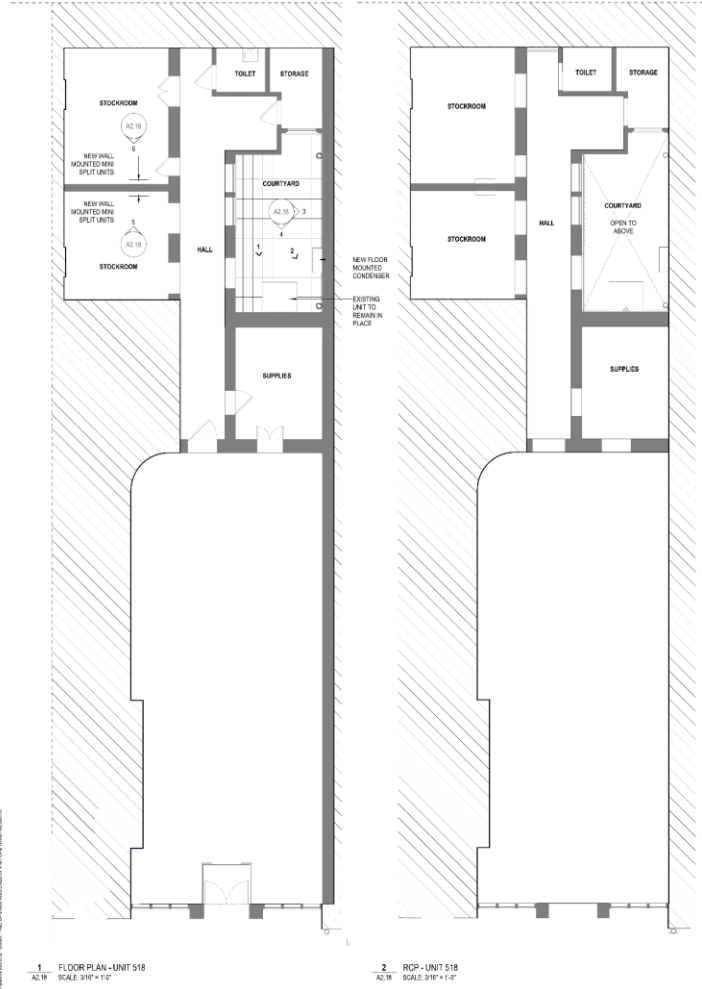
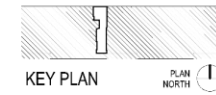
EXISTING / DEMO PLANS

AD2.18



GENERAL NOTES - PLAN / RCP

1. ALL PART OR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. "ALIGH" SHALL MEAN TO SQUARE UP TO LOCATE FINISH FACES BY THE SHIR PLUMB.
2. ALL WALL PARTS ARE TO BE LOCATED IF FROM NEAREST DOOR CASING AND 4" AFF. UNLESS OTHERWISE NOTED.
3. FLOOR PLANS INCLUDE PARTITION DESIGNATION AND DIMENSIONS. DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD OR TO CENTERLINE OF COLUMNS. OTHER DIMENSIONS ARE TO FACE OF WALL.
4. CONTRACTOR IS RESPONSIBLE FOR FILLING WITH CONCRETE NUMEROUS WALL, PIPE AND ELECTRICAL PENETRATIONS THAT OCCUR AT FIRST FLOOR NOT INDICATED ON THE PLAN.
5. EXTEND ALL METAL STUDS TIGHT TO INTERSECT OF HORIZONTAL CONSTRUCTION ABOVE. UNLESS OTHERWISE NOTED. COORDINATE WITH MECHANICAL AND ELECTRICAL TRACES FOR INSTALLATION OF SLEEVES, CONDUIT, DAMPERS AND OTHER BUILT IN ITEMS WHERE PARTY WALLS JOIN TO OTHER PARTS MATERIALS OR FINISHES USE U.I. APPROVED RATED JOINT FILLER.
6. CEILING HEIGHTS NOTED ON THE DRAWINGS FOR ROOMS OR AREAS IS THE HEIGHT FROM FINISHED FLOOR SURFACE TO FINISHED CEILING HEIGHTS; OR WHERE NO FINISHED CEILING IS CALLED FOR, THE CEILING HEIGHTS NOTED IS THE MINIMUM REQUIRED HEADROOM CLEARANCE FROM FINISHED FLOOR TO UNDERSIDE LOW POINTS OR PIPES, DUCTS, CONDUIT, LIGHT FIXTURES AND SIMILAR DEVICES OR SUSPENDED ITEMS OR EQUIPMENT.
7. ALL REFERENCE TAGS NOT SHOWING A REFERENCE MARK INDICATE AREA OF PENDING INFORMATION OR WANTING ADDITIONAL INFORMATION BEFORE COMPLETION.
8. CABINET LOCATIONS INDICATED ON FLOOR PLANS AS "TIE CABINET". PROVIDE ADDITIONAL BLOCKING AND REINFORCING TO ACCOMMODATE ALL MOUNTED MILLWORK, CABINETS, FURNITURE, FIXTURES OR CASEWORK ITEMS SHOWN.
9. ALL AREAS NOTED "AREA NOT IN SCOPE" IS EXISTING AND NOT PART OF THE SCOPE OF WORK.



**FMC UPB TENANT 518
UPGRADES
RENOVATION**

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Street Address
City, State
Phone Number

**NOT FOR
CONSTRUCTION**

REVISIONS: DESCRIPTION | DATE

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PROJECT: LAB18
CNZZ1817-2
ISSUE: 2478
03/17/2023

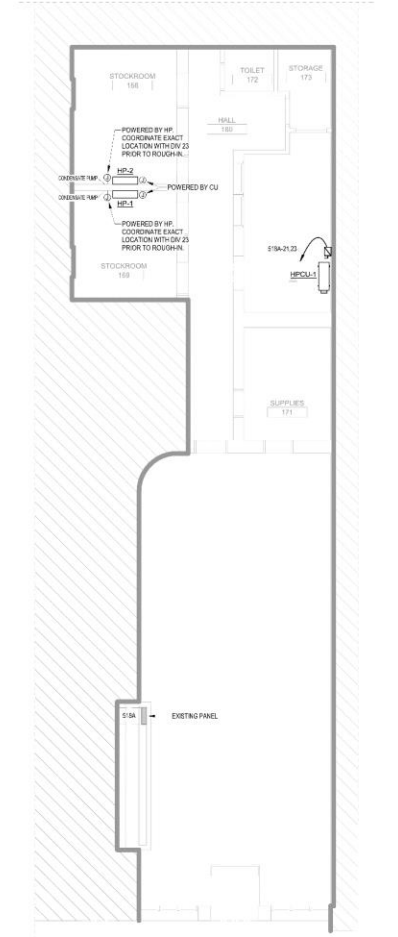
**FLOOR PLANS /
REFLECTED
CEILING PLANS**

A2.18



UNIT 518 ELECTRICAL-MECHANICAL EQUIPMENT CONNECTION SCHEDULE												
GENERAL NOTES:												
1. PROVIDE FUSES SHALL FUSED DISCONNECT SWITCHES SIZED PER MANUFACTURER.												
2. MAKE ALL FINAL CONNECTIONS TO MECHANICAL EQUIPMENT PER MANUFACTURER.												
3. PROVIDE 120 VOLT CONTROL POWER TO TRANSFORMERS AS REQUIRED. COORDINATE LOCATIONS WITH DIVISION 23.												
4. COORDINATE EXACT LOCATIONS OF ALL ELECTRICAL EQUIPMENT WITH OTHER TRADES PRIOR TO ROUGH-IN AND MAINTAIN MIN CLEARANCES AT ALL TIMES. NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO ROUGH-IN.												
5. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH LOAD NAME, PANEL, AND CIRCUIT NUMBER, AND SHALL BE INDEPENDENTLY SUPPORTED FROM THE EQUIPMENT BEING SERVED.												
LOAD NAME	PANEL	CIRCUIT NUMBER	VOLTAGE	PHASE	LOAD	FLA (AMPS)	CONDUIT WIRE SIZE (AWG)	SWITCH SIZE	NO. OF POLES	ENCLOSURE TYPE	FURNISHED BY (DIVISION)	COMMENTS
CONDENSATE PUMP			208 V	1	18 VA	0.15	3/4" EMT CONDUIT WITH 2#12 AND #12 GROUND	N/A	2	N/A	N/A	POWERED BY HP. SEE MECHANICAL SCHEDULE.
CONDENSATE PUMP			208 V	1	16 VA	0.15	3/4" EMT CONDUIT WITH 2#12 AND #12 GROUND	N/A	2	N/A	N/A	POWERED BY HP. SEE MECHANICAL SCHEDULE.
HP-1			208 V	1	21 VA	0.11	3/4" EMT CONDUIT WITH 2#12 AND #12 GROUND	N/A	2	N/A	N/A	POWERED BY CU. SEE MECHANICAL SCHEDULE.
HP-2			208 V	1	21 VA	0.11	3/4" EMT CONDUIT WITH 2#12 AND #12 GROUND	N/A	2	N/A	N/A	POWERED BY CU. SEE MECHANICAL SCHEDULE.
HPCL1	518A	21-23	208 V	1	3644 VA	17.5	3/4" EMT CONDUIT WITH 2#10 AND #12 GROUND	30 A	2	NEMA 3R	26	PROVIDE NEW CIRCUIT BREAKER IN EXISTING PANEL.

POWER GENERAL NOTES
1. SEE ARCHITECTURAL PLANS FOR EXPOSED RECEPTACLE LOCATIONS. ROUTE EXPOSED CONDUIT (EMT) IN ALL FINISHED SPACES WHERE CONDUITS ARE NOT CONCEALED BEHIND WALLS OR CEILING.
2. PROVIDE GFCI PROTECTION FOR RECEPTACLES IN ALL KITCHEN, BATHROOM, LAUNDRY, AND OUTDOOR SPACES.
3. REFER TO MECHANICAL ELECTRICAL EQUIPMENT SCHEDULE FOR POWER REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT.
4. PROVIDE #10ISE HEAVY DUTY WEATHERPROOF COVER FOR ALL DEVICES DESIGNATED WITH A WP. TAYMAC CAT#MCK200 AND MCK501.
5. EXTEND EXISTING CIRCUITRY FOR EQUIPMENT TO REMAIN IN SPACE TO NEW PANEL LOCATION.
6. PROVIDE HOUSEKEEPING PADS FOR ALL FLOOR MOUNTED AND GROUND MOUNTED ELECTRICAL EQUIPMENT. MINIMUM REQUIREMENTS: 4" HIGH, 4% AIR ENTRAINED, POLYESTER REINFORCED CONCRETE, 4" WIDE AND 4" LONGER THAN EQUIPMENT TO BE PLACED ON IT. REFER TO ELECTRICAL DETAIL DRAWINGS FOR TRANSFORMER, GENERATOR, OR SWITCHGEAR PADS THAT MAY EXCEED THESE REQUIREMENTS.
7. CIRCUIT NUMBERS AT DEVICES CORRESPOND TO PANELBOARD BREAKERS (SEE PANELBOARD SCHEDULE). BRANCH CIRCUITS SHALL BE SIZED ACCORDING TO THE CIRCUIT BREAKER RATING, UNLESS INDICATED OTHERWISE ON THE ELECTRICAL EQUIPMENT SCHEDULE.



Branch Panel: 518A

Location: Vols: 200Y/23
Supply From: Phases: 3
Mounting: SURFACE Wires: 4
Enclosure: NEMA 1

A.L.C. Rating: MATCH EXISTING
Main Rating: 100.0 A
Available Short Circuit Current:

General Note:
1. EXISTING PANELBOARD. PROVIDE CIRCUIT BREAKERS AS SHOWN FOR NEW CIRCUITS.
2. PROVIDE LOAD MEASUREMENTS AND SUBMIT TO ENGINEER. SEE SPECIFICATIONS FOR DETAILS.

CKT	Circuit Description	No 14	Tip	Ph 14	A	B	C	Ph 14	Tip	No 14	Circuit Description	CKT
1	EXISTING CIRCUIT	20A	1		0.0 kVA	0.0 kVA				20A	EXISTING CIRCUIT	2
3	EXISTING CIRCUIT	20A	1		0.0 kVA	0.0 kVA	0.0 kVA			20A	EXISTING CIRCUIT	4
5	EXISTING CIRCUIT	20A	1		0.0 kVA	0.0 kVA				20A	EXISTING CIRCUIT	6
7	EXISTING CIRCUIT	20A	1		0.0 kVA	0.0 kVA				15A	EXISTING CIRCUIT	8
9	EXISTING CIRCUIT	20A	2		0.0 kVA	0.0 kVA	0.0 kVA			15A	EXISTING CIRCUIT	10
11	EXISTING CIRCUIT	20A	2		0.0 kVA	0.0 kVA	0.0 kVA			15A	EXISTING CIRCUIT	12
13	EXISTING CIRCUIT	60A	2		0.0 kVA	0.0 kVA	0.0 kVA			15A	EXISTING CIRCUIT	14
15	EXISTING CIRCUIT	60A	2		0.0 kVA	0.0 kVA	0.0 kVA			20A	EXISTING CIRCUIT	16
17	EXISTING CIRCUIT	60A	2		0.0 kVA	0.0 kVA	0.0 kVA			15A	EXISTING CIRCUIT	18
19												20
21	HPCL1	30A	2		1.8 kVA	0.0 kVA				15A	EXISTING CIRCUIT	22
23						1.8 kVA						24
25												26
27												28
29												30
Total Load					0.0 kVA	1.8 kVA	1.8 kVA					
Total Amps:					0.0 A	17.5 A	17.5 A					

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
MECH	3644 VA	125.00%	4555 VA	Total Conn. Load: 3.6 kVA
				Total Est. Demand: 4.56 kVA
				Total Conn. Current: 15.1 A
				Total Est. Demand Current: 12.6 A

Notes:

1 POWER - FLOOR PLAN - UNIT 518
DATE: 3/16" = 1'-0"

FMC UPB TENANT UPGRADES RENOVATION 500 ST. PETER STREET NEW ORLEANS, LA 70116

OWNER:
FRENCH MARKET CORPORATION
518 ST. PETERS STREET
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ARCH/ENG:
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850 TCHOUPIVILLE ST.
NEW ORLEANS, LA 70130
(504) 533-3772
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CONTRACTOR:



REVISION # | DESCRIPTION | DATE

PROJECT AL: 601
CIN22187-1
ISSUE DATE:
03/17/2023

POWER FLOOR PLAN

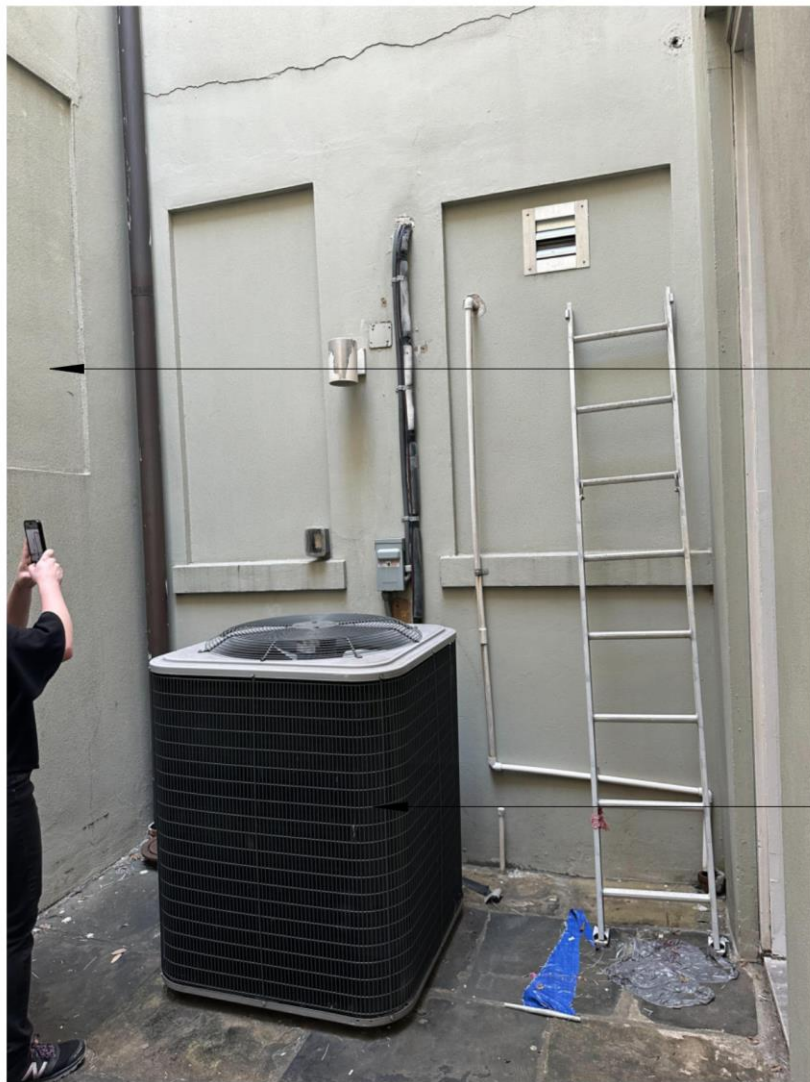
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E2.01

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LOCATION OF
NEW ~~WALL~~
~~MOUNTED~~
CONDENSER
UNIT; REF.
MECHANICAL

EXISTING
CONDENSER TO
REMAIN IN PLACE

EXISTING CONDITION - IMAGE 1



EXISTING CONDITION - IMAGE 2



422 Chartres



422 Chartres

Vieux Carré Commission

March 22, 2023





422 Chartres

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422 Chartres

Vieux Carré Commission

March 22, 2023



COMPARABLE NO. 22-88:

RECORDATION DATA: COB 705, Folio 257
DATE OF SALE: November 23, 1971
LOCATION: 528 St. Louis and 422 Chartres Sq. 28
Streets
VENDOR: George J. Springer
VENDEE: Dr. A. M. Cottar & Dr. N. Goldstein
PRICE: \$150,000.00
AREA: 6,776 square feet
UNIT PRICE: \$22.14 per square foot
REMARKS: Three story, shell only



422 Chartres

Vieux Carré Commission

March 22, 2023



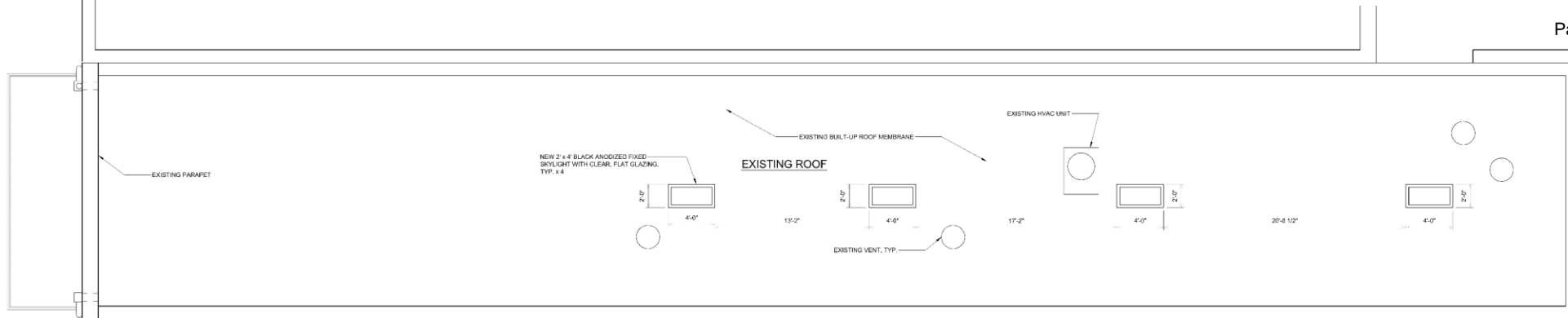


422 Chartres

Vieux Carré Commission

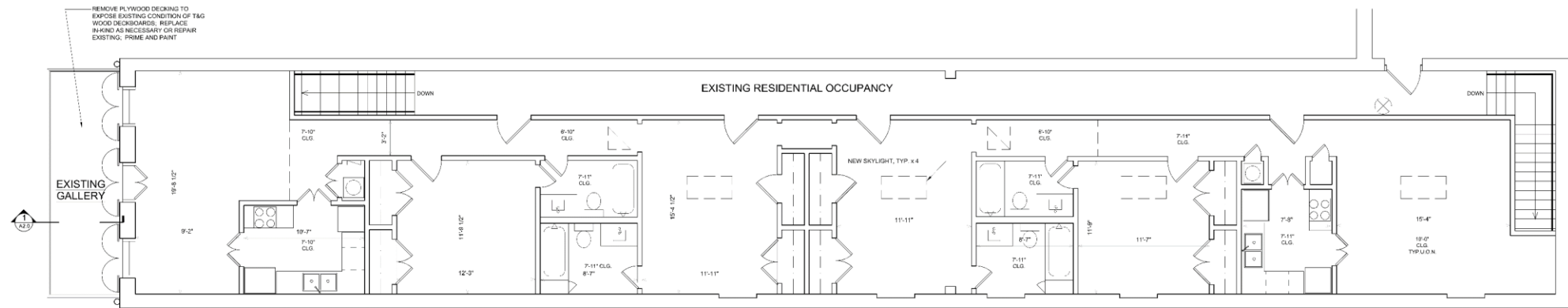
March 22, 2023





ROOF PLAN
SC: 1/4" = 1'-0"

- PROJECT DATA:**
- V.C.C. SCOPE OF WORK: 4 NEW ROOF MOUNTED SKYLIGHTS - GALLERY REPAIRS
 - RE-ROOFING APPLICATION WILL BE FILED SEPARATELY BY OTHERS
 - ALL CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE
 - MAXIMUM ALLOWABLE AREA OF SKYLIGHTS = 3% OF TOTAL ROOF AREA
 TOTAL ROOF AREA = 2,472 S.F.
 TOTAL ALLOWABLE AREA OF SKYLIGHTS = 74 S.F.
 TOTAL PROPOSED AREA OF SKYLIGHTS = 32 S.F.



EXISTING SECOND FLOOR PLAN
SC: 1/4" = 1'-0"

EXTERIOR MODIFICATIONS to
422 CHARTRES
 Vieux Carré' New Orleans, Louisiana

LKHarmon Architects
 A Professional Architectural Corporation
 6238 Argonne Boulevard
 New Orleans Louisiana 70124
 504.485.0870 harmon@lkharmenarchitects.com

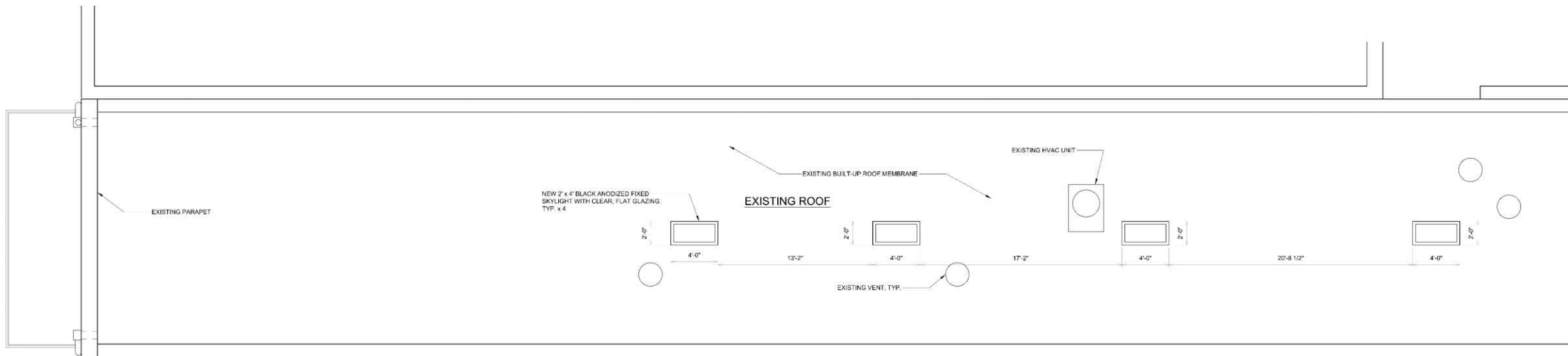
1.11.2023	A1
LKH #6420	


422 Chartres

Vieux Carré Commission

March 22, 2023





 **ROOF PLAN**
SC: 1/4" = 1'-0"

PROJECT DATA:

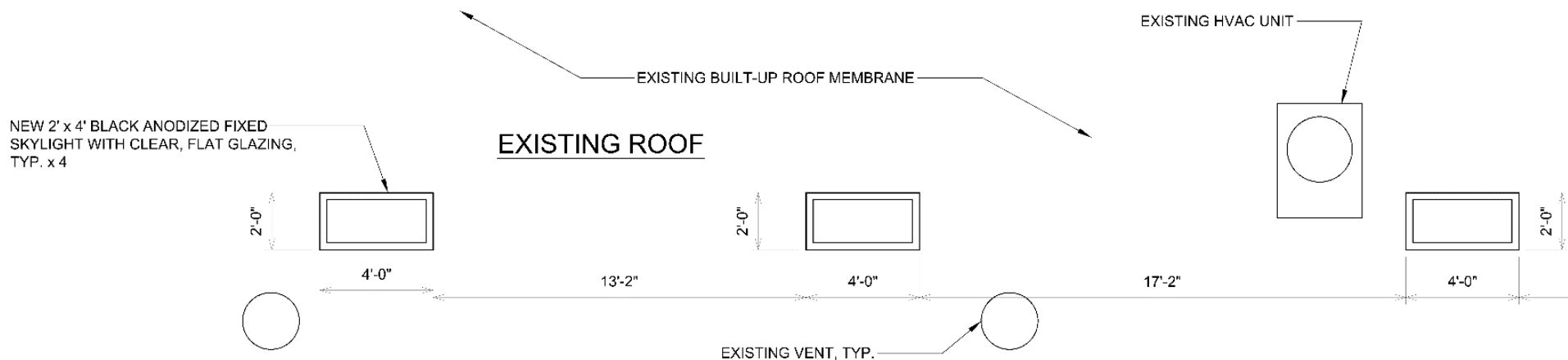
1. V.C.C. SCOPE OF WORK: -4 NEW ROOF MOUNTED SKYLIGHTS
-GALLERY REPAIRS
2. RE-ROOFING APPLICATION WILL BE FILED SEPARATELY BY OTHERS.
3. ALL CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
4. MAXIMUM ALLOWABLE AREA OF SKYLIGHTS = 3% OF TOTAL ROOF AREA.
 TOTAL ROOF AREA = 2,472 S.F.
 TOTAL ALLOWABLE AREA OF SKYLIGHTS = 74 S.F.
 TOTAL PROPOSED AREA OF SKYLIGHTS = 32 S.F.



PROJECT DATA:

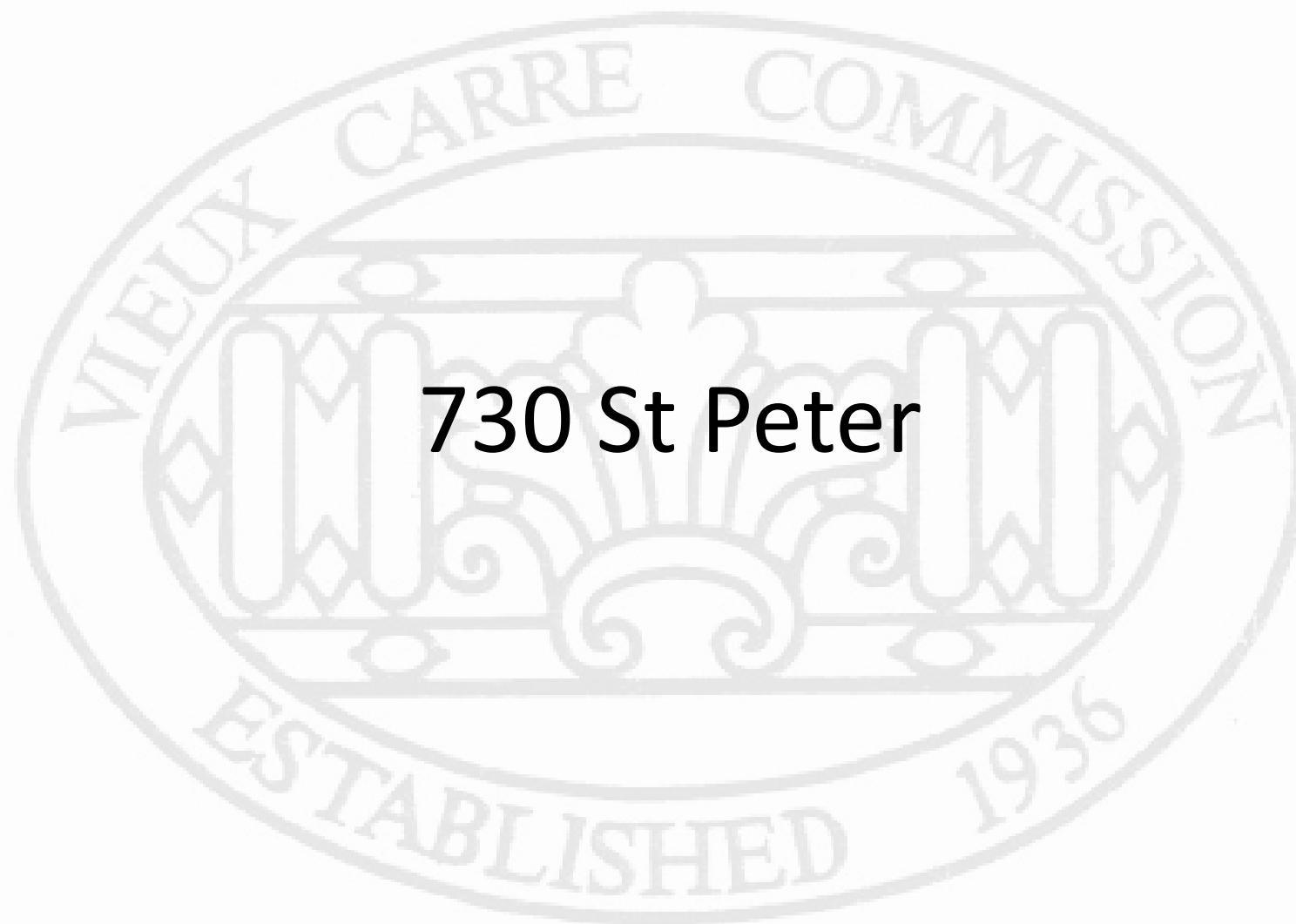
1. V.C.C. SCOPE OF WORK: -4 NEW ROOF MOUNTED SKYLIGHTS
-GALLERY REPAIRS
2. RE-ROOFING APPLICATION WILL BE FILED SEPARATELY BY OTHERS.
3. ALL CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
4. MAXIMUM ALLOWABLE AREA OF SKYLIGHTS = 3% OF TOTAL ROOF AREA:

TOTAL ROOF AREA	=	2,472 S.F.
TOTAL ALLOWABLE AREA OF SKYLIGHTS	=	74 S.F.
TOTAL PROPOSED AREA OF SKYLIGHTS	=	32 S.F.





Change of Use Hearing



730 St Peter



730-732 St Peter

VCC Architecture Committee

February 28, 2023





730-732 St Peter

VCC Architecture Committee

February 28, 2023





730-732 St Peter – 1860 plan book

VCC Architecture Committee

February 28, 2023





730-732 St Peter – 1930s – 40s?

VCC Architecture Committee

February 28, 2023





730-732 St Peter – 1950s?

VCC Architecture Committee

February 28, 2023





730-732 St Peter – 1963

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February 28, 2023





1941



1975

730-732 St Peter

VCC Architecture Committee

February 28, 2023





1994



01.2009

730-732 St Peter

VCC Architecture Committee

February 28, 2023





Current



730-732 St Peter

VCC Architecture and the Architectural Committee

April 13, 2010 February 27, 2023





730-732 St Peter

VCC Architecture Committee

February 28, 2023





730-732 St Peter

VCC Architecture Committee

February 28, 2023





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February 28, 2023





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VCC Architecture Committee

February 28, 2023





Feb 16, 2023 11:21:09 AM

730-732 St Peter

VCC Architecture Committee

February 28, 2023





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VCC Architecture Committee

February 28, 2023





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February 28, 2023



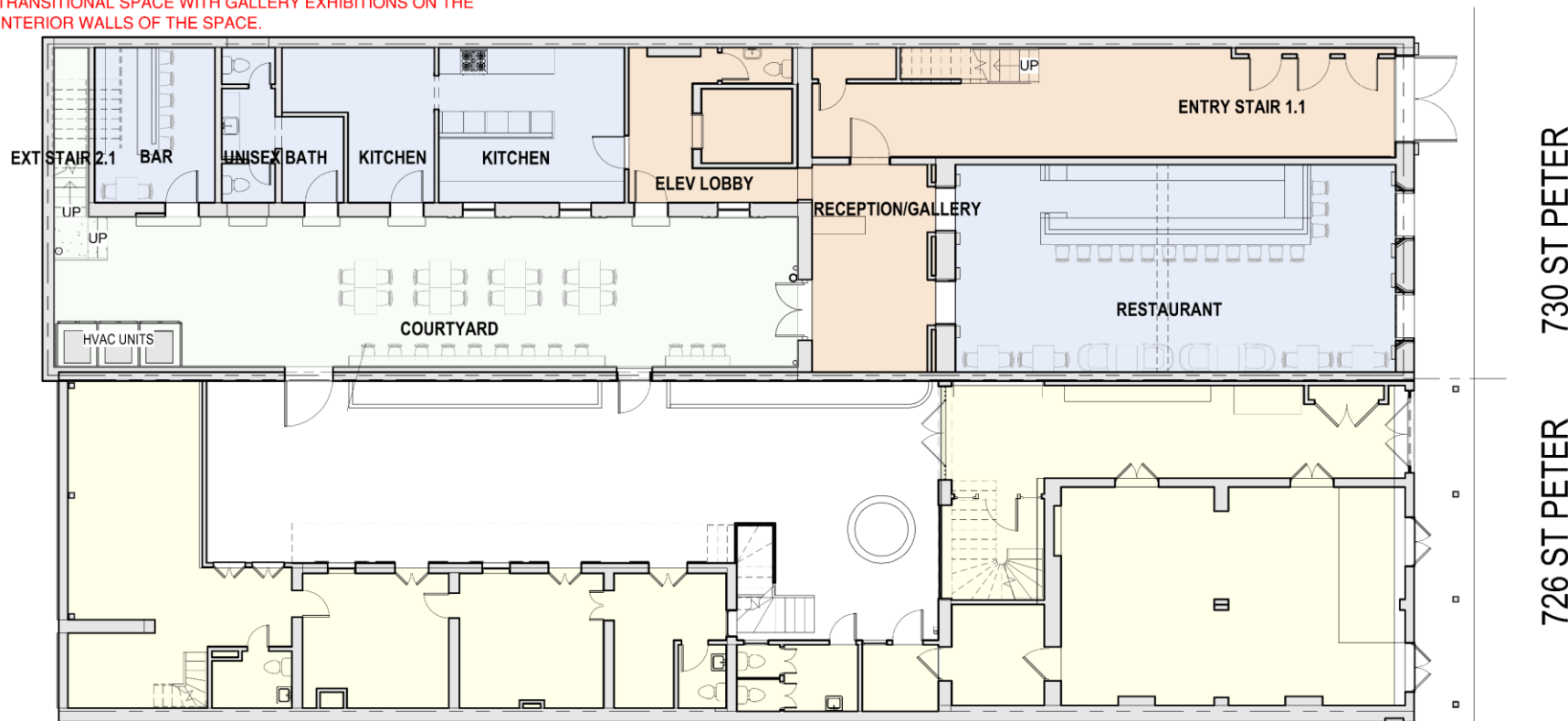
RESTAURANT:
RESTAURANT - STANDARD; WILL OPERATE AS SUCH

COURTYARD:
SHARED SEATING/HOLDING BETWEEN THE RESTAURANT & FOUNDATION. FOUNDATION WILL BE DAY USE AND RESTAURANT WILL ALLOW SEATING IN THE EVENINGS DURING OPEN BUSINESS HOURS

RECEPTION/GALLERY:
A HOST WILL BE IN THIS AREA TO ADMIT GUESTS INTO THE RESTAURANT OR FOUNDATION. WILL BE USED AS A TRANSITIONAL SPACE WITH GALLERY EXHIBITIONS ON THE INTERIOR WALLS OF THE SPACE.

1ST FLOOR SPACE:	SQFT:	SHARE RATIO:
RESTAURANT	1524 SQFT	100% RESTAURANT
PUBLIC/Common	1088 SQFT	50/50%
COURTYARD	975 SQFT	50/50%

- RESTAURANT
- COMMON SPACE
- PRESERVATION HALL FOUNDATION
- PRESERVATION HALL VENUE- 726 ST PETER
- EXTERIOR



1 FIRST FLOOR PROPOSED
x1.1 1" = 10'-0"

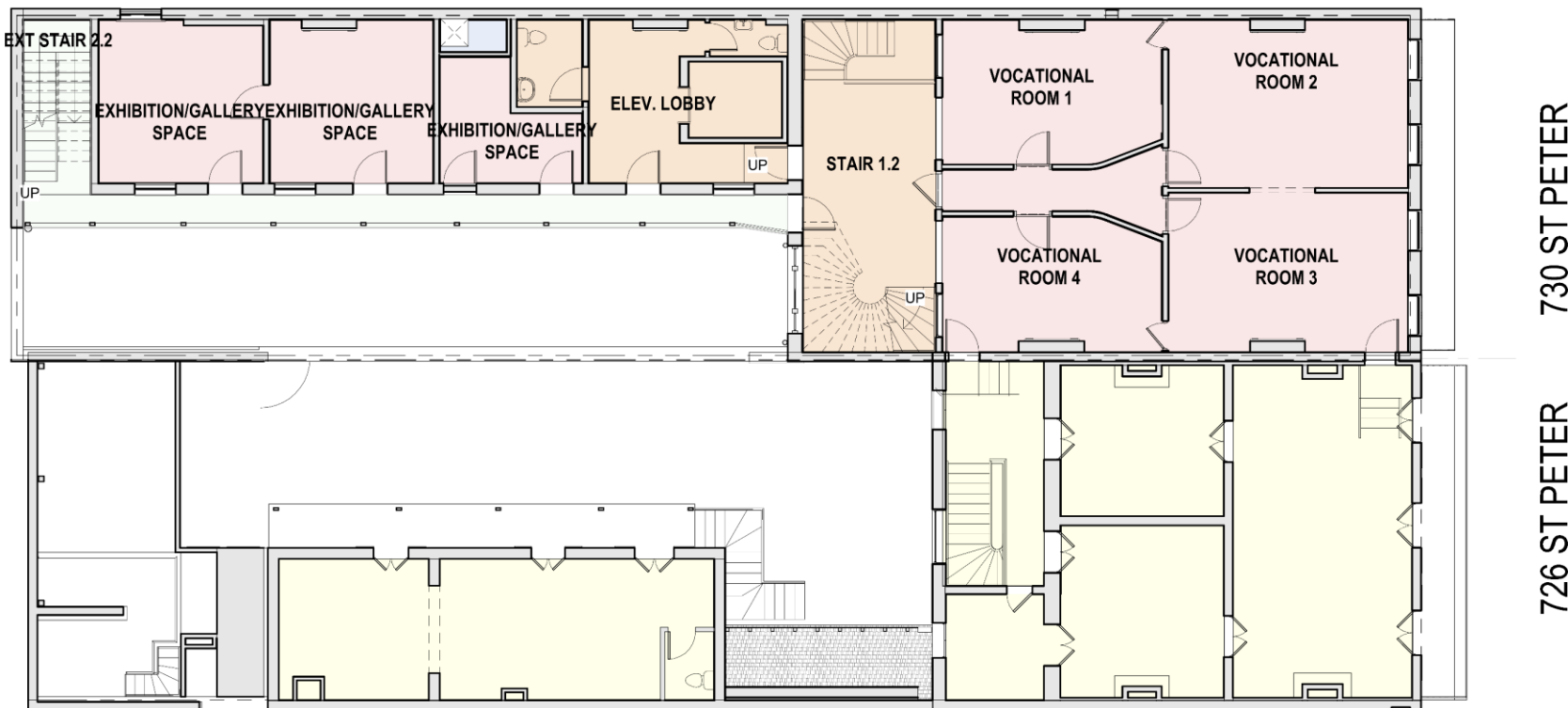


EXHIBITION/GALLERY SPACE:
 WILL OPERATE AS LIVING GALLERIES WITH DISPLAYS & EXHIBITION ITEMS ON INTERIOR FACES OF WALLS. PODCAST RECORDING W/ CULTURAL BEARERS, ONE-ON-ONE MEETING/TEACHING SPACE FROM EXPERIENCED MUSICIANS, LIVE WORKING OFFICES WILL TAKE PLACE IN THESE AREAS ON BOTH FLOORS.

VOCATIONAL ROOMS:
 ALL ROOMS WILL HOST EXHIBITION PIECES ON THE WALLS OF THE SPACES. WITHIN THESE SPACES WILL HOST EDUCATIONAL EVENTS, MUSICIAN MENTORSHIP, PROFESSIONAL DEVELOPMENT, FINANCIAL & HEALTHCARE LITERACY CLASSES, STAFF TRAINING, ALONG WITH SPECIAL EVENTS FOR FUNDRAISING EVENTS OR RESTAURANT EVENTS

2ND FLOOR SPACES:	SQFT/AGE:	SHARED:
RESTAURANT	18 SQFT (CHASE)	100% RESTAURANT
PUBLIC/Common	694 SQFT	50/50% SHARED
PH FOUNDATION	1874 SQFT	100% PHF
EXT BALCONY/STAIR	310 SQFT	100% PHF

- RESTAURANT
- COMMON SPACE
- PRESERVATION HALL FOUNDATION
- PRESERVATION HALL VENUE- 726 ST PETER
- EXTERIOR

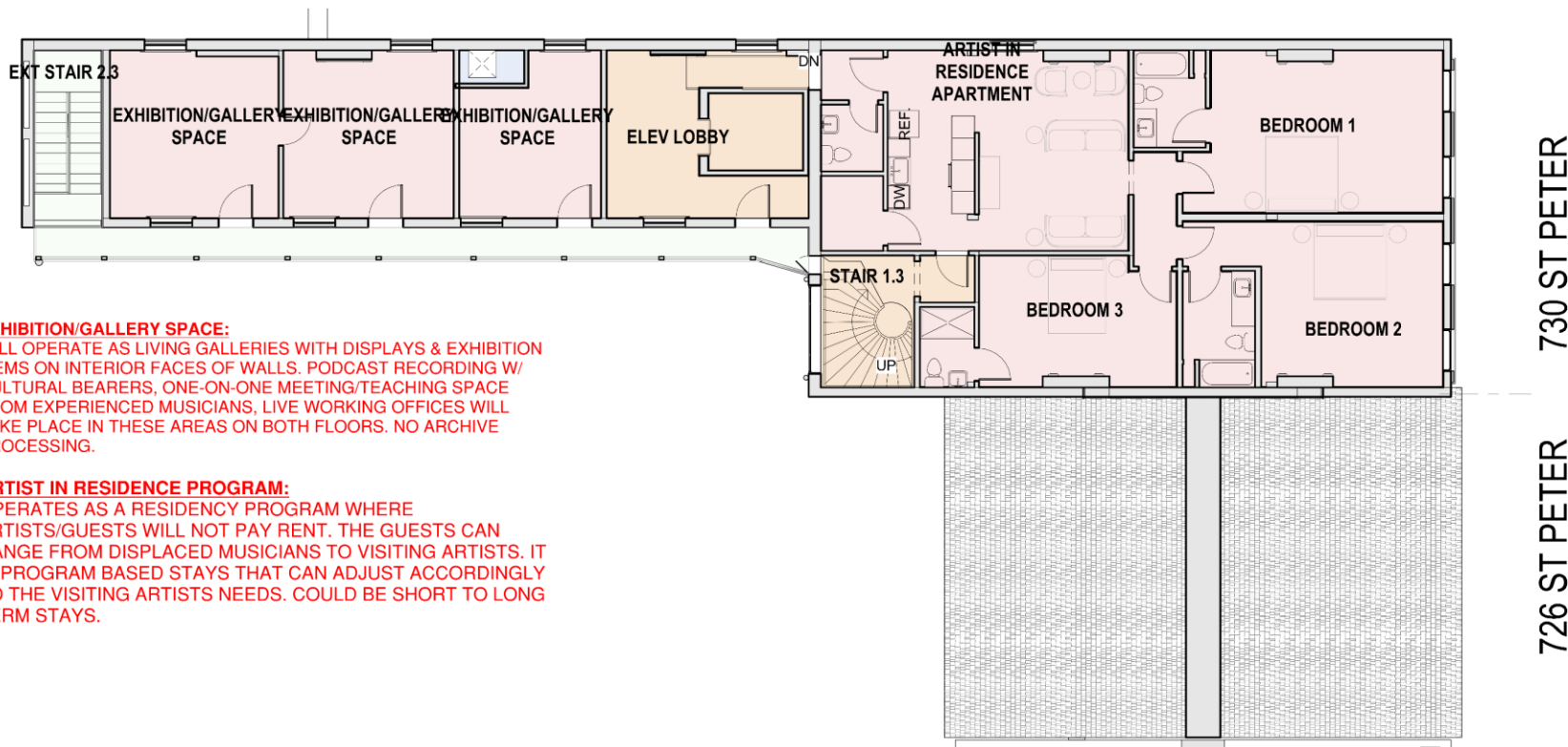


1 SECOND FLOOR PROPOSED
 x1.2 1" = 10'-0"



3RD FLOOR SPACE:	SQFT'AGE:	SHARED:
RESTAURANT	18 SQFT (CHASE)	100% PINCUS
PUBLIC/Common	398 SQFT	100% PHF
PH FOUNDATION	2206 SQFT	100% PHF
EXT BALCONY/STAIR	310 SQFT	100% PHF

- RESTAURANT
- COMMON SPACE
- PRESERVATION HALL FOUNDATION
- PRESERVATION HALL VENUE- 726 ST PETER
- EXTERIOR

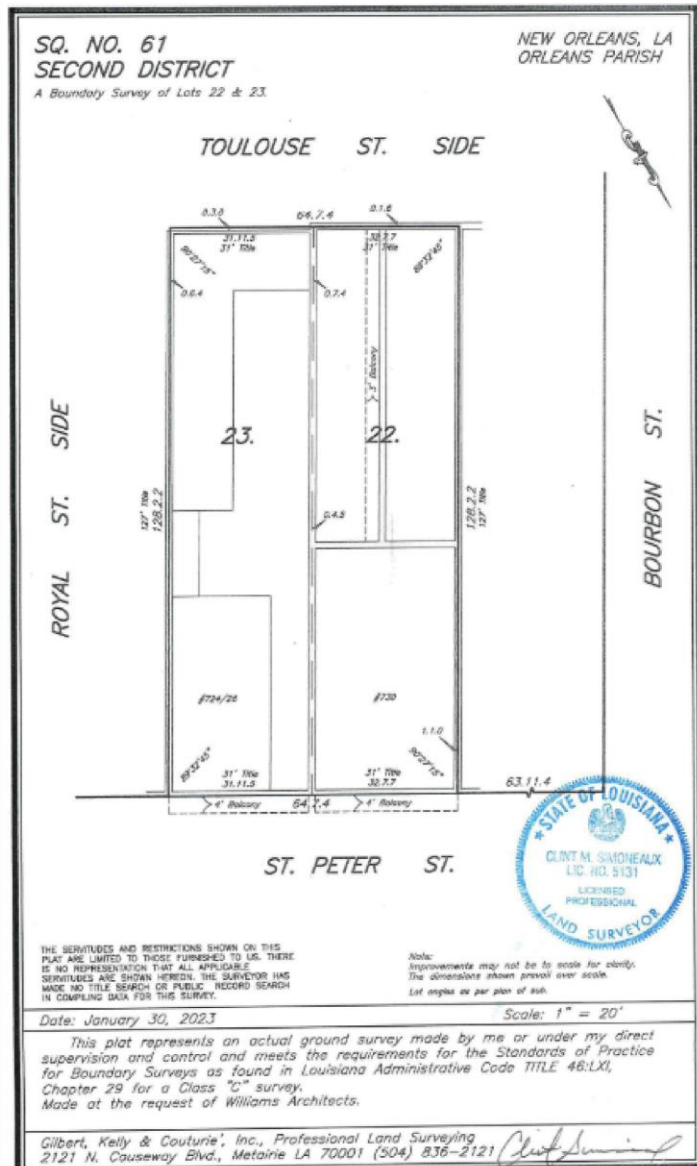


EXHIBITION/GALLERY SPACE:
 WILL OPERATE AS LIVING GALLERIES WITH DISPLAYS & EXHIBITION ITEMS ON INTERIOR FACES OF WALLS. PODCAST RECORDING W/ CULTURAL BEARERS, ONE-ON-ONE MEETING/TEACHING SPACE FROM EXPERIENCED MUSICIANS, LIVE WORKING OFFICES WILL TAKE PLACE IN THESE AREAS ON BOTH FLOORS. NO ARCHIVE PROCESSING.

ARTIST IN RESIDENCE PROGRAM:
 OPERATES AS A RESIDENCY PROGRAM WHERE ARTISTS/GUESTS WILL NOT PAY RENT. THE GUESTS CAN RANGE FROM DISPLACED MUSICIANS TO VISITING ARTISTS. IT IS PROGRAM BASED STAYS THAT CAN ADJUST ACCORDINGLY TO THE VISITING ARTISTS NEEDS. COULD BE SHORT TO LONG TERM STAYS.

1 THIRD FLOOR PROPOSED
 x1.3 1" = 10'-0"





CITY BLOCK PLAN - FIRST FLOOR ELEVATIONS
 JANUARY 30, 2023 ELEVATION SPOTS *Clint Simoneaux*



These drawings and specifications have been prepared by me or under my direct supervision and control and meet the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 48:LXI, Chapter 29 for a Class "C" survey. Made at the request of Williams Architects.

Project Name

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RENOVATION - RESTAURANT & PHF
 730-32 St Peter St, New Orleans, LA 70116

REVISIONS:

No.	Date	Scope

DRAWING SURVEY

DRAWN BY: *TK*
 SCALE: 1"=20'
 DATE: 01/30/23
 Sheet No:

G001





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 824 BARDONE STREET
 NEW ORLEANS, LA 70113
 504-566-8088
 WILLIAMSARCHITECTS.COM

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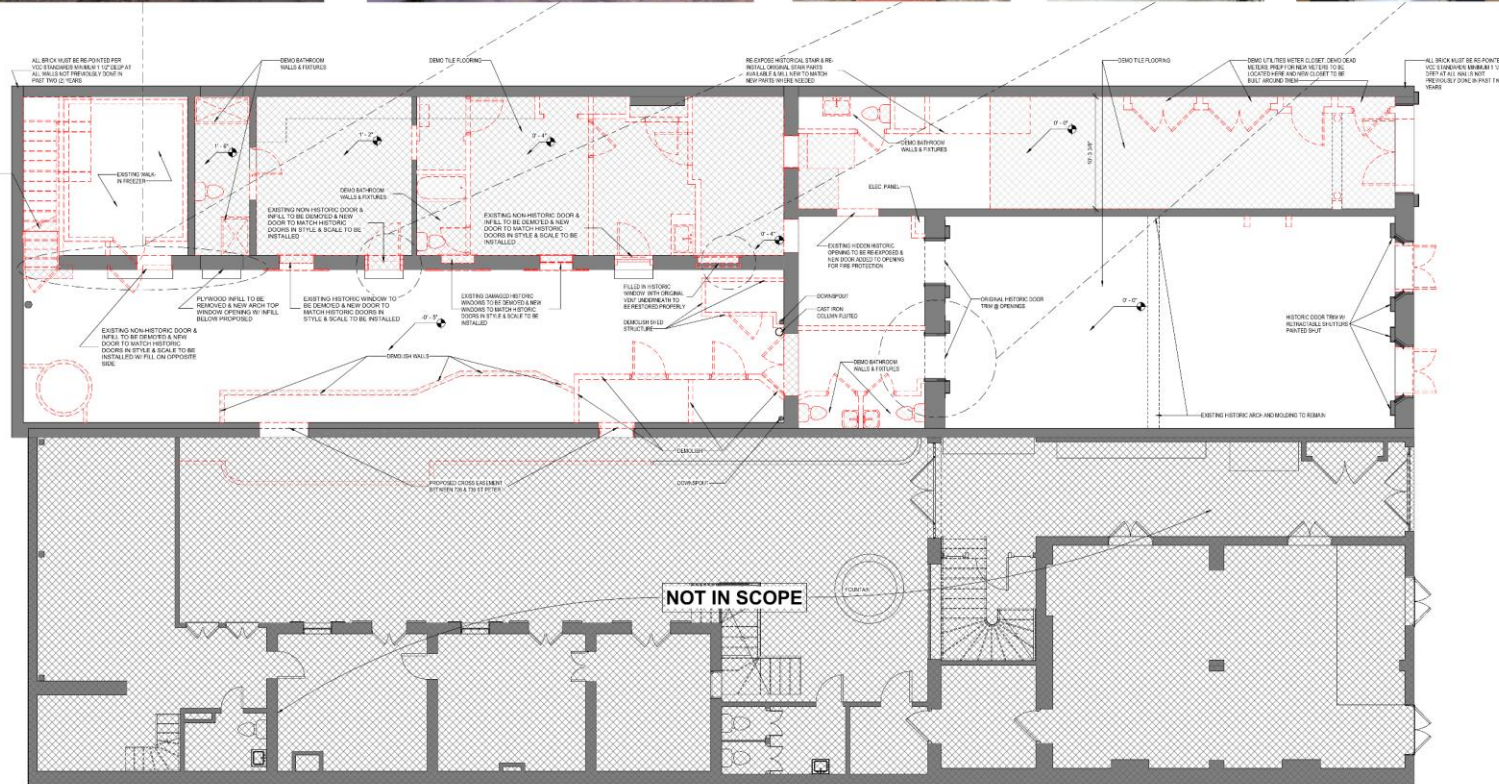
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Project Name

George G. 2022
 JAMES W. ARCHITECTS, L.L.C.

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 730-32 St Peter St, New Orleans, LA 70116

2/14/2023 1:44:51 PM A:\Admin\Drawings\730-32 St Peter St\PHF.dwg B:\Name: RZM/H



NOT IN SCOPE

10111 FIRST FLOOR PLAN - DEMO 1/4\"/>

-REVISIONS-

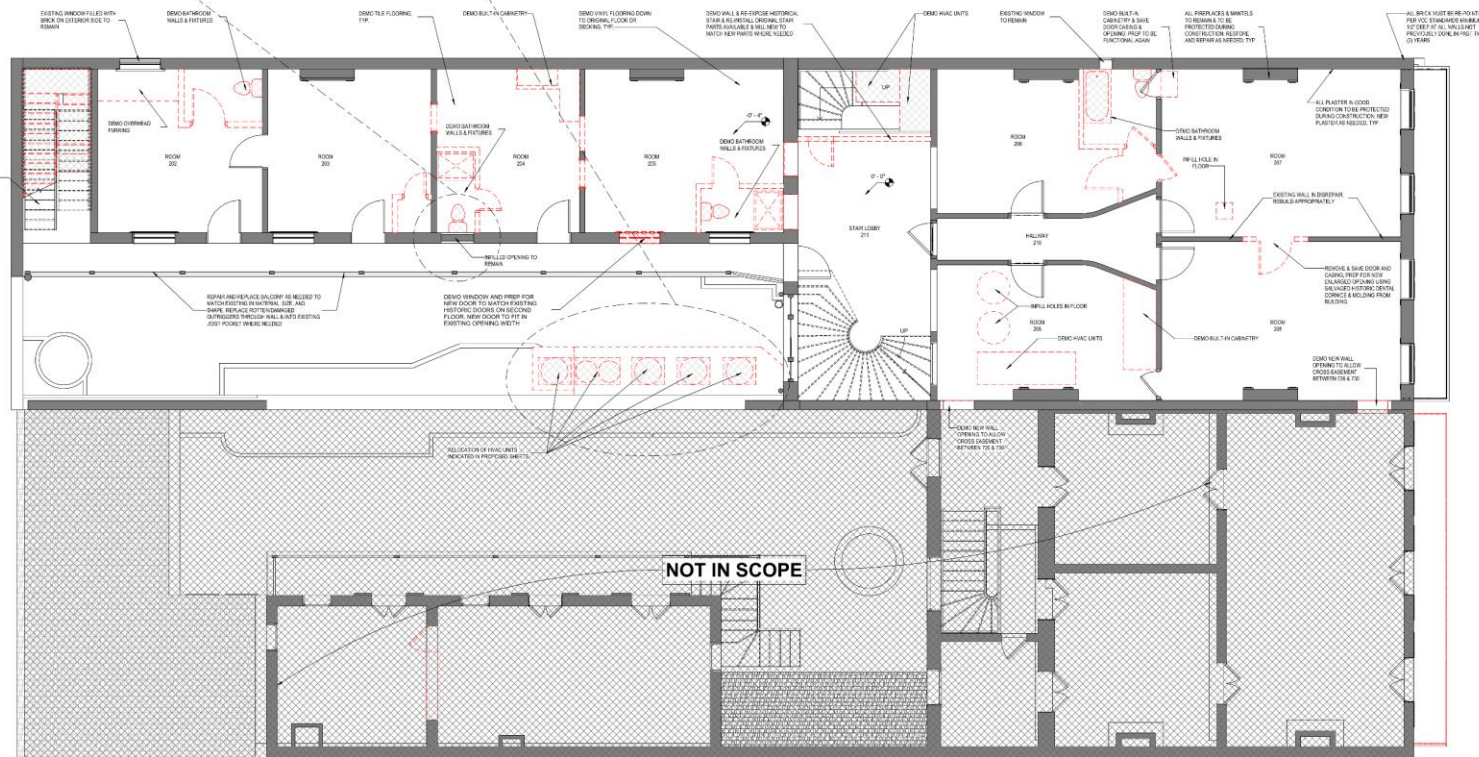
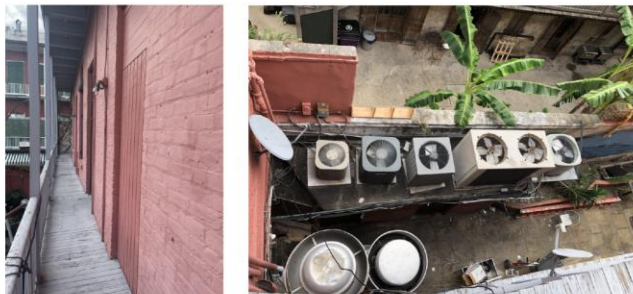
No.	Date	Scope

DRAWING: FIRST FLOOR PLAN - DEMOLITION
 DRAWING BY: ADG
 SCALE: 1/4\"/>

Sheet No: AD111



730
 VCC



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 730-32 St Peter St, New Orleans, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING: SECOND FLOOR PLAN - DEMOLITION
 DRAWING BY: ADG
 SCALE: 1/4" = 1'-0"
 JOB No: 0300712
 DATE: 09/15/2022
 Sheet No:

AD112

SECOND FLOOR PLAN - DEMO
 1/4" = 1'-0"

730
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Project Name: RENOVATION - RESTAURANT & PHF
 730-32 St Peter St, New Orleans, LA 70116
 Client: George G. 2022
 Date: 08/14/2022

THIRD LEVEL - FRONT
 27'-7"

SECOND LEVEL - FRONT
 13'-10"

FIRST FLOOR
 0'-0" GRADE
 0'-0"

ELEVATION - BOURBON STREET SIDE - EXISTING
 1/4" = 1'-0"

THIRD LEVEL - FRONT
 27'-7"

SECOND LEVEL - FRONT
 13'-10"

FIRST FLOOR
 0'-0" GRADE
 0'-0"

REVISIONS:

No.	Date	Scope

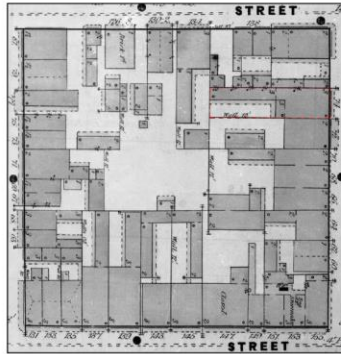
DRAWING: EXISTING ELEVATIONS - DEMOLITION
 DRAWING BY: TN
 SCALE: 1/4" = 1'-0"
 JOB No.: 030070.02
 DATE: 08/14/2022
 Sheet No.:

AD201

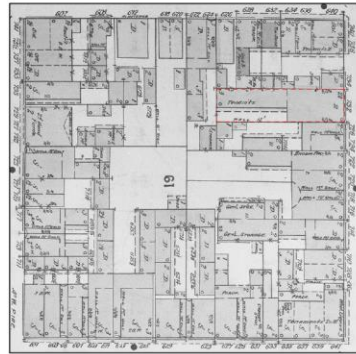


730
 VCC

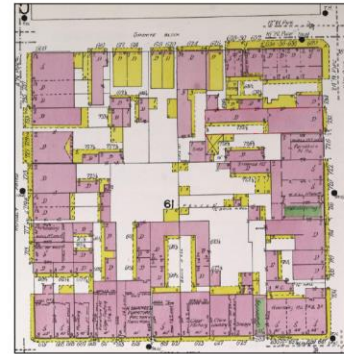




1876
SHOWS REAR BALCONY & PROPOSED LOCATION AT 730

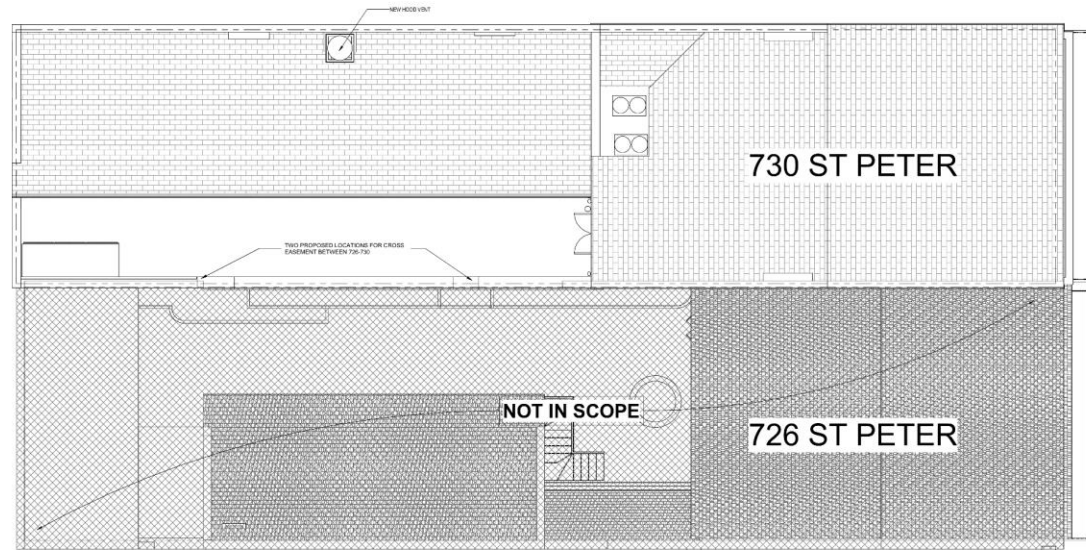


1896
SHOWS BALCONY AND NEW BUILDING AT 730



1908
SHOWS REAR BALCONY & OUR PROPOSED LOCATION AT 730

ALL SANDBORNE MAPS DATING FROM 1876 TO 1908 DO NOT INDICATE ANY BUILT STRUCTURES WITHIN THE COURTYARD OPEN AREA, SUCH AS CISTERNS OR FOUNTAINS, WHILE THE MAPS DO INDICATE PREVIOUS LOCATION OF BALCONY ON 2ND FLOOR OF 730



ST PETER STREET



WILLIAMS ARCHITECTS
624 BARDONE STREET
NEW ORLEANS, LA 70113
SCALE: 1/8" = 1'-0"
WILLIAMSARCHITECTS.COM

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Project Name

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RENOVATION - RESTAURANT & PHF
730-32 St Peter St, New Orleans, LA 70116

-REVISIONS-

No.	Date	Scope

DRAWING
SITE PLAN

DRAWING BY: JWA
SCALE: 3/16" = 1'-0"
JOB No: 09007012
DATE: 09/14/2012
Sheet No:

A100

ARCHITECTURAL SITE PLAN
3/16" = 1'-0"

730
VCC

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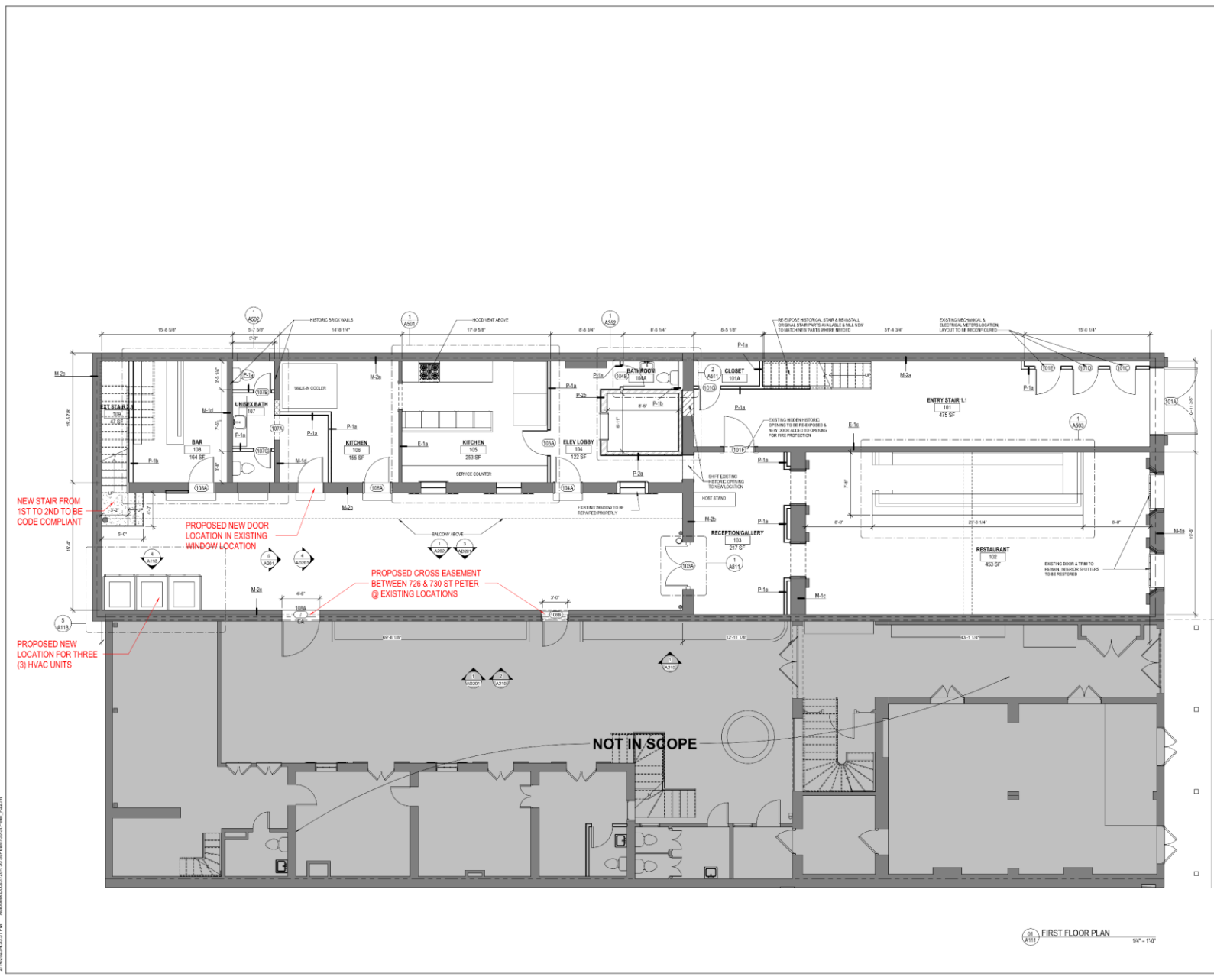
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 I have not been and will not be engaged in any other business that would conflict with my professional duties as an architect.

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Project Name

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 730-32 St Peter St, New Orleans, LA 70116



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-REVISIONS-

No.	Date	Scope

DRAWING
 FIRST FLOOR PLAN
 DRAWING BY: ADG
 SCALE: 1/4" = 1'-0"
 JOB No: 22000712
 DATE: 09/14/2022
 Sheet No:

A111

FIRST FLOOR PLAN 1/4" = 1'-0"

730
VCC





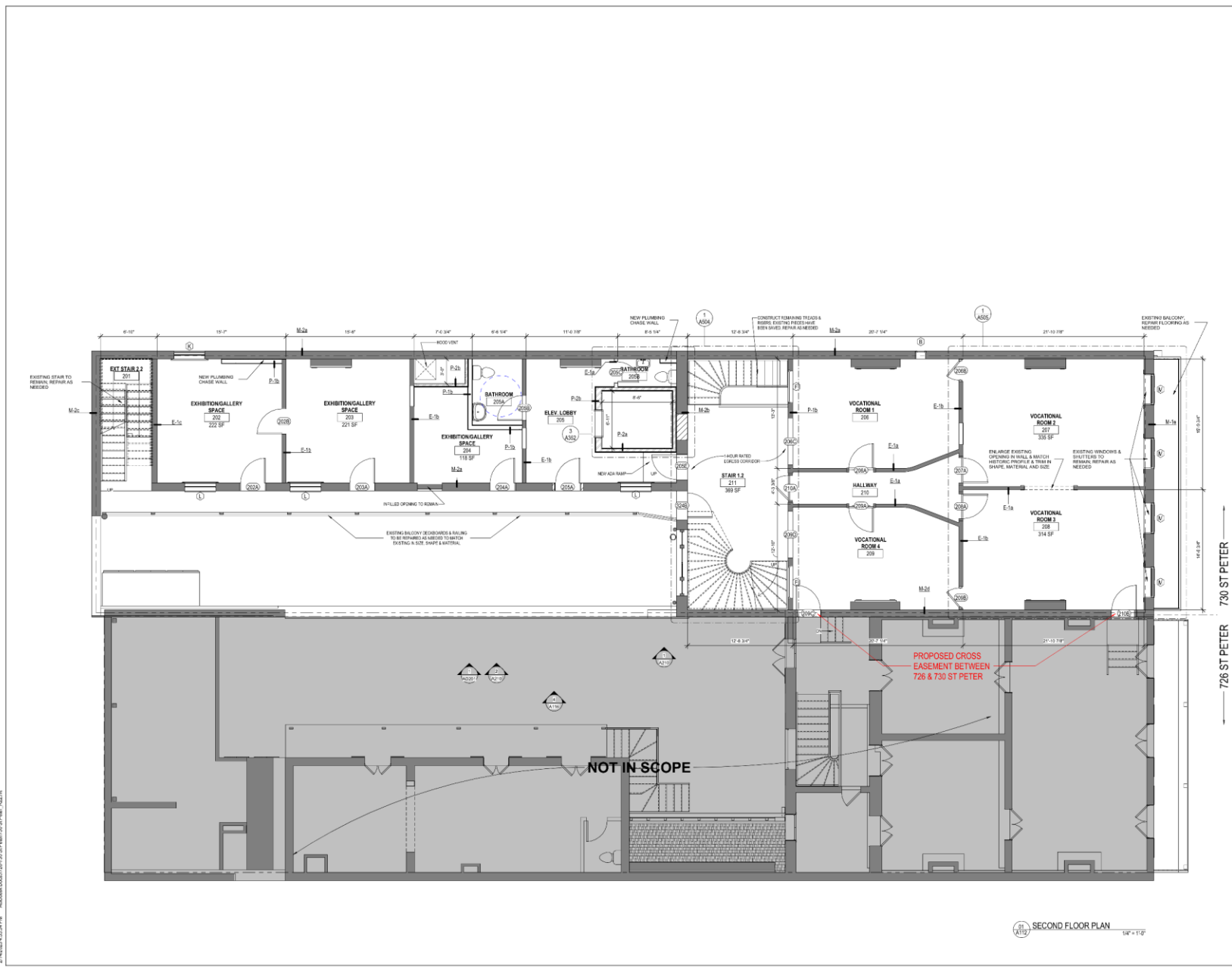
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RENOVATION - RESTAURANT & PHF
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730 ST PETER
 726 ST PETER
 730 ST PETER

SECOND FLOOR PLAN 1/4" = 1'-0"

-REVISIONS-

No.	Date	Scope

DRAWING:
 SECOND FLOOR PLAN
 DRAWING BY: ADG
 SCALE: 1/4" = 1'-0"
 JOB No: 030071.02
 DATE: 08/14/2022
 Sheet No:

A112

730
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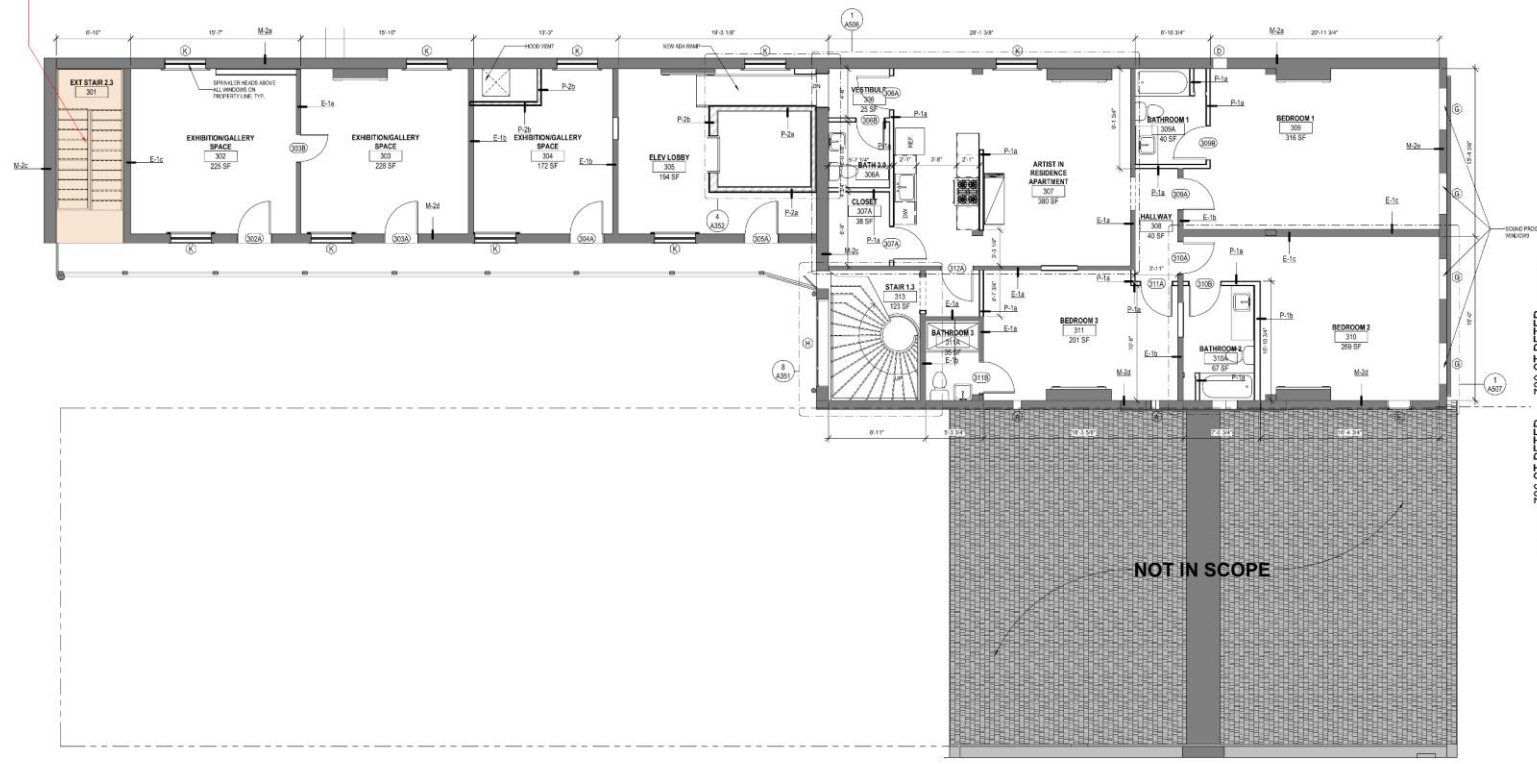
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RENOVATION - RESTAURANT & PHF
 730-32 St Peter St, New Orleans, LA 70116

NEW PROPOSED LOCATION FOR THREE (3) HVAC UNITS ABOVE STAIRWELL IN ATTIC PLENUM AREA TO VENT OUT SIDE & REAR WALLS



THIRD FLOOR PLAN 1/4" = 1'-0"

-REVISIONS-

No.	Date	Scope

DRAWING:
 THIRD FLOOR PLAN
 DRAWING BY: ADG
 SCALE: 1/4" = 1'-0"
 JOB No.: 090070.02
 DATE: 08/14/2022
 Sheet No.:

A113

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Project Name

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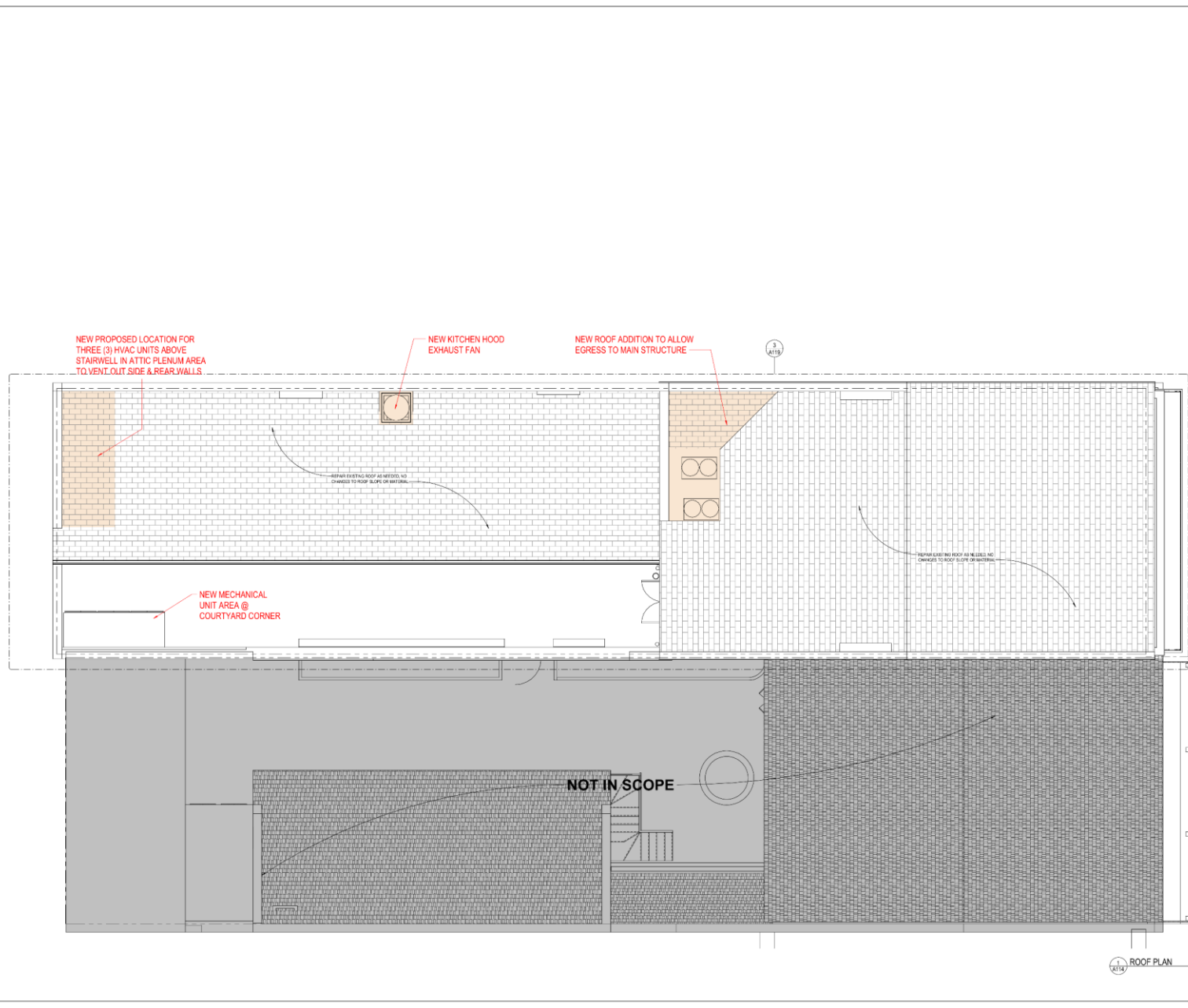
-REVISIONS-

No.	Date	Scope

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 ROOF PLAN

DRAWING BY: ADG
 SCALE: 1/4" = 1'-0"
 JOB No: 09100712
 DATE: 09/14/2022
 Sheet No:

A114



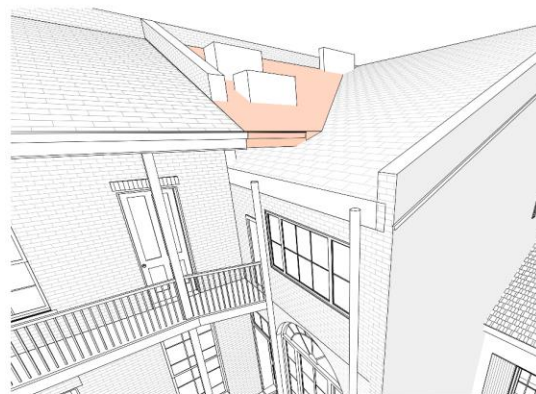
2:14/2024 1:45:37 PM AutodeskDWG2DPlotter730 St Peter St, New Orleans, LA 70116

730
 VCC





STREET VIEW
*ROOF ADDITION WILL NEVER BE VISIBLE FROM STREET



ROOF ADDITION
OPTION 1 -
SAME HEIGHT,
SAME SLOPE



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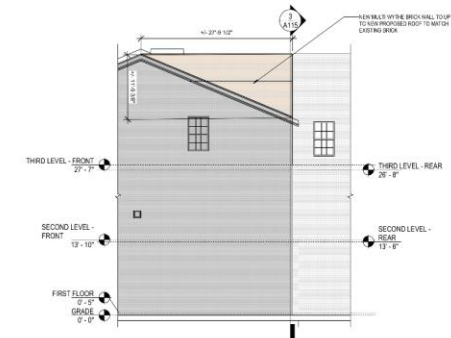
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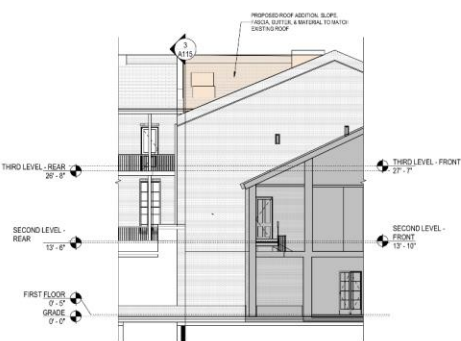
Project Name

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730-32 St Peter St, New Orleans, LA 70116

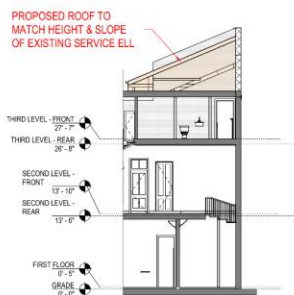


ELEVATION - ROOF OPTION 1 -
BOURBON STREET SIDE
1/8" = 1'-0"

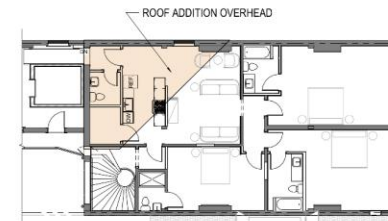


ELEVATION - ROOF OPTION 1 -
ROYAL STREET SIDE
1/8" = 1'-0"

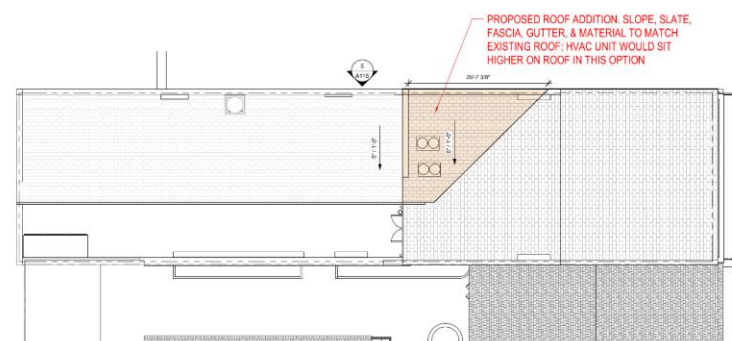
ROOF ADDITION VIEW - OPTION 1
1/8" = 1'-0"



SECTION - ROOF OPTION 1
1/8" = 1'-0"



THIRD FLOOR - OPTION 1
1/8" = 1'-0"



ROOF PLAN - OPTION 1
1/8" = 1'-0"

-REVISIONS-		
No.	Date	Scope

DRAWING
ROOF ADDITION - OPTION 1

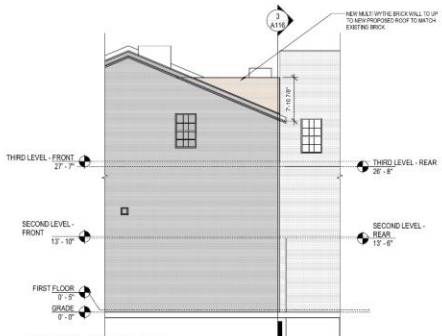
DRAWING BY: TN
SCALE: 1/8" = 1'-0"
JOB No: 03007012
DATE: 08/14/2022
Sheet No:

A115

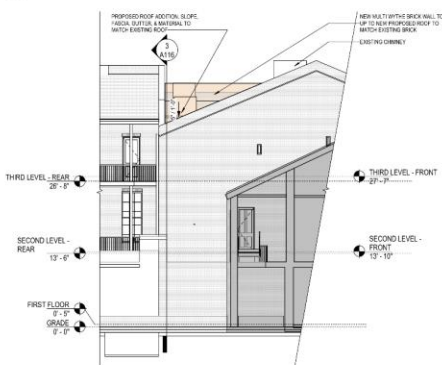




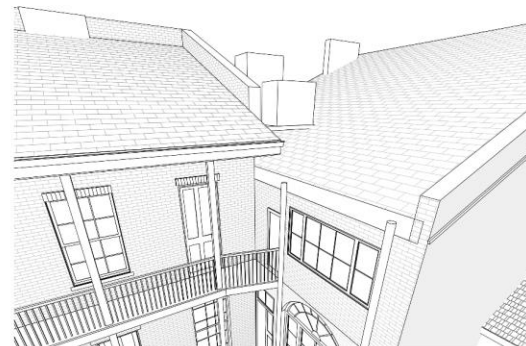
STREET VIEW
*ROOF ADDITION WILL NEVER BE VISIBLE FROM STREET



ELEVATION - ROOF OPTION 2 - BOURBON STREET SIDE
1/8" = 1'-0"

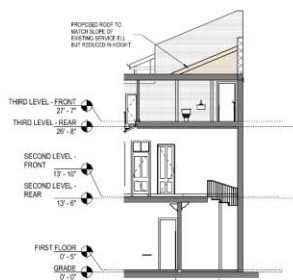


ELEVATION - ROOF OPTION 2 - ROYAL STREET SIDE
1/8" = 1'-0"

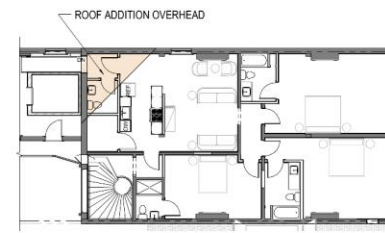


ROOF ADDITION VIEW - OPTION 2

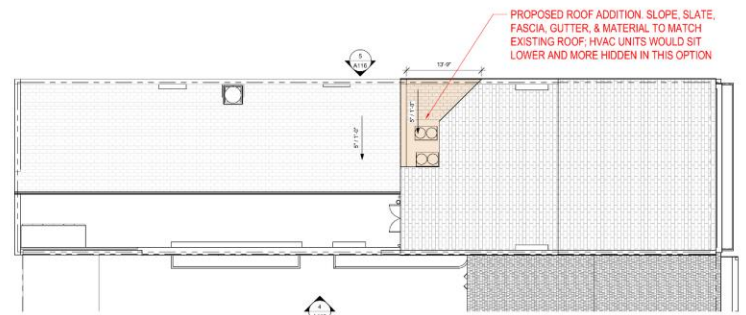
**ROOF ADDITION
OPTION 2 -
REDUCED
HEIGHT, SAME
SLOPE**



SECTION - ROOF OPTION 2
1/8" = 1'-0"



THIRD FLOOR - OPTION 2
1/8" = 1'-0"



ROOF PLAN - OPTION 2
1/8" = 1'-0"



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No.	Date	Scope

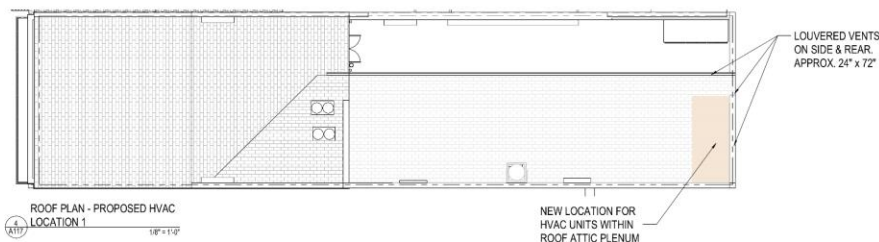
DRAWING
ROOF ADDITION - OPTION 2

DRAWING BY: TM
SCALE: 1/8" = 1'-0"
JOB No.: 09007012
DATE: 09/14/2022
Sheet No.:

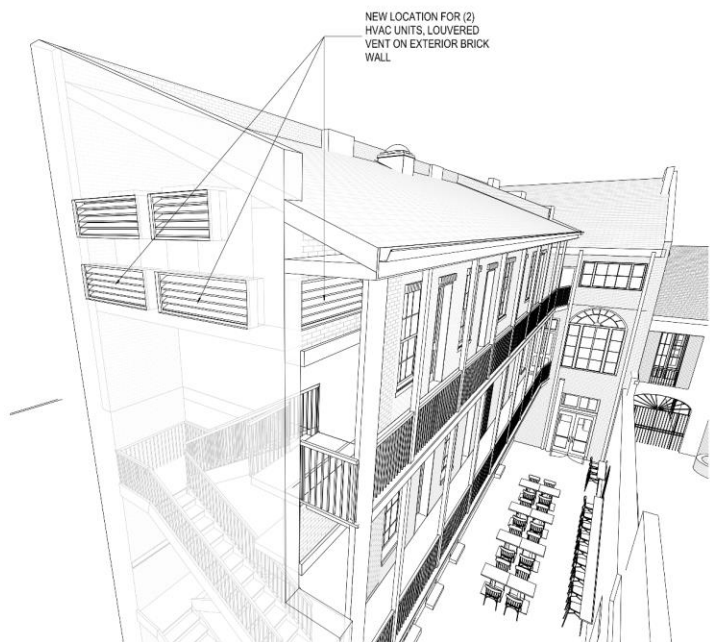
A116



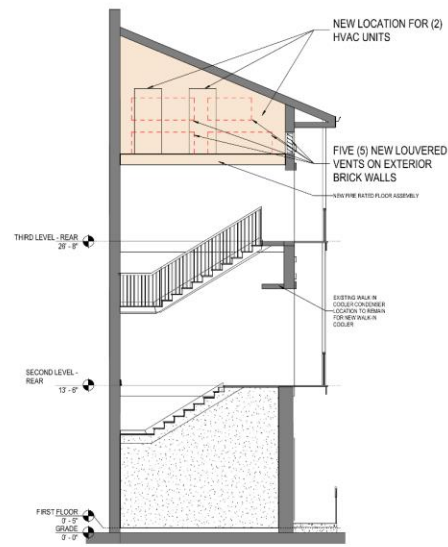
PROPOSED MECHANICAL UNIT LOCATION FOR TWO (2) UNITS, SIX OR SEVEN (6-7) IN TOTAL



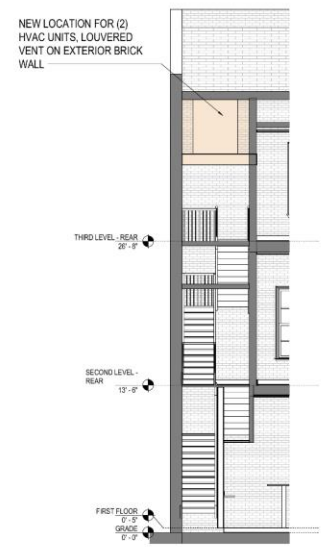
ROOF PLAN - PROPOSED HVAC LOCATION 1
1/4" = 1'-0"



3D VIEW - PROPOSED HVAC LOCATION 1
1/4" = 1'-0"



SECTION - PROPOSED HVAC LOCATION 1
1/4" = 1'-0"



SECTION - HVAC RELOCATION 1
1/4" = 1'-0"



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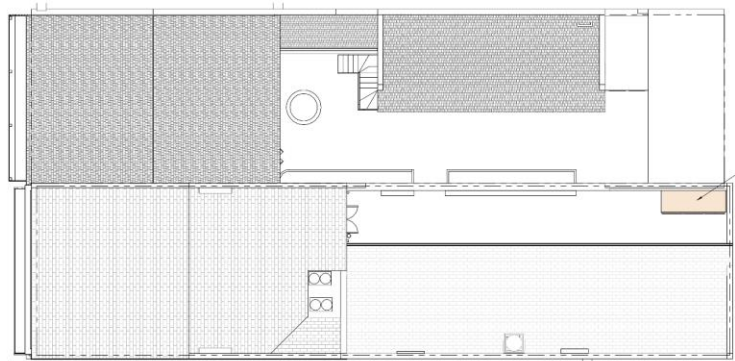
-REVISIONS-

No.	Date	Scope

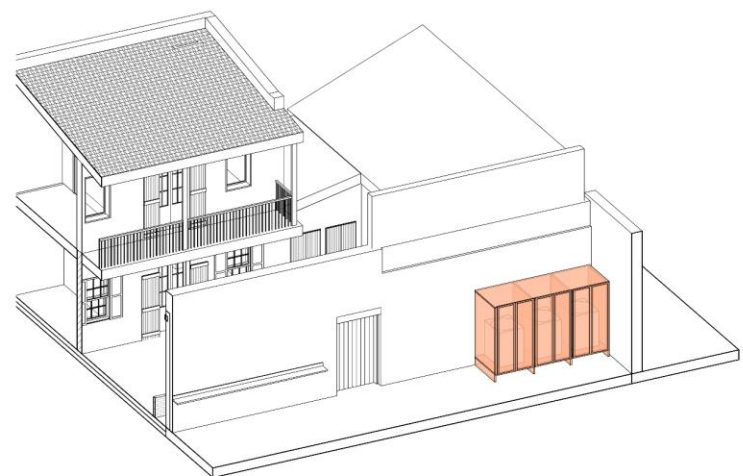
DRAWING: PROPOSED HVAC LOCATION 1
DRAWING BY: TN
SCALE: As Indicated
JOB No.: 150071.02
DATE: 08/14/2022
Sheet No.

A117

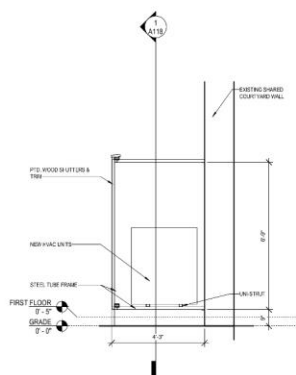




ROOF PLAN - PROPOSED HVAC LOCATION 2
1/8" = 1'-0"

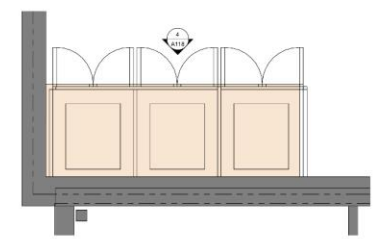


3D VIEW - PROPOSED HVAC LOCATION 2

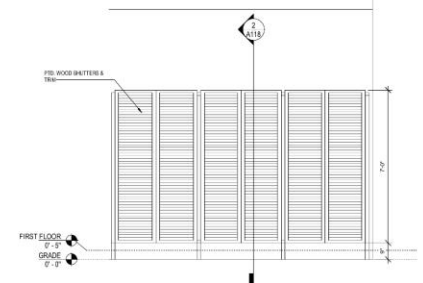


SECTION B - PROPOSED HVAC LOCATION 2
1/2" = 1'-0"

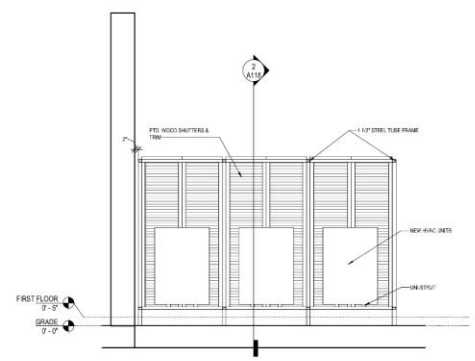
PROPOSED MECHANICAL UNIT LOCATION FOR TWO (2) UNITS, SIX OR SEVEN (6-7) IN TOTAL



ENLARGED PLAN - PROPOSED HVAC LOCATION 2
1/2" = 1'-0"



COURTYARD ELEVATION - PROPOSED HVAC LOCATION 2
1/2" = 1'-0"



SECTION A - PROPOSED HVAC LOCATION 2
1/2" = 1'-0"



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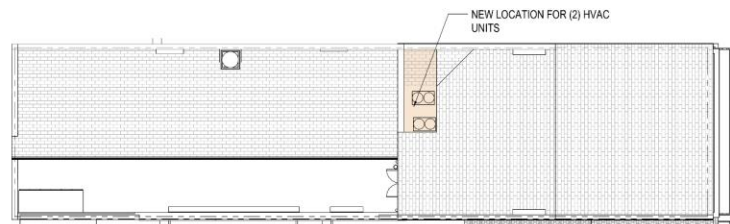
-REVISIONS-

No.	Date	Scope

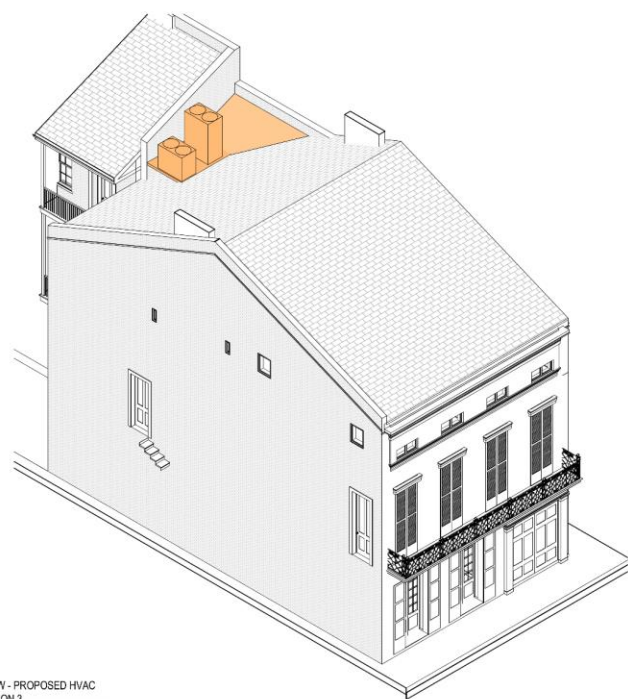
DRAWING: PROPOSED HVAC LOCATION-2
DRAWING BY: TN
SCALE: As Indicated
JOB No.: 03007102
DATE: 08/14/2022
Sheet No.

A118



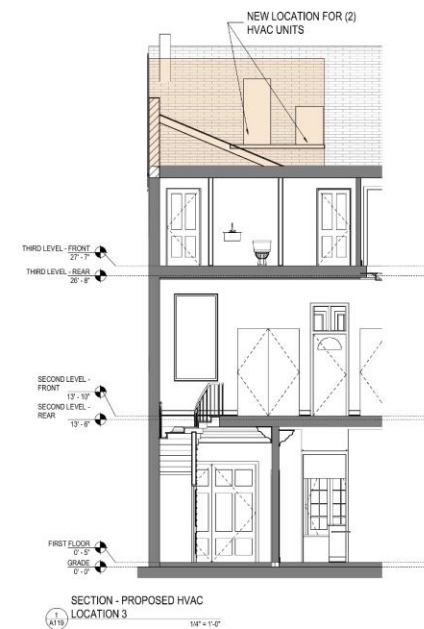


ROOF PLAN - PROPOSED HVAC LOCATION 3
1/8" = 1'-0"



3D VIEW - PROPOSED HVAC LOCATION 3
1/8" = 1'-0"

PROPOSED MECHANICAL UNIT LOCATION FOR TWO (2) UNITS, SIX OR SEVEN (6-7) IN TOTAL



SECTION - PROPOSED HVAC LOCATION 3
1/8" = 1'-0"



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SCALE: 1/8" = 1'-0"
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Proposed

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No.	Date	Scope

DRAWING: PROPOSED HVAC LOCATION-3
DRAWING BY: TN
SCALE: As Indicated
JOB No: 19007102
DATE: 08/15/2022
Sheet No:

A119







730 ST. PETER SIDE OF COURTYARD WALL



726 ST. PETER SIDE OF COURTYARD WALL



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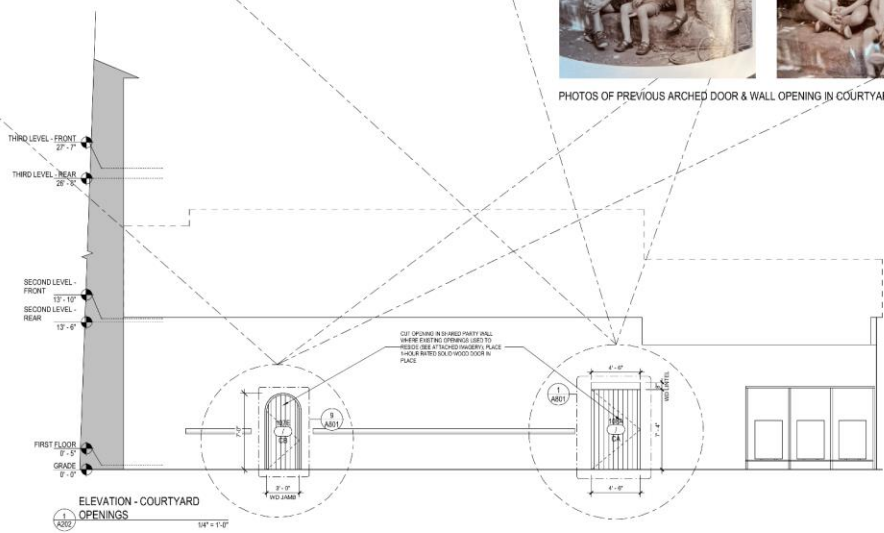
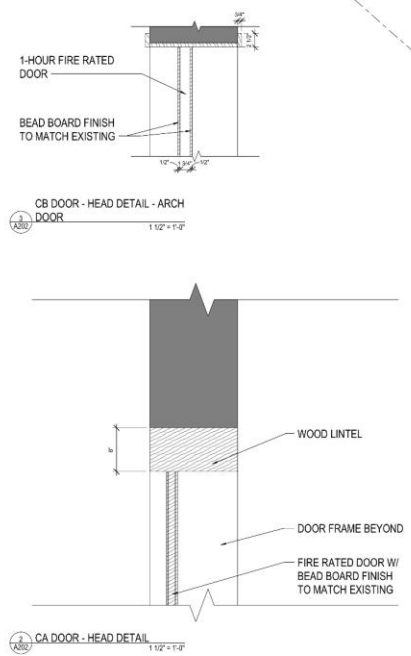
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PHOTOS OF PREVIOUS ARCHED DOOR & WALL OPENING IN COURTYARD



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-REVISIONS-

No.	Date	Scope

DRAWING: COURTYARD ELEVATION
 DRAWN BY: JWA
 SCALE: As Indicated
 JOB No.: 15007122
 DATE: 08/14/2022
 Sheet No.

A202





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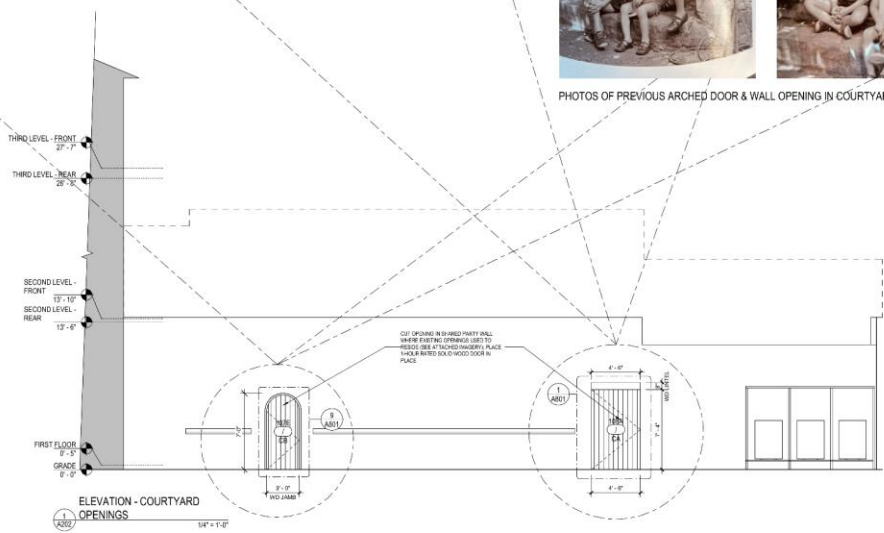
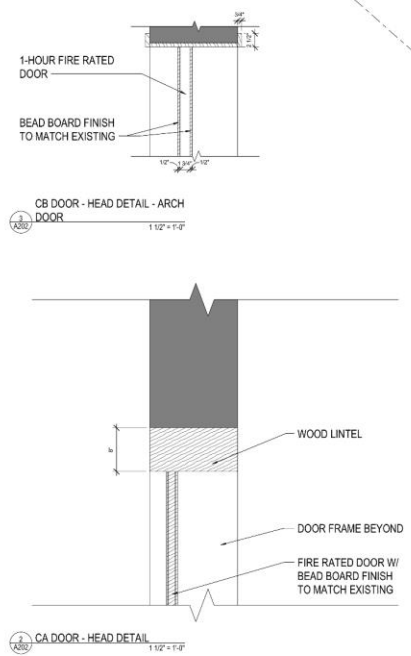
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730 ST. PETER SIDE OF COURTYARD WALL

726 ST. PETER SIDE OF COURTYARD WALL



PHOTOS OF PREVIOUS ARCHED DOOR & WALL OPENING IN COURTYARD



RENOVATION - RESTAURANT & PHF
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-REVISIONS-

No.	Date	Scope

DRAWING COURTYARD ELEVATION
 DRAWN BY: JWA
 SCALE: As Indicated
 JOB No.: 15007122
 DATE: 08/15/2022
 Sheet No:

A202





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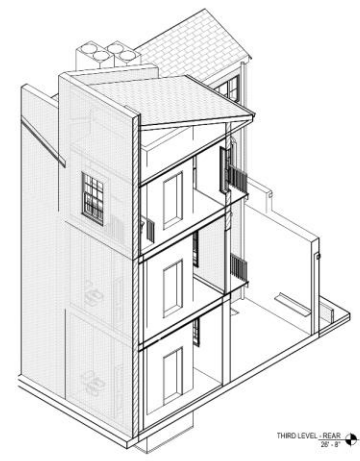
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-REVISIONS-

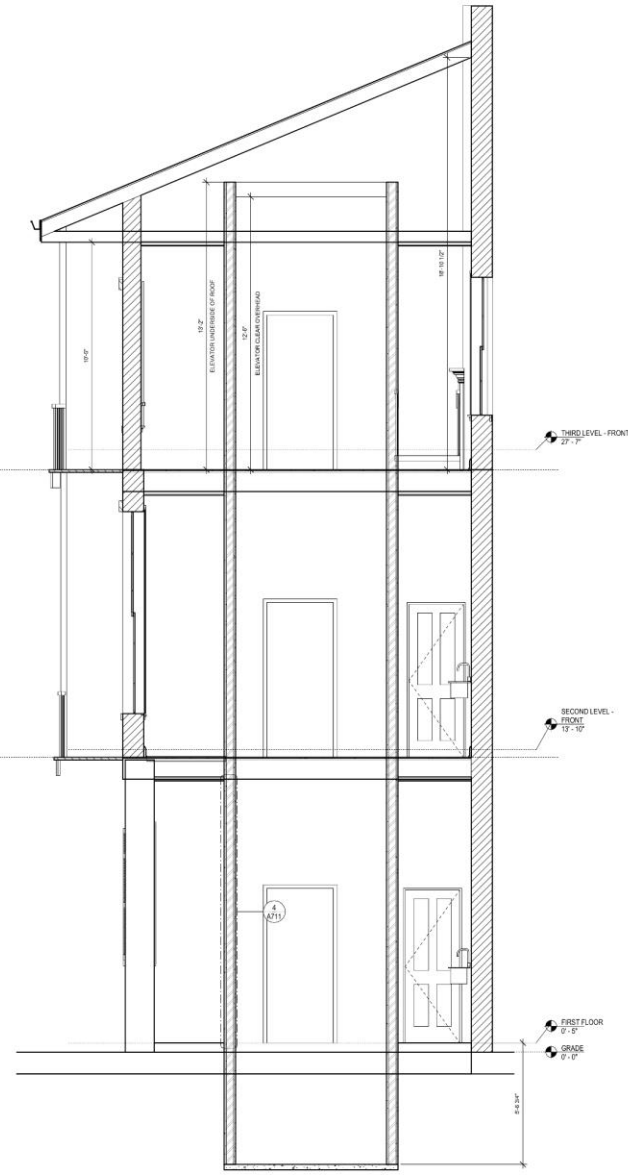
No.	Date	Scope

DRAWING
 PROPOSED ELEVATOR
 DETAILS
 DRAWING BY: TN
 SCALE: 1/2" = 1'-0"
 JOB No: 03007012
 DATE: 08/14/2012
 Sheet No:

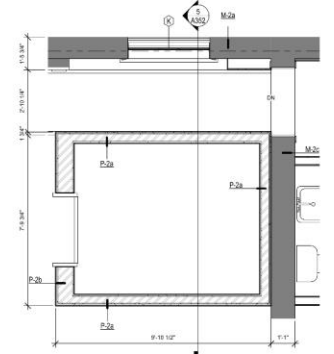
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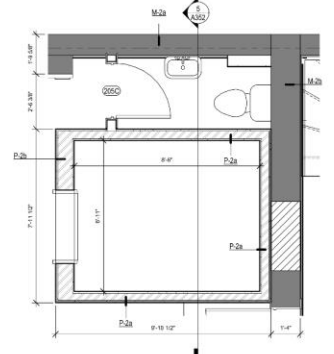
3D VIEW - ELEVATOR SHAFT



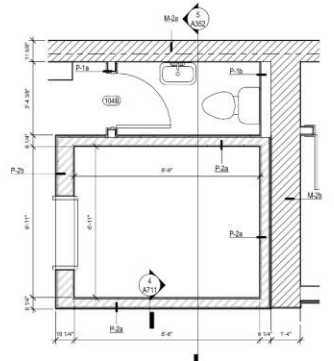
SECTION - ELEV. SHAFT
 1/2" = 1'-0"



THIRD FLOOR PLAN - ELEV. SHAFT
 1/2" = 1'-0"



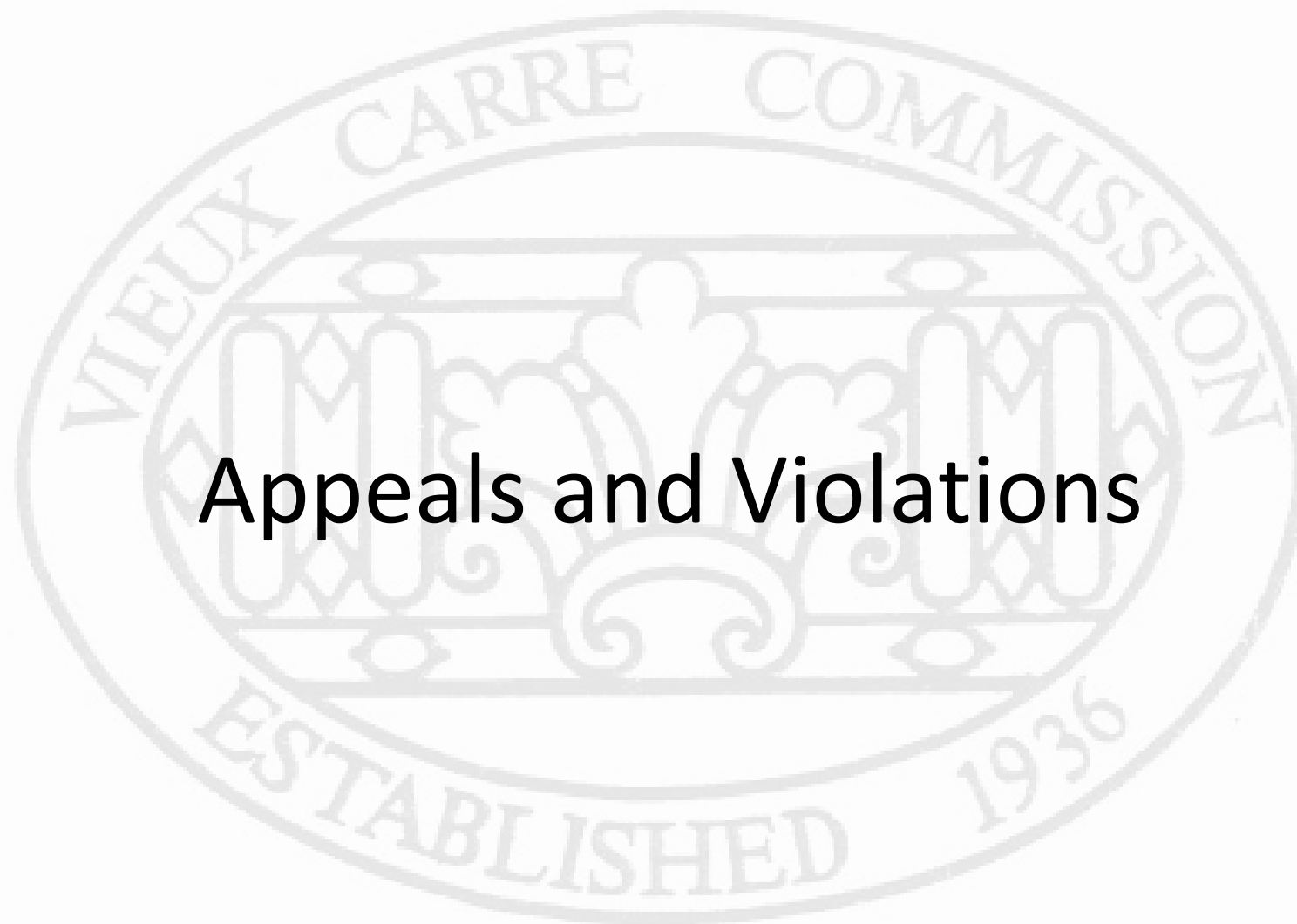
SECOND FLOOR PLAN - ELEV. SHAFT
 1/2" = 1'-0"



FIRST FLOOR PLAN - ELEV. SHAFT
 1/2" = 1'-0"

2:\10203\14461\PM - A352.dwg 7/20/12 5:10:47 PM B:\Plan\730 St Peter\730.dwg





Appeals and Violations



625 Dauphine
Deferral Requested by Applicant



905 Royal
Deferral Requested by Applicant