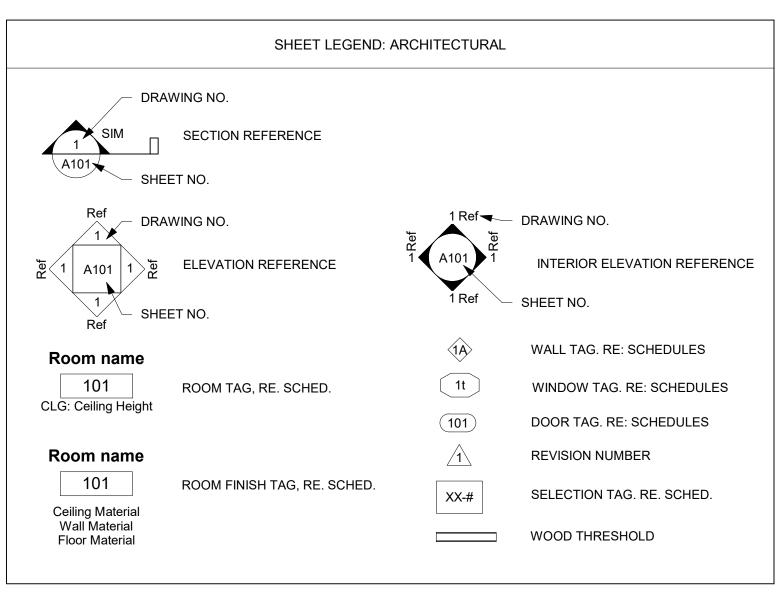
WANDS RESIDENCE RENOVATION/ADDITION

719 CHEROKEE ST. NEW ORLEANS, LA 70118





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	SCOPE OF WORK
THE SCOPE OF WORK IS THE DESIGN FOR RESIDENCE.	THE RENOVATION AND CAMELBACK ADDITION TO A SINGLE FAMILY
S	QUARE FOOTAGES
EXISTING	PROPOSED
BASEMENT: 2,279 SQ.FT. REAR PATIO: 330 SQ.FT. FIRST FLOOR: 2,611 SQ.FT. 719 SIDE: 2,090 SQ.FT. 721 SIDE: 521 SQ.FT FRONT PORCH: 300 SQ.FT.	BASEMENT: 2,279 SQ.FT. REAR PATIO: 330 SQ.FT. FIRST FLOOR: 2,611 SQ.FT. 719 SIDE: 2,090 SQ.FT. 721 SIDE: 521 SQ.FT FRONT PORCH: 300 SQ.FT. SECOND FLOOR: 1,495 SQ.FT.
TOTAL UNDER BEAM: 5,520 SQ.FT.	TOTAL UNDER BEAM: 7,015 SQ.FT.
ZO	NING INFORMATION
MUNICIPAL DISTRICT: 7 SQUARE / BLOCK: 78 LOT: 14/049 PARISH: ORLEANS ZONING DISTRICT: HU-RD1 SITE AREA: 7,200 SQ.FT.	

ARCHITECT:

STRUCT. ENGINEER:

T.B.D.

CONTRACTOR:

INTERIOR DESIGNER:

OWNER:

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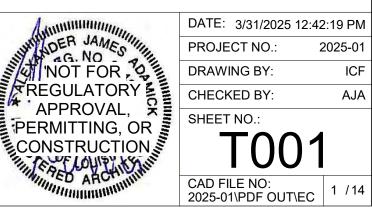
No.	Description	Date

31 MAR. 2025 27 FEB. 2025 SD-2 SD-1 21 FEB. 2025 24 JAN. 2025 EC-1 Project: #2025-01

WANDS RESIDENCE **RENOVATION/ADDITION**

719 CHEROKEE ST. NEW ORLEANS, LA

COVER SHEET & GENERAL PROJECT INFO



DATE: 3/31/2025 12:42:19 PM DRAWING BY: CHECKED BY: SHEET NO.: T001

PROJECT GENERAL NOTES

PARISH AGENCIES.

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ORLEANS CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING ORLEANS
- THIS AGREEMENT BETWEEN OWNER AND ARCHITECT DOES NOT INCLUDE CONSTRUCTION PHASE SERVICES UNLESS OTHERWISE NOTED. ACCEPTANCE OF THESE DRAWINGS BY THE OWNER SIGNIFIES THEIR AGREEMENT THAT THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INTERPRETING THESE DRAWINGS AND OBSERVING THE WORK OF THE CONTRACTOR TO DISCOVER, CORRECT OR MITIGATE ERRORS, INCONSISTENCIES AND OMISSIONS, AND THAT IF THE OWNER AUTHORIZES DEVIATIONS, RECORDED OR UNRECORDED, FROM PLANS PREPARED BY THE ARCHITECT, THE OWNER SHALL NOT BRING ANY CLAIM AGAINST THE ARCHITECT AND SHALL FULLY INDEMNIFY AND HOLD THE ARCHITECT. ITS PARTNERS, ASSOCIATES AND EMPLOYEES HARMLESS FROM AND AGAINST CLAIMS LOSSES, DAMAGES AND EXPENSES, INCLUDING BUT NOT LIMITED TO DEFENSE COSTS AND THE TIME OF THE ARCHITECT. TO THE EXTENT THAT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE ARISES OUT OF OR RESULTS IN WHOLE OR IN PART FROM SUCH DEVIATIONS. REGARDLESS OF WHETHER OR NOT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED UNDER THIS PROVISION.
- 4. ALL CONTRACTORS ARE RESPONSIBLE FOR NOTIFYING THE ARCHITECT / BUILDING OWNER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO BIDDING THE PROJECT.
- CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY
- THESE DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER. WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL AND ALL PARTIES INVOLVED SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND SPECIFICATIONS (IF ANY) AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE
- 7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- 9. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY REGULATORY INSPECTORS.
- 10. ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE AND NATIONAL CODES AS REQUIRED.
- 11. CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR.

OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.

- 12. SITE SHALL BE LEFT NEAT DAILY. PROVIDE COMPLETE CLEAN UP ON A WEEKLY BASIS. NO TRASH STORED IN BUILDING. PROPER DISPOSAL REQUIRED
- 13. OWNER SHALL PAY FOR ALL WATER AND POWER USED TOWARD CONSTRUCTION, FROM EXISTING SOURCES.
- 14. ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL
- 15. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- 16. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE
- CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA, INCLUDING AFTER HOURS.
- 18. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- 19. CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL CHANGES AND SHALL MARK SAME IN INK ON A SEPARATE. CLEAN SET OF THESE DRAWINGS DURING THE CONSTRUCTION. INCLUDING LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL FURNISH OWNER AND ARCHITECT EACH A COPY OF THIS RECORD BEFORE FINAL COMPLETION AND
- 20. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.).
- 21. FINISH SUBMITTALS FOR PURPOSES OF ABSOLUTE CONFIRMATION, THE CONTRACTOR SHALL SUBMIT TWO "FINISH SAMPLE SUBMITTALS" FOR ANY/ALL ITEM(S) THAT NEEDS AND/OR HAS/HAVE A CHOICE OF FINISH OR COLOR TO BE SELECTED AS WELL AS ANY/ALL ITEM(S) LISTED ON THE DRAWINGS OR SPECIFICATIONS REQUIRING THAT FINISHES BE SELECTED BY THE ARCHITECT OR OWNER. THE FIRST SAMPLE(S) WILL BE RETURNED AND SIGNED "APPROVED" INITIALED, AND DATED BY THE ARCHITECT ONLY WHEN THAT FINISH HAS BEEN APPROVED. THE OTHER SAMPLE(S) WILL BE USED AS A CONTROL SAMPLE. THE FINISH SAMPLE SUBMITTAL MUST BE SIGNED "APPROVED", INITIALED AND DATED BEFORE THAT ITEM IS CONSIDERED APPROVED BY THE ARCHITECT
- 22. THE PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- 23. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK
- 24. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND
- 25. ALL DIMENSIONS ARE TO FACE OF FIN TO BE REVIEWED. O FACE OF BRICK AND EXTERIOR FACE OF EXTERIOR STUDS, UNLESS UTHERWISE NOTED ON THE DRAWINGS, WHEN DIMENSIONS ARE TO AN EXISTING WALL, COLUMN OR FENESTRATION, ALL DIMENSIONS SHALL BE FROM THE FACE OF EXISTING FINISH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 26. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR
- 27. AIR CONDITIONING WILL CONFORM TO IBC & NFPA. PROVIDE MANUAL RESET FIRESTAT (SETTING NOT TO EXCEED 136 DEGREES FAHRENHEIT) IN RETURN AIR A/C STREAMS.
- 28. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCE ARS 40-1603.
- 29. ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR, UNLESS NOTED IN FIXTURE
- 30. ALL MATERIALS SHALL BE NEW AND U.L. APPROVED UNLESS SPECIFICALLY DESIGNATED OTHERWISE.
- 31. CAULKING ON EXTERIOR SHALL BE TOP QUALITY SILICONE CAULK.
- 32. PAINT GRADE TO BE SHERWIN WILLIAM EMERALD INTERIOR OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS. PAINT FINISH TO BE EGG-SHELL ON WALLS AND CEILINGS AND SEMI-GLOSS ON TRIM, UNLESS OTHERWISE SELECTED BY OWNER. COLOR AND FINISH TO BE SELECTED BY OWNER, AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER.
- 33. INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 0-75 AND A SMOKE DEVELOPMENT RATING OF
- 34. NEW 1/2" SHEETROCK LEVEL FOUR (4) FINISH FOR ALL WALLS & 5/8" SHEETROCK LEVEL FOUR (4) FOR CEILING UNLESS SPECIFIED OTHERWISE. CONTRACTOR TO VERIFY EXISTING AND PROPOSED FINISHES OF SHEETROCK SURFACES AND ASCERTAIN WITH OWNER WHETHER TO MATCH EXISTING OR UPGRADE FINISH, AND TO INCLUDE IN ORIGINAL BID AS
- 35. ALL NEW AND RENOVATED BATHROOMS TO RECEIVE 1/2" LEVEL FOUR (4) MOISTURE RESISTANT SHEETROCK INSTALLED THROUGHOUT THE BATHROOM.
- 36. ALL BATT INSULATION SHALL HAVE CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE. MINIMUM R VALUES TO BE R-13 IN 2X4 STUD WALLS AND R-19 IN 2X6 STUD WALLS, R-13 IN FLOORS, AND R-30 IN CEILINGS.
- 37. USE 6 INCH STUDS AT PLUMBING WALLS. PROVIDE METAL "SHOES" IN FRAMING TO PROTECT PLUMBING AND ELECTRICAL.
- 38 PROVIDE A GAI VANIZED METAL PAN WITH DRAIN AT A/C EVAPORATOR LOCATIONS AND PVC PAN BENEATH WASHING MACHINES LOCATED ABOVE FIRST FLOOR. CONTRACTOR TO VERIFY LOCATION OF A/C DRIP PAN DRAIN PIPE.
- 39. PROVIDE A TOP QUALITY INSULATING BLANKET FOR ALL NEW WATER HEATERS. TANKLESS WATER HEATERS SHALL NOT
- 40. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" WIDE SHEET OF PLYWOOD SHEATHING SHALL BE
- 41. INSTALL 2X BLOCKING AT MID-SPAN WITHIN ALL NEW WALLS THAT HAVE CEILING HEIGHTS GREATER THAN 8'-0". 42. PROVIDE (2) 2X10 HEADERS FOR ALL NEW OPENINGS BETWEEN 3'-0" AND 5'-0" WIDE. PROVIDE (2) 2X8 HEADERS TO ALL
- NEW OPENINGS LESS THAT 3'-0" WIDE.
- 43. ALL NEW WOOD FRAMING AND FASTENERS SHALL COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL 9WFCM) BY THE AMERICAN FOREST AND PAPER ASSOCIATION.
- 44. ALL NEW FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S, NO. 2 OR BETTER, 15% MAXIMUM MOISTURE
- 45. NEW PLYWOOD SUB-FLOORING SHALL BE 3/4 TONGUE AND GROOVE, APA RATED 48/24, NAILED AND GLUED TO FLOOR
- JOIST WITH 8D NAILS. NAIL SPACING SHALL BE 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE
- A. ALL NEW WOOD THAT COME INTO CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL EXPOSED
- EXTERIOR WOOD SHALL BE TREATED TO THE FOLLOWING SPECIFICATIONS. .25 TREATED WOOD NOT IN CONTACT WITH THE GROUND.
- .40 TREATED WOOD IN CONTACT WITH THE GROUND & MASONRY. .80 TREATED WOOD IN CONTACT WITH WATER.
- 47. PAINTED EXTERIOR WOOD: SHALL BE TREATED AND FULLY AIR DRIED BEFORE BACK, END AND EDGE PRIMING AND TWO (2) COATS OF PREMIUM GRADE EXTERIOR PAINT.
- 48. NATURAL EXTERIOR WOOD: SHALL BE FULLY CURED, SELECTED FOR STRAIGHTNESS AND QUALITY. MOSTLY FREE OF CHECKS, KNOTS, AND SPLITS AND TREATED WITH PREMIUM DECK SEALER.

PROJECT GENERAL NOTES (CONTINUED)

- 49. GUARDRAILS: GUARDS SHALL BE AT LEAST 36 INCHES HIGH MEASURED VERTICALLY TO THE TOP OF THE GUARD FROM THE SURFACE ADJACENT THERETO. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER SHALL NOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIR SHALL BE OF SUCH SIZE THAT A SPHERE 6 INCHES IN DIAMETER SHALL NOT PASS THROUGH THE TRIANGULAR OPENINGS. GUARDS SHALL BE REQUIRED IN ALL AREAS MORE THAN 30 INCHES OR 4 RISERS ABOVE THE FLOOR OR THE
- 50. AS PER NFPA 101 2015 EDITION, SECTION 7.2.2.4:HANDRAILS ON STAIRS SHALL BE AT LEAST 34" INCHES AND NOT MORE THAN 38" INCHES ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD. NEW HANDRAILS SHALL PROVIDE A CLEARANCE OF AT LEAST 2-1/4 INCHES BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1-1/2" INCHES AND NOT MORE THAN 2" INCHES. NEW HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH. NEW HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR TERMINATE AT NEWEL POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. SPIRAL STAIRS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS SHALL BE REQUIRED ON STAIRS WITH AN ELEVATION DIFFERENCE GREATER THAN 21" INCHES.
- 51. TREADS SHALL BE OF UNIFORM DEPTH AND RISER OF UNIFORM HEIGHT IN ANY STAIRWAY BETWEEN TWO FLOORS. THERE SHALL BE NO VARIATION EXCEEDING 3/16" INCH IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS AND TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" INCHES IN ANY FLIGHT. TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S
- 52. ALL WINDOWS ON FRONT FACADE SHALL BE WOOD UNLESS OTHERWISE NOTED IN THE WINDOW SCHEDULE.
- 53. ALL WINDOW UNIT SIZES ARE GIVEN IN ACTUAL FRAME SIZE CONTRACTOR TO VERIFY ROUGH-OPENING AND
- ALL WINDOW UNIT SIZES ARE GIVEN IN ALTHAI FRANK INSTALLATION REQUIREMENTS VTO BE REVIEWD

 ONE OF THE FOLLOWING OPTIONS: A WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH AND A MAXIMUM SPAN OF 8 FEET. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (1) SPAN LESS THAN OR EQUAL TO 6 FEET: 2 1/2" #8 WOOD SCREWS @ 16" O.C. (2) FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL. (3) WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 LBS. B. IMPACT RESISTANT GLASS PER ASTM E 1986 OR ASTM E 1996 OR APPROVED TEST METHODS FOR PERFORMANCE CRITERIA. C. SHUTTERS CERTIFIED PER THE FOLLOWING TESTS: UNIFORM STATIC AIR PRESSURE - TAS 202, ASTM E330, LARGE MISSILE IMPACTS - TAS 201, ASTM E1996, CYCLIC WIND PRESSURE LOADING - TAS 203, ASTM E1886
- 55. NEW WINDOWS INSTALLED IN STAIR LANDING AREAS WITHIN FIVE FEET OF THE LANDING FLOOR SHALL BE SAFETY GLAZED PER R308.4 OF THE IRC 2021.
- 56. NEW WINDOWS INSTALLED IN BATHROOM ENCLOSURES THAT MEASURE LESS THAN 60" FROM THE FLOOR SHALL BE SAFETY GLAZED IN ACCORDANCE WITH SECTION R308 4 OF THE IRC 2021
- 57. THE CONTRACTOR SHALL GRADE THE SITE AS REQUIRED TO ENSURE PROPER RAIN WATER DRAINAGE AND RUNOFF. NO PART OF THE SITE SHALL BE ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES. NOR SHALL RUNOFF BE ALLOWED TO
- 58. ALL DOWNSPOUTS TO TERMINATE AT SUB-SURFACE DRAINAGE, PAVING OR SPLASH BLOCKS AS REQUIRED.
- 59. SITE FLATWORK (WALKS, DRIVES, ETC.,) TO BE 3,000 P.S.I. CONCRETE, 4" TO 6" THICK, WITH 6/6 WELDED WIRE MESH OR AS PER ENGINEER'S DRAWINGS / SPECIFICATIONS.
- 60. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY OR LIABILITY REGARDING THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.
- 61. WHERE FLOOR / CEILING ASSEMBLIES OR COMMON WALL ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANT RATING, ELECTRICAL FIXTURES, DUCTWORK, AND PLUMBING SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE
- 62. ALL BATHROOMS TO BE MECHANICALLY VENTED USING AN EXHAUST FANS REQUIRED BY THE IRC 2021.
- 63. ALL EXTERIOR DOORS SHALL BE SOLID WOOD DOORS, UNLESS OTHERWISE NOTED IN THE DOOR SCHEDULE
- 64. PROVIDE GALVANIC PROTECTION BETWEEN DIS-SIMILAR METALS.

RESISTANT RATING IS NOT REDUCED.

ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE.

SMOKE AND CARBON MONOXIDE DETECTION

- DWELLING UNITS SHALL BE FOUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM THE BUILDING WIRING AND THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT: PROVIDED, HOWEVER THAT DWELLING LINITS IN EXISTING BUILDINGS MAY IN THE *ALTERNATIVE, BE EQUIPPED WITH BATTERY-OPERATED SMOKE DETECTING DEVICES EXCEPT WHERE SUCH BUILDING ARE SUBSTANTIALLY IMPROVED OR ALTERED ON OR AFTER JANUARY 1, 1982.
- 2. BATTERY OPERATED SMOKE DETECTORS SHALL BE CONSIDERED CAPABLE OF BEING CONVERTED TO AUDIBLE AND
- ALL SMOKE DETECTING DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.
- 4. SMOKE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS: A. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM
- THE DOOR TO SUCH ROOM IN EACH ROOM USED FOR SLEEPING PURPOSES IN EACH STORY WITHIN A DWELLING UNIT. INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS
- 5. CARBON MONOXIDE DETECTION DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
- CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS: A. OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES, WITHIN 15 FEET (4572 MM) OF THE ENTRANCE TO SUCH
- B. IN ANY ROOM USED FOR SLEEPING PURPOSES.
- ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE

LIME RICH MORTAR RECIPE

THAN ONE FULL STORY BELOW THE UPPER LEVEL.

STUCCO USED OVER OLD BRICKS SHOULD BE OF A SOFTNESS COMPATIBLE WITH THE OLD BRICK. WHERE SCORING IS EMPLOYED, JOINTS SHALL NOT BE DEEPER THAN 1/8", NOR WIDER THAN 1/8" AND PATTERNS SHOULD MATCH ORIGINAL.

<u>LIME: HYDRATED MASONS LIME ASTM C207</u>
AGGREGATE: SHALL CONSIST OF FINE GRANULAR MATERIAL COMPOSED OF NATURAL SAND FREE OF LOAM, SILT, SOLUBLE SALTS AND VEGETABLE MATTER. AGGREGATE SHALL CONFORM TO THE FOLLOWING SIZE GRADATION. WATER: SHALL BE

CLEAN AND FREE OF ACIDS, ALKALINE OR ORGANIC MATERIALS. MINIMUM MAXIMUM

NO. 50 NO. 100

PROPORTIONS1 PART BY VOLUME HYDRATED LIME

 3 PARTS BY VOLUME AGGREGATE WATER-ENOUGH TO FORM A WORKABLE MIX

NO. 30

- EXECUTION
 REMOVE ALL PORTLAND CEMENT MORTAR BY HAND USING A CHISEL AND MALLET. DO NOT USE POWER TOOLS. RAKE JOINTS TO A DEPTH OF AT LEAST 1" OR TO SOUND MORTAR. BRUSH, VACUUM OR FLUSH JOINTS TO REMOVE ALL DIRT AND LOOSE DEBRIS.
- MEASURE AND PROPORTION ALL MATERIALS TO INSURE UNIFORMITY OF BATCHES. USE AND PLACE MORTAR IN FINAL POSITION WITHIN 2 1/2 HOURS OF MIXING. DO NOT RETEMPER OR USE MATERIAL THAT
- HAS PARTIALLY SET, IS CRACKED OR IS LUMPY. USE ONLY CLEAN TOOLS AND EQUIPMENT, FREE FROM HARDENED OR PARTIALLY HARDENED MATERIALS.
- MACHINE MIX THE MORTAR FOR AT LEAST THREE MINUTES. DAMPEN BRICKS (SURFACE DRY) PRIOR TO REPOINTING.
- PACK JOINTS WITH NEW MORTAR LEAVING NO VOIDS. RECESS THE SURFACE OF THE POINTING SLIGHTLY. DO NOT ALLOW THE MORTAR TO EXTEND OVER THE EDGES OF THE
- AS SOON AS THE MORTAR HAS TAKEN ITS INITIAL SET, TOOL THE JOINT TO MATCH THE ORIGINAL JOINT CONFIGURATION. STIPPLE WITH A STIFF BRUSH TO GIVE THE JOINT A WEATHERED APPEARANCE AND TO REMOVE ANY EXCESS OR RAGGEDNESS AND LEAVE THE WORK CLEAN. SHOULD BE ASSISTED BY SPRAYING FROM A FINE MIST HAND SPRAY. KEEP POINTING (90% HUMIDITY) FOR 48 TO 72 HOURS.

LIME RICH MORTAR RECIPE (CONTINUED)

VARIATIONS
IN SOME CASES IT MAY BE DESIRABLE AND/OR NECESSARY TO MATCH THE COLOR AND TEXTURE OF THE ORIGINAL MORTAR EXACTLY. IN SUCH CASES THE AGGREGATE SHOULD BE MATCHED TO THE ORIGINAL CONTENT, COLOR AND GRADATION. THE ABOVE RECOMMENDED PROPORTION OF SAND TO LIME MAY NEED ALSO TO BE ALTERED. PORTLAND CEMENT IS SOMETIMES ADDED TO THE MIX TO INCREASE WORKABILITY AND DECREASE SETTING TIME BUT UNDER NO CIRCUMSTANCES SHOULD THE PORTLAND CEMENT CONTENT EXCEED ONE PART TO TWELVE PARTS OF LIME AND SAND. PORTLAND CEMENT IN GENERAL, HOWEVER, IS NOT RECOMMENDED FOR USE IN POINTING MORTAR.

- CARE OF STUCCOIDENTIFICATION OF DETERIORATION CRACKING - CRACKING OCCURS IN TWO WAYS. LARGE CRACKS AND SMALL ALL OVER CRACKS.
 - SPALLING THE OUTER SURFACE OF THE STUCCO COATING BECOMES DETACHED AND FALLS OFF LOSS OF BOND - THE STUCCO COATING IS NO LONGER ATTACHED TO THE BRICK MASONRY.

- LARGE CRACKS ARE MOST OFTEN CAUSED BY SETTLEMENT OF THE WALLS OR BY DIFFERENCES IN THE MOVEMENT OF THE STUCCO AND THE BACKING MASONRY DUE TO EXPANSION AND CONTRACTION. HAIRLINE CRACKING IS CAUSED BY THE IMPROPER CURING OF THE STUCCO WHEN IT WAS APPLIED. THE STUCCO WAS
- ALLOWED TO DRY TOO QUICKLY AND AS IT DRIED IT CONTRACTED. LOSS OF BOND IN MOST CASES OCCURS AFTER THE STUCCO HAS CRACKED AND WATER HAS ENTERED THE WALL THROUGH THE CRACKS IN THE STUCCO COATING. BONDING FAILURE MAY ALSO BE CAUSED BY THE IMPROPER PREPARATION OF THE MASONRY SURFACE BEFORE THE STUCCO WAS APPLIED.

PROJECT KEYNOTES

KEYNOTES - PROJECT Keynote Text Key Value

PROJECT KEYNOTES (CONTINUED)

CODE REVIEW

SINGLE FAMILY RESIDENCE - CODE REVIEW DONE USING 2021 - IRC.

KEYNOTES - PROJECT Key Value Keynote Text

504.322.1220 Description Date

3301 CHIPPEWA STREET

NEW ORLEANS, LA 70115

31 MAR. 2025	SD-3
27 FEB. 2025	SD-2
21 FEB. 2025	SD-
24 JAN. 2025	EC-

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

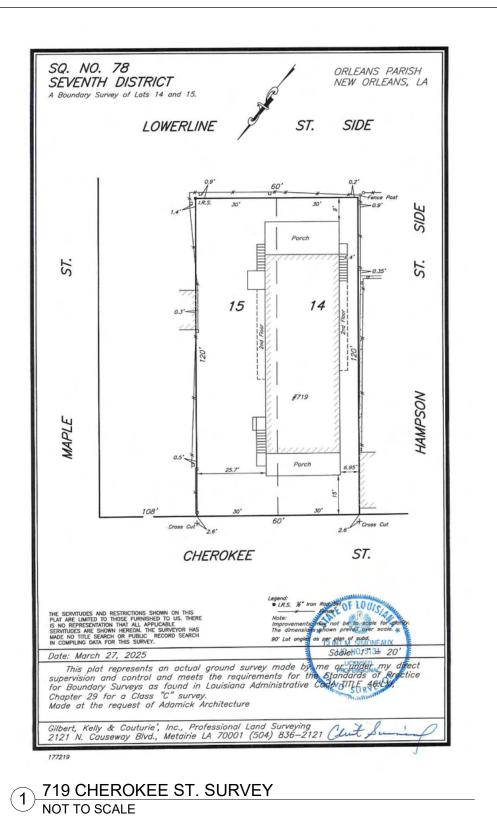
719 CHEROKEE ST. NEW ORLEANS, LA

GENERAL NOTES, **PROJECT** KEYNOTES, & CODE



DATE: 3/31/2025 12:42:19 PM PROJECT NO.: 2025-01 DRAWING BY: CHECKED BY: SHEET NO.:

CAD FILE NO: 2025-01\PDF OUT\EC 2 /14



	o.: FOR	INSURAN	CE COMPANY USE
719 CHEROKEE STREET State: LA ZIP Code: 70118	111111111111111111111111111111111111111	y Number: _ pany NAIC I	Number:
SECTION C - BUILDING ELEVATION INFORMATION (SI	STORY ALL	THE RESIDENCE	
C1. Building elevations are based on: Construction Drawings* Building Under C	Construction*	X Finished	Construction
*A new Elevation Certificate will be required when construction of the building is comple	ete.		
C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AF A99. Complete Items C2.a-h below according to the Building Diagram specified in Iten Benchmark Utilized: ALCO Vertical Datum: NX	n A7. In Puerto	, AR/A1–A3 Rico only, e	0, AR/AH, AR/AO, enter meters.
Indicate elevation datum used for the elevations in items a) through h) below.			
☐ NGVD 1929 区 NAVD 1988 ☐ Other:			
Datum used for building elevations must be the same as that used for the BFE. Conversion If Yes, describe the source of the conversion factor in the Section D Comments area.	factor used?	☐ Yes	_
a) Top of bottom floor (including basement, crawlspace, or enclosure floor):	4.0	Check the	e measurement used meters
b) Top of the next higher floor (see Instructions):	12.0	X feet	☐ meters
c) Bottom of the lowest horizontal structural member (see Instructions):	N/A	X feet	☐ meters
d) Attached garage (top of slab):	N/A	X feet	meters
e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area):	7.9	X feet	☐ meters
f) Lowest Adjacent Grade (LAG) next to building: Natural X Finished	3.8	X feet	meters
g) Highest Adjacent Grade (HAG) next to building: Natural X Finished	4.1	X feet	☐ meters
h) Finished LAG at lowest elevation of attached deck or stairs, including structural		_	_
support:	N/A	X feet	meters
SECTION D - SURVEYOR, ENGINEER, OR ARCHITEC			
This certification is to be signed and sealed by a land surveyor, engineer, or architect author architecture in the signed in the information on this Certificate represents my best efforts to inte- false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1	erpret the data a	aw to certify available. I u	inderstand that any
Were latitude and longitude in Section A provided by a licensed land surveyor? Yes [
	*2		
Check here if attachments and describe in the Comments area.		WILLIAM CO	FIGURE
		TATE	An Sky
Certifier's Name: Louis C. Hartmann License Number: 4995			24 A
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor		平	
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc.		LOUIS C	HARTMANN
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc. Address: 2121 N. Causeway Blvd., Suite 121	01	LIG.	HARTMANN VO. 4995
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc. Address: 2121 N. Causeway Blvd., Suite 121 City: Metairie State: LA ZIP Code: 700	1	LIC.	HARTMANN NO. 4995 ENSED ERSIONAL
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc. Address: 2121 N. Causeway Blvd., Suite 121 City: Metairie State: LA ZIP Code: 700 Signature: Date: 3/27/2	1	LIC.	VU. 4995 ENSED
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc. Address: 2121 N. Causeway Blvd., Suite 121 City: Metairie Stafe: LA ZIP Code: 700 Signature: Date: 3/27/2 Telephone: (504) 836-2121 Ext.: Email: Louie@gkcsurveyors.com	025	PROFE	VU. 4995 ENSED ESSIONAL P. SOOI VICE TO THE
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc. Address: 2121 N. Causeway Blvd., Suite 121 City: Metairie State: LA ZIP Code: 700 Signature: Date: 3/27/2 Telephone: (504) 836-2121 Ext.: Email: Louie@gkcsurveyors.com Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) in:	025 surance agent/c	Place ompany, and	W. 4995 ENSED ESSIONAL e. Soal (General (3) building owner.
Certifier's Name: Louis C. Hartmann License Number: 4995 Title: Professional Land Surveyor Company Name: Gilbert, Kelly & Couturié, Inc. Address: 2121 N. Causeway Blvd., Suite 121 City: Metairie Stale: LA ZIP Code: 700 Signature: Date: 3/27/2 Telephone: (504) 836-2121 Ext.: Email: Louie@gkcsurveyors.com Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) in: Comments (including source of conversion factor in C2; type of equipment and location per	surance agent/c	Place ompany, and cription of all	e Seel (Ge and a distribution of the control of the
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Title: Professional Land Surveyor	surance agent/c	Place ompany, and cription of all	e Seel (Ge and a distribution of the control of the

3 719 CHEROKEE ST. ELEVATION CERTIFICATE NOT TO SCALE

SITE PLAN: PROPERTY INFORMATION			
ADDRESS:	719-721 CHEROKEE ST.		
CITY / PARISH :	NEW ORLEANS / ORLEANS		
ZIP CODE :	70118		
SQUARE / BLOCK :	78		
LOT:	14/049		
ZONING DISTRICT:	HU-RD1		
USE:	TWO-FAMILY DWELLING		
HISTORIC DISTRICT:	HDLC - UPTOWN NEIGHBORHOOD		

SITE PLAN : ZONING DATA				
	REQUIRED	EXIST / PROP.		
LOT AREA (SQ.FT.):	2,200 SQ.FT.	7,200 SQ.FT.*		
LOT WIDTH:	40'-0"	60'-0"		
LOT DEPTH :	90'-0"	120'-0"		
BLDG. HEIGHT :	35'-0"	30' - 9 7/8"		
PERM. OPEN SPACE:	30%	42%		
MIN. OPEN SPACE :	120 SQ.FT. DU	1,510 SQ.FT. DU*		
MAX. IMPERV. FRONT YARD:	40% LOT SQ.	24%		
FRONT SETBACK :	11.3.A.2	15'-0"*		
SIDE SETBACK :	3'-0"	+/- 19' - 6 3/8" (N)* +/- 3' - 11 1/8" (S)*		
REAR SETBACK :	20% OF LOT DEPTH OR 15'-0"	8'-11 1/8"*		
* = EXIS	STING TO REMAIN	1		

IERAL SITE PLAN NOTES	ADAMICK
ARE "FINISH TO FINISH," UNLESS NOTED	ARCHITECTURE

- ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR RESPONSIBLE FOR LOCATING AND COORDINATING ALL NEW FOUNDATIONS, PILES, GRADE BEAMS ETC. WITH SURVEYOR PRIOR TO PROCEEDING
- 3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING NEW GRADING, SOD, HARDSCAPING, AND GRAVEL WITH A

WITH CONSTRUCTION OF THE BUILDING.

- TO BE REVIEWED.
- GRADE, 3'-0" AWAY FROM ALL SIDEYARD LOT LINES, 5'-0" FROM REAR LOT LINE, AND 6'-0" FROM ALL ROOF EDGES. HVAC INSTALLER TO SIZE MACHINE ACCORDINGLY AND PROVIDE ADEQUATE SERVICE AND CLEARANCE SPACE AROUND THE MACHINE.
- 5. ALL NEW EXTERIOR WORK IN ALL HDLC NEIGHBORHOODS MUST BE APPROVED BY THE RESPECTIVE HDLC REVIEWER PRIOR TO PURCHASE AND INSTALL OF EXTERIOR FIXTURES, WINDOWS, DOORS, ETC.

	SHEET - KEYNOTES
Key Value	Keynote Text

No.	Description	Date

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115

504.322.1220

٨	EXIST. CURB CUT & DRIVEWAY.		×.	120' - 0"			
			ET BAC	PROPERTY DEPTH			
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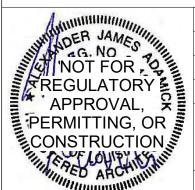
31	MAR. 2025	SD-3
27	FEB. 2025	SD-2
21	FEB. 2025	SD-1
24	JAN. 2025	EC-1

Project: #2025-01

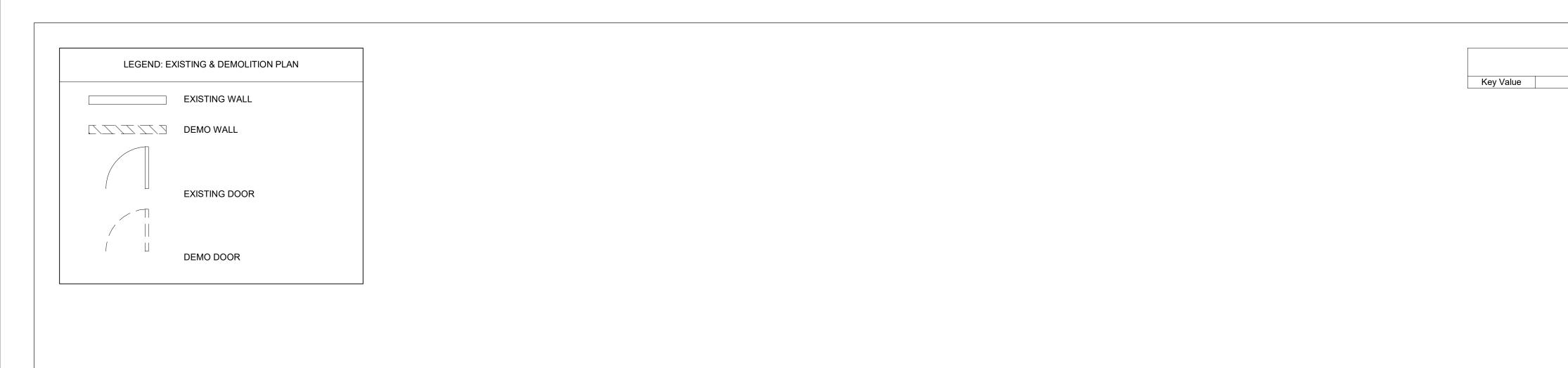
WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

SITE PLAN, ZONING, SURVEY, & ELEV. CERT.



DATE: 3/31/2025 12:42:22 PM
PROJECT NO.: 2025-01
DRAWING BY: ICF
CHECKED BY: AJA
SHEET NO.:
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CAD FILE NO: 2025-01\PDF OUT\EC 3 /14



GENERAL DEMOLITION NOTES

SHEET - KEYNOTES

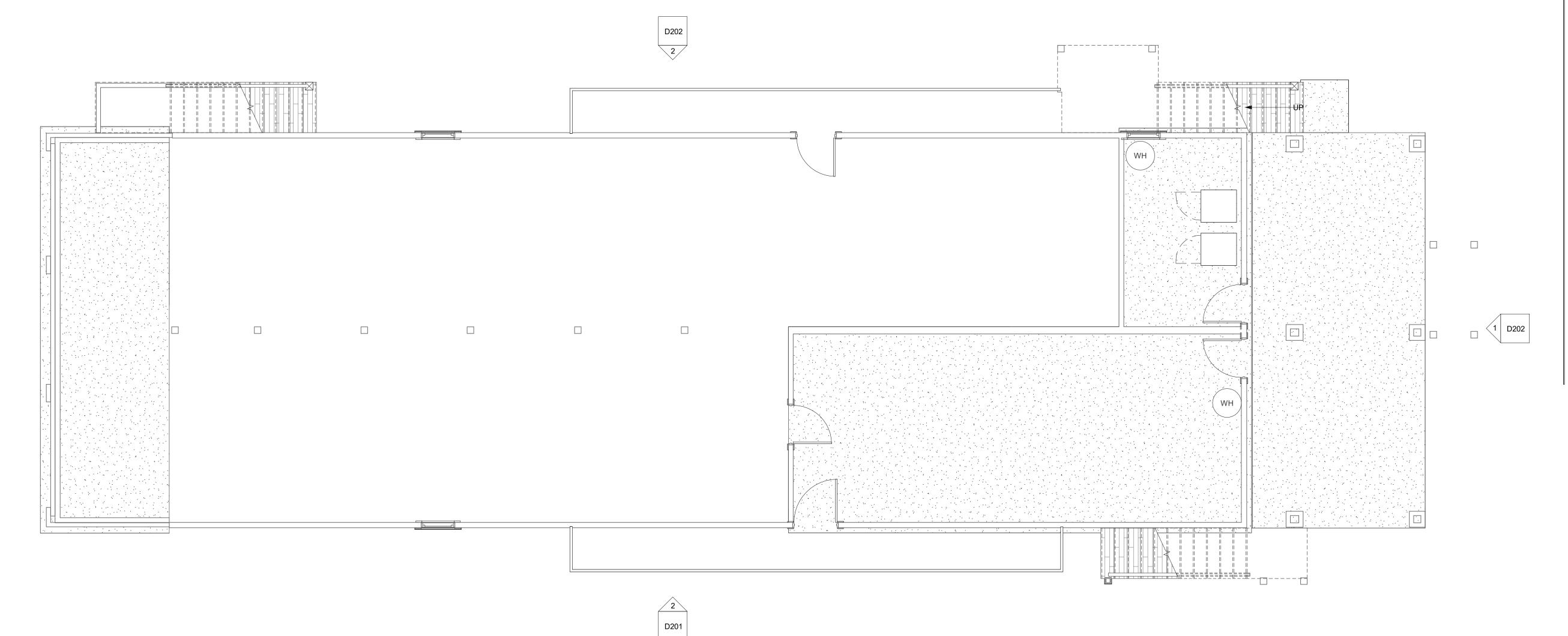
Keynote Text

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS
 PRIOR TO BEGINNING DEMOLITION AND REPORT
 DISCREPANCIES IN EXISTING CONDITIONS DRAWINGS TO
 ARCHITECT.
- 2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING & BRACING, TO ENSURE PLUMBNESS, STABILITY AND SAFETY, WHENEVER REQUIRED TO SUPPORT LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING DEMOLITION AND CONSTRUCTION.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING & OBJECTS OUTSIDE THE DEMO SCOPE DUE TO DEMOLITION.
- 4. CONTRACTOR SHALL REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
- 5. CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL WORK AS NOTED OR REQUIRED BY PROPOSED CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING ELECTRICAL NOT UP TO CODE.
- 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING LINE TO BE REVIEWED. REMOVE ALL DELIGIBLE, AND EXISTING PLUMBING NOT UP TO CODE.
- 7. CONTRACTOR SHALL PREPARE BUILDING AS REQUIRED FOR PROPOSED HVAC WORK. ADDITIONAL SELECTIVE DEMOLITION MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL DEFICIENT, ABANDONED, AND EXISTING HVAC EQUIPMENT & DUCTWORK NOT UP TO CODE.
- 8. CONTRACTOR SHALL REMOVE ALL EXISTING ACCESSORIES, LIGHT FIXTURES AND APPLIANCES. SAVE FOR REVIEW BY (OWNER & ARCHITECT).
- 9. ALL REMOVED DOORS, WINDOWS, AND ASSOCIATED HARDWARE AS NOTED BY THE PLANS TO BE REVIEWED BY OWNER AND (ARCHITECT) PRIOR TO DISPOSAL.
- 10. CONTRACTOR SHALL DONATE ALL MATERIALS, DOORS, WINDOWS, APPLIANCES, CABINETS, VANITIES, HISTORICAL DETAILS DESIGNATED FOR REMOVAL TO THE NON-PROFIT SALVAGE BUILDING SUPPLY STORE, 'THE GREEN PROJECT'. CONTRACTOR SHALL ARRANGE PICK-UP OF MATERIALS DIRECTLY WITH A 'GREEN PROJECT' REPRESENTATIVE & PROVIDE RECEIPT TO CLIENT. ANY ITEMS DONATED WITHOUT OWNER CONSENT, SHALL BE REPLACED & INSTALLED BY CONTRACTOR AT NO COST TO OWNER.



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date



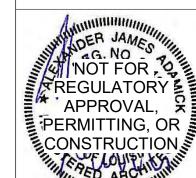
31 MAR. 2025 SD-3
27 FEB. 2025 SD-2
21 FEB. 2025 SD-1
24 JAN. 2025 EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

EXISTING / DEMO FIRST FLOOR PLAN & NOTES



DATE: 3/31/2025 12:42:22 PM
PROJECT NO.: 2025-01
DRAWING BY: XXX
CHECKED BY: AJA
SHEET NO.:

CAD FILE NO: 2025-01\PDF OUT\EC 4 /14

LEGEND: EXISTING & DEMOLITION PLAN _____ EXISTING WALL DEMO WALL EXISTING DOOR DEMO DOOR

SHEET - KEYNOTES Keynote Text Key Value

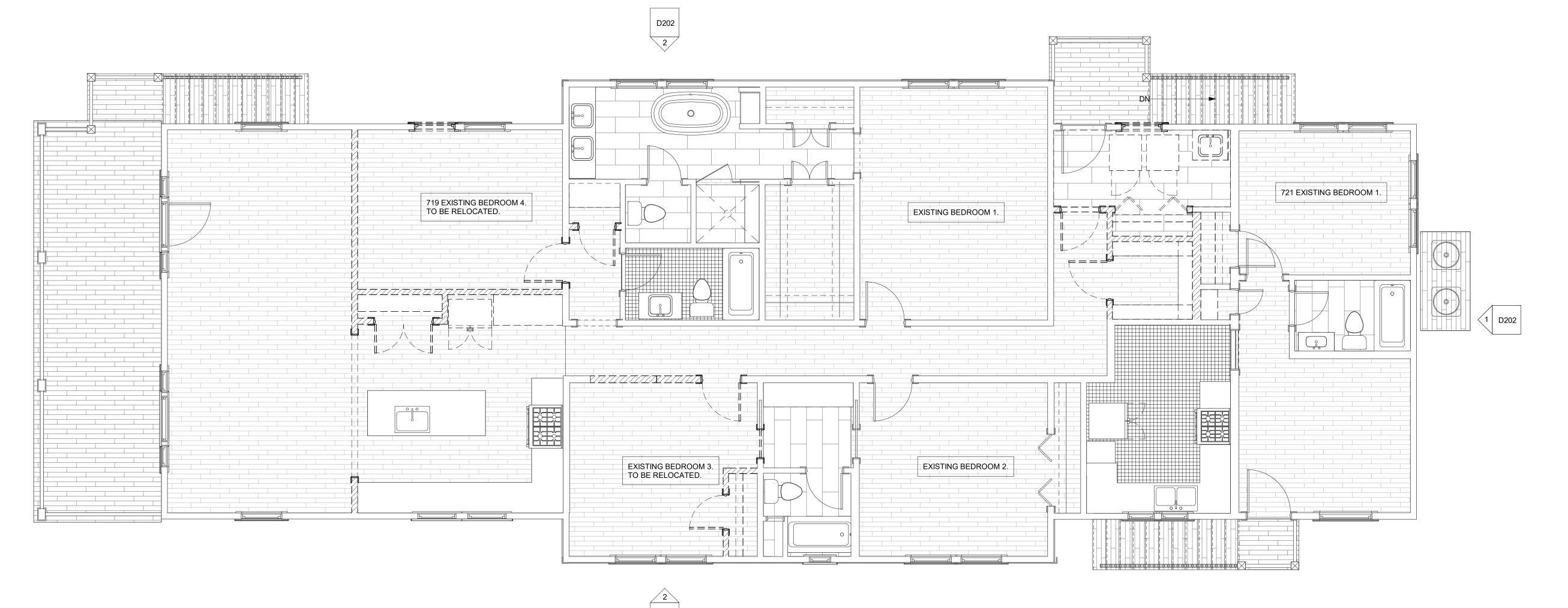
GENERAL DEMOLITION NOTES

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- 6. CONTRACTOR SHALL REMOVE ALL EXISTING PLUMBING PROTO BE REVIEWED. REMOVE ALL DELIGIENT, ADAINDONED, AND EASTING PLUMBING NOT UP TO CODE.
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3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date



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31 MAR. 2025 27 FEB. 2025 SD-2 21 FEB. 2025 SD-1 24 JAN. 2025 EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

719 CHEROKEE ST. NEW ORLEANS, LA

EXISTING / DEMO SECOND FLOOR PLAN & NOTES

Ammunian	DATE: 3/31/2025 12:42:23 PM
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NOT FOR	DRAWING BY: XXX
REGULATORY	CHECKED BY: AJA
APPROVAL, X	SHEET NO.:
CONSTRUCTION	D102
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PROPOSED DEMOLITION OF THE RIGHT SIDE ELEVATION

1/4" = 1'-0"



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date
NO.	Description	Date

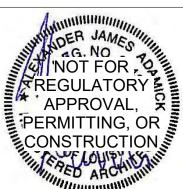
31 MAR. 2025 SD-3
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24 JAN. 2025 EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

EXISTING / DEMO
EXTERIOR
ELEVATIONS &
NOTES



DATE: 3/31/2025 12:42:29 PM
PROJECT NO.: 2025-01
DRAWING BY: ICF
CHECKED BY: AJA
SHEET NO.:

CAD FILE NO: 2025-01\PDF OUT\EC 6 /14





3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

Description	Date
	Description

31 MAR. 2025 SD-227 FEB. 2025 SD-224 JAN. 2025 EC-225 SD-225 SD-225 SD-225 SD-225 SD-226 SD-2

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

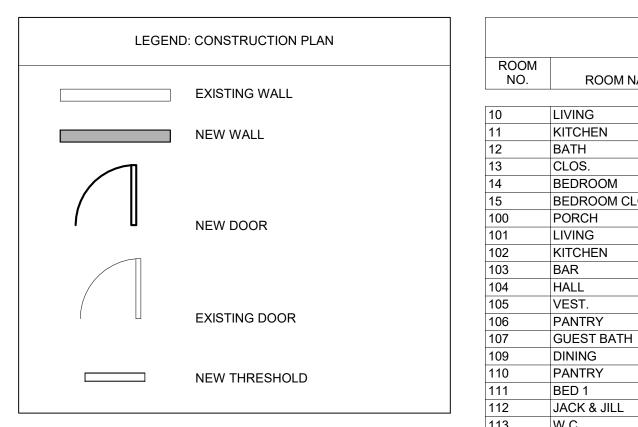
ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

EXISTING / DEMO
EXTERIOR
ELEVATIONS &
NOTES

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PROJECT NO.: 2025-01
DRAWING BY: ICF
CHECKED BY: AJA
SHEET NO.:

CAD FILE NO: 2025-01\PDF OUT\EC 7 /14



					ROOM MATERI	AL/FINISH SCHEDULE			
ROOM NO.	ROOM NAME	AREA	CEILING HEIGHT	FLOOR	BASE	WALLS	CEILING	CASING FINISH	REMARKS
0	LIVING	147 SF	7' - 10"						
1	KITCHEN	123 SF	8' - 11 1/2"						
2	BATH	40 SF	7' - 10"						
 3	CLOS.	7 SF	9' - 1 1/4"						
4	BEDROOM	119 SF	7' - 10 1/2"						
5	BEDROOM CLOS.	16 SF	9' - 0"						
00	PORCH	212 SF	9' - 1 1/2"						
01	LIVING	501 SF	9' - 2"						
02	KITCHEN	136 SF	9' - 1 1/2"						
03	BAR	Not Place	d 9' - 1 3/4"						
04	HALL	132 SF	9' - 2"						
05	VEST.	18 SF	9' - 1 1/2"						
06	PANTRY	14 SF	9' - 1 3/4"						
07	GUEST BATH	46 SF	9' - 1 1/2"						
09	DINING	158 SF	9' - 1 1/2"						
10	PANTRY	Not Place	d 9' - 1 1/2"						
11	BED 1	158 SF	9' - 1 1/2"						
12	JACK & JILL	37 SF	9' - 0 1/2"						
13	W.C.	31 SF	9' - 0 1/2"						
14	CLOS. 1	17 SF	7' - 4 1/2"						
15	PRIM BED	211 SF	9' - 0 1/2"						
16	PRIM. BATH	126 SF	9' - 1 1/2"						
17	HIS CLOS.	16 SF	9' - 1 1/2"						
18	HER CLOS.	58 SF	9' - 1 1/2"						
19	W.C.	18 SF	9' - 0 3/4"						
20	STAIR	130 SF	9' - 2"						
00	STAIR	82 SF	10' - 0"						
201	GREAT ROOM	364 SF	10' - 0"						
02	OFFICE	53 SF	10' - 0"						
.03	BED 2	151 SF	10' - 0"						
204	CLOS. 2	17 SF	10' - 0"						
05	BED 5 BATH	57 SF	10' - 0"						
06	BED 4	157 SF	10' - 0"						
07	W.C.	15 SF	10' - 0"						
08	LAUNDRY	69 SF	10' - 0"						
09	CLOS. 4	17 SF	10' - 0"						
10	BED 3	151 SF	10' - 0"						
:11	CLOS. 3	17 SF	10' - 0"						
12	JACK & JILL	83 SF	10' - 0"						
13	STORAGE CLOS.	58 SF	10' - 0"						

SHEET - KEYNOTES GENERAL CONSTRUCTION NOTES

Keynote Text

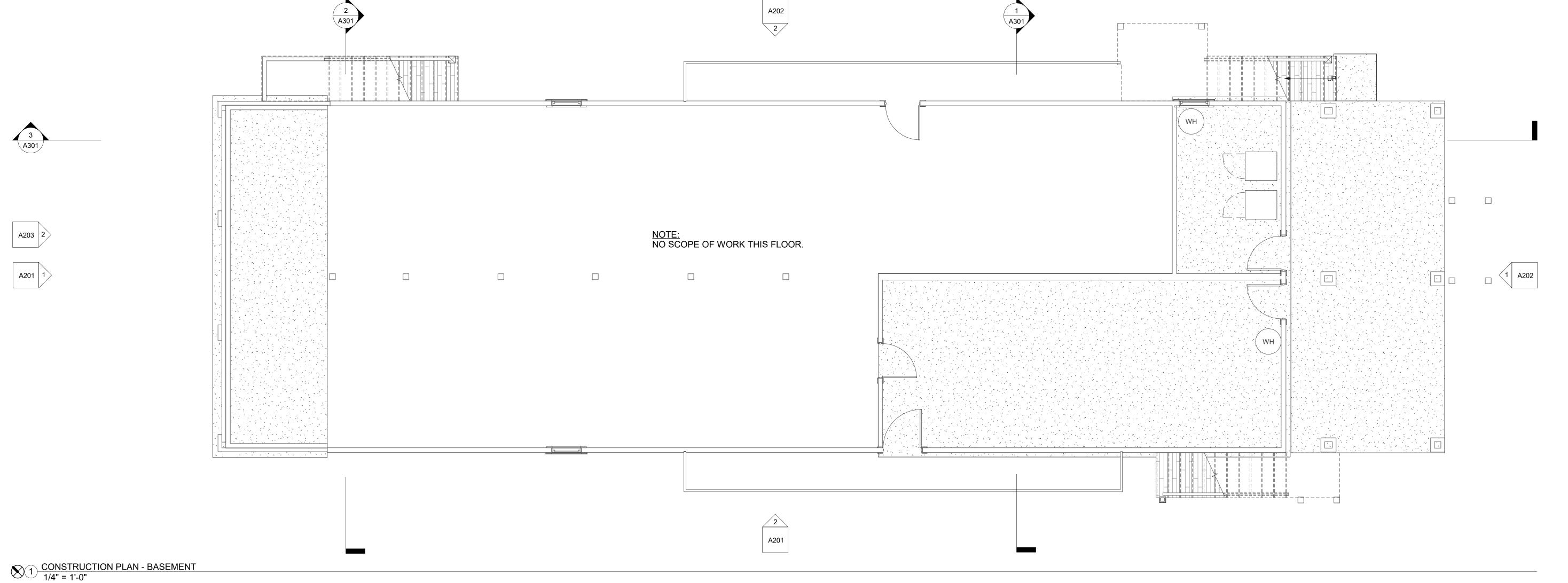
Key Value

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3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date
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31 MAR. 2025	SD-3
27 FEB. 2025	SD-2
21 FEB. 2025	SD-1
24 JAN. 2025	EC-1
	·

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

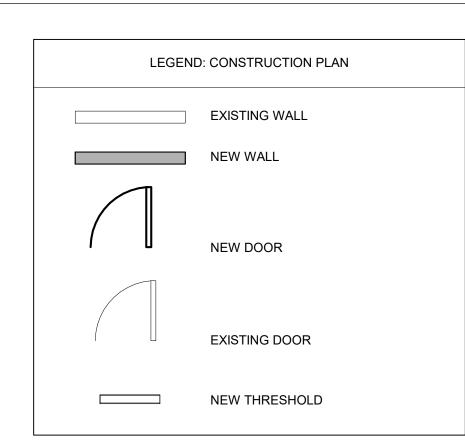
PROPOSED
BASEMENT PLAN &
NOTES

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APPROVAL,
PERMITTING, OR
CONSTRUCTION
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PROJECT NO.: 2025-01
DRAWING BY: XXX
CHECKED BY: AJA
SHEET NO.:

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CAD FILE NO: 2025-01\PDF OUT\EC 8 /14



STORAGE CLOS.

58 SF 10' - 0"

	ROOM MATERIAL/FINISH SCHEDULE									
ROOM NO.	ROOM NAME	AREA	CEILING HEIGHT	FLOOR	BASE	WALLS	CEILING	CASING	CASING FINISH	REMARKS
10	LIVING	147 SF	7' - 10"							
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13	CLOS.	7 SF	9' - 1 1/4"							
14	BEDROOM	119 SF	7' - 10 1/2"							
15	BEDROOM CLOS.	16 SF	9' - 0"							
100	PORCH	212 SF	9' - 1 1/2"							
101	LIVING	501 SF	9' - 2"							
102	KITCHEN	136 SF	9' - 1 1/2"							
103	BAR	Not Placed	d 9' - 1 3/4"							
104	HALL	132 SF	9' - 2"							
105	VEST.	18 SF	9' - 1 1/2"							
106	PANTRY	14 SF	9' - 1 3/4"							
107	GUEST BATH	46 SF	9' - 1 1/2"							
109	DINING	158 SF	9' - 1 1/2"							
110	PANTRY	Not Placed	d 9' - 1 1/2"							
111	BED 1	158 SF	9' - 1 1/2"							
112	JACK & JILL	37 SF	9' - 0 1/2"							
113	W.C.	31 SF	9' - 0 1/2"							
114	CLOS. 1	17 SF	7' - 4 1/2"							
115	PRIM BED	211 SF	9' - 0 1/2"							
116	PRIM. BATH	126 SF	9' - 1 1/2"							
117	HIS CLOS.	16 SF	9' - 1 1/2"							
118	HER CLOS.	58 SF	9' - 1 1/2"							
119	W.C.	18 SF	9' - 0 3/4"							
120	STAIR	130 SF	9' - 2"							
200	STAIR	82 SF	10' - 0"							
201	GREAT ROOM	364 SF	10' - 0"							
202	OFFICE	53 SF	10' - 0"							
203	BED 2	151 SF	10' - 0"							
204	CLOS. 2	17 SF	10' - 0"							
205	BED 5 BATH	57 SF	10' - 0"							
206	BED 4	157 SF	10' - 0"							
207	W.C.	15 SF	10' - 0"							
208	LAUNDRY	69 SF	10' - 0"							
209	CLOS. 4	17 SF	10' - 0"							
210	BED 3	151 SF	10' - 0"							
211	CLOS. 3	17 SF	10' - 0"							
212	JACK & JILL	83 SF	10' - 0"							

SHEET - KEYNOTES Keynote Text Key Value

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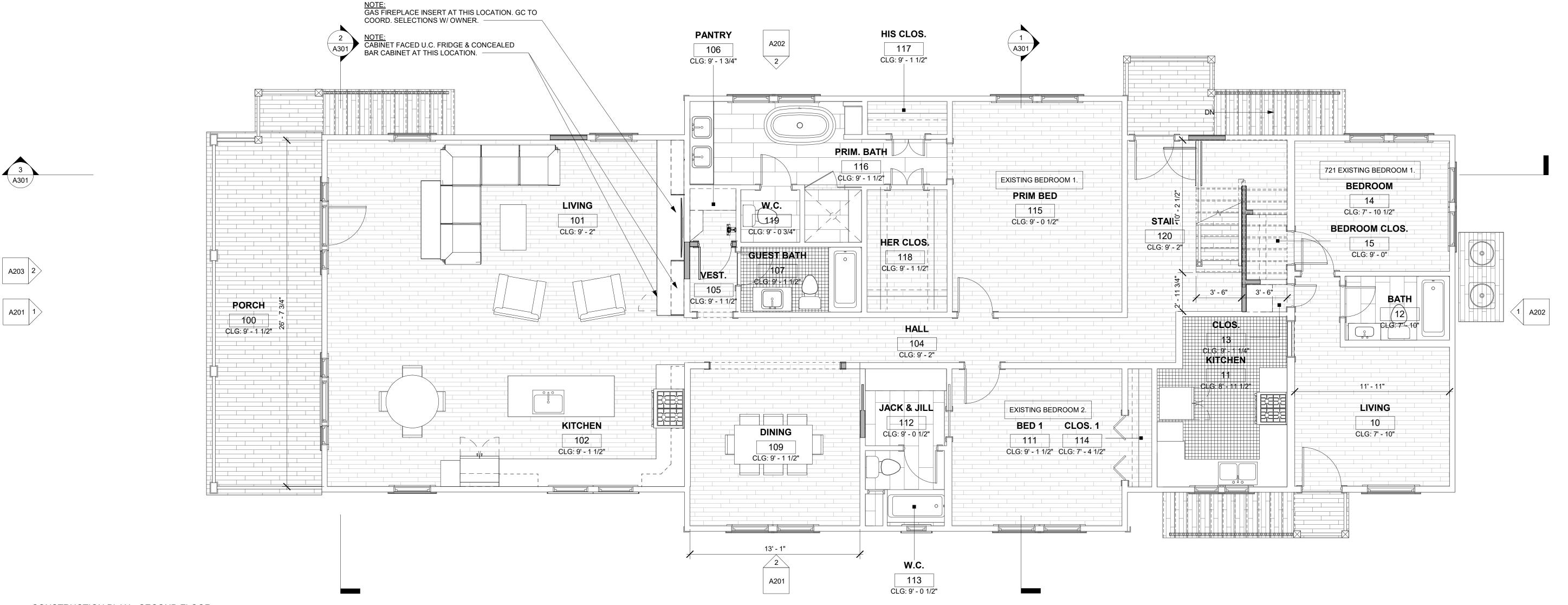
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3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date



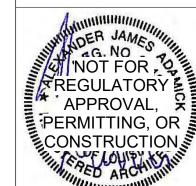
31 MAR. 2025 27 FEB. 2025 SD-2 21 FEB. 2025 SD-1 24 JAN. 2025 EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

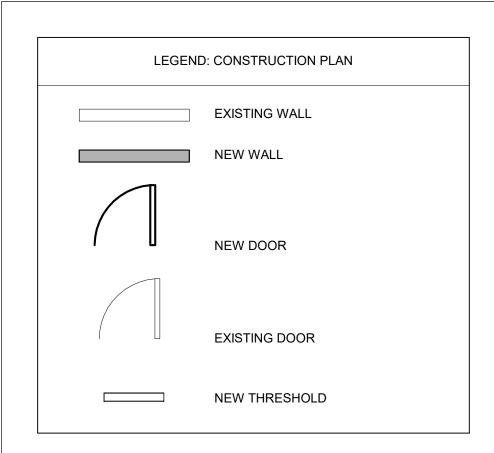
719 CHEROKEE ST. NEW ORLEANS, LA

PROPOSED FIRST FLOOR PLAN & NOTES



DATE: 3/31/2025 12:42:38 PM DRAWING BY: CHECKED BY: SHEET NO.: A102

CAD FILE NO: 2025-01\PDF OUT\EC 9 /14



ROOM MATERIAL/FINISH SCHEDULE										
ROOM NO.	ROOM NAME	AREA	CEILING HEIGHT	FLOOR	BASE	WALLS	CEILING	CASING	CASING FINISH	REMARKS
10	LIVING	147 SF	7' - 10"							
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15	BEDROOM CLOS.	16 SF	9' - 0"							
100	PORCH	212 SF	9' - 1 1/2"							
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102	KITCHEN	136 SF	9' - 1 1/2"							
103	BAR		ed 9' - 1 3/4"							
104	HALL	132 SF	9' - 2"							
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209	CLOS. 4	17 SF	10' - 0"							
210	BED 3	151 SF	10' - 0"							
211	CLOS. 3	17 SF	10' - 0"							
212	JACK & JILL	83 SF	10' - 0"							
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SHEET - KEYNOTES

Key Value

Keynote Text

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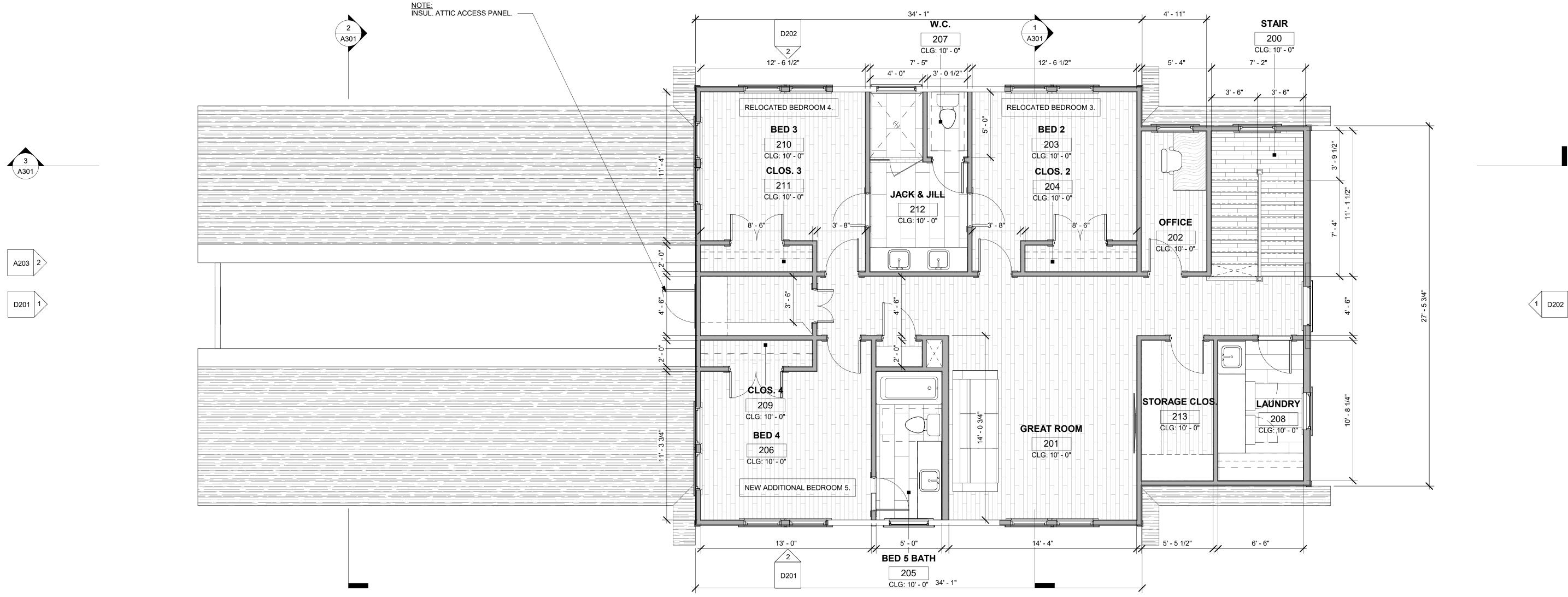
SHEET A601 FOR SIZING AND GENERAL WINDOW NOTES.

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3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date



31 MAR. 2025 27 FEB. 2025 SD-2 21 FEB. 2025 SD-1 24 JAN. 2025

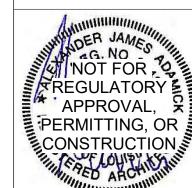
Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

719 CHEROKEE ST. NEW ORLEANS, LA

PROPOSED SECOND FLOOR PLAN & NOTES

DATE: 3/31/2025 12:42:39 PM



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SHEET - KEYNOTES

Key Value Keynote Text

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3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date

ROOF - NEW	
SECOND FLOOR CLG NEW	
SECOND FLOOR CLG NEW	
ROOF - EXIST	
SECOND FLOOR - NEW 18' - 3 1/4" FIRST FLOOR CLG EXIST. 17' - 2" FIRST FLOOR ADDITION CLG EXIST 15' - 10"	
FIRST FLOOR ADDITION CLG EXIST O O O O O O O O O	
FIRST FLOOR - EXIST. 8' - 0"	
BASEMENTCLG EXIST.	
BASEMENT - EXIST.	

31 MAR. 2025 SD-3
27 FEB. 2025 SD-2
21 FEB. 2025 SD-1
24 JAN. 2025 EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

> PROPOSED EXTERIOR ELEVATIONS & NOTES

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	REGULATORY
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DRAWING BY: ICF
CHECKED BY: AJA
SHEET NO.:

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ROOF - NEW 30' - 9 7/8"

ROOF - EXIST. 21' - 5 1/2"

FIRST FLOOR - EXIST. 8' - 0"

BASEMENT - EXIST

1 PROPOSED CONSTRUCTION OF THE REAR ELEVATION 1/4" = 1'-0"

BASEMENTCLG. - EXIST.
7' - 0"

FIRST FLOOR ADDITION CLG. - EXIST 15' - 10"

ROOF - EXIST. 21' - 5 1/2" FIRST FLOOR ADDITION CLG. - EXIST 9 9 5 BASEMENTCLG. - EXIST.

BASEMENT - EXIST.

1 PROPOSED CONSTRUCTION OF THE REAR. ELEVATION 1/4" = 1'-0"

2 PROPOSED CONSTRUCTION OF THE LEFT. SIDE ELEVATION 1/4" = 1'-0"

SHEET - KEYNOTES Key Value Keynote Text

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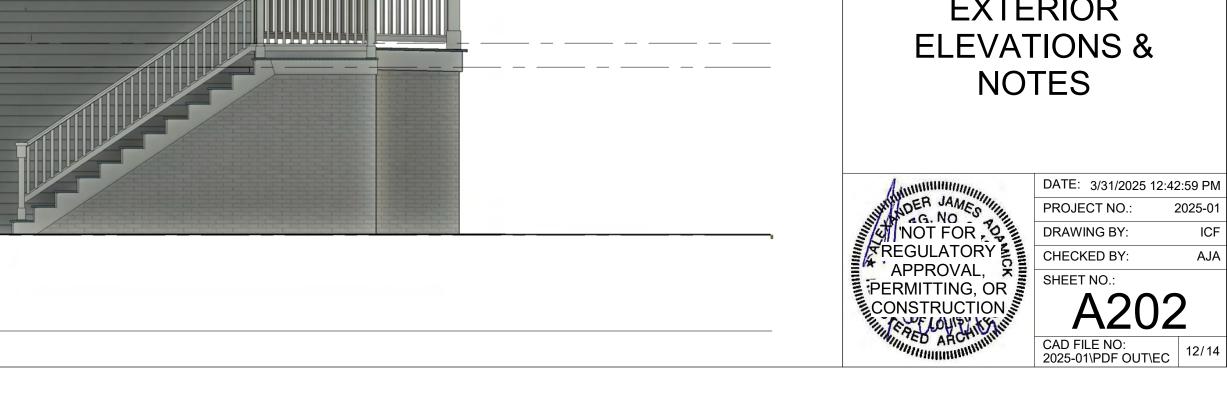
SD-3
SD-2
SD-1
EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

719 CHEROKEE ST. NEW ORLEANS, LA 70118

PROPOSED **EXTERIOR**









1 EXISTING STREET ELEVATION
1" = 10'-0"





3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date
	•	

31 MAR. 2025	SD-3
27 FEB. 2025	SD-2
21 FEB. 2025	SD-1
24 JAN. 2025	EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

PROPOSED & **EXISTING** BLOCKFACE ELEVATIONS



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4 PROPOSED LEFT SIDE VIEW

3 EXISTING LEFT SIDE VIEW





3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date

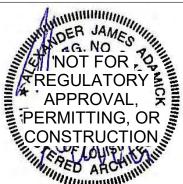
31 MAR. 2025	SD-3
27 FEB. 2025	SD-2
21 FEB. 2025	SD-1
24 JAN. 2025	EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

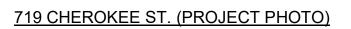
ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

PROPOSED & **EXISTING 3D VIEWS**



	DATE: 3/31/2025 12:43	3:05 PM
	PROJECT NO.: 2	2025-01
	DRAWING BY:	Author
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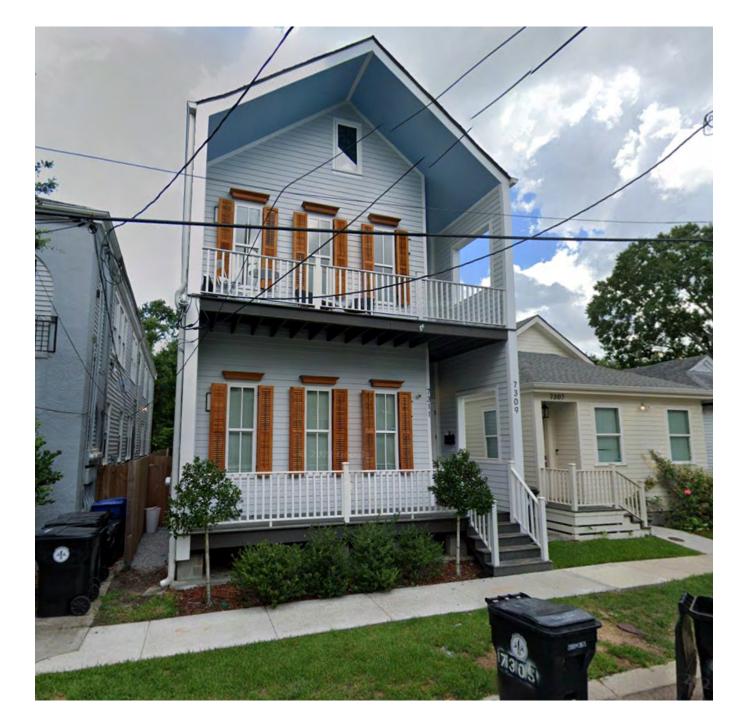
620 BOADWAY ST.



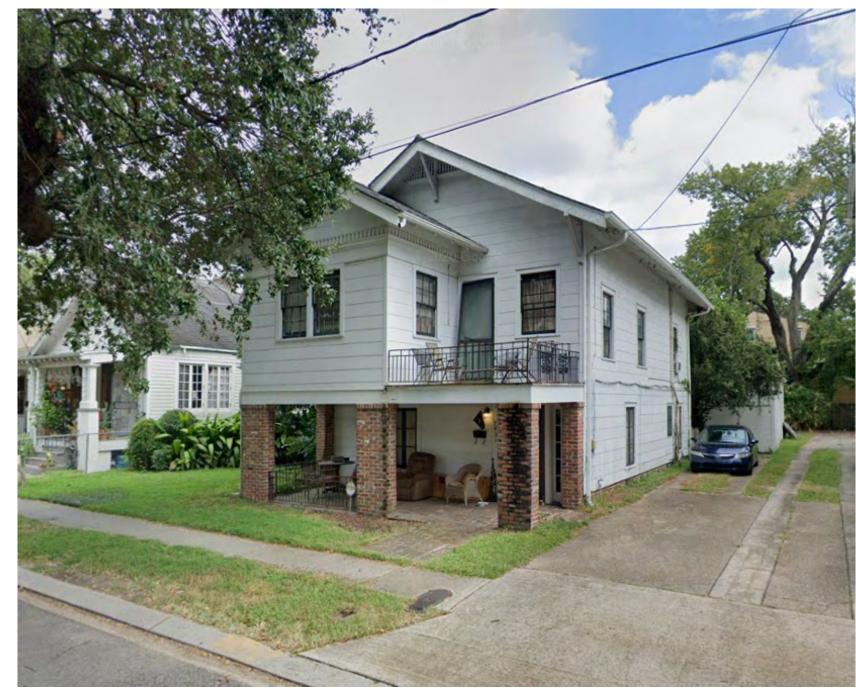
7625 FRERET ST.



628 LOWERLINE ST.



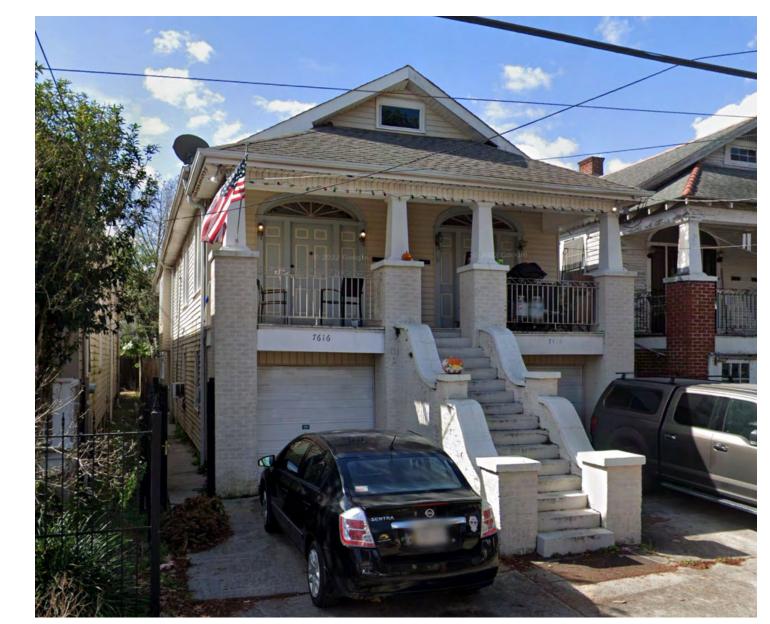
7309 BURTHE ST. <u>7431 HAN</u>



7431 HAMPSON ST.



732 CHEROKEE ST.

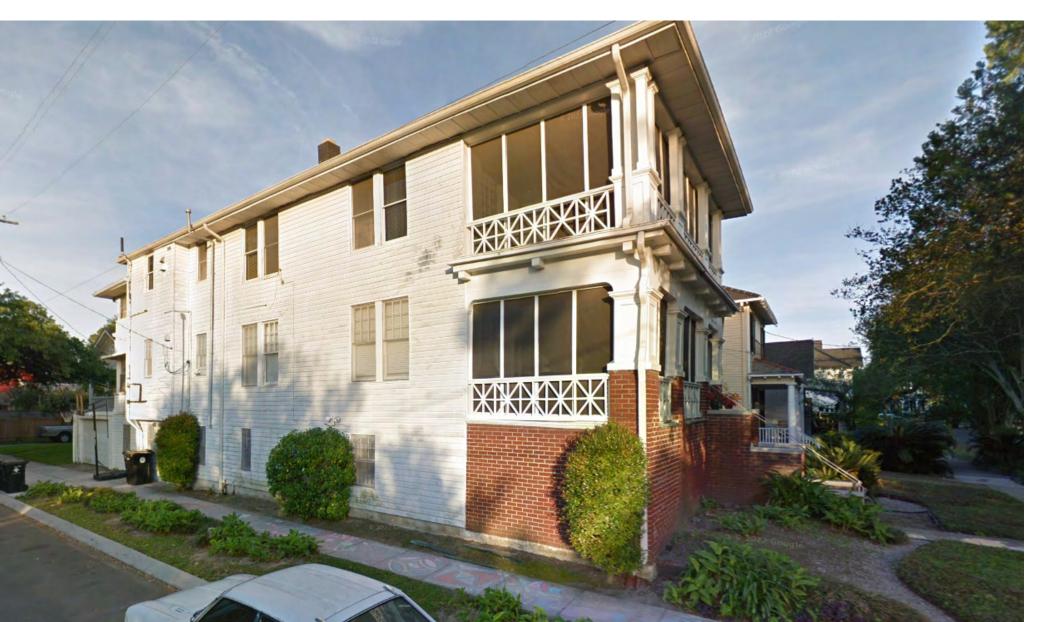


7616 HAMPSON ST.

816 LOWERLINE ST.



7449 HAMPSON ST. (ADJACENT PROPERTY)



ADAMICK

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date

31 MAR. 2025	SD-3
27 FEB. 2025	SD-2
21 FEB. 2025	SD-1
24 JAN. 2025	EC-1

Project: #2025-01

WANDS RESIDENCE RENOVATION/ADDITION

ADDRESS: 719 CHEROKEE ST. NEW ORLEANS, LA 70118

CONTEXTUAL PHOTOS

NOT FOR	DATE: 3/31/2025 12:43:05 PM		
DER JAMES	PROJECT NO.:	2025-01	
NOT FOR	DRAWING BY:	Author	
REGULATORY	CHECKED BY:	Checker	
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William Whoman	CAD FILE NO: 2025-01\PDF OUT\EC	/14	