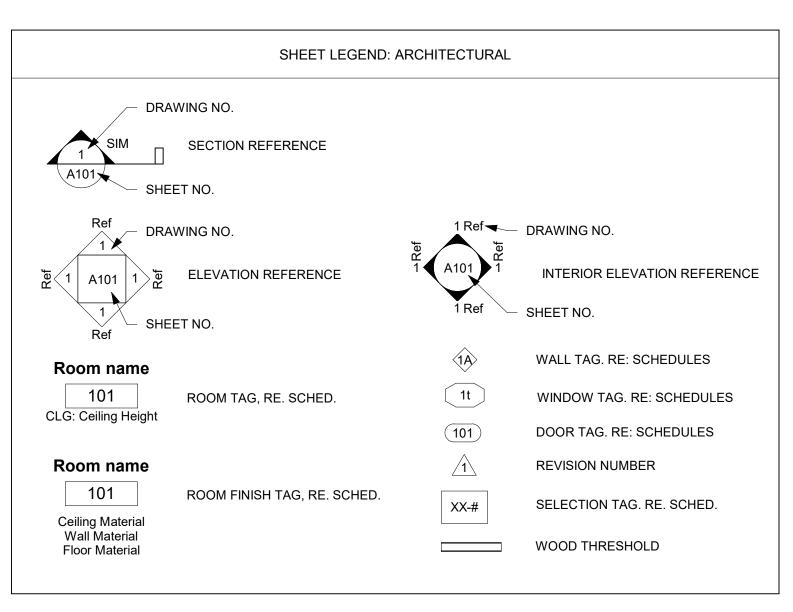
BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA 70118





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	ABBRE	EVIATIONS	
A/C	AIR CONDITIONING	HVAC	HEATING, VENTILATION, & A/O
A.F.F.	ABOVE FINISHED FLOOR	H.W.	HOT WATER HEATER
A.F.G.	ABOVE FINISHED GRADE	I.A.W.	IN ACCORDANCE WITH
ALT.	ALTERNATE	INSUL.	INSULATION
BDB	BEADED-BOARD	INT.	INTERIOR
BLDG.	BUILDING	MFR	MANUFACTURER
CL	CENTERLINE	MAX.	MAXIMUM
CLG	CEILING	MECH.	MECHANICAL
CLR	CLEARANCE	MIN.	MINIMUM
CMU	CONCRETE MASONRY UNIT	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	O.C.	ON CENTER
C.J.	CONTROL JOINT	PLUMB.	PLUMBING
COORD.	COORDINATE	PT	PAINT
DECOR.	DECORATIVE	PLY.	PLYWOOD
DTL.	DETAIL	PL	PROPERTY LINE
DIAM.	DIAMETER	PTL	PRESSURE TREATED WOOD
DIM.	DIMENSION	PRIM.	PRIMARY
DN	DOWN	P.V.	PHOTOVOLTAIC
D.S.	DOWNSPOUT	RE.	REFERENCE
ELEC.	ELECTRICAL	REQ.	REQUIRED
ELEV.	ELEVATION	R.D.	ROOF DRAIN
EQ	EQUAL	RM	ROOM
EQUIP.	EQUIPMENT	SCHED.	SCHEDULE
E.J.	EXPANSION JOINT	SECT.	SECTION
EXT.	EXTERIOR	SIM.	SIMILAR
E.T.R.	EXISTING TO REMAIN	SHTG.	SHEATHING
F.B.O.	FURNISHED BY OWNER	SPEC.	SPECIFIED
F.D.	FLOOR DRAIN	STRUC.	STRUCTURAL
FLASH.	FLASHING	TEM.	TEMPERED
FLR	FLOOR	THK	THICK
FIN.	FINISH	T&G	TONGUE & GROOVE
F.F.L.	FINISHED FLOOR LEVEL	TYP.	TYPICAL
GC	GENERAL CONTRACTOR	VERT.	VERTICAL
GYP.	GYPSUM BOARD	V.I.F.	VERIFY IN FIELD
HT.	HEIGHT	W/	WITH
HOR.	HORIZONTAL	WDW	WINDOW
HR	HOUR	WC	WATER CLOSET



SC	OPE OF WORK
CONVERSION OF SINGLE FAMILY HOME TO DUPI INCLUDES ADDITION OF NEW INTERIOR SQUARE	LEX. E FOOTAGE AS A CAMELBACK ADDITION AT THE REAR.
SQU	ARE FOOTAGES
EXISTING	PROPOSED
FIRST FLOOR: 1,625 SQ.FT. FRONT PORCH: 252 SQ.FT. REAR PORCH: 40 SQ.FT.	FIRST FLOOR: 1,625 SQ.FT. FRONT PORCH: 252 SQ.FT. REAR PORCH: 40 SQ.FT. SECOND FLOOR: 722 SQ.FT.
TOTAL UNDER BEAM: 1,917 SQ.FT.	TOTAL UNDER BEAM: 2,239 SQ.FT.
ZONI	NG INFORMATION
MUNICIPAL DISTRICT: A SQUARE / BLOCK: 38	
LOT: B PARISH: ORLEANS ZONING DISTRICT: HU-RD1	

ARCHITECT: CONTRACTOR OWNER:

ADAMICK ARCHITECTURE 3301 Chippewa Street

New Orleans, LA 70115

504.322.1220

Contact: Alec Adamick
E-mail: alec@adamickarchitecture.com

T.B.D.

ALEX BARROUKH 1923 BROADWAY St.

New Orleans, LA 70118

310.499.3800

Contact: ALEX BARROUKH E-mail: abarroukh@gmail.com

	ADAMICK
	ARCHITECTURE

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date

12 JUNE 2025 DAC SET

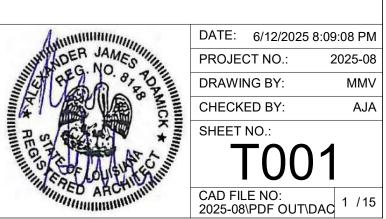
06 JUNE 2025 EC-1

Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA 70118







1929 BROADWAY STREET



1923 BROADWAY STREET (THIS PROPERTY)



1919 BROADWAY STREET



1915 BROADWAY STREET



1911 BROADWAY STREET



1907 BROADWAY STREET



7137 COHN STREET (LEFT)



7137 COHN STREET (RIGHT)



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Dat

12 JUNE 2025

06 JUNE 2025

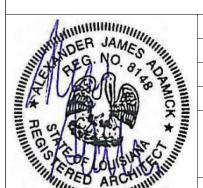
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Project: #2025-08

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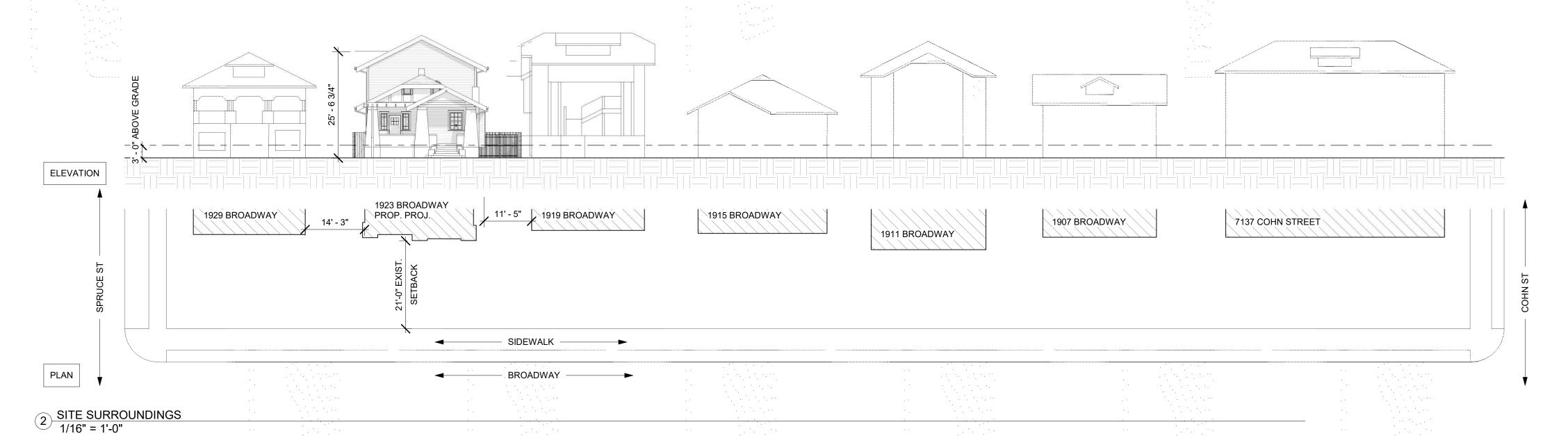
CONTEXTUAL BUILDINGS



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1" = 160'-0"

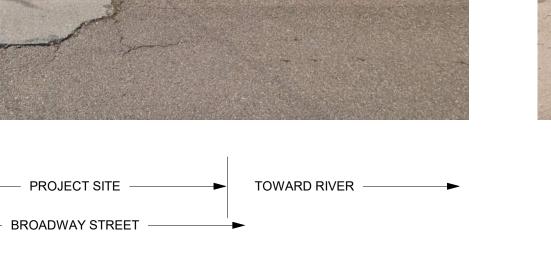


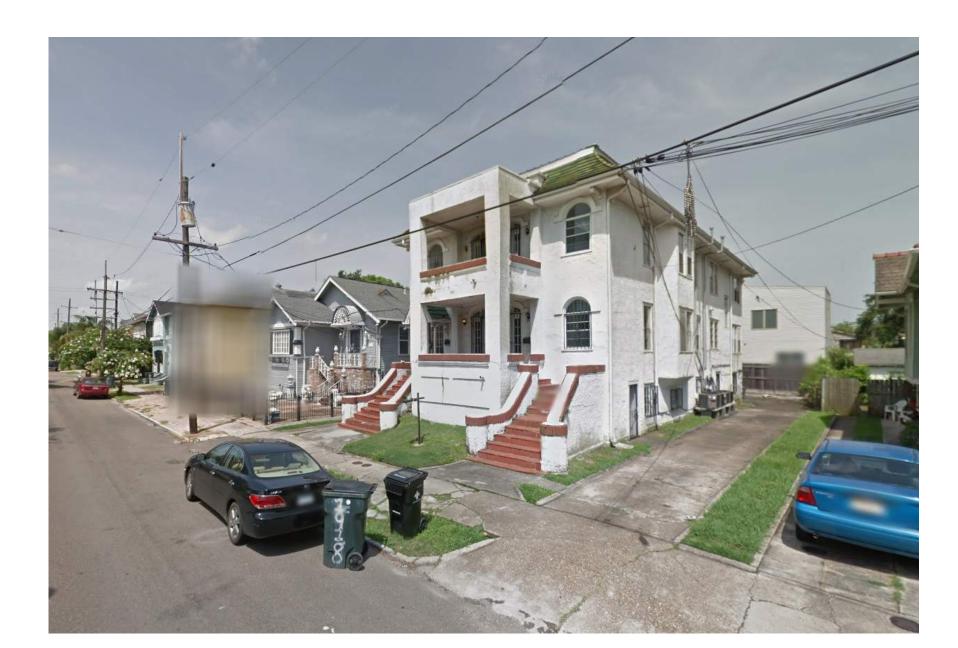




◄ TOWARD LAKE

■ TOWARD RIVER







PROJECT SITE





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No.	Description	Dat

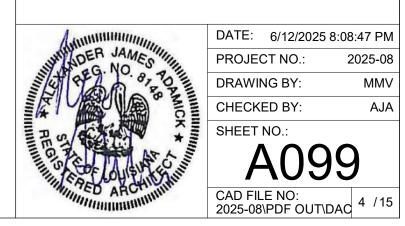
12 JUNE 2025 DAC SET 06 JUNE 2025

Project: #2025-08

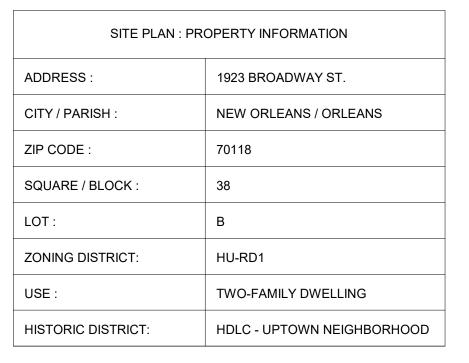
BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA 70118

SITE SURROUNDINGS



1" = 100'-0"



SITE PLAN : ZONING DATA				
LABELS	REQUIRED	EXIST. / PROP.		
LOT AREA (SQ.FT.):	2F: 2,200sf/du	4,800 SQ. FT.		
LOT WIDTH:	40'-0"	40'-0"		
LOT DEPTH:	90'-0"	120'-0"		
BLDG. HEIGHT:	35'-0" / 30'-0" or 3' ABOVE ADJ.	+/- 25'-6 3/4"		
PERM. OPEN SPACE:	30% * 4800SF= 1440 SF MIN	1539 SF		
MIN. OPEN SPACE:	None	NA		
MAX. IMPERV. FRONT YARD:	40% * 807 SF= 322 SF MAX	233 SF EXIST., NO CHANGE		
FRONT SETBACK:	11.3.A.2	+/- 20'-2"		
SIDE SETBACK:	SF&2F: 3'-0""	+/- 3'-0 3/4" & 8'-8"		
REAR SETBACK:	20% OF LOT DEPTH OR 15'-0""	+/ 28'-0"		
* = EXISTING TO REMAIN				

GENERAL SITE PLAN NOTES

WITH CONSTRUCTION OF THE BUILDING.

- ALL DIMENSIONS ARE "FINISH TO FINISH," UNLESS NOTED OTHERWISE.
- 2. CONTRACTOR RESPONSIBLE FOR LOCATING AND COORDINATING ALL NEW FOUNDATIONS, PILES, GRADE BEAMS ETC. WITH SURVEYOR PRIOR TO PROCEEDING
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING NEW GRADING, SOD, HARDSCAPING, AND GRAVEL WITH A WEED BARRIER AS INDICATED ON THE SITE PLAN.
- 4. ALL NEW A/C CONDENSERS REQUIRED TO BE 3'-0" ABOVE GRADE, 3'-0" AWAY FROM ALL SIDEYARD LOT LINES, 5'-0" FROM REAR LOT LINE, AND 6'-0" FROM ALL ROOF EDGES. HVAC INSTALLER TO SIZE MACHINE ACCORDINGLY AND PROVIDE ADEQUATE SERVICE AND CLEARANCE SPACE AROUND THE MACHINE.
- 5. ALL NEW EXTERIOR WORK IN ALL HDLC NEIGHBORHOODS MUST BE APPROVED BY THE RESPECTIVE HDLC REVIEWER PRIOR TO PURCHASE AND INSTALL OF EXTERIOR FIXTURES, WINDOWS, DOORS, ETC.

	SHEET - KEYNOTES		
Key Value	Keynote Text		
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.		
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW, TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING		
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM		
A-01.07	(NEW) (HDLC APPROVED) THERMOSTATIC ROOF VENT.		



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lo.	Description	Date

	SPRUCE ST. (SIDE) 120' - 0" PROPERTY DEPTH A202	<u></u>
	EXISTING WOOD G-2.5" WOOD FENCE TO REMAIN A-01.04 A-01.03 EMICAL EVENT OF THE PROPERTY OF T	200 SF PERMEABLE OPEN SPACE REQUIRED, PLUS
	16'-0" REQ. FRONT YARD SETBACK 20'-2 1/4" REQ. FRONT YARD SETBACK	EXISTING AREAS TO REMAIN IN FRONT AND SIDE YARDS
BROADWAY ST.	20'-2 1/4" EXIST. SETBACK PROVIDED A-01.01 A-01.07 EXIST. SETBACK PROVIDED 28'-0" 24'-13/4" 1 A202	40' - 0" PROPERTY WIDTH AUDUBON ST. (SIDE)
Ь	RE-CREATE CONCRETE FRONT STEPS SIM. TO EXISTING	
EXIST. CURB CI	EXISTING 10' % 6' METAL PICKET GATE TO REMAIN BUILDING FOOTPRINT: 1890 SF	NEW PAVING FOR PARKING AREA TRASH/REFUSE STORAGE AREA
	EXISTING PAVING WITHIN PROPERTY LINE: ~484 SF A-01.04 A-01.04 EXISTING PAVING WITHIN PROPERTY LINE: ~484 SF COHN ST.(SIDE)	EXISTING 6' 2.5" WOOD FENCE TO REMAIN.

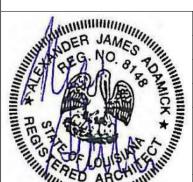
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Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA 70118

SITE PLAN, ZONING, SURVEY, & ELEV. CERT.



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DRAWING BY: MMV
CHECKED BY: AJA
SHEET NO.:
A100

CAD FILE NO: 2025-08\PDF OUT\DAC 5 /15

SITE PLAN
3/16" = 1'-0"

LEGEND: EXISTING & DEMOLITION PLAN EXISTING WALL DEMO WALL EXISTING DOOR DEMO DOOR

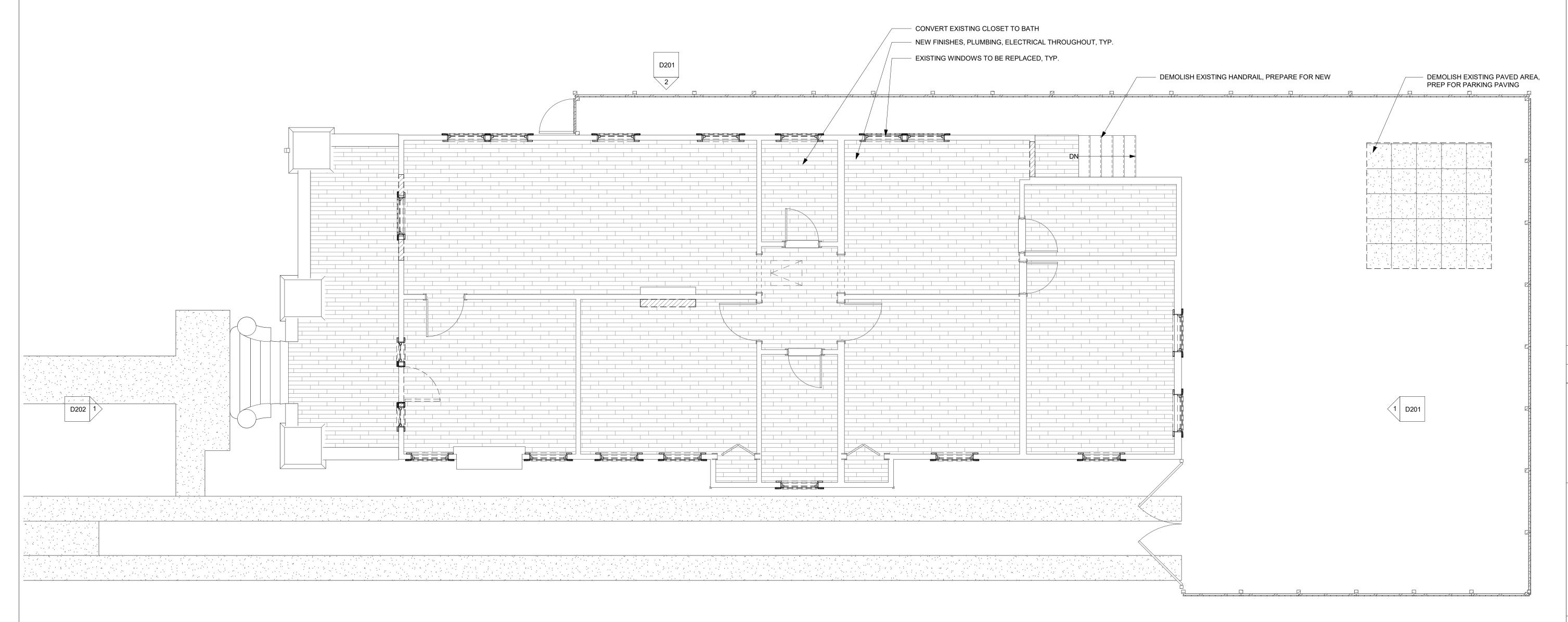
SHEET - KEYNOTES Key Value Keynote Text

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE: ELEMENT DESCRIPTION AT 1ST FLOOR DESCRIPTION AT 2ND FLOOR CAMELBACK ROOF NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE GUTTERS EXISTING 6" K-STYLE GUTTERS TO REMAIN NEW 6" K-STYLE GUTTERS TO MATCH SIDING PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN 5" CORNER BOARDS WATERTABLE NONE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN			
ROOF NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE GUTTERS EXISTING 6" K-STYLE GUTTERS TO REMAIN NEW 6" K-STYLE GUTTERS TO MATCH SIDING PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN 5" CORNER BOARDS WATERTABLE NONE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	NEW CAMELBACK	ADDITION ON EXISTING 1 STORY HOUSE:	
GUTTERS EXISTING 6" K-STYLE GUTTERS TO REMAIN NEW 6' K-STYLE GUTTERS TO MATCH PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN WATERTABLE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
SIDING PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN WATERTABLE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN 5" CORNER BOARDS WATERTABLE NONE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6' K-STYLE GUTTERS TO MATCH
WATERTABLE NONE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	SIDING	PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL	
WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	CORNER BOADS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
RESTROOM WINDOWS 1/1 SLIDING SHUTTERS NONE EXISTING, NO NEW NONE FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	WATERTABLE	NONE	NONE
FENCES EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN	WINDOWS		NEW SINGLE HUNG 6/6 VINYL
EXISTING WOOD GATE TO REMAIN	SHUTTERS	NONE EXISTING, NO NEW	NONE
	FENCES	EXISTING WOOD GATE TO REMAIN	



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date



D202

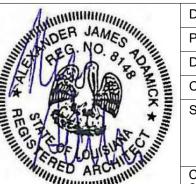
12 JUNE 2025 DAC SET 06 JUNE 2025

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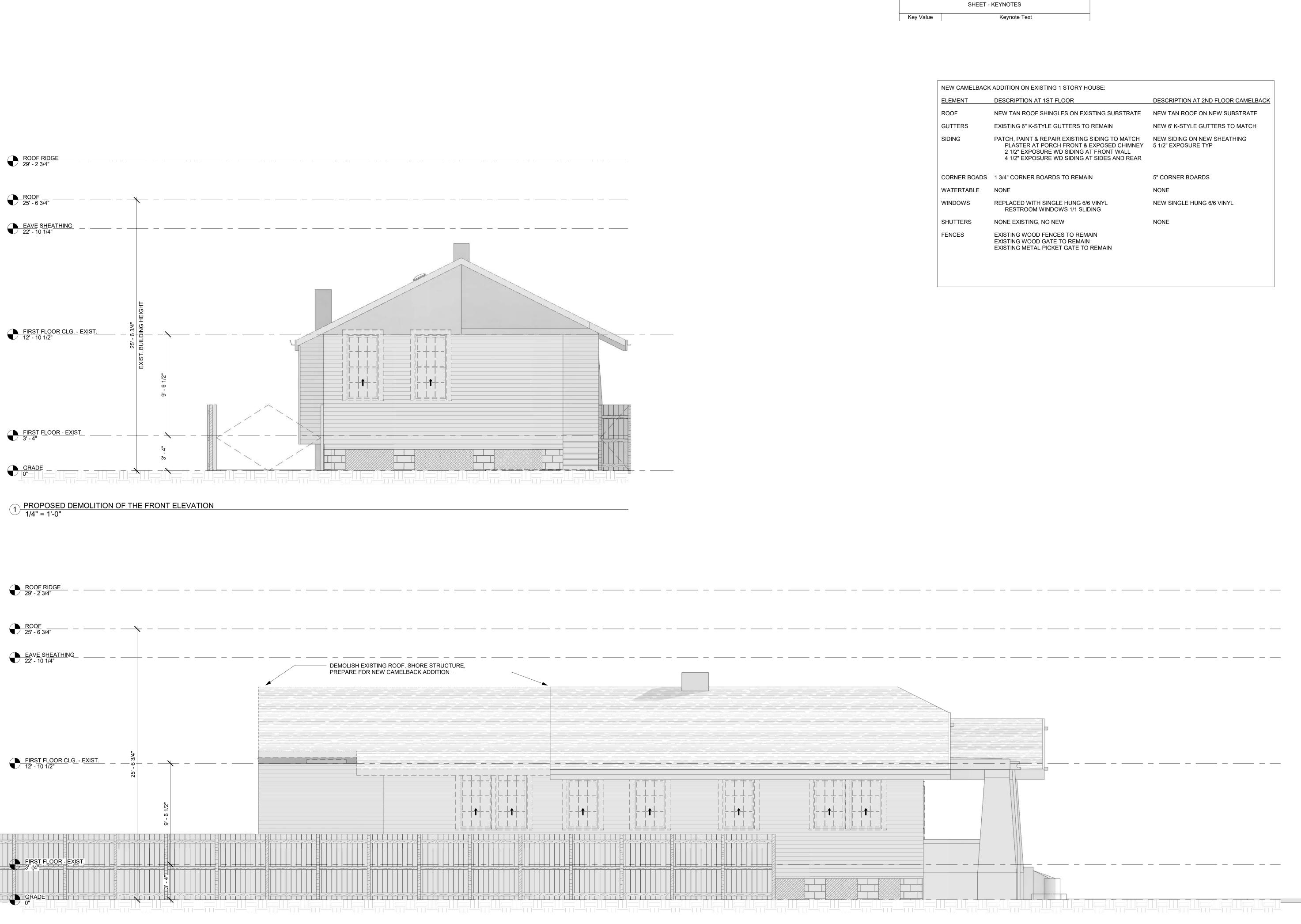
BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA 70118

EXISTING / DEMO FIRST FLOOR PLAN & NOTES



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2 PROPOSED DEMOLITION OF THE RIGHT SIDE ELEVATION 1/4" = 1'-0"



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date
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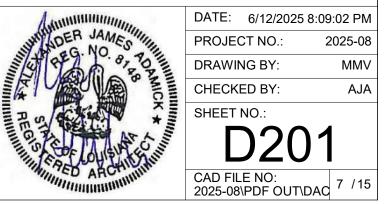
12 JUNE 2025 DAC SET 06 JUNE 2025

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BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA

EXISTING / DEMO **EXTERIOR ELEVATIONS &** NOTES



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SHEET - KEYNOTES Keynote Text Key Value



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No.	Description	Date

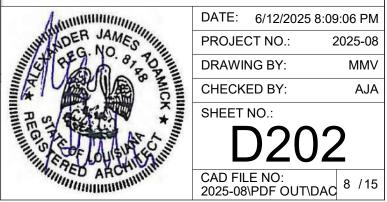
12 JUNE 2025 DAC SET 06 JUNE 2025 EC-1

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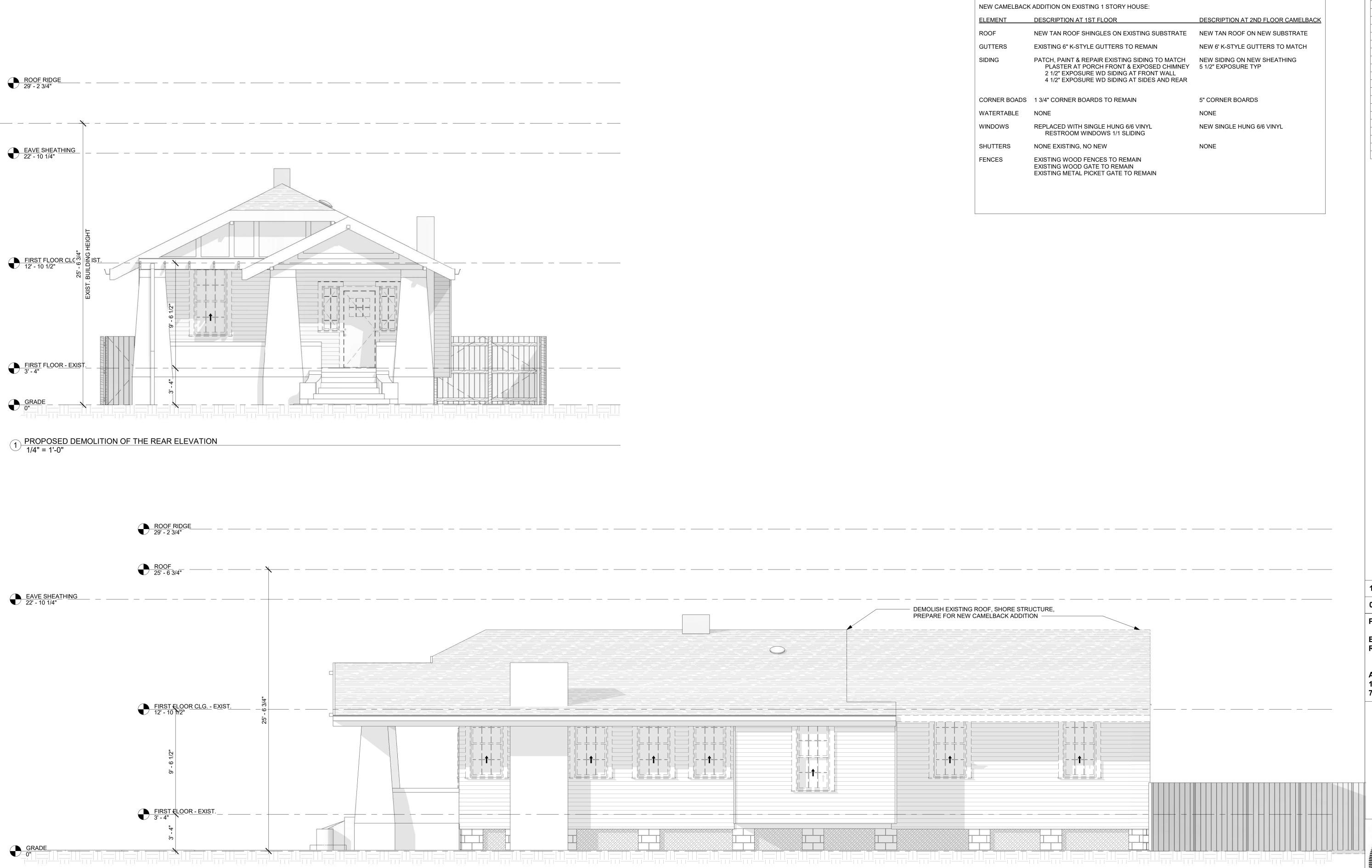
BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA 70118

EXISTING / DEMO **EXTERIOR ELEVATIONS &** NOTES

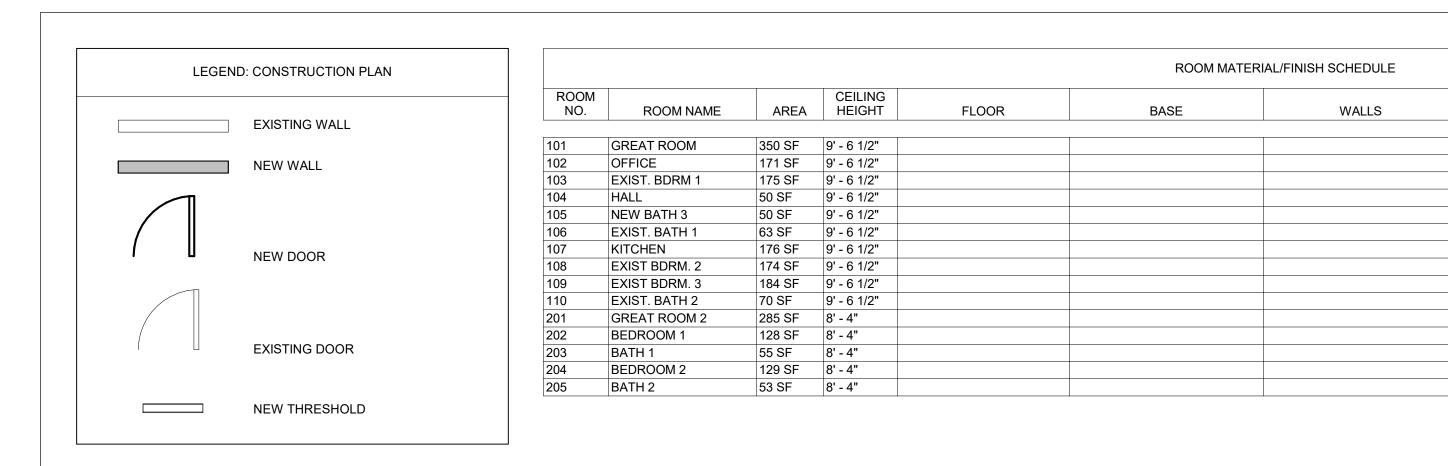


DATE: 6/12/2025 8:09:06 PM PROJECT NO.: DRAWING BY: CHECKED BY:



PROPOSED DEMOLITION OF THE LEFT SIDE ELEVATION

1/4" = 1'-0"



SHEET - KEYNOTES Keynote Text Key Value

ROOF

SHUTTERS

FENCES

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE: DESCRIPTION AT 1ST FLOOR

GUTTERS EXISTING 6" K-STYLE GUTTERS TO REMAIN SIDING PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH NEW SIDING ON NEW SHEATHING PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 5 1/2" EXPOSURE TYP

2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR

NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE NEW TAN ROOF ON NEW SUBSTRATE

WATERTABLE NONE WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL

CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN

RESTROOM WINDOWS 1/1 SLIDING

NONE EXISTING, NO NEW EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

DESCRIPTION AT 2ND FLOOR CAMELBACK

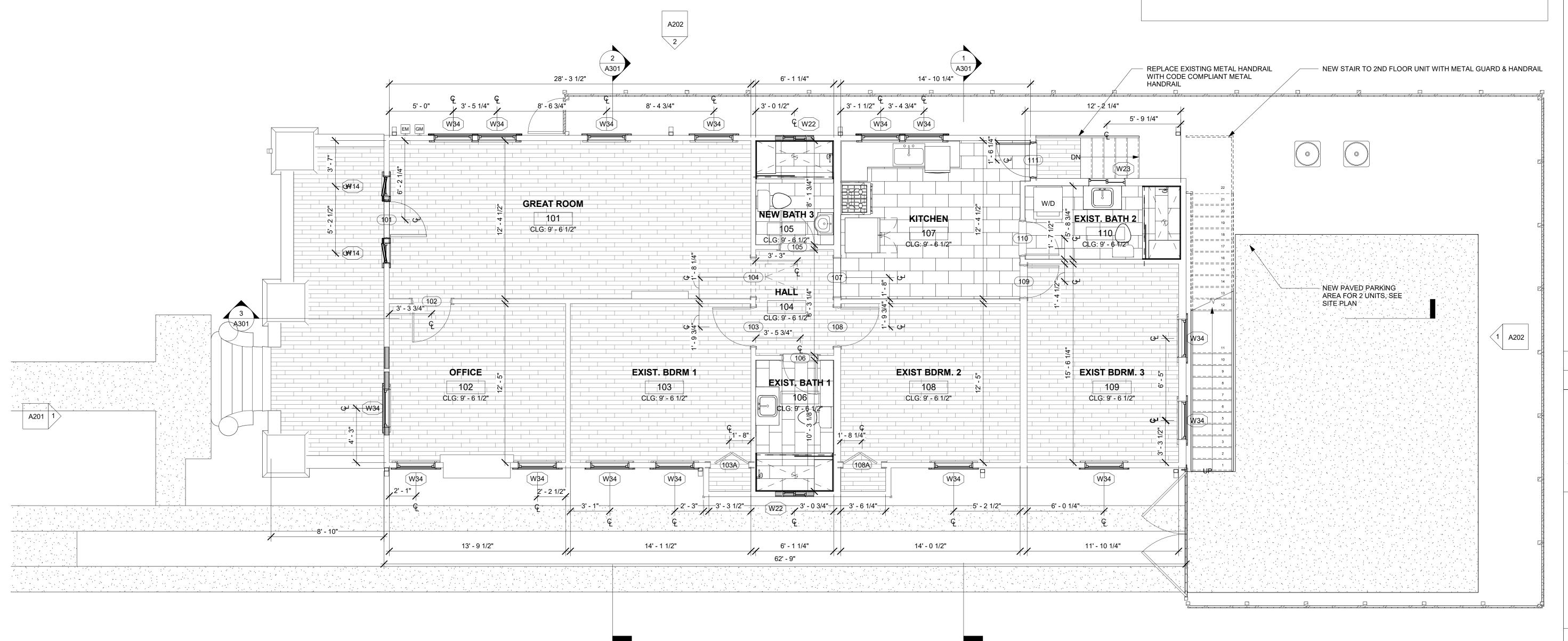
NEW 6' K-STYLE GUTTERS TO MATCH

5" CORNER BOARDS

NONE

NEW SINGLE HUNG 6/6 VINYL

No.	Description	Date



CASING

FINISH

REMARKS

CASING

CEILING

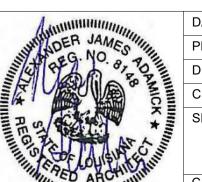
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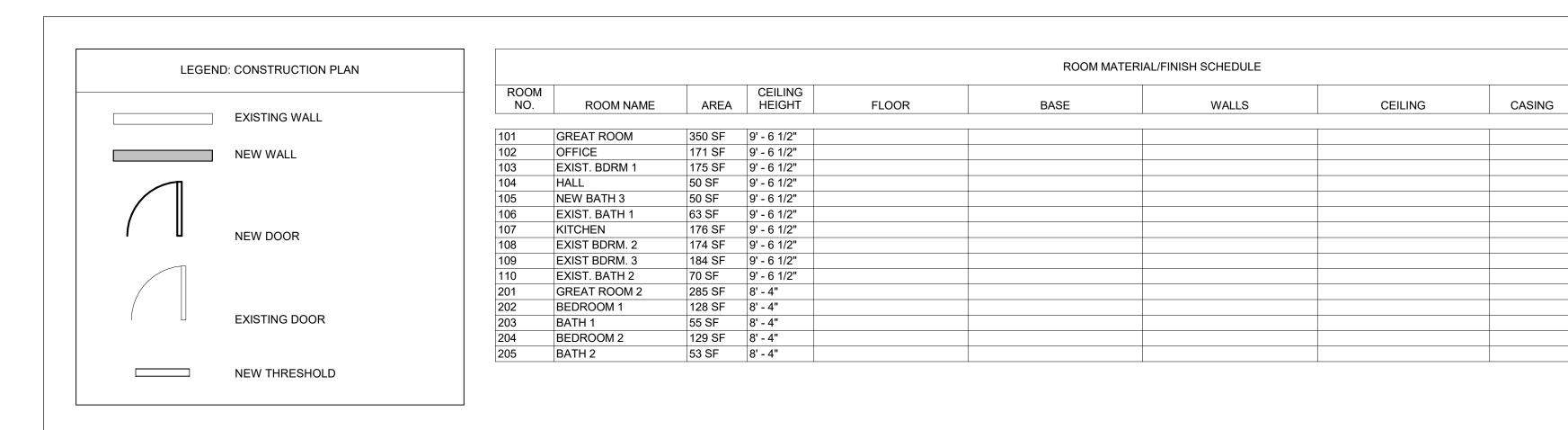
BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA

PROPOSED FIRST FLOOR PLAN & NOTES



DATE: 6/12/2025 8:08:51 PM PROJECT NO.: 2025-08 DRAWING BY: CHECKED BY: CAD FILE NO: 2025-08\PDF OUT\DAC 9 /15



SHEET - KEYNOTES Key Value Keynote Text

NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE:

DESCRIPTION AT 1ST FLOOR ROOF

NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE NEW TAN ROOF ON NEW SUBSTRATE

EXISTING 6" K-STYLE GUTTERS TO REMAIN

SIDING PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH NEW SIDING ON NEW SHEATHING PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 5 1/2" EXPOSURE TYP

2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR

CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN WATERTABLE NONE

GUTTERS

SHUTTERS

FENCES

WINDOWS REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING

NONE EXISTING, NO NEW

5" CORNER BOARDS

NEW SINGLE HUNG 6/6 VINYL

DESCRIPTION AT 2ND FLOOR CAMELBACK

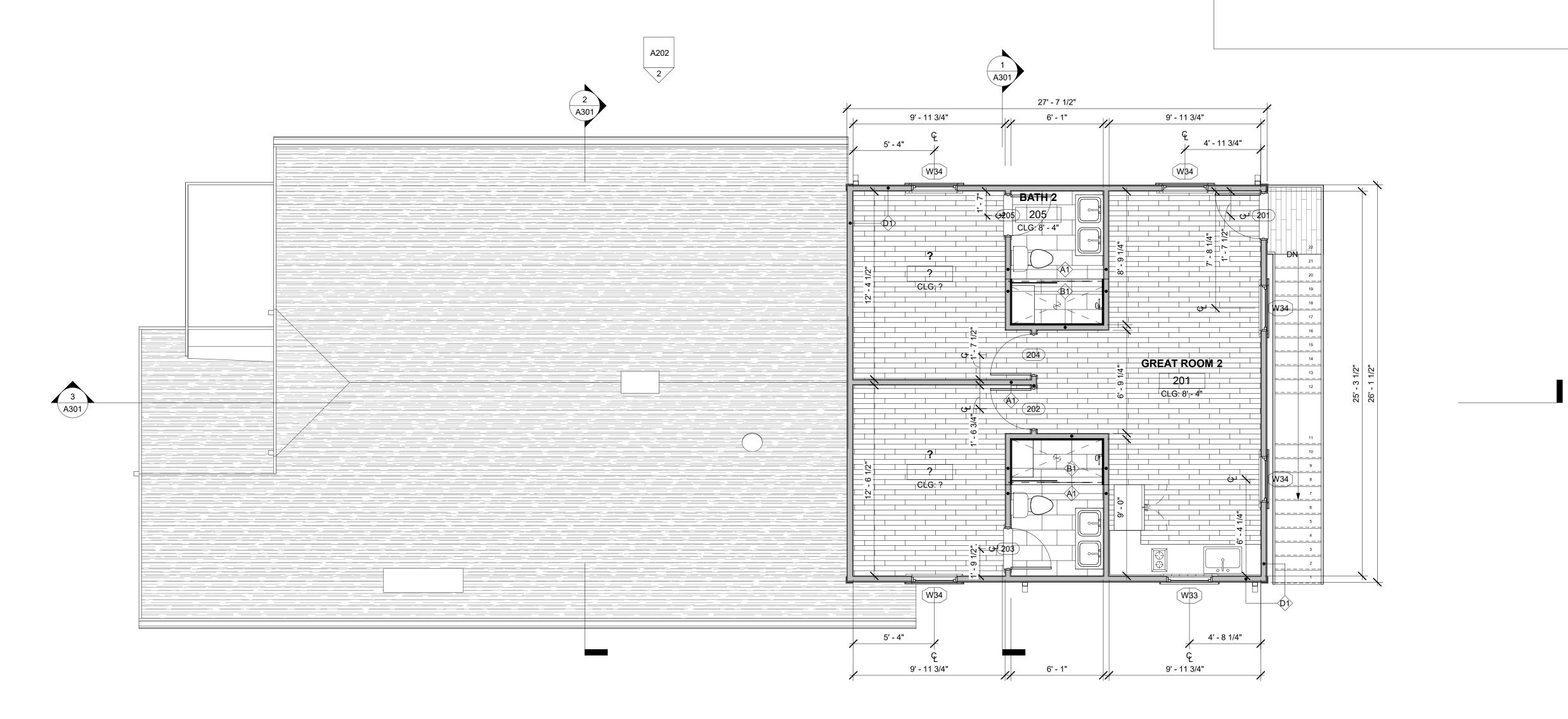
NEW 6' K-STYLE GUTTERS TO MATCH

NONE

EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN 3301 CHIPPEWA STREET NEW ORLEANS, LA 70115

504.322.1220

No.	Description	Date



CASING

FINISH

REMARKS

DAC SET 12 JUNE 2025 06 JUNE 2025 EC-1

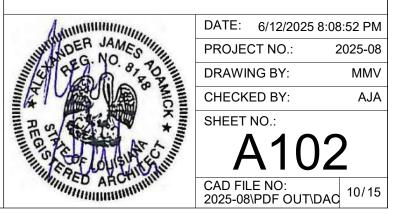
Project: #2025-08

1 A202

BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA 70118

PROPOSED SECOND FLOOR PLAN & NOTES



	SHEET - KEYNOTES	
Key Value Keynote Text		
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.	
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW, TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING	
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM	
A-01.07	(NEW) (HDLC APPROVED) THERMOSTATIC ROOF VENT.	
A-02.01	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.	

WINDOWS

FENCES

FENCE TO REMAIN; CONSTRUCTION.	PROVIDE PROTECTION		
NEW CAMELBACK	ADDITION ON EXISTING 1	STORY HOUSE:	
ELEMENT	DESCRIPTION AT 1ST FLO	OOR	DESCRIPTION AT 2ND FLOOR CAMELBACK
ROOF	NEW TAN ROOF SHINGLE	S ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUT	TERS TO REMAIN	NEW 6' K-STYLE GUTTERS TO MATCH
SIDING	PLASTER AT PORCH F 2 1/2" EXPOSURE WD	EXISTING SIDING TO MATCH FRONT & EXPOSED CHIMNEY SIDING AT FRONT WALL SIDING AT SIDES AND REAR	NEW SIDING ON NEW SHEATHING 5 1/2" EXPOSURE TYP
CORNER BOADS	1 3/4" CORNER BOARDS T	O REMAIN	5" CORNER BOARDS
WATERTABLE	NONE		NONE

NEW SINGLE HUNG 6/6 VINYL

NONE

REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING

EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN

NONE EXISTING, NO NEW



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date
NO.	Description	Date

ROOF 25' - 6 3/4" SECOND FLOOR CLG NEW 22' - 3"	A01.07 A01.03 A01.04 A01.04
SECOND FLOOR - NEW 13' - 11" FIRST FLOOR CLG EXIST. 12' - 10 1/2"	
25' - 6 3/4" PROPO	A-02.01

—A-01.01

—A-01.03

—A-01.07

—A-01.01

——A-01.03

—A-01.04

12 JUNE 2025 DAC SET 06 JUNE 2025 EC-1

Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA

PROPOSED **EXTERIOR ELEVATIONS &** NOTES



DATE: 6/12/2025 8:08:53 PM PROJECT NO.: DRAWING BY: CHECKED BY: CAD FILE NO: 2025-08\PDF OUT\DAC

2025-08

ROOF 25' - 6 3/4"

SECOND FLOOR CLG. - NEW
22' - 3"

SECOND FLOOR - NEW 13' - 11"

FIRST FLOOR - EXIST. 3' - 4"

1 PROPOSED CONSTRUCTION OF THE FRONT ELEVATION 1/4" = 1'-0"

FIRST FLOOR CLG. - EXIST. 12' - 10 1/2"

	SHEET - KEYNOTES
Key Value Keynote Text	
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW, TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM
A-02.01	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.
E-01.05	(NEW) TANK LESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.

SHEET - KEYNOTES			
Key Value	Keynote Text		
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.		
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW, TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING		
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM		
A-02.01	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.		
E-01.05	(NEW) TANK LESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.		

NEW CAMELBACK	ADDITION ON EXISTING 1 STORY HOUSE:	
ELEMENT	DESCRIPTION AT 1ST FLOOR	DESCRIPTION AT 2ND FLOOR CAMELBAC
ROOF	NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE	NEW TAN ROOF ON NEW SUBSTRATE
GUTTERS	EXISTING 6" K-STYLE GUTTERS TO REMAIN	NEW 6' K-STYLE GUTTERS TO MATCH
SIDING	PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 2 1/2" EXPOSURE WD SIDING AT FRONT WALL 4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR	
CORNER BOADS	1 3/4" CORNER BOARDS TO REMAIN	5" CORNER BOARDS
WATERTABLE	NONE	NONE
WINDOWS	REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING	NEW SINGLE HUNG 6/6 VINYL
SHUTTERS	NONE EXISTING, NO NEW	NONE
FENCES	EXISTING WOOD FENCES TO REMAIN EXISTING WOOD GATE TO REMAIN EXISTING METAL PICKET GATE TO REMAIN	

ROOF 25' - 6 3/4" A-01.01— A-01.03— 3' - 0" SECOND FLOOR CLG. - NEW
22' - 3" A-01.01— SECOND FLOOR - NEW 13' - 11" A-01.03— FIRST FLOOR CLG. - EXIST. 12' - 10 1/2" A-02.01— (111) FIRST FLOOR - EXIST.

1) PROPOSED CONSTRUCTION OF THE REAR ELEVATION 1/4" = 1'-0"

GRADE_0"



12 JUNE 2025 DAC SET EC-1

06 JUNE 2025

Project: #2025-08 BARROUKH RESIDENCE RENOVATION/ADDITION

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

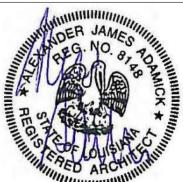
Description

Date

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA 70118

PROPOSED **EXTERIOR ELEVATIONS &**

NOTES



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SHEET - KEYNOTES SHEET - KEYNOTES Keynote Text Key Value Keynote Text Key Value NEW CAMELBACK ADDITION ON EXISTING 1 STORY HOUSE: DESCRIPTION AT 1ST FLOOR DESCRIPTION AT 2ND FLOOR CAMELBACK NEW TAN ROOF SHINGLES ON EXISTING SUBSTRATE NEW TAN ROOF ON NEW SUBSTRATE ROOF_ 25' - 6 3/4" NEW 6' K-STYLE GUTTERS TO MATCH EXISTING 6" K-STYLE GUTTERS TO REMAIN **GUTTERS** PATCH, PAINT & REPAIR EXISTING SIDING TO MATCH PLASTER AT PORCH FRONT & EXPOSED CHIMNEY 5 1/2" EXPOSURE TYP NEW SIDING ON NEW SHEATHING 2 1/2" EXPOSURE WD SIDING AT FRONT WALL
4 1/2" EXPOSURE WD SIDING AT SIDES AND REAR SECOND FLOOR CLG. - NEW SECOND FLOOR CLG. - NEW CORNER BOADS 1 3/4" CORNER BOARDS TO REMAIN 5" CORNER BOARDS WATERTABLE REPLACED WITH SINGLE HUNG 6/6 VINYL RESTROOM WINDOWS 1/1 SLIDING WINDOWS NEW SINGLE HUNG 6/6 VINYL SECOND FLOOR - NEW 13' - 11" SECOND FLOOR - NEW 13' - 11" SHUTTERS NONE EXISTING, NO NEW NONE EXISTING WOOD FENCES TO REMAIN

EXISTING WOOD GATE TO REMAIN

EXISTING METAL PICKET GATE TO REMAIN FENCES FIRST FLOOR CLG. - EXIST. 12' - 10 1/2" FIRST FLOOR CLG. - EXIST. 12' - 10 1/2" FIRST FLOOR - EXIST. FIRST FLOOR - EXIST. GRADE 0" 1 PROPOSED CONSTRUCTION LAT. BUILDING SECTION 1/4" = 1'-0" PROPOSED CONSTRUCTION LAT. SECTION @ NEW ADDITION 1/4" = 1'-0" 3 PROPOSED CONSTRUCTION LONG. BUILDING SECTION 1/4" = 1'-0"

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date

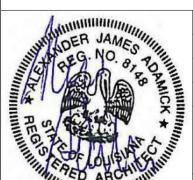
12 JUNE 2025 DAC SET 06 JUNE 2025

Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

ADDRESS: 1923 BROADWAY ST. NEW ORLEANS, LA

PROPOSED **BUILDING SECTIONS** & NOTES



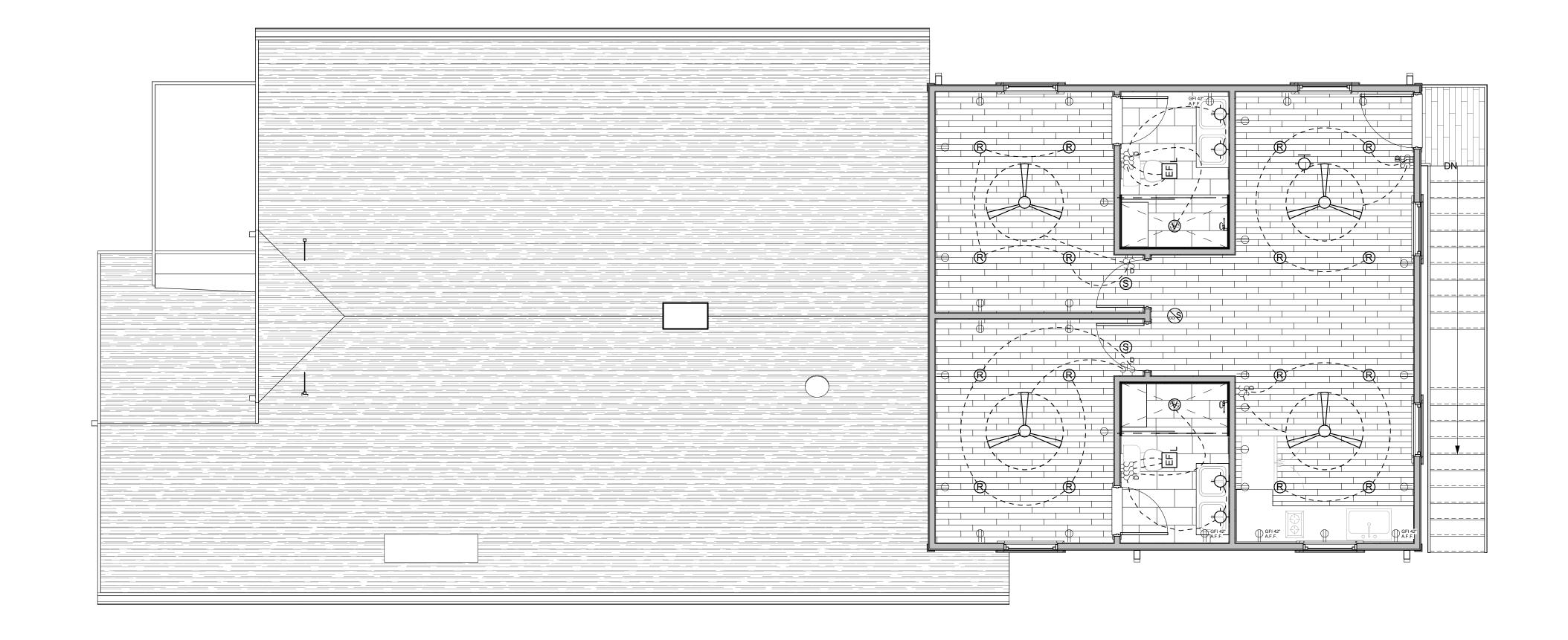
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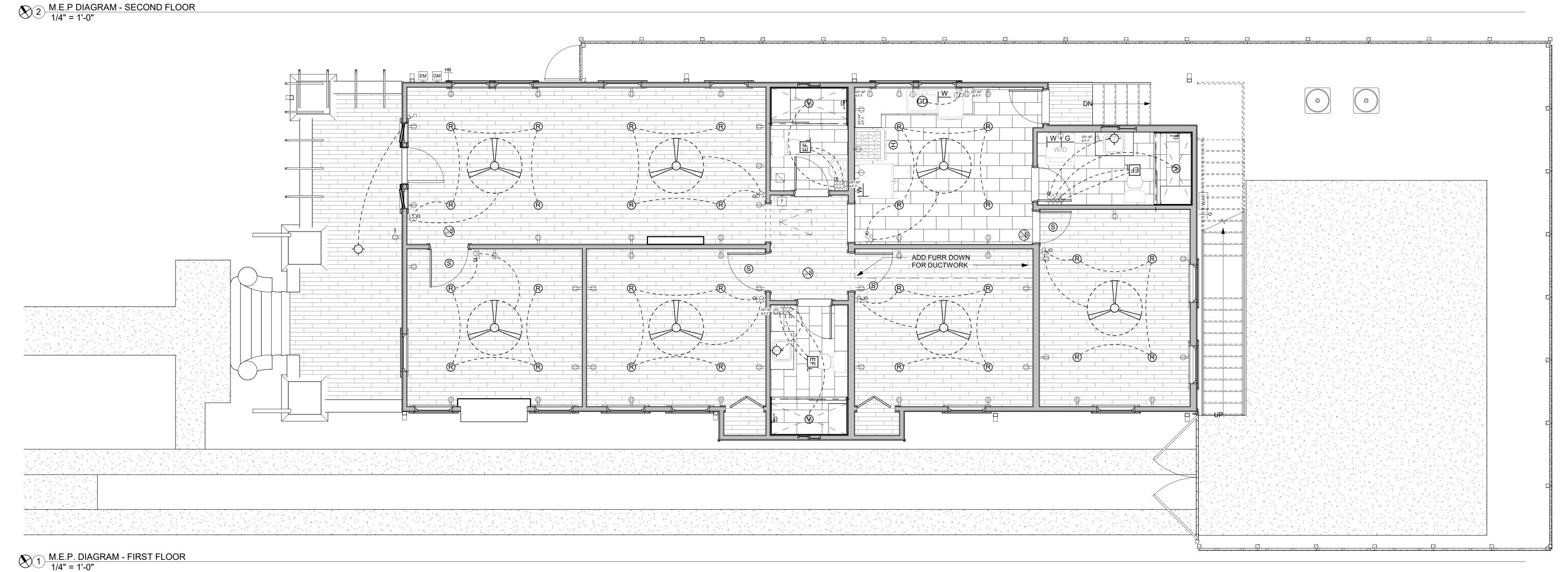
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SHEET - KEYNOTES Key Value Keynote Text

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date





12 JUNE 2025

DAC SET 06 JUNE 2025

Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA 70118

FIRST & SECOND FLOOR M.E.P. DIAGRAM & NOTES



DATE: 6/12/2025 8:08:58 PM DRAWING BY: CHECKED BY:

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PROJECT GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ORLEANS CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING ORLEANS
- THIS AGREEMENT BETWEEN OWNER AND ARCHITECT DOES NOT INCLUDE CONSTRUCTION PHASE SERVICES UNLESS OTHERWISE NOTED. ACCEPTANCE OF THESE DRAWINGS BY THE OWNER SIGNIFIES THEIR AGREEMENT THAT THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INTERPRETING THESE DRAWINGS AND OBSERVING THE WORK OF THE CONTRACTOR TO DISCOVER, CORRECT OR MITIGATE ERRORS, INCONSISTENCIES AND OMISSIONS, AND THAT IF THE OWNER AUTHORIZES DEVIATIONS, RECORDED OR UNRECORDED, FROM PLANS PREPARED BY THE ARCHITECT, THE OWNER SHALL NOT BRING ANY CLAIM AGAINST THE ARCHITECT AND SHALL FULLY INDEMNIFY AND HOLD THE ARCHITECT ITS PARTNERS. ASSOCIATES AND EMPLOYEES HARMLESS FROM AND AGAINST CLAIMS, LOSSES, DAMAGES AND EXPENSES. INCLUDING BUT NOT LIMITED TO DEFENSE COSTS AND THE TIME OF THE ARCHITECT. TO THE EXTENT THAT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE ARISES OUT OF OR RESULTS IN WHOLE OR IN PART FROM SUCH DEVIATIONS. REGARDLESS OF WHETHER OR NOT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED UNDER THIS PROVISION.
- 4. ALL CONTRACTORS ARE RESPONSIBLE FOR NOTIFYING THE ARCHITECT / BUILDING OWNER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES PRIOR TO BIDDING THE PROJECT.
- CONTRACTOR SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION, AND CORRECTION SHALL BE MADE THE RESPONSIBILITY
- THESE DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER. WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL AND ALL PARTIES INVOLVED SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND SPECIFICATIONS (IF ANY) AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE
- 7. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- 9. NO WORK SHALL BE CONCEALED UNTIL APPROVED BY REGULATORY INSPECTORS.
- 10. ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE AND NATIONAL CODES AS REQUIRED.
- 11. CONTRACTOR TO WARRANTEE ALL WORK FOR ONE YEAR.

OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.

- 12. SITE SHALL BE LEFT NEAT DAILY. PROVIDE COMPLETE CLEAN UP ON A WEEKLY BASIS. NO TRASH STORED IN BUILDING. PROPER DISPOSAL REQUIRED.
- 13. OWNER SHALL PAY FOR ALL WATER AND POWER USED TOWARD CONSTRUCTION, FROM EXISTING SOURCES.
- 14. ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL
- 15. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- 16. DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE
- CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA, INCLUDING AFTER HOURS.
- 18. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- 19. CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL CHANGES AND SHALL MARK SAME IN INK ON A SEPARATE. CLEAN SET OF THESE DRAWINGS DURING THE CONSTRUCTION, INCLUDING LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL FURNISH OWNER AND ARCHITECT EACH A COPY OF THIS RECORD BEFORE FINAL COMPLETION AND ACCEPTANCE IS RECORDED.
- 20. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.).
- 21. FINISH SUBMITTALS FOR PURPOSES OF ABSOLUTE CONFIRMATION, THE CONTRACTOR SHALL SUBMIT TWO "FINISH SAMPLE SUBMITTALS" FOR ANY/ALL ITEM(S) THAT NEEDS AND/OR HAS/HAVE A CHOICE OF FINISH OR COLOR TO BE SELECTED AS WELL AS ANY/ALL ITEM(S) LISTED ON THE DRAWINGS OR SPECIFICATIONS REQUIRING THAT FINISHES BE SELECTED BY THE ARCHITECT OR OWNER. THE FIRST SAMPLE(S) WILL BE RETURNED AND SIGNED "APPROVED" INITIALED, AND DATED BY THE ARCHITECT ONLY WHEN THAT FINISH HAS BEEN APPROVED. THE OTHER SAMPLE(S) WILL BE USED AS A CONTROL SAMPLE. THE FINISH SAMPLE SUBMITTAL MUST BE SIGNED "APPROVED", INITIALED AND DATED BEFORE THAT ITEM IS CONSIDERED APPROVED BY THE ARCHITECT
- 22. THE PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES. WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- 23. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTER OF COLUMNS AND FENESTRATION, OR TO FACE OF BRICK AND EXTERIOR FACE OF EXTERIOR STUDS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHEN DIMENSIONS ARE TO AN EXISTING WALL, COLUMN OR FENESTRATION, ALL DIMENSIONS SHALL BE FROM THE FACE OF EXISTING FINISH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

24. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND

- 26. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR
- 27. AIR CONDITIONING WILL CONFORM TO IBC & NFPA. PROVIDE MANUAL RESET FIRESTAT (SETTING NOT TO EXCEED 136 DEGREES FAHRENHEIT) IN RETURN AIR A/C STREAMS.
- 28. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL REGULATIONS AND ORDINANCE ARS 40-1603.
- 29. ALL LIGHTING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR, UNLESS NOTED IN FIXTURE
- 30. ALL MATERIALS SHALL BE NEW AND U.L. APPROVED UNLESS SPECIFICALLY DESIGNATED OTHERWISE.
- 31. CAULKING ON EXTERIOR SHALL BE TOP QUALITY SILICONE CAULK.
- 32. PAINT GRADE TO BE SHERWIN WILLIAM EMERALD INTERIOR OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS. PAINT FINISH TO BE EGG-SHELL ON WALLS AND CEILINGS AND SEMI-GLOSS ON TRIM, UNLESS OTHERWISE SELECTED BY OWNER. COLOR AND FINISH TO BE SELECTED BY OWNER, AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER.
- 33. INTERIOR WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING OF 0-75 AND A SMOKE DEVELOPMENT RATING OF
- 34. NEW 1/2" SHEETROCK LEVEL FOUR (4) FINISH FOR ALL WALLS & 5/8" SHEETROCK LEVEL FOUR (4) FOR CEILING UNLESS SPECIFIED OTHERWISE. CONTRACTOR TO VERIFY EXISTING AND PROPOSED FINISHES OF SHEETROCK SURFACES AND ASCERTAIN WITH OWNER WHETHER TO MATCH EXISTING OR UPGRADE FINISH, AND TO INCLUDE IN ORIGINAL BID AS
- 35. ALL NEW AND RENOVATED BATHROOMS TO RECEIVE 1/2" LEVEL FOUR (4) MOISTURE RESISTANT SHEETROCK INSTALLED THROUGHOUT THE BATHROOM.
- 36. ALL BATT INSULATION SHALL HAVE CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE. MINIMUM R VALUES TO BE R-13 IN 2X4 STUD WALLS AND R-19 IN 2X6 STUD WALLS, R-13 IN FLOORS, AND R-30 IN CEILINGS.
- 37. USE 6 INCH STUDS AT PLUMBING WALLS. PROVIDE METAL "SHOES" IN FRAMING TO PROTECT PLUMBING AND ELECTRICAL.
- 38 PROVIDE A GAI VANIZED METAL PAN WITH DRAIN AT A/C EVAPORATOR LOCATIONS AND PVC PAN BENEATH WASHING MACHINES LOCATED ABOVE FIRST FLOOR. CONTRACTOR TO VERIFY LOCATION OF A/C DRIP PAN DRAIN PIPE.
- 39. PROVIDE A TOP QUALITY INSULATING BLANKET FOR ALL NEW WATER HEATERS. TANKLESS WATER HEATERS SHALL NOT
- 40. ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" WIDE SHEET OF PLYWOOD SHEATHING SHALL BE
- 41. INSTALL 2X BLOCKING AT MID-SPAN WITHIN ALL NEW WALLS THAT HAVE CEILING HEIGHTS GREATER THAN 8'-0".
- 42. PROVIDE (2) 2X10 HEADERS FOR ALL NEW OPENINGS BETWEEN 3'-0" AND 5'-0" WIDE. PROVIDE (2) 2X8 HEADERS TO ALL NEW OPENINGS LESS THAT 3'-0" WIDE.
- 43. ALL NEW WOOD FRAMING AND FASTENERS SHALL COMPLY WITH THE WOOD FRAME CONSTRUCTION MANUAL (WFCM) BY
- THE AMERICAN FOREST AND PAPER ASSOCIATION.
- 44. ALL NEW FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S, NO. 2 OR BETTER, 15% MAXIMUM MOISTURE
- 45. NEW PLYWOOD SUB-FLOORING SHALL BE 3/4 TONGUE AND GROOVE, APA RATED 48/24, NAILED AND GLUED TO FLOOR JOIST WITH 8D NAILS. NAIL SPACING SHALL BE 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE
- A. ALL NEW WOOD THAT COME INTO CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL EXPOSED
 - EXTERIOR WOOD SHALL BE TREATED TO THE FOLLOWING SPECIFICATIONS. .25 TREATED WOOD NOT IN CONTACT WITH THE GROUND.
 - .40 TREATED WOOD IN CONTACT WITH THE GROUND & MASONRY. .80 TREATED WOOD IN CONTACT WITH WATER.
- 47. PAINTED EXTERIOR WOOD: SHALL BE TREATED AND FULLY AIR DRIED BEFORE BACK, END AND EDGE PRIMING AND TWO
- (2) COATS OF PREMIUM GRADE EXTERIOR PAINT.
- 48. NATURAL EXTERIOR WOOD: SHALL BE FULLY CURED, SELECTED FOR STRAIGHTNESS AND QUALITY. MOSTLY FREE OF CHECKS, KNOTS, AND SPLITS AND TREATED WITH PREMIUM DECK SEALER.

PROJECT GENERAL NOTES (CONTINUED)

- 49. GUARDRAILS: GUARDS SHALL BE AT LEAST 36 INCHES HIGH MEASURED VERTICALLY TO THE TOP OF THE GUARD FROM THE SURFACE ADJACENT THERETO. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN. SUCH THAT A SPHERE 4 INCHES IN DIAMETER SHALL NOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL $\,$ AT THE OPEN SIDE OF A STAIR SHALL BE OF SUCH SIZE THAT A SPHERE 6 INCHES IN DIAMETER SHALL NOT PASS THROUGH THE TRIANGULAR OPENINGS. GUARDS SHALL BE REQUIRED IN ALL AREAS MORE THAN 30 INCHES OR 4 RISERS ABOVE THE FLOOR OR THE
- 50. AS PER NFPA 101 2015 EDITION, SECTION 7.2.2.4:HANDRAILS ON STAIRS SHALL BE AT LEAST 34" INCHES AND NOT MORE THAN 38" INCHES ABOVE THE SURFACE OF THE TREAD. MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD. NEW HANDRAILS SHALL PROVIDE A CLEARANCE OF AT LEAST 2-1/4 INCHES BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1-1/2" INCHES AND NOT MORE THAN 2" INCHES. NEW HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH. NEW HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR TERMINATE AT NEWEL POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. SPIRAL STAIRS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS SHALL BE REQUIRED ON STAIRS WITH AN ELEVATION DIFFERENCE GREATER THAN 21" INCHES.
- 51. TREADS SHALL BE OF UNIFORM DEPTH AND RISER OF UNIFORM HEIGHT IN ANY STAIRWAY BETWEEN TWO FLOORS. THERE SHALL BE NO VARIATION EXCEEDING 3/16" INCH IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS AND TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" INCHES IN ANY FLIGHT. TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S
- 52. ALL WINDOW UNIT SIZES ARE GIVEN IN ACTUAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH-OPENING AND INSTALLATION REQUIREMENTS WITH MANUFACTURER.
- 53. ALL NEW GLASS OPENINGS SHALL BE PROTECTED AGAINST WINDBORNE DEBRIS WITH ONE OF THE FOLLOWING OPTIONS: A. WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 INCH AND A MAXIMUM SPAN OF 8 FEET. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (1) SPAN LESS THAN OR EQUAL TO 6 FEET: 2 1/2" #8 WOOD SCREWS @ 16" O.C. (2) FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL. (3) WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED LITH IZING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 LBS. B. IMPACT RESISTANT GLASS PER ASTM E 1986 OR ASTM E 1996 OR APPROVED TEST METHODS FOR PERFORMANCE CRITERIA. C. SHUTTERS CERTIFIED PER THE FOLLOWING TESTS: UNIFORM STATIC AIR PRESSURE - TAS 202, ASTM E330, LARGE MISSILE IMPACTS - TAS 201, ASTM E1996, CYCLIC WIND PRESSURE LOADING - TAS 203, ASTM E1886.
- 54. NEW WINDOWS INSTALLED IN STAIR LANDING AREAS WITHIN FIVE FEET OF THE LANDING FLOOR SHALL BE SAFETY
- 55. NEW WINDOWS INSTALLED IN BATHROOM ENCLOSURES THAT MEASURE LESS THAN 60" FROM THE FLOOR SHALL BE SAFETY GLAZED IN ACCORDANCE WITH SECTION R308.4 OF THE IRC 2021.
- 56. THE CONTRACTOR SHALL GRADE THE SITE AS REQUIRED TO ENSURE PROPER RAIN WATER DRAINAGE AND RUNOFF. NO PART OF THE SITE SHALL BE ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES, NOR SHALL RUNOFF BE ALLOWED TO
- 57. ALL DOWNSPOUTS TO TERMINATE AT SUB-SURFACE DRAINAGE, PAVING OR SPLASH BLOCKS AS REQUIRED.

ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE.

- 58. SITE FLATWORK (WALKS, DRIVES, ETC.,) TO BE 3,000 P.S.I. CONCRETE, 4" TO 6" THICK, WITH 6/6 WELDED WIRE MESH OR AS PER ENGINEER'S DRAWINGS / SPECIFICATIONS.
- 59. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY OR LIABILITY REGARDING THE IDENTIFICATION, DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE.
- 60. WHERE FLOOR / CEILING ASSEMBLIES OR COMMON WALL ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANT RATING, ELECTRICAL FIXTURES, DUCTWORK, AND PLUMBING SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE
- 61. ALL BATHROOMS TO BE MECHANICALLY VENTED USING AN EXHAUST FANS REQUIRED BY THE IRC 2021. 62. ALL EXTERIOR DOORS SHALL BE SOLID WOOD DOORS, UNLESS OTHERWISE NOTED IN THE DOOR SCHEDULE
- 63. PROVIDE GALVANIC PROTECTION BETWEEN DIS-SIMILAR METALS.

SMOKE AND CARBON MONOXIDE DETECTION

- DWELLING UNITS SHALL BE EQUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM THE BUILDING WIRING AND THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE. PROTECTING THE BRANCH CIRCUIT: PROVIDED, HOWEVER THAT DWELLING UNITS IN EXISTING BUILDINGS MAY IN THE LTERNATIVE, BE EQUIPPED WITH BATTERY-OPERATED SMOKE DETECTING DEVICES EXCEPT WHERE SUCH BUILDING: ARE SUBSTANTIALLY IMPROVED OR ALTERED ON OR AFTER JANUARY 1, 1982.
- 2. BATTERY OPERATED SMOKE DETECTORS SHALL BE CONSIDERED CAPABLE OF BEING CONVERTED TO AUDIBLE AND
- ALL SMOKE DETECTING DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.
- 4. SMOKE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS: A. ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM
- THE DOOR TO SUCH ROOM IN EACH ROOM USED FOR SLEEPING PURPOSES IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS
- 5. CARBON MONOXIDE DETECTION DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
- CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
- A. OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSES, WITHIN 15 FEET (4572 MM) OF THE ENTRANCE TO SUCH B. IN ANY ROOM USED FOR SLEEPING PURPOSES.
- ON ANY STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE

LIME RICH MORTAR RECIPE

THAN ONE FULL STORY BELOW THE UPPER LEVEL.

STUCCO USED OVER OLD BRICKS SHOULD BE OF A SOFTNESS COMPATIBLE WITH THE OLD BRICK. WHERE SCORING IS EMPLOYED, JOINTS SHALL NOT BE DEEPER THAN 1/8", NOR WIDER THAN 1/8" AND PATTERNS SHOULD MATCH ORIGINAL.

<u>LIME: HYDRATED MASONS LIME ASTM C207</u>
AGGREGATE: SHALL CONSIST OF FINE GRANULAR MATERIAL COMPOSED OF NATURAL SAND FREE OF LOAM, SILT, SOLUBLE

SALTS AND VEGETABLE MATTER. AGGREGATE SHALL CONFORM TO THE FOLLOWING SIZE GRADATION. WATER: SHALL BE CLEAN AND FREE OF ACIDS, ALKALINE OR ORGANIC MATERIALS.

NO. 30 NO. 50

MINIMUM MAXIMUM

NO. 100

PROPORTIONS1 PART BY VOLUME HYDRATED LIME 3 PARTS BY VOLUME AGGREGATE

WATER-ENOUGH TO FORM A WORKABLE MIX

EXECUTION
 REMOVE ALL PORTLAND CEMENT MORTAR BY HAND USING A CHISEL AND MALLET. DO NOT USE POWER TOOLS. RAKE

JOINTS TO A DEPTH OF AT LEAST 1" OR TO SOUND MORTAR. BRUSH, VACUUM OR FLUSH JOINTS TO REMOVE ALL DIRT AND LOOSE DEBRIS.

- MEASURE AND PROPORTION ALL MATERIALS TO INSURE UNIFORMITY OF BATCHES. USE AND PLACE MORTAR IN FINAL POSITION WITHIN 2 1/2 HOURS OF MIXING. DO NOT RETEMPER OR USE MATERIAL THAT HAS PARTIALLY SET, IS CRACKED OR IS LUMPY.
- USE ONLY CLEAN TOOLS AND EQUIPMENT, FREE FROM HARDENED OR PARTIALLY HARDENED MATERIALS. MACHINE MIX THE MORTAR FOR AT LEAST THREE MINUTES.
- DAMPEN BRICKS (SURFACE DRY) PRIOR TO REPOINTING. PACK JOINTS WITH NEW MORTAR LEAVING NO VOIDS.

KEEP POINTING (90% HUMIDITY) FOR 48 TO 72 HOURS.

- RECESS THE SURFACE OF THE POINTING SLIGHTLY. DO NOT ALLOW THE MORTAR TO EXTEND OVER THE EDGES OF THE
- AS SOON AS THE MORTAR HAS TAKEN ITS INITIAL SET, TOOL THE JOINT TO MATCH THE ORIGINAL JOINT CONFIGURATION. STIPPLE WITH A STIFF BRUSH TO GIVE THE JOINT A WEATHERED APPEARANCE AND TO REMOVE ANY EXCESS OR RAGGEDNESS AND LEAVE THE WORK CLEAN. SHOULD BE ASSISTED BY SPRAYING FROM A FINE MIST HAND SPRAY.

LIME RICH MORTAR RECIPE (CONTINUED)

VARIATIONS
IN SOME CASES IT MAY BE DESIRABLE AND/OR NECESSARY TO MATCH THE COLOR AND TEXTURE OF THE ORIGINAL MORTAR EXACTLY. IN SUCH CASES THE AGGREGATE SHOULD BE MATCHED TO THE ORIGINAL CONTENT, COLOR AND GRADATION. THE ABOVE RECOMMENDED PROPORTION OF SAND TO LIME MAY NEED ALSO TO BE ALTERED. PORTLAND CEMENT IS SOMETIMES ADDED TO THE MIX TO INCREASE WORKABILITY AND DECREASE SETTING TIME BUT UNDER NO CIRCUMSTANCES SHOULD THE PORTLAND CEMENT CONTENT EXCEED ONE PART TO TWELVE PARTS OF LIME AND SAND. PORTLAND CEMENT IN GENERAL, HOWEVER, IS NOT RECOMMENDED FOR USE IN POINTING MORTAR.

- CARE OF STUCCOIDENTIFICATION OF DETERIORATION CRACKING - CRACKING OCCURS IN TWO WAYS. LARGE CRACKS AND SMALL ALL OVER CRACKS.
 - SPALLING THE OUTER SURFACE OF THE STUCCO COATING BECOMES DETACHED AND FALLS OFF. LOSS OF BOND - THE STUCCO COATING IS NO LONGER ATTACHED TO THE BRICK MASONRY.

- LARGE CRACKS ARE MOST OFTEN CAUSED BY SETTLEMENT OF THE WALLS OR BY DIFFERENCES IN THE MOVEMENT OF THE STUCCO AND THE BACKING MASONRY DUE TO EXPANSION AND CONTRACTION. HAIRLINE CRACKING IS CAUSED BY THE IMPROPER CURING OF THE STUCCO WHEN IT WAS APPLIED. THE STUCCO WAS
- ALLOWED TO DRY TOO QUICKLY AND AS IT DRIED IT CONTRACTED. LOSS OF BOND IN MOST CASES OCCURS AFTER THE STUCCO HAS CRACKED AND WATER HAS ENTERED THE WALL THROUGH THE CRACKS IN THE STUCCO COATING. BONDING FAILURE MAY ALSO BE CAUSED BY THE IMPROPER PREPARATION OF THE MASONRY SURFACE BEFORE THE STUCCO WAS APPLIED.

PROJECT KEYNOTES

KEYNOTES - PROJECT		
Key Value	Keynote Text	
A-01.01	(NEW) HDLC-APPROVED FORTIFIED ARCHITECTURAL SHINGLE ROOF W/ UNDERLAYMENT ATOP EXIST. SHEATHING; RE. STRUC. FOR SHEATHING SIZE.	
A-01.03	(EXISTING) K-STYLE GUTTERS CONNECTED TO D.S. BELOW, TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING	
A-01.04	(EXISTING) DOWNSPOUTS TYP. REPAIR/REPLACE AND PAINT. INTEGRATE INTO NEW ROOFING/GUTTER SYSTEM	
A-01.07	(NEW) (HDLC APPROVED) THERMOSTATIC ROOF VENT.	
A-02.01	EXIST. FENCE TO REMAIN; PROVIDE PROTECTION DURING CONSTRUCTION.	
E-01.05	(NEW) TANK LESS GAS W.H. AT THIS LOCATION; PLUMBER TO SIZE & PROVIDE DEDICATED GAS LINE.	

PROJECT KEYNOTES (CONTINUED)

CODE REVIEW

SINGLE FAMILY RESIDENCE - CODE REVIEW DONE USING 2021 - IRC.

KEYNOTES - PROJECT Keynote Text Key Value

3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Dat

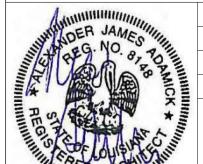
12 JUNE 2025 DAC SET 06 JUNE 2025 EC-1

Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA

GENERAL NOTES, **PROJECT** KEYNOTES, & CODE



DATE: 6/12/2025 8:09:09 PM PROJECT NO.: 2025-08 DRAWING BY: CHECKED BY:

2025-08\PDF OUT\DAC 2 /15

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
GENERAL ELECTRICAL			MECHANICAL SYSTEMS
EM	ELECTRICAL METER	EF	EXHAUST FAN
EP EP	ELECTRICAL PANEL	EFL	EXHAUST FAN W/ LIGHT
EO	TRANSFER SWITCH	EFH	EXHAUST FAN W/ HEATER
GM	GAS METER	EF _{L&H}	EXHAUST FAN W/ LIGHT & HEATER
	ELECTRICAL RECEPTACLES		RADIANT IN-FLOOR WARMING MAT
⇒	DUPLEX RECEPTACLE	RF	RADIANT IN-FLOOR CONTROLS
— GFI	GFI DUPLEX RECEPTACLE	T	THERMOSTAT
₩P	WET LOCATION RECEPTACLE	R/A <u>↓</u>	RETURN AIR GRILLE OR REGISTER AT WALL
⇒ s	SWITCHED DUPLEX RECEPTACLE	S/A <u>↓</u>	SUPPLY AIR GRILLE OR REGISTER AT WALL
	DEDICATED APPLIANCE RECEPTACLE	BIA	RETURN AIR CHASE
⇒ A/C	A/C DEDICATED APPLIANCE RECEPTACLE	P.A.	ALIGINALINO HAGE
⊕FLR	FLUSH MOUNTED FLOOR QUAD RECEPTACLE	a _{th}	SUPPLY AIR CHASE
	ELECTRICAL SWITCHES	Š/A	SUFFLI AIN CHASE
Ş	SWITCH		RETURN AIR GRILLE OR REGISTER AT CEILING
S_3	THREE-WAY SWITCH		SUPPLY AIR GRILLE OR REGISTER AT CEILING
Ş ₄	FOUR-WAY SWITCH		A/C CONDENSOR
Ş _d	DIMMABLE SWITCH		A/C CONDENSOR
S_{3D}	THREE-WAY DIMMABLE SWITCH		PLUMBING SYSTEMS
S_J	JAMB SWITCH (DOOR ACTIVATED)	G	GAS LINE
	ELECTRICAL FIXTURES	W/H	TANKLESS WATER HEATER
R	RECESSED CAN FIXTURE	(W/H)	TANK WATER HEATER
(R)D	RECESSED DIRECTIONAL CAN FIXTURE	W///	TANK WATER HEATER
(D)	RECESSED DAMP - RATED CAN FIXTURE	w	DEDICATED WATER LINE
\bigcirc	RECESSED VAPOR PROOF CAN FIXTURE	HB ₁	HOSE BIB
(W)	RECESSED WATER - RATED CAN FIXTURE	GD	GARBAGE DISPOSAL
®s	RECESSED SPOT CAN FIXTURE		SECURITY SYSTEM
\(\rightarrow \)	CEILING MOUNTED FIXTURE	A)A	MOTION SENSOR PHOTOVOLTAIC FLOOD LIGHTS
ф	WALL MOUNTED FIXTURE		MISCELLANEOUS SYSTEMS
\oplus	CHANDELIER/PENDANT	DB	DOOR BELL BUTTON
ϕ	FIXTURE, PULL CHAIN OPERATED	DC	DOOR BELL CHIME
FLR	RECESSED FLOOR FIXTURE		GARAGE DOOR OPENER
\supset	UNDER CABINET FIXTURE	GD	GARAGE DOOR REMOTE OPENER
<u></u>	LIGHTING TRACK		FIRE & LIFE SAFETY SYSTEM
	LINEAR FIXTURE	(H)	HEAT DETECTOR
	CEILING FAN	<u>(S)</u>	SMOKE DETECTOR
	CEILING FAIN	&	SMOKE & CO2 DETECTOR UNIT
JA i	CEILING FAN WITH LIGHTS	T	TEMPERATURE SENSOR
	OLILINO I AN WITH LIGHTS	©	CARBON MONOXIDE DETECTOR
	GAS FIXTURES	FE	FIRE EXTINGUISHER
- \ -G	GAS CEILING MOUNTED FIXTURE	F	FIRE ALARM PULL SYSTEM
 ф-G	GAS WALL MOUNTED FIXTURE	\otimes	EXIT SIGN W/ EMERGENCY LIGHTING
- G	GAS CHANDELIER/PENDANT	4	EMERGENCY LIGHTING
	AUDIO & VISUAL SYSTEMS		

GENERAL NOTES: M.E.P. DIAGRAM

- 1. ELECTRICIAN SHALL:
 - A. COORDIANTE CAPACITY AND TYPE OF SWITCHES AND RECEPTACLES W/ CORRESPONDING CIRCUITS, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
 - B. CONCEAL ALL NEW AND EXISTING ELECTRICAL CIRCUITS THROUGHOUT.
 - C. PROVIDE LOW VOLTAGE RELAYS, AS REQUIRED, FOR ALL SWITCHES HAVING MORE THAN 1350 WATTS.
 - D. COORDINATE GANGING OF WALL PLATES FOR CLUSTERS OF SWITCHES AND RECEPTACLES, AS REQUIRED BY PROPOSED ELECTRICAL PLANS.
 - E. INSTALL RECEPTACLES AND OUTLETS IN A VERTICAL FASHION, UNLESS OTHERWISE NOTED.
 - F. PROVIDE PLATES AND DEVICES IN WHITE THROUGHOUT, UNLESS OTHERWISE NOTED.
 - G. PROVIDE CUTS OF ALL PLATES & DEVICES AND ELECTRICAL FIXTURES FOR APPROVAL OF ARCHITECT & OWNER, PRIOR TO INSTALLATION.
 - H. PROVIDE ALL PLATES & DEVICES AND UNSPECIFIED ELECTRICAL FIXTURES.
 - I. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AND DEVICES AS REQUIRED.
 - MECHANICAL AND ELECTRICAL CONTRACTOR MUST CHECK OWNER'S PRESENT EQUIPMENT BEING RE-USED, EQUIPMENT SUBSTITUTED FOR SPECIFIED TYPE OR MANUFACTURER OR THAT EQUIPMENT MARKED (BY VENDOR) WHICH IS BEING SUPPLIED BY OTHERS SO THAT THE SERVICE REQUIREMENTS ARE CORRECTLY TYPED, ADEQUATELY SIZED, & ROUGHED IN PROPERLY (LOCATION, HEIGHT, & CONNECTION TYPE) SO AS TO MINIMIZE THE AMOUNT OF MATERIALS & FITTINGS NEEDED FOR FINAL HOOK UP RESULTING IN A NEAT AND ORDERLY LOOKING JOB.
 - ALL LABOR, SWITCHES, DISCONNECTS, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY TO COMPLY WITH ALL CODES, INCLUDING ALL INTERWIRING TO BE FURNISHED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE STATED.
- ALL LABOR, VALVES, TRAPS, TAILPIECES, STRAINERS, PRESSURE REDUCING VALVES, & FITTINGS REQUIRED FOR FINAL CONNECTION OF EQUIPMENT AS NECESSARY COMPLY WITH ALL CODES, INCLUDING ALL INTERCONNECTIONS TO BE FURNISHED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE STATED.
- 6. PRIOR TO PURCHASE OF EXTERIOR LIGHT FIXTURES, G.C. SHALL SUBMIT MANUFACTURERS TO HDLC & OWNER FOR APPROVAL.



3301 CHIPPEWA STREET NEW ORLEANS, LA 70115 504.322.1220

No.	Description	Date
	·	

DAC SET 12 JUNE 2025

EC-1

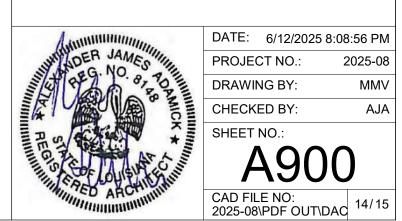
2025-08

06 JUNE 2025 Project: #2025-08

BARROUKH RESIDENCE RENOVATION/ADDITION

1923 BROADWAY ST. NEW ORLEANS, LA

M.E.P. LEGEND & **GENERAL NOTES**



ADAMICK ARCHITECTURE

3301 CHIPPEWA ST. • NEW ORLEANS, LA 70115 504.322.1220 • ADAMICKARCHITECTURE.COM

06/12/2025

Narrative Addressing Compliance Goals Thursday

CPC: Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals.

ARCHITECT'S RESPONSE:

This project is intended to convert an existing 1 story single family home into a 2 story duplex, by adding a camelback addition to the rear.

A low ceiling height of 9'6 %" at the original building, coupled with a 8'4 ceiling height at the second story, have helped us keep under the 30' height limit of the overlay district, and of a similar height and massing to its neighbors.

The first floor layout was kept largely the same, with the exception of conversion of a former closet to a bathroom.

The detailing of the front façade is intended to remain largely the same, with a camelback in the rear of limited height, matching the 6:12 roof slopes of the existing front.

The most noticeable differences were relocating the front door to the other side of the porch, and the demolition of the front stairs due to some settlement issues that are being investigated. We are calling for those stairs to be replaced to match their previous appearance after the issues are resolved.

Existing curb cuts and driveways are to be retained, and used to access two parking spaces at the rear of the building.

CPC: A descriptive narrative of how the proposal addresses the standards of the University Area Design Overlay standards found in Article 18, Section 18.32.B.3. The design shall be compatible in character, scale, and spatial relationships with existing residential development on the same and opposite block faces and surrounding neighborhood character. In conducting its design review, the staff shall consider changes to scale, massing, articulation, and roof form to ensure compatibility with existing development. For design guidelines, reference the City of New Orleans Historic District Landmarks Commission (HDLC) Guidelines for New Construction, Additions and Demolition.

ARCHITECT'S RESPONSE: the building maintains the front of the building, and adds a simply detailed camelback at the rear, similar to most rear detailing, and it is our office's opinion that the design completely conforms with these guidelines. We believe the documentation that we have provided shows that the building maintains (or is even smaller than) the surrounding structures.



New Development?

Change in Use?

New Sign(s)?

Existing Structure(s)?

No X

No X

NoX

No

Yes

Yes

Yes

Yes X

Addition?

Renovations?

Lot Area (sf)

Existing Signs?





Date	Received by
Tracking Number	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.				
Type of application: X Design Review	Interim Zoning Districts Appeal	Moratorium Appeal		
Property Location				
APPLICANT INFORMATION				
Applicant Identity: Property Own	er X Agent			
Applicant Name				
Applicant Address				
City	State	Zip		
Applicant Contact Number	Email			
PROPERTY OWNER INFORM	ATION SAME AS ABOVE			
Property Owner Name				
Property Owner Address				
		Zip		
Property Owner Contact Number				
PROJECT DESCRIPTION				
Conversion of 1 story single family home to 2 story duplex. Includes addition of new interior square footage in a camelback addition at rear.				
REASON FOR REVIEW (REQUIR	RED FOR DESIGN REVIEW)			
Design Overlay District Review Character Preservation Corridor Riverfront Design Overlay Enhancement Corridor X University Area Design Overlay Corridor Transformation Greenway Corridor	Non-Design Overlay District Review Development over 40,000 sf Public Market CBD FAR Bonus Wireless Antenna/Tower Educational Facility	Changes to Approved Plans DAC Review of Public Projects Others as Required		
Others as required	1			
ADDITIONAL INFORMATION				
Current Use	Proposed Use			
Square Number	Lot Number	Permeable Open Space (sf)		

Tenant Width

Building Width

Lot Width (sf)

BuildingArea (sf)

Yes

Yes X

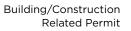
Yes X

No

No

No X







Date	Received by
Tracking Number	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan

Location, dimensions, and area of permeable open space Name, address of the professional who prepared the plan Legend of symbols, patterns, and abbreviations used The entire lot(s), including area and property lines dimensioned (including gross area of the site) Curb cuts, interior streets, driveways, and parking and

loading areas with dimensions and total area (sf)

Location and dimensions of buildings and structures, including total floor area and distance from property lines

Location of adjacent buildings

Location of refuse storage locations

Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways

Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development

Room use

Location of all walls, doors, and windows

Location of all plumbing fixtures

Location of major appliances/mechanical equipment

Stairway location

Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

X Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN N/A

Location of all exterior lighting, including those mounted on poles and walls

Types, style, height, and the number of fixtures Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN N/A

Proposed Signage with overall height, width, and materials Building Elevation (including building width and height)
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN N/A

Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission All landscape plans shall meet the minimum requirements of site plans

Legend defining all symbols, patterns, and abbreviations used

Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees

Description of all tree preservation measures on-site and in the public right-of-way

Width, depth, and area of landscaped area(s)

Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

XPhotographs of the subject site and/or building

8. NARRATIVE

X Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

 χ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

X Additional submittal requirements for the University Area Design Overlay

FEES

Design Review \$225
CBD Demolitions \$500
Moratorium Appeals \$1,000