





1 EXAMPLES OF EXISTING DEVELOPMENT  
1" = 160'-0"

[illegible]

12 JUNE 2025 DAC SET

06 JUNE 2025

**Project: #2025-08**

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**

**ADDRESS:**  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

## CONTEXTUAL BUILDINGS



DATE: 6/12/2025 8:08:44 PM

PROJECT NO.:	2025-08
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DRAWING BY:	MMV
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CHECKED BY:	AJA
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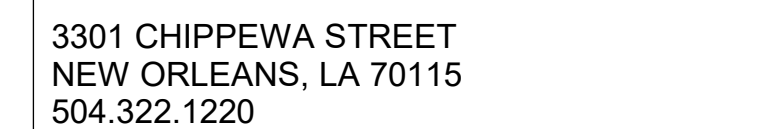
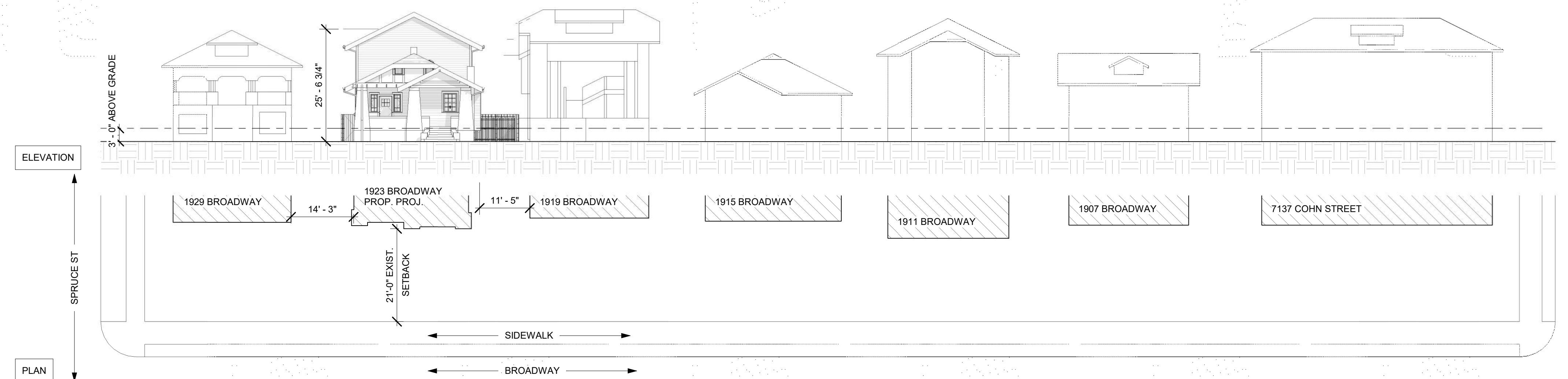
SHEET NO.:
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Λ009

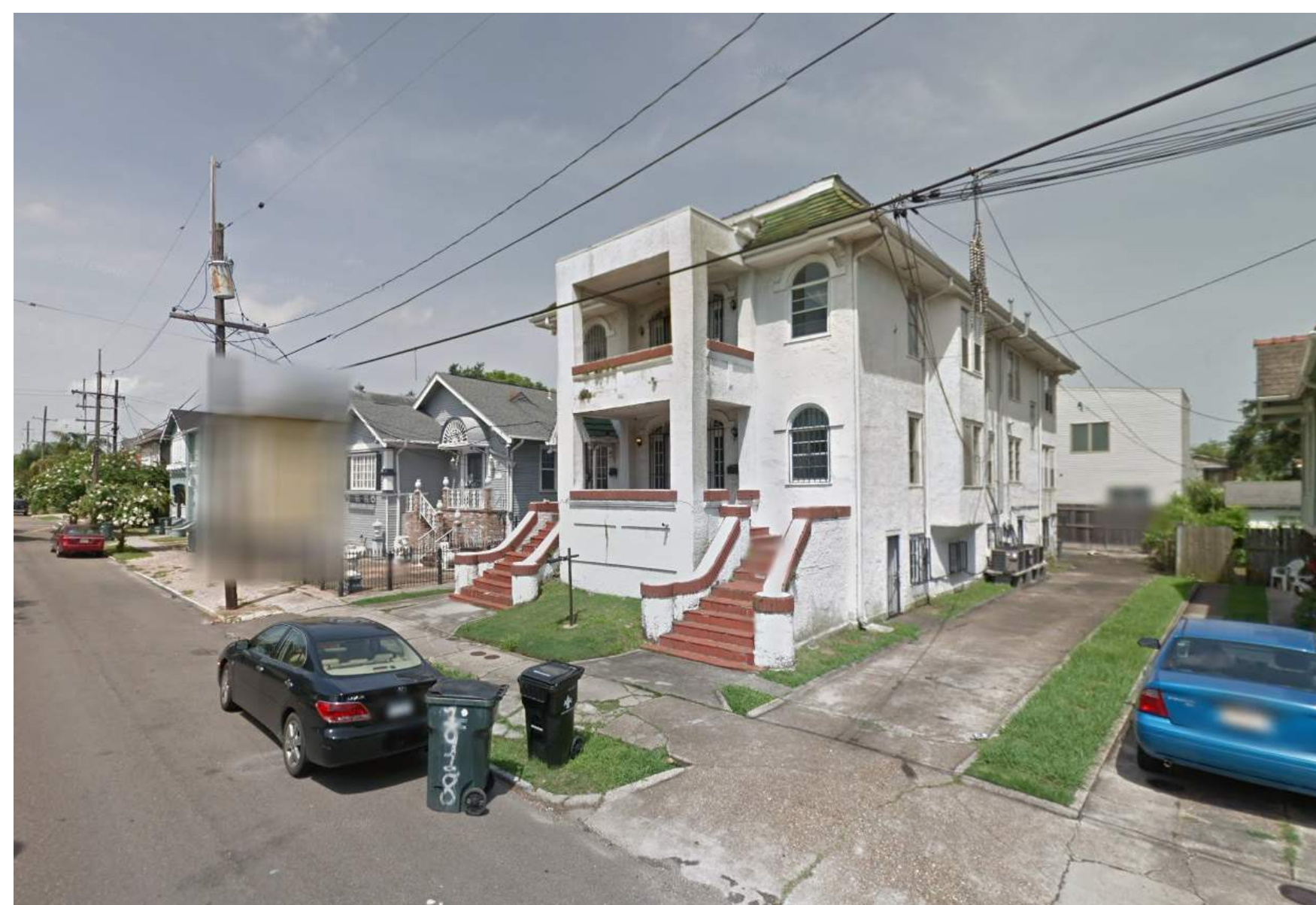
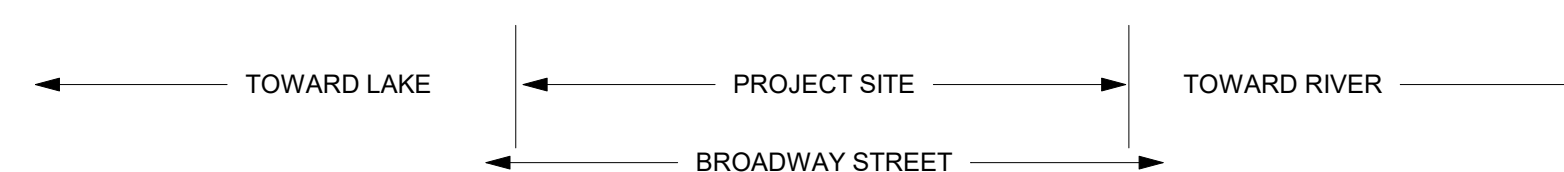
A098

CAD FILE NO: 3 / 15

2025-08\PDF OUT\DAC

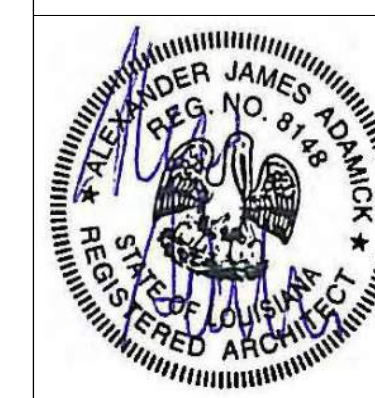
[illegible]

2 SITE SURROUNDINGS  
1/16" = 1'-0"

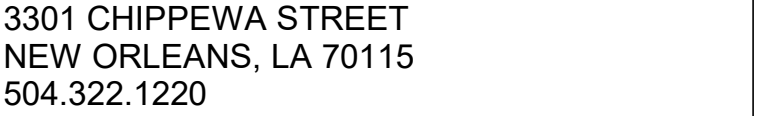


1 Site Images  
1" = 100'-0"

## SITE SURROUNDINGS



DATE:	6/12/2025 8:08:47 PM	
PROJECT NO.:	2025-0	
DRAWING BY:	MM	
CHECKED BY:	AJ	
SHEET NO.:	<div style="font-size: 2em; font-weight: bold; text-align: center;">A099</div>	
CAD FILE NO:	2025-08/PDF OUT/DAC	4 / 1

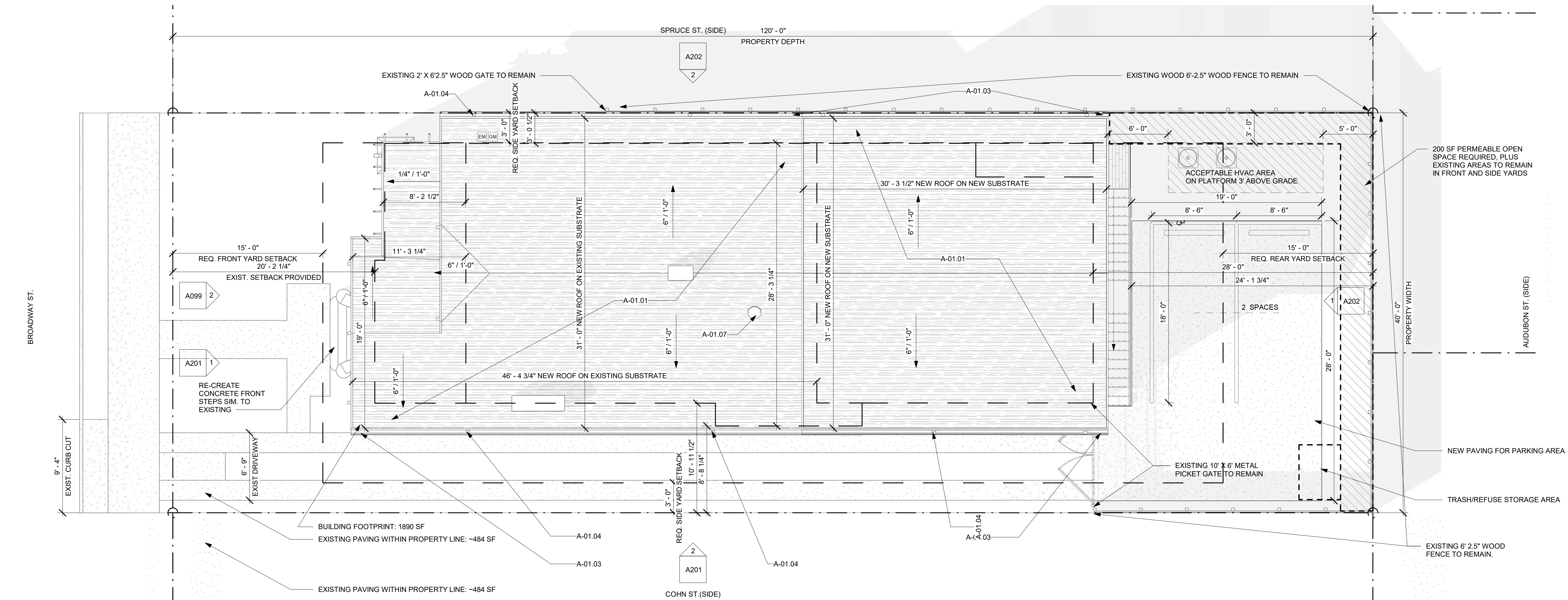
[illegible]

SITE PLAN : PROPERTY INFORMATION	
ADDRESS :	1923 BROADWAY ST.
CITY / PARISH :	NEW ORLEANS / ORLEANS
ZIP CODE :	70118
SQUARE / BLOCK :	38
LOT :	B
ZONING DISTRICT:	HU-RD1
USE :	TWO-FAMILY DWELLING
HISTORIC DISTRICT:	HDLC - UPTOWN NEIGHBORHOOD

GENERAL SITE PLAN NOTES	
1.	ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
2.	CONTRACTOR RESPONSIBLE FOR LOCATING AND COORDINATING ALL NEW FOUNDATIONS, PILES, GRADE BEAMS ETC. WITH SURVEYOR PRIOR TO PROCEEDING WITH CONSTRUCTION OF THE BUILDING.
3.	CONTRACTOR IS RESPONSIBLE FOR PROVIDING NEW GRADING, SOD, HARDSCAPING, AND GRAVEL WITH A WEED BARRIER AS INDICATED ON THE SITE PLAN.
4.	ALL NEW A/C CONDENSERS REQUIRED TO BE 3'-0" ABOVE GRADE, 3'-0" AWAY FROM ALL SIDEYARD LOT LINES, 5'-0" FROM REAR LOT LINE, AND 6'-0" FROM ALL ROOF EDGES HVAC INSTALLER TO SIZE MACHINE ACCORDINGLY AND PROVIDE ADEQUATE SERVICE AND CLEARANCE SPACE AROUND THE MACHINE.
5.	ALL NEW EXTERIOR WORK IN ALL HDLC NEIGHBORHOODS MUST BE APPROVED BY THE RESPECTIVE HDLC REVIEWER PRIOR TO PURCHASE AND INSTALL OF EXTERIOR FIXTURES, WINDOWS, DOORS, ETC.

SHEET - KEYNOTES	
Key Value	Keynote Text
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW. TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM
A-01.07	(NEW) (HDLC APPROVED) THERMOSTATIC ROOF VENT.

SITE PLAN - ZONING DATA		
LABELS	REQUIRED	EXIST. / PROP.
LOT AREA (SQ.FT.):	2F: 2,200sf/du	4,800 SQ. FT.
LOT WIDTH:	40'-0"	40'-0"
LOT DEPTH:	90'-0"	120'-0"
BLDG. HEIGHT:	35'-0" / 30'-0" or 3' ABOVE ADJ.	+/- 25'-6 3/4"
PERM. OPEN SPACE:	30% * 4800SF = 1440 SF MIN	1539 SF
MIN. OPEN SPACE:	None	NA
MAX. IMPERV. FRONT YARD:	40% * 807 SF = 322 SF MAX	233 SF EXIST., NO CHANGE
FRONT SETBACK:	11.3.A.2	+/- 20'-2"
SIDE SETBACK:	SF&2F: 3'-0"	+/- 3'-0 3/4" & 8'-8"
REAR SETBACK:	20% OF LOT DEPTH OR 15'-0"	+ / 28'-0"
* = EXISTING TO REMAIN		



2 SITE PLAN  
3/16" = 1'-0"

12 JUNE 2025

06 JUNE 2025 EC-1

Project: #2025-08

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**





ADDRESS:  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

SITE PLAN, ZONING,  
SURVEY, & ELEV.  
CERT.



DATE: 6/12/2025 8:08:51 PM	
PROJECT NO.:	2025-08
DRAWING BY:	MMV
CHECKED BY:	AJA
SHEET NO.:	
<div style="font-size: 48pt; font-weight: bold;">A100</div>	
CAD FILE NO:	5 / 15
2025-08/PDF OUT/DAC	

LEGEND: EXISTING & DEMOLITION PLAN

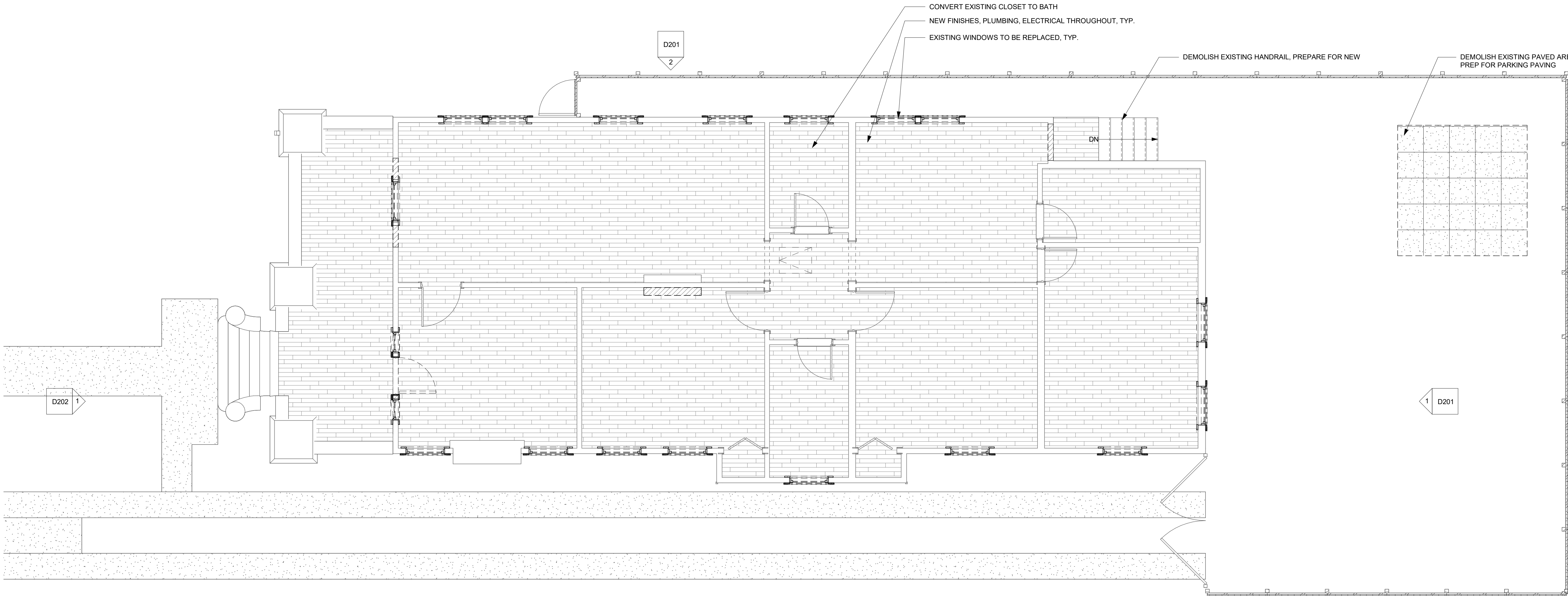
	EXISTING WALL
	DEMO WALL
	EXISTING DOOR
	DEMO DOOR

SHEET - KEYNOTES	
Key Value	Keynote Text

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE:		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	

[illegible]

3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

12 JUNE 2025 DAC SE06 JUNE 2025 EC-

Project: #2025-08

BARROUKH RESIDENCE  
RENOVATION/ADDITION

ADDRESS:  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

# EXISTING / DEMO FIRST FLOOR PLAN & NOTES

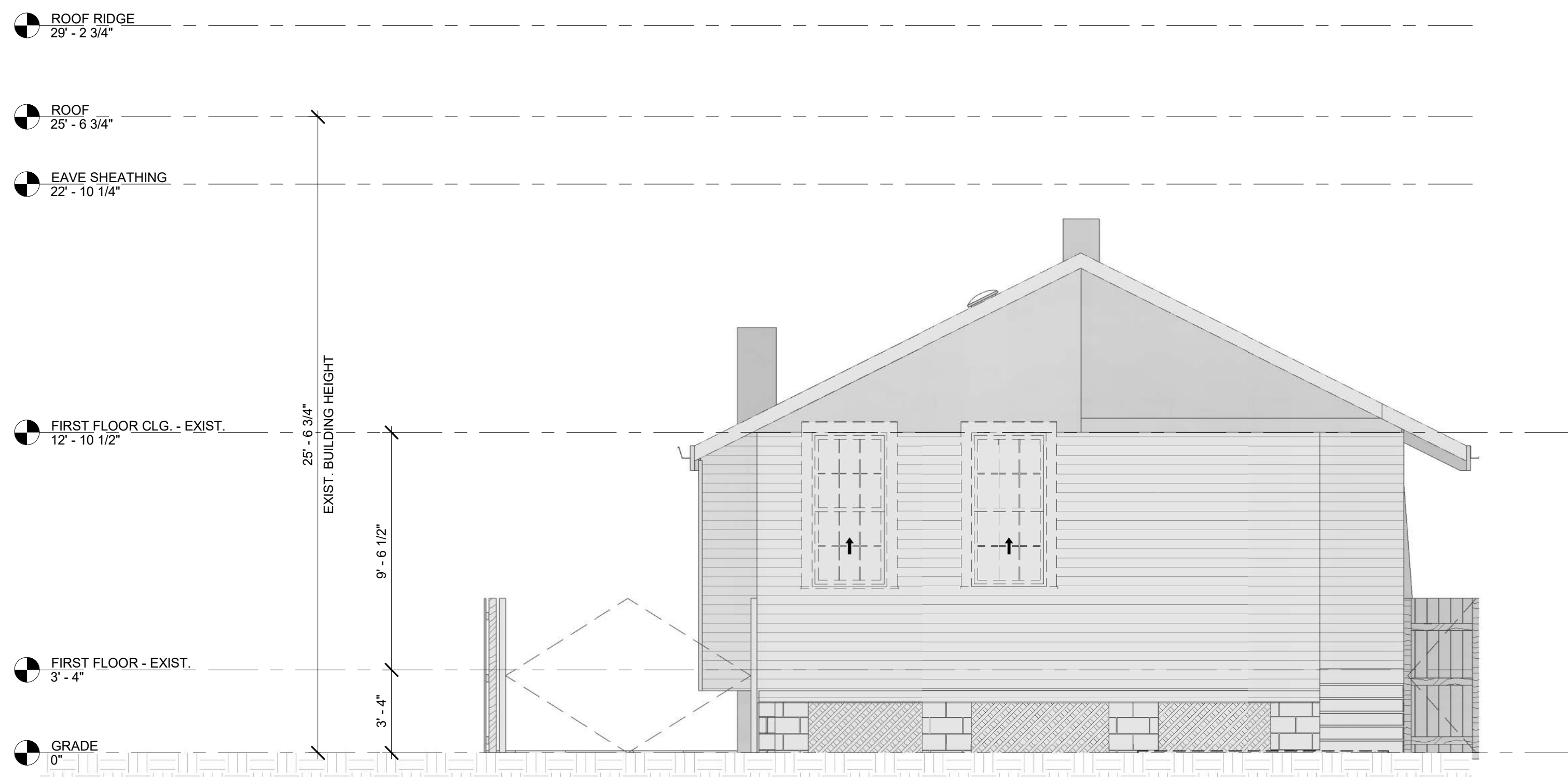


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PROJECT NO.: 2025-0  
DRAWING BY: MM  
CHECKED BY: AJ  
SHEET NO.:  
**D101**  
CAD FILE NO: 2025-08\PDF OUT\DAC 6 / 1

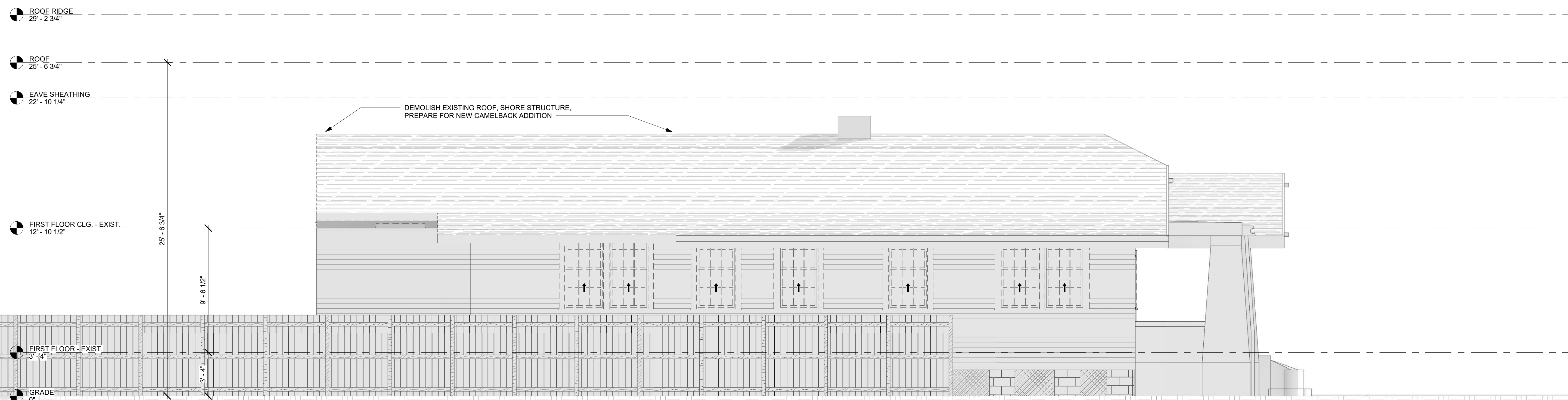
SHEET - KEYNOTES	
Key Value	Keynote Text



3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

1 PROPOSED DEMOLITION OF THE FRONT ELEVATION  
1/4" = 1'-0"



② PROPOSED DEMOLITION OF THE RIGHT SIDE ELEVATION  
1/4" = 1'-0"

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE:		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	

12 JUNE 2025	DAC SET
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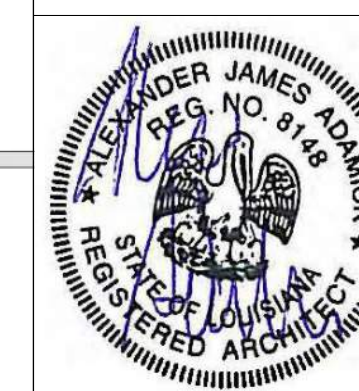
06 JUNE 2025	EC-1
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Project: #2025-08

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**

**ADDRESS:**  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

EXISTING / DEMO  
EXTERIOR  
ELEVATIONS &  
NOTES



DATE: 6/12/2025 8:09:02 PM

PROJECT NO.:	2025-08
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PROJECT NO.:	2020-00
DRAWING BY:	MMV

DRAWING BY:	MMV
CHECKED BY:	MMV

CHECKED BY: AJA

SHEET NO.: **D001**

2021

CAD FILE NO:	
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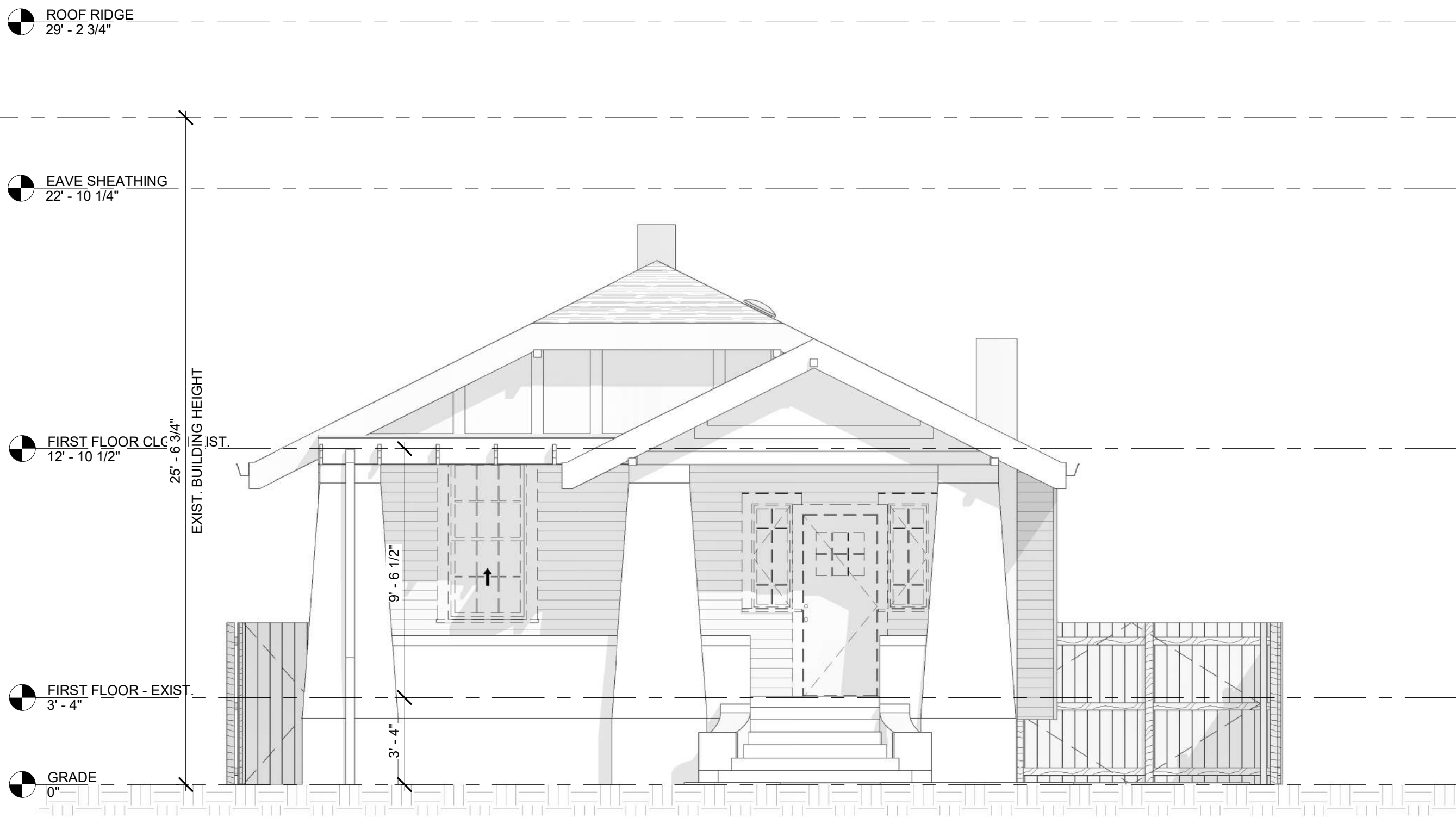
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Key Value	Keynote Text



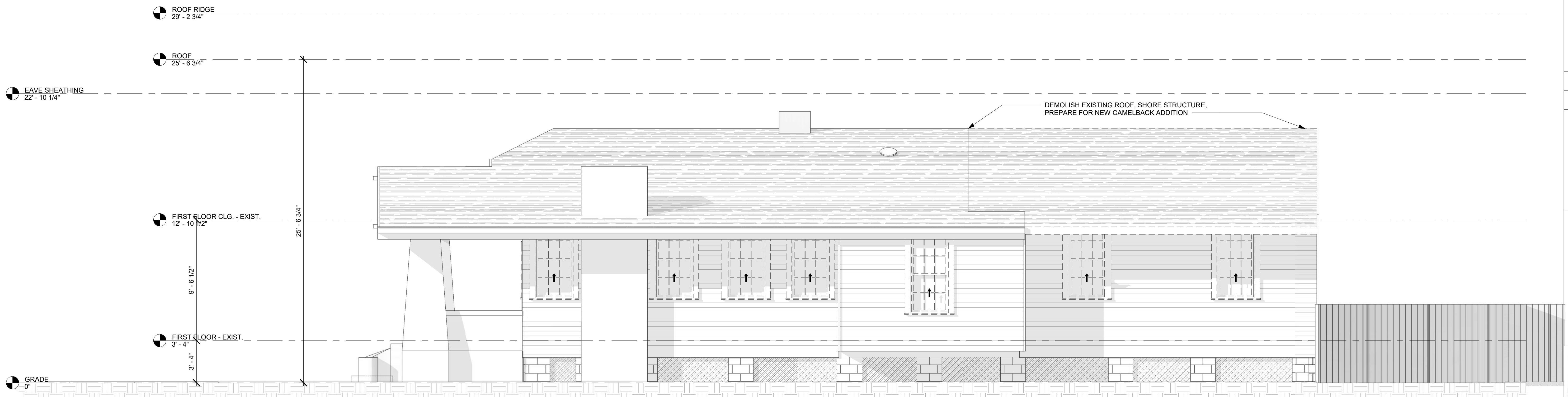
3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE.		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYPE
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	



1 PROPOSED DEMOLITION OF THE REAR ELEVATION  
1/4" = 1'-0"



② PROPOSED DEMOLITION OF THE LEFT SIDE ELEVATION  
1/4" = 1'-0"

12 JUNE 2025 DAC SET

06 JUNE 2025

Project: #2025-08

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**






ADDRESS:  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

## EXISTING / DEMO EXTERIOR ELEVATIONS & NOTES



DATE: 6/12/2025 8:09:06 PM	
PROJECT NO.:	2025-08
DRAWING BY:	MMV
CHECKED BY:	AJA
SHEET NO.:	
<b>D202</b>	
CAD FILE NO:	8 / 15
2025-08/PDF OUT/DAC	

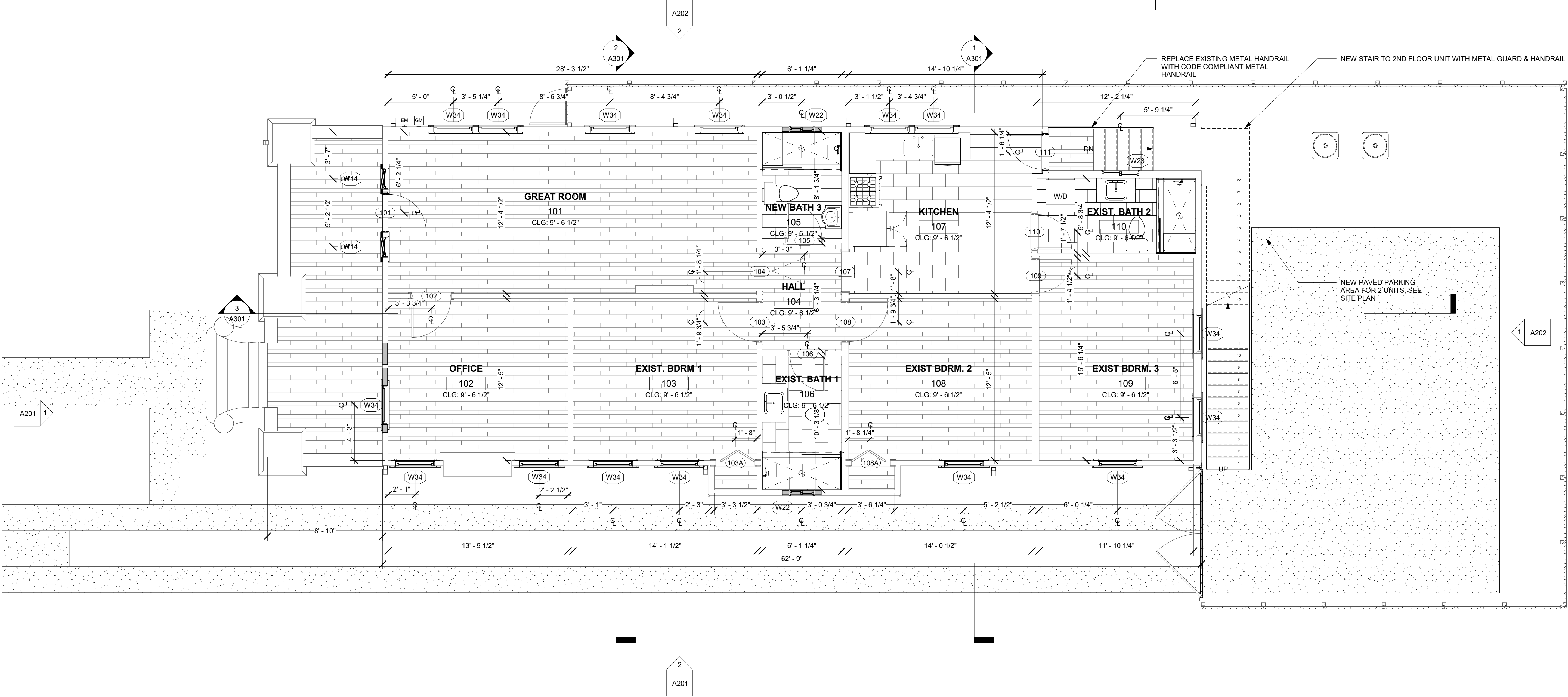
LEGEND: CONSTRUCTION PLAN

	EXISTING WALL
	NEW WALL
	NEW DOOR
	EXISTING DOOR
	NEW THRESHOLD

ROOM MATERIAL/FINISH SCHEDULE										
ROOM NO.	ROOM NAME	AREA	CEILING HEIGHT	FLOOR	BASE	WALLS	CEILING	CASING	CASING FINISH	REMARKS
101	GREAT ROOM	350 SF	9' - 6 1/2"							
102	OFFICE	171 SF	9' - 6 1/2"							
103	EXIST. BDRM 1	175 SF	9' - 6 1/2"							
104	HALL	50 SF	9' - 6 1/2"							
105	NEW BATH 3	50 SF	9' - 6 1/2"							
106	EXIST. BATH 1	63 SF	9' - 6 1/2"							
107	KITCHEN	176 SF	9' - 6 1/2"							
108	EXIST BDRM. 2	174 SF	9' - 6 1/2"							
109	EXIST BDRM. 3	184 SF	9' - 6 1/2"							
110	EXIST. BATH 2	70 SF	9' - 6 1/2"							
201	GREAT ROOM 2	285 SF	8' - 4"							
202	BEDROOM 1	128 SF	8' - 4"							
203	BATH 1	55 SF	8' - 4"							
204	BEDROOM 2	129 SF	8' - 4"							
205	BATH 2	53 SF	8' - 4"							

SHEET - KEYNOTES	
Key Value	Keynote Text

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	



3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

12 JUNE 2025 DAC SE

06 JUNE 2025 EC-

**Project: #2025-08**

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**

ADDRESS:  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

# PROPOSED FIRST FLOOR PLAN & NOTES



DATE: 6/12/2025 8:08:51 PM

PROJECT NO.: 2025-0

DRAWING BY: MM

CHECKED BY: AJA

SHEET NO.:

# A 101

# ATI

CAD FILE NO: 9 / 1

LEGEND: CONSTRUCTION PLAN

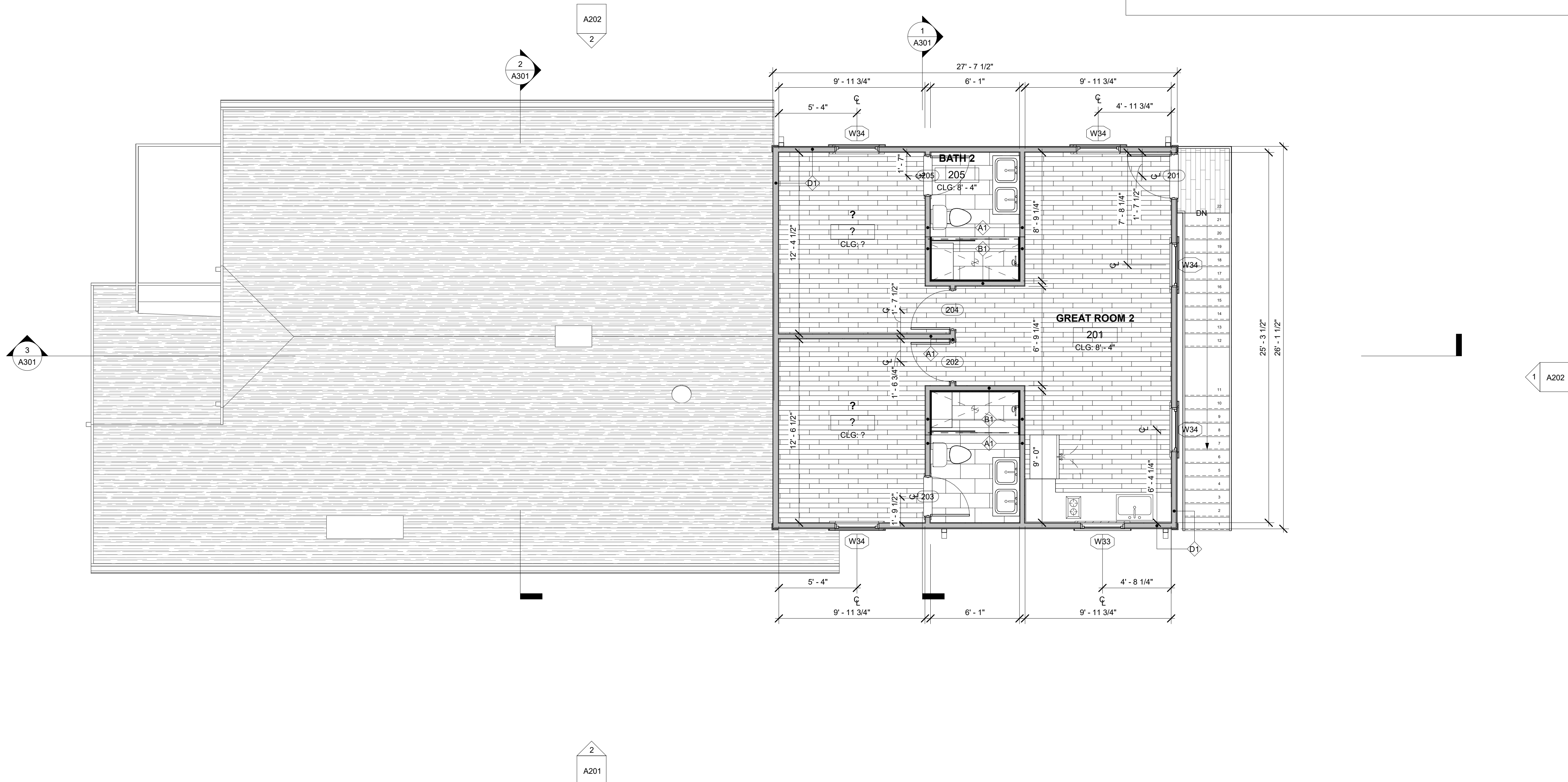
The legend defines the symbols used in the construction plan:

- EXISTING WALL:** Represented by a thin white rectangle.
- NEW WALL:** Represented by a thick grey rectangle.
- NEW DOOR:** Represented by a quarter-circle arc and a vertical line, both in black.
- EXISTING DOOR:** Represented by a quarter-circle arc and a vertical line, both in white.
- NEW THRESHOLD:** Represented by a thin white rectangle.

ROOM MATERIAL/FINISH SCHEDULE										
ROOM NO.	ROOM NAME	AREA	CEILING HEIGHT	FLOOR	BASE	WALLS	CEILING	CASING	CASING FINISH	REMARKS
101	GREAT ROOM	350 SF	9' - 6 1/2"							
102	OFFICE	171 SF	9' - 6 1/2"							
103	EXIST. BDRM 1	175 SF	9' - 6 1/2"							
104	HALL	50 SF	9' - 6 1/2"							
105	NEW BATH 3	50 SF	9' - 6 1/2"							
106	EXIST. BATH 1	63 SF	9' - 6 1/2"							
107	KITCHEN	176 SF	9' - 6 1/2"							
108	EXIST BDRM. 2	174 SF	9' - 6 1/2"							
109	EXIST BDRM. 3	184 SF	9' - 6 1/2"							
110	EXIST. BATH 2	70 SF	9' - 6 1/2"							
201	GREAT ROOM 2	285 SF	8' - 4"							
202	BEDROOM 1	128 SF	8' - 4"							
203	BATH 1	55 SF	8' - 4"							
204	BEDROOM 2	129 SF	8' - 4"							
205	BATH 2	53 SF	8' - 4"							

SHEET - KEYNOTES	
Key Value	Keynote Text

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE:		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SINGLENS ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	



3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

12 JUNE 2025 DAC SE

06 JUNE 2025 EC-

**Project: #2025-08**

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**

**ADDRESS:**  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

## PROPOSED SECOND FLOOR PLAN & NOTES



DATE: 6/12/2025 8:08:52 PM

PROJECT NO.: 2025-0

DRAWING BY: MM

CHECKED BY: AJ

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SHEET NO. :

A 102

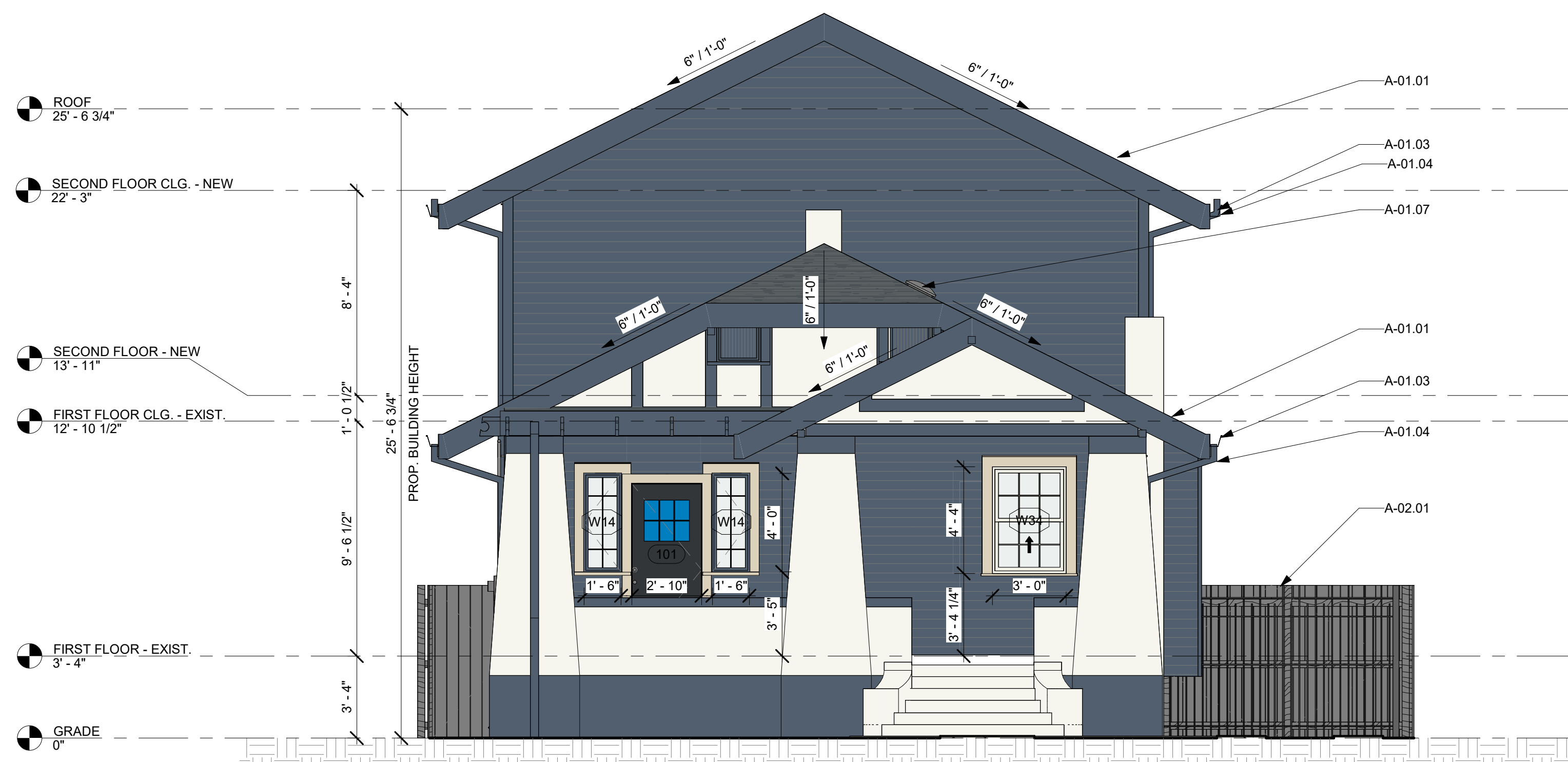
A102

CAD FILE NO: 10/1  
2025-08\PDF OUT\DAC

SHEET - KEYNOTES	
Key Value	Keynote Text
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW. TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO A NEW ROOFING
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM
A-01.07	(NEW) (HDLC APPROVED) THERMOSTATIC ROOF VENT.
A-02.01	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.



3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

1 PROPOSED CONSTRUCTION OF THE FRONT ELEVATION  
1/4" = 1'-0"



② PROPOSED CONSTRUCTION OF THE RIGHT SIDE ELEVATION  
1/4" = 1'-0"

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE:		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	

12 JUNE 2025 DAC SET

06 JUNE 2025 EC-1

**Project: #2025-08**

## BARROUKH RESIDENCE RENOVATION/ADDITION

**ADDRESS:**  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

# PROPOSED EXTERIOR ELEVATIONS & NOTES



DATE: 6/12/2025 8:08:53 PM  
 PROJECT NO.: 2025-08  
 DRAWING BY: MMV  
 CHECKED BY: AJA  
 SHEET NO.: **A201**  
 CAD FILE NO: 2025-08\PDF OUTDACC  
 11/15

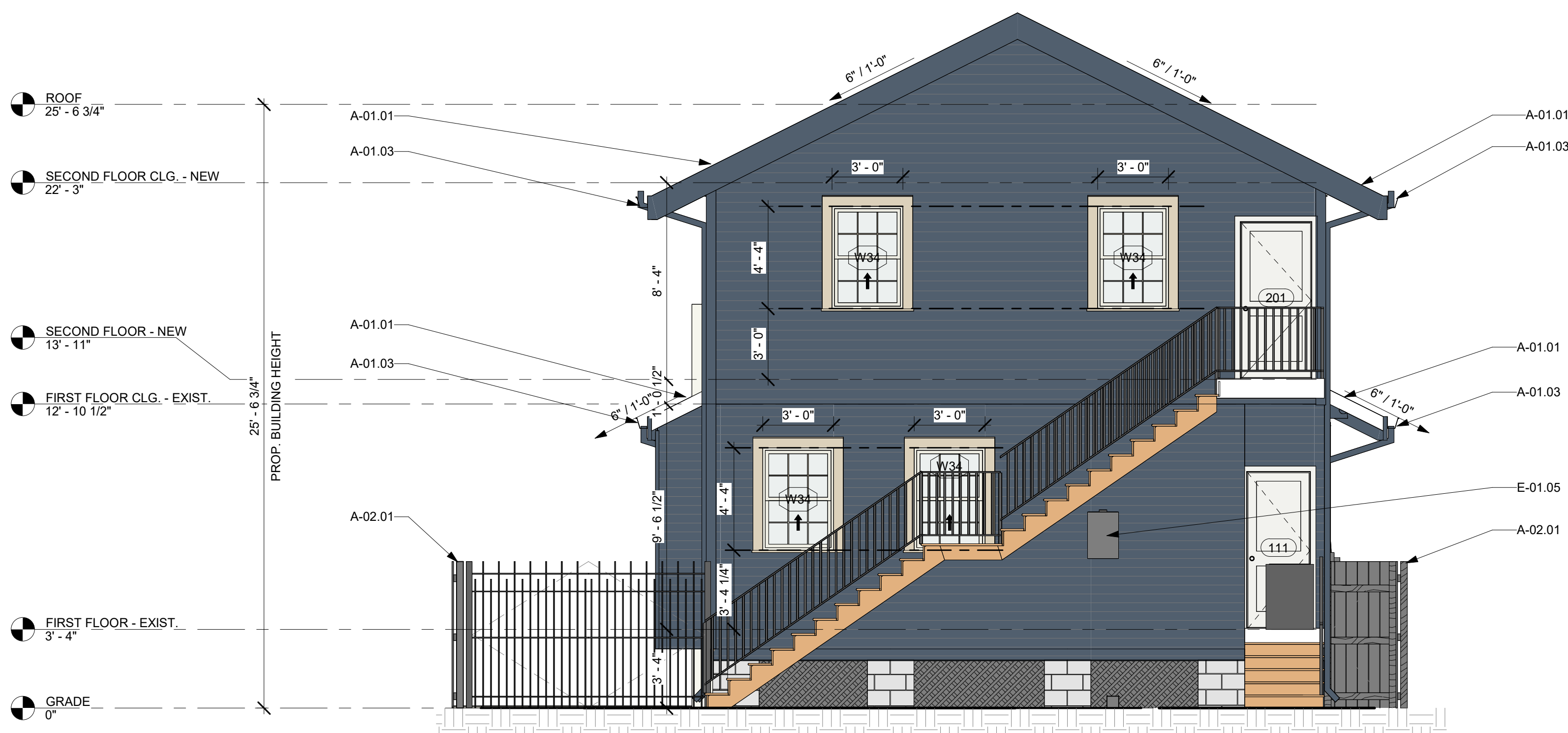
SHEET - KEYNOTES	
Key Value	Keynote Text
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW. TYP. REPAIR/REPLACE AND PAINT.
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM
A-02.01	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
E-01.05	(NEW) TANK LESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.



3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE:		
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6" K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOARDS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	



1 PROPOSED CONSTRUCTION OF THE REAR ELEVATION  
1/4" = 1'-0"



② PROPOSED CONSTRUCTION OF THE LEFT SIDE ELEVATION  
1/4" = 1'-0"

12 JUNE 2025

06 JUNE 2025 EC-

Project: #2025-08

**BARROUKH RESIDENCE  
RENOVATION/ADDITION**

ADDRESS:  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

# PROPOSED EXTERIOR ELEVATIONS & NOTES



DATE: 6/12/2025 8:08:55 PM

PROJECT NO.:	2025-0
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DRAWING BY: MM

CHECKED BY:	AJA
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## PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ORLEANS CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING ORLEANS PARISH AGENCIES.
3. THIS AGREEMENT BETWEEN OWNER AND ARCHITECT DOES NOT INCLUDE CONSTRUCTION PHASE SERVICES UNLESS OTHERWISE NOTED. ACCEPTANCE OF THESE DRAWINGS BY THE OWNER SIGNIFIES THEIR AGREEMENT THAT THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INTERPRETING THESE DRAWINGS AND OBSERVING THE WORK OF THE CONTRACTOR TO DISCOVER, CORRECT OR MITIGATE ERRORS, INCONSISTENCIES AND OMISSIONS, AND THAT IF THE OWNER AUTHORIZES REVISIONS, RECORDED OR UNRECORDED, FROM PLANS PREPARED BY THE ARCHITECT, THE OWNER SHALL NOT BRING ANY CLAIM AGAINST THE ARCHITECT AND SHALL FULLY INDEMNIFY AND HOLD THE ARCHITECT, ITS PARTNERS, ASSOCIATES AND EMPLOYEES HARMLESS FROM AND AGAINST CLAIMS, LOSSES, DAMAGES AND EXPENSES, INCLUDING REASONABLE ATTORNEY FEE COSTS AND THE TIME OF THE ARCHITECT, TO THE EXTENT THAT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE ARISES OUT OF OR RESULTS IN WHOLE OR IN PART FROM SUCH DEVIATIONS, REGARDLESS OF WHETHER OR NOT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED UNDER THIS PROVISION.
4. ALL CONTRACTORS ARE RESPONSIBLE FOR NOTIFYING THE ARCHITECT / BUILDING OWNER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO BIDDING THE PROJECT.
5. CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION, LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY OF THE CONTRACTOR.
6. THESE DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER. WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL AND ALL PARTIES INVOLVED SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND SPECIFICATIONS (IF ANY) AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE CONSTRUCTION.
7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
8. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
9. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY REGULATORY INSPECTORS.
10. ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE AND NATIONAL CODES AS REQUIRED.
11. CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR.
12. SITE SHALL BE LEFT NEAT DAILY. PROVIDE COMPLETE CLEAN UP ON A WEEKLY BASIS. NO TRASH STORED IN BUILDING. PROPER DISPOSAL REQUIRED.
13. OWNER SHALL PAY FOR ALL WATER AND POWER USED TOWARD CONSTRUCTION, FROM EXISTING SOURCES.
14. ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
15. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
16. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA, AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA, INCLUDING AFTER HOURS.
18. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
19. CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL CHANGES AND SHALL MARK SAME IN INK ON A SEPARATE, CLEAN SET OF THESE DRAWINGS DURING THE CONSTRUCTION, INCLUDING LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL FURNISH OWNER AND ARCHITECT EACH A COPY OF THIS RECORD BEFORE FINAL COMPLETION AND ACCEPTANCE IS RECORDED.
20. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.).

## PROJECT GENERAL NOTES (CONTINUED)

- GUARDRAILS: GUARDS SHALL BE AT LEAST 36 INCHES HIGH MEASURED VERTICALLY TO THE TOP OF THE GUARD FROM THE SURFACE ADJACENT THERETO, ON OPENINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE HAVING A DIAMETER OF 4 INCHES WILL NOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. THE TRIANGULAR OPENINGS FORMED BY THE RAIL, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL, AT THE OPEN SIDE OF A STAIR SHALL BE OF SUCH SIZE THAT A SPHERE 6 INCHES IN DIAMETER SHALL NOT PASS THROUGH THE TRIANGULAR OPENINGS. GUARDS SHALL BE REQUIRED IN ALL AREAS MORE THAN 30 INCHES OR 4 RISERS ABOVE THE FLOOR OR THE GRADE BELOW.
50. AS PER NFPA 101 - 2015 EDITION, SECTION 7.2.2.4 HANDRAILS ON STAIRS SHALL BE AT LEAST 34" INCHES AND NOT MORE THAN 38" INCHES ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD. NEW HANDRAILS SHALL PROVIDE A CLEARANCE OF AT LEAST 2-1/4 INCHES BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1 1/2 INCHES. HANDRAILS MORE THAN 2" INCHES NEW HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH. NEW HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR TERMINATE AT NEVEL POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. SPIRAL STAIRS SHALL BE PROVIDED WITH THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. THE HANDCUP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS SHALL BE REQUIRED ON STAIRS WITH AN ELEVATION DIFFERENCE GREATER THAN 21" INCHES.
51. TREADS SHALL BE OF UNIFORM DEPTH AND RISER OF UNIFORM HEIGHT IN ANY STAIRWAY BETWEEN TWO FLOORS. THERE SHALL BE NO VARIATION EXCEEDING 3/16" INCH IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS AND TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 1/8" INCH. THE DEPTH OF THE TREAD SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.
52. ALL WINDOW UNIT SIZES ARE GIVEN IN AN ACTUAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH-OPENING AND INSTALLATION REQUIREMENTS WITH MANUFACTURER.
53. ALL NEW GLASS OPENINGS SHALL BE PROTECTED AGAINST WINDBORNE DEBRIS WITH ONE OF THE FOLLOWING OPTIONS: A. WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH AND A MAXIMUM SPAN OF 8 FEET. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (1) SPAN LESS THAN OR EQUAL TO 8 FEET, 1 1/2" X 8" WOOD SCREWS @ 16" O.C. (2) FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL. (3) WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE TENSILE/PULL-APART CAPACITY OF 480 LBS. IMPACT RESISTANT GLASS PER ASTM E 1996 OR ASTM E 1998 OR APPROVED TEST METHODS FOR PERFORMANCE CRITERIA. C. SHUTTERS CERTIFIED PER THE FOLLOWING TESTS: UNIFORM STATIC AIR PRESSURE - TAS 202, ASTM E330, LARGE MISSILE IMPACTS - TAS 201, ASTM E1996, CYCLIC WIND PRESSURE LOADING - TAS 203, ASTM E1886.
54. NEW WINDOWS INSTALLED IN STAIR LANDING AREAS WITHIN FIVE FEET OF THE LANDING FLOOR SHALL BE SAFETY GLAZED PER R308.4 OF THE IRC 2021.
55. NEW WINDOWS INSTALLED IN BATHROOM ENCLOSURES THAT MEASURE LESS THAN 60" FROM THE FLOOR SHALL BE SAFETY GLAZED IN ACCORDANCE WITH SECTION R308.4 OF THE IRC 2021.
56. THE CONTRACTOR SHALL GRADE THE SITE AS REQUIRED TO ENSURE PROPER RAIN WATER DRAINAGE AND RUNOFF. NO PART OF THE SITE SHALL BE ALLOWED TO DRAIN onto ADJACENT PROPERTIES, NOR SHALL RUNOFF BE ALLOWED TO ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE.
57. ALL DOWNSPOUTS TO TERMINATE AT SUB-SURFACE DRAINAGE, PAVING OR SPLASH BLOCKS AS REQUIRED.
58. SITE PLANTING (WALKS, DRIVES, ETC.) TO BE 3,000 P.S.I. CONCRETE, 4" TO 6" THICK, WITH #6 WELDED WIRE MESH OR AS PER ENGINEER'S DRAWINGS / SPECIFICATIONS.
59. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY OR LIABILITY REGARDING THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.
60. WHERE FLOOR / CEILING ASSEMBLIES OR COMMON WALL ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANT RATING, ELECTRICAL FIXTURES, DUCTWORK, AND PLUMBING SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANT RATING IS NOT REDUCED.
61. ALL BATHROOMS TO BE MECHANICALLY VENTED USING AN EXHAUST FANS PROVIDED BY THE IRC 2021.
62. ALL EXTERIOR DOWNS SHALL BE SOLID WOOD DOORS, UNLESS OTHERWISE NOTED IN THE DOOR SCHEDULE.
63. PROVIDE GALVANIC PROTECTION BETWEEN DI-SIMILAR METALS.

## SMOKE AND CARBON MONOXIDE DETECTION

1. DWELLING UNITS SHALL BE EQUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM BUILDING WIRING AND THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT. HOWEVER THAT DWELLING UNITS IN EXISTING BUILDINGS MAY, IN THE ALTERNATIVE, BE EQUIPPED WITH BATTERY-OPERATED SMOKE DETECTING DEVICES EXCEPT WHERE SUCH BUILDINGS ARE SUBSTANTIALLY IMPROVED OR ALTERED ON OR AFTER JANUARY 1, 1982.
2. BATTERY OPERATED SMOKE DETECTORS SHALL BE CONSIDERED CAPABLE OF BEING CONVERTED TO AUDIBLE AND VISUAL INDICATION.
3. ALL SMOKE DETECTING DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY. SUCH DEVICES SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.
4. SMOKE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
  - A. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM THE DOOR TO SUCH ROOM.
  - B. IN EACH ROOM USED FOR SLEEPING PURPOSES.
  - C. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL, SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL BE LOCATED AT A LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
5. CARBON MONOXIDE DETECTION DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
6. CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
  - A. OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES. WITHIN 15 FEET (4572 MM) OF THE ENTRANCE TO SUCH ROOM.
  - B. IN ANY ROOM USED FOR SLEEPING PURPOSES.
  - C. ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL, SPACES AND UNINHABITABLE ATTICS.
7. ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY. SUCH DEVICES SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.

## LIME RICH MORTAR RECIPE

STUCCO USED OVER OLD BRICKS SHOULD BE OF A SOFTNESS COMPATIBLE WITH THE OLD BRICK. WHERE SCORING IS EMPLOYED, JOINTS SHALL NOT BE DEEPER THAN 1/8", NOR WIDER THAN 1/8" AND PATTERNS SHOULD MATCH ORIGINAL

LIME: HYDRATED MASONS LIME ASTM C207  
AGGREGATE: SHALL CONSIST OF FINE GRANULAR MATERIAL COMPOSED OF NATURAL SAND FREE OF LOAM, SILT, SOLUBLE SALTS AND VEGETABLE MATTER. AGGREGATE SHALL CONFORM TO THE FOLLOWING SIZE GRADATION. WATER: SHALL BE CLEAN AND FREE OF ACIDS, ALKALINE OR ORGANIC MATERIALS.

SLEEVE SIZE	MINIMUM	MAXIMUM
-------------	---------	---------

NO. 16	0	10
NO. 30	10	40
NO. 50	30	65
NO. 100	60	95

## PROPORTIONS

- 1 PART BY VOLUME HYDRATED LIME
- 3 PARTS BY VOLUME AGGREGATE
- WATER-ENOUGH TO FORM A WORKABLE MIX

## EXECUTION

- REMOVE ALL PORTLAND CEMENT MORTAR BY HAND USING A CHISEL AND Mallet. DO NOT USE POWER TOOLS. RAKE OUT TO A DEPTH OF AT LEAST 1" OR TO SOUND MATERIAL.
- BRUSH, VACUUM OR FLUSH JOINTS TO REMOVE ALL DIRT AND LOOSE DEBRIS.
- MEASURE AND PROPORTION ALL MATERIALS TO INSURE UNIFORMITY OF BATCHES.
- MACHINE PLUMED MORTAR MUST BE USED. DO NOT TEMPER OR USE MATERIAL THAT HAS PARTIALLY SET, IS CRACKED OR IS LUMPY.
- USE ONLY CLEAN TOOLS AND EQUIPMENT, FREE FROM HARDENED OR PARTIALLY HARDENED MATERIALS.
- PACK JOINTS WITH MORTAR FOR AT LEAST THREE MINUTES.
- DAMPEN BRUSHES (SURFACE DRY) PRIOR TO REPOINTING.
- PACK JOINTS WITH NEW MORTAR LEAVING NO Voids.
- RECESS THE SURFACE OF THE POINTING SLIGHTLY. DO NOT ALLOW THE MORTAR TO EXTEND OVER THE EDGES OF THE JOINT.
- ASK AN EXPERT AS THE MORTAR HAS TAKEN ITS INITIAL SET. TOOL THE JOINT TO MATCH THE ORIGINAL JOINT CONFIGURATION.
- STIPPLE WITH A STIFF BRUSH TO GIVE THE JOINT A WEATHERED APPEARANCE AND TO REMOVE ANY EXCESS OR RAGGEDNESS AND LEAVE THE WORK CLEAN. SHOULD BE ASSISTED BY SPRAYING FROM A FINE MIST HAND SPRAY.

## LIME RICH MORTAR RECIPE (CONTINUED)

## VARIATIONS

IN SOME CASES IT MAY BE DESIRABLE AND/OR NECESSARY TO MATCH THE COLOR AND TEXTURE OF THE ORIGINAL MORTAR EXACTLY. IN SUCH CASES THE AGGREGATE SHOULD BE MATCHED TO THE ORIGINAL CONTENT, COLOR AND GRADATION. THE ABOVE RECOMMENDED PROPORTION OF SAND TO LIME MAY NEED ALSO TO BE ALTERED. PORTLAND CEMENT IS SOMETIMES ADDED TO THE MIX TO INCREASE WORKABILITY AND DECREASE SETTING TIME BUT UNDER NO CIRCUMSTANCES SHOULD THE PORTLAND CEMENT CONTENT EXCEED ONE PART TO TWELVE PARTS OF LIME AND SAND. PORTLAND CEMENT IN GENERAL, HOWEVER, IS NOT RECOMMENDED FOR USE IN POINTING MORTAR.

## CARE OF STUCCO

1. CRACKING - CRACKING OCCURS IN TWO WAYS. LARGE CRACKS AND SMALL ALL OVER CRACKS.
2. SPALLING - THE OUTER SURFACE OF THE STUCCO COATING BECOMES DETACHED AND FALLS OFF.
3. LOSS OF BOND - THE STUCCO COATING IS NO LONGER ATTACHED TO THE BRICK MASONRY.

### CAUSES OF DETERIORATION

- LARGE CRACKS ARE MOST OFTEN CAUSED BY SETTLEMENT OF THE WALLS OR BY DIFFERENCES IN THE MOVEMENT OF THE STUCCO AND THE BACKING MASONRY DUE TO EXPANSION AND CONTRACTION.
- HAIRLINE CRACKING IS CAUSED BY THE IMPROPER CURING OF THE STUCCO WHEN IT WAS APPLIED. THE STUCCO WAS ALLOWED TO DRY TOO QUICKLY AND TOO THICKLY.
- LOSS OF BOND IN MOST CASES OCCURS AFTER THE STUCCO HAS CRACKED AND WATER HAS ENTERED THE WALL THROUGH THE CRACKS IN THE STUCCO COATING. BONDING FAILURE MAY ALSO BE CAUSED BY THE IMPROPER PREPARATION OF THE MASONRY SURFACE BEFORE THE STUCCO WAS APPLIED.

## PROJECT KEYNOTES

## KEYNOTES - PROJECT

A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING, RE. STRUC. FOR SHEATHING SIZE.
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW. TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO EXIST. ROOFLINE.
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM
A-01.07	(NEW) (HDLC APPROVED) THERMOSTATIC ROOF VENT.
EX-01.01	EXIST. FENCE TO REMAIN, PROVIDE PROTECTION DURING CONSTRUCTION
EX-01.05	(NEW) TANK LESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.

## PROJECT KEYNOTES (CONTINUED)

## KEYNOTES - PROJECT

Key Value	Keynote Text
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## CODE REVIEW

SINGLE FAMILY RESIDENCE - CODE REVIEW DONE USING 2021 - IRC.



ADAMICK  
ARCHITECTURE

3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

12 JUNE 2025 DAC SET

06 JUNE 2025 EC-1

**Project: #2025-08**

## BARROUKH RESIDENCE RENOVATION/ADDITION

**ADDRESS:**  
1923 BROADWAY ST. NEW ORLEANS, LA  
70118

# GENERAL NOTES, PROJECT KEYNOTES, & CODE REVIEW



DATE: 6/12/2025 8:09:09 PM

PROJECT NO.: 2025-08

DRAWING BY: MMV

CHECKED BY: A.IA

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
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3301 CHIPPEWA STREET  
NEW ORLEANS, LA 70115  
504.322.1220

[illegible]

MEP LEGEND AND GENERAL NOTES			
SYMBOL		DESCRIPTION	
GENERAL ELECTRICAL		MECHANICAL SYSTEMS	
	ELECTRICAL METER		EXHAUST FAN
	ELECTRICAL PANEL		EXHAUST FAN W/ LIGHT
	TRANSFER SWITCH		EXHAUST FAN W/ HEATER
	GAS METER		EXHAUST FAN W/ LIGHT & HEATER
ELECTRICAL RECEPTACLES			RADIANT IN-FLOOR WARMING MAT
	DUPLEX RECEPTACLE		RADIANT IN-FLOOR CONTROLS
	GFI DUPLEX RECEPTACLE		THERMOSTAT
	WET LOCATION RECEPTACLE		RETURN AIR GRILLE OR REGISTER AT WALL
	SWITCHED DUPLEX RECEPTACLE		SUPPLY AIR GRILLE OR REGISTER AT WALL
	DEDICATED APPLIANCE RECEPTACLE		RETURN AIR CHASE
	A/C DEDICATED APPLIANCE RECEPTACLE		
	FLUSH MOUNTED FLOOR QUAD RECEPTACLE		SUPPLY AIR CHASE
ELECTRICAL SWITCHES			
	SWITCH		RETURN AIR GRILLE OR REGISTER AT CEILING
	THREE-WAY SWITCH		SUPPLY AIR GRILLE OR REGISTER AT CEILING
	FOUR-WAY SWITCH		A/C CONDENSOR
	DIMMABLE SWITCH		
	THREE-WAY DIMMABLE SWITCH		
	JAMB SWITCH (DOOR ACTIVATED)	PLUMBING SYSTEMS	
ELECTRICAL FIXTURES			GAS LINE
			TANKLESS WATER HEATER
	RECESSED CAN FIXTURE		TANK WATER HEATER
	RECESSED DIRECTIONAL CAN FIXTURE		
	RECESSED DAMP - RATED CAN FIXTURE		DEDICATED WATER LINE
	RECESSED VAPOR PROOF CAN FIXTURE		HOSE BIB
	RECESSED WATER - RATED CAN FIXTURE		GARBAGE DISPOSAL
	RECESSED SPOT CAN FIXTURE	SECURITY SYSTEM	
	CEILING MOUNTED FIXTURE		MOTION SENSOR PHOTOVOLTAIC FLOOD LIGHTS
	WALL MOUNTED FIXTURE	MISCELLANEOUS SYSTEMS	
	CHANDELIER/PENDANT		DOOR BELL BUTTON
	FIXTURE, PULL CHAIN OPERATED		DOOR BELL CHIME
	RECESSED FLOOR FIXTURE		GARAGE DOOR OPENER
	UNDER CABINET FIXTURE		GARAGE DOOR REMOTE OPENER
	LIGHTING TRACK	FIRE & LIFE SAFETY SYSTEM	
	LINEAR FIXTURE		HEAT DETECTOR
	CEILING FAN		SMOKE DETECTOR
		CEILING FAN WITH LIGHTS	
			TEMPERATURE SENSOR
			CARBON MONOXIDE DETECTOR
GAS FIXTURES			FIRE EXTINGUISHER
	GAS CEILING MOUNTED FIXTURE		FIRE ALARM PULL SYSTEM
	GAS WALL MOUNTED FIXTURE		EXIT SIGN W/ EMERGENCY LIGHTING
	GAS CHANDELIER/PENDANT		EMERGENCY LIGHTING
AUDIO & VISUAL SYSTEMS			
	CABLE TELEVISION OUTLET/SOURCE		

GENERAL NOTES: M.E.P. DIAGRAM

1. ELECTRICIAN SHALL:
  - A. COORDINATE CAPACITY AND TYPE OF SWITCHES AND RECEPTACLES W/ CORRESPONDING CIRCUITS, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
  - B. CONCEAL ALL NEW AND EXISTING ELECTRICAL CIRCUITS THROUGHOUT.
  - C. PROVIDE LOW VOLTAGE RELAYS, AS REQUIRED, FOR ALL SWITCHES HAVING MORE THAN 1350 WATTS.
  - D. COORDINATE GANGING OF WALL PLATES FOR CLUSTERS OF SWITCHES AND RECEPTACLES, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
  - E. INSTALL RECEPTACLES AND OUTLETS IN A VERTICAL FASHION, UNLESS OTHERWISE NOTED.
  - F. PROVIDE PLATES AND DEVICES IN WHITE THROUGHOUT, UNLESS OTHERWISE NOTED.
  - G. PROVIDE CUTS OF ALL PLATES & DEVICES AND ELECTRICAL FIXTURES FOR APPROVAL OF ARCHITECT & OWNER, PRIOR TO INSTALLATION.
  - H. PROVIDE ALL PLATES & DEVICES AND UNSPECIFIED ELECTRICAL FIXTURES.
  - I. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED.
3. MECHANICAL AND ELECTRICAL CONTRACTOR MUST CHECK OWNER'S PRESENT EQUIPMENT BEING RE-USED, EQUIPMENT SUBSTITUTED FOR SPECIFIED TYPE OR MANUFACTURER OR THAT EQUIPMENT MARKED (BY VENDOR) WHICH IS BEING SUBSTITUTED. OTHERS SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ADEQUATELY SIZED, & ROUGHED IN PROPERLY (LOCATION, HEIGHT, & CONNECTION TYPE) SO AS TO MINIMIZE THE AMOUNT OF MATERIALS & FITTINGS NEEDED FOR FINAL HOOK UP RESULTING IN A NEAT AND ORDERLY LOOKING JOB.
4. ALL LABOR, SWITCHES, DISCONNECTS, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY TO COMPLY WITH ALL CODES, INCLUDING ALL INTERVIRING TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE STATED.
5. ALL LABOR, VALVES, TRAPS, TAILPIECES, STRAINERS, PRESSURE REDUCING VALVES, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS TO BE FURNISHED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE STATED.
6. PRIOR TO PURCHASE OF EXTERIOR LIGHT FIXTURES, G.C. SHALL SUBMIT MANUFACTURERS TO HDLC & OWNER FOR APPROVAL.

12 JUNE 2025	DAC SE-												
06 JUNE 2025	EC-												
Project: #2025-08													
<b>BARROUKH RESIDENCE RENOVATION/ADDITION</b>													
<b>ADDRESS:</b> 1923 BROADWAY ST. NEW ORLEANS, LA 70118													
<h1 style="margin: 0;">M.E.P. LEGEND &amp; GENERAL NOTES</h1>													
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">DATE:</td> <td style="padding: 5px;">6/12/2025 8:08:56 PM</td> </tr> <tr> <td style="padding: 5px;">PROJECT NO.:</td> <td style="padding: 5px;">2025-08</td> </tr> <tr> <td style="padding: 5px;">DRAWING BY:</td> <td style="padding: 5px;">MM</td> </tr> <tr> <td style="padding: 5px;">CHECKED BY:</td> <td style="padding: 5px;">AJ</td> </tr> <tr> <td style="padding: 5px;">SHEET NO.:</td> <td style="padding: 5px; text-align: center;"> <div style="font-size: 2em; font-weight: bold; margin: 0;">A900</div> </td> </tr> <tr> <td style="padding: 5px;">CAD FILE NO:</td> <td style="padding: 5px;">2025-08/PDF OUT/DAC</td> </tr> </table>	DATE:	6/12/2025 8:08:56 PM	PROJECT NO.:	2025-08	DRAWING BY:	MM	CHECKED BY:	AJ	SHEET NO.:	<div style="font-size: 2em; font-weight: bold; margin: 0;">A900</div>	CAD FILE NO:	2025-08/PDF OUT/DAC
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# ADAMICK ARCHITECTURE

3301 CHIPPEWA ST. • NEW ORLEANS, LA 70115

504.322.1220 • ADAMICKARCHITECTURE.COM

06/12/2025

## **Narrative Addressing Compliance Goals**

### **Thursday**

CPC: Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals.

#### ARCHITECT'S RESPONSE:

This project is intended to convert an existing 1 story single family home into a 2 story duplex, by adding a camelback addition to the rear.

A low ceiling height of 9'6 ½" at the original building, coupled with a 8'4 ceiling height at the second story, have helped us keep under the 30' height limit of the overlay district, and of a similar height and massing to its neighbors.

The first floor layout was kept largely the same, with the exception of conversion of a former closet to a bathroom.

The detailing of the front façade is intended to remain largely the same, with a camelback in the rear of limited height, matching the 6:12 roof slopes of the existing front.

The most noticeable differences were relocating the front door to the other side of the porch, and the demolition of the front stairs due to some settlement issues that are being investigated. We are calling for those stairs to be replaced to match their previous appearance after the issues are resolved.

Existing curb cuts and driveways are to be retained, and used to access two parking spaces at the rear of the building.

CPC: A descriptive narrative of how the proposal addresses the standards of the University Area Design Overlay standards found in Article 18, Section 18.32.B.3. The design shall be compatible in character, scale, and spatial relationships with existing residential development on the same and opposite block faces and surrounding neighborhood character. In conducting its design review, the staff shall consider changes to scale, massing, articulation, and roof form to ensure compatibility with existing development. For design guidelines, reference the City of New Orleans Historic District Landmarks Commission (HDLC) Guidelines for New Construction, Additions and Demolition.

ARCHITECT'S RESPONSE: the building maintains the front of the building, and adds a simply detailed camelback at the rear, similar to most rear detailing, and it is our office's opinion that the design completely conforms with these guidelines. We believe the documentation that we have provided shows that the building maintains (or is even smaller than) the surrounding structures.



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review

☐ Interim Zoning Districts Appeal

☐ Moratorium Appeal

Property Location \_\_\_\_\_

### APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name \_\_\_\_\_

Applicant Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Applicant Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name \_\_\_\_\_

Property Owner Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Property Owner Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROJECT DESCRIPTION

Conversion of 1 story single family home to 2 story duplex.  
Includes addition of new interior square footage in a camelback addition at rear.

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ☐ Enhancement Corridor
- ☒ University Area Design Overlay
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

#### Non-Design Overlay District Review

- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ CBD FAR Bonus
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility

- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as Required

### ADDITIONAL INFORMATION

Current Use \_\_\_\_\_ Proposed Use \_\_\_\_\_

Square Number \_\_\_\_\_ Lot Number \_\_\_\_\_ Permeable Open Space (sf) \_\_\_\_\_

New Development? Yes ☐ No ☒ Addition? Yes ☒ No ☐ Tenant Width \_\_\_\_\_

Existing Structure(s)? Yes ☒ No ☐ Renovations? Yes ☒ No ☐ Building Width \_\_\_\_\_

Change in Use? Yes ☐ No ☒ Existing Signs? Yes ☐ No ☒ Lot Width (sf) \_\_\_\_\_

New Sign(s)? Yes ☐ No ☒ Lot Area (sf) \_\_\_\_\_ Building Area (sf) \_\_\_\_\_



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

North arrow, scale, and date of plan  
Location, dimensions, and area of permeable open space  
Name, address of the professional who prepared the plan  
Legend of symbols, patterns, and abbreviations used  
The entire lot(s), including area and property lines dimensioned (including gross area of the site)  
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)  
Location and dimensions of buildings and structures, including total floor area and distance from property lines  
Location of adjacent buildings  
Location of refuse storage locations  
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways  
Fence location, height, and materials

#### 2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development  
Room use  
Location of all walls, doors, and windows  
Location of all plumbing fixtures  
Location of major appliances/mechanical equipment  
Stairway location  
Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

☒ Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN N/A

Location of all exterior lighting, including those mounted on poles and walls  
Types, style, height, and the number of fixtures  
Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN N/A

Proposed Signage with overall height, width, and materials  
Building Elevation (including building width and height)  
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN N/A

Name and address of professional who prepared the plan.  
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission  
All landscape plans shall meet the minimum requirements of site plans  
Legend defining all symbols, patterns, and abbreviations used  
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.  
Description of all tree preservation measures on-site and in the public right-of-way  
Width, depth, and area of landscaped area(s)  
Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

☒ Photographs of the subject site and/or building

#### 8. NARRATIVE

☒ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

☒ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

#### 10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

☒ Additional submittal requirements for the University Area Design Overlay

### FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000