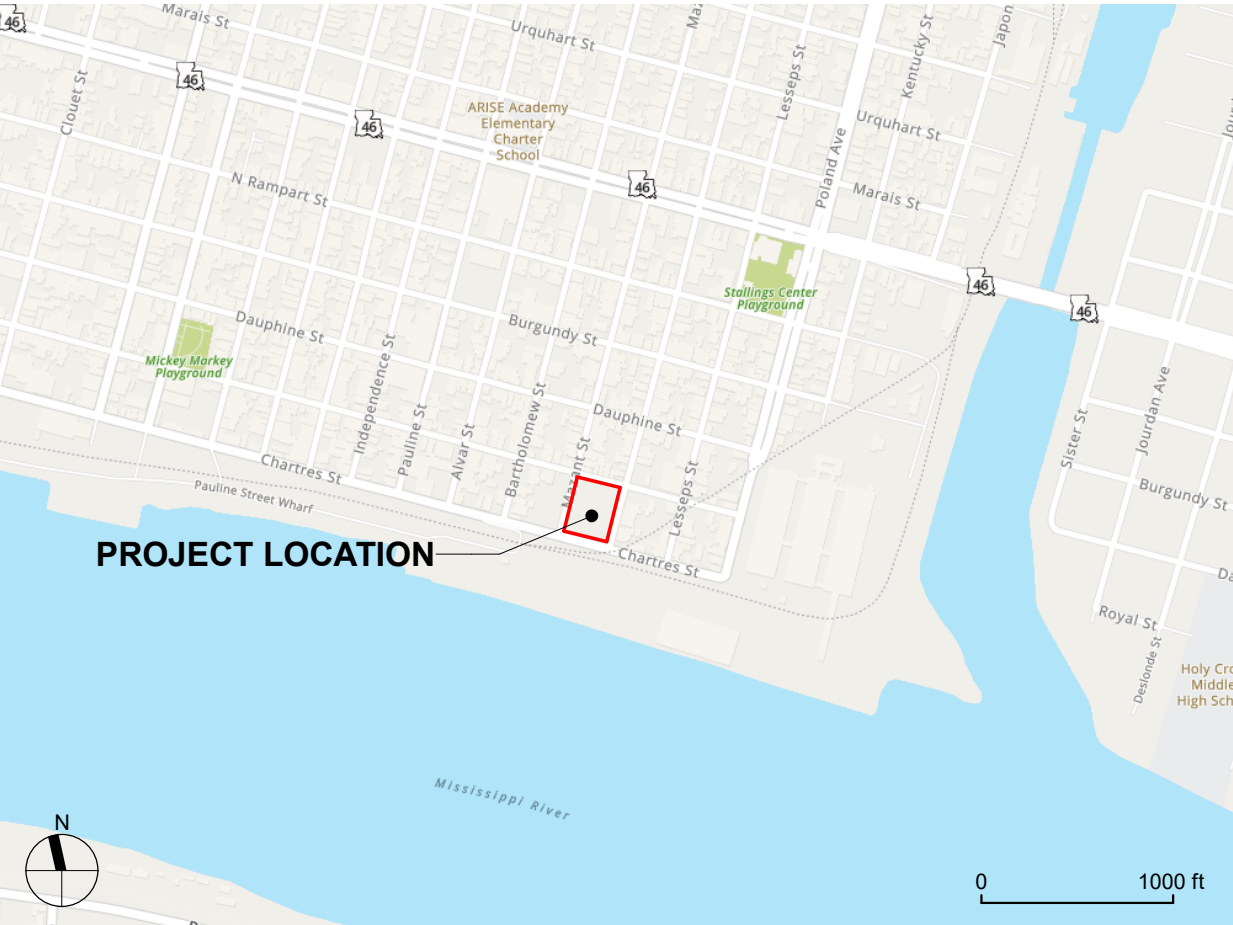


MAZANT ROYAL
4100 ROYAL STREET, NEW ORLEANS, LA 70117
(DEVELOPMENT SET 10-18-2024)

VICINITY MAP



SHEET LIST

NO.	SHEET NAME	ISSUE DATE	REVISION DATE
1 - GENERAL			
0001	TITLE SHEET	10/18/24	
2 - CIVIL			
C0.0	SITE SURVEY	10/18/24	
C1.0	DRAINAGE PLAN	10/18/24	
C2.0	CIVIL DETAILS	10/18/24	
C2.1	CIVIL DETAILS	10/18/24	
3 - ARCHITECTURAL SITE PLAN			
A202	ARCHITECTURAL SITE PLANS	10/18/24	
A203	SITE DETAILS	10/18/24	
3.5 - ARCHITECTURAL			
A300	EXTERIOR BUILDING ELEVATIONS - CHARTRES/MAZANT	10/18/24	
A301	EXTERIOR BUILDING ELEVATIONS - FRANCE/ROYAL	10/18/24	
4 - LANDSCAPE			
L201	MATERIALS & PLANTING PLAN GROUND LEVEL	10/18/24	
L511	IRRIGATION PLAN	10/18/24	
L550	PLANTING SCHEDULE	10/18/24	
L591	PLANTING DETAILS	10/18/24	
L901	SURFACE DETAILS	10/18/24	
L920	SITE FURNISHINGS DETAILS	10/18/24	
L932	PLAYGROUND DETAILS	10/18/24	
SP100	TREE PROTECTION PLAN	10/18/24	
SP900	TREE PROTECTION DETAIL	10/18/24	
5 - LIGHTING			
E100	SITE PHOTOMETRICS PLAN	10/18/24	

PLANNING SUMMARY

EXISTING ZONING: HMC-1 & HMC-2 (HISTORIC MARGINY/TREME/BYWATER COMMERCIAL DISTRICT)
EXISTING LAND USE: VACANT
LOCAL HISTORIC DISTRICT: BYWATER
ADJACENT ZONING: A4, ISPUD, B1
ACREAGE: 1.7812 ACRES
LOT NUMBER: H-1
PROPOSED NUMBER OF RESIDENTIAL UNITS: 82
BUILDING HEIGHT: 47'-6" MAXIMUM
NO. OF BUILDING STORIES: 4
PROPOSED USE: MEDIUM DENSITY RESIDENTIAL
FLOOD ZONE: X

PARCEL ID NUMBERS

LOT NUMBER	GEOPIN NUMBER
LOT H-1	41187017

PROJECT DIRECTORY

DEVELOPER/OWNER	ARCHITECT	LANDSCAPE ARCHITECT	M.E.P. ENGINEER	CIVIL/STRUCTURAL ENGINEER
BYWATER HOUSING PARTNERS II, LLC 235 SOUTH 14TH STREET BATON ROUGE, LA 70802 PHONE: 225-224-3363 PROJECT CONTACT: WILL MOYERS	DYKE NELSON ARCHITECTURE, LLC 235 SOUTH 14TH STREET BATON ROUGE, LA 70802 PHONE: 504-219-8991 PROJECT CONTACT: DYKE NELSON LAQUINTON NIMOX	SPACKMAN MOSSOP MICHAELS 1824 SOPHIE WRIGHT PLACE NEW ORLEANS, LA 70130 PHONE: 504-219-8991 PROJECT CONTACT: EMILY BULLOCK	TLC ENGINEERING SOLUTIONS 201 ST CHARLES AVENUE SUITE 4318 NEW ORLEANS, LA 70170 PHONE: 504-777-0040 FAX: 504-488-0924 PROJECT CONTACT: VINCE M. REA, P.E.	MORPHY MAKOSFSKY, INC. 336 N. NORMAN C FRANCIS PKWY NEW ORLEANS, LA 70119 PHONE: 504-488-1317 FAX: 504-488-0924

CITY PLANNING COMMISSION PLANNED DEVELOPMENT PROVISO

1. THE DEPARTMENT OF SAFETY AND PERMITS SHALL ISSUE NO BUILDING PERMITS OR LICENSES FOR THIS PROJECT UNTIL FINAL DEVELOPMENT PLANS ARE APPROVED BY THE CITY PLANNING COMMISSION AND RECORDED WITH THE OFFICE OF CONVEYANCES. FAILURE TO COMPLETE THE PLANNED DEVELOPMENT PROCESS BY PROPERLY RECORDING PLANS WITHIN ONE YEAR OR FAILURE TO REQUEST AN ADMINISTRATIVE EXTENSION AS PROVIDED FOR IN ARTICLE 4, SECTION 4.4.1.2 OF THE COMPREHENSIVE ZONING ORDINANCE WILL VOID THE PLANNED DEVELOPMENT APPROVAL.	5. IN ACCORDANCE WITH ARTICLE 23, SECTION 23.13.A OF THE COMPREHENSIVE ZONING ORDINANCE, THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INDICATE THE LOCATION OF THE TRASH RECEPTACLE WHICH MAY BE WITHIN AN ENCLOSED STRUCTURE OR SCREENED BY A SEVEN FOOT (7') OPAQUE FENCE WITH LATCHING GATES. AT NO TIME, EXCEPTING TRASH COLLECTION DAYS, SHALL TRASH BE STORED AS TO BE VISIBLE FROM THE PUBLIC RIGHTS-OF-WAY.	11. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL BE IN ACCORDANCE WITH ALL AFFORDABLE HOUSING REQUIREMENTS OUTLINED IN ARTICLE 5, SECTION 5.10 OF THE COMPREHENSIVE ZONING ORDINANCE.	THE CITY'S CATCH BASINS AND STORM DRAINS. THE DEVELOPER SHALL IMPLEMENT AND CONFORM TO THE APPROVED SWPPP PLAN AND SECTION 28-15 OF THE CODE OF THE CITY OF NEW ORLEANS THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED.
2. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INCLUDE A LANDSCAPING PLAN THAT COMPLIES WITH ARTICLE 23 OF THE COMPREHENSIVE ZONING ORDINANCE. THE LANDSCAPE PLAN SHALL BE PREPARED BY A LICENSED LOUISIANA LANDSCAPE ARCHITECT. THIS LANDSCAPE PLAN SHALL INCLUDE THE FOLLOWING: A. THE GENUS, SPECIES, SIZE, LOCATION, QUANTITY, AND IRRIGATION OF ALL EXISTING AND PROPOSED PLANT MATERIALS WITHIN BOTH THE COMMON AREAS AND THE PUBLIC RIGHTS-OF-WAY. B. COMPLIANCE WITH ARTICLE 23, SECTION 23.11 PARKWAY TREES AND SHALL REQUIRE THE APPROVAL OF THE DEPARTMENT OF PARKS AND PARKWAYS. C. ANY TREE REMOVED FROM THE SITE SHALL BE REPLACED CALIPER FOR CALIPER IN PARTNERSHIP WITH A LOCAL REFORESTATION NON-PROFIT WITHIN OR IN THE VICINITY OF THE NEIGHBORHOOD IN THE PUBLIC RIGHT-OF-WAY SUBJECT TO THE STAFF OF THE CITY PLANNING COMMISSION AND DEPARTMENT OF PARKS AND PARKWAYS. D. IN ACCORDANCE WITH ARTICLE 23, SECTION 23.2 ENFORCEMENT AND LANDSCAPE PROVISIONS THE LANDSCAPE ARCHITECT SHALL CERTIFY THAT THE LANDSCAPE PLAN WAS INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.	6. THE DEVELOPER SHALL REPLACE AND/OR REPAIR THE SIDEWALK ADJACENT TO THE SUBJECT SITE. THE DEVELOPER SHALL SECURE THE APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS FOR ANY IMPROVEMENTS TO THE ADJACENT PUBLIC RIGHT-OF-WAY, INCLUDING SIDEWALKS, CURBING, AND CURB CUTS, AND ANY OTHER MODIFICATIONS TO THE SURROUNDING PUBLIC RIGHTS OF WAY.	12. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL SUBMIT A REGULATORY AGREEMENT THAT HAS BEEN SIGNED BY THE OWNER OF THE PROPERTY AND RECORDED IN THE OFFICE OF CONVEYANCES, SUBJECT TO THE REVIEW OF THE STAFF OF THE CITY PLANNING COMMISSION AND CHIEF ZONING OFFICIAL.	21. 21. THE DEVELOPER SHALL: A. ENSURE THAT PUBLIC SIDEWALKS ADJACENT TO THE DEVELOPMENT ARE CLEAN AND MAINTAINED IN A REASONABLE AND SAFE CONDITION. B. REPAIR ANY DAMAGE TO THE ADJACENT STREETS CAUSED BY THE DEVELOPMENT'S CONSTRUCTION, AS DETERMINED BY THE DEPARTMENT OF PUBLIC WORKS. C. WITHIN TWO YEARS OF BEING ISSUED THEIR CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PAY FOR A CROSSWALK AND BUTTON ACTIVATED FLASHING LIGHT WITH SIGNAGE TO CROSS CHARTRES STREET IN THE 4100 BLOCK, IF REQUIRED BY THE DEPARTMENT OF PUBLIC WORKS.
3. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INDICATE THE TYPE, LOCATIONS, AND HEIGHT OF ANY AND ALL EXTERIOR LIGHTING. ANY PROPOSED EXTERIOR LIGHTING SHALL COMPLY WITH STANDARDS OF ARTICLE 21, SECTION 21.5 OF THE COMPREHENSIVE ZONING ORDINANCE.	7. THE DEVELOPER SHALL WORK WITH THE REGIONAL TRANSIT AUTHORITY AND THE DEPARTMENT OF PUBLIC WORKS TO ESTABLISH A COVERED TRANSIT STOP ADJACENT TO THE SUBJECT SITE AT THE MAZANT AND CHARTRES STREETS CORNER OR OTHER SUITABLE LOCATIONS. IN ADDITION TO BEING COVERED, THE DEVELOPER SHALL WORK WITH THE RTA AND DPW TO ENSURE PEDESTRIAN SAFETY IS INCORPORATED INTO THE DESIGN OF THE TRANSIT STOPS AS WELL AS ACCESS TO AND FROM THE STOP IS CONSIDERED. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INCLUDE THIS INFORMATION.	13. THE DEVELOPMENT SHALL BE LIMITED TO A MAXIMUM OF FOUR-STORIES, BUT ON THE PORTION OF THE DEVELOPMENT FRONTING ROYAL AND FRANCE STREETS, THE HEIGHT SHALL BE INITIALLY LIMITED TO TWO STORIES WITH THE PERMISSIBLE THIRD AND FOURTH STORIES STEPPED BACK, AS DEPICTED ON THE PLANS DATED OCTOBER 16TH, 2019. ANY CHANGE IN HEIGHT OR NUMBER OF STORIES AND ANY ADDITIONAL EXCEPTIONS SHALL REQUIRE AN AMENDMENT TO THE PLANNED DEVELOPMENT ORDINANCE.	22. THE DEVELOPER SHALL PROVIDE A 24-HOUR PHONE REPORTING SERVICE TO ADDRESS COMPLAINTS BY RESIDENTS OF THE DEVELOPMENT.
4. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INDICATE TYPE, LOCATION, SIZE, AND MATERIALS OF ALL SIGNAGE. ALL SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 24 OF THE COMPREHENSIVE ZONING ORDINANCE, SUBJECT TO THE REVIEW AND APPROVAL OF THE CITY PLANNING COMMISSION STAFF.	8. THE DESIGN OF VEHICLE PARKING SPACES, DRIVEWAYS, AND CURB CUTS SHALL COMPLY WITH THE REQUIREMENTS AS SET FORTH IN ARTICLE 22, SECTION 22.8 AND ARTICLE 22, SECTION 22.1 OF THE COMPREHENSIVE ZONING ORDINANCE.	14. IN CONSULTATION WITH THE DEPARTMENT OF PUBLIC WORKS, THE DEVELOPMENT SHALL PROVIDE FOR VEHICULAR INGRESS AND EGRESS ONLY ON CHARTRES STREET. THE DEVELOPMENT MAY HAVE VEHICULAR INGRESS ON MAZANT STREET. NO VEHICULAR INGRESS OR EGRESS SHALL BE PERMITTED ON ROYAL STREET OR FRANCE STREET.	23. THE DEVELOPMENT SHALL BE CERTIFIED TO MEET ENTERPRISE GREEN COMMUNITY STANDARDS AS PRESCRIBED BY DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT REGULATIONS.
	9. WHETHER THE DEVELOPER PROPOSES PERMEABLE PAVING IN THE PARKING LOT OR IS REQUIRED TO PROVIDE IT IN ORDER TO FULFILL STORMWATER MANAGEMENT REQUIREMENTS, THE DEVELOPMENT OF THE PARKING LOT SHALL BE SUBJECT TO THE PAYING REQUIREMENTS OF SECTION 121.7 OF THE BUILDING CODE, SUBJECT TO REVIEW BY THE DEPARTMENT OF SAFETY AND PERMITS STORMWATER WATER AND THE STAFF OF THE CITY PLANNING COMMISSION.	15. HVAC AND OTHER VENTILATION SYSTEMS SHALL BE SCREENED FROM THE RIGHT-OF-WAY AND BE POSITIONED TO MITIGATE VISUAL CLUTTER AND SOUND IMPACTS ON THE NEIGHBORHOOD.	
	10. THE PLANS SUBMITTED TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL SHALL INDICATE THE INSTALLATION OF FIVE (5) SHORT-TERM BICYCLE PARKING SPACES AND TWENTY-TWO (22) LONG-TERM BICYCLE SPACES, AS SET FORTH IN ARTICLE 22, SECTION 22.6 (TABLE 22-1) OF THE COMPREHENSIVE ZONING ORDINANCE. THE DESIGN OF THE BICYCLE PARKING SPACES SHALL COMPLY WITH REQUIREMENTS AS SET FORTH IN ARTICLE 22, SECTION 22.9 OF THE COMPREHENSIVE ZONING ORDINANCE. WHEN SUBMITTING PLANS TO THE CITY PLANNING COMMISSION FOR FINAL APPROVAL, THE DEVELOPER SHALL PROVIDE DOCUMENTATION OF ALL REQUIRED APPROVALS BY THE DEPARTMENT OF PUBLIC WORKS FOR ANY BICYCLE SPACES LOCATED IN THE PUBLIC RIGHT-OF-WAY.	16. THE DEVELOPER SHALL MONITOR VIBRATION THROUGHOUT THE CONSTRUCTION PROCESS TO ENSURE THE PRESCRIBED LEGAL LIMITS ARE NOT EXCEED DURING CONSTRUCTION.	
		17. EXISTING TREES SHALL BE PROTECTED AND PRESERVED TO THE EXTENT PRACTICAL.	
		18. DURING CONSTRUCTION, THE DEVELOPER SHALL PROVIDE OFF-STREET PARKING FOR CONSTRUCTION VEHICLES AND PERSONAL VEHICLES OF CONSTRUCTION WORKERS AND SHALL, IN ANY EVENT, ATTEMPT TO MITIGATE THE EFFECTS OF CONSTRUCTION VEHICLES ON PARKING AVAILABILITY IN THE SURROUNDING NEIGHBORHOOD.	
		19. THE DEVELOPER SHALL MAKE ALL REASONABLE EFFORTS TO LIMIT THE TEMPORARY CLOSURES OF ADJACENT PUBLIC RIGHT-OF-WAYS DURING THE CONSTRUCTION PROCESS. NO FENCING, SCAFFOLDING, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN ANY ADJACENT PUBLIC RIGHTS-OF-WAY UNLESS AUTHORIZED AND APPROVED BY THE CITY.	
		20. THE DEVELOPER SHALL SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF SAFETY AND PERMITS, FOR PREVENTING CONSTRUCTION SITE MATERIALS RUNOFF, INCLUDING CEMENT, CONCRETE, MUD, SAND, DIRT, OR OTHER DEBRIS, FROM ENTERING	





[illegible]

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST		<input checked="" type="checkbox"/> M <input type="checkbox"/> MAJORITARIAN <input type="checkbox"/> OPTIONAL POINTS	
4100 Royal - New Orleans, LA			
INTEGRATIVE DESIGN <i>(continued)</i>			
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	18	Realistic Communities: Multi-Hazard/Vulnerability Assessment Conduct a four-part assessment (social, physical, functional, strategic) to identify critical risk factors of your property and implement at least two sets of strategies to enable the project to adapt to and mitigate climate-related or seismic risks. See the criteria for more guidance.	10 pts
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	8	Resilient Communities: Strengthening Cultural Processes Integrate community and resident participation in the development processes so that the built environment honors cultural identities, resident voices, and community histories. Option 1: Complete a Cultural Awareness Assessment OR Option 2: Convene a Cultural Advisory Group	10 pts
SUBTOTAL, OPTIONAL POINTS			
5. LOCATION & NEIGHBORHOOD FABRIC			
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	21	Access to Site Protection All projects must: 1. Protect floodplain functions (e.g. storage, habitat, water quality) by limiting new development within the 100-year floodplain of all types of watercourses. 2. Conserve and protect aquatic resources, including wetlands and deepwater habitats, that provide critical ecosystem functions for fish, other wildlife, and people. 3. Protect ecosystem function by avoiding the development of areas that contain habitat for plant and animal species identified as threatened or endangered. 4. Conserve the most productive agricultural soils by protecting prime farmland, unique farmland and farmland of statewide or local importance. If your site contains any of these ecologically sensitive features, follow the specific Requirements under that subheading.	2 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	2.2	Connection to Existing Development and Infrastructure <i>(Minimum for New Construction projects that do not qualify as Rural/Suburban Town)</i> Locate the project on a site with access to existing roads, water, sewer, and other infrastructure and within or contiguous to Thruway at least 25% of the perimeter boundary) existing development. Connect the project to the existing pedestrian network. For sites over 5 acres, provide connections to the adjacent street network at least every 800 feet. Tie all planned bike paths to existing bike paths.	2 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	2.3	Compact Development <i>(Minimum for New Construction)</i> At a minimum, build the residential density (dwelling units/acre) of the census block zone where the project is located. In Rural/Suburban Town locations that do not have zoning requirements, build to a minimum net density of 5 units per acre for single-family houses; 10 units per acre for multifamily buildings, single- and two-story; and 15 units per acre for multifamily buildings greater than two stories.	2 pts
4			
2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST			
<input checked="" type="checkbox"/> M <input type="checkbox"/> MAJORITARIAN <input type="checkbox"/> OPTIONAL POINTS			
4100 Royal - New Orleans, LA			
OPERATING ENERGY <i>(continued)</i>			
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	8	5.3b. Moving to Zero Energy: Renewable Energy Install renewable energy source to provide a specified percentage of the projects estimated source energy demand. See full criteria for details and scope. Option 1: For percentage of total project energy consumption provided by renewable energy OR Option 2: For percentage of common area meter energy consumption provided by renewable energy	8 pts
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	24	6.4. Achieving Zero Energy: Additional Qualification for Enterprise Green Communities Certification Phase 2 <i>(Not available for projects following Criteria 5.3b, 5.3c, or 5.4b)</i> Projects in C2-4s following this criterion must also comply with Criterion 7b. Achieve Zero Energy performance through one of the following options: Option 1: Certify each building in the project as DOE Zero Energy Ready Home program or PHI Plus AND either install renewables and/or capture renewable energy which in turn will provide as much, or more, energy in a given year than the project is modeled to consume. OR Option 2: Certify each building in the project in a program that requires zero energy consumption such as PHUS, Zero Energy, PHI Plus, PHI Premium, LEZ's Zero Energy Detail, Zero Carbon Path, or Living Building Challenge.	8 pts
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	5	5.5a. Moving to Zero Carbon: All-Electric Ready Develop a plan to ensure that the project is ready to accommodate all-electric equipment. Ensure the project has adequate electric service and has been designed and wired to allow for a seamless switch to electricity as a fuel source in the future for the following uses: space heating (HVAC), space cooling (HVAC), water heating (DHW), clothes dryer (DYE), equipment for cooking (COOK).	5 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	15	5.5b. Moving to Zero Carbon: All-Electric <i>(Not available for projects following Criterion 5.5a)</i> No on-site equipment used as part of the building project; the project is all-electric.	15 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	5	5.6. Sizing of Heating and Cooling Equipment <i>(Mandatory for Substantial and Moderate Renovation Projects)</i> Size and select heating and cooling equipment in accordance with ACCA manuals J and S OR in accordance with the ASHRAE Handbook of Fundamentals.	5 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	7	ENERGY STAR Appliances <i>(Mandatory for Substantial and Moderate Renovation projects; not necessary for Enterprise Green Communities)</i> Install ENERGY STAR (either water heaters, dishwashers, and refrigerators. If appliances will not be installed or replaced at this time, specify that at the time of installation or replacement, ENERGY STAR models must be used as Criterion 8 and Criterion 6.4.	7 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	8	5.8. Lighting <i>(Mandatory for all projects within New Construction and Substantial Renovation projects)</i> Develop a manual with building operations and maintenance (O&M) guidance and a complementary plan. The manual and plan should be developed over the course of the project design, development, and construction stages, and should include sections/chapters addressing the list of topics: • communication plans for staff and residents • useful contact information for public utility and other service providers • infrastructure and building "shutdown" procedures • plan for regular testing of backup systems, if these exist	8 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	6.3	Resident Manual Provide a guide for homeowners and renters that explains the resident benefits, uses, and maintenance of their "home's green features and practices. The Resident Manual should encourage green and healthy activities per the list of topics.	6 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	6.4	Walk-Throughs and Orientation to Property Provide a comprehensive walk-through and orientation for all residents, property manager(s) and buildings operations staff.	6 pts
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAJORITARIAN	8.5	Energy and Water Data Collection and Monitoring For rental properties, update project energy and water performance data in an online utility benchmarking platform annually for at least five years from date of construction completion per one of the four methods provided: grant, Enterprise view access for that period. For owner-occupied units, collect and monitor utility data in a manner that allows for easy access and review.	8 pts
SUBTOTAL, OPTIONAL POINTS			
50 pts			
TOTAL OPTIONAL POINTS			

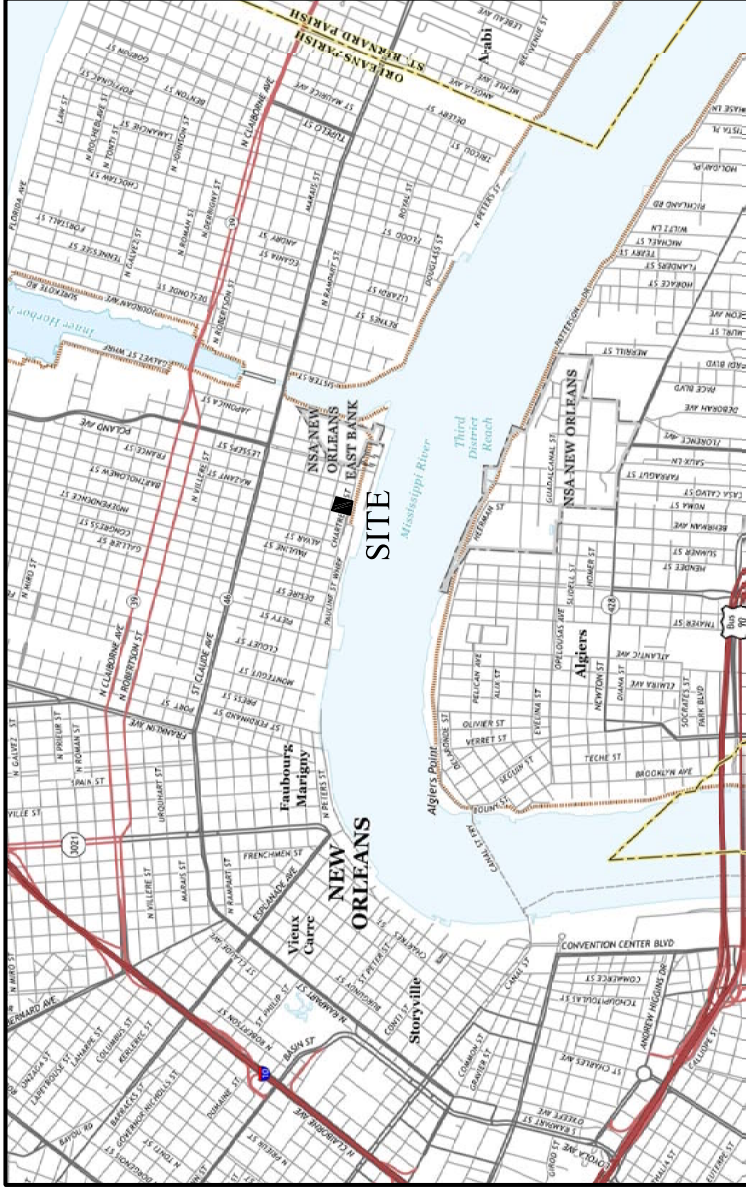
2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST			M = MANDATORY B = OPTIONAL POINTS
4100 Royal - New Orleans, LA			
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE	5 or 7	2.4 Compact Development Exceed the residential density (dwelling units/acre) of the census block group in which your project is located. Exceeded by 2x for [] points; exceeded by 3x for [] points. In Rural/Tribal/Small Towns that do not have zoning requirements, build to a minimum net density of 15 units per acre for single-family houses, 15 units per acre for multifamily buildings, single and two-story; and 20 units per acre for multifamily buildings greater than two stories. [] points	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE	M	2.5 Proximity to Services and Community Resources (Mandatory for New Construction) Locate the project within a 0.5-mile walk distance of at least four or a 1-mile walk distance of at least seven of the listed services. For projects that qualify as Rural/Tribal/Small Town, locate the project within 5 miles of at least five of the listed services.	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE	M	2.6 Preservation of and Access to Open Space for Rural/Tribal/Small Town <i>(Mandatory for New Construction)</i> Option 1: Locate the project within a 0.5-mile walk distance of dedicated public open space that is a minimum of 0.75 acres; at least 80% of which unpaved. OR Option 2: Set aside a minimum of 10% (minimum of 0.25 acres) of the total project acreage as open and accessible to all residents; at least 80% of which unpaved. OR Option 3: Set aside a percentage of permanent open space for use by all residents; at least 80% of which unpaved. 20% (2 points); 30% (3 points); 40% + written statement of preservation/conservation policy [] points.	
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE	6 max	2.7 Preservation of and Access to Open Space Option 1: Locate the project within a 0.5-mile walk distance of dedicated open space that is a minimum of 0.75 acres; at least 80% of which unpaved. OR Option 2: Set aside a percentage of permanent open space for use by all residents; at least 80% of which unpaved. 20% (2 points); 30% (3 points); 40% + written statement of preservation/conservation policy [] points.	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE	M	2.8 Access to Transit (Mandatory for New Construction projects that do not qualify as Rural/Tribal/Small Town; Optional for all other project types). Mandatory: New Construction, not Rural/Tribal/Small Town Locate projects within a 0.5-mile walk distance of transit services (bus, rail and/or ferry), constituting at least 45 or more transit rides per weekday, with some types of weekend service. [] points Optional: New Construction, not Rural/Tribal/Small Town Locate the project along dedicated bike trails or lanes (Class I, II, or IV) that lead to high-quality transit services (100 trips per day) within 3 miles. [] points 2, 6, 8 Optional: Rehabilitation, not Rural/Tribal/Small Town Locate projects within a 0.5-mile walk distance of public transit services (bus, rail and/or ferry), constituting at least 45 or more transit rides per weekday, with some type of weekend service. [] points Optional: Rehabilitation, not Rural/Tribal/Small Town Locate the project along dedicated bike trails or lanes (Class I, II, or IV) that lead to high-quality transit services (100 trips per day) within 3 miles. [] points Optional: New Construction and Rehabilitation, Rural/Tribal/Small Town Locate the project within 0.5 mile walk distance of public transit services with at least 45 rides per weekday and some weekend service. OR, install at least two charging stations for electric vehicles. OR, locate the project with 5 miles of the following transit options: 1) vehicle share program; 2) bike-share program; 3) employer carpooling; 4) park-and-ride; 5) public-private transportation.	
4100 Royal - New Orleans, LA			
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE	8	5.9 Resilient Energy Systems: Floodproofing <i>(Not relevant for Rehab projects in Special Flood Hazard Areas)</i> Conduct floodproofing of lower floors, including perimeter floodproofing (barriers/shields). Design and install building systems as specified by the full criterion so that the operation of those systems will not be grossly affected in case of a flood.	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE	8	5.10 Resilient Energy Systems: Critical Loads Provide emergency power to serve at least three critical energy loads as described by the full criterion. Option 1: Installable PV system OR Option 2: Efficient generator	
	31 pts	SUBTOTAL, OPTIONAL POINTS	
6. MATERIALS			
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE	B max	6.1 Impregnet Transparency for Material Selection Install products that have publicly disclosed inventories characterized and screened to 1000 ppm or better: <ul style="list-style-type: none"> 1 point per 2 installed Declare or HFO products from at least three different product categories 1 point per 2 installed Declare or HFO products from any of these categories: adhesives, sealants, windows 1 point per each product with third-party verified HFO or third-party verified Declare label in any of these categories: adhesives, sealants, windows 2 points per each product with third-party verified HFO or third-party verified Declare label in any of these categories: adhesives, sealants, windows 	
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE	3 max	6.2 Recycled Content and Ingredient Transparency Use building products that feature, and disclose, their recycled content. The building product must make up 70% by weight or cost of a project category for the project and be composed of at least 25% post-consumer recycled content.	
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE	B max	6.3 Chemical Hazard Optimization Install products that have third-party verification of optimization to 100 ppm or better per the options listed within the full criterion.	
<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE	M	6.4 Healthier Material Selection Select interior paints, coatings, primers, and wallpaper: Interior adhesives and sealants; flooring, insulation, and composite wood as specified. Optional points also available.	
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE	12 max	6.5 Environmentally Responsible Material Selection Select concrete, steel, or insulation with a publicly disclosed EPD [] points. Install a green or cool roof [] points; use reflective paving [] points; and/or use FSC certified wood [] points. Refer to criterion for specifics.	

2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST				<input type="checkbox"/> MANDATORY <input checked="" type="checkbox"/> OPTIONAL POINTS
4100 Royal - New Orleans, LA				
LOCATION + NEIGHBORHOOD FABRIC (continued)				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			2-8	
2.3 Improving Connectivity to the Community Improve access to community amenities through at least one of the options incentivizing biking mobility or improving access to transit.				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			5 MAX	
2.10 Passive Solar Heating/Cooling Provide residents and staff with access to fresh, local foods through one of the following options: <i>Option 1:</i> Neighborhood Farms and Gardens <i>Option 2:</i> Community-Supported Agriculture <i>Option 3:</i> Proximity to Farmers Market				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			6	
2.12 Adaptive Reuse of Buildings Rehabilitate and adapt an existing structure that was not previously used as housing. Design the project to adapt, renovate, or reuse at least 50% of the existing structure and envelope.				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			2.12	
2.13 Access to Fresh, Local Foods Locate buildings within a community that is certified in LEED for Neighborhood Development, LEED for Cities and Communities, Living Community Challenge, or CITES.				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			8	
2.13 Advanced Certification: Site Planning, Design, and Management Substantial Retail Projects in Rural/Rural-Suburban Areas Demonstrate that local preference for construction employment and subcontractor hiring was part of your bidding process, and how it functioned during construction. OR Demonstrate that you achieved at least 20% local employment. OR Provide physical space for small businesses, nonprofits, and/or skills and workforce education.				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			8 MAX	
2.14 Local Economic Development and Community Wealth Creation Incorporate broadband infrastructure so that when broadband service comes to a community, the property can be easily connected. Include a network of mini-hubs or conduit throughout the building, referring from the expected communications access point to each network termination point in the building.				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			6	
2.16 Access to Broadband: Connectivity Ensure all units and common spaces in the property have broadband internet access with at least a test speed of 25/3 Mbps.				
			0 pts	
SUBTOTAL, OPTIONAL POINTS				
4100 Royal - New Orleans, LA				
MATERIALS (continued)				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			4 MAX	
6.6 Bath, Kitchen, Laundry Surfaces (Mandatory for New Construction and Substantial Renovation Projects in Rural/Rural-Suburban Areas) Incorporate broadsheet backing materials per ASTM # D 8329 or 3073 between tub/shower enclosures, apart from one-piece fiberglass enclosures which are exempt.				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			4 MAX	
Use products that were extracted, processed, and manufactured within 500 miles of the project for a minimum of 80%, based on weight or on cost, of the amount of the product category installed. Select any or all of these options (every two compliant materials can qualify for 1 point). <ul style="list-style-type: none"> Framing Caulking (eg siding, masonry roofing) Flooring Concrete/cement and aggregate Drywall/interior sheathing 				
<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			6 MAX	
6.9 Managing Moisture: Roofing and Wall Systems (Mandatory for all Renovation projects and all Renovation projects with either basement and/or crawl space foundations) Install capillary breaks and vapor retarders that meet specified criteria appropriate for the foundation type.				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			6 MAX	
6.10 Construction Waste Management Develop and implement a waste management plan that reduces non-hazardous construction and demolition waste through recycling, salvaging, or donation strategies through one of the three options. Achieve optimal points by going above and beyond the requirement.				
<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
YES	X NO	MAYBE		
			2	
6.11 Recycling Storage For projects with municipal recycling infrastructure and/or haulers, provide separate bins for the collection of trash and recycling for each dwelling unit and all shared community rooms. OR For projects without that infrastructure, advocate to the local waste hauler or municipality for regular collection of recyclables.				
			1 pts	
SUBTOTAL, OPTIONAL POINTS				

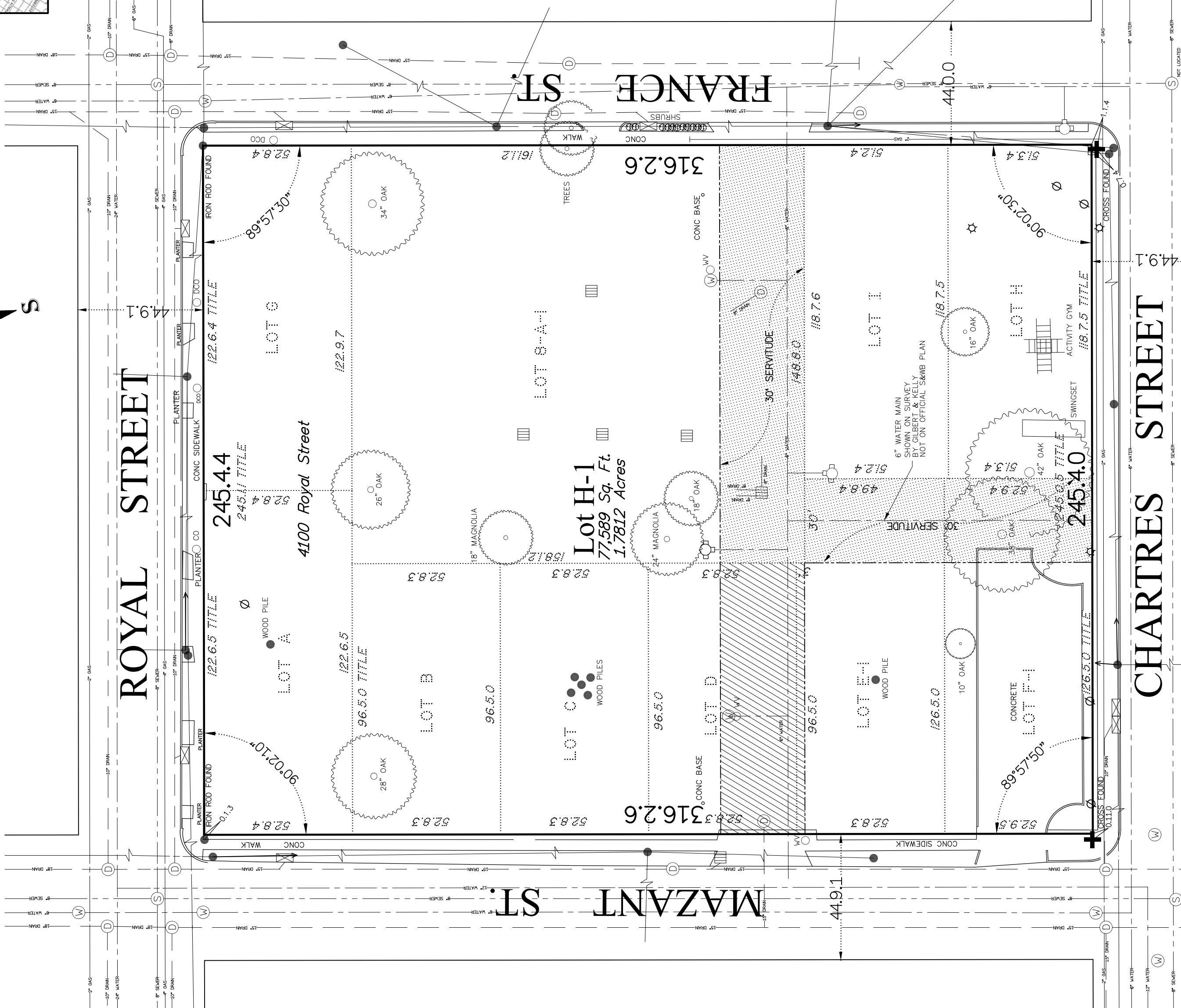
<div><div></div></div> 2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST		
4100 Royal - New Orleans, LA M = MANDATORY O = OPTIONAL		
3. SITE IMPROVEMENTS		
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	3.1 Environmental Remediation Determine whether there are any hazardous materials present on the site through one of the four methods listed. Mitigate any contaminants found. <i>(If remedial action is required, provide details below.)</i>
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	3.2 Minimization of Disturbance During Staging and Construction For sites ≥1 acre, implement EPA's National Pollutant Discharge Elimination System Stormwater Discharges from Construction Activities guidance, or local requirements, whichever is more stringent. For sites with an area ≤1-acre follow guidance or full criterion. <i>(If staging areas are used, provide details below.)</i>
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	3.3 Ecosystem Services/Landscape (<i>Mandatory if providing landscaping</i>) If providing plantings, all must be native or climate-appropriate (adapted) to the region and appropriate to the site's soil and microclimate. Do not introduce any invasive plant species. Plant seed, or otherwise add disturbed areas. <i>(Provide details below.)</i>
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	3.4 Surface Stormwater Management (<i>Mandatory for new construction and Substantial Renovation projects if final disturbance is >50,000 sq ft.</i>) Treat or retain on-site precipitation equivalent to the 60th percentile precipitation event. Where not feasible due to geotechnical issues, soil conditions, or the size of the site, treat or retain the maximum volume possible. 3.5 Surface Stormwater Management Through-on-site infiltration, evapotranspiration, and rainwater harvesting, retain precipitation volume from 70% precipitation event [B points], 80% precipitation event [B+ points], or 90% precipitation event [C points].
<input type="radio"/> YES <input checked="" type="radio"/> NO <input type="radio"/> MAYBE <input type="radio"/>	O	3.6 Efficient Irrigation and Water Reuse (<i>Mandatory if permanent irrigation is utilized</i>) If irrigation is utilized, install an efficient irrigation system per the requirements listed. 3.7 Efficient Irrigation and Water Reuse (<i>Optional if irrigation is utilized</i>) Meet the requirements of Criterion 3.6 AND: Option 1: Install an efficient irrigation system equipped with a WaterSense labeled weather-based irrigation controller (WBIC) OR Option 2: At least 50% of the site's irrigation satisfied by water reuse from the sources listed.
0 pts <small>SUBTOTAL OPTIONAL POINTS</small>		
4100 Royal - New Orleans, LA M = MANDATORY O = OPTIONAL		
7. HEALTHY LIVING ENVIRONMENT		
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	7.1 Radon Mitigation (<i>Mandatory for new construction and Substantial Renovation</i>) For new construction in EPA Zone 1 areas, install passive radon-resistant features before the slab and a vertical vent pipe with junction box within 10 feet of an electrical outlet in case an active system should prove necessary in the future. For Substantial Renovation projects in EPA Zone 1 test before and after the retrofit and mitigate per the specified protocols.
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	7.2 Reduce Lead Hazards in Pre-1978 Buildings (<i>Mandatory for Substantial Renovation Before 10/78</i>) Conduct lead-risk assessment or inspection to identify lead hazards. Control identified lead hazards using lead abatement or interim controls, using lead-safe work practices that minimize and contain dust.
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	7.3 Combustion Equipment For new Construction and Rehab projects: Specify power-vented or direct-vent equipment when installing any new combustion appliance for space or water heating that will be located within the conditioned spaces. If there are any combustion appliances within the conditioned spaces, install one hard-wired carbon monoxide (CO) alarm with battery backup function for each sleeping zone, placed per National Fire Protection Association (NFPA) 72. For Rehabs: If there is any combustion equipment located within the conditioned space for space or water heating that is not power-vented or direct-vent and that is not scheduled for replacement, conduct combustion safety testing prior to and after the retrofit, immediately as indicated.
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	7.4 Garage Isolation <ul style="list-style-type: none"> • Provide a continuous air barrier between the conditioned space and any garage space to prevent the migration of air contaminants into the living space. Visually inspect common walls and ceilings between attached garages and living spaces to ensure that they are air-sealed before insulation is installed. • Do not install ductwork or air handling equipment for the conditioned space in a garage. • Fix all connecting doors between conditioned space and garage with gaskets or make it tight. • Install one hard-wired CO alarm with battery backup function for each sleeping zone of the project, placed per NFPA 72 unless the garage is mechanically ventilated or an open parking structure.
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	7.5 Integrated Pest Management Seal all wall, floor, and joint penetrations with low-VOC caulking or other appropriate non-toxic sealing methods to prevent entry.
X YES <input type="radio"/> NO <input checked="" type="radio"/> MAYBE <input type="radio"/>	M	7.6 Smoke-Free Policy (<i>Provisional and optional</i>) Mandatory implementation and enforce a smoke-free policy in all common areas and within a 25-foot perimeter around the exterior of all residential buildings. Lease language must prohibit smoking in these locations and provide a graduated enforcement policy. Make the smoke-free policy readily available. 10 Optional: Expand the policy above to include all indoor spaces in the property.

 2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST		 B = MANDATORY M = OPTIONAL POINTS	
4100 Royal - New Orleans, LA			
<div> <div> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE </div> <div> 4 WATER </div> </div>			
<div> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 41 </div> <div> Water-Conserving Fixtures </div> </div>	<p>Reduce total indoor water consumption by at least 20% compared to baseline indoor water consumption chart. Any new toilet, showerhead, and/or lavatory faucet must be WaterSense certified. For all single family homes and all dwelling units in buildings three stories or fewer, the supply pressure may not exceed 60 psi.</p>	<div> <div> M </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 42 </div> <div> Advanced Water Conservation </div> </div>	<p>Reduce total indoor water consumption by at least 30% compared to baseline indoor water consumption chart. Any new toilet, showerhead, and/or lavatory faucet must be WaterSense certified.</p>	<div> <div> M </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 43 </div> <div> Water Quality </div> </div>	<p>Mandatory/Optional: Mandatory for Substantial Rehab of buildings built before 1980; Optional for all other building types: Reduces lead service lines (3 points)</p> <p>Mandatory: For multifamily buildings with either a cooling tower, a centralized hot water system, or 10+ stories: Develop a Legionella water management program.</p> <p>B Optional: Test and remediate air indicators for lead, rhinitis, asthma, and coliform bacteria</p>	<div> <div> M, B </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 44 </div> <div> Monitoring Water Consumption and Leaks </div> </div>	<p>Contact pressure loss tests and visual inspections to determine if there are leaks; fix leaks; AND</p> <p>Install an advanced water monitoring and leak detection system capable of identifying and shutting water off during anomalous water events.</p> <p>OR</p> <p>Install a device to separately monitor water consumption of each cold branch off the apartment line near for each dwelling unit or each cold water main and for domestic hot water cold water feed for each building or each floor that allows remote monitor readings, continuous leak-detection, boiler, hot makeup water; outdoor water consumption; and water consumption in any non-residential space.</p>	<div> <div> M </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 45 </div> <div> Efficient Plumbing Layout and Design </div> </div>	<p>Shave no more than 6.5 gallon of water in any piping/manifold between the fixture and the water heading source or recirculation line. No more than 6.6 gallon of water shall be collected from the fixture before a 15-degree Fahrenheit rise in temperature is observed. Recirculation systems must be demand-installed.</p>	<div> <div> M </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 46 </div> <div> Non-Potable Water Reuse </div> </div>	<p>Reuse no more than 10% of water and/or graywater to meet a portion of the project's non-potable water needs. 10% reuse (3 points); 20% reuse (3 points); 30% reuse (3 points); 40% reuse (3 points).</p>	<div> <div> M </div> <div> </div> </div>
<div> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 47 </div> <div> Access to Potable Water During Emergencies </div> </div>	<p>Have test, treat, and reuse system and/or other potable water in the event of an emergency that disrupts normal access to potable water, including disruptions related to power outages that prevent pumping water to upper floors in multifamily buildings or pumping of water from on-site wells, per one of the three options listed.</p>	<div> <div> M </div> <div> </div> </div>
		<div> <div> 8 pts </div> <div> </div> </div>	
		<div> <div> 8 pts </div> <div> </div> </div>	
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> SUBTOTAL, OPTIONAL POINTS </div> <div> </div> </div>		
<div> <div> 8 </div> <div> </div> </div>			
<div> <div>  2020 ENTERPRISE GREEN COMMUNITIES CRITERIA CHECKLIST </div> <div>  B = MANDATORY M = OPTIONAL POINTS </div> </div>			
4100 Royal - New Orleans, LA			
<div> <div> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE </div> <div> HEALTHY LIVING ENVIRONMENT (continued) </div> </div>			
<div> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 77 </div> <div> Ventilation (Mandatory for new Construction and Substantial Rehab; Optional for Moderate Rehab) </div> </div>	<p>For each dwelling unit in full accordance with ASHRAE 62.2-2010, install:</p> <ul style="list-style-type: none"> A local mechanical exhaust system in each bathroom (3 points if Moderate Rehab) A local mechanical exhaust system in each kitchen (3 points if Moderate Rehab) A whole-house mechanical ventilation system (3 points if Moderate Rehab) <p>Verify these flow rates are either within +/- 15 CFM or +/- 1% of design value.</p> <p>For each multifamily building of four or more stories, in full accordance with ASHRAE 62.2-2010, install:</p> <ul style="list-style-type: none"> A mechanical ventilation system for all hallways and common spaces (3 points if Moderate Rehab) <p>For all project types, in addition to the above requirements:</p> <ul style="list-style-type: none"> All systems and ductwork must be installed per manufacturer's recommendations All bathroom fans must be ENERGY STAR-labeled and wired for automatic on-time. If using central ventilation systems with rooftop fans, each fan must be direct-drive and variable speed with speed controller mounted near the fan. Fans with CFM 300-2000 must also have an ECM motor. 	<div> <div> 12 max </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 78 </div> <div> Dehumidification (Mandatory for properties in Climate Zones 1A, 2A, 3A, and 4A following Outdoor 52a, 52b, or 54; Optional for all other properties) </div> </div>	<p>Option 1: Design, select, and install supplemental dehumidification equipment to keep relative humidity <60%.</p> <p>OR</p> <p>Option 2: Equip all dwelling units with dedicated space, drain, and electrical hook-ups for permanent supplemental dehumidification systems to be installed if needed and install exterior HRV monitoring equipment as described.</p>	<div> <div> M or B </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 79 </div> <div> Construction Pollution Management </div> </div>	<p>Option 1: Earn the EPA Indoor airPlus label</p> <p>OR</p> <p>Option 2: In all dwelling units, seal all heating, cooling, and ventilation return and supply floor ducts and return throughout construction to prevent construction debris from entering. Flush all dwelling units after completion of construction and prior to occupancy for either 48 hours or wait at least 14,000 B3 per 102 of floor area, then replace all air handling equipment filters.</p>	<div> <div> M </div> <div> </div> </div>
<div> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> MAYBE </div>	<div> <div> 79 </div> <div> Noise Reduction </div> </div>	<p>Option 1: Test and demonstrate that noise levels in bedrooms meet 30 dB L_{Aeq} (continuous) and 45 dB L_{max} (single sound).</p> <p>OR</p> <p>Option 2: Provide a noise abatement plan specific to the site covering general noise mitigation techniques in accordance with 24 CFR 58b.</p> <p>OR</p> <p>Option 3: Ensure all exterior wall and party wall penetrations are sealed with acoustical sealant, all party walls and floor/ceiling assemblies have an STC rating of at least 58, and exterior windows and doors in projects near a significant exterior noise source have an STC rating of at least 35.</p>	<div> <div> M </div> <div> </div> </div>
<div> <div> 14 </div> <div> </div> </div>			

SQUARE 131
THIRD DISTRICT



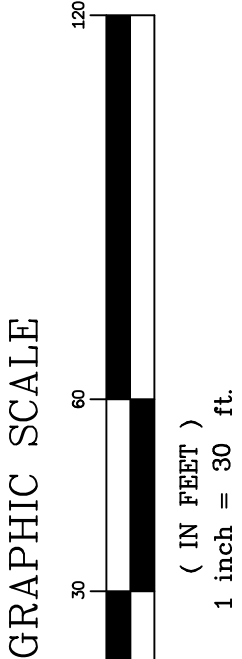
VICINITY MAP



THIS PORTION OF SERVITUDE IS SHOWN TO BE
ABANDONED ON GILBERT KELLY SURVEY BUT NOT
ON SEWER & WATER BOARD PLANS.

30' SERVITUDE SHOWN ON GILBERT & KELLY
SURVEY DATED JUNE 24, 2002 AND KREBS SURVEY
DATED JANUARY 3, 2007.

LEGEND	
— (S) —	— DRAIN MANHOLE
— (W) —	— WATER MANHOLE
— (G) —	— GAS MANHOLE
— (E) —	— UNDERGROUND ELECTRIC & POLE
— (T) —	— OVERHEAD ELECTRIC & POLE
— (V) —	— UNDERGROUND TELEPHONE & MANHOLE
— (B) —	— CATV BOX
— (H) —	— WESTERN UNION PH
— (P) —	— OPEN GRATE DRAINS
— (Q) —	— HYDRANT
— (R) —	— PARKING METER
— (S) —	— TRAFFIC LIGHT
— (T) —	— 600' DRAIN CLEANOUT
— (U) —	— 600' SEWER CLEANOUT
— (V) —	— 6" WATER VALVE
— (W) —	— LIGHT STANDARD
— (X) —	— WATER METER
— (Y) —	— 6" GAS VALVE
— (Z) —	— SIGN
— (A) —	— POWER POLE AND GUY ANCHOR



REFERENCE PLANS:
PLAN BY GILBERT, KELLY, & COUTURE, INC. DATED
APRIL 8, 2002 REVISED JUNE 24, 2002.

RESUBDIVISION BY RICHARD W. KREBS DATED JANUARY
3, 2007.

DIMENSIONS ARE IN FEET INCHES AND EIGHTHS
CERTAIN FEATURES IE. FENCES, WALLS, ETC. MAY BE
EXAGGERATED IN SCALE FOR CLARITY. DIMENSIONS
SHOW ACTUAL LOCATIONS.

THE SERVICES SHOWN HEREON ARE LIMITED TO THOSE
SET FORTH IN THE RECORD DESCRIPTION FURNISHED US
AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE
SERVICES ARE REFLECTED OR SHOWN HEREON. THE
SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE
RECORD SEARCH IN COMPLYING THE DATA FOR THIS
SURVEY.

THE PERMETER SURVEY SHALL NOT CONSTITUTE A LEGAL
TITLE AS SURVEYOR HAS NO AUTHORITY TO GUARANTEE
THAT THE TITLE IS CORRECT. THERE IS NO WARRANTY THAT
CONFORMS TO THE LEGAL TITLE AND WAS MADE SOLELY
ACCORDING TO THE INFORMATION PROVIDED THE
SURVEYOR.

SMALL SLANT FIGURES DENOTE ELEVATIONS. ELEVATIONS
SHOWN HEREON ARE DERIVED FROM GPS OBSERVATIONS AND
HORIZONTAL MEASUREMENTS. VERTICAL ELEVATIONS FROM
NAVD88 GEOD 12A.

THIS PROPERTY IS LOCATED IN FLOOD ZONE X, AS
SHOWN ON FEMA FLOOD MAPS, EFFECTIVE SEPTEMBER 30, 2016.
220710023.F

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES
SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER
OBTAINED FROM THE PROPERTY OWNER OR FROM RECORDS OR
EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE
AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE
SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL
LOCATION OF ANY UNDERGROUND UTILITY MAY BE DIFFERENT FROM
EACH AGENCY SHOULD BE CONTACTED PRIOR TO THE PRECISE
LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY
RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN
HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

Call before you dig.
1-800-272-3600

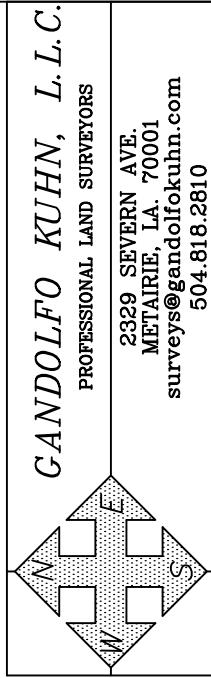
TREES IN THE PUBLIC RIGHT OF WAY ARE AS SHOWN HEREON.
EXTENSION OF ANY UTILITIES NOT PRESENTLY EXISTING SHALL BE THE
RESPONSIBILITY OF THE PROPERTY OWNER IN ACCORDANCE WITH THE
SEWERAGE AND WATER BOARD'S POLICY WITH DEVELOPERS FOR
EXTENSION OF MAINS.
SEWER AND WATER HOUSE CONNECTIONS ARE THE RESPONSIBILITY OF
THE PROPERTY OWNER.

Plan of Resubdivision of Square 131, Lots A,
B, C D, E-1, F-1, G, H, I and 8-A-1 into Lot
H-1 made for ITEX Group.
New Orleans, La. June 4, 2019

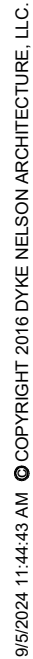
I certify that this plot is a delineation of a survey made
on the ground, under my supervision, and meets the
requirements of a Class B survey as defined in the
"Standards of Practice for Property Boundary Surveys in
the State of Louisiana."
New Orleans, La. June 4, 2019

DRAFT

Water J. Stone, PLS
La. License No. #698



GANDOLFO KUHN, L.L.C.
PROFESSIONAL LAND SURVEYORS
2329 SEVERN AVE.
METAIRIE, LA. 70001
surveys@gandolfokuhn.com
504.312.9212



1. PROVIDE DRAINAGE STRUCTURES AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE LATEST STANDARDS OF CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD AND/OR THE LOUISIANA DOTD.
2. DIRECT DRAINAGE OF ALL PAVEMENT AND GRASSY AREAS TO DRAIN STRUCTURES AS NOTED ON DRAWINGS. NOTIFY A/E IF ANY DISCREPANCY WITH FINISHED GRADES. CONTRACTOR SHALL CREATE SWALES AND GRADE OPEN AREAS SLOPING UNIFORMLY (CONSISTENT) TO DRAIN INLETS.
3. DRAIN LINES SHALL HAVE A MINIMUM OF 1'-0" COVER FROM THE TOP OF PIPE TO TOP OF PAVEMENT OR GRASSY AREAS.
4. ALL DRAIN PIPE MATERIAL SHALL BE A-2000 PVC (SOLID WALL) OR A-2000 PVC PERFORATED AS NOTED ON PLANS. DRAIN PIPE FITTINGS SHALL CONFORM TO ASTM 949 PER MFR'S REQUIREMENTS. ALL JOINTS SHALL BE MADE WITH INTEGRALLY FORMED BELL AND SPIGOT GASKETED CONNECTIONS. ELASTOMETRIC SEALS (GASKETS) SHALL CONFORM TO ASTM F477
5. DRAIN PIPE CONNECTION TO DRAIN MANHOLE/DRAIN INLETS AT PIPE INTERFACE SHALL BE GROUTED WITH NON-SHRINK GROUT FOR AN AIR-TIGHT SEAL.
6. PROVIDE DRAIN INLET FILTER OR INLET SKIMMER BASKETS (BY FABCO OR APPROVED EQUAL) IN ALL DRAIN INLETS.
7. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL VIDEO SCOPE AND CLEAN ALL NEW STORM DRAIN LINES, DRAIN INLETS AND EXISTING CATCH BASINS, DRAIN LINES, DRAIN MANHOLES - S&W STORM DRAINAGE INFRASTRUCTURE IN ALL PERIMETER STREETS & RIGHT-OF-WAY TO MAINTAIN POSITIVE FLOW AND RESTORE SERVICES. SUBMIT REPORTS TO A/E.
8. CONTRACTOR SHALL VERIFY LOCATION (HORIZONTAL AND VERTICAL, WHEREVER POSSIBLE) OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TAKE EXTREME PRECAUTIONS WHEN WORKING IN THE VICINITY OF EXISTING GAS, ELECTRICITY, ETC SO AS NOT TO CAUSE DAMAGE.
9. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL EXISTING DRAIN LINES PRIOR TO MAKING ANY CONNECTIONS/INSTALLATIONS. NOTIFY A/E IMMEDIATELY IF ANY CONFLICT IS ENCOUNTERED BETWEEN FLOW LINE INV. ELEVATION OF NEW DRAIN LINE AND INVERT ELEVATION OF EXISTING DRAIN.
10. NOTIFY A/E IMMEDIATELY IF GRADE CONFLICT IS ENCOUNTERED BETWEEN NEW DRAIN LINE AND STRUCTURAL FOUNDATION.
11. CONTRACTOR SHALL NOTIFY A/E IF ANY GRADE CONFLICT IS ENCOUNTERED BETWEEN NEW DRAIN LINE AND NEW/EXISTING UNDERGROUND UTILITIES (SANITARY SEWER, DOMESTIC AND FIRE WATER, GAS, ELECTRICAL, ETC.)
12. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES COMPANY PRIOR TO OFFSETTING EXISTING UTILITIES IF ANY GRADE/INVERT CONFLICT IS ENCOUNTERED WITH NEW DRAIN LINE.

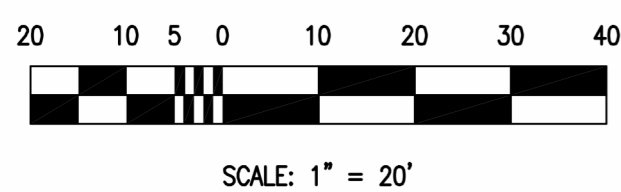
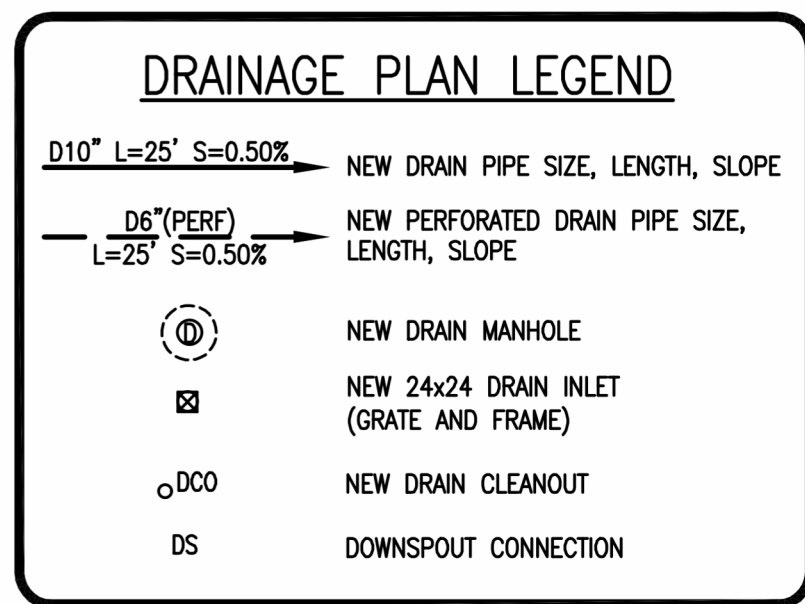
1. ROUTINE MAINTENANCE: REGULAR DRY-SWEEPING TO REMOVE SEDIMENT PARTICLES BEFORE THEY CAN INFILTRATE DEEPLY INTO THE PERVIOUS CONCRETE.
2. PERIODIC VACUUMING: USE A VACUUM SWEEPER AT LEAST TWICE PER YEAR TO REMOVE SEDIMENT AND DEBRIS.
3. REMOVE LEAVES FROM SURFACE DURING THE FALL. MANUALLY REMOVE WEEDS AND VEGETATION GROWING IN THE POROUS SURFACE.
4. TRY A MORE POWERFUL VACUUM OR PRESSURE WASHING IF POROUS SURFACE STILL NOT DRAINING WATER.

ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

1. PURSUANT TO BUILDING CODE SECTION 121.13(E), PRIOR TO RELEASE FOR CONSTRUCTION THE CONTRACTOR SHALL EXECUTE THE CONSTRUCTION SWPPP SUBMITTED WITH APPLICATION AND IN COMPLIANCE WITH BUILDING CODE SECTION 121.5 AND 121.6 AND MODELED ON DPW STANDARD SPECIFICATION SECTION C204. INCLUDE CONTACT INFORMATION [NAME, PHONE, EMAIL] FOR THE ON-SITE PERSON OR PERSONS TO BE CONTACTED IN THE EVENT OF A VIOLATION OR COMPLAINT
2. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON-SITE, WHICH DESCRIBES IN DETAIL THE CONTRACTORS RESPONSIBILITY TO PREVENT CONTAMINATION OF THE STORMWATER COLLECTION SYSTEM. CONTRACTOR SHALL IMPLEMENT, MAINTAIN, INSPECT ALL EROSION AND SEDIMENT CONTROLS IDENTIFIED IN THE SWPPP. THE PROGRAM SHALL COVER ALL CONSTRUCTION ACTIVITIES AND EXTRAORDINARY EVENTS.

PURSUANT TO BUILDING CODE SECTION 121.17; PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, POST-CONSTRUCTION CERTIFICATION INCLUDING AS-BUILT DRAWINGS, AFFIDAVIT FROM DESIGNER/S, AND PERFORMANCE BOND BASED UPON THE ACTUAL COST OF CONSTRUCTION MUST BE SUBMITTED FOR APPROVAL AFTER FINAL INSPECTION THESE DOCUMENTS MUST BE RECORDED WITH THE CIVIL DISTRICT CLERK COURT. THIS TAKES TIME AND MONEY.

ALL PERMEABLE PAVEMENT INSTALLATIONS OVER 800 SQUARE FEET IN TOTAL AREA ARE SUBJECT TO AN INITIAL CERTIFICATION PERIOD OF 24 MONTHS, STARTING FROM THE DATE THAT THE DEPARTMENT OF SAFETY AND PERMITS ISSUES A CERTIFICATE OF OCCUPANCY. RECERTIFICATION OF ALL PERMEABLE PAVEMENT INSTALLATIONS IS REQUIRED ON A BIENNIAL BASIS. THE OWNER OR OWNER'S REPRESENTATIVE SHALL APPLY FOR RE-CERTIFICATION OF THE PERMEABLE PAVEMENT INSTALLATION STARTING NO MORE THAN 2 YEARS BUT NO LESS THAN 23 MONTHS FROM THE DATE OF THE PREVIOUS CERTIFICATION.



1 DRAINAGE PLAN 1"=20'

[illegible]

PERMITTING

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C2.0

1. DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE PRECISE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL SURFACE AND SUBSURFACE STRUCTURES, UTILITIES, DEPTHS AND INVERTS PRIOR TO COMMENCING WORK. NOTIFY THE A/E IF CONDITIONS VARY FROM THOSE SHOWN.
2. CONTRACTOR SHALL VERIFY BUILDING AND SIDEWALK LAYOUT WITH ARCHITECT PRIOR TO FORMING BUILDING, SIDEWALKS
3. ELEVATIONS ARE IN FEET. SEE SURVEY FOR ELEVATION DATUM AND REFERENCE BENCH MARK.
4. OBTAIN AND PAY FOR INSPECTIONS, LICENSES, PERMITS AND APPROVALS REQUIRED BY GOVERNING AUTHORITIES AND INSURE ALL WORK IS IN COMPLIANCE THERE.
5. DRAIN, SEWER AND WATER LINES ARE SHOWN IN SCHEMATIC DETAIL ONLY. EVERY OFFSET, ELBOW, TEE, WYE, ETC., THAT MAY BE REQUIRED ARE NOT SHOWN FOR CLARITY, HOWEVER, CONTRACTOR SHALL SUPPLY EACH AND EVERY SUCH ITEM AS IF SHOWN. PROVIDE COMPLETE WORKING UTILITY SYSTEMS.
6. SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR CONTINUATION OF UTILITIES WITHIN BUILDINGS.
7. WHERE NOTED, REFERENCED STANDARD SPECIFICATION SHALL BE THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD (S&WB) STANDARD SPECIFICATIONS, LATEST EDITION, OR THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, 2006 EDITION, WHICHEVER IS THE MORE STRINGENT.
7. ANY UTILITY LINE OR SERVICE LINE ENCOUNTERED DURING CONSTRUCTION, WHETHER OR NOT SHOWN ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED BY THE CONTRACTOR AND ANY REPAIRS NECESSARY DUE TO DAMAGE TO SUCH UTILITY BY THE CONTRACTOR SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ACTUAL LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES ON THE PROJECT SITE. LOCATIONS OF EXISTING UTILITIES AND STRUCTURES INDICATED ON DRAWINGS APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL THAT MAY EXIST ON THE PROJECT SITE. THE CONTRACTOR SHALL VERIFY THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES (POWER, TELEPHONE, GAS, WATER, SEWER, ETC.) WITH THE APPROPRIATE UTILITY COMPANY BEFORE CONSTRUCTION BEGINS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICITY, SEWER, AND WATER TIE-INS, CONNECTIONS AND DISCONNECTIONS) WITH THE APPROPRIATE UTILITY PROVIDER AT NO COST OF THE OWNER.
10. ALL EXISTING AND NEW UTILITY STRUCTURES -- SANITARY SEWER MANHOLE TOPS, WATER VALVES BOXES, METERS, STORM SEWERS, OR OTHER RELATED APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE BY CONTRACTOR AS AN ABSORBED COST OF WORK.
11. PROVIDE CONSTRUCTION ZONE TRAFFIC CONTROL PER LOUISIANA DOTD STANDARD PLANS.
12. PROVIDE DETECTABLE WARNING SURFACE WHERE PEDESTRIAN AND VEHICULAR AREAS ARE NOT OTHERWISE SEPARATED BY A CURB, RAILING OR OTHER STRUCTURAL ELEMENT. DETECTABLE WARNING SURFACE SHALL BE A MINIMUM 36 INCHES WIDE AND BE CONTINUOUS BETWEEN PEDESTRIAN AND VEHICULAR AREAS.
13. DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES, 0.9 INCHES IN NOMINAL DIAMETER, 0.2 INCHES IN NOMINAL HEIGHT, CENTERED 2.35 INCHES APART.
14. CONTRACTOR SHALL ENSURE THAT ALL NATURAL DRAINAGE ROUTES ARE MAINTAINED AND PRESERVED THROUGHOUT THE COURSE OF PROJECT.
15. THE CONTRACTOR SHALL PROVIDE, ACCURATE AS-BUILTS DRAWINGS UPON SUBSTANTIAL COMPLETION OF THE PROJECT.

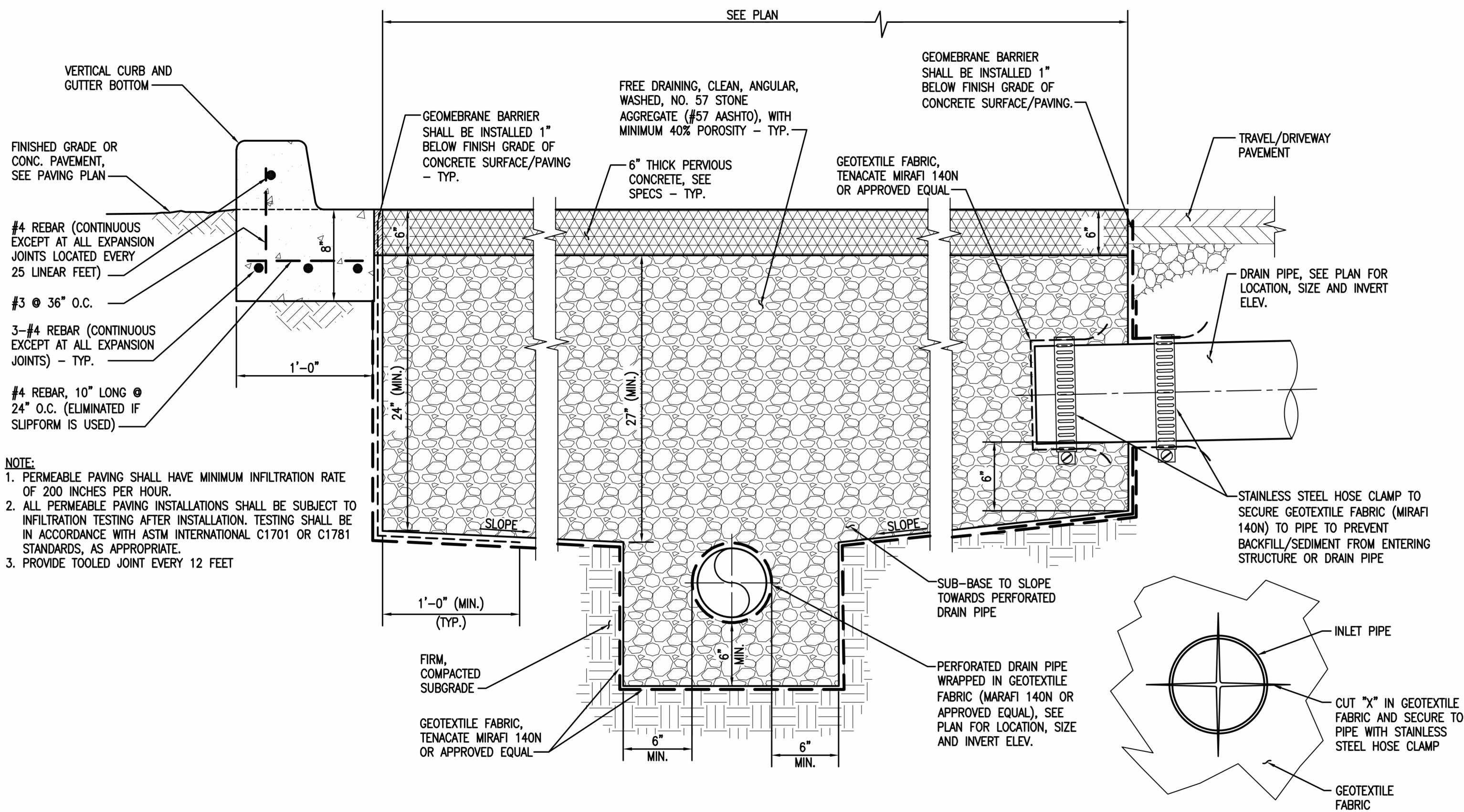
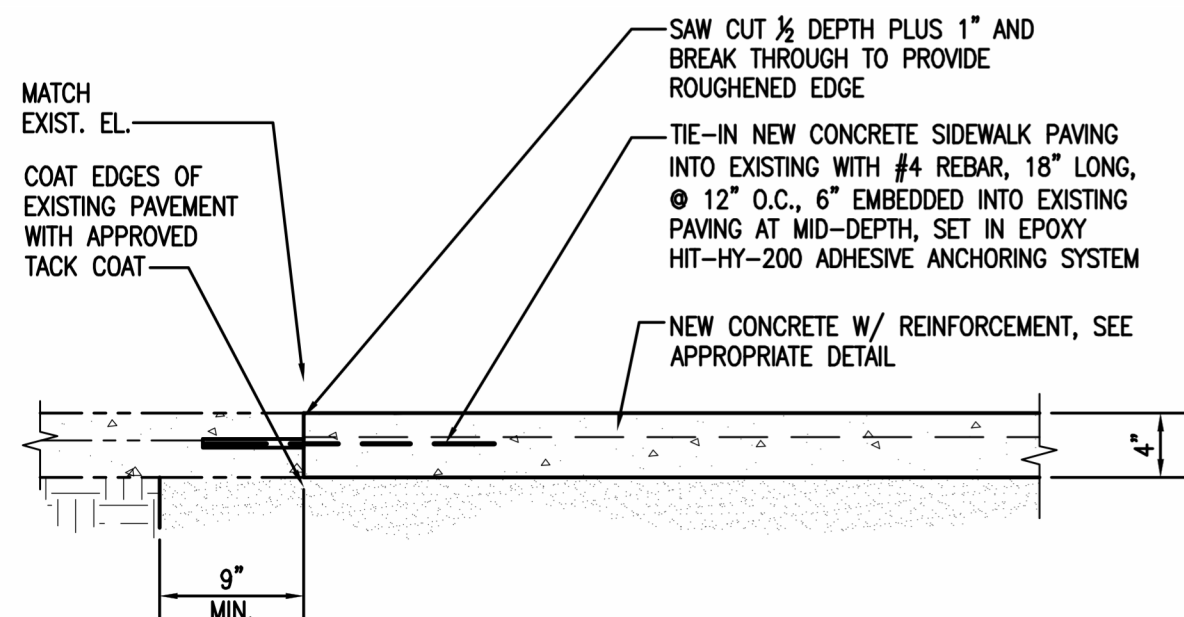
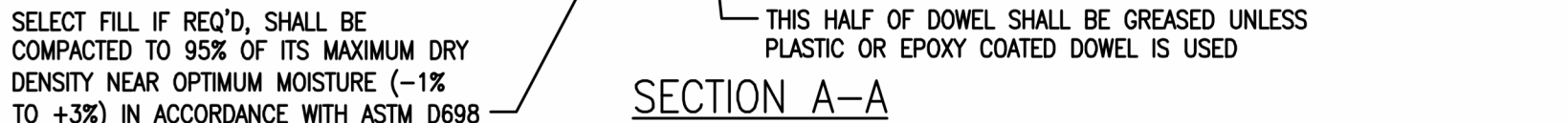
SEE SPECIFICATIONS FOR STORM DRAINAGE (SECTION 334100) AND SHEET C102 FOR STORM DRAINAGE NOTES

SEE SPECIFICATIONS FOR EARTHWORK (SECTION 312000)

1. WHERE NEW PAVING IS TO MEET EXISTING, PROVIDE A SAW CUT TO ENSURE A STRAIGHT JOINT. SAW CUT A MINIMUM 1" DEEP. BREAK THE REMAINDER OF CONCRETE BY CONVENTIONAL MEANS WITHOUT DAMAGING CONCRETE TO REMAIN.
2. PORTLAND CEMENT CONCRETE PAVEMENT SHALL CONFORM TO SECTION 601 OF THE LOUISIANA STANDARD SPECIFICATIONS FOR PORTLAND CEMENT CONCRETE. ALL PAVING SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
3. FORM WEAKENED PLACES IN SIDEWALK BY A JOINTING TOOL OR OTHER ACCEPTABLE MEANS. SPACE WEAKENED PLACES EQUAL TO THE WIDTH OF THE SIDEWALK. ALIGN EXPANSION JOINTS IN SIDEWALK WITH JOINTS IN CURB.
4. DEFORMED STEEL BARS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. DOWEL BARS SHALL BE PLAIN BARS CONFORMING TO ASTM A615. PAINT FOR DOWEL BARS SHALL CONFORM TO ASTM A579, TYPE 1.
5. PROVIDE HANDICAPPED RAMP ACCORDING TO CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD PLANS. COORDINATE LOCATION OF RAMPS WITH THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS.
6. SEE SPECIFICATIONS FOR RIGID PAVEMENT (SECTION 321313).

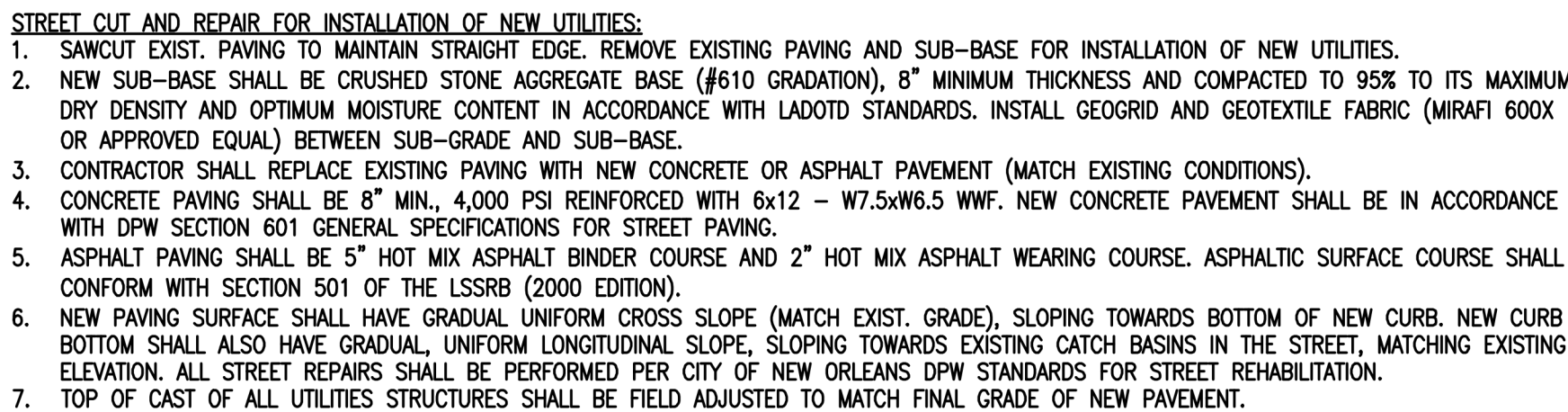
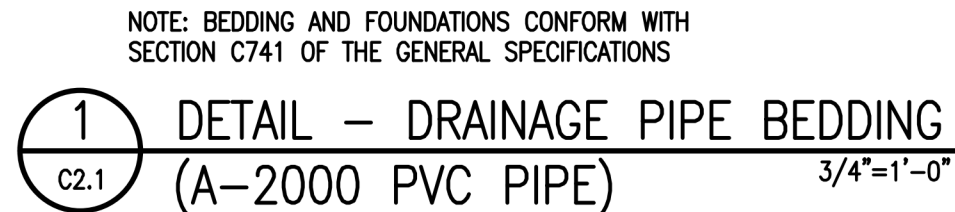
1. ASPHALT MIXTURES, HANDLING, AND INSTALLATION SHALL BE IN ACCORDANCE WITH PART V "ASPHALT PAVEMENTS" OF THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION.

SEE SPECIFICATIONS FOR PERVIOUS CONCRETE PAVING (SECTION 321314)

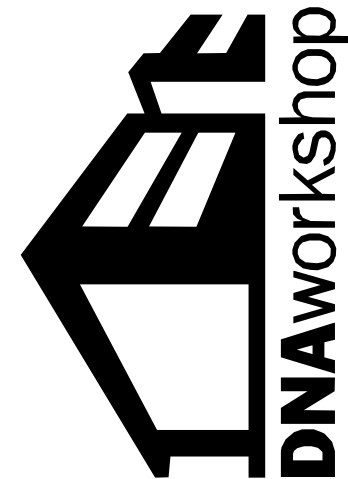


DETAIL — INLET/OUTLET ENVELOPE CONNECTION

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2 DETAIL - STREET PAVEMENT REPAIR/RESTORATION
C.2.1 (FOR INSTALLATION OF NEW DRAIN LINE) 3/4"=1'-0"



MAZANT ROYAL DEVELOPMENT
4100 ROYAL STREET, NEW ORLEANS, LA 70117

JOYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST, BATON ROUGE, LA 70802 DNA-WORKSHOP.COM [225] 224 3363

REVISIONS

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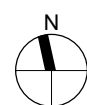
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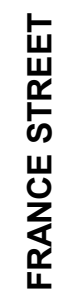
CIVIL DETAILS

C2.1

PHASE: DD



2 4100 ROYAL STREET - SITE PLAN



MAZANT ROYAL
4100 ROYAL STREET, NEW ORLEANS, LA 70117

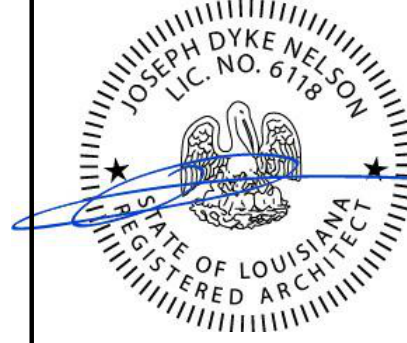
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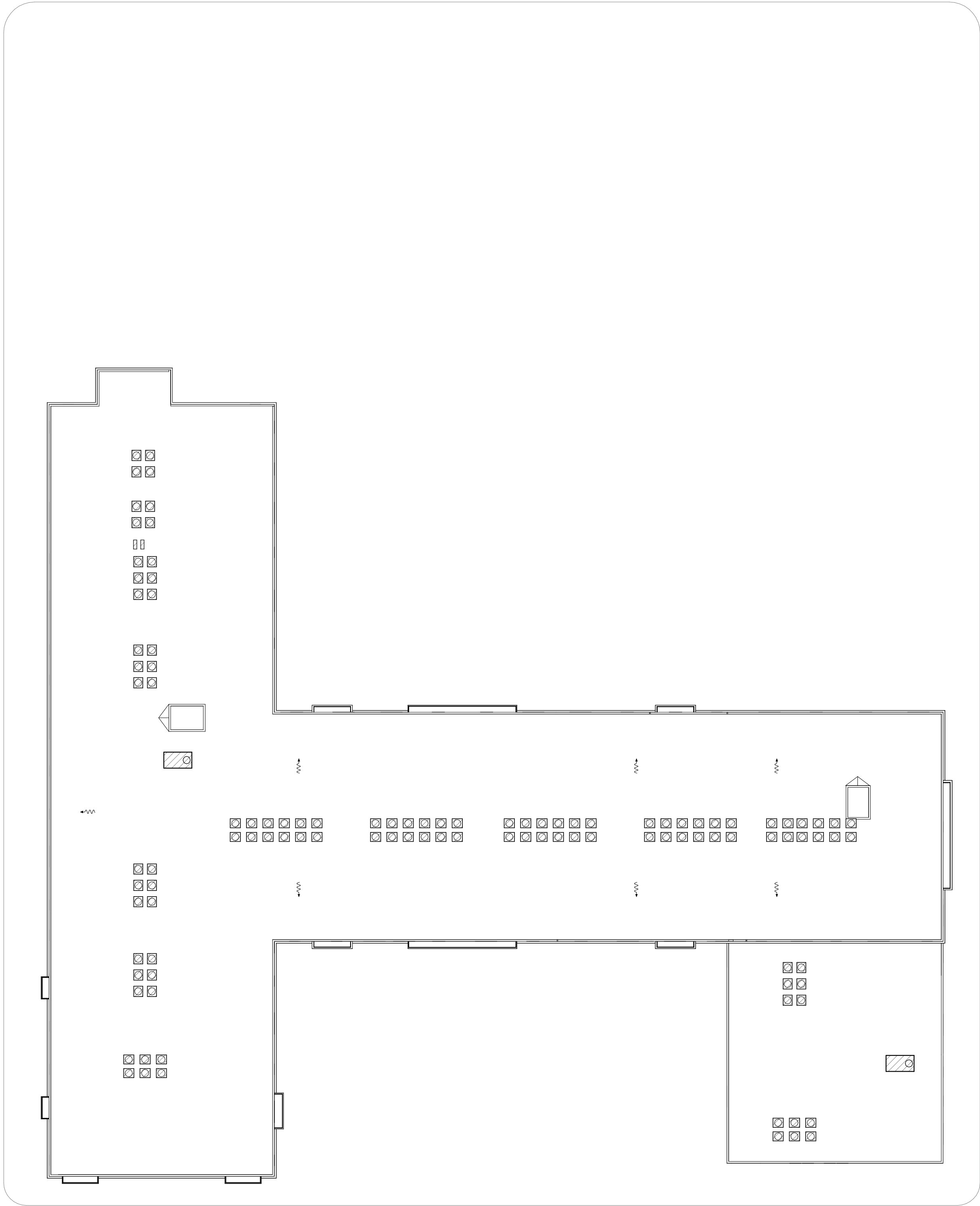
ARCHITECTURAL SITE
PLANS

A-100

PHASE: CD

MAZANT ST.

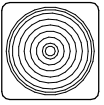

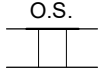
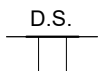

ROYAL ST.



CHARTRES ST.

FRANCE ST.

- GENERAL ROOF NOTES**
1. GENERAL CONTRACTOR SHALL COORDINATE PLUMBING VENTS AND ALL HVAC PENETRATIONS WITH ARCHITECTURAL DRAWINGS.
 2. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS OF VENT STACKS.
 3. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ACCESSORIES AS REQUIRED BY ROOF MANUFACTURER TO PROVIDE A COMPLETE ROOF CERTIFIABLE BY THE MANUFACTURER.

ROOF PLAN LEGEND	
	ROOF MOUNTED CONDENSING UNIT; RE: MECHANICAL
	30" WIDE WALKWAY ROOF TRAFFIC PADS; RE: SPECS
	8" x 8" ALUMINUM EMERGENCY OVERFLOW SCUPPER, TYP.
	8" x 8" ALUMINUM SCUPPER AND 4" x 4" DOWNSPOUT, CONNECT TO SUBSURFACE DRAINAGE; RE: CIVIL
	DIRECTION OF SLOPE

MAZANT ROYAL
4100 ROYAL STREET, NEW ORLEANS, LA 70117

DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST. BATON ROUGE, LA 70802DNA-WORKSHOP.COM (225) 224 3363

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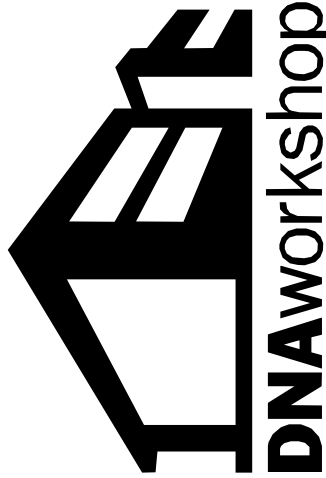
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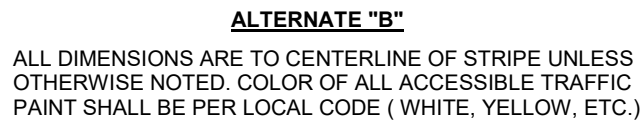
FLOOR PLAN - ROOF
LEVEL

A-204

PHASE: CD



1. SLOPE: AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 IS A RAMP. NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE OR NEW ACCESSIBLE PARKING AREAS EXCEED 1:50 OR 2%.
2. CHANGE IN LEVELS: CHANGES IN LEVELS ALONG AN ACCESSIBLE ROUTE UP TO ¼" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVELS BETWEEN ¼" AND ½" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.



FOR EVERY SIX OR FRACTIONAL OF SIX PARKING SPACES REQUIRED BY 208.2 TO COMPLY WITH 502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502.

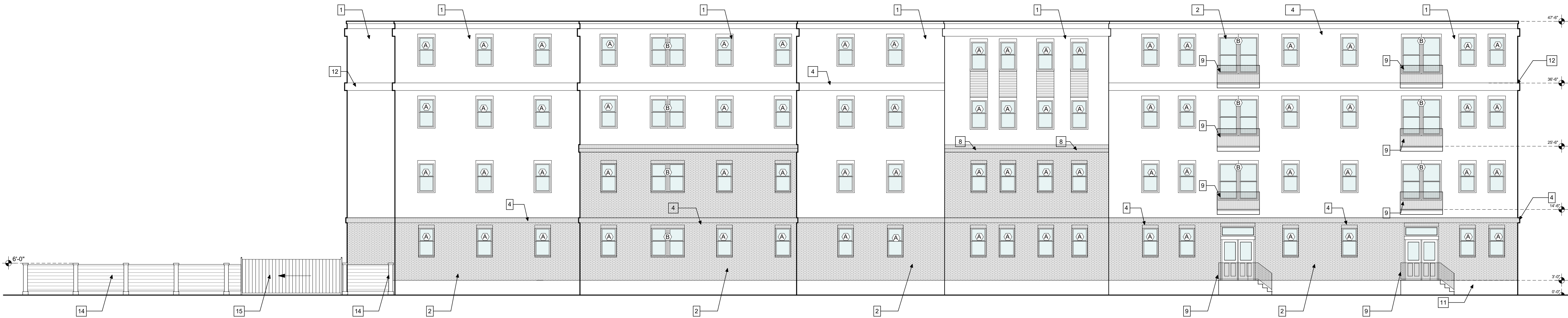
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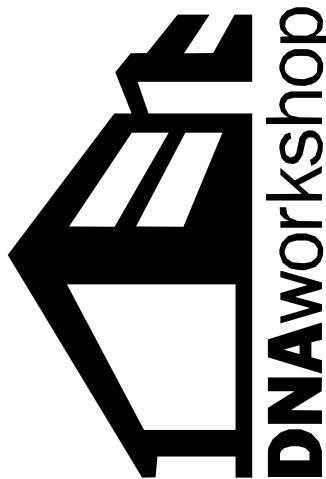


- ELEVATION KEYNOTES**
- 1 PAINTED FIBER CEMENT PANEL; SMOOTH SIDE
 - 2 BRICK VENEER
 - 3 BRICK ROWLOCK SILL
 - 4 BRICK ROWLOCK CAP
 - 5 BRICK SOLDIER COURSE/INTEL
 - 6 METAL GUTTER ON METAL WRAPPED FASCIA
 - 7 METAL DOWNSPOUT
 - 8 PAINTED FIBER CEMENT PLANK SIDING, SMOOTH SIDE
 - 9 42" HIGH STEEL GUARDRAIL/ JULIETTE BALCONY
 - 10 NOT USED
 - 11 ALUMINUM STOREFRONT SYSTEM
 - 12 FIBER CEMENT CORNICE, TYP.
 - 13 STANDING SEAM METAL ROOF
 - 14 BRICK COLUMN AND STEEL FENCING
 - 15 STEEL DRIVEWAY SLIDING GATE SYSTEM

1 CHARTRES STREET - EXTERIOR BUILDING ELEVATION
3/32" = 1'-0"



2 MAZANT STREET - EXTERIOR BUILDING ELEVATION
3/32" = 1'-0"



MAZANT ROYAL DEVELOPMENT
4100 ROYAL STREET, NEW ORLEANS, LA 70117

DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST. BATON ROUGE, LA 70802DNA-WORKSHOP.COM (225) 224 3363

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EXTERIOR BUILDING
ELEVATIONS -
CHARTRES/MAZANT

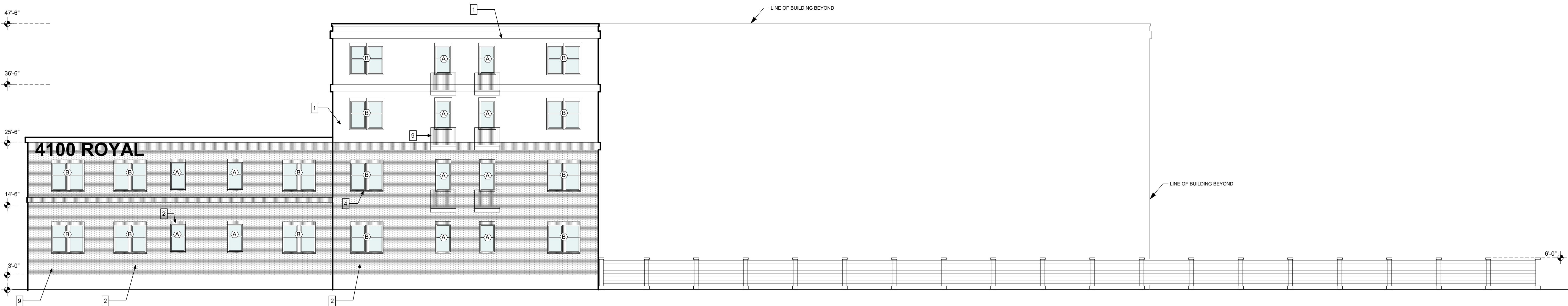
A300

PHASE: DD



1 ROYAL STREET - EXTERIOR BUILDING ELEVATION
3/32" = 1'-0"

- ELEVATION KEYNOTES**
- 1 PAINTED FIBER CEMENT PANEL; SMOOTH SIDE
 - 2 BRICK VENEER
 - 3 BRICK ROWLOCK SILL
 - 4 BRICK ROWLOCK CAP
 - 5 BRICK SOLDIER COURSE/INTEL
 - 6 METAL GUTTER ON METAL WRAPPED FASCIA
 - 7 METAL DOWNSPOUT
 - 8 PAINTED FIBER CEMENT PLANK SIDING, SMOOTH SIDE
 - 9 42" HIGH STEEL GUARDRAIL/ JULIETTE BALCONY
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 - 11 ALUMINUM STOREFRONT SYSTEM
 - 12 FIBER CEMENT CORNICE, TYP.
 - 13 STANDING SEAM METAL ROOF
 - 14 BRICK COLUMN AND STEEL FENCING
 - 15 STEEL DRIVEWAY SLIDING GATE SYSTEM

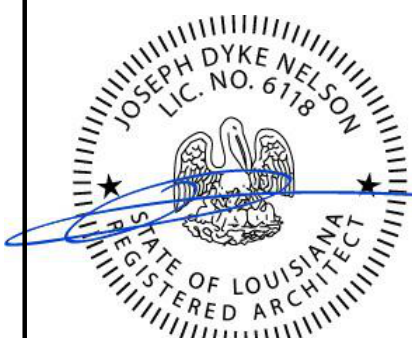


2 FRANCE STREET - EXTERIOR BUILDING ELEVATION
3/32" = 1'-0"

REVISIONS

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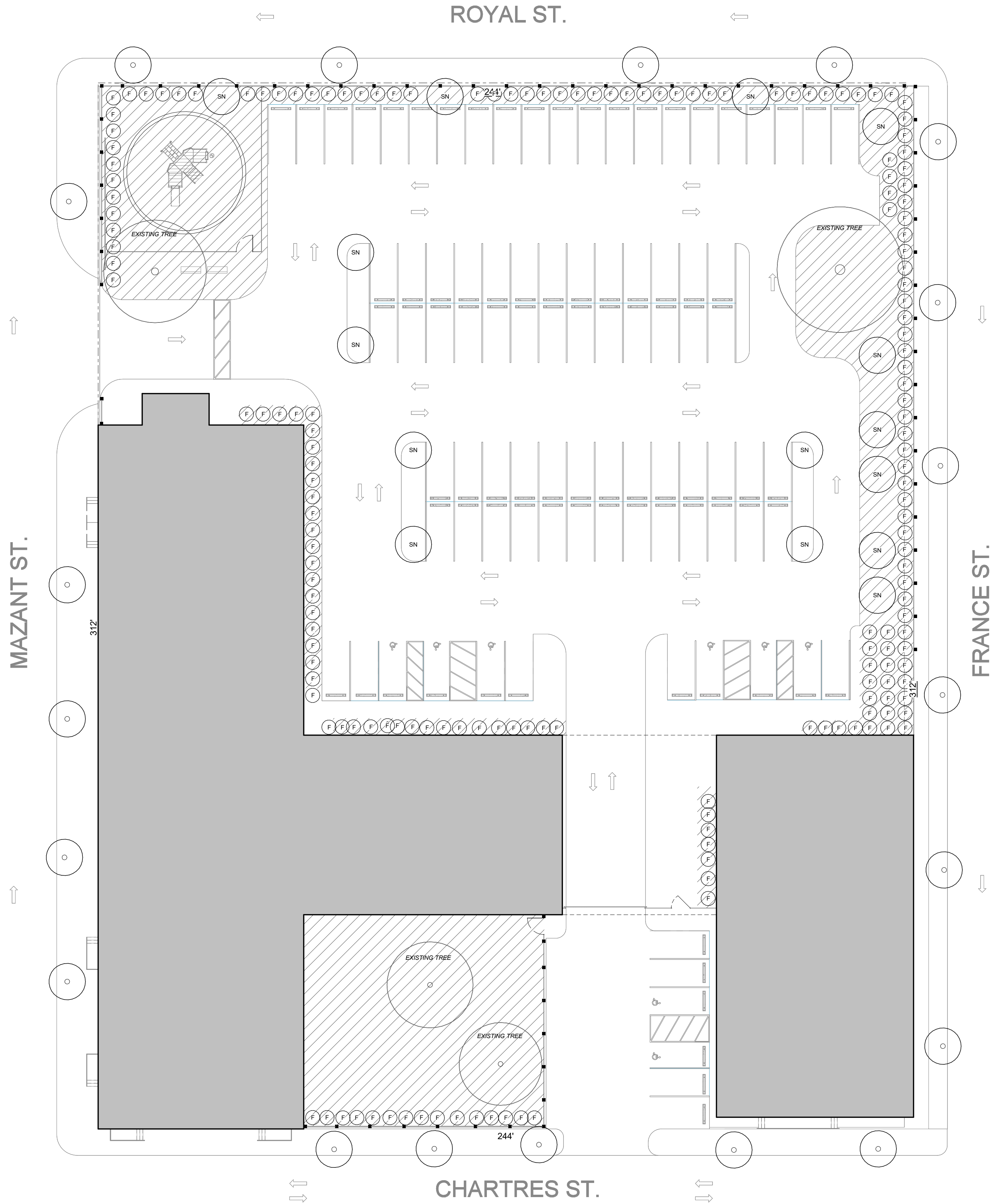


EXTERIOR BUILDING
ELEVATIONS -
FRANCE/ROYAL

A301

PHASE: CD

1 MATERIALS PLAN, GROUND LEVEL
Scale: 1"=20'-0"



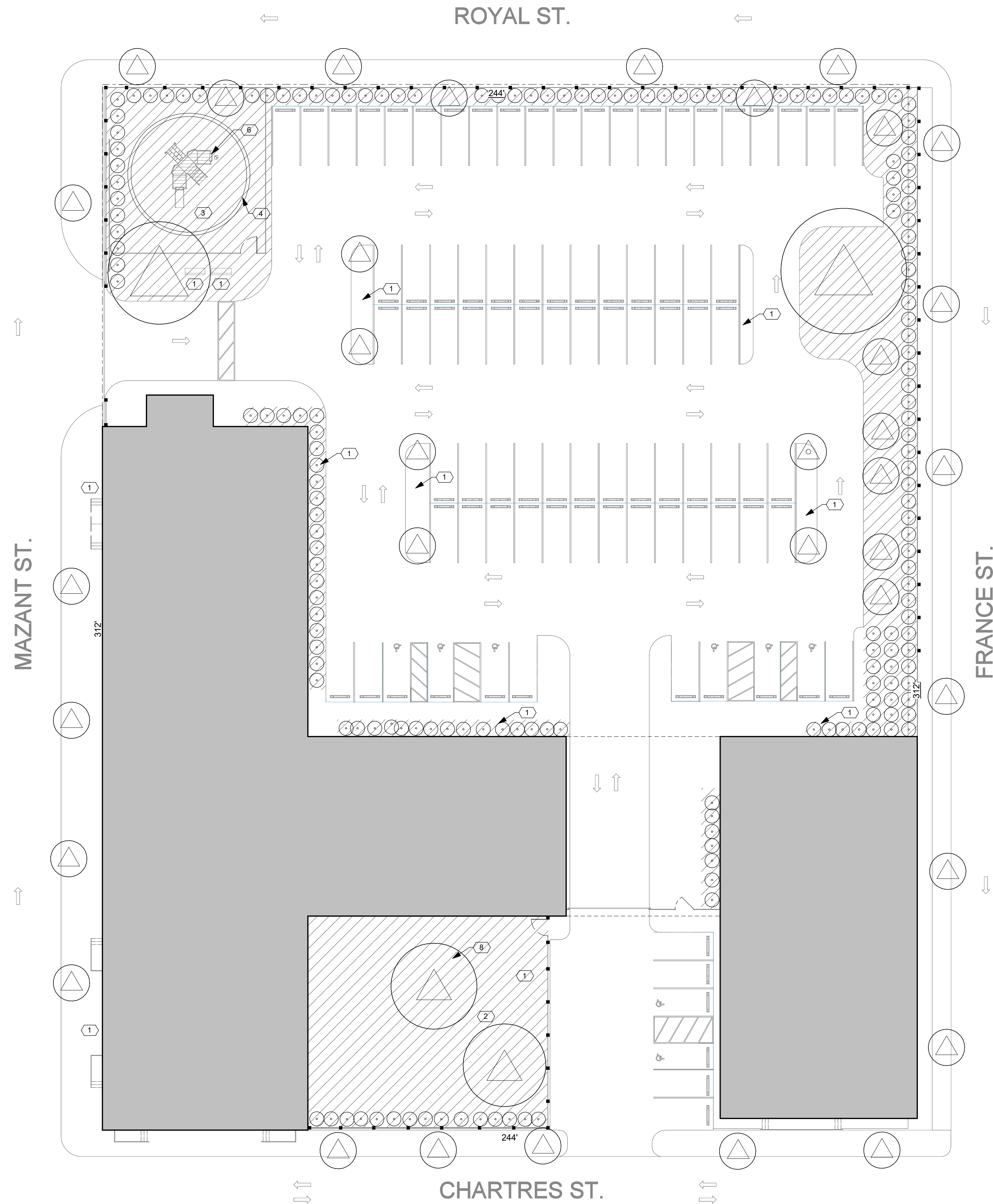
GENERAL LEGEND	
	PROPERTY LINE
	BUILDING ABOVE
MATERIALS LEGEND	
	CONCRETE PAVEMENT, SEE CIVIL
	ENGINEERED WOOD FIBER, TYPE 1, SEE 3/L901
	ENGINEERED WOOD FIBER, TYPE 2, SEE 4/L901
	CONCRETE CURB, SEE CIVIL
	PLAY EQUIPMENT TYPE 1, SEE 2/L932
	PLAY EQUIPMENT TYPE 2, SEE 3/L932
	NATURE PLAY, SEE L93 I
	CONTRABASS CHIMES, SEE L932
	SIDEWALK, SEE CIVIL
	DRIVEWAY, SEE CIVIL
	LITTER RECEPTACLES, SEE 2/L920
	BENCH, SEE 1/L920
	BICYCLE RACK, SEE 3/L920
GENERAL NOTES	
1. MAINTAIN MAX 5% SLOPE AND 2% CROSS SLOPE ACROSS ALL SIDEWALKS AND PLAZAS	



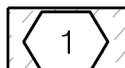

GENERAL LEGEND	
	PROPERTY LINE
	BUILDING ABOVE
PLANTING LEGEND	
	EXISTING TREE
	PROPOSED TREE
GENERAL NOTES	
1. SEE L550 FOR PLANTING SCHEDULE. 2. SEE L591 FOR PLANTING DETAILS. 3. SEE L512 FOR IRRIGATION. 4. LANDSCAPE ARCHITECT TO CONFIRM PLANT ARRANGEMENT BEFORE INSTALLATION.	

REVISIONS

JOB NUMBER: 15-050
ISSUED: 08/30/24
ISSUED FOR: PERMITTING

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GENERAL LEGEND	
	PROPERTY LINE
	BUILDING ABOVE
IRRIGATION LEGEND	
	DRIP IRRIGATION
	SLOW RELEASE WATERING BAG
GENERAL NOTES	
<ol style="list-style-type: none"> ALL TREES NOT SHOWN AS IRRIGATED SHALL HAVE SLOW RELEASE WATERING BAGS (32 93 00) AND SHALL BE HAND WATERED DURING ESTABLISHMENT. IRRIGATION BACKFLOW PREVENTER TO BE COORDINATED WITH CIVIL. LOCATION OF IRRIGATION CONTROLLER TO BE CONFIRMED BY LANDSCAPE ARCHITECT, COORDINATE LOCATION WITH MEP. 	

[illegible]

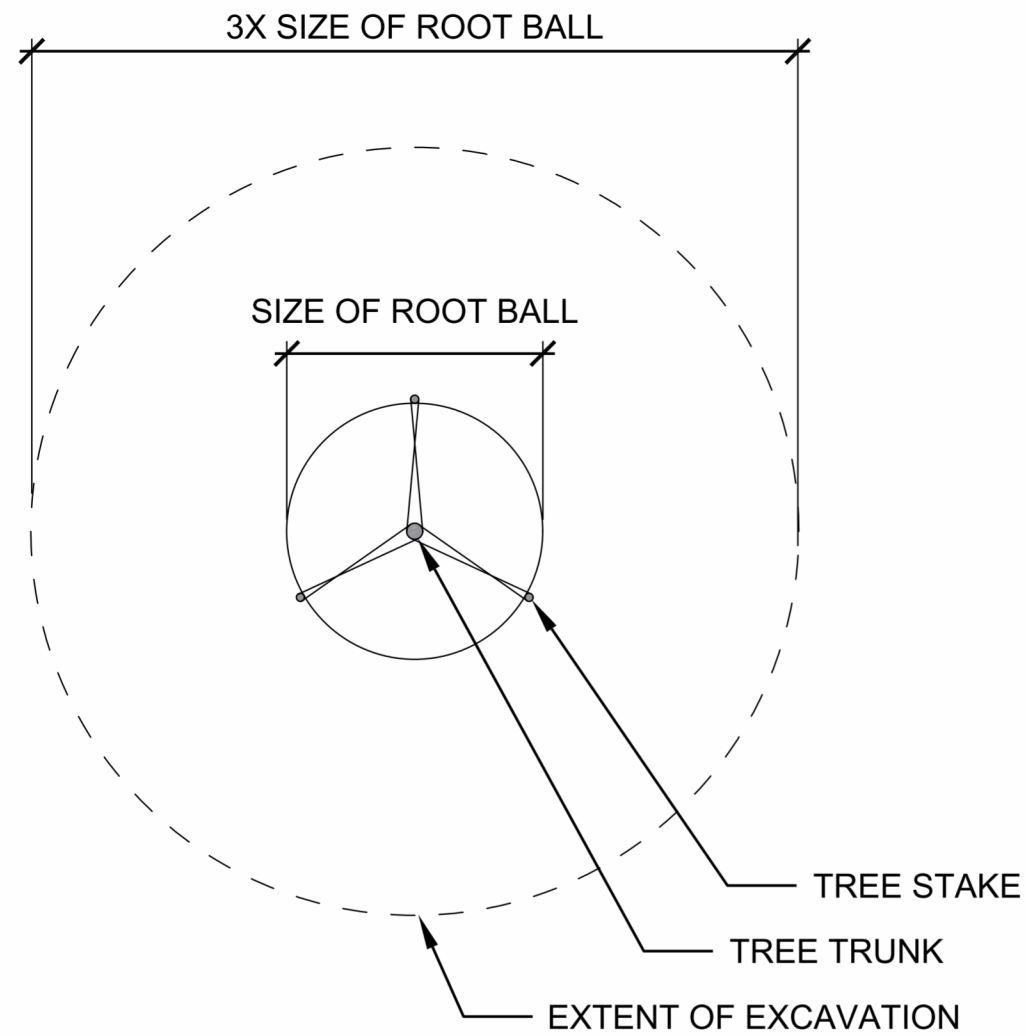
PLANT SCHEDULE (32 93 00)						
TREES						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
	LIVE OAK	Quercus virginiana	4	4" CAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
	BALD CYPRESS	Taxodium distichum	4	3" CAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
	SWEETBAY MAGNOLIA	Magnolia virginiana	15	45 GAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
	LILAC CHASTE-TREE	Vitex agnus-castus	6	45 GAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER
	JAPANESE BLUEBERRY	Elaeocarpus decipiens	13	45 GAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER
	RED MAPLE	Acer rubrum var. drummondii	3	3" CAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
	POND CYPRESS	Taxodium ascendens	10	3" CAL	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
SHRUBS						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
	GRASS & PERENNIAL MIX	70% Muhlenbergia capillaris	490 SF	3 GAL	36" O.C.	TRIANGULAR SPACING
		15% Rudbeckia fulgida 'Goldstrum'		1 GAL	18" O.C.	
		15% Gaura lindheimeri		1 GAL	18" O.C.	
	GEORGE TABER AZALEA	Azalea 'George Taber'	68	7 GAL	36" O.C.	
	PHILODENDRON	Philodendron selloum	12	3 GAL	36" O.C.	
	FAGRANT OLIVE	Osmanthus fragrans	3	5 GAL	REF PLAN	
	GIANT BIRD OF PARADISE	Strelitzia nicolai	4	10 GAL	REF PLAN	
	XANADU PHILODENDRON	Philodendron xanadu	22	1 GAL	15" O.C.	
	FOXTAIL FERN	Asparagus densiflorus 'Myers'	28	1 GAL	24" O.C.	
	LILY OF THE NILE	Agapanthus africanus	45	1 GAL	18" O.C.	
	GIANT LIRIOPE	Liriope muscari 'Evergreen Giant'	15	1 GAL	18" O.C.	
GROUNDCOVER						
SYMBOL	COMMON NAME	BOTANICAL NAME	AREA	SIZE	SPACING	NOTES
	LAWN	Cynodon dactylon	1,780 SF	SOD		
	LIRIOPE MIX	50% Liriope muscari 'Evergreen Giant'	900 SF	1 GAL	18" O.C.	TRIANGULAR SPACING
		50% Liriope spicata		4" POT	10" O.C.	
	LIRIOPE	Liriope spicata	915 SF	4" POT	10" O.C.	TRIANGULAR SPACING
	PINE STRAW MULCH		2,305 SF			3" LAYER OVER ALL PLANTED AREAS AND AROUND TREES

REVISIONS

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8/25/2024 11:44:50 AM © COPYRIGHT 2016 DYKE NELSON ARCHITECTURE, LLC

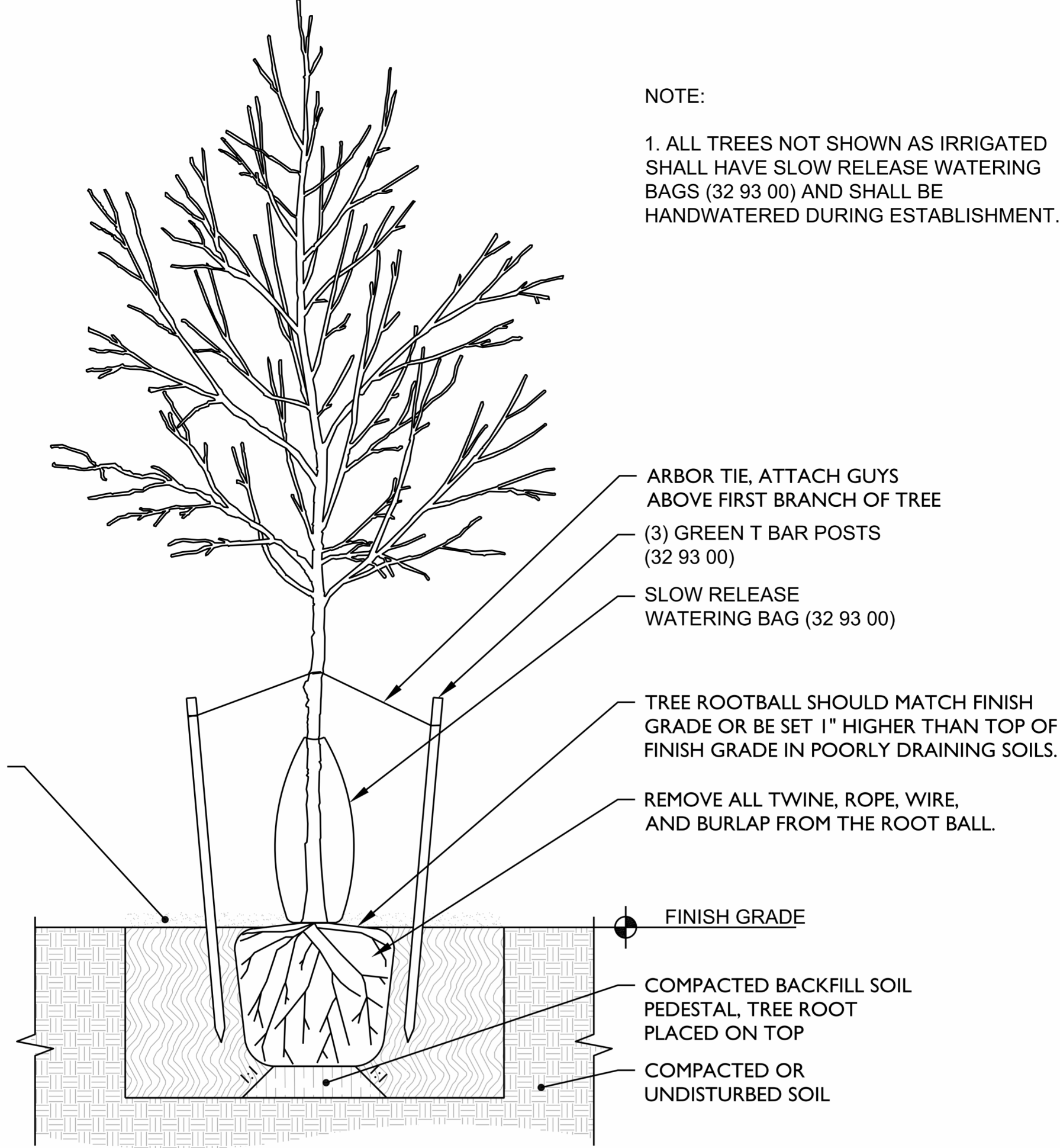


A PLAN
Scale: 1/2"=1'-0"

1 TREE PLANTING, TYP.
As Noted

B SECTION
Scale: 1/2"=1'-0"

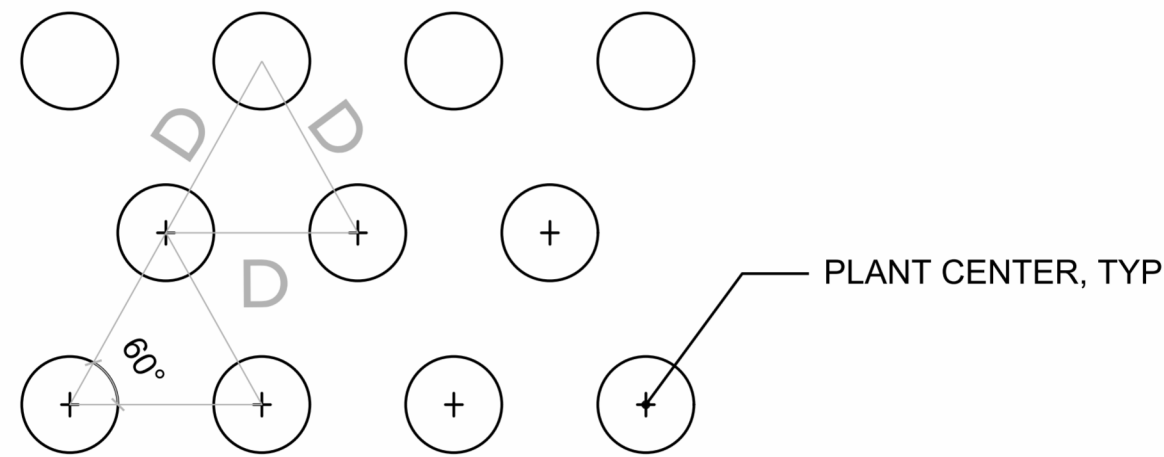
MULCH, 3" (AFTER
COMPACTION).
MULCH SHALL NOT
CONTACT TREE TRUNK.



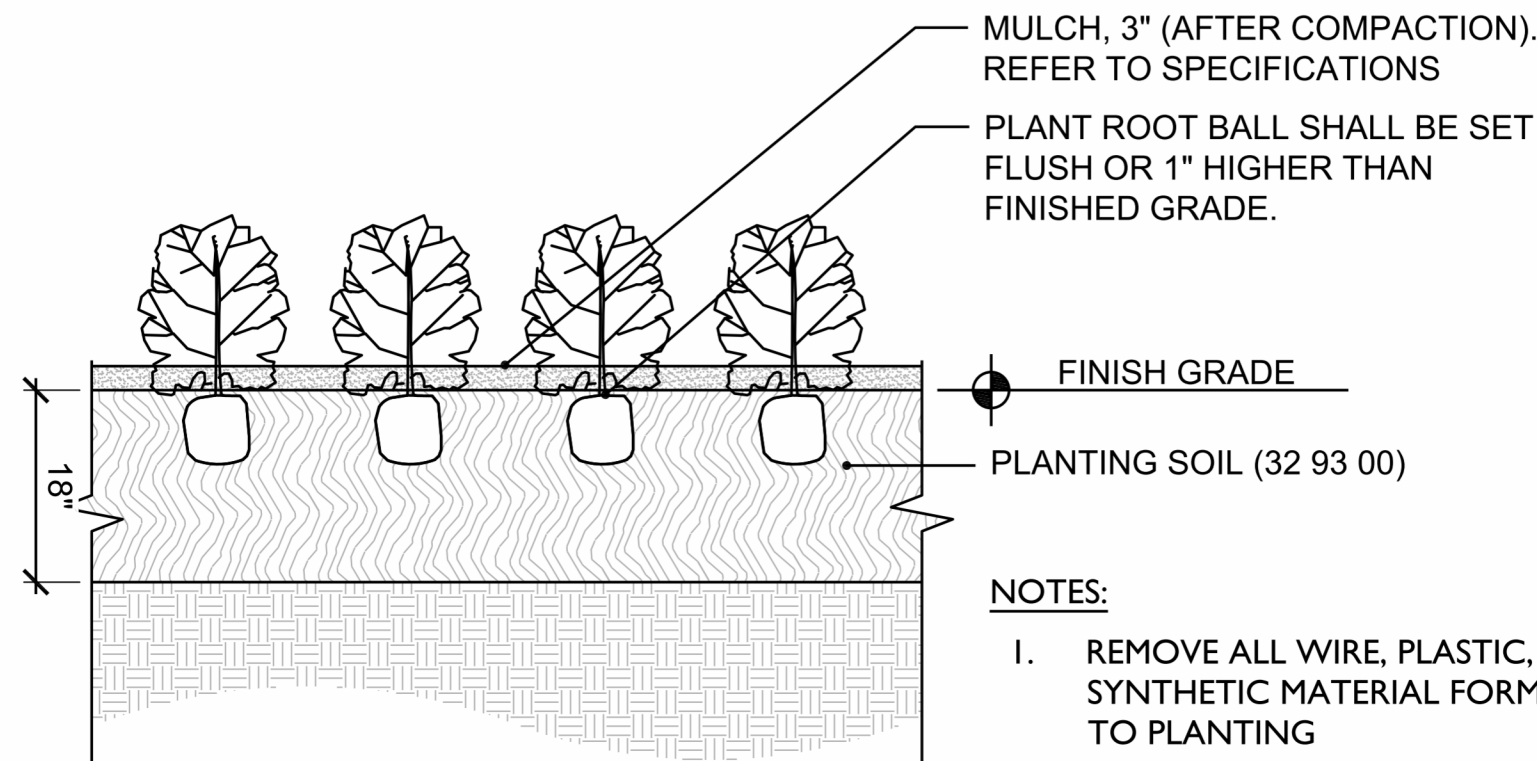
NOTE:

1. ALL TREES NOT SHOWN AS IRRIGATED SHALL HAVE SLOW RELEASE WATERING BAGS (32 93 00) AND SHALL BE HANDWATERED DURING ESTABLISHMENT.

DETAIL



A PLAN
Scale: 1/2"=1'-0"

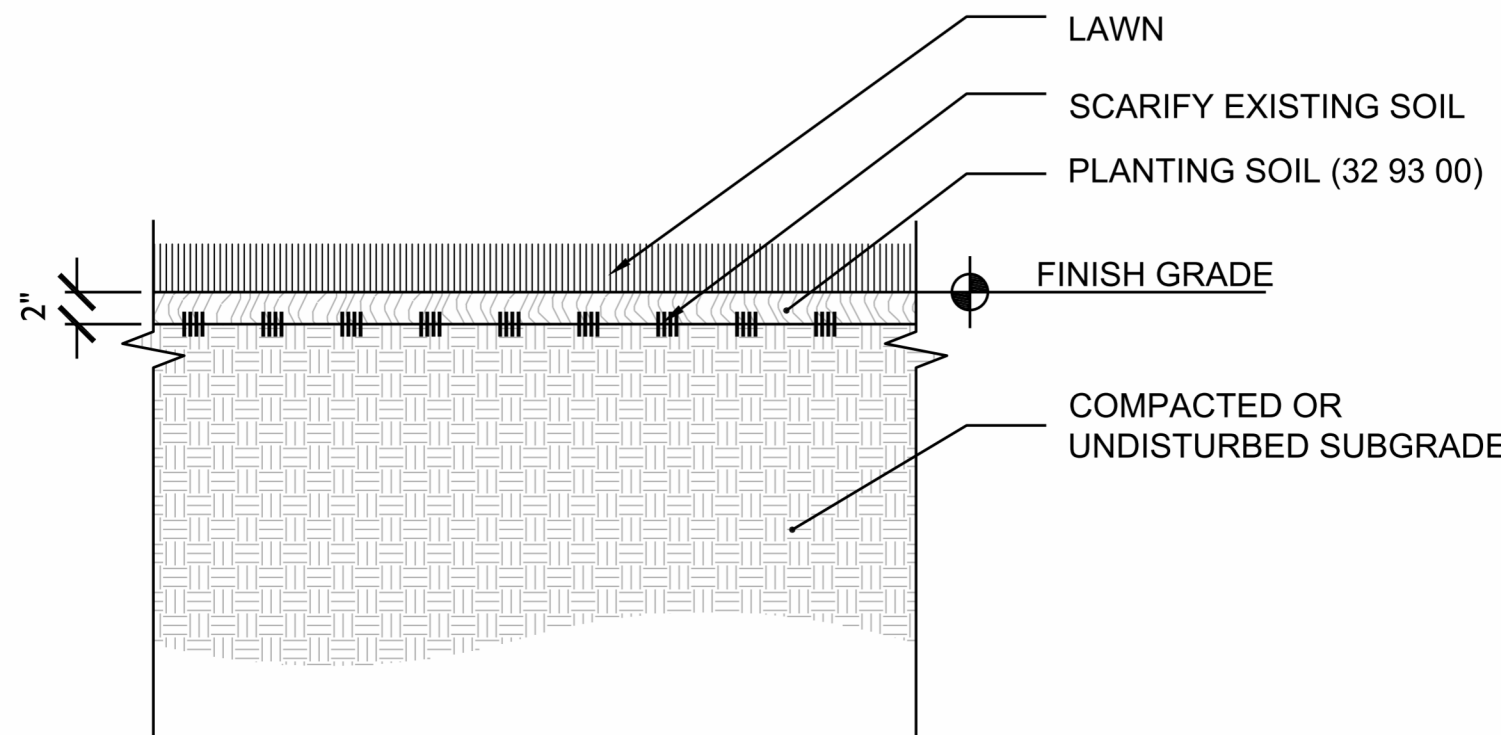


B SECTION
Scale: 1/2"=1'-0"

2 SHRUB PLANTING
As Noted

DETAIL

3 LAWN PLANTING
Scale: 1"=1'-0"



DETAIL

MAZANT ROYAL DEVELOPMENT

4100 ROYAL STREET, NEW ORLEANS, LA 70117

DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST. BATON ROUGE, LA 70802DNA-WORKSHOP.COM (225) 224 3363

REVISIONS

NO.	DESCRIPTION

JOB NUMBER: 15-050

ISSUED: 08/30/24

ISSUED FOR:

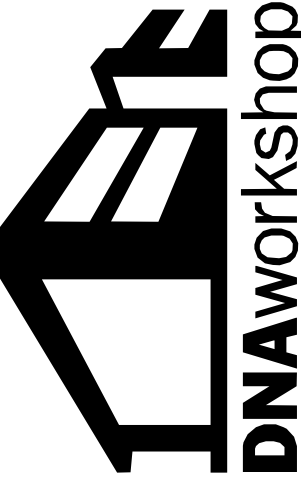
PERMITTING

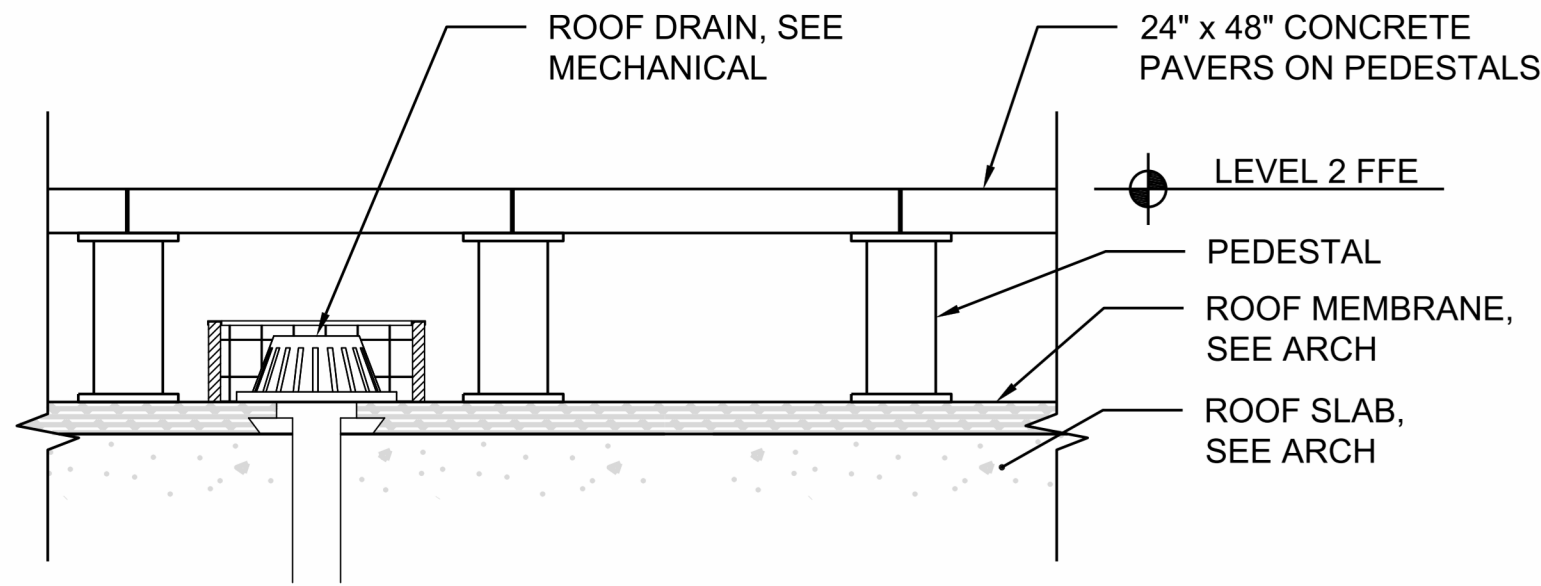
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PLANTING DETAILS

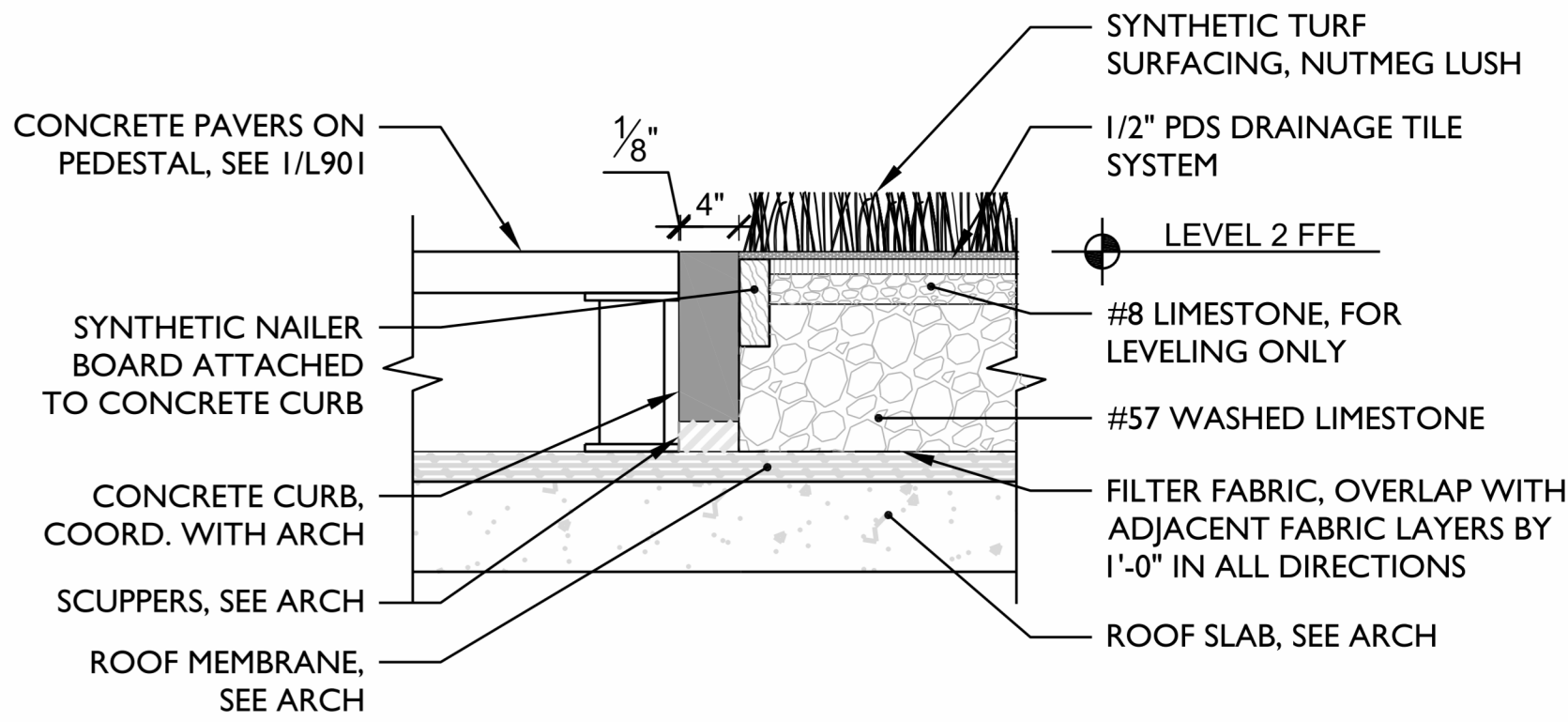
L591

PHASE: DD

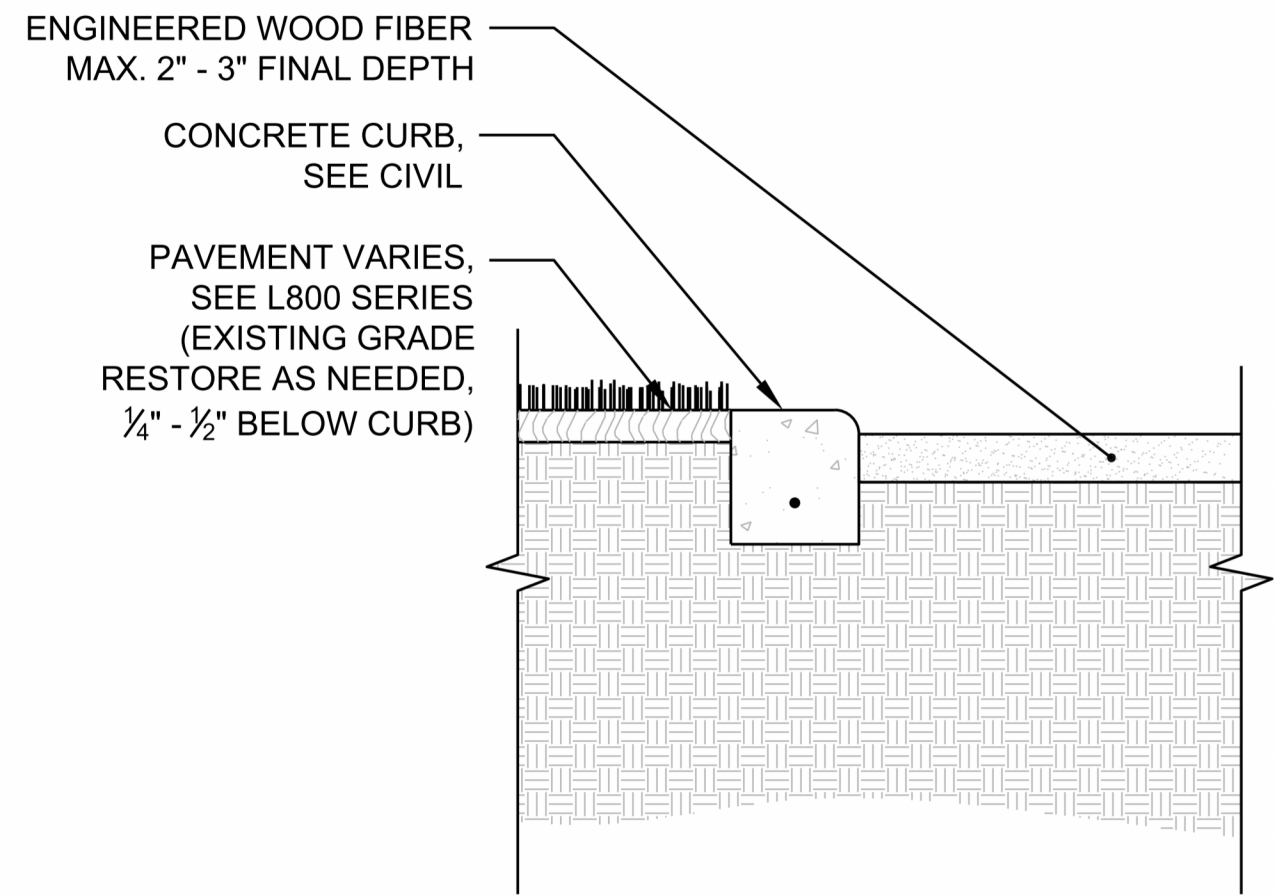




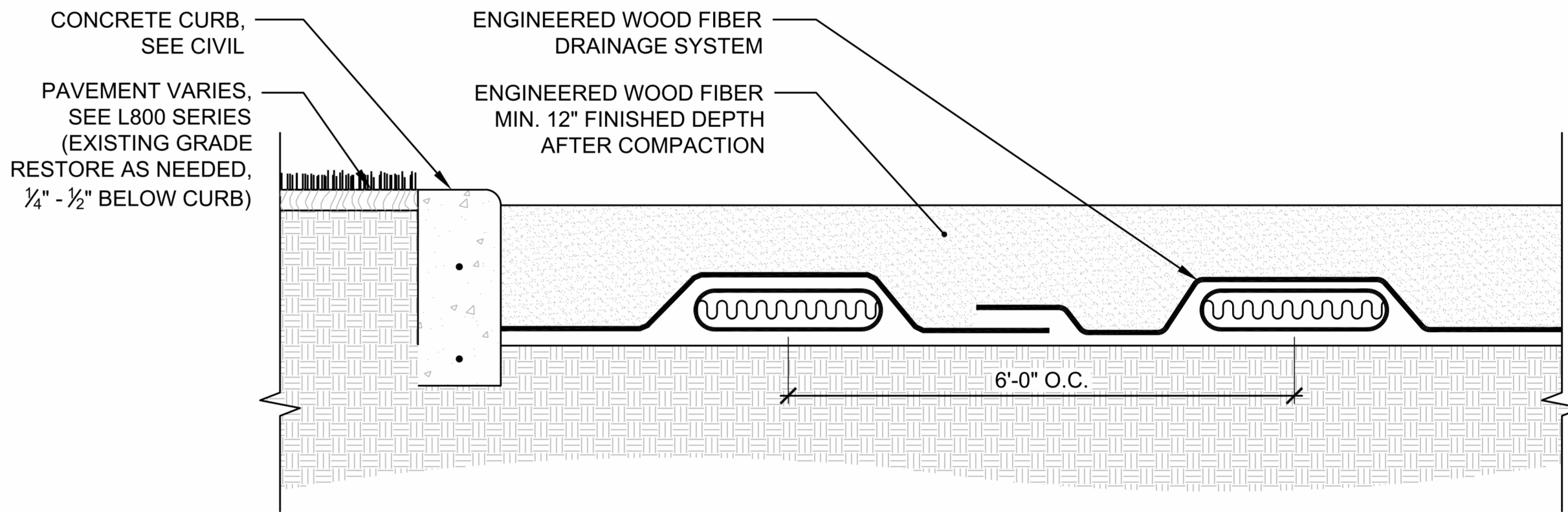
1 CONCRETE PAVERS ON PEDESTAL SYSTEM, TYP. Detail
Scale: 1"=1'-0"



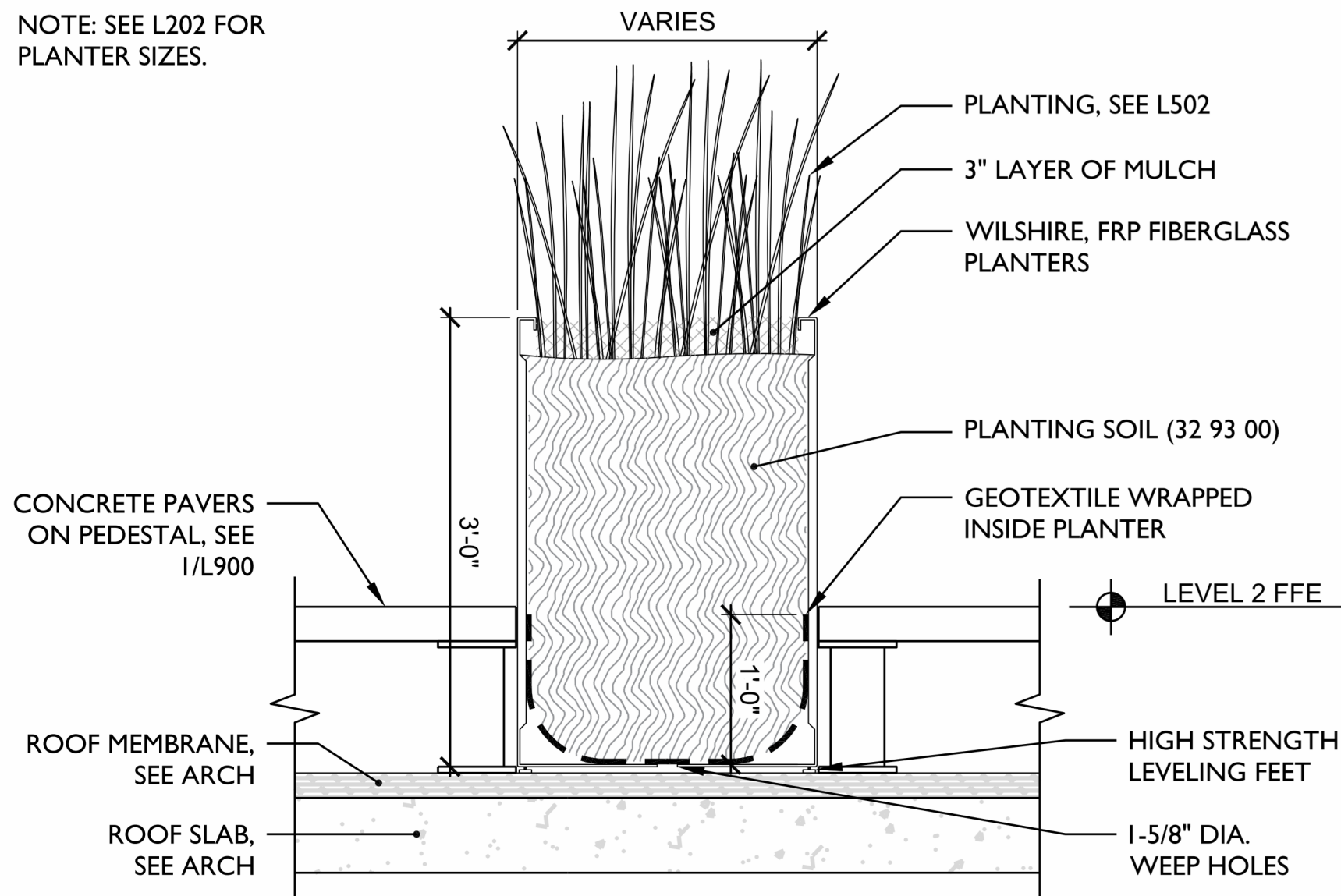
2 ARTIFICIAL TURF TO PAVERS, TYP. Detail
Scale: 1 1/2"=1'-0"



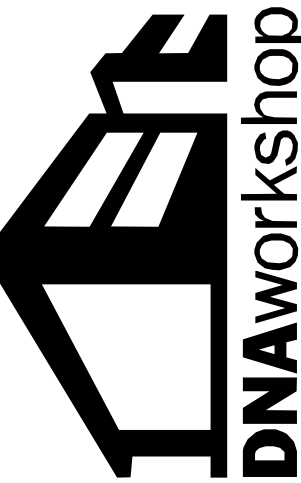
3 PLAYSURFACE - ENGINEERED WOOD FIBER, TYPE 1 Detail
N.T.S



4 PLAYSURFACE - ENGINEERED WOOD FIBER, TYPE 2 Detail
Scale: 1"=1'-0"



5 LIGHTWEIGHT COMPOSITE PLANTERS, TYP. Detail
Scale: 1"=1'-0"



MAZANT ROYAL DEVELOPMENT
4100 ROYAL STREET, NEW ORLEANS, LA 70117

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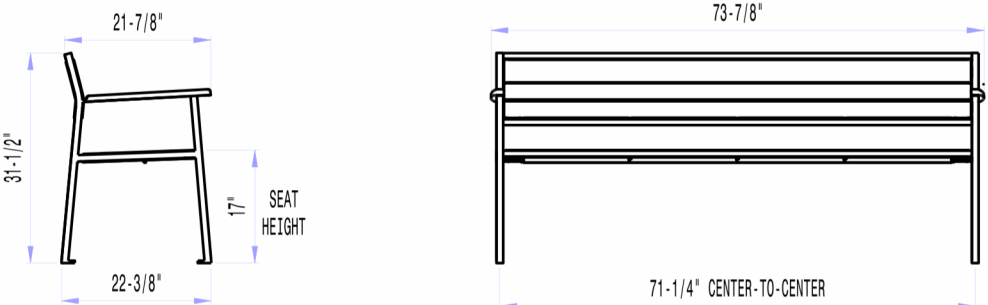
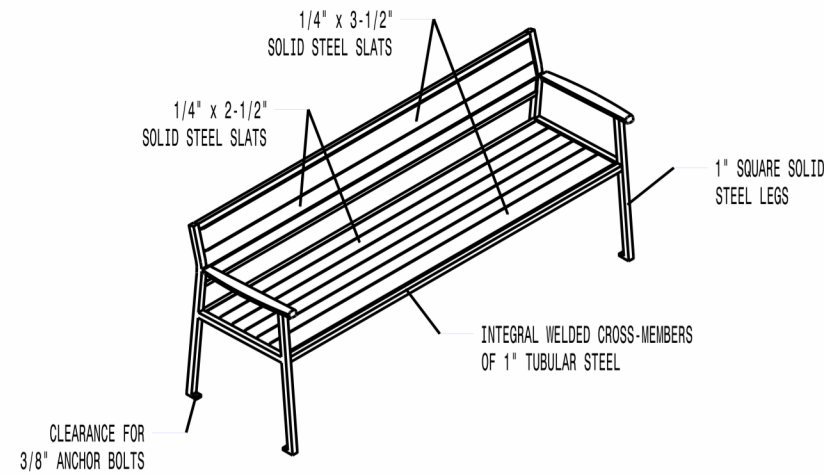


SURFACE DETAILS

L901

PHASE: DD

* ALL DIMENSIONS ARE IN INCHES *



AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS,
CUSTOM COLORS (INCLUDING THE RAL RANGE)

LENGTHS
STANDARD 2'
STANDARD 4'
STANDARD 6' (AS SHOWN)
STANDARD 8'

- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL (SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
 - ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 - THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.

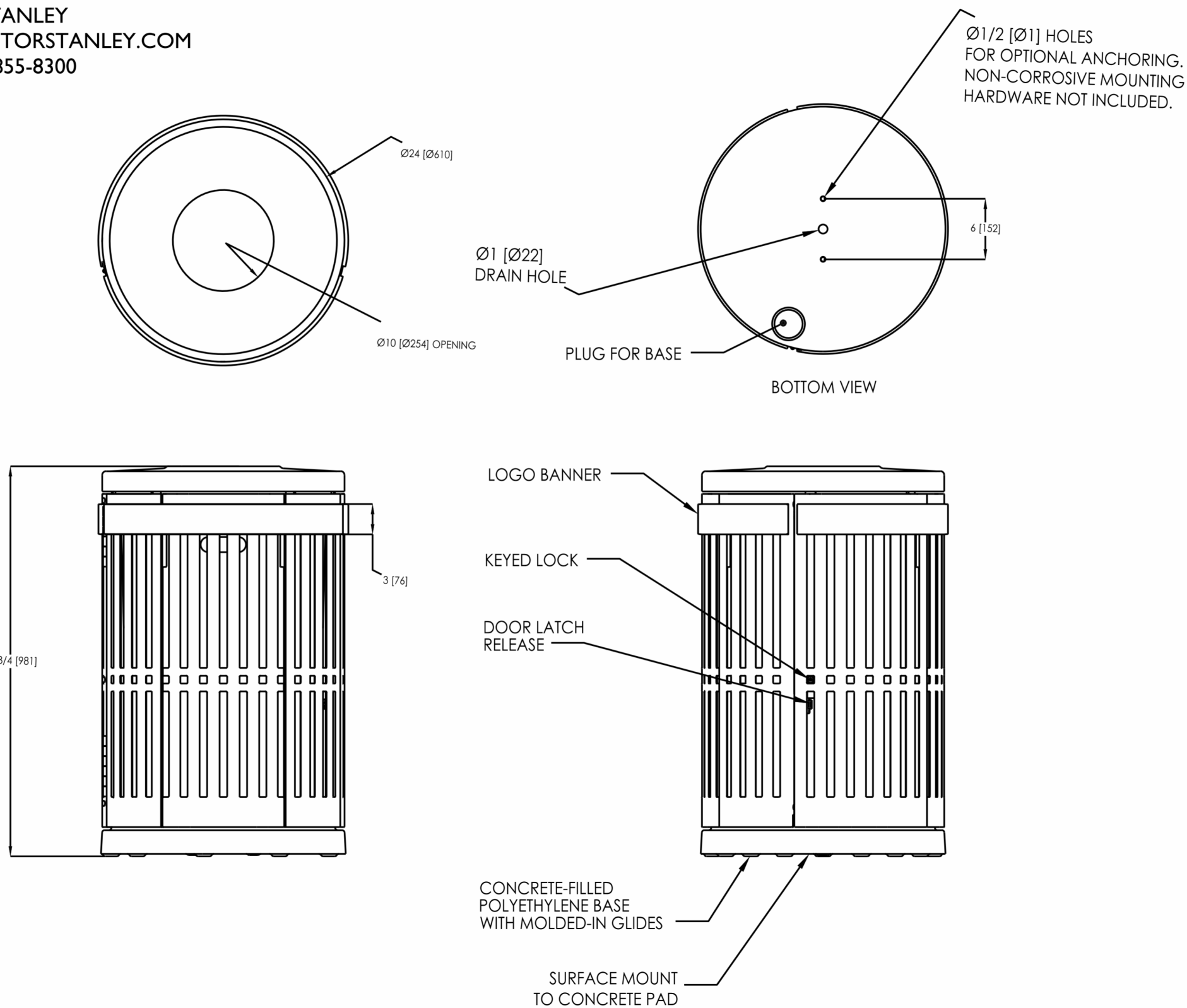


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1 BENCH, TYP. DETAILS

NOTE:
REN TOP LOAD, TOP-DEPOSIT LITTER
RECEPTACLE WITH WIDE MOUTH CONVEX LID
(REN-45TD), POWDERCOATED WITH WOOD
SLATS.

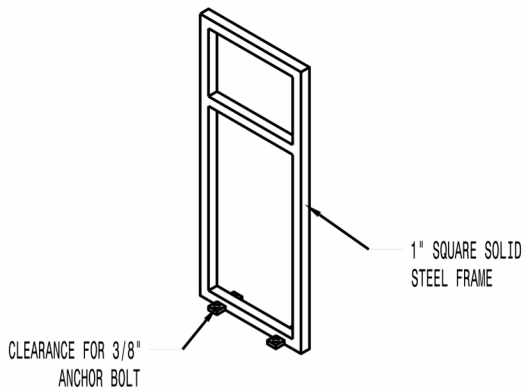
VICTOR STANLEY
WWW.VICTORSTANLEY.COM
TEL: (301)-855-8300



2 LITTER RECEPTACLE, TYP. DETAILS

* ALL DIMENSIONS ARE IN INCHES *

PATENTS PENDING



AVAILABLE OPTIONS:
POWDER COATING
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS,
CUSTOM COLORS (INCLUDING THE RAL RANGE)

- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL (SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BIKE RACK IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
 - ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
 - THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.



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3 BIKE RACK, TYP. DETAILS

REVISIONS

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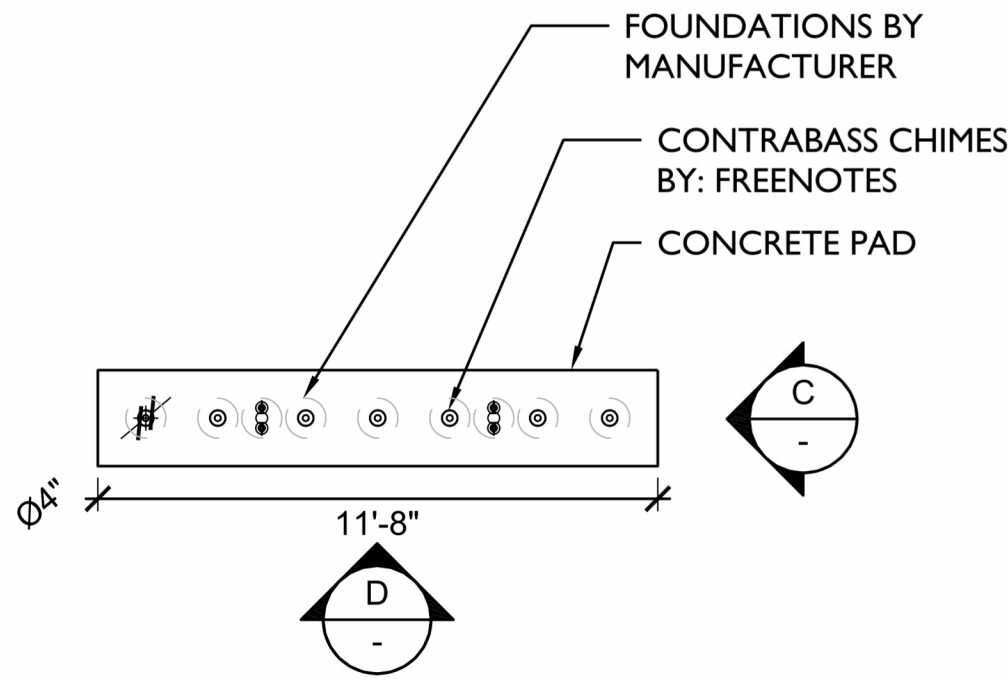


SITE FURNISHINGS
DETAILS

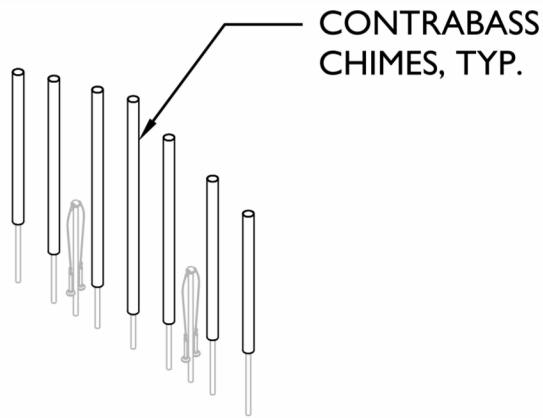
L920

PHASE: DD

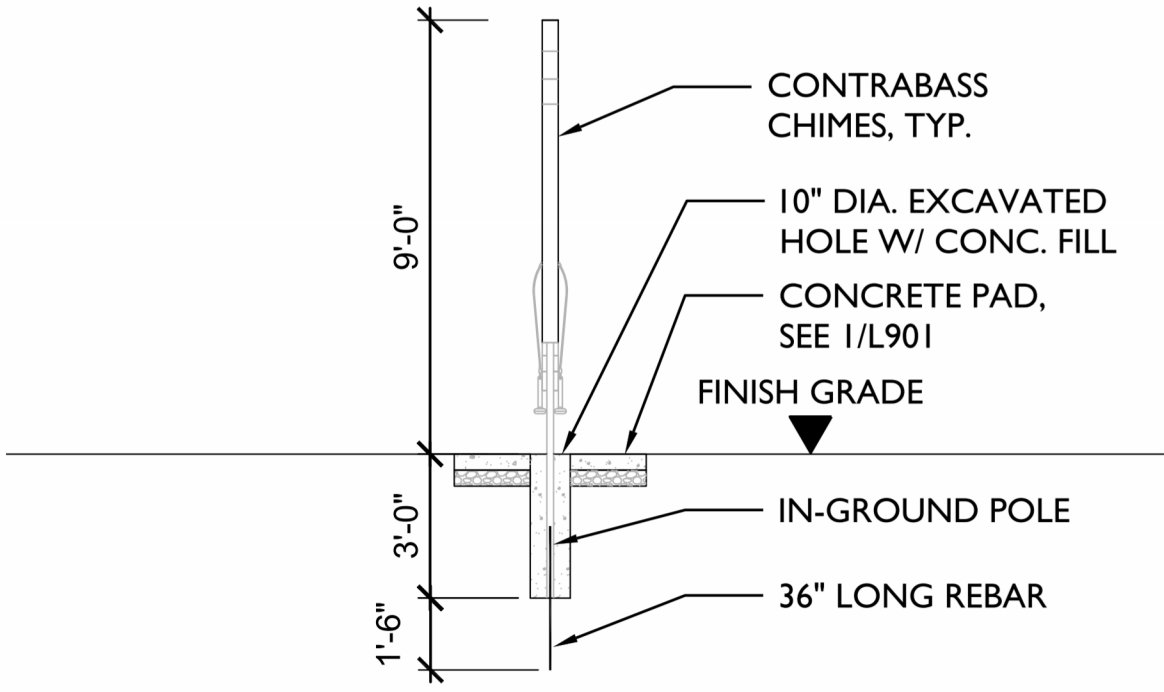
- NOTES:
1. STRICTLY ADHERE TO MANUFACTURER'S INSTALLATION PROCEDURES AND DETAILS.
 2. STRICTLY ADHERE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR FOUNDATION LOCATIONS.
 3. LANDSCAPE ARCHITECT SHALL VERIFY ORIENTATION OF PLAY STRUCTURE IN THE FIELD.
 4. CONTRACTOR SHALL NOT PROCEED IN UNCERTAINTY. MANUFACTURER'S REP. SHALL BE REQUIRED TO BE ON SITE DURING INSTALLATION OF EQUIPMENT AND PLAY SURFACE.
 5. ALL REBAR TO BE GALVANIZED.
 6. SAFETY AND CLEARANCE ZONES PER MANUFACTURER'S SPECIFICATIONS. ALL SAFETY AND CLEARANCE ZONES SHALL BE CLEAR OF PAVEMENT AND OTHER STRUCTURES EXCEPTING 12" EVVF MIN. DEPTH, SEE 2/L901.



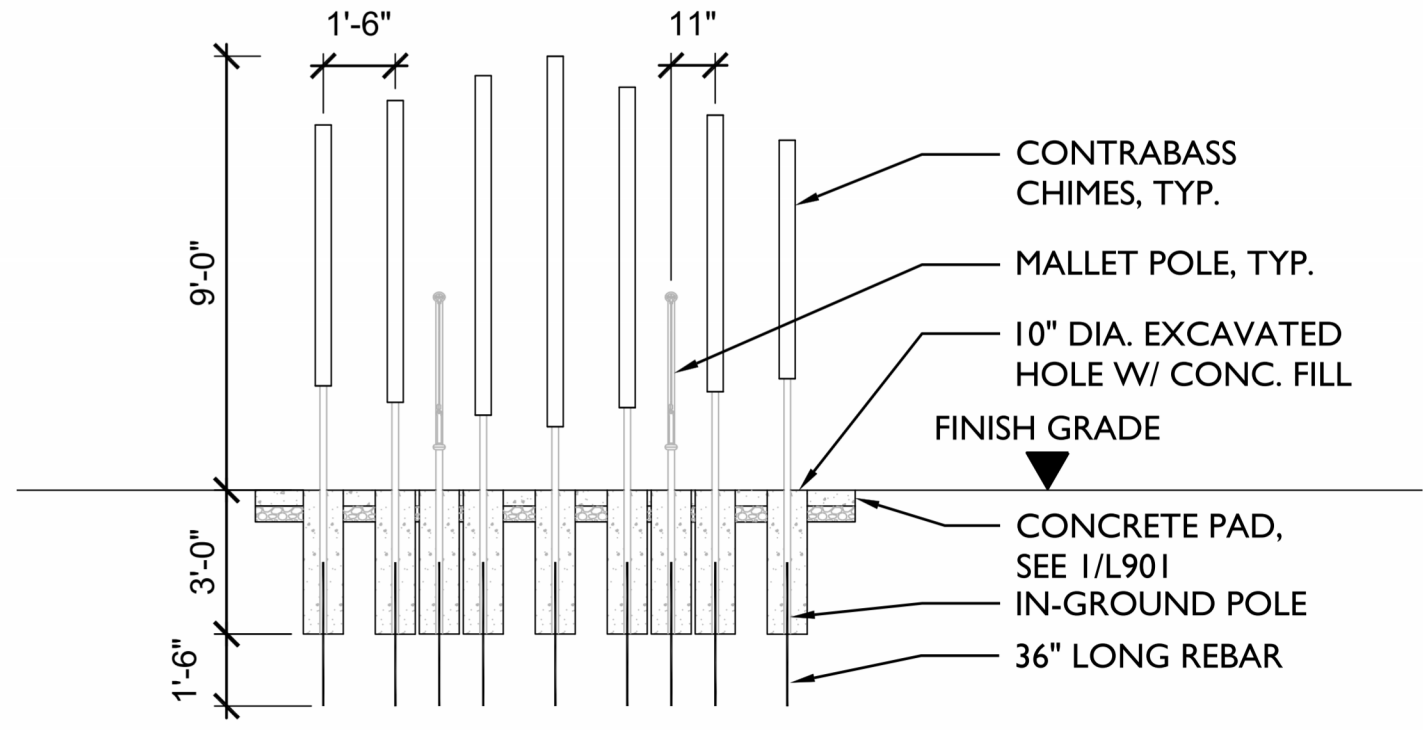
A DETAIL PLAN
Scale: 1/4" = 1'-0"



B ISOMETRIC VIEW
Scale: 1/4" = 1'-0"

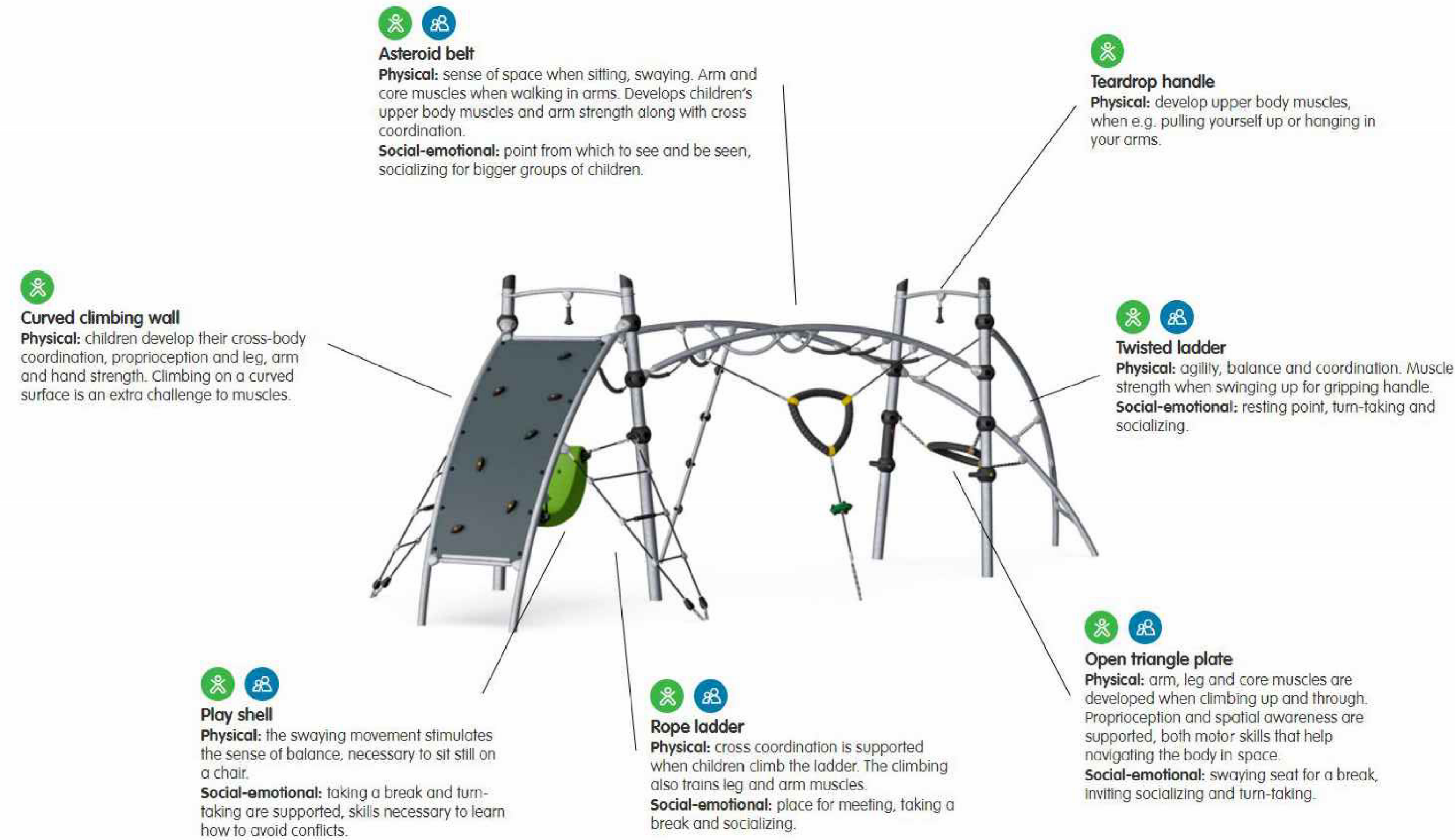


C FRONT ELEVATION
Scale: 1/4" = 1'-0"



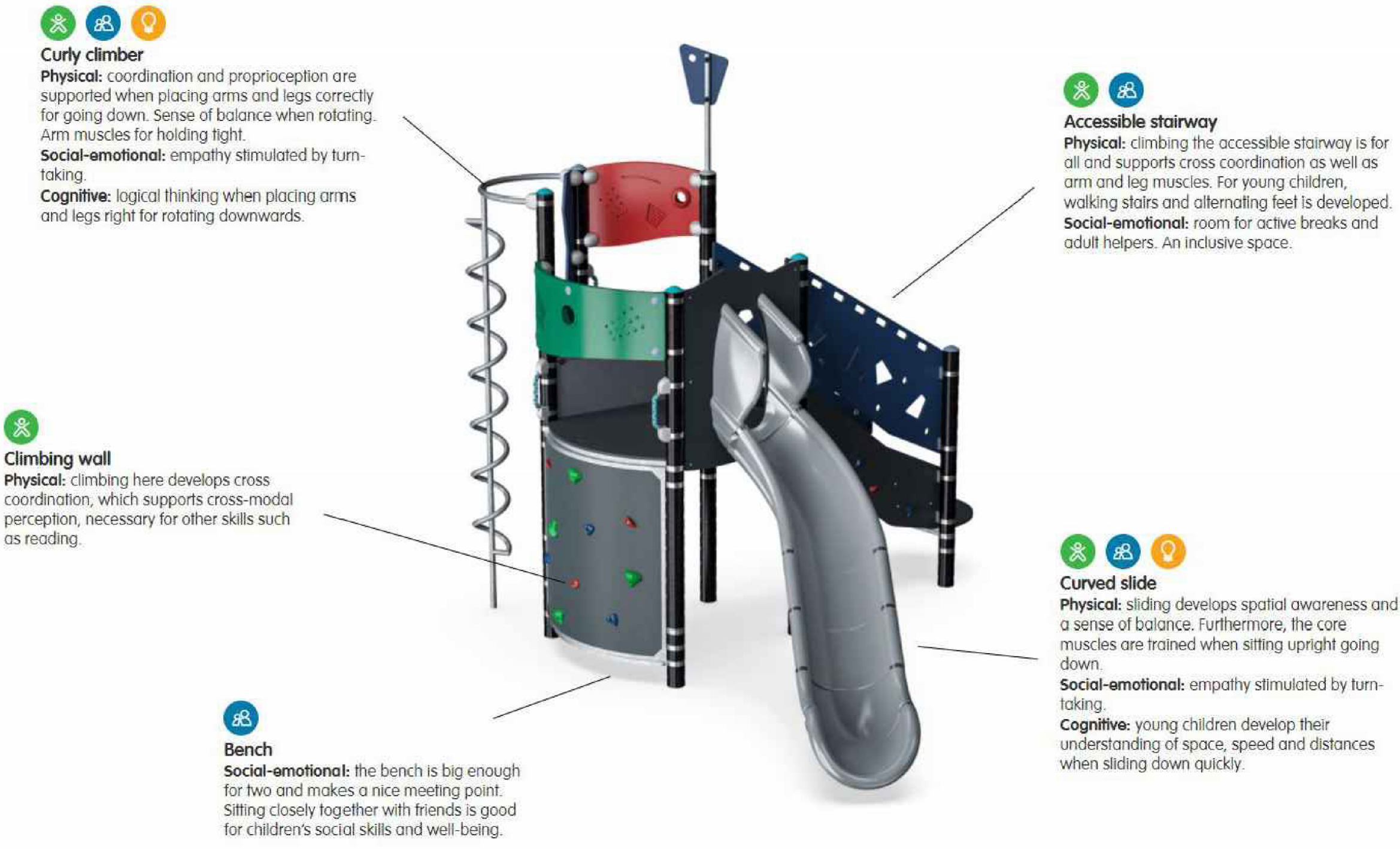
D SIDE ELEVATION
Scale: 1/4" = 1'-0"

1 CONTRABASS CHIMES
As Noted



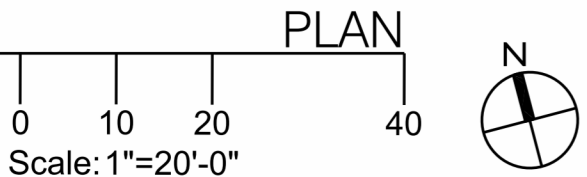
2 PLAY EQUIPMENT, TYPE 1
NTS

RENDERING



3 PLAY EQUIPMENT, TYPE 2
NTS

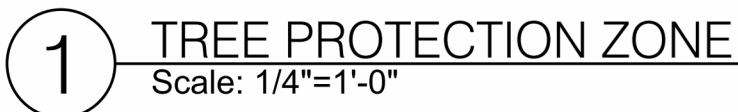
RENDERING



NOTES

1. ALL EXISTING SITE INFORMATION SHALL BE VERIFIED IN FIELD.
2. TREE PROTECTION FENCING SHALL BE ERECTED IN THE LOCATIONS INDICATED ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE FENCING SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
4. TREE PROTECTION FENCING TO PROTECT TREE ROOTS AND PREVENT SOIL COMPACTION UNDER TREE DRIP LINE.
5. ALL WORK DONE WITHIN THE TREE PROTECTION ZONE OR UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN SHALL BE DONE BY HAND (01 56 39).
6. ONLY A LOUISIANA LICENSED ARBORIST SHALL PERFORM WORK ON EXISTING TREES TO REMAIN FOLLOWING APPROVAL FROM ARBORIST AND LANDSCAPE ARCHITECT.
7. IMPACTS ON VEGETATION WITHIN TREE PROTECTION FENCING DURING CONSTRUCTION ARE TO BE KEPT TO A MINIMUM.
8. CONTRACTOR TO PROVIDE PROTECTIONS NECESSARY TO PREVENT DAMAGE TO NEWLY CONSTRUCTED IMPROVEMENTS.
9. NO EQUIPMENT OR VEHICLES SHALL OPERATE OR PARK INSIDE THE TREE PROTECTION ZONE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
10. SITE TO BE CLEAN OF DEBRIS AND TRASH DURING CONSTRUCTION.
11. NO MATERIALS, SPOIL, WASTE, OR WASHOUT WATER SHALL BE DEPOSITED, STORED, OR IMPOUNDED WITHIN THE TREE PROTECTION ZONE.
12. RESTORE AND CLEAN ALL DISTURBED AREAS POST CONSTRUCTION, INCLUDING WITHIN LAY-DOWN AREA AND TEMPORARY PATH.

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NOTES:

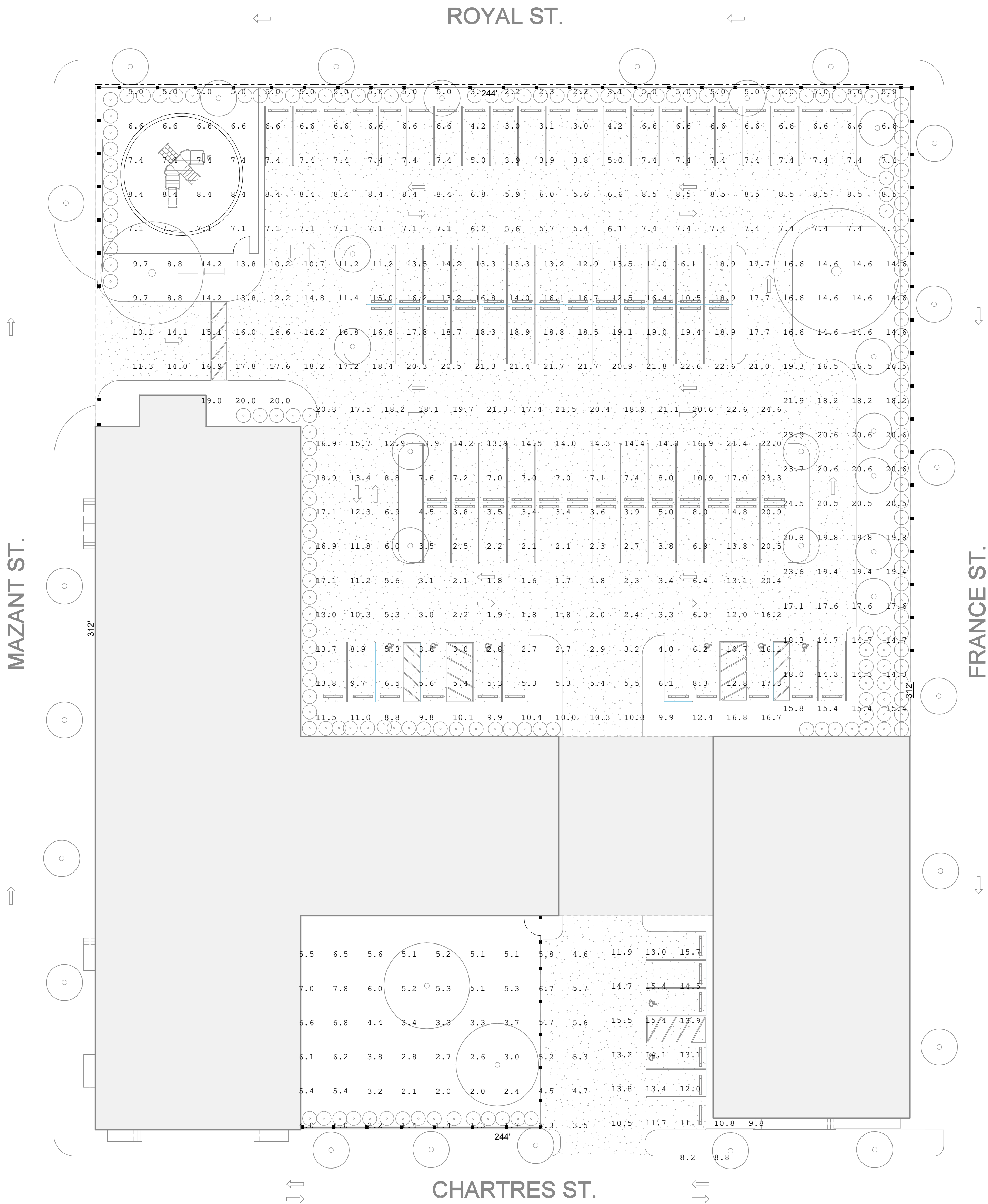
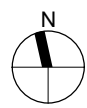
1. NO PRUNING OR ANY OTHER WORK SHALL BE PERFORMED ON ANY EXISTING TREE TO REMAIN EXCEPT BY AN APPROVED LOUISIANA LICENSED ARBORIST.
2. NO EQUIPMENT OR VEHICLES SHALL OPERATE OR PARK INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
3. NO MATERIALS, SPOIL, WASTE, OR WASHOUT WATER SHALL BE DEPOSITED, STORED, OR IMPOUNDED WITHIN THE PROTECTIVE FENCING.
4. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION ZONE.

REVISIONS

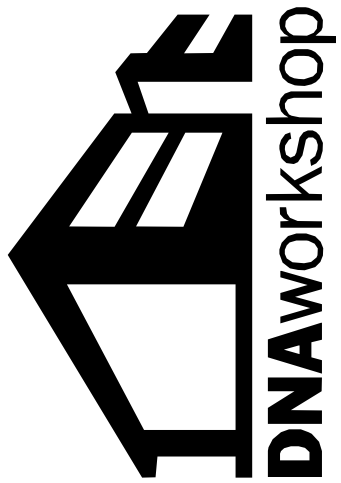
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1 SITE LIGHTING PLAN
1" = 20'-0"



- GENERAL NOTES
1. NOT FOR CONSTRUCTION PURPOSES
 2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%
 3. CALCULATION POINT SPACING IS 4' x 4'
 4. ALL CALCULATIONS ARE IN FOOT CANDLE MEASUREMENTS
 5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF:
PARKING LOT = 2; WALLS = 5; CEILING = 7



MAZANT ROYAL DEVELOPMENT
4100 ROYAL STREET, NEW ORLEANS, LA 70117

DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST. BATON ROUGE, LA 70802 DNA-WORKSHOP.COM (225) 224 3363

REVISIONS

JOB NUMBER: 15-050
ISSUED: 08/30/24
ISSUED FOR:
PERMITTING

THESE DRAWINGS ARE THE PROPERTY OF DYKE NELSON ARCHITECTURE, LLC AND ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART. THEY ARE ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. SCALES STATED HEREON ARE VALID ON THE ORIGINAL DRAWINGS ONLY. CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN AND REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED THESE PLANS WERE PREPARED IN THIS OFFICE UNDER OUR PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE COMPLY WITH STATE AND LOCAL CODES.

SITE PHOTOMETRICS
PLAN

E100

PHASE: DD

CITY OF NEW ORLEANS

TAMMIE JACKSON
DIRECTOR



DEPARTMENT OF SAFETY & PERMITS
ZONING ADMINISTRATION DIVISION
CITY OF NEW ORLEANS

LATOYA CANTRELL
MAYOR

TAMMIE JACKSON
DIRECTOR

Legal Description: SQ 131 FRANCE 8-A-1 161.09X 148.67 PLAN 9-2-31 (2) 2/ST BR/V APT
COMPLEX DOC 33/07 4/8/08 20/APTS A/R 1/ELDERLY COMPLEX PLAN 9-1-21 (Per
Orleans Parish Assessor)

Zoning Designation: HMC-1, HMC-2

Historic District: Bywater

***Comments:** This request is a Zoning Verification for a proposed Multi-Family Development in an HMC-1 Historic Marigny/Treme/Bywater Commercial and HMC-2 Historic Marigny/Treme/Bywater Commercial District. The applicant was granted an Affordable Housing Planned Development (AHPD) in accordance with Article 5, Section 5.10 of the Comprehensive Zoning Ordinance by Ordinance 28,291 MCS on January 21, 2020, which permits an affordable housing development at the site. Thus, the proposal is considered compliant with the City of New Orleans Comprehensive Zoning Ordinance.

Inspector Signature: Kelly Butler
Kelly Butler, IZ Planning Administrator

1300 PERDIDO STREET | ROOM 7E05 | NEW ORLEANS, LOUISIANA 70112
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