

Vieux Carré Commission Meeting

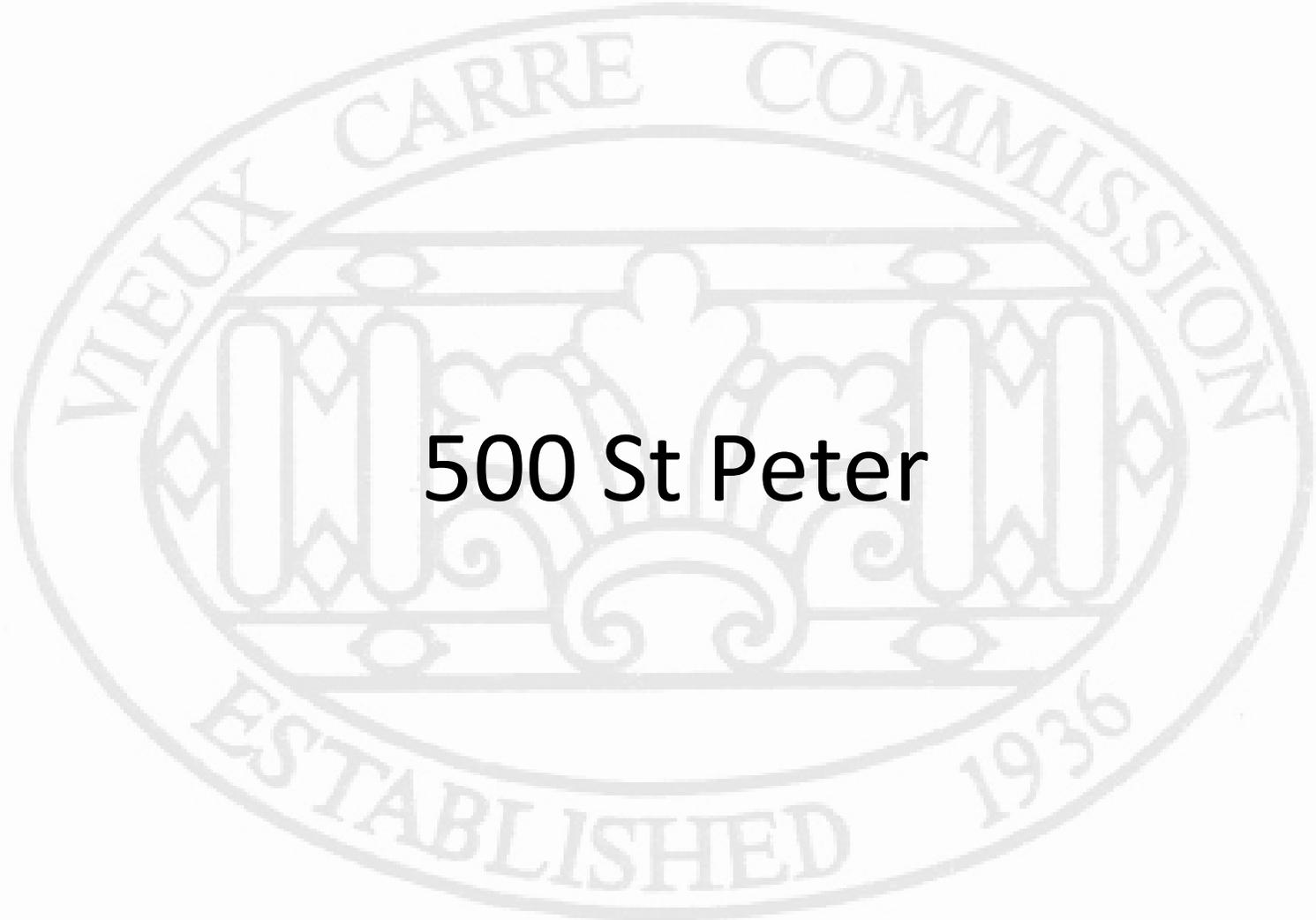
Wednesday, July 23, 2025



Chairperson's Report



Old Business



500 St Peter



500 St Peter

Vieux Carré Commission

July 23, 2025





500 St Peter

Vieux Carré Commission

July 23, 2025





500 St Peter

Vieux Carré Commission

July 23, 2025





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Vieux Carré Commission

July 23, 2025



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION 500 ST. PETER STREET NEW ORLEANS, LA 70116

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Company Name Street Address City, State Phone Number

GENERAL CONSTRUCTION NOTES

- 1. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. PROTECTION GENERALLY INVOLVES THE LEAST DEGREE OF INTERVENTION AND IS PREPARATORY TO OTHER WORK. PROTECT TO MAINTAIN THE CHARACTER OF MATERIALS AND FEATURES IN THE CONSTRUCTION SCOPE, AS WELL AS ENSURING THAT THE PROPERTY IS PROTECTED DURING AND AFTER CONSTRUCTION. AN ORIGNAL EVALUATION OF THE PHYSICAL CONDITION OF THE EXISTING HISTORIC FEATURES FROM THE CONSTRUCTION SCOPE SHOULD BE OBTAINED PRIOR TO THE START OF WORK.
2. CLEANING HISTORIC MASONRY SHALL BE LIMITED TO HALT DETERIORATION OR REMOVE HEAVY SOILING. ADDITIONAL INFORMATION INCLUDED IN THE DRAWINGS AND SPECIFICATIONS WITH HISTORIC MASONRY CLEANING OF MORE INFORMATION.
3. CLEANED MASONRY SURFACES WITH THE GENTLEST METHOD POSSIBLE, SUCH AS USING LOW-PRESSURE WATER AND DETERGENT AND NATURAL BRUSHES OR OTHER SOFT BRUSHES.
4. USE A DEGRADABLE OR ENVIRONMENTALLY SAFE CLEANING OR PAINT REMOVAL PRODUCTS INCLUDED IN PRESCRIPTION SECTION AND HISTORIC MASONRY CLEANING.
5. USE PAINT GENERAL METHODS THAT EMPLOY A POLYESTER TO WHICH PAINT ADHERES, WHEN POSSIBLE, TO REMOVE AND SAFELY REMOVE LEAD PAINT. PAINT REMOVAL METHODS ARE INCLUDED IN HISTORIC MASONRY SPECIFICATION AND IN ARCHITECTURAL SPECIFICATION SECTION 012410. HISTORIC MASONRY CLEANING. SEE LIST SPECIFICATION FOR MORE INFORMATION.
6. USE CALCAREO THAT ENCAPSULATE LEAD PAINT ON AREAS OF THE WORK THAT ARE INDICATED TO REMAIN IN THE PROJECT SCOPE. SUCH AS ALL EXTERIOR FLOOR SLABS, CHIMNEYS AND UNPAINTED SURFACES IN HISTORIC COURTYARD C.Y. 111. THESE SURFACES ARE DESCRIBED TO BE PREPARED, PRIMED AND FINISHED USING METHODS IN ACCORDANCE WITH THE HAZARDOUS MATERIALS SPECIFICATIONS. ENVIRONMENTAL REGULATIONS AND HISTORIC TREATMENTS INCLUDED IN THE ARCHITECTURAL SPECIFICATIONS.
7. 20% FINISHING REPAIRS FOR THE ENTIRE HEIGHT OF UNPAINTED MASONRY PARTY WALLS EXTENDING PAST THE ROOF AND IS ALSO REQUIRED FOR ALL CHIMNEYS.
8. REPAIRABLE UP TECHNICAL SPECIFICATION AND SOLI REMEDIATION TECHNICAL SPECIFICATION WHEN PERFORMING UP CONSTRUCTION. INTERFERENCE REMOVAL AND REMOVAL OF ORGANIC GROWTH. THIS INFORMATION IS TO BE USED IN ADDITION TO UP ERECTING PART. REMOVE TECHNIQUES DESCRIBED IN THE SPECIFICATIONS.
9. REMOVE STRENGTHENING AND REPAIRS TO BE MADE BY WELDED REINFORCING JOINTS TO AVOID DAMAGING THE BOUND JOINTS MASONRY.
10. USE POWER TOOLS ONLY ON HORIZONTAL JOINTS OF BRICK MASONRY IN CONSTRUCTION WITH WELDED JOINTS TO REMOVE JOINT VORTAR THAT IS DETERIORATED OR IS A HISTORIC MATERIAL. BRICK IS BEING DAMAGED TO THE EXISTING MASONRY UNITS. MECHANICAL TOOLS SHOULD BE USED ONLY BY SKILLED MACHINE LIMITED CIRCUMSTANCES AND GENERALLY NOT ON BRICK. VERTICAL JOINTS IN BRICK MASONRY.
11. DUPLICATE HISTORIC MORTAR JOINTS IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE WHEN NECESSARY. IN SOME CASES, A LIME BASED MORTAR MAY ALSO BE CONSIDERED WHEN REPAIRING PORTLAND CEMENT MORTAR JOINTS BECAUSE IT IS MORE FLEXIBLE.
12. SOUND IMPACT ALL AREAS OF EXISTING STUCCO. REPAIR AREAS OF STUCCO THAT ARE CRACKED, CHIPPED OR DAMAGED. PRIME AND PATCH OVER NEW STUCCO BY APPLYING "D" DAMAGED MATERIAL AND PATCHING WITH NEW MATERIAL THAT MATCHES THE HISTORIC STUCCO IN COMPOSITION, COLOR, AND TEXTURE. USE UNIT PRICE AND ALLOWANCES AS INDICATED IN THE SPECIFICATIONS FOR REPAIR.
13. COPPER SOLIDIFIED BRASS BEARING SIGNS OF CRACKS ARE TO BE REPAIRED THROUGHOUT THE ENTIRE PROJECT SCOPE AS A GENERAL REQUIREMENT. REFER TO SHEET A-8.1 AND SECTION 01200 ALTERNATES IN THE SPECIFICATIONS FOR A.L.T. SCHEDULE OF WORK DESCRIBING PAINTING REPAIRS INSIDE THE UPPER APARTMENTS LEVELS 1-4.
14. THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING, PRIMING AND PAINTING ALL PUBLIC CORRIDOR WALLS, CEILING AND EXPOSED MEP COUENTS THAT LEAD TO THE FIRST FLOOR COURTYARD AREAS AND UPPER LEVEL APARTMENTS LEVELS 1-4. REFER TO SHEET A-8.0 FOR TYPICAL EXISTING CONDITIONS.

GENERAL ROOF NOTES

- 1. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN MATERIALS ADJACENT TO OR IN CONTACT WITH CONSTRUCTION SCOPE THROUGHOUT THE DURATION OF CONSTRUCTION. EXISTING, RETAIN AND PRESERVE POOFS IN THE CONSTRUCTION SCOPE AND THEIR FUNCTIONAL AND DECORATIVE FEATURES.
2. PROTECT AND MAINTAIN ROOFS DURING CONSTRUCTION BY CLEANING GUTTERS AND DOWNSPUTS TO MAINTAIN UNOBSTRUCTED DRAINAGE. KEEP ALL DRAINAGE COMPONENTS CLEAR FROM CONSTRUCTION DEBRIS. AFTER EXISTING ROOFING MATERIALS ARE REMOVED INCLUDING THE EXISTING UNDERLAYMENT, CONTACT ARCHITECT TO REVIEW THE CONDITION OF THE EXISTING DRAINING. REPAIR EXISTING DRAINING AS REQUIRED USING THE ALLOWANCES AND UNIT COST INDICATED IN THE SPECIFICATIONS. ANY OBSERVED INDICATIONS OF VENTURE LEAKS FROM CONDENSAT OR RAIN SHOULD BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE BUILDING DURING THE ROOF REPAIRS. USE TEMPORARY BARRIERS AS REQUIRED WHILE REPAIRS ARE IN PROGRESS. LIMIT ROOF REPAIRS BY QUADRANT. DO NOT START ON A SEPARATE QUADRANT UNTIL THE PREVIOUS QUADRANT IS COMPLETED.
3. PROTECT ADJACENT ROOF AND HISTORIC FEATURES WHEN WORKING ON OTHER ROOF FEATURES NOT IN SCOPE.
4. REMOVE AND REPLACE COPPER ROOF IN THEIR ENTIRETY, TYPICAL ALL COURTYARDS. REPAIRS INCLUDE BUT ARE NOT LIMITED TO: REPLACING THE COPPER ROOF AND MATCHING THE EXISTING MATERIALS TYPE, THICKNESS, TEXTURE AND FINISH. ALL STANDING SEAM SEAMS MUST BE FOLDED OVER AND CRIMPED.
5. REMOVE AND REPLACE UPPER SLATE ROOFS OUTSIDE OF COURTYARDS REQUEST THE PERIMETER OF THE BUILDING IN THEIR ENTIRETY. REPAIRS INCLUDE BUT ARE NOT LIMITED TO: REPLACING THE SLATE ROOF AND UNDERLAYMENT MATCHING THE EXISTING MATERIALS TYPE, THICKNESS, TEXTURE AND FINISH.
6. REPAIR DAMAGED PORTIONS OF SLATE ROOFS INSIDE COURTYARDS WITH MATERIALS THAT MATCH THE EXISTING SLATES TYPE, TEXTURE, THICKNESS AND FINISH.
7. REPAIR EXISTING GUTTERS AND DOWNSPOUTS. THE NEW GUTTERS AND DOWNSPOUTS ARE TO BE RECESSED TO ACCOMMODATE STORM WATER DRAINAGE MATERIALS (AND PARTNERS) ARE TO MATCH THE EXISTING GUTTER AND DOWNSPOUT TYPES, TEXTURES AND FINISHES.
8. ALL EXISTING CAST IRON BOOTS IN THE COURTYARDS ARE TO BE REPLACED WITH NEW WHITE CAST IRON BOOTS.
9. ALL SUBSURFACE DRAINAGE IN THE COURTYARDS IS TO BE REMOVED. ALL NEW SUBSURFACE DRAINAGE SHALL BE 2" DIA. WITH A 1/2" DIA. 1/2" DIA. DIAMETER.
10. REPAIR EXISTING ALL SUB-SURFACE DRAINAGE FROM COURTYARDS TO PUBLIC WAY. TYPICAL IN ALL COURTYARDS. PROVIDE VIDEO INSPECTION FROM OWNERS AND ARCHITECTS BEFORE.
11. SNAGGE CLOSED SUB-SURFACE DRAINAGE REMOVING ALL DEBRIS AND CLOSING OBSTRUCTING DRAINAGE.



1 OVERALL PLAN - FIRST FLOOR 0.00 SCALE: 1/8" = 1'-0"

PLAN LEGEND



* OWNERS/TENANTS NEED CLEAR ACCESS TO LIFE SAFETY CONTROLS & ELECTRICAL CLOSETS AT ALL TIMES TYPICAL THROUGHOUT THE BUILDING. SEE PLANS ABOVE.
** COURTYARDS CY 106, CY 108, CY 109, CY 110, CY 111, CY 112, CY 113, CY 114, & CY 111 ARE POSSIBLE LOCATIONS FOR MATERIALS LAY DOWN, COORDINATE A VERIFY WITH OWNER.
*** THE CONTRACTOR IS REQUIRED TO PRESENT A TEMPORARY COOLING PLAN FOR CONDITIONING THE FIRST FLOOR COMMERCIAL TENANTS THAT ARE CONNECTED TO THE EXISTING COOLING. THE TEMPORARY COOLING PLAN IS TO BE REVIEWED BY THE OWNER AND ARCHITECT PRIOR TO IMPLEMENTATION. THIS PLAN IS TO INCLUDE THE LOCATION OF UNIT OFF UNITS, NUMBER OF TEMPORARY EQUIPMENT UNITS, TEMPORARY EQUIPMENT SIZES, AND ASSOCIATED TEMPORARY PIPING/POWER DIAGRAMS (SEE SECTION 01.300 SUBMITTAL PROCEDURES FOR MORE INFORMATION). INCLUDE THE RESULTS OF TEMPORARY COOLING PLAN SITE UTILIZATION PLAN DESCRIBED IN SECTION 01.300 TEMPORARY FACILITIES AND CONTROLS.



2 OVERALL PLAN - ROOF PLAN 0.00 SCALE: 1/8" = 1'-0"

ROOF MATERIAL LEGEND

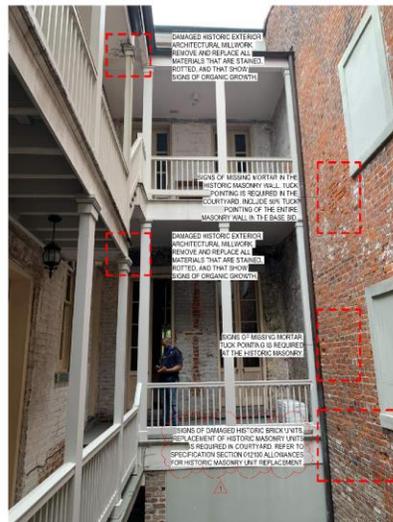
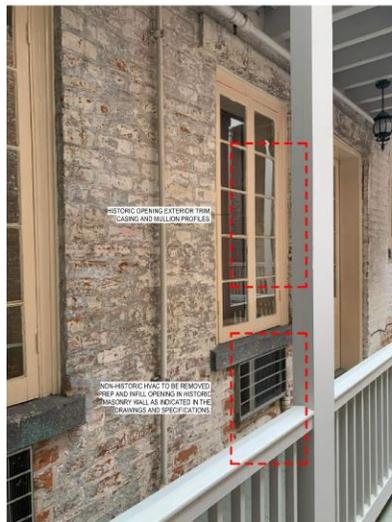
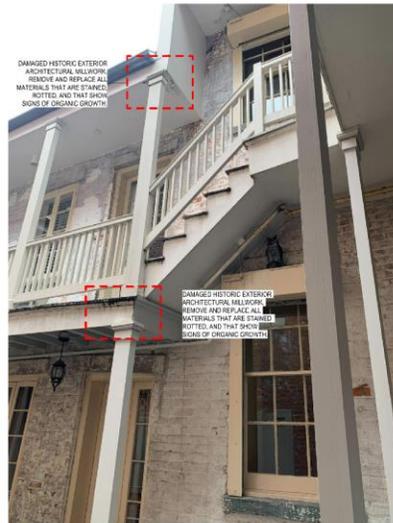
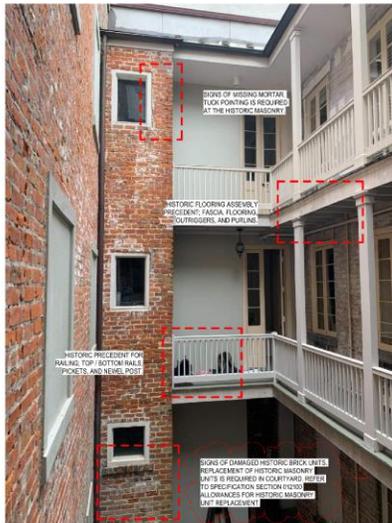


KEY PLAN



G0.04





COURTYARD 11 - EXISTING PRECEDENT

- COURTYARD 11 QUALIFIES AS A HISTORIC EXISTING CONDITION LIMITED ALTERATIONS TO THE SPACE HAS OCCURRED SINCE THE UPPER PONTALIS BUILDING'S ORIGINAL CONSTRUCTION DATE. THIS HISTORIC COURTYARD AND ITS HISTORIC COMPONENTS ARE TO BE PRESERVED, RESTORED TO THEIR ORIGINAL CONDITIONS.
- THE HISTORIC BALCONY COMPONENTS IN THIS COURTYARD ARE TO BE USED AS TEMPLATES FOR NEW BALCONY COMPONENTS IN THE ADJACENT COURTYARDS SCHEDULED TO RECEIVE NEW EXTERIOR ARCHITECTURAL WOODWORK. THESE COMPONENTS INCLUDE: RAILING, COLUMNS (INCLUDING BASES AND CAPS), FASONS, FLOORING, PURLINS, OUTRIGGERS AND EXTENSIVE OPENING TRIM.
- SHOP DRAWINGS ARE REQUIRED DETAILING THE COMPONENTS DESCRIBED ABOVE AND AS INDICATED IN THE SPECIFICATIONS FOR THE ARCHITECT TO REVIEW PRIOR TO STARTING ANY WORK IN THIS AREA.
- LIP TECHNICAL SPECIFICATION AND MOULD RENOVATION TECHNICAL SPECIFICATION INCLUDES INSTRUCTIONS ON PERFORMING LIP CONSTRUCTION INTERFERENCE REMOVAL FOR PAINT AND PERFORMING REMOVAL OF ORGANIC GROWTH. REFER TO THESE DOCUMENTS PRIOR TO PERFORMING ANY DEMOLITION.
- CLEANING AND REPAIRS OF THE HISTORIC CONDITIONS ARE TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR HISTORIC PRESERVATION. REFER TO THE DRAWINGS AND SPECIFICATIONS FOR FULL SCOPE OF WORK.

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Street Address
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Phone Number



REVISION #	DESCRIPTION	DATE
1	ADD	12/18/24

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PROJECT NUMBER: CN20096
ISSUE DATE: 12/18/24

HISTORIC / EXISTING PHOTOGRAPHY

G0.05





GENERAL DEMOLITION NOTES

1. LIP TECHNICAL SPECIFICATION, MOIST REMEDIATION TECHNICAL SPECIFICATION, AND ARCHITECTURAL SPECIFICATIONS INCLUDE GUIDELINES FOR PERFORMING LIP CONSTRUCTION INTERFERENCE REMOVAL, PERFORMING REMOVAL OF ORGANIC GROWTH, TREATMENT AND CLEANING OF HISTORIC PLASTER, TREATMENT AND CLEANING OF HISTORIC MASONRY, AND TREATMENT AND CLEANING OF HISTORIC ARCHITECTURAL, WOODWORK, GLASS, REPAIRS AND TUCK POINTING OF ALL HISTORIC MATERIALS. ALL TO BE MET THE REQUIREMENTS OF THE INTERIM STANDARDS FOR HISTORIC PRESERVATION, CLEAN, SAFE, PATCH-TUCK POINT, AND PREP ALL EXTERIOR HISTORIC SURFACES TO BE REPAIRED TO RECEIVE FINAL FINISHES INDICATED IN THE SPECIFICATIONS.
2. SURFACES INCLUDE HISTORIC WOOD SLAB BASES, HISTORIC EXTERIOR PLASTER SUBSTRATES, AND HISTORIC METAL SUBSTRATES.
3. THE SCOPE OF WORK INCLUDES ALL EXTERIOR COURTYARD SPACES AT THE FIRST FLOOR.

REPAIR/RENOVATION NOTES OF EXISTING PLAN

TYPE MARK	REMARKS
01	VIDEO INSPECT ALL SUBSURFACE STORM DRAINAGE FROM COURTYARD TO PUBLIC WAY 7" MIN. IN ALL COURTYARDS. PROVIDE VIDEO INSPECTION FOR DRAINAGE AND ARCHITECT'S REVIEW. SHAVE LOGGED SUBSURFACE DRAINAGE REMOVING ALL DEBRIS AND CLOGS (RESTRICTIVE DRAINAGE).
F2	PROTECT EXISTING HISTORIC FINISH FLOOR SURFACE THROUGHOUT THE DURATION OF THE CONSTRUCTION.
F3	PROTECT EXISTING FINISHES, FIXTURES, AND EQUIPMENT REMOVE EXISTING PAVERS AND SUBSTRATE TO REPLACE SUBSURFACE FINISH.
02	REMOVE EXISTING NON-HISTORICAL WINDOW.
03	PROTECT EXISTING OPENINGS THROUGHOUT THE DURATION OF CONSTRUCTION.
04	PREP HULL FOR FLASHING AND PIPE SLEEVES PENETRATIONS. REFER TO MEP FOR PIPE DIAMETER AND RIGGING DIAGRAMS. INSTALL NEW PIPING TO THE EXISTING HULLS TO EXISTING DRAINAGE. PROVIDE SHOP DRAWINGS TO COORDINATE ALL MEP COMPONENTS PRIOR TO THE DEMOLITION WORK.
05	PREP FLOOR FOR FLASHING AND PIPE SLEEVES PENETRATIONS. REFER TO MEP FOR PIPE DIAMETER AND RIGGING DIAGRAMS. INSTALL NEW PIPING TO THE EXISTING HULLS TO EXISTING DRAINAGE. PROVIDE SHOP DRAWINGS TO COORDINATE ALL MEP COMPONENTS PRIOR TO THE DEMOLITION WORK.
06	REMOVE ALL EXISTING COPPER DOWNSPOUTS AND CAST IRON BOOTS AND REPLACE WITH LARGER COPPER DOWNSPOUTS PER PLAN DESIGNATION SIZE WITH A MINIMUM OF THREE STRAPS PER 100' LENGTH AND AT ALL SEAMS.
07	PORTION OF EXISTING WALL TO BE DEMOLISHED ENTIRELY 18" MIN. (SEE ALSO IN EXTERIOR FACE OF EXISTING EXTERIOR WALL TO PORTION OF EXISTING WALLS INTERIOR AND EXTERIOR FINISHES TO BE DEMOLISHED DOWN TO STEEL BRACING STUDS IN PLACE IF POSSIBLE. NEW FINISHES AND WATER PROOFING TO BE CONSTRUCTED PER DETAILING.
08	
09	

MATERIAL LEGEND

RM-1 COPPER ROOF (REPLACE ENTIRE ROOF IN KIND)	WB-1 WOOD EXTERIOR TRIM (REFER TO FINISH LEGEND NOTES)
RS-1 NEW SLATE ROOF (REPLACE ENTIRE ROOF IN KIND)	WB-2 WOOD BATTEN BOARD (REFER TO FINISH LEGEND NOTES)
RS-2 SLATE ROOF (REPAIR OR REPLACE IN KIND)	WB-4 WOOD DECORING (REFER TO FINISH LEGEND NOTES)
RP-1 EXG EXTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)	ST-1 EXG FLAGSTONE FLOORING (REFER TO FINISH LEGEND NOTES)
RP-4 EXG INTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)	ST-4 EXG STONE FLOORING (REFER TO FINISH LEGEND NOTES) AT UPPER FLOORS
RS-4 OVER OR OVERLAY BOARD (REFER TO FINISH LEGEND NOTES) (OVER FLUTE, FRASE AND POINT)	ST-3 NEW FLAGSTONE (REFER TO FINISH LEGEND NOTES)
RE-4 EXG EXTERIOR BRICK (TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE 5/16" TUCK POINTING OF THE ENTIRE MASONRY WALL IN THE BASE BIC)	

DEMO LEGEND

	EXISTING CONSTRUCTION
	DEMOLISHED CONSTRUCTION
	PROPOSED CONSTRUCTION
	PORTION OF AREA TO BE REMOVED
	PROTECT EXISTING HISTORIC FLOOR

KEY PLAN



TRAPLOIN PEER ARCHITECTS

CONSTRUCTION DOCUMENTS

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Street Address
City, State
Phone Number



REVISION # DESCRIPTION DATE

PROJECT NUMBER: CH20096
ISSUE DATE: 12/18/24

QUAD 1 - DEMO PLANS

AD2.10





QUAD 2 - FIRST FLOOR - DEMO
SCALE: 3/16" = 1'-0"

GENERAL DEMOLITION NOTES

- LIP TECHNICAL SPECIFICATION, MOJO REMEDIATION TECHNICAL SPECIFICATION, AND ARCHITECTURAL SPECIFICATIONS INCLUDE GUIDELINES FOR PERFORMING LIP CONSTRUCTION INTERFERENCE REMOVAL, PERFORMING REMOVAL OF ORGANIC GROWTH, TREATMENT AND CLEANING OF HISTORIC PLASTER, TREATMENT AND CLEANING OF HISTORIC MASONRY, AND TREATMENT AND CLEANING OF HISTORIC ARCHITECTURAL, VEGGWORK, CEILING, REPAIRS AND TUCK POINTING OF ALL HISTORIC MATERIALS. AS ARE TO MEET THE REQUIREMENTS OF THE REFERRED STANDARDS FOR HISTORIC PRESERVATION, CLEAN, SAND, 24"x24" TUCK POINT, AND PREP ALL EXTERIOR HISTORIC SURFACES IN CONFORMANCE WITH THE FINISHES INDICATED IN THE SPECIFICATIONS.
- SURFACES INCLUDE HISTORIC WOOD SUBSTRATES, HISTORIC EXTERIOR PLASTER SUBSTRATES, AND HISTORIC METAL SUBSTRATES.
- THE SCOPE OF WORK INCLUDES ALL EXTERIOR COURTYARD SPACES AT THE FIRST FLOOR.

REPAIR/NOTE NOTES, Q2 EXISTING PLAN LEVEL 1

TYPE / MARK	REMARKS
C1	EXISTING METAL COLUMN TO REMAIN. PROTECT THROUGHOUT THE DURATION OF CONSTRUCTION.
D1	NEED PROTECT ALL SUB-SURFACE STORAGE DRAINAGE FROM COURTYARD TO PUBLIC WAY - 1" PIPES IN ALL COURTYARDS. PROVIDE VIDEO PROTECTION FOR THESE AND ARCHITECT'S REVIEW. DRAINAGE LOGGED. SUB-SURFACE DRAINAGE REMOVING ALL DEBRIS AND GROSS DISTURBING DRAINAGE.
E1	DEMOLISH EXISTING EQUIPMENT IN HVAC EQUIPMENT ROOM. REFER TO MECH FOR MORE INFO.
F2	PROTECT EXISTING HISTORIC FINISH FLOOR SURFACE THROUGHOUT THE DURATION OF THE CONSTRUCTION.
F3	PROTECT EXISTING FINISHES, FIXTURES, AND EQUIPMENT.
F4	DEMOLITION EXISTING RAISED SLAB WITHIN MECHANICAL EQUIPMENT ROOMS/STREILY.
F5	DEMOLITION ENTIRETY OF EXISTING CONCRETE SLAB WITHIN MECHANICAL EQUIPMENT ROOM. PROTECT ADJACENT MASONRY WALLS DURING DEMOLITION.
F6	REMOVE ACoustICAL PANELS ON WALL AND CEILING AND PREP SURFACE NEW ACoustICAL PANELS.
F7	DEMOLITION PORTION OF EXISTING WALL TO PLACE CONDENSATE LINE. REF TO MECH TO CONNECT TO EXISTING DRAINAGE LINE.
F8	REMOVE EXISTING PAVERS AND SUBSTRATE TO REPLACE SUBSURFACE DRAINAGE.
Q2	PROTECT EXISTING OPENING THROUGHOUT THE DURATION OF CONSTRUCTION.
Q3	REMOVE EXISTING NON-HISTORIC COVERED OPENING. PREP EXISTING ROOF OPENING FOR NEW COVERED DOOR.
PP1	PREP WALL FOR PLUMBING AND PREP SLEEVE PENETRATIONS. REFER TO MECH FOR PIPE DIAMETER AND HIG ZING DIAGRAMS. INSTALL NEW BRICK THAT IS MINIMALLY DISTURBS EXISTING OPERATIONS. PROVIDED SHOP DRAWINGS TO COORDINATE ALL MEP COMPONENTS PRIOR TO PERFORMING WORK.
PP2	PREP FLOOR FOR PLUMBING AND PIPE SLEEVE PENETRATIONS. REFER TO MECH FOR PIPE DIAMETER AND HIG ZING DIAGRAMS. INSTALL NEW BRICK THAT IS MINIMALLY DISTURBS EXISTING OPERATIONS. PROVIDED SHOP DRAWINGS TO COORDINATE ALL MEP COMPONENTS PRIOR TO PERFORMING WORK.
RS	REMOVE ALL EXISTING COPPER DOWNPOUTS AND CAST IRON SCOUTS AND REPLACE WITH LARGER COPPER DOWNPOUT PER PLAN DESIGNATION SEE WITH A MINIMUM OF 3-INCH STRIPS PER 10' LENGTH AND AT ALL SEAMS.

MATERIAL LEGEND

WB-1: COPPER ROOF REPLACE ENTIRE ROOF IN KIND	WD-1: WOOD EXTERIOR TRIM REFER TO FINISH LEGEND NOTES
WB-2: BRASS SLATE ROOF REPLACE ENTIRE ROOF IN KIND	WD-2: WOOD BATTEN BOARD REFER TO FINISH LEGEND NOTES
WB-3: SLATE ROOF REMOVE OR REPLACE IN KIND	WD-3: WOOD DECKING REFER TO FINISH LEGEND NOTES
EP-1: EXG EXTERIOR PLASTER REFER TO FINISH LEGEND NOTES	ST-1: EXG FLAGSTONE FLOORING REFER TO FINISH LEGEND NOTES
EP-2: EXG INTERIOR PLASTER REFER TO FINISH LEGEND NOTES	ST-2: EXG STONE FLOORING AT UPPER FLOORS
SB-1: INTERIOR GYPHISH BOARD REFER TO FINISH LEGEND NOTES (TYPE, FLOOR, PANE AND PINK)	ST-3: NEW FLAGSTONE REFER TO FINISH LEGEND NOTES
FB-1: EXG EXTERIOR BRICK TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE 3/16" TUCK POINTING OF THE ENTIRE MASONRY WALL IN THE BASE BID.	

DEMO LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED
- PROTECT EXISTING HISTORIC FLOOR

KEY PLAN

PLAN NORTH

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COMPANY NAME: Street Address, City, State, Phone Number

REVISION # | DESCRIPTION | DATE

1 | QUAD 2 - DEMO PLANS | AD2.21

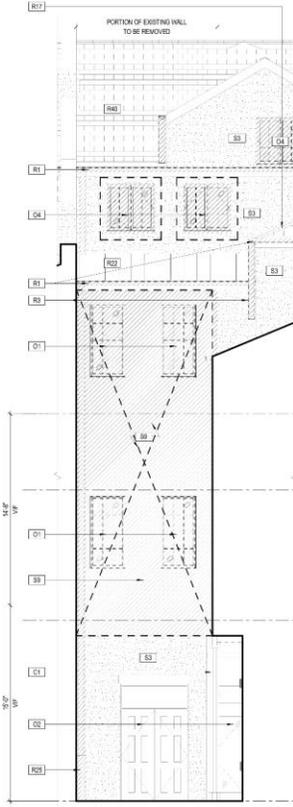
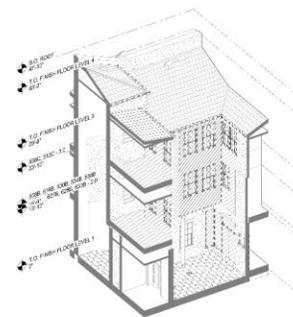
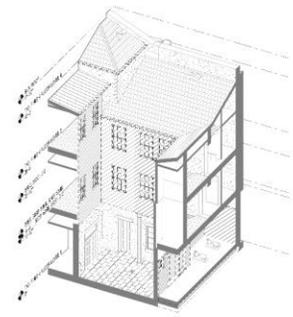
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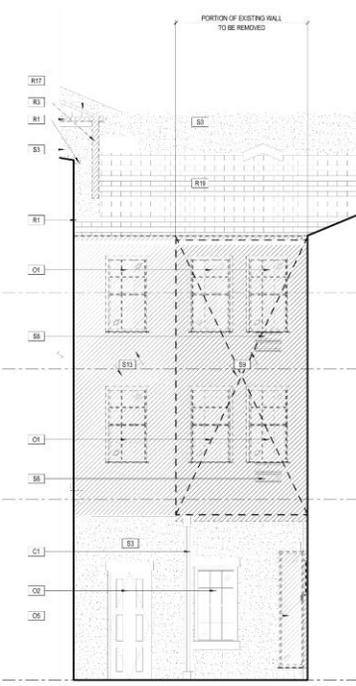
GENERAL DEMOLITION NOTES

1. LIFT TECHNICAL SPECIFICATION MOLD REMEDIATION TECHNICAL SPECIFICATION AND ARCHITECTURAL SPECIFICATIONS INCLUDE GUIDELINES FOR PERFORMING LIFT CONSTRUCTION INTERFERENCE REMOVAL, PREP ORANGE REMOVAL OF ORGANIC GROWTH, TREATMENT AND CLEANING OF HISTORIC PLASTER, TREATMENT AND CLEANING OF HISTORIC MASONRY, AND TREATMENT AND CLEANING OF HISTORIC ARCHITECTURAL WOODWORK. CLEANING, REPAIRING AND TUCK POINTING OF ALL HISTORIC MATERIALS ARE TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR HISTORIC PRESERVATION CLEAR COAT RESTORATION TECHNIQUE, AND PREP ALL EXTERIOR HISTORIC SURFACES IN COURTYARD TO RECEIVE FINAL PAINT FINISHES INDICATED IN THE SPECIFICATIONS.
2. SURFACES INCLUDE HISTORIC WOOD SUBSTRATES, HISTORIC EXTERIOR PLASTER SUBSTRATES, AND HISTORIC METAL SUBSTRATES.
3. THE SCOPE OF WORK INCLUDES ALL EXTERIOR COURTYARD SPACES AT THE FIRST FLOOR.



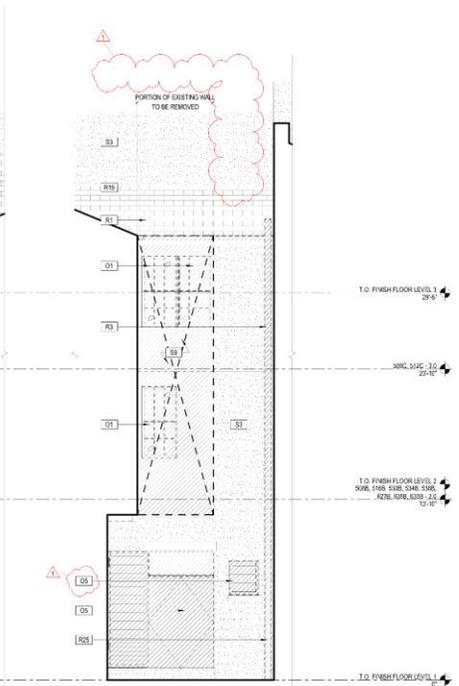
1 COURTYARD 4 - SOUTH - DEMO
AD4.24 SCALE: 1/8" = 1'-0"

4 COURTYARD 4 - DEMO AXON, SE
AD4.24 SCALE:



2 COURTYARD 4 - WEST - DEMO
AD4.24 SCALE: 1/8" = 1'-0"

5 COURTYARD 4 - DEMO AXON, SW
AD4.24 SCALE:



3 COURTYARD 4 - NORTH - DEMO
AD4.24 SCALE: 1/8" = 1'-0"

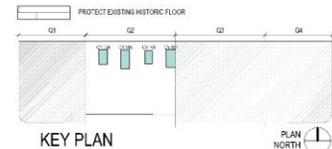
TYPE (MARK)	REMARKS
C1	EXISTING METAL COLUMN TO REMAIN. PROTECT THROUGHOUT THE DURATION OF CONSTRUCTION.
O1	REMOVE EXISTING NON-HISTORICAL WINDOW.
O2	PROTECT EXISTING OPENING THROUGHOUT THE DURATION OF CONSTRUCTION.
O3	REPAIR EXISTING HISTORIC OPENING AS INDICATED IN DRAWINGS. EXISTING PLASTER SUBSTRUCTURES OPENING IS TO BE REPAIRED AS NEEDED AFTER REPAIRS ARE COMPLETE.
O4	REMOVE EXISTING NON-HISTORICAL, LOUVERED OPENING. PREP EXISTING ROUGH OPENING FOR NEW LOUVERED DOOR.
R1	REMOVE EXISTING COPPER GUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND GUTTER PER P. AND DETAIL SECTION R.2. 8" MINIMUM AT 3" O.C. MAX.
R3	REMOVE ALL EXISTING COPPER DOWNSPUTS AND CAST IRON ROOTS AND REPLACE WITH LARGER COPPER DOWNSPUT FOR PLAN DETAIL ON SIZE (WITH MINIMUM OF THREE STRAP FEET 8" O.C. MAX) AND ALL LEAKS.
R17	REMOVE AND SALVAGE EXISTING "P" RIDGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND MOVE THEM TO MATCH EXISTING PROFILE AND TYPE OF SUBSTRATE.
R18	REMOVE AND SALVAGE EXISTING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR. TYPICAL AT ALL EXISTING CONDITIONS. METAL APPROVED SELF-ANCHORED UNDERLAYMENT UNDER NEW TILES.
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAMS MUST BE FOLDED COVER CHIMES.
R43	INSTALL NEW CAST IRON DOWNPOUT BOOT AS INDICATED IN DRAWINGS.
R45	REMOVE EXISTING SLATE ROOF DOWN TO THE EXISTING OPENING. THE ENTIRE SECTION OF ROOFING IS TO BE REPLACED IN KIND.
S1	ALL EXISTING BRICK IN THE COURTYARD (INCLUDING COVERING AREAS AND EXPOSED) COATED WITH HISTORIC PLASTER SCHEDULED TO REMAIN ARE TO BE BOUNDED AREAS THAT ARE POINTED AND SPALLING REMOVE. AND OR DAMAGED FROM EXISTING WILL BE REMOVED. UNBONDED MASONRY COATINGS EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE REMOVED BACK TO FULLY BOUNDED UNBONDED REACHED. SOUND AND SOFTENED PLASTER WILL BE INSPECTED TO VERIFY MASONRY COATINGS IN GOOD AND STABLE CONDITION. BRICK DAMAGED BY WATER IMPROVED BY THE PLASTER IN BOUNDED AREAS WILL BE SUSPENDED TO STABILIZE THE BRICK AREA. ONCE TUCKPOINTING AND ADEQUATE CRACK REPAIRS HAVE COMPLETED, THESE AREAS WILL BE IRRIGATED WITH WATER TO REMOVE LOOSE PLASTER AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMAGED MASONRY AREA WILL RECEIVE A SLIGHT COAT OF PLASTER MIXTURE TO MAKE A BROAD AND SMOOTH FINISH. FRESH PLASTER WILL BE THE COMPOSITION OUTLINED BY THE VIEW CARE FOR MASONRY MAINTENANCE OF HISTORIC STRUCTURES. OPERATIONS ON THE WEST AND SIDE OF THE REPAIR. IT CAN "ANE MULTIPLE LIFTS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING.
S8	REMOVE EXISTING EX SYSTEM IN ITS ENTIRETY INCLUDING ALL WIRING AND ASSOCIATED CONDUIT. REPAIR PATCH WALL AS INDICATED IN DRAWINGS.
S9	PORTION OF EXISTING WALL TO BE REMOVED. REMOVE WITH NEW TILD TO ALIGN WITH EXTERIOR FACE OF EXISTING DEMOLISHED STUD.
S13	PORTION OF EXISTING WALLS INTERIOR AND EXTERIOR FINISHES TO BE REMOVED DOWN TO STUD. SALVAGE STUDS IN PLACE IF POSSIBLE. NEW FINISHES AND WATER PROOFING TO BE CONNECTED TO PER DETAILING.

MATERIAL LEGEND

- RM-1 COPPER ROOF
(REFER TO FINISH LEGEND NOTES)
- RM-2 SLATE ROOF
(REFER TO FINISH LEGEND NOTES)
- EP-1 EXG EXTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES)
- EP-2 EXG INTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES)
- IS-1 INTERIOR GYPSUM BOARD
(REFER TO FINISH LEGEND NOTES)
- IS-2 NEW PLASTER
(REFER TO FINISH LEGEND NOTES)
- FM-1 EXG EXTERIOR BRICK
(TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE 50% TUCK POINTING OF THE ENTIRE MASONRY WALL IN THE BASE BID.)
- WB-1 WOOD EXTERIOR TRIM
(REFER TO FINISH LEGEND NOTES)
- WB-2 WOOD BATTEN BOARD
(REFER TO FINISH LEGEND NOTES)
- WB-3 WOOD SIDING
(REFER TO FINISH LEGEND NOTES)
- ST-1 EXG FLAGSTONE FLOORING
(REFER TO FINISH LEGEND NOTES)
- ST-2 EXG STONE FLOORING AT UPPER FLOORS

DEMO LEGEND

- EXISTING CONSTRUCTION
- DEMOLISHED CONSTRUCTION
- PROPOSED CONSTRUCTION
- PORTION OF AREA TO BE REMOVED
- PROTECT EXISTING HISTORIC FLOOR



KEY PLAN

PLAN NORTH

FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
 500 ST. PETER STREET
 NEW ORLEANS, LA 70116

FRENCH MARKET CORPORATION
 510 ST. PETERS STREET
 NEW ORLEANS, LA 70139
 504.636.6400

TRAPLOIN PEER
 850 TCHOUPTOULAS ST.
 NEW ORLEANS, LA 70139
 504.582.2772
 www.traploinpeer.com

REVISION #	DESCRIPTION	DATE
1		

PROJECT NAME	PROJECT NUMBER
QUAD 2 - DEMO ELEVATIONS	CN20096
REV. DATE	REV. DATE
12/18/24	

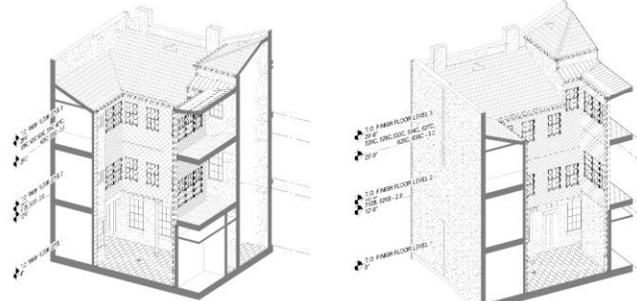
QUAD 2 - DEMO ELEVATIONS

AD4.24



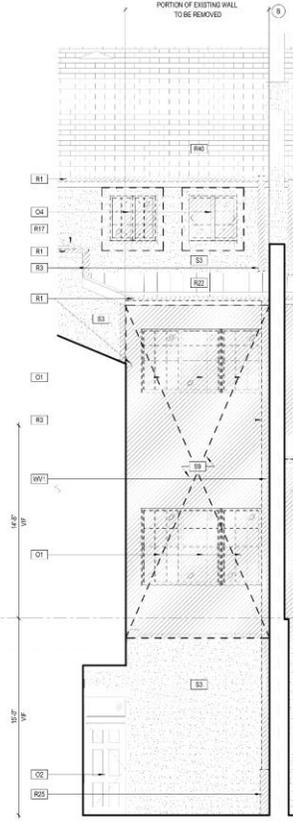
GENERAL DEMOLITION NOTES

1. LBP TECHNICAL SPECIFICATION WOOD REMEDIATION TECHNICAL SPECIFICATION AND ARCHITECTURAL SPECIFICATIONS INCLUDE GUIDELINES FOR PERFORMING LBP CONSTRUCTION. INTERFERENCES REMOVAL, PERFORMING REMOVAL OF ORGANIC GROWTH, TREATMENT AND CLEANING OF HISTORIC PLASTER, TREATMENT AND CLEANING OF HISTORIC MASONRY, AND TREATMENT AND CLEANING OF HISTORIC ARCHITECTURAL WOODWORK. CLEANING, REPAIRING AND TOUCH UP OF ALL HISTORIC MATERIALS ARE TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR HISTORIC PRESERVATION. CLEAN, SAND, PAINT, TOUCH UP, AND PREP ALL EXTERIOR HISTORIC SURFACES IN COURTYARD TO RECEIVE FINAL PAINT FINISHES INDICATED IN THE SPECIFICATIONS.
2. SURFACES INCLUDE HISTORIC WOOD SUBSTRATES, HISTORIC EXTERIOR PLASTER SUBSTRATES, AND HISTORIC METAL SUBSTRATES.
3. THE SCOPE OF WORK INCLUDES ALL EXTERIOR COURTYARD SPACES AT THE FIRST FLOOR.

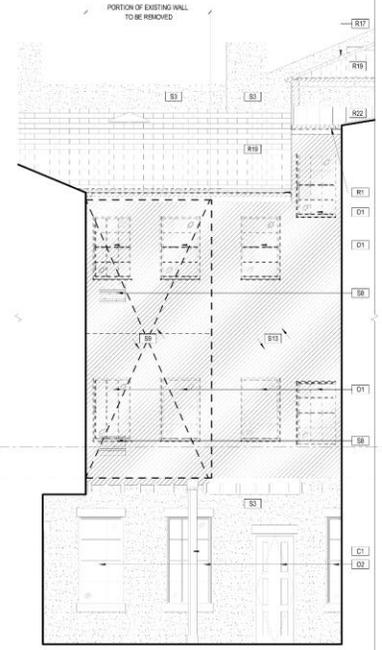


4 COURTYARD TYPE 8 - DEMO AXON, NE SCALE: AD4.38

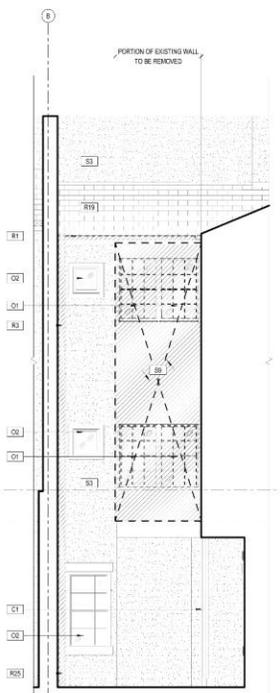
6 COURTYARD TYPE 8 - DEMO AXON, SE SCALE: AD4.38



1 COURTYARD 8 - SOUTH - DEMO SCALE: 1/8" = 1'-0"



2 COURTYARD 8 - EAST - DEMO SCALE: 1/8" = 1'-0"



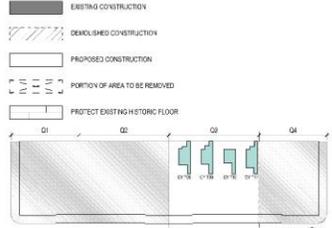
3 COURTYARD 8 - NORTH - DEMO SCALE: 1/8" = 1'-0"

TYPE MARK	REMARKS
C1	EXISTING METAL COLUMN TO REMAIN. PROTECT THROUGHOUT THE DURATION OF CONSTRUCTION.
O1	REMOVE EXISTING NON-HISTORICAL WINDOW.
O2	PROTECT EXISTING OPENING THROUGHOUT THE DURATION OF CONSTRUCTION.
O4	REPAIR EXISTING HISTORIC OPENING TO MEET THE SECRETARY OF THE INTERIORS SURROUNDING OPENING IS TO BE REPAIRED AND RECEIVE FINAL FINISHES AS SPECIFIED.
R1	REMOVE EXISTING COPPER GUTTER AND REPLACE WITH A LARGER COPPER HALF ROUND GUTTER PER PLAN DESIGNATION. SIZE, STAMPED AT 3/8" O.C. RIV.
R2	REMOVE ALL EXISTING COPPER COMPONENTS AND CAST IRON BOOTS AND REPLACE WITH LARGER COPPER DOWNPIPE PER PLAN DESIGNATION. SIZE WITH A MINIMUM OF THREE STAMPED PER 1/2" EACH AND ALL SEAMS.
R17	REMOVE AND SALVAGE EXISTING 1/2" ROUGE TILES. REINSTALL UPON COMPLETION OF THE WORK AND REPAIR AS TO BE CALIBRATED TO MATCH THE EXISTING. THE ENTIRE SECTION OF ROOFING IS TO BE REPAIRED IN KIND.
R19	REPLACE ALL BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR. TYPICAL AT ALL EXISTING CONDITIONS. INSTALL APPROVED SELF ADHERED UNDERLAYMENT UNDER NEW TILES.
R22	REPLACE THE ENTIRETY OF THE COPPER ROOF IN KIND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CRIMPED.
R25	INSTALL NEW CAST IRON DOWNSPOUT BODY AS INDICATED IN DRAWINGS.
R26	REMOVE EXISTING SLATE ROOF DOOR TO THE EXISTING GARAGE. THE ENTIRE SECTION OF ROOFING IS TO BE REPAIRED IN KIND.
S1	ALL EXISTING PLASTER IN THE COURTYARD INCLUDING COVERED AREAS AND ENTIRETY COATED WITH HISTORIC PLASTER SCHEDULED TO REMAIN ARE TO BE REPAIRED. AREAS THAT ARE TO BE REMOVED SHALL BE REMOVED AND REPAIRED FROM THE EXISTING. UNEXPOSED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL WILL BE INSPECTED TO VERIFY MASONRY COATING IS IN GOOD AND STABLE CONDITION. BRICK SUBSTRATE THAT IS EXPOSED BY THE PLASTER REMOVAL PROCESS WILL BE REPAIRED TO STABILIZE THE WALL AREA. ONCE TOUCH UP AND MOVEMENT CRACK REPAIRS HAVE COMPLETED THESE AREAS WILL BE REPAIRED WITH WATER TO LEVEL, LOCK FIELDS AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. DAMAGED MASONRY AREA WILL RECEIVE A FULLY COATED PLASTER AND TO PROMOTE SOME ADHESION WITH FINISH PLASTER. FINISHED PLASTER WILL BE THE COMPOSITION CALIBRATED BY THE VENDOR CARE FOR MASONRY MAINTENANCE OF HISTORIC STRUCTURE. EXPENDING ON THE DEPTH AND SIZE OF THE REPAIR, IT CAN TAKE MULTIPLE LIFTS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING.
S6	REMOVE EXISTING DRAIN SYSTEM IN ITS ENTIRETY INCLUDING ALL WIRING AND ASSOCIATED CONDUIT. REPAIR PATCH WALL AS INDICATED IN DRAWINGS.
S11	PORTION OF EXISTING WALL TO BE REMOVED ENTIRETY. NEW STUD TO ALIGN WITH EXTERIOR FACE OF EXISTING DEMOLISHED STUD.
S13	PORTION OF EXISTING WALLS IN INTERIOR AND EXTERIOR FINISHES TO BE REMOVED DOWN TO STUD. SALVAGE STUD IN PLACE IF POSSIBLE. NEW FINISHES AND WATER PROOFING TO BE CONSTRUCTED TO NEW DETAILS.
WV1	DEVELOP TEMPORARY EXTERIOR PILE WASTE VENT. MAINTAIN ADEQUATE FLOORING VENTING TO THE FIRST FLOOR RES ROOM THROUGHOUT THE DURATION OF CONSTRUCTION.

MATERIAL LEGEND

- RW1 - COPPER ROOF (REPLACE ENTIRE ROOF IN KIND)
- R2 - NEW SLATE ROOF (REPLACE ENTIRE ROOF IN KIND)
- R2.2 - SLATE ROOF (REPAIR OR REPLACE IN KIND)
- EP1 - EXG EXTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)
- IP1 - EXG INTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)
- IS1 - INTERIOR GYP/PLUM BOARD (REFER TO FINISH LEGEND NOTES)
- EB1 - EXG EXTERIOR BRICK TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE 60% TUCK POINTING OF THE EXTERIOR MASONRY WALL IN THE AREA.
- WE1 - WOOD EXTERIOR TRIM (REFER TO FINISH LEGEND NOTES)
- WE2 - WOOD WATER BOARD (REFER TO FINISH LEGEND NOTES)
- WE3 - WOOD EXTERIOR WINDOW (REFER TO FINISH LEGEND NOTES)
- WE4 - WOOD DESKING (REFER TO FINISH LEGEND NOTES)
- WE5 - WOOD STAIR FLOORING AT UPPER FLOORS
- WE6 - NEW FLAGSTONE (REFER TO FINISH LEGEND NOTES)
- FS1 - EXG FLAGSTONE FLOORING
- FS2 - EXG STONE FLOORING
- FS3 - NEW FLAGSTONE (REFER TO FINISH LEGEND NOTES)

DEMO LEGEND



KEY PLAN

PLAN NORTH

CLIENT: FRENCH MARKET CORPORATION
618 ST. PETERS STREET
NEW ORLEANS, LA 70116
504-536-6400

ARCHITECT: TRAPOLIN PEER
850 TOUCHTOULOUS ST.
NEW ORLEANS, LA 70130
(504) 522-2772
www.trapolinpeer.com

CONTRACTOR: Company Name
Street Address
City, State
Phone Number



REVISIONS DESCRIPTION DATE

C: MARK BURMAN ARCHITECTS, INC.
PROJECT NUMBER:
CNO20266
DATE GATE:
12/19/24

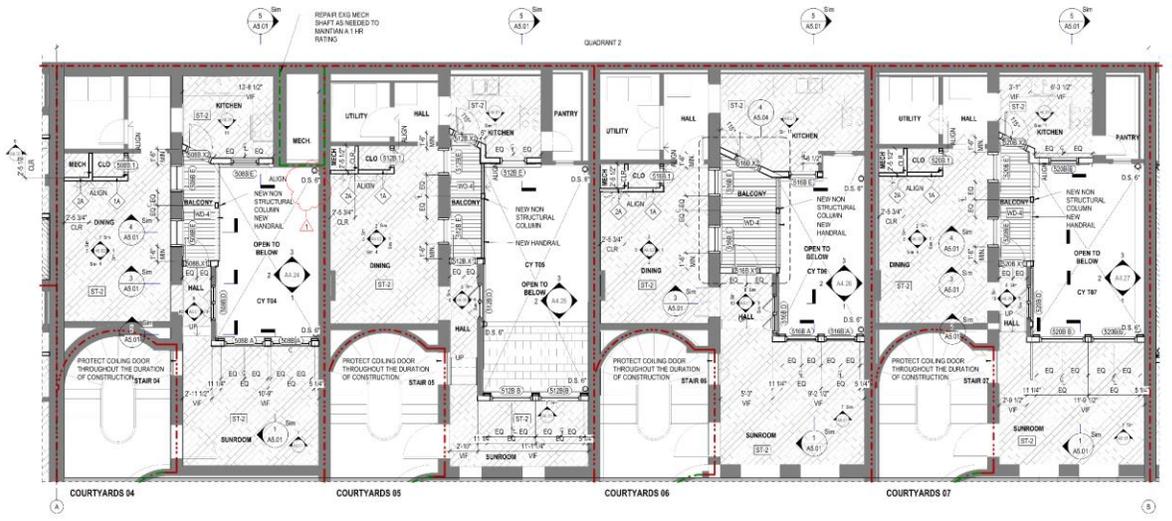
QUAD 3 - DEMO ELEVATIONS

AD4.38



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

- GENERAL PLAN NOTES**
- UNLESS OTHERWISE NOTED, ALL DOORS ARE TO BE CENTERED ON THE CORNER OF THE WALL.
 - FINISH FLOORS SHALL BE THE SAME LEVEL ON BOTH SIDES OF THE DOOR EXCEPT FOR AS NOTED.
 - ALL DIMENSIONS AND THE REFS GOVERNED BY EXISTING CONDITIONS ARE APPROXIMATE AND ARE NOT GUARANTEED TO BE CORRECT. ALL SUCH DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND BEFORE PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PREPARATION OF SHOP DRAWINGS AND BEFORE PROCEEDING WITH WORK. WHERE DIMENSIONS ARE SHOWN, USE EXACT DIMENSIONS. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS ARE SHOWN WITH INDICATED PLUS OR MINUS ADJUSTMENTS MAY BE MADE TO BUT FIELD CONDITIONS EXTERNAL TO THIS SET TO INSURE THE ACCURACY OF THE CONSTRUCTION ABOVE. UNLESS OTHERWISE NOTED, COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR INSTALLATION OF SLEEVES, CONDUIT, DAMPERS AND OTHER BUILD-UP ITEMS WHERE PATED WALLS, CONCRETE RATED MATERIALS OR FINISHES USE U.L. APPROVED RATED JOINT FILLER.
 - PROVIDE FIRE SAFING INSULATION AT ALL PIPE PENETRATIONS, AIR EXITS, ETC.
 - ALL WALL SWITCHES ARE TO BE LOCATED 4" FROM HANDBUILT DOOR CLOSING AND 4" FROM UNLESS OTHERWISE NOTED. PORTABLE FIRE EXTINGUISHERS ARE TO BE INSTALLED WITH PROTECTIVE BRACKET AND SECURED TO THE WALL. KITCHEN SINK, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH NFPA 96. PROVIDE ADDITIONAL BLOCKING AND STRUCTURAL SUPPORT TO ACCOMMODATE CEILING MOUNTED LIGHT FIXTURES. SEE ALSO THE EXTERIOR AND INTERIOR DETAILS PROVIDED FOR ANY ADDITIONAL BLOCKING LOCATIONS.
 - ALL EXTERIOR GARMENT RACKS, EXTENSION MECHANICAL FINISH CARPENTRY, DECKING, FRAMER AND CONDUIT ARE TO RECEIVE FINISH AS REQUIRED BY THE SPEC. GARAGE COLORS WILL BE BY FCT'S BY OWNER AT A LATER DATE. ALL PAINT COLORS MUST BE REVIEWED BY AND APPROVED BY THE VCC PRIOR TO APPLYING FINISHES.
 - PRESSURE TREAT TO WOOD TO BE USED EVERYWHERE UNLESS OTHERWISE NOTED.
 - PRESSURE TREAT MARKING GRADE WOOD TO BE USED AT NEW COLUMNS.
 - UNLESS OTHERWISE NOTED, ALL NEW WALLS ARE TO BE 8" STUD UNTIL ALL REMANUED PENETRATIONS BETWEEN THE FIRST AND SECOND FLOOR WITH 1" HATED FLOOR/CEILING ASSEMBLY. UNTIL ALL REMANUED PENETRATIONS BETWEEN THE SECOND, THIRD AND FOURTH FLOORS WITH A FLOOR/CEILING ASSEMBLY THAT MATCHES THE EXISTING FLOOR/CEILING ASSEMBLY MAINTAINING A 3/8" MIN RATED SEPARATION.
 - REFER TO SHEET A2.00 AND SECTION 1204A, TERMINATES IN THE SPECIFICATIONS FOR ALL 2" SCOPE OF WORK. DESCRIBING FINISHES REFER TO THE SPECIFICATIONS SCHEDULES 1-4.



1 QUAD 2 - SECOND FLOOR
SCALE 3/8" = 1'-0"

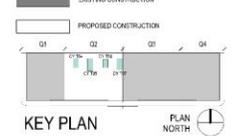


2 QUAD 2 - THIRD FLOOR
SCALE 3/8" = 1'-0"

MATERIAL LEGEND

- | | |
|--|--|
| RR-1 - COPPER ROOF
(REPLACE ENTIRE ROOF IN RIND)
 | WD-1 - WOOD EXTERIOR TRIM
(REFER TO FINISH LEGEND NOTES) |
| RS-1 - NEW SLATE ROOF
(REPLACE ENTIRE ROOF IN RIND)
 | WD-2 - WOOD BATTEN BOARD
(REFER TO FINISH LEGEND NOTES) |
| RS-2 - SLATE ROOF
(REPAIR OR REPLACE IN RIND)
 | WD-4 - WOOD DECORING
(REFER TO FINISH LEGEND NOTES) |
| RP-1 - EX-3 EXTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES) | ST-1 - EX-3 FLAGSTONE FLOORING |
| IP-1 - EX-3 INTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES) | ST-2 - EX-3 STONE FLOORING
(REFER TO FINISH LEGEND NOTES) |
| IS-1 - INTERIOR GYPSUM BOARD
(REFER TO FINISH LEGEND NOTES) | ST-3 - NEW FLAGSTONE
(TAPE, FLAT, IRREG AND PAINT) |
| RP-1 - EX-3 EXTERIOR BRICK
TUCK POINTING IS REQUIRED IN THE COURTYARDS. INCLUDE 50% TUCK POINTING OF THE BRICK MASONRY WALL IN THE BASE ID. | |

PHASE LEGEND



REVISION # | DESCRIPTION | DATE

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02/20/24 11:11 AM

02/20/24 11:11 AM

FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION 500 ST. PETER STREET NEW ORLEANS, LA 70116

FRENCH MARKET CORPORATION 616 ST. PETERS STREET NEW ORLEANS, LA 70116 504-576-6600 TRAPOLIN PEER 880 TCHOUPTOULAS ST NEW ORLEANS, LA 70130 (504) 523-2772 www.trapolinpeer.com



REVISION / DESCRIPTION DATE

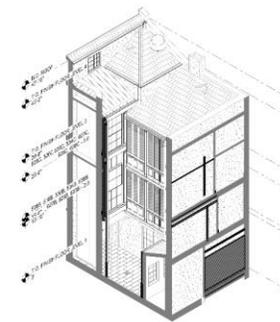
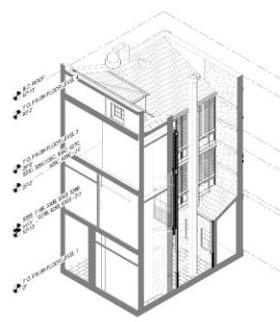
5 TRAPOLIN PEER AND PEER, INC. PROJECT NUMBER: CH02006 SHEET NUMBER: 12/18/24

QUAD 1 - ELEVATIONS

A4.11

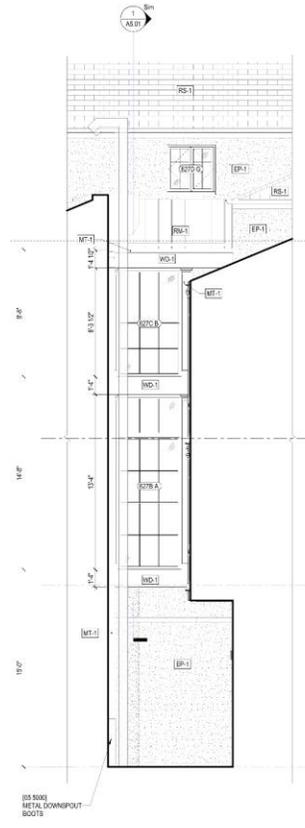
GENERAL NOTES - ELEVATION

- 1. ALL EXTERIOR ROUGH CARPENTRY, EXTERIOR ARCHITECTURAL FINISH CARPENTRY, CEILING, CEILING, EXPOSED CONDUIT AND EXPOSED PIPING ARE TO BE SAVED, PRIMED, AND PAINTED. COLOR WILL BE SELECTED BY OWNER AT A LATER DATE. ALL PAINT COLOR MUST BE REVIEWED BY AND APPROVED BY THE VCC PRIOR TO PERFORMING NEW WORK IN EACH COURTYARD. A SITE VISIT IS REQUIRED TO VERIFY THE TOTAL SCOPE OF WORK AS IT RELATES TO THE PROJECT. ALLOWING AMOUNTS AND UNIT COST. ARCHITECT, OWNER AND GENERAL CONTRACTOR AT TENANCE IS REQUIRED. PREP AND PAINT EXISTING HISTORIC PLASTER AT ALL AREAS IN COURTYARD INCLUDING COVERED AREAS, FIRST FLOOR ENTRES AND PARTS OF THE WALL THAT EXTEND PAST THE ROOF. 2. ALL EXISTING OPENINGS IN THE COURTYARD ARE TO BE PREPARED, PRIMED AND PAINTED. FINAL COLOR SELECTIONS WILL BE DETERMINED BY OWNER AND ARCHITECT DURING CONSTRUCTION. ALL PAINT COLOR MUST BE REVIEWED AND APPROVED BY THE VCC PRIOR TO APPLYING FINISHES. APPLY LEAD ENCAPSULATION TO EXISTING WALLS AND OPENINGS SCHEDULED TO REMAIN IN SCOPE. SEE HAZARDOUS MATERIAL SPECIFICATIONS FOR REMEDIATION AND ENCAPSULATION OF LEAD PAINT IN ADVANCE TO STARTING SCOPE. 3. SEE ARCHITECTURAL SPECIFICATIONS THAT INCLUDE GUIDELINES FOR PRESERVING HISTORIC MATERIALS IN ADVANCE TO PERFORMING WORK. CLEANING, REPAIRING AND TUCK POINTING OF ALL HISTORIC MATERIALS ARE TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR HISTORIC PRESERVATION.

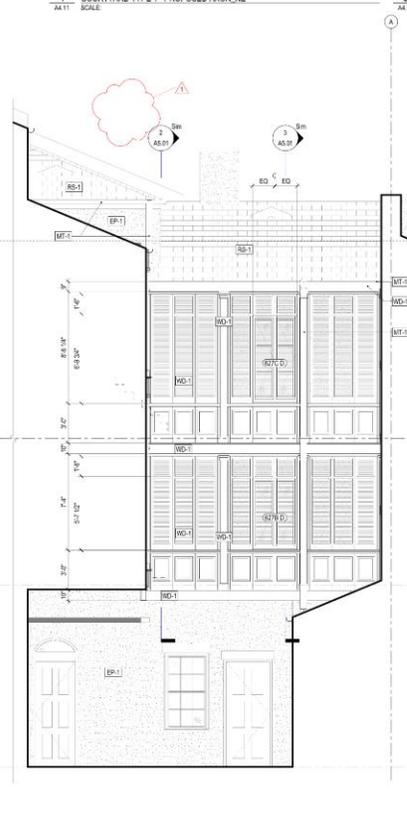


4 COURTYARD TYPE 1 - PROPOSED AXON, NE SCALE

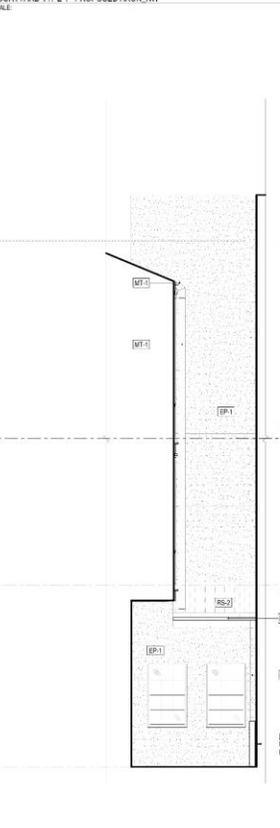
5 COURTYARD TYPE 1 - PROPOSED AXON, NW SCALE



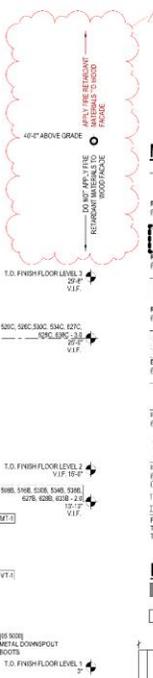
1 COURTYARD 1 - WEST - PROPOSED SCALE 1/4" = 1'-0"



2 COURTYARD 1 - NORTH - PROPOSED SCALE 1/4" = 1'-0"



3 COURTYARD 1 - EAST - PROPOSED SCALE 1/4" = 1'-0"



MATERIAL LEGEND

Table with 2 columns: Material Code and Description. Includes items like RB-4 COPPER ROOF, WD-1 WOOD EXTERIOR TRIM, EP-1 EXG EXTERIOR PLASTER, etc.

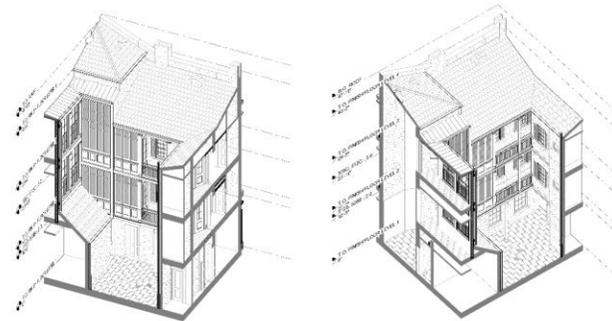
PHASE LEGEND

Table with 2 columns: Phase Code and Description. Includes EXISTING CONSTRUCTION and PROPOSED CONSTRUCTION.

KEY PLAN

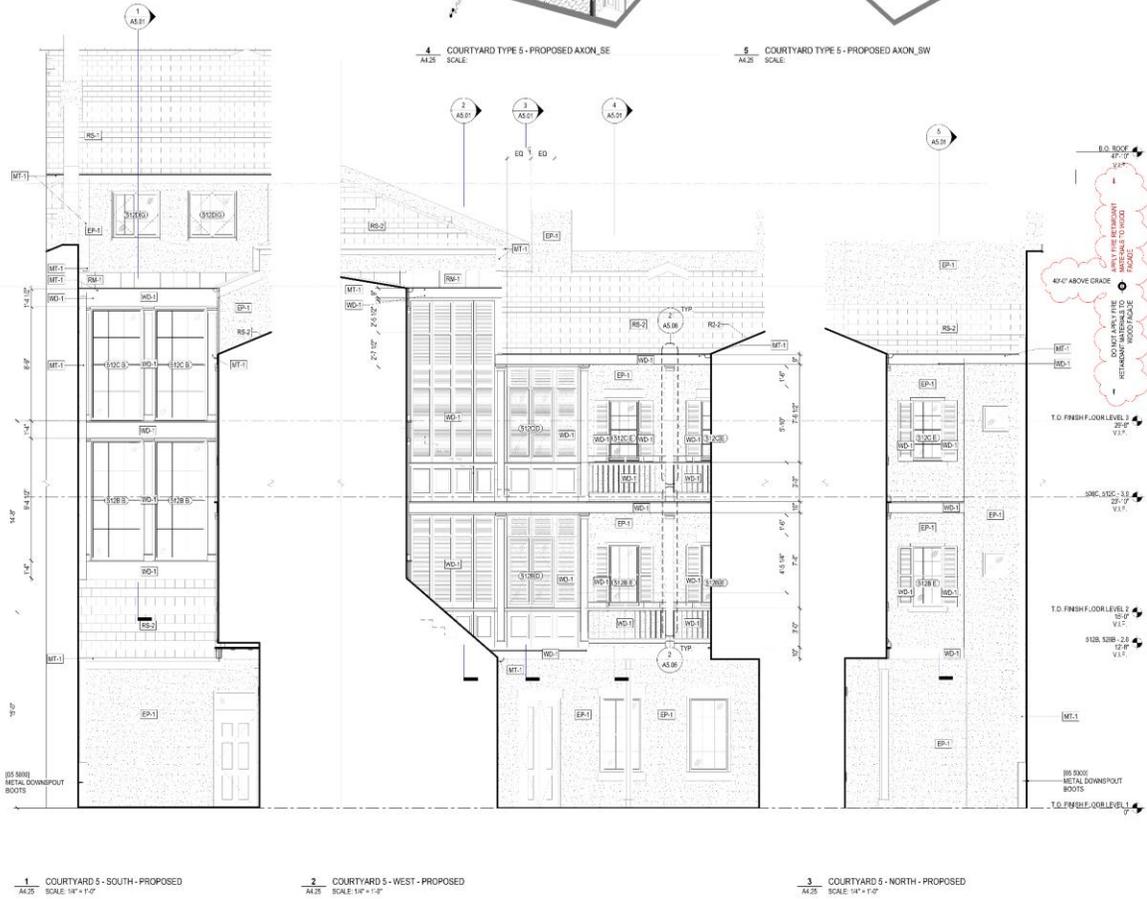
PLAN NORTH

ARCHITECT: TRAPLOIN PEEER ARCHITECTS, 850 TCHOUPITOU LANE, SUITE 200, NEW ORLEANS, LA 70118
 PROJECT NUMBER: CH20096
 ISSUE DATE: 12/18/24
 DRAWING NUMBER: A4.25



4 COURTYARD TYPE 5 - PROPOSED AXON_SE
 A4.25 SCALE

5 COURTYARD TYPE 5 - PROPOSED AXON_SW
 A4.25 SCALE



1 COURTYARD 5 - SOUTH - PROPOSED
 A4.25 SCALE: 1/4" = 1'-0"

2 COURTYARD 5 - WEST - PROPOSED
 A4.25 SCALE: 1/4" = 1'-0"

3 COURTYARD 5 - NORTH - PROPOSED
 A4.25 SCALE: 1/4" = 1'-0"

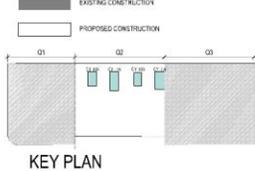
GENERAL NOTES - ELEVATION

- ALL EXTERIOR ROUGH CARPENTRY, EXTERIOR ARCHITECTURAL FINISH CARPENTRY, CEILING, CLADDING, EXPOSED CONCRETE AND EXPOSED PILING ARE TO BE SINKED, PRIMED AND PAINTED. COLORS WILL BE SELECTED BY OWNER AT A LATER DATE. ALL PAINT COLORS MUST BE REVIEWED BY ARCHITECT PRIOR TO PURCHASING FINISHES.
- CONTACT ARCHITECT PRIOR TO PERFORMING NEW WORK IN EACH COURTYARD. SITE VISIT IS REQUIRED TO VERIFY THE TOTAL SCOPE OF WORK AND RELATED TO THE PROJECT. ALLOWANCE AMOUNTS AND UNIT COST ARCHITECT, OWNER AND GENERAL CONTRACTOR ATTENDANCE. (REGARDING PREP AND PAINT EXISTING HISTORIC PLASTER AT ALL AREAS IN COURTYARD INCLUDING COVERED AREAS, FIRST FLOOR EXTERIOR AND PARTS OF THE WALL THAT EXTEND PAST THE ROOF).
- ALL EXISTING OPENINGS IN THE COURTYARD ARE TO BE PRESERVED PRIMED AND PAINTED. PAINT COLOR SELECTIONS WILL BE DETERMINED BY OWNER AND ARCHITECT DURING CONSTRUCTION. ALL PAINT COLORS MUST BE REVIEWED AND APPROVED BY THE ICC PRIOR TO APPLYING FINISHES. APPLY LEAD CHECKS AT ALL PAINT TO EXISTING WALLS AND OPENINGS SO SCHEDULED TO REMAIN IN SCOPE. SEE HAZARDOUS MATERIALS SPECIFICATIONS FOR PREPARATION AND ENCLOSURE OF LEAD PAINT IN ADVANCE TO STARTING WORK.
- SEE ARCHITECTURAL SPECIFICATIONS THAT INCLUDE GUIDELINES FOR PRESERVING HISTORIC MATERIALS IN ADVANCE TO PERFORMING WORK. CLEANING, REPAIRING AND TOUCH UP PAINTING OF ALL HISTORIC MATERIALS ARE TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR HISTORIC PRESERVATION.

MATERIAL LEGEND

RD-4 COPPER ROOF (REPLACE EXISTING ROOF FINISH)	WD-7 WOOD EXTERIOR TRIM (REFER TO FINISH LEGEND NOTES)
RD-1 TERRAZZO ROOF (REPLACE EXISTING ROOF FINISH)	WD-2 WOOD BATTEN BOARD (REFER TO FINISH LEGEND NOTES)
RD-2 SLATE ROOF (REPAIR OR REPLACE IN KIND)	WD-4 WOOD DECKING (REFER TO FINISH LEGEND NOTES)
EP-1 EXT. EXTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)	ST-1 ENG FLAGSTONE FLOORING (REFER TO FINISH LEGEND NOTES)
EP-4 EXT. INTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)	ST-2 ENG STONE FLOORING (REFER TO FINISH LEGEND NOTES)
IG-1 INTERIOR CYPRESS BOARD (REFER TO FINISH LEGEND NOTES)	ST-3 NEW FLAGSTONE (REFER TO FINISH LEGEND NOTES)
EP-4 EXT. EXTERIOR ROOF (REFER TO FINISH LEGEND NOTES)	ST-4 NEW FLAGSTONE (REFER TO FINISH LEGEND NOTES)

PHASE LEGEND



KEY PLAN



OWNER: FRENCH MARKET CORPORATION
 515 ST. PETERS STREET
 NEW ORLEANS, LA 70118
 504-438-6400

ARCHITECT: TRAPLOIN PEEER
 850 TCHOUPITOU LANE ST.
 NEW ORLEANS, LA 70118
 (504) 523-3772
 www.traploinpeer.com

COMPANY NAME: Street Address, City, State, Phone Number



REVISION # DESCRIPTION DATE

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 PROJECT NUMBER: CH20096
 ISSUE DATE: 12/18/24

QUAD 2 - ELEVATIONS

A4.25



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
1515 PETERS STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
510 ST. PETERS STREET
NEW ORLEANS, LA 70116
504-438-6400

ARCHITECT: TRAPOLIN PEER
850 I CHOUPI DULAS ST.
NEW ORLEANS, LA 70130
504-523-2772
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CONTRACT: Company Name
Street Address
City, State
Phone Number



REVISIONS: REVISION NO. DATE
1 08/18

IF MODIFIED BY THIS ARCHITECT, DATE: PROJECT NUMBER: CN20096
ISSUE DATE: 12/19/24
QUAD 3 - ELEVATIONS

A4.39

GENERAL NOTES - ELEVATION

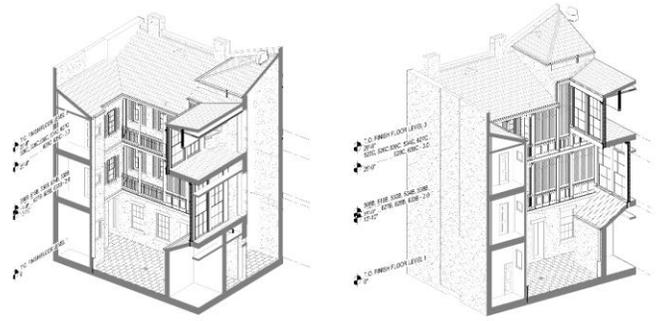
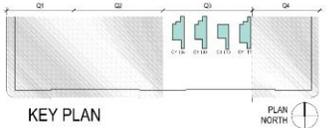
- ALL EXTERIOR ROUGH CARPENTRY, EXTERIOR ARCHITECTURAL FINISH CARPENTRY, SIDING, CEILING, EXPOSED CORNER, AND EXPOSED PIPING ARE TO BE SAVED. PRIMES AND FINISH COULPS WILL BE SELECTED LATER AT A LATER DATE. ALL PAINT COLORS MUST BE REVIEWED BY AND APPROVED BY THE UCC PRIOR TO APPLYING PRIMERS.
- CONTACT ARCHITECT PRIOR TO PERFORMING NEW WORK IN EACH COURTYARD. A SITE VISIT IS REQUIRED TO DETERMINE THE TOTAL SCOPE OF WORK AS IT RELATES TO THE PROJECT. ALLOWANCE SCHEDULES AND UNIT COSTS ARCHITECT, OWNER, AND GENERAL CONTRACTOR AT HIS/HER DISCRETION IS REQUIRED.
- PREP AND PAINT EXISTING TOP PLASTER AT ALL AREAS IN COURTYARD INCLUDING COVERED AREAS, FIRST FLOOR ENTRY, AND PARTS OF THE WALL THAT EXTEND UPSTAIR TO THE ROOF.
- ALL EXISTING OPENINGS IN THE COURTYARD ARE TO BE PREPARED AND PAINTED. FINAL COLOR SELECTIONS WILL BE DETERMINED BY OWNER AND ARCHITECT. DURING CONSTRUCTION, ALL PAINT COLORS MUST BE REVIEWED AND APPROVED BY THE UCC PRIOR TO APPLYING FINISHES.
- APPLY LEAD ENCAPSULATING PAINT TO EXISTING WALLS AND OPENINGS AS CALLED TO IN ALLOWANCE SCHEDULE. SELL HAZARDOUS MATERIAL SPECIFICATIONS ON PREPARATION AND ESCALATION OF LEAD PAINT IN ADVANCE TO STARTING WORK.
- SEE ARCHITECTURAL SPECIFICATIONS THAT INCLUDE GUIDELINES FOR PREPPING, RESTORING AND REPAIRS IN ADVANCE TO PERFORMING WORK. CLEANING, REPAIRING AND TOUCH UP WORK OF ALL HISTORIC MATERIALS ARE TO MEET THE SECRETARY OF THE INTERIORS STANDARDS FOR HISTORIC PRESERVATION.

MATERIAL LEGEND

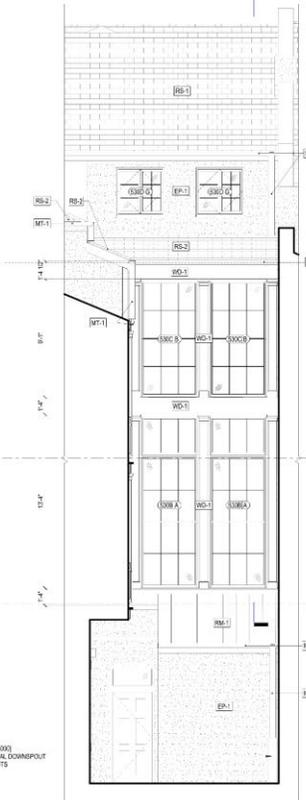
- | | |
|---|---|
| RS-1: COPPER ROOF
(REPLACE ENTIRE ROOF IN KIND) | WD-4: WOOD EXTERIOR TRIM
(REFER TO FINISH LEGEND NOTES) |
| RS-2: REPAIR SLATE ROOF
(REPLACE ENTIRE ROOF IN KIND) | WD-2: WOOD BATTEN BOARD
(REFER TO FINISH LEGEND NOTES) |
| RS-3: SLATE ROOF
(REPAIR OR RE-PLACE IN KIND) | WD-4: WOOD DECKING
(REFER TO FINISH LEGEND NOTES) |
| EP-1: EXT. EXTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES) | EP-4: EXT. PLASTER FLOORING
(REFER TO FINISH LEGEND NOTES) |
| EP-2: INT. INTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES) | EP-2: EXT. STONE FLOORING
(ALL UPPER FLOORS) |
| WD-1: INTERIOR GIPSPAN BOARD
(REFER TO FINISH LEGEND NOTES)
(PALE, FLAT, PRIME AND PAINT) | WD-3: NEW PLASTER
(REFER TO FINISH LEGEND NOTES) |
| EP-3: EXT. EXTERIOR BRICK
TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE TUCK POINTING OF THE EXTERIOR MASONRY WALL IN THE CASE BG. | |

PHASE LEGEND

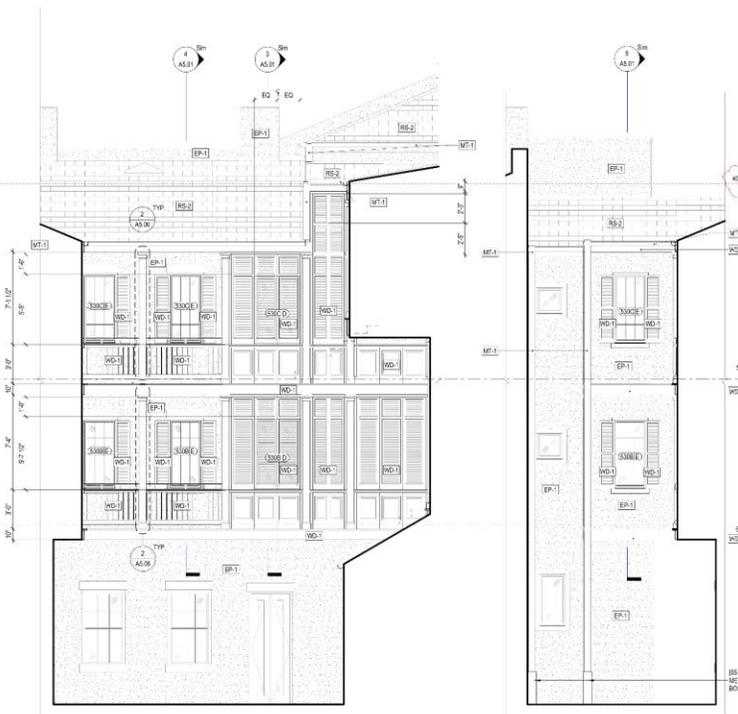
- EXISTING CONSTRUCTION
- PROPOSED CONSTRUCTION



4 COURTYARD TYPE 9 - PROPOSED AXON, NE SCALE: 1/4" = 1'-0"
5 COURTYARD TYPE 9 - PROPOSED AXON, SE SCALE: 1/4" = 1'-0"



1 COURTYARD 9 - SOUTH - PROPOSED SCALE: 1/4" = 1'-0"



2 COURTYARD 9 - EAST - PROPOSED SCALE: 1/4" = 1'-0"



3 COURTYARD 9 - NORTH - PROPOSED SCALE: 1/4" = 1'-0"



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
538 ST. PETERS STREET
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150 TCHOUQUETTES ST.
NEW ORLEANS, LA 70116
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CONTRACTOR: Company Name
Street Address
City, State
Phone Number



REVISION #	DESCRIPTION	DATE
1		
2		
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EXTERIOR OPENING DETAILS

A5.02

GENERAL WINDOW NOTES

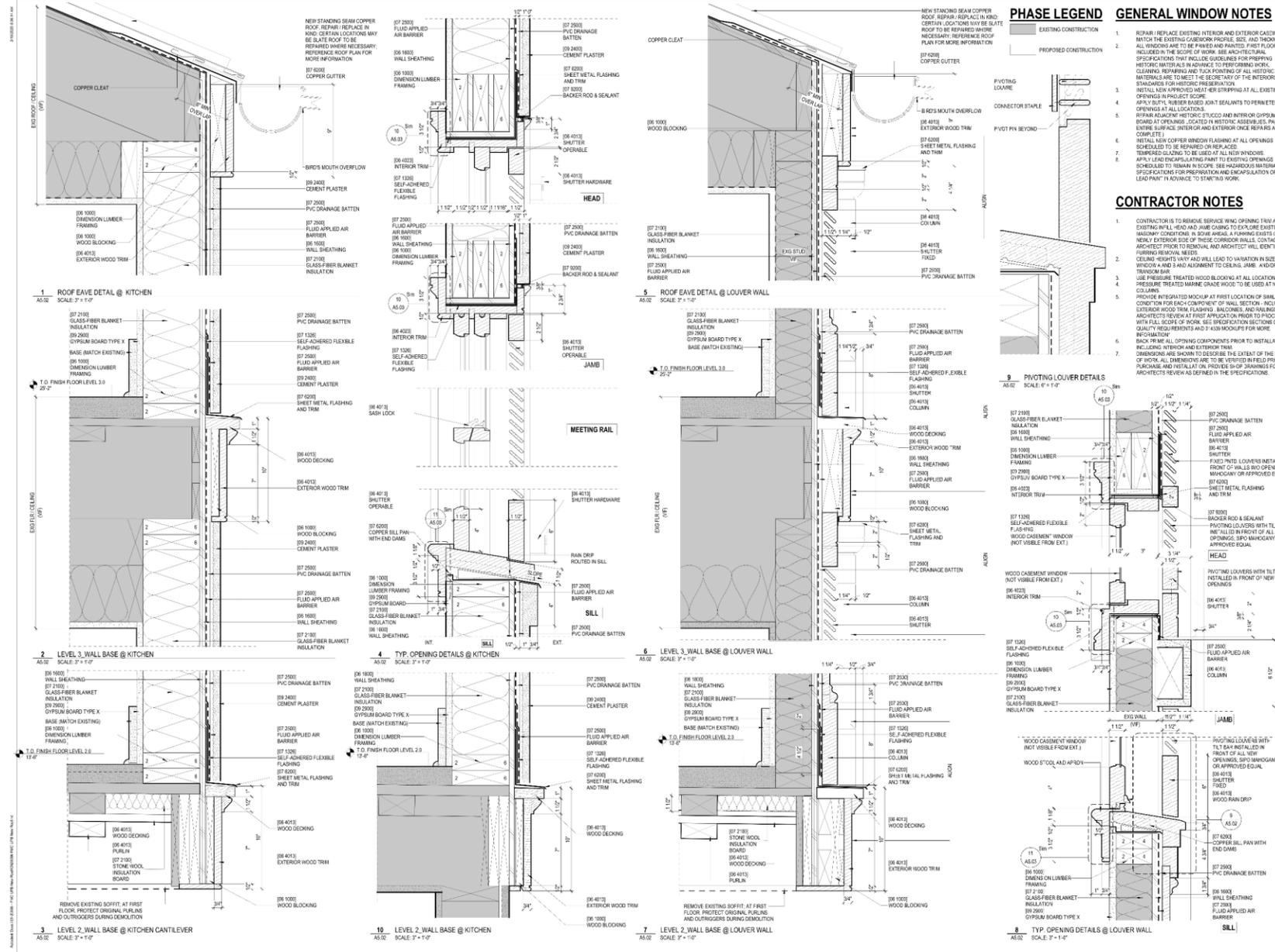
- REPAIR/REPLACE EXISTING INTERIOR AND EXTERIOR CASING/MATCH THE EXISTING CASING PROFILE, SIZE, AND THICKNESS. ALL WINDOWS ARE TO BE FINISHED AND PAINTED. FIRST FLOOR ARE INCLUDED IN THE SCOPE OF WORK. SEE ARCHITECTURAL SPECIFICATIONS THAT INCLUDE GUIDELINES FOR PROTECTING HISTORIC MATERIALS IN ADVANCE TO PERFORMING WORK. CLEANING, REPAIRING AND PROTECTING OF ALL HISTORIC MATERIALS ARE TO MEET THE SECRETARY OF THE INTERIORS GUIDELINES FOR HISTORIC PRESERVATION.
- INSTALL NEW APPROVED MEAT-HER STRIPPING AT ALL EXISTING OPENINGS IN PROJECT SCOPE.
- APPLY GULFUL NUMBER 1000 JOINT SEALANTS TO PERIMETER OF OPENINGS AT ALL LOCATIONS.
- INSTALL ADJACENT HISTORIC STUCCO AND INTERIOR GYPSUM BOARD AT OPENINGS, LOCATED IN HISTORIC ADJACENT PAINT EXTERIOR SURFACE, INTERIOR AND EXTERIOR, ONCE REPAIRS ARE COMPLETE.
- INSTALL NEW COPPER WINDOW FLASHING AT ALL OPENINGS SCHEDULED TO BE REPAIRED OR REPLACED.
- TIMBERED GLAZING TO BE USED AT ALL NEW WINDOWS.
- APPLY LEAD IMPREGALATING PAINT TO EXISTING OPENINGS SCHEDULED TO REMAIN IN SCOPE. SEE HANDBOOK IN MATERIAL SPECIFICATIONS FOR PREPARATION AND ENCAPSULATION OF LEAD PAINT IN ADVANCE TO STARTING WORK.

CONTRACTOR NOTES

- CONTRACTOR IS TO REMOVE SERVICE WHO OPENING TRIM AND EXISTING TRIM, WOOD AND AIR CURTAIN TO EXPOSE EXISTING MASONRY CONDITIONS. IN SOME AREAS, A FINISH EXITS ON THE NEWLY EXPOSED EDGE OF THESE WALLS. CONTRACTOR SHALL CONTACT ARCHITECT PRIOR TO REMOVAL AND ARCHITECT WILL IDENTIFY FINISHING AND REPAIRS NEEDED.
- CEILING HEIGHTS VARY AND WILL LEAD TO VARIATION IN SIZE OF WINDOWS AND SILL AND ALIGNMENT TO SILL, JAMB, AND/OR TRANSOM BAR.
- USE PRESSURE TREATED WOOD BLOCKING AT ALL LOCATIONS.
- PRESSURE TREATED MARINE GRADE WOOD TO BE USED AT NEW SILL JAMBS.
- PROVIDE INTEGRATED MUCKUP AT FIRST LOCATION OF SIMILAR CONDITIONS FOR EACH COMPONENT OF WALL SECTION, INCLUDING EXTERIOR WOOD TRIM, FLASHING, BALCONY, AND RAINING. FOR ARCHITECTS REVIEW AT FIRST APPLICATION PRIOR TO PROCEEDING WITH FULL SCOPE OF WORK. SEE SPECIFICATION SECTION 04000 QUALITY REQUIREMENTS AND 7.4.3.8 HOURS FOR MORE INFORMATION.
- BACK UP ME ALL OPENING COMPONENTS PRIOR TO INSTALLATION INCLUDING INTERIOR AND EXTERIOR TRIM.
- DIMENSIONS ARE SHOWN TO DESCRIBE THE EXTENT OF THE SCOPE OF WORK. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO PERFORMING AND INSTALLATION. PROVIDE 3" SHIMS FOR ARCHITECTS REVIEW AS DEFINED IN THE SPECIFICATIONS.

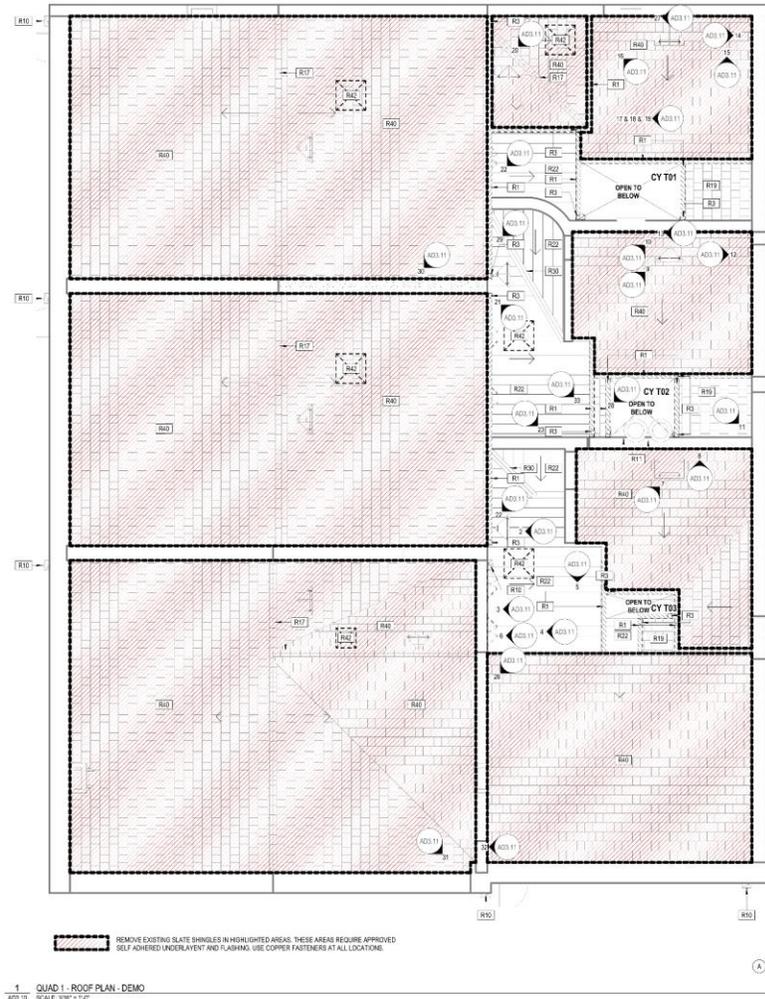
PHASE LEGEND

- EXISTING CONSTRUCTION
- PROPOSED CONSTRUCTION



16/2024/01/01/2024

16/2024/01/01/2024



1 QUAD 1 - ROOF PLAN - DEMO
SCALE: 1/8" = 1'-0"

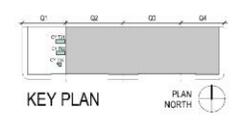
TYPE MARK	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R1	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R2	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R3	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R4	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R5	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R6	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R7	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R8	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R9	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R10	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R11	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R12	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R13	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R14	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R15	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R16	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R17	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R18	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R19	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R20	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R21	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R22	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
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R98	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R99	REPAIRS/NOTES QUAD 1 ROOF	REMARKS
R100	REPAIRS/NOTES QUAD 1 ROOF	REMARKS

MATERIAL LEGEND

R01 - COPPER ROOF REPLACE ENTIRE ROOF IN KIND	WB-1 - WOOD EXTERIOR TRIM REFER TO FINISH LEGEND NOTES
R02 - WOOD SHINGLE ROOF REPLACE ENTIRE ROOF IN KIND	WB-2 - WOOD BATTEN BOARD REFER TO FINISH LEGEND NOTES
R03 - SLATE ROOF REFER OR REPLACE IN KIND	WB-3 - WOOD SIDING REFER TO FINISH LEGEND NOTES
EP-1 - EXG EXTERIOR PLASTER REFER TO FINISH LEGEND NOTES	ST-1 - EXG FLAGSTONE FLOORING
IP-1 - EXG INTERIOR PLASTER REFER TO FINISH LEGEND NOTES	ST-2 - EXG STONE FLOORING AT UPPER FLOORS
IS-1 - INTERIOR GYPSUM BOARD REFER TO FINISH LEGEND NOTES (T&P, FLGAT, PRIME AND PAINT)	SF-1 - NEW FLAGSTONE REFER TO FINISH LEGEND NOTES
FB-1 - EXG EXTERIOR BRICK TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE 9/16" TUCK POINTING OF THE ENTIRE MASONRY WALL IN THE BASE BID.	

DEMO LEGEND

[Solid Grey Box]	EXISTING CONSTRUCTION
[Hatched Box]	DEMOLISHED CONSTRUCTION
[Dotted Box]	PROPOSED CONSTRUCTION
[Diagonal Lines Box]	PORTION OF AREA TO BE REMOVED
[Dashed Box]	PROTECT EXISTING HISTORIC FLOOR



TRAPOLIN PEER ARCHITECTS
CONSTRUCTION DOCUMENTS

FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

Client: FRENCH MARKET CORPORATION
518 ST. PETERS STREET
NEW ORLEANS, LA 70116
504-436-6400

Architect: TRAPOLIN PEER
850 TOUCHARDVILLE ST.
NEW ORLEANS, LA 70130
(504) 522-2772
www.trapolinpeer.com

Contractor: Company Name
Street Address
City, State
Phone Number



16/2024/01/01/2024
PROJECT NUMBER: 16/2024/01/01/2024
DATE: 12/16/24

QUAD 1 - DEMO ROOF PLANS
AD3.10



FMC UPB ROOF AND
BUILDING REPAIRS
RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
518 ST. PETERS STREET
NEW ORLEANS, LA 70118
804-436-8400

PROJECT: TRAPOLIN PIER
850 TOUCHET/OLIVE ST
NEW ORLEANS, LA 70130
(504) 523-2772
www.trapolinpier.com

CONTRACTOR: Company Name
Street Address
City, State
Phone Number



REVISION DESCRIPTION | DATE

TRAPOLIN PIER ARCHITECTS, APC
PROJECT NUMBER: CM20096
SCALE: 1/8"=1'-0"
DATE: 12/18/24

QUAD 1 - DEMO
ROOF PHOTOS

AD3.11



REPAIR/DEMO NOTES QUAD 1 ROOF PHOTOS	TYPE MAP	REMARKS
1. REMOVE EXISTING ROOF VEGETATION AND ORGANIC MATERIAL COMPLETELY AND REPAIR MICROCRACKS FOR SEAMING TRANSITION TO ADJACENT SURFACES. REPAIR AND FILL CRACKS AT SOURCE OF GROWTH.	RA, SB	
2. REMOVE EXISTING COPPER GUTTERS AND REPLACE WITH A LARGER COPPER HALF-ROUND GUTTER PER PLAN DESIGNATION. SEE S7 STRIPPED AT 1/2" O.C. MAX.	RA, RB	
3. REMOVE ALL EXISTING COPPER DOWNSPUTS AND GUTTER BRICK SLOTS AND REPLACE WITH LARGER COPPER DOWNSPUT FOR PLAN DESIGNATION. SIZE WITH A MINIMUM OF THREE STRIPS PER 1" LENGTH AND AT ALL SEAMS.	RA, RB	
4. CUT OUT EXISTING SEALANT AND INSTALL NEW SEALANT - TYPICAL AT ALL EXISTING AND MISSING JOINTS. LOCATIONS THROUGHOUT ENTIRE ROOF - WHERE PREVIOUSLY SEALED JOINTS ARE CHANGED, MINOR, OR INSTALLED INCORRECTLY. REMOVE OLD SEALANT, SAND AREA, PRIME, AND LACE SOLICER COMPLETELY. ALL COPPER TO CORP. CONDITIONS WILL BE SOLICITED. REQUIREMENTS OF EXISTING CALL IN SOME REFERENCES. NOTIFY ARCHITECT FOR ANY CONFLICTS PRIOR TO REPAIRS.	RA, RB	
5. REMOVE EXISTING COPPER BASE AND COUNTER FLASHING. REINSTALL NEW FULLY SOLICITED BASE FLASHING AND METAL NEW COUNTER FLASHING.	RA, RB	
6. REMOVE DISORDERLY MATERIAL UNBROUGHT FORWARD AT CORNER PIPES AND REPLACE WITH NEW COPPER BRACKETS TO MATCH USE (ASTM) OR APPROVED EQUAL. SOLATORS TO BE REPAIRED OR REPLACED WITH ALL CHLORIDES. TOP OF BRACKETS TO BE INSULATED WITH FIBERGLASS INSULATION WITH "FIBERGLASS CLADDING" TYPICAL AT ALL LOCATIONS.	RA, RB, SB	
7. REPLACE METAL BROKEN FLASHING SLATE WITH NEW SLATE BRACKETS OF THE SAME COLOR AND COLOR. TYPICAL AT ALL EXISTING CONDITIONS. INSTALL APPROVED SELF ADHERED UNDERLAMENT LAYER WITH LITE.	RA, RB, SB	
8. REINSTALL COPPER FLASHING WITH NON-CORROSIVE COMPATIBLE FASTENERS - TYP AT ALL LOCATIONS.	RA, RB, SB	
9. METAL 1/2" COPPER HOOK AT FLAGGING ENDS TO KEEP RUNOFF AWAY FROM BUILDING OPENINGS - TYPICAL AT ALL LOCATIONS.	RA, RB, SB	
10. SEAMS AT ROOF GUTTERS TO BE SEALED WITH LIQUID APPLIED WATER PROOFING.	RA, RB, SB	
11. BALANCE COPPER COMPONENT FOR REUSE OR REGRADE REPAIR.	RA, RB, SB	
12. ALL EXISTING WALLS IN THE COURTYARD INCLUDING CORNER HEADS AND INTERIOR COATED WITH HISTORIC PLASTER SCHEDULED TO REMAIN ARE TO BE SOUNDING. AREAS THAT ARE FOUND TO BE SPLITTING, CRACKING, OR DELAMINATING FOR DISCREPANCY WILL BE REMOVED. UNBROUGHT MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER. REPAIRS WILL BE REPAIRED BACK WITH THREE (3) COAT SYSTEM. REACHED SOUND AND SOUND PLASTER WILL BE REPAIRED TO EXISTING MASONRY COATING IN GOOD AND STABLE CONDITION BY OR SUBMITTER. THE SYSTEMS BY THE PLASTER REPAIR PROCESS WILL BE TRANSPORTED TO STABILIZE THE WALL AREA. UNCOATING AND MOISTURE CHECK REPAIRS ARE CLERED. THESE AREAS WILL BE PROTECTED WITH WATER TO REMOVE LOOSE FIBES AND SALTS. THE AREA PRIOR TO PLASTER APPLICATION DAMAGED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND AND PROTECT FROM FURTHER DAMAGE. FINISHED PLASTER WILL BE THE CONDITION DETERMINED BY THE VENDOR FOR MAINTENANCE OF HISTORIC STRUCTURES. DEPENDENT OF THE DEPTH AND SIZE OF THE REPAIR, IT CAN TAKE MULTIPLE LIFTS AND FINISH WORK TO BLEND THE REPAIRED AREA INTO THE EXISTING THROUGHOUT. CORNER FLASHING AT GABLE ENDS AND ALONG EXTERIOR WALLS WILL NEED TO BE REMOVED COMPLETELY AND REPAIRED WITH CONTIGUOUS PIPES AND PROPER FLASHING. CONCRETE HEADS ON EXTERIOR WALLS ARE TO BE REMOVED TO ALLOW REMOVAL AND CORRECT REPAIRS TO OCCUR. MASONRY, STUCCO AND ROOF REPAIRS ARE TO BE ADDRESSED DURING THIS REPAIR. TYPICAL AT ALL LOCATIONS.	RA, RB, SB, SM, S1, S2, S3, S4, S5, S6, S7, S8, S9, S10, S11, S12, S13, S14, S15, S16, S17, S18, S19, S20, S21, S22, S23, S24, S25, S26, S27, S28, S29, S30, S31, S32, S33, S34, S35, S36, S37, S38, S39, S40, S41, S42, S43, S44, S45, S46, S47, S48, S49, S50, S51, S52, S53, S54, S55, S56, S57, S58, S59, S60, S61, S62, S63, S64, S65, S66, S67, S68, S69, S70, S71, S72, S73, S74, S75, S76, S77, S78, S79, S80, S81, S82, S83, S84, S85, S86, S87, S88, S89, S90, S91, S92, S93, S94, S95, S96, S97, S98, S99, S100	
13. SOUND ALL EXISTING STUCCO PLASTER AND MORTAR CARPS. REMOVE ALL LOOSE STUCCO AND REPAIR WITH NEW 1/2" STUCCO PLASTER. STUCCO TO BE REPAIRED WITH THE PORTLAND IN THE 1/2". CLEAN ALL PLASTER PLASTER AREA AT INTERNAL GUTTERS. REMOVE EXISTING METAL STUCCO-COPPER OR APPROVED EQUAL AT HANGERS CAP TYPICAL AT ALL LOCATIONS.	RA, RB, SB	
14. SEAL AROUND PIPE WITH FASTER ROOF AND SEALANT.	RA, RB, SB	
15. *NOT RESPONSIBLE FOR INSPECTING THE ROOF AND ALL SURFACES AND REPAIRING THEM THE SAME AS IS NOTED. PHOTOGRAPHS ARE REPRESENTATIVE OF THE CONDITIONS THAT MAY BE FOUND BUT ARE NOT INTENDED TO SHOW EVERY CONDITION THAT MAY EXIST.	RA, RB, SB	



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
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NEW ORLEANS, LA 70116

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515 ST. PETERS STREET
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504-438-6400

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800 TCHOUPYTOULAS ST.
NEW ORLEANS, LA 70130
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COMPANY NAME: Street Address, City, State, Phone Number

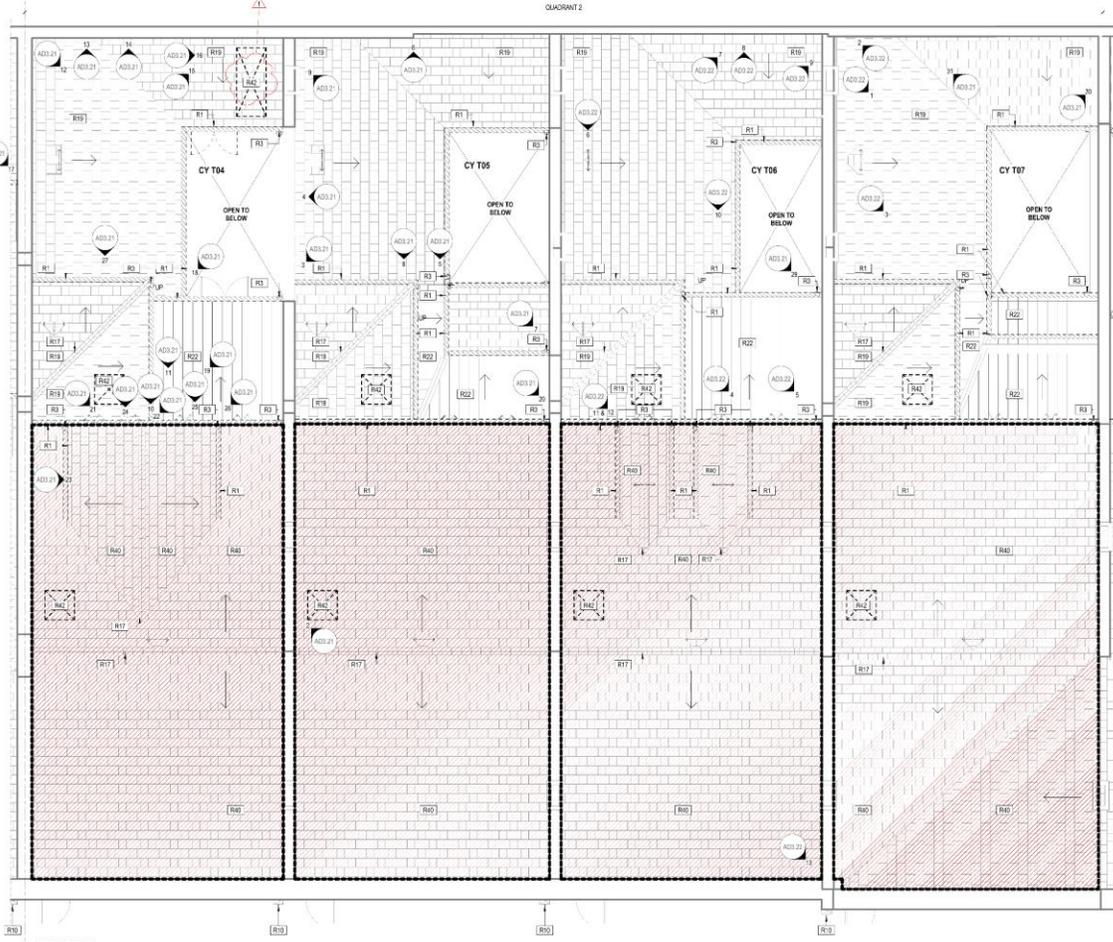


REVISION # DESCRIPTION DATE

PROJECT NUMBER: CH20096
ISSUE DATE: 12/16/24

QUAD 2 - DEMO ROOF PLANS

AD3.20



REPAIR DEMO NOTES, QUAD 2 ROOF

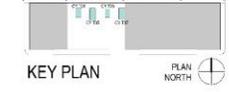
TYPE MARK	REMARKS
R1	REMOVE EXISTING VEGETATION AND ORGANIC MATERIAL, COMPLETELY AND REPAIR MASONRY/MORTAR FOR SMOOTH TRANSITION TO ADJACENT SURFACES. REPAIR AND FILL CRACKS AT SOURCE OF GROWTH.
R2	REMOVE EXISTING COPPER FLASHING AND REPLACE WITH LAMBER COPPER FLASHING OUTTER PER PLAN DESIGNATION. SIZE, STRIPPED AT 3/2" O.C. MIN.
R3	REMOVE ALL EXISTING COPPER DOWNSPOUTS AND CAST IRON BOOTS AND REPLACE WITH LAMBER COPPER DOWNSPOUT PER PLAN DESIGNATION. SIZE WITH A MINIMUM OF THREE STRIPPERS 1/2" LENGTH AND AT ALL SEAMS.
R4	CUT OUT EXISTING SEALANT AND INSTALL NEW SEALANT - TYPICAL "R" ALL EXISTING MISSING CALLS LOCATIONS THROUGHOUT ENTIRE ROOF - IN THE PREVIOUSLY MENTIONED JOINTS ARE CHANGED, MISSING, OR INSTALLED. INDOORMENTS REMOVE OLD SOLDER SAND AREA PREPARE AND LACE SOLDER COMPLETELY. ALL COPPER TO COPPER CONTACTS WILL BE SOLDERED. REPAIRS OF EXISTING COPPER IN ROOM INTERIORS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO REPAIRS.
R5	REMOVE EXISTING COPPER BASE AND COUNTER FLASHING, REINSTALL NEW FULLY SOLDERED BASE FLASHING AND INSTALL NEW COPPER FLASHING.
R6	REMOVE EXISTING TRICK CHANNEL SCULPER AND DOWNPOUT SYSTEM AND INSTALL NEW CONTINUOUS DOWNPOUT SOLDERED TO EXISTING GUTTER.
R7	REMOVE AND SAVE EXISTING 1/2" ROOF FLEES, REINSTALL UPON COMPLETION OF THE WORK AND MATCH IN TO MATCH EXISTING PROFILE AND TYPE OF MORTAR.
R8	REPLACE EXISTING BROKEN/MISSING SLATE WITH NEW SLATE SHINGLES OF LIKE SIZE AND COLOR - TYPICAL AT ALL EXISTING CONDITIONS. INSTALL APPROVED SELF ADHERED UNDERLAYMENT UNDER NEW TILES.
R9	CONTRACTOR TO REMOVE TRIM AND EXPOSED FLASHING TO EXAMINE EXISTING INSTALLATION METHODS AND FLASHING INSTALLATION. USE SPREAD MORTAR AND TRIM JOINTS ALLOWED FOR ALL ROOF REPAIRMENT. ALL NEW COMPONENTS WILL BE PRIME ON ALL 4 SIDES AND ENDS BEFORE INSTALLING AND PAINTED ON ALL EXPOSED SIDES. TYPICAL AT ALL CORNER BILLS, SILL AND EAVES. EXISTING FLASHING TO BE REMOVED AND REPLACED WITH NEW FLASHING INSTALLED UNDER ROOF.
R10	REMOVE STUCCO PLASTER ABOVE DOWNPOUT OPENINGS. EXAMINE EXISTING FLASHING AND REMOVE IF DAMAGED. PREP SURFACES FOR NEW FLASHING AND STUCCO TO BE REPLACED. FLASHING WILL NEED TO BE CONTINUOUS AND EXTEND BEYOND EDGE OF OPENING TRIM.
R11	REPLACE THE ENTIRETY OF THE COPPER ROOF IN WIND. ALL STANDING SEAMS MUST BE FOLDED OVER AND CRIMPED.
R12	REMOVE EXISTING SLATE TOOP DOWN TO THE EXISTING SHEATHING. THIS ENTIRE SECTION OF ROOFING IS TO BE REPLACED IN WIND.
R13	REMOVE EXISTING SHEATHING AND HEADER EXISTING JUST AS REQUIRED TO INSTALL NEW EXHAUST EQUIPMENT AND ASSOCIATED DUCTWORK. REFER TO BLUE PRINT FOR MORE INFORMATION.
R14	ALL EXISTING WALLS IN THE COURTYARDS, INCLUDING COVERED AREAS AND ENTRANCES COATED BY THE HISTORIC PLASTER. SCHEDULED TO BE MAIN ARE TO BE DEMOLISHED. AREAS THAT ARE FOUND TO BE BRICKING, VULNERABLE AND WEARING FROM SUBSTRATE WILL BE REMOVED. UNBONDED MASONRY COATING EXPOSED FROM THE DAMAGED PLASTER REMOVAL SHALL BE REMOVED IN PLACE. OPENLY EXPOSED MASONRY IS BRICKED. SOUND AND STABLE PLASTER WILL BE REPAIRED. PLASTER REMOVAL PROCESS WILL BE TYPICAL TO STABILIZE THE SMALL AREA OF CEILING OPENING AND MOVE OVER. CEILING REPAIRS HAVE BEEN. THESE AREAS WILL BE BRICKED WITH WATER TO REMOVE LOOSE FINES AND SATURATE THE AREA PRIOR TO PLASTER APPLICATION. EXPOSED MASONRY AREA WILL RECEIVE A SLURRY COAT OF PLASTER MIXTURE TO PROMOTE BOND ADHESION WITH FINISH PLASTER. FINISHED PLASTER SHALL BE THE COMPOSITION OUTLINED BY THE VENDOR. CARE FOR MASONRY MAINTENANCE HISTORIC STRUCTURES. OPERATIONS ON THE SOUTH SIDE OF THE REPAIR. IT CAN TAKE MULTIPLE DAYS AND FINISH WORK TO BRING THE REPAIR AREA INTO THE EXISTING.
R15	CHALKING AT JOINT COPPER FLASHING LAMING AND MASONRY PARTIAL WALL AND CHIMNEY WILL BE REMOVED IF IT IS DETERMINED TO BE CRACKED OR ADHESIVE FAILURE AND ULTRA-HIGH STRENGTH REPAIR WILL BE USED. REPAIR WILL BE USED AS NEEDED TO BRING TO PROPER JOINT DEPTH. JOINT WILL BE CLEANED AND CALLED WITH A LATEX/UMAC BASE SEALANT APPLIED UNDER LOW PRESSURE AND TOOK TO 15-20 PSI. EVEN BED.

MATERIAL LEGEND

RM-1 - COPPER ROOF (REPLACE ENTIRE ROOF IN KIND)	R6-1 - EXISTING GYPSUM BOARD (REFER TO FINISH LEGEND NOTES)	R7-1 - EXISTING FLAGSTONE FLOORING
R3-1 - NEW SLATE ROOF (REPLACE ENTIRE ROOF IN KIND)	R8-1 - EXISTING GASTER OR BRICK	R8-2 - EXISTING STONE FLOORING AT UPPER FLOORING
R5-2 - SLATE ROOF (REPAIR OR REPLACE IN KIND)	R9-1 - WOOD EXTERIOR TRIM (REFER TO FINISH LEGEND NOTES)	R9-2 - NEW FLAGSTONE (REFER TO FINISH LEGEND NOTES)
R9-1 - EXISTING GASTER OR BRICK (REFER TO FINISH LEGEND NOTES)	R10-1 - WOOD BATTEN BOARD (REFER TO FINISH LEGEND NOTES)	
R10-1 - EXISTING INTERIOR PLASTER (REFER TO FINISH LEGEND NOTES)	R10-2 - WOOD BEACING (REFER TO FINISH LEGEND NOTES)	

DEMO LEGEND

[Solid Grey Box]	EXISTING CONSTRUCTION
[Diagonal Lines Box]	DEVELOPED CONSTRUCTION
[Cross-hatched Box]	PROPOSED CONSTRUCTION
[Dotted Box]	PORTION OF AREA TO BE REMOVED
[White Box]	PROTECT EXISTING HISTORIC FLOOR



REMOVE EXISTING SLATE SHINGLES IN HIGHLIGHTED AREAS. THESE AREAS REQUIRE APPROVED SELF ADHERED UNDERLAYMENT AND FLASHING. USE COPPER FASTENERS AT ALL LOCATIONS.

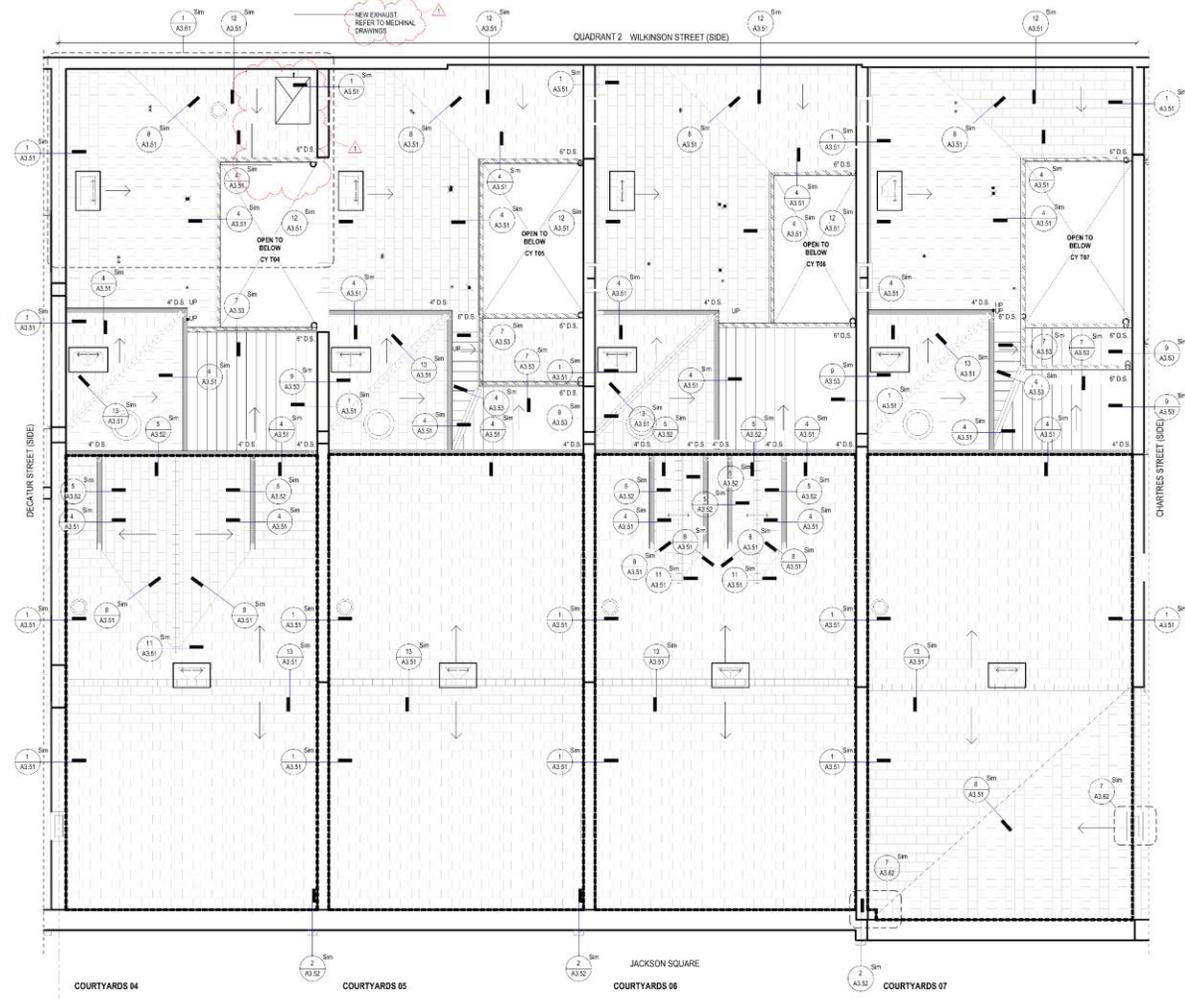
1 QUAD 2 - ROOF PLAN - DEMO
SCALE: 3/8" = 1'-0"



GENERAL ROOF REPAIR NOTES

1. ALL DOWNPOUTS AT THE FIRST FLOOR IS TO BE INTO NEW CAST IRON ROOSTS AND NEW SUBURFACE DRAINAGE.
2. PROVIDE CONTINUOUS COPPER FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL CONDITIONS AND PARAPETS AT NEW ROOF REPLACEMENT AREAS, SLATE AND COPPER.
3. USE COPPER SADDLEDAYS AT ALL LOCATIONS.
4. USE PRESSURE TREATED BLOCKING AT ALL LOCATIONS.
5. COPPER FLASHING SHOULD BE CORROSION RESISTANT AND CONTACT WITH STEEL IF SPECIFIED FOR MEMBRANE MATERIAL THAT IS COMPATIBLE WITH THE SPECIFIED ROOF MEMBRANE.
6. NOT ALL ROOF PENETRATIONS ARE SHOWN, COORDINATE ALL ROOF PENETRATIONS IN MECH., PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWINGS. REFER TO MECH. AND STRUCTURAL DRAWINGS FOR MORE INFORMATION.
7. COPPER SCALDED SEAMS SHOWING SIGNS OF CRACKS AT DOWTING FLASHING SEAMS ARE TO BE REPAIRED THROUGHOUT THE ENTIRE PROJECT SCOPE AS A GENERAL REQUIREMENT.
8. AFTER EXISTING ROOFING MATERIALS ARE REMOVED INCLUDING THE EXISTING UNDERLAMENT CONTACT ARCHITECT TO REVIEW THE CONDITION OF THE EXISTING SHEATHING. REPLACE EXISTING SHEATHING AS REQUIRED PER THE ALLOWANCES AND AMOUNT INDICATED IN THE SPEC. CAUTIONS AND OBSERVED INDICATIONS OF MOISTURE LEAKS FROM CONDENSATION OR RAIN INVALUABLE BRIGADE. IMMEDIATELY TO THE ARCHITECT ATTENTION COPPER GABLED VENT OCCUR AT THE EXISTING ROOF. SALVAGE EXISTING VENTS IN SLATE AND COPPER ROOFS DURING DEMOLITION FOR REPLICATION AND REPLACEMENT. SUBMIT SHOP DRAWINGS OF THESE VENTS AS REQUIRED IN THE SPECIFICATIONS.

□ COPPER GABLE VENT. SALVAGE DURING DEMOLITION FOR REPLICATION AND REPLACEMENT.



1 QUAD 2 - TYPICAL ROOF REPAIR PLAN
SCALE: 3/8" = 1'-0"

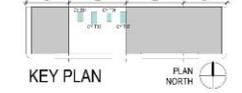
MATERIAL LEGEND

- | | |
|---|---|
| RM-1 COPPER ROOF
(REPLACE ENTIRE ROOF IN KIND) | WM-1 WOOD EXTERIOR TRIM
(REFER TO FINISH LEGEND NOTES) |
| RS-1 NEW SLATE ROOF
(REPLACE ENTIRE ROOF IN KIND) | WM-2 WOOD BATTEN BOARD
(REFER TO FINISH LEGEND NOTES) |
| RS-2 SLATE ROOF
(REPAIR OR REPLACE IN KIND) | WM-4 WOOD CRACKING
(REFER TO FINISH LEGEND NOTES) |
| EP-1 EXG EXTERIOR PLASTER 1
(REFER TO FINISH LEGEND NOTES) | ST-1 EXG FLAGSTONE FLOORING
(REFER TO FINISH LEGEND NOTES) |
| EP-1 EXG INTERIOR PLASTER
(REFER TO FINISH LEGEND NOTES) | ST-2 EXG STONE FLOORING
AT UPPER FLOORS |
| SG-1 INTERIOR GYP BOARD
(REFER TO FINISH LEGEND NOTES) | ST-3 NEW FLAGSTONE
(REFER TO FINISH LEGEND NOTES) |
| EP-4 EXG EXTERIOR BRICK
TUCK POINTING IS REQUIRED IN THE COURTYARD. INCLUDE 5/8"
TUCK POINTING OF THE ENTIRE MASONRY WALL IN THE BASE BC. | |

- NEW 4" ROUND COPPER GUTTER
- NEW 4" ROUND COPPER GUTTER

PHASE LEGEND

- EXISTING CONSTRUCTION
- PROPOSED CONSTRUCTION



FMC UPB ROOF AND BUILDING REPAIRS RENOVATION AND RESTORATION
500 ST. PETER STREET
NEW ORLEANS, LA 70116

OWNER: FRENCH MARKET CORPORATION
518 ST. PETERS STREET
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504-636-6400

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NEW ORLEANS, LA 70116
(504) 523-2772
www.trapolinpeer.com

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Phone Number



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QUAD 2 - ROOF PLANS

A3.20



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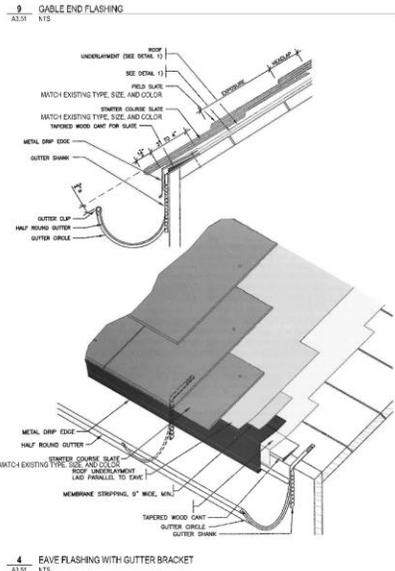
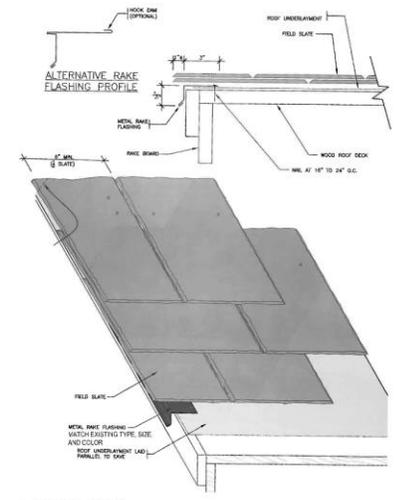
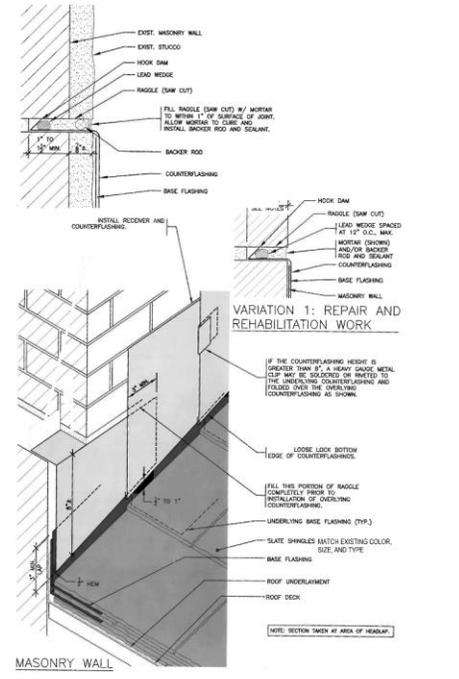
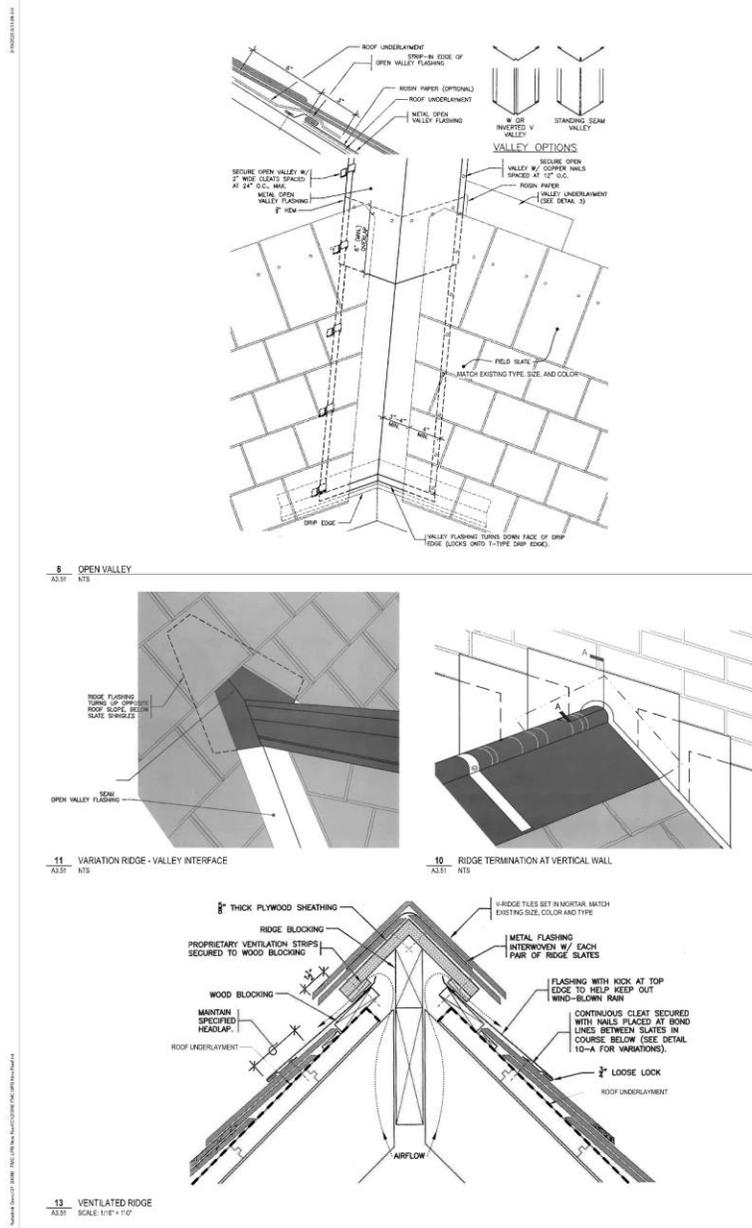


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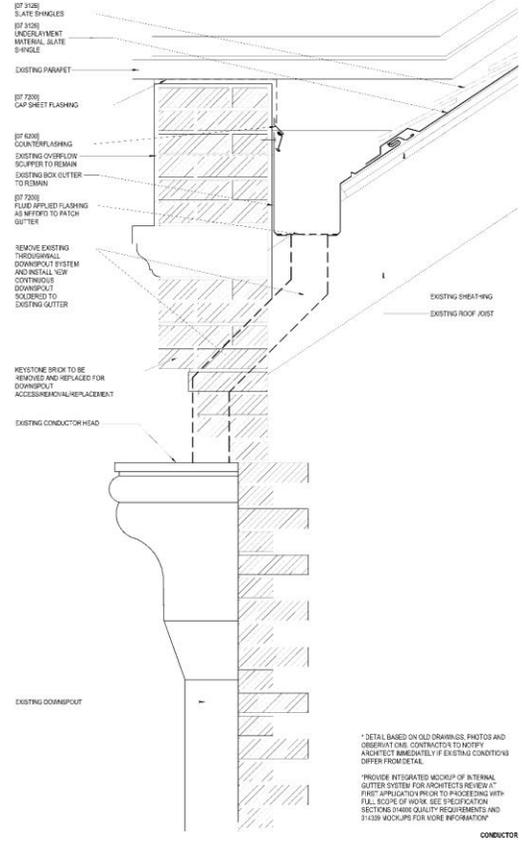
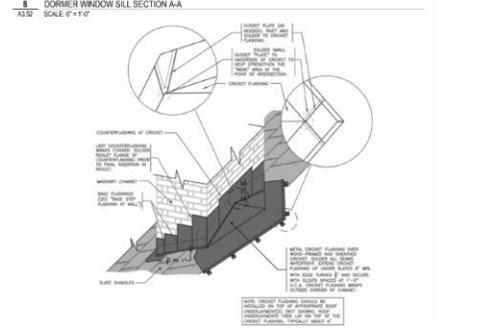
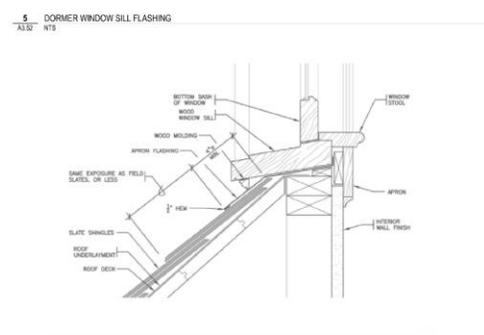
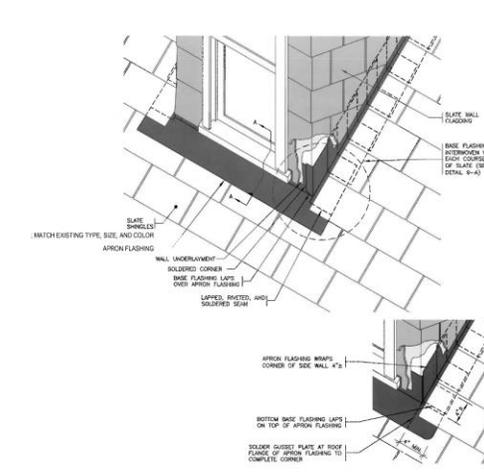
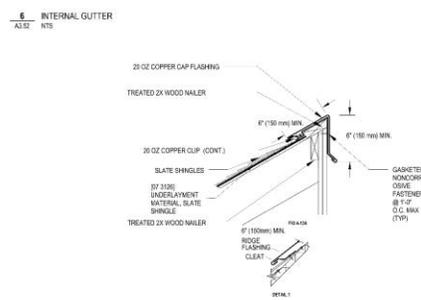
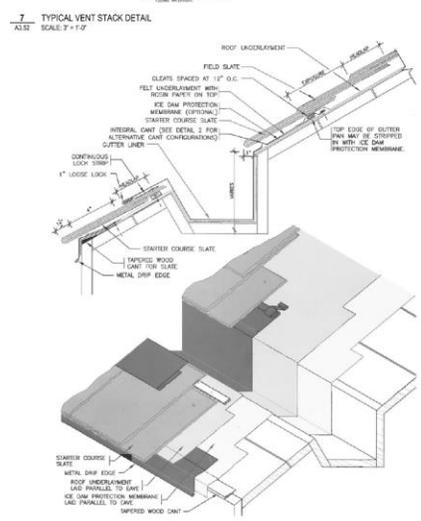
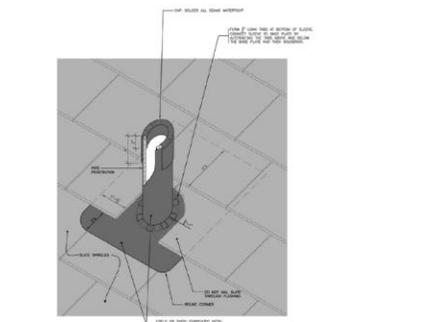
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RHS JWS
12/18/24

SLATE ROOF DETAILS

A3.51



16/2024/01/18/2024
 16/2024/01/18/2024



TRAPOLIN PEER
 ARCHITECTS
 CONSTRUCTION
 DOCUMENTS
 FMC UPB ROOF AND
 BUILDING REPAIRS
 RENOVATION AND RESTORATION
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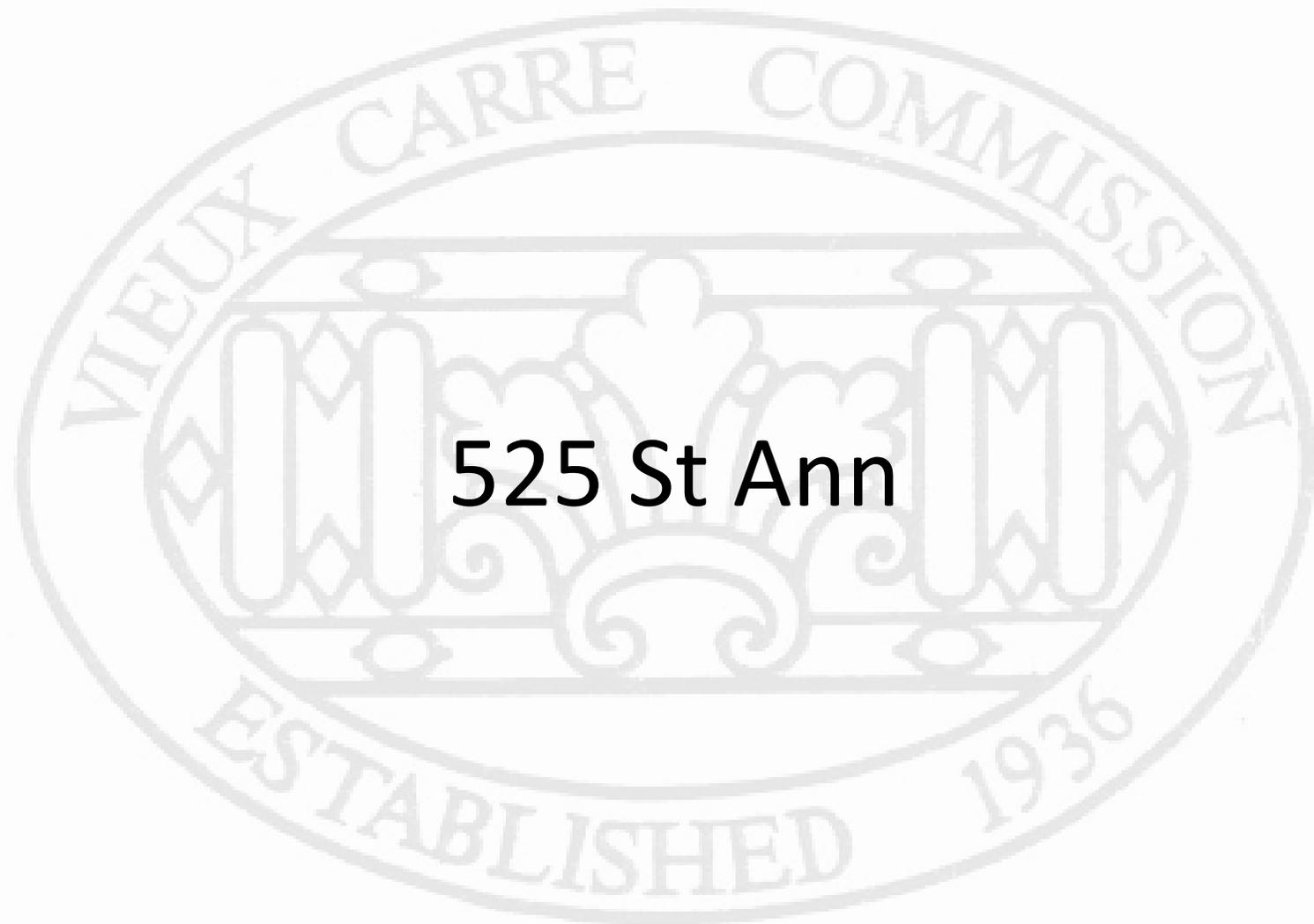
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 PROJECT NUMBER
 CND2096
 SHEET DATE
 12/18/24
 SLATE ROOF
 DETAILS
 CONDUCTOR

A3.5Z





New Business



525 St Ann



525 St. Ann

Vieux Carré Commission

July 23, 2025





525 St. Ann

Vieux Carré Commission

July 23, 2025





525 St. Ann





525 St. Ann

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525 St. Ann

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July 23, 2025





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July 23, 2025





525 ST ANN | VIEW OF COURTYARD



525 ST ANN | VIEW OF PROPOSED KITCHEN ROOM 1



525 ST ANN | VIEW OF PROPOSED KITCHEN ENTRANCE ROOM 1



529 ST ANN | VIEW OF COURTYARD



529 ST ANN | VIEW OF COURTYARD



529 ST ANN | VIEW OF COURTYARD



525 St. Ann

525 ST ANN | VIEW OF COURTYARD





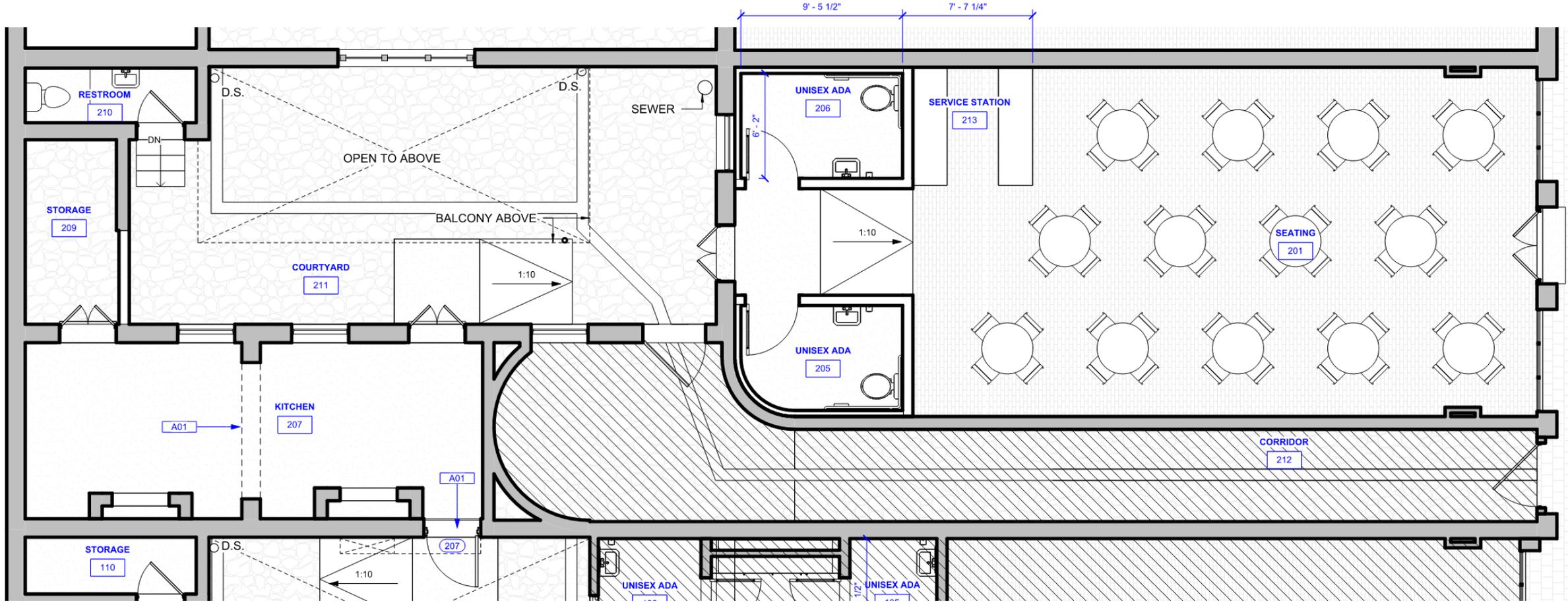
525 St. Ann

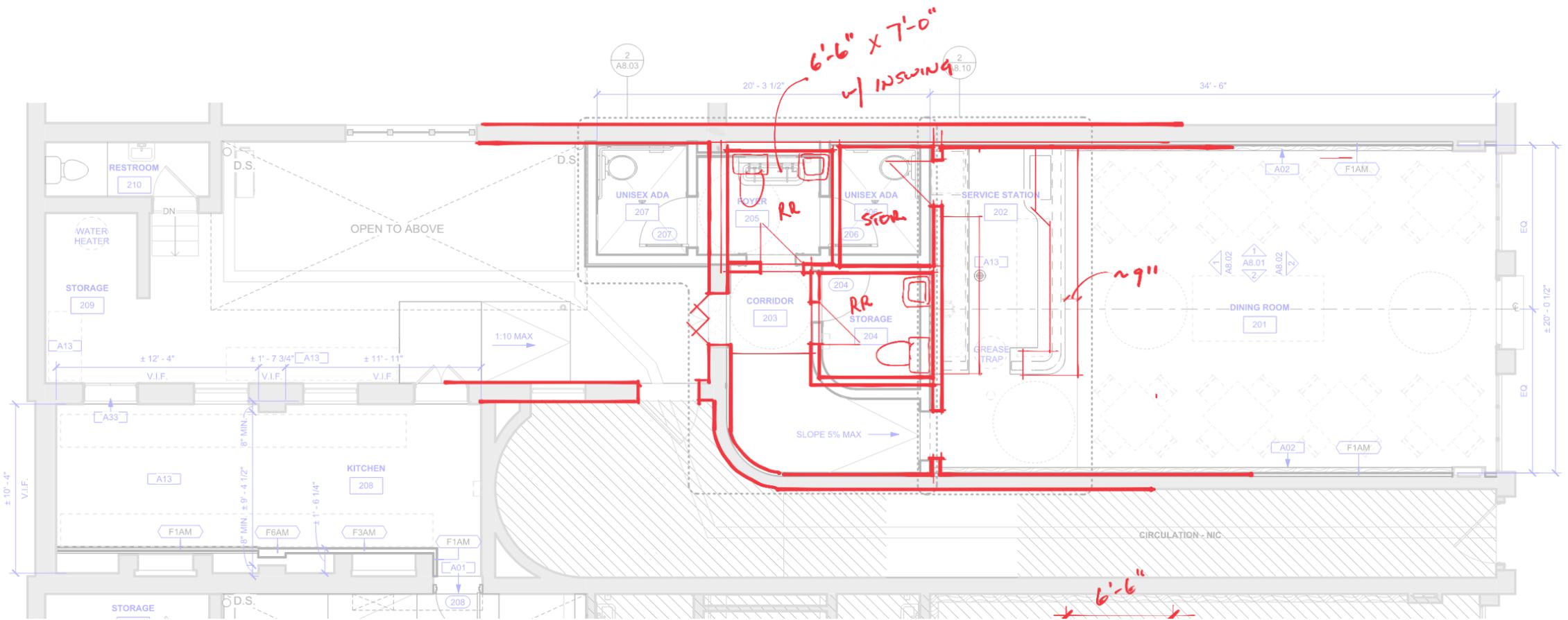
Vieux Carré Commission

July 23, 2025



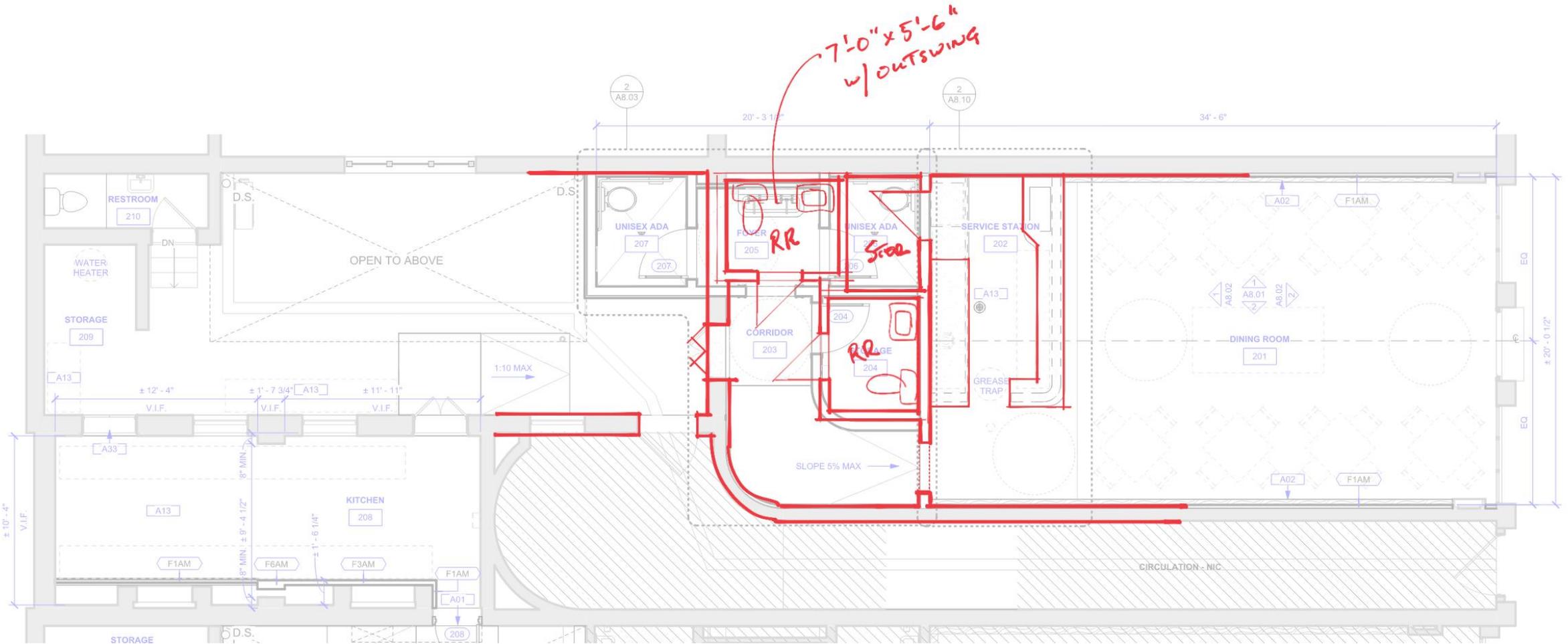






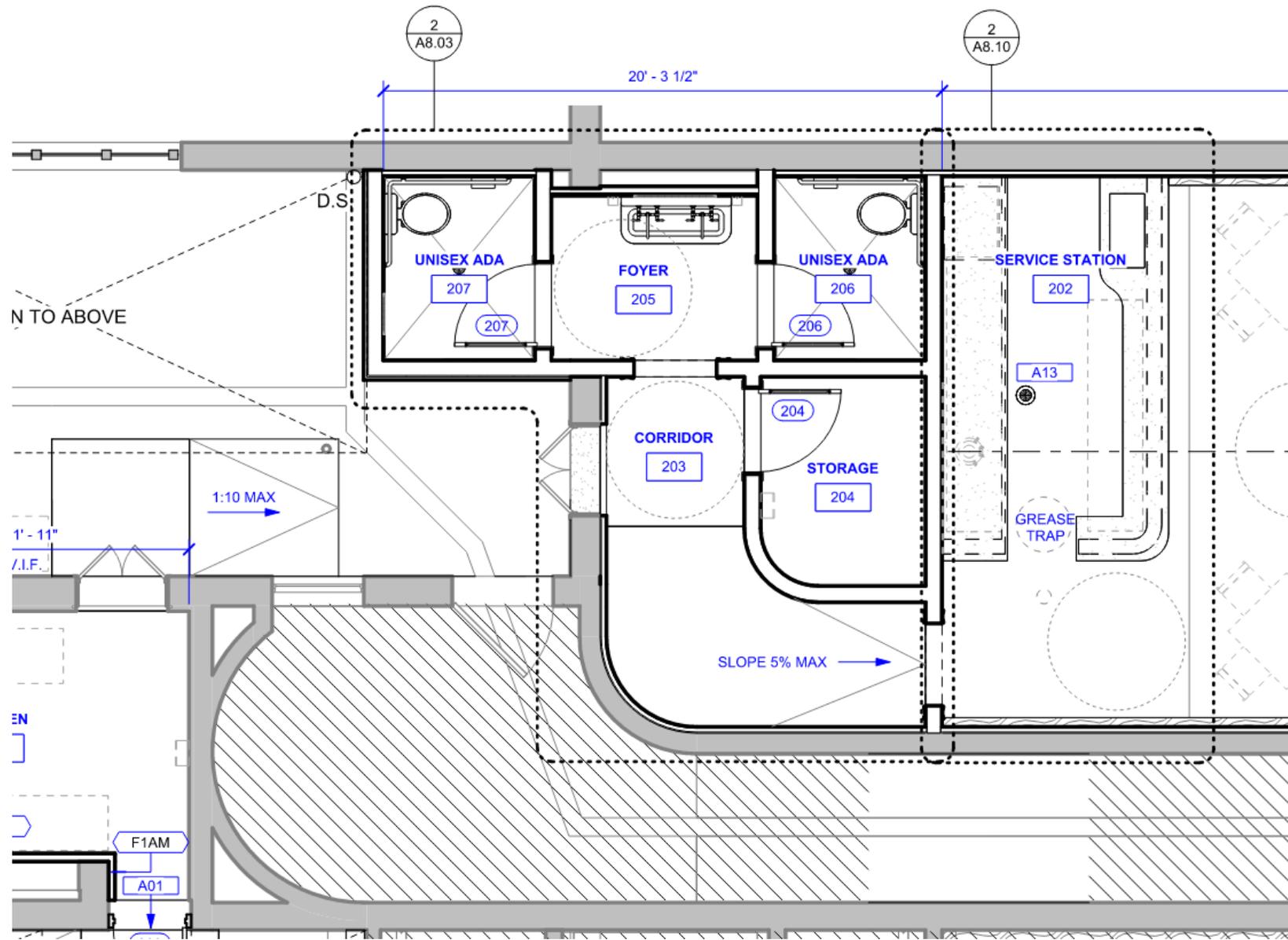
525 St. Ann – Studied alternative found to not be feasible.





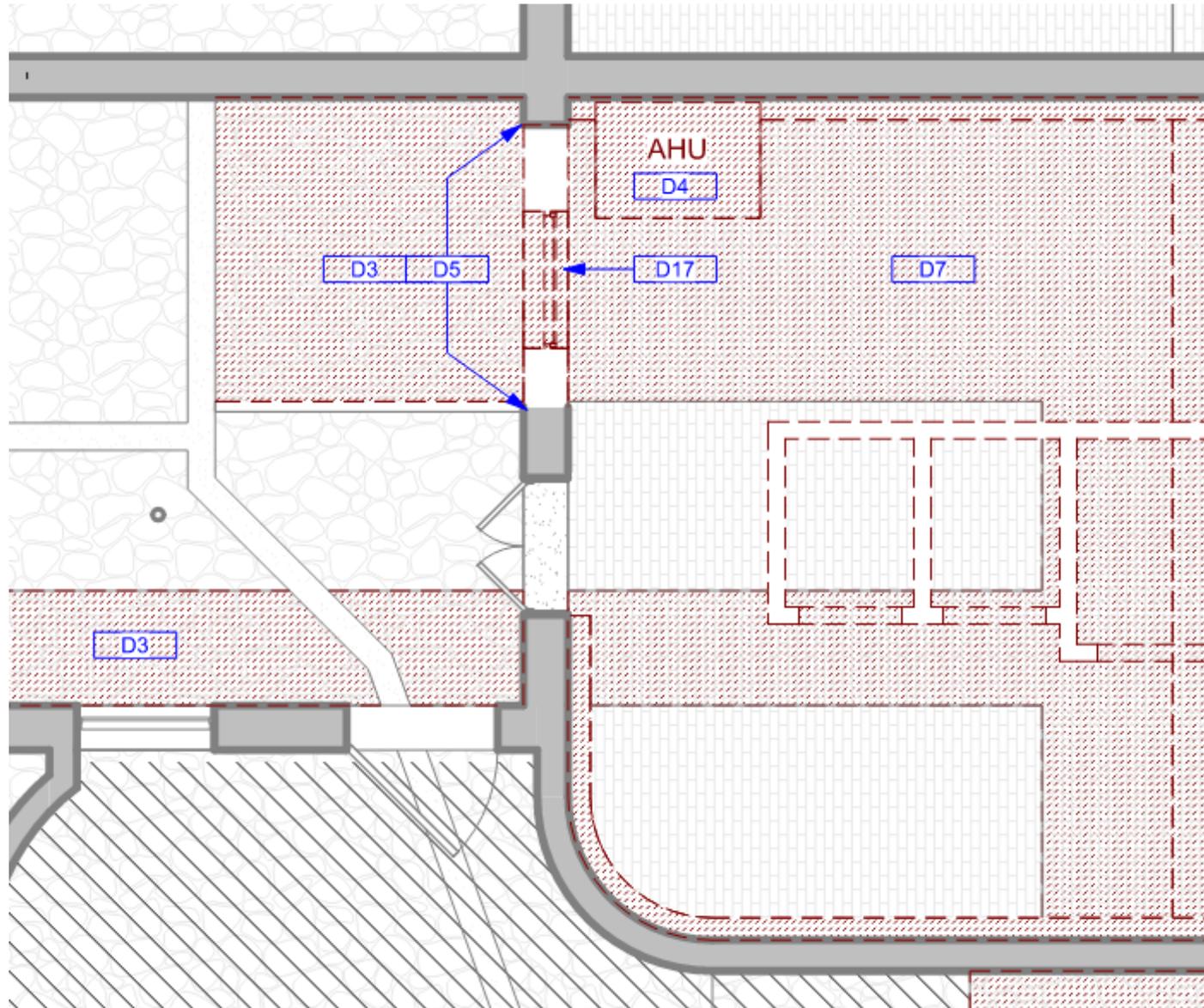
525 St. Ann – Studied alternative found to not be feasible.





525 St. Ann – Currently Proposed Plans







525 St. Ann
Vieux Carré Commission

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Appeals and Violations



221 Royal



221 Royal

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July 23, 2025



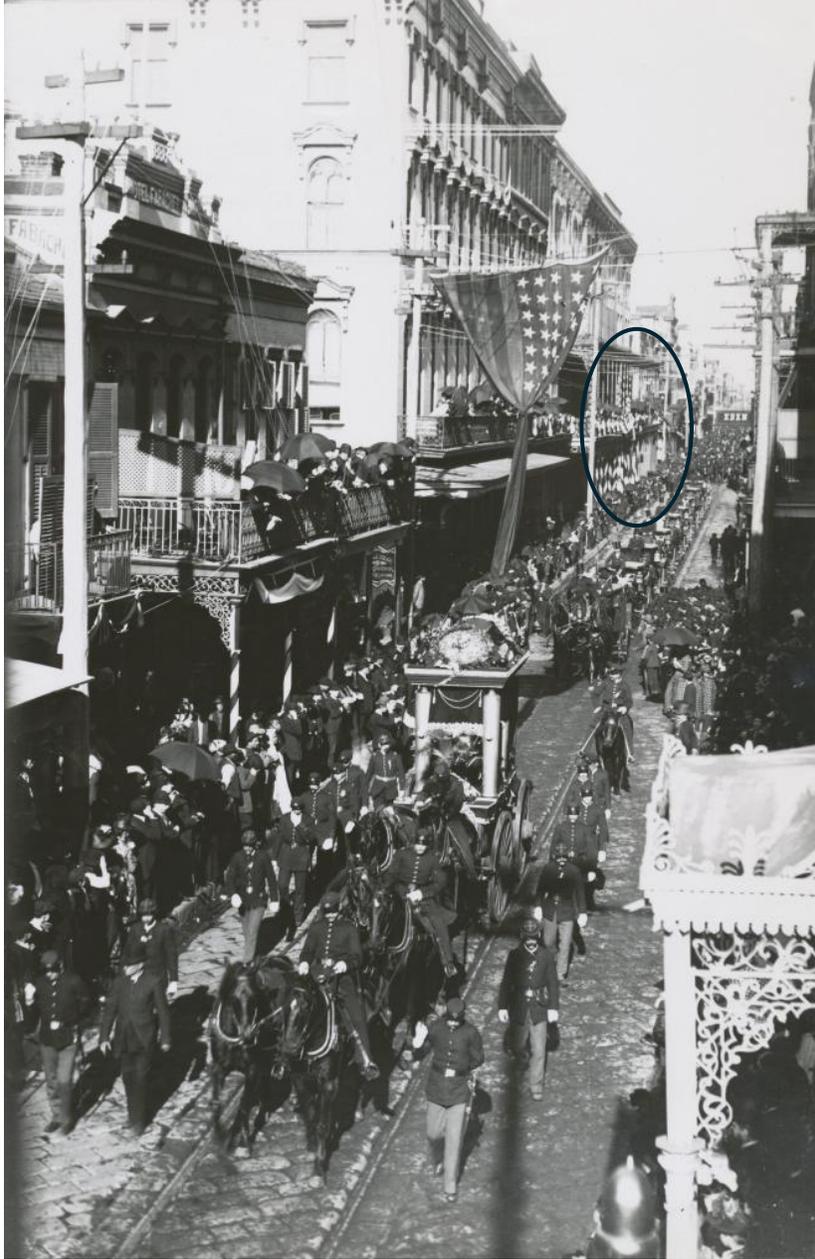


221 Royal

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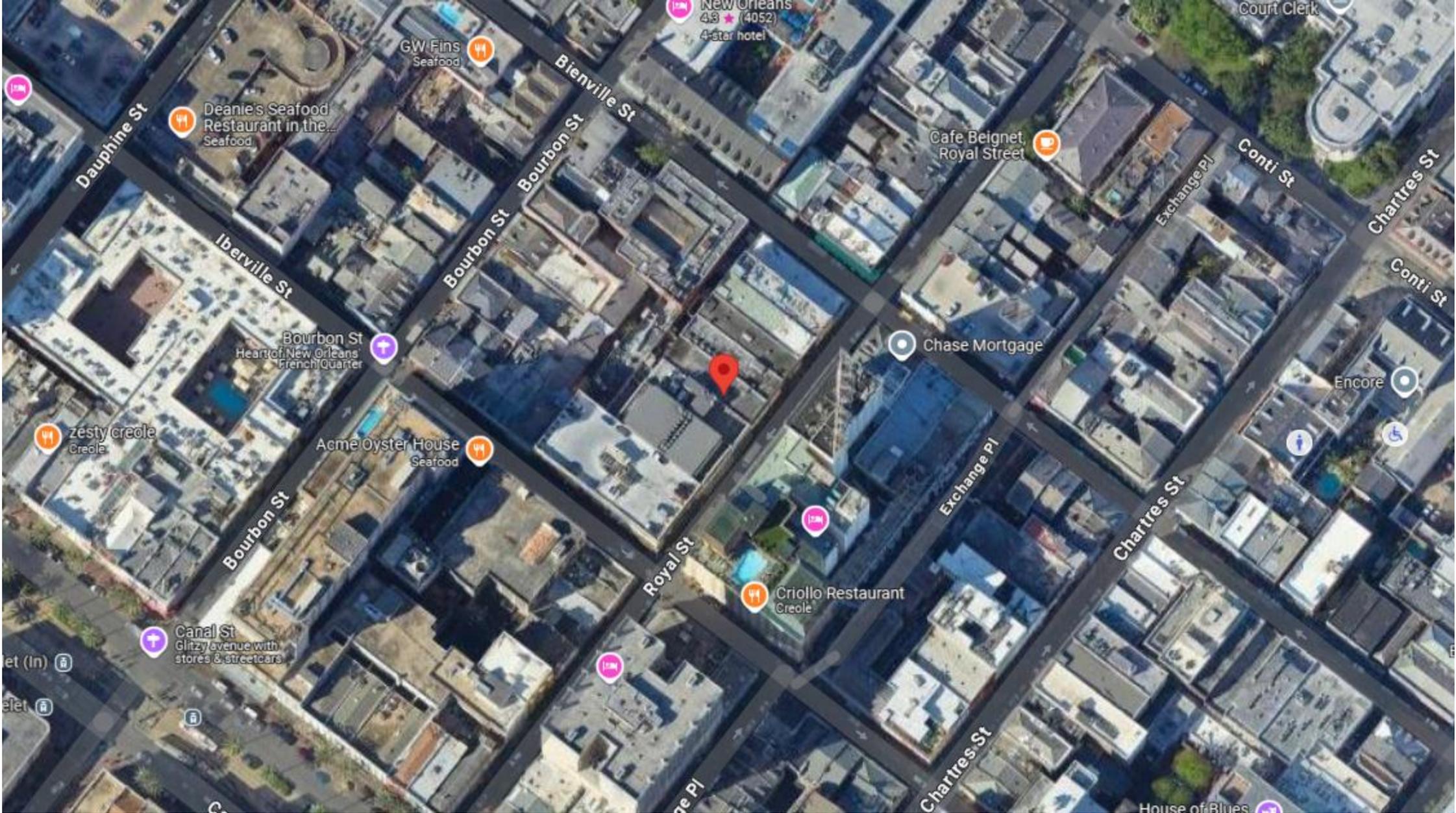


221 Royal

Vieux Carré Commission

July 23, 2025



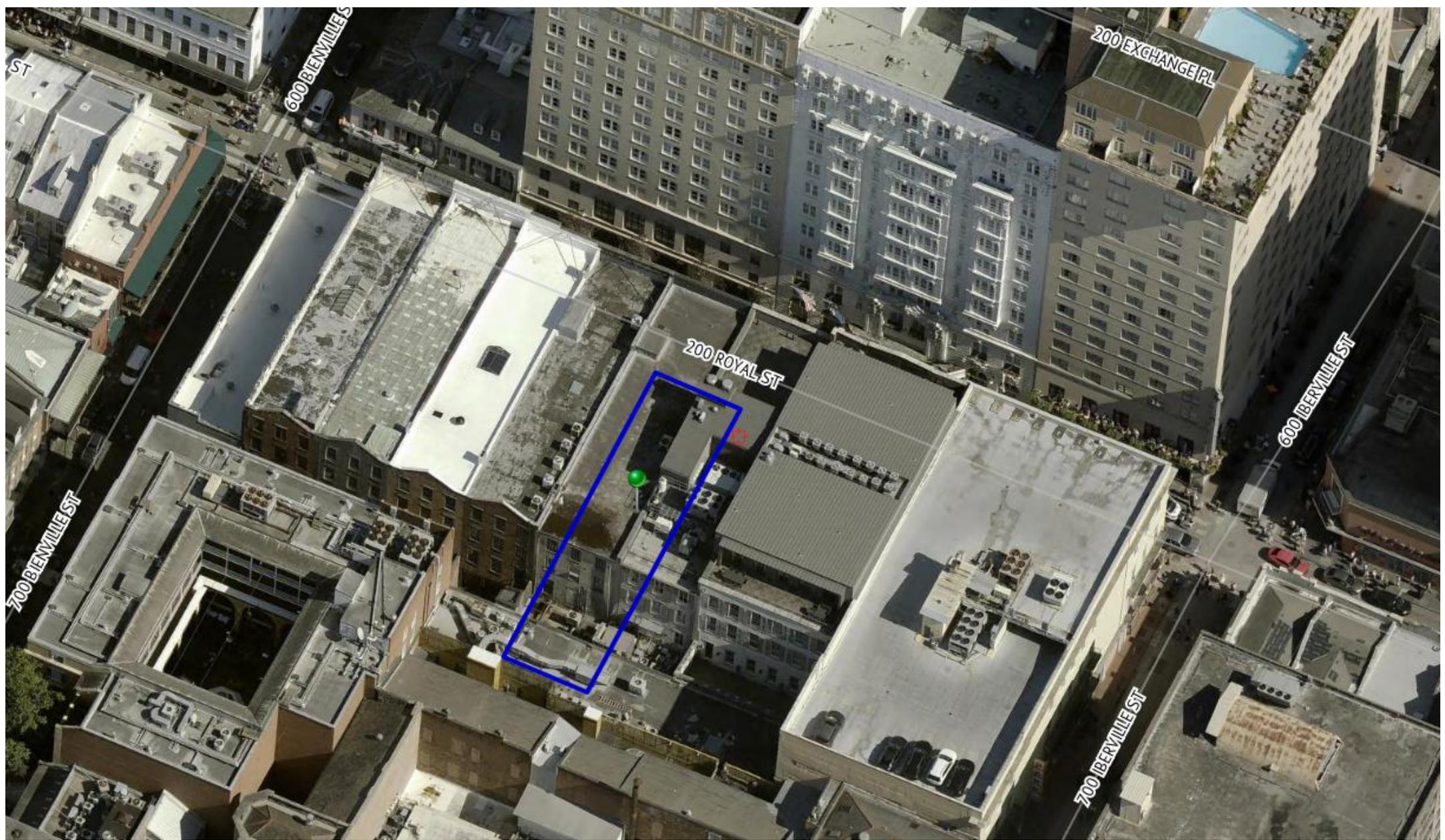


221 Royal

Vieux Carré Commission

July 23, 2025



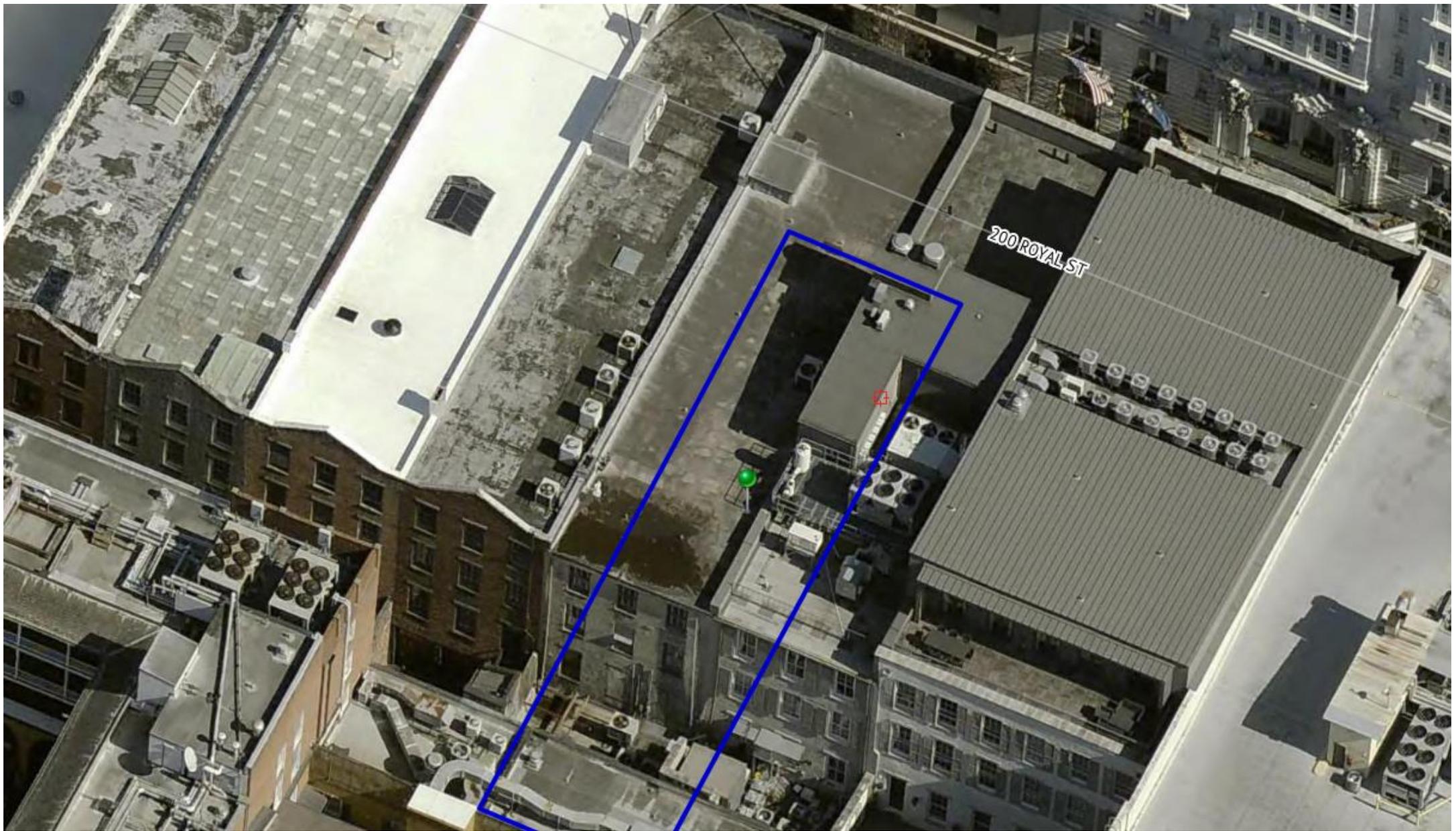


221 Royal

Vieux Carré Commission

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221 Royal

Vieux Carré Commission

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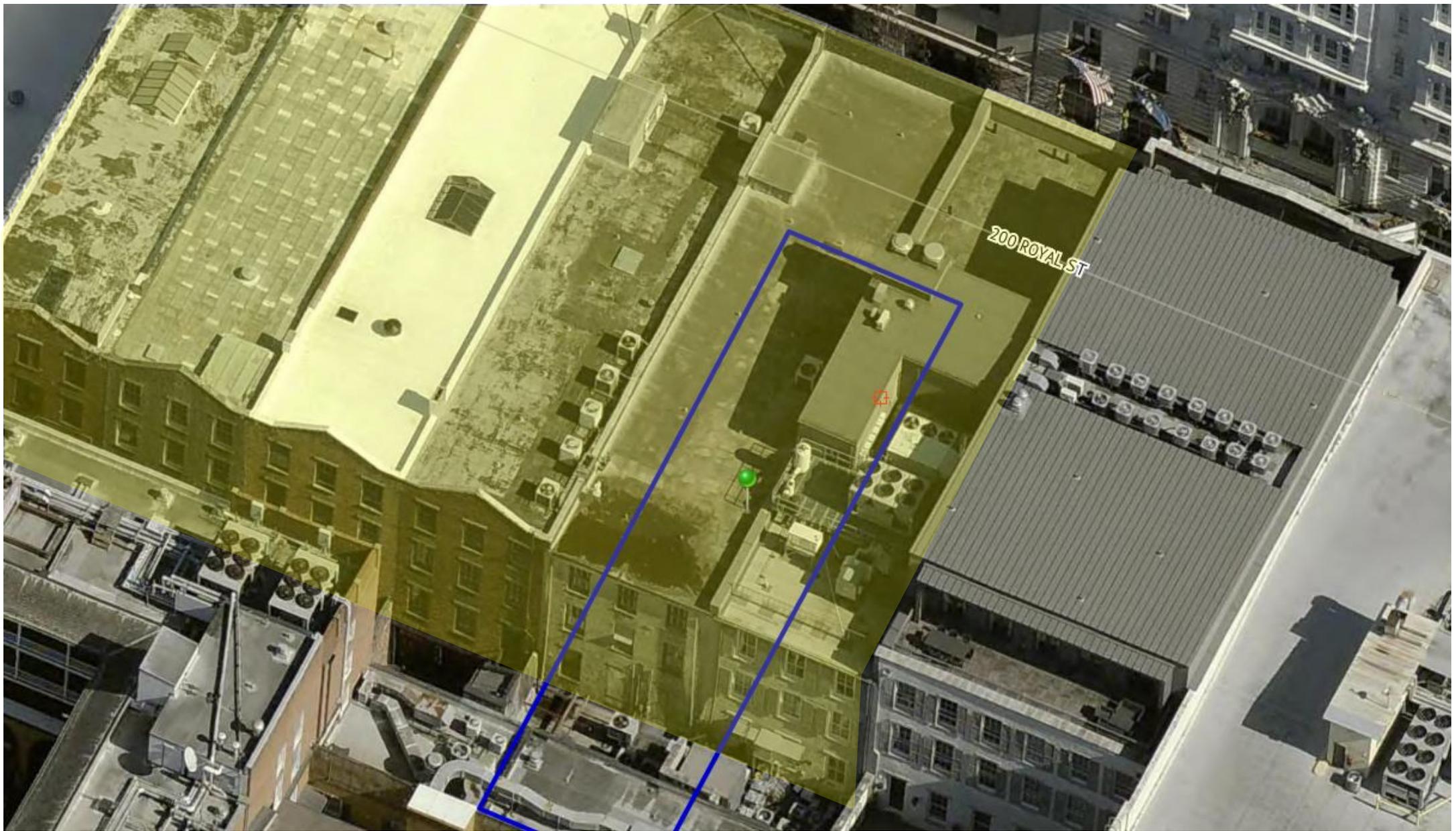


221 Royal – six sister buildings

Vieux Carré Commission

July 23, 2025





221 Royal – six sister buildings



221 Royal

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July 23, 2025





221 Royal

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221 Royal

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221 Royal

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July 23, 2025





221 Royal – restoration of sister building

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July 23, 2025





221 Royal

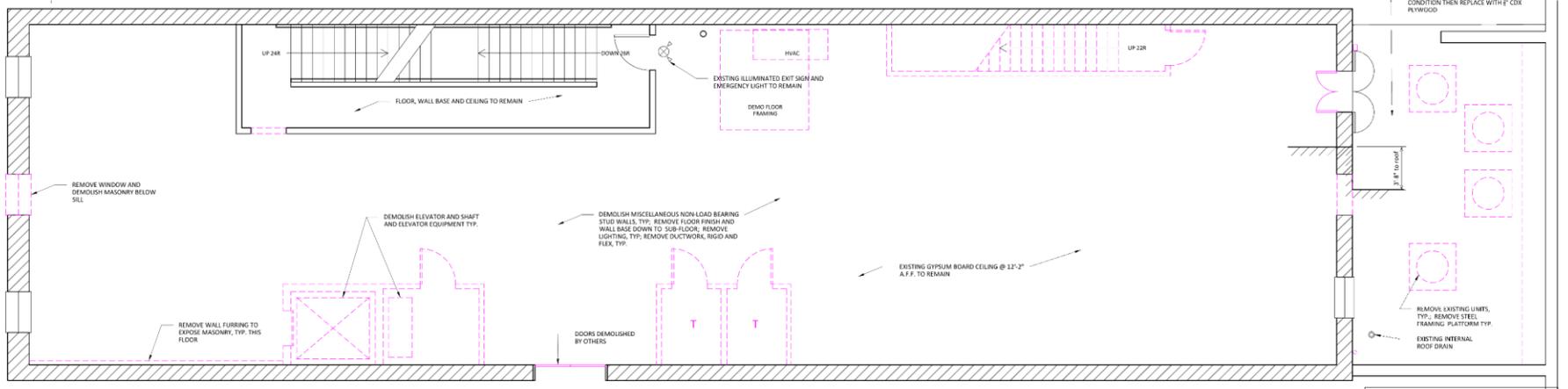
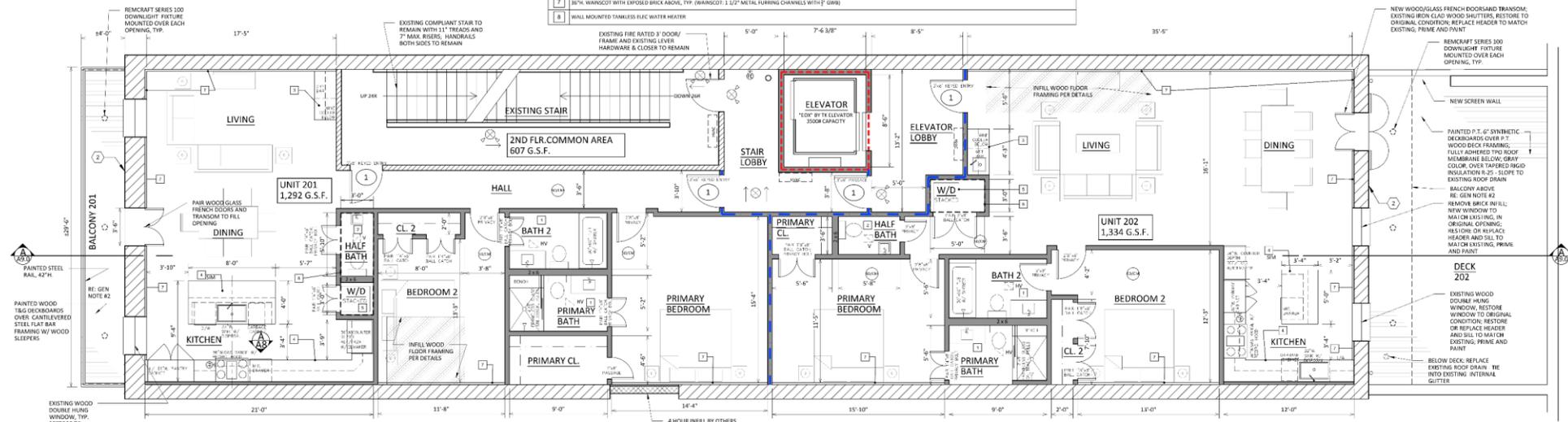
Vieux Carré Commission

July 23, 2025



INTERIOR KEYNOTES

- 1 VANITY: 36" W x 24" DEEP x 36" H. QUARTZ CTOPI AND 4" BACKLASH W/ BASE CABINETS BELOW. BATH ACCESSORIES, ONE (1) WALL MIRROR, ONE (1) TOLLT PAPER DISPENSER, TWO (2) BATH TOWEL BARS, ONE (1) HAND TOWEL HOOK, PROVIDE BLOCKING IN WALL TYP., COORDINATE MATERIALS, FINISHES AND LOCATIONS WITH OWNER, ACCESSORIES, PLUMBING FIXTURES AND FIXTURES SELECTED BY OWNER.
- 2 VANITY: REDESIGN SINK WITH FAUCET, SELECTED BY OWNER. BATH ACCESSORIES, SELECTED BY OWNER. ONE (1) WALL MIRROR, ONE (1) TOLLT PAPER DISPENSER, ONE (1) HAND TOWEL HOOK, PROVIDE BLOCKING IN WALL TYP., COORDINATE MATERIALS, FINISHES AND LOCATIONS WITH OWNER, PLUMBING FIXTURES AND FIXTURES SELECTED BY OWNER.
- 3 3/4" DEEP QUARTZ CTOPI @ 36" A.F.F., 3/4" DEEP PAPER CARBS AND WIND COOKER BELLOW. 4" "PARQUET" SHEET @ 12" TO 4.25" WALL CABINETS ABOVE THE BACKLASH TO BOTTOM OF WALL CABINETS, 3/4" WIDE SINK AND FAUCET @ WET BARE COUNT AT 2" FROM BARE. CABINETS SIMILAR TO OTHER ELEVATION/VIEW.
- 4 24" DEEP QUARTZ CTOPI @ 36" A.F.F., 24" DEEP BASE CABLS BELOW, 12" TO 4.25" WALL CABINETS ABOVE, 24" @ 4.25" A.F.F. TALL BACKSLASH TO BOTTOM OF WALL CABINETS. FIXTURES / FAUCETS ALL SELECTED BY OWNER. COORDINATE CABINET LAYOUT WITH "APPURANCES" LISTED ON SHEET A-1.0, RE. ELEVATION/VIEW FOR TYP. KITCHEN CABINET SIZE, MATERIAL AND STYLE. EACH KITCHEN MAY VARY IN LAYOUT.
- 5 VENT DRYER UP THROUGH ROOF.
- 6 PLATFORM ABOVE @ 9" A.F.F. WITH ACCESS DOORS FOR LOW PROFILE HVAC UNIT AND TANKLESS ELEC WATER HEATER. MIN. 8' CEILING HT. BELOW PLATFORM.
- 7 3/4" WAINSCOT WITH EXPOSED BRICK ABOVE, TYP. (WAINSCOT: 1.1/2" METAL FURNING CHANNELS WITH 1/2" GRIP).
- 8 WALL MOUNTED TANKLESS ELEC WATER HEATER.



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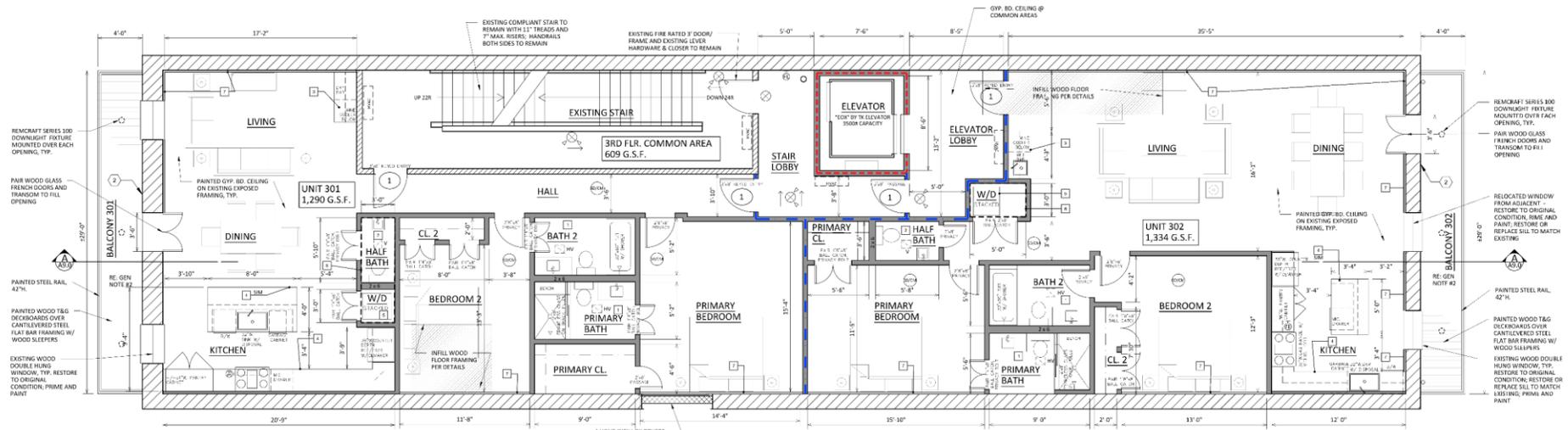
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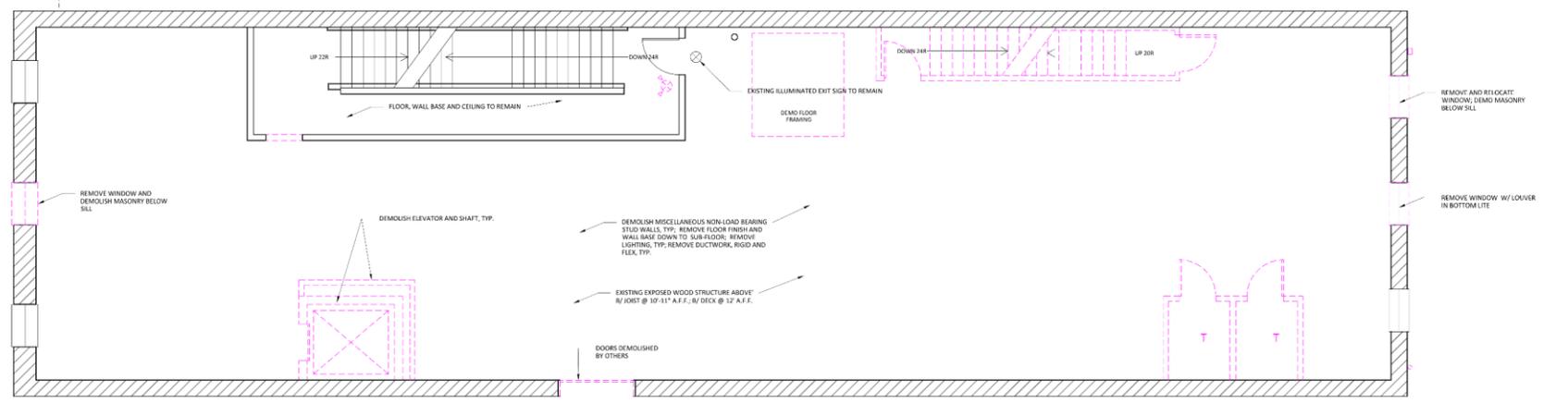
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PROPOSED 3rd FLOOR PLAN NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS
 SC: 1/4" = 1'-0" **3,234 G.S.F.**

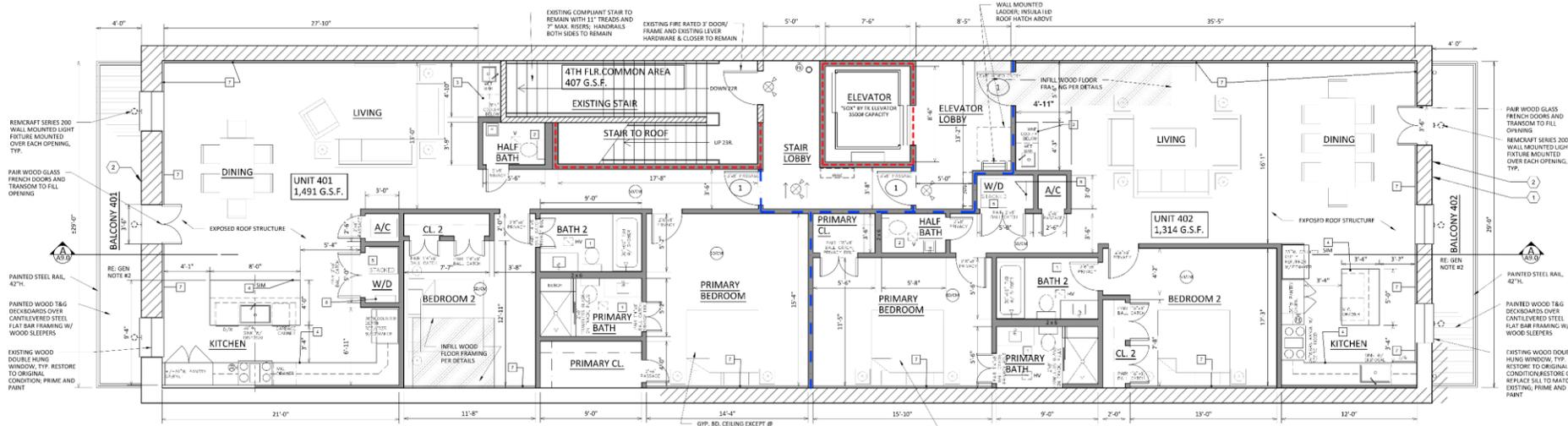


EXISTING / DEMOLITION 3rd FLOOR PLAN
 SC: 1/4" = 1'-0"

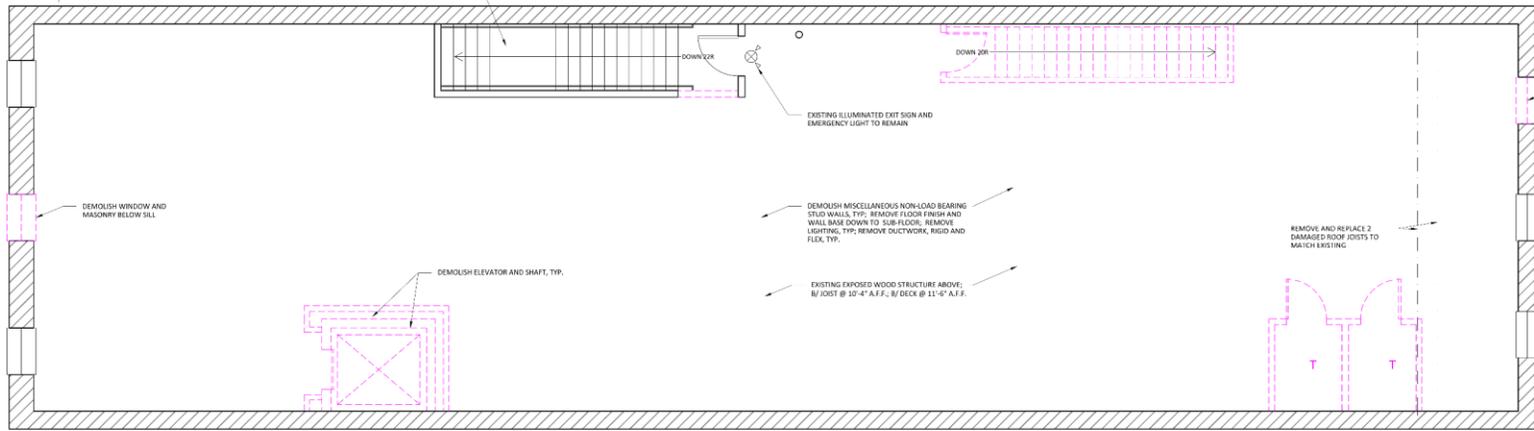
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A4
 LKH1225

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PROPOSED 4th FLOOR PLAN
 SC: 1/4" = 1'-0"
 NOTE: ALL CONSTRUCTION IS NEW UNLESS NOTED AS "EXISTING" IN LEGEND AND/OR FLOOR PLANS
3,234 G.S.F.



EXISTING / DEMOLITION 4th FLOOR PLAN
 SC: 1/4" = 1'-0"

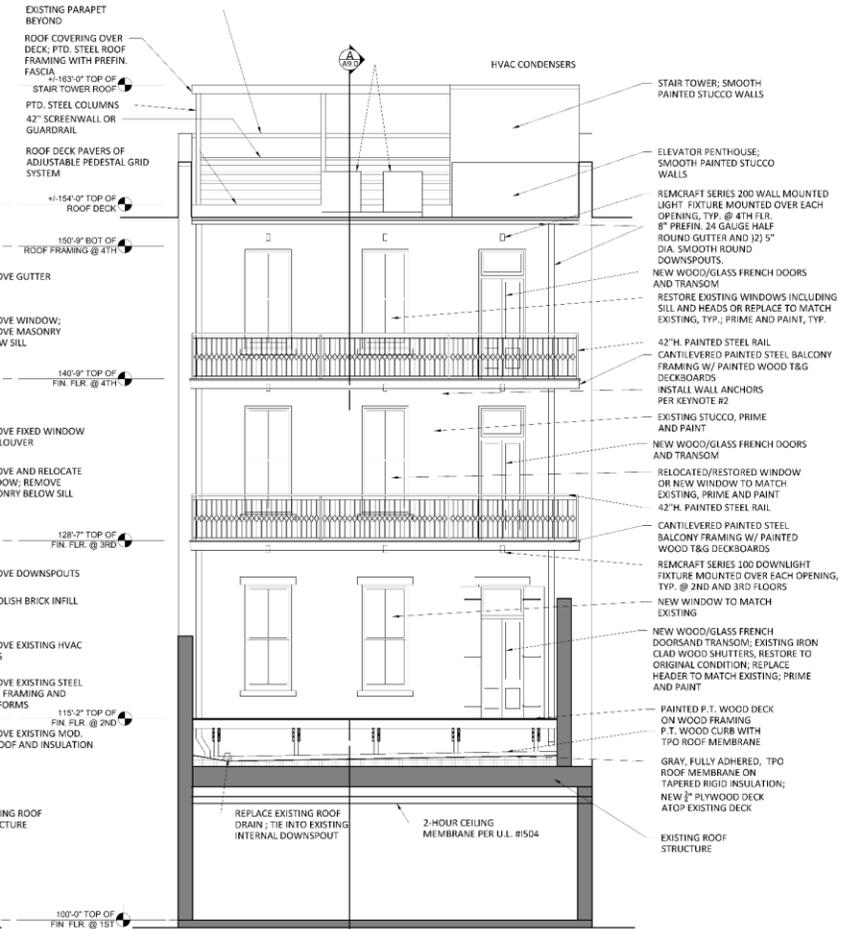
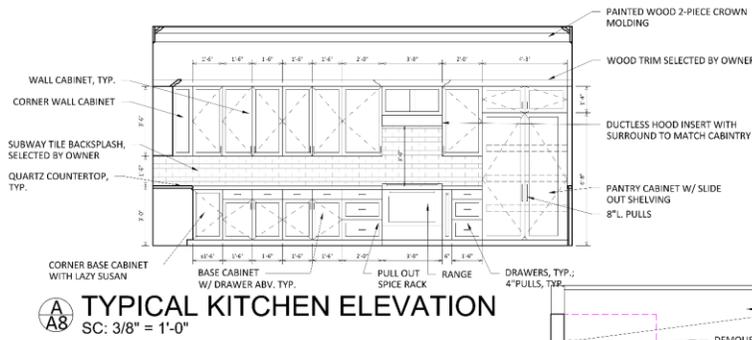
221 ROYAL STREET RENOVATION New Orleans, LA 70130	L'Harmon Architects A Professional Architecture Corporation 6339 Acadian Boulevard New Orleans, Louisiana 70118 504.485.1070 lharmon@lharmonarchitects.com	1.00 - 1.00 2.00 - 2.00 3.00 - 3.00 4.00 - 4.00 5.00 - 5.00 6.00 - 6.00 7.00 - 7.00 8.00 - 8.00 9.00 - 9.00 10.00 - 10.00 11.00 - 11.00 12.00 - 12.00 13.00 - 13.00 14.00 - 14.00 15.00 - 15.00 16.00 - 16.00 17.00 - 17.00 18.00 - 18.00 19.00 - 19.00 20.00 - 20.00 21.00 - 21.00 22.00 - 22.00 23.00 - 23.00 24.00 - 24.00 25.00 - 25.00 26.00 - 26.00 27.00 - 27.00 28.00 - 28.00 29.00 - 29.00 30.00 - 30.00 31.00 - 31.00 32.00 - 32.00 33.00 - 33.00 34.00 - 34.00 35.00 - 35.00 36.00 - 36.00 37.00 - 37.00 38.00 - 38.00 39.00 - 39.00 40.00 - 40.00 41.00 - 41.00 42.00 - 42.00 43.00 - 43.00 44.00 - 44.00 45.00 - 45.00 46.00 - 46.00 47.00 - 47.00 48.00 - 48.00 49.00 - 49.00 50.00 - 50.00 51.00 - 51.00 52.00 - 52.00 53.00 - 53.00 54.00 - 54.00 55.00 - 55.00 56.00 - 56.00 57.00 - 57.00 58.00 - 58.00 59.00 - 59.00 60.00 - 60.00 61.00 - 61.00 62.00 - 62.00 63.00 - 63.00 64.00 - 64.00 65.00 - 65.00 66.00 - 66.00 67.00 - 67.00 68.00 - 68.00 69.00 - 69.00 70.00 - 70.00 71.00 - 71.00 72.00 - 72.00 73.00 - 73.00 74.00 - 74.00 75.00 - 75.00 76.00 - 76.00 77.00 - 77.00 78.00 - 78.00 79.00 - 79.00 80.00 - 80.00 81.00 - 81.00 82.00 - 82.00 83.00 - 83.00 84.00 - 84.00 85.00 - 85.00 86.00 - 86.00 87.00 - 87.00 88.00 - 88.00 89.00 - 89.00 90.00 - 90.00 91.00 - 91.00 92.00 - 92.00 93.00 - 93.00 94.00 - 94.00 95.00 - 95.00 96.00 - 96.00 97.00 - 97.00 98.00 - 98.00 99.00 - 99.00 100.00 - 100.00	A5 LKH1225
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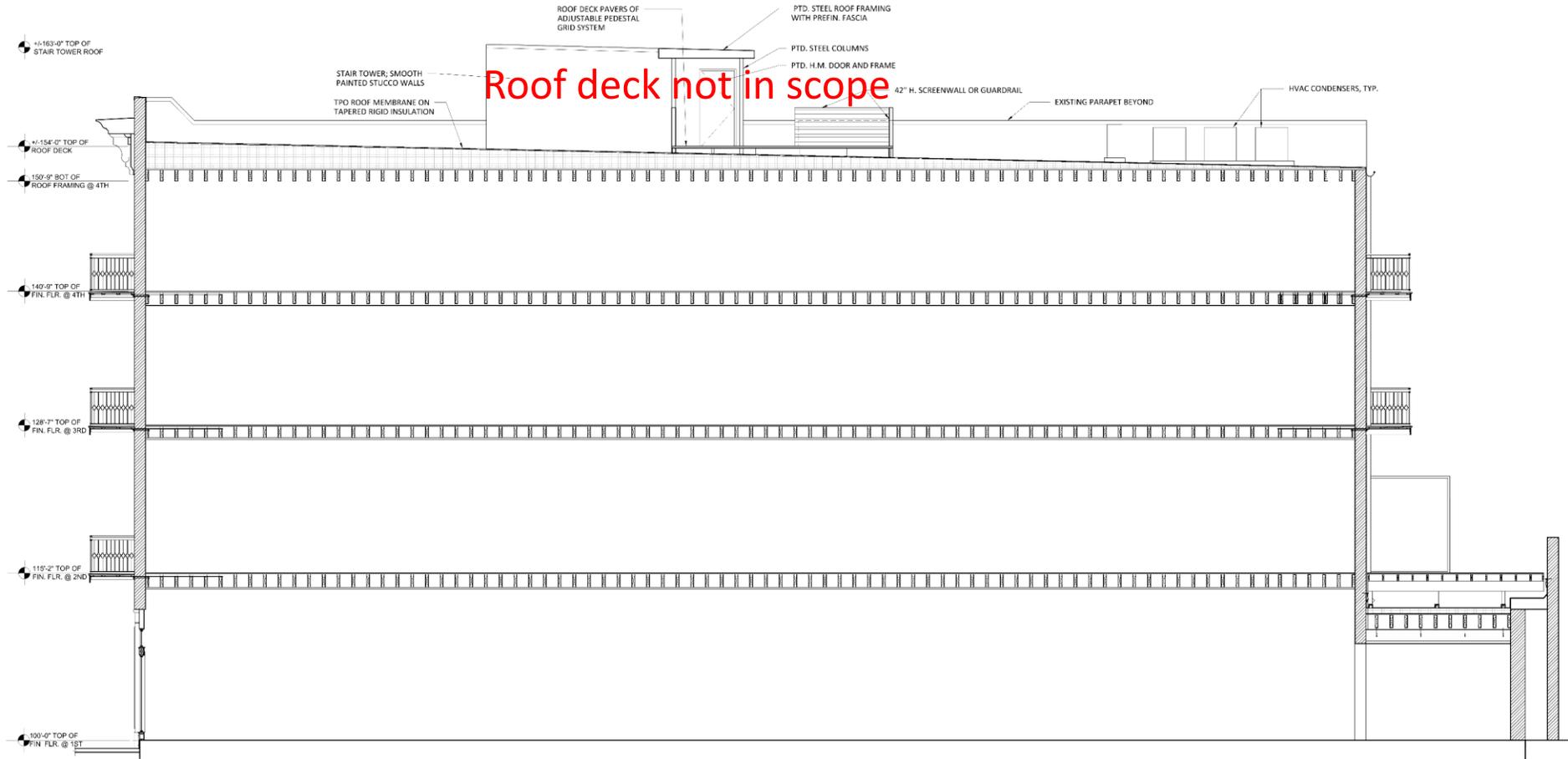
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A8
LKH#1225

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Roof deck not in scope

A
A9.0 BUILDING SECTION
SC: 1/4" = 1'-0"

221 ROYAL STREET RENOVATION New Orleans, LA 70130	 LKHARMON Architects A Professional Architectural Corporation 6208 Magazine Boulevard New Orleans, Louisiana 70114 504.586.8999 lkharchitects.com	1/23/2025 A9.0
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A NEW BALCONY, GALLERY OR PORCH

Adding a new balcony, gallery, porch or overhang will greatly alter the appearance of a building. In select cases, the VCC might approve the installation of a new balcony, gallery, porch or overhang provided that:

- There is documentary evidence supporting a balcony, gallery, porch or overhang previously existed
- The installation is appropriate for the building type
- The installation does not destroy or conceal an important architectural feature or detail
- The proposed design is compatible in size, scale and design to the building and surrounding streetscape

When installing a new balcony, gallery, porch or overhang, great care should be taken to minimize the removal of existing building fabric during its installation and attachment. In addition, the design of the components should be simple and visually minimized to allow the wall surfaces beyond to remain visible. When installing a new metal gallery, simple posts located along the curb with a plain balustrade are generally most appropriate. (Refer to *Guidelines for New Construction, Additions & Demolition* for information regarding the reconstruction or installation of a new balcony, gallery, porch or overhang.)

VCC REVIEW FOR ADDING OR REMOVING A BALCONY, GALLERY OR PORCH

The VCC does not allow the addition of ornamental wrought or cast iron to a gallery or balcony where it is not documented for the particular style or type of building, such as a former warehouse building. The VCC does not allow the removal of contributing ornamental metals or a porch.