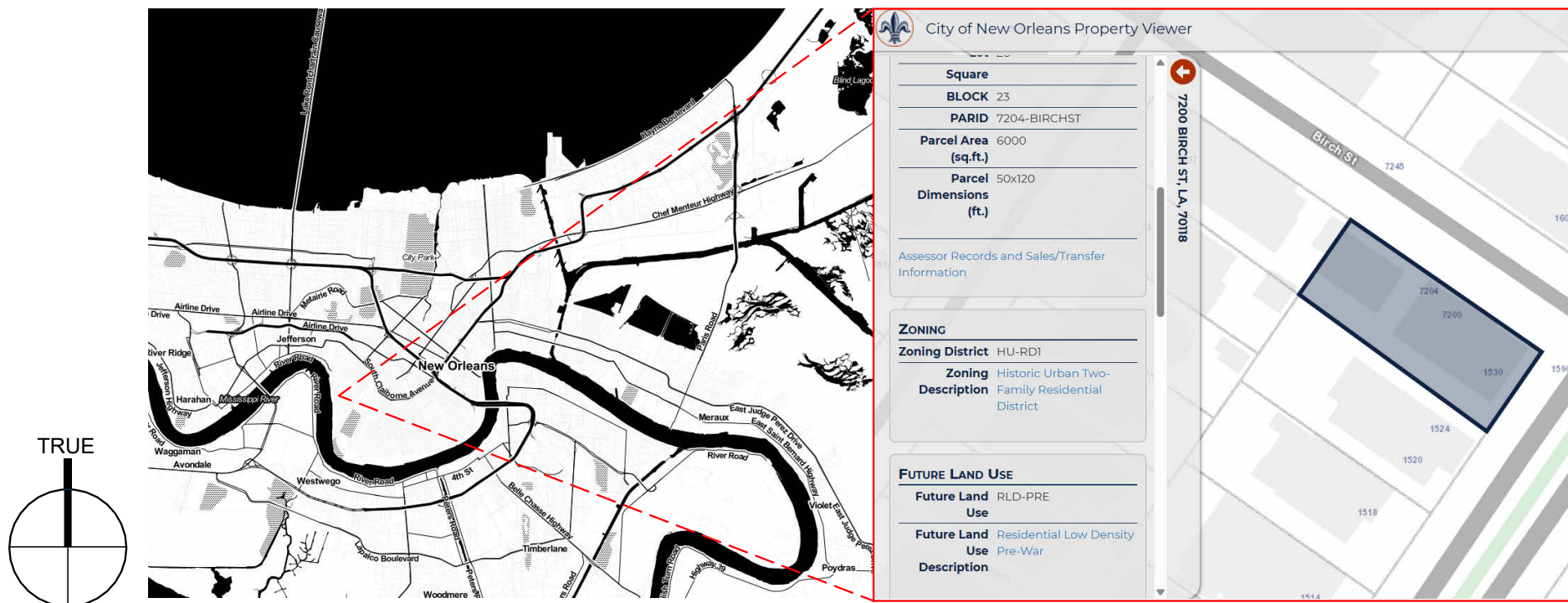
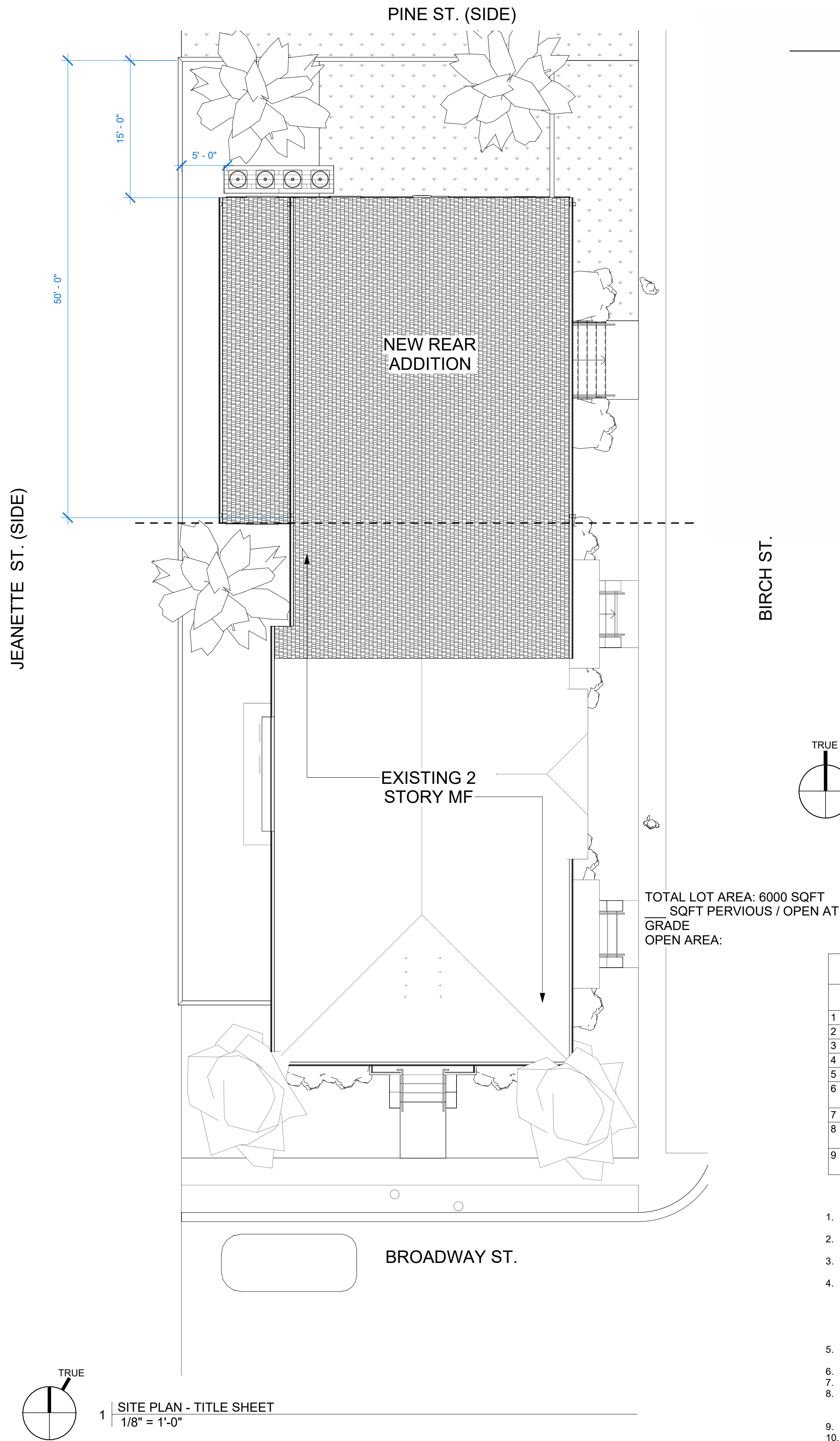


DAC REVIEW SET (SCHEMATIC DRAWINGS)

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX

1530 Broadway Ave.
New Orleans LA, 70118



HU-RD1

ZONING TABULATION CHART HU-RD1				
Item		CZO Requirement	Existing Or Proposed	Variance Needed
1	Lot Width Min.	30'	E.T.R	NO
2	Lot Depth Min.	90'	E.T.R	NO
3	Lot Area Min.	2,250 SF/DU	N/A (SMFA)	NO
4	Frontyard Setback	CZO 11.3.A.2'	E.T.R (10')	NO
5	Sidyard Setback	3' min	E.T.R (4')	NO
6	Rearyard Setback	20% of lot depth or 15', whichever is less	15' PROPOSED	NO
7	Building Height	35'	26' (E.T.R)	NO
8	MINIMUM PERMEABLE OPEN SPACE	30% OF LOT AREA	2486 SQ. FT. (41% OF TOTAL LOT AREA)	NO
9	MAXIMUM IMPERVIOUS SURFACE IN FRONT YARD	40	500 SF / 600 SF (80%)	NO

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
INFO					
T1.1	TITLE SHEET	07/14/25			
T1.2	GENERAL NOTES - PROJECT	07/14/25			
LIFE SAFETY					
LS1.1	LIFE SAFETY	07/14/25			
SITE					
A1.1	SITE / ROOF PLAN	07/14/25			
A1.2	SITE DETAILS	07/14/25			
DEMO					
D2.1	EXISTING / DEMO PLAN	07/14/25			
D2.2	INTERIOR DEMO PLAN	07/14/25			
D3.1	EXISTING / DEMO ELEVATIONS	07/14/25			
ARCHITECTURAL					
A2.1	FLOOR PLANS - PROPOSED	07/14/25			
A3.1	EXTERIOR ELEVATIONS - PROPOSED	07/14/25			
A3.2	NEIGHBORHOOD CONTEXT / MASSING	07/14/25			
A4.1	BUILDING SECTIONS	07/14/25			
A6.1	DOOR & WINDOW SCHEDULES & DETAILS	07/14/25			
A6.2	FINISH SCHEDULE, CASEWORK & INT. DETAILS	07/14/25			
A8.1	VERTICAL & HORIZONTAL ASSEMBLIES	07/14/25			

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
RENOVATION OF EXISTING 3 UNIT APARTMENT BUILDING INTO SMALL MULTI-FAMILY AFFORDABLE 4 UNIT BUILDING, WITH INCREASED FOOTPRINT. NEW MEP TO MEET CURRENT IEC CODES/REGULATIONS. NEW NFPA 13R SPRINKLER SYSTEM. UNIT A, B, C, & D ARE ALL 3 BEDROOMS / 2.5 BATH.

PERMIT TYPE
RENOVATION / ADDITION (STRUCTURAL)

SFM
LEVEL OF ALTERATION
• 3 (> 50% VALUE OF BUILDING) (IF APPLIES)
• ADDITION

OWNER:
JAMES SPALT
ADDRESS
NEW ORLEANS, LA 70119
EMAIL
504-555-5555

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER
SALAS O BRIEN
TOM WARD, PE
WWW.SALASOBRIEN.COM
TOM.WARD@SALASOBRIEN.COM
504-952-9651

STRUCTURAL/CIVIL ENGINEER
AP DESIGN GROUP
JOSHUA JUNEAU, PE
504-410-5322
JJUNEAU@AP-ENG.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-RD1
OVERLAY DISTRICT:
• RESIDENTIAL STR IZD
• NON-COMMERCIAL STR IZD
• UNIVERSITY AREA OFF-STREET PARKING OVERLAY
• UNIVERSITY AREA DESIGN OVERLAY
• CUSTOMARY LODGING SERVICES STAFFING INTERIM DISTRICT
HDLC DISTRICT: HU-RD1

PROPOSED DEVELOPMENT:
EXISTING BUILDING SQUARE FOOTAGE (GROSS TOTAL): 3330 SQ. FT.
NEW (ADDITION) WORK SQUARE FOOTAGE (GROSS TOTAL): 2423 SQ. FT.
TOTAL GROSS BUILDING SQUARE FOOTAGE (RENO + ADDITION): 5753 SQ. FT.

FIRST FLOOR
1665 EXISTING
1350 NEW

SECOND FLOOR
1665 EXISTING
1073 NEW

5753 SQ. FT. TOTAL

NO. OF STORIES: 2
PROJECT ON FLOOR: 2
BUILDING HEIGHT: 25'-0"

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-A V(111) PROTECTED COMBUSTIBLE

OCCUPANCY TYPE:
IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL, GROSS SF:

SPRINKLERED / FIRE ALARM:
NFPA 13R (LOW-RISE RESIDENTIAL OCCUPANCIES)

APPLICABLE CODES:
• 2021 IRC OR 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
• 2021 INTERNATIONAL MECHANICAL CODE
• 2021 LOUISIANA STATE PLUMBING CODE
• NFPA 70: 2020 NATIONAL ELECTRIC CODE
• 2021 INTERNATIONAL FUEL CODE
• 2021 INTERNATIONAL ENERGY CONSERVATION CODE

• 2021 INTERNATIONAL EXISTING BUILDING CODE

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

TITLE SHEET

OWNER PRICING	
Date	07/14/25

T1.1

STRUCTURAL

INSULATION

INSULATION R-VALUE REQUIREMENTS: 1) CEILING: R-38, 2) WALLS: R-13, 3) FLOORS: R-13

- A.

BATT INSTALLATION GUIDELINES: GRADE I – MINOR DEFECTS: OCCASIONAL VERY SMALL GAPS ARE ALLOWED. VOIDS CAN'T EXTEND FROM THE INTERIOR TO THE EXTERIOR (I.E. THE FULL WIDTH OF A WALL CAVITY). THE PRODUCT IS INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATION AND CUT TO FIT AROUND ELECTRICAL JUNCTION BOXES AND IS SPLIT AROUND WIRES AND PIPES. COMPRESSION OR INCOMPLETE FILL AMOUNTING TO 2% OR LESS, IF THE EMPTY SPACES ARE LESS THAN 30% OF THE INTENDED FILL THICKNESS, ARE ACCEPTABLE FOR GRADE I.

B.

CLOSED-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN FLOOR FRAMING JOISTS AND AS DETAILED, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE =13.

C.

A. TYPE II, MINIMUM DENSITY OF 1.5 LB/CU. FT. (24 KG/CU. M.)
OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN EXTERIOR STUDS AND AS DETAILED, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE = 13.
A. MINIMUM DENSITY OF 0.4 LB/CU. FT. (6.4 KG/CU. M.)

D.

ROOF FRAMING MEMBERS AND AS DETAILED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO A THICKNESS PRODUCING AN R-VALUE = 30.
A. MINIMUM DENSITY OF 0.4 LB/CU. FT. (6.4 KG/CU. M.)
1.

RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE AIR SEALED
2.

RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED WITH INSULATION
3.

EAVE BAFFLE: FOR AIR-PERMEABLE INSULATION IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE EVENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL TO OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BAFFLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.
4.

ALL ACCESS HATCHES AND DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE INSULATED TO THE SAME R-VALUE REQUIRED FOR THE WALL OR CEILING IN WHICH THEY ARE INSTALLED.
5.

THE 'LOUISIANA INSULATION CERTIFICATE' SHALL BE PERMANENTLY POSTED IN A UTILITY AREA:

State of Louisiana Insulation Certificate
(Permanently attach this certificate in a utility area near the Energy Efficiency Certificate)

Date Installed Permit Number					
Area Insulated	Total R-value	Installed Thickness (3.5, 5.5, etc.)	Spray Foam Density (lbs./ft. ³)	Ignition Barrier Provided (Y/N)	Thermal Barrier (Y/N)
Attic rafterline (under sheathing)	at	inches			
Attic floor (above ceiling)	at	inches			
Cathedral ceiling	at	inches			
Exterior Walls	at	inches			
Knee walls	at	inches			
Rafted joist (between levels)	at	inches			
Under first floor (in crawl space)	at	inches			
Basement/crawl space walls	at	inches			

Jobsite Address	
General Contractor License No.	
Insulation Contractor (firm)	
Installer/Applicator Name	
Product Manufacturer(s)	
Product Name(s) & batch no.	

Supplemental Packet Contents:	Uploaded to permitting office (X)	Copy to General Contractor (X)	Copy to Homeowner (X or No Owner)
Insulation Certificate (copy)			
Insulation MSDS or Finished Foam Safety Data Sheets (SDS)			
Product Technical Data Sheets			
Spray Foam Applicator's Training Certificate (from manufacturer or SFA)			
Performance Testing Report (blower door) with name of 3 rd party provider			

GENERAL NOTES - INSULATION

1.

CONSTRUCT ALL FRAMING TRUE AND SQUARE USING #2 SYP OR SPRUCE MATERIALS. PROVIDE PRESSURE TREATED FRAMING AT INTERIOR WET AREAS AND EXTERIOR DECK & PORCH LUMBER EXPOSED TO THE ELEMENTS.
2.

TREATED MATERIALS SHALL BE OF GRADE AS REQUIRED BY CONDITION AND KILN DRIED AFTER TREATMENT.
3.

SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL).
4.

SEAL ALL ROUGH OPENINGS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO ENCLOSING WITH FINISH TRIM.

GENERAL NOTES - FRAMING

1.

USE ONLY STAINLESS STEEL, COATED, OR HOT DIPPED GALVANIZED FASTENERS
2.

FOR EXTERIOR CONNECTIONS OR TREATED WOOD CONNECTIONS
3.

SECURE WIND ANCHORS IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS FOR LOADS GENERATED BY 144 MPH WIND SPEED.
4.

SOLID SHEATH ALL EXTERIOR WALLS WITH 1/2" WINDSTORM FULL HEIGHT SHEATHING PROFILES TO SPAN FRAMING CONNECTIONS SECURING CAP AND BOTTOM PLATES
5.

INSTALL BLOCKING AT ALL PANEL EDGES.
6.

SECURE PLYWOOD WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS (OR EQUAL) @ 6" @ EACH SIDE, 3" STAGGERED @ ENDS & 12" @ INTERMEDIATE FRAMING.
7.

JOIST TO BAND JOIST - FACE NAIL 3-16P COMMON
8.

JOIST TO SILL - TOE NAIL 3-8P RING SHANK COMMON
9.

BRIDGING TO JOIST - TOE NAIL 3-8P COMMON
10.

BOTTOM PLATE TO JOIST OR BLOCKING - FACE NAIL 16P RING SHANK COMMON @ 8" STAGGERED.
11.

TOP OR BOTTOM PLATE TO STUD - END NAIL 2-18P COMMON
12.

STUD TO BOTTOM PLATE - TOE NAIL 4-8P COMMON
13.

DOUBLE STUDS - FACE NAIL 10P COMMON @ 16"
14.

CAP PLATE - FACE NAIL 2-10P COMMON @ 16"
15.

TOP PLATE LAPS AND INTERSECTIONS - FACE NAIL 3-10P COMMON
16.

CEILING JOIST RAFTERS TO CAP PLATE - TOE NAIL 3-8P COMMON
17.

CEILING JOIST LAPS OVER PARTITIONS - FACE NAIL 4-12P COMMON
18.

RAFTER LAPS OVER BEARING - FACE NAIL 4-12P COMMON EACH END
19.

BUILT-UP CORNERS & TS - FACE NAIL 16P COMMON @ 16"
20.

BUILT-UP HEADERS OF 3 MEMBERS - FACE NAIL 20P @ 16" EACH FACE STAGGERED & 2 EACH SPLICE
21.

3/4" PLYWOOD FLOOR DECK - FACE NAIL 8P COMMON RING SHANK - 6" @ SIDES, ENDS AND INTERMEDIATE FRAMING.
22.

5/8" PLYWOOD ROOF SHEATHING - INCORPORATE SPACING CLIPS @ 24", FACE NAIL WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS@ 6" @ PERIMETER SIDES, & 12" @ INTERMEDIATE FRAMING.
23.

ROOFING SHINGLES - 6 GALV. 1.25" ROOFING NAILS PER SHINGLE (DADE PATTERN).

GENERAL NOTES - FRAMING CONNECTORS

CONCRETE AND REINFORCEMENT NOTES:

1.

CONCRETE: ACI 301-89 SPECIFICATIONS, NORMAL WEIGHT (LATEST REVISION).
2.

CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: 3000 PSI UNLESS OTHERWISE NOTED.
3.

REINFORCING STEEL BARS: ASTM A615
4.

WELDED WIRE MESH: ASTM A185
5.

GRADE OF REINFORCING STEEL: GRADE 60.
6.

REINFORCING DETAILS: ACI 315 STANDARDS.
7.

ALL WORK WITHIN THE PROPERTY LINE SHALL CONFIRM TO REQUIREMENTS OF THE SEWERAGE AND WATER BOARD OF NEW ORLEANS

GENERAL NOTES - CONCRETE WORK

ENVELOPE

ROOF

ROOF DEMO NOTES:

1.

REMOVE EXISTING ROOF AND ICE/WATER SHIELD (IF PRESENT) DOWN TO ROOF SHEATHING.
2.

INSPECT CONDITION OF ROOF SHEATHING. IF GAPS ARE PRESENT OR SHEATHING IS IN A STATE OF FAILURE, REPLACE WITH 5/8" TONGUE AND GROOVE ROOF DECKING. ALTERNATIVELY CLAD OVER WITH MIN 3/8" DECKING TO CREATE A SOLID SUBSTRATE

HAZARDOUS MATERIALS:

1.

ALL DEMOLITION WORK IS TO BE PERFORMED IN ACCORDANCE WITH AN APPROVED ASBESTOS WORK PLAN FROM THE STATE OF LOUISIANA & OSHA SAFETY REQUIREMENTS.
2.

CURRENT AREA(S) HAVE NOT BEEN TESTED AND HAVE NOT BEEN IDENTIFIED FOR ABATEMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO TEST FOR HAZARDOUS MATERIALS AND REPORT TO THE OWNER IF ANYTHING IS 'HOT'.

NEW ROOF NOTES:

1.

CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
2.

THE REPLACEMENT OF THE ROOF SHALL BE CONDUCTED IN SUCH A MANNER AS TO PROTECT THE EXISTING BUILDING AND ALL OF ITS CONTENTS IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THEIR CONTRACTED WORK.
3.

FIELD VERIFY SIZE AND LOCATION OF ALL EXISTING ROOF PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
4.

LOCATIONS OF NEW ROOFING AND CRICKETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
5.

FIELD VERIFY LOCATION AND QUANTITY OF EXISTING DOWNSPOUTS AND ROOF DRAINS. PROVIDE DOWN SPOUTS AT ALL EXISTING LOCATIONS AND AT ALL OVERFLOW SCUPPERS.
6.

CONFIRM THAT ALL ROOF DRAINS ARE IN WORKING ORDER AND DRAINING AT AN APPROPRIATE FLOW RATE. REPAIR AND CLEAR ANY OBSTRUCTED, DAMAGED OR LEAKY DRAINAGE. PROVIDE NEW ROOF DRAIN STRAINERS.

BASIS OF DESIGN FOR ROOFING SYSTEMS:

1.

ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL
2.

SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS
3.

SINGLE PLY TPO ROOFING MEMBRANE - FIRESTONE ULTRAPLY FLEX ADHERED ARCHITECTURAL SHINGLE

GENERAL NOTES - RE-ROOF

FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.

1.

INTERIOR WALLS:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
2.

CEILINGS:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
3.

CEILING ABOVE SHOWER ENCLOSURE:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
4.

TRIM AND DOORS:
PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT

ROOFING:

1.

GLASS-FIBER-REINFORCED ASPHALT SHINGLES BEARING A LIMITED LIFETIME WARRANTY SHALL BE INSTALLED OVER A WARRANTABLE ROOF UNDERLAYMENT COVERING FOR THE ENTIRETY OF THE ROOF SLOPE(S) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND AS RECOMMENDED BY THE ARMA'S "RESIDENTIAL ASPHALT ROOFING MANUAL" AND THE NRCA'S "THE NRCA ROOFING AND WATERPROOFING MANUAL." PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE. MUST CONFORM TO ASTM D 7158G (130 MPH) RATING.
2.

UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. DISTORTIONS OF THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET (FROM ICC 2018)
3.

EXTERIOR SHEATHING:
1. WALL SHEATHING WITH INTEGRAL WATER-RESISTIVE BARRIER AND AIR BARRIER.
A. HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
B. SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 7/16" THICK SHEATHING (GREEN IN COLOR).
C. EDGE PROFILE: [SQUARE EDGE] [SELF-SPACING].
D. FACTER: MEDIUM-DENSITY, PHENOLIC-IMPREGNATED SHEET MATERIAL QUALIFYING AS A GRADE D WEATHER-RESISTIVE BARRIER IN ACCORDANCE WITH ICC AC308.
1.

ROOF SHEATHING WITH INTEGRAL ROOF UNDERLAYMENT
A. HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
B. SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 1/2" THICK SHEATHING (RED IN COLOR).
C. EDGE PROFILE: [SQUARE EDGE]

WINDOWS:

1.

ALL BEDROOM WINDOWS TO BE EGRESS SIZED APPROVED BY MANUFACTURER
2.

WINDOWS TO HAVE A U-FACTOR OF EQUAL OR LESS THAN .40 & A SHGC EQUAL OR LESS THAN .25

EXTERIOR FINISHES:

1.

SOFFITS - FIBER-CEMENT SIDING PANELS BEARING A 10-YEAR MATERIAL AND WORKMANSHIP WARRANTY WITH PROFILES AS INDICATED BELOW SHALL BE INSTALLED OVER WEATHER BARRIER AT UNDER SIDE OF EXTERIOR SOFFITS. PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE.
A. PANEL: 48-INCH WIDE SHEETS WITH SMOOTH TEXTURE
2.

WALLS & TRIM - CEMENTITIOUS FIBER BOARD TRIM & SIDING. SIDING TO BE 6" WIDE WITH SMOOTH PATTERN. PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS BEARING A 10-YEAR FINISH WARRANTY SHALL BE INSTALLED AT HORIZONTAL ROOF EDGES AS INDICATED ON THE DRAWINGS. LOCATE DOWNSPOUTS TO ALIGN WITH EXPOSED PILES OR SCREENING SUPPORT FOR ADEQUATE BRACING. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT DISCHARGE LOCATIONS.
4.

SHEET METAL FLASHING AND TRIM: FABRICATE FLASHING AND TRIM TO COMPLY WITH MANUFACTURER'S STANDARD PROCEDURES AND PROCESSES, AS NECESSARY TO FULFILL INDICATED PERFORMANCE REQUIREMENTS DEMONSTRATED BY LABORATORY TESTING. COMPLY WITH INDICATED PROFILES AND WITH DIMENSIONAL REQUIREMENTS.
A. STAINLESS STEEL: 26 GA.
5.

PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
A. INTERIOR WALLS:
A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL).
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
- B.

CEILINGS:
A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
- C.

CEILING ABOVE SHOWER ENCLOSURE:
A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
- D.

TRIM AND DOORS:
A. PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
- E.

FIBER/ENGINEERED WOOD SIDING (PRE-PRIMED FROM FACTORY):
A. 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
B. PREP-CAULK SHALL BE A MINIMUM OF 60 YEAR PAINTABLE SILICONIZED ACRYLIC, NAIL HOLES AND BLEMISHES TO BE FILLED WITH APPROPRIATE WOOD FILLER. APPLY PAINT BY BRUSH, ROLLER, OR SPRAY. SAND BETWEEN COATS AS NECESSARY
6.

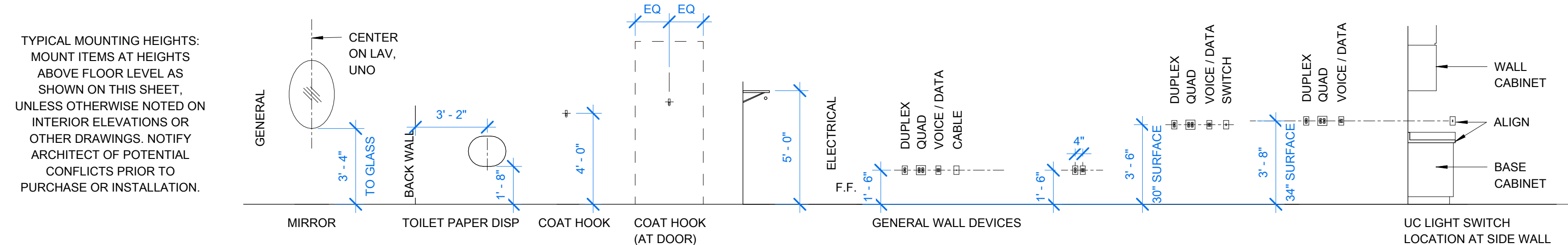
CAULKING, SEALING AND INSULATION
A. SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL). SEAL ALL ROUGH OPENINGS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO APPLYING INTERIOR TRIM.
7.

EXTERIOR PORCH DECKING AND RELATED STAIRS TO BE SEALED WITH A THOMPSONS WATER SEAL OR EQUIVALENT.

GENERAL NOTES - THERMAL ENVELOPE

TYPICAL MOUNTING HEIGHTS:
MOUNT ITEMS AT HEIGHTS ABOVE FLOOR LEVEL AS SHOWN ON THIS SHEET.
UNLESS OTHERWISE NOTED ON INTERIOR ELEVATIONS OR OTHER DRAWINGS, NOTIFY ARCHITECT OF POTENTIAL CONFLICTS PRIOR TO PURCHASE OR INSTALLATION.

MOUNTING HEIGHTS - RESIDENTIAL



MEP

1.

ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR AND SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL PULL ALL PERMITS RELATED TO WORK AND AS REQUIRED BY THE CITY OF NEW ORLEANS.
2.

CONTRACTOR TO VISIT SITE/STRUCTURE WITH OWNER PRIOR TO ACCEPTANCE OF BID TO VERIFY ALL FIELD CONDITIONS AS DEPICTED IN DRAWINGS.
3.

WATER SUPPLY LINE TO EXTERIOR WATER HEATER MUST BE COPPER (AND ANY DISTRIBUTION LINES EXPOSED TO EXTERIOR MUST BE COPPER). WATER LINES WITHIN/ATTACHED TO UNDERSIDE OF STRUCTURE SHALL BE COPPER. EXTEND 3/4" WATER LINE FROM EACH PLUMBING FIXTURE GROUP TO EXISTING MAIN WATER DISTRIBUTION LINE. HOT WATER SUPPLY LINES TO BE 3/4" COPPER.
4.

PRESSURE TEST SYSTEM TO 150 PSI PRIOR TO CLOSE-UP. SECURE ALL WATER LINES & PROTECT FROM INCOMPATIBLE MATERIALS.
5.

SOIL LINES SHALL BE SCHEDULE 40 PVC. SOLVENT WELD ALL JOINTS USING PROPER CLEANER AND GLOUE. PROVIDE HANGERS AS REQUIRED TO PROPERLY SUPPORT LINE RUNS BELOW STRUCTURE. THE MINIMUM SLOPE OF ANY SOIL LINE SHALL BE 1/4" PER FOOT. TEST ALL SOIL LINES WITH 10' HEAD PRESSURE PRIOR TO COVER-UP. PROVIDE CLEAN-OUT (SYMBOL 'CO') AS INDICATED ON PLAN.
6.

FURNISH ALL FITTINGS & ALL ACCESSORIES AS REQUIRED FOR COMPLETE PLUMBING INSTALLATION (SANS FIXTURES). PROVIDE SUPPLY STOPS FOR ALL FIXTURES, DISHWASHERS, AND ICE MAKERS. PROVIDE HEAVY DUTY PVC G-TRAPS AT ALL LAVATORIES AND SINKS. OWNER TO PROVIDE ALL PLUMBING FIXTURES.
7.

PROVIDE NATURAL GAS SERVICE TO WATER HEATER (WHEN UNIT IS GAS FIRED), WASHER/DRYER, AND REAR OF STRUCTURE AS SHOWN ON PLANS (SYMBOL 'GAS'). REFER TO MANUFACTURER'S PRODUCT INFO FOR SIZE OF SERVICE.
8.

PROVIDE BRASS HOSE BIBS AS SHOWN ON PLANS (SYMBOL 'HB').

GENERAL NOTES - PLUMBING SYSTEM

1.

ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (LATEST EDITION), STATE AND PARISH REGULATIONS AND ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE LATEST EDITION AS AMENDED BY THE NATIONAL ELECTRICAL CODE (NFPA-70) AND OTHER APPLICABLE SAFETY CODES AS ENFORCED BY THE SAFETY AND PERMITS OF NEW ORLEANS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 200 EDITION, 2735 BASIC STANDARDS PAGE 47 AND CHAPTER 35 REFERENCE STANDARDS PAGE 48.
2.

ALL MATERIALS SHALL BE NEW AND U.L. APPROVED, UNLESS NOTED OTHERWISE.
3.

ALL WIRING DEVICES SHALL BE OF THE SPECIFICATION GRADE AND BE AS MANUFACTURED BY SIERRA, HUBBELL, LEVITON, SLATER, GENERAL ELECTRIC OR P&S. DEVICE PLATES SHALL BE SIERRA P LINE SMOOTH PLASTIC OR EQUAL. COLOR OF PLATES AND DEVICES SHALL BE OFF-WHITE.
4.

ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND OUTLETS ARE SHOWN APPROXIMATELY ONLY.
5.

CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL NECESSARY DIMENSIONS OR MAKE ACTUAL MEASUREMENTS AT THE JOB SITE.
6.

IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE COMPLETE AND OPERATING ELECTRICAL SYSTEM.
7.

PROVIDE SMOKE DETECTOR INSIDE ALL BEDROOMS (IF APPLICABLE) AND OUTSIDE DOOR IN HALLWAY. PROVIDE SMOKE/CARBON MONOXIDE DETECTOR IN KITCHEN. IF GARAGE IS PRESENT, PROVIDE CARBON MONOXIDE DETECTOR. NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICIACY LAMPS.
8.

GENERAL NOTES - ELECTRICAL SYSTEM

1.

HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR THE ASHRAE HANDBOOK OF FUNDAMENTALS.
2.

INTERIOR DESIGN CONDITIONS FOR HVAC SYSTEM: THE INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72 DEGREES F FOR HEATING AND MINIMUM OF 75 DEGREES F FOR COOL.
3.

HEATING AND COOLING EQUIPMENT SHALL MEET ONE OF THE FOLLOWING EFFICIENCIES:
1. GREATER THAN OR EQUAL TO 95 AFUE NATURAL GAS FURNACE AND 16 SEER AIR CONDITIONER. 15 SEER WHEN COMMERCIAL.
2. GREATER THAN OR EQUAL TO 10 HSPFF/16 SEER AIR SOURCE HEAT PUMP.
3. GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP. FOR MULTIPLE COOLING SYSTEMS, ALL SYSTEMS SHALL MEET OR EXCEED THE MINIMUM EFFICIENCY REQUIREMENTS IN THIS SECTION AND SHALL BE SIZED TO SERVE 100 PERCENT OF THE COOLING DESIGN LOAD. FOR MULTIPLE HEATING SYSTEMS, ALL SYSTEMS SHALL MEET OR EXCEED THE MINIMUM EFFICIENCY REQUIREMENTS IN THIS SECTION AND SHALL BE SIZED TO SERVE 100 PERCENT OF THE HEATING DESIGN LOAD.
4.

DUCT SIZING. DUCTS INSTALLED IN A SINGLE DWELLING UNIT SHALL BE IN ACCORDANCE WITH ACCA MANUAL D OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5.

MECHANICAL COOL SYSTEM DUCTING TO HAVE A MINIMUM R-VALUE OF R8 WHEN LOCATED OUTSIDE OF THE CONDITIONED SPACE. IF LOCATED INSIDE THE CONDITIONED SPACE, DUCT INSULATION TO HAVE A MINIMUM R-VALUE OF R6.
6.

MECHANICAL DUCTING MAXIMUM HORIZONTAL SAG TO BE MAXIMUM 1/2" PER FOOT
7.

HVAC SUPPLY AND RETURN REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING, OR CEILING PENETRATED BY THE BOOT.
8.

MECHANICAL EXHAUST RATES FOR BATHROOMS SHALL BE 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS.
9.

PROVIDE TRUE 7-DAY PROGRAMMABLE THERMOSTATS THAT ARE CAPABLE OF AUTOMATIC ON/OFF CYCLING.
10.

WHEN COOLING, THE SUPPLY OF HEATING AND COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE. WHERE HUMIDIFICATION OR DEHUMIDIFICATION OR BOTH IS PROVIDED, NOT FEWER THAN ONE HUMIDITY CONTROL DEVICE SHALL BE PROVIDED FOR EACH HUMIDITY CONTROL SYSTEM. WHERE COOLING IS PROVIDED, THE SYSTEM SHALL BE CAPABLE OF LIMITING RELATIVE HUMIDITY LEVELS TO 60% RELATIVE HUMIDITY. SUPPLEMENTAL DEHUMIDIFICATION EQUIPMENT MAY BE USED TO MEET THIS REQUIREMENT.

MECHANICAL EQUIPMENT EXTERIOR LOCATION GUIDELINES:

1.

GROUND-BASED OR WALL-MOUNTED MECHANICAL EQUIPMENT (WITH LESS THAN 7 FEET OF VERTICAL CLEARANCE) INCLUDING, BUT NOT LIMITED TO, HEATING, VENTILATING, GEOTHERMAL ENERGY, AND AIR-CONDITIONING (HVAC) UNITS, SWIMMING POOL EQUIPMENT, AND BACK-UP ELECTRICAL GENERATORS, MAY BE LOCATED IN AN INTERIOR SIDE OR REAR YARD AND SHALL BE LOCATED AT LEAST TWO (2) FEET FROM THE INTERIOR SIDE OR REAR PROPERTY LINE. THIS TWO (2) FOOT DISTANCE SHALL REMAIN OPEN TO THE SKY.
2.

WALL-MOUNTED MECHANICAL EQUIPMENT, WITH 7 FEET OR GREATER OF VERTICAL CLEARANCE, MAY BE LOCATED IN AN INTERIOR SIDE OR REAR YARD AND SHALL BE AT LEAST 18 INCHES FROM THE PROPERTY LINE.
3.

GROUND-BASED MECHANICAL EQUIPMENT IS PROHIBITED IN A FRONT OR CORNER SIDE YARD. MECHANICAL EQUIPMENT SETBACKS IN THIS SECTION ONLY APPLY TO MECHANICAL EQUIPMENT IN REQUIRED INTERIOR AND REAR YARDS AND DO NOT APPLY IF THERE ARE NO YARD REQUIREMENTS.
4.

HOWEVER, ANY EXISTING GROUND-BASED MECHANICAL EQUIPMENT THAT DOES NOT COMPLY WITH THE LOCATION REQUIREMENTS AS OF THE DATE OF ADOPTION OF THIS ORDINANCE IS CONSIDERED LEGALLY CONFORMING AND MAY BE REPLACED AND REPAIRED.
5.

ALL APPROVED GROUND-BASED MECHANICAL EQUIPMENT, INCLUDING, BUT NOT LIMITED TO HVAC UNITS, SHALL BE SCREENED WHEN READILY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY, EXCLUDING ALLEYS. SCREENING MATERIALS MAY BE MASONRY, WOOD, OR LANDSCAPE, AND SHALL EFFECTIVELY SCREEN MECHANICAL EQUIPMENT SO NO PORTION IS READILY VISIBLE FROM THAT PUBLIC RIGHT-OF-WAY. COLOR AND TEXTURE OF A MASONRY WALL SHALL BE COMPATIBLE WITH THE COLOR AND TEXTURE OF THE PRINCIPAL BUILDING ON THE SITE. IF GROUND-BASED MECHANICAL EQUIPMENT IS SCREENED BY AN EXISTING STRUCTURE, FENCE OR LANDSCAPE, SUCH THAT IT IS NOT READILY VISIBLE FROM THAT PUBLIC RIGHT-OF-WAY, IT WILL BE CONSIDERED TO HAVE MET THESE REQUIREMENTS.
6.

GROUND-BASED MECHANICAL EQUIPMENT SHALL BE CONSTRUCTED ABOVE BASE FLOOR ELEVATION (BFE), WHEN APPLICABLE. IF THE EQUIPMENT WOULD BE CONSTRUCTED SO THAT IT WILL BE HIGHER THAN A FENCE IN THE INTERIOR SIDE YARD, IT MAY NOT BE LOCATED WITHIN THE INTERIOR SIDE YARD.
7.

ANY ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SET BACK AT LEAST SIX (6) FEET FROM ANY WALL OF THE BUILDING TO PERMIT SAFE ACCESS TO THE ROOF AND SHALL NOT BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY.

GENERAL NOTES - MECHANICAL SYSTEMS

1.

CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES AND FIXTURES. RE: EQUIPMENT PLAN & MECHANICAL SYSTEMS.
2.

ALL MOUNTING HEIGHTS AND LOCATIONS TO BE VERIFIED IN FIELD BY ARCHITECT PRIOR TO IN-WALL BLOCKING INSTALLATION.
3.

TYPICAL: WALL MOUNTED TOILET ACCESSORIES ARE INTENDED TO ALIGN WITH TILE JOINTS WHERE POSSIBLE. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
4.

REFER TO INTERIOR ELEVATIONS & EQUIPMENT PLANS FOR WALL MOUNTED ACCESSORIES AND FIXTURES NOT INCLUDED IN PLAN.
5.

REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION TAGS, DETAIL TAGS, INTERIOR ELEVATION TAGS AND SPECIFIC NOTES IF NOT VISIBLE TO PRIMARY SCALED PLANS.
6.

REFER TO ENLARGED EQUIPMENT PLANS AND EQUIPMENT SCHEDULE FOR ITEMS THAT ARE OWNER FURNISHED AND OWNER INSTALLED VERSUS ITEMS WHICH WILL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED. THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE AND REQUIRED PLUMBING AND ELECTRICAL SERVICES FOR SUCH ITEMS. THE GENERAL CONTRACTOR SHALL COORDINATE THESE ITEMS AND THEIR DELIVERY TO THE SITE WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES - EQUIPMENT

GENERAL NOTES - PROJECT

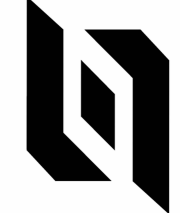
OWNER PRICING	
Date	07/14/25

T1.2

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX

1530 Broadway Ave.
New Orleans LA, 70118

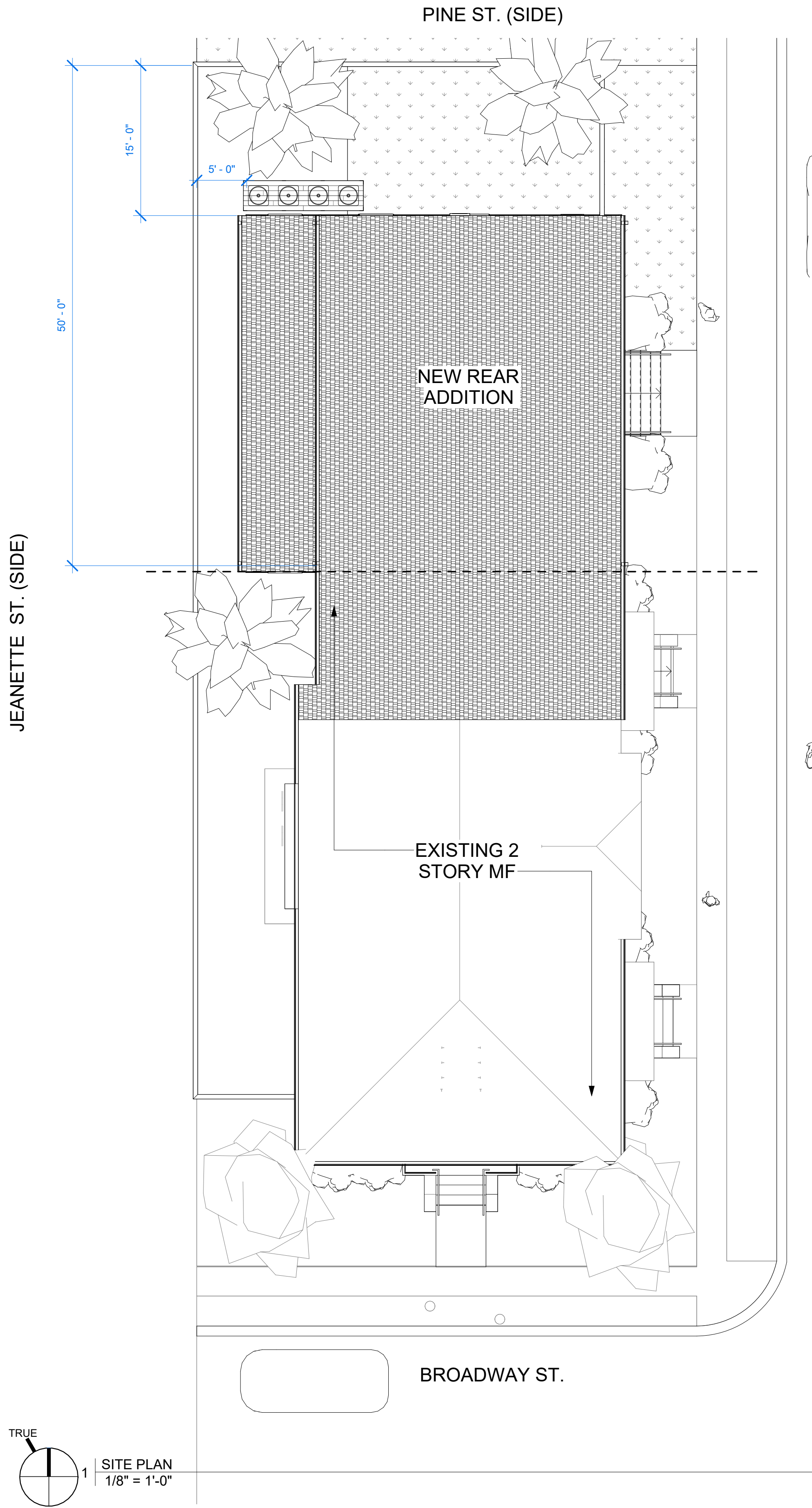
ZACH SMITH
CONSULTING & DESIGN



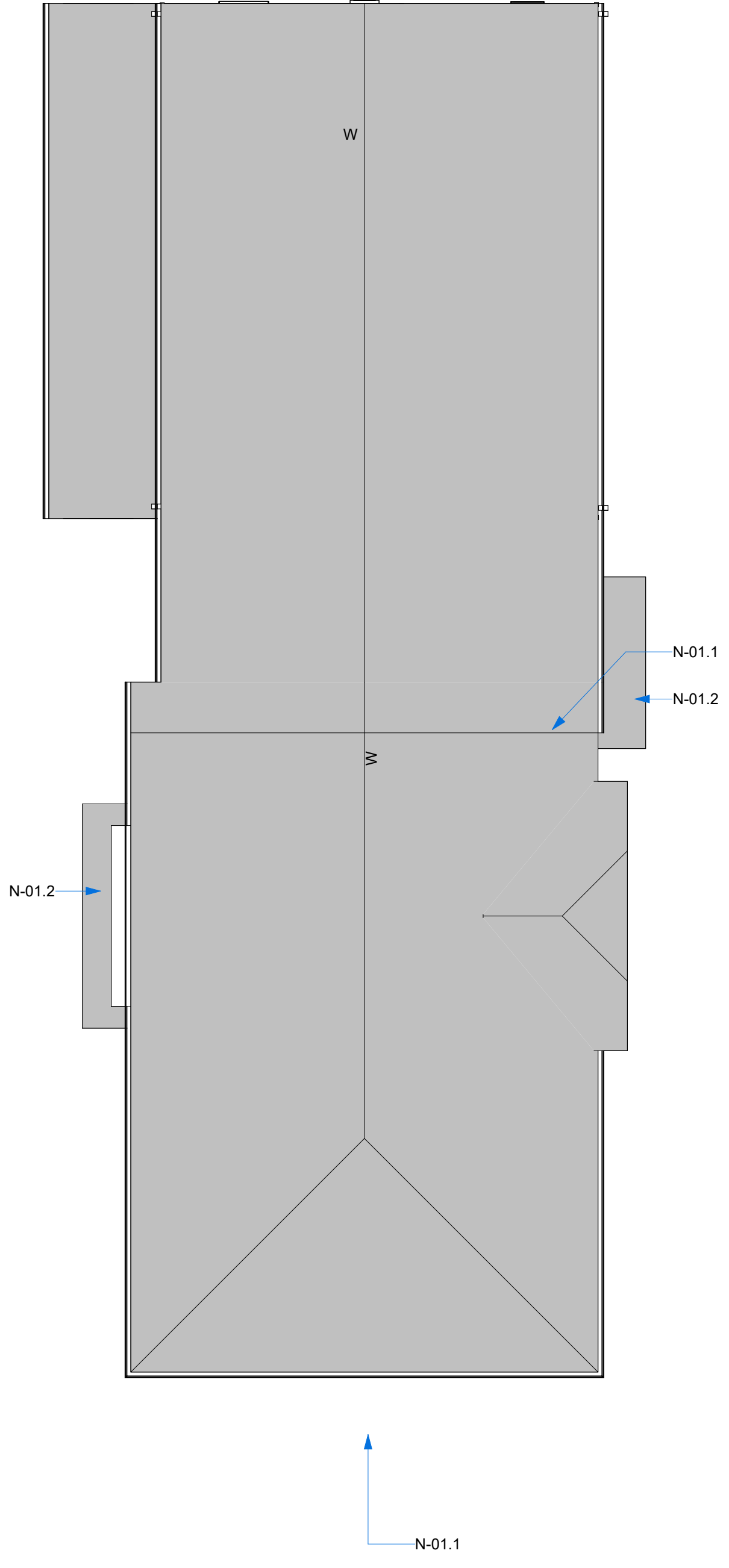
1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

NOT FOR
CONSTRUCTION

Autodesk Docs://1530 Broadway St/1530 Broadway ST_OCS.rvt
7/14/2025 11:53:01 AM



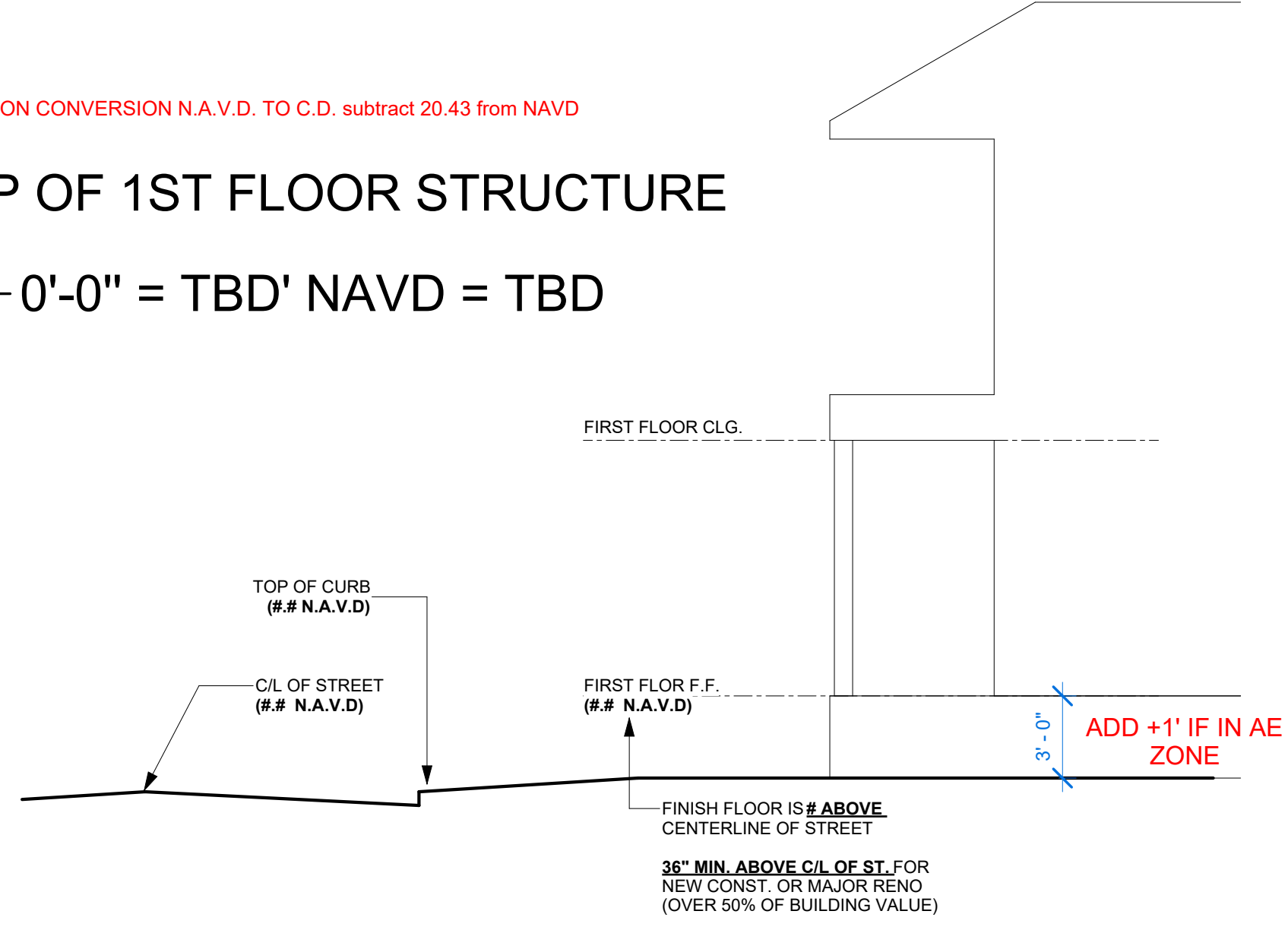
BIRCH ST.



ELEVATION CONVERSION N.A.V.D. TO C.D. subtract 20.43 from NAVD

TOP OF 1ST FLOOR STRUCTURE

0'-0" = TBD' NAVD = TBD



2 | BASE FLOOD ELEVATION - SITE SECTION
3/16" = 1'-0"

- CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
FIELD VERIFY SIZE AND LOCATION OF ALL MECHANICAL UNITS, ROOF CURBS, ROOF DRAINS, SCUPPERS, SKYLIGHTS AS WELL AS ANY AND ALL OTHER PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
- LOCATIONS OF NEW ROOFING AND CRICKETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
COORDINATE LOCATION AND QUANTITY OF DOWNSPOUTS, ROOF DRAINS AND OVERFLOW SCUPPERS.
-

BASIS OF DESIGN FOR ROOFING SYSTEMS:
ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL
SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS
SINGLE PLY TPO ROOFING MEMBRANE - FIRESTONE ULTRAPLY FLEX ADHERED
ARCHITECTURAL SHINGLE

GENERAL NOTES - ROOF

- ROOF DEMO NOTES:
- REMOVE EXISTING ROOF AND ICE/WATER SHIELD (IF PRESENT) DOWN TO ROOF SHEATHING.
 - INSPECT CONDITION OF ROOF SHEATHING. IF GAPS ARE PRESENT OR SHEATHING IS IN A STATE OF FAILURE; REPLACE WITH 5/8" TONGUE AND GROOVE ROOF DECKING, ALTERNATIVELY CLAD OVER WITH MIN 3/8" DECKING TO CREATE A SOLID SUBSTRATE

- HAZARDOUS MATERIALS:
- ALL DEMOLITION WORK IS TO BE PERFORMED IN ACCORDANCE WITH AN APPROVED ASBESTOS WORK PLAN FROM THE STATE OF LOUISIANA & OSHA SAFETY REQUIREMENTS.
 - CURRENT AREA(S) HAVE NOT BEEN TESTED AND HAVE NOT BEEN IDENTIFIED FOR ABATEMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO TEST FOR HAZARDOUS MATERIALS AND REPORT TO THE OWNER IF ANYTHING IS 'HOT'.

- NEW ROOF NOTES:
- CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
 - THE REPLACEMENT OF THE ROOF SHALL BE CONDUCTED IN SUCH A MANNER AS TO PROTECT THE EXISTING BUILDING AND ALL OF ITS CONTENTS IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED DURING THE PERFORMANCE OF THEIR CONTRACTED WORK.
 - FIELD VERIFY SIZE AND LOCATION OF ALL EXISTING ROOF PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
 - LOCATIONS OF NEW ROOFING AND CRICKETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
 - FIELD VERIFY LOCATION AND QUANTITY OF EXISTING DOWNSPOUTS AND ROOF DRAINS. PROVIDE DOWN SPOUTS AT ALL EXISTING LOCATIONS AND AT ALL OVERFLOW SCUPPERS.
 - CONFIRM THAT ALL ROOF DRAINS ARE IN WORKING ORDER AND DRAINING AT AN APPROPRIATE FLOW RATE. REPAIR AND CLEAR ANY OBSTRUCTED, DAMAGED OR LEAKY DRAINAGE. PROVIDE NEW ROOF DRAIN STRAINERS.

BASIS OF DESIGN FOR ROOFING SYSTEMS:
ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL
SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS
SINGLE PLY TPO ROOFING MEMBRANE - FIRESTONE ULTRAPLY FLEX ADHERED
ARCHITECTURAL SHINGLE

GENERAL NOTES - RE-ROOF

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.1	NEW ASPHALT SHINGLE ROOF OVER EXISTING ROOF DECK. PROVIDE WEATHER BARRIER OVER TOP OF SHEATHING AND SPRAY INSULATION AT RAFTERS. PROVIDE LOW PROFILE THERMOSTATIC ATTIC VENTS OR RIDGE/SOFFIT VENTS TYP.
N-01.2	NEW LOW SLOPE ROOF WITH SELF HEALING / ADHERING MEMBRANE (ICE AND WATER SHIELD) OVER EXISTING ROOF DECK, OR ON NEW SHEATHING AT NEW WORK, TYP.

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX

1530 Broadway Ave.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

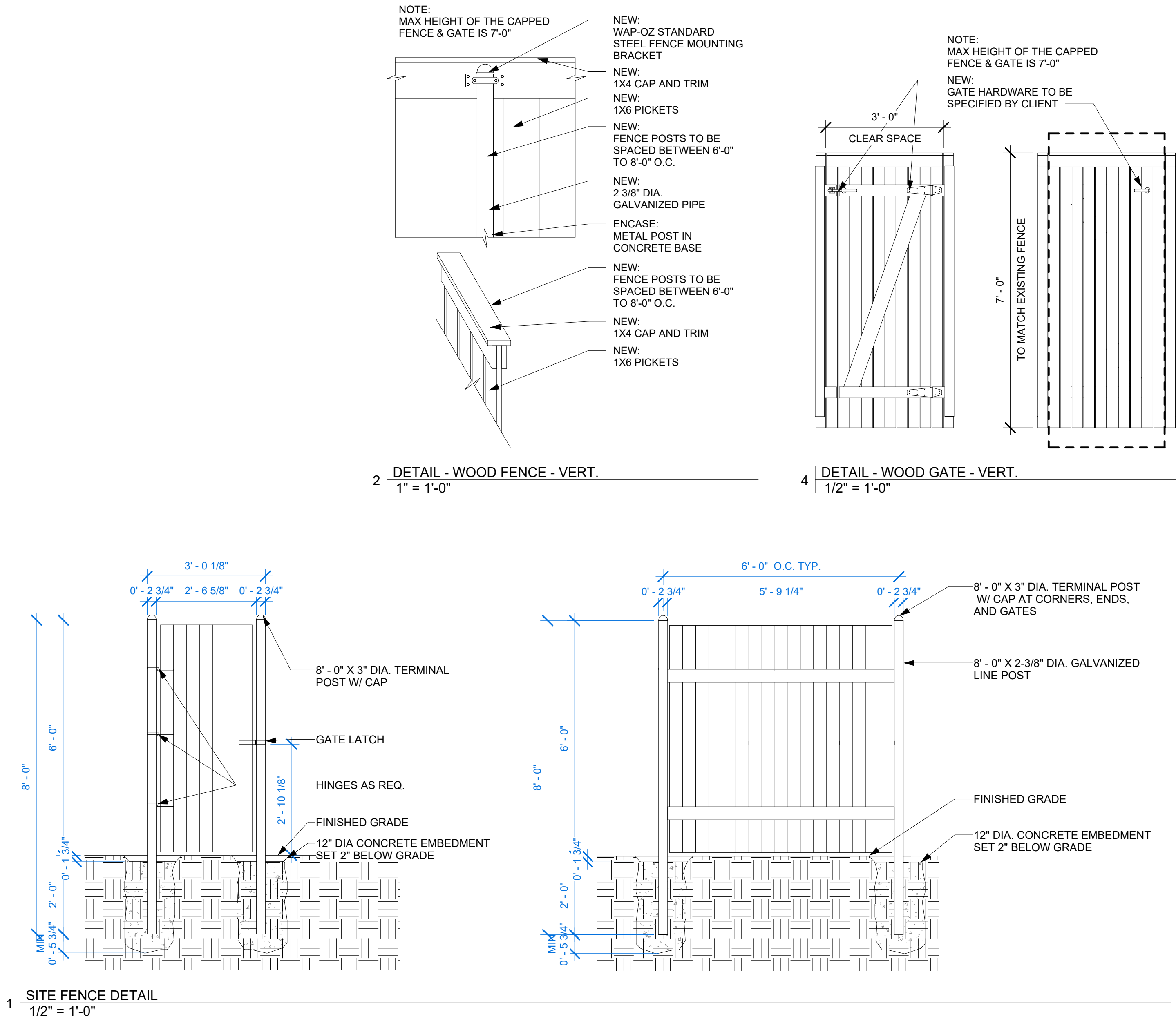
SITE / ROOF PLAN

OWNER PRICING	
Date	07/14/25

A1.1

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748



SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

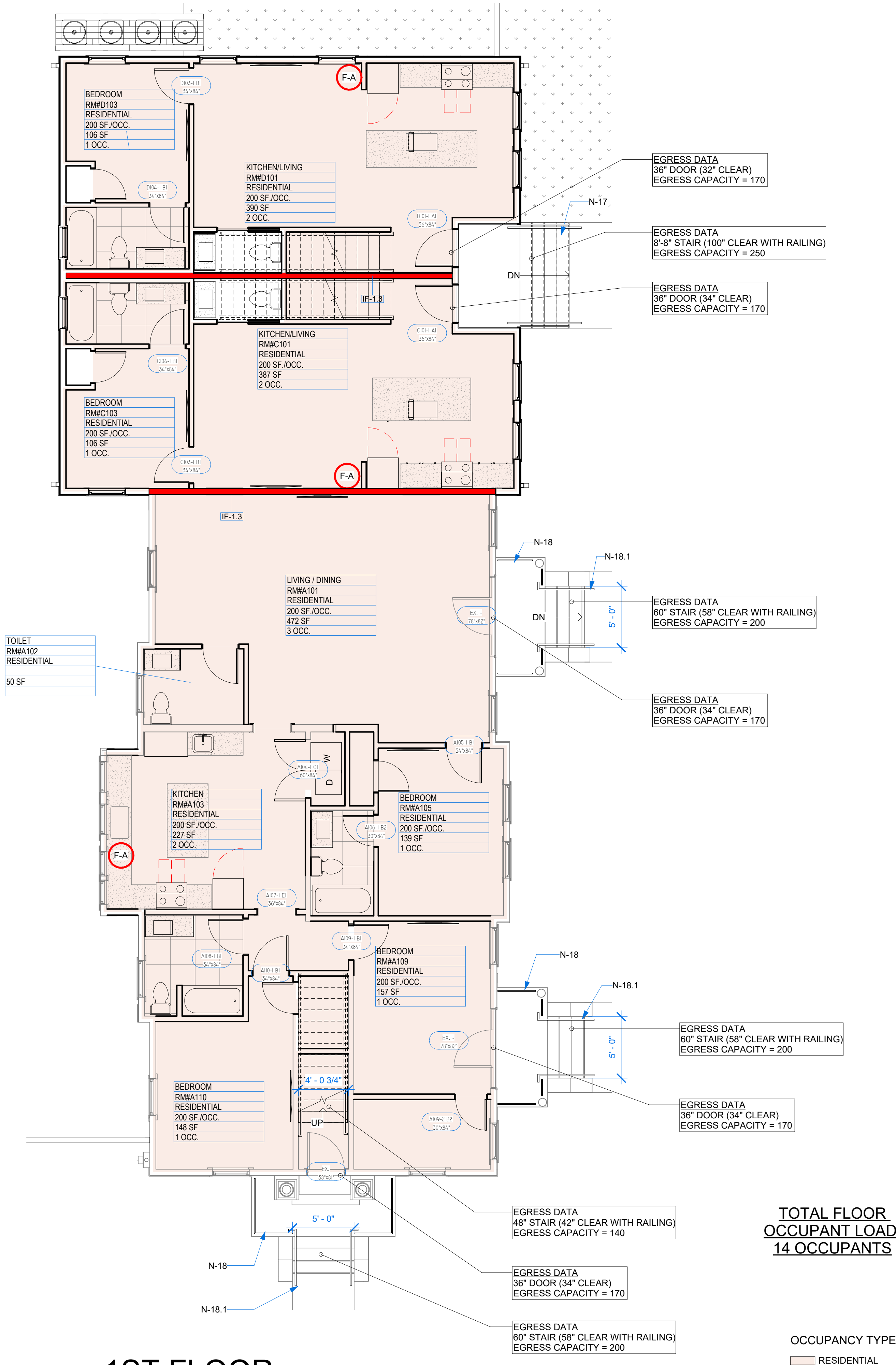
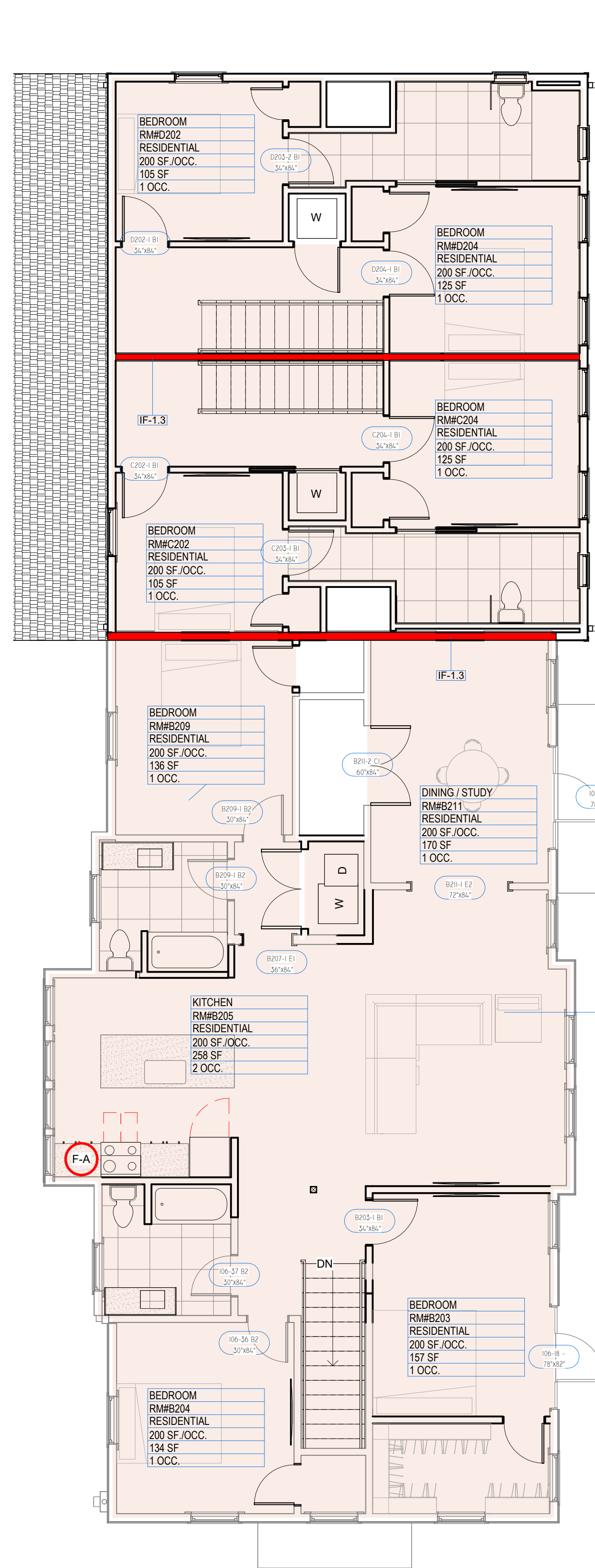
No.	Description	Date

NOT FOR
CONSTRUCTION

OWNER PRICING	
Date	07/14/25

2ND FLOOR

2 2ND FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



1ST FLOOR

1 1ST FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text

KEYNOTES - SHEET	
Key Value	Keynote Text

1 HOUR RATED WALL ASSEMBLY (IF-1.3)

UL Des U327	50	BBN-760903	A-62
-------------	----	------------	------

1 HOUR RATED SHAFT ASSEMBLY (UNDER STAIR)

1 Hour Fire-Rated Construction	Non-Loadbearing	Acoustical Performance	Reference
Construction Detail	Description	STC / Test Number	Index
UL Des U415, System A or U469	5/8" Sheetrock Firecode Core gypsum panels, joints finished 2 x 4 wood stud 16" or 24" o.c. 3" Tieswires SAFB RC-1 channel or equivalent one side joints finished	39	USG-040901 Based on 4" C-H studs 25 gauge

1 HOUR RATED FLOOR CEILING ASSEMBLY (BETWEEN UNITS A & B)

1 Hour Fire-Rated Construction	Dimensional Lumber	Acoustical Performance	Reference
Construction Detail	Description	STC / Test Number	Index
UL Des U415, System A or U469	Two layers 5/8" Sheetrock Firecode Core gypsum panels, joints finished 2 x 10 wood joists 24" o.c. face layer joints finished floor: 1/2" plywood with extending grain Also for roof ceilings, including trusses	39	USG-040901 Based on 4" C-H studs 25 gauge

NFPA LEGEND

1 HOUR FIRE RATED PARTITION	EXIT	EXIT TO EGRESS STAIR
EMERGENCY DIRECTIONAL LIGHT. RE: ELECTRICAL DRAWINGS	TRAVEL DISTANCE	PROPERTY LINE
DOOR & FRAME FIRE RATING RE: DOOR SCHEDULE	20 MIN	
FIRE EXTINGUISHERS		

PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS: TYPE, SIZE, AND CAPACITY FOR EACH INDICATED:

CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER

CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE & OIL

OCCUPANCY ROOM TAG LEGEND

NAME OF ROOM OR SPACE	RM. NAME
ROOM NUMBER	RM. #
AREA CLASSIFICATION	OCCUPANCY
ALLOWED SF PER OCCUPANT	SF PER OCC
SF OF ROOM	RM SF.
TOTAL OCCUPANTS OF ROOM	# OF OCC.

1. PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS: CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE AND OIL CLASS C EXTINGUISHERS ARE SUITABLE FOR USE ONLY ON ELECTRICALLY ENERGIZED FIRES CLASS D EXTINGUISHERS ARE DESIGNED FOR USE ON FLAMMABLE METALS

GENERAL NOTES - FIRE EXTINGUISHERS

- U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (LAC 17.4.4.5), (MIN. 2A-10B-C).
- INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC SECTION 903.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
- INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC SECTION 804.1, 804.4.1, AND 804.2.
- EMERGENCY LIGHTING SHALL BE PROVIDED AS PER NFPA 101 SECTION 7.9.
- DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 7.10.
- FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6.
- FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.
- AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.

GENERAL NOTES - LIFE SAFETY

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

ZACH SMITH
CONSULTING & DESIGN
1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

LIFE SAFETY

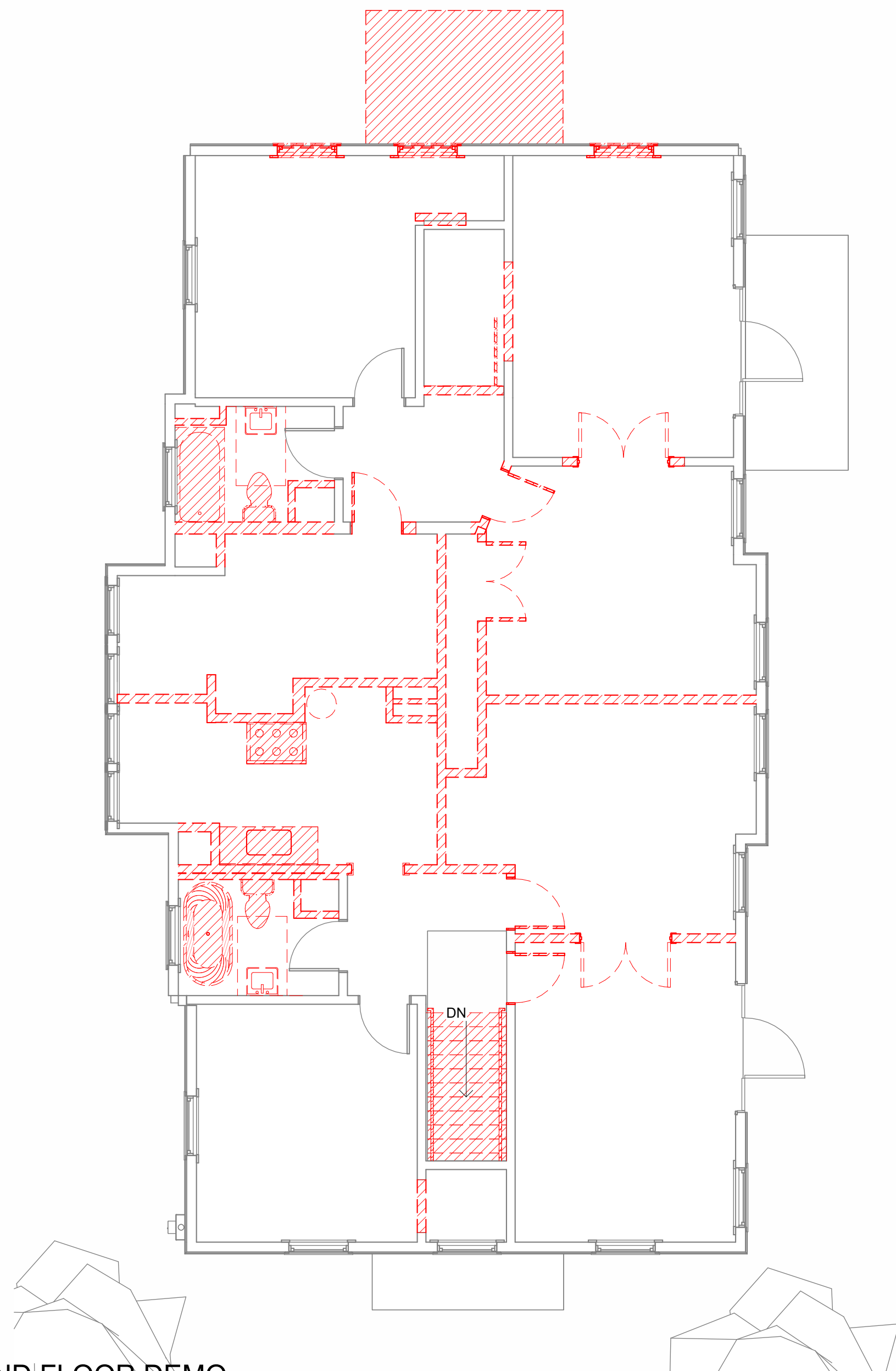
OWNER PRICING	
Date	07/14/25

LS1.1

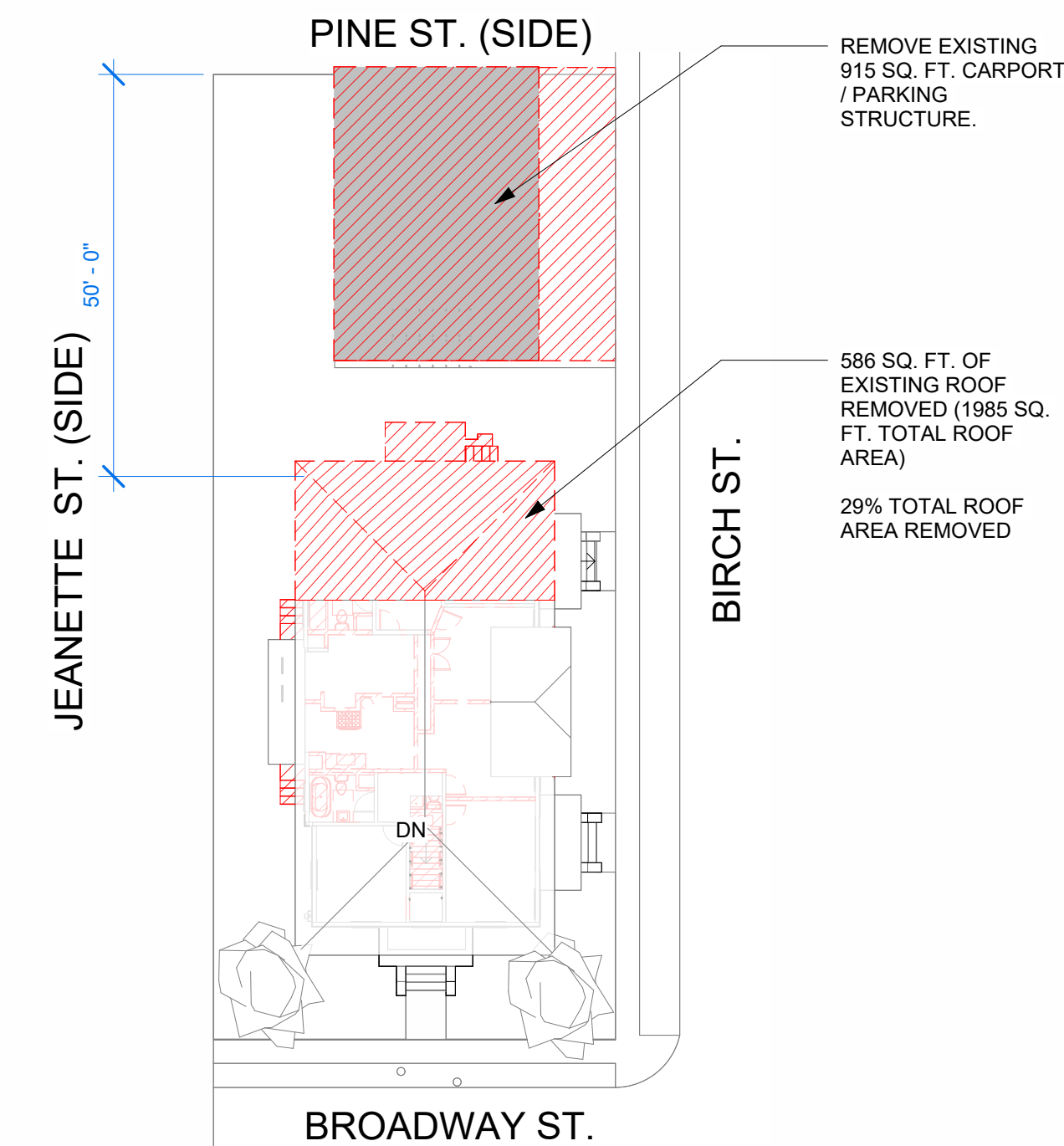
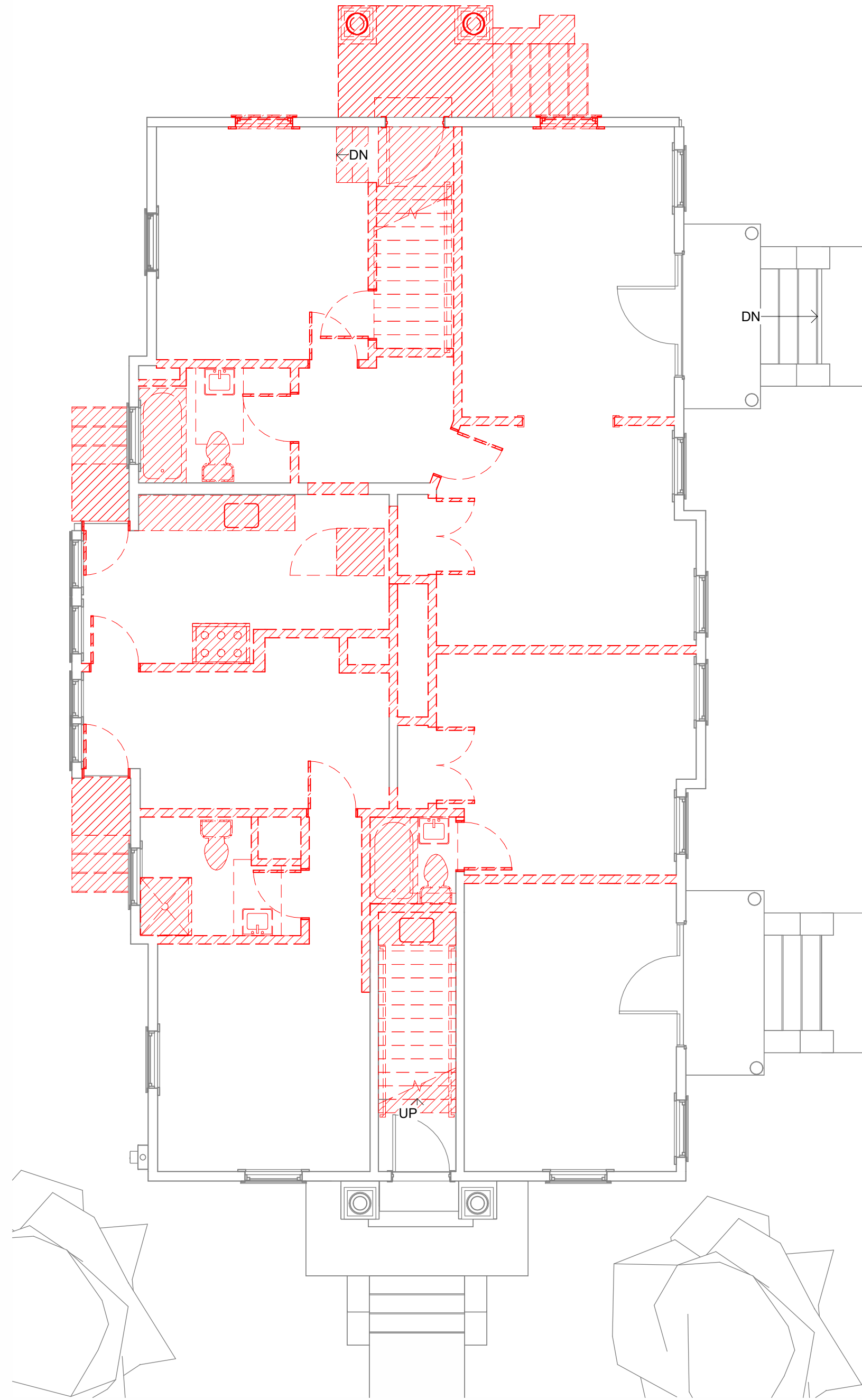
NOT FOR CONSTRUCTION

Autodesk Docs://1530 Broadway SV/1530 Broadway ST_OCS.rvt
7/14/2025 11:53:14 AM

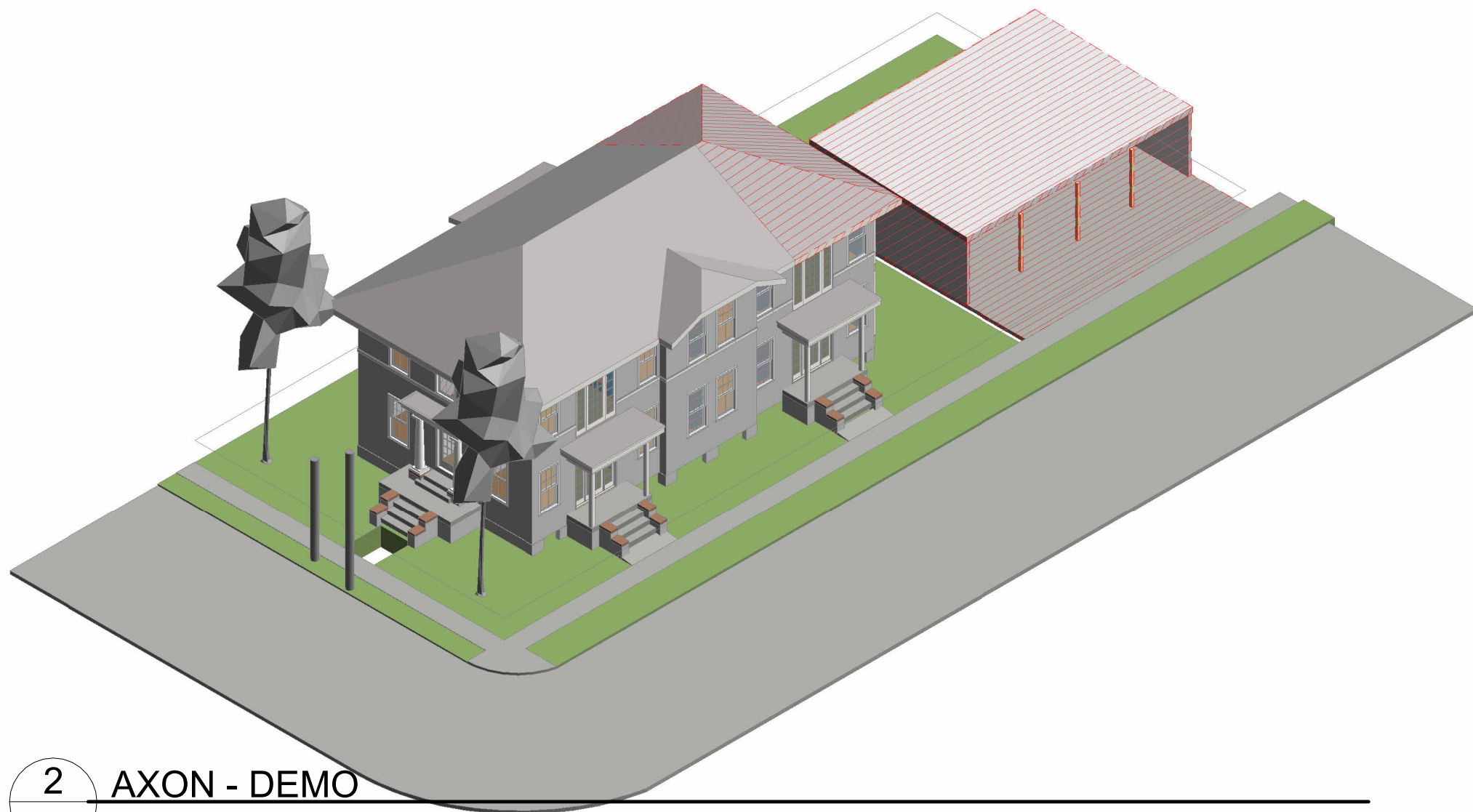
3 2ND FLOOR DEMO
D2.1 3/16" = 1'-0"



1 1ST FLOOR DEMO
D2.1 3/16" = 1'-0"



4 SITE PLAN - DEMO
1" = 20'-0"



2 AXON - DEMO
D2.1

KEYNOTES - SHEET	
Key Value	Keynote Text

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD, CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
- CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDINATE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER, PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO

DEMOLITION CALCULATIONS

NOTE: TOTAL DEMO AT FRONT NOT TO EXCEED 25%:
TOTAL FACADE: 742 SQ. FT.
DEMO FRONT: 30 SQ. FT. (5%)

NOTE: TOTAL STRUCTURAL DEMO AT SIDES/REAR NOT TO EXCEED 50%.

TOTAL FACADE (SIDES & REAR): 1230 + 1230 + 742 = 3,202

DEMO REAR (NORTH) DEMO: 245 SQ. FT.

DEMO SIDE 1 (EAST) DEMO: 52

DEMO SIDE2 (WEST) DEMO: 52

TOTAL DEMO (SIDES AND REAR): 349 (10.8%)

ANY STRUCTURAL MEMBER SHOWING AGGREGATE SECTION LOSS OF 25% OR LESS MAY BE SISTERED WITH REPAIR MEMBER.

ANY MEMBER SHOWING BEYOND 25% AGGREGATE SECTIONS LOSS TO BE REPLACED IN KIND.

NOTE: CONTRACTOR TO NOTIFY ARCHITECT / HDLC IF ANY DEMOLITION IS REQUIRED BEYOND WHAT IS SHOWN IN PLANS/ELEVATIONS. MAX DEMO AT ROOF STRUCTURE 49%, MAX DEMO AT FRONT 25%.

(EL CONTRATISTA DEBE DE NOTIFICAR EL ARQUITECTO SI UNA DEMOLICION ES NECESARIO MAS ALLA DE LO QUE SE MUESTRAN EN ESTOS DIBUJOS)



NO WORK THIS AREA



DEMOLITION TAG, RE: SPECIFIC DEMOLITION NOTES.



EXISTING ELEMENT TO BE REMOVED



EXISTING DOOR AND FRAME TO BE DEMOLISHED. DOOR AND HARDWARE TO BE TURNED OVER TO OWNER.

LEGEND - DEMO

No.	Description	Date

EXISTING / DEMO PLAN

OWNER PRICING	
Date	07/14/25

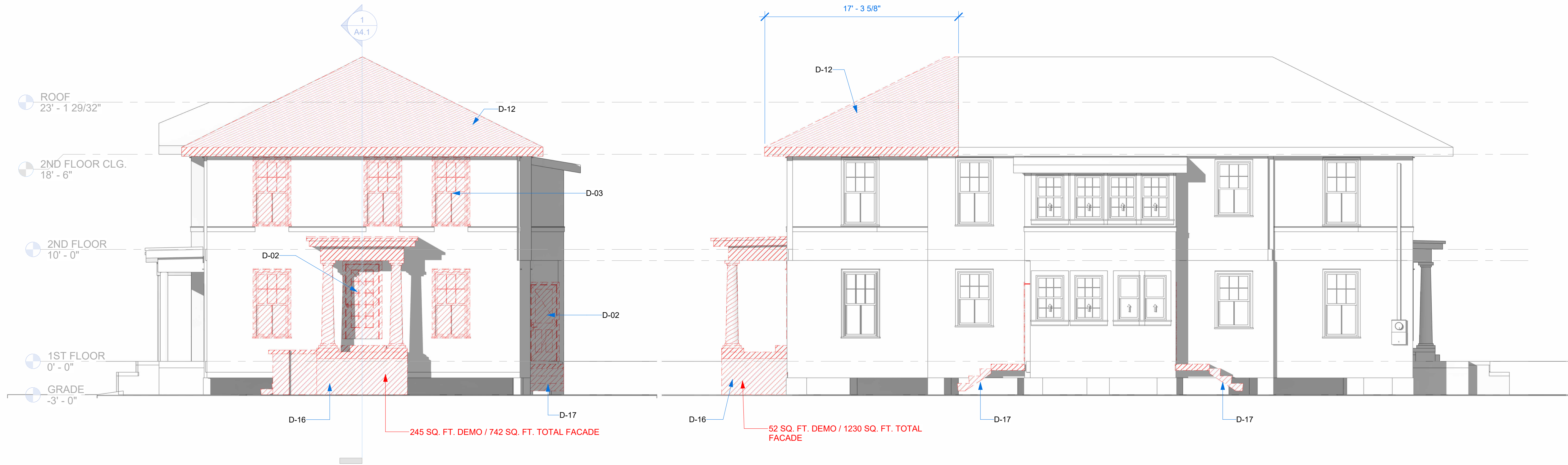
D2.1

Autodesk Docs://1530 Broadway St/1530 Broadway St_OCS.rvt
7/14/2025 11:53:26 AM



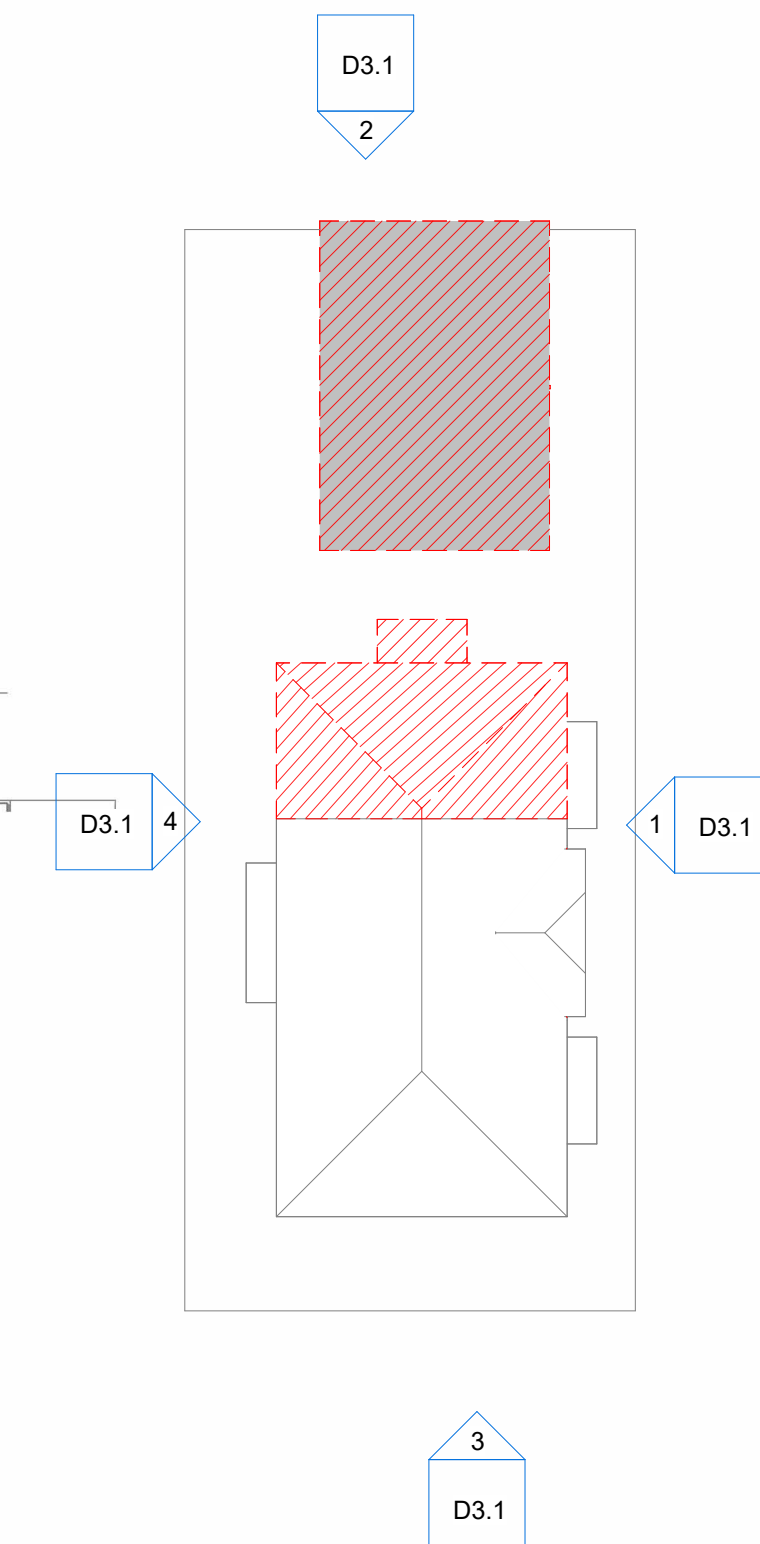
3 | SOUTH ELEVATION - DEMO
3/16" = 1'-0"

1 | EAST ELEVATION - DEMO
3/16" = 1'-0"



2 | NORTH ELEVATION - DEMO
3/16" = 1'-0"

4 | WEST ELEVATION - DEMO
3/16" = 1'-0"



KEY PLAN - ELEVATION - DEMO

KEYNOTES - SHEET	
Key Value	Keynote Text
D-02	DEMO DOOR AT THIS LOCATION AS REQ'D FOR NEW CONSTRUCTION. RE: NEW WORK PLANS.
D-03	DEMO WINDOW AT THIS LOCATION AS REQ'D FOR NEW CONSTRUCTION. RE: NEW WORK PLANS.
D-12	HATCH INDICATES ROOF REMOVAL THIS AREA.
D-15	REMOVE EXISTING ACCESSORY STRUCTURE AND FOUNDATION.
D-16	REMOVE EXISTING REAR PORCH/ROOF/FOUNDATION THIS AREA.
D-17	REMOVE EXISTING STEPS THIS AREA.

DEMOLITION CALCULATIONS
NOTE: TOTAL DEMO AT FRONT NOT TO EXCEED 25%: TOTAL FACADE: 742 SQ. FT. DEMO FRONT: 30 SQ. FT. (5%)
NOTE: TOTAL STRUCTURAL DEMO AT SIDES/REAR NOT TO EXCEED 50%. TOTAL FACADE (SIDES & REAR): 1230 + 1230 + 742 = 3,202
DEMO REAR (NORTH) DEMO: 245 SQ. FT. DEMO SIDE 1 (EAST) DEMO: 52 DEMO SIDE 2 (WEST) DEMO: 52
TOTAL DEMO (SIDES AND REAR): 349 (10.8%)
ANY STRUCTURAL MEMBER SHOWING AGGREGATE SECTION LOSS OF 25% OR LESS MAY BE SISTERED WITH REPAIR MEMBER.
ANY MEMBER SHOWING BEYOND 25% AGGREGATE SECTIONS LOSS TO BE REPLACED IN KIND.
NOTE: CONTRACTOR TO NOTIFY ARCHITECT / HDLC IF ANY DEMOLITION IS REQUIRED BEYOND WHAT IS SHOWN IN PLANS/ELEVATIONS. MAX DEMO AT ROOF STRUCTURE 49%. MAX DEMO AT FRONT 25%.
(EL CONTRATISTA DEBE DE NOTIFICAR EL ARQUITECTO SI UNA DEMOLICION ES NECESARIO MAS ALLA DE LO QUE SE MUESTRAN EN ESTOS DIBUJOS)

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

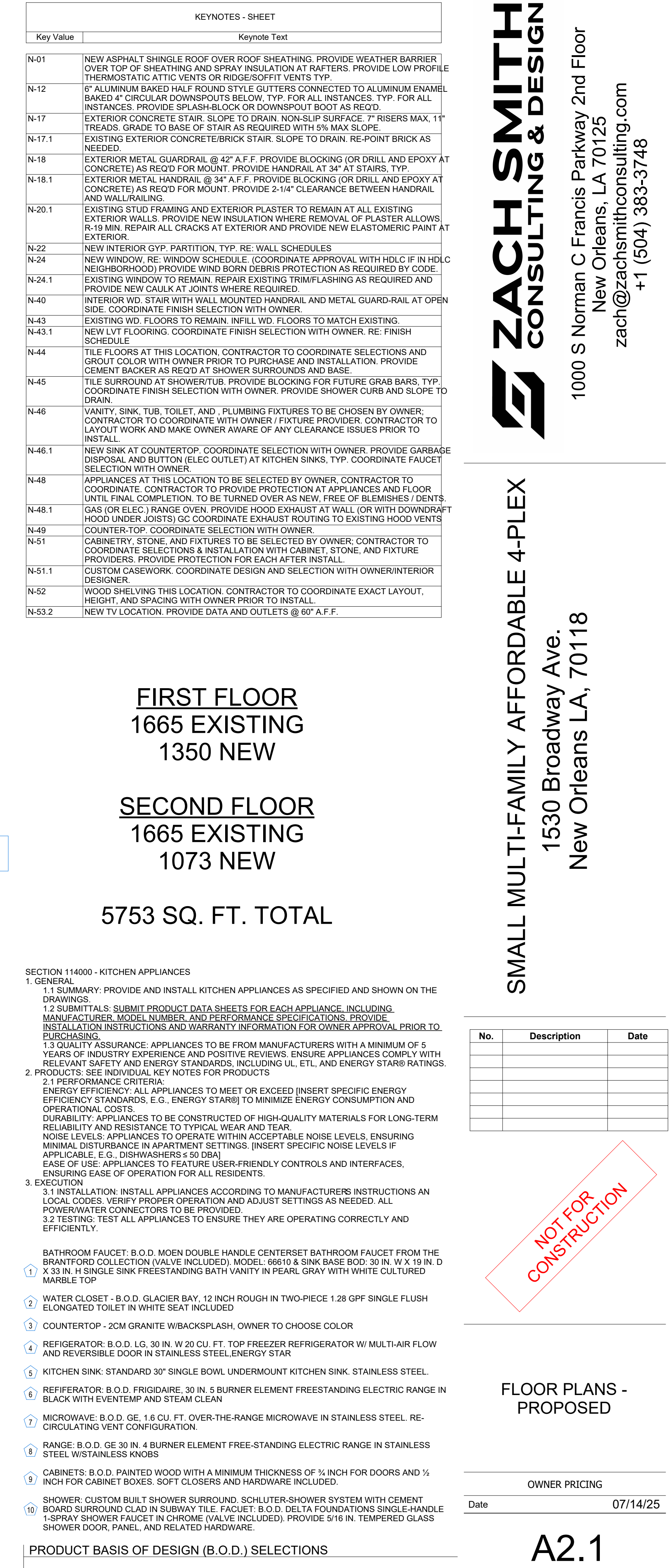
No.	Description	Date

NOT FOR
CONSTRUCTION

EXISTING / DEMO
ELEVATIONS

OWNER PRICING	
Date	07/14/25

D3.1

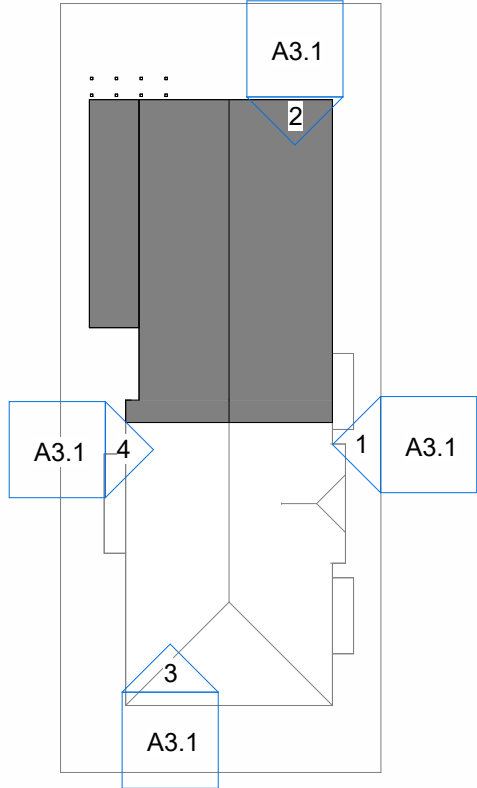




6 | 3D AXON 1

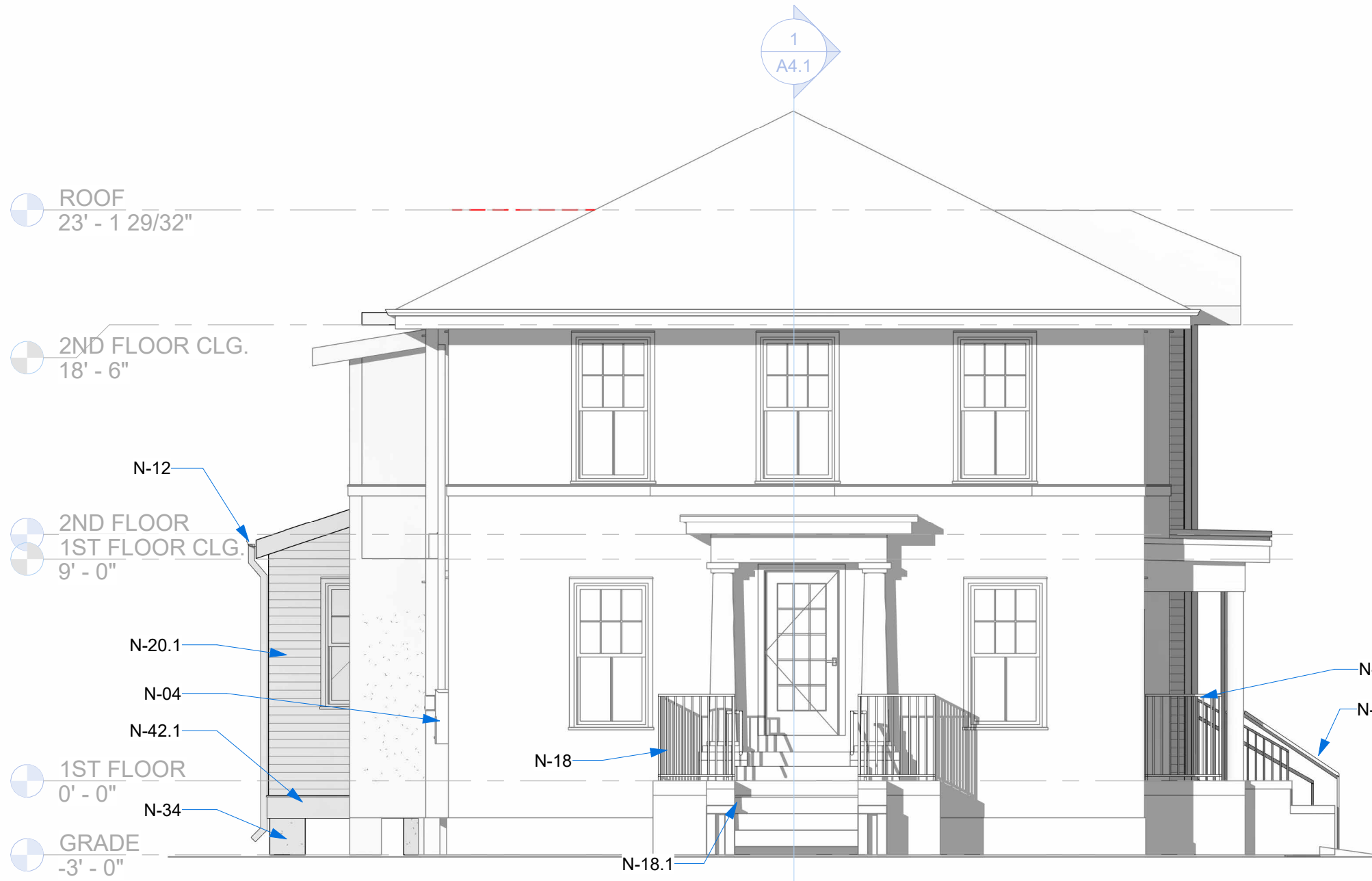
7 | 3D AXON 2

KEYNOTES - SHEET	
Key Value	Keynote Text
N-20.1	EXISTING STUD FRAMING AND EXTERIOR PLASTER TO REMAIN AT ALL EXISTING EXTERIOR WALLS. PROVIDE NEW INSULATION WHERE REMOVAL OF PLASTER ALLOWS. R-19 MIN. REPAIR ALL CRACKS AT EXTERIOR AND PROVIDE NEW ELASTOMERIC PAINT AT EXTERIOR.
N-23	NEW WOOD CLAD BEAM W/ TREATED FURRING AS REQ'D. HURRICANE CLIPS AT STRUCTURAL CONNECTIONS. TYP. RE: STRUCT.
N-24	NEW WINDOW, RE: WINDOW SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD) PROVIDE WIND BORN DEBRIS PROTECTION AS REQUIRED BY CODE.
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS. TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLC IF REQ'D)
N-42	HARDIE TRIM AT CORNERS / TRANSITIONS. TYP.
N-42.1	TREATED WD. SKIRT BOARD WITH METAL DRIP.

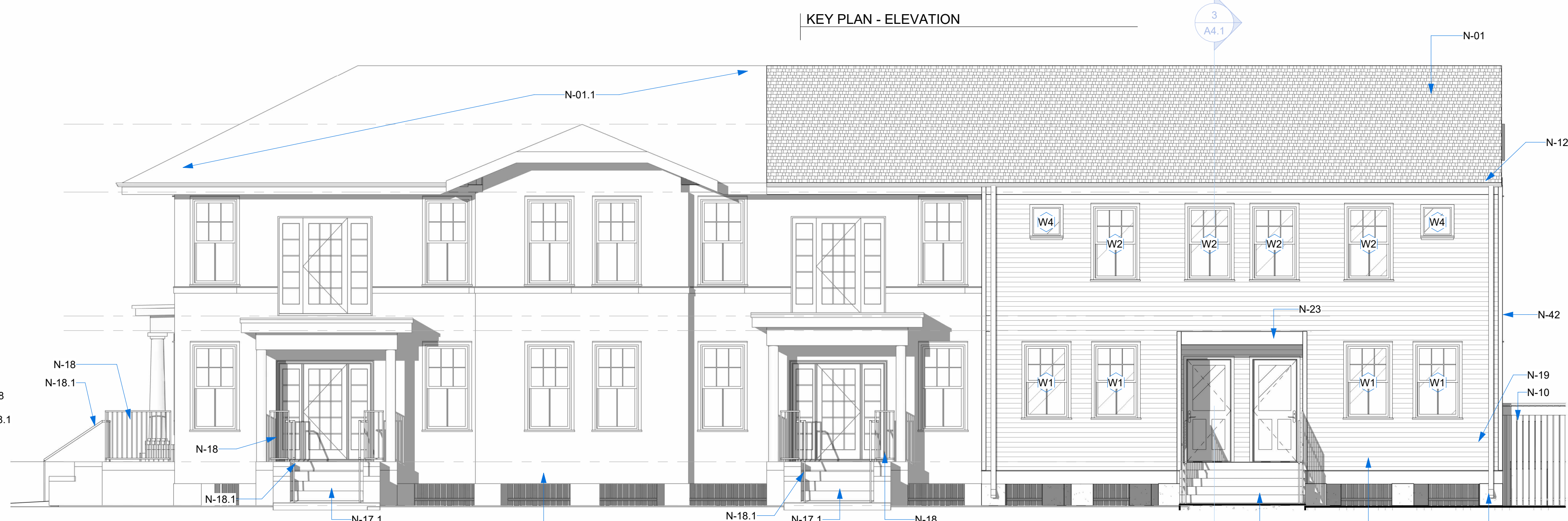


KEY PLAN - ELEVATION

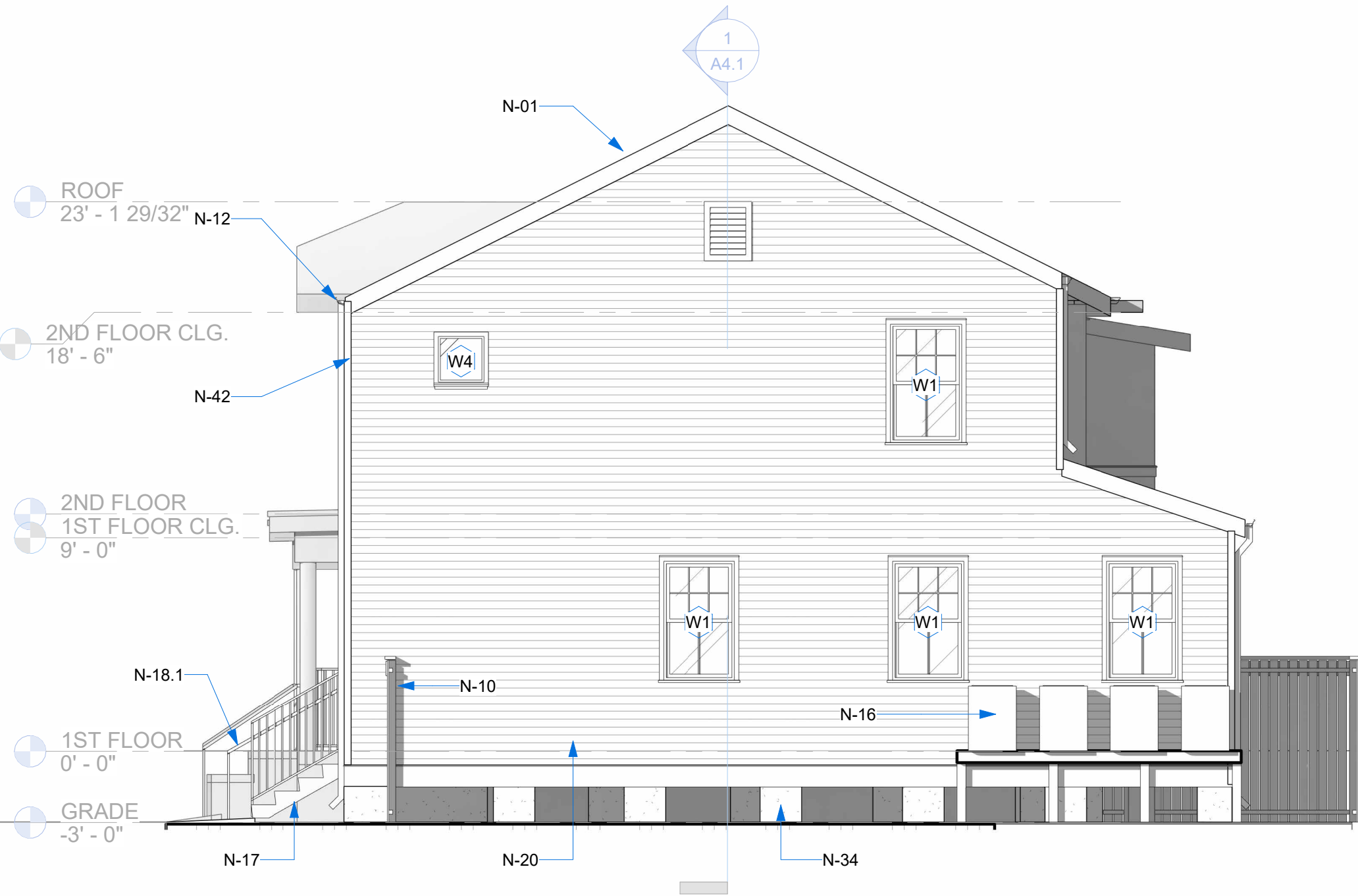
KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	NEW ASPHALT SHINGLE ROOF OVER ROOF SHEATHING. PROVIDE WEATHER BARRIER OVER TOP OF SHEATHING AND SPRAY INSULATION AT RAFTERS. PROVIDE LOW PROFILE THERMOSTATIC ATTIC VENTS OR RIDGE/SOFFIT VENTS TYP.
N-01.1	NEW ASPHALT SHINGLE ROOF OVER EXISTING ROOF DECK. PROVIDE WEATHER BARRIER OVER TOP OF SHEATHING AND SPRAY INSULATION AT RAFTERS. PROVIDE LOW PROFILE THERMOSTATIC ATTIC VENTS OR RIDGE/SOFFIT VENTS TYP.
N-04	LOCATION OF (NEW/EXISTING) ELECTRICAL METER & PANEL. CONTRACTOR TO COORDINATE WITH ENTERGY & ELECTRICIAN IF NEW METER & PANEL IS REQUIRED OR EXISTING IS ADEQUATE; IF NEW REQUIRED CONTRACTOR TO INSTALL.
N-10	NEW WOOD FENCE. RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER. (HDLC DETAILING IF REQUIRED)
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW. TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-16	A/C CONDENSERS AT OR ABOVE B.F.E.. CONTRACTOR TO COORDINATE HVAC STRATEGY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. FLASH AS REQ'D. INSTALLER TO PROVIDE NECESSARY CLEARANCES AROUND MACHINE AS REQUIRED BY CODE. (MOUNT A/C ON PLATFORM OR ON ROOF. RE: SITE DETAILS)
N-17	EXTERIOR CONCRETE STAIR. SLOPE TO DRAIN. NON-SLIP SURFACE. 7" RISERS MAX. 11" TREADS. GRADE TO BASE OF STAIR AS REQUIRED WITH 5% MAX SLOPE.
N-17.1	EXISTING EXTERIOR CONCRETE/BRICK STAIR. SLOPE TO DRAIN. RE-POINT BRICK AS NEEDED.
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS. TYP.
N-18.1	EXTERIOR METAL HANDRAIL @ 34" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE 2-1/4" CLEARANCE BETWEEN HANDRAIL AND WALL/RAILING.
N-19	HARDIE SIDING WITH SMOOTH FINISH AND 5 1/2" EXPOSURE. ALL NEW TRIM AND CORNER-BOARDS TO BE 5 1/2" HARDIE BOARD. COLOR TO BE SELECTED BY OWNER. CONTRACTOR TO COORDINATE.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR. EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL. (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)



3 | SOUTH ELEVATION
3/16" = 1'-0"



1 | EAST ELEVATION
3/16" = 1'-0"



2 | NORTH ELEVATION
3/16" = 1'-0"



4 | WEST ELEVATION
3/16" = 1'-0"

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

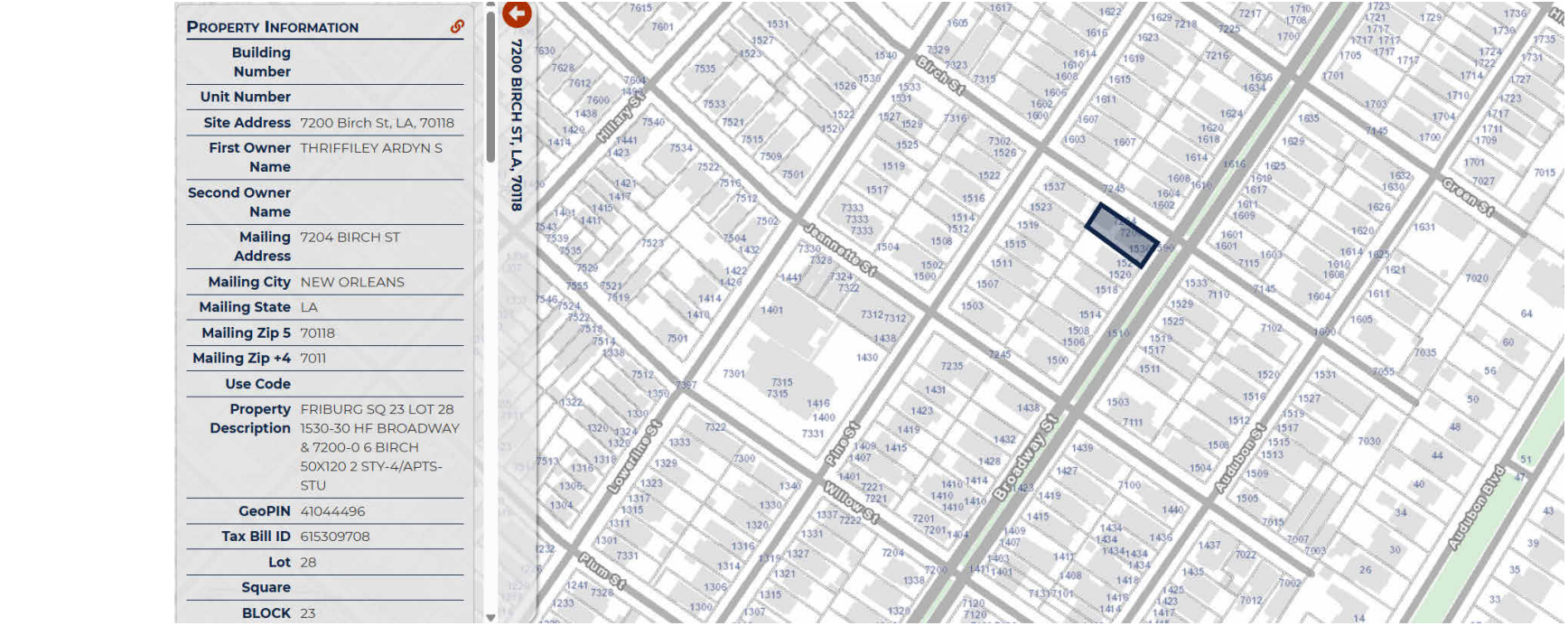
No.	Description	Date

NOT FOR
CONSTRUCTION

EXTERIOR
ELEVATIONS -
PROPOSED

OWNER PRICING	
Date	07/14/25

A3.1



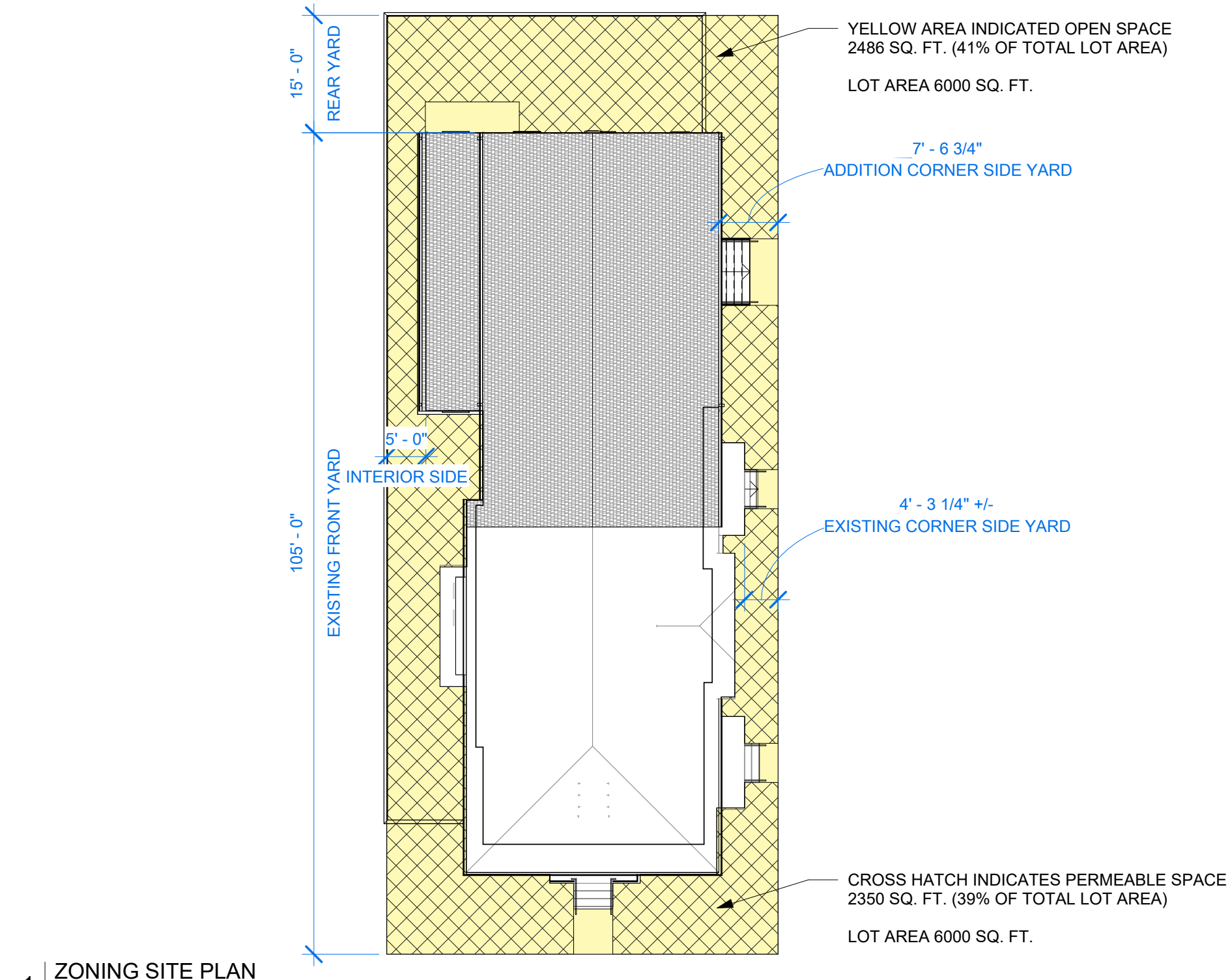
SITE AND SURROUNDING AREA



EXISTING BUILDING (FROM BROADWAY / BIRCH ST.)



EXISTING BUILDING (EXISTING CARPORT - TO BE REMOVED)



ZONING SITE PLAN
1/16" = 1'-0"



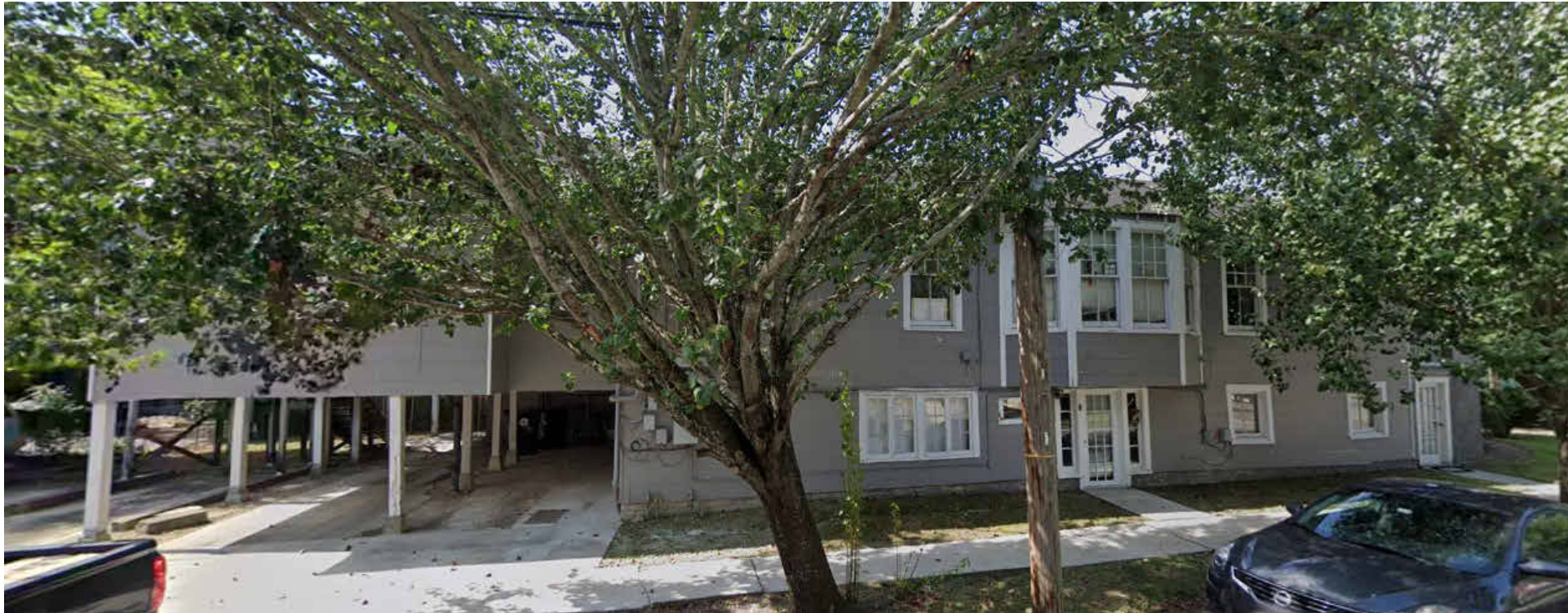
PROPOSED ADDITION - FROM FRONT CORNER



NEARBY PROPERTY - 7115 BIRCH ST.



NEARBY PROPERTY - 7117 GREEN ST.



NEARBY PROPERTY - 7199 SPRUCE ST.



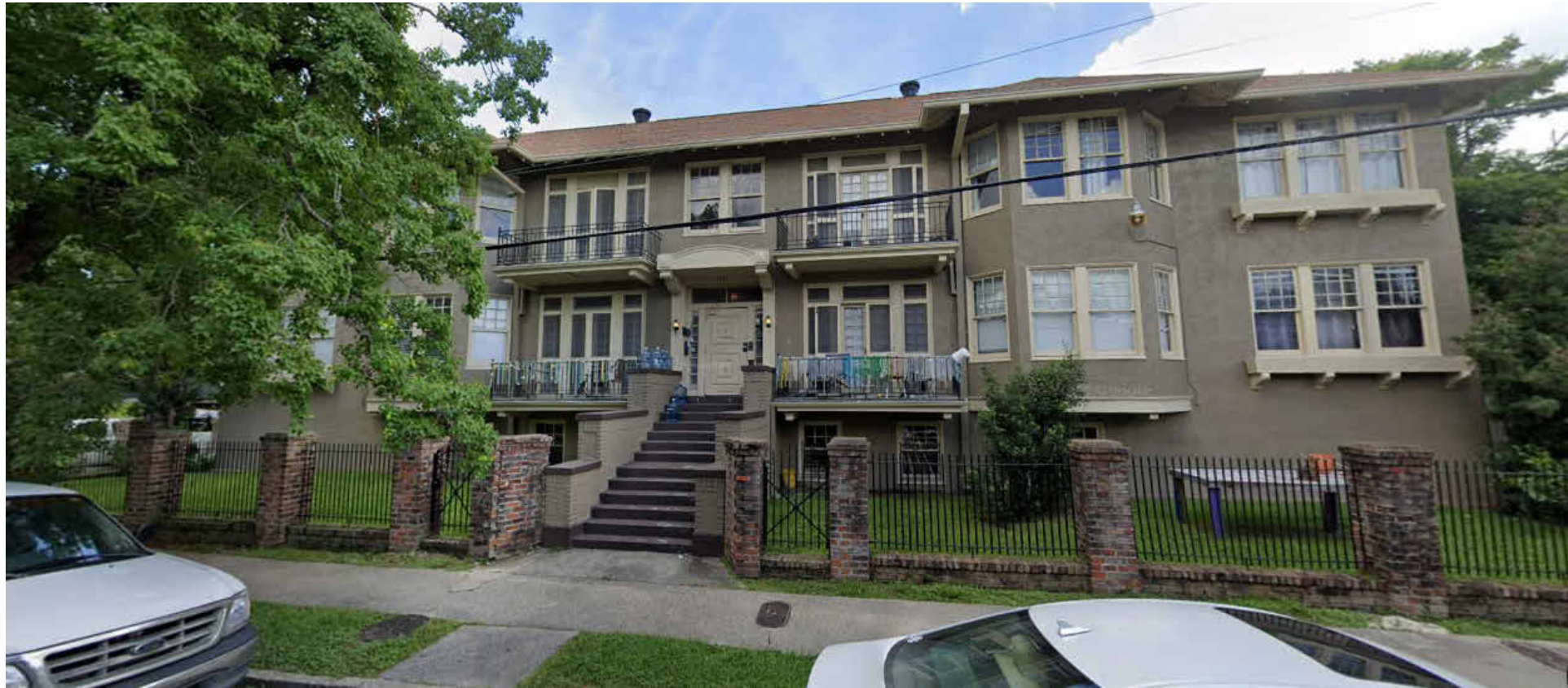
PROPOSED ADDITION - FROM REAR CORNER



NEARBY PROPERTY - 7200 BIRCH ST.



NEARBY PROPERTY - 7323 BIRCH ST.



NEARBY PROPERTY - 7326 JEANETTE ST.

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

NEIGHBORHOOD
CONTEXT / MASSING

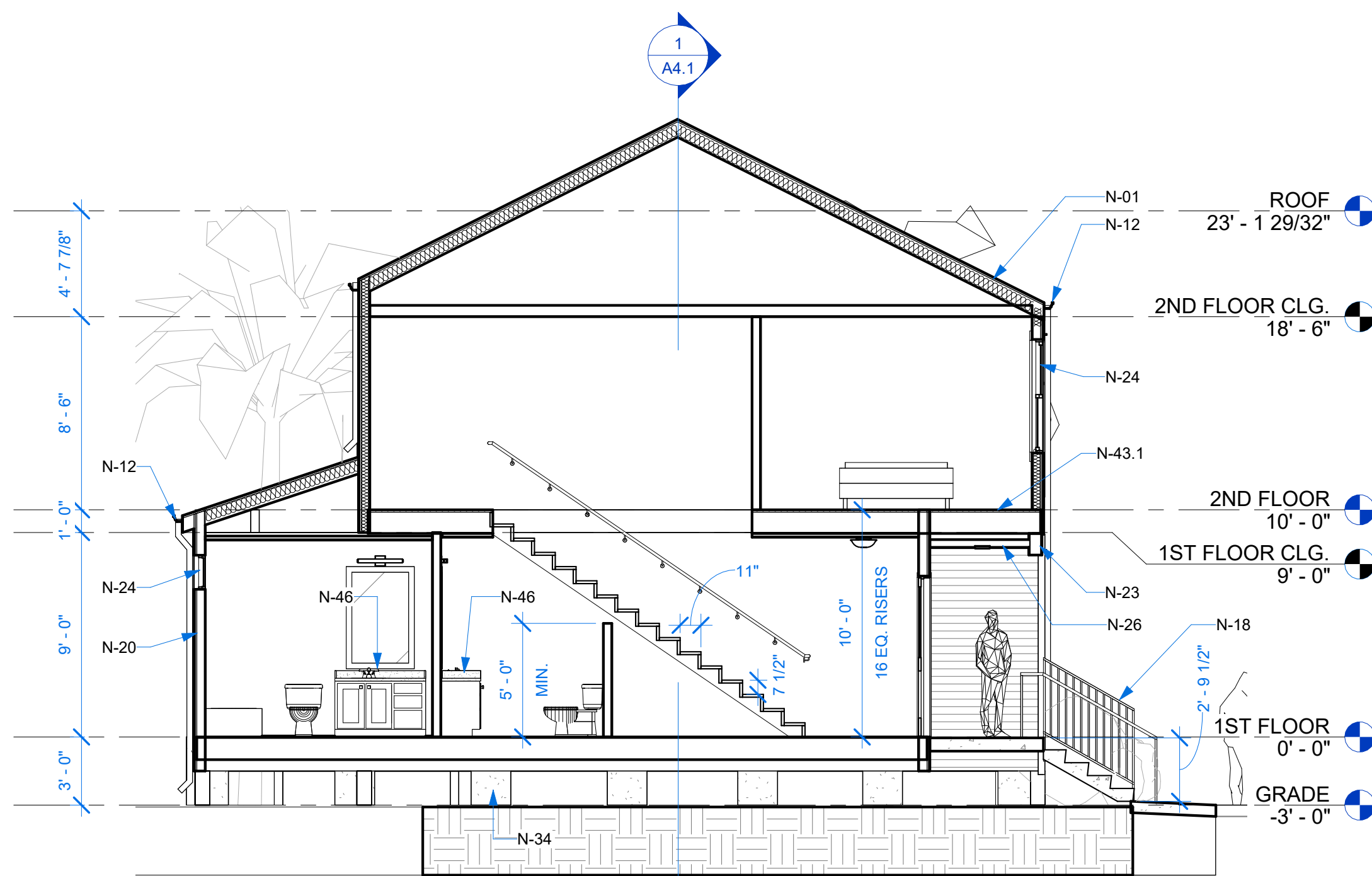
OWNER PRICING	
Date	07/14/25

A3.2

Autodesk Docs://1530 Broadway SV/1530 Broadway ST_OCS.nt
7/14/2025 11:53:54 AM



1 Section 6
3/16" = 1'-0"

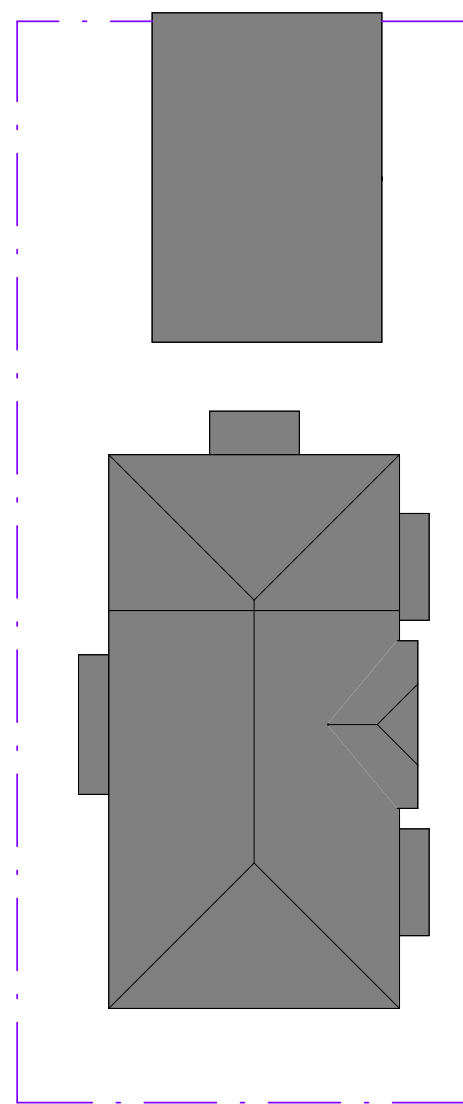


3 Section 5
3/16" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	NEW ASPHALT SHINGLE ROOF OVER ROOF SHEATHING. PROVIDE WEATHER BARRIER OVER TOP OF SHEATHING AND SPRAY INSULATION AT RAFTERS. PROVIDE LOW PROFILE THERMOSTATIC ATTIC VENTS OR RIDGE/SOFFIT VENTS TYP.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW. TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS. TYP.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION. GYP. INTERIOR. EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE. WALL TYPES & STRUCTURAL. RE. ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-23	NEW WOOD CLAD BEAM W/ TREATED FURRING AS REQ'D. HURRICANE CLIPS AT STRUCTURAL CONNECTIONS. TYP. RE. STRUCT.
N-24	NEW WINDOW. RE. WINDOW SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD) PROVIDE WIND BORN DEBRIS PROTECTION AS REQUIRED BY CODE.
N-26	EXTERIOR CEILING (BEAD-BOARD OR SMOOTH CEMENT BOARD) ON FURRING AS REQ'D. PROVIDE EXTRUDED METAL REVEALS OR WOOD TRIM AT EDGES AS REQ'D. COORDINATE DETAILS WITH OWNER/ARCHITECT.
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS. TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLC IF REQ'D)
N-43.1	NEW LVT FLOORING. COORDINATE FINISH SELECTION WITH OWNER. RE: FINISH SCHEDULE
N-46	VANITY, SINK, TUB, TOILET, AND PLUMBING FIXTURES TO BE CHOSEN BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER / FIXTURE PROVIDER. CONTRACTOR TO LAYOUT WORK AND MAKE OWNER AWARE OF ANY CLEARANCE ISSUES PRIOR TO INSTALL.

SECTION:	
	PLYWOOD
	BATT INSULATION
	SPRAY INSULATION - CLOSED CELL
	SPRAY INSULATION - OPEN CELL
	CONCRETE
	STEEL
	GYPSUM BOARD

LEGEND - SECTION HATCH



KEY PLAN - SECTION

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

No.	Description	Date

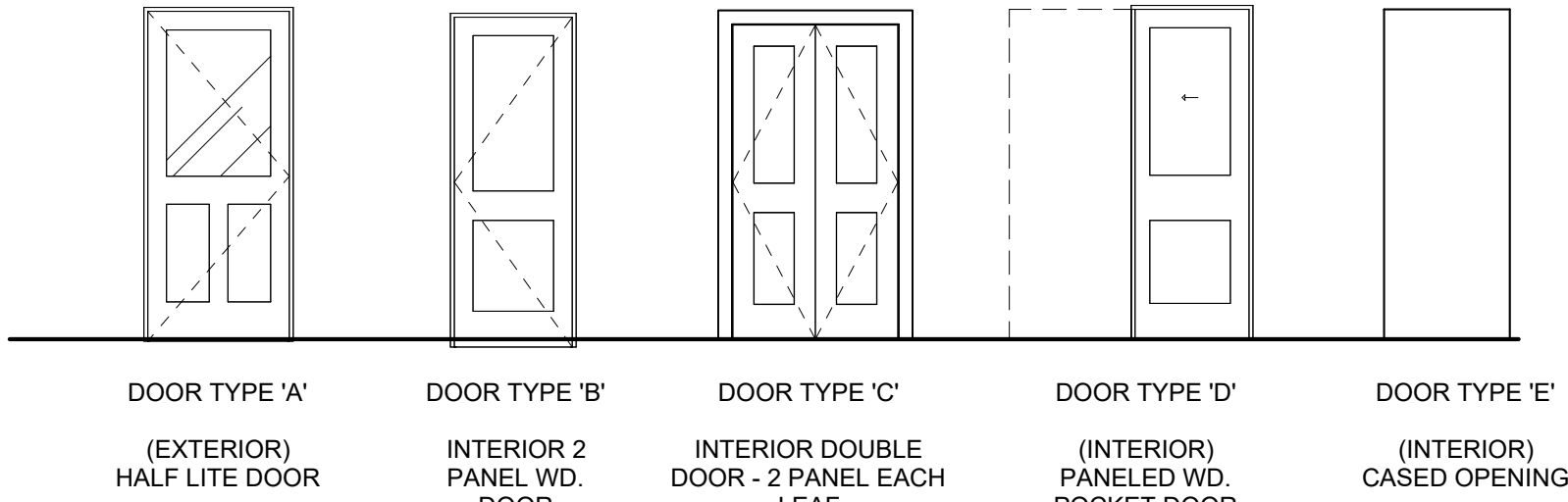
BUILDING SECTIONS

OWNER PRICING	
Date	07/14/25

A4.1

ZACH SMITH
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

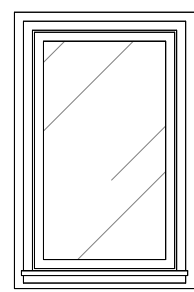
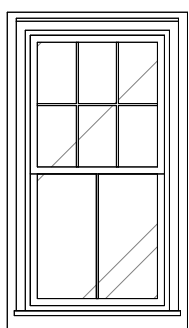


DOOR TYPES

Door Schedule									
Door Number	Door Type	Width	Height	DOOR PANEL	TRIM INT.	TRIM. EXT.	Description	Fire Rating	Hardware
A102-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
A104-1	C1	5' - 0"	7' - 0"	WD.	WD.	WD.			
A104-2	E1	3' - 0"	7' - 0"	WD.	WD.	WD.		-	
A105-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
A105-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
A106-1	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
A107-1	E1	3' - 0"	7' - 0"	WD.	WD.	WD.		-	
A108-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
A109-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
A109-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
A110-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
A110-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
B203-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
B203-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
B204-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
B207-1	E1	3' - 0"	7' - 0"	WD.	WD.	WD.		-	
B208-1	C1	5' - 0"	7' - 0"	WD.	WD.	WD.			
B209-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
B211-1	E2	6' - 0"	7' - 0"	WD.	WD.	WD.			
B211-2	C1	5' - 0"	7' - 0"	WD.	WD.	WD.			
C101-1	A1	3' - 0"	7' - 0"	WD.	WD.	HARDIE		-	
C102-1	D1	2' - 6"	7' - 0"	WD.	WD.	WD.			
C103-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
C103-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
C104-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
C201-1	B1	2' - 10"	8' - 0"	WD.	WD.	WD.			
C202-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
C202-2	B3	2' - 0"	7' - 0"	WD.	WD.	WD.			
C203-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
C203-2	D1	2' - 6"	7' - 0"	WD.	WD.	WD.			
C204-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
C204-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
D101-1	A1	3' - 0"	7' - 0"	WD.	WD.	HARDIE		-	
D102-1	D1	2' - 6"	7' - 0"	WD.	WD.	WD.			
D103-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
D103-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			
D104-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
D201-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
D202-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.			
D202-2	B3	2' - 0"	7' - 0"	WD.	WD.	WD.			
D203-1	D1	2' - 6"	7' - 0"	WD.	WD.	WD.			
D203-2	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
D204-1	B1	2' - 10"	7' - 0"	WD.	WD.	WD.		-	
D204-2	B2	2' - 6"	7' - 0"	WD.	WD.	WD.			

GENERAL NOTES: DOOR SCHEDULE

- CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE.
- ALL DOOR CASINGS SHALL BE PRIMED & PAINTED 1X WOOD, MATCH EXISTING DOOR CASINGS, TYP.
- ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- FOR POCKET DOORS, ENSURE THAT FINISH NAILS DO NOT SCRAPE DOOR WHEN FINISHED.
- PROVIDE WIND-BORNE DEBRIS PROTECTION FOR EXTERIOR GLAZING IN ACCORDANCE WITH 2015 IRC, SEC. R301.2.1.2. GLAZED OPENING PROTECTION SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886.
- PROVIDE LOW VOLTAGE POWER AT EXTERIOR ENTRANCE DOORS FOR DOORBELL / DOOR CHIME.
- PROVIDE PANIC BARS WHERE OCCUPANT LOAD EXCEEDS 50 PERSON. RE: LIFE SAFETY PLANS (FOR COMMERCIAL PROJECTS ONLY). PROVIDE AUTOMATIC CLOSERS AT NON-SPRINKLERED CORRIDORS, TYP.



WINDOW TYPE 'A1'
6/2 LITE SINGLE HUNG WINDOW
(MATCH EXISTING)
(ALUM CLAD / WD OR PVC)

WINDOW TYPE 'B1'
FIXED WINDOW
(ALUM CLAD / WD OR PVC)

TYPE 'A2'
SIM 'A1' W/ TEMP GLASS

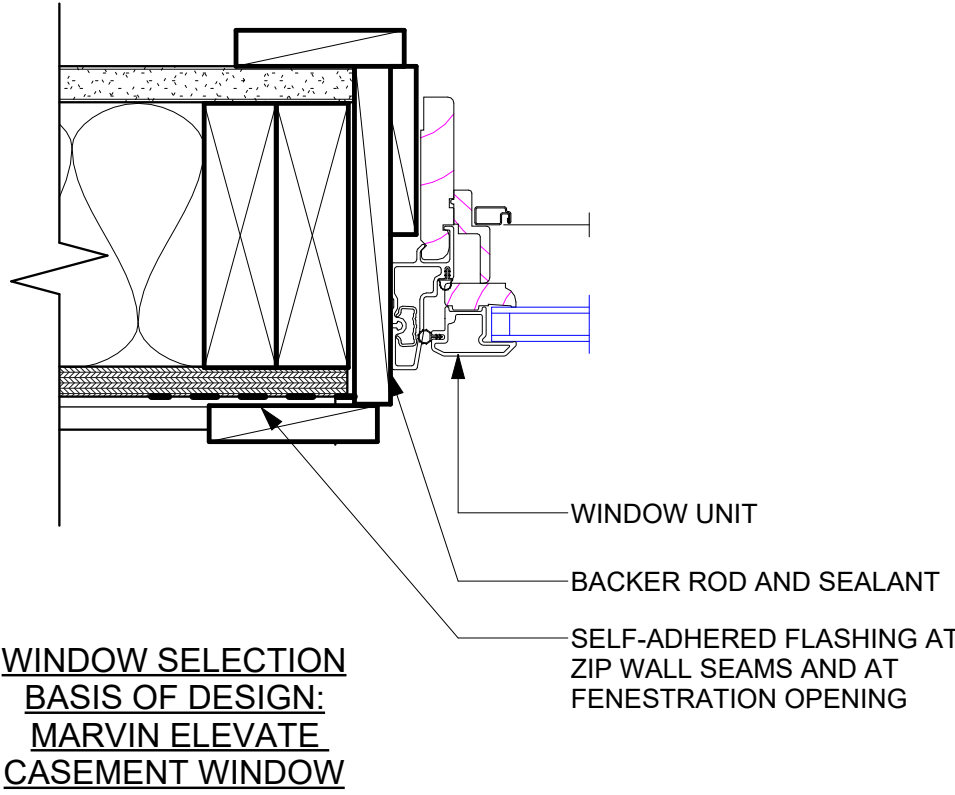
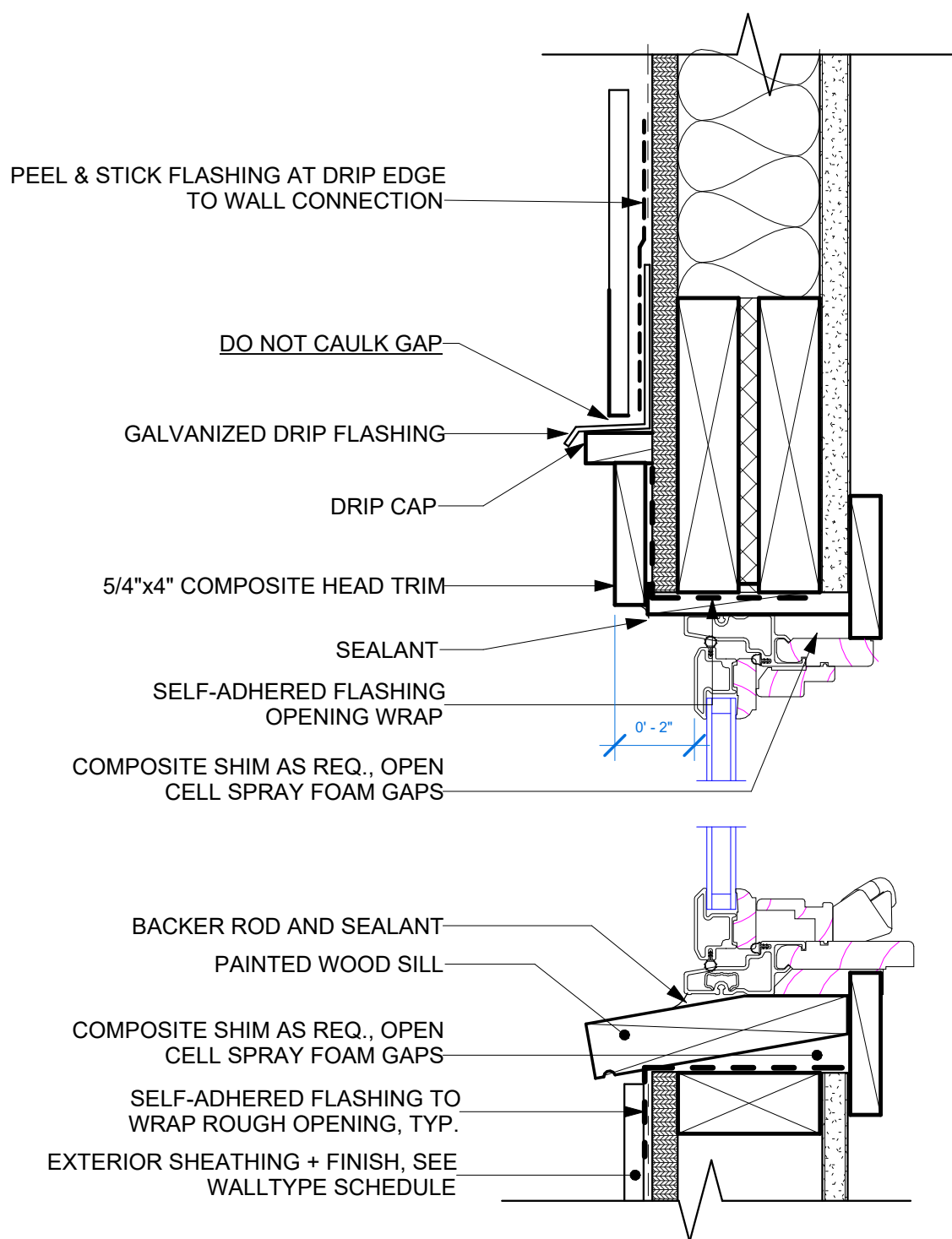
TYPE 'B2'
SIM 'D1' W/ TEMP GLASS

WINDOW TYPES

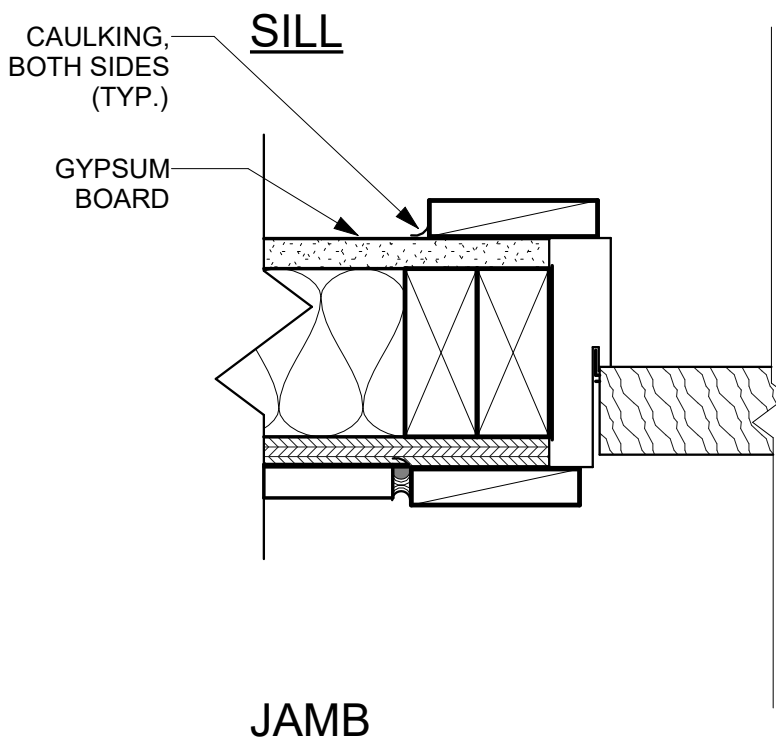
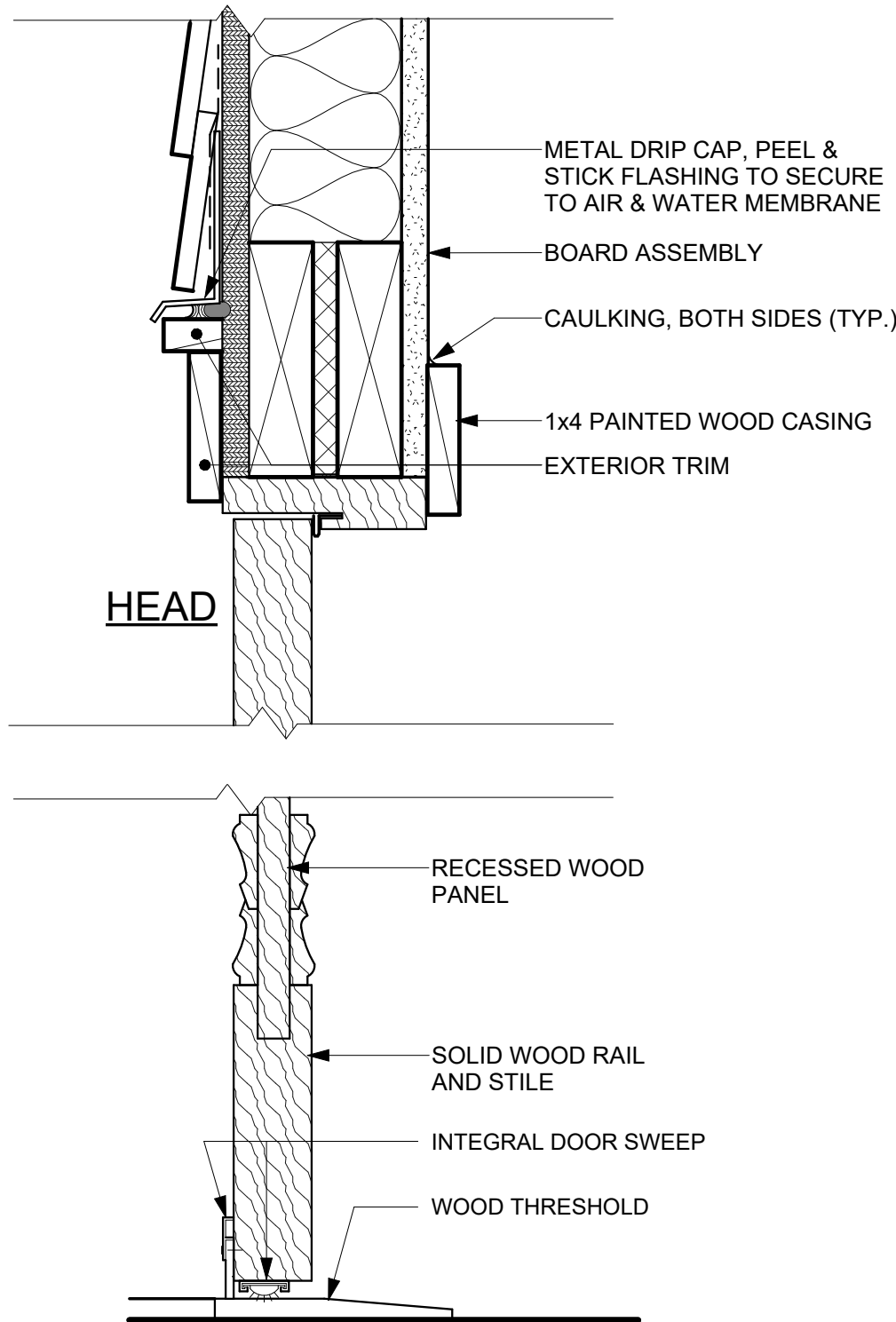
Window Schedule											
Type Mark	Mark	Count	Rough Opening		Sill Height	Head Height	Glazing	INT. TRIM.	EXT. TRIM	Comments	
W1	A	10	3' - 0"	5' - 0"	3' - 0"	8' - 0"					
W2	A	4	3' - 0"	5' - 0"	3' - 0"	7' - 6"					
W3	B	2	2' - 6"	1' - 6"	6' - 6"	8' - 0"					
W4	B	3	2' - 0"	2' - 0"	5' - 6"	7' - 6"					

GENERAL NOTES: WINDOW SCHEDULE

- CONTRACTOR SHALL PROVIDE OWNER WITH WINDOW, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- NEW WINDOWS SHALL BE RECESSED MOUNTED WITH DRIP CAP & ALL REQ. FLASHING INSTALLED PER MANUFACTURER'S SPECIFICATIONS (TYP.) AND CLEAR GLAZING WITHOUT TINT OR TEXTURE.
- ALL WINDOW CASING SHALL BE PRIMED & PAINTED 1X WOOD WITH PROFILE MATCHING EXISTING BUILDING STANDARD OR NEW APPROVED BY OWNER PRIOR TO INSTALL. FOR INSTANCES WHERE JAMB CASING MUST BE CUT, CUT ONLY THAT PIECE AND LEAVING HEADER FULL SIZE.
- ALL GLASS IN BATHROOM AREAS, OR NEAR STAIR LANDINGS TO BE TEMPERED.
- PROVIDE WIND-BORNE DEBRIS PROTECTION FOR EXTERIOR GLAZING IN ACCORDANCE WITH 2021 IRC, SEC. R301.2.1.2. GLAZED OPENING PROTECTION SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886.
- LOW E GLAZING, SHGC VALUE <25, COLOR WHITE



WINDOW SELECTION
BASIS OF DESIGN:
MARVIN ELEVATE
CASEMENT WINDOW



JAMB

No.	Description	Date

NOT FOR
CONSTRUCTION

Autodesk Docs//1530 Broadway SV/1530 Broadway ST_OCS.rvt
7/14/2025 11:53:57 AM

FINISHES: COORDINATE ALL FINISH SELECTIONS WITH OWNER

1. PROVIDE TRANSITION STRIPS AS PER MANUFACTURER'S RECOMMENDATION AT ALL DISSIMILAR FINISH ABUTMENTS AND THRESHOLDS.
2. GYPSUM FINISH TO BE LEVEL 4 UNLESS OTHERWISE INDICATED.
3. INTERIOR FINISHES COMPLY WITH NFPA 101:20.3.3 (0-200) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
4. AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
5. REFER TO REFLECTED CEILING PLAN FOR CEILING, FURR DOWN, HEADER, AND COFFER FINISHES.
6. FINAL COLOR & FINISH SELECTION TO BE MADE BY ARCHITECT FROM FULL RANGE(S) PROVIDED BY MANUFACTURER
7. CONTRACTOR TO SUBMIT FOR APPROVAL OF ALL FINISHES PRIOR TO PURCHASE AND INSTALLATION.

PAINT: COORDINATE ALL FINISH SELECTIONS WITH OWNER

1. INTERIOR WALLS:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
2. CEILINGS:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
3. CEILING ABOVE SHOWER ENCLOSURE:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
4. TRIM AND DOORS:
PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT AND FINISH

FINISH LEGEND:

WF-1: EXISTING WD. FLOOR W/ NEW SUBFLOOR AND FINISH FLOOR, TYP.
NOTE: REPAIR TERMITE WATER DAMAGE AT EXISTING FLOOR. COORDINATE SELECTION WITH OWNER.

WF-2: NEW PLYWOOD SUBFLOOR AND FINISH FLOOR. COORDINATE SELECTION WITH OWNER.

GYP: NEW LEVEL 4 GYP, TYP. RE: PLANS FOR RATED WALLS *(TYPE 'X')

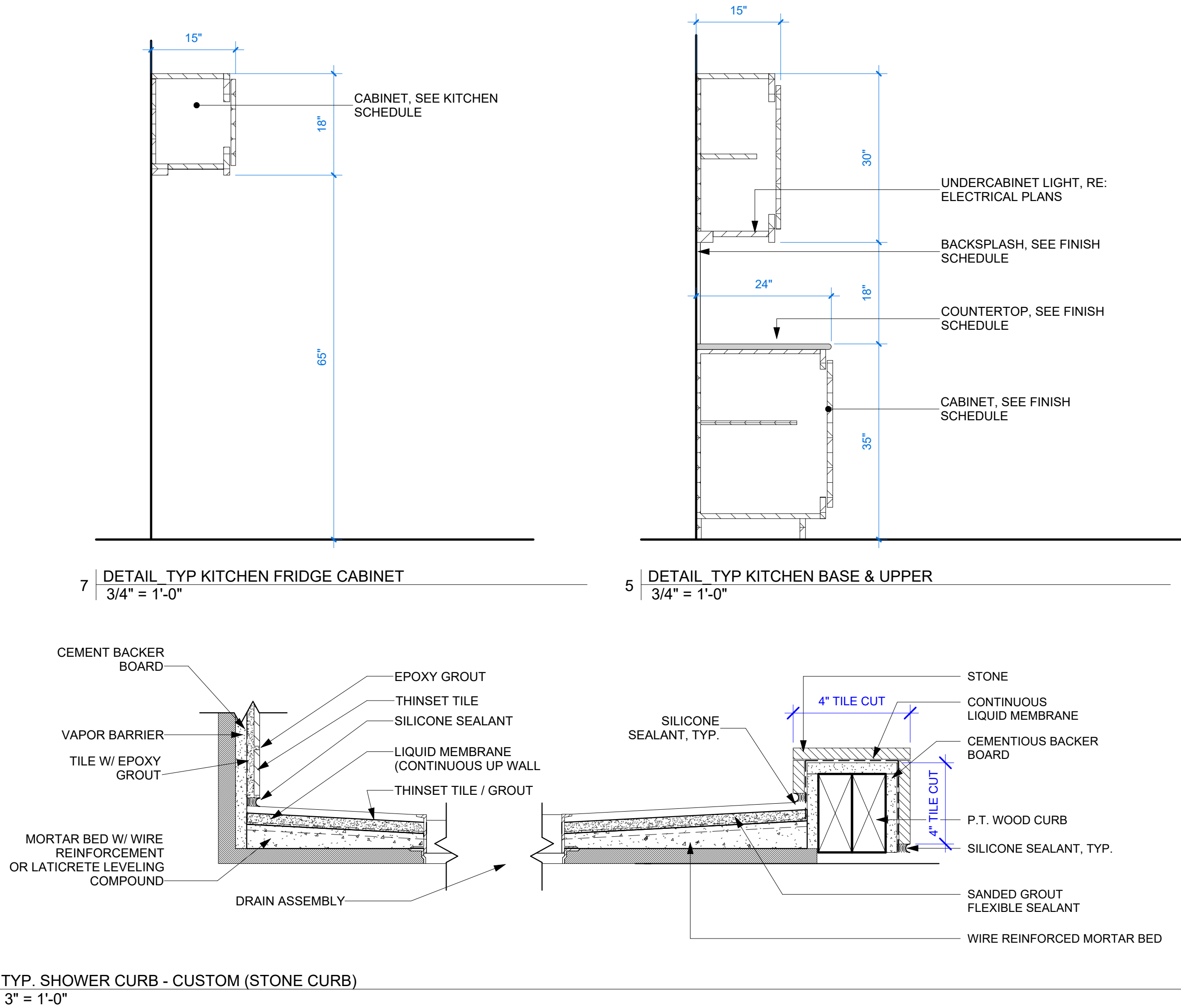
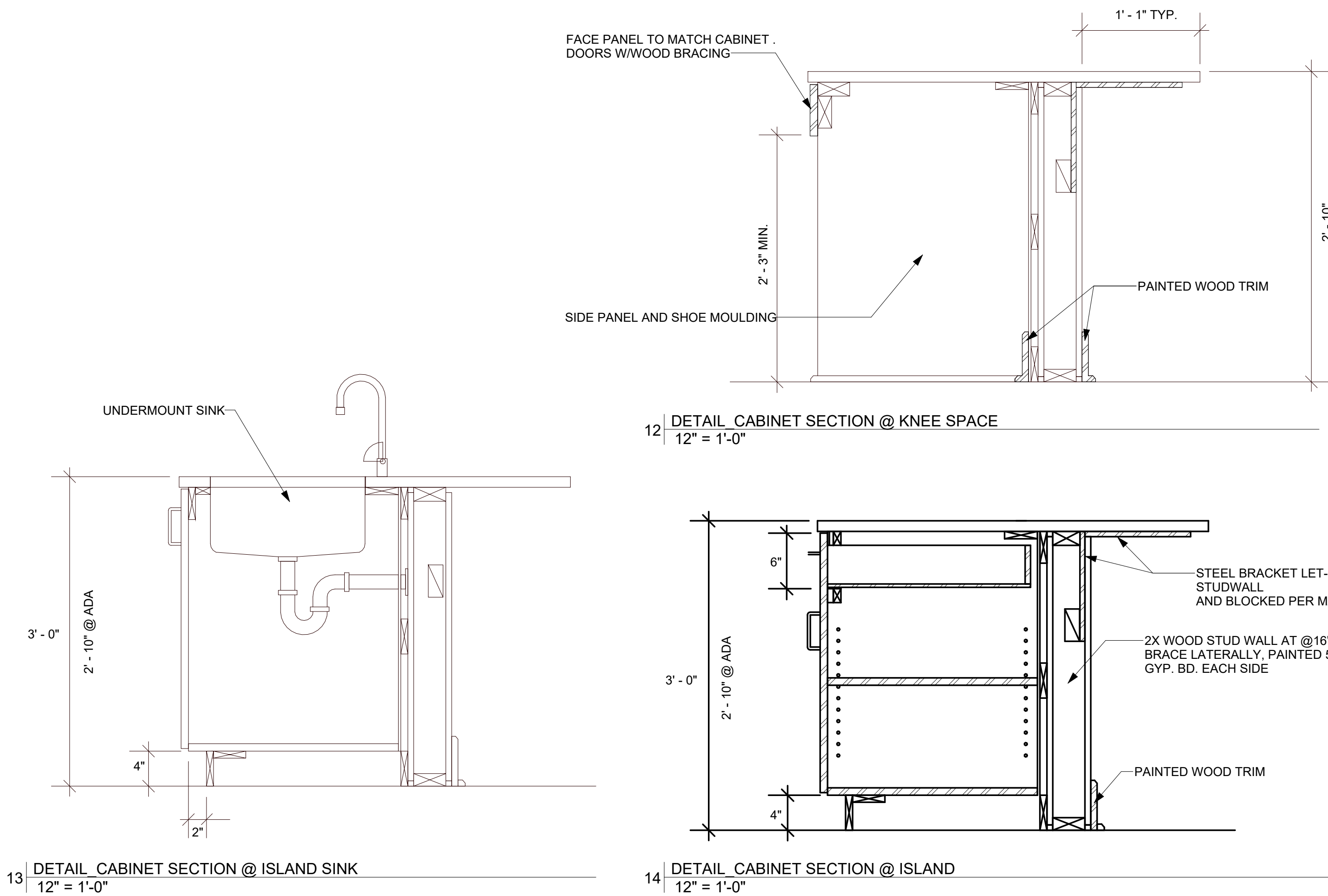
PT: PAINT (COORDINATE SELECTION WITH OWNER)

TL: NEW TILE FLOORS. COORDINATE SELECTION WITH OWNER. PROVIDE THRESHOLDS AND TRANSITIONS WHERE REQ'D.

WB: 10" WOOD BASE TYP.

FINISH LEGEND

Room Finish Schedule										
Level	Room Number	Room Name	Finish				Ceiling Height	Area		
			Floor	Base	Wall	Ceiling				
1ST FLOOR	A101	LIVING / DINING						472 SF		
1ST FLOOR	A102	TOILET						50 SF		
1ST FLOOR	A103	KITCHEN						227 SF		
1ST FLOOR	A104	LAUNDRY						17 SF		
1ST FLOOR	A105	BEDROOM						139 SF		
1ST FLOOR	A105.1	CLOSET						12 SF		
1ST FLOOR	A106	BATH						44 SF		
1ST FLOOR	A107	HALL						35 SF		
1ST FLOOR	A108	BATH						65 SF		
1ST FLOOR	A109	BEDROOM						157 SF		
1ST FLOOR	A109.1	CLOSET						63 SF		
1ST FLOOR	A110	BEDROOM						148 SF		
1ST FLOOR	A110.1	CLOSET						24 SF		
1ST FLOOR	C101	KITCHEN/LIVING						387 SF		
1ST FLOOR	C102	TOILET						24 SF		
1ST FLOOR	C103	BEDROOM						106 SF		
1ST FLOOR	C103.1	CLOS.						6 SF		
1ST FLOOR	C104	BATH						50 SF		
1ST FLOOR	D101	KITCHEN/LIVING						390 SF		
1ST FLOOR	D102	TOILET						24 SF		
1ST FLOOR	D103	BEDROOM						106 SF		
1ST FLOOR	D103.1	CLOS.						6 SF		
1ST FLOOR	D104	BATH						50 SF		
1ST FLOOR	ST-1	STAIR (B)						38 SF		
								2639 SF		
2ND FLOOR	B201	HALL						98 SF		
2ND FLOOR	B202	BATH						66 SF		
2ND FLOOR	B203	BEDROOM						157 SF		
2ND FLOOR	B203.1	CLOSET						63 SF		
2ND FLOOR	B204	BEDROOM						134 SF		
2ND FLOOR	B204.1	CLOSET						15 SF		
2ND FLOOR	B205	KITCHEN						258 SF		
2ND FLOOR	B206	LIVING						239 SF		
2ND FLOOR	B207	HALL						24 SF		
2ND FLOOR	B208	LAUNDRY						21 SF		
2ND FLOOR	B209	BEDROOM						136 SF		
2ND FLOOR	B209.1	CLOSET						13 SF		
2ND FLOOR	B210	BATH						65 SF		
2ND FLOOR	B211	DINING / STUDY						170 SF		
2ND FLOOR	B211.1	CLOSET						35 SF		
2ND FLOOR	C201	HALL						112 SF		
2ND FLOOR	C201.1	LAUNDRY						11 SF		
2ND FLOOR	C202	BEDROOM						105 SF		
2ND FLOOR	C202.1	CLOSET						6 SF		
2ND FLOOR	C203	BATH						87 SF		
2ND FLOOR	C204	BEDROOM						125 SF		
2ND FLOOR	C204.1	CLOSET						7 SF		
2ND FLOOR	D201	HALL						112 SF		
2ND FLOOR	D201.1	LAUNDRY						11 SF		
2ND FLOOR	D202	BEDROOM						105 SF		
2ND FLOOR	D202.1	CLOSET						6 SF		
2ND FLOOR	D203	BATH						92 SF		
2ND FLOOR	D204	BEDROOM						125 SF		
2ND FLOOR	D204.1	CLOS						7 SF		
								2403 SF		
								5041 SF		



SMALL MULTI-FAMILY AFFORDABLE 4-PLEX

1530 Broadway Ave.
New Orleans LA, 70118

No.	Description	Date

FINISH SCHEDULE, CASEWORK & INT. DETAILS

OWNER PRICING	
Date	07/14/25

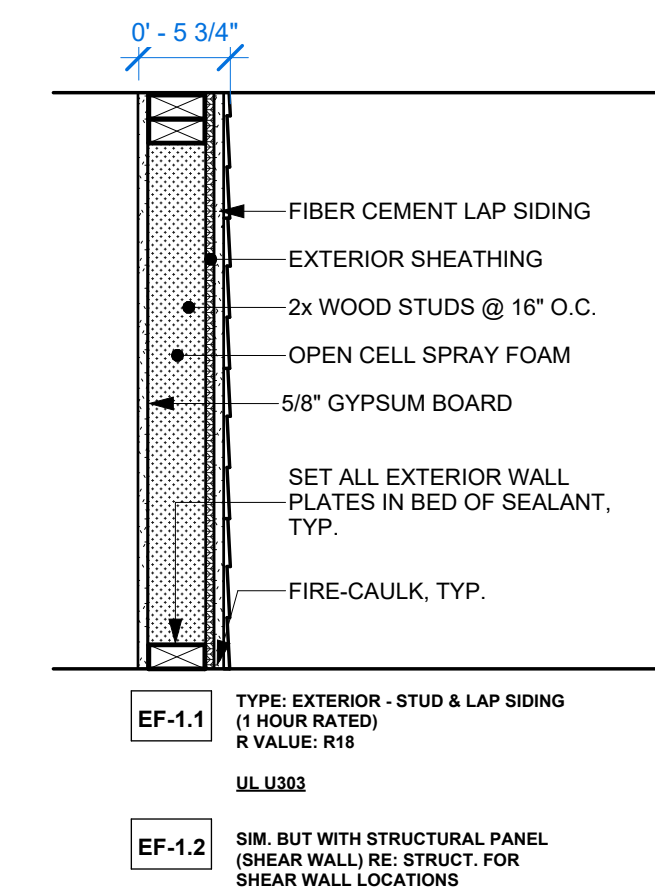
A6.2

ZACH SMITH
CONSULTING & DESIGN

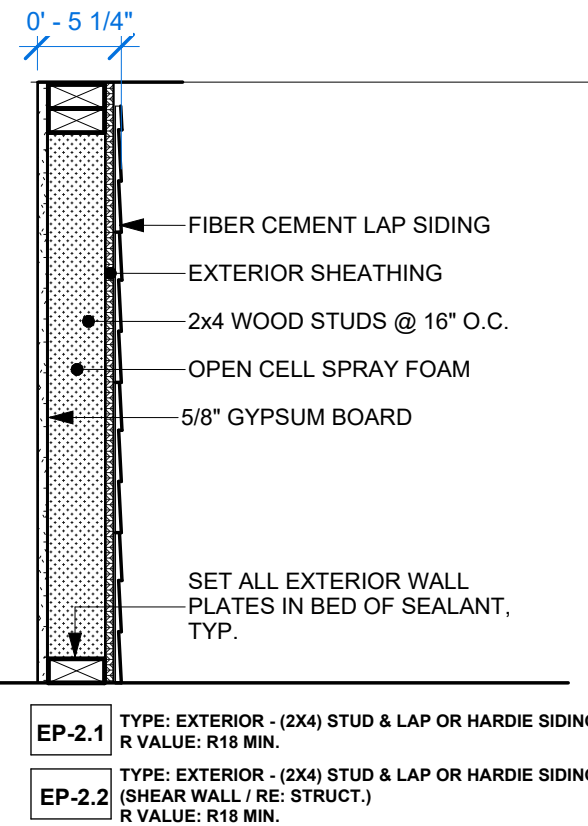
1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

Autodesk Docs://1530 Broadway St/1530 Broadway ST_OCS.rvt
7/14/2025 11:53:59 AM

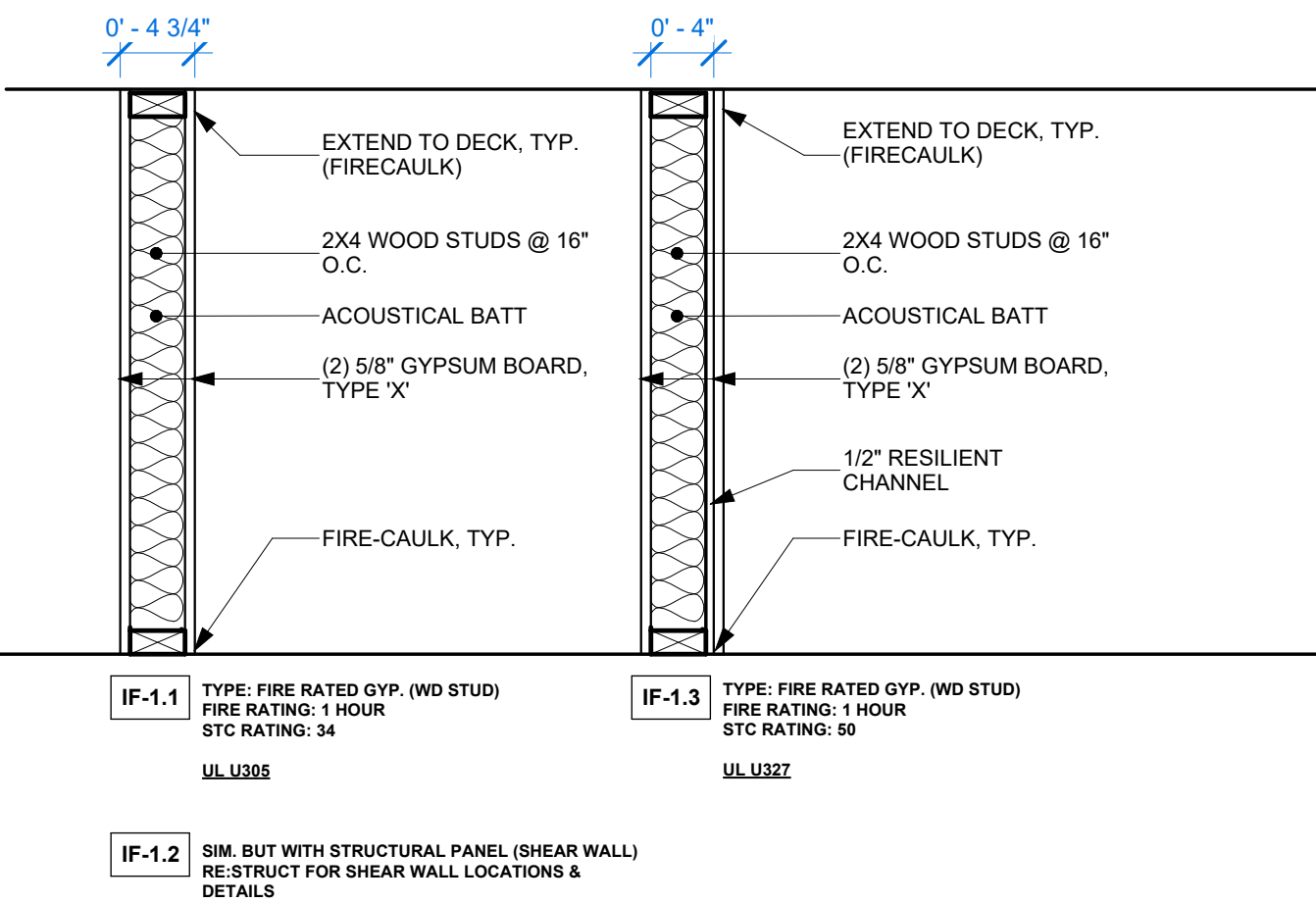
EXTERIOR FIRE RATED WALLS (ONE AND TWO HOUR)



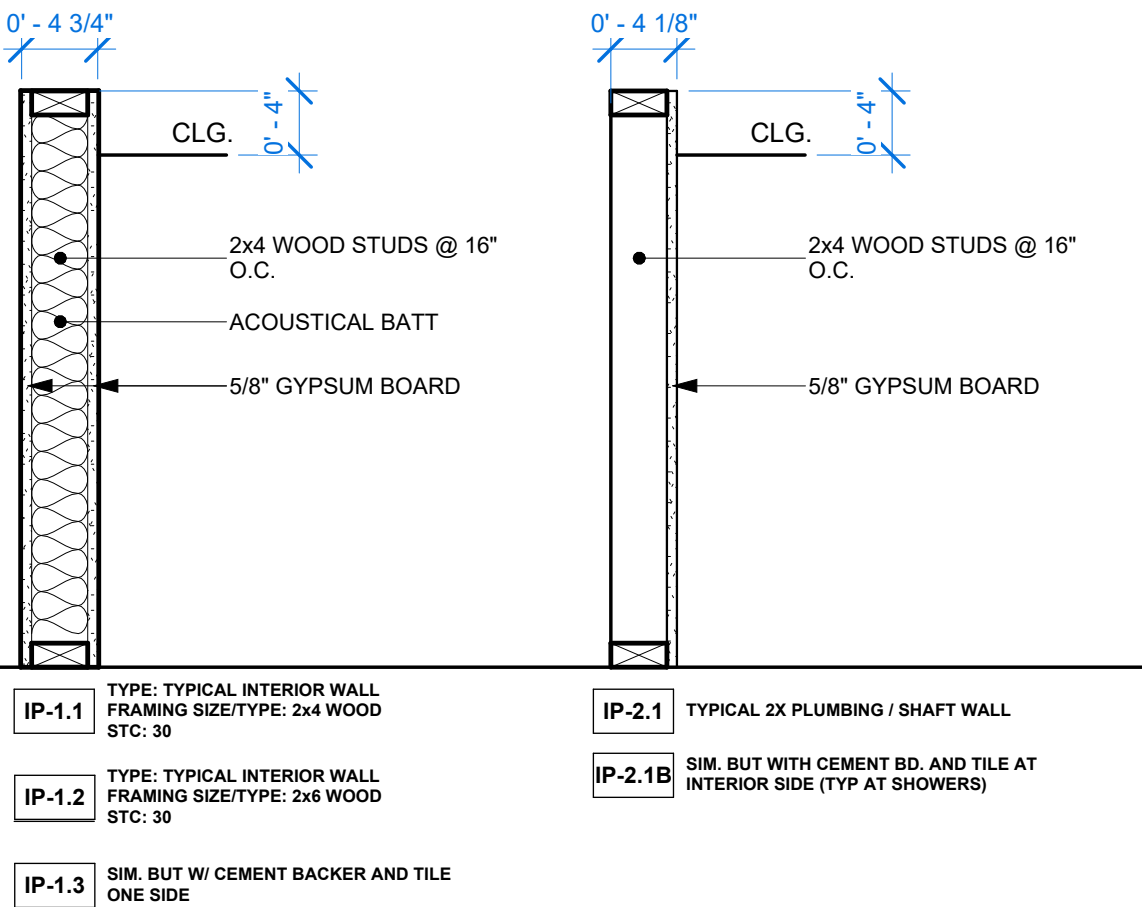
EXTERIOR WALLS (NON RATED)



INTERIOR FIRE RATED WALLS (1 HOUR)

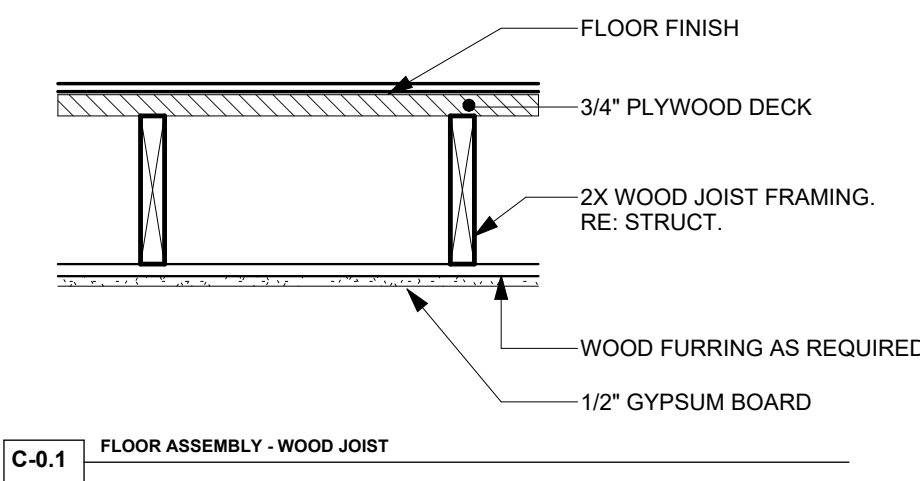


INTERIOR WALLS (NON RATED)

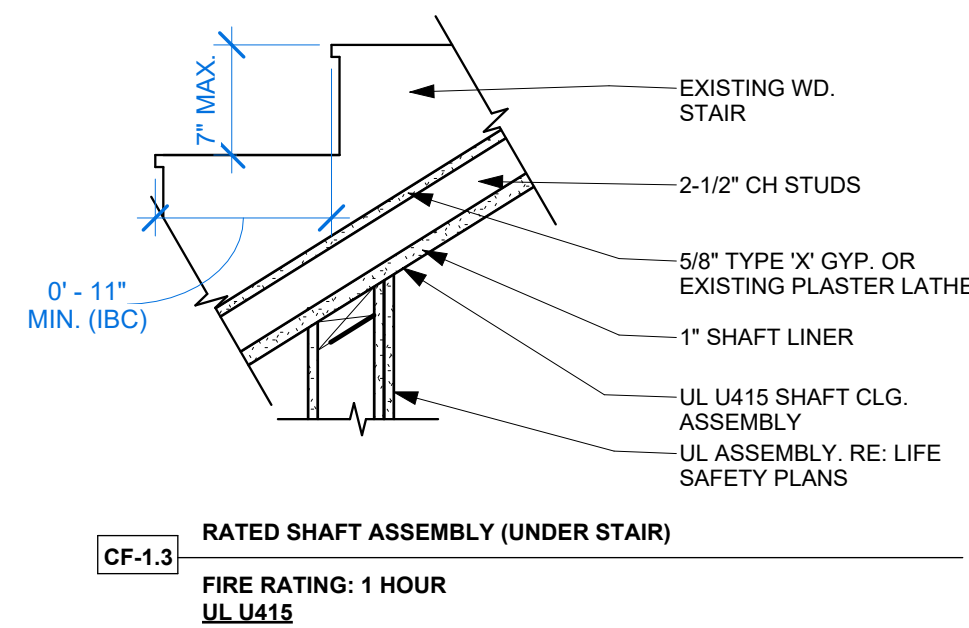
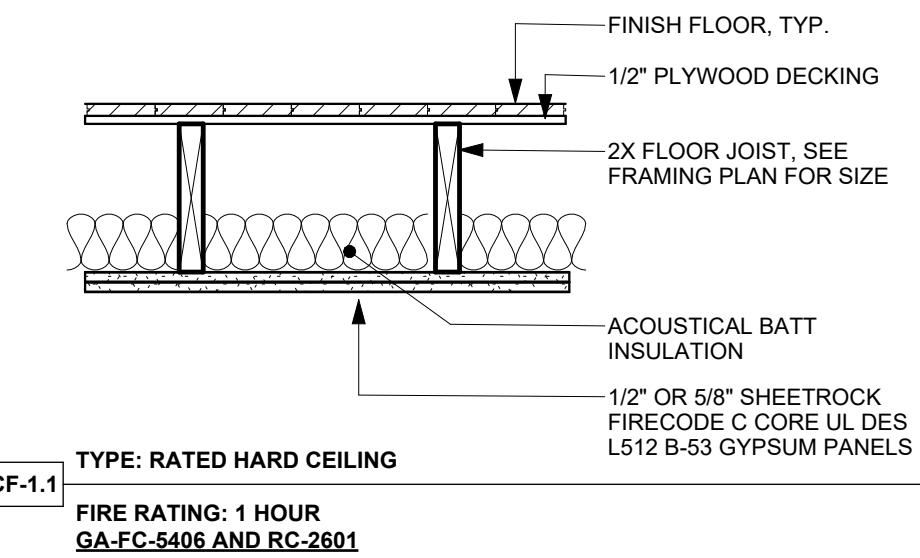


LEGEND - WALL SCHEDULE

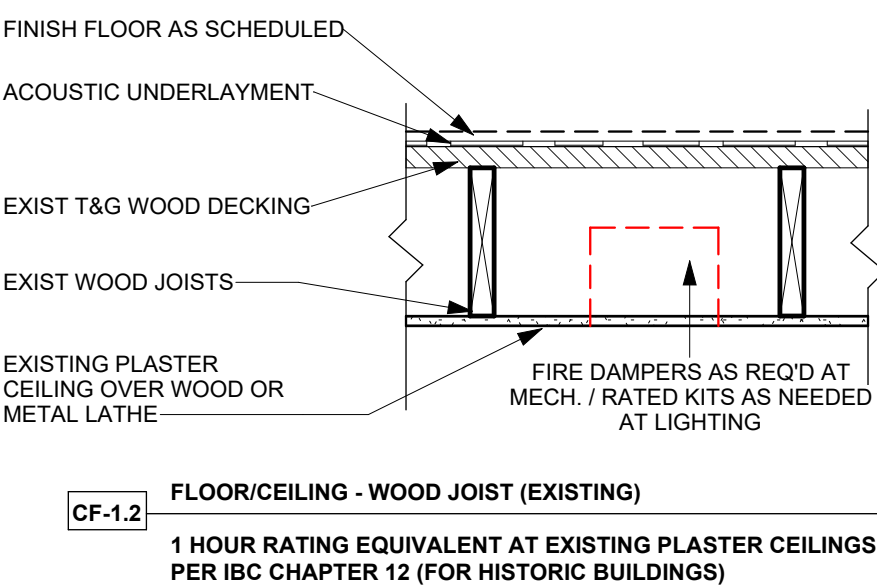
FLOOR AND CEILING ASSEMBLIES (NON - RATED)



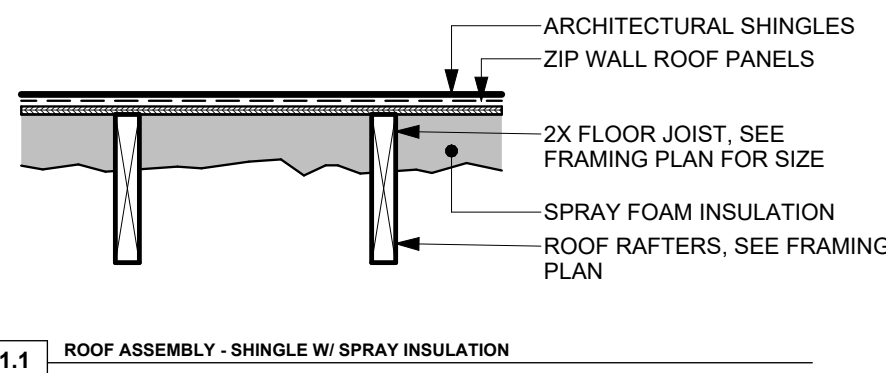
FLOOR AND CEILING ASSEMBLIES (RATED)



FLOOR AND CEILING ASSEMBLIES (EXISTING / RATED)



ROOF ASSEMBLIES



1 FLOOR/CEILING ASSEMBLIES
1" = 1'-0"

SMALL MULTI-FAMILY AFFORDABLE 4-PLEX
1530 Broadway Ave.
New Orleans LA, 70118

No.	Description	Date

NOT FOR
CONSTRUCTION

VERTICAL &
HORIZONTAL
ASSEMBLIES

OWNER PRICING
Date 07/14/25

A8.1



Narrative for 1530 Broadway Design Review

The proposed design for 1530 Broadway Street reflects a deliberate and respectful response to the Comprehensive Zoning Ordinance and the expectations of the Design Overlay Committee. The design demonstrates a strong commitment to contextual integration, architectural continuity, and urban design principles that support the goals outlined in the City's Master Plan—namely, public welfare, neighborhood cohesion, and design excellence.

The renovation retains the entirety of the existing front façade, along with the primary street-facing and interior-facing elevations, preserving the building's original details along the streetscape. The proposed rear addition is conceived as a clearly articulated volume that reads as a contemporary intervention designed to distinguish from the historic massing. It is differentiated through materiality—using a modern cladding system in contrast to the original stucco—yet visually unified through a consistent rhythm of fenestration and carefully proportioned openings that echo the original structure.

The new roofline aligns in scale, pitch, and height with the existing gable, establishing a continuous roof plane articulated with new shingles for cohesion. Exposed eaves and gable forms are calibrated to reflect the prevailing vernacular of the surrounding residential context. This approach ensures the addition is legible as new construction while remaining respectful of the existing architectural language.

All zoning thresholds—including front, side, and rear yard setbacks—are met or exceeded, with no requests for variances or waivers. The design also complies fully with regulations for building height, permeable open space, and stormwater management, affirming its alignment with the City's environmental and development standards.

The site strategy and architectural expression prioritize compatibility with adjacent structures, minimizing potential impacts on neighboring properties in terms of privacy, massing, and light. The proposed conversion from a three-unit to a four-unit multi-family residence enhances the building's functional capacity while contributing meaningfully to the city's housing stock, particularly in terms of affordable rental options within established neighborhoods.

In conclusion, the proposed design for 1530 Broadway Street represents a context-sensitive, code-compliant, and design-forward addition to the neighborhood fabric. It aligns with the principles of the Design Overlay, contributes to the architectural richness of the street, and supports the long-term goals of sustainable, inclusive urban growth.

Please feel free to contact me if you have questions regarding these issues and thank you for your assistance.

Sincerely,

1530 BROADWAY ST - SMFA RENOVATION

Base Zoning District:	HU-RD1		
Bulk Regulations	Requirement	Provided	Waiver Necessary?
<i>Minimum Lot Area</i>	NA (SMFA)	6000	NO
<i>Minimum Lot Width</i>	30'	50'	NO
<i>Minimum Lot Depth</i>	90'	120'	NO
<i>*Maximum Building Height</i>	30'	28'	NO
<i>Minimum Permeable Open Space</i>	30% (1800)	39% (2350)	NO
<i>Minimum Open Space</i>	30% (1800)	41% (2486)	NO
<i>Maximum Impervious Surface in Front Yard</i>	40% (240 SF / 600 SF)	80% (500 SF / 600 SF)	NO
<i>Maximum Impervious Surface in Corner Side Yard</i>	40% (360 SF / 900 SF)	77% (700 SF / 900 SF)	NO
Minimum Yard Requirements	Requirement	Provided	Waiver Necessary?
<i>Front Yard</i>	N/A	E.T.R.	NO
<i>Interior Side Yard</i>	3'	5'	NO
<i>Corner Side Yard</i>	E.T.R	E.T.R	NO
<i>Rear Yard</i>	15'	15'	NO
***Parking	Requirement	Provided	Waiver Necessary?
SMFA	0	0	NO

* Pursuant to **Article 18, Section 18.32.B.4**, in the HU-RD1, HU-RD2, and HU-RS Districts, building height of any new structure, or addition or enlargement of an existing structure, is limited to no more than 30 feet, or to three (3) feet higher than the taller of the immediately adjacent structures, whichever is less.

**Waivers of height requirements may be considered by the Board of Zoning Adjustments.

***Confirm the off-street parking requirements of both [Article 22](#) and [Article 18, Section 18.30](#) University Area Off-Street Parking Overlay District are met.

Re: DR051-25—1530 Broadway/7204 Birch

From Mitchell S Kogan <Mitchell.Kogan@nola.gov>

Date Wed 8/13/2025 3:50 PM

To stephanie Emmerling <scemmerling@att.net>; CPCINFO <CPCINFO@nola.gov>

Cc Charles C Rowe <Charles.Rowe@nola.gov>

Received. Please note your comments will be placed in the respective file for this case.

Thank you,

Mitchell S. Kogan

he/him/his

City Planner | New Orleans City Planning Commission

Office of Business and External Services

1300 Perdido Street, 7th Floor | New Orleans, LA 70112

(504) 658-7004 (office) | mitchell.kogan@nola.gov

Please be advised that all email correspondence is subject to the state's public records laws.

RESOURCES:

[Frequently asked questions](#)

[Application forms](#)

[Property Viewer](#) (check the zoning of a property)

[Comprehensive Zoning Ordinance](#)

[One Stop App](#)

From: stephanie Emmerling <scemmerling@att.net>

Sent: Wednesday, August 13, 2025 3:18 PM

To: CPCINFO <CPCINFO@nola.gov>

Cc: Charles C Rowe <Charles.Rowe@nola.gov>

Subject: DR051-25—1530 Broadway/7204 Birch

I oppose the design of 1530 Broadway/7204 Birch as increasing density while removing off-street parking—just five blocks from Tulane University. There is no evidence that the developer's other SMFA buildings are rented appropriately; in fact, all the evidence points to the contrary. What is the State Fire Marshal's opinion of these developments? This is not responsible urban planning.

Stephanie Emmerling

CalPalState

Re: DR051-25—1530 Broadway/7204 Birch

From Mitchell S Kogan <Mitchell.Kogan@nola.gov>

Date Wed 8/13/2025 2:10 PM

To Tori Emmerling <temmerling@labordesiegel.com>; CPCINFO <CPCINFO@nola.gov>

Cc Charles C Rowe <Charles.Rowe@nola.gov>

Received. Please note your comments will be placed in the respective file for this case.

Thank you,

Mitchell S. Kogan

he/him/his

City Planner | New Orleans City Planning Commission

Office of Business and External Services

1300 Perdido Street, 7th Floor | New Orleans, LA 70112

(504) 658-7004 (office) | mitchell.kogan@nola.gov

Please be advised that all email correspondence is subject to the state's public records laws.

RESOURCES:

[Frequently asked questions](#)

[Application forms](#)

[Property Viewer](#) (check the zoning of a property)

[Comprehensive Zoning Ordinance](#)

[One Stop App](#)

From: Tori Emmerling <temmerling@labordesiegel.com>

Sent: Wednesday, August 13, 2025 1:52 PM

To: CPCINFO <CPCINFO@nola.gov>

Cc: Charles C Rowe <Charles.Rowe@nola.gov>

Subject: DR051-25—1530 Broadway/7204 Birch

I oppose the design of 1530 Broadway/7204 Birch as wildly improper urban planning. It overly increases density in general and disproportionately to the surrounding area. It also exacerbates the problem by removing off street parking. To the extent the parking element is premised on making an affordable unit available, the requesting party should be required to afford parking unless and until the requesting party enters into a binding and legal document with the City that can be enforced and to which it can be bound.

Victoria E. Emmerling

Member

LABORDE SIEGEL LLC

New Orleans | Houston | Biloxi

Direct Dial: 504-654-1315

Facsimile: 504-561-1011

www.labordesiegel.com

Re: DR051-25—1530 Broadway/7204 Birch

From Mitchell S Kogan <Mitchell.Kogan@nola.gov>

Date Thu 8/14/2025 10:41 AM

To m claudia garofalo <claudiagarofalo@gmail.com>; CPCINFO <CPCINFO@nola.gov>

Cc Charles C Rowe <Charles.Rowe@nola.gov>

Received. Please note your comments will be placed in the respective file for this case.

Thank you,

Mitchell S. Kogan

he/him/his

City Planner | New Orleans City Planning Commission

Office of Business and External Services

1300 Perdido Street, 7th Floor | New Orleans, LA 70112

(504) 658-7004 (office) | mitchell.kogan@nola.gov

Please be advised that all email correspondence is subject to the state's public records laws.

RESOURCES:

[Frequently asked questions](#)

[Application forms](#)

[Property Viewer](#) (check the zoning of a property)

[Comprehensive Zoning Ordinance](#)

[One Stop App](#)

From: m claudia garofalo <claudiagarofalo@gmail.com>

Sent: Wednesday, August 13, 2025 4:12 PM

To: CPCINFO <CPCINFO@nola.gov>

Cc: Charles C Rowe <Charles.Rowe@nola.gov>

Subject: DR051-25—1530 Broadway/7204 Birch

Hello,

I oppose the design of 1530 Broadway/7204 Birch because it increases density while removing off-street parking—just five blocks from Tulane University. There is no evidence that the developer's other SMFA buildings are rented appropriately; in fact, all the evidence points to the contrary. What is the State Fire Marshal's opinion of these developments? We need the answer to this question. This is not responsible urban planning which is one of the reasons I am opposing this design.

Thank you.

Sincerely,

Claudia Garofalo
922 Adams St 70118

Re: DR051-25. 1530 Broadway/7204 Birch

From Mitchell S Kogan <Mitchell.Kogan@nola.gov>

Date Wed 8/13/2025 2:10 PM

To Mary Fanning Horaist <m.horaist@gmail.com>; CPCINFO <CPCINFO@nola.gov>

Cc Charles C Rowe <Charles.Rowe@nola.gov>

Received. Please note your comments will be placed in the respective file for this case.

Thank you,

Mitchell S. Kogan

he/him/his

City Planner | New Orleans City Planning Commission

Office of Business and External Services

1300 Perdido Street, 7th Floor | New Orleans, LA 70112

(504) 658-7004 (office) | mitchell.kogan@nola.gov

Please be advised that all email correspondence is subject to the state's public records laws.

RESOURCES:

[Frequently asked questions](#)

[Application forms](#)

[Property Viewer](#) (check the zoning of a property)

[Comprehensive Zoning Ordinance](#)

[One Stop App](#)

From: Mary Fanning Horaist <m.horaist@gmail.com>

Sent: Wednesday, August 13, 2025 1:59 PM

To: CPCINFO <CPCINFO@nola.gov>

Cc: Charles C Rowe <Charles.Rowe@nola.gov>

Subject: DR051-25. 1530 Broadway/7204 Birch

I oppose the design of 1530 Broadway/7204 Birch as increasing density while removing off-street parking—just five blocks from Tulane University. There is no evidence that the developer's other SMFA buildings are rented appropriately; in fact, all the evidence points to the contrary.

What is the State Fire Marshal's opinion of these developments?

This is not responsible urban planning. It is also an insult to the community surrounding Tulane which suffers more and more as a result of overbuilding and non-compliance with required parking spaces, using bogus "affordable

housing units" as a get-around, when, in fact, no one has yet to PROVE that there are such. Even still, one affordable housing unit hardly excuses the lack of parking spaces which, otherwise, would have been required.

Ludicrous.

Please do not allow this.

Mary Fanning Horaist

Re: DR051-25—7204 Birch four-plex escal

From Mitchell S Kogan <Mitchell.Kogan@nola.gov>

Date Thu 8/14/2025 10:41 AM

To CPCINFO <CPCINFO@nola.gov>; Debra Howell <dhowellnola@yahoo.com>

Cc Charles C Rowe <Charles.Rowe@nola.gov>

Received. Please note your comments will be placed in the respective file for this case.

Thank you,

Mitchell S. Kogan

he/him/his

City Planner | New Orleans City Planning Commission

Office of Business and External Services

1300 Perdido Street, 7th Floor | New Orleans, LA 70112

(504) 658-7004 (office) | mitchell.kogan@nola.gov

Please be advised that all email correspondence is subject to the state's public records laws.

RESOURCES:

[Frequently asked questions](#)

[Application forms](#)

[Property Viewer](#) (check the zoning of a property)

[Comprehensive Zoning Ordinance](#)

[One Stop App](#)

From: Debra Howell <dhowellnola@yahoo.com>

Sent: Wednesday, August 13, 2025 4:54 PM

To: CPCINFO <CPCINFO@nola.gov>

Cc: Charles C Rowe <Charles.Rowe@nola.gov>

Subject: DR051-25—7204 Birch four-plex escal

To the DAC,

While this project, on paper, may meet the minimal “Building Design Standards” set out in Article 11, Section 11.B.3., it doesn’t change the fact that the completed structure, if allowed to proceed, will be grossly out-of-scale with the surrounding area, both in scale and in density. They are proposing altering this structure from four 1 bedroom/1 bath dwelling units into four units with 3-4 bedrooms and 2-3 baths in each unit, for a total of 12-14 bedrooms on one lot. 4-bedroom units may not be what their plans show, but that has never stopped them from building them.

And nothing changes the fact that if this design is passed, it will reward a set of scofflaw developers well-known for thumbing their noses at our zoning laws.

Please do not reward this developer and consultant team in any way for yet another farcical affordable housing project that will never materialize as affordable housing, and will only become yet another nuisance private dormitory. I refer to two previous "so-called SMFA" projects of theirs, 7417 Burthe and 1808 Lowerline, which have been operational and earning high dorm-rate rents for more than a year, without ever receiving their Certificates of Occupancy, and without ever renting their so-called "affordable unit" to qualified affordable tenants, as the law requires.

Thank you.

Debra Howell

Re: DR051-25—1530 Broadway/7204 Birch

From Mitchell S Kogan <Mitchell.Kogan@nola.gov>
Date Thu 8/14/2025 10:41 AM
To Jay Seastrunk <jay.seastrunk@icloud.com>; CPCINFO <CPCINFO@nola.gov>
Cc Charles C Rowe <Charles.Rowe@nola.gov>

Received. Please note your comments will be placed in the respective file for this case.

Thank you,

Mitchell S. Kogan

he/him/his

City Planner | New Orleans City Planning Commission
Office of Business and External Services
1300 Perdido Street, 7th Floor | New Orleans, LA 70112
(504) 658-7004 (office) | mitchell.kogan@nola.gov

Please be advised that all email correspondence is subject to the state's public records laws.

RESOURCES:

[Frequently asked questions](#)

[Application forms](#)

[Property Viewer](#) (check the zoning of a property)

[Comprehensive Zoning Ordinance](#)

[One Stop App](#)

From: Jay Seastrunk <jay.seastrunk@icloud.com>
Sent: Wednesday, August 13, 2025 4:15 PM
To: CPCINFO <CPCINFO@nola.gov>
Cc: Charles C Rowe <Charles.Rowe@nola.gov>
Subject: DR051-25—1530 Broadway/7204 Birch

Good Afternoon,

I oppose the design of 1530 Broadway/7204 Birch as increasing density while removing off-street parking—just five blocks from Tulane University.

The SMFA designation is being used once again to densify and transitize what were once stable 1 and 2 family properties with long term residents - it houses technically qualified “low income” college students whose families likely pay their rent on their behalf - not really solving the housing “crises” nor improving the quality of the neighborhood. It is in fact the opposite - is taking once affordable one and two family dwellings out of commerce while making the highest and best use zoning subsidized student housing to maximize rental dollars per square foot for off site non resident investors.

Please oppose this application.

Best Regards,

Jay Seastrunk
921 Henry Clay Ave
New Orleans, LA 70118

As per application images:
Before - typical of the neighborhood:



After: A utilitarian housing block

