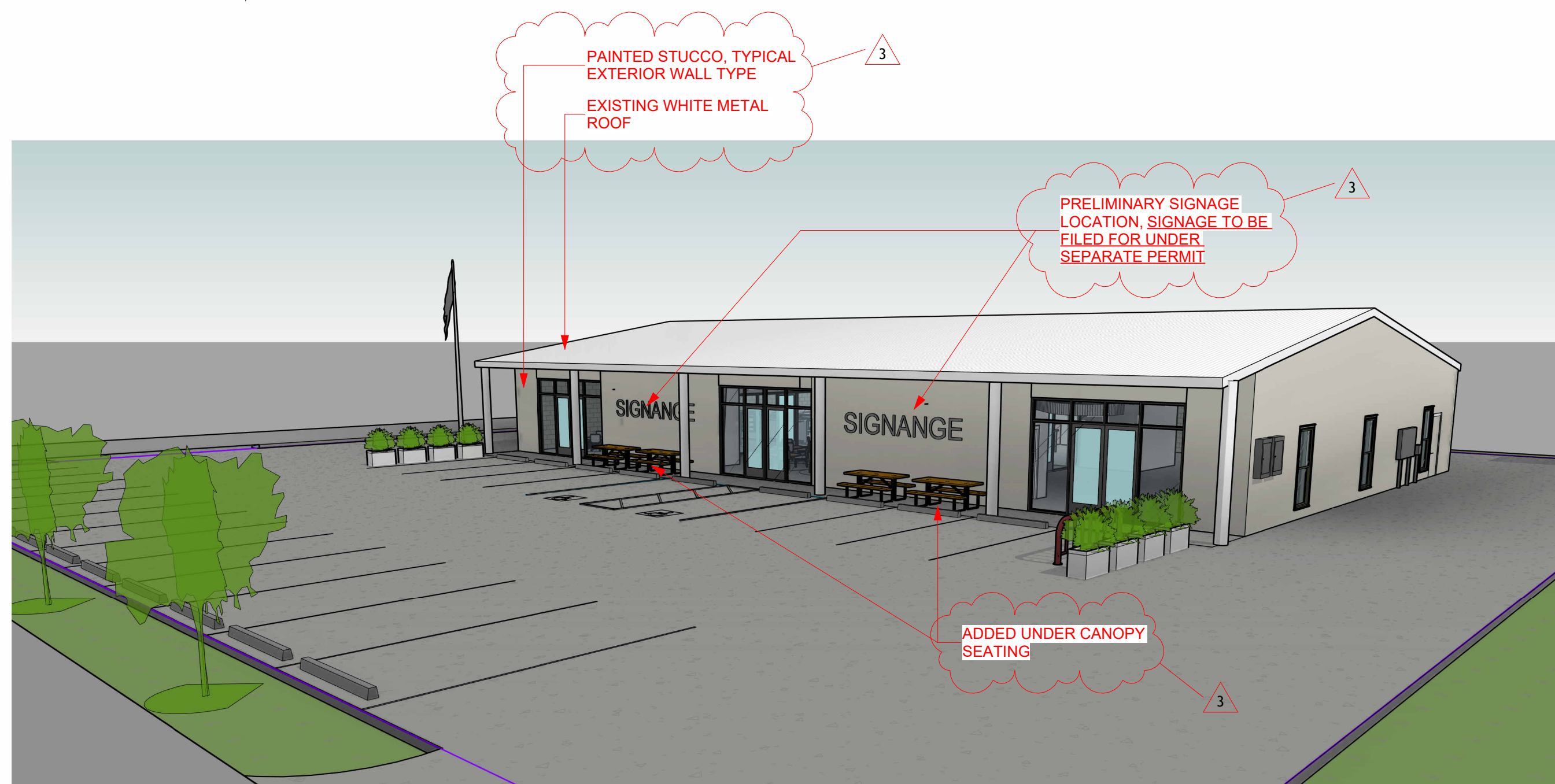


GENERAL ELECTRICAL	
	ELECTRICAL METER
	ELECTRICAL PANEL
	TRANSFER SWITCH
	GAS METER
ELECTRICAL RECEPTACLES	
	DUPLEX RECEPTACLE
	GFI DUPLEX RECEPTACLE
	WET LOCATION RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	DEDICATED APPLIANCE RECEPTACLE
	A/C DEDICATED APPLIANCE RECEPTACLE
	FLUSH MOUNTED FLOOR QUAD RECEPTACLE
	A/C CONDENSER, CONFIRM ELEC. REQ. WITH UNIT

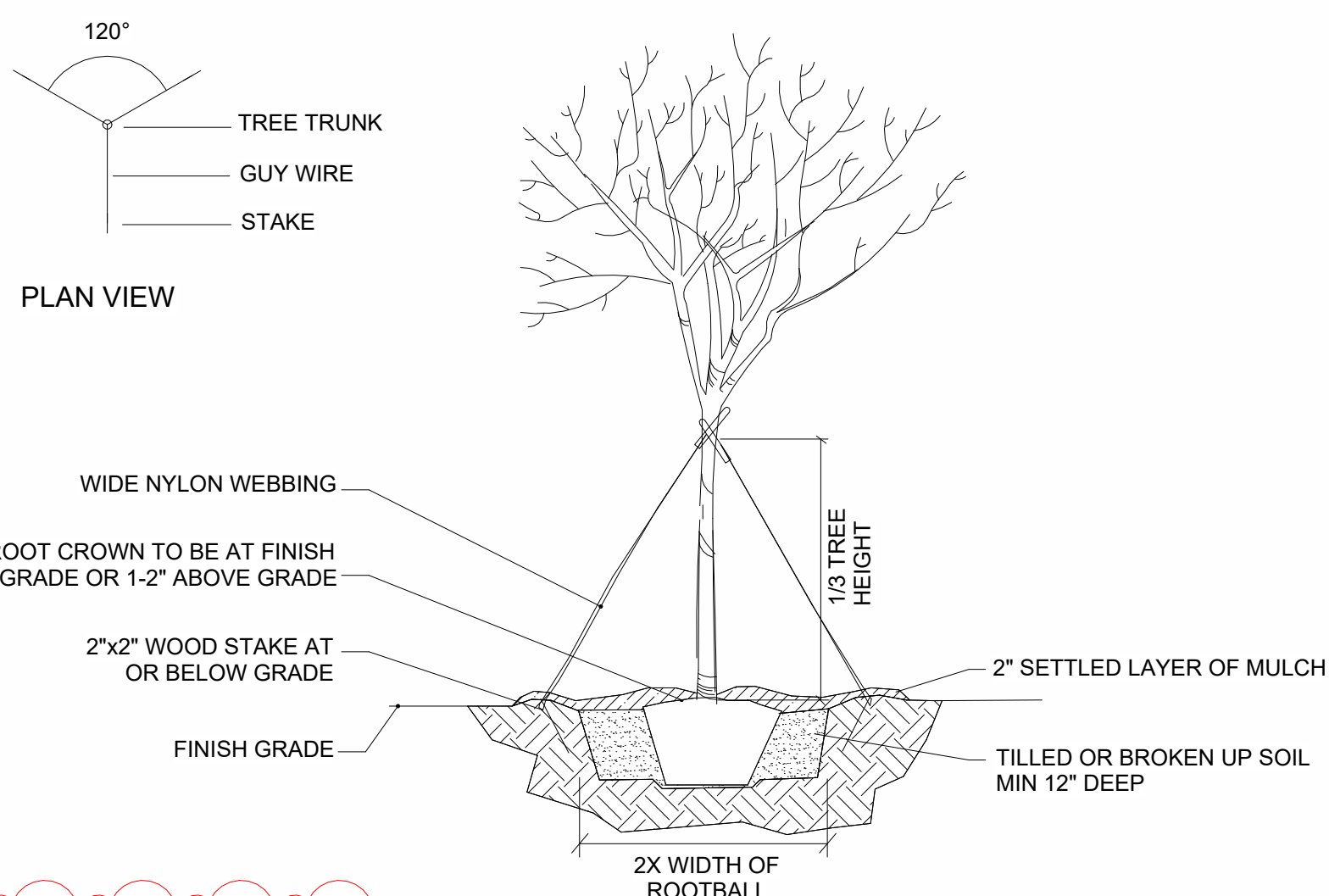
PLUMBING SYSTEMS	
	GAS LINE
	TANKLESS WATER HEATER
	TANK WATER HEATER
	DEDICATED WATER LINE
	HOSE BIB

SITE PLAN LEGEND



NOTES: TREE PLANTING (>2" CAL.)

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
2. DIG THE PLANTING HOLE A MINIMUM OF 2x WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
8. USE THREE 2" X 2" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL A MINIMUM OF 16 INCHES. SPACE STAKES EQUALLY AROUND THE TREE.
9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
10. APPLY A 2-3" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI A300 SPECIFICATIONS.
12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.



4 TREE PLANTING DETAIL  
1/4" = 1'-0"

No.	Description	Date
3	CITY SITE PLAN UPDATE	07/02/25



SITE

PERMIT CD'S	
Date	05-27-25



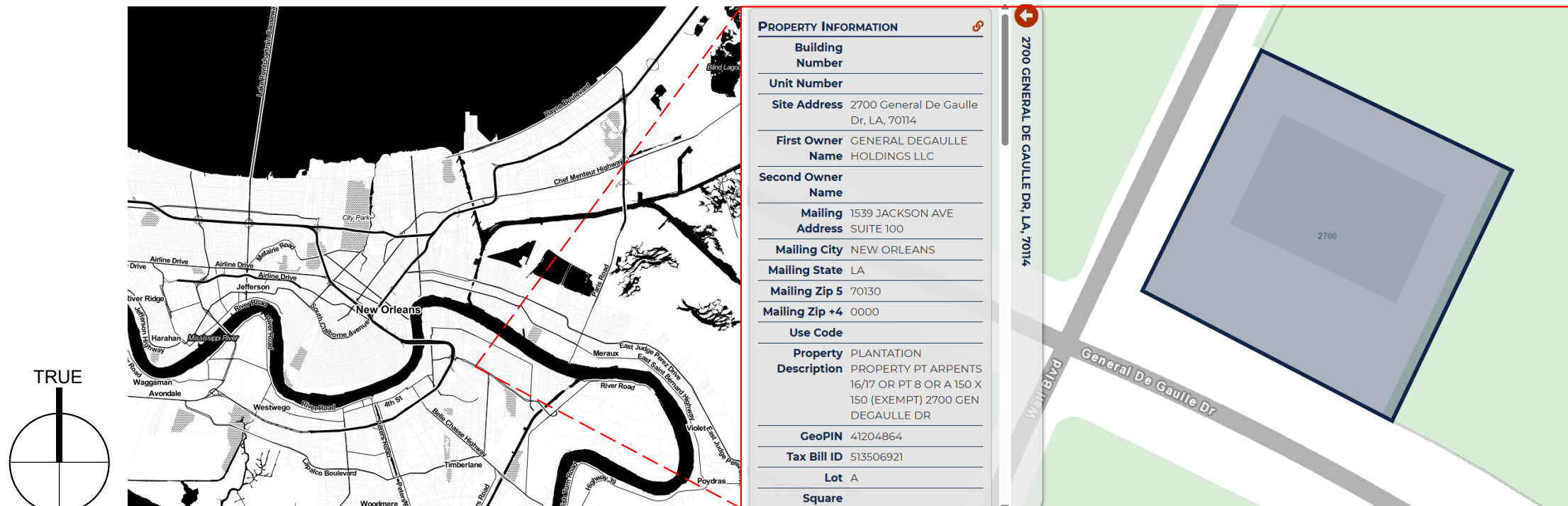
# CONSTRUCTION DOCUMENTS

2700 General De Gaulle Dr Renovations

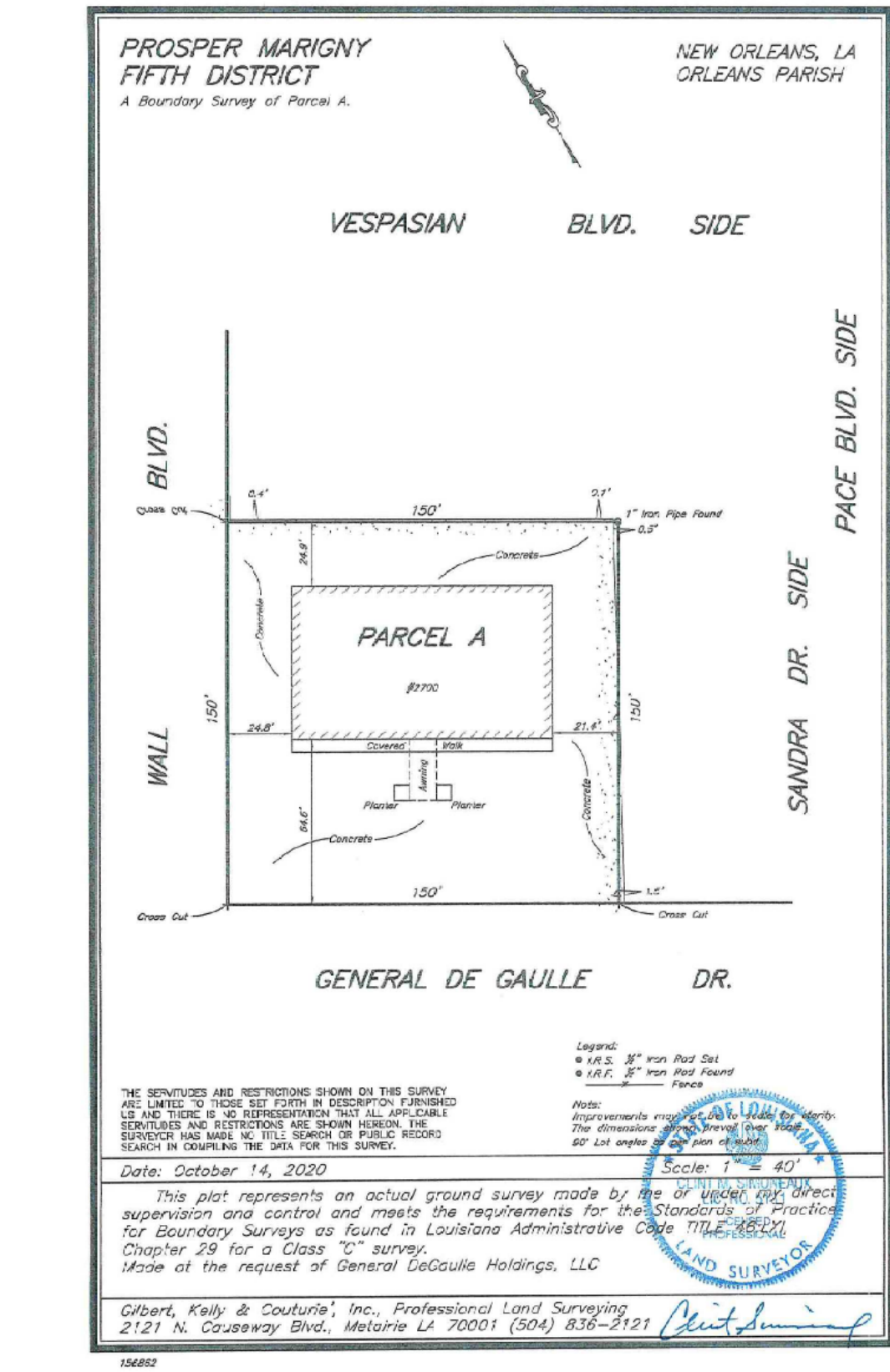
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114



GOOGLE STREET VIEW



PROPERTY INFORMATION	
Building Number	
Unit Number	
Site Address	2700 General De Gaulle Dr, LA 70114
First Owner Name	GENERAL DEGAULLE HOLDINGS LLC
Second Owner Name	
Mailing Address	1539 JACKSON AVE SUITE 100 NEW ORLEANS, LA 70130
Mailing City	NEW ORLEANS
Mailing State	LA
Mailing Zip	70130
Mailing Zip 4	0000
Use Code	
Property Description	PLANTATION PROPERTY PT ARBENTS 1677 OR PT B OR A 160 X 160 EXHIBIT 2700 GEN DEGAULLE DR
GeoPIN	41204864
Tax Bill ID	513508931
Lot A	
Square	



SECTION:

PLYWOOD

BATT INSULATION

SPRAY INSULATION - CLOSED CELL

SPRAY INSULATION - OPEN CELL

CONCRETE

STEEL

GYPSUM BOARD

ELEVATION:

GYPSUM BOARD

CLEAR GLASS

MASONRY

STUCCO

SHINGLE

HARDIE SIDING

SCHEDULED FOR REMOVAL

NEW WALL, SEE WALL TAG

EXISTING WALL TO REMAIN

COLUMN LINE

ELEVATION TAG

DOOR TAG, SEE DOOR SCHEDULE

WALL TAG, SEE WALL SCHEDULE

SPECIFIC NOTE

WINDOW TAG, SEE WINDOW SCHEDULE

ITEM TAG

ROOM TAG

DETAIL TAG

SECTION TAG

LEGEND - HATCH

LEGEND - PLAN

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET	05-27-25			
A1.1	SITE	05-27-25			
A1.2	LIFE SAFETY	05-27-25			
A1.3	ADA DETAILS	05-27-25			
A2.0	FLOOR PLANS - EXISTING	05-27-25			
A2.1	EXTERIOR ELEVATIONS - EXISTING	05-27-25			
A3.0	FLOOR PLANS - PROPOSED	05-27-25			
A4.0	REFLECTED CEILING PLAN	05-27-25			
A5.0	EXTERIOR ELEVATIONS - PROPOSED	05-27-25			
A7.1	FINISH PLAN	06/02/25			

## PROJECT / CONTRACT INFORMATION

**PROJECT DESCRIPTION**  
NON-STRUCTURAL RENOVATION TO AN EXISTING COMMERCIAL SINGLE-STORY STRUCTURE TO DIVIDE SPACE INTO THREE (3) INTER-CONNECTED COMMERCIAL SUITES. TENTANT'S INCLUDE (2) SMALL RESTAURANT SUITES & (1) RETAIL SHOP. RENOVATION VALUE UNDER 50% VALUE OF BUILDING.

**PERMIT TYPE**  
RENOVATION (NON-STRUCTURAL)

**SFM, LEVEL OF ALTERATION**  
CHANGE OF USE, LEVEL 2

**OWNER:**  
SCOTT WOLFE SR  
2700 GENERAL DE GAULLE DRIVE  
NEW ORLEANS, LA 70130  
EMAIL: MAGNOLA\_DISCOUNT\_81@YAHOO.COM  
504-810-9653

**ARCHITECT**  
ZACH SMITH CONSULTING & DESIGN  
1000 S NORMAN C FRANCIS PKWY  
NEW ORLEANS, LA 70125  
504-383-3748  
ZACH@ZACHSMITHCONSULTING.COM

## ZONING/CODE INFORMATION

**ZONING DISTRICT:** C-2  
**OVERLAY DISTRICT:**  
• SC SUBURBAN CORRIDOR  
**HDLC DISTRICT:** N/A

**EXISTING DEVELOPMENT:**  
BUILDING SQUARE FOOTAGE (TOTAL): 6,000 SQ. FT.  
PROJECT SQUARE FOOTAGE (TOTAL): 22,500 SQ. FT.  
NO INCREASE IN SQUARE FOOTAGE

**NO. OF STORIES:** 1  
**PROJECT ON FLOOR:** 1  
**BUILDING HEIGHT:** 18'-0"

**CONSTRUCTION TYPE:**  
IBC/IFC: NFPA: COMMON TERMINOLOGY:  
TYPE I-B II (222) FIRE RESISTIVE, NON-COMBUSTIBLE

**OCCUPANCY TYPE:**  
IBC: MIXED USE, NON-SEPERATED, 3 TENTANTS  
1) ASSEMBLY A2 1,540 S.F. 2) ASSEMBLY A2 2,320 SF 3) BUISNESS 1,920 SF  
NFPA: MIXED USE, NON-SEPERATED, 3 TENTANTS  
1) ASSEMBLY A2 1,540 S.F. 2) ASSEMBLY A2 2,320 SF 3) BUISNESS 1,920 SF

**SPRINKLERED / FIRE ALARM:**  
NO / NO

**APPLICABLE CODES:**  
• 2021 INTERNATIONAL BUILDING CODE  
• 2021 INTERNATIONAL MECHANICAL CODE  
• 2021 LOUISIANA STATE PLUMBING CODE  
• NFPA 70, 2020 NATIONAL ELECTRIC CODE  
• 2015 ADA ADDA GUIDELINES  
• 2021 INTERNATIONAL EXISTING BUILDING CODE

ROOM SCHEDULE - OCCUPANCY				
Occupancy	Number	NAME	Area	
	105	ADA RESTROOM 1	79 SF	
	109	ADA RESTROOM 2	79 SF	
	113	ADA RESTROOM 3	79 SF	
	3		238 SF	

ASSEMBLY A2	103	DONUT SHOP	826 SF
ASSEMBLY A2	107	CHICKEN BOX	1200 SF
ASSEMBLY A2:	2		2026 SF

BUSINESS	120	OFFICE	59 SF
BUSINESS	122	CELL PHONE SHOP	1747 SF
BUSINESS:	2		1806 SF

KITCHEN / BOH	106	KITCHEN/DRIVE-THRU	618 SF
KITCHEN / BOH	110	KITCHEN	988 SF
KITCHEN / BOH:	2		1606 SF

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

## GENERAL NOTES - PROJECT

## PROJECT INFORMATION

**ZACH SMITH**  
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor  
New Orleans, LA 70125  
zach@zachsmithconsulting.com  
+1 (504) 383-3748

2700 General De Gaulle Dr Renovations  
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114

No.	Description	Date

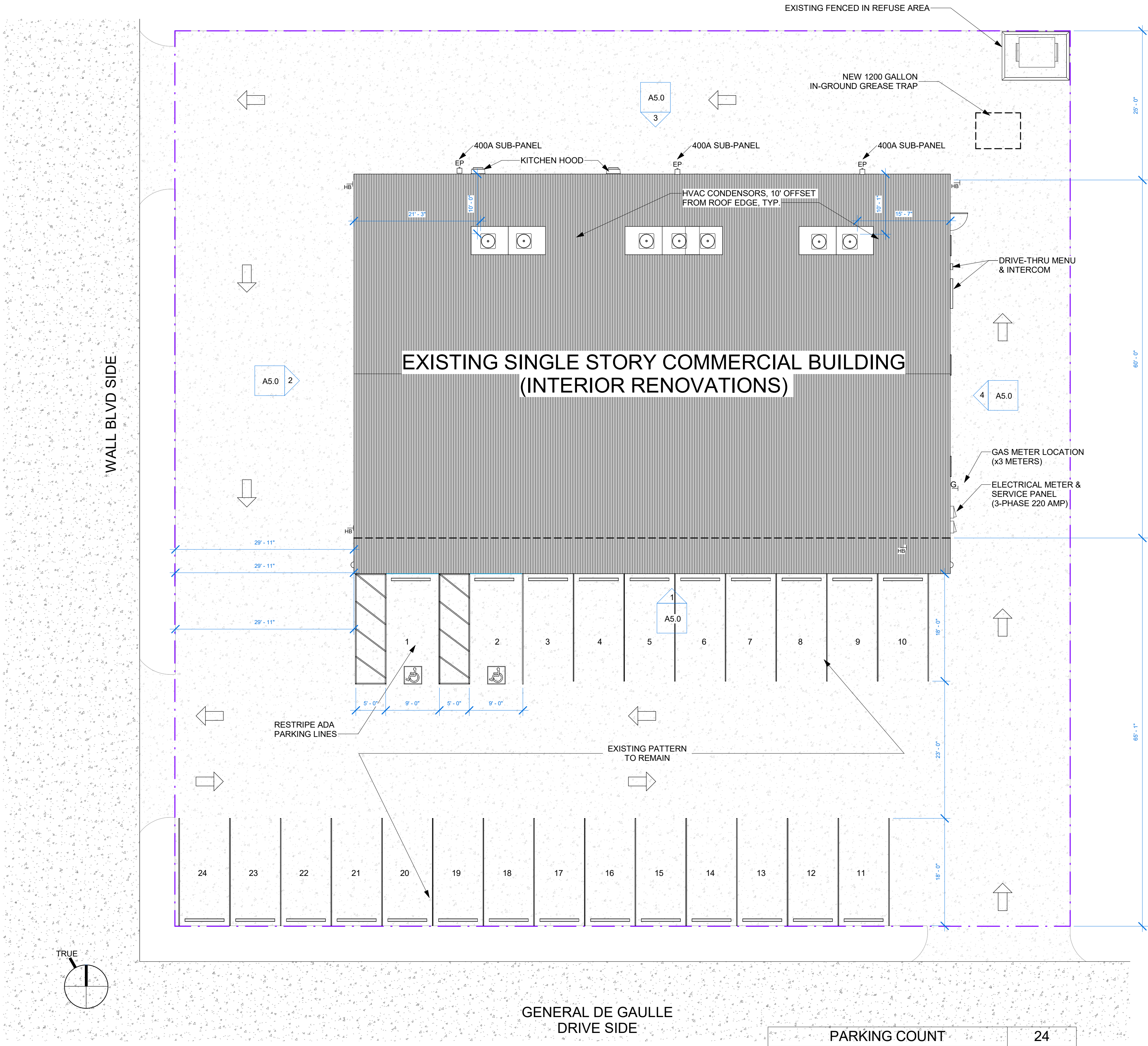


## TITLE SHEET

PERMIT CD'S	
Date	05-27-25

A1.0





GENERAL ELECTRICAL	
	ELECTRICAL METER
	ELECTRICAL PANEL
	TRANSFER SWITCH
	GAS METER
ELECTRICAL RECEPTACLES	
	DUPLEX RECEPTACLE
	GFI DUPLEX RECEPTACLE
	WET LOCATION RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	DEDICATED APPLIANCE RECEPTACLE
	A/C DEDICATED APPLIANCE RECEPTACLE
	FLUSH MOUNTED FLOOR QUAD RECEPTACLE
	A/C CONDENSER, CONFIRM ELEC. REQ. WITH UNIT

PLUMBING SYSTEMS	
	GAS LINE
	TANKLESS WATER HEATER
	TANK WATER HEATER
	DEDICATED WATER LINE
	HOSE BIB

SITE PLAN LEGEND  
1/4" = 1'-0"

2700 General De Gaulle Dr Renovations  
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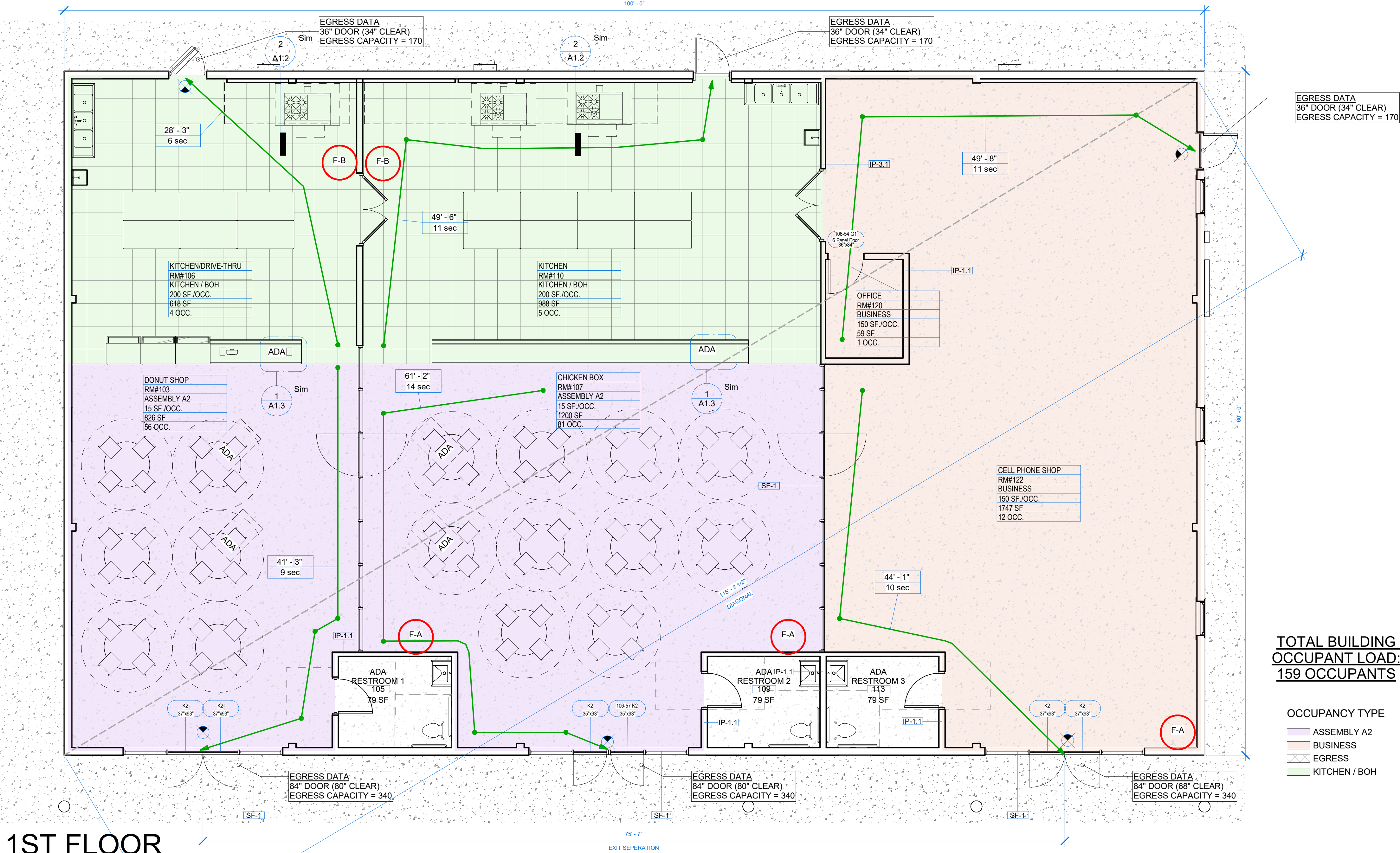
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PERMIT CD'S	
Date	05-27-25

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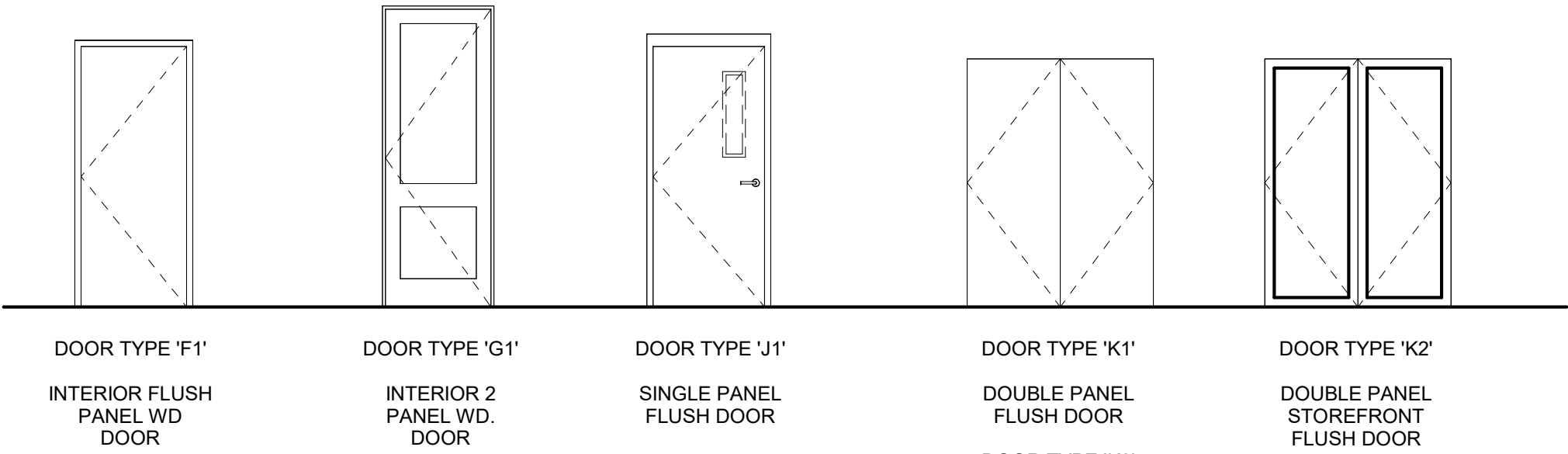
1 SITE PLAN  
1" = 10'-0"





1ST FLOOR

1 1ST FLOOR LIFE SAFETY PLAN  
3/16" = 1'-0"



DOOR TYPES

GENERAL NOTES: DOOR SCHEDULE

- CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE. GLAZED OPENING PROTECTION SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886.
- ALL DOOR CASINGS, WHEN APPLIED, SHALL BE PRIMED & PAINTED 1X WOOD. TYP.
- ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.

Door Schedule			
Door Number	Door Type	Width	Height
106-54	K2	<varies>	<varies>
106-57	G1	3' - 0"	7' - 0"
106-59	K2	2' - 10 7/8"	7' - 9 1/8"
106-59	J1	3' - 0"	6' - 8"
106-61	F1	3' - 0"	6' - 8"
106-62	F1	3' - 0"	6' - 8"
106-63	F1	3' - 0"	6' - 8"
106-64	J1	3' - 0"	6' - 8"
106-66	K2	3' - 8 11/32"	7' - 8"
106-69	K2	3' - 8 11/32"	7' - 8"
106-72	K3	3' - 0"	6' - 8"
106-73	K5	6' - 0"	8' - 0"
106-74	K5	6' - 0"	8' - 0"

1. PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS: CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE AND OIL CLASS C EXTINGUISHERS ARE SUITABLE FOR USE ONLY ON ELECTRICALLY ENERGIZED FIRES CLASS D EXTINGUISHERS ARE DESIGNED FOR USE ON FLAMMABLE METALS

GENERAL NOTES - FIRE EXTINGUISHERS

COOKING EQUIPMENT PROTECTION:

- NFPA 96 10.1.1 FIRE-EXTINGUISHING EQUIPMENT FOR THE PROTECTION OF GREASE REMOVAL DEVICES, HOOD EXHAUST PLENUMS, AND EXHAUST DUCT SYSTEMS SHALL BE PROVIDED.
- NFPA 96 10.1.2 COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS AND THAT MIGHT BE A SOURCE OF IGNITION OF GREASE IN THE HOOD, GREASE REMOVAL DEVICE, OR DUCT SHALL BE PROTECTED BY FIRE-EXTINGUISHING EQUIPMENT.
- NFPA 96 10.1.3 FUME INCINERATORS, THERMAL RECOVERY UNITS, AIR POLLUTION CONTROL DEVICES, OR OTHER DEVICES INSTALLED IN THE EXHAUST DUCT, SHALL BE PROTECTED BY AN AUTOMATIC FIRE-EXTINGUISHING SYSTEM.

GENERAL NOTES - LIFE SAFETY RESTAURANT/BAR

- U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (IAC 17.4-4.5) (MIN. 2A-10B-C).
- INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC SECTION 803.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-450).
- INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC SECTION 804.1, 804.4.1, AND 804.2.
- EMERGENCY LIGHTING SHALL BE PROVIDED AS PER NFPA 101 SECTION 7.9.
- DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 7.10.
- FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6.
- FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.
- AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.

GENERAL NOTES - LIFE SAFETY

**NFPA LEGEND**

EMERGENCY DIRECTIONAL LIGHT. RE: ELECTRICAL DRAWINGS

TRAVEL DISTANCE

PROPERTY LINE

DOOR & FRAME FIRE RATING  
RE: DOOR SCHEDULE

**FIRE EXTINGUISHERS**

PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS EXTINGUISHERS: TYPE, SIZE, AND CAPACITY FOR EACH INDICATED:

F-A CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER

F-B CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE & OIL

**OCCUPANCY ROOM TAG LEGEND**

NAME OF ROOM OR SPACE

ROOM NUMBER

AREA CLASSIFICATION

ALLOWED SF PER OCCUPANT

SF OF ROOM

TOTAL OCCUPANTS OF ROOM

RM. NAME

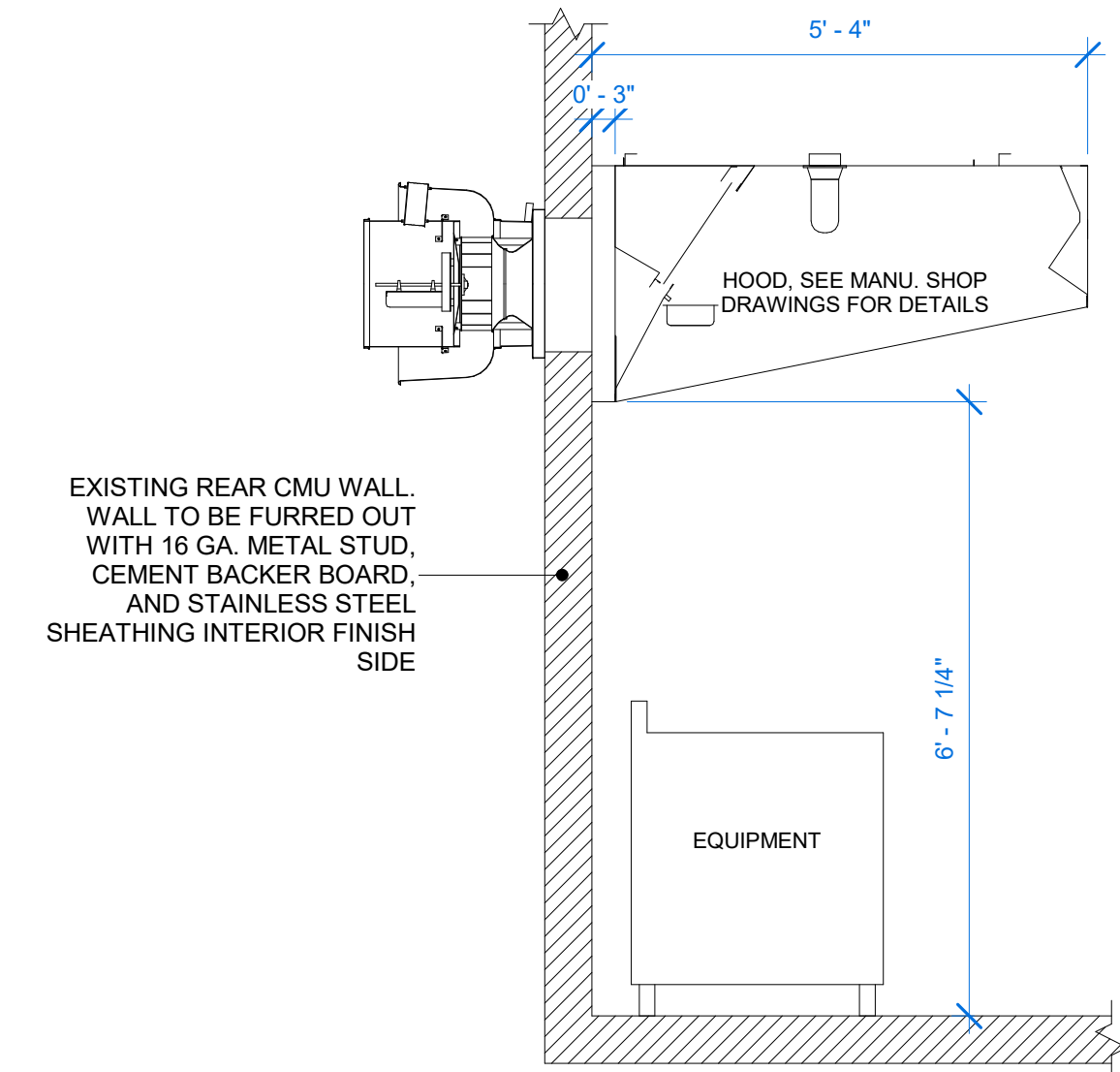
RM. #

OCCUPANCY

SF PER OCC

RM SF.

# OF OCC.



HOOD CONSTRUCTION NOTES:

- NFPA 96:4.2.1 HOODS, GREASE EXTRACTORS AND DUCTS SHALL HAVE A CLEARANCE OF AT LEAST 18 IN. TO COMBUSTIBLE MATERIALS, 3 IN. TO LIMITED COMBUSTIBLE MATERIALS AND 0 IN. TO NON-COMBUSTIBLE MATERIALS, UNLESS OTHERWISE "LISTED" AND SHALL COMPLY WITH THE FOLLOWING:
- THE HOOD SHALL BE CONSTRUCTED OF NOT LESS THAN 18 GAUGE STEEL OR 20 GAUGE STAINLESS STEEL
  - DUCTS SHALL BE 18 GAUGE STEEL OR 18 GAUGE STAINLESS STEEL.
  - ALL SEAMS, JOINTS AND PENETRATIONS SHALL HAVE A LIQUID-TIGHT CONTINUOUS EXTERNAL WELD.

KITCHEN EXHAUST HOOD, KITCHEN HOOD INSTALLATION LOCATION NOTES:

- NFPA 96:7.8.2.1 ROOFTOP TERMINATIONS SHALL BE ARRANGED WITH OR PROVIDED WITH THE FOLLOWING:
- A MINIMUM OF 10 FT OF HORIZONTAL CLEARANCE FROM THE OUTLET TO ADJACENT BUILDINGS, PROPERTY LINES, AND AIR INTAKES
  - A MINIMUM OF 5 FT OF HORIZONTAL CLEARANCE FROM THE OUTLET (FAN HOUSING) TO ANY COMBUSTIBLE STRUCTURE
  - A VERTICAL SEPARATION OF 3 FT BELOW ANY EXHAUST OUTLETS FOR AIR INTAKES WITHIN 10 FT OF THE EXHAUST OUTLET
  - A HINGED UPBLAST FAN SUPPLIED WITH FLEXIBLE WEATHERPROOF ELECTRICAL CABLE AND SERVICE HOLD-OPEN RETAINER TO PERMIT INSPECTION AND CLEANING THAT IS LISTED FOR COMMERCIAL COOKING EQUIPMENT WITH THE FOLLOWING CONDITIONS:  
(I) WHERE THE FAN ATTACHES TO THE DUCTWORK, THE DUCTWORK SHALL BE A MINIMUM OF 18 IN. AWAY FROM ANY ROOF SURFACE  
(II) THE FAN SHALL DISCHARGE A MINIMUM OF 40 IN. AWAY FROM ANY ROOF SURFACE

CHASE NOTES

- WHERE PERSONNEL ENTRY IS NOT POSSIBLE, ADEQUATE ACCESS FOR CLEANING SHALL BE PROVIDED ON EACH FLOOR.
- WHERE OPENINGS IN THE ENCLOSURE WALLS ARE PROVIDED, THEY SHALL BE PROTECTED BY LISTED FIRE DOORS OF PROPER RATING.
- FIRE DOORS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 80.
- OPENINGS ON OTHER LISTED MATERIALS OR PRODUCTS SHALL BE CLEARLY IDENTIFIED AND LABELED ACCORDING TO THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- THE MARKINGS SPECIFIED SHALL BE VISIBLE ON THE EXTERIOR OF THE ENCLOSURE AND SHALL STATE THE FOLLOWING: ACCESS PANEL— DO NOT OBSTRUCT
- THE FIRE DOOR SHALL BE READILY ACCESSIBLE, ALIGNED, AND OF SUFFICIENT SIZE TO ALLOW ACCESS TO THE RATED ACCESS PANELS ON THE DUCTWORK.

MECH HOOD DETAIL

1/2" = 1'-0"

**ZACH SMITH**  
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2700 General De Gaulle Dr Renovations  
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114

No.	Description	Date



LIFE SAFETY

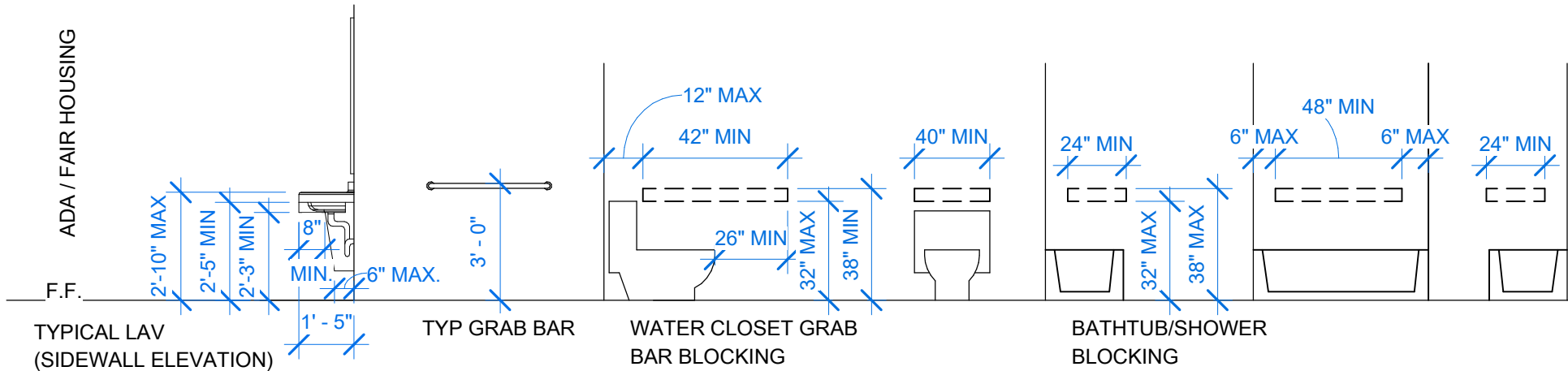
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Date	05-27-25

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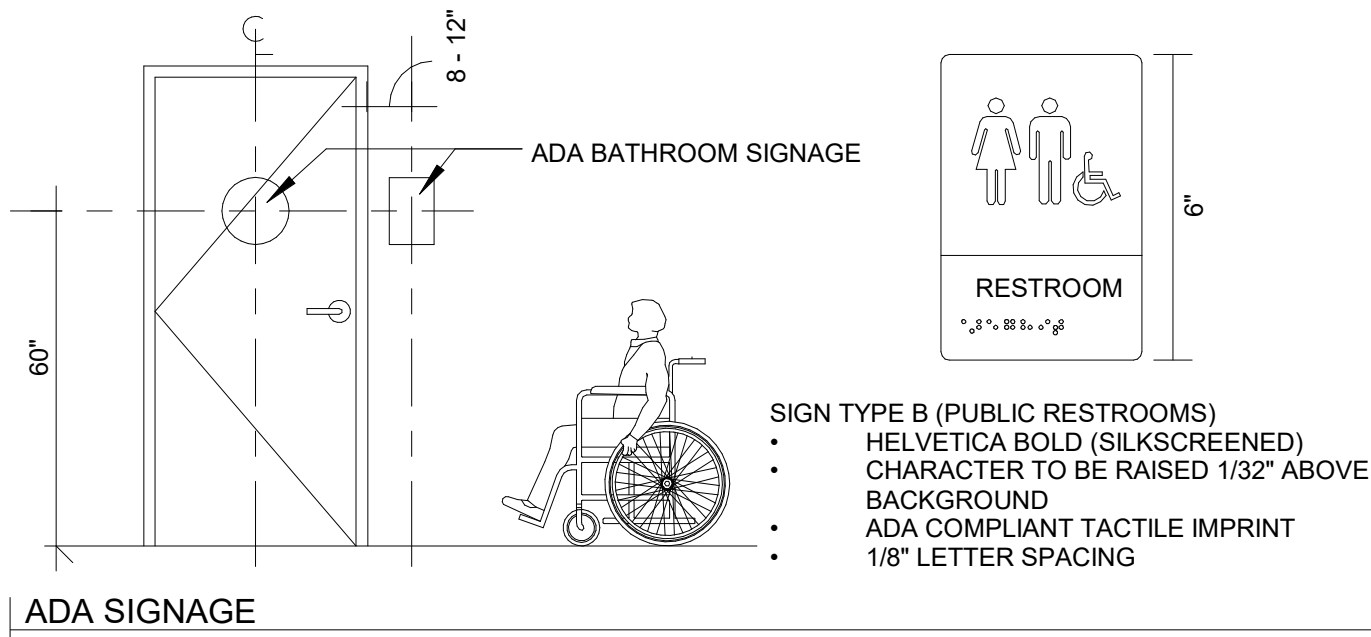


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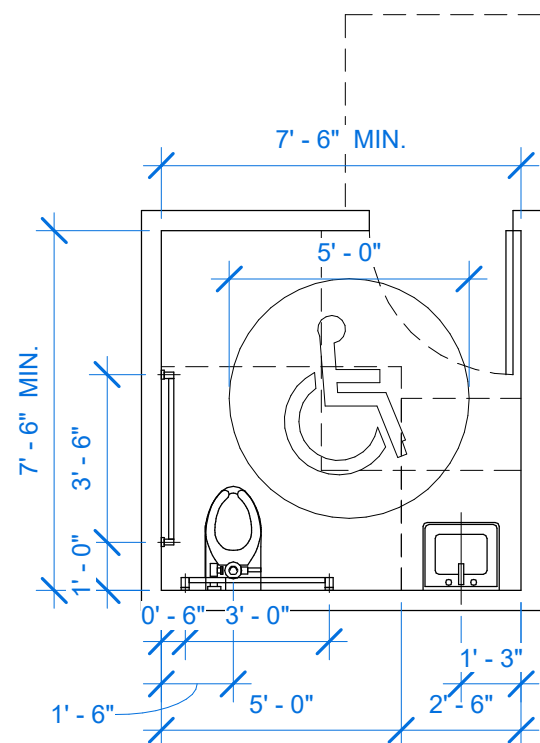
TYPICAL MOUNTING HEIGHTS: MOUNT ITEMS AT HEIGHTS ABOVE FLOOR LEVEL AS SHOWN ON THIS SHEET, UNLESS OTHERWISE NOTED ON INTERIOR ELEVATIONS OR OTHER DRAWINGS. NOTIFY ARCHITECT OF POTENTIAL CONFLICTS PRIOR TO PURCHASE OR INSTALLATION.



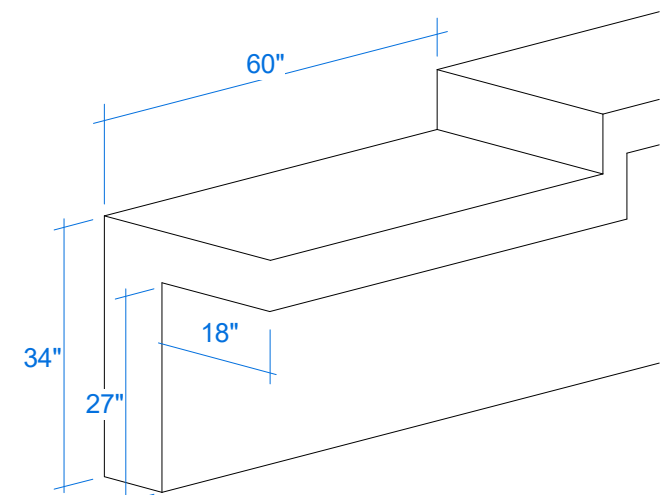
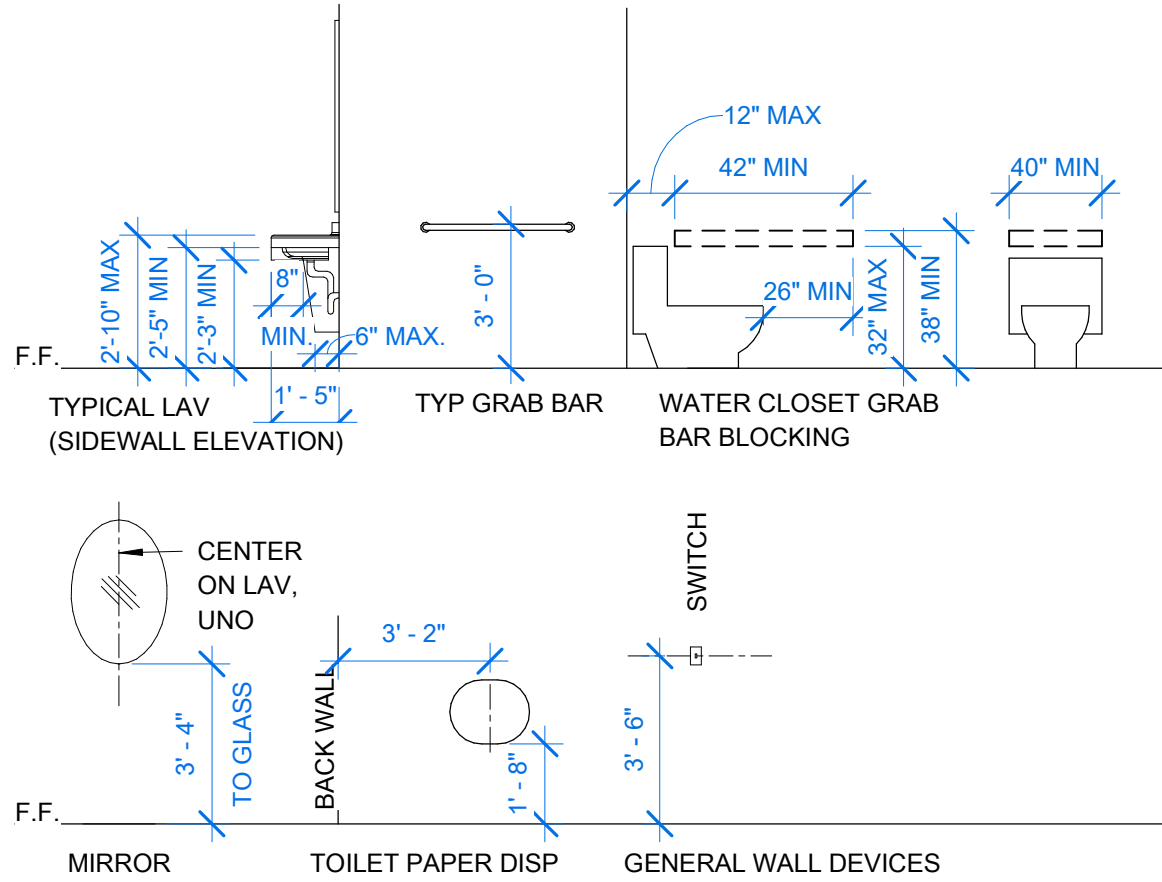
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ADA SIGNAGE



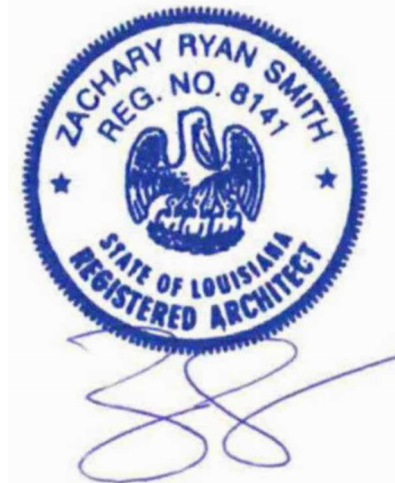
ADA RESTROOM DETAILS



ADA SERVING COUNTER REQUIREMENTS  
1/8" = 1'-0"

2700 General De Gaulle Dr Renovations  
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114

No.	Description	Date

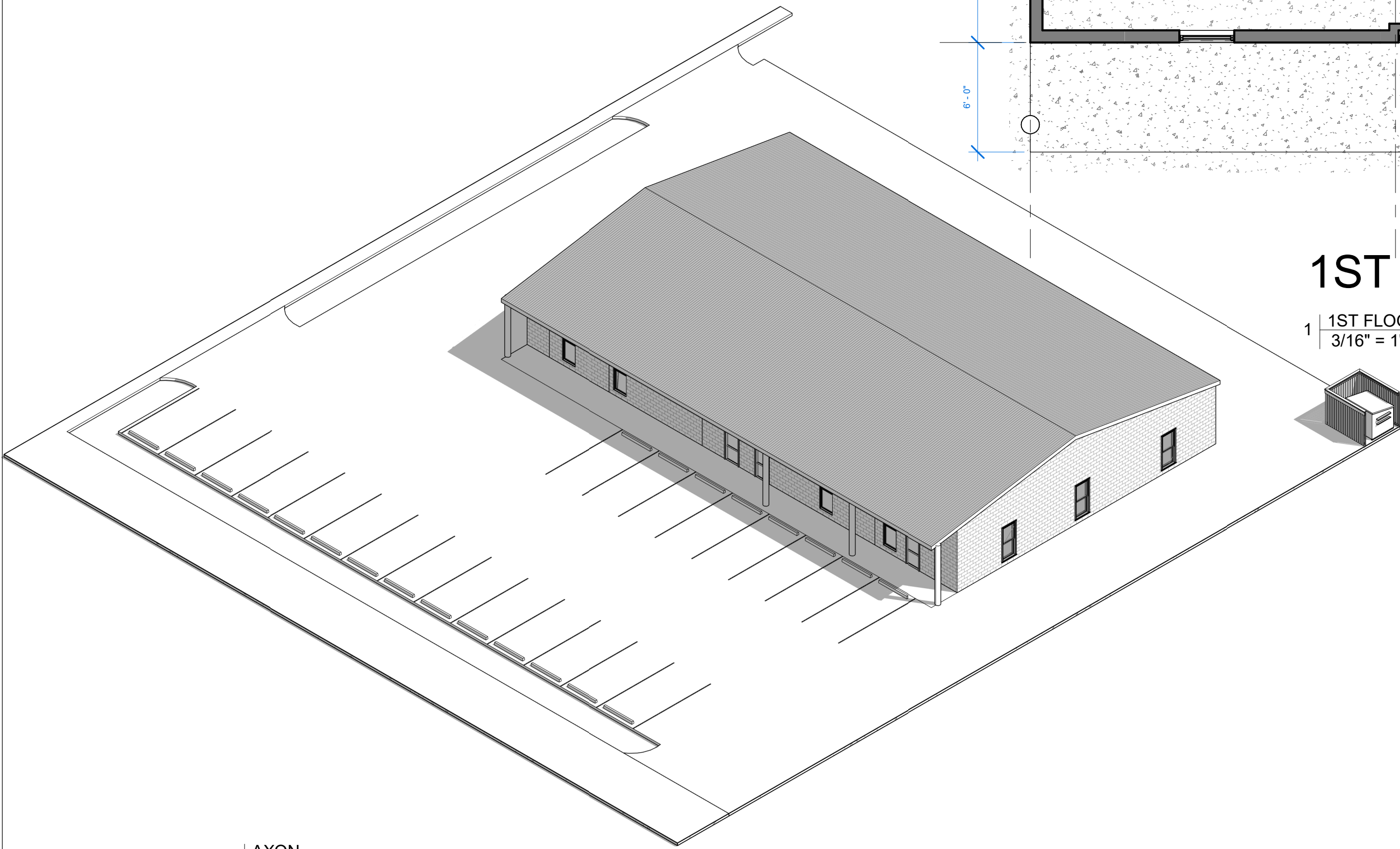


ADA DETAILS

PERMIT CD'S
Date 05-27-25

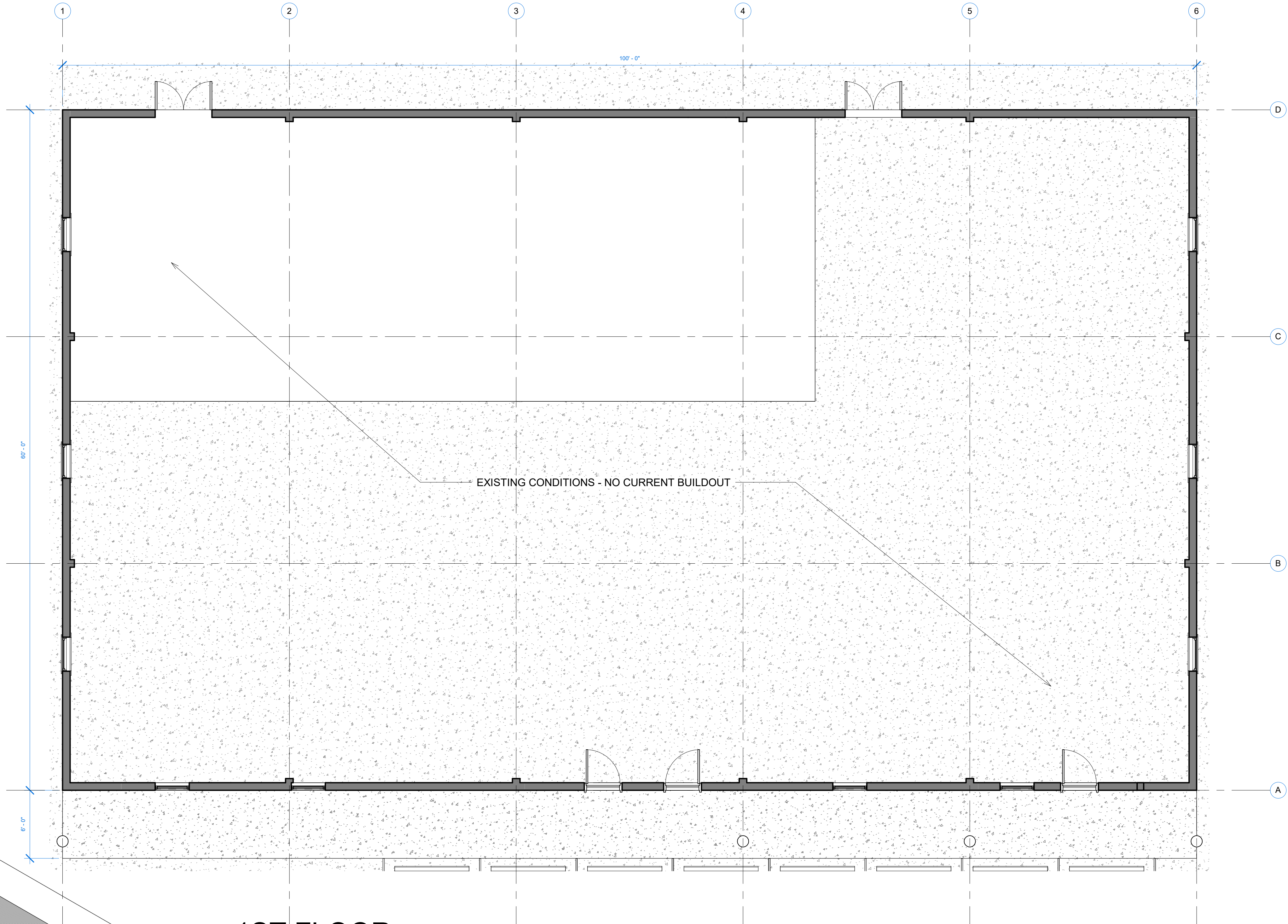


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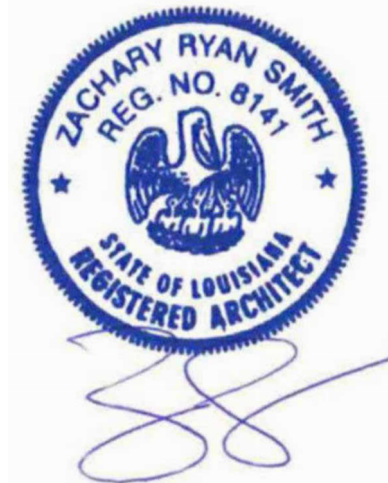
## 1ST FLOOR

1 1ST FLOOR - EXISTING  
3/16" = 1'-0"



2700 General De Gaulle Dr Renovations  
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114

No.	Description	Date

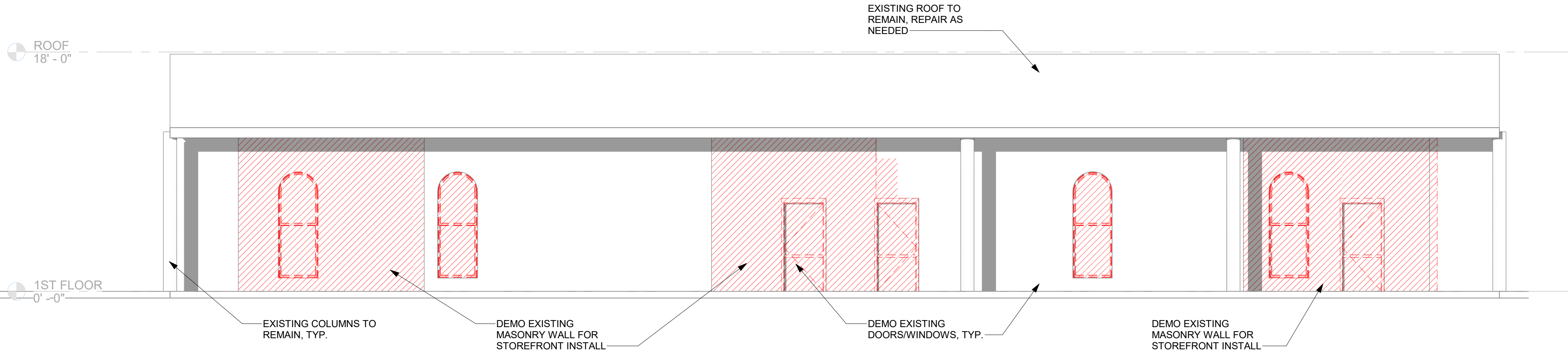


FLOOR PLANS -  
EXISTING

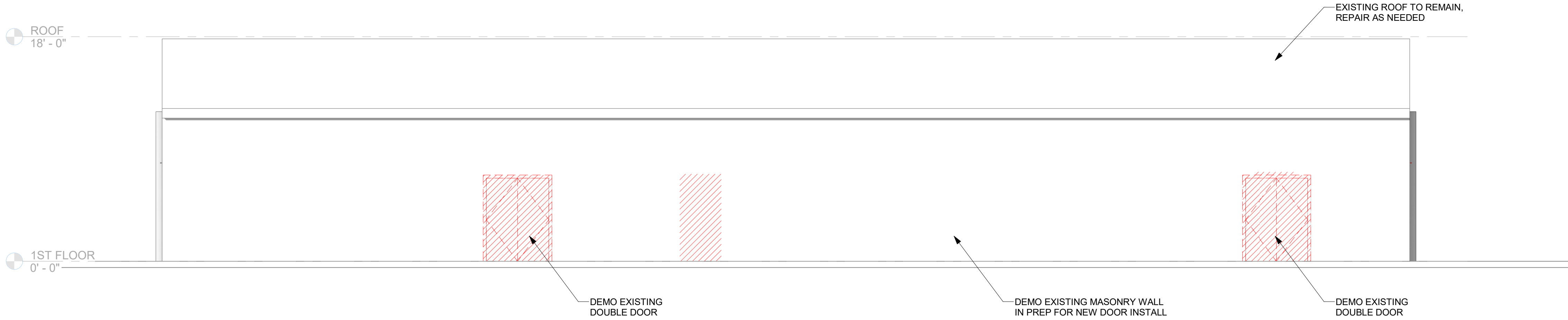
PERMIT CD'S	
Date	05-27-25

A2.0





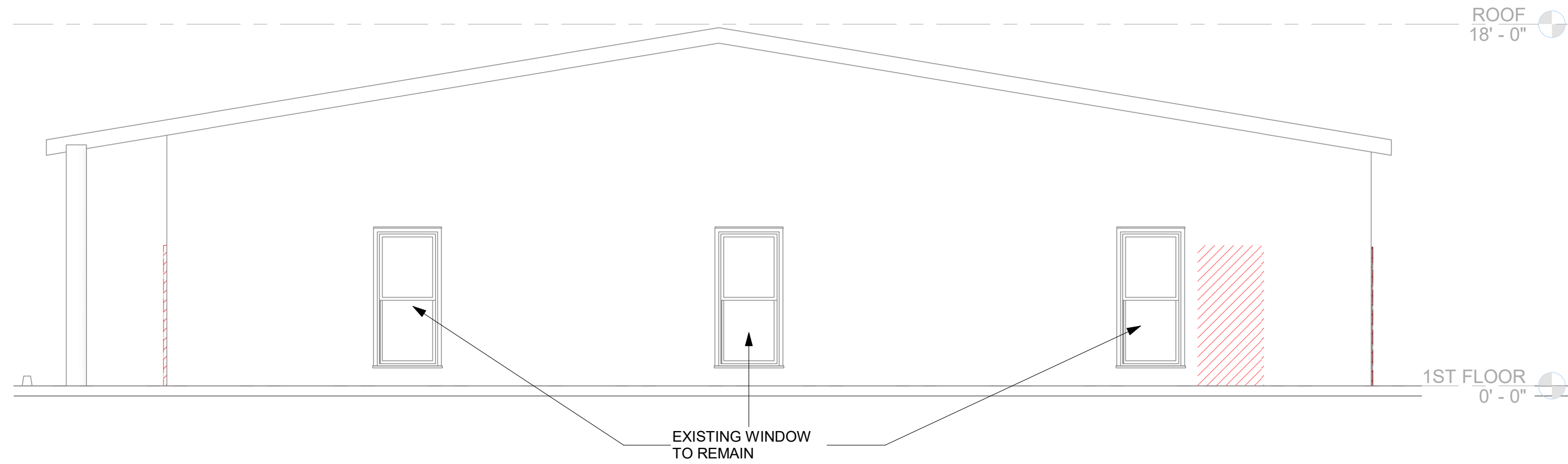
3 | SOUTH ELEVATION - EXISTING  
3/16" = 1'-0"



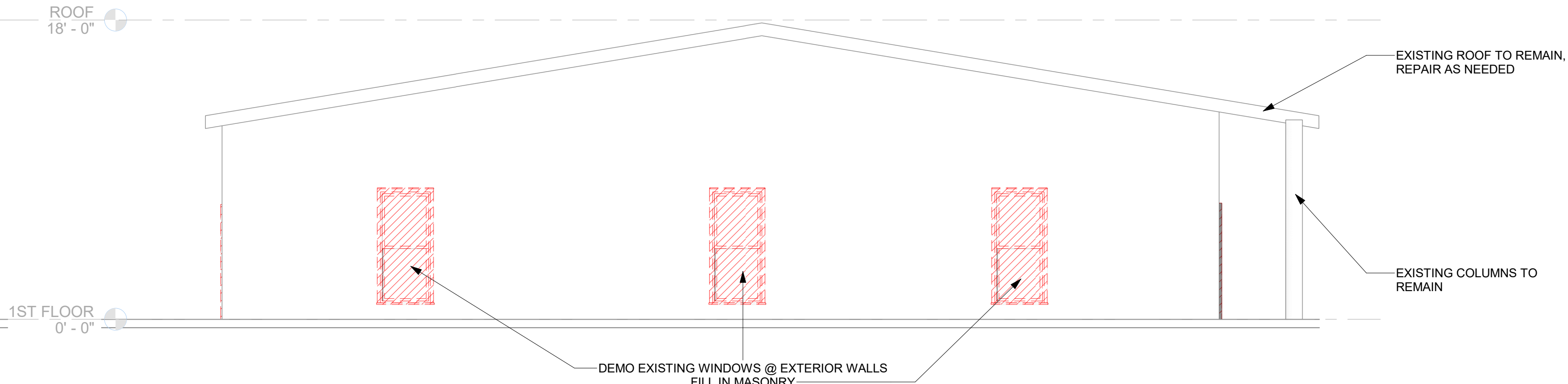
2 | NORTH ELEVATION - EXISTING  
3/16" = 1'-0"

- SECTION:
- PLYWOOD
  - BATT INSULATION
  - SPRAY INSULATION - CLOSED CELL
  - SPRAY INSULATION - OPEN CELL
  - CONCRETE
  - STEEL
  - GYPSUM BOARD
- ELEVATION:
- GYPSUM BOARD
  - CLEAR GLASS
  - MASONRY
  - STUCCO
  - SHINGLE
  - HARDIE SIDING

LEGEND - HATCH



1 | EAST ELEVATION - EXISTING  
3/16" = 1'-0"



4 | WEST ELEVATION - EXISTING  
3/16" = 1'-0"

No.	Description	Date

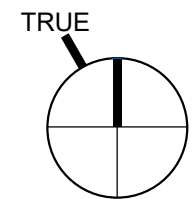


EXTERIOR  
ELEVATIONS -  
EXISTING

PERMIT CD'S	
Date	05-27-25



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## 1ST FLOOR

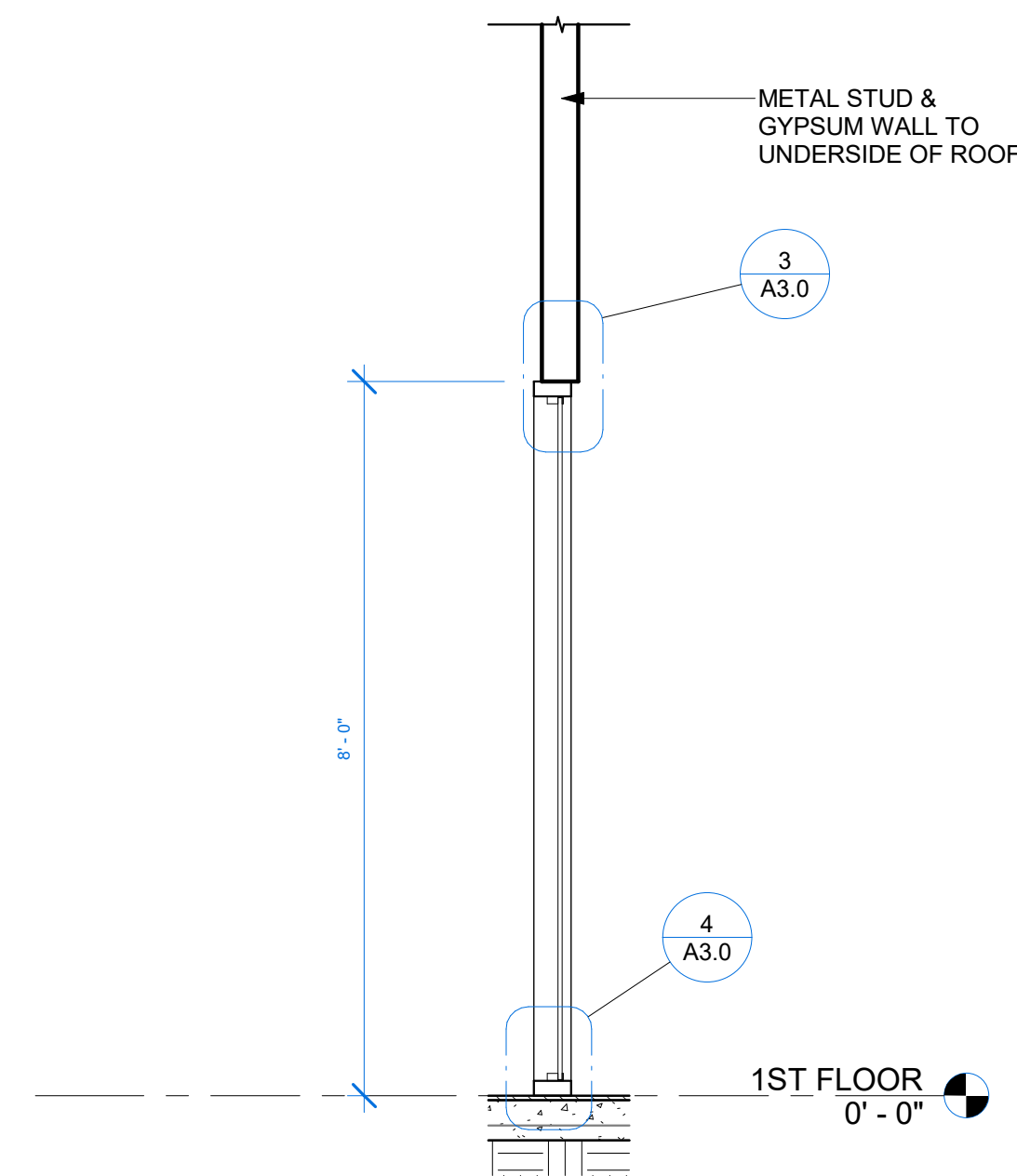
1 | 1ST FLOOR - 2 PROPOSED  
3/16" = 1'-0"

DOOR SCHEDULE - LONG							
Elevation Type Mark	DOOR TYPE	SIZE		Door Material	FRAME TYPE	HDWR TYPE	COMMENTS
		WIDTH	HEIGHT				
F1	SOLID	3' - 0"	6' - 8"	Solid Core	HM	ADA LEVER, PRIVACY	
F1	SOLID	3' - 0"	6' - 8"	Solid Core	HM	ADA LEVER, PRIVACY	
F1	SOLID	3' - 0"	6' - 8"	Solid Core	HM	ADA LEVER, PRIVACY	
G1	SOLID	3' - 0"	7' - 0"	Solid Core	HM	PRIVACY	
J1	SOLID	3' - 0"	6' - 8"	HM	HM	LEVER, DEADLBOT	
J1	SOLID	3' - 0"	6' - 8"	HM	HM	LEVER, DEADLBOT	
K2	GLASS	2' - 11"	7' - 9 1/8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 1"	7' - 9 1/8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 1"	7' - 9 1/8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 1"	7' - 9 1/8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 1"	7' - 9 1/8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 8"	7' - 8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	2' - 11"	7' - 9 1/8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 8"	7' - 8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K2	GLASS	3' - 8"	7' - 8"	STOREFRONT	ALUM	LEVER, DEADLBOT	
K3	DUTCH, GLASS	3' - 0"	6' - 8"	Solid Core with glazing	HM	LEVER, DEADLBOT	84"x 92" Stanley Dura Glide DT
K5	GLASS, DOUBLE	6' - 0"	8' - 0"	GLASS	ALUMINUM	PUSH/PULL, DEADBOLT	
K5	GLASS, DOUBLE	6' - 0"	8' - 0"	GLASS	ALUMINUM	PUSH/PULL, DEADBOLT	

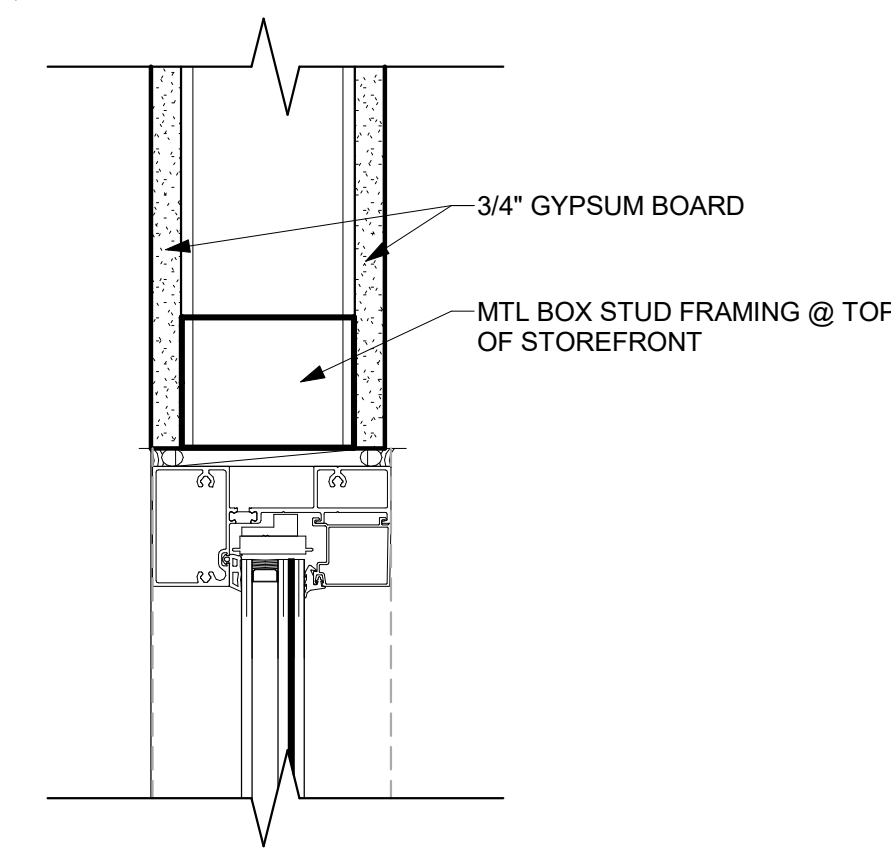
### GENERAL NOTES: DOOR SCHEDULE

- CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE. GLAZED OPENING PROTECTION SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886.
- ALL DOOR CASINGS, WHEN APPLIED, SHALL BE PRIMED & PAINTED 1X WOOD, . TYP.
- ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.

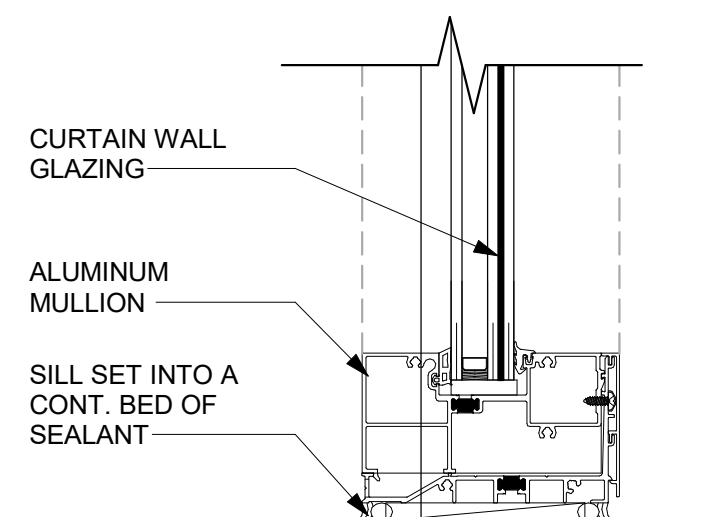
KEYNOTES - SHEET	
Key Value	Keynote Text
N-46.2	NEW ADA COMPLIANT TOILET WITH GRAB BARS. RE: ADA GUIDELINES FOR MOUNTING LOCATIONS AND HEIGHTS.
N-46.3	ADA COMPLIANT SINK AND FAUCET, P-TRAP COVER AND AUTO-DISPENSING SOAP DISPENSER, TOWEL DISPENSER/HAND DRYER PER ADA GUIDELINES.
N-49	COUNTER-TOP, COORDINATE SELECTION WITH OWNER.



2 | SECTION - STOREFRONT W/ HEADER  
1/2" = 1'-0"



3 | SECTION DETAIL - SF W/ HEADER 01  
3" = 1'-0"



4 | SECTION DETAIL - SF W/ HEADER 02  
3" = 1'-0"

2700 General De Gaulle Dr Renovations  
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114

No.	Description	Date



FLOOR PLANS -  
PROPOSED

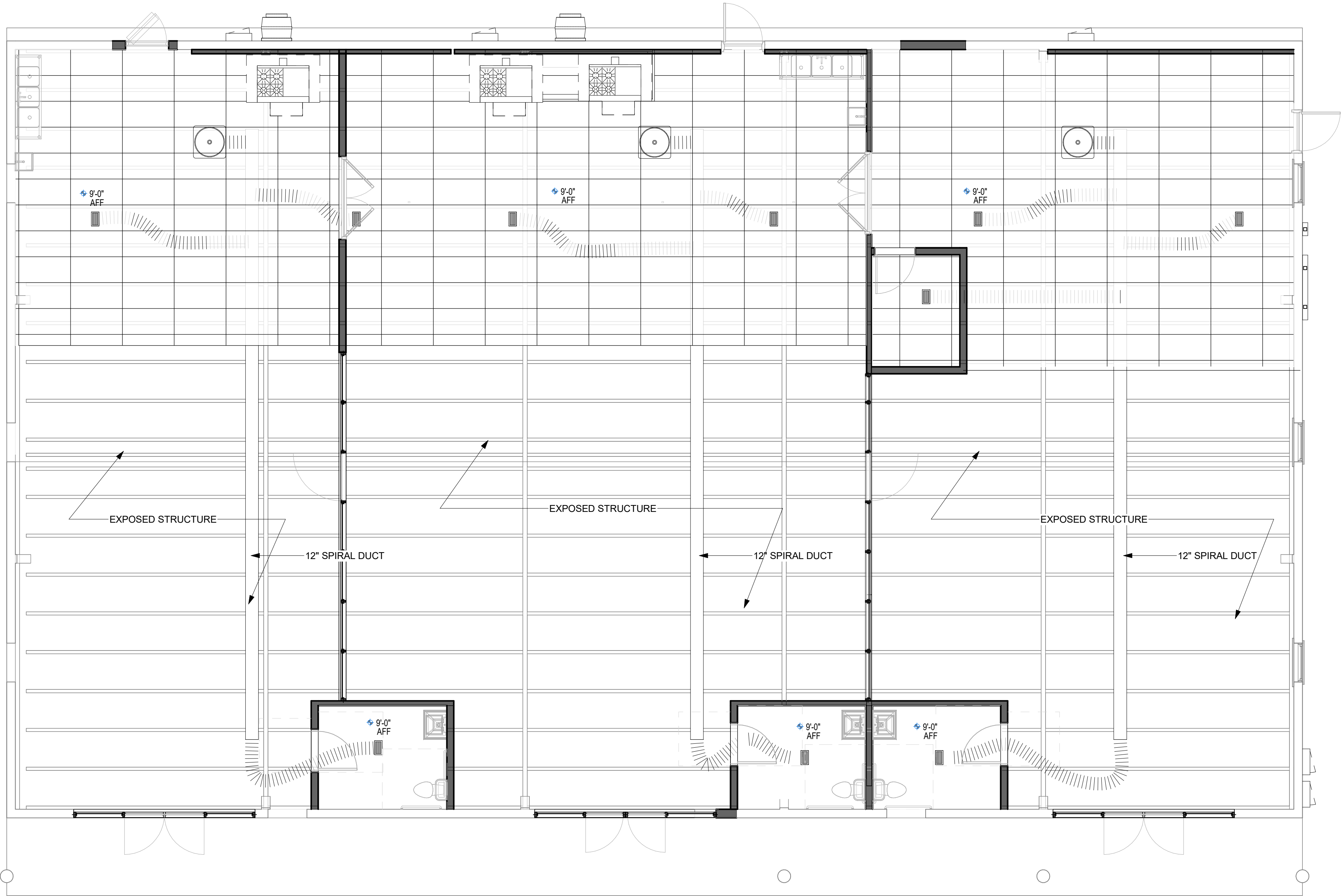
PERMIT CD'S	
Date	05-27-25

A3.0

**ZACH SMITH**  
CONSULTING & DESIGN

1000 S Norman C Francis Parkway 2nd Floor  
New Orleans, LA 70125  
zach@zachsmithconsulting.com  
+1 (504) 383-3748





1ST FLOOR

1 | 1ST FLOOR PLAN\_RCP  
3/16" = 1'-0"

- SMOKE/CO2 DETECTOR
- 2X4 CEILING TILE, KITCHEN RATED
- 2X4 CEILING TILE
- 2X2 CEILING TILE
- EXPANSION JOINT
- BEADBOARD SOFFIT
- GYPSUM BOARD CEILING
- SPECIFIC NOTE
- CEILING HEIGHT ELEVATION

LEGEND - RCP CEILING TYPE

ELECTRICAL FIXTURES	
	RECESSED CAN FIXTURE
	RECESSED WATER - RATED CAN FIXTURE
	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	CHANDELIER/PENDANT
	UNDER CABINET FIXTURE
	CEILING FAN
	CEILING FAN WITH LIGHTS
	HARDWIRED FLOOD LIGHTS
ELECTRICAL SWITCHES	
	SWITCH
	THREE-WAY SWITCH
	DIMMABLE SWITCH
AUDIO & VISUAL SYSTEMS	
	CABLE TELEVISION OUTLET/SOURCE
GENERAL ELECTRICAL	
	ELECTRICAL METER
	ELECTRICAL PANEL
	GAS METER
ELECTRICAL RECEPTACLES	
	DUPLEX RECEPTACLE
	GFI DUPLEX RECEPTACLE
	WET LOCATION RECEPTACLE
	DEDICATED APPLIANCE RECEPTACLE
	A/C DEDICATED APPLIANCE RECEPTACLE
	FLUSH MOUNTED FLOOR QUAD RECEPTACLE
MECHANICAL SYSTEMS	
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT (+ HEATER)
	THERMOSTAT
	RETURN AIR GRILLE OR REGISTER AT WALL
	SUPPLY AIR GRILLE OR REGISTER AT WALL
	RETURN AIR CHASE
	SUPPLY AIR CHASE
	RETURN AIR GRILLE OR REGISTER AT CEILING
	SUPPLY AIR GRILLE OR REGISTER AT CEILING
	A/C CONDENSER
MISCELLANEOUS SYSTEMS	
	DOOR BELL BUTTON
	DOOR BELL CHIME
	GARAGE DOOR OPENER
	GARAGE DOOR REMOTE OPENER
PLUMBING SYSTEMS	
	GAS LINE
	TANKLESS WATER HEATER
	DEDICATED WATER LINE
	HOSE BIB
	GARBAGE DISPOSAL
FIRE & LIFE SAFETY SYSTEM	
	SMOKE & CO2 DETECTOR UNIT

ELECTRICAL LEGEND

2700 General De Gaulle Dr Renovations  
2700 General De Gaulle Dr  
NEW ORLEANS LA, 70114

No.	Description	Date

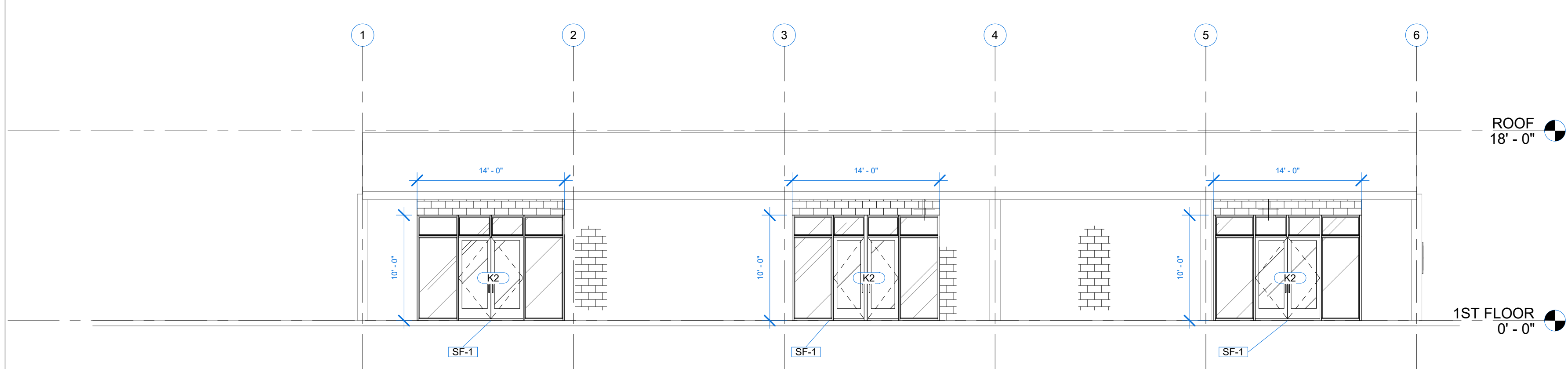


REFLECTED CEILING  
PLAN

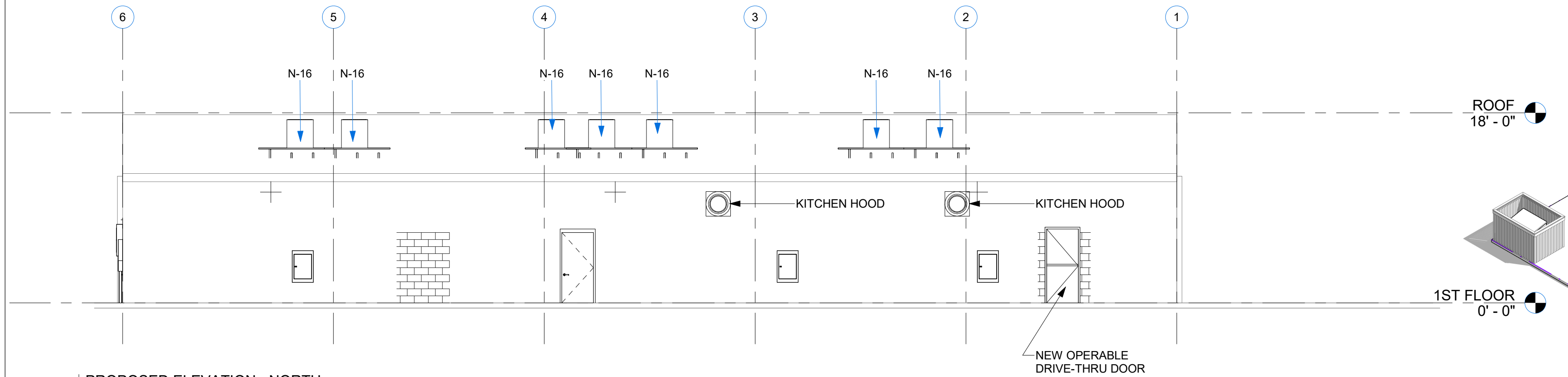
PERMIT CD'S  
Date 05-27-25



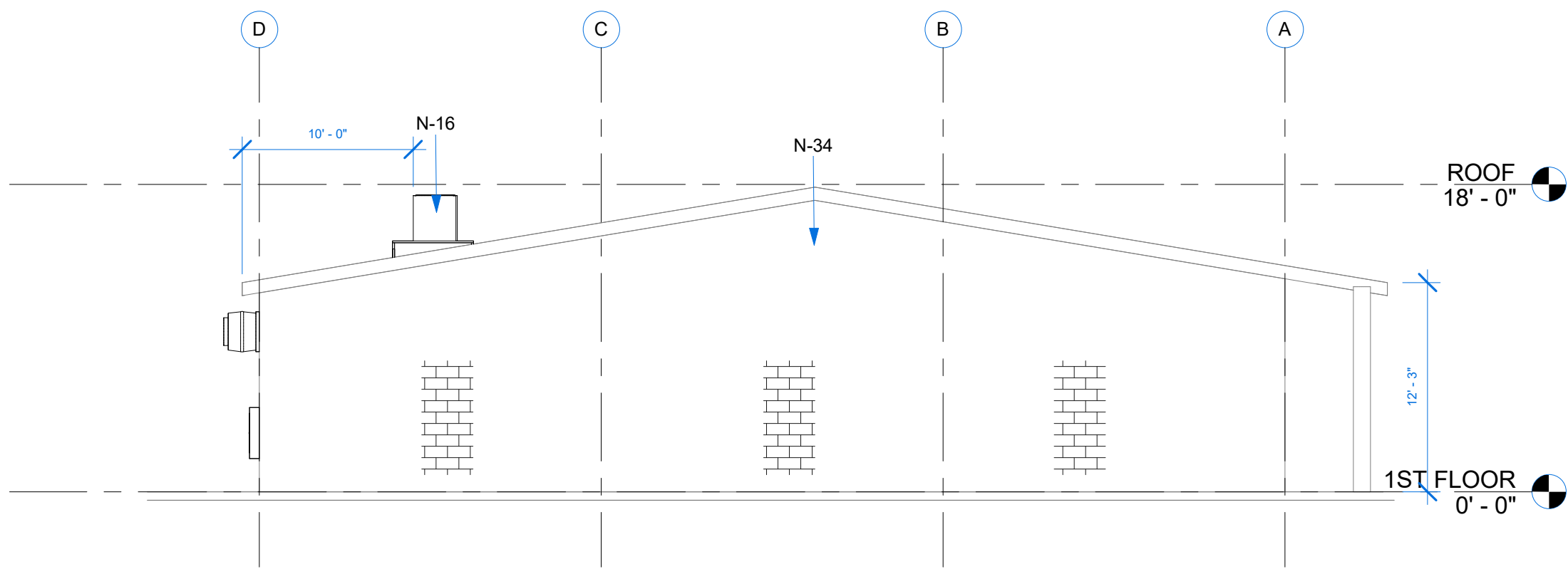
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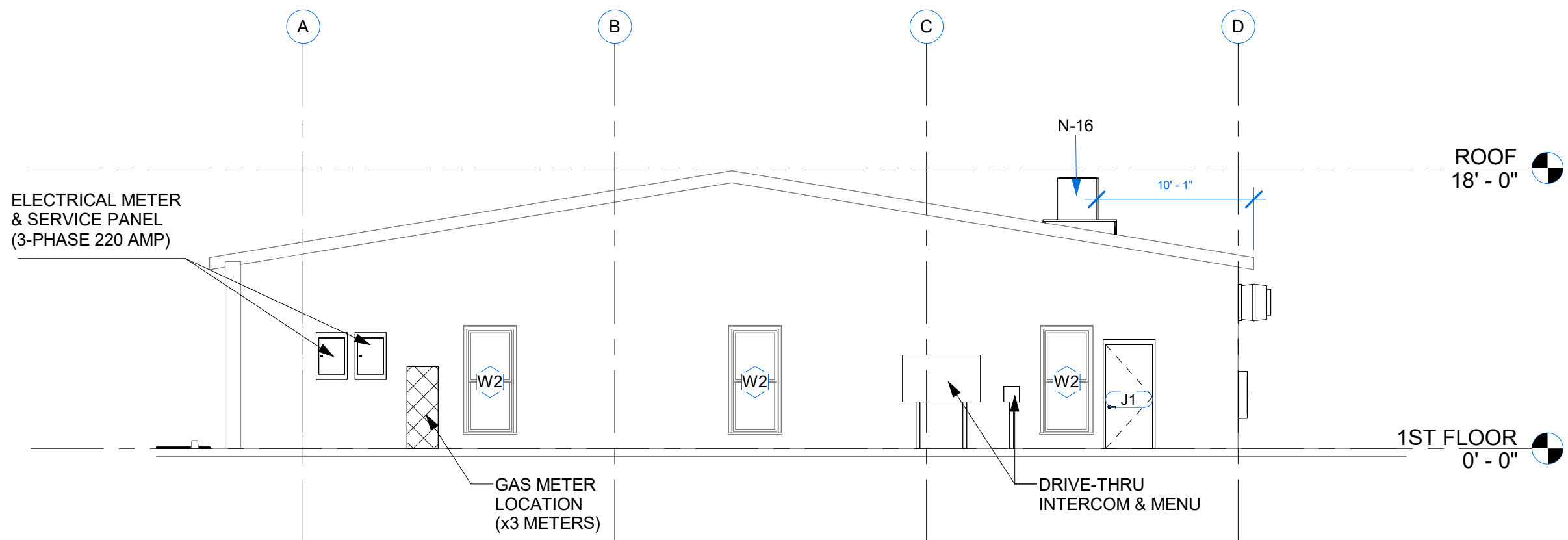
1 | PROPOSED ELEVATION - SOUTH  
1/8" = 1'-0"



3 | PROPOSED ELEVATION - NORTH  
1/8" = 1'-0"

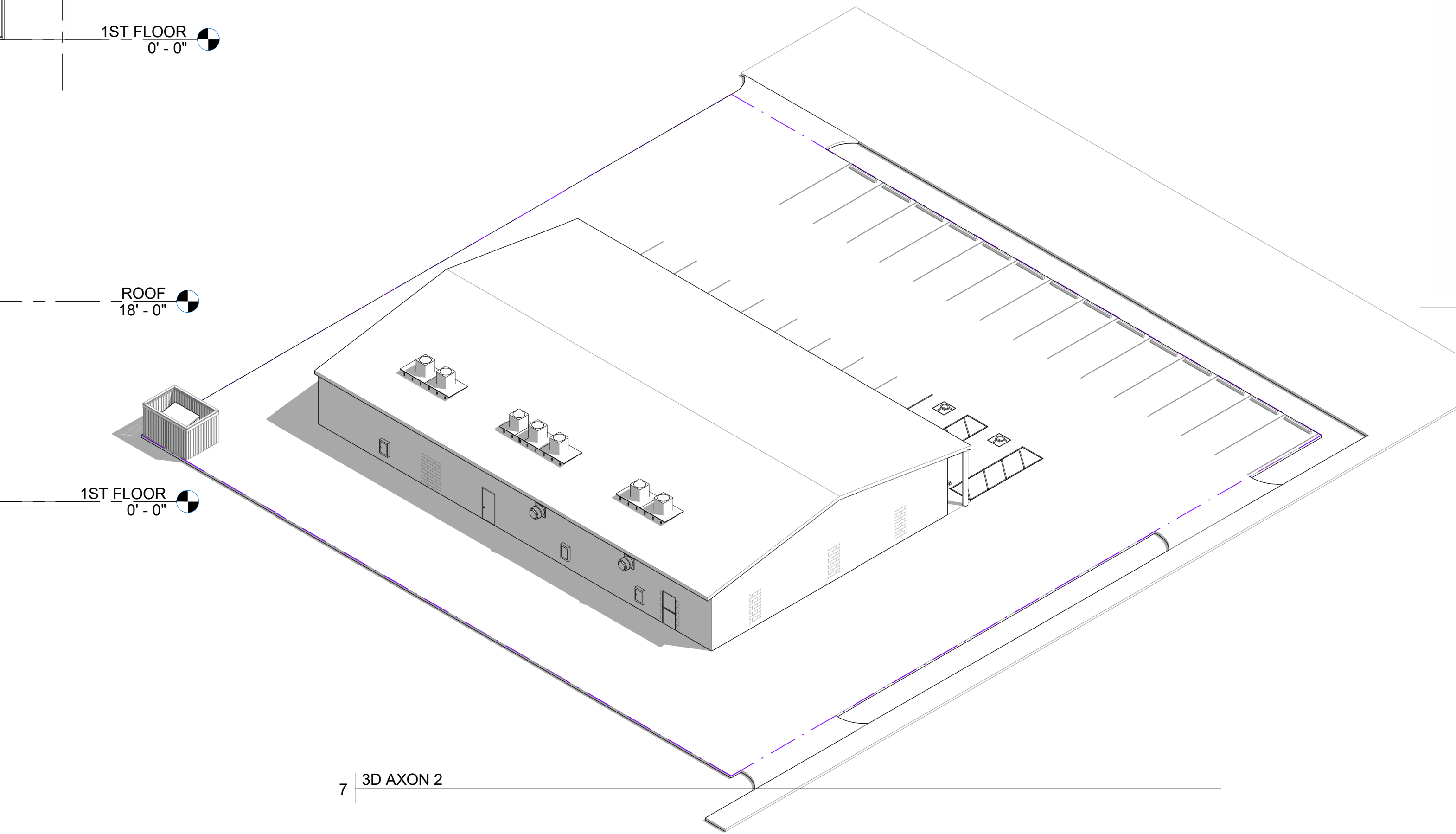


2 | PROPOSED ELEVATION - WEST  
1/8" = 1'-0"

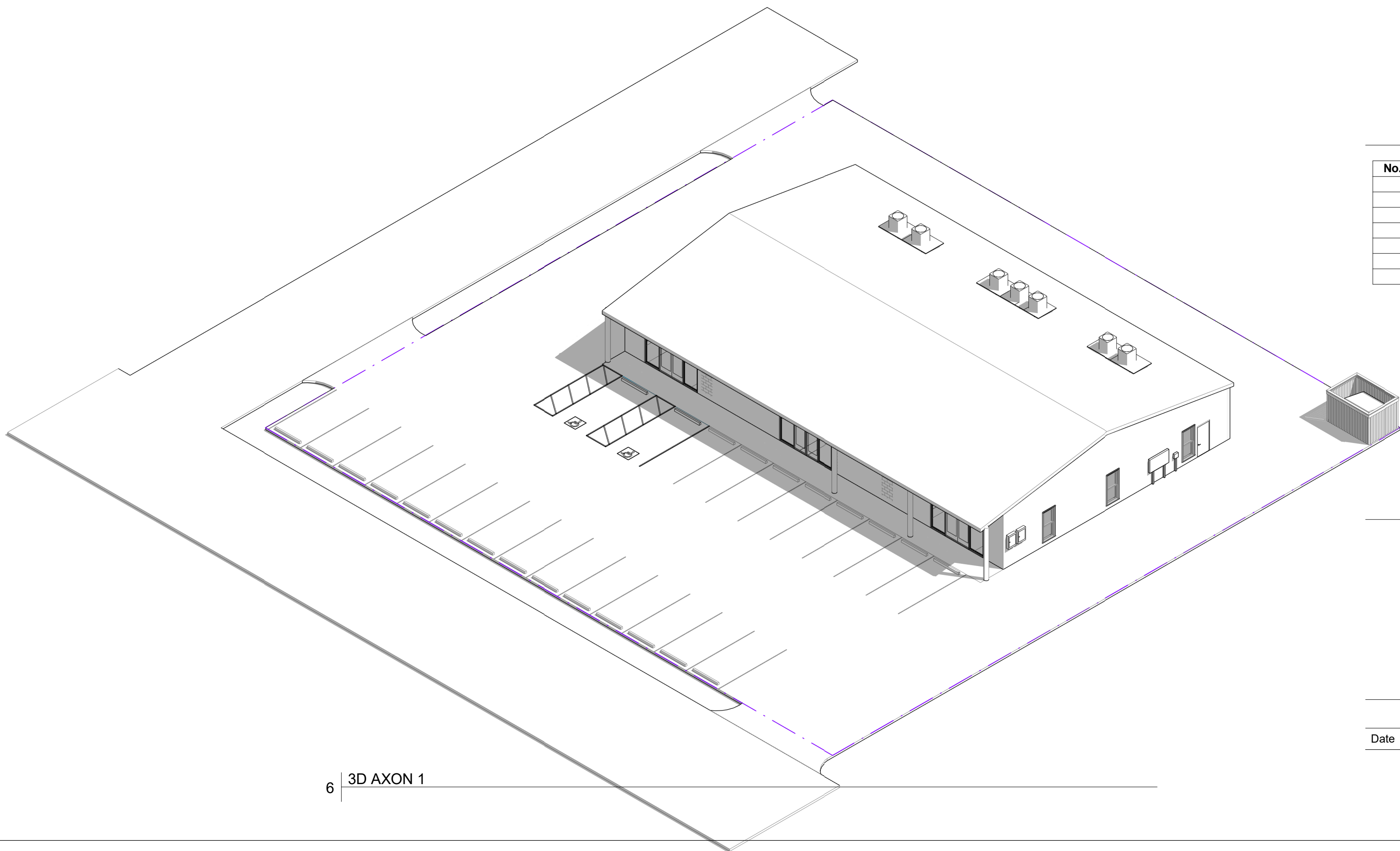


4 | PROPOSED ELEVATION - EAST  
1/8" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-16	A/C CONDENSERS AT OR ABOVE B.F.E. - CONTRACTOR TO COORDINATE HVAC STRATEGY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. FLASH AS REQ'D. INSTALLER TO PROVIDE NECESSARY CLEARANCES AROUND MACHINE AS REQUIRED BY CODE. (MOUNT A/C ON PLATFORM OR ON ROOF. RE: SITE DETAILS)
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS. TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLG IF REQ'D)



7 | 3D AXON 2



6 | 3D AXON 1

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2700 General De Gaulle Dr Renovations  
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No.	Description	Date

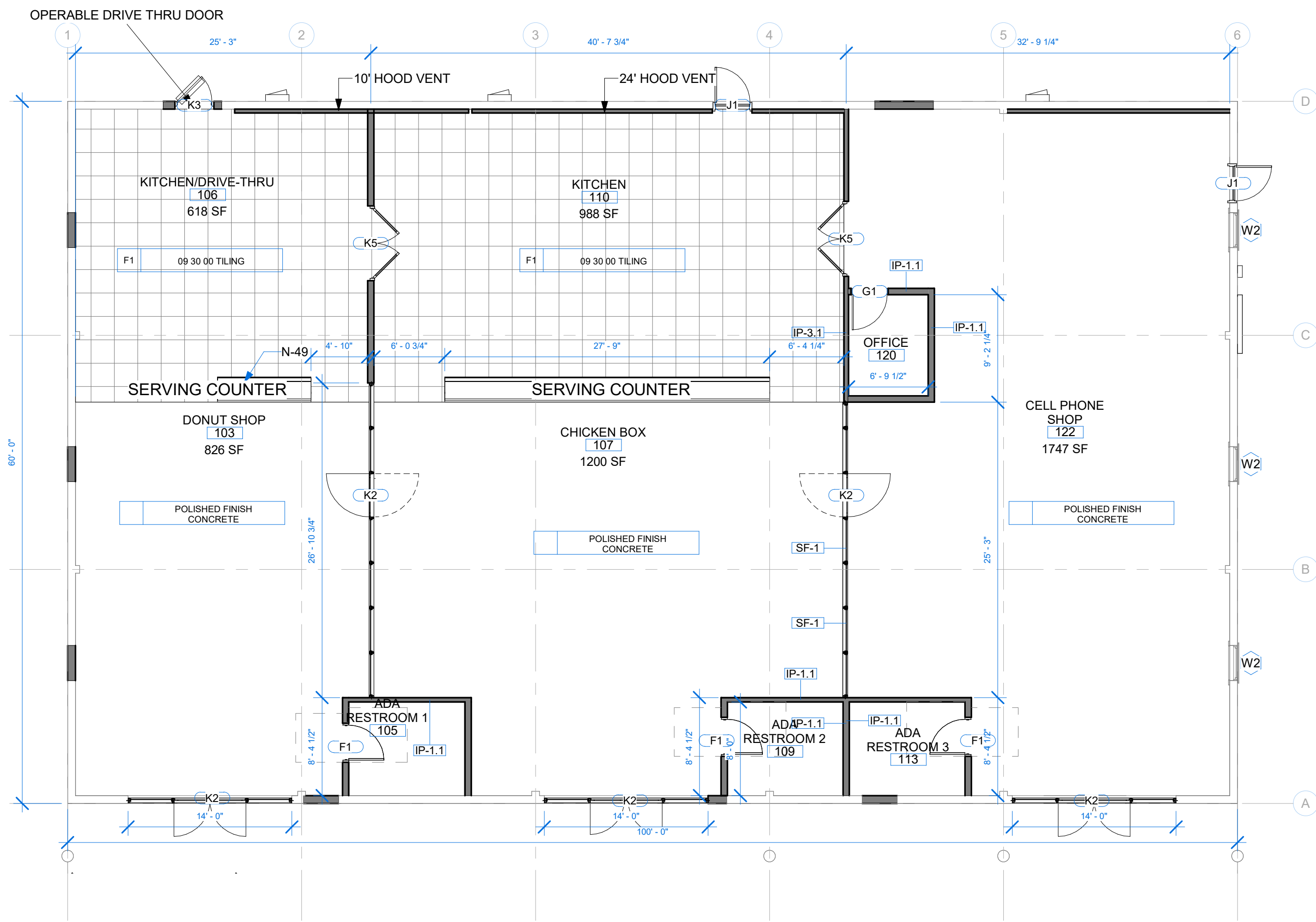


EXTERIOR  
ELEVATIONS -  
PROPOSED

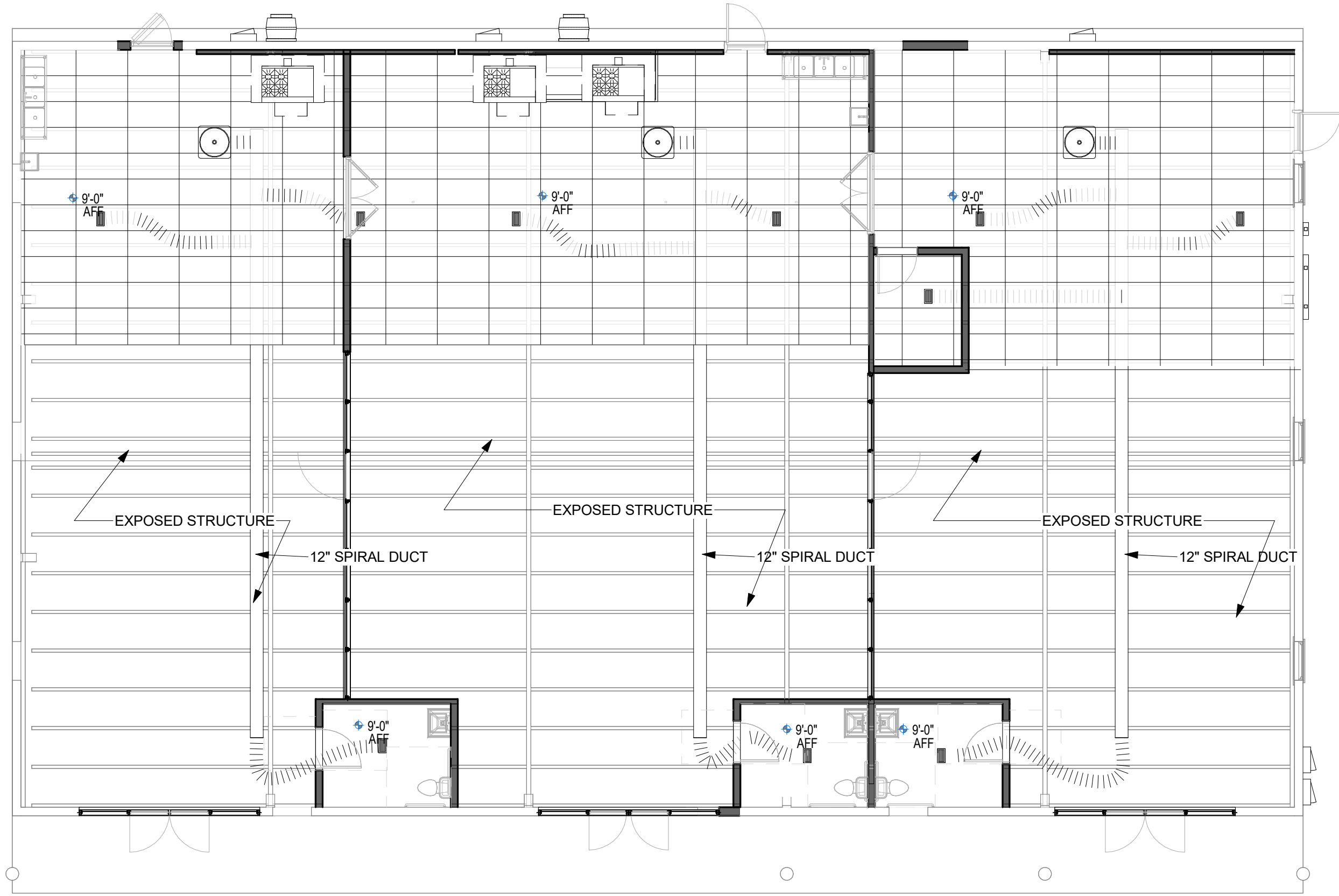
PERMIT CD'S	
Date	05-27-25

A5.0





1 1ST FLOOR - FLOOR FINISH  
A7.1 1/8" = 1'-0"

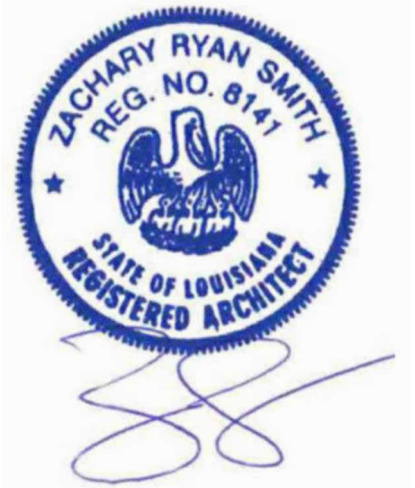


2 FIRST FLOOR PLAN - RCP  
A7.1 1/8" = 1'-0"

ROOM SCHEDULE							
Level	Number	Name	Area	Ceiling Finish	Floor Finish	Wall Finish	Comments
1ST FLOOR	103	DONUT SHOP	826 SF	EXPOSED	POLISHED CONCRETE	MASONRY	
1ST FLOOR	105	ADA RESTROOM 1	79 SF	2x4 ACT	POLISHED CONCRETE	GYP.	
1ST FLOOR	106	KITCHEN/DRIVE-THRU	618 SF	2x4 FRP PANEL	2x2 TILE FLOORING	GYP.	NON-SLIP TILE FLOORING
1ST FLOOR	107	CHICKEN BOX	1200 SF	EXPOSED	POLISHED CONCRETE	GYPSUM & GLAZING	
1ST FLOOR	109	ADA RESTROOM 2	79 SF	2x4 ACT	POLISHED CONCRETE	GYP.	
1ST FLOOR	110	KITCHEN	988 SF	2x4 FRP PANEL	2x2 VINYL TILE FLOORING	GYP. & MASONRY	NON-SLIP TILE FLOORING
1ST FLOOR	113	ADA RESTROOM 3	79 SF	2x4 ACT	POLISHED CONCRETE	GYP.	
1ST FLOOR	120	OFFICE	59 SF	2x4 ACT	POLISHED CONCRETE	GYP.	
1ST FLOOR	122	CELL PHONE SHOP	1747 SF	EXPOSED	POLISHED CONCRETE	GYP. & MASONRY	

9

No.	Description	Date



FINISH PLAN

PERMIT CD'S	
Date	06/02/25

A7.1



### **Design Intent for 2700 General DeGaulle**

The design intent for the development at 2700 General De Gaulle is to create a vibrant, community-oriented, and context-sensitive commercial project that enhances the pedestrian experience, respects the adjacent park setting, and aligns with the CT overlay's goals of fostering walkable, transit-ready, and aesthetically harmonious environments.

### **Alignment with CT Overlay Goals (Section 18.16.B)**

The design intent is shaped by the following approval standards from Section 18.16.B:

#### **1. Promoting Pedestrian-Friendly and Bicycle-Friendly Environments**

The project prioritizes pedestrian and bicycle accessibility to create a welcoming interface with the adjacent park and surrounding neighborhood. This includes:

- **Shaded sidewalks** with street trees and benches installed under the existing front facade roof line to encourage walking to and from the park.
- **Bicycle parking facilities**, secure racks near the building entrance to promote cycling as a primary mode of transport.
- **Adjacent bus stop** at General De Gaulle enhances safe access to the new businesses.

#### **2. Well-Designed and Functional Public Realm**

- **Outdoor seating**, provided to give food service patrons the option to eat their food inside or outside.
- **Landscaped buffers** between the development and the park to maintain visual continuity and provide spaces for outdoor activities.

#### **3. Minimizing the Visual Dominance of Parking**

- **Parking placement** is located at the front of the building. As the building is existing, this is where the parking lot is currently and as found typical along General De Gaulle.

#### **4. The architectural design respects the context, character, scale, and materials of the surrounding area, particularly the adjacent park and nearby residential or commercial structures:**

- **Existing Building scale** is low which avoids overwhelming the park's open, natural character.
- **Materials** such as existing painted brick and white metal roof and common materials found in this area.
-



- **Design elements**, large storefront doors and side windows are incorporated to create better visual connection with the exterior and promote a sense of openness.
5. **Compact, Transit-Ready Neighborhood Centers**
- **Adjacent bus stop** at General De Gaulle enhances safe access to the new businesses.
  - **Parking onsite**, ample parking is being provided onsite on the existing parking lot.
6. **Enhancing the Waterfront Context**  
Not applicable as the site does not directly face a lake or river front.
7. **Prohibition of Neon Signage**  
The project adheres to the prohibition on neon signage, final signage to be filed under separate permit. Signage wall locations identified in current application.

Attachment: Site Plan



## Narrative for 2700 General De Gaulle Design Review

In the design for 2700 General De Gaulle, full attention was taken to ensure compliance with the Comprehensive Zoning Requirements. In addition, consideration was made to ensure the property is harmonious with surrounding properties and neighborhoods, is consistent with the Master Plan, and promotes the general welfare of the City. Per the approval standards, the following have been considered:

1. Degree of conformity with the regulations of this Ordinance.

**-There is no change to the existing building except for exterior doors being added. We believe the project is completely permitted by the CZO.**

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

**- There is no change to the existing building except for exterior doors being added. We believe the project is completely permitted by the CZO.**

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

- a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.

**-This project maintains heights and setbacks that are consistent with the historical compatibility of the area.**

- b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

**-We have not proposed any site illumination that is directed towards adjacent properties or the ROWs surrounding.**

4. Landscape and the arrangement of open space or natural features on the site shall:

- a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.

**-This project does not affect negatively impact open space design features such as bike/running paths or outdoor relaxation spaces, as the small addition is on the back of the structure and does not encroach into any of these areas.**

- b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

**-No trees are being removed.**



c. Protect natural resources and landscape on adjacent sites.

**-This is a majority interior renovation and nothing is being changed on the landscape.**

d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.

**- This is a majority interior renovation and nothing is being changed on the landscape.**

e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.

**- This is a majority interior renovation and nothing is being changed on the landscape.**

f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

**-Appropriate fencing will be used where applicable.**

5. Circulation systems and off-street parking shall be designed to:

a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.

b. Minimize potentially dangerous traffic movements.

c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.

d. Minimize curb cuts by using cross-access servitudes and shared parking.

e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.

f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

**-For a-f, please see parking that is already provided.**

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.

b. Providing a visible transition in height and bulk between higher and lower density development.

c. Reinforcing the prevailing orientation to the street.



d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.

e. Respecting historic design context.

**-For a-e, the only change to the exterior is adding exterior doors.**





Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

**Covid-19 Submittal Protocol:** Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review

Interim Zoning Districts Appeal

Moratorium Appeal

Property Location \_\_\_\_\_

### APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name \_\_\_\_\_

Applicant Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Applicant Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name \_\_\_\_\_

Property Owner Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Property Owner Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROJECT DESCRIPTION

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

Character Preservation Corridor  
Riverfront Design Overlay  
Enhancement Corridor  
Corridor Transformation  
Greenway Corridor  
Others as required

#### Non-Design Overlay District Review

Development over 40,000 sf  
Public Market  
Parking Lots with over 10 spaces or loading zones  
Wireless Antenna/Tower  
Educational Facility

#### Mural Reviews

Electric Utility Substations and Transmission Lines  
CBD FAR Bonus  
Changes to Approved Plans  
DAC Review of Public Projects  
Others as required

### ADDITIONAL INFORMATION

Current Use \_\_\_\_\_ Proposed Use \_\_\_\_\_

Square Number \_\_\_\_\_ Lot Number \_\_\_\_\_ Permeable Open Space (sf) \_\_\_\_\_

New Development? Yes No Addition? Yes No Tenant Width \_\_\_\_\_

Existing Structure(s)? Yes No Renovations? Yes No Building Width \_\_\_\_\_

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) \_\_\_\_\_

New Sign(s)? Yes No Lot Area (sf) \_\_\_\_\_ Building Area (sf) \_\_\_\_\_





Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

North arrow, scale, and date of plan  
Location, dimensions, and area of permeable open space  
Name, address of the professional who prepared the plan  
Legend of symbols, patterns, and abbreviations used  
The entire lot(s), including area and property lines dimensioned (including gross area of the site)  
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)  
Location and dimensions of buildings and structures, including total floor area and distance from property lines  
Location of refuse storage locations  
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways  
Fence location, height, and materials

#### 2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development  
Room use  
Location of all walls, doors, and windows  
Location of all plumbing fixtures  
Location of major appliances/mechanical equipment  
Stairway location  
Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls  
Types, style, height, and the number of fixtures  
Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials  
Building Elevation (including building width and height)  
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

Name and address of professional who prepared the plan.  
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission  
All landscape plans shall meet the minimum requirements of site plans  
Legend defining all symbols, patterns, and abbreviations used  
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.  
Description of all tree preservation measures on-site and in the public right-of-way  
Width, depth, and area of landscaped area(s)  
Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

Photographs of the subject site and/or building

#### 8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000