

2 SITE/ROOF PLAN
3/16" = 1'-0"

SITE INFO

- TOTAL SITE AREA: 7,788 SQ. FT.
- TOTAL REQ'D OPEN PERMEABLE AREA (10% OF SITE AREA): 779 SQ. FT.
- TOTAL OPEN PERMEABLE AREA PROVIDED 1303 SQ. FT.

5400 MAGAZINE
5400 MAGAZINE ST
NEW ORLEANS, LA 70115

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685

CONSULTANTS:

STRUCTURAL/ CIVIL ENGINEER:

HOWARD ENGINEERING, LLC
21250 FIRETOWER RD.
MANDERVILLE, LA 70471
504.289.5268

MECHANICAL/ PLUMBING/ ELECTRICAL
ENGINEER:

THOMPSON LUKE AND ASSOCIATES, LLC
10705 RIEGER ROAD
BATON ROUGE, LA 70809
225.293.9474

1	ISSUED FOR DAC REVIEW	01.15.25
#	REVISION / ISSUE	DATE

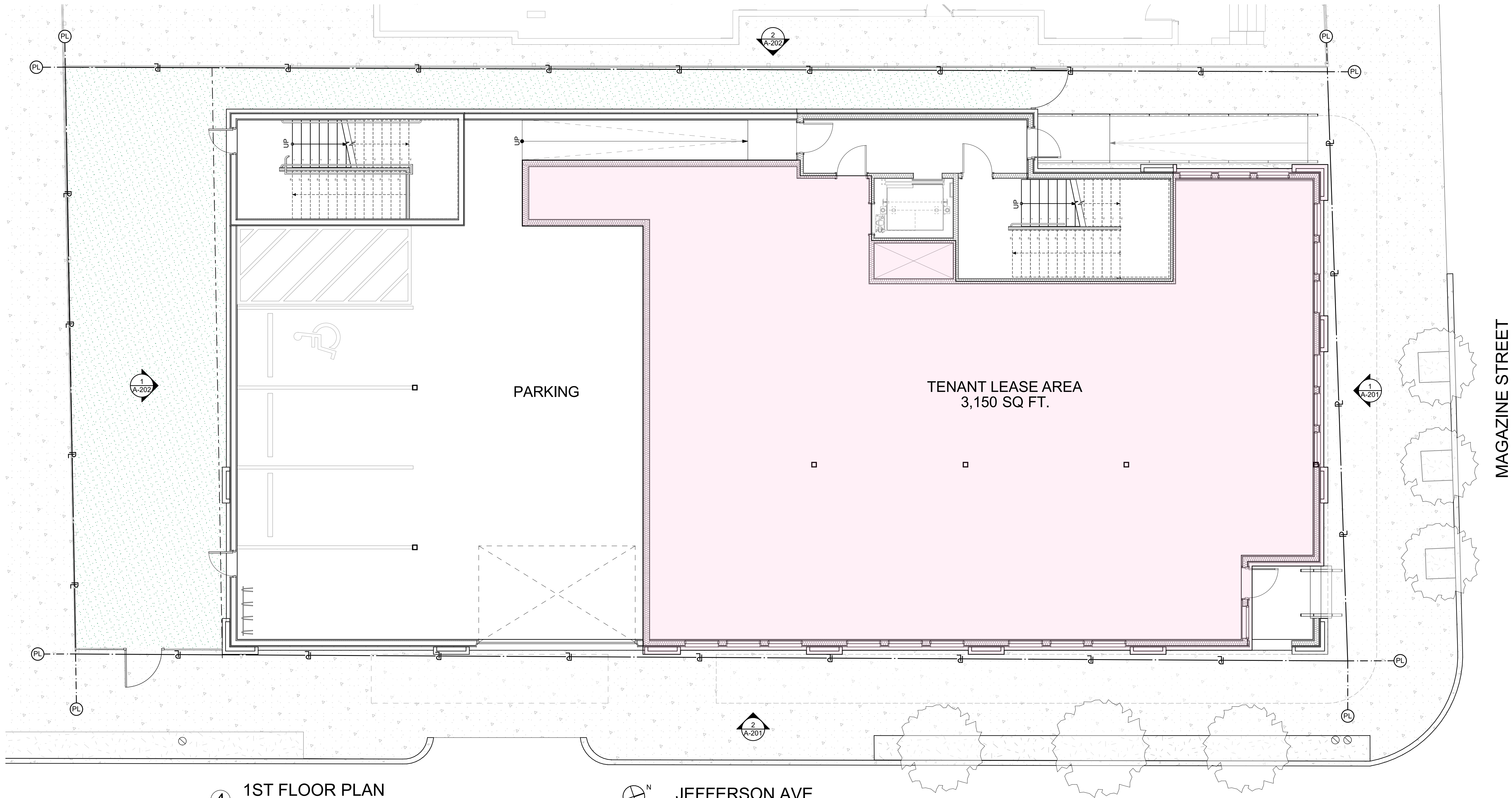
SEAL

NOT FOR CONSTRUCTION
ISSUED FOR DESIGN
INFORMATION ONLY

SHEET TITLE

SITE PLAN / ROOF PLAN

A-001



④ 1ST FLOOR PLAN
3/16" = 1'-0"

PARKING INFO (TENANT LEASE AREA)

PARKING AT 1:500 SQ. FT. / FIRST 5,000 SQ. FT. WAIVED

LEASE AREA: 3,150 SQ. FT.
PARKING REQUIRED: 0 SPACES*
TOTAL PARKING PROVIDED: 4 SPACES

*PARKING EXEMPT AS PER CZO SECTION 22.5.A.6: SQUARE
FOOTAGE EXEMPTION - FIRST 5,000 SF PER COMMERCIAL USE

5400 MAGAZINE
5400 MAGAZINE ST
NEW ORLEANS, LA 70115

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685

CONSULTANTS:

STRUCTURAL/ CIVIL ENGINEER:

HOWARD ENGINEERING, LLC
21250 FIRETOWER RD.
MANDERVILLE, LA 70471
504.289.5268

MECHANICAL/ PLUMBING/ ELECTRICAL
ENGINEER:

THOMPSON LUKE AND ASSOCIATES, LLC
10705 RIEGER ROAD
BATON ROUGE, LA 70809
225.293.9474

1	ISSUED FOR DAC REVIEW	01.15.25
#	REVISION / ISSUE	DATE

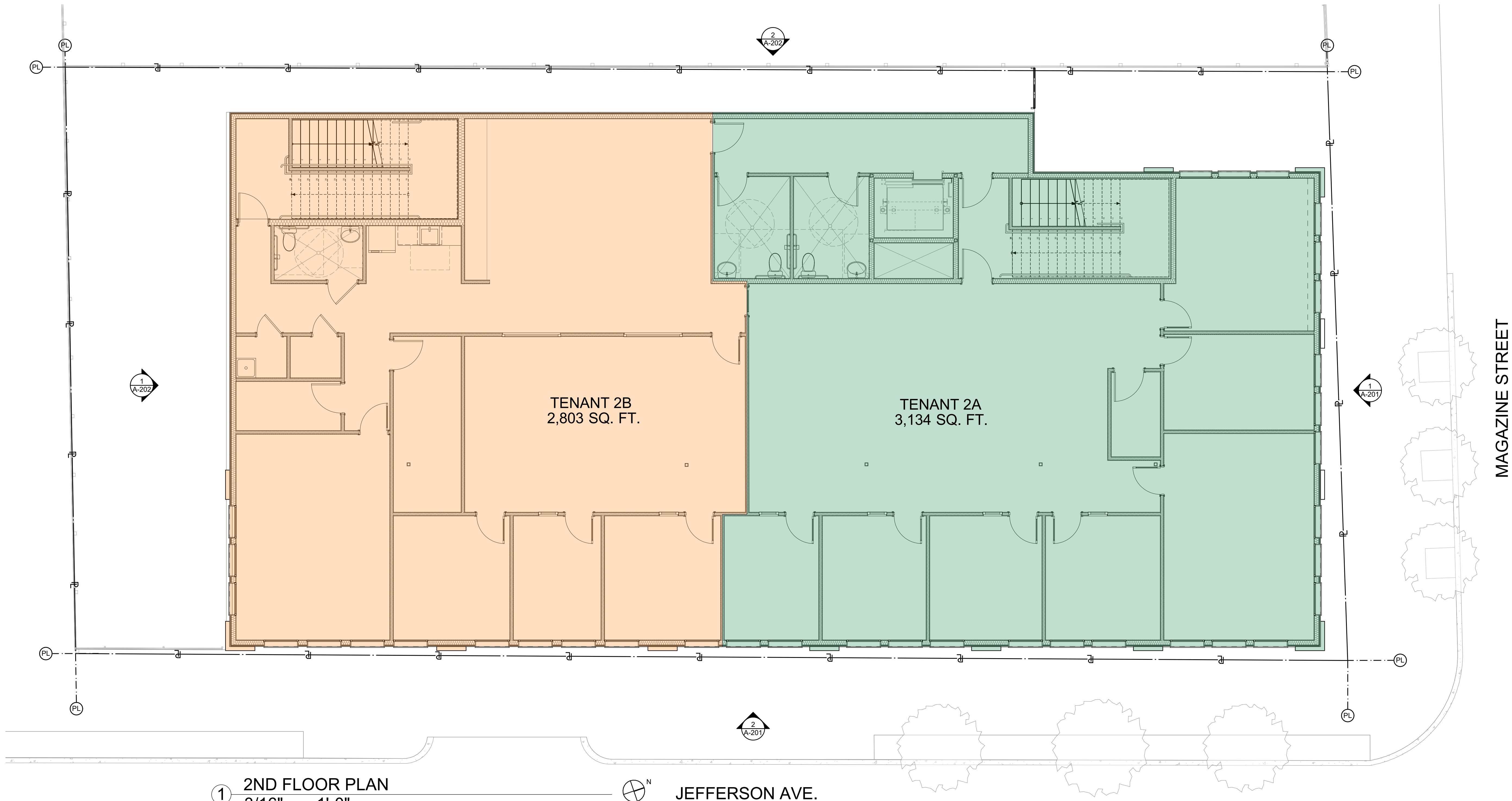
SEAL

NOT FOR CONSTRUCTION
ISSUED FOR DESIGN
INFORMATION ONLY

SHEET TITLE

FIRST FLOOR PLAN

A-101



1 2ND FLOOR PLAN
3/16" = 1'-0"

PARKING INFO (TENANT 2A)

PARKING AT 1:500 SQ. FT. / FIRST 5,000 SQ. FT. WAIVED

LEASE AREA: 3,134 SQ. FT.
PARKING REQUIRED: 0 SPACES*
TOTAL PARKING PROVIDED: 4 SPACES

*PARKING EXEMPT AS PER CZO SECTION 22.5.A.6: SQUARE
FOOTAGE EXEMPTION - FIRST 5,000 SF PER COMMERCIAL USE

PARKING INFO (TENANT 2B)

PARKING AT 1:500 SQ. FT. / FIRST 5,000 SQ. FT. WAIVED

LEASE AREA: 2,803 SQ. FT.
PARKING REQUIRED: 0 SPACES
TOTAL PARKING PROVIDED: 4 SPACES

*PARKING EXEMPT AS PER CZO SECTION 22.5.A.6: SQUARE
FOOTAGE EXEMPTION - FIRST 5,000 SF PER COMMERCIAL USE

5400 MAGAZINE
5400 MAGAZINE ST
NEW ORLEANS, LA 70115

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685

CONSULTANTS:

STRUCTURAL/ CIVIL ENGINEER:
HOWARD ENGINEERING, LLC
21250 FIRETOWER RD.
MANDERVILLE, LA 70471
504.289.5268

MECHANICAL/ PLUMBING/ ELECTRICAL
ENGINEER:
THOMPSON LUKE AND ASSOCIATES, LLC
10705 RIEGER ROAD
BATON ROUGE, LA 70809
225.293.9474

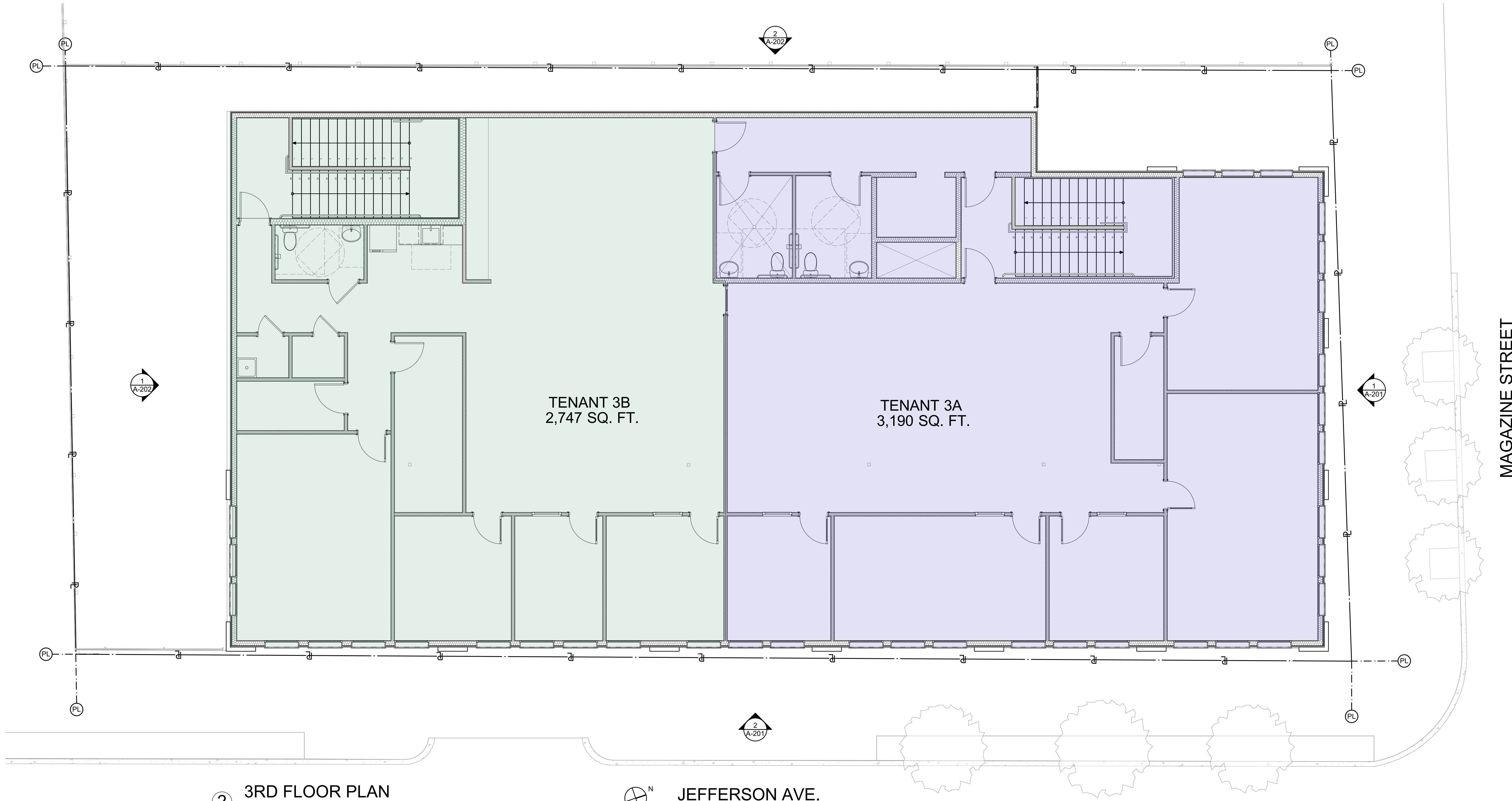
1	ISSUED FOR DAC REVIEW	01.15.25
#	REVISION / ISSUE	DATE

SEAL

NOT FOR CONSTRUCTION
ISSUED FOR DESIGN
INFORMATION ONLY

SHEET TITLE
SECOND FLOOR PLAN

A-102



② 3RD FLOOR PLAN
3/16" = 1'-0"

JEFFERSON AVE.

MAGAZINE STREET

PARKING INFO (TENANT 3A)

PARKING AT 1:500 SQ. FT. / FIRST 5,000 SQ. FT. WAIVED

LEASE AREA: 3,190 SQ. FT.
PARKING REQUIRED: 0 SPACES*
TOTAL PARKING PROVIDED: 4 SPACES

*PARKING EXEMPT AS PER CZO SECTION 22.5.A.6: SQUARE
FOOTAGE EXEMPTION - FIRST 5,000 SF PER COMMERCIAL USE

PARKING INFO (TENANT 3B)

PARKING AT 1:500 SQ. FT. / FIRST 5,000 SQ. FT. WAIVED

LEASE AREA: 2,747 SQ. FT.
PARKING REQUIRED: 0 SPACES
TOTAL PARKING PROVIDED: 4 SPACES

*PARKING EXEMPT AS PER CZO SECTION 22.5.A.6: SQUARE
FOOTAGE EXEMPTION - FIRST 5,000 SF PER COMMERCIAL USE

5400 MAGAZINE
5400 MAGAZINE ST
NEW ORLEANS, LA 70115

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685

CONSULTANTS:

STRUCTURAL/ CIVIL ENGINEER:
HOWARD ENGINEERING, LLC
21250 FIRETOWER RD.
MANDERVILLE, LA 70471
504.289.5268

MECHANICAL/ PLUMBING/ ELECTRICAL
ENGINEER:
THOMPSON LUKE AND ASSOCIATES, LLC
10705 RIEGER ROAD
BATON ROUGE, LA 70809
225.293.9474

1	ISSUED FOR DAC REVIEW	01.15.25
#	REVISION / ISSUE	DATE

SEAL

NOT FOR CONSTRUCTION
ISSUED FOR DESIGN
INFORMATION ONLY

SHEET TITLE

THIRD FLOOR PLAN

A-103

5400 MAGAZINE
5400 MAGAZINE ST
NEW ORLEANS, LA 70115

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685

CONSULTANTS:

STRUCTURAL/ CIVIL ENGINEER:

HOWARD ENGINEERING, LLC
21250 FIRETOWER RD.
MANDERVILLE, LA 70471
504.289.5268

MECHANICAL/ PLUMBING/ ELECTRICAL
ENGINEER:

THOMPSON LUKE AND ASSOCIATES, LLC
10705 RIEGER ROAD
BATON ROUGE, LA 70809
225.293.9474

1	ISSUED FOR DAC REVIEW	01.15.25
#	REVISION / ISSUE	DATE

SEAL

NOT FOR CONSTRUCTION
ISSUED FOR DESIGN
INFORMATION ONLY

SHEET TITLE

ELEVATIONS

A-201

ELEVATION KEYNOTES

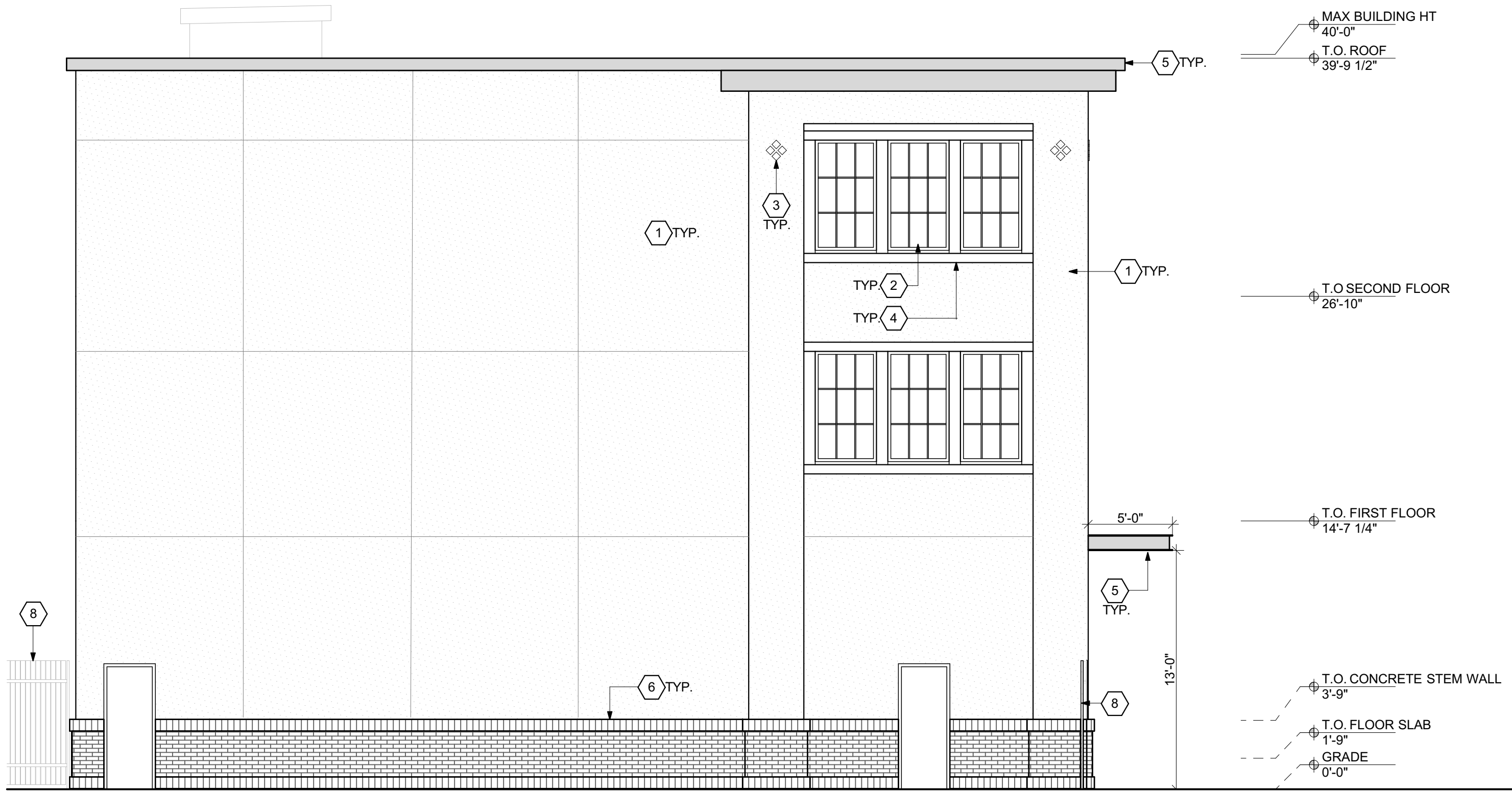
1. EXTERIOR PLASTER FINISH
2. CLAD WOOD WINDOWS
3. APPLIED CERAMIC TILE ORNAMENT
4. PAINTED FIBER CEMENT TRIM
5. PAINTED FIBER CEMENT FASCIA/SOFFIT ASSEMBLY
6. BRICK WATER TABLE
7. IRON RAILING
8. WOOD FENCE



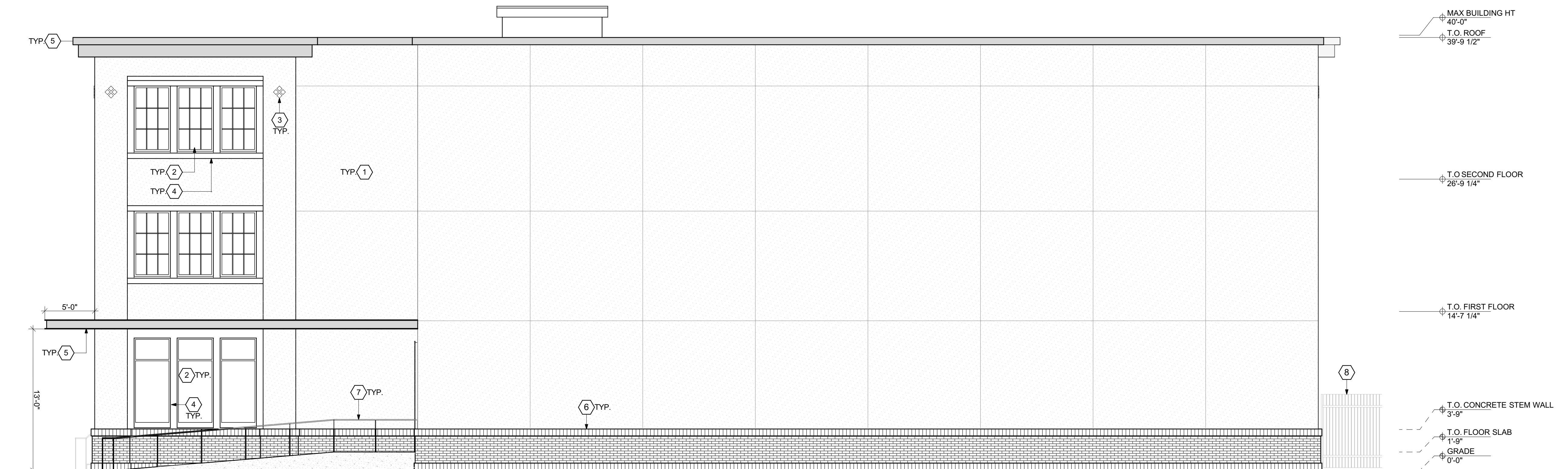
1 NORTH ELEVATION
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"



1 SOUTH ELEVATION (REAR YARD)
3/16" = 1'-0"



2 WEST ELEVATION (SIDE YARD)
3/16" = 1'-0"

ELEVATION KEYNOTES

1. EXTERIOR PLASTER FINISH
2. CLAD WOOD WINDOWS
3. APPLIED CERAMIC TILE ORNAMENT
4. PAINTED FIBER CEMENT TRIM
5. PAINTED FIBER CEMENT FASCIA/SOFFIT ASSEMBLY
6. BRICK WATER TABLE
7. IRON RAILING
8. WOOD FENCE

5400 MAGAZINE
5400 MAGAZINE ST
NEW ORLEANS, LA 70115

METROSTUDIO
NEW ORLEANS
architecture planning interiors
6501 Spanish Fort Blvd. New Orleans, LA 70124
P 504.283.3685

CONSULTANTS:

STRUCTURAL/ CIVIL ENGINEER:

HOWARD ENGINEERING, LLC
21250 FIRETOWER RD.
MANDERVILLE, LA 70471
504.289.5268

MECHANICAL/ PLUMBING/ ELECTRICAL ENGINEER:

THOMPSON LUKE AND ASSOCIATES, LLC
10705 RIEGER ROAD
BATON ROUGE, LA 70809
225.293.9474

1	ISSUED FOR DAC REVIEW	01.15.25
#	REVISION / ISSUE	DATE

SEAL

NOT FOR CONSTRUCTION
ISSUED FOR DESIGN
INFORMATION ONLY

SHEET TITLE

ELEVATIONS

A-202



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review

Interim Zoning Districts Appeal

Moratorium Appeal

Property Location _____

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name _____

Applicant Address _____

City _____ State _____ Zip _____

Applicant Contact Number _____ Email _____

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name _____

Property Owner Address _____

City _____ State _____ Zip _____

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

Character Preservation Corridor
Riverfront Design Overlay
Enhancement Corridor
Corridor Transformation
Greenway Corridor
Others as required

Non-Design Overlay District Review

Development over 40,000 sf
Public Market
CBD FAR Bonus
Wireless Antenna/Tower
Educational Facility

Changes to Approved Plans
DAC Review of Public Projects
Others as Required

ADDITIONAL INFORMATION

Current Use _____ Proposed Use _____

Square Number _____ Lot Number _____ Permeable Open Space (sf) _____

New Development? Yes No Addition? Yes No Tenant Width _____

Existing Structure(s)? Yes No Renovations? Yes No Building Width _____

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) _____

New Sign(s)? Yes No Lot Area (sf) _____ Building Area (sf) _____



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan
Location, dimensions, and area of permeable open space
Name, address of the professional who prepared the plan
Legend of symbols, patterns, and abbreviations used
The entire lot(s), including area and property lines dimensioned (including gross area of the site)
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
Location and dimensions of buildings and structures, including total floor area and distance from property lines
Location of refuse storage locations
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development
Room use
Location of all walls, doors, and windows
Location of all plumbing fixtures
Location of major appliances/mechanical equipment
Stairway location
Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls
Types, style, height, and the number of fixtures
Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials
Building Elevation (including building width and height)
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

Name and address of professional who prepared the plan.
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
All landscape plans shall meet the minimum requirements of site plans
Legend defining all symbols, patterns, and abbreviations used
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
Description of all tree preservation measures on-site and in the public right-of-way
Width, depth, and area of landscaped area(s)
Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000