



Date _____	Received by _____
Tracking Number _____	

**DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION**

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application:  Design Review       Interim Zoning Districts Appeal       Moratorium Appeal

Property Location 4780 HAYNE BLVD., NEW ORLEANS, LA 70126

**APPLICANT INFORMATION**

Applicant Identity:  Property Owner       Agent

Applicant Name MATT NORTON, SCNZ ARCHITECTS LLC

Applicant Address 2134 MAGAZINE ST., SUITE 200

City NEW ORLEANS State LA Zip 70130

Applicant Contact Number 504.301.3722 Email mnorton@scnz.net

**PROPERTY OWNER INFORMATION**      SAME AS ABOVE

Property Owner Name CITY OF NEW ORLEANS

Property Owner Address 1300 PERDIDO ST.

City NEW ORLEANS State LA Zip 70112

Property Owner Contact Number 504.658.8666 Email katherine.champagne@nola.gov

**PROJECT DESCRIPTION**

RESTORATION OF WEST PARKING LOT AT WESLEY BARROW STADIUM. INCLUDES INSTALLATION OF NEW SUBSURFACE DRAINAGE.

**REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)**

**Design Overlay District Review**

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- University Area Design Overlay
- Corridor Transformation
- Greenway Corridor
- Others as required

**Non-Design Overlay District Review**

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

**ADDITIONAL INFORMATION**

Current Use PARKING LOT      Proposed Use PARKING LOT

Square Number 8      Lot Number N/A      Permeable Open Space (sf) 36,550

New Development? Yes  No       Addition? Yes  No       PARKING LOT TOTAL AREA: 69,880 SF

Existing Structure(s)? Yes  No       Renovations? Yes  No       Tenant Width N/A

Change in Use? Yes  No       Existing Signs? Yes  No       Building Width N/A

New Sign(s)? Yes  No       Lot Area (sf) N/A      Lot Width (sf) N/A

Building Area (sf) N/A



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## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of adjacent buildings
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

#### 2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways *ON CIVIL*

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- Photographs of the subject site and/or building

#### 8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

#### 10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

- Additional submittal requirements for the University Area Design Overlay

### FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000



06.28.24

Design Architectural Committee  
City of New Orleans  
1300 Perdido St.  
New Orleans, LA 70112

Regarding: Wesley Barrow Stadium Complex

This project adds additional scope to a project already approved by the DAC for a new Multi-Purpose Facility at the Wesley Barrow Stadium complex. This facility was approved at the 9/21/22 DAC Meeting as Design Review 045/22.

City is now ready to move forward on the project and we have added refurbishment of the far west Parking Lot next to the Stadium. This involves the reconstruction of the parking lot to comply with access lane and parking space width requirements, landscaping requirements and drainage requirements with a Stormwater Management Plan submitted for permit review.

Total number of parking spaces will be reduced from the current approximately 210-220 spaces (unmarked) to 170. New asphalt paving will be laid down for the aisles with gravel filled parking spaces. Islands have been added and landscaping will be expanded with rain gardens at islands and subsurface drainage added. The existing pine trees at the lot (14 pine trees) will be removed completely, to be replaced by 13 Crape Myrtles, 5 Sweet-bay Magnolias, 12 Swamp Chestnut Oaks, 8 Bald Cypresses and 6 Vitexes along with ground cover and shrubs.

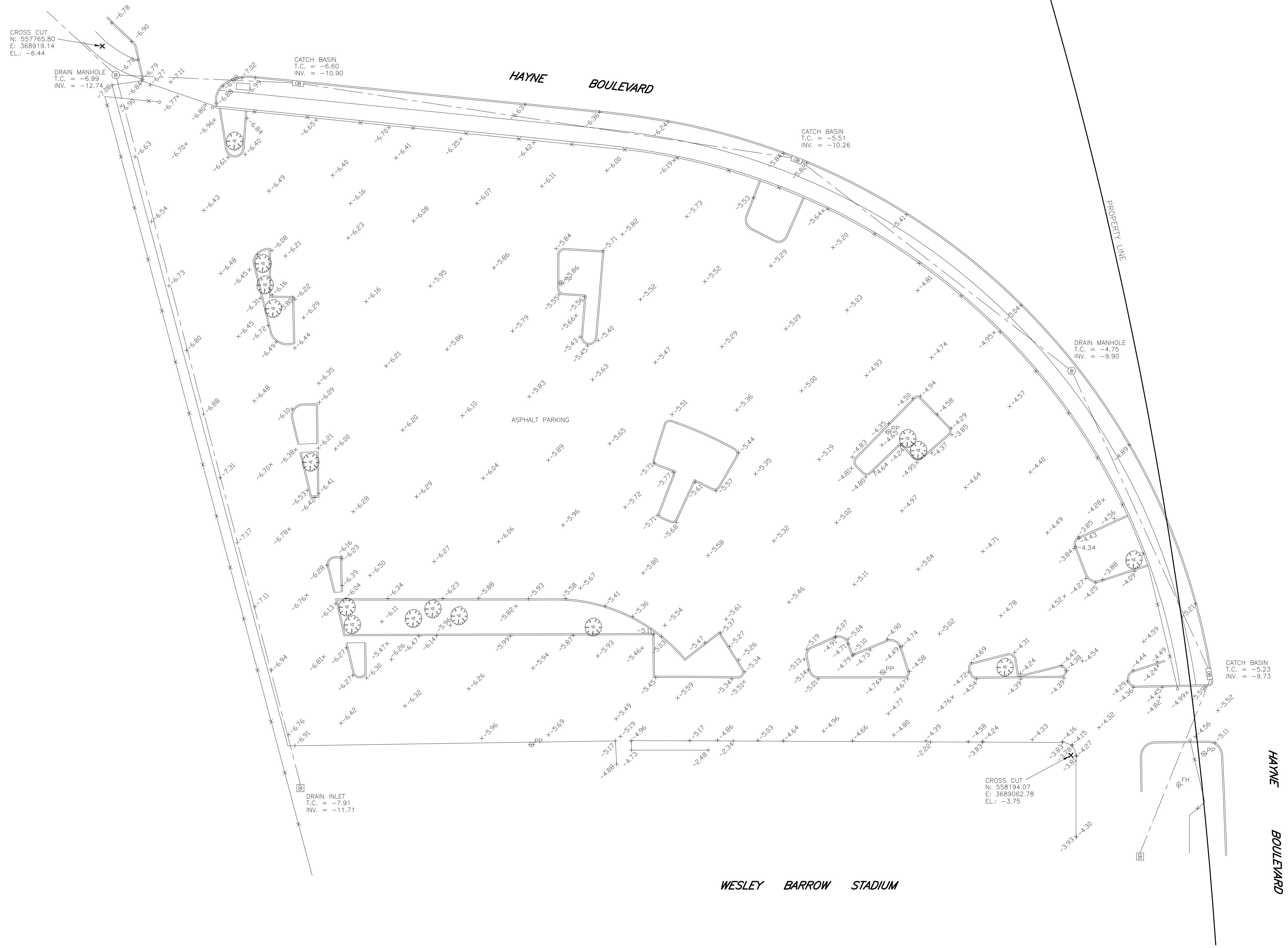
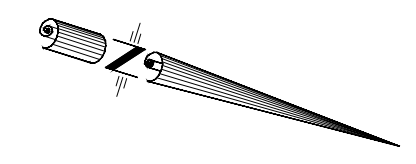
Matt Norton  
SCNZ Architects, LLC

**GENERAL NOTES**

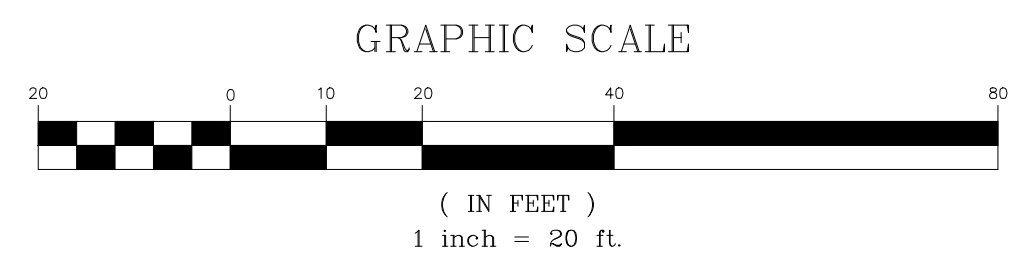
THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

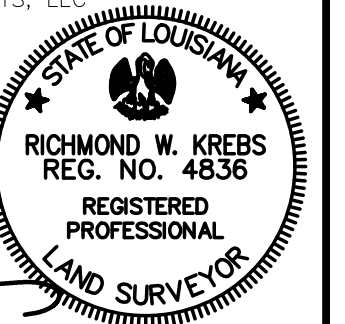


WESLEY BARROW STADIUM



THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:XXI, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF SONZ ARCHITECTS, LLC



BY: *Richmond W. Krebs, Sr.*  
 RICHMOND W. KREBS, SR., PLS., No. 4836  
 DATE: MAY 21, 2024 DRAWN BY: NDK  
 SCALE: 1" = 20' CHECKED BY: RWK  
 JOB #: 240497

**TOPOGRAPHIC SURVEY OF  
 A PORTION OF WESLEY  
 BARROW STADIUM  
 THIRD DISTRICT  
 ORLEANS PARISH, LA**

**R.W. KREBS**  
 PROFESSIONAL LAND SURVEYING, LLC  
 RICHMOND W. KREBS, SR., PLS.  
 3445 N. CAUSEWAY BLVD, SUITE 201  
 METAIRIE, LA. 70002  
 PHONE: (504) 889-9616  
 FAX: (504) 889-0916  
 E-MAIL: infonola@rwkrebs.com  
 WEB: www.rwkrebs.com



VIEW NORTH



VIEW NORTH



VIEW NORTHEAST



VIEW NORTHEAST GATE



VIEW EAST



VIEW SOUTHEAST



VIEW SOUTH



VIEW SOUTH



VIEW SOUTHWEST



VIEW WEST AT DRIVEWAY



VIEW SOUTHWEST GATE DRIVEWAY APRON



VIEW WEST



VIEW NORTHWEST



ARCHITECTS

2134 Magazine St, Suite 200  
New Orleans, Louisiana 70130  
www.sonz.net | (504) 301-3722

Wesley Barrow Multipurpose Facility  
City of New Orleans, w/ MLB Youth Foundation  
4780 Hayne Blvd., New Orleans, LA 70126

Issued

Date	To	Use / Restriction
06.28.24	City	DAC Review

Progress

Release

Project No. 2126 Drawn By jas

West  
Parking Lot  
Photos  
**A002**



### LEGEND

	EXISTING GRASS
	NEW GRASS
	EXISTING CONCRETE
	NEW CONCRETE
	NEW PERMEABLE PAVING
	NEW ASPHALT

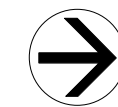
### NOTES

1. REFER TO LANDSCAPE DRAWINGS FOR PLANTING TYPES AND QUANTITIES.
2. REFER TO CIVIL DRAWINGS FOR PAVING INFORMATION AND DIMENSIONS OF DRIVEWAYS AND PARKING STALLS.

### AREA

GROSS PARKING LOT	69,880 SF
PERMEABLE AREA OF LOT	36,550 SF

1 Architectural Site Plan for Alternate No. 01  
A101 Scale: 1" = 20'-0"



ARCHITECTS

2134 Magazine St, Suite 200  
New Orleans, Louisiana 70130  
www.sonz.net | (504) 301-3722

**Wesley Barrow Multipurpose Facility**  
City of New Orleans, w/ MLB Youth Foundation  
4780 Hayne Blvd., New Orleans, LA 70126

#### Issued

Date	To	Use / Restriction
06.28.24	City	DAC Review

Progress	<input type="checkbox"/>
Release	<input checked="" type="checkbox"/>

Project No. 2126 Drawn By jas

Architectural  
Site Plan  
Alternate 01

**A101**

Issued

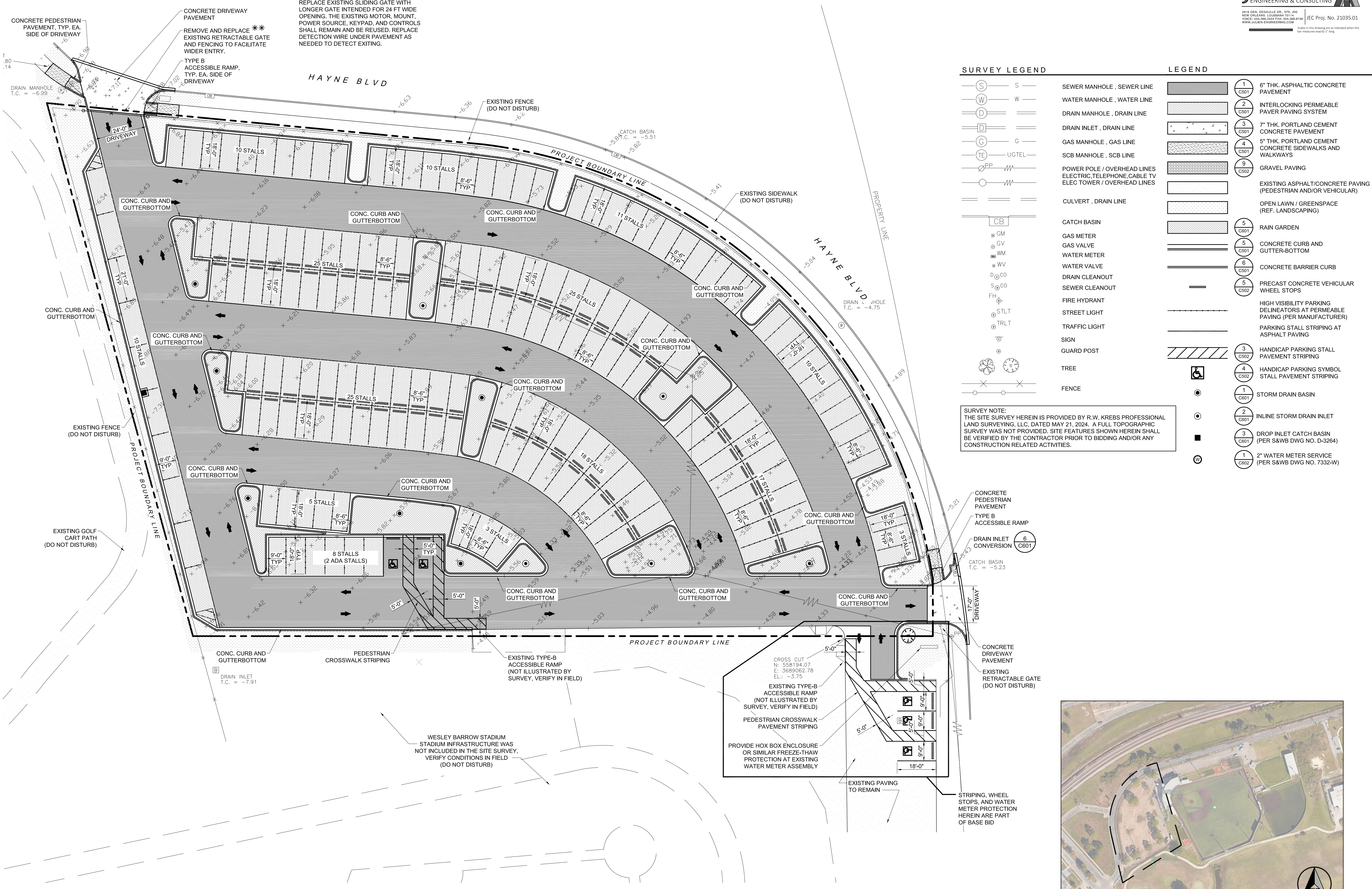
Date	To	Use / Restriction
03.24.22	Owner	166/Remit
05.17.24	Owner	999/13/let
05.06.24	Owner	1000/13/5et

Progress   
Release



Project No. 2126 Drawn By AJM

**\*\* NOTE:**  
REPLACE EXISTING SLIDING GATE WITH  
LONGER GATE INTENDED FOR 24 FT WIDE  
OPENING. THE EXISTING MOTOR, MOUNT,  
POWER SOURCE, KEYPAD, AND CONTROLS  
SHALL REMAIN AND BE REUSED. REPLACE  
DETECTION WIRE UNDER PAVEMENT AS  
NEEDED TO DETECT EXITING.



**SURVEY LEGEND**

- (S) S — SEWER MANHOLE, SEWER LINE
- (W) W — WATER MANHOLE, WATER LINE
- (D) D — DRAIN MANHOLE, DRAIN LINE
- (D) D — DRAIN INLET, DRAIN LINE
- (G) G — GAS MANHOLE, GAS LINE
- (TE) UGTEL — UGTEL
- PP PP — POWER POLE / OVERHEAD LINES  
ELECTRIC, TELEPHONE, CABLE TV  
ELEC TOWER / OVERHEAD LINES
- CB CB — CULVERT, DRAIN LINE
- GM GM — GAS METER
- GV GV — GAS VALVE
- WM WM — WATER METER
- WV WV — WATER VALVE
- D/CO D/CO — DRAIN CLEANOUT
- S/CO S/CO — SEWER CLEANOUT
- FH FH — FIRE HYDRANT
- STLT STLT — STREET LIGHT
- TRLT TRLT — TRAFFIC LIGHT
- ◎ ◎ — SIGN
- ◎ ◎ — GUARD POST
- ◎ ◎ — TREE
- — — — — FENCE

**LEGEND**

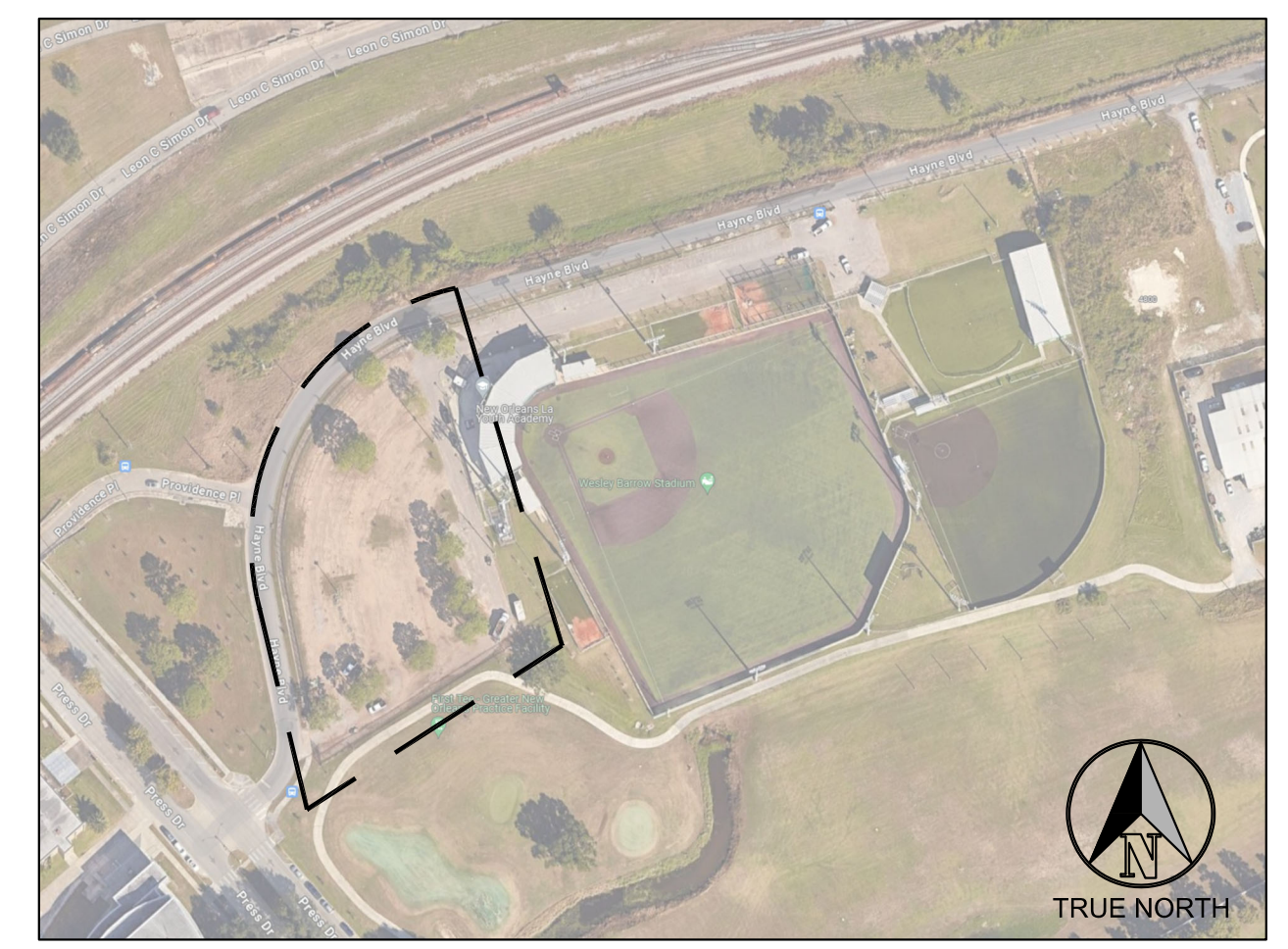
- 1 C601 6" THK. ASPHALTIC CONCRETE PAVEMENT
- 2 C601 INTERLOCKING PERMEABLE PAVING SYSTEM
- 3 C601 7" THK. PORTLAND CEMENT CONCRETE PAVEMENT
- 4 C601 5" THK. PORTLAND CEMENT CONCRETE SIDEWALKS AND WALKWAYS
- 9 C602 GRAVEL PAVING
- EXISTING ASPHALT/CONCRETE PAVING (PEDESTRIAN AND/OR VEHICULAR)
- OPEN LAWN / GREENSPACE (REF. LANDSCAPING)
- 5 C601 RAIN GARDEN
- 5 C601 CONCRETE CURB AND GUTTER-BOTTOM
- 6 C601 CONCRETE BARRIER CURB
- 5 C602 PRECAST CONCRETE VEHICULAR WHEEL STOPS
- HIGH VISIBILITY PARKING DELINEATORS AT PERMEABLE PAVING (PER MANUFACTURER)
- PARKING STALL STRIPING AT ASPHALT PAVING
- 3 C602 HANDICAP PARKING STALL PAVEMENT STRIPING
- 4 C602 HANDICAP PARKING SYMBOL STALL PAVEMENT STRIPING
- 1 C601 STORM DRAIN BASIN
- 2 C601 INLINE STORM DRAIN INLET
- 3 C601 DROP INLET CATCH BASIN (PER S&WB DWG NO. D-3264)
- 1 C602 2" WATER METER SERVICE (PER S&WB DWG NO. 7332-W)

**SURVEY NOTE:**  
THE SITE SURVEY HEREIN IS PROVIDED BY R.W. KREBS PROFESSIONAL LAND SURVEYING, LLC, DATED MAY 21, 2024. A FULL TOPOGRAPHIC SURVEY WAS NOT PROVIDED. SITE FEATURES SHOWN HEREIN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BIDDING AND/OR ANY CONSTRUCTION RELATED ACTIVITIES.

**1 SITE PLAN - ALTERNATE 1**  
SCALE: 1" = 20'-0"

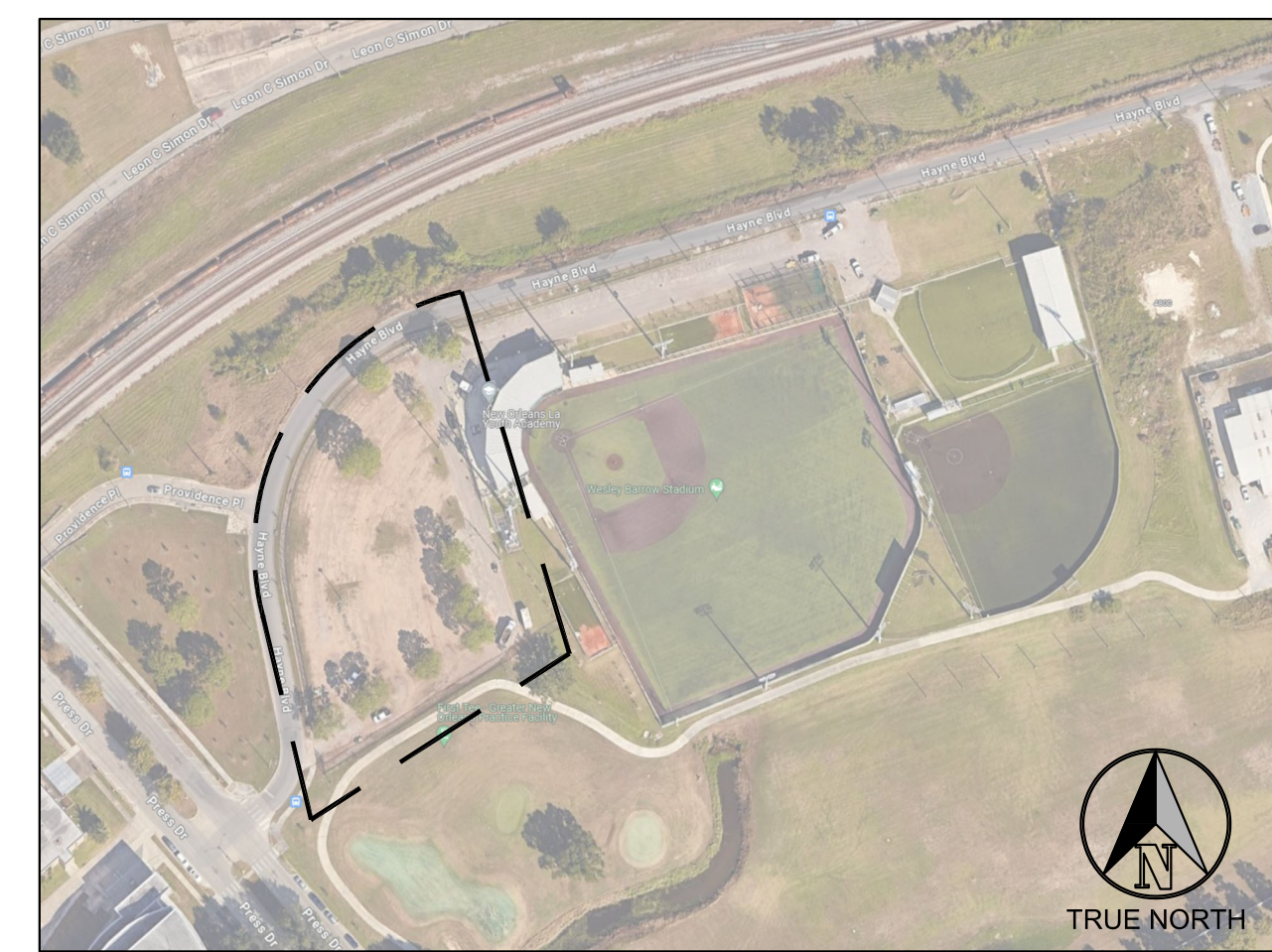
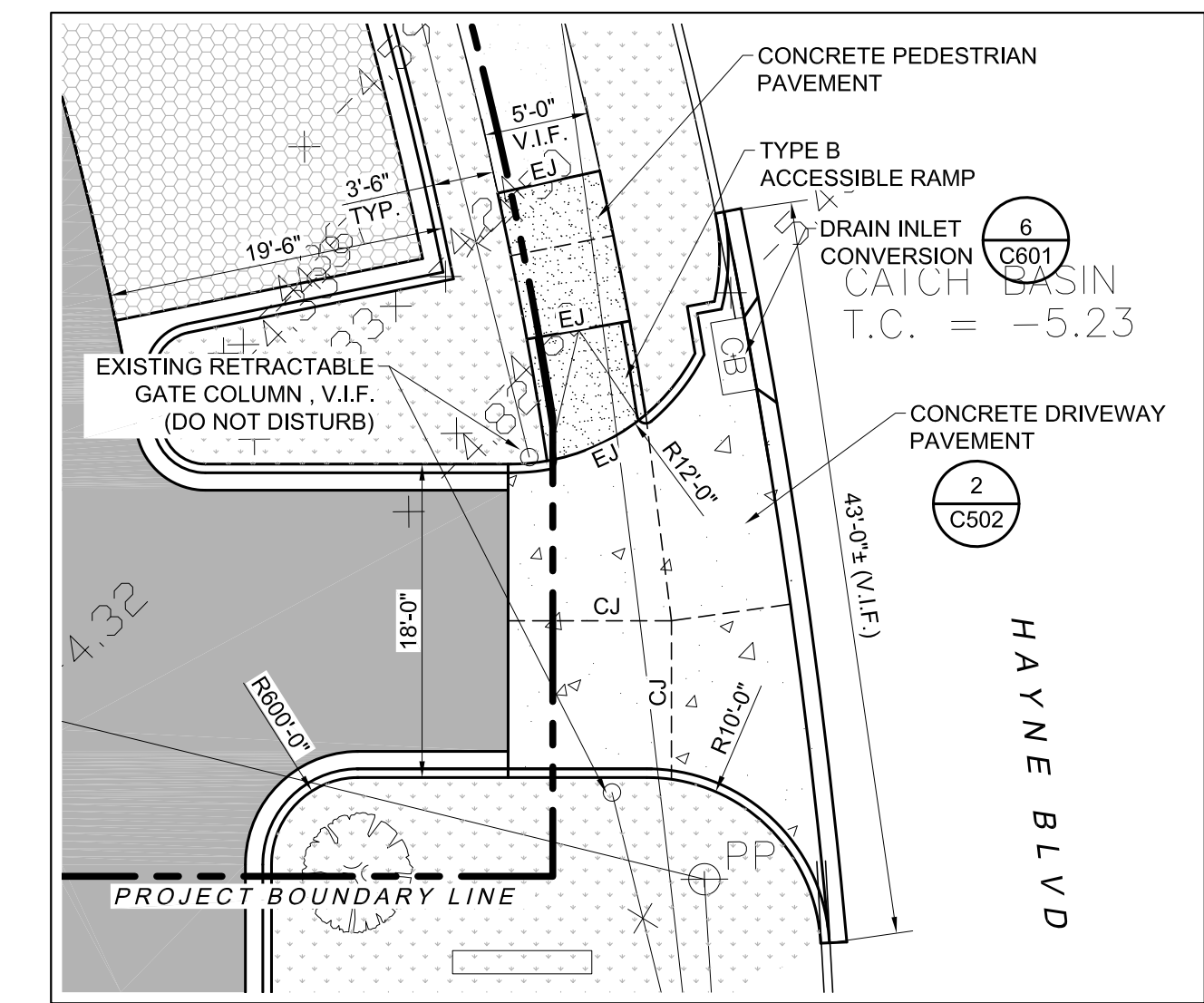
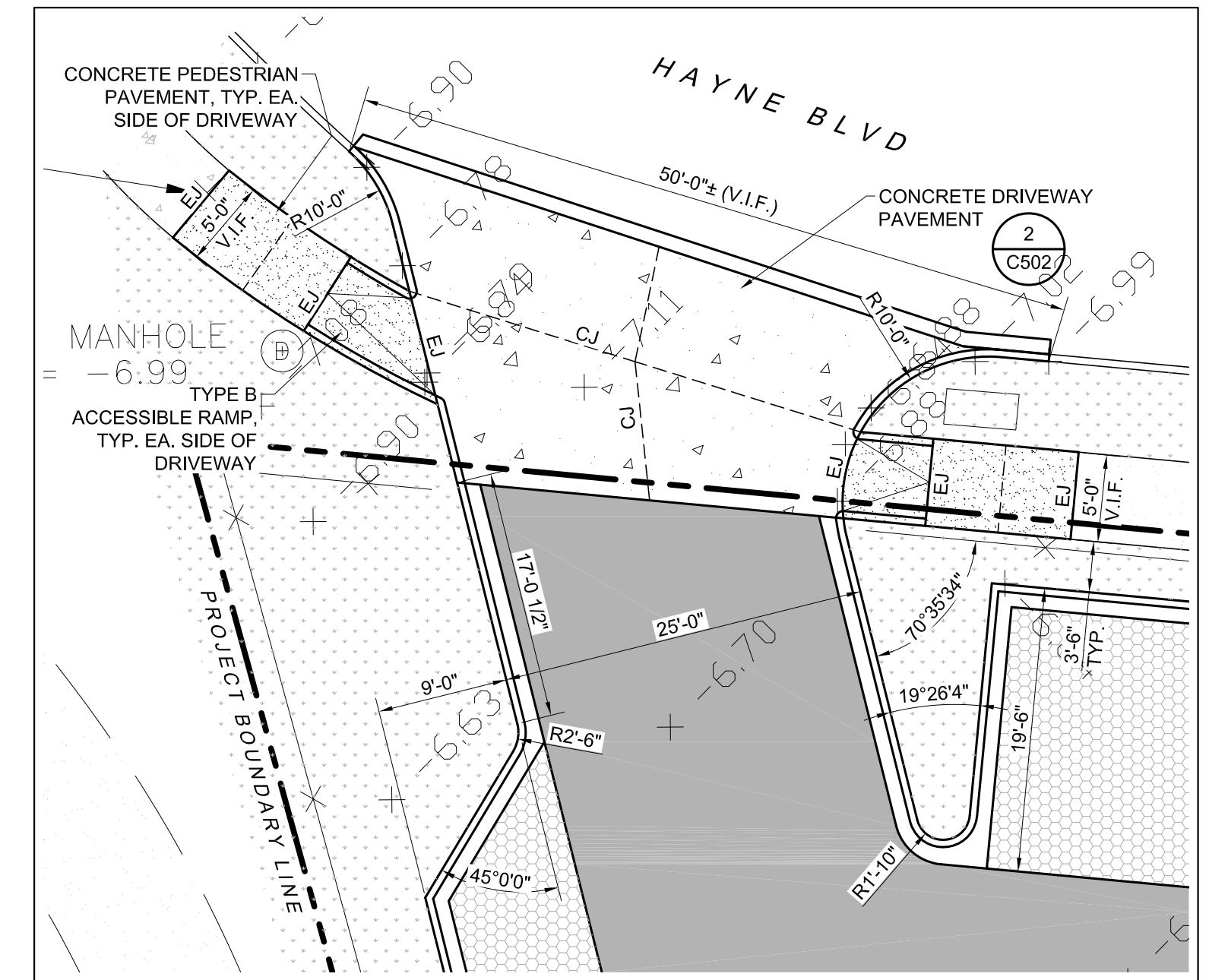
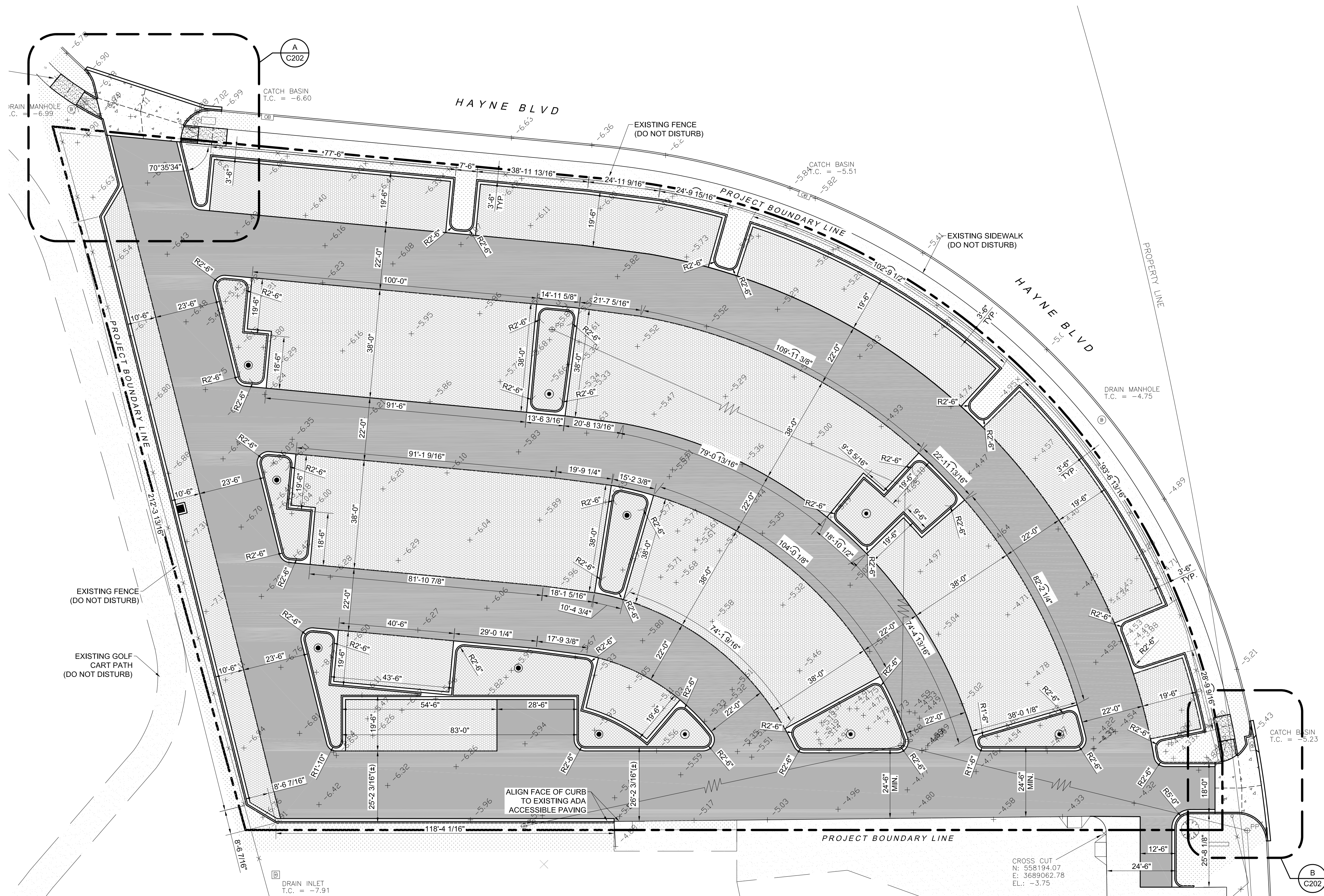
TRUE NORTH

**PARKING COUNT:  
170 STALLS @ 8'-6" MIN.**



**PLAN VICINITY MAP**

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**PAVING LEGEND**

4	WEAKENED PLANE JOINTS AT PEDESTRIAN PAVEMENT
8	CONTROL JOINTS
10	EXPANSION JOINTS
10	EXPANSION JOINTS AT BUILDING

**SURVEY NOTE:**  
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**1**  
**PAVING PLAN - ALTERNATE 1**  
SCALE: 1" = 20'-0"  
TRUE NORTH

**Issued**

Date	To	Use / Restriction
03.24.22	Owner	164/Permit
05.17.24	Owner	9979/CS-Set
05.06.24	Owner	10076/CS-Set

Progress

Release

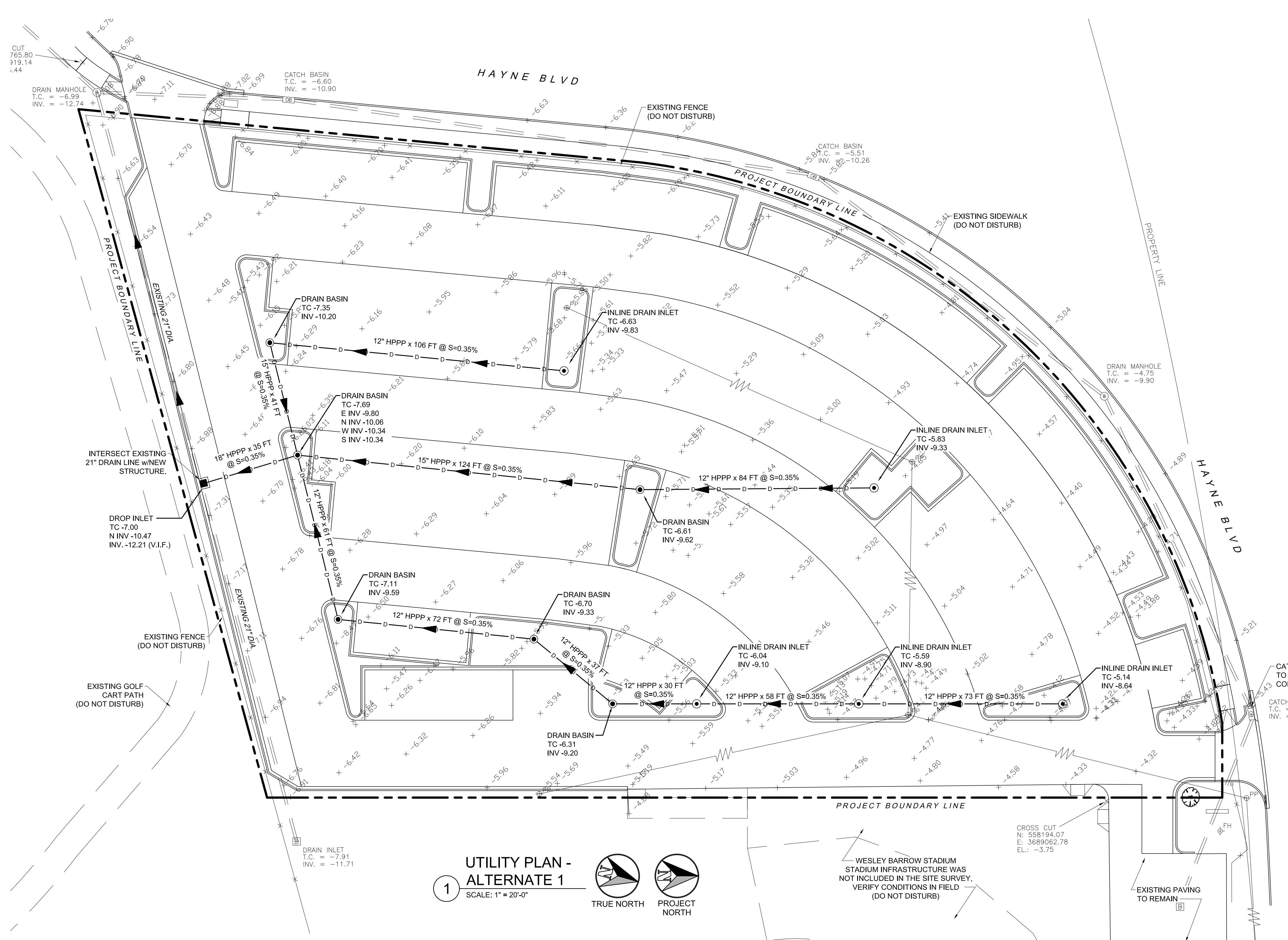


Project No. 2126 Drawn By AJM

Alternate Paving Plan  
**C202**



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SEE CIVIL SITE SHEET C101 FOR ADDITIONAL SITE LEGEND INFORMATION NOT PROVIDED HERE

**UTILITY LEGEND**

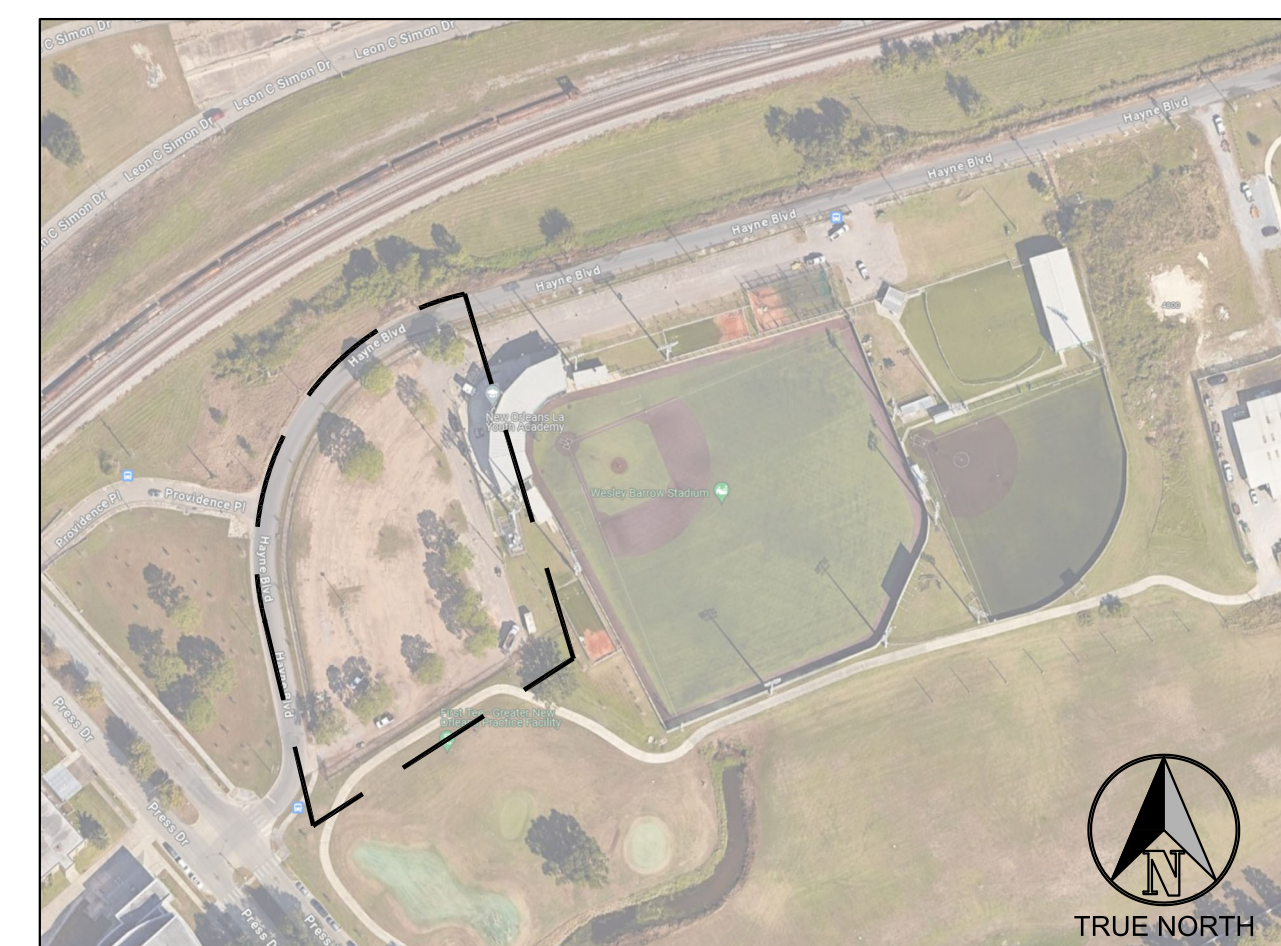
- STORM DRAIN LINE
  - SANITARY SEWER LINE (SEE FOR THRUST BLOCKING DETAILS)
  - WATER MAIN LINE (SEE FOR THRUST BLOCKING DETAILS)
  - UTILITY CLEANOUT
  - SEWER FORCE MAIN CLEANOUT
  - STORM DRAIN BASIN
  - INLINE STORM DRAIN INLET
  - DROP INLET CATCH BASIN (PER S&WB DWG NO. D-3264)
  - 2" WATER METER SERVICE (PER S&WB DWG NO. 7332-W)
- CONNECT NEW SEWER, WATER, GAS, & DRAIN LINES TO PUBLIC LINES; CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, CONNECTION FEES, AND ALL OTHER INCIDENTAL COSTS RELATED TO PROVIDING COMPLETE CONNECTIONS. ALL FITTINGS, VALVES, VALVE BOXES, AND MANHOLES SHALL BE INCLUDED.
- SEE PLUMBING PLANS FOR CONNECTIONS, PIPE SIZES, AND ADDITIONAL CLEANOUTS AT BUILDING
  - SEE ARCH. PLANS FOR ROOF DRAIN CONNECTIONS

**UTILITY PLAN - ALTERNATE 1**  
SCALE: 1" = 20'-0"  
 TRUE NORTH  
 PROJECT NORTH

WESLEY BARROW STADIUM INFRASTRUCTURE WAS NOT INCLUDED IN THE SITE SURVEY. VERIFY CONDITIONS IN FIELD (DO NOT DISTURB)

- UTILITY NOTES PER SEWERAGE AND WATER BOARD:**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH S&WB GENERAL SPECIFICATIONS, S&WB STANDARD DRAWINGS, AND S&WB DRAWING NO. 7260.
  - CONTRACTOR SHALL CONTACT HADI AMINI (504-865-0445) OF THE S&WB CONSTRUCTION ADMINISTRATION AND INSPECTION DEPARTMENTS A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION TO ARRANGE FOR INSPECTION.
  - CONTRACTOR SHALL PROVIDE THE FOLLOWING TO THE S&WB CONSTRUCTION ADMINISTRATION DEPARTMENT BEFORE BEGINNING CONSTRUCTION:
    - PROOF OF MUNICIPAL AND PUBLIC WORKS CONTRACTORS LICENSE.
    - DEPARTMENT OF PUBLIC WORKS STREET CUT PERMIT.
    - PROOF OF INSURANCE INDEMNIFYING THE S&WB OF NEW ORLEANS IN THE AMOUNT OF AT LEAST \$5,000,000.
  - ANY WORK OUTSIDE THE PUBLIC RIGHT OF WAY MUST BE REVIEWED AND APPROVED BY S&WB OF NEW ORLEANS MEPING DEPARTMENT IN ADVANCE OF CONSTRUCTION. A LICENSED MASTER MEPEP MUST CONTACT THE MEPING DEPARTMENT AT 504-585-2160 TO VERIFY COMPLIANCE WITH ALL APPLICABLE GOVERNING REGULATIONS. OBTAINING THE SIGNATURE OF A REPRESENTATIVE S&WB ENGINEER DOES NOT RELIEVE THE MEPEP OF THIS OBLIGATION.
  - THE METER SHALL BE INSTALLED AS RECEIVED FROM THE S&WB METER DEPARTMENT AND MAY NOT BE MODIFIED IN ANY MANNER. ANY MODIFICATIONS WILL VOID THE UL WARRANTY AND, AS SUCH, MAY SUBJECT THE OWNER TO FINANCIAL PENALTY AND LOSS OF SERVICE.

- UTILITY NOTES PER DEPARTMENT OF PUBLIC WORKS:**
- PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS ARE REQUIRED BEFORE AND CONSTRUCTION STARTED ON THE CITY RIGHT OF WAYS. WORK ON SIDEWALKS AND STREETS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY STANDARD DRAWINGS (STD-1 THRU STD-15) AND GENERAL SPECIFICATIONS (LATEST EDITION).
  - CURB CUT PERMIT AND RESTORATION OF EXISTING CURBS: THE CONTRACTOR (OR DEVELOPER) MUST APPLY FOR A CUT PERMIT FOR ANY NEW DRIVEWAY OR CURB CUT ON CITY RIGHT OF WAY. AT THE TIME OF CONSTRUCTION, ANY CURB CUTS IN FRONT OF COMMERCIAL PROPERTIES WIDER THAN 24 FEET MUST BE RESTORED TO 24 FEET OR LESS. EXISTING CURB CUTS THAT ARE NOT USED FOR DRIVEWAYS MUST BE REMOVED AND THE CURB RESTORED ACCORDING TO CITY STANDARD DWGS. AND SPECIFICATIONS.
  - SERVICE CUT PERMIT: THE CONTRACTOR (OR DEVELOPER) MUST OBTAIN A SERVICE CUT PERMIT BEFORE ANY EXCAVATION IN THE CITY RIGHT OF WAYS (SEE NOTE 1 ABOVE) AND NOTIFY THE DEPARTMENT OF PUBLIC WORKS MAINTENANCE DIVISION FOR UTILITY TIE-IN.
  - SIDEWALK AND ADA RAMPS: SIDEWALKS AND ADA RAMPS ARE TO BE IN COMPLIANCE WITH THE ADA FEDERAL REGULATIONS. THE CONTRACTOR (OR DEVELOPER) MUST COMPLETE SIDEWALK NOTIFICATION FORM WITH THE DEPARTMENT OF PUBLIC WORKS BEFORE THE CONSTRUCTION.



**PLAN VICINITY MAP**

**Issued**

Date	To	Use / Restriction
03.14.22	Owner	864/Revit
05.17.24	Owner	99% CD Set
05.06.24	Owner	100% CD Set

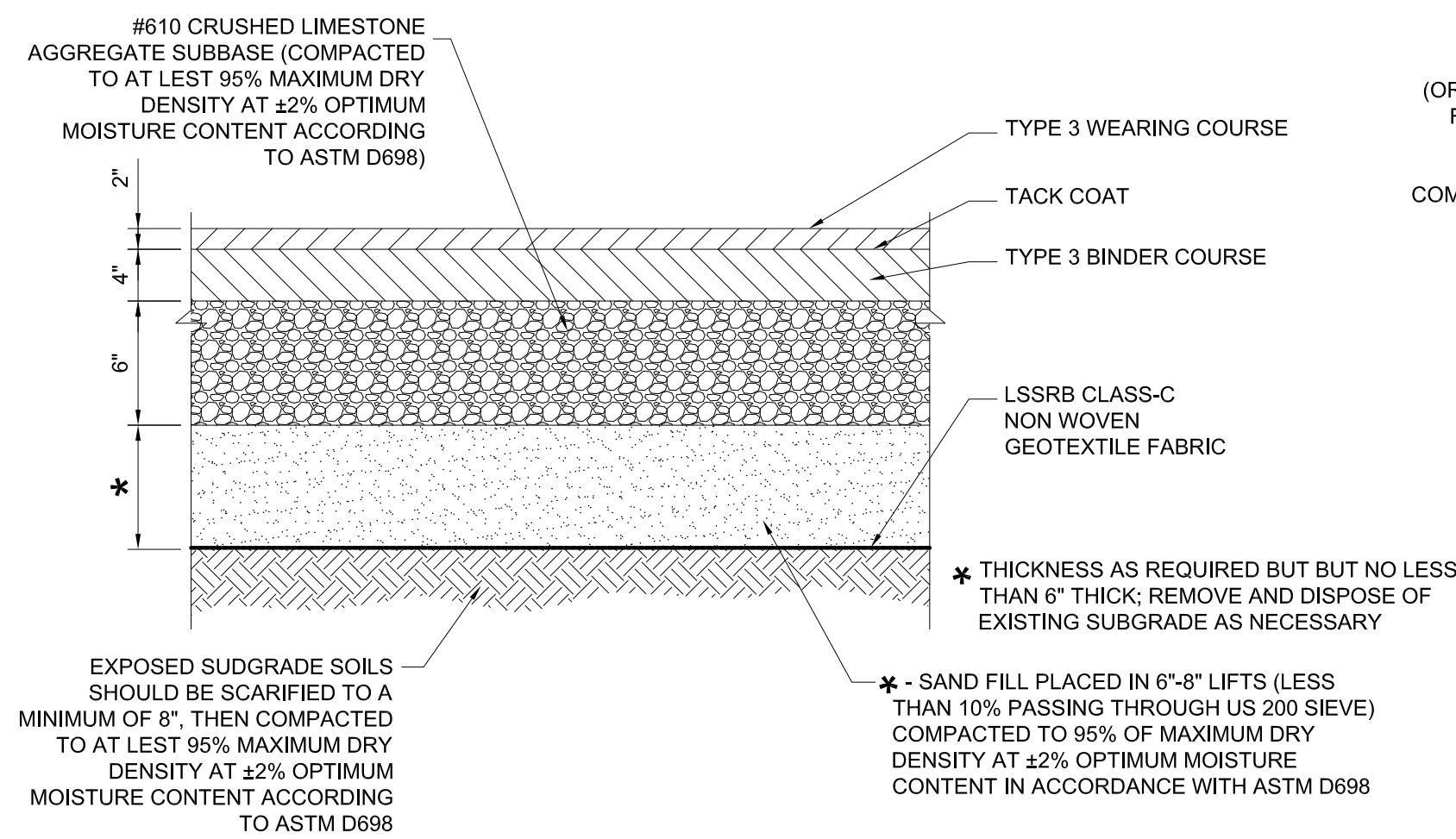
**Progress**   
**Release**



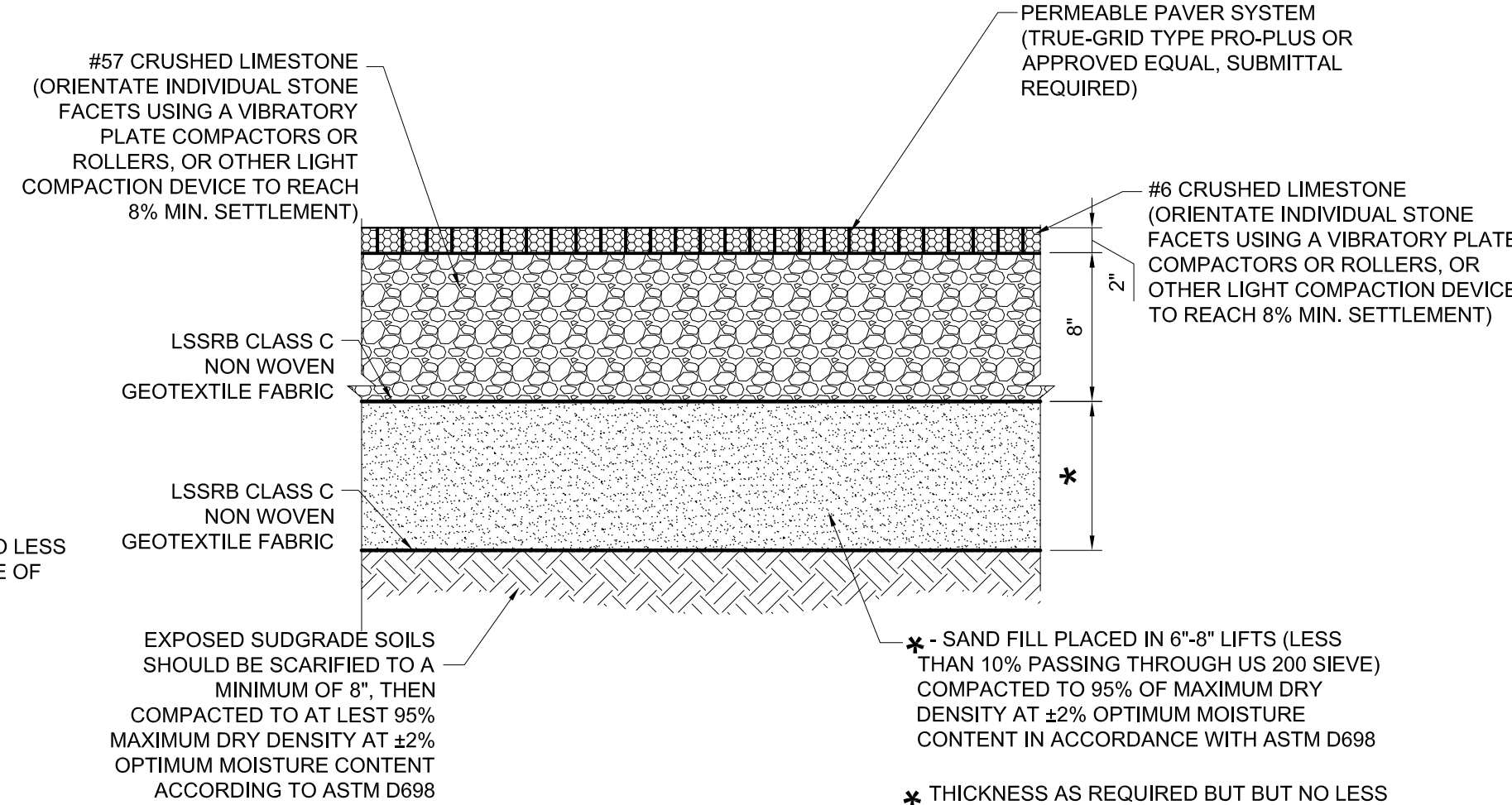
Project No. 2126 Drawn By: AJM

Alternate  
Utility Plan  
**C402**

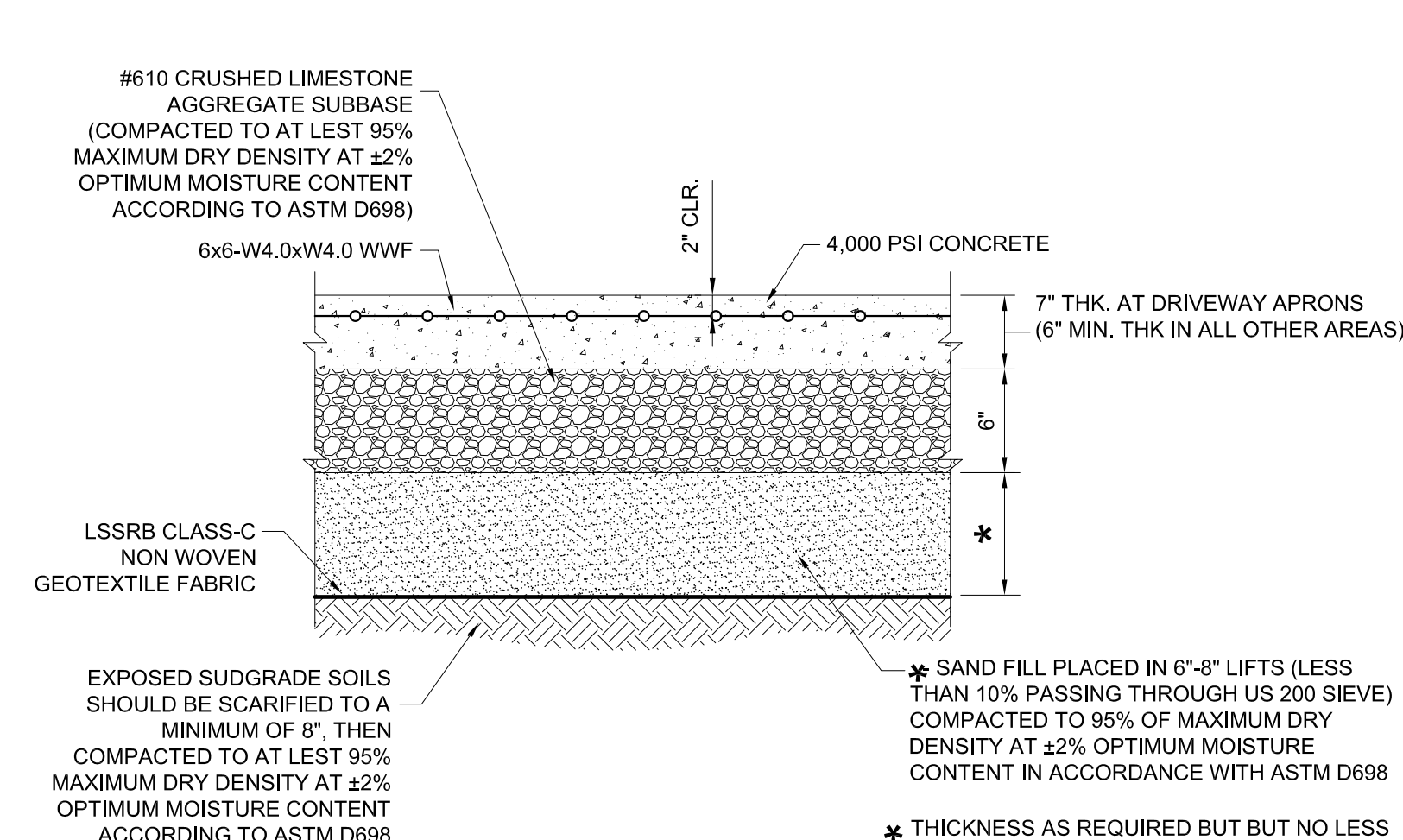
ALL RIGHTS RESERVED. NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF SCNZ ARCHITECTS, LLC.



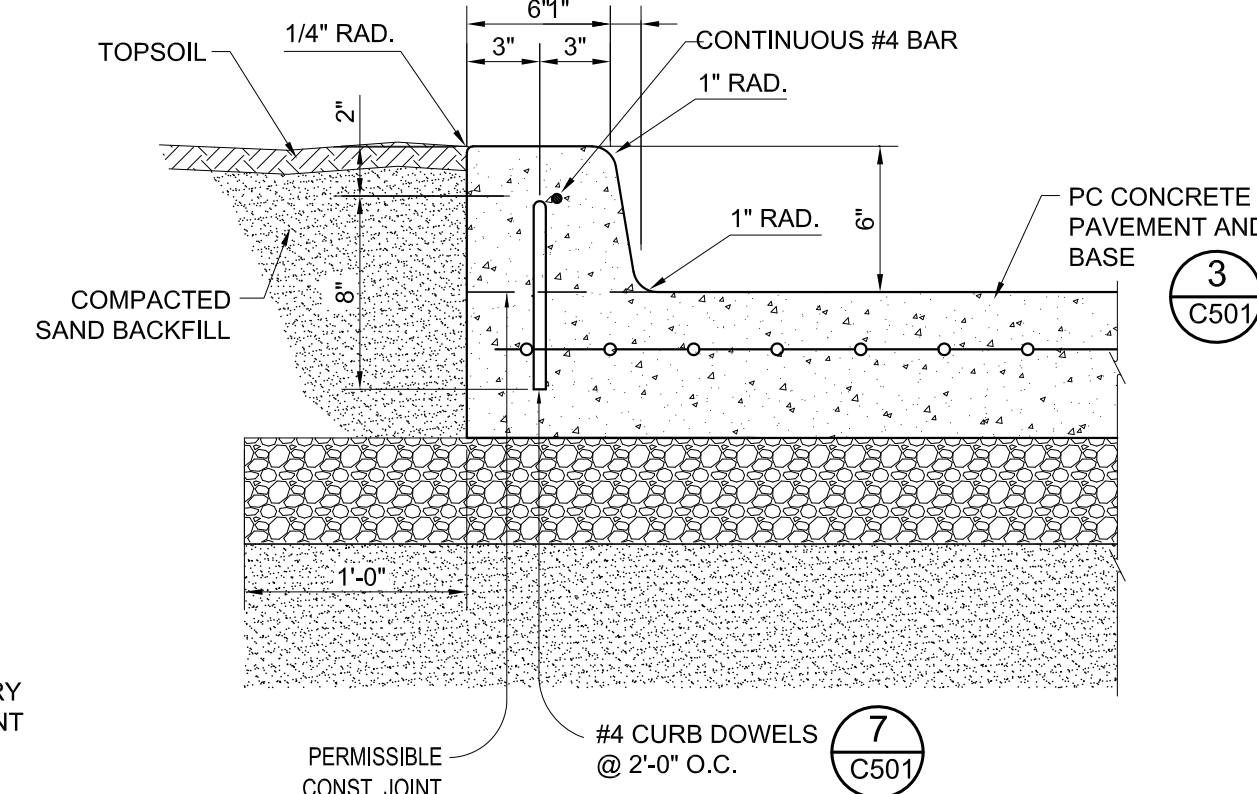
**1** Typical Section - Asphaltic Concrete Pavement  
C501 N.T.S.



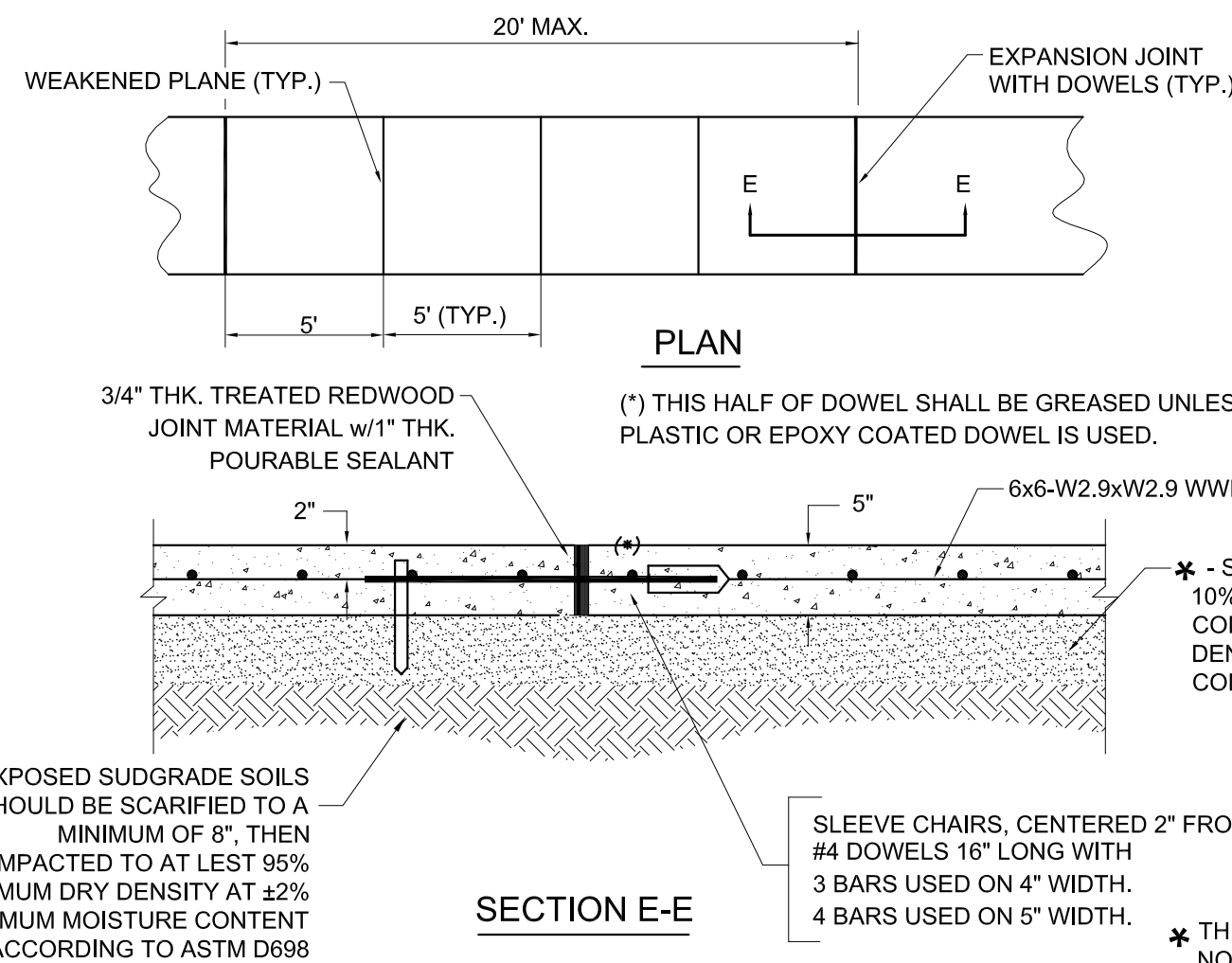
**2** Typical Section - Permeable Paving System  
C501 N.T.S.



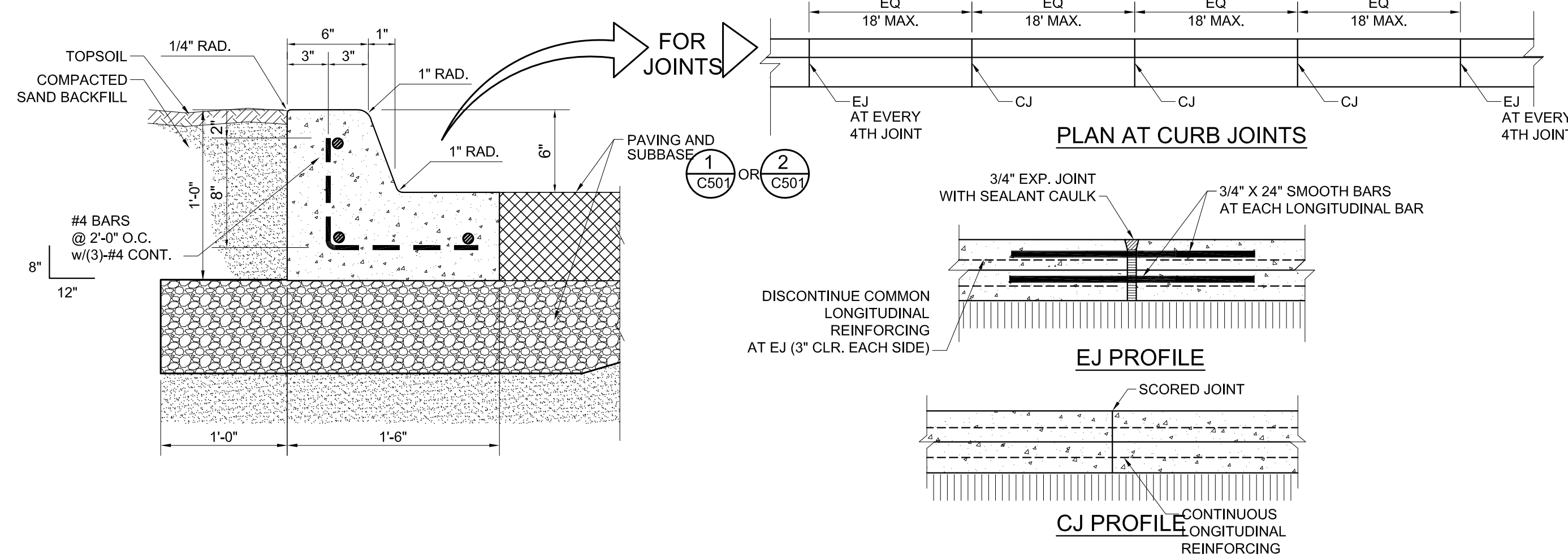
**3** Typical Section - Concrete Pavement  
C501 N.T.S.



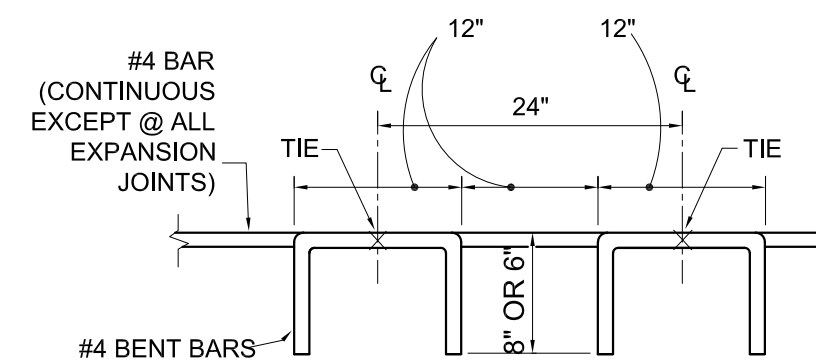
**6** Doweled Barrier Curb  
C501 N.T.S.



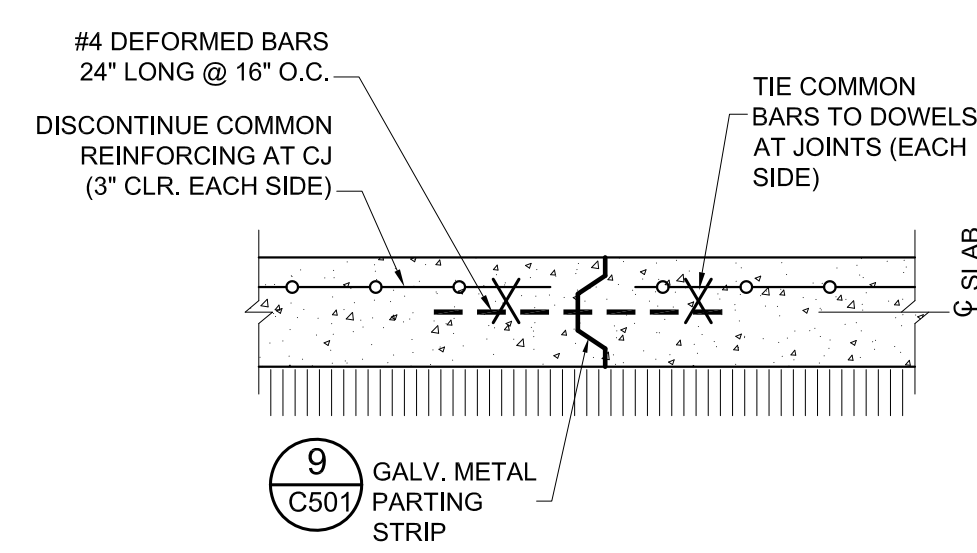
**4** Typical Sidewalk Detail  
C501 N.T.S. Applies to walkways



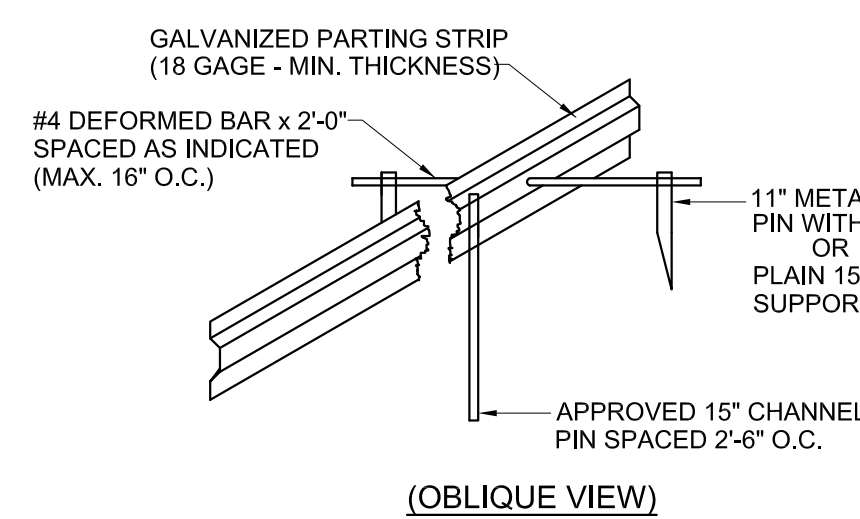
**5** Concrete Barrier Curb and Gutterbottom  
C501 N.T.S.



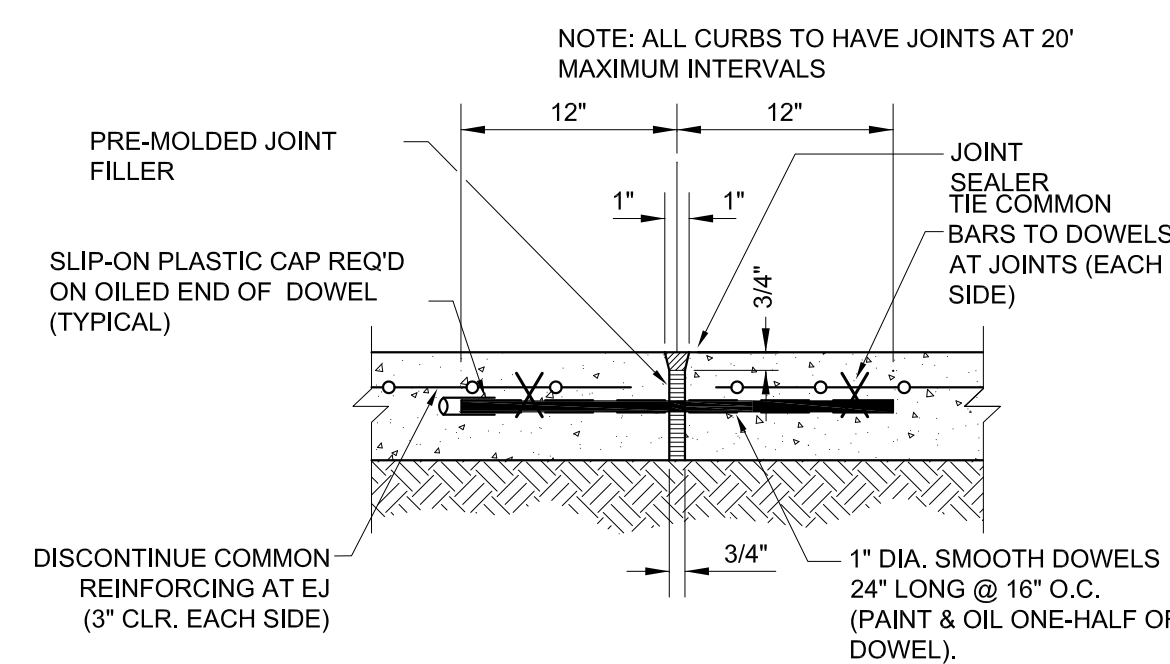
**7** Curb Dowel Reinf. Detail  
C501 N.T.S.



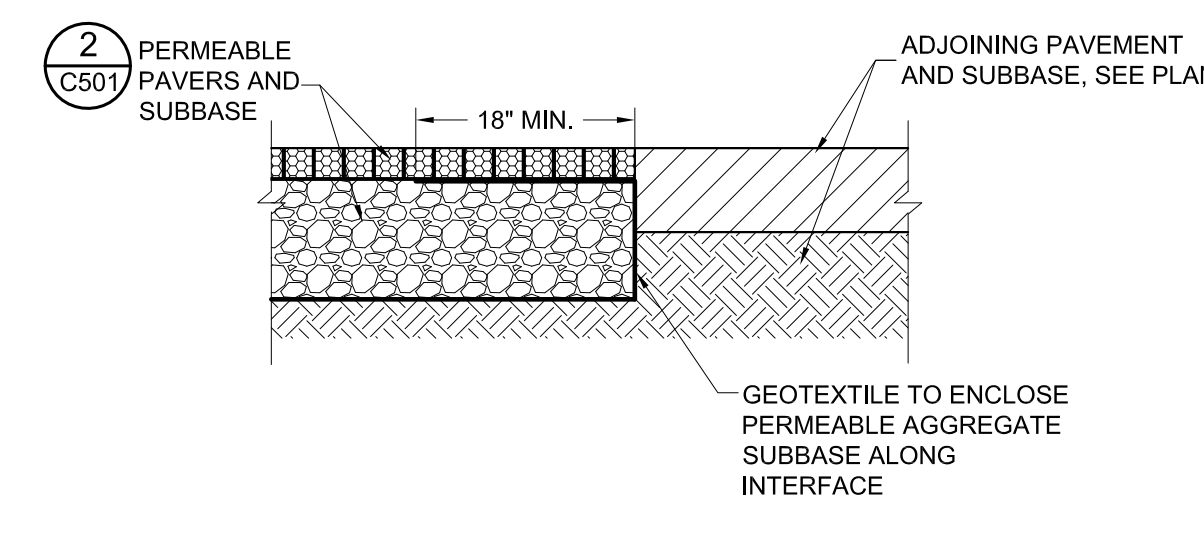
**8** Control Joint (CJ)  
C501 N.T.S.



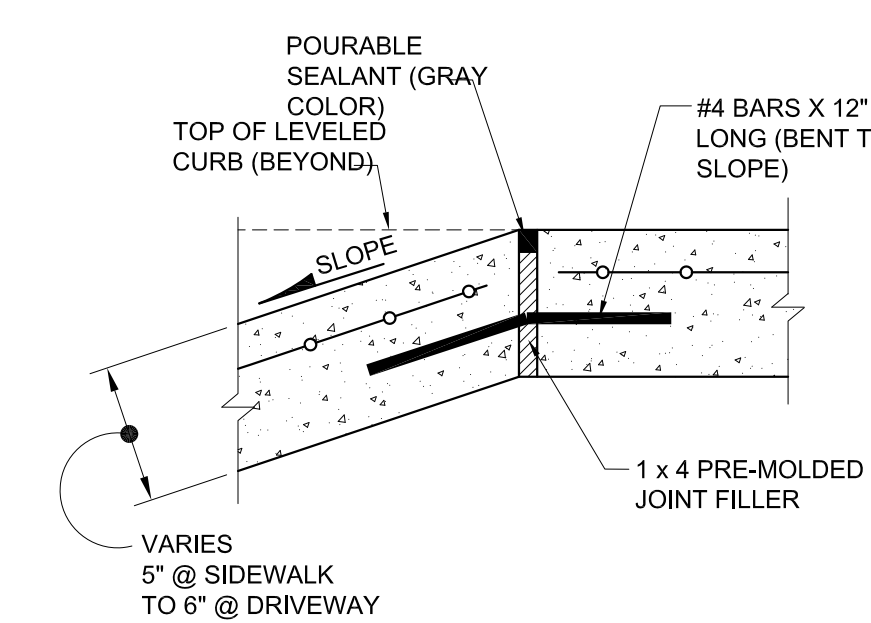
**9** Parting Strip Detail  
C501 N.T.S.



**10** Expansion Joint (EJ)  
C501 N.T.S.



**11** Section at Permeable Pavers and Adjoining Pavements  
C501 N.T.S. Also applies to adjoining curbs



**12** Typical Detail - Handicap Ramp Exp. Joint  
C501 N.T.S.

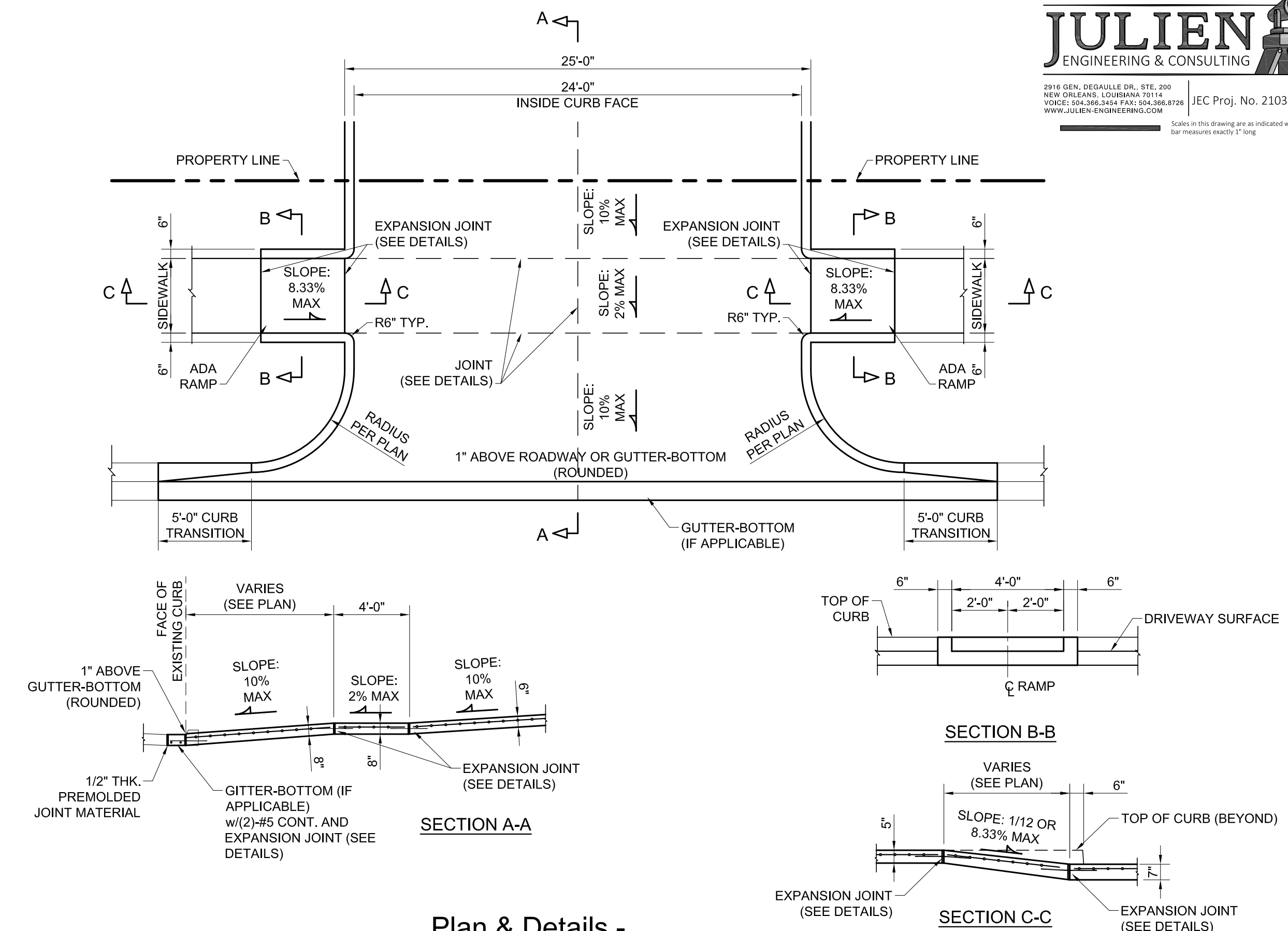
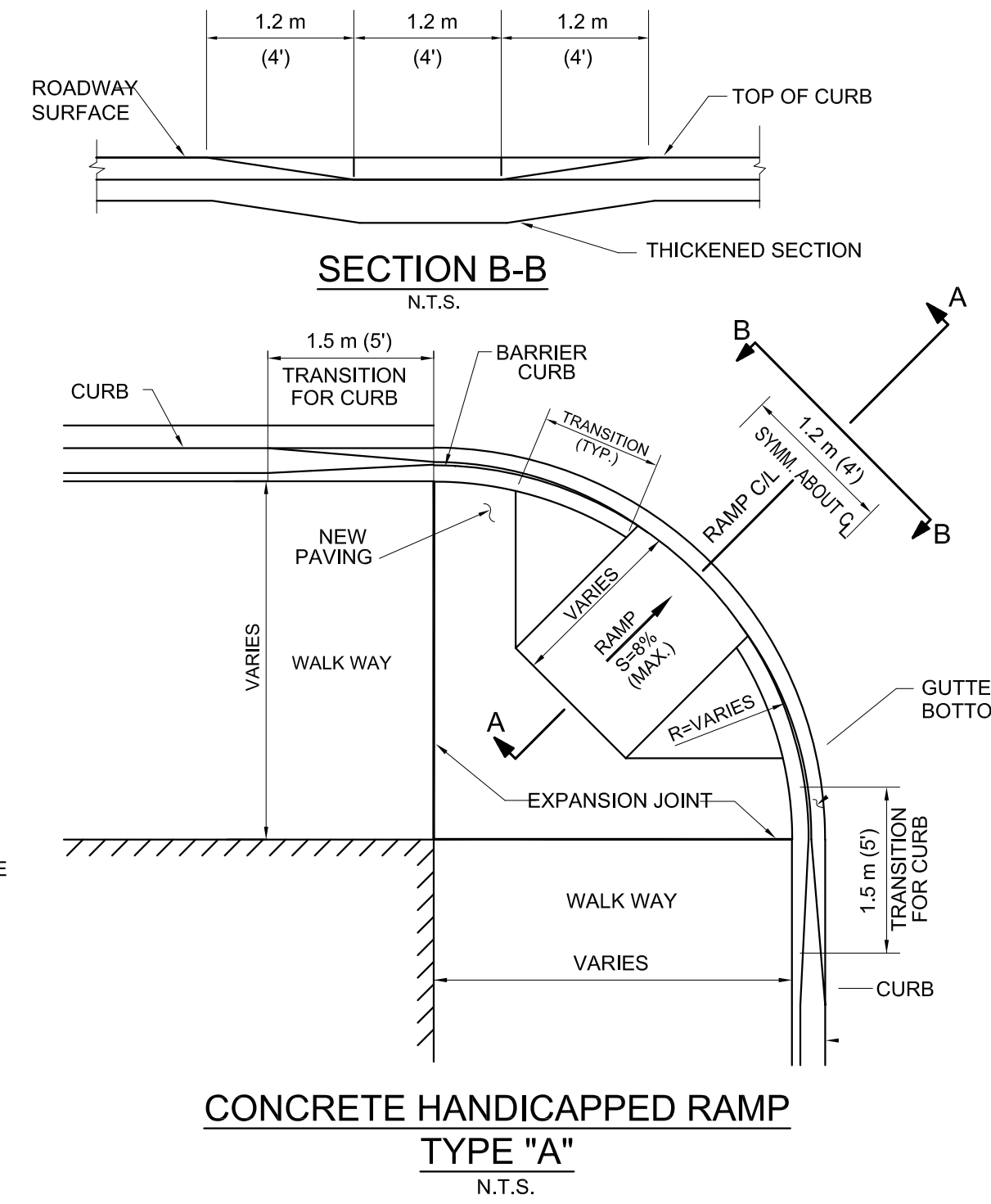
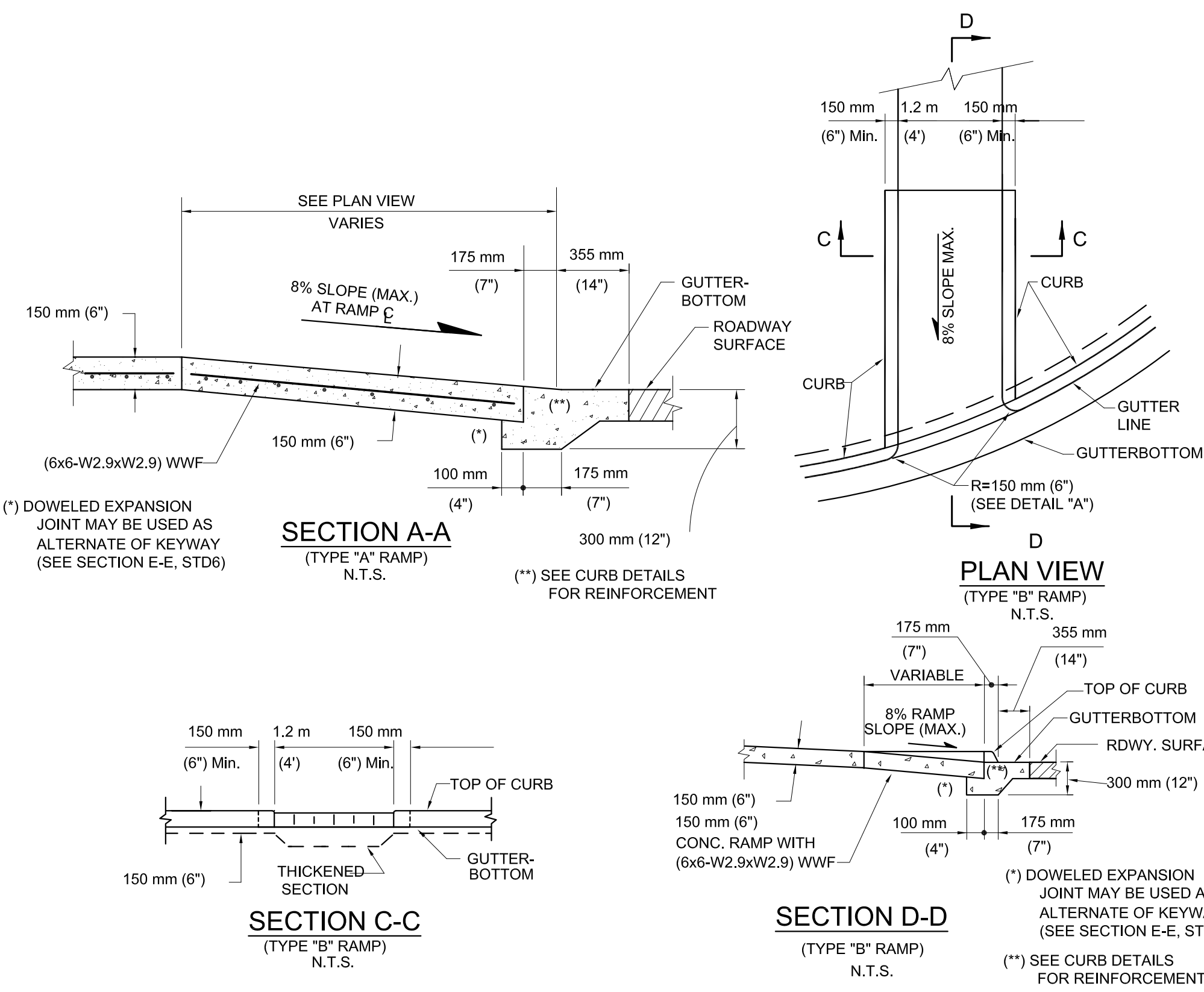
Issued

Date	To	Use / Restriction
03.24.22	Owner	164/Revit
05.17.24	Owner	95% C5 Set
05.06.24	Owner	100% C5 Set

Progress   
Release

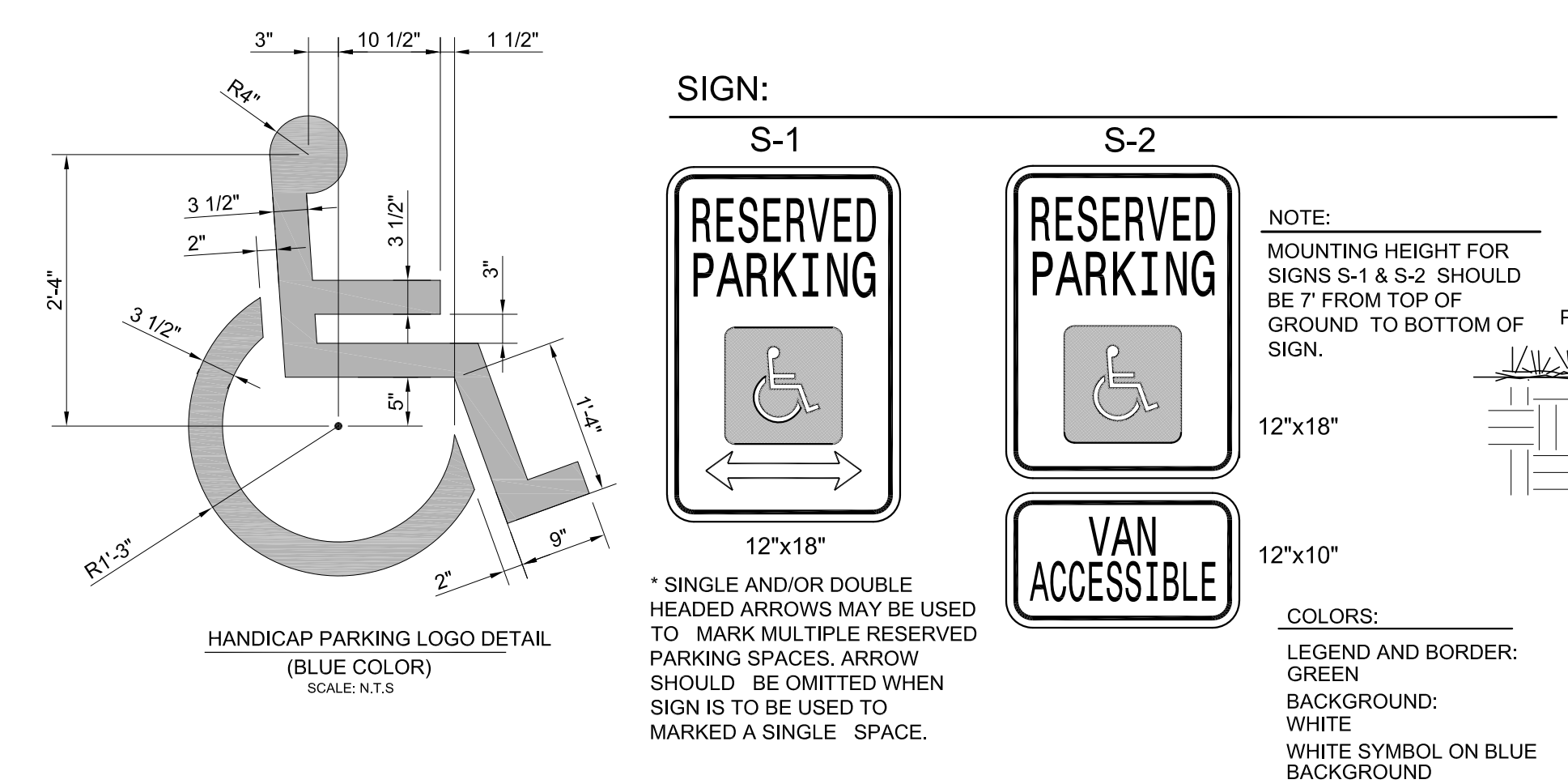
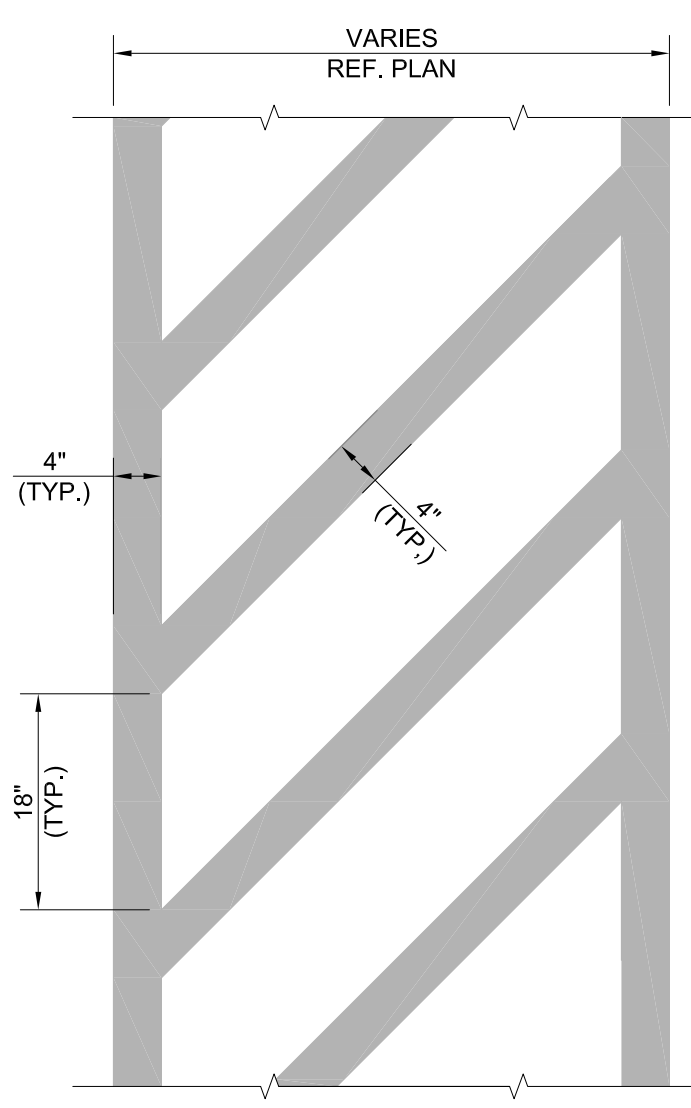


Project No. 2126 Drawn By AJM

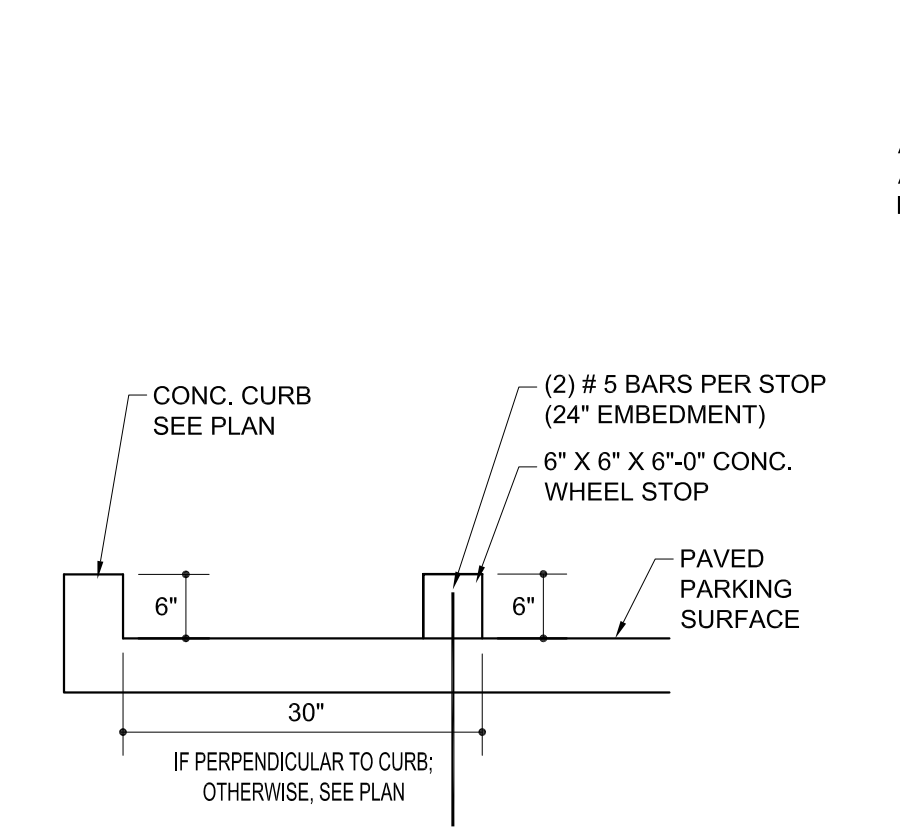


**1** Plan & Details - Typical Accessible Ramps  
C502 N.T.S.

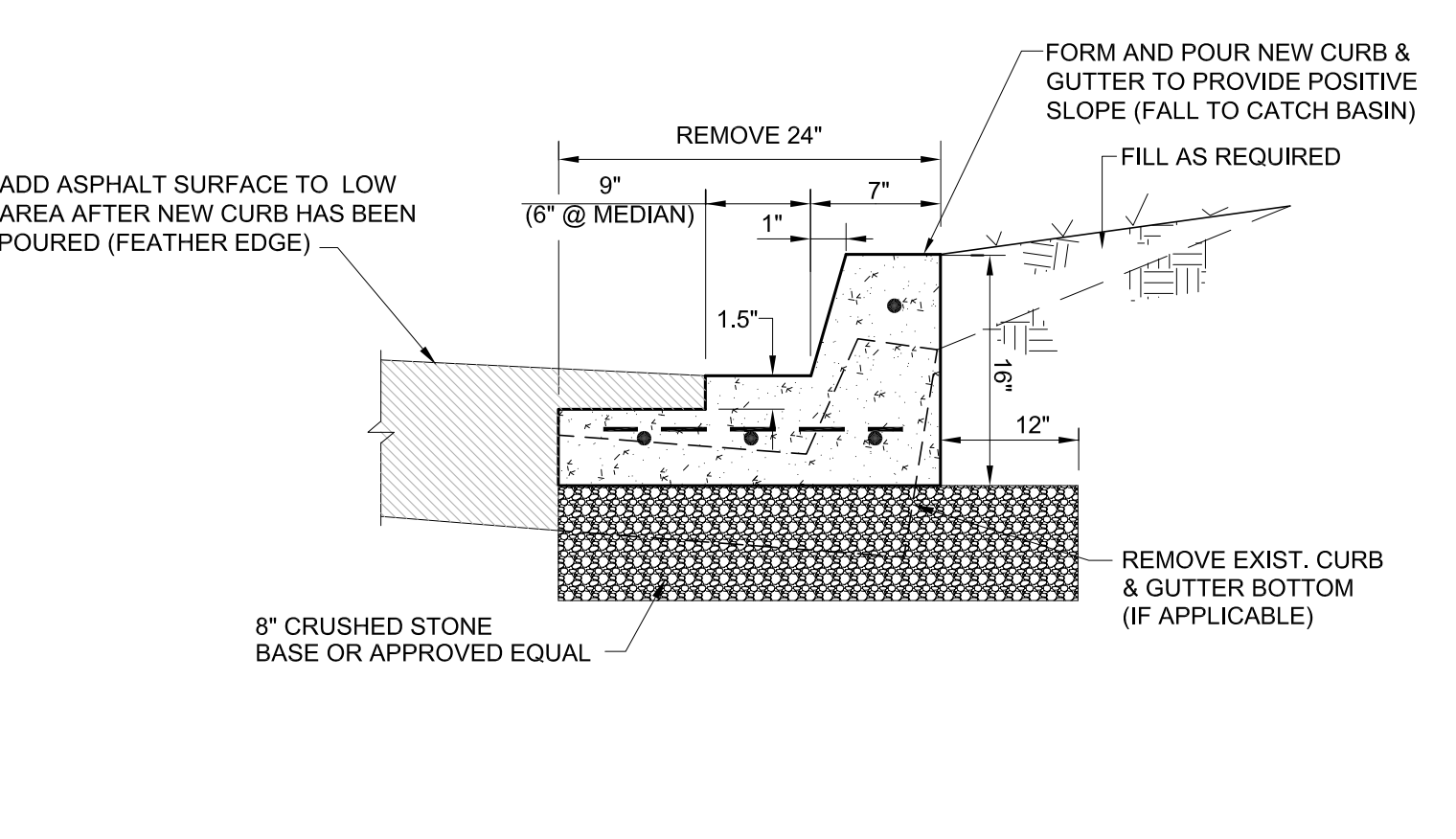
**2** Plan & Details - Typical Driveway Aprons  
C502 N.T.S.



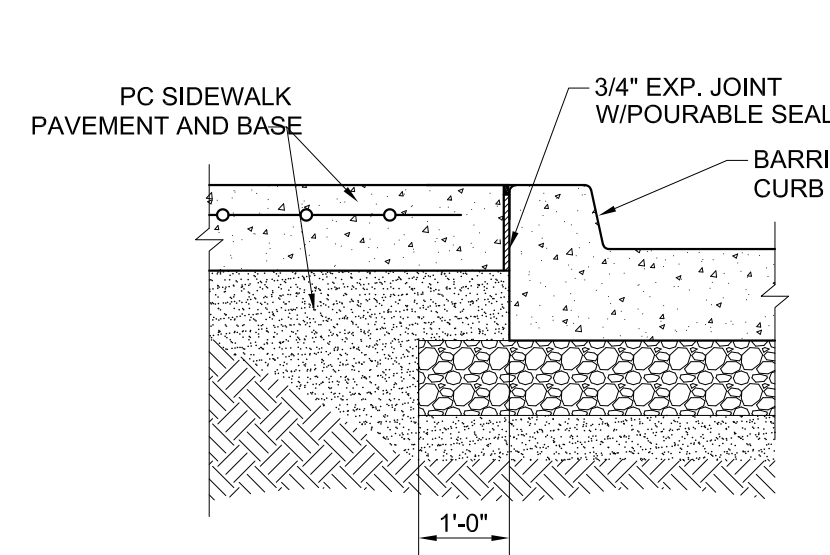
**4** Handicap Parking Symbols and Signage  
C502 N.T.S. Symbols and Signage are required at each Handicap Parking Stall



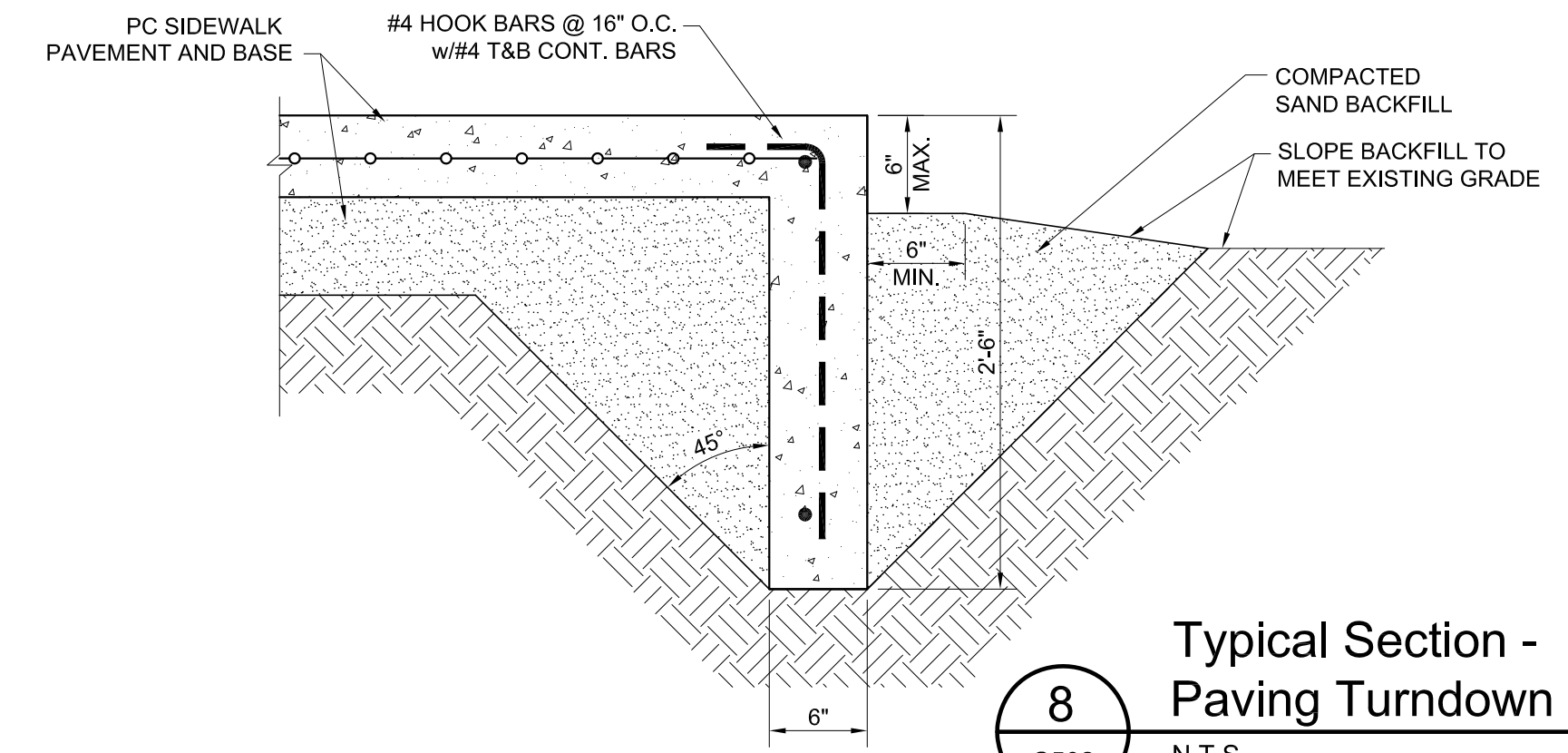
**5** Typical Detail - Concrete Curb Wheel Stop  
C502 N.T.S.



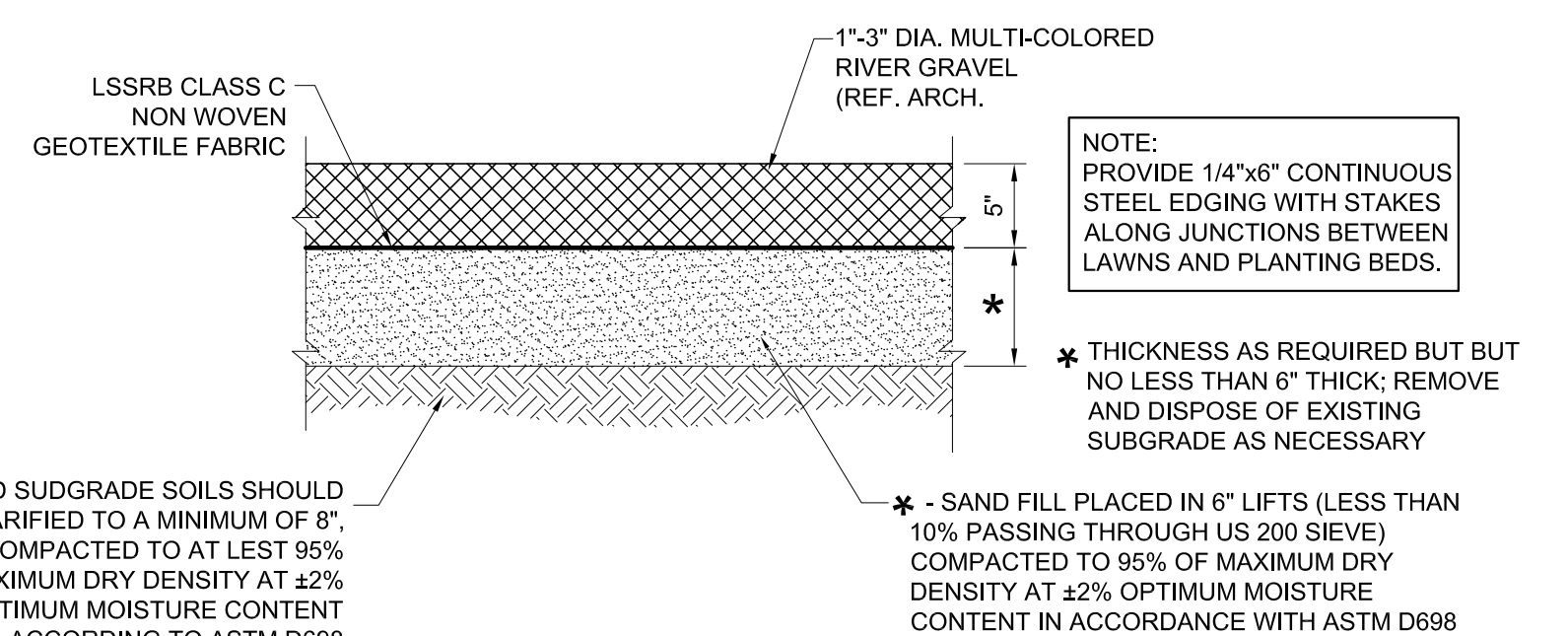
**6** Typical Section - Roadway Barrier Curb and Gutterbottom Reconstruction  
C502 N.T.S. Verify replacement type in-field



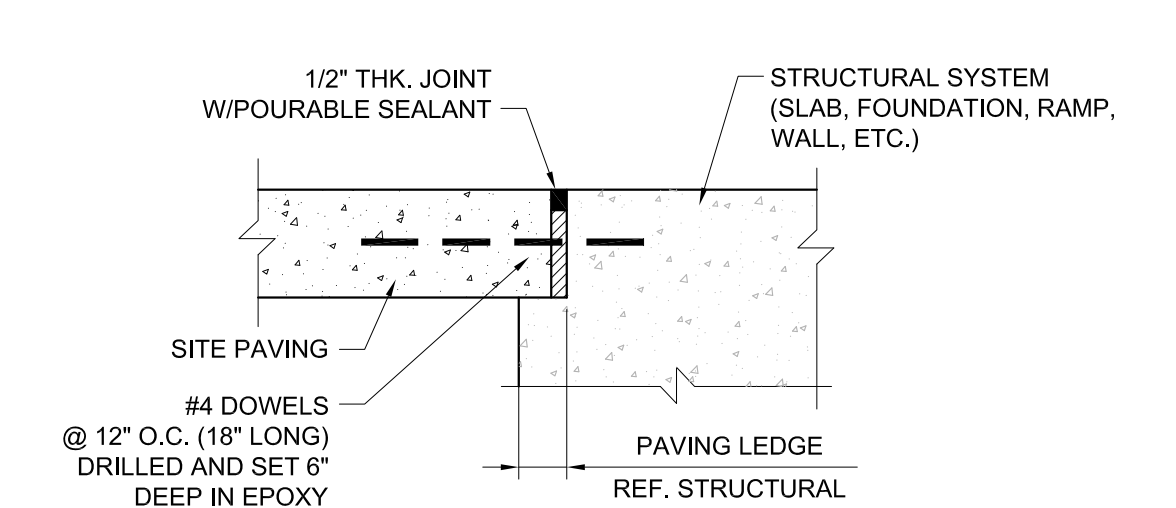
**7** Typical Section - Sidewalks Abutting Curbs  
C502 N.T.S.



**8** Typical Section - Paving Turndown  
C502 N.T.S.



**9** Typical Section - Gravel Paving  
C502 N.T.S.



**10** Expansion Joint at Building (BJ)  
C502 N.T.S.

Issued

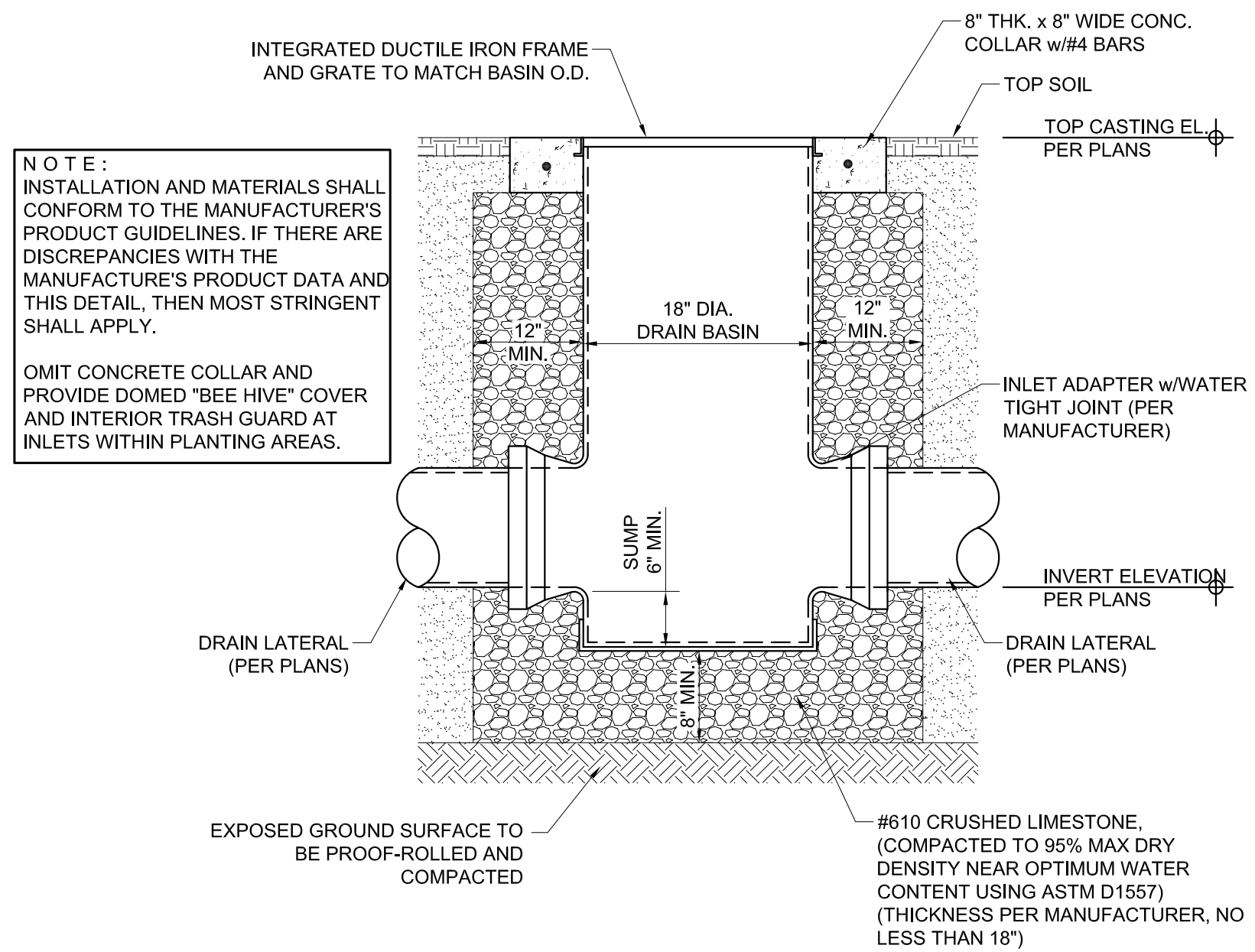
Date	To	Use / Restriction
03.14.22	Owner	864/Revit
05.17.24	Owner	997/CS-Set
05.06.24	Owner	1007/CS-Set

Progress   
Release

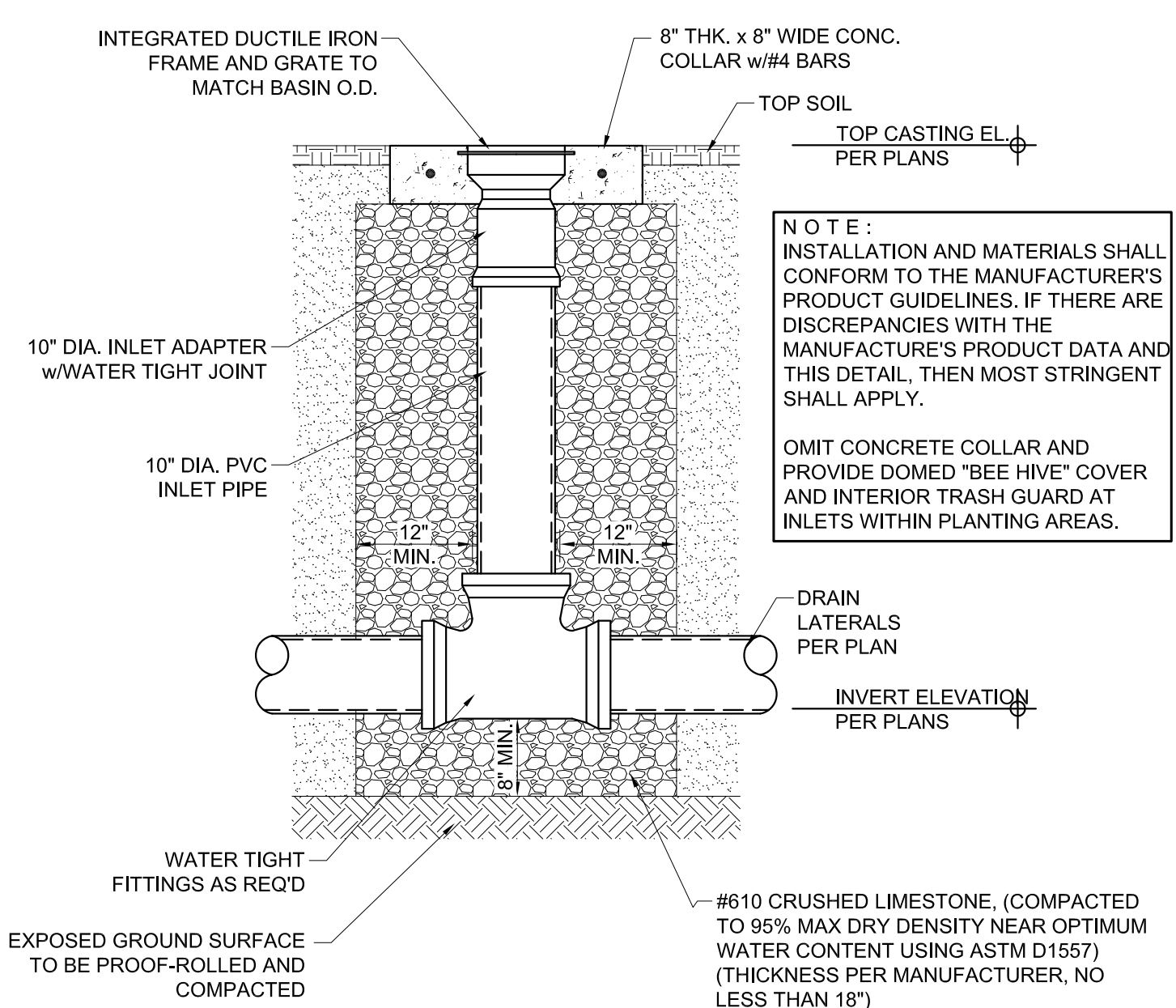


Project No. 2126 Drawn By AJM

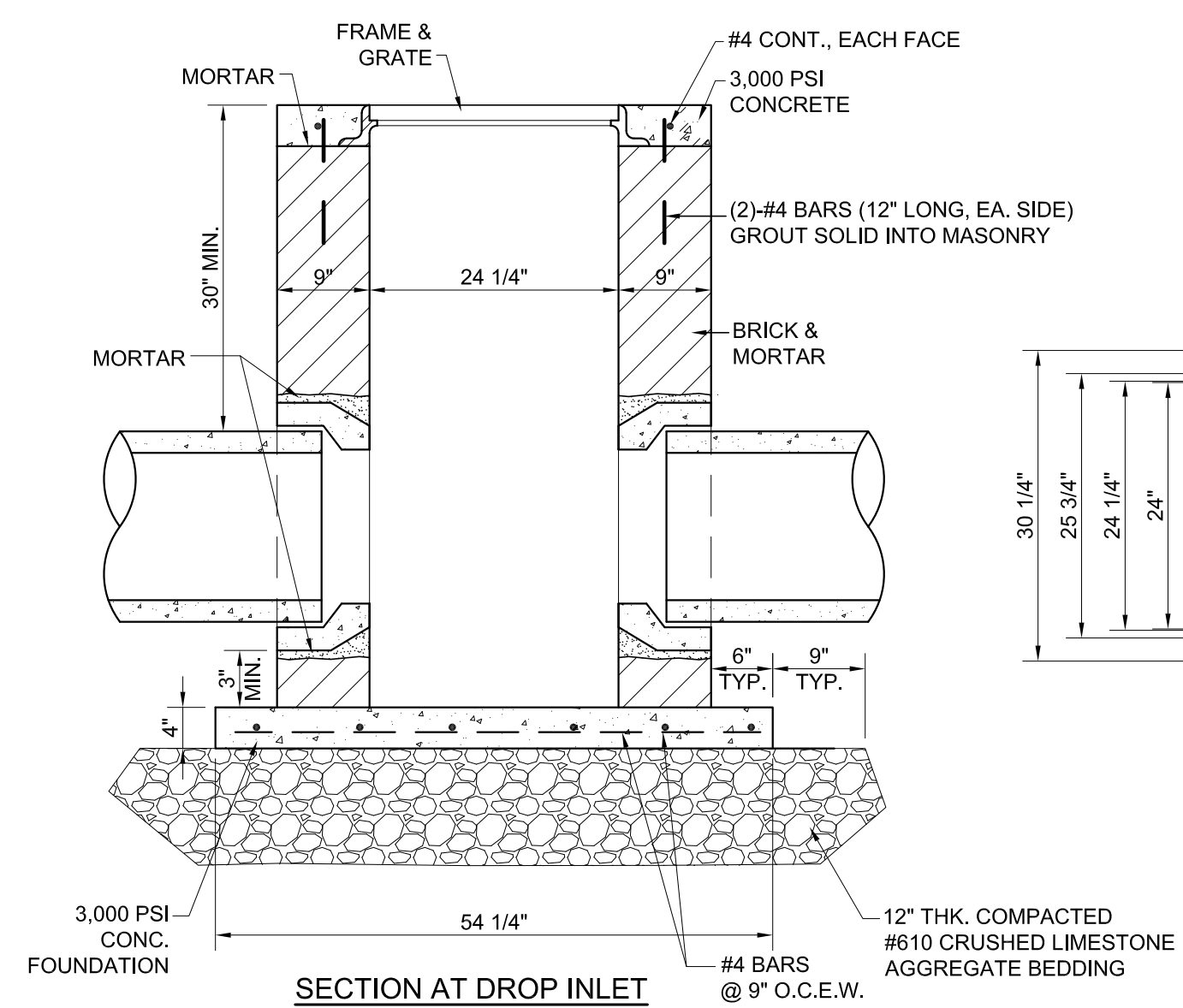




**1 Typical Detail - Drainage Basin**  
C601 N.T.S.  
(ADS Pipe Model Nyoplast Drain Basins or approved equal)

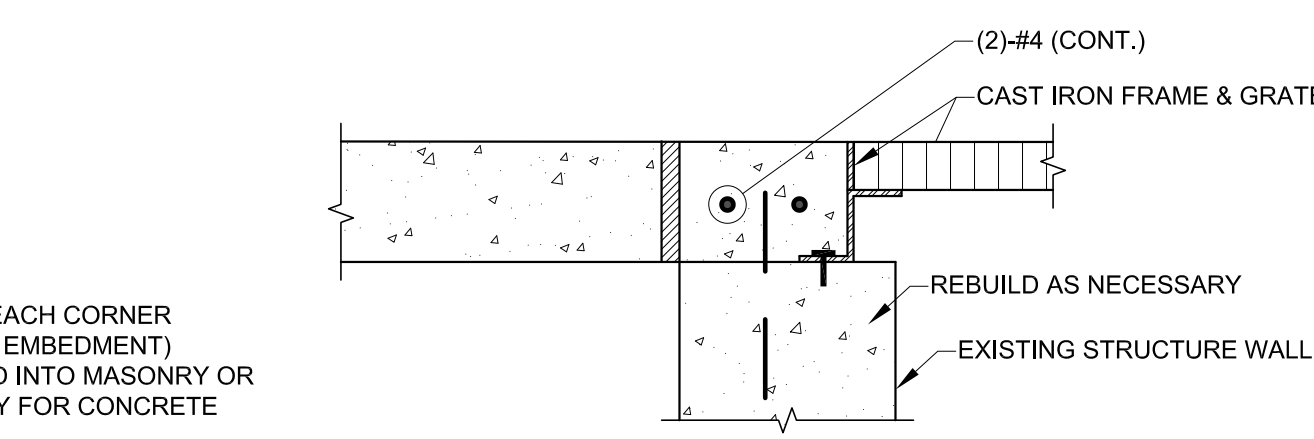


**2 Typical Detail - In-line Drain**  
C601 N.T.S.  
(ADS Pipe Model Nyoplast In-line Drains or approved equal)

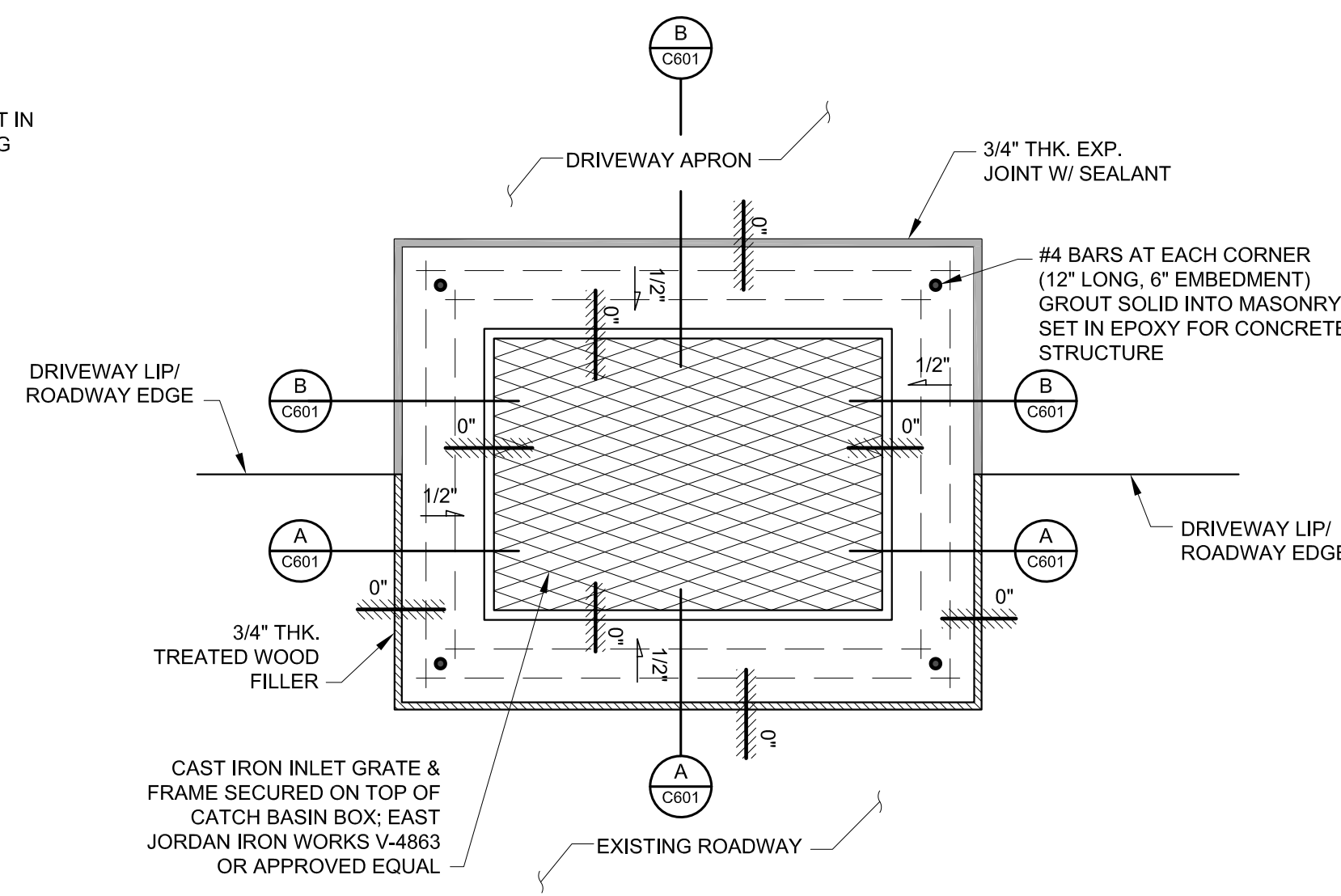


**3 Drop Inlet Drain Basin**  
C601 N.T.S.

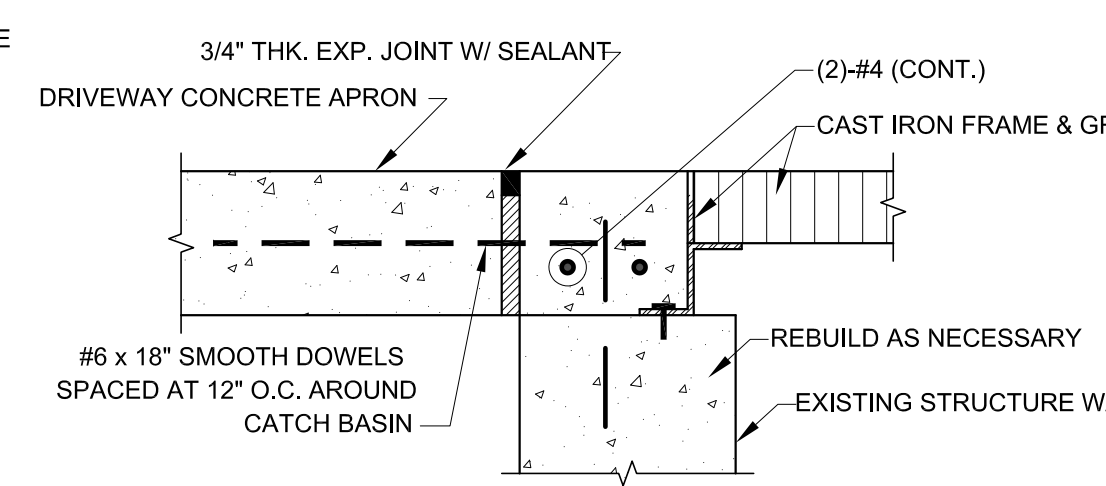
- NOTE:**
1. WEIGHT OF FRAME: 154 LBS.
  2. WEIGHT OF COVER: 278 LBS
  3. INSIDE & OUTSIDE OF BRICK WALLS, BENCHES, & INVERTS TO BE MORTARED WITH WATERPROOFING COMPOUND, THICKNESS OF 1/4" IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
  4. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
  5. FRAME & GRATE SHALL CONFORM TO EAST JORDAN IRON WORKS, V-4430 GUTTER INLET OR APPROVED EQUAL.
  6. ALL CATCH BASINS AND MANHOLES GREATER THAN 4'-0" DEEP ARE REQUIRED TO HAVE IRON STEPS.
  7. INVERTS AND BENCHES SHALL BE SURFACED WITH A MIN. OF 1/2" LAYER OF CEMENT MORTAR.
  8. PRECAST REINFORCED CONCRETE INLETS AND CAST-IN-PLACE INLETS WILL BE CONSIDERED. SUBMIT TO ENGINEER FOR APPROVAL. HOWEVER, IF FIELD CONDITIONS CHANGE FOR WHATEVER REASON AND REPLACEMENT OF OR ADJUSTMENT TO PRECAST STRUCTURE IS REQUIRED, ALL COSTS SHALL BE BORNE BY THE CONTRACTOR.



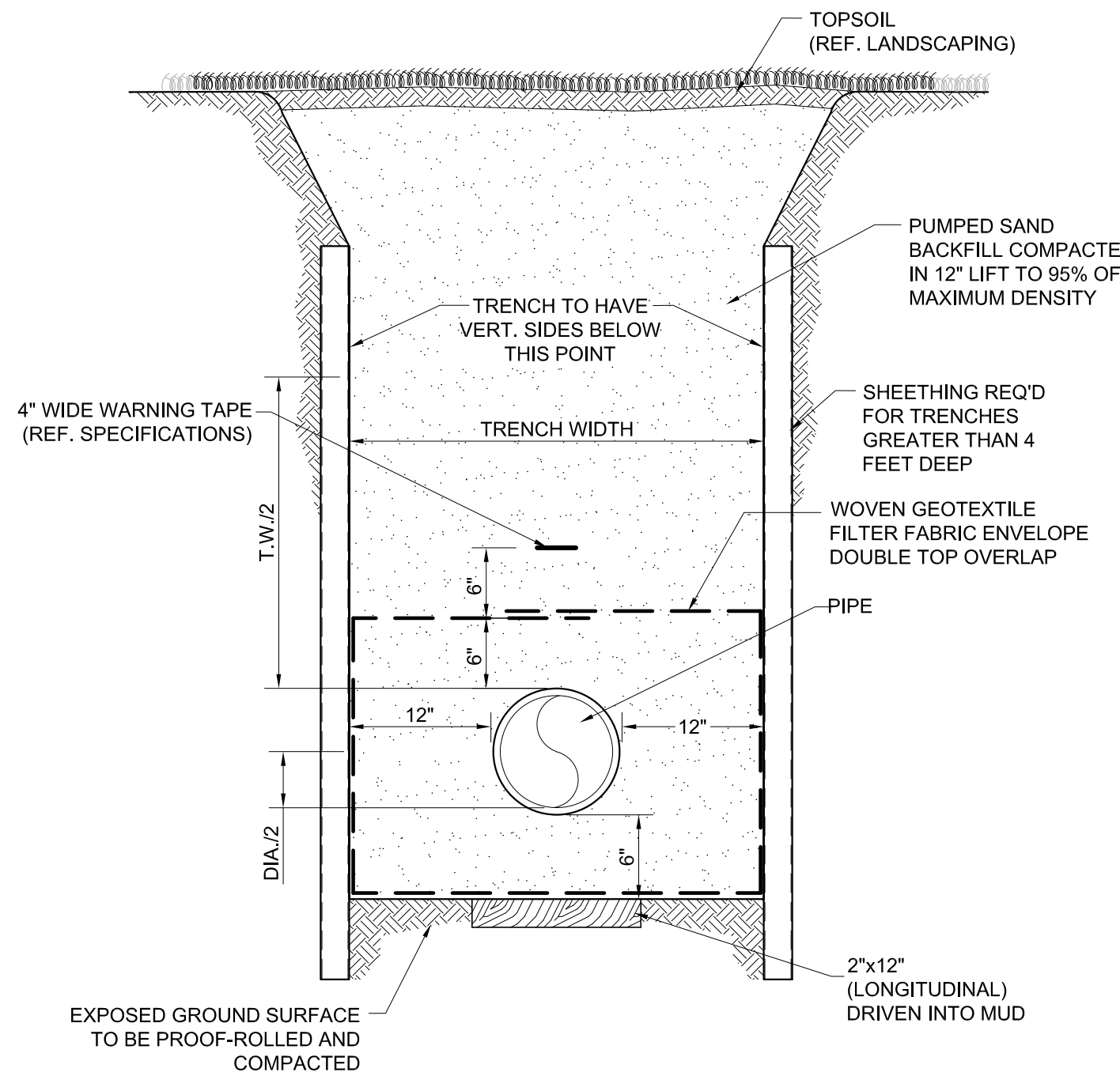
**A Section**  
C601 N.T.S.



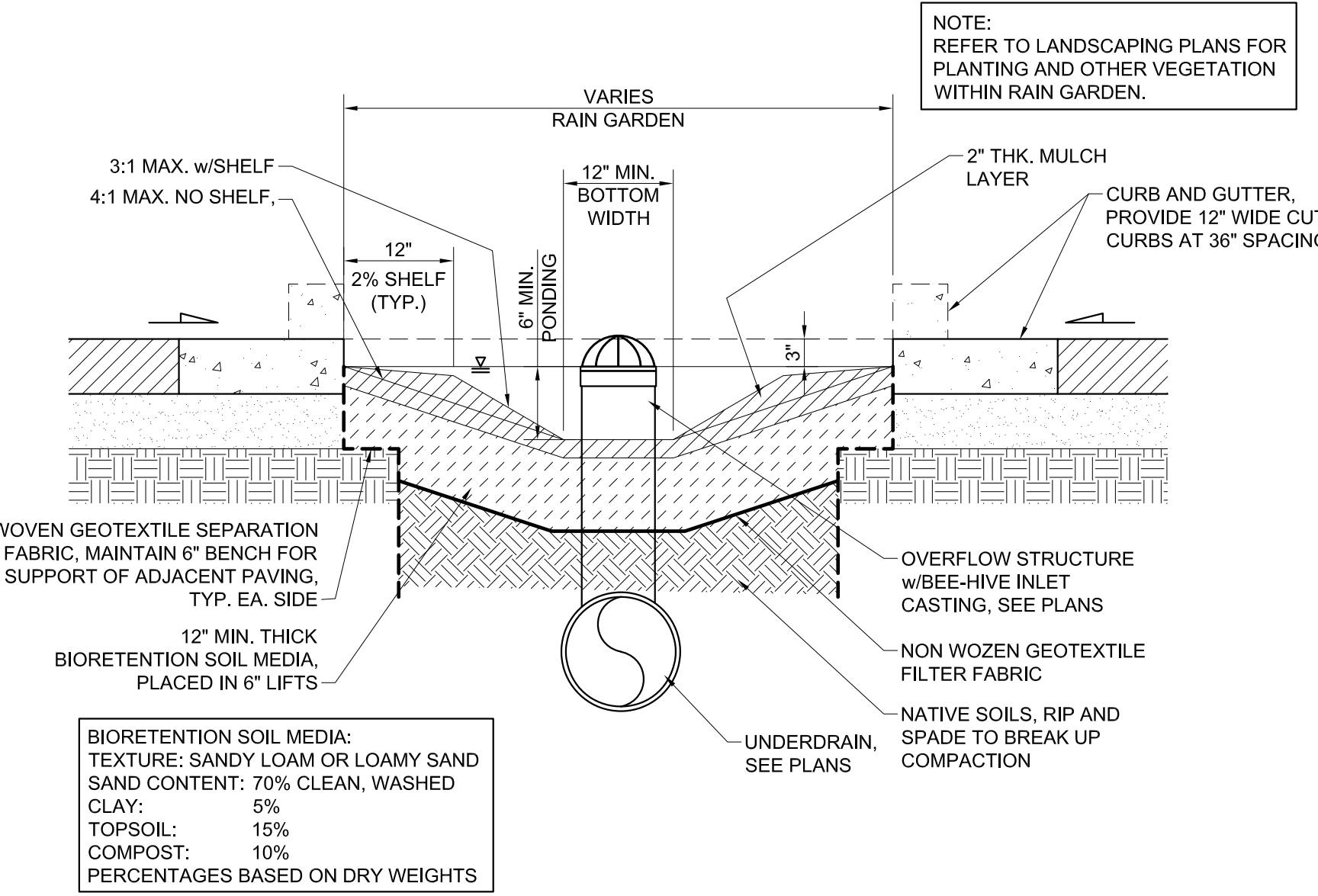
**6 Drain Inlet Conversion Detail**  
C601 N.T.S.



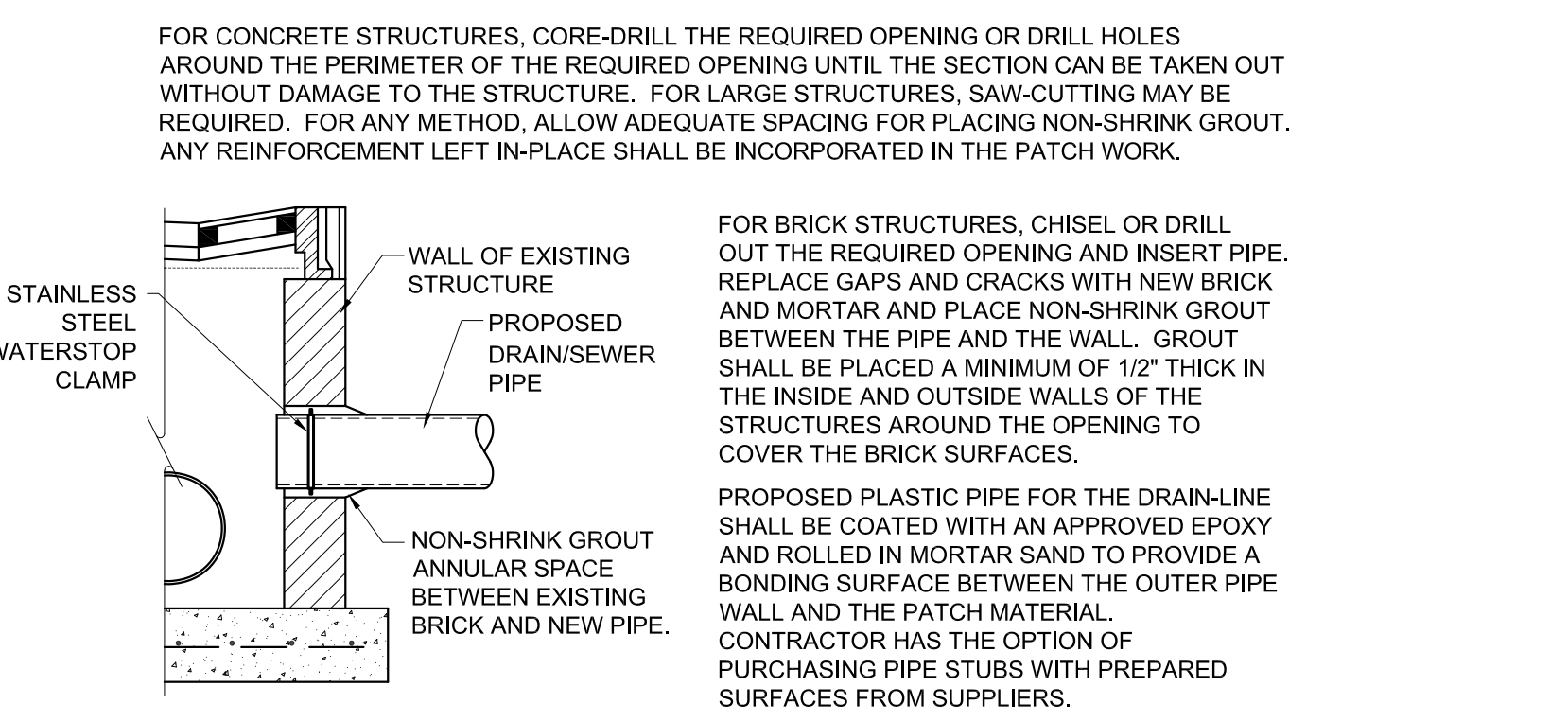
**B Section**  
C601 N.T.S.



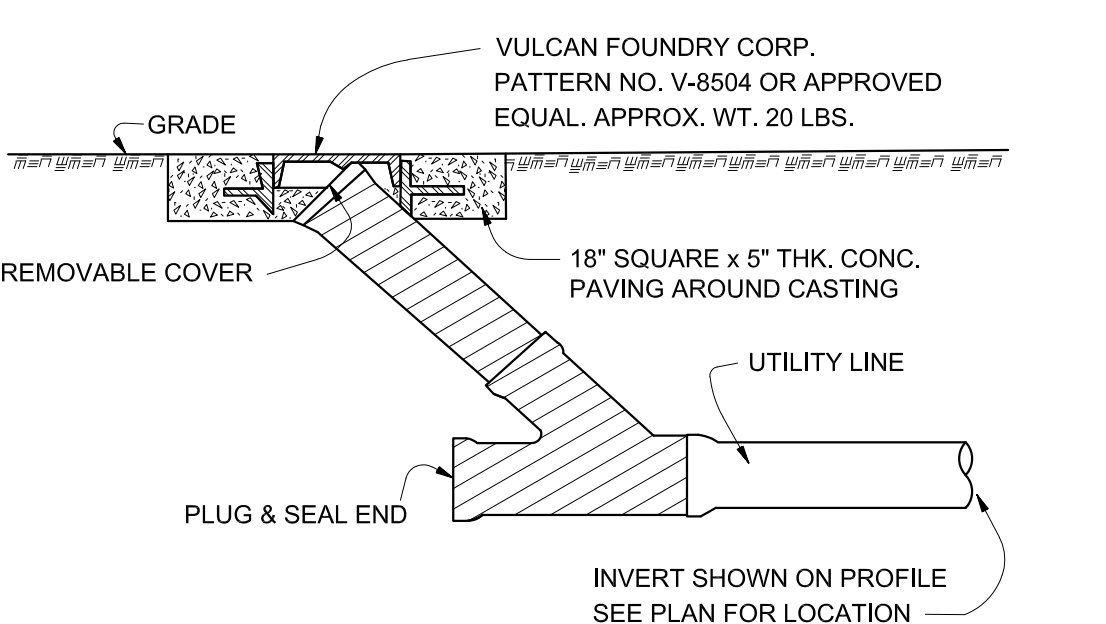
**4 Typical Utility Line Installation**  
C601 N.T.S.



**5 Typical Section - Overflow Structures at Rain Gardens**  
C601 N.T.S.



**7 Typical Drain Tie-In at Utility Structure**  
C601 N.T.S.



**8 Typical Cleanout Detail**  
C601 N.T.S.

**Issued**

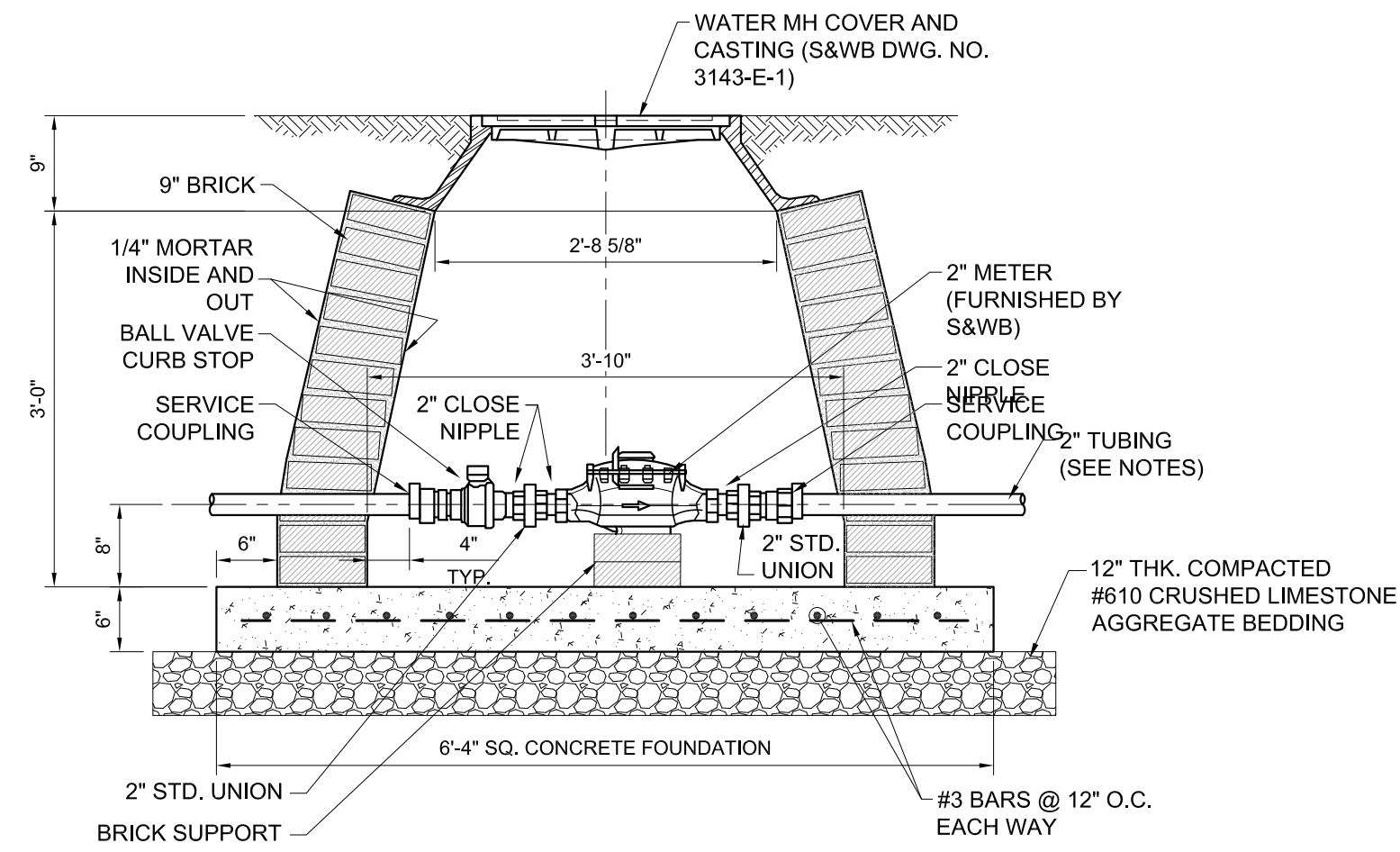
Date	To	Use / Restriction
03.24.22	Owner	864/Revit
05.17.24	Owner	99% CD Set
05.06.24	Owner	100% CD Set

**Progress**

**Release**



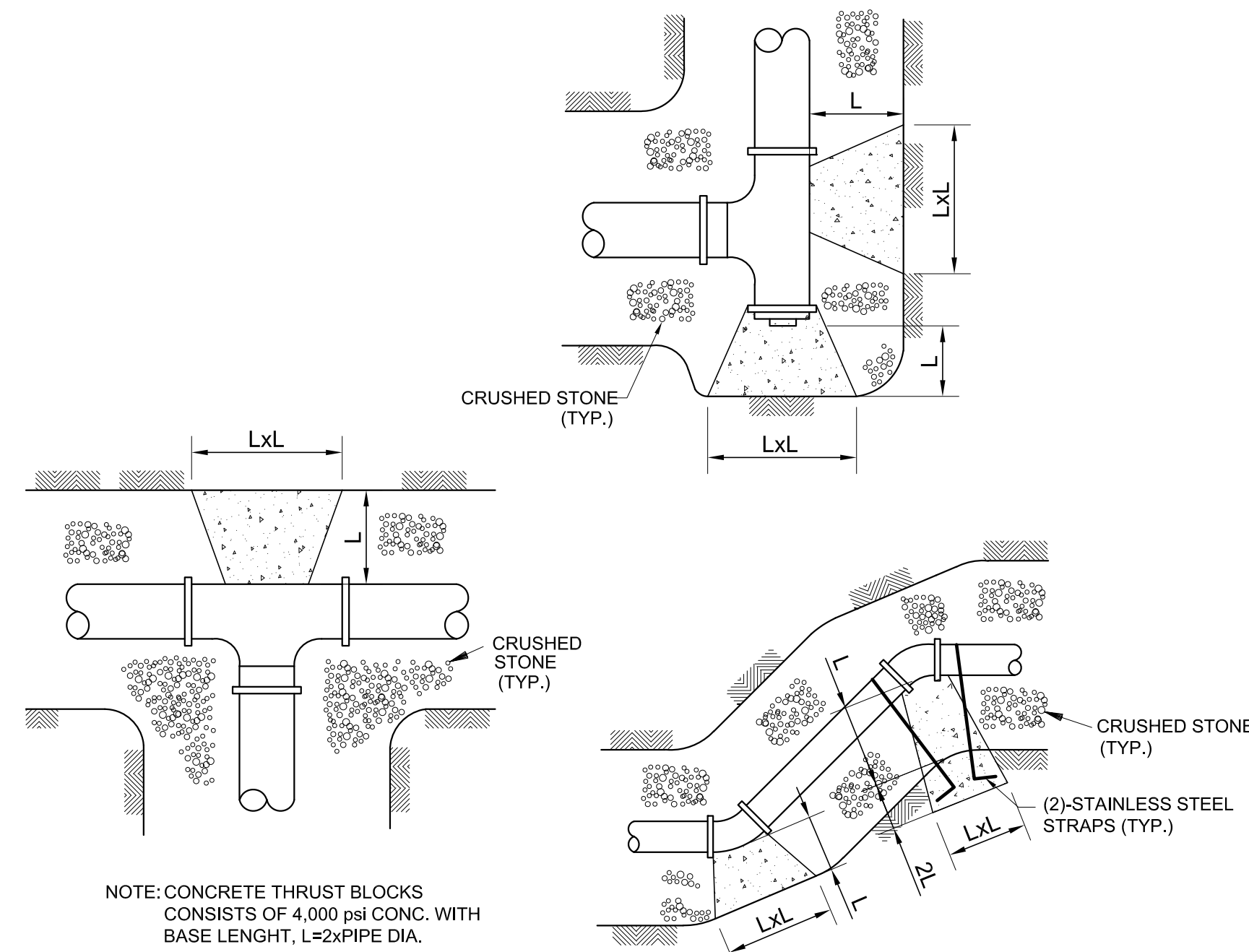
Project No. 2126 Drawn By AJM



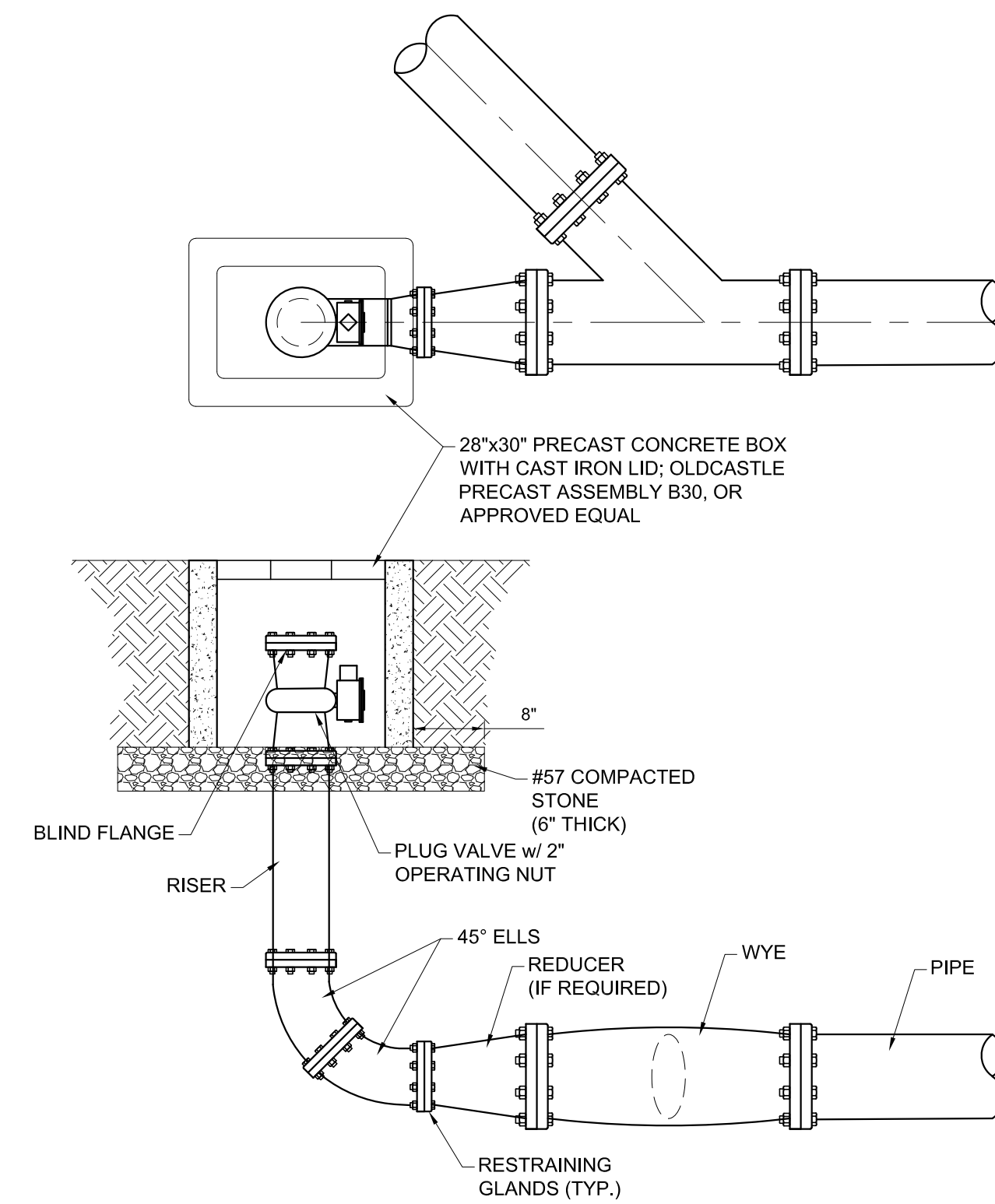
**NOTE:**

1. TUBING MATERIAL SHALL BE POYLETHYLENE PE 3406 OR PE 3408, TYPE "K" COPPER PIPE AND CONFOR, TO THE LATEST ISSUE OF ASTM D-2737 AND D-1248 FOR TYPE III OR IV GRADE P-34 CLASS C.
2. WHERE A 1 1/2" METER IS REQUIRE, ALL TUBING, COUPLINGS, FITTINGS, ETC. SHALL BE THE SAME AS A 2" CONNECTION, EXPECT THEY SHALL BE IN 1 1/2" SIZE.
3. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
4. ALL BRONZE/BRASS FITTINGS, CONNECTORS, CORPORATION STOPS APPURTENANCES SHALL BE OF DOMESTIC MANUFACTURE, SHALL BE MADE OF LEAD FREE BRONZE/BRASS, AND MEET ALL REQUIREMENTS OF AWWA, ASTM AND ANSI FOR USE IN POTABLE WATER DISTRIBUTION SYSTEMS.

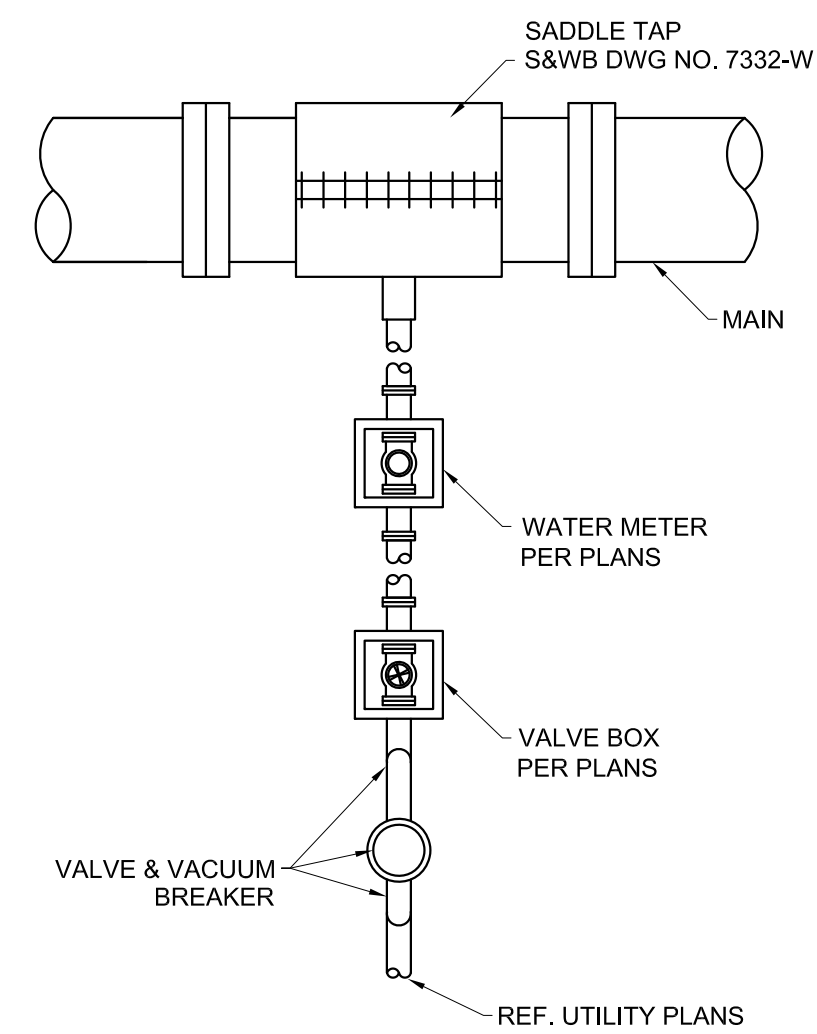
**1** 2" Water Meter Service  
C602 N.T.S. (REF S&WB DWG NO. 7332-W)



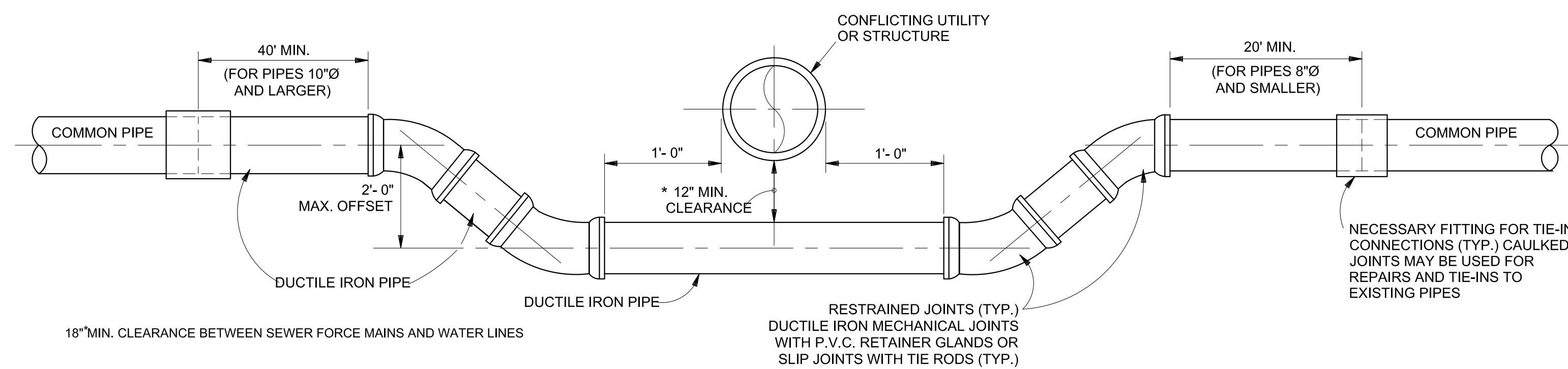
**2** Typical Detail Water Line Thrust Blocking  
C602 N.T.S. Also Applies To Sewer Force Mains



**3** Typical Detail Sewer Force Main Cleanout  
C602 N.T.S. Also Applies To Sewer Force Mains



**4** Typical Detail Water Service Connection  
C602 N.T.S.



**5** Offset Details (Vertical or Horizontal Offset) for Water Mains  
C602 N.T.S. Also Applies To Sewer Force Mains

Issued

Date	To	Use / Restriction
03.14.22	Owner	Bid / Permit
05.17.24	Owner	90% CD Set
05.06.24	Owner	100% CD Set

Progress

Release

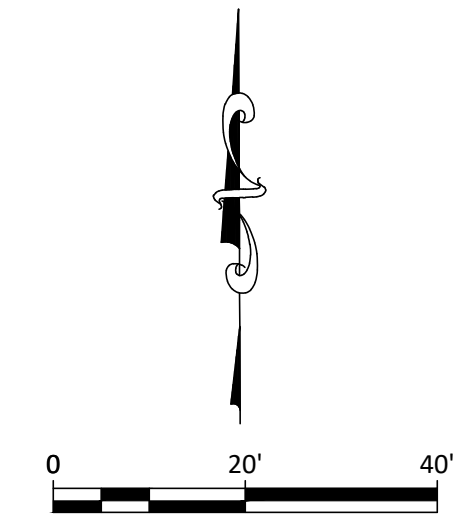


Project No. 2126 Drawn By AJM

Utility Details

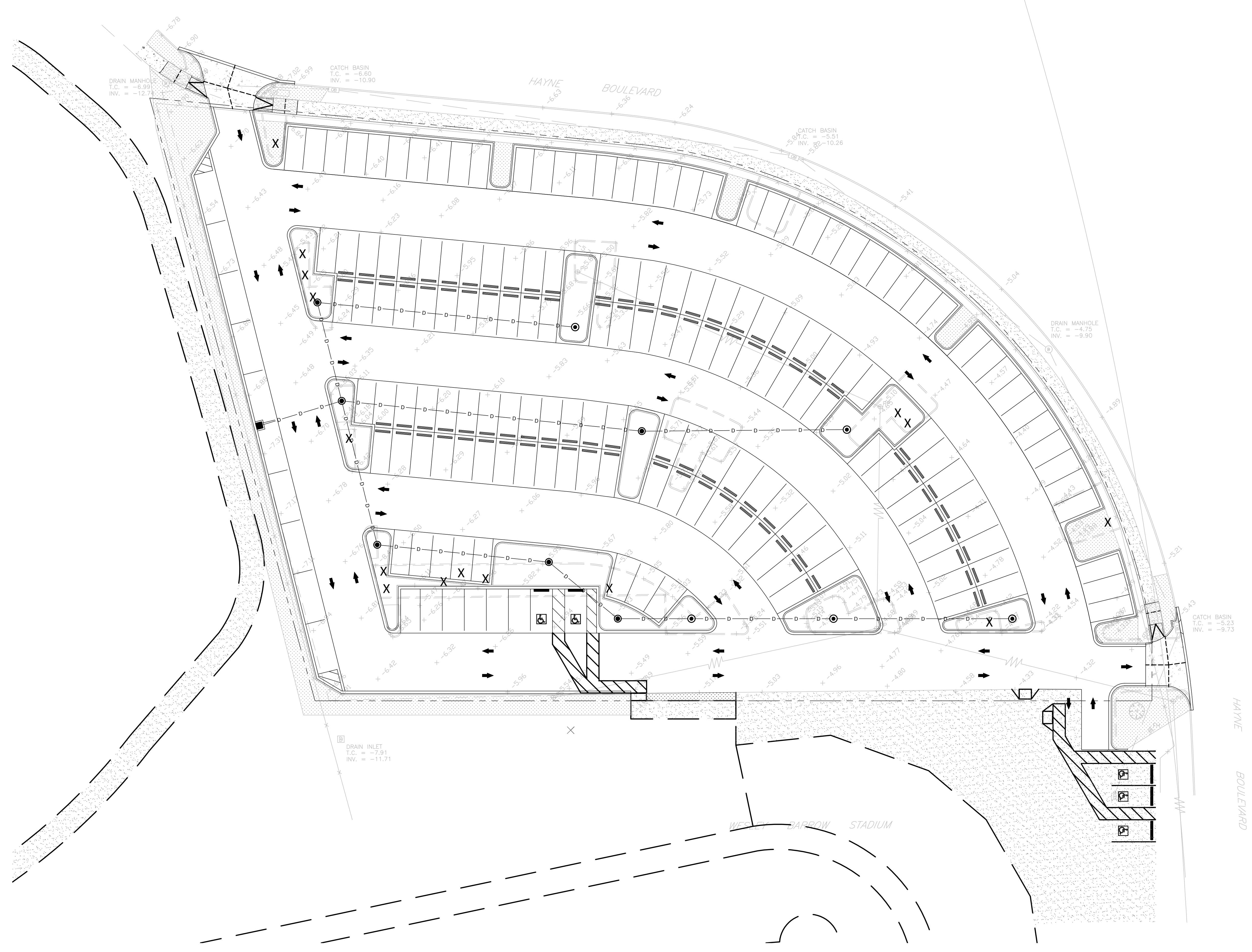
C602

**Wesley Barrow Multipurpose Facility**  
City of New Orleans, w/ MLB Youth Foundation  
6500 Press Dr., New Orleans, LA 70126



**LEGEND**

EXISTING TREES (TO BE REMOVED)



Issued

Date	To	Use / Restriction
06.06.24	Owner	100% CD

Progress

Release



Project No. 2126 Drawn By NBZ

Tree Removal Plan

L100

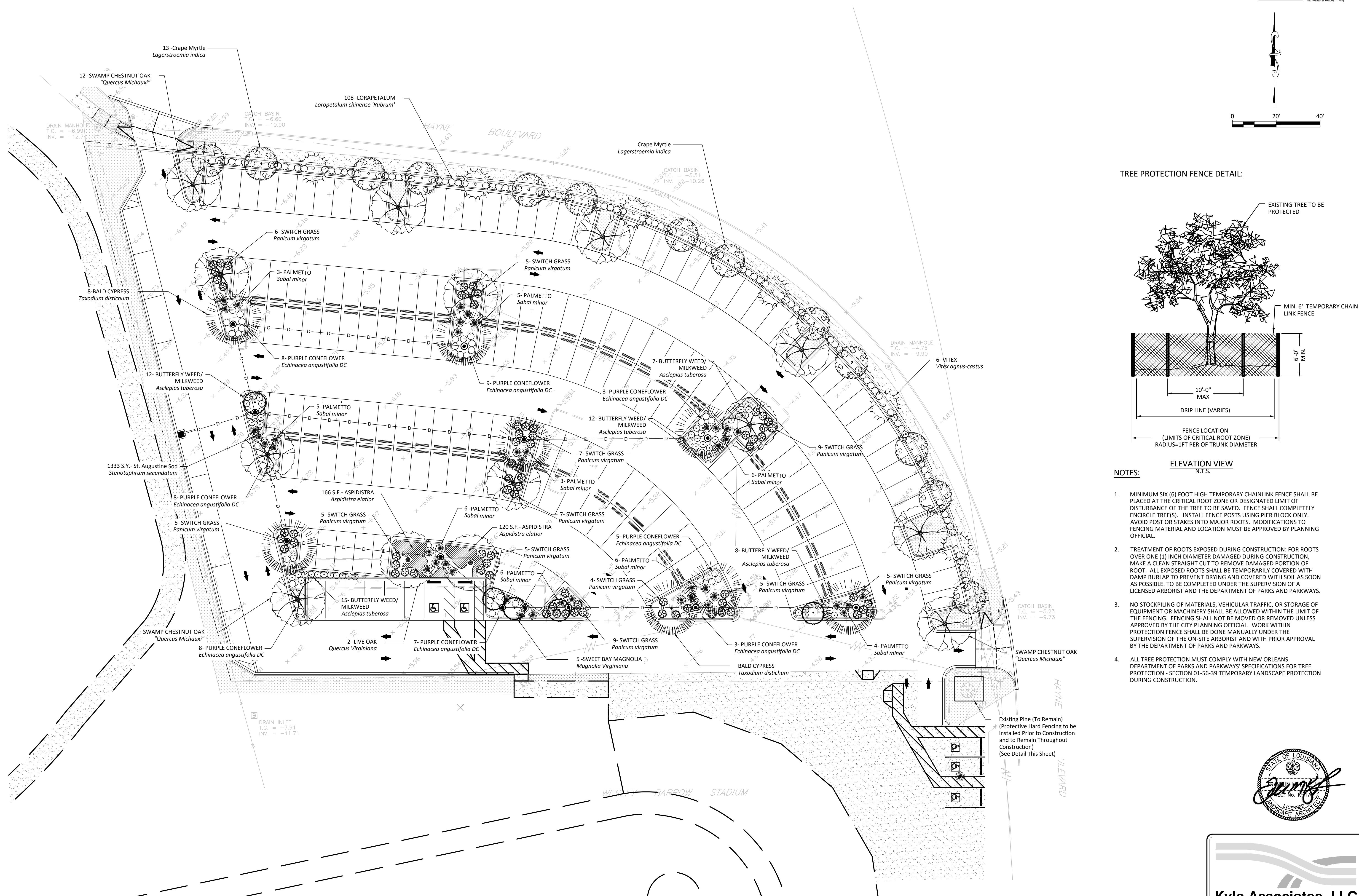
ALL RIGHTS RESERVED. NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF SCNZ ARCHITECTS, LLC. N:\2024\24032 - Wesley Barrow Multipurpose Facility\Drawings\Civil\24032-FL-LANDSCAPE.dwg, 6/6/2024, 11:35:54 AM, nzeringue

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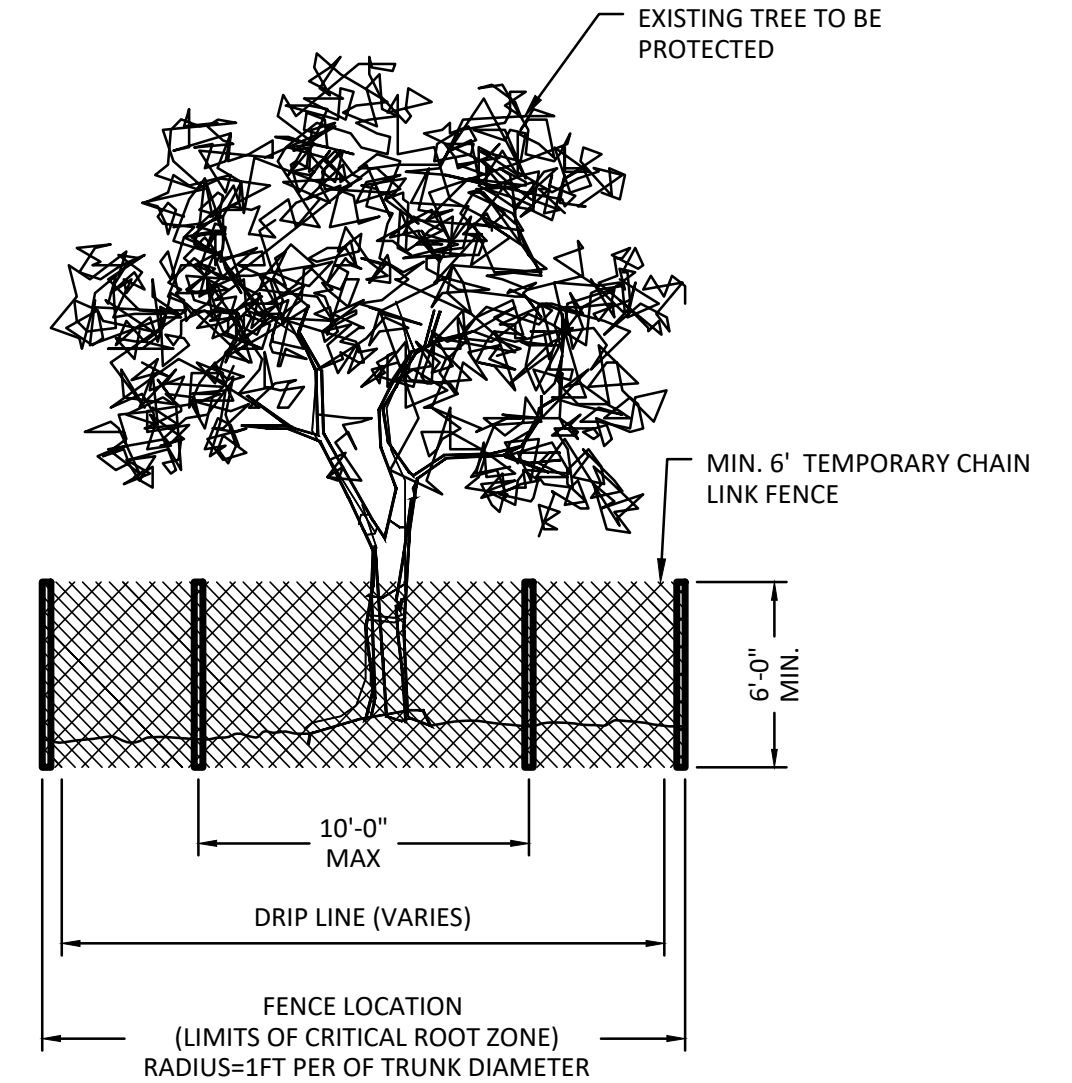
Date	To	Use / Restriction
06.06.24	Owner	100% CD

Progress

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Release	<input checked="checked" type="checkbox"/>



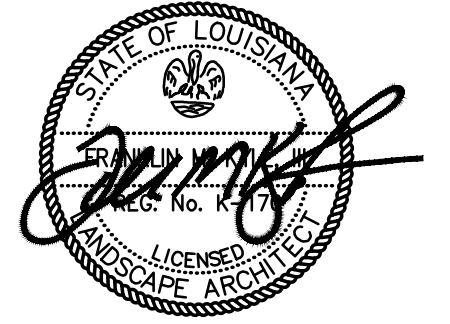
TREE PROTECTION FENCE DETAIL:



ELEVATION VIEW

NOTES:

- MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCLOSE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE (1) INCH DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE. TO BE COMPLETED UNDER THE SUPERVISION OF A LICENSED ARBORIST AND THE DEPARTMENT OF PARKS AND PARKWAYS.
- NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE DEPARTMENT OF PARKS AND PARKWAYS.
- ALL TREE PROTECTION MUST COMPLY WITH NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS' SPECIFICATIONS FOR TREE PROTECTION - SECTION 01-56-39 TEMPORARY LANDSCAPE PROTECTION DURING CONSTRUCTION.



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### MASTER LANDSCAPE PLAN MATERIALS SCHEDULE

QUANTITY	BOTANICAL NAME	DESCRIPTION	ROOT (MIN.)	HEIGHT (MIN.)	SPREAD (MIN.)	CALIPER (MIN.)	NOTES
<b>TREE</b>							
13	Lagerstroemia indica	CRAPE MYRTLE	8&8	10-12'	6-8'	2.0"	Multi-Trunk (3)
5	Magnolia virginiana	SWEETBAY MAGNOLIA	8&8	8-10'	5-6'	2.5"	Well Branched
12	Quercus 'Michauxi	SWAMP CHESTNUT OAK	8&8	12-14'	6-8'	3.0"	Well Branched, specimen
2	Quercus Virginiana	LIVE OAK	8&8	10-12'	6-8'	3.0"	Well Branched, specimen
8	Taxodium distichum	BALD CYPRESS	8&8	10-12'	6-8'	2.5"	Well Branched
6	Vitex agnus-castus	VITEX	8&8	8-10'	6-8'	2.5"	Well Branched
<b>SHRUB</b>							
108	Loropetalum chinense 'Rubrum'	LORAPETALUM	3 gal	24"	24"	-	Full Material
45	Sabal minor	PALMETTO	5 gal	30"	30"	-	Full Material
<b>GROUND COVER</b>							
51	Echinacea purpurea	PURPLE CONEFLOWER	1 gal	18"	-	-	-
71	Panicum Virgatum	SWITCHGRASS	3 gal	24"	-	-	-
54	Asclepias tuberosa	BUTTERFLY MILKWEED	1 gal	18"	-	-	-
286 S.F.	Aspidistra elatior	ASPIDISTRA	1 gal	12"	12"	-	Plant on 2.0' Centers
641 S.Y.	Stenotaphrum secundatum	ST. AUGUSTINE SOD	-	-	-	-	Install in island areas and unpaved areas

### GENERAL NOTES

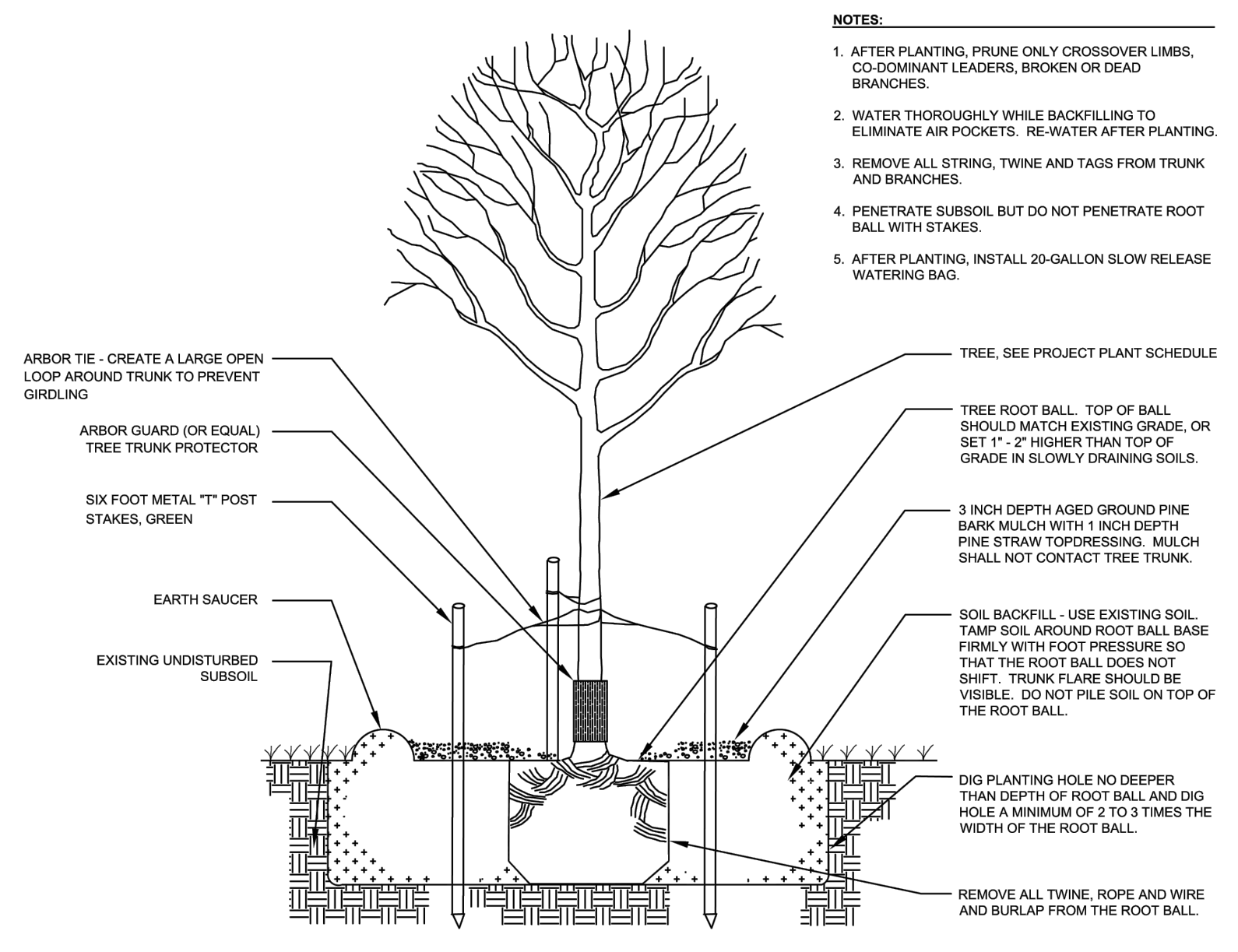
1. THE WORK PERFORMED UNDER THE DIRECTION OF THESE DOCUMENTS IS TO BE OF THE HIGHEST WORKMANSHIP AND QUALITY FOR WORK OF THIS TYPE. BEST INDUSTRY STANDARDS ARE TO BE APPLIED FOR ALL WORK DEFINED IN THESE DOCUMENTS.
2. THIS SET OF PLANS HAS BEEN DEVELOPED USING A SURVEY OR BASE INFORMATION PROVIDED BY THE OWNER. CONTRACTOR IS TO IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT EXIST BETWEEN THE SURVEY/BASE INFORMATION AND THE ACTUAL FIELD CONDITIONS.
3. THE PLAN REFLECTS A PROGRAM SET FORTH BY THE PROJECT OWNER & LANDSCAPE ARCHITECT. VARIATION IN PLANT SPECIES, SIZE, OR ARRANGEMENTS WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. ALL CORRESPONDENCE, ADDITIONS, SUBTRACTIONS, OR OTHER INSTANCES WHERE VARIATIONS IN THE PLAN MAY BE SUITABLE SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
4. ALL WORK PERFORMED UNDER THESE DOCUMENTS IS TO BE DONE IN ACCORDANCE WITH THE LAWS AND REGULATIONS OF THE JURISDICTION IN WHICH THE PROJECT IS LOCATED. LOCAL, STATE, AND FEDERAL LAWS APPLY, NOTABLY THE CITY OF NEW ORLEANS, STATE OF LOUISIANA.
5. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND THE COST OF ALL PERMITS AND APPROVALS REQUIRED FOR THIS WORK. ONLY LICENSED AND INSURED LANDSCAPE CONTRACTORS WILL BE PERMITTED TO PERFORM THE WORK INDICATED ON THESE PLANS.
6. THE CONTRACTOR IS TO CONTACT THE LOCAL UTILITY LOCATION SERVICE PRIOR TO THE COMMENCEMENT OF WORK AND HAVE ALL SUBSURFACE UTILITIES MARKED ON THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO TELEPHONE, NATURAL GAS, CABLE, WATER, SEWER, DRAINAGE, AND FIBER OPTIC. DEPTH OF THE UTILITIES SHALL BE A CONSIDERATION IN THIS EVALUATION. ADJUSTMENTS REQUIRED TO THE LANDSCAPE PLAN OR IRRIGATION DESIGN AS A RESULT OF UTILITY CONFLICTS ARE TO BE MADE PRIOR TO THE COMMENCEMENT OF WORK.
7. ALL EXISTING UTILITIES ARE TO BE PROTECTED AND MAINTAINED. REPAIRS ON UTILITIES DAMAGED BY THE CONTRACTOR WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. ALL EXISTING TREES AND OTHER LANDSCAPING THAT IS TO REMAIN, IS TO BE PROTECTED BY INSTALLING 4'ORANGE CONSTRUCTION SAFETY FENCING AROUND THE TREE AT THE DRIP LINE AND AROUND OTHER PLANTINGS AT THE EDGE OF THE PLANTED AREA.
9. EXISTING TREES AND SHRUBS THAT ARE INDICATED "TO BE REMOVED" ON THE PLANS SHALL BE CUT AND DISPOSED OFF SITE. THIS INCLUDES THE REMOVAL OF ALL ROOT SYSTEMS AND STUMPS (WHICH MAY BE GROUND) SO THAT THIS MATERIAL DOES NOT INTERFERE WITH THE NEW LANDSCAPE PROGRAM.
10. ALL CONSTRUCTION DEBRIS, INCLUDING BUT NOT LIMITED TO ROCKS, CONCRETE, BATTER BOARDS, PIPE, AND FOUNDATION BASE MATERIAL IS TO BE REMOVED FROM AREAS TO BE PLANTED PRIOR TO THE INSTALLATION OF BEDDING SOIL OR BASE PREPARATION FOR SOD.
11. UPON COMPLETION OF ALL BED PREPARATION, PLANTS ARE TO BE FULLY ARRANGED IN THE BED PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT AND/OR THE OWNER ARE TO APPROVE THE ARRANGEMENT PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR IS TO ROTATE ALL TREE AND LARGE SHRUB MATERIAL AS TO MAXIMIZE THE BENEFIT OF THE BRANCHING STRUCTURE TOWARDS THE OUTWARD APPEARANCE. FAILURE TO OBTAIN SUCH APPROVAL MAY RESULT IN THE RELOCATION OF MATERIAL.
12. ALL TREES ARE TO BE STAKED USING WOOD OR STEEL STAKES, THREE PER TREE. GUY WIRES ARE TO BE GALVANIZED WITH PLASTIC SHEATHING AT ALL TREE CONTACT POINTS. GUY WIRES ARE TO BE SET WITH 2" SLACK TO ALLOW FOR TREE MOVEMENT. ALL WIRES ARE TO BE FLAGGED WITH HIGH VISIBILITY TAPE.
13. ANY EXISTING TREES, TO BE PRESERVED, PRIMARILY LIVE OAKS, ARE TO BE PROTECTED PER THE DETAIL THIS SHEET PRIOR TO ANY SITE DEVELOPMENT ACTIVITY. FENCING TO BE IN PLACE AND MAINTAINED UNTIL PROJECT COMPLETION AND ACCEPTANCE. WHERE APPLICABLE.

### PLANT MATERIAL NOTES

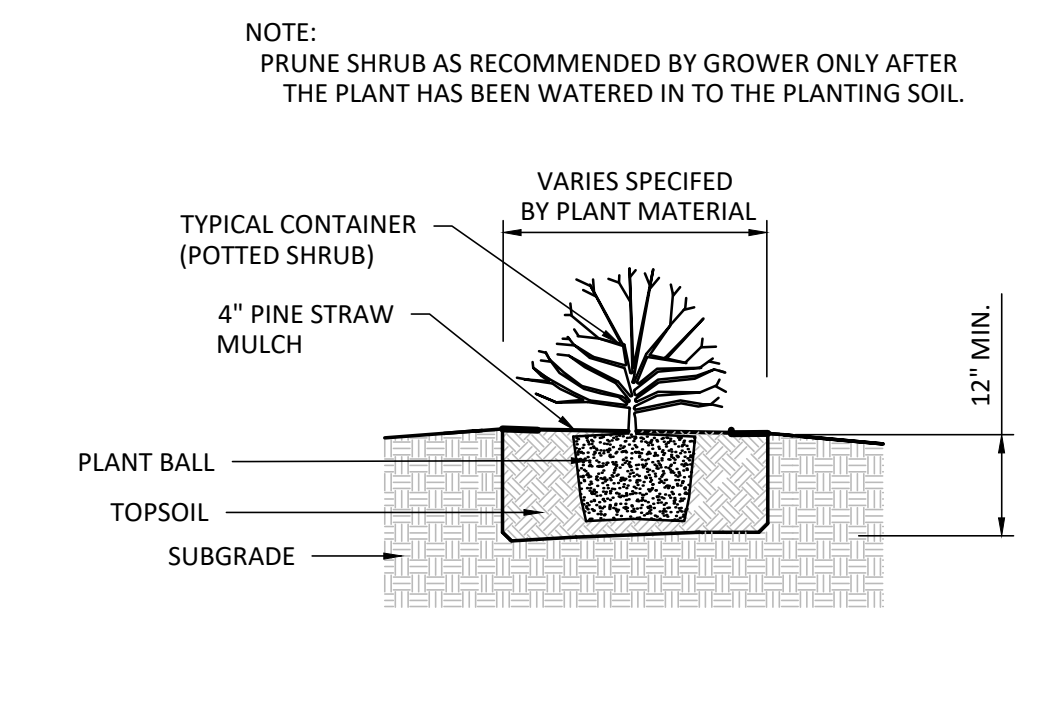
1. UPON APPROVAL OF THE PLANTING BED SHAPES AND TREE LOCATIONS, ALL EXISTING VEGETATION IN THESE AREAS IS TO BE CHEMICALLY ERADICATED USING A NON-SELECTIVE HERBICIDE (ROUND-UP OR EQUAL) APPLIED PER MANUFACTURER'S INSTRUCTIONS. BEDDING MATERIAL/PLANTING MEDIUM IS NOT TO BE PLACED IN THESE AREAS UNTIL THE CHEMICAL APPLICATION HAS SATISFACTORILY ELIMINATED THIS VEGETATION.
2. WHERE EXCAVATION REVEALS UNSUITABLE SOILS FOR PROPER TREE GROWTH, THE PLANTING HOLE IS TO BE DUG TWO TIMES THE SIZE OF THE ROOT BALL SPECIFIED, AND ALL BACKFILL IS TO BE TOPSOIL OR GARDEN MIX. UNSUITABLE MATERIAL IS TO BE REMOVED FROM THE SITE.
3. UPON INSTALLATION OF PLANT MATERIAL, ALL TREE WELLS AND BEDDING AREAS ARE TO BE MULCHED WITH PINE STRAW MULCH, OR OTHER APPROVED MULCH MATERIAL AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. MULCH SHALL BE A MINIMUM OF 4" THICK AND NOT MOUNDED ABOVE FINISH FLOOR.
4. ALL PLANT MATERIAL SPECIFIED IS TO BE FREE OF ALL PESTS, DISEASE, AND OTHER FOREIGN MATTER UPON DELIVERY TO THE SITE. MATERIAL SHOULD COME FROM A REPUTABLE AND LICENSED NURSERY WITHIN THE REGION WHERE THE PROJECT EXISTS. ANY PLANT THAT DOES NOT MEET THESE REQUIREMENTS OR IS NOT IN EXCELLENT HEALTH WILL BE REJECTED.
5. ALL PLANT MATERIAL WILL MEET OR EXCEED THE MINIMUM SIZES INDICATED IN THE PLANT MATERIAL SCHEDULE. ADDITIONALLY, ALL CONTAINER PLANT MATERIAL IS TO HAVE BEEN IN THE CONTAINER SIZE SPECIFIED FOR A MINIMUM OF ONE FULL GROWING SEASON. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE MATERIAL IN THE EVENT THESE MINIMUM STANDARDS ARE NOT MET.
6. PLANT MATERIAL DELIVERED TO THE PROJECT SITE IS NOT TO BE STOCKPILED FOR MORE THAN THREE DAYS. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE HEALTH AND WELL BEING OF ALL LANDSCAPE MATERIAL STAGED ON SITE.
7. ALL PLANT MATERIAL IS TO BE FERTILIZED AT THE TIME OF PLANTING WITH A BALANCED, TIME RELEASED FERTILIZER SUITABLE FOR THE SPECIFIC PLANT MATERIAL INSTALLED. FERTILIZATION FOR MATERIAL IN PLANTING BEDS MAY BE INCORPORATED INTO THE SOIL MIX OR APPLIED AT EACH PLANT LOCATION.
8. THE LANDSCAPE CONTRACTOR IS TO APPLY A WEED INHIBITOR ON THE SURFACE OF ALL BED AREAS PRIOR TO MULCHING, OR AS PER MANUFACTURER'S INSTRUCTIONS.
9. THE SCOPE OF THIS PROJECT INCLUDES THE PRUNING AND MAINTENANCE OF ALL MATERIAL (IMMEDIATELY AFTER PLANTING). PLANT MATERIAL IS TO HAVE THE HIGHEST QUALITY APPEARANCE AT THE TIME OF FINAL PRODUCT ACCEPTANCE.
10. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO WATER ALL MATERIAL THOROUGHLY UPON INSTALLATION, EVERY DAY FOR THE FIRST THREE DAYS FROM PLANTING, THEN EVERY OTHER DAY FOR THE NEXT TEN DAYS. THIS REQUIREMENT WILL BE WAIVED ONCE AN IRRIGATION SYSTEM IS INSTALLED AND OPERATIONAL. WATER BAGS ON TREES IS RECOMMENDED FOR NON-IRRIGATED SITES.
11. CONTRACTOR IS TO WARRANT THE SURVIVABILITY OF ALL PLANT MATERIAL FOR ONE YEAR AFTER ACCEPTANCE, WITH EXCEPTIONS BEING MADE FOR FREEZE, WIND DAMAGE, AND VEHICULAR DAMAGE. DROUGHT IS EXCLUDED.
12. SOIL FOR LAWN AREAS IS TO BE A SANDY LOAM TYPE SOIL, FREE OF STICKS, ROOTS, EXISTING VEGETATION, AND ROCKS, AND IS TO HAVE A MINIMUM DEPTH OF 6" TO 8". BEDDING AREA SOILS ARE TO BE A GARDEN MIX OF SANDY LOAM, FINELY CHOPPED BARK MULCH, AND A NUTRIENT BASE EITHER FROM FERTILIZERS OR NATURAL SOIL AMENDMENTS. ALL BEDDING AREAS ARE TO HAVE A MINIMUM PLANTING DEPTH OF 12". EXISTING MATERIAL MAY BE AMENDED PROVIDED THE QUALITY SPECIFIED ABOVE IS MET.
13. ALL LAWN AREAS THAT ARE TO BE SODDED SHALL BE FREE OF NOXIOUS WEEDS AND PESTS, AND SOURCED FROM A LICENSED AND REPUTABLE SOD GROWER LOCATED WITHIN THE REGION. NO "PASTURE GRASS" SOD IS ALLOWED.
14. ALL GRADING OF LAWN AND BED AREAS ARE TO BE AWAY FROM STRUCTURES AND WALKS. FINAL LAWN GRADES ARE TO BE ESTABLISHED AS PART OF THE OVERALL DRAINAGE SYSTEM. GUTTER DOWNSPOUTS ARE NOT TO FLOW DIRECTLY INTO BEDDING AREAS. RETRACTABLE DOWNSPOUT EXTENSIONS, SPLASH BLOCKS, OR CONNECTION TO SUBSURFACE DRAINAGE SYSTEMS IS REQUIRED.
15. CONTRACTOR SHALL INSTALL A GEOTEXTILE FABRIC BELOW PLANTING BEDS IN THE IMMEDIATE VICINITY OF ANY STRUCTURE TO PREVENT WATER INFILTRATION INTO SUBSOIL AROUND STRUCTURAL FOUNDATIONS.
16. ALL NON-PAVED AREAS SHALL BE SODDED. SOD IS TO BE INSTALLED USING A 6" CREST AT THE CENTER OF ALL ISLANDS & SLOPING TO EDGE OF CURB ON BOTH SIDES TO INSURE PROPER DRAINAGE OF ISLAND OR GRADED TO INTERNAL STORM DRAINS WITHIN THE ISLANDS.
17. ALL PLANTINGS MUST BE INSTALLED IN COMPLIANCE WITH NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS' SECTION 32-90-00 PLANTING.

### IRRIGATION NOTES (NOT APPLICABLE TO PROJECT)

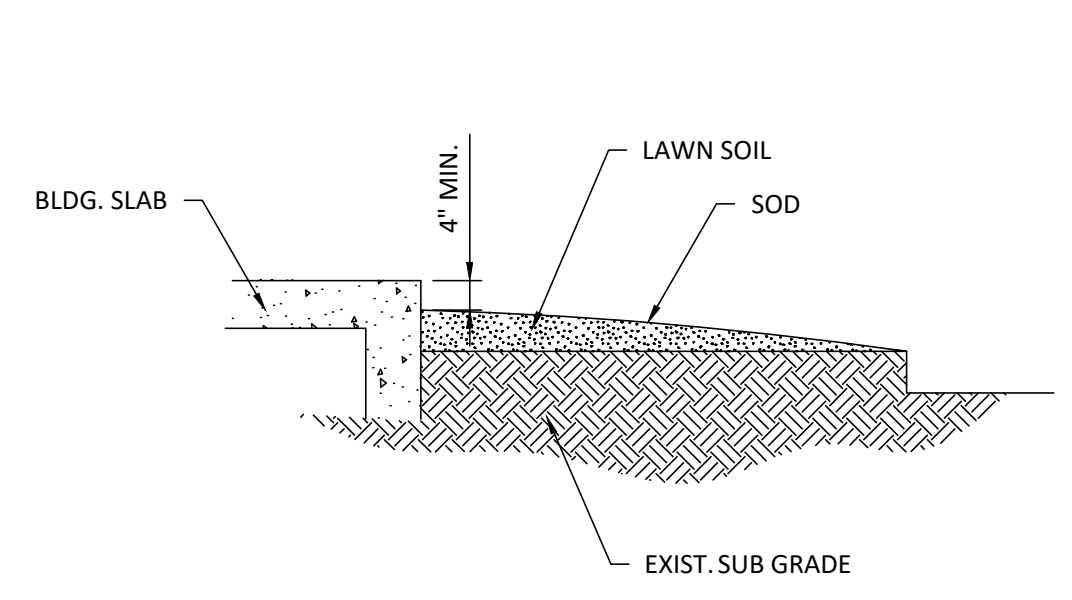
1. ALL LANDSCAPE INSTALLATION WORK IS TO BE COORDINATED WITH THE IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR THE ADJUSTMENT OF SPRAY HEADS AND NOZZLES TO FIT THE PLANT MATERIAL FOR THE PROJECT.
2. THE WATER SOURCE FOR THIS PROJECT IS TO BE THE MUNICIPAL WATER SYSTEM SERVING THE SITE. ALL CONNECTIONS TO THE SYSTEM ARE TO BE IN CONFORMANCE WITH THE RULES AND REGULATIONS GOVERNING WATER CONNECTIONS FOR IRRIGATION SYSTEMS IN THE JURISDICTION IN WHICH THIS PROJECT EXISTS. A BACKFLOW PREVENTER IS TO BE INSTALLED AT THE POINT OF WATER SOURCE CONNECTION, PER LOCAL CODES.
3. COVERAGE OF ALL BED AREAS IS TO BE 100%. THE IRRIGATION/LANDSCAPE CONTRACTOR IS TO ENSURE THAT DIRECT OR OVSERSPRAY FROM IRRIGATION HEADS IS NOT PERMITTED TO WET WALKWAYS OR BE A DETRIMENT TO ADJACENT STREETS OR DRIVES.
4. ONLY TORO, OR RAIN BIRD, PRODUCTS (OR APPROVED EQUAL) WILL BE PERMITTED. THE LANDSCAPE CONTRACTOR IS TO PROVIDE SUBMITTALS ON ALL PRODUCTS TO BE USED IN THE IRRIGATION SYSTEM.
5. THE IRRIGATION SYSTEM WILL BE A FULLY AUTOMATED SYSTEM WITH INITIAL SET-UP MADE BY THE LANDSCAPE/IRRIGATION CONTRACTOR.
6. IRRIGATION SYSTEM ZONES HAVE BEEN HYDRAULICALLY DESIGNED FOR A WATER SOURCE WITH AN OPERATING PRESSURE OF 55 PSI AND A FLOW RATE OF 40 GALLONS PER MINUTE. SYSTEM SHALL BE CONFIGURED TO HAVE NO MORE THAN TWO ZONES OPERATING AT ONE TIME. FOR LARGE SYSTEMS WHERE THESE PARAMETERS ARE NOT ADEQUATE, THE CONTRACTOR WILL REQUEST FROM THE LANDSCAPE ARCHITECT PARAMETER VARIANCES.
7. THE IRRIGATION SYSTEM CONTROLLER IS TO BE LOCATED IN AN INCONSPICUOUS LOCATION, AS DIRECTED BY THE OWNER. A 110V POWER SUPPLY SHALL BE PROVIDED BY THE OWNER, AS NEEDED.
8. ALL PIPING IS TO BE PVC CLASS 200 FOR LATERAL, SYSTEM, AND ZONES LINES. ALL MAIN LINE (CONTINUALLY CHARGED) PIPING IS TO BE PVC SCHEDULE 40. LINES ARE TO BE BURIED A MINIMUM OF 16" DEEP. ALL LINES ARE TO BE FLUSHED PRIOR TO THE INSTALLATION OF IRRIGATION HEADS.
9. ALL SPRAY HEADS LOCATED AGAINST THE BUILDING OR WALL SHALL BE "HIGH POP" HEADS FOR SPRAY NOZZLE TO BE ABOVE ADJACENT SHRUBBERY.
10. WATER CONNECTION AND BACKFLOW PREVENTER ASSEMBLY, IS TO BE INSTALLED BY A LICENSED PLUMBER AND DONE SO IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.



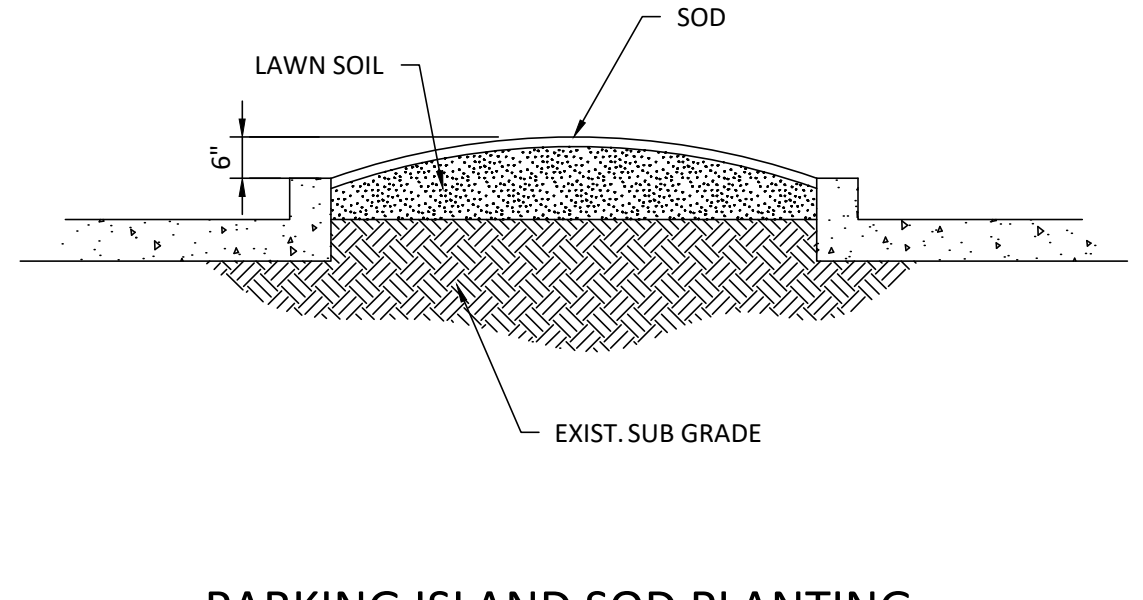
1 **TREE PLANTING DETAIL**  
N. T. S.



2 **CONTAINER SHRUB PLANTING DETAIL**  
N.T.S.



3 **SOD PLANTING DETAIL**  
N.T.S.



4 **PARKING ISLAND SOD PLANTING AND GRADING DETAIL**  
N.T.S.

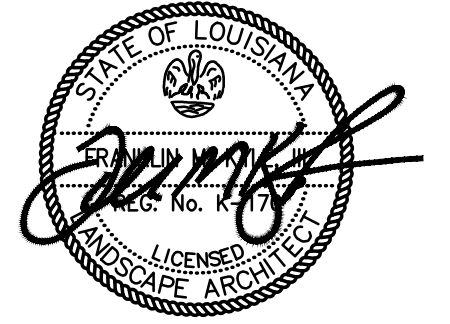


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Progress   
Release



Project No. 2126 Drawn By NBZ

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