



1523

REHAB MEDICAL OFFICE

1521

RETAIL/OFFICE

1515

SALON/RALINES SHOP

1513

SLICE PIZZA

1509

INN

1503

VOO DOO BBQ

ST CHARLES AVENUE 1500 BLOCK STREETScape (LAKESIDE)

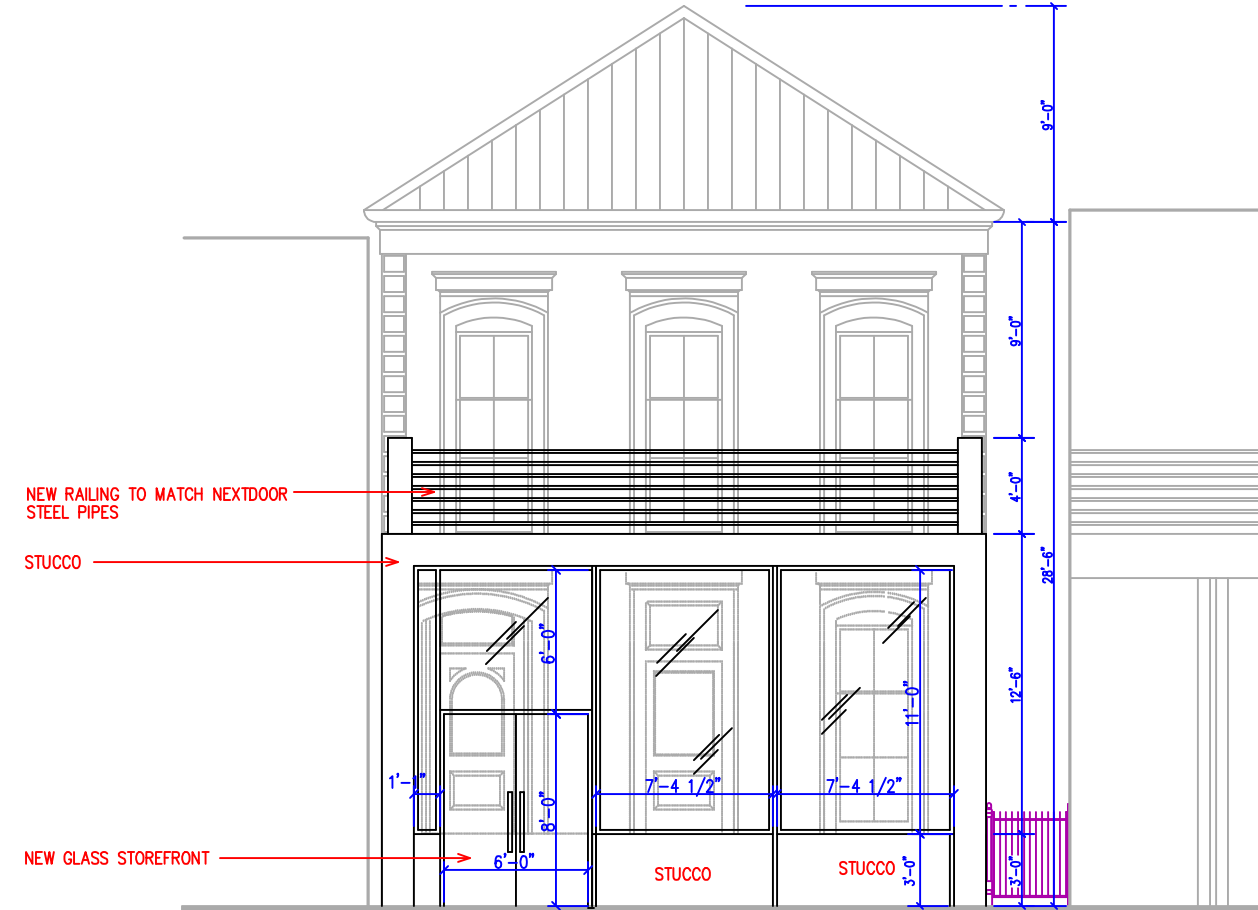


1513-STCHARLESAV 101106910 11/17/2022

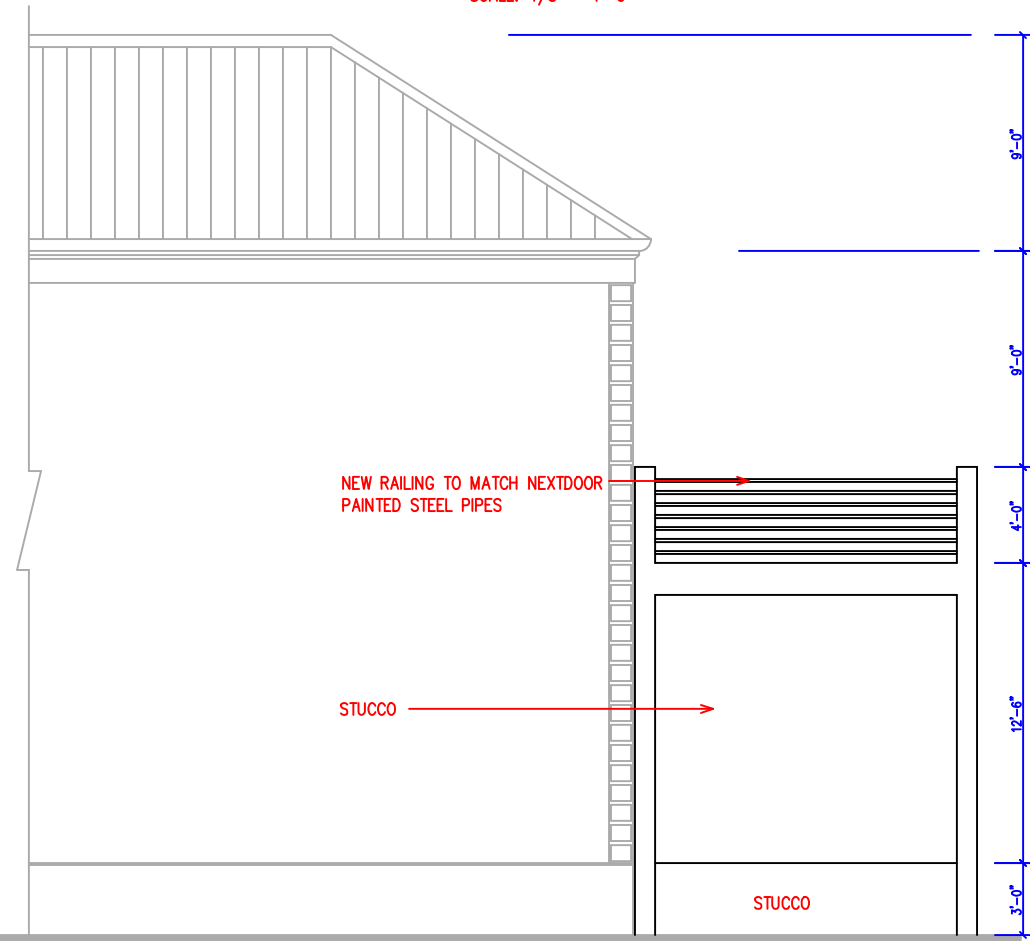
1503-STCHARLESAV 101106907 1



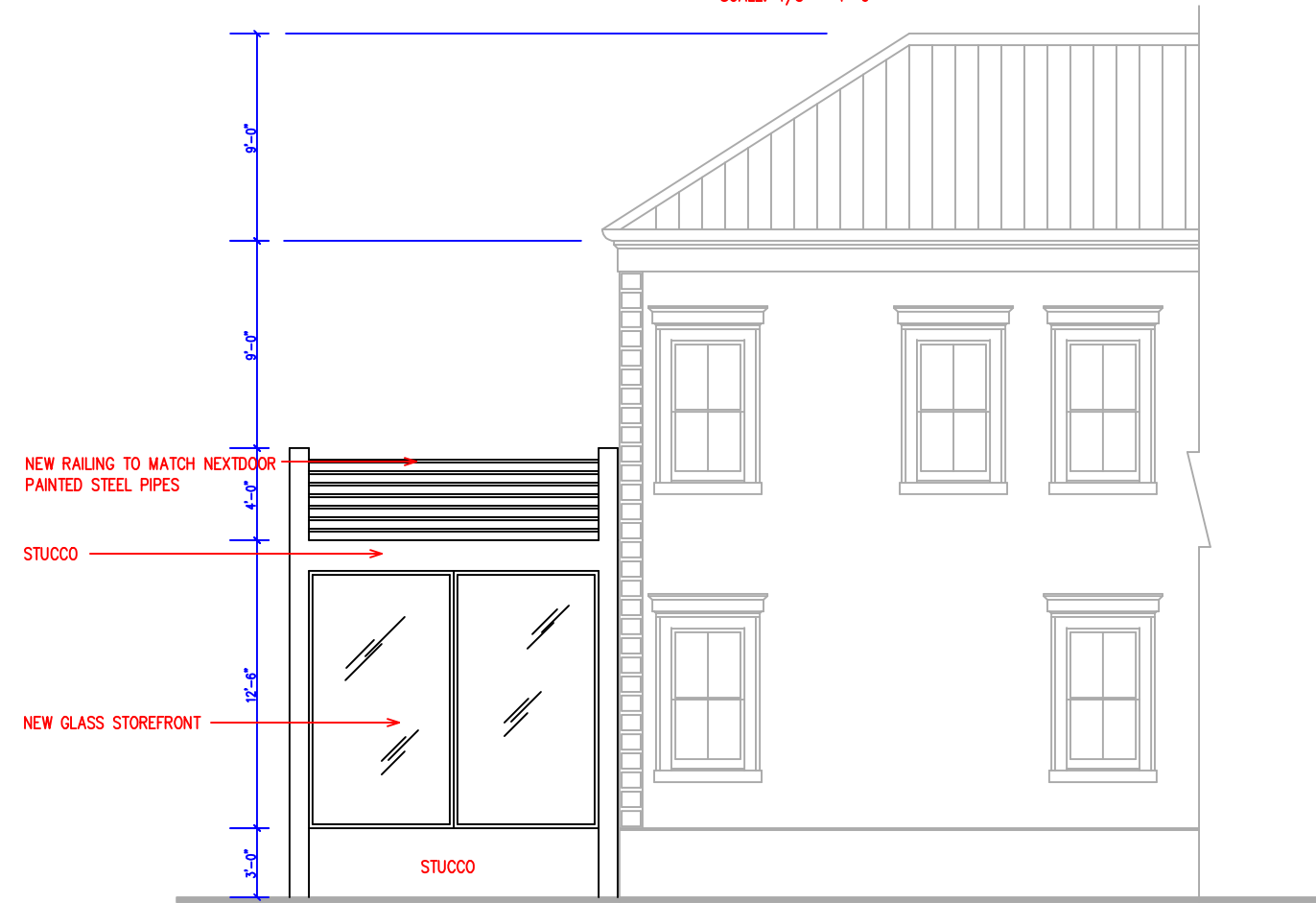
EXIST. ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



NEW ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



NEW ELEVATION (LEFT)
SCALE: 1/8" = 1'-0"



NEW ELEVATION (RIGHT)
SCALE: 1/8" = 1'-0"

REVISIONS	BY

LOUIS KONG ARCHITECTURE, L.L.C.
5726 ST. CHARLES AVENUE
NEW ORLEANS, LA 70115
(504) 912-8403

NEW PORCH DESIGN
1521 ST. CHARLES AVENUE, NEW ORLEANS, LA

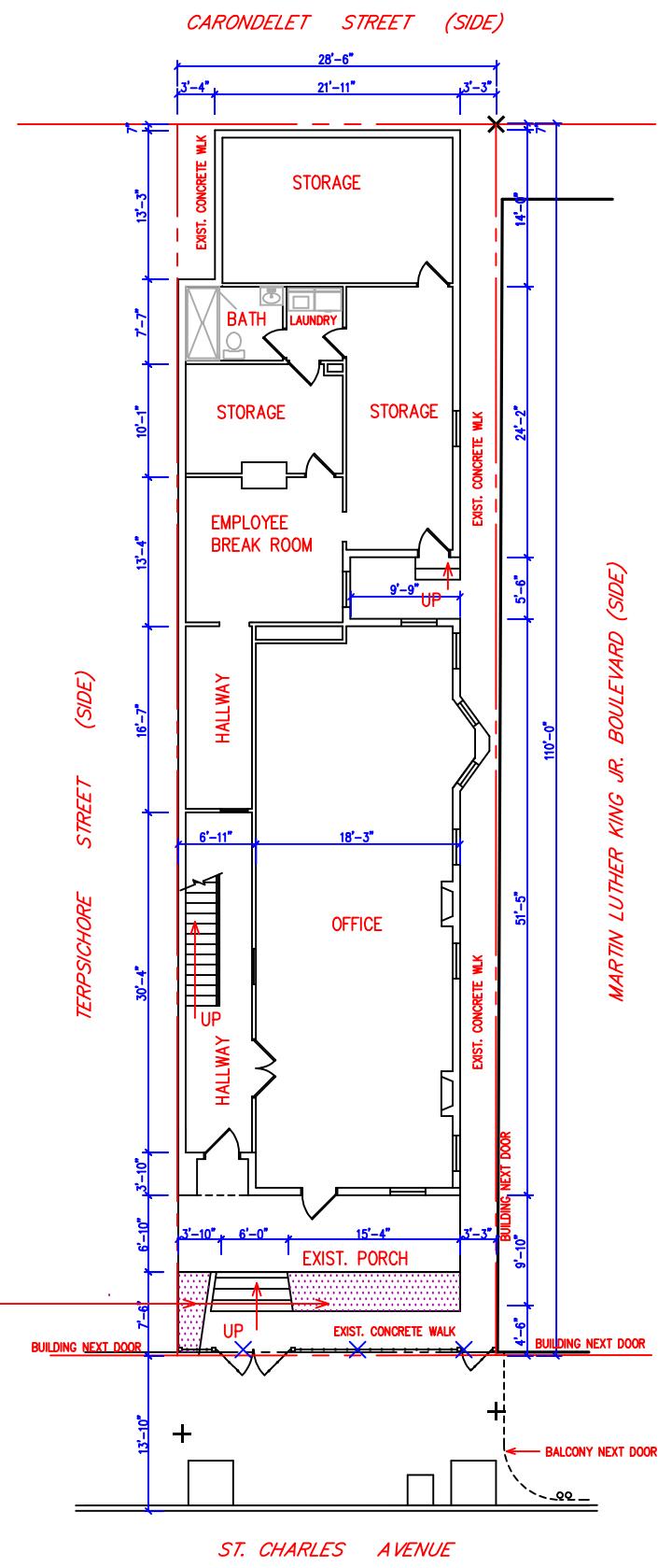
DRAWN : LK	CHECKED : LK
DATE : 4-16-2023	
SCALE : AS SHOWN	
JOB NO. : 1521-001	
SHEET	
1	
OF	SHEETS

REVISIONS	BY

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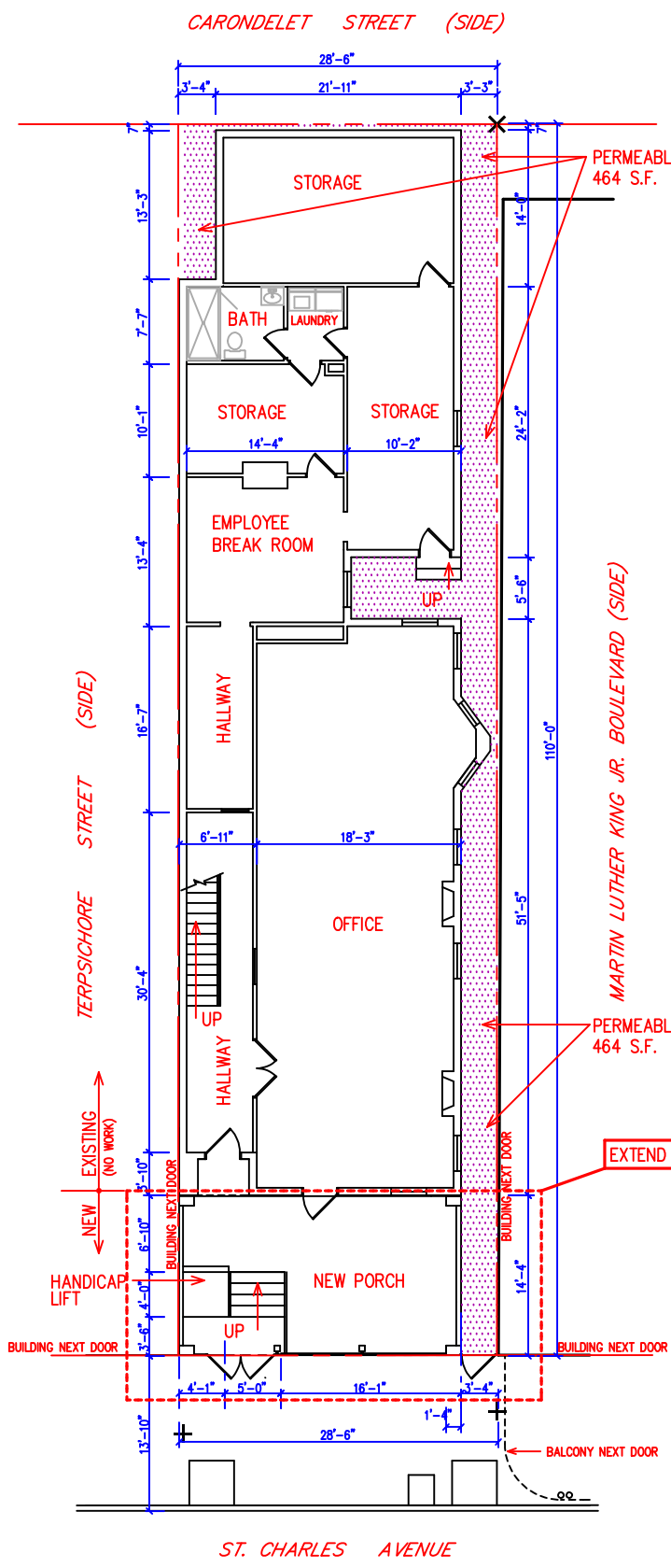
NEW PORCH DESIGN
 1521 ST. CHARLES AVENUE, NEW ORLEANS, LA

DRAWN : LK	CHECKED : LK
DATE :	
SCALE : AS SHOWN	
JOB NO. : 1521-001	
SHEET	
OF	SHEETS



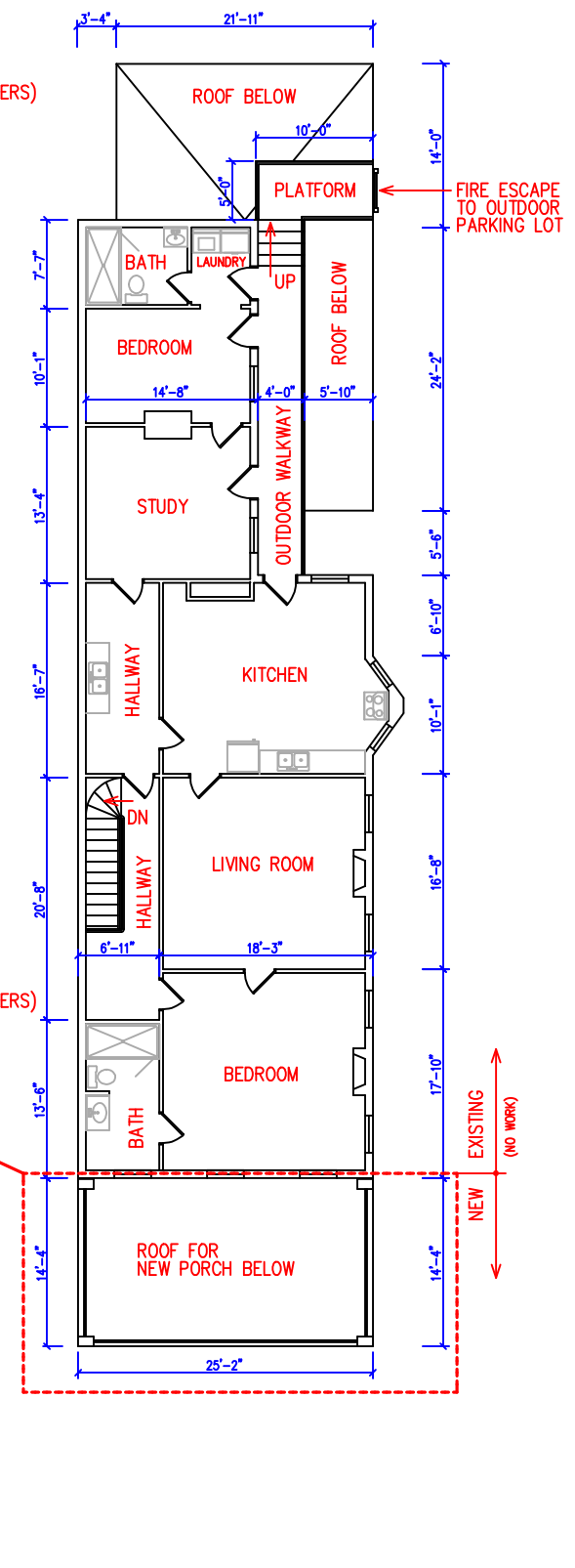
EXISTING SITE PLAN & FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PERCENTAGE OF PERMEABLE LOT AREA: 71 / 3,135 = 2.26%



PROPOSED SITE PLAN & FLOOR PLAN
 SCALE: 1/16" = 1'-0"

PERCENTAGE OF PERMEABLE AREA: 464 / 3,135 = 14.8%



EXISTING SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

SITE AREA: 3,135 S.F.
 PERMEABLE AREA REQUIRED: 627 S.F.
 EXIST. PERMEABLE AREA: 71 S.F.
 PERMEABLE AREA PROVIDED: 464 S.F.

EXIST. PERMEABLE AREA (GRASS)
 71 S.F.

EXTEND OF WORK

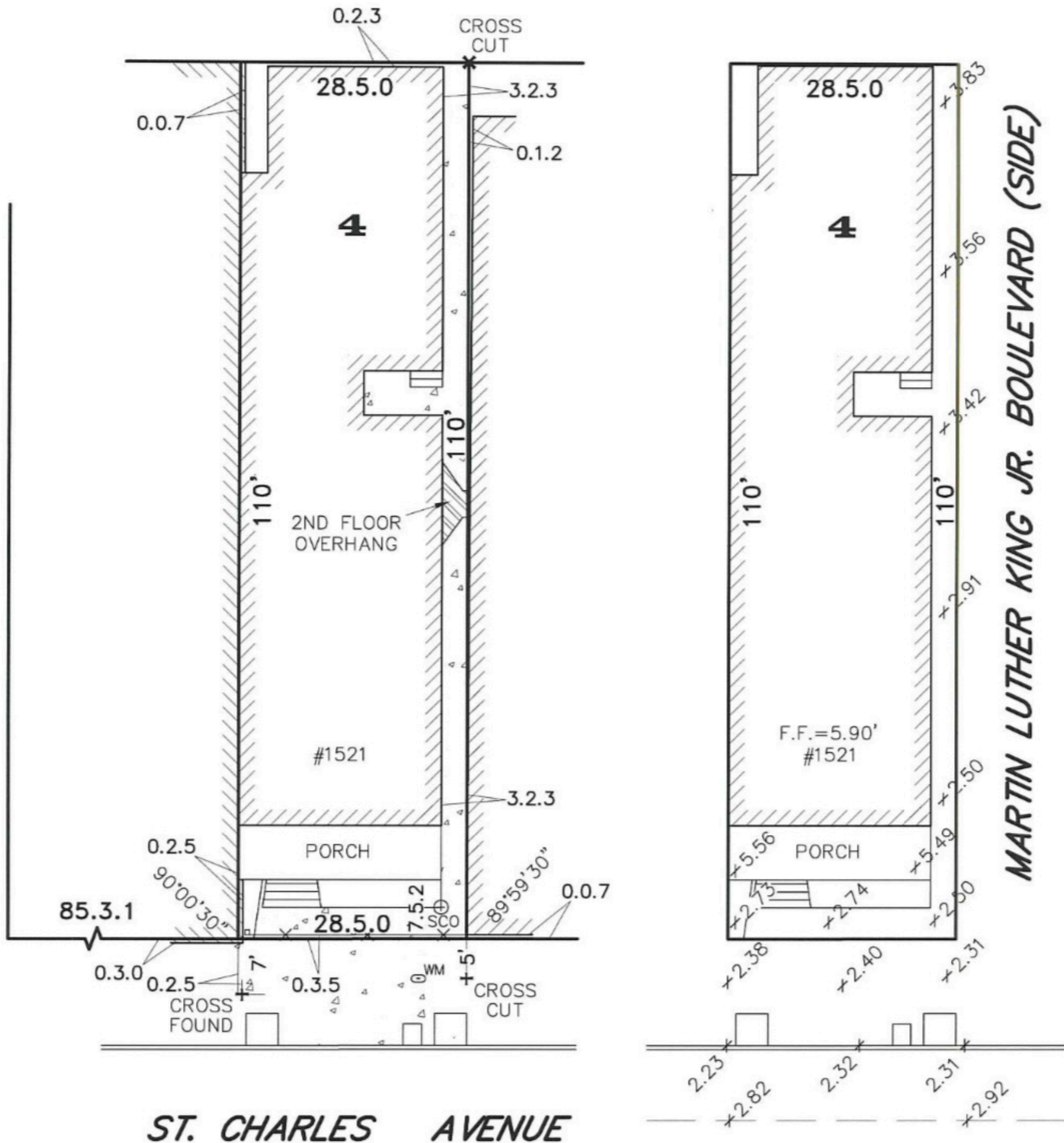


**BOUNDARY SURVEY OF
LOT 4
SQUARE 210
FIRST DISTRICT
ORLEANS PARISH, LA**



CARONDELET STREET (SIDE)

TERPSICHORE STREET



ST. CHARLES AVENUE

NOTE:

ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1
REFERENCE PLAN #1: A PLAN OF SURVEY BY J.J. KREBS & SONS DATED MARCH 10, 1972

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

ELEVATION NOTES

THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 09-30-16
BASE FLOOD ELEVATION: N/A
FLOOD ZONE: X
COMMUNITY PANEL: 22071C 0229 F



THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:LXI, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF STAN HO

BY: 
RICHMOND W. KREBS, PLS, LIC. #4836

R.W. KREBS
PROFESSIONAL LAND SURVEYING, LLC
RICHMOND W. KREBS, SR., PLS
3445 N. CAUSEWAY BLVD, SUITE 201
METAIRIE, LA. 70002
PHONE: (504) 889-9616
FAX: (504) 889-0916
E-MAIL: infonola@rwkrebs.com
WEB: www.rwkrebs.com

DATE: APRIL 17, 2024

DRAWN BY: JSN

SCALE: 1" = 20'

CHECKED BY: NDK

JOB #: 240437

November 8, 2024

Ms. Haley M. Delery and Ms. Ava Monnet
CITY PLANNING
City of New Orleans

RE: DR038-24 1521 St Charles Avenue, New Orleans, LA 70130
DESIGN REVIEW

Dear Haley and Ava:

As per your email dated September 26, 2024 requesting narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals for a **mix use commercial (retail/office) and residential (apartment on second floor) building** at 1521 St Charles Avenue, below is our responses:

ARTICLE 4, SECTION 4.5 DEVELOPMENT PLAN AND DESIGN REVIEW

4.5.A PURPOSE

1. Ensure compatibility of land uses and structures.

All buildings (see streetscape drawing) are commercials – rehab medical office, salon, pralines shop, pizza restaurant, inn, and BBQ restaurant.

All structures are 2 stories in height with various styles (from modern to traditional) and materials (from stucco to different wood panels, wood railing to horizontal metal railing, a mix of different storefront designs and windows).

2. Protect and enhance community property values.

Improving building exterior by matching the style of neighboring buildings. Improve the area of permeable surfaces.

3. Ensure the efficient use of land.

Land use is existing, no change from before - mix use commercial (retail/office) and residential (apartment on second floor).

4. Minimize traffic and safety hazards.

Existing traffic pattern. No change.

5. Ensure efficient parking layout,

Existing condition to remain. No change.

6. Minimize environmental impacts.

Increase the area of permeable surfaces.

7. Incorporate proper stormwater management and sustainable design techniques.

Increase the area of permeable surfaces.

4.5.B APPLICABILITY

Existing building is less than 40,000 sf. And no change of use.

4.5.E APPROVAL STANDARDS

1. We will comply with all regulations of the Ordinance.
2. We will comply with all applicable regulations.
3. We will comply with all applicable requirements including site illumination to minimize impact on adjacent properties.
4. Landscape design will comply with all applicable requirements and we will protect all existing healthy trees and use native species.
5. Circulation systems are existing. No change.
6. Building design strategies – we will comply with all recommendations. Maintain existing characters of the streetscape, maintain existing visible transition in height, respect existing building by adding a porch that is transparent from street to make existing building visible from the street.

4.5.F.1 Building materials will be consistent with the area.

Increase in floor area is less than 20%.

No change in building height.

No change in use.

No change in internal streets and driveways.

No change in parking layout.

Remove all damaged and rotten porch materials and replacement will be made available.

ARTICLE 15, SECTION 15.3.B BUILDING DESIGN STANDARDS

- a. Primary entrances are oriented to primary street.
- b. Building is existing. No opaque or highly tinted or reflective glass will be used. All glass is

transparent. Sign will comply with requirements.

- c. No security bars in design.
- d. No mansard roof.
- e. All existing shutters, balconies, windows, and doors will be operational.
- f. Ground floor ceiling height to be 12 ft. minimum.
- g. No loading area.
- h. No outlot building.
- i. N/A
- j. N/A
- k. No EIFS, no staccato board, no vinyl.

ARTICLE 18, SECTION 18.14 CPC CHARACTER PRESERVATION CORRIDOR DESIGN OVERLAY DISTRICT

- 1. Design is compatible in scale (2 stories height), materials (stucco and wood), street level uses (commercial, no change in use) , and spatial relationship (no change) with the district and retain existing unique character. See streetscape drawing.
- 2. Design will preserve the original rhythm of the street, doorways, and windows. See streetscape drawing.
- 3. There is no blank walls in the design.
- 4. All sides visible to the public will be treated with materials, finishes and architectural details consistent with the neighborhood and appropriate to street-facing facades in that block.

Sincerely yours,

Louis Kong, A.I.A.

LK/kcl
cc: file