

OPTION 1

Design Advisory Committee (February 19, 2025)

The applicant explains that a demolition of less than 50% of the building and would like to keep the existing frontage of the building. The HDLC representative states that the side addition to the property is problematic as it bumps out from the building and should be flush with the rest of existing structure.

The CPC representative asks HDLC what their thoughts are about the off-set heights of the building. HDLC responds that the applicant should try to maintain as much of the rhythm and pattern of what is existing.

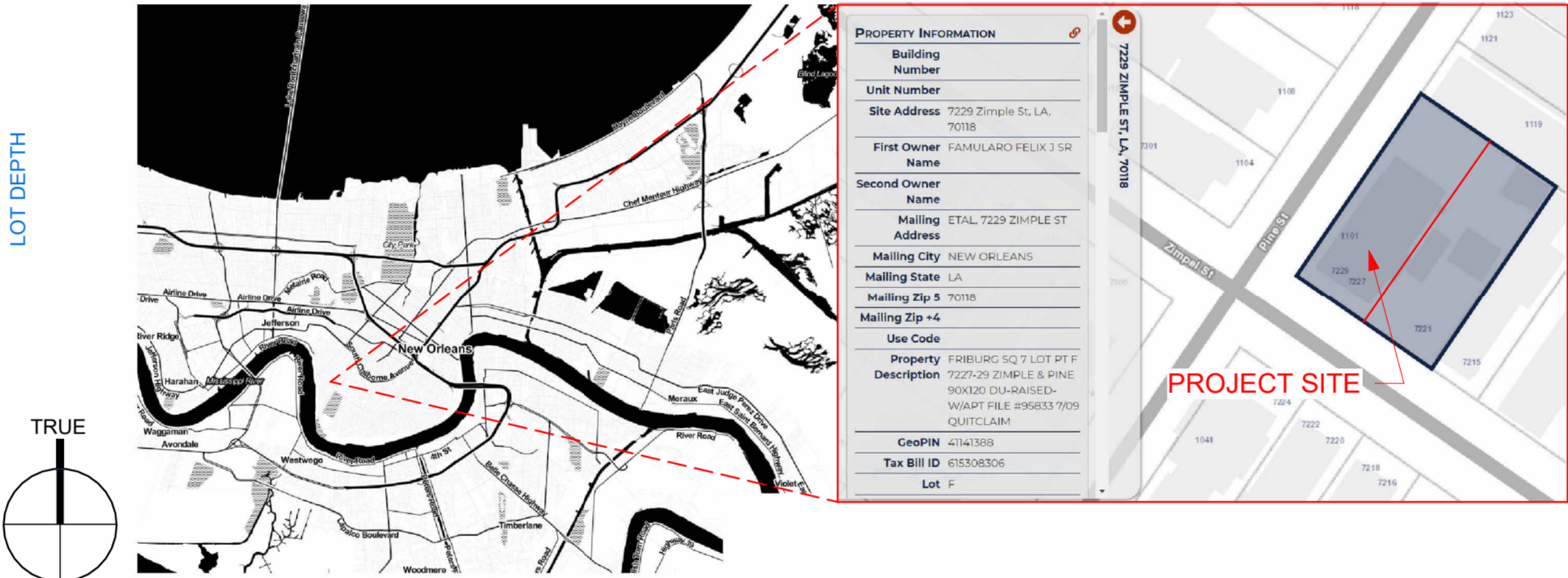
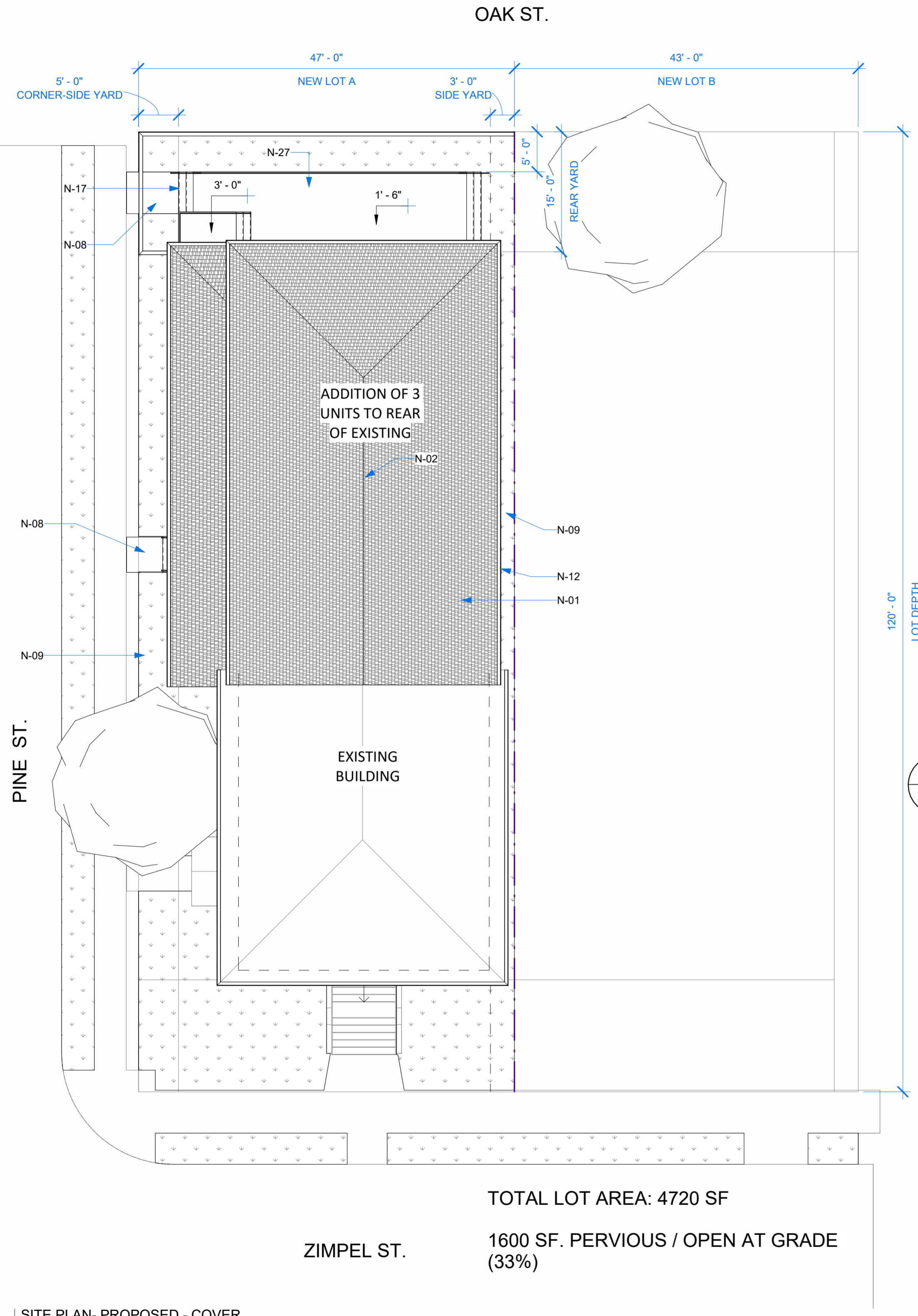
The CPC representative states that that the concern that the proportion is off and needs to go all one direction to demo more than 50% or start the addition further back. Additionally, the offset of the windows from the front to the back of the structure compounds the design issue.

One constituent spoke in opposition to the item expressing concerns about the property not being used as affordable housing. The HDLC representative made a motion for DEFERRAL, seconded by the CPC representative, and unanimously adopted.

CPC DRAWINGS

SMFA 4PLEX - ADDITION / RENOVATION

7229 Zimpel St.
New Orleans LA, 70118



KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	EXISTING ROOF RECENTLY REPLACED. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS. RE: MEP.
N-02	RIDGE VENT AT ROOF, TYP.
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SOD AS REQ'D
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES: PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.). SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS

Energy Code Compliance Summary IECC 2021		PARISH	CLIMATE ZONE 2A FOR ORLEANS
COMPLIANCE METHOD		CHECK	
PRESCRIPTIVE		✓	
RESCHECK (http://www.energycodes.gov/rescheck)			
COMCHECK (http://www.energycodes.gov/comcheck)			
BUILDING AREA		VALUE	
TOTAL AREA (SQ FT) OF CONDITIONED SPACE		4477	
INSULATION VALUES (R40Z)		ENTER R VALUE	
CEILING/ROOF		R-38	
WALLS		R-13	
BASEMENT		/	
FLOOR		R-13	
SLAB		/	
CRAWLSPACE		/	
HEATING EQUIPMENT		EFFICIENCY (BTU'S/RATING)	
ELECTRIC TBD. SEE GENERAL NOTE 1 BELOW.		TBD. SEE GENERAL NOTE 1 BELOW.	
GAS TBD. SEE GENERAL NOTE 1 BELOW.		TBD. SEE GENERAL NOTE 1 BELOW.	
COOLING EQUIPMENT		EFFICIENCY (BTU'S/SEER)	
TBD. SEE GENERAL NOTE 1 BELOW.		/ GREATER THAN OR EQUAL TO 10 HSPF RE SEER AIR SOURCE HEAT PUMP / GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP	
FENESTRATION U VALUE		U-VALUE	
40 MAX.			
FENESTRATION SHGC		SHGC	
25 MAX.			
SKYLIGHT U VALUE		U-VALUE	
N/A			

GENERAL NOTES:
1. Missing information regarding A/C and heating equipment and efficiency to be determined by sub-contractor according to Heat Load Manual / calculations (to be submitted prior to mechanical inspection.)

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
TITLE					
T1.1	TITLE SHEET	01/16/25			
SITE/GENERAL INFO					
A1.1	SITE PLAN - EXIST & PROPOSED	01/16/25			
ARCHITECTURE					
A2.1	FLOOR PLANS - EXISTING/DEMO	01/16/25			
A2.2	FLOOR PLANS - PROPOSED	01/16/25			
A3.1	EXTERIOR ELEVATIONS - EXISTING/DEMO	01/16/25			
A3.2	EXTERIOR ELEVATIONS - PROPOSED	01/16/25			

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
EXISTING MULTI FAMILY BUILDING CONVERTED INTO SMFA AFFORDABLE 4- PLEX. 3 NEW UNITS ON REAR. LESS THAN 50% DEMO OF EXISTING ROOF. LESS THAN 50% DEMO OF SIDES AND REAR. EXISTING FRONT FACADE TO REMAIN. NEW MEP THROUGHOUT. NEW FINISHES AND FIXTURES THROUGHOUT

PERMIT TYPE
ADDITION / STRUCTURAL RENO

SFM, LEVEL OF ALTERATION
LEVEL 4

OWNER:
JAMES SPALT
7229 ZIMPEL ST
NEW ORLEANS LA 70118
JS@NDVRPARTNERS.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER
TBD

STRUCTURAL/CIVIL ENGINEER
AP DESIGN GROUP
JOSHUA JUNEAU, PE
504-410-5322
JJUNEAU@AP-ENG.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-RD2 HISTORIC URBAN TWO-FAMILY RESIDENTIAL
OVERLAY DISTRICT:
• RESIDENTIAL STR IZD
• B&B IZD
• COMMERCIAL STR IZD
• NON-COMMERCIAL SHORT TERM RENTAL SPECIAL EXCEPTION INTERIM ZONING DISTRICT
• UNIVERSITY AREA OFF-STREET PARKING OVERLAY DISTRICT
• UNIVERSITY AREA DESIGN OVERLAY

HDLC DISTRICT: NOHDLC UPTOWN PARTIAL

PROPOSED DEVELOPMENT:
NEW LOT B DIMENSIONS: 47' X 120'

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-A V (000) PROTECTED COMBUSTIBLE

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL , GROSS SF: 5863 (INCLUDING UNDER HOUSE STORAGE)

SPRINKLERED / FIRE ALARM:
YES / YES

APPLICABLE CODES:
• 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
• 2021 INTERNATIONAL MECHANICAL CODE
• 2021 LOUISIANA STATE PLUMBING CODE
• NFPA 70, 2020 NATIONAL ELECTRIC CODE
• 2021 INTERNATIONAL FUEL CODE
• 2021 INTERNATIONAL ENERGY CONSERVATION CODE
• 2021 INTERNATIONAL EXISTING BUILDING CODE

PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT

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New Orleans, LA 70125
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No.	Description	Date

NOT FOR
CONSTRUCTION

TITLE SHEET

PROJECT STATUS	
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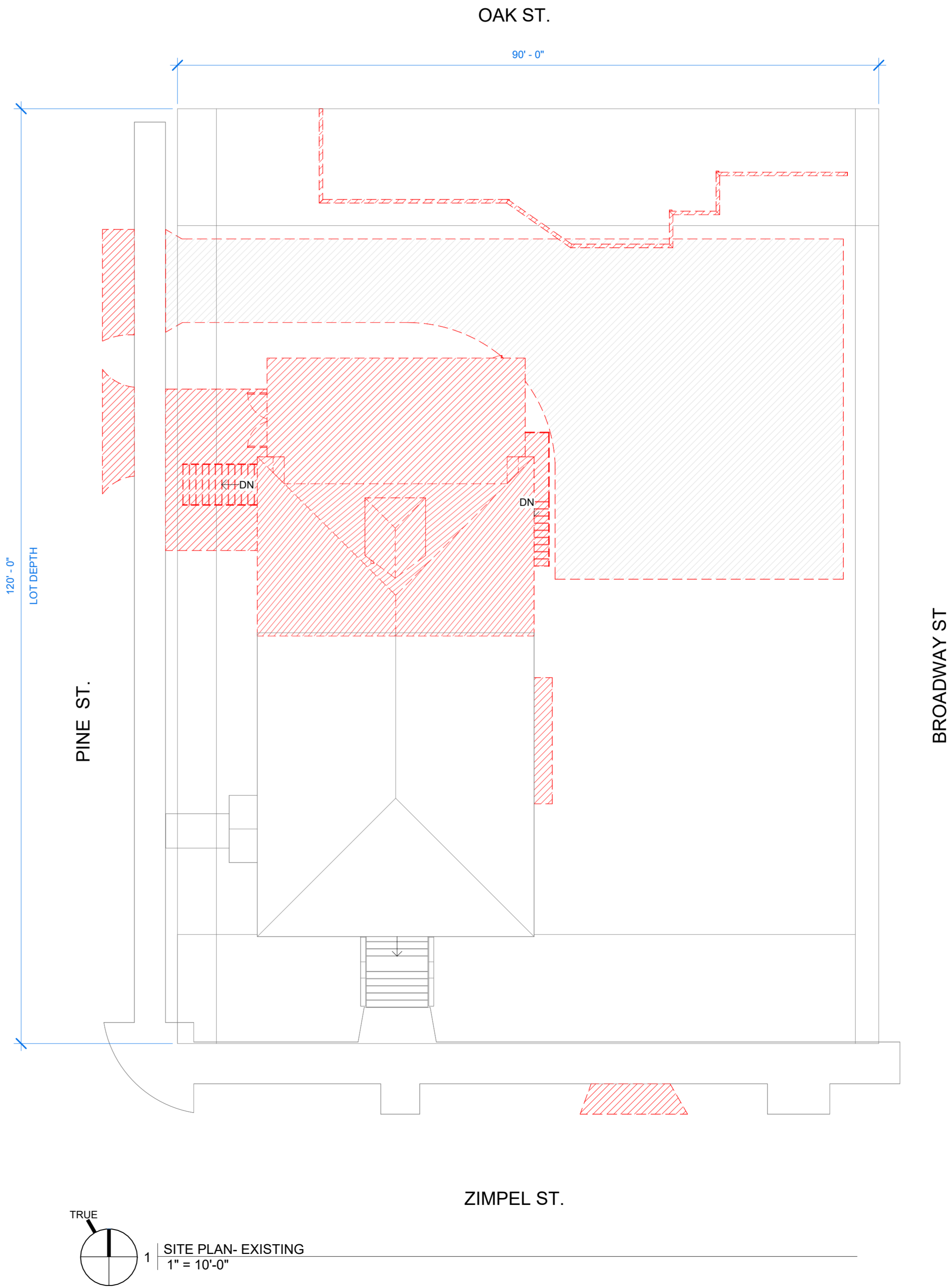
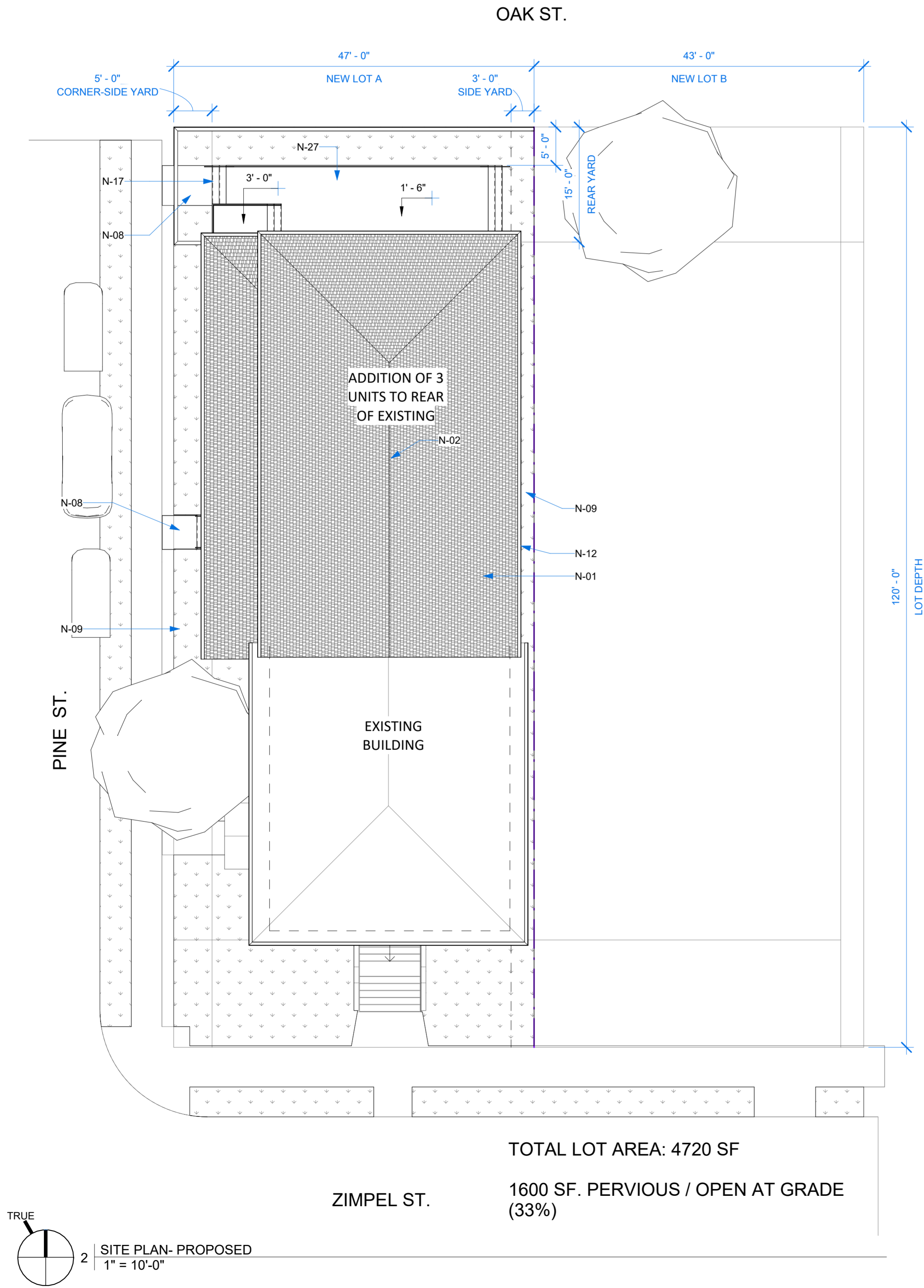
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DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)



SMFA 4PLEX - ADDITION / RENOVATION
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SITE PLAN - EXIST & PROPOSED

PROJECT STATUS	
Date	01/16/25

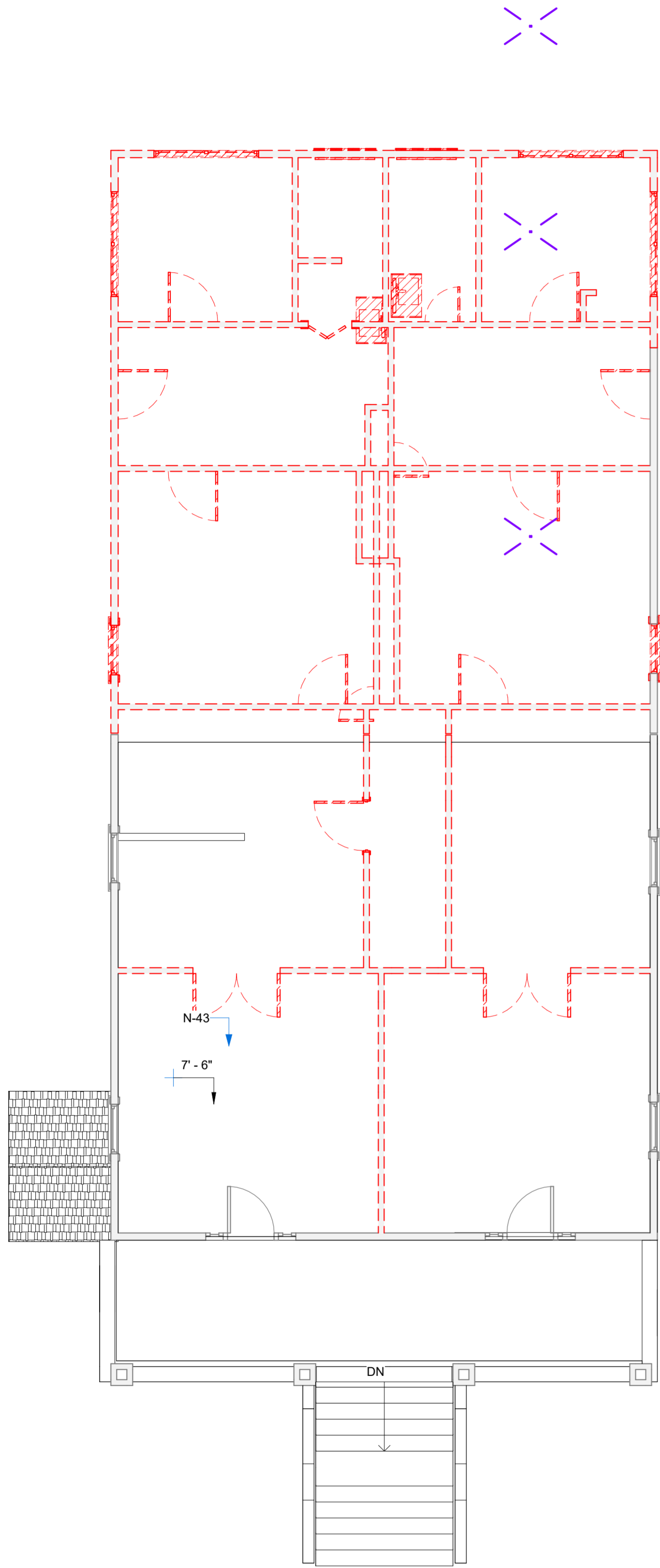
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2ND FLOOR

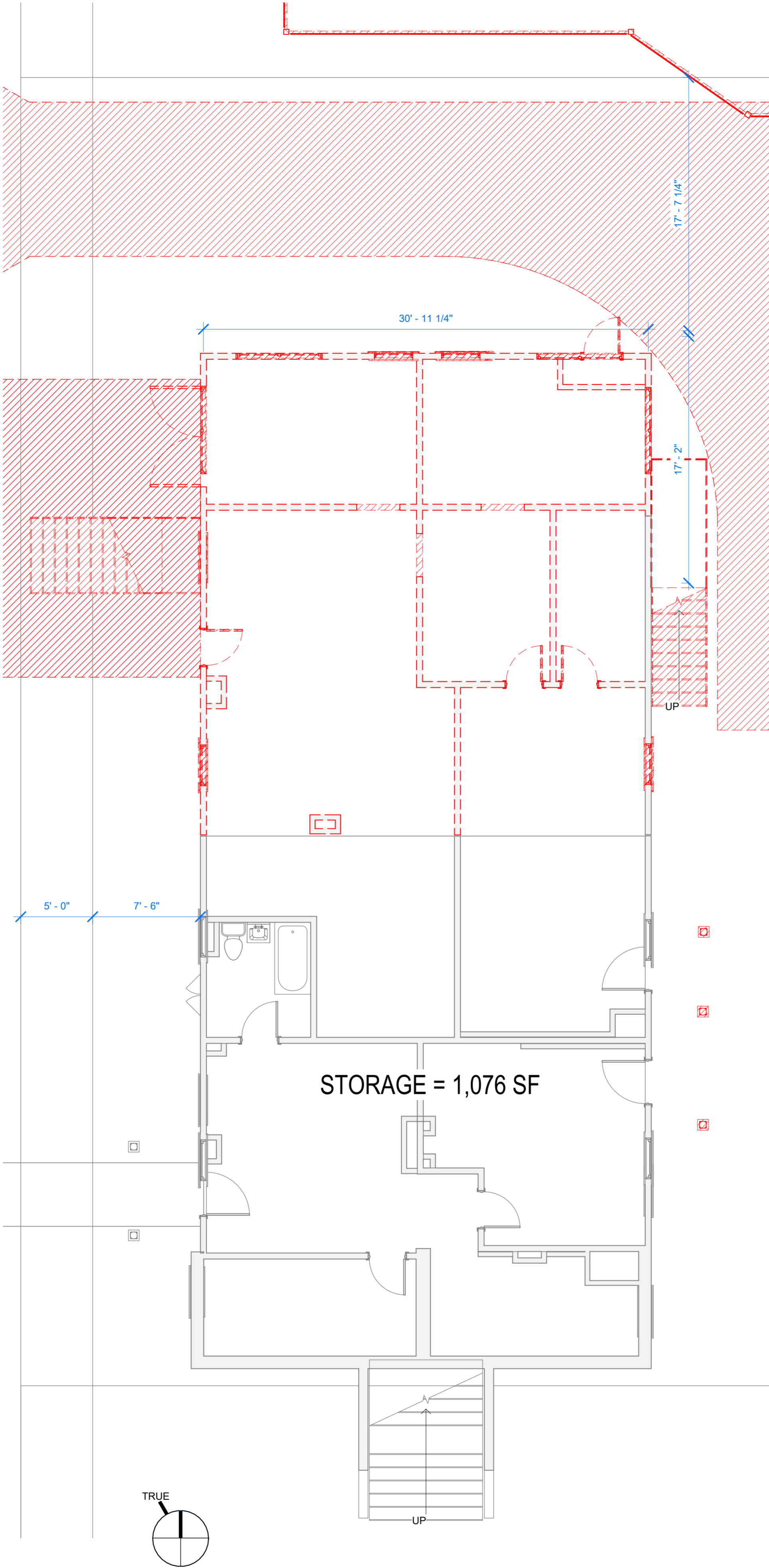
2 | 2ND FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



KEYNOTES - SHEET	
Key Value	Keynote Text
N-43	EXISTING WD. FLOORS TO REMAIN. INFILL WD. FLOORS TO MATCH EXISTING.

1ST FLOOR

1 | 1ST FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
- CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDIANTE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"

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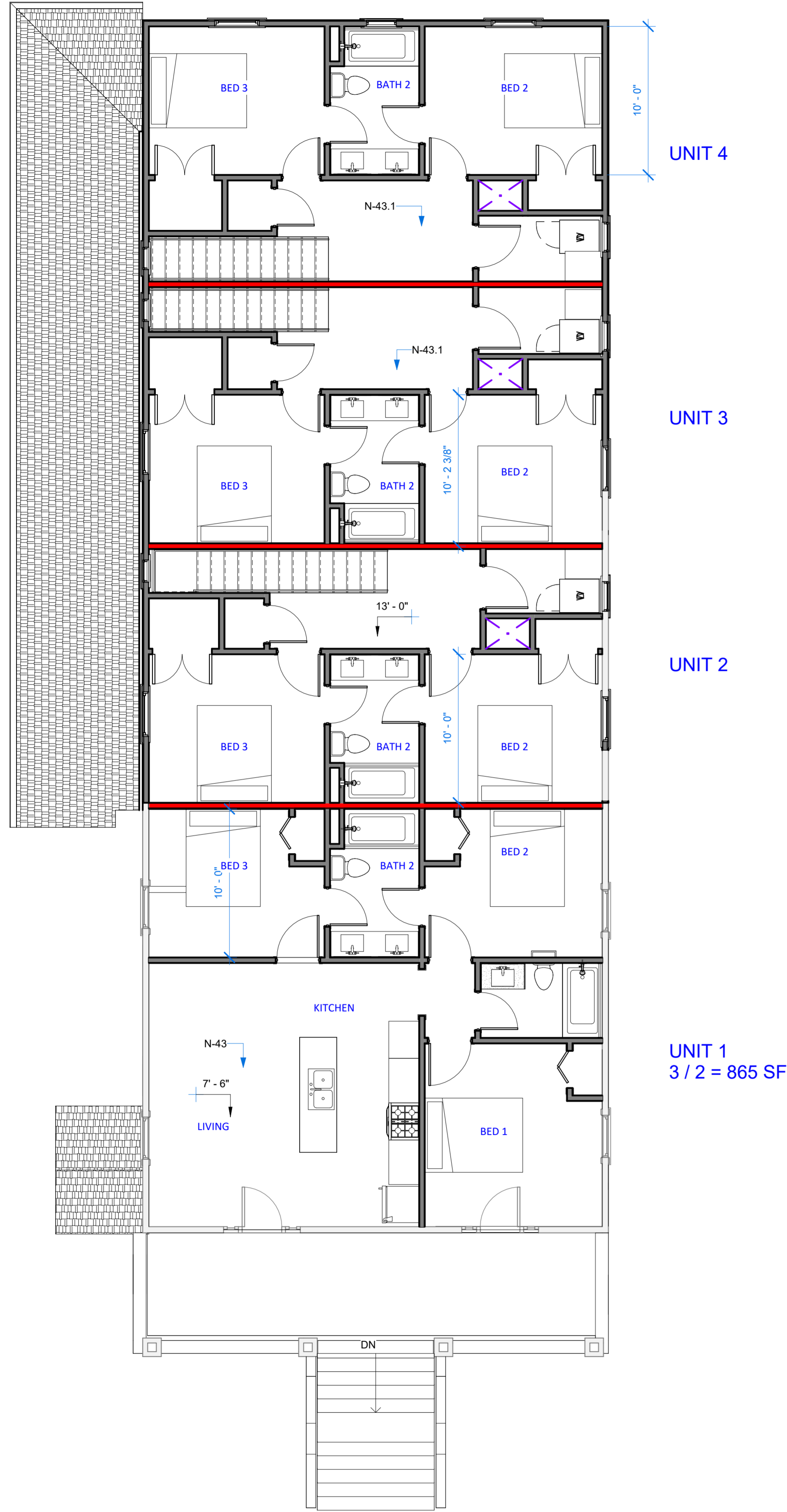
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CONSTRUCTION

FLOOR PLANS -
EXISTING/DEMO

PROJECT STATUS	
Date	01/16/25

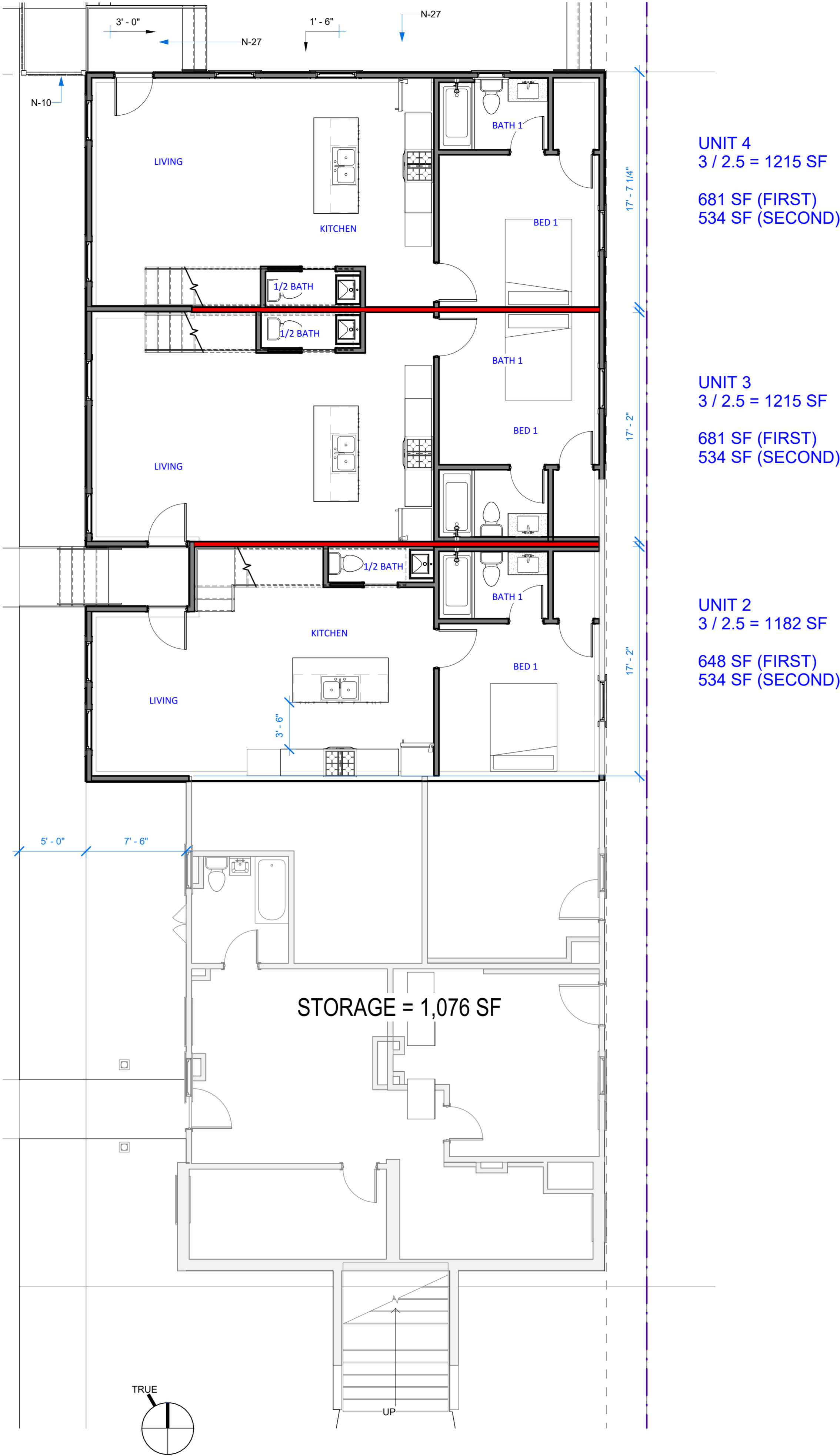
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2ND FLOOR 2808 GROSS SF

2 | 2ND FLOOR PLAN
3/16" = 1'-0"



1ST FLOOR 3225 GROSS SF

1 | 1ST FLOOR PLAN
3/16" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-10	NEW WOOD FENCE. RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER. (HOLD DETAILING IF REQUIRED)
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4 OVER 1" MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS
N-43	EXISTING WD. FLOORS TO REMAIN. INFILL WD. FLOORS TO MATCH EXISTING.
N-43.1	NEW LVT FLOORING. COORDINATE FINISH SELECTION WITH OWNER. RE: FINISH SCHEDULE

UNIT 4
3 / 2.5 = 1215 SF
681 SF (FIRST)
534 SF (SECOND)

UNIT 3
3 / 2.5 = 1215 SF
681 SF (FIRST)
534 SF (SECOND)

UNIT 2
3 / 2.5 = 1182 SF
648 SF (FIRST)
534 SF (SECOND)

4 UNITS

2X 3 BED / 2.5 NATH @ 1215 SF INTERIOR
1X 3 BED / 2.5 BATH @ 1182 SF INTERIOR
1X 3BED / 2 BATH @ 865 SF

4477 SF LIVING TOTAL (INTERIOR)

60 SF NEW PORCHES + REAR DECK
250 SF EXISTING FRONT PORCH
1076 EXISTING GROUND FLOOR STORAGE

SECTION 114000 - KITCHEN APPLIANCES
1. GENERAL
1.1 SUMMARY: PROVIDE AND INSTALL KITCHEN APPLIANCES AS SPECIFIED AND SHOWN ON THE DRAWINGS.
1.2 SUBMITTALS: SUBMIT PRODUCT DATA SHEETS FOR EACH APPLIANCE, INCLUDING MANUFACTURER, MODEL NUMBER, AND PERFORMANCE SPECIFICATIONS. PROVIDE INSTALLATION INSTRUCTIONS AND WARRANTY INFORMATION FOR OWNER APPROVAL PRIOR TO PURCHASING.
1.3 QUALITY ASSURANCE: APPLIANCES TO BE FROM MANUFACTURERS WITH A MINIMUM OF 5 YEARS OF INDUSTRY EXPERIENCE AND POSITIVE REVIEWS. ENSURE APPLIANCES COMPLY WITH RELEVANT SAFETY AND ENERGY STANDARDS, INCLUDING UL, ETL, AND ENERGY STAR® RATINGS.
2. PRODUCTS: SEE INDIVIDUAL KEY NOTES FOR PRODUCTS
2.1 PERFORMANCE CRITERIA:
ENERGY EFFICIENCY: ALL APPLIANCES TO MEET OR EXCEED [INSERT SPECIFIC ENERGY EFFICIENCY STANDARDS, E.G., ENERGY STAR®] TO MINIMIZE ENERGY CONSUMPTION AND OPERATIONAL COSTS.
DURABILITY: APPLIANCES TO BE CONSTRUCTED OF HIGH-QUALITY MATERIALS FOR LONG-TERM RELIABILITY AND RESISTANCE TO TYPICAL WEAR AND TEAR.
NOISE LEVELS: APPLIANCES TO OPERATE WITHIN ACCEPTABLE NOISE LEVELS, ENSURING MINIMAL DISTURBANCE IN APARTMENT SETTINGS. [INSERT SPECIFIC NOISE LEVELS IF APPLICABLE, E.G., DISHWASHERS ≤ 50 DBA]
EASE OF USE: APPLIANCES TO FEATURE USER-FRIENDLY CONTROLS AND INTERFACES, ENSURING EASE OF OPERATION FOR ALL RESIDENTS.
3. EXECUTION
3.1 INSTALLATION: INSTALL APPLIANCES ACCORDING TO MANUFACTURERS INSTRUCTIONS AN LOCAL CODES. VERIFY PROPER OPERATION AND ADJUST SETTINGS AS NEEDED. ALL POWER/WATER CONNECTORS TO BE PROVIDED.
3.2 TESTING: TEST ALL APPLIANCES TO ENSURE THEY ARE OPERATING CORRECTLY AND EFFICIENTLY.

- BATHROOM FAUCET: B.O.D. MOEN DOUBLE HANDLE CENTERSET BATHROOM FAUCET FROM THE BRANTFORD COLLECTION (VALVE INCLUDED). MODEL: 66610.8 SINK BASE BOD: 30 IN. W X 19 IN. D X 33 IN. H SINGLE SINK FREESTANDING BATH VANTY IN PEARL GRAY WITH WHITE CULTURED MARBLE TOP
- WATER CLOSET - B.O.D. GLACIER BAY, 12 INCH ROUGH IN TWO-PIECE 1.28 GPF SINGLE FLUSH ELONGATED TOILET IN WHITE SEAT INCLUDED
- COUNTERTOP - 2CM GRANITE W/BACKSPLASH, OWNER TO CHOOSE COLOR
- REFRIGERATOR: B.O.D. LG, 30 IN. W 20 CU. FT. TOP FREEZER REFRIGERATOR W/ MULTI-AIR FLOW AND REVERSIBLE DOOR IN STAINLESS STEEL.ENERGY STAR
- KITCHEN SINK: STANDARD 30" SINGLE BOWL UNDERMOUNT KITCHEN SINK, STAINLESS STEEL.
- REFRIGERATOR: B.O.D. FRIGIDAIRE, 30 IN. 5 BURNER ELEMENT FREESTANDING ELECTRIC RANGE IN BLACK WITH EVENTEMP AND STEAM CLEAN
- MICROWAVE: B.O.D. GE, 1.6 CU. FT. OVER-THE-RANGE MICROWAVE IN STAINLESS STEEL, RE- CIRCULATING VENT CONFIGURATION.
- RANGE: B.O.D. GE 30 IN. 4 BURNER ELEMENT FREE-STANDING ELECTRIC RANGE IN STAINLESS STEEL W/STAINLESS KNOBS
- CABINETS: B.O.D. PAINTED WOOD WITH A MINIMUM THICKNESS OF ¾ INCH FOR DOORS AND ½ INCH FOR CABINET BOXES. SOFT CLOSERS AND HARDWARE INCLUDED.
- SHOWER: CUSTOM BUILT SHOWER SURROUND, SCHLUTER-SHOWER SYSTEM WITH CEMENT BOARD SURROUND CLAD IN SUBWAY TILE. FACUET: B.O.D. DELTA FOUNDATIONS SINGLE-HANDLE 1-SPRAY SHOWER FAUCET IN CHROME (VALVE INCLUDED). PROVIDE 5/8 IN. TEMPERED GLASS SHOWER DOOR, PANEL, AND RELATED HARDWARE.

PRODUCT BASIS OF DESIGN (B.O.D.) SELECTIONS

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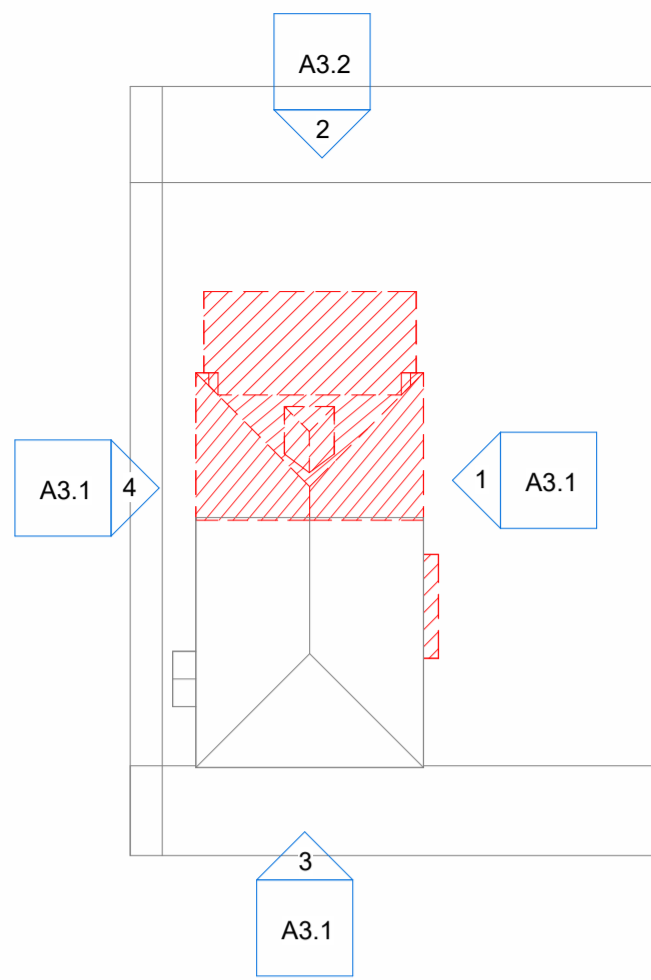
FLOOR PLANS -
PROPOSED

PROJECT STATUS	
Date	01/16/25

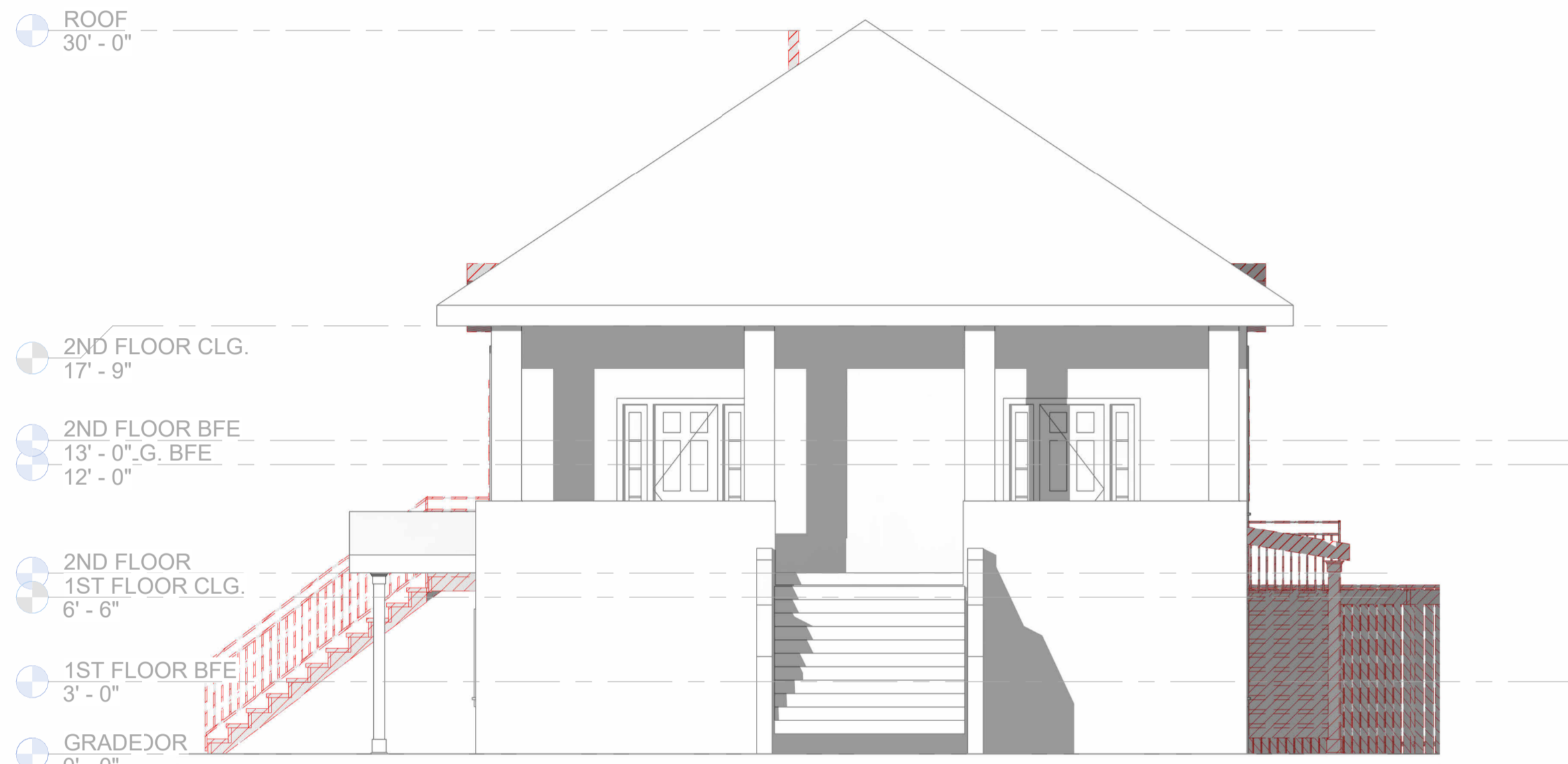
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KEY PLAN - ELEVATION - DEMO



NO DEMO AT FRONT FACADE (0%)

3 | SOUTH ELEVATION - DEMO
3/16" = 1'-0"



550 SQ FT DEMO (550 SQ FT. FACADE TOTAL) - 100%

2 | NORTH ELEVATION - DEMO
3/16" = 1'-0"



300 SQ FT DEMO (1321 SQ FT. FACADE TOTAL) - 23%

1 | EAST ELEVATION - DEMO
3/16" = 1'-0"



600 SQ FT DEMO (1321 SQ FT. FACADE TOTAL)

4 | WEST ELEVATION - DEMO
3/16" = 1'-0"

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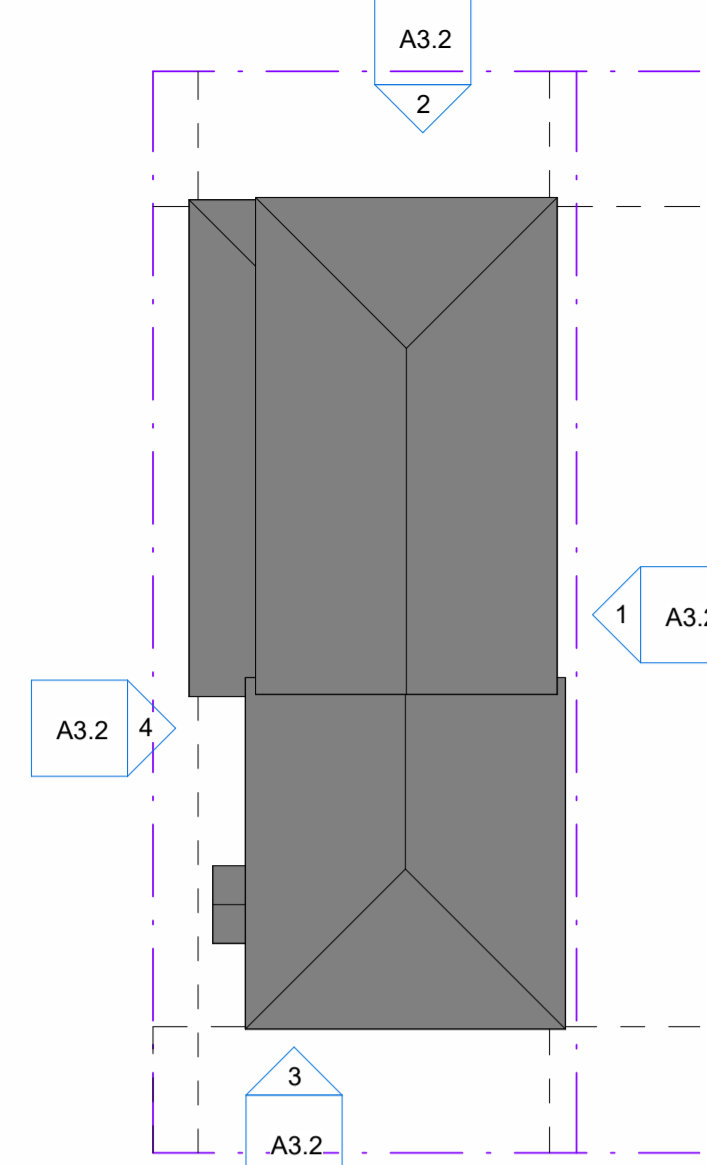
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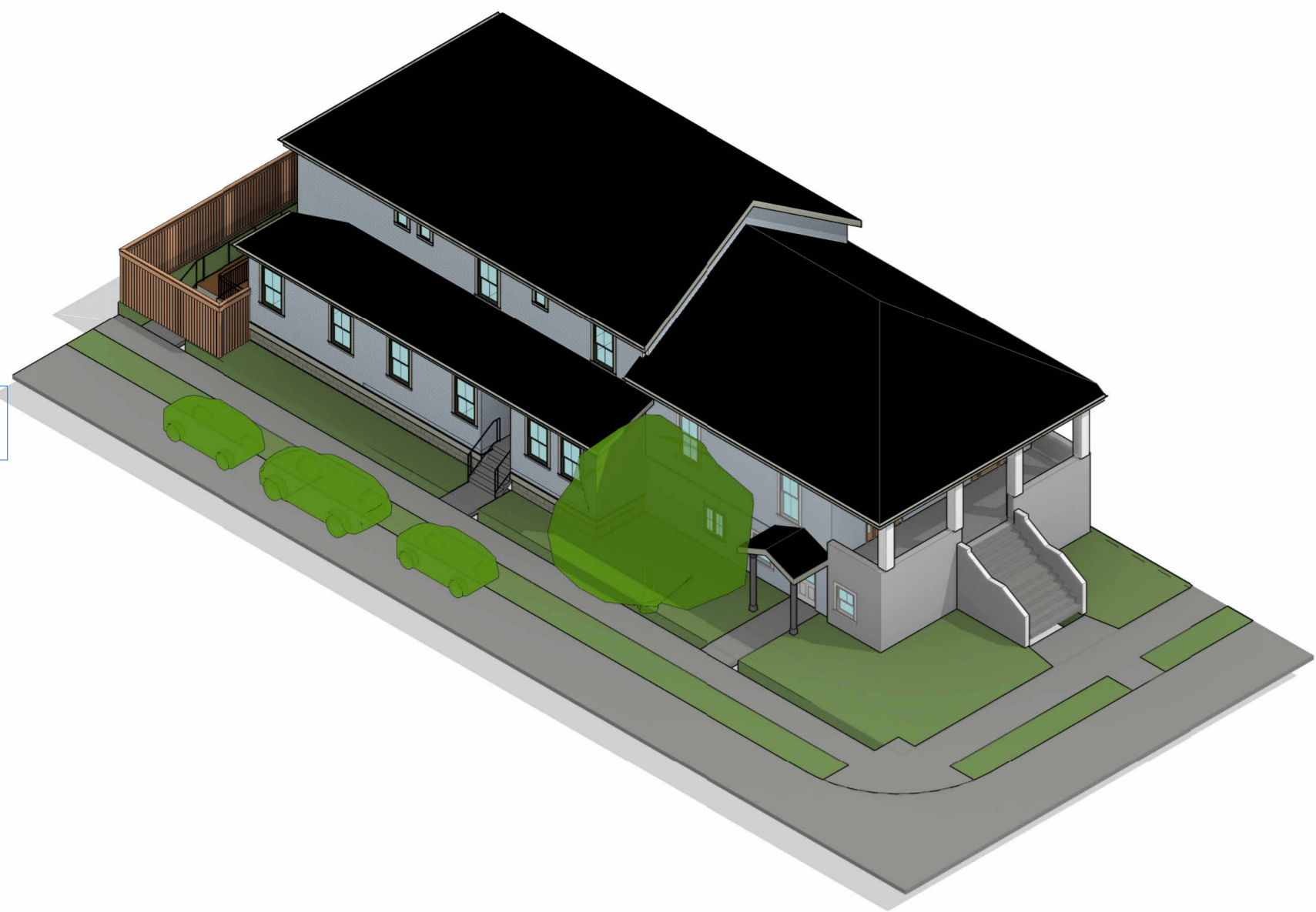
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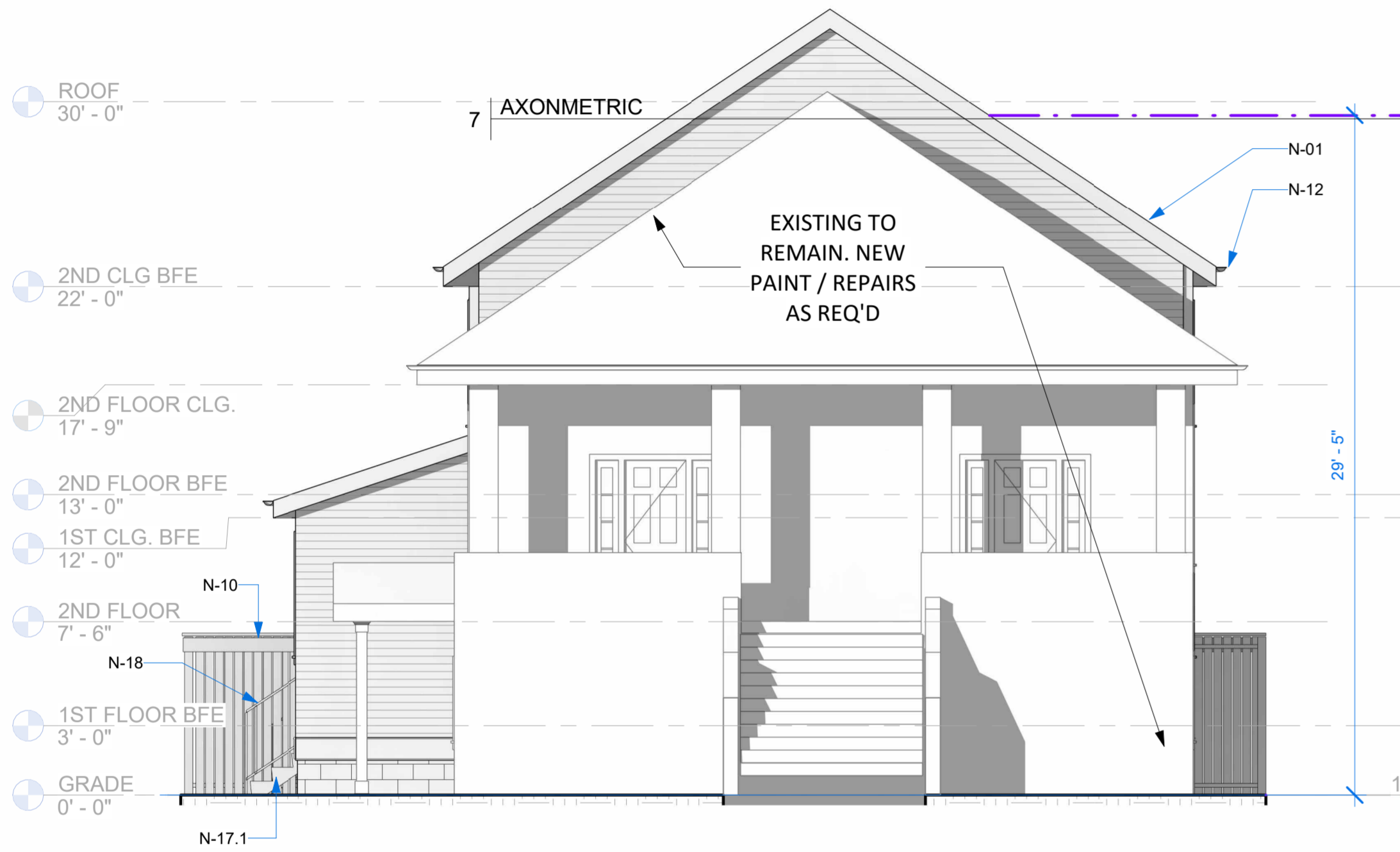


KEY PLAN - ELEVATION



6 EXTERIOR PERSP - FROM CORNER

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	EXISTING ROOF RECENTLY REPLACED. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS. RE: MEP.
N-02	RIDGE VENT AT ROOF, TYP.
N-10	NEW WOOD FENCE. RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER. (HDLG DETAILING IF REQUIRED)
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-17.1	EXTERIOR CONCRETE STAIR. SLOPE TO DRAIN. RE: DETAILS / STRUCT.
N-17.2	EXTERIOR CONCRETE SLAB. SLOPE TO DRAIN.
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-24	NEW WINDOW. RE: WINDOW SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD) PROVIDE WIND BORN DEBRIS PROTECTION AS REQUIRED BY CODE.
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS. TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLC IF REQ'D)
N-42.1	TREATED WD. SKIRT BOARD WITH METAL DRIP.



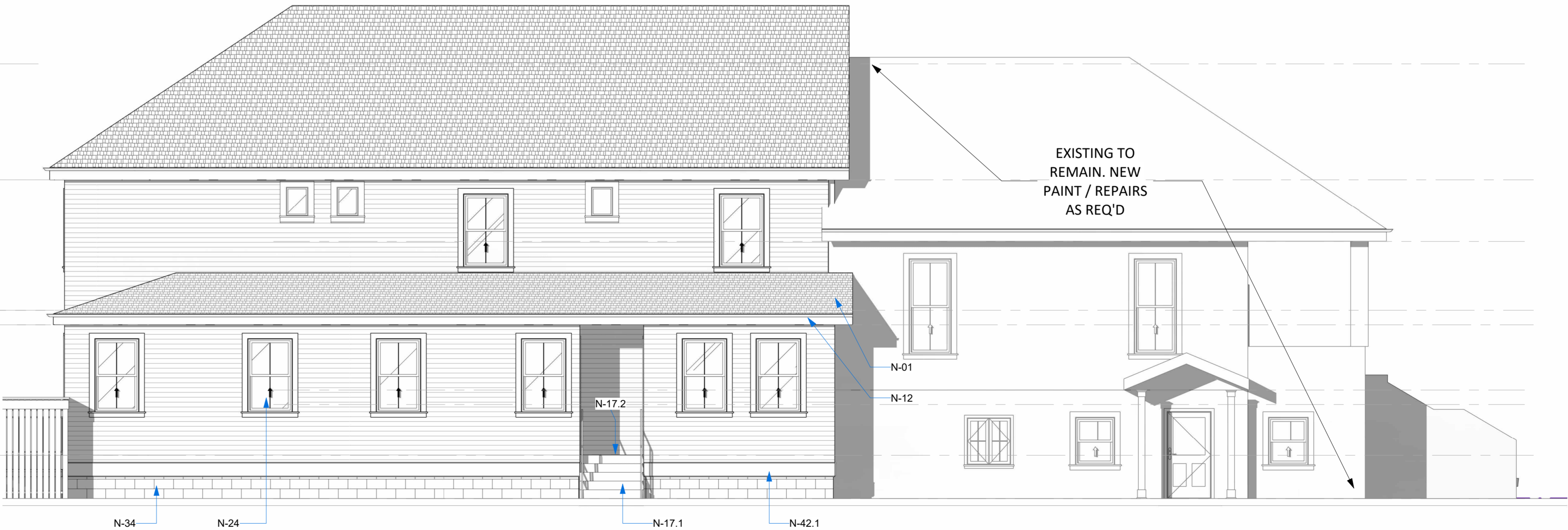
3 SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"



1 EAST ELEVATION - PROPOSED
3/16" = 1'-0"



2 NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



4 WEST ELEVATION - PROPOSED
3/16" = 1'-0"

No.	Description	Date

NOT FOR
CONSTRUCTION

EXTERIOR
ELEVATIONS -
PROPOSED

PROJECT STATUS	
Date	01/16/25

OPTION 2

Design Advisory Committee (March 19, 2025)

The applicant summarized the three modifications that were made: 1) removal of porch, 2) relocation of entry to the rear to read like a side elevation, and 3) shifting of addition back 3 feet. The applicant stated opposition to the suggestion that the addition be made flush with the existing building. There was one comment in opposition from Susan Johnson who relayed opposition from 17 neighbors and expressed concerns about affordable rentals, increased parking demand, and concerns about the addition of 24 bedrooms. The applicant rebutted addressing a commitment to meet affordable rental requirements.

The HDLC representative took issue with the applicant's stated inability to make the addition flush. It was further stated that the changes to the side elevation are an improvement, however, it is still too large.

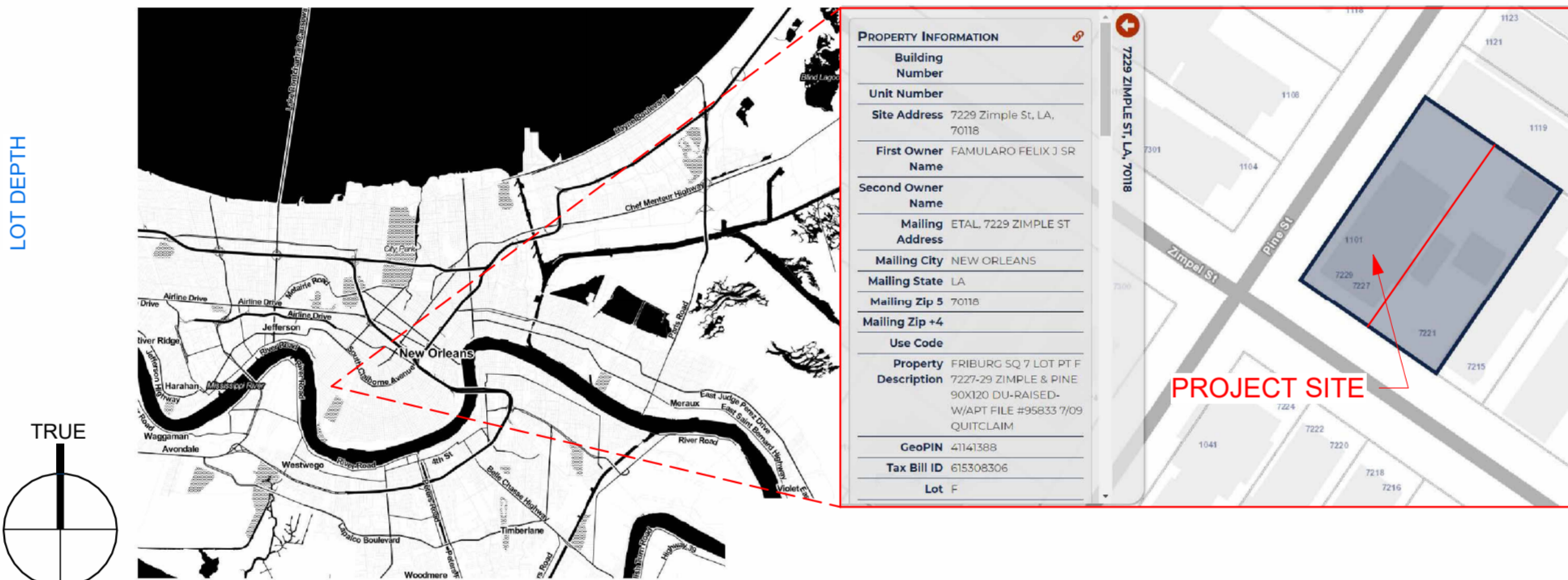
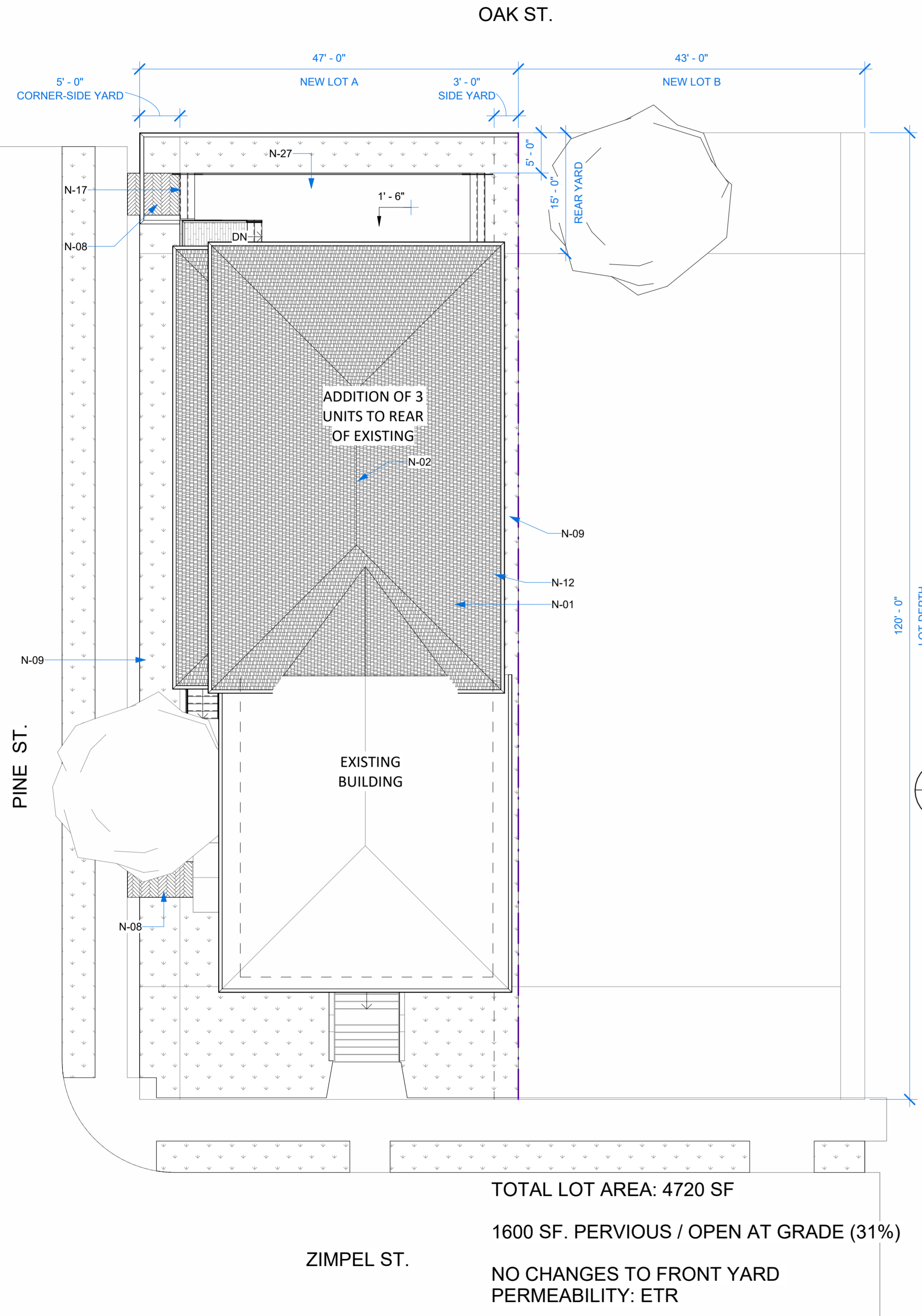
The CPC representative stated that they would not be supporting the proposed design as it is incompatible with the University Area Design overlay. They stated that the scale and massing is atypical relative to surrounding historic structures. The two-story addition is fundamentally incompatible with the existing structure, causing the misalignment of architectural features.

The CPC representative made a motion for DENIAL, that was seconded by the HDLC representative and unanimously adopted.

CPC DRAWINGS

SMFA 4PLEX - ADDITION / RENOVATION

7229 Zimpel St.
New Orleans LA, 70118



KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	EXISTING ROOF RECENTLY REPLACED. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS. RE: MEP.
N-02	RIDGE VENT AT ROOF, TYP.
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SOD AS REQ'D.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES: PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS

Energy Code Compliance Summary IECC 2021		PARISH	CLIMATE ZONE 2A FOR ORLEANS
COMPLIANCE METHOD		CHECK	
PRESCRIPTIVE		✓	
RESCHECK (HTTP://WWW.ENERGYCODES.GOV/RESCHECK)			
COMCHECK (HTTP://WWW.ENERGYCODES.GOV/COMCHECK)			
BUILDING AREA		VALUE	
TOTAL AREA (SQ FT) OF CONDITIONED SPACE		4477	
INSULATION VALUES (R40Z)		ENTER R VALUE	
CEILING/ROOF		R-38	
WALLS		R-13	
BASEMENT		/	
FLOOR		R-13	
SLAB		/	
CRAWLSPACE		/	
HEATING EQUIPMENT		EFFICIENCY (BTU'S/RATING)	
ELECTRIC TBD. SEE GENERAL NOTE 1 BELOW.		TBD. SEE GENERAL NOTE 1 BELOW.	
GAS TBD. SEE GENERAL NOTE 1 BELOW.		TBD. SEE GENERAL NOTE 1 BELOW.	
COOLING EQUIPMENT		EFFICIENCY (BTU'S/SEER)	
TBD. SEE GENERAL NOTE 1 BELOW.		/ GREATER THAN OR EQUAL TO 10 HSPF RE SEER AIR SOURCE HEAT PUMP / GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP	
FENESTRATION U VALUE		U-VALUE	
40 MAX.			
FENESTRATION SHGC		SHGC	
25 MAX.			
SKYLIGHT U VALUE		U-VALUE	
N/A			

GENERAL NOTES:
1. Missing information regarding A/C and heating equipment and efficiency to be determined by sub-contractor according to Heat Load Manual / calculations (to be submitted prior to mechanical inspection.)

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
ARCHITECTURAL					
A1.1	SITE PLAN - EXIST & PROPOSED	1.28.2025			
A2.1	FLOOR PLANS - EXISTING/DEMO	1.28.2025			
A2.2	FLOOR PLANS - PROPOSED	1.28.2025			
A3.1	EXTERIOR ELEVATIONS - EXISTING/DEMO	1.28.2025			
A3.2	EXTERIOR ELEVATIONS - PROPOSED	1.28.2025			
TITLE					
T1.1	TITLE SHEET	01/16/25			
ARCHITECTURE					
ASK-1	PRESENTATION PLANS	01/16/25			

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
EXISTING MULTI FAMILY BUILDING CONVERTED INTO SMFA AFFORDABLE 4- PLEX. 3 NEW UNITS ON REAR. LESS THAN 50% DEMO OF EXISTING ROOF. LESS THAN 50% DEMO OF SIDES AND REAR. EXISTING FRONT FACADE TO REMAIN. NEW MEP THROUGHOUT. NEW FINISHES AND FIXTURES THROUGHOUT.

PERMIT TYPE
ADDITION / STRUCTURAL RENO

SFM, LEVEL OF ALTERATION
LEVEL 4

OWNER:
JAMES SPALT
7229 ZIMPEL ST
NEW ORLEANS LA 70118
JS@NDVRPARTNERS.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER
TBD

STRUCTURAL/CIVIL ENGINEER
AP DESIGN GROUP
JOSHUA JUNEAU, PE
504-410-5322
JJUNEAU@AP-ENG.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-RD2 HISTORIC URBAN TWO-FAMILY RESIDENTIAL
OVERLAY DISTRICT:
• RESIDENTIAL STR IZD
• B&B IZD
• COMMERCIAL STR IZD
• NON-COMMERCIAL SHORT TERM RENTAL SPECIAL EXCEPTION INTERIM ZONING DISTRICT
• UNIVERSITY AREA OFF-STREET PARKING OVERLAY DISTRICT
• UNIVERSITY AREA DESIGN OVERLAY

HDLC DISTRICT: NOHDLC UPTOWN PARTIAL

PROPOSED DEVELOPMENT:
NEW LOT B DIMENSIONS: 47' X 120'

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-A V (000) PROTECTED COMBUSTIBLE

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL , GROSS SF: 5863 (INCLUDING UNDER HOUSE STORAGE)

SPRINKLERED / FIRE ALARM:
YES / YES

APPLICABLE CODES:
• 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
• 2021 INTERNATIONAL MECHANICAL CODE
• 2021 LOUISIANA STATE PLUMBING CODE
• NFPA 70, 2020 NATIONAL ELECTRIC CODE
• 2021 INTERNATIONAL FUEL CODE
• 2021 INTERNATIONAL ENERGY CONSERVATION CODE
• 2021 INTERNATIONAL EXISTING BUILDING CODE

PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT

ZACH SMITH
CONSULTING & DESIGN

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New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

TITLE SHEET

PROJECT STATUS	
Date	01/16/25

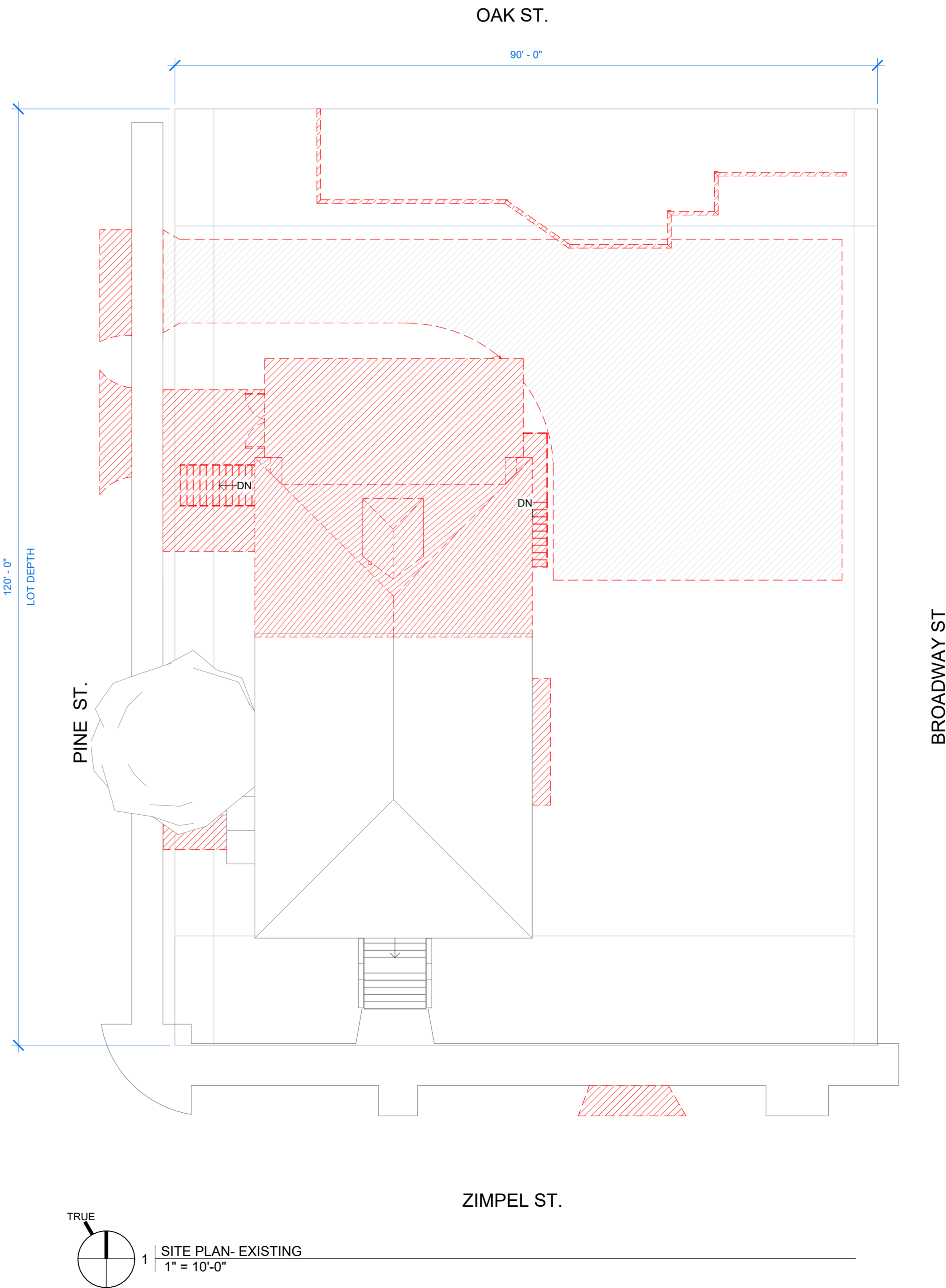
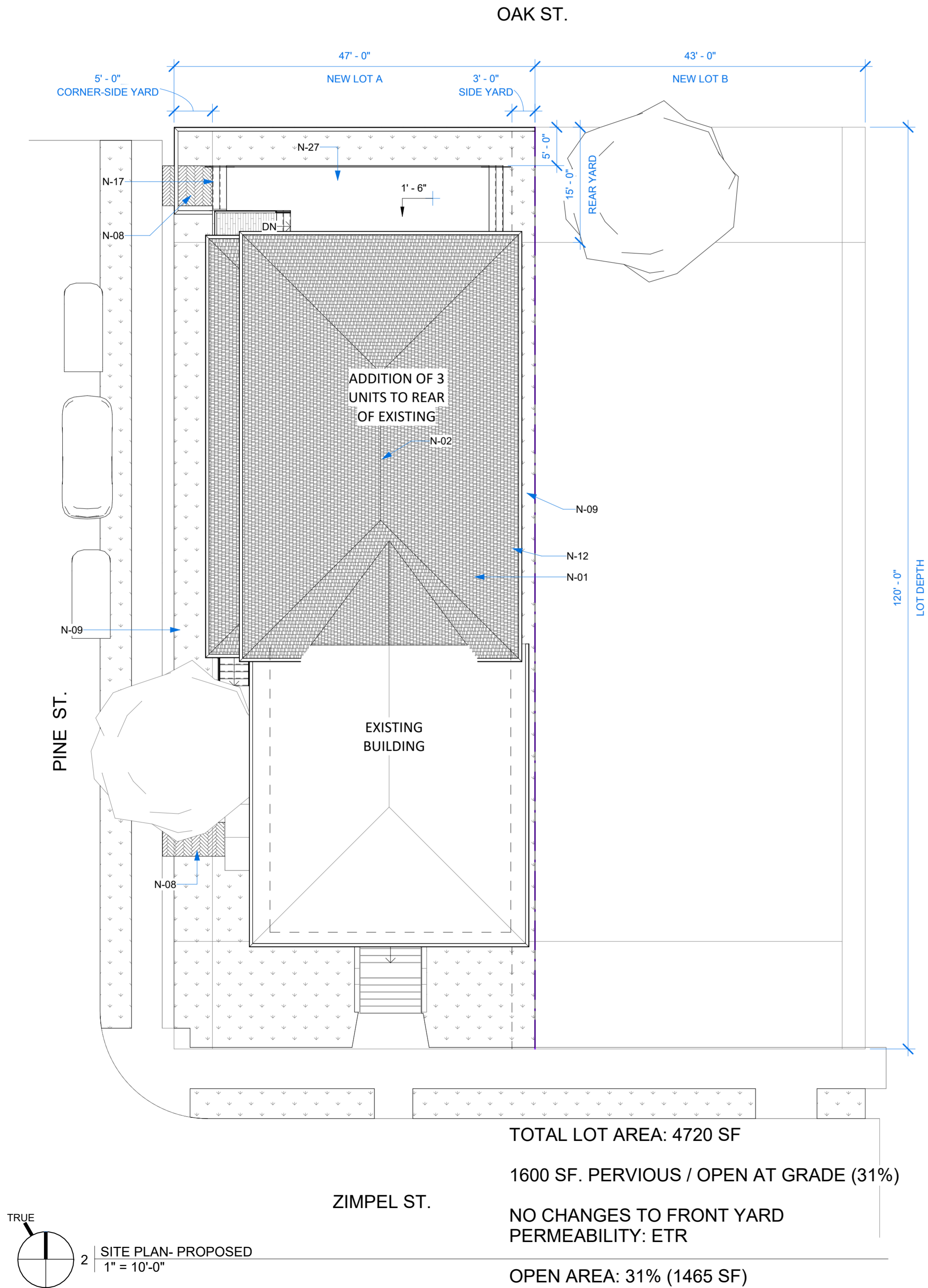
T1.1

KEYNOTES - SHEET	
Key Value	Keynote Text
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N-02	RIDGE VENT AT ROOF, TYP.
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SD AS REQ'D.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3", RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS

DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)



SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

SITE PLAN - EXIST & PROPOSED

PROJECT STATUS	
Date	1.28.2025

A1.1

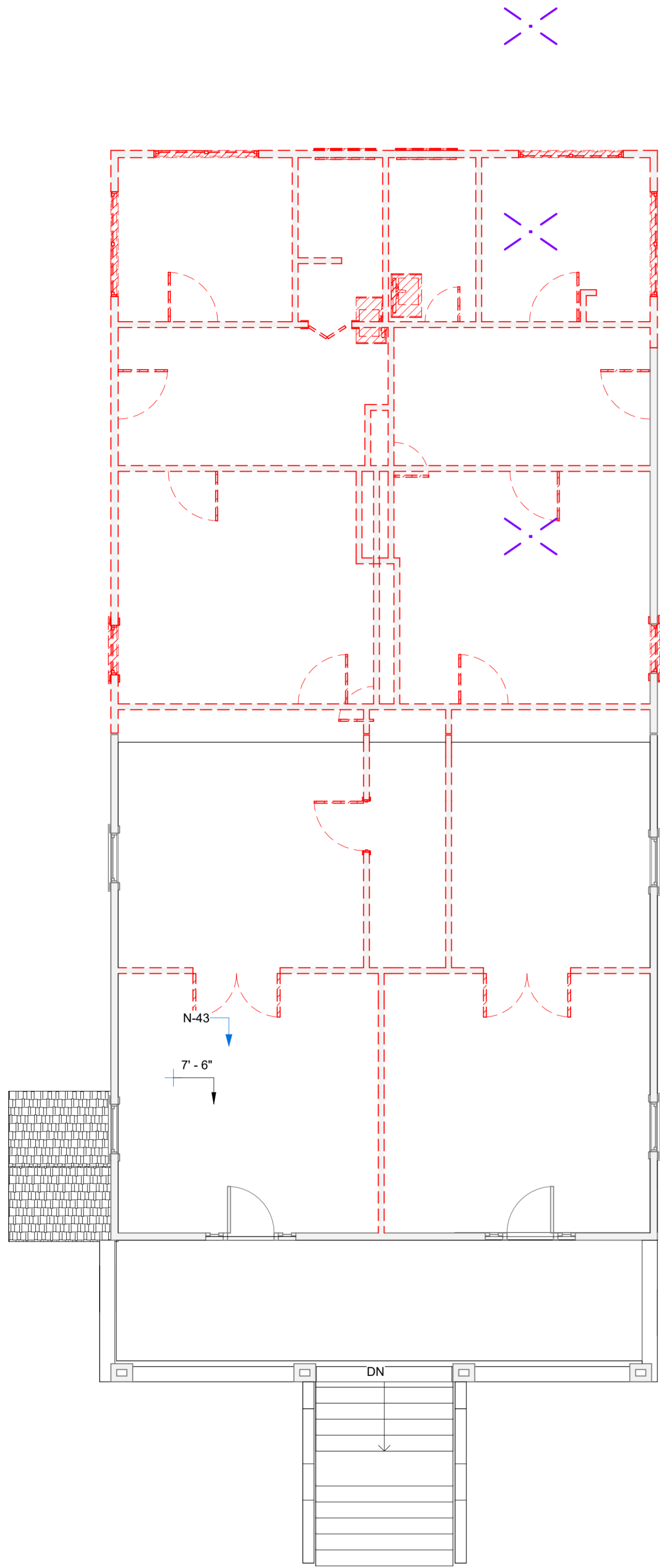
ZACH SMITH
CONSULTING & DESIGN

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New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

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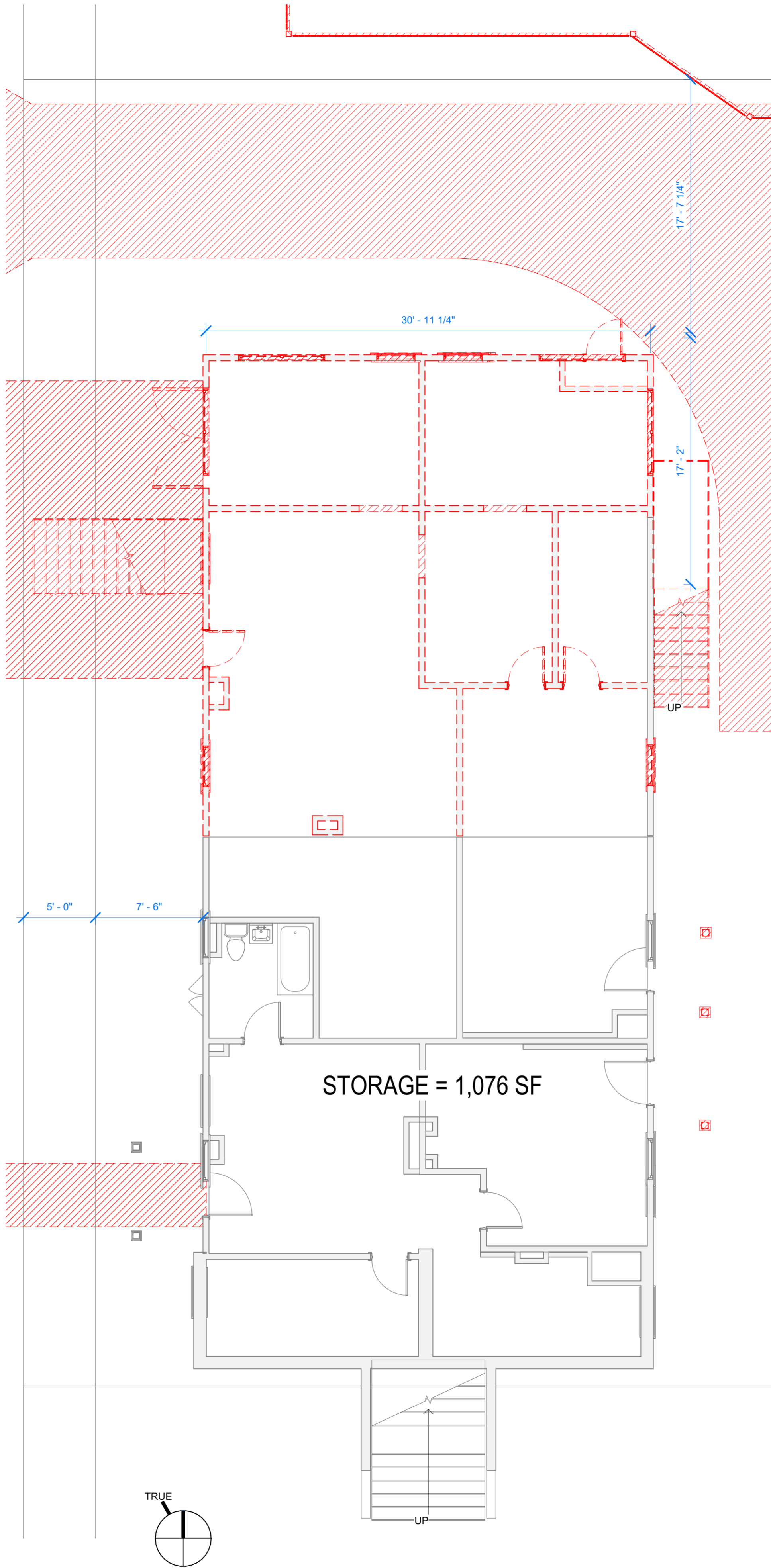
2ND FLOOR

2 | 2ND FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
- CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDIANTE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-43	EXISTING WD. FLOORS TO REMAIN. INFILL WD. FLOORS TO MATCH EXISTING.

SMFA 4PLEX - ADDITION / RENOVATION
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New Orleans LA, 70118

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No.	Description	Date

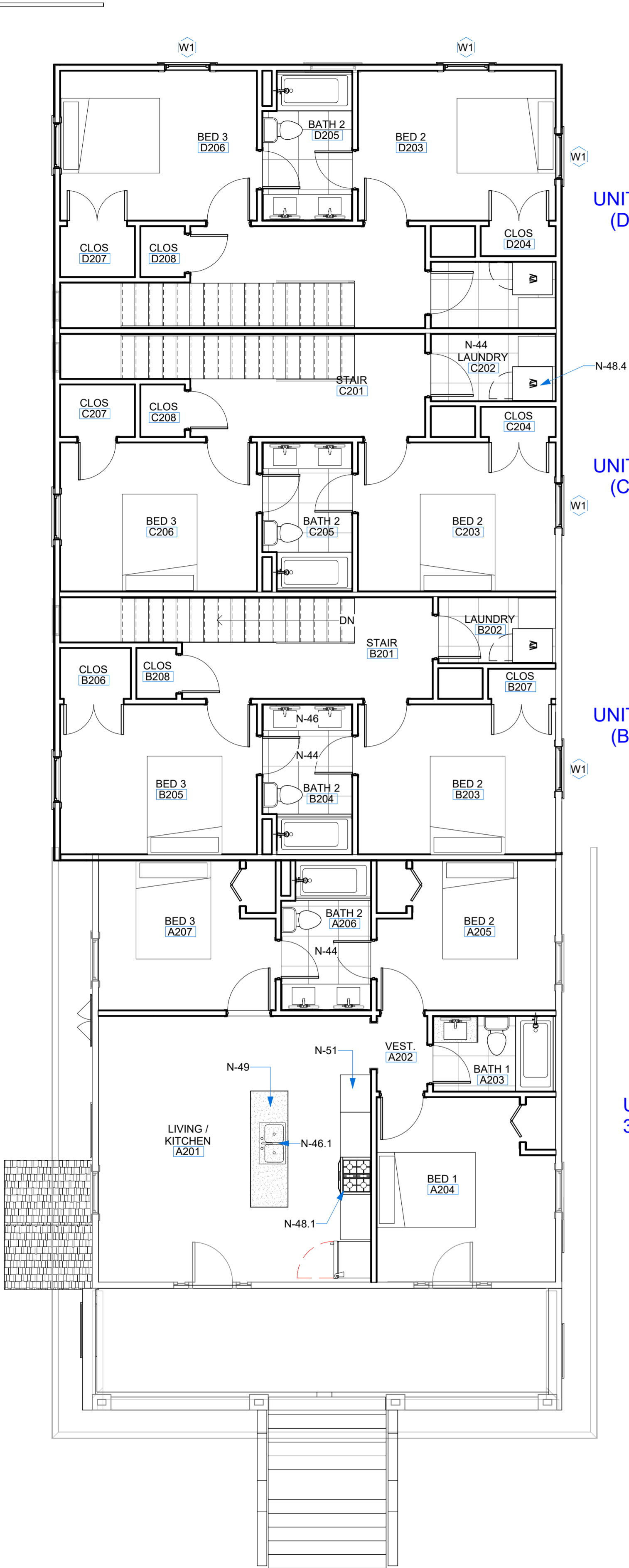
NOT FOR
CONSTRUCTION

FLOOR PLANS -
EXISTING/DEMO

PROJECT STATUS	
Date	1.28.2025

A2.1

3 2ND FLOOR BFE
3/16" = 1'-0"



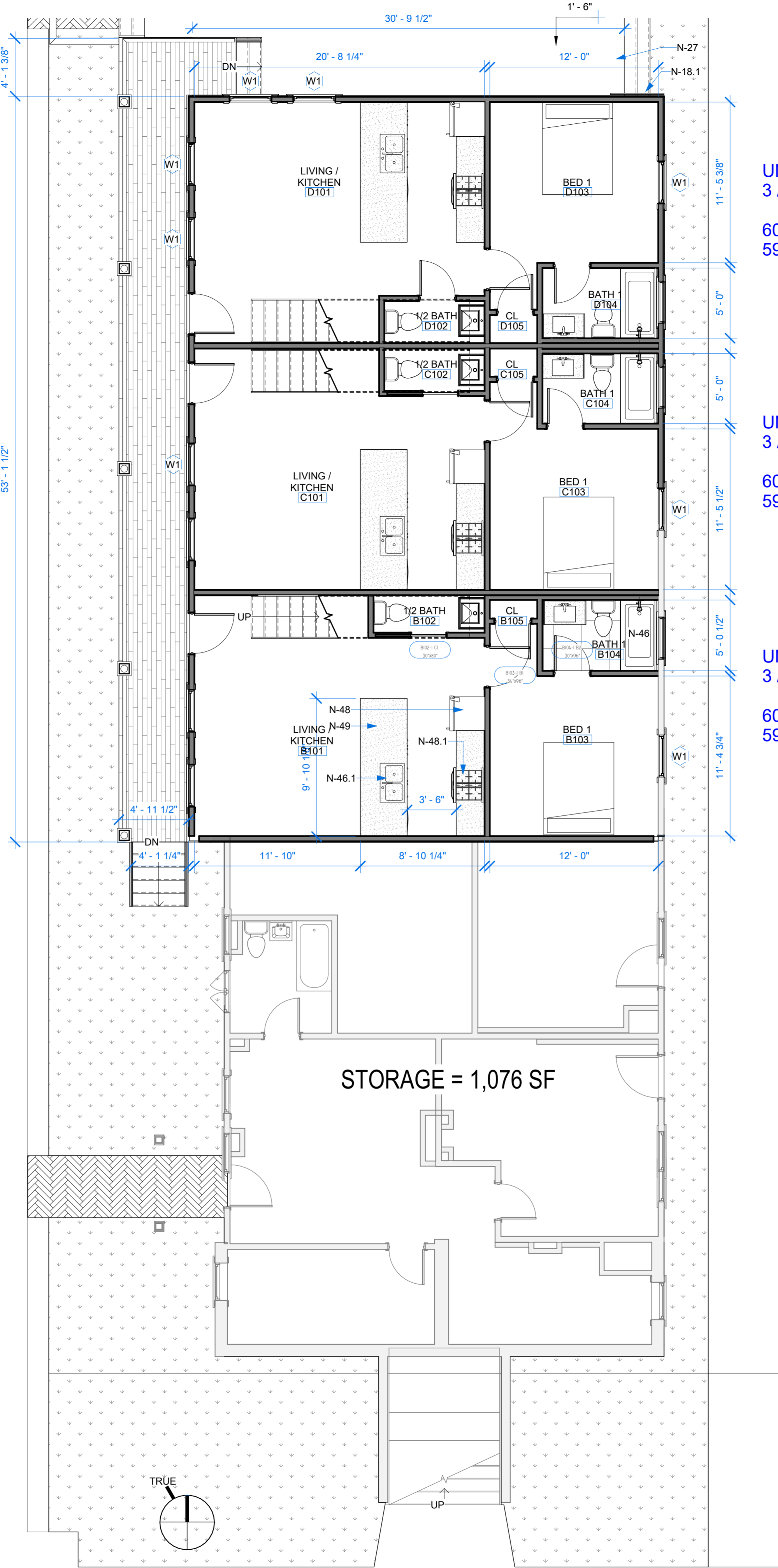
UNIT 1 (A)
3 / 2 = 865 SF

UNIT 2 (B)

UNIT 3 (C)

UNIT 4 (D)

2 1ST FLOOR BFE
3/16" = 1'-0"



STORAGE = 1,076 SF

UNIT 4 (D)
3 / 2.5 = 1194 SF

600 SF (FIRST)
594 SF (SECOND)

UNIT 3 (C)
3 / 2.5 = 1194 SF

600 SF (FIRST)
594 SF (SECOND)

UNIT 2 (B)
3 / 2.5 = 1194 SF

600 SF (FIRST)
594 SF (SECOND)

SECTION 114000 - KITCHEN APPLIANCES
1. GENERAL
1.1 SUMMARY: PROVIDE AND INSTALL KITCHEN APPLIANCES AS SPECIFIED AND SHOWN ON THE DRAWINGS.
1.2 SUBMITTALS: SUBMIT PRODUCT DATA SHEETS FOR EACH APPLIANCE, INCLUDING MANUFACTURER, MODEL NUMBER, AND PERFORMANCE SPECIFICATIONS. PROVIDE INSTALLATION INSTRUCTIONS AND WARRANTY INFORMATION FOR OWNER APPROVAL PRIOR TO PURCHASING.
1.3 QUALITY ASSURANCE: APPLIANCES TO BE FROM MANUFACTURERS WITH A MINIMUM OF 5 YEARS OF INDUSTRY EXPERIENCE AND POSITIVE REVIEWS. ENSURE APPLIANCES COMPLY WITH RELEVANT SAFETY AND ENERGY STANDARDS, INCLUDING UL, ETL, AND ENERGY STAR® RATINGS.
2. PRODUCTS: SEE INDIVIDUAL KEY NOTES FOR PRODUCTS
2.1 PERFORMANCE CRITERIA:
ENERGY EFFICIENCY: ALL APPLIANCES TO MEET OR EXCEED [INSERT SPECIFIC ENERGY EFFICIENCY STANDARDS, E.G., ENERGY STAR®] TO MINIMIZE ENERGY CONSUMPTION AND OPERATIONAL COSTS. DURABILITY: APPLIANCES TO BE CONSTRUCTED OF HIGH-QUALITY MATERIALS FOR LONG-TERM RELIABILITY AND RESISTANCE TO TYPICAL WEAR AND TEAR.
NOISE LEVELS: APPLIANCES TO OPERATE WITHIN ACCEPTABLE NOISE LEVELS, ENSURING MINIMAL DISTURBANCE IN APARTMENT SETTINGS. [INSERT SPECIFIC NOISE LEVELS IF APPLICABLE, E.G., DISHWASHERS ≤ 50 DBA]
EASE OF USE: APPLIANCES TO FEATURE USER-FRIENDLY CONTROLS AND INTERFACES, ENSURING EASE OF OPERATION FOR ALL RESIDENTS.
3. EXECUTION
3.1 INSTALLATION: INSTALL APPLIANCES ACCORDING TO MANUFACTURERS INSTRUCTIONS AN LOCAL CODES. VERIFY PROPER OPERATION AND ADJUST SETTINGS AS NEEDED. ALL POWER/WATER CONNECTORS TO BE PROVIDED.
3.2 TESTING: TEST ALL APPLIANCES TO ENSURE THEY ARE OPERATING CORRECTLY AND EFFICIENTLY.

- BATHROOM FAUCET: B.O.D. MOEN DOUBLE HANDLE CENTERSET BATHROOM FAUCET FROM THE BRANTFORD COLLECTION (VALUE INCLUDE SINK). MODEL: 66818 SINK 30 IN. W X 19 IN. D X 33 IN. IN SINGLE SINK FREESTANDING BATH VANITY IN PEARL GRAY WITH WHITE CULTURED MARBLE TOP
- WATER CLOSET - B.O.D. GLACIER BAY, 12 INCH ROUGH IN TWO-PIECE 1.28 GPF SINGLE FLUSH ELONGATED TOILET IN WHITE SEAT INCLUDED
- COUNTERTOP - 2CM GRANITE W/BACKSPLASH, OWNER TO CHOOSE COLOR
- REFRIGERATOR: B.O.D. LG, 30 IN. W 20 CU. FT. TOP FREEZER REFRIGERATOR W/ MULTI-AIR FLOW AND REVERSIBLE DOOR IN STAINLESS STEEL ENERGY STAR
- KITCHEN SINK: STANDARD 30" SINGLE BOWL UNDERMOUNT KITCHEN SINK, STAINLESS STEEL.
- REFRIGERATOR: B.O.D. FRIGIDAIRE, 30 IN. 5 BURNER ELEMENT FREESTANDING ELECTRIC RANGE IN BLACK WITH EVENTEMP AND STEAM CLEAN
- MICROWAVE: B.O.D. GE, 1.6 CU. FT. OVER-THE-RANGE MICROWAVE IN STAINLESS STEEL, RE-CIRCULATING VENT CONFIGURATION.
- RANGE: B.O.D. GE 30 IN. 4 BURNER ELEMENT FREE-STANDING ELECTRIC RANGE IN STAINLESS STEEL W/STAINLESS KNOBS
- CABINETS: B.O.D. PAINTED WOOD WITH A MINIMUM THICKNESS OF 1/4 INCH FOR DOORS AND 1/2 INCH FOR CABINET BOXES. SOFT CLOSERS AND HARDWARE INCLUDED.
- SHOWER: CUSTOM BUILT SHOWER SURROUND, SCHLUTER-SHOWER SYSTEM WITH CEMENT BOARD SURROUND CLAD IN SUBWAY TILE. FAUCET: B.O.D. DELTA FOUNDATIONS SINGLE-HANDLE 1-SPRAY SHOWER FAUCET IN CHROME (VALUE INCLUDED). PROVIDE 5/16 IN. TEMPERED GLASS SHOWER DOOR, PANEL, AND RELATED HARDWARE.

PRODUCT BASIS OF DESIGN (B.O.D.) SELECTIONS

KEYNOTES - SHEET	
Key Value	Keynote Text
N-18.1	EXTERIOR WD GUARDRAIL @ 36" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4 OVER 1" MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS
N-44	TILE FLOORS AT THIS LOCATION, CONTRACTOR TO COORDINATE SELECTIONS AND GROUT COLOR WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. PROVIDE CEMENT BACKER AS REQ'D AT SHOWER SURROUNDS AND BASE.
N-46	VANITY, SINK, TUB, TOILET, AND PLUMBING FIXTURES TO BE CHOSEN BY OWNER; CONTRACTOR TO COORDINATE WITH OWNER / FIXTURE PROVIDER. CONTRACTOR TO LAYOUT WORK AND MAKE OWNER AWARE OF ANY CLEARANCE ISSUES PRIOR TO INSTALL.
N-46.1	NEW SINK AT COUNTERTOP. COORDINATE SELECTION WITH OWNER, PROVIDE GARBAGE DISPOSAL AND BUTTON (ELEC OUTLET) AT KITCHEN SINKS, TYP. COORDINATE FAUCET SELECTION WITH OWNER.
N-48	APPLIANCES AT THIS LOCATION TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE. CONTRACTOR TO PROVIDE PROTECTION AT APPLIANCES AND FLOOR UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS.
N-48.1	GAS (OR ELEC.) RANGE OVEN, PROVIDE HOOD EXHAUST AT WALL (OR WITH DOWNDRAFT HOOD UNDER JOISTS) GC COORDINATE EXHAUST ROUTING TO EXISTING HOOD VENTS
N-48.4	WASHER AND GAS (OR ELECTRIC) DRYER AT THIS LOCATION; APPLIANCE TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE PRIOR TO PURCHASE AND INSTALL. PROVIDE DRAIN PAN AT UNDERSIDE OF WASHER, CONTRACTOR TO PROVIDE PROTECTION UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS, PROVIDE POWER / OUTLET AND EXHAUST AS REQ'D.
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.
N-51	CABINETRY, STONE, AND FIXTURES TO BE SELECTED BY OWNER; CONTRACTOR TO COORDINATE SELECTIONS & INSTALLATION WITH CABINET, STONE, AND FIXTURE PROVIDERS. PROVIDE PROTECTION FOR EACH AFTER INSTALL.

4 UNITS

3X 3 BED / 2.5 BATH @ 1194 SF INTERIOR
1X 3BED / 2 BATH @ 865 SF (EXISTING FOOTPRINT)

4477 SF LIVING TOTAL (INTERIOR)

300 SF NEW SIDE PORCH
330 SF REAR DECK

5077 SF GROSS

250 SF EXISTING FRONT PORCH
1076 EXISTING GROUND FLOOR STORAGE

No.	Description	Date

NOT FOR
CONSTRUCTION

FLOOR PLANS -
PROPOSED

PROJECT STATUS	
Date	1.28.2025

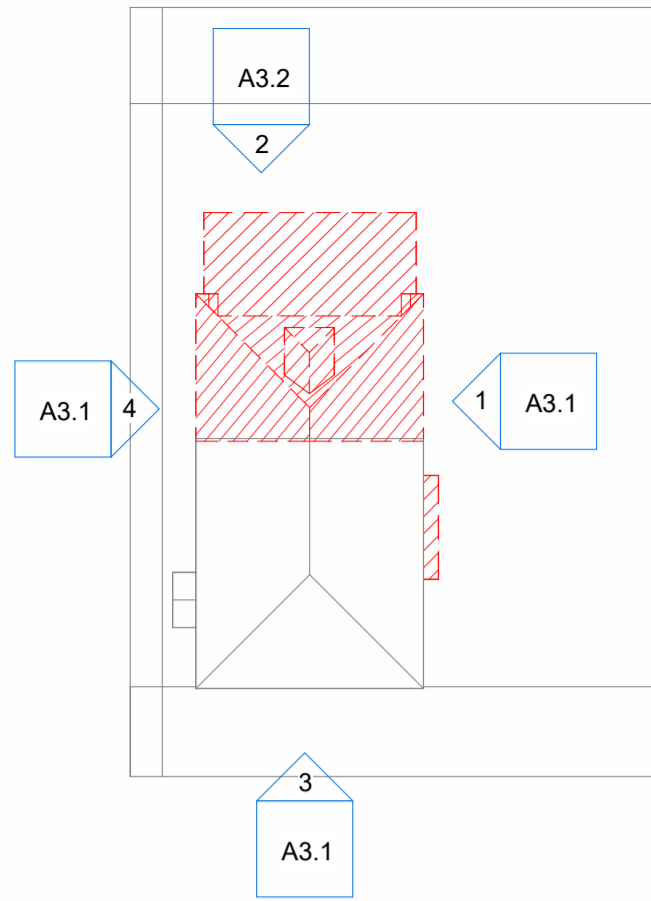
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CONSULTING & DESIGN

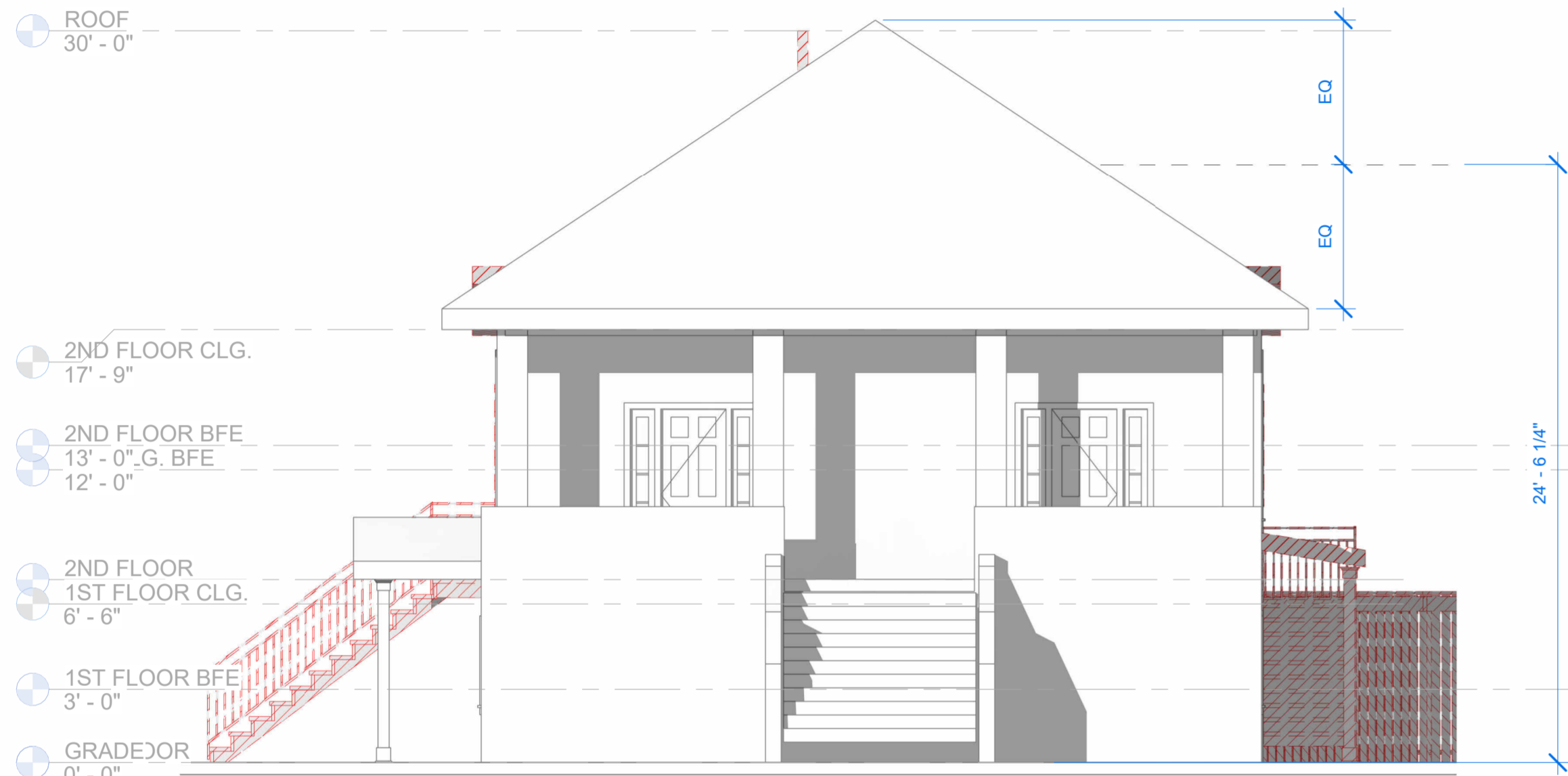
1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

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KEY PLAN - ELEVATION - DEMO



NO DEMO AT FRONT FACADE (0%)

3 | SOUTH ELEVATION - DEMO
3/16" = 1'-0"



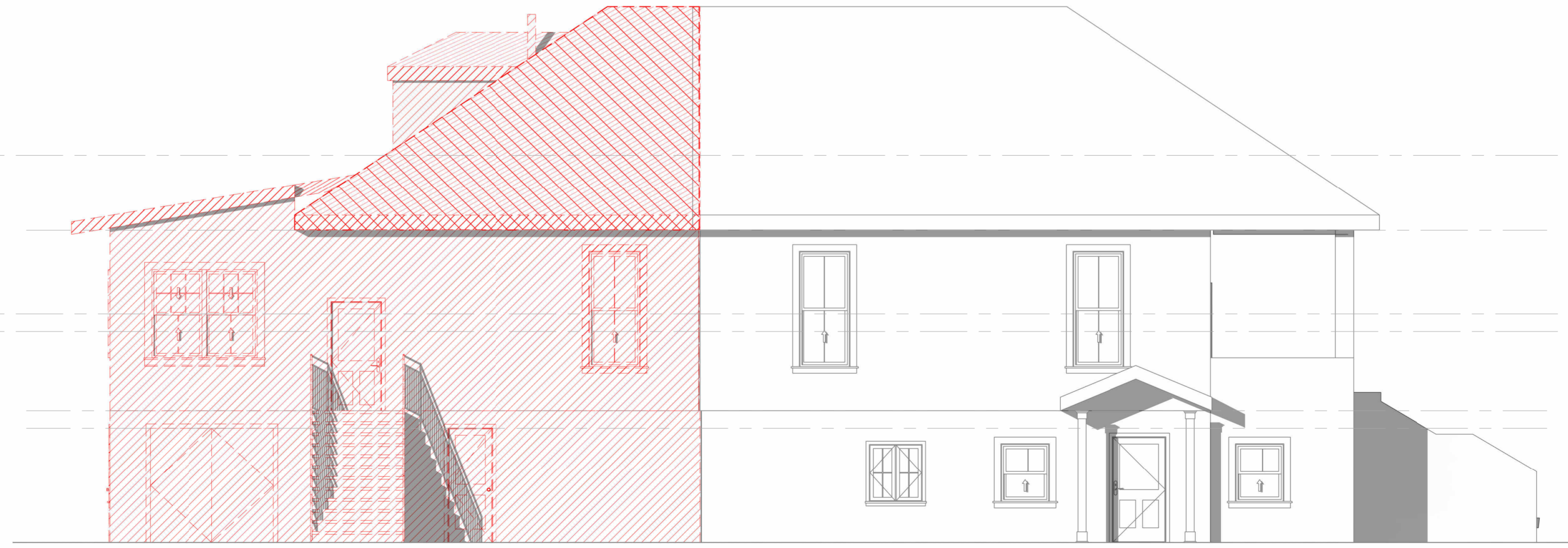
550 SQ FT DEMO (550 SQ FT. FACADE TOTAL) - 100%

2 | NORTH ELEVATION - DEMO
3/16" = 1'-0"



300 SQ FT DEMO (1321 SQ FT. FACADE TOTAL) - 23%

1 | EAST ELEVATION - DEMO
3/16" = 1'-0"



600 SQ FT DEMO (1321 SQ FT. FACADE TOTAL)

4 | WEST ELEVATION - DEMO
3/16" = 1'-0"

DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

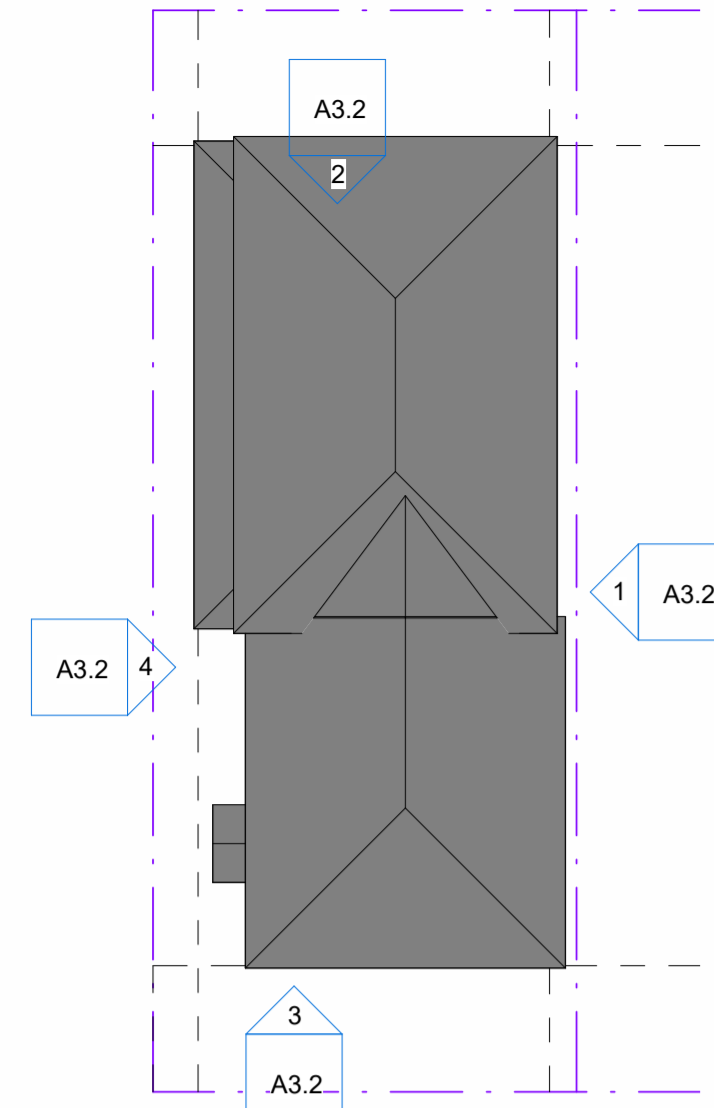
KEYNOTES - SHEET	
Key Value	Keynote Text

No.	Description	Date

NOT FOR
CONSTRUCTION

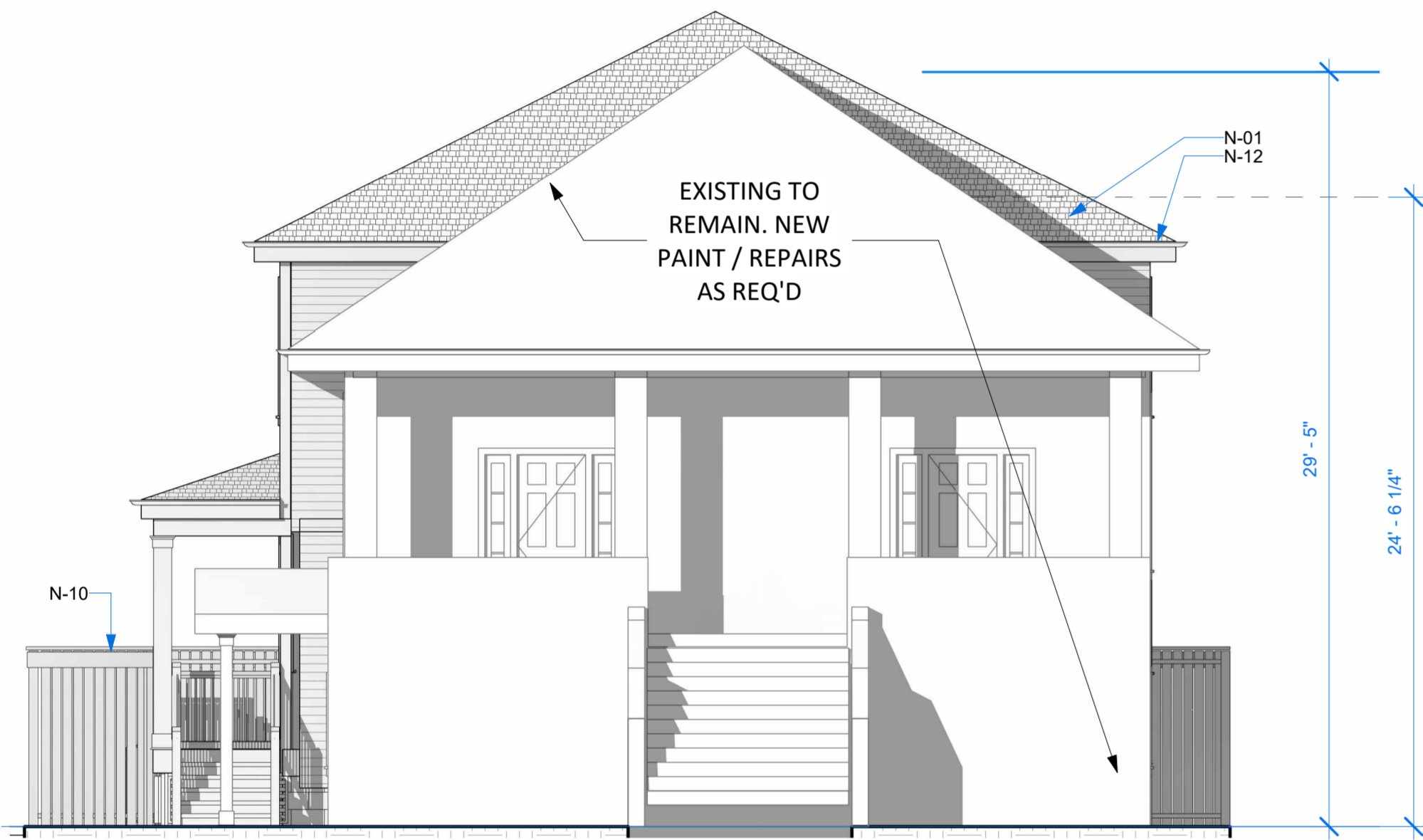
EXTERIOR
ELEVATIONS -
EXISTING/DEMO

PROJECT STATUS	
Date	1.28.2025



KEY PLAN - ELEVATION

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	EXISTING ROOF RECENTLY REPLACED. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS, RE: MEP.
N-02	RIDGE VENT AT ROOF, TYP.
N-10	NEW WOOD FENCE, RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER. (HDL.C DETAILING IF REQUIRED)
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-24	NEW WINDOW, RE: WINDOW SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD) PROVIDE WIND BORN DEBRIS PROTECTION AS REQUIRED BY CODE.
N-42.1	TREATED WD. SKIRT BOARD WITH METAL DRIP.



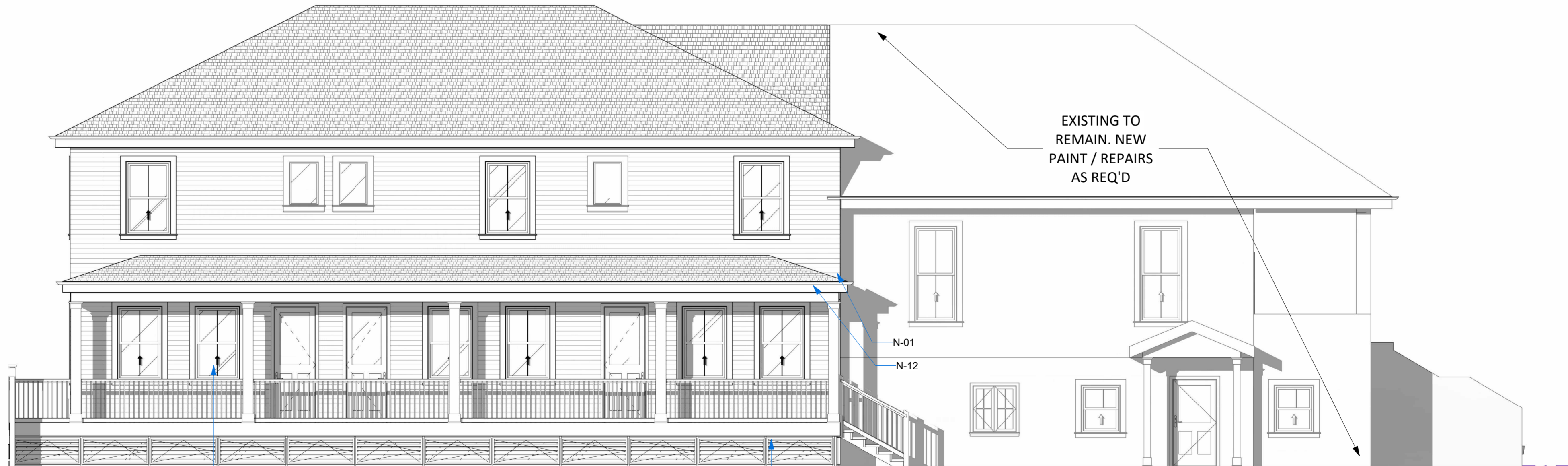
3 | SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"



1 | EAST ELEVATION - PROPOSED
3/16" = 1'-0"



2 | NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



4 | WEST ELEVATION - PROPOSED
3/16" = 1'-0"

No.	Description	Date

NOT FOR
CONSTRUCTION

EXTERIOR
ELEVATIONS -
PROPOSED

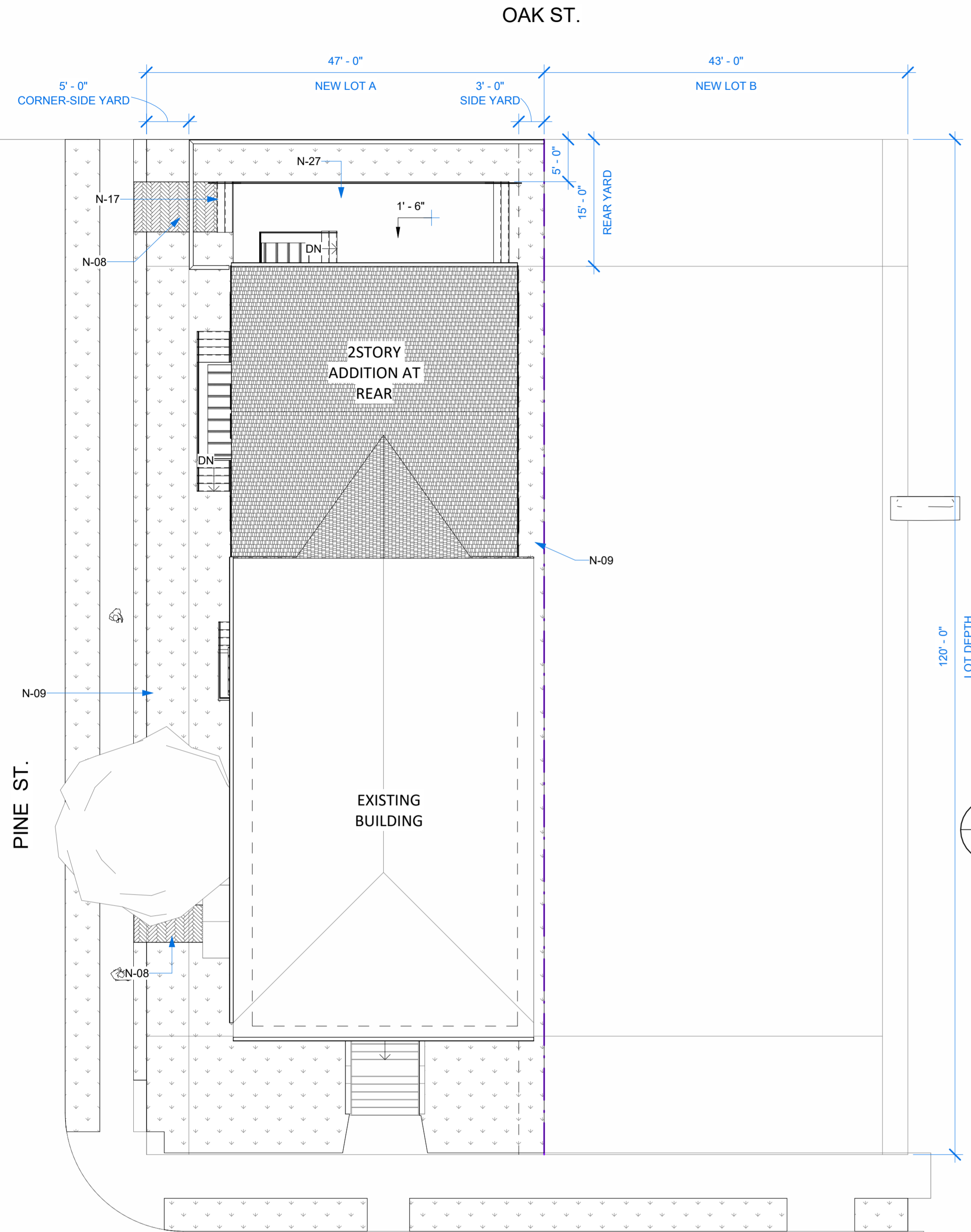
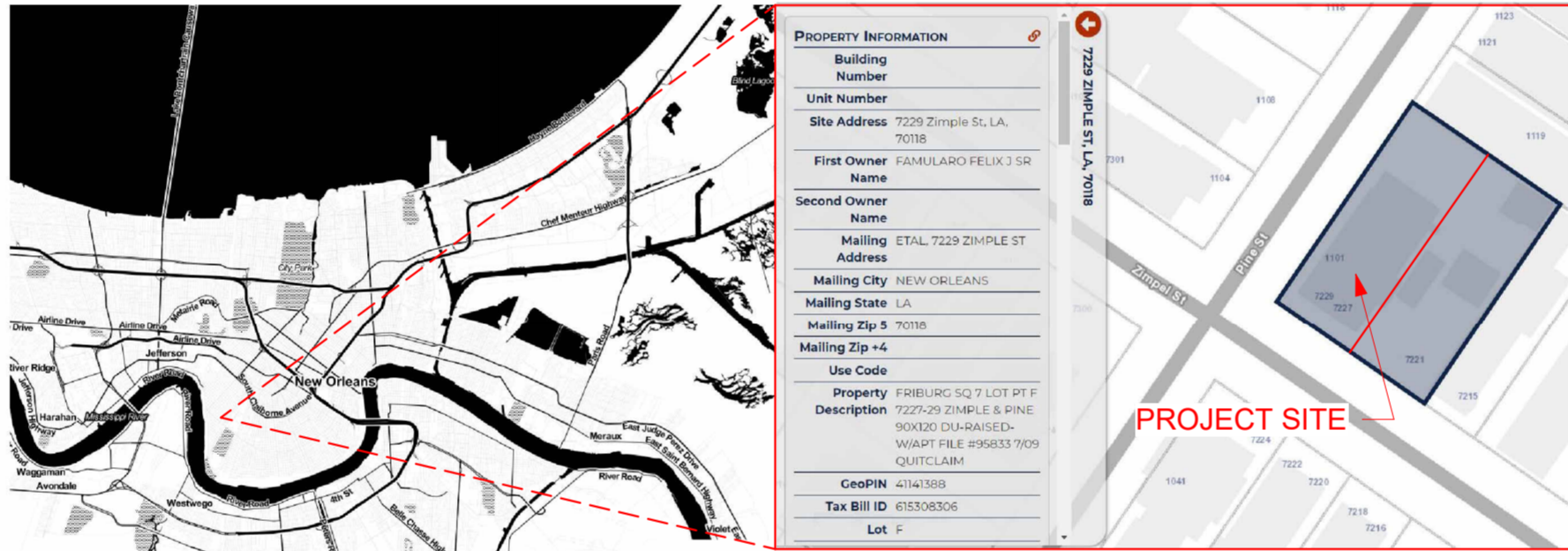
PROJECT STATUS	
Date	1.28.2025

OPTION 3

CPC DRAWINGS

SMFA 4PLEX - ADDITION / RENOVATION

7229 Zimpel St.
New Orleans LA, 70118



KEYNOTES - SHEET	
Key Value	Keynote Text
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SOD AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS

Energy Code Compliance Summary IECC 2021		PARISH	CLIMATE ZONE 2A FOR ORLEANS
COMPLIANCE METHOD		CHECK	
PRESCRIPTIVE		✓	
RESCHECK (http://www.energycodes.gov/rescheck)			
COMCHECK (http://www.energycodes.gov/comcheck)			
BUILDING AREA		VALUE	
TOTAL AREA (SQ FT) OF CONDITIONED SPACE		4477	
INSULATION VALUES (R40Z)		ENTER R VALUE	
CEILING/ROOF		R-38	
WALLS		R-13	
BASEMENT		/	
FLOOR		R-13	
SLAB		/	
CRAWLSPACE		/	
HEATING EQUIPMENT		EFFICIENCY (BTU/S/RATING)	
ELECTRIC		TBD. SEE GENERAL NOTE 1 BELOW.	
GAS		TBD. SEE GENERAL NOTE 1 BELOW.	
COOLING EQUIPMENT		EFFICIENCY (BTU/SEER)	
TBD. SEE GENERAL NOTE 1 BELOW.		/ GREATER THAN OR EQUAL TO 10 HSPF RE SEER AIR SOURCE HEAT PUMP / GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP.	
FENESTRATION U VALUE		U-VALUE	
40 MAX.			
FENESTRATION SHGC		SHGC	
25 MAX.			
SKYLIGHT U VALUE		U-VALUE	
N/A			

GENERAL NOTES:
1. Missing information regarding A/C and heating equipment and efficiency to be determined by sub-contractor according to Heat Load Manual / calculations (to be submitted prior to mechanical inspection.)

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A3.3	NEIGHBORHOOD MASSING	03/25/25			
ARCHITECTURAL					
A1.1	SITE PLAN - EXIST & PROPOSED	1.28.2025			
A2.1	FLOOR PLANS - EXISTING/DEMO	1.28.2025			
A2.2	FLOOR PLANS - PROPOSED	1.28.2025			
A3.1	EXTERIOR ELEVATIONS - EXISTING/DEMO	1.28.2025			
A3.2	EXTERIOR ELEVATIONS - PROPOSED	1.28.2025			
TITLE					
T1.1	TITLE SHEET	01/16/25			
ARCHITECTURE					
ASK-1	PRESENTATION PLANS	01/16/25			

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
EXISTING MULTI FAMILY BUILDING CONVERTED INTO SMFA AFFORDABLE 4- PLEX. 3 NEW UNITS ON REAR. LESS THAN 50% DEMO OF EXISTING ROOF. LESS THAN 50% DEMO OF SIDES AND REAR. EXISTING FRONT FACADE TO REMAIN. NEW MEP THROUGHOUT. NEW FINISHES AND FIXTURES THROUGHOUT

PERMIT TYPE
ADDITION / STRUCTURAL RENO

SFM, LEVEL OF ALTERATION
LEVEL 4

OWNER:
JAMES SPALT
7229 ZIMPEL ST
NEW ORLEANS LA 70118
JS@NDVRPARTNERS.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER
TBD

STRUCTURAL/CIVIL ENGINEER
AP DESIGN GROUP
JOSHUA JUNEAU, PE
504-410-5322
JJUNEAU@AP-ENG.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-RD2 HISTORIC URBAN TWO-FAMILY RESIDENTIAL
OVERLAY DISTRICT:
• RESIDENTIAL STR IZD
• B&B IZD
• COMMERCIAL STR IZD
• NON-COMMERCIAL SHORT TERM RENTAL SPECIAL EXCEPTION INTERIM ZONING DISTRICT
• UNIVERSITY AREA OFF-STREET PARKING OVERLAY DISTRICT
• UNIVERSITY AREA DESIGN OVERLAY

HDLC DISTRICT: NOHDLC UPTOWN PARTIAL

PROPOSED DEVELOPMENT:
NEW LOT B DIMENSIONS: 47' X 120'

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-A V (000) PROTECTED COMBUSTIBLE

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL , GROSS SF: 6026 (INCLUDING UNDER HOUSE STORAGE)

SPRINKLERED / FIRE ALARM:
YES / YES

APPLICABLE CODES:
• 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
• 2021 INTERNATIONAL MECHANICAL CODE
• 2021 LOUISIANA STATE PLUMBING CODE
• NFPA 70, 2020 NATIONAL ELECTRIC CODE
• 2021 INTERNATIONAL FUEL CODE
• 2021 INTERNATIONAL ENERGY CONSERVATION CODE
• 2021 INTERNATIONAL EXISTING BUILDING CODE

PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT

ZACH SMITH
CONSULTING & DESIGN

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New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

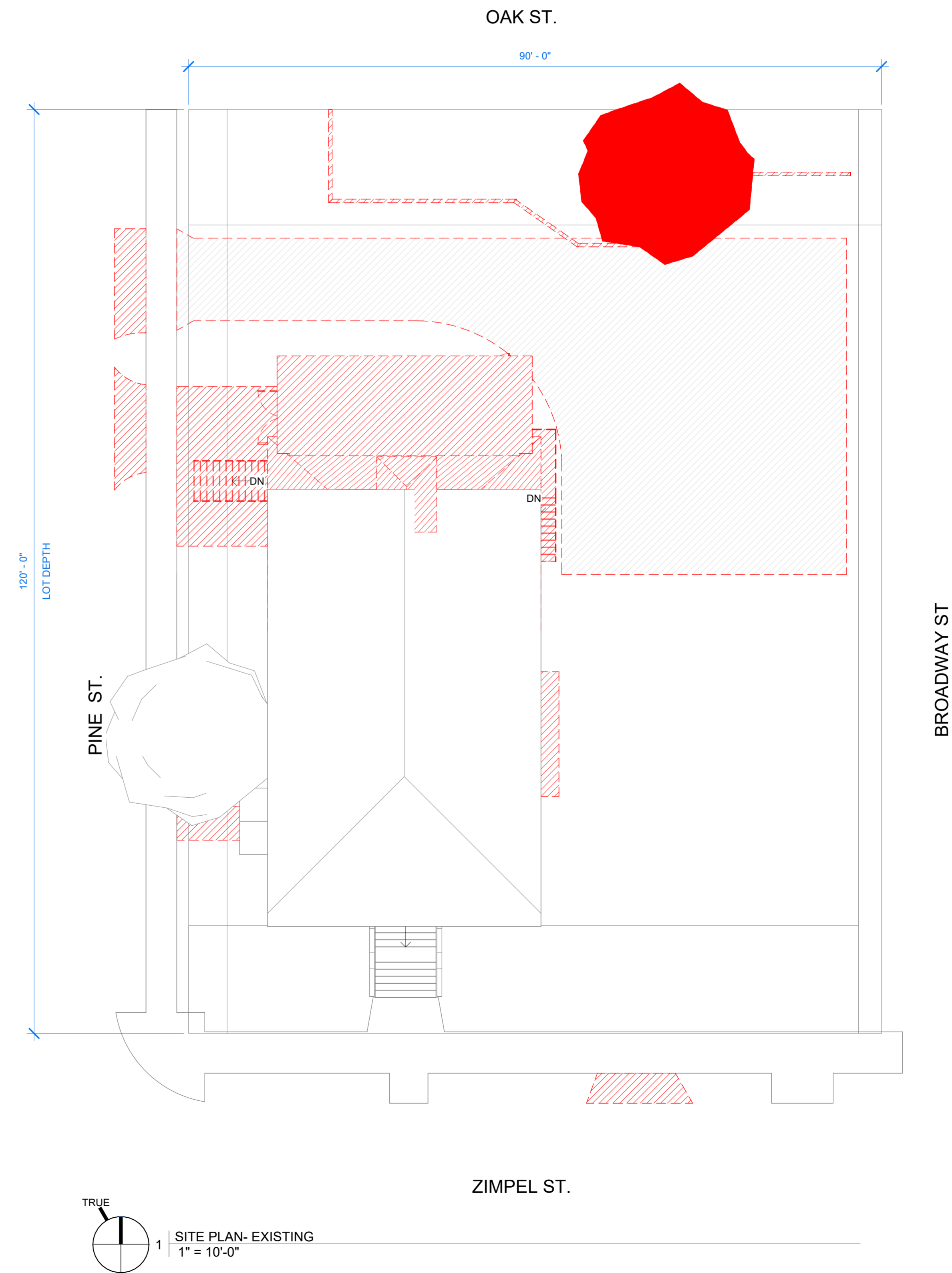
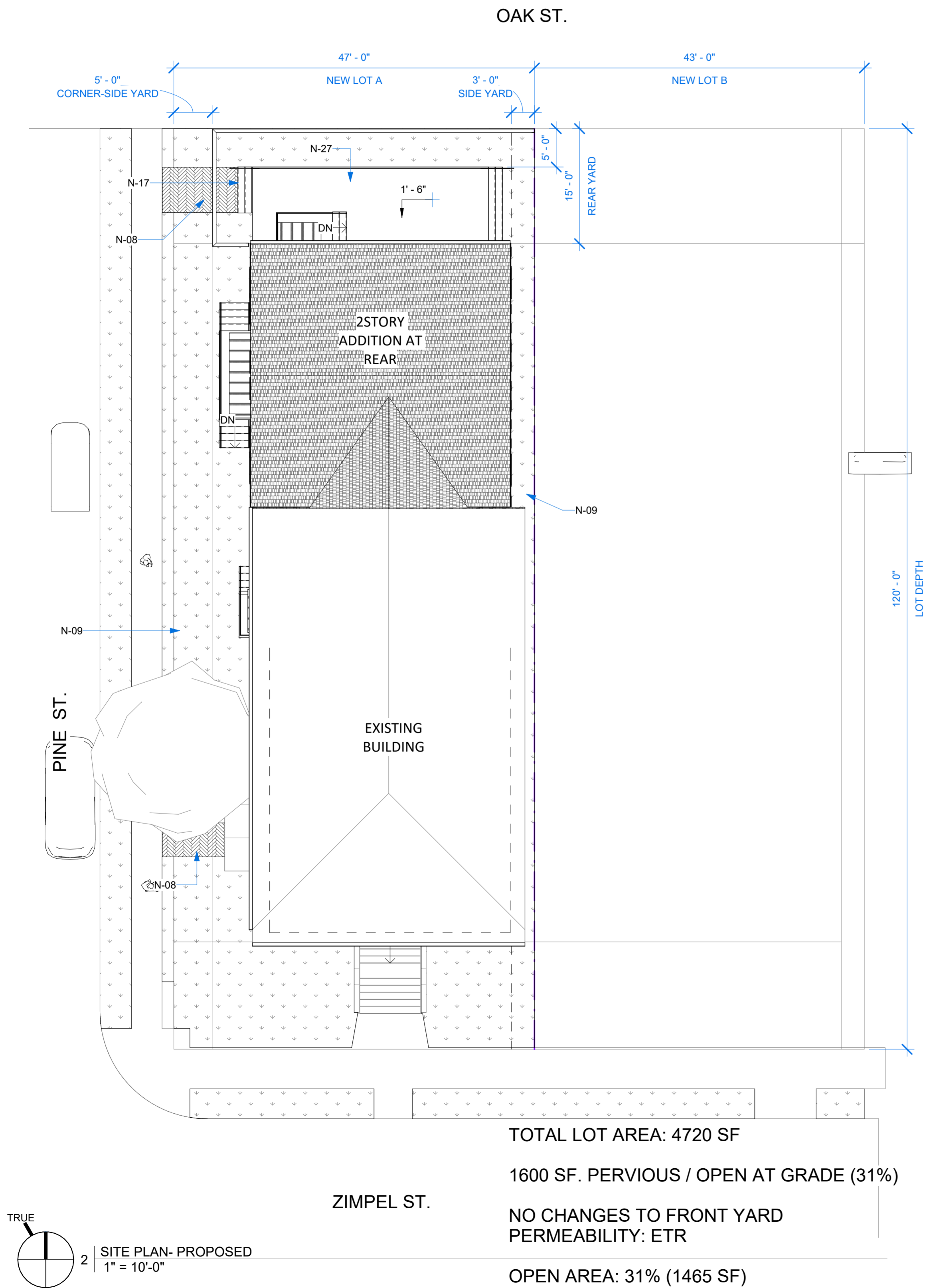
NOT FOR
CONSTRUCTION

TITLE SHEET

PROJECT STATUS	
Date	01/16/25

T1.1

KEYNOTES - SHEET	
Key Value	Keynote Text
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SOD AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3"; RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS



DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

SITE PLAN - EXIST & PROPOSED

PROJECT STATUS	
Date	1.28.2025

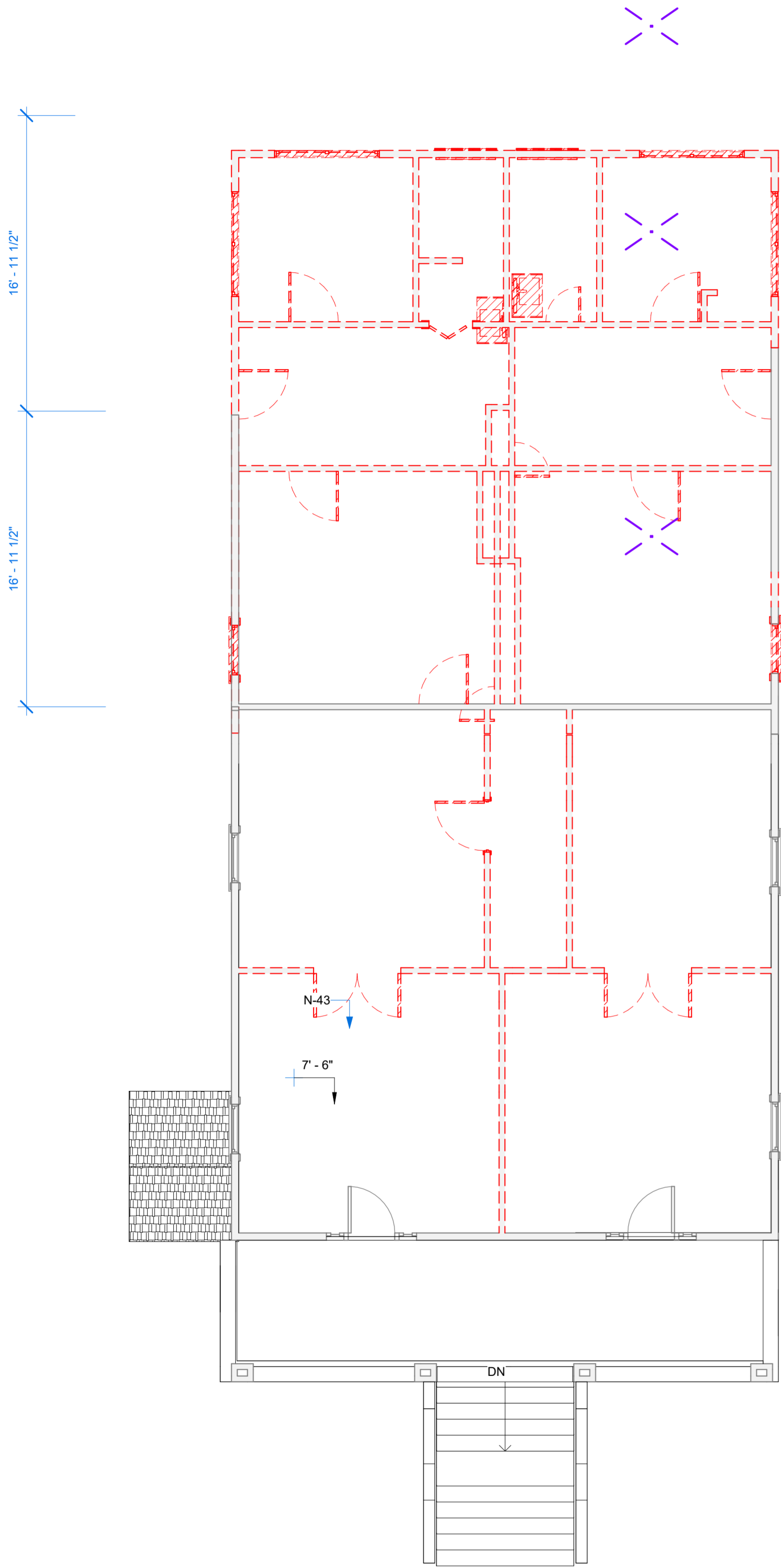
ZACH SMITH
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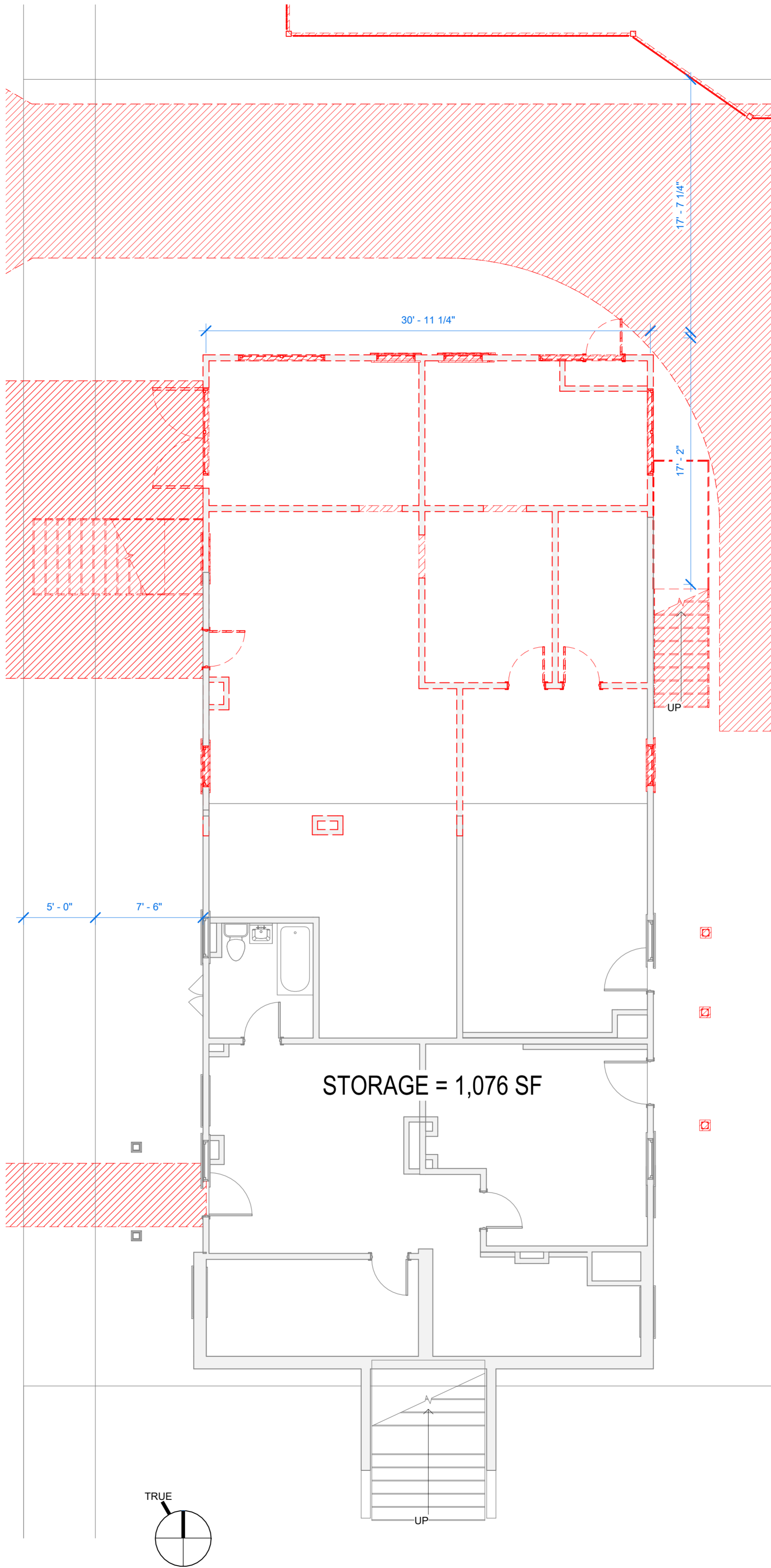
2ND FLOOR

2 | 2ND FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
- CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDIANTE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-43	EXISTING WD. FLOORS TO REMAIN. INFILL WD. FLOORS TO MATCH EXISTING.

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

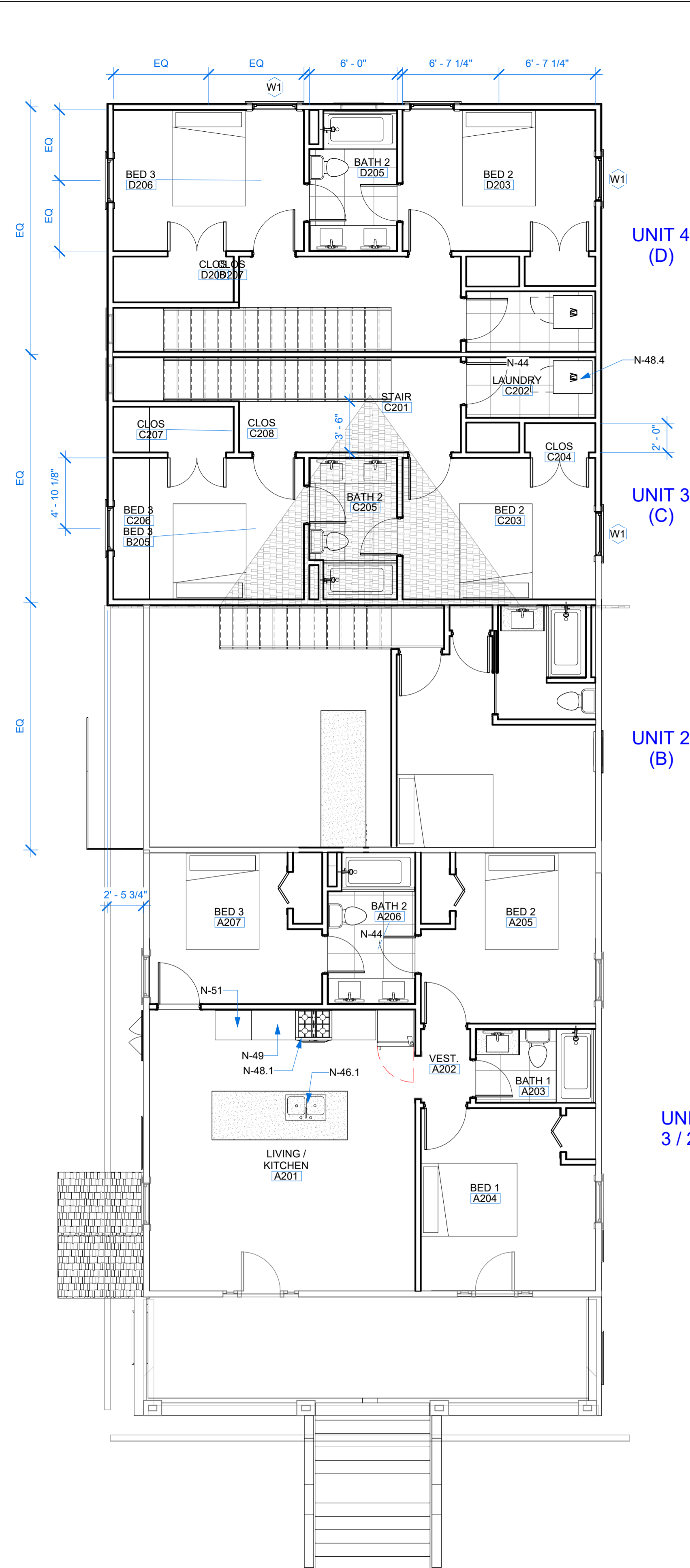
FLOOR PLANS -
EXISTING/DEMO

PROJECT STATUS	
Date	1.28.2025

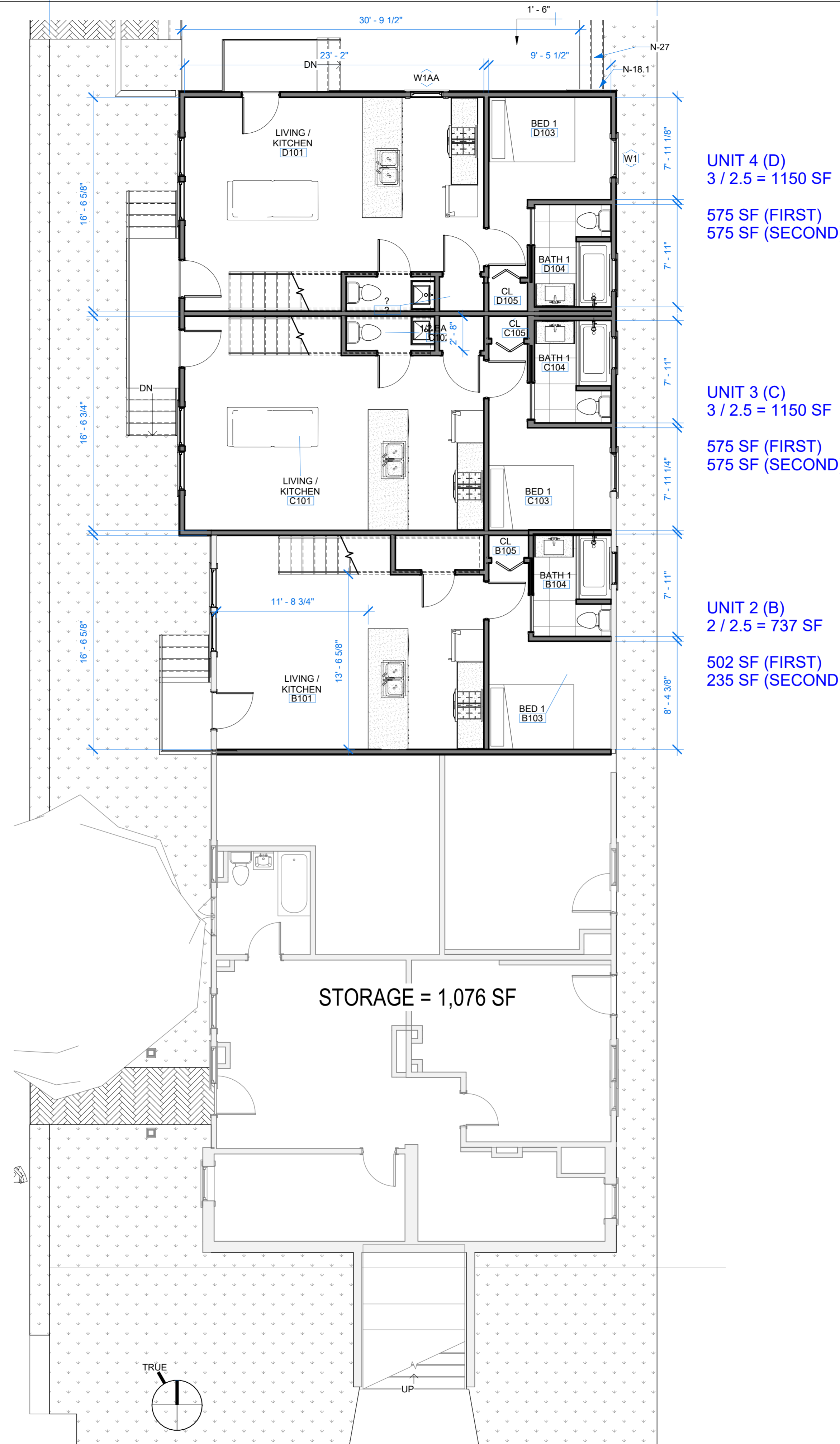
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3	2ND FLOOR BFE 3/16" = 1'-0"
---	--------------------------------



2 | 1ST FLOOR BFE
3/16" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-18.1	EXTERIOR WD GUARDRAIL @ 36" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT
N-27	KENTAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3" RE: STRUCT.) SLOPE NEAR DECKING TO DRAIN (1/4" OVER 1 MIN.) PROVIDE ICE AND WATER SHEILD AND FLASHING AS REQ'D. RE: DETAILS
N-44	TILE FLOORS AT THIS LOCATION, CONTRACTOR TO COORDINATE SELECTIONS AND GROUT COLOR WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. PROVIDE CEMENT BACKER AS REQ'D AT SHOWER SURROUNDS AND BASE.
N-46.1	NEW SINK AT COUNTERTOP COORDINATE SELECTION WITH OWNER. PROVIDE GARBAGE DISPOSAL AND BURNER SLEEVE OUTLET AT KITCHEN SINKS. TYP. COORDINATE FAUCET SELECTION WITH OWNER.
N-48.1	GAS (OR ELEC.) RANGE OVEN PROVIDE HOOD EXHAUST AT WALL (OR WITH DOWNDRAFT HOOD UNDER SINKS) GC TO COORDINATE ELEVATION TO EXISTING HOOD UNITS
N-48.4	WASHER AND GAS (OR ELECTRIC) DRYER AT THIS LOCATION, APPLANCE TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE PRIOR TO PURCHASE AND INSTALL. PROVIDE DRAIN PAN AT UNDERSIDE OF WASHER, CONTRACTOR TO PROVIDE PROTECTION UNTIL FINAL COMPLETION, TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS. PROVIDE POWER OUTLET AND EXHAUST AS REQ'D.
N-49	COUNTERTOP, COORDINATE SELECTION WITH OWNER.
N-51	CABINETS, STONE, AND FIXTURES TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE SELECTIONS & INSTALLATION WITH CABINET, STONE, AND FIXTURE PROVIDERS PROVIDE PROTECTION FOR EACH AFTER INSTALL.

4 UNITS

2X 3 BED / 2.5 BATH @ 1150 SF INTERIOR
1X 2 BED / 2.5 BATH @ 737 SF INTERIOR
1X 3BED / 2 BATH @ 950 SF (EXISTING FOOTPRINT)

3987 SF LIVING TOTAL (INTERIOR)

330 SF REAR DECK

5030 SF GROSS

250 SF EXISTING FRONT PORCH
1076 EXISTING GROUND FLOOR STORAGE

UNIT 4 (D)
3 / 2.5 = 1150 SF

575 SF (FIRST)
575 SF (SECOND)

UNIT 3 (C)
3 / 2.5 = 1150 SF

575 SF (FIRST)
575 SF (SECOND)

UNIT 2 (B)
2 / 2.5 = 737 SF

502 SF (FIRST)
235 SF (SECOND)

STORAGE = 1,076 SF

SECTION 114000 - KITCHEN APPLIANCES

3. GENERAL

1. SUMMARY: PROVIDE AND INSTALL KITCHEN APPLIANCES AS SPECIFIED AND SHOWN ON THE DRAWINGS.

2. SUBMITTALS: SUBMIT PRODUCT DATA SHEETS FOR EACH APPLIANCE, INCLUDING MANUFACTURER, MODEL NUMBER, AND PERFORMANCE SPECIFICATIONS, PROVIDE INSTALLATION INSTRUCTIONS AND WARRANTY INFORMATION FOR OWNER APPROVAL PRIOR TO PURCHASING. QUALITY ASSURANCE: APPLIANCES TO BE FROM MANUFACTURERS WITH A MINIMUM OF 5 YEARS WARRANTY EXPERIENCE AND POSITIVE REVIEWS. ENSURE APPLIANCES COMPLY WITH RELEVANT SAFETY AND ENERGY STANDARDS, INCLUDING UL, ETL, AND ENERGY STAR RATINGS.

3. PRODUCTS: SEE INDIVIDUAL KEY NOTES FOR PRODUCTS

2.1 PERFORMANCE CRITERIA:

A. ENERGY EFFICIENCY: APPLIANCES TO MEET OR EXCEED [INSERT SPECIFIC ENERGY EFFICIENCY STANDARDS, E.G., ENERGY STAR®] TO MINIMIZE ENERGY CONSUMPTION AND OPERATIONAL COSTS

B. DURABILITY: APPLIANCES TO BE CONSTRUCTED OF HIGH-QUALITY MATERIALS FOR LONG-TERM RELIABILITY AND RESISTANCE TO TYPICAL WEAR AND TEAR.

C. NOISE LEVELS: APPLIANCES TO OPERATE WITHIN ACCEPTABLE NOISE LEVELS, ENSURING MINIMAL DISTURBANCE IN ADJACENT SPACES. [INSERT SPECIFIC NOISE LEVELS IF APPLICABLE, E.G., DISHWASHERS ≤ 50 DBA]

D. EASE OF USE: APPLIANCES TO FEATURE USER-FRIENDLY CONTROLS AND INTERFACES, ENSURING EASE OF OPERATION FOR ALL RESIDENTS.

3. EXECUTION

3.1 INSTALLATION: INSTALL APPLIANCES ACCORDING TO MANUFACTURERS' INSTRUCTIONS AND LOCAL CODES. VERIFY PROPER OPERATION AND ADJUST SETTINGS AS NEEDED. ALL POWER/WATER CONNECTORS TO BE PROVIDED BY OTHER TRADES.


3.2 TESTING: TEST ALL APPLIANCES TO ENSURE THEY ARE OPERATING CORRECTLY AND EFFICIENTLY.

- 1 BATHROOM FAUCET: B.O.D. MOEN DOUBLE HANDLE CENTERSET BATHROOM FAUCET FROM THE BRANTFORD COLLECTION (VALVE INCLUDED). MODEL: 66610 & SINK BASIN BOD: 30 W X 19 IN. D X 33 IN. H SINGLE SINK FREESTANDING BATH VANY IN PEARL GRAY WITH WHITE CULTURED MARBLE TOP
- 2 WATER CLOSET - B.O.D. GLACIER BAY, 12 INCH ROUGH IN TWO-PIECE 1.28 GPF SINGLE FLUSH ELONGATED TOILET IN WHITE SEAT INCLUDED
- 3 COUNTERTOP - 2CM GRANITE W/BACKSPLASH, OWNER TO CHOOSE COLOR
- 4 REFRIGERATOR: B.O.D. LG. 30 IN. W 20 CU. FT. TOP FREEZER REFRIGERATOR W/ MULTI-AIR FLOW AND REVERSIBLE DOOR IN STAINLESS STEEL ENERGY STAR
- 5 KITCHEN SINK: STANDARD 30" SINGLE BOWL UNDERMOUNT KITCHEN SINK. STAINLESS STEEL.
- 6 REFRIGERATOR: B.O.D. FRIGIDAIRE, 30 IN S BURNER ELEMENT FREESTANDING ELECTRIC RANGE IN BLACK WITH EVENTMENT AND STEAM CLEAN
- 7 MICROWAVE: B.O.D. GE, 1.6 CU. FT. OVER-THE-RANGE MICROWAVE IN STAINLESS STEEL. RE-CIRCULATING VENT WITH 4 BURNER ELEMENT
- 8 RANGE: B.O.D. GE 30 IN 4 BURNER ELEMENT FREE-STANDING ELECTRIC RANGE IN STAINLESS STEEL W/STAINLESS KNOBS
- 9 CABINETS: B.O.D. PAINTED WOOD WITH A MINIMUM THICKNESS OF ¾ INCH FOR DOORS AND ½ INCH FOR CABINET BOXES. SOFT CLOSERS AND HARDWARE INCLUDED.
- 10 SHOWER: CUSTOM BUILT T SHOWER SURROUND. SCHLUTER-SHOWER SYSTEM WITH CEMENT BOARD SURROUND CLAD IN SUBWAY TILE. FAUCET: B.O.D. DELTA FOUNDATIONS SINGLE-HANDLE 1-SPRAY SHOWER FAUCET IN CHROME (VALVE INCLUDED). PROVIDE 5/8 IN. TEMPERED GLASS SHOWER DOOR, PANEL, AND RELATED HARDWARE.

PRODUCT BASIS OF DESIGN (B.O.D.) SELECTIONS

SMFA 4PLEX - ADDITION / RENOVATION

7229 Zimpel St.
New Orleans LA, 70118



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No.	Description	Date

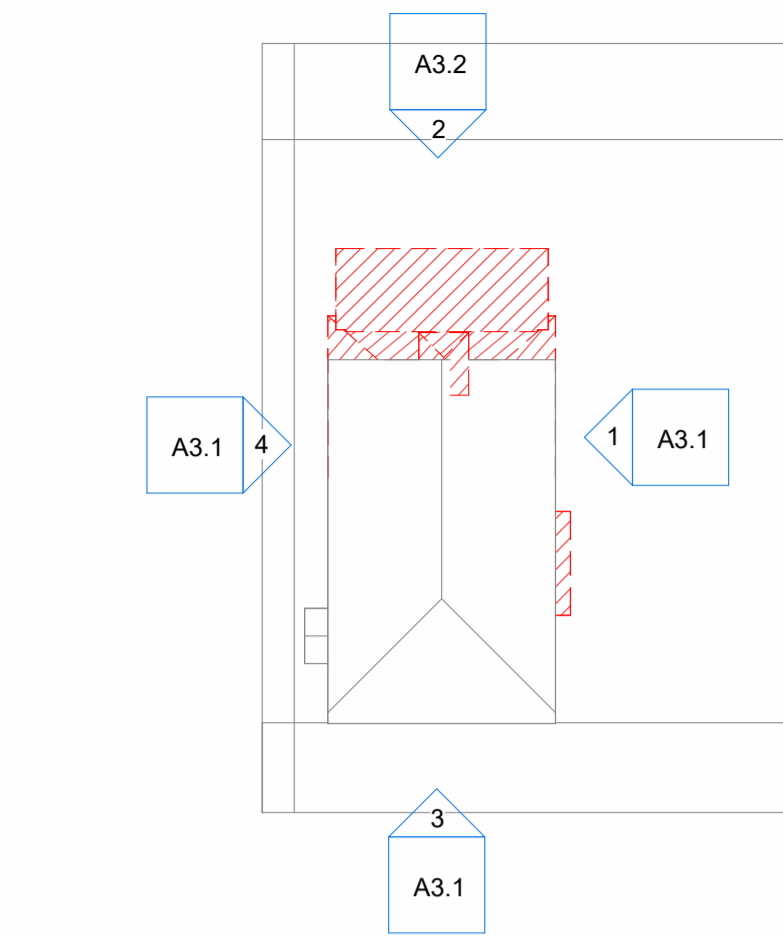
NOT FOR CONSTRUCTION

FLOOR PLANS - PROPOSED

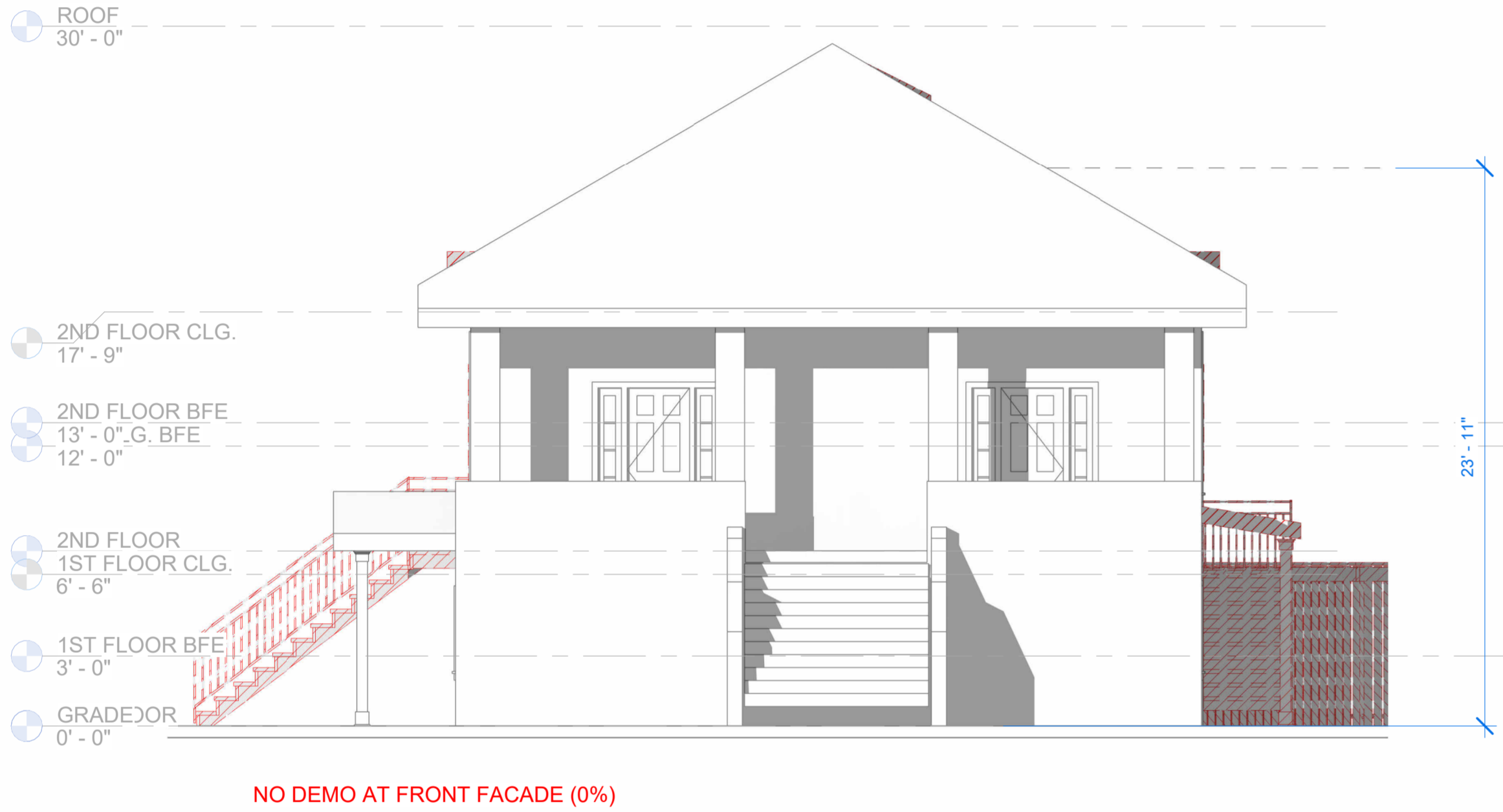
PROJECT STATUS	
Date	1.28.2025

A2.2

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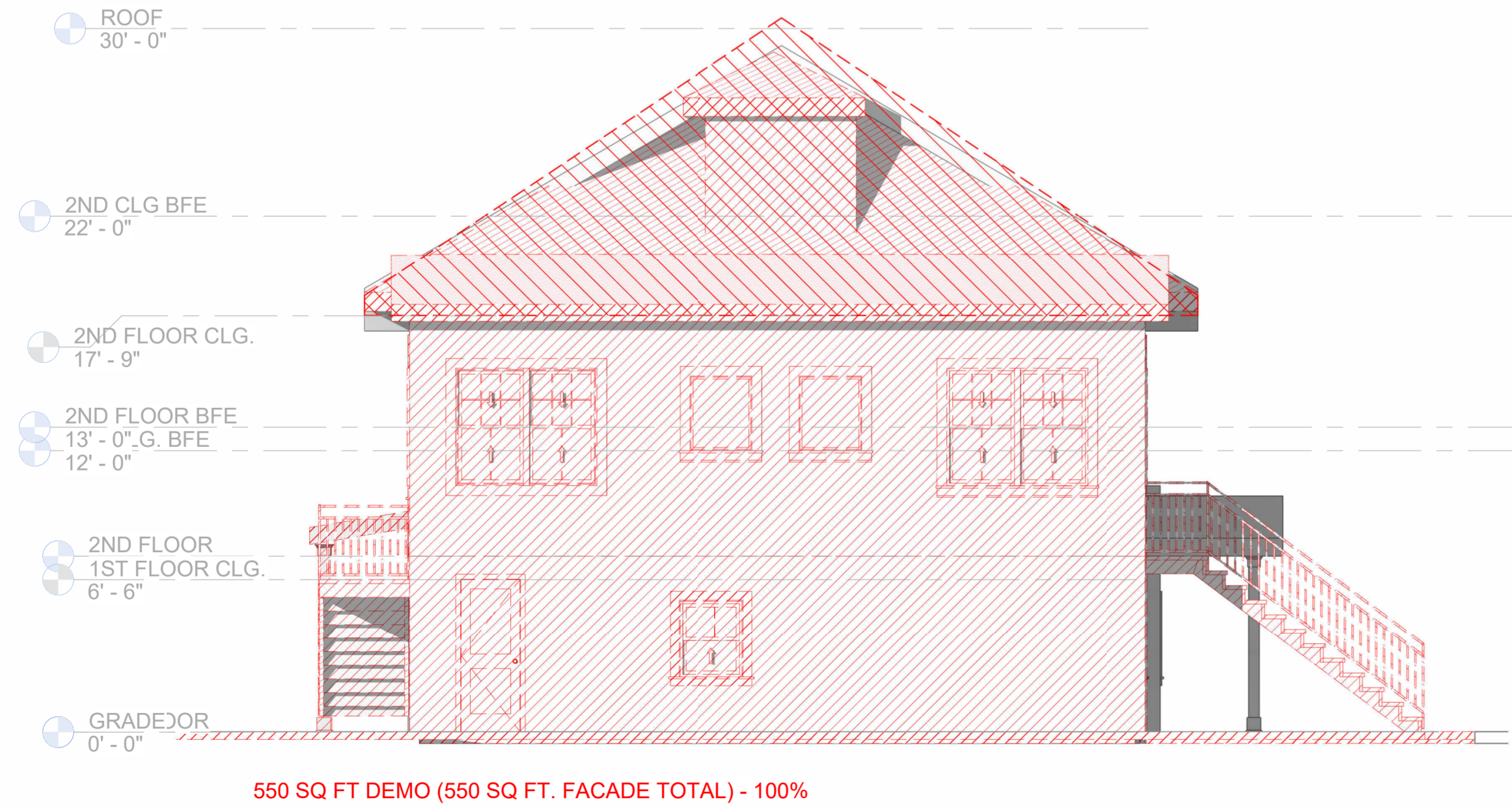


KEY PLAN - ELEVATION - DEMO



NO DEMO AT FRONT FACADE (0%)

3 | SOUTH ELEVATION - DEMO
3/16" = 1'-0"



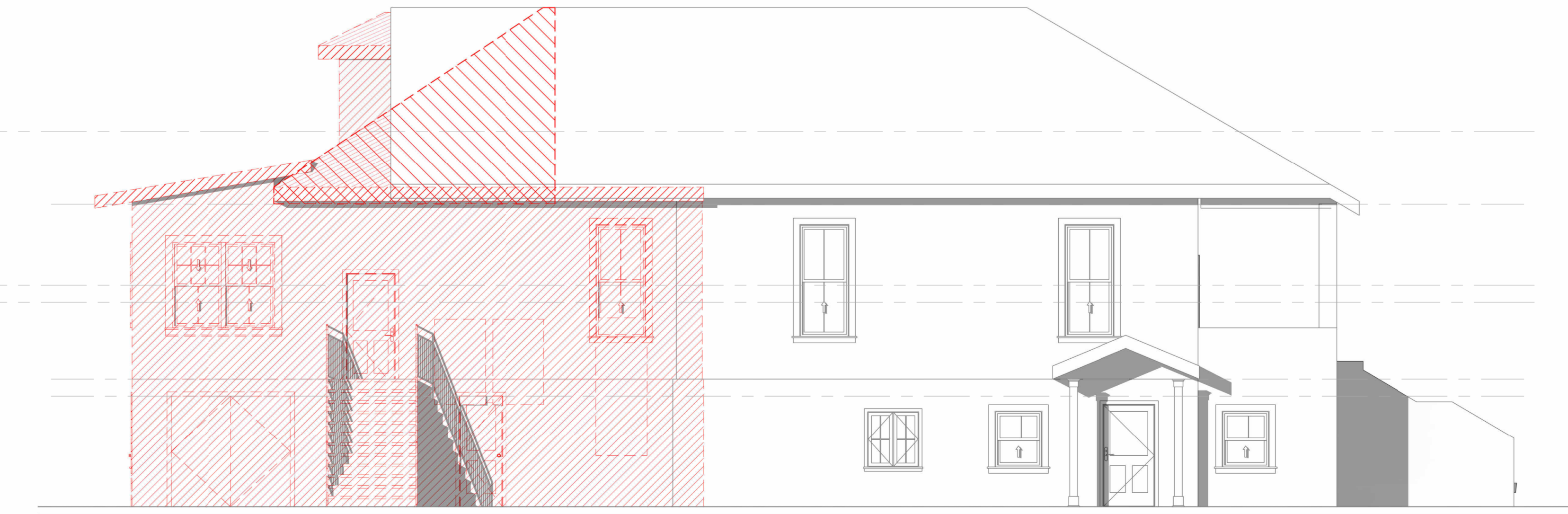
550 SQ FT DEMO (550 SQ FT. FACADE TOTAL) - 100%

2 | NORTH ELEVATION - DEMO
3/16" = 1'-0"



275 SQ FT DEMO (1321 SQ FT. FACADE TOTAL) - 20%

1 | EAST ELEVATION - DEMO
3/16" = 1'-0"



600 SQ FT DEMO (1321 SQ FT. FACADE TOTAL)

4 | WEST ELEVATION - DEMO
3/16" = 1'-0"

DEMO AT SIDES AND REAR
275 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1425 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

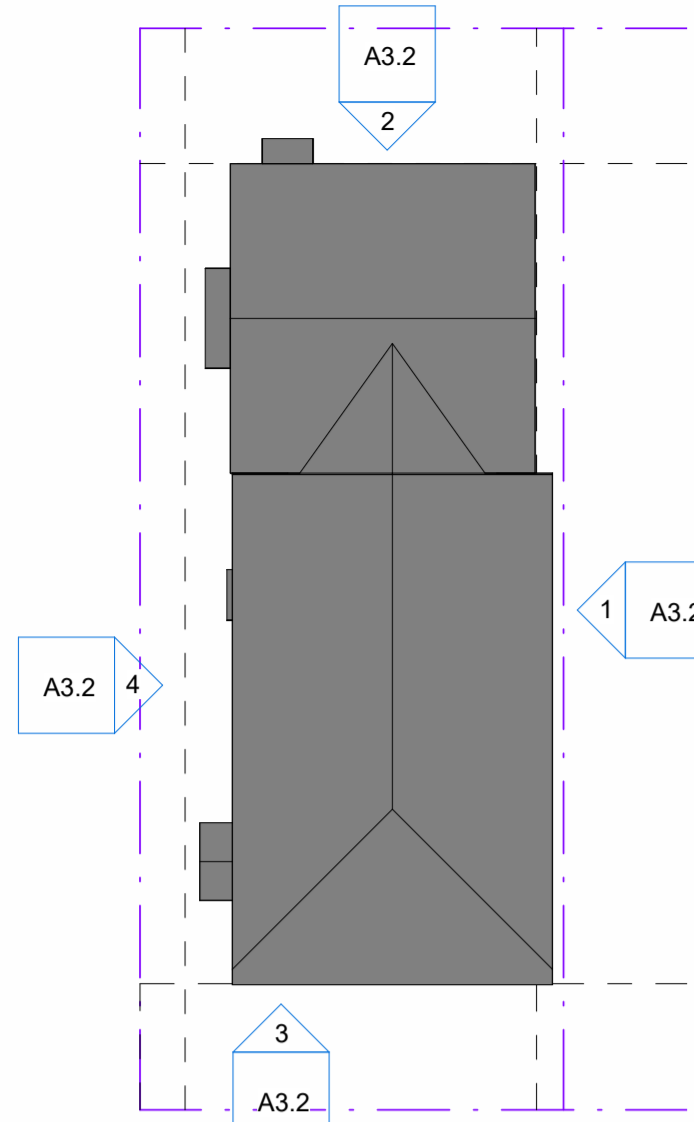
KEYNOTES - SHEET	
Key Value	Keynote Text

No.	Description	Date

NOT FOR
CONSTRUCTION

EXTERIOR
ELEVATIONS -
EXISTING/DEMO

PROJECT STATUS	
Date	1.28.2025



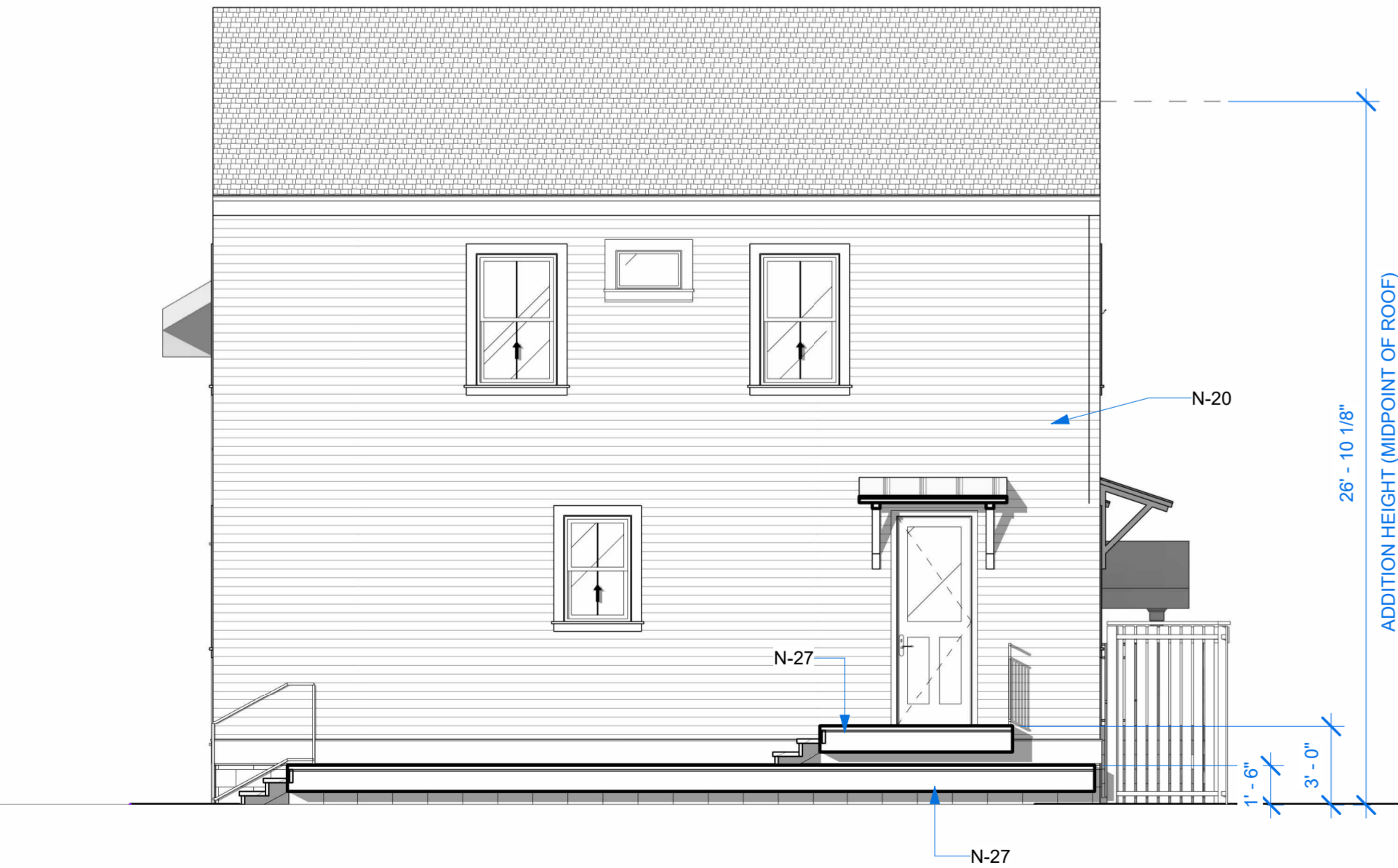
KEY PLAN - ELEVATION

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	EXISTING ROOF RECENTLY REPLACED. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS. RE: MEP.
N-10	NEW WOOD FENCE. RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER. (HDLG DETAILING IF REQUIRED).
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW. TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS. TYP.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION. GYP. INTERIOR. EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-27	AERTAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS. TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLC IF REQ'D)
N-42.1	TREATED WD. SKIRT BOARD WITH METAL DRIP.



3 | SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"

1 | EAST ELEVATION - PROPOSED
3/16" = 1'-0"



2 | NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



4 | WEST ELEVATION - PROPOSED
3/16" = 1'-0"

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SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

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CONSTRUCTION

EXTERIOR
ELEVATIONS -
PROPOSED

PROJECT STATUS	
Date	1.28.2025

A3.2



800 CHEROKEE ST.



1311 HILLARY ST.



1320 LOWERLINE ST.



7301 OAK ST.



7201 OAK ST.



7604 FRERET ST.



7328 PLUM ST



7617 OAK ST.



PROPOSED REAR ADDITION AT 2771 ZIMPEL ST.

No.	Description	Date

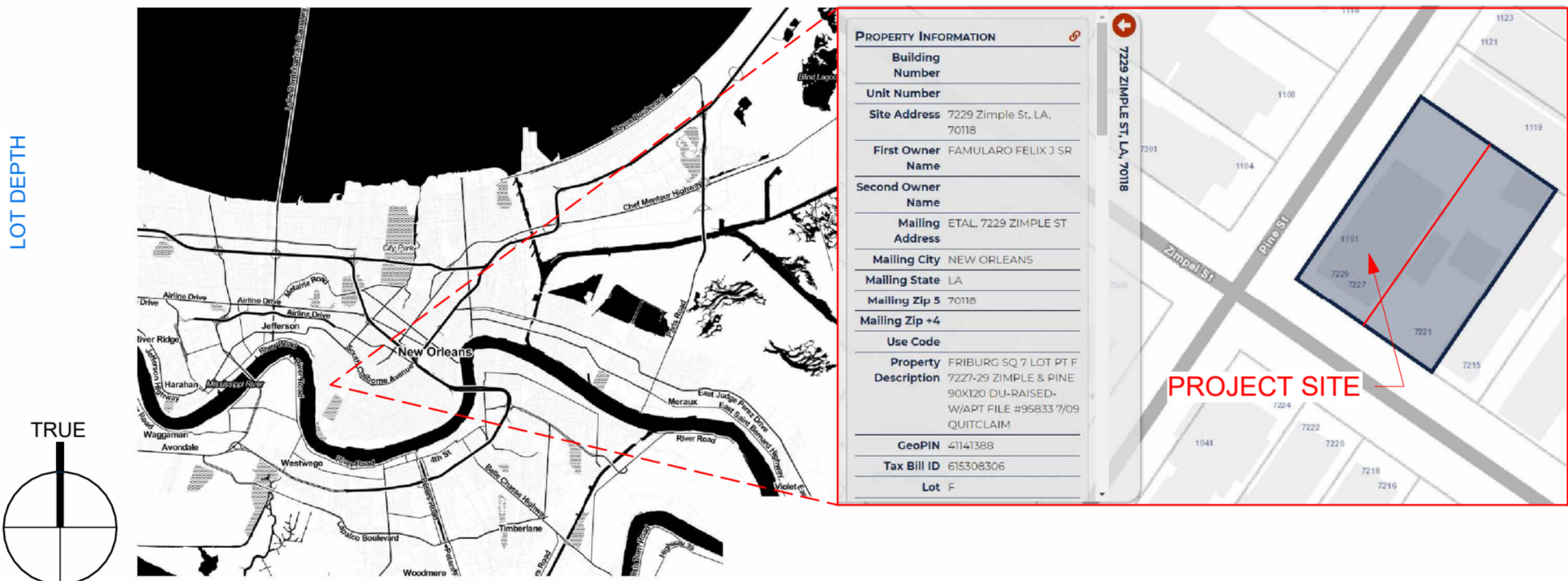
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CONSTRUCTION

OPTION 4

CPC DRAWINGS

SMFA 4PLEX - ADDITION / RENOVATION

7229 Zimpel St.
New Orleans LA, 70118



KEYNOTES - SHEET	
Key Value	Keynote Text
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SOD AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4 OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS

Energy Code Compliance Summary IECC 2021		PARISH	CLIMATE ZONE 2A FOR ORLEANS
COMPLIANCE METHOD		CHECK	
PRESCRIPTIVE		✓	
RESCHECK (http://www.energycodes.gov/rescheck)			
COMCHECK (http://www.energycodes.gov/comcheck)			
BUILDING AREA		VALUE	
TOTAL AREA (SQ FT) OF CONDITIONED SPACE		4477	
INSULATION VALUES (R40Z)		ENTER R VALUE	
CEILING/ROOF		R-38	
WALLS		R-13	
BASEMENT		/	
FLOOR		R-13	
SLAB		/	
CRAWLSPACE		/	
HEATING EQUIPMENT		EFFICIENCY (BTU/S/RATING)	
ELECTRIC TBD. SEE GENERAL NOTE 1 BELOW.		TBD. SEE GENERAL NOTE 1 BELOW.	
GAS TBD. SEE GENERAL NOTE 1 BELOW.		TBD. SEE GENERAL NOTE 1 BELOW.	
COOLING EQUIPMENT		EFFICIENCY (BTU/SEER)	
TBD. SEE GENERAL NOTE 1 BELOW.		/ GREATER THAN OR EQUAL TO 10 HSPF16 SEER AIR SOURCE HEAT PUMP GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP.	
FENESTRATION U VALUE		U-VALUE	
40 MAX.			
FENESTRATION SHGC		SHGC	
25 MAX.			
SKYLIGHT U VALUE		U-VALUE	
N/A			

GENERAL NOTES:
1. Missing information regarding A/C and heating equipment and efficiency to be determined by sub-contractor according to Heat Load Manual / calculations (to be submitted prior to mechanical inspection.)

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A3.3	NEIGHBORHOOD MASSING	03/25/25			
ARCHITECTURAL					
A1.1	SITE PLAN - EXIST & PROPOSED	1.28.2025			
A2.1	FLOOR PLANS - EXISTING/DEMO	1.28.2025			
A2.2	FLOOR PLANS - PROPOSED	1.28.2025			
A3.1	EXTERIOR ELEVATIONS - EXISTING/DEMO	1.28.2025			
A3.2	EXTERIOR ELEVATIONS - PROPOSED	1.28.2025			
TITLE					
T1.1	TITLE SHEET	01/16/25			
ARCHITECTURE					
ASK-1	PRESENTATION PLANS	01/16/25			

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
EXISTING MULTI FAMILY BUILDING CONVERTED INTO SMFA AFFORDABLE 4- PLEX. 3 NEW UNITS ON REAR. LESS THAN 50% DEMO OF EXISTING ROOF. LESS THAN 50% DEMO OF SIDES AND REAR. EXISTING FRONT FACADE TO REMAIN. NEW MEP THROUGHOUT. NEW FINISHES AND FIXTURES THROUGHOUT

PERMIT TYPE
ADDITION / STRUCTURAL RENO

SFM, LEVEL OF ALTERATION
LEVEL 4

OWNER:
JAMES SPALT
7229 ZIMPEL ST
NEW ORLEANS LA 70118
JS@NDVRPARTNERS.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER
TBD

STRUCTURAL/CIVIL ENGINEER
AP DESIGN GROUP
JOSHUA JUNEAU, PE
504-410-5322
JJUNEAU@AP-ENG.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-RD2 HISTORIC URBAN TWO-FAMILY RESIDENTIAL
OVERLAY DISTRICT:
• RESIDENTIAL STR IZD
• B&B IZD
• COMMERCIAL STR IZD
• NON-COMMERCIAL SHORT TERM RENTAL SPECIAL EXCEPTION INTERIM ZONING DISTRICT
• UNIVERSITY AREA OFF-STREET PARKING OVERLAY DISTRICT
• UNIVERSITY AREA DESIGN OVERLAY

HDLC DISTRICT: NOHDLC UPTOWN PARTIAL

PROPOSED DEVELOPMENT:
NEW LOT B DIMENSIONS: 47' X 120'

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-A V (000) PROTECTED COMBUSTIBLE

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL , GROSS SF: 6026 (INCLUDING UNDER HOUSE STORAGE)

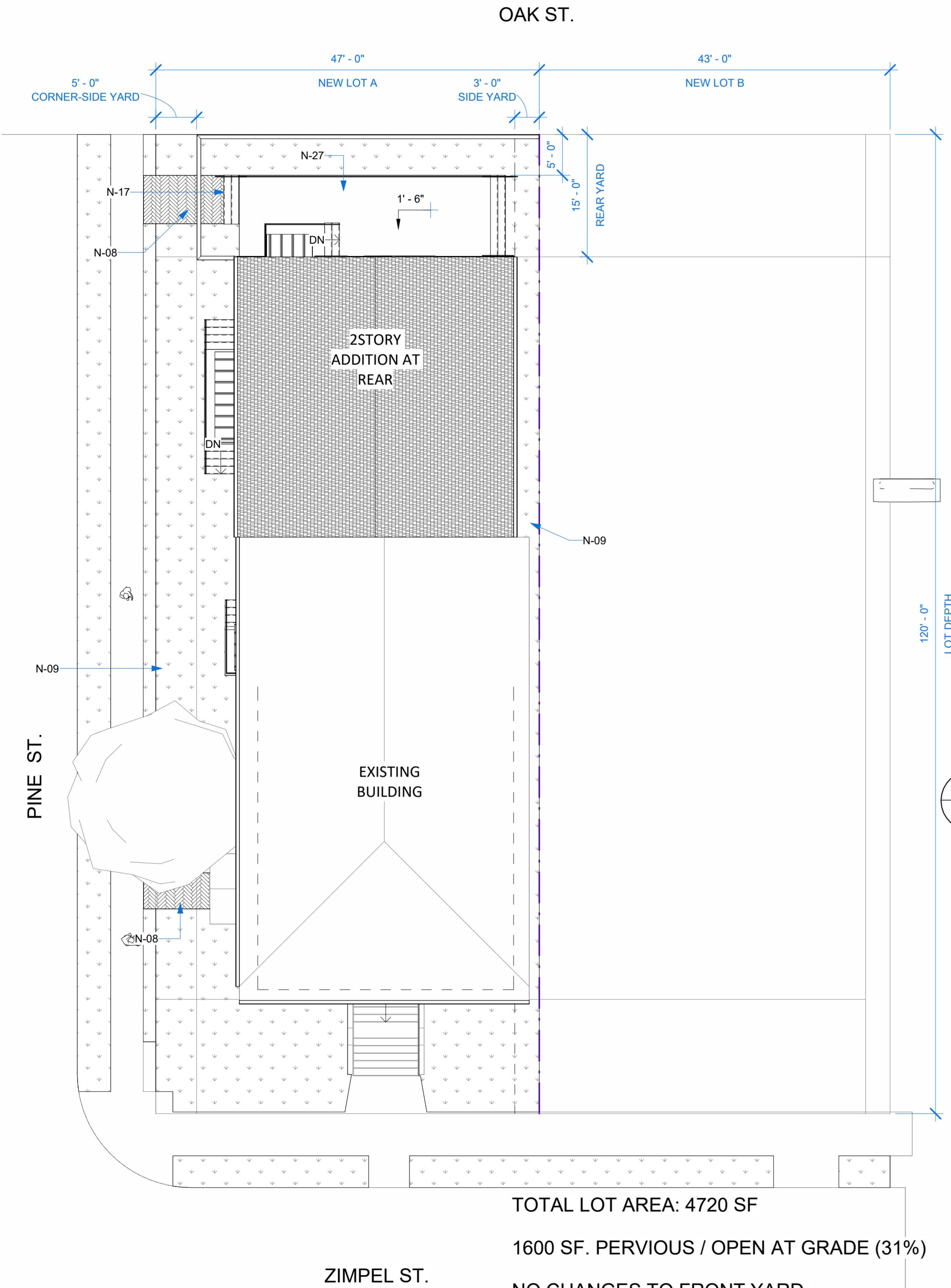
SPRINKLERED / FIRE ALARM:
YES / YES

APPLICABLE CODES:
• 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
• 2021 INTERNATIONAL MECHANICAL CODE
• 2021 LOUISIANA STATE PLUMBING CODE
• NFPA 70, 2020 NATIONAL ELECTRIC CODE
• 2021 INTERNATIONAL FUEL CODE
• 2021 INTERNATIONAL ENERGY CONSERVATION CODE
• 2021 INTERNATIONAL EXISTING BUILDING CODE

PROJECT INFORMATION

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT



TOTAL LOT AREA: 4720 SF

1600 SF. PERVIOUS / OPEN AT GRADE (31%)

NO CHANGES TO FRONT YARD PERMEABILITY: ETR

OPEN AREA: 31% (1465 SF)

ZONING: HU-RD2
OVERLAY: LOWER NINTH WARD REDEVELOPMENT INTERIUM ZONING DISTRICT

REQUIRMENTS:	REQ:	COMPLIANCE:
MIN. LOT SIZE	2,250 SF	YES
MIN. PERMIABLE AREA	30%	YES
FRONT YARD SETBACK	AVG SURROUNDING (NONE)	YES
SIDE YARD SETBACK	3'	YES
REAR YARD SETBACK	20% of lot depth or 15', whichever is less	YES
PARKING*	1	

ZONING HU-RD2

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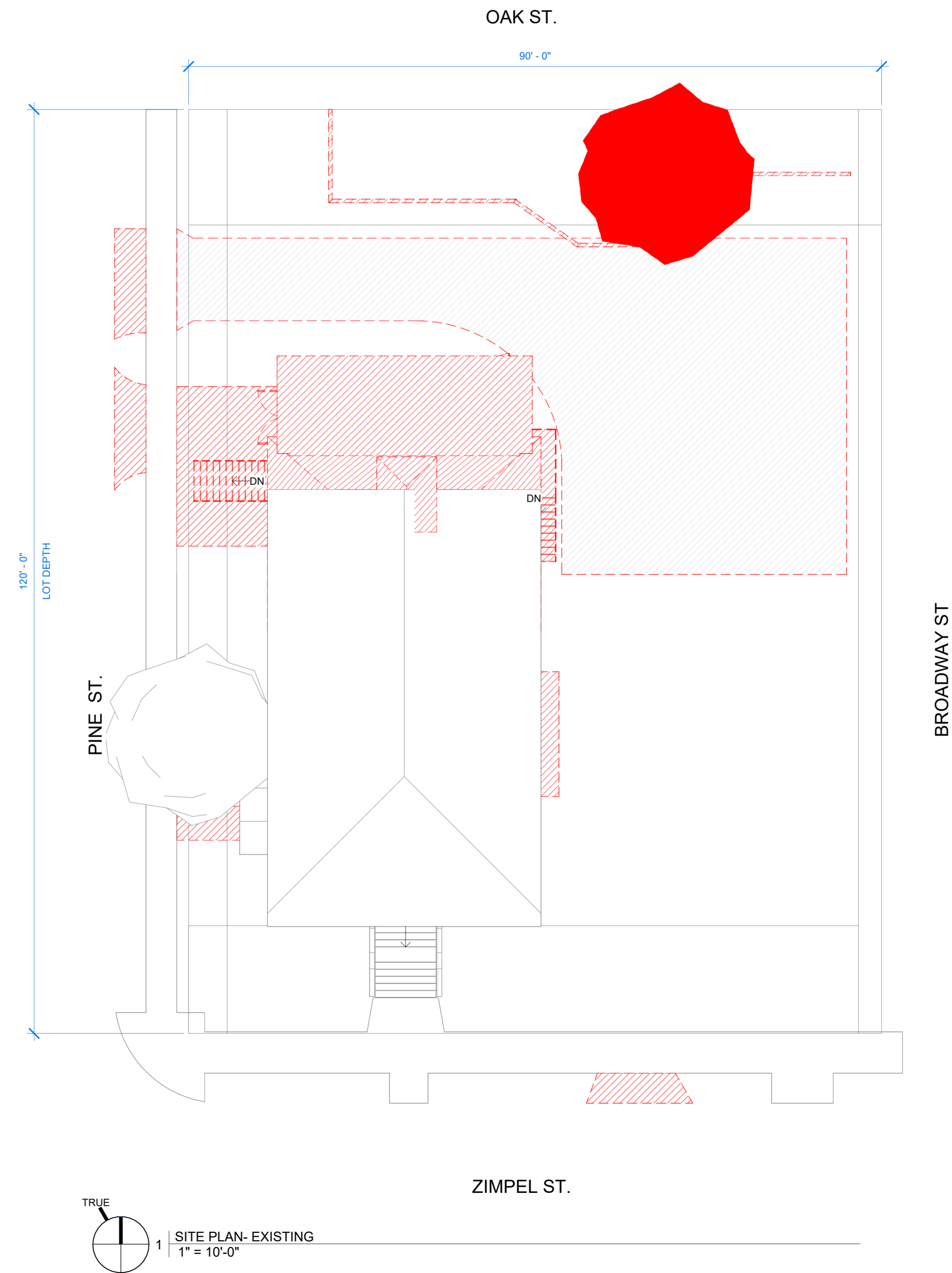
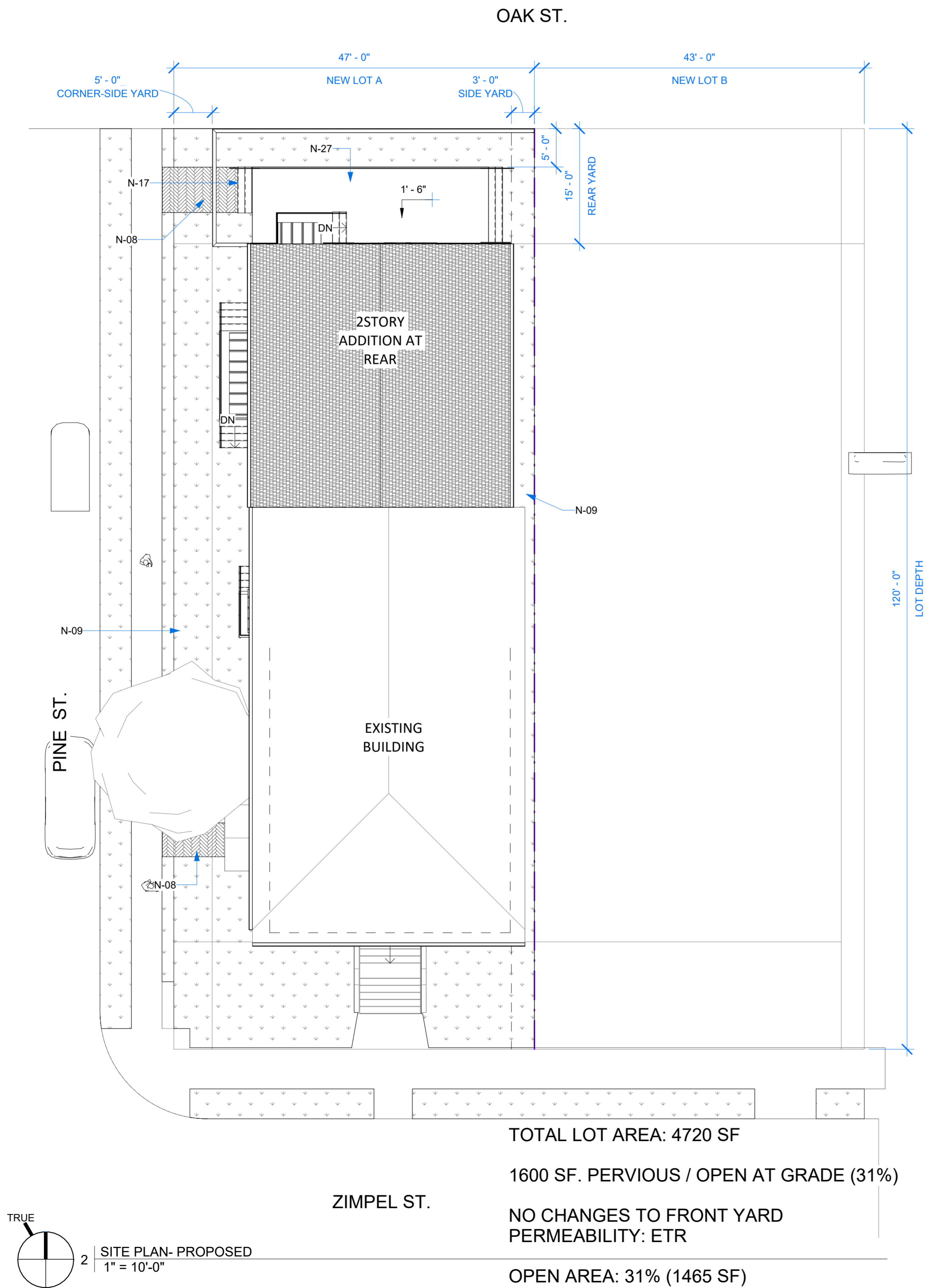
NOT FOR
CONSTRUCTION

TITLE SHEET

PROJECT STATUS	
Date	01/16/25

T1.1

KEYNOTES - SHEET	
Key Value	Keynote Text
N-08	NEW PERVIOUS PAVERS THIS LOCATION
N-09	NEW GRADING/SOD AS REQ'D.
N-17	EXTERIOR WD. STAIR TO MATCH WD. PORCH/DECK. TREATED FRAMING, TYP. RE: DETAILS / STRUCT.
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3"; RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS



DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

SITE PLAN - EXIST &
PROPOSED

PROJECT STATUS	
Date	1.28.2025

A1.1

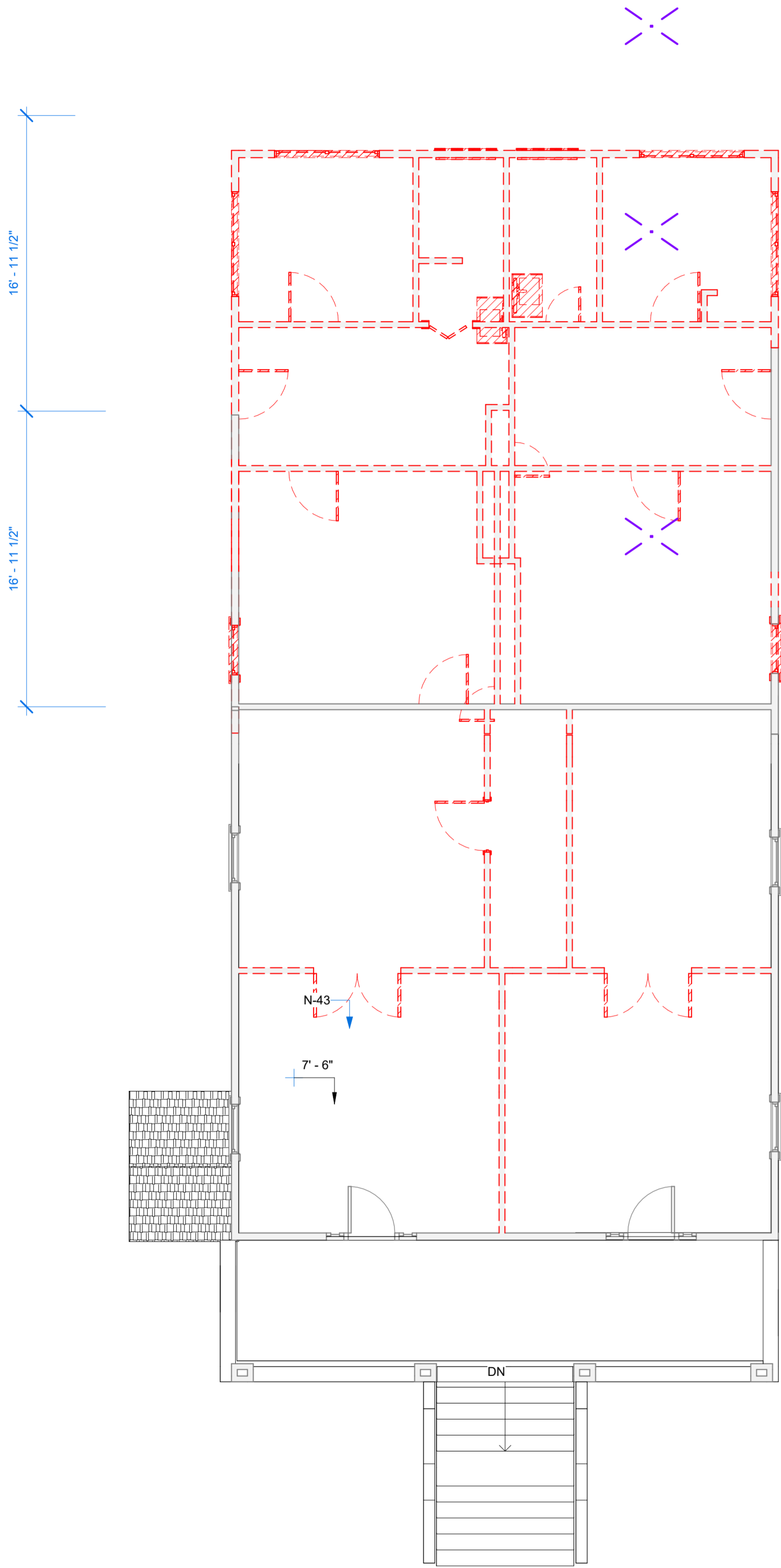
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2ND FLOOR

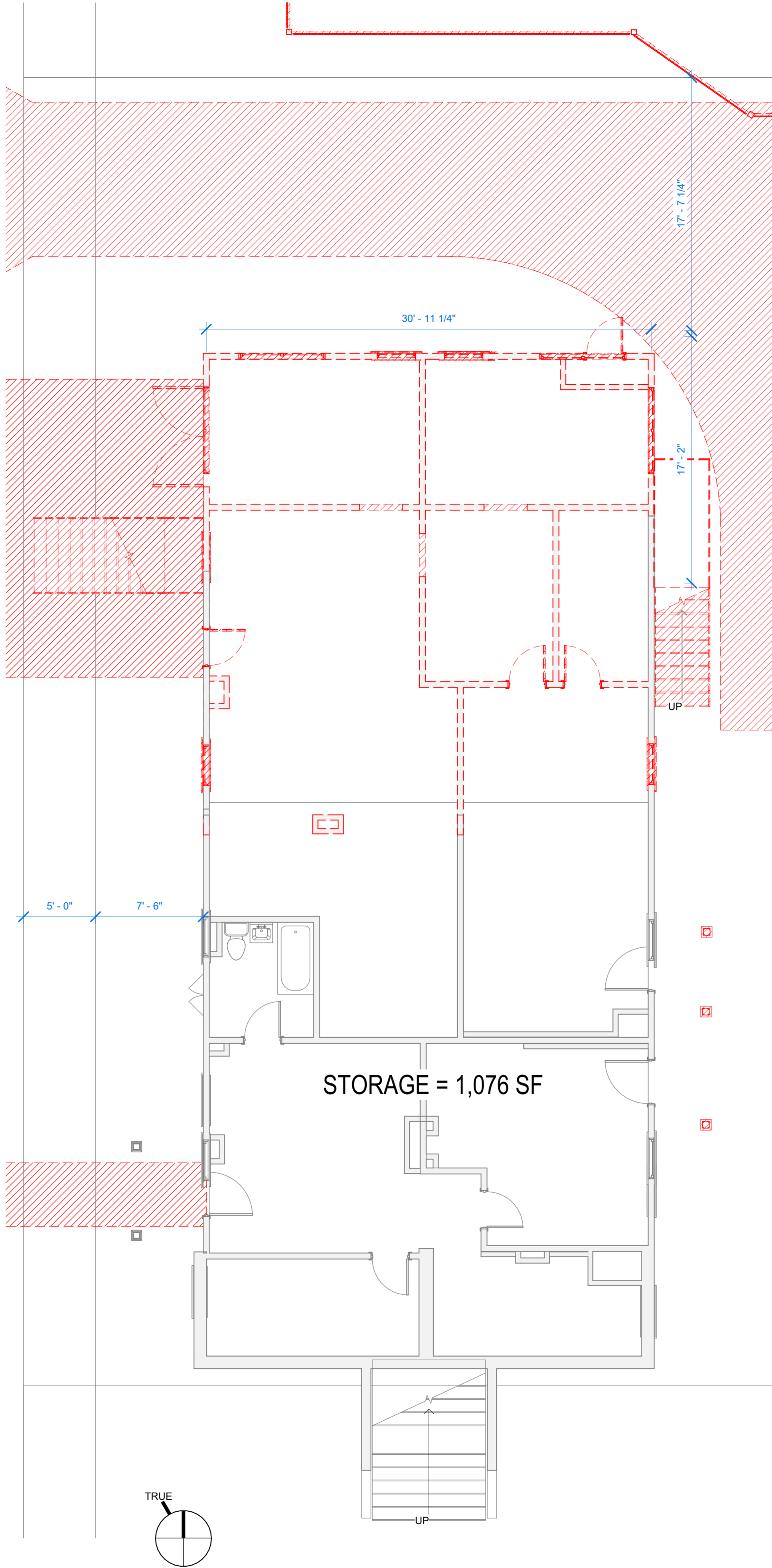
2 | 2ND FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



KEYNOTES - SHEET	
Key Value	Keynote Text
N-43	EXISTING WD. FLOORS TO REMAIN. INFILL WD. FLOORS TO MATCH EXISTING.

1ST FLOOR

1 | 1ST FLOOR PLAN - EXISTING/DEMO
3/16" = 1'-0"



DEMO AT SIDES AND REAR
300 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1450 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
- CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDIANTE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"

SMFA 4PLEX - ADDITION / RENOVATION
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New Orleans LA, 70118

No.	Description	Date

FLOOR PLANS -
EXISTING/DEMO

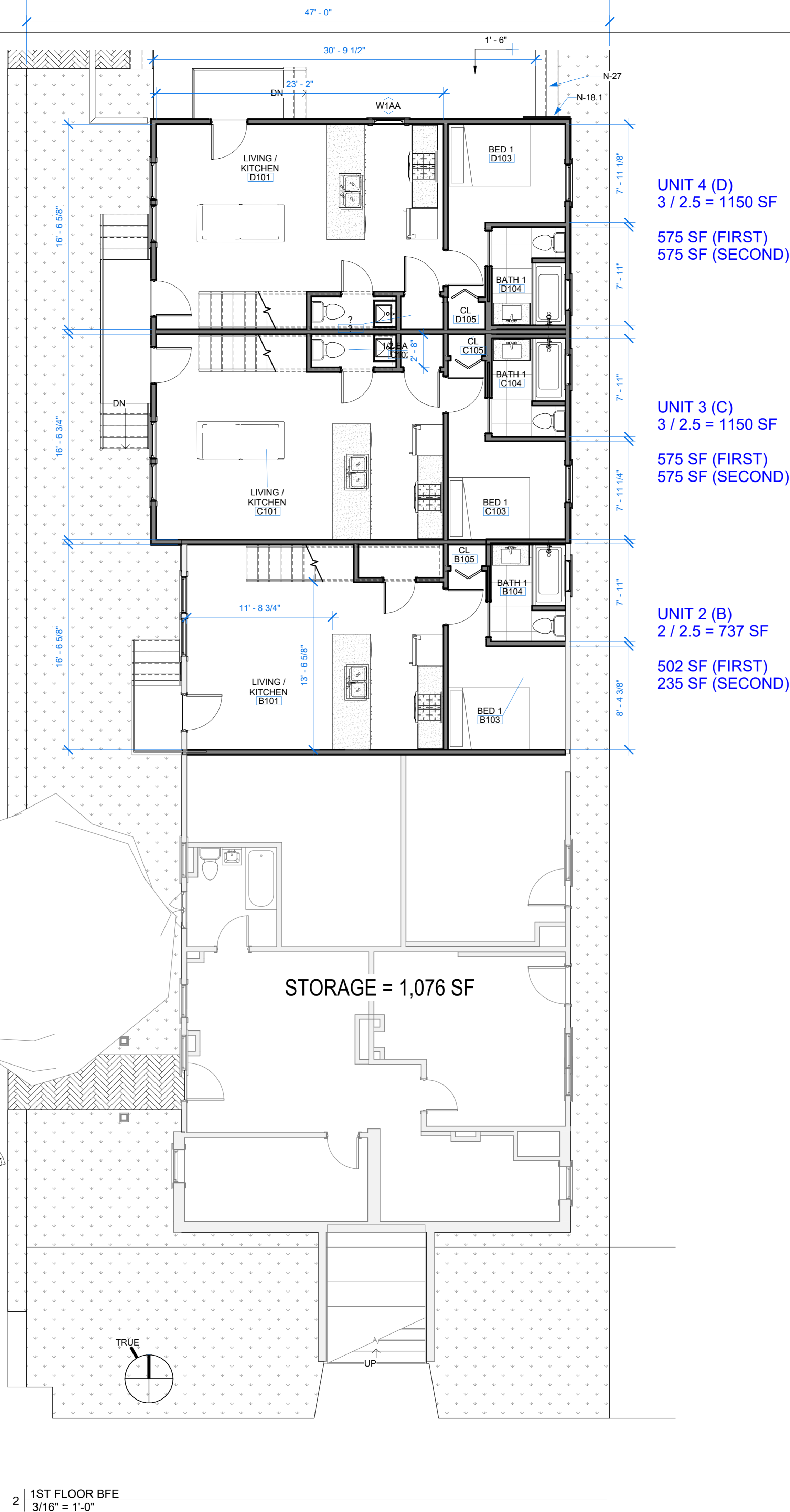
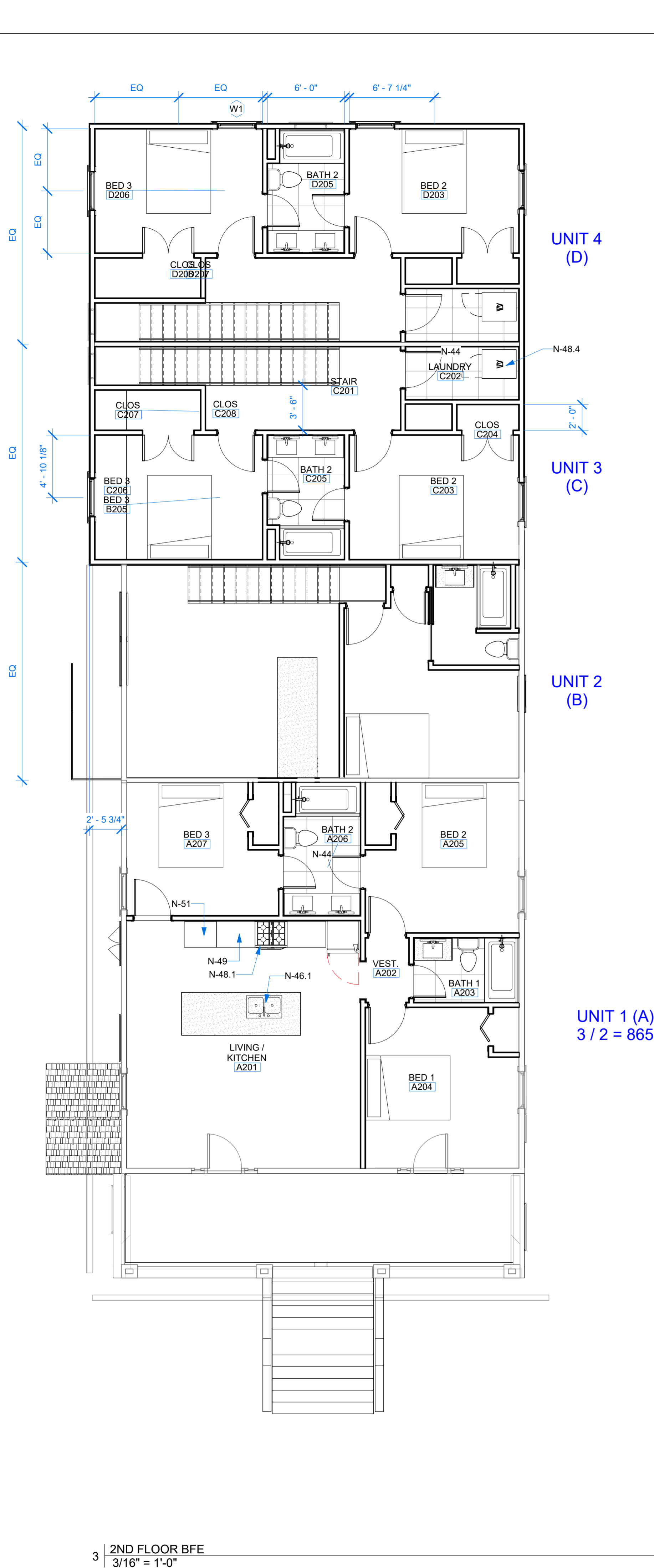
PROJECT STATUS	
Date	1.28.2025

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NOT FOR
CONSTRUCTION

A2.1

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KEYNOTES - SHEET	
Key Value	Keynote Text
N-18.1	EXTERIOR WD GUARDRAIL @ 36" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT
N-27	AERITAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS
N-44	TILE FLOORS AT THIS LOCATION. CONTRACTOR TO COORDINATE SELECTIONS AND GROUT COLOR WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. PROVIDE CEMENT BACKER AS REQ'D AT SHOWER SURROUNDS AND BASE.
N-46.1	NEW SINK AT COUNTERTOP. COORDINATE SELECTION WITH OWNER. PROVIDE GARBAGE DISPOSAL AND BUTTON (ELEC OUTLET) AT KITCHEN SINKS. TYP. COORDINATE FAUCET SELECTION WITH OWNER.
N-48.1	GAS (OR ELEC.) RANGE OVER. PROVIDE HOOD EXHAUST AT WALL (OR WITH DOWNDRAFT HOOD UNDER JOISTS) GC COORDINATE EXHAUST ROUTING TO EXISTING HOOD VENTS
N-48.4	WASHER AND GAS (OR ELECTRIC) DRYER AT THIS LOCATION. APPLANCE TO BE SELECTED BY OWNER. CONTRACTOR TO COORDINATE PRIOR TO PURCHASE AND INSTALL. PROVIDE DRAIN PAN AT UNDERSIDE OF WASHER. CONTRACTOR TO PROVIDE PROTECTION UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW. FREE OF BLEMISHES / DENTS. PROVIDE POWER / OUTLET AND EXHAUST AS REQ'D.
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.
N-51	CABINETRY, STONE, AND FIXTURES TO BE SELECTED BY OWNER; CONTRACTOR TO COORDINATE SELECTIONS & INSTALLATION WITH CABINET, STONE, AND FIXTURE PROVIDERS. PROVIDE PROTECTION FOR EACH AFTER INSTALL.

UNIT 4 (D)
3 / 2.5 = 1150 SF
575 SF (FIRST)
575 SF (SECOND)

UNIT 3 (C)
3 / 2.5 = 1150 SF
575 SF (FIRST)
575 SF (SECOND)

UNIT 2 (B)
2 / 2.5 = 737 SF
502 SF (FIRST)
235 SF (SECOND)

4 UNITS

2X 3 BED / 2.5 BATH @ 1150 SF INTERIOR
1X 2 BED / 2.5 BATH @ 737 SF INTERIOR
1X 3BED / 2 BATH @ 950 SF (EXISTING FOOTPRINT)

3987 SF LIVING TOTAL (INTERIOR)

330 SF REAR DECK

5030 SF GROSS

250 SF EXISTING FRONT PORCH
1076 EXISTING GROUND FLOOR STORAGE

SECTION 114000 - KITCHEN APPLIANCES

1. GENERAL

1.1 SUMMARY: PROVIDE AND INSTALL KITCHEN APPLIANCES AS SPECIFIED AND SHOWN ON THE DRAWINGS.

1.2 SUBMITTALS: SUBMIT PRODUCT DATA SHEETS FOR EACH APPLIANCE, INCLUDING MANUFACTURER, MODEL NUMBER, AND PERFORMANCE SPECIFICATIONS. PROVIDE INSTALLATION INSTRUCTIONS AND WARRANTY INFORMATION FOR OWNER APPROVAL PRIOR TO PURCHASING.

1.3 QUALITY ASSURANCE: APPLIANCES TO BE FROM MANUFACTURERS WITH A MINIMUM OF 5 YEARS OF INDUSTRY EXPERIENCE AND POSITIVE REVIEWS. ENSURE APPLIANCES COMPLY WITH RELEVANT SAFETY AND ENERGY STANDARDS, INCLUDING UL, ETL, AND ENERGY STAR® RATINGS.

2. PRODUCTS: SEE INDIVIDUAL KEY NOTES FOR PRODUCTS

2.1 PERFORMANCE CRITERIA:

ENERGY EFFICIENCY: ALL APPLIANCES TO MEET OR EXCEED [INSERT SPECIFIC ENERGY EFFICIENCY STANDARDS, E.G., ENERGY STAR®] TO MINIMIZE ENERGY CONSUMPTION AND OPERATIONAL COSTS. DURABILITY: APPLIANCES TO BE CONSTRUCTED OF HIGH-QUALITY MATERIALS FOR LONG-TERM RELIABILITY AND RESISTANCE TO TYPICAL WEAR AND TEAR.

NOISE LEVELS: APPLIANCES TO OPERATE WITHIN ACCEPTABLE NOISE LEVELS, ENSURING MINIMAL DISTURBANCE IN APARTMENT SETTINGS. [INSERT SPECIFIC NOISE LEVELS IF APPLICABLE, E.G., DISHWASHERS ≤ 50 DBA]

EASE OF USE: APPLIANCES TO FEATURE USER-FRIENDLY CONTROLS AND INTERFACES, ENSURING EASE OF OPERATION FOR ALL RESIDENTS.

3. EXECUTION

3.1 INSTALLATION: INSTALL APPLIANCES ACCORDING TO MANUFACTURERS INSTRUCTIONS AN LOCAL CODES. VERIFY PROPER OPERATION AND ADJUST SETTINGS AS NEEDED. ALL POWER/WATER CONNECTORS TO BE PROVIDED.

3.2 TESTING: TEST ALL APPLIANCES TO ENSURE THEY ARE OPERATING CORRECTLY AND EFFICIENTLY.

- BATHROOM FAUCET: B.O.D. MOEN DOUBLE HANDLE CENTERSET BATHROOM FAUCET FROM THE BRANTFORD COLLECTION (VALUE INCLUDES SINK). MODEL: 68618. SINK BASE BOD: 30 IN. W X 19 IN. D X 33 IN. H SINGLE SINK FREESTANDING BATH VANITY IN PEARL GRAY WITH WHITE CULTURED MARBLE TOP
- WATER CLOSET: B.O.D. GLACIER BAY, 12 INCH ROUGH IN TWO-PIECE 1.28 GPF SINGLE FLUSH ELONGATED TOILET IN WHITE SEAT INCLUDED
- COUNTERTOP - 2CM GRANITE W/BACKSPLASH, OWNER TO CHOOSE COLOR
- REFRIGERATOR: B.O.D. LG, 30 IN. W 20 CU. FT. TOP FREEZER REFRIGERATOR W/ MULTI-AIR FLOW AND REVERSIBLE DOOR IN STAINLESS STEEL.ENERGY STAR
- KITCHEN SINK: STANDARD 30" SINGLE BOWL UNDERMOUNT KITCHEN SINK, STAINLESS STEEL.
- REFRIGERATOR: B.O.D. FRIGIDAIRE, 30 IN. 5 BURNER ELEMENT FREESTANDING ELECTRIC RANGE IN BLACK WITH EVENTEMP AND STEAM CLEAN
- MICROWAVE: B.O.D. GE, 1.6 CU. FT. OVER-THE-RANGE MICROWAVE IN STAINLESS STEEL, RE- CIRCULATING VENT CONFIGURATION.
- RANGE: B.O.D. GE 30 IN. 4 BURNER ELEMENT FREE-STANDING ELECTRIC RANGE IN STAINLESS STEEL W/STAINLESS KNOBS
- CABINETS: B.O.D. PAINTED WOOD WITH A MINIMUM THICKNESS OF 1/4 INCH FOR DOORS AND 1/2 INCH FOR CABINET BOXES. SOFT CLOSERS AND HARDWARE INCLUDED.
- SHOWER: CUSTOM BUILT SHOWER SURROUND, SCHLUTER-SHOWER SYSTEM WITH CEMENT BOARD SURROUND CLAD IN SUBWAY TILE. FAUCET: B.O.D. DELTA FOUNDATIONS SINGLE-HANDLE 1-SPRAY SHOWER FAUCET IN CHROME (VALUE INCLUDES). PROVIDE 5/16 IN. TEMPERED GLASS SHOWER DOOR, PANEL, AND RELATED HARDWARE.

PRODUCT BASIS OF DESIGN (B.O.D.) SELECTIONS

SMFA 4PLEX - ADDITION / RENOVATION
7229 Zimpel St.
New Orleans LA, 70118

No.	Description	Date

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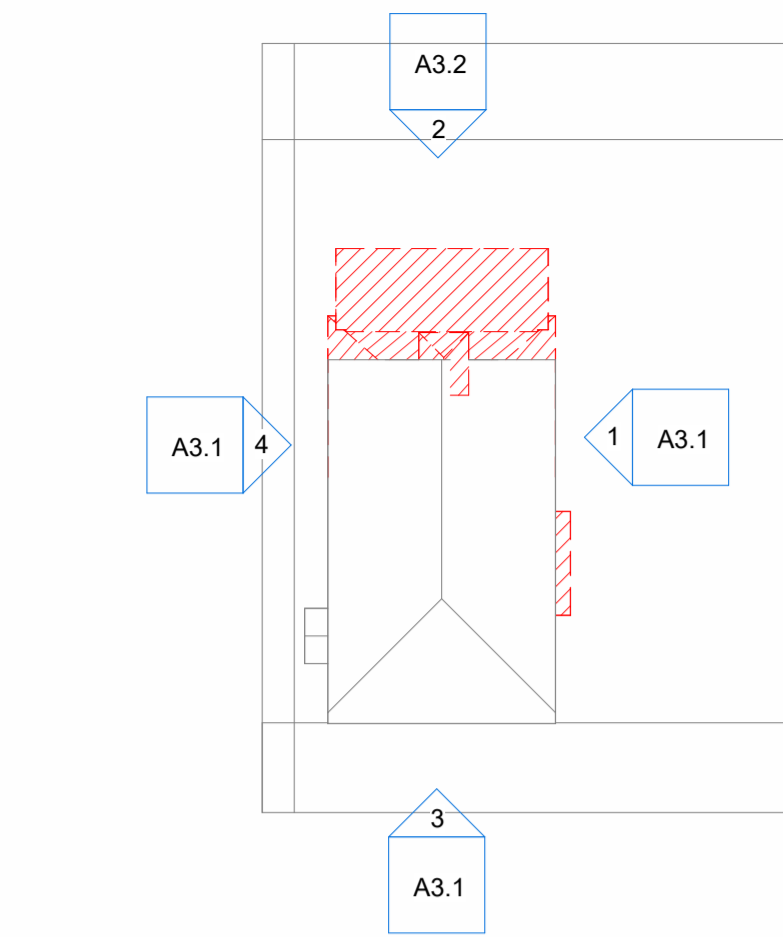
FLOOR PLANS - PROPOSED	
PROJECT STATUS	
Date	1.28.2025

ZACH SMITH
CONSULTING & DESIGN

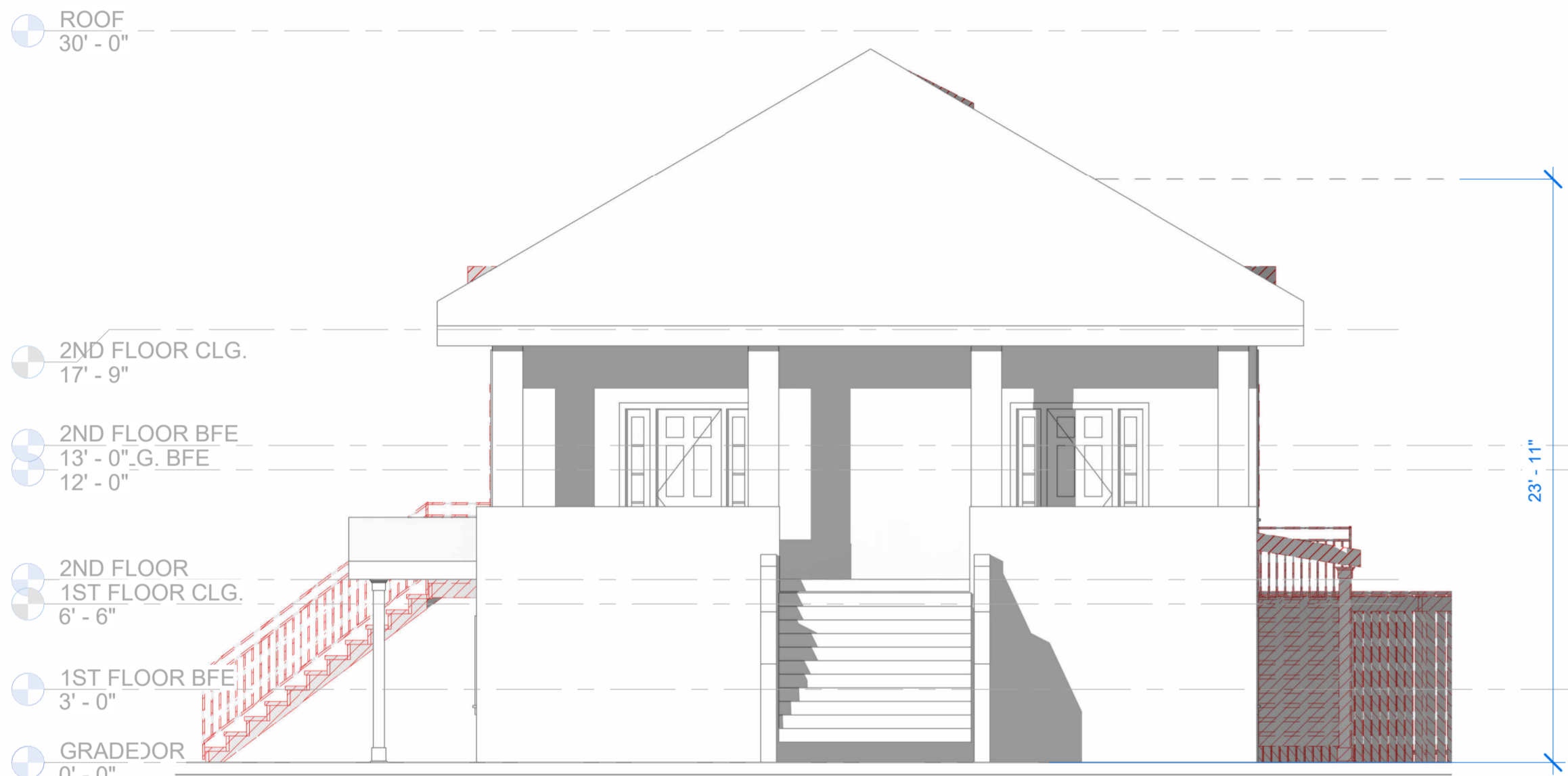
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A2.2

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KEY PLAN - ELEVATION - DEMO



NO DEMO AT FRONT FACADE (0%)

3 | SOUTH ELEVATION - DEMO
3/16" = 1'-0"



550 SQ FT DEMO (550 SQ FT. FACADE TOTAL) - 100%

2 | NORTH ELEVATION - DEMO
3/16" = 1'-0"



275 SQ FT DEMO (1321 SQ FT. FACADE TOTAL) - 20%

1 | EAST ELEVATION - DEMO
3/16" = 1'-0"



600 SQ FT DEMO (1321 SQ FT. FACADE TOTAL)

4 | WEST ELEVATION - DEMO
3/16" = 1'-0"

DEMO AT SIDES AND REAR
275 SF (RIGHT)
550 (REAR)
600 (LEFT)

3192 SF TOTAL SF (SIDES AND REAR)
1425 TOTAL DEMO (45%) - NOT TO EXCEED 49%

LESS THAN 50% DEMO AT ROOF
982 SF DEMOLISHED OF 2617 (37%)

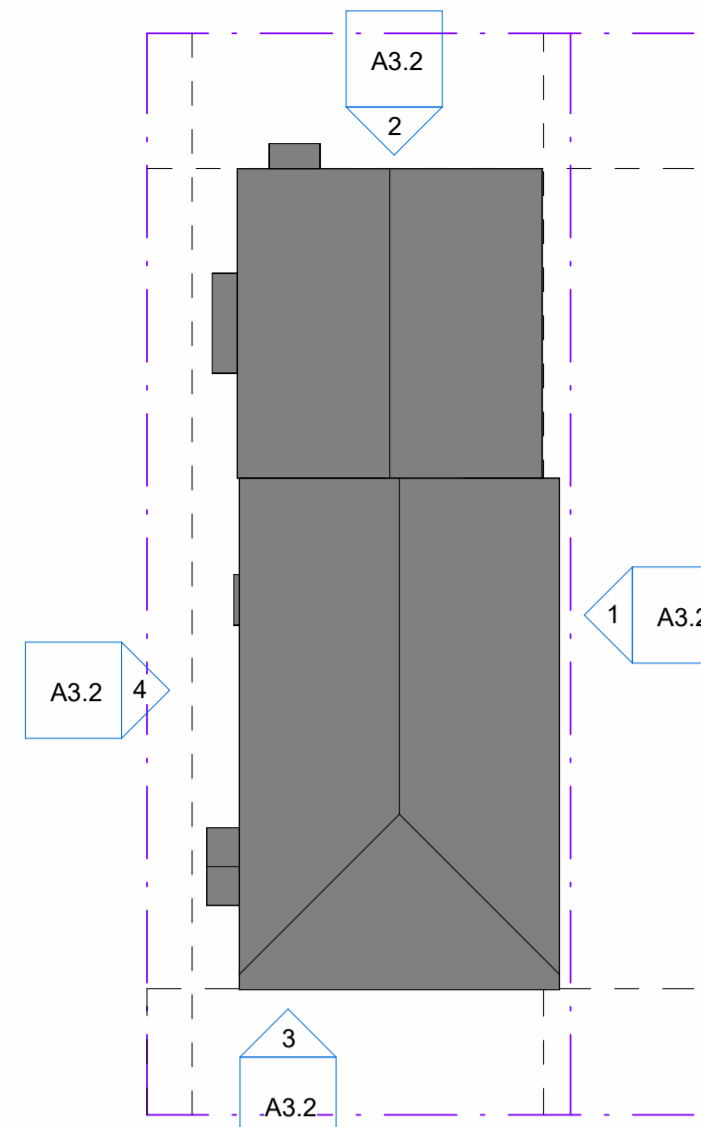
KEYNOTES - SHEET	
Key Value	Keynote Text

No.	Description	Date

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CONSTRUCTION

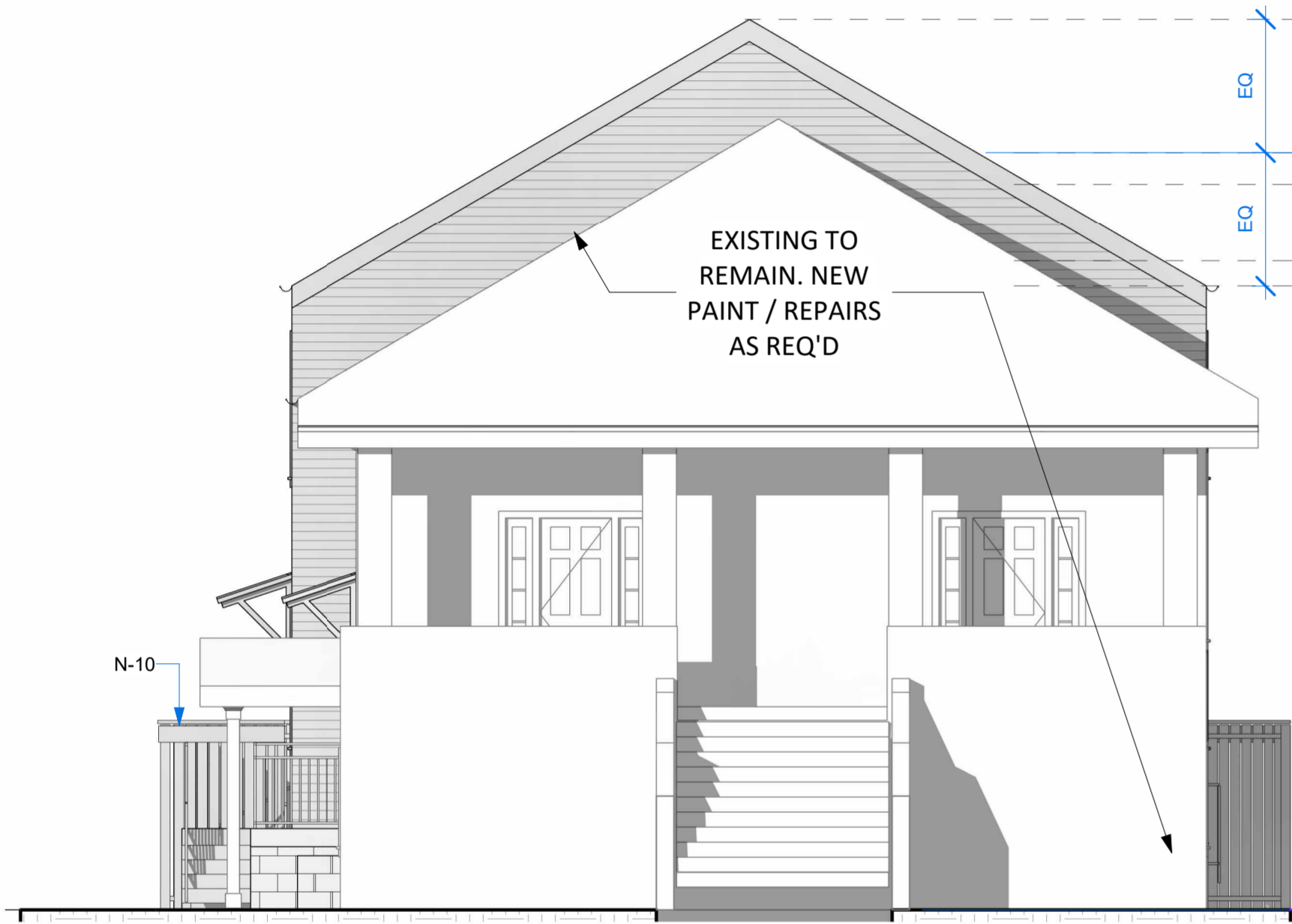
EXTERIOR
ELEVATIONS -
EXISTING/DEMO

PROJECT STATUS	
Date	
	1.28.2025



KEY PLAN - ELEVATION

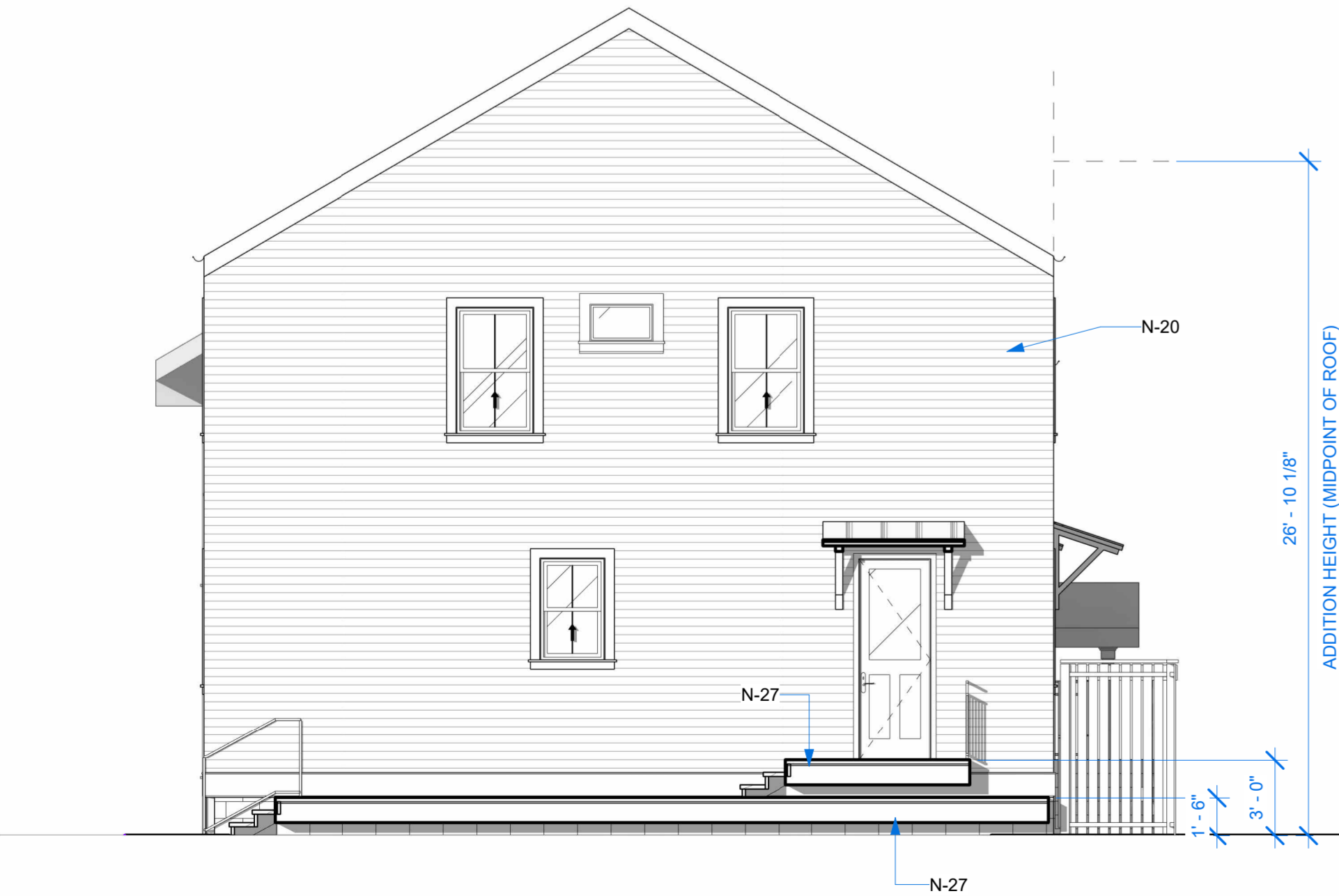
KEYNOTES - SHEET	
Key Value	Keynote Text
N-10	NEW WOOD FENCE. RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER (HDLG DETAILING IF REQUIRED)
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR. EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-27	AERTAS HERITAGE TONGUE AND GROOVE DECKING INSTALLED OVER DOUBLE SLEEPERS WHERE REQ'D (JOIST DROPPED 3". RE: STRUCT.) SLOPE NEW DECKING TO DRAIN (1/4" OVER 1' MIN.) PROVIDE ICE AND WATER SHIELD AND FLASHING AS REQ'D. RE: DETAILS
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS, TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLC IF REQ'D)
N-42.1	TREATED WD. SKIRT BOARD WITH METAL DRIP.



3 | SOUTH ELEVATION - PROPOSED
3/16" = 1'-0"



1 | EAST ELEVATION - PROPOSED
3/16" = 1'-0"



2 | NORTH ELEVATION - PROPOSED
3/16" = 1'-0"



4 | WEST ELEVATION - PROPOSED
3/16" = 1'-0"

No.	Description	Date

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CONSTRUCTION

EXTERIOR
ELEVATIONS -
PROPOSED

PROJECT STATUS	
Date	1.28.2025



800 CHEROKEE ST.



1311 HILLARY ST.



1320 LOWERLINE ST.



7301 OAK ST.



7201 OAK ST.



7604 FRERET ST.



7328 PLUM ST



7617 OAK ST.



PROPOSED REAR ADDITION AT 2771 ZIMPEL ST.

No.	Description	Date

NOT FOR
CONSTRUCTION

NEIGHBORHOOD
MASSING

PROJECT STATUS	
Date	03/25/25

OPTION 5





EXAMPLE



ONE WAY
STOP

XYW802