



THE RIVANA APARTMENTS

DAC SUBMISSION

JULY 21ST, 2025

Version 2

VV

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DESIGN GOALS & ZONING COMPLIANCE

PROJECT DESIGN GOALS

THE RIVANA APARTMENTS AT RIVER DISTRICT embodies a dynamic convergence of urban design, industrial heritage, and contemporary residential living within the heart of the River District. Thoughtfully positioned to align with the build-to-lines along Tchoupitoulas, Race, and Euterpe Streets, the building massing creates an active urban edge, reinforcing the streetscape with moments of relief at strategic entry points. On the river-facing elevation, Rivana opens generously toward the central green space of the RDNI development, with a retail-lined porch that encourages vibrant pedestrian engagement. This porous ground level, set slightly above grade to meet district sustainability and resiliency targets, offers a layered series of stairs, ramps, and plazas that animate the public realm and foster seamless connectivity with Convention Center Boulevard and the broader River District Park system. A dedicated paseo further strengthens this connection, threading the interior residential courtyards with the riverside amenities..

Rooted in the industrial legacy of the Cotton Press District, the architectural expression of the Rivana Apartments draws inspiration from the linear brick and metal warehouse forms that once occupied the site. The building’s façade is composed with a refined palette of durable materials - brick at the base, metal panels above, and carefully ordered punched openings that establish a strong architectural rhythm. This formal rigor is softened by moments of play, where restrained bursts of color bring texture and energy to the elevations. Storefront glazing and larger openings signal key thresholds, such as the primary residential entries at Tchoupitoulas and Euterpe Streets and the retail portals along the park, marking them as nodes of community engagement. The rhythm of pitched roof forms at the termini of long elevations not only reinforces the industrial vernacular but also infuses a familiar residential sensibility that bridges past and present.

Landscape design weaves seamlessly into the architectural intent, adhering to the district’s design standards while enhancing key moments of arrival and engagement. A curated palette of native and adaptive plantings lines the streetscape, softening the building edge and supporting the district’s environmental goals. At entry plazas and retail frontages, landscape elements are intensified to echo the architectural emphasis, providing lush, inviting thresholds. Within the private courtyards, tropical plantings thrive in shaded, protected environments, offering a rich and tranquil counterpoint to the urban context. Together, the building and its landscape form a cohesive, forward-looking residential community—contemporary in execution, grounded in history, and fully integrated into the urban fabric of the River District.



VIEW OF NEW ORLEANS, TAKEN FROM THE LOWER COTTON PRESS
LIBRARY OF CONGRESS

NEIGHBORHOOD WAREHOUSES



ZONING ANALYSIS & COMPLIANCE

District / Overlays

Zoning District	MU-2
Overlay	CCN Convention Center Neighborhood
Uses, Article 18.24	
Permitted Uses	Dwelling, Multi-Family Restaurant, Standard Retail Goods Establishment

Neighborhood Participation Program

Development Master Plan (DMP)	April 23, 2024
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SITE & BUILDING SQUARE FOOTAGE

SITE AREA: 118,857 SQ FT, 2.73 ACRES

BUILDING FOOTPRINT: 106,201 SQ FT

LEVEL 01 BUILDING:	82,853 SQ FT
COURTYARD:	18,729 SQ FT
PORCHES:	4,619 SQ FT

BUILDING GSF: 315,483 SQ FT (4 FLOORS)

BULK & YARD REGULATIONS, 18.24.D.1, TABLE 18-2

MINIMUM LOT AREA PER DWELLING UNIT
NONE

MINIMUM OPEN SPACE REQUIRED
CALCULATED AS AGGREGATE FOR ENTIRE DISTRICT; 20% OF ALL AREAS WITHIN CCN OVERLAY DISTRICT

MINIMUM YARD REQUIREMENTS
NONE; PROPOSED BUILDING ALIGNS WITH APPROVED DISTRICT MASTER PLAN. PARCEL ABUTTING CONVENTION CENTER BLVD TO BE DEVELOPED AS OPEN GREEN SPACE IN SEPARATE PROJECT AS PROPOSED IN APPROVED MASTER PLAN; REFERENCE DR017-24, PROVISIO #5

MAXIMUM BUILDING HEIGHT, 18.24.D.6, TABLE 18-3

MAXIMUM HEIGH ALLOWED
85-400 FEET, SUBJECT TO 18-8 LINE-OF-SIGHT SETBACKS

PROPOSED BUILDING HEIGHT: 66'-5" ABOVE GRADE

PARKING REQUIREMENTS, 18.24.D.7 & TABLE 22-1

MINIMUM REQUIRED VEHICLE PARKING SPACES:
NONE
PROVIDED: 178 VEHICLE PARKING SPACES

MAXIMUM ALLOWED VEHICLE PARKING SPACES:
RESIDENTIAL MULTIFAMILY: 330
(150% OF 1 PER UNIT / 220 SPACES)
RESTAURANT/RETAIL: 50
(150% OF 1 PER 500 SQ FT / 33 SPACES)
MAXIMUM VEHICLE PARKING NOT EXCEEDED

MINIMUM REQUIRED LOADING SPACES:
RESIDENTIAL MULTIFAMILY: 2 SPACES
RESTAURANT: 1 SPACE
PROVIDED: 3 LOADING SPACES

MINIMUM REQUIRED BICYCLE PARKING SPACES:
RESIDENTIAL MULTIFAMILY: 44 LONG-TERM SPACES
(1 PER 5 UNITS, 220 UNITS)
PROVIDED: 44 LONG-TERM BICYCLE PARKING SPACES

RESTAURANT/RETAIL: 8 SHORT-TERM SPACES
(1 PER 2500 SQ FT, 18,200 SQ FT OF RETAIL)
PROVIDED: 8 SHORT-TERM BICYCLE PARKING SPACES

4.5.E DESIGN STANDARDS - GENERAL

1. & 2. Degree of conformity with the regulations of this Ordinance, regulations within the City Code, and the goals and policies of the Master Plan.

The proposed project conforms with regulations of this Ordinance, all applicable regulations within the City Code, and the applicable goals and policies of the Master Plan.

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:
- a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.
 - b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

The overall district development as shown in the approved Development Master Plan is in the early stages of Phase 1. As such, there are few adjacent properties to illustrate project compatibility. All aspects of the development of Parcel 5b have been designed in conformance with the Development Master Plan which emphasizes overall district compatibility for all projects within the district. Reference Project Design Goal narrative for additional information on general neighborhood compatibility.

The proposed exterior lighting concepts incorporate lighting of various styles that are all focused on effectively lighting the development building and site while limiting adverse effects on adjacent properties. Lighting design strategies include pole mounted and in-grade site lighting, building wall sconces along lower levels of exterior, wall washers at garage screening/public artwork opportunity, downlights and linear fixtures at soffits, and handrail lighting concepts. Reference the Site Lighting Plan for additional information.

4. Landscape and the arrangement of open space or natural features on the site shall:
- a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.
 - b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.
 - c. Protect natural resources and landscape on adjacent sites.
 - d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.
 - e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.
 - f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

Parcel 5b and the immediately adjacent sites contain no existing natural resources that require protection and the proposed landscape design has incorporated native and adaptive plantings to reinforce resiliency within the local climate and micro-climate. The District Development has also established a district-wide strategy for site drainage, and Parcel 5b will conform with all parameters set in the District’s Stormwater Management Plan. As the proposed mixed-use multi-family residential and commercial retail uses for Parcel 5b are as shown in the approved Development Master Plan, no screening of incompatible elements is required. Special attention was paid to the commercial retail that fronts the future outdoor open space at Parcel 5a.

5. Circulation systems and off-street parking shall be designed to:
- a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.
 - b. Minimize potentially dangerous traffic movements.
 - c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.
 - d. Minimize curb cuts by using cross-access servitudes and shared parking.
 - e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and Internal circulation.

Parcel 5b has been designed to provide convenient and safe access via various modes of transportation including pedestrians, bicyclist, motor vehicles, and public transit. Pedestrian pathways have been protected from motor vehicles utilizing landscape buffers at the street scape and providing adequate visibility of pedestrians a vehicle access curb cuts. The District Development Plan has addressed traffic circulation around the development site to promote safe flow of traffic throughout the district. Parcel 5b’s two curb cuts providing access to off-street parking structure and loading areas have been coordinated at positions along Euterpe St. to minimize dangerous traffic movements and limit the parking structures impact on adjacent properties. Long term covered bicycle storage has been provided within the covered parking structure with short term bicycle parking positioned at multiple areas around the site.

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:
- a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.
 - b. Providing a visible transition in height and bulk between higher and lower density development.
 - c. Reinforcing the prevailing orientation to the street.
 - d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.
 - e. Respecting historic design context.

Parcel 5b has been designed to reflect and reinforce the character of the surrounding community and follows the design guidelines outlined in the approved District Master Plan. The design reinforces the prevailing orientation to the street at street facing building facades and the overall building height is less than the starting 85’ visible transition in height outlined by Figure 18-8 in CCN Overlay section of the CZO. Referencing the historic deign context in the surrounding area as part of the design process has influenced concepts developed at the new building facades. Reference Project Design Goal narrative for additional information on general neighborhood compatibility.

18.24.D.3 DESIGN STANDARDS - CCN OVERLAY DISTRICT

a. Pedestrian and main entrances shall be located on the public right-of-way. Public entrances shall be articulated and distinct from the structures primary massing. Unless deemed and ruled as unfeasible, curb cuts shall be located on the secondary streets.

The main entrance to the multi-family residential programming is located at the intersection of Tchoupitoulas Street and Race Street. The building massing is set back at this location with cladding that differentiates it from the main building massing and includes ribbon storefront in lieu of punched openings. The main entrance and ADA ramp are protected by building overhang above. Reference Exterior Rendering - Tchoupitoulas Street for additional information. All curb cuts are located on Euterpe Street which is secondary to Tchoupitoulas Street.

b. Ventilation grates, emergency exit doors, and similar functional elements shall be designed as decorative elements and integrated into the overall building design.

Ventilation grates, emergency exit doors, and similar functional elements are designed to be integrated into the overall building design.

c. Security bars are prohibited. Roll-up or accordion security grilles are permitted on the ground floor when constructed of a see-through, non-solid material. The casing shall be painted to match the building and shall not damage or obscure architectural detailing.

There are no security bars incorporated at any openings in the project. The roll up style door the parking entrance / exit and loading areas are an overhead coiling grille that is visually transparent.

d. Plain mansard roofs are prohibited. Decorative mansard roofs are permitted on buildings with a minimum wall height of two (2) stories. (See Figure 15-2: Examples of Decorative Mansard Roofs).

Not applicable; there are no plain or decorative mansard roofs included in the project.

e. Buildings shall be designed with galleries, awnings, canopies, and other weather protection devices.

Canopies for weather protection have been included at both pedestrian entrances to the multi-family residential programming. Building overhangs provide protection at porch areas where the commercial retail is recessed from the building face above. Reference Exterior Elevations & Exterior Renderings for additional information.

f. Decorative elements having historically functional purposes, such as shutters, balconies, windows, and doors, shall be operational.

Not applicable; there are no decorative or operational elements having historically functional purposes in the project.

g. Any structure designed for a ground floor non-residential use shall be designed with a minimum ceiling height of twelve (12) feet, except for parking areas.

All 1st floor commercial use spaces are designed with a minimum ceiling height of 12’ above finish floor.

h. Loading areas for retail anchor stores of twelve thousand (12,000) square feet in gross floor area or more are required to be located in the rear. Where possible, loading and service areas shall be internal to the development block and accessed through service corridors and not through pedestrian-oriented streets.

Not applicable; there are no retail anchor stores of 12,000 gross area or more and the development loading area is accessed via Euterpe Street which is not a pedestrian-oriented street.

i. Outlot buildings shall be designed with showcase windows and entrances oriented to the street.

Not applicable; no outlot buildings are included in the project.

j. Secondary access points are encouraged from rear parking lots. Facades that abut parking areas and contain a public entrance shall include pedestrian walkways.

Not applicable; no surface parking is included in the project. All parking is contained within a parking structure accessed by vehicle and pedestrians on Euterpe Street.

k. When a shopping center is located behind a parking lot, a street presence for the shopping center shall be created by locating part of the center and/or outlot buildings near the lot line at the primary street corner or the shopping center entrance. When the center’s frontage on the primary street exceeds two-hundred fifty (250) feet in width, part of the center and/or outlot buildings shall hold at least fifty percent (50%) of the front lot line. (See Figure 15-3: Building Siting).

Not applicable; no shopping center is included in the project.

18.24.D.3 DESIGN STANDARDS - CCN OVERLAY DISTRICT

l. The following building materials are prohibited on exterior elevations visible from the public right-of-way. However, such materials may be used as part of decorative or detail elements, or as part of the exterior construction that is not used as a surface finish material.

- 1. Exterior insulating finish systems (EIFS)
- 2. Stuccato Board
- 3. Vinyl Siding

None of the listed prohibited materials are used in the proposed design.

m. The site shall be designed to ensure safe pedestrian access to the building from the street and from any parking areas. Safe pedestrian access to and from adjacent buildings is also required. Sidewalks shall extend to the lot line and connect to existing sidewalks on abutting properties.

All sidewalks are designed to extend to the lot line and will connect to sidewalks on adjacent parcels. The project parking structure for the multi-family residential is enclosed and provides safe access to and from vehicles. Reference Site Plan.

n. Within any yards of the development and the public right-of-way adjacent to the development, special finishes shall be included as part of a cohesive streetscape design. These include coordinated paving, design treatments for the pedestrian level, street lighting, and street furniture. The streetscape design shall be coordinated with the building design.

All paving and street lighting is cohesive and consistent with the specifications and general intent of the approved Development Master Plan.

o. Off-street vehicle parking shall be set behind structures whenever possible.

All off-street vehicle parking is enclosed in a parking structure. Reference Site Plan.

p. Curb cuts shall be limited along transit lines to greatest extent feasible.

The project curb cuts are located at Euterpe Street and are not located on the proposed transit lines shown in the approved Development Master Plan.

q. View corridors from streets that are generally perpendicular to the River shall be maintained.

The proposed development does not impede on existing view corridors towards the river down Euterpe Street and Race Street.

SITE PHOTOS



EUTERPE STREET APPROACHING TCHOUPITOULAS



EUTERPE STREET FUTURE EXTENSION @ TCHOUPITOULAS



THE SAULET APARTMENTS ACROSS FROM PROJECT SITE



RACE STREET APPROACHING TCHOUPITOULAS



RACE STREET FUTURE EXTENSION @ TCHOUPITOULAS

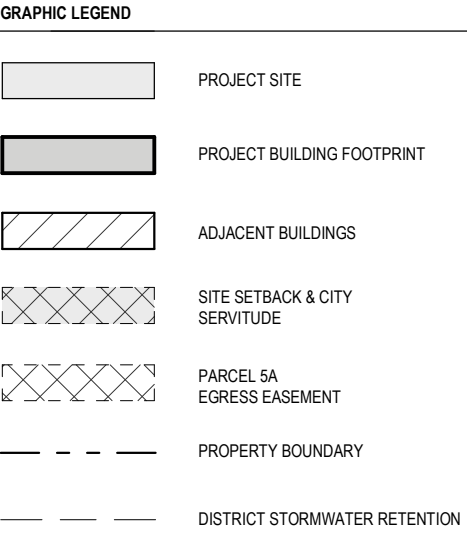
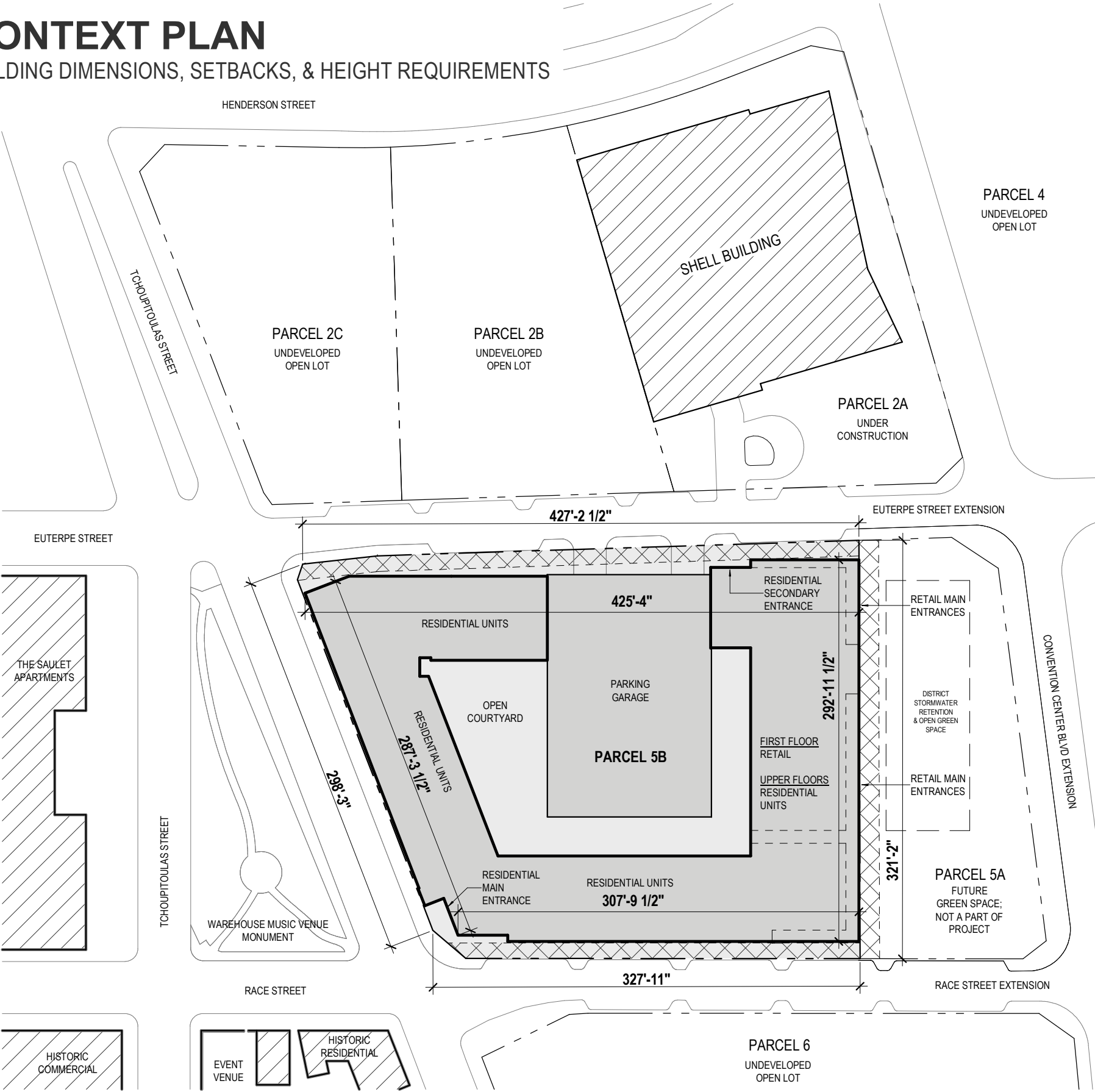


SHELL BLDG CONSTRUCTION ACROSS FROM PROJECT SITE

SITE, LANDSCAPE, & FLOOR PLANS

CONTEXT PLAN

BUILDING DIMENSIONS, SETBACKS, & HEIGHT REQUIREMENTS



SITE & BUILDING SQUARE FOOTAGE

SITE AREA:	118,857 SQ FT, 2.73 ACRES
BUILDING FOOTPRINT:	106,201 SQ FT
LEVEL 01 BUILDING:	82,853 SQ FT
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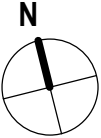
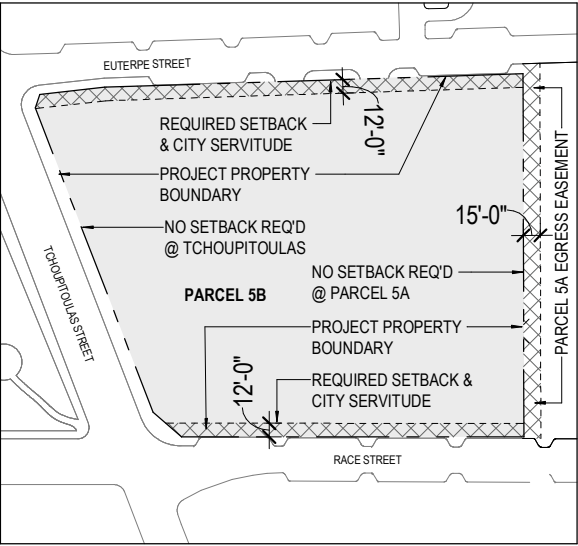
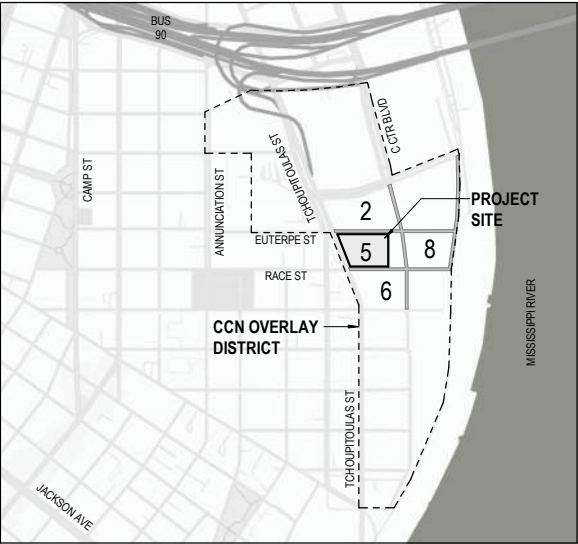
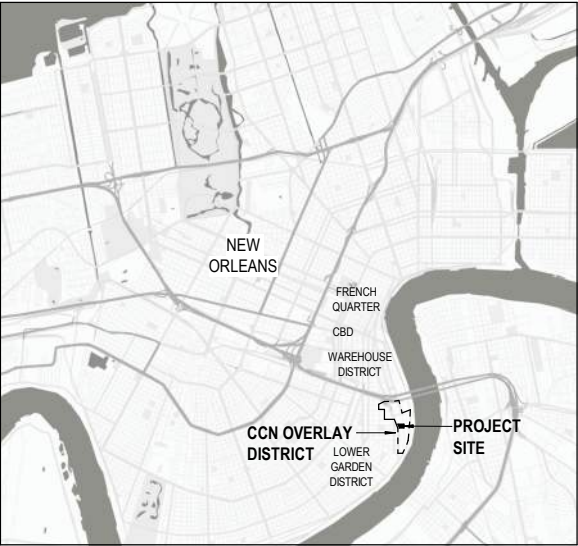
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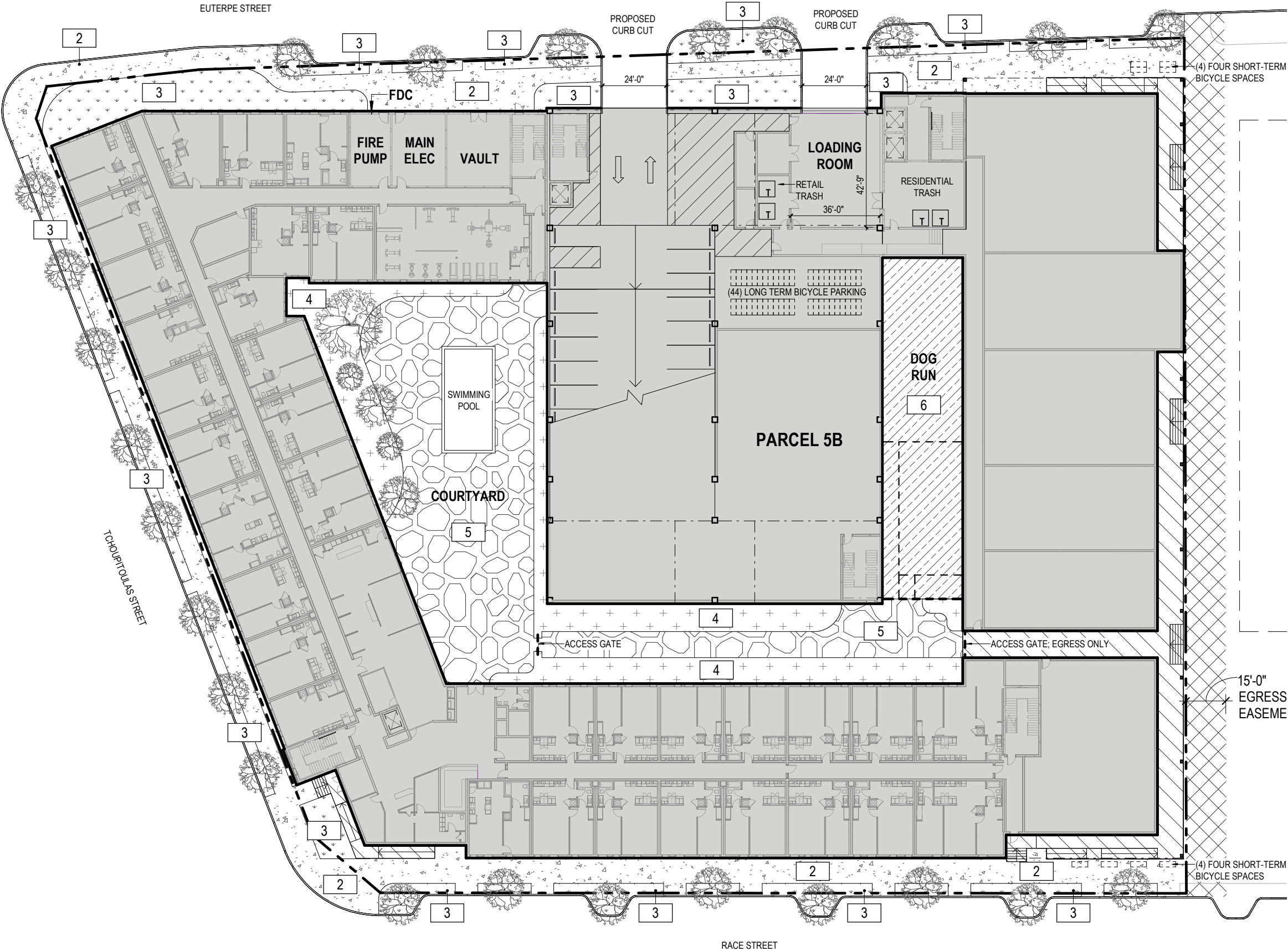
MAXIMUM HEIGHT ALLOWED
85-400 FEET, SUBJECT TO 18-8 LINE-OF-SIGHT SETBACKS

PROPOSED BUILDING HEIGHT: 66'-5" ABOVE GRADE



SITE PLAN

PROPOSED CURB CUTS & PARKING REQUIREMENTS



GRAPHIC LEGEND	
	ENCLOSED BUILDING & OPEN GARAGE
	EXTERIOR PILE-SUPPORTED PORCHES, STAIRS, & RAMPS
	PUBLIC STREETSCAPE SITE PAVING
	PUBLIC STREETSCAPE PLANTING BED
	COURTYARD PLANTING BED
	COURTYARD PAVING
	COURTYARD DOG RUN TURF
	BICYCLE PARKING
	TREES
	PROPERTY BOUNDARY
	DECORATIVE FENCES & GATES
	DISTRICT STORMWATER RETENTION
	TRASH / DUMPSTER

PARKING REQUIREMENTS, 18.24.D.7 & TABLE 22-1

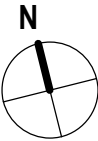
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RESTAURANT/RETAIL: 50
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MAXIMUM VEHICLE PARKING NOT EXCEEDED

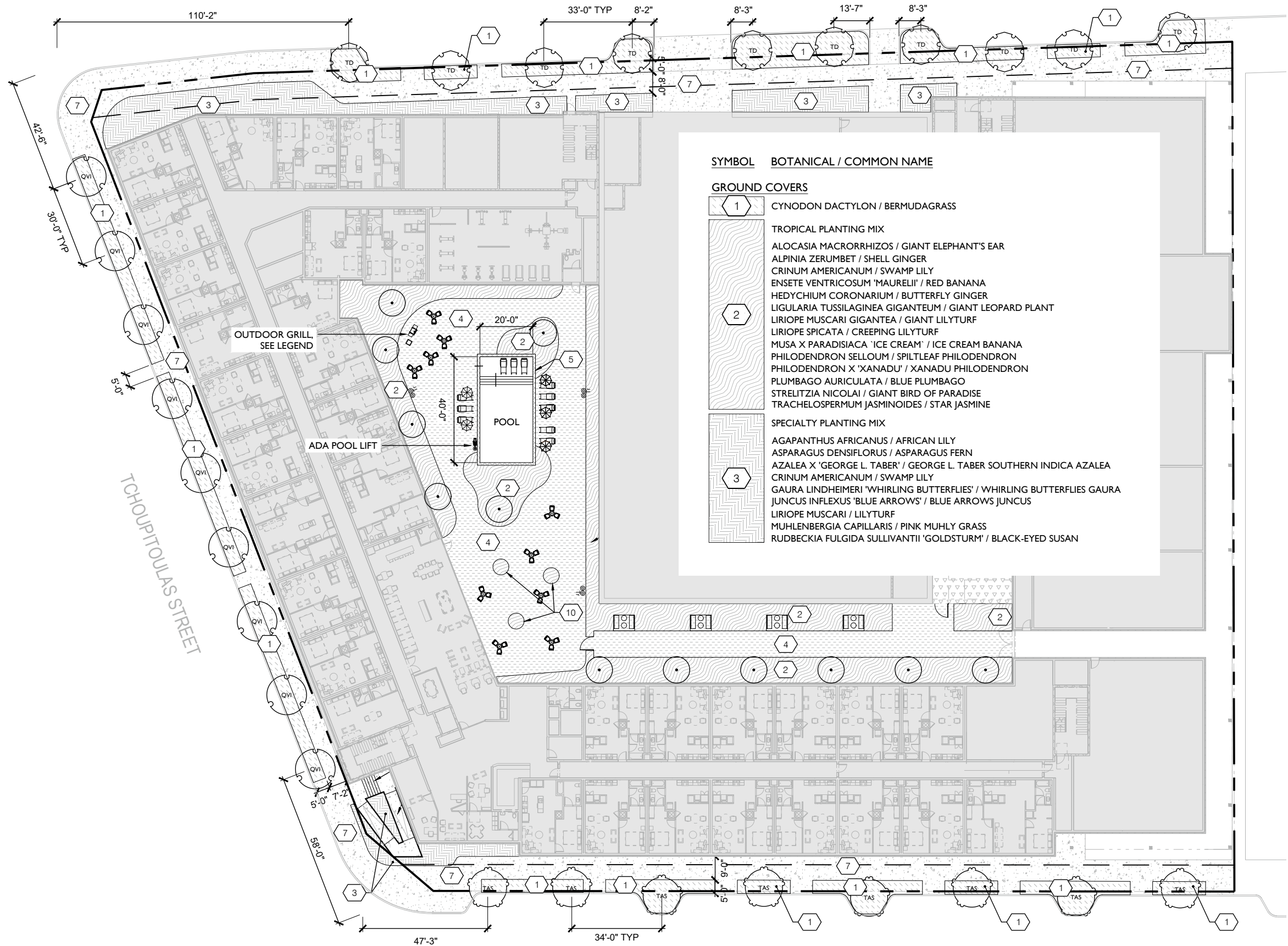
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LANDSCAPE PLAN
PROPOSED PLANTING



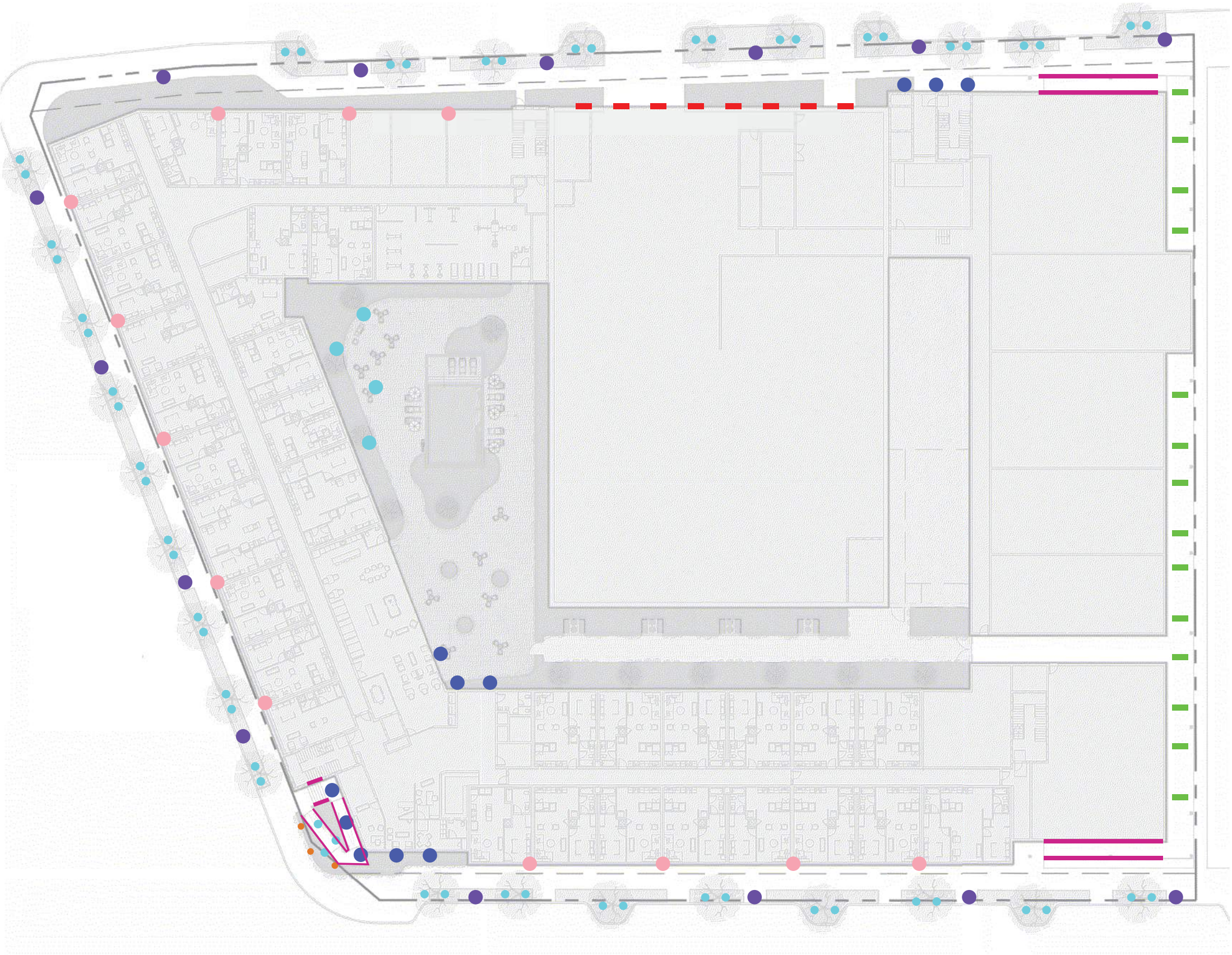
SYMBOL	BOTANICAL / COMMON NAME
GROUND COVERS	
1	CYNODON DACTYLON / BERMUDAGRASS
2	TROPICAL PLANTING MIX ALOCASIA MACRORRHIZOS / GIANT ELEPHANT'S EAR ALPINIA ZERUMBET / SHELL GINGER CRINUM AMERICANUM / SWAMP LILY ENSETE VENTRICOSUM 'MAURELI' / RED BANANA HEDYCHIUM CORONARIUM / BUTTERFLY GINGER LIGULARIA TUSSILAGINEA GIGANTEUM / GIANT LEOPARD PLANT LIRIOPE MUSCARI GIGANTEA / GIANT LILYTURF LIRIOPE SPICATA / CREEPING LILYTURF MUSA X PARADISIACA 'ICE CREAM' / ICE CREAM BANANA PHILODENDRON SELLOUM / SPILTLEAF PHILODENDRON PHILODENDRON X 'XANADU' / XANADU PHILODENDRON PLUMBAGO AURICULATA / BLUE PLUMBAGO STRELITZIA NICOLAI / GIANT BIRD OF PARADISE TRACHELOSPERMUM JASMINOIDES / STAR JASMINE
3	SPECIALTY PLANTING MIX AGAPANTHUS AFRICANUS / AFRICAN LILY ASPARAGUS DENSIFLORUS / ASPARAGUS FERN AZALEA X 'GEORGE L. TABER' / GEORGE L. TABER SOUTHERN INDICA AZALEA CRINUM AMERICANUM / SWAMP LILY GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA JUNCUS INFLEXUS 'BLUE ARROWS' / BLUE ARROWS JUNCUS LIRIOPE MUSCARI / LILYTURF MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS RUDBECKIA FULGIDA SULLIVANTII 'GOLDSTURM' / BLACK-EYED SUSAN

LEGEND	
---	PROPERTY LINE
---	CITY SERVITUDE
XX	PROPOSED TREE
1	LAWN - SOD
2	TROPICAL PLANTING MIX
3	SPECIALTY PLANTING MIX
4	CONCRETE PAVER, SEE 4/L5.90
5	POOL COPING (32 14 00)
6	ARTIFICIAL TURF (32 18 13)
7	CONCRETE PAVING, SEE CIVIL
8	STAIR WITH HANDRAIL, SEE STRUCTURAL
9	ADA RAMP WITH HANDRAIL, SEE STRUCTURAL
(3)	LITTER AND RECYCLING CAN SET (12 93 00)
(3)	METAL PLANTER WITH CASTERS (12 93 00)
	MOVABLE TABLE AND CHAIRS, (OWNER PURCHASE OWNER INSTALL)
	POOL FURNISHINGS (OWNER PURCHASE OWNER INSTALL)
	ADA POOL LIFT
	CHARCOAL GRILL
	HOT CHARCOAL BIN
	OUTDOOR BENCH AND TABLE SET
NOTES	
1.	SEE L5.50 FOR PLANTING SCHEDULE.
2.	SEE L5.90 FOR PLANTING DETAILS.
3.	SEE L5.10 FOR IRRIGATION PLAN

SYMBOL	BOTANICAL / COMMON NAME
TREES	
QVI	QUERCUS VIRGINIANA / LIVE OAK
TAS	TAXODIUM ASCENDENS / POND CYPRESS
TD	TAXODIUM DISTICHUM / BALD CYPRESS
*	COURTYARD TREE

SITE LIGHTING PLAN

PROPOSED SITE LIGHTING



FIXTURE: GA3 | GOTHAM
EXTERIOR ROUND DOWNLIGHT



FIXTURE: GP1, GP2 | LITHONIA
14' PEDESTRIAN POLE



FIXTURE: GB1 | BEGA
ROUND INGRADE IN PLINTH



FIXTURE: GS1 | LUMASCAPE
STEP LIGHT



FIXTURE: GH1, GH2 | KLIK
HANDRAIL LIGHT



FIXTURE: BLOC | MODERN FORMS
WALL SCONCE



FIXTURE: VIA 2 SEAL | LUMEN WERX
LINEAR LIGHT



FIXTURE: E5X | INSIGHT LIGHTING
EXTERIOR WALL WASH

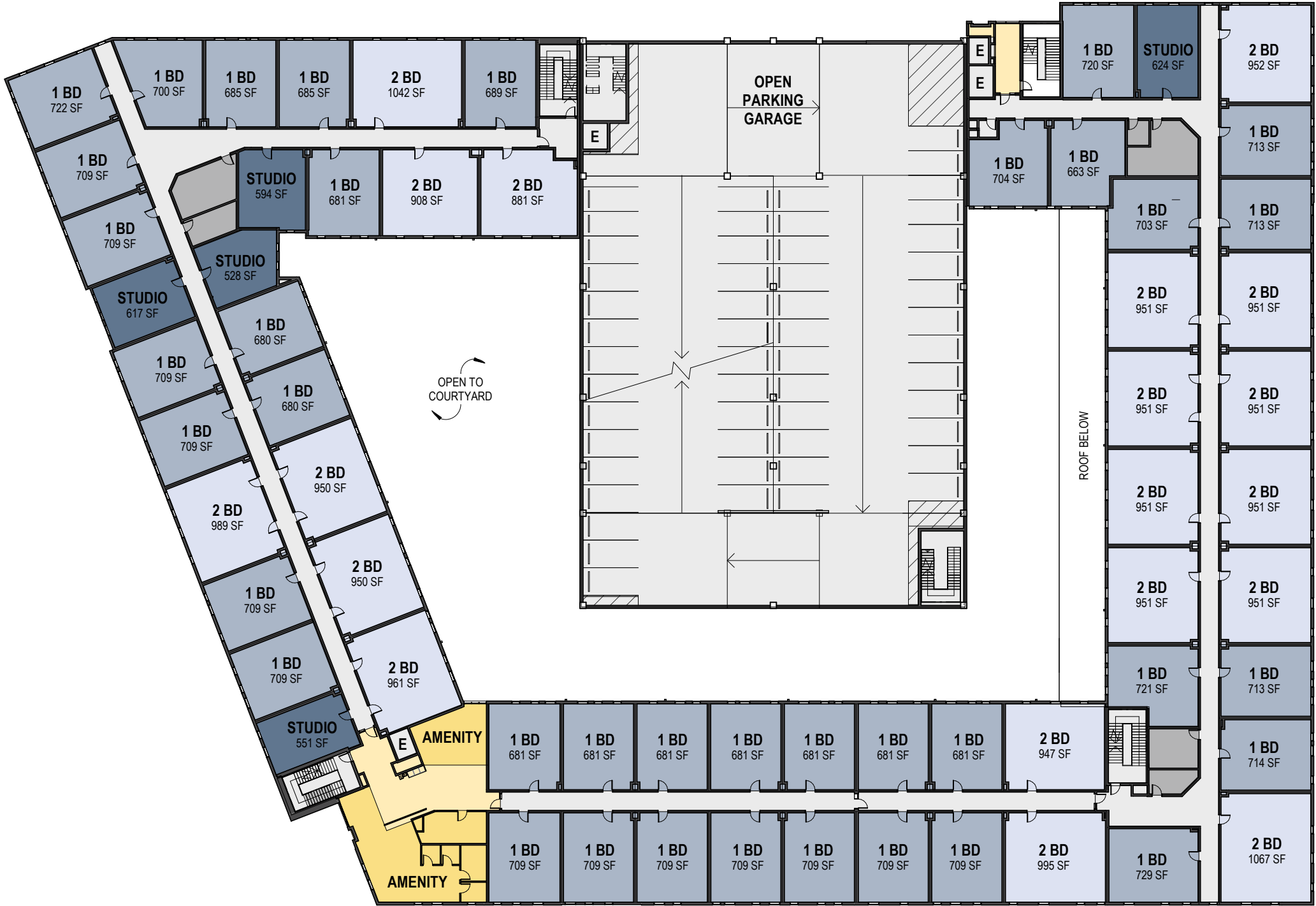
FLOOR PLAN - FLOOR 01



FLOOR PLAN - FLOORS 02-04

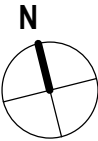
PROGRAM AREA LEGEND

	1 BD
	1 BD / STUDIO
	2 BD
	AMENITY
	LOBBY
	RETAIL
	CIRCULATION / COMMON
	BACK OF HOUSE



SCALE: 1" = 40'-0"

CN22194 THE RIVANA @ RIVER DISTRICT
21 July 2025 Version 2



BUILDING ELEVATIONS & RENDERINGS

BUILDING ELEVATIONS



TCHOUPITOULAS STREET ELEVATION



PARK SIDE ELEVATION

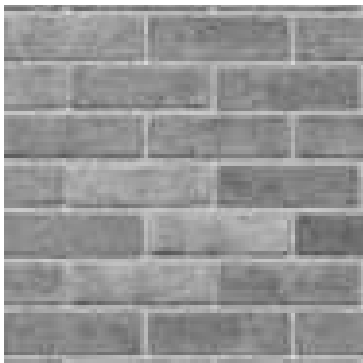
MATERIAL PALETTE



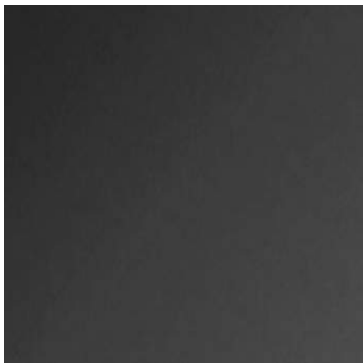
1 CORRUGATED METAL



2 FIBER CEMENT



3 BRICK



4 METAL PANEL

BUILDING ELEVATIONS



RACE STREET ELEVATION



EUTERPE STREET ELEVATION

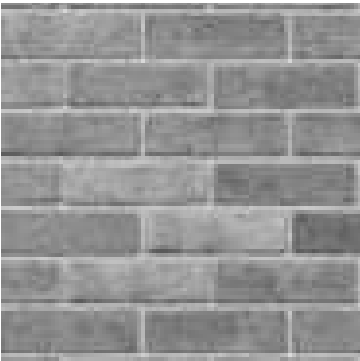
MATERIAL PALETTE



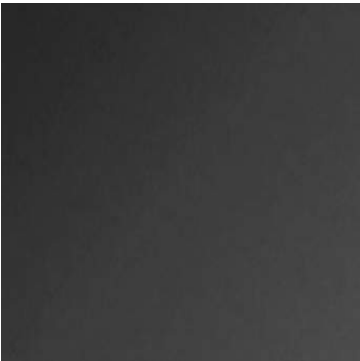
1 CORRUGATED METAL



2 FIBER CEMENT



3 BRICK



4 METAL PANEL



5 FIBER CEMENT



6 METAL FIN WITH MURAL


ENLARGED ELEVATION

TYPICAL FACADE DESIGN CONCEPT

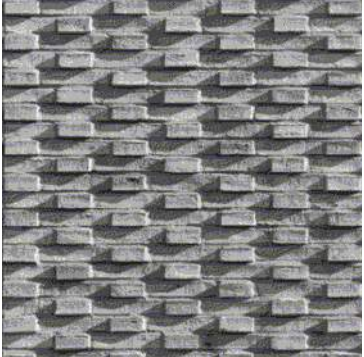


ENLARGED ELEVATION - STREET SIDES


MATERIAL PALETTE




1 CORRUGATED METAL 1




5 BRICK 2




2 CORRUGATED METAL 2



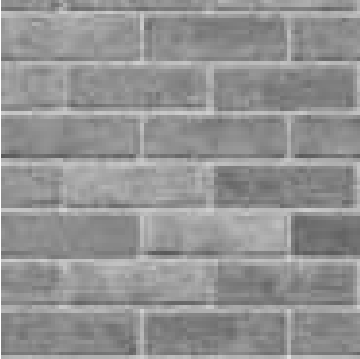
6 ACCENT WINDOW TRIM



3 DARK METAL TRIM



7 WALL LAMP



4 BRICK 1

ENLARGED ELEVATION

PARK SIDE FACADE DESIGN CONCEPT



ENLARGED ELEVATION - PARK SIDES

MATERIAL PALETTE



1 CORRUGATED METAL 1



5 STOREFRONT WINDOW SYSTEM



2 CORRUGATED METAL 2



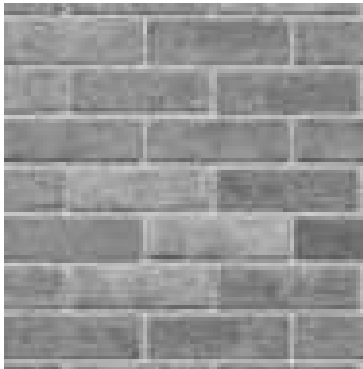
6 ACCENT WINDOW TRIM



3 DARK METAL TRIM



7 FIBER CEMENT SOFFIT



4 BRICK 1



8 METAL PANEL

EXTERIOR RENDERINGS



TCHOUPITOULAS STREET



EUTERPE STREET



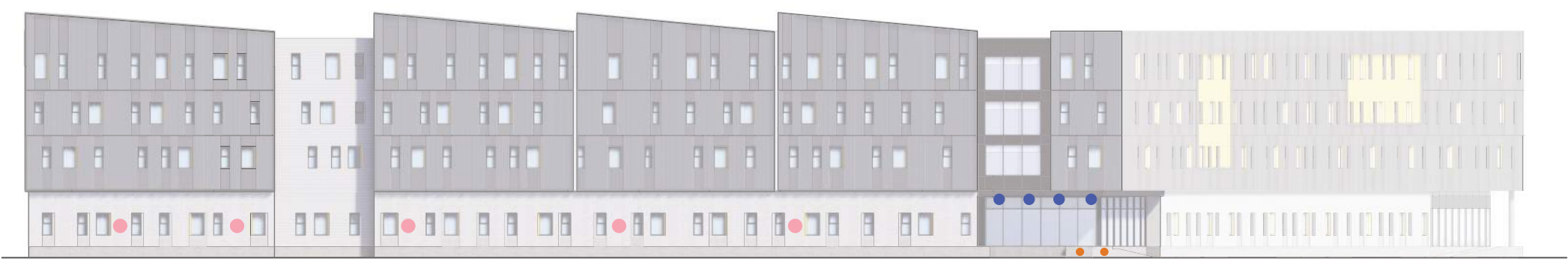
RACE STREET



PARK SIDE

EXTERIOR BUILDING LIGHTING

EXTERIOR LIGHTING CONCEPT



TCHOUPITOULAS STREET ELEVATION



RACE STREET ELEVATION



PARK SIDE ELEVATION



EUTERPE STREET ELEVATION



FIXTURE: GA3 | GOTHAM
EXTERIOR ROUND DOWNLIGHT



FIXTURE: GP1, GP2 | LITHONIA
14' PEDESTRIAN POLE



FIXTURE: GB1 | BEGA
ROUND INGRADE IN PLINTH



FIXTURE: GS1 | LUMASCAPE
STEP LIGHT



FIXTURE: GH1, GH2 | KLIK
HANDRAIL LIGHT



FIXTURE: BLOC | MODERN FORMS
WALL SCONE



FIXTURE: VIA 2 SEAL | LUMEN WERX
LINEAR LIGHT



FIXTURE: E5X | INSIGHT LIGHTING
EXTERIOR WALL WASH



RIVER DISTRICT

THE RIVANA APARTMENTS

DAC SUBMISSION

JULY 21ST, 2025

VV

TRAPOLINPEER
Gensler studio.kiro

TABLE OF CONTENTS

P.03 DESIGN GOALS, ZONING COMPLIANCE, & SITE PHOTOS
P.10 SITE, LANDSCAPE, & FLOOR PLANS
P.16 EXTERIOR ELEVATIONS & RENDERINGS
P.22 EXTERIOR LIGHTING



DESIGN GOALS & ZONING COMPLIANCE

PROJECT DESIGN GOALS

THE RIVANA APARTMENTS AT RIVER DISTRICT embodies a dynamic convergence of urban design, industrial heritage, and contemporary residential living within the heart of the River District. Thoughtfully positioned to align with the build-to-lines along Tchoupitoulas, Race, and Euterpe Streets, the building massing creates an active urban edge, reinforcing the streetscape with moments of relief at strategic entry points. On the river-facing elevation, Rivana opens generously toward the central green space of the RDNI development, with a retail-lined porch that encourages vibrant pedestrian engagement. This porous ground level, set slightly above grade to meet district sustainability and resiliency targets, offers a layered series of stairs, ramps, and plazas that animate the public realm and foster seamless connectivity with Convention Center Boulevard and the broader River District Park system. A dedicated paseo further strengthens this connection, threading the interior residential courtyards with the riverside amenities..

Rooted in the industrial legacy of the Cotton Press District, the architectural expression of the Rivana Apartments draws inspiration from the linear brick and metal warehouse forms that once occupied the site. The building’s façade is composed with a refined palette of durable materials - brick at the base, metal panels above, and carefully ordered punched openings that establish a strong architectural rhythm. This formal rigor is softened by moments of play, where restrained bursts of color bring texture and energy to the elevations. Storefront glazing and larger openings signal key thresholds, such as the primary residential entries at Tchoupitoulas and Euterpe Streets and the retail portals along the park, marking them as nodes of community engagement. The rhythm of pitched roof forms at the termini of long elevations not only reinforces the industrial vernacular but also infuses a familiar residential sensibility that bridges past and present.

Landscape design weaves seamlessly into the architectural intent, adhering to the district’s design standards while enhancing key moments of arrival and engagement. A curated palette of native and adaptive plantings lines the streetscape, softening the building edge and supporting the district’s environmental goals. At entry plazas and retail frontages, landscape elements are intensified to echo the architectural emphasis, providing lush, inviting thresholds. Within the private courtyards, tropical plantings thrive in shaded, protected environments, offering a rich and tranquil counterpoint to the urban context. Together, the building and its landscape form a cohesive, forward-looking residential community—contemporary in execution, grounded in history, and fully integrated into the urban fabric of the River District.



VIEW OF NEW ORLEANS, TAKEN FROM THE LOWER COTTON PRESS
LIBRARY OF CONGRESS

NEIGHBORHOOD WAREHOUSES



ZONING ANALYSIS & COMPLIANCE

District / Overlays

Zoning District	MU-2
Overlay	CCN Convention Center Neighborhood

Uses (Article 18.24.)	
Permitted Uses	Dwelling, Multi-Family Restaurant, Standard Retail Goods Establishment

Site Design Standard (Article 18.24)

Minimum Lot Area	None
Maximum Building Height	85 to 400 feet, subject to the line-of-sight setbacks shown in figure 18-8
Minimum Permeable Open	None, Provided by the Development Master Plan (See 18.24.A.2)
Front Yard	Minimum 12', Maximum 22' abutting Euterpe St & Race Street
Interior Side Yard	None
Corner Side Yard	None
Rear Yard	None

Parking (Article 18.24)

Required Parking	None
------------------	------

Required Bicycle PArking (Article 22.4)

Dwelling, Multi-Family	1/5 dwellings, 80% Long-term
Restaurant Standard	1/2500sf GFA
Retail Goods Establishment	1/5000sf GFA , 50% Long-term

Neighborhood Participation Program

Development Master Plan (DMP) April 23, 2024

APPROVAL STANDARDS

4.5.E

In reviewing site plan and design review applications, the relationship of the development plan to adopted land use policies and the goals and objectives of the Master Plan shall be evaluated. In addition, the following characteristics shall be considered:

1. Degree of conformity with the regulations of this Ordinance.

THE DESIGN TEAM HAS CONFORMED TO THE REGULATIONS OF THIS ORDINANCE TO THE BEST OF THEIR PROFESSIONAL ABILITY.

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

THE DESIGN TEAM HAS CONFORMED TO THE REGULATIONS OF THE CITY CODE, AND THE GOALS AND POLICIES OF THE DEVELOPMENT MASTER PLAN TO THE BEST OF THEIR PROFESSIONAL ABILITY.

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

- a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.
- b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

PARCEL 5B HAS BEEN DESIGNED IN CONJUNCTION WITH THE DEVELOPMENT MASTER PLAN TO MINIMIZE ANY POTENTIAL IMPACT OF SITE COMPATIBILITY OF BUILDINGS, LIGHTING, AND SIGNS.

4. Landscape and the arrangement of open space or natural features on the site shall:

- a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.
- b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.
- c. Protect natural resources and landscape on adjacent sites.
- d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.
- e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.
- f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

THE DESIGN TEAM HAS DESIGNED THE LANDSCAPE TO BE RESILIENT UTILIZING NATIVE SPECIES.

5. Circulation systems and off-street parking shall be designed to:

- a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.
- b. Minimize potentially dangerous traffic movements.
- c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.
- d. Minimize curb cuts by using cross-access servitudes and shared parking.
- e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and Internal circulation.

PARCEL 5B HAS BEEN DESIGNED TO BE A MULTI-MODAL SITE FOR MOTOR VEHICLES, PEDESTRIANS, BICYCLISTS, AND PUBLIC TRANSIT. PEDESTRIAN SPACES HAVE BEEN PROTECTED FROM MOTOR VEHICLES UTILIZING LANDSCAPES BUFFERS.

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

- a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.
- b. Providing a visible transition in height and bulk between higher and lower density development.
- c. Reinforcing the prevailing orientation to the street.
- d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.
- e. Respecting historic design context.

PARCEL 5B HAS BEEN DESIGNED TO REFLECT THE INTENT OF THE DEVELOPMENT MASTER PLAN.

CCN OVERLAY DESIGN STANDARDS

18.24.D.3

a. Pedestrian and main entrances shall be located on the public right-of-way. Public entrances shall be articulated and distinct from the structures primary massing. Unless deemed and ruled as unfeasible, curb cuts shall be located on the secondary streets.

IN COMPLIANCE

b. Ventilation grates, emergency exit doors, and similar functional elements shall be designed as decorative elements and integrated into the overall building design.

IN COMPLIANCE

c. Security bars are prohibited. Roll-up or accordion security grilles are permitted on the ground floor when constructed of a see-through, non-solid material. The casing shall be painted to match the building and shall not damage or obscure architectural detailing.

NOT APPLICABLE

d. Plain mansard roofs are prohibited. Decorative mansard roofs are permitted on buildings with a minimum wall height of two (2) stories. (See Figure 15-2: Examples of Decorative Mansard Roofs).

NOT APPLICABLE

e. Buildings shall be designed with galleries, awnings, canopies, and other weather protection devices.

IN COMPLIANCE

f. Decorative elements having historically functional purposes, such as shutters, balconies, windows, and doors, shall be operational.

NOT APPLICABLE

g. Any structure designed for a ground floor non-residential use shall be designed with a minimum ceiling height of twelve (12) feet, except for parking areas.

IN COMPLIANCE

h. Loading areas for retail anchor stores of twelve thousand (12,000) square feet in gross floor area or more are required to be located in the rear. Where possible, loading and service areas shall be internal to the development block and accessed through service corridors and not through pedestrian-oriented streets.

IN COMPLIANCE

i. Outlot buildings shall be designed with showcase windows and entrances oriented to the street.

NOT APPLICABLE

j. Secondary access points are encouraged from rear parking lots. Facades that abut parking areas and contain a public entrance shall include pedestrian walkways.

NOT APPLICABLE

k. When a shopping center is located behind a parking lot, a street presence for the shopping center shall be created by locating part of the center and/or outlot buildings near the lot line at the primary street corner or the shopping center entrance. When the center’s frontage on the primary street exceeds two-hundred fifty (250) feet in width, part of the center and/or outlot buildings shall hold at least fifty percent (50%) of the front lot line. (See Figure 15-3: Building Siting).

NOT APPLICABLE

l. The following building materials are prohibited on exterior elevations visible from the public right-of-way. However, such materials may be used as part of decorative or detail elements, or as part of the exterior construction that is not used as a surface finish material.

- 1. Exterior insulating finish systems (EIFS)
- 2. Stuccato Board
- 3. Vinyl Siding

IN COMPLIANCE. NONE OF THESE MATERIALS ARE UTILIZED FOR THE EXTERIOR OF THE BUILDING.

m. The site shall be designed to ensure safe pedestrian access to the building from the street and from any parking areas. Safe pedestrian access to and from adjacent buildings is also required. Sidewalks shall extend to the lot line and connect to existing sidewalks on abutting properties.

IN COMPLIANCE

n. Within any yards of the development and the public right-of-way adjacent to the development, special finishes shall be included as part of a cohesive streetscape design. These include coordinated paving, design treatments for the pedestrian level, street lighting, and street furniture. The streetscape design shall be coordinated with the building design.

IN COMPLIANCE, RE: LANDSCAPE PLANS. PAVING AND STREET LIGHTING IS CONSISTENT WITH THE SPECIFICATIONS OF THE DEVELOPMENT MASTER PLAN PROVIDING A COHEVSIVE STREETSCAPE DESIGN.

o. Off-street vehicle parking shall be set behind structures whenever possible.

IN COMPLIANCE

SITE PHOTOS



EUTERPE STREET APPROACHING TCHOUPITOULAS



EUTERPE STREET FUTURE EXTENSION @ TCHOUPITOULAS



THE SAULET APARTMENTS ACROSS FROM PROJECT SITE



RACE STREET APPROACHING TCHOUPITOULAS



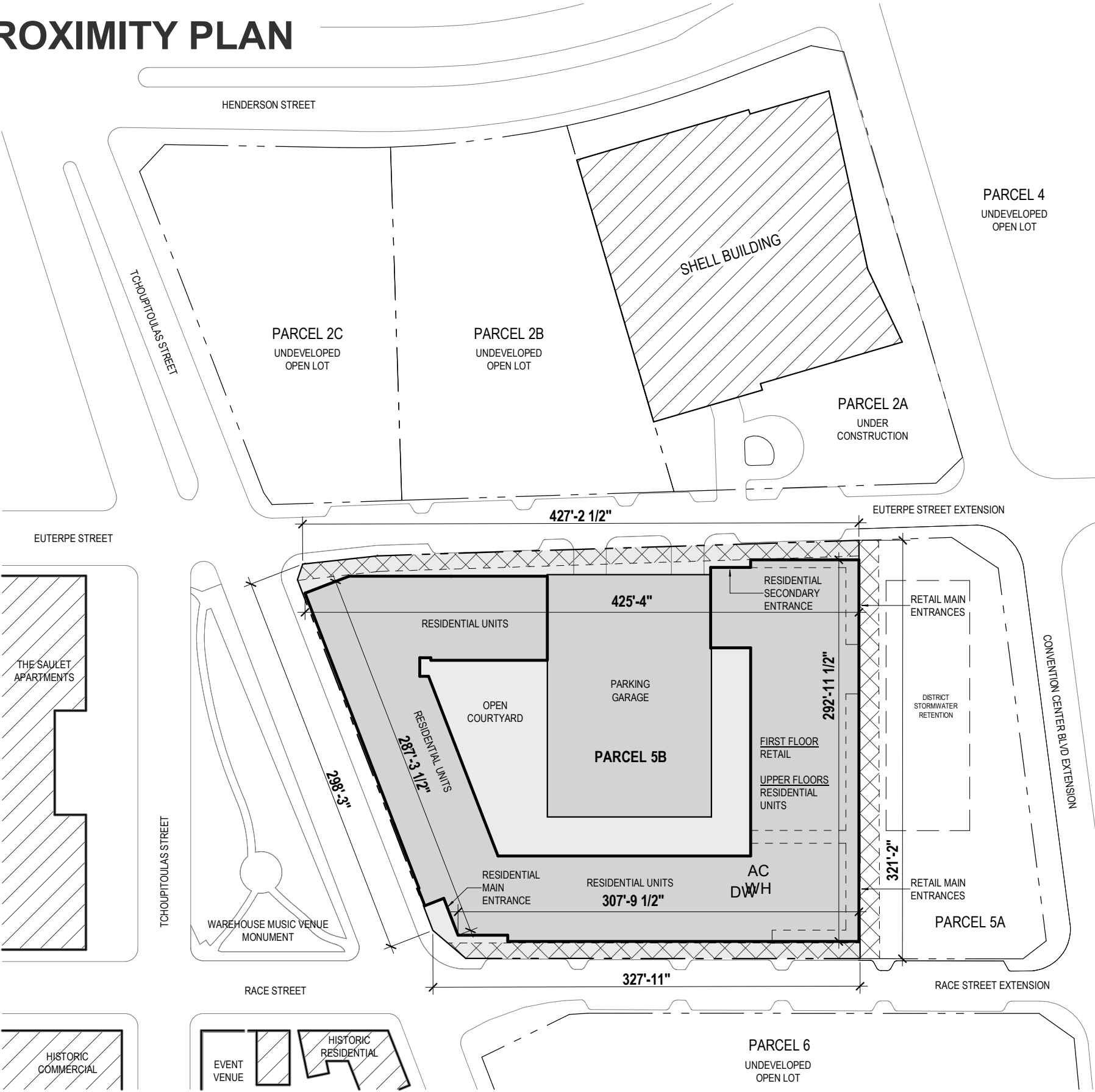
RACE STREET FUTURE EXTENSION @ TCHOUPITOULAS



SHELL BLDG CONSTRUCTION ACROSS FROM PROJECT SITE

SITE, LANDSCAPE, & FLOOR PLANS

PROXIMITY PLAN



GRAPHIC LEGEND

- PROJECT SITE
- PROJECT BUILDING FOOTPRINT
- ADJACENT BUILDINGS
- SITE SETBACK & CITY SERVITUDE
- PARCEL 5A EGRESS EASEMENT
- PROPERTY BOUNDARY
- DISTRICT STORMWATER RETENTION

SITE & BUILDING SQUARE FOOTAGE

SITE AREA: 118,857 SQ FT

SITEWORK @ GRADE: 12,656 SQ FT

BUILDING FOOTPRINT: 106,201 SQ FT

LEVEL 01 ENCLOSED: 62,312 SQ FT

LEVEL 01 GARAGE: 20,541 SQ FT

COURTYARD: 18,729 SQ FT

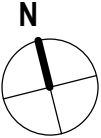
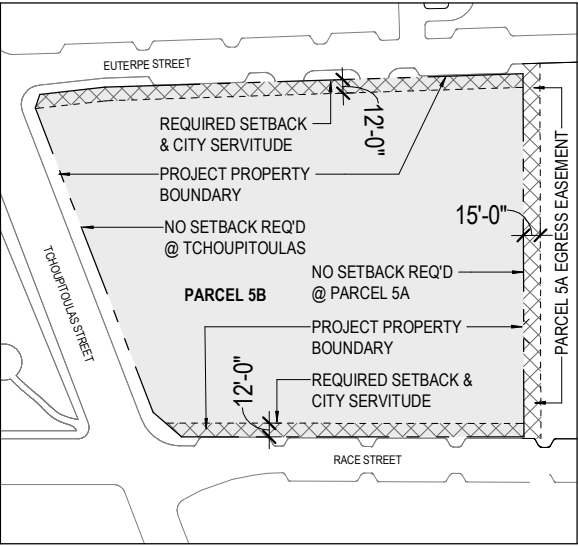
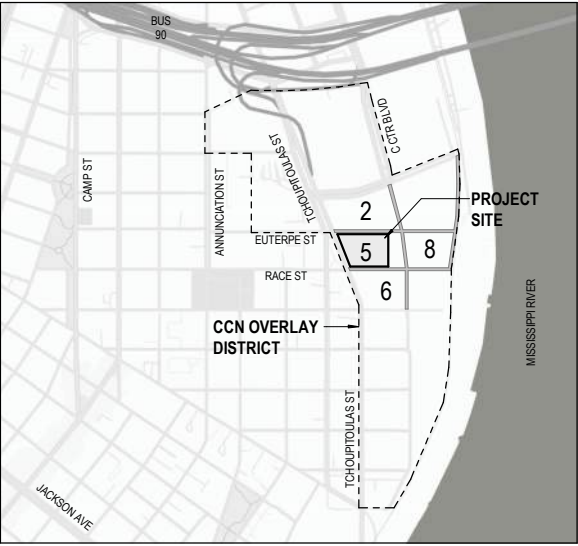
PORCHES: 4,619 SQ FT

BUILDING GSF: 315,483 SQ FT (4 FLOORS)

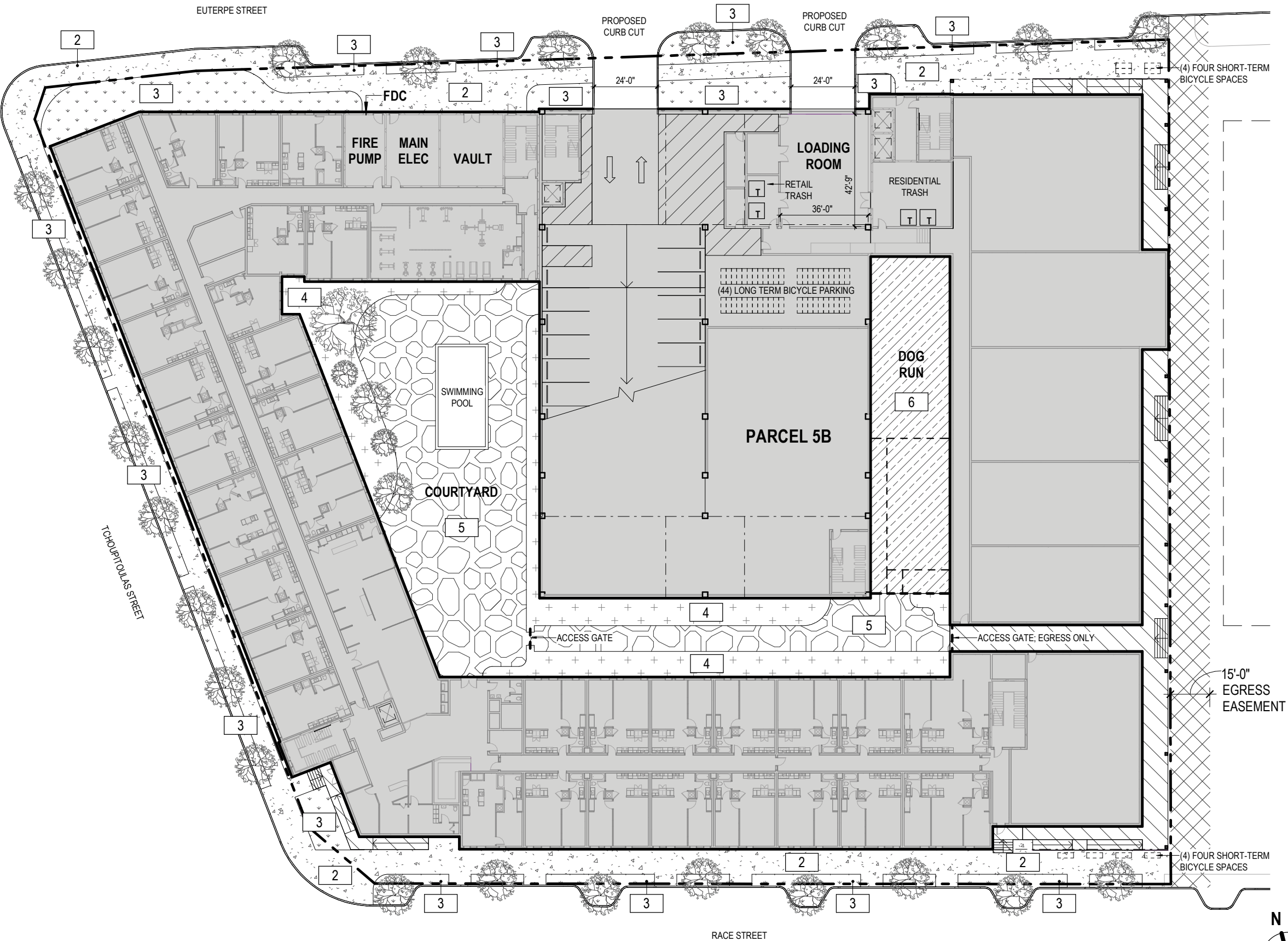
SITE PERMEABILITY REQUIREMENTS

MINIMUM PERMEABLE OPEN SPACE REQUIRED:

CALCULATED AS AGGREGATE



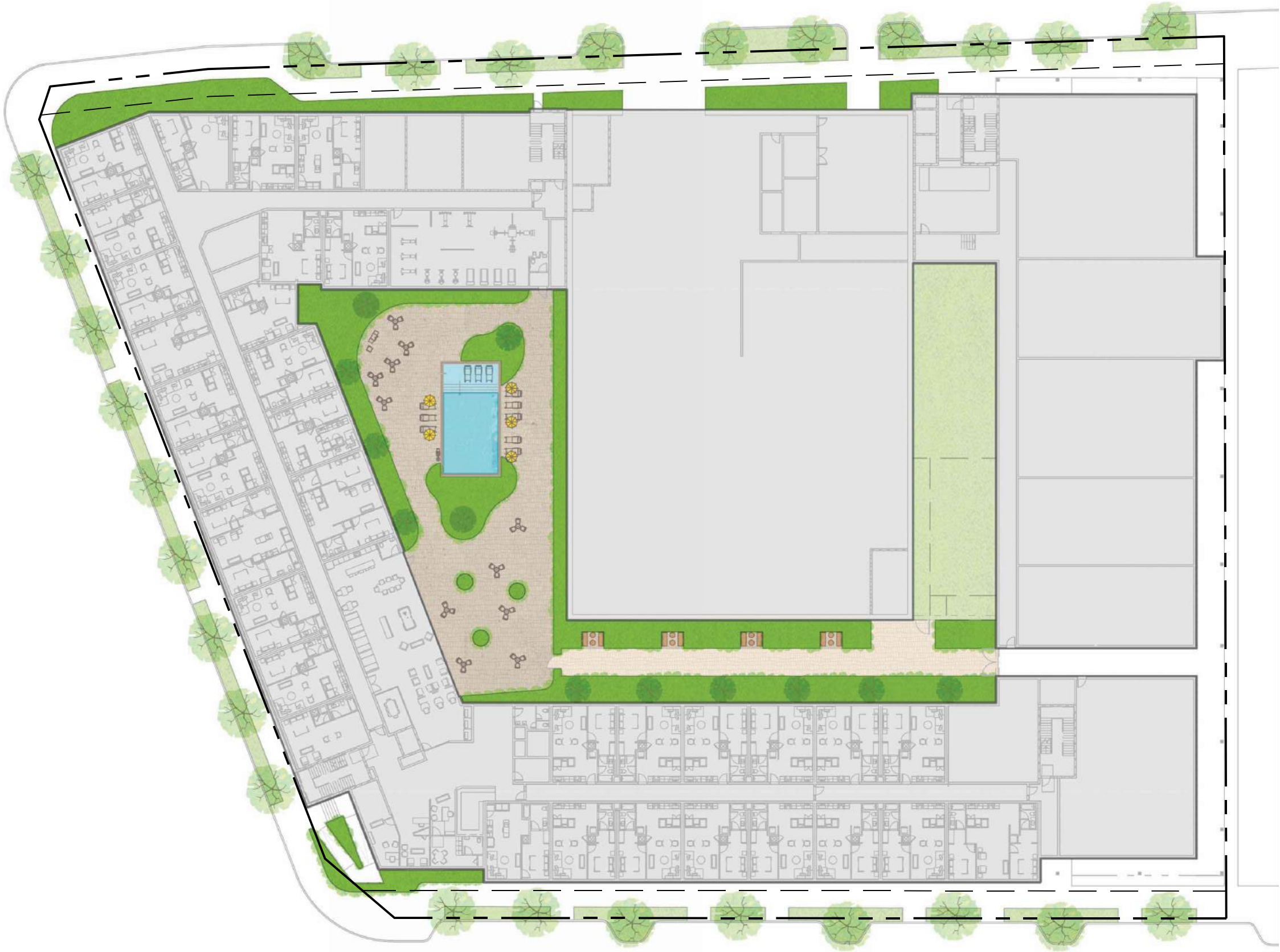
SITE PLAN



GRAPHIC LEGEND	
	ENCLOSED BUILDING & OPEN GARAGE
	EXTERIOR PILE-SUPPORTED PORCHES, STAIRS, & RAMPS
	PUBLIC STREETSCAPE SITE PAVING
	PUBLIC STREETSCAPE PLANTING BED
	COURTYARD PLANTING BED
	COURTYARD PAVING
	COURTYARD DOG RUN TURF
	BICYCLE PARKING
	TREES
	PROPERTY BOUNDARY
	DECORATIVE FENCES & GATES
	DISTRICT STORMWATER RETENTION
	TRASH / DUMPSTER

PARKING REQUIREMENTS	
MINIMUM REQUIRED VEHICLE PARKING SPACES:	NONE
PROVIDED:	178 VEHICLE PARKING SPACES
MINIMUM REQUIRED LOADING SPACES:	RESIDENTIAL MULTIFAMILY: 2 SPACES
RESTAURANT:	1 SPACE
PROVIDED:	3 LOADING SPACES
MINIMUM REQUIRED BICYCLE PARKING SPACES:	RESIDENTIAL MULTIFAMILY: 44 LONG-TERM SPACES
	(1 PER 5 UNITS, 220 UNITS)
PROVIDED:	44 LONG-TERM BICYCLE PARKING SPACES
RESTAURANT/RETAIL:	8 SHORT-TERM SPACES
	(1 PER 2500 SQ FT, 18,200 SQ FT OF RETAIL)
PROVIDED:	8 SHORT-TERM BICYCLE PARKING SPACES

LANDSCAPE PLAN



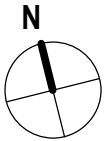
SCALE: 1" = 40'-0"

CN22194 THE RIVANA @ RIVER DISTRICT
21 July 2025

FLOOR PLAN - FLOOR 01

PROGRAM AREA LEGEND

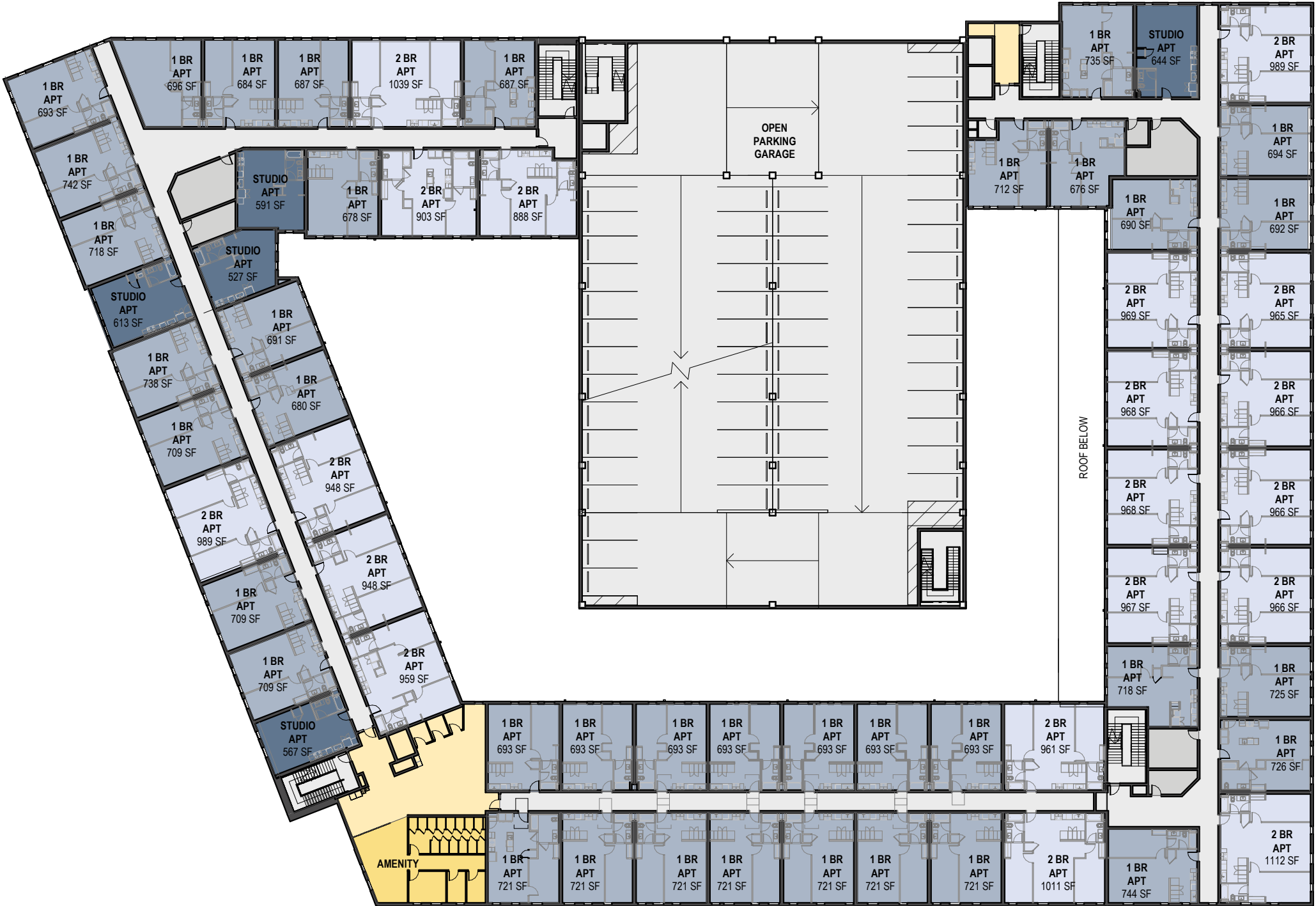
	1 BD
	1 BD / STUDIO
	2 BD
	AMENITY
	LOBBY
	RETAIL
	CIRCULATION / COMMON
	BACK OF HOUSE



FLOOR PLAN - FLOORS 02-04

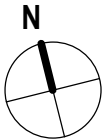
PROGRAM AREA LEGEND

	1 BD
	1 BD / STUDIO
	2 BD
	AMENITY
	LOBBY
	RETAIL
	CIRCULATION / COMMON
	BACK OF HOUSE



SCALE: 1" = 40'-0"

CN22194 THE RIVANA @ RIVER DISTRICT
21 July 2025



BUILDING ELEVATIONS & RENDERINGS

BUILDING ELEVATIONS



TCHOUPITOULAS STREET ELEVATION



PARK SIDE ELEVATION

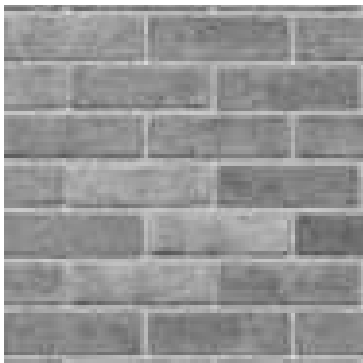
MATERIAL PALETTE



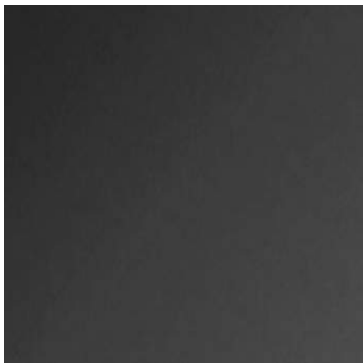
1 CORRUGATED METAL



2 FIBER CEMENT



3 BRICK



4 METAL PANEL

BUILDING ELEVATIONS



RACE STREET ELEVATION



EUTERPE STREET ELEVATION

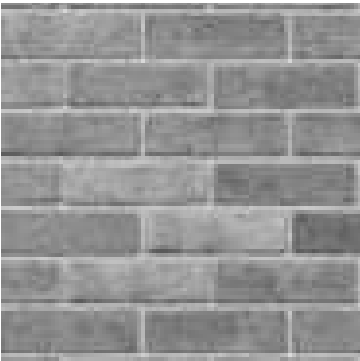
MATERIAL PALETTE



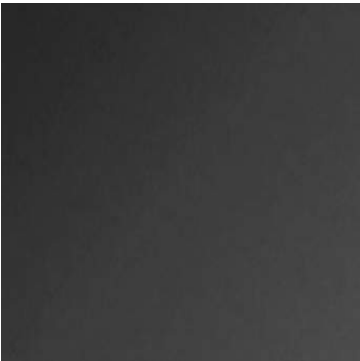
1 CORRUGATED METAL



2 FIBER CEMENT



3 BRICK



4 METAL PANEL



5 FIBER CEMENT



6 METAL FIN WITH MURAL

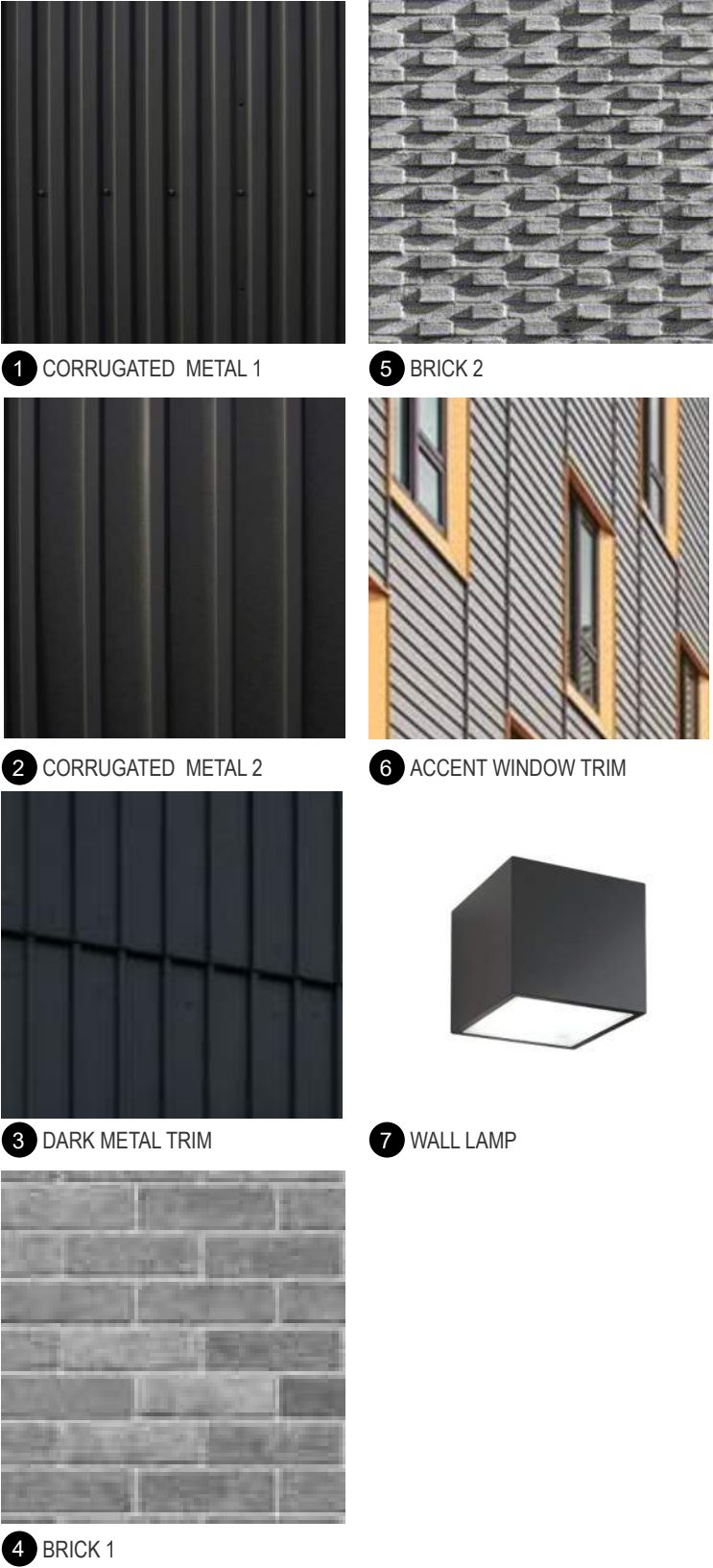
ENLARGED ELEVATION

TYPICAL FACADE DESIGN CONCEPT



ENLARGED ELEVATION - STREET SIDES

MATERIAL PALETTE



ENLARGED ELEVATION

PARK SIDE FACADE DESIGN CONCEPT



ENLARGED ELEVATION - PARK SIDES

MATERIAL PALETTE



1 CORRUGATED METAL 1



5 STOREFRONT WINDOW SYSTEM



2 CORRUGATED METAL 2



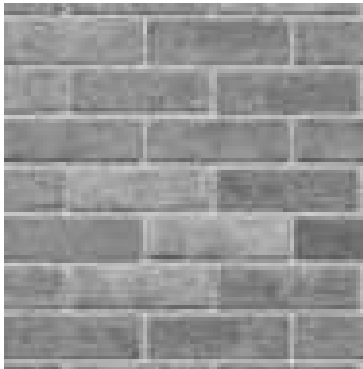
6 ACCENT WINDOW TRIM



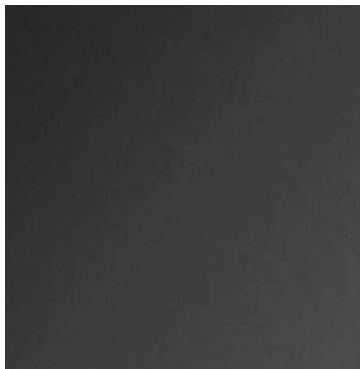
3 DARK METAL TRIM



7 FIBER CEMENT SOFFIT



4 BRICK 1



8 METAL PANEL

EXTERIOR RENDERINGS



TRAPOLINPEER
Gensler studiokiro
TCHOUPITOULAS STREET



TRAPOLINPEER
Gensler studiokiro
EUTERPE STREET



TRAPOLINPEER
Gensler studiokiro
RACE STREET

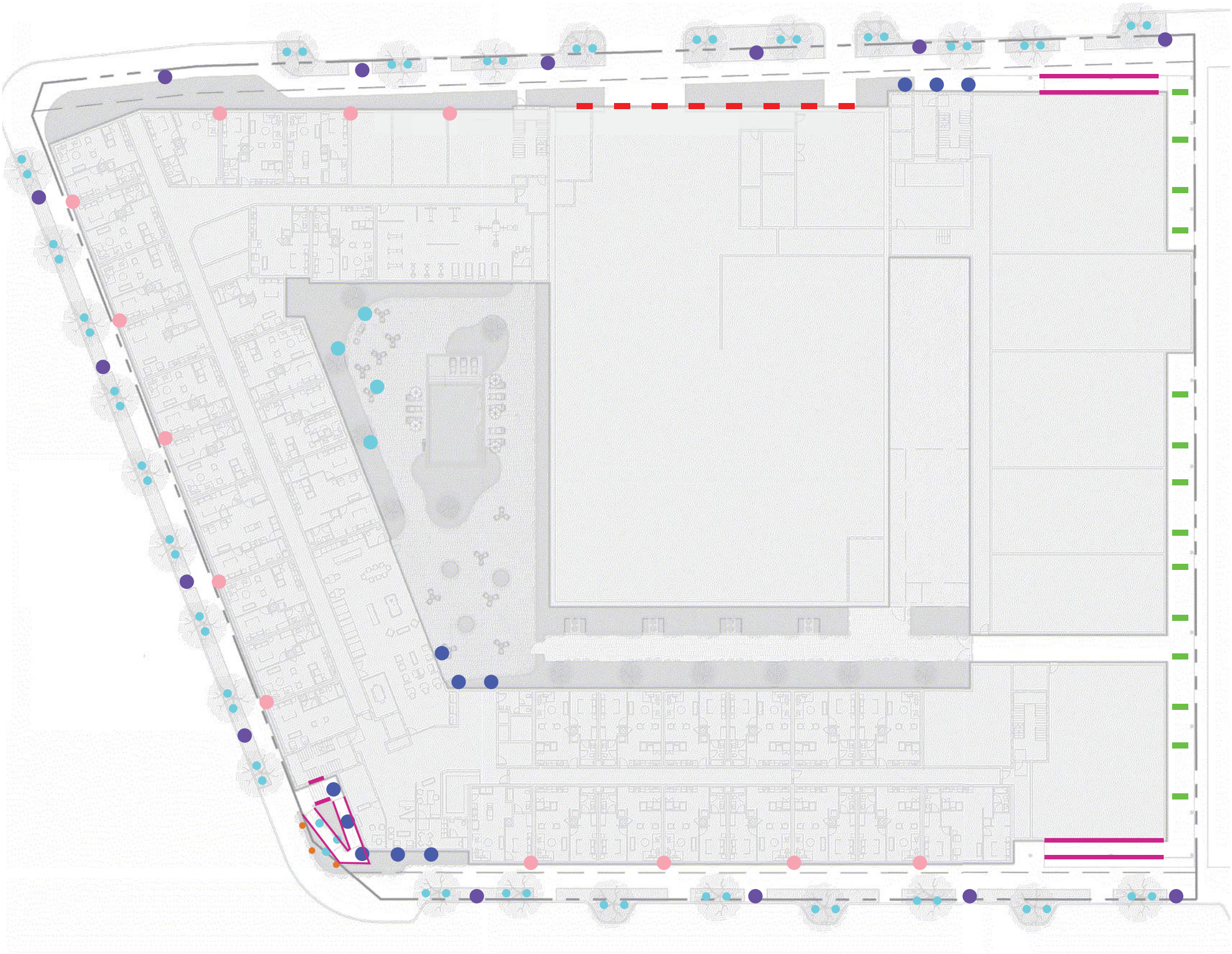


TRAPOLINPEER
Gensler studiokiro
PARK SIDE

EXTERIOR LIGHTING

SITE LIGHTING

EXTERIOR LIGHTING CONCEPT



FIXTURE: GA3 | GOTHAM
EXTERIOR ROUND DOWNLIGHT



FIXTURE: GP1, GP2 | LITHONIA
14' PEDESTRIAN POLE



FIXTURE: GB1 | BEGA
ROUND INGRADE IN PLINTH



FIXTURE: GS1 | LUMASCAPE
STEP LIGHT



FIXTURE: GH1, GH2 | KLIK
HANDRAIL LIGHT



FIXTURE: BLOC | MODERN FORMS
WALL SCENE



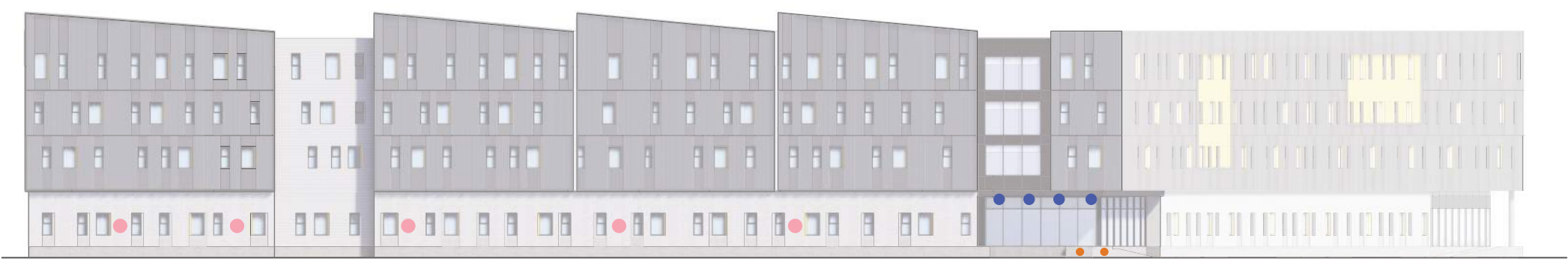
FIXTURE: VIA 2 SEAL | LUMEN WERX
LINEAR LIGHT



FIXTURE: E5X | INSIGHT LIGHTING
EXTERIOR WALL WASH

EXTERIOR BUILDING LIGHTING

EXTERIOR LIGHTING CONCEPT



TCHOUPITOULAS STREET ELEVATION



RACE STREET ELEVATION



PARK SIDE ELEVATION



EUTERPE STREET ELEVATION



FIXTURE: GA3 | GOTHAM
EXTERIOR ROUND DOWNLIGHT



FIXTURE: GP1, GP2 | LITHONIA
14' PEDESTRIAN POLE



FIXTURE: GB1 | BEGA
ROUND INGRADE IN PLINTH



FIXTURE: GS1 | LUMASCAPE
STEP LIGHT



FIXTURE: GH1, GH2 | KLIK
HANDRAIL LIGHT



FIXTURE: BLOC | MODERN FORMS
WALL SCONE



FIXTURE: VIA 2 SEAL | LUMEN WERX
LINEAR LIGHT



FIXTURE: E5X | INSIGHT LIGHTING
EXTERIOR WALL WASH





Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of adjacent buildings
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000