

RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4 2275 SANCTUARY DRIVE NEW ORLEANS, LA

OWNER: BUILDING #4, LLC 101 MILAM STREET SHREVEPORT, LA 71101 (318) 349-4839

ARCHITECT: TRAPOLIN-PEER 850 TCHOUPITOULAS ST. NEW ORLEANS, LA 70130 (504) 523-2772 www.trapolinpeer.com

CONTRACTOR: BROWN BUILDERS 619 Jimmie Davis Hwy Bossier City, LA 71112 (318) 746-0211

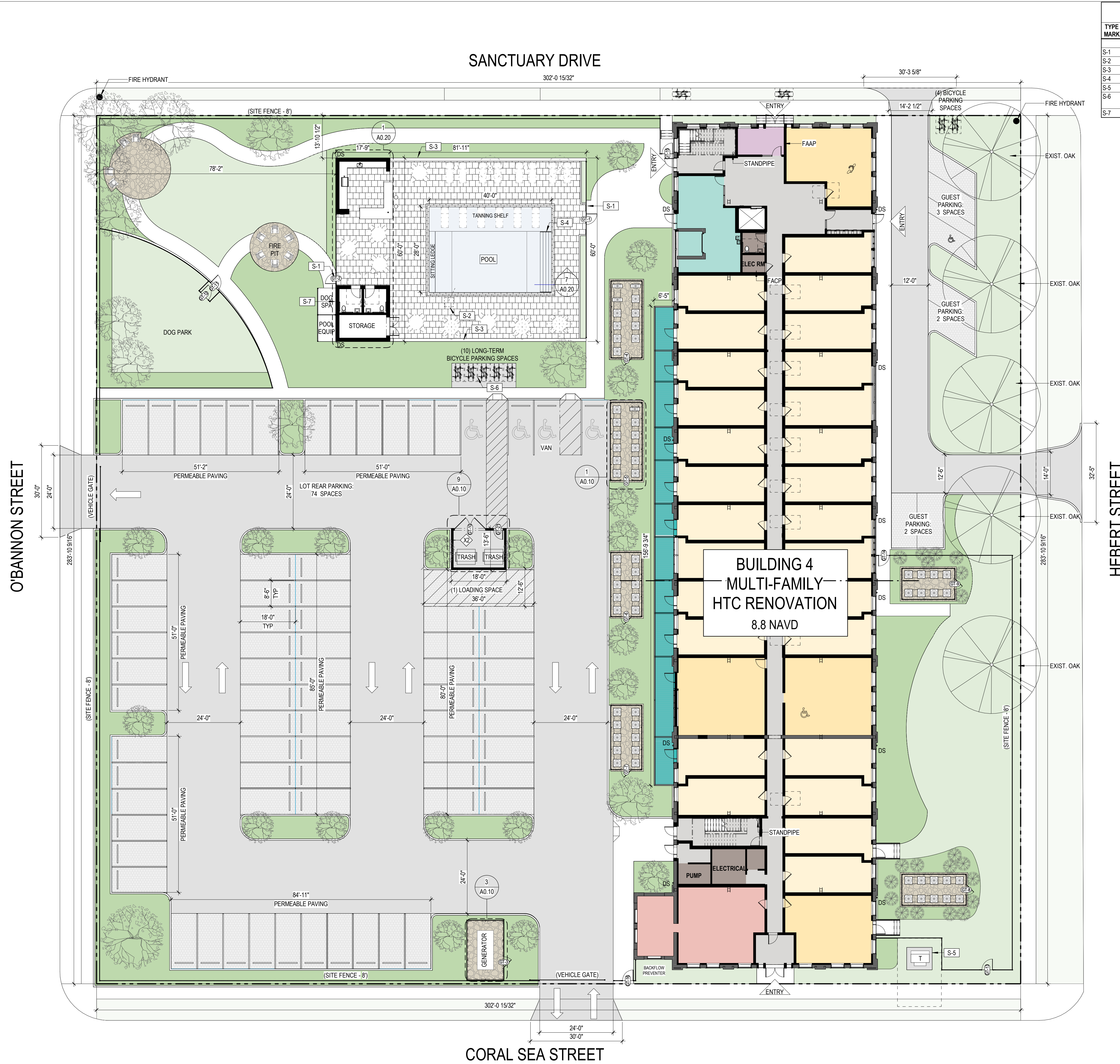
NOT FOR CONSTRUCTION

REVISION # DESCRIPTION DATE

SITE NOTES table with columns TYPE MARK and REMARKS. Includes items S-1 through S-7 regarding fencing, pool lift, walls, guardrails, curbs, and bicycle parking.

LEGEND - CONSTRUCTION table with symbols for existing wall to remain, existing wall to be demolished, new wall, and new wall infill to match existing.

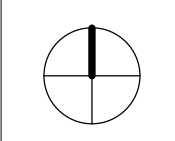
LEGEND - SITE table with symbols for cover, planting, sidewalk, parking, gravel, building, property line, trees, shrubs, planters, transformers, condensing units, trash, and bicycle parking.



BUILDING 4 MULTI-FAMILY HTC RENOVATION 8.8 NAVD

ZONING ANALYSIS:

Zoning analysis table with sections: BUILDING 4 LOT A, PROPERTY ADDRESS, LOT DESCRIPTION, ZONING DISTRICT, PROPERTY USE, PRIMARY USE, BULK REGULATIONS, MIN. LOT AREA, MAXIMUM BUILDING HEIGHT, MINIMUM PERMEABLE OPEN SPACE, MIN. YARD REQUIREMENTS, PARKING & LOADING REQUIREMENTS, PARKING SPACES, LOADING SPACES, BICYCLE PARKING SPACES.



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OVERALL BUILDING AREA PLANS

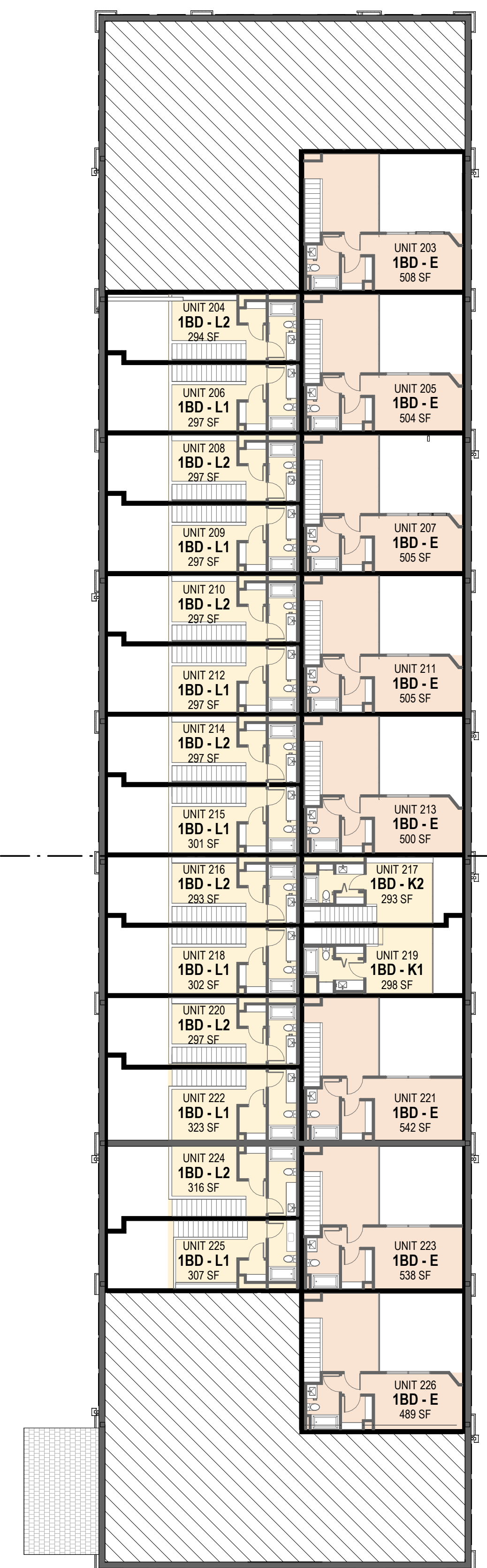
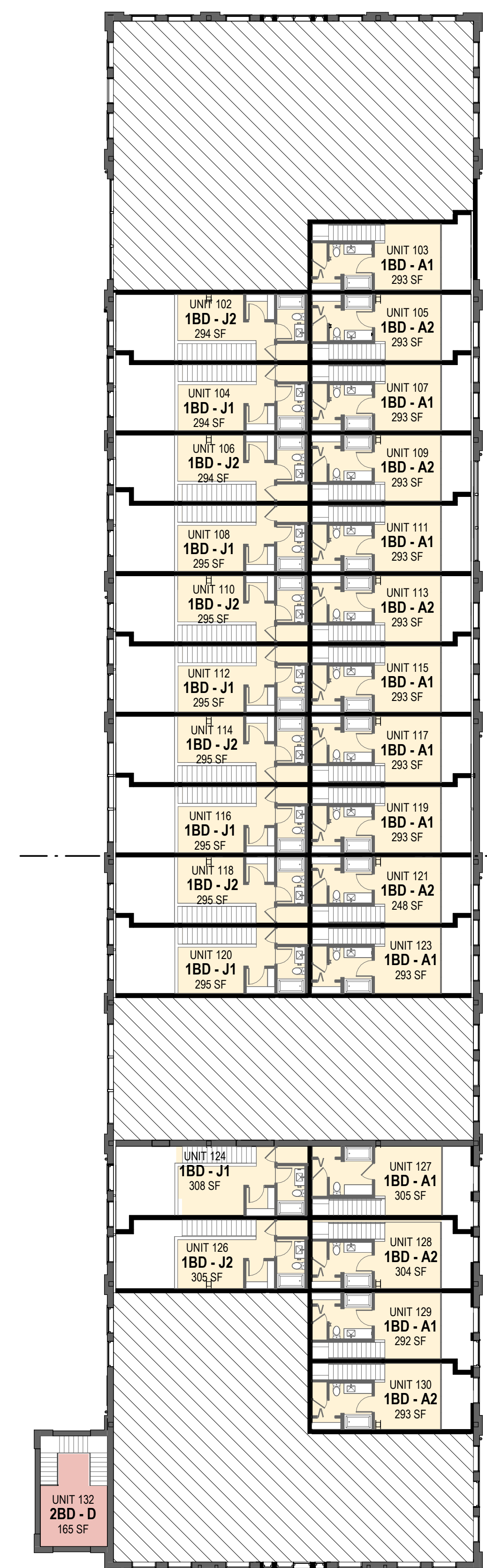
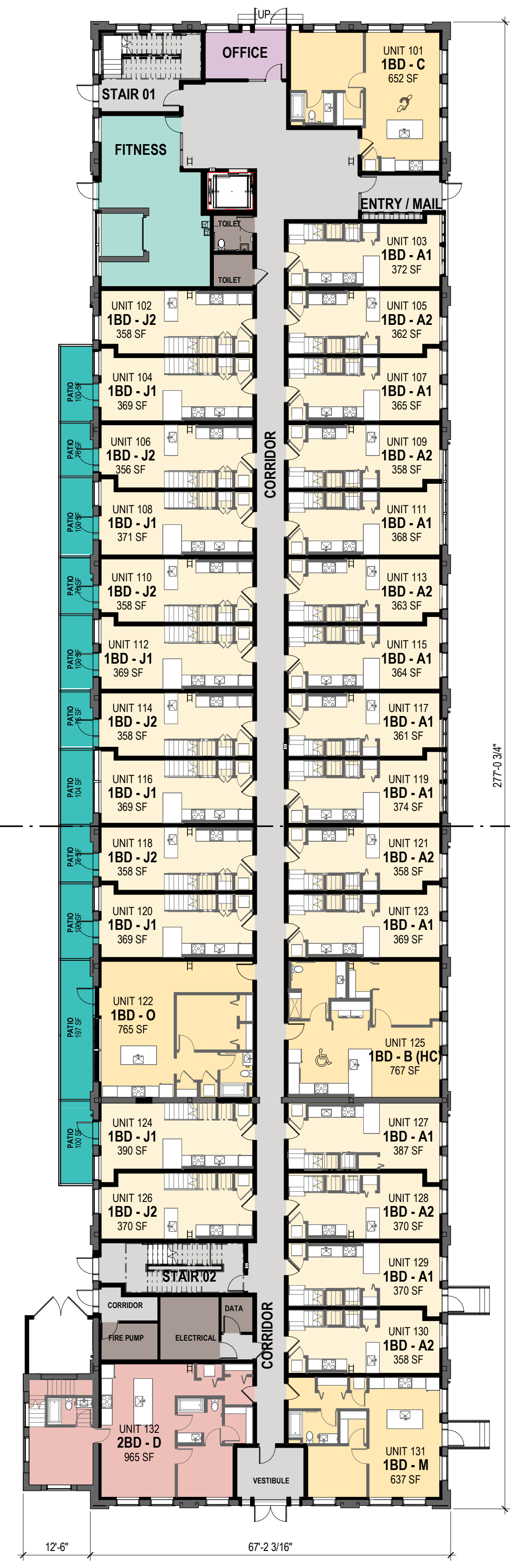
G1.01

UNIT ### - APARTMENT NUMBER
#BD - X - NUMBER OF BEDROOMS AND UNIT TYPE
SF - HUD GROSS AREA / MARKET NET AREA

AREA TAG LEGEND
NOTE: REFER TO TITLE SHEET FOR AREA CALCULATIONS AND UNIT MIX

UNIT TYPE LEGEND

- 1 BD (MULTI-STORY)
- 1 BD
- 2 BD+
- AMENITY
- EXTERIOR, COVERED
- CIRCULATION / COMMON
- OFFICE
- BACK OF HOUSE



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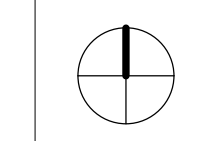
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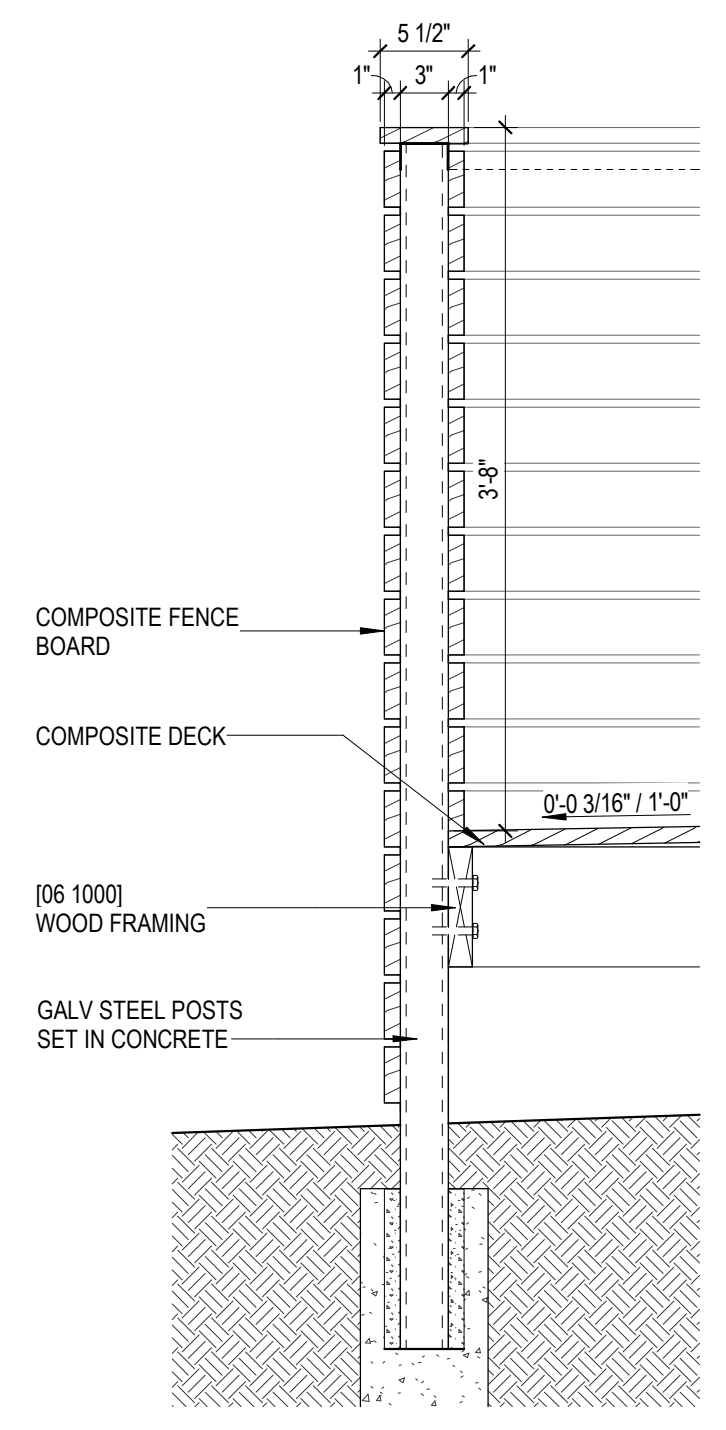
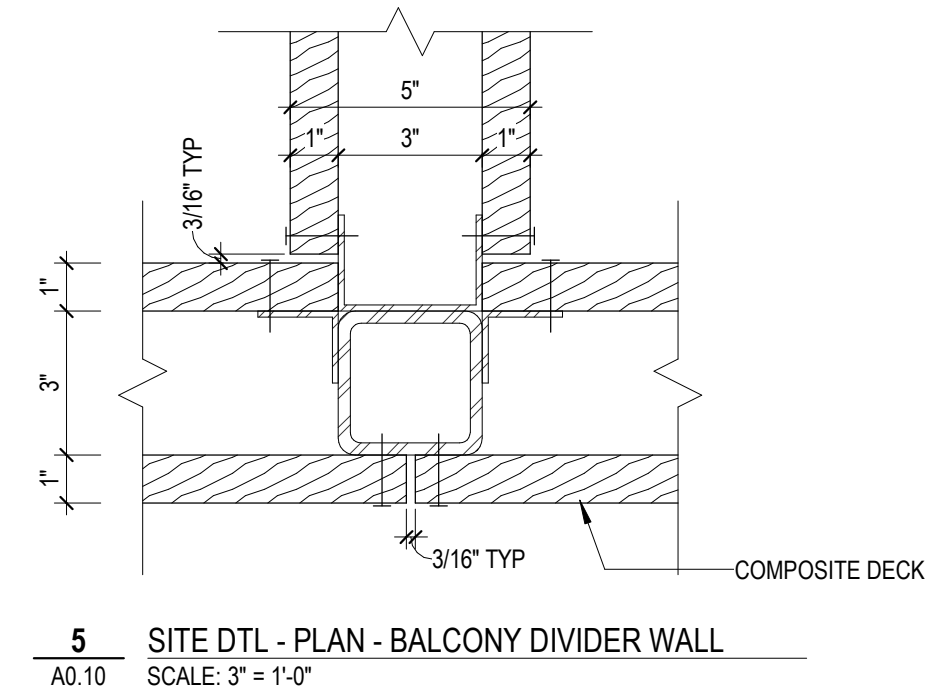
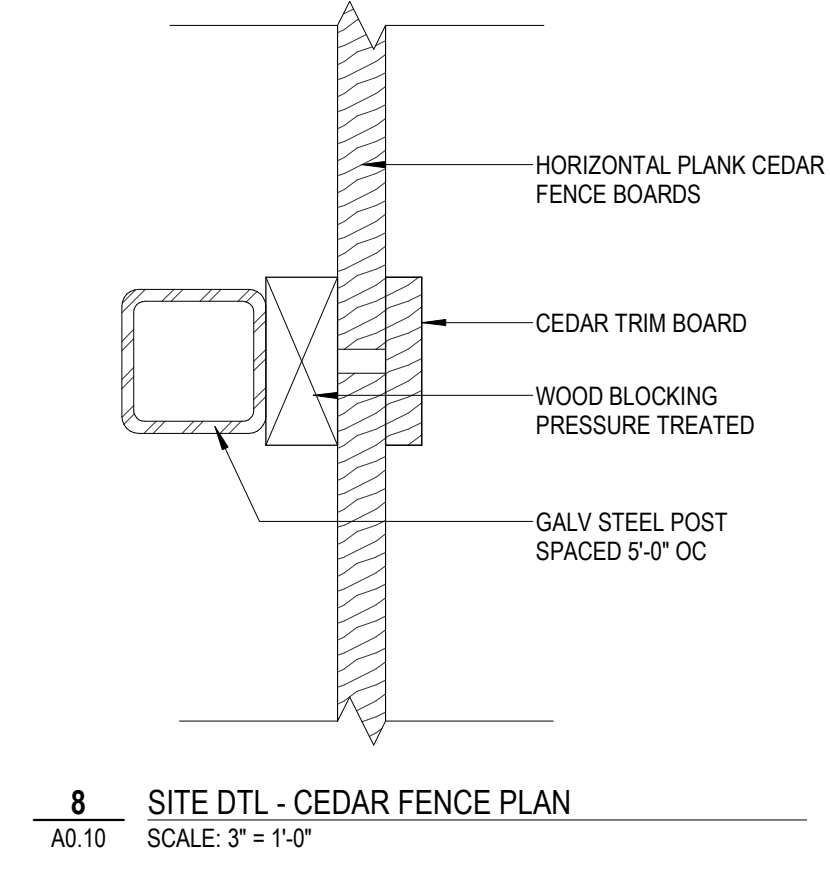
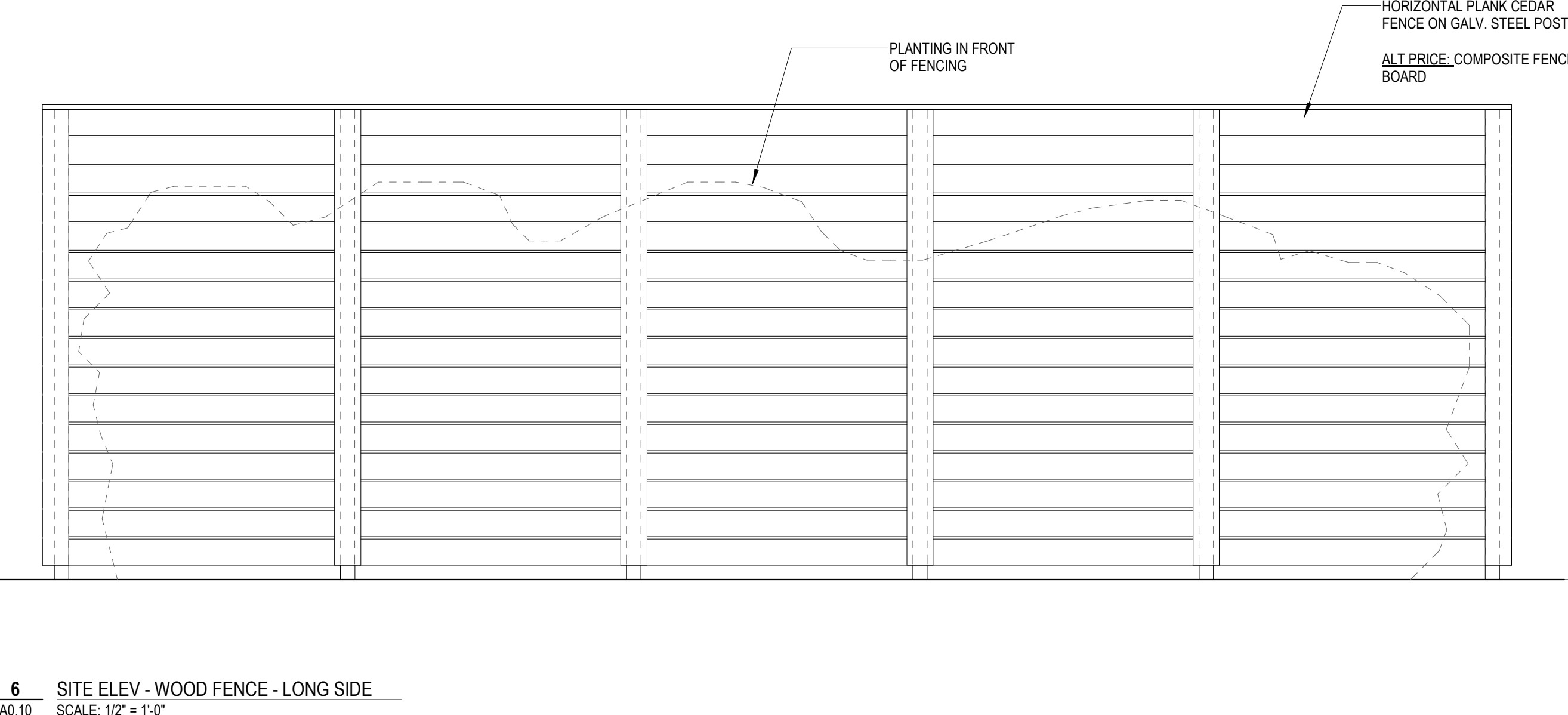
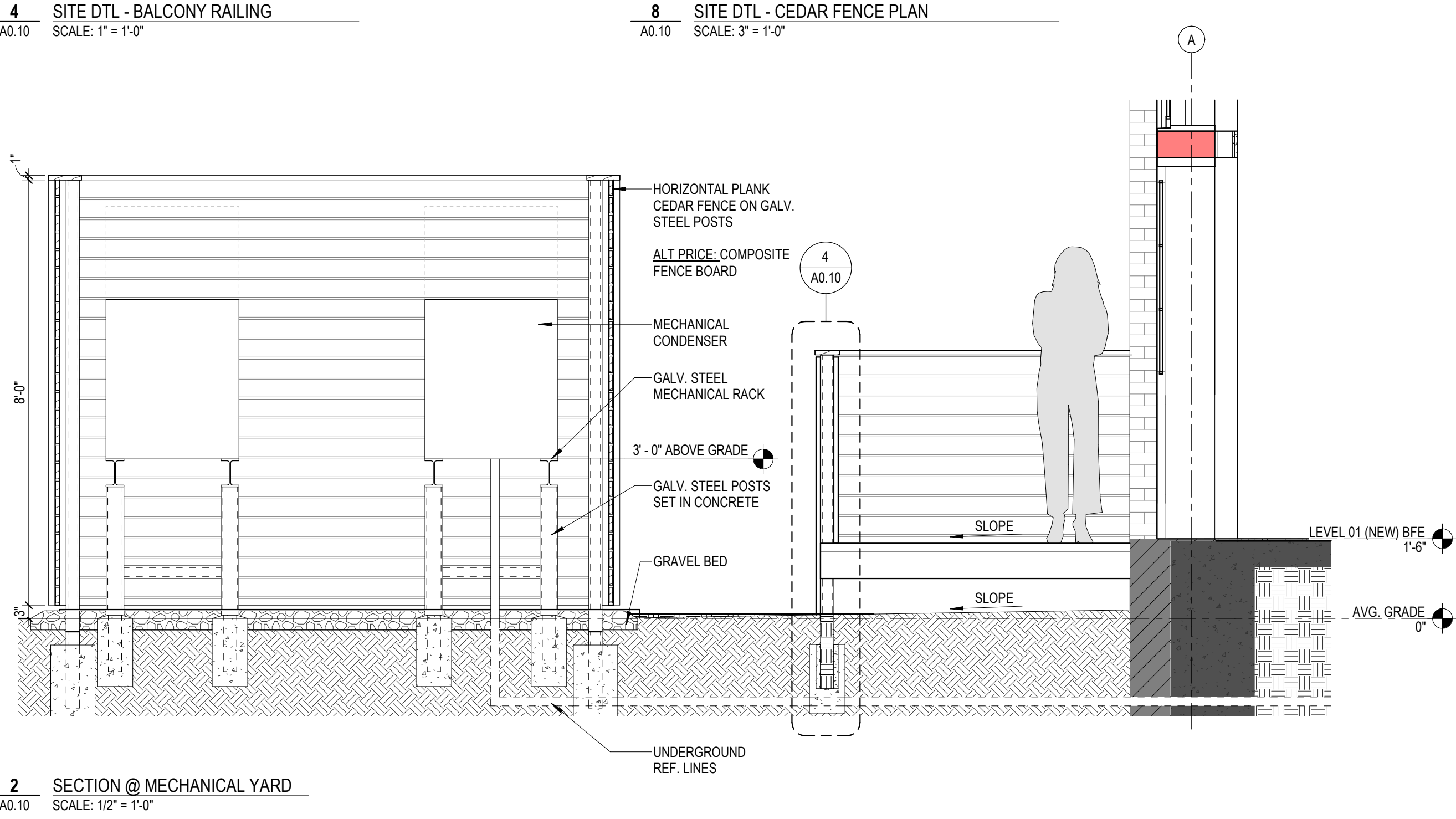
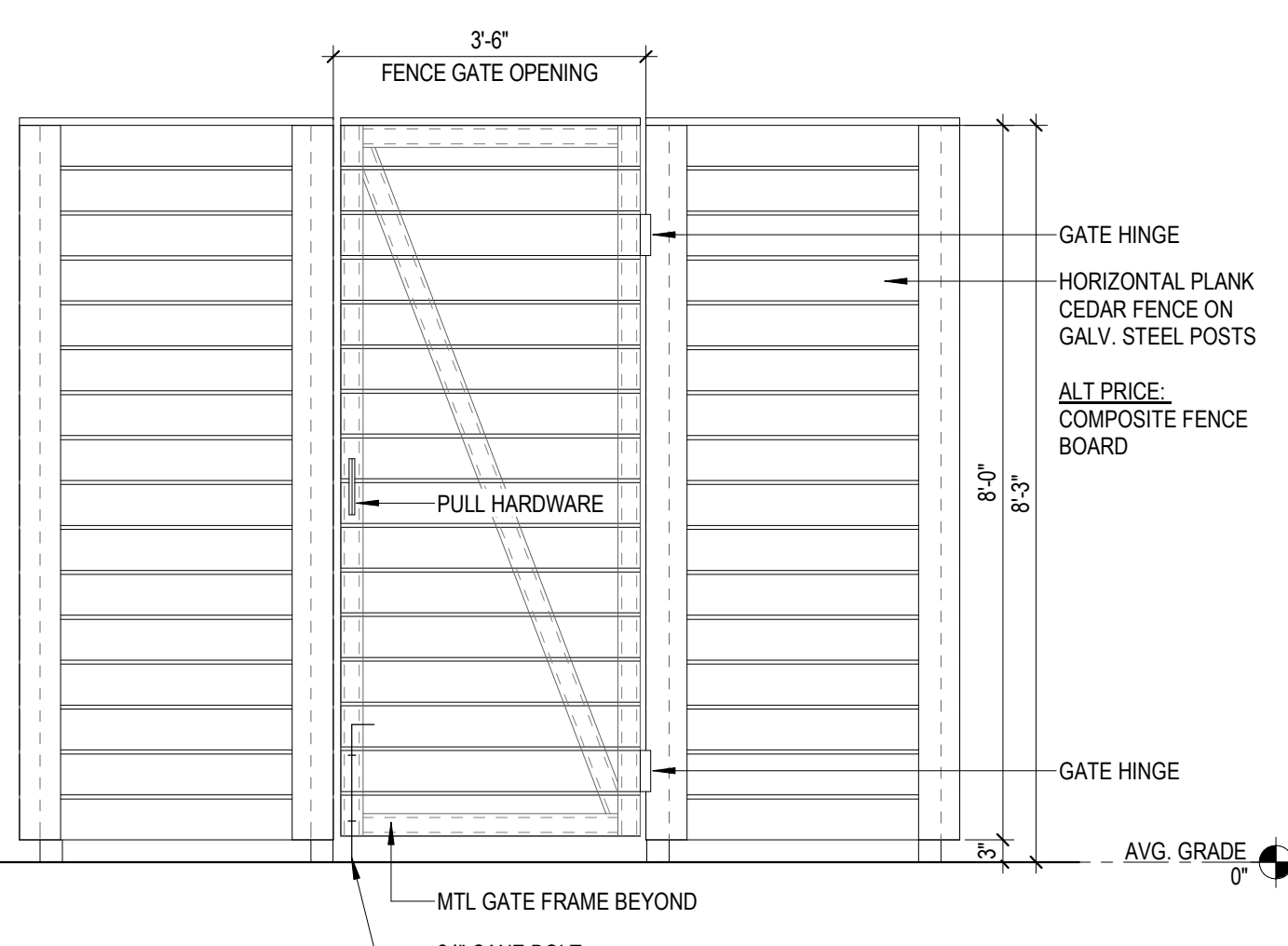
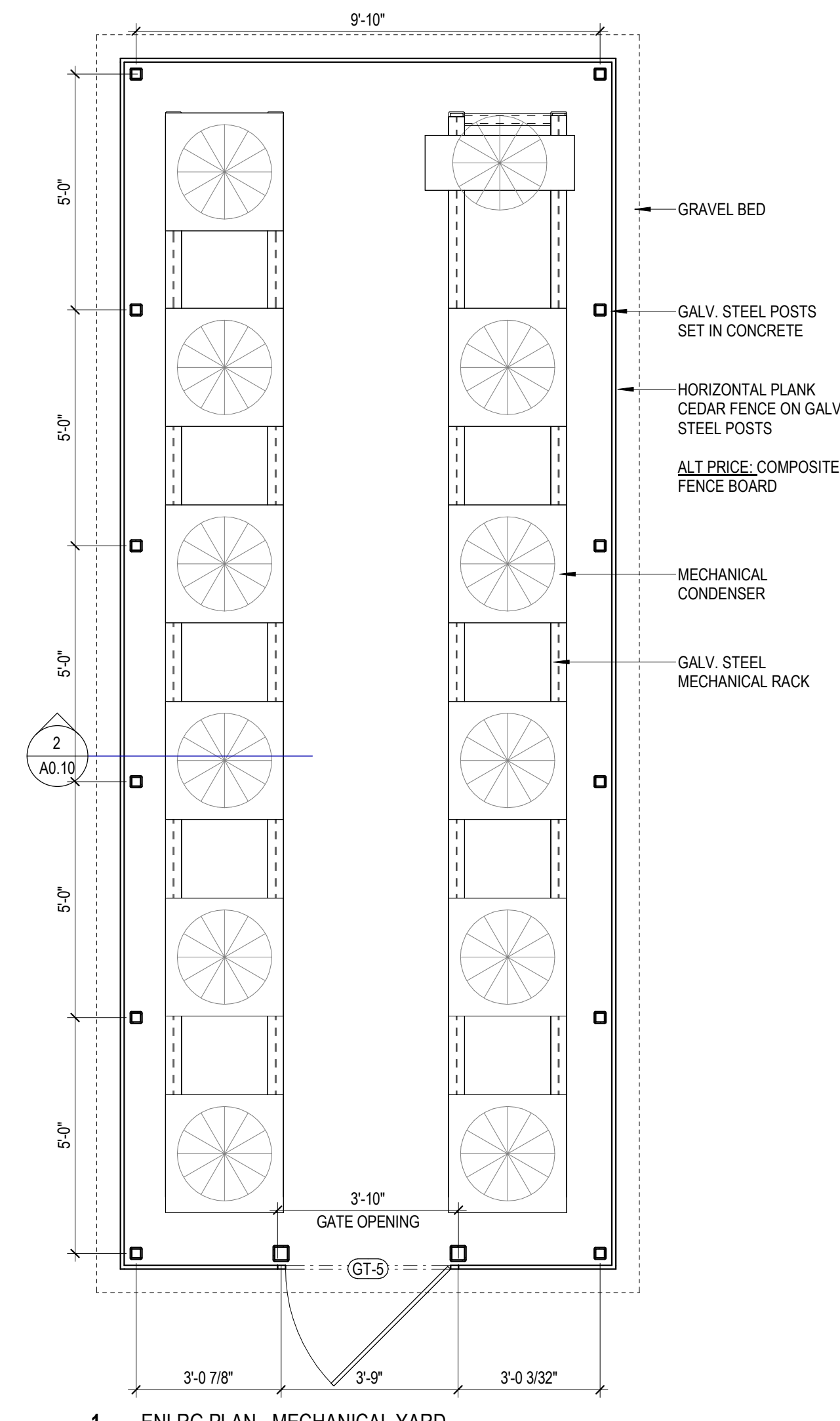
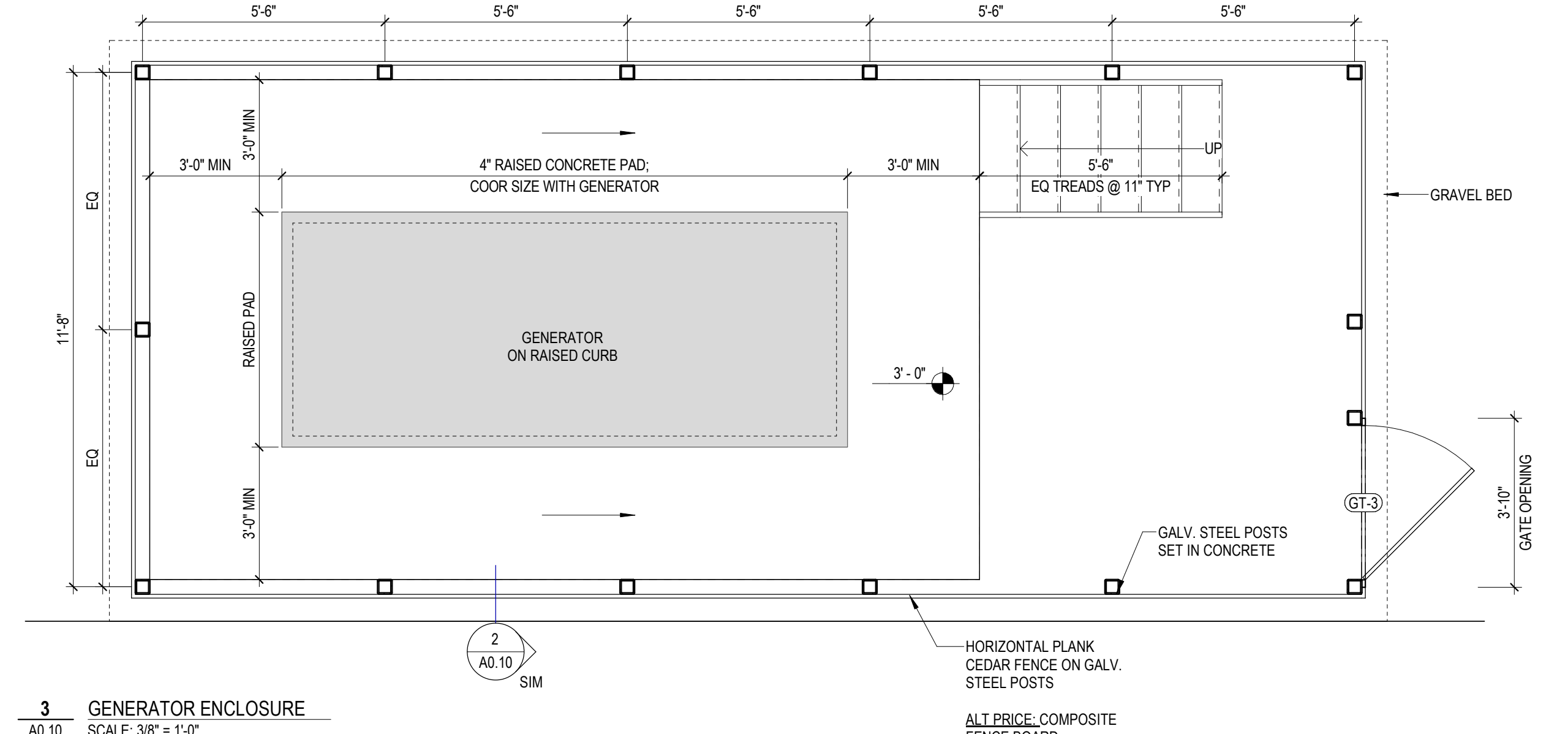


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ARCH SITE DETAILS



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RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4
2275 SANCTUARY DRIVE
NEW ORLEANS, LA

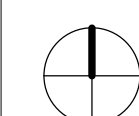
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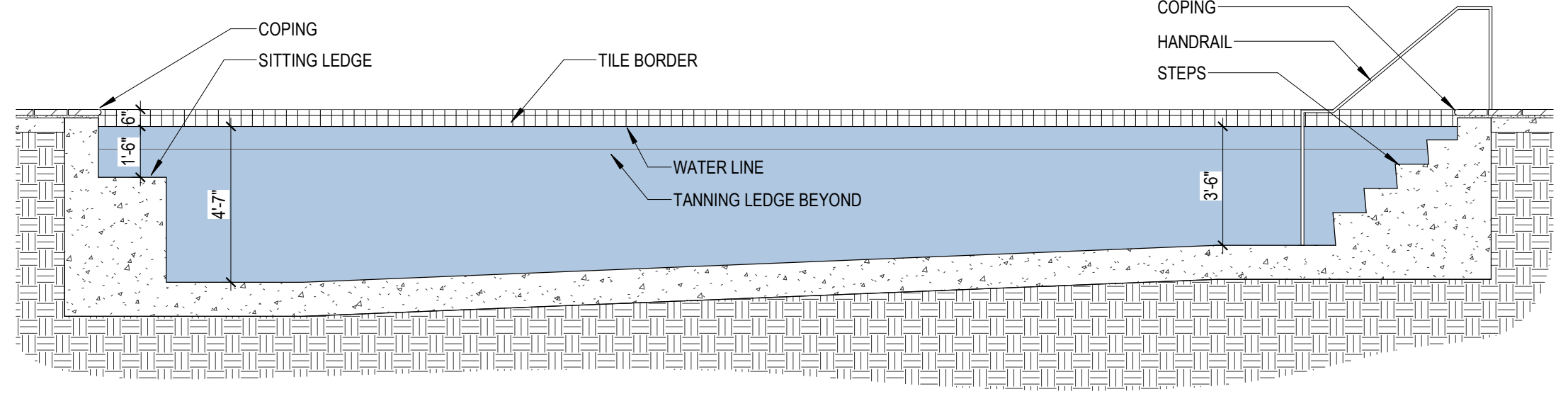
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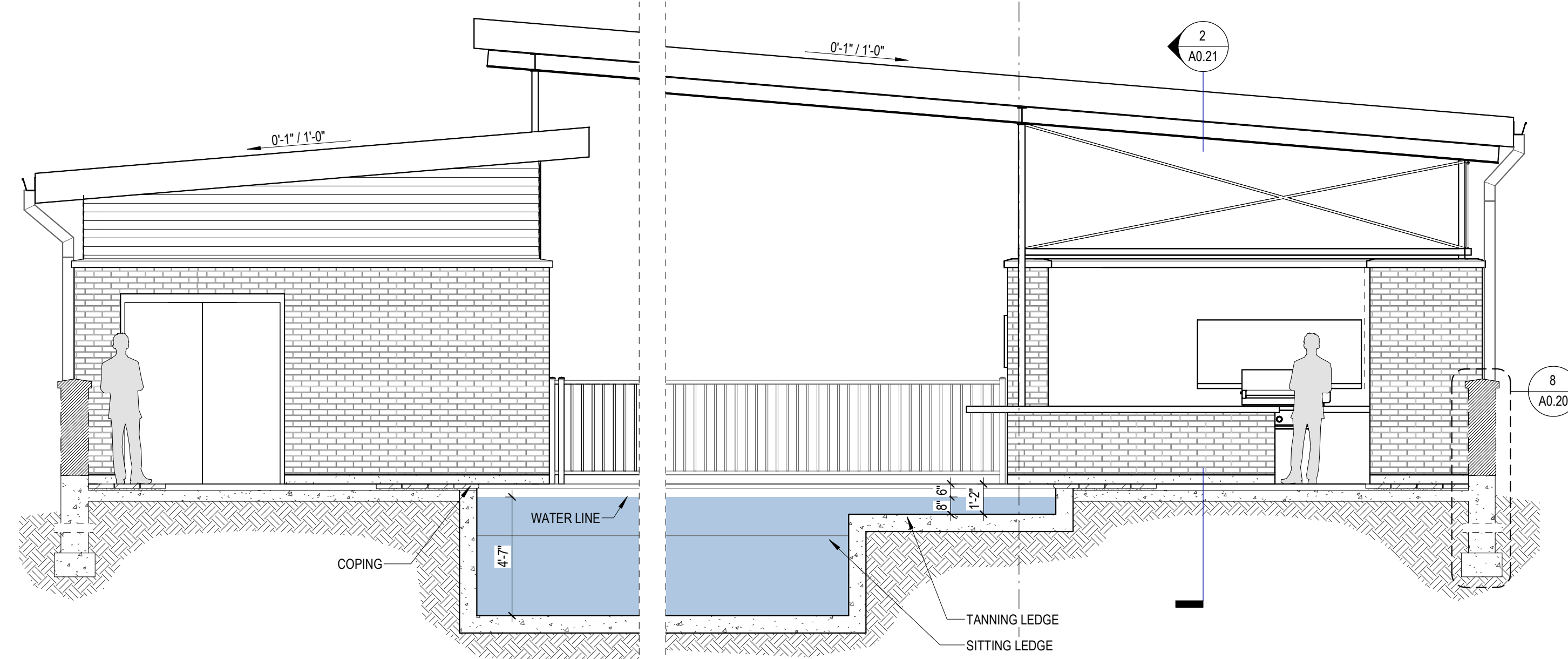
POOL HOUSE

A0.20

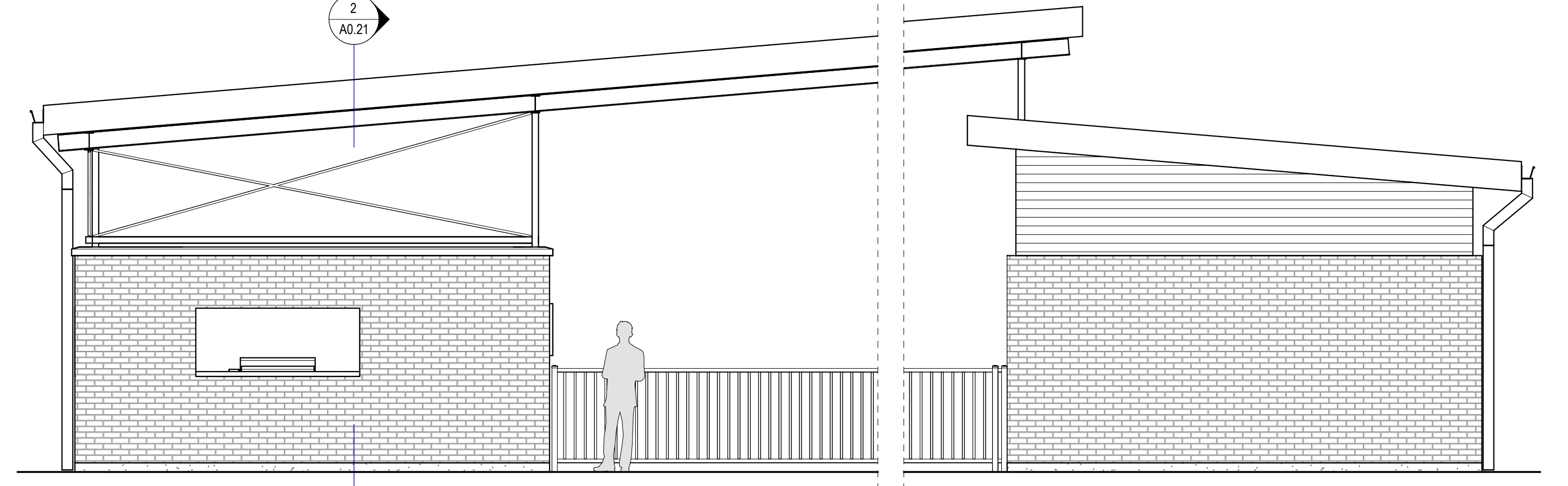


7 SECTION - N/S POOL
A0.20 SCALE: 1/4" = 1'-0"

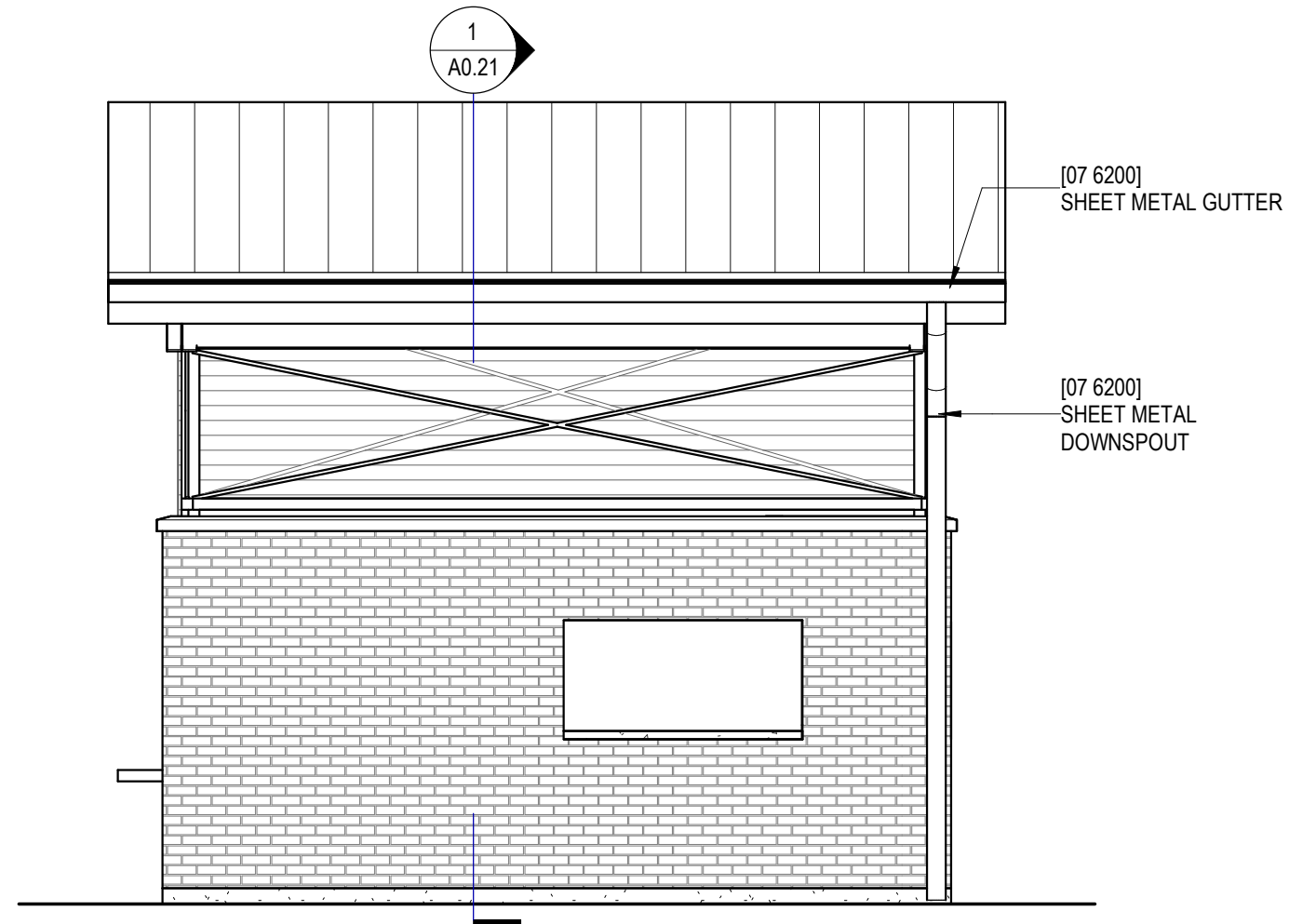
8 DTL - POOL HOUSE
A0.20 SCALE: 1/2" = 1'-0"



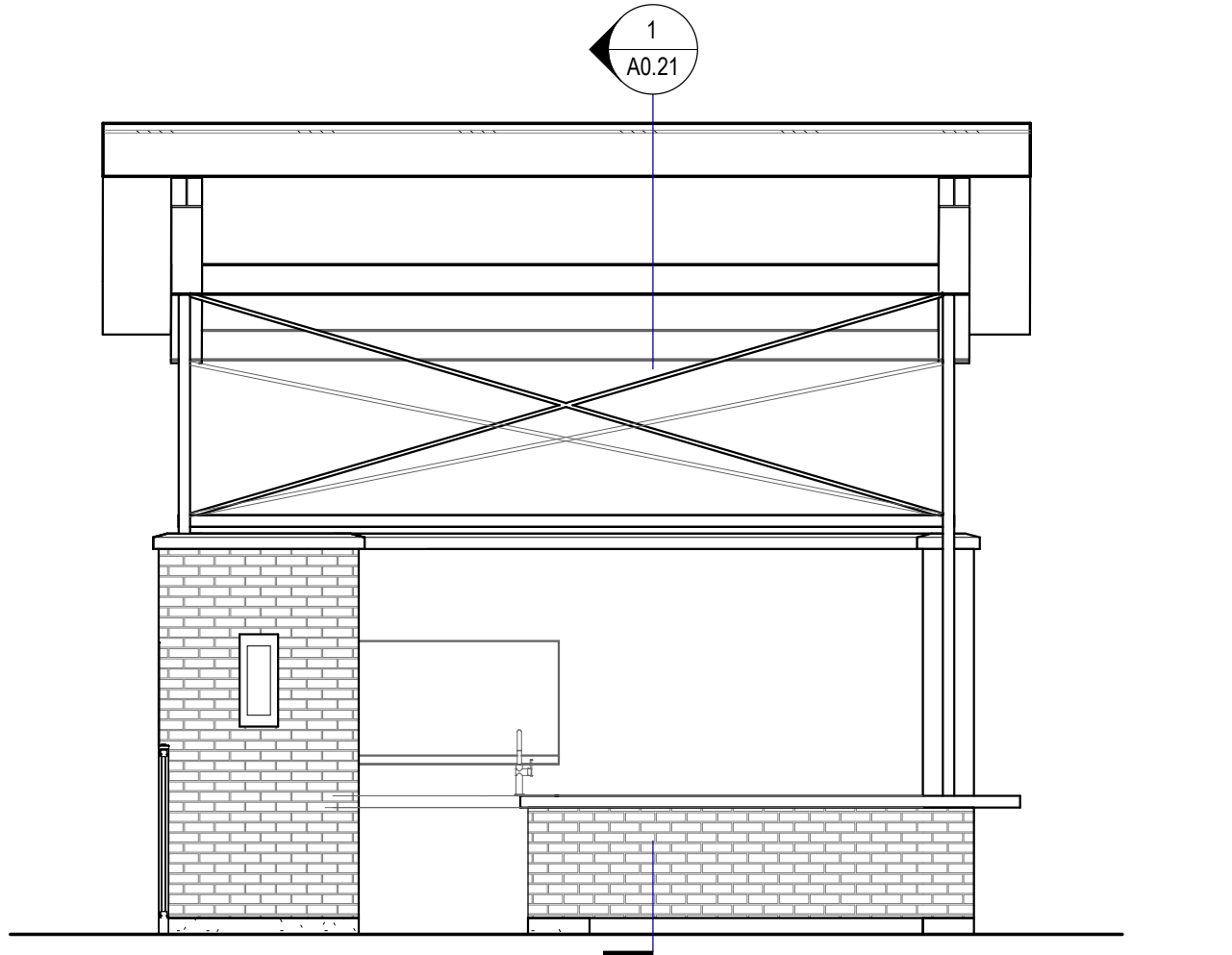
6 ELEVATION - EAST - POOL HOUSE
A0.20 SCALE: 1/4" = 1'-0"



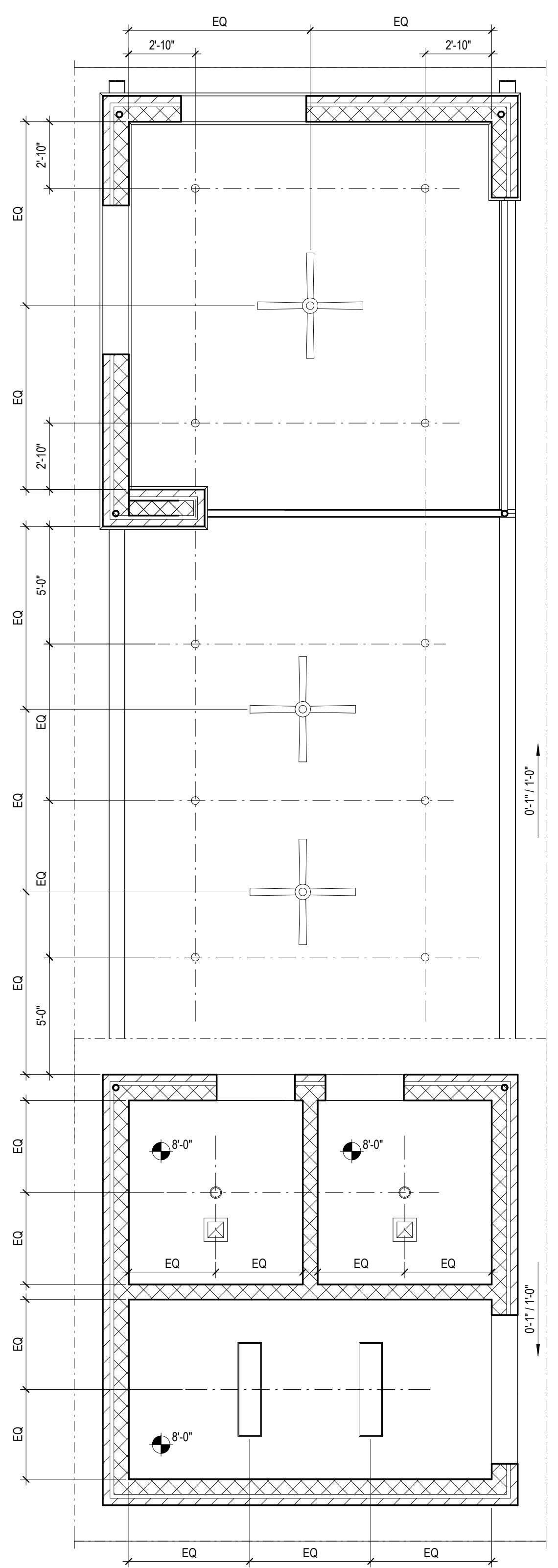
5 ELEVATION - WEST - POOL HOUSE
A0.20 SCALE: 1/4" = 1'-0"



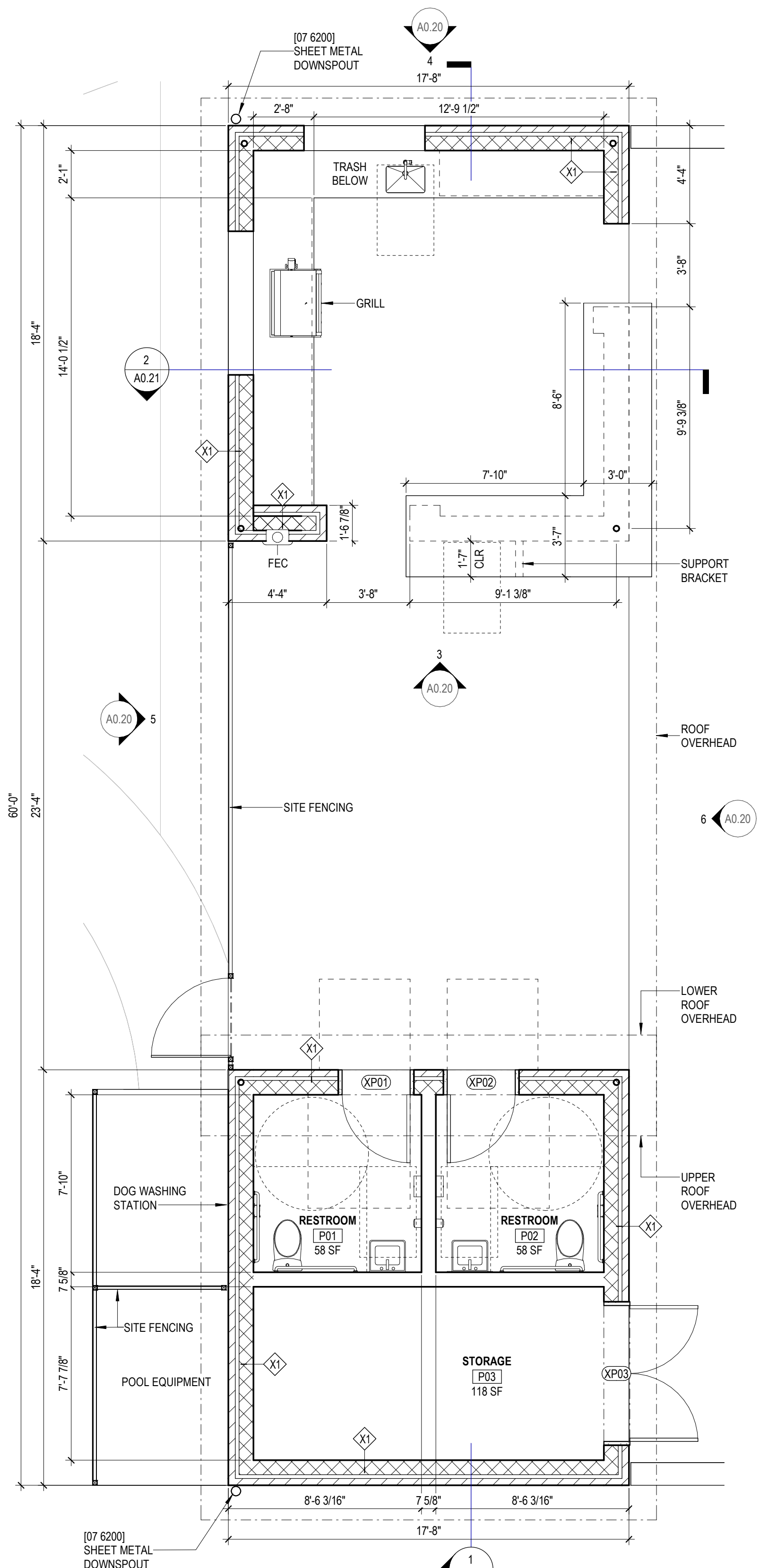
4 ELEVATION - NORTH - POOL HOUSE
A0.20 SCALE: 1/4" = 1'-0"



3 ELEVATION - SOUTH - POOL HOUSE
A0.20 SCALE: 1/4" = 1'-0"



2 RCP - POOL HOUSE
A0.20 SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - POOL HOUSE
A0.20 SCALE: 1/4" = 1'-0"

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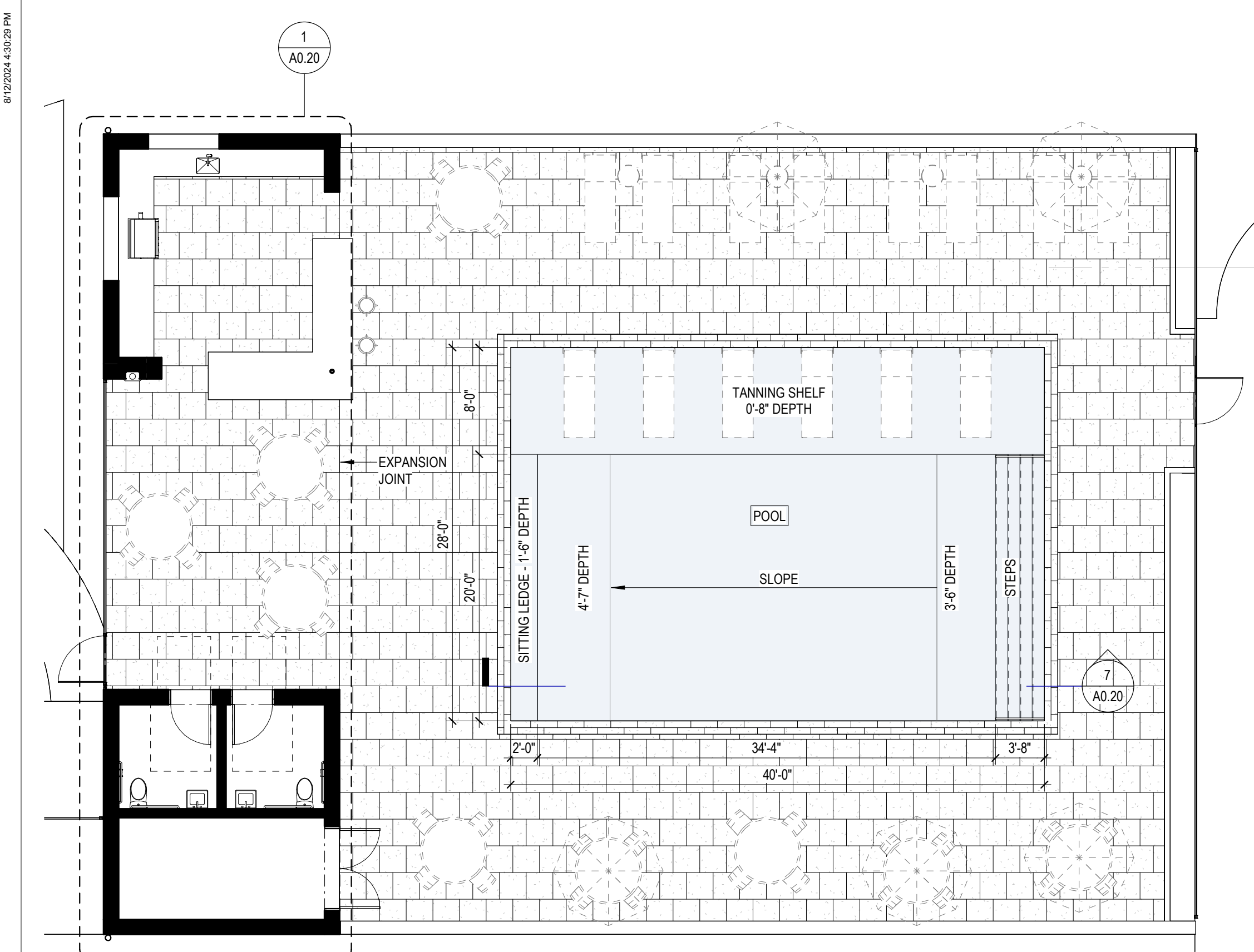
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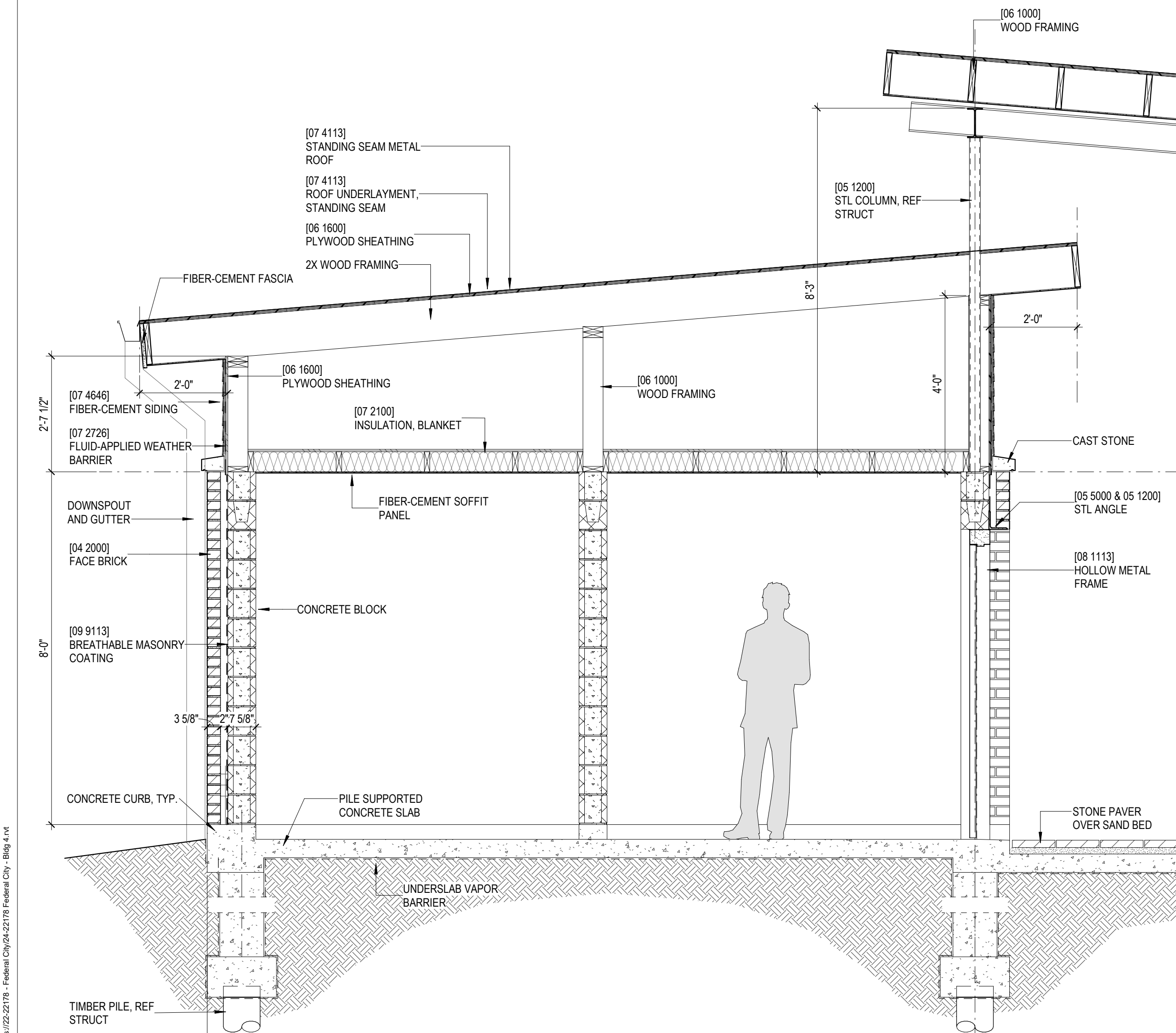
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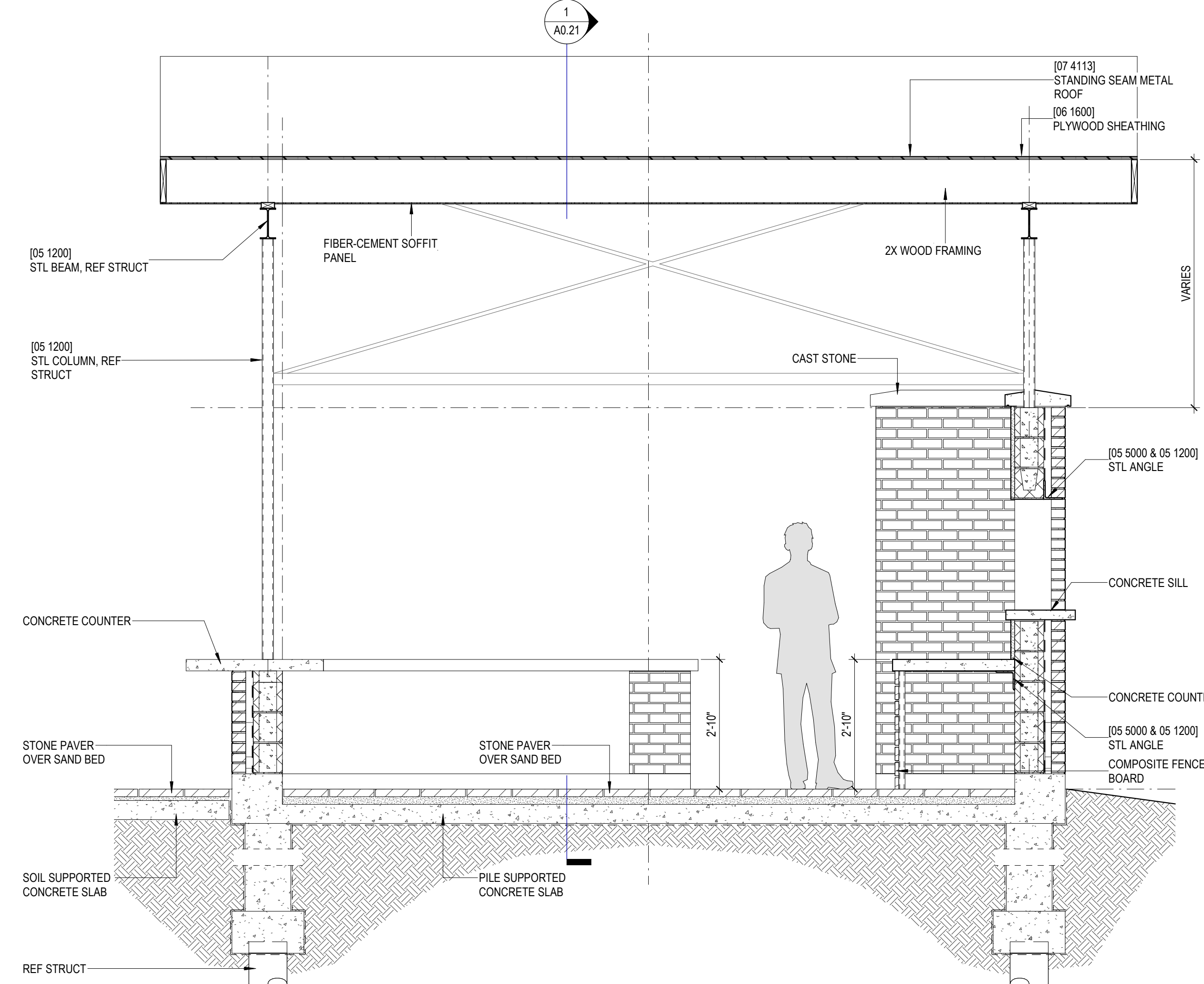
POOL HOUSE - SECTIONS



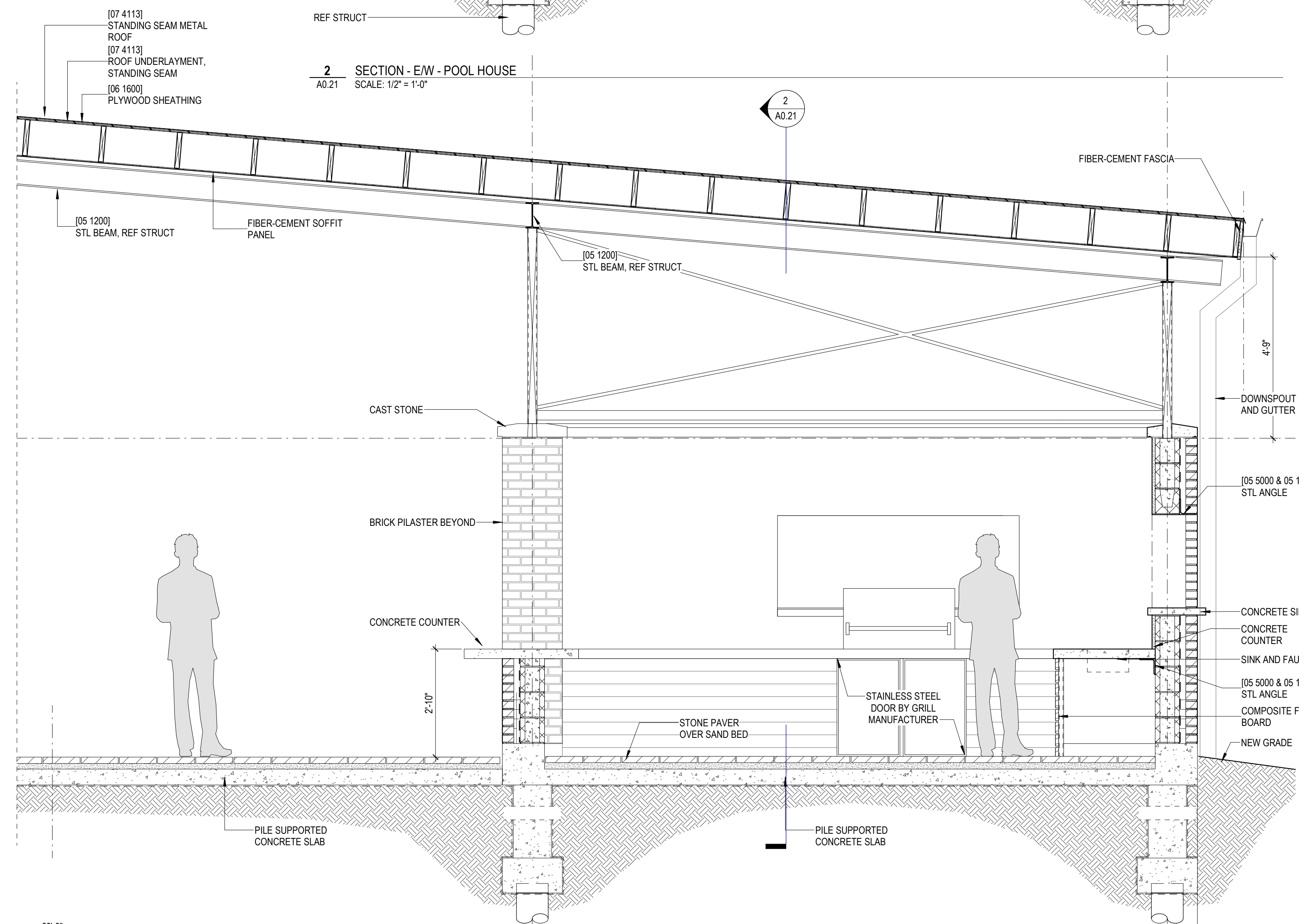
3 POOL AMENITY PLAN
A0.21 SCALE: 1/8" = 1'-0"



1 SECTION - N/S - POOL HOUSE
A0.21 SCALE: 1/2" = 1'-0"



2 SECTION - EW - POOL HOUSE
A0.21 SCALE: 1/2" = 1'-0"



60'-0"

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LEGEND - CONSTRUCTION

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL
- NEW WALL INFILL TO MATCH EXISTING

- GENERAL PLAN NOTES**
1. DIMENSION PLAN SHEET NOTES APPLY TO ALL DIMENSION PLAN DRAWINGS.
 2. DO NOT SCALE DRAWINGS. USE ONLY FIGURED DIMENSIONS.
 3. REFERENCE THE ENLARGED PLANS FOR AREAS INDICATED AND FOR DIMENSIONS NOT SHOWN ON DIMENSION PLAN. IN AN INSTANCE OF CONFLICT, NOTIFY ARCHITECT.
 4. ALL PARTITION DIMENSIONS ARE MEASURED FROM GRIDLINES, THE FACE STRUCTURAL STUD, OR FACE OF MASONRY, AND ONLY FROM FACE OF NEW WALL FINISH WHEN NOTED WITH (CLEAR).
 5. GRIDLINES ARE ALIGNED TO CENTER OF STUD OR FACE OF STUD AS NOTED BY (1) SYMBOL.
 6. ALL DOOR OPENINGS ARE TO BE OFFSET 4" FROM THE ADJACENT WALL UNLESS OTHERWISE NOTED.
 7. REFER TO DESCRIPTIVE PLANS FOR CORRIDOR, DEMISING WALL, INTERIOR PARTITION & EXTERIOR WALL TYPES.

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BUILDING 4
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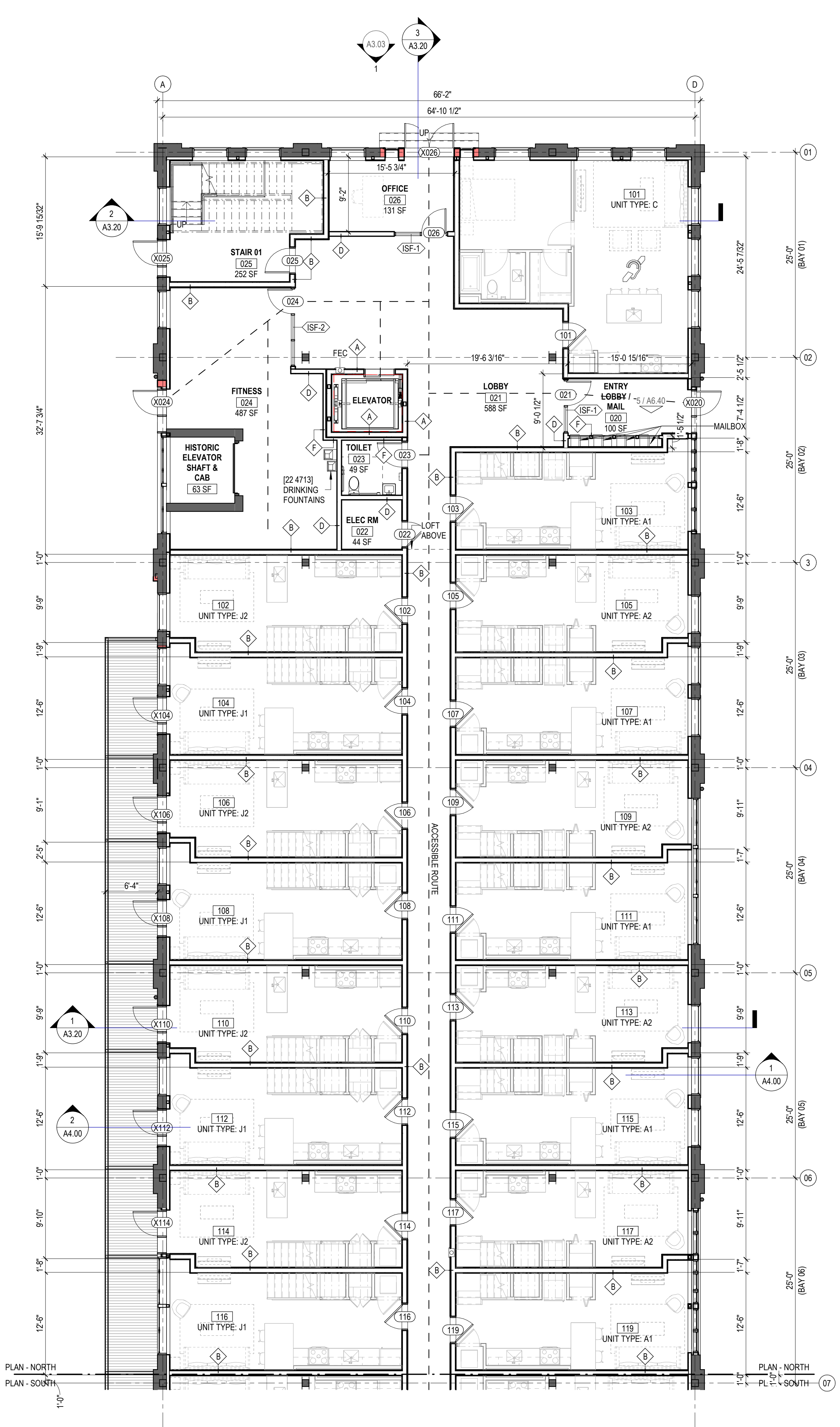
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1 LEVEL 01 - NORTH
 A2.01 SCALE: 1/8" = 1'-0"


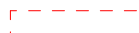
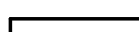



2 LEVEL 01 - SOUTH
 A2.01 SCALE: 1/8" = 1'-0"

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BUILDING PLANS - LEVEL 01

LEGEND - CONSTRUCTION

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED
-  NEW WALL
-  NEW WALL INFILL TO MATCH EXISTING

- GENERAL PLAN NOTES**
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 6. ALL DOOR OPENINGS ARE TO BE OFFSET 4" FROM THE ADJACENT WALL UNLESS OTHERWISE NOTED.
 7. REFER TO DESCRIPTIVE PLANS FOR CORRIDOR, DEMISING WALL, INTERIOR PARTITION & EXTERIOR WALL TYPES.

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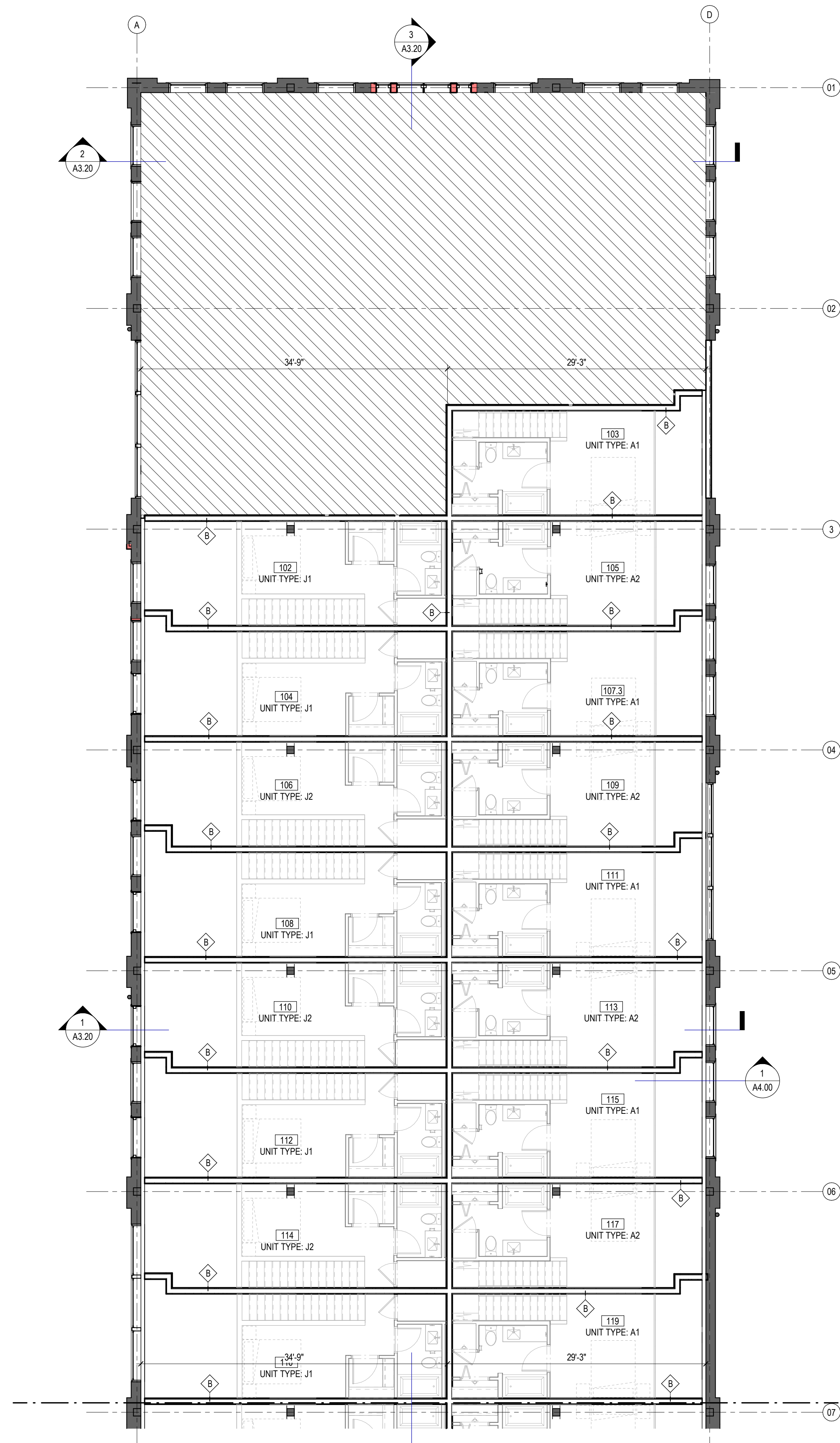
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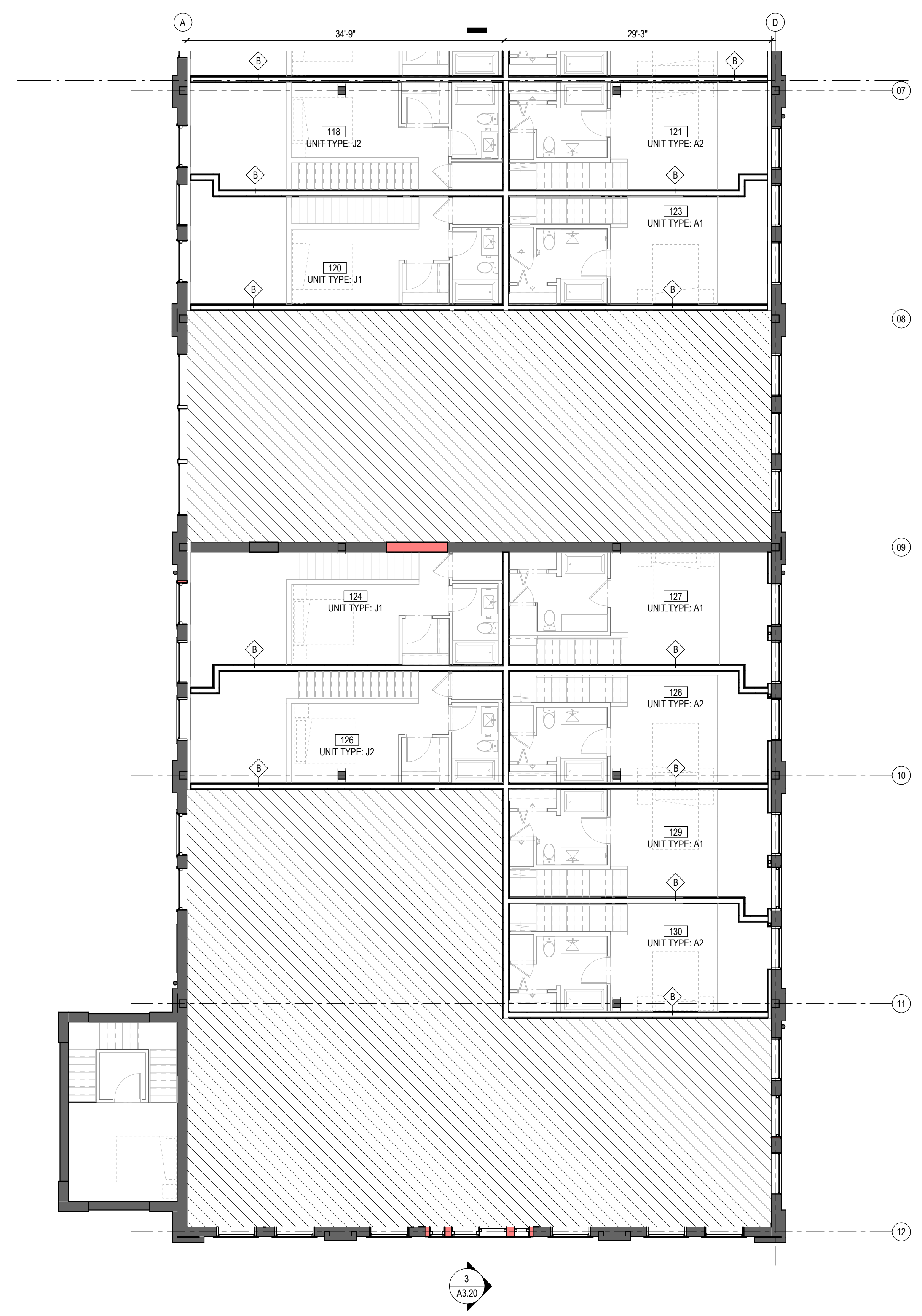
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**BUILDING PLANS -
LEVEL 01.5 (UNIT
LOFTS)**



1 LEVEL 01.5 (UNIT LOFTS) - NORTH
A2.02 SCALE: 1/8" = 1'-0"



2 LEVEL 01.5 (UNIT LOFTS) - SOUTH
A2.02 SCALE: 1/8" = 1'-0"

LEGEND - CONSTRUCTION

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- EXISTING WALL TO BE DEMOLISHED
- NEW WALL
- NEW WALL INFILL TO MATCH EXISTING

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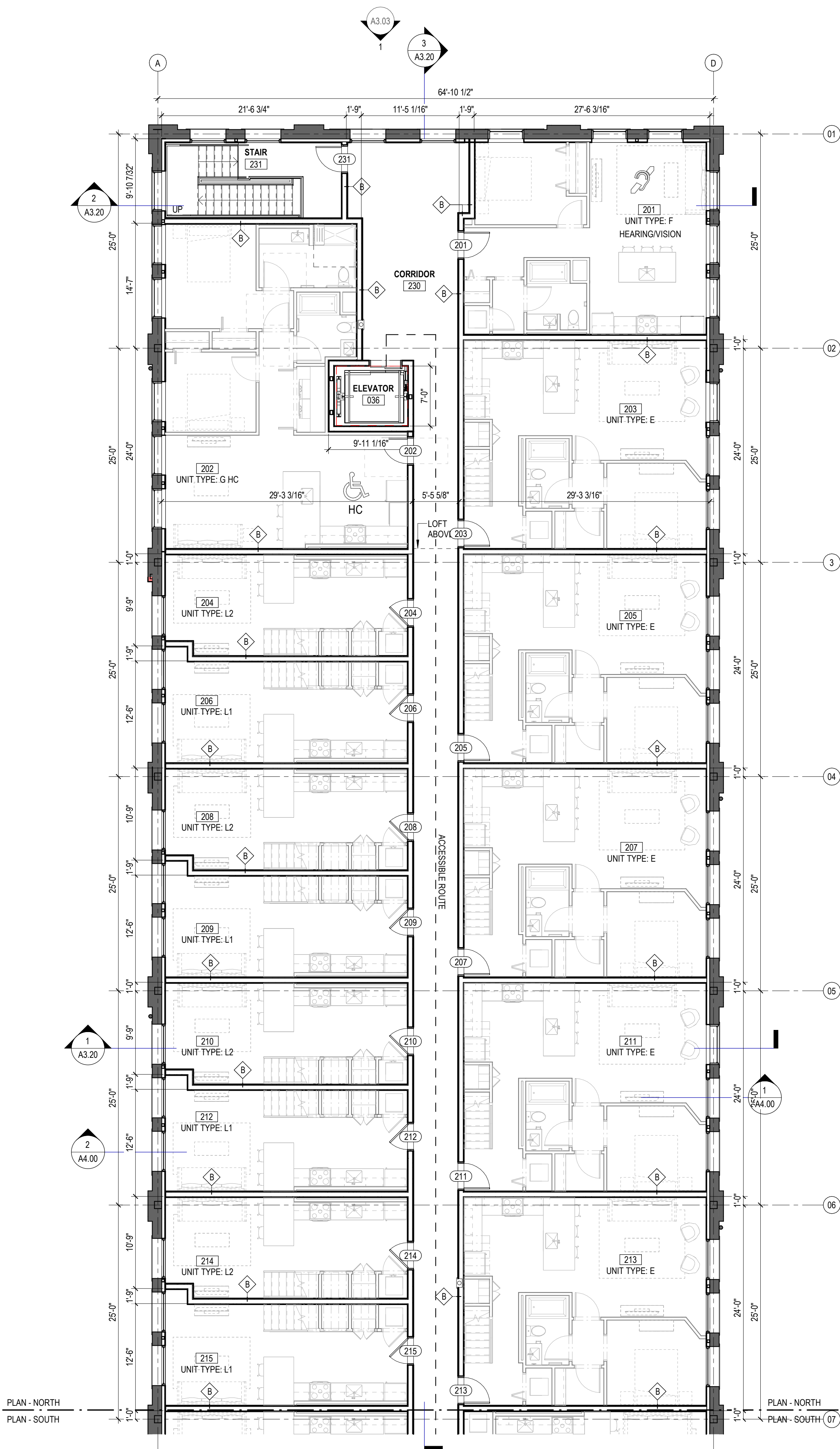
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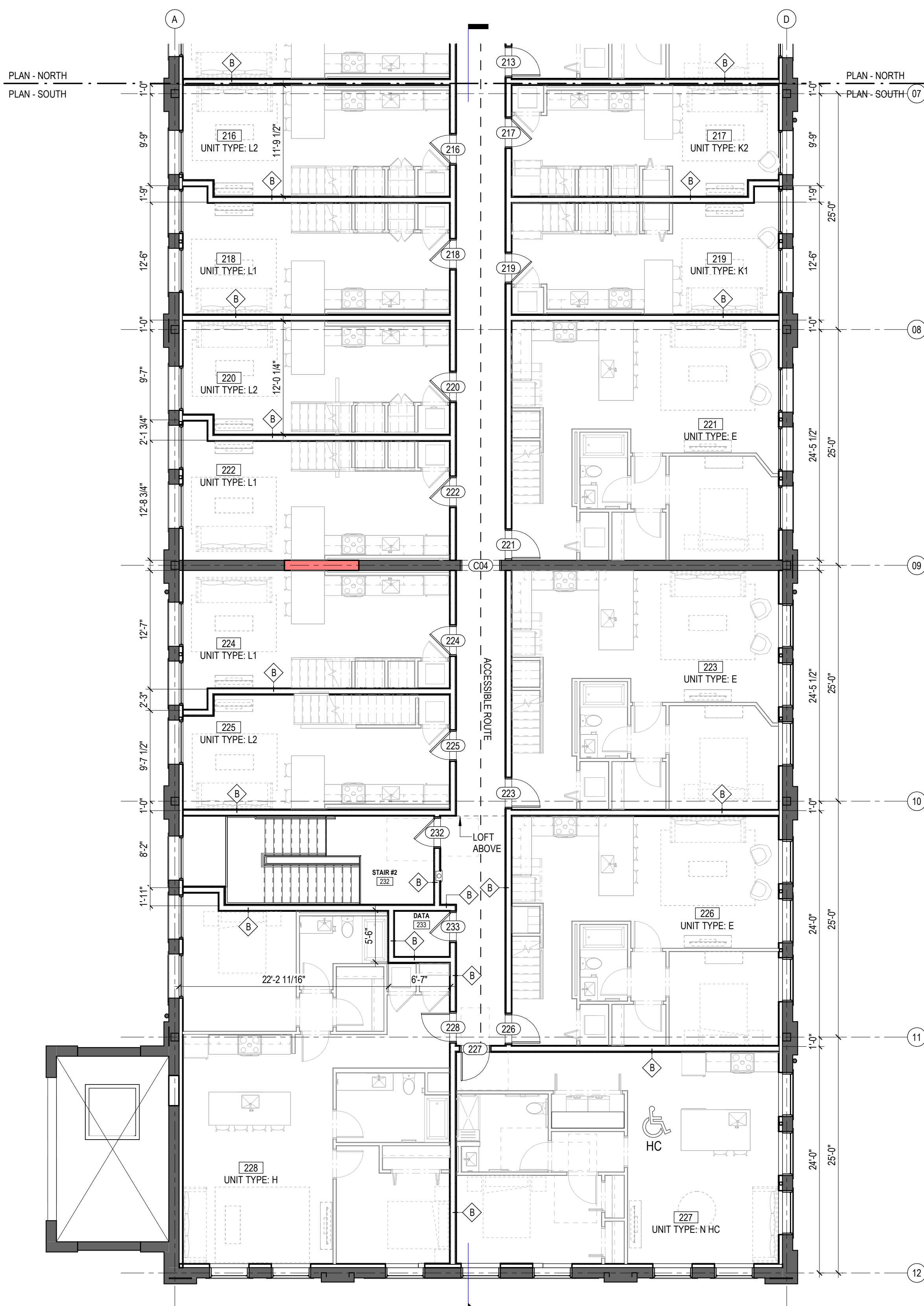
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1 LEVEL 02 - NORTH
A2.03 SCALE: 1/8" = 1'-0"



2 LEVEL 02 - SOUTH
A2.03 SCALE: 1/8" = 1'-0"

LEGEND - CONSTRUCTION

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL
	NEW WALL INFILL TO MATCH EXISTING

- GENERAL PLAN NOTES**
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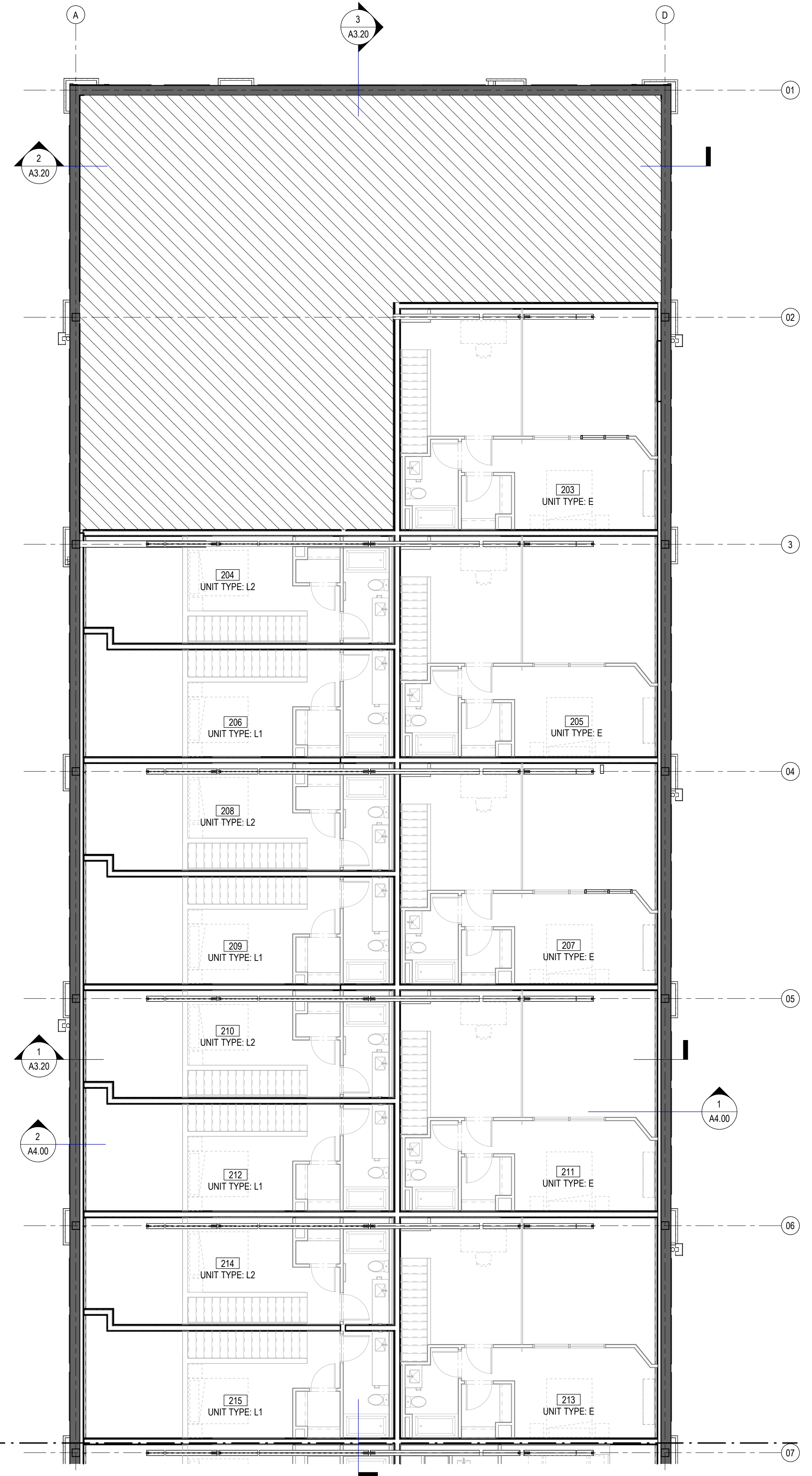
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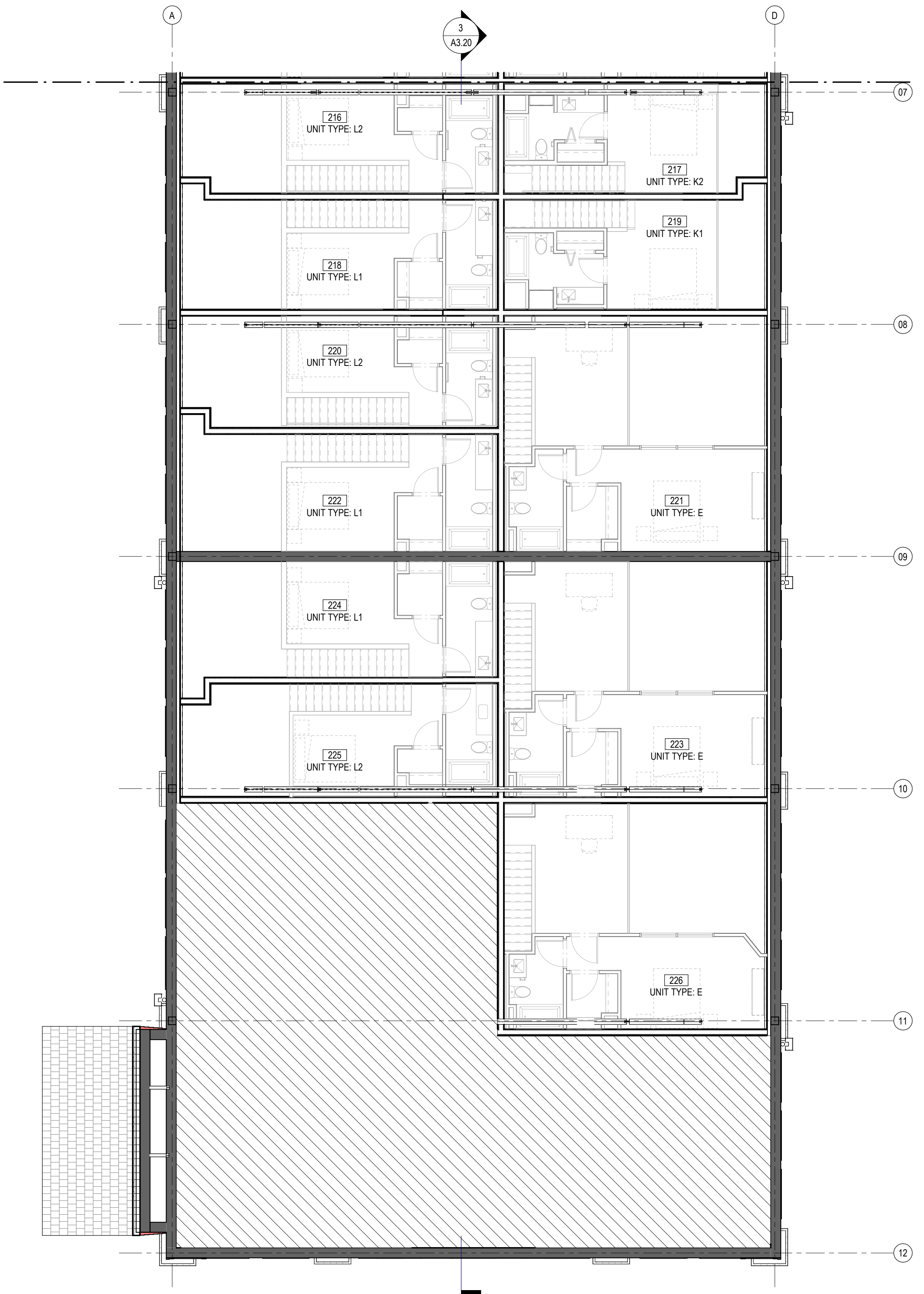
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**BUILDING PLANS -
LEVEL 02.5 (UNIT
LOFTS)**



1 LEVEL 02.5 (UNIT LOFTS) - NORTH
A2.04 SCALE: 1/8" = 1'-0"



2 LEVEL 02.5 (UNIT LOFTS) - SOUTH
A2.04 SCALE: 1/8" = 1'-0"

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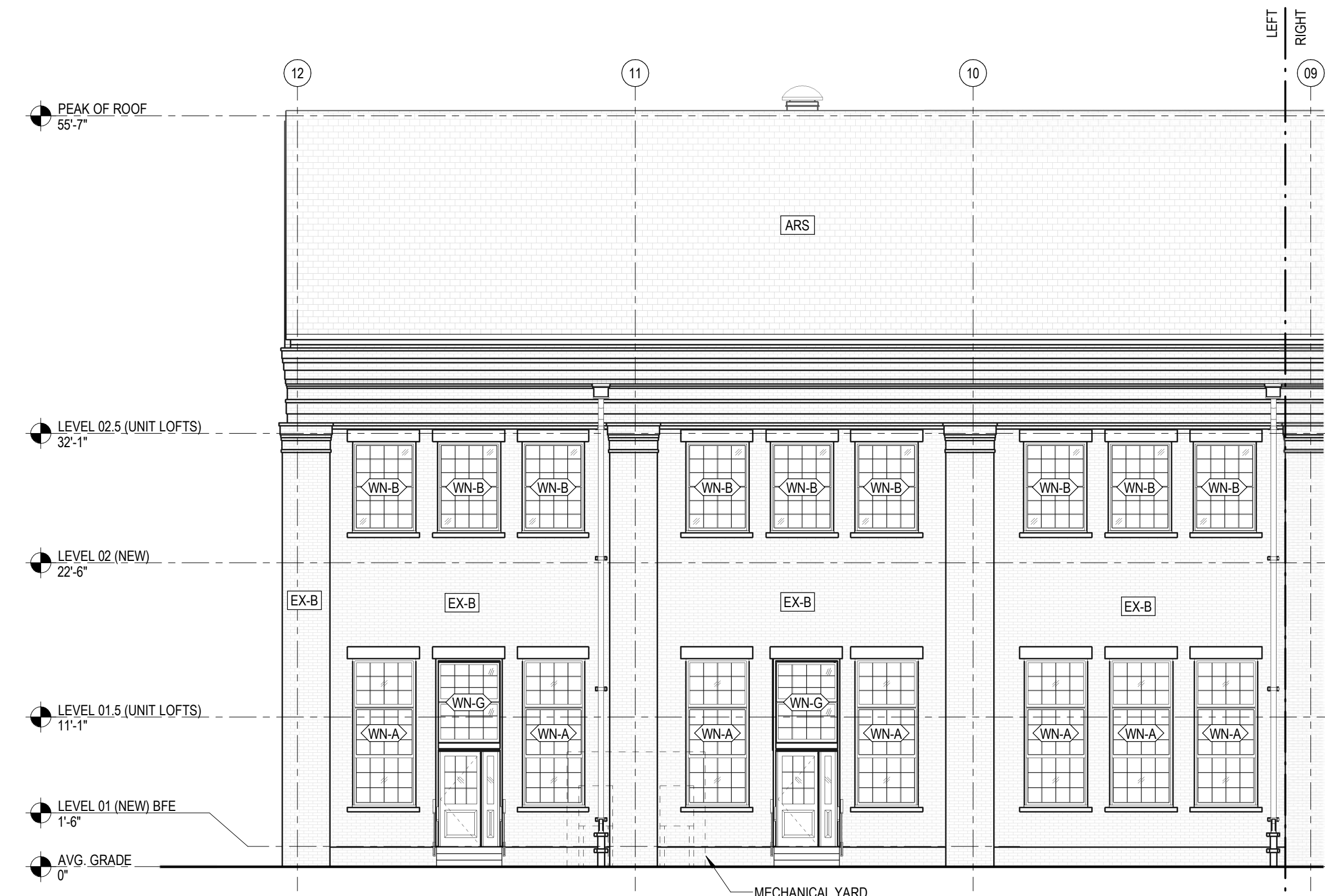


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1	A4.00	
2	A3.20	

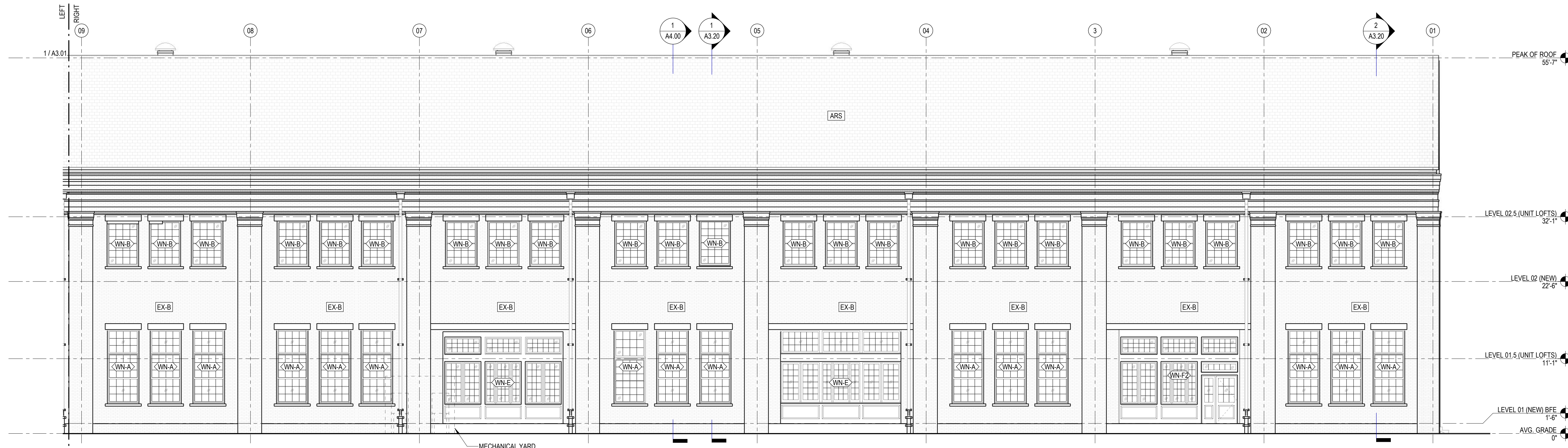
EXTERIOR MATERIAL KEY LEGEND (4A)		
MATERIAL: MARK	DESCRIPTION	FINISH, NOTES
ARS	4A ASPHALT ROOF SHINGLES	ARCHITECTURAL STYLE SHINGLE
CMUX	4A EXTERIOR PAINTED CONCRETE MASONRY UNITS	
EX-B	4A EXISTING HISTORIC BRICK	CLEAN AND REPOINT WITH MATCHING MORTAR AS REQ'D
FB-1	4A FACE BRICK	TBD, SINGLE MONOLITHIC SHADE
FCP	4A FIBER CEMENT PANEL	RAINSCREEN SYSTEM W/ EXTRUDED ALUMINUM ACCESSORIES & TRIM
SSMR	4A STANDING SEAM METAL ROOF	



3 BLDG ELEVATION KEY - EAST
A3.01 SCALE: 3/64" = 1'-0"



1 BLDG ELEVATION - EAST - NORTH
A3.01 SCALE: 1/8" = 1'-0"



2 BLDG ELEVATION - EAST - SOUTH
A3.01 SCALE: 1/8" = 1'-0"

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ISSUE DATE
08/13/24

BLDG ELEVATIONS



1 BLDG ELEVATION KEY - WEST
A3.02 SCALE: 3/8" = 1'-0"

EXTERIOR MATERIAL KEY LEGEND (4A)		
MATERIAL MARK	DESCRIPTION	FINISH NOTES
ARS	4A ASPHALT ROOF SHINGLES	ARCHITECTURAL STYLE SHINGLE
CMUX	4A EXTERIOR PAINTED CONCRETE MASONRY UNITS	
EX-B	4A EXISTING HISTORIC BRICK	CLEAN AND REPOINT WITH MATCHING MORTAR AS REQ'D
FB-1	4A FACE BRICK	TBD, SINGLE MONOLITHIC SHADE
FCP	4A FIBER CEMENT PANEL	RAINSCREEN SYSTEM W/ EXTRUDED ALUMINUM ACCESSORIES & TRIM
SSMR	4A STANDING SEAM METAL ROOF	

RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4
2275 SANCTUARY DRIVE
NEW ORLEANS, LA

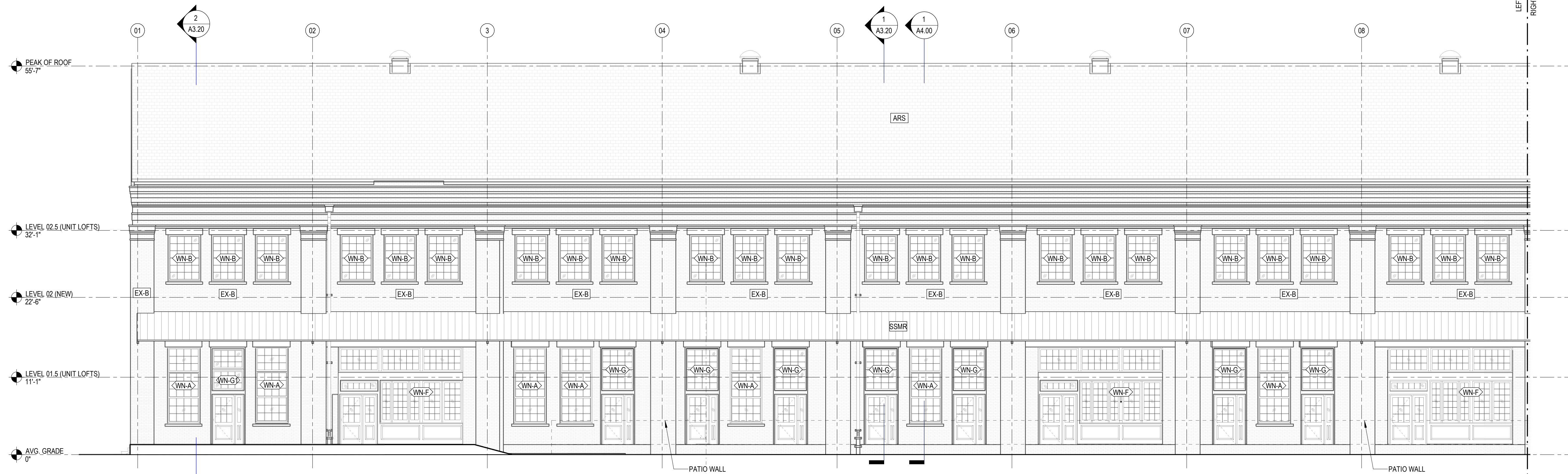
OWNER: BUILDING #4, LLC
101 MILAM STREET
SHREVEPORT, LA 71101
(318) 349-4839

ARCHITECT: TRAPOLIN-PEER
850 TCHOUPITOULAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
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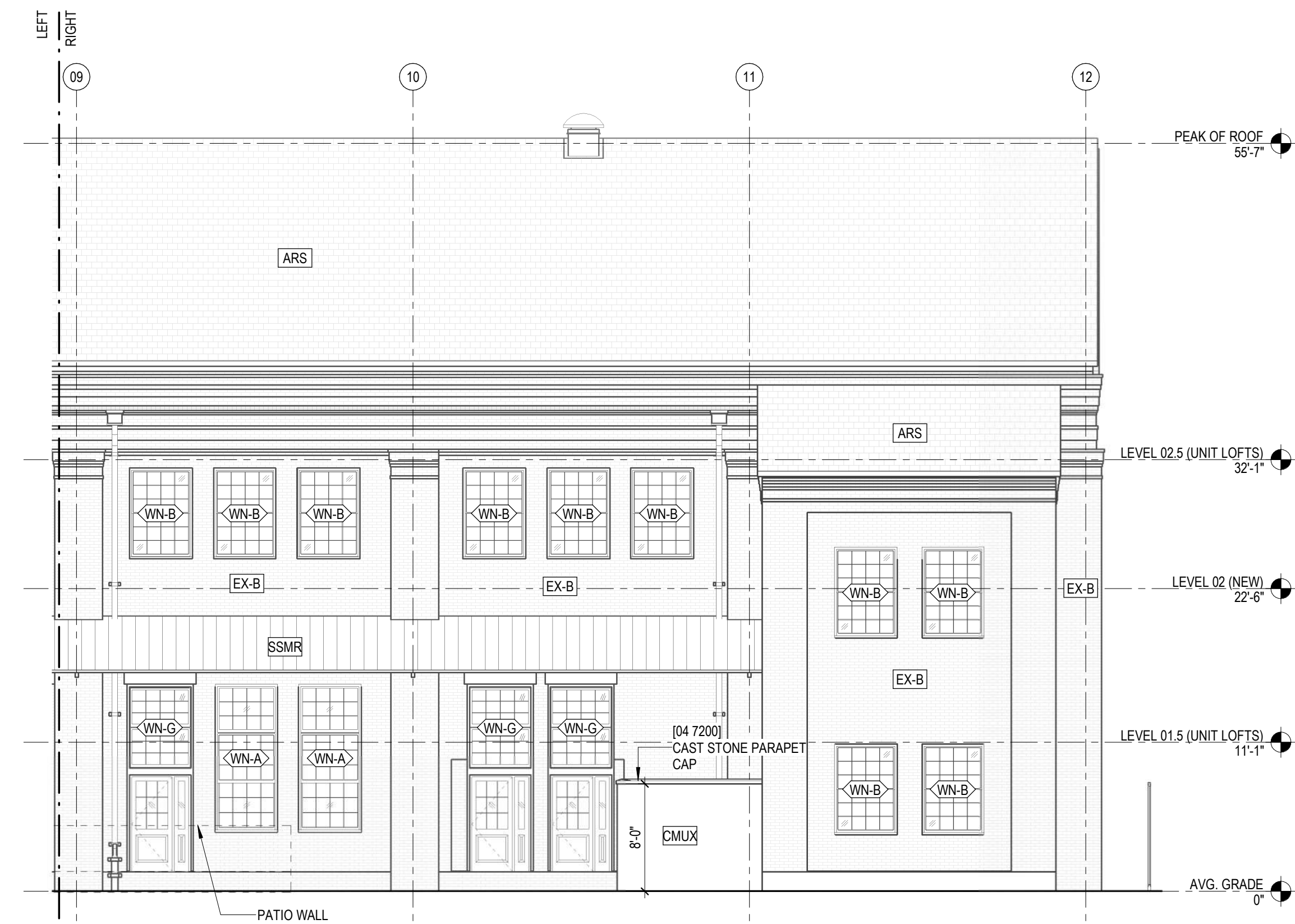
CONTRACTOR: BROWN BUILDERS
619 Jimmie Davis Hwy
Bossier City, LA 71112
(318) 746-0211



REVISION #	DESCRIPTION	DATE



3 BLDG ELEVATION - WEST - NORTH
A3.02 SCALE: 1/8" = 1'-0"



2 BLDG ELEVATION - WEST - SOUTH
A3.02 SCALE: 1/8" = 1'-0"

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PROJECT NUMBER: CN 22178
ISSUE DATE: 08/13/24

BLDG ELEVATIONS

EXTERIOR MATERIAL KEY LEGEND (4A)		
MATERIAL MARK	DESCRIPTION	FINISH NOTES
ARS	4A ASPHALT ROOF SHINGLES	ARCHITECTURAL STYLE SHINGLE
GMUX	4A EXTERIOR PAINTED CONCRETE MASONRY UNITS	
EX-B	4A EXISTING HISTORIC BRICK	CLEAN AND REPOINT WITH MATCHING MORTAR AS REQ'D
FB-1	4A FACE BRICK	TBD, SINGLE MONOLITHIC SHADE
FCP	4A FIBER CEMENT PANEL	RAINSCREEN SYSTEM W/ EXTRUDED ALUMINUM ACCESSORIES & TRIM
SSMR	4A STANDING SEAM METAL ROOF	

RIVERSIDE LOFTS @
FEDERAL CITY
BUILDING 4
2275 SANCTUARY DRIVE
NEW ORLEANS, LA

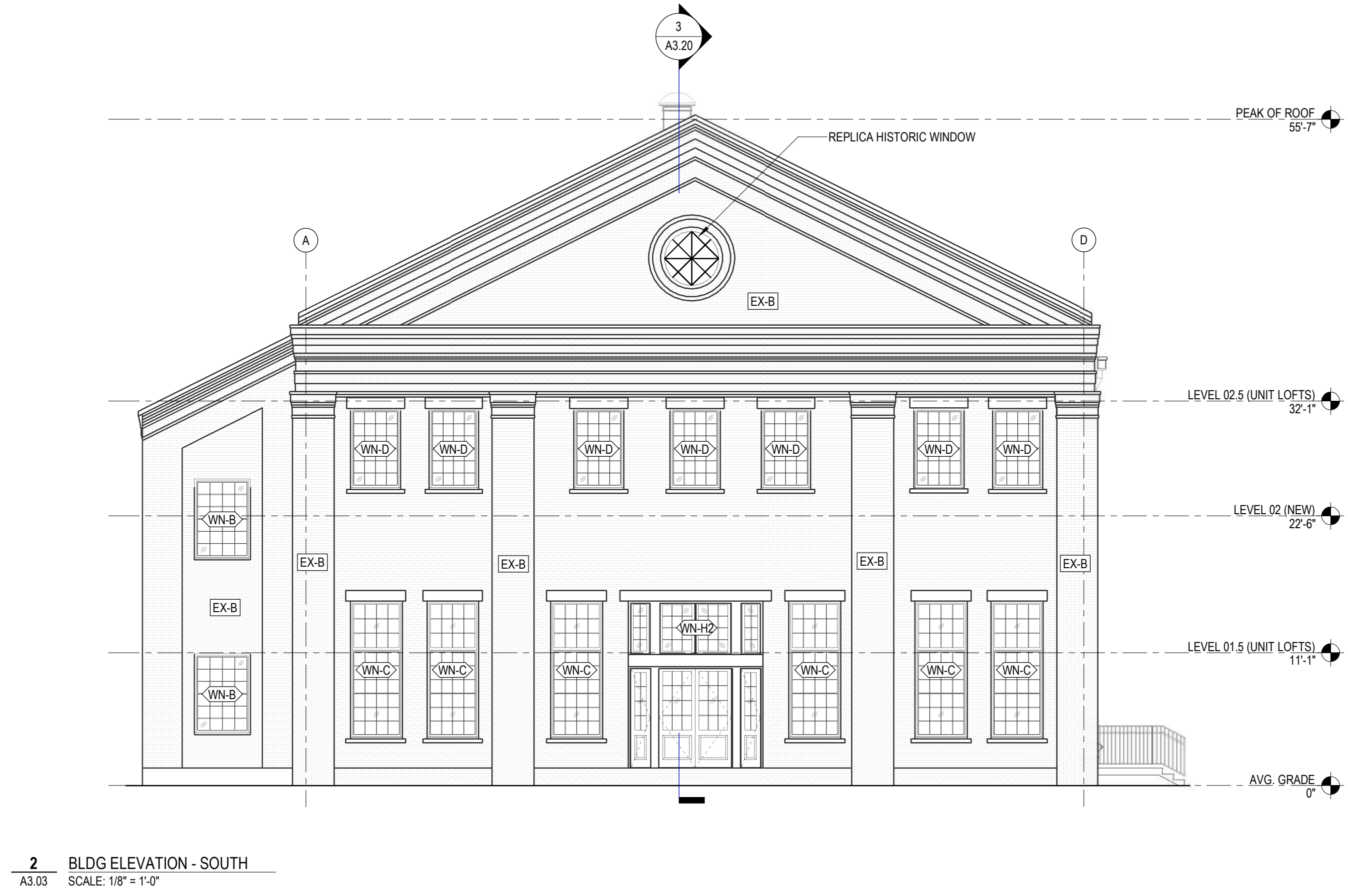
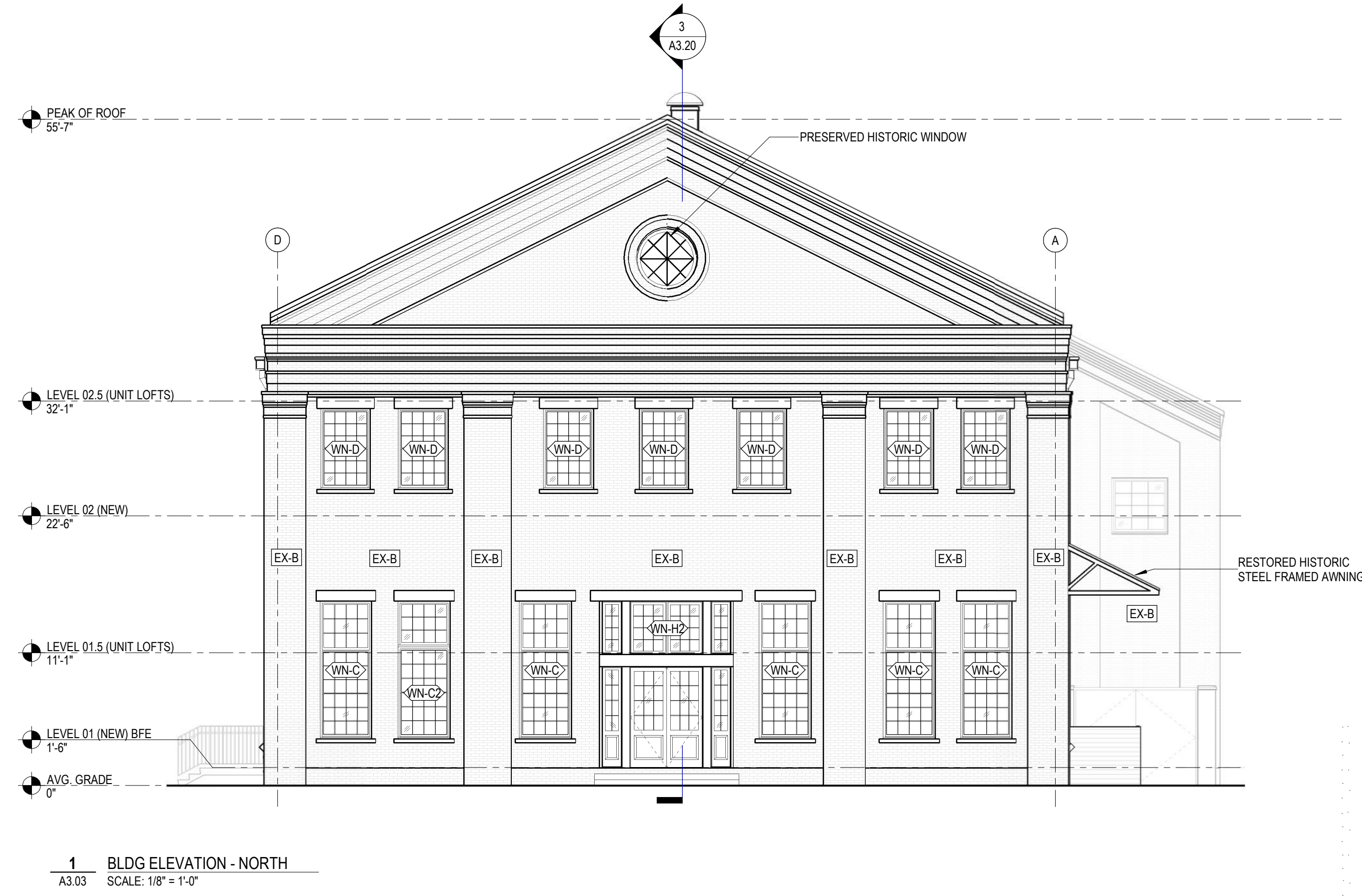
OWNER
BUILDING #4, LLC
101 MILAM STREET
SHREVEPORT, LA 71101
(318) 349-4839

ARCHITECT
TRAPOLIN-PEER
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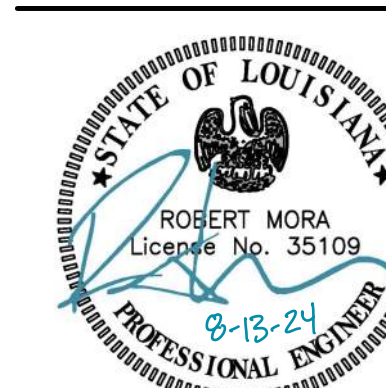
RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4 2275 SANCTUARY DRIVE NEW ORLEANS, LA

OWNER: BUILDING #4, LLC
101 MILAM STREET
SHREVEPORT, LA 71101
(318) 349-4839

ARCHITECT: TRAPOLIN-PEER
850 TCHOUPITOUSAS ST.
NEW ORLEANS, LA 70130
(504) 523-2772
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ENGINEER: BATTURE LLC
engineers + land surveyors
5130 FREEST ST, NEW ORLEANS, LA 70115
phone 504.533.8644 fax 504.336.2272
info@bature-eng.com bature-eng.com

CONTRACTOR: Company Name
Street Address
City, State
Phone Number

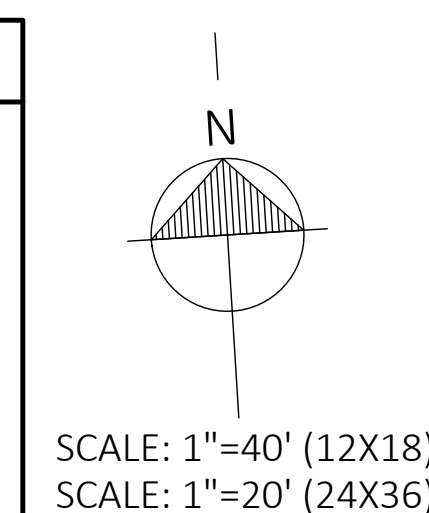


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SITE PLAN

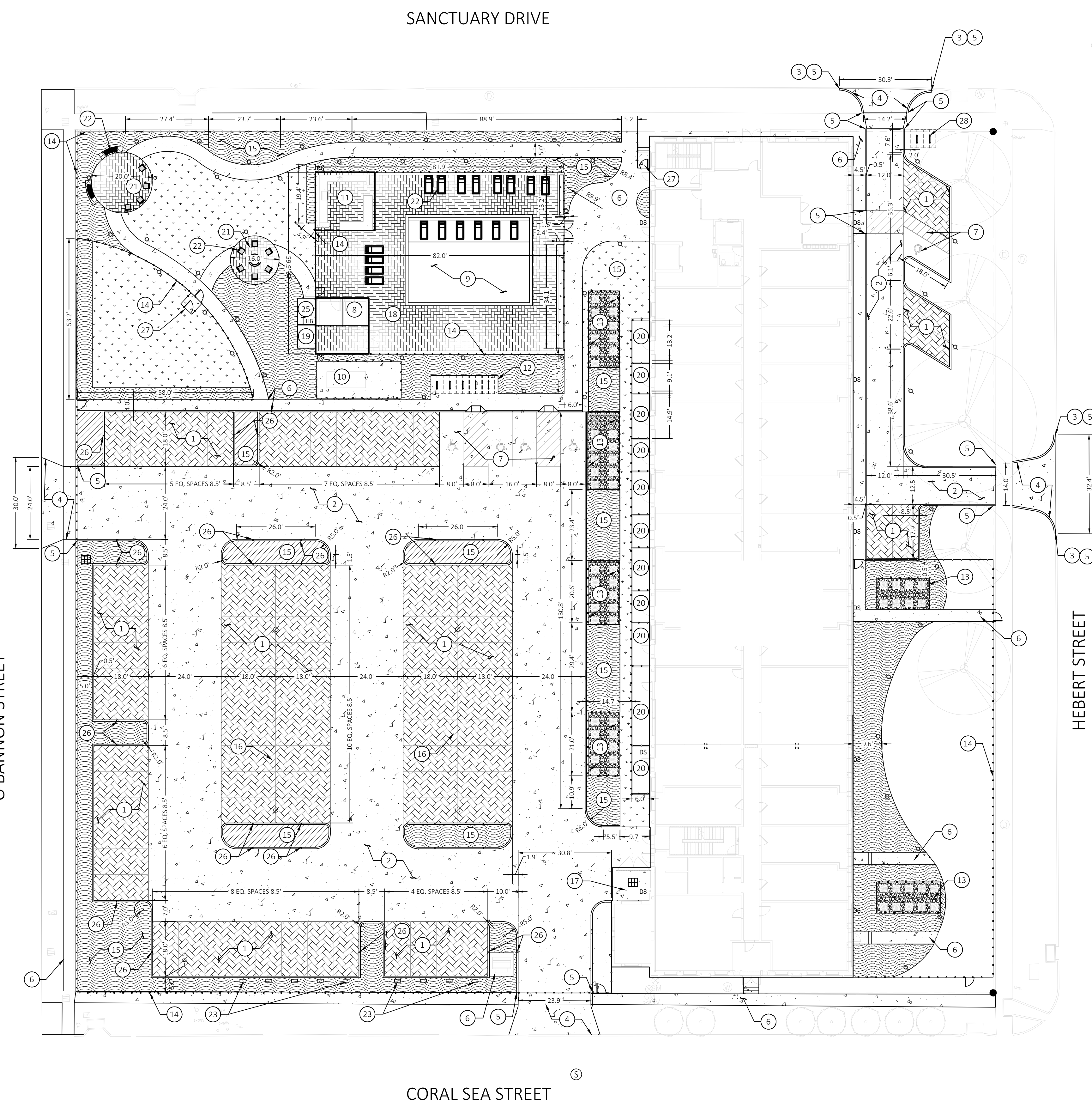
	INTERLOCKING CONCRETE PAVERS		LANDSCAPE FORMS
	CONCRETE		RAMA AREA
	ORNAMENTAL PLANTING, SEE LANDSCAPE		LIGHTPOLE, REF MEP
	BIORETENTION GARDEN		TORRES PATH LIGHT
	GRAVEL		BOLLARDS, REF MEP
			HOSE BIBB
			7' FENCE
			4' ORNAMENTAL FENCE



1	BELGARD PERMEABLE PAVERS, VEHICULAR RATED, SEE DETAIL 6, SHT C06	16	NOT USED
2	VEHICLE CONCRETE PAVEMENT, SEE DETAIL 3, SHT C06	17	DUMPSTER PAD, REF STRUCTURAL
3	TIE REQ'D BARRIER CURB TO EXISTING BARRIER CURB	18	BELGARD 'DIMENSIONS' PAVERS, COLOR 'SCANDIINA GRAY' PEDESTRIAN RATED, SEE DETAIL 8, SHT C06. REFER TO MAN'F SPEC FOR PATTERN LAYOUT.
4	DPW STANDARD DRIVEWAY FOR CONCRETE MOUNTABLE CURB, SEE DETAIL 3, SHT C05	19	POOL MECH EQ, REF MEP
5	BEGIN / END 6' BARRIER CURB, SEE DETAIL 8, SHT C05	20	RESIDENTIAL PATIOS, REF ARCH FOR DECKING MATERIAL AND FENCING
6	4" CONCRETE SIDEWALK, SEE DETAIL 1, SHT C05	21	BELGARD 'DIMENSIONS' PAVERS, COLOR 'LEUDERS GRAY' PEDESTRIAN RATED, SEE DETAIL 8, SHT C06
7	STRIPING AND SIGNAGE FOR ADA PARKING STALLS, SEE DETAILS 3 & 5, SHT C07	22	FURNISHINGS TO BE OWNER PROVIDED
8	DETACHED BATHROOMS AND STORAGE, REF ARCH	23	REQUIRED STATION AND SIGNAGE ELECTRIC VEHICLE PARKING, SEE MEP FOR ELECTRICAL
9	POOL, DESIGNED BY OTHERS	24	NOT USED
10	GENERATOR PAD, REF STRUCTURAL AND MEP	25	DOG WASH STATION ON 4" CONCRETE PAD
11	OUTDOOR KITCHEN/ WET BAR, REF ARCH	26	6" CURB CUTS SEE, DETAIL 1, SHT C06
12	BICYCLE PARKING SHELTER, SEE DETAIL 6, SHT C07	27	PEDESTRIAN GATE SEE DETAIL 1, SHT C07, DETAIL 3, SHT C08
13	7' FENCE SEE REF ARCH	28	WESTPORT NO SCRATCH BIKE RACK, SEE DETAIL 7, SHT C07
14	BEGIN/END 4' MONTAGE INDUSTRIAL ORNAMENTAL STEEL FENCE, SEE DETAIL 4, SHT C07	29	12" GRAVEL AT MECH AREAS. SEE STRUCTURAL FOR CONCRETE FOOTERS
15	PLANTING AREAS, REF: LANDSCAPE PLAN		

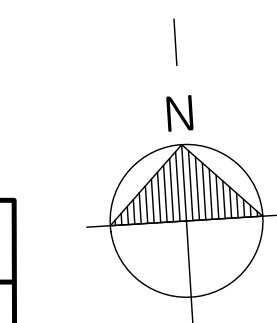
SITE PLAN NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
- ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
- REFER TO BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAYOUT PROPERTY LINE.
- BRING UP GRADE UNDER ALL PAVEMENT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE FROM:
 - FACE OF CURB TO FACE OF CURB
 - FACE OF CURB TO PROPERTY LINE
 - FACE OF CURB TO CENTER OF STRUCTURE (DROP INLET, MANHOLE, ETC.)
 - PROPERTY LINE TO BUILDING FACE
- ALL CURB RADII SHALL BE 3 FEET UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.



C02 SITE PLAN 1"=20'

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SCALE: 1"=40' (12X18)
SCALE: 1"=20' (24X36)

RIVERSIDE LOFTS @ FEDERAL CITY
BUILDING 4
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phone 504.533.8844 fax 504.236.2272
info@batture-eng.com batture-eng.com

CONTRACTOR: **Company Name**
Street Address
City, State
Phone Number



REVISION #	DESCRIPTION	DATE

UTILITY PLAN LEGEND

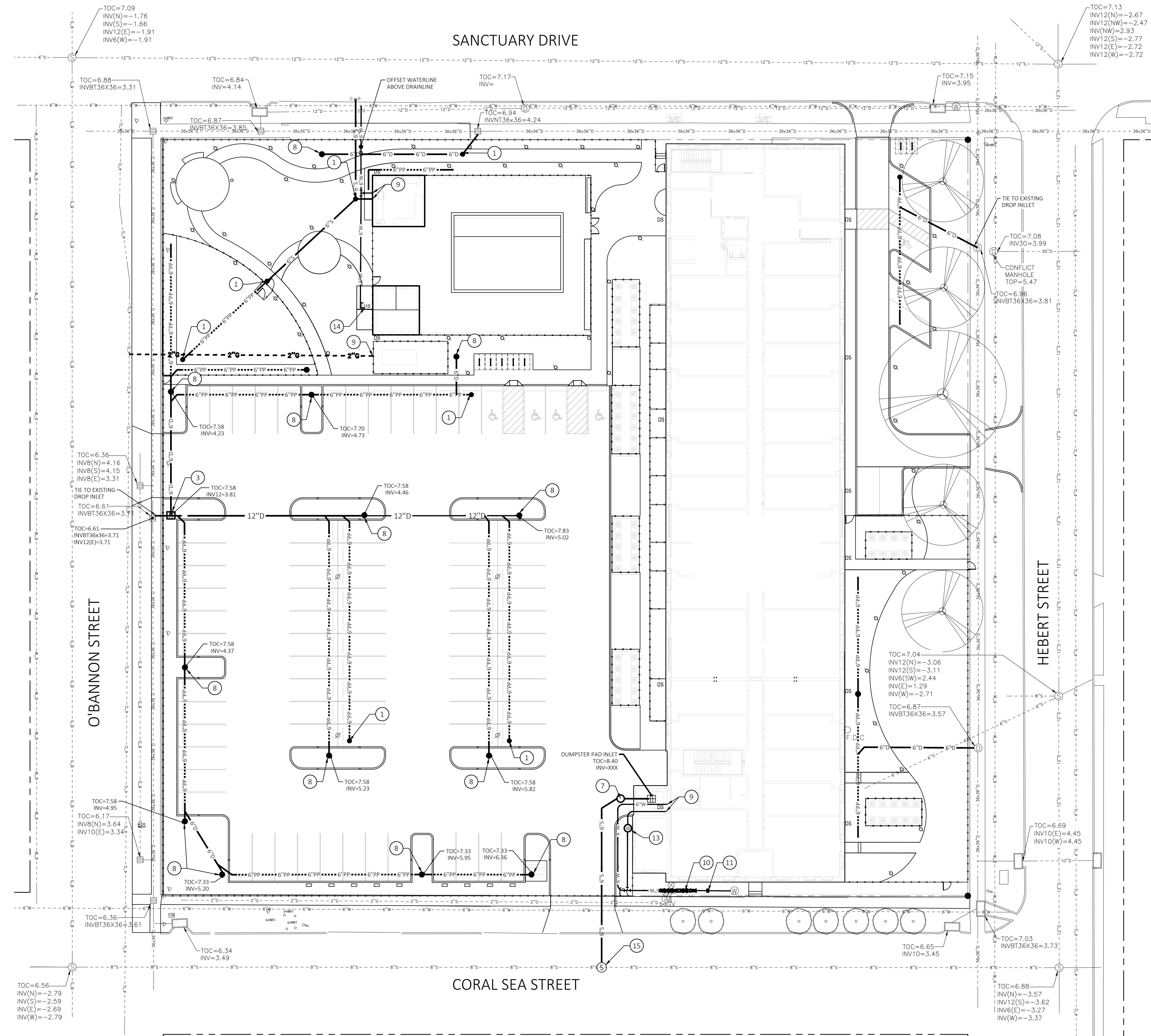
(SIZE) W	REQ'D WATER LINE	⊙	REQ'D WATER MANHOLE
(SIZE) S	REQ'D SEWER LINE	⊙	REQ'D SEWER MANHOLE
(SIZE) D	REQ'D DRAIN LINE	⊙	REQ'D DRAIN MANHOLE
(SIZE) PP	REQ'D PERFORATED DRAIN LINE	⊙	REQ'D DROP INLET
(SIZE) G	REQ'D GAS LINE	●	REQ'D AREA DRAIN
T _H	NEW HOSE BIB	●	REQ'D 8 x 6 REDUCER
+	REQ'D TAPPING SLEEVE & TEE	●	REQ'D TAPPING VALVE
●	REQ'D CLEANOUT	●	REQ'D ELEVATION
●	REQ'D CLEANOUT	●	- EXISTING ELEVATION

TOC = TOP OF CASTING
INV = INVERT (DIRECTION)

1	REQUIRED DRAIN OR SEWER CLEANOUT	9	REF MEP FOR CONTINUATION OF UTILITY LINE
2	REQ'D 1" GAS LINE TO SERVICE GENERATOR. SEE MEP FOR CONTINUATION INSIDE BUILDING.	10	SWBNO BACKFLOW PREVENTOR ASSEMBLY
3	OVERFLOW DRAIN WITH WEIR PLATE, SEE DETAIL 9, SHT C06	11	REDUCED PRESSURE PRINCIPLE ASSEMBLY PER SWBNO STANDARDS
4	6" PVC PERFORATED PIPE DRAIN	12	DUMPSTER INLET, SEE DETAIL 2, SHT C06
5	TIE INTO EXISTING DRAIN LINE	13	2.5" DOMESTIC WATER METER ASSEMBLY PER SWBNO STANDARDS, SEE DETAIL 1, SHT C08
6	DOWNSPOUTS TO BE DISCONNECTED. OUTFLOW TO BE DIRECTED TO BMP.	14	HOSE BIBB FOR DOG WASH AREA
7	125 GAL. GREASE TRAP. SEE MEP FOR GREASE TRAP DETAILS.	15	NEW SEWER MANHOLE PER SWBNO STANDARDS
8	NEW YARD DRAIN IN PLANTING, SEE DETAIL 07, SHT C04		

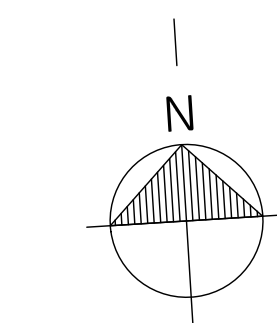
- #### UTILITY NOTES:
- UTILITY EXCAVATIONS SHALL CONFORM TO THE CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST ORLEANS PARISH UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
 - SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
 - CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND UTILITY COMPANY.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION, AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY UTILITY DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPANY AND THE OWNER.
 - THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO USE BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NON-VISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LOUISIANA ONE CALL (#811).
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
 - CONTRACTOR MUST FIELD VERIFY ALL EXISTING DRAINAGE & SEWER INVERTS. NOTIFY ENGINEER OF ANY PROBLEMS BEFORE CONSTRUCTION BEGINS.
 - CONTRACTOR TO COORDINATE SEWER AND WATER CONNECTIONS WITH SEWERAGE AND WATER BOARD OF NEW ORLEANS.

- #### S&WB NOTES:
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH S&WB GENERAL SPECIFICATIONS, S&WB STANDARD DRAWINGS, AND S&WB DRAWING NO. 7260.
 - CONTRACTOR SHALL CONTACT HADI AMINI (505-865-0445) OF S&WB CONSTRUCTION ADMINISTRATION AND INSPECTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION TO ARRANGE FOR INSPECTION.
 - CONTRACTOR SHALL PROVIDE THE FOLLOWING TO THE S&WB CONSTRUCTION ADMINISTRATION DEPARTMENT BEFORE BEGINNING CONSTRUCTION
PROOF OF LOUISIANA MUNICIPAL AND PUBLIC WORKS CONTRACTORS LICENSE
DEPARTMENT OF PUBLIC WORKS STREET CUT PERMIT
PROOF OF INSURANCE INDEMNIFYING THE S&WB OF NEW ORLEANS IN THE AMOUNT OF AT LEAST \$5,000,000.00
 - ANY WORK OUTSIDE OF THE PUBLIC RIGHT OF WAY MUST BE REVIEWED AND APPROVED BY HE SEWERAGE AND WATER BOARD OF NEW ORLEANS PLUMBING DEPARTMENT IN ADVANCE OF CONSTRUCTION. A LICENSED MASTER PLUMBER MUST CONTACT THE PLUMBING DEPARTMENT AT 504-585-2160 TO VERIFY COMPLIANCE WITH ALL APPLICABLE GOVERNING REGULATIONS. OBTAINING THE SIGNATURE OF A REPRESENTATIVE OF S&WB ENGINEERING DOES NOT RELIEVE THE PLUMBER OF THIS OBLIGATION
 - THE METER SHALL BE INSTALLED AS RECEIVED FROM S&WB METER DEPARTMENT AND MAY NOT BE MODIFIED IN ANY MANNER. ANY MODIFICATIONS WILL VOID THE UL WARRANTY AND, AS SUCH, MAY SUBJECT THE OWNER TO FINANCIAL PENALTY AND LOSS OF SERVICE.
 - ALL BRONZE/ BRASS FITTINGS, CONNECTORS CORPORATION STOPS AND APPURTENANCES USED IN CONJUNCTION WITH PE TUBING SHALL BE DOMESTIC MANUFACTURE, SHALL BE MADE OF LEAD FREE BRONZE/BRASS, AND MEET ALL REQUIREMENTS OF AWWA, ASTM, AND ANSI FOR USE IN THE POTABLE WATER DISTRIBUTION SYSTEMS.



C04 UTILITY PLAN
1"=20'

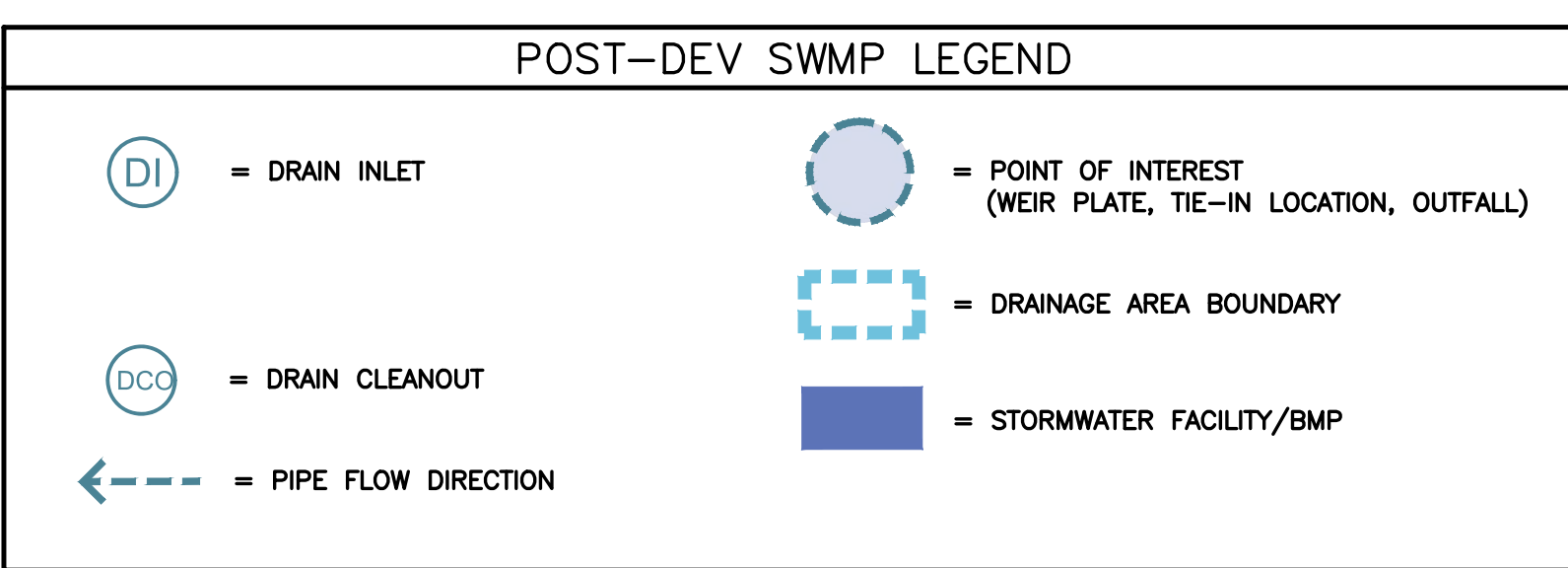
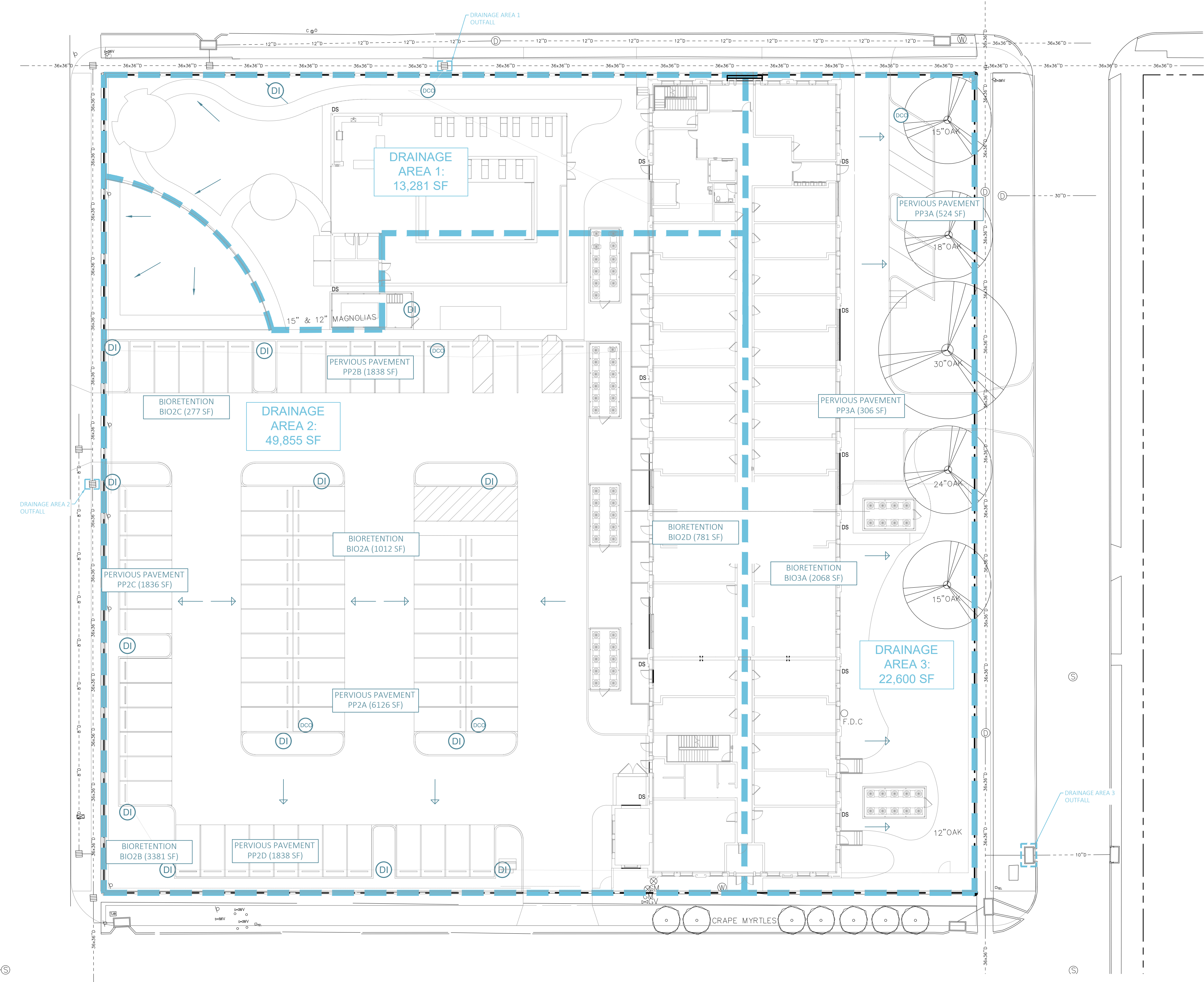




SCALE: 1"=40' (12X18)
SCALE: 1"=20' (24X36)

CONTRACTOR AGREEMENT
CONTRACTOR AGREES TO IMPLEMENT AND FOLLOW CONDITIONS AND IMPLEMENTATIONS SHOWN HEREIN DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS SET FORTH IN SECTION C204 OF THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS GENERAL SPECIFICATIONS AND EPA AND LDEQ GUIDELINES.

CONTRACTOR OF RECORD _____



STORMWATER MANAGEMENT NOTE:
1. ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

Drainage Area 1
Drainage Area Used: Yes

Land Cover/Land Use	Hydrologic Soil Group	% Impervious	CN	Area (sf)	CN*Area	% Area	Impervious Area Disconnected?
Commercial Roof	D	100%	98	1,806	4.06	14%	No
Landscaping	D	3%	84	1,959	3.78	15%	No
Green Infrastructure (all types)	D	0%	98	5,236	11.78	39%	No
Other Impervious	D	100%	98	1,155	2.69	0%	No
Gravel Roadway	D	65%	91	20	0.04	0%	No
Commercial/Residential Parking	D	100%	98	3,105	6.99	23%	No
Total							
Total Area (Acres)	0.305	Any disconnected impervious area?		No			
% Impervious	46.2%	Impervious area 30% or less?		No			
Weighted CN (standard)	96	Use adjusted CN value		No			
Weighted CN (adjusted)	96	CN pervious		96			
CN for Use	96	Ratio of unconnected		0%			

Precipitation for storage volume requirement (in) 1.25
S, max natural retention 0.4
Q, runoff (in) 0.85
Require Storage Volume (cf) 945

GI In Site Input (sf) 5336
GI Individual Input (sf) 5235,5267
Match YES

Drainage Area 2
Drainage Area Used: Yes

Land Cover/Land Use	Hydrologic Soil Group	% Impervious	CN	Area (sf)	CN*Area	% Area	Impervious Area Disconnected?
Commercial Roof	D	100%	98	7,723	17.37	15%	Yes
Gravel Roadway	D	65%	91	665	1.43	1%	Yes
Landscaping	D	3%	84	2,560	4.94	5%	Yes
Commercial/Residential Parking	D	100%	98	20,573	46.28	41%	Yes
Green Infrastructure (all types)	D	0%	98	18,114	41.20	37%	Yes
Total							
Total Area (Acres)	1.14	Any disconnected impervious area?		Yes			
% Impervious	58%	Impervious area 30% or less?		No			
Weighted CN (standard)	97	Use adjusted CN value		No			
Weighted CN (adjusted)	97	CN pervious		96			
CN for Use	97	Ratio of unconnected		100%			

Precipitation for storage volume requirement (in) 1.25
S, max natural retention 0.3
Q, runoff (in) 0.96
Require Storage Volume (cf) 3984

GI In Site Input (sf) 18314.27
GI Individual Input (sf) 18314.29
Match YES

Drainage Area 3
Drainage Area Used: Yes

Land Cover/Land Use	Hydrologic Soil Group	% Impervious	CN	Area (sf)	CN*Area	% Area	Impervious Area Disconnected?
Commercial Roof	D	100%	98	9,269	20.85	41%	No
Open Space: grass cover > 75%	D	3%	80	6,648	12.21	29%	No
Gravel Roadway	D	65%	91	282	0.59	1%	No
Green Infrastructure (all types)	D	0%	98	2,897	6.52	13%	No
Commercial/Residential Parking	D	100%	98	3,504	7.88	16%	No
Total							
Total Area (Acres)	0.52	Any disconnected impervious area?		No			
% Impervious	58%	Impervious area 30% or less?		No			
Weighted CN (standard)	93	Use adjusted CN value		No			
Weighted CN (adjusted)	93	CN pervious		86			
CN for Use	93	Ratio of unconnected		0%			

Precipitation for storage volume requirement (in) 1.25
S, max natural retention 0.8
Q, runoff (in) 0.63
Require Storage Volume (cf) 1187

GI In Site Input (sf) 2896.51
GI Individual Input (sf) 2896,5441
Match YES

Drainage Area	Drainage Area 1	Drainage Area 2	Drainage Area 3	Drainage Area 4	Total
Total Area (acres)	0.305	1.14	0.5		1.97
Required Storage Volume (cf)	945	3984	1187		6116
Provided Storage Volume (cf)	4826	10045	2476		17347
Bypass Volume (cf)	0	0	0		0
Storage Requirement Met	YES	YES	YES		YES
Bypass Volume <=10%	YES	YES	YES		YES

Storm for Analysis: 10 yr Rainfall Depth (in): 9.1

	Pre-Development	Post-Development	Requirement Met
Total Site (acres)	1.97	1.97	YES
Peak Runoff Rate (cfs)	14.90	14.82	YES
Total Runoff (MG)	0.447	0.330	YES

SW2 POST-DEVELOPMENT PLAN 1"=20'

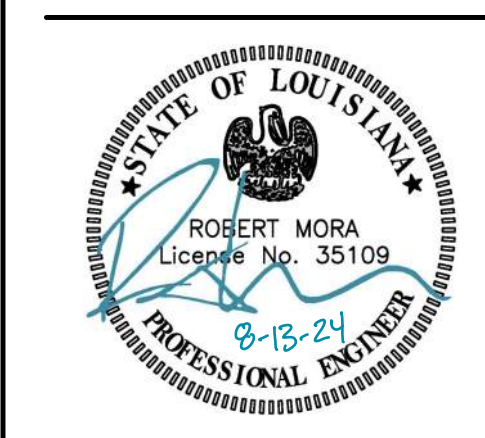
RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4
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CONTRACTOR: **Company Name**
Street Address
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Phone Number



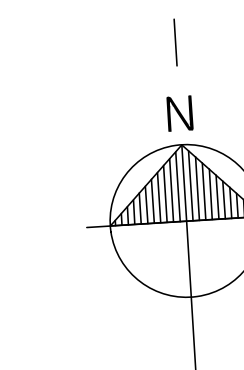
REVISION #	DESCRIPTION	DATE

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PROJECT NUMBER
CN 22178
ISSUE DATE
08/13/2024

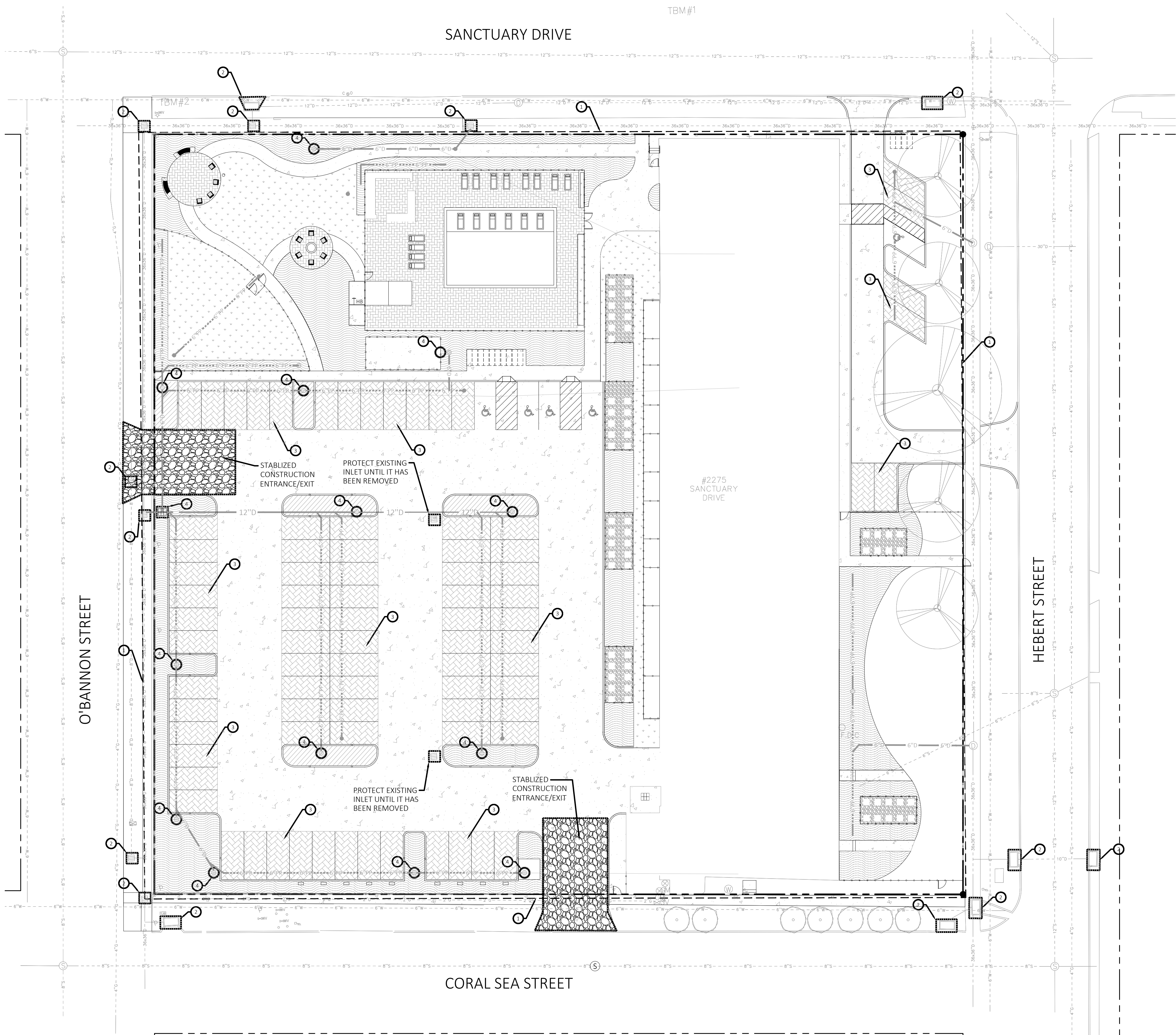
STORMWATER MANAGEMENT PLAN

SW2





SCALE: 1"=40' (12X18)
SCALE: 1"=20' (24X36)



SWPPP LEGEND	
1	REQ'D REINFORCED FILTER FABRIC FENCE, SEE SWPPP DETAIL 1, SHEET SWPPP2
2	REQ'D INLET PROTECTION. SEE REQUIREMENTS IN NOTES ON THIS SHEET AND SWPPP DETAIL 2, SHEET SWPPP2
3	WRAP PERVIOUS PAVING IN FILTER FABRIC. PROTECT AS IF ENTIRE PERVIOUS PAVING IS AN INLET.
4	REQ'D INLET PROTECTION ON PROPOSED DRAIN ONCE PIPE IS INSTALLED. MAINTAIN UNTIL ALL EARTHWORK IS COMPLETE.

SWPPP1 STORMWATER POLLUTION PREVENTION PLAN
1"=20'

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CONTRACTOR
Company Name
Street Address
City, State
Phone Number



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ISSUE DATE
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**STORMWATER
POLLUTION
PREVENTION
PLAN**

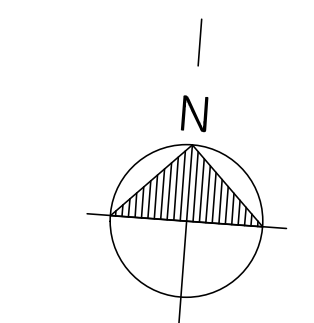
SWPPP1



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TREE PROTECTION AND REMOVAL LEGEND

- TREE PROTECTION FENCING
- 1 PROTECT EXISTING TREE, SEE DETAIL 1, SHT L01
- 2 REMOVE EXISTING TREE

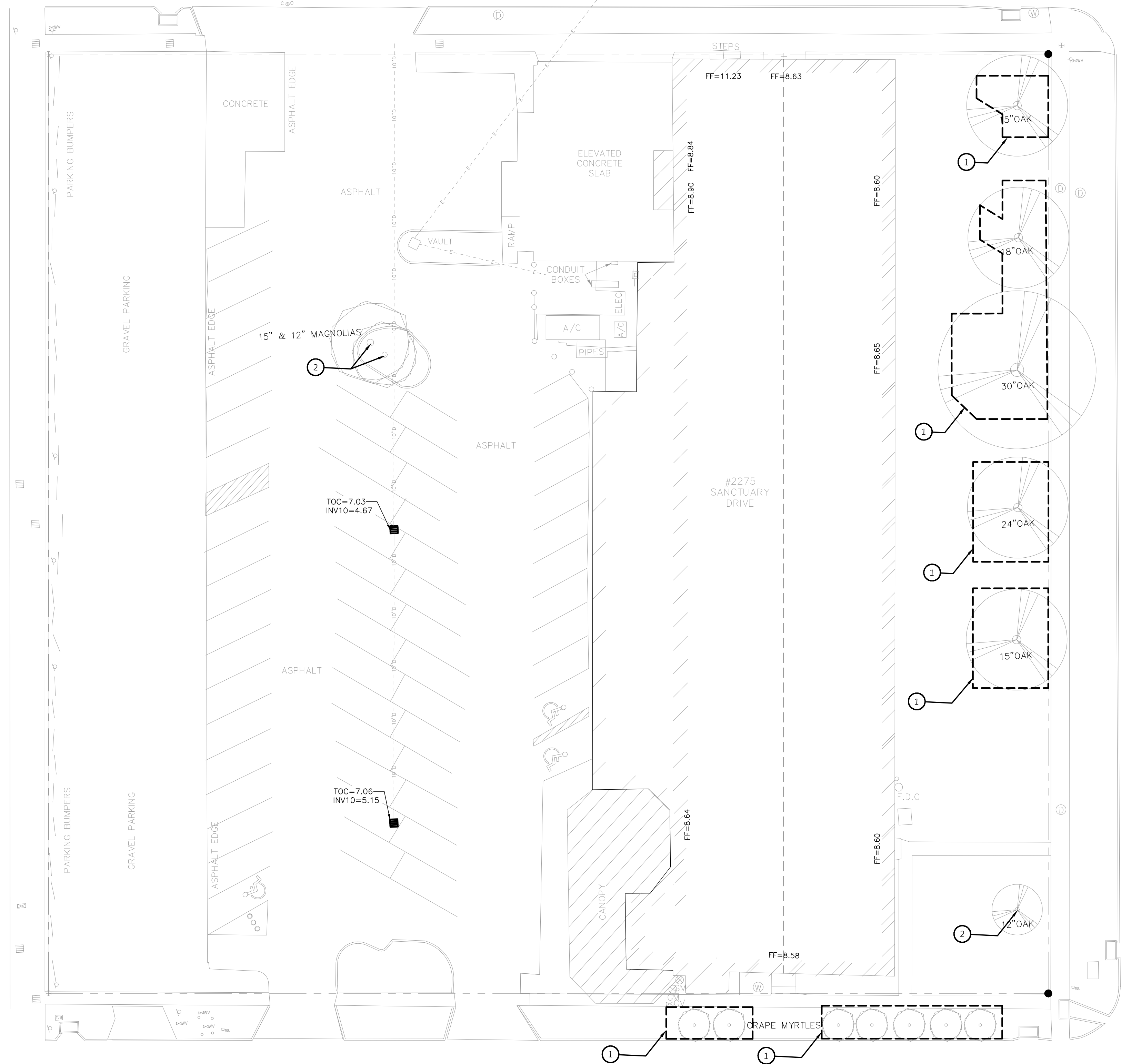


SCALE: 1"=40' (12X18)
SCALE: 1"=20' (24X36)

RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4

2275 SANCTUARY DRIVE NEW ORLEANS, LA

- #### TREE PROTECTION NOTES :
- IT IS CRUCIAL THAT TREE PROTECTION FENCE MUST BE ERECTED PRIOR TO ANY SITE DEMOLITION BEGIN.
 - TREE PROTECTION FENCE SHALL BE A MIN. 5'-0" HIGH CHAIN LINK FENCE MOUNTED ON VERTICAL PIPES DRIVEN 2'-0" MIN. INTO THE GROUND, AT APPROXIMATELY 6'-8" O.C. REFER TO PLAN FOR LOCATIONS
 - PROTECTION FENCE SHALL BE PLACED AROUND CRITICAL ROOT ZONE OF ALL TREES TO BE RETAINED.
 - DO NOT UNDER ANY CIRCUMSTANCE DRIVE OR PARK MACHINERY ON TREE ROOTS OR UNDER THE DRIPLINE.
 - AVOID DISTURBING ROOTS IN CRITICAL ROOT ZONE. IF ROOT CUTTING IS NECESSARY OR ANY DAMAGED ROOTS OCCURRED, THEY SHALL BE CUT CLEANLY WITH AN AXE A FEW INCHES CLOSER TO THE TRUNK. ANY OVERED/EXPOSED OR PRUNED TREE ROOTS MUST BE COVERED IMMEDIATELY WITH DIRT AND MULCH TO PREVENT ROOTS FROM DRYING OUT.
 - NO STORAGE OR CONCRETE DUMPING IS PERMITTED ON TREE ROOTS AND/OR UNDER DRIPLINE.
 - NO BUILDING MATERIALS ARE TO BE STACKED OR STOCKPILED WITHIN THE DRIPLINE OR WITHIN 6 FEET OF ANY TREE TO BE PRESERVED, WHICHEVER IS GREATER.
 - TOPSOIL SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OR WITHIN 6 FEET OF ANY TREE TO BE PRESERVED, WHICHEVER IS GREATER.
 - TREE BOARDING SHALL BE USED IF WORK IS REQUIRED WITHIN FENCING.
 - ANY UNCOVERED/EXPOSED TREE ROOTS SHALL BE IMMEDIATELY COVERED WITH MULCH.
 - ANY UNDERSTORY CLEARING WITHIN SIX FEET OF EXISTING TREE TRUNKS SHALL BE DONE BY HAND.
 - AVOID DAMAGE TO MAJOR TREE BRANCHES.



L01 TREE PROTECTION PLAN 1"=20'

OWNER
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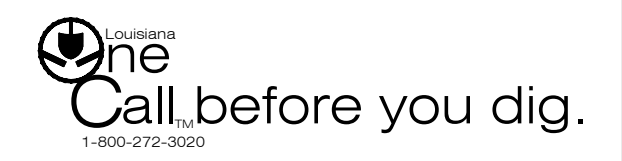
CONTRACTOR
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Phone Number

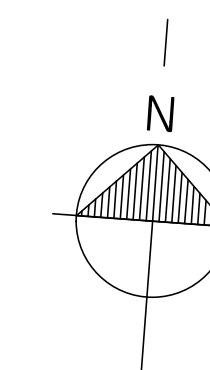


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DEMOLITION & TREE PROTECTION PLAN





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SCALE: 1"=20' (24X36)

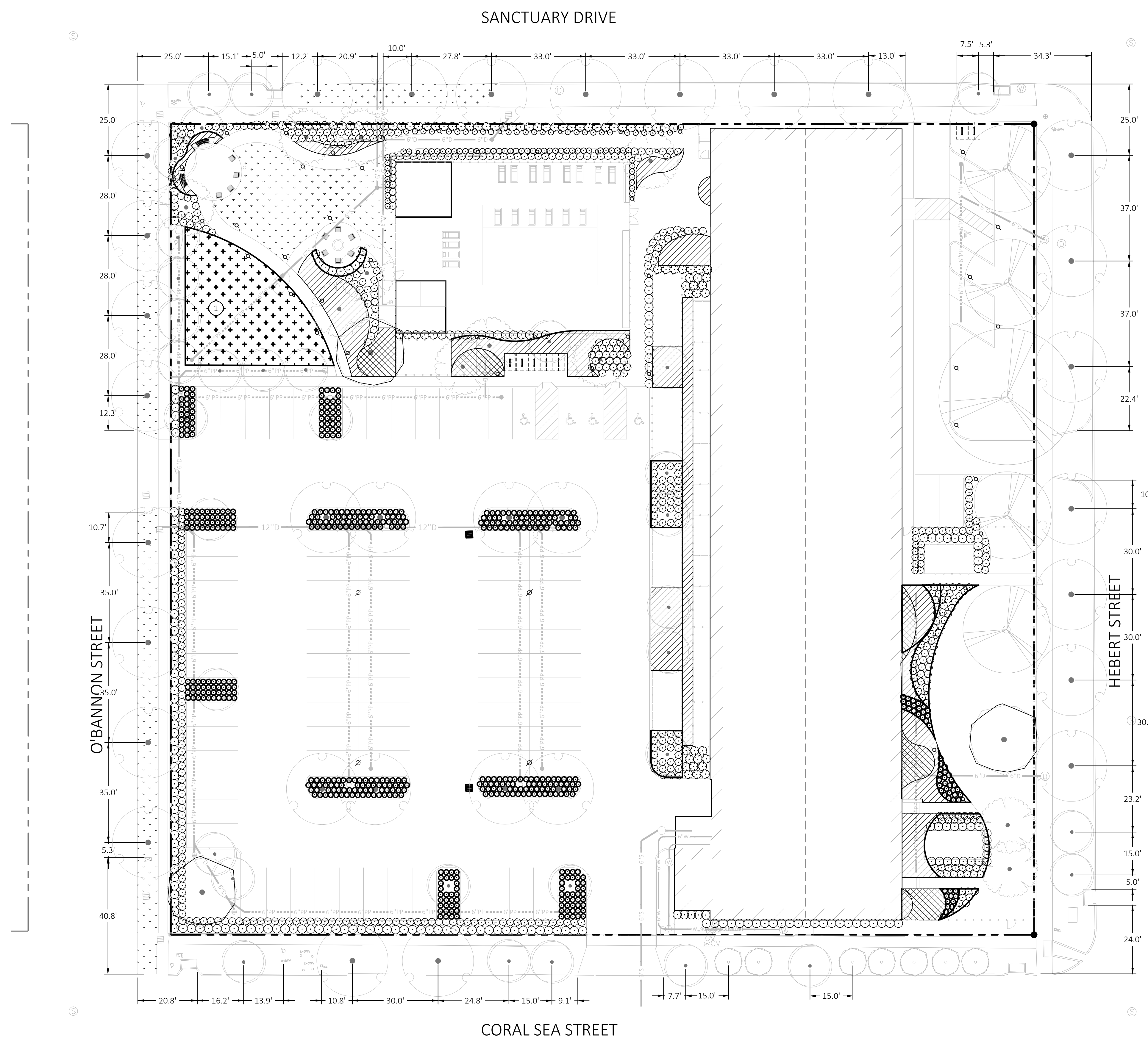
PLANTING NOTES:

- REFER TO PARKS AND PARKWAYS STANDARD SPECIFICATIONS FOR INFORMATION REGARDING THE PROTECTION OF EXISTING TREES AND OTHER PLANT MATERIALS
- ALL QUANTITIES PROVIDED IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR IS TO CONDUCT INDEPENDENT ASSESSMENT IN ORDER DETERMINE QUANTITIES NECESSARY TO MEET DESIGN INTENT.
- THE INSTALLATION OF ALL PLANT MATERIALS WITHIN THE PUBLIC RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARD SPECIFICATION OF THE NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS:
 - SECTION 32 90 00 PLANTING
 - SECTION 32 92 19 SEEDING
 - SECTION 32 92 23 SODDING
 - SECTION 32 94 13 LANDSCAPE EDGING
 - SECTION 32 91 13 SOIL PREPARATION
- ANY SUBSTITUTION IS MADE TO THE PLANT SPECIES, SIZES, AND SPECIFICATIONS SHOWN ON THIS PLAN MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

PLANTING PLAN CALLOUT LEGEND	
①	LGD ARTIFICIAL TURF, SEE DETAIL 7, SHT L03
②	SPRAY IRRIGATION FOR ARTIFICIAL TURF DESIGNED BY OTHERS

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	MAG SWE	Magnolia virginiana / Sweetbay Magnolia	2.5" Cal.	B&B	34
	NYS SYL	Nyssa sylvatica / Tupelo	2.5" Cal.	B&B	8
	QUE VIR	Quercus virginiana / Southern Live Oak	3" Cal.	B&B	3
	TAX DIS	Taxodium distichum / Bald Cypress	2.5" Cal.	B&B	4
	ULM PRI	Ulmus americana 'Princeton' / Princeton American Elm	2.5" Cal.	B&B	32
SHRUBS					
	CAM JAP	Camellia japonica / Camellia	5 gal.	Pot	102
	HYM LIT	Hymenocallis littoralis / Spider Lily	3 gal.	Pot	488
	ILE NAN	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	5 gal.	Pot	193
	ITE SPR	Itea virginica 'Sprich' / Little Henry® Sweetspire	1 gal.	Pot	84
	MUH CAZ	Muhlenbergia capillaris / Pink Muhly Grass	3 gal.	Pot	536
SHRUB AREAS					
	IRI HEX	Iris hexagona / Dixie Iris	---		3,082
	JUN EFF	Juncus effusus / Soft Rush	1 gal.	Pot	722 sf
GROUND COVERS					
	STE SEC	Stenotaphrum secundatum / St. Augustine Grass	sod	Transplant	4,059 sf



L02 PLANTING PLAN

1"=20'

RIVERSIDE LOFTS @
FEDERAL CITY
BUILDING 4
2275 SANCTUARY DRIVE
NEW ORLEANS, LA

OWNER
BUILDING #4, LLC
101 MILAM STREET
SHREVEPORT, LA 71101
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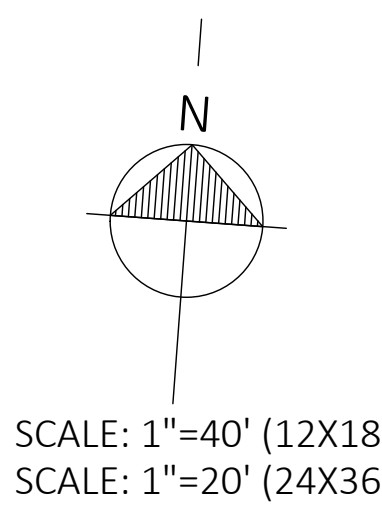
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PLANTING PLAN



L02



RIVERSIDE LOFTS @ FEDERAL CITY BUILDING 4
2275 SANCTUARY DRIVE
NEW ORLEANS, LA

OWNER: **BUILDING #4, LLC**
101 MILAM STREET
SHREVEPORT, LA 71101
(318) 349-4839

ARCHITECT: **TRAPOLIN PEER**
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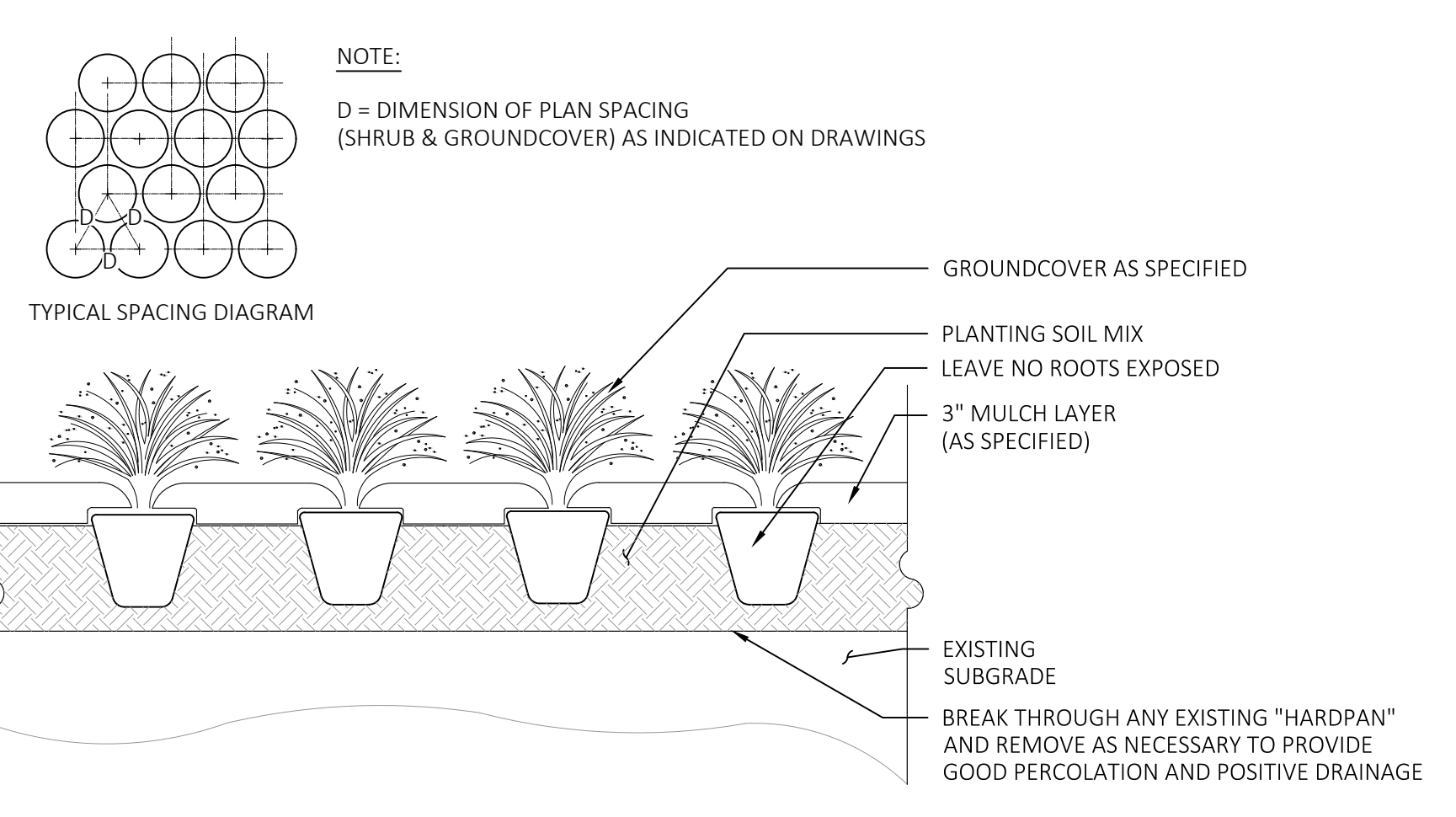


REVISION #	DESCRIPTION	DATE

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PLANTING SCHEDULE & DETAILS

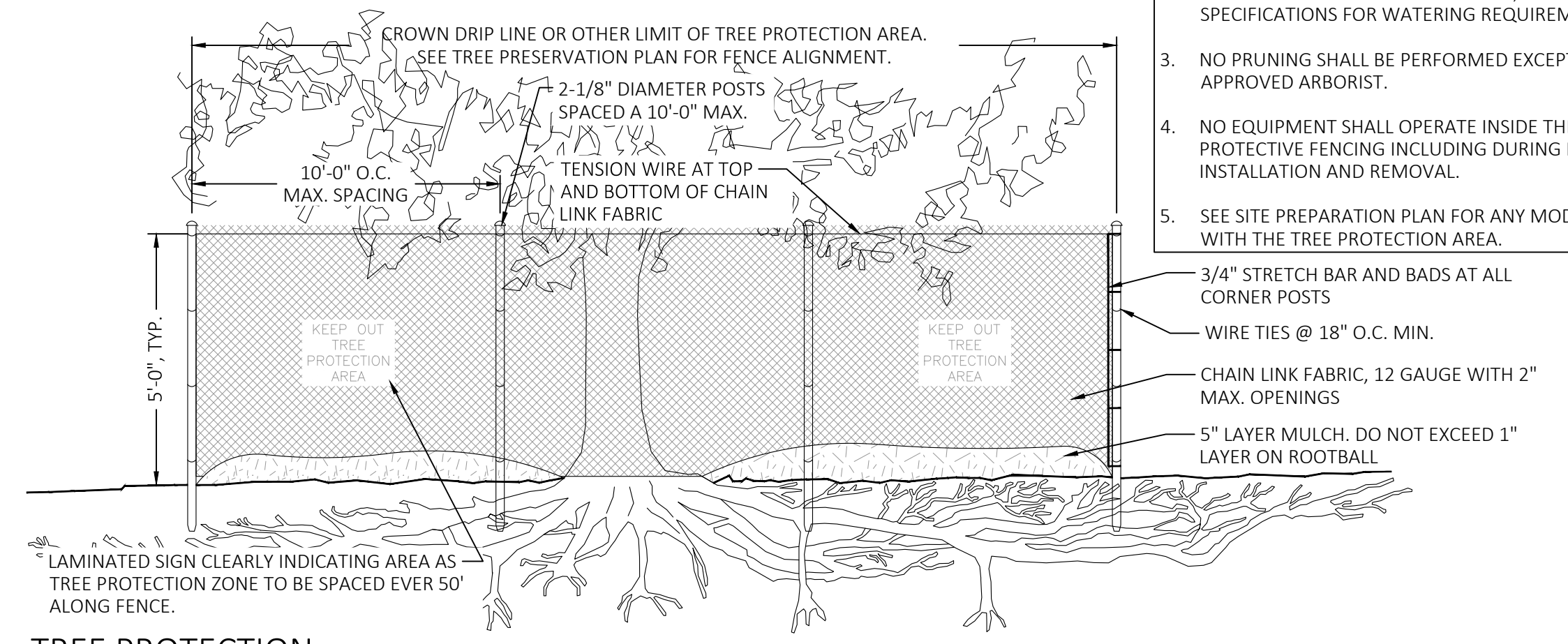
L03



2 GROUNDCOVER PLANTING NOT TO SCALE

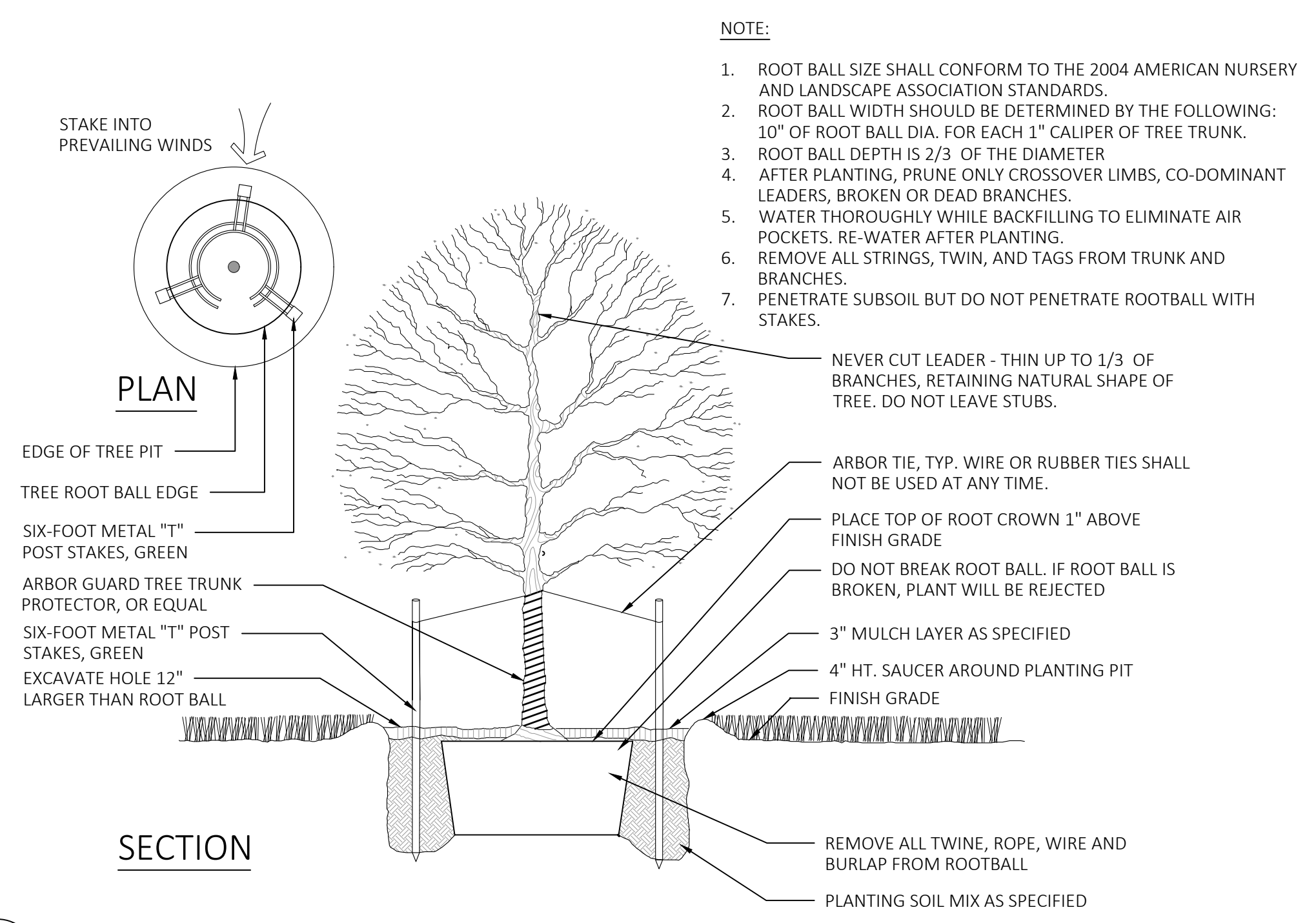
L02 | L03

- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.



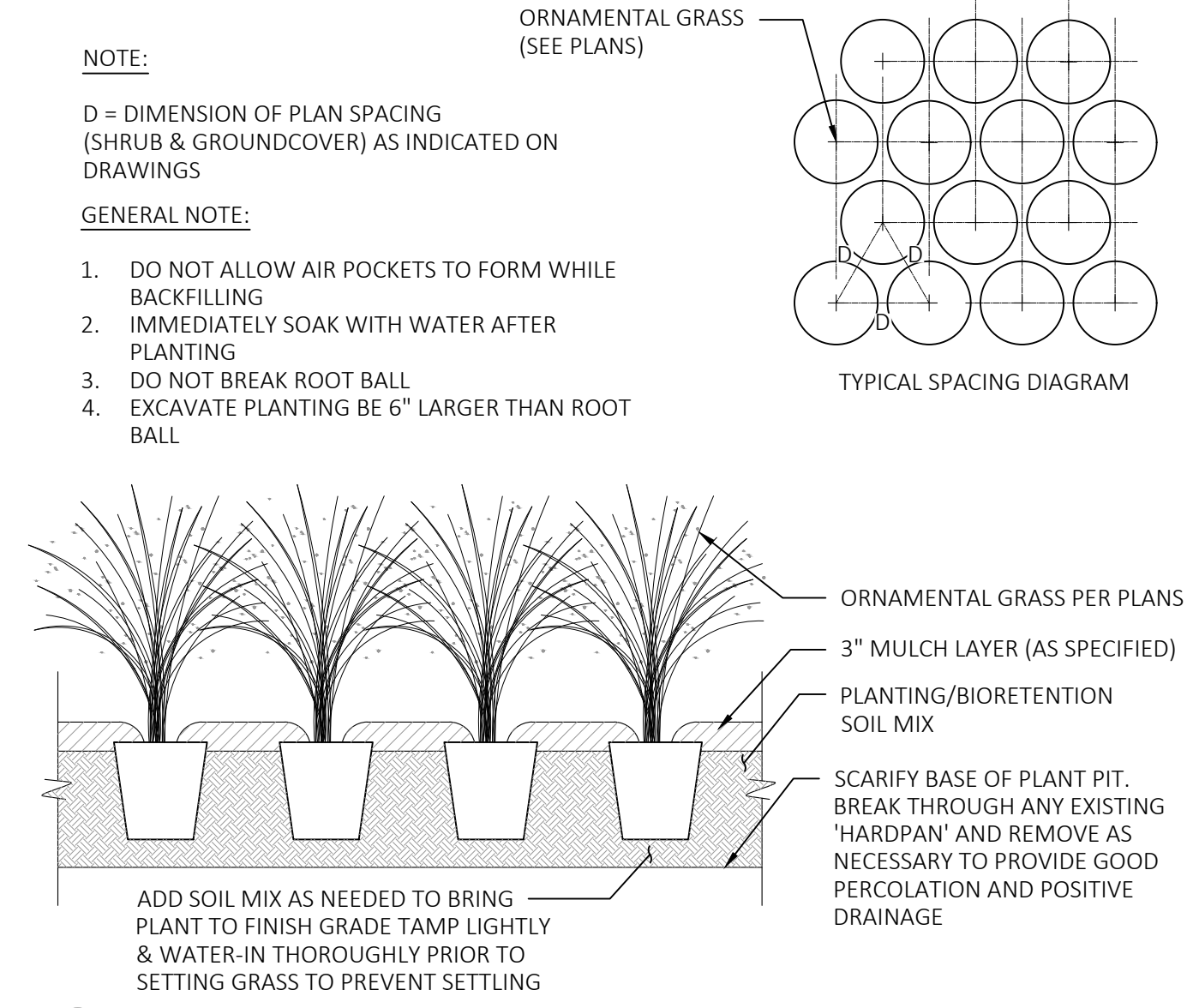
1 TREE PROTECTION NOT TO SCALE

L01 | L03



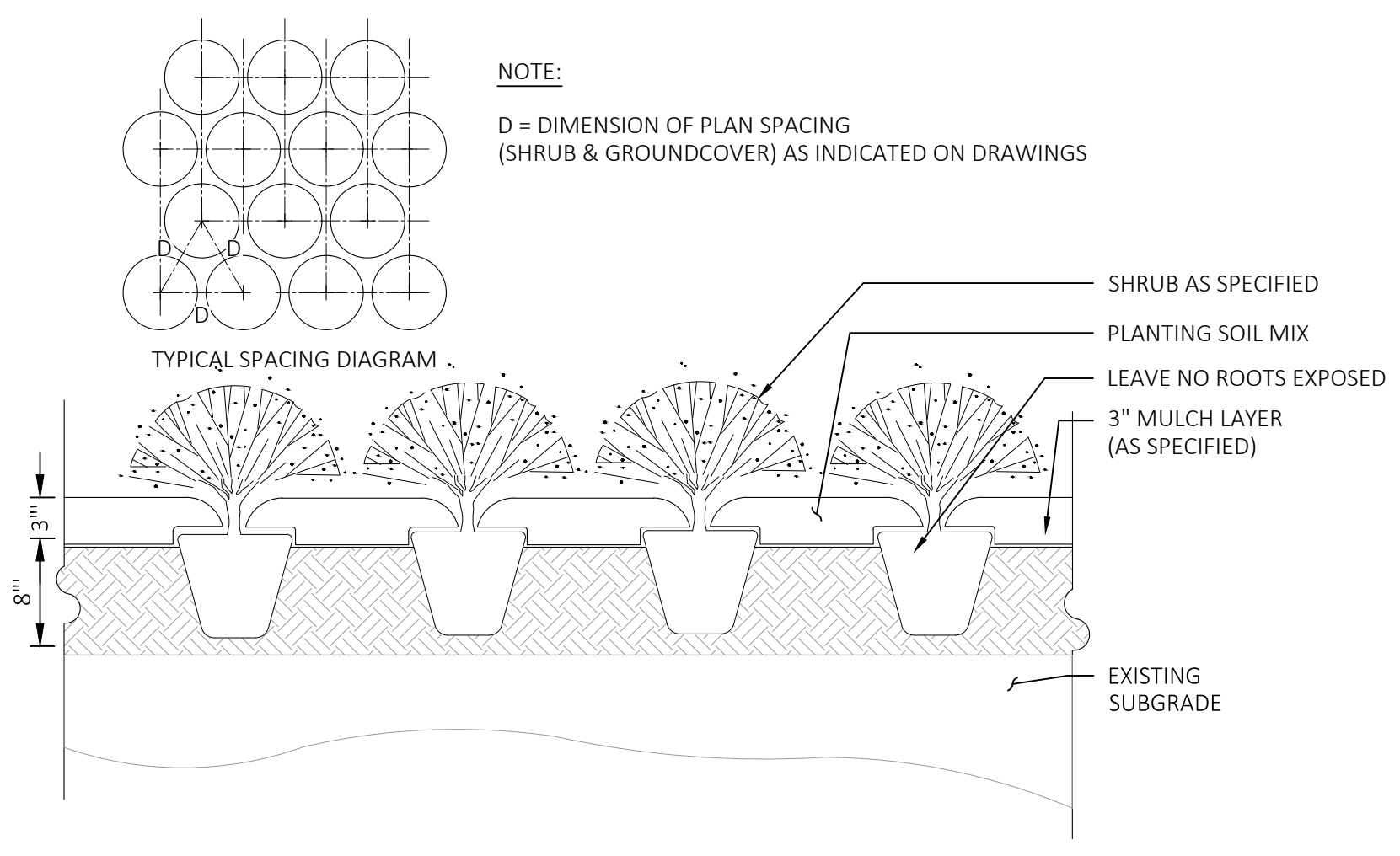
5 SINGLE TRUNK TREE PLANTING NOT TO SCALE

COX | L03



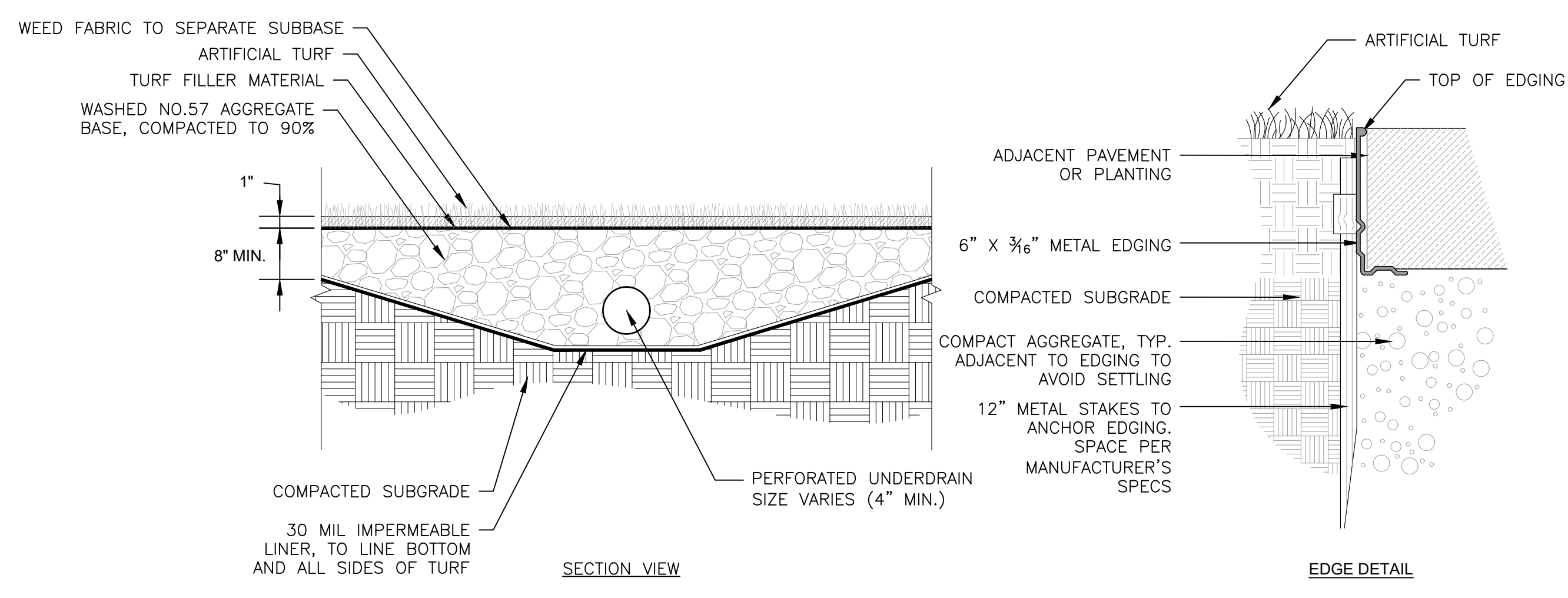
4 ORNAMENTAL GRASS PLANTING NOT TO SCALE

L02 | L03



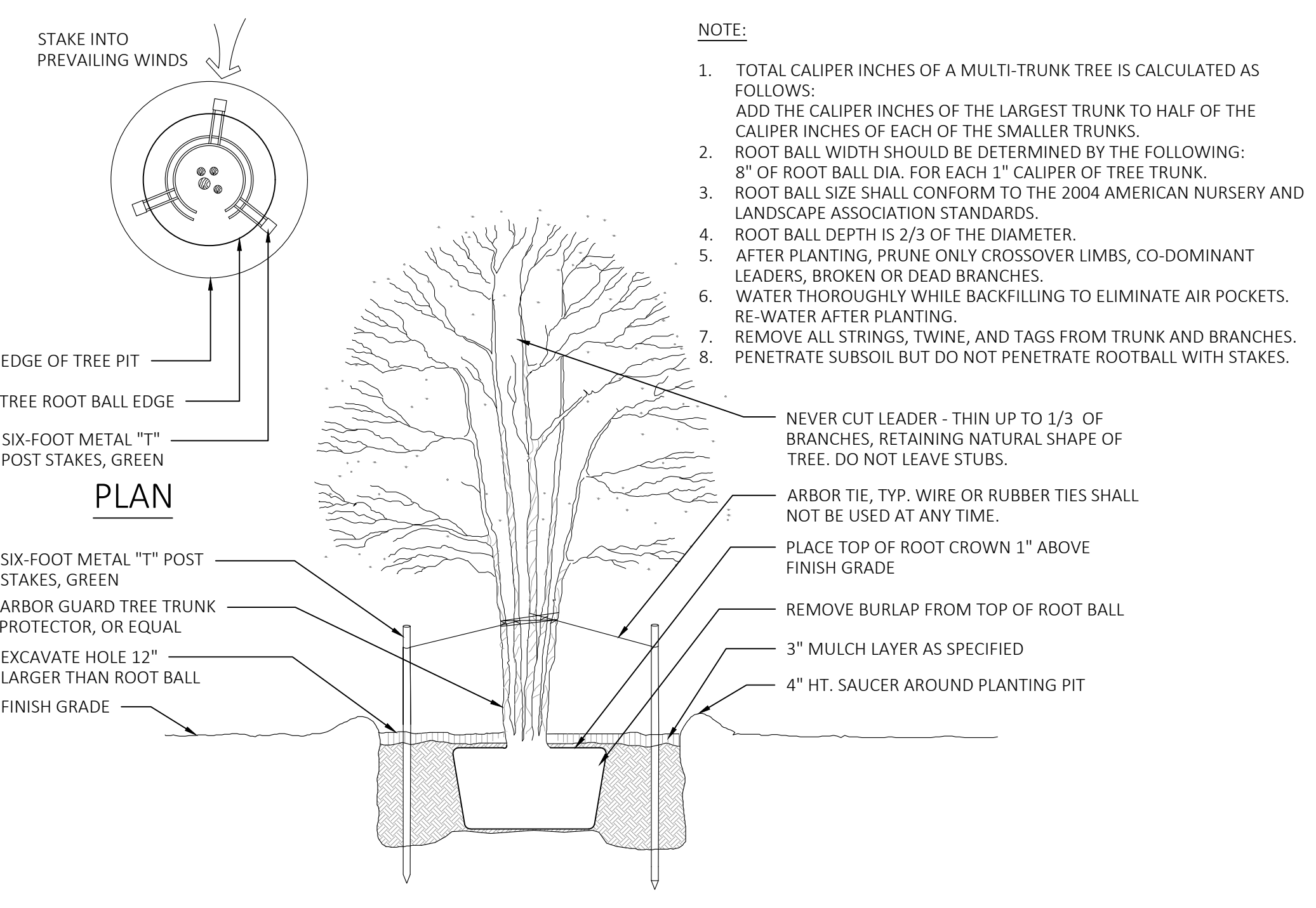
3 SHRUB PLANTING NOT TO SCALE

L02 | L03



7 ARTIFICIAL TURF WITH UNDERDRAIN NOT TO SCALE

L02 | L03



6 MULTI TRUNK TREE PLANTING NOT TO SCALE

COX | L03

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SYMBOL SCHEDULE – ELECTRICAL AND DIVISION 26 DOCUMENTS

Table with 2 columns: SYMBOL (CEILING, WALL, FLOOR) and DESCRIPTION. Lists various electrical symbols and their corresponding descriptions.

Table with 2 columns: SYMBOL (CEILING, WALL) and DESCRIPTION. Lists various electrical symbols and their corresponding descriptions.

FIXTURE SCHEDULE

Table with 2 columns: APARTMENT FIXTURES and COMMON SPACE FIXTURES. Lists fixture details including model numbers, wattage, and lumens.

GENERAL NOTES:

- List of general notes regarding electrical work compliance, equipment requirements, and lighting controls.

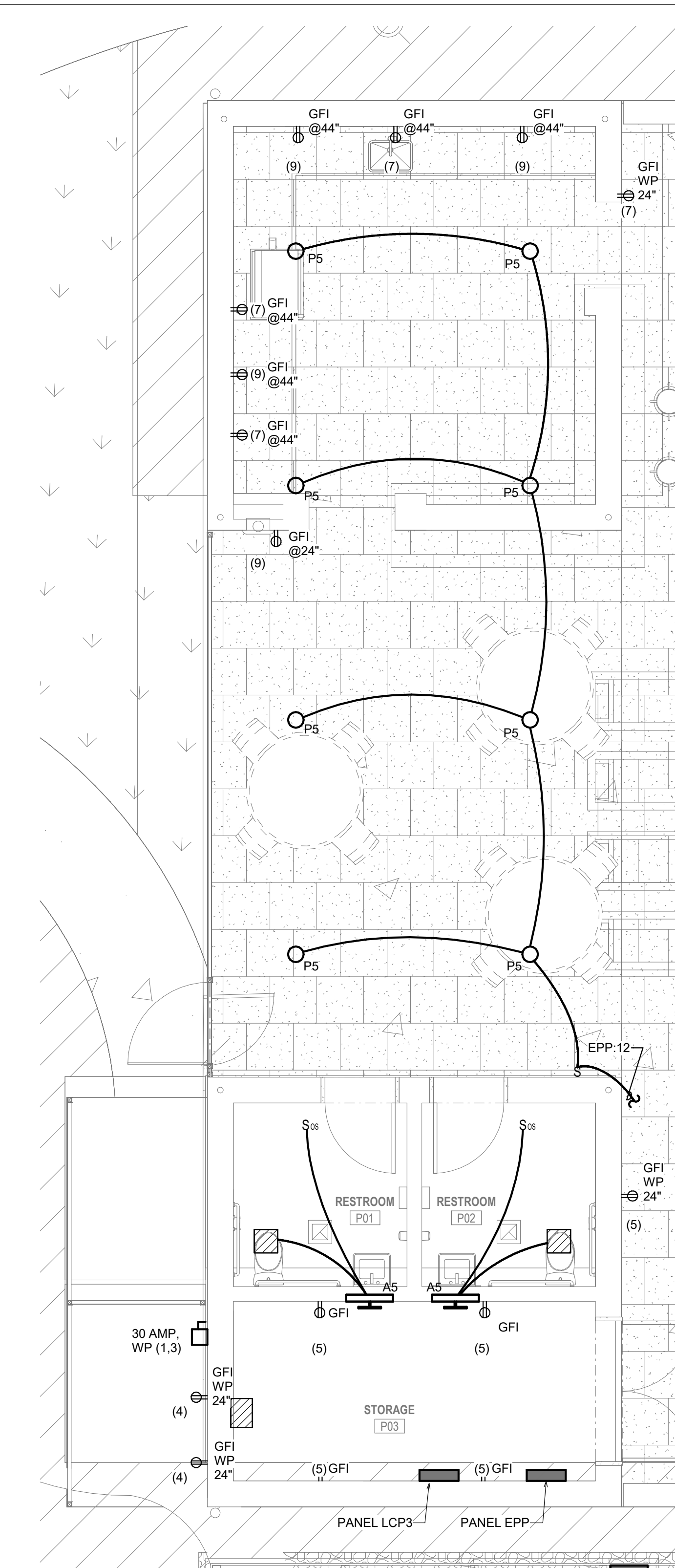
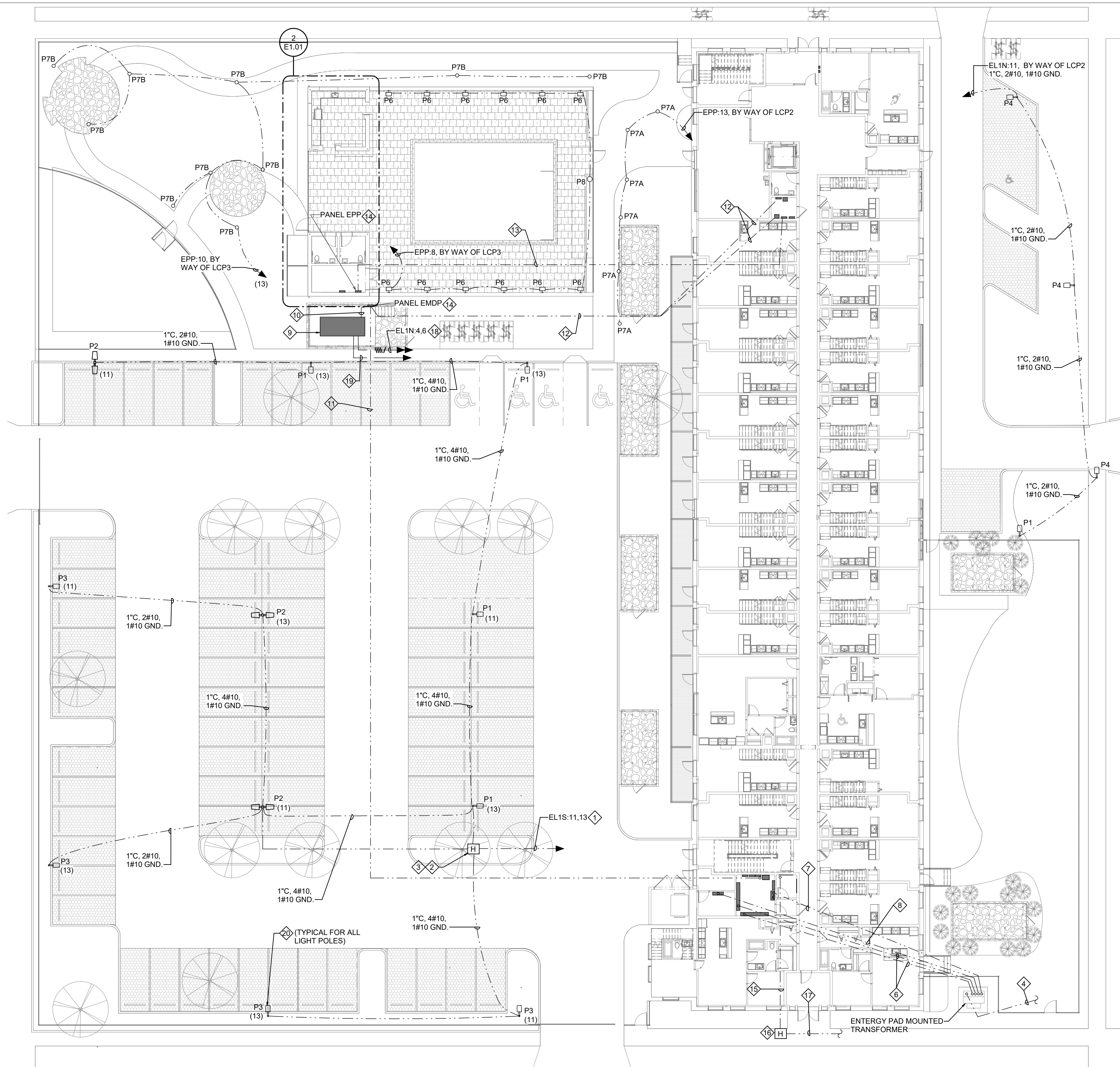
LIGHTING CONTROL PANEL SCHEDULE

Table with columns: PANELBOARD CIRCUIT NUMBER, ROOM/AREA SERVED, ZONE, CONTROLLER TYPE, VOLTAGE, FIXTURE TYPE, TOTAL WATTAGE, and CONTROLS DESCRIPTION.

These plans and specifications have been prepared by or under our supervision and, to the best of our knowledge and belief, they comply with all City requirements.



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2 ELECTRICAL PLAN - ENLARGED POOL PLAN
 E1.01 SCALE: 1/4" = 1'-0"

1 ELECTRICAL PLAN - SITE
 E1.01 SCALE: 1/16" = 1'-0"

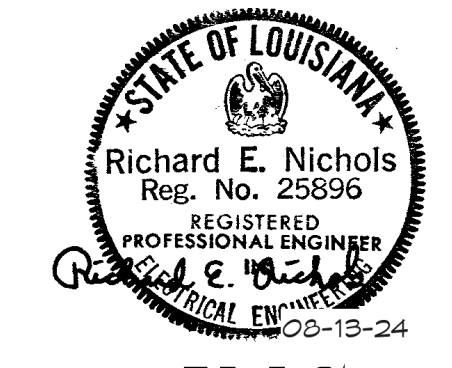
GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL CONDUITS CALLED TO BE ROUTED UNDERGROUND ON SITE SHALL BE SCHEDULE 40 PVC AND SHALL BE ROUTED AT LEAST 24" BELOW GRADE. INSTALL UNDERGROUND WARNING TAPE AT 12" BELOW GRADE DIRECTLY ABOVE THE UNDERGROUND CONDUIT.
- CONTRACTOR SHALL REVIEW EXISTING SITE UTILITY PLANS AND SHALL CALL ONE-CALL TO VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL AVOID DAMAGING THESE EXISTING UNDERGROUND UTILITIES DURING THE INSTALLATION OF THE NEW UNDERGROUND FEEDERS AND CONDUITS TO BE INSTALLED UNDER THIS PROJECT.

SPECIFIC NOTES:

- USE #10 CONDUCTORS THE ENTIRE CIRCUIT RUN.
- PROVIDE A 18" X 12" PRECAST POLYMER HANDHOLE QUAZITE TYPE. COVER SHALL RATED FOR TIER 15 AND COVER LOGO SHALL READ LIGHTING.
- USE SUBMERSIBLE SPLICE CONNECTORS POLARIS IN HANDHOLE.
- DIRECTIONAL BOAR ROUTE 2-5" CONDUITS FROM HIGH VOLTAGE COMPARTMENT OF ENTERGY PAD MOUNTED TRANSFORMER TO ENTERGY TERMINATION POLE LOCATED ON THE EAST SIDE OF BEBERT STREET. INSTALL CONDUITS AT LEAST 36" BELOW GRADE. VERIFY EXACT LOCATION OF ENTERGY POLE WITH ENTERGY BEFORE ROUGH-IN.
- NOT USED.
- ROUTE SERVICE ENTRANCE FEEDERS FROM LOW VOLTAGE COMPARTMENT OF ENTERGY PAD MOUNTED TRANSFORMER UNDERGROUND TO METER CENTERS IN MAIN ELECTRICAL ROOM. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE.
- ROUTE SERVICE ENTRANCE FEEDERS FROM LOW VOLTAGE COMPARTMENT OF ENTERGY PAD MOUNTED TRANSFORMER UNDERGROUND TO C7 CABINET FOR HOUSE POWER IN MAIN ELECTRICAL ROOM. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE.
- ROUTE SERVICE ENTRANCE FEEDERS FROM LOW VOLTAGE COMPARTMENT OF ENTERGY PAD MOUNTED TRANSFORMER UNDERGROUND TO METER PAN FOR FIRE PUMP. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE.
- PROVIDE A NEW NATURAL GAS GENERATOR AT LOCATION SHOWN. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR MORE INFORMATION.
- ROUTE EMERGENCY FEEDER FROM GENERATOR TO PANEL EMDP SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE.
- ROUTE EMERGENCY FEEDER FROM LOW VOLTAGE COMPARTMENT OF ENTERGY PAD MOUNTED TRANSFORMER UNDERGROUND TO ATS-3 IN MAIN ELECTRICAL ROOM. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE. ALSO, IN A SEPARATE 1" CONDUIT ROUTE 3#12 FOR GENERATOR START CONDUCTORS FROM GENERATOR TO ATS.
- ROUTE EMERGENCY FEEDER FROM PANEL EMDP TO ATS-1.2 IN ELECTRICAL ROOM 037. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE. ALSO, IN A SEPARATE 1" CONDUIT ROUTE 3#12 FOR GENERATOR START CONDUCTORS FROM GENERATOR TO EACH ATS.
- ROUTE EMERGENCY FEEDER FROM PANEL EP1N TO POOL HOUSE PANEL EPP. SEE THE ELECTRICAL RISER DIAGRAM ON SHEET E5.01 FOR FEEDER SIZE.
- PROVIDE PANEL AT LOCATION SHOWN. SEE THE PANEL SCHEDULE FOR MORE INFORMATION.
- ROUTE 2-4" CONDUITS FOR COMMUNICATIONS FROM DATA CLOSET ON FIRST FLOOR UNDERGROUND AND OUT TO NEW HANDHOLE. CONDUITS TO BE ROUTED AT LEAST 24" BELOW GRADE AND A WARNING TAPE SHALL BE INSTALLED AT 12" ABOVE.

- PROVIDE A 36" X24" PRECAST POLYMER HANDHOLE QUAZITE TYPE PG OR EQUAL. COVER SHALL RATED FOR TIER 15 AND COVER LOGO SHALL READ COMMUNICATIONS.
- ROUTE 2-4" CONDUITS FOR COMMUNICATIONS FROM HANDHOLE TO UTILITY POLE. CONDUITS TO BE ROUTED AT LEAST 24" BELOW GRADE AND A WARNING TAPE SHALL BE INSTALLED AT 12" ABOVE. COORDINATE WITH OWNER TO DETERMINE WHICH PROVIDER IS BEING USED FOR COMMUNICATIONS. COORDINATE WITH UTILITY COMPANY ON EXACT LOCATION TO ROUTE INCOMING CONDUITS.
- ROUTE 4#10, 1#10 GND IN 1" CONDUIT FROM GENERATOR FOR GENERATOR BLOCK HEATER (EL:1.34) AND FOR BATTERY CHARGER (EP:1-36) BACK TO DESIGNATED PANEL.
- ROUTE COMMUNICATIONS CABLE IN 1" CONDUIT FROM GENERATOR TO GENERATOR REMOTE ANNUNCIATOR LOCATED IN OFFICE.
- SEE LIGHT POLE FOUNDATION DETAIL ON SHEET E3.01.



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