

DESIGN CRITERIA - INTERNATIONAL RESIDENTIAL BUILDING CODE(IRC) 2021 EDITION
 DESIGN WIND SPEED - 140MPH EXPOSURE CATEGORY "B"
 (FRAMING AND FASTENERS SHALL COMPLY WITH AMERICAN FOREST AND
 PAPER ASSOCIATION (AF &PA)
 FOR ONE-AND TWO FAMILY DWELLINGS(WFCM) WOOD FRAME CONSTRUCTION MANUAL FOR

SCOPE OF WORK:
 CONSTRUCT NEW MASTER
 BEDROOM, BATH AND
 LAUNDRY ROOM ON
 SECOND FLOOR

- A.1 PLOT PLAN
- A.2 DEMO FLOOR
- A.3 PROPOSED FLOOR PLANS
- A.4 ELEVATIONS

- A.5 FRAMING PLAN
- A.6 WALL SECTION
- A.7 ELECTRICAL PLAN

GENERAL FRAMING NOTES:

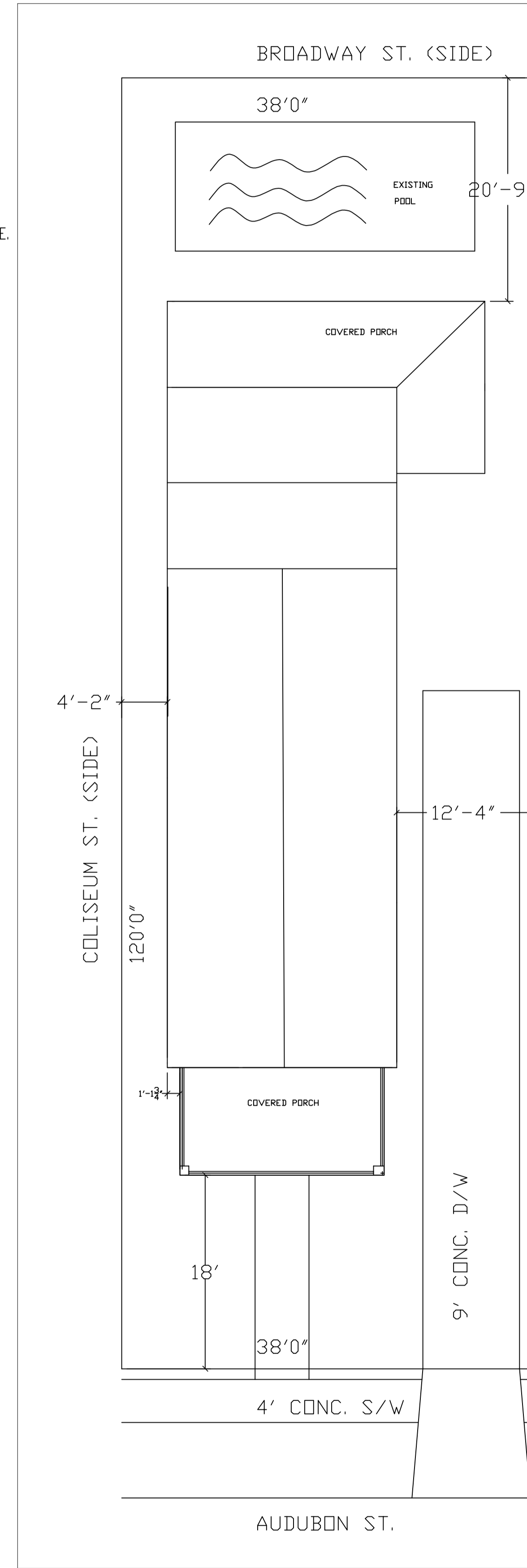
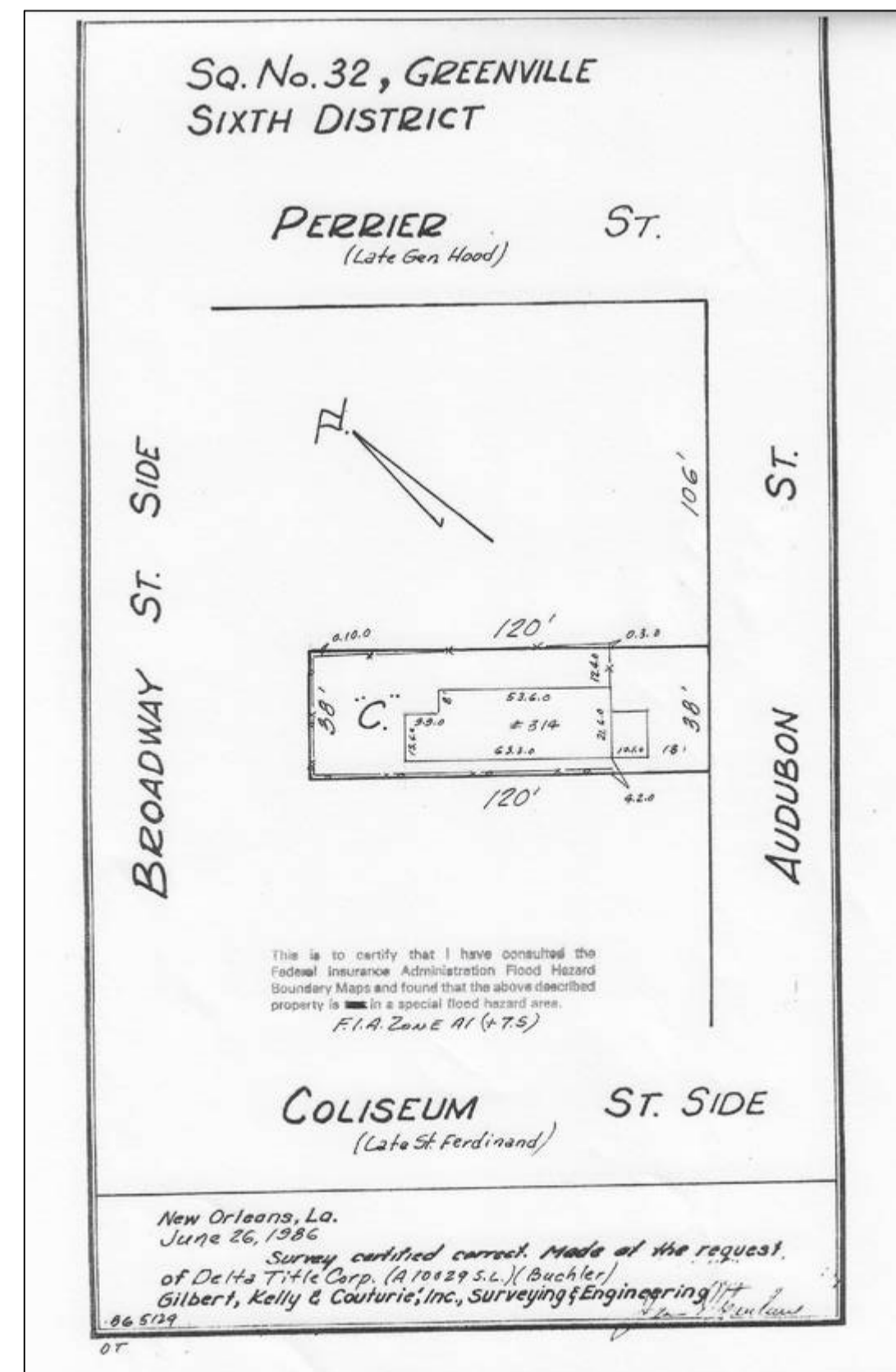
1) ALL WOOD FRAMING, FABRICATION, AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WFCM/SSTD-10 THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS BELOW. UNLESS NOTED OTHERWISE, ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE FOR 140MPH WIND SPEED.

- 2) ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
- 3) ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S, NO.2 MAXIMUM MOISTURE CONTENT 15%, STUD WALLS AND PARTITIONS SHALL BE SIZED AS FOLLOWS:
 - 2) EXTERIOR WALL - 2"x4" STUD AT 16" O.C.
 - FIRST FLOOR PARTITIONS - 2"x4" STUDS @ 16" O.C.
 - SECOND FLOOR PARTITIONS - 2"x4" STUDS @ 16" O.C.
 - WET WALLS - 2"x6" STUDS @ 16" O.C.
- 4) BLOCK ALL STUDS AT MID-HEIGHT, RAMSET BOTTOM PLATE OF STUD WALLS TO CONCRETE WITH 1/4" RAMSETS AT 16" O.C. PROVIDE 1/2" DIA. X10" STEEL ANCHOR BOLTS AT 30" O.C. WITH 3-1/2" SQ. WASHERS EMBEDDED A MINIMUM OF 8" IN CONCRETE WITH 1 1/2" HOOK. LOCATE ANCHOR BOLTS WITH IN 6" ALL INSIDE AND OUTSIDE CORNER WALLS.
- 5) FLOOR ATTIC, AND ROOF FRAMING SHALL BE OF SIZES AS INDICATED ON FRAMING PLANS. PROVIDE WOOD CROSS BRIDGING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPANS EXCEED EIGHT (8) FEET. LOCATED (3) 2"x12" BEAMS BELOW BEARING WALLS OF FLOOR ABOVE AND/OR AS INDICATED ON FRAMING PLANS. BEAMS SHALL BEAR ON ENTIRE WIDTH OF BEARING TOP PLATES. LOCATE THREE (3) STUDS AT BEAM BEARING POINTS BELOW DOUBLE TOP PLATE OR AS SHOWN ON PLANS (SEE FRAMING NOTE #14.) PROVIDE WOOD COLLAR BRACES AT 48" O.C. ROOF RAFTER 24" BELOW CROWN OF ROOF.
- 6) PLYWOOD SUB FLOORING - APA RATED 48/24, 3/4" THICK TONGUE AND GROOVE. GLUED AND NAILED TO FLOOR JOIST WITH 8d NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLY CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF JOIST. NAIL SHINGLES WITH 6 NAILS PER SHINGLE.
- 7) WIND BRACING - PROVIDE APA RATED 1/2" PLYWOOD ON ALL

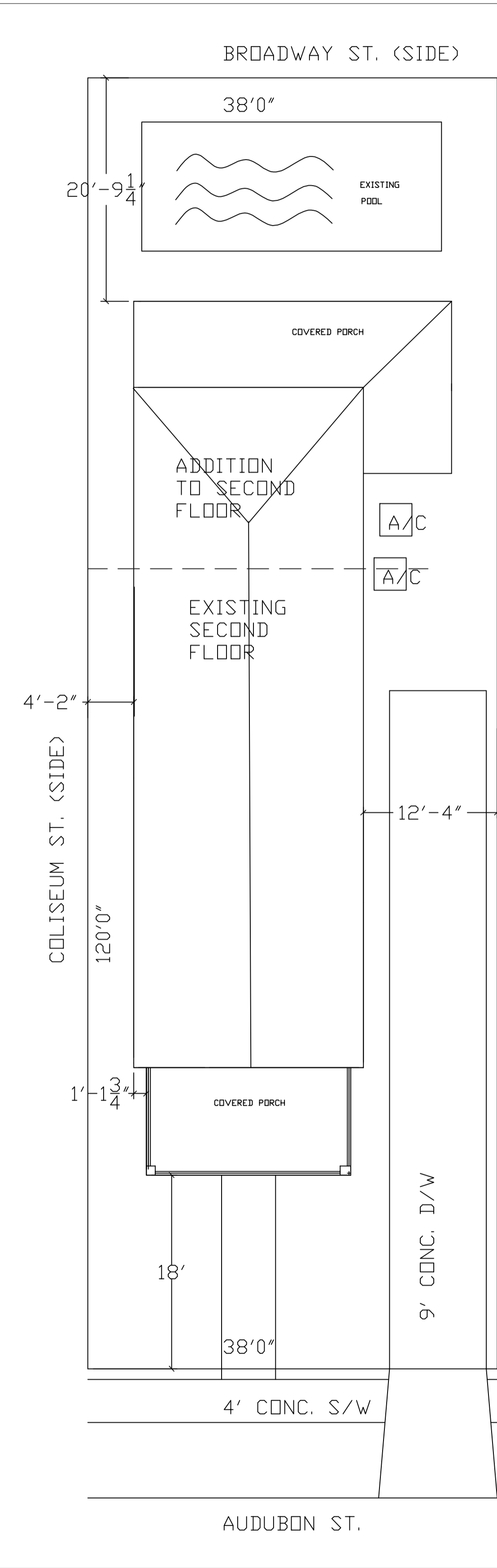
ENERGY COMPLIANCE
 AS PER IRC 2021

THESE RESIDENCES SHALL COMPLY TO CLIMATE ZONE 2-A
 L5UCC- SECTION 1104.4.1 (R102.1.1) NATIONAL GREEN BUILDING STANDARD AND ACHIEVING AND/OR PERFORMANCE AS DEMONSTRATED BY A THIRD PARTY CERTIFICATION ORGANIZATION SHALL BE DEEMED EFFICIENCY REQUIRED BY CODE.
 L5UCC-ADOPTED SECTION 1104.2 (R103.2) ENERGY STAR CERTIFICATION BUILDING RECEIVING ENERGY STAR CERTIFICATION SHALL BE DEEMED TO EXCEED THE ENERGY EFFICIENCY CODE.
 WINDOWS/ DOORS U-FACTOR 0.40 OR LESS /SHGC OF .025 OR LESS (AMENDED TABLE N1102.1)
 WALL INSULATION: R-13 MINIMUM (AMENDED TABLE N1102.1.3)
 CEILING INSULATION: R-38 (AMENDED TABLE N1102.1.3)
 ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (I.E. ATTICS AND CRAWL SPACES) BE WEATHER STRIPPED AND HAVE A MINIMUM R-10 VALUE (AMENDED TABLE N1102.1.4 (R402.2.4))
 MECHANICAL SYSTEMS PIPING CAPABLE OF CARRYING FLUIDS GREATER THAN 105°F OR LESS THAT 55°F SHALL HAVE INSULATION OF AN R-VALUE OF NOT LESS THAN R-3N1103.4 (R403.4))
 INSULATION FOR SERVICE HOT WATER PIPING WITH THERMAL RESISTANCE R-VALUE, OF NOT LESS THAN R-8 TO FOLLOW TO THE FOLLOWING: SEE 1103.5.2

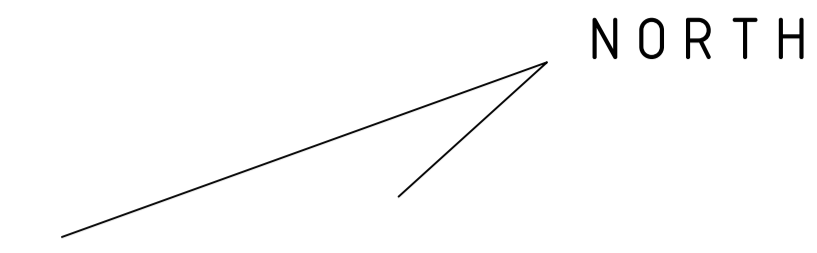
- 8) EXTERIOR WALLS FROM SLAB TO UNDERSIDE OF RAFTERS. NAIL PLYWOOD EDGES WITH 8d NAIL AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL
- 9) COORDINATE FRAMING WITH HVAC, ELECTRICAL, AND PLUMBING REQUIREMENTS. EDGES.
- 10) CEILING HEIGHTS:
 - FIRST FLOOR - SEE ARCH. DWGS.
 - SECOND FLOOR - SEE ARCH. DWGS.
- 11) JOIST HANGERS SHALL BE 16 GAUGE TYPE "U" AS MANUFACTURED BY SIMPSON STRING TIES CO. INSTALL JOIST HANGERS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION. USE JOIST HANGERS FOR BEAMS AND JOIST WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE THE SAME SIZE AS MEMBER SUPPORTED.
- 12) OPENING HEADER SCHEDULE:
 - FIRST FLOOR - 2-2"x12" 'S
 - SECOND FLOOR - (2) 2"x10" 'S AT 3'0" TO 6'0" OPENINGS
 - (2) 2"x6" 'S AT OPENINGS LESS THAN 3'0"
- 13) BORE HOLES - 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST, NOT LARGER THAN 1 1/4" IN DIAMETER AND NOT IN MIDDLE OF SPAN.
- 14) STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE NO. 24 GAUGE GALVANIZED STRAPS 18" LONG, BOTH SIDES OF WALL - SPIKED TO PLATES.
- 15) PROVIDE STUD POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAMS AS SHOWN ON FRAMING PLAN. NAIL EACH STUD TO ADJACENT STUD IN POST WITH 16d NAILS AT 12" O.C. (ON STUD CENTER LINE) AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING TOP TO BOTTOM.
- 16) BRICK LINTELS ABOVE OPENINGS SHALL BE 5"x3 1/2"x1 1/4" GALVANIZED STEEL ANGLES WITH 8" MINIMUM BEARING EACH SIDE UNLESS NOTED OR DETAILED OTHERWISE ON THE DRAWINGS.
- 17) ALL WINDOWS AND GLAZED OPENINGS SHALL BE PROVIDED WITH ANCHORABLE PRE-CUT, NUMBERED, 5/8" PLYWOOD STORM COVERS WITH ATTACHMENT HARDWARE.
- 18) PROVIDE HURRICANE STRAPS BETWEEN WALL FRAMING AND BASE PLATE AND BETWEEN WALL FRAMING TOP PLATE AND ROOF FRAMING FOR CONTINUOUS LOAD PATH CONNECTION.
- 19) PROVIDE SIMPSON COLUMN CAPS TO CONNECT EXTERIOR COLUMNS TO ROOF BEAMS AND SIMPSON POST BASES (OR APPROVED EQUAL) TO CONNECT EXTERIOR COLUMNS TO FOUNDATION SLAB.
- 20) PROVIDE SUBTERRANEAN TERMITE PROTECTION AS PER CODE.
- 21) CONTRACTOR SHALL VERIFY ALL DIMENSION IN THE FIELD. PRIOR TO CONSTRUCTION.



EXISTING PLOT PLAN
 SCALE 1/8"=1'0"



PROPOSED ROOF & PLOT PLAN
 SCALE 1/8"=1'0"



General Notes

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Revision / Issue Date

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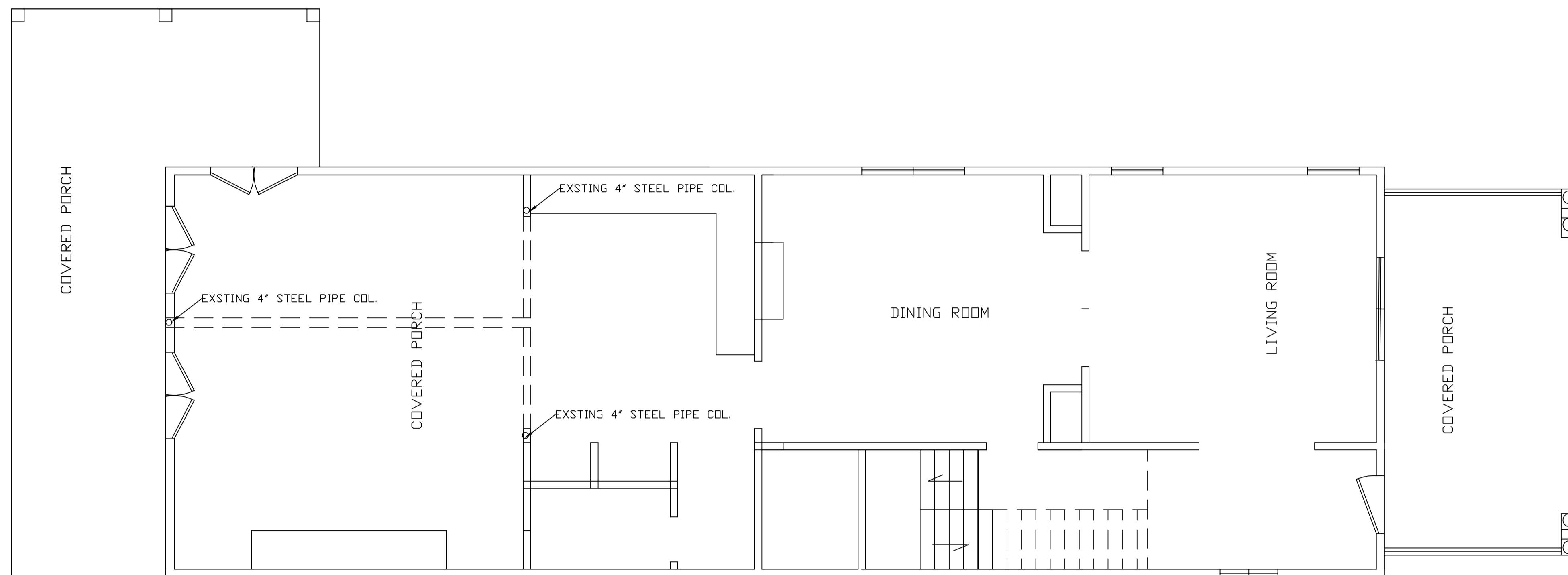
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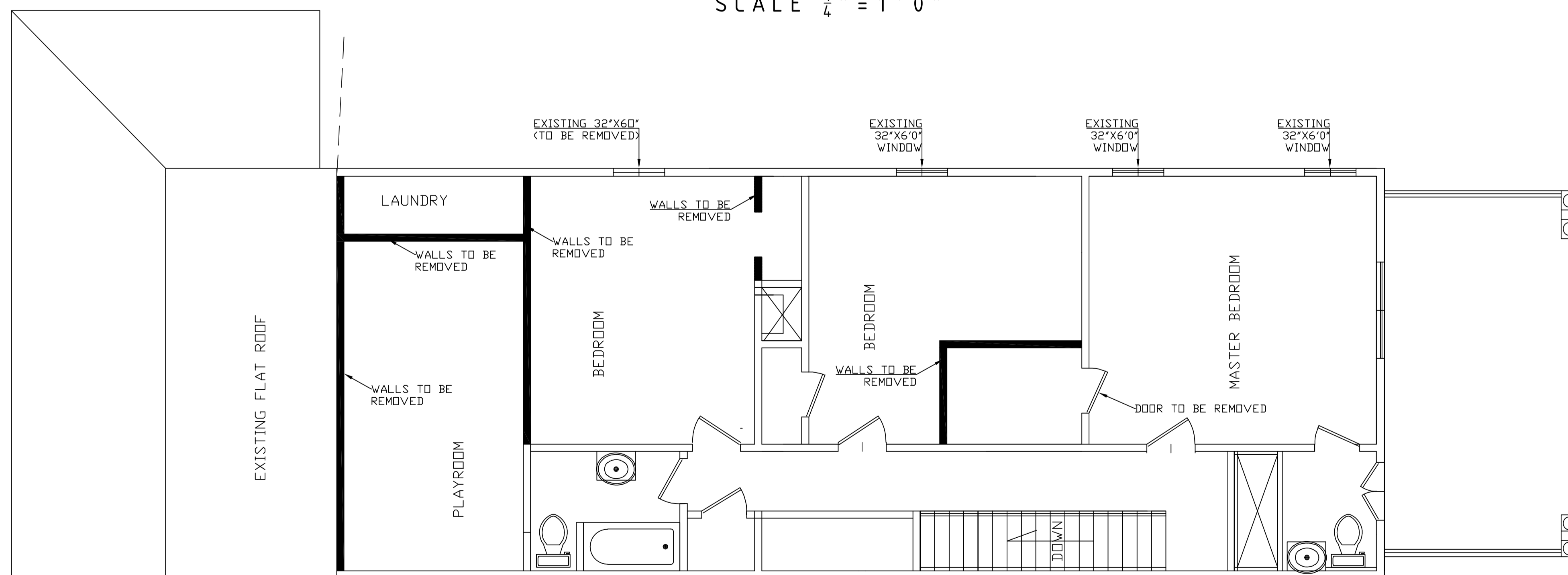
RENOVATIONS TO
 #314 AUDUBON ST.
 NEW ORLEANS, LA.

PROJECT NUMBER: 2024-09
 SHEET: A.1
 DATE: 3-22-2024
 SCALE: As Shown



FRONT

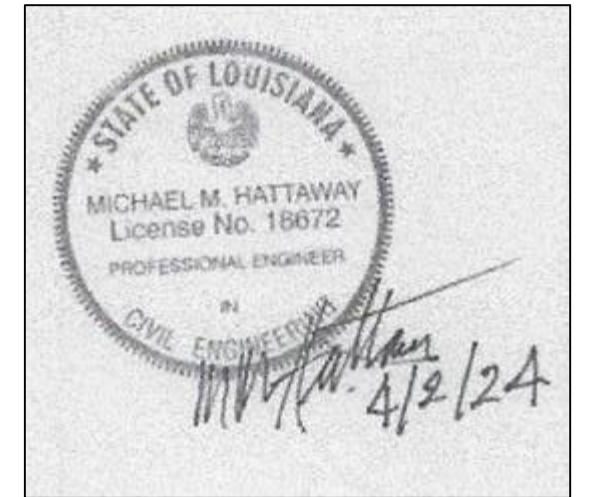
FIRST FLOOR
(NO CHANGES ON
THIS FLOOR)
SCALE $\frac{1}{4}'' = 1'0''$



FRONT

EXISTING SECOND
FLOOR AND
DEMO PLAN
SCALE $\frac{1}{4}'' = 1'0''$

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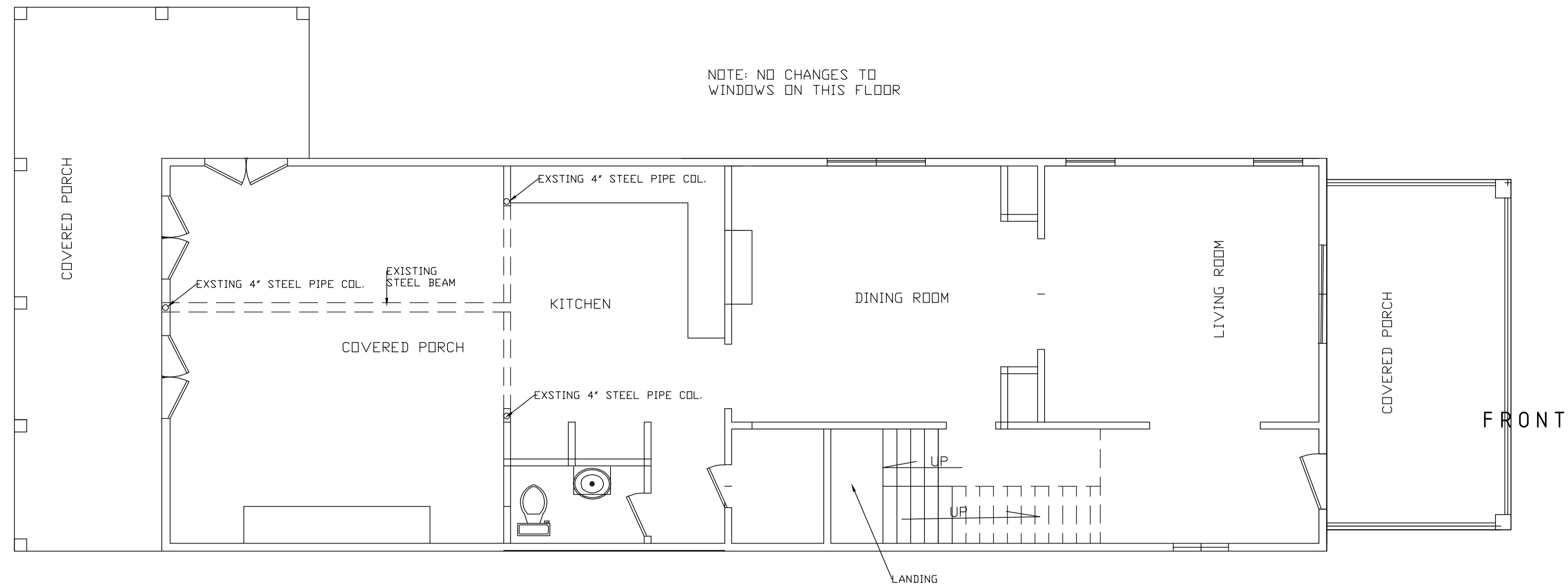
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2024-09

Date
3-22-2024

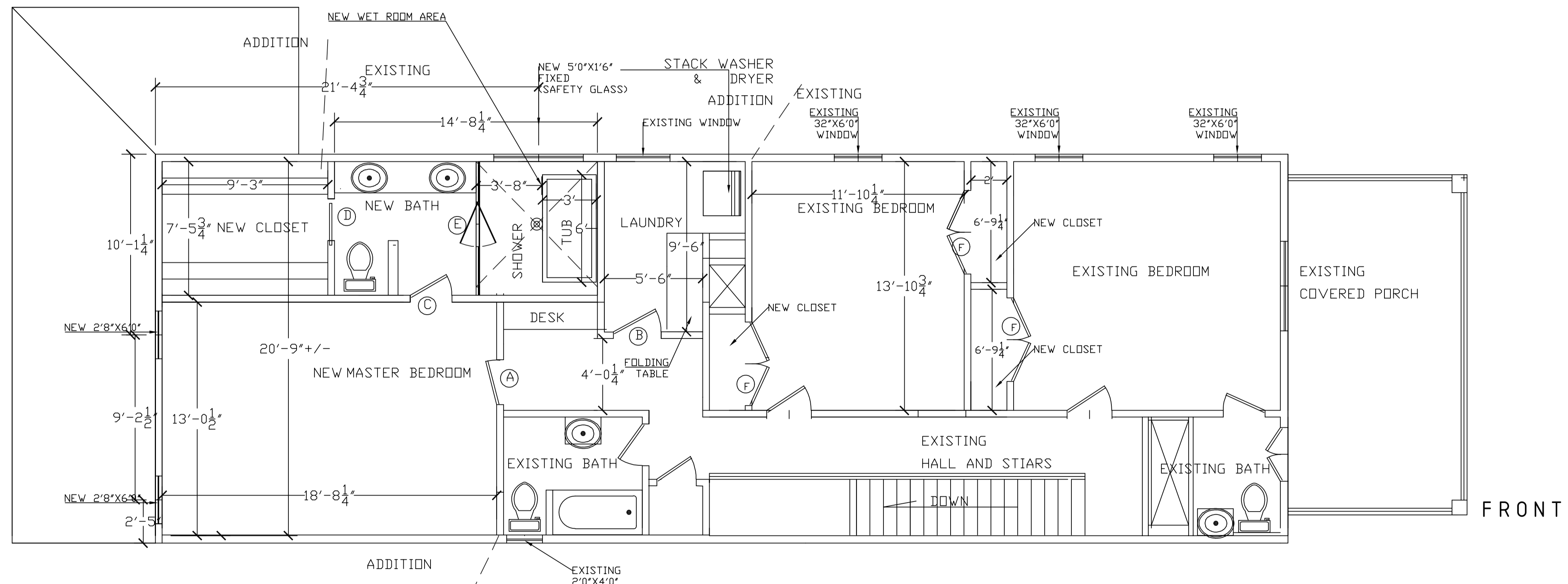
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A.2



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1' 0"

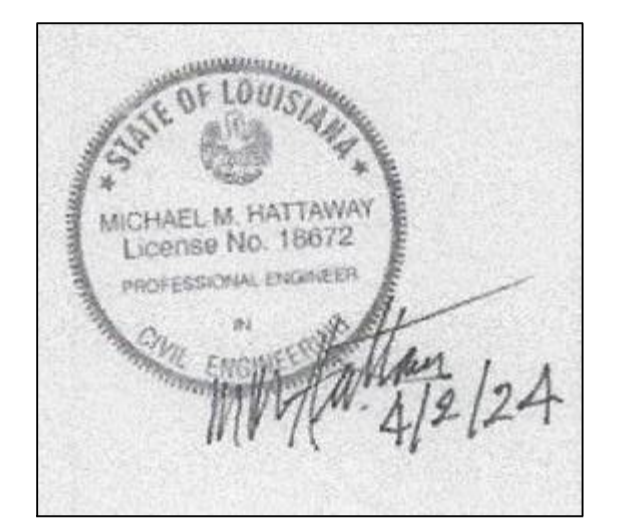


SCHEDULE OF DOORS

MARK	SIZE	TYPE
A	2'6"X8'0"	MASONITE
B	2'8"X8'0"	MASONITE
C	2'4"X8'0"	MASONITE
D	2'4"X8'0"	MASONITE POCKET DOOR
E	2'6"X6'0"	SAFETY GLASS SHOWER DOOR
F	2'-2'4"X6'0"	MASONITE

PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1' 0"

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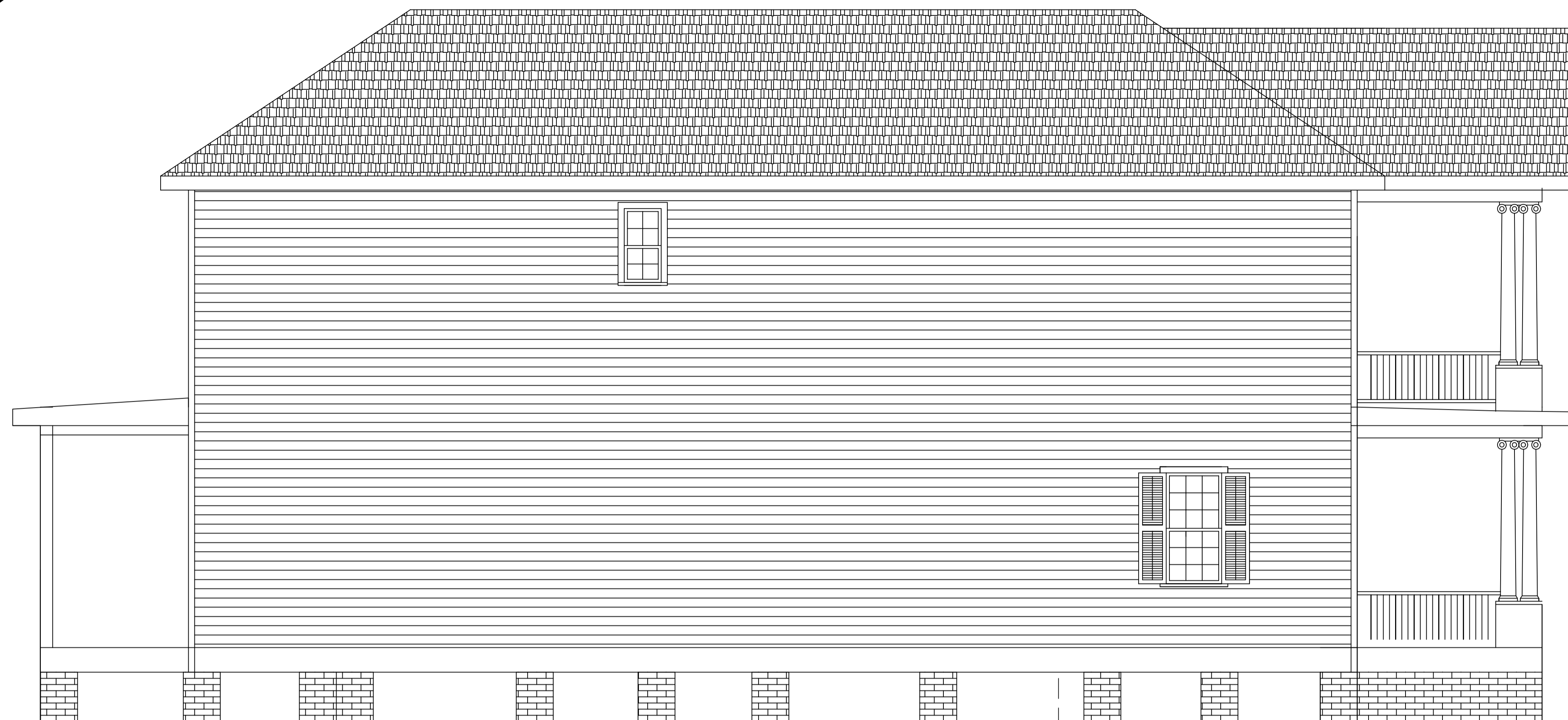
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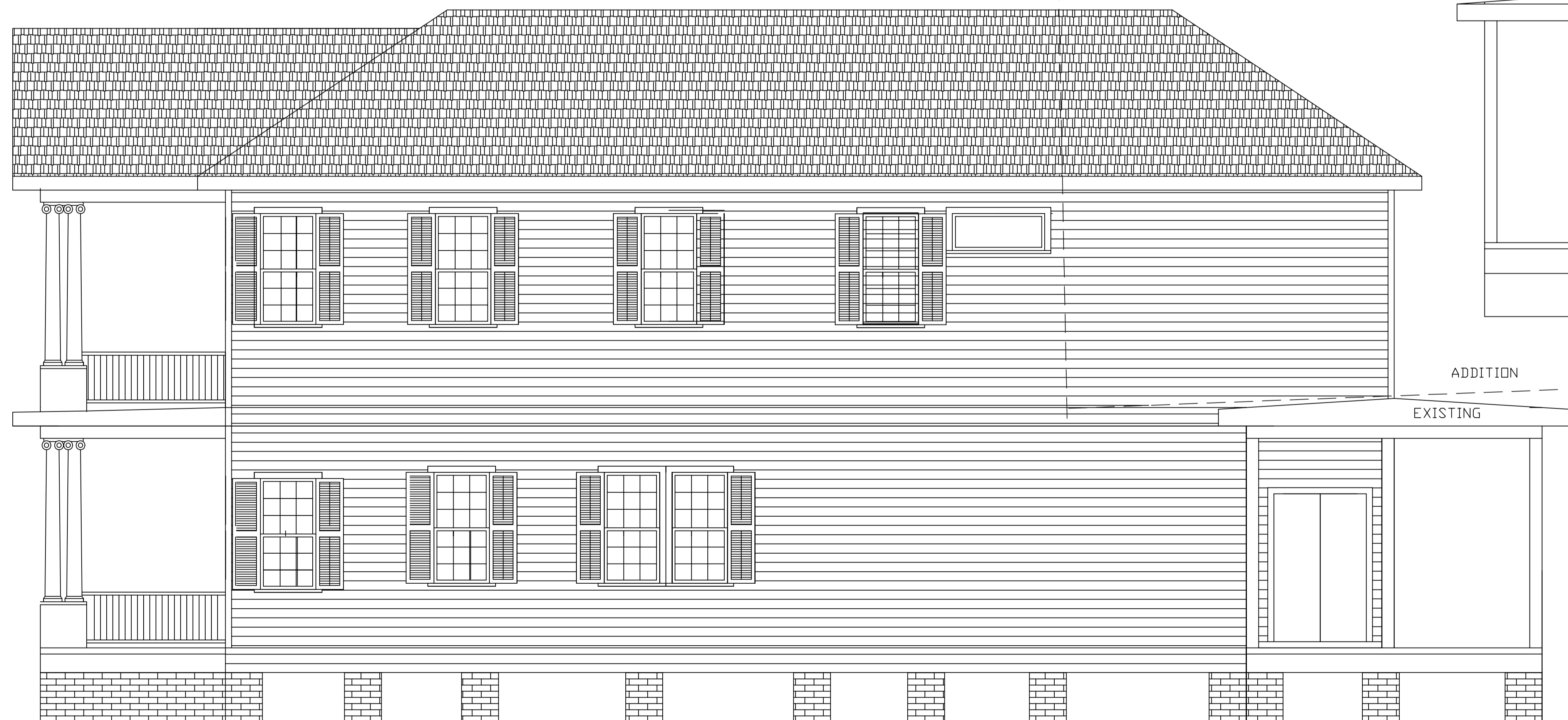
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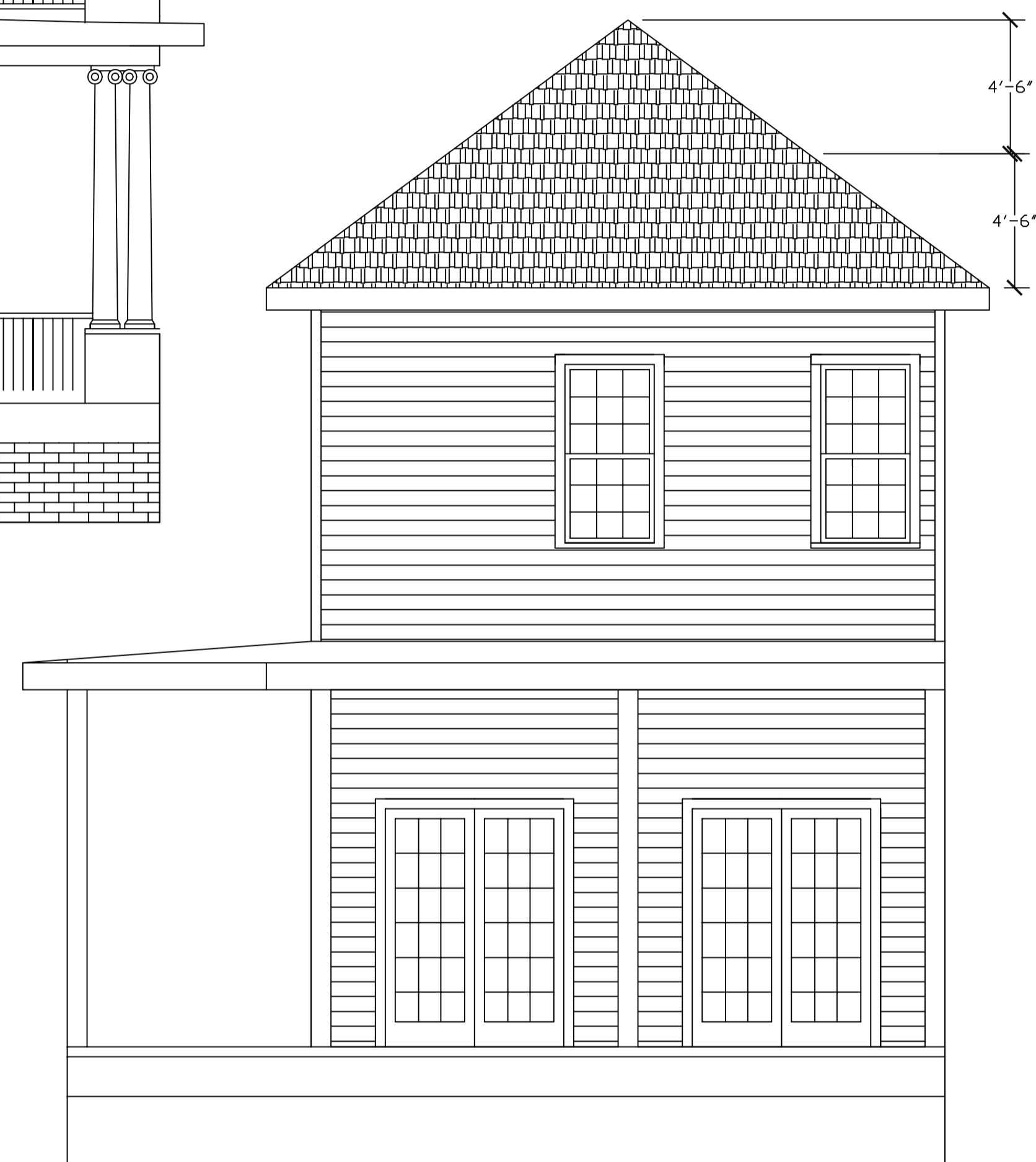
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2024-09	
Date 3-22-2024	A. 3
Scale As Shown	



LEFT SIDE ELEVATION
SCALE $\frac{1}{4}'' = 1'0''$

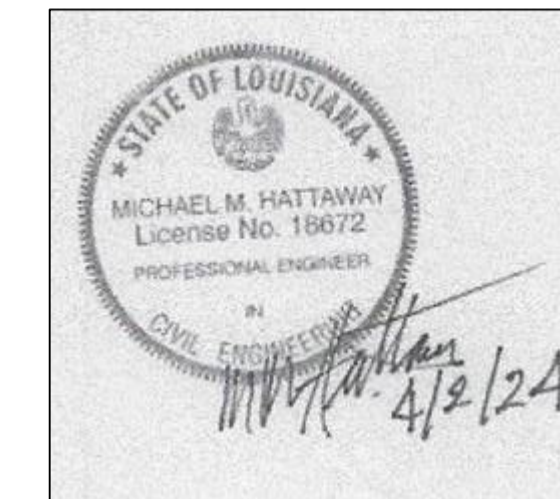


RIGHT SIDE ELEVATION
SCALE $\frac{1}{4}'' = 1'0''$



REAR ELEVATION
SCALE $\frac{1}{4}'' = 1'0''$

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2024-09

Date
3-22-2024

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As Shown

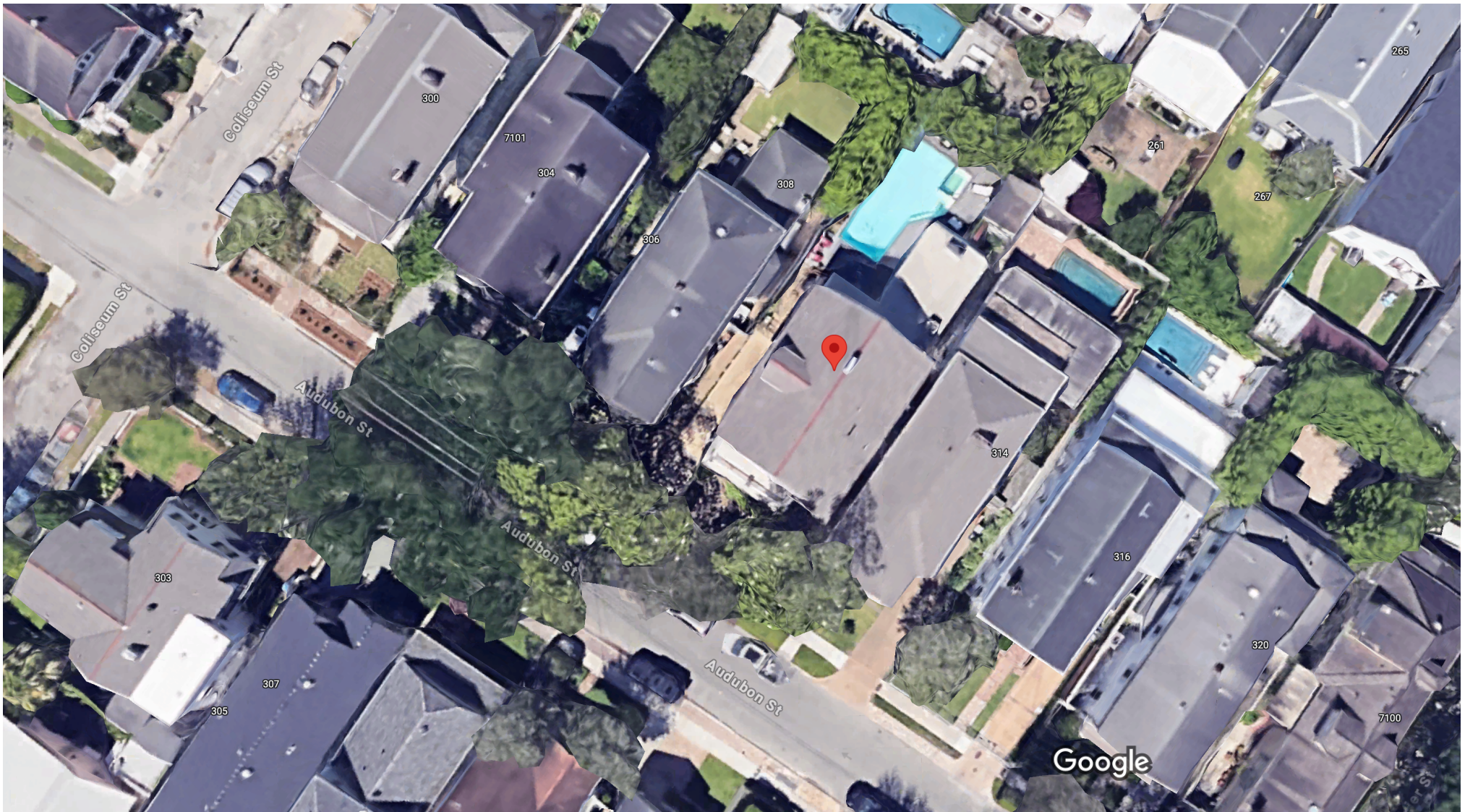
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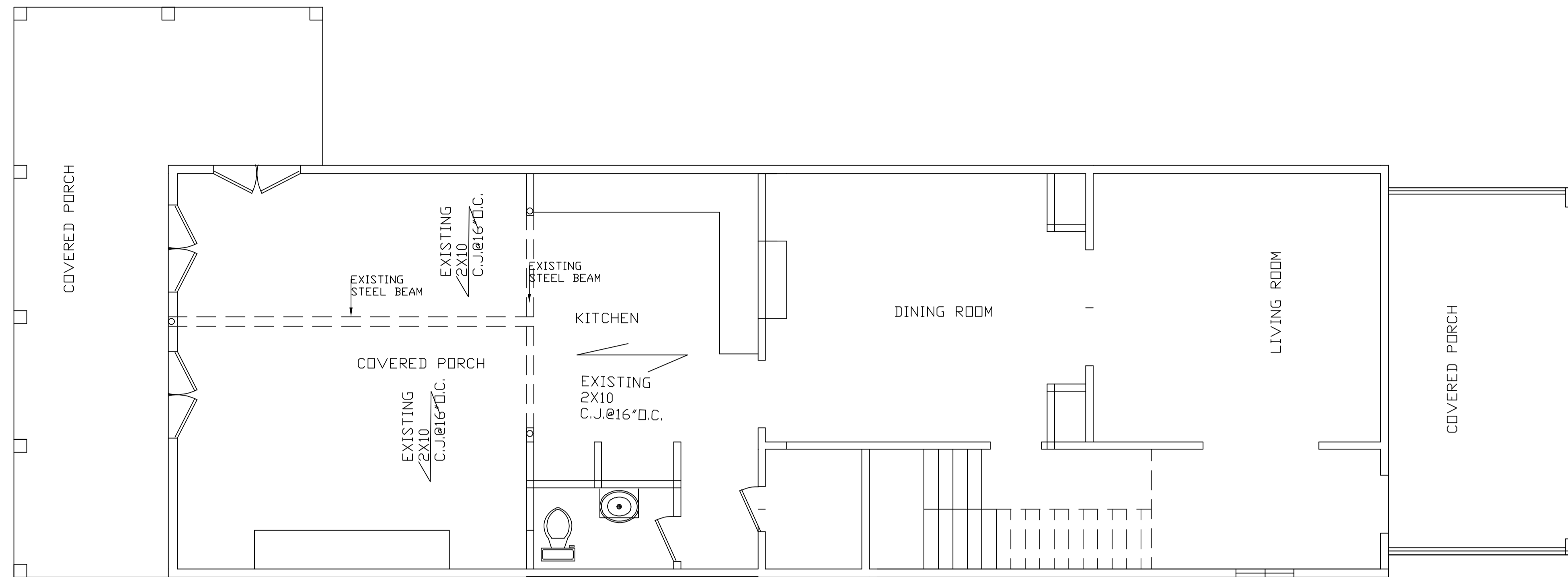
A. 4

314 Audubon St, New Orleans, LA 70118

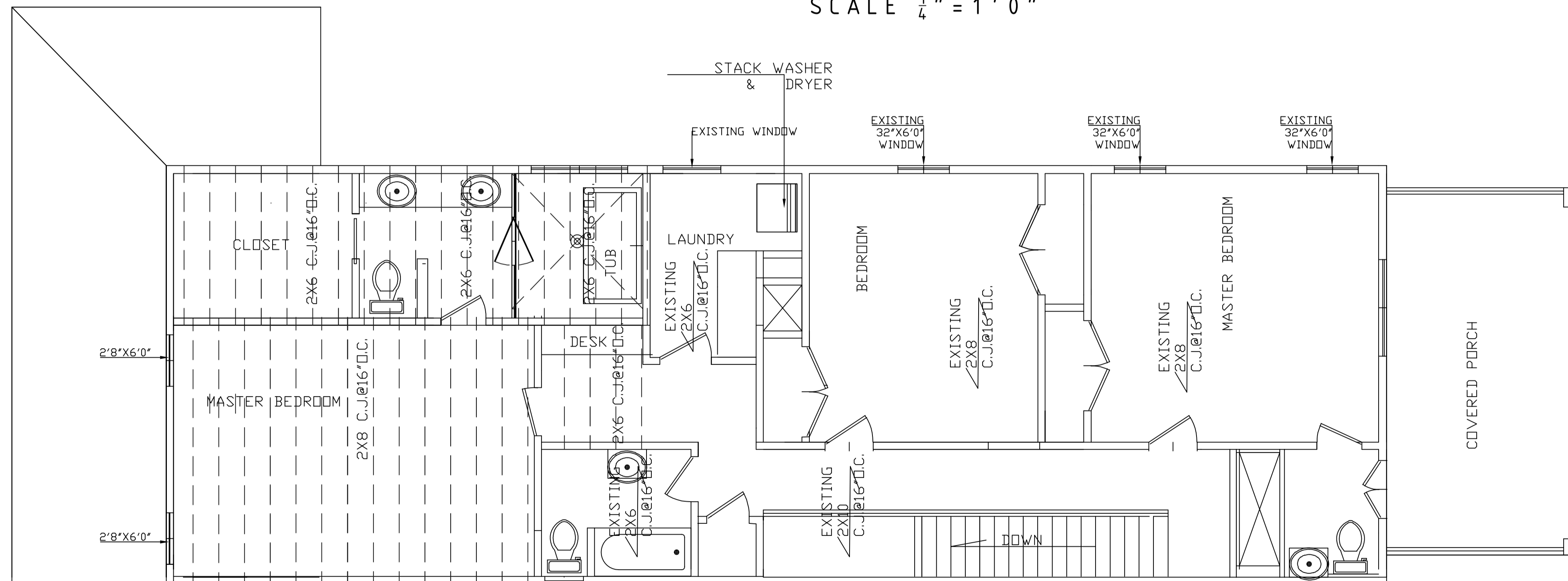


NEW CONSTRUCTION | DESIGN-BUILD | RENOVATION





EXISTING FIRST FLOOR CEILING FRAMING PLAN
SCALE 1/4" = 1' 0"

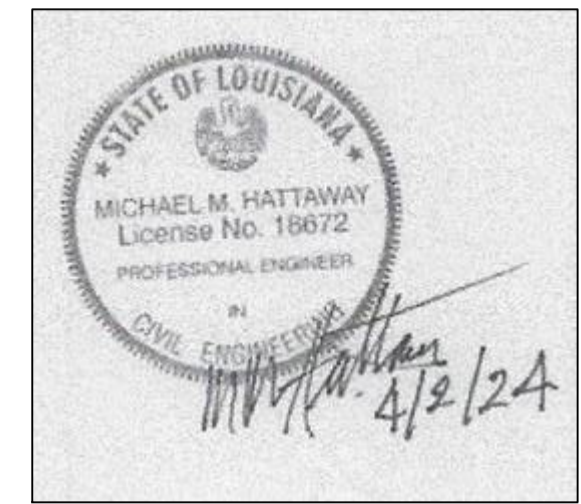


SECOND FLOOR CEILING JOIST FRAMING PLAN
SCALE 1/4" = 1' 0"

FRONT

FRONT

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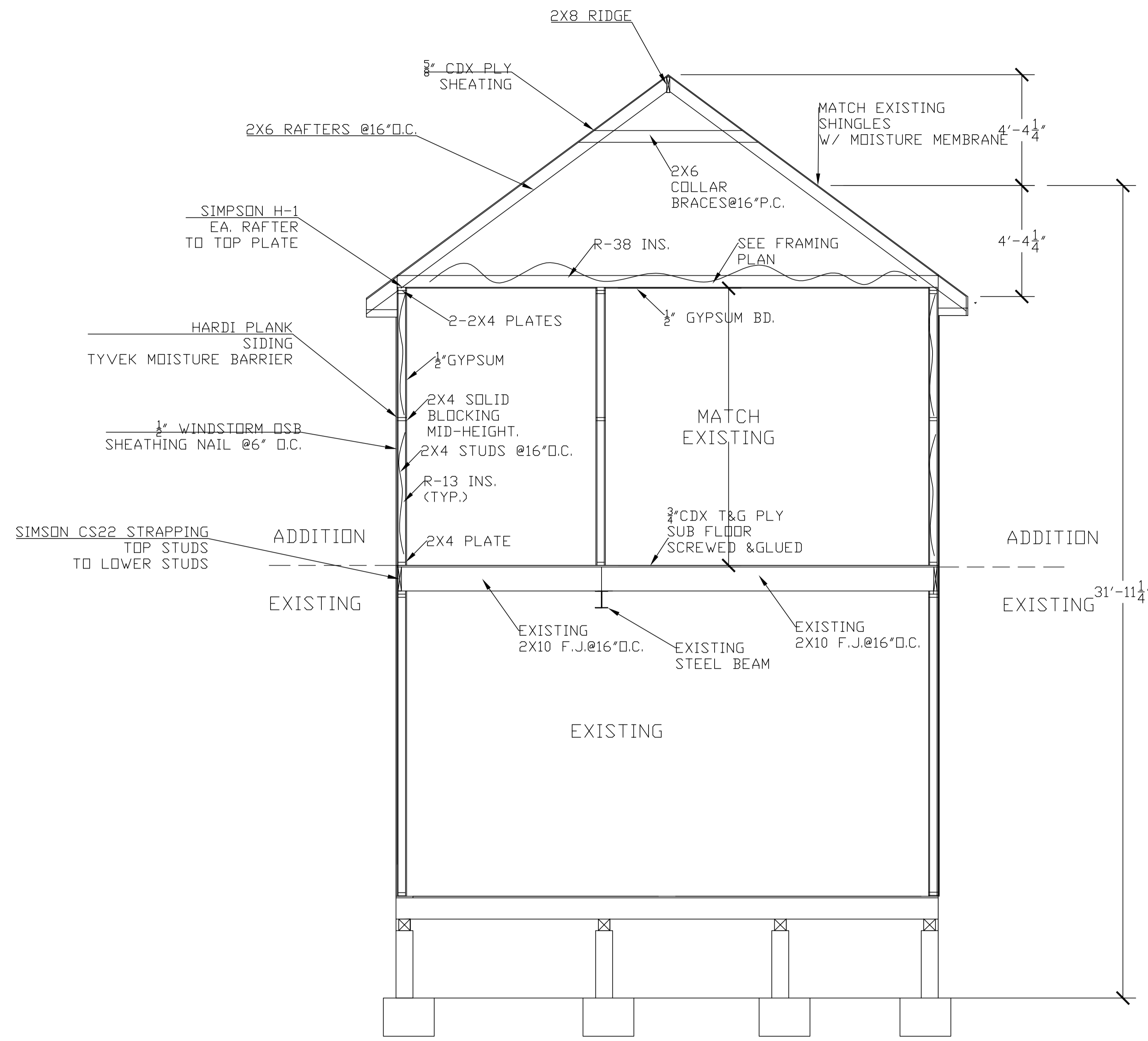
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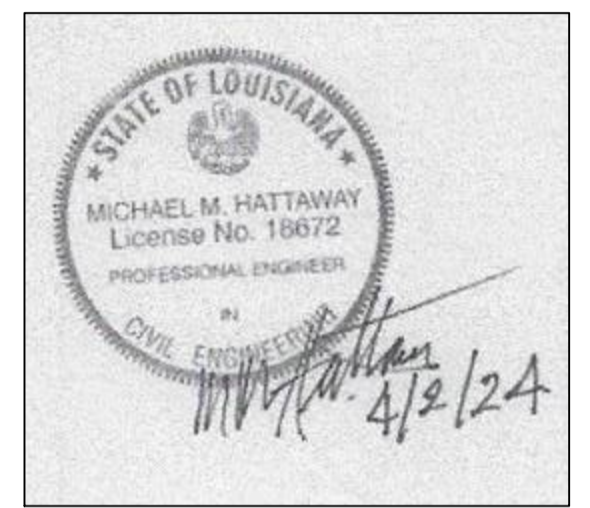
Project number 2024-09	Sheet A.5
Date 3-22-2024	
Scale As Shown	



TYPICAL CROSS SECTION
SCALE $\frac{3}{8}'' = 1' 0''$

EXTERIOR WALL WIND LOAD CONNECTOR SCHEDULE			
EA. RAFTER TO TOP PLATE	SIMPSON H-1 EA. RAFTER	REQUIRED LOAD	417#
		ALLOWABLE LOAD	535#
TOP PLATE TO 2ND STORY STUDS	1/2" WINDSTORM OSB W/2 ROWS 8d NAILS @6" O.C.	REQUIRED LOAD	313 PLF
		ALLOWABLE LOAD	360 PLF
2ND STORY STUDS TO FIRST STORY STUDS	SIMPSON CS 22 COIL STRAPPING X24" LONG EA. STUD W/(<6) 8D NAILS EA. END	REQUIRED LOAD	351 #
		ALLOWABLE LOAD	362 #

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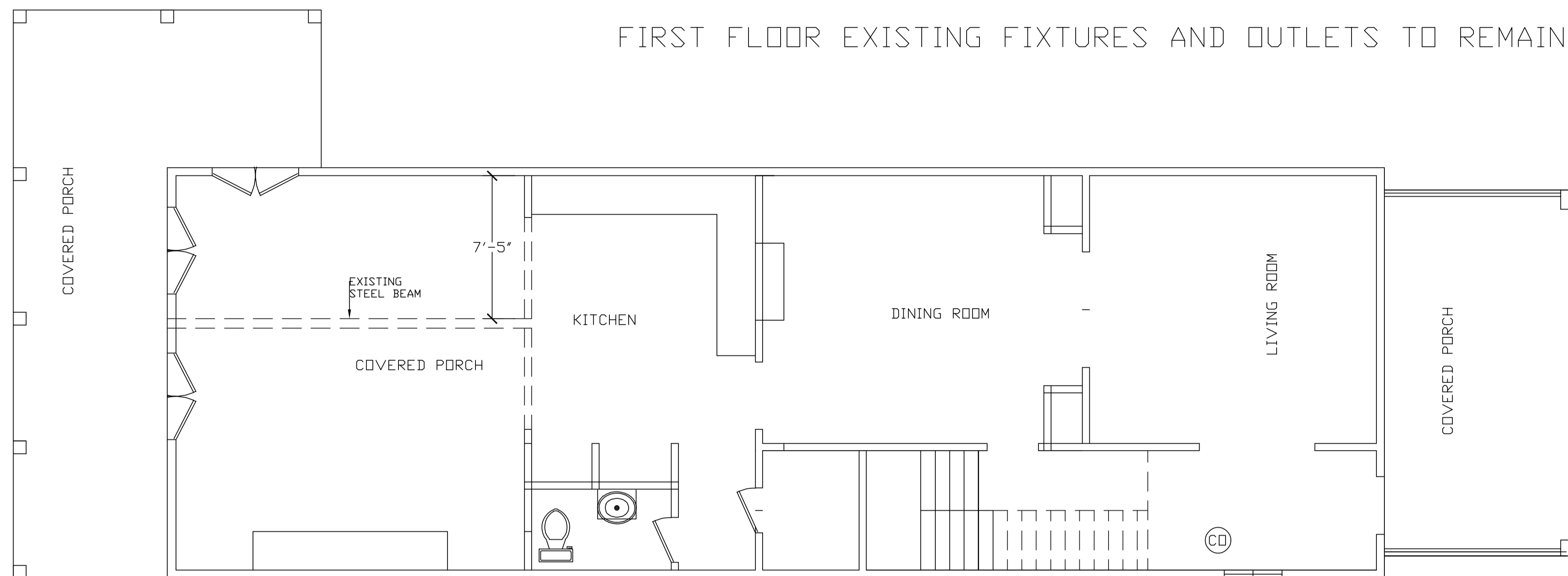
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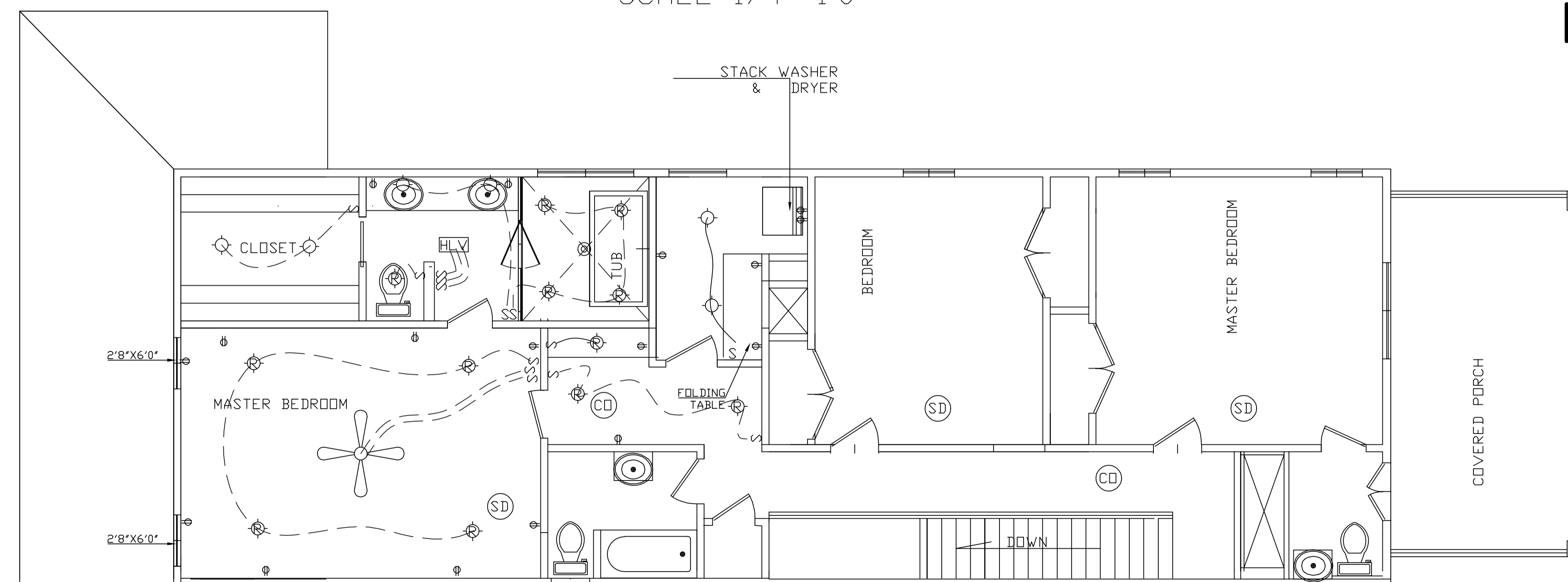
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Project Number 2024-09	Sheet A.6
Date 3-22-2024	
Scale As Shown	

FIRST FLOOR EXISTING FIXTURES AND OUTLETS TO REMAIN



FIRST FLOOR ELECTRICAL PLAN
SCALE 1/4"=1'0"

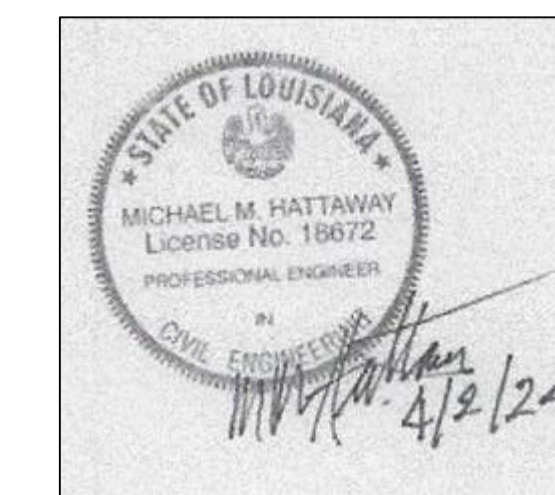


SECOND FLOOR ELECTRICAL PLAN
SCALE 1/4"=1'0"

FRONT

ELECTRICAL LEGEND	
	LIGHT FIXTURE
	RECESS LIGHT
	FAN & LIGHT
	VENT & LIGHT
	HLV HEATER/ VENT LIGHT
	O OUTLET
	S SWITCH
	SD 110V SMOKE DETECTOR W/ BATT. BACKUP ALL WIRED TOGETHER UL APPROVED
	CD CARBONMONOXIDE /SMOKE DETECTOR COMBO
	FL FLOOD LIGHT

ALL WET AREA OUTLETS
ARE TO G.F.C.I. PROTECTED
ALL SLEEPING AREA OUTLETS
ARE TO BE ARC PROTECTED
AS PER CODE



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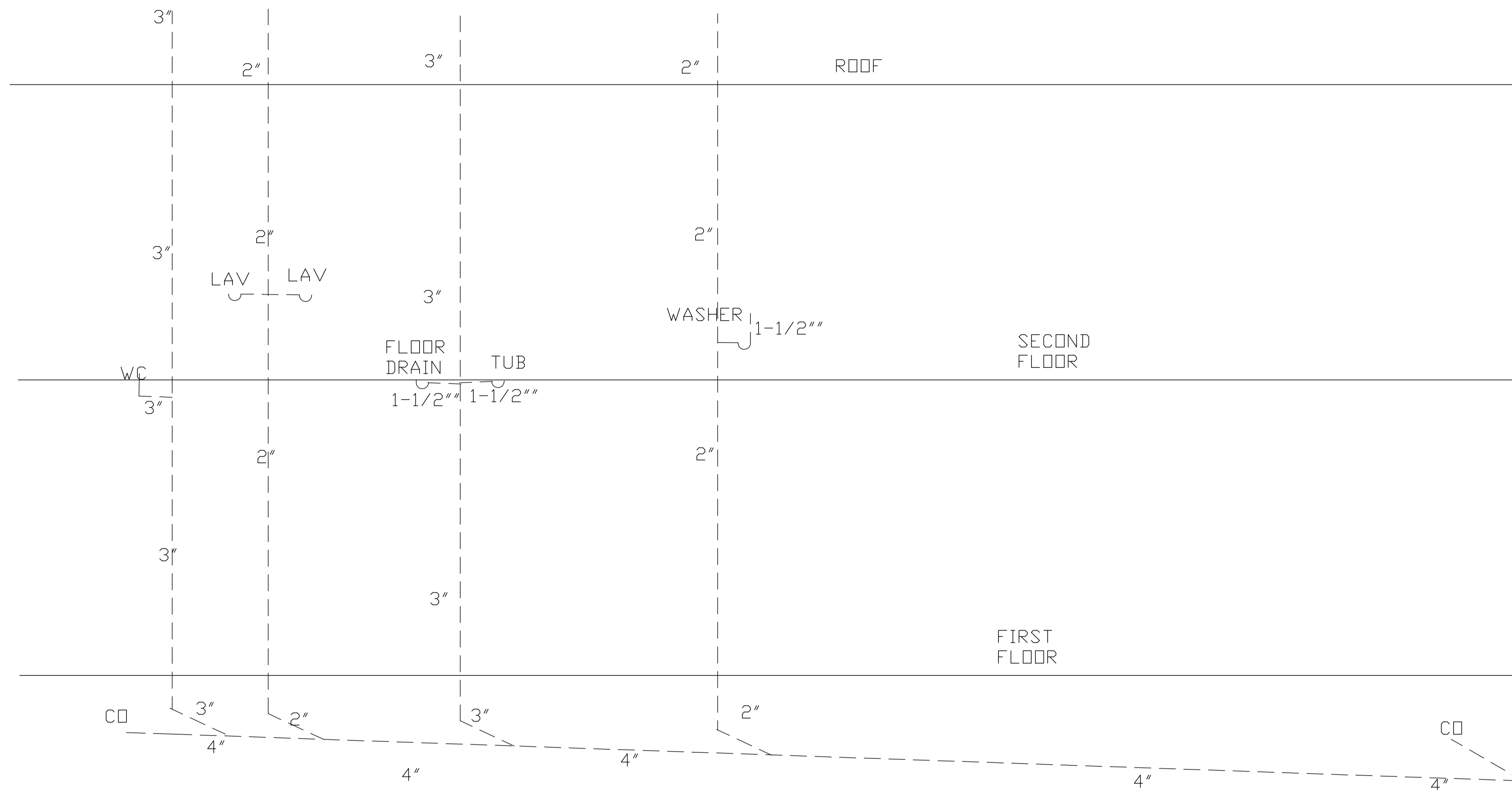
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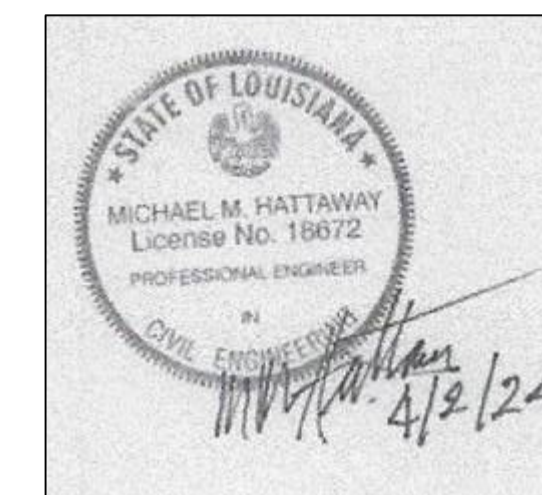
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Project number 2022-20	Sheet A.7
Date 3-22-2022	
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NEW PLUMBING RISER DIAGRAM
NTS

General Notes



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Date 3-22-2024	A.8
Scale As Shown	



WYNNE HOMES

NEW CONSTRUCTION | DESIGN-BUILD | RENOVATION

1706 Loumor Ave Metairie, LA 70001

New Orleans City Planning Commission Design Advisory Committee
Supplement 'A' – Additional Submittal Requirements for the University Area
Design Overlay

Project

314 Audubon St, New Orleans, LA 70118

Permit 24-11494-RNVS Renovation (Structural)

I am asking for a permit to do a renovation to the above referenced property. It is currently a single-family home. The property will stay a single-family home for my client Dr. Warren Jay Huber III, his wife and daughter. The work consists of taking an existing back bedroom, make the bedroom larger and add a bathroom and closet over the current flat roof which extends over the back den. The added living space is 200sf. All the work will be on the back of the house. Nothing changing on the front elevation. All landscaping and long off-street parking driveway will stay as is. The house footprint will not change. Current house street elevation picture, ariel view with added info attached along with construction documents.

Wynne Homes

Brett Wynne
504-214-0460



NEW CONSTRUCTION | DESIGN-BUILD | RENOVATION



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCInfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 314 Audubon St. New Orleans, LA 70118

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Brett Wynne

Applicant Address 1706 Lamoignon Ave. Metairie, LA 70001

City Metairie State LA Zip 70001

Applicant Contact Number 504-214-0460 Email wynnehomes@gmail.com

PROPERTY OWNER INFORMATION SAME AS ABOVE

Property Owner Name Laura + Jay Huber

Property Owner Address 314 Audubon St.

City New Orleans State LA Zip 70118

Property Owner Contact Number 504-812-4017 Email wjhuber3@gmail.com

PROJECT DESCRIPTION

Renovation / Addition for primary bedroom.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor

Others as required University design overlay district.

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

ADDITIONAL INFORMATION

Current Use Single Family Proposed Use Single Family
 Square Number 32 Lot Number C #314 Permeable Open Space (sf) 2,561

New Development? Yes No Addition? Yes No
 Existing Structure(s)? Yes No Renovations? Yes No
 Change in Use? Yes No Existing Signs? Yes No
 New Sign(s)? Yes No Lot Area (sf) 4560 Tenant Width _____
 Building Width 21.6' wide
 Lot Width (sf) 38' wide
 Building Area (sf) 2,561 sf



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000

