

# RENOVATION + ADDITION

1414-16 AUDUBON STREET

NEW ORLEANS, LA 70118

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03/27/2024 SURVEY (BY R.W. KREBS)

## PROJECT INFORMATION

**PROJECT ADDRESS:** 1414-16 AUDUBON STREET, NEW ORLEANS, LA 70118  
**OWNER:** CAMPUS RENTALS, LLC, 2422 JOSEPH ST., NEW ORLEANS, LA 70115

**ARCHITECT:** GRAHAM HILL, RA (LA #9352), 917 HILLARY ST., N.O. LA 70118  
**CONTRACTOR:** ASPER CONSTRUCTION, 2600 GENERAL PERSHING ST., NEW ORLEANS, LA 70115

### PROJECT DESCRIPTION AND SCOPE OF WORK:

CAMELBACK ADDITION TO EXISTING SINGLE-FAMILY DWELLING. CONVERT TO TWO-FAMILY DWELLING. DEMOLITION OF EXISTING 1-STORY ADDITION TO CREATE SPACE FOR REQUIRED OFF-STREET PARKING. NEW REAR UNIT SCOPE INCLUDES RENOVATION OF REAR TWO ROOMS OF EXISTING BUILDING, PLUS NEW 2-STORY ADDITION IN BACK OF EXISTING. NEW FIXTURES AND FINISHES; NEW LIGHTING, APPLIANCES, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.

### PROJECT AREAS:

PARCEL AREA: 6,000 SQ FT (PER ASSESSOR'S RECORDS)  
TOTAL EXISTING BUILDING AREA: 3,080 SQ FT (PER ASSESSOR'S RECORDS)  
AREA TO BE DEMOLISHED: 1,026 SQ FT  
AREA OF NEW ADDITION: 975 SQ FT  
TOTAL GROSS AREA: 3,143 SQ FT

### ZONING SUMMARY:

HU-RD1 HISTORIC URBAN TWO-FAMILY RESIDENTIAL DISTRICT  
EXISTING USE: SINGLE-FAMILY DWELLING (PERMITTED)  
PROPOSED USE: TWO-FAMILY DWELLING (PERMITTED)

EXISTING BEDROOMS: 4.0 (ONE UNIT)  
EXISTING BATHROOMS: 4.0  
PROPOSED BEDROOMS: 6.0 (UNIT A - 3BR ; UNIT B - 3BR)  
PROPOSED BATHROOMS: 5.0 (UNIT A - 3BA ; UNIT B - 2BA)  
EXISTING PARKING: 1 SPACE  
PROPOSED PARKING: 2 SPACES

## DESIGN CRITERIA

### APPLICABLE CODES AND REGULATIONS:

NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE:  
IRC 2021; IECC 2021; IEBC 2018;  
INTL MECHANICAL CODE (IMC), 2015; INTL ELECTRICAL CODE (IEC), 2015;  
INTL FUEL GAS CODE (IGC), 2015; INTL FIRE CODE (IFC), 2015;  
INTL PLUMBING CODE (IPC), 2015; CITY OF NEW ORLEANS AMENDMENTS TO IBC, IGC, IMC

### DESIGN CRITERIA:

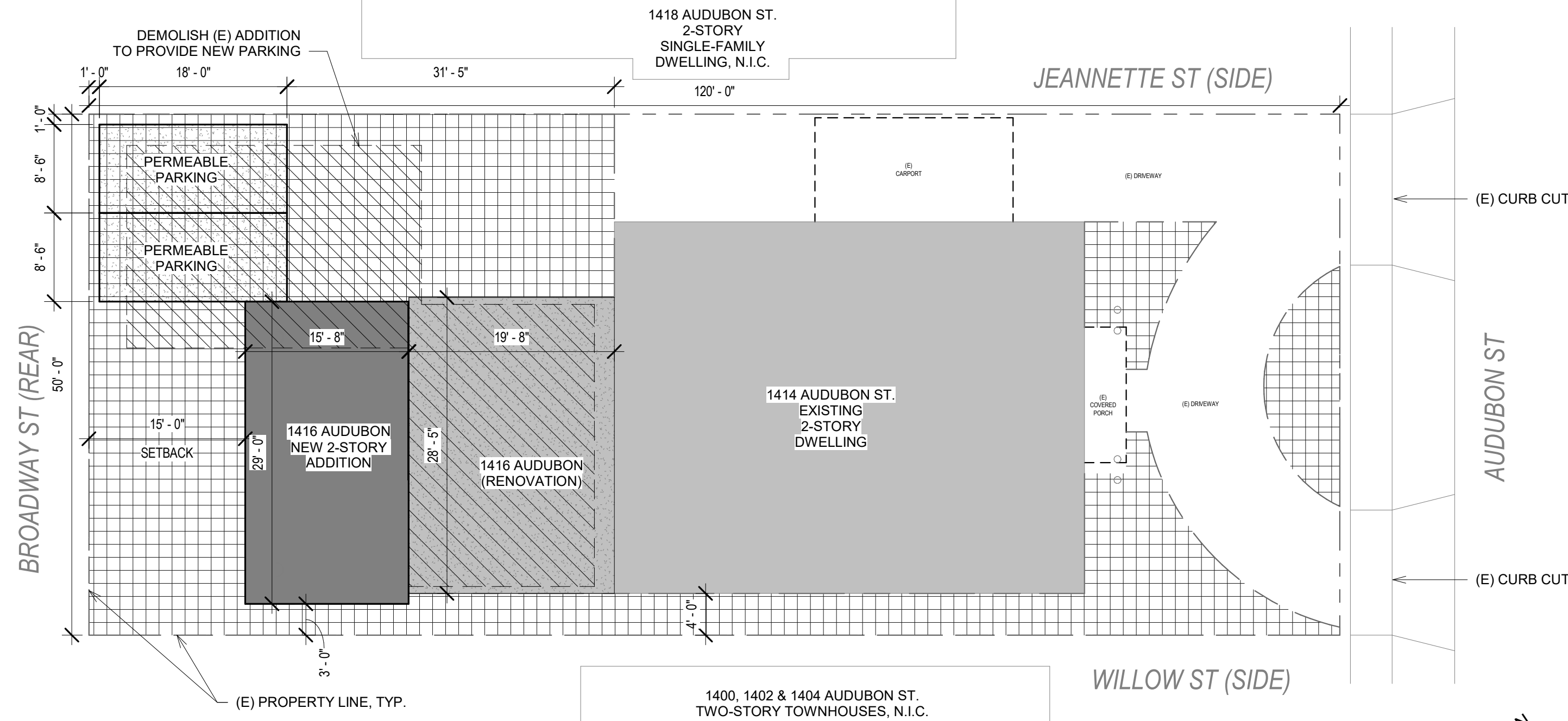
LOUISIANA STATE UNIFORM CONSTRUCTION CODE  
2021 INTERNATIONAL RESIDENTIAL CODE  
ASCE - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE/SEI 7-10; ASCE/SEI 7-05  
2018 WOOD FRAME CONSTRUCTION MANUAL  
AMERICAN CONCRETE INSTITUTE: ACI 318-11  
NATIONAL DESIGN SPECIFICATIONS FOR WOOD  
NATIONAL FIRE PROTECTION: NFPA

### DESIGN LOADS:

ASCE 7-10 3-SEC GUST WIND LOAD: V=142 MPH  
RISK CATEGORY: II EXPOSURE "B"  
ENCLOSED BUILDING PRESSURE COEF: GcP1=0.18

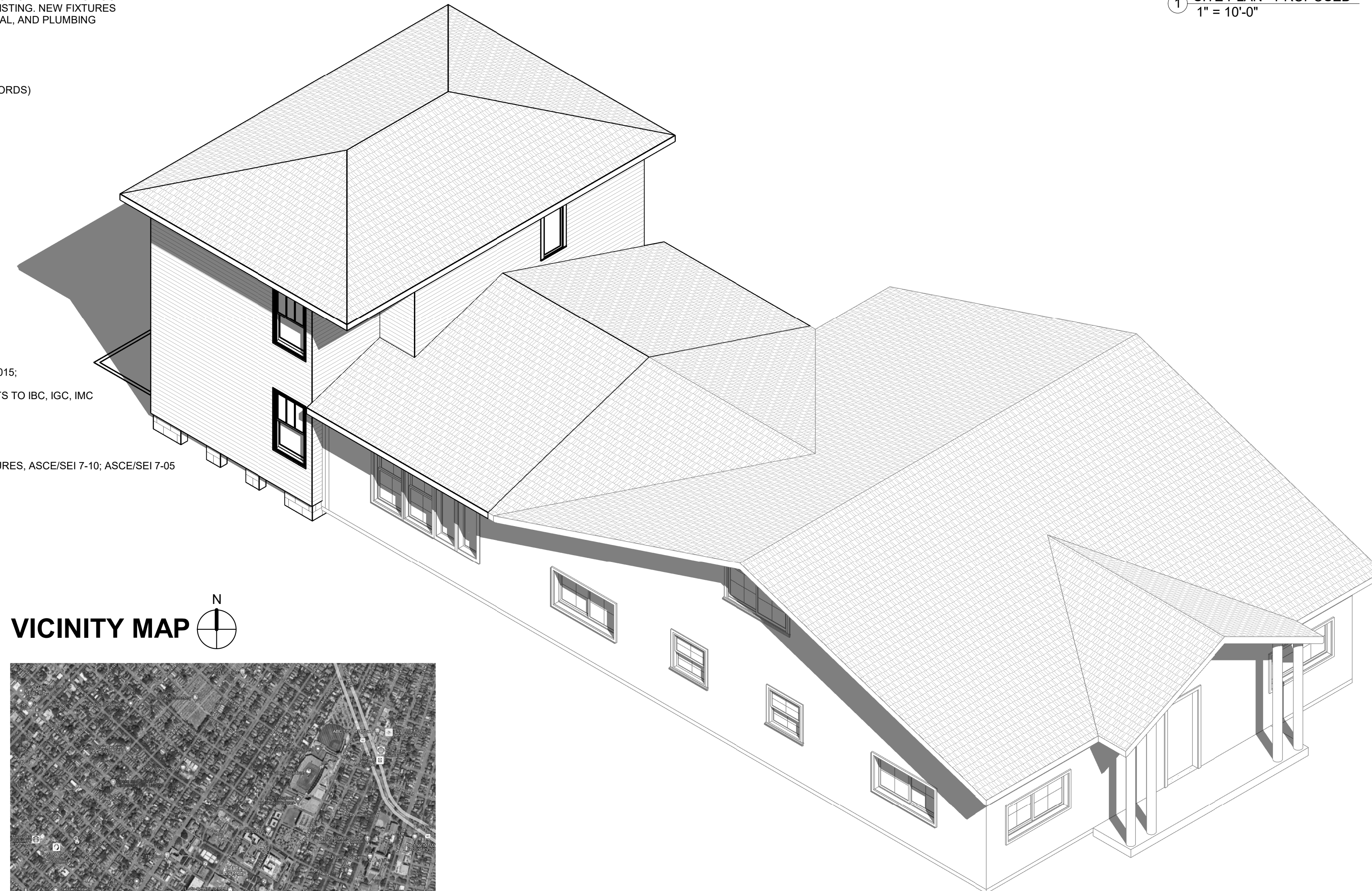
## LOCATION MAP

## VICINITY MAP



ADDITION FOOTPRINT: 454 SQ FT (7%)  
PERMEABLE LOT AREA: 2,160 SQ FT (36%)  
EXISTING FOOTPRINT: 2,168 SQ FT (36%)  
AREA TO BE DEMOLISHED: 1,026 SQ FT (17%)  
AREA TO BE RENOVATED: 559 SQ FT (9%)

1 SITE PLAN - PROPOSED  
1" = 10'-0"



## GENERAL CONDITIONS

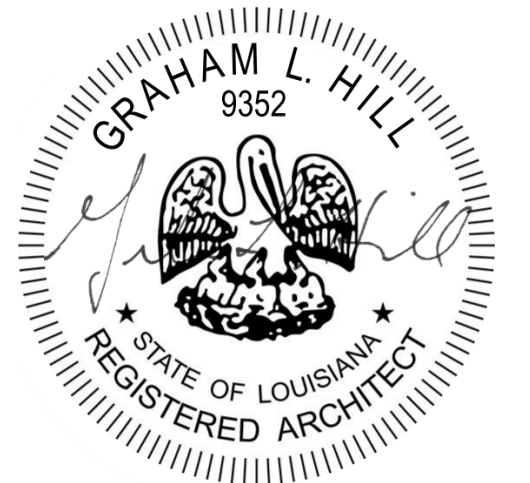
- THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE, OPERATIONAL AND PROPERLY FUNCTIONING PROJECT, SUITABLE FOR OCCUPANCY AND FINAL INSPECTION.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES, LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER AND ARCHITECT SHOP DRAWINGS, PRODUCT DATA, AND SPECIFICATIONS PRIOR TO PROCUREMENT OF MATERIALS, FABRICATIONS, OR ASSEMBLIES.
- ANY REQUESTS FOR SUBSTITUTIONS OR DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE PROFESSIONAL OF RECORD.
- THE CONTRACTOR SHALL NOTIFY THE PROFESSIONAL OF RECORD OF ANY MATERIALS, CONDITIONS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- ALL WORK REQUIRED FOR THE INSTALLATION AS SHOWN ON DRAWINGS INCLUDING LABOR, EQUIPMENT AND MATERIALS SHALL BE IN STRICT COMPLIANCE WITH THE BUILDING STANDARDS.
- PROVIDE WARRANTY GUARANTEED FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE BY OWNER AND ARCHITECT. REPLACE ALL DEFECTIVE WORKMANSHIP, EQUIPMENT AND MATERIALS WITHOUT ADDITIONAL CHARGES.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, CONTROL DIAGRAMS, EQUIPMENT CUT SHEETS, AND/OR MATERIAL PRODUCT DATA TO THE ARCHITECT FOR APPROVAL PRIOR TO STARTING RELATED WORK. SHOP DRAWINGS AND/OR SUBMITTALS SHALL INCLUDE MANUFACTURER'S NAMES, CATALOG NUMBERS, CUT SHEETS, DIAGRAMS AND OTHER DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOGICAL GROUPS BASED ON CONSTRUCTION SEQUENCE. PARTIAL SUBMITTALS WILL NOT BE REVIEWED.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, VISIT THE SITE, AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS, LOCAL JURISDICTIONAL CODES AND REQUIREMENTS, AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. SUBMISSION OF PROPOSAL IN CONNECTION WITH THIS WORK SHALL IMPLY THAT THE BIDDER HAS EXAMINED THE JOB SITE. NO EXTRA CHARGE WILL BE ALLOWED FOR CHANGES RESULTING FROM FAILURE TO EXAMINE THE JOB SITE.
- DRAWINGS, MEASUREMENTS AND DEPICTIONS OF EXISTING CONDITIONS ARE PROVIDED TO CONVEY DESIGN INTENT AND SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL SUBMIT IN WRITING ALL REQUESTS FOR SUBSTITUTIONS AND/OR PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED PRIOR TO OWNER AUTHORIZATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL AND THOROUGH CLEANING OF ALL SURFACES, FINISHES AND EQUIPMENT AND SHALL DELIVER THE PREMISES IN "MOVE-IN" CONDITION.
- NEW WORK TO ALIGN AND/OR INTEGRATE WITH EXISTING OPENINGS, TRIM, WINDOWS, DOORS AND WALLS. PLEASE REVIEW EXISTING CONDITIONS CAREFULLY AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL COMPLY WITH APPLICABLE CODES. DESIGN FOR THESE SYSTEMS IS ASSUMED TO BE BY CONTRACTOR AND/OR SUBCONTRACTOR. ARCHITECT TO REVIEW SUBMITTALS FOR CONSISTENCY WITH DESIGN INTENT ONLY.
- CLIENT TO CONFIRM ALL FINAL SELECTIONS FOR APPLIANCES, FINISHES, AND FIXTURES. ARCHITECT TO REVIEW AND APPROVE PRIOR TO PROCUREMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN TRADES AND/OR DISCIPLINES. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS, INCONSISTENCIES OR DISCREPANCIES.
- CONTRACTOR SHALL INSTALL SMOKE AND CARBON MONOXIDE DETECTION SYSTEMS AND NOTIFICATION SYSTEMS IN ACCORDANCE WITH THE IBC.
- CONTRACTOR SHALL COORDINATE REQUIREMENTS FOR APPLIANCES, EQUIPMENT, FIXTURES WITH OWNER PRIOR TO PROCUREMENT AND INSTALL.
- CONTRACTOR TO PROVIDE FINISH MOCK-UPS PRIOR TO PROCUREMENT AND INSTALL FOR PAINT, TILE, FLOORING, AND TRIM.
- CONTRACTOR TO PROVIDE PHYSICAL SAMPLES FOR ALL FINISHES FOR ARCHITECT AND OWNER REVIEW PRIOR TO PROCUREMENT AND INSTALL.
- CONTRACTOR SHALL KEEP PREMISES FREE FROM ACCUMULATION OF DEMOLITION DEBRIS, WASTE, DUST OR RUBBISH CAUSED BY OPERATION AND SHALL REMOVE NO LESS THAN WEEKLY ALL DEBRIS FROM AND ABOUT THE PROJECT.
- CONTRACTOR TO PROVIDE PROPER STORMWATER DRAINAGE FROM ALL ROOFS, PAVED AND OPEN LOT AREAS TOWARD CHEROKEE STREET.
- THESE DOCUMENTS OUTLINE A STRUCTURAL RENOVATION SCOPE OF WORK ONLY FOR A TWO-STORY TYPE VB STRUCTURE. ANY ADDITIONAL REQUIRED ENGINEERING DESIGN, INCLUDING GEOTECHNICAL, CIVIL OR STRUCTURAL, TO BE PROVIDED SEPARATELY BY LOUISIANA LICENSED ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR APPLY FOR AND OBTAINING ALL REQUIRED PERMITS AND APPROVALS FROM LOCAL JURISDICTIONS.
- CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR DEVIATIONS FROM DESIGN WITHOUT WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.
- IF ANY CHANGE(S) ARE MADE TO ACCOMMODATE FIELD CONDITIONS NOTIFY THE ARCHITECT IMMEDIATELY OF WHAT THE CHANGE(S) WERE, THE REASON FOR THE CHANGE(S), AND THE COST IMPACTS.
- PROVIDE SEPARATION AT ALL DISSIMILAR METALS.
- ALL EXTERIOR EXPOSED WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO ASSURE WEATHER TIGHT CONDITION. CONTRACTOR SHALL PROVIDE CAULKING, FLASHING, WATERPROOF MEMBRANES AND/OR WEATHER BARRIER MATERIALS REQUIRED FOR WEATHER TIGHT CONDITIONS. ALL OCCUPIED SPACES SHALL RECEIVE AN INSULATION BARRIER THAT IS CONTINUOUS AT ALL EXTERIOR WALL, CEILING AND FLOOR SURFACES.
- PROVIDE WIND-BORNE DEBRIS PROTECTION FOR OPENINGS, 142MPH IMPACT RATED.
- PROVIDE ATTIC VENTILATION PER SEC 806 OF THE IBC.



www.behance.net/grahamhilledesign

RENOVATION + ADDITION  
1414-16 AUDUBON ST.  
NEW ORLEANS, LA 70118

No.	Description	Date
1	PERMIT SET	04.12.2024
2	DESIGN REVIEW SET	05.01.2024



CAMPUS RENTALS LLC

1414-16 AUDUBON ST.

PROJECT INFORMATION,  
SITE PLAN, AXON

Project number	2313
Date	04.12.2024
Drawn by	GH
Checked by	GH

A000

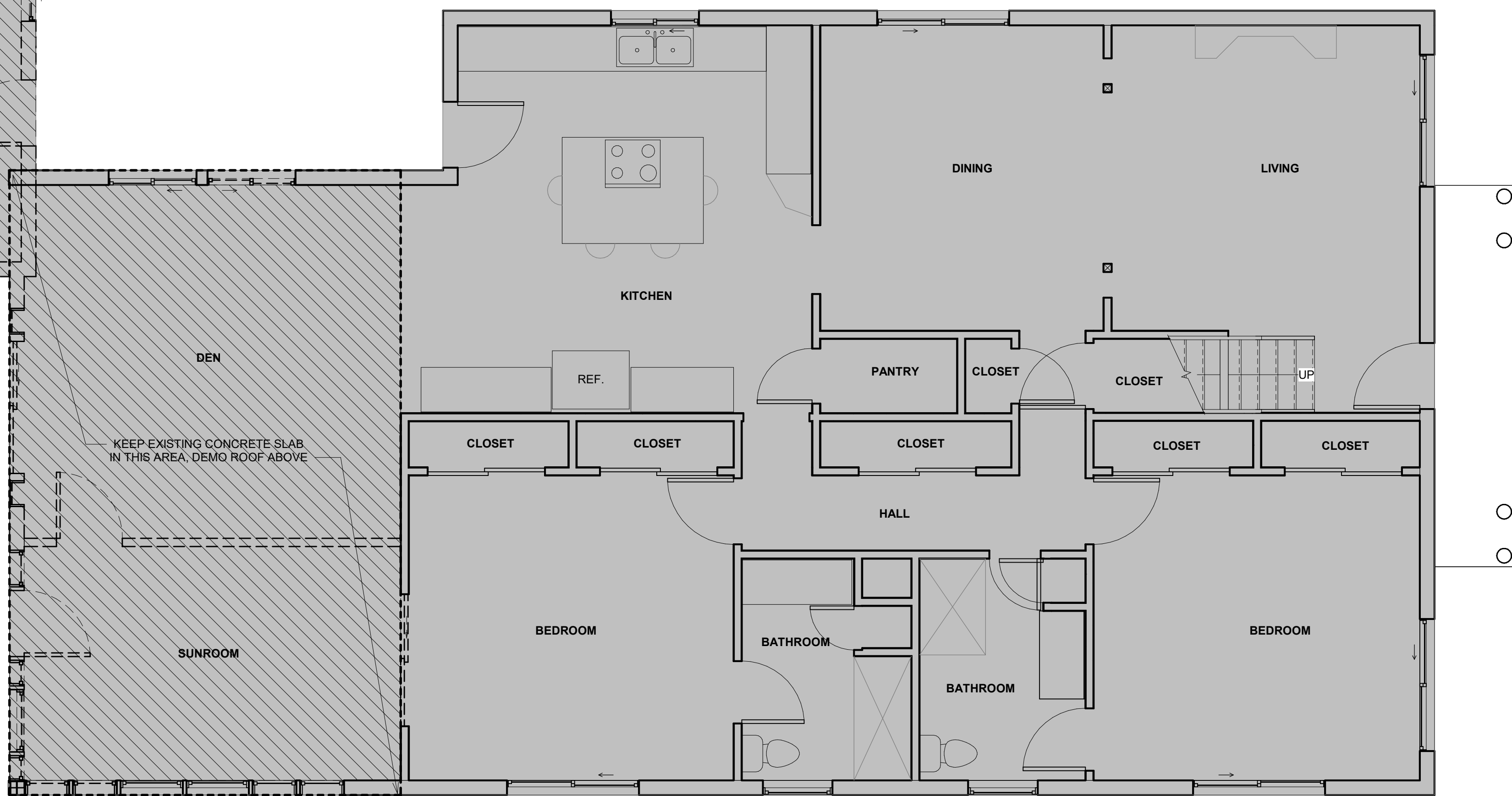
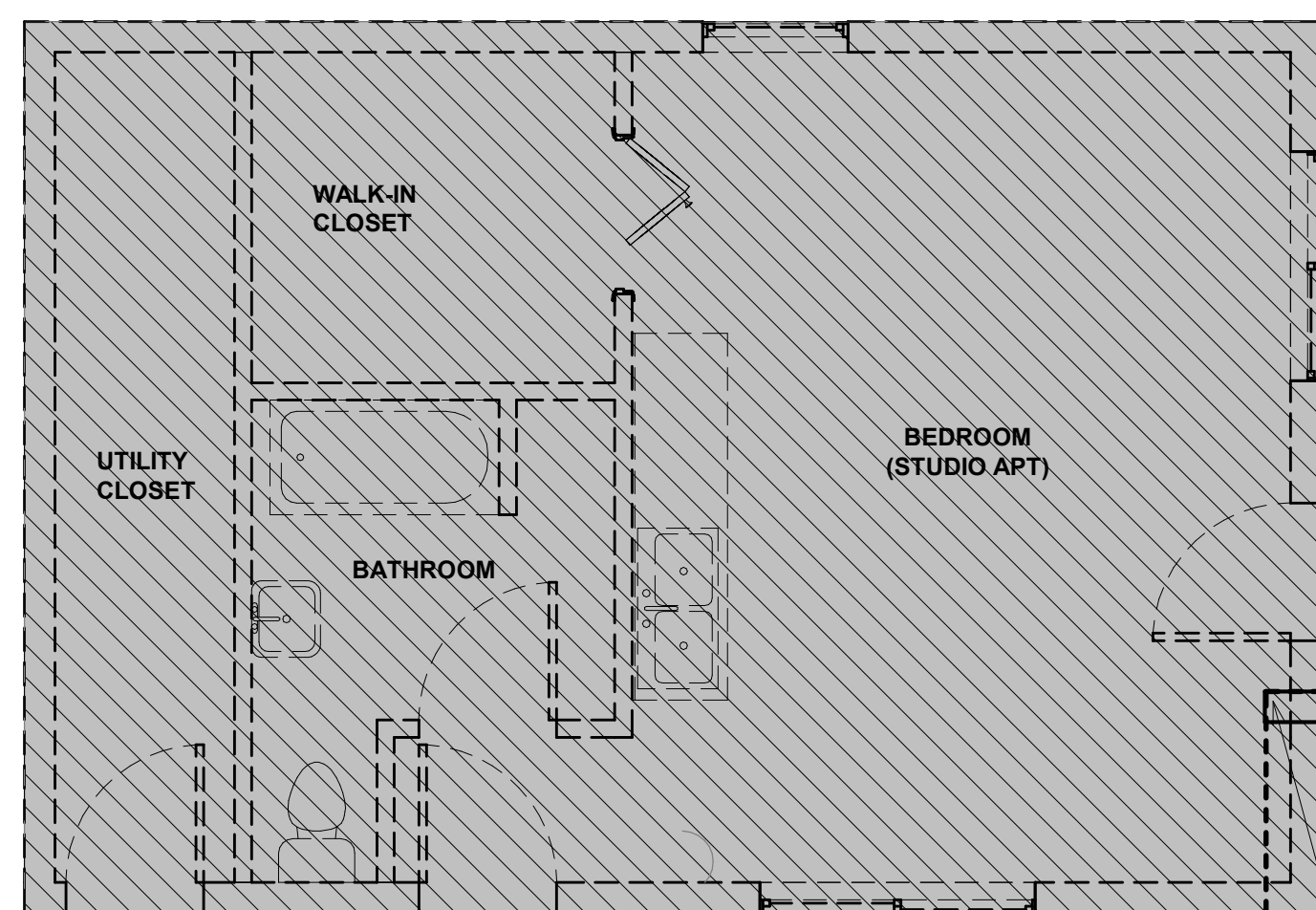
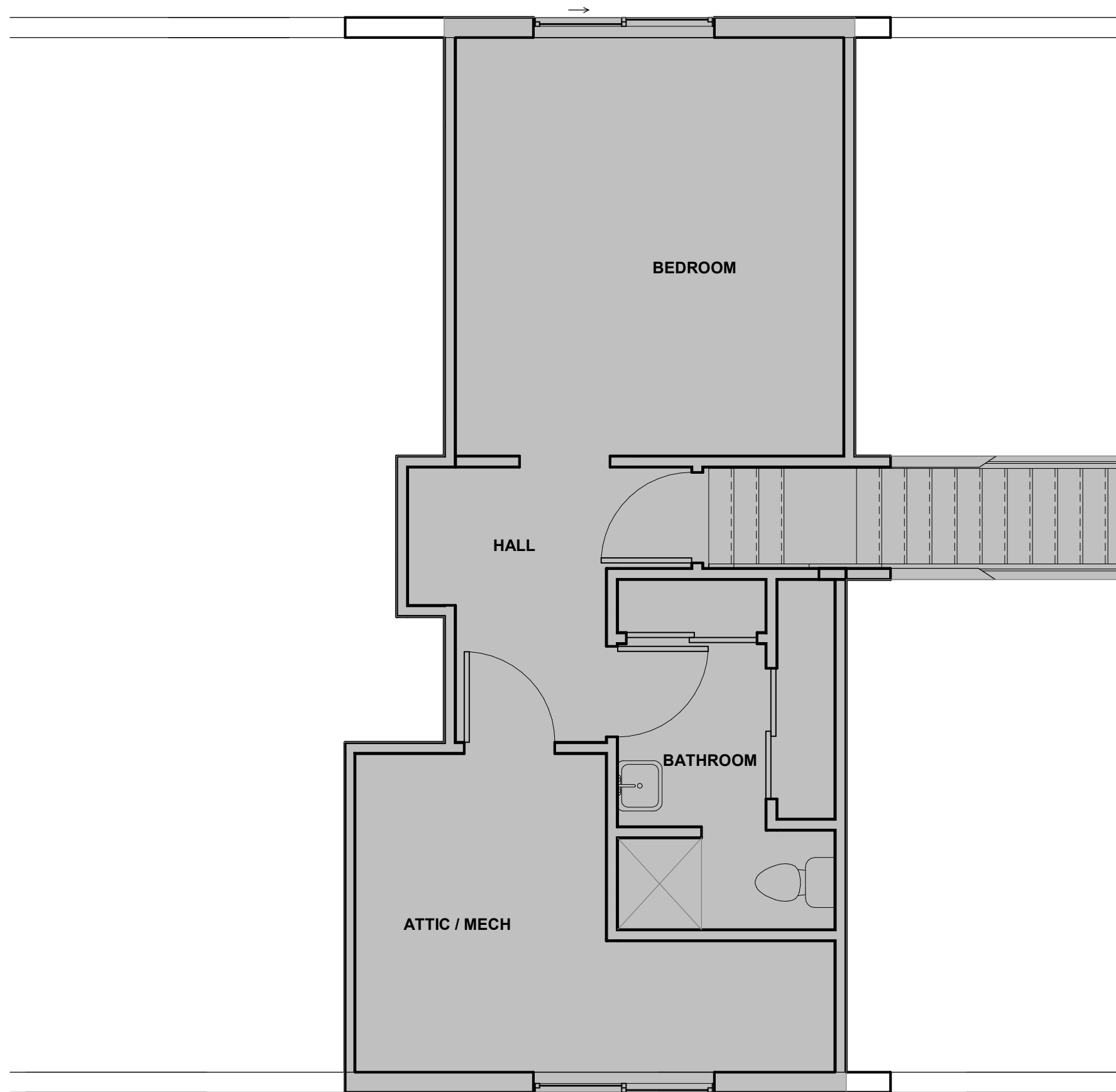
Scale 1" = 10'-0"



Graham Hill Architect LLC

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# RENOVATION + ADDITION 1414-16 AUDUBON ST. NEW ORLEANS, LA 70118



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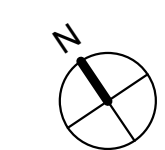


CAMPUS RENTALS LLC  
1414-16 AUDUBON ST.  
EXISTING / DEMO PLANS

Project number	2313
Date	04.12.2024
Drawn by	GH
Checked by	GH

A010

Scale 1/4" = 1'-0"



# RENOVATION + ADDITION

## 1414-16 AUDUBON ST. NEW ORLEANS, LA 70118

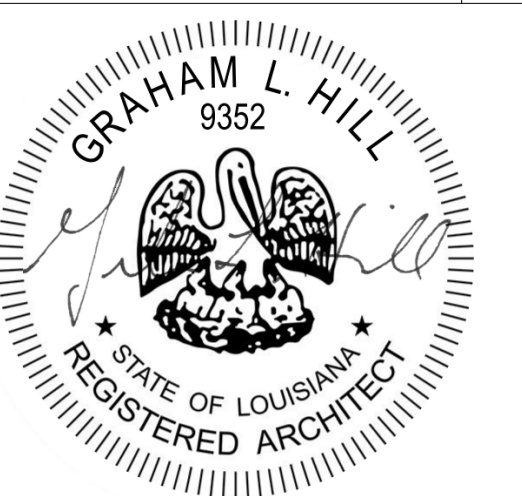
### FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- (101) DOOR TAG, SEE A400
- (11) WINDOW TAG, SEE A400
- (1) WALL TAG, SEE A400
- CEILING MOUNTED ELECTRICAL EXHAUST FAN, DUCTED TO EXTERIOR
- SMOKE/CARBON MONOXIDE SENSOR HARDWARE TO HOUSE ELECTRICAL. DETECTORS SHALL BE INTERCONNECTED SUCH THAT ACTUATION OF ONE ALARM SHALL ACTUATE ALL ALARMS
- FIRE EXTINGUISHER

### FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
2. NEW WOOD FRAME PARTITIONS SHALL HAVE REINFORCEMENT FOR ATTACHMENT OF WALL MOUNTED ITEMS AS REQUIRED, AND SHALL BE BRACED TO STRUCTURE ABOVE.
3. PROVIDE MOISTURE RESISTANT "GREEN BOARD" GYPSUM SHEATHING AT WET LOCATIONS.
4. CONTRACTOR SHALL PROVIDE DOORS, FRAMES, STOPS, MUTES, BUTTS, CLOSERS AND HARDWARE THROUGHOUT FOR A COMPLETE INSTALLATION.
5. OWNER SHALL PROVIDE ALL FINAL SELECTIONS OF FIXTURES, FINISHES, APPLIANCES AND EQUIPMENT. CONTRACTOR SHALL VERIFY DIMENSIONS, INSTALLATION CLEARANCES, AND OTHER REQUIREMENTS WITH MANUFACTURERS' RECOMMENDATIONS, AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
6. MOUNT LIGHT SWITCHES AT 48" ABOVE FINISH FLOOR (OR ADJACENT FINISH GRADE IF OUTDOOR LOCATION)
7. PROVIDE CONTINUOUS INSULATION IN EXTERIOR WALLS, ROOF AND CRAWLSPACE ACCORDING TO THE FOLLOWING: CEILING R-30; WALLS R-19; FLOORS R-13
8. ALL STAIR RAILINGS TO BE MIN 34" HIGH W/ MAX. 4" SPACING BETWEEN BALUSTERS.
9. PROVIDE HANDRAILS PER IRC R311.5.6; PROVIDE GUARDRAILS PER IRC R312
10. AREAS BELOW DESIGN FLOOD ELEVATION SHALL MEET REQUIREMENTS OF IRC R322.2.2 OF USE AND FLOOD OPENINGS (GARAGE).
11. BUILDING MATERIALS USED BELOW DESIGN FLOOD ELEVATION SHALL MEET REQUIREMENTS OF IRC R322.1.8
12. PROVIDE WIND BORNE DEBRIS PROTECTION FOR OPENINGS IN ACCORDANCE WITH IRC R301.2.1.2
13. PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH R318.
14. MINIMUM STAIR TREAD DEPTH SHALL BE 10", MAXIMUM RISER HEIGHT SHALL BE 7 3/4" IN ACCORDANCE WITH IRC SECTION R311.7.5.
15. PORCHES, DECKS MORE THAN 30" ABOVE GRADE SHALL HAVE GUARDS IN ACCORDANCE WITH R312.1 OF THE IRC.
16. EXTERIOR STAIRS OF FOUR OR MORE RISERS SHALL HAVE A HANDRAIL IN ACCORDANCE WITH R311.7.6 OF THE IRC.
17. CONTRACTOR SHALL PROVIDE ACCESS TO ALL UNDER-FLOOR SPACES. ACCESS OPENINGS SHALL BE A MINIMUM OF 18" X 24"
18. CONTRACTOR SHALL INSTALL OPENINGS IN FOUNDATION WALLS TO PROVIDE VENTILATION TO CRAWLSPACE IN ACCORDANCE WITH IRC R408.1
19. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERIMETER HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT OF 80" CLEAR.

No.	Description	Date
	PERMIT SET	04.12.2024
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### CAMPUS RENTALS LLC

1414-16 AUDUBON ST.  
FLOOR PLANS

Project number	2313
Date	04.12.2024
Drawn by	GH
Checked by	GH

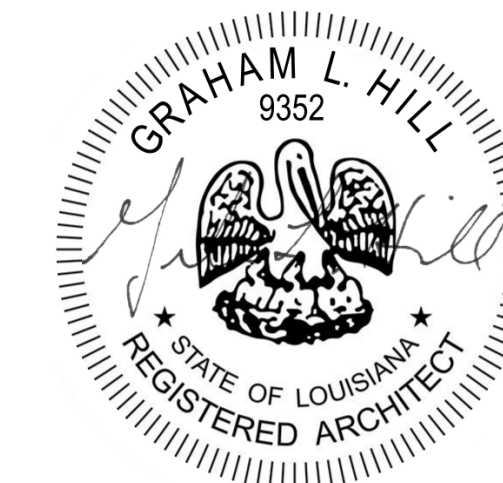
**A200**

Scale	1/4" = 1'-0"
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RENOVATION + ADDITION  
1414-16 AUDUBON ST.  
NEW ORLEANS, LA 70118

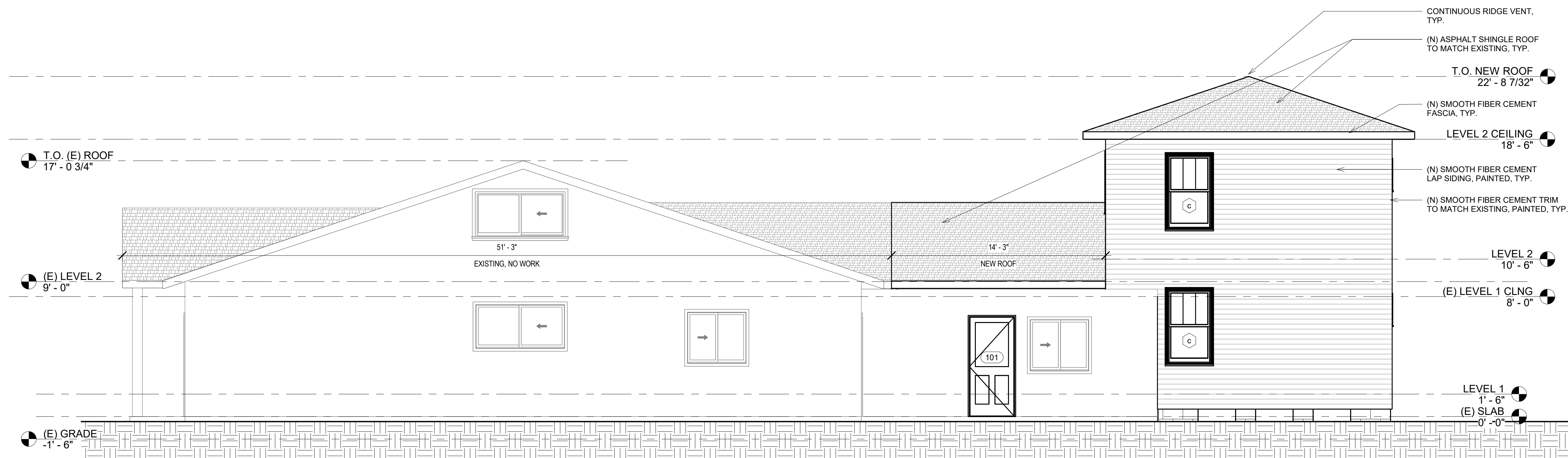
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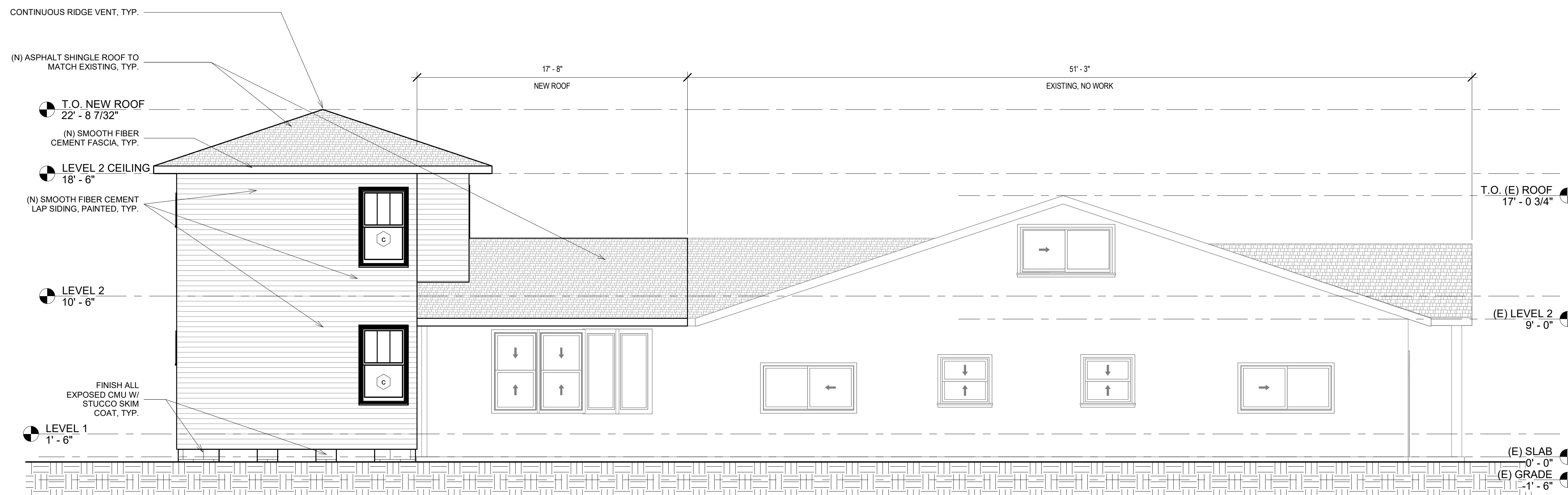
CAMPUS RENTALS LLC  
1414-16 AUDUBON ST.  
ELEVATIONS

Project number	2313
Date	04.12.2024
Drawn by	GH
Checked by	GH

A300



2 JEANNETTE (SIDE)  
1/4" = 1'-0"



1 WILLOW (SIDE)  
1/4" = 1'-0"

**RENOVATION + ADDITION**  
**1414-16 AUDUBON ST.**  
**NEW ORLEANS, LA 70118**

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**CAMPUS RENTALS LLC**  
**1414-16 AUDUBON ST.**  
**ELEVATIONS & SECTION**

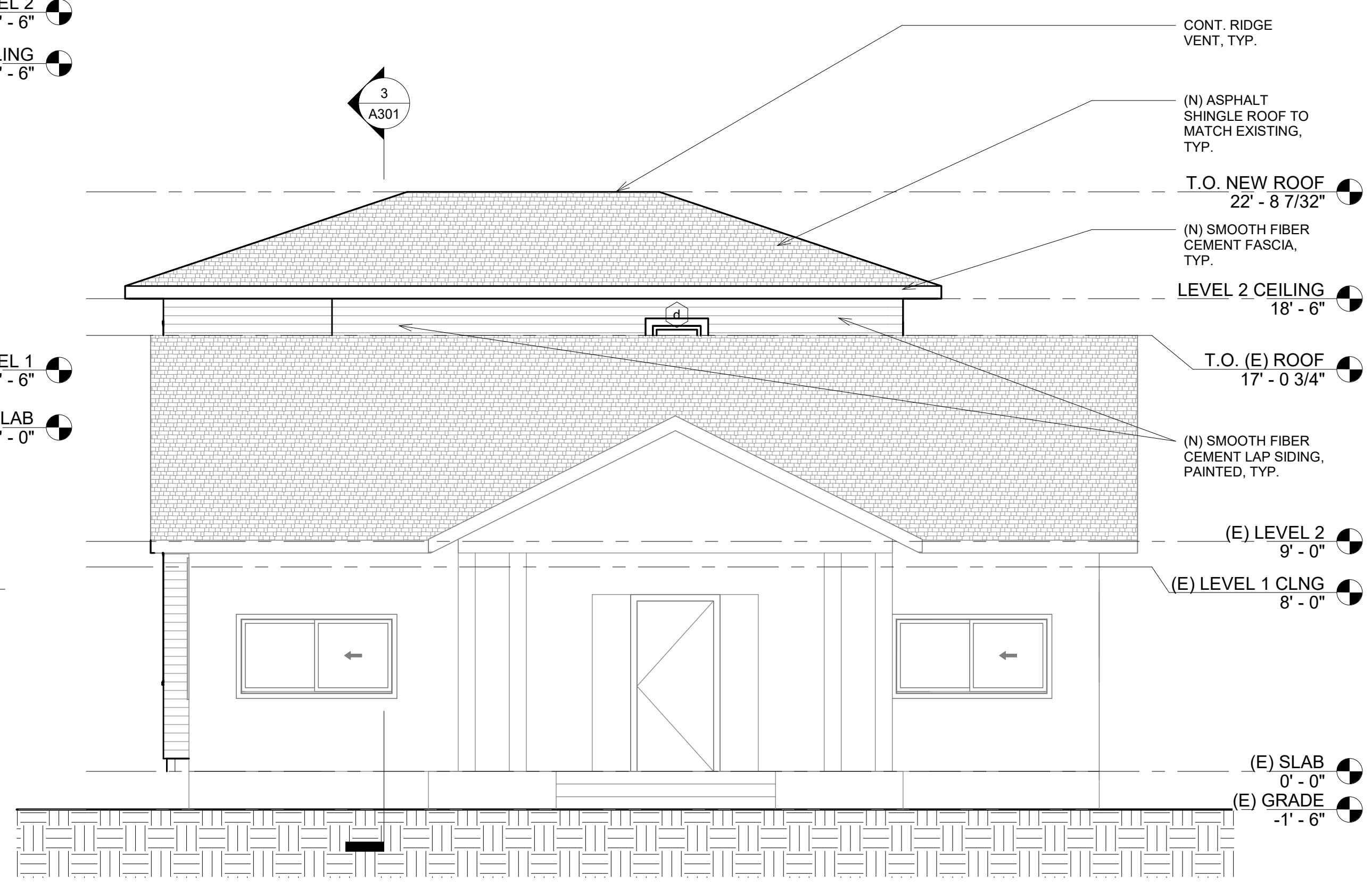
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Date	04.12.2024
Drawn by	GH
Checked by	GH

**A301**

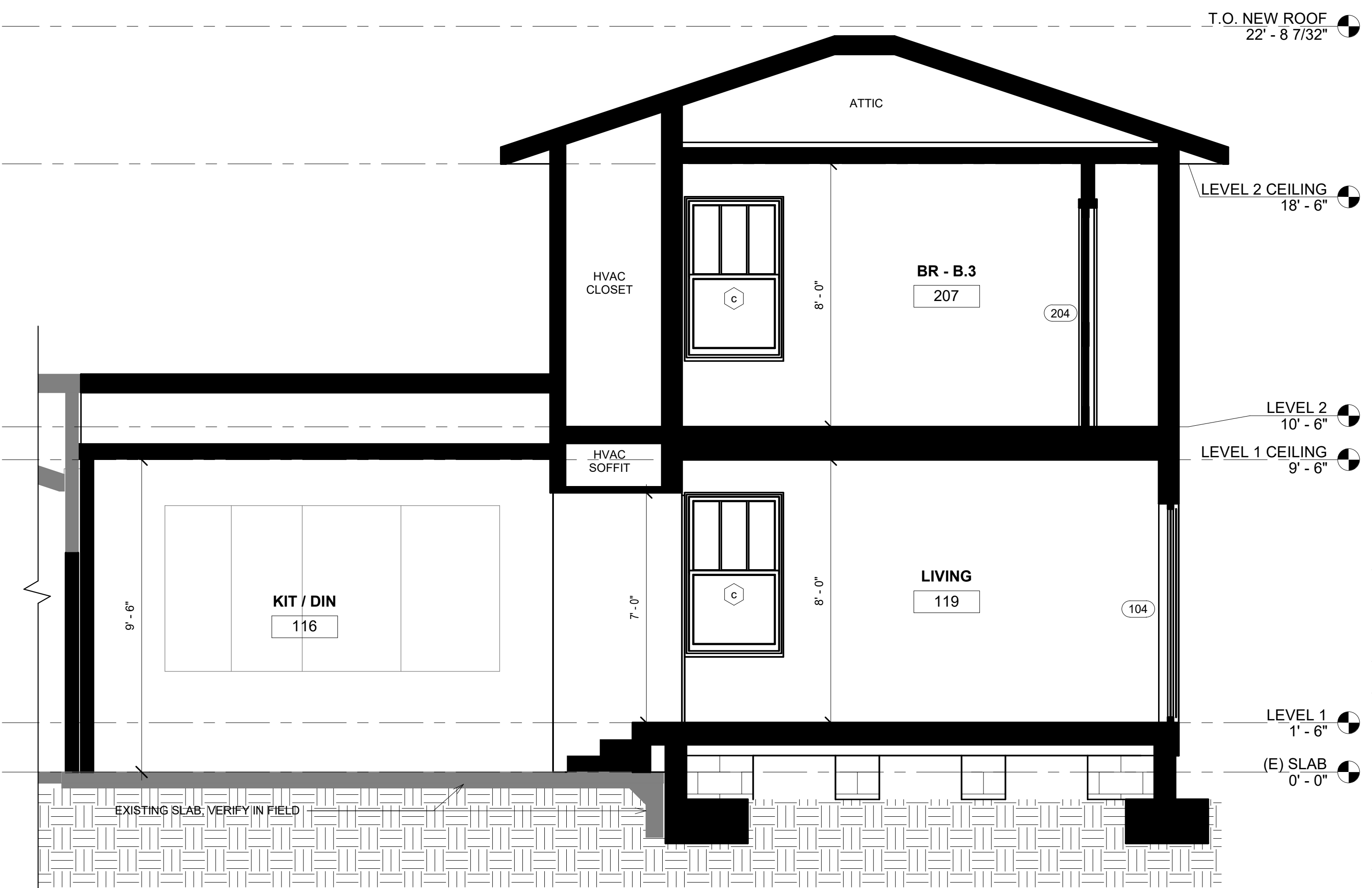
Scale As indicated



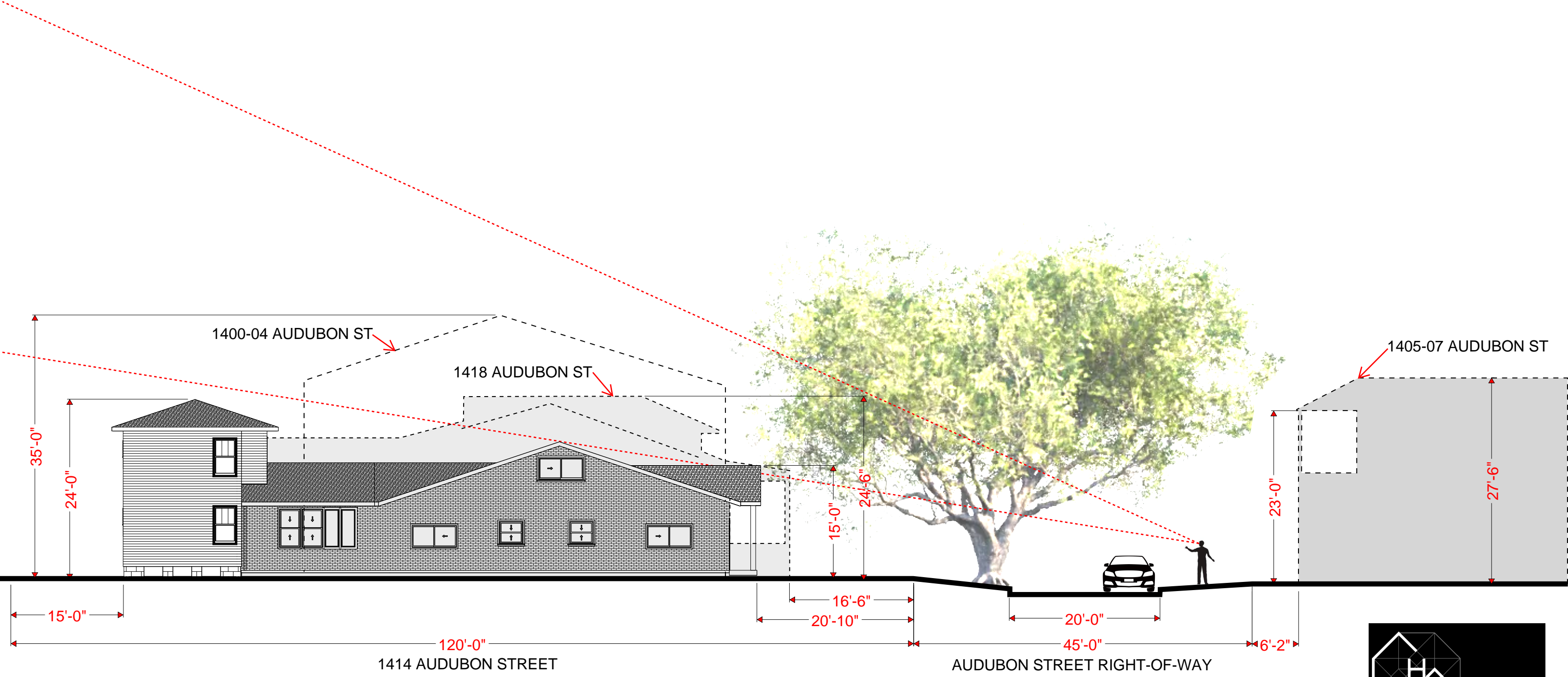
② BROADWAY (REAR)  
1/4" = 1'-0"



① AUDUBON (FRONT)  
1/4" = 1'-0"



③ Section 1  
3/8" = 1'-0"



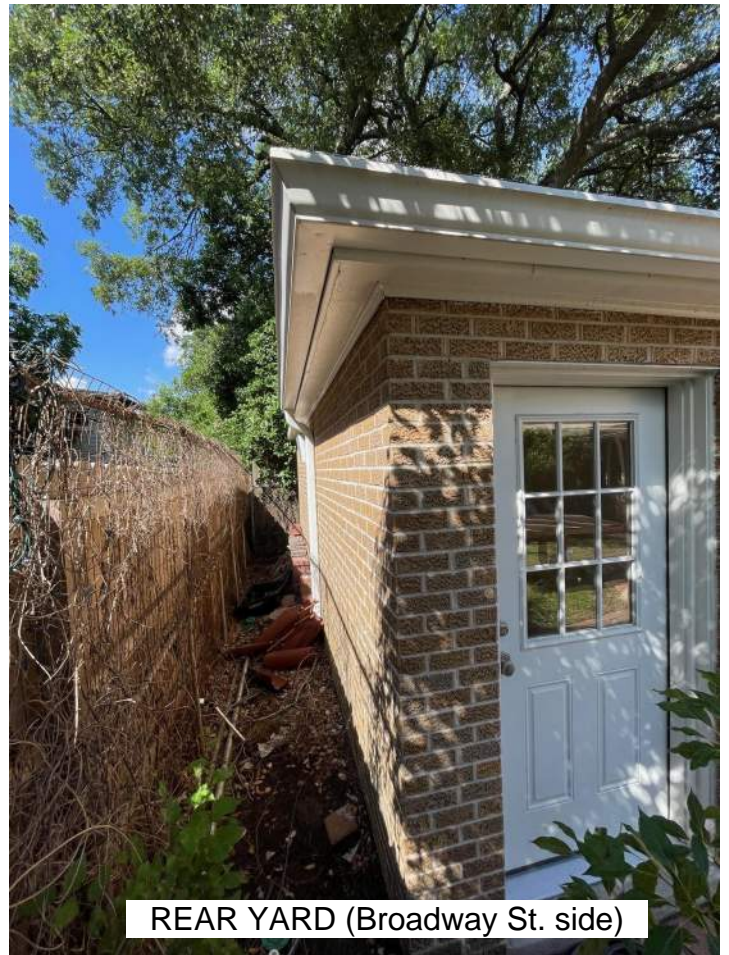
CONTEXT DRAWING - SECTION THROUGH 1400 BLOCK OF AUDUBON STREET



1414 Audubon Street - photos



SIDE YARD (Willow St. side)



REAR YARD (Broadway St. side)



SIDE YARD (Jeannette St. side)



FRONT (Audubon St.)

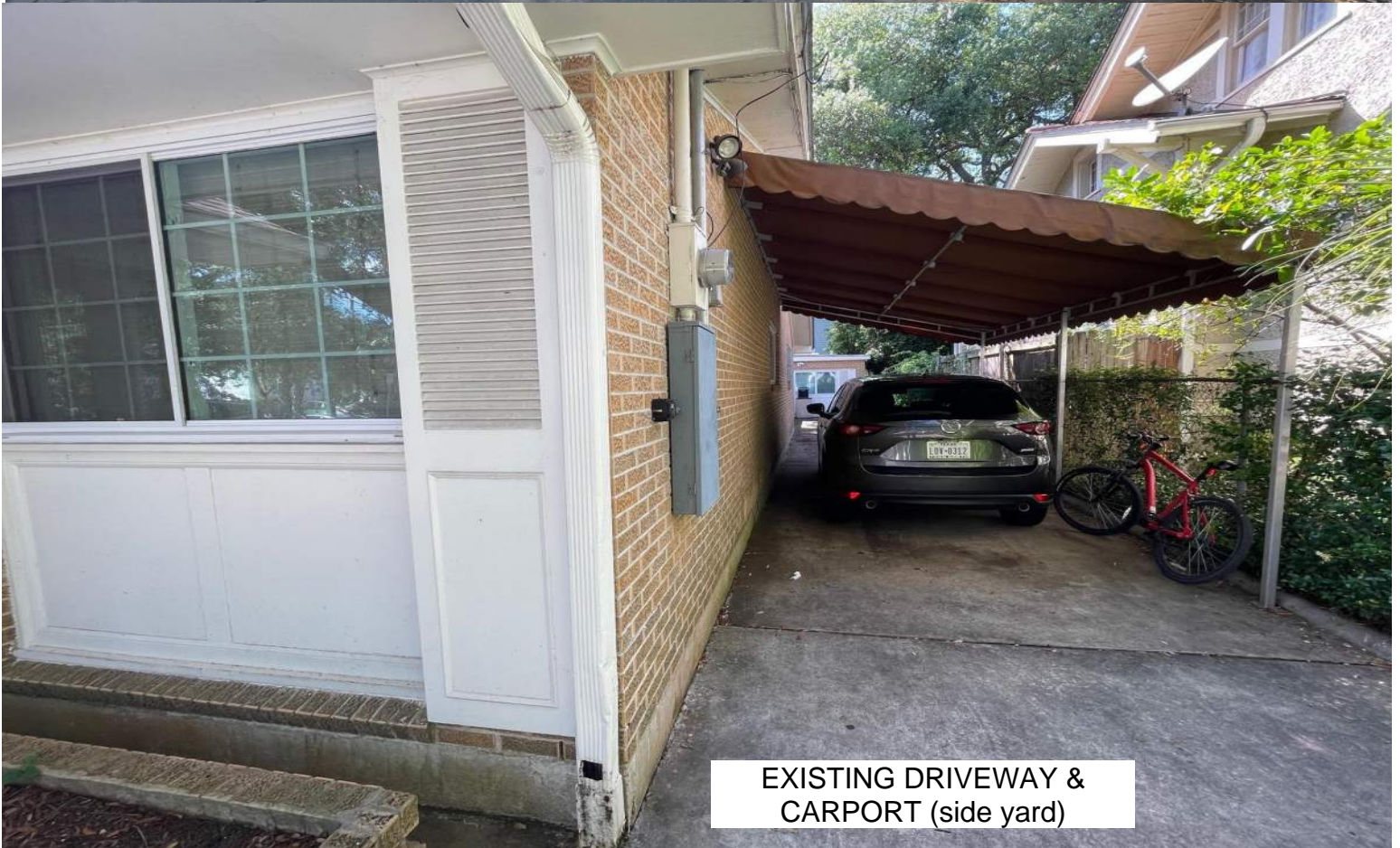


EXISTING CURB CUT #1  
(Audubon St.)





EXISTING CURB CUT #2  
(Audubon St.)



EXISTING DRIVEWAY &  
CARPORT (side yard)



BACK YARD



PROJECT: 1414 AUDUBON ST.  
 PROJECT #: 2313  
 DATE: 04.10.2024

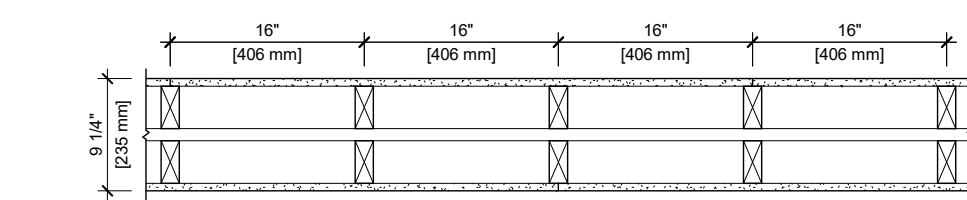
2021 IECC COMPLIANCE SUMMARY

CLIMATE ZONE 2A - ORLEANS PARISH, LOUISIANA



COMPLIANCE METHOD	CHECK
PRESCRIPTIVE	X
RESCHECK ( <a href="http://www.energycodes.gov/rescheck">http://www.energycodes.gov/rescheck</a> )	
COMCHECK ( <a href="http://www.energycodes.gov/COMcheck">http://www.energycodes.gov/COMcheck</a> )	
BUILDING AREA	VALUE
TOTAL AREA (SQ FT) OF CONDITIONED SPACE	3,380
INSULATION VALUES (R402)	ENTER R VALUE
CEILING / ROOF	30
WALLS	13
BASEMENT	N/A
FLOOR	13
SLAB	N/A
CRAWLSPACE	0
HEATING EQUIPMENT	EFFICIENCY (BTU / RATING)
ELECTRIC	34K / 10KW
GAS	N/A
COOLING EQUIPMENT	EFFICIENCY (BTU / SEER)
ELECTRIC	30K / 15 SEER
FENESTRATION U-VALUE	U-VALUE
WINDOWS / DOORS	0.4
FENESTRATION SHGC	SHGC
WINDOWS / DOORS	0.25
SKYLIGHT U-VALUE	U-VALUE
SKYLIGHTS	N/A

DESIGN NO. GA WP 3370  
 FIRE RATING: 1 HOUR  
 STC RATING: 43  
 SOUND TEST: USG-11009  
 SYSTEM THICKNESS: 9 1/4" (234 MM)  
 LOCATION: INTERIOR  
 FRAMING TYPE: WOOD STUD (LOAD-BEARING)



ASSEMBLY REQUIREMENTS:

GYPSUM PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® GYPSUM PANEL (UL TYPE X20)  
 WOOD STUDS: 2" X 4" (38 X 89 MM) WOOD STUDS, 16" (406 MM) O.C.  
 AIR SPACE: 1" (25 MM) AIR SPACE  
 WOOD STUDS: 2" X 4" (38 X 89 MM) WOOD STUDS, 16" (406 MM) O.C.  
 GYPSUM PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® GYPSUM PANEL (UL TYPE X20)

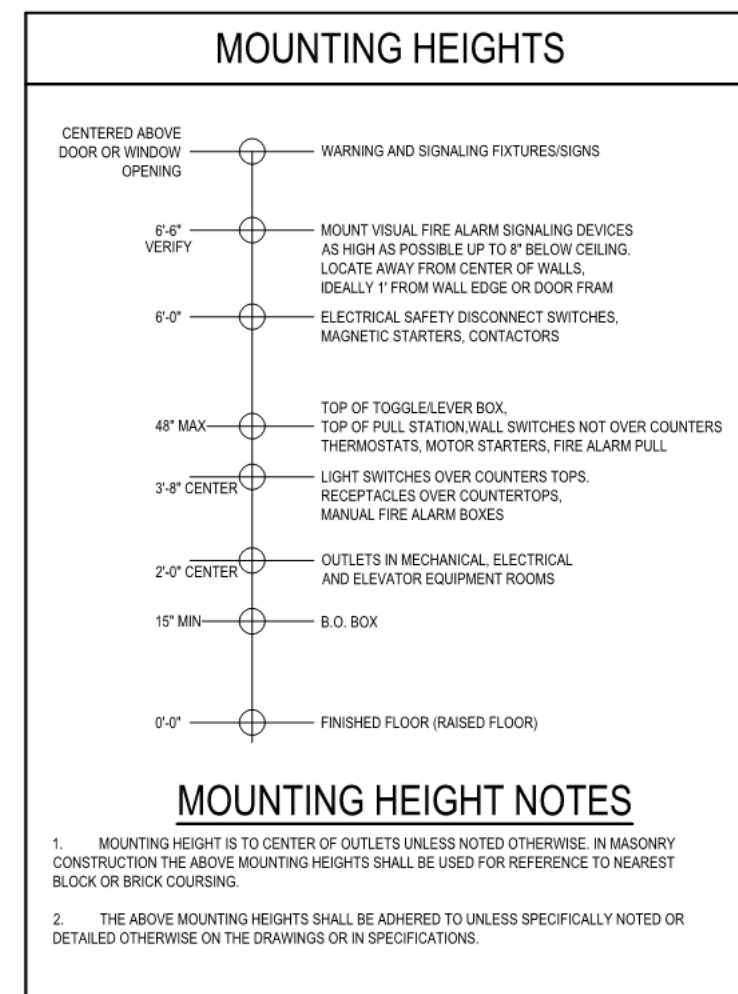
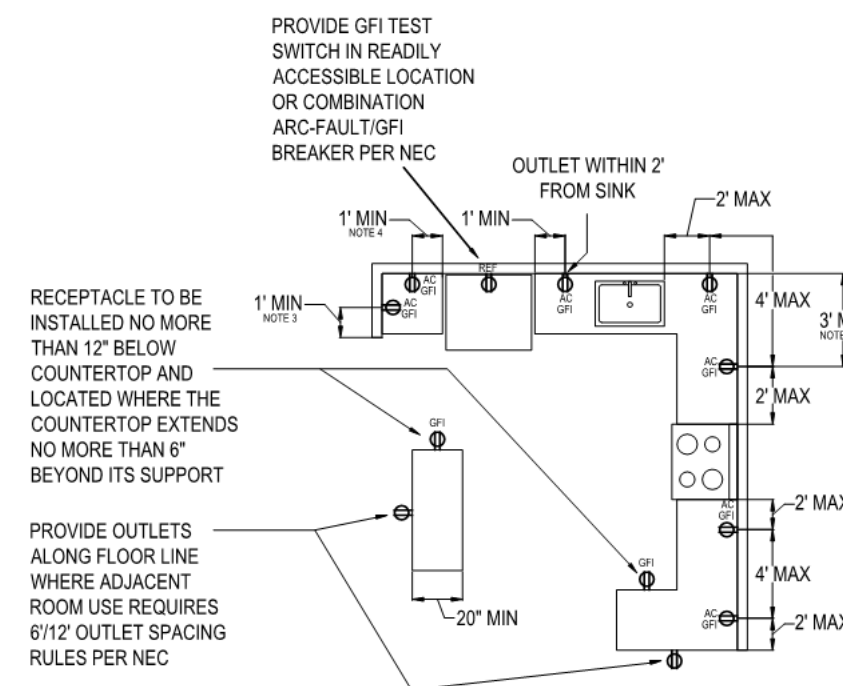
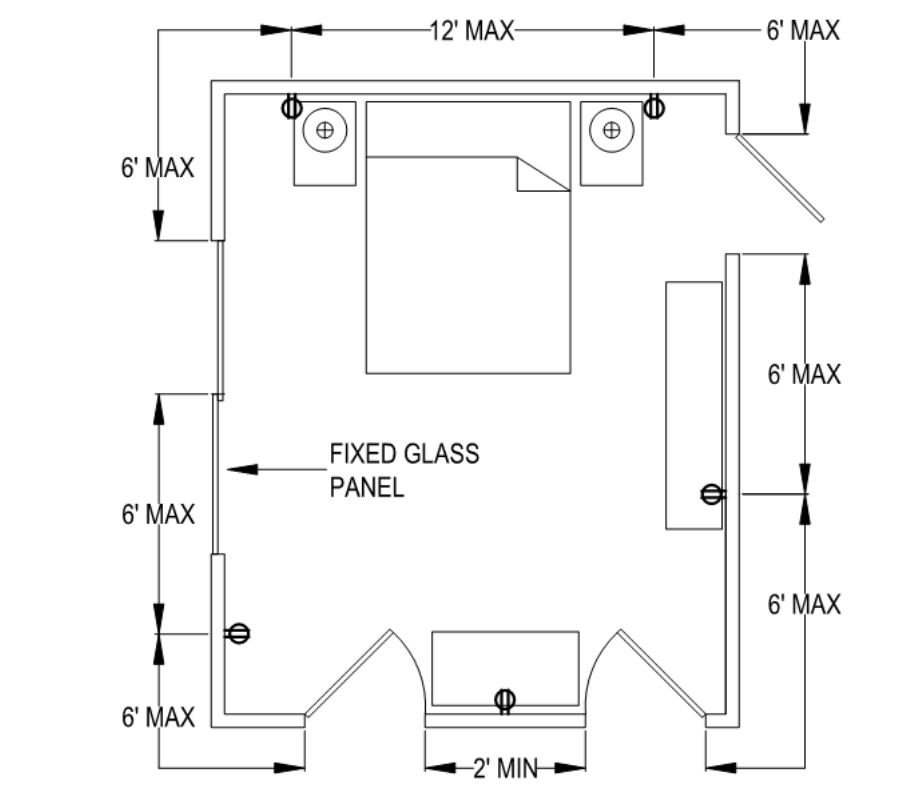
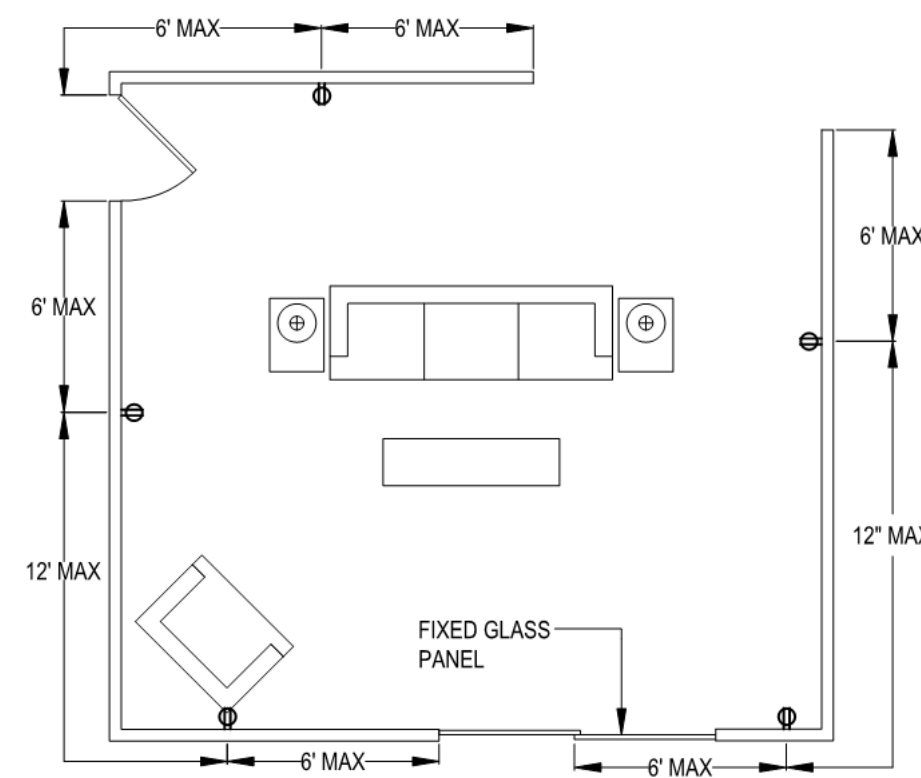
- GENERAL WALL NOTES:**
- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
  - FOR THE MOST UP TO DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
  - WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
  - STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
  - STUD AND FASTENER SPACINGS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
  - PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
  - FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
  - FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
  - WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
  - SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.

GA WP 3370

ISSUE RECORD

W-P-1-41

E



1 TYP. ELEC. DETAILS  
 1/8" = 1'-0"

- A** NEW EXTERIOR WALL 2X4 STUDS  
 EXT: SMOOTH FIBER CEMENT BOARD & BATTEN SIDING, PAINT  
 TYVEK HOME WRAP OR EQ  
 2X4 WOOD STUDS @ 16"OC  
 R19 BATT, KRAFT FACED, TYP  
 1/2" GYPSUM BOARD, PAINT  
 INT:
- B** NEW INTERIOR WALL 2X4 STUDS  
 INT: 1/2" GYPSUM BOARD, PAINT  
 2X4 WOOD STUDS @ 16"OC  
 ACOUSTICAL BATT INSULATION, TYP  
 1/2" GYPSUM BOARD, PAINT
- C** NEW EXTERIOR WALL (LOAD BEARING)  
 EXT: SMOOTH FIBER CEMENT BOARD & BATTEN SIDING, PAINT  
 TYVEK HOME WRAP OR EQ  
 1/2" PLYWOOD SHEATHING  
 2X6 WOOD STUDS @ 16"OC  
 R19 BATT, KRAFT FACED  
 1/2" PLYWD SHEAR LAYER, WHERE OCCURS  
 1/2" GYPSUM BOARD, PAINT  
 INT:
- D** NEW INTERIOR WALL 2X6 STUDS  
 INT: 1/2" GYPSUM BOARD, PAINT  
 2X6 WOOD STUDS @ 16"OC  
 ACOUSTICAL BATT, TYP  
 1/2" GYPSUM BOARD, PAINT

WALL TYPES  
 1" = 1'-0"

DOOR SCHEDULE				
#	Width	Height	Comments	Function
101	3' - 0"	6' - 8"	ALUMINUM CLAD ENTRY DOOR, HALF LITE, IMPACT RATED, PAINTED	Exterior
102	2' - 8"	6' - 8"	SOLID CORE INTERIOR WOOD DOOR, PAINTED	Interior
103	2' - 6"	6' - 8"	SOLID CORE INTERIOR WOOD DOOR, PAINTED	Interior
104	6' - 0"	6' - 8"	ALUMINUM CLAD SLIDING PATIO DOOR, IMPACT RATED, PAINTED	Exterior
105	4' - 0"	6' - 8"	SOLID CORE CLOSET DOOR, PAINTED	Interior
106	4' - 0"	6' - 8"	SOLID CORE CLOSET DOOR, PAINTED	Interior
201	2' - 8"	6' - 8"	SOLID CORE INTERIOR WOOD DOOR, PAINTED	Interior
202	2' - 8"	6' - 8"	SOLID CORE INTERIOR WOOD DOOR, PAINTED	Interior
203	2' - 6"	6' - 8"	SOLID CORE INTERIOR WOOD DOOR, PAINTED	Interior
204	4' - 0"	6' - 8"	SOLID CORE CLOSET DOOR, PAINTED	Interior
205	4' - 0"	6' - 8"	SOLID CORE CLOSET DOOR, PAINTED	Interior

WINDOW SCHEDULE				
#	Width	Height	Sill Height	Comments
a	4' - 0"	3' - 6"	3' - 0"	HORIZONTAL SLIDER
b	3' - 0"	2' - 0"	4' - 6"	AWNING CASEMENT
c	3' - 0"	5' - 0"	2' - 0"	SINGLE HUNG, EGRESS, MIN 5.7 SF CLEAR OPENING
d	2' - 0"	4' - 0"	3' - 0"	FIXED

GENERAL NOTES

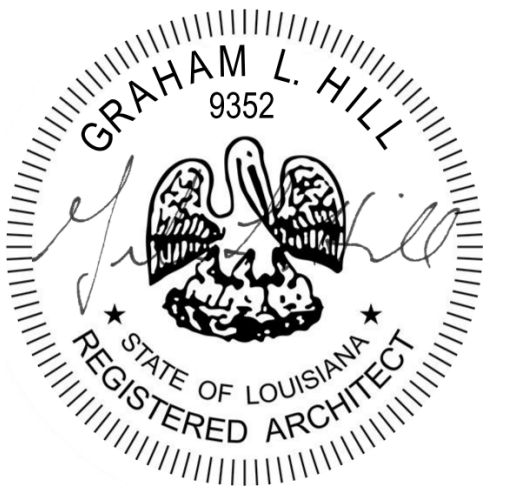
- COLORS TO BE SELECTED BY ARCHITECT OR OWNER FROM MANUFACTURERS FULL RANGE.
- INTERIOR PAINTING:
  - WALLS: 2 COATS LATEX OVER PRIMER, EGGSHELL
  - DOORS, BASEBOARDS, TRIM, CASING: 2 COATS SEMI-GLOSS ENAMEL OVER PRIMER
  - CEILINGS: 2 COATS LATEX OVER PRIMER, FLAT
- EXTERIOR PAINTING:
  - WOOD DECKBOARDS AND RAILS: STAINED, WATERSEALED
  - FIBER CEMENT: 2 COATS EXTERIOR SATIN ACRYLIC LATEX OVER PRIMER
  - WOOD SIDING AND TRIM: 2 COATS SATIN ACRYLIC ENAMEL OVER PRIMER
- FINISH SAMPLES SHALL BE PROVIDED BY CONTRACTOR FOR APPROVAL PRIOR TO PURCHASE.
- CERAMIC TILE FLOORS AND TUB / SHOWER SURROUNDS SHALL BE SELECTED BY OWNER.
- WALL BASE, SHOE MOLDING, INTERIOR DOOR AND WINDOW TRIM AND CROWN MOLDING SHALL BE SELECTED BY OWNER FROM STOCK PROFILES.
- INTERIOR AND EXTERIOR DOOR AND WINDOW HARDWARE FINISH AND STYLE SHALL BE SELECTED BY OWNER, PROVIDED AND INSTALLED BY CONTRACTOR.
- OWNER'S OPTION RE: WINDOW PROTECTION - IN LIEU OF IMPACT RESISTANT DOORS AND WINDOWS ON THE 1ST AND 2ND FLOORS PROVIDE WOOD STRUCTURAL PANELS WITH A MIN. THICKNESS OF 7/16" AND MAX. SPAN OF 8' PRECUT TO COVER ALL GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED PER IRC2015 TABLE 1609.1.2. PANELS SHALL BE STORED ON SITE.
- SAFETY GLAZING REQUIRED IN THE FOLLOWING LOCATIONS:
  - ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS
  - GLAZING WITHIN 2FT OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE
  - AN INDIVIDUAL PANE IS GREATER THAN 9SF AND THE BOTTOM EDGE IS LESS THAN 18 INCHES FROM THE WALKING SURFACE AND THE TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FLOOR
- WINDOWS WITH A SILL HEIGHT OF 24" OR LESS THAT IS GREATER THAN 72" ABOVE EXTERIOR GRADE OR SURFACE BELOW SHALL BE EQUIPPED WITH A WINDOW OPENING CONTROL DEVICE WHICH COMPLIES WITH ASTM F 2090
- WINDOW SIZES ARE NOMINAL. ENSURE ACTUAL WINDOW MEETS EGRESS REQUIREMENTS PER IRC2015 SECTION R310. WINDOWS SHALL HAVE A NET CLEAR OPENING OF 5.7 S.F.; SILL HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE THRESHOLDS/FLOORING TRANSITIONS BETWEEN ALL ROOMS AT DOORWAYS. ALL THRESHOLDS AND TRANSITIONS TO BE ADA COMPLIANT WITH MAXIMUM 1/2" VERTICAL OFFSET.



www.behance.net/grahamhilledesign

INTERIOR RENOVATION  
 1414 AUDUBON ST.  
 NEW ORLEANS, LA 70118

No.	Description	Date
	PERMIT SET	04.12.2024
	DESIGN REVIEW SET	05.01.2024



CAMPUS RENTALS LLC  
 1414-16 AUDUBON ST.  
 SCHEDULES & DETAILS

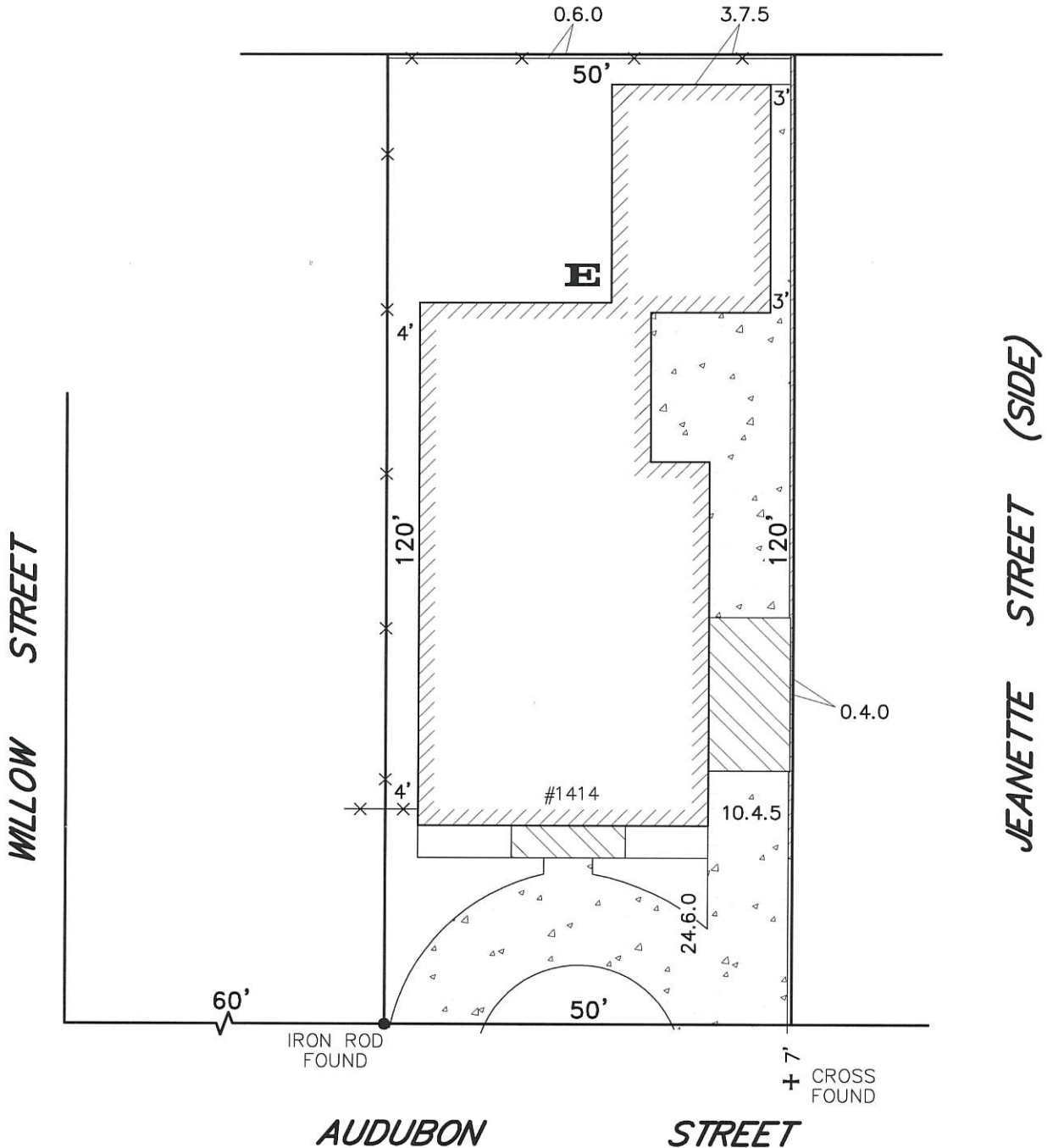
Project number	2313
Date	04.12.2024
Drawn by	GH
Checked by	GH

A400

Scale As indicated



**BOUNDARY SURVEY OF  
LOT E  
SQUARE 19  
FRIBURG  
SIXTH DISTRICT  
ORLEANS PARISH, LA  
BROADWAY STREET (SIDE)**



**NOTE:**  
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.



**GENERAL NOTES**

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1  
REFERENCE PLAN #1: A PLAN OF SURVEY BY GILBERT, KELLY & COUTURIE, INC., DATED MARCH 20, 1934

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

**ELEVATION NOTES**

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 9/30/16  
FLOOD ZONE: X  
BASE FLOOD ELEVATION: N/A  
COMMUNITY PANEL: 22071C 0228 F

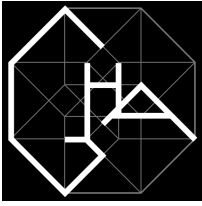
THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:LXI, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF ASPER CONSTRUCTION & DEV. GROUP

**R.W. KREBS**  
**PROFESSIONAL LAND SURVEYING, LLC**  
**RICHMOND W. KREBS, SR., PLS**  
3445 N. CAUSEWAY BLVD, SUITE 201  
METAIRIE, LA. 70002  
PHONE: (504) 889-9616  
FAX: (504) 889-0916  
E-MAIL: [infonola@rwkrebs.com](mailto:infonola@rwkrebs.com)  
WEB: [www.rwkrebs.com](http://www.rwkrebs.com)

BY:   
RICHMOND W. KREBS, PLS, LIC. #4836

DATE: MARCH 27, 2024	DRAWN BY: JSN
SCALE: 1" = 20'	CHECKED BY: NDK
JOB #: 240376	



May 7, 2024

Attn: Haley M. Delery  
New Orleans City Planning Commission  
Design Advisory Committee

Re: 1414 Audubon Street Design Narrative

Ms. Delery,

This document is provided per your request, in accordance with Supplement 'A' - Additional Submittal requirements for the University Area Design Overlay. Please see below for a narrative addressing compliance with Design Goals.

Article 4.4.5.E Approval Standards:

1. Degree of conformity with the regulations of this Ordinance.

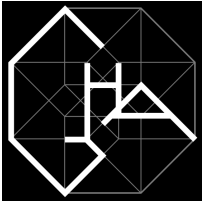
*The proposed renovation and addition is designed in conformance with CZO regulations - please refer to Zoning Description Form.*

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

*The proposed renovation and addition is designed in conformance with City Code and Master Plan goals.*

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

*The proposed renovation and addition is designed to minimize impacts upon adjacent property. Currently, the property contains a nonconforming addition that encroaches into the required rear yard setback. The proposed demolition of this nonconforming structure will create a more compatible rear yard condition with adjacent properties. No new site illumination is included in the proposed project scope. Therefore, the impact on adjacent properties will be mitigated.*



## GRAHAM HILL ARCHITECT LLC

LA #9352 CA #C32431 NCARB #93711

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#### 4. Landscape and the arrangement of open space or natural features on the site:

*The proposed design provides more open space and natural light than the existing nonconforming condition. Mature landscaping will be preserved, including the large live oak tree in front of the property.*

*The proposed renovation and addition will have no impact on natural resources and landscape of adjacent properties, and will likely improve the health of plantings due to removal of the existing nonconforming addition which currently encroaches into the rear yard, limiting access to daylight. No new landscaping is planned, and existing mature plants will be protected and preserved.*

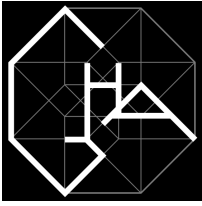
*The proposed renovation and addition will increase the amount of permeable space on the lot, and therefore positively impact stormwater management for the site, and thus for the surrounding neighborhood.*

#### 5. Circulation systems and off-street parking:

*The proposed renovation and addition will not impact the existing original structure, front facade, or public right-of-way, or in any way alter existing vehicular and pedestrian access to the site from Audubon Street. Permeable off-street parking will be added in the rear yard, in compliance with the University Area Design Overlay requirements. These new off-street parking spaces are configured with required setbacks from existing property lines, in a non-tandem format.*

#### 6. Building design that enhances the design quality and character of the surrounding community:

*Many of the buildings on the same block of Audubon Street contain camelback additions, of which most are taller than the proposed addition (24' tall). The proposed design adds on behind the original structure, which preserves the original main roofline and its appearance from the street.*



## GRAHAM HILL ARCHITECT LLC

LA #9352 CA #C32431 NCARB #93711

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### Article 11.1.B Purpose of the HU-RD1 Two-family Residential District:

The HU-RD1 Two-Family Residential District is intended to provide for the creation and maintenance of urban neighborhoods consisting of compact residential areas having a mix of housing types. The district accommodates two-family developments on smaller lots in older, more densely populated sections of the City. This district also allows higher residential densities when a project is providing significant public benefits such as long-term affordable housing. Limited non-residential uses such as places of worship, historic neighborhood commercial establishments, and recreational facilities that are compatible with surrounding residential neighborhoods may be allowed.

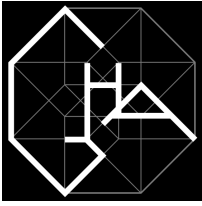
*The proposed renovation and addition is in compliance with the stated purpose of the HU-RD1 residential district. Although previously listed as a single-family residence, the property has been used as a two-family residence in the past, with the existing nonconforming addition being used as an independent studio apartment, with its own separate entrance, kitchen, bathroom and living spaces. The existing floor plan on Sheet A010 shows how the existing studio apartment has no direct spatial connection to the main residence, therefore establishing that space as a separate dwelling unit.*

### Article 18.32.B.3:

Design shall be compatible in character, scale, and spatial relationships with existing residential development on the same and opposite block faces and surrounding neighborhood character. In conducting its design review, the staff shall consider changes to scale, massing, articulation, and roof form to ensure compatibility with existing development. The staff of the City Planning Commission is authorized to adopt design guidelines consistent with this purpose.

*Looking at the existing structure, it is apparent that the nonconforming studio apartment was added after the original house was built, and thus not part of the original building mass or roof profile. The nonconforming addition has a flat roof, which is incongruous with the main house. Therefore, the demolition of the existing nonconforming addition, and new 2-story addition is designed to be compatible in mass, scale, and roof slope to the original house, as well as other camelback houses on the same blockface of Audubon Street. Ultimately, by locating the new addition as far behind the original house as possible, there is a spatial and visual separation between the two proposed dwelling units, as well as minimal visibility of the new addition from Audubon Street.*





**GRAHAM HILL ARCHITECT LLC**  
LA #9352 CA #C32431 NCARB #93711

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Please feel free to contact me if you have any questions or need additional information.

Sincerely,

GRAHAM L. HILL, RA

Prior to submittal of the design review application, the applicant shall verify compliance with other applicable Comprehensive Zoning Ordinance requirements (e.g., bulk, yard, and parking) with the Department of Safety and Permits.

<b>Base Zoning District:</b>	HU-RD1		
<b>Bulk Regulations</b>	<b>Requirement</b>	<b>Provided</b>	<b>Waiver Necessary?</b>
<i>Minimum Lot Area</i>	2,200sf/du	3,000sf/du	NO
<i>Minimum Lot Width</i>	2F: 40'	50'	NO
<i>Minimum Lot Depth</i>	90'	120'	NO
<i>*Maximum Building Height</i>	35'	24'	NO
<i>Minimum Permeable Open Space</i>	1,800sf	2,160sf	NO
<i>Minimum Open Space</i>	120sf / du	480sf	NO
<i>Maximum Impervious Surface in Front Yard</i>	n/a (existing, no change)	n/a (existing, no change)	NO
<i>Maximum Impervious Surface in Corner Side Yard</i>	n/a	n/a	NO
<b>Minimum Yard Requirements</b>	<b>Requirement</b>	<b>Provided</b>	<b>Waiver Necessary?</b>
<i>Front Yard</i>	n/a (existing, no change)	n/a (existing, no change)	NO
<i>Interior Side Yard</i>	3'	3'	NO
<i>Corner Side Yard</i>	n/a	n/a	NO
<i>Rear Yard</i>	15'	15'	NO
<b>***Parking</b>	<b>Requirement</b>	<b>Provided</b>	<b>Waiver Necessary?</b>
	2	2	NO

\* Pursuant to **Article 18, Section 18.32.B.4**, in the HU-RD1, HU-RD2, and HU-RS Districts, building height of any new structure, or addition or enlargement or an existing structure, is limited to no more than 30 feet, or to three (3) feet higher than the taller of the immediately adjacent structures, whichever is less.

\*\*Waivers of height requirements may be considered by the Board of Zoning Adjustments.

\*\*\*Confirm the off-street parking requirements of both **Article 22** and **Article 18, Section 18.30** University Area Off-Street Parking Overlay District are met.



Building/Construction  
Related Permit



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

**Covid-19 Submittal Protocol: Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.**

Type of application:    Design Review    Interim Zoning Districts Appeal    Moratorium Appeal  
 Property Location \_\_\_\_\_

### APPLICANT INFORMATION

Applicant Identity:                          Property Owner                          Agent  
 Applicant Name \_\_\_\_\_  
 Applicant Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Applicant Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROPERTY OWNER INFORMATION    SAME AS ABOVE

Property Owner Name \_\_\_\_\_  
 Property Owner Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Property Owner Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROJECT DESCRIPTION

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review	Non-Design Overlay District Review	
Character Preservation Corridor	Development over 40,000 sf	Changes to Approved Plans
Riverfront Design Overlay	Public Market	DAC Review of Public Projects
Enhancement Corridor	CBD FAR Bonus	Others as Required
Corridor Transformation	Wireless Antenna/Tower	
Greenway Corridor	Educational Facility	
Others as required		

### ADDITIONAL INFORMATION

Current Use \_\_\_\_\_ Proposed Use \_\_\_\_\_  
 Square Number \_\_\_\_\_ Lot Number \_\_\_\_\_ Permeable Open Space (sf) \_\_\_\_\_  
 New Development?    Yes    No                          Addition?                          Yes    No                          Tenant Width \_\_\_\_\_  
 Existing Structure(s)?    Yes    No                          Renovations?                          Yes    No                          Building Width \_\_\_\_\_  
 Change in Use?                          Yes    No                          Existing Signs?                          Yes    No                          Lot Width (sf) \_\_\_\_\_  
 New Sign(s)?                          Yes    No                          Lot Area (sf) \_\_\_\_\_                          BuildingArea (sf) \_\_\_\_\_



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

N/A

#### 2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### N/A 4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

#### N/A 5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### N/A 6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- Photographs of the subject site and/or building

#### 8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### N/A 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000