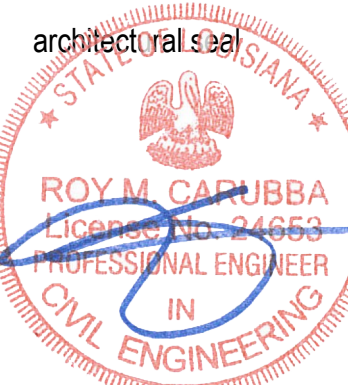


no.	date	comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name	Site Plan
date drawn	April 18, 2024
drawn by	adp
reviewed by	adp



sheet number

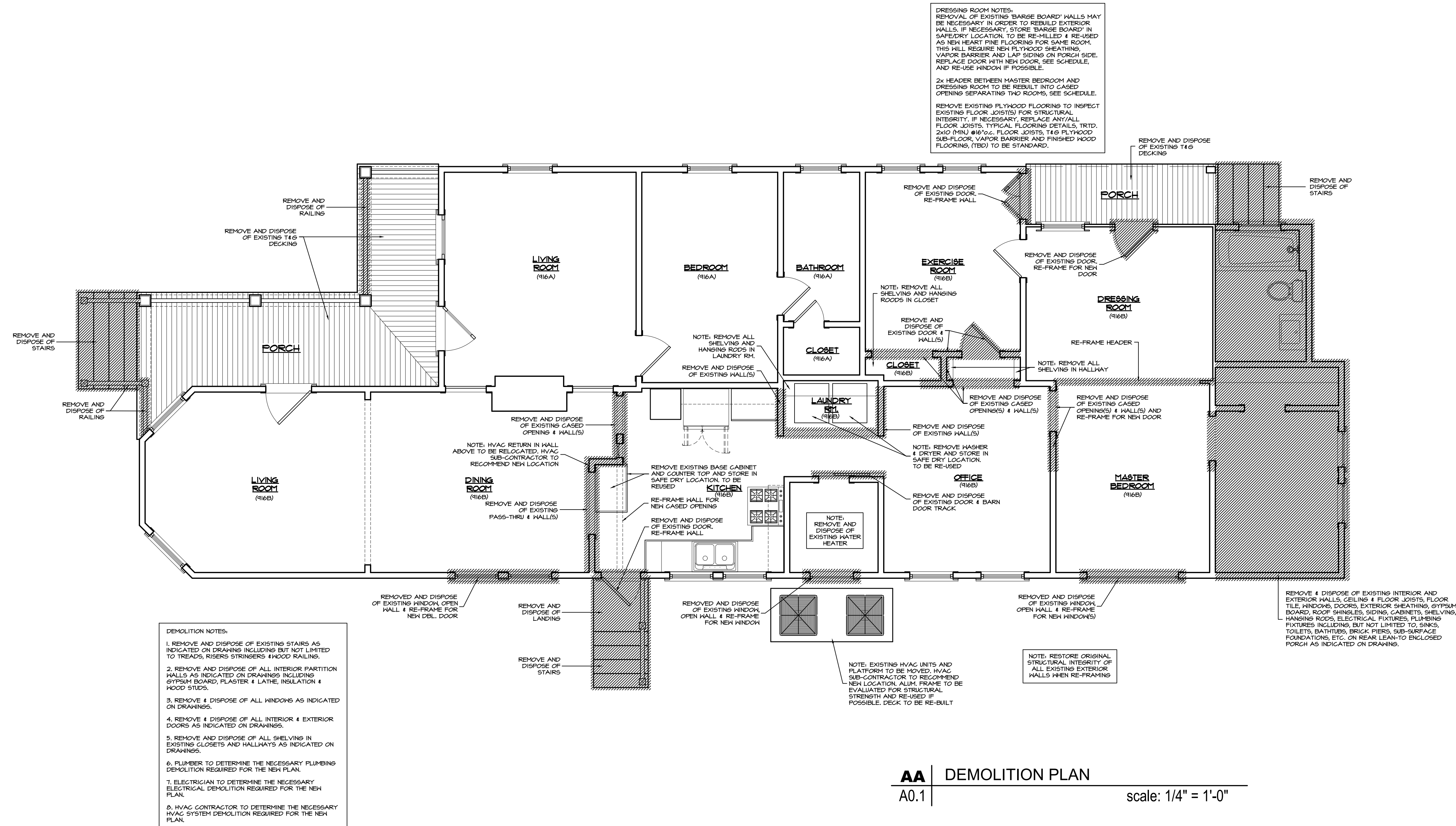
A1.0

AA | SITE PLAN
A1.0

scale: 3/16" = 1'-0"

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no.	date	comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name	Demolition Plan
date drawn	April 18, 2024
drawn by	adp
reviewed by	adp

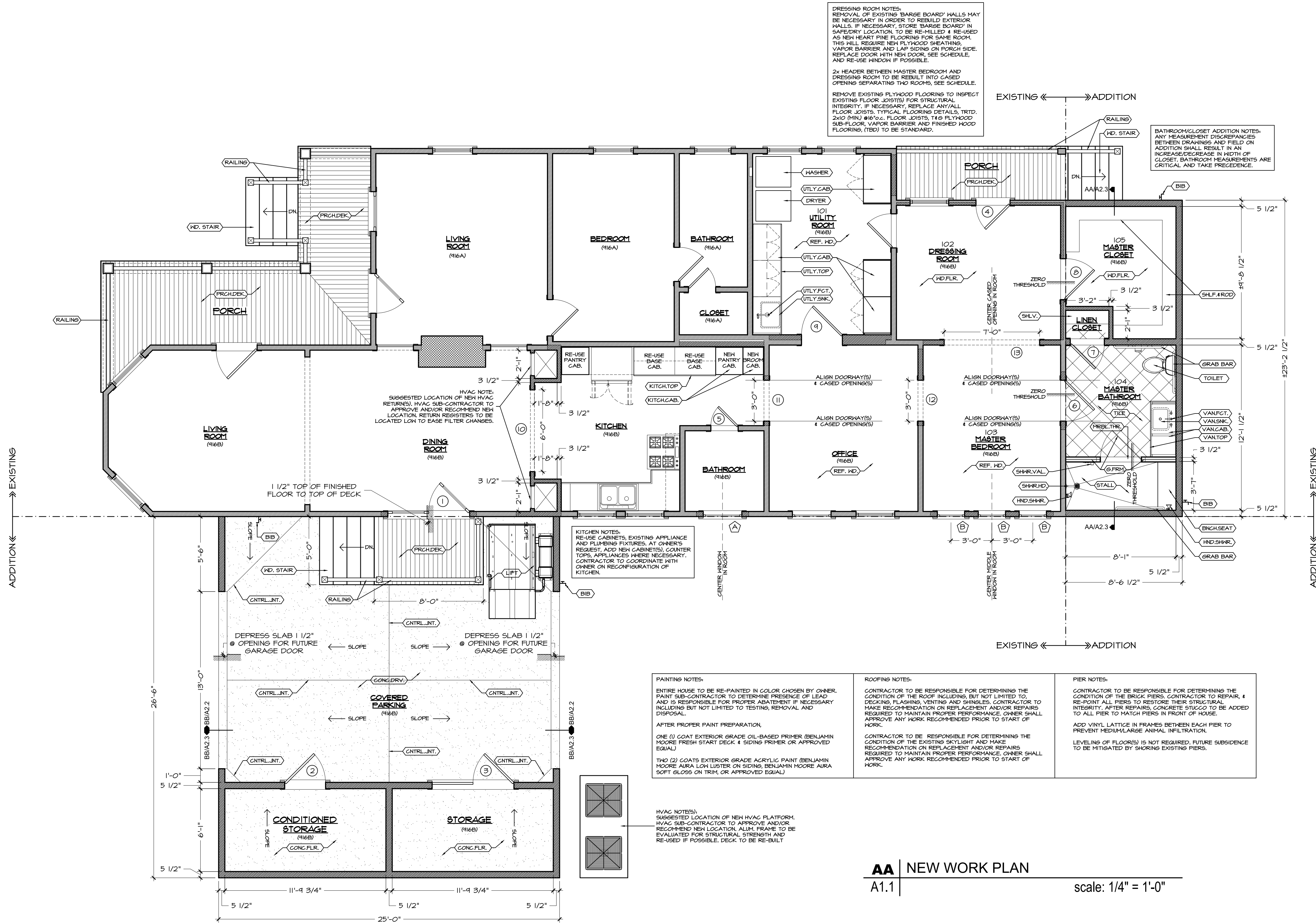


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AA | NEW WORK PLAN
A1.1 | scale: 1/4" = 1'-0"

- GENERAL NOTES:**
- INSPECT ALL EXPOSED WOOD STUDS, BEAMS AND SILLS AND REPAIR OR REPLACE IF NECESSARY TO RESTORE THE HOUSE'S ORIGINAL STRUCTURAL INTEGRITY.
 - RE-FRAME FOR NEW DOORS/WINDOWS AS INDICATED ON PLANS.
 - INSTALL R-15 FIBERGLASS BATT INSULATION AT EACH STUD CAVITY WHEN POSSIBLE. STAPLE KRAFT SIDE TO THE EXTERIOR SIDE OF STUDS.
 - INSTALL EXPANDABLE FOAM INSULATION AROUND ALL NEW DOOR AND WINDOW JAMBS.
 - INSTALL JAMES HARDIE FIBER CEMENT SIDING w/ 4 1/2" EXPOSURE. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
 - INSTALL JAMES HARDIE FIBER CEMENT 1" TRIM. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.
 - CAULK AT ALL JOINTS

(BIB)	HOSE BIB	(HARDI.TRIM)	1 1/4" JAMES HARDIE TRIM (WIDTH VARIES)	(RAILING)	TRTD. RAILINGS INCLUDING HANDRAIL, BALUSTERS) & BOTTOM RAIL MATCH EXISTING	(UTLY.CAB)	UTILITY CABINET(S) STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(BENCHSEAT)	TILED BENCH SEAT	(HND.SHWR)	HAND-HELD SHOWER HEAD SEE PLUMBING SCHEDULE	(RDB.VENT)	SHINGLE RIDGE VENT MATCH EXISTING	(UTLY.FCT)	UTILITY FAUCET. SEE PLUMBING SCHEDULE.
(CONC.DRV)	CONCRETE DRIVEWAY LIGHT BROOM FINISH	(KITCH.CAB)	CUSTOM KITCHEN CABINETS, STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.	(REF. KD)	REPAIR, PATCH & REFINISH EXISTING HOOD FLOOR	(UTLY.SNK)	UTILITY SINK. SEE PLUMBING SCHEDULE.
(CONC.FLR)	CONCRETE FLR. LIGHT BROOM FINISH	(KITCH.TOP)	KITCHEN COUNTERTOP TO BE CHOSEN BY OWNER.	(SHNSL)	ARCHITECTURAL ASPHALT SHINGLE MATCH EXISTING (TYP)	(UTLY.TOP)	UTILITY COUNTERTOP. TO BE CHOSEN BY OWNER.
(CMU.PIER)	CONCRETE MASONRY UNIT PIER w/ APPLIED STUCCO	(LAP.SIDNG)	HARDIEPLANK 6 1/4"x5/16" SMOOTH LAP SIDING w/ 4 1/2" EXPOSURE, SMOOTH	(SHLV)	BUILT-IN CLOSET SHELVES, 3/4" FURNITURE GRADE PLYWOOD w/ 3/4"x1 1/2" POPLAR EDGEBAND	(VAN.CAB)	CUSTOM VANITY CABINETS, STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(CNTR.TOP)	CUSTOM COUNTERTOP. TO BE CHOSEN BY OWNER.	(LAT.PNL)	VINYL LATTICE PANEL & FRAME	(SHLF.4ROD)	WOOD SHELF/SHELVING & HANGING ROD(S)	(VAN.FCT)	VANITY FAUCET. SEE PLUMBING SCHEDULE.
(CNTR.JNT)	CONTROL JOINT	(LIFT)	WHEEL CHAIR LIFT	(SHWR.HD)	SHOWER HEAD. SEE PLUMBING SCHEDULE	(VAN.SNK)	VANITY SINK. SEE PLUMBING SCHEDULE.
(DRYER)	GAS DRYER. SEE APPLIANCE SCHEDULE.	(MRBL.THR)	MARBLE THRESHOLD TO MATCH ADJACENT TILE	(SHWR.VAL)	SHOWER VALVE/DIVERTER CONTROL. SEE PLUMBING SCHEDULE	(VAN.TOP)	VANITY COUNTERTOP. TO BE CHOSEN BY OWNER.
(DNNSPT)	ALUM. DOWNSPUT EXISTING	(NEHL.PST)	TRTD. NEHL POST w/ TRTD. HD. CAP	(STAL)	TILED SHOWER STALL	(WASHER)	WASHING MACHINE. RE-USE EXISTING
(FRFR)	FRAMLESS GLASS SHOWER SURROUND AND DOOR	(OUTLT)	OUTDOOR GOOSENECK BARN LIGHT AGLIGHTING HCL #AGLXLS-425, BRONZE	(TILE)	CERAMIC or MARBLE TILE TO BE CHOSEN BY OWNER.	(HD.FLR)	HOOD FLOORING MATCH EXISTING
(GRAB BAR)	ADA ACCES. GRAB BAR	(PLDN.STR)	HEAVY-DUTY ALUM. PULL DOWN STAIR	(TOILET)	TOILET. SEE PLUMBING SCHEDULE	(HD.STAIR)	TRTD. WOOD STAIR
(GUTTER)	ALUM. K' STYLE GUTTER MATCH EXISTING	(PRCH.DEK)	DOUBLE SIDED PORCH PLANK				

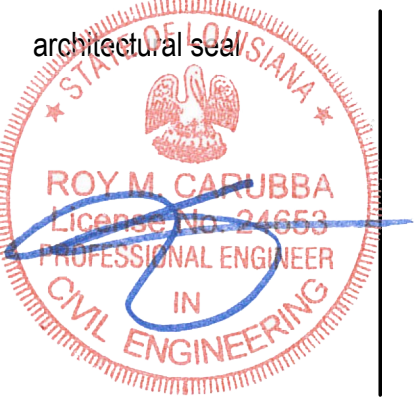
WALL LEGEND

(Pattern)	EXISTING HALL
(Pattern)	NEW 2x STUD WALL

no. date comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name New Work Plan
date drawn April 18, 2024
drawn by adp
reviewed by adp

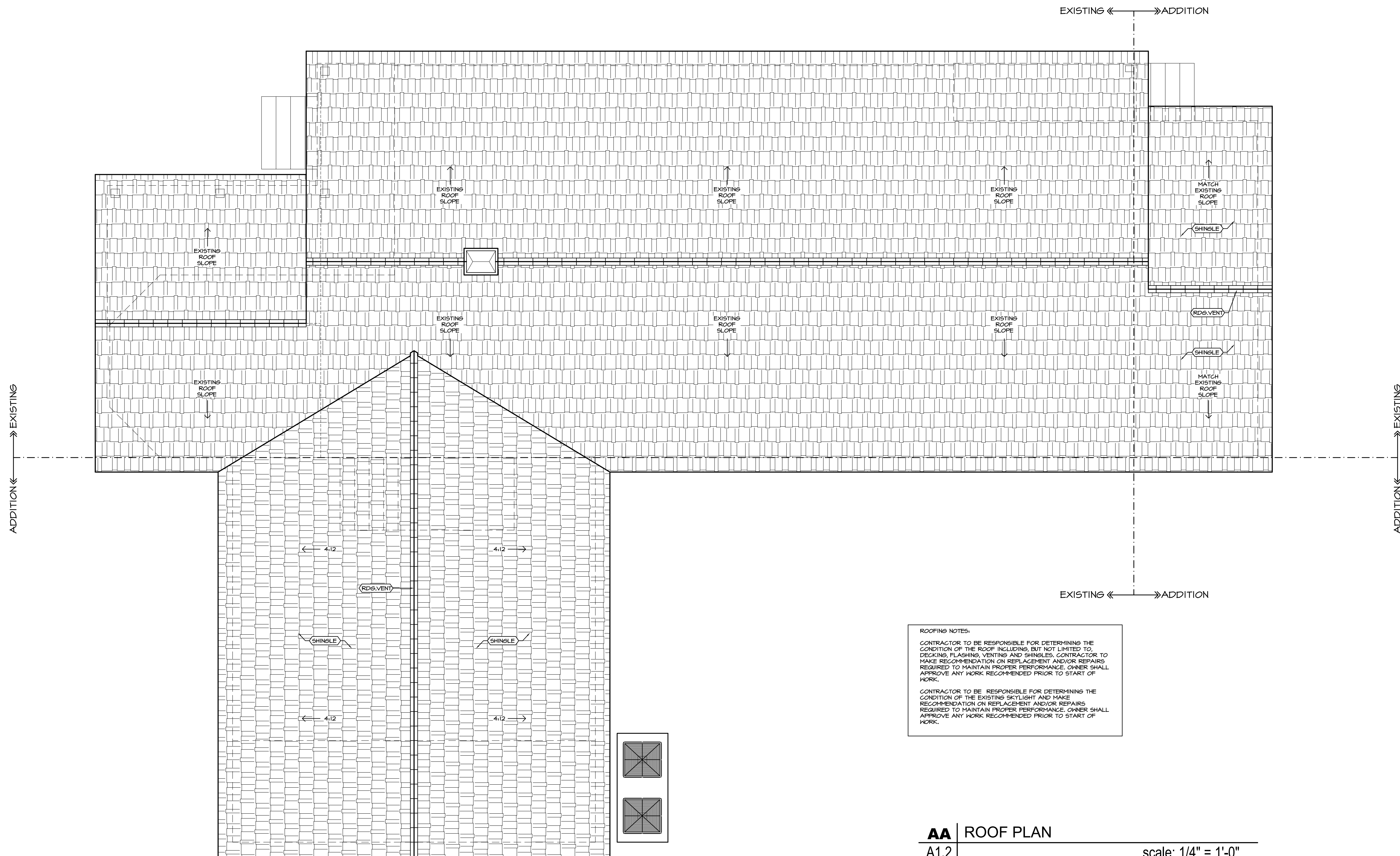


sheet number

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ROOFING NOTES:
CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE ROOF INCLUDING, BUT NOT LIMITED TO, DECKING, FLASHING, VENTING AND SHINGLES. CONTRACTOR TO MAKE RECOMMENDATION ON REPLACEMENT AND/OR REPAIRS REQUIRED TO MAINTAIN PROPER PERFORMANCE. OWNER SHALL APPROVE ANY WORK RECOMMENDED PRIOR TO START OF WORK.
CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE EXISTING SKYLIGHT AND MAKE RECOMMENDATION ON REPLACEMENT AND/OR REPAIRS REQUIRED TO MAINTAIN PROPER PERFORMANCE. OWNER SHALL APPROVE ANY WORK RECOMMENDED PRIOR TO START OF WORK.

AA ROOF PLAN
A1.2 | scale: 1/4" = 1'-0"

(BIB)	HOSE BIB	(HARDI.TRIM)	1/4" JAMES HARDIE TRIM (WIDTH VARIES)	(RAILING)	TRTD. RAILING INCLUDING HANDRAIL, BALUSTERS) & BOTTOM RAIL MATCH EXISTING	(UTLY.CAB)	UTILITY CABINET(S) STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(BENCH SEAT)	TILED BENCH SEAT	(IND.SHWR)	HAND-HELD SHOWER HEAD SEE PLUMBING SCHEDULE	(RIDGE.VENT)	SHINGLE RIDGE VENT MATCH EXISTING	(UTLY.FCT)	UTILITY FACKET SEE PLUMBING SCHEDULE.
(CONC.DRYW)	CONCRETE DRIVEWAY LIGHT BROOM FINISH	(KITCH.CAB)	CUSTOM KITCHEN CABINETS, STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.	(REF.WD)	REPAIR, PATCH & REFINISH EXISTING WOOD FLOOR	(UTLY.SNK)	UTILITY SINK SEE PLUMBING SCHEDULE.
(CONC.FLR)	CONCRETE FLR LIGHT BROOM FINISH	(KITCH.TOP)	KITCHEN COUNTERTOP TO BE CHOSEN BY OWNER.	(SHINGLE)	ARCHITECTURAL ASPHALT SHINGLE MATCH EXISTING (TYP.)	(UTLY.TOP)	UTILITY COUNTERTOP TO BE CHOSEN BY OWNER.
(CMU PIER)	CONCRETE MASONRY UNIT PIER W/ APPLIED STUCCO	(LAP.SIDING)	HARDIEPLANK, 6 1/4"x5/16" SMOOTH LAP SIDING W/ 4 1/2" EXPOSURE, SMOOTH	(SHELV)	BUILT-IN CLOSET SHELVES, 3/4" FURNITURE GRADE PLYWOOD W/ 3/4"x1 1/2" POPLAR EDGE BAND	(VAN.CAB)	CUSTOM VANITY CABINETS, STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(CNTR.TOP)	CUSTOM COUNTERTOP TO BE CHOSEN BY OWNER.	(LAT.PNL)	VINYL LATTICE PANEL & FRAME	(SHLF. & ROD)	WOOD SHELF/SHELVING & HANGING ROD(S)	(VAN.FCT)	VANITY FACKET SEE PLUMBING SCHEDULE.
(CNTRL.JNT)	CONTROL JOINT	(LIFT)	WHEEL CHAIR LIFT	(SHWR.HD)	SHOWER HEAD, SEE PLUMBING SCHEDULE	(VAN.SNK)	VANITY SINK SEE PLUMBING SCHEDULE.
(DRYER)	GAS DRYER, SEE APPLIANCE SCHEDULE.	(MRBL.THR)	MARBLE THRESHOLD TO MATCH ADJACENT TILE	(SHWR.VAL)	SHOWER VALVE/DIVERTER CONTROL SEE PLUMBING SCHEDULE	(VAN.TOP)	VANITY COUNTERTOP TO BE CHOSEN BY OWNER.
(DWN.SPT)	ALUM. DOWNSPOUT MATCH EXISTING	(NEHL.PST)	TRTD. NEHEL POST W/ TRTD. HD. CAP	(STALL)	TILED SHOWER STALL	(WASHER)	WASHING MACHINE, RE-USE EXISTING
(GRN)	FRAMLESS GLASS SHOWER SURROUND AND DOOR	(OUT.LT)	OUTDOOR GOOSENECK BARN LIGHT AQLIGHTING MCL. #AGCLXS-425, BRONZE	(TILE)	CERAMIC or MARBLE TILE TO BE CHOSEN BY OWNER.	(HD.FLR)	WOOD FLOORING MATCH EXISTING
(GRAB BAR)	ADA ACCES. GRAB BAR	(PLDN.STR)	HEAVY-DUTY ALUM. FULL DOWN STAIR	(TOILET)	TOILET, SEE PLUMBING SCHEDULE	(HD. STAIR)	TRTD. WOOD STAIR
(GUTTER)	ALUM. K' STYLE GUTTER MATCH EXISTING	(PRCH.DCK)	AERATIS HERITAGE - DOUBLE SIDED PORCH PLANK				

no. date comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name Roof Plan
date drawn April 18, 2024
drawn by adp
reviewed by adp

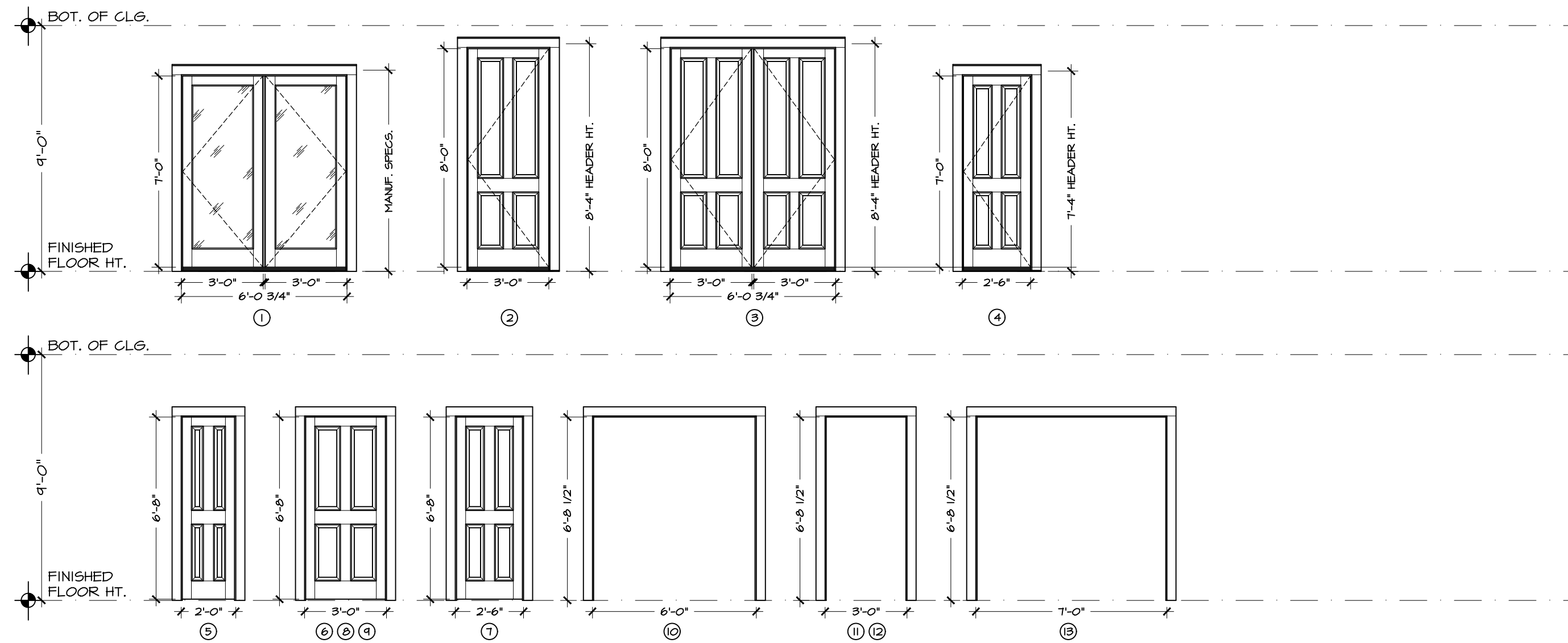


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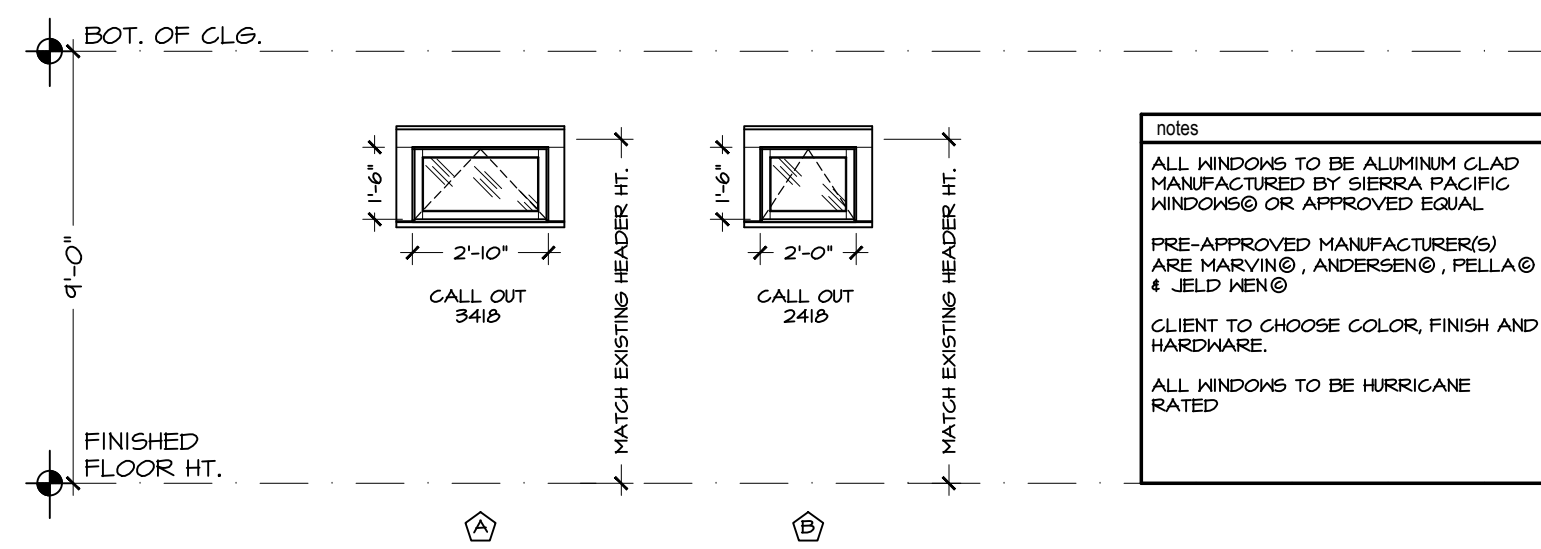
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opening schedule		rough opening	jamb	hand	bone	exterior casing	interior casing	remarks	
EXTERIOR	1	6'-0"x7'-0"x1/4" ALUMINUM GLAD HOOD, 1 LITE, DBL. DOOR UNIT	SEE MANUF. SPECS	SEE MANUF. SPECS	RIGHT ACTIVE OPEN-IN	DBL.	5/4"x4" HARDIE TRIM	1x4 S45, BUTT GRNR.	SIERRA PACIFIC ALUMINUM GLAD HOOD DOUBLE DOOR UNIT, TEMP. I.G., LOW-E GLASS, COLOR AND HARDWARE TBD OR APPROVED EQUAL
	2	3'-0"x6'-0"x1/4" FIBERGLASS, 4-PANEL, DOOR UNIT	3'-2 1/2" X 6'-4"	6-5/8" PVC COMPOSITE OF TRTD, EXTERIOR JAMB	LH	DBL.	5/4"x4" HARDIE TRIM	1x4 S45, BUTT GRNR.	MASONITE 4-PANEL SMOOTH FIBERGLASS DOOR UNIT, HARDWARE TBD OR APPROVED EQUAL
	3	6'-0"x6'-0"x1/4" FIBERGLASS, 4-PANEL, DBL. DOOR UNIT	3'-2 1/2" X 6'-4"	6-5/8" PVC COMPOSITE OF TRTD, EXTERIOR JAMB	RHA	DBL.	5/4"x4" HARDIE TRIM	1x4 S45, BUTT GRNR.	MASONITE 4-PANEL SMOOTH FIBERGLASS DOUBLE DOOR UNIT, HARDWARE TBD OR APPROVED EQUAL
	4	2'-6"x7'-0"x1/4" ALUMINUM GLAD HOOD, 4 PNL. DOOR UNIT	SEE MANUF. SPECS	SEE MANUF. SPECS	LEFT HAND OPEN-IN	DBL.	5/4"x4" HARDIE TRIM	1x4 S45, BUTT GRNR.	SIERRA PACIFIC ALUMINUM GLAD HOOD DOUBLE DOOR UNIT, COLOR AND HARDWARE TBD OR APPROVED EQUAL
INTERIOR	5	2'-0"x6'-8"x1/8" 4-PNL. HOOD DOOR UNIT	2'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	RH	SNGL.	N/A	1x4 S45, BUTT GRNR.	
	6	3'-0"x6'-8"x1/8" 4-PNL. HOOD DOOR UNIT	3'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	LH	SNGL.	N/A	1x4 S45, BUTT GRNR.	
	7	2'-6"x6'-0"x1/8" 4-PNL. HOOD DOOR UNIT	2'-6 1/2" X 7'-2 1/2"	6-5/8" FJP FLAT JAMB	RH	SNGL.	N/A	1x4 S45, BUTT GRNR.	
	8	3'-0"x6'-8"x1/8" 4-PNL. HOOD DOOR UNIT	3'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	RH	SNGL.	N/A	1x4 S45, BUTT GRNR.	
	9	3'-0"x6'-8"x1/8" 4-PNL. HOOD DOOR UNIT	3'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	RH	SNGL.	N/A	1x4 S45, BUTT GRNR.	
	10	6'-0"x6'-8" CUSTOM CASED OPENING	6'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	N/A	N/A	N/A	1x4 S45, BUTT GRNR.	
	11	3'-0"x6'-8" CUSTOM CASED OPENING	3'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	N/A	N/A	N/A	1x4 S45, BUTT GRNR.	
	12	3'-0"x6'-8" CUSTOM CASED OPENING	3'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	N/A	N/A	N/A	1x4 S45, BUTT GRNR.	
	13	7'-0"x6'-8" CUSTOM CASED OPENING	7'-2 1/2" X 7'-2 1/2"	4-5/8" FJP FLAT JAMB	N/A	N/A	N/A	1x4 S45, BUTT GRNR.	

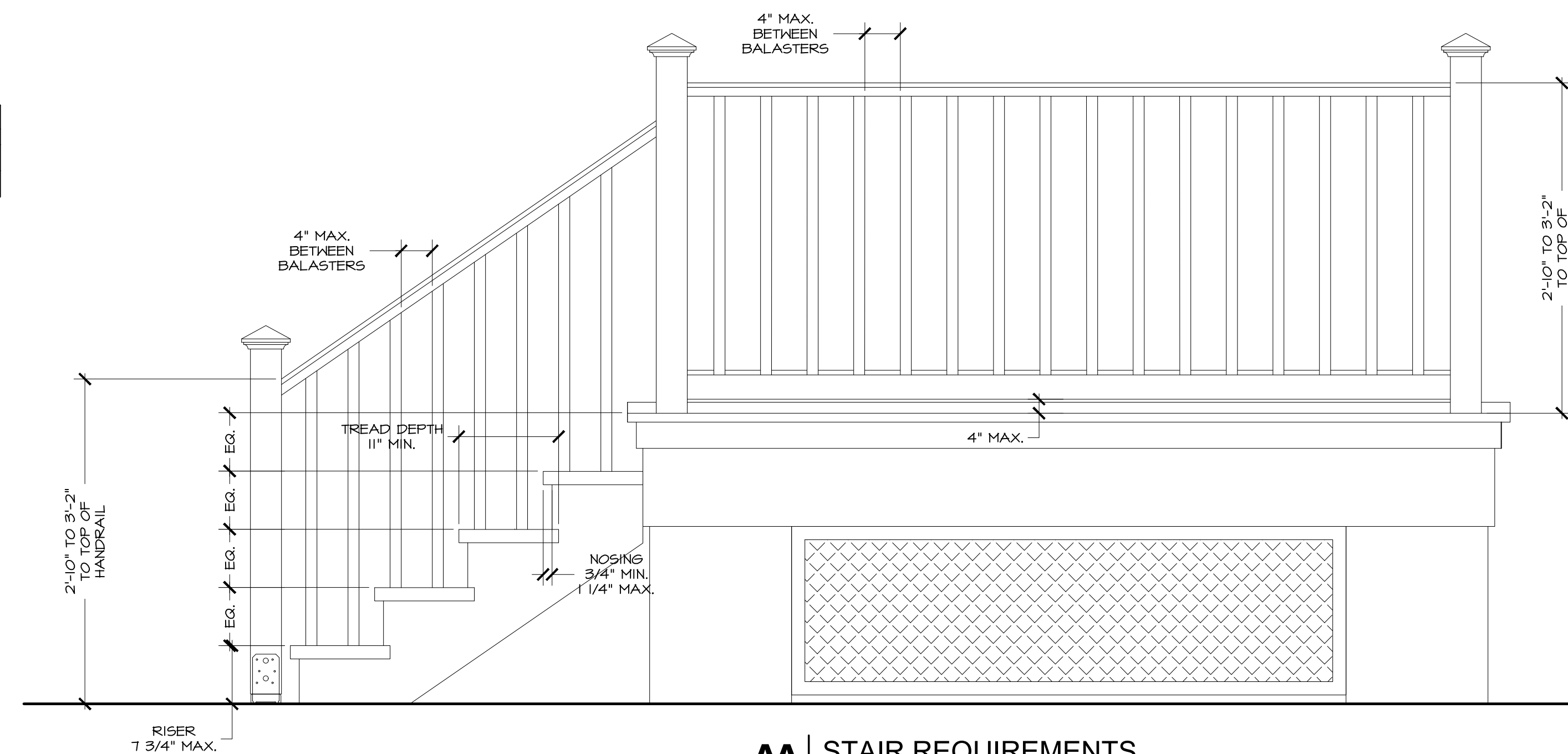
2021 INTERNATIONAL RESIDENTIAL CODE (IRC) - STAIRS:

- VERTICAL RISE: A SINGLE FLIGHT OF STAIRS CAN'T HAVE A VERTICAL RISE GREATER THAN 12 FT 7 IN (3835 MM OR 151 IN) BETWEEN LANDINGS OR FLOOR LEVELS. HOWEVER, THERE ARE EXCEPTIONS FOR STAIRS THAT AREN'T IN A BUILDING, PORCH, OR DECK, STAIRS TO CRAWL SPACES, AND STAIRS TO NON-HABITABLE ATTICS.
- MINIMUM WIDTH: RESIDENTIAL STAIRS MUST BE AT LEAST 36 IN WIDE.
- HANDRAIL PROJECTION: THE MAXIMUM HANDRAIL PROJECTION IS 4.5 IN ON EACH SIDE.
- TREAD DEPTH: THE MINIMUM TREAD DEPTH IS 10 IN WITH NOSING, OR 11 IN WITHOUT NOSING.
- NOSING: THE MAXIMUM NOSING IS 1.25 IN, AND THE MINIMUM IS 3/4 IN OR 11 IN TREAD.
- RISER HEIGHT: THE MAXIMUM RISER HEIGHT IS 7.75 IN, AND IT CAN'T VARY MORE THAN 3/8 IN.
- HEADROOM: THE MINIMUM HEADROOM IS 6 FT 8 IN.
- STAIRWAY WIDTH: THE CLEAR WIDTH OF STAIRS AT AND BELOW THE HANDRAIL HEIGHT IS AT LEAST 31.5 IN (787 MM) IF THERE'S A HANDRAIL ON ONE SIDE, OR 27 IN (688 MM) IF THERE ARE HANDRAILS ON BOTH SIDES.
- HANDRAIL HEIGHT, OUTDOOR STAIR HANDRAILS MUST COMPLY WITH ALL THE GENERAL IRC HANDRAIL REQUIREMENTS FOUND IN SECTION R311.7.8 HANDRAILS, HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
- HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM).
- GUARDRAIL IS REQUIRED FOR ANY PLATFORM 4 FEET OR HIGHER ABOVE A LOWER FLOOR OR THE GROUND. GUARDRAILS ARE REQUIRED HAVE VERTICAL HEIGHTS OF 42 INCHES FROM THE UPPER SURFACE OF THE TOP RAIL TO FLOOR, PLATFORM, RUNWAY, OR RAMP LEVEL.



notes
ALL WINDOWS TO BE ALUMINUM GLAD MANUFACTURED BY SIERRA PACIFIC HINGED OR APPROVED EQUAL.
PRE-APPROVED MANUFACTURER(S) ARE MARVIN®, ANDERSEN®, PELLA® & JELD-RENO
CLIENT TO CHOOSE COLOR, FINISH AND HARDWARE.
ALL WINDOWS TO BE HURRICANE RATED

opening schedule - windows		rough opening	egress	glazing	divided lights	exterior casing	interior casing	remarks
A	2'-10"x6'-0" ALUM. GLAD HOOD ANNING WINDOW	SEE MANUF. SPECS	NO	I.G. LOW -E	N/A	5/4"x4" HARDIE TRIM	1x4 S45, BUTT GRNR.	SIERRA PACIFIC ALUMINUM GLAD HOOD WINDOW, FEEL SAFE ANNING w/o SCREENS
B	2'-0"x6'-0" ALUM. GLAD HOOD ANNING WINDOW	SEE MANUF. SPECS	NO	I.G. LOW -E	N/A	5/4"x4" HARDIE TRIM	1x4 S45, BUTT GRNR.	SIERRA PACIFIC ALUMINUM GLAD HOOD WINDOW, FEEL SAFE ANNING w/o SCREENS



AA STAIR REQUIREMENTS

A1.3

scale: 1" = 1'-0"

no. date comment

Aprill Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name Door & Window Schedule
Stair Requirements
date drawn April 18, 2024
drawn by adp
reviewed by adp

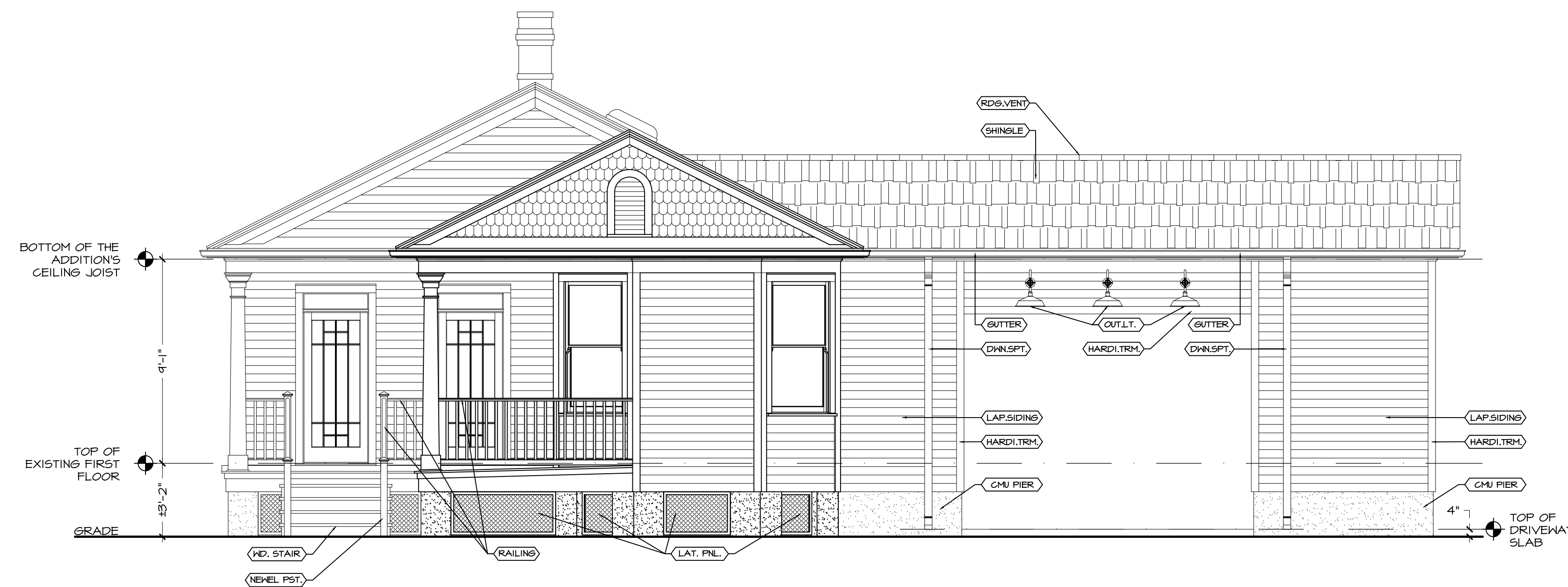


sheet number

A1.3

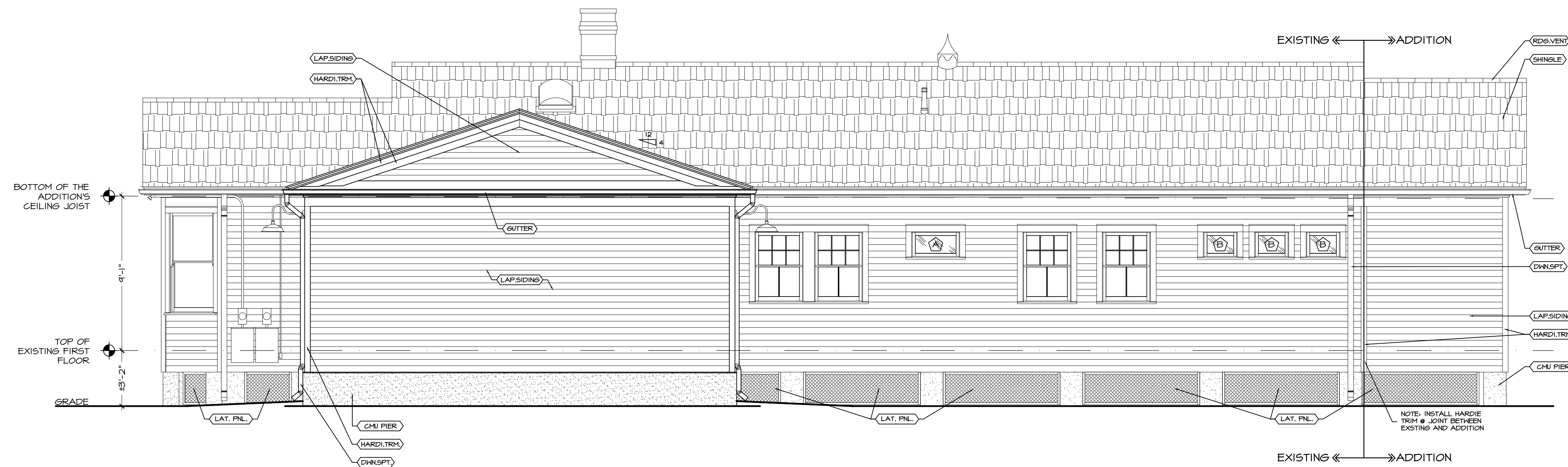
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AA FRONT ELEVATION
A2.1 scale: 1/4" = 1'-0"

PAINTING NOTES:	ROOFING NOTES:	PIER NOTES:
ENTIRE HOUSE TO BE RE-PAINTED IN COLOR CHOSEN BY OWNER. PAINT SUB-CONTRACTOR TO DETERMINE PRESENCE OF LEAD AND IS RESPONSIBLE FOR PROPER ABATEMENT IF NECESSARY INCLUDING BUT NOT LIMITED TO TESTING, REMOVAL AND DISPOSAL. AFTER PROPER PAINT PREPARATION: ONE (1) COAT EXTERIOR GRADE OIL-BASED PRIMER (BENJAMIN MOORE FRESH START DECK & SIDING PRIMER OR APPROVED EQUAL) TWO (2) COATS EXTERIOR GRADE ACRYLIC PAINT (BENJAMIN MOORE AURA LOW LUSTER OR SIDING, BENJAMIN MOORE AURA SOFT GLOSS ON TRIM, OR APPROVED EQUAL)	CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE ROOF INCLUDING BUT NOT LIMITED TO, DECKING, FLASHING, VENTING AND SHINGLES. CONTRACTOR TO MAKE RECOMMENDATION ON REPLACEMENT AND/OR REPAIRS REQUIRED TO MAINTAIN PROPER PERFORMANCE. OWNER SHALL APPROVE ANY WORK RECOMMENDED PRIOR TO START OF WORK. CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE EXISTING SKYLIGHT AND MAKE RECOMMENDATION ON REPLACEMENT AND/OR REPAIRS REQUIRED TO MAINTAIN PROPER PERFORMANCE. OWNER SHALL APPROVE ANY WORK RECOMMENDED PRIOR TO START OF WORK.	CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE BRICK PIERS. CONTRACTOR TO REPAIR, & RE-POINT ALL PIERS TO RESTORE THEIR STRUCTURAL INTEGRITY. AFTER REPAIRS, CONCRETE STUCCO TO BE ADDED TO ALL PIER TO MATCH PIERS IN FRONT OF HOUSE. ADD VINYL LATTICE IN FRAMES BETWEEN EACH PIER TO PREVENT MEDIUM-LARGE ANIMAL INFILTRATION. LEVELING OF FLOOR(S) IS NOT REQUIRED. FUTURE SUBSIDENCE TO BE MITIGATED BY SHORING EXISTING PIERS.



BB RIGHT ELEVATION
A2.1 scale: 1/4" = 1'-0"

(BIB) HOSE BIB	(HARDI.TRM) 1 1/4" JAMES HARDIE TRIM (WIDTH VARIES)	(RAILING) TRTD. RAILING INCLUDING HANDRAIL, BALUSTERS) & BOTTOM RAIL MATCH EXISTING	(RD&V) SHINGLE RIDGE VENT MATCH EXISTING	(UTLY.CAB) UTILITY CABINETS). STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(BENCHSEAT) TILED BENCH SEAT	(HND.SHR) HAND-HELD SHOWER HEAD SEE PLUMBING SCHEDULE	(REF.FLD) REPAIR, PATCH & REFINISH EXISTING HOOD FLOOR	(SHINGLE) ARCHITECTURAL ASPHALT SHINGLE MATCH EXISTING (TYP.)	(UTLY.FCT) UTILITY FAUCET, SEE PLUMBING SCHEDULE.
(CONC.DRV.) CONCRETE DRIVEWAY LIGHT BROOM FINISH	(KITCHLAB) CUSTOM KITCHEN CABINETS, STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.	(SHLV) BUILT-IN CLOSET SHELVES, 3/4" FURNITURE GRADE FLYWOOD w/ 3/4"x1 1/2" POPLAR EDGEBOARD	(SHDR.HD) SHOWER HEAD, SEE PLUMBING SCHEDULE	(UTLY.SNK) UTILITY SINK, SEE PLUMBING SCHEDULE.
(CONC.FLR.) CONCRETE FLR. LIGHT BROOM FINISH	(KITCHTOP) KITCHEN COUNTERTOP, TO BE CHOSEN BY OWNER.	(SHLF.RCD) HOOD SHELF/SHELVING & HANGING ROD(S)	(SHDR.VL) SHOWER VALVE/DIVERTER CONTROL, SEE PLUMBING SCHEDULE	(UTLY.TOP) UTILITY COUNTERTOP, TO BE CHOSEN BY OWNER.
(CHU PIER) CONCRETE MASONRY UNIT PIER w/ APPLIED STUCCO	(LAP.SIDING) HARDIE PLANK & 1/4"x5/8" SMOOTH LAP SIDING w/ 4 1/2" EXPOSURE, SMOOTH	(SHR.HD) SHOWER HEAD, SEE PLUMBING SCHEDULE	(STALL) TILED SHOWER STALL	(VAN.CAB) CUSTOM VANITY CABINETS, STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(CNTRTOP) CUSTOM COUNTERTOP, TO BE CHOSEN BY OWNER.	(LAT. PNL) VINYL LATTICE PANEL & FRAME	(SHR.VL) SHOWER VALVE/DIVERTER CONTROL, SEE PLUMBING SCHEDULE	(TILE) CERAMIC or MARBLE TILE TO BE CHOSEN BY OWNER.	(VAN.FCT) VANITY FAUCET, SEE PLUMBING SCHEDULE.
(CNTRL.JNT) CONTROL JOINT	(LIFT) WHEEL CHAIR LIFT	(SHR.VL) SHOWER VALVE/DIVERTER CONTROL, SEE PLUMBING SCHEDULE	(TOILET) TOILET, SEE PLUMBING SCHEDULE	(VAN.SNK) VANITY SINK, SEE PLUMBING SCHEDULE.
(DRYER) GAS DRYER, SEE APPLIANCE SCHEDULE.	(VRBL.TRM) MARBLE THRESHOLD TO MATCH ADJACENT TILE	(TRTD. HD. CAP) TRTD. NEHEL POST w/ TRTD. HD. CAP	(TRTD. HD. CAP) TRTD. NEHEL POST w/ TRTD. HD. CAP	(VAN.TOP) VANITY COUNTERTOP, TO BE CHOSEN BY OWNER.
(DWN.SPT) ALUM. DOWNSPOUT MATCH EXISTING	(NEHEL.PST) TRTD. NEHEL POST w/ TRTD. HD. CAP	(OUTLT.) OUTDOOR GOOSENECK BARN LIGHT AGLIGHTING HDL. #AGDLXS-425, BRONZE	(WASHER) WASHING MACHINE, RE-USE EXISTING	(HD.FLR.) HOOD FLOORING MATCH EXISTING
(FRM) FRAMELESS GLASS SHOWER SURROUND AND DOOR	(FLDN.STR) HEAVY-DUTY ALUM. FULL DOWN STAIR	(FRGALDEK) AERATIS HERITAGE DOUBLE SIDED PORCH PLANK	(HD. STAIR) TRTD. HOOD STAIR	
(GRAB BAR) ADA ACCES. GRAB BAR				
(GUTTER) ALUM. K' STYLE GUTTER MATCH EXISTING				

no. date comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name Elevations

date drawn April 18, 2024

drawn by adp

reviewed by adp

architectural seal sheet number

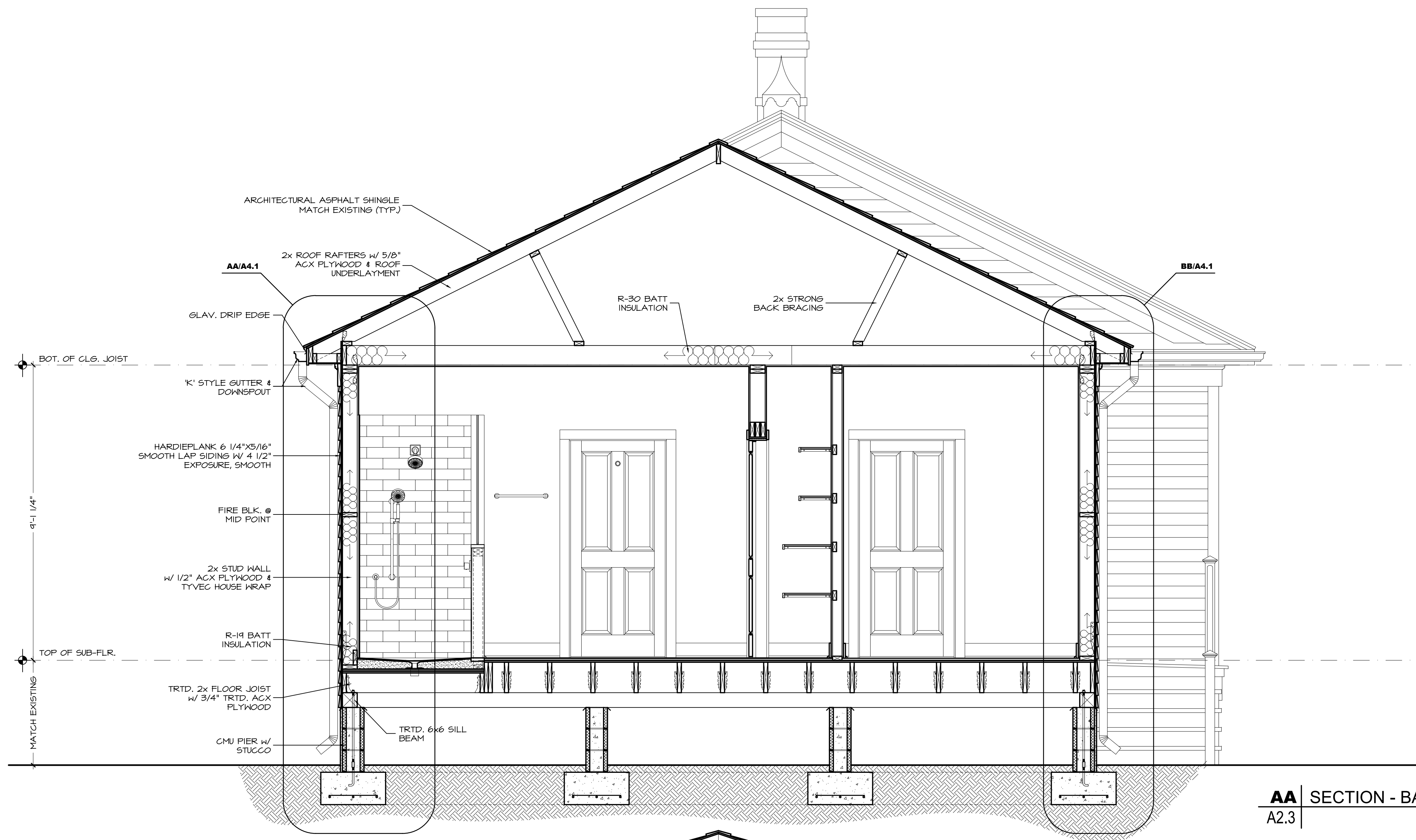


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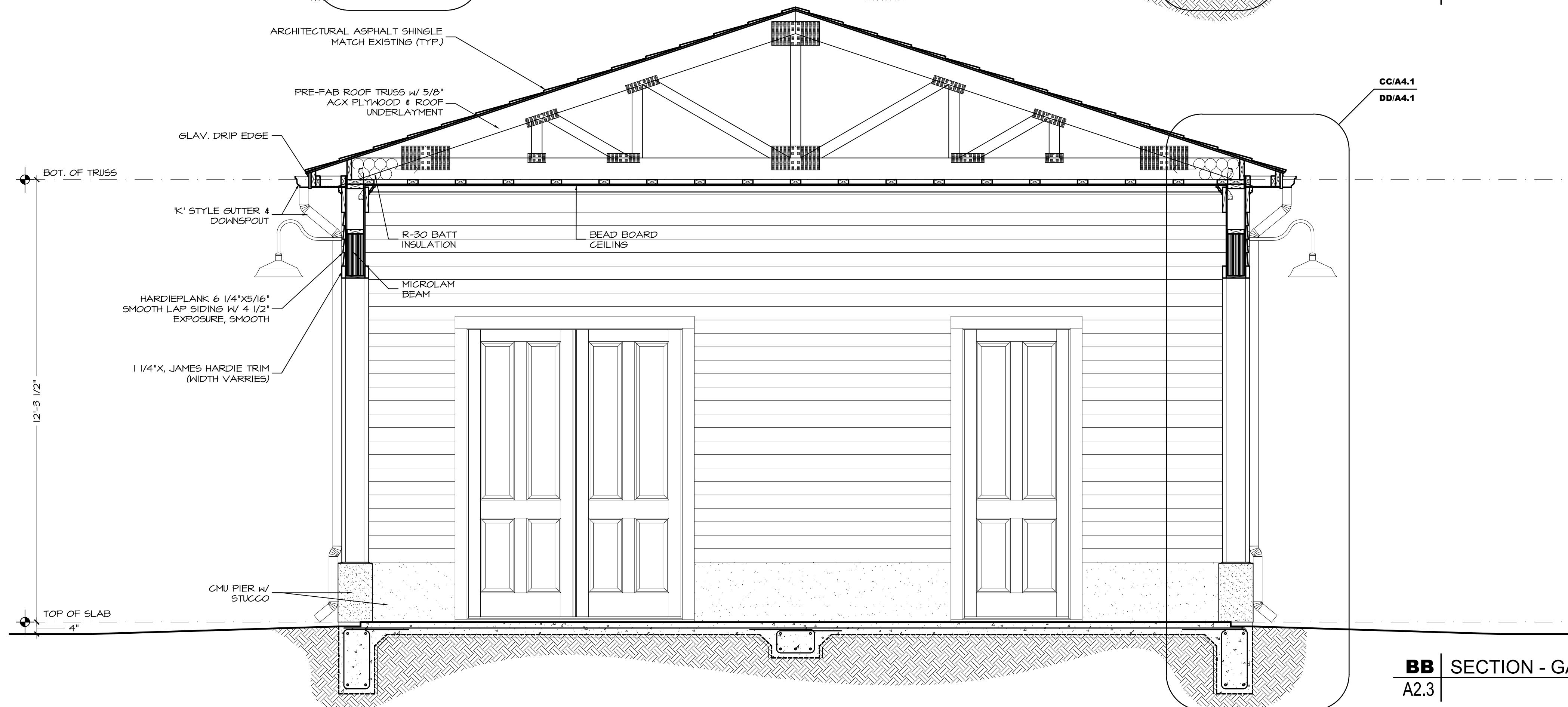
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AA SECTION - BATHROOM/CLOSET ADDITION
A2.3 | scale: 1/2"=1'-0"



BB SECTION - GARAGE ADDITION
A2.3 | scale: 1/2"=1'-0"

no.	date	comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name	Sections
date drawn	April 18, 2024
drawn by	adp
reviewed by	adp

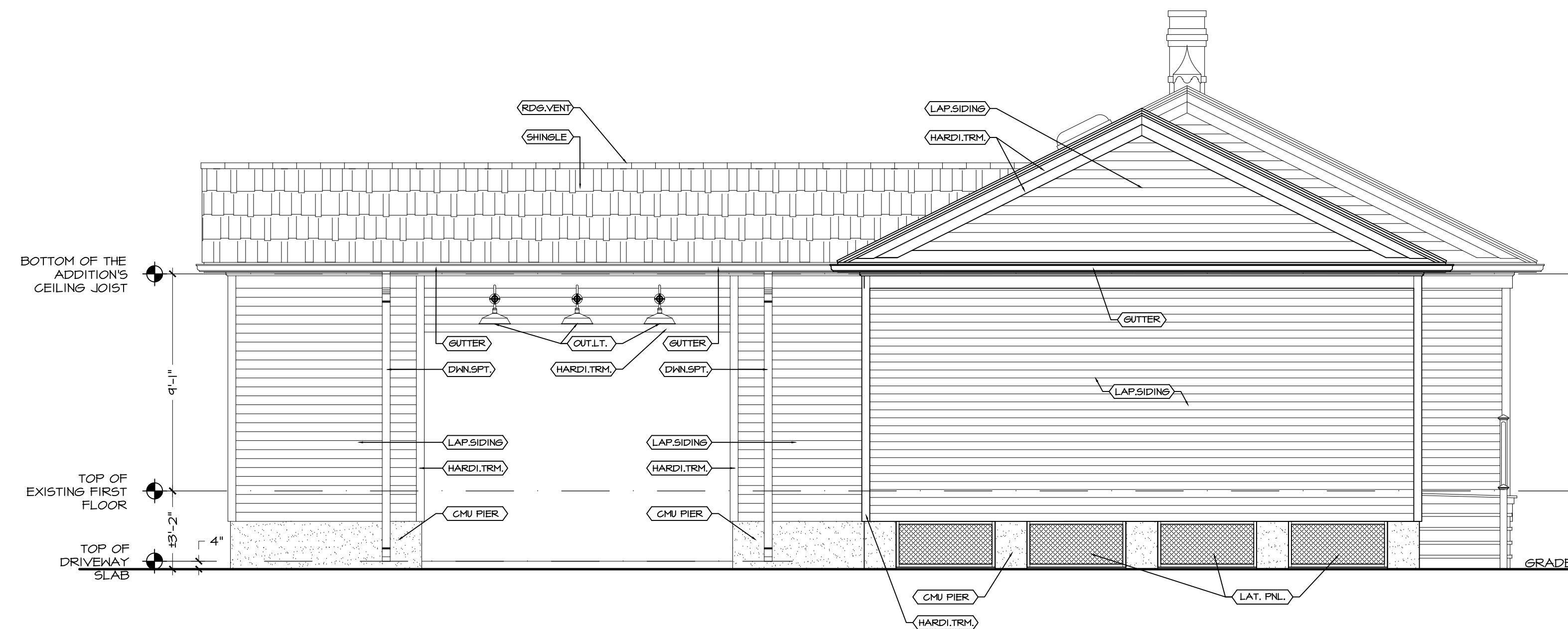


sheet number

A2.3

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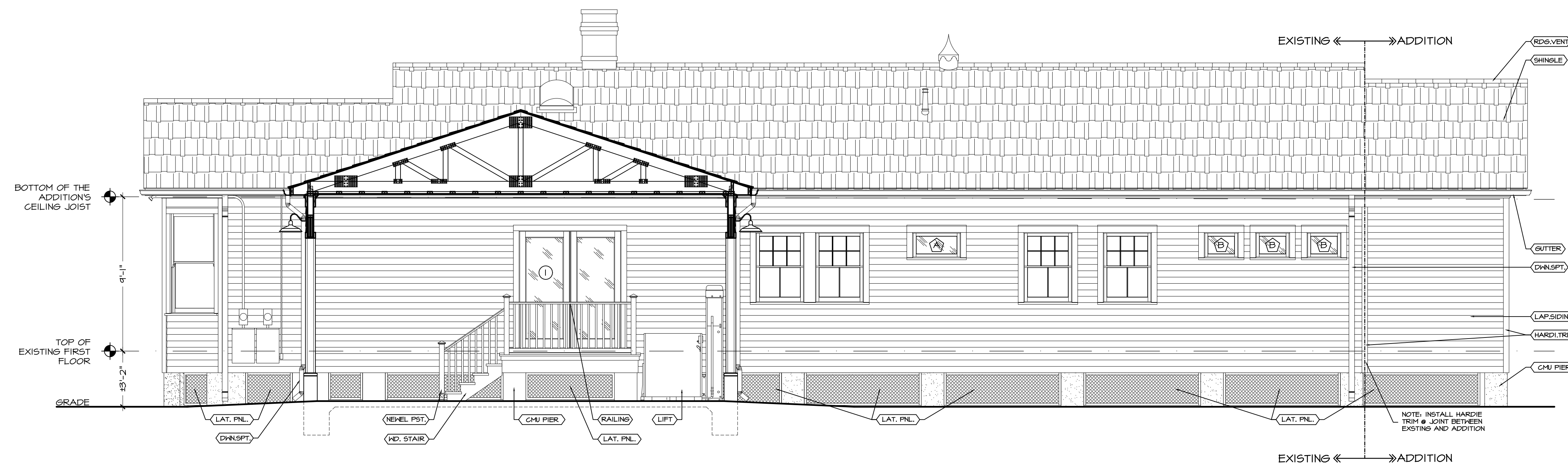


AA REAR ELEVATION
A2.2 | scale: 1/4" = 1'-0"

PAINTING NOTES:
ENTIRE HOUSE TO BE RE-PAINTED IN COLOR CHOSEN BY OWNER. PAINT SUB-CONTRACTOR TO DETERMINE PRESENCE OF LEAD AND IS RESPONSIBLE FOR PROPER ABATEMENT IF NECESSARY INCLUDING BUT NOT LIMITED TO TESTING, REMOVAL AND DISPOSAL.
AFTER PROPER PAINT PREPARATION:
ONE (1) COAT EXTERIOR GRADE OIL-BASED PRIMER (BENJAMIN MOORE FRESH START DECK & SIDING PRIMER OR APPROVED EQUAL)
TWO (2) COATS EXTERIOR GRADE ACRYLIC PAINT (BENJAMIN MOORE AURA LOW LUSTER ON SIDING, BENJAMIN MOORE AURA SOFT GLOSS ON TRIM OR APPROVED EQUAL)

ROOFING NOTES:
CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE ROOF INCLUDING, BUT NOT LIMITED TO, DECKING, FLASHING, VENTING AND SHINGLES. CONTRACTOR TO MAKE RECOMMENDATION ON REPLACEMENT AND/OR REPAIRS REQUIRED TO MAINTAIN PROPER PERFORMANCE. OWNER SHALL APPROVE ANY WORK RECOMMENDED PRIOR TO START OF WORK.
CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE EXISTING SETTLING AND MAKE RECOMMENDATION ON REPLACEMENT AND/OR REPAIRS REQUIRED TO MAINTAIN PROPER PERFORMANCE. OWNER SHALL APPROVE ANY WORK RECOMMENDED PRIOR TO START OF WORK.

PIER NOTES:
CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THE CONDITION OF THE BRICK PIERS. CONTRACTOR TO REPAIR, & RE-POINT ALL PIERS TO RESTORE THEIR STRUCTURAL INTEGRITY. AFTER REPAIRS, CONCRETE STUCCO TO BE ADDED TO ALL PIER TO MATCH PIERS IN FRONT OF HOUSE.
ADD VINYL LATTICE IN FRAMES BETWEEN EACH PIER TO PREVENT MEDIUM-LARGE ANIMAL INFILTRATION.
LEVELING OF FLOORS IS NOT REQUIRED. FUTURE SUBSIDENCE TO BE MITIGATED BY SHORING EXISTING PIERS.



BB RIGHT ELEVATION - SECTION
A2.2 | scale: 1/4" = 1'-0"

(BIB)	HOSE BIB	(HARDI.TRIM)	1 1/4" JAMES HARDIE TRIM (WIDTH VARIES)	(RAILING)	TRTD. RAILING INCLUDING HANDRAIL, BALUSTERS & BOTTOM RAIL. MATCH EXISTING	(UTLY.CAB)	UTILITY CABINETS) STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(ENCH.SEAT)	TILED BENCH SEAT	(HND.SHWR)	HAND-HELD SHOWER HEAD. SEE PLUMBING SCHEDULE	(RDG.VENT)	SHINGLE RIDGE VENT. MATCH EXISTING	(UTLY.FCT)	UTILITY FAUCET. SEE PLUMBING SCHEDULE.
(CONC.DRVY)	CONCRETE DRIVEWAY. LIGHT BROOM FINISH	(KITCH.CAB)	CUSTOM KITCHEN CABINETS. STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.	(REF.WD)	REPAIR PATCH & REFINISH EXISTING HOOD FLOOR	(UTLY.SNK)	UTILITY SINK. SEE PLUMBING SCHEDULE.
(CONC.FLR)	CONCRETE FLR. LIGHT BROOM FINISH	(KITCH.TOP)	KITCHEN COUNTERTOP. TO BE CHOSEN BY OWNER.	(SHINGLE)	ARCHITECTURAL ASPHALT SHINGLE. MATCH EXISTING (TYP)	(UTLY.TOP)	UTILITY COUNTERTOP. TO BE CHOSEN BY OWNER.
(G.M.U. PIER)	CONCRETE MASONRY UNIT PIER W/ APPLIED STUCCO	(LAP.SIDING)	HARDIE PLANK @ 1/4"X5/8" SMOOTH LAP SIDING W/ 4" (2" EXPOSURE, SMOOTH	(SHLV)	BUILT-IN CLOSET SHELVES, 3/4" FURNITURE GRADE PLYWOOD W/ 3/4"X1 1/2" POPLAR EDGEBAND	(VAN.CAB)	CUSTOM VANITY CABINETS. STYLE, COLOR & FINISH TO BE CHOSEN BY OWNERS.
(CNTR.TOP)	CUSTOM COUNTERTOP. TO BE CHOSEN BY OWNER.	(LAT. PNL)	VINYL LATTICE PANEL & FRAME	(SHLF.RCD)	HOOD SHELF/SHELVING & HANGING ROD(S)	(VAN.FCT)	VANITY FAUCET. SEE PLUMBING SCHEDULE.
(CNTR.JNT)	CONTROL JOINT	(LIFT)	WHEEL CHAIR LIFT	(SHWR.HD)	SHOWER HEAD. SEE PLUMBING SCHEDULE	(VAN.SNK)	VANITY SINK. SEE PLUMBING SCHEDULE.
(DRYER)	GAS DRYER. SEE APPLIANCE SCHEDULE.	(MRBL.THR)	MARBLE THRESHOLD TO MATCH ADJACENT TILE	(SHWR.VAL)	SHOWER VALVE/CONVERTER CONTROL. SEE PLUMBING SCHEDULE	(VAN.TOP)	VANITY COUNTERTOP. TO BE CHOSEN BY OWNER.
(DWN.SPT)	ALUM. DOWNSPOUT. MATCH EXISTING	(NEHEL.PST)	TRTD. NEHEL POST W/ TRTD. KD. CAP	(STALL)	TILED SHOWER STALL	(WASHER)	WASHING MACHINE. RE-USE EXISTING
(@FRM)	FRAMELESS GLASS SHOWER SURROUND AND DOOR	(OUT.LT)	OUTDOOR GOOSENECK BARN LIGHT. AGLIGHTING MDL. #AGLXS-425. BRONZE	(TILE)	CERAMIC OR MARBLE TILE. TO BE CHOSEN BY OWNER.	(KD.FLR)	WOOD FLOORING. MATCH EXISTING
(GRAB BAR)	ADA ACCESS. GRAB BAR	(FLDN.STR)	HEAVY-DUTY ALUM. PULL DOWN STAIR	(TOILET)	TOILET. SEE PLUMBING SCHEDULE	(HD. STAIR)	TRTD. HOOD STAIR
(GUTTER)	ALUM. K" STYLE GUTTER. MATCH EXISTING	(PRCH.DEK)	ABERATIS HERITAGE DOUBLE SIDED PORCH PLANK				

no. date comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name Elevations

date drawn April 18, 2024

drawn by adp

reviewed by adp

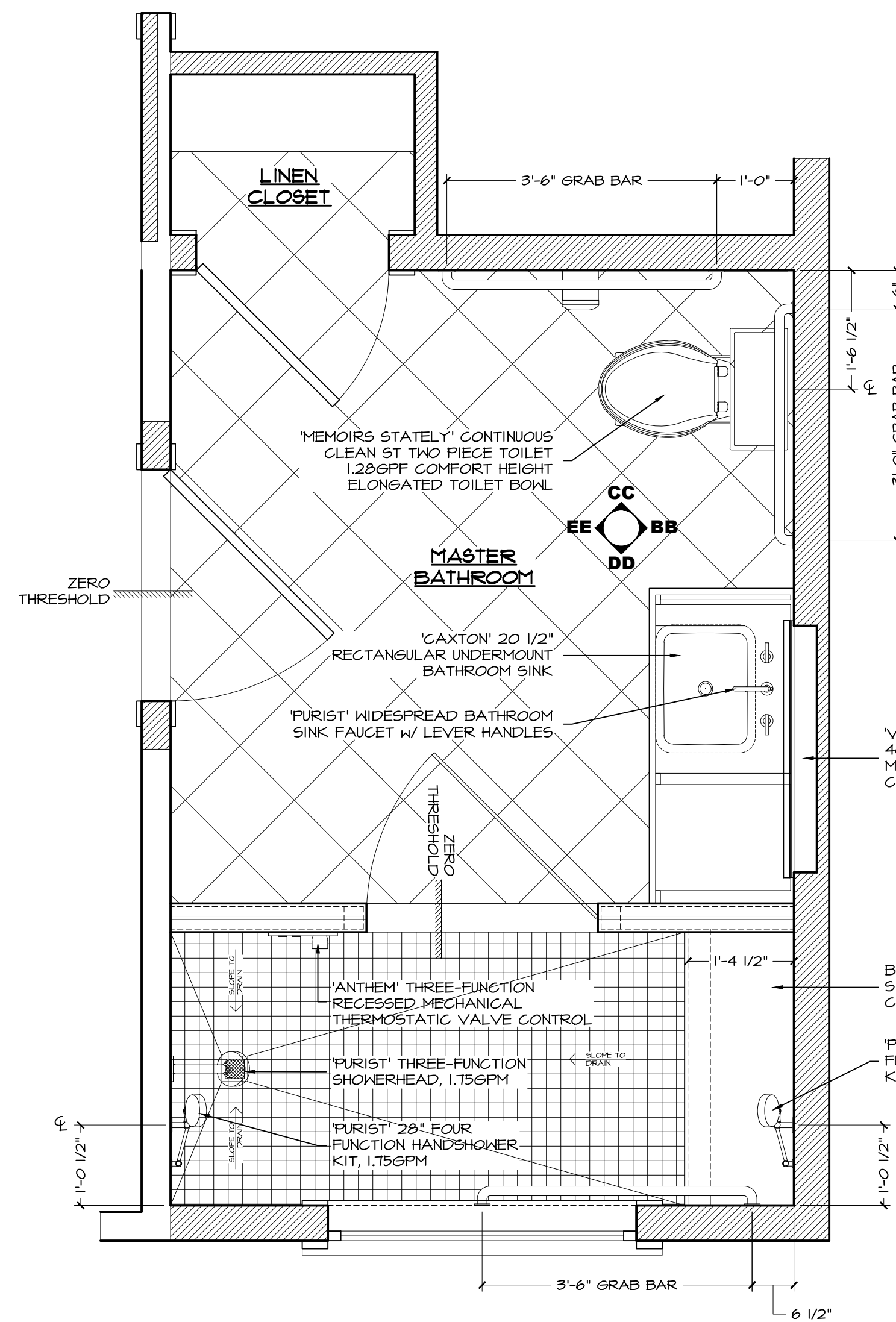
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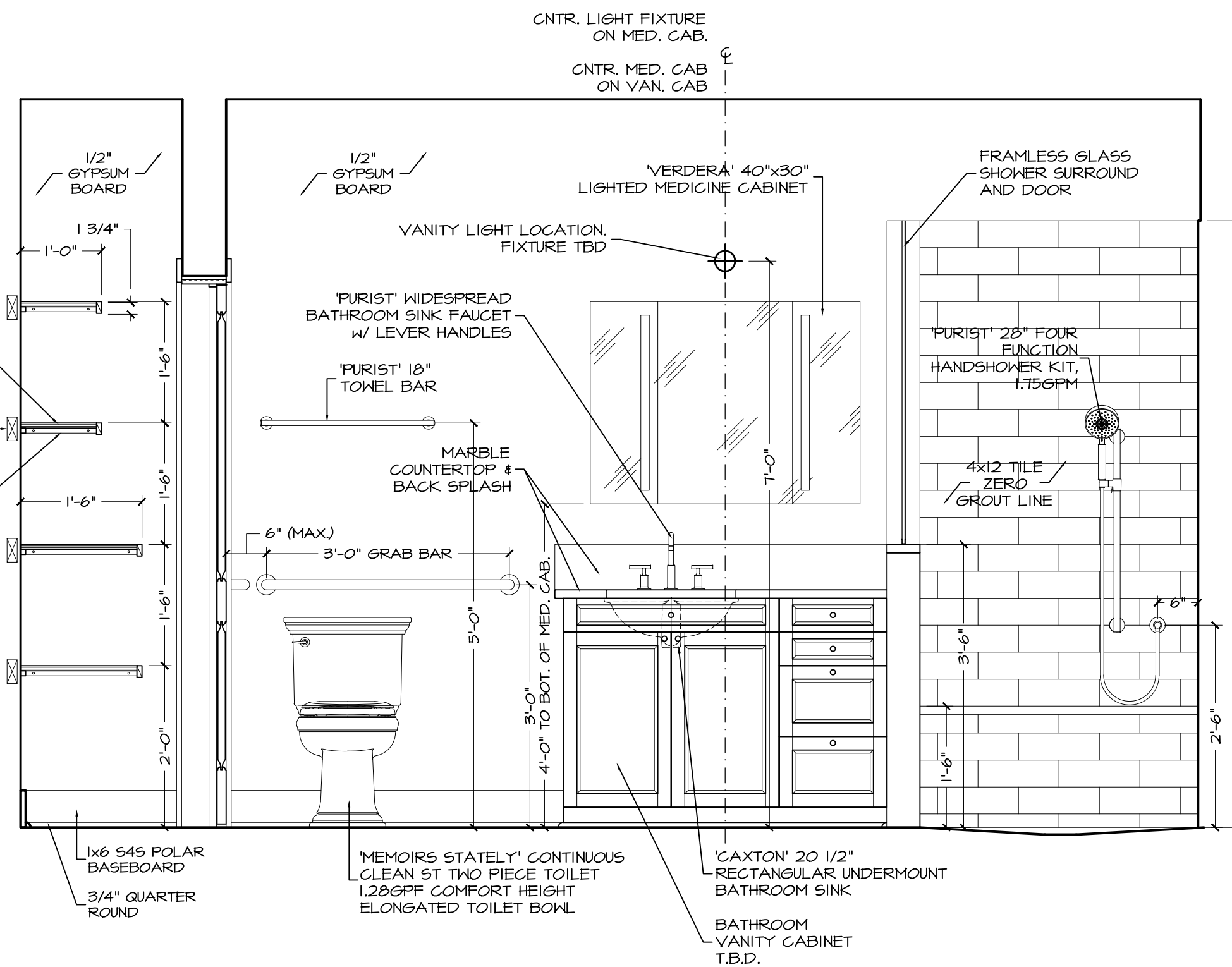
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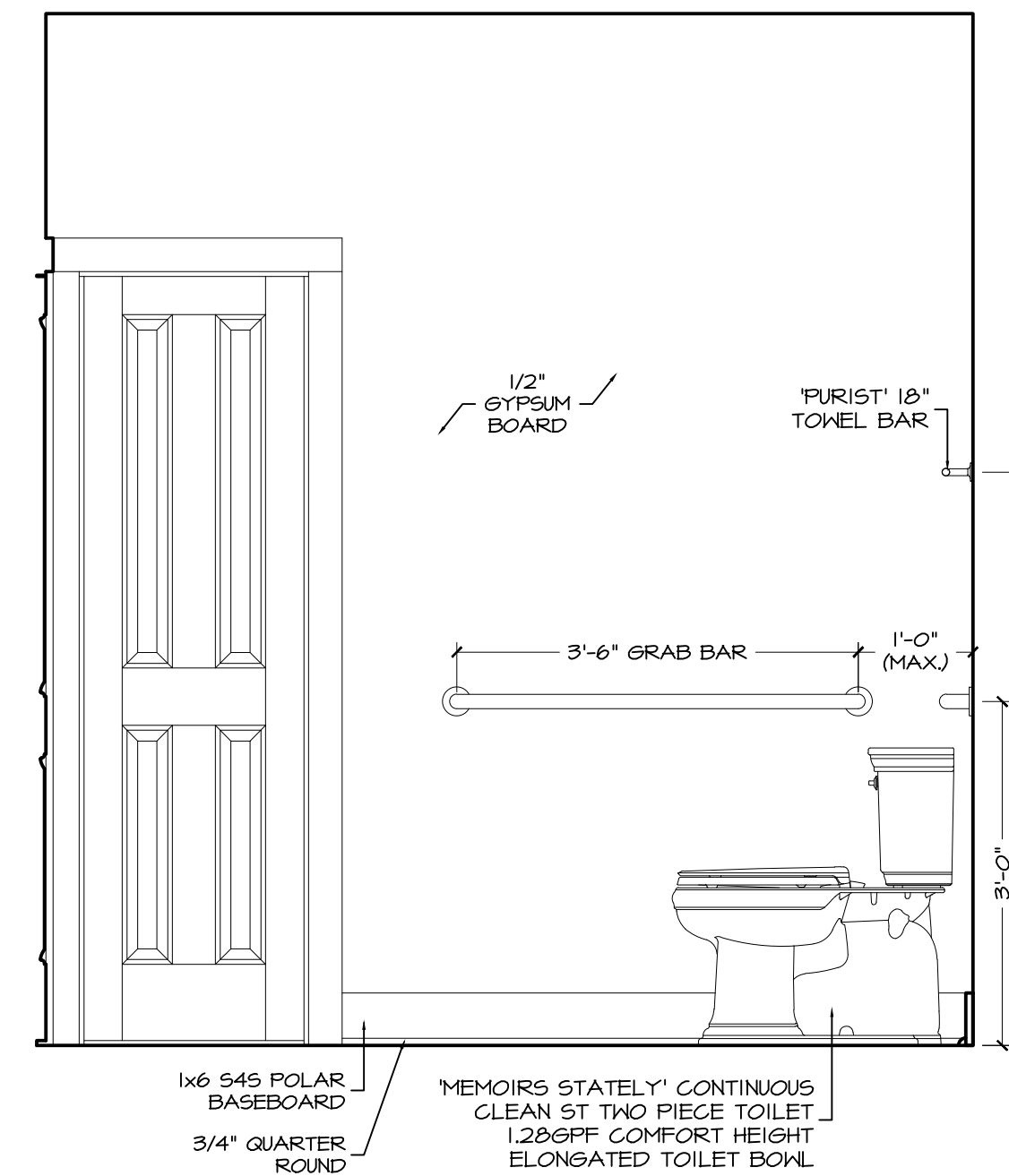
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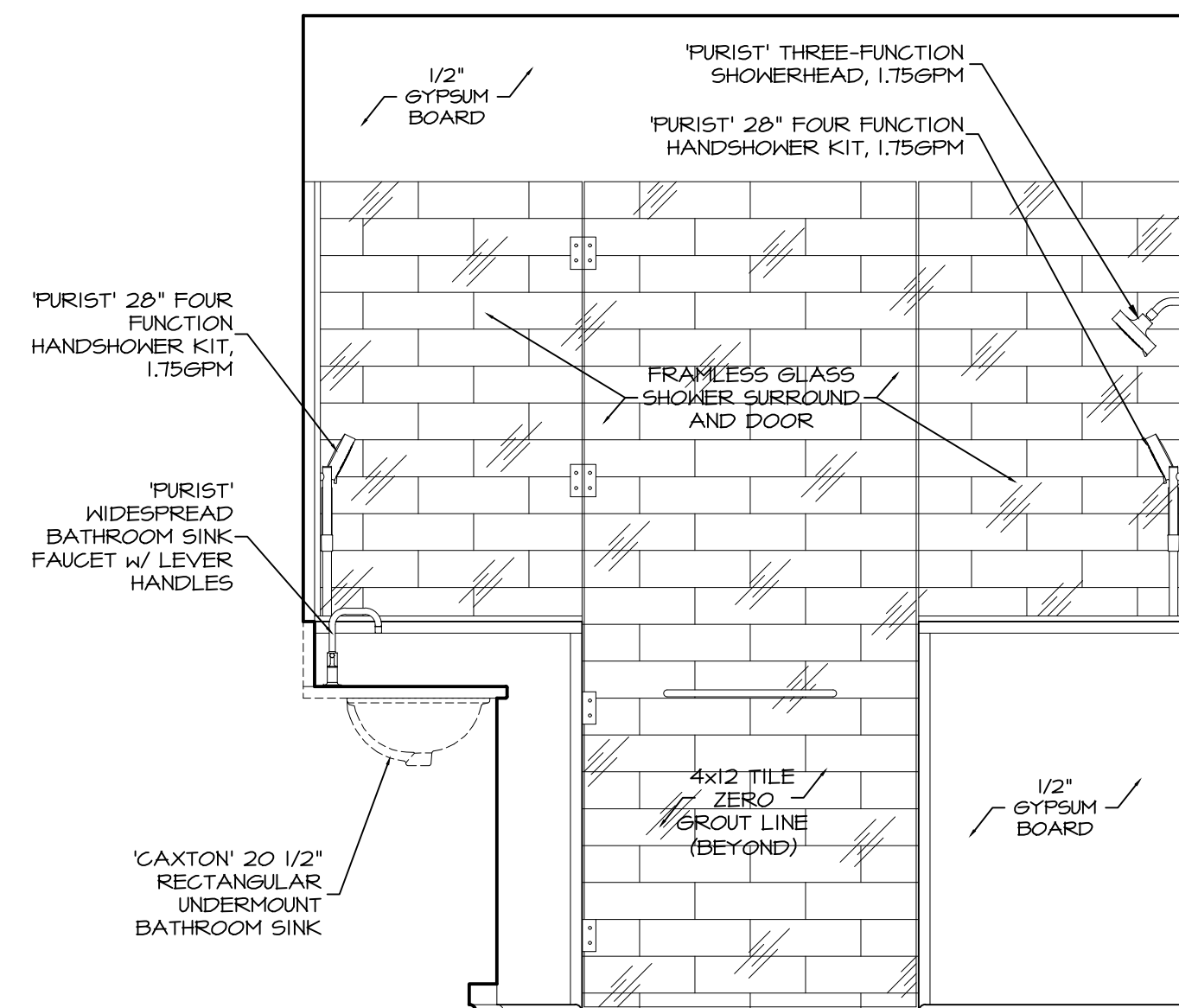
AA MASTER BATHROOM PLAN
A3.1 scale: 3/4" = 1'-0"



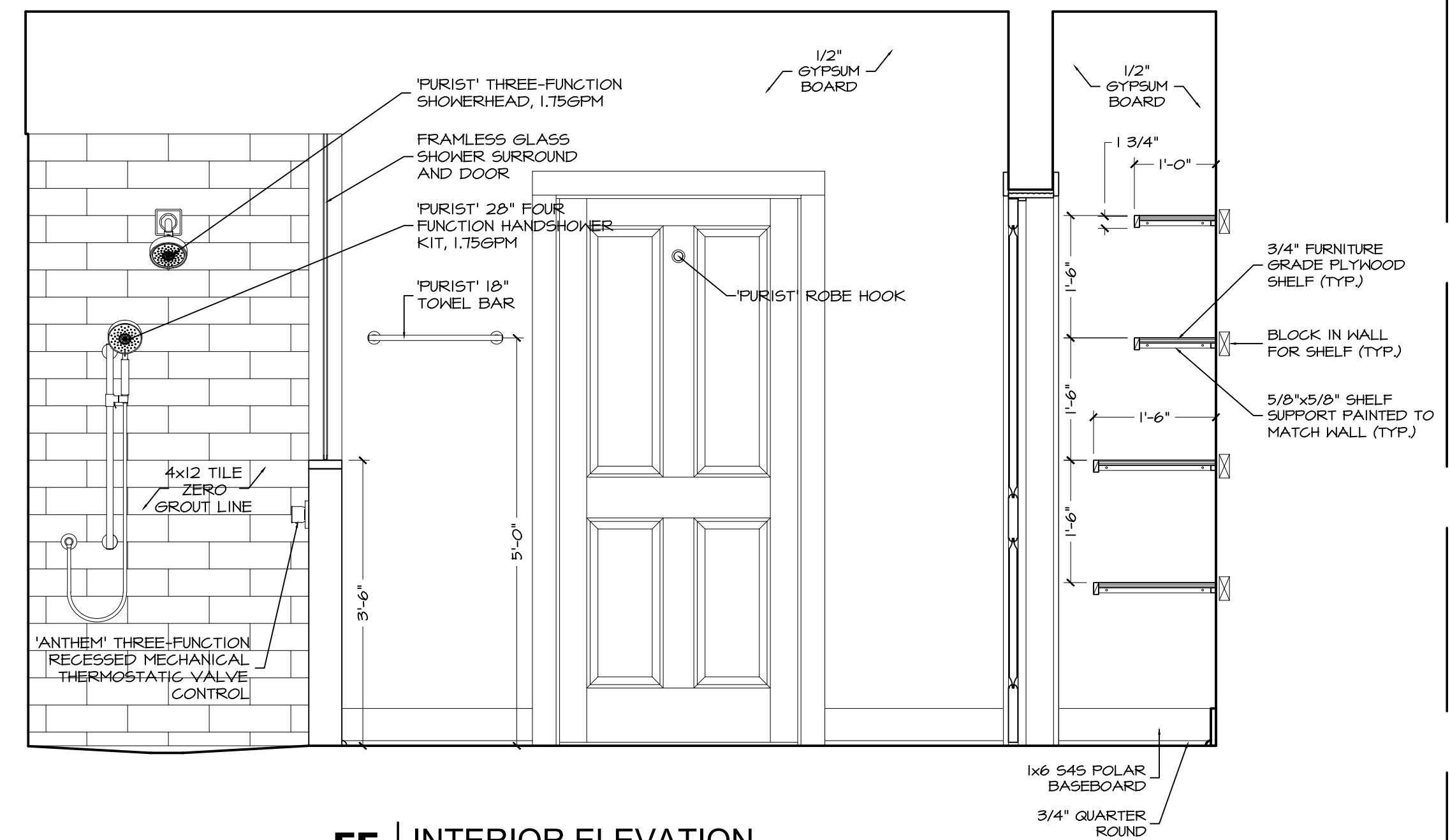
BB INTERIOR ELEVATION
A3.1 scale: 3/4" = 1'-0"



CC INTERIOR ELEVATION
A3.1 scale: 3/4" = 1'-0"



DD INTERIOR ELEVATION
A3.1 scale: 3/4" = 1'-0"



EE INTERIOR ELEVATION
A3.1 scale: 3/4" = 1'-0"

MASTER BATHROOM PLUMBING FIXTURES & ACCESSORIES				
QNTY.	DESCRIPTION	MANUFACTURER	MODEL #	FINISH/COLOR
1	MEMOIRS STATELY™ CONTINUOUS CLEAN ST TWO PIECE TOILET 1.28GPF COMFORT HEIGHT ELONGATED TOILET BOWL	KOHLER	K-36664-O	WHITE
1	‘CACHET’ QUIET CLOSED, ELONGATED TOILET SEAT	KOHLER	K-7671-O	WHITE
1	‘CAXTON’ 20 1/2" RECTANGULAR UNDERMOUNT BATHROOM SINK	KOHLER	K-20000-O	WHITE
1	PURIST™ WIDESPREAD BATHROOM SINK FAUCET W/ LEVER HANDLES	KOHLER	K-14406-4-CP	POLISHED CHROME
1	PURIST™ THREE-FUNCTION SHOWERHEAD, 1.75GPM	KOHLER	K-22170-G-CP	POLISHED CHROME
2	PURIST™ 28" FOUR FUNCTION HANDSHOWER KIT, 1.75GPM	KOHLER	K-22178-G-CP	POLISHED CHROME
2	KOHLER - PURIST SUPPLY ELBOW W/ CHECK VALVE	KOHLER	K-22172-CP	POLISHED CHROME
1	‘ANTHEM’ THREE-FUNCTION RECESSED MECHANICAL THERMOSTATIC VALVE CONTROL	KOHLER	K-26347-4-CP	POLISHED CHROME
BATHROOM ACCESSORIES				
1	PURIST™ 18" TOWEL BAR	KOHLER	K-14435-CP	POLISHED CHROME
1	PURIST™ TOWEL RING	KOHLER	K-14441-CP	POLISHED CHROME
1	PURIST™ ROBE HOOK	KOHLER	K-14443-CP	POLISHED CHROME
1	PURIST™ PIVOTING TOILET TISSUE HOLDER	KOHLER	K-1437T-CP	POLISHED CHROME
1	‘VERDERA’ 40"x30" LIGHTED MEDICINE CABINET	KOHLER	K-99011-TLC	N/A

no. date comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name Interior Elevation - Master Bathroom
date drawn April 18, 2024
drawn by adp
reviewed by adp

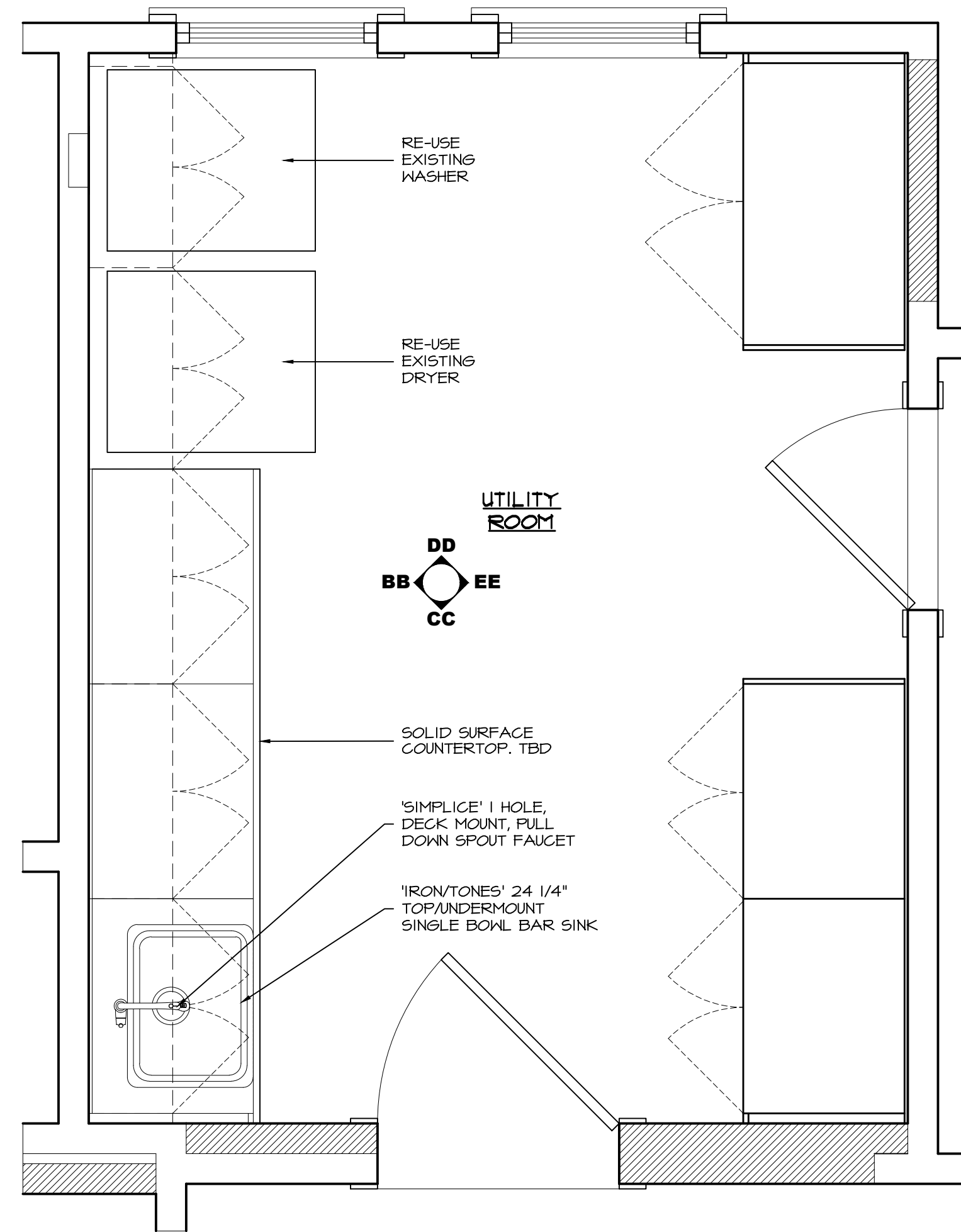


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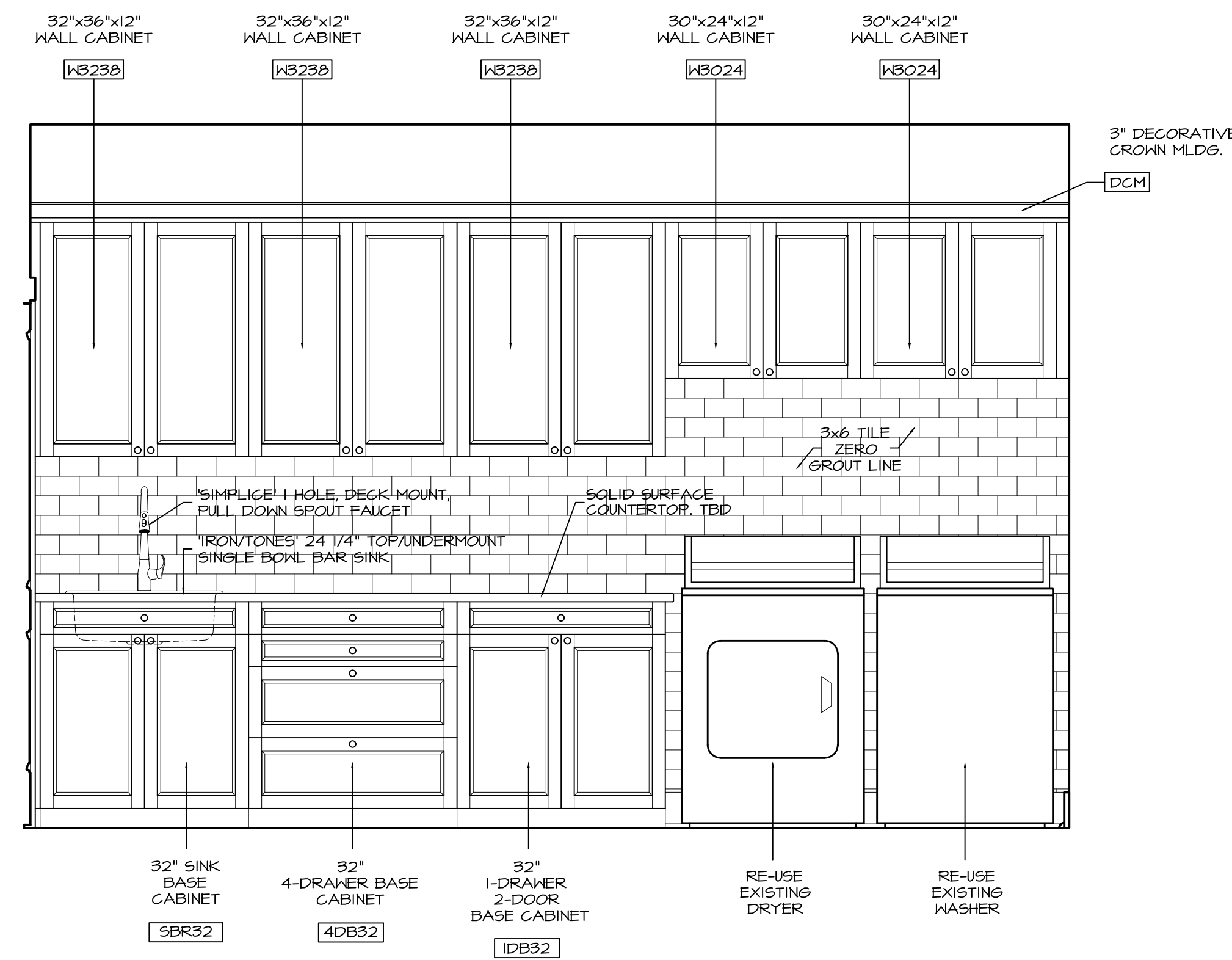
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AA | UTILITY ROOM PLAN
A3.2 | scale: 3/4" = 1'-0"

UTILITY RM. PLUMBING FIXTURES & ACCESSORIES				
QNTY.	DESCRIPTION	MANUFACTURER	MODEL #	FINISH/COLOR
1	SIMPLICE' 1 HOLE, DECK MOUNT, FULL DOWN SPOUT FAUCET	KOHLER	K-596-V5	STAINLESS STEEL
1	IRON/TONES' 24 1/4" TOP/UNDERMOUNT SINGLE BOWL BAR SINK	KOHLER	K-6585-0	WHITE



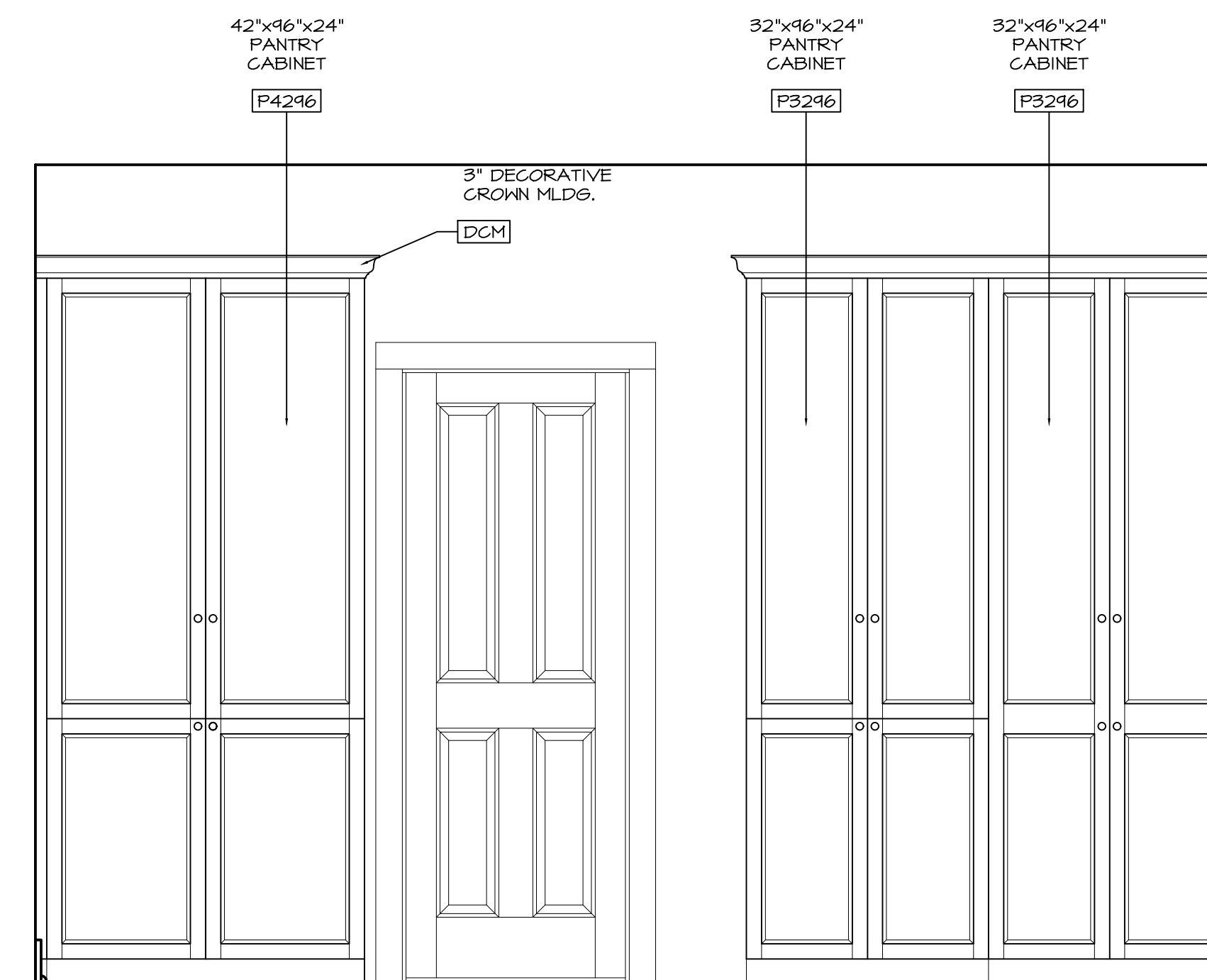
BB | INTERIOR ELEVATION
A3.2 | scale: 3/4" = 1'-0"



CC | INTERIOR ELEVATION
A3.2 | scale: 3/4" = 1'-0"



DD | INTERIOR ELEVATION
A3.2 | scale: 3/4" = 1'-0"



EE | INTERIOR ELEVATION
A3.2 | scale: 3/4" = 1'-0"

no. date comment

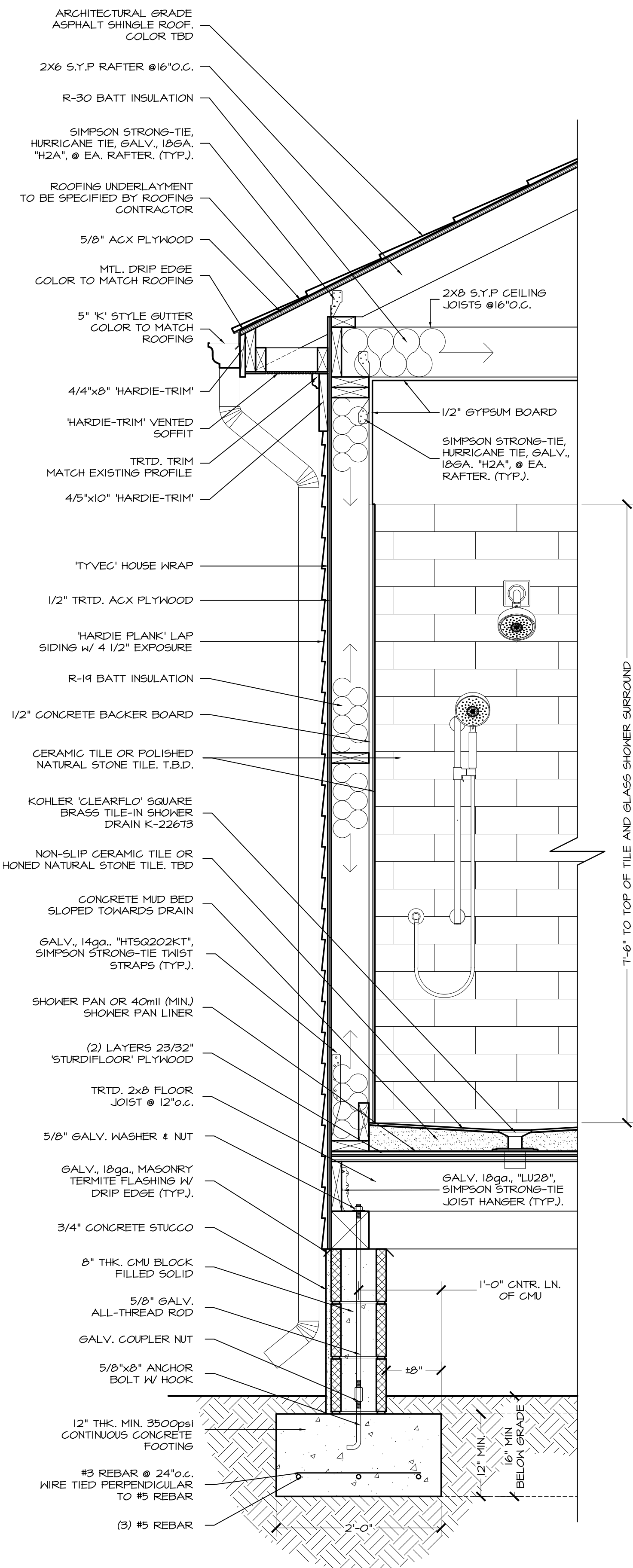
April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name Interior Elevations - Utility Room
date drawn April 18, 2024
drawn by adp
reviewed by adp

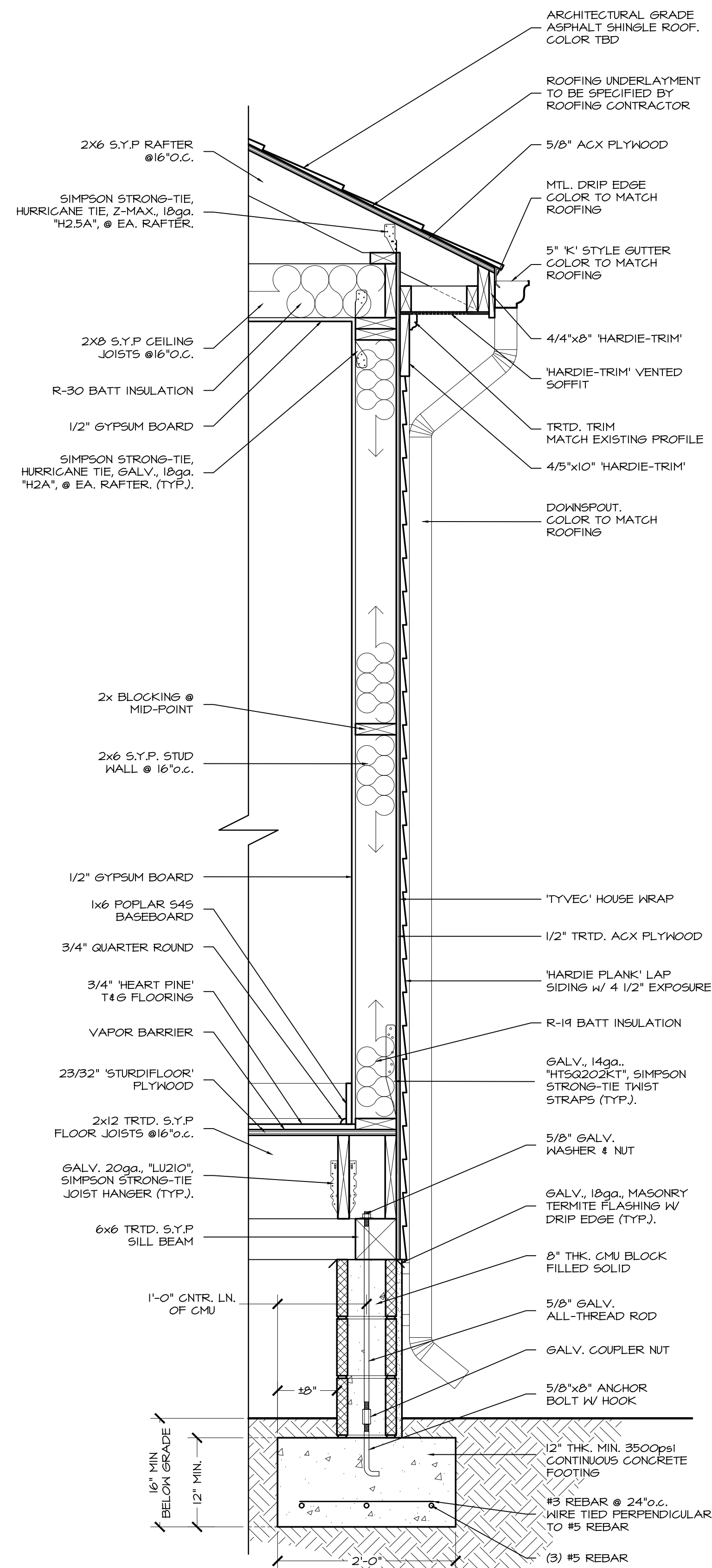


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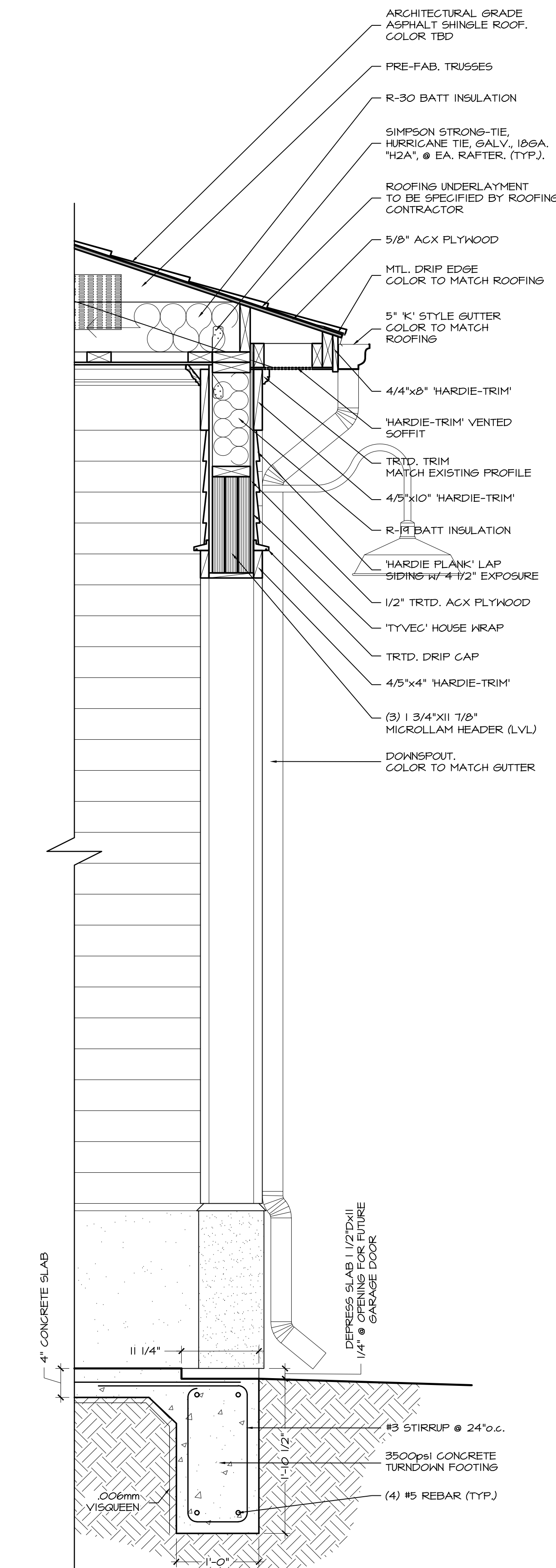
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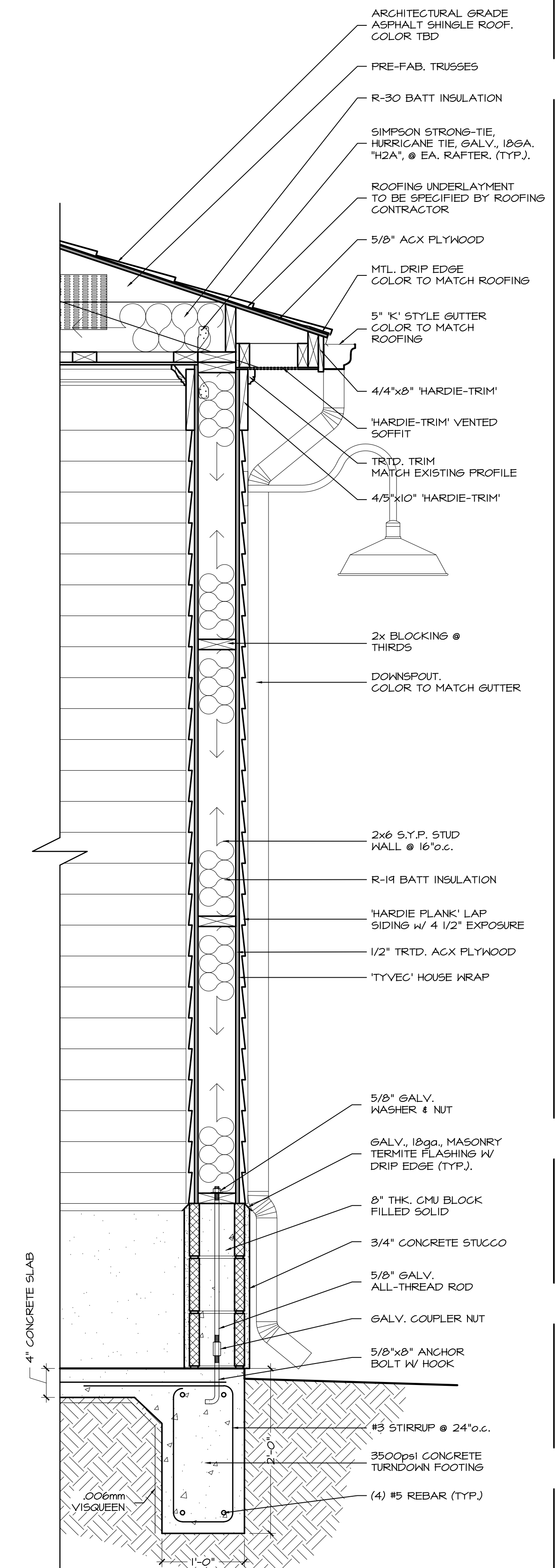
AA WALL SECTION
A4.1 scale: 1"=1'-0"



BB WALL SECTION
A4.1 scale: 1"=1'-0"



CC WALL SECTION
A4.1 scale: 1"=1'-0"

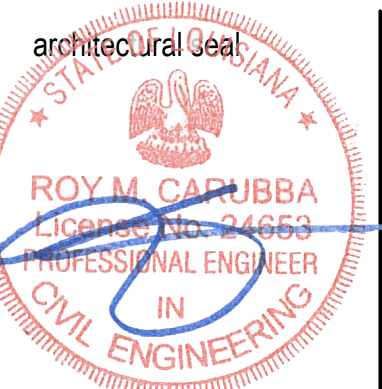


DD WALL SECTION
A4.1 scale: 1"=1'-0"

no.	date	comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

file name	Wall Section
date drawn	April 18, 2024
drawn by	adp
reviewed by	adp

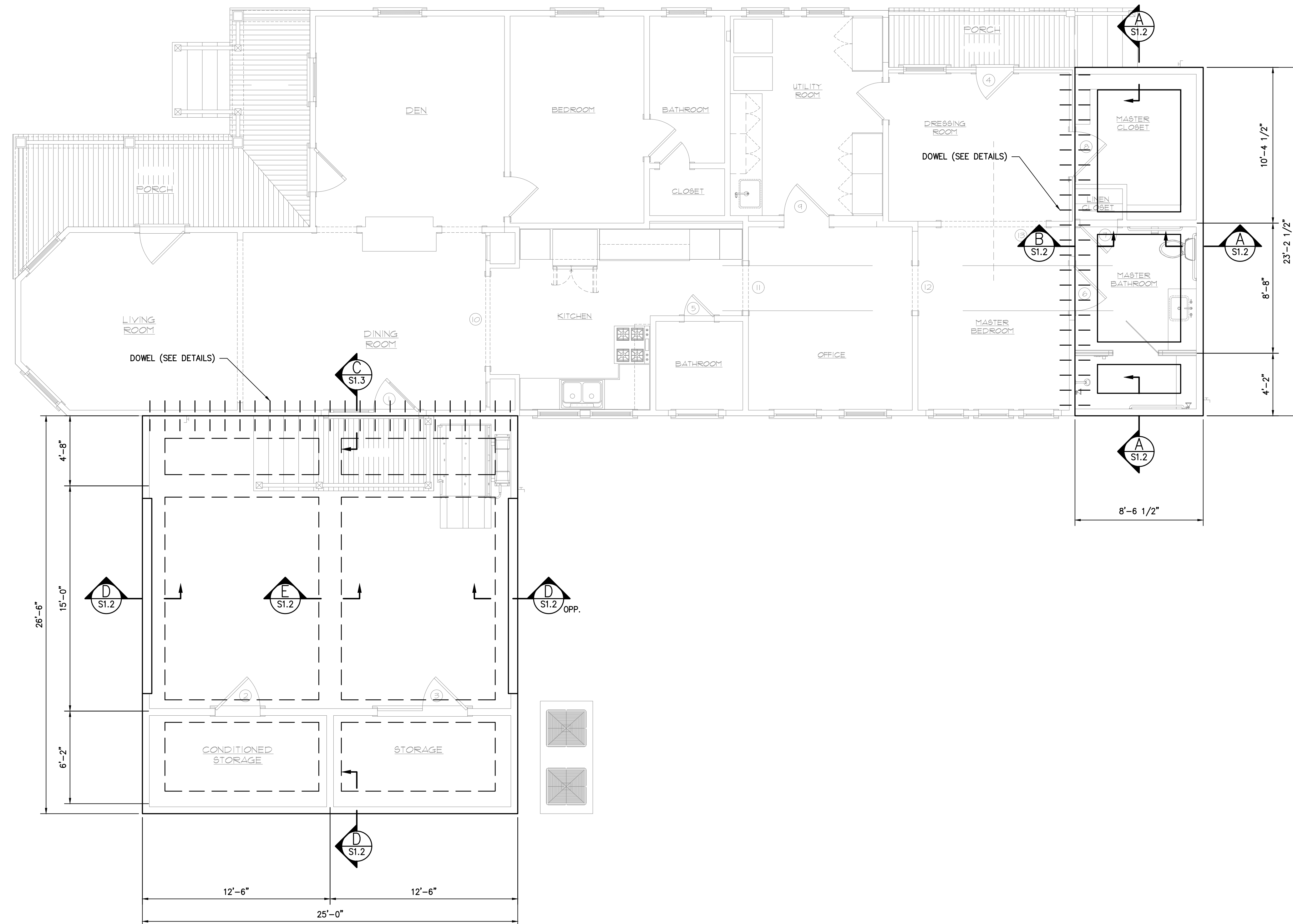


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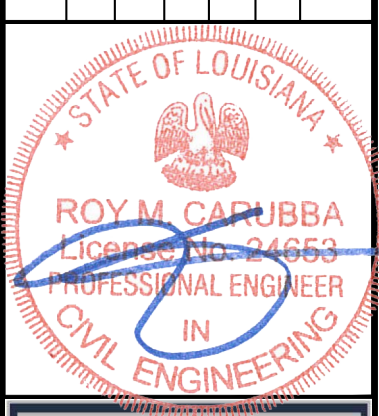
NOTES

1. SLAB AREA = 755.72 SQ. FT.
2. 4" SLAB TYPICAL UNLESS NOTED OTHERWISE.
3. REINFORCEMENT- 4x4 4.0/4.0 WWF



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

MARK	DESCRIPTION	DATE	BY
A	FOR APPROVAL	05/10/2024	MTD

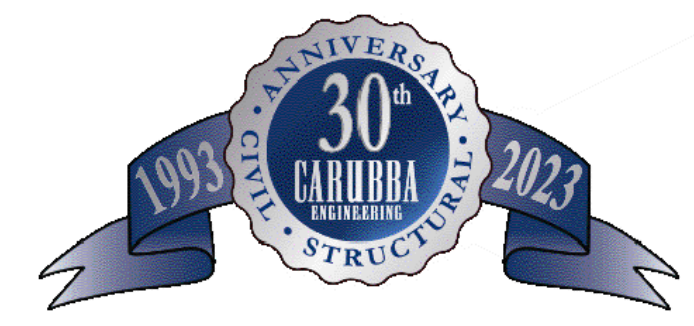


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NEW ORLEANS LOUISIANA

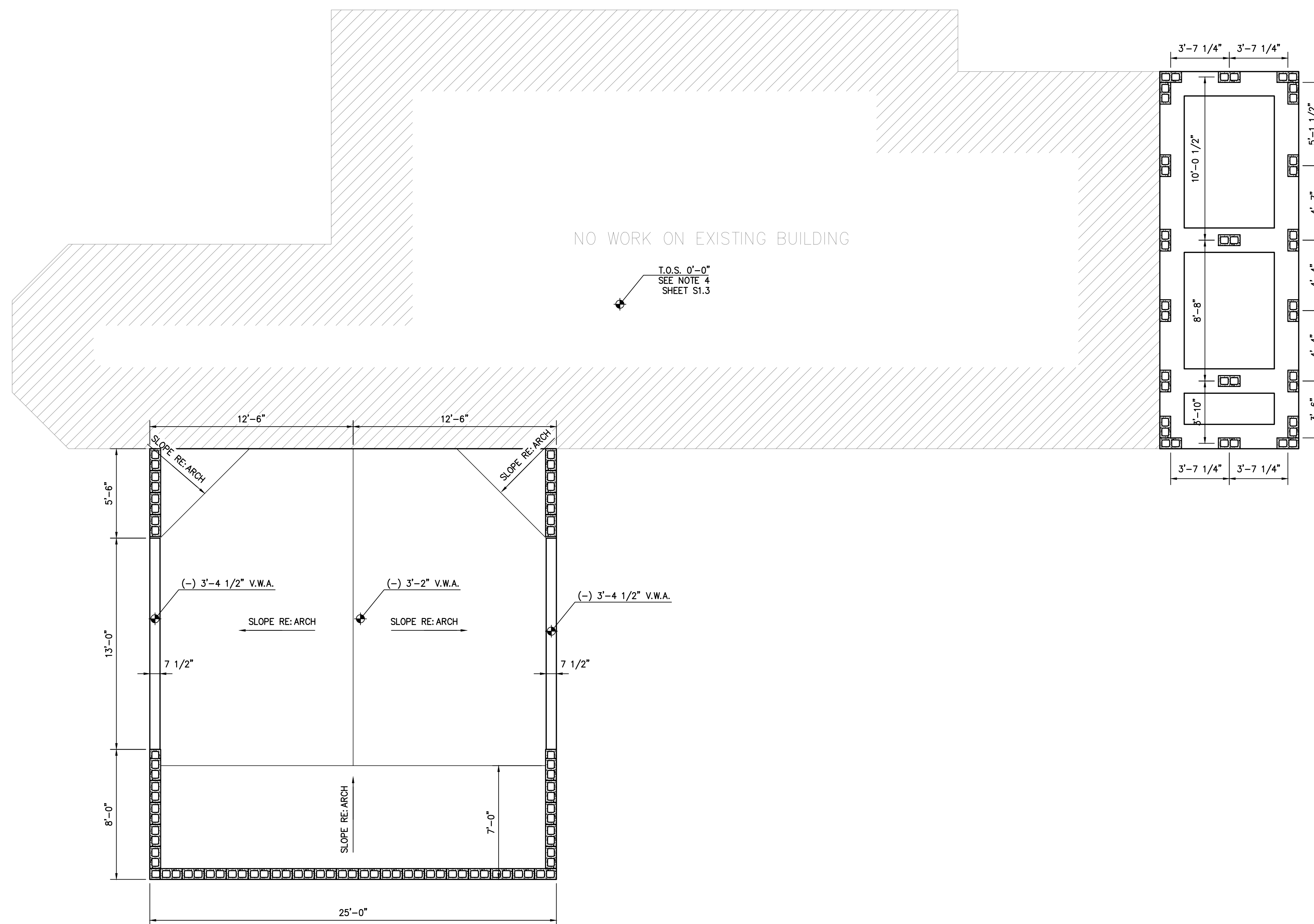
PERSCHALL DESIGNS LLC
PROPOSED RENOVATION
916 CHEROKEE STREET
FOUNDATION PLAN

DRAWN	MLM
CHECKED	MTD
DATE	05/2024
CEI PROJECT NO.	24-053
SHEET	
S1.0	



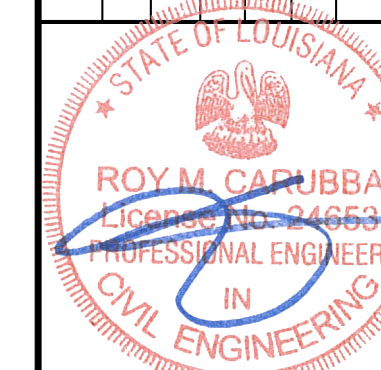
LEGEND

-  8x16 CMU PIER
-  ELEVATION (SEE NOTE 4 S1.2)
-  V.I.F. VERIFY IN FIELD
-  V.W.A. VERIFY WITH ARCHITECT



SLAB/CMU PLAN
SCALE: 1/4"=1'-0"

MARK	DESCRIPTION	DATE	BY
A	FOR APPROVAL	05/10/2024	MTD



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LOUISIANA

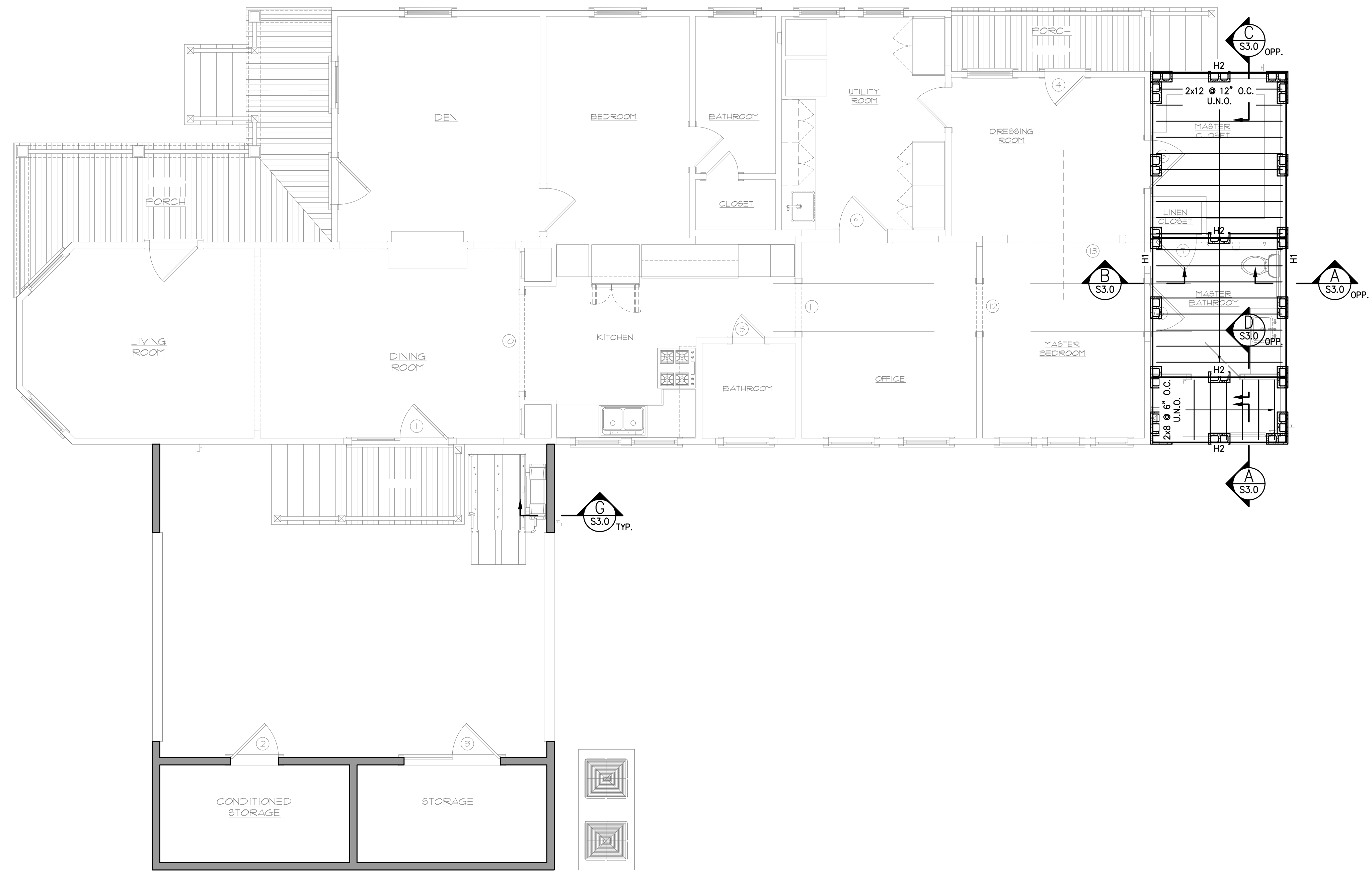
PERSCHALL DESIGNS LLC

PROPOSED RENOVATION
916 CHEROKEE STREET
SLAB/CMU PLAN

NEW ORLEANS

DRAWN	MLM
CHECKED	MTD
DATE	05/2024
CEI PROJECT NO.	24-053
SHEET	S1.1



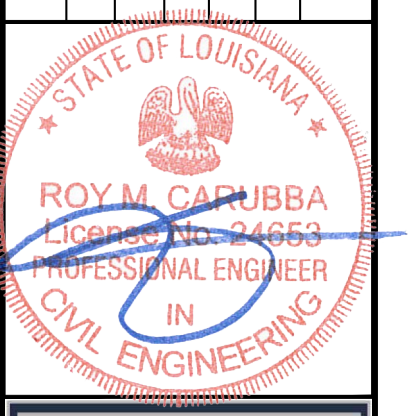


LEGEND

	2x6 WD STD WALL @ 16" O.C. ON CMU BASE (SEE DETAIL)
H?	HEADER (SEE SCHEDULE)
V.I.F.	VERIFY IN FIELD
U.N.O.	UNLESS NOTED OTHERWISE
V.W.A.	VERIFY WITH ARCHITECT

FOUNDATION FRAMING PLAN
SCALE: 1/4"=1'-0"

NO.	DATE	DESCRIPTION	BY
A	05/10/2024	FOR APPROVAL	MTD



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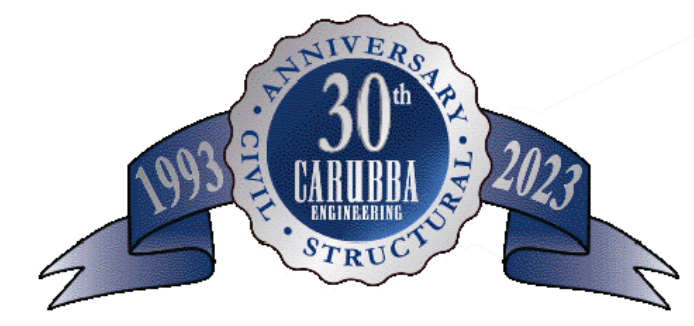
LOUISIANA

PERSCHALL DESIGNS LLC

PROPOSED RENOVATION
916 CHEROKEE STREET
FRAMING PLAN

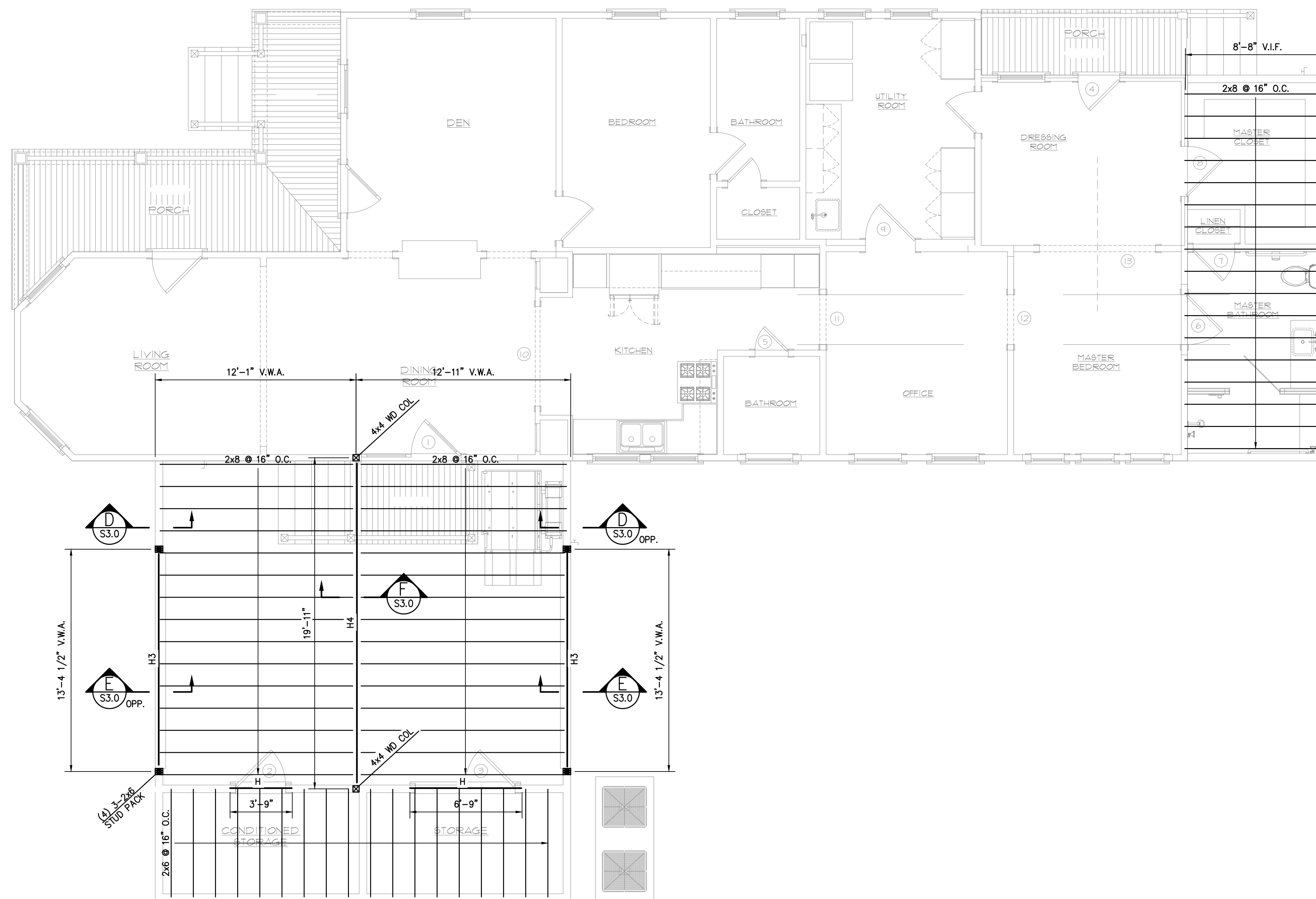
NEW ORLEANS

DRAWN	MLM
CHECKED	MTD
DATE	05/2024
CEI PROJECT NO.	24-053
SHEET	S2.0



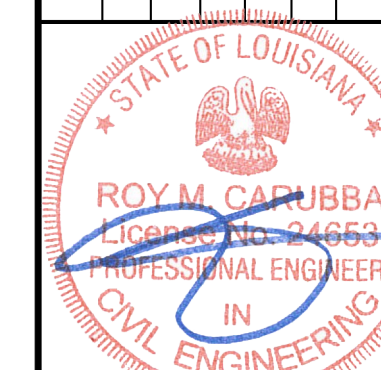
LEGEND

- H? HEADER (SEE SCHEDULE)
- V.I.F. VERIFY IN FIELD
- U.N.O. UNLESS NOTED OTHERWISE
- V.W.A. VERIFY WITH ARCHITECT



CEILING FRAMING PLAN
SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	DATE	BY
A <td>FOR APPROVAL MARK <td>05/10/2024 <td>MTD</td> </td></td>	FOR APPROVAL MARK <td>05/10/2024 <td>MTD</td> </td>	05/10/2024 <td>MTD</td>	MTD



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PROPOSED RENOVATION
916 CHEROKEE STREET
CEILING FRAMING PLAN

NEW ORLEANS

DRAWN	MLM
CHECKED	MTD
DATE	05/2024
CEI PROJECT NO.	24-053
SHEET	S2.1



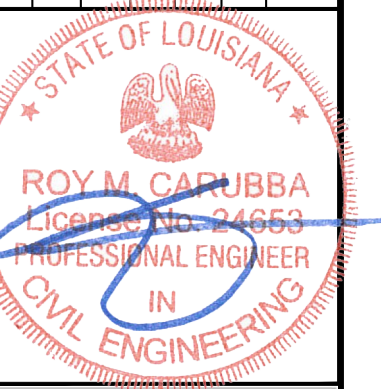
ROOF FRAMING LEGEND

ROOF RAFTERS - 2"x8" @ 16" O.C. (U.N.O. ON PLAN)
 HIP - 2"x8"
 VALLEY - 2"x8"
 RIDGE BEAM - 2"x10"



ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"

MARK	DESCRIPTION	DATE	MTD	BY
A	FOR APPROVAL	05/10/2024		



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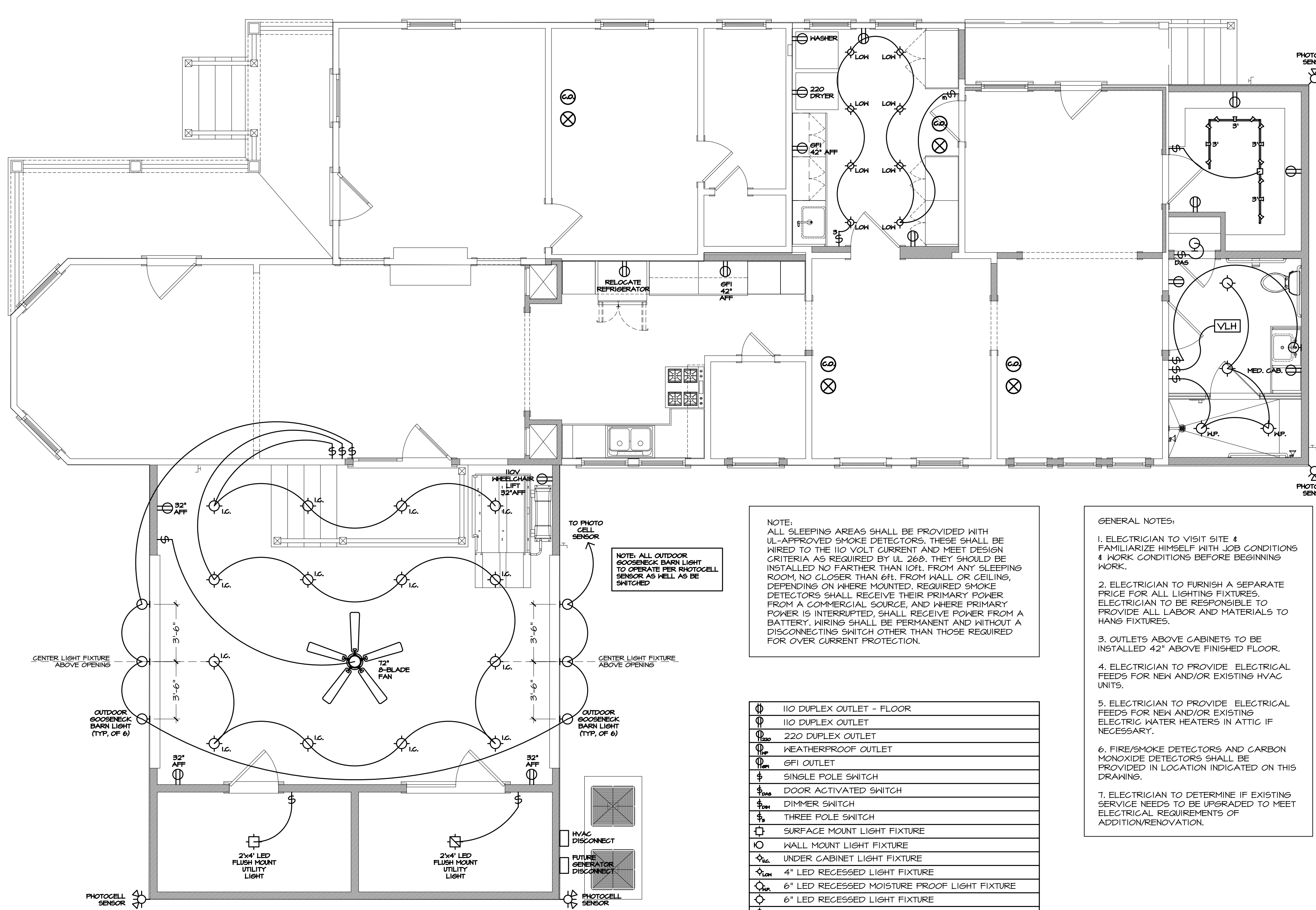
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NEW ORLEANS LOUISIANA

PERSCHALL DESIGNS LLC
 PROPOSED RENOVATION
 916 CHEROKEE STREET
 ROOF FRAMING PLAN

DRAWN	MLM
CHECKED	MTD
DATE	05/2024
CEI PROJECT NO.	24-053
SHEET	S2.2





NOTE:
ALL SLEEPING AREAS SHALL BE PROVIDED WITH UL-APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL 268. THEY SHOULD BE INSTALLED NO FARTHER THAN 10ft. FROM ANY SLEEPING ROOM, NO CLOSER THAN 6ft. FROM WALL OR CEILING. DEPENDING ON WHERE MOUNTED. REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM A COMMERCIAL SOURCE, AND WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION.

GENERAL NOTES:

- ELECTRICIAN TO VISIT SITE & FAMILIARIZE HIMSELF WITH JOB CONDITIONS & WORK CONDITIONS BEFORE BEGINNING WORK.
- ELECTRICIAN TO FURNISH A SEPARATE PRICE FOR ALL LIGHTING FIXTURES. ELECTRICIAN TO BE RESPONSIBLE TO PROVIDE ALL LABOR AND MATERIALS TO HANG FIXTURES.
- OUTLETS ABOVE CABINETS TO BE INSTALLED 42" ABOVE FINISHED FLOOR.
- ELECTRICIAN TO PROVIDE ELECTRICAL FEEDS FOR NEW AND/OR EXISTING HVAC UNITS.
- ELECTRICIAN TO PROVIDE ELECTRICAL FEEDS FOR NEW AND/OR EXISTING ELECTRIC WATER HEATERS IN ATTIC IF NECESSARY.
- FIRE/SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN LOCATION INDICATED ON THIS DRAWING.
- ELECTRICIAN TO DETERMINE IF EXISTING SERVICE NEEDS TO BE UPGRADED TO MEET ELECTRICAL REQUIREMENTS OF ADDITION/RENOVATION.

⊕	110 DUPLEX OUTLET - FLOOR
⊕	110 DUPLEX OUTLET
⊕	220 DUPLEX OUTLET
⊕	WEATHERPROOF OUTLET
⊕	GFI OUTLET
⊕	SINGLE POLE SWITCH
⊕	DOOR ACTIVATED SWITCH
⊕	DIMMER SWITCH
⊕	THREE POLE SWITCH
⊕	SURFACE MOUNT LIGHT FIXTURE
⊕	WALL MOUNT LIGHT FIXTURE
⊕	UNDER CABINET LIGHT FIXTURE
⊕	4" LED RECESSED LIGHT FIXTURE
⊕	6" LED RECESSED MOISTURE PROOF LIGHT FIXTURE
⊕	6" LED RECESSED LIGHT FIXTURE
⊕	6" LED INSULATED RECESSED LIGHT FIXTURE
⊕	EXTERIOR LIGHT FIXTURE
⊕	VENT/LIGHT/HEAT COMBO
⊕	CABLE TELEVISION OUTLET
⊕	CAT-5 - TELEPHONE
⊕	CEILING FAN
⊕	TRACK LIGHTING
⊕	FIRE/SMOKE DETECTOR
⊕	CARBON MONOXIDE DETECTOR

DIVISION 16 - ELECTRICAL

- A. General**
- Subcontractor shall be responsible for all design loads required for this project. However, any changes or questions concerning lighting design shall be consulted with the Architect.
 - Contractor shall make arrangements for furnishing temporary power supply for use on the Job site at all times during the construction process.
 - Contractor shall pre-wire for telephone and cable TV services with outlets placed as indicated on the electrical drawings.
 - Contractor shall wire for security system if necessary.
- B. Materials**
- Contractor shall supply all labor and material in accordance with the 2014 Edition of the National Electrical Code.
 - Electrical drawings are diagrammatic only except where specifically dimensioned. All measurements will be verified at job site or manufacturer's requirements.
 - All wiring for circuits, switch legs shall be with 12/2 SIMpull Romex, Type: NM-B with ground.
 - All wiring for appliances, heating and air conditioning units, and equipment shall be as per manufacturer's recommendations and National Electrical Code requirements in copper.
 - Circuit breaker panel shall be sized to permit at least 6 future circuits.
 - All circuits, equipment, etc. in baths and wet areas shall be properly grounded and have ground fault breakers as per Code.
 - Service from pad mounted transformer or utility pole shall be 120/240 volts, 3-wire, single phase service.
 - All applicable Laws, Ordinances, Codes and Rules of the Subdivision, City, County, State and/or applicable Federal Agencies shall apply and must be met at all times.
 - Contractor shall assume that outlets, safety devices, etc. shown on drawings are the minimum requirements and shall provide any additional such devices as may be required to satisfy codes and regulations.
 - Provide wiring for controls, and junction box with blank cover plate for future lawn sprinkler system. Coordinate control location with Owner.
 - Outlet covers and switch plates shall be white, not ivory.

- C. Lighting Fixtures**
- Owner to select and provide all decorative lighting fixtures, i.e. chandeliers, pendant light fixtures, sconces and ceiling fans unless otherwise indicated on drawings.
 - Contractor to provide wire, switches, dimmer switches, outlets, recessed lighting fixtures, fluorescent light fixtures, track lighting fixtures, door chimes, smoke detectors, heater/vent/lights, and exterior flood lights.
 - Lamps: Contractor shall install top quality G.E. or Sylvania Incandescent bulbs, LED lamps, and/or compact fluorescent bulbs throughout.

no. date comment

April Residence
916 Cherokee Street
New Orleans, Louisiana 70118
Addition & Renovation

AA ELECTRICAL PLAN
E1.1 scale: 1/4" = 1'-0"

file name Electrical Plan
date drawn April 18, 2024
drawn by adp
reviewed by adp