

PERMIT SET

HISTORIC DISTRICT LANDMARKS COMMISSION

BUILDING BUILD OUT AND RENOVATION

PATIENT PLUS URGENT CARE

1320 N BROAD ST
NEW ORLEANS , LA 70119
Lot E, BLOCK 345, PARID 1320-NBROADST



AUGUST 2024

INDEX OF DRAWINGS:

G100	COVER SHEET
C100	EXISTING SITE PLAN
C200	PROPOSED SITE PLAN
A100	PROPOSED AND EXISTING FLOOR PLAN
A101	PROPOSED ROOF PLAN AND SCHEDULES
A200	ELEVATIONS
A201	ELEVATIONS

PROFESSIONAL OF RECORD:

MAP DESIGN GROUP, LLC
8282 GOODWOOD BLVD SUITE W-3
BATON ROUGE, LA 70806
P. 225-767-4590 E. MAP@MAPGRP.COM

OWNER

DOC BOX, LLC
9418 BROOKLINE AVE. STE A
BATON ROUGE, LA 70609

MAP Project NO: 10.245.12

Seal:

PROJECT INFORMATION:

PROJECT INFORMATION

OCCUPANCY CLASSIFICATION:
IBC: BUSINESS-B
NFPA: BUSINESS

TYPE OF CONSTRUCTION:
IBC: TYPE III B

NO. OF STORIES: 1

SPRINKLER SYSTEM REQUIRED: NO

SMOKE DETECTION SYSTEM REQUIRED: YES

BUILDING HEIGHT: 21'-0"

GOVERNING CODES

2021 INTERNATIONAL BUILDING CODE	2015 FUEL GAS CODE
2021 INTERNATIONAL MECHANICAL CODE	2021 INTERNATIONAL ENERGY CONSERVATION CODE
2021 INTERNATIONAL PLUMBING CODE	2015 PROPERTY MAINTENANCE CODE
2021 NATIONAL ELECTRICAL CODE	2012 NFPA 13
2015 NFPA 101, LIFE SAFETY CODE	2012 NFPA 20
2015 CABO-ANSI 117.1	2012 NFPA 70
2015 AMERICANS WITH DISABILITY ACT	2012 NFPA 72
2020 INTERNATIONAL FIRE CODE	2012 NFPA 90

TRAVEL DISTANCE

DEAD END CORRIDOR - 20'-0" MAX
COMMON PATH OF TRAVEL DISTANCE - 75'-0" MAX
EXIT ACCESS TRAVEL DISTANCE - 200'-0" MAX

FIRE PROTECTION

AUTOMATIC FIRE ALARM SYSTEM

CODE SUMMARY

STORIES	ALLOWABLE	PROPOSED
TYPE OF CONSTRUCTION	III B	III B
NUMBER OF STORIES	3	1
HEIGHT	55'-0"	21'-0"
MAX. FLOOR AREA	19,000	6,590 SF (3,810 SF +2,780SF)
SPRINKLERED	NO	NO
FIRE ALARM SYSTEM	YES	YES

RATED COMPONENTS(TABLE 601)

INTERIOR BEARING WALLS	0 HOUR
COLUMNS	0 HOUR
BEAMS, GIRDERS, TRUSSES & ARCHES	0 HOUR
FLOORS & FLOOR/CEILING ASSEMBLIES	0 HOUR
EXTERIOR BEARING WALLS	2 HOUR
EXTERIOR NON-BEARING WALLS	(SEE IBC TABLE 602)
VERTICAL ENCLOSURES	0 HOURS

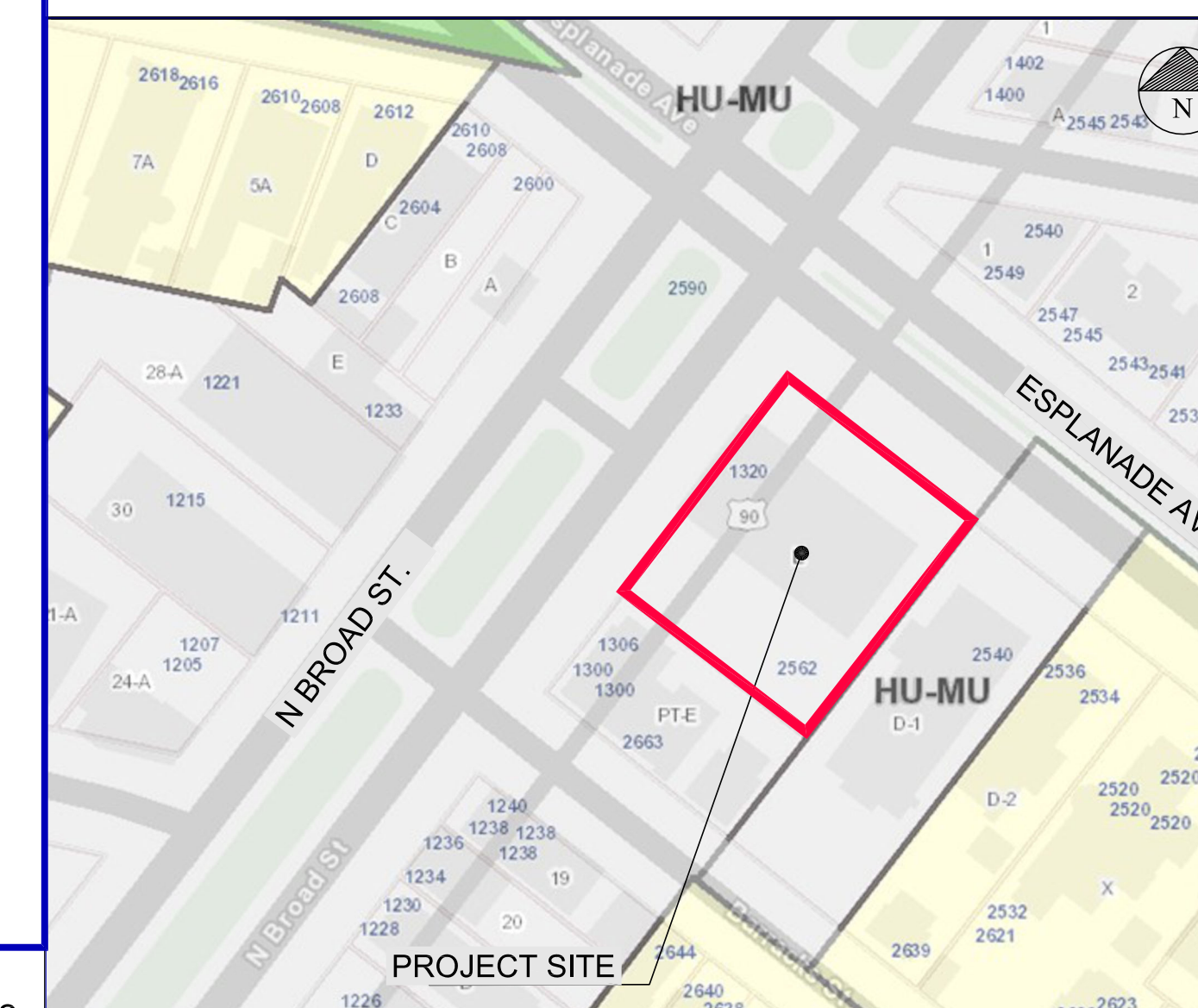
PROJECT DESCRIPTION

THIS PROJECT IS A RENOVATION OF A ONE-STORY BUILDING TO ESTABLISH AN URGENT CARE CLINIC (WALK-IN MEDICAL CLINIC FACILITY) WHERE OUTPATIENT ONLY AND NO OVERNIGHT STAYS ARE PERMITTED. THE CLINIC HAS APPROX. 3,800 SQ. FT. WITH 6 EXAM ROOMS, AN X-RAY ROOM, A LABORATORY, AND ON-SITE PARKING SPACES.

GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM FACES OF EXTERIOR WALLS AND INTERIOR WALLS.
- ANY PENETRATIONS OF, OR MODIFICATIONS TO CONCRETE MUST BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- COORDINATE WITH OWNER'S REPRESENTATIVE, LOCATION OF CONTRACTORS' EQUIPMENT AND MATERIAL STORAGE.
- ALL MECHANICAL WORK SHALL BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- ALL STRUCTURAL FRAMING WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- PRIOR TO SUBMITTING A FORMAL BID OR PRICE QUOTATION IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS TO UNDERSTAND THE INTENT OF THE DESIGN AND VISIT THE JOB SITE TO EXAMINE AND EVALUATE THE EXISTING CONDITIONS, INCLUDING VERIFYING ALL DIMENSIONS AND EXISTING CONSTRUCTION, VERIFYING LOCATIONS OF ALL UTILITIES ON THE SITE AND IF ANY CONFLICTS OR ERRORS IN THE DRAWINGS ARE FOUND, TO NOTIFY THE ARCHITECT, AS SET FORTH IN THE CONTRACT DOCUMENTS.

ZONING



VICINITY MAP



SYMBOLS LEGEND:

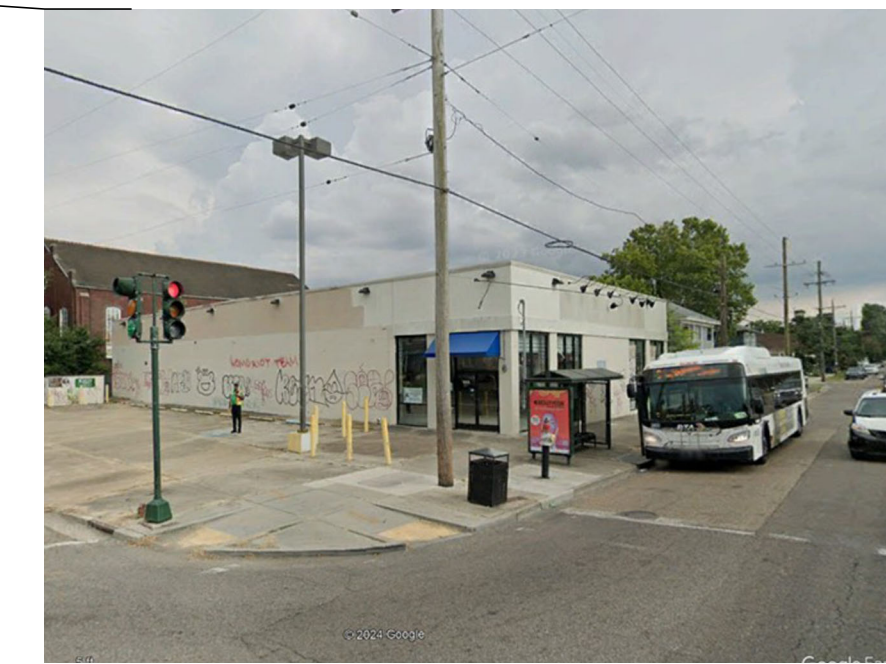
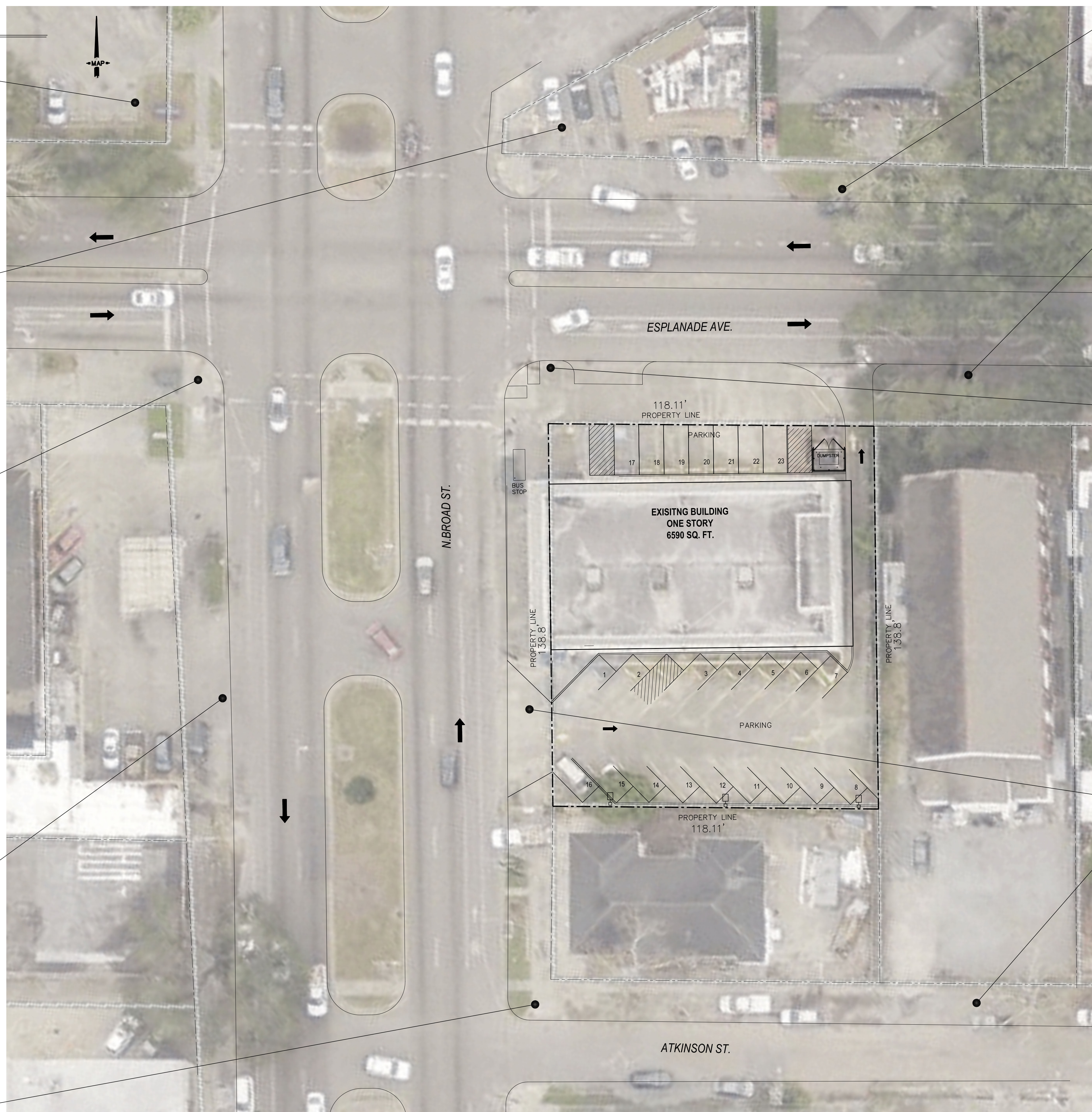
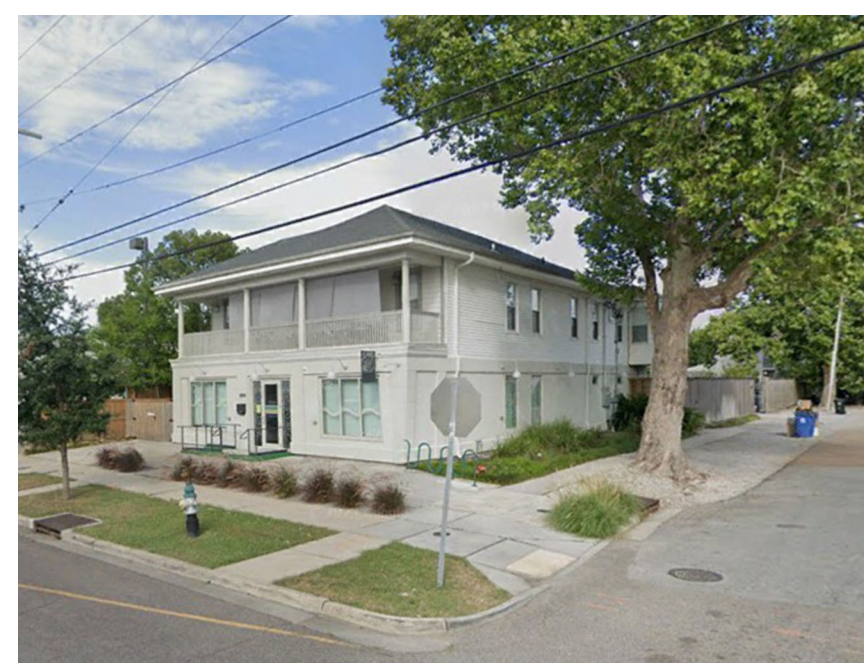
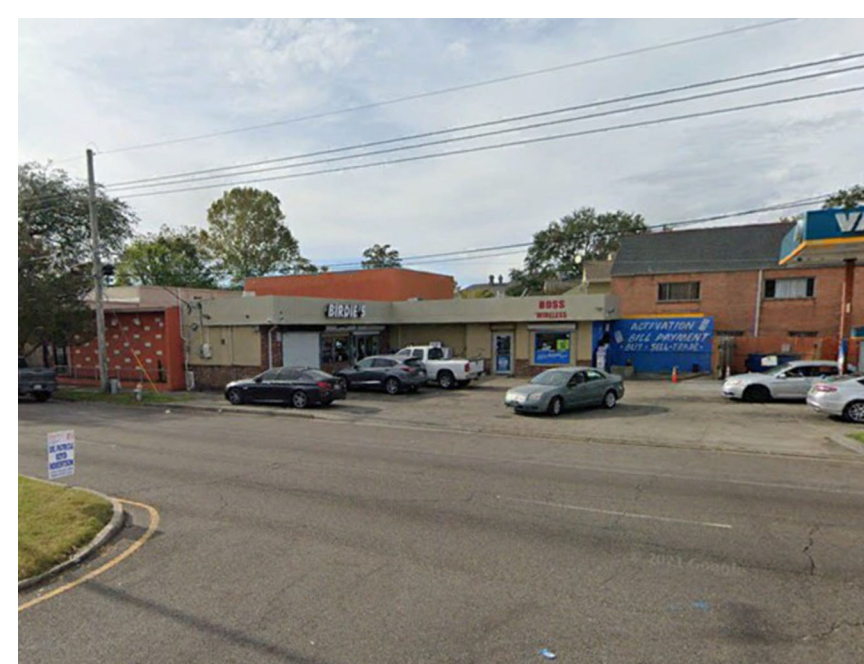
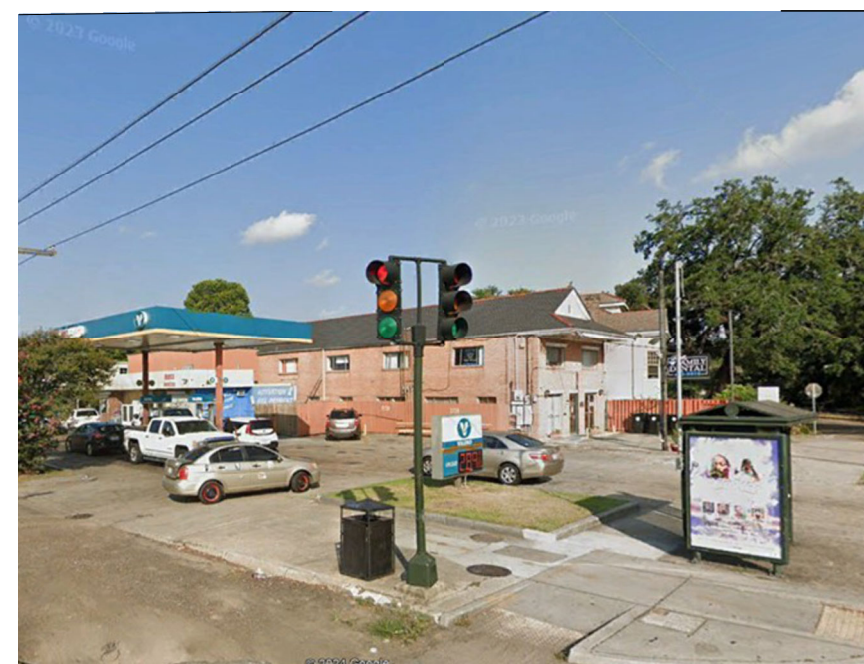
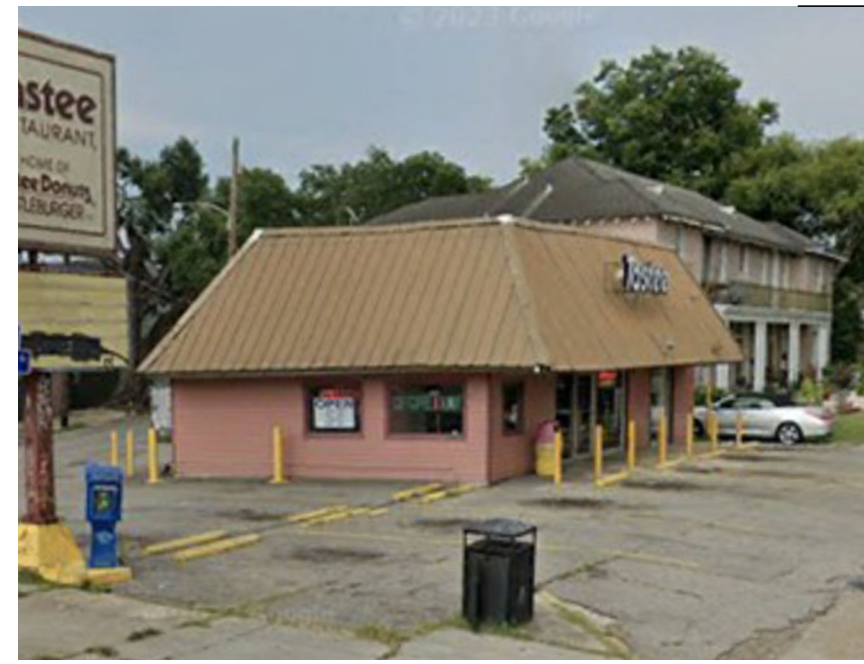
XXX	ROOM NUMBER	U	DETAIL TAG	△	KEY NOTE
XXX	DOOR NUMBER	U		P-X	PARTITION TAG
X	WINDOW TAG	X	PHOTO TAG	X/AX.XX	ELEVATION TAG
X	COLUMN GRID TAG	X	KEY NOTE	X/AX.XX	SECTION TAG
X	KEY NOTE	X	KEY NOTE		

HATCH LEGEND:

PLAN:	SPANDREL GLASS	INSULATION
NEW WALL	SECTION:	PLYWOOD
BRICK	BRICK	RIGID INSULATION
ELEVATION:	C.M.U.	GYP. BD. / M.D.F. / SAND
GYP. BD. / STUCCO	CONCRETE	EARTH
CLEAR GLASS	STEEL	

1 EXISTING SITE PLAN

SCALE: 1'-0"=20'



MAP DESIGN GROUP, LLC
 8282 GOODWOOD BLVD SUITE W-3
 BATON ROUGE, LA 70806
 P. 225-767-4580 E. MAP@MAPGR.COM

This drawing and design are the property of The MAP Design Group, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or in part, or used for furnishing information to others, without the prior written consent of The MAP Design Group, LLC. All common law rights are hereby specifically reserved.

NO.	REVISION DATE	DESCRIPTION
1	XXXXXX	XXX

PATIENT
 Urgent Care Clinic

PROJECT: RENOVATION/BUILD OUT
 FOR **PATIENT PLUS LAFITTE**
 1320 N. BROAD ST.
 NEW ORLEANS, LA

8.5.24

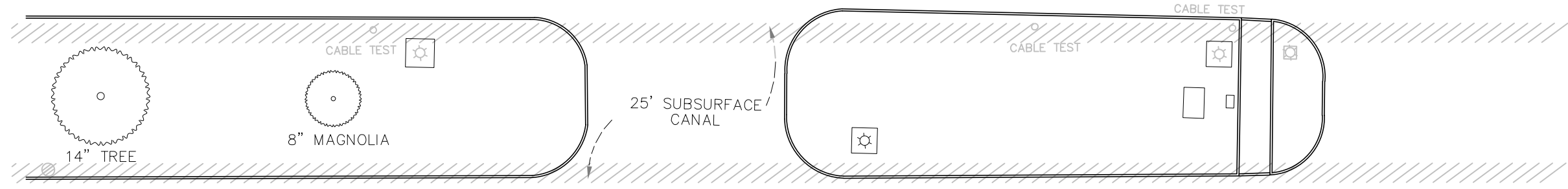
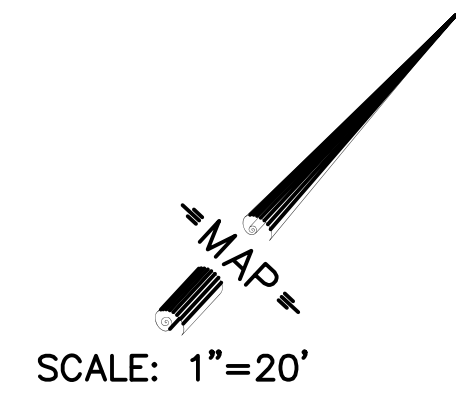
Sheet Title:
EXISTING SITE PLAN

MAP JOB NO: 10.245.12
 SCALE: 1 FT= 1/4"
 DRAWN: KJF
 CHECKED BY: MAP
 DATE: 07.26.24

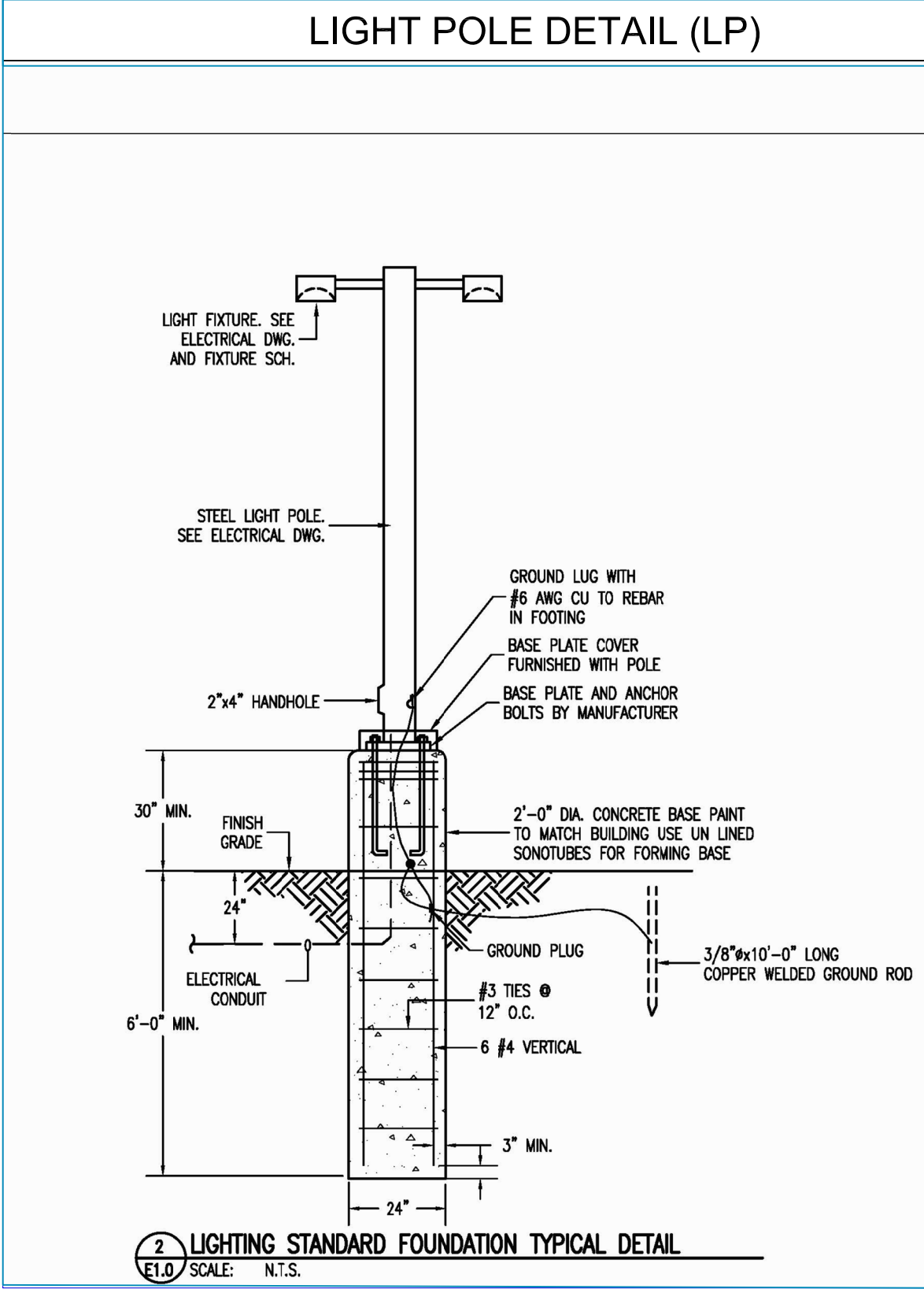
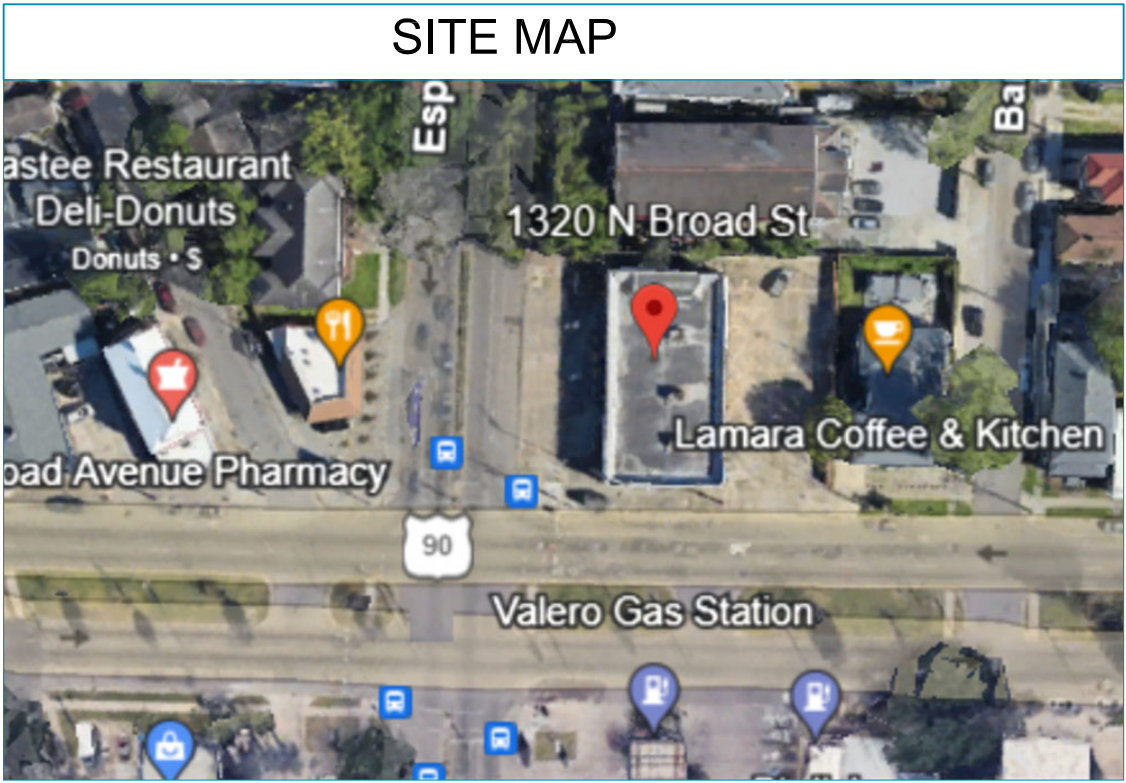
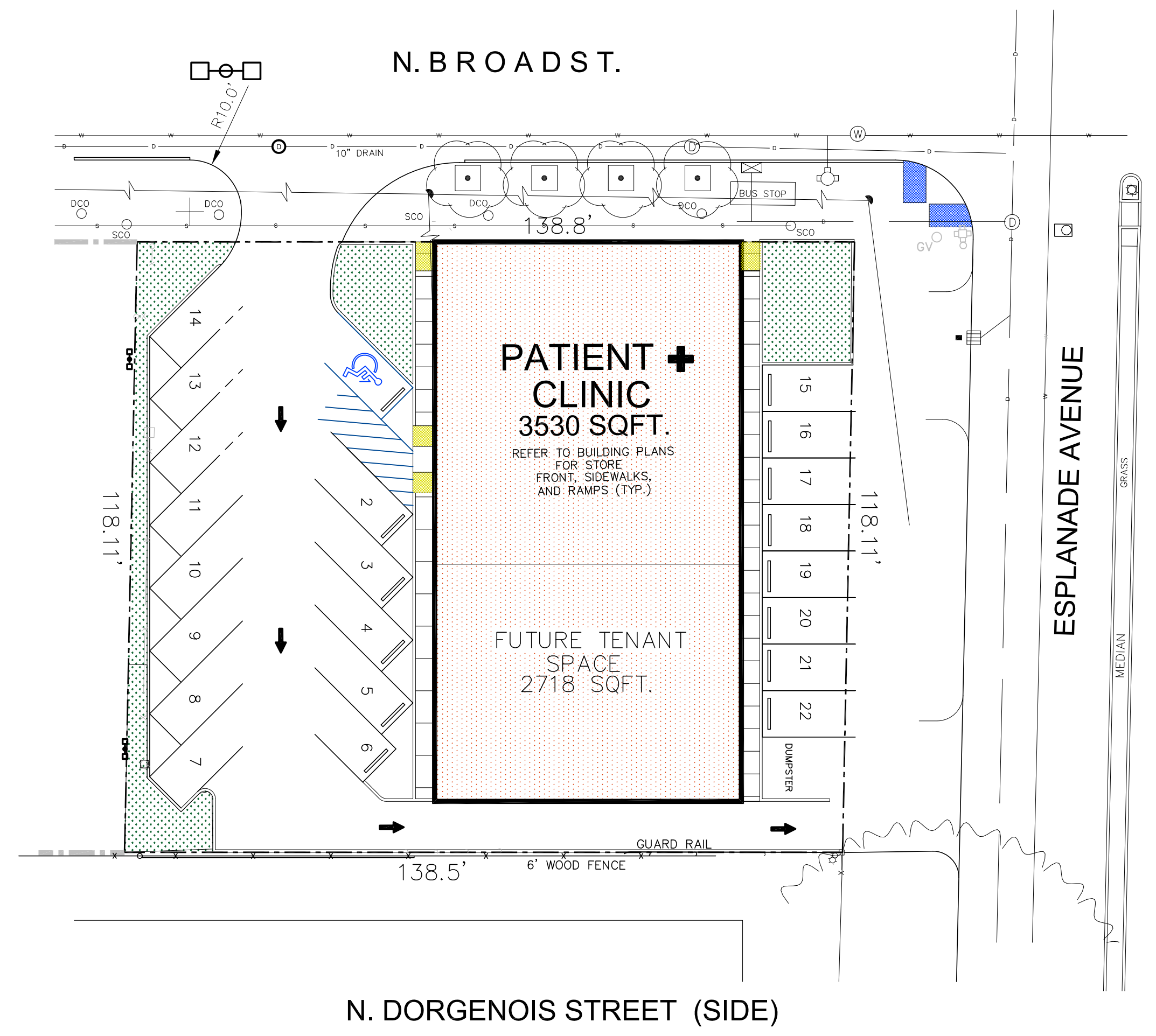
C100

1 SITE PLAN

SCALE: 1"=20'



BARRACKS STREET (SIDE)



PAVING OPTIONS

8.0" SCARIFIED & RECOMPACTED NATIVE SUBGRADE OR DENSITY OPTION 1 (CONCRETE PAVEMENT)

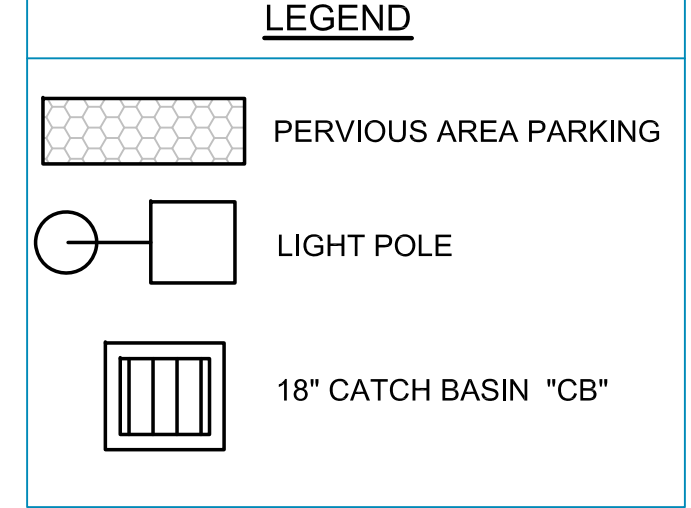
AUTOMOBILE PARKING AND TRAVEL LANE SECTION: 5" PROPOSED CONCRETE DRIVE w/6" THICK REINFORCE CONCRETE THICK COMPACTED GRANULAR BASE COURSE

SEWAGE TREATMENT NOTE

SANITARY SEWER LATERAL PROVIDED BY OTHERS. REFER TO CONSTRUCTION PLANS TITLED xxxx DATED 10-05-2017. BY xxxxx, LLC. SANITARY SEWER GENERATED BY THIS PROPOSED DEVELOPMENT WILL BE CONVEYED TO xxxxx, LLC PUBLIC SEWER TREATMENT FACILITY.

UTILITY CONTACTS

WATER: NEW ORLEANS WATER CO. (504) XXX-XXXX
 ELECTRIC: ENERGY (800) 368-8243
 TELEPHONE: AT&T 877-253-0009
 SOUTHERN LIGHT 985-600-4090
 GAS: ENERGY GAS 225-354-311



GENERAL DIMENSIONAL CONTROL NOTES:

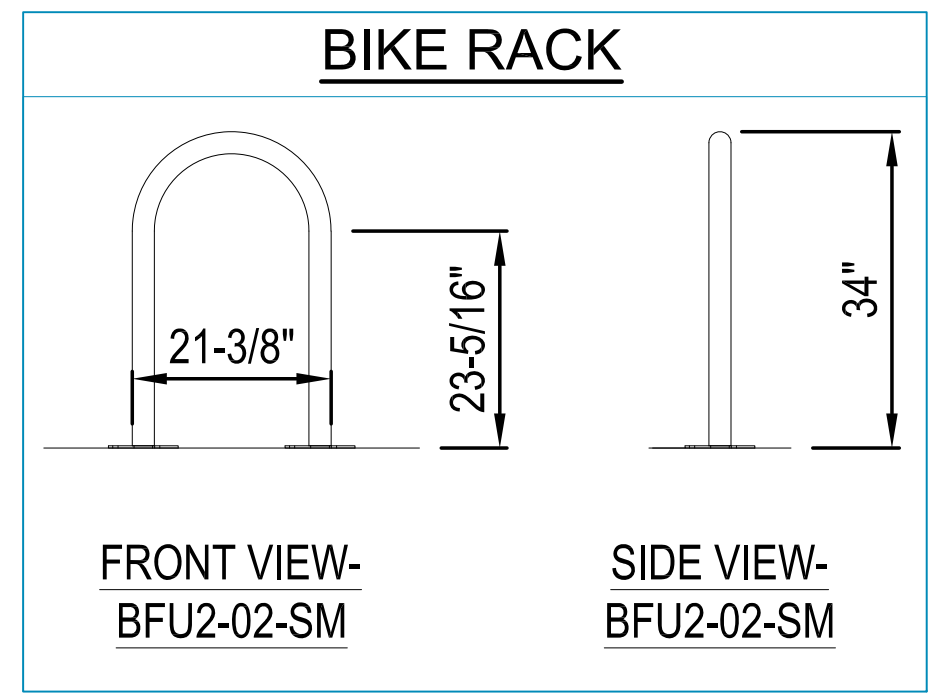
- ALL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3.5' W/ 5.0' LENGTH, UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- PARKING SPACES ARE 90° & 45° UNLESS SHOWN OTHERWISE.
- BEFORE ANY WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNERS SATISFACTION. NO EXTENSION OF TIME WILL BE GRANTED FOR THE ABOVE.

STRIPING NOTES

- ALL PARKING STRIPES SHALL BE 4" IN WIDTH AND YELLOW.
- ALL SIGNS TO BE INSTALLED PER THE 2009 MUTCD.
- ALL PARKING STALLS ARE 9' x 20'. DEPTH IS MEASURED FROM FACE OF CURB OR CENTER OF PARKING ISLE.
- ALL PARKING STALLS IN CURVES SHALL HAVE A MINIMUM WIDTH OF 9' AS MEASURED TO THE INSIDE OF THE CURVE.
- SEE SHEET C-11 FOR ADA PARKING STRIPING LAYOUT.
- ALL NEW SIGNS SHALL BE SET ON A SINGLE 3" X 3" ALUMINUM TUBE PAINTED BLACK AND INSTALLED IN ACCORDANCE WITH THE 2009 MUTCD
- ALL STRIPING SHALL BE PERMANENT, UNLESS OTHERWISE NOTED.
- ALL HANDICAP SYMBOLS WHITE ON BLUE BACKGROUND ACCORDING TO THE UDC APPENDIX A

SITE NOTES

- CURRENT ZONING: C2(LCOMMERCIAL)
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 220033 C235E D, DATED MAY 2, 2008, THIS PROPERTY IS LOCATED IN FLOOD ZONE X & AE
- UTILITY LOCATIONS SHOWN WERE PROVIDED BY THE APPROXIMATE AND ARE NOT WARRANTED AS EXACT LOCATIONS BY MAP GROUP, LLC.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ALL UTILITIES WITHIN AND ADJACENT TO THE PROJECT. THE CONTRACTOR MUST CONTACT ALL UTILITY COMPANIES FORTY-EIGHT HOURS PRIOR TO COMMENCEMENT OF THE FIELD PRIOR TO ANY WORK. ANY REQUEST FOR UNDERGROUND UTILITIES SHOULD BE MADE THROUGH LOUISIANA ONE CALL (1-800-272-3020) BEFORE DIGGING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAYOUT AND CONTROL AS DETAILED IN THESE CONSTRUCTION DOCUMENTS FOR THE PROJECT.
- THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CITY/PARISH, STATE AND FEDERAL CODES AND REGULATORY REQUIREMENTS IN REGARD TO ENVIRONMENTAL AND DISPOSAL OF DEBRIS.



PARKING CHART			
USE	FORMULA (SUBURBAN)	REQUIRED	PROPOSED
MEDICAL OFFICE/CLINIC	1 SPACE PER 200GSF TOTAL SF 3530 / 200 = 17.65 PARKS	18	22
BIKE PARKING	1 PER EVERY 20 PARKING SPACES	1	1
HANDICAP		1	1

MAP DESIGN GROUP, LLC
 8882 GODWOOD BLVD SUITE W-3
 BATON ROUGE, LA 70806
 P. 225-767-4890 E. MAP@MAPDGP.COM

This drawing and design are the property of The MAP Design Group, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or in part, or used for furnishing information to others, without the prior written consent of The MAP Design Group, LLC. All common law rights are hereby specifically reserved.

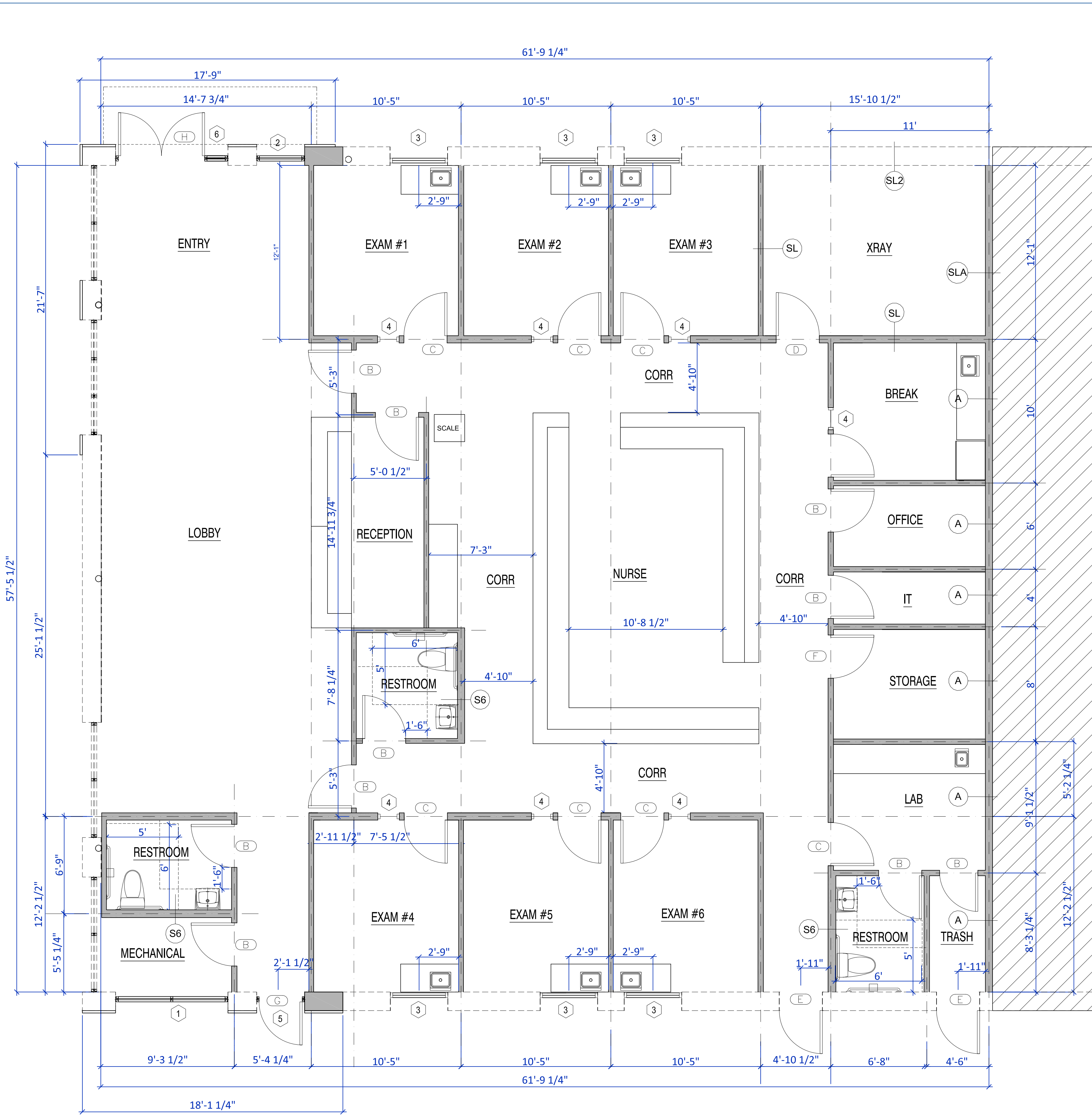
NO.	REVISION DATE	DESCRIPTION
1	XXXX-XX	XXX



PROJECT: RENOVATION/BUILD OUT FOR **PATIENT PLUS LAFITTE** 1320 N. BROAD ST. NEW ORLEANS, LA

8.5.24
 Sheet Title: **SITE PLAN**

MAP JOB NO: 10.245.12
 SCALE: 1 FT = 1/4"
 DRAWN: KJF
 CHECKED BY: MAP
 DATE: 07.28.24
C200

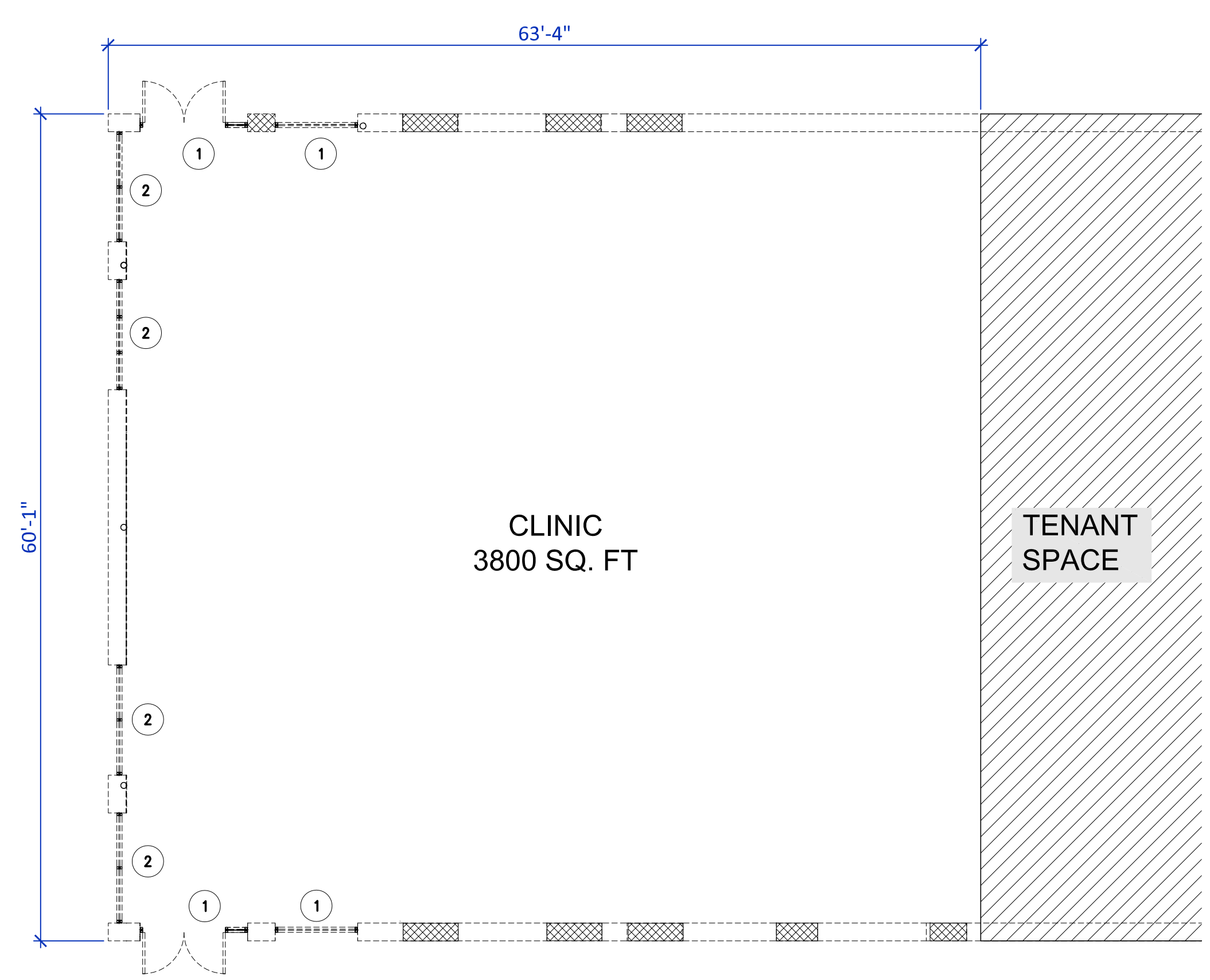


1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- WINDOW SCHEDULE
- DOOR SCHEDULE
- WC WATER CLOSET
- UR URINAL
- LAV LAVATORY
- PARTITION TYPE

- GENERAL NOTES:**
- DIMENSIONS ARE APPROXIMATE. ALL DIMENSIONS MUST BE FIELD VERIFIED.
 - CONTRACTOR IS RESPONSIBLE FOR RE-SUPPORTING ANY EXISTING WALL BEING REMOVED AND SIZING OF NEW BEAMS FOR RE-SUPPORTING.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHILE REMOVING ITEMS TO BE SALVAGED SO AS NOT TO DAMAGE SURROUNDING BUILDING. IF SURROUNDING AREA IS DAMAGED BEYOND REPAIR, THE CONTRACTOR SHALL PROVIDE NEW TO MATCH EXISTING.
 - REFER TO SCHEDULES FOR DIMENSIONS OF NEW OPENINGS.
 - PARTITIONS AREA TYPE "SC", UNLESS NOTED.



2 EXISTING /DEMO FLOOR PLAN
SCALE: 1/8"=1'-0"

- DEMOLITION KEY NOTES**
- EXISTING WINDOWS / DOORS TO BE REMOVED.
 - EXISTING WINDOWS/DOORS TO REMAIN

- DEMOLITION LEGEND**
- EXISTING PARTITION TO REMAIN
 - SAW CUT
 - DEMO WALL

This drawing and design are the property of The MAP Design Group, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or in part, or used for furnishing information to others, without the prior written consent of The MAP Design Group, LLC. All common law rights are hereby specifically reserved.

NO.	REVISION DATE	DESCRIPTION
1	XXXXXXXX	XXX



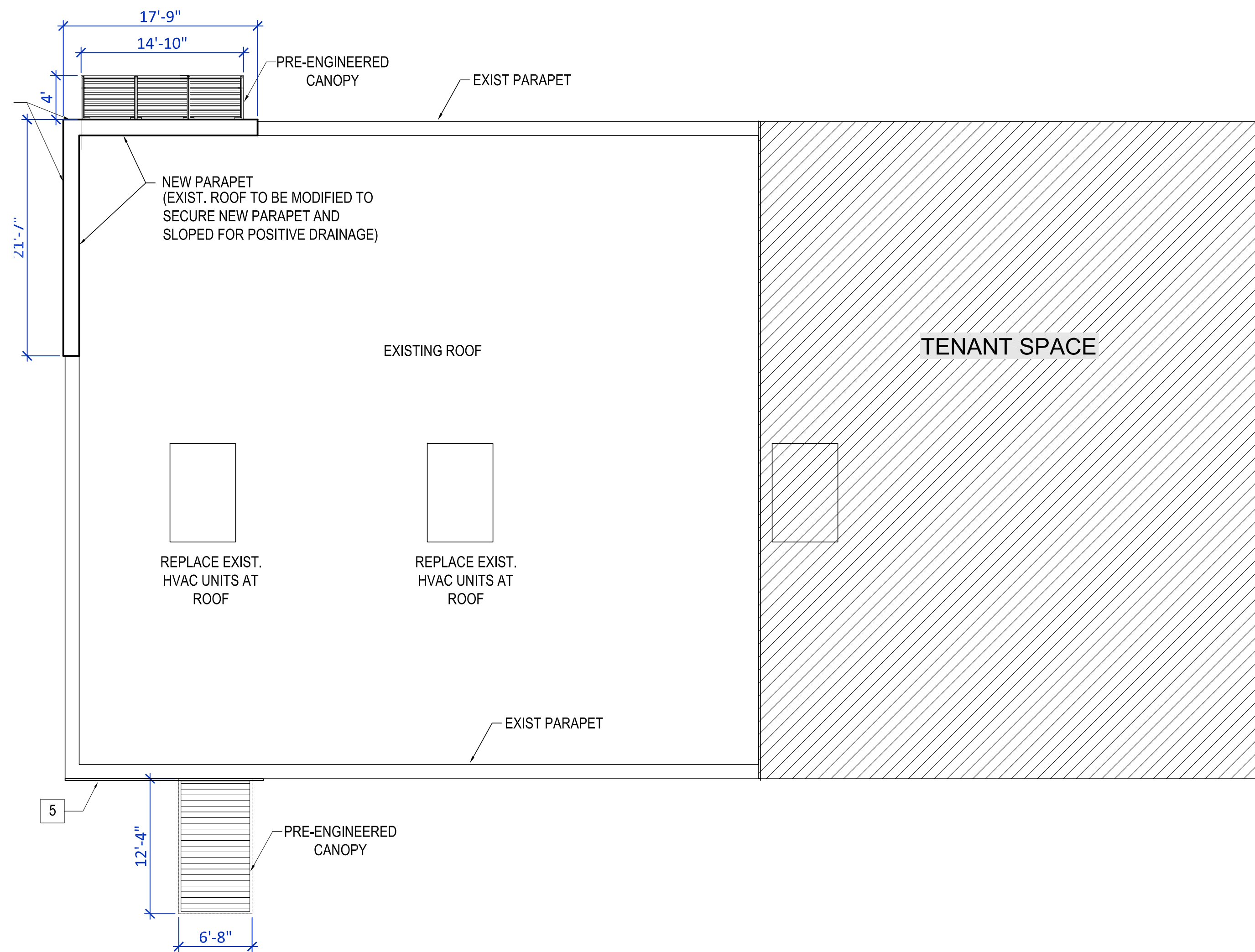
RENOVATION/BUILD OUT FOR
PATIENT PLUS LAFITTE
1320 N. BROAD ST.
NEW ORLEANS, LA

8.5.24

Sheet Title:
EXISTING AND PROPOSED FLOOR PLAN

MAP/2024 No: 10.245.12
SCALE: 1 FT= 1/4"
DRAWN: KJF
CHECKED BY: MAP
DATE: 07.26.24

A100

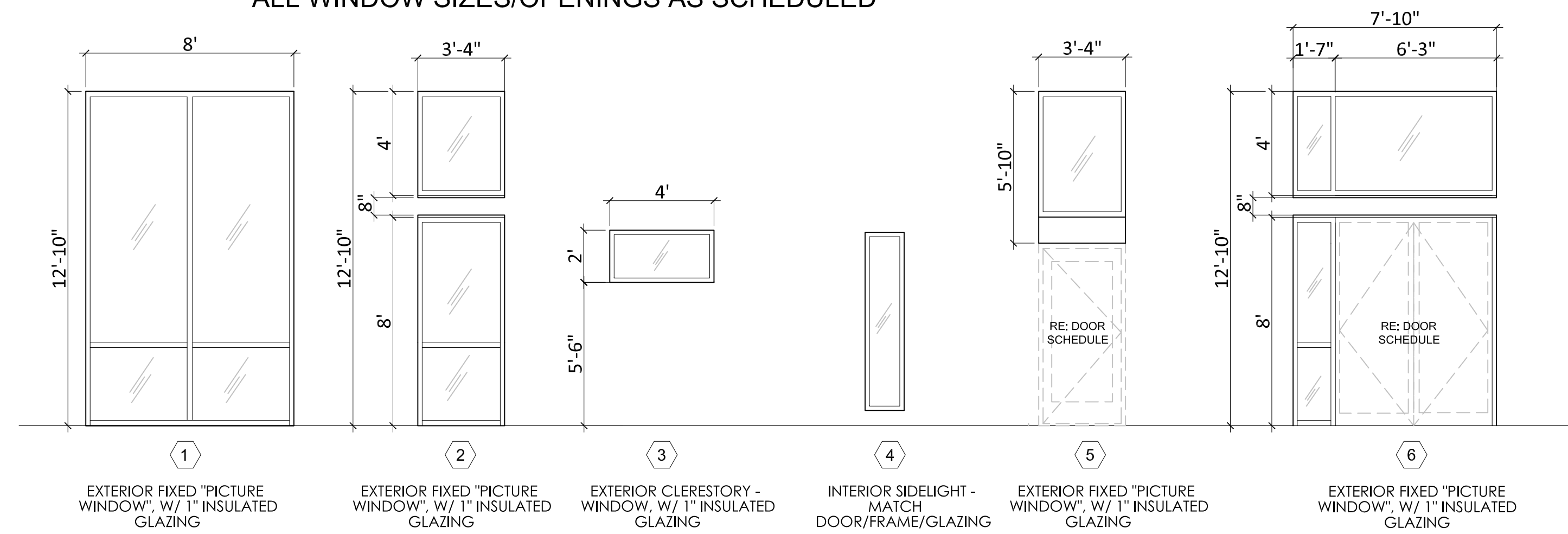


1 PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"

KEYED NOTES

- PER HEIGHTS NOTED ON ELEVATIONS. SHEATHING AND STUCCO TO BE APPLIED OVER FRAMING. RUN ELECTRICAL FOR SIGNAGE PRIOR TO FINISHING. VERIFY ELEC WITH SIGN VENDOR. REF FINISH PLAN FOR DIMENSIONS.

ALL WINDOW SIZES/OPENINGS AS SCHEDULED



WINDOW NOTES:

- ALL NEW EXTERIOR GLAZING TO BE 1" UNITS, TEMPERED.
- ALL NEW INTERIOR GLAZING TO BE TEMPERED.
- REFERENCE ELEVATIONS/PLANS FOR ENTRY STOREFRONT AT TOWERS.
- VERIFY DIMENSIONS OF THE EXISTING OPENINGS ON SITE.

2 WINDOW/STOREFRONT/SIDELIGHT TYPES

WINDOW/SIDELIGHT SCHEDULE				
Type Mark	R.O.		Qty.	Comments
	Width	Height		
1	8'-0"	12'-10"	1	VERIFY DIMENSIONS EXIST. OPENING
2	3'-4"	12'-10"	1	VERIFY HEIGHT EXIST. OPENING
3	4'-0"	2'-0"	6	
4	3'-0"	6'-6"	7	INTERIOR SIDELIGHT
5	3'-4"	5'-10"	1	VERIFY DIMENSIONS EXIST. OPENING
6	7'-10"	12'-10"	1	VERIFY DIMENSIONS EXIST. OPENING

3 WINDOW/SIDELIGHT SCHEDULE

DOOR SCHEDULE								
DOOR NO.	DOOR		DOOR			FRAME		REMARKS
	WIDTH	HEIGHT	TYPE	MAT'L	FIN.	MAT'L	FIN.	
B	3'-0"	6'-8"	B	WD	PT-7	WD	PT-7	
C	3'-0"	6'-8"	C	WD	PT-7	WD	PT-7	
D	3'-0"	6'-8"	D	HM	PT-7	HM	PT-7	LEAD LINED DOOR FOR XRAY ROOM
E	3'-0"	6'-8"	E	HM	PT-7	HM	PT-7	PAINT EXTERIOR SIDE OF DOOR/FRAME TO MATCH EXTERIOR
F	3'-0"	6'-8"	F	METAL	PT-7	WD	PT-7	45 MIN DOOR/FRAME ASSEMBLY (SEC 8.7.1)
G	3'-0"	6'-8"	G	AL/GL	ANOD.	AL	ANOD.	SINGLE ALUMINUM STOREFRONT W/ INSULATED GLAZING
H	3'-0"	8'-0"	H	AL/GL	ANOD.	AL	ANOD.	DOUBLE ALUMINUM STOREFRONT W/ INSULATED GLAZING

DOOR NOTES:

- ALL DOORS TO HAVE ADA COMPLIANT SIGNAGE ON ADJACENT WALL. COORDINATE WITH OWNER ON NAME AND TYPE FOR EACH ROOM.
- ALL EXTERIOR DOORS TO HAVE THRESHOLDS (NO MORE THAN " HEIGHT AND BEVELED IF OVER ") AND WEATHER STRIPPING.
- DOORS AND FRAMES TO BE BUILT/INSTALLED PER MANUF. STANDARD PRACTICES AND RECOMMENDATIONS.
- DOORS SHALL BE EQUIPPED WITH ONLY ONE REALISING OPERATION SYSTEM. ADA STANDARDS APPROVED

4 DOOR SCHEDULE

This drawing and design are the property of The MAP Design Group, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or in part, or used for furnishing information to others, without the prior written consent of The MAP Design Group, LLC. All common law rights are hereby specifically reserved.

NO.	REVISION DATE	DESCRIPTION
1	XX-XX-XX	XXX

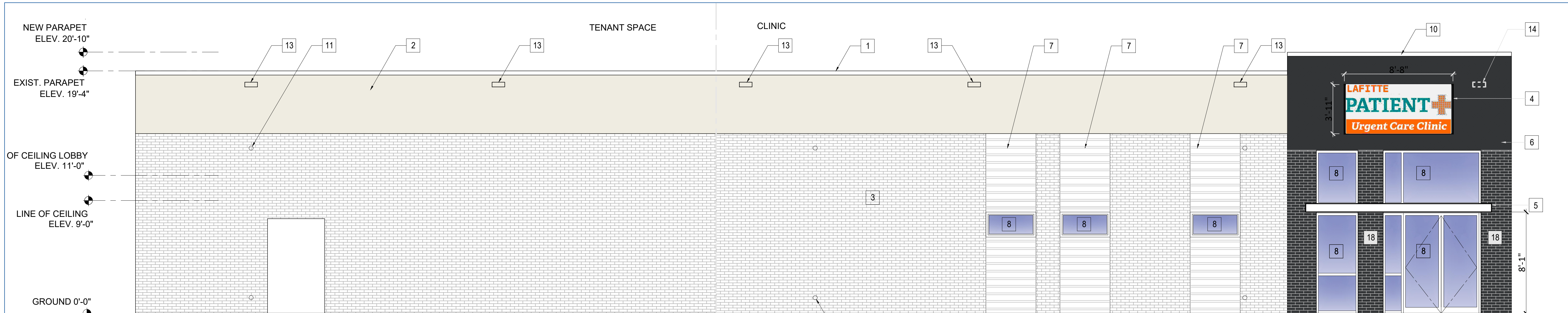


RENOVATION/BUILD OUT FOR
PATIENT PLUS LAFITTE
1320 N. BROAD ST.
NEW ORLEANS, LA

8.5.24

Sheet Title:
PROPOSED ROOF PLAN/SCHEDULES

MAP JOB NO.	10.245.12	A101
SCALE:	1 FT= 1/4"	
DRAWN:	KJF	
CHECKED BY:	MAP	
DATE:	07.26.24	



1 PROPOSED ELEVATION 3
SCALE: 1/4"=1'-0"

KEYED NOTES

1. EXIST. METAL PARAPET/ROOF COPING TO BE PAINTED. COLOR TO MATCH EXTERIOR WALL FINISH.
2. EXISTING EIFS TO BE PAINTED (AND PATCHED WHERE NECESSARY). COLOR TO MATCH BRICK COLOR.
3. EXISTING BRICK VENEER TO BE PAINTED.
4. SIGNAGE, ATTACHED TO BUILDING. SIGNAGE WILL BE UNDER SEPARATE PERMIT.
5. PRE-ENGINEERED CANOPY
6. STUCCO FINISH
7. CORRUGATED METAL SIDING
8. NEW ALUMINUM STOREFRONT SYSTEM, REF. DOORS / WINDOWS SCHEDULES
9. CONTROL JOINT, TYPICAL
10. NEW METAL PARAPET/ROOF COPING TO BE PAINTED. COLOR TO MATCH EXTERIOR WALL. METAL COPING TO RUN ENTIRE LENGTH OF NEW PARAPET.
11. EXIST. ROOF OVERFLOW DRAIN TO REMAIN.
12. EXIST. ROOF DRAIN TO REMAIN.
13. EXIST. REFLECTOR TO REMAIN.
14. EXIST. REFLECTOR TO BE REMOVED.
15. EXIST. STOREFRONT TO REMAIN.
16. EXISTING MOLDING TO BE PAINTED. COLOR TO MATCH BRICK COLOR.
17. NEW EIFS TO MATCH THICKNESS OF EXIST. MOLDING. COLOR TO MATCH BRICK COLOR.
18. EXISTING BRICK VENEER TO BE PAINTED. COLOR TO MATCH THE NEW STUCCO FINISH.

NOTES

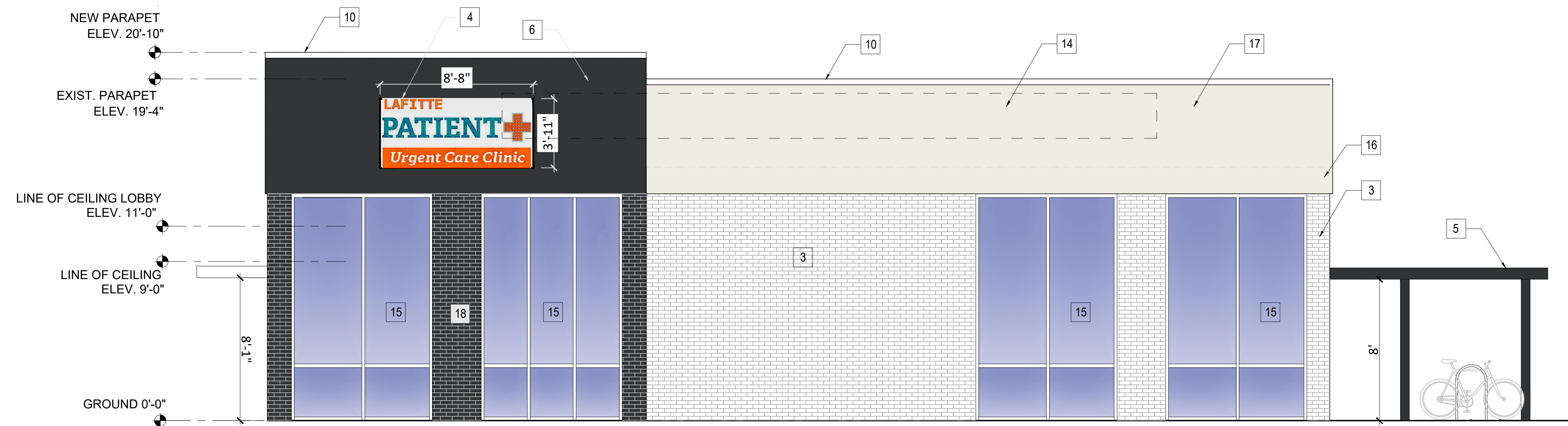
1. REFER TO SHEET A102 FOR COLOR SPECIFICATIONS.



3 EXIST. ELEVATION 2



2 EXIST. ELEVATION 3



4 PROPOSED ELEVATION 2
SCALE: 1/4"=1'-0"

This drawing and design are the property of The MAP Design Group, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied in whole or in part, or used for furnishing information to others, without the prior written consent of The MAP Design Group, LLC. All common law rights are hereby specifically reserved.

NO.	REVISION DATE	DESCRIPTION
1	XX.XX.XX	XXX



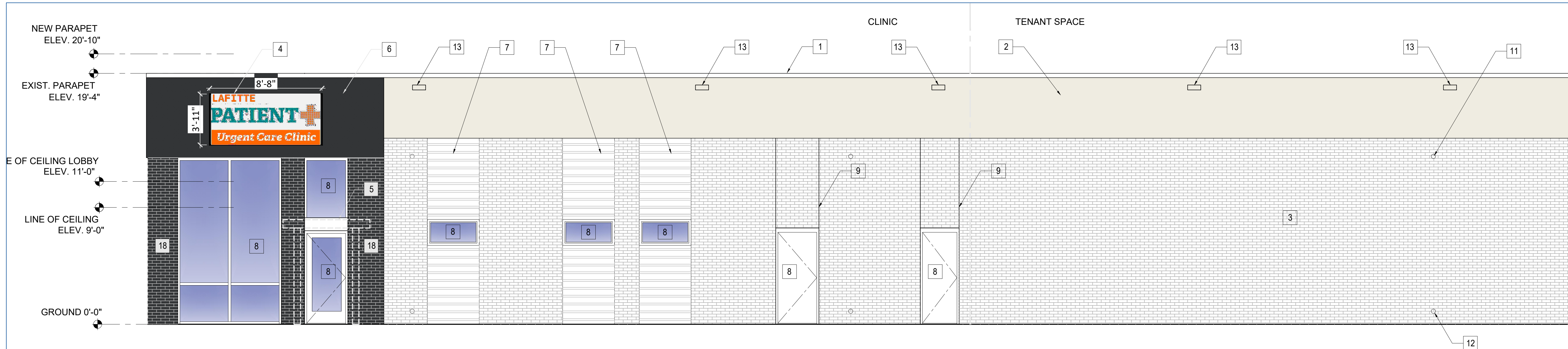
RENOVATION/BUILD OUT FOR
PATIENT PLUS LAFITTE
1320 N. BROAD ST.
NEW ORLEANS, LA

8.5.24

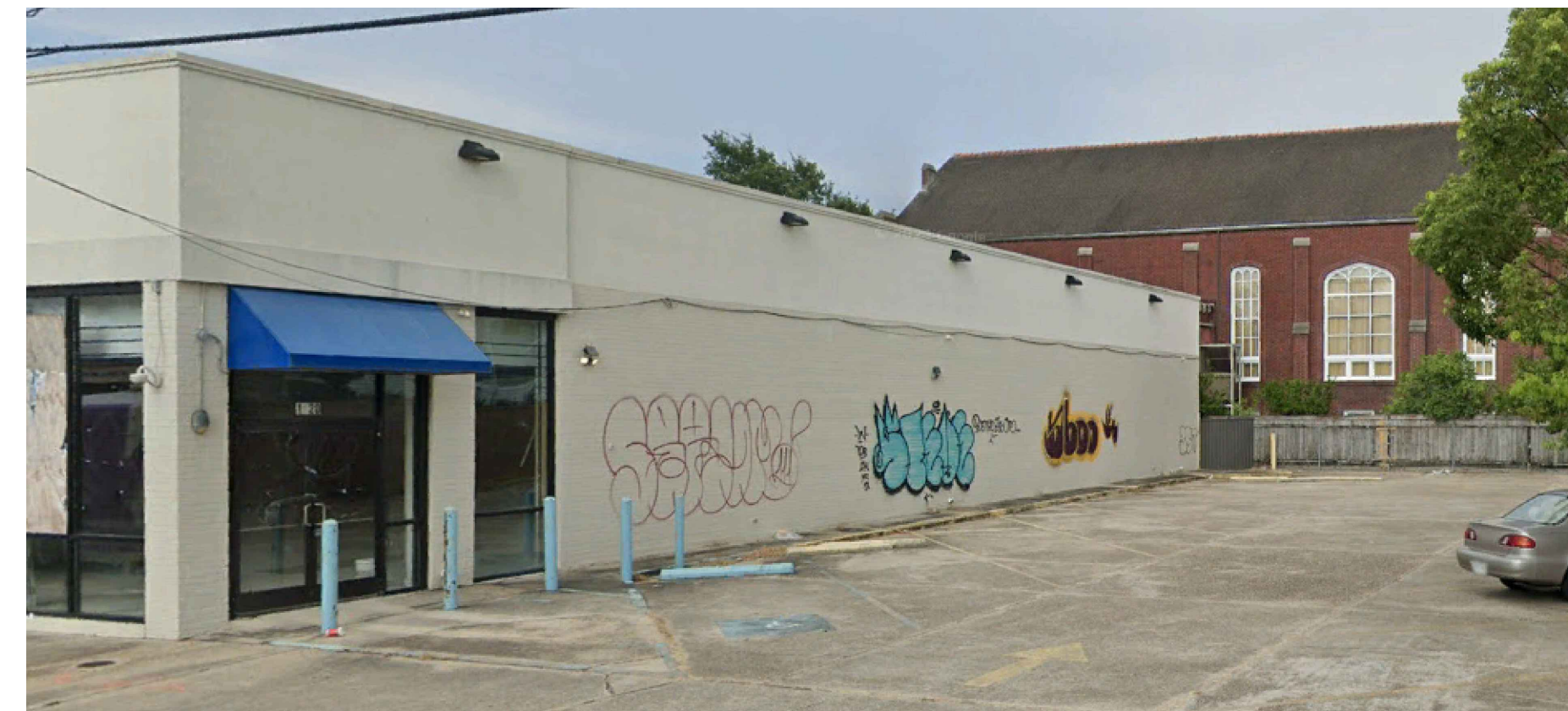
ELEVATIONS

MAP/DRG NO.	10.245.12
SCALE	1 FT= 1/4"
DRAWN	KJF
CHECKED BY	MAP
DATE	07.26.24

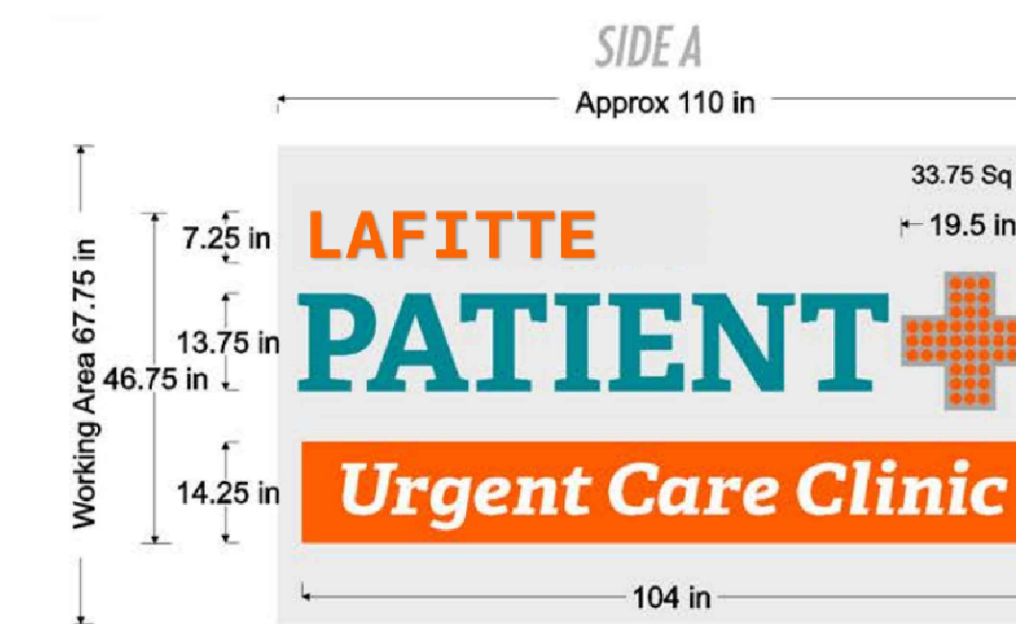
A200



1 PROPOSED ELEVATION 1
SCALE: 1/4"=1'-0"



2 EXIST. ELEVATION 1



4 BUILDING SIGNAGE TYPICAL
NOT TO SCALE



3 PROPOSED ELEVATION 4
SCALE: 1/4"=1'-0"

KEYED NOTES

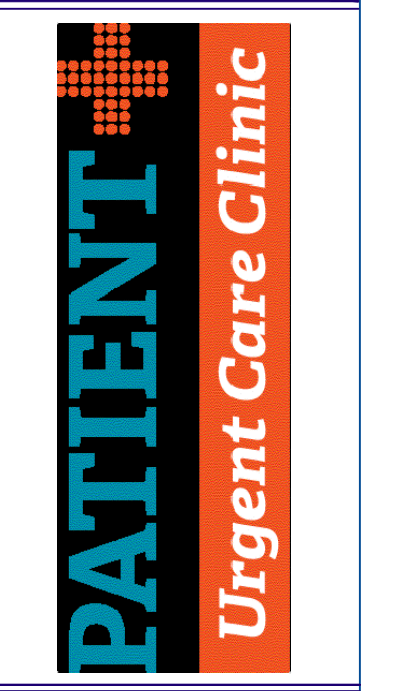
1. EXIST. METAL PARAPET/ROOF COPING TO BE PAINTED. COLOR TO MATCH EXTERIOR WALL FINISH.
2. EXISTING EIFS TO BE PAINTED (AND PATCHED WHERE NECESSARY). COLOR TO MATCH BRICK COLOR.
3. EXISTING BRICK VENEER TO BE PAINTED.
4. SIGNAGE, ATTACHED TO BUILDING. SIGNAGE WILL BE UNDER SEPARATE PERMIT.
5. PRE-ENGINEERED CANOPY
6. STUCCO FINISH
7. CORRUGATED METAL SIDING
8. NEW ALUMINUM STOREFRONT SYSTEM, REF. DOORS / WINDOWS SCHEDULES
9. CONTROL JOINT, TYPICAL
10. NEW METAL PARAPET/ROOF COPING TO BE PAINTED. COLOR TO MATCH EXTERIOR WALL. METAL COPING TO RUN ENTIRE LENGTH OF NEW PARAPET.
11. EXIST. ROOF OVERFLOW DRAIN TO REMAIN.
12. EXIST. ROOF DRAIN TO REMAIN.
13. EXIST. REFLECTOR TO REMAIN.
14. EXIST. REFLECTOR TO BE REMOVED.
15. EXIST. STOREFRONT TO REMAIN.
16. EXISTING MOLDING TO BE PAINTED. COLOR TO MATCH BRICK COLOR.
17. NEW EIFS TO MATCH THICKNESS OF EXIST. MOLDING. COLOR TO MATCH BRICK COLOR.
18. EXISTING BRICK VENEER TO BE PAINTED. COLOR TO MATCH THE NEW STUCCO FINISH.

NOTES

1. REFER TO SHEET A102 FOR COLOR SPECIFICATIONS.

This drawing and design are the property of The MAP Design Group, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied in whole or in part, or used for furnishing information to others, without the prior written consent of The MAP Design Group, LLC. All common law rights are hereby specifically reserved.

NO.	REVISION DATE	DESCRIPTION
1	XX.XX.XX	XXX



PROJECT:
RENOVATION/BUILD OUT FOR PATIENT PLUS LAFITTE
1320 N. BROAD ST.
NEW ORLEANS, LA

Sheet Title:
ELEVATIONS
8.5.24

MAP JOB NO.	10.245.12
SCALE	1 FT = 1/4"
DRAWN	KJF
CHECKED BY	MAP
DATE	07.26.24

A201

