

THOMAS E. PITTMAN P.E.
CONSULTING ENGINEER

27011 REGENCY PARK DR
DENHAM SPRINGS, LA. 70726.

RE-ERECT EXISTING METAL BUILDING
EXISTING FOUNDATION

203 LAMARQUE STREET NEW ORLEANS, LA



SPECTRUM
DESIGNS, LLC

2439 MANHATTAN BLVD
SUITE 209, HARVEY LA
(504) 366-0710 Fax: (504) 366-0708
E-Mail: specdesignsllc@gmail.com

GENERAL NOTES:

1. THE OWNER, BUILDER, AND/OR CONTRACTOR IS/ARE RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.
2. ALL CONSTRUCTION MUST CONFORM TO PROCEDURES, CODES, LAWS, AND STATUTES THAT GOVERN THE LOCATION IN WHICH THE STRUCTURE IS TO BE BUILT.
3. ALL FIGURE DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL DIMENSIONS & FIT-UP OF STRUCTURE, INCLUDING VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE PROCEEDING.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE PROFESSIONAL OF RECORD BEFORE ANY WORK CONTINUES.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS AND ELEVATIONS WITH THE DESIGNER BEFORE CONSTRUCTION BEGINS.
7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, THE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
8. UNLESS NOTED OTHERWISE, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
9. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE DESIGNER FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.
10. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONSTRUCTION DOCUMENTS AND SECURE FROM THE DESIGNER ANY ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE NEEDED TO HAVE A CLEAR AND FULL UNDERSTANDING OF THE SCOPE OF WORK AT HAND.
11. DURING THE BUILDING PROCESS ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION OR UNKNOWN MISTAKES IN THE DOCUMENTS SHALL BE SUBMITTED TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION.
12. THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ORAL INSTRUCTIONS. NO ALLOWANCE WILL BE MADE FOR AFTER THE CONSTRUCTION DUE TO A MISUNDERSTANDING.
13. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS, & APPROVALS HAVE BEEN OBTAINED.
14. ALL CONSTRUCTION SHALL BE BUILT TO WITHSTAND 145 MPH WINDS IN EXPOSURE CATEGORY B
15. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS
16. STRUCTURE TO BE BUILT IN ACCORDANCE WITH THE HURRICANE RESISTANT CONSTRUCTION STANDARD WIND LOAD DESIGN CRITERIA ASCE-7-16, ENCLOSED BUILDING, MODERATE INTERNAL PRESSURE, INTERNAL PRESSURE COEFFICIENT OF +/- .18
17. ALL CONSTRUCTION TO BE BUILT TO THE CODES AND STANDARDS LISTED IN THE IBC 2021
18. PLANS TO CONFORM WITH PRESCRIPTIVE PATH N101 THRU N104 ECC 2021 AND CONTRACTOR MUST PROVIDE COMPLIANCE SHEET IN THE BREAKER BOX BY FINAL INSPECTION



WINDBORNE DEBRIS PROTECTION:

1. WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2021.
2. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 1996 AND OR ASTM 1886 REFERENCED THEREIN PROVIDE INSULATION TO CONFORM WITH THE "R" VALUE OF THE ELECTRIC UTILITY COMPANY AND/OR MANUFACTURERS SPECS.
3. FLASH ALL ROOF CHIMNEYS, VALLEYS, ETC. AREAS IN THE PRESCRIBE MANNER WITH METAL OR FABRIC FLASHING. DOORS AND WINDOWS TO BE FLASHED AS REQUIRED.

PROJECT DIRECTORY

PROJECT DESIGNER:	LYNNETTE GORDON SPECTRUM DESIGNS LLC 2439 MANHATTAN BLVD. SUITE 209 HARVEY, LA 70058 TEL: (504) 366-0710 EMAIL: ADMIN@SPECTRUMDESIGNSLLC.COM
PROJECT ENGINEER:	THOMAS E. PITTMAN SPECTRUM DESIGNS LLC 2439 MANHATTAN BLVD. SUITE 209 HARVEY, LA 70058 TEL: (504) 366-0710 EMAIL: ADMIN@SPECTRUMDESIGNSLLC.COM

ENGINEER NOTE: THIS BUILDING WAS
ERECTED IN 2003 AS PARADE FLOAT STORAGE
FOR KERN STUDIOS AND DISASSEMBLED IN
2016 AND PLACED IN STORAGE. THE CLIENT
WANTS TO RE-ERECT STRUCTURE. I HAVE
INSPECTED AND FOUND CONDITION OF
BUILDING & FOUNDATION TO BE ADEQUATE
FOR RE-ASSEMBLY. USE WILL REMAIN AS
STORAGE FACILITY.

FOUDATION NOTE: I HAVE INSPECTED THE
EXISTING FOUNDATION & FOUND IT TO BE IN
GREAT CONDITION, & ADEQUATE TO HANDLE
THE LOAD OF THE RE-ERECTION OF THE
PREVIOUS BUILDING.

PROJECT INDEX

ARCHITECTURAL

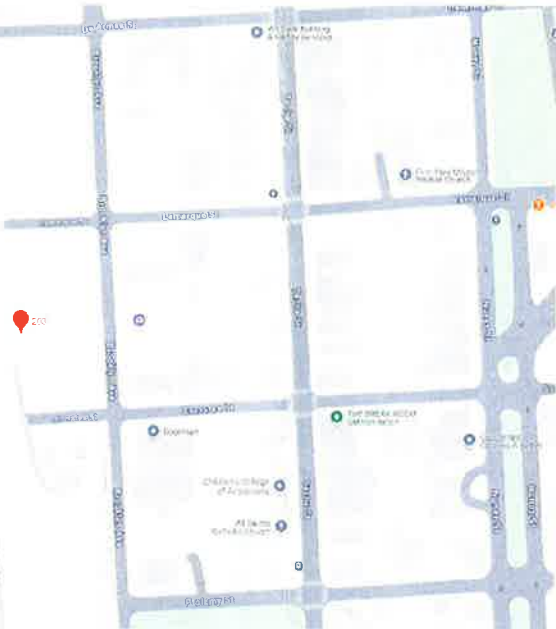
- CS COVER SHEET
A-1 SURVEY
A-1.1 SITE PLAN
A-2 FLOOR PLAN

STRUCTURAL

- S-1 ROOF FRAMING PLAN
S-2 SHEETING PLAN
S-3 FRAMING & CROSS SECTION
S-4 CROSS SECTION & WALL SECTIONS
S-5 ROOF SHEETING LAYOUT
S-6 ANCHOR BOLT PLAN

AREA CALCULATIONS

EXISTING FLOOR AREA 47,222 SQFT.



VICINITY MAP



TABLE R301.2.1.2 WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS ^{a,b,c,d}			
FASTENER TYPE	FASTENER SPACING (inches) ^e		
	Panel span ≤ 4 feet	4 feet < panel span ≤ 6 feet	6 feet < panel span ≤ 8 feet
No. 8 wood screw based anchor with 2-inch embedment length	16	10	8
No. 10 wood screw based anchor with 2-inch embedment length	16	12	9
3/4 inch lag screw based anchor with 2-in. embedment length	16	16	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 4.448 N.
1 mile per hour = 0.447 m/s.

a. This table is based on 130 mph wind speeds and a 33-foot mean roof height.

b. Fasteners shall be installed at opposing ends of the wood structural panel. Fasteners shall be located a minimum of 1 inch from the edge of the panel.

c. Anchors shall penetrate through the exterior wall covering with an embedment length of 2 inches minimum into the building frame. Fasteners shall be located a minimum of 2 1/2 inches from the edge of concrete block or concrete.

d. Where panels are attached to masonry or masonry/wood, they shall be attached using vibration-resistant anchors having a minimum ultimate withdrawal capacity of 1300 pounds.

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Date: 07-01-2025
Drawn: LG
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Sheet Title:
COVERSHEET

Drawing No.
CS



WALL MURAL MOCK-UP 01



WALL MURAL MOCK-UP 02



PROJECT NAME

MARDI GRAS
MURALS

CLIENT

BKA

DESIGN / DRAWING FINAL APPROVAL

* NOTE *

Client confirmation is required before the next phase of the production process will commence.

- A APPROVED ☐
- B APPROVED WITH COMMENTS ☐
- C REVISED AND RESUBMIT ☐

REVISION NOTES

* Please provide notes, signature & date here.*

DRAWING TITLE

WALL MURAL MOCK-UP
OPTION 01

DRAWING NO.

CFI - MGM - DWG - 001

PREPARED BY

BATZ

REV. NO.

00

DATE

07 / 25 / 2025

PAGE

SCALE

NOT TO SCALE

1/ 1



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MARDI GRAS
MURALS

CLIENT

BJA

DESIGN / DRAWING FINAL APPROVAL

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|---|------------------------|--------------------------|
| A | APPROVED | <input type="checkbox"/> |
| B | APPROVED WITH COMMENTS | <input type="checkbox"/> |
| C | REVISED AND RESUBMIT | <input type="checkbox"/> |

REVISION NOTES

* Please provide notes, signature & date here.*

DRAWING TITLE

WALL MURAL DESIGN
OPTION 01

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PREPARED BY

BATZ

REV. NO.

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1/ 1



WALL MURAL A



WALL MURAL B



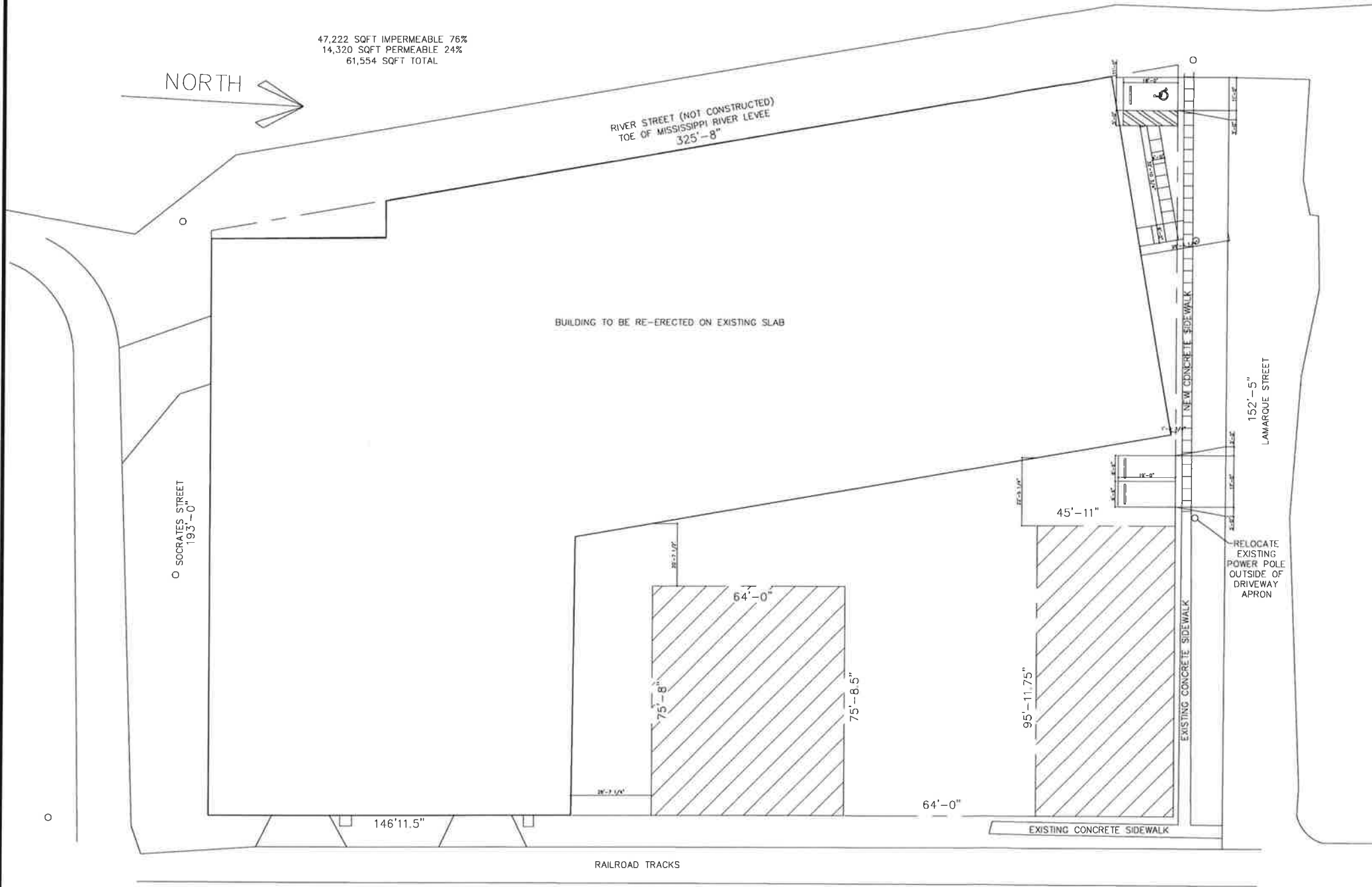
WALL MURAL C







Google



1 SITE PLAN
A-1.1 SCALE: 1:20

CODE INFORMATION

I.B.C. 2021 & NFPA101 2021

CODE REVIEW

PROJECT DESCRIPTION - 47,222 SF METAL BUILDING RE-ERECTED AT PREVIOUS LOCATION
S-1 STORAGE/PARKING OF MARDI GRAS FLOATS

SCOPE OF WORK RE-ERECT METAL BUILDING ON PREVIOUS FOUNDATION. NO CHANGES TO THE LOCATION.

GENERAL BUILDING LIMITATION CHAPTER 5

- * ALLOWABLE AREA TABLE 503, CONSTRUCTION TYPE 2B/ II B
- * ALLOWABLE AREAS:
 - S-1 17,500 W/ AREA INCREASE
- * PERIMETER OPEN TO STREET 723'-7" TOTAL PERIMETER= 1038'-6" PERCENT OF PERIMETER OPEN 70%
- * MINIMUM OPEN SPACE INCLUDING STREET PER IBC2021 507.2 = 47'-0" $I_f = .50$
- * AREA INCREASES: $A_t + (N.S. \times I_f) = A$
 $17,500 \text{ SQFT.} + (17,500 \text{ SQFT.} \times .5) = 26,250 \text{ SQFT. PER FLOOR}$
- * ALLOWABLE BUILDING AREA PER PARG. 302.3.3
RATIO NOT TO EXCEED 1

TYPES OF CONSTRUCTION CHAPTER 6 FIRE AND SMOKE PROTECTION FEATURES CHAPTER 7

TYPE OF CONSTRUCTION S-2 UNPROTECTED, NON SPRINKLED TABLE 601 AND TABLE 705.5

ELEMENT	FIRE RATING	PROVIDED
* STRUCTURAL FRAME	0	0
* BEARING WALLS (TABLE 602)	0	0
* EXTERIOR (NON COMBUSTIBLE)		
NORTH 1.45'	0 N.C.	0 N.C.
SOUTH 0'	0 N.C.	0 N.C.
EAST 20.78'	0 N.C.	0 N.C.
WEST 0'	0 N.C.	0 N.C.
* INTERIOR WALLS	0	0
* NON BEARING WALLS (TABLE 602)		
EXTERIOR WALLS	0	0
* FLOOR CONSTRUCTION	NA	0
* ROOF CONSTRUCTION	0	0

FIRE PROTECTION CHAPTER 9

ACCORDING OF 903.2.9.4 GROUP S-1 SPRINKLER SYSTEM NOT REQUIRED

- * FIRE ALARM- REQUIRED AS PER IBC 2021 907.2.10 WITH MANUAL BOXES
- TABLE 906.3(1) FIRE EXTINGUISHERS FOR CLASS A LOW TO MODERATE HAZARD- 75' MAXIMUM TRAVEL DISTANCE

MEANS OF EGRESS CHAPTER 10

- * TOTAL EGRESS REQUIREMENTS TABLE 1004.5
- * OCCUPANT AREA -
 $47,222 \text{ SQFT} / 500 \text{ SQFT(WAREHOUSE)} = 94 \text{ PEOPLE OR } 47,222 \text{ SQFT} / 300 \text{ SQFT (STORAGE)} = 158 \text{ PERSONS}$
- * MINIMUM REQUIRED EGRESS WIDTH 1005.3.2
STORAGE 158 X .2 INCH PER PERSON = 31.6 INCHES
- * TOTAL EGRESS WIDTH PROVIDED
STORAGE= 158 PERSONS NO CORRIDORS- OPEN SPACE
- * EXIT TRAVEL DISTANCE TABLE 1017.2
MAXIMUM ALLOWABLE (NON-SPINKLED A) - 300 L.F.
MAXIMUM DISTANCE PROVIDED ON PLAN APPROXIMATELY 190 L.F.
- * CORRIDOR FIRE RESISTANCE RATING TABLE 1020.2
- * MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD
REQUIRED =1 PROVIDED= 4

AREA CALCULATIONS

FIRST FLOOR	44,222 S.F.
TOTAL	44,222 S.F.

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Date: 07-01-2025
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Sheet Title:

SITE PLAN &
CODE REVIEW

Drawing No.

A-1.1



RIVER STREET (NOT CONSTRUCTED)
TOE OF MISSISSIPPI RIVER LEVEE
325'-8"

BUILDING TO BE RE-ERECTED ON EXISTING SLAB

NORTH

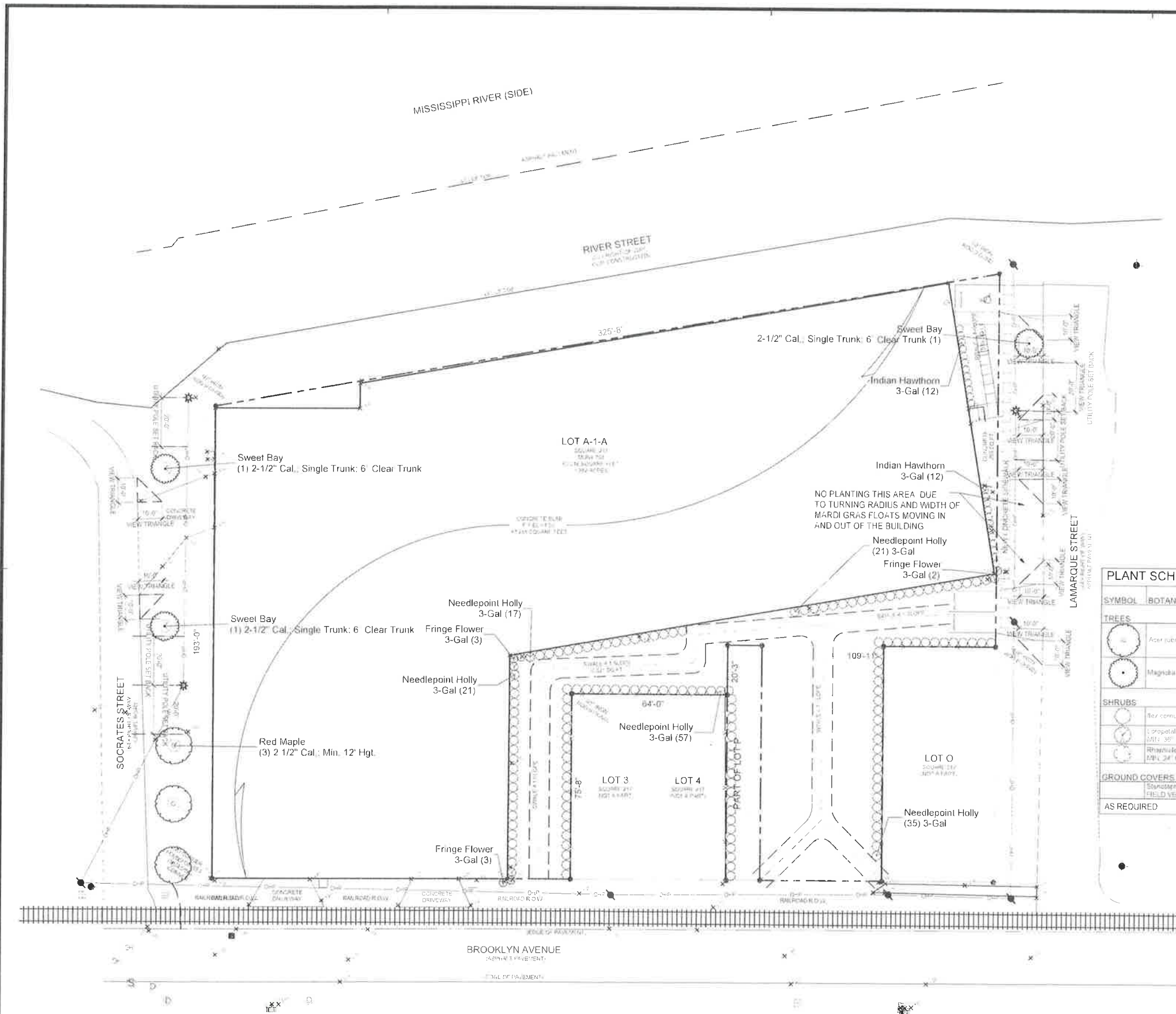
SOCRATES STREET
193'-0"

152-5
LAMARQUE STREET

RELOCATE
EXISTING
POWER POLE
OUTSIDE OF
DRIVEWAY
APRON

Drawing No. A-1.1

"I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS."



PLANT SCHEDULE			
SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
TREES			
	Acer rubrum 'discolor' / Red Maple	2 1/2" Cal. Min. 12' Hgt.	3
	Magnolia virginiana / Sweet Bay	2 1/2" Cal. Single Trunk 6' Clear Trunk	3
SHRUBS			
	Ilex cornuta / Needlepoint Holly	3-Gal	15
	Loropetalum chinense / Purple-Flowering / Fringe Flower	3-Gal	3
	Rhododendron / Indian Hawthorn	3-Gal	14
GROUND COVERS			
	Stenotaphrum secundatum / St. Augustine Grass	SLAB SOI	21,215 sq
AS REQUIRED			
CHOPPED PINE STRAW		MULCH	COMPACTED TO 3" THICK



1 LANDSCAPE PLAN
1" = 20'-0"



203 LAMARQUE STREET NEW ORLEANS, LA

Revisions		
No.	Date	Description

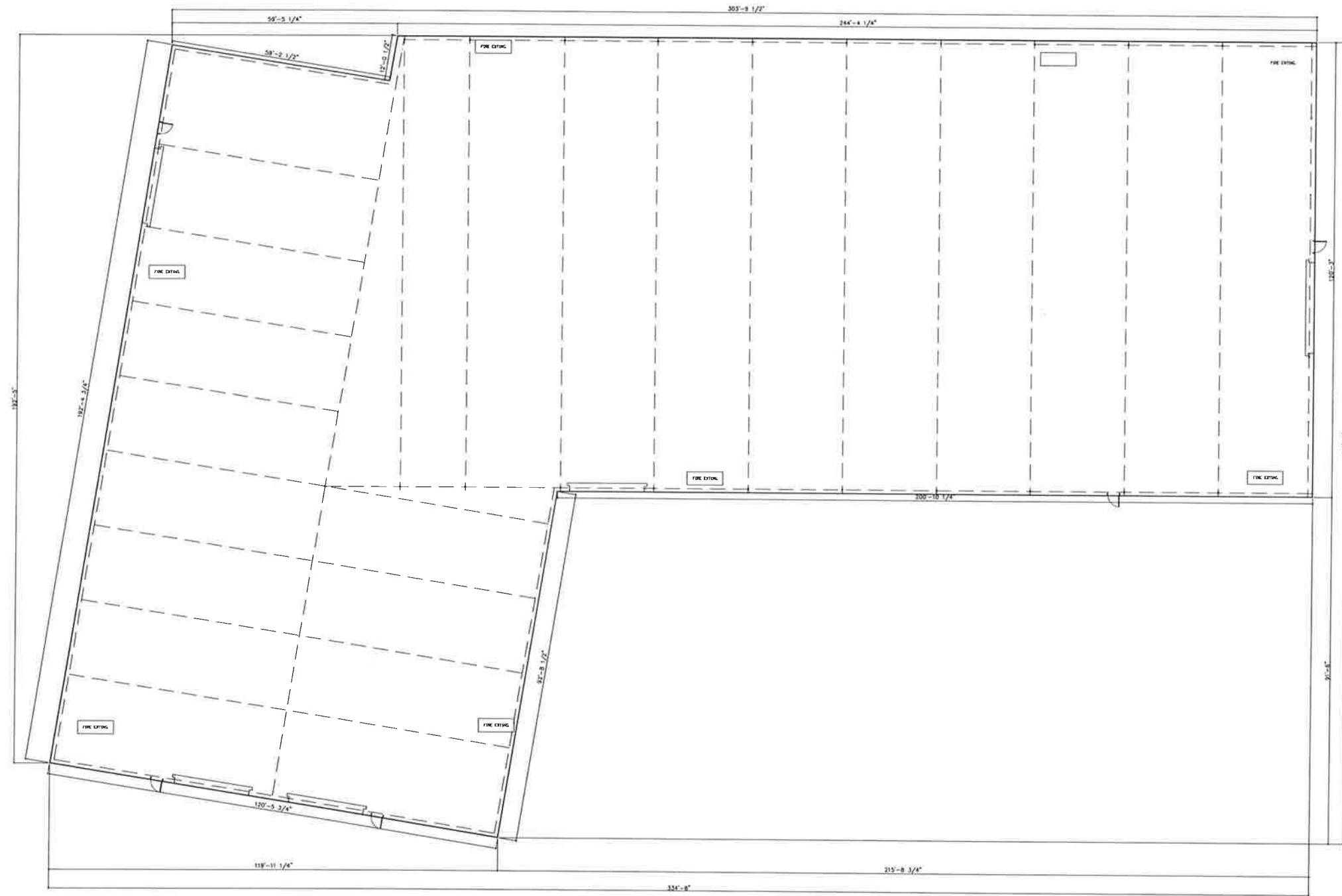
Date: 25 JUN 2025
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Sheet Title:

LANDSCAPE PLAN

Drawing No.

LS-1

Sheet No.



1 FLOOR PLAN
A-2 SCALE: 1/16"=1'-0"

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Date: 07-01-2025
Drawn: LC
Checked: TEP

Sheet Title:
FLOOR PLAN

Drawing No.
A-2



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review ☐ Interim Zoning Districts Appeal ☐ Moratorium Appeal

Property Location 203 Lamarque Street

APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name Lynnette Gordon

Applicant Address 1929 Jutland Drive

City Harvey State LA Zip 70058

Applicant Contact Number 504-366-0710 Email Admin@Spectrumdesignsllc.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Kern Algiers LLC

Property Owner Address 1380 Port of Orleans Place

City New Orleans State LA Zip 70130

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

Re-erect metal Building For Mardi Gras Float Garage.
On top of existing slab.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- ☐ Character Preservation Corridor
☒ Riverfront Design Overlay
☐ Enhancement Corridor
☐ University Area Design Overlay
☐ Corridor Transformation
☐ Greenway Corridor
☐ Others as required

Non-Design Overlay District Review

- ☐ Development over 40,000 sf
☐ Public Market
☐ CBD FAR Bonus
☐ Wireless Antenna/Tower
☐ Educational Facility

- ☐ Changes to Approved Plans
☐ DAC Review of Public Projects
☐ Others as Required

ADDITIONAL INFORMATION

Current Use Mardi Gras Float Storage Proposed Use Mardi Gras Float Storage
Square Number 217 Lot Number 1-A Permeable Open Space (sf) 8,622 Sqft.

New Development? Yes ☒ No ☐ Addition? Yes ☐ No ☒
Existing Structure(s)? Yes ☐ No ☒ Renovations? Yes ☐ No ☒
Change in Use? Yes ☐ No ☒ Existing Signs? Yes ☐ No ☒
New Sign(s)? Yes ☐ No ☒ Lot Area (sf) 55,420 Sqft. Tenant Width 336'2"
Building Width 336'2"
Lot Width (sf) 325 ft.
Building Area (sf) 47,222 Sqft.



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- ☒ North arrow, scale, and date of plan
- ☒ Location, dimensions, and area of permeable open space
- ☒ Name, address of the professional who prepared the plan
- ☐ Legend of symbols, patterns, and abbreviations used
- ☒ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ☒ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ☒ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ☒ Location of adjacent buildings
- ☐ Location of refuse storage locations
- ☒ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ☐ Fence location, height, and materials

2. FLOOR PLAN

- ☒ Indicating the dimensions and square footage of proposed development
- ☒ Room use
- ☒ Location of all walls, doors, and windows
- ☐ Location of all plumbing fixtures
- ☐ Location of major appliances/mechanical equipment
- ☐ Stairway location
- ☐ Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- ☐ Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- ☐ Location of all exterior lighting, including those mounted on poles and walls
- ☐ Types, style, height, and the number of fixtures
- ☐ Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- ☐ Proposed Signage with overall height, width, and materials
- ☐ Building Elevation (including building width and height)
- ☐ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- ☐ Name and address of professional who prepared the plan.
- ☐ Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ☐ All landscape plans shall meet the minimum requirements of site plans
- ☐ Legend defining all symbols, patterns, and abbreviations used
- ☐ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ☐ Description of all tree preservation measures on-site and in the public right-of-way
- ☐ Width, depth, and area of landscaped area(s)
- ☐ Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- ☒ Photographs of the subject site and/or building

8. NARRATIVE

- ☐ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ☐ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

- ☐ Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000



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FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000



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Narrative Addressing Compliance with the Comprehensive Zoning Ordinance

Re: 203 Lamarque Street, New Orleans, LA

The property located at 203 Lamarque Street has historically been used by Kern Algiers LLC as a parking and storage facility for Mardi Gras floats. This site serves as an accessory to other Kern Algiers LLC and its affiliates locations within the Algiers community, specifically 919, 915, 909, and 830 Brooklyn Avenue, as well as 233 Newton Street. Kern Algiers LLC and its affiliates play a significant role in the City of New Orleans' Mardi Gras parades and festivities — one of the city's most iconic events for both residents and visitors alike.

The original structure at 203 Lamarque Street was constructed sometime between 1990 and 2003 and was dismantled in 2017. The structural foundation, however, remains intact and in excellent condition, as confirmed by an evaluation conducted by Spectrum Designs and Engineering, LLC.

The owner intends to reconstruct the building using the same components that were previously dismantled, restoring it to its original configuration. This facility is critically needed due to the resurgence of Mardi Gras activities since the COVID-19 pandemic, which has created increased demand for float storage.

It is essential that the existing foundation remains undisturbed. The original construction required special permitting to drive piles and construct deep footings in close proximity to the levee and the river. Any attempt to remove or alter the foundation could compromise its structural integrity and potentially weaken the adjacent levee system.

This project is located within the Riverfront Design Overlay District (RIV), which establishes specific design requirements for new construction and substantial renovations. While the project will comply with as many requirements as practicable, there are unique site conditions that limit full compliance, as explained below:

Relevant Riverfront Design Overlay Requirements and Responses

18.13.C – General Design Standards

1. *Streetscape Design:*

The standards require coordinated paving, pedestrian-level design treatments, street lighting, and furniture within any yard areas and the adjacent right-of-way. The front

façade facing Brooklyn Avenue will be enhanced with upgraded design features, as shown in the attached plans. The remaining three façades will utilize an R-panel finish.

2. *Loading and Service Areas:*

Where feasible, loading areas should be internal to the development block and accessed via service corridors. Due to the nature of float storage and the limited turning radius of Mardi Gras floats, the primary entrance must remain accessible via Brooklyn Avenue and Lamarque Street.

18.13.E.2 – Building Orientation Requirements

a. *Blank Walls:*

Blank walls along view corridors and promenades are prohibited, and primary or secondary entrances are encouraged to face promenades. Due to the existing foundation and the building's proximity to the property lines, fire-rated walls are required, which preclude the installation of openings on those façades.

b. *Ground Story Transparency:*

A minimum of 40% transparency is required for façades facing promenades. However, this facility is not open to the public and does not front a promenade. The site abuts an active rail line, and the foundation location prohibits modification.

c. *Overhead Doors:*

Overhead service doors should not face promenades. Given the building's purpose — to house and maneuver large Mardi Gras floats — large overhead doors are necessary for proper ingress and egress.

18.13.G – RIV-2 Algiers Sub-District Standards

a. *Building Alignment:*

Structures should generally be constructed along lot lines on major access corridors. The existing foundation cannot be removed or relocated without risking damage to the levee system.

b. *Entrances and Curb Cuts:*

Pedestrian and main entrances are encouraged to face major corridors, with curb cuts on side streets where possible. This facility is not open to the public, so no public entrance is required.

c. *Ground Floor Uses:*

Except for single-family and two-family dwellings, buildings should contain ground-floor commercial or institutional uses. This project is a single-story commercial structure for storage use only.

d. *Façade Variation:*

Building façades should include variations in materials, offsets, and fenestration to avoid blank walls. The front façade along Brooklyn Avenue will include enhanced design elements, as shown

in the attached plans. Other façades will remain R-panel with no openings due to fire wall requirements.

e. Traffic Improvements:

If deemed necessary by the Director of the Department of Public Works, this project will contribute to any required traffic signaling or lane striping.

f. Weather Protection:

The design standards encourage galleries, awnings, and canopies. These features are not applicable to this structure, which functions solely as enclosed storage.

g. Historic Structures:

This property does not contain any historically significant buildings.

h. Design Compatibility:

To the extent possible, the site and building design will complement surrounding structures. However, the existing foundation must remain unchanged to preserve levee stability.

Conclusion

The proposed project at 203 Lamarque Street will meet the intent of the Comprehensive Zoning Ordinance and the Riverfront Design Overlay District to the greatest extent feasible, given the unique constraints of the existing foundation, site configuration, and operational requirements for Mardi Gras float storage.

Should you require any additional information or supporting documentation, please do not hesitate to contact us.

Prepared by:

Spectrum Designs and Engineering, LLC

6/25/2025

1.1 GENERAL

A. Submittals: In addition to product literature, submit the following:

1. Certification of grass seed from seed vendor for each seed mixture.
2. Planting schedule indicating anticipated dates and locations for each type of planting.
3. Quality Assurance: Provide trees, shrubs, ground covers, and plants of quality size, genus, species, and variety indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."
4. Special Warranty: Warranty trees, shrubs, and ground covers for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner. In normal weather conditions unusual for warranty period, or incidents which are beyond Contractor's control.

1. Remove and replace unhealthy and dead trees and shrubs within the warranty period.
2. Maintain and establish lawns by watering, fertilizing, seeding, mowing, trimming, replanting, and other operations to produce a uniformly smooth lawn for not less than the following:

1. Seeded Lawns: 60 days after date of Substantial Completion.
2. Sowed Lawns: 30 days after date of Substantial Completion.

1.2 PRODUCTS

1. Trees and Shrubs: Well-shaped, fully branched, healthy, vigorous nursery-grown stock of sizes and grades indicated, free of disease, insect, eggs, larvae, and defects conforming to ANSI Z60.1.

1. Provide balled and burlapped trees and shrubs.
2. Provide container grown trees and shrubs.

1. Ground Covers and Plants: Established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.

1. Grass Seed: Fresh, clean seed, new crop seed complying with the Association of Official Seed Analysts' "Rules for Testing Seeds" for purity and germination tolerances.

1. Seed Mixture: Provide seed of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.

1. Sod: Certified turfgrass sod complying with ASPA specifications for machine-cut thickness, size, strength, moisture content, and moisture height, and free of weeds and undesirable native grasses. Provide stable sod of uniform density, color, and texture, strongly rooted and capable of vigorous growth and development when planted.

1. Species: Provide sod of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.

1. Topsoil: ASTM G 5035, pH range 5.5 to 7.4 percent organic material, minimum free of stones 1 inch (25 mm) or larger in any dimension, and other extraneous materials harmful to plant growth.

1. Topsoil Source: Amend existing surface soil to produce topsoil. Supplement with imported topsoil when required.
2. Imported topsoil: Equal parts of sharp sand, granite, and calcined bark.

1. Lime: ASTM C 902, Class T, agricultural limestone.

1. Peat Mulch: Fine, divided or granular texture, with a percentage of 6 to 7.5 composed of partially decomposed moss peat, thicker than sphagnum peat mulch, or peat-sedge peat.

1. Sawdust or Ground-Bark Mulch: Decomposed, nitrogen-treated, of uniform texture, free of chips, stones, sticks, soil, antacid materials.

1. Bioremedial: Commercial, raw, finely ground, minimum of 4 percent nitrogen and 20 percent phosphoric acid.

1. Slakephosphate: Commercial phosphate mixture, soluble, minimum of 20 percent available phosphoric acid.

1. Commercial Fertilizer: Commercial grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 20 percent derived from natural organic sources or urea-form, phosphorous, and potassium in the following composition:

1. Composition: 1 lb per 1000 sq ft (10.5 kg per 100 sq m) of actual nitrogen, 4 percent phosphorous, and 2 percent potassium, by weight.

1. Slow-Release Fertilizer: Granular fertilizer consisting of 50 percent water-soluble nitrogen, phosphorous, and potassium in the following composition:

1. Composition: 5 percent nitrogen, 10 percent phosphorous, and 5 percent potassium, by weight.

1. Organic Mulch: Organic mulch, free from deleterious materials and suitable as a top dressing, consisting of ground or shredded bark, wood or bark chips, sawdust, or shredded hardwood.

1. Peat Mulch: Provide peat mulch in natural, shredded, or granulated form, of fine texture with a pH range of 4 to 6.

1. Mineral Mulch: Hard, durable, inert gravel or crushed stone, washed free of loam, sand, clay, and other foreign substances.

1. Size Range: 1-1/2 inches (38 mm) maximum, 3/4 inch (19 mm) minimum.

1. Edge Reveal: ASTM A 569/ASTM A 569M, rolled edge, standard steel piping, and accessories, fabricated to dimensions with flange 1/4 inch (6 mm) or wider to face of sections approximately 30 inches (762 mm) long to receive stakes.

1. Edge Reveal: 3/16 inch (4.8 mm) wide by 4 inches (102 mm) deep.

1.3 EXECUTION

1. Planting Soil Preparation: Before mixing, clear topsoil of roots, plants, rocks, stones, clay lumps, and other extraneous materials harmful to plant growth. Mix soil, topsoil, and fertilizers with topsoil at rates indicated.

1. Lawn Planting Preparation: Loosen subgrade to a minimum depth of 4 inches (100 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and slice roots, rubbish, and other extraneous materials.

1. Spread planting soil mixture to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Do not spread if planting soil or subgrade is frozen.
2. Place approximately 1/2 the thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.

1. Lawn Planting Preparation: Where lawns are to be planted in areas unaffected or undisturbed by excavating, grading, or surface soil eroding operations, remove and dispose of existing grass, vegetation, and soil.

1. Till surface soil to a depth of at least 6 inches (150 mm). Apply soil amendments and initial fertilizers and mix thoroughly into top 4 inches (100 mm) of soil. Trim high areas and fill in depressions. Till soil to a homogeneous mixture of fine texture.

1. Grade lawns areas to a smooth, even surface with loose, uniform fine texture. Remove trees, debris, stones larger than 1-1/2 inches (38 mm) in any dimension, and other objects that may interfere with planting or maintenance operations.

1. Mashed prepared lawn areas before planting when soil is dry and allow surface to dry before planting.

1. Ground Cover and Plant Bed Preparation: Loosen subgrade of planting bed areas to a minimum depth of 5 inches (125 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and slice roots, rubbish, and other extraneous materials.

1. Spread planting soil mixture to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Place approximately 1/2 the thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.

1. Ground Cover and Plant Bed Preparation: Till soil in beds to a minimum depth of 6 inches (150 mm) and mix with specified soil amendments and fertilizers.

1. Excavation for Trees and Shrubs: Excavate pits with vertical sides and with bottom of excavation slightly raised at center to avoid drainage. Excavate approximately 1-1/2 times as wide as ball diameter and deep enough to allow placing of root ball on a leveling layer of planting soil, 6 inches (150 mm) below bottom of excavation.

1. Planting Trees and Shrubs: Set stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades.

1. Place a leveling layer of compacted planting soil.
2. Remove surface and wire baskets from tops of balls and partially from sides, but do not remove from under balls. Do not use planting stock if ball is cracked or broken, before or during planting operation.
3. Place backfill around ball in layers, tamping to settle backfill and eliminate voids and air pockets.
4. Top and tamp top of backfill to form a band (15 mm) high mound around the rim of the pit. Do not cover top of root ball with backfill.

1. Tree and Shrub Planting: Prune, trim, and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Do not cut tree leaders, remove only minor or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub sizes indicated are size after pruning.

1. Planting Ground Cover and Plants: Space 24 inches (600 mm) apart, unless otherwise indicated. Dig holes large enough to allow spreading of roots and backfill with planting soil. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Water thoroughly after planting, taking care not to cover plant stems with soil.

1. Mulching: Completely cover areas to be mulched. Apply mulch and finish level with adjacent finish grades. Do not place mulch against trunks or stems.

1. Mulch Type and Thickness: Organic mulch, 3 inches (75 mm) thick as indicated on drawings.

1. Seeding Lawns: Sow seed with a spreader or a seeding machine. Do not broadcast or drop seed when wind velocity exceeds 5 mph (8 km/h). Evenly distribute seed by spreading three quantities in 2 directions at right angles to each other. Rake seed lightly into top 1/8 inch (3 mm) of topsoil, soil, and water with fine spray.

1. Seeding Rate: 3 to 4 lb per 1000 sq ft (11.5 to 2 kg per 100 sq m).
2. Fertilized seeded areas with slugs less than 1 lb spreader, by spreading three quantities in 2 directions at right angles to each other. Rake seed lightly into top 1/8 inch (3 mm) of topsoil, soil, and water with fine spray.

1. Seeding Lawns: Lay sod to form a solid mass with tightly fitted joints, within 24 hours of shipping. Butt ends and sides of sod do not match or overlap. Stagger sod joints or ends to adjacent courses. Avoid damage to subgrade or sod during installation. Tame and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface. Work edges of sod and fine sand into minor cracks between courses of sod. Remove excess to avoid smothering sod and adjacent grass.

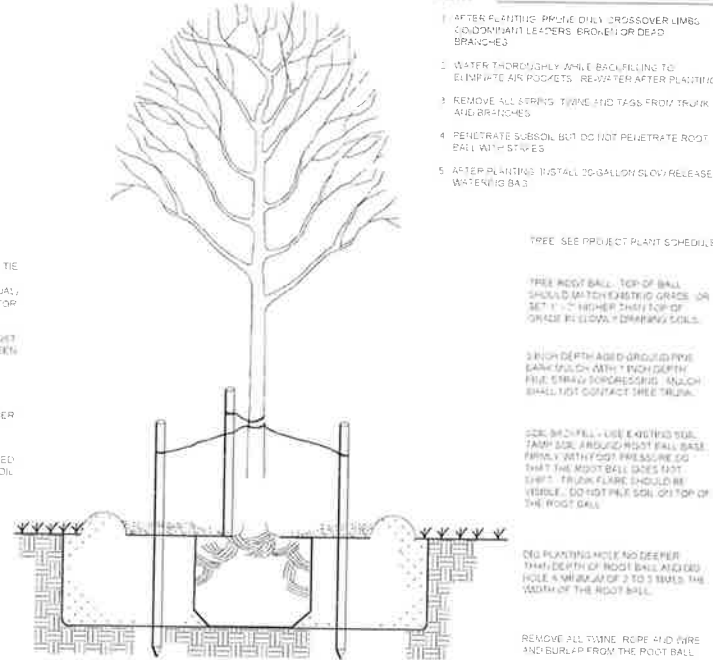
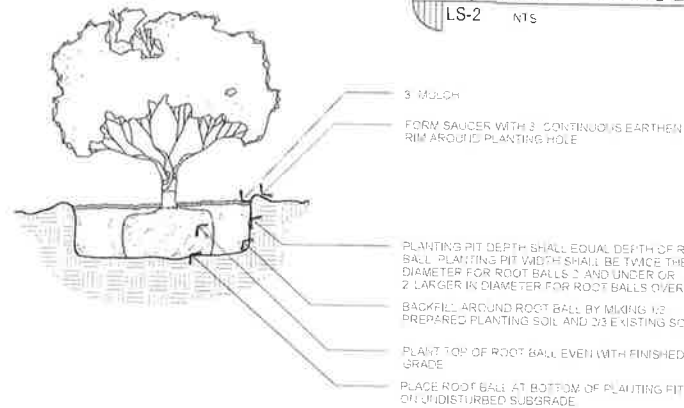
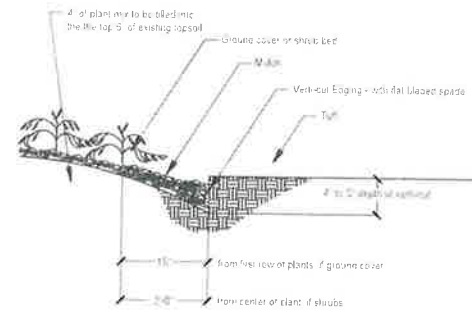
1. Anchor sod on slopes exceeding 1:6 with wood pegs spaced as recommended by sod manufacturer.

1. Water sod with fine water spray within 2 hours of planting. During first week, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1-1/2 inches (38 mm) below the soil.

1. Edging: Install edge rears where indicated on drawings with stakes driven below lip elevation of edging according to manufacturer's recommendations.

1. Disposal: Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash and debris, and legally dispose of it off the Owner's property.

END OF SECTION 02600

1 TREE PLANTING DETAIL
LS-2 NTS2 SHRUB PLANTING DETAIL
LS-2 NTS

NOTE: USE AT ALL EDGES AND GROUND COVER BEDS WHERE THEY INTERFACE WITH TURF.

3 PLANTING EDGE DETAIL
LS-2 NTS

1. 20 GALLON TREE GATOR - IN PLACE AND FILL WITH SOIL.
2. 20 GALLON TREE GATOR - IN PLACE AND FILL WITH SOIL.
3. 20 GALLON TREE GATOR - IN PLACE AND FILL WITH SOIL.

DRIP TIMES	20 GALLON TREE GATOR
2 HOURS	2 - 4 HOURS
4 HOURS	4 - 6 HOURS
6 HOURS	6 - 8 HOURS

NOTE: TREE GATOR TO BE FILLED TWICE A WEEK UNTIL ESTABLISHED

4 20 GALLON TREE GATOR
LS-2 NTS

Revisions		
No.	Date	Description

Date: 25 JUN 2025
Drawn: GUY GRISSOM

Checked: _____
Great Title: _____

LANDSCAPE
SPECS. & DETAILS

Drawing No. _____

LS-2

Sheet No. _____



Narrative addressing Compliance to the Comprehensive Zoning Ordinance

RE: 203 Lamarque Street, New Orleans, LA

This property has been utilized by Kern studios as a parking garage for mardi Gras floats as an accessory to the other locations located in the Algiers community. Those locations are 919, 915, 909 and 830 Brooklyn Avenue and 233 Newton Street. Kern Algiers LLC and its affiliates play a major role in the City of New Orleans Mardi Gras Parades and festivities which is one of the most famous festivals in New Orleans for both locals and tourists. The original building at 203 Lamarque Street was originally erected in somewhere between 1990 and 2003 and was disassembled in 2017. The structural foundation remained intact and is in excellent conditions. This evaluation was completed by Spectrum Designs and Engineering LLC.

The owners would like to reassemble the building back to its original state using the same building that was disassembled. This structure is desperately needed because as the Mardi Gras season is flourishing again since COVID, additional storage is needed. It is crucial that the existing foundation remain fully intact because of all of the special permitting that had to be acquired to drive piles and construct large deep footing so close to the levee and the river. Any attempts to remove this foundation or any part of it could cause possible failure or possible weakness in the levee.

This project is zoned MU-2 and is located in the Riverfront Design Overlay and has a list of requirements that need to be implemented in the design of this project. Unfortunately, there are a few unique situations for this project that hinder us from meeting all of the requirements.

Riverfront Design overlay requirements are listed as follows,

4.5.E APPROVAL STANDARDS

In reviewing site plan and design review applications, the relationship of the development plan to adopted land use policies and the goals and objectives of the Master Plan shall be evaluated. In addition, the following characteristics shall be considered:

1. Degree of conformity with the regulations of this Ordinance.
 - This ordinance does not take into consideration the special circumstances and location of this project. Conforming to this ordinance does not adhere to the surroundings in this neighborhood.
2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.
 - This ordinance does not take into consideration the special circumstances and location of this project. Conforming to this ordinance does not adhere to the surroundings in this neighborhood.

c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.

-No pedestrians

d. Minimize curb cuts by using cross-access servitudes and shared parking.

-See attached site plan

e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.

-Parking is off a dead-end street

f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

-This is no pedestrian access to this building.

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.

- This building as presented matches the other Mardi Gras Den Buildings on this street that have been present for many years.

b. Providing a visible transition in height and bulk between higher and lower density development.

-This is the only building in this block. It was disassembled a few years ago and now the owner wants to reassemble on top of existing foundation.

15.2 USES

Table 15.1- Permitted and Conditional Uses

According to table 15-1 a Mardi Gras Den is a permitted Use.

15.3.A.1 GENERAL REGULATIONS

Table 15-2: Bulk and Yard Regulations establishes bulk and yard regulations for the Commercial Center and Institutional Campus Districts.

Req.

provided

e. Decorative elements having historically functional purposes, such as shutters, balconies, windows, and doors, should be operational.

-Not in proposed design

f. Any structure designed for ground floor non-residential use shall be designed with a minimum ceiling height of twelve (12) feet, except for parking areas.

-Ceiling Height is 28'

g. Loading areas for retail anchor stores of twelve thousand (12,000) square feet in gross floor area or more are required to be in the rear.

-Not in proposed design

h. Out lot buildings shall be designed with showcase windows and entrances oriented to the street.

-Not in proposed design

i. Secondary access points are encouraged from rear parking lots. Facades that abut parking areas and contain a public entrance shall include pedestrian walkways.

-Not in proposed design

j. When a shopping center is located behind a parking lot, a street presence for the shopping center shall be created by locating part of the center and/or out lot buildings near the lot line at the primary street corner or the shopping center entrance. When the center's frontage on the primary street exceeds two-hundred fifty (250) feet in width, part of the center and/or out lot buildings shall hold at least fifty percent (50%) of the front lot line. (See Figure 15-3: Building Siting).

-Not in proposed design

k. The following building materials are prohibited on exterior elevations visible from the public right-of-way. However, such materials may be used as part of decorative or detail elements, or as part of the exterior construction that is not used as a surface finish material.

1. Exterior insulating finish systems (EIFS)
2. Stucco Board
3. Vinyl

-This building has R-Panels on the exterior walls to match other like buildings on the same street.

18.13.B RIV OVERLAY DISTRICT SUB-DISTRICTS AND AREAS OF APPLICABILITY

8.13.G RIV-2 ALGIERS SUB-DISTRICT STANDARDS

The following standards apply to the landside of the floodwall or levee:

18.13.G.1 DESIGN STANDARDS

a. Buildings shall generally be built along the lot lines along the major access corridors.

18.13.E.2 BUILDING ORIENTATION REQUIREMENTS

a. Blank walls along view corridors and promenades are prohibited. Primary or secondary building entrances are encouraged to be located on façades facing the promenade.

-The existing conditions of the foundation and the building location in proximity to the property line is requires to be fire walls therefore there will be no openings in the walls.

b. The ground story façade of structures facing a promenade maintain a transparency of forty percent (40%). Windows shall be constructed of clear or lightly tinted glass. Tinting above twenty percent (20%) or reflective glass is prohibited.

-There will be no promenade or public access corridor because thos project is not open to the public. Also, the railroad tracks front this property and the exisitns building is located on the property line. The foundation Can not be altrered.

c. No overhead service doors or bays may face the promenade. Loading and service areas shall be internal to the development block and accessed through service corridors and not through pedestrian-oriented streets or promenades.

-There will be overhead doors on the facades of the building because this building is being utilized for parks and store Mardigras floats. Large overhaead doors are required to maneuver the floats ingress and egress.

18.13.G RIV-2 ALGIERS SUB-DISTRICT STANDARDS

The following standards apply to the landside of the floodwall or levee:

18.13.G.1 DESIGN STANDARDS

a. Buildings shall generally be built along the lot lines along the major access corridors.

- This Building and foundation is existing. The Foundation cannot be altered or removed without causing weakning or damage to the levee.

b. Pedestrian and main entrances shall be located on the major corridor. Curb cuts should be located on the side streets, if possible.

-A public access is not required for this building because it is not open to the public.

c. Except for single-family and two-family dwellings, buildings shall contain ground floor commercial or institutional uses.

-This is a single-story commercial building.

d. Building façades shall contain variation in façade materials, offsets, fenestration, etc. to eliminate blank walls along the corridors.

-See attached design for fascade fronting Brooklyn Avenue. The other fascade will be an r-Panel finish. Because of the proximity to the property line fire walls a required therefore there will be no window.

- A. Parkway trees shall be planted at the equivalent of one (1) tree for every forty (40) linear feet for shade trees and every twenty-five (25) linear feet for ornamental trees. Where appropriate, parkway trees may be clustered or spaced differently as determined appropriate or necessary by the Department of Parks and Parkways. Shade trees are defined as having a height of over forty (40) feet at maturity; ornamental trees are defined as having a height of less than forty (40) feet at maturity.

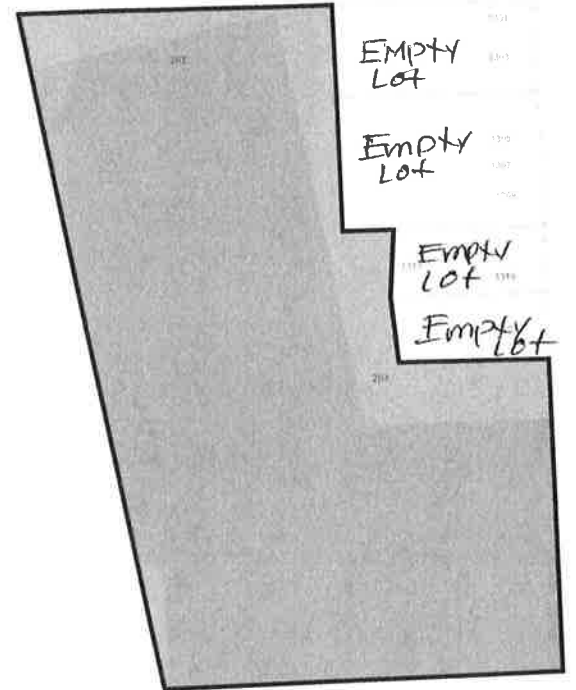
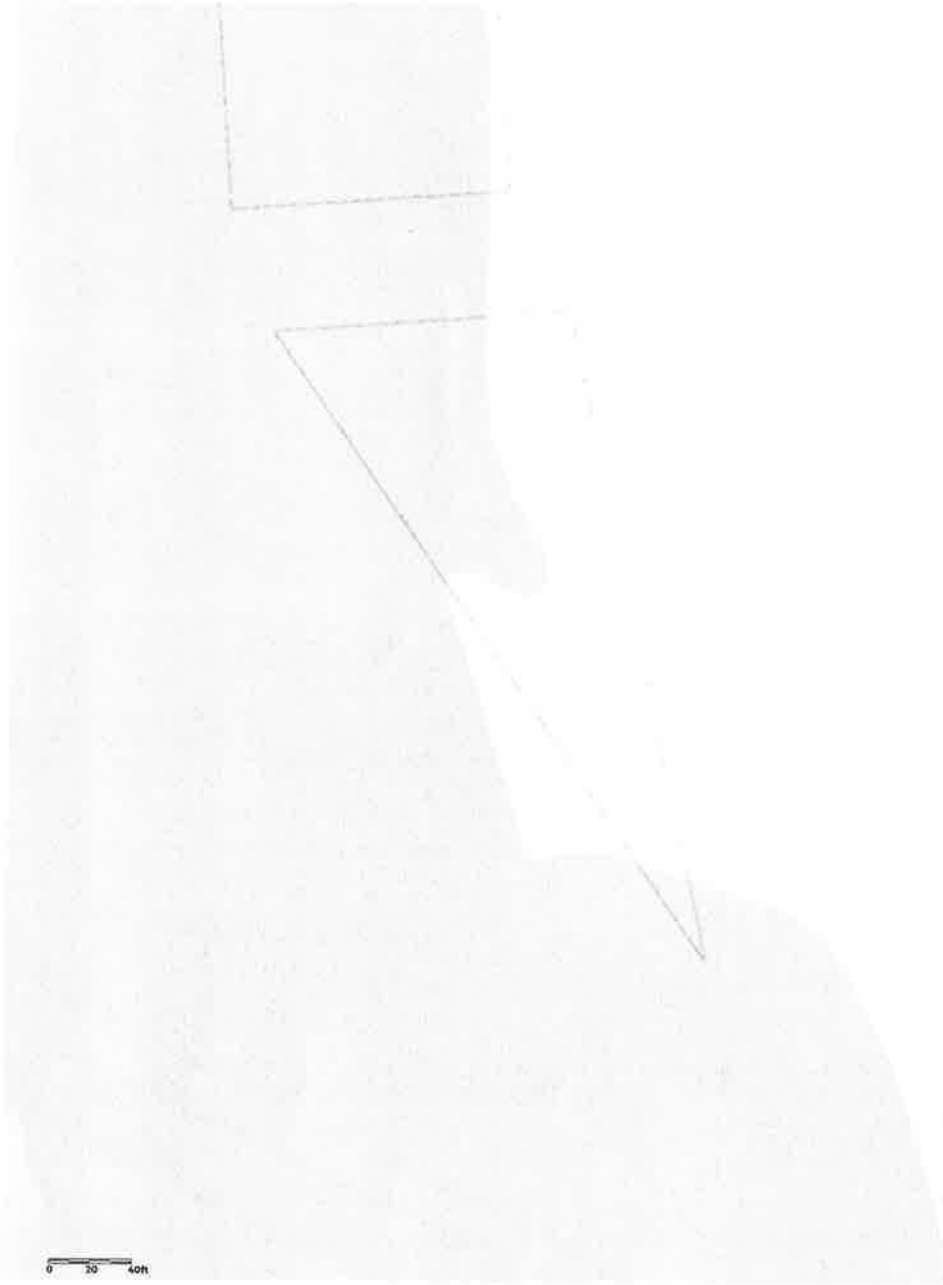
-Please see the attached Landscape plan. Trees cannot be planted along the railroad tracks and the levee. Also, along Lamarque street according to these standards because the Mardi gras floats are oversized and trees would be in the path of the top end tuning radius.

- B. A variety of compatible species should be included in the planting plan for a specific site or development. The selecting of tree species shall be reviewed and approved by the Department of Parks and Parkways with particular regard for site-appropriate species.

-Please see the attached Landscape plan.



City of New Orleans Property Viewer
203 LAMARQUE ST, LA, 70114



PROPERTY INFORMATION

Building Number		Property Description	SQ 217 LOTS A-1/D/E/F/G/H OR LOT A-1 VARIOUS MEASURES SS 423 S F OR 1 2723 AC
Unit Number		GeoPIN	41146356
Site Address	203 Lamarque St, LA, 70114	Tax Bill ID	513303509
First Owner Name	KERN ALGIERS LLC	Lot	A-1
Second Owner Name		Square	
Mailing Address	1380 PORT OF NEW ORLEANS PL	BLOCK	217
Mailing City	NEW ORLEANS	PARID	203-LAMARQUEST
Mailing State	LA	Parcel Area (sq.ft.)	55423
Mailing Zip 5	70130	Parcel Dimensions (ft.)	1x1
Mailing Zip 4			
Use Code			

Assessor Records and Sales/Transfer Information (<https://boacon.scheduercore.com/Application.aspx?AppID=979&LayerID=197928&PageID=457&ICU=86636Q-18869584-448&KeyValue=203-LAMARQUEST1>)

ZONING

Zoning District	MU-2
Zoning Description	High Intensity Mixed-Use District (http://czo.nola.gov/article-15/)

FUTURE LAND USE

Future Land Use	MU-2
Future Land Use Description	Mixed-Use High Density (https://masterplan.nola.gov/volume-2/L/3/2/13-c)

GENERAL REGULATIONS

Table 15-2: Bulk and Yard Regulations establishes bulk and yard regulations for the Commercial Center and Institutional Campus Districts.

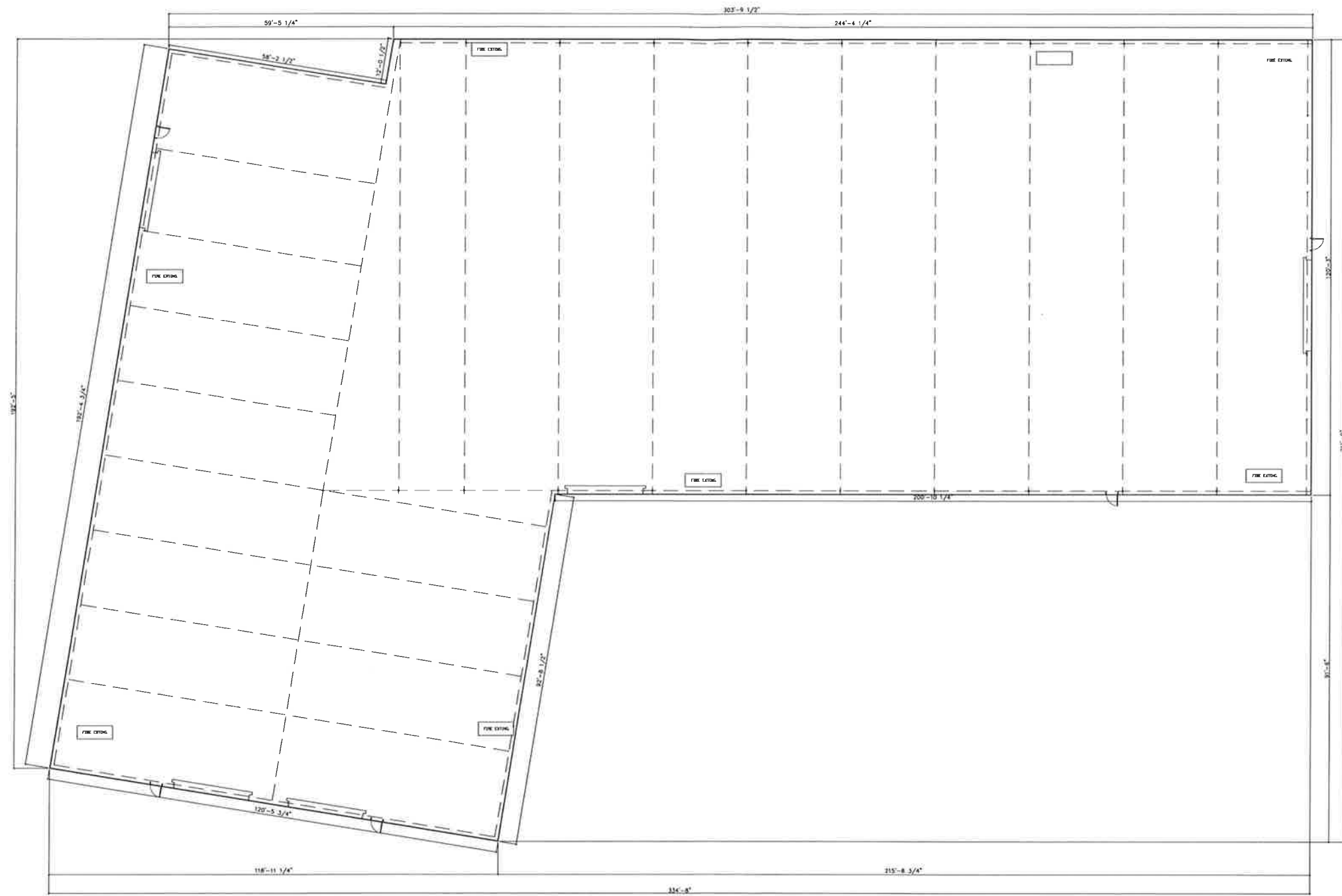
Table 15-2: Bulk & Yard Regulations

Table 15-2: Bulk & Yard Regulations

BULK & YARD REGULATIONS ¹									
	C-1	C-2	C-3	MU-1	MU-2	EC	MC	MS	LS
BULK REGULATIONS									
MINIMUM LOT AREA	Dwelling, Above the Ground Floor: 1,000sf/du	Dwelling, Above the Ground Floor: 1,000sf/du	Dwelling, Above the Ground Floor: 800sf/du	SF: 3,000sf/du 2F: 1,700sf/du MF: 1,000sf/du Small MF	SF: 3,000sf/du 2F: 1,700sf/du MF: 800sf/du Small MF	SF & 2F: Equal to that of the most restrictive adjacent residential district. All other uses: 2 acres	SF & 2F: Equal to that of the most restrictive adjacent residential district. All other uses: 2 acres.	None	5,000sf
Non-Residential: 3,000sf	Non-Residential: 5,000sf	Non-Residential: 5,000sf	Non-Residential: 5,000sf	Townhouse: 2,000sf/du Non-Residential: None	Townhouse: 1,800sf/du Non-Residential: None	restrictive adjacent residential district. All other uses: 2 acres	restrictive adjacent residential district. All other uses: 2 acres.		

Table 15-2: Bulk & Yard Regulations

BULK & YARD REGULATIONS ¹										
	C-1	C-2	C-3	MU-1	MU-2	EC	MC	MS	LS	
C INTERIOR SIDE YARD	None, unless abutting a residential district then 5'	5'	10'	SF & 2F: 10% of lot width or 3', whichever is greater Townhouse: 10' MF & Non-Residential/Mixed-Use: None, unless abutting a residential district then 5'	SF & 2F: 10% of lot width or 3', whichever is greater Townhouse: 10' MF & Non-Residential/Mixed-Use: None, unless abutting a residential district then 5'	SF & 2F: Equal to that of the most restrictive adjacent residential district. All other uses: 10', unless abutting residential district then 25'	SF and 2F: Equal to that of the most restrictive adjacent residential district. All other uses: 10'	10'	None, unless abutting residential district then 10'	
D CORNER SIDE YARD	None	10'	10'	None	None	SF & 2F: Equal to that of the most restrictive adjacent residential district. All other uses: 10'	SF & 2F: Equal to that of the most restrictive adjacent residential district. All other uses: 10'	10'	None to maximum of 20'	



1 FLOOR PLAN
A-2 SCALE: 1/16"=1'-0"

THIS DRAWING IS NOT TO BE REPRODUCED OR USED TO CONTRACT ANY BUILDING WITHOUT THE WRITTEN AUTHORIZATION OF SPECTRUM DESIGNS LLC

CONTRACTOR SHALL DIRECT ANY QUESTIONS PERTAINING TO THESE PLANS TO THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS WITHOUT CONSULTING AND/OR WRITTEN CONSENT FROM THE ENGINEER SHALL NULL AND VOID ALL LIABILITIES

I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

RE-ERECT METAL BUILDING
WHITE BOX (NOT TO OCCUPY)
203 LAMARQUE STREET
NEW ORLEANS, LA 70114
ORLEANS PARISH



SPECTRUM DESIGNS
& ENGINEERING LLC
1929 JUTLAND DR.
Suite A - HARVEY, LA 70058
PHONE: (504) 366-0710 FAX: (504) 366-0708
E-Mail: ADMIN@SPECTRUMDESIGNSLLC.COM



Date: 07-01-2025
Drawn: LG
Checked: TEP

Sheet Title:
FLOOR PLAN

Drawing No.
A-2

GENERAL

4. Submittals

4. **Submittals.** In addition to product certificates, submit the following:

1. Certification plots seen from seed, minor loss each seed mixture.
2. Planting schedule indicating anticipated dates and locations for each type of planting.
3. Quality Assurance. Provide trees, shrubs, ground covers, and plants of quality, size, genus, species, and variety indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."
4. Survival Warranty. Warranty trees, shrubs, and ground covers for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner. Natural weather conditions unusual for warranty period or conditions which are beyond Contractor's control.
5. Remove and replace with healthy and dead trees and shrubs within the warranty period.
6. Maintain and establish plans for watering, fertilizing, deepening, mowing, trimming, replanting, and other operations to produce a uniformly emerald lawn for not less than the following:
 1. Seeded lawns: 60 days after date of Substantial Completion.
 2. Spotted lawns: 30 days after date of Substantial Completion.

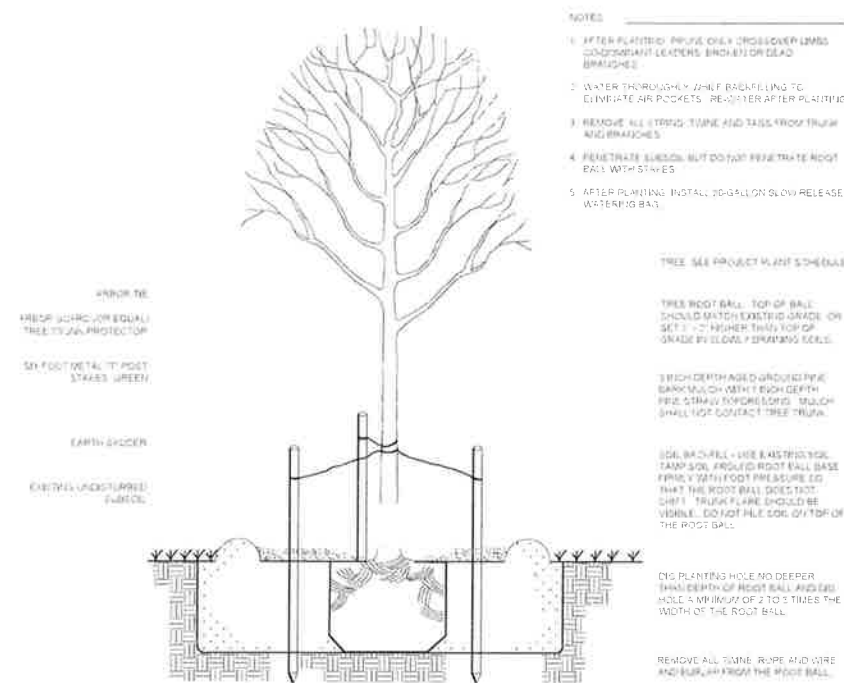
1.2 PRODUCTS

- Trees and Shrubs: Well-shaped, fully branched, healthy, vigorous nursery-grown stock of all sizes and grades indicated; free of disease, insects, eggs, larvae, and defects conforming to ANSI Z30.1.
1. Provide balled and buttressed trees and shrubs.
 2. Provide container grown trees and shrubs.
- B. Ground Covers and Plants: Established and well rooted in removable containers at integral grade and will not less than the minimum number and length of stems required by ANSI Z30.1 for the pot size indicated.
1. Grass Seed: Fresh, clean dry seed complying with the Association of Official Seed Analysts' "Rules for Testing Seeds" for purity and germination tolerances.
 2. Seed Mixture: Provide seed of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.
 3. Sod: Certified turfgrass and complying with ASPA specifications for mechanical hardness, strength, moisture content, and mowed height, and free of weeds and undesirable native grasses. Provide viable sod of uniform density, color, and texture, strongly rooted and capable of vigorous growth and development when planted.
 4. Species: Provide sod of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.
- E. Topsoil: ASTM D-5958, pH range of 5.5 to 7.4 percent organic material, minimum fines of stones finer than .75 mm or larger in any dimension, and other extraneous materials harmful to plant growth.
1. Topsoil Sources: Amend existing surface soil to produce topsoil. Supplement with imported loess when required.
 2. Imported Topsoil: Equal parts of sharp sand, peat moss, and composted bark.
- F. Limes: ASTM C-802 Class T agricultural limestone.
1. Peat Humus: Finely divided or granular texture, with a pH range of 5 to 7.5, composed of partially decomposed peat moss rather than sphagnum; peat humus, or reed-edge peat.
 2. Sandpit or Ground-Bank Humus: Incorporated nitrogen-treated, of uniform texture, free of chips, stones, sticks, soil or other materials.
- G. Bonemeal: Commercial raw, finely ground, minimum of 4 percent nitrogen and 20 percent phosphoric acid.
1. Superphosphate: Commercial phosphate mixture, soluble, minimum of 20 percent available phosphoric acid.
- H. Commercial Fertilizer: Commercially complete fertilizer of neutral character consisting of fast- and slow-release nitrogen, 50 percent derived from mineral organic sources of urea-form, phosphorus, and potassium in the following composition:
1. Composition: 1 lb per 100 sq ft: 10.5 g per 100 sq m of actual nitrogen, 4 percent phosphorous, and 6 percent potassium by weight.
- I. Slow-Release Fertilizer: Granular fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorus, and potassium in the following composition:
1. Composition: 5 percent nitrogen, 10 percent phosphorus, and 5 percent potassium by weight.
- J. Organic Mulch: Organic mulch, free from deleterious materials and suitable as a top dressing, consisting of ground or shredded bark, wood or bark chips, salt hay, or crushed straw, of shredded hardwood.
1. Peat Mulch: Provides peat moss in natural, shredded, or granulated form of fine texture with a pH range of 4 to 6.
- K. Mineral Mulch: Hard durable riverbed gravel or crushed stone, washed free of alkali, sand, clay, and other foreign substances.
1. Size Range: 1/4 inch (6.35 mm) maximum; 3/4 inch (19 mm) minimum.
- L. Surface Dressing: ASTM A 568 (ASTM A 569M), rolled edge, square, tapered steel edging and accessories shall be used in sections with both ends secured to the base of concrete curb sections approximately 30 inches (762 mm) apart to receive stakes

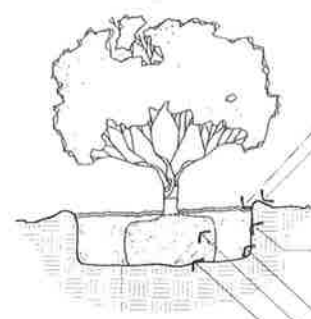
3 EXECUTION

- A. Planting Soil Preparation:** Before mixing, clean topsoil of roots, plants, sticks, stones, glass, and other extraneous materials harmful to plant growth. Mix soil amendments and fertilizers with topsoil at rates indicated.
- B. Lawn Planting Preparation:** Loosen subgrade to a minimum depth of 4 inches (100 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and slice roots, rubbish, and other extraneous materials.
- C. Spread Planting Soil Mixtures to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Do not aerate if planting soil or subgrade is frozen.**
- D. Place approximately 1/2" thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.**
- E. Lawn Planting Preparation:** Where lawns are to be planted in areas undisturbed or undisturbed by excavating, grading, or surface soil stripping operations, remove and dispose of existing grass, vegetation, and turf.
- F. Till surface soil to a depth of at least 8 inches (150 mm). Apply soil amendments and initial fertilizers and mix thoroughly into top 4 inches (100 mm) of soil. Firm high areas, settle fill in depressions. Till surface to a homogeneous mixture 5/8" fine texture.**
- G. Grade lawn areas to a smooth, even surface with 1/2" uniformity level tolerance. Remove trash, discard stones larger than 1-1/2 inches (38 mm) in any dimension, and other plastic that may interfere with planting or maintenance operation.**
- H. Moisture Prepared lawn areas before planting when soil is dry and allow surface to dry before planting.**
- I. Ground Cover and Plant Bed Preparation:** Loosen subgrade of planting bed areas to a minimum depth of 4 inches (100 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials.
- J. Spread planting soil mixtures to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Place approximately 1/2" thick thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.**
- K. Ground Cover and Plant Bed Preparation:** Till soil to a minimum depth of 4 inches (100 mm) and mix with specified soil amendments and fertilizers.
- L. Excavation for Trees and Shrubs:** Excavate pits vertical with sides and with bottom of excavation slightly wider at center to assist drainage. Excavate approximately 1-1 1/2 times as wide as ball diameter and deep enough to allow placing of root ball on a setting layer of planting soil. Loosen hard subsoil in bottom of excavation.
- M. Planting Trees and Shrubs:** Set back plumb and in center of pit or trench with top of ball raised above adjacent finish grades.
- N. Place a setting layer of compacted planting soil.**
- O. Remove twigs and wire baskets from tops of balls and partially from sides, but do not remove from underneath. Do not use planting soil if ball is cracked or broken before or during planting operation.**
- P. Place backfill around ball in layers, tamping to settle backfill and eliminate voids and air pockets.**
- Q. Finish and tamp top of backfill to form a 4-inch (100 mm) high mound around the rim of the pit. Do not cover top of root ball with backfill.**
- R. Tree and Shrub Planting:** Prune limbs and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Do not cut live leaders. *Remove* only injured or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub sizes indicated are size after pruning.
- S. Planting Ground Cover and Plants:** Space 24 inches (600 mm) apart, unless otherwise indicated. Dig holes large enough to allow for spreading of roots and backfill with planting soil. Work soil around roots to eliminate air pockets and leave a slight surface indentation around plants to hold water. Water thoroughly after planting, taking care not to cover plant crowns with soil.
- T. Mulching:** Completely cover area to be mulched. Apply mulch and finish level with adjacent finish grades. Do not place mulch against trunks of stems.
- U. Mulch Type and Thickness:** Organic mulch 3 inches (75 mm) thick as indicated on drawings.
- V. Seeding Lawns:** Sow seed with a spreader or a seeding machine. Do not broadcast or drop seed when wind velocity exceeds 5 mph (5 km/hr). Evenly distribute seed by sowing equal quantities in 2 directions at right angles to each other. Rarely seed lightly into soil: 1/8" (6 mm) (3 mm) of topsoil; soil lightly, and water with fine spray.
- W. Seeding Rate:** 3 to 4 lb per 1000 sq ft (1.5 to 2 kg per 100 sq m).
- X. Protect seeded areas with open slopes less than 5 degrees erosion by spreading straw after completion of seeding operations and anchor by comping into topsoil. Spread uniformly at a minimum rate of 2 tons per acre (4 kg per 100 sq m).**
- Y. Seeding Lawns:** Lay soil to form a solid mass with lightly lime joints within 24 hours of shipping. But ends and sides of soil do not stretch or overlap. Stagger seed strips or pads to offset joints in adjacent courses. Avoid drainage to subgrade or soil during installation. Tamp and roll gently to ensure contact with subgrade, eliminate air pockets, and tain a smooth surface. Work entire soil to fine sand into minor cracks between pieces of soil. Remove excess to avoid smothering soil and adjacent grass.
- Z. Anchor soil on slopes exceeding 1/4" 6" with wood pegs secured as recommended by soil manufacturer.**
- AA. Salvage soil with fine water spray within 72 hours of planting. During first 72 hours, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1-1 1/2 inches (38 mm) below the seed.**
- BB. Estimate of quantities to be furnished by contractor for each item shall be based on the following:**

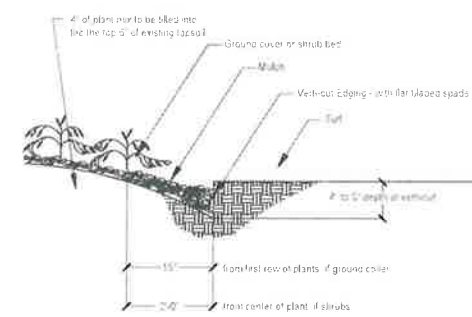
END OF SECTION 02200



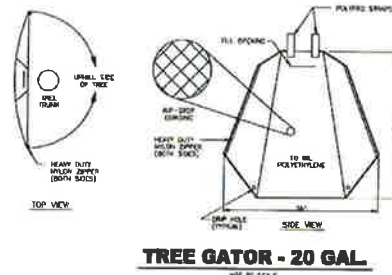
1 TREE PLANTING DETAIL
LS-2 NTS



2 SHRUB PLANTING DETAIL
LS-2 NTS



3 PLANTING EDGE DETAIL
LS-2 NTS



TREE GATOR - 20 GAL

NOTE: TREE GATOR TO BE FILLED TWICE A WEEK UNTIL ESTABLISHED



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203 LAMARQUE STREET
NEW ORLEANS, LA

[illegible]LANDSCAPE
SPECS. & DETAILS

Quarries No.

LS-2

Sheet No. _____
of _____

	BUILDING
	EXISTING RIGHT OF WAY
	CATCH BASIN
	CULVERT
	DROP INLET, DRAIN LINE
	DROP INLET, DRAIN LINE
	COMMUNICATIONS MANHOLE, COMM. LINE
	DRAIN MANHOLE, DRAIN LINE
	ELECTRICAL MANHOLE, ELEC. LINE
	GAS MANHOLE, GAS LINE
	SEWER MANHOLE, SEWER LINE
	TELEPHONE MANHOLE, TELE LINE
	TRAFFIC MANHOLE, TRAFFIC LINE
	WATER MANHOLE, WATER LINE
	UTILITY POLE / OVERHEAD LINE
	ELECTRIC, TELEPHONE, CABLE TV
	FENCE
	UTILITY BOX
	UTILITY CLEANOUT
	UTILITY METER
	UTILITY PEDESTAL
	UTILITY VALVE
	UTILITY VALVE VAULT
	FIRE HYDRANT
	LIGHT STANDARD
	TRAFFIC SIGNAL POLE
	TRAFFIC LIGHT POWER VAULT
	CANOPY SUPPORT
	SIGN
	TREE
	RESIDENTIAL MAILBOX
	PP DEADMAN

REGISTERED PROFESSIONAL ENGINEER
TOM PITMAN
REGISTRATION NO. 19516

203 LAMARQUE STREET
LOT A-1, SQUARE 217
FIFTH DISTRICT
ORLEANS PARISH, LOUISIANA

SPECTRUM DESIGNS

[illegible]

1" = 20'

6/10/2025

AWN BY: K A B

HECKED BY:

PROJECT NO.	DRAWING NO.
000	000

669 669

ET OF

GENERAL NOTES

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES. AN INTRINSIC RECORD WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

GENERAL NOTES

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD
BOUNDARY MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD
HAZARD AREA.

FIRM ZONE: X
BASE FLOOD ELEV. = N/A
ORLEANS PARISH
COMMUNITY PANEL NO. 22071C 0233F
MAP DATED/REVISED: 09/30/2016

SURVEY REFERENCE

SURVEY OF LOTS 1-A & 20-A, SQUARE 216, FIFTH MUNICIPAL DISTRICT, ORLEANS
PARISH, LOUISIANA BY MCKAY & ASSOCIATES, L.L.C. DATED 9/1/2015.

VERTICAL DATUM BASIS

ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON NAVD88, GEOID 18. THEY ARE DERIVED FROM GPS OBSERVATIONS REFERENCED TO THE LOUISIANA STATE UNIVERSITY CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) NETWORK IN ACCORDANCE WITH LOUISIANA R.S. 50:173.1 COVERING VERTICAL CONTROL STANDARDS.

BENCHMARKS

CONSTRUCTION BENCHMARK IS A 60D NAIL IN POWER POLE AS SHOWN HEREON
ELEVATION = 6.08'

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft