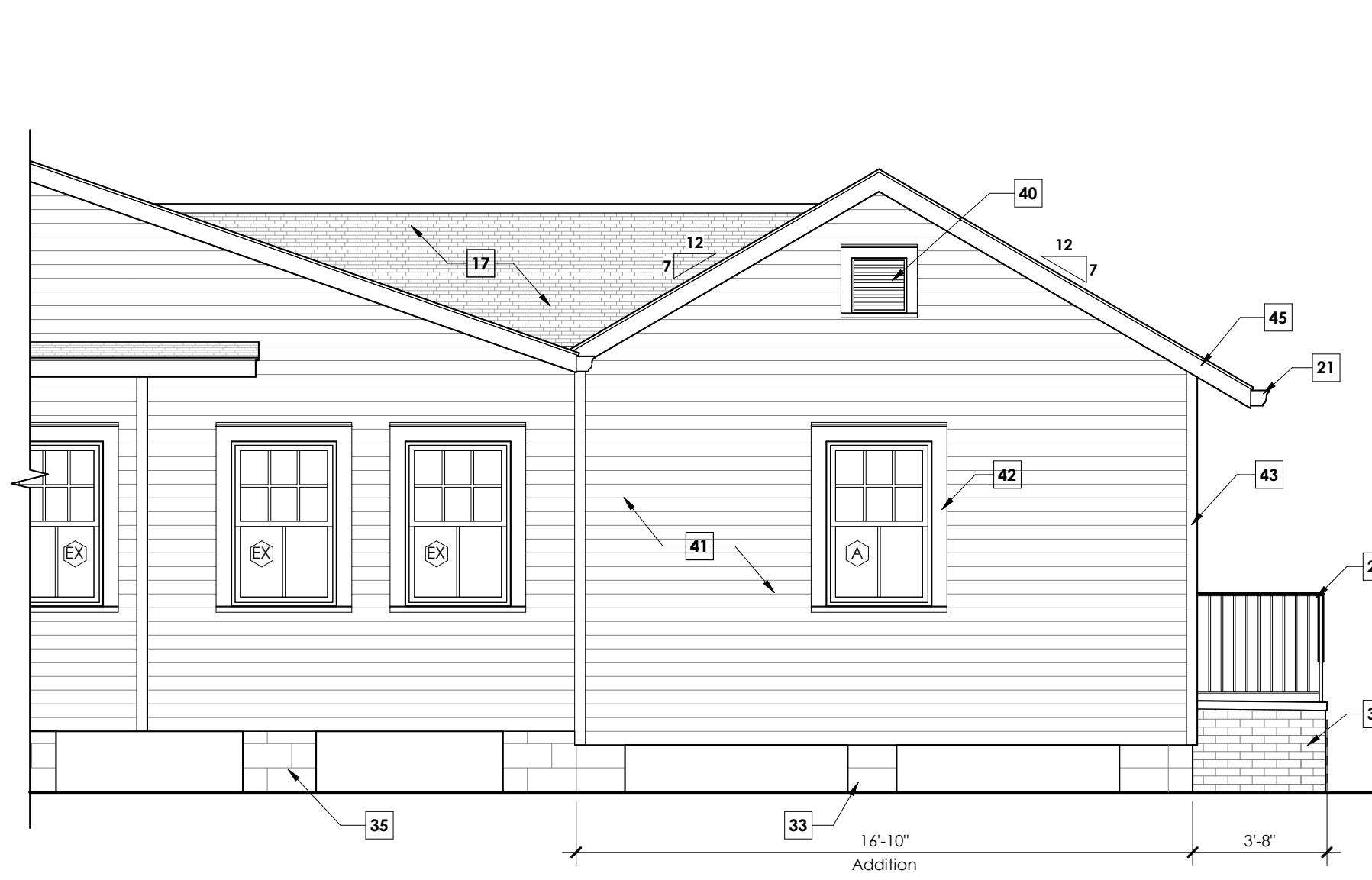
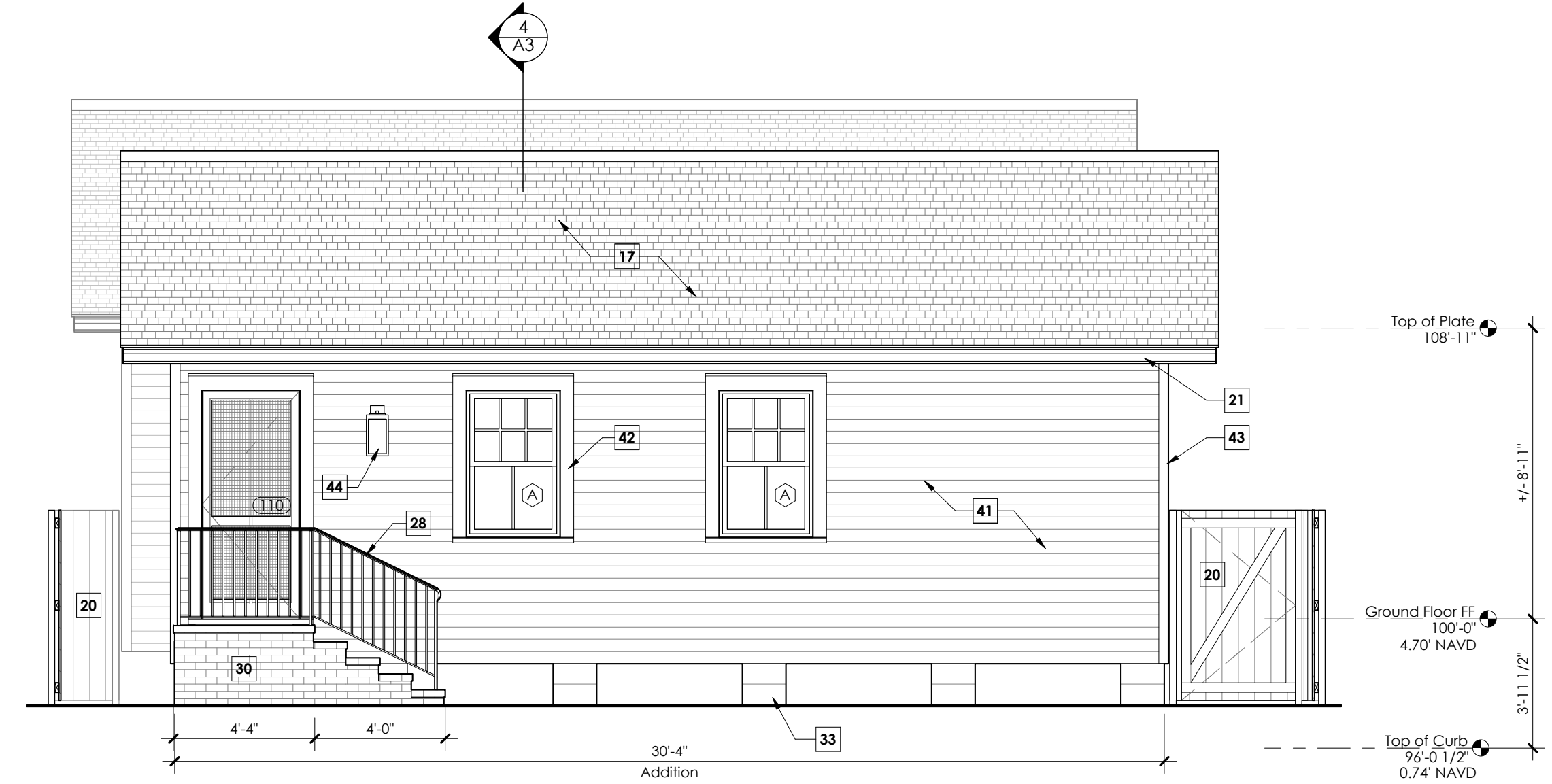


Keynote Legend

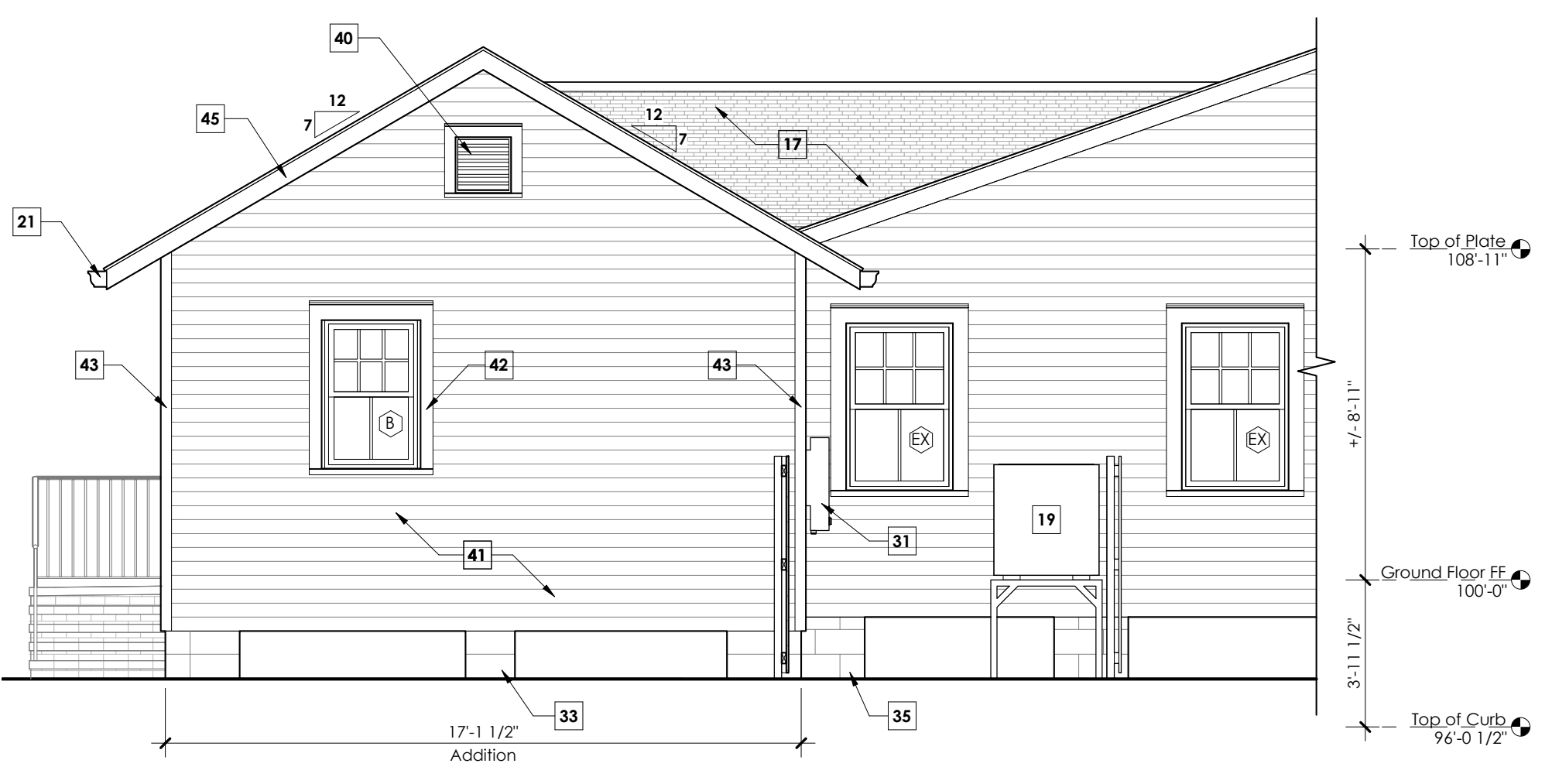
16	Existing roof to remain.
17	New asphalt shingle roofing to match existing on 15# felt over 5/8" CDX plywood decking. Install per roofing manufacturer's instructions. Tooth into existing shingle roofing for seamless appearance.
19	Relocated AC condenser & metal platform.
20	New 6' tall vertical board wood fence. 42" wide gate at driveway entrance.
21	New aluminum K-style gutters & 4" round downspouts to match existing.
22	New heart pine flooring, width & finish to match existing, over 3/4" plywood decking.
26	Existing flooring to remain. Protect during construction.
28	New 36" custom iron railing, 4" max spacing between vertical pickets.
30	Brick treads & risers over CMU base on reinforced concrete foundation.
31	New tankless gas water heater.
33	New CMU block pier. Install #5 rebar w/ 6" hook and grout fill at every cell.
34	Continuous reinforced concrete footing. (3) #5 rebar continuous top & bottom w/ #3 stirrups @ 18" o.c.
35	Existing foundation to remain.
38	Painted wood faux pilasters & box beam to match existing.
40	18" square pressure treated wood louvers at gable ends, primed & painted.
41	New painted smooth Hardie lap siding, exposure to match existing, over Tyvek HomeWrap on 1/2" plywood sheathing.
42	5/4 x 6 Hardie trim door & window surrounds w/ pressure-treated sill & clip cap, primed & painted.
43	5/4 x 4 Hardie trim corner boards, primed & painted.
44	Light fixtures furnished by Owner, installed by Contractor.
45	5/4 HardieTrim fascia, primed & painted.
46	6x6 pressure treated sill on galvanized metal termite shield. Fasten w/ 5/8" galvanized anchor bolt.
47	Simpson twist strap at every joist/rafter.
48	Existing framing to remain.
49	2x10 pressure treated joists @ 16" o.c.
51	2x4 studs @ 16" o.c.
53	2x8 pressure treated ceiling joists @ 16" o.c.
54	2x6 pressure treated rafters @ 16" o.c.
55	Exposed pressure treated rafter tails, primed & painted.
58	Fiberglass batt insulation per energy code at ceiling & exterior walls.
59	2x8 pressure treated ridge board.
60	Continuous galvanized metal drip edge.
61	3/4" plywood decking throughout new attic space.



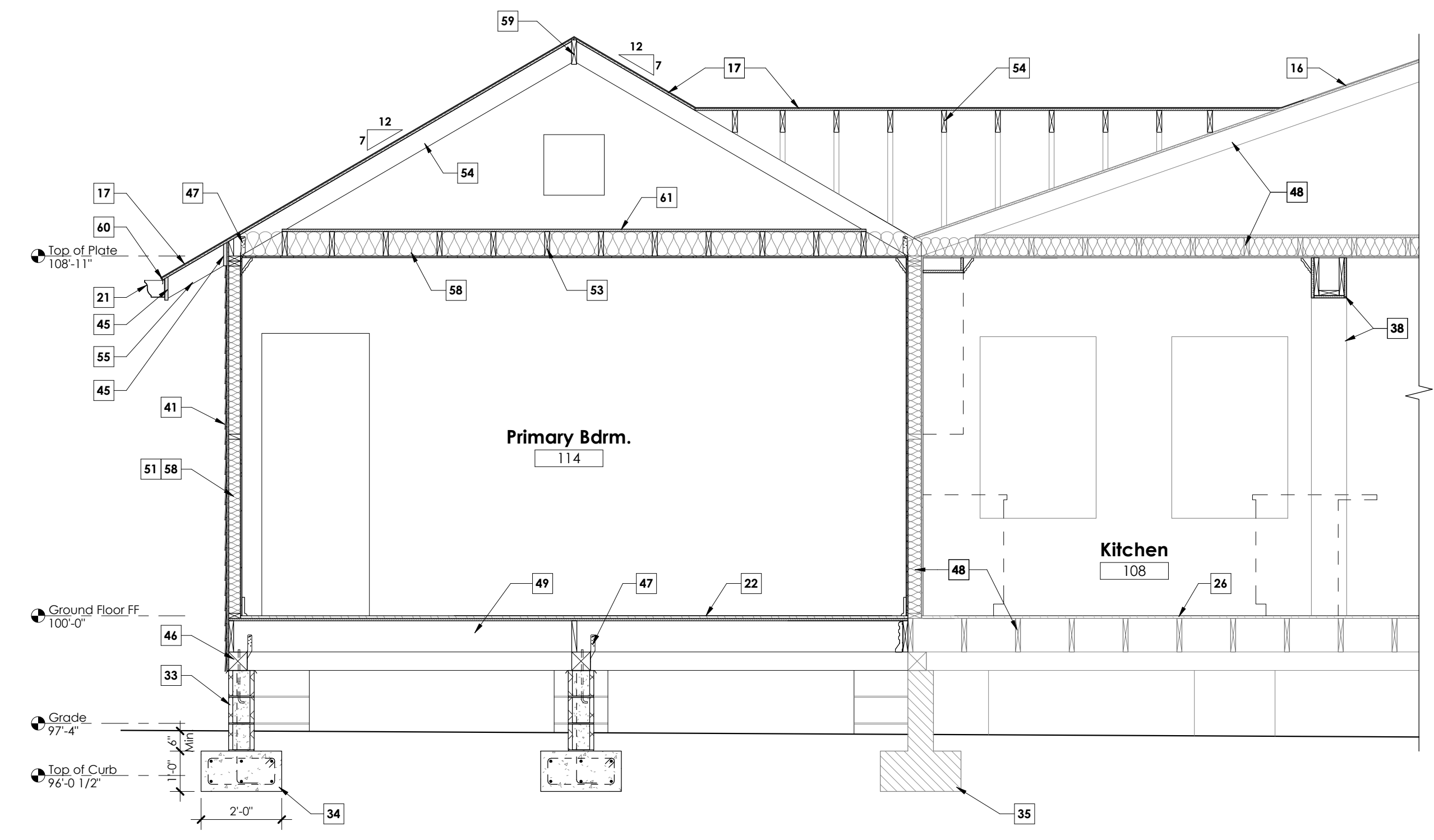
1 Right Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"



3 Left Elevation
1/4" = 1'-0"



4 Section at Addition
3/8" = 1'-0"

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Issue Date 06.07.2024
Design Phase CD

Revisions No.	Date

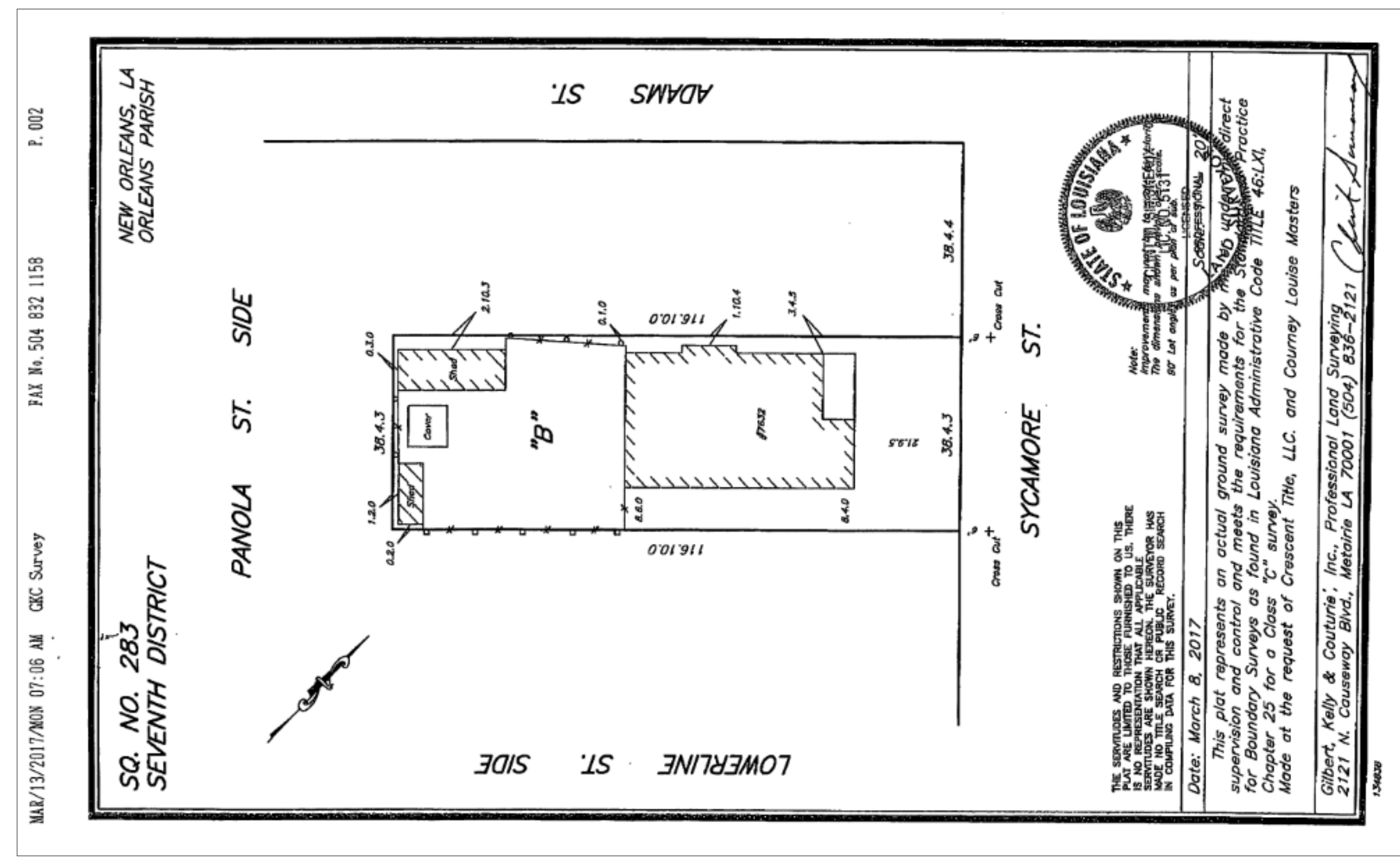
Van Horn Design, APC
C. James Van Horn, Architect
5207 Tchoupitoulas St.
New Orleans, LA 70115
www.vanhorn-design.com | 504.616.6200

Sheet Title
Exterior Elevations & Sections

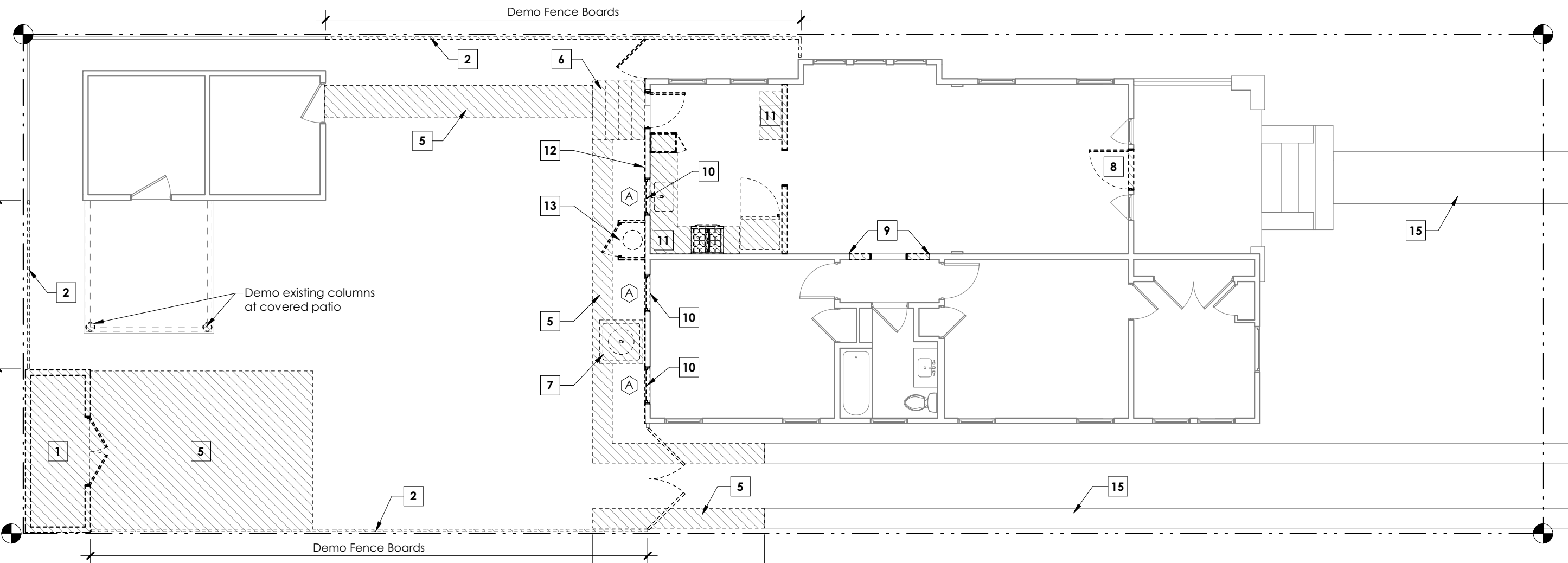
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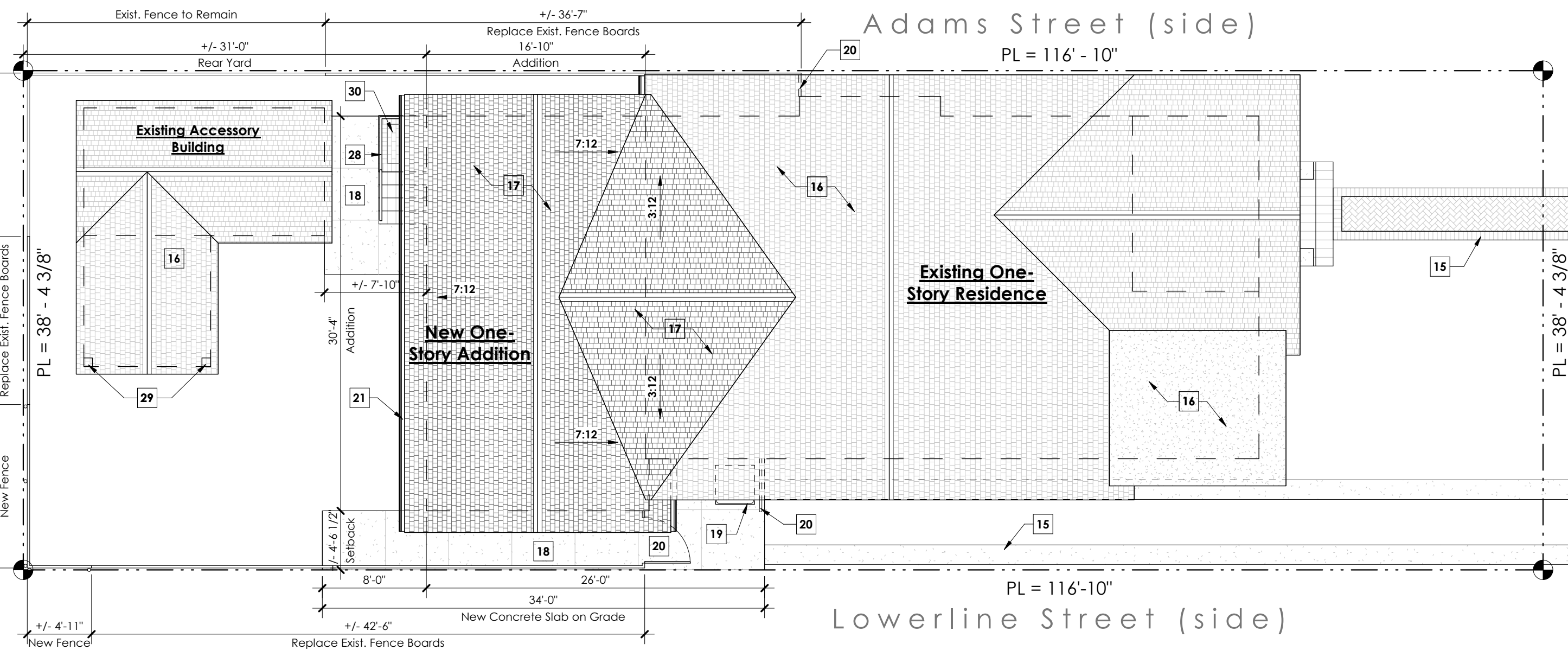
A3



3 Site Survey
 1" = 20'-0"



2 Demo Plan
 1/8" = 1'-0"



1 Proposed Site Plan
 1/8" = 1'-0"

Renovations & Additions to the Masters Residence

7632 Sycamore St. | New Orleans, LA

Construction Documents For Permit

06.07.2024

Window Schedule

Mark	Nominal Width	Nominal Ht.	Type
A	2'-10 1/2"	4'-6"	Relocated existing wood double hung window. Repair & reglaze as required. Paint.
B	2'-6"	4'-0"	Custom milled wood double hung window to match existing.
EX	<varies>	<varies>	Existing window to remain.

Door Schedule

Mark	Width	Height	Type
101	3'-0"	7'-0"	New Spanish cedar half-glass replacement front door with 2 raised panels, primed & painted.
105	6'-0"	7'-0"	Enlarge existing caset opening.
108	2'-8"	7'-0"	Casert Opening
110	3'-0"	7'-0"	Aluminum-clad wood narrow-stile patio door w/ 2x3 divided lites. Marvin Ultimate or equal. Install exterior aluminum screen door.
111	2'-4"	7'-0"	Solid wood pocket door w/ 5 raised panels to match existing, primed & painted.
112	2'-8"	7'-0"	Solid wood pocket door w/ 5 raised panels to match existing, primed & painted.
113	2'-0"	7'-0"	Solid wood door w/ 5 raised panels to match existing, primed & painted.
114	2'-8"	7'-0"	Solid wood door w/ 5 raised panels to match existing, primed & painted.
115	2'-8"	7'-0"	Solid wood French doors w/ 2 raised panels each leaf, primed & painted.
117	2'-8"	7'-0"	Solid wood French doors w/ 2 raised panels each leaf, primed & painted.

Finish Schedule

Number	Name	Area	Floor	Walls	Ceiling	Base	Crown	Ctg. Height
107	Bedroom	173 SF	ETR	ETR & 4	ETR	ETR	6	+/- 8'-11"
108	Kitchen	137 SF	ETR	ETR & 4 & 8	ETR & 4	ETR & 5	6	+/- 8'-11"
110	Hall	73 SF	1	4	4	5	6	+/- 8'-11"
111	Pantry	19 SF	1	4	4	5	None	+/- 8'-11"
112	Laundry	9 SF	1	4	4	5	None	+/- 8'-11"
113	Storage	6 SF	1	4	4	5	None	+/- 8'-11"
114	Primary Bdrm.	208 SF	1	4	4	5	6	+/- 8'-11"
117	Closet	66 SF	3	4	4	5	6	+/- 8'-11"
118	Shower	17 SF	2	2	2	None	8'-0"	
119	Primary Bath	58 SF	2	2, 4 & 7	4	5	6	+/- 8'-11"

Finish Types

General Finish Notes

- "ETR" noted on Finish Schedule denotes existing finish to remain. Protect during construction.
- Coordinate all finish selections with Owner prior to ordering & installation. Install stone threshold at all transitions to tile flooring. Install 3CM quartz sill at all shower curbs.

- Finish Types**
- New heart pine hardwood flooring, width & finish to match existing.
 - Stone tile as selected by Owner over cement board substrate. Install fluid-applied waterproofing membrane at all wet locations. Contractor to allow for \$15/SF for material only.
 - Carpeting and pad as selected by Owner. Contractor to allow for \$40/SF for material and installation.
 - 1/2" gypsum board, painted. Install moisture resistant gypsum board at bathrooms.
 - 1x6 wood base w/ 3/4" shoe mould, painted.
 - Nominal 4" MDF crown as selected by Architect, painted.
 - Wallpaper furnished & installed by Owner.
 - 3cm quartz backslash on cement board substrate.

Index of Drawings

Architectural	Description
A1	Site & Demo Plans, Survey, Schedules, Notes
A2	Floor & Ceiling/Electrical Plans
A3	Exterior Elevations & Sections
A4	Interior Elevations

Project Information

Municipal Address: 7632 Sycamore Street
 Square No: 283
 Lot No: B
 Lot Size: Approx. 38' x 117'
 Applicable Codes/Jurisdictions: 2021 International Residential Code
 New Orleans HDLC (partial control)
 Zoning District: HU-RD2

Area Calculations

Building Square Footages	Conditioned		Unconditioned		Total
	Exist to Remain	New	Exist to Remain	New	
Ground Floor	1128	512	131	-	1771
Total Under Roof	1640		131		1771
Accessory Buildings	-	-	281	62	281

General Construction Notes

- All work shall be done in accordance with the International Residential Code and state & local codes and agencies having jurisdiction, including the Historic District Landmarks Commission. It shall be the responsibility of the General Contractor and respective Subcontractors to build to satisfy these codes and call for all necessary inspections.
- Contractor shall be responsible for the selection of materials and methods used to carry out the Work of this project.
- The Architect is not responsible for or in control of construction means, methods, techniques, sequences, or procedures, or for the safety precautions and programs in connection with the Work of this project.
- Provide blocking in wall per manufacturer's recommendations for all wall mounted equipment and casework. Follow all recommended installation procedures of the manufacturer for their specific products.
- Where design intent is for new building elements to match existing (finishes, doors, trim, etc.), Contractor to verify existing conditions to ensure that new elements match.
- All wall dimensions are to face of stud unless noted otherwise.
- Contractor shall notify the Architect of any discrepancy between existing conditions in the field and those as drawn before performing the work. If any discrepancy exists between drawings, the largest scale drawing shall govern the design. Contractor shall be responsible for using only contract documents of the most current date of record.
- The Work of this project, except as otherwise specified, shall include all labor, materials, facilities, and equipment necessary to produce the required result, all transportation and services, and all materials incorporated, or intended to be incorporated in such result. The Work shall include all fees, taxes, permit costs, insurance premiums, and costs for overhead, superintendence, temporary facilities, and other direct and indirect costs and expenses incidental to the performance of the Work.
- Periodic site visits and observations by the Architect shall not be considered supervision or inspection of the actual construction.
- Electrical, mechanical, and plumbing fixtures & equipment shown in drawings are intended only to illustrate general layout as they relate to the architectural design and shall not be considered all-inclusive. All rough-ins to be installed by a licensed Subcontractor in accordance with applicable codes. Contractor shall be responsible for verifying requirements for Owner-furnished equipment, fixtures & appliances.

General Pricing Notes

Exclusions
 The following items shall be furnished by the Owner and installed by the General Contractor:
 a. Appliances
 b. Plumbing fixtures
 c. Decorative light fixtures
 d. Kitchen & Bathroom Cabinetry

Softscaping, planning & irrigation system by others. All hardscaping by General Contractor.

Openings
 All windows within project scope shall be relocated & refurbished existing wood windows, or custom-milled wood windows to match existing. See Window Schedule.

All interior doors shall be solid core, primed & painted. See Door Schedule.

Millwork
 All cabinetry & shelving outside of Kitchen & Bathroom shall be custom-built wood by General Contractor, including all closet shelving. All Kitchen & Bathroom cabinetry to be furnished by Owner and installed by Contractor.

Finishes & Trim
 All countertops shall be 3cm quartz as selected by Owner. Contractor to provide an allowance of \$75/SF for countertop material.

Contractor shall provide an allowance of \$15/SF for stone tile at Bathroom.

All new windows & doors to have decorative interior wood casings to match existing.

Wallpaper at bathroom to be furnished & installed by Owner.

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 Issue Date 06.07.2024
 Design Phase CD

Revisions
 No. Date

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Sheet Title
Site & Demo Plans, Survey, Schedules, Notes

Stamp
 CHARLES J. VAN HORN, JR.
 PROFESSIONAL LAND SURVEYOR
 STATE OF LOUISIANA
 No. 10000
 Exp. 12/31/2025

Sheet No.
A1

Project Name

Renovations & Additions to the Masters Residence
 7632 Sycamore St. | New Orleans, LA

Architectural Legend

- A3.0 Exterior Elevation Tag
- A4.0 Building Section Tag
- A4.1 Wall Section Tag
- A5.0 Detail Tag
- A5.1 Plan / Detail Callout
- A6.0 Interior Elevation Tag
- Keynote - See Legend

Room Name & Number

Kitchen 101

Door Tag
 See Schedules

Ceiling Tag
 Height above finished floor

Window Tag
 See Schedule

New 2x Framing @ 16" o.c.

Existing to be Demolished

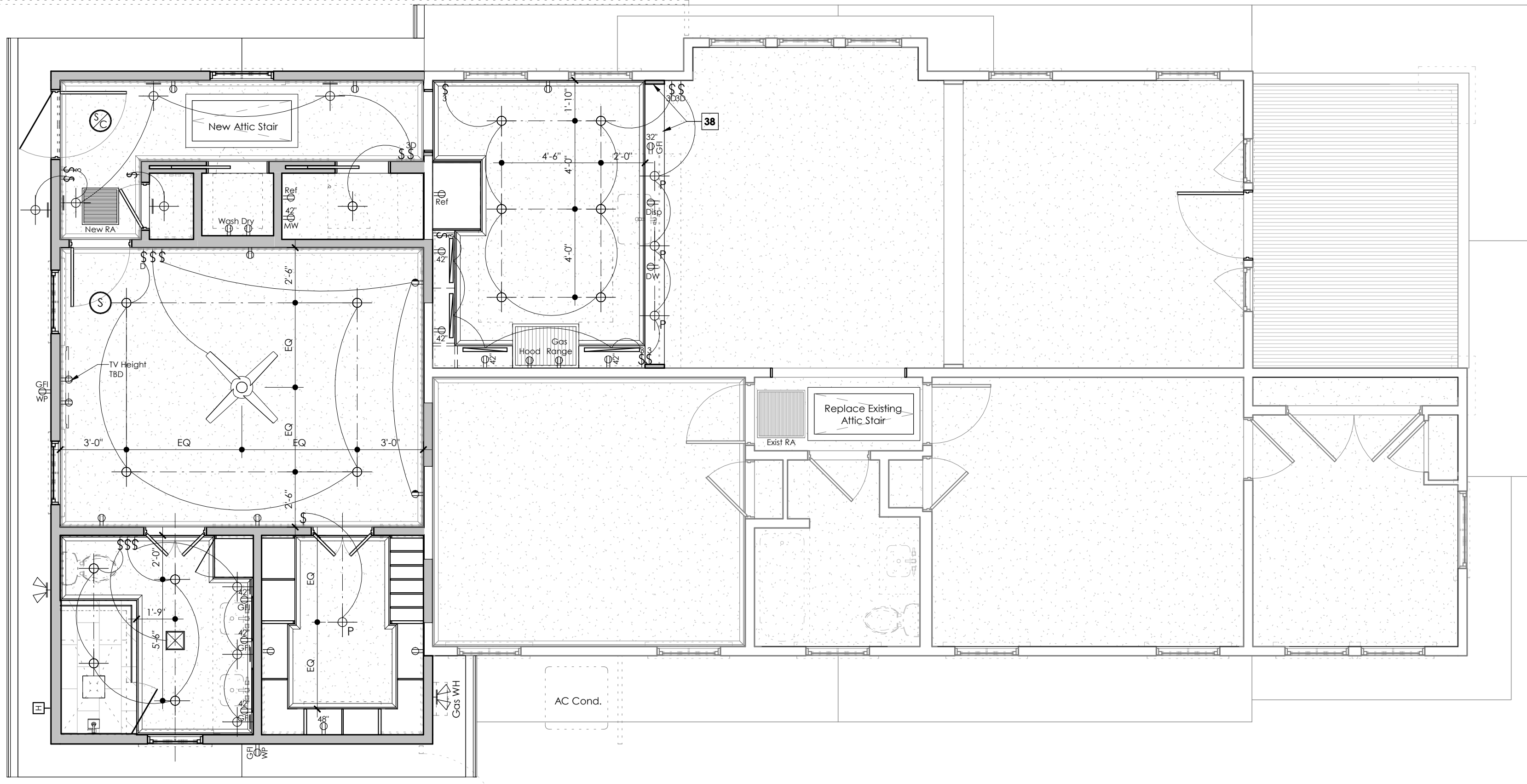
Keynote Legend

1	Demolish entirety of existing storage shed.
2	Demolish existing wood fence boards. Posts to remain.
5	Demolish existing concrete paving.
6	Demolish existing brick stair.
7	Existing AC condenser & metal platform to be relocated.
8	Existing front door to be replaced.
9	Partially demolish wall for enlarged opening.
10	Salvage windows for reuse.
11	Demolish all cabinetry, fixtures & appliances in existing kitchen.
12	Remove wood lap siding & sheathing at existing rear wall.
13	Demolish existing water heater & enclosure.
15	Existing paving to remain.
16	Existing roof to remain.
17	New asphalt shingle roofing to match existing on 15# felt over 5/8" CDX plywood decking. Install per roofing manufacturer's instructions. Both into existing shingle roofing for seamless appearance.
18	New concrete slab on grade.
19	Relocated AC condenser & metal platform.
20	New 6" tall vertical board wood fence. 42" wide gate at driveway entrance.
21	New aluminum K-style gutters & 4" round downspouts to match existing.
28	New 36" custom iron rolling. 4" max spacing between vertical pickets.
29	New 8" square fiberglass or pressure-treated columns with base & cap trim, primed & painted.
30	Brick treads & risers over CMU base on reinforced concrete foundation.

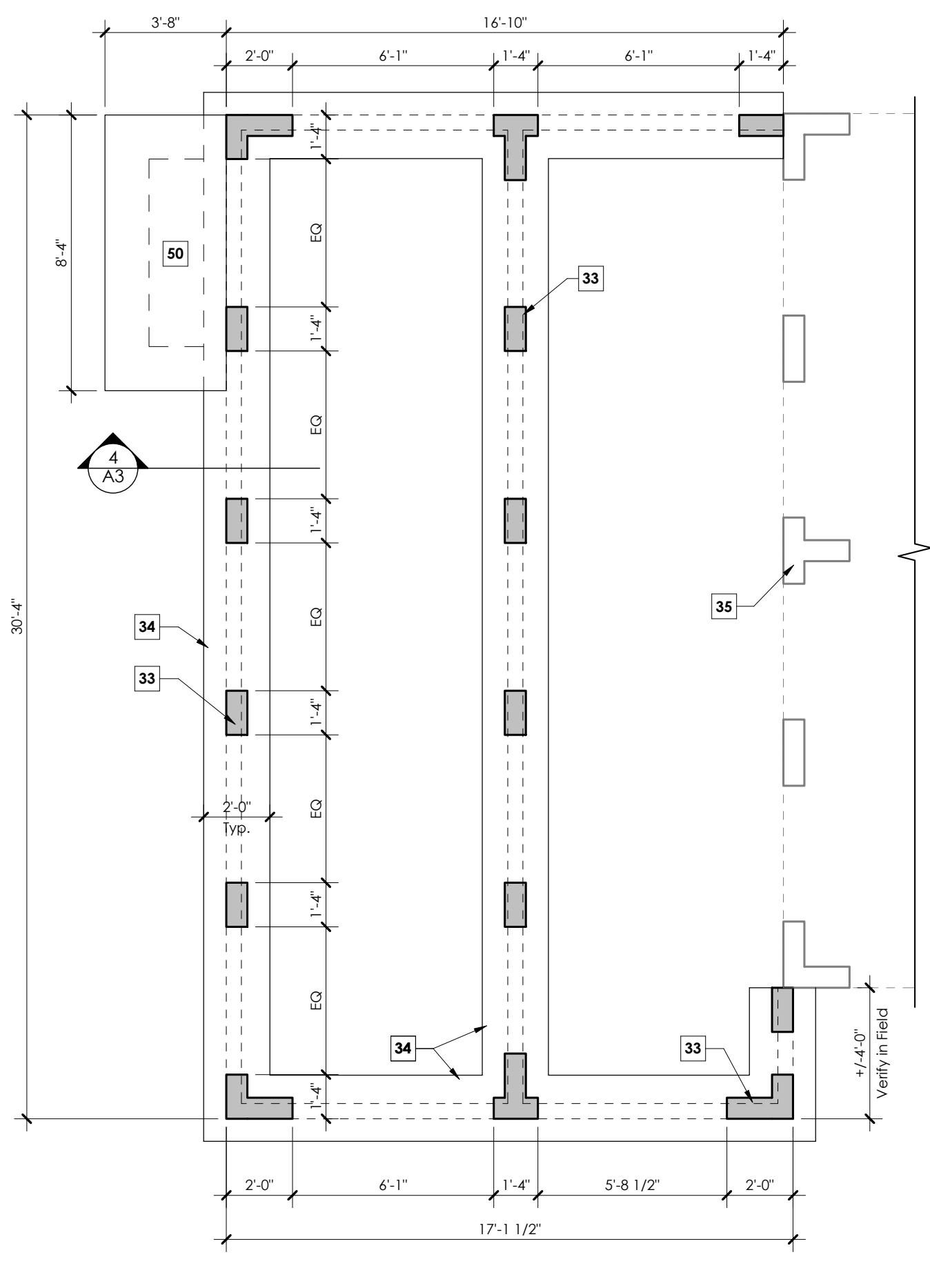
Electrical Legend	
Electrical, mechanical, and plumbing fixtures & equipment shown in these drawings are intended only to illustrate general layout as they relate to the architectural design and shall not be considered all-inclusive. All rough-ins to be installed by a licensed Subcontractor in accordance with applicable codes. Contractor shall be responsible for verifying requirements for Owner-furnished equipment, fixtures & appliances. All light fixtures, plumbing fixtures & appliances shall be furnished by Owner and installed by Contractor unless noted otherwise.	
	UL Listed Hardwired Smoke Detector w/ Battery Backup
	UL Listed Hardwired Smoke & Carbon Monoxide Detector w/ Battery Backup
	Ceiling Fan - Denotes Light Kit When Present
	Recessed Ceiling Fixture
	Existing Ceiling Fixture to be Replaced
	Directional Recessed Ceiling Fixture
	Pendant Mounted Ceiling Fixture
	Flush Mounted Ceiling Fixture
	Wall Mounted Light Fixture
	Under Cabinet Light Fixture
	Outdoor Security Lighting
	Bathroom Vent Duct to Exterior
	Duplex Outlet - 15" Above Floor UNO
	Duplex Outlet - One Leg Switched
	Duplex Outlet - Ground Fault Interrupted
	Duplex Outlet - Outdoor Weatherproof
	Wall Switch
	Wall Switch - Dimmer
	Wall Switch - 3 Way
	Cable/Sat TV Outlet
	Data/Internet Outlet
	Thermostat
	Wall Mounted Junction Box
	Hose Bibb

Project Name
Renovations & Additions to the Masters Residence
 7632 Sycamore St. | New Orleans, LA

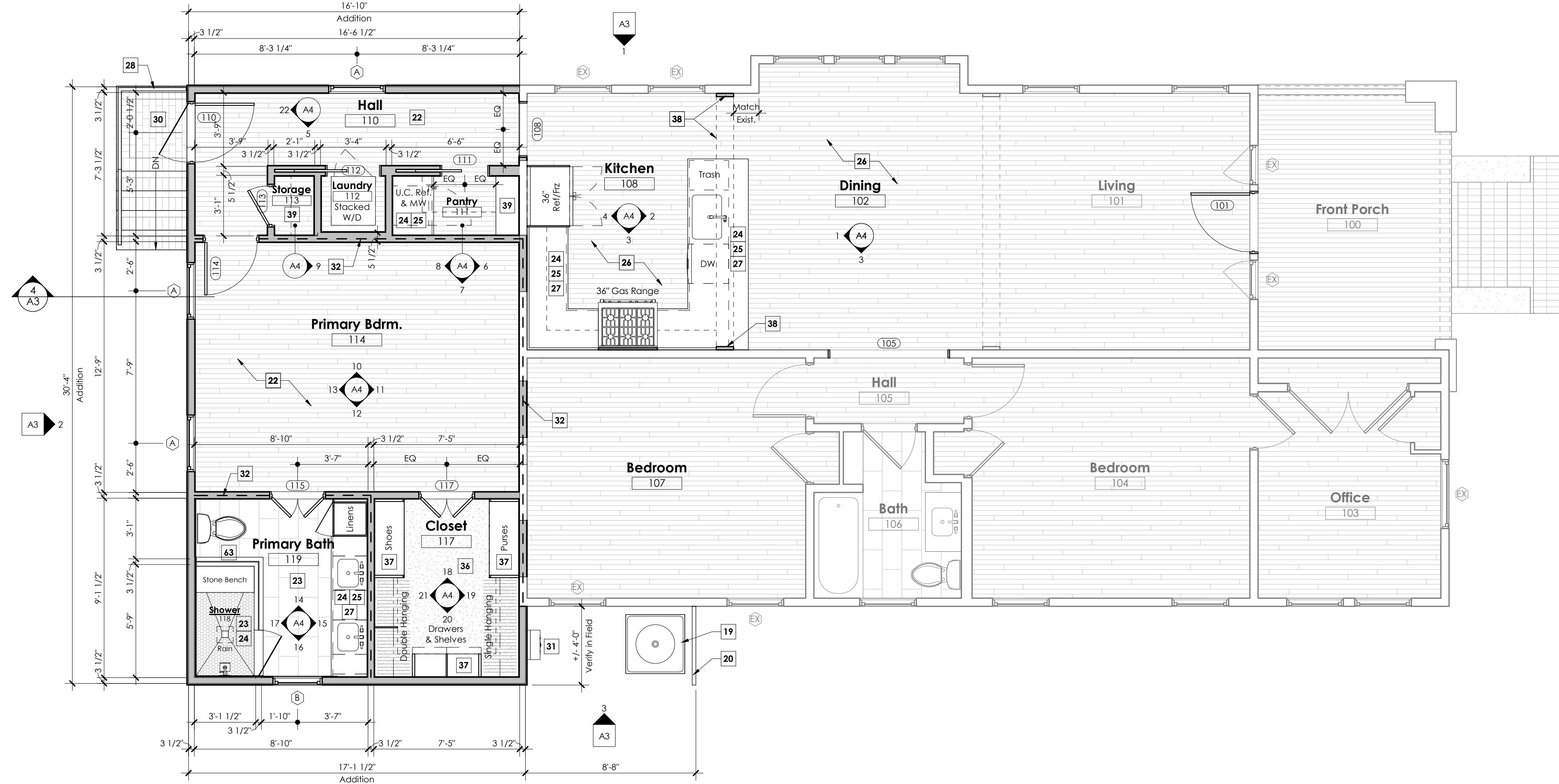
Keystone Legend	
19	Relocated AC condenser & metal platform.
20	New 6' tall vertical board wood fence, 42" wide gate at driveway entrance.
22	New heart pine flooring, width & finish to match existing, over 3/4" plywood decking.
23	Stone tile as selected by Owner over cement board substrate. Contractor allowance for \$15/SF for material only.
24	Appliances, plumbing fixtures & bathroom hardware furnished by Owner, installed by Contractor.
25	3CM quartz countertop as selected by Owner with splashes as indicated on Elevations. Contractor to allow \$75/SF for material only.
26	Existing flooring to remain. Protect during construction.
27	Custom wood cabinetry furnished & installed by Owner.
28	New 36" custom iron railing, 4" max spacing between vertical pickets.
30	Brick treads & risers over CMU base on reinforced concrete foundation.
31	New tankless gas water heater.
32	Dashed lines indicate acoustical batt insulation inside wall cavity.
33	New CMU block pier, install #5 rebar w/ 6" hook and grout fill of every cell.
34	Continuous reinforced concrete footing, (3) #5 rebar continuous top & bottom w/ #3 stirrups @ 18" o.c.
35	Existing foundation to remain.
36	Carpeting & pad as selected by Owner. Contractor to allow for \$40/SF for material & installation.
37	Custom plywood closet shelving & drawers w/ hardwood edges & fronts, painted. Coordinate final layout with Owner & Architect.
38	Painted wood faux pilasters & box beam to match existing.
39	3/4" plywood shelving with hardwood edges, painted. Install metal hanging rods where indicated on Elevations.
50	4" reinforced concrete slab on grade below new steps with 18"D x 16"W thickened edges.
63	3/8" frameless tempered glass shower enclosure w/ hardware as selected by Owner.



3 Ground Floor Ceiling/Electrical Plan
 1/4" = 1'-0"



2 Foundation Plan
 1/4" = 1'-0"



1 Proposed Floor Plan
 1/4" = 1'-0"

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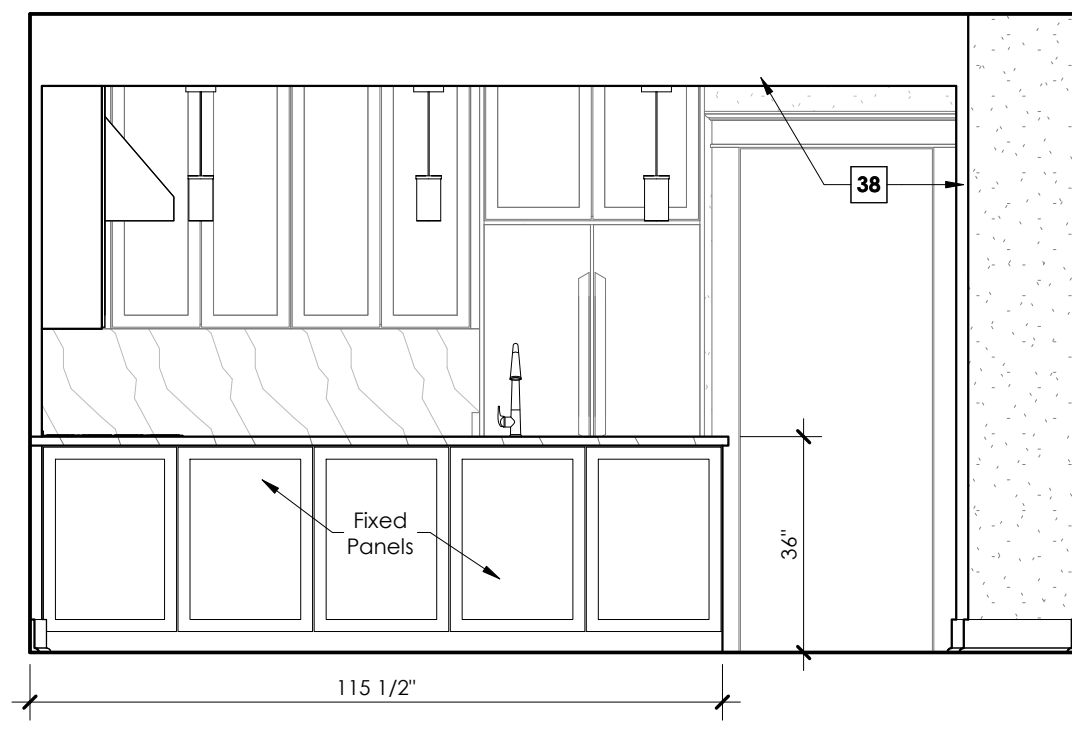
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Floor & Ceiling/Electrical Plans

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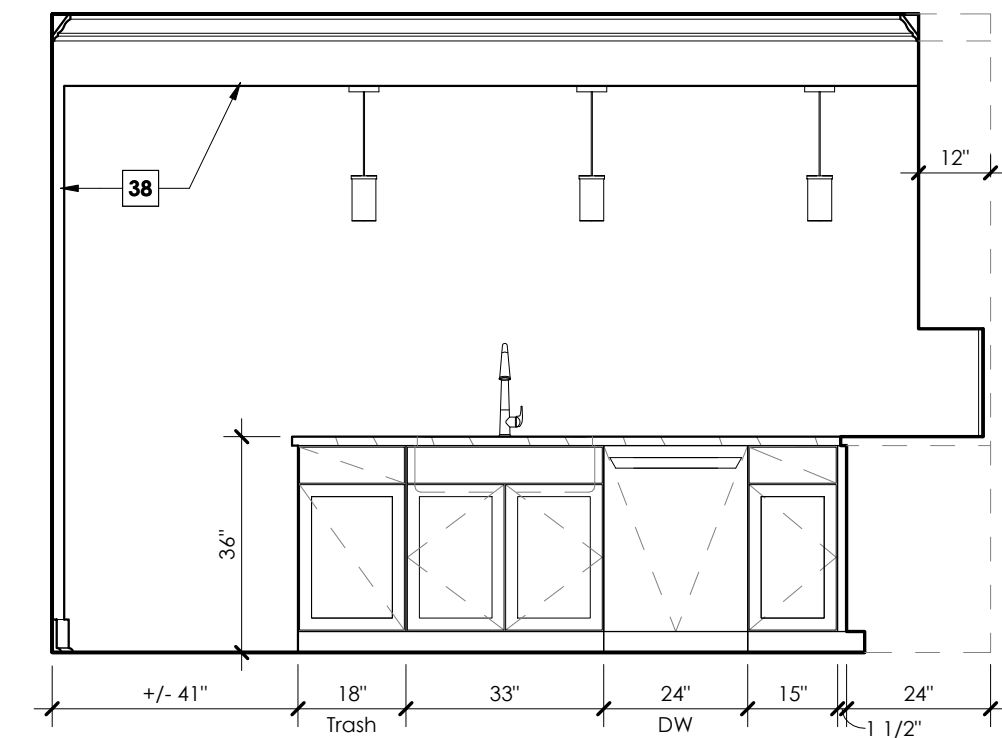
Sheet No.
A2

Keystone Legend

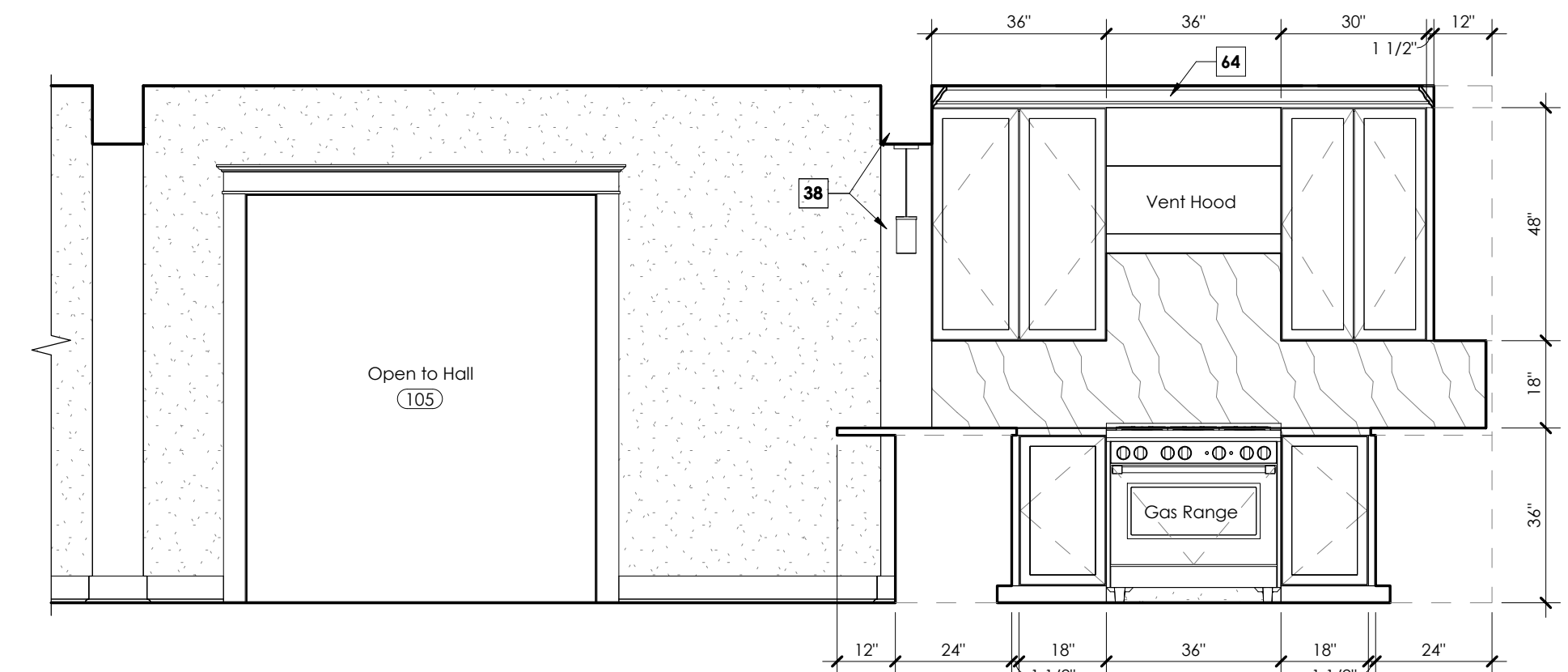
- 23 Stone tile as selected by Owner over cement board substrate. Contractor allowance for \$15/SF for material only.
- 37 Custom plywood closet shelving & drawers w/ hardwood edges & fronts, painted. Coordinate final layout with Owner & Architect.
- 38 Painted wood faux pilasters & box beam to match existing.
- 39 3/4" plywood shelving with hardwood edges, painted. Install metal hanging rods where indicated on Elevations.
- 44 Light fixtures furnished by Owner, installed by Contractor.
- 43 3/8" frameless tempered glass shower enclosure w/ hardware as selected by Owner.
- 64 Base/crown as scheduled.



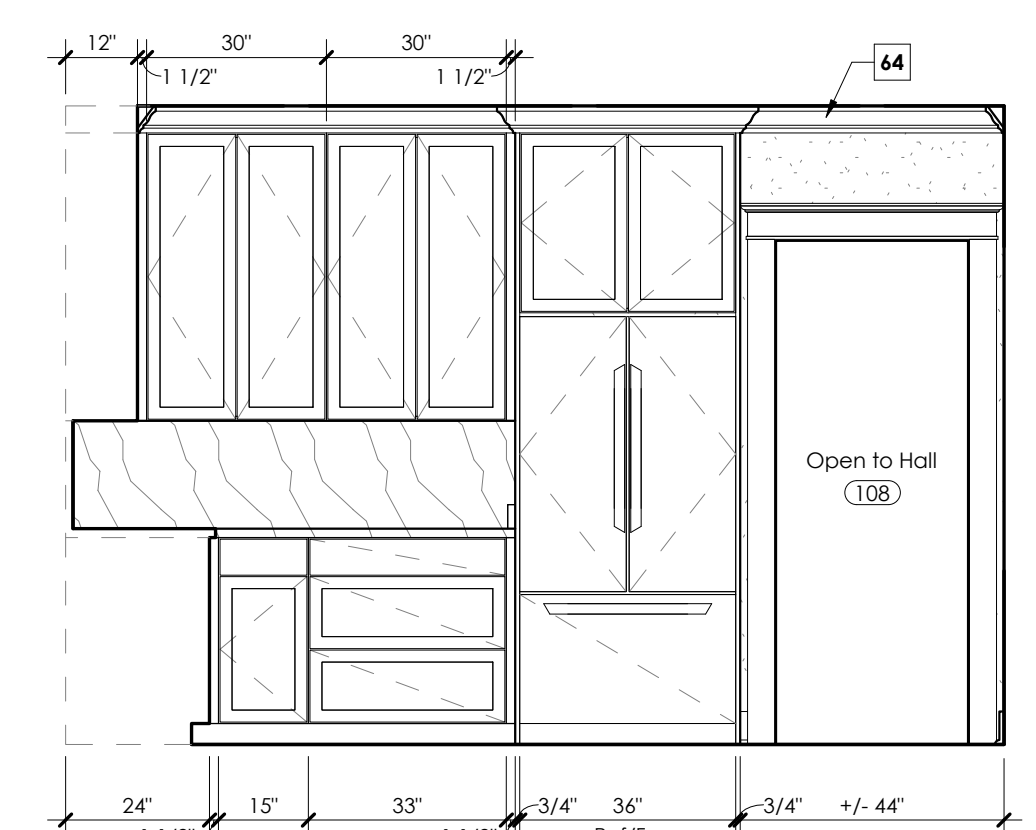
1 Dining - West
 3/8" = 1'-0"



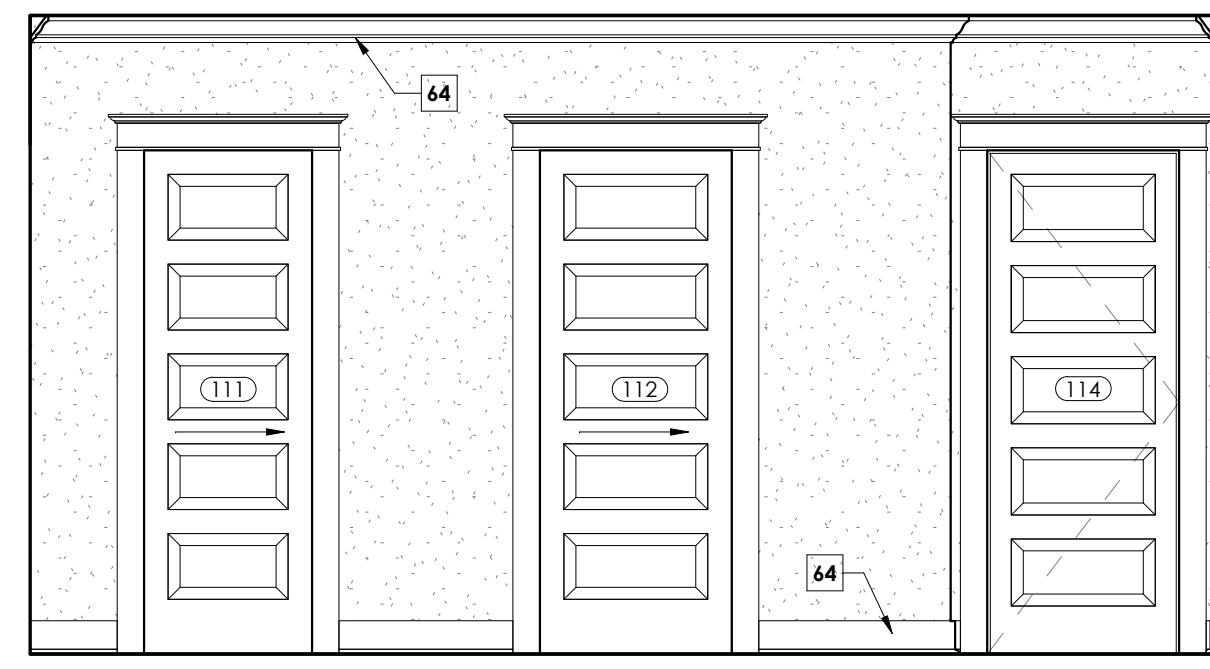
2 Kitchen - East
 3/8" = 1'-0"



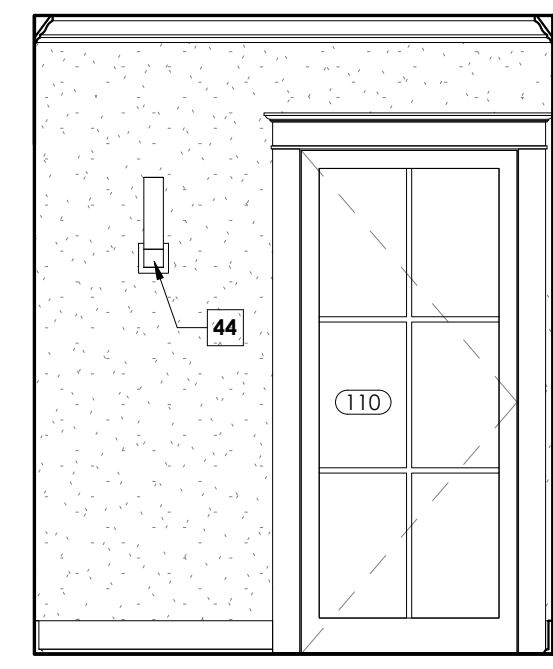
3 Dining / Kitchen - South
 3/8" = 1'-0"



4 Kitchen - West
 3/8" = 1'-0"



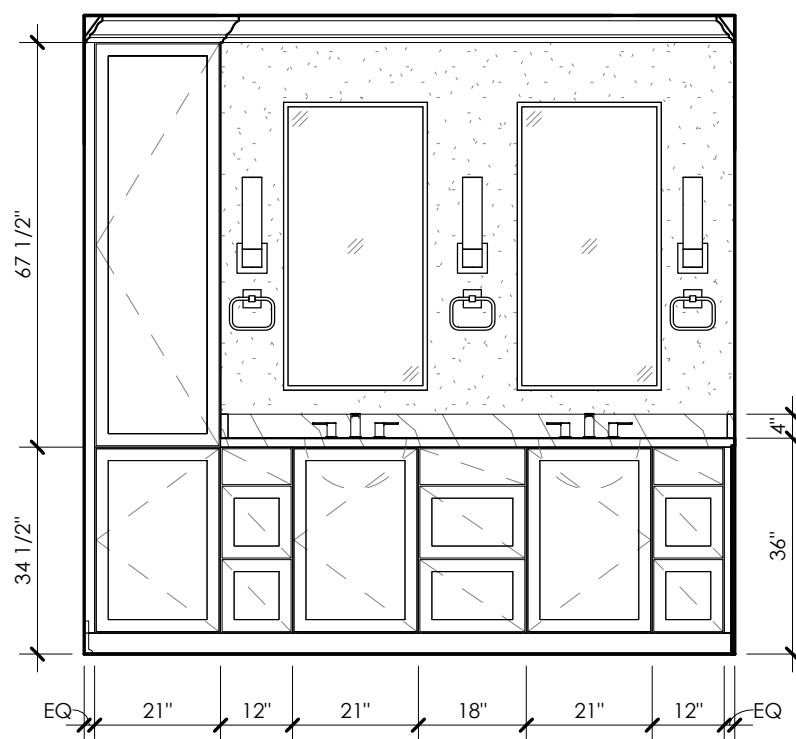
5 Hall - South
 3/8" = 1'-0"



22 Hall - West
 3/8" = 1'-0"



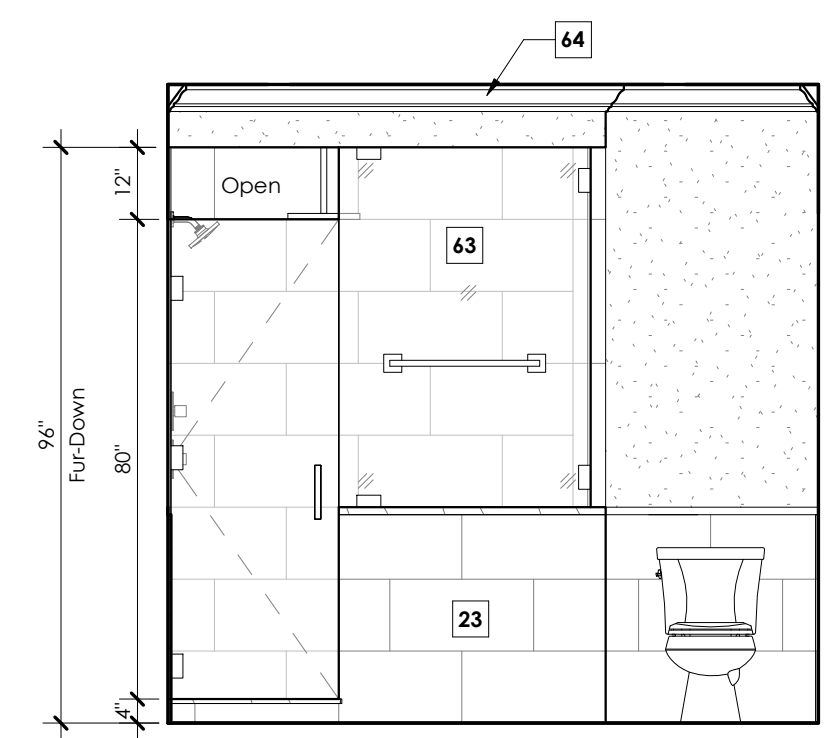
14 Primary Bath - North
 3/8" = 1'-0"



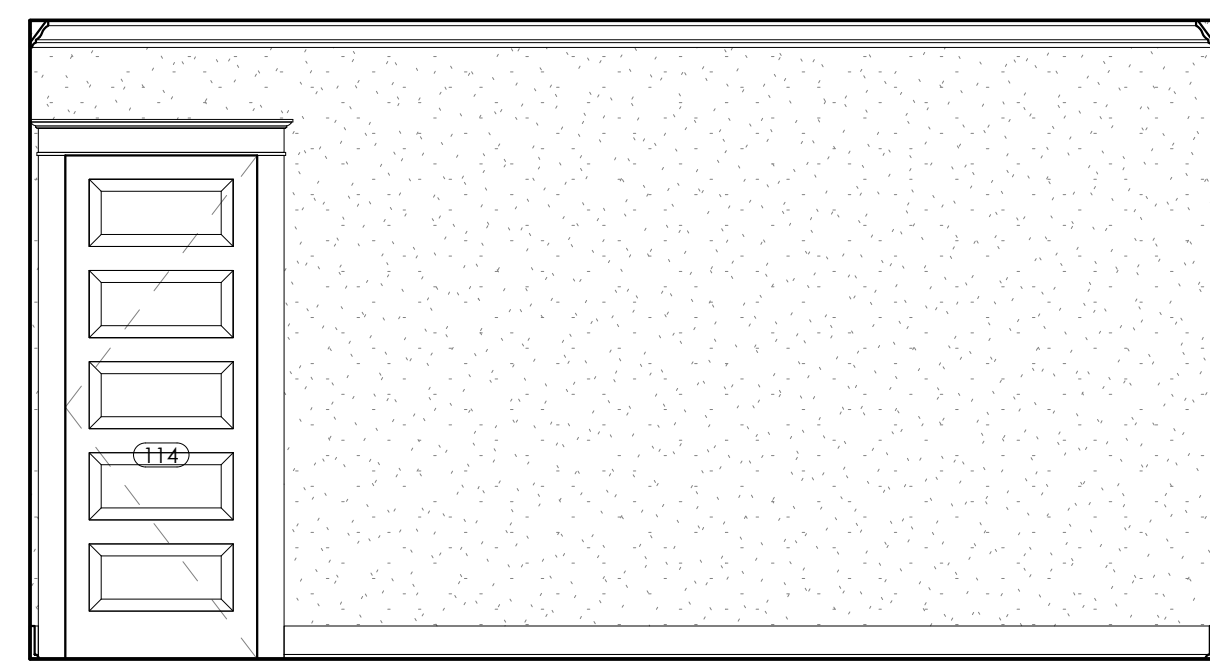
15 Primary Bath - East
 3/8" = 1'-0"



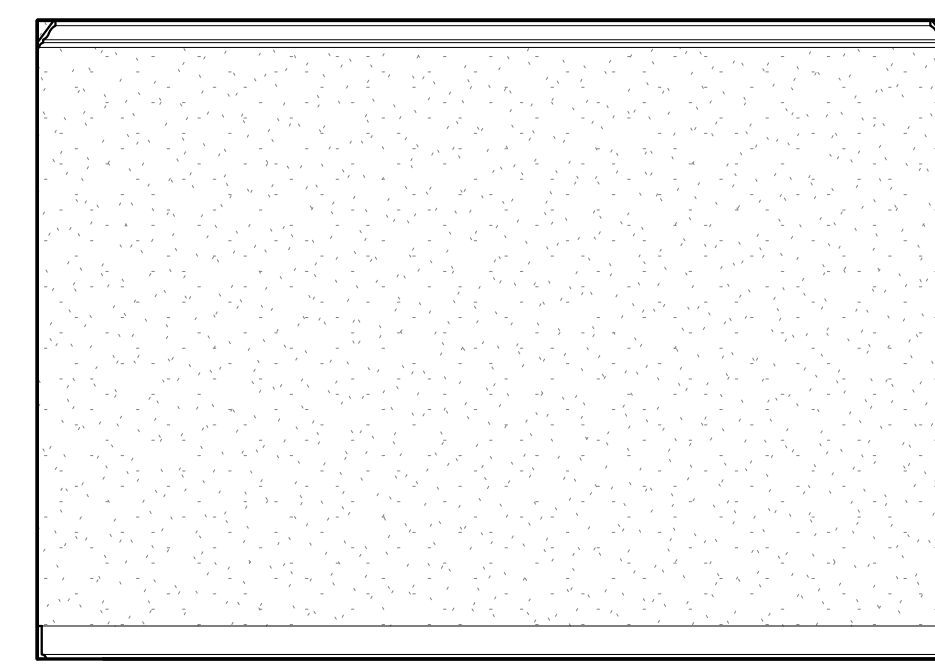
16 Primary Bath - South
 3/8" = 1'-0"



17 Primary Bath - West
 3/8" = 1'-0"



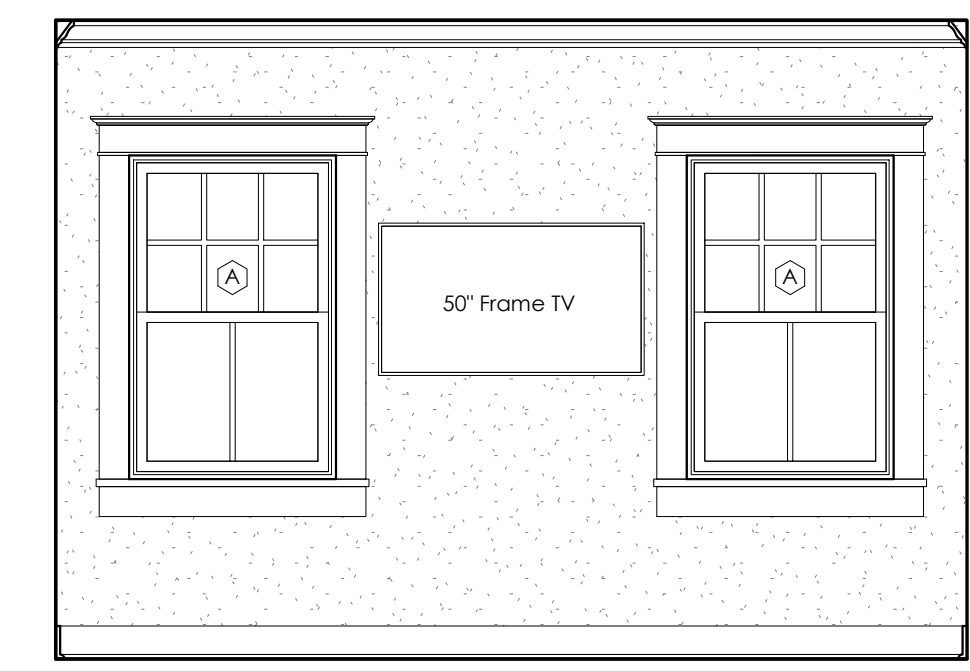
10 Primary Bedroom - North
 3/8" = 1'-0"



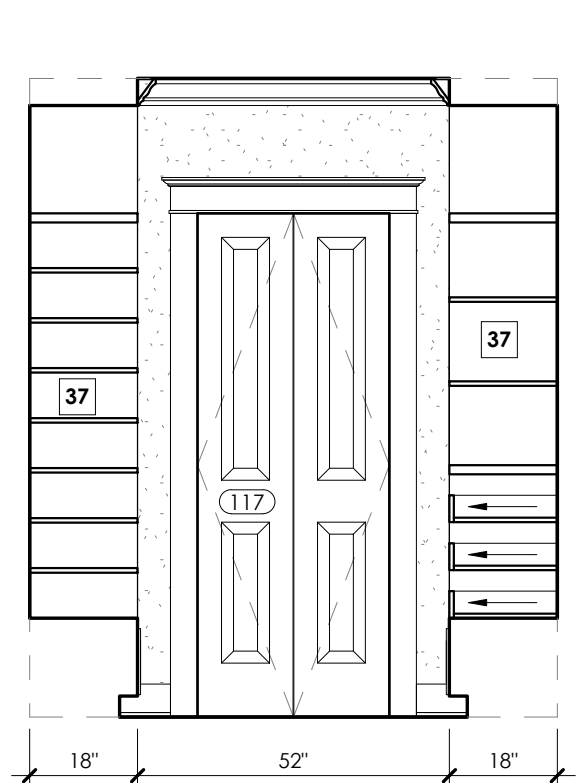
11 Primary Bedroom - East
 3/8" = 1'-0"



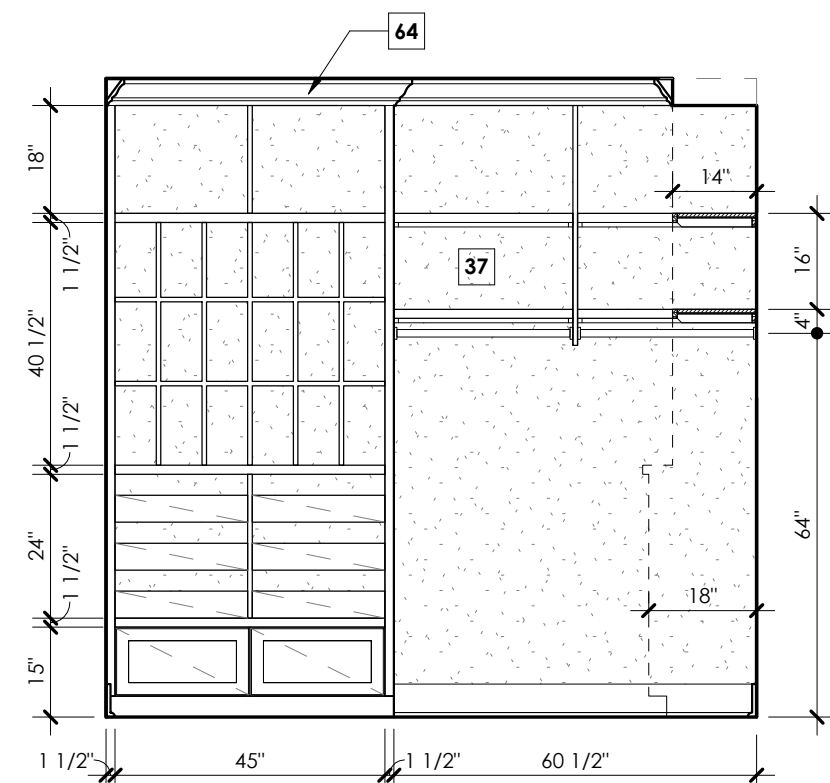
12 Primary Bedroom - South
 3/8" = 1'-0"



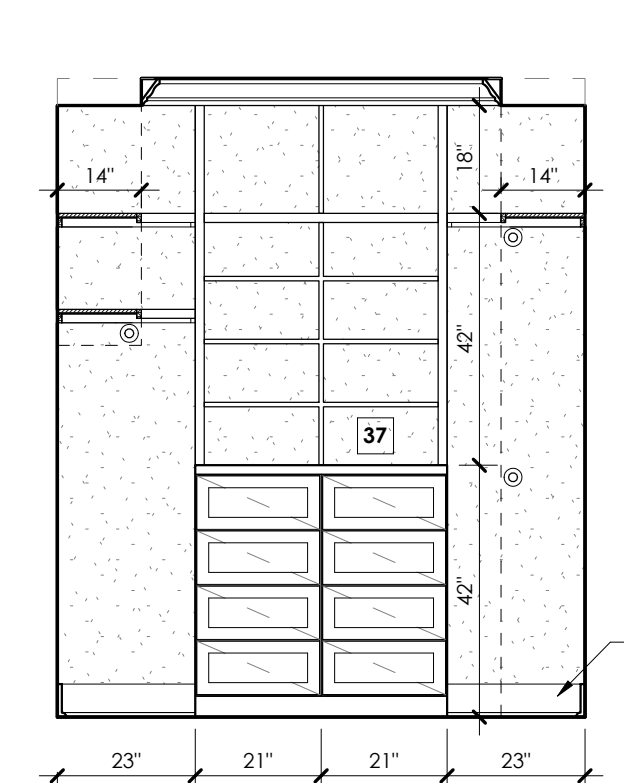
13 Primary Bedroom - West
 3/8" = 1'-0"



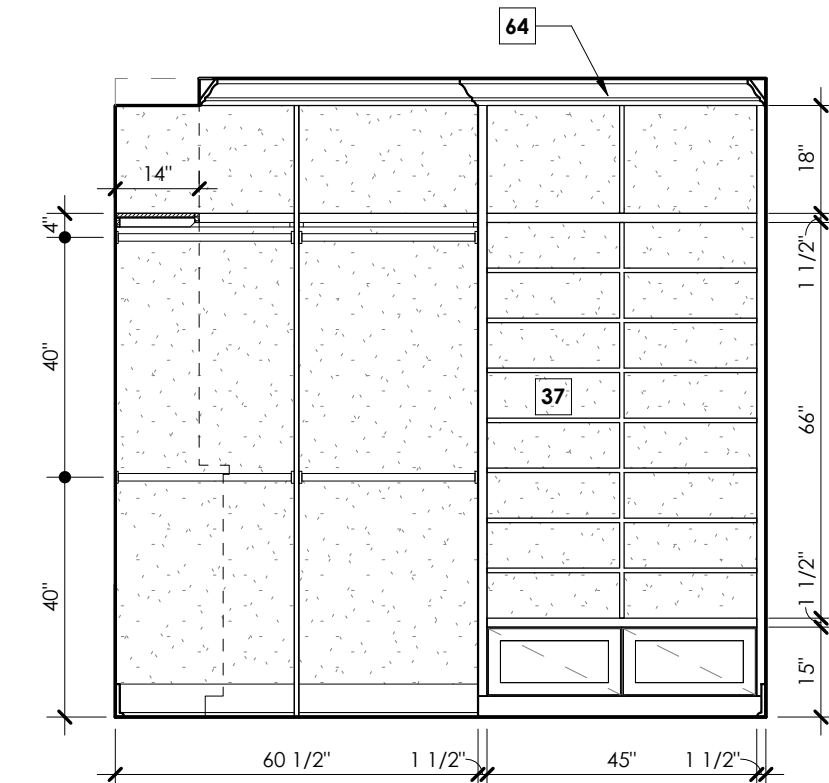
18 Closet - North
 3/8" = 1'-0"



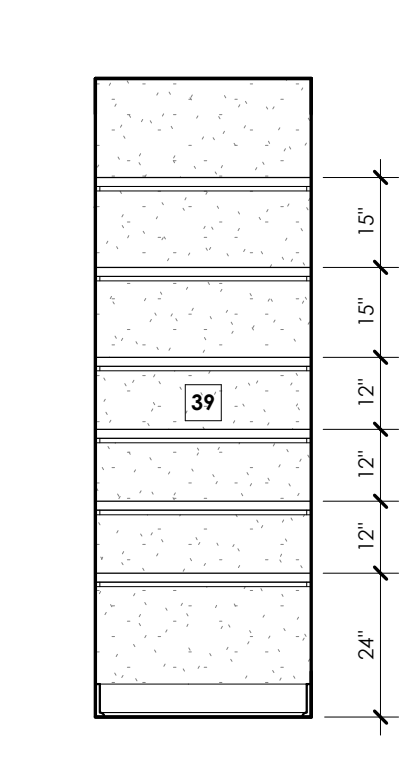
19 Closet - East
 3/8" = 1'-0"



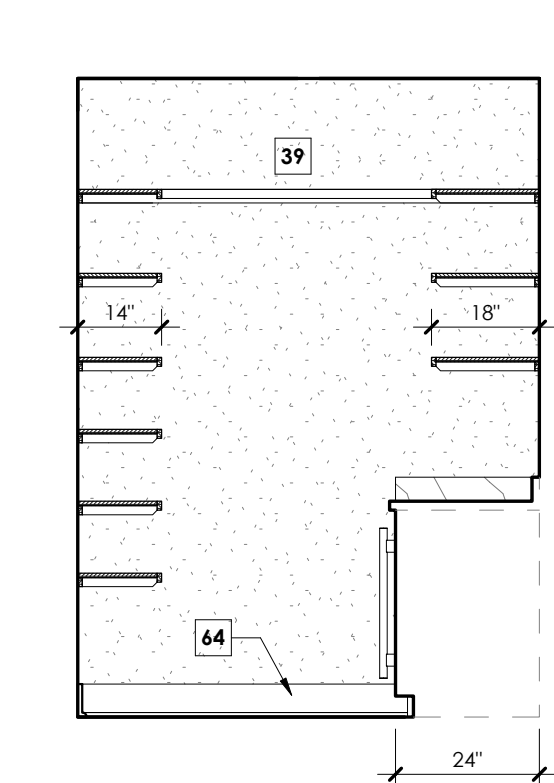
20 Closet - South
 3/8" = 1'-0"



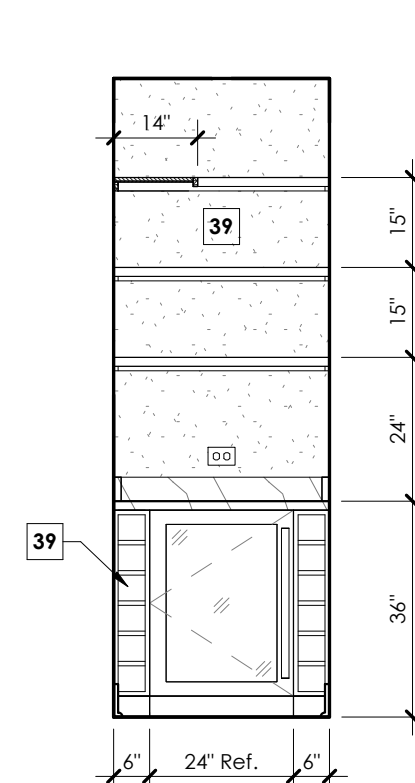
21 Closet - West
 3/8" = 1'-0"



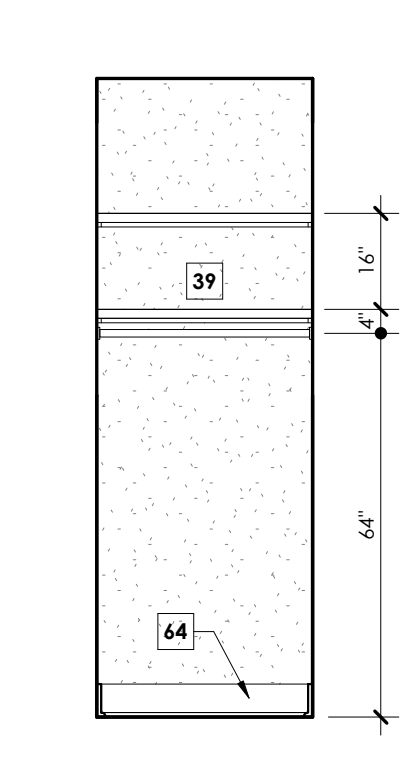
6 Pantry - East
 3/8" = 1'-0"



7 Pantry - South
 3/8" = 1'-0"



8 Pantry - West
 3/8" = 1'-0"



9 Storage
 3/8" = 1'-0"

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Sheet Title
Interior Elevations

Stamp
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Sheet No.
A4

August 12, 2024New Orleans City Planning Commission
Design Advisory Committee**Supplement A – Renovations and Additions to 7632 Sycamore St.**

The proposed addition at 7632 Sycamore Street complies with the approval standards set forth in Article 4, Section 4.5 and Article 18, Section 18.32.B.3 of the city's Comprehensive Zoning Ordinance. This 512 SF rear addition to an existing historic craftsman-style cottage will be largely invisible from the public right of way and will not alter the existing front façade in any way. The architectural features of this existing structure are already in line with other single-family residences typical to this neighborhood, and all aspects of that style will be maintained.

The addition utilizes lap siding, exterior wood trim, deep eaves, and exposed rafter tails to match the existing structure's architectural features. The massing of the addition consists of a single-story addition with a simple gable roof, with all eave heights and roof slopes intended to blend in with the existing structure. No existing primary landscape features will be altered, including no significant trees torn down, and the overall site circulation patterns will remain unchanged. The addition conforms with all established setbacks for the underlying zoning district (HU-RD2), including the existing non-conforming right side setback attributed to an original portion of the home that was built before the current zoning ordinance was adopted.

Per Article 18, Section 18.30, one off-street parking space is required for every new bedroom. The proposed addition includes one new bedroom, and two existing off-street parking spaces are provided.

Please reach out with any questions or clarifications that will assist in your expeditious review of this application.

Sincerely,

VAN HORN DESIGN, APC

C. James Van Horn, Jr., AIA, NCARB
Founder & Principal

Base Zoning District:	HU-RD2		
Bulk Regulations	Requirement	Provided	Waiver Necessary?
<i>Minimum Lot Area</i>	2250 SF	4482 (existing)	No
<i>Minimum Lot Width</i>	30'	38'-4" (existing)	No
<i>Minimum Lot Depth</i>	90'	116'-10" (existing)	No
<i>*Maximum Building Height</i>	30'	19' (existing)	No
<i>Minimum Permeable Open Space</i>	30% of lot area	50%	No
<i>Minimum Open Space</i>	N/A	N/A	N/A
<i>Maximum Impervious Surface in Front Yard</i>	40%	13%	No
<i>Maximum Impervious Surface in Corner Side Yard</i>	N/A	N/A	N/A
Minimum Yard Requirements	Requirement	Provided	Waiver Necessary?
<i>Front Yard</i>	21'-9" (existing)	21'-9" (existing)	No
<i>Interior Side Yard</i>	3'	1'-11" @ existing right side 4'-5" @ addition left side	No
<i>Corner Side Yard</i>	N/A	N/A	No
<i>Rear Yard</i>	15'	31'	No
***Parking	Requirement	Provided	Waiver Necessary?
Adding 1 New Bedroom	1 space	2 spaces (existing)	No

* Pursuant to **Article 18, Section 18.32.B.4**, in the HU-RD1, HU-RD2, and HU-RS Districts, building height of any new structure, or addition or enlargement of an existing structure, is limited to no more than 30 feet, or to three (3) feet higher than the taller of the immediately adjacent structures, whichever is less.

**Waivers of height requirements may be considered by the Board of Zoning Adjustments.

***Confirm the off-street parking requirements of both [Article 22](#) and [Article 18, Section 18.30](#) University Area Off-Street Parking Overlay District are met.



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 7632 Sycamore Street

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name C. James Van Horn, Jr. (architect)

Applicant Address 5207 Tchoupitoulas St.

City New Orleans State LA Zip 70115

Applicant Contact Number 504.616.6200 Email james@vanhorn.design

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name Courtney Masters

Property Owner Address 7632 Sycamore St.

City New Orleans State LA Zip 70118

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

Interior renovation and 500 SF rear addition to an existing one story, single family residence.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- University Area Design Overlay
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

ADDITIONAL INFORMATION

Current Use Single family residence

Proposed Use Single family residence

Square Number 283

Lot Number B

Permeable Open Space (sf) 2000 SF

New Development? Yes No

Addition? Yes No

Tenant Width N/A

Existing Structure(s)? Yes No

Renovations? Yes No

Building Width 30'-6"

Change in Use? Yes No

Existing Signs? Yes No

Lot Width (sf) 38'-4"

New Sign(s)? Yes No

Lot Area (sf) 4482 SF

Building Area (sf) 1771 SF



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DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of adjacent buildings
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

- Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000